
CITY OF KELOWNA

MEMORANDUM

Date: December 12, 2017
File No.: DP17-0267
To: Community Planning (BC)
From: Development Engineering Manager (JK)
Subject: 730-760 McCurdy Road _ *REVISED* Commercial Building

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Aaron Sangster.

1. Domestic Water and Fire Protection

- (a) This development is within the service area of the Black Mountain Irrigation District (BMID). The developer is required to make satisfactory arrangements with the BMID for these items. All charges for service connection and upgrading costs are to be paid directly to the BMID.

2. Sanitary Sewer

- (a) The existing lot is serviced with 200mm diameter sanitary service. The developer's consulting mechanical engineer will determine the requirements of this proposed development and establish the required size and preferred location of the new service. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal of all existing service and the installation of a new larger service if necessary.

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems.

4. Road Dedication and Subdivision

- (a) *The ultimate width of McCurdy Road between Hollywood Road and Hwy 97 is established as a 4 lane arterial roadway, complete with a 30.0m right of way (R.O.W). The R.O.W. in the front of the subject property is deficient by approximately 5.0m. It is recommended that an additional 5.0m road reserve be register for future sale to the City of Kelowna.*
- (b) Grant Statutory Rights of Way if required for utility services.

- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

5. Electric Power and Telecommunication Services

- (a) All proposed distribution and service connections are to be installed underground.
- (b) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- (c) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

6. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the city engineering department for review and marked "issued for construction" by the City Engineer before construction may begin.

7. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

8. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, Identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.

DP17-0011

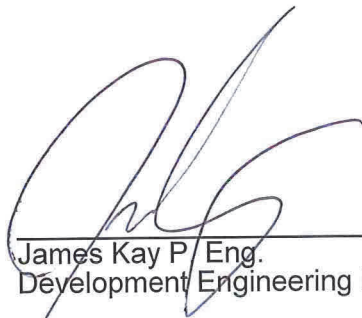
ATTACHMENT A	
This forms part of application # DP17-0267 and DVP17-0268	
Planner Initials	BC
City of Kelowna COMMUNITY PLANNING	

- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

9. Development Permit and Site Related Issues

Access and Manoeuvrability

- (a) Access to the site will be permitted from the McCurdy Road only.



James Kay P. Eng.
Development Engineering Manager
AS

CITY OF KELOWNA

MEMORANDUM

ATTACHMENT A

This forms part of application

DP17-0267 and DVP17-0268

Planner
Initials

BC



Date: December 19, 2017

File No.: DVP-0268

To: Urban Planning (BC)

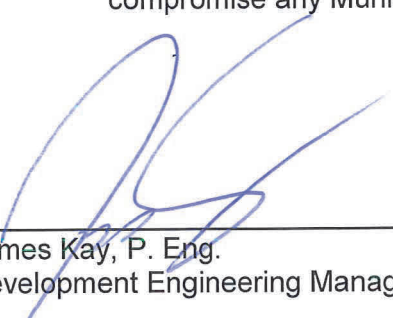
From: Development Engineer Manager (JM)

Subject: 730 McCurdy Rd., Lot 63 Plan 426, Sect. 27, TS 27, ODYD Side yard variance

The Development Engineering Branch comments and requirements regarding this application for a Development Variance Permit are as follows:

1. General.

The requested variance to reduce the side yard setback from 4.5 m. to 0.0 m. does not compromise any Municipal infrastructure or services.



James Kay, P. Eng.
Development Engineering Manager

agm

November 23, 2017

City of Kelowna
Development Services
1435 Water Street,
Kelowna, BC
V1Y 1J4

Attention: Community Planning

**RE: Development Permit with Variance Application
Proposed Development at
730 McCurdy Road, Kelowna, BC**

Please find attached our Development Permit with Variance Application for the referenced property. This proposed project was the subject of prior Development Permits DP14-0130 and DVP14-0131 that never followed through into production due to market conditions. Enclosed are the following documents:

1. Our cheque covering the application fees, in the amount of \$3,050.00.
2. Development Application Form with Complete Application Checklist.
3. State of Title, with covenants.
4. Owner's letter of authorization of agent.
5. Zoning analysis table.
6. Site Profile Waiver.
7. Photographs of the site and surrounding context. (10 No)
8. Sustainability Checklist.
9. Letter on purpose, variance and the project.
10. 2 sets of full size (24" x 36") drawings.
11. 2 sets of 8.5 x 11 size drawings.
12. 1 digital file of drawings on CD.
13. Landscape cost estimate.
14. 1 - 8½" x 11" Colour Streetscape drawing by Krahn dated Nov.21, 2017.

