

CITY OF KELOWNA

MEMORANDUM

Date: December 8, 2017
File No.: Z17-0113

To: Community Planning (KB)

From: Development Engineering Manager(AS)

Subject: 2565 Pandosy Street

RU6 to RM3

Development Engineering has the following requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Aaron Sangster.

.1) Domestic Water and Fire Protection

- (a) The development site is presently serviced with a 19mm diameter water service. The developer's consulting mechanical engineer will determine the domestic, fire protection requirements of this proposed development and establish hydrant requirements and service needs. Only one service will be permitted for this development.

.2) Sanitary Sewer

- (a) The development site is presently serviced with a 100mm diameter sanitary sewer service. Only one service will be permitted for this development. The developer's consulting civil engineer will determine sanitary sizing for this development. The applicant, at his cost, will arrange for the removal of the existing service and the installation of a new larger service if required.

.3) Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.

.4) Road Improvements

- (a) Pandosy Street fronting this development must be upgraded to an Arterial – Class 2 Residential One Way-3 Lanes (SS-R12) to include barrier curb & gutter, separate concrete sidewalk, storm drainage, landscaped & irrigated boulevard and relocation or adjustment of existing utility appurtenances if required to accommodate the upgrading construction. A modified cross section of SS-R12 showing a separated sidewalk on property line should be used for design and costing.

Z17-0113 2565 Pandosy St. RU6 - RM3 AS.doc

- (b) Patterson Avenue fronting this development must be upgraded to an Local – Class 2 (SS-R4) to included roll over curb & gutter, separate concrete sidewalk, storm drainage, landscaped & irrigated boulevard and relocation or adjustment of existing utility appurtenances if required to accommodate the upgrading construction. A modified cross section of SS-R4 showing a separated sidewalk on property line should be used for design and costing.
- (c) The lane fronting this development is required to be constructed to a paved standard. A cross section of SS-R2 should be used for design and costing.

.5) Road Dedication and Subdivision Requirements

By registered plan to provide the following:

- (a) Grant statutory rights-of-way if required for utility services.

.6) Electric Power and Telecommunication Services

- (a) All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground as this site is located adjacent to the South Pandosy urban town centre.
- (b) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- (c) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

.7) Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the City Engineering Department for review and marked "issued for construction" by the City Engineer before construction may begin.

.8) Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.

- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

.9) Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be on the insurance policy as an additional insured.

.10) Survey Monuments and Iron Pins

If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

.11) Bonding and Levy Summary

(a) Bonding

Storm service upgrades	To be determined
Pandosy Street Frontage Improvements	To be determined
Patterson Avenue Frontage Improvements	To be determined
Lane Frontage Improvements	To be determined
Total Bonding	To be determined

.12) Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as (3.5% of Total Off-Site Construction Cost plus GST).

14) Development Permit and Site Related Issues

Access and Manoeuvrability

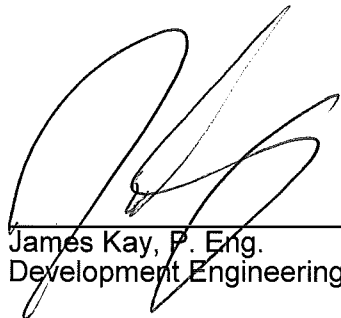
- (a) The access to this site must be from the lane. Access to Pandosy Street is not permitted as per bylaw.

15. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.

- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.



James Kay, P. Eng.
Development Engineering Manager

AS

2565 PANDOSY ST., KELOWNA, BC



PROPERTY DESCRIPTION

CIVIC: 2565 Pandosy, Kelowna, BC
(Note: this address is a result of a lot consolidation)

LEGAL: Lot 10 & Lot 11 (to be consolidated), District Lot 14, ODYD, Plan KAP3249

ZONING CALCULATIONS:

CURRENT: City of Kelowna RU6 Zoning
PROPOSED: City of Kelowna, RM3 Zoning

SITE INFORMATION:

	Allowed	Proposed
Gross Site Area=	15,477 sf (1,438 sm)	
Gross Site Area (prior to dedication)=	16,292 sf (1,514 sm)	
Allowable Site Coverage=	50% (7,739sf)	52% (8,077sf) VARIANCE
Coverage + Hardscaping=	60% (9,286sf)	60% (9,276sf)

F.A.R. = .75 + .05 = .8 (12,382sf) .8 (12,382sf)

Unit Area Calculations:

	ENTRY LEVEL	SECOND LEVEL	UPPER LEVEL	TOTAL
UNIT 1	200	640	640	1,480
UNIT 2	245	550	635	1,430
UNIT 3	143	540	560	1,243
UNIT 4	244	550	640	1,434
UNIT 5	215	640	640	1,495
UNIT 6	60	690	630	1,380
UNIT 7	670	635	NA	1,305
UNIT 8	670	640	NA	1,310
UNIT 9	35	640	630	1,305
				12,382

Private Space Areas / Roof Deck Areas:

	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7	UNIT 8	UNIT 9	SHARED
ENTRY LEVEL	35.2sm	10.9sm	7.4sm	10.9sm	6.5sm	10.4sm	50.2sm	60.2sm	N/A	54.3sm
SECOND LEVEL	shared	16.8sm	shared	16.8sm	shared	N/A	N/A	shared	132.3sm	
UPPER LEVEL	11.4sm	N/A	N/A	N/A	11.4sm	55.3sm	N/A	N/A	41sm	N/A
ROOF DECK LEVEL	55.1sm	55.1sm	48.9sm	55.1sm	55.1sm	N/A	N/A	N/A	N/A	N/A
TOTAL	101.7sm	82.8sm	56.3sm	82.8sm	73sm	65.7sm	50.2sm	60.2sm	41sm	186.8sm

	Allowed	Proposed
Max. Height =	10m (32.8 ft) or 3 storeys	10m (32.8 ft) or 3 storeys

Yard setbacks:

front yard -	1.5m Ground Oriented Entry	3.934m
side yard -	1.5m Ground Oriented Entry; 4.0m	1.5m/4.0m
rear yard -	7.5m/1.5m to Accessory Structure	7.5m

Parking Calculations:

1.5x1 = 2 (Required)	2
2x8 = 16 (Required)	16

Class I, .5/unit	.5X9=5 (Required)
Class II, .1/unit	.1X9=1 (Required)

