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## CITY OF KELOWNA

# MEMORANDUM

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**Date:** July 11, 2017  
**File No.:** DP17-0158  
**To:** Urban Planning (AC)  
**From:** Development Engineer Manager (JK)  
**Subject:** 3050 Sexsmith Rd., Lot 30 Plan 18861

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The Development Engineering Branch comments and requirements regarding this application for a development Permit are as follows:

1. General.

- a) Provide easements and Road Right of Way as may be required.
- b) Requirement associated with the development of the subject property were addressed in the rezoning report under file, Z17-0060.

2.. On-site related issues.

- a) A site grading plan must be provided and it must demonstrate that the ultimate access from Palomino Road meets the City requirements upon closure of the temporary access from Sexsmith Road.

2. Water Servicing Requirements.

- a) This development is within the service area of the Glenmore Ellison Irrigation District (GEID). The developer is required to make satisfactory arrangements with the GEID for these items. All charges for service connection and upgrading costs are to be paid directly to the GEID. The developer is required to provide a confirmation that the district is capable of supplying fire flow in accordance with the City of Kelowna current Bylaws and Policies.

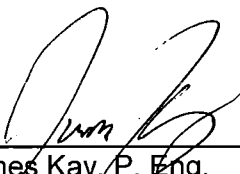
<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# <b>DP17-0158</b>		
Planner Initials	<div style="border: 1px solid black; padding: 2px; display: inline-block;">AC</div>	 <b>City of Kelowna</b> <small>COMMUNITY PLANNING</small>

3. Stormwater Management plan.


- a. The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems. The existing lot is serviced with a 150mm diameter storm service. Only one service will be permitted for this development. The applicant, at his cost, will arrange the installation of one overflow service if required.

4. Power and Telecommunication Services.

The services to this development are to be installed underground. It is the developer's responsibility to make a servicing application to the respective utility companies. The utility companies are then required to obtain the city's approval before commencing their works.

  
James Kay, P. Eng.  
Development Engineering Manager

RO

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# <b>DP17-0158</b>		
Planner Initials	<b>AC</b>	 City of <b>Kelowna</b> COMMUNITY PLANNING

# Development Permit DP17-01582



This permit relates to land in the City of Kelowna municipally known as

**3050 Sexsmith Rd**

and legally known as

Lot 30, Section 3, Township 23, ODYD, Plan 18861

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: \_\_\_\_\_, 2018

Decision By: CITY COUNCIL

Issued Date: TBD

Development Permit Area: Comprehensive Development Permit Area

File Manager: AC

**This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.**

Existing Zone: I6 – Low Impact Transitional Industrial Zone

Future Land Use Designation: IND-L – Industrial Limited

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: CK16 Property Group Ltd. BC1098771  
Address: 3955 Pritchard Drive North  
City: Kelowna, BC  
Phone: n/a

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Ryan Smith, Community Planning Department Manager  
Community Planning & Strategic Investments

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Date

### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

### 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$63,796.25
- OR
- b) An Irrevocable Letter of Credit in the amount of \$63,796.25

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

### 4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

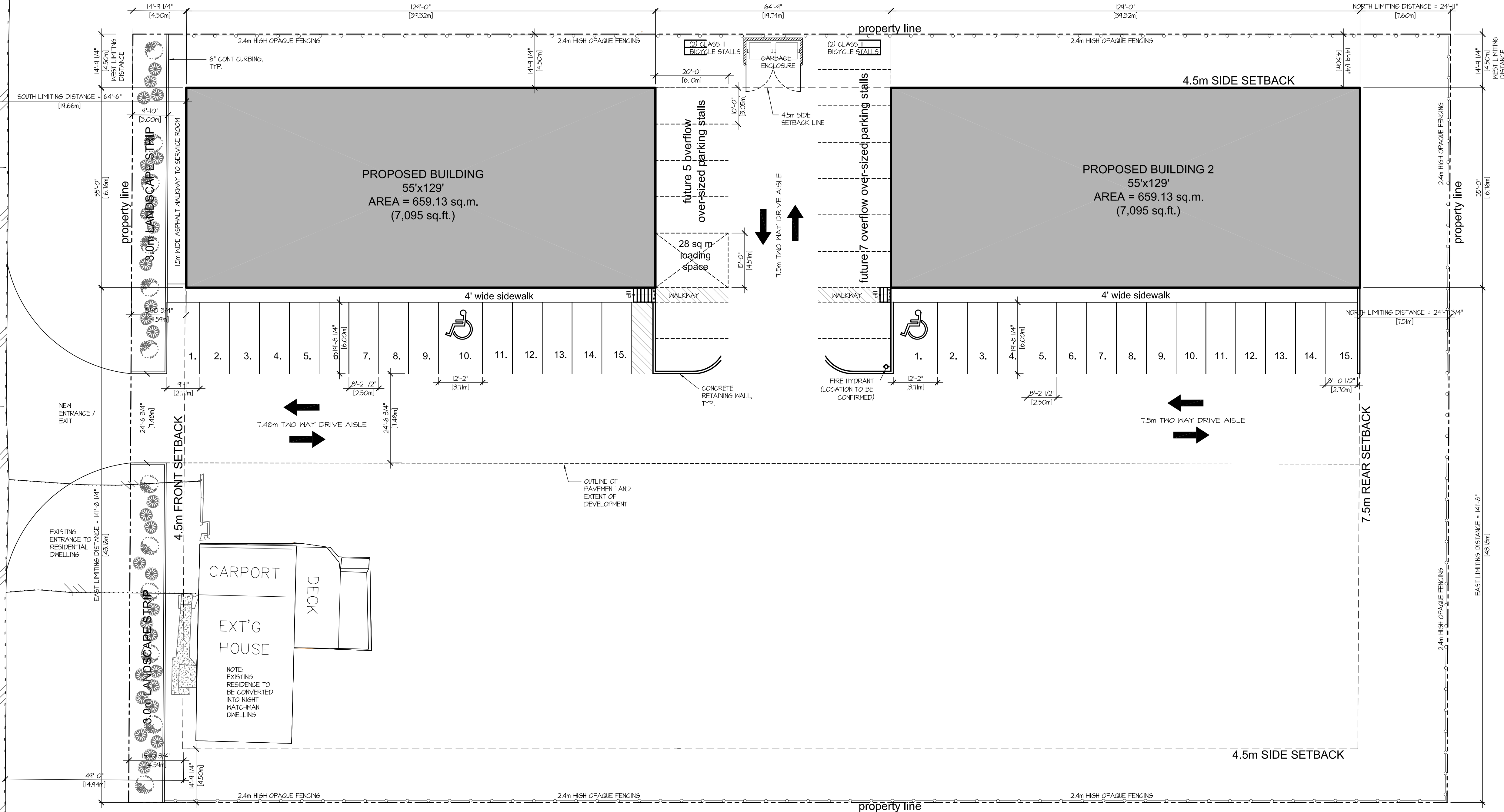
- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

CAMPION ST.

SEXSMITH ROAD



SITE PLAN  
SCALE: 1/8" = 1'-0"

SCHEDULE

This forms part of application

# DP17-0158

Planner

Initials

AC

City of

Kelowna

COMMUNITY PLANNING

PROJECT DATA		
CIVIC ADDRESS: 3050 SEXSMITH ROAD, KELOWNA, BC		
LEGAL DESCRIPTION: SECTION 3, LOT 30, PLAN KAP18861 PID 008-202-851		
CURRENT ZONING: A1 AGRICULTURAL		
PROPOSED ZONING: I-6 LOW IMPACT TRANSITIONAL INDUSTRIAL		
LOT AREA = 1.84 ACRES, 7,444.91 sq.m. (80,150.4 sq.ft.)		
INTENDED USAGE: CONTRACTOR SERVICES, GENERAL		
ZONING BYLAW REQUIREMENTS		
BUILDING AREAS:		
BUILDING 1:	GFA OF GROUND FLOOR	= 659.13 sq m
BUILDING 2:	GFA OF GROUND FLOOR	= 659.13 sq m
	GFA OF BASEMENT	= 111.55 sq m
	GFA OF 2ND FLOOR	= 104.85 sq m
	TOTAL NET FLR AREA	= 880.53 sq m
TOTAL GFA OF BOTH BLDGS = 1310.26 sq m		
PROPERTY & STRUCTURES	PERMITTED/REQ'D	PROPOSED/ACTUAL
LOT WIDTH (min)	40.0m	64.45m
LOT DEPTH (min)	50.0m	110.45m
LOT AREA (min)	3,500 sq.m.	7,444.91 sq.m.
LOT COVERAGE (%)	50%	17.7%
BUILDING HEIGHT (max)	9.5m	9.5m
SETBACKS (m)		
FRONT (SEXSMITH RD)	4.5m	4.5m
SIDE (WEST)	4.5m	4.5m
SIDE (EAST)	4.5m	43.18m
REAR (NORTH)	7.5m	7.5m
PARKING		
2.0 / 100 sq.m. GFA (MIN. 5)	26.4 STALLS	30 PROVIDED
LOADING SPACES (FOR WAREHOUSE)		
1 SPACE / 1,900 sq.m. GFA	1 REQ'D	1 PROVIDED
HANDICAP PARKING		
1 SPACE FOR > 50 STALLS	0 REQ'D	2 PROVIDED
BICYCLE PARKING SPACES		
CLASS II 0.3 / 100 sq.m. GFA	3.96 REQ'D	4 PROVIDED
LANDSCAPING & SCREENING		
FRONT (SEXSMITH RD)	3.0m LANDSCAPE BUFFER	3.0m LANDSCAPE BUFFER
SIDE (WEST)	CONT OPAQUE BARRIER	CONT OPAQUE BARRIER
SIDE (EAST)	CONT OPAQUE BARRIER	CONT OPAQUE BARRIER
REAR (NORTH)	CONT OPAQUE BARRIER	CONT OPAQUE BARRIER
AS PER BYLAW 16.5 THE BUFFER WIDTHS AT THE SIDES OF THE PROPERTY HAVE BEEN REDUCED TO THE REQ'D BUILDING SETBACKS.		