Drawing Sets include:

- A4.0 Colour Elevations by Krahn dated Nov.21, 2017.
- A2.0 Site Plan by Krahn dated Nov.21, 2017.
- A3.0 Floor Plan by Krahn dated Nov.21, 2017.
- A4.0 Elevations by Krahn dated Nov.21, 2017.
- Concept Landscape Plan by CTQ (Colour) dated Nov.21, 2017.



Development w/ Variance Permit Application
Proposed Development
730 McCurdy Road, Kelowna, BC
November 23, 2017

We have included a cheque covering fees as if this were a full and totally new development permit application, however, as the application is identical to the former approved DP & DVP and the neighbouring property has reached third reading with its rezoning, we ask if there is an opportunity to consider reduction of the fees and possibly consideration of the setback variance at a staff level based on Council's prior approval?

The enclosed provides a complete application. Should you have any questions please contact me at 250-763-6789.

Yours truly,
Argus Properties Ltd.

A handwritten signature in blue ink that reads "P Downward".

Peter Downward
VP Construction

Enclosures

CITY OF KELOWNA BYLAW ANALYSIS

- LEGAL DESCRIPTION: LOT 618, 145, OYD PLAN 438 EXCEPT PLANS 15819 AND A12869
- ZONING: GENERAL INDUSTRIAL
- SITE AREA: 5.81 Acres (2.4 ha) [253,081.06 sq ft] [23,512 m²]
- SITE COVERAGE:
EXISTING BUILDING A AREA = 3,978.9 sq ft
EXISTING BUILDING B AREA = 22,400.0 sq ft
EXISTING BUILDING C AREA = 14,430.0 sq ft
PROPOSED BUILDING D = 11,561.2 sq ft
TOTAL = 51,769.9 sq ft
PERMITTED SITE COVERAGE = 60%
PROPOSED SITE COVERAGE = 20.3%
- MAXIMUM PERMISSIBLE HEIGHT: 14.00m (45.93')
PROPOSED HEIGHT: 11.70m (38.40')
- SETBACKS:
FRONT YARD = 7.5m (24.61')
SIDE YARD = 4.5m (14.78') (VARIANCE REQUIRED)
REAR YARD = 0.0m (0.0')
- PARKING REQUIREMENTS:
2 STALLS PER 1,076.4 sq ft (100m²)
FOR ALL USES IN ZONE
LOADING - 1 STALL PER 20,451.4 sq ft (1,900m²)
EXISTING BUILDING 760 WAREHOUSE: (3,978.9/1,076.4) x 2 = 7.39
EXISTING BUILDING 750 WAREHOUSE: (22,400/1,076.4) x 2 = 41.62
EXISTING BUILDING 740 WAREHOUSE: (13,430/1,076.4) x 2 = 24.79
PROPOSED BUILDING 730 WAREHOUSE: (11,489.4/1,076.4) x 2 = 21.36
TOTAL PARKING REQUIRED: = 96 (95 (17) STALLS + 96 STALLS (70 EXISTING + 26 NEW))
*** FUTURE MEZZANINE: (3,896/1,076.4) x 2 = 7
LOADING STALL REQUIRED: 11,561.2/20,451.4 = 0.56
LOADING STALL PROVIDED: = 3

- PARKING SIZES:
TYPICAL SPACE (7.0m ASIDE) = 2.5m x 6.0m (8.20' x 19.69')
PAVEMENT SPACE = 2.5m x 7.0m (8.20' x 22.97')
SMALL CAR BAY (50%) = 2.3m x 4.5m (7.54' x 14.78')
HANDICAP SPACE = 3.7m x 6.0m (12.14' x 19.69')
LOADING SPACE = 3.0m x 9.30m (9.84' x 30.51')
- BICYCLE PARKING REQUIREMENTS:
0.3 STALL PER 1,076.4 sq ft (100m²) FLOOR AREA (CLASS I)
PROPOSED BUILDING: (11,489.4/1,076.4) x 0.3 = 3.20
REQUIRED: = 3

- ANY REINFORCING (OR METALLIC OBJECTS) WITHIN 1.5M OF FORTISBC TRANSFORMER BASE SHALL BE CONNECTED TO FORTISBC TRANSFORMER GROUNDING BUS PER FORTISBC REQS

- PAD MOUNT TRANSFORMER AS PER ELEC.