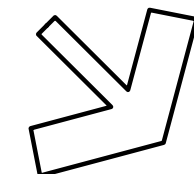
DRAWINGS:

ARCHITECTURAL:
A-001 PROJECT & SITE INFORMATION
A-RENDER RENDERINGS
A-100 ENTRY LEVEL PLAN
A-101 SECOND LEVEL PLAN
A-102 UPPER LEVEL PLAN
A-103 ROOF PLAN
A-200 ELEVATIONS
A-201 ELEVATIONS

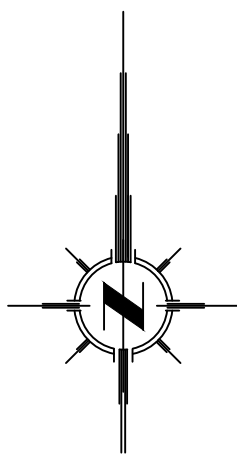
LANDSCAPE:
L1 LANDSCAPE CONCEPT PLAN
L2 HYDROZONE PLAN

CIVIL: SITE SERVICING CONCEPT PLAN

VIEW 1/ A-RENDER

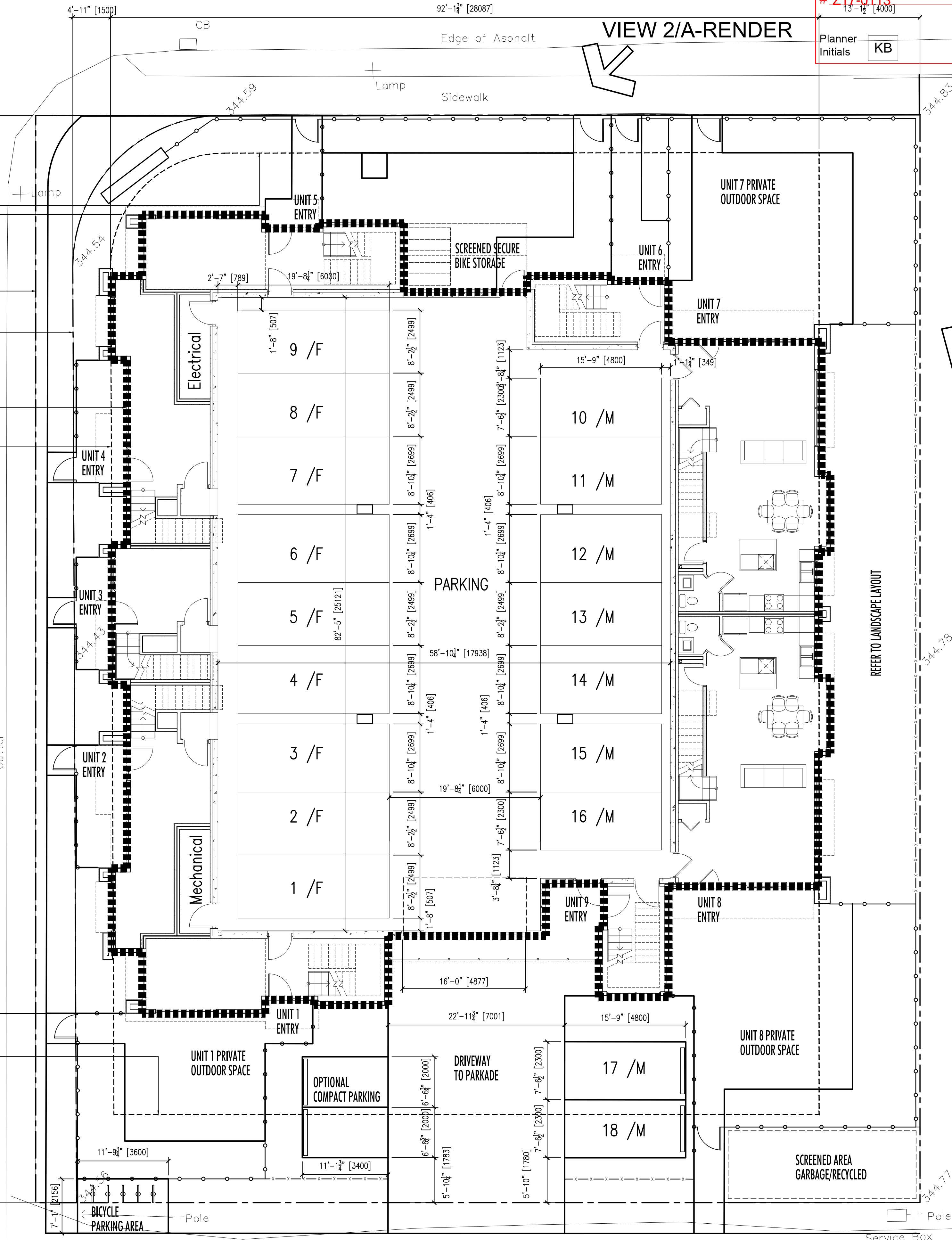


PANDOSY STREET



1 SITE/PARKING PLAN
A-001 1/8" = 1'-0"

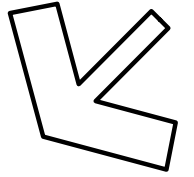
VIEW 3/A-RENDER



PATTERSON AVE.

VIEW 2/A-RENDER

VIEW 4/ A-RENDER



ATTACHMENT A

This forms part of application

Z17-0113

Planner Initials KB

City of Kelowna
COMMUNITY PLANNING

architecturally
DISTINCT SOLUTIONS INC.
ph:250-448-7801 cell:250-878-4318

501-1630 Pandosy St.,
Kelowna, BC V1Y 1P7
www.distinctsolutions.ca

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All trades are to execute the work in accordance with the current municipality building by-laws and requirements of other local authorities having jurisdiction as well as the British Columbia Building Code - (most recent edition) including all published revisions and addenda. All trades shall assume full responsibility for the location and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone.