PROJECT NAME:  
PROPOSED BLDG  
@ 3050 SEXSMITH RD  
KELOWNA, BC

DRAWING TITLE:  
SITE PLAN & ZONING  
BYLAW REVIEW

DRAWING NUMBER:	
DP-1	
REVISION	
DRAWN: SAW	CHECKED: SAW
SCALE: 1/8" = 1'-0"	DATE:

PROJECT NO. - 2015-000

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REVISION NO.	DESCRIPTION	BY	DATE
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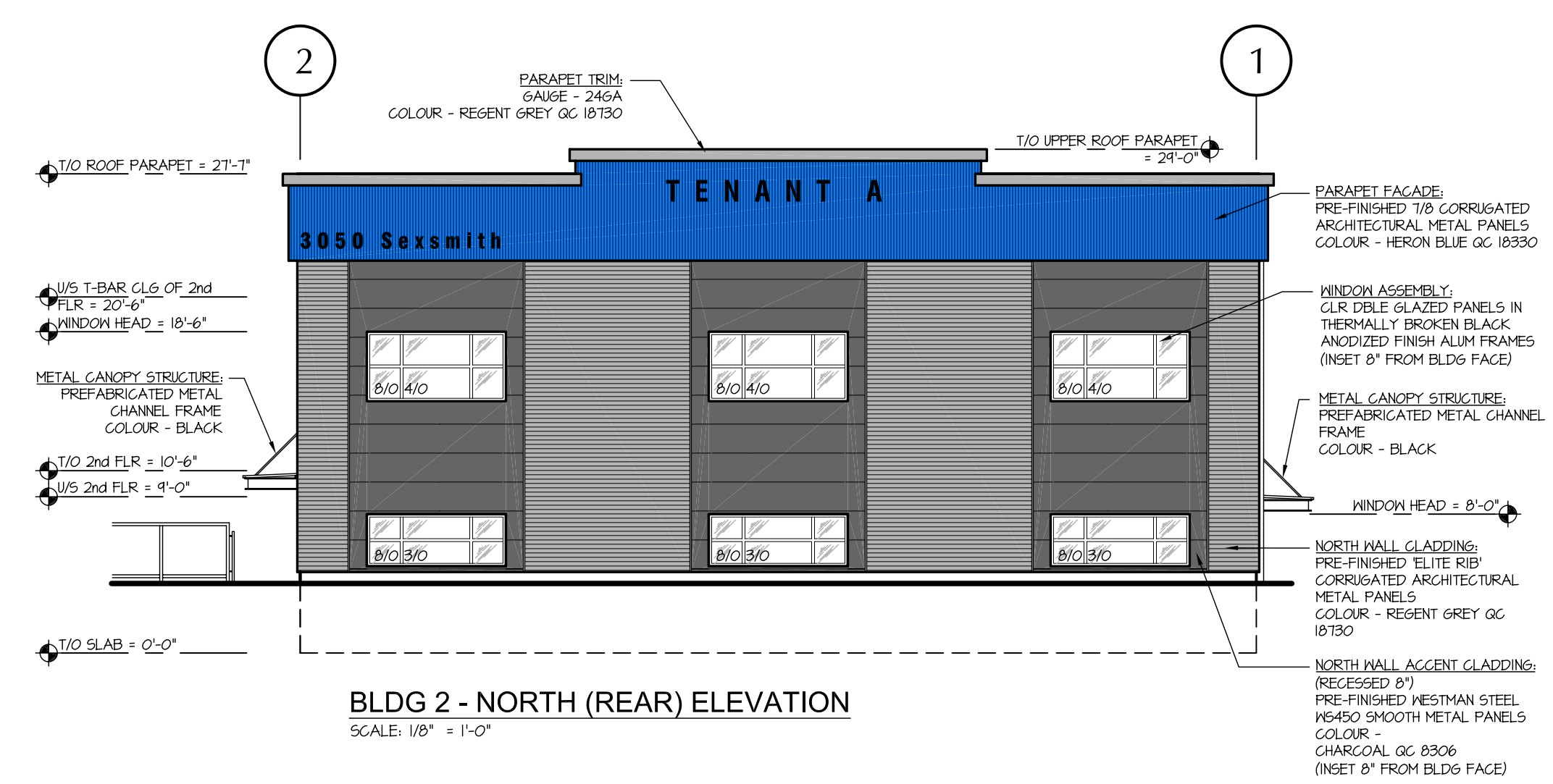
ISSUED FOR NO.	DESCRIPTION	BY	DATE
1.	FOR DEV. PERMIT		NOV 24/17

NOTES:

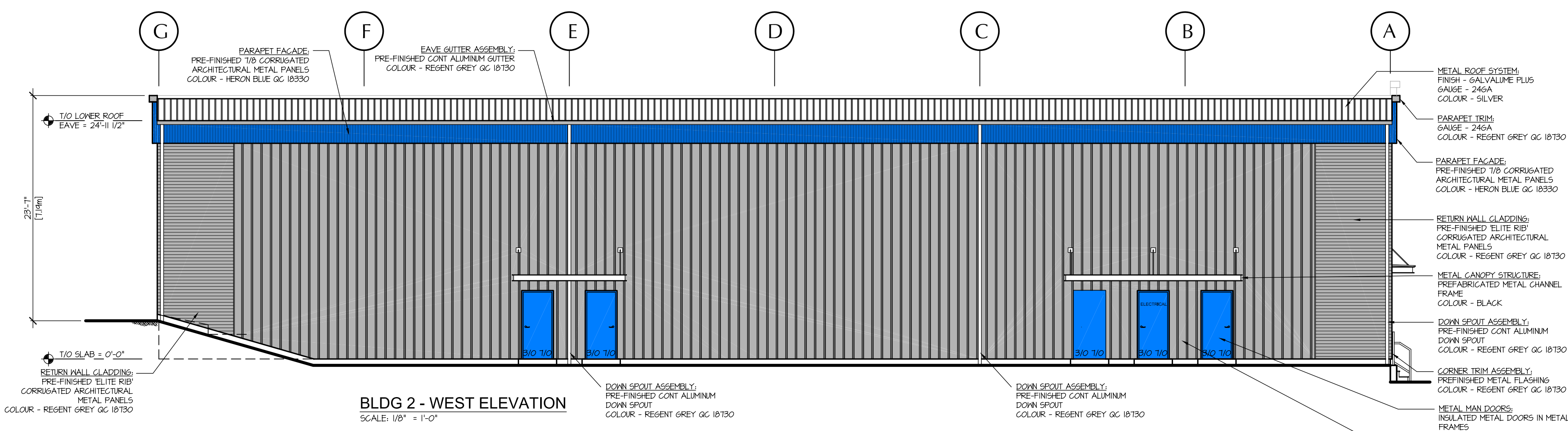




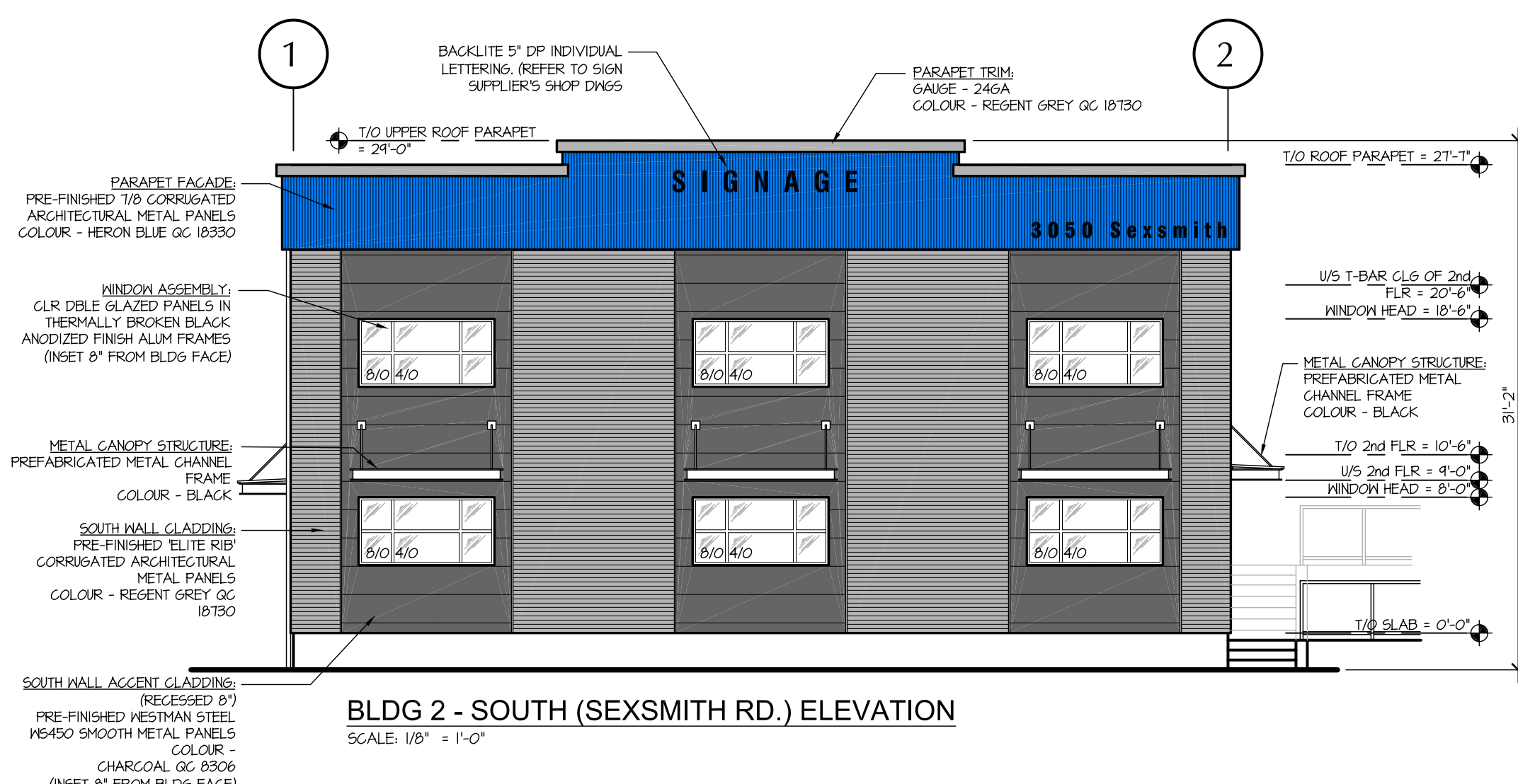




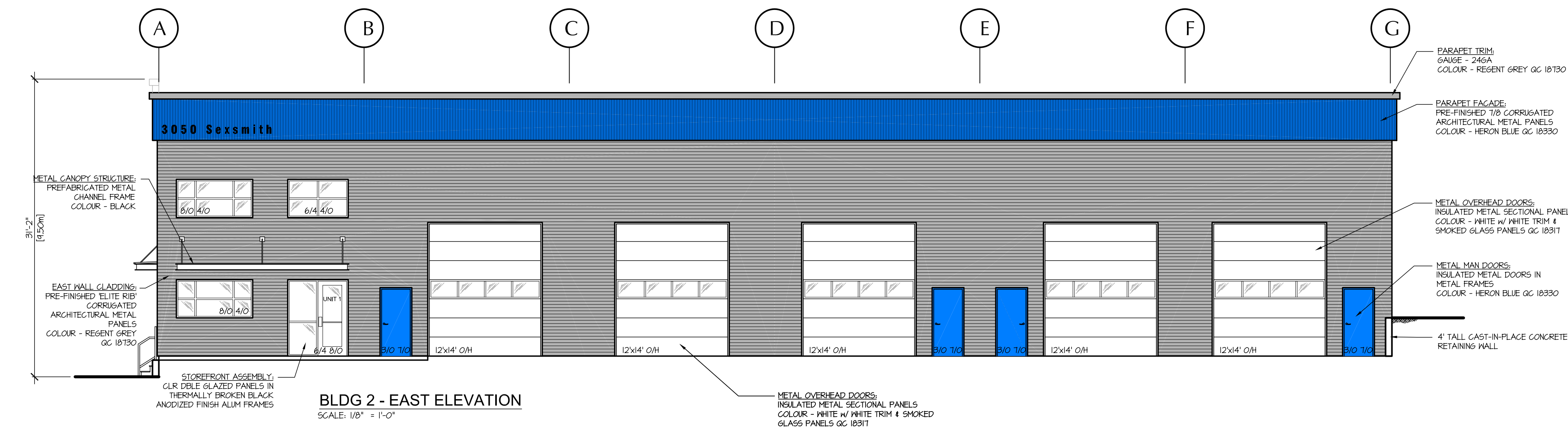
BLDG 2 - NORTH (REAR) ELEVATION  
SCALE: 1/8" = 1'-0"



