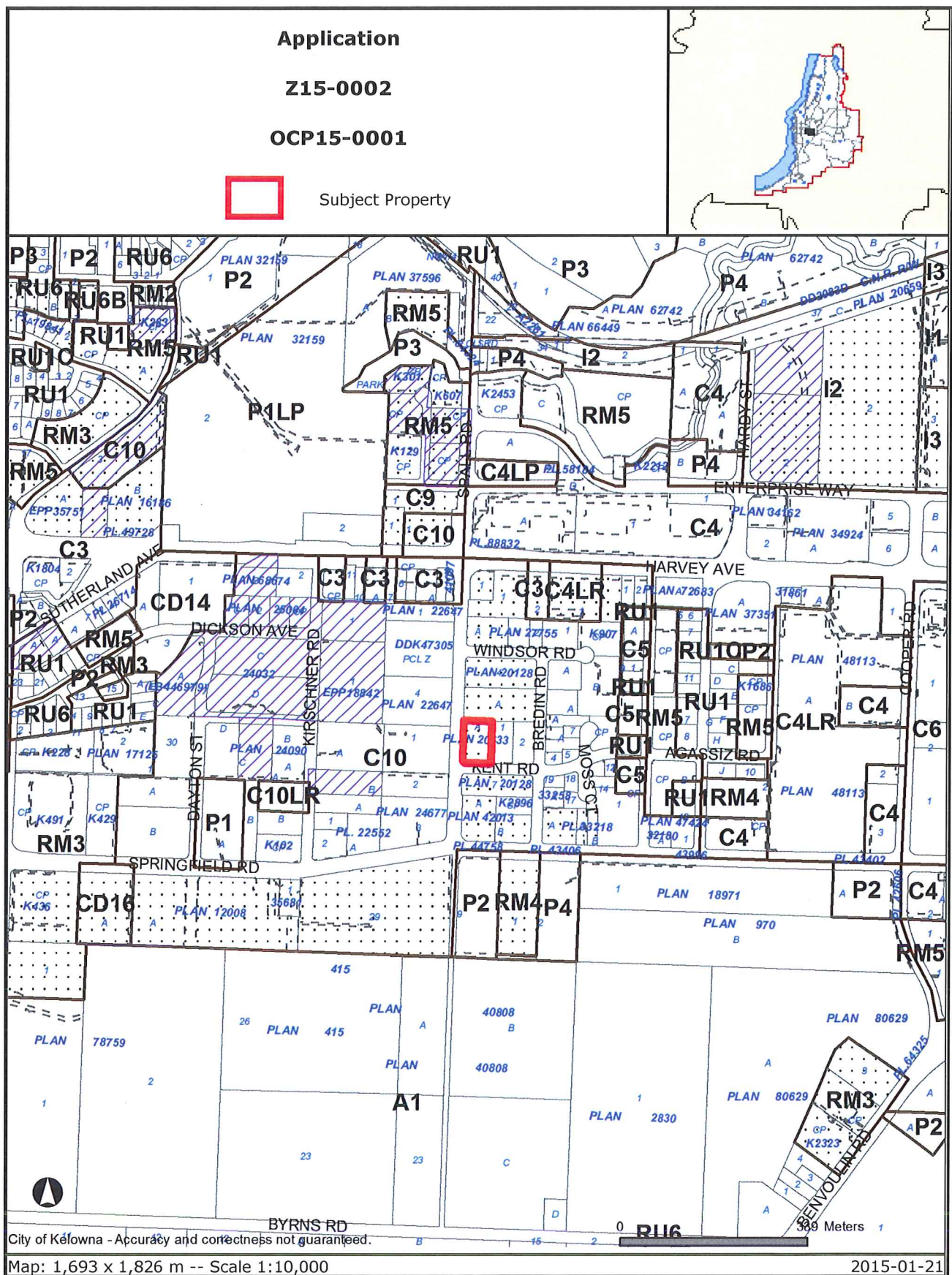
