

MEMORANDUM

Date: January 19, 2018
File No.: Z18-0003

To: Community Planning (AC)

From: Development Engineering Manager (JK)

Subject: 1205-1241 Richter Street RU6 to RM6

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Jason Angus.

.1) General

- a) Where there is a possibility of a high water table or surcharging of storm drains during major storm events, non-basement buildings may be required. This must be determined by the engineer and detailed on the Lot Grading Plan required in the drainage section.
- b) Provide easements as may be required.

.2) Road Dedication and Subdivision Requirements

- a) Provide corner rounding or truncation dedication of 10m radius at Clement Ave and Richter Street.
- b) Lot consolidation.
- c) Access to the development should be via Laneway from Coronation Ave.
- d) All access points should be designed to the SS-C7 standard with a continuous sidewalk at property line.

.3) Geotechnical Study.

- (a) Provide a geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision. The Geotechnical reports must be submitted to the Development Services Department for distribution to the Development Engineering Branch and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval:



- i. Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
- ii. Site suitability for development.
- iii. Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- iv. Any special requirements for construction of roads, utilities and building structures.
- v. Recommendations for items that should be included in a Restrictive Covenant.
- vi. Recommendations for roof drains, perimeter drains and septic tank effluent on the site.
- vii. Any items required in other sections of this document.

Additional geotechnical survey may be necessary for building foundations, etc

.4) Water

- a) The properties are located within the City of Kelowna service area. The existing lots are serviced with small -diameter water services (6). Only one service will be permitted to the site or per property. The applicant, at his cost, will arrange for the removal of all existing services and the installation of one new larger metered water service.
- b) The developer's consulting engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs. The bylaw requirement for residential zoning is 150l/s and is available at the site. If it is determined that upgrades to any other existing water distribution system must be made to achieve the required fire flows, additional bonding will be required.
- c) An approved backflow protection device must also be installed on site as required by the City Plumbing Regulation and Water Regulation bylaws.
- d) A water meter is mandatory for this development and must be installed inside a building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost

.5) Sanitary Sewer

- a) The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services (6) and the installation of one new larger service.

- b) A flow analysis check is required by the developer's civil engineering consultant to determine if there are any down stream impacts to the sewer system triggered by this development.

.6) Drainage

- a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems.
- b) Provide a detailed Stormwater Management Plan for this development as per the Subdivision, Development and Servicing Bylaw #7900.
- c) There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.

.7) Roads

- a) Clement Ave is designated an urban arterial road. Frontage improvements required include curb and gutter, separate sidewalk, piped storm drainage system, road works, landscaped boulevard complete with underground irrigation system, street lights, treed middle median and left turn bays. A one-time cash payment in lieu of construction must be collected from the applicant for future construction by the City. The cash-in-lieu amount is determined to be **\$59,557.41** not including utility service cost.
- b) Richter Street is designated an urban arterial road. Frontage improvements required include curb and gutter, separate sidewalk, piped storm drainage system, road works, left turn bays, landscaped boulevard complete with underground irrigation system, and street lights, traffic signal upgrades and re-location or adjustment of existing utility appurtenances if required to accommodate the upgrading. A modified SS-R6 cross section will be used and provided at the time of design.
- c) Coronation Ave is designated an urban collector road. Frontage improvements required include curb and gutter, separate sidewalk, piped storm drainage system, road works, landscaped boulevard complete with underground irrigation system, and street lights, and re-location or adjustment of existing utility appurtenances if required to accommodate the upgrading. A SS-R5 cross section will be used and provided at the time of design.
- d) The existing north portion of the north-south lane will be closed to Clement Ave. This section of laneway will remain as a utility corridor, walkway, and a Storm Drainage ROW. Construction of a walkway will be required for this section of laneway. All vehicle movement will access the development from Coronation Ave.
- e) Provide a Street Sign, Markings and Traffic Control Devices c/w traffic intersection controls and timing design drawings for review and costing. At this time the development will be responsible for the design and





construction of the traffic signal in the Southeast Corner of the Richter Clement intersection.

- f) Landscaped boulevards, complete with underground irrigation design drawing as per bylaw, is required on Clement Ave, Coronation & Richter Street.

.9) Power and Telecommunication Services and Street Lights

- a) All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground.
- b) Streetlights must be installed on all roads.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- d) Remove existing poles and utilities, where necessary. Remove aerial trespass (es).

.10) Design and Construction

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

.11) Other Engineering Comments

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands, and for public access to Vaughan Ave via the proposed lane.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility

as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

.12) Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured

.13) Bonding and Cash-in-lieu Summary

- a) Cash-in-lieu
 - i) General Requirements

1. Traffic Signal Upgrades	\$150,000.00
2. Clement Improvements	\$59,557.41
- b) Bonding
 - i) General Requirements

1. Laneway Improvements	\$ TBD
2. Richter Street Improvements	\$ TBD
3. Coronation Ave Improvements	\$ TBD

.14) Charges and Fees

- a) Development Cost Charges (DCC's) are payable
- b) Fees per the "Development Application Fees Bylaw" include:
 - i) Street/Traffic Sign Fees: at cost if required (to be determined after design).
 - ii) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
- c) Engineering and Inspection Fee: 3.5% of construction value (plus GST)

James Kay, P.Eng.
Development Engineering Manager

JA



AC



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DD 884

DP-0.0A

SCHEDULE

A & B

This forms part of application

Z18-0003

Planner
Initials

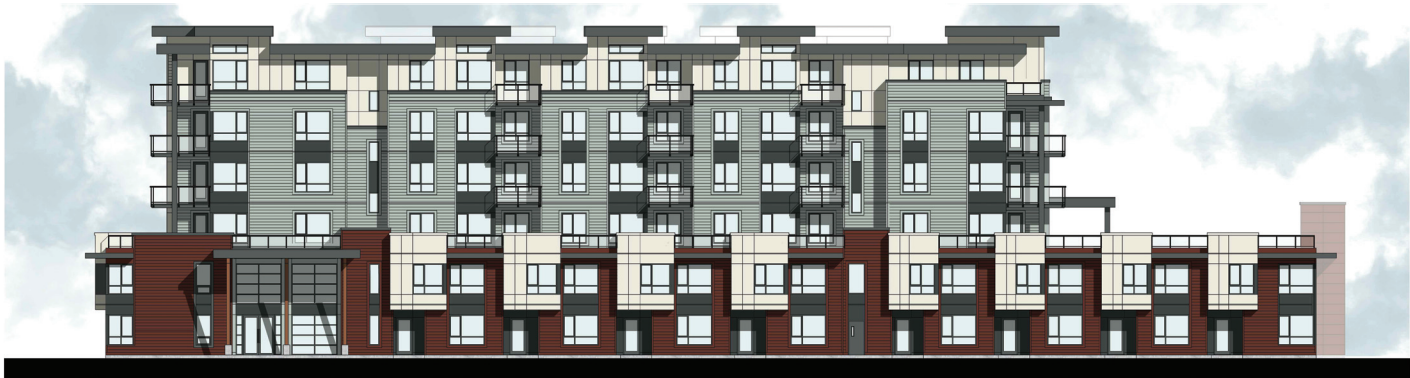
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City of
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COMMUNITY PLANNING



NORTH ELEVATION ALONG CLEMENT AVENUE
SCALE: N.T.S.



WEST ELEVATION ALONG RICHTER STREET
SCALE: N.T.S.

MATERIAL	COLOUR SCHEME
CEMENT BOARD PANEL SIDING	COBBLESTONE, JAMES HARDIE
CEMENT BOARD HORIZONTAL SIDING	LIGHT MIST, JAMES HARDIE
PANEL SIDING & HARDIE CEMENT BOARD	COUNTRY RED
TRIMS	HC-166, KENDALL CHARCOAL - BENJAMIN MOORE
WINDOW FRAMES	IRON GREY
ALUMINUM RAILINGS	CHARCOAL

2017-11-24 ISSUED FOR R2DP
2017-10-30 ISSUED FOR OWNER REVIEW
2017-08-12 ISSUED FOR PLANNING REVIEW

REVISIONS

CONSULTANT

CLIENT
**KERKOFF DEVELOPMENT
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PROJECT
**MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT**

1205,1215,1223,1229,1235, 1241
RICHTER STREET, KELOWNA, BC

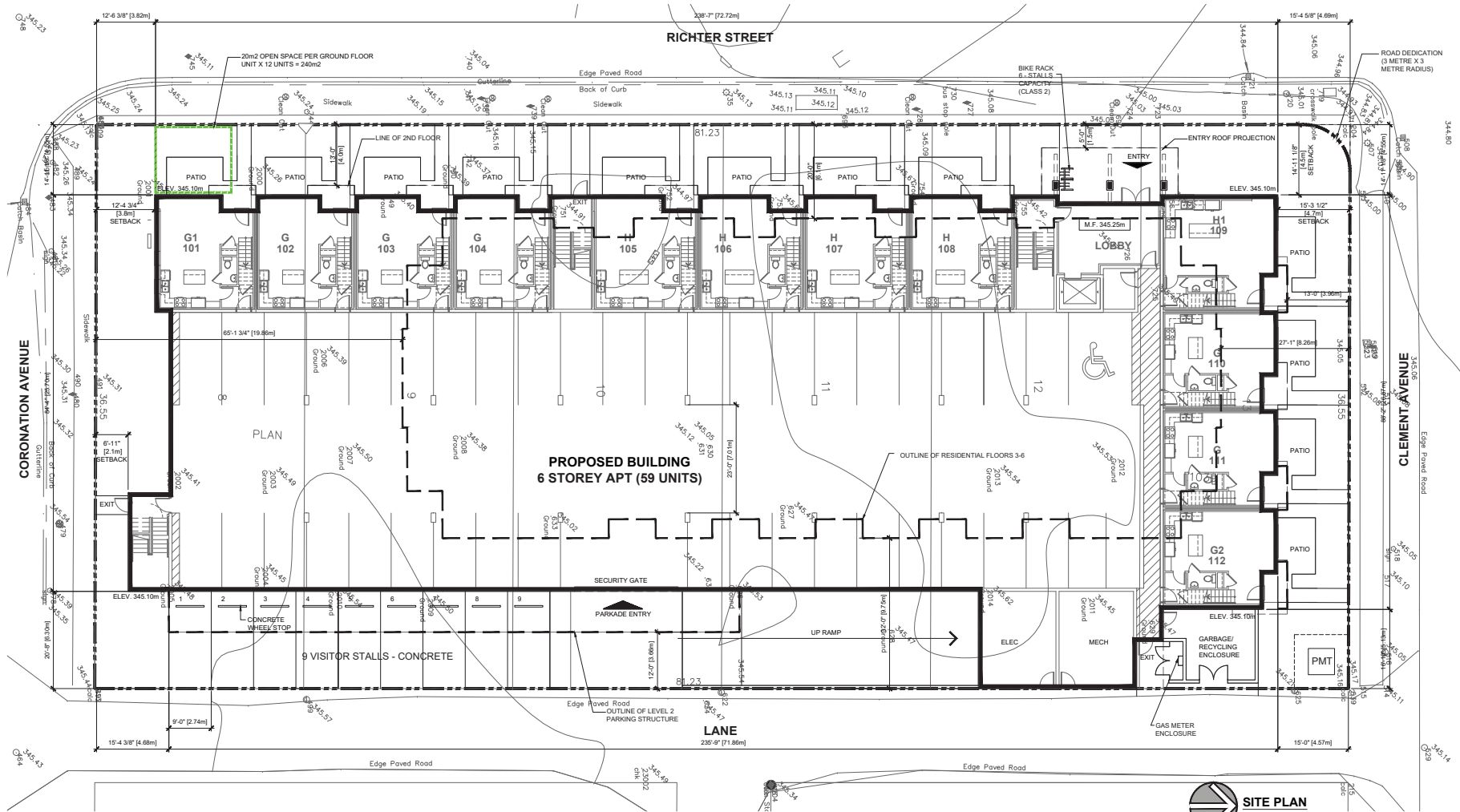
DRAWING TITLE

**COLOURED
ELEVATIONS**

DATE	2017.10.24	FILE NO.
DWN.	KS	
CHK.	CH	1708

SEAL
SHEET NO.