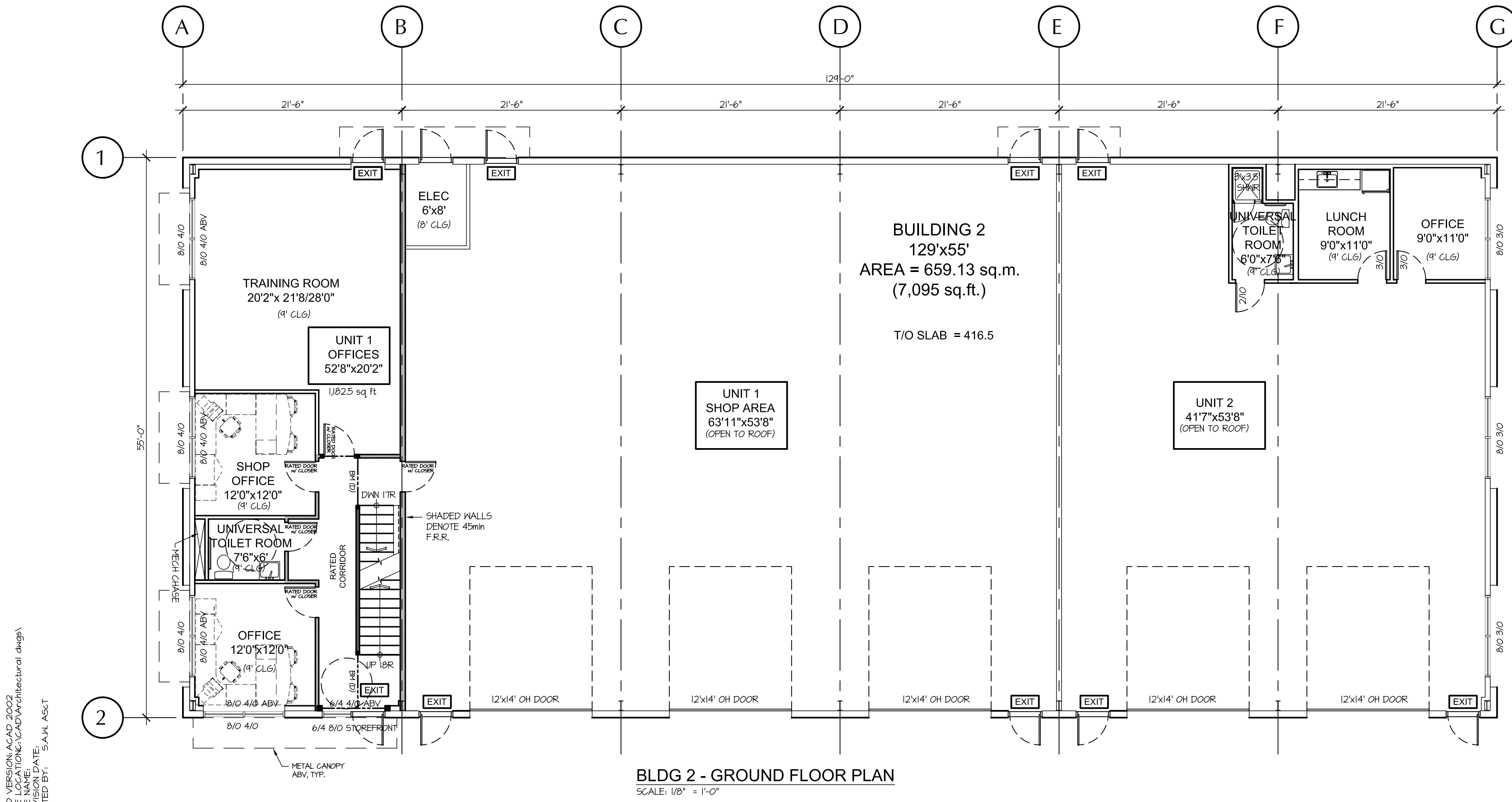
BLDG 2 - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



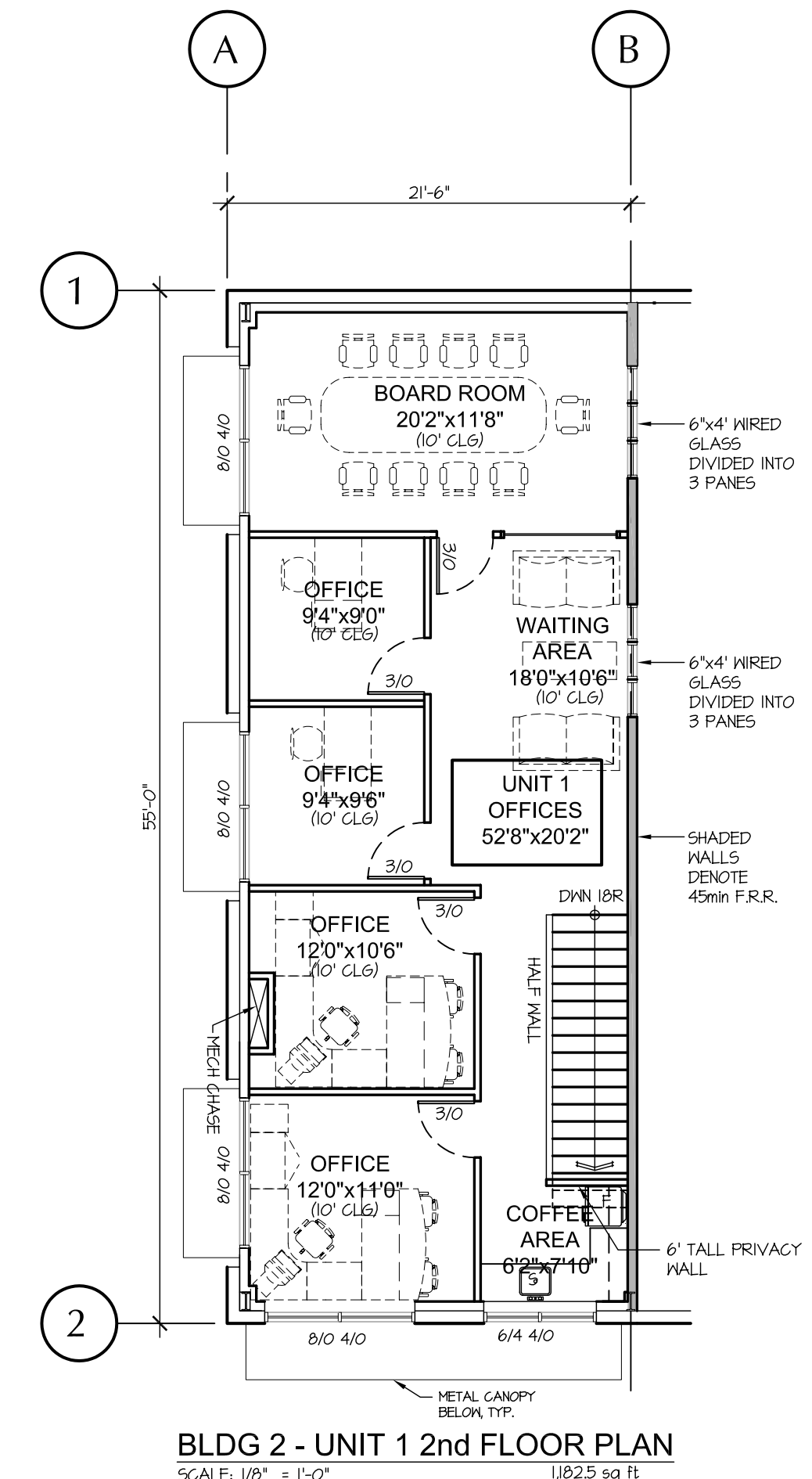
BLDG 2 - SOUTH (SEXSMITH RD.) ELEVATION  
SCALE: 1/8" = 1'-0"



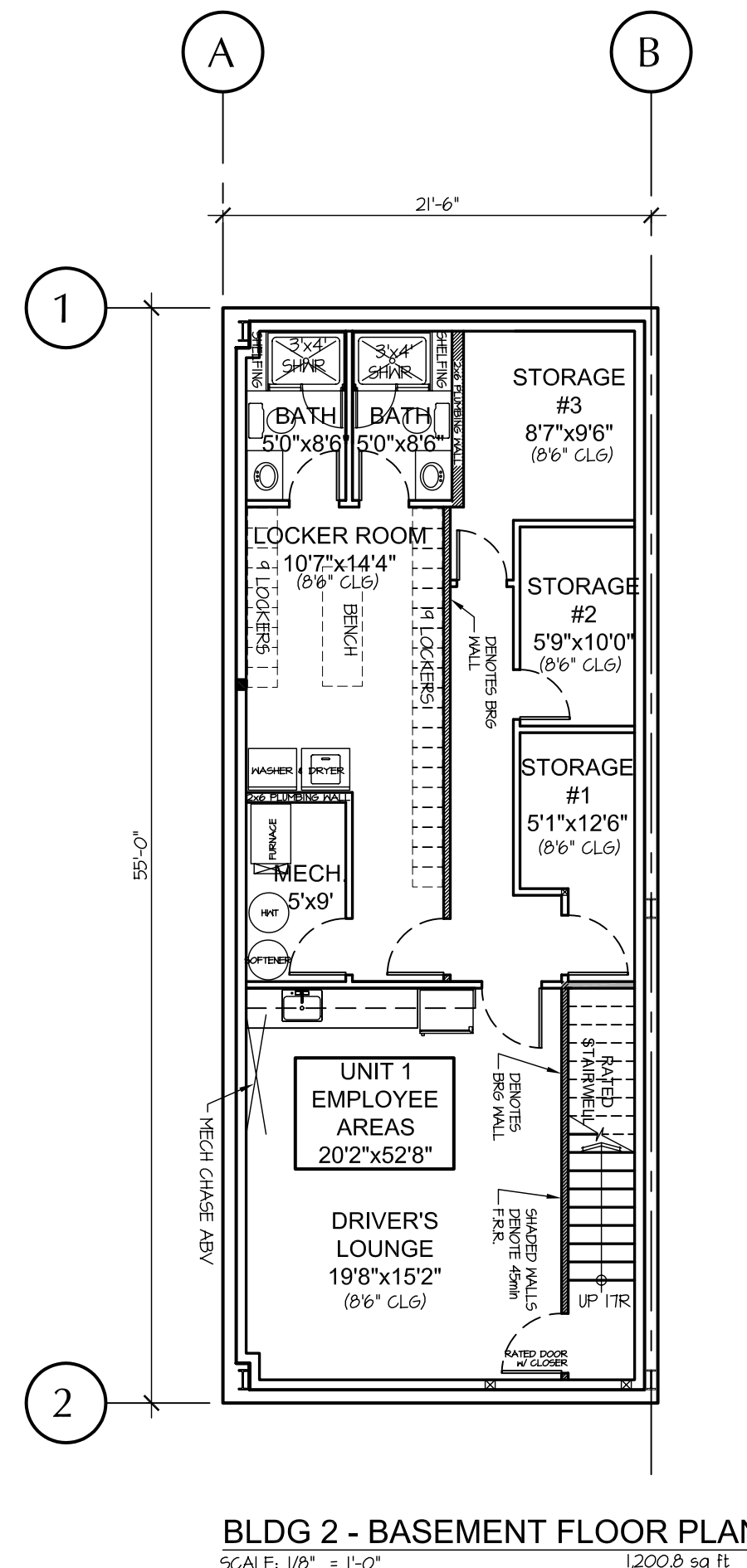
BLDG 2 - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



