

City of Kelowna

Regular Council Meeting

AGENDA



Tuesday, December 5, 2017

6:00 pm

Council Chamber

City Hall, 1435 Water Street

Pages

1. Call to Order

2. Reaffirmation of Oath of Office

The Oath of Office will be read by Councillor Sieben.

3. Confirmation of Minutes

1 - 15

Public Hearing - November 21, 2017

Regular Meeting - November 21, 2017

4. Bylaws Considered at Public Hearing

4.1 1083-1089 KLO Rd, OCP17-0017 (BL11512) - Sole on KLO Developments LTD

16 - 16

To give Bylaw No. 11512 second and third readings in order to change the future land designation on the subject property from MRM - Multiple Residential (Medium Density) designation to the MXR - Mixed use (Residential/Commercial designation).

4.2 1083-1089 KLO Rd, TA17-0011 (BL11513) - Section 14 - Commercial Zones

17 - 17

To give Bylaw No. 11513 second and third readings in order to amend Section 14 - Commercial Zones of Zoning Bylaw No. 8000.

4.3 1083-1089 KLO Rd, Z17-0069 (BL11514) - Sole on KLO Developments LTD

18 - 18

To give Bylaw No. 11514 second and third readings in order to rezone the subject property from the RM3 - Low Density Housing zone to the C4 - Urban Centre Commercial Zone.

5. Notification of Meeting

The City Clerk will provide information as to how the following items on the Agenda were publicized.

6. Liquor License Application Reports

6.1 1481 Water St, LL17-0019 - 0724591 BC Ltd 19 - 27

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the liquor license application to come forward.

To seek Council's support for a new Liquor Primary License at the subject property.

7. Development Permit and Development Variance Permit Reports

7.1 1915 Enterprise Way, (Z17-0001) BL11487 - Kelowna East Investments Ltd 28 - 28

To adopt Bylaw No. 11487 in order to rezone the subject property from the C₄ - Urban Centre Commercial Zone to the CD17 - Mixed use Commercial High Density zone.

7.2 1915 Enterprise Way, DP17-0001 & DVP17-0002 - Kelowna East Investments Ltd 29 - 71

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider the form and character of a hotel and mixed-used building on the subject property and to vary maximum site coverage, minimum parking requirements, and the minimum loading space requirements.

7.3 1373 Tanemura Cr, (Z17-0046) BL11480 - Philip Zurrin 72 - 72

To adopt Bylaw No. 11480 in order to rezone the subject property from the RU₁ - Large Lot Housing zone to the RU_{1c} - Large Lot Housing with Carriage House zone.

7.4 1373 Tanemura Cr, DVP17-0131 - Philip Zurrin 73 - 82

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To vary the height and the upper floor footprint area for a carriage house on the subject property

7.5 1350 & 1370 KLO Rd, OCP1-0010 (BL11433) - Summerwood Retirement Resort Holding Corporation 83 - 84

Requires the majority of all members of Council (5).

To adopt Bylaw No. 11433 in order to change the Future Land Use Designation from S₂RES - Single /Two Unit Residential and EDINST - Educational/Major Institutional to the MRM - Multiple Unit Residential (Medium Density).

7.6	1350 & 1370 KLO Rd, Z17-0026 (BL11434) - Summerwood Retirement Resort Holding Corporation	85 - 86
	To adopt Bylaw No. 11434 in order to rezone the subject property from RU1 - Large Lot Housing zone to the RM5 - Medium Density Multiple Housing zone.	
7.7	1360 KLO Rd, DP17-0068 & DVP17-0069 - Summerwood Retirement Resort Holding Corporation Inc	87 - 117
	City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.	
	To consider the form and character and two variances to facilitate the development of supportive housing on the subject property.	
7.8	437 Bay Ave, TA17-0007 (BL11428) - Carbon Capture Mini Storage GP	118 - 118
	To adopt Bylaw No. 11428 in order to amend Section 15.4 - Central Industrial Zone in the Zoning Bylaw No. 8000.	
7.9	437 Bay Ave, DP17-0073 & DVP17-0074 - Carbon Capture Mini Storage GP	119 - 181
	City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.	
	To consider a Development Permit for the form and character of a 5 storey self-storage building and to consider a Development Variance Permit to reduce the number of parking and loading stalls as well as alter the bicycle parking composition.	
7.10	1094 Westpoint Dr, DVP17-0227 - Kathleen Vance	182 - 193
	City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.	
	To consider a Staff recommendation to NOT issue a Development Variance Permit to vary the height of a retaining wall from 1.2m to the proposed 5.03m on the subject property	
7.11	1250-1298 Ellis St, DP17-0204 & DVP17-0235 - Whitworth Holdings Ltd	194 - 223
	City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.	
	To consider the form and character and one variance to facilitate an addition to an existing commercial building on the subject property.	

- 7.12 180 Rutland Rd N, DP17-0230 & DVP17-0233 - Rutland Park Society Inc** 224 - 246
- City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.**
- To review a Form & Character Development Permit for a renovation and expansion of the Rutland Centennial Hall and to consider a Development Variance Permit to increase the maximum site coverage for buildings, parking, and roads.
-
- 7.13 720-724 Valley Rd, DP17-0197 & DVP17-0198 - Valley Land Subdivision Ltd** 247 - 277
- City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.**
- To consider a Development Permit for the form and character of a six storey supportive housing building and to consider a Development Variance Permit to vary the maximum retaining wall and building heights and the minimum side yard setback.
-
- 7.14 DP17-0016 / DVP17-0019 & DP17-0207 / DVP17-0208, 650 & 700 Swordy Rd - FortisBC Inc and 0984342 BC Ltd Inc.** 278 - 314
- City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.**
- The purpose is to review two Form & Character Development Permits and two Development Variance Permits for one project known as 'The Shore'. The first Development Permit and Development Variance Permit is for a 6 storey, mixed use building on 650 Swordy Road with variances to increase the maximum height and to reduce the number of parking stalls. The other Development Permit and Development Variance Permit is for the surface parking lot proposed at 700 Swordy Road immediately adjacent with one variance to reduce the landscape buffer widths.

8. Reminders

9. Termination



City of Kelowna Public Hearing Minutes

Date: Tuesday, November 21, 2017
 Location: Council Chamber
 City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Gail Given, Tracy Gray, Brad Sieben* and Mohini Singh

Members Absent Councillors Charlie Hodge and Luke Stack

Staff Present City Manager Ron Mattiussi; Deputy City Clerk, Karen Needham, Divisional Community Planning Department Manager, Ryan Smith; Urban Planning Manager, Terry Barton; Planner Specialist, Laura Bentley; Legislative Coordinator (Confidential), Arlene McClelland

(* Denotes partial attendance)

1. Call to Order

Mayor Basran called the Hearing to order at 6:02 p.m.

Mayor Basran advised that the purpose of the Hearing is to consider certain bylaws which, if adopted, will amend "Kelowna 2030 - Official Community Plan Bylaw No. 10500" and Zoning Bylaw No. 8000", and all submissions received, either in writing or verbally, will be taken into consideration when the proposed bylaws are presented for reading at the Regular Council Meeting which follows this Public Hearing.

2. Notification of Meeting

The City Clerk advised that Notice of this *Public Hearing* was advertised by being posted on the Notice Board at City Hall on Tuesday, November 7, 2017 and by being placed in the Kelowna Daily Courier issues on Friday, November 9 and Wednesday, November 14 and by sending out or otherwise mailing 23 statutory notices to the owners and occupiers of surrounding properties on Tuesday, November 7, 2017.

The correspondence and/or petitions received in response to advertising for the applications on tonight's agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

3. Individual Bylaw Submissions

3.1 1888 Abbott St, Z17-0066 (BL11511) - James Theriault and Sheila Roth

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence had been received:

Letters in Support:

Angela and Jeremy Furzer, Lake Ave

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the Gallery came forward.

There were no further comments.

4. Termination

The Hearing was declared terminated at 6:08 p.m.

Mayor

/acm



Deputy City Clerk



City of Kelowna Regular Council Meeting Minutes

Date: Tuesday, November 21, 2017
Location: Council Chamber
City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Gail Given, Tracy Gray, Brad Sieben* and Mohini Singh

Members Absent Councillors Charlie Hodge and Luke Stack

Staff Present City Manager Ron Mattiussi; Deputy City Clerk, Karen Needham, Divisional Community Planning Department Manager, Ryan Smith; Urban Planning Manager, Terry Barton; Planner, Melanie Steppuhn*, Planner Specialist, Laura Bentley*; Legislative Coordinator (Confidential), Arlene McClelland

(* Denotes partial attendance)

1. Call to Order

Mayor Basran called the meeting to order at 6:09 p.m.

2. Reaffirmation of Oath of Office

The Oath of Office was read by Councillor Gray.

3. Confirmation of Minutes

Moved By Councillor Gray/Seconded By Councillor Singh

R951/17/11/21 THAT the Minutes of the Public Hearing and Regular Meeting of November 7, 2017 be confirmed as circulated.

Carried

4. Bylaws Considered at Public Hearing

4.1 1888 Abbott St, (Z17-0066) BL11511 - James Theriault and Sheila Roth

Moved By Councillor Gray/Seconded By Councillor Donn

R952/17/11/21 THAT Bylaw No. 11511 be read a second and third time.

Carried

5. Notification of Meeting

The City Clerk advised that Notice of Council's consideration of these Development Variance Permit and Heritage Alteration Permit Applications was given by sending out or otherwise mailing 984 statutory notices to the owners and occupiers of surrounding properties on Tuesday, November 7, 2017.

Notice of this Temporary Use Permit was advertised by being posted on the Notice Board at City Hall on Tuesday, November 7, 2017, and by being placed in the Kelowna Daily Courier issues on Friday, November 9 and Wednesday, November 14 and by sending out or otherwise mailing 21 statutory notices to the owners and occupiers of surrounding properties on Tuesday, November 7, 2017.

Notice of an amendment to Liquor Primary Licence was advertised by being posted on the Notice Board at City Hall on Tuesday, November 7, 2017, and by being placed in the Kelowna Daily Courier issues on Friday, November 9 and Wednesday, November 14 and by sending out or otherwise mailing 121 statutory notices to the owners and occupiers of surrounding properties on Tuesday, November 7, 2017.

The correspondence and/or petitions received in response to advertising for the applications on tonight's Agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

6. Liquor License Application Reports

6.1 1250 Ellis Street, LL17-0016 - Whitworth Holdings Ltd

Councillor Sieben declared conflict as he has a financial interest in the property and departed the meeting at 6:12 p.m.

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence had been received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the Gallery came forward.

There were no further comments.

Moved By Councillor Donn/Seconded By Councillor DeHart

R953/17/11/21 THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor Control and Licensing Branch (LCLB):

In accordance with Section 53 of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

1. Council recommends support of an application from BNA Brewing for a liquor primary license amendment for Lot 1 District Lot 139 ODYD Plan 660, located at 1250 Ellis Street, Kelowna, BC to increase the interior capacity of 278 persons to 415 persons.
2. Council's comments on LCLB's prescribed considerations are as follows:

The location of the establishment:

The application is for an expansion of an established brewpub (BNA Brewing) which opened for business in June of 2015. The proposal is to expand into a portion of the former Flashbacks nightclub space.

The proximity of the establishment to other social or recreational facilities and public buildings:

The surrounding social and recreational facilities would not conflict with the proposed expansion to the existing establishment. The expansion will add an entertainment venue which will support the cultural district in which it is located. The purpose of the cultural district is to develop and to enhance the cultural district as a centre for arts and entertainment, and a catalyst for community and cultural development. The establishment complements and enhances the entertainment and service value of the neighbourhood.

The person capacity and hours of liquor service of the establishment:

The application is to increase the approved establishment capacity from 278 persons to 415 persons. The expansion affects the second storey area only. The current licensed capacity of the second floor is 106 persons. With the expansion, the capacity would increase by 137 persons to a total second floor capacity of 243 persons. The main floor and outdoor patio area will remain unchanged. The hours of operation will remain unchanged.

The number and market focus or clientele of liquor-primary license establishments within a reasonable distance of the proposed location:

The proposed expansion of the brewpub is intended to provide a meeting place for people to have dinner, socialize and celebrate in groups. The expansion would see the addition of six bowling lanes with each lane providing a living room style area. The existing single Bocce lane will be maintained and an additional seating area and a full-service bar area is proposed. While separated from the main pub, it is open and accessible from the existing brew pub area.

The impact of noise on the community in the immediate vicinity of the establishment:

The potential impact for noise is minimal and would be compatible with surrounding land uses. The noise levels would not increase for the surrounding area, as the proposal is for an expansion of the existing brew pub into a portion of the former Flashbacks nightclub. The Train Station Pub is located across the intersection of Clement Avenue and Ellis Street. Both of these businesses increase the vibrancy of the streetscape and area.

The impact on the community if the application is approved:

The potential for negative impacts is considered minimal as the previous use of the expansion space was a Nightclub. The use of this space is transitioning from Nightclub to a less intensive land use for the area.

3. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures."

Carried

Councillor Sieben rejoined the meeting at 6:16 p.m.

7. **Development Permit and Development Variance Permit Reports**

7.1 **TA17-0009 (BL11426) - Multiple Dwelling Housing Amendments**

Moved By Councillor Gray/Seconded By Councillor Donn

R954/17/11/21 HAT Bylaw No. 11426 be adopted.

Carried

7.2 **2673 Gore St, Z17-0025 (BL11427) - Stanley Tessmer**

Moved By Councillor Donn/Seconded By Councillor Gray

R955/17/11/21 THAT Bylaw No. 11427 be adopted.

Carried

7.3 **2673 Gore St, DP17-0064 & DVP17-0065 - Stanley Tessmer**

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that no correspondence had been received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

Gallery:

Tom Stow, Gore Street

- Does not object to density but does object to the sheer size of the building.
- Believes that asking for a site coverage of 60% is asking too much.
- Believes that this development fails in other areas of the OCP with no additional parks or green space; questioned what the neighbourhood is receiving from this proposal.
- Raised concerns with lack of visitor parking.
- Believes the investment by developers in active transportation is lacking.
- Raised concerns that 8 trees are being removed and only replacing with 4 trees.

There were no further comments.

Moved By Councillor Sieben/Seconded By Councillor Donn

R956/17/11/21 THAT final adoption of Rezoning Text Amendment Bylaw No. 11426 be considered by Council;

AND THAT final adoption of Rezoning Bylaw no. 11427 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP17-0064 for Lot 11, District Lot 14, ODYD, Plan 7927, located at 2673 Gore St, Kelowna, BC, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"

2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0065 for Lot 11, District Lot 14, ODYD, Plan 7927, located at 2673 Gore St, Kelowna, BC, Kelowna, BC;

AND THAT variances to the following section[s] of Zoning Bylaw No. 8000 be granted:

Section 13.11.6(b): Site Coverage

To vary the required site coverage from 40% to 60.4% proposed.

Section 13.11.6(e): Side Yard Setbacks

To vary the required side yard setback (north and south) for:

Portions of the building not over 2 ½ stories, from 4.5m to 2.32m; and
 Portions of the livable area of the building over 2 ½ stories, from 7.0m to 3.96m; and
 Portions of the stairwell and elevator shaft areas of the building over 2 ½ stories from 7.0m to 2.32m.

Section 13.11.6(f): Rear Yard Setback

To vary the required rear yard setback from 7.0m to 1.61m proposed.

AND THAT Council's consideration of this Development Permit/ Development Variance Permit be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated November 21, 2017;

AND FURTHER THAT this Development Permit / Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

7.4 720-740 Valley Rd, DP17-0174 & DVP17-0175 - Valley Land Subdivision Ltd

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that no correspondence had been received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Chad Davidson, Traine Developments, Applicant Representative

- Displayed a PowerPoint Presentation, re: 722 Valley Road
- Thanked staff for their thorough presentation.
- Proposing 5 new multi-family lots in the heart of Glenmore.
- Diversity of housing options on site include:
 - o 166 new rental units
 - o 105 new proposed condominiums

- 49 new proposed family oriented townhomes
- New proposed Memory Care Facility
- New future Senior's oriented assisted living condo.
- Displayed a map outlining all the green space highlighting pedestrian friendly areas on site.
- Provided an overview of the progress made on the overall site as well as the widening of Brandt's Creek with an asphalt trail, as well:
 - Paved pathway connection to Glenmore Road and transit stops;
 - 2 levels of covered parkade to minimize surface parking;
 - Tallest portion of building clustered to the intersection, across from 8 storey Conservatory building; the building is oriented to the south end of the site.
- Spoke to site amenities including;
 - Bicycle service station on paved path with public access
 - Bike/Dog wash in parkade;
 - Class A bike storage lock-up at end of every parkade parking stall;
 - Rooftop patio;
 - Guest Suite;
 - Dedicated lockable storage cubicles for residents;
 - Terraced community garden.
- Provided rationale for height variance:
 - The additional storey required to achieve FAR targets identified by the new CD27 zone;
 - Building aligned along south property line to mitigate impact on future and existing townhomes;
 - The tallest portion of the building clustered to intersection, across from the 8 storey Conservatory building;
 - When viewed from the north, both east and west ends appear as 4 storeys, only furthest centre section reads as 5 storeys.
- Provided rationale for parking variance:
 - The Developer has entered into an agreement with OGO Car Share for placement of 2 shared vehicles to be stationed on site;
 - Reviewed the road network within the site to demonstrate that any parking overflow will be kept off city streets;
 - The site is well served with transit stops on Glenmore Road which is connected to the site by paved walking path;
 - Exceed required number of Class A bike storage stalls by 43 spaces;
 - Site is in close proximity to commercial amenity cores;
 - 55 studios and 1 bedroom units will limit the number of households requiring more than 1 parking stall.
- Responded to questions from Council.

Gallery:

Darren Schlamp, Bullock Road

- Avid cyclist in Kelowna.
- Raised concerns with joint parking for bikes and vehicles that may impact bike storage.
- Raised concerns with less security for bikes and potential for bikes being stolen.
- Believes that bike storage in front of vehicles poses a risk to damaging vehicles or bikes trying to get in and out.
- Hopes this proposal does not become a trend and would prefer to see bike cages to house bikes.

There were no further comments

Moved By Councillor Given/Seconded By Councillor Sieben

R957/17/11/21 THAT Council authorizes the issuance of Development Permit No. DP17-0174 for a portion of Lot A Sections 32 and 29 Township 26 ODYD Plan EPP54061, located at 720-724 Valley Road, Kelowna, BC, subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a Letter of Credit in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0175 for a portion of Lot A Sections 32 and 29 Township 26 ODYD Plan EPP54061, located at 720-724 Valley Road, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "D";

Section 8.1.11(b): Parking and Loading Off-Street Vehicle Parking

To vary the required parking ratio from 50% full, 40% medium, and 10% compact stalls permitted to 57% full, 29% medium, and 14% compact stalls proposed.

Section 8.5 Table 8.1: Parking and Loading Parking Schedule

To vary the required parking from 142 stalls permitted to 133 stalls proposed.

Section 13.11.6(c): RM5 – Medium Density Multiple Housing

To vary the required height from 4.5 storeys permitted to 5 storeys proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

7.5 3626 Mission Springs Dr, DP17-0231 & DVP17-0232 - Green Square Development Ltd

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence had been received:

Letters of Opposition:

Brian Welwood, Casorso Rd
 Kay Welwood, Casorso Rd
 Isaac Li & Winnie Pun, Casorso Rd
 Jennifer Hight, Casorso Rd
 Alexander Omelchenko & Lioudmila Kozlova, Casorso Road
 Murray Patterson, Truswell Rd
 Andrea Bretherick, Mission Springs Cres.
 Bonnie DeBruyn, Parkridge Drive
 Anne Boyd, Mission Springs Drive
 Rob Boyd, Mission Springs Drive
 Richard Drinnan, Green Road
 Mark Holland, Casorso Rd.

Kenn Cappos, Casorso Rd.

Petitions (Opposition):

Kenneth Cappos of Casorso Rd dropped of petition with 405 signatures with address, 6 signature without address

Letters of Comment:

Don Henderson (2), Cameron Ave

Letters in Support:

Andrew Bennett, Walnut St
David Wilkins, Armour Cres.
Christina Ferreira, Cameron Ave
Shea Bydlowski, Boynton Place
Dr. Marc Nimchuk, Mission Springs Dr.
Jeff Brown, Mission Springs Dr.
Matt Johnston, Architecturally Distinct Solutions Inc.
Jamie Holitzki, Cooper Rd.
Greg Hawkins, Mission Springs Crescent
Kerry MacNaull, Lawrence Avenue
Brock Raddatz, Brant Ave.
Luke Simpson, Covington Key W Kelowna
James Roffel, Suite Upper Canyon Drive
Carole Threlfall, Mission Springs Dr.
Tim Valerioti, Truswell Rd.
Julie Miller, Wintergreen Drive
Lucas Miller, Wintergreen Drive

Petitions (Support):

Josh Klassen of Troika Leon Ave submitted petition with 14 signatures with address, 1 signature no address

Form Letters (Support):

Josh Klassen of Troika Leon Ave submitted 68 forms letters with address, 4 no address

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Renee Wasyluk CEO Troika Developments, Applicant

- Displayed a PowerPoint Presentation, re: Green Square Developments
- This project is the final phase of the entire parcel. Green Square is a single land parcel with mixed zoning, both RM3 and RM5, having received this zoning density in 2012. The townhomes are already completed and Vert is the final phase and encompasses the RM5 zoned area.
- Vert is a six story wood frame building with greenspace, community gardens and kids play area.
- Believes the design is exceptional that allows for a huge mix of product styles and sizes.
- We listened to the community, to strata councils, neighbours, and City Council and revised to make our plan better.
- This parcel is only 2/3 the size of Mission Woods and only a half the size of Mission Meadows and not the largest site in the neighbourhood, however, to further diminish the size;
 - o the roof lines were undulated;
 - o used a flat roof system and
 - o shrunk the footprint.
 - o Site coverage is at 45 percent and most RM5 sites will cover at least 55 percent.
- Asking for 2 variances being:
 - o Height Variance (1.5 storeys) to accommodate two six storey buildings.
 - o Side yard Setback Variance (up to 1.5 meters)
- Made changes to the application based on feedback from Council and the community as follows:
 - o No parking variance;

- Shrunk the density and removed 7 units, now have only 134 units;
 - The 6th floor is smaller on the two tallest buildings.
- Believes the proposed design allows for more space, better view corridors and sight lines and light exposure.
- Displayed photos of neighbouring property and illustration of Green Square Vert comparing view corridors and noted the separation between Vert buildings and the varied heights that allow for both light exposure and solar shading.
- Noted setbacks on the east and south sides of the buildings are minimal and encompass staircases and small portion of the third floor of the townhouses.
- Noted green and landscaping features being:
 - Community gardens;
 - Naturalized children's play space
 - Green roofs;
 - Green corridors;
 - Green walkways; and
 - Drought tolerant species.
- Will speak to technical information relating to spacing and fire separation after the gallery has had a chance to speak.
- Responded to questions from Council.

Gallery:

Bruce McDonald, Barnes Avenue

- Resident of Mission Woods since 2008.
- Made comment on an unconfirmed rumor related to election campaign donations and wanted clarification.
- Noted history of various height considerations for the property.
- Raised concerns that the development will increase the population which will greatly increase the traffic in the area.
- Raised concerns that proposal will block views for those to the west and will lower their home investment.
- Requested that Council deny the height variance to be in keeping with the neighbourhood.

Deputy City Clerk:

- Advised that conflict of interest provisions and disclosure requirements are legislated for all candidates and elected officials and are not the subject of this meeting, however, the Deputy City Clerk would be happy to provide more information or discuss any concerns at the end of the meeting, or at another time.

Dustin Sergeant, Gordon Drive

- In support of the application and variances as they are minimal.
- Development in this area is desirable with higher density; the population will be drawn to nearby parks, College and sportsfields.
- Believes this is a nice development and looks forward to its completion.

John Schene, Barnes Avenue

- Moved to Kelowna 1.5 years ago and complimented the City on its parks, beaches and recreation centres.
- Impressed with the first townhome development by Green Square.
- Raised concern with a 6 storey building conflicting with smaller homes and heights.
- Responded to questions from Council.

Bill Twaites, Invermere Road

- Resident for 20 years.
- Considers this proposal an improvement, however the application is still asking for variances.
- Not in support of the proposal.
- Raised concerns with parking and traffic implication with this proposal.
- Increased traffic has been the biggest concern with Phase 1 of this development and believes it negatively impacts the neighbourhood.

- Believes the completion of Mission Springs Drive to Casorso is needed before completion of Phase 2.
- Traffic on Gordon Drive makes left turn to/from Barnes unsafe.

Andrea Bretherick, Mission Springs Crescent

- Spoke to a letter previously sent to Council and raised concern that the previous application considered by Council has been overturned.
- Commented that Council must represent this community that elected them.
- Opposed to this application.

Kyle Stanfield, Invermere Road

- Provided information on profession as an Environmental Scientist; has worked around the world and believes that density is the cause of many of our environmental issues.
- Pleased with some of the changes made by the applicant with this new proposal.
- Raised concerns with increased traffic in the area and no sidewalks to the Invermere neighbourhood.
- Inquired if a full traffic impact study has been conducted to assess impacts.
- Inquired if a full fire code assessment has been completed to ensure compliance with all related codes.
- Opposed to the height variance as it is not in keeping with the neighbourhood.
- Responded to questions from Council.

Mark Holland, Casorso Drive

- Opposed to the height variance.
- Believes the height variance does not fit into the neighbourhood.
- Resides in Mission Meadows and looked at city zoning map prior to purchasing and it stated the land was zoned for a 4 storey building.
- A zone was designed for this project and believes the applicant should comply with the zone.

Sherri Paiement, Casorso Drive

- In support of this application.
- Believes the changes made including the road connection to Casorso is great for the community.
- Would like to see a left turn onto Gordon as increased traffic has been an issue.
- The development is aesthetically pleasing and hopes the project moves forward.

Tom Dias, Lakeshore Road

- In support of this application.
- Believes the applicant has done an excellent job dealing with parking and road network.
- This project will allow young families to buy into this neighbourhood.

Yuliia Lynova, KLO Road

- Ukrainian Immigrant with young family has lived in Kelowna for one year.
- Believes this development is an amazing opportunity for an attainable home for his family.
- In support of this application.

Justin Yushta, Yates Road

- Has resided in Kelowna for 2 years and works as a Civil Engineer.
- Owner of a condo in Glenmore.
- Believes this type of development suits the young segment looking to purchase homes.
- Believes the variances proposed are of significant value to the community as the parking lot is not visible and there are better site lines with the density.
- Believes that density promotes cycling.
- Need to increase density to rid traffic congestion and thinks sprawl is what creates traffic congestion.
- In support of this proposal.

Don Henderson, Cameron Avenue

- Believes this proposal is a 6 storey wooden fire trap.

- Noted Fire Department concerns and believes that should have been dealt with before this application came back.
- Stated that fire trucks need to have proper turning radius and this issue should have been resolved.
- Believes the variances are unnecessary.

Rachel VannPashak, Yates Road and Corinne Zeldone, Lakeshore Road

- In support of this application.
- Works in the area and bikes to work and school.
- This is an area full of amenities for such a development.

Brenda Lupul, Sarsons Road

- Read a letter of support for the proposal from two residents in Phase 3 Mission Meadows.

Lucas Miller, Wintergreen Drive

- Owner of a corner unit in Phase 1 of the Greensquare development and is most effected by traffic; does not believe traffic will change with this development.
- Would like to see additional traffic calming measures when development is completed.
- Believes this development suits this area.
- Believes slimmer buildings will allow for a view.
- In support of this application and all variances.
- Responded to questions from Council.

Renee Wasylyk, CEO Troika Developments, Applicant

- The proposal is using effective height to shrink the footprint; displayed photos to demonstrate patio views will not be obstructed from Mission Woods.
- Currently meet all fire codes and development requirements; outstanding information is related to details on the access road material and turning radius; all issues must be dealt with prior to receiving a building permit.
- Confirmed a traffic study was completed as part of the application for the 2013 development; right in and right out only on Gordon Drive.
- Noted what is allowable under the RM5 zone if built out.
- Believes this plan is better architecturally and provides better views.
- Confirmed that sidewalks go all around and through the site.
- Responded to questions from Council.

Staff:

- The application is reviewed to meet BC Building Code and Fire Department requirements before building commences; any design changes to meet requirements may have to come back for Council's consideration.
- Mission Springs road construction has always been anticipated; neighbourhood traffic is ongoing work for traffic technicians.

There were no further comments

Moved By Councillor Sieben/Seconded By Councillor Donn

R958/17/11/21 THAT Council authorizes the issuance of Development Permit No. DP17-0231 and DVP17-0232 for Lot 1 DL 134 ODYD Plan EPP23035, located at 3626 Mission Springs Drive, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "AA";
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "BB";
3. Landscaping to be provided on the land be in accordance with Schedule "CC";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with Schedule "DD":

Section 13.11.6(c): RM5 – Medium Density Multiple Housing Development Regulations

To vary the maximum height from 18.0 m or 4 ½ storeys required to 21.7 m or 6 storeys proposed;

Section 13.11.6(d): RM5 – Medium Density Multiple Housing Development Regulations

To vary the front yard (east) setback for portions of a building over 2 ½ storeys from 6.0 m required to 1.5 m proposed;

Section 13.11.6(e): RM5 – Medium Density Multiple Housing Development Regulations

To vary the side yard (south) setback for portions of a building over 2 ½ storeys from 7.0 m required to 4.5 m proposed;

AND THAT the applicant be required to complete the requirements of Schedule "A" as attached to the Report from Community Planning dated November 21st, 2017;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

7.6 2092 Enterprise Way, TUP17-0002 - 0838232 BC Ltd

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence had been received:

Letters in Support:

Habitat for Humanity – Okanagan Stacey Fenwick (Chair), Ross Road West Kelowna

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Darren Schlamp, Argus Properties Ltd., Applicant

- Available for questions.

No one from the Gallery came forward.

There were no further comments.

Moved By Councillor Donn/Seconded By Councillor Singh

R959/17/11/21 THAT Council authorize Temporary Use Permit No. TUP17-0002 to extend TUP14-0005 to allow the use of a portion of the subject property to be used as a Thrift Store for Lot 3, District Lots 127 & 531, ODYD, Plan KAP54290, located at 2092 Enterprise Way, Kelowna, BC, for a three (3) year period commencing from Council approval;

AND FURTHER THAT no further extensions are permitted as per the regulations of Section 497 of the Local Government Act.

Carried


8. Reminders – Nil.

9. Termination

The meeting was declared terminated at 9:29 p.m.

Mayor

/acm



Deputy City Clerk

DRAFT

CITY OF KELOWNA

BYLAW NO. 11512

Official Community Plan Amendment No. OCP17-0017 1083-1089 KLO Road

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of Lot 2, District Lot 135, ODYD, Plan 25466 except Plan 38538 located on KLO Road, Kelowna, B.C., from the MRM – Multiple Residential (Medium Density) designation to the MXR – Mixed Use (Residential / Commercial) designation.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 20th day of November, 2017.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11513
TA17-0011 – C4 – Urban Centre Commercial

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT **Section 14 – Commercial Zones, 14.4 C4 – Urban Centre Commercial, 14.4.5 Development Regulations, sub-paragraph (a) Floor area ratio: 2. (iii)** be amended by adding the words "within a structure parkade" after the words "Where all parking spaces are located".
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 20th day of November, 2017.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11514
Z17-0069 – 1083-1089 KLO Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 12, District Lot 135, ODYD, Plan 25466 except Plan 38538 located on KLO Road, Kelowna, B.C., from the RM3 – Low Density Multiple Housing zone to the C4 – Urban Centre Commercial Zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 20th day of November, 2017.

Considered at a Public Hearing on the

Read a second and third time and adopted by the Municipal Council this

Mayor

City Clerk

REPORT TO COUNCIL



Date: December 5, 2017

RIM No. 0930-50

To: City Manager

From: Community Planning Department (LK)

Application: LL17-0019

Owner: 0724591 B.C. LTD., INC. No.
0724591

Address: 1481 Water Street

Applicant: Louis Drummond

Subject: Liquor License Application

Existing OCP Designation: MXR – Mixed Use (Residential/Commercial)

Existing Zone: C7 – Central Business Commercial

1.0 Recommendation

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor Control and Licensing Branch (LCLB):

In accordance with Section 53 of the *Liquor Control and Licensing Regulation* and Council Policy #359, BE IT RESOLVED THAT:

1. Council recommends support of an application from 0724591 B.C. LTD., INC. No. 0724591 for Lot A District Lot 1 ODYD Plan 27756 located at 1481 Water Street, Kelowna, BC, for a Liquor Primary license with a capacity of 95 persons and hours of sales from 9:00 AM to 1:00 AM Sunday to Saturday for License Number 159496 (Sturgeon Hall Pub).
2. That Council's comments on the prescribed considerations are as follows:
 - (a) The impact of noise on the community in the immediate vicinity of the establishment if the application is approved;
The potential impact for noise is minimal and would be compatible with surrounding land uses.
 - (b) The impact on the community if the application is approved:
The potential for negative impacts is considered to be minimal.

THAT Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures".

2.0 Purpose

To seek Council's support for a new Liquor Primary License at the subject property.

3.0 Community Planning

The application proposes to change an existing Food Primary Establishment to a Liquor Primary Establishment. Sturgeon Hall Restaurant and Bordello's Italian Pizzeria has operated at this location under a food primary license for the past 22 years. The owner's recently closed Bordello's Italian Pizzeria with the intention of expanding the second floor kitchen and office space.

The establishment will continue to serve the current menu, with reduced menu selections after dinnertime. The application to the LCLB includes the request for Family Food Service which would allow minors accompanied by an adult in the establishment until 10pm. Noise is not a concern as the building is free-standing and the existing windows do not open. There are no existing residential uses within the immediate vicinity.

The proposed licensed hours of operation will remain the same as the existing food primary establishment hours of operation (9:00 am - 1:00 am) as the applicant agrees to implement the following safety measures:

- Restriction of hours of operation from 9am to 1am Monday to Sunday and capacity restricted to applicant's request (95) persons. Proposed hours of operation of 9am to 2am is not supported by Kelowna RCMP.
- Security staff must be on duty after 8:00 pm daily at a minimum ratio of 1:50 patrols. Designated security staff must have completed a minimum of BST level training and possess a valid license while employed in the capacity of Security Staff.
- The applicant must install and operate a patron identification system, Servall Biometrics, after 9pm daily.
- The applicant must install and operate a high definition security camera which records and retains data for a period of no less than 7 days. The camera system must provide video coverage of the entire floor space and immediate area outside their establishment including all entrances and exits.

Discussion of the LCLB's regulatory criteria for Local Government comment on liquor license endorsement applications is as contained within Staff's recommendation at the beginning of this report.

Outdoor Patio

The existing outdoor patio area will maintain the existing operating hours which are consistent with the Bernard Avenue Sidewalk Program and other outdoor patio areas downtown:

- Patio hours of operation: 9:00 am – 11:00 pm
- Last Call for drinks: 10:30 pm
- Alcohol to be cleared from the patio area by 11:00 pm
- Patrons must exit patio by 12:00 am

4.0 Proposal

4.1 Background

An application has been forwarded by the licensee to the Provincial Liquor Control and Licensing Branch (LCLB) for their approval. Procedurally, all these applications need Local Government comment prior to the LCLB making a final decision:

- New liquor primary licensed establishments.

4.2 Project Description

Proposed Hours of Sale for Sturgeon Hall Pub (Liquor Primary License # 159496):

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Open	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM
Close	1:00 AM	1:00 AM	1:00 AM	1:00 AM	1:00 AM	1:00 AM	1:00 AM

Sturgeon Hall Pub:

Licensed Area	Net Floor Area	Proposed Capacity
Bar Seating area	31.2 m ²	26 persons
Lounge Seating area	54 m ²	45 persons
Main floor outdoor patio area	28.8 m ²	24 persons
Total Person Capacity	114 m²	95 persons*

*The proposed capacity is based on preliminary floor plans, which are subject to approval by the Building & Permitting Branch and the LCLB.

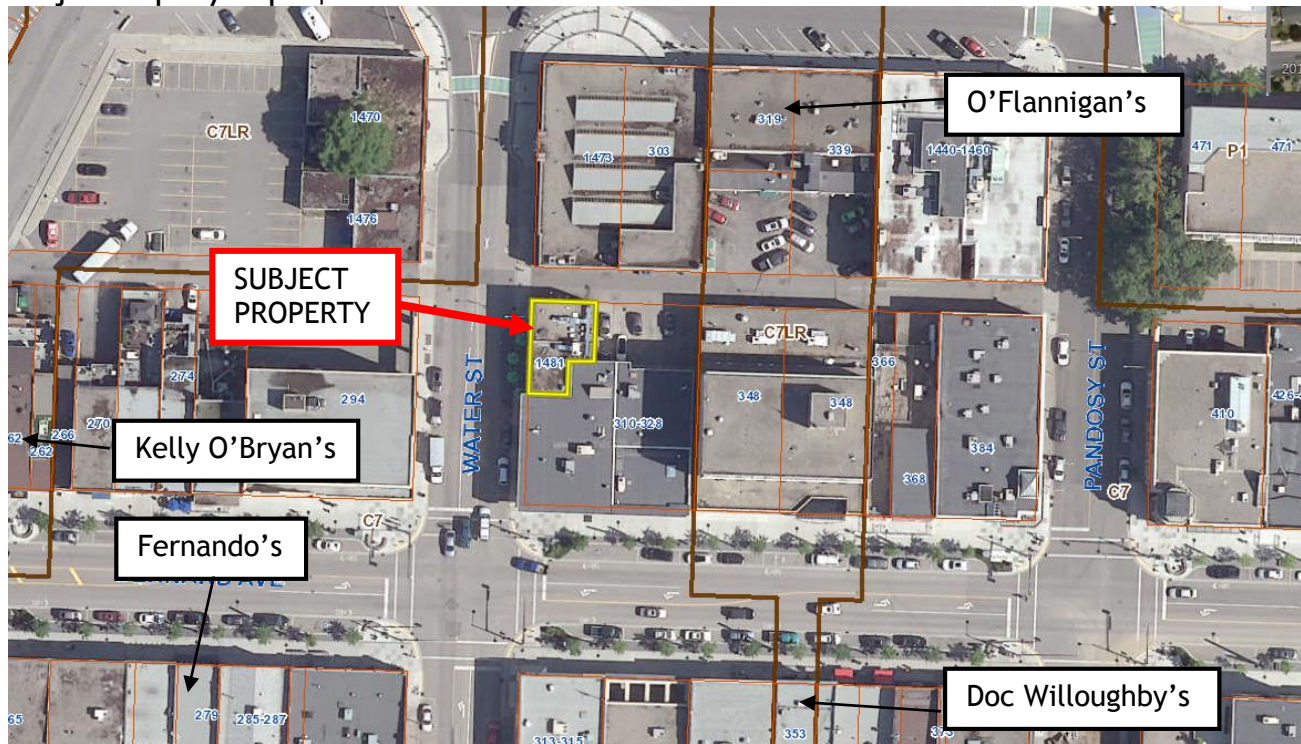
4.3 Site Context

The subject property is located downtown on Water Street between Bernard Avenue and Queensway. The adjacent businesses are BC Tree Fruits to the north and CIBC to the south.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C7 – Central Business Commercial	Offices
East	C7 - Central Business Commercial	Retail Stores
South	C7 - Central Business Commercial	Financial Institution
West	C7 - Central Business Commercial	Financial Institution

Subject Property Map: 1481 Water Street



5.0 Current Development Policies

5.1 Council Policy #359 – Liquor Licensing Policy & Procedures

The following sections of Policy #359 are applicable to this application:

Liquor Primary Establishments

1. Siting/Density Guidelines:

- a. No establishment with a person capacity greater than 500 persons should be permitted.
- b. Large establishments (with person capacity greater than 249 persons):
 - i. Should only be located within an Urban Centre.
 - ii. Should be located a minimum of 250m from another Large establishment.
 - iii. Should be located a minimum of 100m from a Medium establishment.
 - iv. Should not be located beside a Small establishment.
- c. Medium establishments (with person capacity between 100-249 persons):
 - i. Should only be located within an Urban or Village Centre.
 - ii. Should be located a minimum of 100m from a Large or Medium establishment.
 - iii. Should not be located beside a Small establishment.
- d. Small establishments (with person capacity less than 100 persons):
- e. Should not be located beside another liquor primary establishment

For the purposes of determining proximity, the shortest walking distance (door-to-door) will be applied. These distances are meant to guide staff in their recommendations for particular applications, however, a number of other factors should be considered, including (but not limited to):

- a. Pertinent input from the RCMP;

- b. Vehicular and pedestrian traffic patterns for area and current zoning;
- c. Availability of on-site and off-site parking; proximity of playgrounds, schools, and other social facilities;
- d. Surrounding land-uses, and general impact on the local neighbourhood;
- e. Correspondence received from abutting property owners;
Past licensee compliance and performance issues as may be provided by the LCLB

2. Other Policies:

Where appropriate, support alternative entertainment options, and/or establishments which are less focused on alcohol consumption (including event-driven establishments, and Food Primary establishments with the Patron Participation Entertainment Endorsement) to add a mix of entertainment options in Urban Centres. Consider limiting potential community impacts via license terms and conditions (hours, capacity, etc).

5.2 Kelowna Official Community Plan (OCP)

Entertainment Venues.¹ Within designated Urban Centres, encourage private-sector provision of facilities which diversify the selection of venues and entertainment opportunities throughout the city.

6.o Application Chronology

Date of Application Received: August 29, 2017

Report Prepared by: Lydia Korolchuk, Planner

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

LCLB Application

¹ Policy 5.17.1 (Development Process Chapter 5, page 5.21)

Letter of Intent

The primary focus of the business will be to provide food and liquor sales and service. Sturgeon Hall Restaurant & Bordello's Italian Pizzeria (license 159496) has operated in the proposed location under a food primary license for 22 years. We wish for the most part to carry on with operations as they have been, for it is a successful location. The preference now is to move to a Liquor Primary license with an endorsement for serving minors until 10pm.

The menu now, and going forward, consists of soups, salads, pizzas, sandwiches, burgers, fish and regular dinner features. With a Liquor Primary license the kitchen would be closed after the "dinner hour" and a small selection of snacks will be made available.

The feel of the location is a social one and is mostly built around visiting, eating and drinking. That said, going forward the entertainment options could include gambling and live music. This will be done keeping in mind the rules surrounding minors and gaming, and there is no intention going forward for any exotic entertainment.

Sturgeon Hall has been a good neighbor in Kelowna for 22 years. Our location is in the heart of the downtown entertainment district and we have no sleeping neighbors to bother. As the building is free standing and the windows do not open, there is little or no noise escaping. We keep the building and environs clean and safe and have great relationships with our corporate neighbors CIBC and BC Tree Fruits. As with our other downtown location we will employ the Servall ID Scanner for top of the line security. This tool allows us to maintain a safe atmosphere for our customers and avoid allowing difficult or undesirable patrons entry.

We would request the licensing options of Family Food Service and a Patio, both appendices attached.

We would surrender the aforementioned Food Primary license upon approval of this application. Please don't hesitate to call with any additional questions or concerns.

Louis Drummond

494530 BC LTD

250-575-4025



signage and patio view.



STURGEON HALL
UPSTAIRS
1481 WATER STREET
KELOWNA, BC.

1. ALL SERVICES, WHERE POSSIBLE, SHALL BE CONCEALED IN WALLS, CEILINGS, AND FLOORS.
2. ALL SUB-TRADES ARE TO CHECK WITH THE KITCHEN EQUIPMENT SUPPLIER TO VERIFY ROUGH-IN DATA PRIOR TO COMMENCING WORK.
3. A MINIMUM CLEAR OPENING OF 3'-0" X 7'-0" IS REQUIRED FOR ENTRY OF EQUIPMENT, UNLESS OTHERWISE NOTED.
4. FLOOR PANS, DEPRESSIONS, GROUT AND INSTALLATION BY GENERAL CONTRACTOR IN CONJUNCTION WITH KITCHEN EQUIPMENT SUPPLIER.
5. FINAL DUCT CONNECTION BY OTHERS UNLESS OTHERWISE NOTED.
6. ALL EXHAUST SYSTEMS SHALL CONFORM TO N.F.P.A. 99 AND LOCAL CODES.
7. CONSULT H.V.A.C. ENGINEER FOR MAKE-UP AIR REQUIREMENTS.
8. THE INTENT OF OUR DRAWING IS TO SHOW WHERE THE ROUGH-IN SERVICES ARE IN RELATION TO THE EQUIPMENT SPECIFIED BY CANADIAN RESTAURANT SUPPLY LTD.

KEY PLAN:

Reviewed
by City of Kelowna
Inspection Services

DRAWING TITLE: PREP KITCHEN SPACE PLAN

NUMBER:	REVISIONS:	DATE:
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ISSUE DATE: AUG 22 2017

DRAWN BY: LISA BASHAM

CHECKED BY: _____

SCALE: $\sim \frac{3}{4}" = 1'-0"$

SCORE:	$\frac{24}{28} = 0.86$

DRAWING NUMBER:

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CITY OF KELOWNA

BYLAW NO. 11487

Z17-0001

1915 Enterprise Way

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A, District Lot 140, ODYD, Plan KAP58184 located on Enterprise Way, Kelowna, B.C., from the C₄ – Urban Centre Commercial zone to the CD17 – Mixed Use Commercial High Density zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 18th day of September, 2017.

Considered at a Public Hearing on the 3rd day of October, 2017.

Read a second and third time by the Municipal Council this 3rd day of October, 2017.

Approved under the Transportation Act this 5th day of October, 2017.

Audrie Henry

Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL



Date: November 21, 2017

RIM No. 0940-00

To: City Manager

From: Community Planning Department (EW)

Application: DVP17-0002 DP17-0001 **Owner:** Kelowna East Investments Ltd.,
Inc.No. BC1084469

Address: 1915 Enterprise Way **Applicant:** Mara + Natha Architecture Ltd.

Subject: Development Variance and Development Permit Application

Existing OCP Designation: MXR – Mixed Use (Residential/Commercial)

Existing Zone: C4 – Urban Centre Commercial

Proposed Zone: CD17 – Mixed Use Commercial – High Density

1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 11487 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. 17-0001 and Development Variance Permit No. DVP17-0002 for Lot A District Lot 140 ODYD Plan KAP58184, located at 1915 Enterprise Way, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;
5. The completion of the outstanding requirements set out in Schedule 'A' attached the Report from the Community Planning Department dated September 18, 2017;
6. The height restricting covenant, to a maximum of six (6) storeys and 26.5 metres, be registered on title.

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 18 CD17 – Mixed Use Commercial – High Density Subsection 1.4(b):

Development Regulations

To vary the maximum site coverage including parking areas and driveways from 75% to 78.2% proposed;

Section 8: Parking and Loading, Table 8.1: Parking Schedule

To vary the required number of parking stalls from 242 required to 231 proposed;

Section 8: Parking and Loading, Table 8.2: Loading Schedule

To vary the required number of loading spaces from 5 required to 2 proposed;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider the form and character of a hotel and mixed-used building on the subject property and to vary maximum site coverage, minimum parking requirements, and the minimum loading space requirements.

3.0 Community Planning

Mid-rise redevelopment within the City's town centres has the ability to address a significant portion of the City's anticipated growth needs over the next twenty years helping to reduce the impact of fringe development. The proposed mid-rise development project is located appropriately on the corner of two main streets with existing infrastructure, including transit, retail, and nearby community services. The proposed form and character is moderate in height and scale providing an appropriate transition to the adjacent existing lower-scaled buildings in the neighbourhood in a context sensitive manner.

An important planning consideration is the proportion of the building height to the width of the adjacent street right-of-ways. The hotel has an overall height of 25.2m, which corresponds with the 25.0m road for Enterprise Way and the 30.0m road with for Spall Rd. Similarly, the mixed-use building has a height of 24.3m and the width of Enterprise Way is 25.0m. In the case of both buildings, the ratio of the height of the building to the street does not exceed 1:1. This combined with the addition of retail at-grade along Enterprise Way and the use of the hotel will create an attractive streetscape and public realm.

Three variances are requested by the applicant: an increase in site coverage from 75% to 78.2%, a reduction in parking spaces from 242 to 231, and a reduction in loading spaces from 5 to 2. The applicant plans to mitigate the variances through permeable concrete paving for the hotel's porte-cochère and working with the civil engineer on on-site storm-water management. The 4.5% reduction in parking to 231 spaces can be addressed through several transit demand strategies including a hotel shuttle service and nearby bus transit and cycling pathways. The applicant has indicated that two loading spaces: one for the hotel and one for the mixed-use building is sufficient for anticipated deliveries to the site.

Overall, the proposal meets the majority of the Official Community Plan Urban Design Guidelines for Multiple Unit Residential, Commercial, and Midtown Revitalization Area in design, materials, and landscaping and in consideration of the requested variances and their proposed rational, Community Planning Staff recommend support for the proposed form and character Development Permit and associated variances.

4.0 Proposal

4.1 Background

Council gave rezoning Bylaw No. BL11487 2nd and 3rd readings on October 3rd, 2017. The proposed rezoning is from C4- Urban Centre Commercial to CD17 – Mixed Use (Residential/Commercial).

4.2 Project Description

The applicant is proposing the construction of two, six-storey buildings on the subject property: a hotel on the west side of the site and a commercial/residential building on the east side of the site. Two accesses off of Enterprise Way are proposed with the main entrance in the middle of the site restricted to right in, right out and the second access along the eastern edge of the property restricted to left in, right in, and right out. Most of the parking is provided underground with some parking provided at grade behind the mixed-use building and in front of the hotel.

The proposed Hyatt hotel features 161 hotel rooms, a restaurant, banquet/business rooms, a pool, and a roof garden on the 3rd floor. Recognizing the prominence of the Enterprise Way and Spall Rd frontage, the pool enclosure wraps around the corner and has a wood trellis feature on top of the three-storey massing. The hotel has an active frontage along Spall Rd with windows along the first storey and concrete planters. The six storey elevation along Spall Rd is broken up with a concrete cornice below the second storey.

The mixed-use building is six-storeys at the maximum and steps down to four-storeys with the adjacent proposed four-storeys building to the east. 8 commercial retail units on the ground floor are proposed with a small plaza fronting Enterprise Way. Above the commercial units, 56 condo units with bedroom sizes ranging from studio to three bedrooms are proposed. Private amenity spaces include private balconies and a rooftop deck. Recognizing the close proximity to Rails with Trails, two Class I bicycle storage areas are proposed with a bicycle washing area.

The proposal meets the majority of the Official Community Plan Urban Design Guidelines for Multiple Unit Residential, Commercial, and Midtown Revitalization Area in design, materials, and landscaping.

Variances

The applicant is requesting three variances in order for the project to proceed as proposed, which are outlined below. The applicant has provided a design and variance rationale (Attachment B).

1. *Section 18 CD17 Development Regulations 1.4(b)*: to vary the maximum site coverage including parking areas and driveways from 75% to 78.2%.

Permeable concrete paving is proposed for the hotel's porte-cochère and the applicant will work with the civil engineer on providing increased onsite stormwater management.

2. *Section 8 Table 8.1 Parking Schedule*: to reduce the required number of parking spaces from 242 required to 231 proposed (4.5% reduction in parking).

The subject property is located in the Midtown Urban Centre, in close proximity to a rapid transit network, Rails with Trails, and nearby amenities including shopping plazas, a recreation centre, and employments hubs. Residential parking can be mitigated through the use of transit, cycling, and walking. The applicant has indicated that Hyatt will be providing an airport shuttle which can decrease the demand for hotel parking.

3. *Section 8 Table 8.2 Loading Schedule:* to reduce the required number of loading spaces from 5 required to 2 proposed.

The applicant has indicated that two loading spaces: one for the hotel and one for the mixed-use building is sufficient for anticipated deliveries to the site.

4.3 Site Context

The subject property is located in the Midtown City Centre at the corner of Enterprise Way and Spall Rd.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C4 – Urban Centre Commercial RM5 – Medium Density Multiple Housing	Commercial Residential
East	C4 – Urban Centre Commercial	Vacant/ Proposed Commercial
South	C4lp – Urban Centre Commercial (Liquor Primary)	Commercial
West	RM5 – Medium Density Multiple Housing	Residential

Subject Property Map: 1915 Enterprise Way



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	CD17 ZONE REQUIREMENTS	PROPOSAL
Existing Lot		
Lot Area	10,000m ²	7,191m ²
Lot Width	13.0m	33.27m
Lot Depth	30.0m	149.53m
Development Regulations		
Floor Area Ratio	2.0	1.72
Site Coverage (buildings)	45%	41.6
Site Coverage (buildings + parking areas + driveway)	75%	78.2% ^❶
Height	55.0m/16 storeys	25.2m/6 storeys
Front Yard (west)	0.0m	1.29m
Flanking Side Yard (north)	0.0m	0.16m
Side Yard (south)	0.0m	2.92m
Rear Yard (east)	0.0m	7.39m
Other Regulations		
Minimum Parking Requirements	242 spaces	231 spaces ^❷
Bicycle Parking	Class I: 40 Class II: 22	Class I: 43 Class 2: 22
Private Open Space	836m ²	921.2m ²
Loading Space	5	2 ^❸
<p>❶ Indicates a requested variance to site coverage from 75% to 78.2%.</p> <p>❷ Indicates a requested variance to the minimum number of required parking stalls from 242 spaces to 231 spaces.</p> <p>❸ Indicates a requested variance to number of loading spaces from 5 required to 2 proposed.</p>		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 5 Development Process

- Ensure opportunities are available for greater use of active transportation and transit to: improve community health; reduce greenhouse gas emissions; and increase resilience in the face of higher energy prices.¹
- Parking Relaxations.² Consider parking requirement relaxations, in areas that are not part of a cash-in-lieu program, where an approved TDM strategy indicates a lower use of vehicles and the City is satisfied that parking relaxations would not create parking spill-over problems on adjoining neighbourhood streets. Parking relaxations will not be considered in hillside areas (as defined on Map 4.1 - Future Land Use).
- Ensure development is compatible with surrounding land uses.³
- Housing Mix.⁴ Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

¹ Objective 5.10 (Development Process Chapter 5).

² Policy 5.11.1 (Development Process Chapter 5).

³ Objective 5.19 (Development Process Chapter 5).

⁴ Policy 5.27.11 (Development Process Chapter 5).

Chapter 14 Comprehensive and Revitalization Development Permit Area Objectives

- Convey a strong sense of authenticity through urban design that is distinctive for Kelowna.
- Promote a high urban design standard and quality of construction for future development that is coordinated with existing structures.
- Integrate new development with existing site conditions and preserve the character amenities of the surrounding area.
- Promote interesting, pedestrian friendly streetscape design and pedestrian linkages.
- Provide for a scale and massing of commercial buildings that promotes a safe, enjoyable living, pedestrian, working, shopping and service experience.
- Incorporate architectural features and detailing of buildings and landscapes that define an area's character.
- Encourage an appropriate mix of uses and housing types and sizes.
- Create open, architecturally-pleasing and accessible building facades to the street.

6.0 Technical Comments

6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s). One Building permit required for the below ground parkade and one building and a separate permit for the 2nd building.
- Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- HPO (Home Protection Office) approval or exemption is required at time of Building Permit application.
- A Hoarding permit is required and protection of the public from the staging area and the new building area during construction. Location of the staging area and location of any cranes should be established at time of DP.
- Requirements of the City of Kelowna fire prevention regulations bylaw No. 10760 for buildings 6 stories and greater are to be shown on the building permit drawings. Please add these to the requirements outlined in BCBC 3.2.6 for High Buildings
- Fire Department access, turn a rounds and private hydrant locations are to be verified with Kelowna Fire Department.
- A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - Any alternative solution must be accepted by the Chief Building Inspector prior to the release of the Building Permit
 - Location, heights, colors of mechanical systems and the required screening are to be determined at time of DP
 - Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - Handicap accessibility to the main floor levels to be provided, ramps may be required & number of H/C suites to be defined. Location of H/C parking is required on the drawings.
 - Hard surfaced paths leading from the egress stairwells to a safe area are to be clearly defined as part of the DP

- Additional vestibules may be required to exit from the underground parking area to the exit stairwell
- Glazing to meet minimum provincial standards as outlined in the Building Code.
- Access to the roofs are required per NFPA and guard rails may be required and should be reflected in the plans if required
- Additional exits may be required from the roof top terraces.
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. Minimum building elevations are required to be established prior to the release of the Development Permit. If a soil removal or deposit permit is required, this must be provided at time of Development Permit application.
- This property falls within a defined flood plain area and compliance is required to Mill Creek Bylaw No. 10248 or alternative approval from the subdivision approving officer as per section 5.3 of the bylaw is required prior to issuance of any building permits
- We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent properties is a civil action which does not involve the city directly. The items of potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, undermining & underpinning of existing foundation, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work etc.
- Size and location of all signage to be clearly defined as part of the development permit. It appears that signage is proposed on the back of the building. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
- An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units and all corridors, number of required exits per area, door swing direction, handrails on each side of exit stairs, width of exits, spatial calculation for any windows in exit stairs, etc.
- Universal washroom requirements for hotel and within the CRU areas of the building are to be addressed in the building permit application. This will be addressed at time of building permit application. Washroom requirements for the commercial space of base building are to be addressed in the building permit application.
- Mechanical Ventilation inlet and exhausts vents are not clearly defined in these drawings for the enclosed parking storeys. The location and noise from these units should be addressed at time of Development Permit.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

6.2 Development Engineering

- See Attachment 'A' memorandums dated January 31, 2017.

7.0 Application Chronology

Date of Application Received: January 12, 2017
Date Public Consultation Completed: February 25, 2017
Date of Public Hearing (Rezoning): October 3, 2017

Report prepared by: Emily Williamson, Planner
Reviewed by: Terry Barton, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Attachment 'A' – Development Engineering Memorandums dated January 31, 2017
Attachment 'B' – Applicant's Design Rationale
Draft DVP17-0002 DP17-0001
Schedules 'A' & 'B' – Site Plan, Floor Plans, and Elevations
Schedule 'C' – Landscape Plan

CITY OF KELOWNA

MEMORANDUM

Date: January 31, 2017
File No.: DP17-0001
To: Community Planning (EW)
From: Development Engineer Manager (SM)
Subject: 1915 Enterprise Way



The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. General.

- a) All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z17-0001.

Steve Muenz, P.Eng.
Development Engineering Manager

SS

CITY OF KELOWNA

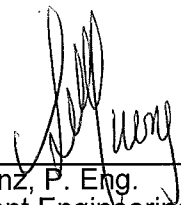
MEMORANDUM

Date: January 31, 2017
File No.: DVP17-0002
To: Community Planning (EW)
From: Development Engineer Manager (SM)
Subject: 1915 Enterprise Way

ATTACHMENT A	
This forms part of application # DVP17-0002 DP17-0001	
Planner Initials	<div>EW</div>
 City of Kelowna <small>COMMUNITY PLANNING</small>	

The Development Engineering comments and requirements regarding this DVP application are as follows:

The request to vary the parking requirements from 253 stalls required to the 232 stalls proposed can be supported by Development Engineering based on a "Parking Variance Rational" document to be provided by the applicant.



Steve Muenz, P. Eng.
Development Engineering Manager

SS

DESIGN RATIONALE AND VARIANCES

Project Name: Hyatt Hotel and Mixed Use Development

Project Address: 1915 Enterprise Way, Kelowna, B.C.

Design Rationale:

Building Siting:

The two buildings are strategically located so that the primary building, established by the Hyatt Hotel, is pinned at the prominent southeast corner of Enterprise Way and Spall Road. This corner is physically accentuated by the pool room with its sweeping curved colonnade-like façade with tall windows punched between the colonnade structure and capped with painted steel columns and wood-appeared trellis beams. The Mixed-Use building is located east of the hotel, fronting Enterprise Way and stepping back as the street bends southward.

Building Massing and Features:

The 6-storey hotel façade is dynamically articulated and with three simple colour/material palettes that weave through the articulated façade, namely red brick, grey Hardie panels and white acrylic stucco. The red brick also breaks past the base of the building upwards, to create a vertical rhythm and articulation as well. The front entrance roundabout is a feature that stands out esthetically with its brick pavers and the stamped concrete borders and radially spanning outwards to meet the concrete band along the circumference. The 6-storey Mixed-Use building emulates the hotel massing without duplicating its materials and colours. But rather it utilizes more solids and voids through balconies (voids) and walls (solids) for its articulation, rather than just walls. More colours and materials are used such as Hardie panels and siding with colours of white, grey, burgundy and beige, with darker brown brick as the base. The white and the burgundy provide the contrast with the beige and the brown brick and the grey is the one colour that ties into the hotel – the one colour that weaves through both buildings, a subtle commonality yet distinct. The 6-storey portion drops to 4-storey at the east end of the building to be sympathetic with the adjacent 4-storey development on the east and north. The outdoor plaza area in front of the commercial units provide an amenity that brings connection between indoor and outdoor use.



Variances:

Total Parking: 11 Stalls (Required is 242, Provided is 231)

- Hotel will provide shuttle bus service to airport
- Guests will arrive by taxi
- Some residents will not require cars as this location has easy access to public transit, including a bus stop along Enterprise Way.

Total Loading: 2 Bays (Required Hotel is 3, Provided is 1) and (Required Mixed Use is 1, Provided is 1)

- Hotel will only need one loading bay as most deliveries will primarily be food for breakfast and the pantry

Site Coverage: 3.2% (Maximum permitted is 75%, Provided is 78.2%)

- We will provide more onsite containment of rainwater via stormwater management when we design the site with our civil engineer
- We will explore the possibility of providing water retention via underground piping to store stormwater in the pool at the centre of the hotel roundabout, which will reduce the impact of the impervious surface

-END-



DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE OF DEVELOPMENT PERMIT No. DP17-0001 & DEVELOPMENT VARIANCE PERMIT DVP17-0002

Issued To: Kelowna East Investments Ltd. Inc.No. BC1084469
Site Address: 1915 Enterprise Way
Legal Description: Lot A District Lot 140 ODYD Plan KAP58184
Zoning Classification: CD17 – Mixed Use Commercial

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. DP17-0001 and Development Variance Permit No. DVP17-0002 for Lot A District Lot 140 ODYD Plan KAP58184, located at 1915 Enterprise Way, Kelowna, BC to allow the construction of a hotel and a mixed-use building be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

- e) The completion of the outstanding requirements set out in Schedule 'A' attached to the Report from the Community Planning Department dated September 18, 2017;
- f) The height restricting covenant to a maximum of six (6) storeys and 26.5 metres, be registered on title.

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 18 CD17 – Mixed Use Commercial – High Density Subsection 1.4(b):

Development Regulations

To vary the maximum site coverage including parking areas and driveways from 75% to 78.2% proposed;

Section 8 : Parking and Loading, Table 8.1: Parking Schedule

To vary the required number of parking stalls from 242 required to 231 proposed;

Section 8 : Parking and Loading, Table 8.2: Loading Schedule

To vary the required number of loading spaces from 5 required to 2 proposed;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$140,149.28
- OR
- b) An Irrevocable Letter of Credit in the amount of \$140,149.28

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

Issued and approved by Council on the 21st day of November 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or his or her designates**

PROPOSED 6-STOREY HOTEL & 6-STOREY MIXED USE DEVELOPEMENT AT 1915 ENTERPRISE WAY, KELOWNA, B.C.



