

---

## CITY OF KELOWNA

# MEMORANDUM

---

**Date:** February 1 2018  
**File No.:** Z18-0009  
**To:** Community Planning (BC)  
**From:** Development Engineering Manager  
**Subject:** 4185 McClain Road      Lot A Plan 7436

---

Development Engineering has the following comments and requirements associated with this application to rezone from RR1 to RR1C to permit the addition of a carriage home.

Domestic water and fire protection.

The subject property is within the service area of the South East Kelowna Irrigation District (SEKID). The applicant is required to make satisfactory arrangements with the SEKID for the following items:

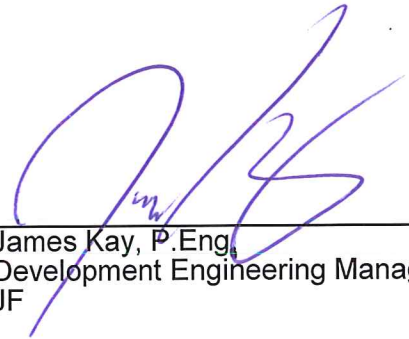
All charges for service connection and upgrading costs are to be paid directly to the SEKID.

The applicant is required to provide a confirmation that the district is capable of supplying fire flow in accordance with the City of Kelowna current Bylaws and Policies.

On-site servicing including the utilisation of existing or proposed services will be reviewed by Building & Permitting.

Sanitary Sewer.

This subject property is currently not within the City service area. Sanitary sewage is handled by on-site wastewater disposal system(s). The existing on-site system(s) are not shown in detail on the submitted Site Plan. The application will be reviewed by a Licenced Wastewater Practitioner and Building & Permitting. .