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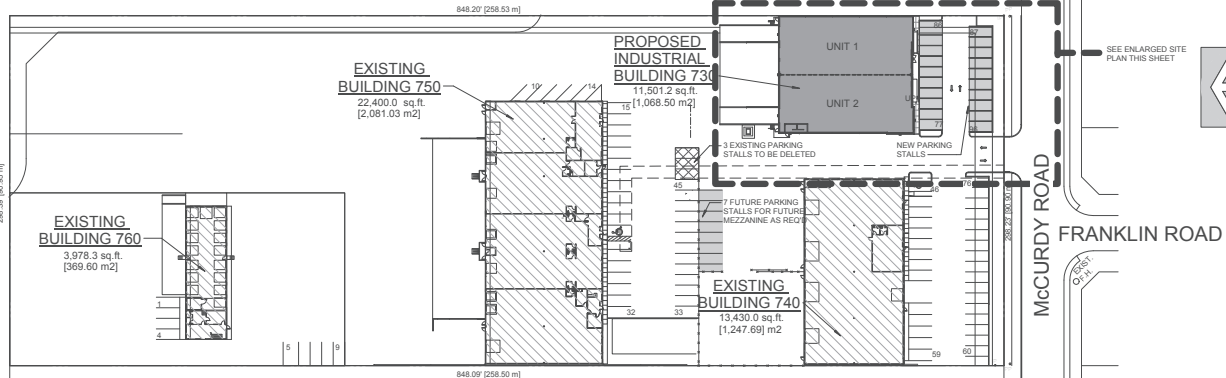
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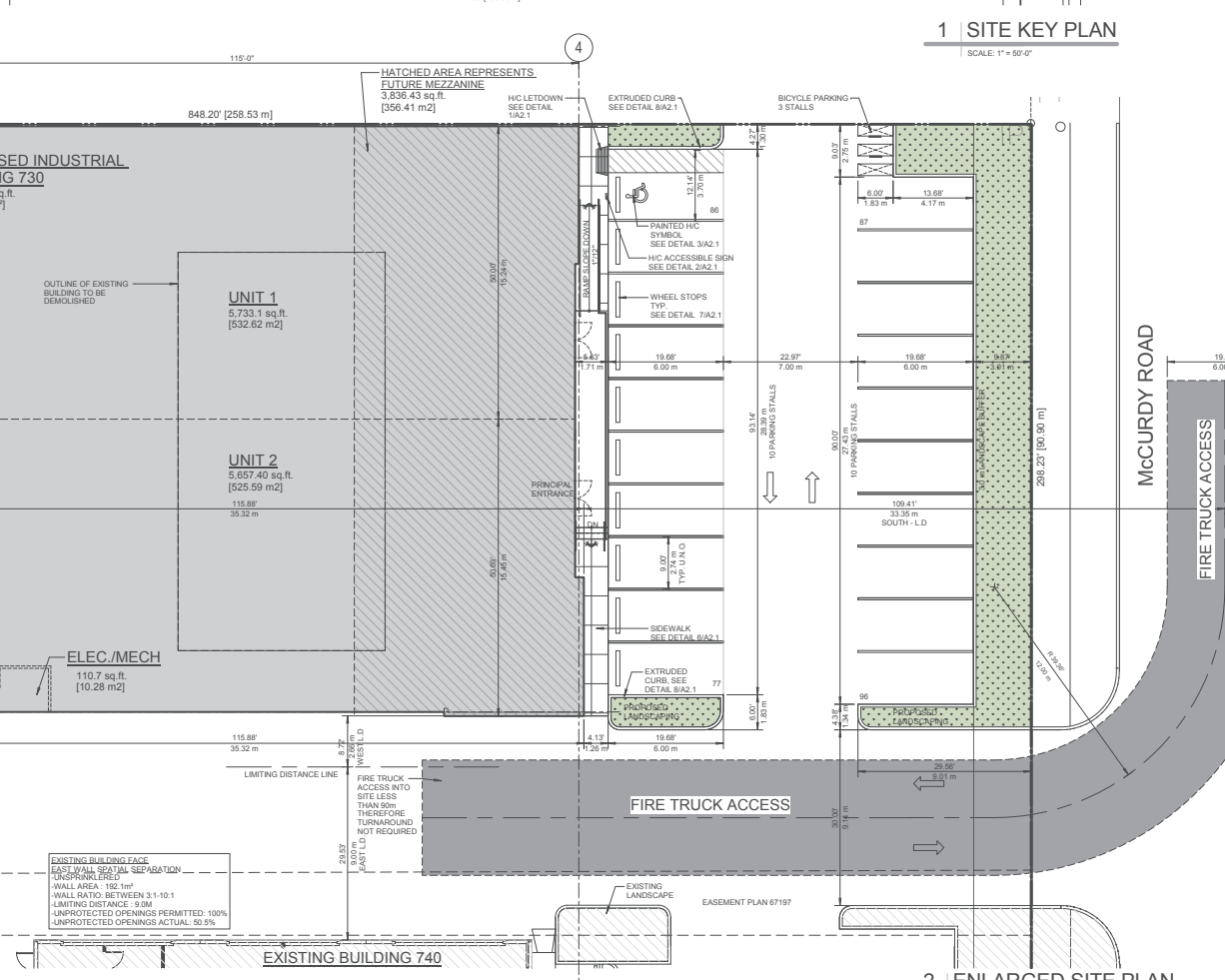
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1 SITE KEY PLAN