SCHEDULE A & B

This forms part of application
DVP17-0002 DP17-0001

Planner
Initials

EW

City of
Kelowna
COMMUNITY PLANNING

23	19	8	ISSUED FOR DP 6	DEC 23 2016
22	18	7	ISSUED FOR DP 5	DEC 13 2016
21	17	6	ISSUED FOR DP 4	NOV 29 2016
20	16	5	ISSUED FOR DP 3	NOV 18 2016
19	15	4	ISSUED FOR DP 2	OCT 26 2016
18	14	3	ISSUED FOR DP 1	SEP 02 2016
17	13	2	ISSUED FOR FINAL REVIEW	AUG 15 2016
	12	1	ISSUED FOR PRELIM PLAN	JULY 27 2016
	11			
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	5			
	4			
	3			
	2			
	1			

Project Name
**KELOWNA 6-STOREY
HOTEL & 6-STOREY
MIXED USE BUILDING
DEVELOPMENT**

Project Address
**1915 ENTERPRISE
WAY
KELOWNA, B.C.**

Sheet Name
**3D PERSPECTIVE
VIEWS**

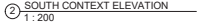
Sheet No.	A001
Project No.	21101
Start of Project	JUN, 2016

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AIBC, AAA, SAA





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NUMBER OF PARKING STALLS / LOADING SPACE

PARKING

TOTAL REQUIRED: 243 STALLS (160 + 84 + 18)
TOTAL PROPOSED: 221 STALLS (148 + 84 + 18)
TOTAL VARIANCE REQUIRED: 11 STALLS

LOADING

TOTAL REQUIRED: 4 SPACES (1 + 1 + 1 + 1)
TOTAL PROPOSED: 3 SPACES (1 + 1 + 1)
TOTAL VARIANCE REQUIRED: 2 SPACES

HOTEL

REQUIRED: 160 (160.80 = 9.151.51 / 100 X 1.75)
PROPOSED: TOTAL 148 STALLS (114 FULL SIZE (4 HC)(7.5 %), 32 MEDIUM SIZE (21.5 %), & 3 SMALL SIZE STALLS (2.0 %))
SURFACE PARKING: 18 FULL SIZE (4 HC)
UG PARKING: 130 STALLS (105 FULL SIZE, 32 MEDIUM SIZE, & 3 SMALL SIZE STALLS)

PARKING VARIANCE REQUIRED: 11 STALLS (160 - 148)

LOADING SPACE

REQUIRED: 1 SPACE (3.3 x 9.127 / 32.000)
PROPOSED: 1 SPACE (43.92 m2 x 3.6 m x 12.2 m)

MIXED USE BUILDING

REQUIRED: 64 (64 DWELLING UNIT + 8 VISITOR) = 84 / 79
PROPOSED: TOTAL 64 (50 FULL SIZE + 1 HC + 57.8 %, 27 MEDIUM SIZE + 42.2 %)
RESIDENTIAL
UG PARKING: 60 STALLS (43 FULL SIZE & 17 MEDIUM SIZE)

COMMERCIAL

REQUIRED: 18 (18.12 = 1035.5 m2 / 100 X 1.75)
PROPOSED: 18 STALLS (15 FULL SIZE (1 HC)(3.3 %), 3 MEDIUM SIZE (16.7 %))

LOADING SPACE

REQUIRED: 1 SPACE (0.55 = 1035.50 / 1.900)
PROPOSED: 1 SPACE (1.08 m2 x 3.5 m x 9.6 m)

SETBACK TO PARKING

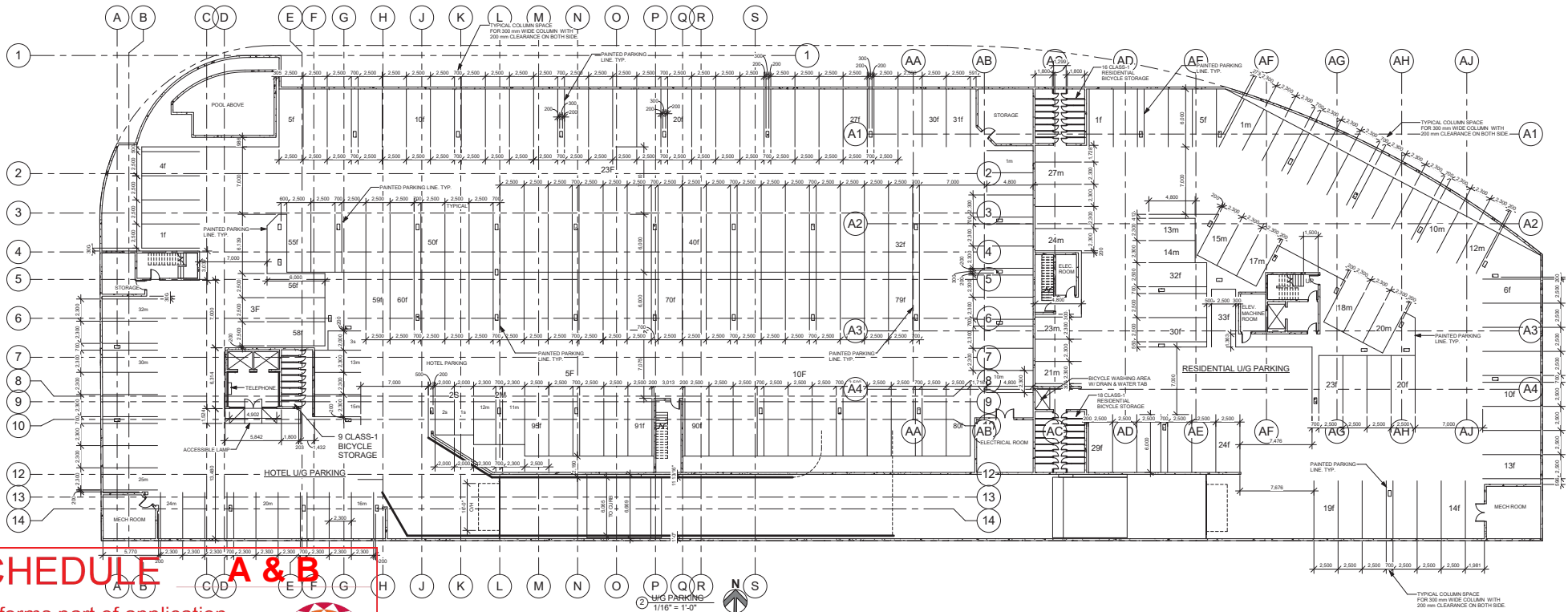
MIN. REQUIRED
FRONT: 20m
REAR: N/A
SIDE: N/A

PROPOSED

FRONT (NORTH): 5m
REAR (SOUTH): 1.20m
SIDE (WEST): 43.2 m
SIDE (EAST): 9.92 m

DRIVE AISLE WIDTH

SURFACE: 6.10 m / 7.05 m
UG PARKING: 7m



SCHEDULE A & B

This forms part of application
DVP17-0002 DP17-0001

Planner
Initials

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24	ISSUED FOR DP 6	DEC 23 2016
23	ISSUED FOR DP 5	DEC 13 2016
22	ISSUED FOR DP 4	NOV 29 2016
21	ISSUED FOR DP 3	NOV 18 2016
20	ISSUED FOR DP 2	OCT 26 2016
19	ISSUED FOR DP 1	SEP 02 2016
18	ISSUED FOR FINAL REVIEW	AUG 15 2016
17	ISSUED FOR PRELIM PLAN	JULY 27 2016

Project Name	KELOWNA 6-STOREY HOTEL & 6-STOREY MIXED USE BUILDING DEVELOPMENT
Project Address	1915 ENTERPRISE WAY KELOWNA, B.C.
Sheet Name	UNDERGROUND PARKING PLAN

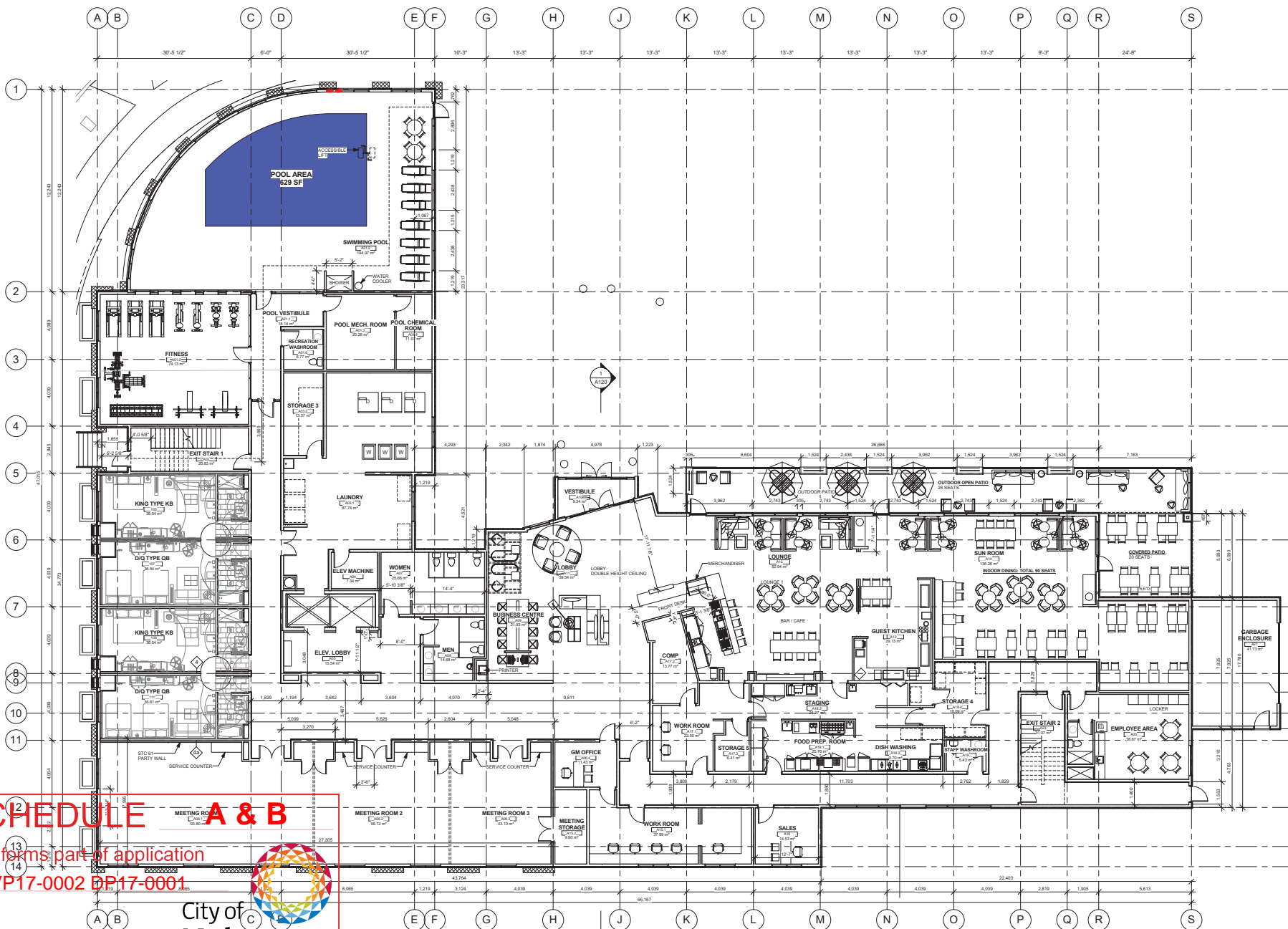
Sheet No.	A101
Project No.	21101
Start of Project	JUN, 2016

Sign & Seal	
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City of Kelowna	COMMUNITY PLANNING
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Revision Schedule		
No	Description	Date
24		
23		
22		
21		
20		
19		
18		
17		
16		
15		
14		
13	ISSUED FOR MAJESTY USE EXTERIOR REVISION	OCT 26 2017
12	ISSUED FOR HYATT REVIEW	AUG 16 2017
11	ISSUED FOR HYATT REVIEW	JUN 26 2017
10	ISSUED FOR HYATT REVIEW	MAY 16 2017
9	ISSUED FOR HYATT RESPONSE	FEB 27 2017
8	ISSUED FOR DP 6	DEC 23 2016
7	ISSUED FOR DP 5	DEC 15 2016
6	ISSUED FOR DP 4	NOV 29 2016
5	ISSUED FOR DP 3	NOV 18 2016
4	ISSUED FOR DP 2	OCT 26 2016
3	ISSUED FOR DP	SEP 05 2016
2	ISSUED FOR FINAL REVIEW	AUG 16 2016
1	ISSUED FOR PRELIM PLAN	JULY 27 2016

Project Name
KELOWNA 6-STORY HOTEL & 6-STORY MIXED USE BUILDING DEVELOPMENT

Project Address
1915 ENTERPRISE WAY KELOWNA, B.C.

Sheet Name
HOTEL MAIN FLOOR PLAN

Sheet No.
A102

Project No.
21101

Start of Project
JUN, 2016

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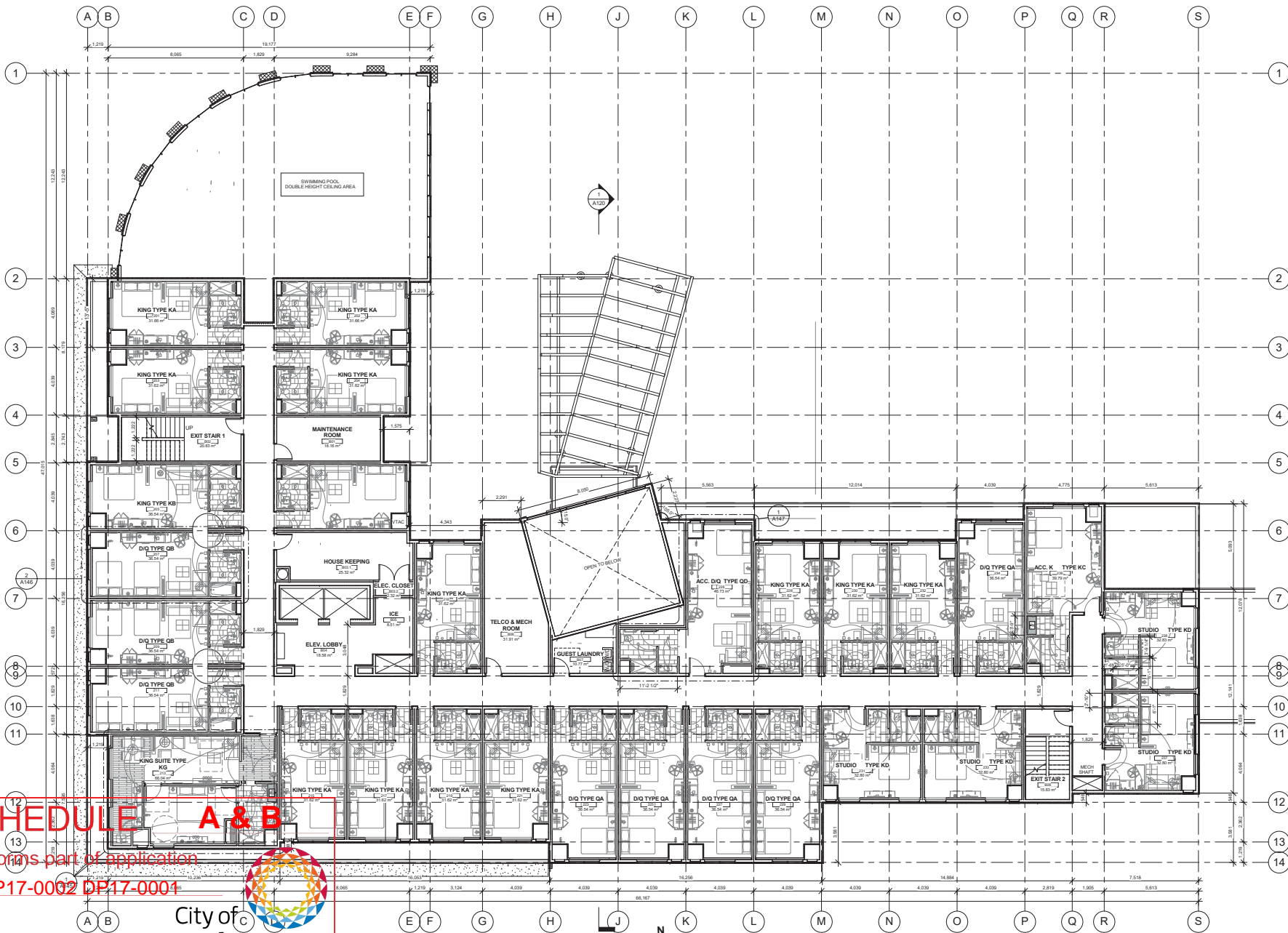
SCHEDULE A & B

This forms part of application
 # DVP17-0002 DP17-0001

City of Kelowna
 COMMUNITY PLANNING

Planner Initials **EW**

1 HOTEL MAIN FLOOR
 1:100



SCHEDULE A & B

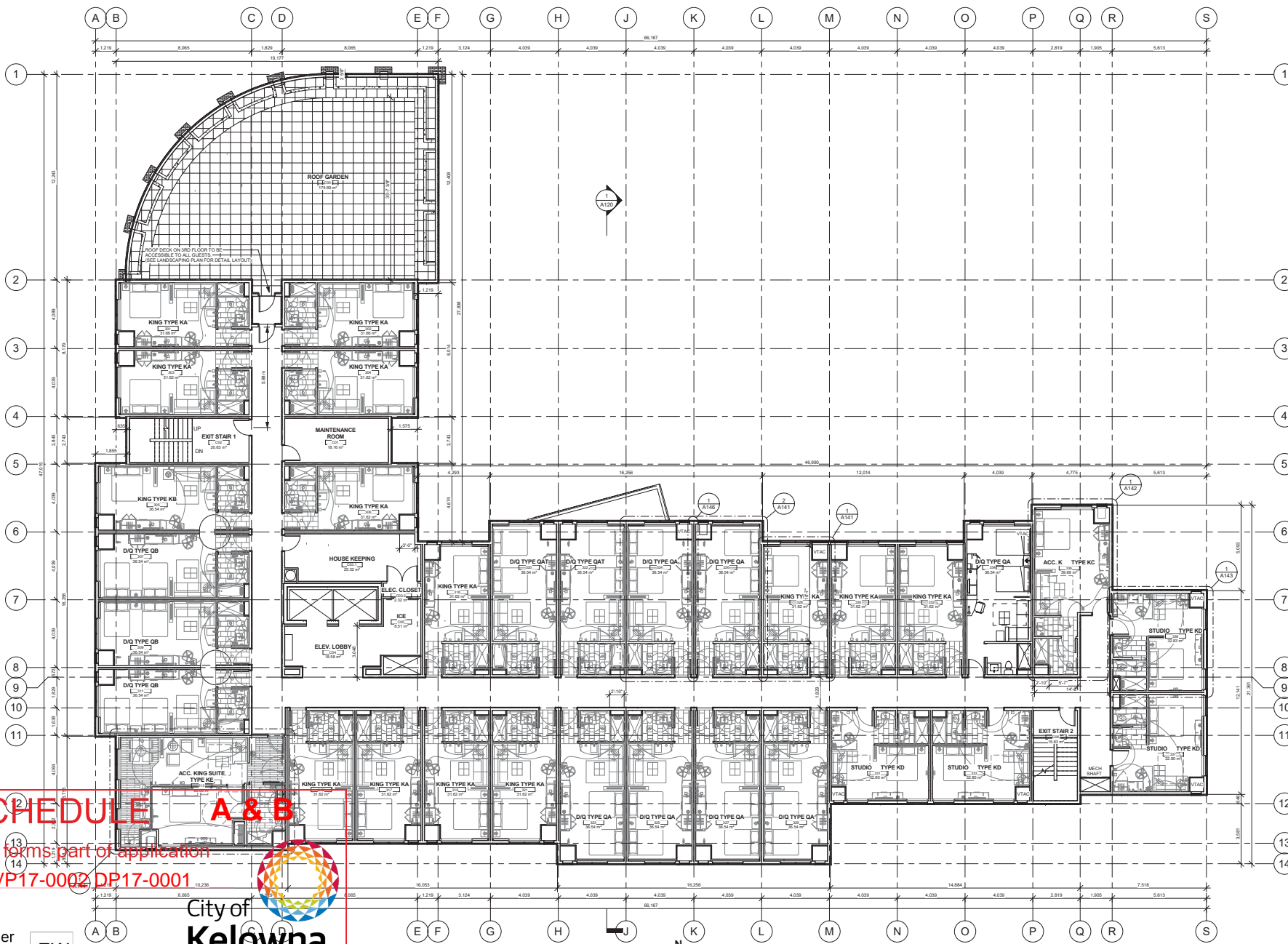
This forms part of application
DVP17-0002 DP17-0001

Planner Initials **EW**



HOTEL 2ND FLOOR
1:100

Revision Schedule		
No	Description	Date
24		
23		
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16		
15		
14		
13	ISSUED FOR MAJED USE EXTERIOR REVISION	OCT 26 2017
12	ISSUED FOR HYATT REVIEW	AUG 16 2017
11	ISSUED FOR HYATT REVIEW	JUN 26 2017
10	ISSUED FOR HYATT REVIEW	JAN 16 2017
9	ISSUED FOR HYATT RESPONSE	FEB 27 2017
8	ISSUED FOR DP 6	DEC 20 2016
7	ISSUED FOR DP 5	DEC 15 2016
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5	ISSUED FOR DP 3	NOV 18 2016
4	ISSUED FOR DP 2	OCT 26 2016
3	ISSUED FOR DP	SEP 05 2016
2	ISSUED FOR FINAL REVIEW	AUG 15 2016
1	ISSUED FOR PRELIM PLAN	JULY 27 2016
Project Name		
KELOWNA 6-STOREY HOTEL & 6-STOREY MIXED USE BUILDING DEVELOPMENT		
Project Address		
1915 ENTERPRISE WAY KELOWNA, B.C.		
Sheet Name		
HOTEL 2ND FLOOR PLAN		
Sheet No.		
A103		
Project No.		
21101		
Start of Project		
JUN, 2016		
SIGN & SEAL		
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AIBC, AAA, SAA		



SCHEDULE A & B

This forms part of application
DVP17-0002 DP17-0001

Planner
Initials

EW

City of
Kelowna
COMMUNITY PLANNING

1 HOTEL 3RD FLOOR
1:100

Revision Schedule		
No	Description	Date
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13	ISSUED FOR MIXED USE EXTERIOR REVISION	OCT 26 2017
12	ISSUED FOR HYATT REVIEW	AUG 16 2017
11	ISSUED FOR HYATT REVIEW	JUN 26 2017
10	ISSUED FOR HYATT REVIEW	MAY 16 2017
9	ISSUED FOR HYATT RESPONSE	FEB 27 2017
8	ISSUED FOR DP 5	DEC 20 2016
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5	ISSUED FOR DP 3	NOV 18 2016
4	ISSUED FOR DP 2	OCT 26 2016
3	ISSUED FOR DP	SEP 05 2016
2	ISSUED FOR FINAL REVIEW	AUG 16 2016
1	ISSUED FOR PRELIM PLAN	JULY 27 2016
Project Name		
KELOWNA 6-STOREY HOTEL & 6-STOREY MIXED USE BUILDING DEVELOPMENT		
Project Address		
1915 ENTERPRISE WAY KELOWNA, B.C.		
Sheet Name		
HOTEL 3RD FLOOR PLAN		
Sheet No.		
A104		
Project No.		
21101		
Start of Project		
JUN, 2016		
SIGN & SEAL		
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SCHEDULE A & B

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DVP17-0002 DP17-0001

Planner
Initials

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City of
Kelowna
COMMUNITY PLANNING



1 HOTEL 4TH FLOOR
1:100



Revision Schedule		
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13	ISSUED FOR MIXED USE EXTERIOR REVISION	OCT 26 2017
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2	ISSUED FOR FINAL REVIEW	AUG 16 2016
1	ISSUED FOR PRELIM PLAN	JULY 27 2016
Project Name		
KELOWNA 6-STORY HOTEL & 6-STORY MIXED USE BUILDING DEVELOPMENT		
Project Address		
1915 ENTERPRISE WAY KELOWNA, B.C.		
Sheet Name		
HOTEL 4TH FLOOR PLAN		
Sheet No.		
A105		
Project No.		
21101		
Start of Project		
JUN, 2016		
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Revision Schedule

No	Description	Date
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1	ISSUED FOR PRELIM PLAN	JULY 27 2016

Project Name

KELOWNA 6-STORY HOTEL & 6-STORY MIXED USE BUILDING DEVELOPMENT

Project Address

1915 ENTERPRISE WAY KELOWNA, B.C.

Sheet Name

HOTEL 5TH FLOOR PLAN

Sheet No.

A106

Project No.

21101

Start of Project

JUN, 2016

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SCHEDULE A & B

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DVP17-0002 DP17-0001

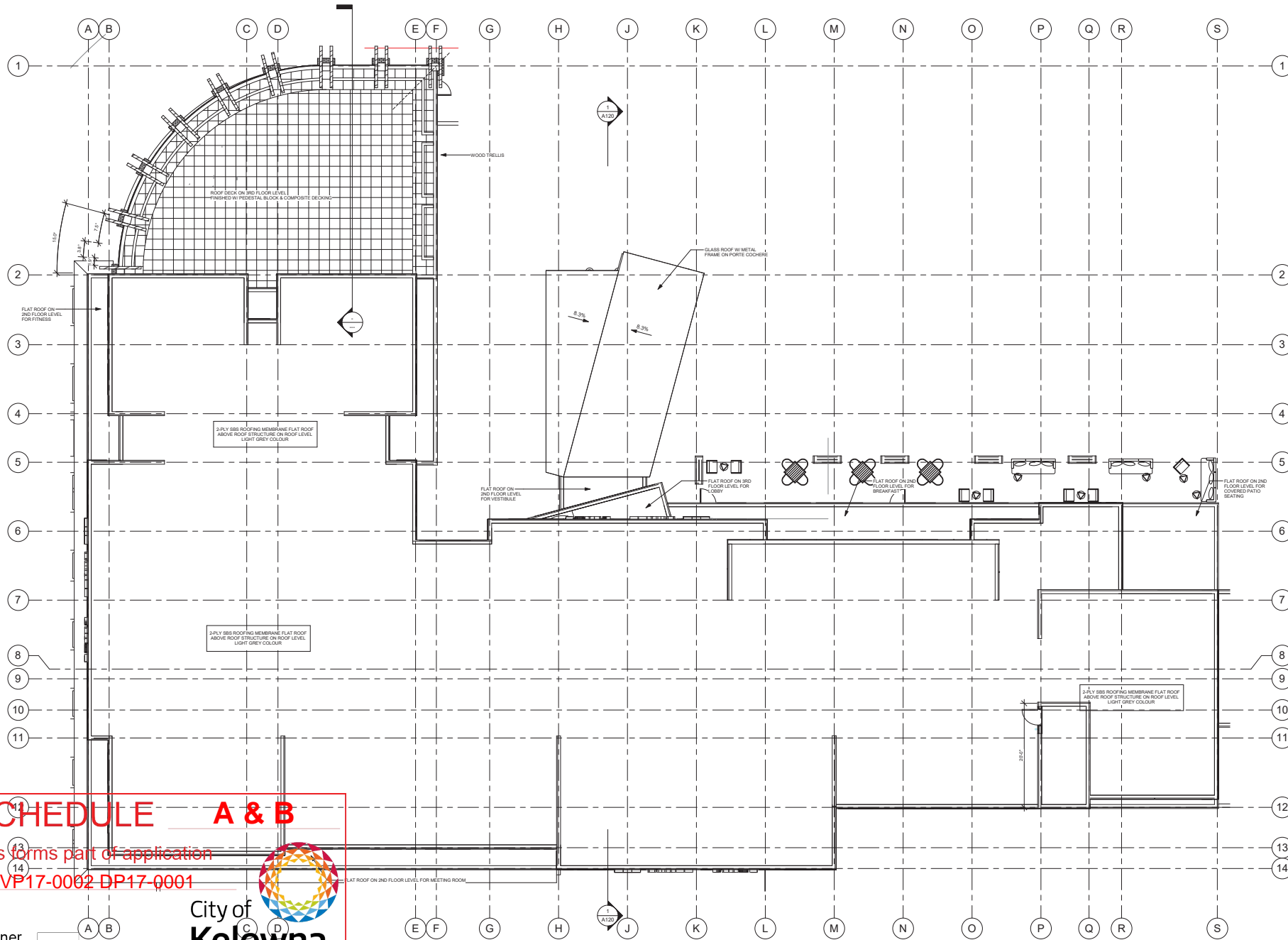
Planner
Initials

EW

City of
Kelowna
COMMUNITY PLANNING

① HOTEL 5TH FLOOR
1:100





Revision Schedule		
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1	ISSUED FOR PRELIM PLAN	JULY 27 2016

Project Name
KELOWNA 6-STORY HOTEL & 6-STORY MIXED USE BUILDING DEVELOPMENT

Project Address
1915 ENTERPRISE WAY KELOWNA, B.C.

Sheet Name
HOTEL ROOF PLAN

Sheet No.
A108

Project No.
21101

Start of Project
JUN, 2016

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DVP17-0002 DP17-0001

Planner Initials **EW**

City of Kelowna
COMMUNITY PLANNING

1 HOTEL ROOF PLAN
1/8" = 1'-0"

ALL FLAT ROOF SHALL HAVE MIN. 2% SLOPE TO DRAIN U.N.O.



SCHEDULE A & B

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DVP17-0002 DP17-0001

Planner
Initials

EW



23	19	8	ISSUED FOR DP 6	DEC 23 2016
22	18	7	ISSUED FOR DP 5	DEC 13 2016
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16	12	1	ISSUED FOR PRELIM PLAN	JULY 27 2016
15	11	1	ISSUED FOR PRELIM RESPONSE	FEB 27 2017

Project Name
**KELOWNA 6-STOREY
HOTEL & 6-STOREY
MIXED USE BUILDING
DEVELOPMENT**

Project Address
**1915 ENTERPRISE
WAY
KELOWNA, B.C.**

Sheet Name
**HOTEL NORTH
ELEVATION**

Sheet No.
A109

Project No.
21101

Start of Project
JUN, 2016

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16	12	1	ISSUED FOR PRELIM PLAN	JULY 27 2016

Project Name
**KELOWNA 6-STORY
HOTEL & 6-STORY
MIXED USE BUILDING
DEVELOPMENT**

Project Address
**1915 ENTERPRISE
WAY
KELOWNA, B.C.**

Sheet Name
**HOTEL SOUTH
ELEVATION**

Sheet No.
A110

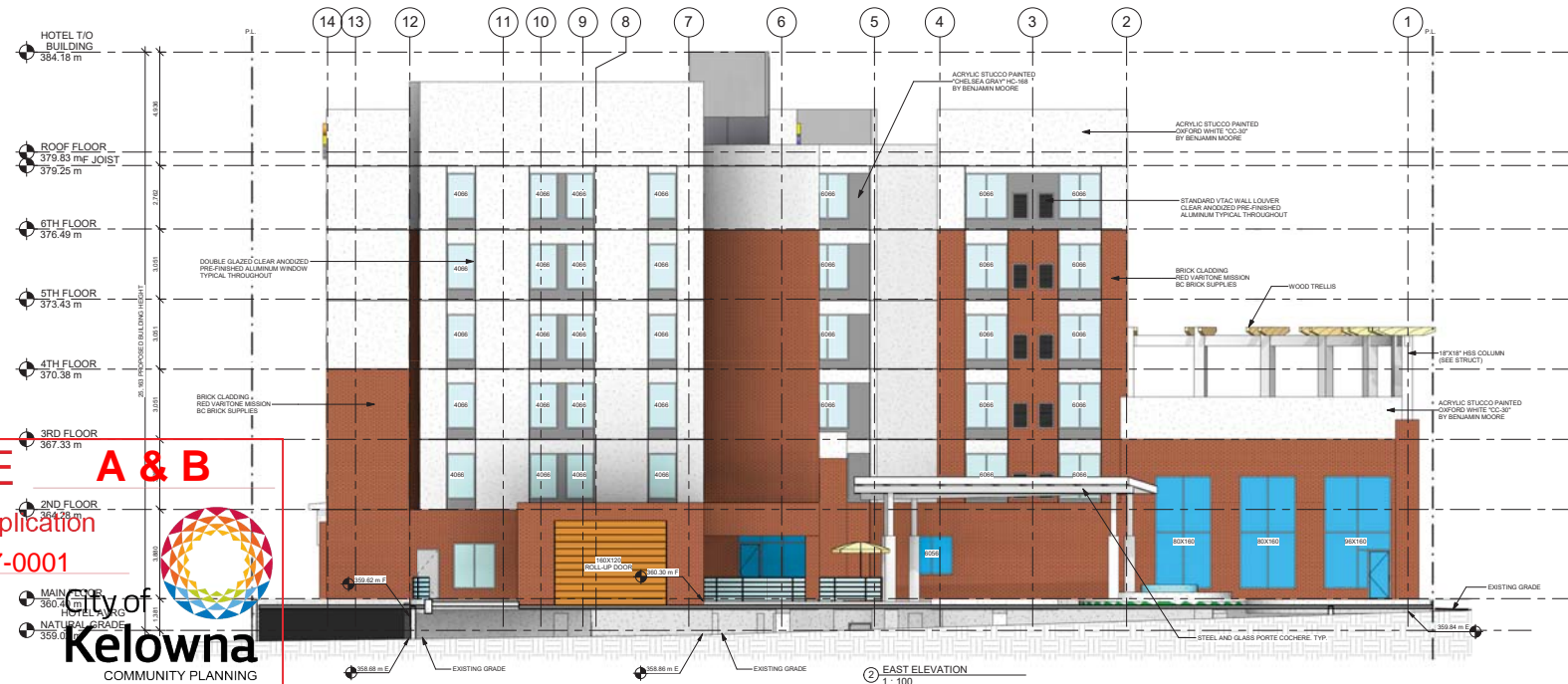
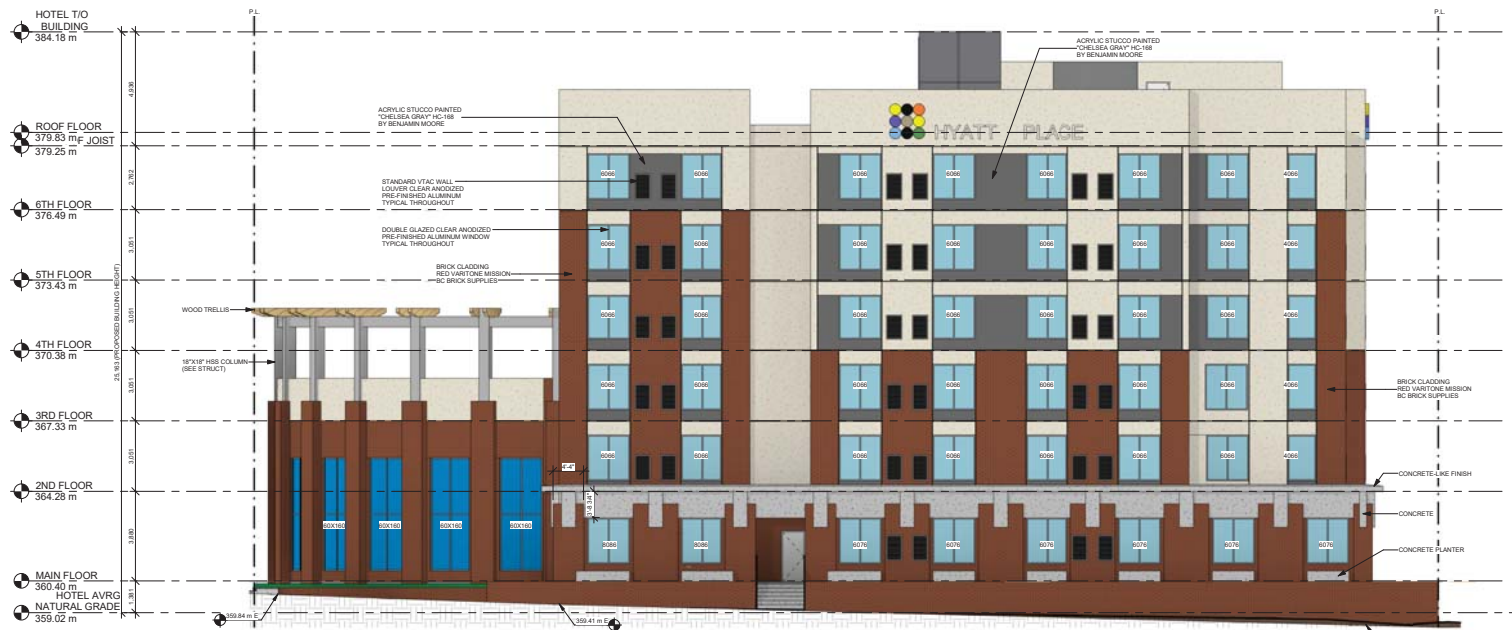
Project No.
21101

Start of Project
JUN, 2016

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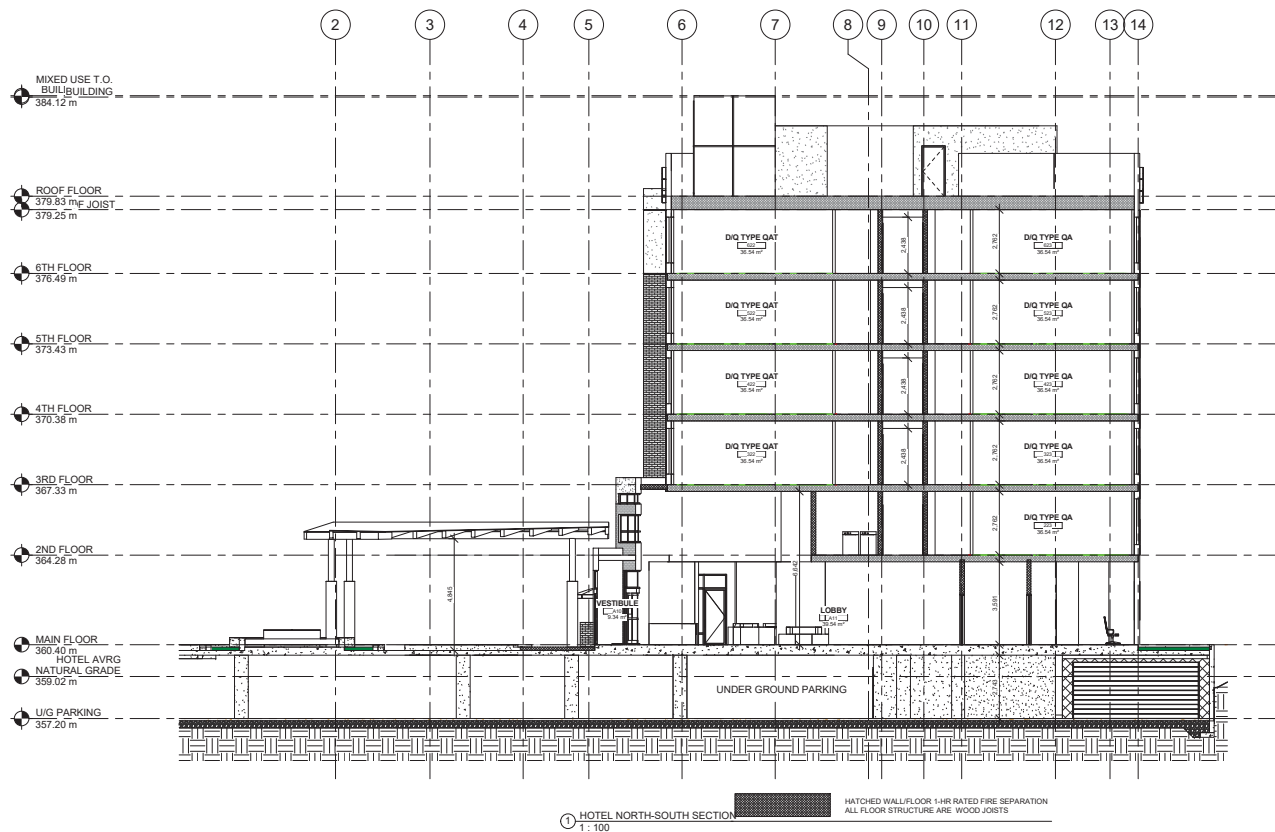
SCHEDULE A & B

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DVP17-0002 DP17-0001

City of Kelowna
COMMUNITY PLANNING

Planner Initials **EW**

Revision Schedule		
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2	ISSUED FOR FINAL REVIEW	AUG 16 2016
1	ISSUED FOR PRELIM PLAN	JULY 27 2016
Project Name		
KELOWNA 6-STOREY HOTEL & 6-STOREY MIXED USE BUILDING DEVELOPMENT		
Project Address		
1915 ENTERPRISE WAY KELOWNA, B.C.		
Sheet Name		
HOTEL EAST / WEST ELEVATIONS		
Sheet No.		
A111		
Project No.		
21101		
Start of Project		
JUN, 2016		
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1	ISSUED FOR PRELIM PLAN	JULY 27 2016
Project Name		
KELOWNA 6-STOREY HOTEL & 6-STOREY MIXED USE BUILDING DEVELOPMENT		
Project Address		
1915 ENTERPRISE WAY KELOWNA, B.C.		
Sheet Name		
HOTEL SOUTH-NORTH BUILDING SECTIONS		
Sheet No.		
A120		
Project No.		
21101		
Start of Project		
JUN, 2016		
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SCHEDULE A & B

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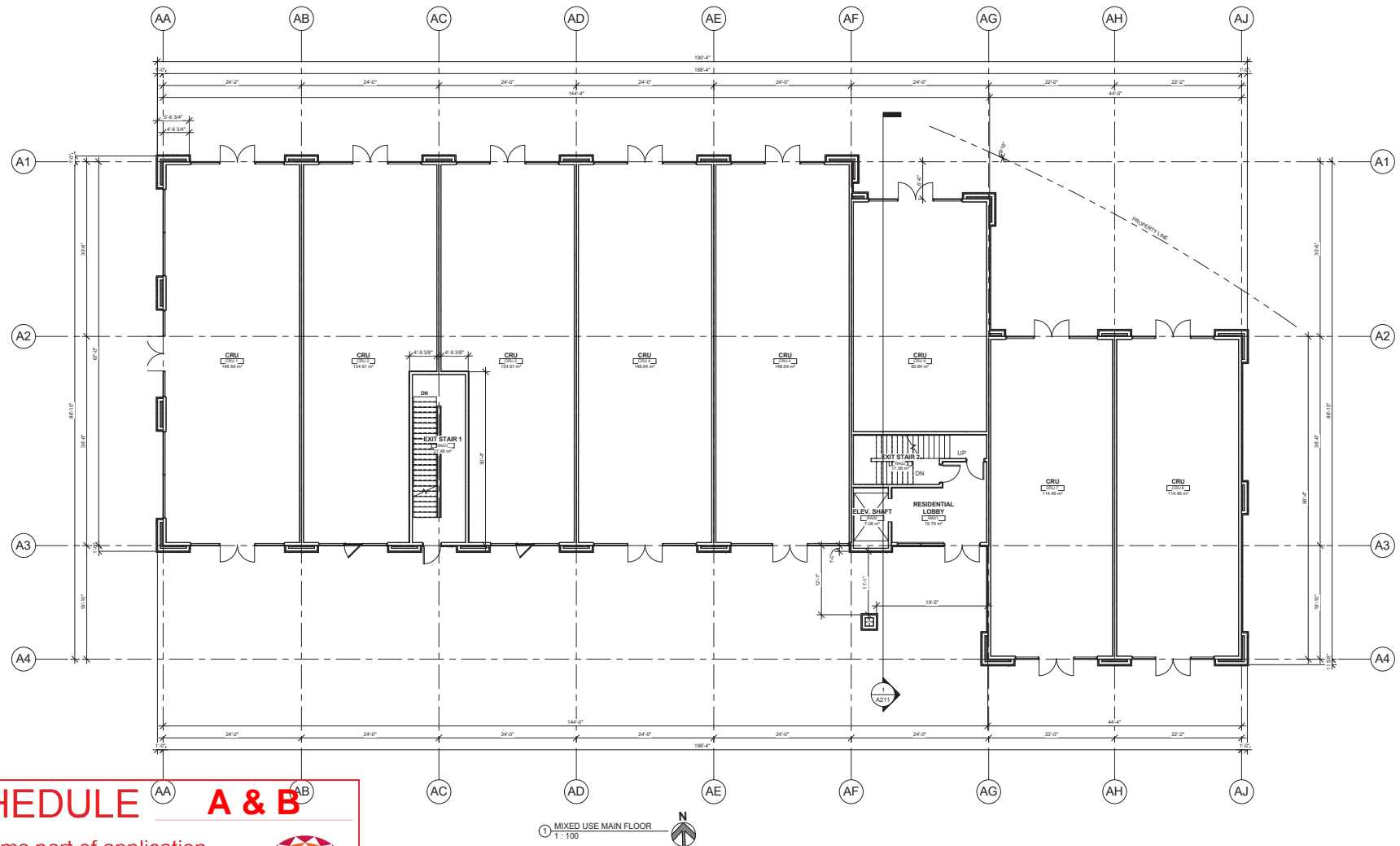
DVP17-0002 DP17-0001

Planner
Initials

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City of
Kelowna
COMMUNITY PLANNING





SCHEDULE

A & B

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DVP17-0002 DP17-0001

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Kelowna
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Revision Schedule

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2	ISSUED FOR FINAL REVIEW	AUG 16 2016
1	ISSUED FOR PRELIM PLAN	JULY 27 2016

Project Name

**KELOWNA 6-STORY
HOTEL & 6-STORY
MIXED USE BUILDING
DEVELOPMENT**

Project Address

**1915 ENTERPRISE WAY
KELOWNA, B.C.**

Sheet Name

**MIXED USE MAIN
FLOOR PLAN**

Sheet No.

A202

Project No.

21101

Start of Project

JUN, 2016

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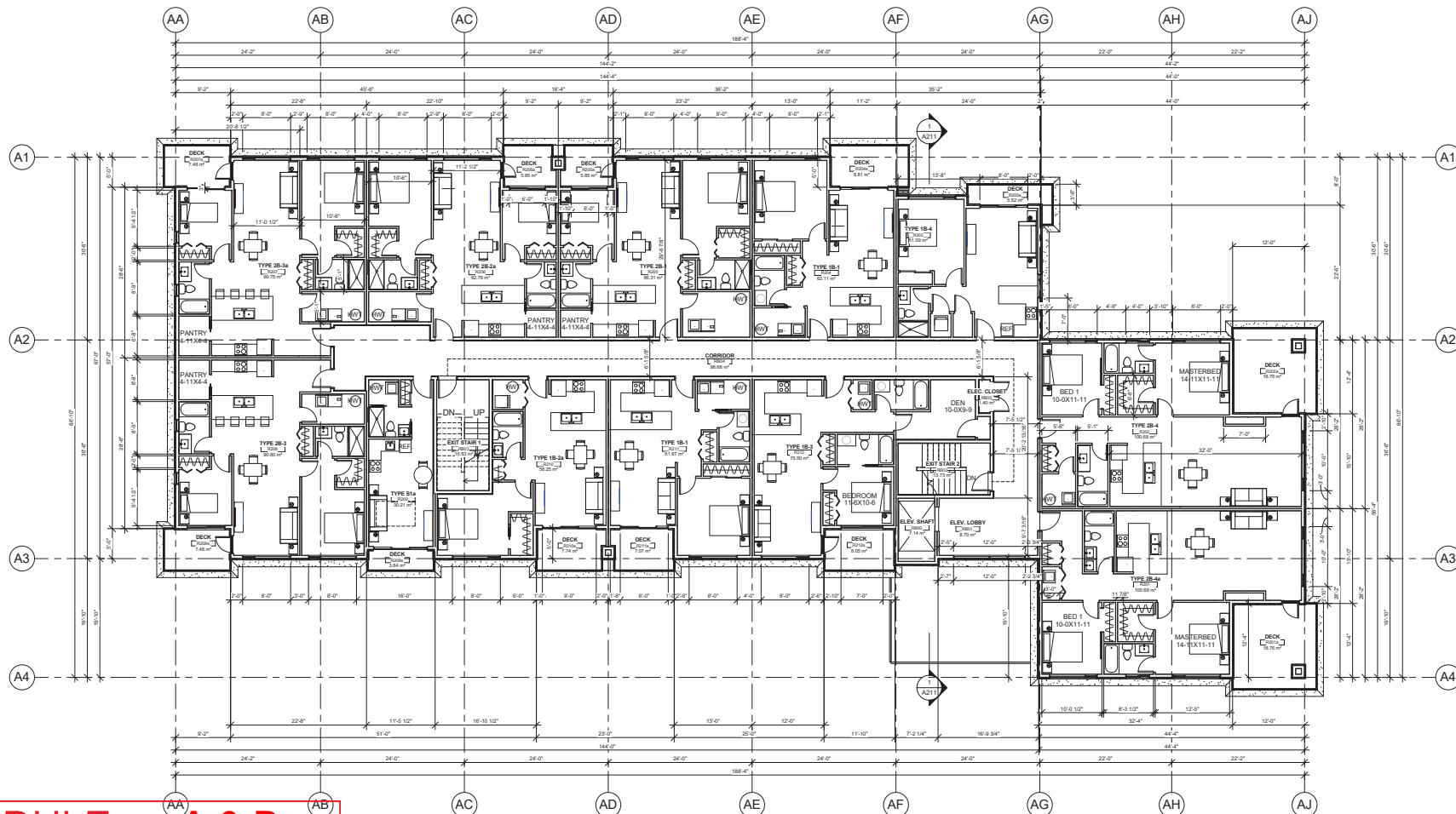
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COMMUNITY PLANNING



① MIXED USE 2ND FLOOR
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Revision Schedule

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2	ISSUED FOR PRELIM PLAN	JULY 27 2016

Project Name

KELOWNA 6-STORY HOTEL & 6-STORY MIXED USE BUILDING DEVELOPMENT

Project Address

**1915 ENTERPRISE WAY
KELOWNA, B.C.**

Sheet Name

**MIXED USE 2ND
FLOOR PLAN**

Sheet No.

A203

Project No.

21101

Start of Project

JUN, 2016

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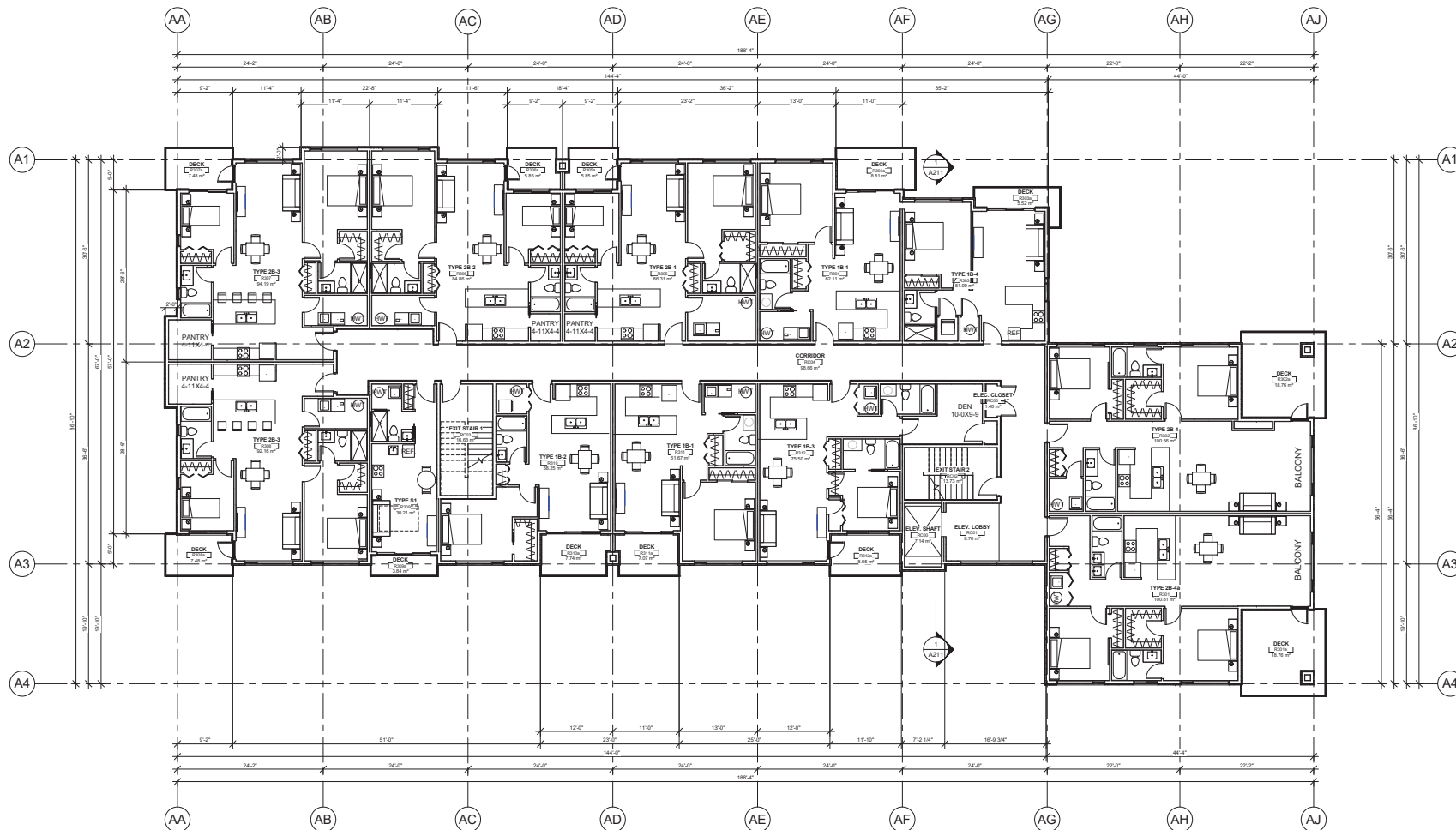
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SCHEDULE A & B

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Planner
Initials

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City of
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COMMUNITY PLANNING



1 MIXED USE 3RD FLOOR
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Revision Schedule		
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1	ISSUED FOR PRELIM PLAN	JULY 27 2016

Project Name
KELOWNA 6-STORY HOTEL & 6-STORY MIXED USE BUILDING DEVELOPMENT

Project Address
1915 ENTERPRISE WAY
KELOWNA, B.C.

Sheet Name
MIXED USE 3RD FLOOR PLAN

Sheet No.
A204

Project No.
21101

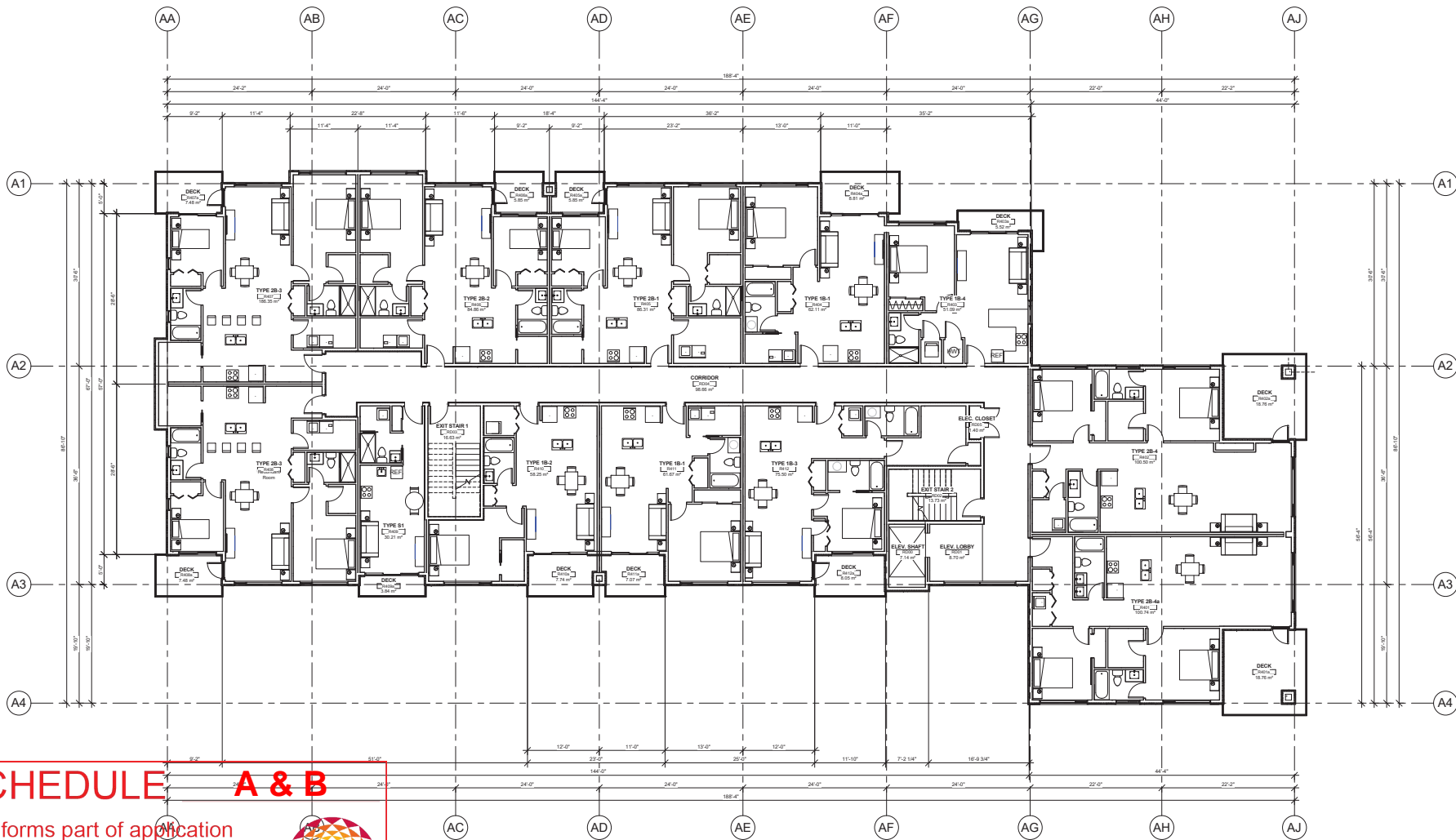
Start of Project
JUN, 2016

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SCHEDULE A & B

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DVP17-0002 DP17-0001

Planner
Initials

EW

City of
Kelowna
COMMUNITY PLANNING

① MIXED USE 4TH FLOOR
1/8" = 1'-0"

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KELOWNA 6-STOREY HOTEL & 6-STOREY MIXED USE BUILDING DEVELOPMENT		
Project Address		
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Sheet No.		
A205		
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21101		
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JUN, 2016		
SIGN & SEAL		
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Revision Schedule

No	Description	Date
24		
23		
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13	ISSUED FOR MIXED USE EXTERIOR REVISION	OCT 28 2017
12	ISSUED FOR HYATT REVIEW	AUG 18 2017
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5	ISSUED FOR DP 3	NOV 18 2016
4	ISSUED FOR DP 2	OCT 28 2016
3	ISSUED FOR DP	SEP 02 2016
2	ISSUED FOR FINAL REVIEW	AUG 15 2016
1	ISSUED FOR PRELIM PLAN	JULY 27 2016

Project Name

KELOWNA 6-STORY HOTEL & 6-STORY MIXED USE BUILDING DEVELOPMENT

Project Address

1915 ENTERPRISE WAY
KELOWNA, B.C.

Sheet Name

MIXED USE 5TH FLOOR PLAN

Sheet No.

A206

Project No.

21101

Start of Project

JUN, 2016

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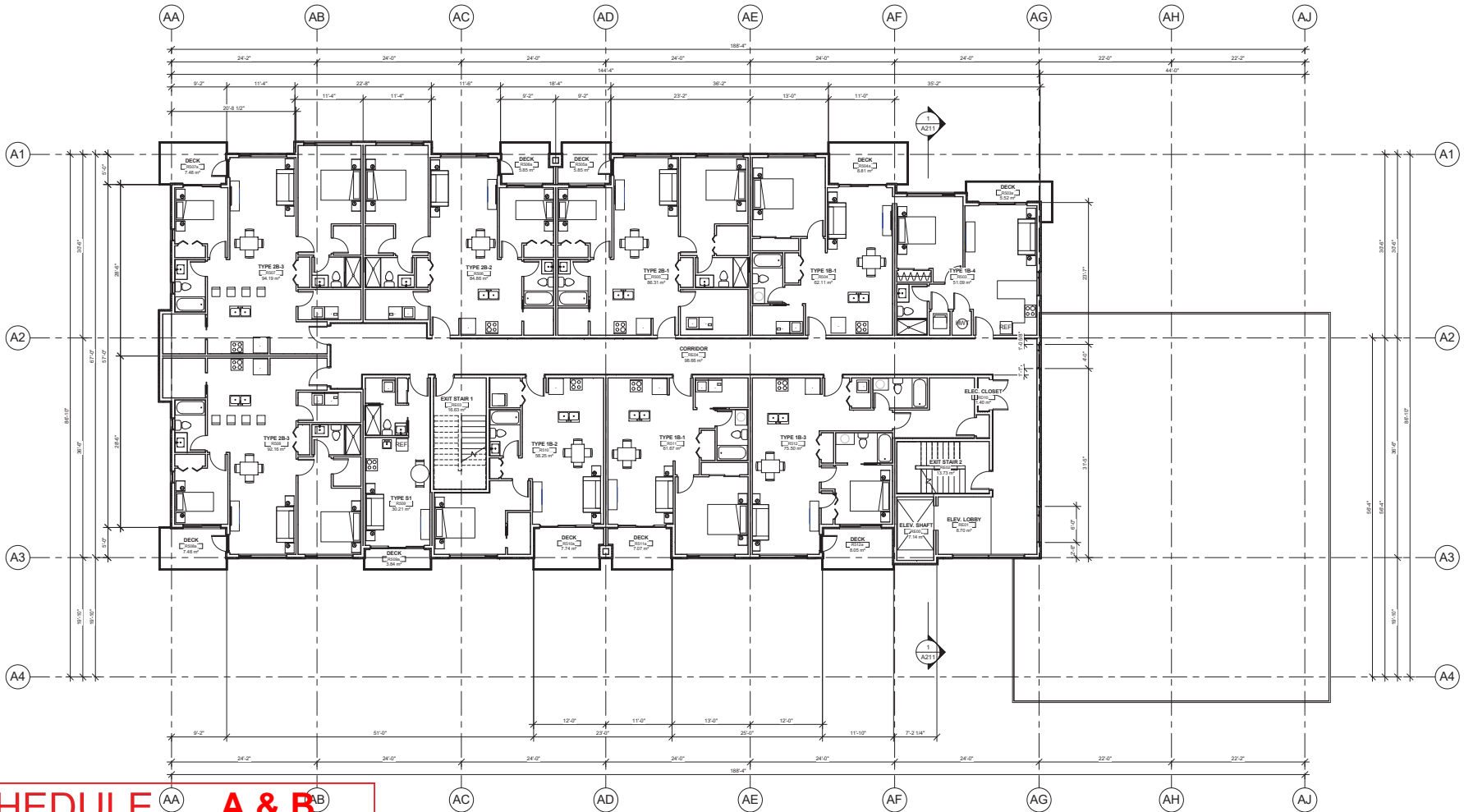
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SCHEDULE A & B

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DVP17-0002 DP17-0001

Planner Initials

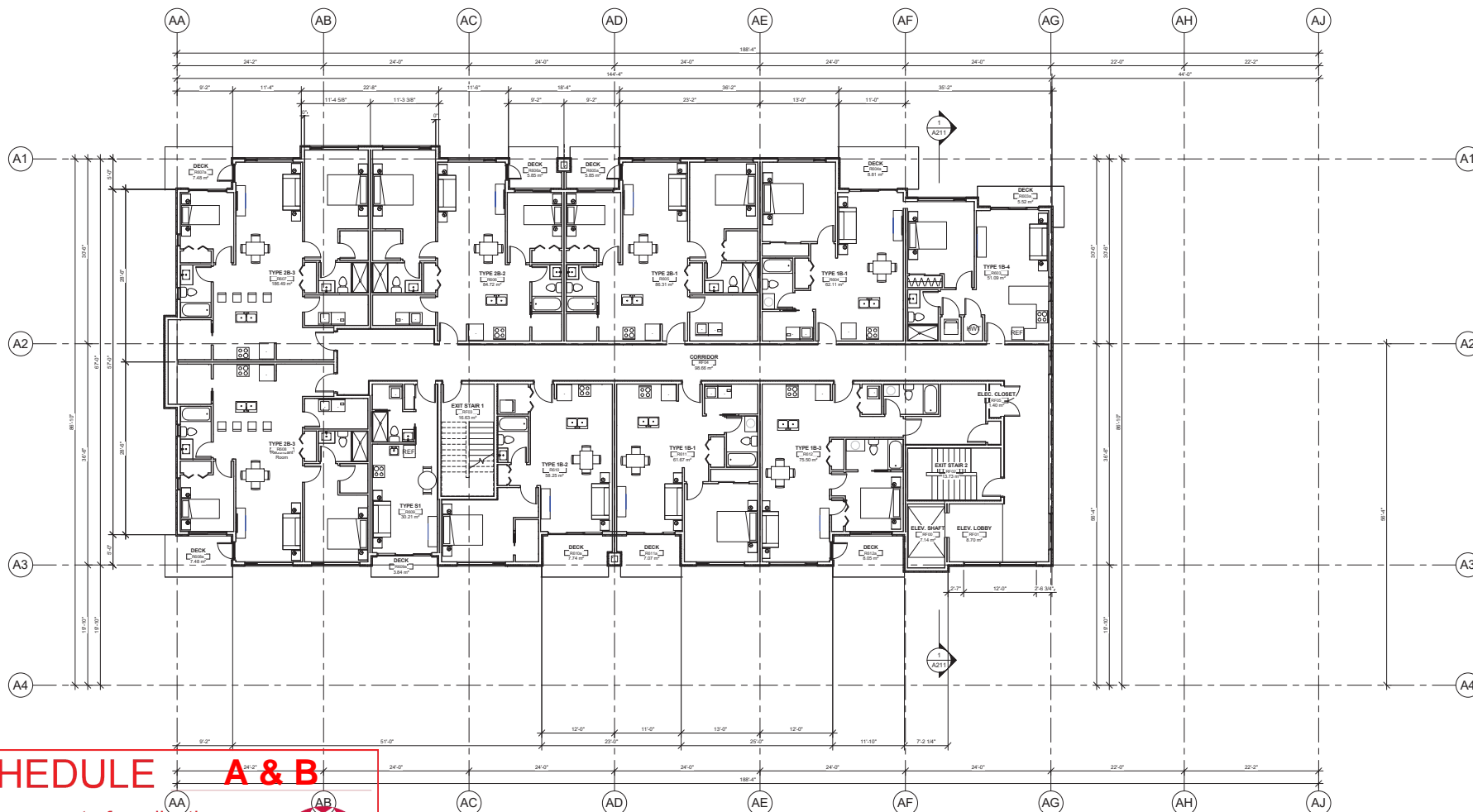
EW

City of Kelowna

COMMUNITY PLANNING

1 MIXED USE 5TH FLOOR
1/8" = 1'-0"





SCHEDULE

A & B

This forms part of application

DVP17-0002 DP17-0001

Planner
Initials

EW

City of
Kelowna
COMMUNITY PLANNING



1 MIXED USE 6TH FLOOR
1/8" = 1'-0"



Revision Schedule

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2	ISSUED FOR FINAL REVIEW	AUG 15 2016
1	ISSUED FOR PRELIM PLAN	JULY 27 2016

Project Name

**KELOWNA 6-STOREY
HOTEL & 6-STOREY
MIXED USE BUILDING
DEVELOPMENT**

Project Address

**1915 ENTERPRISE WAY
KELOWNA, B.C.**

Sheet Name

**MIXED USE 6TH
FLOOR PLAN**

Sheet No.

A207

Project No.

21101

Start of Project

JUN, 2016

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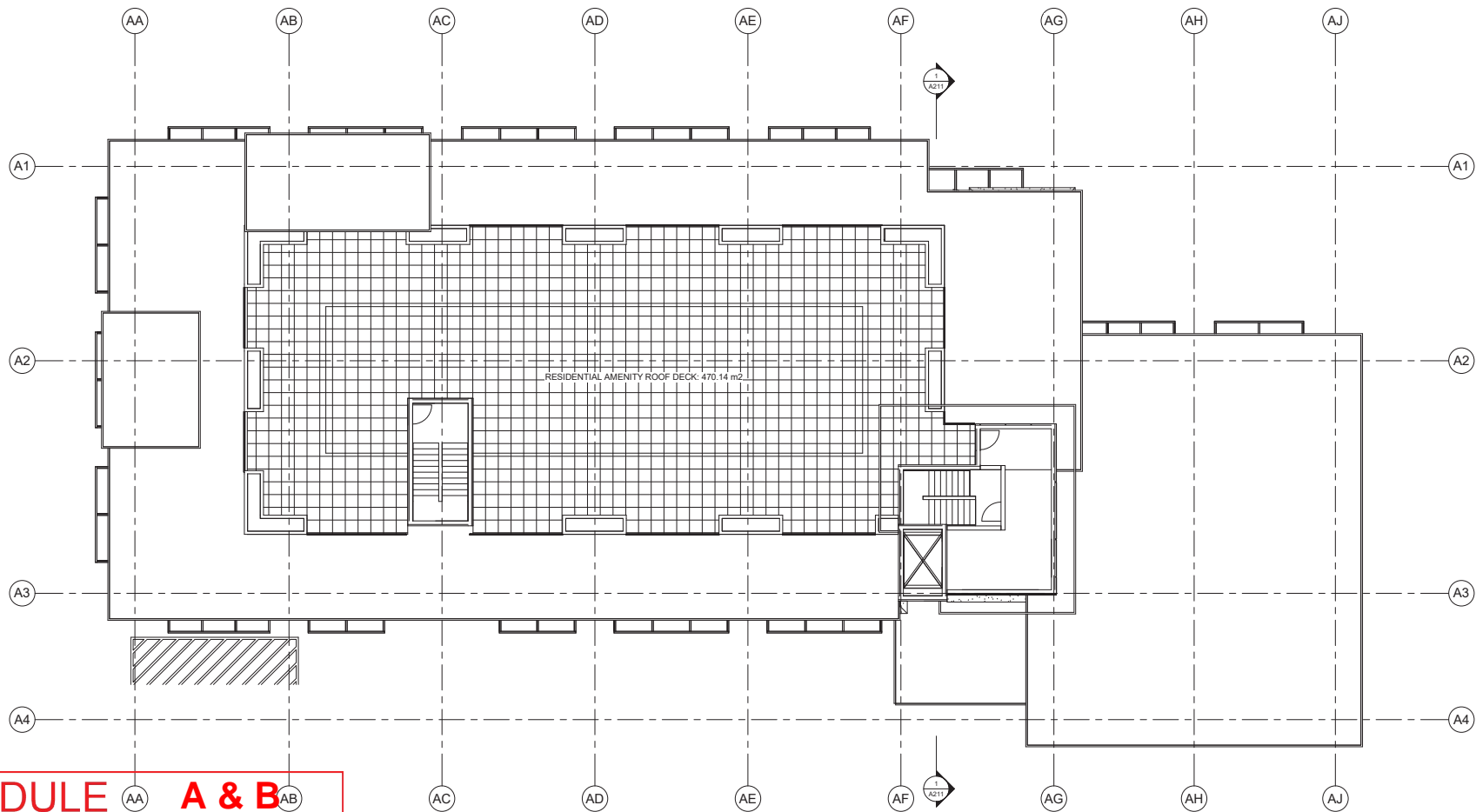
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SCHEDULE A & B

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DVP17-0002 DP17-0001

Planner Initials **EW**

City of Kelowna
COMMUNITY PLANNING

① MIXED USE ROOF PLAN
1/8" = 1'-0"

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1	ISSUED FOR PRELIM PLAN	JULY 27 2016
Project Name		
KELOWNA 6-STOREY HOTEL & 6-STOREY MIXED USE BUILDING DEVELOPMENT		
Project Address		
1915 ENTERPRISE WAY KELOWNA, B.C.		
Sheet Name		
MIXED USE ROOF PLAN		
Sheet No.		
A208		
Project No.		
21101		
Start of Project		
JUN, 2016		
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① MIXED USE NORTH ELEVATION
1:100



② MIXED USE SOUTH ELEVATION
1:100

SCHEDULE A & B

This forms part of application
DVP17-0002 DP17-0001

City of Kelowna
COMMUNITY PLANNING

Planner Initials EW

Revision Schedule		
No	Description	Date
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1	ISSUED FOR PRELIM PLAN	JULY 27 2016

Project Name
KELOWNA 6-STOREY HOTEL & 6-STOREY MIXED USE BUILDING DEVELOPMENT

Project Address
1915 ENTERPRISE WAY
KELOWNA, B.C.