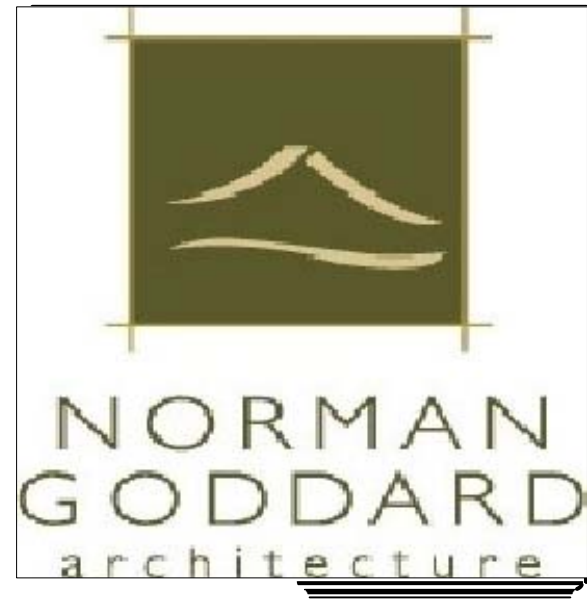
BLDG 2 - GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



BLDG 2 - UNIT 1 2nd FLOOR PLAN  
SCALE: 1/8" = 1'-0"



BLDG 2 - BASEMENT FLOOR PLAN  
SCALE: 1/8" = 1'-0"



PROJECT NAME:  
PROPOSED BLDG 2  
@ 3050 SEXSMITH RD  
KELOWNA, BC

DRAWING TITLE:  
EXTERIOR ELEVATIONS  
& FLOOR PLANS

DRAWING NUMBER:	
DP-3	
REVISION	
DRAWN: SAW	CHECKED: SAW
SCALE: 1/8" = 1'-0"	DATE:

PROJECT NO. - 2015-000

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NO.	DESCRIPTION	BY	DATE
1.	FOR DEV. PERMIT		NOV 24/17

NOTES:

SCHEDULE

A & B

This forms part of application

# DP17-0158

Planner Initials AC

City of Kelowna  
COMMUNITY PLANNING

CAD VERSION: ACAD 2002  
FILE NAME: D:\Projects\2015\2015-000\2015-000.dwg  
DRAWN BY: SAW  
CHECKED BY: SAW  
DATE: 11/24/17



3050 SEXSMITH ROAD

KELOWNA

2015

SCHEDULE

A & B

This forms part of application

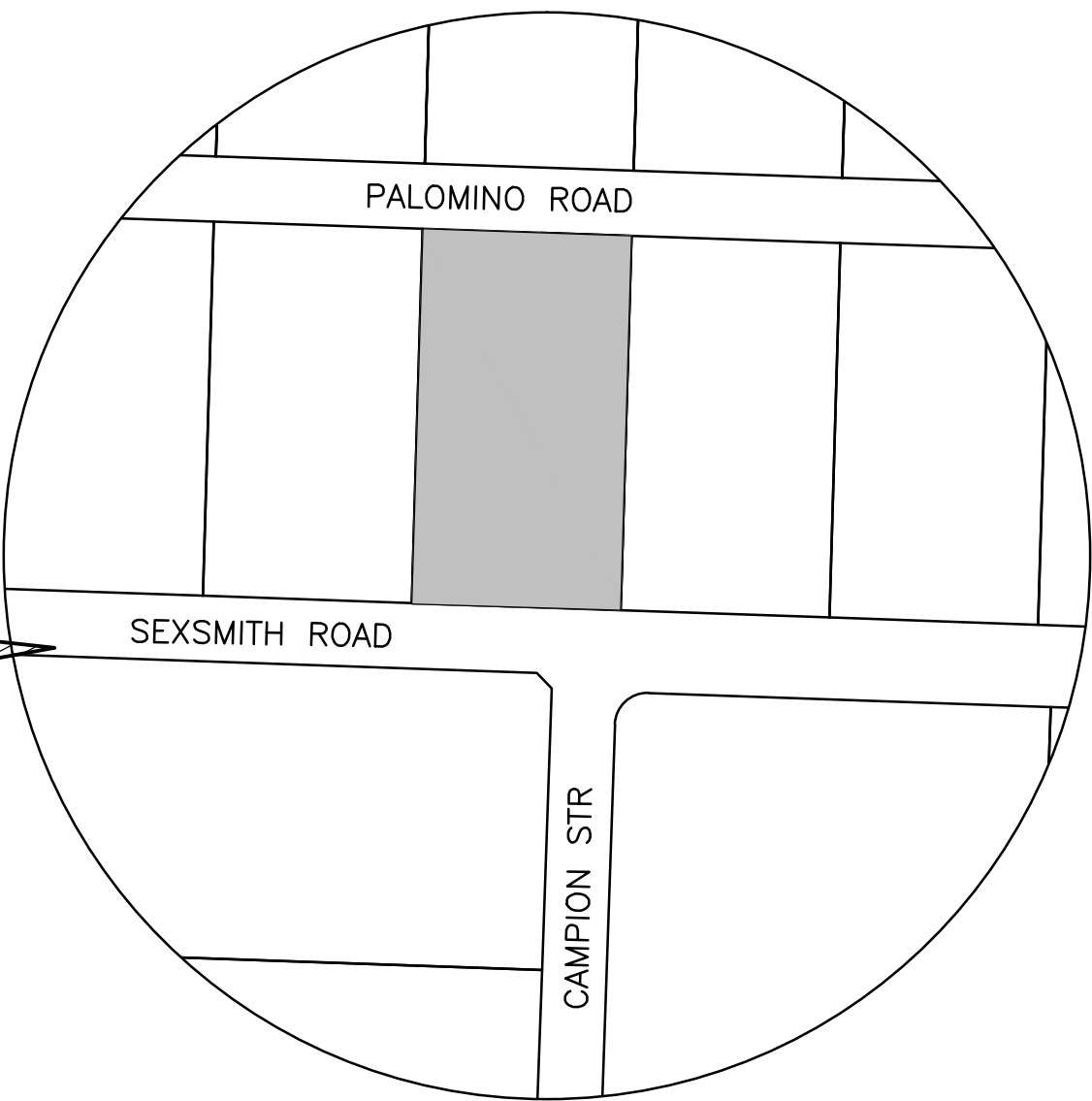
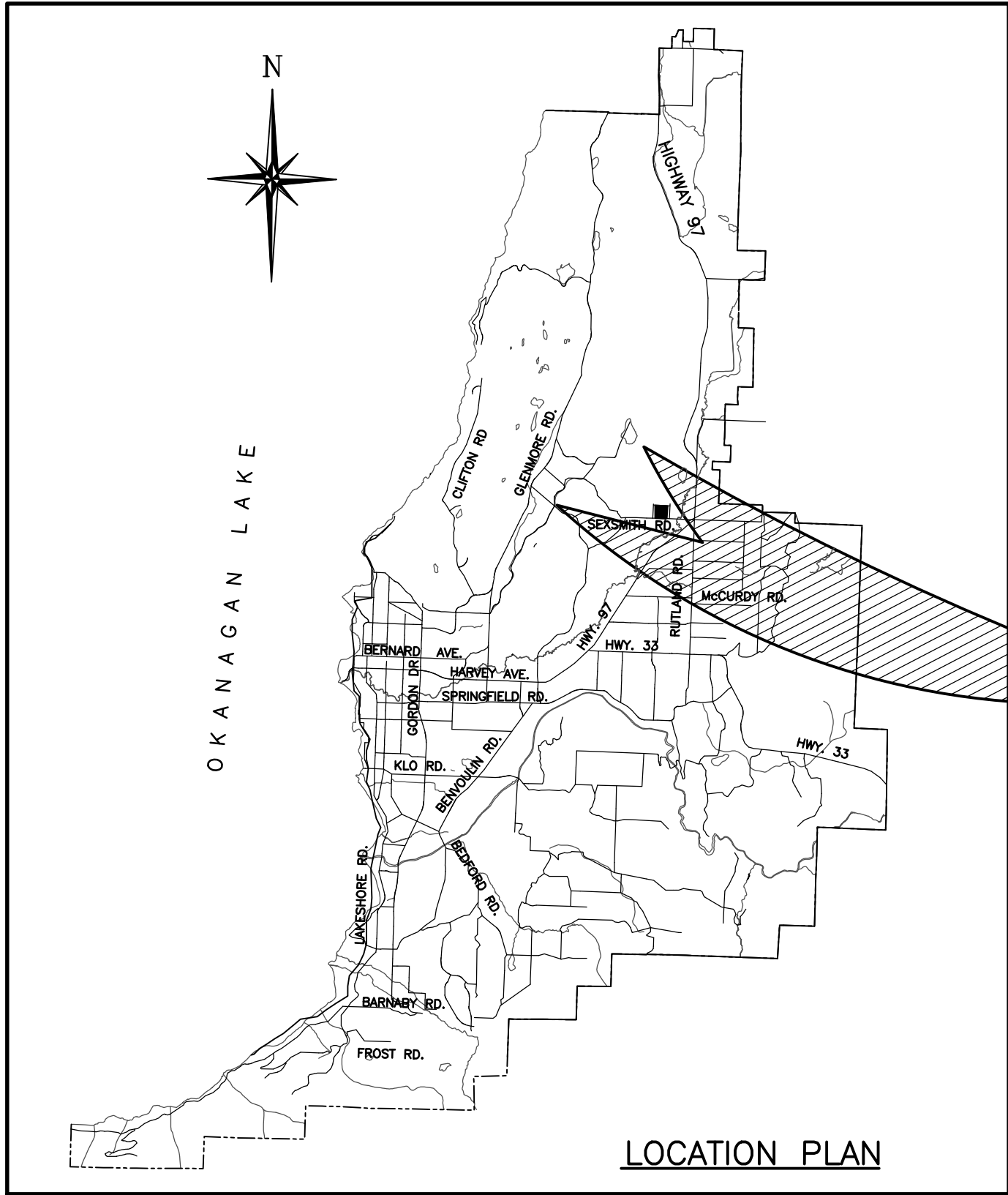
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COMMUNITY PLANNING