DP-0.0B



SITE RECONCILIATION

CIVIC ADDRESS: 1205, 1215, 1223, 1229, 1235, 1241 Richter Street, Kelowna, BC

LEGAL DESCRIPTION: LOTS 8,9,10,11,12,13, DISTRICT LOT 138 PLAN KAP 1039

ZONE: EXISTING: RM6
PROPOSED: RM6

LOT AREAS:
GROSS LOT AREA: 31,911 m² / 2,964.6 m²
0.73ac / 0.296ha

ROAD DEDICATION: 20.789m / 1.93 m²
(CORNER RADIUS)
NET LOT AREA: 31,890m² / 2,962.7m²
0.73ac / 0.296ha

DENSITY (FLOOR AREA RATIO):
ALLOWABLE: 1.5 - 2.0 (RM6)

PROPOSED: 5,582 m² / 2,962.7m² = 1.88
(BASED ON RESIDENTIAL FLOOR AREA)

NUMBER OF UNITS: 59 (39 - 2 BED + 20 - 1 BED)

LOT COVERAGE: ALLOWABLE: 50%

PROPOSED: 59.51% = 2,057.8m² / 2,962.7m² - LEVELS 1 & 2 - (INCL. PARKADE)
39.61% = 1,172.0m² / 2,962.7m² - LEVELS 3 - 6 - (RES. ONLY)

MAXIMUM HEIGHT:
ALLOWABLE: LESSER OF 55.0m OR 16.0 STOREYS

PROPOSED: 6 STOREYS (APPROX 19.7m) ROOF ELEV AT APPROX. 364.95m

SETBACKS:

	MINIMUM: RECD	PROPOSED: (LEVEL 1-2)	PROPOSED: (LEVEL 3-6)
SOUTH (CORONATION)	6.0m	2.1m / 3.8m	17.8m
NORTH (CLEMENT)	6.0m	3.9m	7.2m
EAST (LANE)	9.0m	0.0m / 5.2m	9.7m
WEST (RICHTER)	6.0m	4.0m	6.1m

PARKING REQUIREMENTS:

RESIDENTS PARKING:
REQUIRED: 39 (2 BED) UNITS x 1.5 = 58.5 CARS
20 (1 BED) UNITS x 1.25 = 25 CARS
TOTAL = 84 CARS
PROVIDED: 84 CARS (42 ON LEVEL 1 & 42 ON LEVEL 2)

VISITOR PARKING:
REQUIRED: 59 UNITS x 0.14 = 8.4 CARS = 9 CARS
PROVIDED: 9 CARS AT LANE

BICYCLE PARKING:
CLASS I REQ'D: 59 UNITS x 0.5 = 30 SPACES
CLASS I PROVIDED: 38 LOCKERS IN PARKADE LEVEL 2
CLASS II REQ'D: 59 UNITS x 0.1 = 6 SPACES
CLASS II PROVIDED: 6 SPACES IN RACK AT LOBBY

RESIDENTIAL SUMMARY:

LEVEL	UNITS	7,152 SF
LEVEL 1 =	12 UNITS	7,152 SF
LEVEL 2 =	0 UNITS	7,743 SF
LEVEL 3 =	12 UNITS	11,555 SF
LEVEL 4 =	12 UNITS	11,555 SF
LEVEL 5 =	12 UNITS	11,555 SF
LEVEL 6 =	11 UNITS	10,947 SF
TOTAL =	59 UNITS	60,106 SF (5,582 m²)

PRIVATE OPEN SPACE:
REQUIRED: 39 (2 BED) UNITS x 18.0m² = 702m²
20 (1 BED) UNITS x 12.0m² = 240m²
TOTAL = 942m²

PROVIDED: 240 m² (LEVEL 1 OUTDOOR)
778 m² (LEVEL 3 OUTDOOR)
51 m² (LEVEL 3 INDOOR)
1,069 m² TOTAL

GROSS RESIDENTIAL FLOOR AREA:

7,152 SF
7,743 SF
11,555 SF
11,555 SF
11,555 SF
10,947 SF
60,106 SF (5,582 m²)



SITE PLAN
SCALE: 1"=10'-0"

UNIT SUMMARY

UNIT TYPE	1ST FL.	2ND FL.	3RD FL.	4TH FL.	5TH FL.	6TH FL.	TOTAL	UNIT AREA	TOTAL AREA
A 1 BED 1BA	0	0	5	5	5	5	20	641 sq.ft.	12,820 sq.ft.
B 2 BED 2 BA	0	0	3	3	3	3	12	895 sq.ft.	10,740 sq.ft.
C 2 BED 2 BA	0	0	1	3	3	1	8	839 sq.ft.	7,512 sq.ft.
D 2 BED 2 BA	0	0	1	1	1	1	4	876 sq.ft.	3,504 sq.ft.
E 2 BED 1 BA	0	0	2	0	0	0	2	747 sq.ft.	1,494 sq.ft.
F 2 BED 1 BA	0	0	0	0	0	1	1	1,159 sq.ft.	1,159 sq.ft.
G 2 BED 1 BA	5	0	0	0	0	0	5	1,049 sq.ft.	5,245 sq.ft.
G1 2 BED 1 BA	1	0	0	0	0	0	1	1,074 sq.ft.	1,074 sq.ft.
G2 2 BED 1 BA	1	0	0	0	0	0	1	1,074 sq.ft.	1,074 sq.ft.
H 2 BED+DEN 2.5 BA	4	0	0	0	0	0	4	1,122 sq.ft.	4,488 sq.ft.
H1 2 BED+DEN 2.5 BA	1	0	0	0	0	0	1	1,231 sq.ft.	1,231 sq.ft.
H2 2 BED+DEN 2.5 BA	12	0	12	12	12	11	59	TOTAL	50,341 sq.ft.

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2017-11-24
ISSUED FOR R2DP

2017-10-30
ISSUED FOR OWNER REVIEW

2017-09-12
ISSUED FOR PLANNING REVIEW

REVISIONS
CONSULTANT

CLIENT
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PROJECT
MULTI-FAMILY RESIDENTIAL DEVELOPMENT

1205,1215,1223,1229,1235, 1241
RICHTER STREET, KELOWNA, BC

DRAWING TITLE

SITE PLAN

DATE: 2017.10.24 FILE NO.
OWN: KS
CHK: **1708**

SEAL
SHEET NO.

DP-0.01

SCHEDULE A & B

This forms part of application
Z18-0003

Planner Initials **AC**



City of
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SITE SURVEY
SCALE: 1"=10'-0"

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PROJECT	MULTI-FAMILY RESIDENTIAL DEVELOPMENT
	1205,1215,1223,1229,1235, 1241 RICHTER STREET, KELOWNA, BC
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SITE SURVEY	
DATE	2017.10.24
DWN.	KS
CHK.	CH
FILE NO.	1708

SEAL

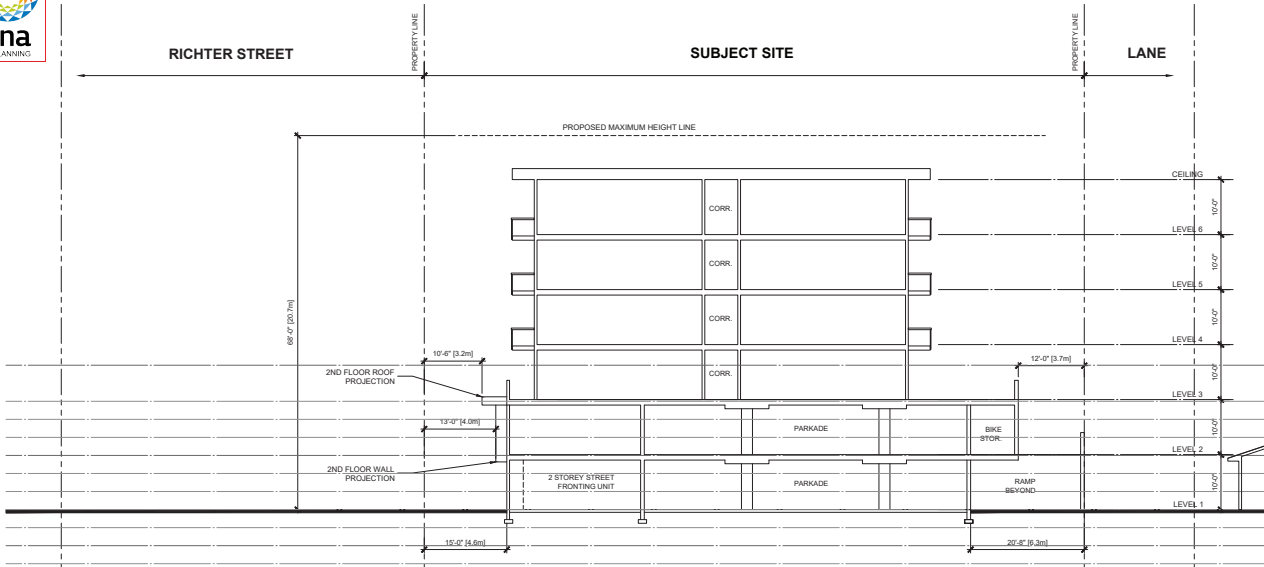
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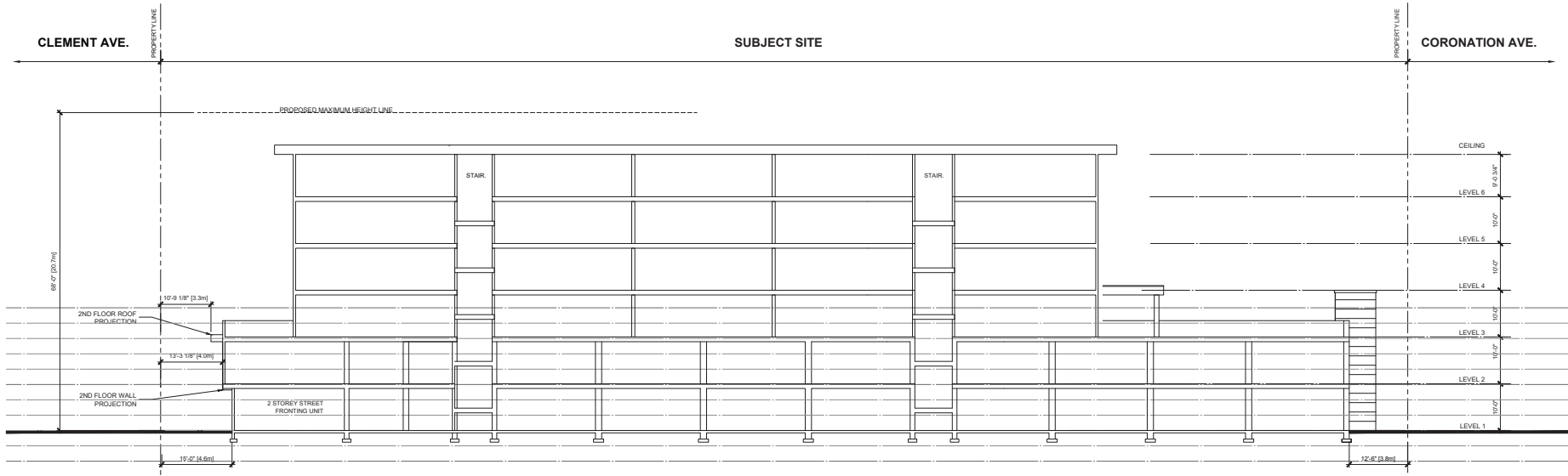
SCHEDULE A & B

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Initials AC



A SITE SECTION 'A' (ALONG CORONATION STREET)
SCALE: 3/32" = 1'-0"



A SITE SECTION 'B' (ALONG RICHTER STREET)
SCALE: 3/32" = 1'-0"

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1205, 1215, 1223, 1229, 1235, 1241
RICHTER STREET, KELOWNA, BC