Sheet Name
MIXED USE NORTH / SOUTH ELEVATIONS

Sheet No.
A209

Project No.
21101

Start of Project
JUN, 2016

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Revision Schedule		
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1	ISSUED FOR PRELIM PLAN	JULY 27 2016

Project Name
KELOWNA 6-STOREY HOTEL & 6-STOREY MIXED USE BUILDING DEVELOPMENT

Project Address
**1915 ENTERPRISE WAY
 KELOWNA, B.C.**

Sheet Name
**MIXED USE
 SOUTH-NORTH
 BUILDING SECTION**

Sheet No.
A211

Project No.
21101

Start of Project
JUN, 2016

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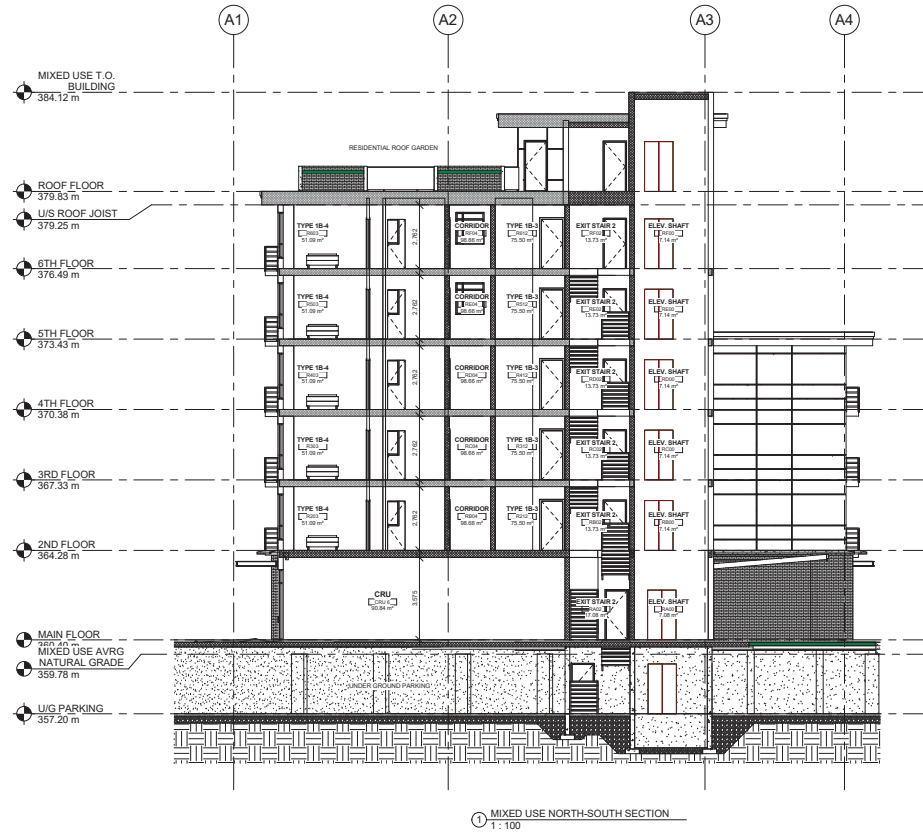
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SCHEDULE A & B

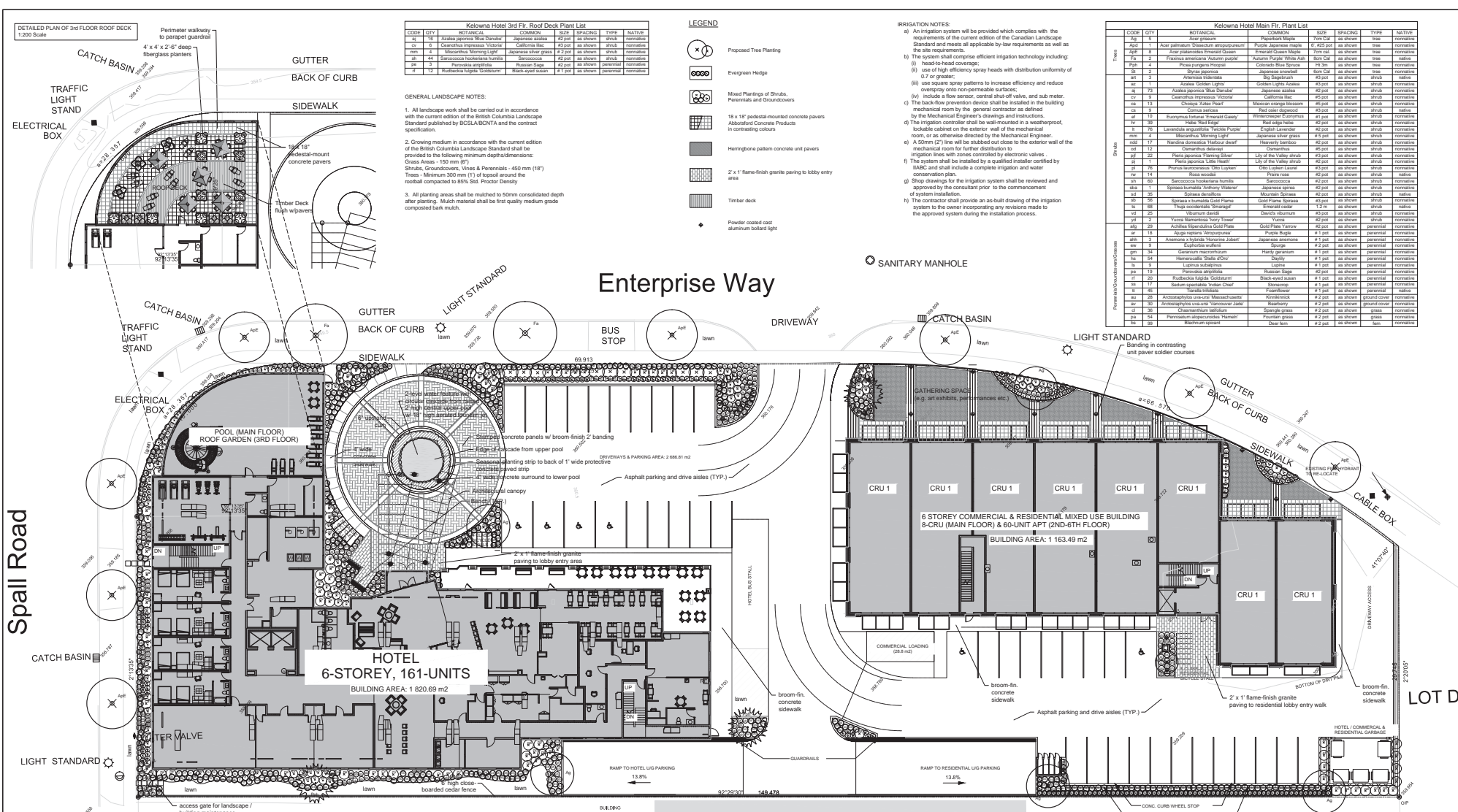
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 # DVP17-0002 DP17-0001

Planner
 Initials

EW

City of
Kelowna
 COMMUNITY PLANNING





SCHEDULE LOT 2
PLAN 24969

This forms part of application
DVP17-0002 DP17-0001

Planner Initials EW

City of Kelowna
COMMUNITY PLANNING

Kelowna Hotel 3rd Fl. Roof Deck Plant List

CODE	QTY	BOTANICAL	COMMON	SIZE	SPACING	TYPE	NATIVE
1	12	Asplenium nidus	Japanese Maidenhair	45 pot	as shown	shrub	non-native
2	12	Chlorophytum comosum	Spider Plant	45 pot	as shown	shrub	non-native
3	12	Monarda didyma	Red Salvia	45 pot	as shown	shrub	non-native
4	12	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
5	12	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
6	12	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
7	12	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
8	12	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
9	12	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
10	12	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
11	12	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
12	12	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native

- LEGEND**
- Proposed Tree Planting
 - Evergreen Hedge
 - Mixed Plantings of Shrubs, Perennials and Groundcovers
 - 18 x 18" pedestal-mounted concrete pavers
 - Herringbone pattern concrete unit pavers
 - 2 x 1" flame-finish granite paving to lobby entry area
 - Timber deck
 - Powder coated cast aluminum bollard light

- IRRIGATION NOTES:**
- An irrigation system will be provided which complies with the requirements of the current edition of the Canadian Landscape Standard and meets all applicable by-law requirements as well as the site requirements.
 - The system shall comprise efficient irrigation technology including:
 - head-to-head coverage;
 - use of high efficiency spray heads with distribution uniformity of 0.7 or greater;
 - use of square spray patterns to increase efficiency and reduce overlap onto non-permeable surfaces;
 - include a flow sensor, central shut-off valve, and sub-meter.
 - The back-flow prevention device shall be installed in the building mechanical room by the general contractor as defined by the Mechanical Engineer's drawings and instructions.
 - The irrigation controller shall be well-mounted in a weatherproof, lockable cabinet on the exterior wall of the mechanical room, or as otherwise directed by the Mechanical Engineer.
 - A 50mm (2") line will be stubbed out close to the exterior wall of the mechanical room for further distribution to irrigation lines with zones controlled by electronic valves.
 - The system shall be installed by a qualified installer certified by IALAC and shall include a complete irrigation and water conservation plan.
 - Shop drawings for the irrigation system shall be reviewed and approved by the consultant prior to the commencement of system installation.
 - The contractor shall provide an as-built drawing of the irrigation system to the owner incorporating any revisions made to the approved system during the installation process.

Kelowna Hotel Main Fl. Plant List

CODE	QTY	BOTANICAL	COMMON	SIZE	SPACING	TYPE	NATIVE
1	1	Asplenium nidus	Japanese Maidenhair	45 pot	as shown	shrub	non-native
2	1	Chlorophytum comosum	Spider Plant	45 pot	as shown	shrub	non-native
3	1	Monarda didyma	Red Salvia	45 pot	as shown	shrub	non-native
4	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
5	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
6	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
7	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
8	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
9	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
10	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
11	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
12	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
13	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
14	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
15	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
16	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
17	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
18	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
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22	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
23	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
24	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
25	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
26	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
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30	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
31	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
32	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
33	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
34	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
35	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
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50	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
51	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
52	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
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54	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
55	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
56	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
57	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
58	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
59	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native
60	1	Salvia nemorosa	Blue Salvia	45 pot	as shown	shrub	non-native

Landscape Cost Estimate

Kelowna Hyatt Hotel and Apartments

Prepared by PD Group Landscape Architecture Ltd.

10/19/2017

Item	Off-site Quantity	On-site Quantity	Unit	Unit Price	Off-site Subtotal	On-site Subtotal
PLANTED AREAS:						
Decid. Tree 8cm cal.	10	9	ea.	600.00	6,000.00	5,400.00
Decid. Tree 5'-6"		1	ea.	265.00	0.00	265.00
Con. Tree 3.0m ht.		4	ea.	345.00	0.00	1,380.00
Shrubs		623	ea.	35.50	0.00	22,116.50
Perennials		561	ea.	12.00	0.00	6,732.00
1.2m Cedar Hedge		66	ea.	22.00	0.00	1,452.00
Growing Medium (450mm depth)		233	cu. m.	60.00	0.00	13,980.00
Bark Mulch		26	cu. m.	28.00	0.00	728.00
Subtotal:					6,000.00	52,053.50

LAWN AREAS:						
Sod	595	72	sq. m.	10.00	5,950.00	720.00
Growing Medium (150mm depth)	89	11	cu. m.	60.00	5,340.00	660.00
Subtotal:					11,290.00	1,380.00

Grand Total Soft Landscaping					17,290.00	53,433.50
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HARD LANDSCAPE/SITE FURNISHINGS						
Broom-finish Concrete Paving	28.5	sq. m.	75.00	0.00	2,137.50	
Stamped Concrete Paving	185.4	sq. m.	85.00	0.00	15,759.00	
45 x 45cm Hydrapressed Concrete Unit Pavers	107.3	sq. m.	65.00	0.00	6,974.50	
Holland Concrete Unit Pavers	150.1	sq. m.	85.00	0.00	12,758.50	
30 x 60cm Flame-finish Granite Pavers	81.3	sq. m.	125.00	0.00	10,162.50	
1.8m close-boarded cedar fence	144	lin. m.	175.00	0.00	25,200.00	
Bike Racks (15 bikes)	15	ea.	170.00	0.00	2,550.00	
Benches (MLB 1050 with back)	2	ea.	2,250.00	0.00	4,500.00	
Grand Total Hard Landscaping/Site Furnishings					0.00	80,042.00

Total Landscape Costs	17,290.00	133,475.50
Plus GST @ 5%	864.50	6,673.78
GRAND TOTALS	18,154.50	140,149.28

NOTE: Above costs include for supply and installation

SCHEDULE
C

This forms part of application
DVP17-0002 DP17-0001

Planner
Initials
EW

City of
Kelowna
COMMUNITY PLANNING



CITY OF KELOWNA

BYLAW NO. 11480

Z17-0046

1373 Tanemura Cr

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 1, Section 13, Township 26, ODYD, Plan KAP86150 located on Tanemura Cr, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 11th day of September, 2017

Considered at a Public Hearing on the 3rd day of October, 2017.

Read a second and third time by the Municipal Council this 3rd day of October, 2017.

Approved under the Transportation Act this 4th day of October, 2017.

Audrie Henry

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL



Date: November 21, 2017

RIM No. 0940-00

To: City Manager

From: Community Planning Department (EW)

Application: DVP17-0131 **Owner:** Philip Bernhard Zurrin

Address: 1373 Tanemura Cr **Applicant:** Urban Options Planning & Permits

Subject: Development Variance Permit

Existing OCP Designation: SRES – Single/Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

Proposed Zone: RU1c – Large Lot Housing with Carriage House

1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. BL11480 be considered by Council;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0131 for Lot 1 Section 13 Township 26 ODYD Plan KAP86150, located at 1373 Tanemura Cr, Kelowna, BC to allow the construction of a carriage house;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A":

Section 9.5b.1(f): Carriage House Regulations

To vary the upper floor area of a carriage house from 75% of the carriage house footprint to 87% proposed.

Section 9.5b.1(g): Carriage House Regulations

To vary the maximum height for a carriage house from 4.8m required to 8.05m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the height and the upper floor footprint area for a carriage house on the subject property

3.0 Community Planning

The applicant is proposing the construction of a carriage house at the rear of the sloped property. The location of the carriage house preserves a number of mature evergreen trees on-site. The requested variances, to the height and the upper floor footprint area are attributed to the unique design of the carriage house on the sloped lot and are not anticipated to have a negative impact on adjacent neighbours.

To fulfill Council Policy No. 367, the applicant submitted a Neighbour Consultation Summary Form to staff on July 11, 2017, outlining that the neighbours within 50 m of the subject property were notified.

4.0 Proposal

4.1 Background

Rezoning Bylaw No. BL11480 to add the 'c' designation was given 2nd and 3rd readings on October 3, 2017.

4.2 Project Description

The applicant would like to construct a carriage house in the rear of the subject property. The rear of the property slopes down to Hwy 33 and the owner wants to retain the mature evergreen trees on-site. The proposed location of the carriage house is designed into the slope at the rear of the property. The carriage house plans show a two-car garage and a two-bedroom suite where the garage is accessed from grade and the suite is a walkout under the garage.

4.3 Variances

The proposed carriage house will require two variances to Zoning Bylaw No. 8000:

Variance 1: s.9.5b.1(f) The maximum upper storey floor area is 75% of the carriage house footprint area. Due to the carriage house design in which the garage is situated above the living space, the upper storey is 87% of the carriage house footprint. The purpose of this rule was to prevent carriage house 'box' designs and encourage more floor area on the ground floor in order to limit the visual and privacy impacts on adjacent neighbours. However, in this case with the carriage house located on a sloping property, the visual impact from the road (Tanemura Cr) looks like a single storey building and the two storey portion faces Hwy 33 rather than an adjacent neighbour.

Variance2: s.9.5b.1(g) The maximum height is the lesser of 4.8m of the height of the principal dwelling, as measured to the midpoint. As per the Zoning Bylaw interpretation of height and building grade, the height of the carriage house is measured from the low side (the walkout side facing Hwy 33). The height variance would be 4.8m to 8.05m. The carriage house as viewed from Tanemura Cr is one storey and less than 4.8m in height. The variance is necessary because the walkout basement exemption does not apply to carriage houses. Both variances are attributed to the unique design of the carriage house on a sloped lot and are not anticipated to have a negative impact on adjacent neighbours (see Figure 1 on Page 3).

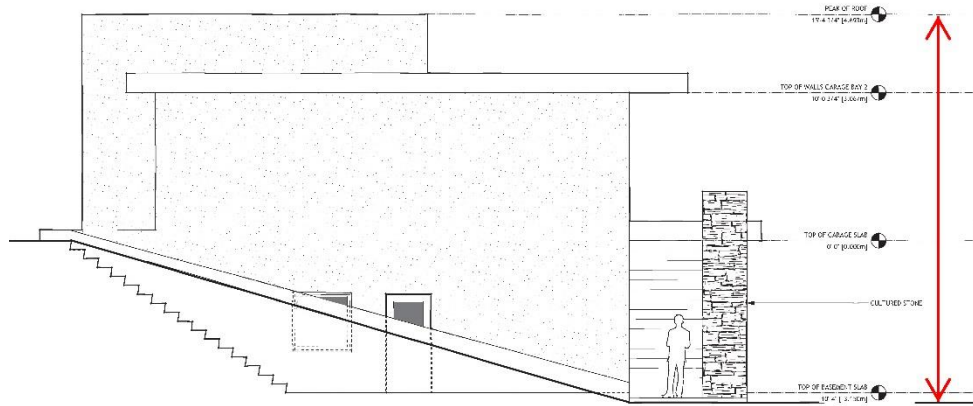


Figure 1. Cross Section of Proposed Carriage House showing where the 8.05m height measurement is taken; on the walkout side.

4.4 Site Context

The subject property is located in the Belgo – Black Mountain north of Hwy 33 E. The subject property is a large RU1 lot at 1971 m².

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Residential
East	RU1 – Large Lot Housing	Residential
South (across Hwy 33 E)	A1 – Agricultural 1	Residential/ Agriculture
West	RU1 – Large Lot Housing	Residential

Subject Property Map: 1373 Tanemura Cr



4.5 Zoning Analysis Table

Zoning Analysis Table		
	RU ₁ ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Minimum Lot Area	550 m ²	1971 m ²
Minimum Lot Width	16.5 m	46 m
Minimum Lot Depth	30.0 m	47 m
Development Regulations		
Max. Site Coverage (buildings)	40%	17%
Max. Site Coverage (buildings, driveways, and parking)	50%	17%
Carriage House Regulations		
Max. Accessory Site Coverage	14%	5%
Max. Accessory Building Footprint	90 m ²	89.9 m ²
Max. Net Floor Area	90 m ²	89.9 m ²
Max. Upper Storey to Building Footprint	75%	87% ❶
Max. Net Floor Area to Principal Building	75%	45%
Maximum Height (to mid-point)	4.8 m	8.05m ❷
Maximum Height (to peak)	7.9 m	4.7 m
Minimum Side Yard (east)	2.0 m	16.8 m
Minimum Side Yard (west)	2.0 m	4.4 m
Minimum Rear Yard	2.0 m	8.9 m
Min. Distance to Principal Building	3.0 m	14 m
Other Regulations		
Minimum Parking Requirements	3 stalls	4 stalls
Minimum Private Open Space	30 m ²	30 m ²
❶ Indicates a variance to upper storey to carriage house footprint from 75% to 87%.		
❷ Indicates a variance to height from 4.8m to 8.05m.		

5.0 **Current Development Policies**5.1 Kelowna Official Community Plan (OCP)**Development Process**

Sensitive Infill.¹ Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighborhood with respect to building design, height and siting.

¹ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

6.0 Technical Comments

6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- HPO (Home Protection Office) approval or release is required at time of Building Permit application.
- Range hood above the stove and the washroom to vent separately to the exterior of the building. The size of the penetration for this duct thru a fire separation is restricted by BCBC 12, so provide size of ducts and fire separation details at time of Building Permit Applications.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

6.2 Fire Department

- All units shall have a posted address on Tanemura Cr.
- Maintain access to the carriage house from Tanemura Cr.

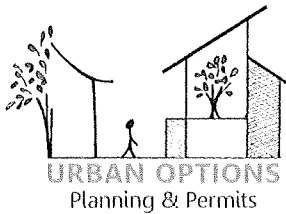
7.0 Application Chronology

Date of Application Received: May 26, 2017
Date Public Consultation Completed: July 11, 2017
Date Public Hearing (Zoning) October 3, 2017

Report prepared by: Emily Williamson, Planner
Reviewed by: Terry Barton, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Attachment 'A' – Applicant's Rationale
Draft DVP17-0131
Schedule 'A'



April 28, 2017

City of Kelowna
Urban Planning Department
1435 Water Street
Kelowna, BC



Re: Rezoning to facilitate a Carriage House at 1373 Tanemura Crescent

Dear Planning Staff

This application is to rezone the property at 1373 Tanemura Crescent to the RU1c – Large Lot Housing with Carriage House zone to allow the construction of a carriage house. The property is unique as it is the remnant parcel from the subdivision that has grown around it and is home to the original 1950's dwelling. The lot is spacious and slopes down to Highway 33 in the rear. The state of title notes a number of Statutory Right of Ways that were required for the subdivision and have no bearing on the site.

The location of the carriage house was carefully considered. The client would like to ensure that the mature evergreen trees on the site are preserved. It became obvious that the carriage house would need to be incorporated into the slope of the site. The proposed carriage house is one storey in height for the garage and the dwelling unit is located in the walk out portion below the garage. From the street level the building looks like a modern garage. The living space is accessed via a staircase that leads directly into the living space. A large patio is located adjacent to the living area so that the view to Kelowna may be enjoyed. The building has a two-vehicle garage with space for storage.

A landscape plan has been submitted as part of the package as an overall upgrade to the site and road frontage is being proposed. The carriage house is being planned for a family member to allow support close by.

The property has easy access to schools, parks, transit and other natural amenities. The proposal is anticipated to be good infill development that is easily integrated into the existing form of the neighbourhood, adding quality housing stock to the area.

Regards,

Birte Decloux

DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE OF DEVELOPMENT VARIANCE PERMIT NO. DVP17-0046

Issued To: Philip Bernhard Zurrin
Site Address: 1373 Tanemura Cr
Legal Description: Lot 1 Section 13 Township 26 ODYD Plan KAP86150
Zoning Classification: RU1c – Large Lot Housing with Carriage House

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0046 for Lot 1 Section 13 Township 26 ODYD Plan KAP86150, located at 1373 Tanemura Cr, Kelowna, BC to allow the construction of a carriage house:

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A":

Section 9.5b.1(f): Carriage House Regulations

To vary the upper floor area of a carriage house from 75% of the carriage house footprint to 87% proposed.

Section 9.5b.1(g): Carriage House Regulations

To vary the maximum height for a carriage house from 4.8m required to 8.05m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of (Council date if applicable, or Community Planning Department Manager) approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

3. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

4. APPROVALS

Issued and approved by Council on the 21st day of November 2017

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

The PERMIT HOLDER is the CURRENT LAND OWNER.

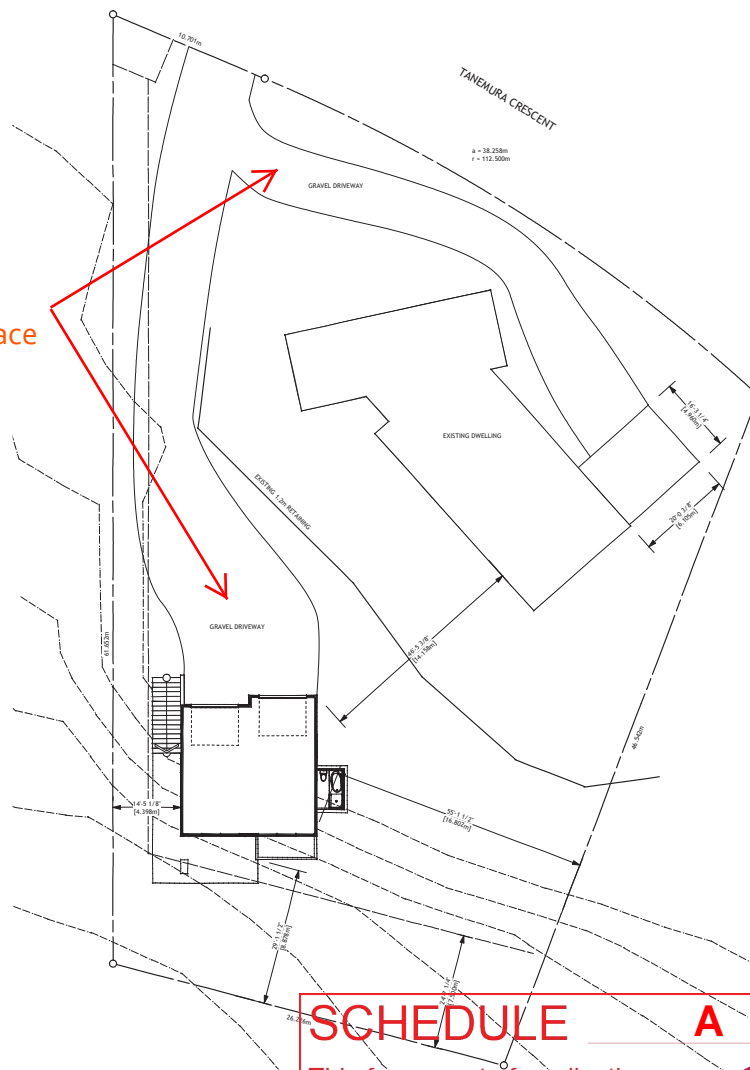
PROJECT DATA: CIVIC ADDRESS
 LEGAL ADDRESS
 CURRENT ZONING
 PROPOSED ZONING
 FUTURE LAND USE

1373 TANEMURA CRESCENT
 KELOWNA, BC V1P 1R5
 LOT 1 PLAN KAP86150
 RU1C - LARGE LOT HOUSING
 RU1C - LARGE LOT HOUSING WITH CARRIAGE HOUSE
 S2RES - SINGLE/TWO FAMILY RESIDENTIAL

ZONING ANALYSIS

	RU1-C ZONE STANDARDS	PROPOSED
SITE AREA	550.00m ²	1970.00m ²
EXISTING BUILDING FOOTPRINT AT GRADE		228.71m ²
EXISTING BUILDING TOTAL FINISHED FLOOR AREA		199.23m ²
PROPOSED CARRIAGE HOUSE FOOTPRINT		89.86m ²
PROPOSED CARRIAGE HOUSE FINISHED FLOOR AREA		89.86m ²
PROPOSED CARRIAGE COVERED PATIO		11.90m ²
PROPOSED DRIVEWAY AREA (CONCRETE)		0.00m ²
ACCESSORY BUILDING SITE COVERAGE	14%	5.2%
SUITE AREA TO MAIN DWELLING AREA	75%	45.1%
SITE COVERAGE	40.0%	16.8%
SITE COVERAGE INCLUDING HARD SURFACES	50.0%	16.8%
BUILDING HEIGHT OF EXISTING HOUSE	9.5m/2 1/2 STOREYS	6.870m/1 1/2 STOREYS
BUILDING HEIGHT OF PROPOSED CARRIAGE HOUSE	4.8m/1 1/2 STOREYS	4.693m/1 STOREY
PEAK OF CARRIAGE HOUSE ROOF		4.693m
PEAK OF EXISTING DWELLING ROOF		7.921m
PARKING STALLS PROVIDED	3	4
PRIVATE OPEN SPACE CARRIAGE HOUSE	30.00m ²	60.00m ²
SETBACK TO PRINCIPLE BUILDING	3.000m	14.158m
REAR (SOUTH) YARD SETBACK	2.000m	8.878m
SIDE (EAST) YARD SETBACK	2.000m	16.802m
SIDE (WEST) YARD SETBACK	2.000m	4.398m
1 IN 200 YEAR FLOOD CONSTRUCTION LEVEL	343.660m	575.000m

Hard, dust-free surface



SCHEDULE A

This forms part of application
 # DVP17-0131

Planner
 Initials

EW

City of
Kelowna
 COMMUNITY PLANNING



IHS DESIGN
 1392 MINE HILL DRIVE
 KELOWNA, BC V1P 1S5
 www.ihsdesign.com
 (250) 212-7938

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF IHS DESIGN AND MAY NOT BE REPRODUCED OR USED WITHOUT EXPRESSED WRITTEN PERMISSION FROM THE SAME.



REVISION	DATE	DISCUSSION

PROJECT
 CARRIAGE HOUSE DEVELOPMENT
 1373 TANEMURA CRESCENT
 KELOWNA, BC V1P 1R5
 LOT 1 PLAN KAP86150

DRAWING TITLE
 SITE PLAN

DATE
 APRIL 26, 2017

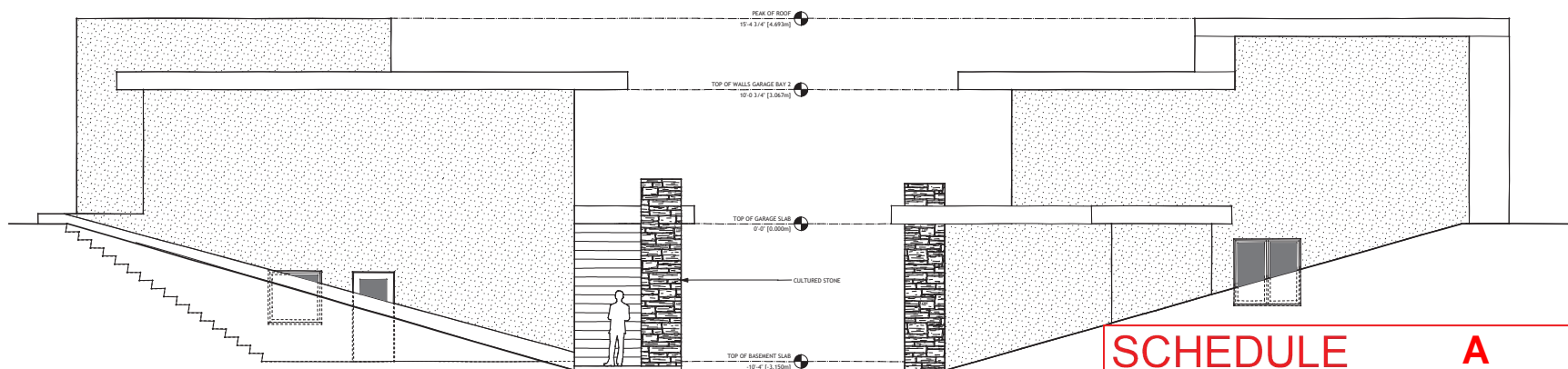
DRAWING NUMBER
 1
 of
 4



1 NORTH ELEVATION
Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



3 WEST ELEVATION
Scale: 1/4" = 1'-0"

4 EAST ELEVATION
Scale: 1/4" = 1'-0"



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PROJECT NORTH

REVISION	DATE	DESCRIPTION

PROJECT
CARRIAGE HOUSE DEVELOPMENT
1373 TANEMURA CRESCENT
KELOWNA, BC V1P 1R5
LOT 1 PLAN KAP86150

DRAWING TITLE
ELEVATIONS

DATE
APRIL 26, 2017

DRAWING NUMBER
2
of
4

SCHEDULE A

This forms part of application
DVP17-0131

Planner
Initials

EW

**City of
Kelowna**
COMMUNITY PLANNING

CITY OF KELOWNA

BYLAW NO. 11433

Official Community Plan Amendment No. OCP17-0010 1350 & 1370 KLO Road

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of:
 - a) Lot 15, District Lot 131, ODYD, Plan 10710 Except Plan KAP79079 located on KLO Road, Kelowna, B.C., from the S2RES – Single /Two Unit Residential designation to the MRM – Multiple Unit Residential (Medium Density) designation; and
 - b) a portion of Lot 1 District Lot 131 ODYD Plan 27982 Except Plan KAP57931, located on KLO Road, Kelowna, B.C., from the EDINST – Educational/Major Institutional designation to the Major Park/Open Space (public) (PARK) and MRM – Multiple Unit Residential (Medium Density) designation as per Map A attached to and forming part of this bylaw.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 26th day of June, 2017.

Amended at first reading by the Municipal Council this 10th day of July, 2017.

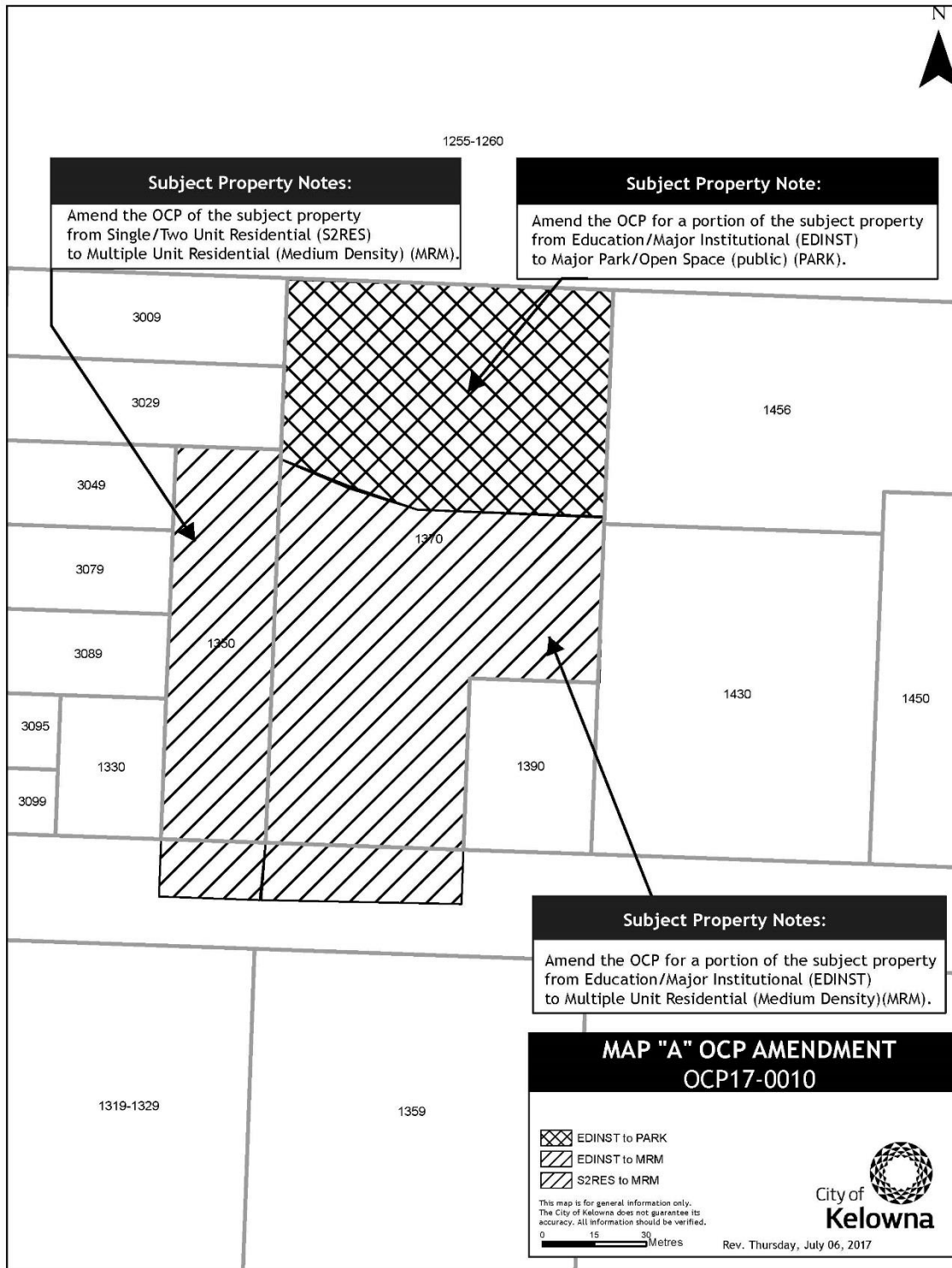
Considered at a Public Hearing on the 25th day of July, 2017.

Read a second and third time by the Municipal Council this 25th day of July, 2017.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



CITY OF KELOWNA
BYLAW NO. 11434
Z17-0026– 1350 & 1370 KLO Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of:
 - a) Lot 15, District Lot 131, ODYD, Plan 10710 Except Plan KAP79079 located on KLO Road, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the RM5 – Medium Density Multiple Housing zone; and
 - b) A portion of Lot 1 District Lot 131 ODYD Plan 27982 Except Plan KAP57931, located on KLO Road, Kelowna, B.C., from the P2 – Education and Minor Institutional zone to the P3 – Parks and Open Space zone and RM5 – Medium Density Multiple Housing zone as per Map B attached to and forming part of this bylaw.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 26th day of June, 2017.

Amended at first reading by the Municipal Council this 10th day of July, 2017.

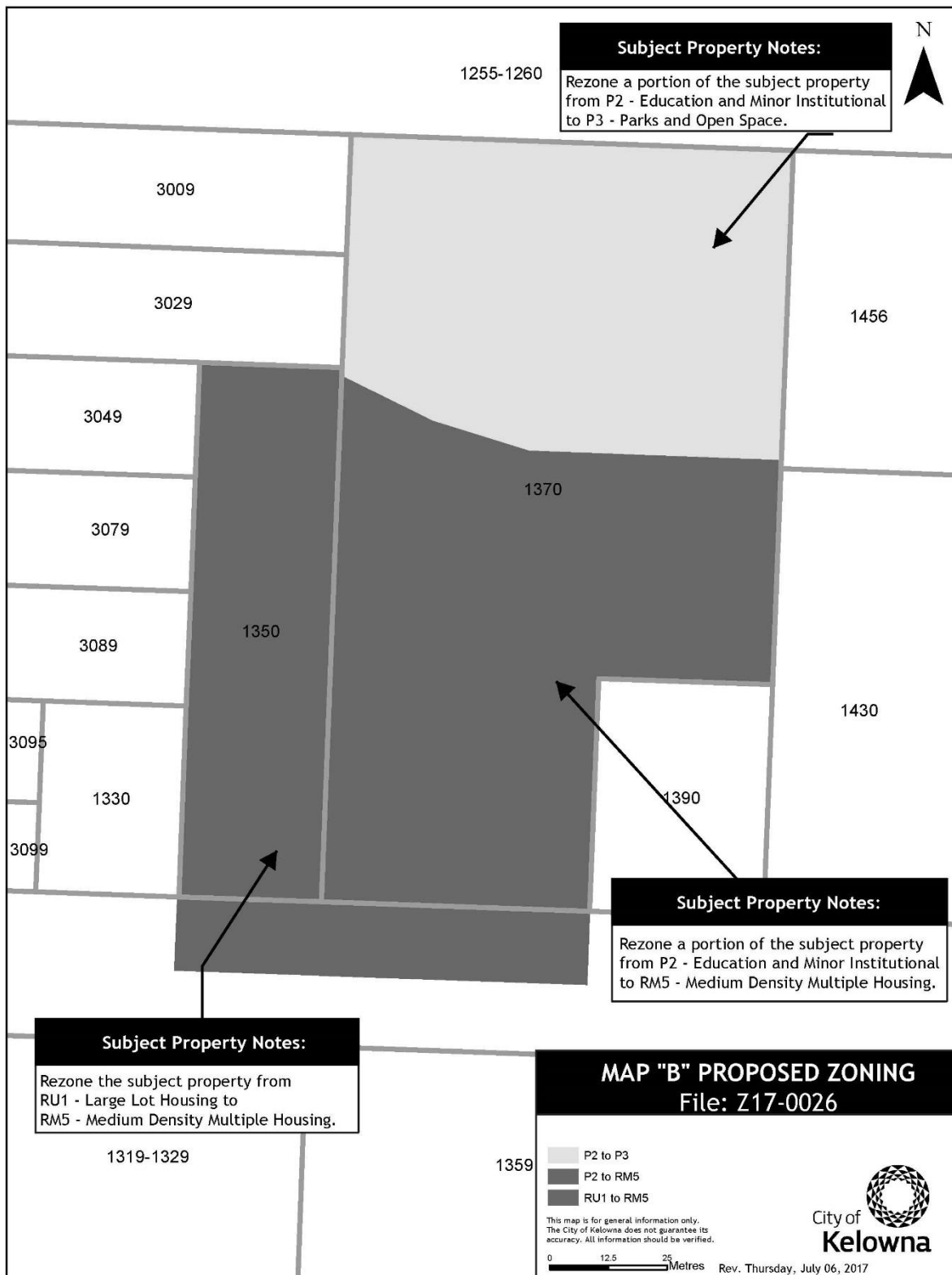
Considered at a Public Hearing on the 25th day of July, 2017.

Read a second and third time by the Municipal Council this 25th day of July, 2017.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



REPORT TO COUNCIL



Date: December 5, 2017

RIM No. 0940-00

To: City Manager

From: Community Planning Department (LK)

Application: DP17-0068 & DVP17-0069 **Owner:** Summerwood Retirement Resort Holding Corporation, INC. No. BC1090350

Address: 1360 KLO Road **Applicant:** Kent-Macpherson

Subject: Development Permit & Development Variance Permit Applications

Existing OCP Designation: S2RES – Single Two /Unit Residential & EDINST – Educational/ Major Institutional

Proposed OCP Designation: MRM – Multiple Unit Residential (Medium Density) & PARK – Major Park/Open Space (Public)

Existing Zone: RU1 – Large Lot Housing & P2 – Education and Minor Institutional

Proposed Zone: RM5 – Medium Density Multiple Housing & P3 – Parks and Open Space

1.0 Recommendation

THAT final adoption of OCP Bylaw No. 11433 and Rezoning Bylaw No. 11434 be considered by Council;
AND THAT Council authorizes the issuance of Development Permit No. DP17-0068 for Lot A District Lot 131 ODYD Plan EPP76548, located at 1360 KLO Road, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0069 for Lot A District Lot 131 ODYD Plan EPP76548, located at 1360 KLO Road, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 13.11.6(c): RM5– Medium Density Multiple Housing Development Regulations

To vary the required maximum height from 4.5 storeys permitted to 5 storeys proposed;

Section 13.11.6(e): RM5– Medium Density Multiple Housing Development Regulations

To vary the required minimum side yard for portions of a building in excess of 2.5 storeys from 7.0 m permitted to 4.5 m proposed.

AND THAT Council's consideration of this Development Permit and Development Variance Permit be considered subsequent to the outstanding conditions of approval as set out in Attachment "A" attached to the Report from the Community Planning Department dated (insert date);

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider the form and character and two variances to facilitate the development of supportive housing on the subject property.

3.0 Community Planning

Community Planning staff supports the proposed 154 self-contained units for a supportive housing project on the subject 1.70 ha (4.2 ac) parcel. The application meets the Official Community Plan (OCP) Urban Design Guidelines and the design is appropriate for the context of the site. The neighbourhood has existing multi-residential developments, with the most recent currently under construction at 1459 KLO Road (DP16-0124) and 3090 Burtch Road (DP15-0294). The proposal also meets OCP objective of providing a core housing need to allow seniors to age in place and it meets all but two of the Zoning Bylaw Regulations for RM5 – Medium Density Multiple Housing.

In exchange for allowing the density associated with the supportive housing project, the applicant will be protecting a significant environmental feature at the rear of the property (a remnant woodland and creek channel) by rezoning a portion of the property to P3 -Parks and Open Space and further protecting the area with a covenant.

The property is within the Permanent Growth Boundary in the South Pandosy/ KLO sector of Kelowna on KLO Road between Gordon Drive and Benvoulin Road. To the east of the property are the offices for RDCO and the Okanagan Regional Library.

Council Policy No. 367 with respect to public consultation was undertaken by the applicant and all neighbours within a 50m radius of the subject parcel.

4.0 Proposal

4.1 Project Description

The developer's proposal of supportive housing includes 154 self-contained dwelling units which vary in size from a bachelor suite (under 500 square feet) up to 2-bedroom + den units (approx. 1300 square feet). Most units have balconies which provide a private outdoor amenity space, along with a common kitchen, dining area, and many lifestyle amenities provided on site. Some of the amenities included are: a theatre, a chapel, a fitness room and salon. The development provides multiple rooms focused towards occupants varied interests including a dance hall, sports lounge, wood workshop, crafts room, cards/games room and a library & computer room.

The site provides 137 parking stalls, with 48 stalls in the underground parkade, 76 at-grade stalls (23 within a carport and 53 at-grade open air stalls). The parkade also provides a storage room dedicated to scooters and residents bike storage. There are also an additional 16 Class II bike racks located near the main entry for visitors to the site.

Variances

The proposed development would require two variances. The first variance is to increase the maximum building height by half a storey from 4.5 storeys to 5 storeys. The increase of half a storey applies to the central portion of the building only. This area is well setback from the side property lines and is separated from the adjacent parcels to the rear by the natural area behind the proposed building.



Figure 1 – The red arrows indicate the extent of the requested height variance from 4.5 storeys to 5 storeys for the central portion of the building

The second variance is to reduce the east side setback for portions of a building over 2 ½ storeys from 7.0 m required to 4.5 m proposed. The project has been designed such that in the future, should the property located at 1390 KLO Road (outlined in blue) become available, the proposed development could extend the building south towards KLO Road. In the meantime, the applicant is requesting a variance to reduce the side setback, for that portion of the property line which is shared with the rear of the 1390 KLO Road property. The area of the variance is indicated in red.

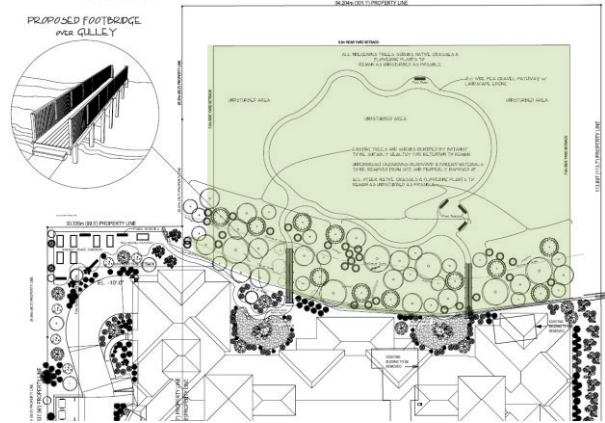


Figure 1 – The area noted in red indicates the requested side setback variance from 7.0 m required to 4.5 m proposed.

Environmentally Sensitive Area (ESA)

The collective area of both subject parcels is 1.70 ha (17,005.0 m²). The northern portion of the site, approximately 0.56 ha (5,666 m²), is an Environmentally Sensitive Area (ESA) which have been protected through the registration on title of a 'no build/ no disturb' covenant. A detailed Environmental Impact Assessment was required as part of the Natural Environment Development Permit. It set the terms and conditions to adequately protect the ESA and will allow limited construction in order to provide a pathway and benches throughout this area so it may be utilized and enjoyed by the residents. The Environmental Development Permit will also remove invasive plant material and include restoration plantings to further enhance the ecology of the ESA.

The parcels have an existing irrigation channel running across the north portion of the parcel. This channel is a remnant woodland and creek channel which has a number of red listed plants (this includes plants which are either endangered or threatened). The area is an open green space and also includes several species of birds.

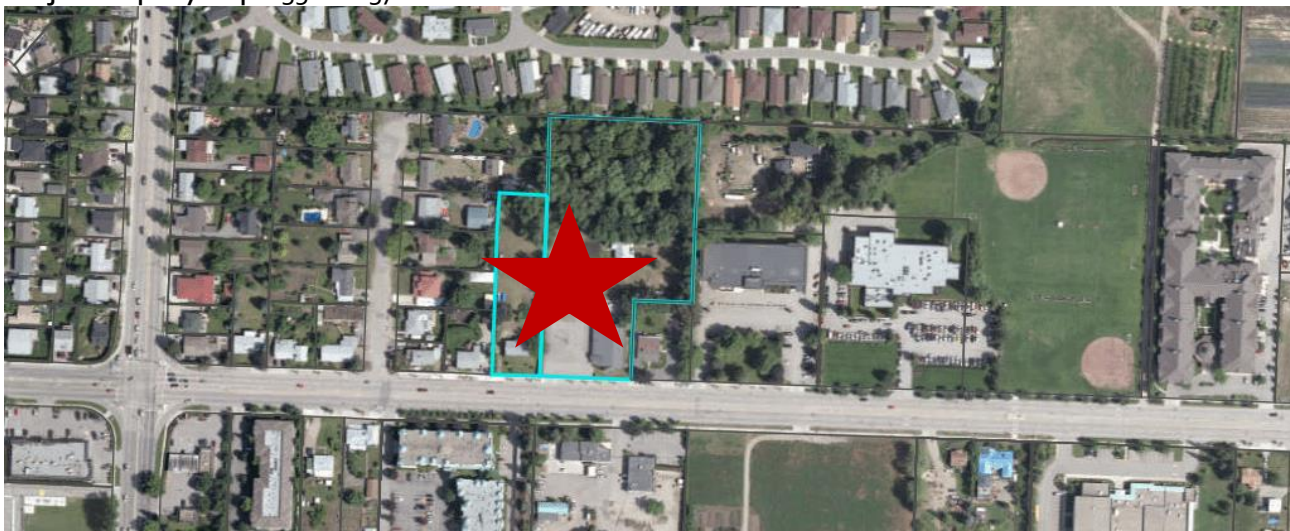


4.2 Site Context

The subject parcels are 1.70 ha (17,005.0 m²) in area and are located between Gordon Drive and Benvoulin Boulevard on the north side of KLO Road. The parcels are within the Permanent Growth Boundary and are in the South Pandosy- KLO sector of Kelowna. The north 0.56 ha portion of the parcels are within an environmentally sensitive area.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing RM7 – Mobile Home Park	Single Dwelling Homes Mobile Home Park
East	P1 – Major Institutional P4 - Utilities	Okanagan Regional Library RDCO Offices
South	P4 – Utilities RM4 – Transitional Low Density Housing	City of Kelowna Parks Offices Multiple Dwelling Housing
West	RU1 – Large Lot Housing	Single Dwelling Homes

Subject Property Map: 1350 & 1370 KLO Road**4.3 Zoning Analysis Table**

Zoning Analysis Table		
CRITERIA	RM4 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	1400 m ²	17,005 m ²
Lot Width	30 m	87 m
Lot Depth	35 m	+163 m
Development Regulations		
Floor Area Ratio	1.1	0.65
Height	4.5 storeys/ 18 m	5.0 storeys/ 17.5 m ❶
Front Yard	6.0 m	14.97 m
Side Yard (west)	7.0 m	20.40 m
Side Yard (east)	7.0 m	4.75 m ❷
Rear Yard	9.0 m	10.9 m
Other Regulations		
Minimum Parking Requirements	77 stalls	137 stalls
Bicycle Parking	77 bicycle stalls	118 bicycle stalls
Private Open Space	2670 m ²	3947 m ²
❶ Indicates a requested variance to increase the maximum building height from 4.5 storeys to 5 storeys proposed. ❷ Indicates a requested variance to the east side setback from 7.0 m required to 4.75 m proposed.		

5.0 Current Development Policies**5.1 Kelowna Official Community Plan (OCP)****Development Process**

Environmentally Sensitive Area Linkages. ¹ Ensure that development activity does not compromise the ecological function of environmentally sensitive areas and maintains the integrity of plant and wildlife corridors.

¹ City of Kelowna Official Community Plan, Policy 5.39.2 (Development Process Chapter).

Housing Availability.² Support the provision of housing for all members of the community, including those in core housing need or requiring special needs housing (transitional, age in place, emergency or shelter).

Comprehensive Development Permit Area Objectives.³

- Convey a strong sense of authenticity through urban design that is distinctive for Kelowna;
- Promote a high urban design standard and quality of construction for future development that is coordinated with existing structures;
- Integrate new development with existing site conditions and preserve the character amenities of the surrounding area;
- Promote interesting, pedestrian friendly streetscape design and pedestrian linkages;
- Provide for a scale and massing of commercial buildings that promotes a safe, enjoyable living, pedestrian, working, shopping and service experience.

Technical Comments

5.2 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s).
- Demolition Permit required for any existing structures.
- Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- HPO (Home Protection Office) approval or release is required at time of Building Permit application.
- A Hoarding permit is required and protection of the public from the staging area and the new building area during construction. Location of the staging area and location of any cranes should be established at time of DP.
- A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - Any alternative solution must be accepted by the Chief Building Inspector prior to the release of the Building Permit
 - Location, Heights, Colours of mechanical systems and the required screening are to be determined at time of DP
 - Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - Handicap Accessibility to the main floor levels to be provided, ramps may be required.
 - Access to the roofs are required per NFPA and guard rails may be required and should be reflected in the plans if required
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. If a soil removal or deposit permit is required, this must be requested at time of Development Permit application.
- We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent properties is a civil action which does not involve the city directly. The items of potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, undermining & underpinning of

² City of Kelowna Official Community Plan, Policy 10.3.1 (Social Sustainability Chapter).

³ City of Kelowna Official Community Plan, Objectives 14.2 (Urban Design Development Permit Areas Chapter).

existing foundation, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work, water infiltration systems, dewatering, etc.

- An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units and all corridors, number of required exits per area, door swing direction, handrails on each side of exit stairs, width of exits, spatial calculation for any windows in exit stairs, etc.
- Fire resistance ratings are required for storage, janitor and/or garbage enclosure room(s) / area(s). The drawings submitted for building permit is to clearly identify how this rating will be achieved and where these area(s) are located.
- Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

5.3 Development Engineering Department

- Refer to Attachment A.

5.4 Regional District of Central Okanagan

- Regional District staff is supportive of the Applicant's proposal to retain the existing trees and shrubs at the north end of the subject property. The forested area on the subject property has historically and will continue to provide valuable habitat for wildlife and provide a vegetative buffer along the shared property line with the Regional District Parks Services' works yard compound.

5.5 Fire Department

- Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required. Template at Kelowna.ca
- ensure appropriate fire flow as per the subdivision bylaw -150 L/Sec required. Should additional hydrants be required on this property, they shall be deemed private.
- A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD.
- Fire Department access is to be met as per BCBC 3.2.5.
- Approved Fire Department steel lock box acceptable to the fire dept. is required by the fire dept. entrance and shall be flush mounted.
- All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met for communications.
- Fire alarm system is to be monitored by an agency meeting the CAN/ULC S561 Standard.
- Contact Fire Prevention Branch for fire extinguisher requirements and placement.
- Fire department connection is to be within 45M of a fire hydrant - unobstructed.
- Ensure FD connection is clearly marked and visible from the street.
- Sprinkler zone valves shall be accessible as per fire prevention bylaw (10760) - less than 7 feet in height.
- Standpipe connections to be on intermediate landings in stairwell.

- Dumpster/refuse container must be 3 meters from structures or overhangs or in a rated room in the parking garage.
- Upon completion an owners certificate and copy of NFPA 25 shall be provided for the sprinkler system.
- Upon completion, a certificate is required to verify CANULC 561 Compliance.

5.6 Interior Health Authority

- This development if approved will provide up to 154 units for independent seniors living. This location is adjacent to a number of amenities that will allow residents to use active transportation as a mean to obtain the recommended 30 minutes/day of physical activity including;
 - Within 400m of a transit stop
 - Within 400m of an open green space
- This development will provide much needed senior housing and addresses one of the ten goals within the OCP to help create a variety of housing options.

5.7 FortisBC Inc.

- There are FortisBC Inc (Electric) ("FBC(E)") primary distribution facilities along KLO Road. Based on the plans previously submitted under DVP17-0069, it is unclear whether adequate space has been provided to accommodate the transformation required to service the proposed development. It is recommended that FBC(E) be contacted as soon as possible to determine servicing and land rights requirements for the proposed building design. The applicant is responsible for costs associated with changes to the proposed lots' existing service, if any, as well as the provision of appropriate land rights where required.
- For more information, please refer to FBC(E)'s overhead and underground design requirements:
- FortisBC Overhead Design Requirements: <http://fortisbc.com/ServiceMeterGuide>
- FortisBC Underground Design Specification: <http://www.fortisbc.com/InstallGuide>
- In order to initiate the design process, the customer must call 1-866-4FORTIS (1-866-436-7847). Please have the following information available in order for FBC(E) to set up the file when you call.
 - Electrician's Name and Phone number
 - FortisBC Total Connected Load Form
 - Other technical information relative to electrical servicing

6.o Application Chronology

Date of Application Received: March 21, 2017

Date Public Consultation Completed: April 27, 2017

Report prepared by: Lydia Korolchuk, Planner

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Attachment A: Development Engineering Memorandum

Schedule A: Site Plan & Floor Plans

Schedule B: Proposed Renderings

Schedule C: Landscape Drawings



CITY OF KELOWNA
MEMORANDUM

Date: June 6, 2017
File No.: Z17-0026

To: Community Planning (LK)

From: Development Engineering Manager(SM)

Subject: 1350 – 1370 KLO Road

RM5

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Jason Angus.

1. Domestic Water and Fire Protection

- (a) The development site is presently serviced with a small diameter (19-mm) water service. The developer's consulting mechanical engineer will determine the domestic, fire protection requirements of this proposed development and establish hydrant requirements and service needs. Only one service will be permitted for this development. The estimated cost of this construction for bonding purposes is **\$20,000.00**
- (b) A water meter is mandatory for this development and must be installed inside a building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost.
- (c) An approved backflow protection device must also be installed on site as required by the City Plumbing Regulation and Water Regulation bylaws.

2. Sanitary Sewer

- (a) The development site is presently serviced with a 100mm-diameter sanitary sewer service. Only one service will be permitted for this development. The developer's consulting mechanical engineer will determine the servicing requirements of this proposed development. The estimated cost of this construction for bonding purposes is **\$8,000.00**
- (b) The downstream 250mm diameter sanitary sewer main in KLO Road (between Gordon Drive and Lowe Court) is limited in capacity. A flow analysis check is required by the developer's civil engineering consultant. If it is determined that upgrades to the main are required, the estimated cost to upgrade this section of main for bonding purposes is **\$100,000.00**

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.
- (b) Only one service will be permitted for this development. The applicant, at their cost, will arrange the installation of one overflow service. The estimated cost of this construction for bonding purposes is **\$12,000.00**

4. Road Improvements

- (a) KLO Road fronting this development has been urbanized. The existing driveway let-downs must be removed and replaced with barrier curb & gutter. The existing two way left turn lane must be upgraded to an all movement exclusive left turn lane cross section including concrete medians to be aligned with the access to 1359 KLO Road. The boulevard full frontage is landscaped complete with street trees. The estimated cost of this construction for bonding purposes is **\$60,000.00**

6. Subdivision

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) Lot consolidation.
- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

7. Electric Power and Telecommunication Services

The electrical and telecommunication services to this development must be installed in an underground duct system. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services which would be at the applicant's cost.

8. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the city engineering department for review and marked "issued for construction" by the city engineer before construction may begin.

9. Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.

- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

11. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

12. Bonding and Levy Summary(a) Bonding

Water works	\$20,000.00
Sanitary Service	\$ 8,000.00
Storm Service	\$12,000.00
KLO Rd works	\$60,000.00
Flow analysis and sewer pipe upgrade	
KLO Rd Gordon - Lowe	\$100,000.00
Total Bonding	\$200,000.00

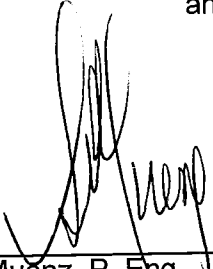
NOTE: The bonding amount shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided and may be in the form of cash or an irrevocable letter of credit, in an approved format.

The owner must also enter into a servicing agreement in a form provided by the City.

12. Development Permit and Site Related Issues

Access and Manoeuvrability

- (i) One site access for the development to KLO Rd is permitted and must be located opposite the access to 1359 KLO Road.
- (ii)
- (iii) The site plan should illustrate the ability of an MSU standard size vehicle to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles, the site plan should be modified and illustrated accordingly.
- (iv) Indicate on the site, the locations of loading bays as well as the garbage and recycle bins.



 Steve Muenz, P. Eng.
 Development Engineering Manager
 SS



CITY OF KELOWNA

Planner
Initials

LK

City of
Kelowna
COMMUNITY PLANNING

MEMORANDUM

Date: June 5, 2017
File No.: OCP17-0010
To: Community Planning (LK)
From: Development Engineering Manager (SM)
Subject: 1350 & 1370 KLO Road

The Development Engineering Branch comments and requirements regarding this OCP amendment application are as follows:

1. **General**

All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z17-0026.

A handwritten signature in black ink, appearing to read 'Steve Muenz', written over a horizontal line.

Steve Muenz, P.Eng.
Development Engineering Manager

SS



CITY OF KELOWNA

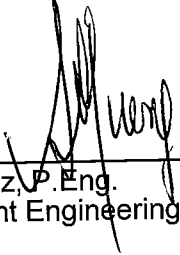
MEMORANDUM

Date: June 5, 2017
File No.: DP17-0068
To: Community Planning (Lk)
From: Development Engineer Manager (SM)
Subject: 1350 & 1370 KLO Road

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. **General.**

- a) All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z17-0026.



Steve Muenz, P. Eng.
Development Engineering Manager

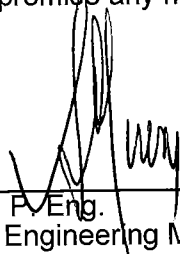
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**CITY OF KELOWNA****MEMORANDUM**

Date: June 5, 2017
File No.: DVP17-0069
To: Community Planning (LK)
From: Development Engineer Manager (SM)
Subject: 1350 & 1370 KLO Road

The Development Engineering comments and requirements regarding this DVP application are as follows:

This development variance permit application to vary the building height and side yard setback does not compromise any municipal services.