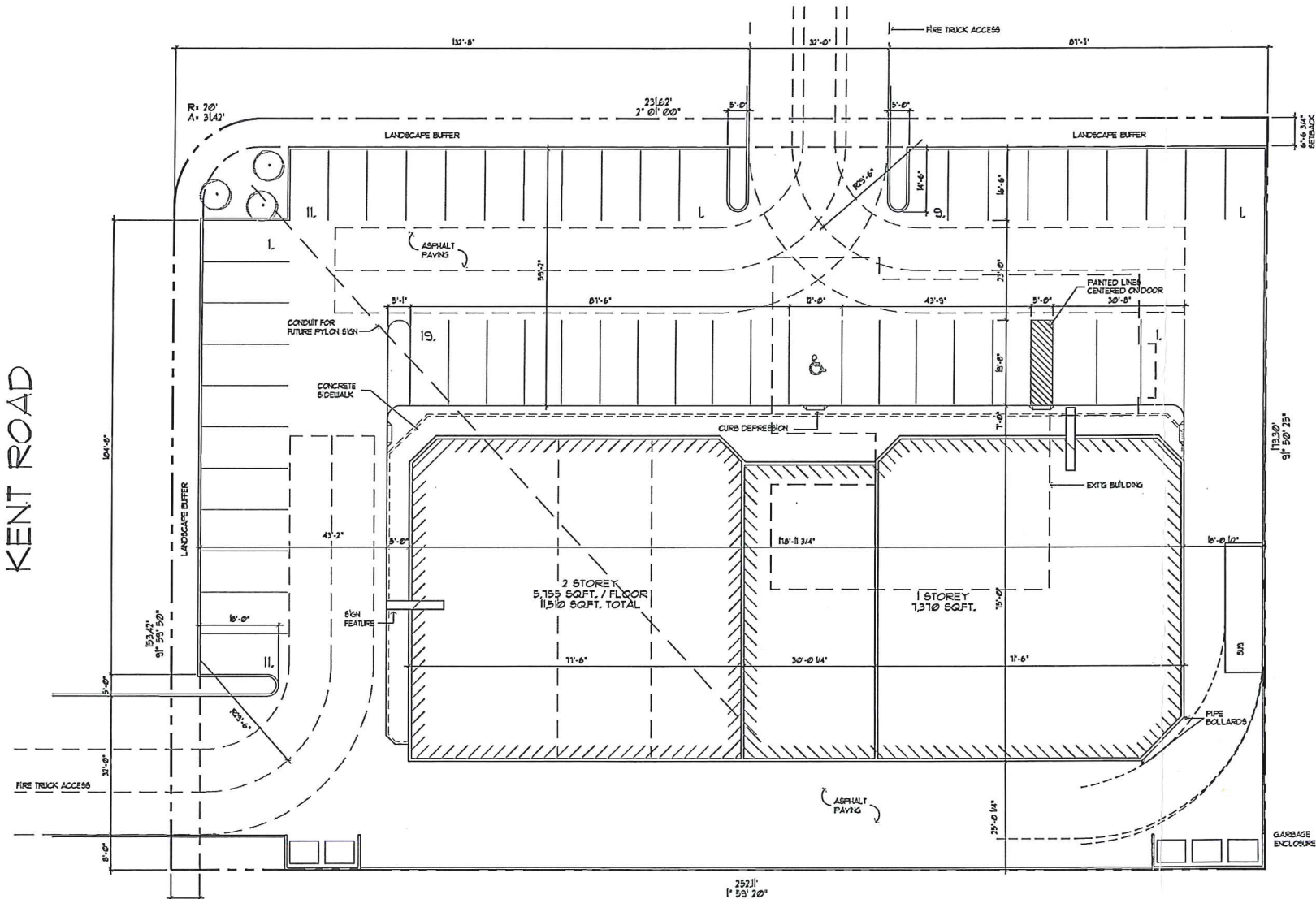




Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.

KENT ROAD

SPALL ROAD



PLAN 20633
D.L. 03 O.D.Y.D.
LOT A
SURVEY INFORMATION TAKEN FROM
SURVEY BY D.A. GODDARD LAND SURVEYING INC.
DATED APRIL 26, 2001
FILE NO. 01-10605

**B.C. Building Code (1998) Analysis for
Spall Road Commercial Building, Kelowna**

- OCCUPANCY CLASSIFICATION 312**
Office: Group D
Mercantile: Group E
Low Hazard Industrial: Group F3
- NUMBER OF STREETS FACED: 32210**
Two (2)
- BUILDING AREA: 11.2**
1270 sqm (13,755 sqft)
- BUILDING HEIGHT: 322**
2 storeys
- SIZE & OCCUPANCY REQUIREMENTS (Most Restrictive)**
322.3A Group E, up to 3 storeys, Unsprinklered
Maximum Area: 1500 sqm (16,146 sqft)
- CONSTRUCTION REQUIREMENTS**
Combustible or Non-combustible construction
Floor assemblies as fire separations with 45min FRR
Masswalls shall have 45min FRR if combustible
Roof assemblies shall have 45min FRR
Loadbearing walls, columns and arches require a FRR, not less than 45min or be non-combustible construction
Roof with occupancy shall be fire separation with 45min FRR as per 322.3
- SPATIAL SEPARATION & EXPOSURE PROTECTION**
Table 322.1B (Group E)
North Facade
Wall area 153 sqm
LH ratio 22.5m + 6.7m (34.0)
Distance to Property Line 5.5m (18'-1")
Limiting Distance for 0% unprotected openings + 6m (19'-0")
Limiting Distance for 10% unprotected openings + 5.0m (16'-5")
Limiting Distance for 25% unprotected openings + 3.0m (9'-8")
Limiting Distance for 100% unprotected openings + 2.0m (6'-6")
Construction of exposing building face to have 2 hr FRR with non-combustible cladding as per 322.1.6.1
South Facade
Wall area 174 sqm
LH ratio 22.5m + 6.7m (34.0)
Distance to Property Line 16.5m (54'-0")
Unlimited unprotected openings as per 322.3.2.2
and no construction requirements for exposing building face.
West Facade (North)
Wall area 151 sqm
LH ratio 30.5m + 6.7m (44.0)
Distance to Property Line 23.5m (77'-1")
Unlimited unprotected openings as per 322.3.2.2
and no construction requirements for exposing building face.
West Facade (South)
Wall area 160 sqm
LH ratio 23.8m + 6.7m (33.0)
Distance to Property Line 23.5m (77'-1")
Unlimited unprotected openings as per 322.3.2.2
and no construction requirements for exposing building face.
East Facade (North)
Wall area 151 sqm
LH ratio 30.5m + 6.7m (44.0)
Distance to Property Line 6.3m (20'-8")
Limiting Distance for 0% unprotected openings + 6m (19'-0")
Limiting Distance for 10% unprotected openings + 5.0m (16'-5")
Limiting Distance for 25% unprotected openings + 3.0m (9'-8")
Limiting Distance for 100% unprotected openings + 2.0m (6'-6")
Construction of exposing building face to have 2 hr FRR with non-combustible cladding as per 322.1.6.1
East Facade (South Lower)
Wall area 30 sqm (3 compartments)
LH ratio 1.5m + 2.3 (3.0)
Distance to Property Line 6.3m (20'-8")
Limiting Distance for 0% unprotected openings + 6m (19'-0")
Limiting Distance for 10% unprotected openings + 5.0m (16'-5")
Limiting Distance for 25% unprotected openings + 3.0m (9'-8")
Limiting Distance for 100% unprotected openings + 2.0m (6'-6")
Construction of exposing building face to have 1 hr FRR with non-combustible cladding as per 322.1.6.1
East Facade (South Upper)
Table 322.1A (Group D)
Wall area 832 sqm
LH ratio 23.7m + 3.6 (16.4)
Distance to Property Line 6.3m (20'-8")
Limiting Distance for 0% unprotected openings + 6m (19'-0")
Limiting Distance for 10% unprotected openings + 5.0m (16'-5")
Limiting Distance for 25% unprotected openings + 3.0m (9'-8")
Limiting Distance for 100% unprotected openings + 2.0m (6'-6")
Construction of exposing building face to have 45 min FRR with non-combustible cladding as per 322.1.3.1
- OCCUPANT LOADS**
Ground Floor (South)
Mercantile # 535 sqm (5,755 sqft) x 3.1 sqm/person = 144 persons
Ground Floor (North)
Mercantile # 605 sqm (6,514 sqft) x 3.1 sqm/person = 165 persons
Second Floor
