
CITY OF KELOWNA
MEMORANDUM

Date: January 3, 2018 (REVISED)
File No.: Z17-0116
To: Community Planning (KB)
From: Development Engineering Manager(JK)
Subject: 1371 Bernard Avenue RU6 to RM3

Development Engineering has the following requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Aaron Sangster.

- .1) Domestic Water and Fire Protection
 - (a) The development site is presently serviced with a 19mm diameter water service. The developer's consulting mechanical engineer will determine the domestic, fire protection requirements of this proposed development and establish hydrant requirements and service needs. Only one service will be permitted for this development.
- .2) Sanitary Sewer
 - (a) The development site is presently serviced with a 100mm diameter sanitary sewer service. Only one service will be permitted for this development. The developer's consulting civil engineer will determine sanitary sizing for this development. The applicant, at his cost, will arrange for the removal of the existing service and the installation of a new larger service if required.
- .3) Storm Drainage
 - (a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.
- .4) Road Improvements
 - (a) Lakeview Street fronting this development must be upgraded to an Local – Class 1 (SS-R5) to include barrier curb & gutter, pave the unpaved gravel area adjacent to the existing sidewalk, remove and replace existing sidewalk if required to accommodate proposed curb & gutter, and relocation or adjustment of existing utility appurtenances if required to accommodate the upgrading construction. No retaining walls or structures permitted in City ROW.



Z17-0116 1371 Bernard Ave. RU6 - RM3 AS.doc

- (b) The lane fronting this development is required to be constructed to a paved standard. A cross section of SS-R2 should be used for design and costing.

.5) Road Dedication and Subdivision Requirements

By registered plan to provide the following:

- (a) Grant statutory rights-of-way if required for utility services.

.6) Electric Power and Telecommunication Services

- (a) All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground as this site is located adjacent to the South Pandosy urban town centre.
- (b) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- (c) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

.7) Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the City Engineering Department for review and marked "issued for construction" by the City Engineer before construction may begin.

.8) Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

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.9) Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be on the insurance policy as an additional insured.

.10) Survey Monuments and Iron Pins

If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

.11) Bonding and Levy Summary

(a) Bonding

Lakeview Street upgrade	To be determined
Lane Frontage Improvements	To be determined
Total Bonding	To be determined

.12) Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as (3.5% of Total Off-Site Construction Cost plus GST).

14) Development Permit and Site Related Issues

Access and Manoeuvrability

- (a) The access to this site must be from the lane. Access from Bernard Avenue is not permitted as per bylaw.

15. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.



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- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

A large, stylized handwritten signature in black ink, appearing to read 'JK' with a large flourish.

James Kay, P. Eng.
Development Engineering Manager

AS

BERNARD AVE. 4-PLEX



ATTACHMENT A

This forms part of application
Z17-0116

Planner Initials **KB**

City of Kelowna
COMMUNITY PLANNING

ALL CONTRACTORS ARE REQUIRED TO THEIR WORK AND SUPPLY THEIR PRODUCTS COMPLIANCE WITH ALL BUILDING CODES LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and property of New Town Services. The use of drawing shall be restricted to the original site for it was prepared and publication thereof is limited to such

This drawing must not be used for any other purpose without the written consent of New Town Services. Verify all dimensions and datums prior commencement of work. Report all errors and omissions to the

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URBAN PLANNING
CIVIL ENGINEERING
www.newtownservices.ca

ARCHITECTURAL

NEW TOWN ARCHITECTURE & ENGINEERING
200-1464 ST. PAUL STREET
KELOWNA, BC V1Y 2E6
ROMAN YAMCHSHIKOV
Roman@newtownservices.net
T. (250) 860 8185
F. (250) 860 0985

DRAWING LIST:

A001	COVER SHEET & DRAWING LIST
A002	SITE PLAN & ZONING ANALYSIS
A003	SURVEY
A004	RENDERINGS
A005	RENDERINGS
A006	FOUNDATION & GARAGE LEVEL PLANS
A007	MAIN & SECOND LEVEL PLANS
A008	ROOF DECK & UPPER ROOF PLANS
A009	ELEVATIONS
A010	ELEVATIONS
A011	SECTIONS

CIVIL

NEW TOWN ARCHITECTURE & ENGINEERING
200-1464 ST. PAUL STREET
KELOWNA, BC V1Y 2E6
JACOB PAUL
Jacob@newtownservices.net
T. (250) 860 8185
F. (250) 860 0985

DRAWING LIST:

1	SERVICING PLAN
2	GRADING PLAN

LANDSCAPE

WSP
540 LEON AVENUE
KELOWNA, BRITISH COLUMBIA, V1Y 6J6
BYRON DOUGLAS
BYRON.DOUGLAS@WSP.COM
T. (250) 469 7730
M. (250) 826 7728

DRAWING LIST:

LDP-1	SITE PLAN
LDP-2	HYDROZONE PLAN



CONTEXT PLAN: 1371 BERNARD AVE.

Revision		
No	Date	Description
1	NOV 24, 2017	ISSUED FOR DP

Seal

project title
BERNARD AVE. 4-PLEX

project address
**1371 BERNARD AVE,
KELOWNA, BC**

project no. 4035

file no.

drawing title
COVER SHEET & DRAWING LIST

designed scale

drawn

checked R.Y.

drawing no.

A001

plotted NOV 24, 2017 11:24/2017 2:00:08 PM



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STRATA PLAN
 KAS2634

1 Survey
 A010 1:100

NOT FOR CONSTRUCTION

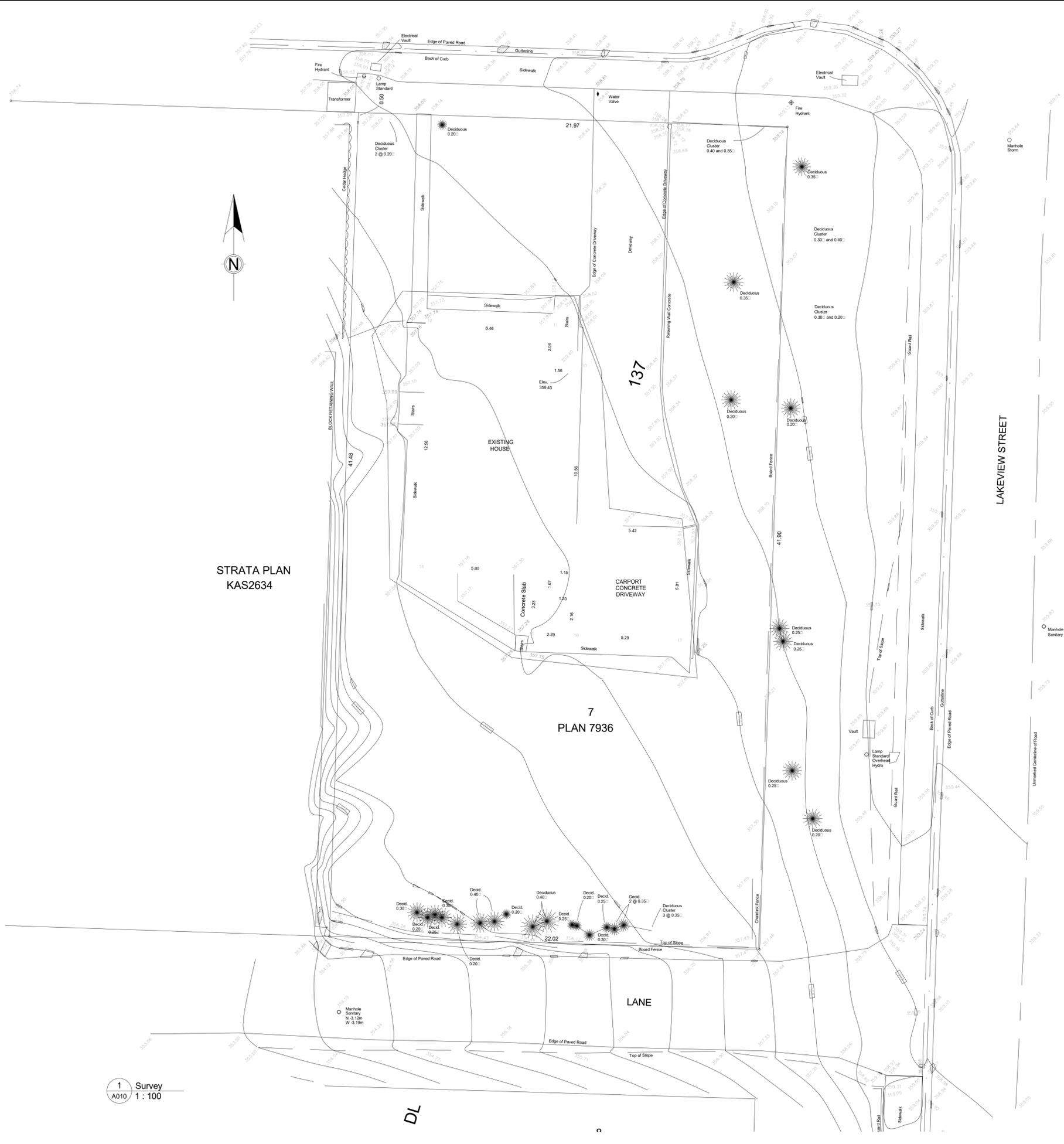
Revision		
No	Date	Description
1	NOV 24, 2017	ISSUED FOR DP

Seal

project title
BERNARD AVE. 4-PLEX
 project address
**1371 BERNARD AVE,
 KELOWNA, BC**
 project no. 4035
 drawing title
SURVEY

designed scale 1:100
 drawn R.B./R.Y.
 checked R.Y.
 drawing no.