Steve Muenz, P.Eng.
Development Engineering Manager

SS

SUMMERWOOD RETIREMENT RESORT

OCP AMENDMENT, REZONING & DEVELOPMENT PERMIT SET

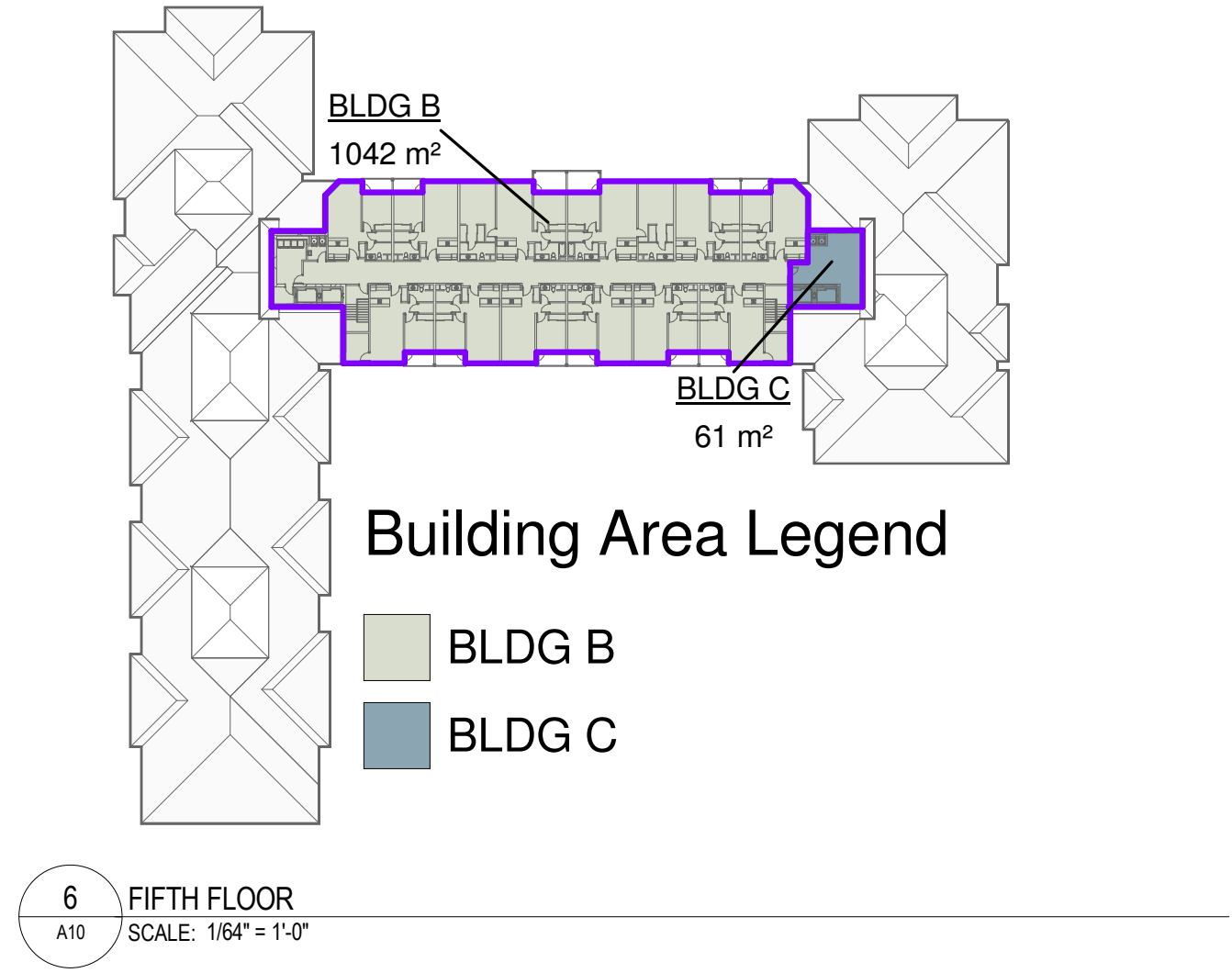
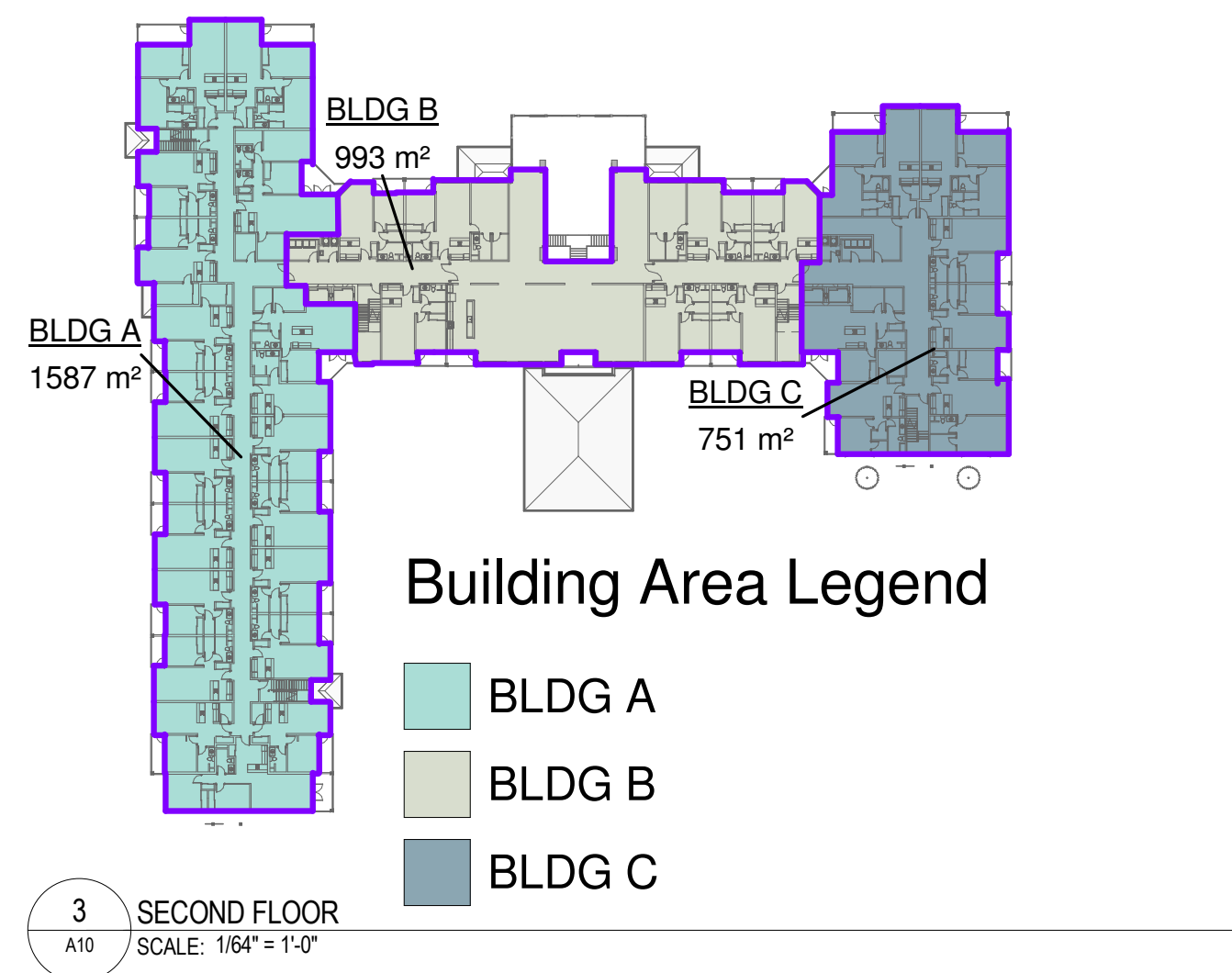
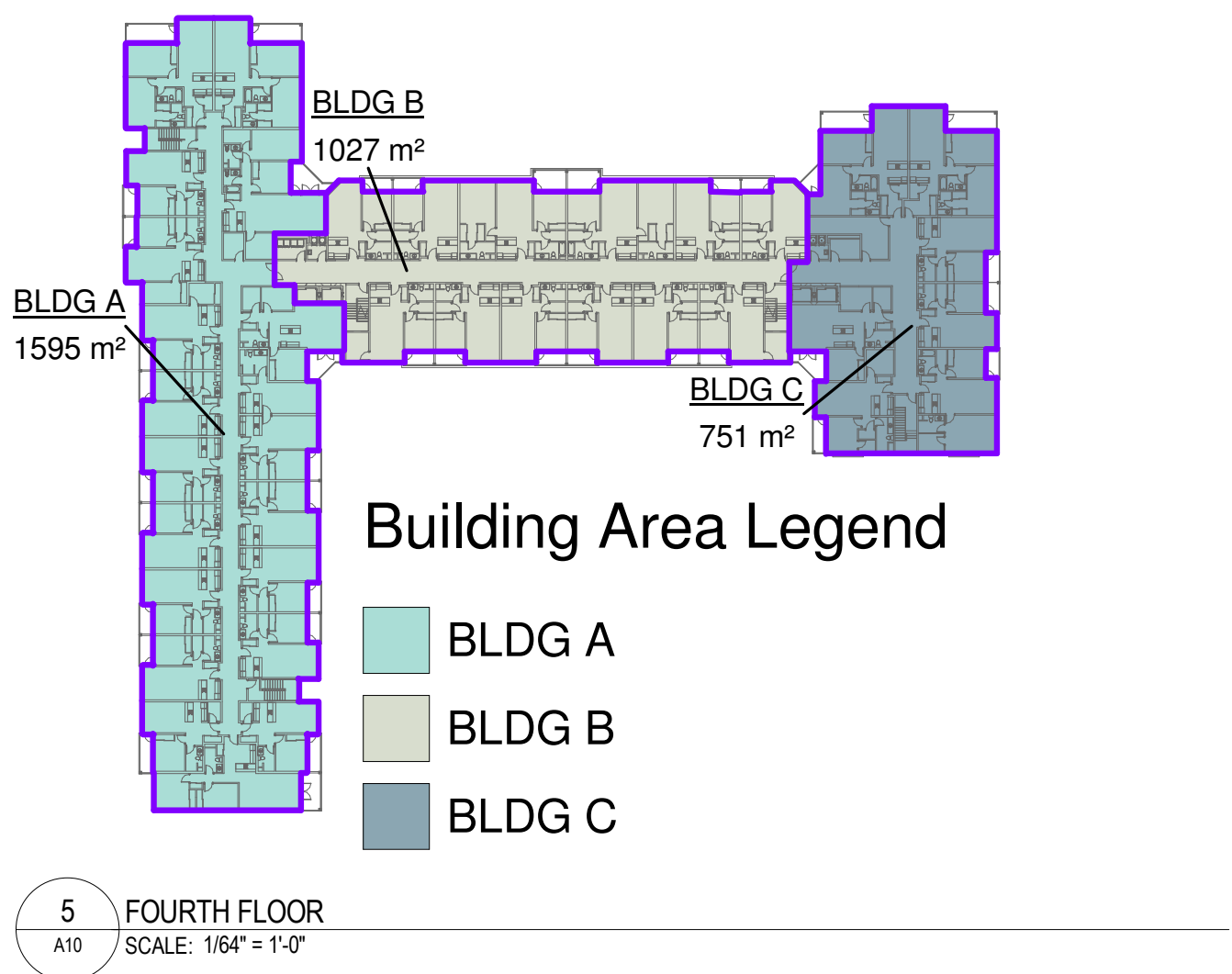
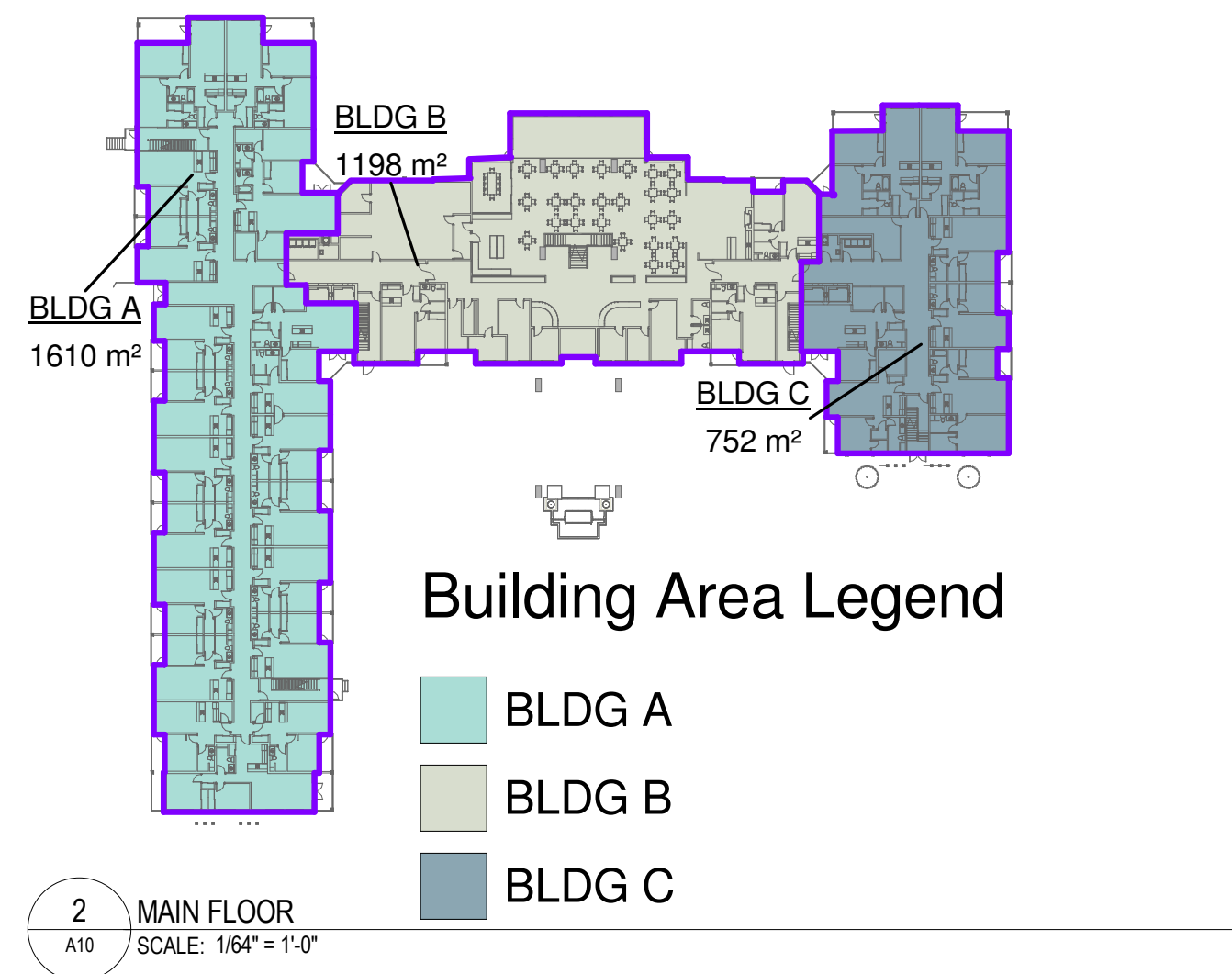
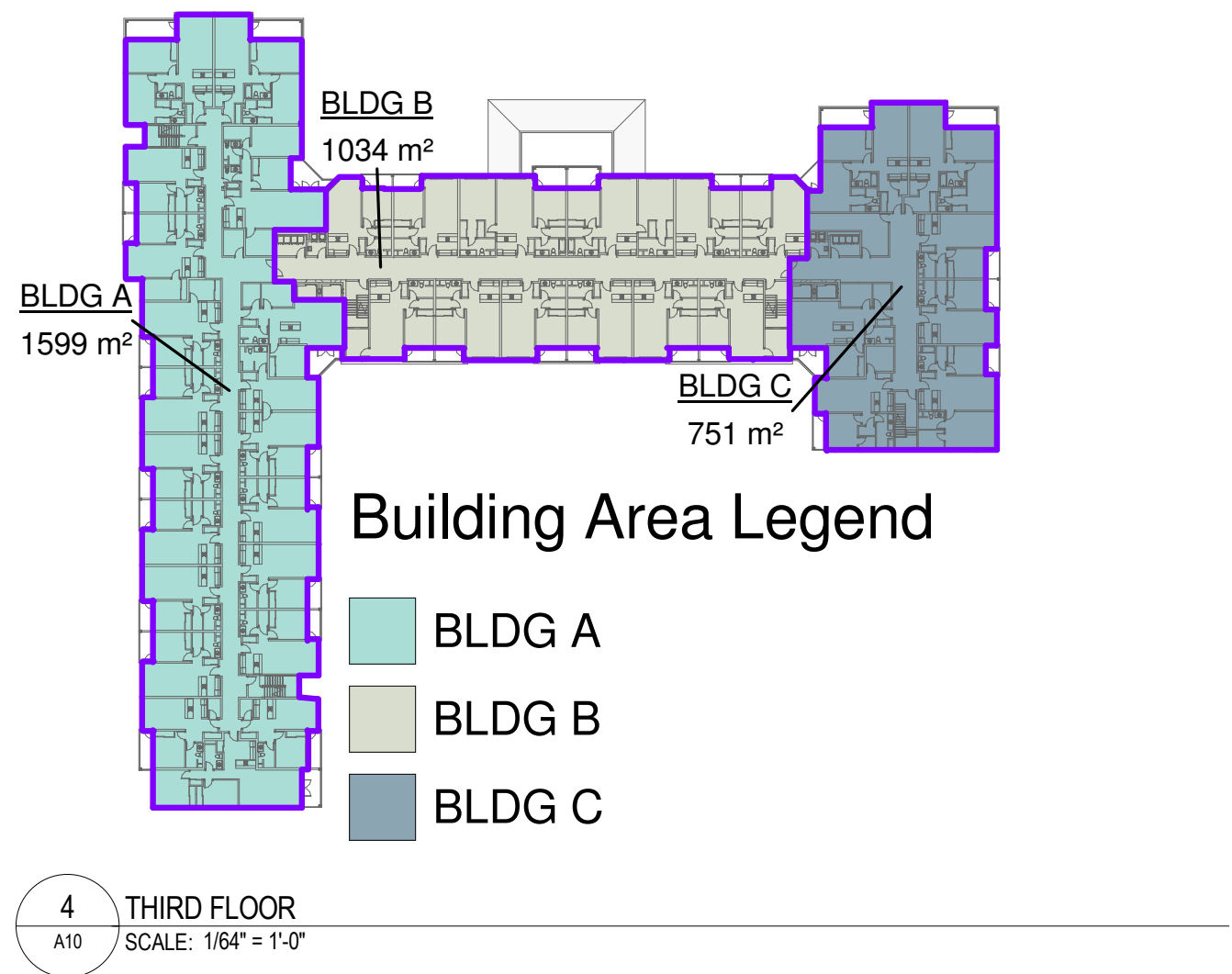
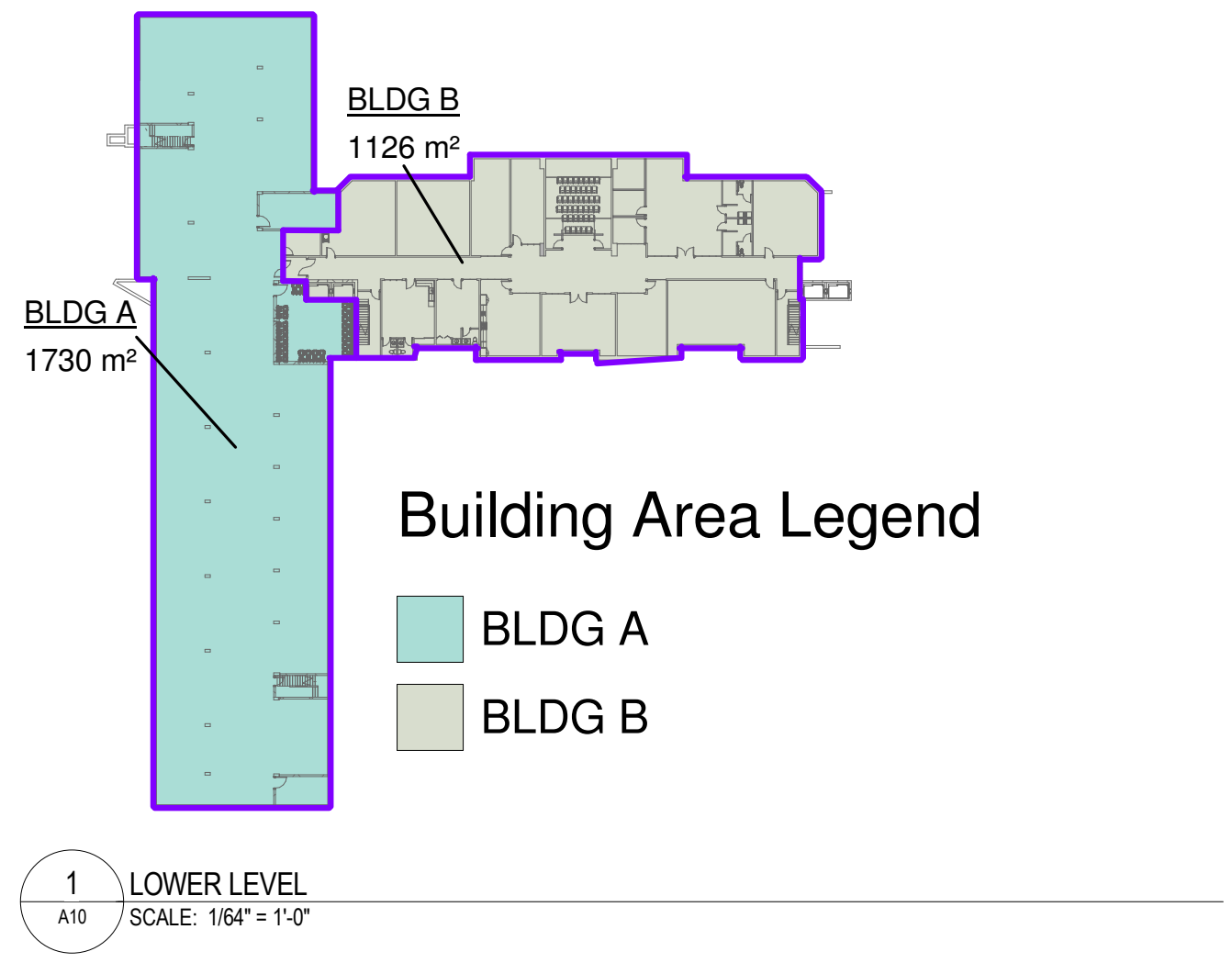


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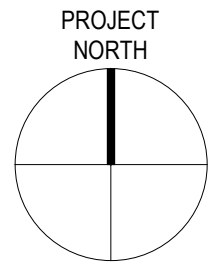
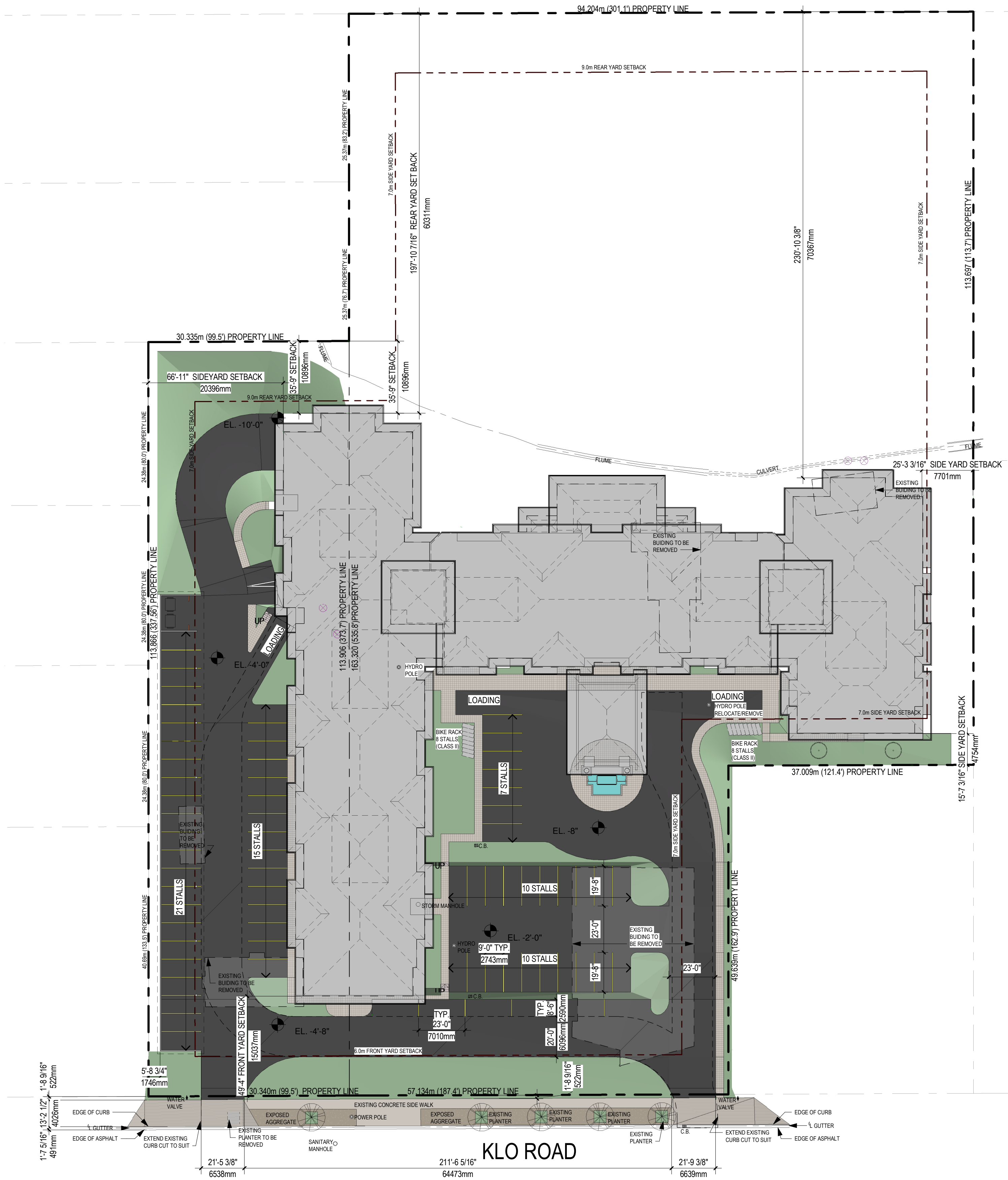
A0	TITLE PAGE
A1	PROJECT SUMMARY
A2	SITE PLAN
A3	LOWER LEVEL
A4	MAIN FLOOR PLAN
A5	SECOND FLOOR PLAN
A6	THIRD FLOOR PLAN
A7	FOURTH FLOOR PLAN
A8	FIFTH FLOOR PLAN
A9	ROOF PLAN
A10	ELEVATIONS
A11	ELEVATIONS
A12	PERSPECTIVE

TITLE PAGE

SUMMERWOOD RETIREMENT RESORT
STREET ADDRESS: 1350 & 1370 KLO ROAD, KELOWNA, BC
LEGAL ADDRESS: PLAN # 1070, LOT 15, EXCEPT KAP 79079 & PLAN # 27982, LOT #1, EXCEPT 57931



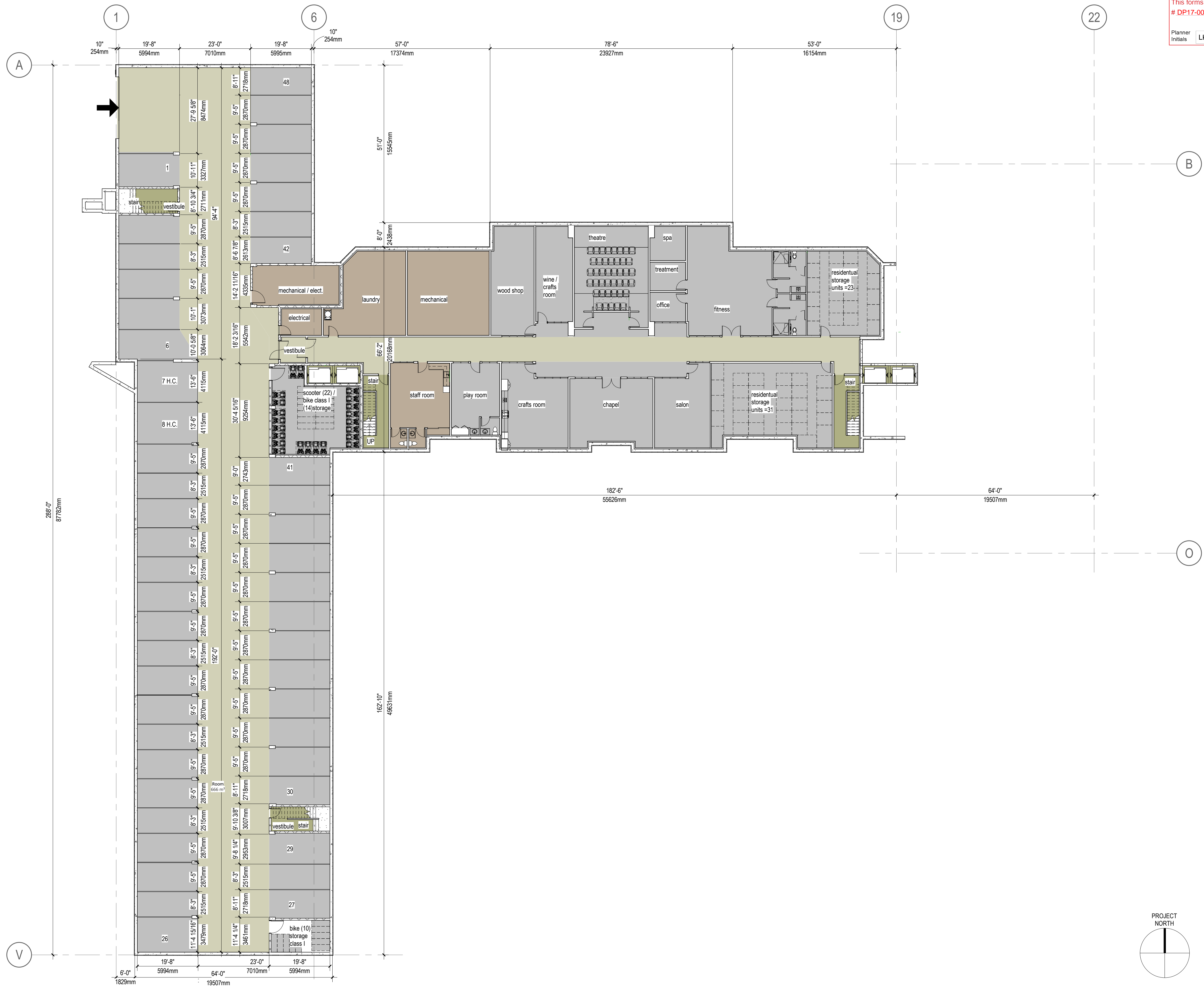
AREA SCHEDULE (GROSS BUILDING)		
LEVEL	AREA	
BLDG A		
LOWER LEVEL	1,730 m²	
MAIN FLOOR	1,610 m²	
SECOND FLOOR	1,587 m²	
THIRD FLOOR	1,599 m²	
FOURTH FLOOR	1,595 m²	
FIFTH FLOOR	61 m²	
BLDG B		
LOWER LEVEL	1,126 m²	
MAIN FLOOR	1,198 m²	
SECOND FLOOR	993 m²	
THIRD FLOOR	1,034 m²	
FOURTH FLOOR	1,027 m²	
FIFTH FLOOR	1,042 m²	
BLDG C		
MAIN FLOOR	752 m²	
SECOND FLOOR	751 m²	
THIRD FLOOR	751 m²	
FOURTH FLOOR	751 m²	
FIFTH FLOOR	61 m²	
TOTAL	17,608 m²	
SUITE COUNT BY LEVEL		
SUITE TYPE	NO.	
MAIN FLOOR		
1 BEDROOM	19	
1 BEDROOM + DEN	3	
2 BEDROOM	6	
2 BEDROOM + DEN	1	
STUDIO	1	
TOTAL	30	
SECOND FLOOR		
1 BEDROOM	19	
1 BEDROOM + DEN	4	
2 BEDROOM	9	
2 BEDROOM + DEN	1	
STUDIO	1	
TOTAL	34	
THIRD FLOOR		
1 BEDROOM	22	
1 BEDROOM + DEN	6	
2 BEDROOM	9	
2 BEDROOM + DEN	1	
STUDIO	1	
TOTAL	39	
FOURTH FLOOR		
1 BEDROOM	22	
1 BEDROOM + DEN	6	
2 BEDROOM	9	
2 BEDROOM + DEN	1	
STUDIO	1	
TOTAL	39	
FIFTH FLOOR		
1 BEDROOM	8	
1 BEDROOM + DEN	2	
2 BEDROOM	2	
TOTAL	12	
TOTAL	154	
TOTAL SUITE COUNT		
SUITE TYPE	NO.	%
1 BEDROOM	90	58%
1 BEDROOM + DEN	21	14%
2 BEDROOM	35	23%
2 BEDROOM + DEN	4	3%
STUDIO	4	3%
TOTAL	154	100%



SITE PLAN
SUMMERWOOD RETIREMENT RESORT
STREET ADDRESS: 1350 & 1370 KLO ROAD, KELOWNA, BC
LEGAL ADDRESS: PLAN # 1070, LOT 15, EXCEPT KAP 79079 & PLAN # 27982, LOT #1, EXCEPT 57931

ITEM	REQUIRED / ALLOWED	PROVIDED
0. EXISTING SITE STATS		
LAND PARCEL # 1		
STREET ADDRESS	1370 KLO ROAD	
LEGAL DISCRIPTION	PLAN # 27982 LOT #1 EXCEPT KAP57931	
EXISTING ZONING	P2	
OFFICIAL COMMUNITY PLAN	EDINS - EDUCATIONAL / INSTITUTIONAL	
AREA	13x556.97 m² (145,926 ft²)	
LAND PARCEL # 2		
STREET ADDRESS	1360 KLO ROAD	
LEGAL DISCRIPTION	PLAN # 1070 LOT # 15 EXCEPT PLAN KAP79079	
EXISTING ZONING	RU1	
OFFICIAL COMMUNITY PLAN	S2 RESIDENTIAL- SINGLE 182 UNIT RESIDENTIAL	
AREA	3,447,922 m² (37,113 ft²)	
1. PROPOSED SITE STATS		
PROPOSED SITE ZONING		RM5
COMBINED LOT AREA		17,004.9 m²
HEIGHT	4.5 STOREYS / (MAX) 18.0 m (58 ft)	5.0 STOREYS / 16 m (53 ft.)
TOTAL DWELLING UNITS		154 UNITS
LOT AREA	(MIN.) 1,400 m² (15069.5 ft²)	17,004.9 m² (183,039.2 ft²)
LOT AREA (NET)	1,400 m² (15069.5 ft²)	17,004.9 m² (183,039.2 ft²)
2. SETBACKS		
FRONT YARD (SOUTH)	6.0m	14.97m
SIDE YARD (SOUTH)	4.5m / 7m (14.76 ft/ 26.0 ft.)	4.75m (15.58 ft.)
SIDE YARD (WEST) CARPORTS	1.5m (4.72 ft.)	1.75m (5.74 ft.)
SIDE YARD (WEST) ≤ 2 1/2 STOREYS	4.5m / 7m (14.76 ft/ 26.0 ft.)	1.75m / 20.40m (5.74 ft./66.93 ft.)
SIDE YARD (EAST) < 2 1/2 STOREYS	4.5m / 7m (14.76 ft/ 26.0 ft.)	7.62m (25 ft.)
SIDE YARD (NORTH)	9.0m (29.53 ft.)	10.90m / (35.76 FT.)
3. LANDSCAPE BUFFERS		
FRONT YARD (SOUTH)	3.0 m (9.84 ft.) - LEVEL 2	5.76m (18.90 ft.)
SIDE YARD (SOUTH)	3.0 m (9.84 ft.) - LEVEL 3	4.75m (15.58 ft.)
SIDE YARD (WEST)	3.0 m (9.84 ft.) - LEVEL 3	1.5m / 4.11m (4.92 ft. / 13.48 ft.)
SIDE YARD (EAST)	3.0 m (9.84 ft.) - LEVEL 3	1.91m to 7.62m (6.27ft/ 25.0 ft.)
REAR YARD (NORTH)	3.0 m - LEVEL 3	10.88m to 60.46m (35.70 ft. / 198.36 ft.)
4. FLOOR SPACE RATIO		
FLOOR AREA RATIO	1.1	< 0.93
LOT AREA (NET)		17,004.9 m² (183,039.2 ft²)
FLOOR AREA (NET)	18,705.39m² (201,343.14 ft²)	15870 m² (170,823.3 ft²)
FLOOR AREA (GROSS)		17,600 m² (189,444.8 ft²)
5. BUILDING SITE COVERAGE		
MAX BUILDING FOOT PRINT (% OF SITE)	(MAX) 40%	23.4%
MAX BUILDING FOOT PRINT AREA	(MAX) 6801.96 m² (73,215.69 ft²)	3,984 m² (40,730.64 ft²)
MAX BUILDING FOOT PRINT & PARKING (% OF SITE)	65%	42.7%
MAX BUILDING FOOT PRINT & PARKING AREA	(MAX) 11053 m² (115,973.5 ft²)	7,277 m² (78,328.98 ft²)
6. PARKING		
ABOVE GROUND PARKING		53 STALLS
CARPORT PARKING		23 STALLS
BELOW GRADE PARKING		46 STALLS
LOADING PARKING SPACES		3 STALLS
HANDICAP PARKING	2 STALLS	2 STALLS
STAFF PARKING	12 STALLS	
SLEEPING AREAS = 193	65 STALLS	
TOTAL PARKING STALLS REQUIRED = 193/3 / PROVIDED	77 STALLS REQUIRED	137 STALLS PROVIDED
7. BICYCLE PARKING		
CLASSIFICATION (CLASS I) 154 UNITS X 0.5	77 BIKE STALLS	24 BIKE STALLS
SCOOTER PARKING C/W RECHARGING OUTLET		22 SCOOTER STALLS
RESIDENTIAL STORAGE LOCKERS		56 STOR. LOCKERS
TOTAL BICYCLE PARKING (CLASS I)	77 BIKE STALLS REQUIRED	± 118 BIKE STORAGE
CLASSIFICATION (CLASS II) 154 UNITS X 0.1	16 BIKE STALLS	16 BIKE STALLS
TOTAL BICYCLE PARKING (CLASS II)	16 BIKE STALLS REQUIRED	16 BIKE STALLS
8. DENSITY		
STUDIO		4 UNITS
1 BEDROOM		111 UNITS
2 BEDROOM		39 UNITS
TOTAL		154 UNITS
10. PRIVET OPEN SPACE		
BACK YARD (NOT INCLUDING SETBACKS)		5232 m²
EXTERIOR DECKS		940 m²
AMENITY SPACE		3007 m²
TOTAL AREA	2670 m²	> 9179 m²

SUITE AREA CHART					
SUITE TYPE	NUMBER OF BEDROOMS	SUITE AREA	NUMBER OF SUITES	TOTAL SUITE AREA	OCCUPANTS
UNIT TYPE A	0	44 m²	4	176 m²	4
UNIT TYPE B	1	58 m²	9	518 m²	9
UNIT TYPE C	1	58 m²	8	463 m²	8
UNIT TYPE D	1	60 m²	62	3721 m²	62
UNIT TYPE D1	1	63 m²	11	689 m²	11
UNIT TYPE E	1.5	68 m²	6	410 m²	6
UNIT TYPE F	1.5	69 m²	3	208 m²	3
UNIT TYPE G	1.5	72 m²	4	289 m²	4
UNIT TYPE H	2	72 m²	3	217 m²	6
UNIT TYPE J	1.5	78 m²	8	621 m²	8
UNIT TYPE K	2	92 m²	4	368 m²	8
UNIT TYPE L	2	97 m²	6	582 m²	12
UNIT TYPE M	2	101 m²	6	606 m²	12
UNIT TYPE N	2	104 m²	16	1667 m²	32
UNIT TYPE P	2.5	119 m²	4	477 m²	8
			154	11001 m²	193
TOTAL STAFF 12				TOTAL NUMBER OF OCCUPANTS = 205	



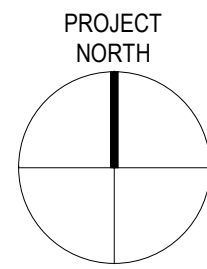
Department Legend

- CIRCULATION
- COMMON
- OPERATIONS SPACE
- VERTICAL CIRCULATION



Department Legend

- CIRCULATION
- COMMON
- OPERATIONS SPACE
- TYPE A - STUDIO + 472 s.f.
- TYPE B - 1BDRM 619 s.f.
- TYPE C - 1BDRM 623 s.f.
- TYPE D1 - 1BDRM 674 s.f.
- TYPE D - 1BDRM 646 s.f.
- TYPE G - 1 BDRM + DEN 778 s.f.
- TYPE J - 1 BDRM + DEN 836 s.f.
- TYPE K - 2 BDRM 985 s.f.
- TYPE L - 2 BDRM 1045 s.f.
- TYPE N - 2 BDRM 1115 s.f.
- TYPE P - 2 BDRM+DEN 1284 s.f.
- VERTICAL CIRCULATION



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ARCHITECTS

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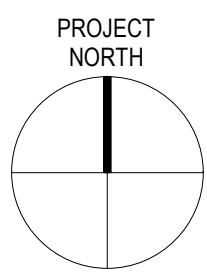
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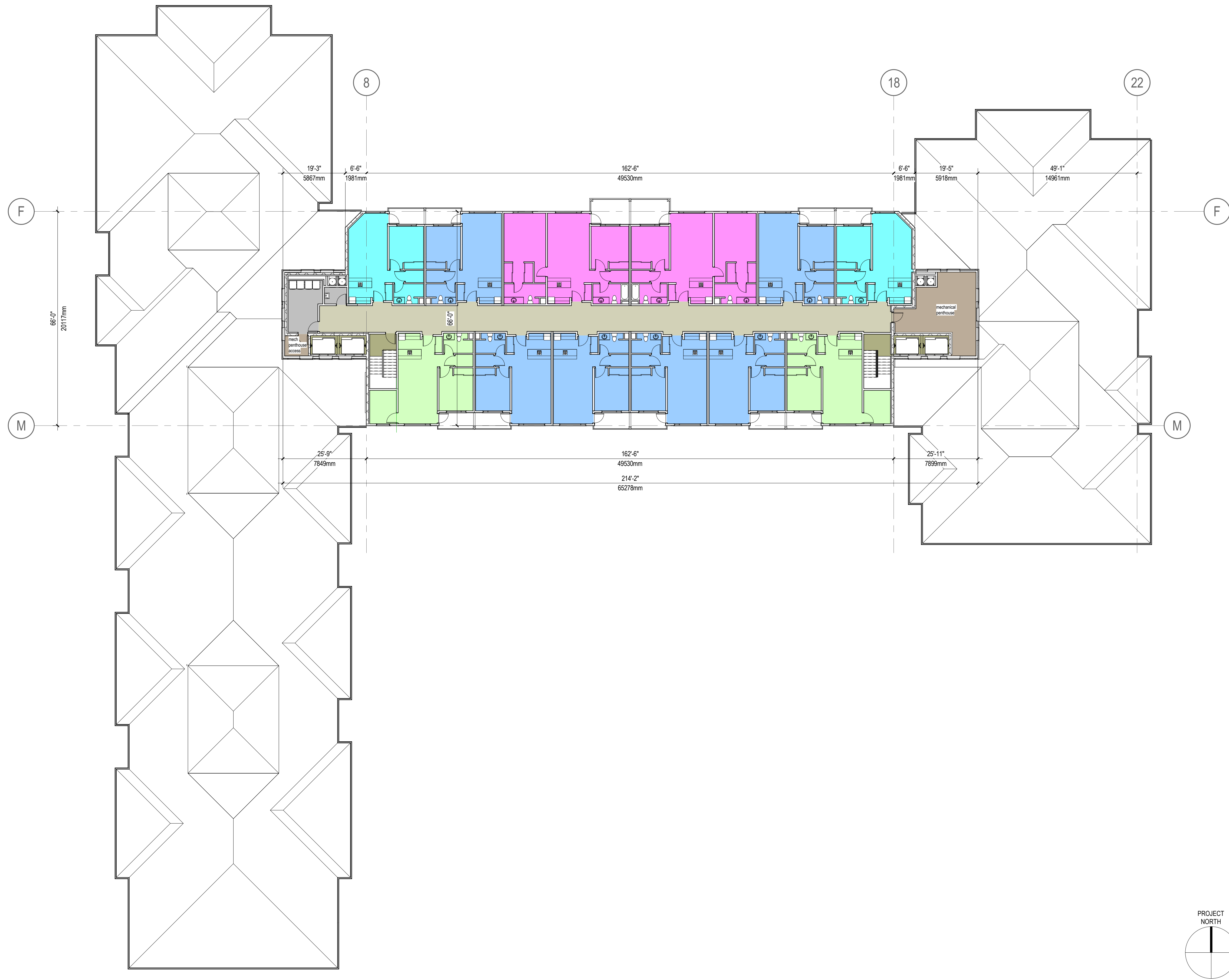
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- TYPE D1 - 1BDRM 674 s.f.
- TYPE D - 1BDRM 646 s.f.
- TYPE E - 1BDRM + DEN 736 s.f.
- TYPE F - 1 BDRM + DEN 746 s.f.
- TYPE G - 1 BDRM + DEN 778 s.f.
- TYPE H - 2 BDRM 778 s.f.
- TYPE J - 1 BDRM + DEN 836 s.f.
- TYPE K - 2 BDRM 985 s.f.
- TYPE L - 2 BDRM 1045 s.f.
- TYPE M - 2 BDRM 1086 s.f.
- TYPE N - 2 BDRM 1115 s.f.
- TYPE P - 2 BDRM+DEN 1284 s.f.
- VERTICAL CIRCULATION



Department Legend

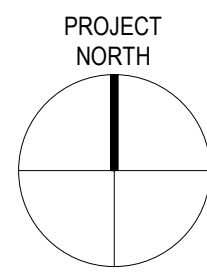
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- OPERATIONS SPACE
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- TYPE D - 1BDRM 646 s.f.
- TYPE E - 1BDRM + DEN 736 s.f.
- TYPE F - 1 BDRM + DEN 746 s.f.
- TYPE G - 1 BDRM + DEN 778 s.f.
- TYPE H - 2 BDRM 778 s.f.
- TYPE J - 1 BDRM + DEN 836 s.f.
- TYPE K - 2 BDRM 985 s.f.
- TYPE L - 2 BDRM 1045 s.f.
- TYPE M - 2 BDRM 1086 s.f.
- TYPE N - 2 BDRM 1115 s.f.
- TYPE P - 2 BDRM+DEN 1284 s.f.
- VERTICAL CIRCULATION

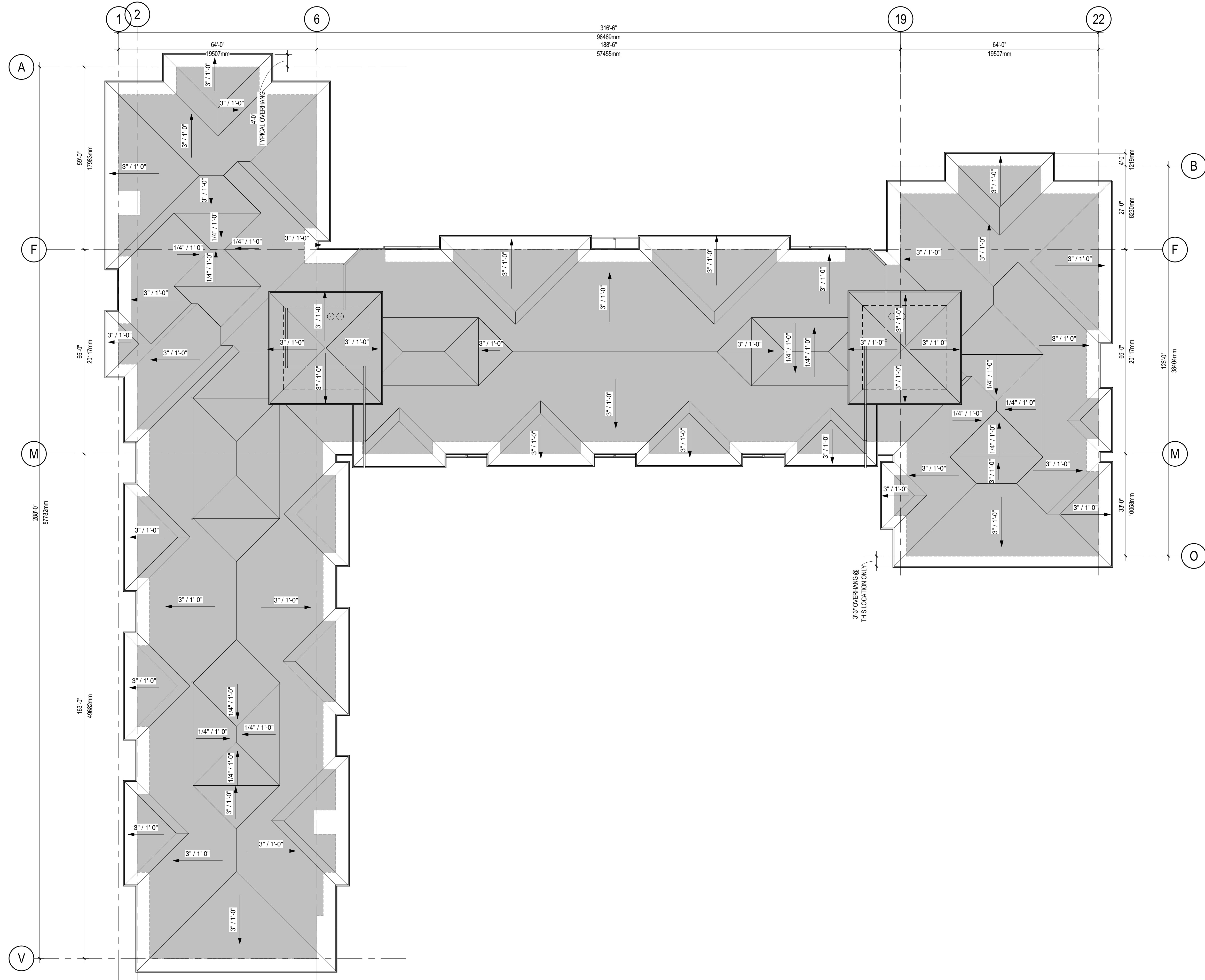




Department Legend

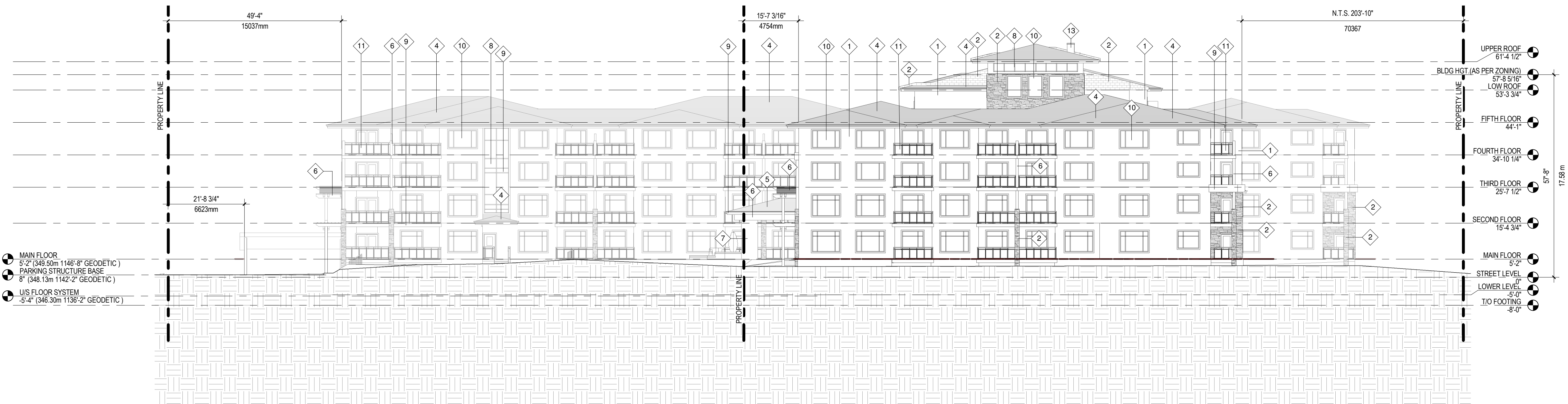
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- OPERATIONS SPACE
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- TYPE D - 1BDRM 646 s.f.
- TYPE E - 1BDRM + DEN 736 s.f.
- TYPE M - 2 BDRM 1086 s.f.
- VERTICAL CIRCULATION







1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION
SCALE: 1/16" = 1'-0"

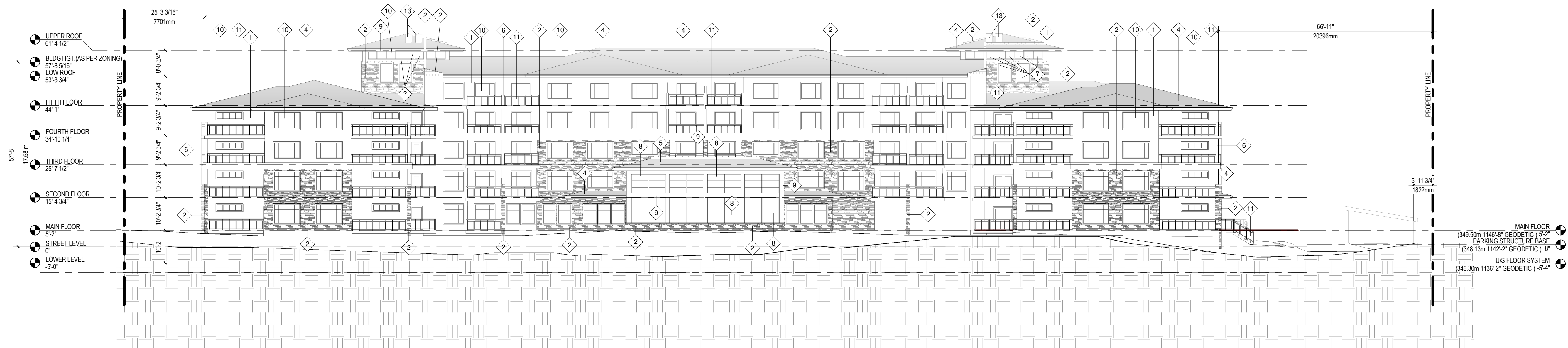
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- 1 STUCCO - COLOUR BENJAMIN MOORE ELK CC326
- 2 FIRE WALL STUCCO COLOUR BENJAMIN MOORE ELK CC326
- 3 CULTURED STONE - BUCKS COUNTRY DRESSED FIELD STONE & LEDGER STONE MIXED FIELDSTONE
- 4 ASPHALT SHINGLES - RUSTIC BLACK
- 5 STANDING SEAM METAL ROOF - VIC WEST 55174 - DEEP GREY
- 6 WOOD POSTS & BEAMS (ARBOR) STAINED, NATURAL FINISH
- 7 CONCRETE POST - EXPOSED AGGREGATE
- 8 ALUMINUM STORE FRONT WINDOW FRAMES - COLOR BLACK
- 9 EXTERIOR METAL CLADDING - BREAK FLASHING & EAVESTROUGH COLOUR - BLACK
- 10 VINYL WINDOWS COLOUR BLACK
- 11 GLASS GUARD RAIL SYSTEM - COLOUR BLACK
- 12 SPANDREL GLAZING (FRAME BLACK)
- 13 CHUTE EXHAUST SHAFTS

DRAWING: A10
PROJECT: 16040
DATE: 2017/03/01
SCALE: As indicated

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ELEVATIONS
SUMMERWOOD RETIREMENT RESORT
STREET ADDRESS: 1350 & 1370 KLO ROAD, KELOWNA, BC
LEGAL ADDRESS: PLAN # 1070, LOT 15, EXCEPT KAP 79079 & PLAN # 27982, LOT #1, EXCEPT 57931



1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

EXTERIOR FINISHES

- 1

STUCCO - COLOUR BENJAMIN MOORE ELK CC326
- 2

FIRE WALL STUCCO COLOUR BENJAMIN MOORE ELK CC326
- 3

CULTURED STONE - BUCKS COUNTRY DRESSED FIELD STONE & LEDGER STONE MIXED FIELDSTONE
- 4

ASPHALT SHINGLES - RUSTIC BLACK
- 5

STANDING SEAM METAL ROOF - VIC WEST 55174 - DEEP GREY
- 6

WOOD POSTS & BEAMS (ARBOR) STAINED, NATURAL FINISH
- 7

CONCRETE POST - EXPOSED AGGREGATE
- 8

ALUMINUM STORE FRONT WINDOW FRAMES - COLOR BLACK
- 9

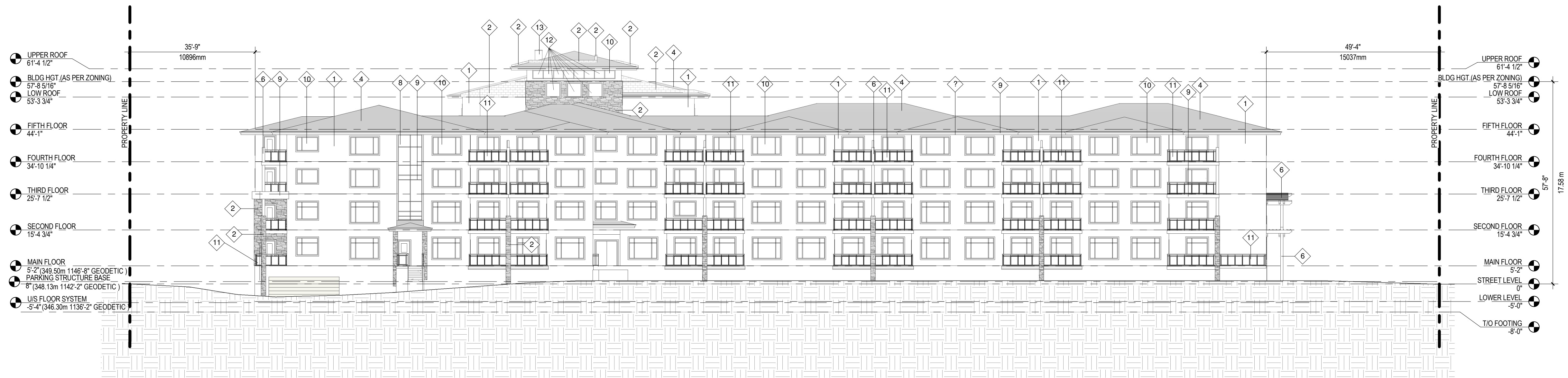
EXTERIOR METAL CLADDING - BREAK FLASHING & EAVESTROUGH, COLOUR - BLACK
- 10

VINYL WINDOWS COLOUR BLACK
- 11

GLASS GUARD RAIL SYSTEM - COLOUR BLACK
- 12

SPANDREL GLAZING (FRAME BLACK)
- 13

CHUTE EXHAUST SHAFTS



2 WEST ELEVATION
SCALE: 1/16" = 1'-0"

DRAWING: A11
PROJECT: 16040
DATE: 2017/03/01
SCALE: As indicated

IMQN
ARCHITECTS

ELEVATIONS
SUMMERWOOD RETIREMENT RESORT
STREET ADDRESS: 1350 & 1370 KLO ROAD, KELOWNA, BC
LEGAL ADDRESS: PLAN # 1070, LOT 15, EXCEPT KAP 79079 & PLAN # 27982, LOT #1, EXCEPT 57931















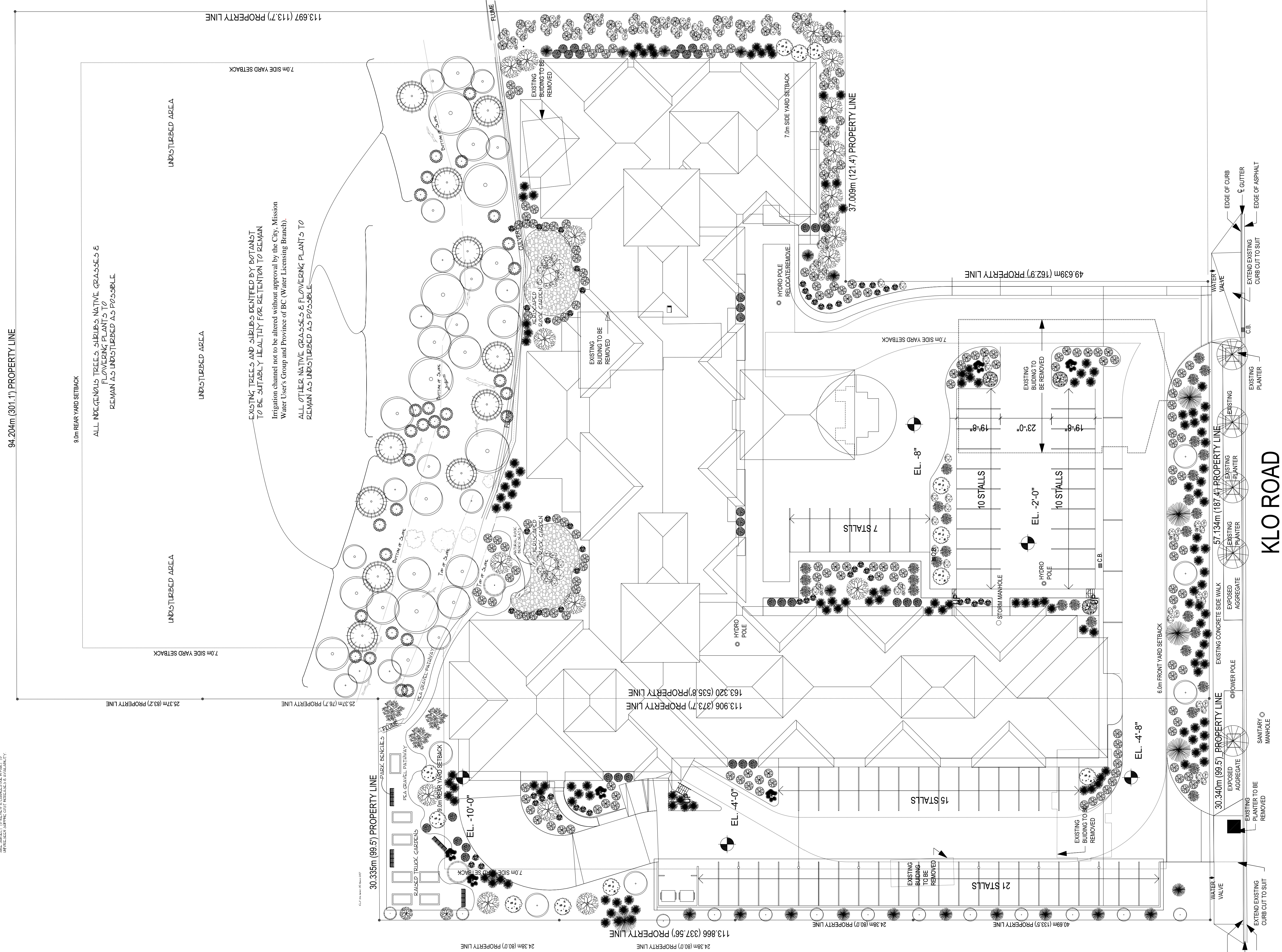
1 STREET VIEW (SOUTH) PERSPECTIVE



2 NORTH PERSPECTIVE VIEW








STARS	NAME	SEE P.74
●	Ferns near LILL BLUE FLORE	
●	Composites & umbellifera	
●	KAL, F&G, STICK	
●	Mosses, other herbaceous	
●	FLAME GRASS	
●	Unknown Small Trees	
●	STELLA SPERMALITIVALLY	
●	POTTED ARRANGEMENT	
●	ASSORTED ANNUALS & PERENNIALS	
●	POTTED ARRANGEMENT	
●	ASSORTED ANNUALS & PERENNIALS	

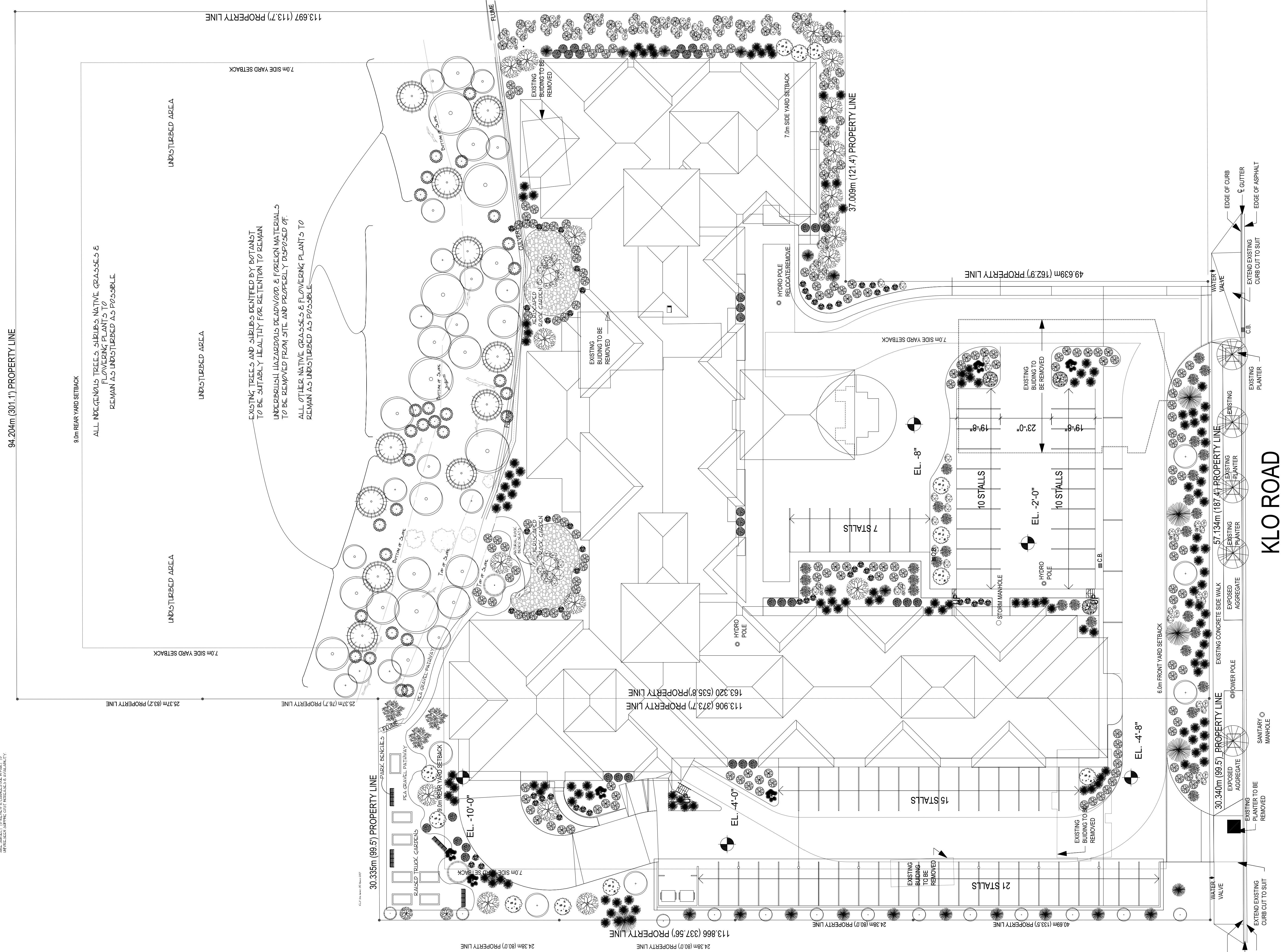
FLOWERS	NAME	SOCIETY
	CONSTITUTIONAL FLORAL DISPLAY	
	ANNUAL FLOWERS	
	ANNUAL FLOWERS	
	CONSTITUTIONAL FLOWERS	
	CONSTITUTIONAL ANNUAL	
	CULTURED TALL GRASS	
	PANTRY	
	CULTURED TALL GRASSES	
	CULTURED SHORT GRASSES	
	CULTURED ROLLER RAMP SOD	
	SOCIETY PALACE	
	REPTARIUM	

[illegible]

KLO ROAD

STARS	NAME	SEE P.74
●	Ferns near LILL BLUE FLORE	
●	Composites & umbellifera	
●	KAL, F&G, STICK	
●	Mosses, other herbaceous	
●	FLAME GRASS	
●	Unknown Small Trees	
●	STELLA SPERMALITIVALLY	
●	POTTED ARRANGEMENT	
●	ASSORTED ANNUALS & PERENNIALS	
●	POTTED ARRANGEMENT	
●	ASSORTED ANNUALS & PERENNIALS	

	LARGE COARSE ROCK MATRIX BASIC MATRIX (BSP. / Delivery Base, 60%)
	1 - CLEAR BINDER ROCK
	1 - 5 CLEAR ROUNDED ROCK
	2 - 4 CLEAR ROUNDED STONE
	3 - 6 CLEAR ROUNDED STONE
	3 - 6 CLEAR ROUNDED STONE
	F64 GRAVEL



CITY OF KELOWNA
BYLAW NO. 11428
TA17-0007 – I4 – Central Industrial

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT **Section 15 – Industrial Zones, 15.4 I4 – Central Industrial, 15.4.2 Principal Uses** be amended by adding in its appropriate location a new subsection "**commercial storage**" and re-numbering subsequent sub-paragraphs.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 12th day of June, 2017.

Considered at a Public Hearing on the 27th day of June, 2017.

Read a second and third time by the Municipal Council this 27th day of June, 2017.

Approved under the Transportation Act this 27th day of July, 2017.

Blaine Garrison
(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL



Date: December 5th 2017

RIM No. 0940-00 & 0940-50

To: City Manager

From: Community Planning Department (AC)

Application: DP17-0073 / DVP17-0074 **Owner:** Carbon Capture Mini Storage (Kelowna) GP Ltd.

Address: 437 Bay Avenue **Applicant:** DiStefano Jaud Architecture

Subject: Development Permit & Development Variance Permit

Existing OCP Designation: IND - Industrial

Existing Zone: I4 – Central Industrial

1.0 Recommendation

THAT final adoption of Text Amendment Bylaw No.11428 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP17-0073 for Lot 2 District Lot 139, ODYD, Plan KAP68693, located at 437 Bay Ave, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council's consideration of this Development Permit be considered subsequent to the outstanding conditions of approval as set out in Attachment "A" connected to the Report from the Community Planning Department dated December 5th 2017;

AND THAT Council authorize the issuance of Development Variance Permit DVP17-0074 for Lot 2 District Lot 139, ODYD, Plan KAP68693, located at 437 Bay Ave, Kelowna, BC;

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B, & C":

S.8 Table 8.1 Parking Schedule

To vary the minimum number of parking stalls provided from 204 stalls to 13 stalls.

S.8 Table 8.2 Loading Schedule

To vary the minimum number of loading stalls provided from 6 stalls to 3 stalls.

S.8 Table 8.3 Bicycle Parking Schedule

To reduce the minimum number of class 2 bicycle parking stalls provided from 31 stalls to 8 stalls.

AND THAT Council's consideration of this Development Permit and Development Variance Permit be considered subsequent to the outstanding conditions of approval as set out in Attachment "A" connected to the Report from the Community Planning Department dated December 5th 2017

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider a Development Permit for the form and character of a 5 storey self-storage building and to consider a Development Variance Permit to reduce the number of parking and loading stalls as well as alter the bicycle parking composition.

3.0 Community Planning

Staff are supportive of the Development Permit as the proposed project excels in its design, sustainability & environmental features for an industrial building and exceeds Kelowna's OCP design guidelines expectations. See Section 4.1 Project Description for more details.

Regarding the variances, there is no specific parking requirements for a modern self-storage building within Kelowna's Zoning Bylaw. The consequence is the parking requirements attributed to this building are those of General Industrial Use which calls for 2.0 stalls per 100m² of Gross Floor Area which would amount to 204 stalls required. Clearly, the Zoning Bylaw's General Industrial use overestimates the number of parking stalls. Staff requested the applicant to engage a traffic consultant to analyze what an appropriate parking rate would be. The applicant engaged Bunt & Associates to perform the analysis of self-storage and co-work land uses in relation to parking requirements. The full analysis is attached to this report with the following notable excerpts:

"The proposed 16 loading / parking spaces for the development are anticipated to be sufficient to accommodate the weekday daytime, evening, and weekend demand associated with the planned development for most of the time. The exception would be for the few weekdays at the end of each month where the midday loading / parking demand of 19-25 vehicles will potentially require use of a limited amount of street parking (fewer than 10 spaces)."

“To promote bicycle usage and reduce vehicle parking demand, the project is proposing to provide additional bike parking well beyond the 31 class 2 space requirement of the Zoning Bylaw. The proposed 36 Class 1 (covered and secured) spaces and 8 class 2 spaces, together with the end of trip change room, lockers and shower facilities, should be quite effective in encouraging bike trips to the building, particularly for the co-working component of the project.”

The applicant has provided additional class 1 bicycle parking stalls and have provided convenient end-of trip facilities. Therefore, Staff have no concern with the bicycle parking variance requested. The traffic analysis report prepared by Bunt & Associates indicates the anticipated use and demand for parking for the proposal align with the proposed parking and loading provided in the design. Staff are comfortable with the analysis provided by Bunt and are comfortable with recommending support for the parking and loading variance. Generally, parking should be provided with the average demand of the property and not based on an occasional surge in parking demand.