Revision No., Date and Description

08.18.17-FOR DP
10.04.17-DP REVS
10.27.17-DP REVS
11.30.17-DP REVS
01.18.18-DP REVS

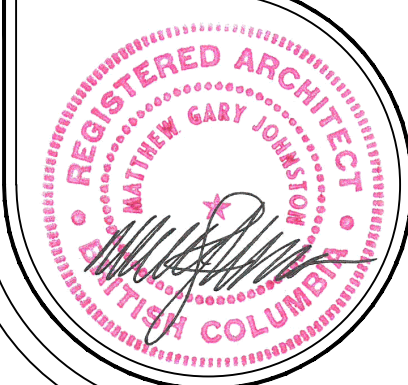
Plot Date 18-Jan-18 Drawing No. A-001

PROJECT

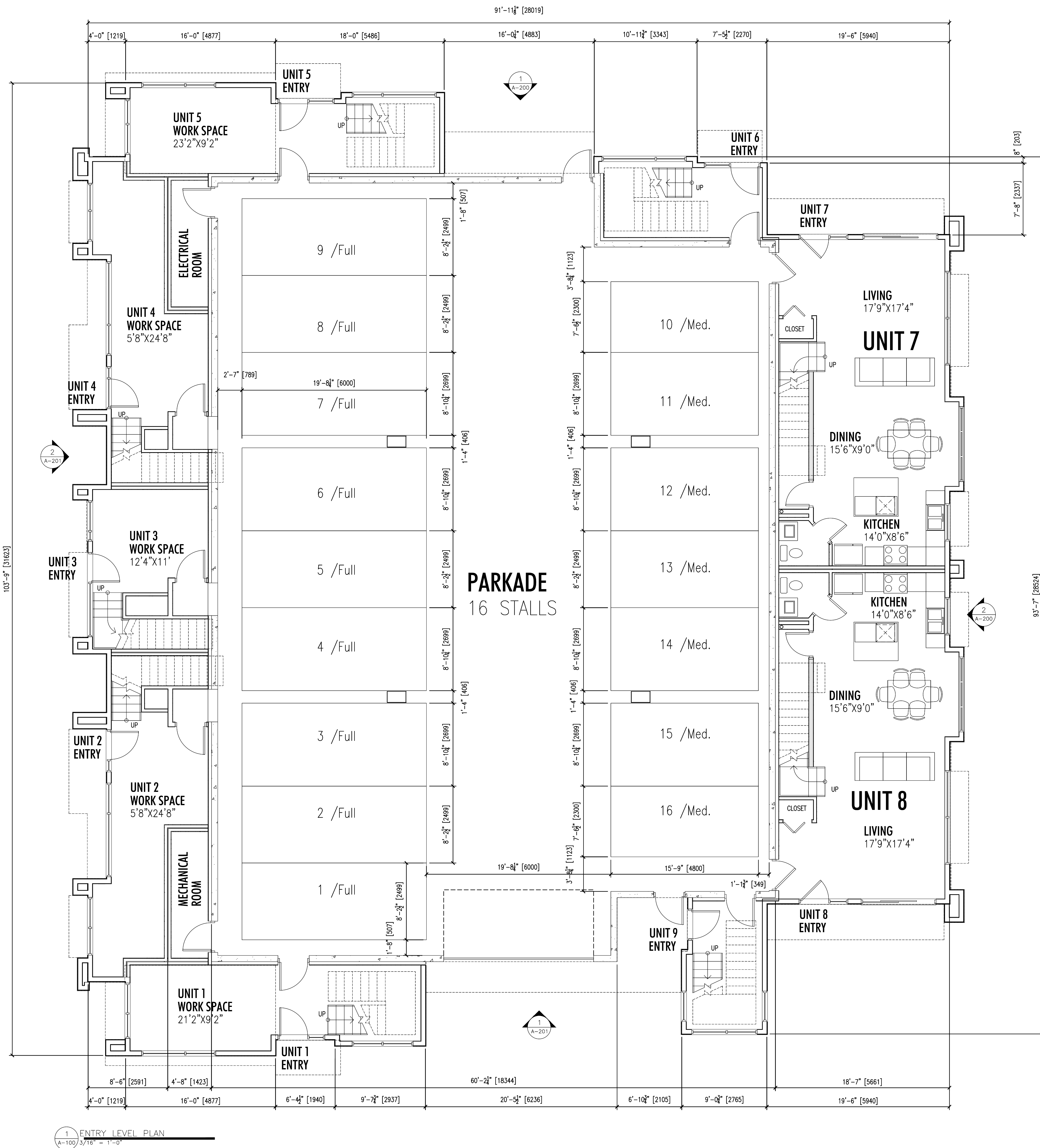
2565 PANDOSY STREET

DRAWING TITLE

PROJECT INFORMATION



FOR DP



1 ENTRY LEVEL PLAN
A-100 3/16" = 1'-0"

ATTACHMENT A

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Z17-0113

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COMMUNITY PLANNING

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501-1630 Pandosy St.,
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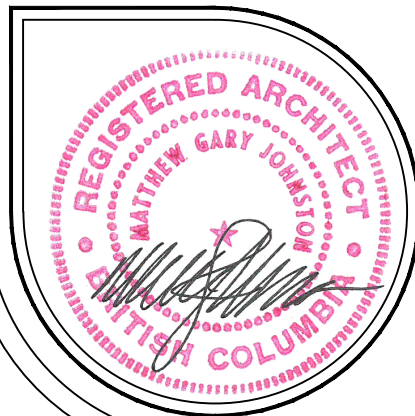
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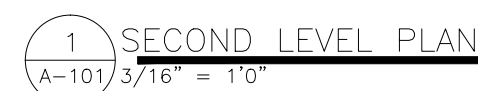
Revision No., Date and Description
08.18.17-FOR DP
10.04.17-DP REVS
10.27.17-DP REVS
11.30.17-DP REVS
01.18.18-DP REVS

Plot Date	Drawing No.
18-Jan-18	A-100

PROJECT
2565 PANDOSY STREET
DRAWING TITLE
ENTRY LEVEL PLAN



FOR DP



Revision No., Date and Description
08.18.17-FOR DP
10.04.17-DP REVS
10.27.17-DP REVS
11.30.17-DP REVS
01.18.18-DP REVS