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SITE SECTIONS

DATE: 2017.10.24 FILE NO.
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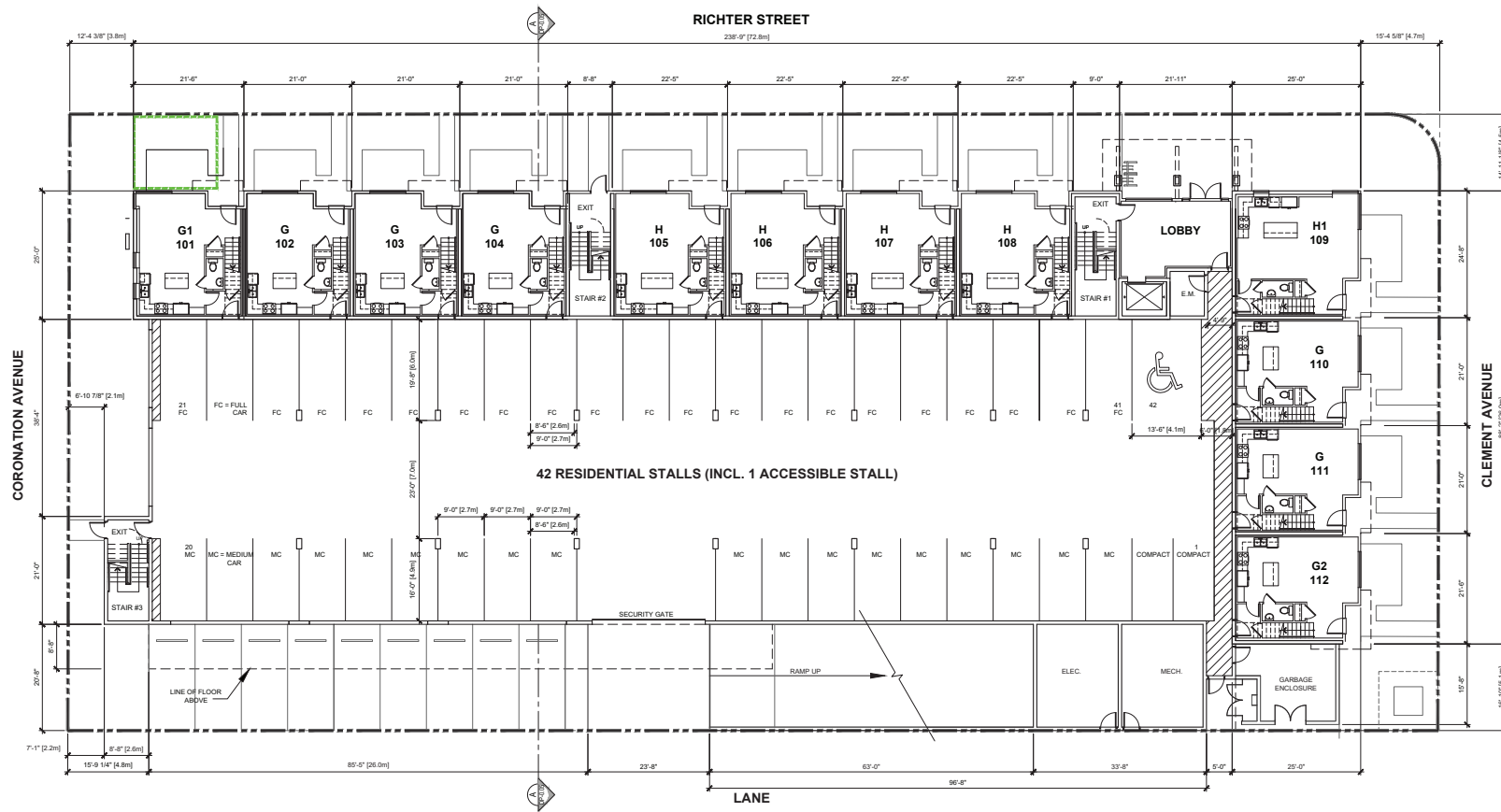
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SCHEDULE A & B

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LEVEL 1 FLOOR PLAN

SCALE: 3/32" = 1'-0"

GROSS FLOOR AREA (INCL RESIDENTIAL & PARKING): 20,596 SF
GROSS RESIDENTIAL FLOOR AREA: 7,152 SF

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MULTI-FAMILY RESIDENTIAL DEVELOPMENT

1205, 1215, 1223, 1229, 1235, 1241
RICHTER STREET, KELOWNA, BC

DRAWING TITLE
LEVEL 1 FLOOR PLAN

DATE: 2017.10.24 FILE NO.
DWN: KS
CHK: CH **1708**

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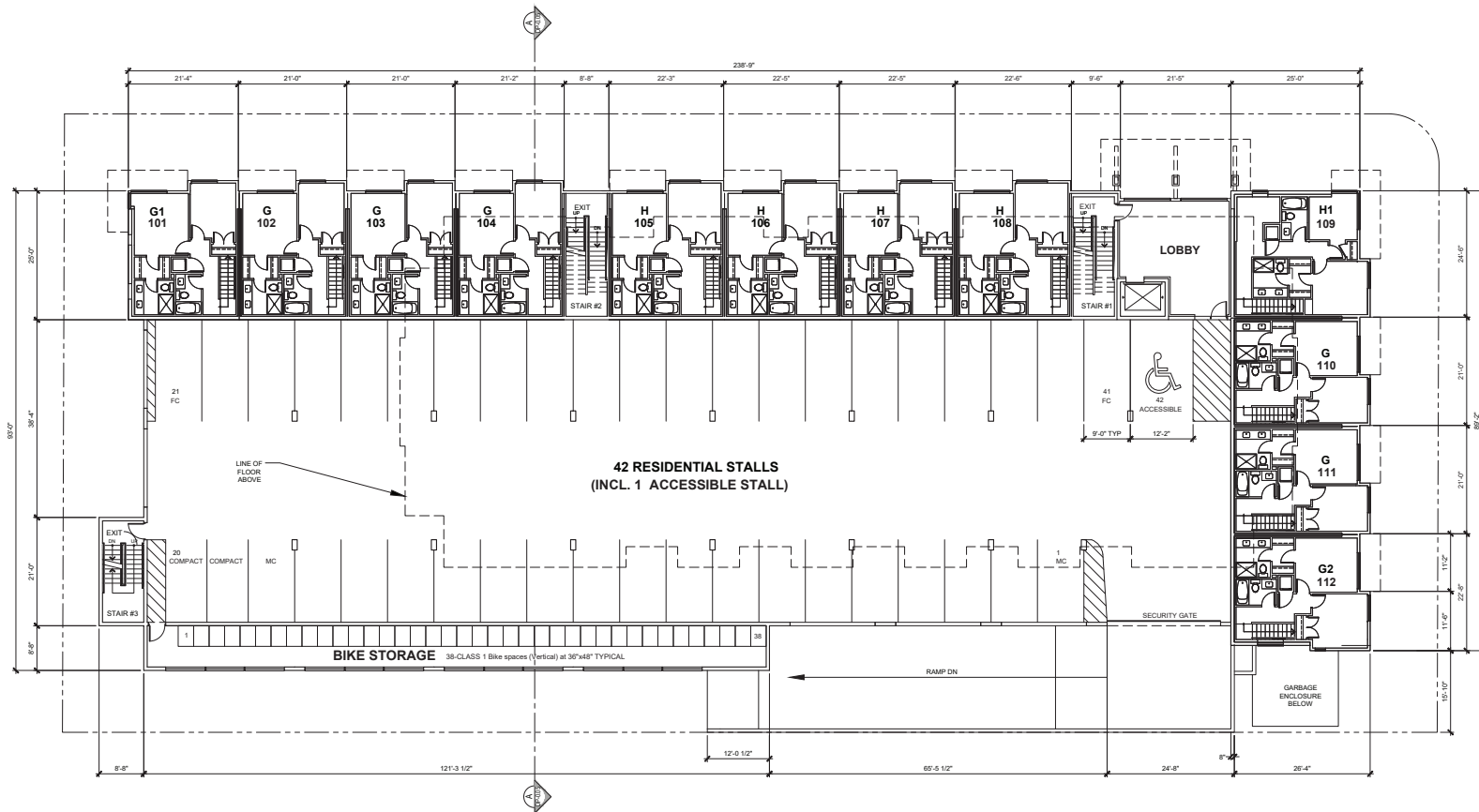
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SCHEDULE A & B

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COMMUNITY PLANNING



LEVEL 2 FLOOR PLAN

SCALE: 3/32" = 1'-0"

GROSS FLOOR AREA (INCL RESIDENTIAL & PARKING): 21,456 SF
GROSS RESIDENTIAL FLOOR AREA: 7,742 SF

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1205, 1215, 1223, 1229, 1235, 1241
RICHTER STREET, KELOWNA, BC

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LEVEL 2 FLOOR PLAN

DATE: 2017.10.24 FILE NO.
DWN: KS
CHK: CH **1708**

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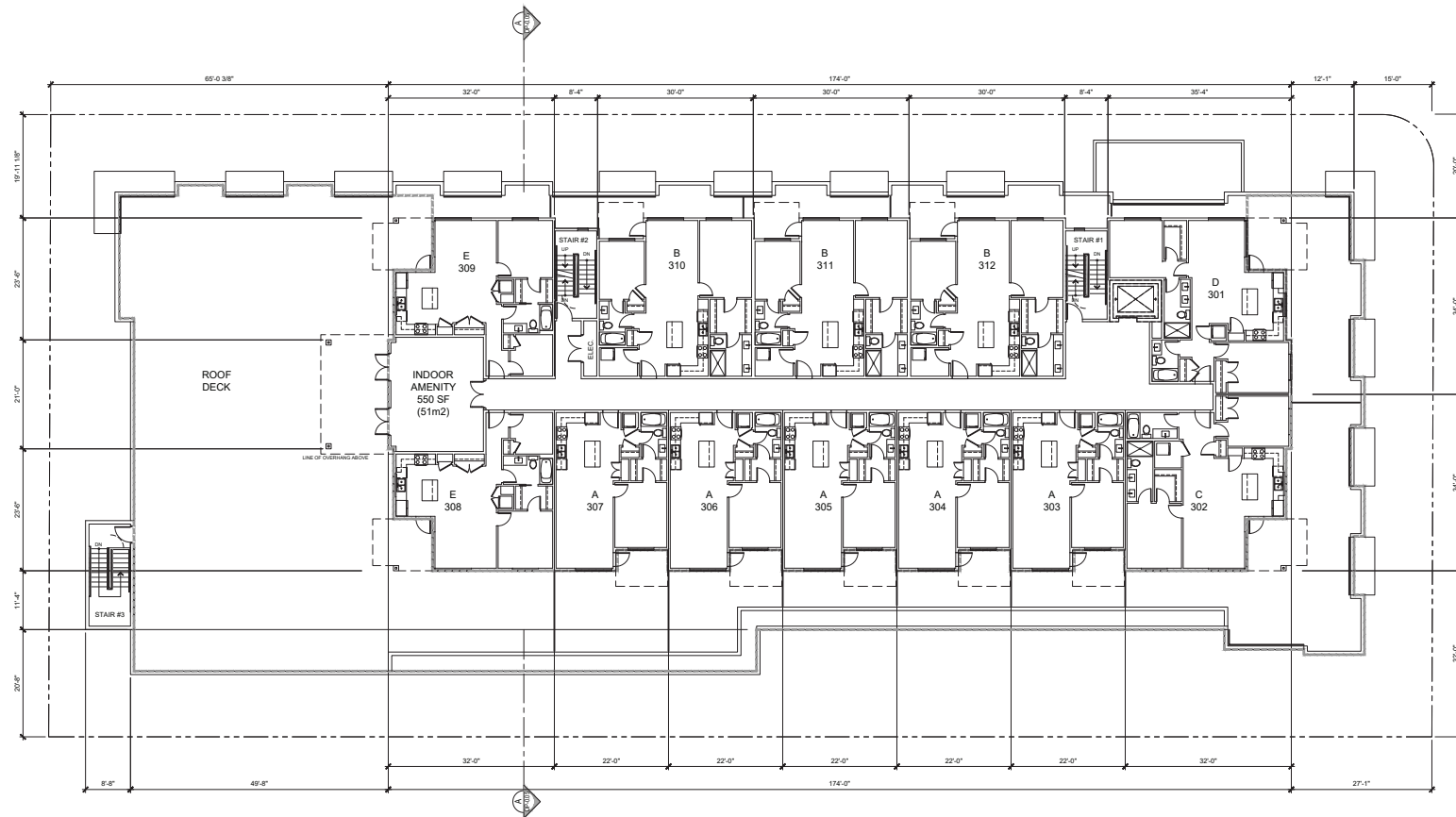
SCHEDULE A & B