WATERMAIN SPECIFIC NOTES

- CONTRACTOR TO HOLD A SITE MEETING PRIOR TO STARTING WORK. NOTIFY GEID AND ENGINEER TWO WORKING DAYS PRIOR TO THE MEETING. CONTRACTOR TO ARRANGE FOR PIPE MANUFACTURE TO ATTEND.
- ALL WATERMAIN TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS AND INSTRUCTIONS. CARE TO BE TAKEN TO ELIMINATE OVER DEFLECTION OF JOINTS AND OVER INSERTION OF PIPE JOINTS. PRIOR TO ANY WORK BEING UNDERTAKEN CONTRACTOR TO OBTAIN A COPY OF MANUFACTURES GUIDELINES AND IS TO PROVIDE A COPY TO THE ENGINEER.
- CONTRACTOR TO PROVIDE ASBUILT LOCATION OF ANY UNDERGROUND FITTINGS (X,Y & Z COORDINATES) AND LOCATION OF ANY CUT SECTIONS OF PIPE.
- ALL UNDERGROUND METALLIC JOINTS, VALVES AND FITTINGS SHALL BE PROTECTED BY DENSO PASTE, TAPE AND 30 LB ZINC ANODE.
- 12 GUAGE TRACER WIRE TO BE INSTALLED ALONG THE WATERMAINS, ALONG THE SERVICES BETWEEN THE MAIN AND CURB STOPS (FOR SERVICES WHICH ARE NOT INSTALLED PERPENDICULAR TO THE PROPERTY LINES). PICKUP POINTS TO BE INSTALLED AT LINE AND HYDRANT VALVES. MULTIPLE VALVE ASSEMBLIES NEED ONLY ONE PICKUP POINT. TRACER WIRE CONNECTORS TO BE WATERTIGHT, DESIGNED AND RATED FOR BURIED APPLICATION (I.E. 3M DBR OR COMPARABLE).
- GEID FORCES TO ASSIST AND DIRECT THE TIE IN TO GEID'S EXISTING WATERMAIN. UTILITY TIE-INS TO BE COMPLETED BY THE CONTRACTOR, USING CONTRACTOR SUPPLIED MATERIALS AND EQUIPMENT. TIE-IN TO BE COORDINATED WITH GEID PROJECTS SUPERVISOR, MIKE ROJEM, 250-763-6506. MINIMUM 48 HOURS (WORKING DAYS) NOTICE IS REQUIRED AS GEID REPRESENTATIVE MUST BE PRESENT.
- A SCHEDULE MUST BE PROVIDED TO GEID A MINIMUM OF ONE WEEK PRIOR TO ANY WORKS WHICH MAY CAUSE SERVICE DISRUPTIONS. TIE-IN WORK MAY NOT PROCEED UNLESS WRITTEN APPROVAL IS PROVIDED TO THE DEVELOPER BY GEID, AND GEID FORCES ARE PRESENT DURING ALL TIE-IN CONSTRUCTION. A FOLLOW UP PHONE CALL TO BE PROVIDED TO GEID 48 PRIOR TO REPORT ANY SCHEDULING CHANGES.
- ALL THRUST BLOCKS TO BE INSTALLED AS PER APPROPRIATE GEID STANDARD DRAWINGS W10, W1b & W1c. CONTRACTOR TO OBTAIN COPY OF AND KEEP AT COPY ON SITE FOR REVIEW DURING CONSTRUCTION. -THE CONTRACTOR IS TO ENSURE THAT A PROTECH CONSULTING INSPECTOR BE NOTIFIED AND IS PRESENT TO DOCUMENT CONSTRUCTION OF KEY ITEMS SPECIFIC TO GEID'S INSPECTION POLICY.
- WATERMAINS TO BE TESTED AND CHLORINATED TO GEID STANDARDS PRIOR TO TIE-IN.
- 450mm MINIMUM VERTICAL SEPARATION BETWEEN WATERMAINS AND STORM & SANITARY MAINS WHEN CROSSING. WATERMAIN SHALL BE ON TOP, IF 450mm CLEARANCE CANNOT BE ACHIEVED USE MMCD STANDARD G6.
- MAXIMUM JOINT DEFLECTION SHALL BE LIMITED TO 1.5 TIMES THE RESULTING MINIMUM RADIUS OF CURVATURE OF THE MANUFACTURES RECOMMENDATIONS.
- ALL WATERMAINS TO BE C900 PC235 PVC UNLESS OTHERWISE STATED.
- ALL DESIGN CURVATURES ARE BASED ON IPEX PIPE GUIDELINES.
- ALL FILL WITHIN 300mm OF VALVE RISERS AND SERVICE BOXES TO BE CLEAN SAND.

CITY OF KELOWNA STANDARD DRAWINGS

GENERAL DETAILS

- STD. SS-G4 UTILITY TRENCH
- STD. SS-G5 PAVEMENT RESTORATION

STORM AND SANITARY SEWERS

- STD. SS-S1a MANHOLES
- STD. SS-S1b MANHOLE FRAME AND COVER
- STD. SS-S9 INSPECTION CHAMBER FOR 100 TO 200 SANITARY SEWER CONNECTION
- STD. SS-S54 CATCH BASIN TRAPPING HOOD
- STD. SS-S55 FLOW CONTROL CHAMBER (WITH SEDIMENT GREASE TRAP)

WATERWORKS

- STD. SS-W8a BLOW-OFF (FOR MAINS 100mm & SMALLER)

MMCD STANDARD DRAWINGS

GENERAL DETAILS

- STD. G6 CONCRETE ENCASEMENT

STORM AND SANITARY SEWERS

- STD. S3 MANHOLE CONNECTION DETAILS - DROP AND RAMP TYPE
- STD. S7 SANITARY SEWER SERVICE CONNECTION
- STD. S8 STORM SEWER SERVICE CONNECTION

WATERWORKS

- STD. W3 GATE VALVE INSTALLATION

GEID STANDARD DRAWINGS

- STD. B-1 THRUST BLOCK STANDARDS FOR FITTINGS WITHOUT VALVES
- STD. B-2 THRUST BLOCK DIMENSIONS FOR FITTINGS WITHOUT VALVES
- STD. B-3 THRUST BLOCK DIMENSIONS FOR FITTINGS WITH VALVES
- STD. B-4 TRACER WIRE INSTALLATION FOR WATERMAINS
- STD. B-6 CATHODIC PROTECTION DETAILS - METALLIC FITTINGS

GEID STANDARD SPECIFICATIONS

- STD. B-5 CATHODIC PROTECTION SPECIFICATIONS

GENERAL NOTES

- CONSTRUCTION SHALL ONLY PROCEED WITH APPROVED ISSUED FOR CONSTRUCTION DRAWINGS. IT IS THE CONTRACTOR RESPONSIBILITY TO ASSURE THAT THEY ARE IN POSSESSION OF THE MOST RECENT SET OF DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT FROM DIGITAL INFORMATION. ACCURACY FROM DIGITAL FILES IS NOT GUARANTEED. LAYOUT TO CONFORM TO DISTANCES AND OFFSETS AS SHOWN ON THE CONTRACT DRAWINGS. CONTRACTOR TO CONFIRM THE ACCURACY OF THE LAYOUT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS FOR CONSTRUCTION & ARRANGING FOR DISPOSAL OF GROUND WATER AS REQUIRED.
- THE CONTRACTOR SHALL COORDINATE ALL DENSITY TESTING REQUIRED WITH THE TESTING FIRM SPECIFIED BY THE ENGINEER.
- INITIAL DENSITY TESTING COSTS TO BE BORN BY THE DEVELOPER WITH THE COST OF RETESTS OF FAILED TESTS BORN BY THE CONTRACTOR.
- THE POSITION OF POLE LINES, CONDUITS, WATERMAINS, SEWERS, UNDERGROUND, ABOVEGROUND UTILITIES & STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS. WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING AROUND LEGAL PINS TO AVOID DISTURBANCE. IF THE CONTRACTOR IS UNABLE TO AVOID DISTURBANCE OF ANY PIN BECAUSE OF PHYSICAL CONSTRAINTS OF THE SITE, THE ENGINEER SHALL BE NOTIFIED PRIOR TO DISTURBING THE SURVEY PIN. ANY SURVEY PIN DISTURBED WITHOUT NOTIFYING THE ENGINEER, SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY.
- ALL HYDRO AND COMMUNICATION INSTALLATION TO CONFORM TO INDIVIDUAL UTILITY COMPANY STANDARDS & CITY OF KELOWNA STANDARDS
- SEE UTILITY COMPANY DRAWINGS FOR DETAILED INSTALLATION PLANS. PRIOR TO STARTING SHALLOW UTILITY CONSTRUCTION THE CONTRACTOR MUST CONTACT THE INDIVIDUAL UTILITY COMPANIES (FORTIS, TERASEN, TELUS & SHAW CABLE) TO ENSURE THEY ARE IN POSSESSION OF THE MOST RECENT DRAWINGS AND SPECIFICATIONS AND ARRANGE FOR INSPECTIONS. ANY CHANGES TO THE WORK IN THE FIELD MUST BE APPROVED BY THE UTILITY COMPANIES AND RECORDED BY THE CONTRACTOR FOR AS BUILT INFORMATION.
- ELEVATIONS REFERENCED TO GCM. # 96H2130 LOCATED ON SEXSMITH ROAD & WEST OF ARAB ROAD.
- THE CONTRACTOR SHALL BE APPROVED BY THE CITY OF KELOWNA ENGINEERING DEPARTMENT
- BEDDING MATERIAL AND PIPE COVER ON ALL PIPES TO BE CLEAN SAND OR 3/4" CRUSHED GRAVEL PER CITY SUPPLEMENTAL SPECIFICATIONS UNLESS OTHERWISE NOTED.
- BEDDING MATERIAL TO BE HAND TAMPED AROUND PIPES AND MACHINE TAMPED TO 95% M.P.D. FROM 300mm ABOVE PIPE TO SURFACE.
- INSPECTION PORTS ARE REQUIRED ON ALL SANITARY SEWER SERVICES
- SANITARY SEWER AND STORM SEWER MAINS TO BE VIDEO INSPECTED TO CITY OF KELOWNA STANDARDS.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLES HYDRANTS, SERVICE BOXES ETC. TO MATCH FINAL GRADES.
- ALL CATCH BASIN GRATE ELEVATIONS TO BE SET A MIN. OF 30mm BELOW DESIGN GUTTER ELEVATION.
- ALL SANITARY SEWER SERVICES AND ALL STORM SEWER CONNECTIONS TO HAVE 2x4 MARKERS AT INVERTS OF PIPES TO ABOVE GROUND SURFACE WITH MARKERS TO SHOW DEPTH TO INVERT.
- SANITARY AND STORM SEWER SERVICES TO BE INSTALLED AT 2% GRADE UNLESS OTHERWISE NOTED. RISER TYPE NOT APPROVED UNLESS OTHERWISE NOTED.
- ALL WORK TO CONFORM TO THE LATEST EDITION OF M.M.C.D., CITY OF KELOWNA BYLAW #7900 AND APPLICABLE PLUMBING CODE UNLESS OTHERWISE NOTED ON DRAWING.
- SANITARY TO BE SDR35 PVC.
- SANITARY AND STORM SEWER INCLUDING CB LEADS 150mm AND SMALLER TO BE SDR28 PVC.
- STORM SEWER 200mm AND LARGER TO BE ULTRA RIB PVC
- ALL WATERMAIN TO BE AS SPECIFIED.
- ALL STORM SEWER CATCH BASIN LEADS TO BE 150mm DIAMETER SDR35 FOR SINGLE CB AND 200mm DIAMETER SDR28 FOR DOUBLE CB.
- ALL UTILITY TIE-INS TO EXISTING CITY OF KELOWNA MAINS TO BE SUPERVISED BY CITY AT DEVELOPER'S EXPENSE.
- CONTRACTOR TO COMPLETE TIE-INS AND DISCONNECTIONS OF EXISTING SERVICES FOR CITY WATER, SANITARY AND DRAINAGE IN THE PRESENCE OF THE CONSULTANT'S REPRESENTATIVE AND UNDER SUPERVISION OF CITY OF KELOWNA PERSONNEL AFTER APPROPRIATE CITY APPROVALS ARE OBTAINED. CONTACT THE UTILITY SERVICE PERSON AT 469-8501 TO COORDINATE ALL TIE-INS AND DISCONNECTIONS.
- ALL NEW MANHOLES AND DRAINAGE DRYWELLS TO COME WITH FRAME AND COVER MEETING CITY OF KELOWNA STANDARD SS-S1b & CSA STANDARD A257.4-M92. CONCRETE TOP TO HAVE 762mm OPENING. STEEL FRAME TO HAVE 610mm OPENING. ALL EXISTING MANHOLES AND DRAINAGE DRYWELLS ENCOUNTERED DURING THE COURSE OF CONSTRUCTION TO HAVE THE CONCRETE TOP AND THE STEEL FRAME & COVER UPGRADED TO THAT STANDARD
- ALL MANHOLE FRAMES AND COVERS INSTALLED IN HARD SURFACE APPLICATIONS TO BE ADJUSTABLE (TERMINAL CITY C44A OR EQUIVALENT)