A003
 plotted NOV 24, 2017 11/24/2017 2:00:09 PM



ATTACHMENT A

This forms part of application # Z17-0116

Planner Initials: KB



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Seal _____

project title
BERNARD AVE. 4-PLEX

project address
1371 BERNARD AVE,
KELOWNA, BC

project no. 4035

file no.

drawing title

RENDERINGS

designed _____ scale _____

drawn _____ R.B./R.Y.

checked _____ R.Y.

drawing no.

A004

plotted NOV 24, 2017 11:24/2017 2:00:09 PM

ATTACHMENT A

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Z17-0116

Planner Initials KB



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Seal _____

project title
BERNARD AVE. 4-PLEX

project address
1371 BERNARD AVE, KELOWNA, BC

project no. 4035

file no. _____

drawing title
RENDERINGS

designed _____ scale _____

drawn **R.B./Y.**

checked **R.Y.**

drawing no. _____

A005

plotted NOV 24, 2017 11/24/2017 2:00:09 PM



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Seal

project title
 BERNARD AVE. 4-PLEX

project address
 1371 BERNARD AVE,
 KELOWNA, BC

project no. 4035

file no.

drawing title
FOUNDATION & GARAGE LEVEL PLANS

designed scale 1/8" = 1'-0"

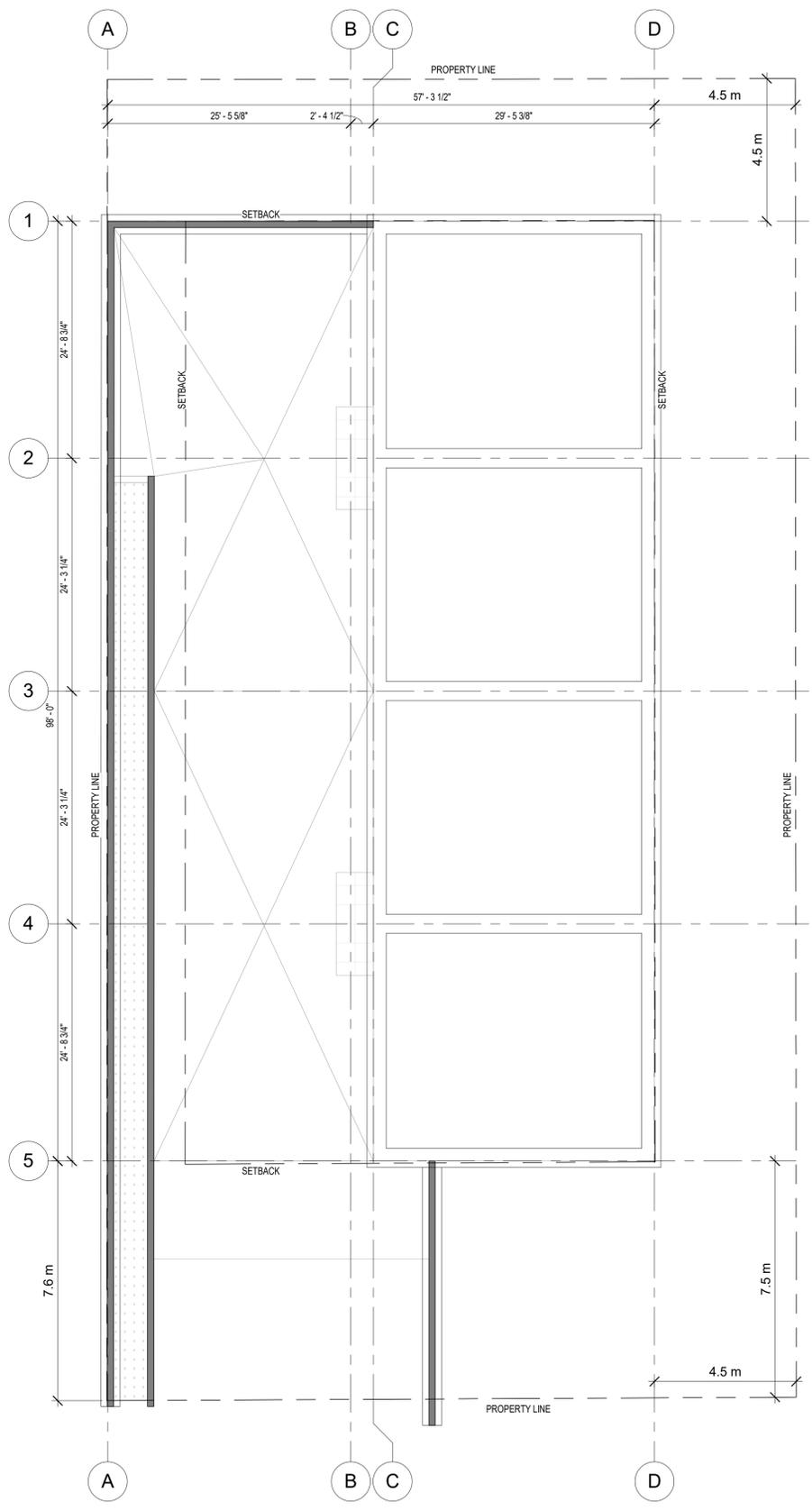
drawn R.B./R.Y.

checked R.Y.

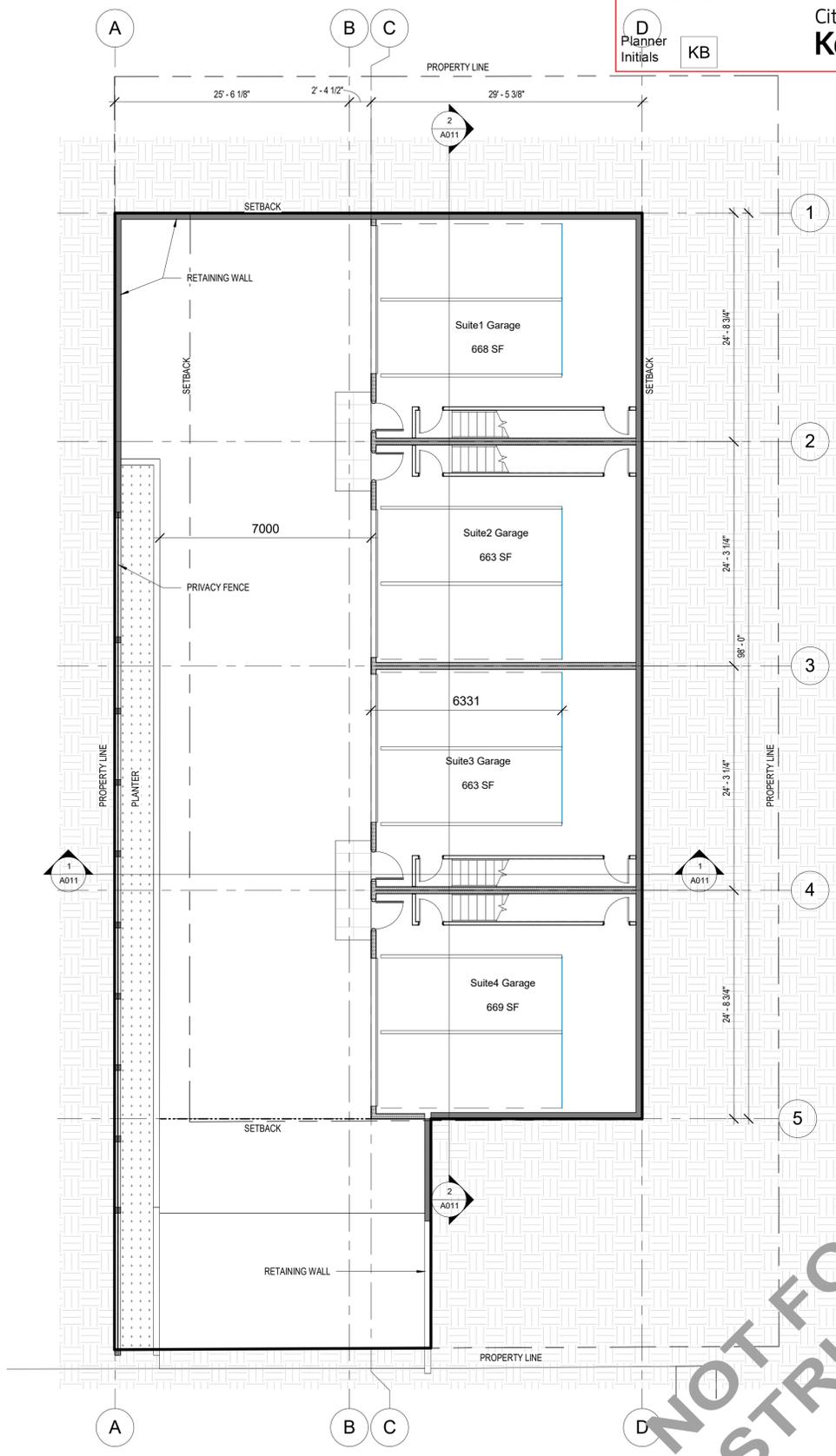
drawing no.