SCALE: 1" = 50'-0"



2 ENLARGED SITE PLAN

SCALE: 1" = 10'-0"

SCHEDULE A

This forms part of application
DP17-0267 and DVP17-0268

Planner Initials **BC**

City of Kelowna
COMMUNITY PLANNING



ABBOTSFORD OFFICE
400-2407-2407 ABBOTSFORD B.C. V2S 2B8
T: 250.255.0000 www.krahn.com

EDMONTON OFFICE
1000, 7517-17000 AVENUE, EDMONTON AB, T5A 1A8
T: 780.480.0000 www.krahn.com

VANCOUVER OFFICE
110, 2000 WESTERN WAY, VANCOUVER B.C. V6C 3K4
T: 604.255.0000 www.krahn.com



ARGUS PROPERTIES LTD.

NO.	DATE YMD	DESCRIPTION
4.	2017/11/21	ISSUED FOR DEV. PERMIT
3.	2016/11/27	RE-ISSUED FOR BUILDING PERMIT
2.	2014/05/29	ISSUED FOR BUILDING PERMIT
1.	2014/07/04	ISSUED FOR DEV. PERMIT
ISSUES AND REVISIONS		
SEAL		

ISSUES AND REVISIONS

SEAL

PROJECT NAME

McCurdy Road Service Commercial

PROJECT ADDRESS

730 McCurdy Road, Kelowna, BC

DRAWING TITLE

SITE PLAN

SCALE

As Indicated

DRAWN

NABESS/WH

CHECKED

DC

PROJECT NO.

A74241

DRAWING NO.

A2.0

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1	2014/10/01	ISSUED FOR DEV. PERMIT
2	2014/10/01	ISSUED FOR BUILDING PERMIT
3	2014/10/01	ISSUED FOR BUILDING PERMIT
4	2014/10/01	ISSUED FOR BUILDING PERMIT
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18	2014/10/01	ISSUED FOR BUILDING PERMIT
19	2014/10/01	ISSUED FOR BUILDING PERMIT
20	2014/10/01	ISSUED FOR BUILDING PERMIT

larry podhora / architect
100 BURNHAMWAY NORTH BARRON, BC V6L 5C2
T: 778.255.0248