Plot Date	Drawing No.
18-Jan-18	A-101

PROJECT
2565 PANDOSY STREET

DRAWING TITLE
SECOND LEVEL PLAN



FOR DP



1 UPPER LEVEL PLAN
A-102/3/16' = 1"0"

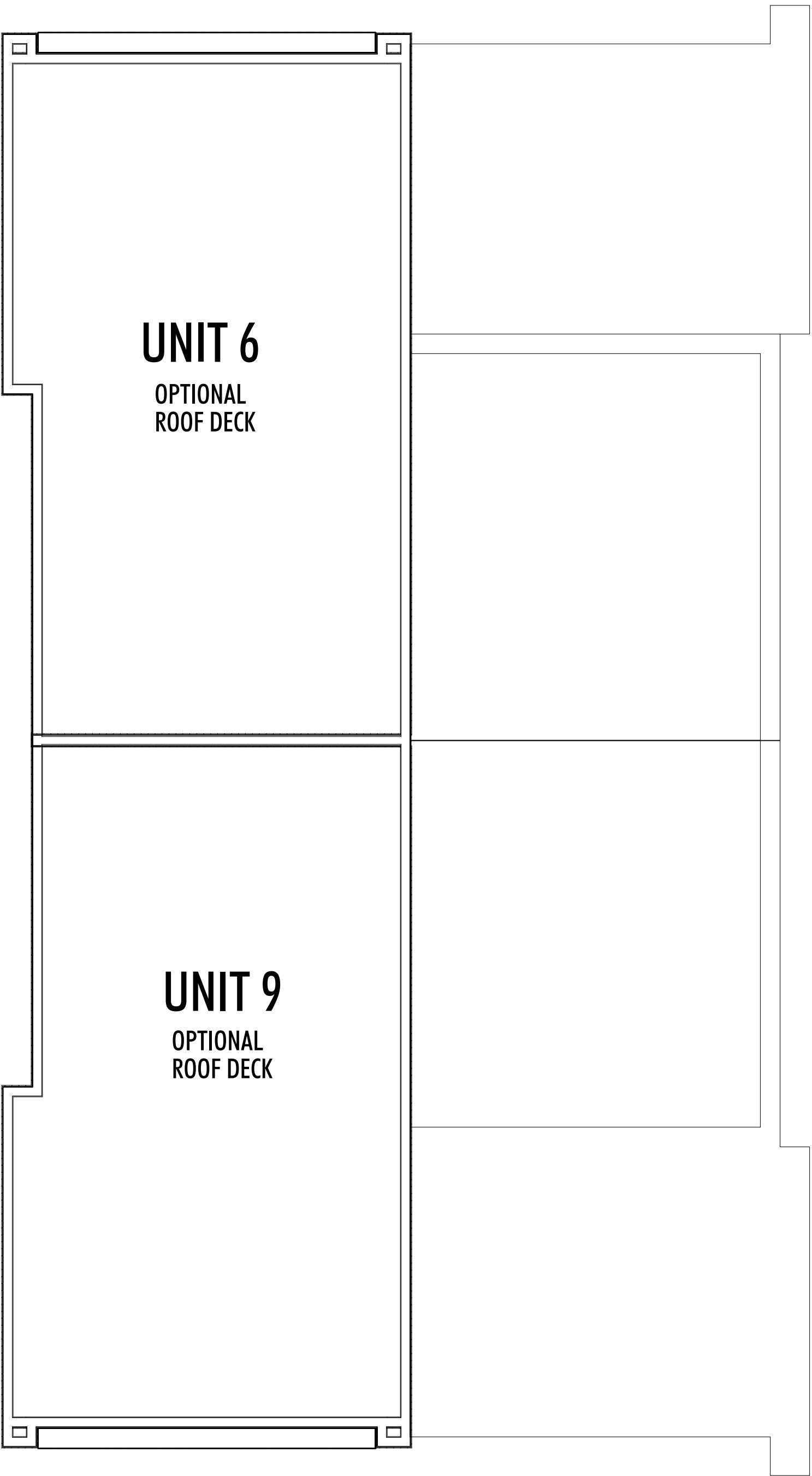
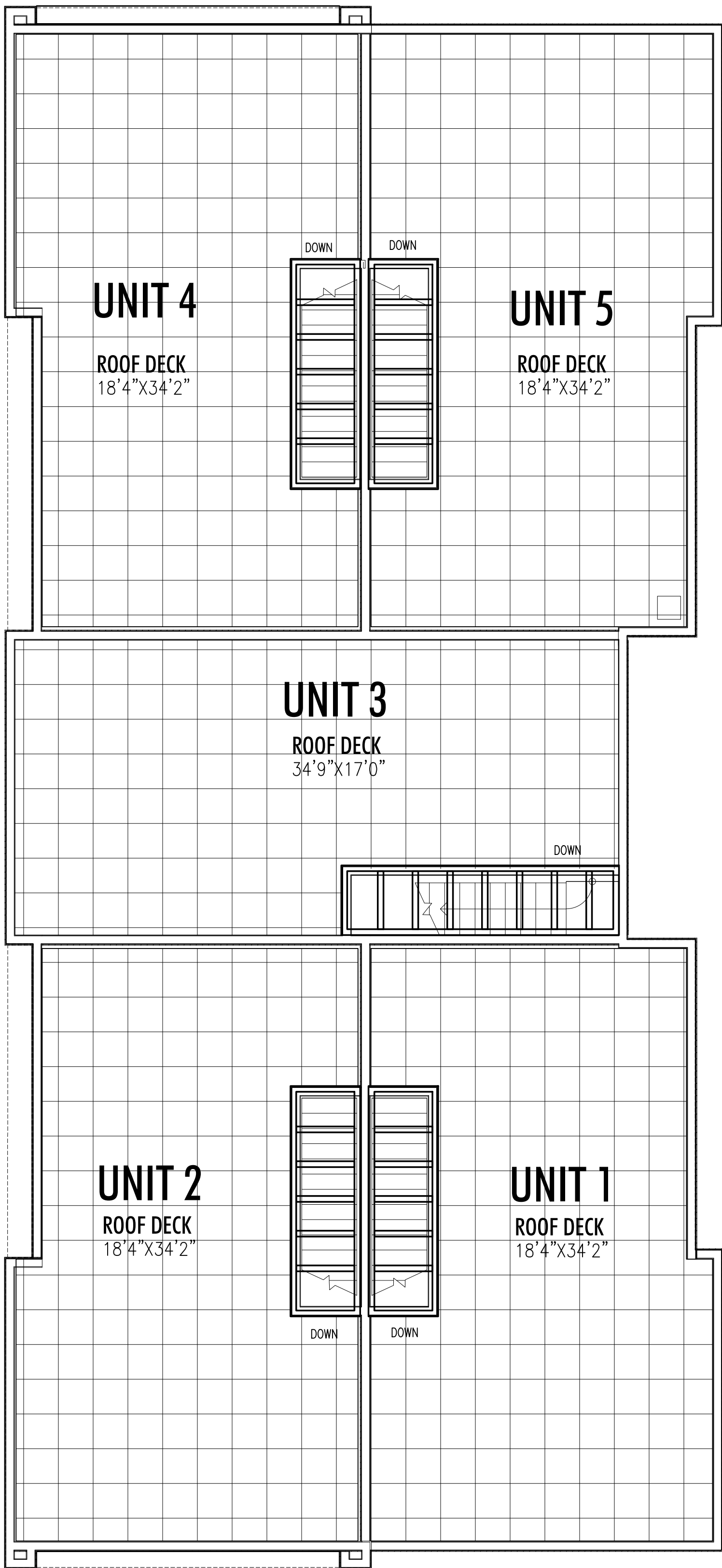
FOR DP