A006

plotted NOV 24, 2017 11/24/2017 2:00:10 PM



1 FOUNDATION PLAN
 1/8" = 1'-0"



2 GARAGE FLOOR PLAN
 1/8" = 1'-0"

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Seal _____

project title
BERNARD AVE. 4-PLEX

project address
 1371 BERNARD AVE,
 KELOWNA, BC

project no. 4035

file no. _____

drawing title

MAIN & SECOND LEVEL PLANS

designed _____ scale 1/8" = 1'-0"

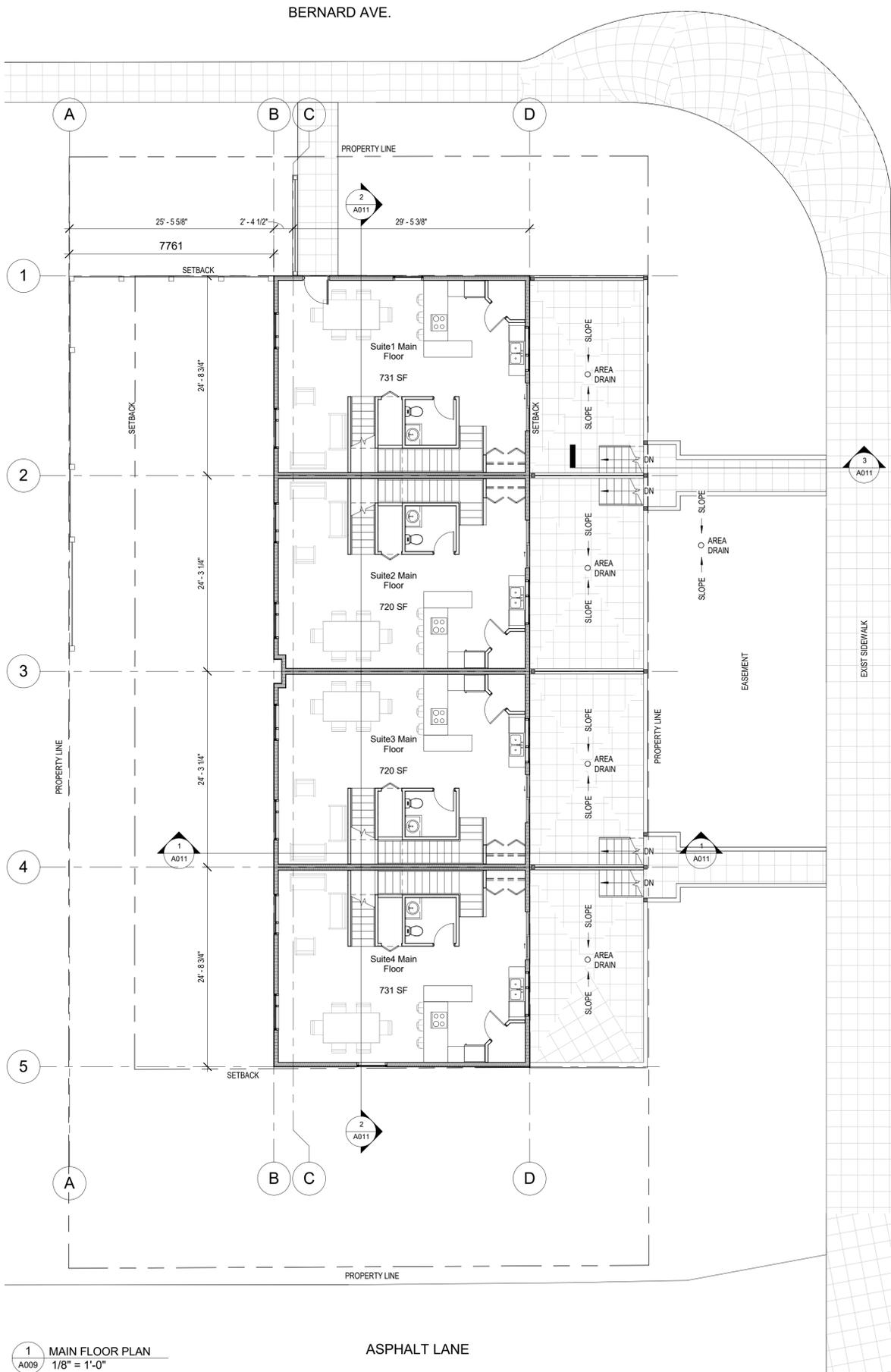
drawn R.B./R.Y.

checked R.Y.

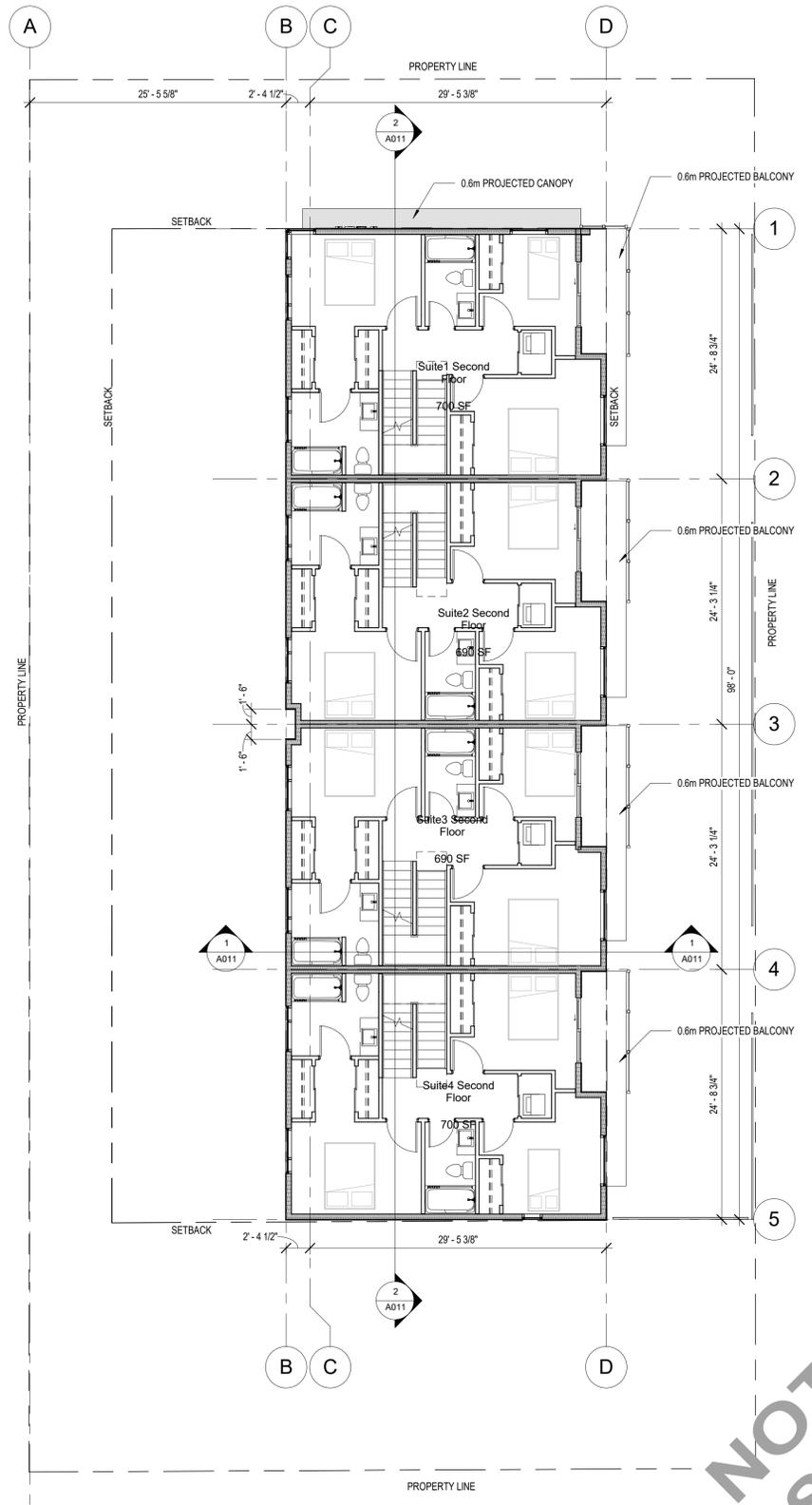
drawing no.

