



EMIL ANDERSON CONSTRUCTION (EAC) INC.

March 27, 2017

City of Kelowna
1435 Water Street
Kelowna, BC
V1Y 1J4

Attention: Benjamin Walker, RLA
Property Officer II

**Re: Cantina Court
Project Proposal – Land Swap Review**

Dear Mr. Walker,

Please find enclosed for City review, EAC's proposal for the Cantina Court housing development, a proposed Low Density Row Housing (Hillside Area) project located at 680 Cantina Court, Kelowna BC.

This letter provides an overview of the proposed EAC project, including history of the initial intent for the site, and why the updated proposed use is best suited for the site today. In order to move this project forward, EAC will be proposing a land swap with the City of Kelowna due to spatial and grading constraints. We ask that you please circulate this information to the necessary departments for comment and approval of the land swap so that we may move forward with subsequent Rezoning and Development Permit applications.



ATTACHMENT A

This forms part of application # **OCP17-0020 Z17-0091**

City of Kelowna
COMMUNITY PLANNING

Planner Initials **TA**

This 0.731 acre irregularly shaped property is currently zoned C2 – Neighborhood Commercial. This property is bound on the north, east, and west sides by City property zoned P4, and on the south by Cantina Court. There is an existing City right-of-way crossing the center of the lot (south-north) for an existing City storm main, directing drainage collected by the main within Cantina Court to the existing drainage ditch along the south side of South Ridge Drive.

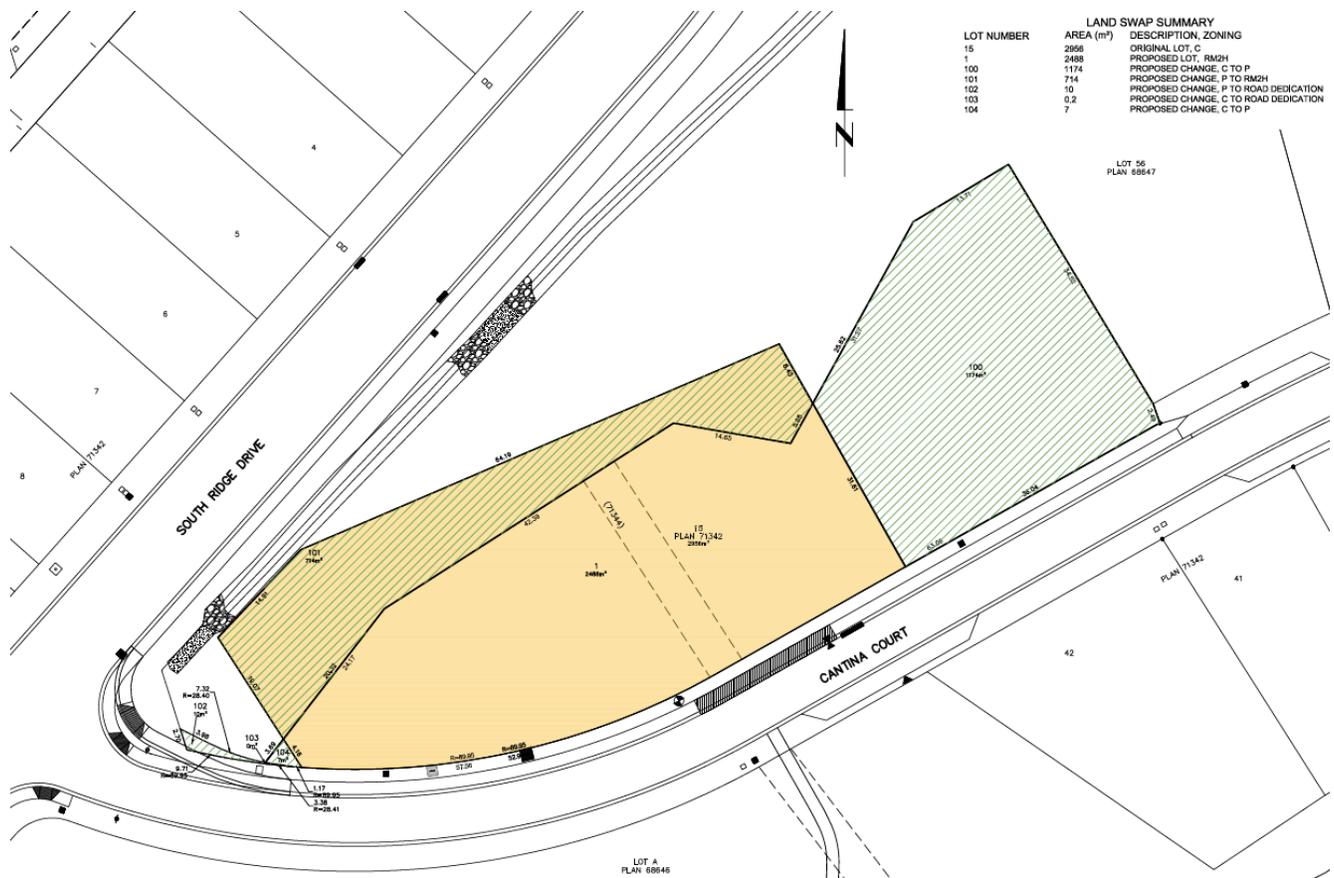
The original vision for this property was in keeping with the current C2 zone, a commercial building at the northeast end of the property atop the knoll in that area, with supporting surface parking in the southwest area at the lower elevation. These two areas would be connected via a stairway. Today, this mid 90's concept of an isolated standalone food and beverage establishment is simply not viable. Other uses under the C2 zoning were considered, but none gained traction with possible tenants.