PROJECT NAME
McCURDY ROAD SERVICE COMMERCIAL

PROJECT ADDRESS
730 McCURDY ROAD, KELOWNA, BC

DRAWING TITLE
ELEVATIONS

SCALE
As indicated

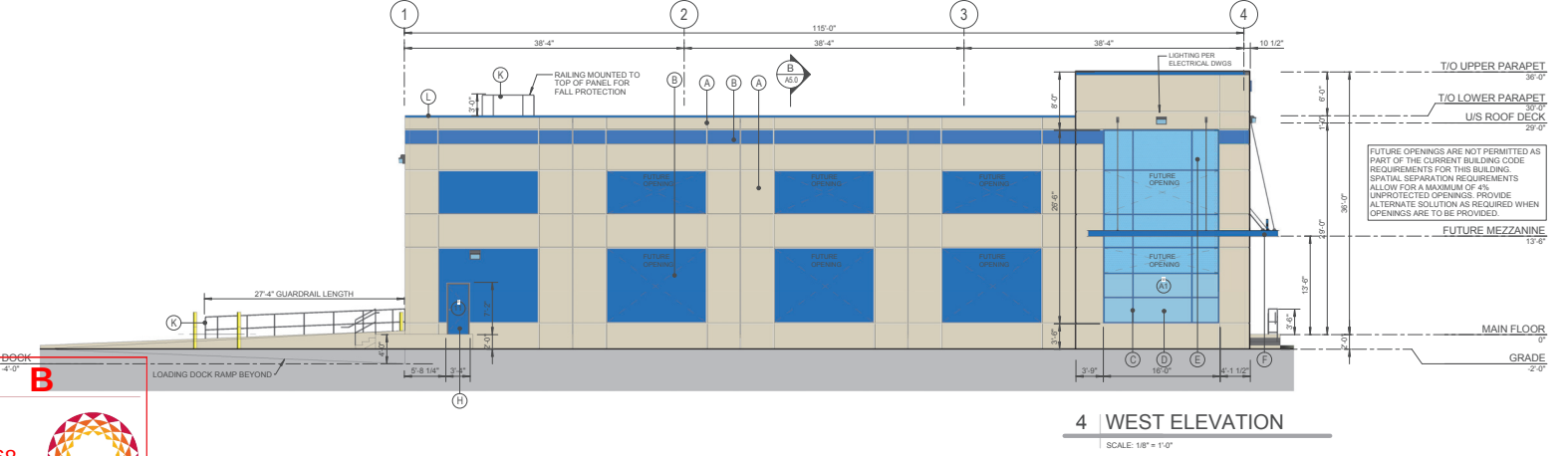
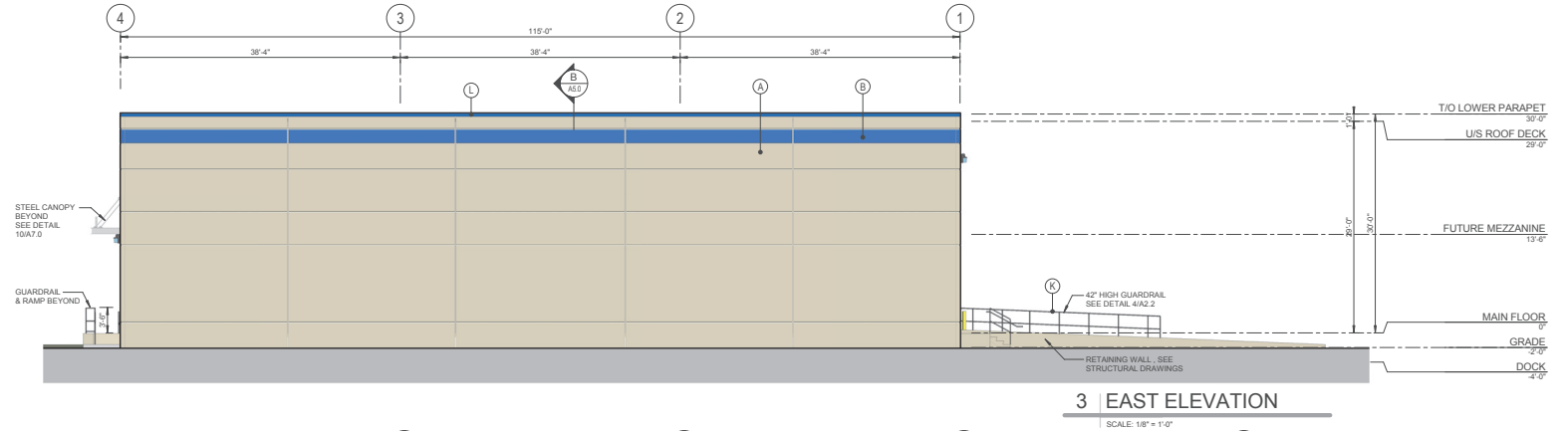
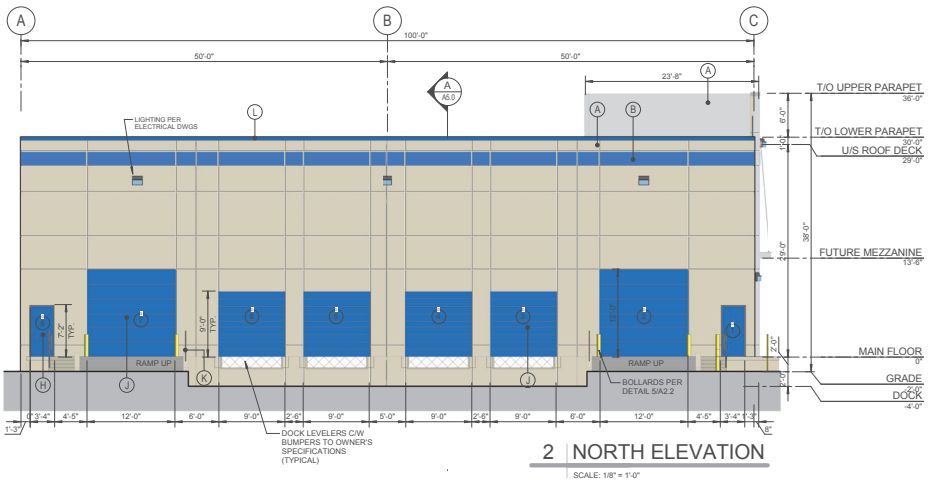
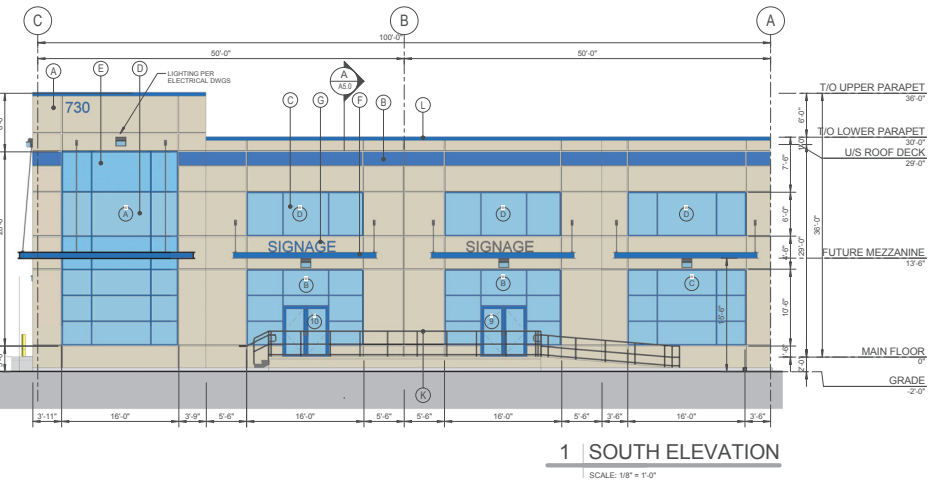
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PROJECT NO.
A74261