Revision No., Date and Description
08.18.17-FOR DP
10.04.17-DP REVS
10.27.17-DP REVS
11.30.17-DP REVS
01.18.18-DP REVS

Plot Date	Drawing No.
18-Jan-18	A-102

PROJECT
2565 PANDOSY STREET
DRAWING TITLE
UPPER LEVEL PLAN





1 ROOF PLAN
A=103/3/16" = 1/8"

FOR DP

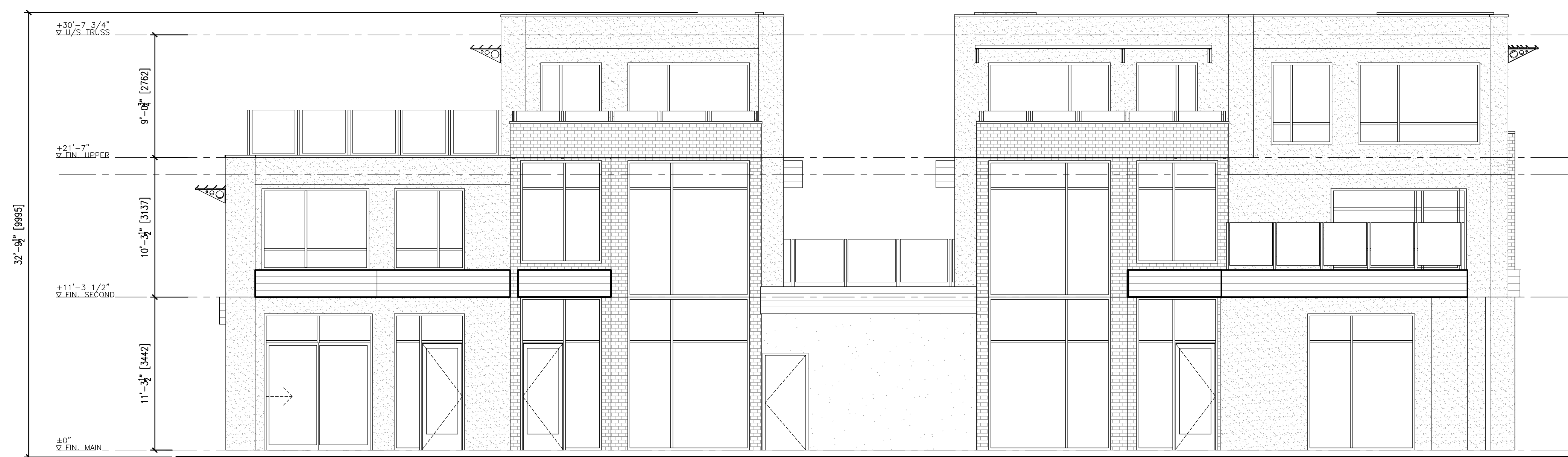
Revision No., Date and Description
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10.04.17-DP REVS
10.27.17-DP REVS
11.30.17-DP REVS
01.18.18-DP REVS

Plot Date	Drawing No.
18-Jan-18	A-103

PROJECT
2565 PANDOSY STREET

DRAWING TITLE
ROOF PLAN

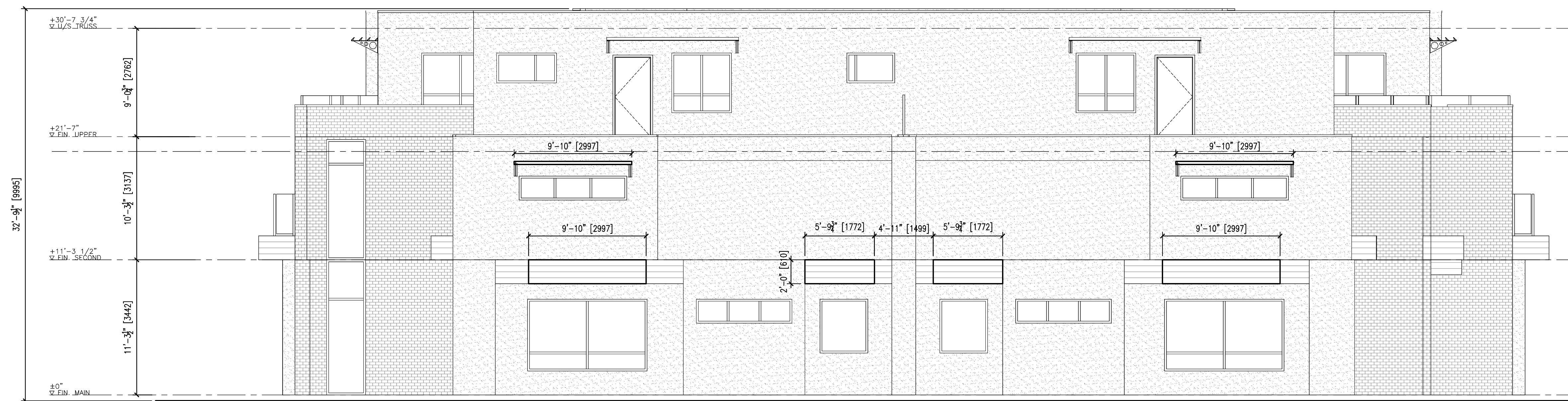




1 NORTH ELEVATION
3/16"=1'-0"



- MATERIAL LEGEND:
1. RECLAIMED BRICK VENEER
 2. CHARCOAL BRICK VENEER
 3. ACRYLIC STUCCO (LIGHT)
 4. ACRYLIC STUCCO (DARK)
 5. METAL CLAD WINDOWS (BLACK)
 6. GLAZED FIBREGLASS EXTERIOR DOOR (STAIN GRADE)
 7. PRE-FIN. METAL CAP FLASHING
 8. ALUMINUM/GLASS RAILING SYSTEM
 9. ALUMINUM WINDOW SHADES
 10. FAUX WOOD CANOPY