EAC has opted instead to move forward with a revised vision for the property. Working with GTA Architecture and CTQ Consultants, EAC is proposing a low density row housing development which will integrate nicely with the existing neighborhood. Both the Architecture and the Engineering teams have identified site constraints and suggested plans and modifications to make this updated vision feasible.

The proposed land swap is triggered by the spatial and grading constraints. As seen in the included plans and below rendering, the site has considerable grade change from east-west and from south-north, as well as a knoll in the northeastern portion of the site. The proposed building layout takes advantage of the gentlest slopes in the southwest area, but due to the size of the proposed unit footprints, re-grading at the rear of the buildings is required.



Utilizing walk-out structures for units 1-5 makes the most efficient use of the natural grade. Unit 5/6 as proposed would encroach on the slope of the knoll, as such a combination of a walk-out and walk-up unit is best suited to interface with the hillside, minimizing the impact to the surrounding area. Note that the architectural renderings are yet to be updated to show Unit 6 as a walk-up design; however this chance has been reviewed in full by the civil engineering team and is illustrated in the grading design. Renderings will be updated prior to subsequent submissions.



The proposed land swap boundary is based on the intention to contain the majority of all required re-grading within the proposed lot, while also adhering to all setback requirements associated with an RM2h zone, for which EAC intends to propose a rezoning. This concept was reviewed with City staff on February 23, 2017. As shown on the plans, the area proposed to be transferred to the City is 1,181m², while EAC is proposing the City transfer 714m², a ±1.65:1 swap in favor of the City.

It is noted that EAC also presented another option to the City on February 23, 2017, where the proposed boundary would entirely contain all required re-grading. The alternative swap option resulted in a ratio closer to 1:1, still marginally in favor of the City.

From an access perspective, it is noted that previous discussions with the City identified that EAC would be permitted to have a driveway access to Cantina Court for each unit. While it is understood this is not typical for a strata development, it makes best use of an already spatially challenging site, as a common entry and internal fronting road would not fit, and is also a preferred function for a site with access via a hillside road only. Supporting correspondence from past discussion is included for your reference.

Public utilities are in place to service this lot. It is noted that conceptual plans indicate a reduction to cover over the existing storm main routed through the site, however it is very likely that minimum 1.0m cover can be maintained through detailed grading design. In the event that cover cannot be maintained, it is noted that the mains may easily be lowered between Cantina Court and the South Ridge Drive ditch network.

CTQ has identified that the existing sanitary connection off Cantina Court is at too high an elevation to service units 1-4, which was expected as this lower level area of the site was intended to be a parking lot. EAC would seek approval to install a second connection further downstream off Cantina Court for service to units 1-4.

A single water connection would service all the units, with the location of the City meter to be determined.

Finally, it is proposed that the intersection of Cantina Court and South Ridge Drive be improved. It is proposed that the north Cantina Court curb tie be re-aligned to widen the intersection, as the existing intersection is based on previous hillside standards and the upgrade will also improve function of the non-perpendicular intersection.

It is our intention to finalize the proposed land swap boundaries as quickly as possible to the satisfaction of all, as such, we welcome the opportunity to assist in any way we can. If there are any questions about the information contained within, please don't hesitate to contact Matthew Temple at 250-763-8232 x289 or Gregory Asling x247.