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A4.0

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FINISH SCHEDULE

A	CONCRETE TILT PANEL - COLOUR C1
B	CONCRETE TILT PANEL - COLOUR C2
C	PRE-FINISHED EXTRUDED ALUMINUM STORE FRONT - COLOUR C2
D	GLAZING - VISION - TINTED BLUE
E	GLAZING - SPANDREL - TINTED BLUE
F	STEEL CANOPY - PAINTED - COLOUR C2
G	SIGNAGE BY TENANT
H	STEEL MANDOR - PAINTED - COLOUR C2
J	OVERHEAD DOOR - PAINTED - COLOUR C2
K	STEEL RAILING - PAINTED - COLOUR C2
L	METAL FLASHING - PAINTED - COLOUR C2

COLOUR SCHEDULE

C1	COLOUR TO MATCH EXISTING BUILDINGS (CLOVERDALE PAINT FORMULA B-43 C-2) 1-38 Kx-3y D-2
C2	COLOUR TO MATCH EXISTING BUILDINGS (2577 Ford Blue 7065401)

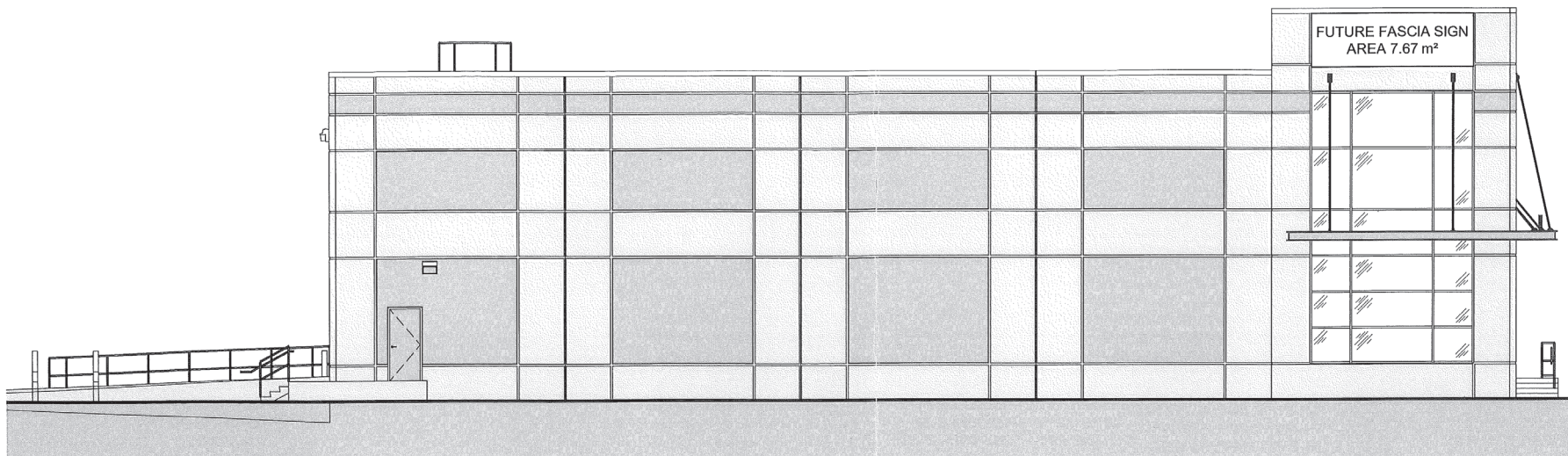
NOTE: GLAZING COLOUR TO MATCH EXISTING BUILDINGS