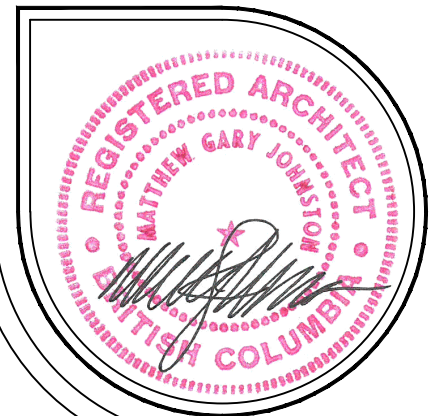


2 EAST ELEVATION
3/16"=1'-0"

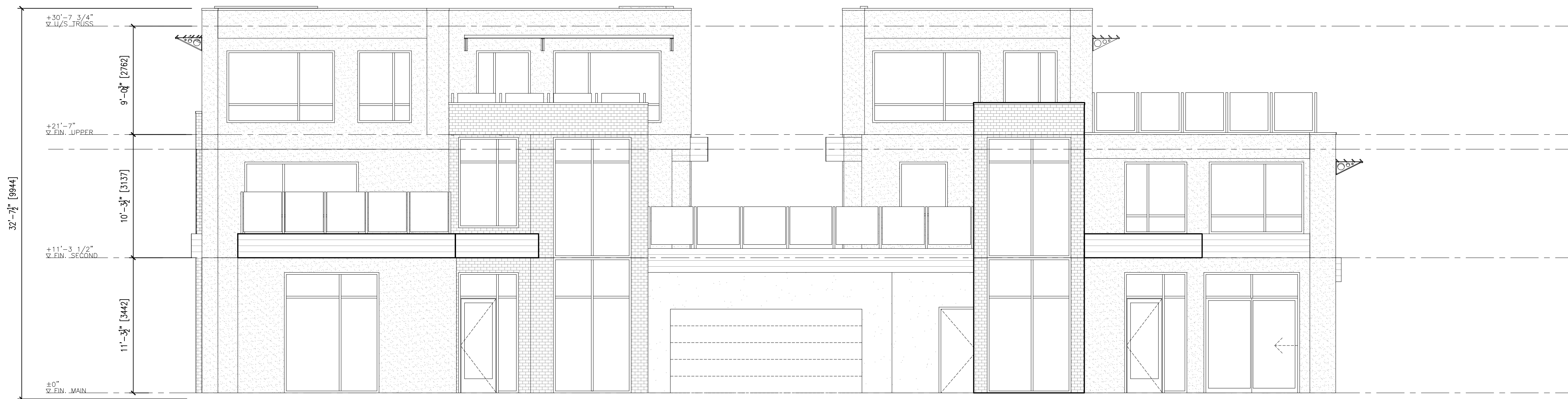
Revision No., Date and Description
08.18.17-FOR DP
10.04.17-DP REVS
10.27.17-DP REVS
11.30.17-DP REVS
01.18.18-DP REVS

Plot Date	Drawing No.
18-Jan-18	A-200

PROJECT
2565 PANDOSY STREET
DRAWING TITLE
ELEVATIONS



FOR DP



1 SOUTH ELEVATION
3/16"=1'-0"



- MATERIAL LEGEND:
1. RECLAIMED BRICK VENEER
 2. CHARCOAL BRICK VENEER
 3. ACRYLIC STUCCO (LIGHT)
 4. ACRYLIC STUCCO (DARK)
 5. METAL CLAD WINDOWS (BLACK)
 6. GLAZED FIBREGLASS EXTERIOR DOOR (STAIN GRADE)
 7. PRE-FIN. METAL CAP FLASHING
 8. ALUMINUM/GLASS RAILING SYSTEM
 9. ALUMINUM WINDOW SHADES
 10. FAUX WOOD CANOPY