DRAWING LIST

16064-00	SITE SERVICING PLAN
16064-01	PLAN/PROFILE
16064-SGP	SITE GRADING PLAN
16064-TM	TURNING MOVEMENT

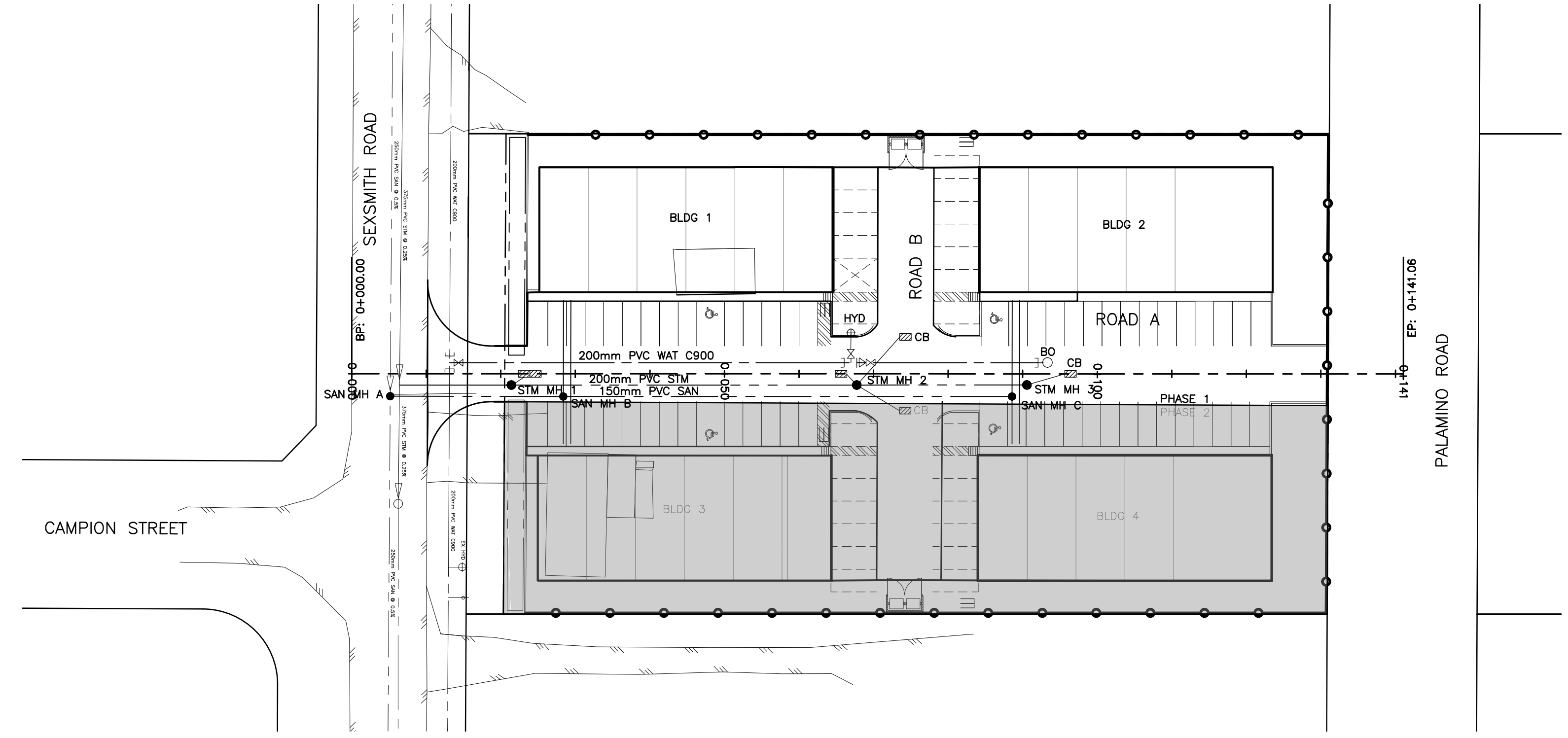
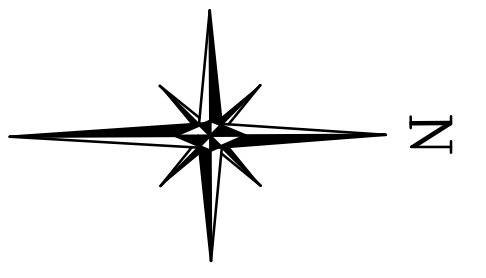
Protech File: 16064

PROTECH  
CONSULTING 2012

200 - 1461 St. Paul Street Kelowna B.C. Phone 860-1771  
FAX 860-1994







SCHEDULE A & B

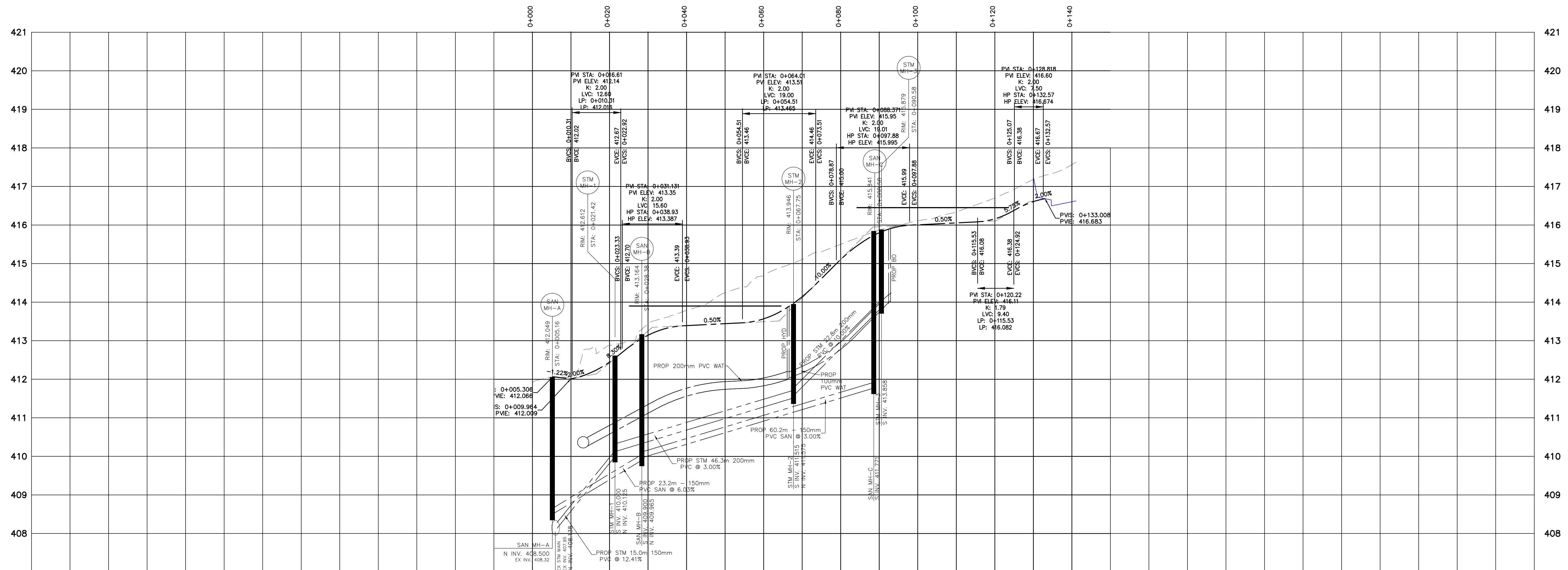
This forms part of application  
# DP17-0158

Planner  
Initials

AC

City of  
Kelowna

COMMUNITY PLANNING



LEGEND

WATER

SAN. SEWER

STORM SEWER

GAS

U/G TELEPHONE

U/G ELECTRICAL

MANHOLE

UTILITY POLE

POWER POLE

LAMP STANDARD

CATCH BASIN

HYDRANT

TREES

SURVEY MONUMENT

○ M.H.

● U.P.

● P.P.

□ C.B.

⊕ H.D.

○ T

⊙

PROTECH

CONSULTING 2012

200 - 1461 St. Paul Street Kelowna B.C. Phone 860-1771 FAX 860-1994

0

2017.10.27

BMZ

ISSUED FOR DP

REVISION

CH'KD

BASE

16064

DESIGN

KCL

APPROVED

DRP

DATE

DEC 2016

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THE CITY OF KELOWNA

ENGINEERING DEPARTMENT

3050 SEXSMITH ROAD

CK16 PROPERTY GROUP LTD.

ROAD A PLAN/PROFILE

DIVISION

DRAWING NO.