SCHEDULE

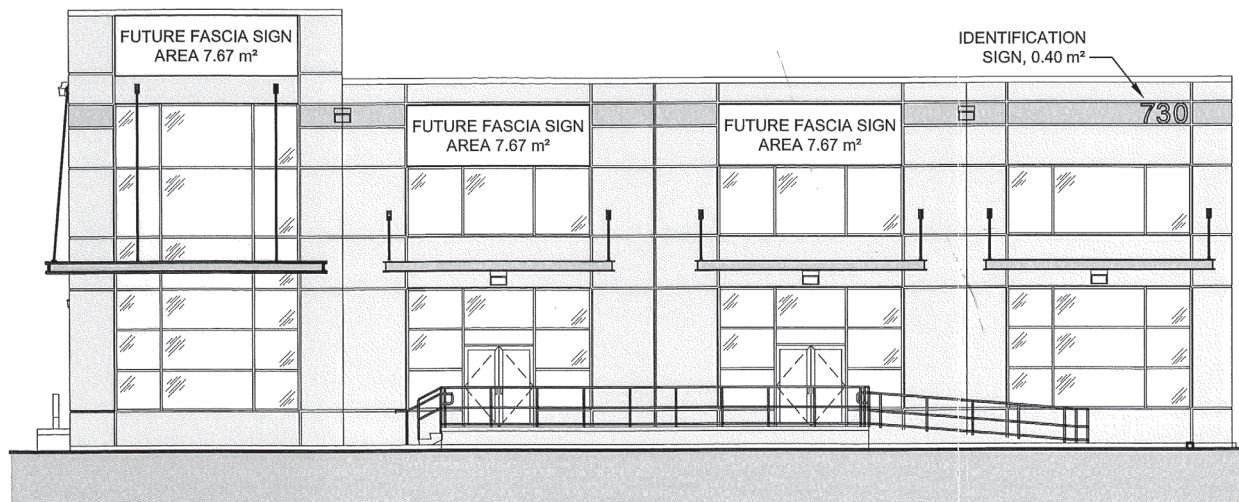
This forms part of application
DP17-0267 and DVP17-0268

City of Kelowna
COMMUNITY PLANNING

Planner Initials **BC**



WEST ELEVATION



SOUTH ELEVATION

SIGN STANDARDS

IDENTIFICATION SIGNS ALLOWED 2
IDENTIFICATION SIGNS PROPOSED 2

ADDRESS IDENTIFICATION SIGN WILL BE BLUE
POWDER-COATED PINNED ALUMINUM NUMBERS

FASCIA SIGNS ALLOWED (2 BUSINESSES) 4
FASCIA SIGNS PROPOSED 4

FASCIA SIGN AREA ALLOWED, PER SIGN 7.67 m²
FASCIA SIGN AREA PROPOSED, PER SIGN 7.67 m²

PER SIGN BYLAW NO. 8235 SECTION 6.1, 2 SIGNS PER
BUSINESS, MAX 1.0 m² SIGN AREA PER METER BUILDING
FRONTAGE = 1.0 m² x 30.69 m = 30.69m² / 4 SIGNS = 7.67 m²
MAX PER SIGN, UP TO 20% OF WALL AREA = 310.5 m² x 0.20
= 62.1 m² / 3 SIGNS (SOUTH FACE) = 20.7 m² MAX PER SIGN

FASCIA SIGNS WILL BE CONTOUR-CUT HIGH-DENSITY
FOAM, GEMINI FORMED PLASTIC, DIGITAL-CUT VINYL OR
ILLUMINATED OR NON-ILLUMINATED CHANNEL SIGNS,
CONSISTING OF LETTERS AND CORPORATE LOGOS.



Suite 300 - 1060 Manhattan Drive
Kelowna, British Columbia V1Y 9X9
T:(250) 763-6789 F:(250) 763-6799

PROJECT:

DVP17-0268
730 McCURDY ROAD

DRAWING:

SIGN PLAN

DATE:

FEB.08/18

INIT.