4.0 Proposal

4.1 Project Description

The proposal is for a five story, 10,270 m² personal storage facility for individuals and businesses. The design of the building is contemporary with a two-story storefront which activates the side along Ellis Street. The building strives to meet the highest environmental standards by planning for net-zero energy along with additional environmentally sustainable measures being implemented. The project seeks Petal-level Living Building Challenge (LBC) certification (exceeds LEED) and has applied to the Canada Green Building Council Zero Carbon Pilot Program.

The five-story project uses a compact form and make the most of its corner site, the design provides an active, two-story storefront along Ellis Street to activate the pedestrian realm, with vehicular access, loading and parking to the north. The two-story storefront along Ellis accommodates lobby spaces, office and sales, along with educational components that describe the green features of the building. The EcoLock business model also provides multiple positive amenities for users in the way of touch down spaces and two meeting rooms, which allow customers to interact with other users. These spaces intend to create a vibrant, active storefront along the majority of Ellis Street to enhance Kelowna's downtown and create a new model for similar facilities that raise the bar aesthetically and functionally.

At the south corner of the Ellis Street façade, three display windows are provided to support local artists. In the center of the block along Ellis, pivot doors in the facade allow patrons to access outdoor seating. On the northeast corner of the site, the lobby extends beyond the building, forming a prow-like terraced seating element that contains a large water cistern, providing storage for collected rainwater from roof surfaces as part of the building's advanced water conservation goals.

Along the north side of the building, off-street parking and loading spaces, along with a screened trash enclosure create an orderly back of house area. The loading areas are protected from the elements by the building above. All areas are designed with no concealed spaces for urban pedestrian safety. The facility office area has direct views along the north facade and east facing lobby helping to create 'eyes on the street' which will help make the neighborhood safer.

The south and west facades being boxed in by future buildings are simple and plain, close to the property line, and fenced against unauthorized entry. The site landscaping approach incorporates drought tolerant

native landscaping, storm water diversion bio-swales, grey water irrigation, permeable pavers and a 35 m2 urban agriculture component – a Living Building Challenge requirement. This project will focus on fruits for human consumption that also support pollinators and migratory birds.

The design of the building is contemporary, with a two-story lobby on the north-half facing Ellis Street. Like a museum or theater that does not require windows programmatically, the project uses glazing and windows, where they do occur, for maximum benefit and design effect. Above the lobby, and on the upper levels along the north façade, internal corridors are expressed with full height glass. These vertical bands of glazing provide orientation and a sense of safety to users of the facility. Each floor will use color for wayfinding. This color, expressed through the windows, is a primary design element for the building. Utilizing the clean flat nature of the interlocking carbon sequestering blocks, the façade is a series of modern simple plaster finished surfaces between the windows creating an effect of sculptural blocks stacked up as a building.

In the spirit of showcasing all of the integrated sustainable building systems and materials, additional ornamentation has been kept to a minimum, instead expressing and celebrating the building as an inspirational example of the Living Building Challenge and ecologically responsible design. Projected canopies protect tall glass surfaces along Ellis street, with the south facing photovoltaic array on the high roof expressed along the parapet line. The building is designed according to universal design principles. A ramp is provided from the parking area to the lobby.

4.2 Site Context

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	I4 – Central Industrial	Fruit and Vegetable Storage
East	I2 – General Industrial	Commercial
South	I4 – Central Industrial	Boat Storage
West	I4 – Central Industrial	Industrial - Vacant

Subject Property Map: 437 Bay Avenue



4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	I ₄ ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Maximum Floor Area Ratio	3.0	2.92
Maximum Site Coverage (buildings)	n/a	Buildings = 59% Buildings + Paving = 77%
Maximum Height	18.0 m	17.3 m
Minimum Front Yard	0.0 m	5.7 m
Minimum Side Yard	0.0 m	1.6 m
Minimum Side Yard (Flanking)	0.0 m	6.3 m
Minimum Rear Yard	0.0 m	1.6 m
Other Regulations		
Minimum Parking Requirements	204	13 ^①
Minimum Bicycle Parking	31 class 2 stalls	36 class 1 stalls 8 class 2 stalls ^②
Minimum Loading Space	6.0 stalls	3 stalls ^③
^① Indicates a requested variance to reduce the number of parking stalls. ^② Indicates a requested variance to change the configuration of class 1 vs class 2 bicycle stalls. ^③ Indicates a requested variance to reduce the number of loading stalls.		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Industrial Land Use Policies

Objective 5.28.¹ Focus industrial development to areas suitable for industrial use.

Industrial Supply Protection.² Protect existing industrial lands from conversion to other land uses by not supporting the rezoning of industrial land to preclude industrial activities unless there are environmental reasons for encouraging a change of use.

Amenities, ancillary services and utilities.³ Locate loading, garbage, storage, utilities and other ancillary services away from public view. All such areas shall be screened and designed as an integral part of the building to minimize impact.

Public and private open space.⁴ Design industrial developments to include outdoor break areas, green space, bicycle racks, skylights and windows in work areas, and linkages to recreational opportunities (e.g. linear parks).

Exterior elevations and materials.⁵

- Exterior building materials should be selected for their functional and aesthetic quality, and should exhibit qualities of workmanship, durability, longevity and ease of maintenance;
- Provide visually prominent, accessible, and recognizable entrances through attention to location, details, proportions, materials, and lighting that act to personalize or lend identity to a building;
- Continue higher quality materials used on the principal façade around any building corner or edge which is visible to the public;
- Use materials in combination to create contrast, enhance human scale, and reduce the apparent bulk of a building;
- Colour should not be used as the predominant feature of a building.

6.0 Technical Comments

6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s).
- Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- Fire resistance ratings are required for storage, janitor and/or garbage enclosure room(s) / area(s). The drawings submitted for building permit is to clearly identify how this rating will be achieved and where these area(s) are located.
- A Hoarding permit is required and protection of the public from the staging area and the new building area during construction. Location of the staging area and location of any cranes should be established at time of DP.

¹ City of Kelowna Official Community Plan, Objective 5.28, Chapter 10 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.28.1, Chapter 5 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Policy 11.1, Objective 11, Chapter 14 (Urban Design Development Permit Areas).

⁴ City of Kelowna Official Community Plan, Policy 7.5, Chapter 14 (Urban Design Development Permit Areas).

⁵ City of Kelowna Official Community Plan, Objective 6.0, Chapter 14 (Urban Design Development Permit Areas).

- A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - Any alternative solution must be accepted by the Chief Building Inspector prior to the release of the Building Permit.
 - Location, Heights, Colors of mechanical systems and the required screening are to be determined at time of DP.
 - Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - Handicap Accessibility to the main floor levels to be provided, ramps may be required.
 - Hard surfaced paths leading from the egress stairwells to a safe area are to be clearly defined as part of the DP. Any unprotected openings in the building along these paths must be protected.
 - Access to the roofs are required per NFPA and guard rails may be required and should be reflected in the plans if required.
 - Penthouse may require two independent exits which may affect the floor plans
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. Minimum building elevations are required to be established prior to the release of the Development Permit. If a soil removal or deposit permit is required, this must be provided at time of Development Permit application.
- We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent properties is a civil action which does not involve the city directly. The items of potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, undermining & underpinning of existing foundation, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work, water infiltration systems, etc.
- Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
- An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units and all corridors, number of required exits per area, door swing direction, handrails on each side of exit stairs, width of exits, spatial calculation for any windows in exit stairs, etc.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application

6.2 Development Engineering Department

- See Development Engineering Memo dated April 27th 2017 (Attachment 'A')

6.3 Fire Department

- Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required. Template at Kelowna.ca
- Ensure appropriate fire flow as per the subdivision bylaw -150 L/Sec required. Should additional hydrants be required on this property, they shall be deemed private.
- A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD.

- Fire Department access is to be met as per BCBC 3.2.5.
- Approved Fire Department steel lock box acceptable to the fire dept. is required by the fire dept. entrance and shall be flush mounted.
- All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met for communications.
- Fire alarm system is to be monitored by an agency meeting the CAN/ULC S561 Standard.
- Contact Fire Prevention Branch for fire extinguisher requirements and placement.
- Fire department connection is to be within 4.5M of a fire hydrant - unobstructed.
- Ensure FD connection is clearly marked and visible from the street.
- Sprinkler zone valves shall be accessible as per fire prevention bylaw (10760) - less than 7 feet in height.
- Standpipe connections to be on intermediate landings in stairwell.
- Dumpster/refuse container must be 3 meters from structures or overhangs or in a rated room in the parking garage.
- Upon completion an owners certificate and copy of NFPA 25 shall be provided for the sprinkler system.
- Upon completion, a certificate is required to verify CANULC 561 Compliance.
- Do not issue BP unless all life safety issues are confirmed.

6.4 Fortis Electric

There are FortisBC Inc (Electric) ("FBC(E)") primary distribution facilities along Bay Avenue and Ellis Street. The applicant is responsible for costs associated with any change to the subject property's existing service, if any, as well as the provision of appropriate land rights where required.

7.0 Application Chronology

Date of Application Received: March 24th 2017
 Date Public Consultation Completed: November 15th 2017

Prepared by: Adam Cseke and Jenna Ratzlaff, Urban Planning
Reviewed by: Terry Barton, Urban Planning Manager
Reviewed by: Ryan Smith, Community Planning Department Manager

Attachments:

Development Engineering Memo dated April 27 2017
 Applicant's Project Rationale
 Bunt & Associates Parking analysis
 DP17-0073 & DVP17-0074

CITY OF KELOWNA MEMORANDUM

ATTACHMENT A	
This forms part of application # DP17-0073 DVP17-0074	
Planner Initials	<div style="border: 1px solid black; padding: 2px; display: inline-block;">AC</div>
 City of Kelowna <small>COMMUNITY PLANNING</small>	

Date: April 27, 2017
File No.: DP17-0073

To: Community Planning (AC)

From: Development Engineering Manager(JK)

Subject: 437 Bay Ave (*REVISED*) Proposed Commercial Storage Building

Development Engineering has the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Jason Angus.

1. Domestic Water and Fire Protection

- (a) The developer must engage a consulting mechanical engineer to determine the domestic and fire flow requirements of this development, and establish if the existing 200mm service can be utilized. Decommissioning of any unused water services and the installation of all new services will be at the applicant's cost.
- (b) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost.
- (c) Landscaped boulevards, complete with underground irrigation systems, must be integrated with the on-site irrigation system.

2. Sanitary Sewer

- (a) The developer must engage a consulting mechanical engineer to determine the requirements of this development, and establish if the existing 200mm service can be utilized. An inspection manhole must be installed on the service. Service upgrades will be at the owner's cost. The estimated cost of upgrading the service for bonding purposes is \$ **5,000.00**

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems. The existing lot is serviced with a 250mm diameter storm service. Only one service will be permitted for this development.

ATTACHMENT A	
This forms part of application # DP17-0073 DVP17-0074	
Planner Initials	AC
 City of Kelowna <small>COMMUNITY PLANNING</small>	

4. Road Improvements

- (a) Access driveway modifications and construction of additional commercial driveways will be at the applicant's cost. This work will require curb, gutter, sidewalk and ramp removal and replacement, boulevard landscaping and lamp-standard relocation. The work must be constructed to City of Kelowna Standards. Re-locate or adjust existing appurtenances if required to accommodate this construction. The estimated cost of this construction for bonding purposes is **\$ 20,000.00**
- (b) Frontage improvements on Bay Avenue and Ellis Street have been completed, *however relocation of the sidewalk must be moved to the property line so that the back of sidewalk is 0.3m off of property line and creating a 1.5m landscape boulevard complete with irrigation.* Care must be taken to avoid asphalt scaring. Protect existing curbs during construction. Replacement of damaged works and restoration will be at the developer's expense. The extent of the restoration works will be determined by the City Engineer once construction is completed.

5. Road Dedication and Subdivision Requirements

- (a) Grant statutory rights of way if required for utility services.

6. Electric Power and Telecommunication Services

The electrical services to this development must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services which would be at the applicant's cost.

7. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the City Engineering Department for review and marked "issued for construction" by the City Engineer before construction may begin.

8. Geotechnical Report

As a requirement of this application and building permit approval the applicant must provide a comprehensive geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics, including water sources on the site.
- (b) Site suitability for development; i.e. unstable soils, foundation requirements etc.
- (c) Drill and/or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.

- (e) A comprehensive geotechnical report was provided at the time of subdivision and extensive soil remediation was carried out. Additional geotechnical survey may be necessary for building foundations, etc.

9. Development Permit and Site Related Issues

- (a) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.

10. Bonding and Levy Summary

(a) Bonding

Road access driveways.	\$ 20,000.00
Service upgrades	\$ 5,000.00

Total Bonding **\$ 25,000.00**

NOTE: The bonding amounts shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided as a condition of subdivision approval or building permit issuance, and may be in the form of cash or an irrevocable letter of credit, in an approved format.

The owner must also enter into a servicing agreement in a form provided by the City prior to 4th reading of the zone amending bylaw.

11. Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as 3.5% of Additional Off-Site Construction Cost, plus GST

ATTACHMENT		A
This forms part of application		
# DP17-0073 DVP17-0074		
Planner Initials	AC	 City of Kelowna <small>COMMUNITY PLANNING</small>

James Kay, P. Eng.
Development Engineering Manager
JA

October 11, 2017

Adam Cseke
Planner / City of Kelowna
acseke@kelowna.ca
250.469.8608

Re: Variance Rationale

DiStefano Jaud Architecture inc.
Carlo DiStefano Architect AIBC, AAA
Neil Jaud Architect AIBC, AAA, MRAIC, LEED
AP

3 - 1331 Ellis Street
Kelowna BC V1Y 1Z9, Canada
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WWW.DISTEFANOJAUD.COM

The EcoLock project is a new self-storage building incorporating adjunct co-work space. Located at 437 Bay Avenue the project seeks to re-envision the self-storage model not only programmatically but also by developing a net-zero structure that seeks to sequester carbon and minimize its impact on the community. Further design specific information has been provided in the Design Rationale Statement.

Parking Requirements

Currently there is no specific parking requirement for a modern self-storage building model in the local bylaws and as a result the parking requirements attributed to the building are those of General Industrial Use which calls for 2.0 stalls per 100m² of Gross Floor Area which would amount to 206 stalls required. A General Industrial use is typically an office warehouse type of development that may feature manufacturing and general regular office requirements as part of the maintaining of the business. This also typically brings a larger parking requirement associated with this use. These types of developments are also typically one floor developments spread over a larger area.

The Ecolock development with its occupancy of the self-storage component will be intermittently visited and consequently occupied by few users at any given time. The building is also stacked over 5 floors creating a larger overall gross area as related to the site area. The result is that the 206 stall requirement does not correspond to the use and requirements for the project.

Bunt & Associates have been engaged to analyze the self-storage and co-work uses related to parking requirements. Their full report is attached; however, we note below the following excerpts.

Bunt's report states the following two key points:

- *"The proposed 16 loading / parking spaces for the development are anticipated to be sufficient to accommodate the weekday daytime, evening and weekend demand associated with the planned development for most of the time. The exception would be for the few weekdays at the end of each month where the midday loading / parking demand of 19-25 vehicles will potentially require use of a limited amount of street parking (fewer than 10 spaces)."*



- *“To promote bicycle usage and reduce vehicle parking demand, the project is proposing to provide additional bike parking well beyond the 31 Class II space requirement of the Zoning Bylaw. The proposed 36 Class I (covered and secured) spaces and 8 Class II spaces, together with end of trip change room, lockers and shower facilities, should be quite effective in encouraging bike trips to the building, particularly for the coworking component of the project”*

Bunt’s report provides the analysis for the self-storage component which makes clear the anticipated use and demand for parking for this function in relation to the amount of parking and loading being provided in the design.

As part of the green design story of the project bike storage is designed in upscale fashion and end use amenities have also been introduced into the design. General Industrial uses only require Class II bicycle storage, the EcoLock project is implementing 31 Class I stalls along with storage lockers and showers as an end use amenity. As part of this implementation we examined the requirements of the City of Vancouver that has developed a more detailed set of criteria to encourage bicycle usage. The amount of Class I storage is in line with their requirements as is the 2 change/shower rooms provided.

With the co-work space marketed as touch down work spaces, it is anticipated that users would gravitate more towards alternate means of transportation such as bicycle usage. The project is also situated in a quickly changing area that is becoming home to a number of new very large scale residential developments. This change begun several years ago with such projects as Waterscapes, but now with 1151 Sunset, One Water Street and Ellis Parc all bringing further high density residential development to the immediate surrounding area. This growth is anticipated to continue as the area develops and becomes more densified. It is also anticipated that users of EcoLock’s self-storage and co-work space will draw from these new inhabitants. The likelihood of alternate transportation uses for those in close proximity expands accordingly.

Purpose built development for the long term

With the green initiative being infused into the project and the ability of the hemp block being used as one of the primary construction materials to continue to sequester carbon for 100 years, the project is being developed with a long-term stewardship for the city and environment alike. The building’s design is use specific and the market analysis of self-storage type facilities will ensure that the EcoLock project continues to provide storage for people’s belongings paralleling its storage of carbon for many years to come.

Yours sincerely,

Carlo DiStefano, Architect AIBC MAAA



EcoLock Design Rationale Statement

EcoLock is a five story, 10,270 m² personal-storage facility proposed for Kelowna, British Columbia, Canada that uses a new model to support responsible urban living. The building provides remote storage for individuals and businesses in an environment designed to the highest environmental standard for buildings and communities while enhancing neighborhood character with cutting edge architecture and material use. The structure is planned for net-zero energy, along with other achievements that provide a model for a low carbon construction, water conservation and stewardship, high performance, waste diversion, healthy materials, support for local culture and the arts, biodiversity enhancement, and best practices for low impact development (LID) at the site level. The project aspires to achieve Petal-level Living Building Challenge (LBC) certification (the world's most stringent green building program that exceeds LEED), and has applied to the Canada Green Building Council Zero Carbon Pilot Program.



Figure 1 Ellis Street Elevation

The following describes the project in more detail:

Urban Design

The five-story project uses a compact form, and is rational in plan. Making the most of its corner site, the design provides an active, two-story storefront along Ellis Street to activate the pedestrian realm, with vehicular access, loading and parking to the north. The two-story storefront along Ellis accommodates lobby spaces, office and sales, along with educational components that describe the green features of the building. The EcoLock business model also provides multiple positive amenities for users in the way of touch down spaces and two meeting rooms, which allow customers to interact with other users in a relaxed setting and to facilitate community and personalization. These spaces intend to create a vibrant, active storefront along the majority of Ellis Street to enhance Kelowna's downtown and create a new model for similar facilities that raise the bar aesthetically and functionally.

At the south corner of the Ellis Street façade, three display windows are provided to support local artists, an ethos that is important to the Ecolock brand. In the center of the block along Ellis, pivot doors in the facade allow patrons to access outdoor seating. On the northeast corner of the site, the lobby extends beyond the building, forming a prow-like terraced seating element that contains a large water cistern, providing storage for collected rainwater from roof surfaces as part of the building's advanced water conservation goals. This element provides a human-scaled feature at the most visible corner of the site and helps celebrate Kelowna's important connection to water and agricultural uses.

Along the north side of the building, off-street parking and loading spaces, along with a screened trash enclosure create an orderly back of house area. The loading areas are protected from the elements by the building above. All areas are designed with no concealed spaces for urban pedestrian safety. The facility office area has direct views along the north facade and east facing lobby helping to create 'eyes on the street' which will help make the neighborhood safer. The south and west facades being boxed in by future buildings are simple and plain, close to the property line, and fenced against unauthorized entry.

The site landscaping approach incorporates drought tolerant native landscaping, storm water diversion bio-swales, grey water irrigation, permeable pavers and a 35 m² urban agriculture component – a Living Building Challenge requirement. This project will focus on fruits for human consumption that also support pollinators and migratory birds.

Design and Construction

The design of the building is contemporary, with a two-story lobby on the north-half facing Ellis Street. Like a museum or theater that does not require windows programmatically, the project uses glazing and windows, where they do occur, for maximum benefit and design effect. Above the lobby, and on the upper levels along the north façade, internal corridors are expressed with full height glass. These vertical bands of glazing provide orientation and a sense of safety to users of the facility. Each floor will use color for wayfinding. This color, expressed through the windows, is a primary design element for the building. Utilizing the clean flat nature of the interlocking carbon sequestering blocks, the façade is a series of modern simple plaster finished surfaces between the windows creating an effect of sculptural blocks stacked up as a building. In the spirit of showcasing all of the integrated sustainable building systems and materials, additional ornamentation has been kept to a minimum, instead expressing and celebrating the building as an inspirational example of the Living Building Challenge and ecologically responsible design. Projected canopies protect tall glass surfaces along Ellis street, with the south facing photovoltaic array on the high roof expressed along the parapet line. The building is designed according to universal design principles. A ramp is provided from the parking area to the lobby. The second-floor composting toilets are accessed via elevator.

Energy, Conservation and Materials

The project is being designed to exceed its own yearly net energy demand through a net metered photovoltaic array making the building 'net positive' and carbon free in its operations. It will be a combustion free and smoke free facility with exemplary air quality. The building enclosure will be high performance, low carbon, and free of toxic materials. The large lime plaster surfaces use a new high performance building material, designed, patented and made in Canada. this material, called Just Bio-Fiber, is an autoclaved cellular block comprised of

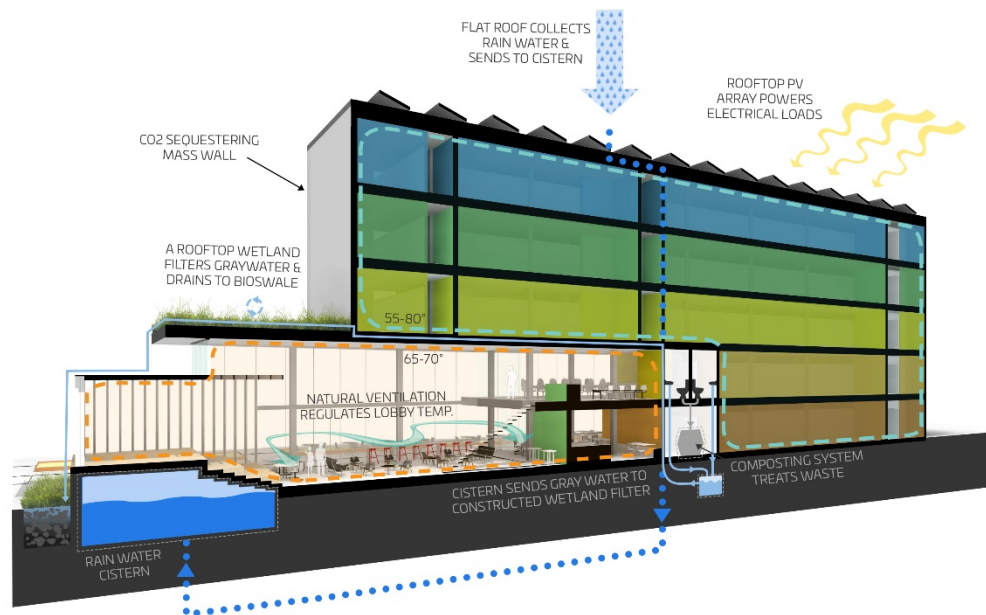


Figure 2 Ecolock Sustainability Diagram

industrial hemp, lime and a composite structural skeleton. This block sequesters substantial amounts of CO₂ in manufacture and gradually over time, and has passed rigorous standardized testing and approvals, including the Living Building Challenge Declare label for material transparency. Windows are also Declare labeled high performance pultruded fiberglass insulated units that open for natural ventilation. Metal surfaces feature high performance coatings on the building, and weathered steel when in contact with the ground.

The mechanical systems will consume considerably less energy than comparable facilities due to the high-performance envelope. Energy Recovery Ventilation (ERV) units will use exhaust ventilation to temper incoming air. Electrical lighting will use occupancy sensing LED sources. Water, as a precious resource will be used wisely. The acoustically private toilet rooms are designed for individual use, with a unisex shared lavatory zone. The toilets are positioned on level two to facilitate a gravity based foam flush composting toilet system for maximum water conservation and to demonstrate cutting edge water and waste systems. A shower is provided on the ground floor for bicycle commuters. A rainwater and grey water system will further reduce potable water use to minimal amounts during the driest part of the year.

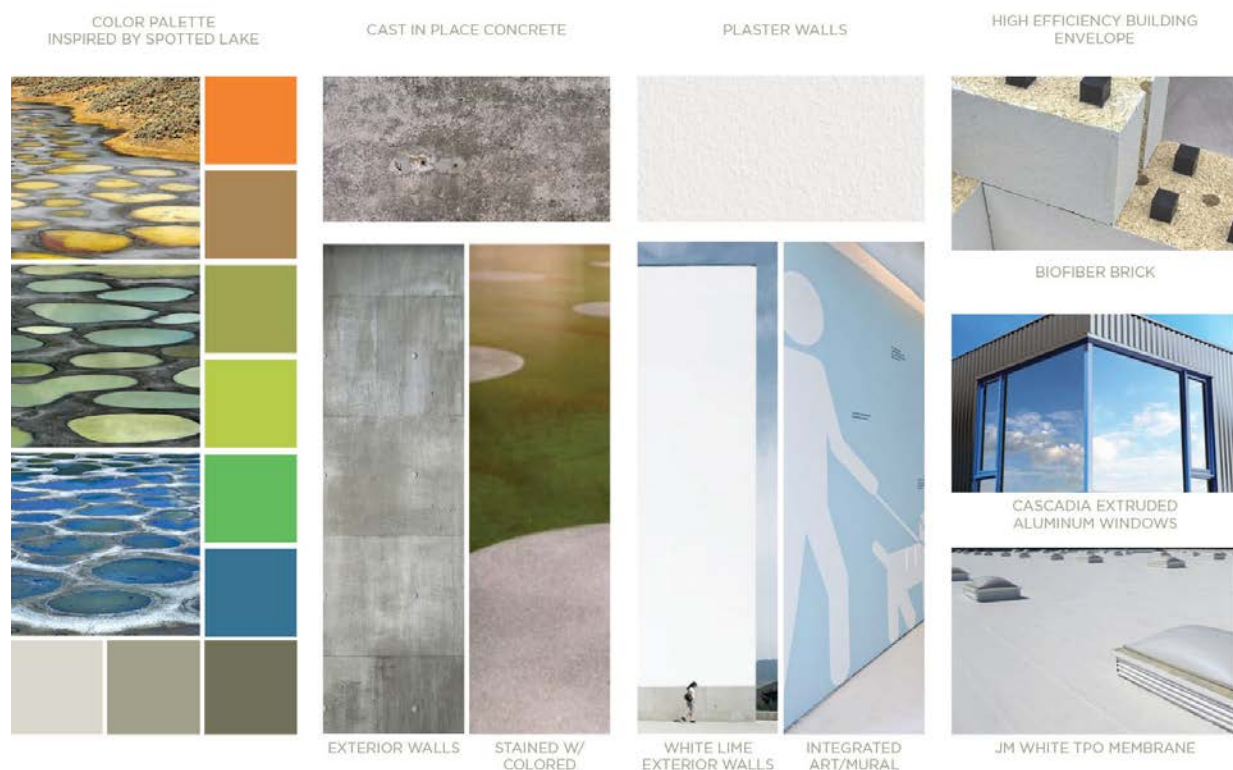


Figure 3 Colors inspired by the Spotted Lakes

Arts and Place

The Okanagan Valley has a rich history of abundance in minerals and fertile soils. The internal and exterior color scheme is inspired by the Spotted Lake, 131 Km south of Kelowna. the lake is unique in how local weather patterns and the deposition of minerals has resulted in a vivid color palette and a refuge for migratory birds. First Nations people called the lakes Kliluk.

Like the lakes, The EcoLock building also collects water over varied surfaces, and supports biodiversity. At the lobby, a literal interpretation will occur in large colored patterns on the stained concrete floor.

Education about the Living Building Challenge and carbon sequestering bio-fiber block will occur in the lobby, inviting the public to learn and encourage others to adopt similar environmentally responsible strategies for the built environment. The local arts will be celebrated through the 3 display windows. The initial programs focus will be themed-based, such as the artistry of heirlooms, or everyday objects when displayed artfully, can be transformative. Building ownership intends to work with local arts coalitions to offer space to emerging artists as well as established ones and thus help cultivate an even stronger community of local art than currently.

Ecolock Self Storage and Coworking Development, Kelowna, BC Parking and Loading Rationale

Final Report

Prepared for

Carbon Capture Mini Storage LP

Date

September 28, 2017

Project No.

6226.01

September 28, 2017
04-17-6226-01

Don Redden
Carbon Capture Mini Storage LP
206 – 15388 24 Avenue
Surrey, BC
V4E 2J2

Dear Don:

**Re: Ecolock Self Storage, Kelowna, BC
Parking & Loading Rationale**

Dear Don:

**Re: Ecolock Self Storage
Parking & Loading Rationale**

As requested, Bunt & Associates Ltd. (Bunt) has carried out a Parking & Loading Rationale for the Development Permit Text Amendment as part of the proposed redevelopment of 437 Bay Avenue in Kelowna, BC. The attached report provides a summary of our findings.

We trust that the information provided in this report will be of assistance to you. Thank you for engaging Bunt in this work and please get in touch should you have any questions.

Yours truly,
Bunt & Associates



Peter Joyce, P.Eng.
Principal

CORPORATE AUTHORIZATION

Prepared By: Bethany Dobson, MScP, EIT

Bunt & Associates Engineering Ltd.
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Approved By: Peter Joyce, P.Eng.
Principal

Date: 2017-09-28
Project No. 6226.01
Status: Final Report

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1. INTRODUCTION

1.1 Background

Carbon Capture Mini Storage LP (Carbon Capture) is proposing to develop the site located at 437 Bay Avenue in Kelowna, shown in **Exhibit 1.1**. The 5-storey mixed use building will feature a self storage facility and also include an area for 'coworking' office space. Currently, the site is being used for industrial equipment and vehicle storage.

With the increasing amount of condominium/apartment residential development occurring in this area of Kelowna, both the self storage and coworking space will provide a convenient location for nearby residents seeking either or both the services of these two types of use. The near proximity of the proposed development to this higher density residential use and area employment uses as well is expected to moderate the amount of vehicle traffic and parking activity generated by the two uses, which is consistent with the sustainable objectives of the City of Kelowna and will serve as an example for other sustainable developments to follow.

As part of the Development Permit Text Amendment requirement, Bunt & Associates Ltd. (Bunt) is providing a Parking & Loading Rationale to explore the foreseeable needs of the development. Site generated vehicle traffic volumes are expected to be relatively low and the City of Kelowna is not requiring a traffic impact analysis for the development.

1.2 Proposed Development

The site plan is shown in **Exhibit 1.2** and **Table 1.1** summarizes the proposed land uses for the development used for this report. The coworking space includes individual working 'touchdown' desks and meeting rooms.

Table 1.1: Proposed Land Uses

LAND USE	FLOOR AREA
Self Storage space	6,624 m ² (895 lockers)
Coworking Office space	145 m ²

1.3 Purpose of Study

The purpose of this report is outlined as follows:

1. To review the anticipated parking and loading demand of the proposed self-storage facility;
2. To review the anticipated parking demand of the coworking component of the development; and
3. To review the parking supply of the proposed development and assess this supply against the anticipated parking demand during typical operations and peak times.

2. EXISTING CONDITIONS

The site is located at the north end of Kelowna's downtown area. Although this area has historically been primarily industrial, it is changing to include a number of higher density residential and commercial developments.

2.1 Transit

The area is serviced by the "No. 2 North End Shuttle" which travels northbound along Ellis Street. Ellis Street fronts the site and there is a bus stop less than 100m away. The route service information is summarized in **Table 2.1**.

Table 2.1: Existing Transit Service Frequency

ROUTE		WEEKDAY SERVICE SPAN		HEADWAY (MIN.)				
#	DIRECTION	START	END	AM	MID-DAY	PM	EVENING	WEEKEND
2	North End Shuttle	7:38 AM	10:09 PM	30 min	30 min	30 min	60 min	30 min

The future 2030 Transit Plan Map from Kelowna's *Official Community Plan* identifies Richter Street and Wendell Place to be part of the Primary Transit Network, which will have service every 15 minutes for 15 hours/day every day of the week. The corner of Richter Street & Wendell Place is about 400m (approximately 5 minutes walking distance) from the site.

2.2 City of Kelowna Mode Splits

The *2013 Okanagan Travel Survey Findings & Comparison to 2007 Baseline* summarizes travel patterns for the Okanagan region, including Kelowna as a sub-region. As shown in **Figure 2.1**, the survey found that the proportion of automobile (driver + passenger) trips have decreased to approximately 82% down from 87% in 2007 while sustainable modes (bus, walk, bike) have increased from 11% up to 17%. The driver mode split was determined to be 66% in 2013.

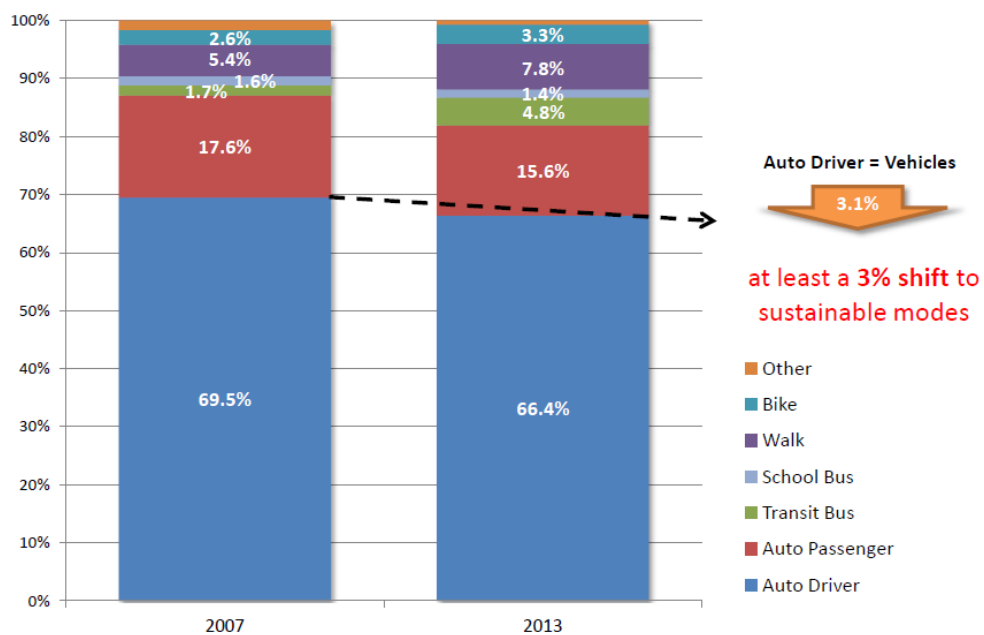


Exhibit 1.1 Peak Site Location

EcoLock Self Storage Parking & Loading Rationale
6226.01
September 2017

Figure 2.1: Kelowna Mode Split¹

Trip Mode Trend (24hr, Kelowna trip origins)



¹ 2013 Okanagan Travel Survey Findings & Comparison to 2007 Baseline

<<https://www.smarttrips.ca/sites/files/6/docs/related/2013-okanagantravelsurvey.pdf>>

3. PARKING REVIEW

3.1 Preamble

Self-storage as a use is not explicitly addressed within the Kelowna Zoning Bylaw. The self-storage parking and loading demand will be estimated using Bunt database information including observations of parking and loading activity at similar personal-storage facilities within Metro Vancouver.

“Coworking” offices typically provide office space and meeting rooms for tenants to rent for periods of time, ranging from a short one-time use to an ongoing lease. Because of its unique operation, the parking demand is not expected to align with the general “office” use set out in the Kelowna Zoning Bylaw. Instead, this report will estimate the parking demand using a first principles methodology based on the anticipated usage and occupancy, as well as tenant travel patterns and mode split.

The following sections outline the ‘off street’ minimum parking supply requirements of the City of Kelowna’s Zoning Bylaw as they apply to the proposed development, and also provides an analysis of the anticipated parking demand for the self storage and coworking office space components of the project.

3.2 Self Storage

3.2.1 Bylaw Requirements

The off-street parking requirements set out in the City of Kelowna’s Zoning Bylaw do not include a rate for self storage land use; the closest use is ‘warehousing and storage’ in the industrial section. A review of Metro Vancouver municipalities yielded various bylaw rates for ‘mini-warehouses,’ ‘commercial storage,’ and ‘self-storage.’ These are summarized in **Table 3.1** along with the number of parking stalls that each would require from the proposed development.

The table above shows a wide variance in parking requirements for storage units ranging from eight to nearly 90 parking spaces/loading bays. The City of Abbotsford is the only municipality that includes a bylaw rate specifically for self storage, which would require eight parking stalls for the proposed development. Because of this broad variation, we believe using actual parking data is more useful for determining the appropriate amount of parking to be provided.

Table 3.1: Self Storage Facilities - Municipal Bylaw Comparisons

MUNICIPALITY	BYLAW USE	RATE	PARKING STALLS
City of Abbotsford	Self-storage	1 space per 800 m ² of GFA	8
District of North Vancouver	Mini-warehousing	1 per 535 m ² of GFA	12
City of Richmond	Commercial storage	0.5 space per 100 m ² of Gross Leasable Floor Area up to 2,000 m ² , plus 0.2 per additional 100 m ²	19
City of Kelowna	Industrial – warehousing & storage	0.5 spaces per 100 m ² GFA, minimum 5	33
City of Coquitlam	Mini-warehouses	A space per 100 m ² of GFA	66
City of Burnaby	Mini-warehouses	1 space for each 10 storage units, or one for each 186 m ² of GFA, whichever is greater	89
City of Vancouver	Mini-storage warehouse	For visitors, a minimum of 2 spaces, situated in proximity to the office, at least one of which is a Class B loading space; for office use, a minimum of 1 space for each 100 m ² of GFA up to 300 m ² and an additional space for each additional 50 m ² of GFA; and, for each caretaker who resides on the premises, 1 additional space	3 including 1 Class B truck
		Class A loading spaces (car parking): 1 per 620m ² GFA Class B loading spaces (single unit truck): 1 per 1,860m ² GFA	11 Class A 4 Class B

3.2.2 Bunt Parking Database

In 2013, Bunt surveyed six self-storage locations to identify their parking and loading demand characteristics. Four of the units were in Metro Vancouver and two were in Calgary. They ranged in size from 812 to 1,462 storage units. The statistics and parking provisions are outlined in **Table 3.2**.

Table 3.2: Bunt Survey Data – Self Storage Parking and Loading Supply and Utilization

LOCATION	M² (NET)	# OF UNITS	TRUCK LOADING BAYS	CAR/VAN LOADING	PARKING (STAFF & CUSTOMER)		PEAK UTILIZATION
North Vancouver	8,816	1,032	5	4	7		n/a
West Vancouver	6,711	812	3	4	8		98%
Coquitlam	9,171	973	3	4	16		85%
Vancouver	11,948	1,372	5	2	5		86%
Calgary	13,307	1,462	4	0	5		81%
Calgary	12,410	1,443	4	2	9		
Averages	10,394	1,182	4.0	2.7	9.5	2.0	-
PROPOSED FACILITY	6,624	895	3.0 SPACES	2.1	5.7	1.5	-
				9.3 SPACES			

For the six facilities surveyed, the average facility size was 10,394 square metres with an average storage locker count of 1,182 units. For this 'typical facility' the number of truck loading bays was 4 and the number of automobile parking spaces provided was approximately 12 stalls for use by customers and employees.

3.2.3 Proposed Base Requirement

The proposed development will have 6,624m² (71,295 sq ft) of leasable storage space and 895 storage lockers as set out in **Table 3.3** and is about 25% smaller than the 'typical' facility described in the previous section.

Table 3.3: Proposed Self Storage Facility - Locker Mix

TYPE [FT]	LOCKER MIX	AREA [M ²]	AREA [SQ FT]	LOCKERS
5x5	20%	416	4,474	179
5x10	25%	1039	11,184	224
10x10	30%	2494	26,843	268
10x15	25%	2675	28,794	224
		71,309	6,625	895

Applying this 25% downward adjustment to the loading and parking provisions of the larger, typical facility identified in Section 3.2.2, yields a supply provision recommended for the proposed Kelowna facility of 3 truck and light truck/van loading bays and 9-10 car parking spaces for the combined use of customers enquiring at the storage facility office and/or accessing their storage lockers, and facility staff. This condition would be anticipated toward end of month when self storage activity is more pronounced. Outside of this end of month peak condition, the usage levels are anticipated to be more typically up to 2 truck and light truck/van loading bays in use and 5-6 cars parked during the midday period.

The recommended allocation of this loading/parking supply is summarized in **Table 3.4**.

Table 3.4: Self Storage Midday Parking Demand

	PEAK (END OF MONTH)	OTHER TIMES
Truck and van loading bays	3	2
Customer parking spaces	7-8	3-4
Staff parking spaces	2	2
	12-13 SPACES	7-8 SPACES

3.3 Coworking Office Space

3.3.1 Bylaw Requirements

Coworking office space is a relatively new office type use and not yet included in any BC municipality's zoning/parking bylaws. It is not directly comparable to traditional office space because users come and go more frequently and stay for shorter periods of time. As such, no bylaw comparison is provided in our report.

3.3.2 Parking Demand

To better understand the parking characteristics of coworking facilities, Bunt reached out to a successful coworking space called the 'Hive' in the Gastown area of downtown Vancouver. Anecdotally, the Director of Operations told us that the space tends to peak at approximately 75% of its total user base between 10 AM and 3 PM on weekdays.

As outlined previously, in 2013 the mode split for Kelowna was 66% automobile drivers. The proposed development is providing ample bicycle parking and facilities to encourage cycling with the aim of achieving a 50% automobile driver mode split. More information on the proposed bicycle facilities with the new development is included in Section 4.

3.3.3 Proposed Base Requirement

For conventional office space a 145 sq.m. floor area would typically accommodate up to 7-8 persons at 200 square feet per person. For the less structured coworking office format with its touchdown space for individual users and the two meeting rooms, it is not unreasonable to anticipate a more efficient usage of space and potentially up to 20 persons as a peak midday condition including staff. While direct application of BC Building Code maximum occupancy loads would suggest potentially up to approximately 50 person loads in the building, this level of activity would not be practical except on rare occasions.

Multiplying this 20 person 'practical capacity' with an assumed 75% typical daytime occupancy rate and 50% automobile driver mode split yields a midday parking demand estimate of approximately 7-8 vehicles between 10 AM and 3 PM on weekdays. Outside of this weekday, midday period and on weekends, the coworking use parking demand is anticipated to be typically in the range of 3-4 vehicles.

3.4 Shared Parking Review

Self storage and coworking have different parking demand profiles in regards to when each use needs the most parking during. The goal of shared parking is for a single parking space to serve more than one individual use at different, non-conflicting times of the day. By providing sufficient parking from a demand perspective through this sharing of spaces, the negative aspects of land and other resources dedicated to parking can be minimized.

As indicated previously, self storage use typically peak at the end of the month primarily on weekends and evenings, while typically coworking peaks from 10 AM – 3 PM on weekdays.

The anticipated parking demand for each use is summarized in **Table 3.5** below for the different time periods under consideration.

Table 3.5: Proposed Facility - Shared Parking Analysis – Parking and Loading Spaces Required

USE	END OF MONTH		TRUCK LOADING DEMAND	
	Weekday Midday	Evenings & Weekends	Weekday Midday	Evenings & Weekends
Self Storage	12-13	12-13	7-8	7-8
Coworking	7-8	3-4	7-8	3-4
TOTALS	19-25 SPACES	15-17 SPACES	14-16 SPACES	10-12 SPACES

As indicated, other than for the end of month peak activity period for self storage facilities, the weekday and weekend parking demand for the self storage facility and coworking office spaces is anticipated to be in the range of 10-16 spaces for car parking and loading. For the end of the month period, the peak demand for vehicle parking and truck and light truck/van loading spaces is estimated to be in the range of 19-25 spaces during the midday period, and 15-17 spaces during the early evening and on weekends.

3.5 Proposed Parking Supply

The proposed number of parking stalls is provided below in **Table 3.6**.

Table 3.6: Proposed Parking Supply

TYPE	STALLS
Accessible	1
Full Size	12
Truck Loading Bay (Full Size)	1
Car Loading Bay (Medium Size)	2
	16

With the 16 on-site parking/loading spaces proposed (13 parking spaces and 3 truck/van loading bays), the 'end of month' high activity period 19-25 parking spaces/loading bays required could potentially rely on up to 9 on-street parking spaces during the midday period. By evening time and on weekends, however, the reliance on street parking would be minimal if at all.

Outside of the peak 'end of month' activity period for the self storage facility, the weekday midday and evening/weekend parking/loading demand is anticipated to be in the range of 10-16 vehicles and able to be fully accommodated on site with no reliance on street parking.

3.6 Transportation Demand Management

Transportation Demand Management (TDM) is defined as the “application of strategies and policies to reduce travel demand (specifically that of single-occupancy private vehicles), or to redistribute this demand in space or in time”². A successful TDM program can influence travel behaviour away from Single Occupant Vehicle (SOV) travel during peak periods towards more sustainable modes such as High Occupancy Vehicle (HOV) travel, transit, cycling or walking. The responsibility for implementation of TDM measures can range across many groups, including regional and municipal governments, transit agencies, private developers, residents/resident associations or employers.

3.6.1 Cycling Facilities

Well managed, secure, accessible and covered bicycle parking will be provided as part of the development plan. Class I bicycle parking is intended to be long term and secure, including bicycle lockers or rooms equipped for bicycle storage. Class II is intended for short term visitors and includes racks or easily accessible lockers. The bylaw requirements are summarized in **Table 3.7**.

Table 3.1: Bicycle Parking Bylaw Requirement

LAND USE	DENSITY [M ²]	CLASS I RATE	CLASS II RATE	CLASS I	CLASS II
GENERAL INDUSTRIAL USES	10,270	-	0.30 PER 100M ² GLA	-	31

Based on the provisions of the City of Kelowna Zoning Bylaw, the development requires zero Class I and 31 Class II bicycle parking spaces, which are not reflective of the users’ needs. Instead, the developer proposes to go above-and-beyond the City’s bicycle requirement by providing 36 Class I spaces and 8 Class II spaces.

Furthermore, to demonstrate leadership in promoting bike usage, the bicycle room will be designed to encourage cycling through ease of use and location on Level 1. It will include both horizontal and vertical bike stalls as well as overhead gear lockers. Shower facilities will be provided on Level 2.

² FHWA Travel Demand Management <<http://ops.fhwa.dot.gov/tdm/index.htm>>

4. CONCLUSIONS

- The City of Kelowna Zoning Bylaw does not specifically provide an off-street minimum parking supply requirement for the two component uses proposed for the development, namely self storage facility and coworking office space.
- Based on Bunt parking database information, the typical parking demand for the proposed development (self storage and coworking space combined) is predicted to be in the range of 14-16 spaces for vehicle parking and truck/van loading during the weekday daytime, and between 10-12 spaces in the evening and the weekend daytime period.
- For the few days at the end of each month when activity at self storage facilities is typically busiest, the predicted parking demand for the development is predicted to increase to between 19-25 spaces during the weekday daytime, and between 15-17 spaces during the early evening and on weekends.
- The development plan provides a total of 16 spaces on-site include 3 truck and light truck/van loading bays plus 13 car parking spaces all located on the site with a single driveway access to Bay Avenue.
- The proposed 16 loading/parking spaces for the development are anticipated to be sufficient to accommodate the weekday daytime, evening and weekend demand associated with the planned development for most of the time. The exception would be for the few weekdays at the end of each month where the midday loading/parking demand of 19-25 vehicles will potentially require use of a limited amount of street parking (fewer than 10 spaces).
- To promote bicycle usage and reduce vehicle parking demand, the project is proposing to provide additional bike parking well beyond the 31 Class II space requirement of the Zoning Bylaw. The proposed 36 Class I (covered and secured) spaces and 8 Class II spaces, together with end of trip change room, lockers and shower facilities, should be quite effective in encouraging bike trips to the building, particularly for the coworking component of the project.

* * * * *

Development Permit & Development Variance Permit DP17-0203 & DVP17-0233



This permit relates to land in the City of Kelowna municipally known as

437 Bay Ave

and legally known as

Lot 2 District Lot 139, ODYD, Plan KAP68693

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

S.8 Table 8.1 Parking Schedule

To vary the minimum number of parking stalls provided from 204 stalls to 13 stalls.

S.8 Table 8.2 Loading Schedule

To vary the minimum number of loading stalls provided from 6 stalls to 3 stalls.

S.8 Table 8.3 Bicycle Parking Schedule

To reduce the minimum number of class 2 bicycle parking stalls provided from 31 stalls to 8 stalls.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: December 5th 2017

Decision By: CITY COUNCIL

Issued Date: **DATE**

Development Permit Area: Comprehensive Development Permit Area

File Manager: AC

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: I4 – Central Industrial

Future Land Use Designation: IND – Industrial

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Carbon Capture Mini Storage (Kelowna) GP Ltd
Address: 206 – 15388 24th Ave
City: Surrey, BC
Phone: n/a

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of **\$75,606.25** **OR**
- b) An Irrevocable Letter of Credit in the amount of **\$75,606.25**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

SCHEDULE

A&B

This forms part of application

DP17-0073 / DVP17-0074

Planner
Initials

AC

City of
Kelowna

COMMUNITY PLANNING



EcoLock Self Storage

Comprehensive Development Permit Application to the City of Kelowna

22 September, 2017

PROJECT ADDRESS: 437 Bay Avenue, Kelowna, BC V1Y 7S3

LEGAL DESCRIPTION: Lot 1 and 2, DL 139, ODYD, Plan KAP68693



EcoLock Self Storage

437 Bay Avenue

Kelowna, BC, V1Y 7S3

Architect of Record:

DiStefano Jaud
Architecture

DiStefano Jaud Architecture

3 -1331 Ellis Street

Kelowna, BC, V1Y 1Z9

t 250 868 9278

Design Consultant:



McLennan Design

175 Parfitt Way SW, Suite N160

Bainbridge Island, WA 98110

t 206 219 5365

Key Plan

Professional Seals

No.	Issue Description	YYYY-MM-DD
1	DPA	2017-03-17

No.	Revision Description	YYYY-MM-DD

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Project No. 16032

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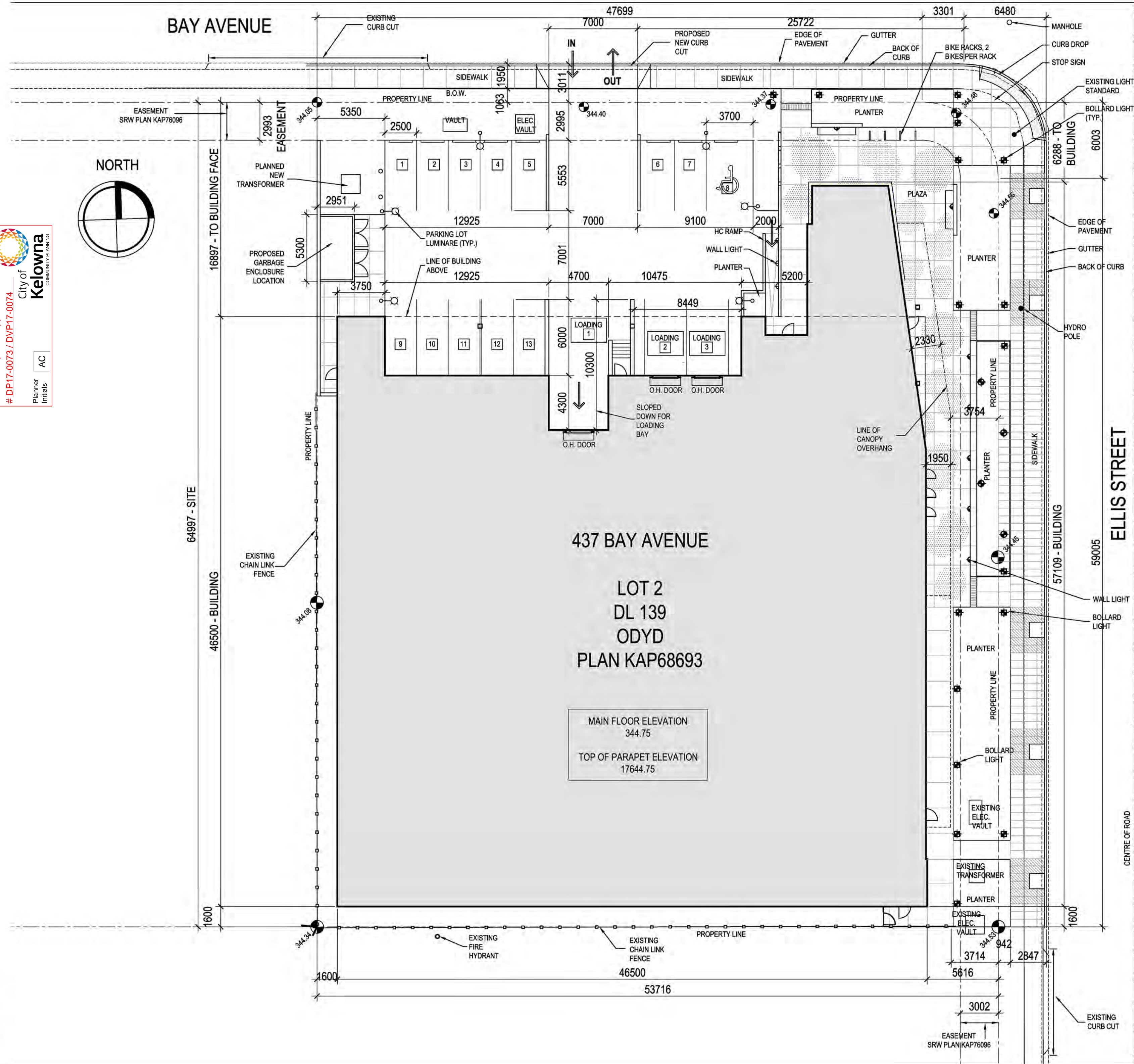
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Sheet Number:

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SCHEDULE A&B
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 # DP17-0073 / DVP17-0074
 City of Kelowna
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 Planner Initials AC



EcoLock Self Storage

437 Bay Avenue
 Kelowna, BC, V1Y 7S3

Architect of Record:

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 Architecture

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Design Consultant:



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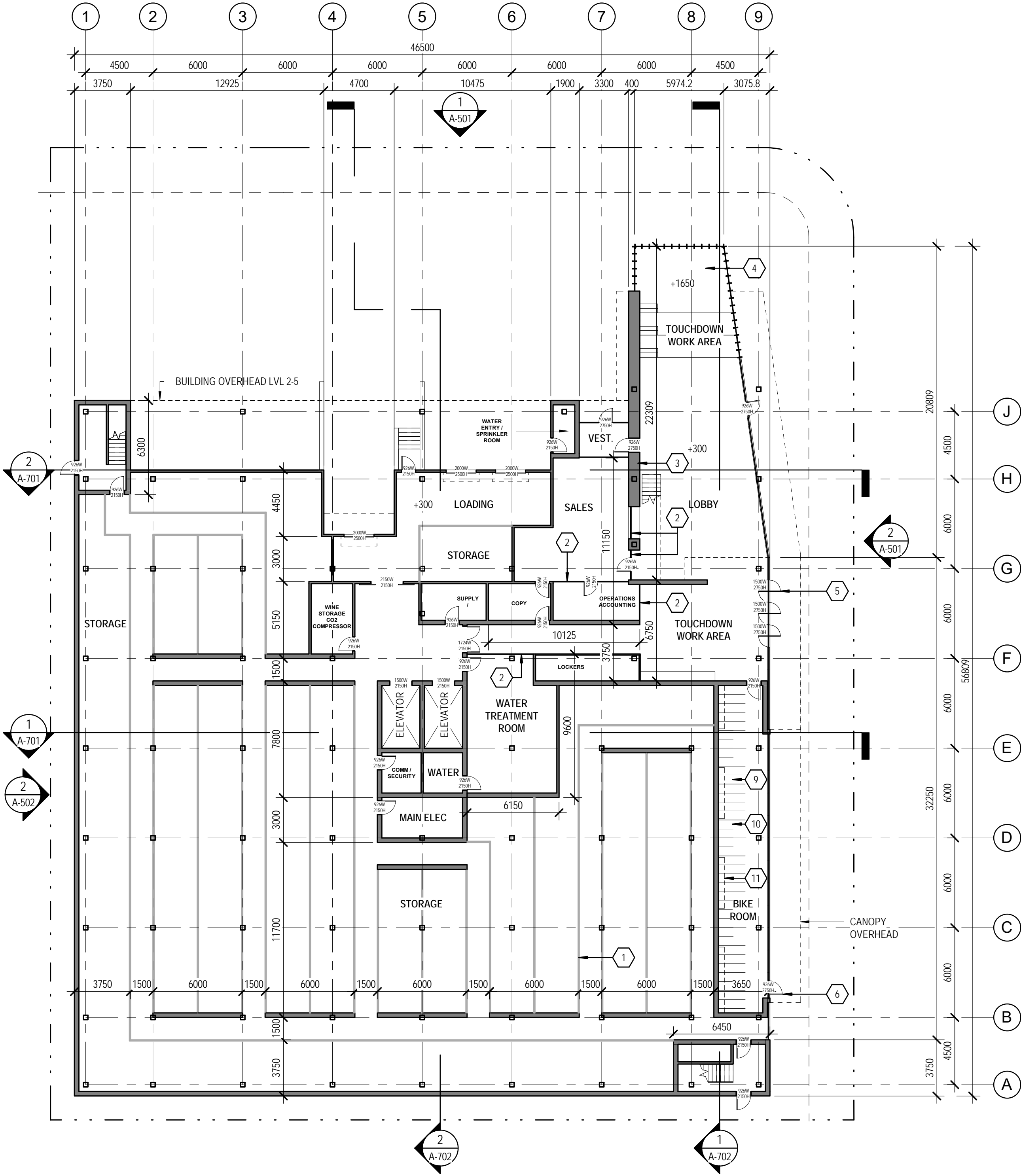
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Sheet Number:

A-101



GENERAL NOTES

1. PROJECT ADDRESS:
437 BAY AVENUE
KELOWNA, BC V1Y 7S3

2. LEGAL DESCRIPTION:
LOT 1 AND 2
DL 139
ODYD
PLAN KAP68693

KEYNOTES LEGEND

1. CORRUGATED METAL STORAGE
LOCKER SYSTEMS

2. VIEWING WINDOW

3. FEATURE WALL

4. RAISED SEATING PLATFORM WITH
WATER CISTERN BELOW

5. GLASS PIVOT DOORS 1500W 2750H

6. KEYCODE ACCESS BIKE ROOM DOOR

7. CONSTRUCTED WETLAND

8. SECURED OPERABLE WINDOW
PANEL FOR CONSTRUCTED
WETLAND MAINTENANCE ACCESS

9. HORIZONTAL CLASS I BIKE STALL
600W 1800D

10. VERTICAL CLASS I BIKE STALL
600W 1000D

11. OVERHEAD BIKE GEAR LOCKERS

eco
LOCK

EcoLock Self Storage

437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

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Design Consultant:

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Key Plan

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2017-03-17

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Sheet Title:

FLOOR PLAN - LEVEL 1

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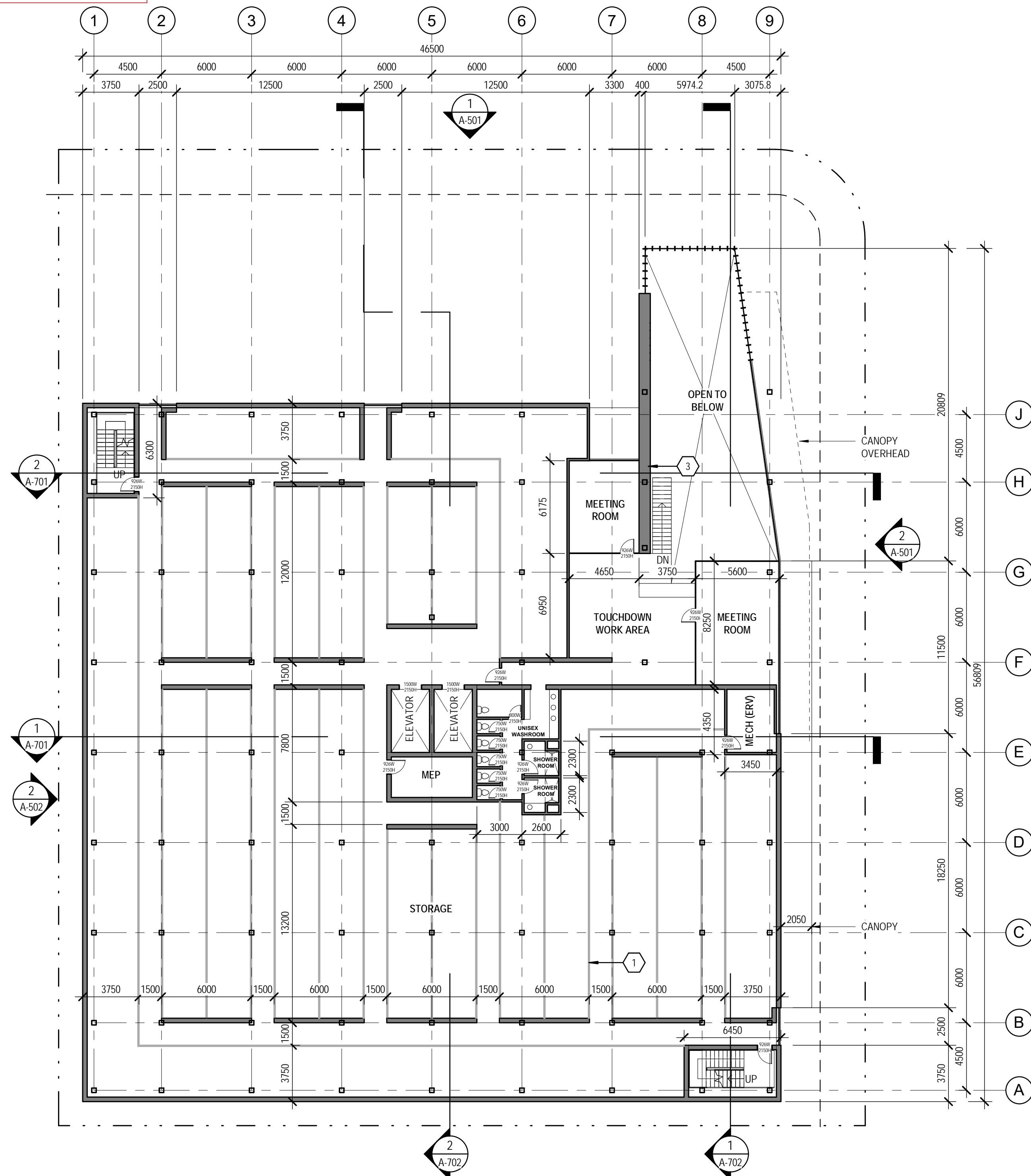
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DP17-0073 / DVP17-0074



Planner Initials AC

City of Kelowna
COMMUNITY PLANNING



GENERAL NOTES

1. PROJECT ADDRESS:
437 BAY AVENUE
KELOWNA, BC V1Y 7S3
2. LEGAL DESCRIPTION:
LOT 1 AND 2
DL 139
ODYD
PLAN KAP68693

KEYNOTES LEGEND

1. CORRUGATED METAL STORAGE LOCKER SYSTEMS
2. VIEWING WINDOW
3. FEATURE WALL
4. RAISED SEATING PLATFORM WITH WATER CISTERN BELOW
5. GLASS PIVOT DOORS 1500W 2750H
6. KEYCODE ACCESS BIKE ROOM DOOR
7. CONSTRUCTED WETLAND
8. SECURED OPERABLE WINDOW PANEL FOR CONSTRUCTED WETLAND MAINTENANCE ACCESS
9. HORIZONTAL CLASS I BIKE STALL 600W 1800D
10. VERTICAL CLASS I BIKE STALL 600W 1000D
11. OVERHEAD BIKE GEAR LOCKERS

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1	DPA	2017-03-17

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FLOOR PLAN - LEVEL 2

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EcoLock Self Storage

437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

DiStefano Jaud
Architecture

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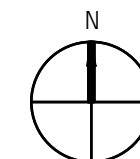
Design Consultants:



McLennan Design

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t 206 219 5365

Key Plan



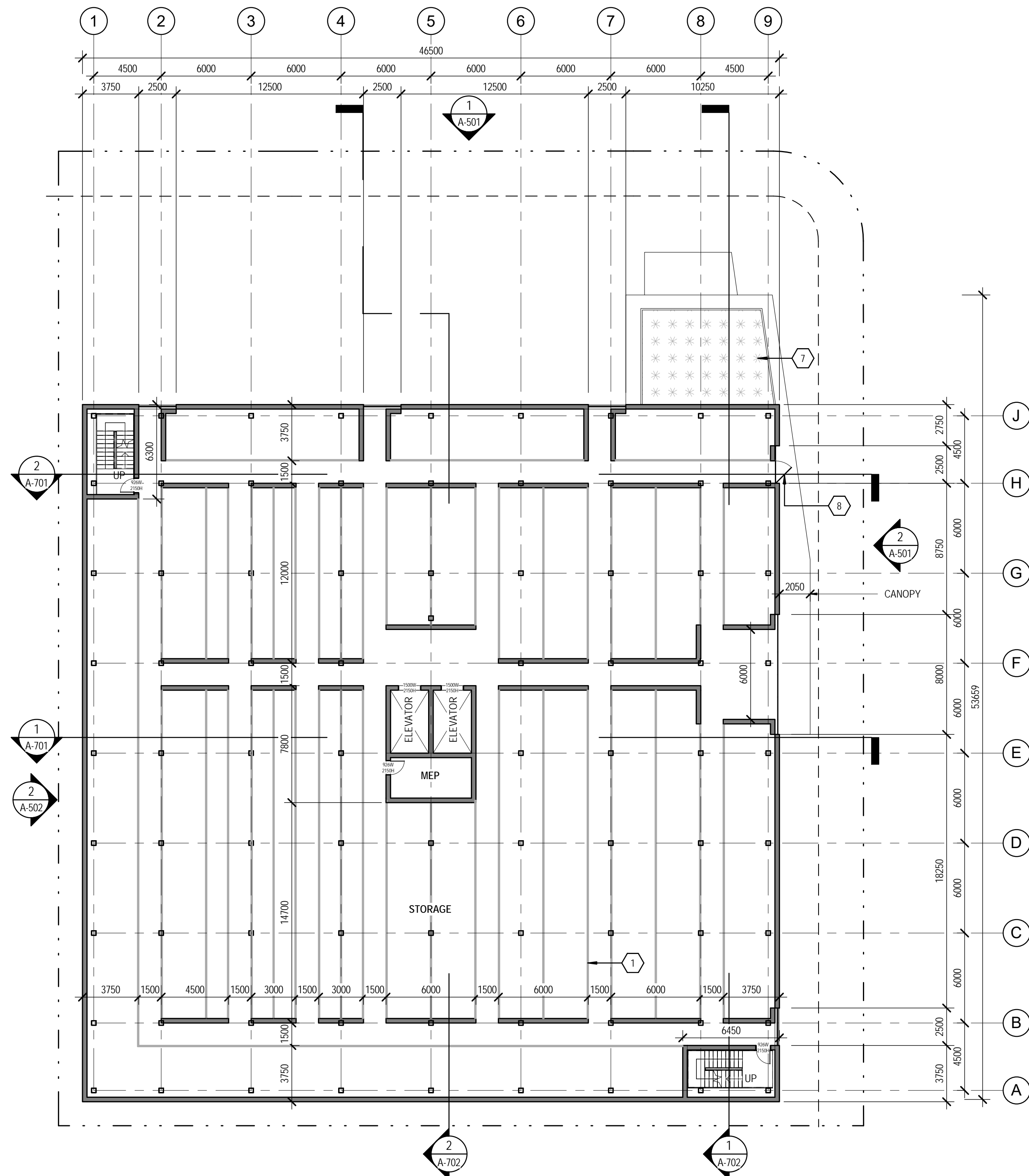
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GENERAL NOTES