16064-01

REV NO

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FILE LOCATION: P:\PROJECTS\16064 - CK16 SEXSMITH - 3050 SEXSMITH RD - 11/26/2017 8:44 AM



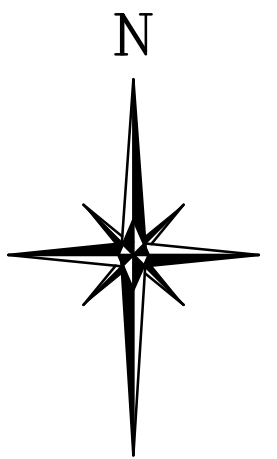
# LEGEND

- EXISTING CONTOURS (0.5m INTERVALS)
- PROPOSED CONTOURS (0.5m INTERVALS)
- (123.123) PROPOSED FINISHED GRADE
- ← OVERLAND FLOW ROUTE
- ← EXCESS OF 100 YR STORM FLOOD ROUTING

**SCHEDULE A & B**  
This forms part of application  
# DP17-0158

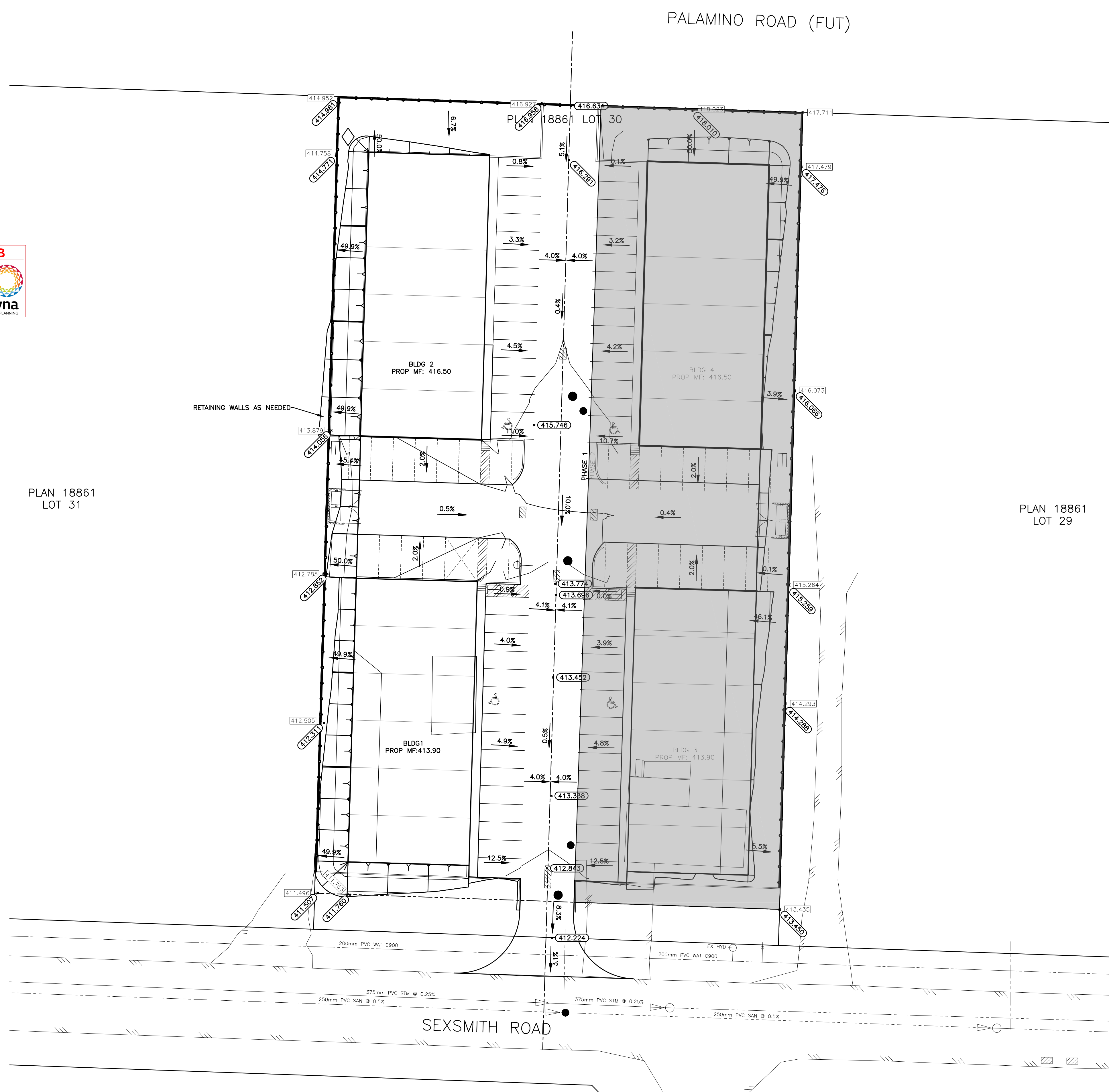
Planner Initials AC

**City of Kelowna**  
COMMUNITY PLANNING



PLAN 18861  
LOT 31

PLAN 18861  
LOT 29



FILE LOCATION: P:\PROJECTS\16064 - 3050 Sexsmith\16064-3050.dwg  
PRINTED ON: 11/26/2017 8:42 AM

## LEGEND

- WATER
- SAN. SEWER
- STORM SEWER
- GAS
- U/G TELEPHONE
- U/G ELECTRICAL

- MANHOLE
- UTILITY POLE
- POWER POLE
- LAMP STANDARD
- CATCH BASIN
- HYDRANT
- TREES
- SURVEY MONUMENT

- M.H.
- U.P.
- P.P.
- L.S.
- C.B.
- ⊕ H.D.
- T
- ⊙

**PROTECH CONSULTING 2012**

200 - 1461 St. Paul Street Kelowna B.C.

Phone 860-1771  
FAX 860-1994

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NO.	DATE	BY	REVISION	CH'KD
YYYY.MM.DD				

BASE 16064	DESIGN KCL
APPROVED	DRP
DATE	DEC 2016
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**THE CITY OF KELOWNA**  
ENGINEERING DEPARTMENT

**3050 SEXSMITH ROAD  
CK16 PROPERTY GROUP LTD.  
SITE GRADING PLAN**

DIVISION

DRAWING NO.

16064-SGP

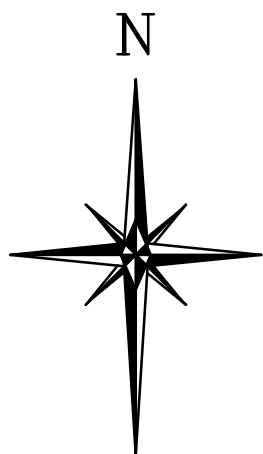
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LEGEND

----- EXISTING CONTOURS (0.5m INTERVALS)

PALAMINO ROAD (FUT)



SCHEDULE A & B

This forms part of application  
# DP17-0158

Planner Initials AC

City of Kelowna

COMMUNITY PLANNING

PLAN 18861  
LOT 31

RETAINING WALLS AS NEEDED

PLAN 18861 LOT 30

PLAN 18861  
LOT 29

BLDG 2  
PROP MF: 416.50

BLDG 4  
PROP MF: 416.50

BLDG1  
PROP MF:413.90

BLDG 3  
PROP MF: 413.90

SEXSMITH ROAD

200mm PVC WAT C900

200mm PVC WAT C900

375mm PVC STM @ 0.25%

375mm PVC STM @ 0.25%

250mm PVC SAN @ 0.5%

LEGEND

WATER  
SAN. SEWER  
STORM SEWER  
GAS  
U/G TELEPHONE  
U/G ELECTRICAL

MANHOLE  
UTILITY POLE  
POWER POLE  
LAMP STANDARD  
CATCH BASIN  
HYDRANT  
TREES  
SURVEY MONUMENT

○ M.H.  
● U.P.  
● P.P.  
□ L.S.  
▣ C.B.  
⊕ HYD  
⊙ T  
⊗

PROTECH CONSULTING 2012

200 - 1461 St. Paul Street Kelowna B.C.

Phone 860-1771  
FAX 860-1994

0 2017.10.27 BMZ  
NO. DATE BY

ISSUED FOR DP

REVISION

CH'KD

BASE 16064	DESIGN KCL
APPROVED	DRP
DATE DEC 2016	
SCALE 1:300	
SCALE NOT ACCURATE OVER LONG DISTANCES	

THE CITY OF KELOWNA  
ENGINEERING DEPARTMENT  
3050 SEXSMITH ROAD  
CK16 PROPERTY GROUP LTD.  
TURNING MOVEMENT

DIVISION

DRAWING NO.

16064-TM

REV NO

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**OUTLAND DESIGN**  
LANDSCAPE ARCHITECTURE

January 11, 2018

**Aardvark Industrial Complex – Phase 1**

CK16 Property Group

PO Box 27031 Willow Park, Kelowna, BC

Attn: Mike Jakab

Re: Proposed Aardvark Industrial Complex – Phase 1 – Preliminary Cost Estimate for Bonding

Dear Mike:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the Aardvark Industrial Complex – Phase 1 conceptual landscape plan dated 17.11.29;

**Phase 1**

- 234 square metres (2,519 square feet) of improvements = \$44,568.50

**Phase 2**

- 234 square metres (2,519 square feet) of improvements = \$6,468.50

This preliminary cost estimate is inclusive of fencing, trees, shrubs, mulch, dryland seed, topsoil & irrigation.

You will be required to submit a landscape security deposit to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,