Office # 535 sqm (5,755 sqft) x 3.3 sqm/person = 50 persons
TOTAL OCCUPANT LOAD = 359 persons
- FIRE ALARM & DETECTION SYSTEM**
Required as per 324.1.2.1.6.1
- PROVISIONS FOR FIRE-FIGHTING & ACCESS**
Designated principle entrance is on the west side of the building off of Spall Road, which is located within 6m (19'-7") of a street.
Annunciator panel required as per 324.8.1.1
- STANDPIPE & HOSE SYSTEM**
Not required as per 325.8.
- EMERGENCY LIGHTING & POWER: 322.14**
Emergency lighting & power will be provided within all exits, public corridors and principle routes providing access to exit.
Emergency power will be supplied to the fire alarm and detection systems, emergency lighting and exit signs. Power supply will be a battery-powered system capable of providing supervisory power for 24 hours and emergency power under full load for a minimum period of 30 minutes, as per 322.16.1.3.1
- EXIT & EGRESS SYSTEMS**
Travel distance max 6m (19'-7") as per 333.6.
Dead-end corridors limited to maximum 6m (19'-7") in length or be entirely within the suite as per 333.5.1.1.
Rooms and suites with occupant load greater than 60 persons are provided with at least 2 means of egress.
- SAFETY REQUIREMENTS WITHIN FLOOR AREAS**
Minimum headroom requirements in access to exits:
Exits +2.0m (6'-6")
Stairways +2.0m (6'-6")
Doorways +2.0m (6'-6")
Devices +1.95m (6'-4")
Minimum clear opening for exit doors is 750mm, which requires the use of 610mm (2'-0") doors.
Minimum exit width is 1800mm (5'-11") for corridors, passageways and stairs.
- HEALTH REQUIREMENTS**
Number of water closets is based on 3.1.4.2 and Table 3.1.4.2.5 for office occupancies, and 3.1.4.2.13 for mercantile occupancies. Provision for 308 persons in mercantile occupancies, with an equal division between males and females, i.e. 154 males and 154 females, and for 50 persons in business/office occupancies, with an equal division between males and females, i.e. 25 males and 25 females.
Bathroom requirements are:
Mercantile occupancies 2 female water closets with 1 sink.
1 male water closet with 1 sink.
Office occupancies 2 female water closets with 1 sink.
2 male water closets with 1 sink.
- REQUIREMENTS FOR EXITS**
Every floor area is served by not less than 2 exits.
The minimum distance between exits is one half the maximum diagonal dimension of the floor area on the ground floor as per 342.3.1.1(b) and 5.0m (16'-5") as per 342.3.1.1(a) for the upper floor.
No exit shall contribute more than 10% of the required exit width as per 342.3.2.3.1.
Required width of exits as per 342.3.1, based on Occupant Load for:
6.0m person for doorways, corridors and passageway
8.0m person for stairs.
Exit width reduction shall conform to 342.3.
Required exit capacity is 6.0m/person x 50 persons = 300m exit.
Provided exit capacity is 2 doors x 150m = 300m.
- REQUIRED FIRE SEPARATIONS**
Exits +45min fire separation 344.1.1
Public Corridors +45min fire separation 332.5.2.1 + 333.4.2.1
Stairways +45min fire separation 333.1.2
Storage Rooms +45min fire separation 333.4.2.2
Junior Rooms +45min fire separation 333.2.2.2
Service Rooms (with fuel-fired appliances) +1 hr fire separation 342.1.1.1(b)
Vertical Service Shafts +45min fire separation 340.3
- REQUIREMENTS FOR PERSONS WITH DISABILITIES**
Access shall be provided to ground floor storage (342.1.1.1) and to all public areas (342.3.3 + 342.3.1).
Access not required to upper floor storage because the floor area is less than 600 sqm as permitted by (342.1.2.2.1).
Design Requirements as per 343.

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PHONE: (250) 491-3585 FAX: (250) 717-9511

COMMERCIAL/OFFICE BUILDING
1889 SPALL ROAD, KELOWNA, BC

NO.	DATE	DESCRIPTION
1	MAY 16/03	ISSUED FOR PERMIT
2	JUNE 16/03	REVISED FOR PERMIT
3	JUNE 21/03	REVISED FOR CONSTR.

CONSULTANT
DRAWING TITLE
SCALE: 1/16" = 1'-0"
DATE: MAY 15, 2003
DRAWN: MAC
CHECKED: HPN
Drawing No.
REVISION No.:
A0