2 WEST ELEVATION
3/16"=1'-0"

FOR DP



VIEW 1



VIEW 2



VIEW 3



VIEW 4

FOR DP

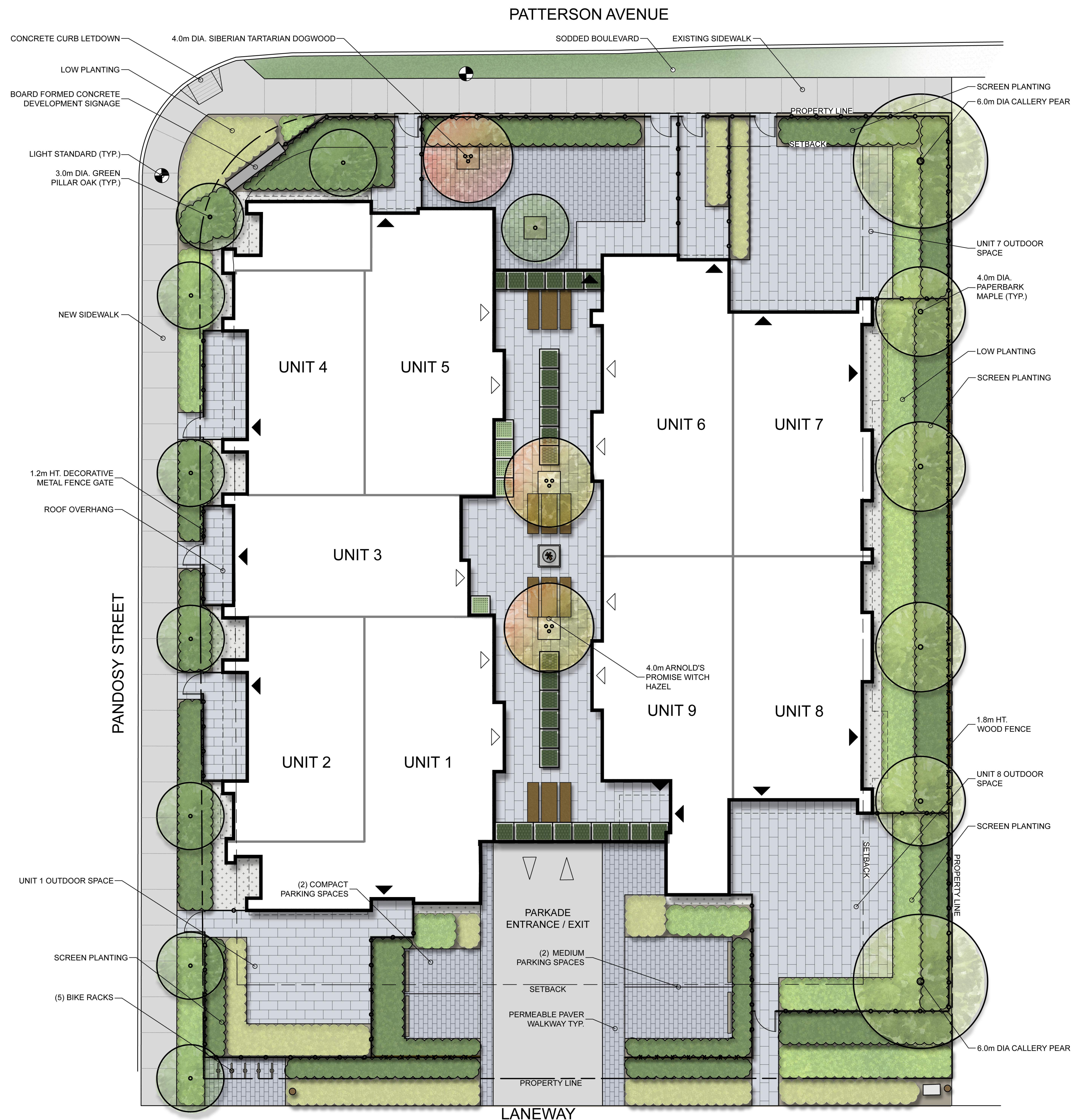
Revision No., Date and Description	
08.18.17-FOR DP	
10.27.17-DP REVS	
01.18.18-DP REVS	

Plot Date	Drawing No.
18-Jan-18	A-RENDER

PROJECT
2565 PANDOSY STREET

DRAWING TITLE
RENDERINGS

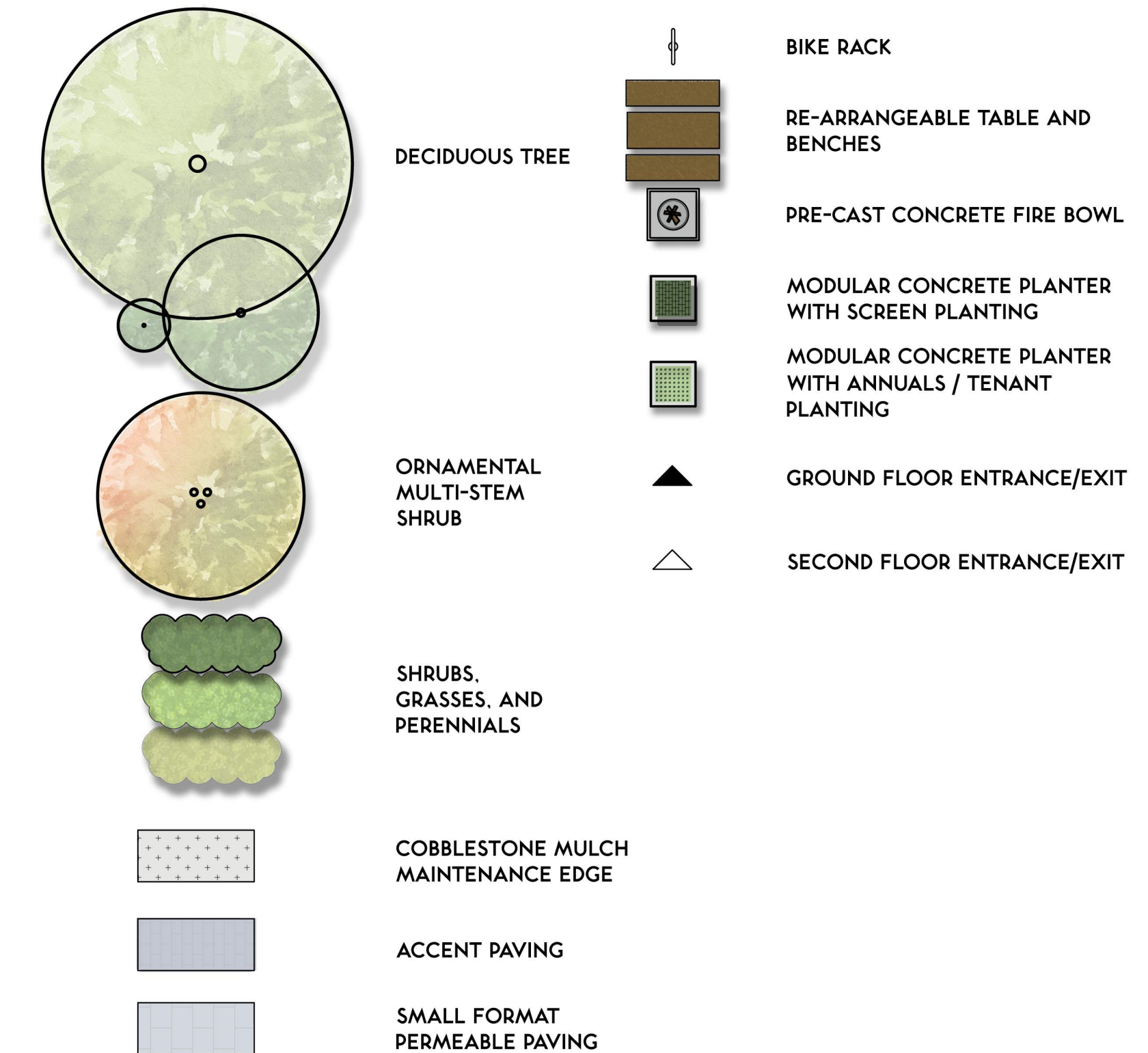




DEVELOPMENT PERMIT NOTES:

- A. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE B.C. LANDSCAPE STANDARDS, PUBLISHED BY B.C.L.N.A. AND B.C.S.L.A. AS WELL AS THE CITY OF KELOWNA LANDSCAPE STANDARDS IN BYLAW 7900.
- B. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM CITY OF KELOWNA FORM AND CHARACTER REQUIREMENTS.
- C. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY AT THE TIME OF CONSTRUCTION.
- D. TREES SHALL BE INSTALLED IN DEFINED SOIL PITS OR PLANTING BED AREAS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION.
- E. ORNAMENTAL SHRUB, GRASS AND PERENNIAL CLUSTERS ARE TO BE PLACED WITHIN DEFINED PLANTING BEDS, ALL PLANTING BEDS SHALL HAVE A MIN. OF 450mm (18") IMPORTED GROWING MEDIUM AND 75mm (3") OF COMPOSTED MULCH OR APPROVED EQUAL.
- F. TURF AREAS SHALL BE LOW WATER USE 'NO. 1 PREMIUM' SOD WITH A MIN. OF 150mm (6") IMPORTED GROWING MEDIUM.
- G. A HIGH EFFICIENCY IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL ORNAMENTAL LANDSCAPE AREAS AND SHALL CONFORM TO THE CITY OF KELOWNA'S IRRIGATION STANDARDS IN BYLAW 7900.

LEGEND:



PLANT LIST:

TREES			
Botanical Name	Common Name	Size / Spacing	Root
<i>Acer griseum</i>	Paperbark maple	6cm Cal.	B&B
<i>Cornus alba</i> 'Sibirica'	Siberian Tartarian dogwood	#10 Pot	Potted
<i>Hamelamelis x intermedia</i> 'Arnold's Promise'	Arnold's promise witch hazel	#10 Pot	Potted
<i>Pyrus calleryana</i> 'Redspire'	Callery pear	B&B	Potted
<i>Quercus palustris</i> 'Pringreen'	Green pillar oak	6cm Cal.	B&B
SHRUBS			
Botanical Name	Common Name	Size / Spacing	Root
<i>Ericameria nauseosa</i>	Rabbitbrush	#05 Cont./1.5m O.C.	Potted
<i>Juniperus communis</i>	Common juniper	#02 Pot / 1.2m O.C.	Potted
<i>Juniperus horizontalis</i> 'Wiltonii'	Blue rug juniper	#02 Pot / 1.2m O.C.	Potted
<i>Salix Brachycarpa</i> 'Blue Fox'	Blue fox willow	#02 Pot / 1.2m O.C.	Potted
PERENNIALS			
Botanical Name	Common Name	Size / Spacing	Root
<i>Artemesia versicolor</i> 'Seafoam'	Curlicue sage	#02 Cont./0.45m O.C.	Potted
<i>Calluna vulgaris</i>	Common heather	#02 Cont./1.0m O.C.	Potted
<i>Colchicum autumnale</i>	Autumn crocus	Bulb	Potted
<i>Lavandula angustifolia</i> 'Munstead'	Munstead lavender	#02 Cont./0.6m O.C.	Potted
<i>Lupinus sericeus</i>	Silky lupine	#02 Cont./0.45m O.C.	Potted
<i>Perovskia atriplicifolia</i> 'Little Spire'	Little spire Russian sage	#02 Cont./0.6m O.C.	Potted
<i>Perovskia</i> 'Longin'	Longin Russian sage	#02 Cont./0.6m O.C.	Potted
<i>Pulsatilla vulgaris</i>	Prairie crocus	Bulb	Potted
<i>Salvia nemorosa</i> 'Caradonna'	Caradonna sage	#02 Cont./0.6m O.C.	Potted
GRASSES			
Botanical Name	Common Name	Size / Spacing	Root
<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster grass	#02 Cont./0.6m O.C.	Potted
<i>Carex flageellifera</i>	Weeping brown sedge	#02 Cont./0.6m O.C.	Potted
<i>Deschampsia caespitosa</i>	Tufted hair grass	#02 Cont./0.6m O.C.	Potted
<i>Deschampsia caespitosa</i> 'Bronzeschleier'	Bronze tufted hair grass	#02 Cont./0.3m O.C.	Potted
<i>Elymus canadensis</i>	Canadian wild rye	#02 Cont./0.6m O.C.	Potted
<i>Koeleria glauca</i>	Blue hair grass	#02 Cont./0.6m O.C.	Potted
<i>Leymus arenarius</i>	Blue lyme grass	#02 Cont./0.6m O.C.	Potted
<i>Miscanthus</i> 'Giganteus'	Giant Chinese silver grass	#02 Cont./1.0m O.C.	Potted
<i>Panicum virgatum</i> 'Heavy Metal'	Heavy metal blue switch grass	#02 Cont./1.0m O.C.	Potted
<i>Sorghastrum nutans</i>	Indian grass	#02 Cont./1.0m O.C.	Potted
<i>Sporobolus heterolepis</i>	Prairie doospeed	#02 Cont./0.6m O.C.	Potted

<h1 style="margin: 0; color: red;">ATTACHMENT</h1>	<h1 style="margin: 0; color: red;">A</h1>	
<p style="color: red;">This forms part of application</p> <p style="color: red;"># Z17-0113</p>		
<p>Planner Initials</p>	<div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto; display: flex; align-items: center; justify-content: center; font-weight: bold;">KB</div>	<div style="text-align: right;">  <p style="margin: 0;">City of Kelowna COMMUNITY PLANNING</p> </div>

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REVISIONS / ISSUED:

NO.	DATE	DESCRIPTION
3	NOV 30/17	REISSUED FOR DP
2	JUL 26/17	ISSUED FOR DP
1	JUL 05/17	ISSUED FOR REVIEW



CLIENT:

1018545 B.C. Ltd.
KELOWNA, B.C.

PROJECT:
PATTERSON ROAD
MULTIFAMILY
KELOWNA, B.C.

SHEET TITLE

LANDSCAPE
CONCEPT PLAN

DESIGN BY	KN
DRAWN BY	GW
CHECKED BY	KN
PROJECT NO.	17-011
SCALE	1:100

SHEET NO. _____