  
\_\_\_\_\_  
James Kay, P.Eng.  
Development Engineering Manager  
JF

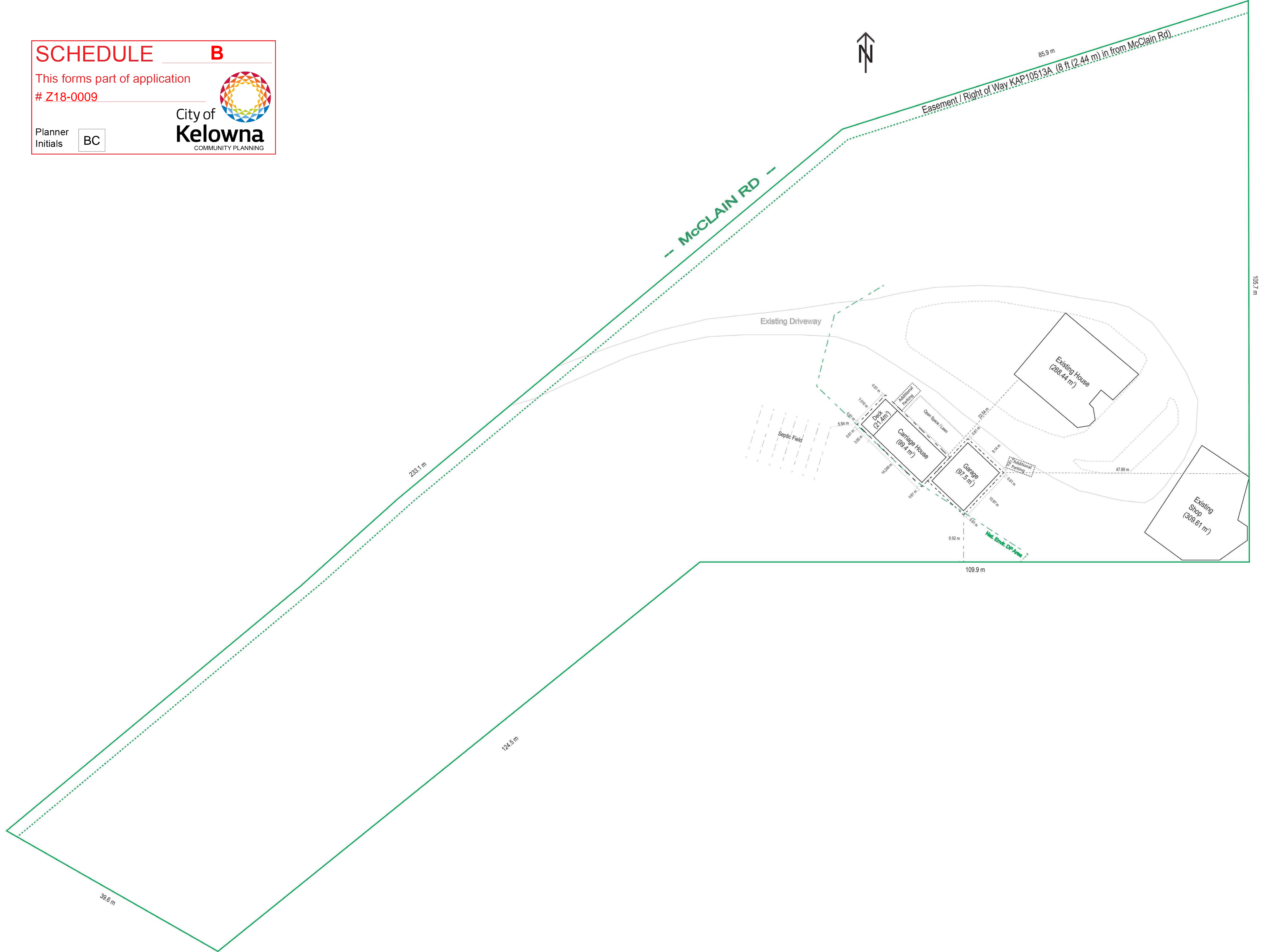
# B

# Z18-0009

BC



City of  
**Kelowna**  
COMMUNITY PLANNING



SCHEDULE B

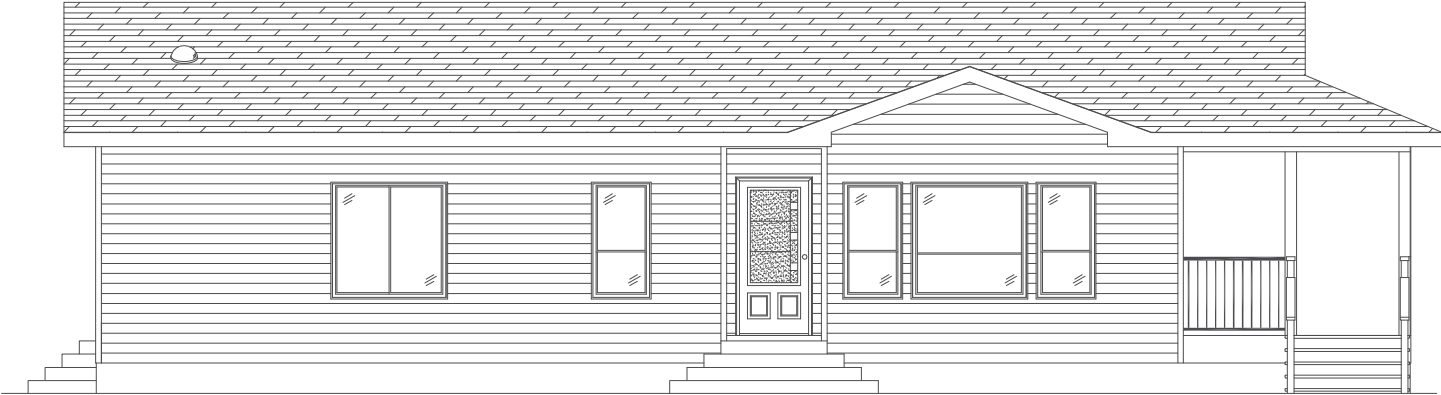
This forms part of application  
# Z18-0009



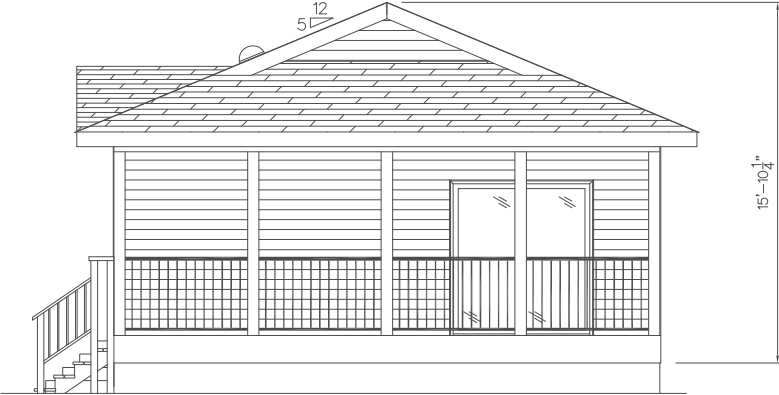
City of  
**Kelowna**  
COMMUNITY PLANNING