*Kim German*

Kim German, MBCSLA, CSLA

as per

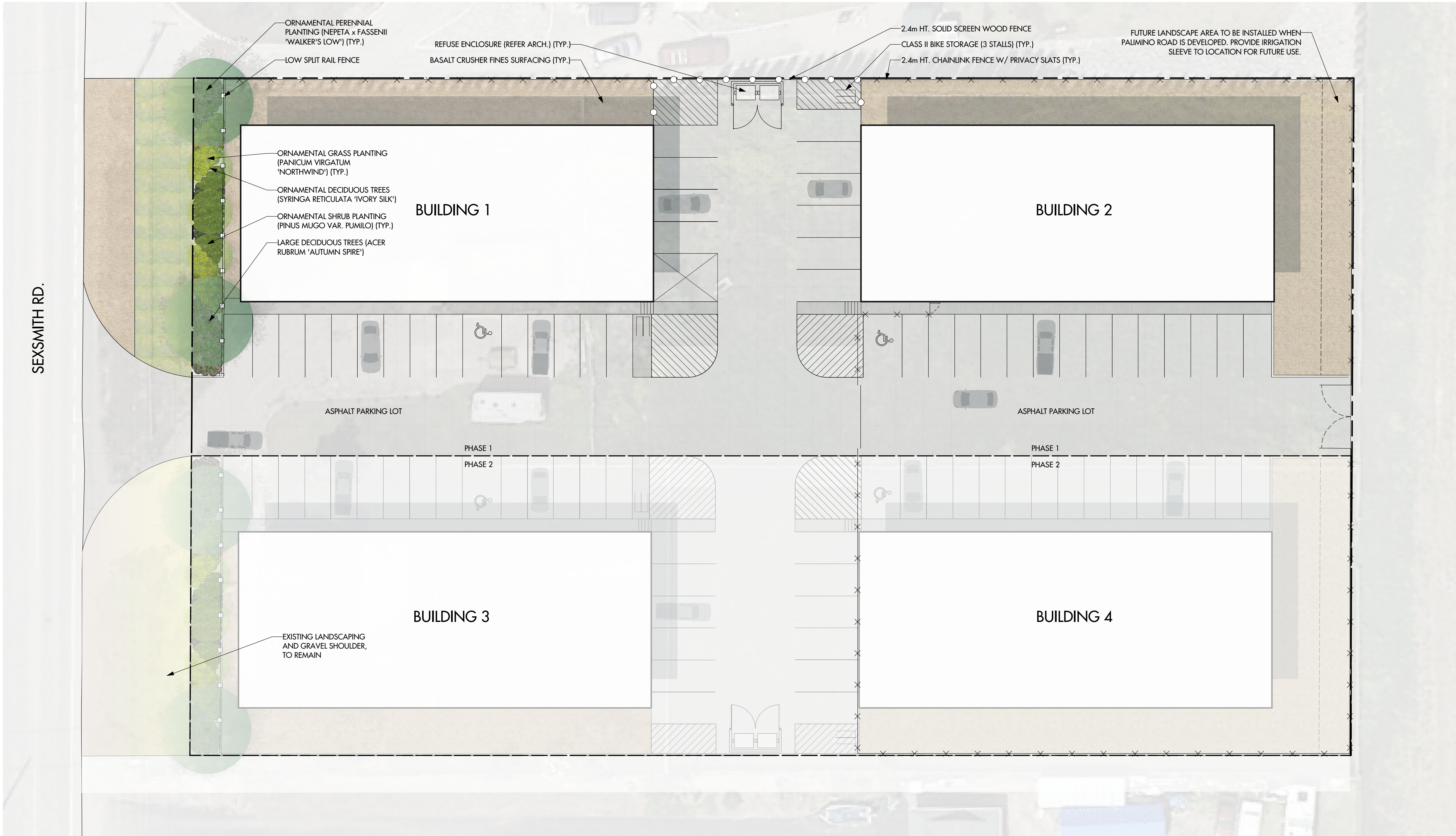
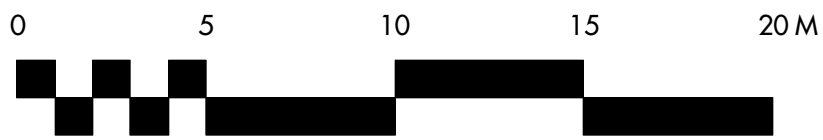
Outland Design Landscape Architecture

<b>SCHEDULE</b>		<b>C</b>
This forms part of application		
# <b>DP17-0158</b>		
Planner Initials	<b>AC</b>	
		<b>City of Kelowna</b> COMMUNITY PLANNING

206-1889 Spall Road, Kelowna, BC, V1Y 4R2 P 250.868.9270

[outlanddesign.ca](http://outlanddesign.ca)





SEXSMITH RD.

## NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C.L.N.A. STANDARDS.

2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.

3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.

4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.

5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

6. DRYLAND SEED AREAS TO RECEIVE A MINIMUM OF 50mm DEPTH TOPSOIL PLACEMENT.

### 7. HYDROSEEDING DRYLAND SEED AREAS

DRYLAND SEED MIXTURE	BY WEIGHT	BY SPECIES
BLUE BUNCH WHEAT GRASS	40%	22%
ROUGH FESCUE	25%	20%
IDAHO FESCUE	15%	19%
PERENNIAL RYEGRASS	10%	7%
SANDBERG BLUEGRASS	5%	13%
JUNE GRASS	4%	18%
CANADA BLUEGRASS	1%	1%

HYDROSEEDING APPLICATION RATE (DRYLAND SEED AREA W/ SLOPE 2:1 OR LESS)			
NATIVE SEED	DRYLAND SEED MIXTURE	125KG/HECTARE	
FERTILIZER	18-18-18-2, 50% SULPHUR COATED UREA	300KG/HECTARE	
MULCH	CANFOR ECOFIBRE PLUS TAC	2,800KG/HECTARE	
TACKIFIER	GUAR	3% OF MIX	

THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND SEED AREA AS SHOWN ON THE DRAWING. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.

## PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
<b>TREES</b>			
ACER RUBRUM 'AUTUMN SPIRE'	AUTUMN SPIRE RED MAPLE	2	6cm CAL.
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK LILAC	3	4cm CAL.
<b>SHRUBS, PERENNIALS &amp; GRASSES</b>			
NEPETA x FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	26	#01 CONT. /0.9M O.C. SPACING
PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	20	#01 CONT. /1.0M O.C. SPACING
PINUS MUGO VAR. PUMILIO	DWARF MUGO PINE	5	#01 CONT. /1.8M O.C. SPACING

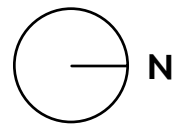


## OUTLAND DESIGN LANDSCAPE ARCHITECTURE

206 - 1889 Spall Road  
Kelowna, BC V1Y 4R2  
T (250) 868-9270  
www.outlanddesign.ca

## SCHEDULE C

This forms part of application  
# DP17-0158



PROJECT TITLE

## AARDVARK INDUSTRIAL COMPLEX - PHASE 1

3050 Sexsmith Road  
Kelowna, BC

DRAWING TITLE

## CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION

1	17.11.29	Development Permit
2		
3		
4		
5		

PROJECT NO. 17-027

DESIGN BY SP

DRAWN BY NG

CHECKED BY FB

DATE JAN. 11, 2018

SCALE 1:200

SEAL



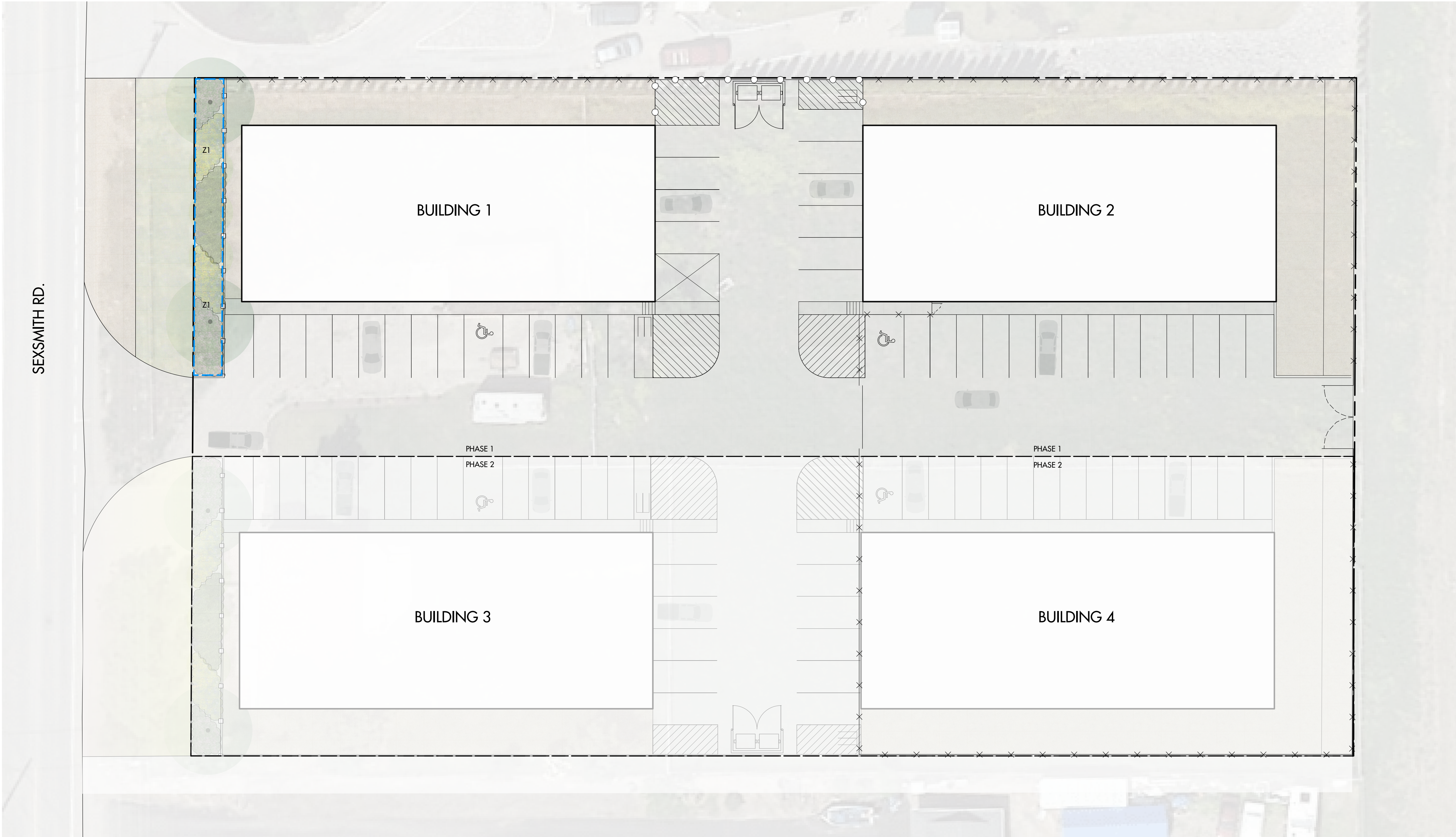
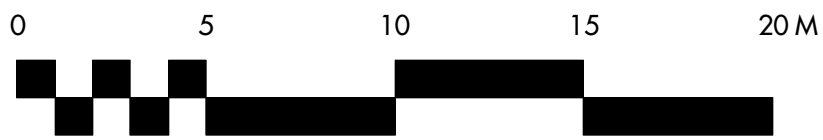
DRAWING NUMBER

# L1/2

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SEXSMITH RD.

### IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

### IRRIGATION LEGEND



ZONE #1 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS  
TOTAL AREA: 81 sq.m.  
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES  
ESTIMATED ANNUAL WATER USE: 45 cu.m.

### WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 929 cu.m. / year  
ESTIMATED LANDSCAPE WATER USE (WU) = 45 cu.m. / year  
WATER BALANCE = 884 cu.m. / year  
\*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS



OUTLAND DESIGN  
LANDSCAPE ARCHITECTURE

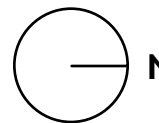
206 - 1889 Spall Road  
Kelowna, BC V1Y 4R2  
T (250) 868-9270  
www.outlanddesign.ca

### SCHEDULE

This forms part of application  
# DP17-0158

Planner  
Initials

AC



PROJECT TITLE

### AARDVARK INDUSTRIAL COMPLEX - PHASE 1

3050 Sexsmith Road  
Kelowna, BC

DRAWING TITLE

### WATER CONSERVATION/ IRRIGATION PLAN

ISSUED FOR / REVISION

1	17.11.29	Development Permit
2		
3		
4		
5		

PROJECT NO

17-027

DESIGN BY

SP

DRAWN BY

NG

CHECKED BY

FB

DATE

JAN. 11, 2018

SCALE

1:200

SEAL



DRAWING NUMBER

L 2/2

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SCHEDULE

C

This forms part of application  
# DP17-0158

Planner  
Initials

AC

City of  
Kelowna

COMMUNITY PLANNING