1. PROJECT ADDRESS:
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2. LEGAL DESCRIPTION:
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DL 139
ODYD
PLAN KAP68693

KEYNOTES LEGEND

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10. VERTICAL CLASS I BIKE STALL 600W 1000D
11. OVERHEAD BIKE GEAR LOCKERS

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FLOOR PLAN - LEVEL 3

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EcoLock Self Storage

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Architect of Record:

DiStefano Jaud
Architecture

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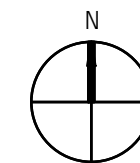
Design Consultant:



McLennan Design

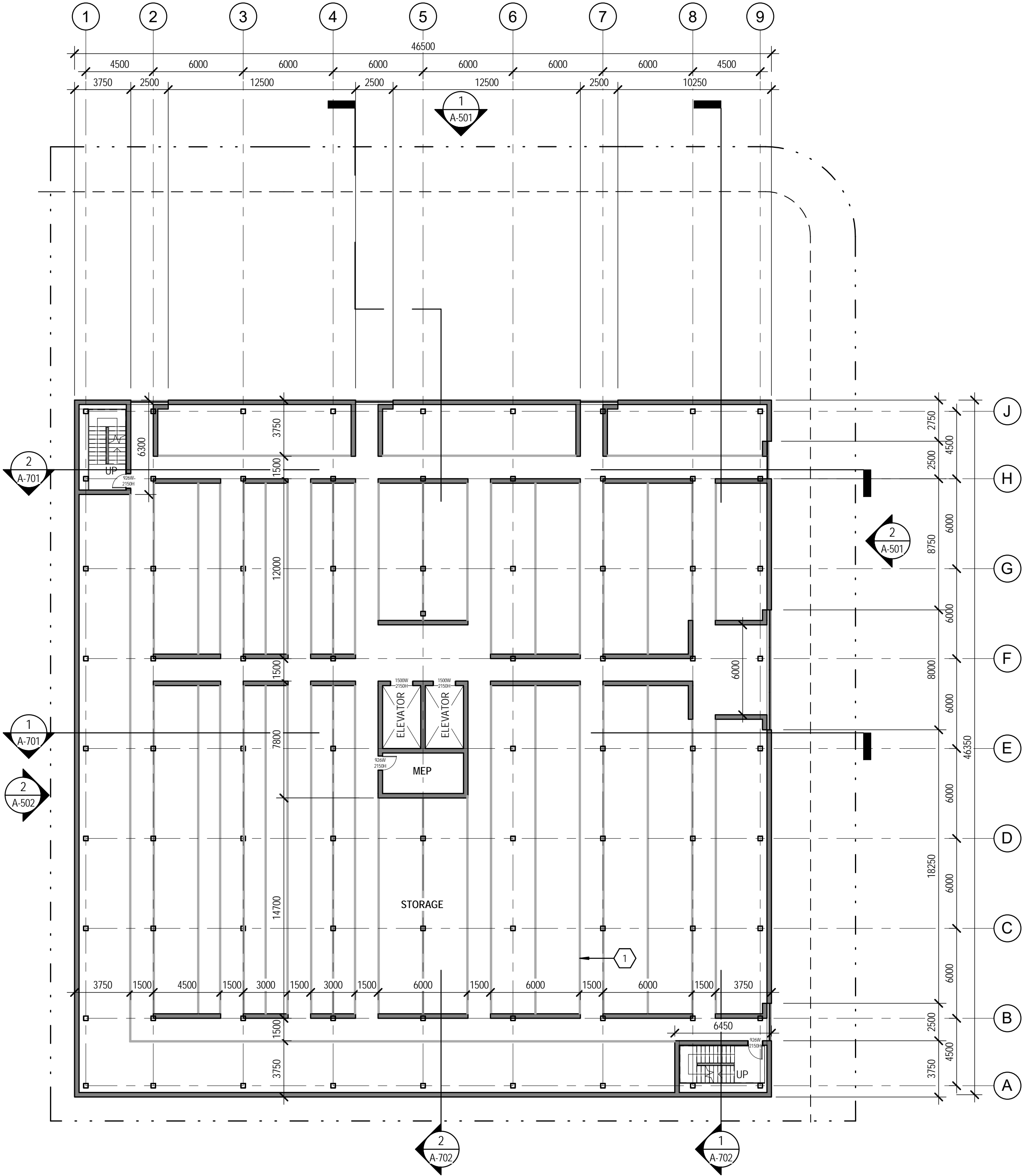
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Key Plan



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- GENERAL NOTES
1. PROJECT ADDRESS:
437 BAY AVENUE
KELOWNA, BC V1Y 7S3

2. LEGAL DESCRIPTION:
LOT 1 AND 2
DL 139
ODYD
PLAN KAP68693
- KEYNOTES LEGEND
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600W 1800D

10. VERTICAL CLASS I BIKE STALL
600W 1000D

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LOCK

EcoLock Self Storage

437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

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Design Consultant:

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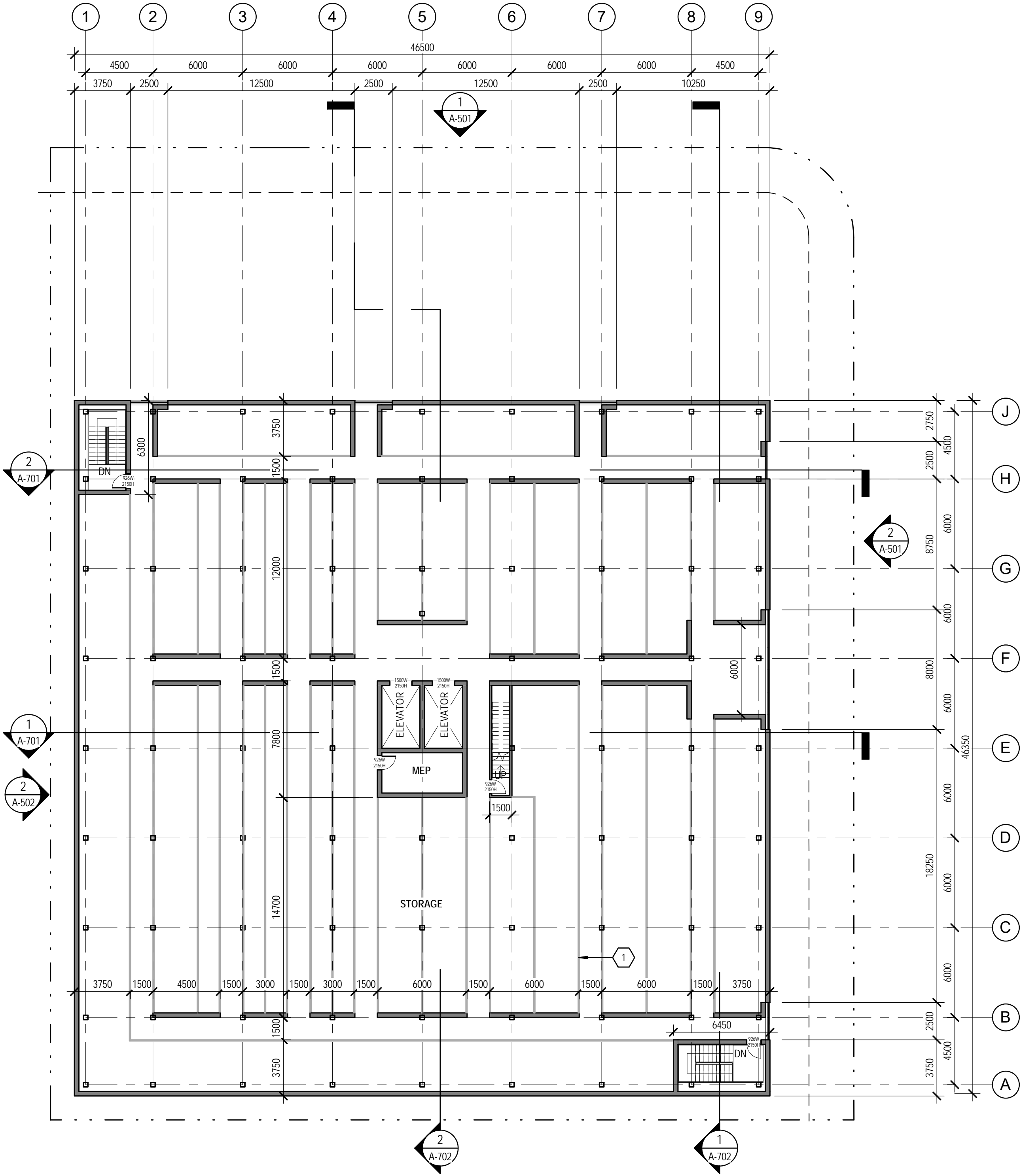
FLOOR PLAN - LEVEL 4

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GENERAL NOTES

1. PROJECT ADDRESS:
437 BAY AVENUE
KELOWNA, BC V1Y 7S3

2. LEGAL DESCRIPTION:
LOT 1 AND 2
DL 139
ODYD
PLAN KAP68693

KEYNOTES LEGEND

1. CORRUGATED METAL STORAGE
LOCKER SYSTEMS

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WATER CISTERN BELOW

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11. OVERHEAD BIKE GEAR LOCKERS

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LOCK

EcoLock Self Storage

437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

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Architecture

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Design Consultant:

McLennan Design

175 Parfitt Way SW, Suite N160
Bainbridge Island, WA 98110
t 206 219 5365

Key Plan

Professional Seals

No.	Issue Description	YYYY-MM-DD
1	DPA	2017-03-17

No.	Revision Description	YYYY-MM-DD

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Project No. 16032

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FLOOR PLAN - LEVEL 5

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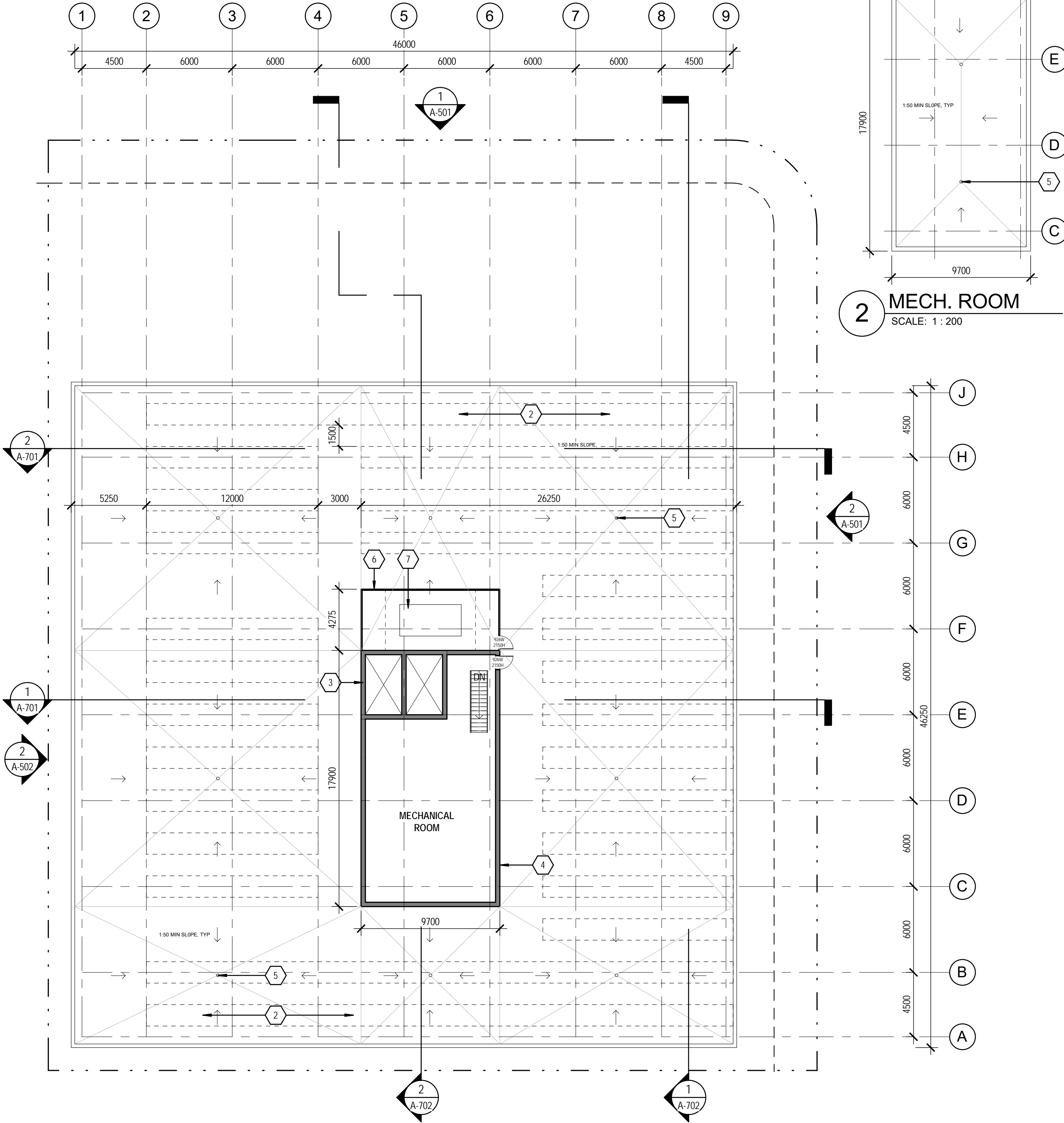
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GENERAL NOTES

1. PROJECT ADDRESS:
437 BAY AVENUE
KELOWNA, BC V1Y 7S3

2. LEGAL DESCRIPTION:
LOT 1 AND 2
DL 139
ODYD
PLAN KAP68693

KEYNOTES LEGEND

?

1. ROOF ACCESS HATCH

2. PHOTOVOLTAIC PANELS

3. ELEVATOR OVERUN

4. SCREENING FOR MEP PENTHOUSE

5. ROOF DRAIN

6. CORRUGATED METAL SCREEN

7. AIR SOURCE HEAT PUMP
(2200W 4300L 2500H)

eco
LOCK

EcoLock Self Storage

437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

DiStefano Jaud
Architecture

DiStefano Jaud Architecture

3 -1331 Ellis Street
Kelowna, BC, V1Y 1Z9
t 250 868 9278

Design Consultant:

McLennan Design

175 Parfitt Way SW, Suite N160
Bainbridge Island, WA 98110
t 206 219 5365

Key Plan

N

Professional Seals

No.	Issue Description	YYYY-MM-DD
1	DPA	2017-03-17

No.	Revision Description	YYYY-MM-DD

Drawn by BG Reviewed by DJA

Project No. 16032

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Sheet Title:

ROOF PLAN

SCALE: 1 : 200

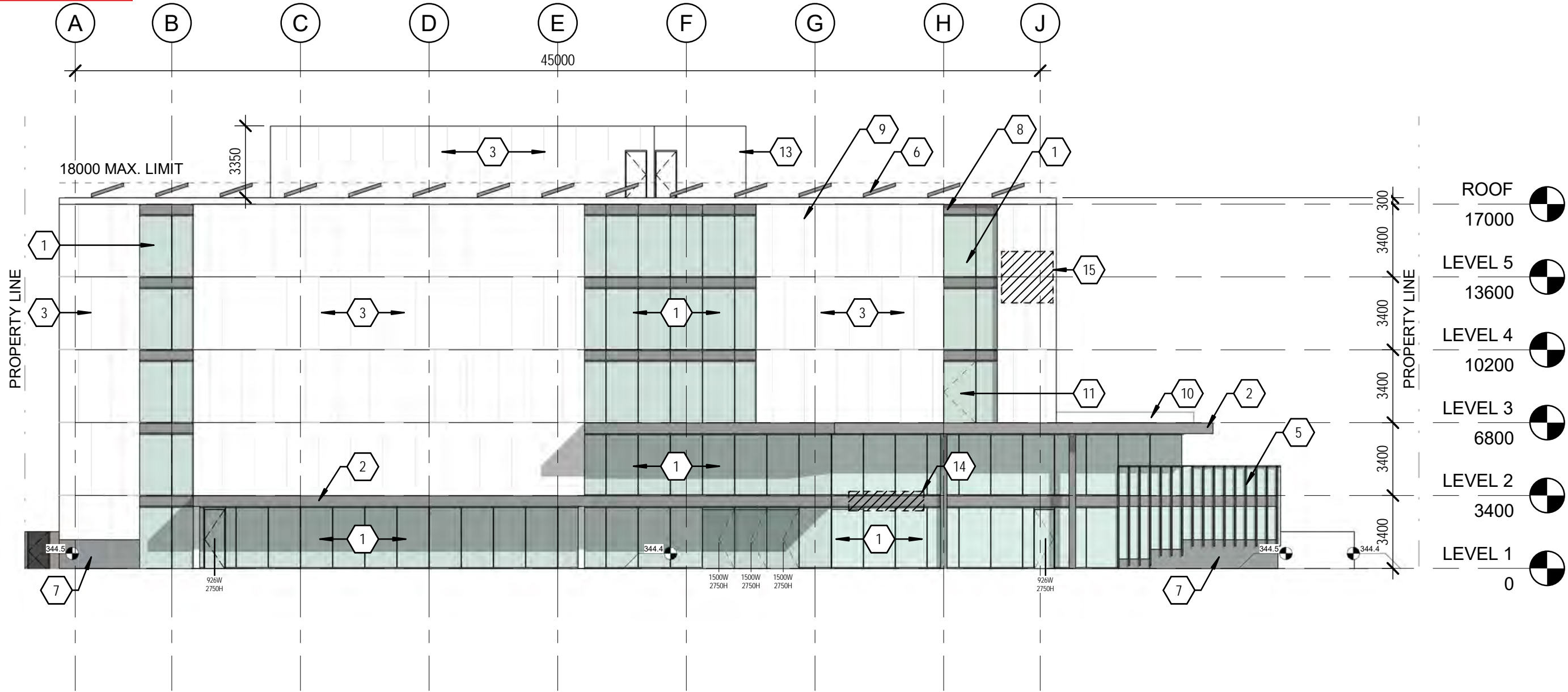
Original drawing is 18x24. Do not scale contents of this drawing.

Sheet Number:

A-241

9/22/2017 5:32:11 PM

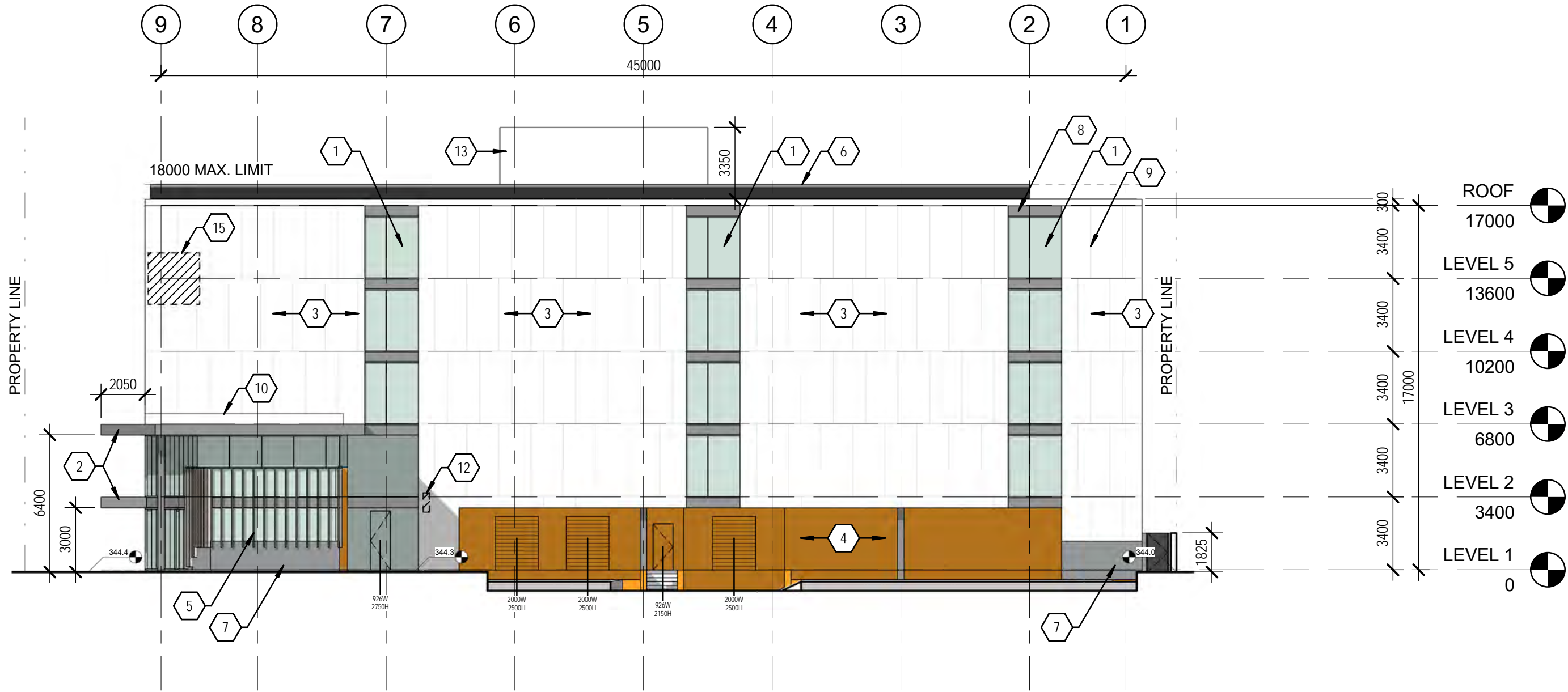
164



2

EAST ELEVATION

SCALE: 1 : 200



1

NORTH ELEVATION

SCALE: 1 : 200

GENERAL NOTES

1. PROJECT ADDRESS:
437 BAY AVENUE
KELOWNA, BC V1Y 7S3
2. LEGAL DESCRIPTION:
LOT 1 AND 2
DL 139
ODYD
PLAN KAP68693

KEYNOTES LEGEND

1. OPERABLE STOREFRONT SYSTEM
WITH HIGH PERFORMANCE CLEAR
GLAZING
2. PRECAST CONCRETE
3. ACB (AUTOCLOAVED CELLULAR BLOCK)
WITH INTEGRAL COLOR LIME PLASTER
FINISH - WHITE, PT-1
4. ACB (AUTOCLOAVED CELLULAR BLOCK)
WITH INTEGRAL COLOR LIME PLASTER
FINISH - BRANDING COLOR, PT-4
5. RECLAIMED TIMBER SCREEN
6. PHOTOVOLTAIC PANELS
7. CAST-IN-PLACE CONCRETE
8. WOOD RAINSCREEN
9. JOINT REVEALS AND EXPANSION
JOINTS: FINAL LOCATIONS SUBJECT
TO ENGINEERING AND AESTHETIC
REFINEMENT
10. CONSTRUCTED WETLAND
11. SECURED OPERABLE WINDOW
PANEL FOR CONSTRUCTED
WETLAND MAINTENANCE ACCESS
12. ILLUMINATED BLADE SIGNAGE
1200W 500H (SEE MATERIAL BOARDS)
13. CORRUGATED METAL SCREEN
14. ILLUMINATED PIN MOUNTED SIGNAGE
2400W 500H
15. ILLUMINATED BRAND SIGNAGE
2400W 2400H



EcoLock Self Storage

437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

DiStefano Jaud
Architecture

DiStefano Jaud Architecture

3 -1331 Ellis Street
Kelowna, BC, V1Y 1Z9
t 250 868 9278

Design Consultant:



McLennan Design

175 Parfitt Way SW, Suite N160
Bainbridge Island, WA 98110
t 206 219 5365

Key Plan

Professional Seals

No.	Issue Description	YYYY-MM-DD
1	DPA	2017-03-17

No.	Revision Description	YYYY-MM-DD

Drawn by BG Reviewed by DJA

Project No. 16032

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Sheet Title:

EXTERIOR ELEVATIONS

Original drawing is 18x24. Do not scale contents of this drawing.

Sheet Number:

A-501

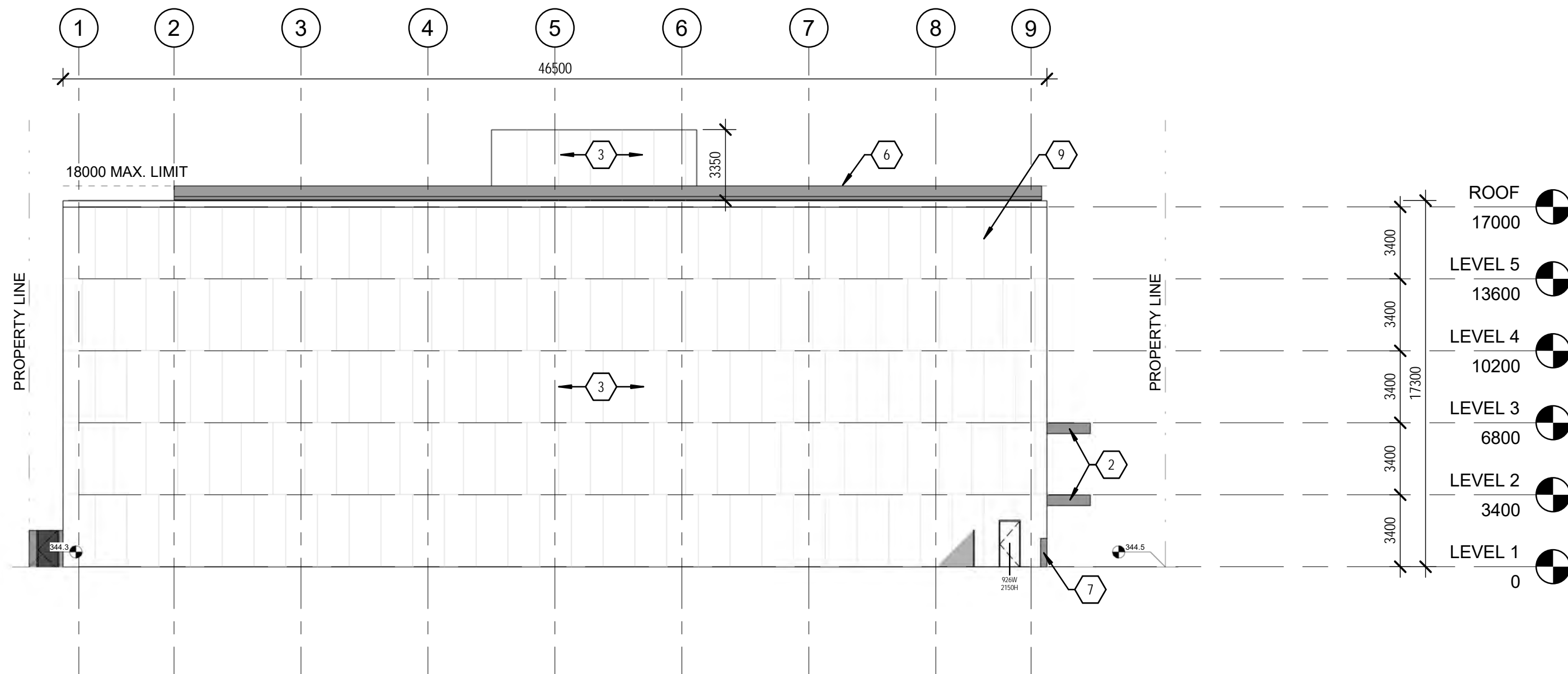
Forms part of application
DVP17-0073 / DVP17-0074

City of Kelowna
COMMUNITY PLANNING



2 WEST ELEVATION

SCALE: 1 : 200



1 SOUTH ELEVATION

SCALE: 1 : 200

GENERAL NOTES

1. PROJECT ADDRESS:
437 BAY AVENUE
KELOWNA, BC V1Y 7S3
2. LEGAL DESCRIPTION:
LOT 1 AND 2
DL 139
ODYD
PLAN KAP68693

KEYNOTES LEGEND

1. OPERABLE STOREFRONT SYSTEM WITH HIGH PERFORMANCE CLEAR GLAZING
2. PRECAST CONCRETE
3. ACB (AUTOCLAVED CELLULAR BLOCK) WITH INTEGRAL COLOR LIME PLASTER FINISH - WHITE, PT-1
4. ACB (AUTOCLAVED CELLULAR BLOCK) WITH INTEGRAL COLOR LIME PLASTER FINISH - BRANDING COLOR, PT-4
5. RECLAIMED TIMBER SCREEN
6. PHOTOVOLTAIC PANELS
7. CAST-IN-PLACE CONCRETE
8. WOOD RAINSCREEN
9. JOINT REVEALS AND EXPANSION JOINTS: FINAL LOCATIONS SUBJECT TO ENGINEERING AND AESTHETIC REFINEMENT
10. CONSTRUCTED WETLAND
11. SECURED OPERABLE WINDOW PANEL FOR CONSTRUCTED WETLAND MAINTENANCE ACCESS
12. ILLUMINATED BLADE SIGNAGE
1200W 500H (SEE MATERIAL BOARDS)
13. CORRUGATED METAL SCREEN
14. ILLUMINATED PIN MOUNTED SIGNAGE
2400W 500H
15. ILLUMINATED BRAND SIGNAGE
2400W 2400H



EcoLock Self Storage

437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

DiStefano Jaud
Architecture

DiStefano Jaud Architecture

3 -1331 Ellis Street
Kelowna, BC, V1Y 1Z9
t 250 868 9278

Design Consultant:



McLennan Design

175 Parfitt Way SW, Suite N160
Bainbridge Island, WA 98110
t 206 219 5365

Key Plan

Professional Seals

No.	Issue Description	YYYY-MM-DD
1	DPA	2017-03-17

No.	Revision Description	YYYY-MM-DD
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Drawn by BG Reviewed by DJA

Project No. 16032

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Sheet Title:

EXTERIOR ELEVATIONS

Original drawing is 18x24. Do not scale contents of this drawing.

Sheet Number:

A-502

SCHEDULE

A&B

This forms part of application

DP17-0073 / DVP17-0074

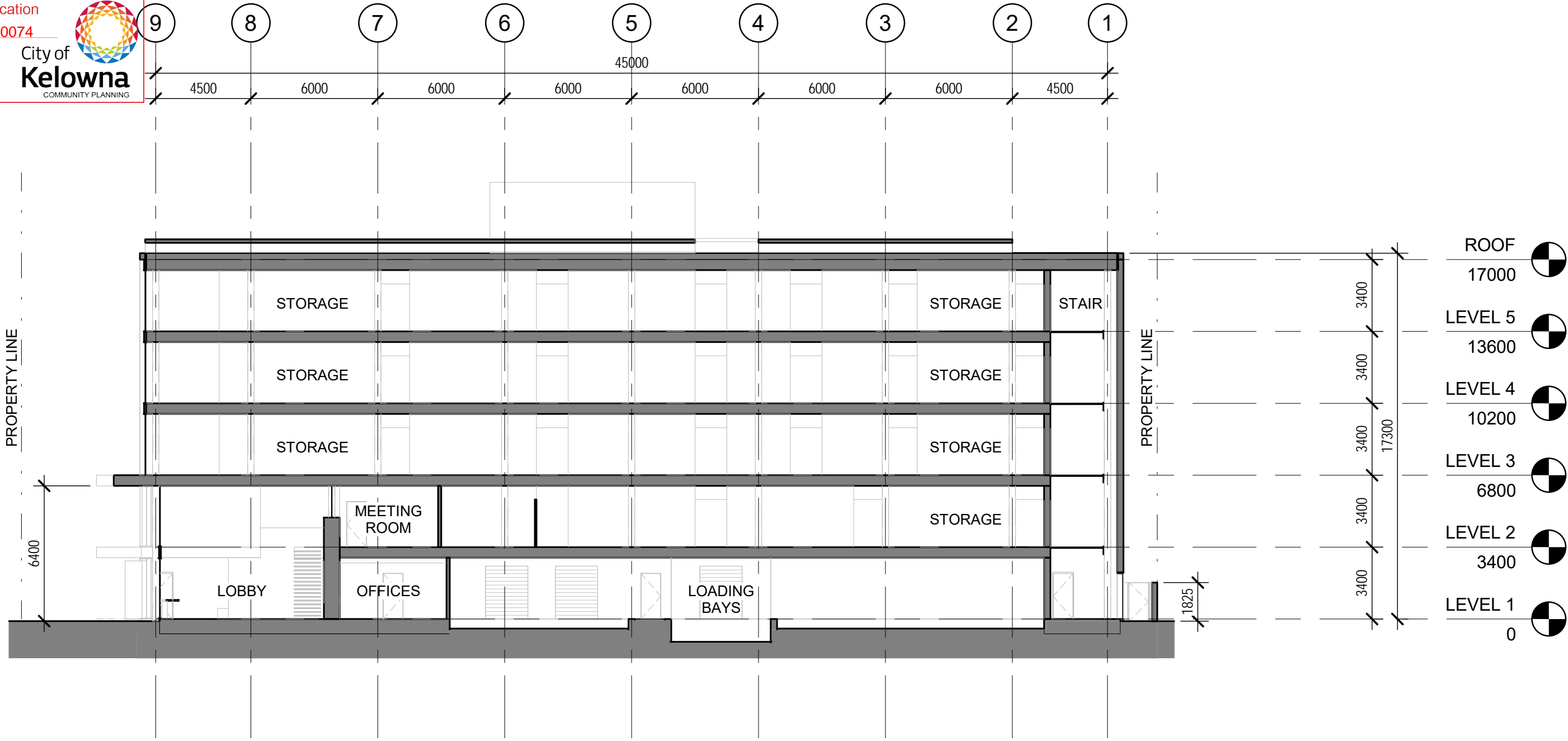
Planner

Initials

AC

City of Kelowna

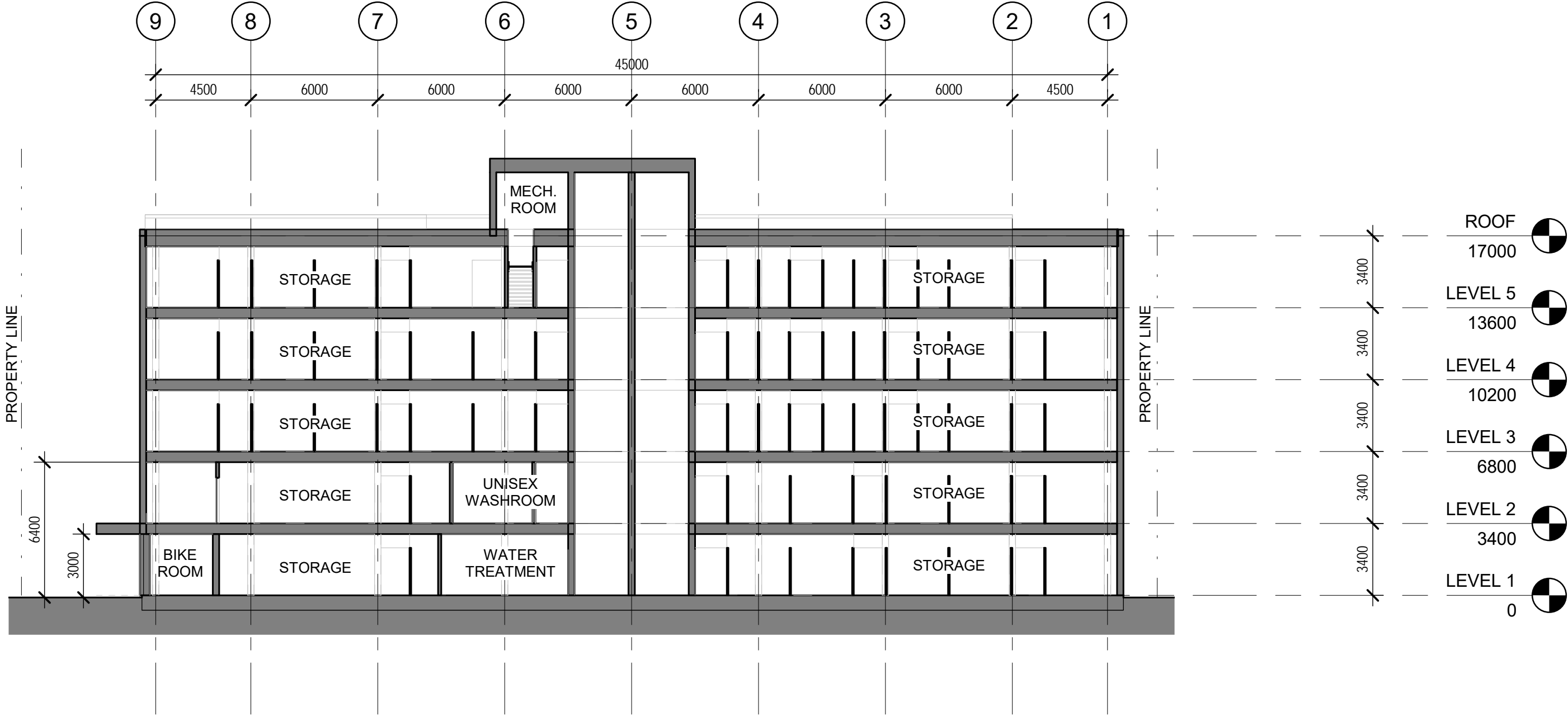
COMMUNITY PLANNING



2

SECTION E/W 2

SCALE: 1 : 200



1

SECTION E/W 1

SCALE: 1 : 200

GENERAL NOTES

1. PROJECT ADDRESS:
437 BAY AVENUE
KELOWNA, BC V1Y 7S3

2. LEGAL DESCRIPTION:
LOT 1 AND 2
DL 139
ODYD
PLAN KAP68693

KEYNOTES LEGEND

?

1. FOR FUTURE USE

ecoLock

EcoLock Self Storage

437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

DiStefano Jaud Architecture

3 -1331 Ellis Street
Kelowna, BC, V1Y 1Z9
t 250 868 9278

Design Consultant:

McLennan Design

175 Parfitt Way SW, Suite N160
Bainbridge Island, WA 98110
t 206 219 5365

Key Plan

Professional Seals

No.	Issue Description	YYYY-MM-DD
1	DPA	2017-03-17

No.	Revision Description	YYYY-MM-DD

Drawn by

BG

Reviewed by

DJA

Project No.

16032

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Sheet Title:

BUILDING SECTIONS

Original drawing is 18x24. Do not scale contents of this drawing.

Sheet Number:

A-701

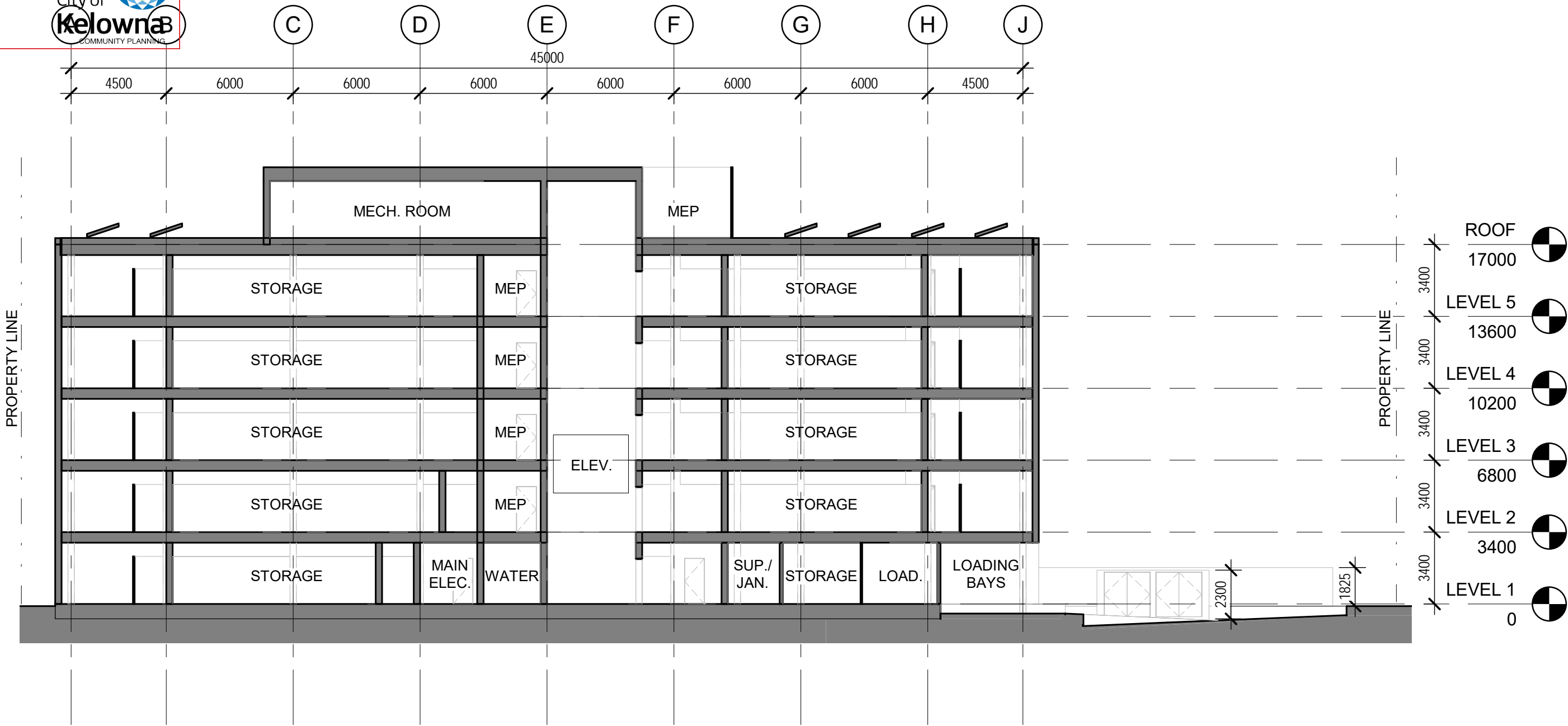
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167

SCHEDULE A&B

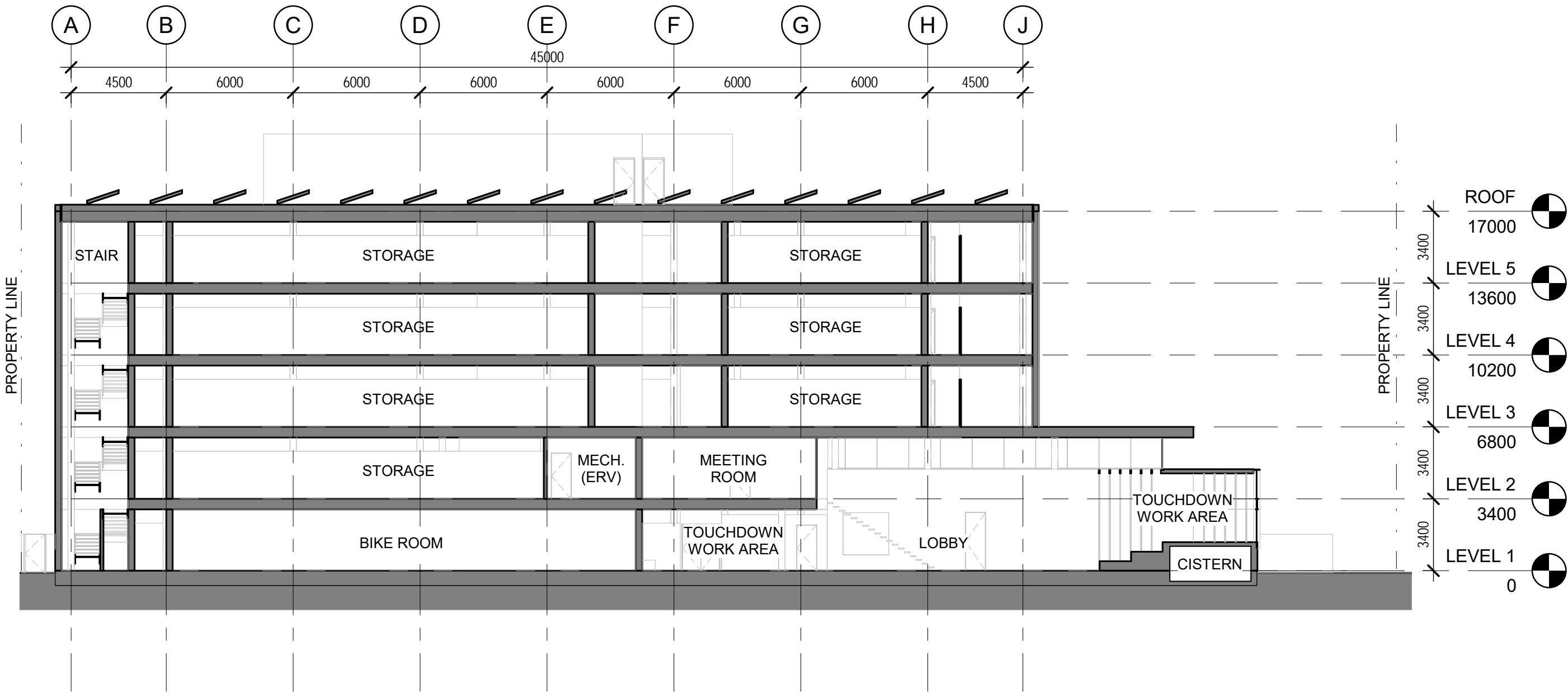
This forms part of application
DP17-0073 / DVP17-0074

Planner
Initials AC



2 SECTION N/S 2

SCALE: 1 : 200



1 SECTION N/S 1

SCALE: 1 : 200

GENERAL NOTES

1. PROJECT ADDRESS:
437 BAY AVENUE
KELOWNA, BC V1Y 7S3
2. LEGAL DESCRIPTION:
LOT 1 AND 2
DL 139
ODYD
PLAN KAP68693

KEYNOTES LEGEND

1. FOR FUTURE USE



EcoLock Self Storage

437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

DiStefano Jaud
Architecture

DiStefano Jaud Architecture

3 -1331 Ellis Street
Kelowna, BC, V1Y 1Z9
t 250 868 9278

Design Consultant:



McLennan Design

175 Parfitt Way SW, Suite N160
Bainbridge Island, WA 98110
t 206 219 5365

Key Plan

Professional Seals

No.	Issue Description	YYYY-MM-DD
1	DPA	2017-03-17

No.	Revision Description	YYYY-MM-DD
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Project No. 16032

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Sheet Title:

BUILDING SECTIONS

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Sheet Number:

A-702



ELLIS & BAY INTERSECTION - NW CORNER



ELLIS & BAY INTERSECTION - NE & SE CORNERS



ELLIS & BAY INTERSECTION - SW CORNER (SITE)



AERIAL OF SITE AND SURROUNDING CONTEXT



EcoLock Self Storage
437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

DiStefano Jaud Architecture
DiStefano Jaud Architecture
3 - 1331 Ellis Street
Kelowna, BC, V1Y 1Z9
t 250 868 9278

Design Consultant:

McLennan Design
175 Parfitt Way SW, Suite N160
Bainbridge Island, WA 98110
t 206 219 5365

Key Plan

Professional Seals

No.	Issue Description	YYYY-MM-DD
1	DPA	2017-03-17

No.	Revision Description	YYYY-MM-DD

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Project No. 16032

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Sheet Title:

SITE PHOTOS

Original drawing is 18x24. Do not scale contents of this drawing.

Sheet Number:

A-901

SCHEDULE

A&B

This forms part of application

DP17-0073 / DVP17-0074

Planner Initials

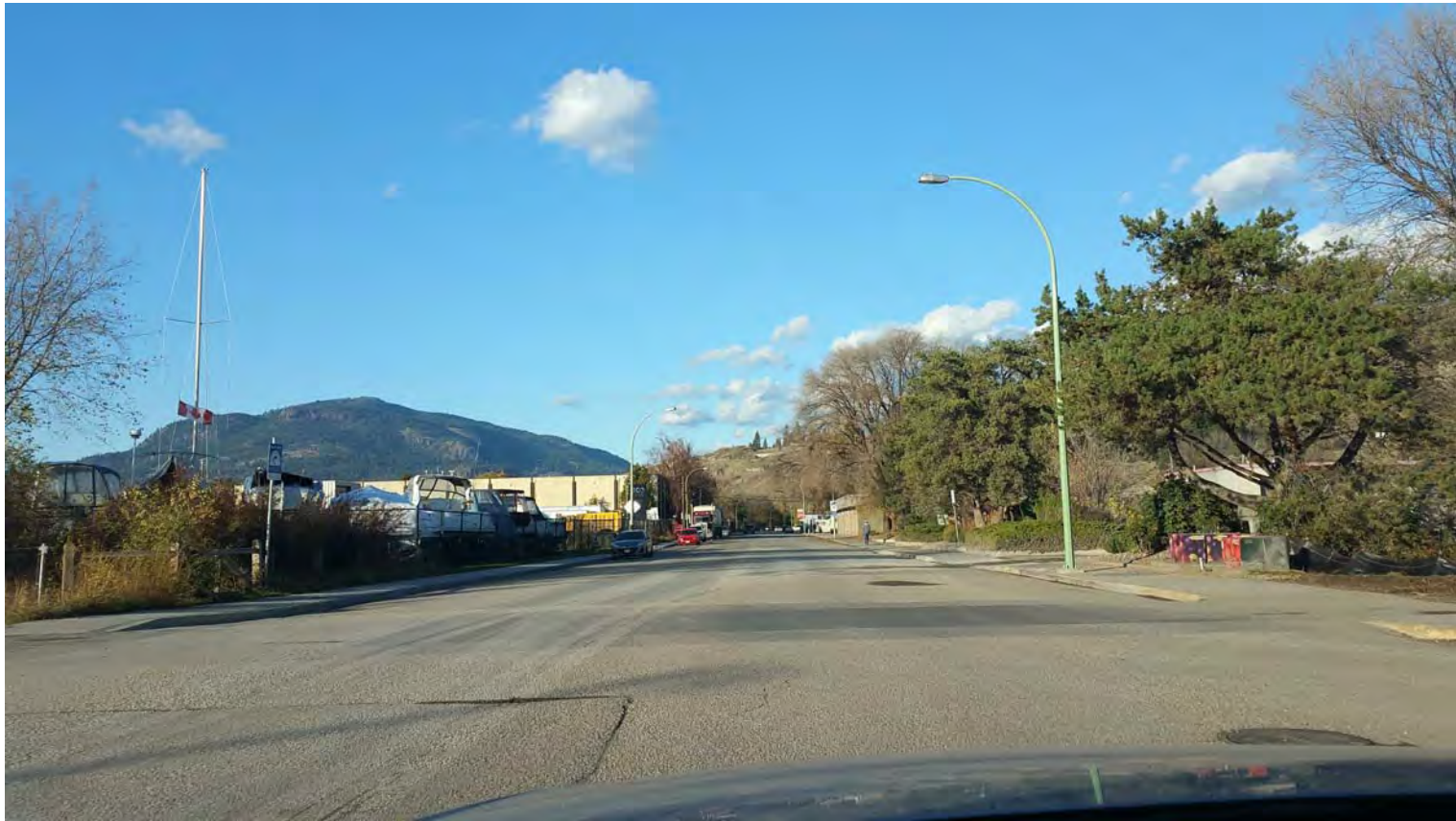
AC

City of Kelowna

COMMUNITY PLANNING



ELLIS STREET SIDE OF PROJECT SITE



ELLIS STREET APPROACH FROM THE SOUTH



BAY STREET SIDE OF PROJECT SITE



BAY STREET APPROACH FROM THE WEST



EcoLock Self Storage

437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

DiStefano Jaud
Architecture

DiStefano Jaud Architecture

3 -1331 Ellis Street
Kelowna, BC, V1Y 1Z9
t 250 868 9278

Design Consultant:



McLennan Design

175 Parfitt Way SW, Suite N160
Bainbridge Island, WA 98110
t 206 219 5365

Key Plan

Professional Seals

No.	Issue Description	YYYY-MM-DD
1	DPA	2017-03-17

No.	Revision Description	YYYY-MM-DD
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Project No. 16032

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Sheet Title:

SITE PHOTOS

Original drawing is 18x24. Do not scale contents of this drawing.

Sheet Number:

A-902

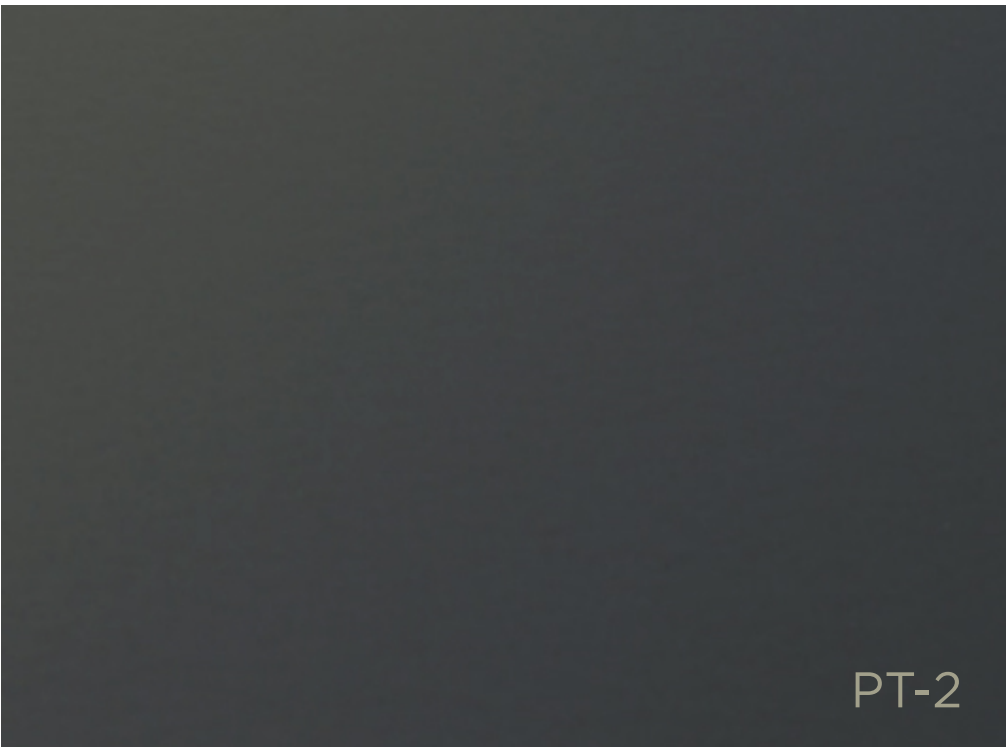
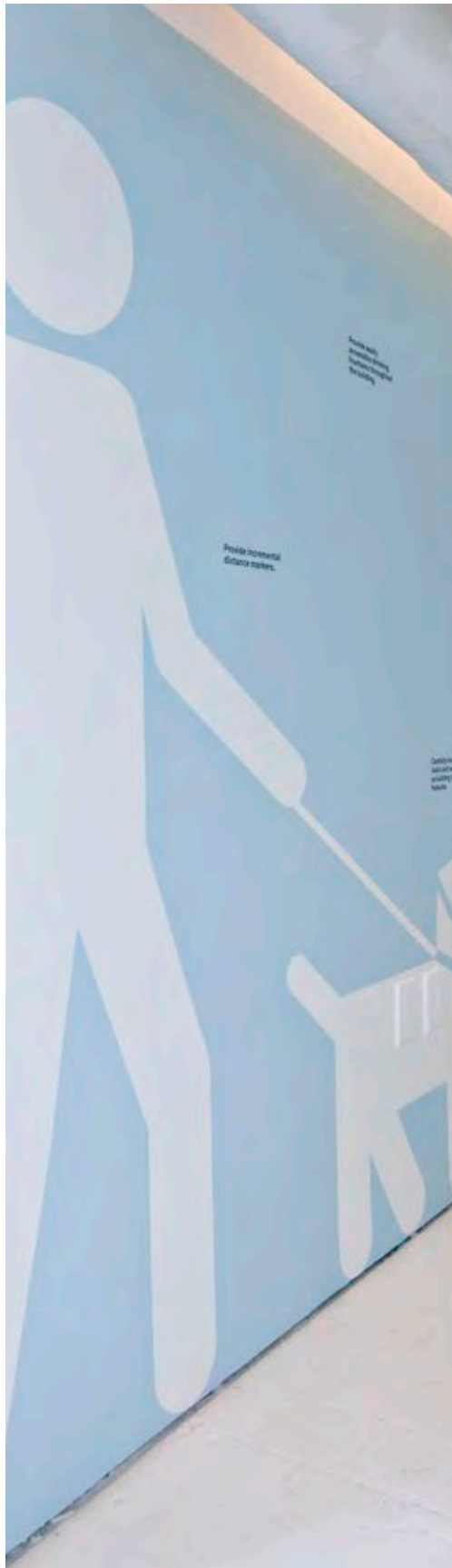
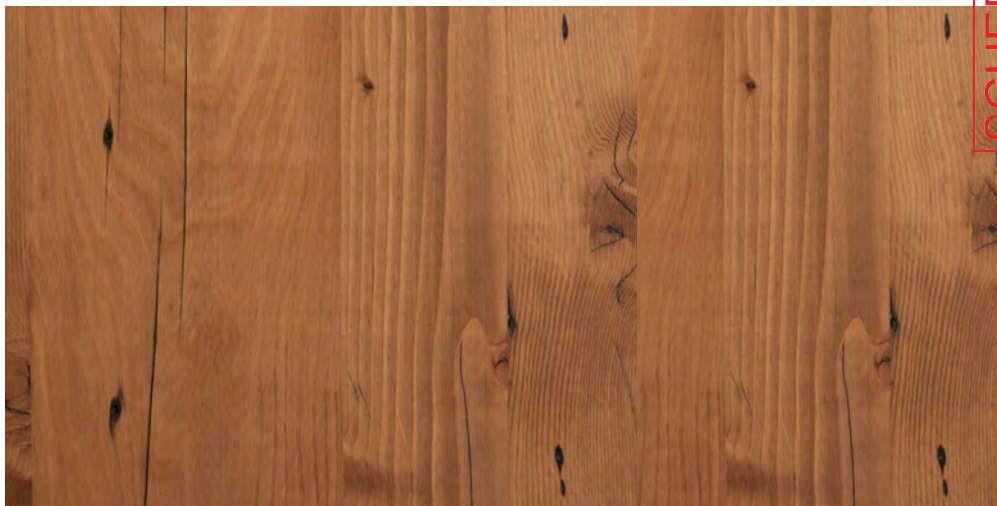


RECLAIMED DOUGLAS FIR

PLASTER WALLS

METAL PANELS

WEATHERED STEEL



VERTICAL WOOD
SCREENS

WOOD SLATTED
CEILINGS

WHITE LIME
EXTERIOR WALLS

INTEGRATED
ART/MURAL

SLATE GRAY FASCIA



WARM WHITE COLUMN

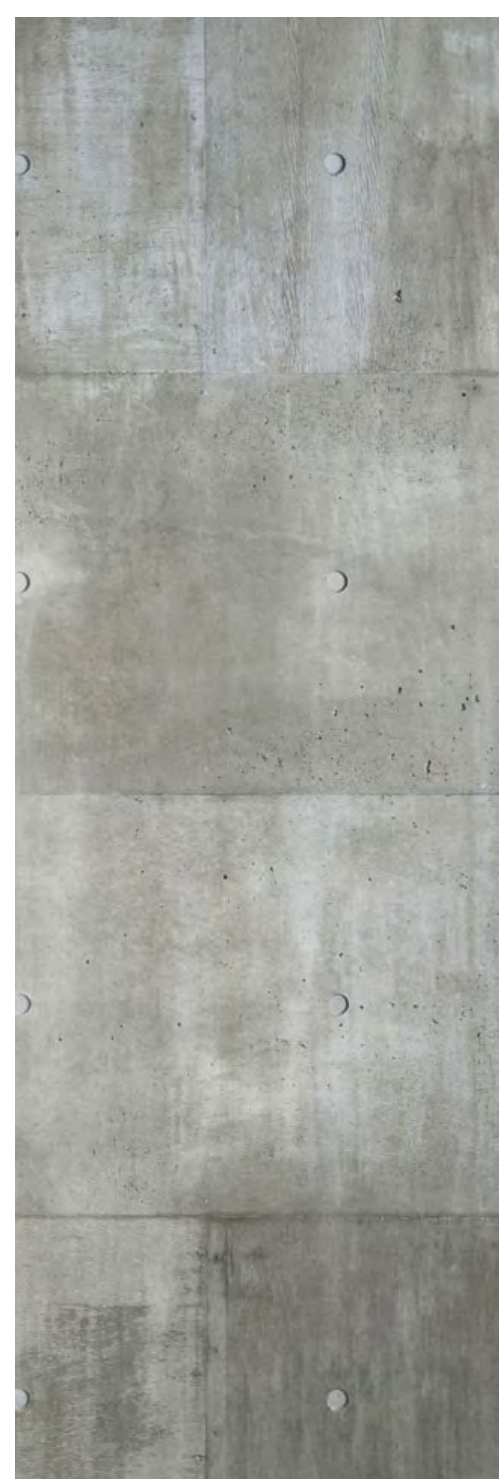
CORTEN PLANTERS

COLOUR PALETTE
INSPIRED BY SPOTTED LAKE

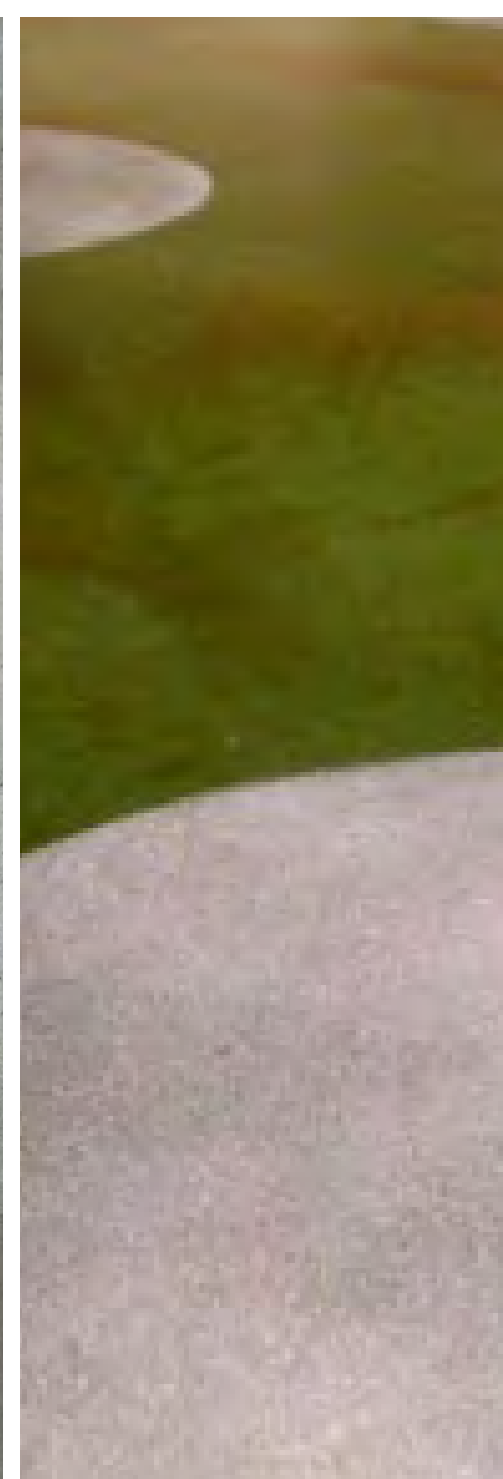


SCHEDULE A&B
This forms part of application
DP17-0073 / DVP17-0074
City of Kelowna
COMMUNITY PLANNING
Planner: [Signature]

CORRUGATED METAL INTERIOR
WALLS - PAINTED

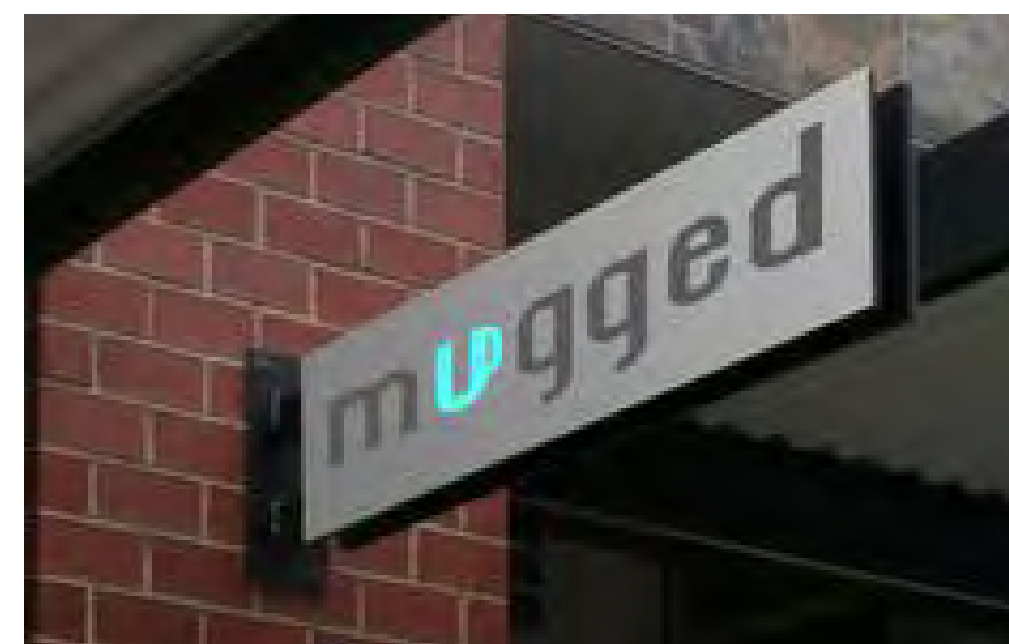


EXTERIOR WALLS



STAINED W/
COLOURED
CONCRETE SEALER

SIGNAGE EXAMPLES



BLADE SIGNAGE



PIN MOUNTED SIGNAGE



BRAND SIGNAGE - WALL MOUNTED

HIGH EFFICIENCY BUILDING
ENVELOPE



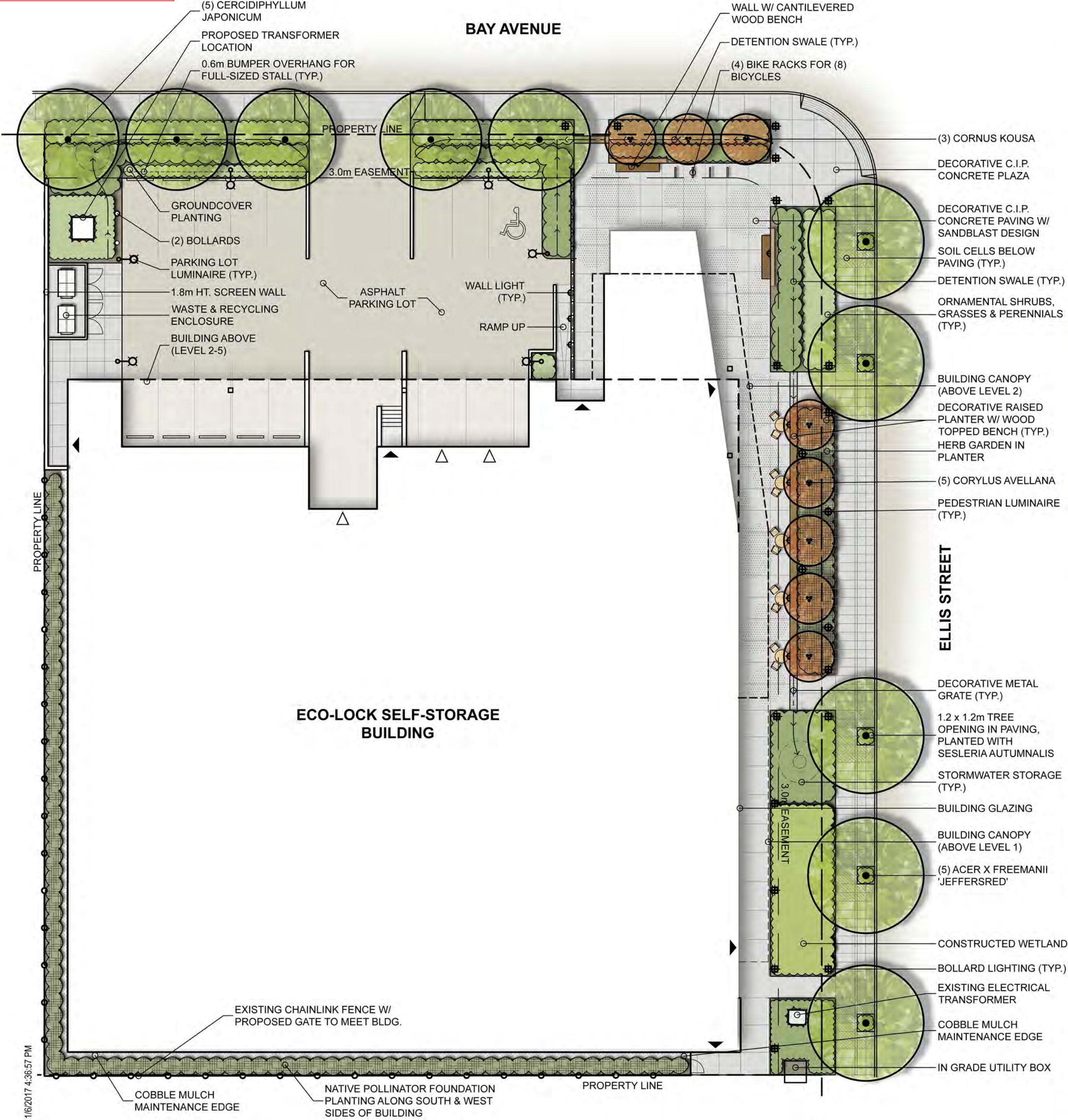
BIOFIBER BRICK



CASCADIA WINDOW SYSTEMS



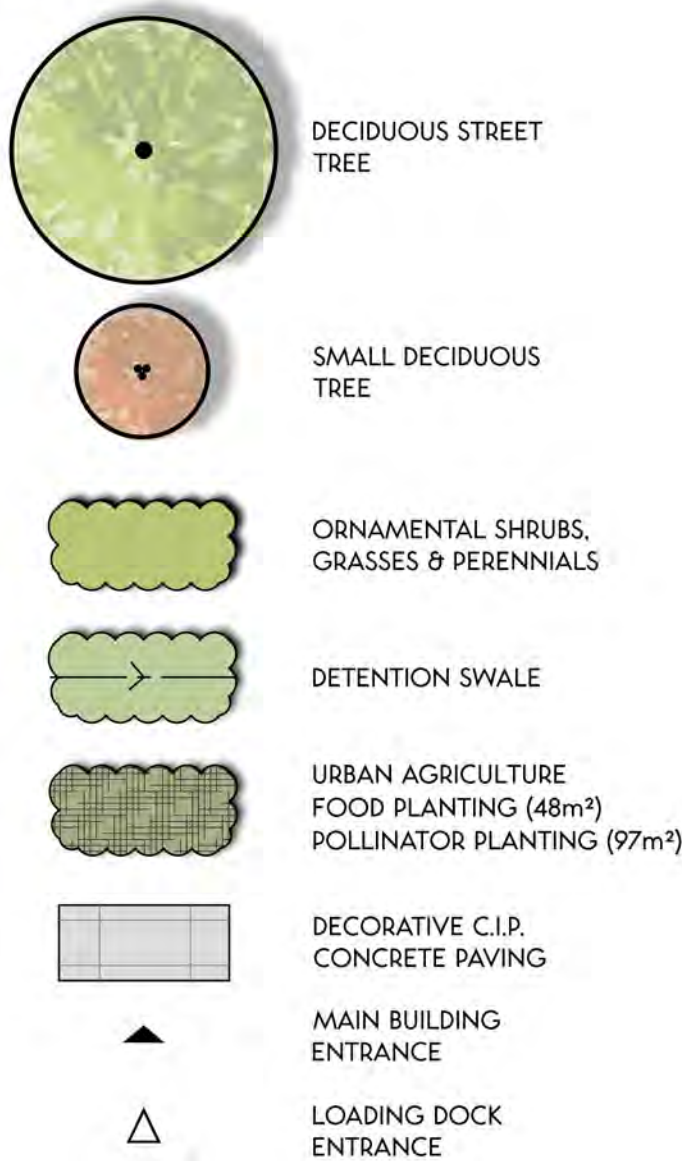
JM WHITE TPO MEMBRANE



DEVELOPMENT PERMIT NOTES:

- A PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE B.C. LANDSCAPE STANDARDS, PUBLISHED BY B.C.L.N.A. AND B.C.S.L.A. AS WELL AS THE CITY OF KELOWNA LANDSCAPE STANDARDS IN BYLAW 7900.
- B THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM CITY OF KELOWNA FORM AND CHARACTER REQUIREMENTS
- C PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY AT THE TIME OF CONSTRUCTION.
- D TREES SHALL BE INSTALLED IN DEFINED SOIL PITS OR PLANTING BED AREAS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION.
- E ORNAMENTAL SHRUB, GRASS AND PERENNIAL CLUSTERS ARE TO BE PLACED WITHIN DEFINED PLANTING BEDS. ALL PLANTING BEDS SHALL HAVE A MIN. OF 450mm (18") IMPORTED GROWING MEDIUM AND 75mm (3") OF COMPOSTED MULCH OR APPROVED EQUAL.
- F A HIGH EFFICIENCY IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL ORNAMENTAL LANDSCAPE AREAS AND SHALL CONFORM TO THE CITY OF KELOWNA'S IRRIGATION STANDARDS IN BYLAW 7900.