A007

plotted NOV 24, 2017 11/24/2017 2:00:12 PM



1 MAIN FLOOR PLAN
 A009 1/8" = 1'-0"



2 SECOND FLOOR PLAN
 A009 1/8" = 1'-0"

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project title
BERNARD AVE. 4-PLEX

project address
1371 BERNARD AVE,
KELOWNA, BC

project no. 4035

file no.

drawing title

ROOF DECK & UPPER ROOF PLANS

designed scale 1/8" = 1'-0"

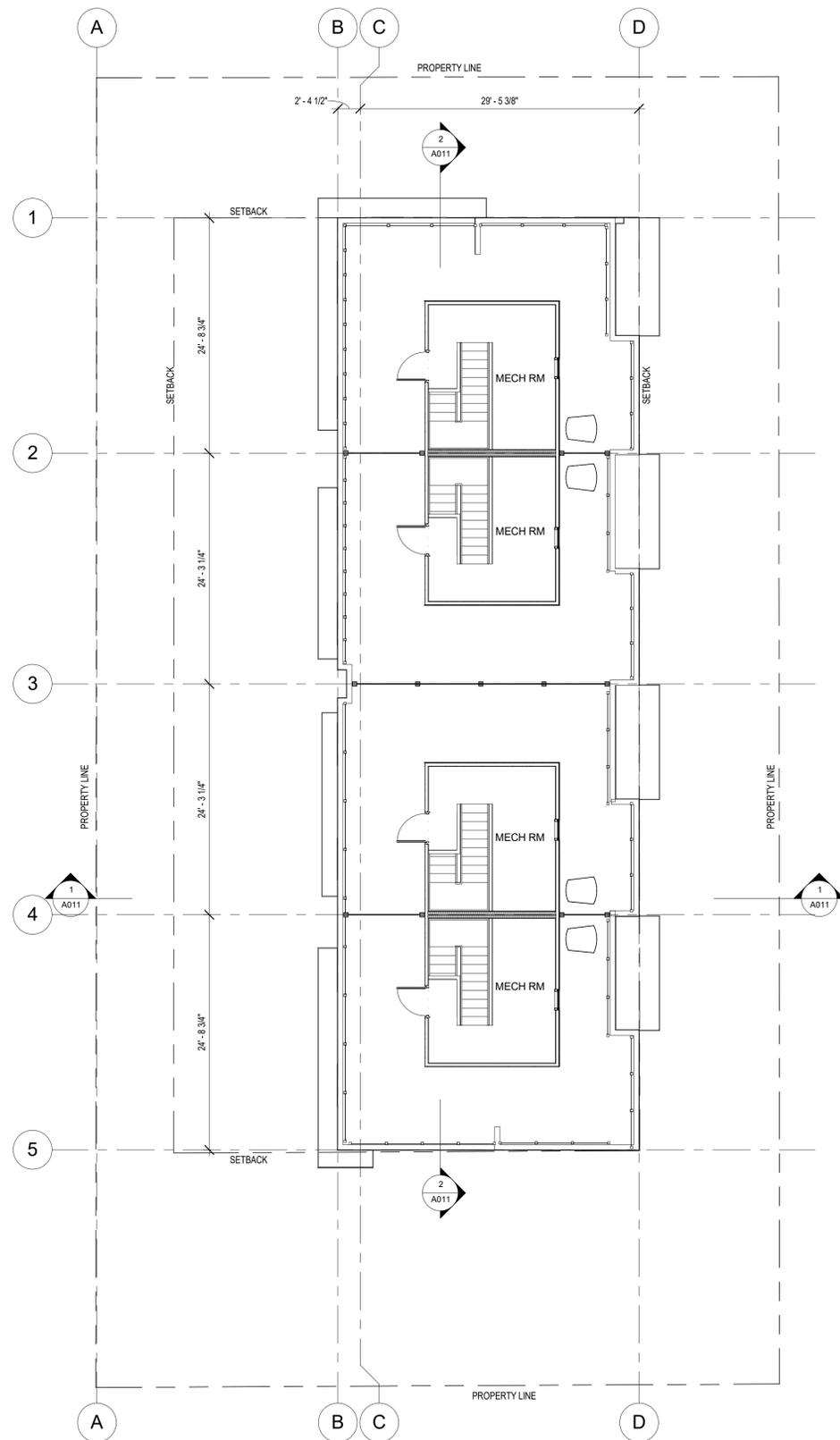
drawn R.B./R.Y.

checked R.Y.

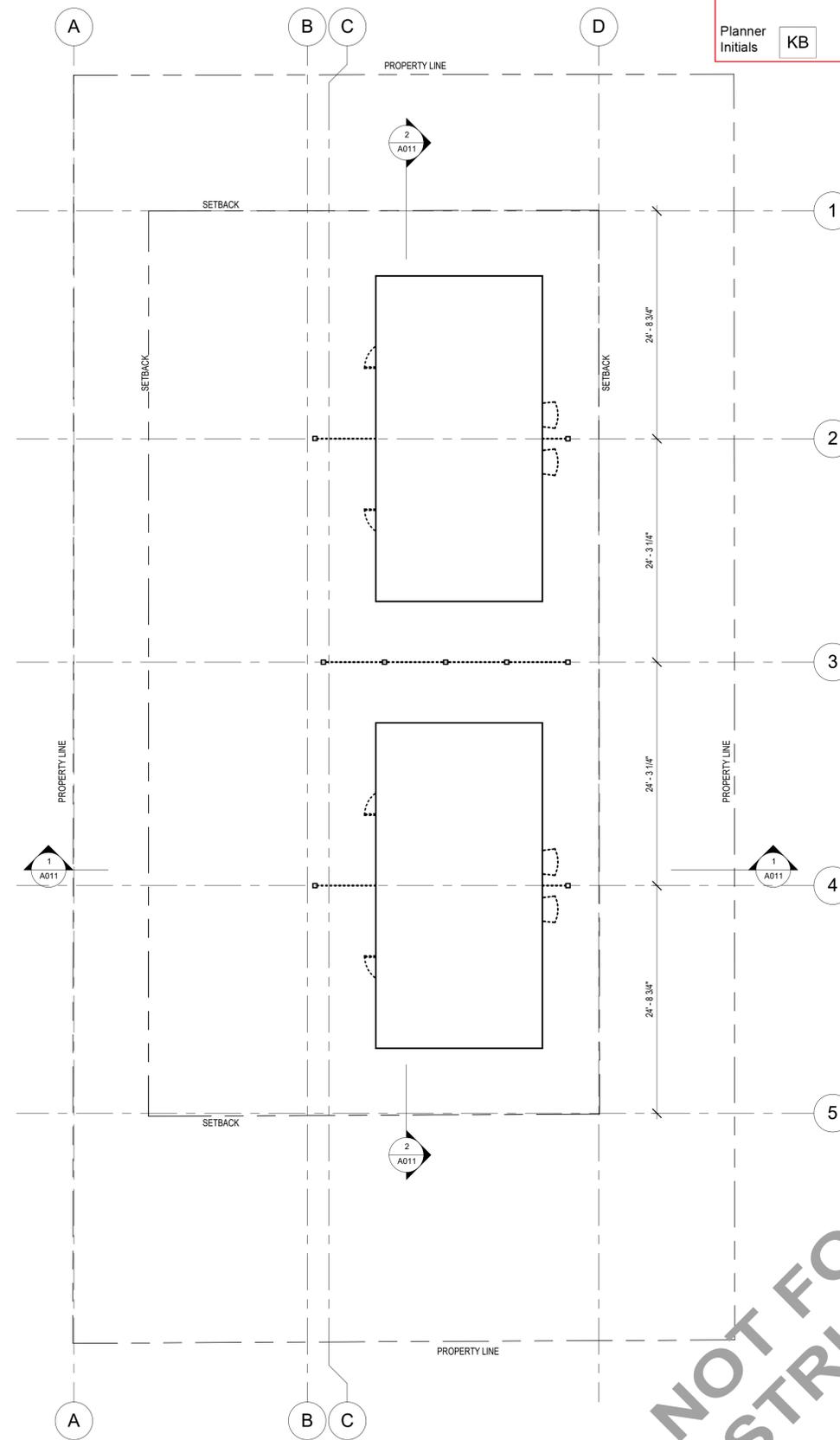
drawing no.