CRM

SCHEDULE C

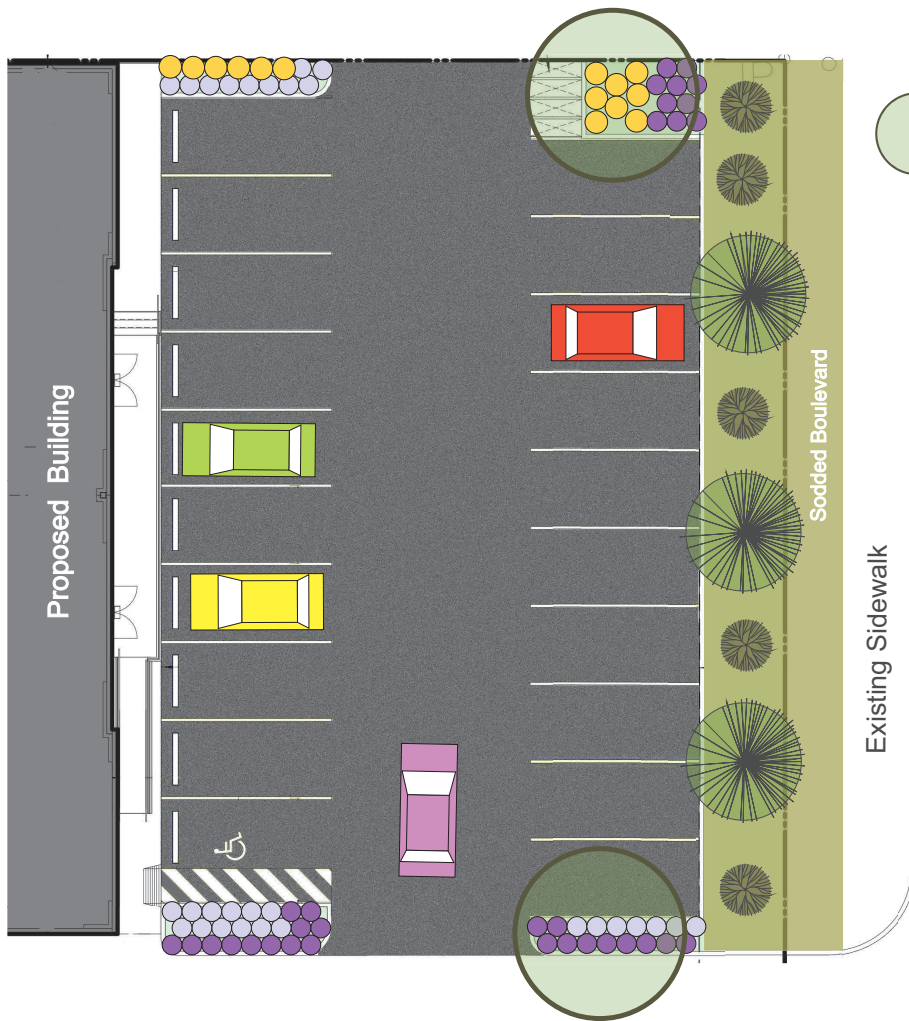
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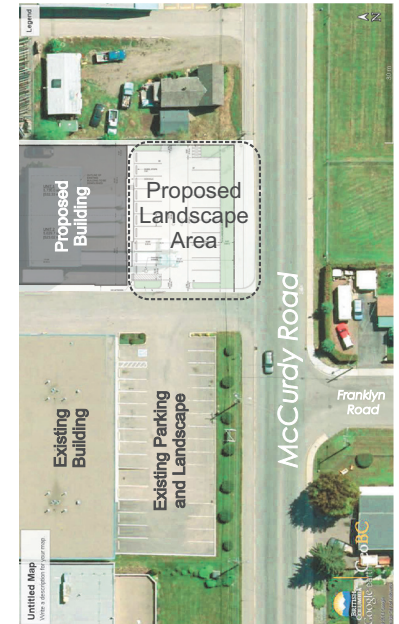


Proposed Plant List

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
	2	Gleditsia tricanthos 'skyline'	Skyline Honeylocust	75 mm cal	
	3	Syringa reticulata	Japanese Tree Lilac	50 mm cal	
	32	Lavandula angustifolia	Munstead English Lavender	No 2 pot	
	14	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	No 2 pot	
	29	Helictotrichon sempervirens	Blue Oat Grass	No 2 pot	
	5	Pinus mugo	Mugo pine	No 5 pot	

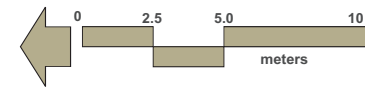


- Notes**
- The illustrated landscape plan is conceptual only, not for construction.
 - All plants, material and planting practices to conform to the Canada Landscape Standard - Current Edition
 - Contractor to provide a warranty and maintenance period of 1 year on all plants and materials. Plants and materials that fail before end of the warranty period shall be replaced by the contractor.
 - All planting areas to receive 450mm of topsoil
 - Prior to delivery to site, a representative sample and test results of topsoil should be made available to the consultant for approval.
 - No plant species substitution will be accepted without the written consent of the consultant.
 - All planting beds to receive 50 mm depth of Ogo - Grow mulch.
 - Plant material selections are conceptual only. Final planting selections may vary depending on availability.
 - All planting beds and lawn areas to be irrigated.



Existing Streetscape

730 McCURDY ROAD CONCEPTUAL LANDSCAPE PLAN



NOV.21.2017

CTO

ENGINEERING PLANNING URBAN DESIGN

SCHEDULE

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City of
Kelowna
COMMUNITY PLANNING