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COMMUNITY PLANNING



LEVEL 3 FLOOR PLAN

SCALE: 3/32" = 1'-0"

GROSS RESIDENTIAL FLOOR AREA: 11,555 SF

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MULTI-FAMILY RESIDENTIAL DEVELOPMENT

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RICHTER STREET, KELOWNA, BC

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LEVEL 3 FLOOR PLAN

DATE: 2017.10.24 FILE NO.
DWN: KS
CHK: CH **1708**

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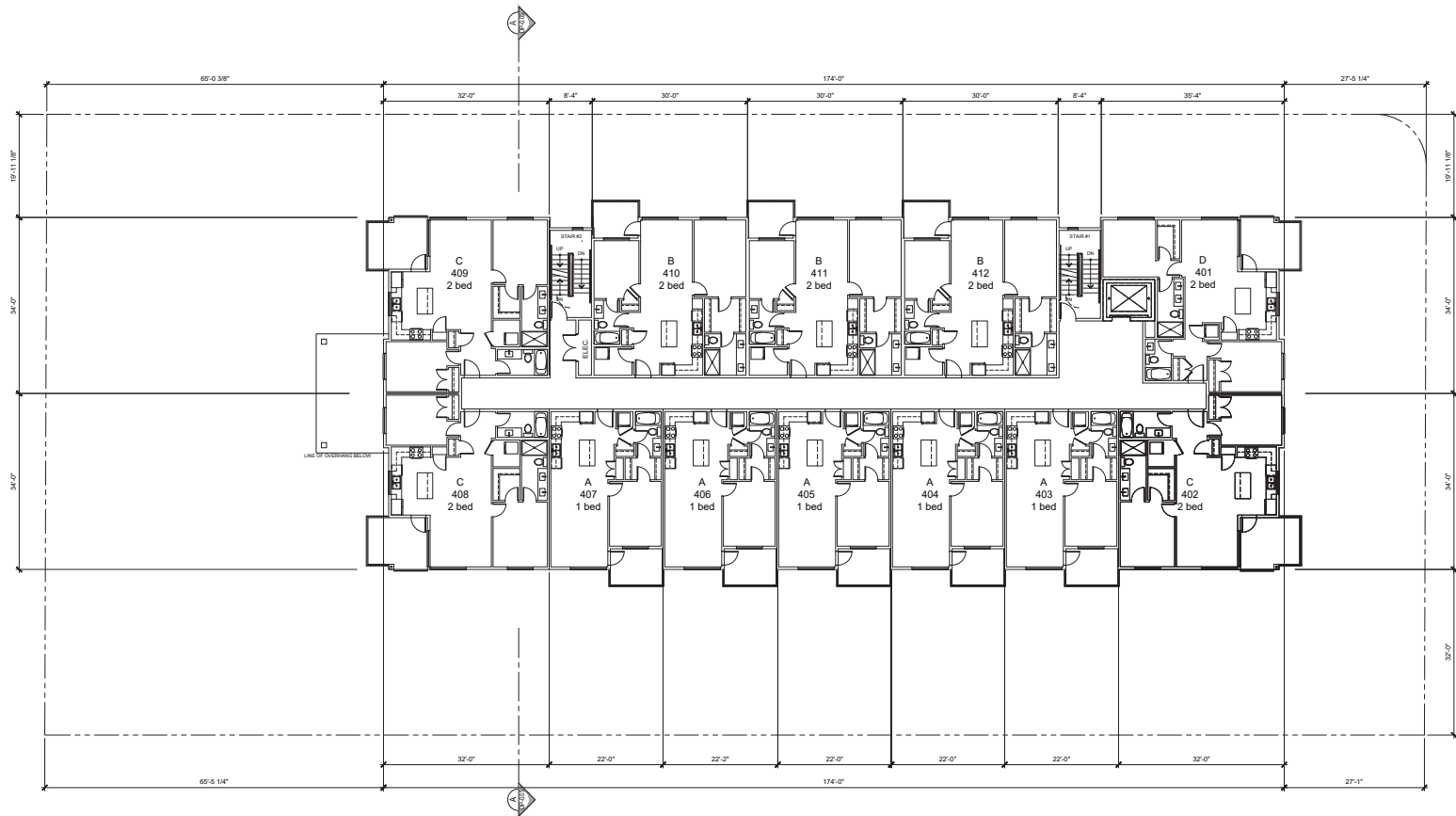
SCHEDULE A & B

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Z18-0003

Planner Initials **AC**



City of Kelowna
COMMUNITY PLANNING



LEVEL 4 FLOOR PLAN
SCALE: 3/32" = 1'-0"

GROSS RESIDENTIAL FLOOR AREA: 11,555 SF

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LEVEL 4 FLOOR PLAN

DATE	2017.10.24	FILE NO.
DWN.	KS	
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DP-1.04

SCHEDULE A & B

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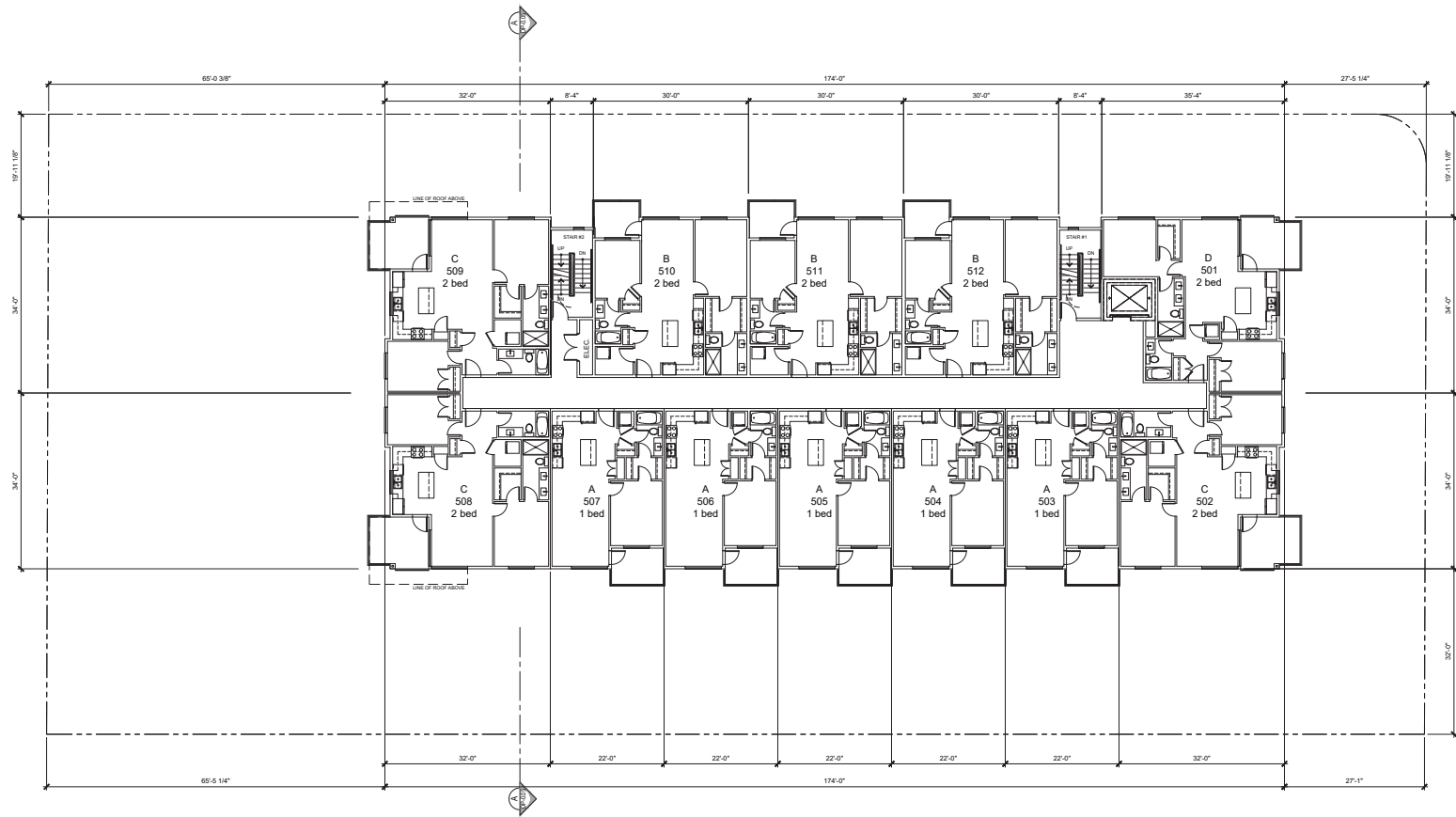
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LEVEL 5 FLOOR PLAN

SCALE: 3/32" = 1'-0"

GROSS RESIDENTIAL FLOOR AREA: 11,555 SF

2017-11-24	ISSUED FOR R2DP
2017-10-30	ISSUED FOR OWNER REVIEW
2017-09-12	ISSUED FOR PLANNING REVIEW
REVISIONS	
CONSULTANT	

CLIENT
KERKOFF DEVELOPMENT LTD.

PROJECT
MULTI-FAMILY RESIDENTIAL DEVELOPMENT

1205, 1215, 1225, 1235, 1235, 1241
RICHTER STREET, KELOWNA, BC

DRAWING TITLE

LEVEL 5 FLOOR PLAN

DATE: 2017.10.24 FILE NO.
DWN: KS
CHK: CH **1708**

SEAL
SHEET NO.