Planner  
Initials **BC**

CUSTOM PRINT



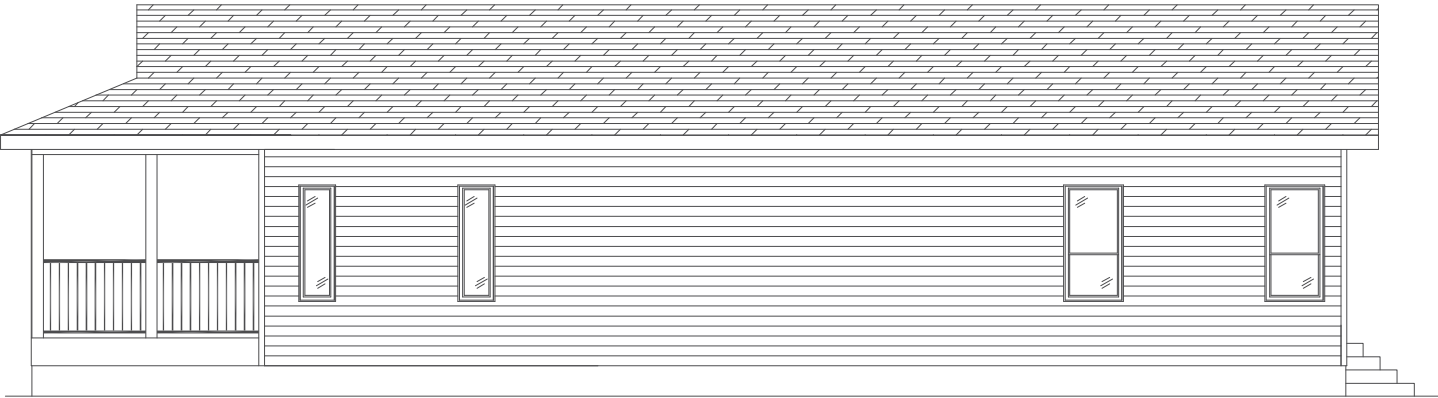
FRONT SIDE ELEVATION



FRONT END ELEVATION



BACK END ELEVATION



BACK SIDE ELEVATION

NOTES: MODULINE ASSUMES NO RESPONSIBILITY FOR  
FIRE SEPARATION, SEISMIC OR DOOR/WINDOW  
FENESTRATION REQUIREMENTS. CONSULT YOUR LOCAL  
BUILDING OFFICIAL OR ENGINEER OF RECORD TO CONFIRM

Any renderings and depictions are conceptual only and are for the convenience of reference. They should not be relied upon as representations, express or implied, of the final detail of the Units. Moduline Industries expressly reserves the right to make modifications, revisions, and changes it deems desirable in its sole and absolute discretion. All depictions of appliances, counters, furniture, finishes, lighting, plumbing fixtures, soffits, floor coverings and other matters of detail are conceptual only and are not necessarily included in each Unit. Consult your Purchase Agreement and the Offering Documents for the items included with the Unit. Dimensions and square footage are approximate and may vary with actual construction.