LEGEND:



ORNAMENTAL PLANT LIST:

TREES				
Key	Botanical Name	Common Name	Size	Root
AFR	Acer x freemanii 'Jeffersred'	Autumn Blaze maple	6cm Cal.	B&B
CJA	Cercidiphyllum japonicum	Katsura tree	6cm Cal.	B&B
CKO	Cornus kousa	Japanese dogwood	4cm Cal.	B&B
CAV	Corylus avellana*	Hazelnut	1.8m Ht./#10 Cont.	B&B
SHRUBS				
Key	Botanical Name	Common Name	Size	Root
CST	Cornus stolonifera 'Farrow'	Arctic Fire dogwood	#03 Cont./1.2m O.C.	Potted
MAQ	Mahonia aquifolium	Oregon grape	#03 Cont./1.2m O.C.	Potted
RRU	Rosa rugosa 'Hansa'	Hansa rose	#03 Cont./1.5m O.C.	Potted
PERENNIALS, BULBS & VINES				
Key	Botanical Name	Common Name	Size	Root
AAF	Allium afflatunense 'Purple Sensation'	Purple Sensation ornamental onion	Bulbs	Potted
AMT	Achillea millefolium 'Tarnacott'	Terra Cotta common yarrow	#01 Cont./0.6m O.C.	Potted
AAE	Aruncus aethusifolius	Dwarf Korean goat's beard	#01 Cont./0.45m O.C.	Potted
BCO	Bergenia cordifolia 'Winter Glow'	Heartleaf bergenia	#01 Cont./0.45m O.C.	Potted
CVE	Coreopsis verticillata 'Zagreb'	Threadleaf coreopsis	#01 Cont./0.45m O.C.	Potted
EDU	Eupatorium dubium 'Little Joe'	Dwarf Joe-pye weed	#01 Cont./0.9m O.C.	Potted
ISI	Iris sibirica 'Butter & Sugar'	Yellow & White Siberian iris	#01 Cont./0.6m O.C.	Potted
SNE	Salvia nemorosa 'Caradonna'	Caradonna meadow sage	#01 Cont./0.6m O.C.	Potted
PAT	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian sage	#01 Cont./1.0m O.C.	Potted
TPR	Tulipa 'Princess Irene'	Princess Irene triumph tulip	Bulbs	Potted
GRASSES				
Key	Botanical Name	Common Name	Size	Root
DFL	Deschampsia flexuosa 'Aurea'	Crinkled hair grass	#01 Cont./0.6m O.C.	Potted
MSI	Miscanthus sinensis 'Gracillimus'	Maiden grass	#01 Cont./1.0m O.C.	Potted
PVI	Panicum virgatum 'Northwind'	Northwind switch grass	#01 Cont./0.45m O.C.	Potted
SAU	Sesleria autumnalis	Autumn moor grass	#01 Cont./0.45m O.C.	Potted
SBR	Sporobolus heterolepis 'Tara'	Prairie dropseed	#01 Cont./0.75m O.C.	Potted
HERBS				
Key	Botanical Name	Common Name	Size	Root
ASC	Allium schoenoprasum	Chives	#01 Cont./0.3m O.C.	Potted
ADR	Artemisia dracunculoides	Tarragon	#01 Cont./0.6m O.C.	Potted
PNE	Petroselinum crispum var. neapolitanum	Italian parsley	#01 Cont./0.3m O.C.	Potted
SOF	Salvia officinalis	Common sage	#01 Cont./0.6m O.C.	Potted
RAC	Rumex sanguineus	Blood veined sorrel	#01 Cont./0.45m O.C.	Potted

*Umbrella pruned



EcoLock Self Storage

437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

DiStefano Jaud
Architecture

DiStefano Jaud Architecture

3 -1331 Ellis Street
Kelowna, BC, V1Y 1Z9
t 250 868 9278

Design Consultant:



McLennan Design

175 Parfitt Way SW, Suite N160
Bainbridge Island, WA 98110
t 206 219 5365

Key Plan

Professional Seals

No.	Issue Description	YYYY-MM-DD
1	ISSUED FOR CONCEPT REVIEW	FEB 07/17
2	ISSUED FOR CONCEPT REVIEW	FEB 20/17
3	ISSUED FOR CONCEPT REVIEW	MAR 09/17
4	ISSUED FOR DEVELOPMENT PERMIT	SEP 28/17

No.	Revision Description	YYYY-MM-DD

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Project No. 16-044

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Sheet Title:

LANDSCAPE PLAN

SCALE: 1 : 200

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Sheet Number:

L-101

1/6/2017 4:36:57 PM

SCHEDULE

C

This forms part of application

DP17-0073 / DVP17-0074

Planner

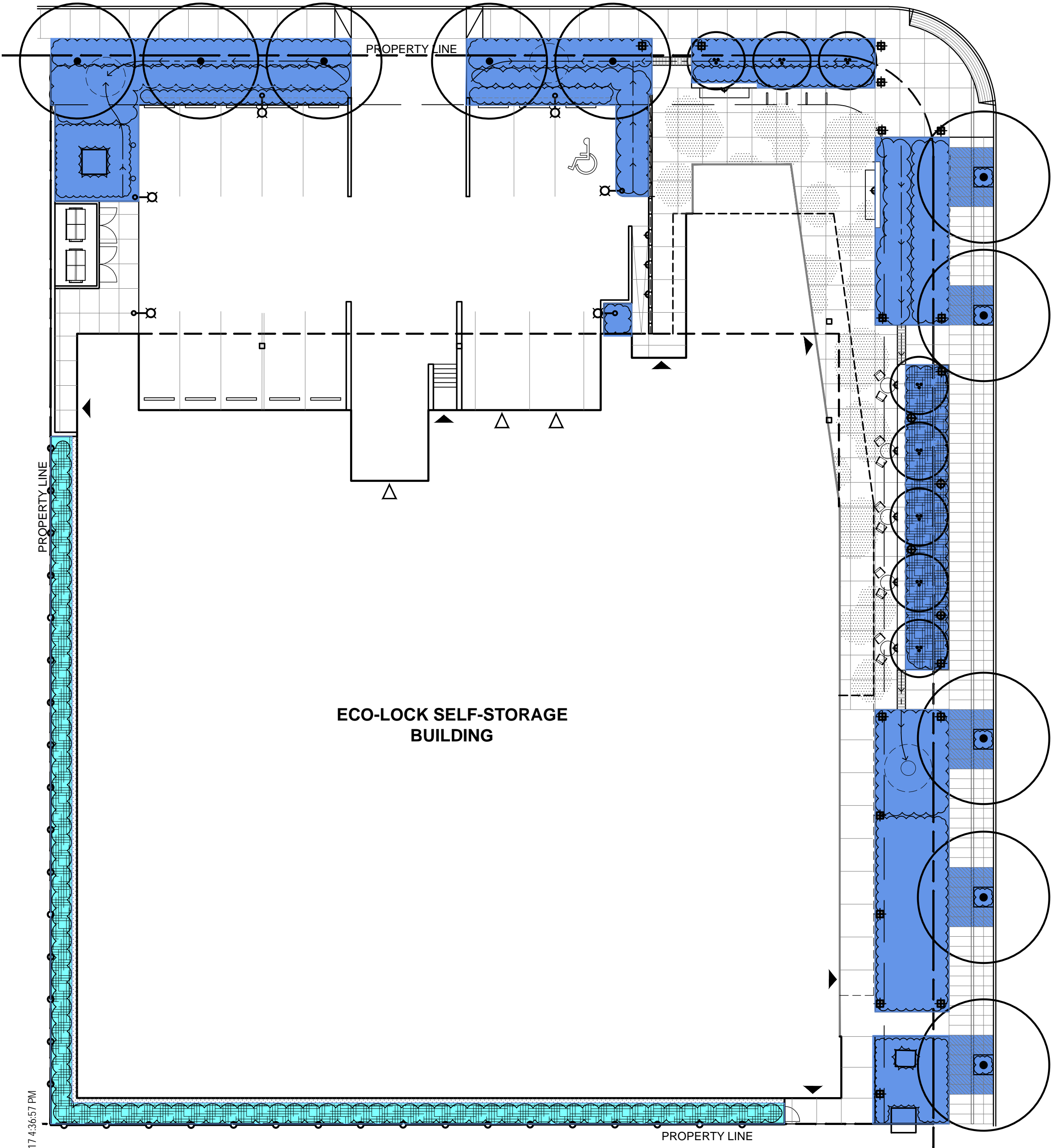
Initials

AC

City of Kelowna

COMMUNITY PLANNING

BAY AVENUE



LEGEND:

- MODERATE WATER USE
- LOW WATER USE



EcoLock Self Storage

437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:

DiStefano Jaud
Architecture

DiStefano Jaud Architecture

3 -1331 Ellis Street
Kelowna, BC, V1Y 1Z9
t 250 868 9278

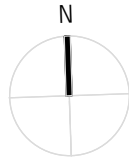
Design Consultant:



McLennan Design

175 Parfitt Way SW, Suite N160
Bainbridge Island, WA 98110
t 206 219 5365

Key Plan



Professional Seals

No.	Issue Description	YYYY-MM-DD
1	ISSUED FOR CONCEPT REVIEW	FEB 07/17
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3	ISSUED FOR CONCEPT REVIEW	MAR 09/17
4	ISSUED FOR DEVELOPMENT PERMIT	SEP 28/17

No.	Revision Description	YYYY-MM-DD

Drawn by EB Reviewed by XS

Project No. 16-044

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Sheet Title:

HYDROZONE PLAN

SCALE: 1 : 200

Original drawing is 18x24. Do not scale contents of this drawing.

Sheet Number:

L-102

1/6/2017 4:36:57 PM

SCHEDULE

C

This forms part of application

DP17-0073 / DVP17-0074

Planner

Initials

AC

City of

Kelowna

COMMUNITY PLANNING

- 1

1.8m C.I.P. CONCRETE SCREEN WALL
- 2

1220 x 1830 x 1525mm (4'X6'X5') STANDARD GARBAGE AND RECYCLING DUMPSTER
- 3

RECLAIMED WOOD FENCE PANEL W/ METAL FRAME
- 4

METAL CORNER / GATE POST
- 5

RECLAIMED WOOD GATE W/ METAL FRAME AND HINGES
- 6

FINISH GRADE
- 7

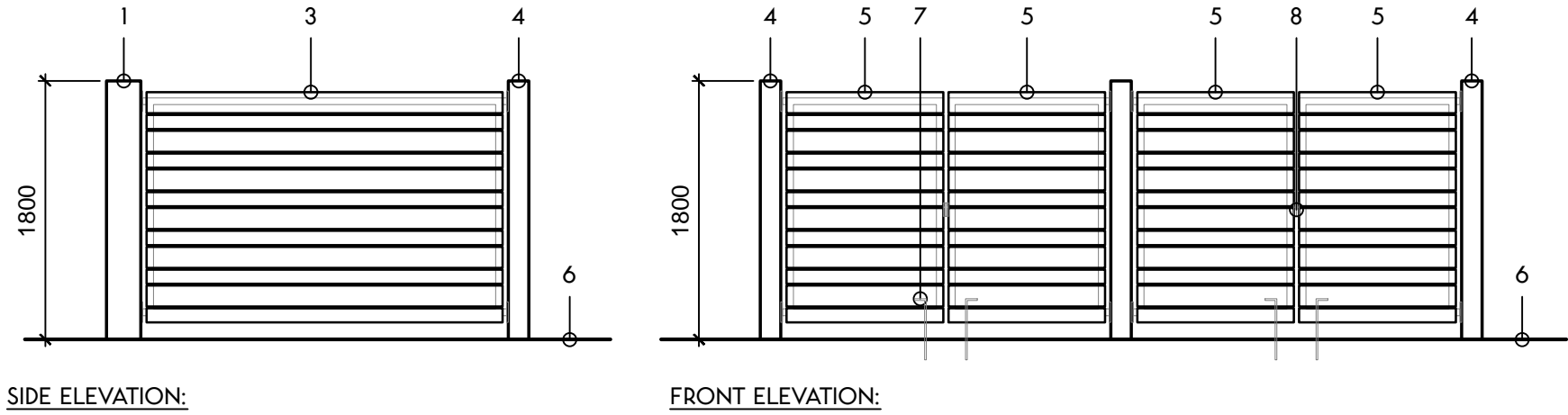
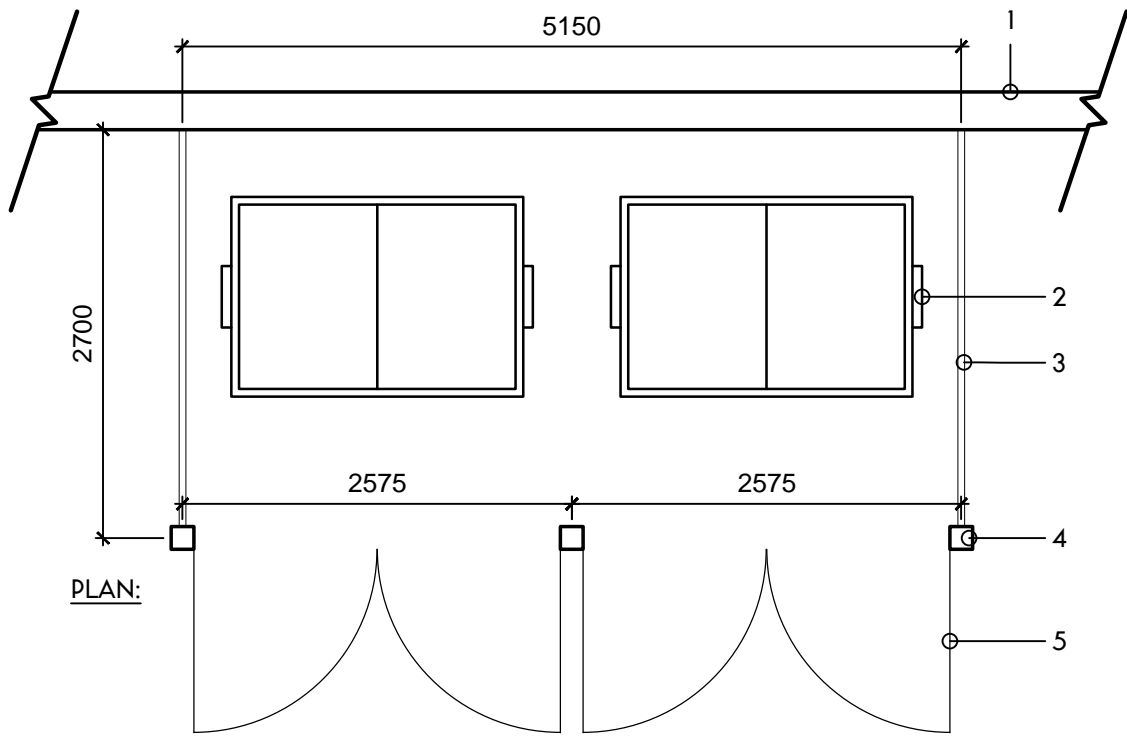
450mm (18") CANE BOLT GATE STOP
- 8

LOCKABLE LATCH
- NOTES
- A

ALL HARDWARE TO BE HOT DIPPED GALVANIZED STEEL
- B

ALL METAL TO BE POWDER COATED AND PAINTED TO MATCH ARCHITECTURAL METAL CLADDING COLOUR
- C

ALL RECLAIMED WOOD TO BE WOOD SURFACED WITH A MIN. OF (2) COATS OF ENVIRONMENTAL TECHNOLOGY INC., 'EX-74'



SIDE ELEVATION:

FRONT ELEVATION:

1

L-103

GARBAGE ENCLOSURE

SCALE 1:50

PLANTING STYLE:

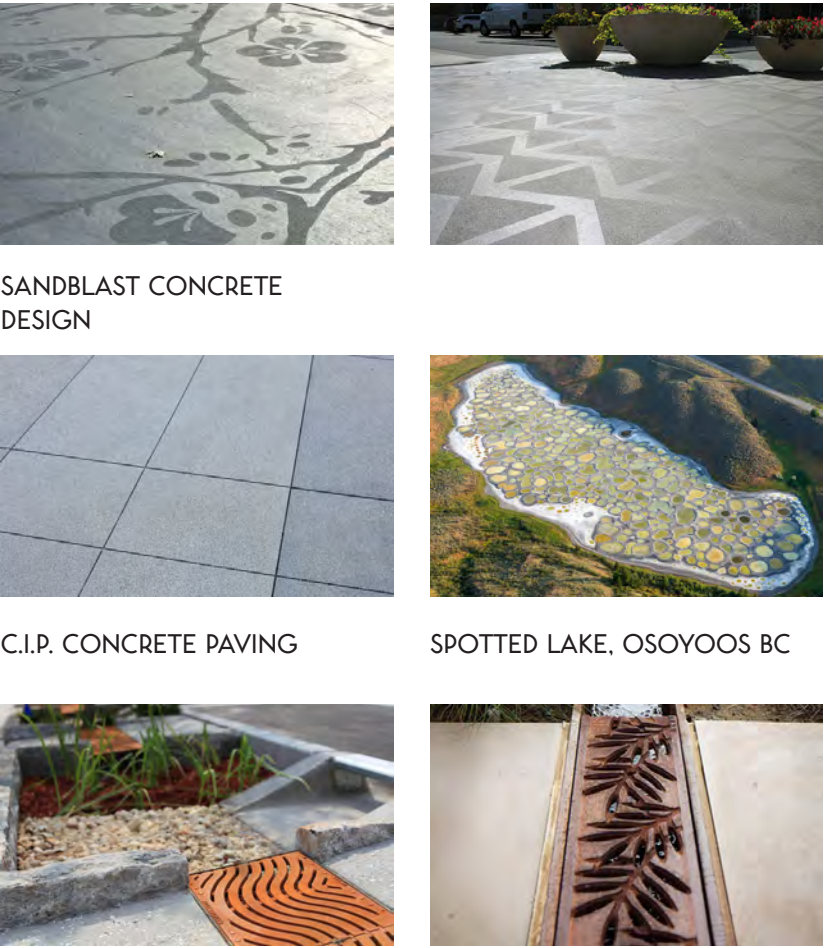


COMBINATION OF GRASSES / PERENNIALS



HERB GARDEN

PAVING:



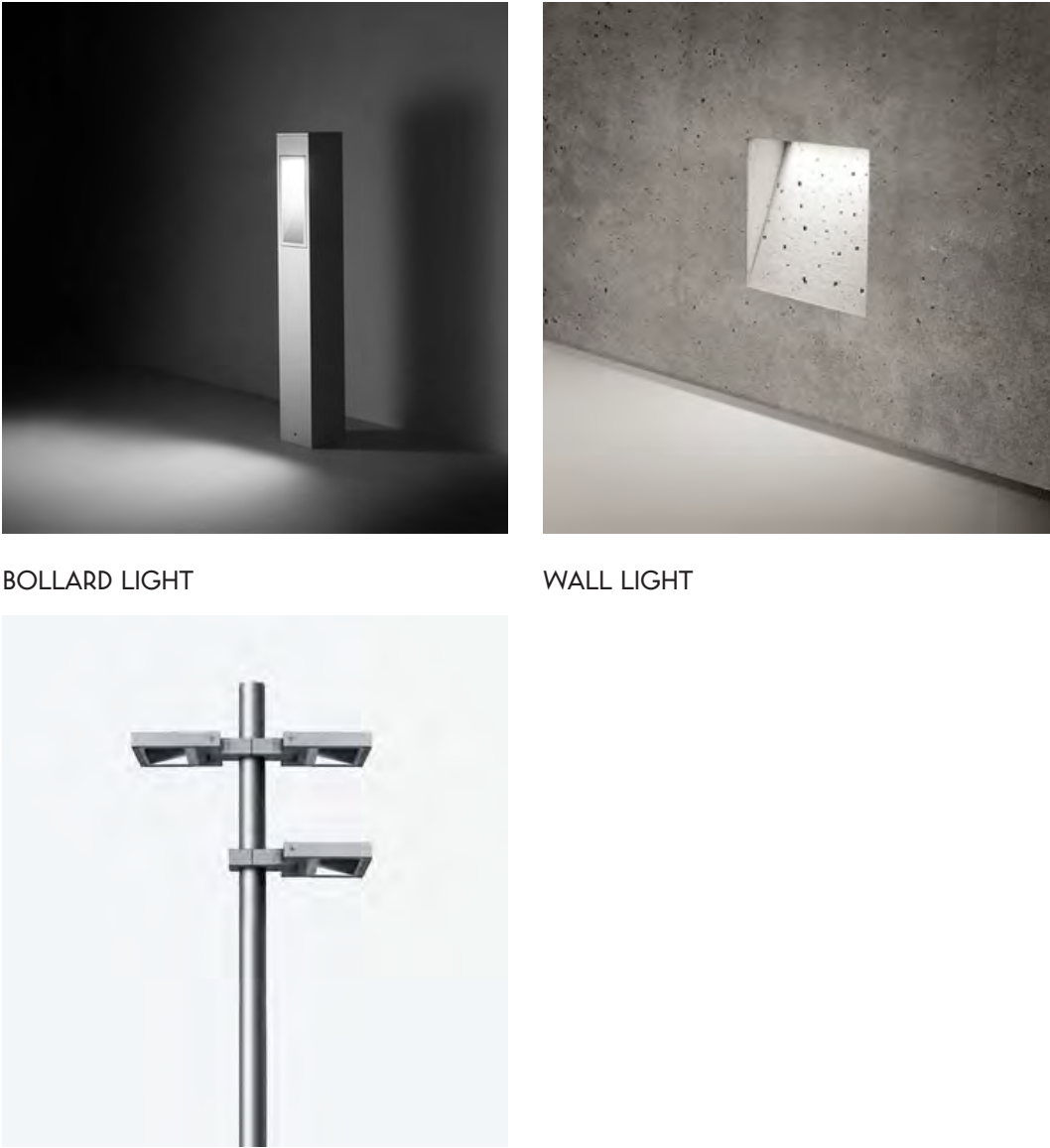
SANDBLAST CONCRETE DESIGN

C.I.P. CONCRETE PAVING

STORMWATER DETENTION SWALE PAVING GRATE

SPOTTED LAKE, OSOYOOS BC

LIGHTING:



BOLLARD LIGHT

WALL LIGHT

PEDESTRIAN / PARKING LOT LUMINAIRE

TREES:



CERCIDIPHYLLUM JAPONICUM

ACER X FREEMANII 'JEFFERSRED'

CORYLUS AVELLANA

CORNUS KOUSA



EcoLock Self Storage
437 Bay Avenue
Kelowna, BC, V1Y 7S3

Architect of Record:



DiStefano Jaud Architecture
3 -1331 Ellis Street
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t 250 868 9278

Design Consultant:



McLennan Design
175 Parfitt Way SW, Suite N160
Bainbridge Island, WA 98110
t 206 219 5365

Key Plan

Professional Seals

No.	Issue Description	YYYY-MM-DD
1	ISSUED FOR CONCEPT REVIEW	FEB 07/17
2	ISSUED FOR CONCEPT REVIEW	FEB 20/17
3	ISSUED FOR CONCEPT REVIEW	MAR 09/17
4	ISSUED FOR DEVELOPMENT PERMIT	SEP 28/17

No.	Revision Description	YYYY-MM-DD
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Drawn by EB Reviewed by XS

Project No. 16-044

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Sheet Title:

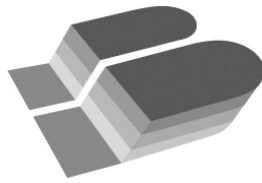
LANDSCAPE MATERIALS

SCALE: NTS

Original drawing is 18x24. Do not scale contents of this drawing.

Sheet Number:

L-103



September 28, 2017

City of Kelowna
1435 Water Street
Kelowna, B.C.
V1J 1J4

SCHEDULE		C
This forms part of application # DP17-0073 / DVP17-0074		
Planner Initials	AC	 City of Kelowna COMMUNITY PLANNING

Attention: Community Planning & Real Estate Division

Project: EcoLock Self Storage

Please be advised that a landscape security bond of **\$75,606.25** will be required for the EcoLock Self Storage development project. This sum is equal to 125% of the estimated installed cost for all soft landscape. As per City of Kelowna requirements, the estimate includes trees, shrubs, grasses, perennials, topsoil, mulch, irrigation, and bicycle racks. Please see the attached Estimate of Probable Costs for Bonding for a detailed breakdown of these costs.

Should you require any additional information, please do not hesitate to contact me.

Sincerely,

Xenia Semeniuk, BCSLA, CSLA, LEED AP ND
Registered Landscape Architect

cc
Carlo DiStefano, DiStefano Jaud Architecture
Don Redden, EcoLock Self Storage



SCHEDULE

C

This forms part of application
DP17-0073 / DVP17-0074

Planner
Initials

AC

City of
Kelowna
COMMUNITY PLANNING

Eco-Lock Self Storage

Estimate of Probable Costs for Bonding

Prepared on: September 26, 2017

Items Description	Units	Qty.	Price	Item Total
1.0 Plant Material				
1.1 Trees				
1.1.1 6cm Cal.: Deciduous Tree	ea.	10	\$550.00	\$5,500.00
1.1.2 4cm Cal.: Deciduous Tree	ea.	3	\$400.00	\$1,200.00
1.1.3 1.8m Ht./#10 Pot: Deciduous Tree	ea.	5	\$300.00	\$1,500.00
			<i>Sub-Total</i>	<i>\$8,200.00</i>
1.2 Ornamental Shrubs, Perennials, Ground Covers				
1.2.1 #3 Pot: Shrubs (1.2m Spacing)	ea.	99	\$45.00	\$4,455.00
1.2.2 #1 Pot: Grasses (0.6m Spacing)	ea.	317	\$15.00	\$4,755.00
1.2.3 #1 Pot: Perennials & Herbs (0.6m Spacing)	ea.	634	\$15.00	\$9,510.00
			<i>Sub-Total</i>	<i>\$18,720.00</i>
			1.0 Total	\$26,920.00
2.0 Topsoil & Mulch				
2.1 Topsoil				
2.1.1 Shrub Bed Topsoil (450mm Depth)	m ³	222	\$50.00	\$11,100.00
2.1.2 Tree Pit Topsoil (1000mm Depth)	m ³	53	\$50.00	\$2,650.00
			<i>Sub-Total</i>	<i>\$13,750.00</i>
2.2 Mulch				
2.2.1 Ogogrow Mulch (75mm Depth)	m ³	37	\$65.00	\$2,405.00
			<i>Sub-Total</i>	<i>\$2,405.00</i>
			2.0 Total	\$16,155.00
3.0 Servicing				
3.1 Irrigation				
3.1.1 Sleeving	l.s.	1	\$2,500.00	\$2,500.00
3.1.2 Point of Connection to Water Service	l.s.	1	\$1,500.00	\$1,500.00
3.1.3 Point of Connection to Electrical Service	l.s.	1	\$500.00	\$500.00
3.1.4 Control System	l.s.	1	\$2,500.00	\$2,500.00
3.1.5 Irrigation system (heads, pipes, valves)	m ²	494	\$15.00	\$7,410.00
			<i>Sub-Total</i>	<i>\$14,410.00</i>
			3.0 Total	\$14,410.00
4.0 Furnishings				
4.1 Site Furniture				
4.1.1 Bike Rack	ea.	4	\$750.00	\$3,000.00
			<i>Sub-Total</i>	<i>\$3,000.00</i>
			4.0 Total	\$3,000.00
			TOTAL	\$60,485.00
			Security Total (125%)	\$75,606.25

IRRIGATION APPLICATION

SCHEDULE C

This forms part of application
DP17-0073 / DVP17-0074



City of
Kelowna
COMMUNITY PLANNING

APPLICATION IDENTIFICATION

Owner:	Carbon Capture Mini-Storage (Kelowna) GP Ltd.	Subject Address:	437 Bay Avenue	
Agent if applicable:		Telephone:		
Title:		Fax No:		
Company:	BENCH Site Design Inc.	Email:		
City:	Kelowna	Mailing Address:		
		Province:		Postal Code:

Planner
Initials: AC

LANDSCAPE WATER CONSERVATION CHECKLIST

Note: all boxes are to be checked - see instruction page

- ☐ Install Backflow prevention devices to meet City of Kelowna standards to isolate the outdoor irrigation system from the potable water system.
- ☐ Group planting into 'hydrozones' of high, medium and low water-use plants or unirrigated/unwatered areas.
- ☐ Minimize mown turf areas that are high water use areas - ideally to 50% of the landscape area or less - substitute with areas of lower water use treatments like unwatered native woods or meadow, mulch, spaced wood deck, pervious paving.
- ☐ Provide adequate topsoil or growing medium of depth and quality to meet the BC Landscape Standard, published by the BC Society of Landscape Architects and the BC Landscape and Nursery Association. General minimum depths over poor subsoils are 150mm for lawn and 300mm for shrubs groundcover.
- ☐ Group irrigation circuits/zones into 'hydrozones' of high, medium, and low or unirrigated areas consistent with the landscape planting plan. Provide a separate irrigation valve for each irrigated hydrozone.
- ☐ Minimize use of high-volume spray heads, and employ drip or low volume irrigation where practical.
- ☐ When spray or rotor irrigation is used, design and install head to head coverage in accordance with manufacturer's specifications, and avoid overspray outside landscape areas.
- ☐ Ensure matched precipitation rates within all irrigation circuits.
- ☐ Design and install pipe and head layout so flow velocity does not exceed 1.5 m/s, and to minimize elevation change or pressure variation in circuits. Provide check valves to stop low head drainage.
- ☐ Ensure irrigation mainlines are proved leak-free with hydrostatic tests.
- ☐ Provide pressure regulating devices to ensure irrigation outlets are operating at the manufacturer's optimum pressure range.
- ☐ Install - and program to minimize water use - 'Smart Controllers' to meet standards of the City of Kelowna Water Regulation Bylaw.
- ☐ Install an irrigation master shut-off valve (isolation valve) located outside the building in a location accessible to the City that when closed shall stop the supply of water from the potable water supply to the outdoor irrigation system and shall be capable of being closed and locked off by the City.

Applicant Notes on the Landscape Water Conservation Checklist:

IRRIGATION APPLICATION

SCHEDULE C

This forms part of application
DP17-0073 / DVP17-0074



City of
Kelowna
COMMUNITY PLANNING

LANDSCAPE WATER CONSERVATION TABLE

Applicant: **BENCH Site Design Inc.** Address: **4-1562 Water Street, Kelowna BC V1Y 1J7**

Planner
Initials **AC**

Step 1: Measure Total Landscape Area (LA)

Area of site that will absorb water: **545** sq.m.

Note: INCLUDE BOULEVARD, and proposed lawn, plants, mulch, PERVIOUS decks or paving. Do not include building areas, driveways, patios, decks or walks unless pervious.

Step 2: Divide Into Landscape Treatments*		Plant Factor	Irrig Efficiency	Hydrozone Area (Sq.m.)	% of Total LA	Estimated Water Use (cu.m.)
Note: each of the areas below are a 'HYDROZONE'		(PF)	(IE)	(HA)		(WU)
Unwatered Pervious Areas (not impervious paving)						
Mulch (Stone, bark or sand)		N/A	N/A	0	0%	N/A
Pervious deck (Spaced wood deck)		N/A	N/A	0	0%	N/A
Pervious paving (Granular paving)		N/A	N/A	0	0%	N/A
Naturalized meadow (wildflowers)		N/A	N/A	0	0%	N/A
Naturalized area (Existing natural area)		N/A	N/A	0	0%	N/A
Other: Restoration Area		N/A	N/A	0	0%	N/A
Swimming or ornamental pool		1	1	0	0%	0
Watered Planting Beds (shrubs or groundcover)						
<i>Planting Type</i>	<i>Irrig Efficiency</i>					
Low water use plants	High (Drip or Bubbler)	0.3	0.9	97	18%	32
Low water use plants	Low (Spray or Rotor)	0.3	0.7	0	0%	0
Moderate water use plants	High (Drip or Bubbler)	0.5	0.9	448	82%	249
Moderate water use plants	Low (Spray or Rotor)	0.5	0.7	0	0%	0
High water use plants	High (Drip or Bubbler)	0.7	0.9	0	0%	0
High water use plants	Low (Spray or Rotor)	0.7	0.7	0	0%	0
Watered Mown Lawn Areas						
Low		1	0.7	0	0%	0
Special Landscape Areas (SLA)						
Vegetable Garden	High (Drip or Bubbler)	1	0.9	0	0%	0
Vegetable Garden	Low (Spray or Rotor)	1	0.7	0	0%	0
Sports Lawn	Low (Spray or Rotor)	1	0.7	0	0%	0
Rainwater or Recycled Water Use		0.3	1	0	0%	0
Totals				545	100%	281
Special Landscape Area (SLA) Sub total				0		

*If proposed design conditions are not shown on the form please contact Water Smart at 250-868-3339

IRRIGATION APPLICATION

CALCULATE & COMPARE WATER BUDGET TO ESTIMATED WATER USE

Note: For Evapotranspiration (ET_o) in Kelowna use 1000mm/yr

	Amount	Units
Total Landscape Area	545	sq.m.
Landscape Maximum Water Budget (WB)	545	cu.m./yr.
Estimated Landscape Water Use (WU)	281	cu.m./yr.
Under (-OVER) Budget (Must be under Water Budget WB)	264	cu.m./yr.
	OK	

SCHEDULE C

This forms part of application
DP17-0073 / DVP17-0074

Planner
Initials

AC


City of Kelowna
COMMUNITY PLANNING

I have identified and confirmed, by completing the attached 'Landscape Water Conservation Checklist' above, that the project will conform to current landscape and irrigation water conservation practices listed in the checklist. I also acknowledge that the landscape treatments of the project will conform to the Hydrozone areas identified by me in the 'Landscape Water Conservation Calculation Table' above.

Signature of Applicant

Date: 28-Sep-17

FOR CITY OF KELOWNA OFFICE USE ONLY

The Irrigation Application and calculations above satisfy the requirements of the Water Regulation Bylaw 10480 Section 4.4.2 and 4.4.3. and is hereby APPROVED with the signature of the Water Manager or designate.

Signature of Kelowna Water Smart designate
For Water Manager

Date: _____

Print Name

NOTE: Post Signed and approved application at Smart Controller for future reference

REPORT TO COUNCIL



Date: December 5, 2017

RIM No. 0940-50

To: City Manager

From: Community Planning Department (SS)

Application: DVP17-0227 **Owner:** Kathleen Vance

Address: 1094 Westpoint Drive **Applicant:** Kathleen Vance

Subject: Development Variance Permit to vary height of retaining wall

Existing OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

1.0 Recommendation

THAT Council NOT authorize the issuance of Development Variance Permit No. DVP17-0227 for the property known as Lot 6, Section 31, Township 29, ODYD, Plan KAP87220, located at 1094 Westpoint Drive, Kelowna, BC.

2.0 Purpose

To consider a Staff recommendation to NOT issue a Development Variance Permit to vary the height of a retaining wall from 1.2m to the proposed 5.03m on the subject property

3.0 Community Planning

Staff does not support the proposed variance due to the fact that the over height retaining wall and swimming pool were constructed without permits. Permitting a variance after a retaining wall is built is always discouraged; however, the applicant is trying to sell the property and now seeking the variance permit for the height of retaining wall followed by building permits for the retaining wall and pool to satisfy the potential purchaser. The building permit process for the retaining wall and pool will require sealed engineering design and schedules to achieve building permit approvals.

In fulfillment of Council Policy No. 367 respecting public consultation, the applicant undertook neighbor consultation by individually contacting the neighbors within a 50 metre radius. Staff has not fielded any objections or correspondence from the neighbors.

4.0 Proposal

4.1 Project Description

The applicant has installed an over height retaining wall on the property and is seeking a height variance.

4.2 Site Context

The subject property is located in the Upper Mission area and is designated as S2RES – Single Two Unit Residential. All the surrounding properties are large single family lots and zoned urban residential with the exception of one property at the rear of the subject property which is designated as REP – Resource Protection area and zoned agricultural.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	A1	Agricultural
East	RU1	Residential
South	RU1	Residential
West	RU1	Residential

Subject Property Map: 1094 Westpoint Drive



5.0 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU ₁ ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Maximum Retaining Wall Height	1.2 m	5.03 ❶
❶ Indicates a requested variance to increase the maximum retaining wall height.		

6.0 Current Development Policies

6.1 Kelowna Official Community Plan (OCP)

Development Process

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Sensitive Infill.² Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

7.0 Technical Comments

7.1 Building & Permitting Department

- This work was done without permits; validation of capacity is to be by a structural engineer at time of building permit application.

7.2 Development Engineering Department

- The retaining wall height does not compromise municipal servicing however this work was completed without the proper permits.

8.0 Application Chronology

Date of Application Received: October 2, 2017

Date Public Consultation Completed: November 8, 2017

¹ City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

9.0 Alternate Recommendation

In this case, staff recognize compliance with the bylaw would require a tiered retaining wall system which would disturb a much greater area of the natural slope thereby reducing the buffer from the adjacent agricultural orchard. The applicant proposes, via qualified landscape professional, a recommended landscape treatment to supplement the native screen with three plant varieties; two vining plants and one tree form shrub with the goal of softening the look of the retaining wall. A proposed landscape plan is shown in the attachments

THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0227 for Lot 6, Section 31, Township 29, ODYD, Plan KAP87220, located at 1094 Westpoint Drive, Kelowna, BC;

AND THAT variances to the following section[s] of Zoning Bylaw No. 8000 be granted:

Section [7.5.9]:Fencing and Retaining Walls

To vary the required retaining wall from 1.2 m permitted to 5.03 m proposed.

AND THAT the applicant be required to complete the noted conditions of Council's approval of the Development Variance Permit Application in order for the permits to be issued;

- The retaining wall be signed off by a qualified geotechnical professional.
- The landscaping to be completed to the satisfaction of the Suburban and Rural Planning Manager.

AND FURTHER THAT this Development Permit / Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Report prepared by:

Sergio Sartori, Development Technician

Reviewed by:



Todd Cashin, Subdivision, Suburban and Rural Planning Manager
Community Planning Department Manager

Approved for Inclusion:



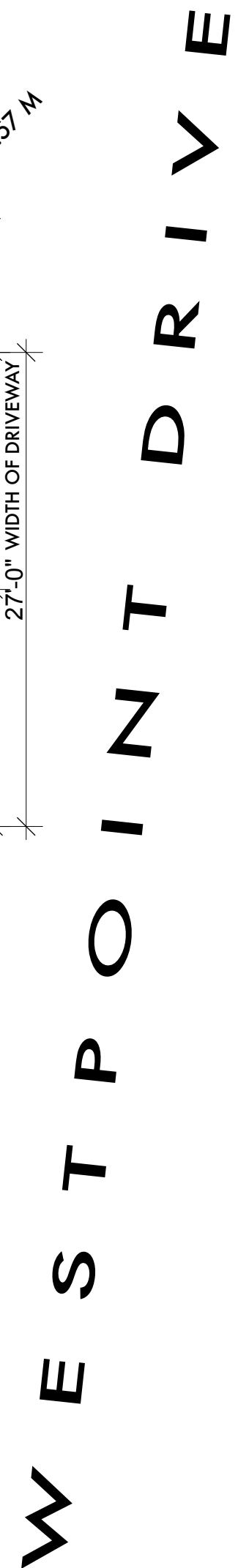
Ryan Smith, Community Planning Department Manager

Attachments:

Attachment A - Site Plan

Attachment B - Landscape Plan

Attachment C - Site Photos



SITE PLAN

LEGAL DESCRIPTION
LOT 6, PLAN 74540, O.D.Y.D.

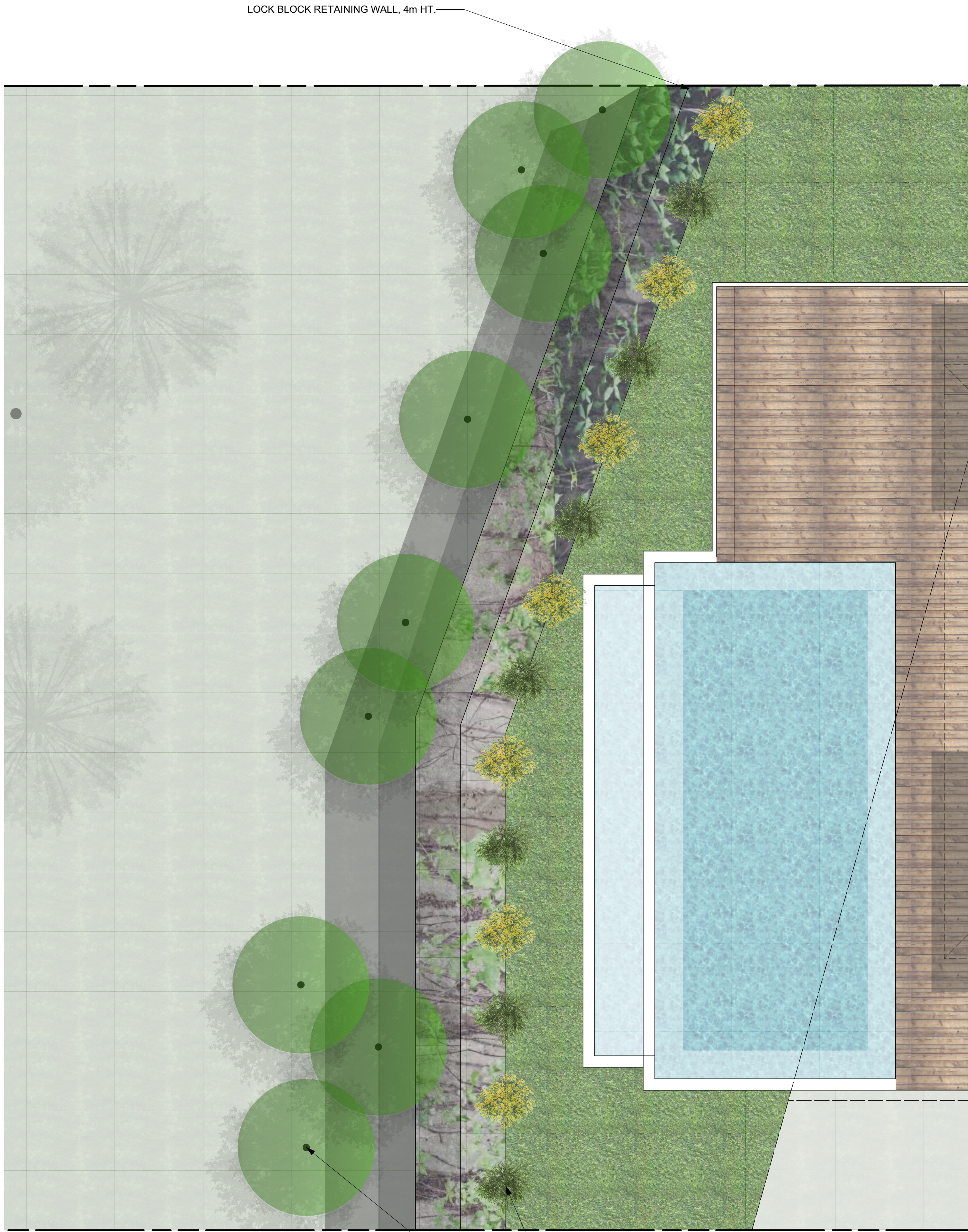
POOL & PATIOS: 1,052 SQFT
TOTAL (ALL): 4112 SQFT
TOTAL SITE COVERAGE: 35.4% < 70% ALLOWABLE



JEREMY
NEWELL
DESIGN INC.
info@jeremynewell.com

PROJECT TITLE PROPOSED RESIDENCE LOT 6, PLN 74540, O.D.Y.B. , 1094 WESTPOINT DRIVE SHEET TITLE SITE PLAN		KELOWNA, BC
---	--	-------------

SCALE 1/8" = 1'-0"
DATE SEP 27 TH , 2017
A1

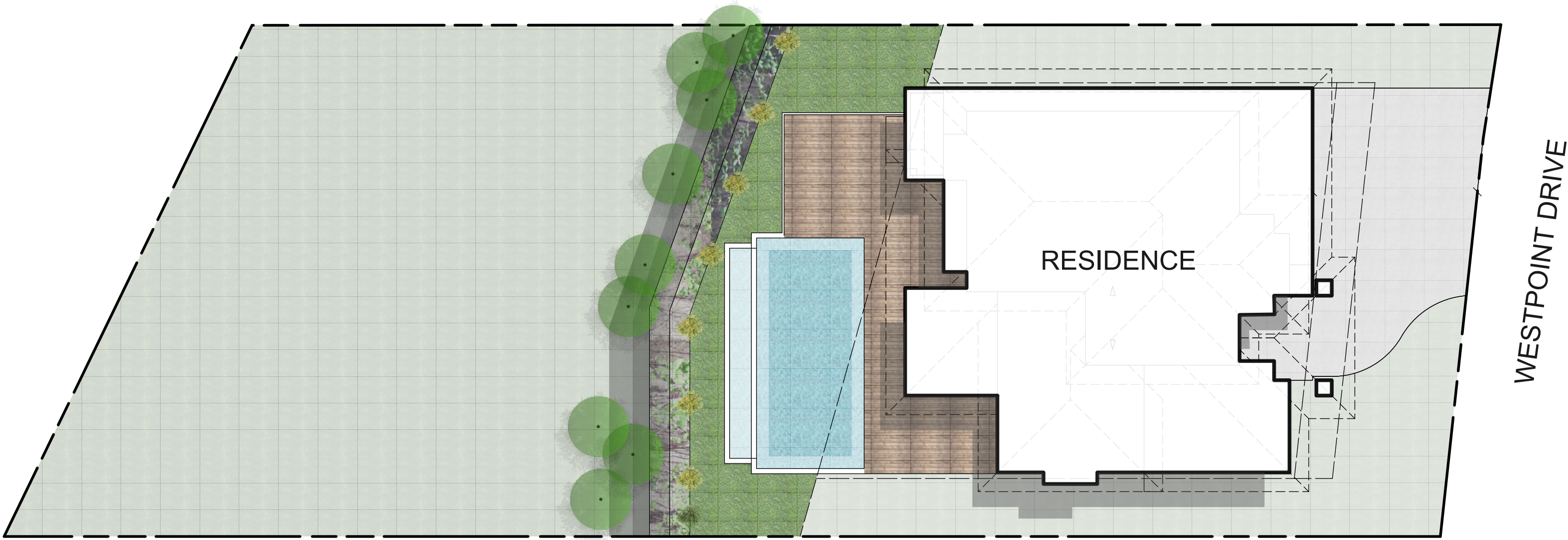


RETAINING WALL PLAN

SCALE 1:50

DROUGHT TOLERANT, VIGOROUS VINES
(ALTERNATING PARTHENOCISSUS TRICUSPIDATA &
PARTHENOCISSUS QUINQUEFOLIA)

NATIVE, TREE FORM SHRUB
(AMELANCHIER ALNIFOLIA)



SITE PLAN

SCALE 1:150

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C.L.N.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
TREESFORM SHRUBS			
AMELANCHIER ALNIFOLIA	SASKATOON	9	#15 CONT.
VINES			
PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	7	#02 CONT.
PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	7	#02 CONT.











Development Variance Permit

DVP17-0227



This permit relates to land in the City of Kelowna municipally known as

1094 Westpoint Dr

and legally known as

LOT 6 SECTION 31 TOWNSHIP 29 OSOYOOS DIVISION YALE DISTRICT PLAN KAP87220

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

S.7.5.9 Fencing and Retaining Walls

To vary the required retaining wall from 1.2m permitted to 5.03m proposed.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: December 5th 2017

Decision By: CITY COUNCIL

Issued Date: **DATE**

Development Permit Area: NA

File Manager: SS

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: RU1 – Large Lot Housing

Future Land Use Designation: S2RES – Single Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Kathleen Vance
Address: 936 Lamont Lane, V1W 5J1
City: Kelowna, BC
Phone: 250-300-6441

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the retaining wall to be constructed on the land be in accordance with Attachment "A";
- b) Landscaping to be provided on the land be in accordance with Attachment "B"; and
- c) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of; (to be determined TBD) OR
- b) An Irrevocable Letter of Credit in the amount of; (to be determined TBD)

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

REPORT TO COUNCIL



Date: December 5, 2017

RIM No. 0940-00

To: City Manager

From: Community Planning Department (LK)

Application: DP17-0204 & DVP17-0235

Owner: Whitworth Holdings Ltd. Inc.
No.1059455

Address: 1250-1298 Ellis Street

Applicant: Meiklejohn Architects

Subject: Development Permit & Development Variance Permit

Existing OCP Designation: MXR – Mixed Use (Residential/ Commercial)

Existing Zone: C1oLP – Service Commercial (Liquor Primary)

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP17-0204 for Lot 1 District Lot 139 ODYD Plan 660, located at 1250-1598 Ellis Street, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0235 for Lot 1 District Lot 139 ODYD Plan 660, located at 1250-1598 Ellis Street, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 14.10.5(d): C10 – Service Commercial Development Regulations

To vary the required minimum front yard from 2.0 m permitted to 0.0 m proposed.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider the form and character and one variance to facilitate an addition to an existing commercial building on the subject property.

3.0 Community Planning

Community Planning staff supports the proposed addition and variance on the subject parcel. The application meets the Official Community Plan (OCP) Urban Design Guidelines and the addition is appropriate for the context of the site.

The property is within the City Centre Urban Centre and fronts onto Ellis Street, one block south of Clement Avenue. The property is unique as it is the only commercial parcel that is zoned C10 – Service Commercial within the downtown area that is not located along Harvey Avenue. All other commercial properties in the downtown area are generally zoned C7 – Central Business Commercial. The C7 zone would allow the proposed addition without triggering a front setback variance. Rezoning the property to align with the downtown area will be undertaken in the future if/when the property redevelops.

Council Policy No 367 with respect to public consultation was undertaken by the applicant and all neighbours within a 50 m radius of the subject parcel.

4.0 Proposal

4.1 Background

The existing building is a historic building and is on the Kelowna Heritage Register. It is important for connections to both the tobacco industry and the fruit packing industry. It represents the industrial development that occurred along the north end of Ellis street and in the surrounding area. The building was constructed in 1912 as offices and a cigar factory for the British North American Tobacco Company. It later became a cannery for the Occidental Fruit Company which closed its doors in 1960. The building was then occupied by multiple industrial uses over the years. The building is recognized for the bold brickwork and as having an attractive and ornate street facing elevation.

Earlier this year, the nightclub 'Flashbacks', closed their business. Since that time, the second floor space has been vacant. The building owners have taken this opportunity to do some building façade upgrades/changes. This included the removal of the former entry to flashbacks (refer to photo). The entry area occupied approximately 40 m² area along the Ellis Street frontage.



Figure 1 - Ellis Street building frontage

4.2 Project Description

The cannery row building has three distinct sections (refer to Figure 2). The north section is occupied by BNA Brewpub and Moto Vida. The former Flashbacks area is also part of the two storey north section of the building. The centre section consists of three stories and has the most ornate front façade. The south portion has a number of commercial bays that front onto Ellis Street, Cawston Avenue and Cannery Lane.



Figure 2 – Image shows the three distinct sections of the building (south, middle & north).

The applicant is proposing a 33 m² addition along the Ellis Street frontage directly north of the centre section of the building. The proposed addition is a new glass enclosed space to house a staircase and elevator which will service all three floors of the central portion and two stories of the north portion of the building. The canopy and signage are not included in this application and have been shown to illustrate how the final street elevation would appear. The canopy will match the existing canopy/sign located at the entry to BNA Brewpub.



Figure 3 – Glass façade addition to house stairs and elevator.

Additions to a historic building can either try to emulate the original building design or create a contemporary contrast to the existing historical building. The addition follows the latter by providing a glazed box which allows for the brick wall to be visible from the exterior. The enclosure will consist of large glass panels with metal accents. The interior staircase will be steel to provide a lightness and contrast to the existing brick façade. The elevator shaft is located behind the stairs, so as to be less visible from Ellis Street and will allow accessibility for visitors to all three levels of the building.

The addition will require one variance to reduce the required 2.0 m front setback to 0.0 m proposed. The stairwell addition will match the foremost façade of the central portion of the existing building, which is also constructed to the front property line. Staff is supportive of the requested front setback variance as it matches the existing building. The glass façade addition will provide a visually pleasing update to the existing building and does not detract from the historical character.

4.3 Site Context

The subject property is located on Ellis Street, east of Prospera Place.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	CD5 – Multi-Purpose Facility	Vacant lot
East	I4 – Central Industrial C7 – Central Business Commercial	Metal Fabricators Food Bank & Mixed Use Commercial/Residential
South	CD8LR – Heritage Industrial (Liquor Primary/Retail Liquor Sales)	Laurel Packing House
West	CD5LP - Multi-Purpose Facility (Liquor Primary)	Prospera Place

Subject Property Map:



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	C10LP ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	1000 m ²	5596 m ²
Lot Width	30 m	42.7 m
Lot Depth	30 m	131 m
Development Regulations		
Height	3 storeys	3 storeys
Front Yard (Ellis Street)	2.0 m	0.0 m ❶
Side Yard (south – Cawston Street)	2.0 m	2.3 m
Side Yard (north)	0.0 m	0.94 m
Rear Yard	0.0 m	0.0 m
❶ Indicates a requested variance to the required front setback of 2.0 m to 0.0 m proposed (to match setback of existing building).		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Development Process

Accessibility Measures.¹ Review all development proposals to ensure that accessibility needs have been addressed in compliance with City Guidelines for Accessibility in Outdoor Areas. Consult with stakeholders and/or other appropriate agencies, as required, to ensure accessibility measures in development projects are addressed.

Cultural District.² Support the development of the Kelowna Cultural District as outlined in the adopted cultural plans, as a centre for arts and entertainment and a catalyst for downtown revitalization.

Downtown.³ Recognize that a unique, attractive, thriving and livable downtown is strategically important to Kelowna's overall prosperity and success. Towards this end, the City will plan and manage the Downtown as a single and special entity and will take a proactive, comprehensive, integrated and collaborative approach towards providing services and infrastructure, delivering programs, and developing a supportive regulatory and financial environment.

6.0 Technical Comments

6.1 Building & Permitting Department

- An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units and all corridors, number of required exits per area, door swing direction, handrails on each side of exit stairs, width of exits, spatial calculation for any windows in exit stairs, etc.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications.

6.2 Development Engineering Department

- Refer to Attachment 'A'.

6.3 Fire Department

- Construction/renovation fire safety plan is required to be submitted and reviewed prior to construction and updated as required.
- An updated fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD as well as a fire pre-plan as per bylaw 10760.

7.0 Application Chronology

Date of Application Received: September 25, 2017

Date Public Consultation Completed: November 2, 2017

¹ City of Kelowna Official Community Plan, Policy 5.6.1 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.20.3 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Policy 8.9.2 (Economic Development Chapter).

Report prepared by: Lydia Korolchuk, Planner

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Attachment A: Development Engineering Memorandum
Schedule A: Site Plan
Schedule B: Conceptual Elevations
Site Photos
Conceptual renderings

CITY OF KELOWNA

MEMORANDUM

Date: October 27, 2017
File No.: DP17-0204
To: Urban Planning (LK)
From: Development Engineer Manager (JK)
Subject: 1250-1298 Ellis Street (REVISED)

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Jason Angus

1. Domestic Water and Fire Protection

The subject property is currently serviced with a 200mm-diameter water service. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development. The applicant, at his cost, will arrange for the disconnection of existing service and the installation of a new service if necessary.

2. Sanitary Sewer

City of Kelowna's records indicate that this property is connected with three (3) sewer services. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services and the installation of one new larger service if necessary.

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and recommendations for onsite drainage containment and disposal systems.
- (b) On site storm drainage systems for the site will be reviewed and approved by Engineering when a site servicing design is submitted.
- (c) There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.

4. Road Improvements

- (a) Ellis Street fronting this development site is urbanized but the existing curb and sidewalk is in a deteriorated state. The existing driveway letdowns will need to be removed and replaced with barrier curb and gutter and sidewalk. The upgrades will require curb, gutter, driveway letdown and sidewalk removal and reconstruction, as well as the re-location or adjustment of existing utility appurtenances if required to accommodate the upgrading construction.
- (b) Cannery Lane behind the development has existing pavement markings for parking stalls which must be removed.

5. Electric Power and Telecommunication Services

- a) All proposed service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.
- b) Re-locate existing utilities, where necessary

8. Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

9. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must

provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.

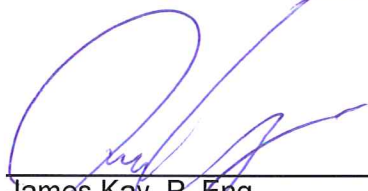
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

10. Other Engineering Comments

- (a) Provide all necessary Statutory Rights-of-Way for any utility corridors as required.
- (b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

11. Development Permit and Site Related Issues

- (a) Access and Manoeuvrability
 - (i) Access to the site will be permitted from the lane only.
 - (ii) Indicate on the site plan, the locations of loading bays as well as the garbage and recycle bins.



James Kay, P. Eng.
Development Engineering Manager

JA

ZONING SUMMARY		C10LP
ellis street warehouse 2017 additions		
ADDRESS	1250 - 1298 Ellis Street, Kelowna BC	
LEGAL DESCRIPTION	Lot 1, DL 139 ODYD Plan 660	
DEVELOPMENT PERMIT AREA	Central Business District, CITY CENTRE	
EXISTING ZONING	C10LP	
EXISTING LEGAL USE	Service Commercial	
GRADES	Existing Average: flat	
NUMBER OF BUILDINGS	1 building	
CRITERIA FOR ALL TYPES OF APPLICATION:		
C10LP service commercial (liquor primary)		
	ZONING STANDARD	PROPOSED
SITE AREA (sm)	1,000 sm min	existing 5,596+/-sm
SITE WIDTH (m)	30.0 m min	existing 42.696+/-m
SITE DEPTH (m)	30.0 m min	existing 131.044+/-m
OFF-STREET PARKING	existing 32 stalls	existing 32 stalls
PARKING STALL SIZE	see parking calculations	see parking calculations
PRIVATE OPEN SPACE	existing condition	existing condition
HEIGHT OF BUILDING (S)/# OF STOREYS	12 m or 3 storeys	existing 1-storey+2-storey/mezz
SITE COVERAGE OF BUILDING(S) (%)	60% max	78.7%± (decrease in original %) area of demolition: 430.5sf (40.0sm) area of addition: 355.5sf (33.0sm) (existing non-conforming)
SITE COVERAGE INCLUDING BUILDINGS, DRIVEWAYS AND PARKING (%)	N/A	N/A
ADDITIONAL REQUIREMENTS FOR COMMERCIAL, INDUSTRIAL AND MULTIPLE UNIT / INTENSIVE RESIDENTIAL APPLICATIONS:		
C10LP service commercial (liquor primary)		
NUMBER OF BICYCLE PARKING SPACES	Class I: 0.20 per 100 sm GLA or 1 per 10 employees Class II: 0.60 per 100 sm GLA	existing condition
NUMBER OF LOADING SPACES	1 per 1,900 sm GFA	existing condition
DRIVE AISLE WIDTH (m) (IF PROPOSED)	7.0	existing 7.0+/-m
SETBACKS TO PARKING		
FRONT	N/A	N/A
SIDE	N/A	N/A
SIDE	N/A	N/A
REAR	N/A	N/A
FLOOR AREA NETT	3,637 sm max	(6,292 /5,596) sm
FLOOR AREA RATIO (F.A.R.)	0.65max	1.12+/- existing (no increase in FAR) new addition do not increase NFA (existing non-conforming)
BUILDING (S) SETBACKS (M):		
Side	North (Lane)	0 m existing 0.94+/-m
Side	South (Cawston)	0 m (2.0m abutting a flanking street) existing 2.3+/-m
Rear	West (Lane)	0 m existing 0m
Front	East (Ellis)	2.0 m existing 0m (existing non-conforming)
DAYLIGHT ANGLE (IF A TOWER)		
N/A		
PODIUM HEIGHT (IF PROPOSED)		
N/A		
FLOOR PLATE SIZE (IF REQUIRED)		
N/A		

PARKING CALCULATIONS	
FULL SIZE STALLS	6.0 m x 2.5 m
BARRIER FREE STALLS	6.0 m x 3.7 m
MEDIUM STALLS	4.8 m x 2.3 m
COMPACT STALLS	3.4 m x 2.0 m
DRIVING AISLES	7.0 m wide
PARKING:	existing 32 stalls

BUILDING CODE REVIEW				
ELLIS STREET WAREHOUSE 2017 ADDITIONS				
COMPARTMENT A (No new work in this area):				
OCCUPANCY	GROUP A2	GROUP D	GROUP E	GROUP F2
ARTICLE	3.2.2.25	3.2.2.58	3.2.2.64	3.2.2.74
NO. OF STOREYS	1			
NO. OF STREETS FACING	2			
BUILDING AREAS:	EXIST. (NON-CONFORMING) 2,336 ±sm	CODE MAX. 1,500 sm		
CONSTRUCTION TYPE	COMBUSTIBLE / NON-COMBUSTIBLE			
SPRINKLERED	NO			
ASSEMBLY RATINGS:				
FLOOR	N/A			
WALLS / BEARING STRUCTURE	45 MIN. OR NON-COMBUSTIBLE			
ROOFS	45 MIN. OR NON-COMBUSTIBLE			
MEZZANINE	N/A			
COMPARTMENT B:				
OCCUPANCY	GROUP A2	GROUP D	GROUP E	GROUP F2
ARTICLE	3.2.2.26	3.2.2.59	3.2.2.65	3.2.2.75
NO. OF STOREYS	2 (Plus level 3 mezzanine)			
NO. OF STREETS FACING	2			
NOTES:	Level 3 not to be considered a story in accordance with A - 1.1.1.1.(1) #8 Building is separated into 2 compartments by existing masonry firewall			
BUILDING AREAS:	PROPOSED 2068 ±sm	CODE MAX. 2,400 sm		
CONSTRUCTION TYPE	COMBUSTIBLE / NON-COMBUSTIBLE			
SPRINKLERED	YES			
ASSEMBLY RATINGS:				
FLOOR	45 MIN.			
WALLS / BEARING STRUCTURE	45 MIN.			
ROOFS	NO RATING			
MEZZANINE	45 MIN.			