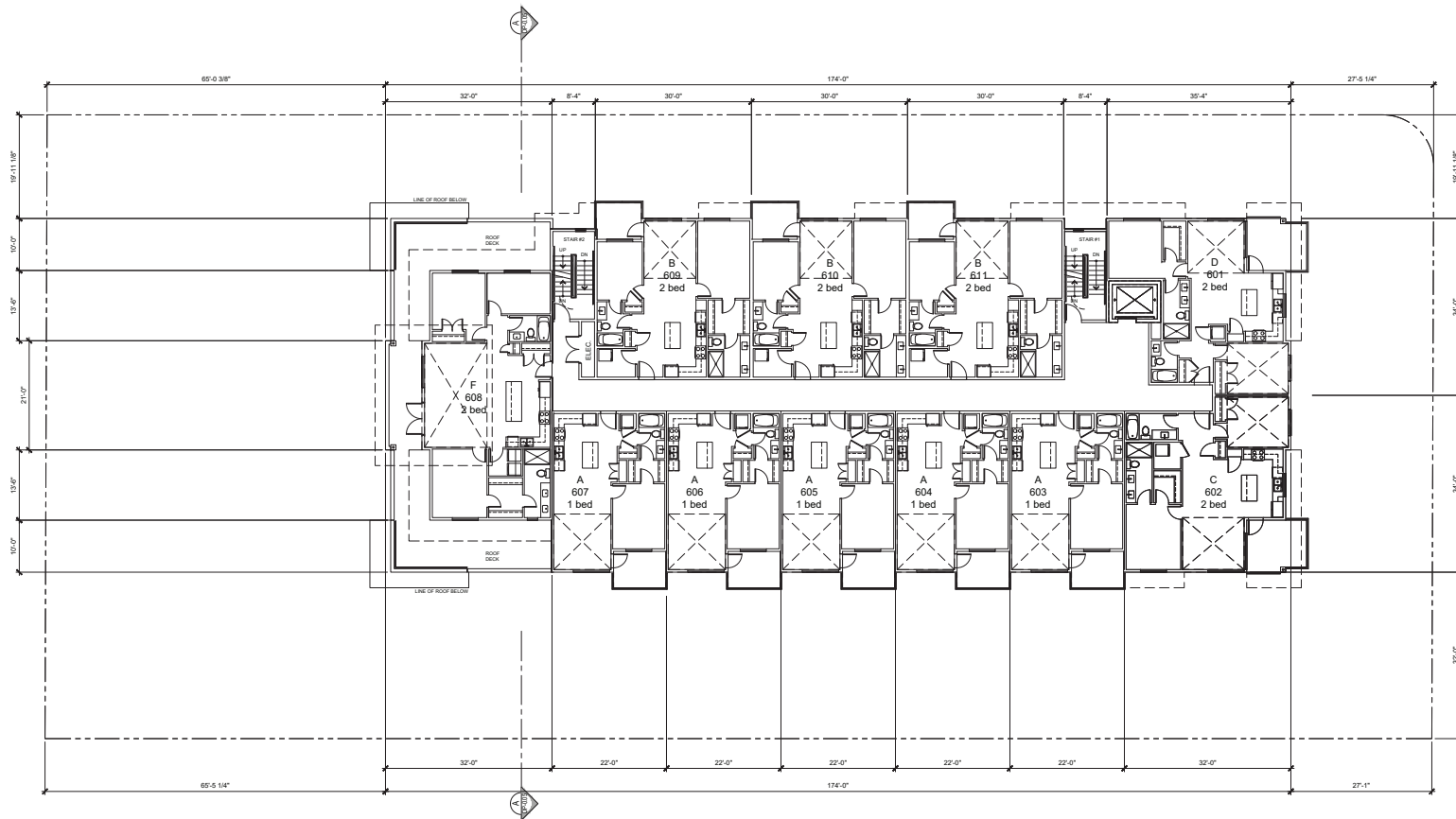
DP-1.05

SCHEDULE A & B

This forms part of application

Z18-0003

Planner
Initials AC



LEVEL 6 FLOOR PLAN

SCALE: 3/32" = 1'-0"

GROSS RESIDENTIAL FLOOR AREA: 11,555 SF

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e info@focus.ca

2017-11-24
ISSUED FOR R20P
2017-10-30
ISSUED FOR OWNER REVIEW
2017-09-12
ISSUED FOR PLANNING REVIEW
REVISIONS
CONSULTANT

CLIENT
KERKOFF DEVELOPMENT LTD.

PROJECT
MULTI-FAMILY RESIDENTIAL DEVELOPMENT

1205,1215,1223,1229,1235, 1241
RICHTER STREET, KELOWNA, BC

DRAWING TITLE

LEVEL 6 FLOOR PLAN

DATE 2017.10.24 FILE NO.
DWN: KS
CHK: CH **1708**

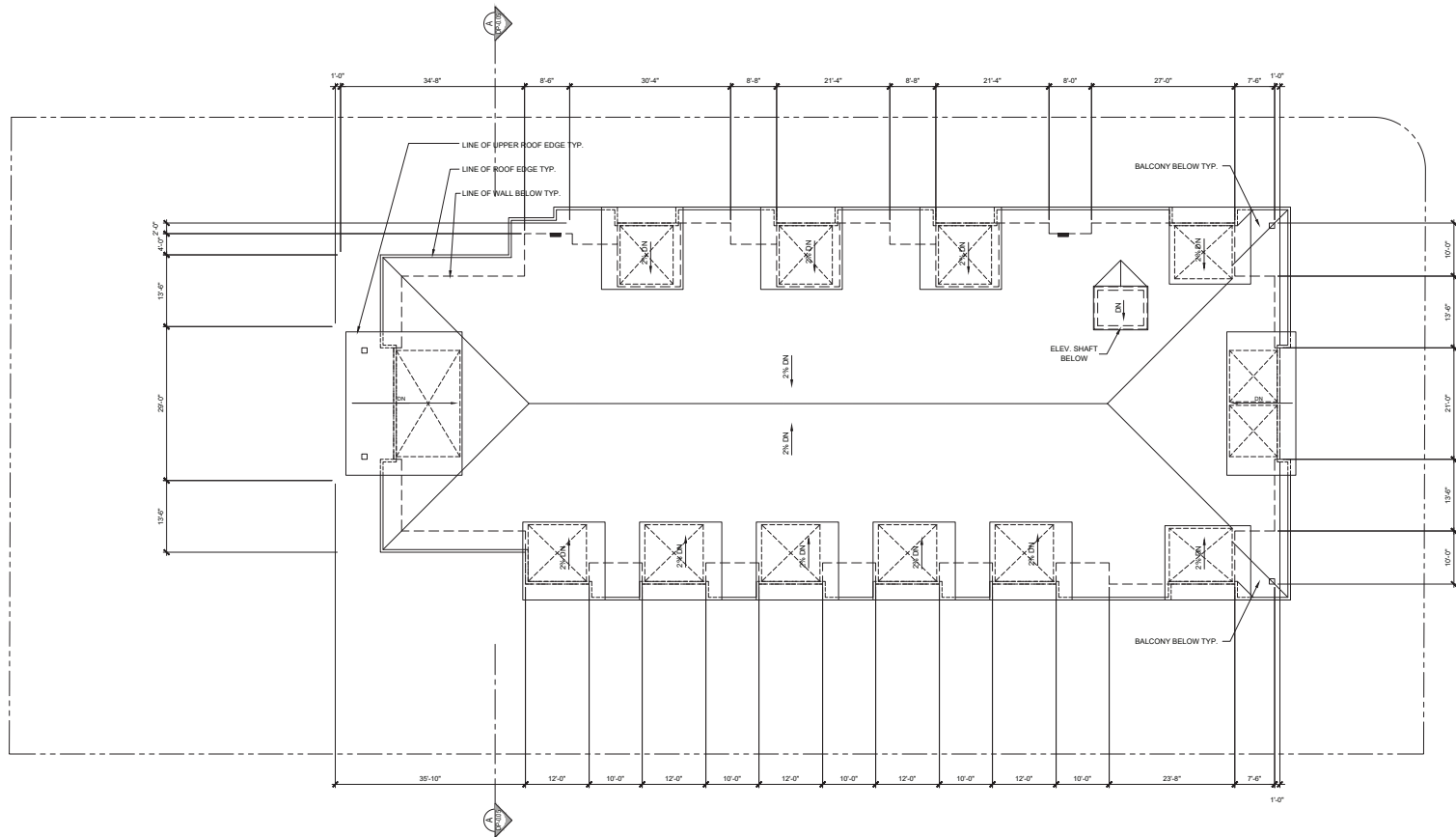
SEAL
SHEET NO.

DP-1.06

SCHEDULE A & B

This forms part of application
Z18-0003

Planner
Initials AC



ROOF PLAN
SCALE: 3/32" = 1'-0"

GROSS RESIDENTIAL FLOOR AREA: 11,555 SF

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2017-11-24	ISSUED FOR R2DP
2017-10-30	ISSUED FOR OWNER REVIEW
2017-09-12	ISSUED FOR PLANNING REVIEW
REVISIONS	
CONSULTANT	

CLIENT
KERKOFF DEVELOPMENT LTD.

PROJECT
MULTI-FAMILY RESIDENTIAL DEVELOPMENT

1205, 1215, 1223, 1229, 1235, 1241
RICHTER STREET, KELOWNA, BC

DRAWING TITLE

ROOF PLAN

DATE	2017.10.24	FILE NO.
DWN.	KS	
CHK.	CH	1708

SEAL
SHEET NO.

DP-1.07

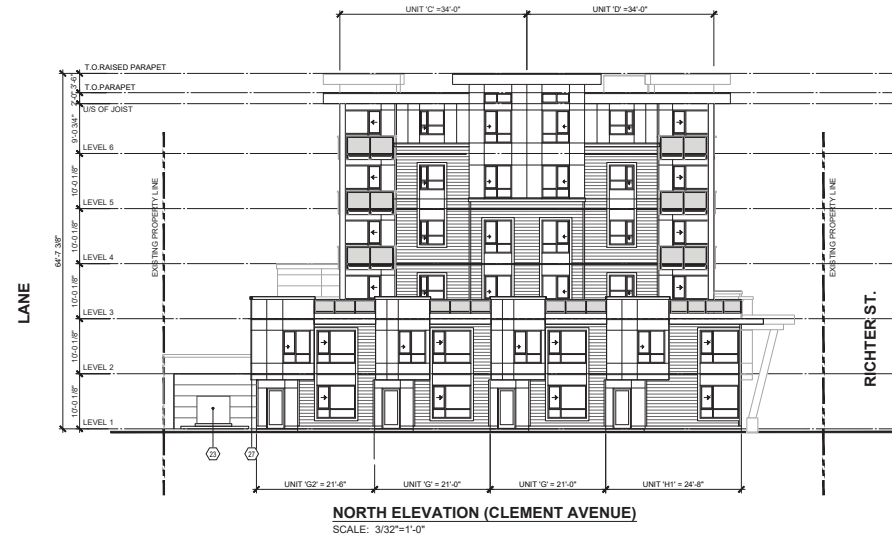
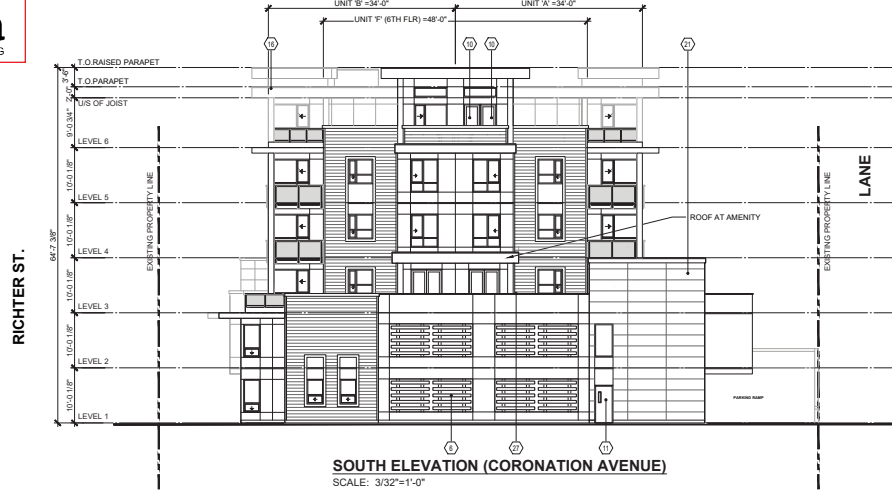
DP-1.08

SCHEDULE A & B

This forms part of application
Z18-0003

Planner
Initials AC

City of
Kelowna
COMMUNITY PLANNING



MATERIAL	COLOUR SCHEME
CEMENT BOARD PANEL SIDING	COBBLESTONE, JAMES HARDIE
CEMENT BOARD HORIZONTAL SIDING	LIGHT MIST, JAMES HARDIE
PANEL SIDING & HARDIE CEMENT BOARD	COUNTRY RED
TRIMS	HC-166, KENDALL CHARCOAL - BENJAMIN MOORE
WINDOW FRAMES	IRON GREY
ALUMINUM RAILINGS	CHARCOAL

ELEVATION MATERIAL LEGEND
1. 2x12 PAINTED WOOD FASCIA c/w PREFINISHED METAL FLASHING
2. CEMENT BOARD PANEL SIDING
3. CEMENT BOARD HORIZONTAL SIDING
4. PAINTED 5.5\" HARDIE TRIM
5. PAINTED 5.5\" HARDIE TRIM
6. PAINTED 6\" HORIZ. METAL SLATS MOUNTED ON 6\" STEEL RECT. HOLLOW SECTIONS
7. METAL THROUGH-WALL FLASHING, PAINTED TO MATCH SIDING

8. SEALED DOUBLE GLAZED P.V.C. WINDOW c/w 2x6 WOOD TRIM
9. SEALED DOUBLE GLAZED P.V.C. DOOR c/w 2x6 WOOD TRIM
10. SEALED DOUBLE GLAZED FRENCH DOOR c/w 2x6 WOOD TRIM
11. PAINTED EXTERIOR STEEL DOOR w/ VIEW LITE, PAINTED 2
12. ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM
13. ALUMINUM AND GLASS RAILING
14. PAINTED ALUM. STOREFRONT WINDOWS

15. PAINTED STEEL ENTRY CANOPY
16. CEMENT BOARD PANEL ON BUILT-UP WOOD COLUMN c/w CORNER TRIM
17. 2x10 PAINTED WOOD TRIM c/w PREFINISHED METAL FLASHING
18. 2x12 PAINTED WOOD TRIM c/w PREFINISHED METAL FLASHING
19. PAINTED CONCRETE WALL w/ REVEALS
20. SECURITY GATE
21. CEMENT BOARD HORIZONTAL SIDING w/ 2\" REVEALS
22. SEALED DOUBLE GLAZED P.V.C. WINDOW

23. PAD MOUNTED TRANSFORMER
24. CHAIN LINK FENCING FOR GAS METER c/w LOCKABLE GATE
25. GARBAGE ENCLOSURE STEEL GATE DOORS w/ LOCK
26. PAINTED ALUMINUM WINDOWS
27. METAL CAP FLASHING
28. 6\" X 6\" HORIZ. WOOD SLATS MOUNTED ON 6\" X 6\" HEAVY TIMBER COLUMNS

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2017-11-24 ISSUED FOR RZDP
2017-10-30 ISSUED FOR OWNER REVIEW
2017-09-12 ISSUED FOR PLANNING REVIEW

REVISIONS

CONSULTANT

CLIENT
KERKOFF DEVELOPMENT LTD.