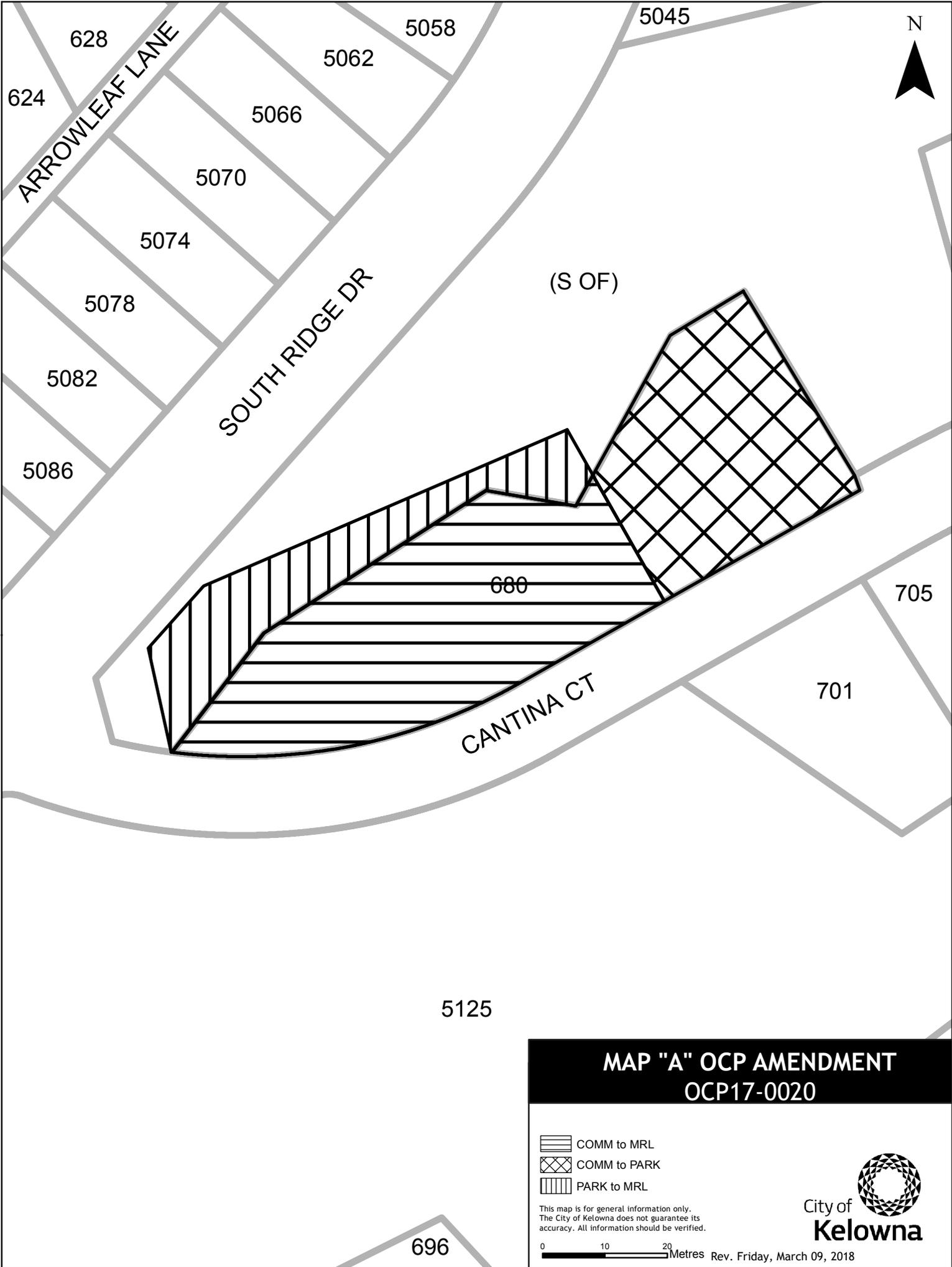
Yours truly,

Emil Anderson Construction (EAC) Inc.



Matthew J. Temple, P.Eng
Development – Construction Manager

Encl. Current City Property Reports
Cantina Court Preliminary Grading; CTQ Consultants
Site Plan / Land Swap Plans; CTQ Consultants
Perspective and Elevation Views; GTA Architecture
Past City correspondence (site access)