A008

plotted NOV 24, 2017 11/24/2017 2:00:12 PM

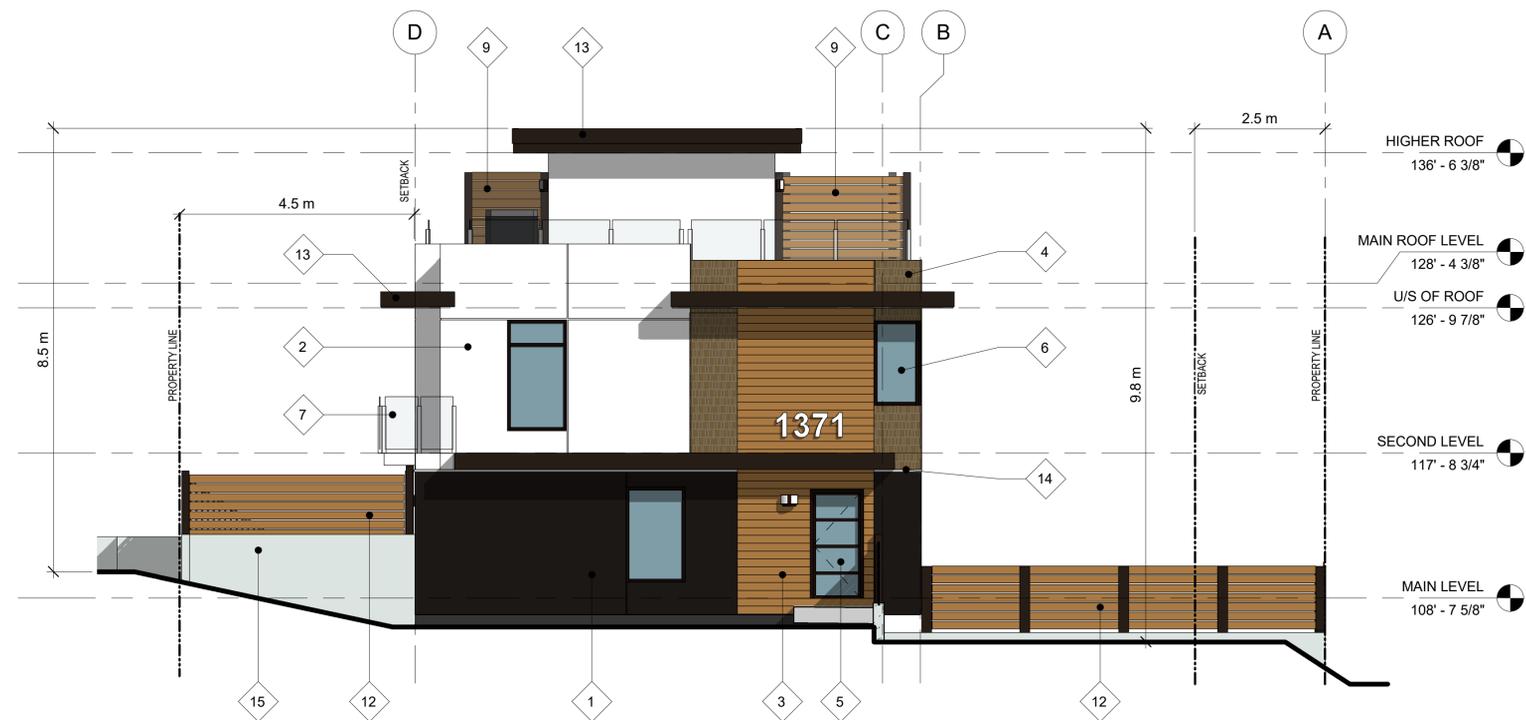


1 ROOF LEVEL
A009 1/8" = 1'-0"



2 HIGHER ROOF
A009 1/8" = 1'-0"

NOT FOR CONSTRUCTION



1 North Elevation
3/16" = 1'-0"

MATERIAL KEYNOTE	
1.	ACRYLIC STUCCO - DARK BROWN
2.	ACRYLIC STUCCO - WHITE
3.	IMITATION CEDAR SIDING (FIBRE CEMENT BOARD)
4.	IMITATION CEDAR SHINGLES (FIBRE CEMENT BOARD)
5.	DOUBLE GLAZED ALUMINUM DOORS
6.	DOUBLE GLAZED ALUMINUM WINDOWS
7.	GLAZED RAILING SYSTEM
8.	METAL OVERHEAD GARAGE DOOR - INSULATED
9.	PRIVACY SCREEN - COMPOSITE CEDAR STRIP
10.	ALUMINUM SOLAR SHADE - PAINTED BLACK
11.	MECHANICAL UNIT - ON ISOLATION PAD
12.	CEDAR STRIP FENCING
13.	METAL CAP-FLASHING - PAINTED
14.	EXPANSION JOIST - METAL FLASHING - PAINTED
15.	ARCHITECTURAL CONCRETE
16.	METAL FENCE - PAINTED WHITE

Revision		
No	Date	Description
1	NOV 24, 2017	ISSUED FOR DP



3 East Elevation
3/16" = 1'-0"

NOT FOR CONSTRUCTION

Seal

project title
BERNARD AVE. 4-PLEX

project address
**1371 BERNARD AVE,
KELOWNA, BC**

project no. 4035

file no.

drawing title

ELEVATIONS

designed scale As indicated

drawn R.B./R.Y.

checked R.Y.

drawing no.

A009

plotted NOV 24, 2017 11:24:18 PM



City of
Kelowna
COMMUNITY PLANNING

MATERIAL KEYNOTES

1.	ACRYLIC STUCCO - DARK BROWN
2.	ACRYLIC STUCCO - WHITE
3.	IMITATION CEDAR SIDING (FIBRE CEMENT BOARD)
4.	IMITATION CEDAR SHINGLES (FIBRE CEMENT BOARD)
5.	DOUBLE GLAZED ALUMINUM DOORS
6.	DOUBLE GLAZED ALUMINUM WINDOWS
7.	GLAZED RAILING SYSTEM
8.	METAL OVERHEAD GARAGE DOOR - INSULATED
9.	PRIVACY SCREEN - COMPOSITE CEDAR STRIP
10.	ALUMINUM SOLAR SHADE - PAINTED BLACK
11.	MECHANICAL UNIT - ON ISOLATION PAD
12.	CEDAR STRIP FENCING
13.	METAL CAP-FLASHING - PAINTED
14.	EXPANSION JOIST - METAL FLASHING - PAINTED
15.	ARCHITECTURAL CONCRETE
16.	METAL FENCE - PAINTED WHITE

Planner Initials
KB

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1	NOV 24, 2017	ISSUED FOR DP