PROJECT
MULTI-FAMILY RESIDENTIAL DEVELOPMENT

1205,1215,1223,1229,1235, 1241
RICHTER STREET, KELOWNA, BC

DRAWING TITLE

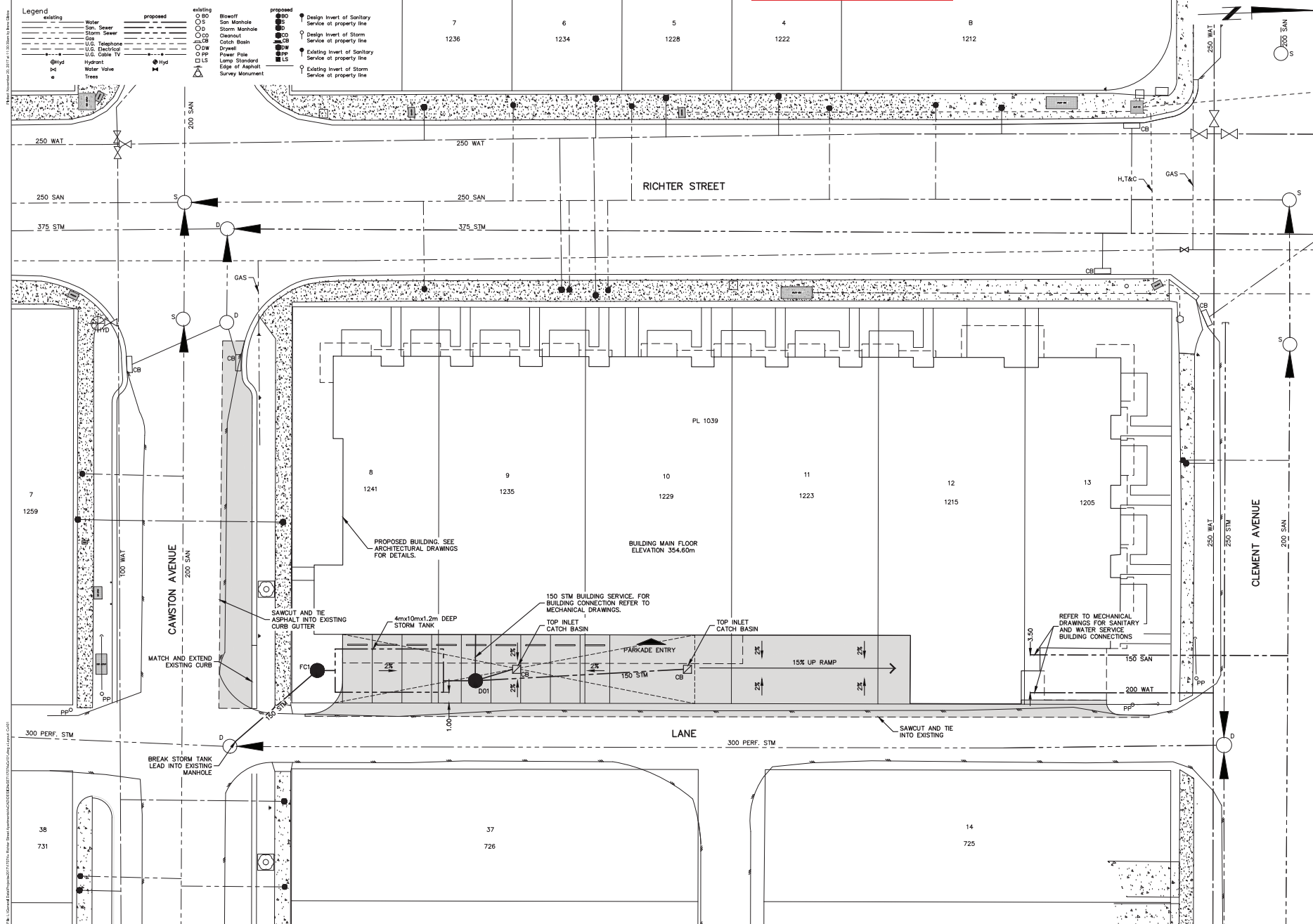
ELEVATIONS

DATE	2017.10.24	FILE NO.
DWN.	KS	
CHK.	CH	1708

SEAL

SHEET NO.

DP-1.09



DEVELOPMENT PERMIT

REVISIONS
CONSULTANT

CLIENT
KERKOFF DEVELOPMENT LTD.

PROJECT
MULTI-FAMILY RESIDENTIAL DEVELOPMENT

1205 - 1241 RICHTER STREET
KELOWNA, BC

DRAWING TITLE
SITE SERVICING PLAN

DATE: 2017.11.20 FILE NO.
DWN: 16
CHK: ST **17074**

SEAL
SHEET NO.

C-101

Richter and Clement Multi-Family Residential Development

Issued for Development Permit



van der Zalm + associates inc.
Civil Engineering
Urban Design + Landscape Architecture
Suite 1, 20177 97th Avenue
Langley, British Columbia
V1M 4B9
P 604 882 0024
F 604 882 0042
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Contact Information	Other Key Contacts:	
van der Zalm + associates Inc. Project Landscape Architecture Suite 1 - 20177 97th Avenue Langley, British Columbia, V1M 4B9 1. 604 882 0024 1. 604 882 0042 Primary project contact: Stephen Heller steven@vaz.ca direct. 604 546 0925 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vaz.ca o. 604 882 0024 x22	Kerkhoff Construction Project Owner 202-45389 Luckakuck Way, Chilliwack, BC V2R 3V1 604 824 4122	Focus Architecture Project Building Architecture 109 - 1528 McCallum Road Abbotsford, BC V2S 8A3 604 853 5222

Sheet List Table	
Sheet Number	Sheet Title
L-01	COVER SHEET
L-02	LEVEL 1 LANDSCAPE PLAN
L-03	LEVEL 1 PLANTING PLAN
L-04	LEVEL 3 LANDSCAPE PLAN
L-05	LEVEL 3 PLANTING PLAN
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS

SCHEDULE

A & B

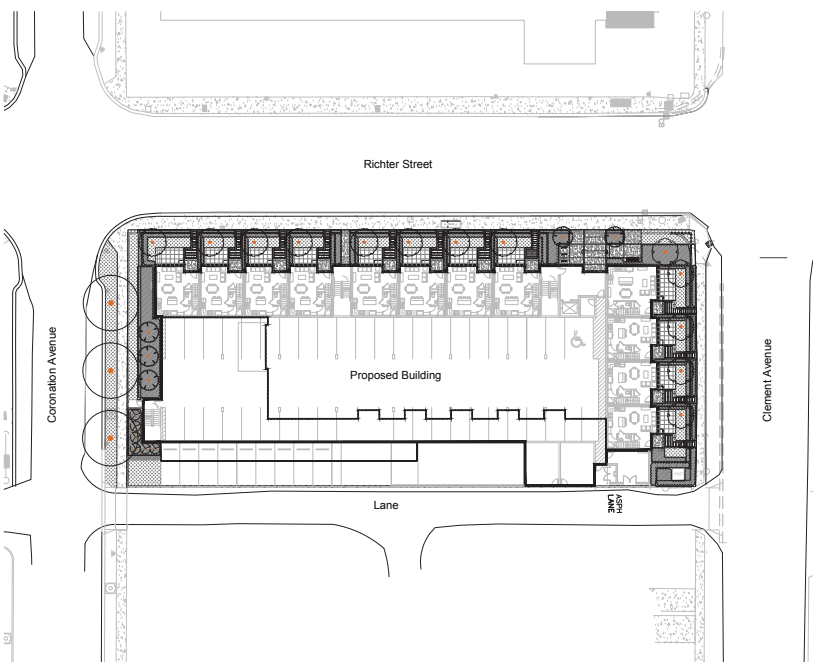
This forms part of application
Z18-0003

Planner Initials

AC



City of
Kelowna
COMMUNITY PLANNING



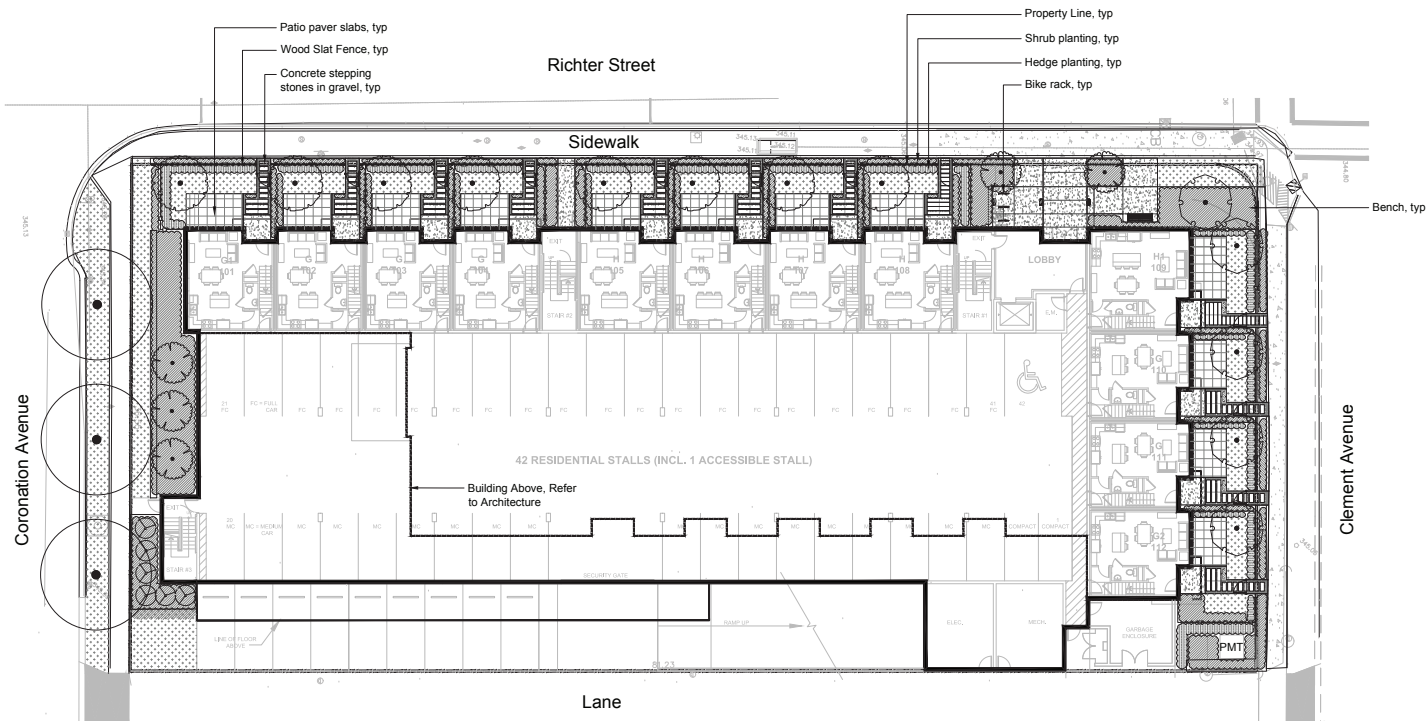
1 SITE PLAN OVERVIEW
Scale: 1:300



2 LOCATION MAP
Scale: NTS

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Drawing Title: COVER SHEET
VDZ Project #: DP2017-43
Drawing #: L-01



HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	5 LD-01	CONCRETE SLAB
	8 LD-01	CONCRETE STEPPING STONES IN GRAVEL
	7 LD-01	ARCHITECTURAL SLABS Pattern: Baggrave Smooth Stone Colour: Charcoal Manufacturer: Exopore Supplier: Bunco (250) 769-7731

FENCING

KEY	REF.	DESCRIPTION
	3 LD-02	WOOD SLAT FENCE

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	See Critical Landscape Notes for Specifications	SOD
	3 LD-01	SHRUB PLANTING
	3 LD-01	HEDGE PLANTING

SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	4 LD-02	BENCH Model # Happy AX03-01 Manufacturer: Landscape Forms Mount: Surface Mount
	5 LD-02	BIKE RACK Model # FGP Bike Rack Colour: White Manufacturer: Landscape Forms Mount: Embedded

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT.	QTY
	Carpinus caroliniana / American Hornbeam	B & B	5
	Fraxinus x 'Northern Treasure' / Northern Treasure Ash	-	3
	Gleditsia triacanthos inermis 'Sunburst' / Sunburst Common Honeylocust	B & B	8
	Populus tremula 'Erecta' / European Columnar Aspen	B & B	6
DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT.	QTY
	Cornus kousa chinensis / Chinese Dogwood	B & B	5

SCHEDULE A & B

This forms part of application
Z18-0003

Planner
Initials AC



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No.	By	Description	Date
1	DC	For Development Permit	Nov 24, 2017

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Richter and Clement Multi-Family Residential Development

Location:
1205-1241 Richter Street
Kelowna, BC

Drawn:
DC

Checked:
SH

Approved:
MVDZ

Scale:
1:150

Original Sheet Size:
24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

Drawing Title:
LEVEL 1 LANDSCAPE PLAN



DP2017-43

Drawing #:
L-02

1:150 0 1.5m 3 4.5 6 7.5 9 10.5 12 13.5 15 16.5 18 19.5 21 22.5

SCHEDULE A & B

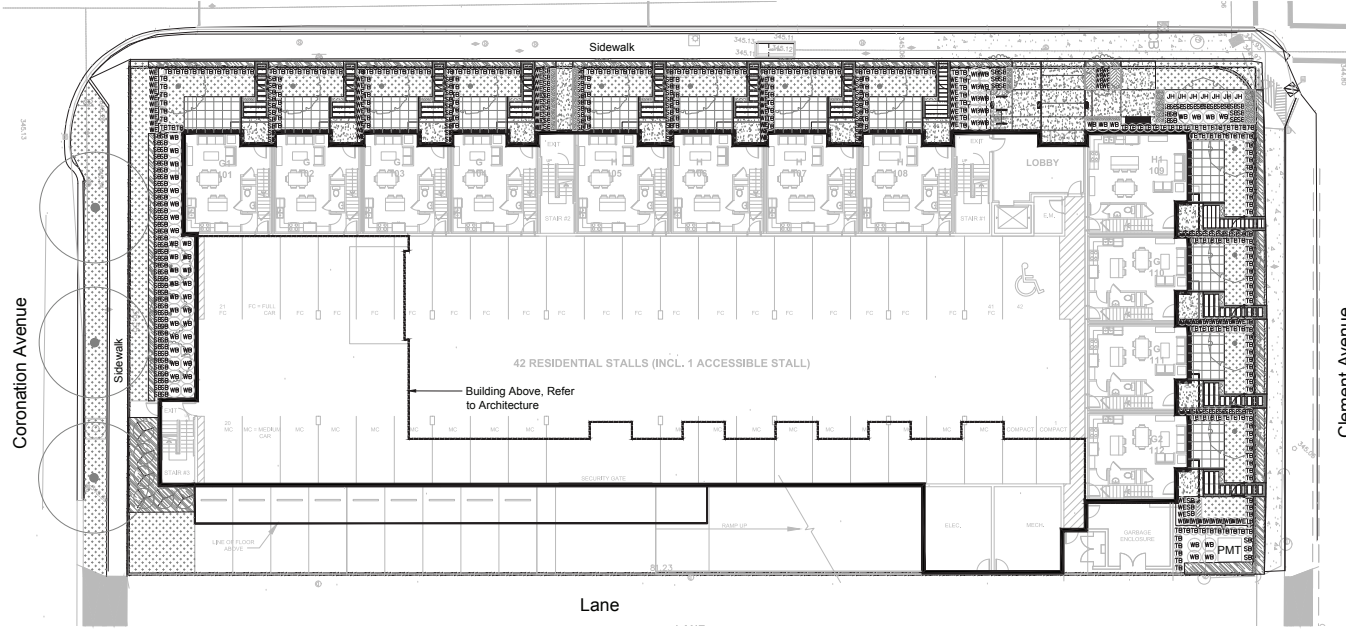
This forms part of application
Z18-0003



Planner
Initials AC

Richter Street

Coronation Avenue



Clement Avenue

Lane

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	5 LD-01	CONCRETE SLAB
	8 LD-01	CONCRETE STEPPING STONES IN GRAVEL
	7 LD-01	ARCHITECTURAL SLABS Pattern: Belgavia Smooth Stone Colour: Charcoal Manufacturer: Exopore Supplier: Bunco (250) 769-7731

FENCING

KEY	REF.	DESCRIPTION
	3 LD-02	WOOD SLAT FENCE

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	+	SOD See Critical Landscape Notes for Specifications
	3 LD-01	SHRUB PLANTING
	3 LD-01	HEDGE PLANTING

SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	4 LD-02	BENCH Model # Happy AX203-01 Manufacturer: Landscape Forms Mount: Surface Mount
	5 LD-02	BIKE RACK Model # FGP Bike Rack Colour: White Manufacturer: Landscape Forms Mount: Embedded

PLANT SCHEDULE

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
JH	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	#2		7
SB	Spirea x Jumbilla 'Sparkling Carpet' / Sparkling Carpet Spirea	#2		180
TB	Taxus baccata 'Fastigate' / Fastigiate English Yew	#3		249
WB	Weigela florida 'Bokraspea' / Pearl Reblooming Weigela	#3		53
WE	Weigela florida 'Elevens' TM / Weigela	#2		79
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Heuchera x 'Caramel' / Caramel Coral Bells	#1 pot	300mm	107
	Heuchera x 'Electra' / Electra Coral Bells	#1 pot	300mm	45
	Hosta x 'Fireworks' / Fireworks Hosta	#1 pot	300mm	12
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Pachysandra terminalis / Japanese Spurge	10cm pot	300mm	559

1:150 0 1.5m 3 4.5 6 7.5 9 10.5 12 13.5 15 16.5 18 19.5 21 22.5



No.	By	Description	Date
1	DC	For Development Permit	Nov 24, 2017

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
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REVISIONS TABLE FOR SHEET

Project:
Richter and Clement Multi-Family
Residential Development

Location:
1205-1241 Richter Street
Kelowna, BC

Drawn:	Stamp:
DC	

Checked:	Stamp:
SH	

Approved:	Original Sheet Size:
MVDZ	24"x36"

Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE REFERENCED AT THE COMPLETION OF THE WORK. ALL RECORDING OF ANY DIMENSIONS MUST NOT BE TRUSTED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.
1:150	

Drawing Title:

LEVEL 1 PLANTING PLAN

Drawing #:

NORTH

Project #:

DP2017-43

Drawing #:

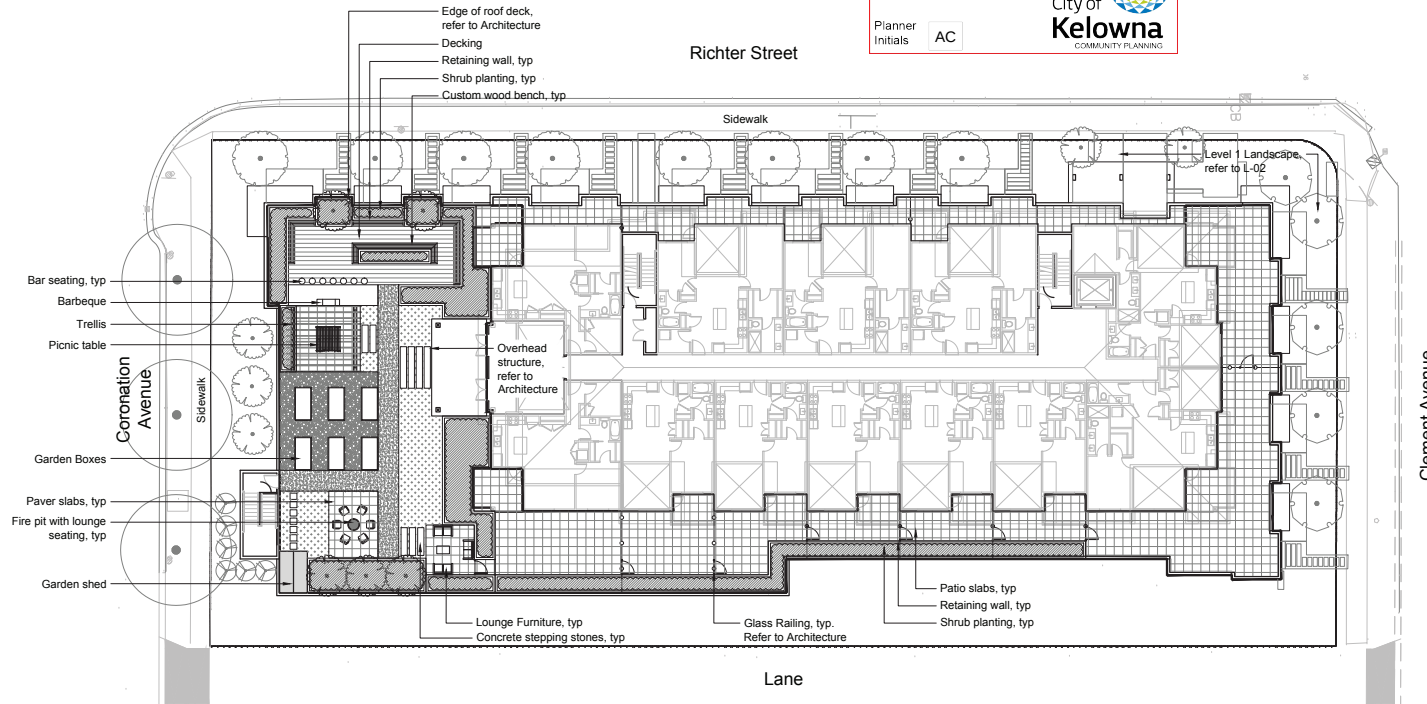
L-03

SCHEDULE A & B

This forms part of application
Z18-0003



Planner
Initials AC



HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	6 LD-01	CONCRETE ON SLAB
	6 LD-02	DECKING
	1 LD-02	CONCRETE STEPPING STONES IN LAWN
	8 LD-02	RETAINING WALL Type: Architectural Colour: Ash Manufacturer: Barkman Supplier: Benco (250) 793-7731
	7 LD-01	ARCHITECTURAL SLABS Pattern: Bagrada Smooth Slabs Colour: Charcoal Manufacturer: Exposito Supplier: Benco (250) 793-7731
	2 LD-02	GRAVEL

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
		SOD (OPTION OF ARTIFICIAL TURF) See Critical Landscape Notes for Specifications
	# LD-0#	SHRUB PLANTING
	# LD-0#	HEDGE PLANTING

SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	7 LD-02	WOOD BENCH
	1 LD-03	PICNIC TABLE Model #: AK02 Harpo Table Colour: Light Grey Supplier: Landscape Forms (800) 438-4209
	2 LD-03	LOUNGING FURNITURE Model #: Aura Set Colour: Ash Fabric with Dark Rum Frame Supplier: Cabana Coast

PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT.	QTY.
	<i>Cornus kousa chinensis</i> / Chinese Dogwood	B	5

No.	DC	For Development Permit	Date
1	DC	For Development Permit	Nov 24, 2017

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REVISIONS TABLE FOR SHEET

Project:
Richter and Clement Multi-Family Residential Development

Location:
1205-1241 Richter Street
Kelowna, BC

Drawn: DC	Stamp:
Checked: SH	
Approved: MVDZ	Original Sheet Size: 24"x36"

Scale:
1:150
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Drawing Title:
LEVEL 3 LANDSCAPE PLAN

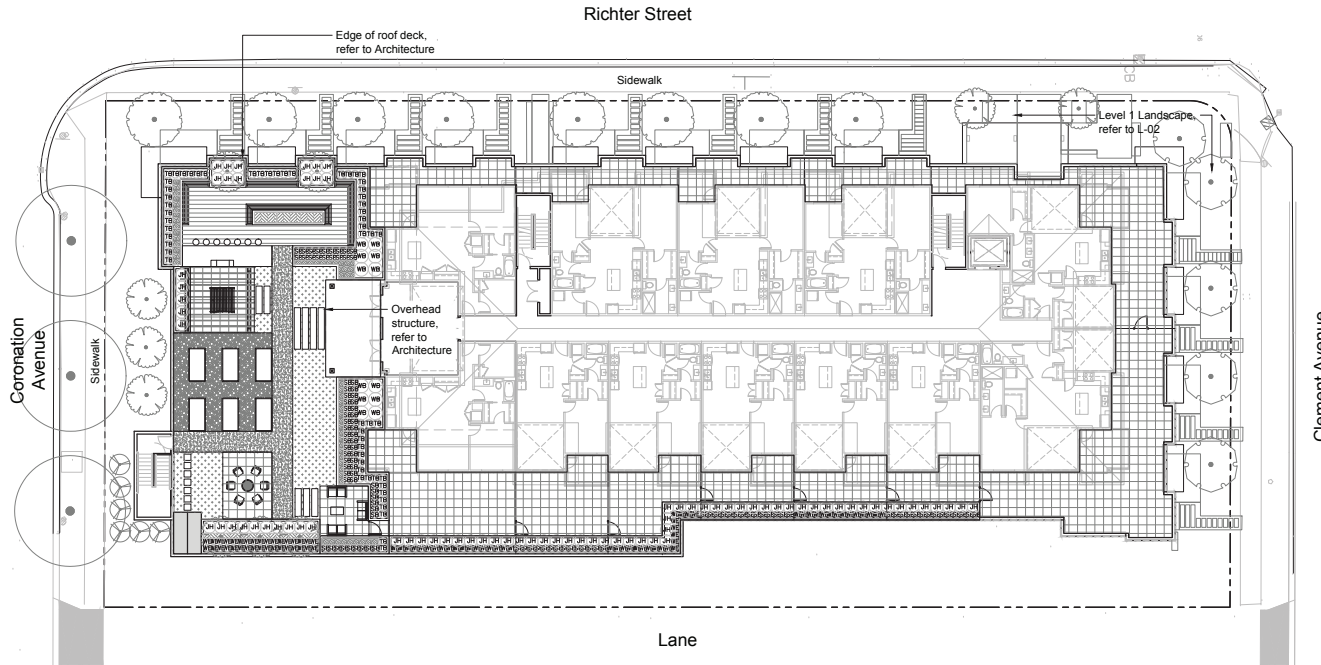
DP2017-43

Drawing #:
L-04

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SCHEDULE A & B

This forms part of application
Z18-0003



HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	6 LD-01	CONCRETE ON SLAB
	6 LD-02	DECKING
	1 LD-02	CONCRETE STEPPING STONES IN LAWN
	8 LD-02	RETAINING WALL Type: Architectural Colour: Ash Manufacturer: Barkman Supplier: Barkman (250) 760-7731
	7 LD-01	ARCHITECTURAL SLABS Pattern: Bagrada Smooth Slabs Colour: Charcoal Manufacturer: Exposito Supplier: Barkman (250) 760-7731
	2 LD-02	GRAVEL

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	# LD-0#	SOD (OPTION OF ARTIFICIAL TURF) See Official Landscape Notes for Specifications
	# LD-0#	SHRUB PLANTING
	# LD-0#	HEDGE PLANTING

SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	7 LD-02	WOOD BENCH
	1 LD-03	PICNIC TABLE Model #: A1022 Harpo Table Colour: Light Grey Supplier: Landscape Forms (800) 438-4209
	2 LD-03	LOUNGING FURNITURE Model #: Aura Set Colour: Ash Fabric with Dark Rum Frame Supplier: Cabana Coast

PLANT SCHEDULE				
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
JH	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	#2		76
SB	Spiraea x bumalda 'Sparkling Carpet' / Sparkling Carpet Spiraea	#2		107
TB	Toxus baccata 'Fastigiat' / Fastigiate English Yew	#3		57
ME	Meigelia Florida 'Blossoming Meigelia' / Blossoming Meigelia	#3		12
ME	Meigelia Florida 'Elvira' TM / Meigelia	#2		55
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
HC	Heuchera x 'Caramel' / Caramel Coral Bells	#1 pot	500mm	104
HEU C49	Heuchera x 'Caramel' / Caramel Coral Bells	4" pot	500mm	24
HE	Heuchera x 'Eleva' / Eleva Coral Bells	#1 pot		7 m ²

1:150 0 1.5m 3 4.5 6 7.5 9 10.5 12 13.5 15 16.5 18 19.5 21 22.5

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Scale:
1:150

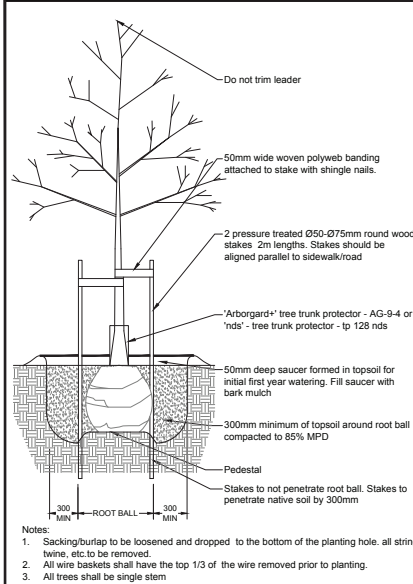
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LEVEL 3 PLANTING PLAN

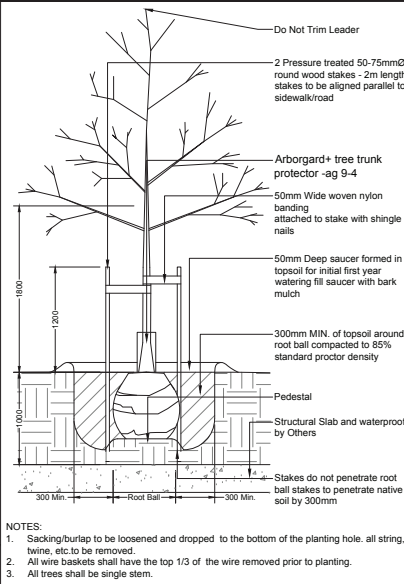


DP2017-43

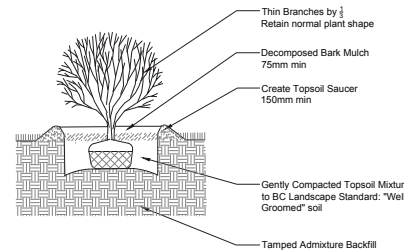
L-05



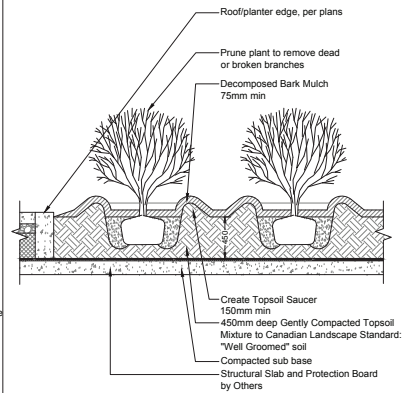
1 DECIDUOUS TREE
Scale 1:25



2 DECIDUOUS TREE ON SLAB
Scale 1:25

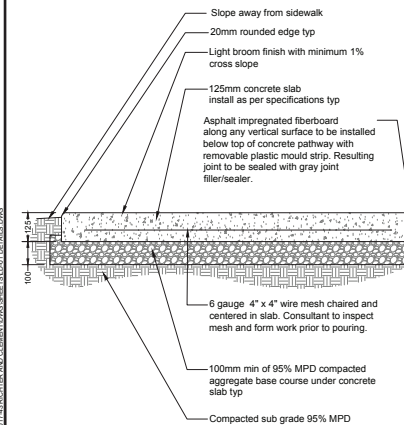


3 SHRUB
Scale 1:25



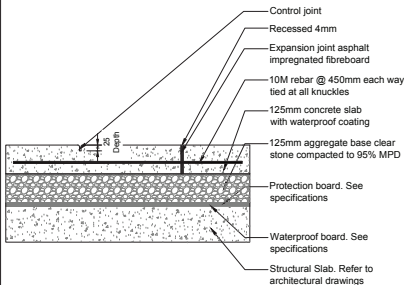
- NOTES:
1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil saucer diameter to be 1.5X diameter of plant container.
 4. O.C. spacing per planting plan.

4 DETAIL NAME
Scale 1:1

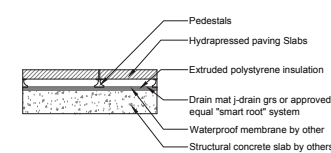


- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures
 2. Horizontal scoreline 1500mm o.c. center scoreline on 150mm smooth finish or to match existing concrete pathway

5 CONCRETE
Scale 1:10



6 CONCRETE ON SLAB
Scale 1:10



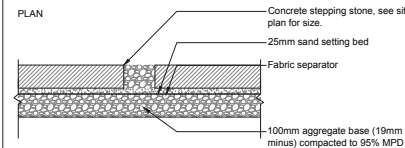
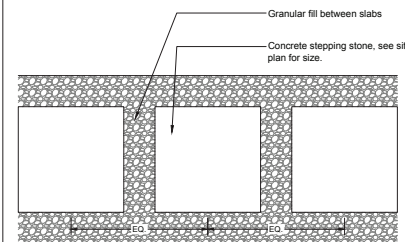
Hydrapressed Slab Details:

Pattern:	Pattern:
Colour:	Colour:
Size:	
Manufacturer:	Abbotsford Concrete Products
TEL:	1-800-663-4091
Website:	www.pavingstones.com

- Notes:
1. Contractor to provide shop drawings
 2. Install all components as per manufacturer's specifications

7 ARCHITECTURAL SLAB
Scale 1:10

- Notes:
1. Slabs to be spaced equally between adjacent surfaces.



- Notes:
1. Install all components as per manufacturer's specifications.
 2. Supplier: Abbotsford Concrete or approved Equal
 3. Type: Texada
 4. Sizes: 610mm x 610mm, 457mm x 457mm
 5. Color: Charcoal

8 CONCRETE STEPPING STONES IN GRAVEL
Scale 1:10



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Drawing #:
LD-02



Model #: AX002 Harpo Table
Colour: Light Grey
Supplier: Landscape Forms
(800) 430-6209

1 PICNIC TABLE
Scale: NTS



Model #: Aura Set
Colour: Ash Fabric with Dark Rum Frame
Supplier: Cabana Coast

2 LOUNGE FURNITURE
Scale: NTS

SCHEDULE A & B

This forms part of application
Z18-0003

Planner
Initials AC



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Drawing Title:
DETAILS

VDZ Project #:
DP2017-43

Drawing #:
LD-03