**MODULINE PENTICTON**  
P.O. BOX 190  
1175 RAILWAY STREET  
PENTICTON, B.C. V2A 6K3  
(250) 493-0122

CUSTOMER: \_\_\_\_\_  
SIGN  
DEALER: \_\_\_\_\_  
SIGN  
DATE: \_\_\_\_\_

DEALER CHANGE REQUEST

A	
B	
C	

TITLE: **CORNERSTONE**  
DRAWING NO.  
**Q11149C-24C04402-ELEVATION**  
DRAWN BY: K.E.A.  
DATE: 01/29/2018



# SCHEDULE

B

This forms part of application

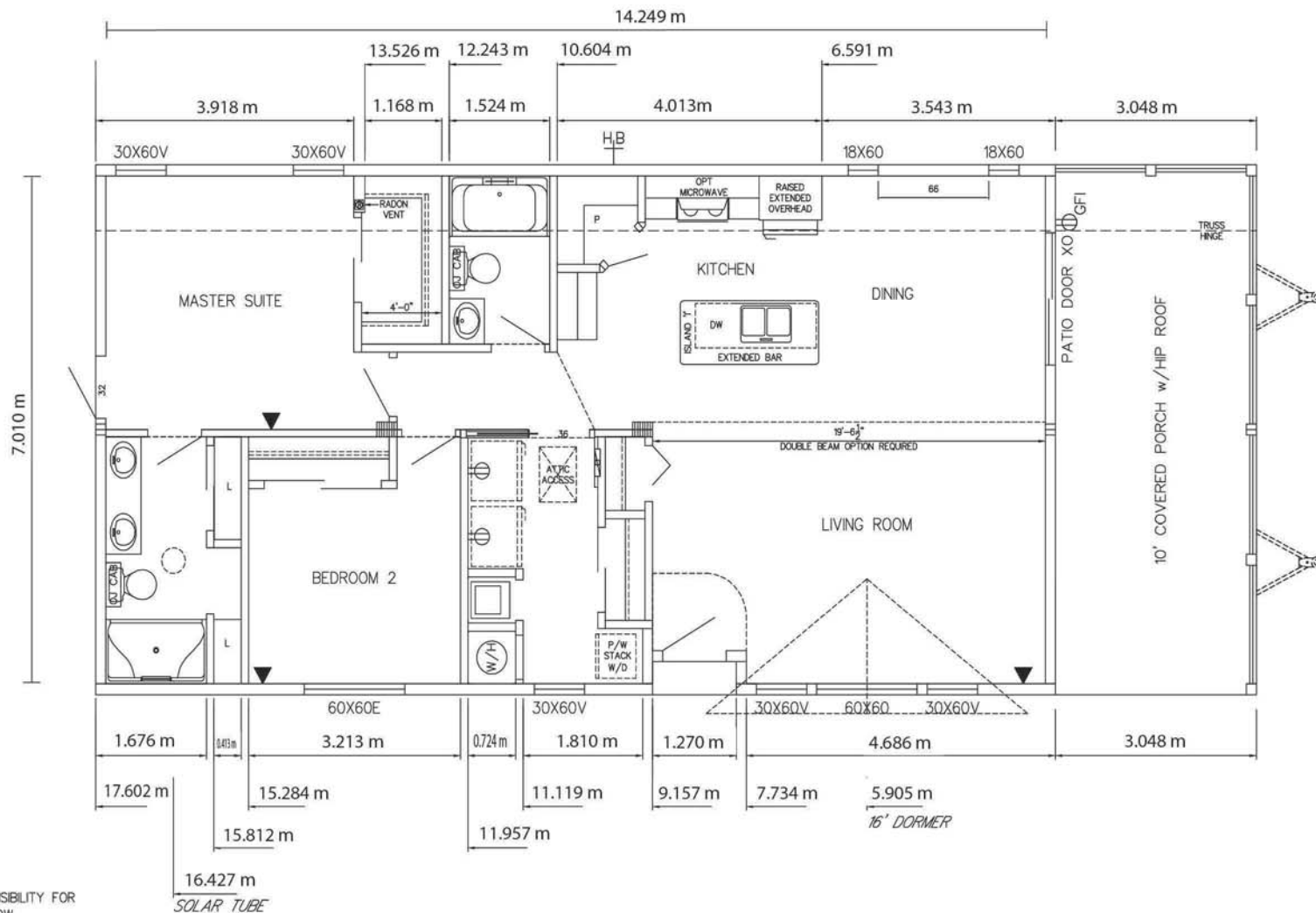
# Z18-0009

City of  
**Kelowna**  
COMMUNITY PLANNING

Planner  
Initials

BC

CUSTOM PRINT



NOTES: MODULINE ASSUMES NO RESPONSIBILITY FOR FIRE SEPARATION, SEISMIC OR DOOR/WINDOW FENESTRATION REQUIREMENTS. CONSULT YOUR LOCAL BUILDING OFFICIAL OR ENGINEER OF RECORD TO CONFIRM



**MODULINE PENTITION**  
P.O. BOX 190  
1175 RAILWAY STREET  
PENTITION, B.C. V2A 6K3  
(250) 493-0122

CUSTOMER: \_\_\_\_\_

SIGN

DEALER: \_\_\_\_\_

SIGN

DATE: \_\_\_\_\_

DEALER CHANGE REQUEST

A

B

C

TITLE: CORNERSTONE

DRAWING NO.

Q11149B - 24C04402

DRAWN BY:

K.E.A.

DATE:

01/26/2018