Seal

project title
BERNARD AVE. 4-PLEX

project address
**1371 BERNARD AVE,
KELOWNA, BC**

project no. 4035

file no.

drawing title

ELEVATIONS

designed scale As indicated

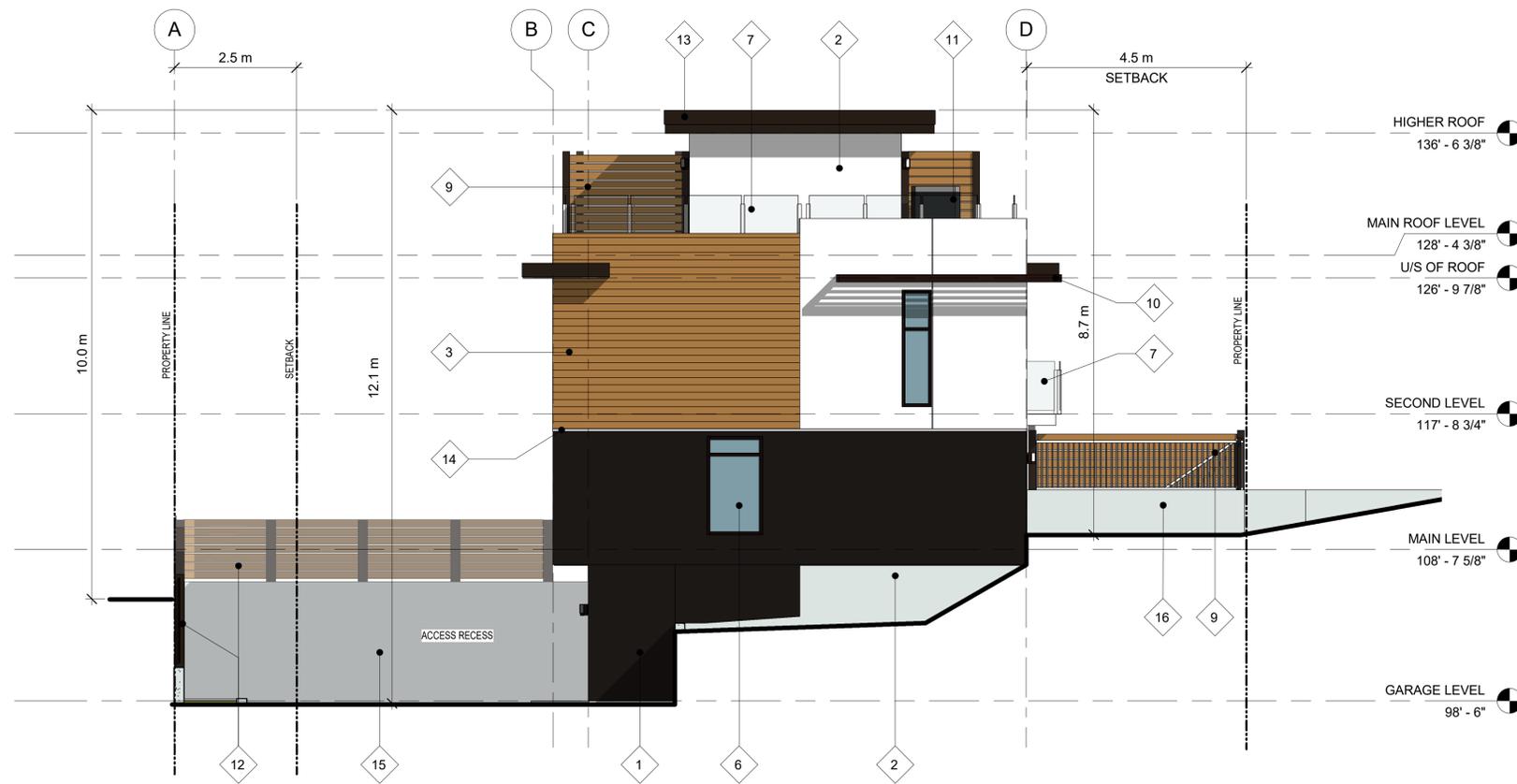
drawn R.B./R.Y.

checked R.Y.

drawing no.

A010

plotted NOV 24, 2017 11/24/2017 2:00:28 PM



1 South Elevation
3/16" = 1'-0"



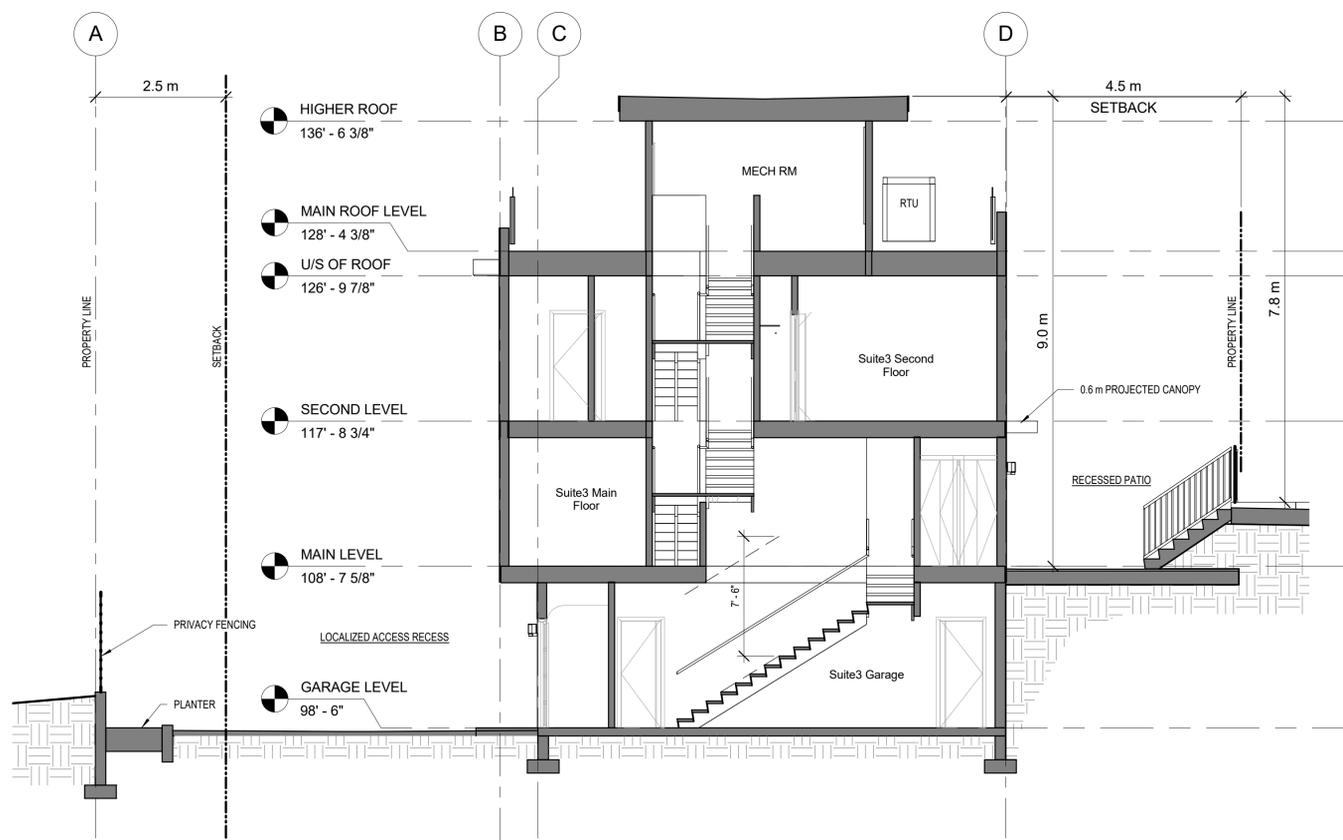
2 West Elevation
3/16" = 1'-0"