**MAP "A" OCP AMENDMENT
OCP17-0020**

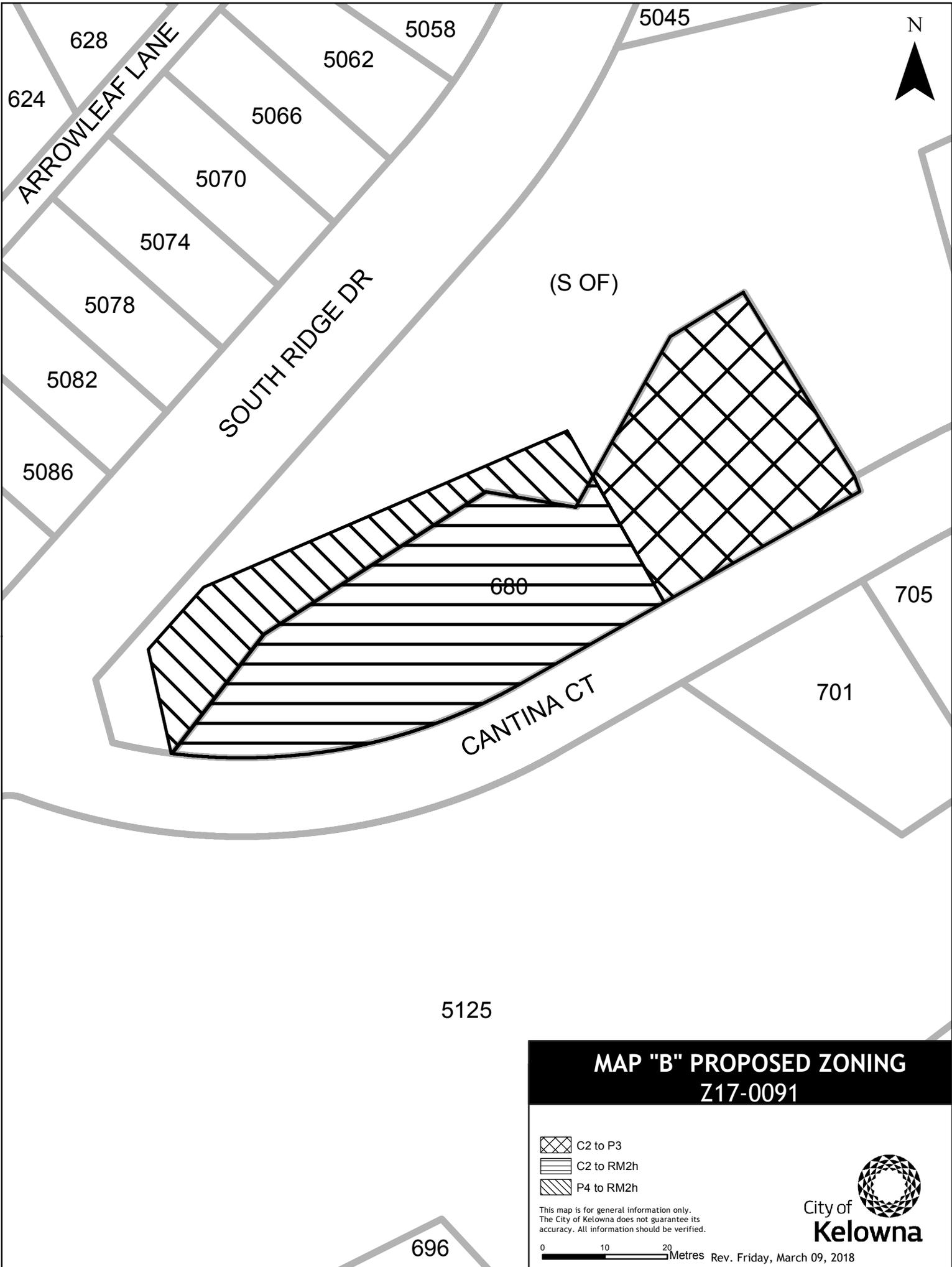
-  COMM to MRL
-  COMM to PARK
-  PARK to MRL

This map is for general information only.
The City of Kelowna does not guarantee its
accuracy. All information should be verified.

0 10 20 Metres



Rev. Friday, March 09, 2018



**MAP "B" PROPOSED ZONING
Z17-0091**

-  C2 to P3
-  C2 to RM2h
-  P4 to RM2h

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0 10 20 Metres



Rev. Friday, March 09, 2018

CITY OF KELOWNA
MEMORANDUM

Date: November 1, 2017
File No.: Z17-0091
To: Community Planning (TB)
From: Development Engineering Manager (JK)
Subject: 680 Cantina Court Lot 15 Plan 71342 C2 to P4, RM2H

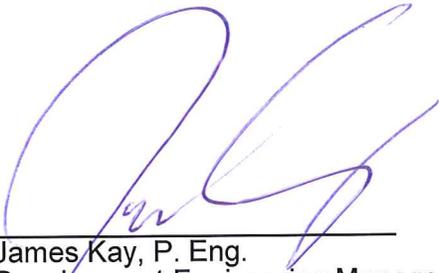
Development Engineering has the following comments and requirements associated with this application.

The Development Engineering Technologist for this project is John Filipenko ASCT

The road frontage for the subject parcel is fully urbanized with curb and gutter, sidewalk piped storm drainage system and street lighting. Boulevard landscaping, the re-location or adjustment of existing utility appurtenances if required to accommodate development of the subject parcel will be at the applicant's expense.

The subject parcel is currently serviced with large diameter sanitary and water services. Service upgrades or adjustments, if required, will be at the applicant's expense.

The property is within pending Water Extended Service Area 17. A ESA charge of \$1,769.00 per EDU will be assessed at time of development.



James Kay, P. Eng.
Development Engineering Manager
JF

SCHEDULE		A
This forms part of application # OCP17-0020 Z17-0091		
Planner Initials	TA	 City of Kelowna <small>COMMUNITY PLANNING</small>