NOT FOR CONSTRUCTION

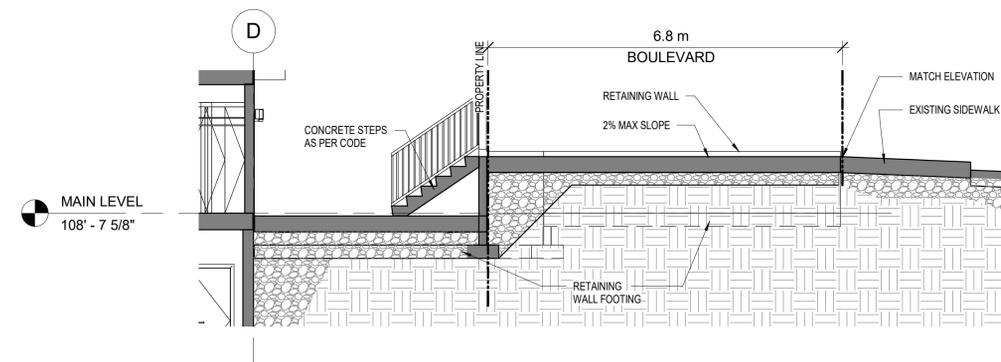
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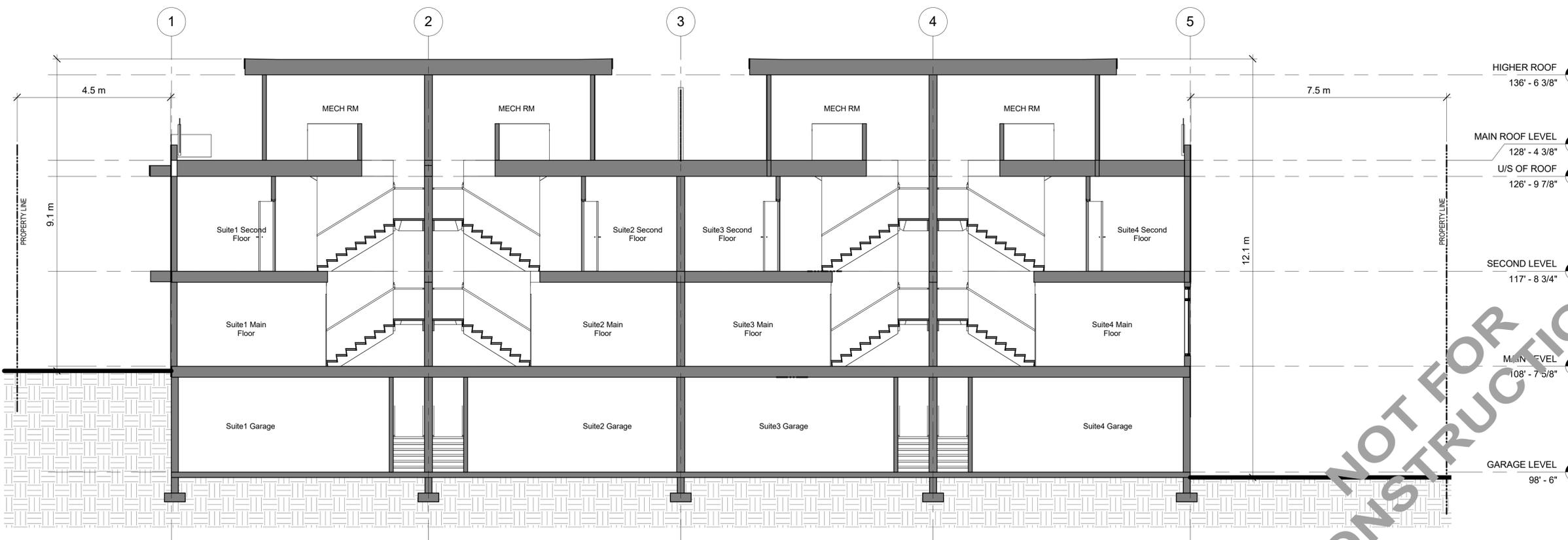
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URBAN PLANNING
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1 Section 1
A006 3/16" = 1'-0"



3 PATIO SECTION - TYPICAL
A3.1 3/16" = 1'-0"



2 Section 2
A006 3/16" = 1'-0"

Revision		
No	Date	Description
1	NOV 24, 2017	ISSUED FOR DP

Seal

project title
BERNARD AVE. 4-PLEX

project address
**1371 BERNARD AVE,
KELOWNA, BC**

project no. 4035

file no.

drawing title

SECTIONS

designed scale 3/16" = 1'-0"

drawn R.B./R.Y.

checked R.Y.

drawing no.

A011

plotted NOV 24, 2017 11/24/2017 2:00:28 PM

NOT FOR CONSTRUCTION



Planner Initials **KB**

- DECIDUOUS TREE
- PROPERTY LINE
- 1.2m TIMBER FENCE
- GRASS / PERENNIAL MULCHED PLANTING BEDS
- SHRUB PLANTING MULCHED PLANTING BEDS
- SOD AREA
- PATIO (BY OTHERS)
- CONCRETE WALK

LANDSCAPE DEVELOPMENT DATA:

1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
2. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
4. ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

REPRESENTATIVE PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plant Size (Ht.xWd.)
Trees Deciduous				
<i>Cercidiphyllum japonicum</i>	Katsura Tree	6cm Cal	B&B	12.0m x 8.0m
Shrubs / Grasses				
<i>Buxus 'Green Gem'</i>	Green Gem Boxwood	#01	Potted	1.0m x 1.0m
<i>Cornus alba 'Bailhala'</i>	Ivory Halo Dogwood	#01	Potted	1.50m x 1.50m
<i>Euonymus alatus 'Compactus'</i>	Dwarf Burning Bush	#01	Potted	2.0m x 2.0m
<i>Miscanthus sinensis 'Gracillimus'</i>	Maiden Hair	#01	Potted	1.0m x 1.5m
<i>Pennisetum alopecuroides 'Red Head'</i>	Red Head Fountain Grass	#01	Potted	1.2m x 1.2m
Perennials				
<i>Allium 'Globemaster'</i>	Persian Onion		bulb	
<i>Echinacea purpurea 'Magnus'</i>	Magnus Coneflower	#01	Potted	1.0m x 0.75m
<i>Nepeta x fassenii 'Walker's Low'</i>	Walker's Low Catmint	#01	Potted	0.90m x 0.90m
<i>Rudbeckia hirta 'Indian Summer'</i>	Goldsturm Coneflower	#01	Potted	0.75m x 1.0m



1 LANDSCAPE PLAN
LDP1 SCALE: 1:100



REPRESENTATIVE IMAGES



Cercidiphyllum japonicum *Buxus 'Green Gem' with Allium* *Cornus alba 'Bailhala'* *Euonymus alatus 'Compactus'* *Nepeta x fassenii 'Walker's Low'* *Rudbeckia hirta 'Indian Summer'* *Echinacea purpurea 'Magnus'* *Pennisetum alopecuroides 'Red Head'* *Miscanthus sinensis 'Gracillimus'* Bike Racks

NO.	DATE	DESCRIPTION
1	NOV 02/17	ISSUED FOR DP

PROJECT: 1371 BERNARD AVENUE 4-PLEX
 CLIENT:
 LOCATION: KELOWNA, B.C.

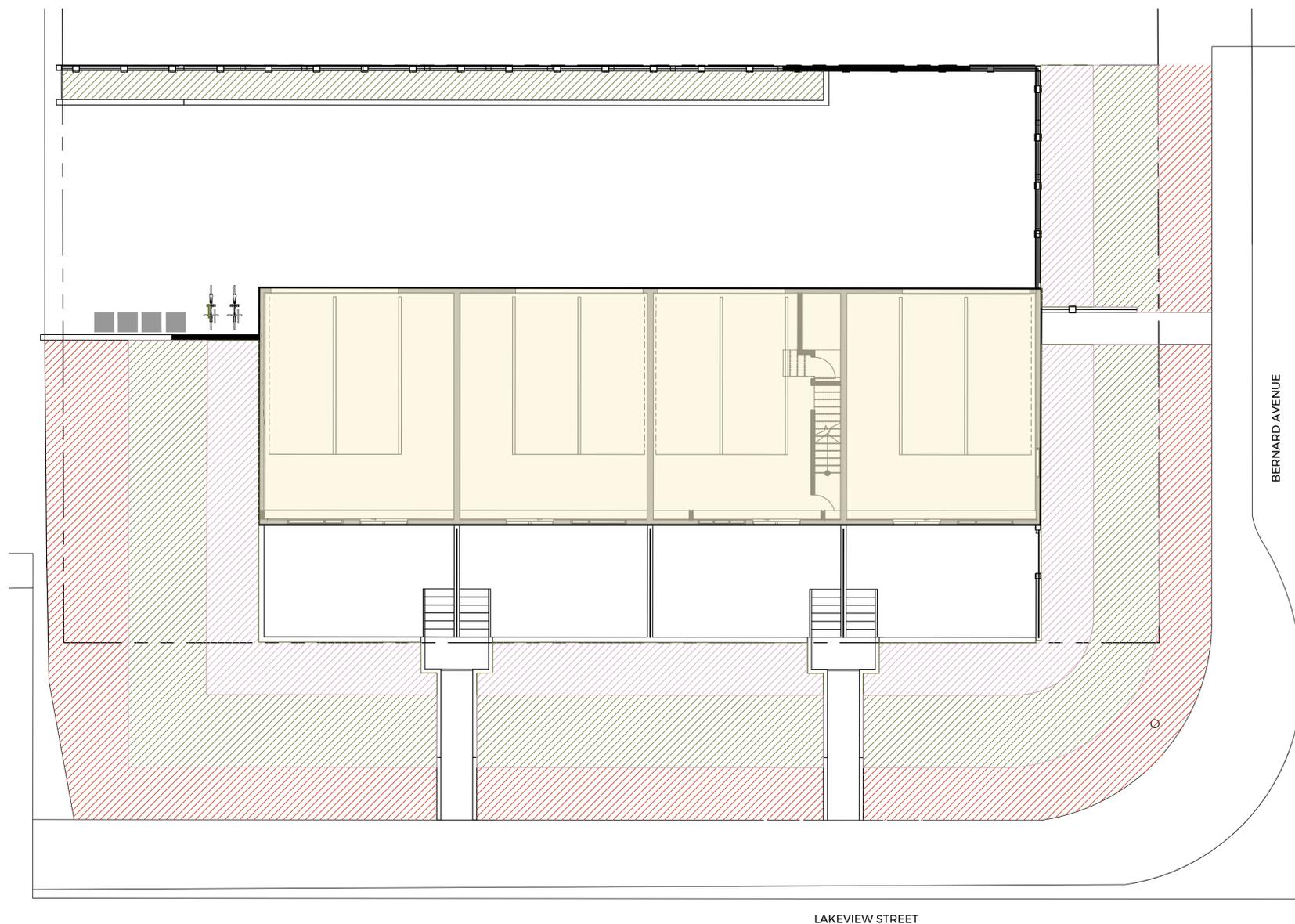
wsp
 540 Leon Avenue, Kelowna, BC V1Y6J6
 t. 250.869.1334, f. 250.862.4849, www.wsp.com

DESIGN BY: BD	SHEET TITLE: SITE PLAN
DRAWN BY: YY	
CHECKED BY: BD	
PROJECT NO: 17M-01929	SHEET NO: LDP-1
SCALE: 1:100	1 OF 2



HYDROZONE LEGEND:

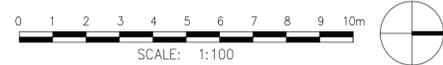
- LOW WATER REQUIREMENTS
(224.0m.sq.)
- MODERATE WATER REQUIREMENTS
(121.0m.sq.)
- HIGH WATER REQUIREMENTS
(178.0m.sq.)



LAKEVIEW STREET

BERNARD AVENUE

1 HYDROZONE PLAN
LDP2 SCALE: 1:100



REVISIONS / ISSUED	
NO.	DESCRIPTION
1	NOV 02/17 ISSUED FOR DP

PROJECT
1371 BERNARD AVENUE 4-PLEX

CLIENT

LOCATION
KELOWNA, B.C.

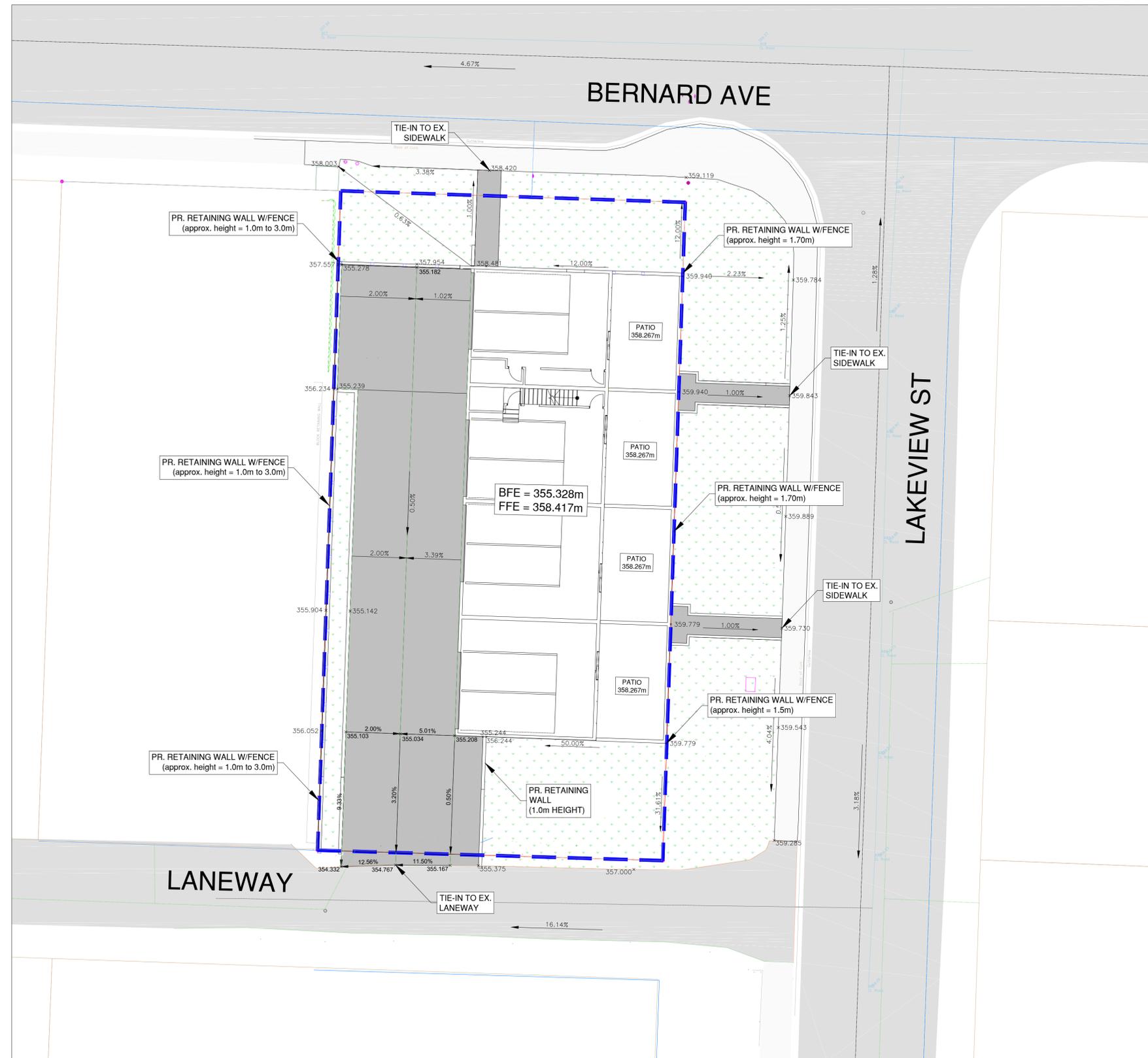


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DESIGN BY	BD
DRAWN BY	YY
CHECKED BY	BD
PROJECT NO.	17M-01929
SCALE	1:100

SHEET TITLE
HYDROZONE PLAN

SHEET NO.
LDP-2 2 OF 2



FILE LOCATION: F:\Projects\0035_Bernard_Plex\035-4-1_Draft\035-4-1_Draft\PRODUCTION\PROD-0P.dwg PRINTED ON: 11/21/2017 4:20 PM

LEGEND		LEGEND	
WATER		M.H.	
SAN. SEWER		U.P.	
STORM SEWER		P.P.	
GAS		L.S.	
U/G TELEPHONE		C.B.	
U/G ELECTRICAL		HYDRANT	
		TREES	
		SURVEY MONUMENT	
		PAVE WITH ASPHALT	
		REMOVE-REGRADE-REPLACE	
		LEVEL COURSE	

NO.	YY/MM/DD	BY	REVISION	CH'KD



BASE	JP
DESIGN	JP
APPROVED	-
DATE	2017/11/21
SCALE	1:150

CITY OF KELOWNA
 DESIGN AND CONSTRUCTION
GRADING PLAN
BERNARD 4 PLEX
1371 BERNARD AVE

The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.	
DRAWING NO.	REV. NO.
2	0
CITY OF KELOWNA FILE NO.	
-	