BUILDING AND FLOOR AREAS:			
NFA	±sf	±sm	
LEVEL 1 existing area	44,640	4,147	
LEVEL 2 existing area	19,073	1,772	
LEVEL 3 existing area	4,018	373	
Total	67,731	6,292	
NOTE: BLDG SEPARATED INTO 2 FIRE COMPARTMENTS (SEE BLDG CODE REVIEW ABOVE)			
COMPARTMENT A BLDG AREA:	25,142	2,336	
COMPARTMENT B BLDG AREA:	22,264	2,068	

SPATIAL SEPARATION:		3.2.3.1.D
WALL AREA	EXIST. WALL CONSTRUCTION / OPENING SIZES ARE UNCHANGED. OPENINGS IN EXIST. BLDG. FACES FACE STREETS IN ALL CASES.	
OPENING AREA		
% PROVIDED		
LIMITING DISTANCE		
% PERMITTED		
CONSTRUCTION TYPE		
CLADDING MATERIAL		
REQUIRED RATINGS		

ACCESSIBILITY REQUIREMENTS			3.8.
	REQUIRED	PROVIDED	
ACCESS TO 1ST FLOOR ENTRANCES	YES	YES	
ACCESS TO ALL FLOORS	YES	YES	
ACCESSIBLE WASHROOM	YES	YES (BY TENANTS)	
(NOTE: TENANTS TO INCLUDE DIMENSIONED FLOOR PLANS FOR H/C WASHROOMS AS PART OF THEIR LEASEHOLD PERMIT APPLICATIONS - N.I.C.)			

FIRE PROTECTION:		3.2.4./ 3.2.5./ 3.2.6.
LOCATION OF HYDRANT TO SIAMESE CONNECTION	45 m MAX. (COMPARTMENT B ONLY)	INDUSTRIAL 3.2.5.5.
STANDPIPE/HOSE	NO	3.2.5.8.
SPRINKLERED	YES (COMPARTMENT B ONLY)	
FIRE ALARM SYSTEM	YES	3.2.4.1.(2)(f)
EXIT LIGHTS	YES	
EMERGENCY LIGHTING	YES	

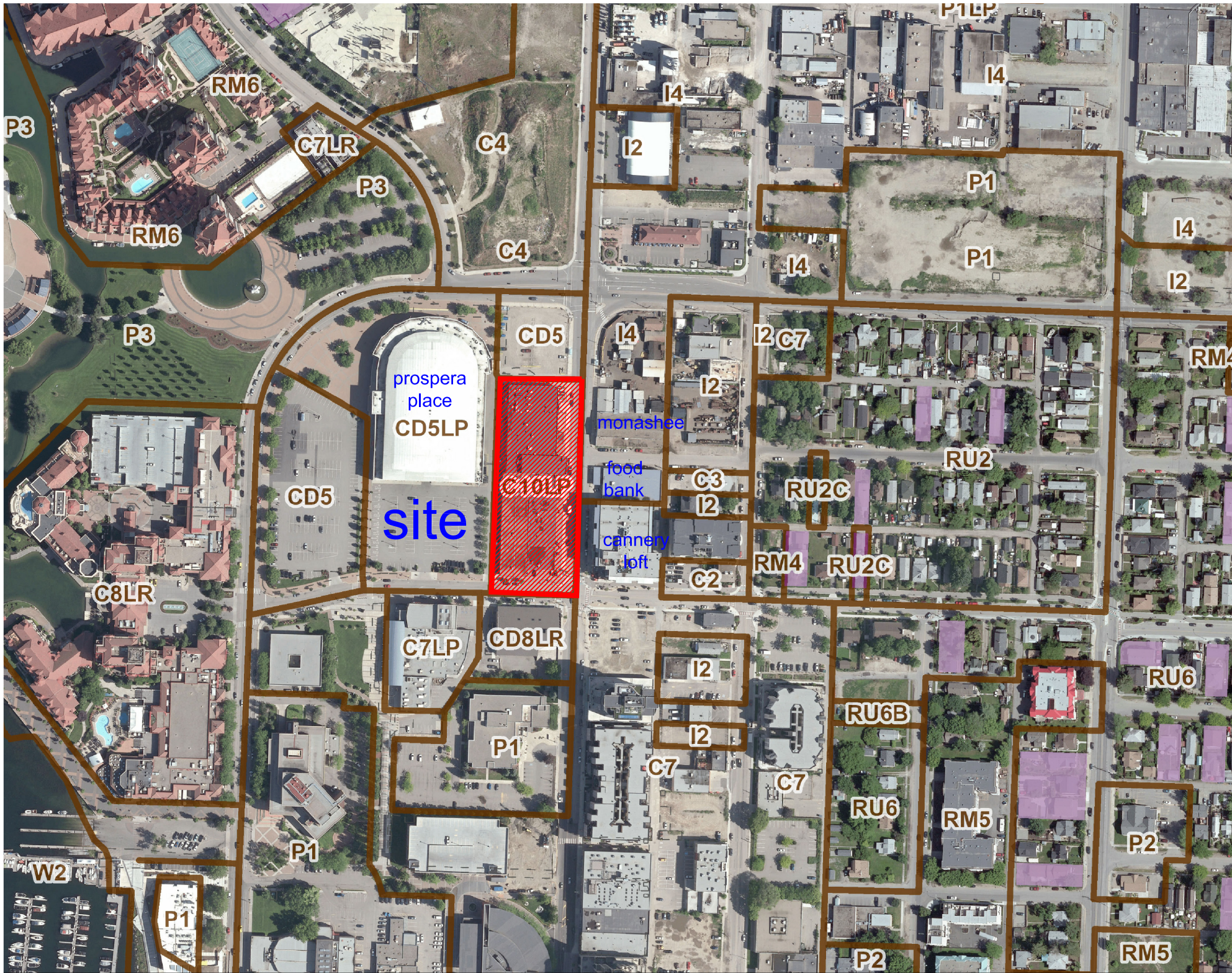
OCCUPANT LOAD		TABLE 3.1.17.1.
EACH TENANT TO PROVIDE OCCUPANT LOAD CALCULATIONS AS PART OF THEIR LEASEHOLD PERMIT APPLICATIONS.		

EXIT FACILITIES		3.1 TO 3.6
REQUIRED EXITS	2 MIN. PER UNIT (SEE SEPARATE LEASEHOLD PERMIT APPLICATIONS FOR EXIT REQUIREMENTS @ EACH CRU)	
EXIT THROUGH LOBBY	YES (NEW STAIR ADDITION)	3.4.4.2
PANIC HARDWARE REQD	YES (@ EXTERIOR STAIR DOORS AND LOBBY)	3.4.6.16
EXIT EXPOSURE	OK	3.2.3.13
MAX. TRAVEL DISTANCE	45 m	3.4.2.5.(1c)
		3.4.2.1.(2b)
EXIT RATINGS REQUIRED:		
STAIR SHAFT	45 MIN.	
CORRIDORS	N/A	

REQUIRED FIRE SEPARATIONS			3.1.3.1.
TENANTS / MAJOR OCCUPANCIES			
MIN. SUITE SEPARATION	1 HR	3.3.1.1	
GROUP A-2 to F3	2 HR		
GROUP A-2 to E	2 HR		
GROUP D to E	1 HR		
GROUP D to F2	1 HR		
SERVICES ROOMS	1 HR	3.6.2	
JANITOR ROOM	NON-RATED	3.2.1.21.(3)	

BUILDING FIRE SAFETY		
SOFFIT PROTECTION	N/A	3.2.3.16.
FLAME SPREAD RATINGS	COMPLY WITH:	3.1.13.2
METAL DECK ASSEMBLIES	COMPLY WITH:	3.1.14.2.
ROOF COVERING CLASSIFICATION	CLASS "A"	3.1.15.2.
ATTIC FIRE BLOCKS	EXIST	3.1.11.5
MAX. ATTIC AREA	EXIST.	3.1.11.5.
MAX. CRAWLSPACE AREA	N/A	3.1.11.6.
CONCEALED FLOOR AREA	N/A	3.1.11.6.

WASHROOM FIXTURES REQUIREMENTS	
EACH TENANT TO CONFIRM WASHROOM REQUIREMENTS FOR THEIR SPACE AS PART OF THEIR LEASEHOLD IMPROVEMENT PERMIT APPLICATION (N.I.C.)	



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2017-11-04
revised
DP
city comments

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No.	Date	Revision
01	2017-09-08	re zoning + DP
02	2017-09-14	demising wall BP
03	2017-09-20	revised DP (no rezoning)
04	2017-09-26	revised demising wall BP
05	2017-10-13	demising wall LFC
06	2017-11-04	revised DP (City comments)

Project Title

ELLIS WAREHOUSE
2017 additions

1250-1298 ELLIS ST KELOWNA V1Y 1Z4
LOT 1 DL 139 ODYD PLAN 660

Drawing Number

A1.01

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Drawing Title

zoning
+code

Date	2017-10-13
Job No.	17-1770
Scale	AS SHOWN
Drawn	SM
Checked	JM

cawston avenue

ellis street

lane

lane

SCHEDULEA

This forms part of application

DP17-0204
DVP17-0235

Planner
Initials LK

City of Kelowna

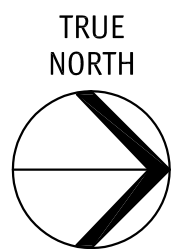
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Drawing Number

A2.01

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Drawing Title
LEVEL 1
KEY PLAN

Date	2017-10-13
Job No.	17-1770
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Drawn	MH
Checked	JM

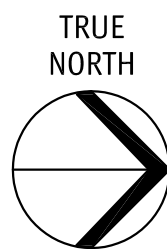
BASE BUILDING RENOVATION
T.I. WORKS UNDER SEPARATE
BP SUBMISSION

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Project Title
**ELLIS WAREHOUSE
2017 additions**

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LOT 1 DL 139 ODYD PLAN 660

Drawing Number

A2.02

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Drawing Title
**LEVEL 2
KEY PLAN**

Date	2017-10-13
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Drawn	MH
Checked	JM

SCHEDULE

A

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DVP17-0235

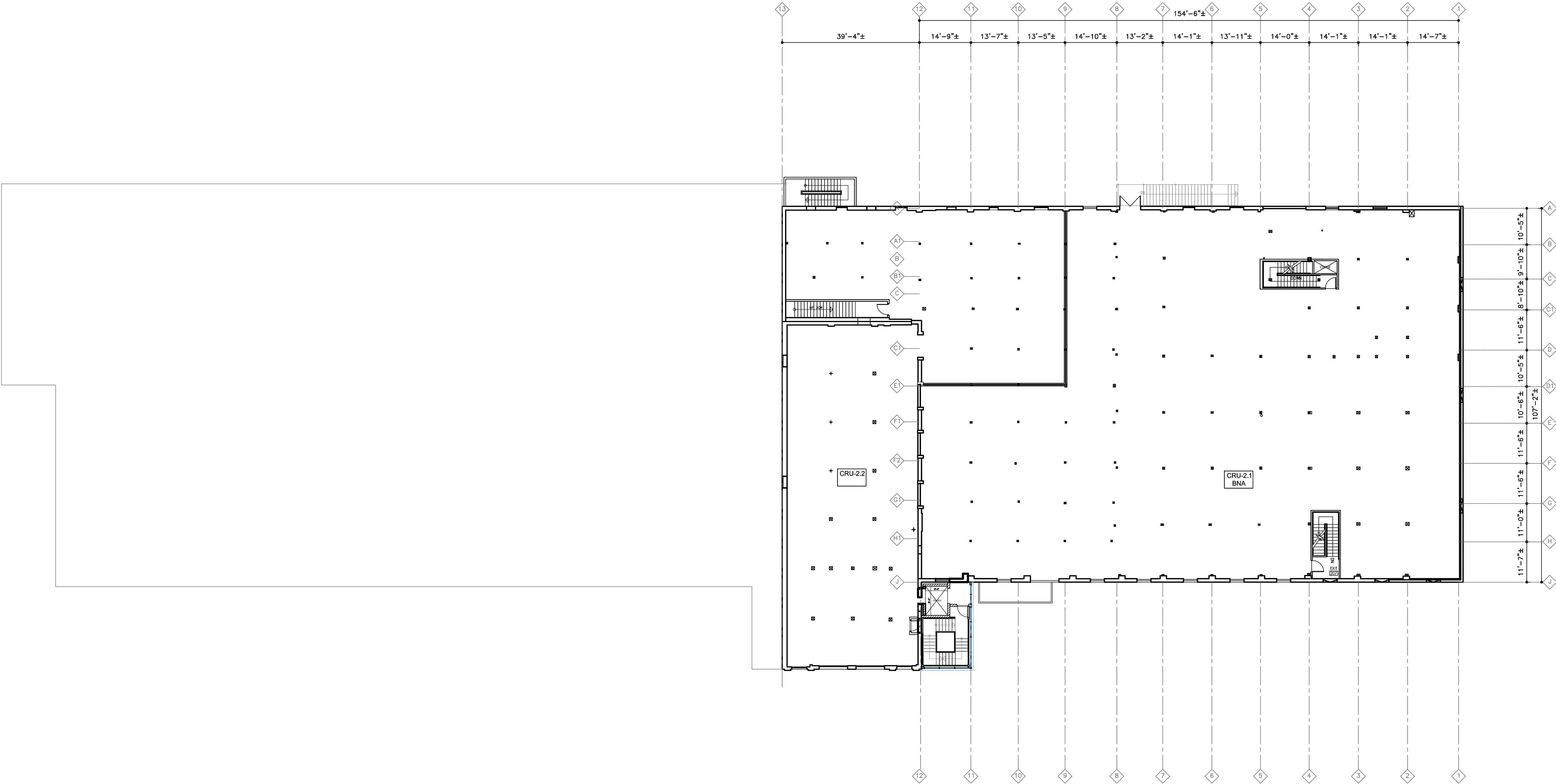
Planner

Initials

LK

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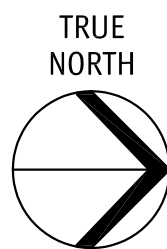


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2017 additions**

1250-1298 ELLIS ST KELOWNA V1Y 1Z4
LOT 1 DL 139 ODYD PLAN 660

Drawing Number

A2.03

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Drawing Title
**LEVEL 3
KEY PLAN**

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Checked	JM

SCHEDULE A

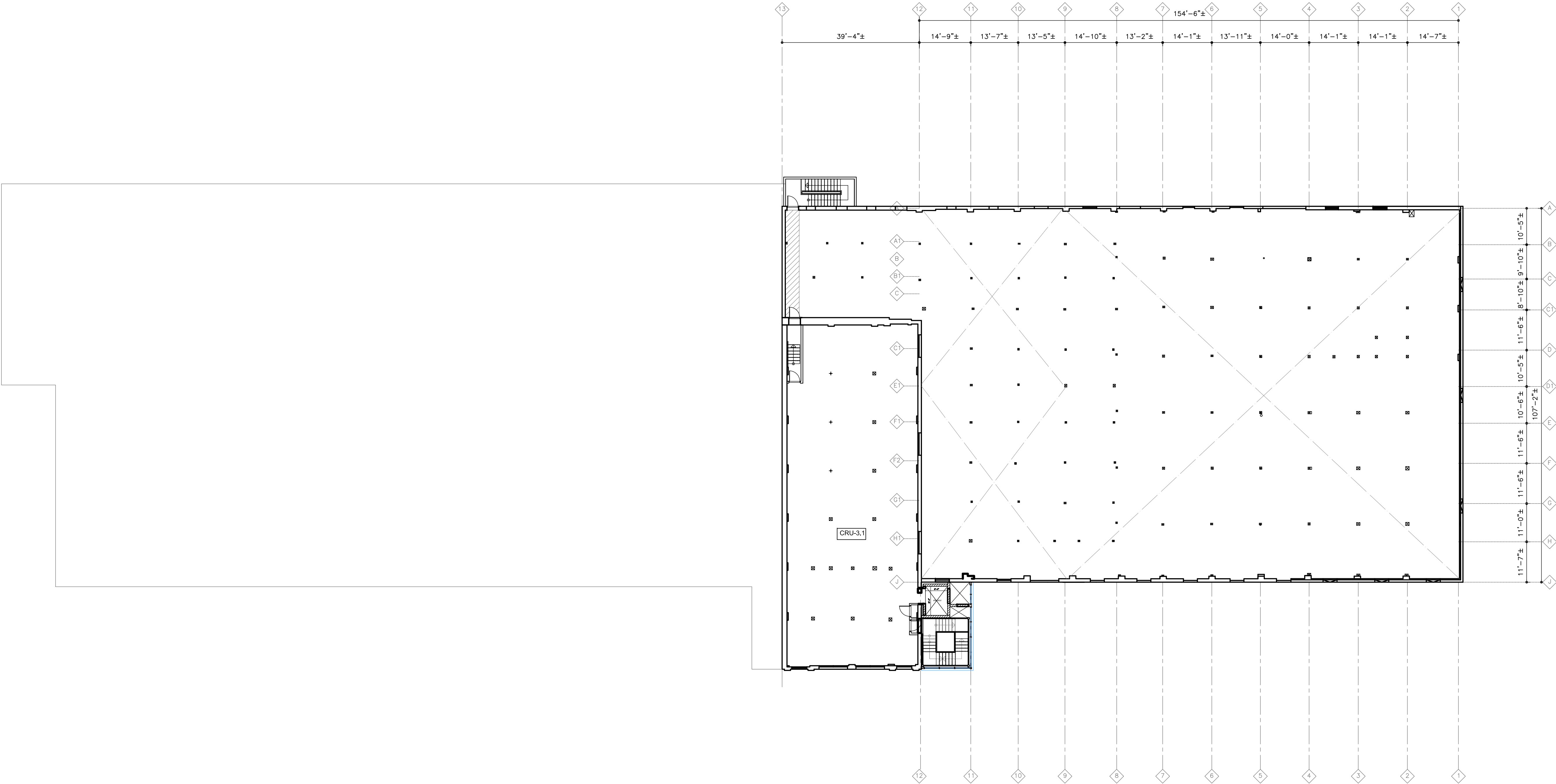
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DVP17-0235

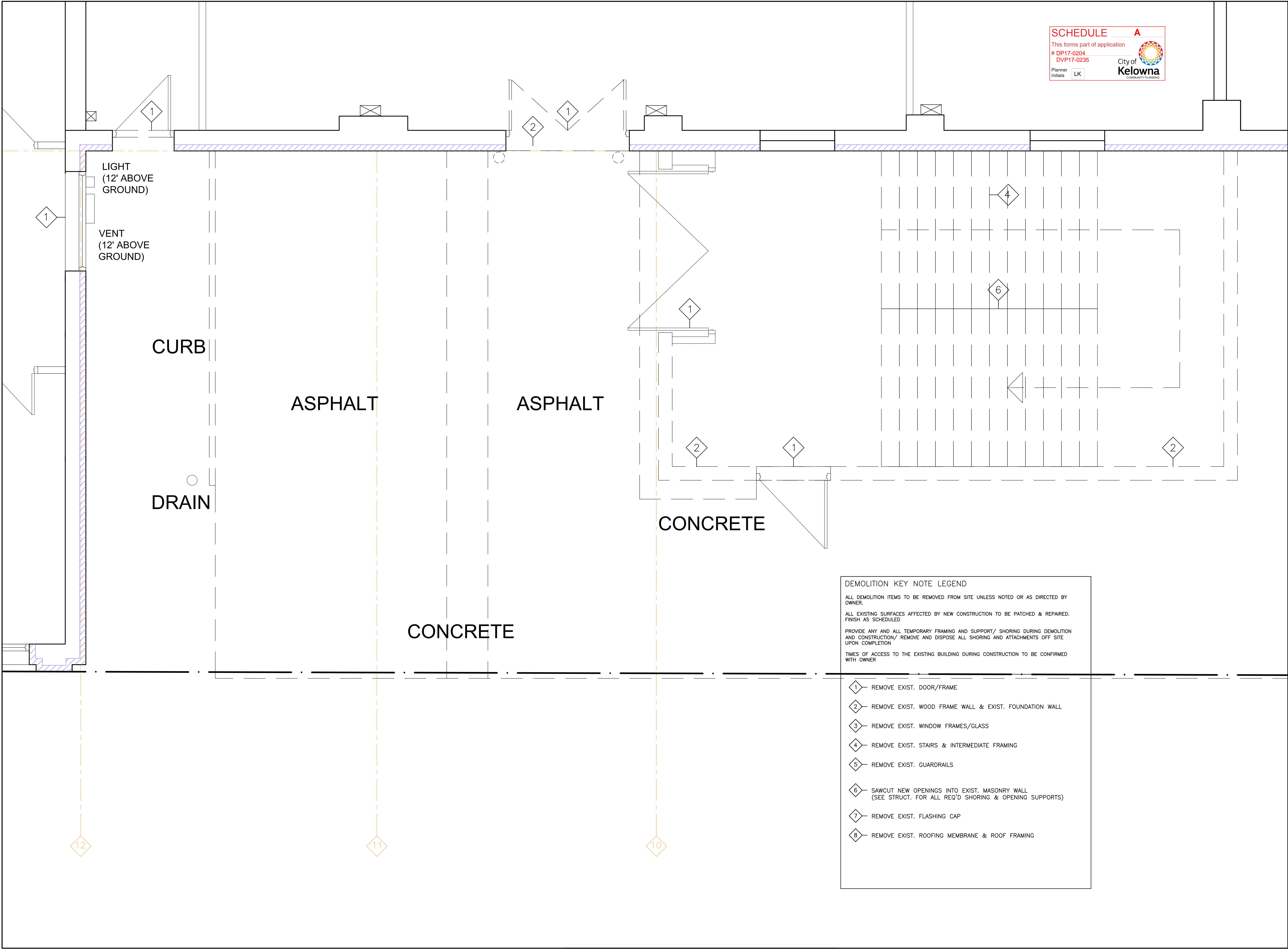
Planner Initials

LK

City of Kelowna

COMMUNITY PLANNING





SCHEDULE A

This forms part of application

DP17-0204
DVP17-0235

Planner Initials LK

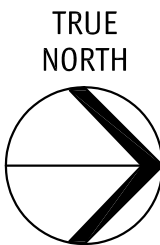

City of Kelowna
COMMUNITY PLANNING

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FAX: 250.762.8707
EMAIL: kel-mai@shaw.ca



2017-11-04
revised
DP
city comments



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No.	Date	Revision
01	2017-09-08	rezoning + DP
02	2017-09-14	demising wall BP
03	2017-09-20	revised DP (no rezoning)
04	2017-09-26	revised demising wall BP
05	2017-10-13	demising wall LFC
06	2017-11-04	revised DP (City comments)

Project Title
**ELLIS WAREHOUSE
2017 additions**

1250-1298 ELLIS ST KELOWNA V1Y 1Z4
LOT 1 DL 139 ODYD PLAN 660

Drawing Number

A3.01-1


DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title
**Level 1
Demolition**

1/2"=1'0"

Date	2017-10-13
Job No.	17-1770
Scale	AS SHOWN
Drawn	SN/MH
Checked	JM

TRUE
NORTH

A circular compass rose with a horizontal line pointing to the right, labeled 'TRUE NORTH' above it. The rose is divided into four quadrants by a vertical line and the horizontal line. The right half is shaded black, and the left half is white. The horizontal line is a thick black arrow pointing right.

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1250-1298 ELLIS ST KELOWNA V1Y 1Z4
LOT 1 DL 139 ODYD PLAN 660

Drawing Number

A3.01-2

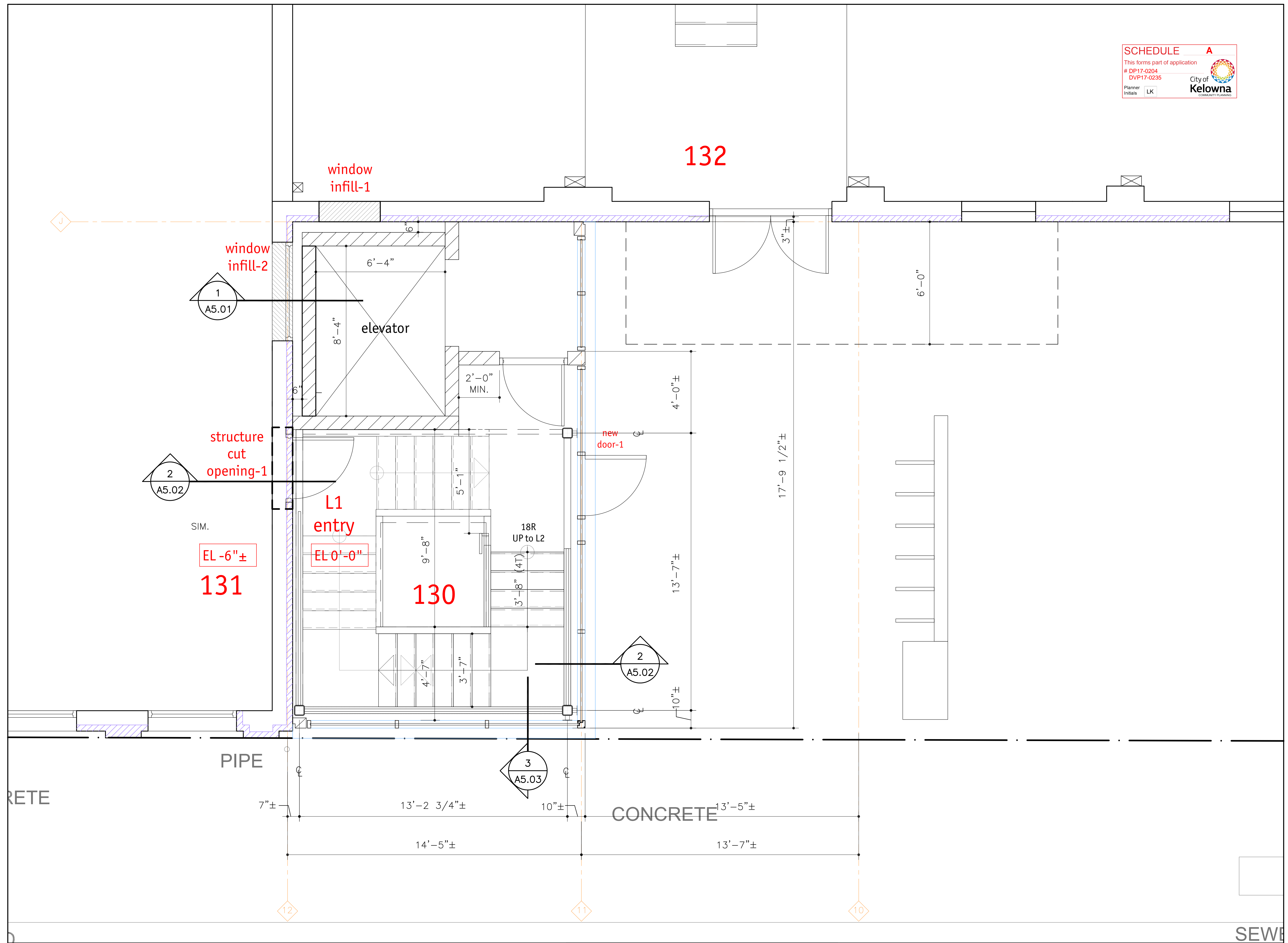
DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

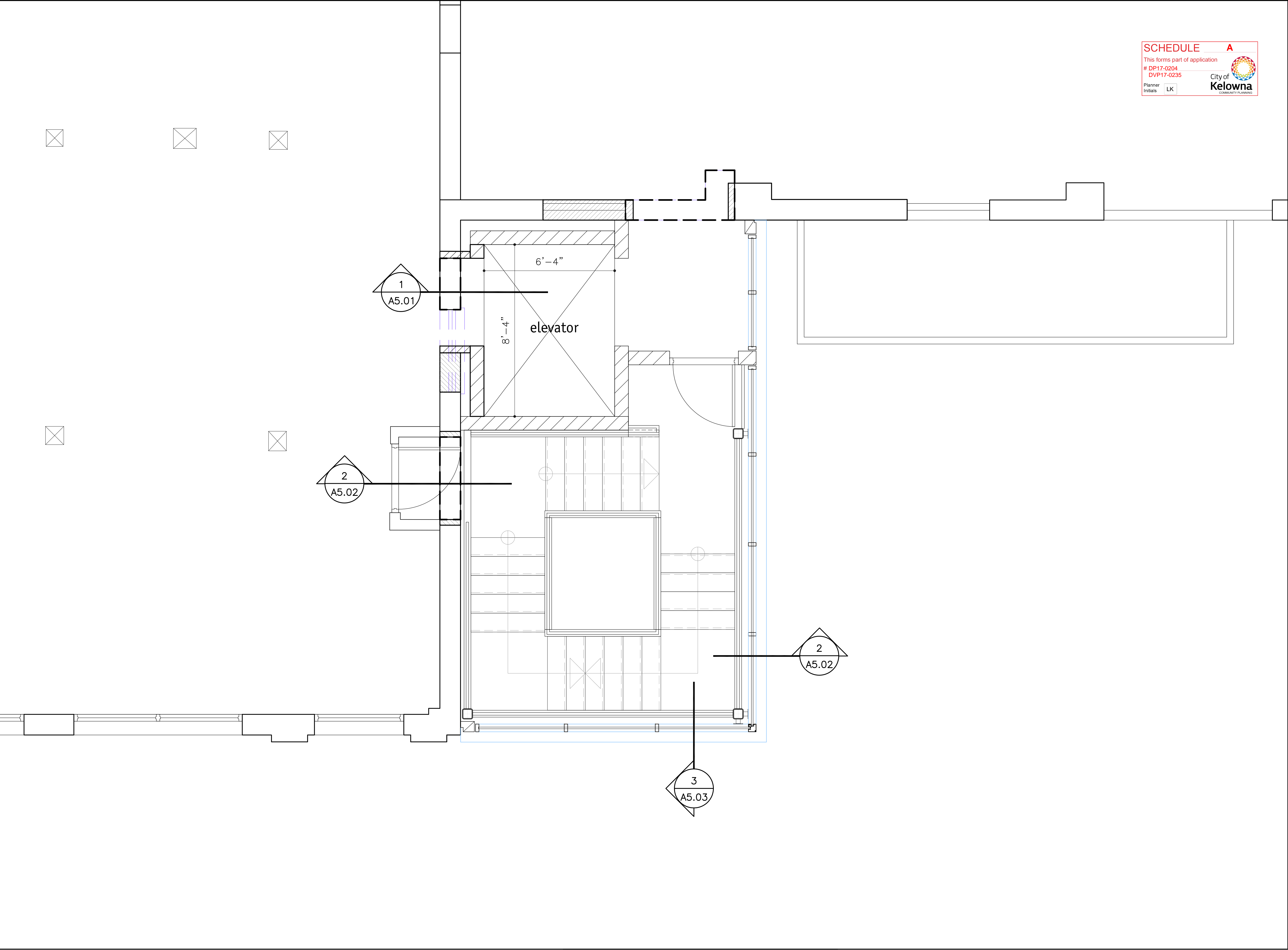
Drawing Title

Level 1
Renovation

$$1/2'' = 1'0''$$

Date	2017-10-13
Job No.	17-1770
Scale	AS SHOWN
Drawn	SN/MH
Checked	JM





SCHEDULE A

This forms part of application

DP17-0204
DVP17-0235

Planner
Initials LK

City of Kelowna
COMMUNITY PLANNING

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a

m+m

MEIKLEJOHN ARCHITECTS INC.

WHITWORTH
HOLDINGS LTD.

2017-11-04
revised
DP
city comments

TRUE NORTH

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Project Title
ELLIS WAREHOUSE
2017 additions

1250-1298 ELLIS ST KELOWNA V1Y 1Z4
LOT 1 DL 139 ODYD PLAN 660

Drawing Number

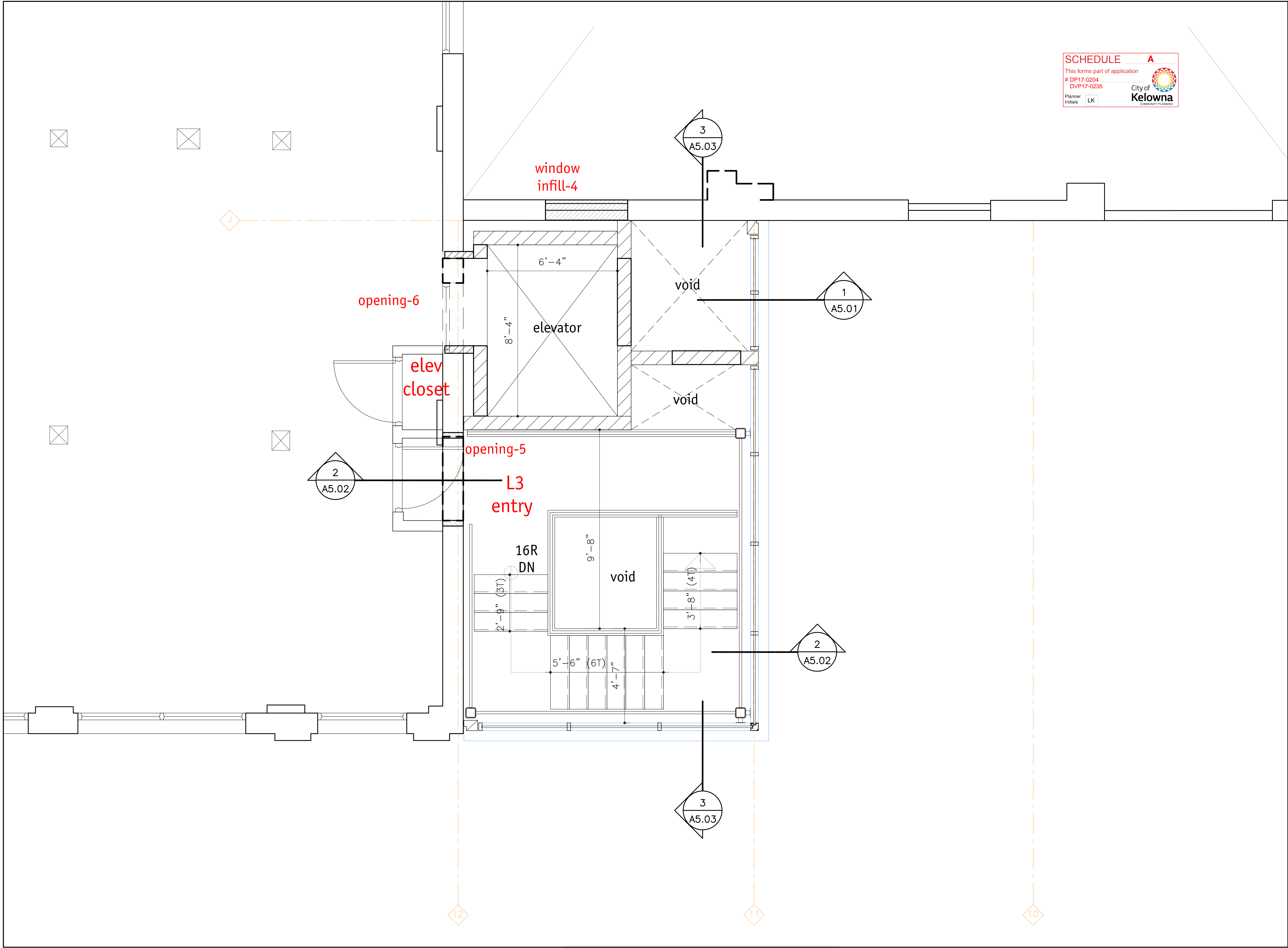
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Drawing Title
Level 2
Renovation

1/2"=1'0"

Date	2017-10-13
Job No.	17-1770
Scale	AS SHOWN
Drawn	SN/MH
Checked	JM

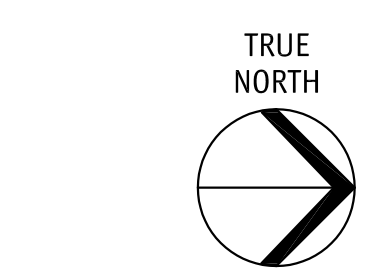


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Project Title
**ELLIS WAREHOUSE
2017 additions**

1250-1298 ELLIS ST KELOWNA V1Y 1Z4
LOT 1 DL 139 ODYD PLAN 660

Drawing Number

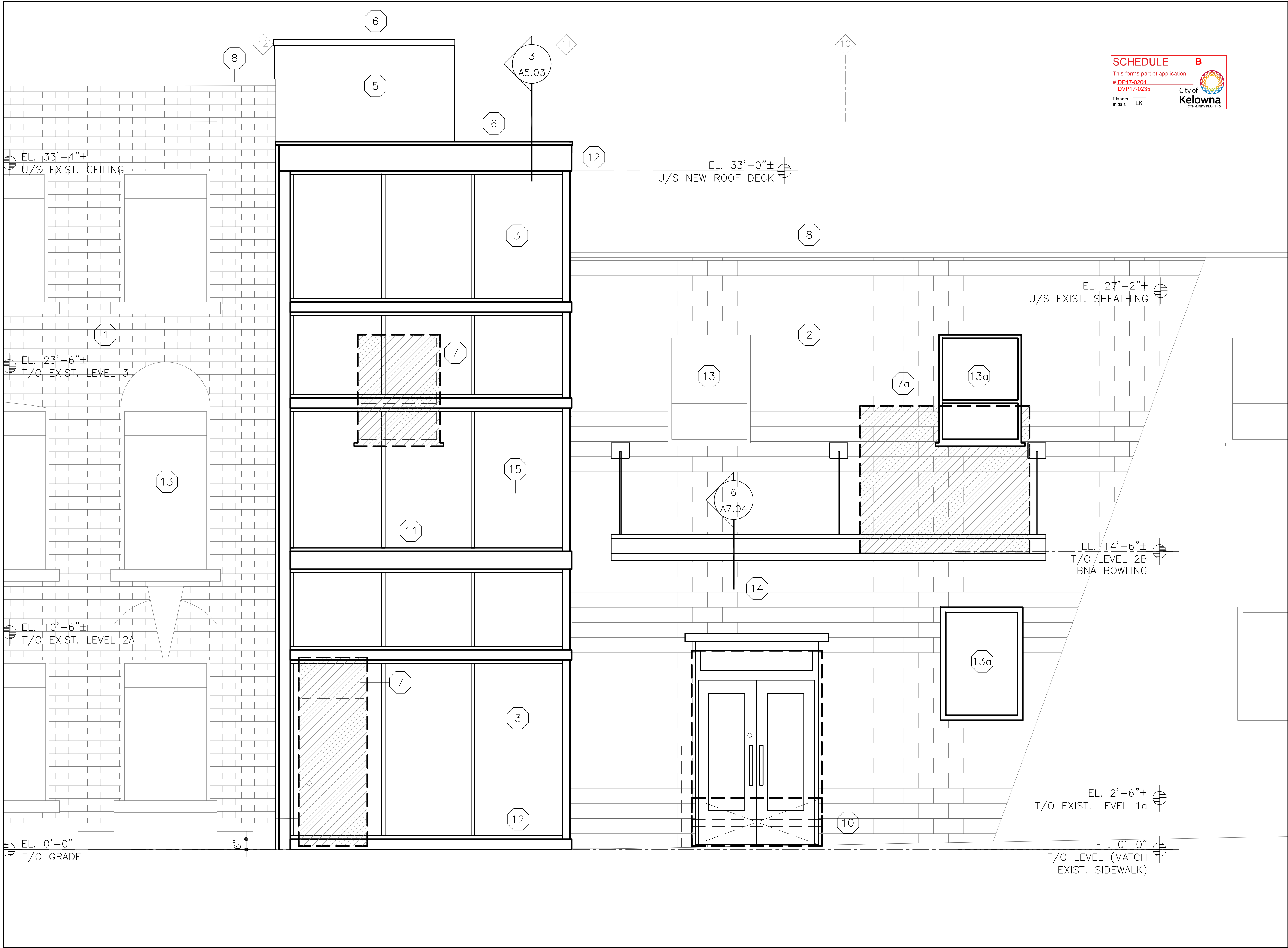
A3.03-2

DRAWINGS ARE NOT TO BE SCALED.
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Drawing Title
**Level 3
Renovation**

1/2"=1'0"

Date	2017-10-13
Job No.	17-1770
Scale	A5 SHOWN
Drawn	SN/MH
Checked	JM



SCHEDULE

B

This forms part of application

DP17-0204

DVP17-0235

Planner

Initials

LK

City of

Kelowna

COMMUNITY PLANNING

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a

m+m

MEIKLEJOHN ARCHITECTS INC.

WHITWORTH

HOLDINGS LTD.

2017-11-04
revised
DP
city comments

TRUE
NORTH

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**ELLIS WAREHOUSE
2017 additions**

1250-1298 ELLIS ST KELOWNA V1Y 1Z4
LOT 1 DL 139 ODYD PLAN 660

Drawing Number

A4.01

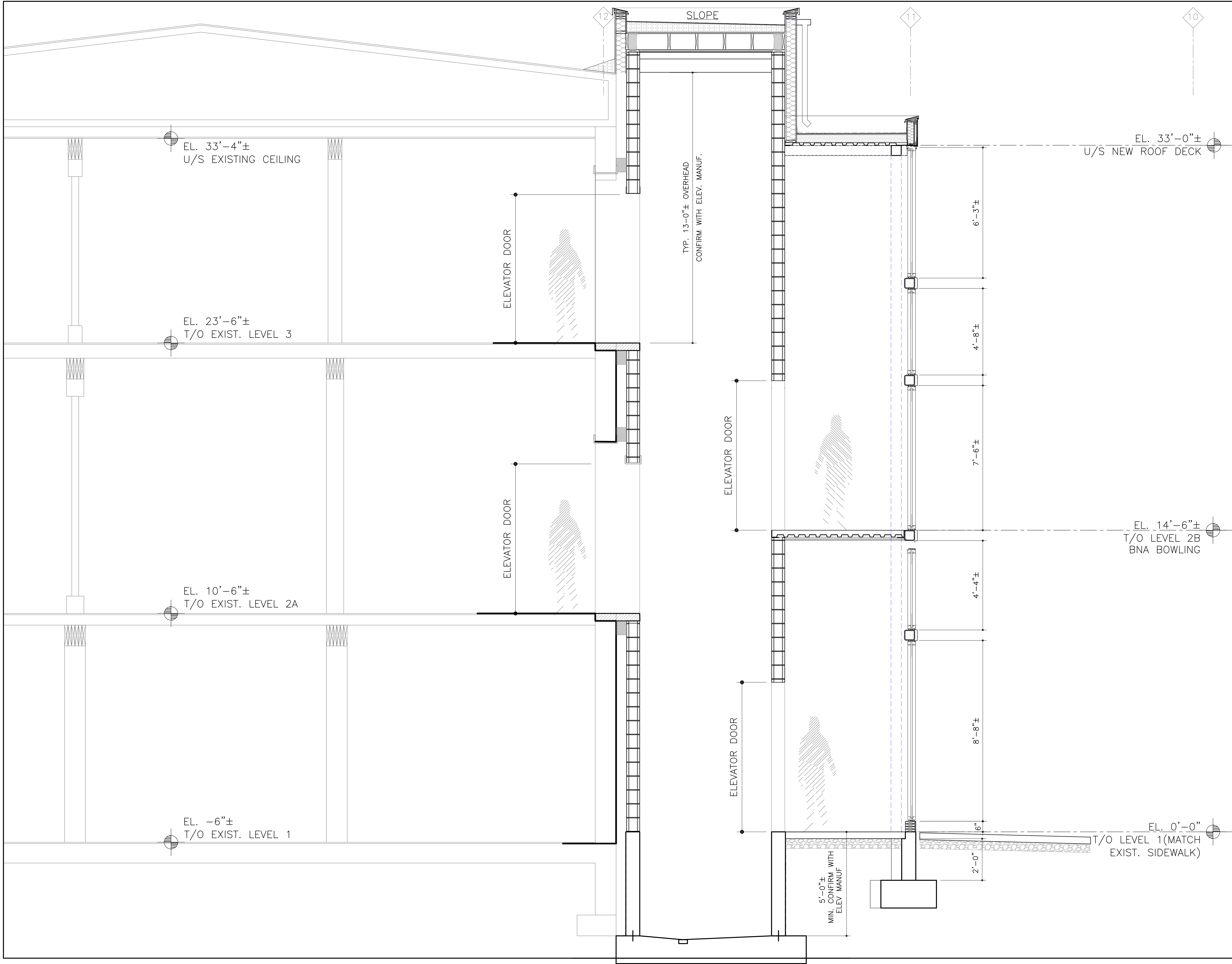
DRAWINGS ARE NOT TO BE SCALED.
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Drawing Title
Bldg Elev

1/2"=1'0"

Date	2017-10-13
Job No.	17-1770
Scale	AS SHOWN
Drawn	SN/MH
Checked	JM



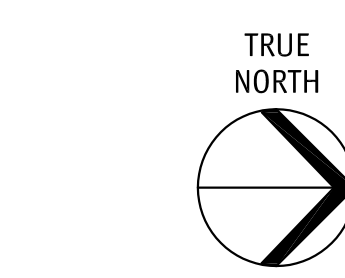


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Project Title
**ELLIS WAREHOUSE
2017 additions**

1250-1298 ELLIS ST KELOWNA V1Y 1Z4
LOT 1 DL 139 ODYD PLAN 660

Drawing Number

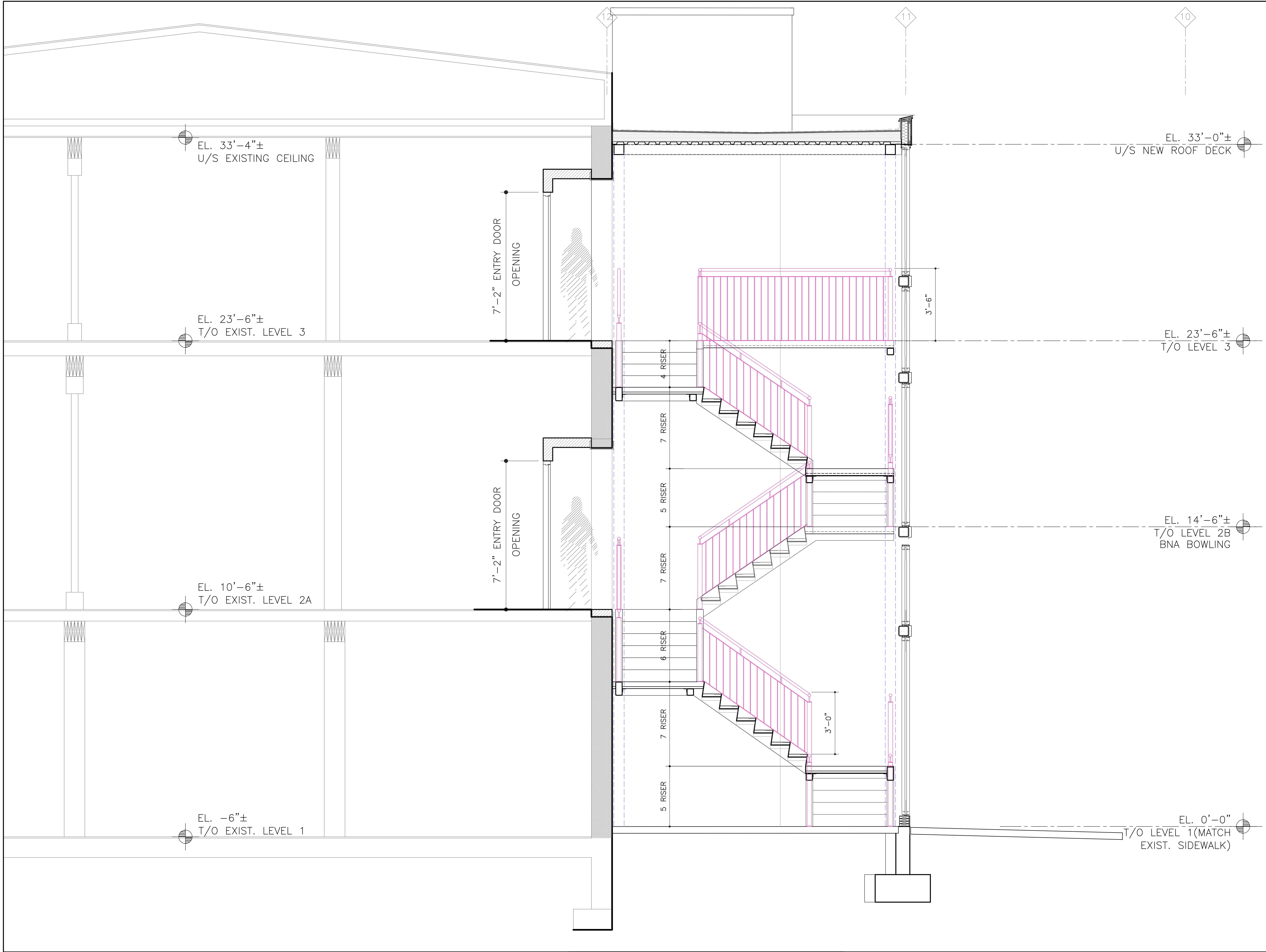
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Drawing Title
Elev Sect

1/2"=1'0"

Date	2017-10-13
Job No.	17-1770
Scale	AS SHOWN
Drawn	SN/MH
Checked	JM

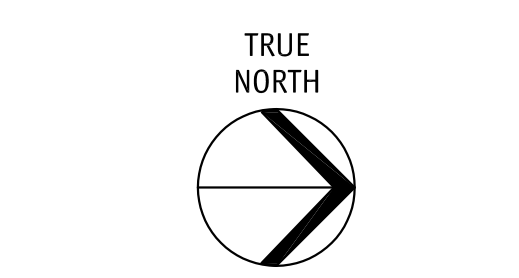


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Project Title
**ELLIS WAREHOUSE
2017 additions**

1250-1298 ELLIS ST KELOWNA V1Y 1Z4
LOT 1 DL 139 ODYD PLAN 660

Drawing Number

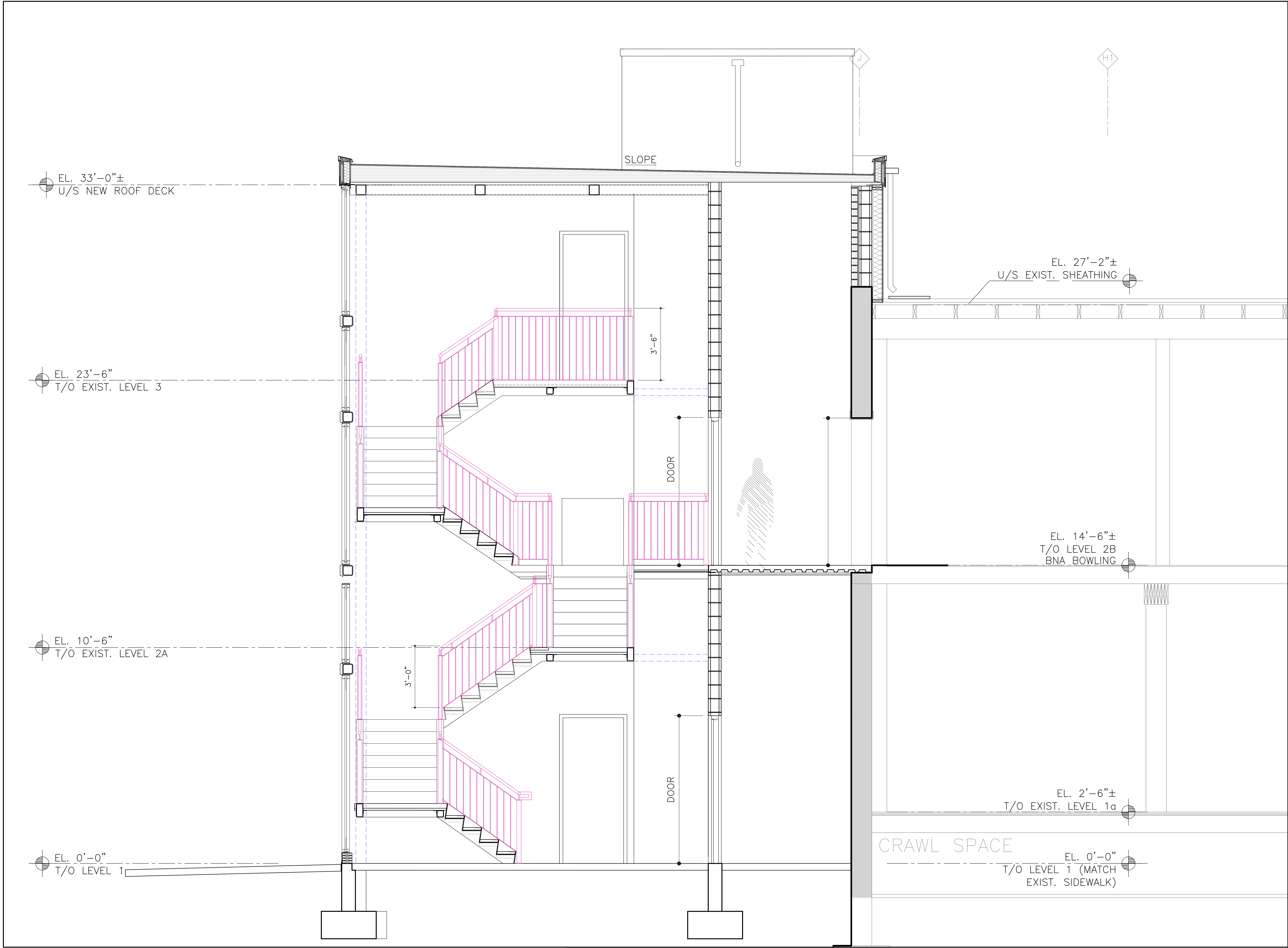
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DRAWINGS ARE NOT TO BE SCALED.
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Drawing Title
Elev Sect

1/2"=1'0"

Date	2017-10-13
Job No.	17-1770
Scale	AS SHOWN
Drawn	SN/MH
Checked	JM

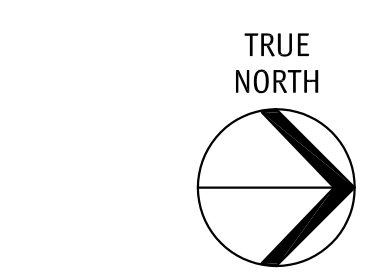


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2017-11-04
revised
DP
city comments



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06	2017-11-04	revised DP (city comments)

Project Title
**ELLIS WAREHOUSE
2017 additions**

1250-1298 ELLIS ST KELOWNA V1Y 1Z4
LOT 1 DL 139 ODYD PLAN 660

Drawing Number

A5.03

DRAWINGS ARE NOT TO BE SCALED.
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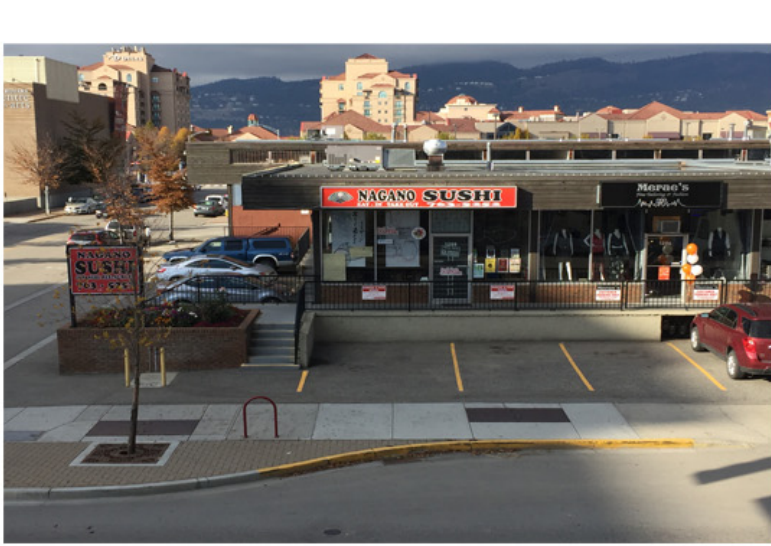
Drawing Title
Elev Sect

1/2"=1'0"

Date	2017-10-13
Job No.	17-1770
Scale	AS SHOWN
Drawn	SN/MH
Checked	JM



cannery loft @ ellis street



single storey cru



cawston corridor view



cru with prospera



ellis warehouse 3-storey & 2-storey



ellis warehouse building



loading & parking & dumpster at rear



cannery lane corridor view





WHITWORTH
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m+m a

ellis warehouse

corridor view along ellis

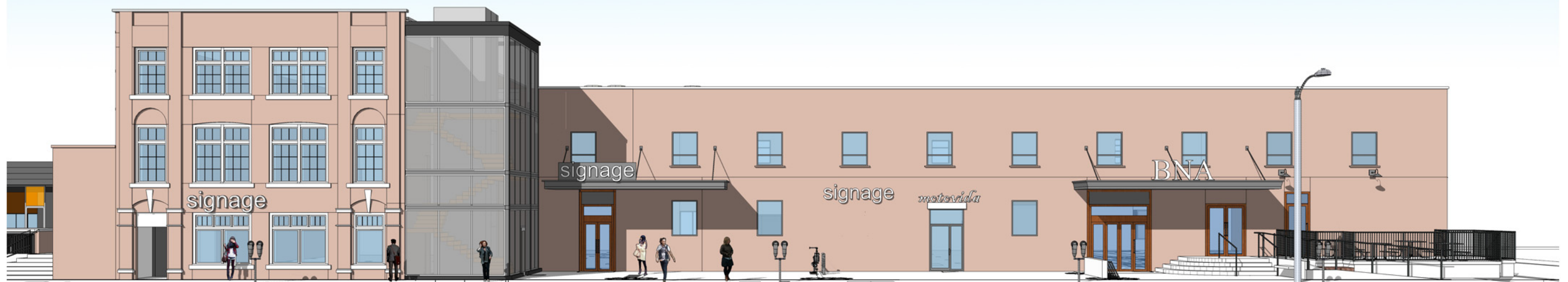
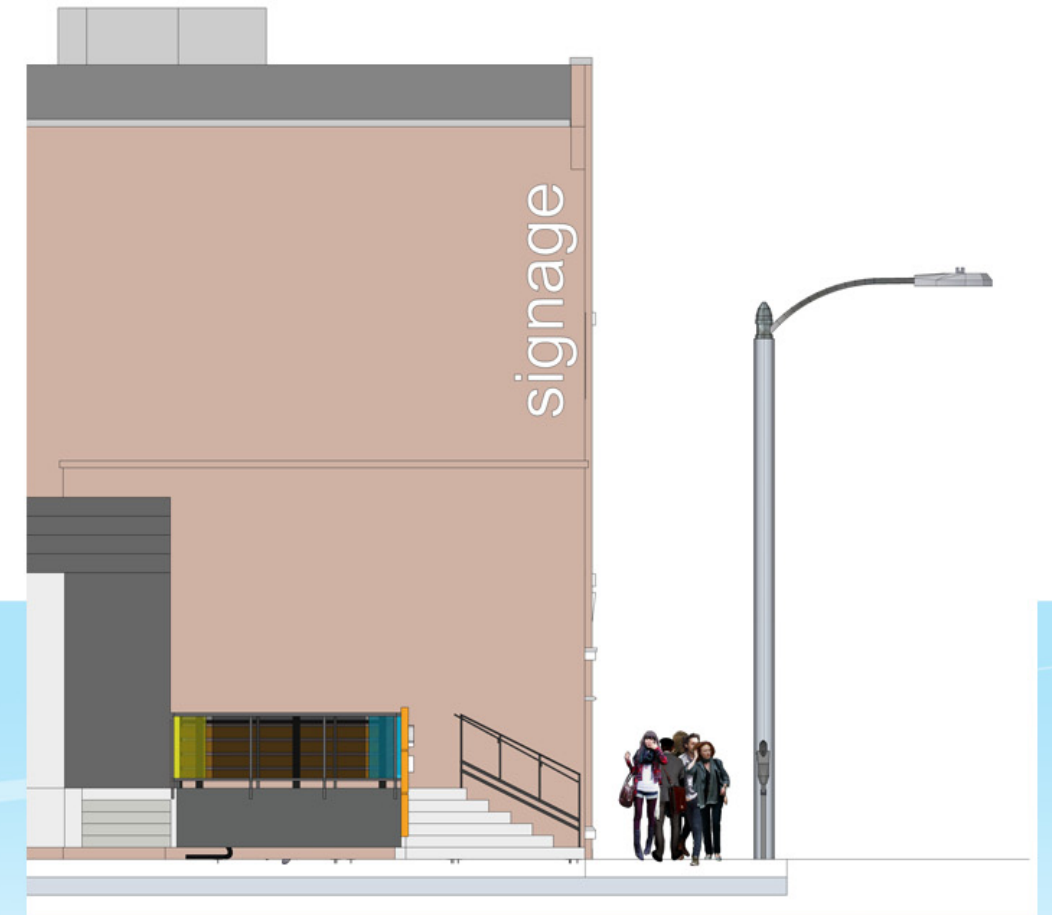
sept 8, 2017

3

218







Development Permit & Development Variance Permit DP17-0204 & DVP17-0235



This permit relates to land in the City of Kelowna municipally known as

1250 – 1298 Ellis Street

and legally known as

Lot 1 District Lot 139 ODYD Plan 660

and permits the land to be used for the following development:

Commercial (addition)

with variances to the following sections of the Zoning Bylaw 8000:

Section 14.10.5(d): C10 – Service Commercial Development Regulations

To vary the required minimum front yard from 2.0 m permitted to 0.0 m proposed.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: December 5, 2017

Decision By: CITY COUNCIL

Development Permit Area: Civic Precinct

File Manager: Lydia Korolchuk

This permit will not be valid if development has not commenced by December 5, 2019.

Existing Zone: C10LP

Future Land Use Designation: MXR

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Whitworth Holdings Ltd. Inc. No.1059455
Address: 1250-1598 Ellis Street
City: Kelowna, BC
Phone: (250) 762-3004 (Meiklejohn Architects)

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

N/A

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

REPORT TO COUNCIL



Date: December 5th 2017

RIM No. 0940-00 & 0940-50

To: City Manager

From: Community Planning Department (AC)

Application: DP17-0230 / DVP17-0233 **Owner:** Rutland Park Society, Inc. No. S0002533

Address: 180 Rutland Rd N **Applicant:** New Town Planning (Jesse Alexander)

Subject: Development Permit and Development Variance Permit

Existing OCP Designation: INST - Institutional

Existing Zone: P2 Education and Minor Institutional

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP17-0230 for Lot 2, Section 26, Township 26, ODYD, Plan EPP46594, located at 180 Rutland Rd N, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorize the issuance of Development Variance Permit DVP17-0233 for Lot 2, Section 26, Township 26, ODYD, Plan EPP46594, located at 180 Rutland Rd N, Kelowna, BC;

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B, & C":

S.16.2.5 Development Regulations

To vary the maximum site coverage for buildings, parking areas, and roads from 60% to 82.6%.

AND THAT Council's consideration of this Development Permit be considered subsequent to the outstanding conditions of approval as set out in Attachment "A" attached to the Report from the Community Planning Department dated December 5th 2017;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To review a Form & Character Development Permit for a renovation and expansion of the Rutland Centennial Hall and to consider a Development Variance Permit to increase the maximum site coverage for buildings, parking, and roads.

3.0 Community Planning

Staff are supportive of the Development Permit and Development Variance Permit. The improvements proposed are relatively modest but will make the hall more usable and attractive for community members to take advantage of. This proposal is consistent with the OCP's goals and strives to improve one of the key focal points of the community.

The variance request is to allow a combined site coverage of buildings, drive aisles and parking to be 82.6%, up from the bylaw maximum of 60%. The current site coverage is approximately 70% and exists in non-conforming status. The addition of required parking to accommodate the new floor area being constructed increases the site coverage by approximately 12%. The provision of new landscaping related to this project will help to mitigate the visual impact created by the parking and help to benefit the overall site appearance.

3.1 Notification

Council's Public Notification Policy #367 has been met by informing property owners within 50 metres of the proposed development. Confirmation of a complete public notification was submitted to the City on October 31st 2017.

4.0 Proposal

4.1 Project Description

The Rutland Park Society is applying for a revitalization form and character development permit to complete updates to the existing Rutland Centennial Hall. These updates include:

- Addition of a second floor on the Western section of the building.
- Addition of 13 additional onsite parking stalls.
- Reformatting the West side of the site for a drop-off area and disabled parking.
- Landscaping overhaul to improve aesthetics.
- Renovation of interior rooms.

The Rutland Centennial Hall was built in the late 1960's and updates are needed to fulfill the current needs of the Park Society and the city's residents.



Figure 1: Proposed Building Frontage Facing Roxby Road.



Figure 2: Proposed Site Plan

4.2 Site Context

The subject site consists of a property 0.875 acres in size located at the corner of Roxby Rd and Shepherd Rd. The property is zoned P2 (Education and Minor Institutional). There is an existing community hall onsite that also houses a daycare facility. Specifically, the adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	P2 - Education and Minor Institutional	Park
East	P1 – Major Institutional	Canada Post
South	C4 – Urban Centre Commercial	Commercial
West	C4 – Urban Centre Commercial	Commercial

Subject Property Map: 180 Rutland Rd N

4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	P2 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Height	13.5 m / 3.0 storeys	6.5 m / 2 storeys
Front Yard (west)	6.0 m	17.48 m
Side Yard (north)	6.0 m	1.69 m (existing non-conforming)
Side Yard (south)	4.5 m	6.4 m (existing)
Rear Yard (east)	18.3 m	18.3 m (existing)
Site coverage of buildings	75 %	29.8 %

Zoning Analysis Table		
CRITERIA	P2 ZONE REQUIREMENTS	PROPOSAL
Site coverage including buildings, driveway, & parking	60 %	82.6 % ❶
FAR	1.0	0.4
Parking Regulations		
Minimum Parking Requirements	11 stalls required	13 new stalls provided
Minimum Loading Spaces	2 spaces	2 spaces
Ratio of Parking Stalls	Full size: 50% Min Medium Size: 40% Max Small Size: 10% Max	Full size: 100%
Minimum Drive Aisle Width	7.0 m	7.0 m
❶ A variance to increase the maximum site coverage for buildings, driveway, & parking .		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 14: Urban Design Guidelines Amenities, ancillary Services and Utilities.⁵

- Locate loading, garbage, storage, utilities and other ancillary services away from public view. All such areas shall be screened and designed as an integral part of the building to minimize impact;
- Create attractive rear alley facades with high quality materials on buildings facing residential areas (e.g. rear building entrances, windows, balconies, plazas, and plantings).

Chapter 4: Land Use Designation Massing and Height.³

- Mitigate the actual and perceived bulk of buildings by utilizing appropriate massing, including:
- Architectural elements (e.g. balconies, bay windows, cantilevered floors, cupolas, dormers);
- Visually-interesting rooflines (e.g. variations in cornice lines and roof slopes);
- Step back upper floors to reduce visual impact;
- Detailing that creates a rhythm and visual interest along the line of the building;
- Wall projections and indentations, windows and siding treatments as well as varied material textures should be utilized to create visual interest and to articulate building facades;
- Building frontages that vary architectural treatment in regular intervals in order to maintain diverse and aesthetically appealing streets.

6.0 Technical Comments

6.1 Building & Permitting Department

- None.

6.2 Development Engineering Department

- See Memo (Attachment 'A')

6.3 Fortis BC (Electric)

- There are FortisBC Inc (Electric) ("FBC(E)") primary distribution facilities along Rutland Road and Shepard Road. The applicant is responsible for costs associated with any change to the subject property's existing service, if any, as well as the provision of appropriate land rights where required.
- Otherwise, FBC(E) has no concerns with this circulation.

6.4 Fire Department

- None.

7.0 **Application Chronology**

Date of Application Received:	Oct 6 th 2017
Date of Application Received (complete):	Oct 20 th 2017
Date of Notification Letters:	Oct 31 st 2017

Prepared by:	Adam Cseke, Urban Planner
Reviewed by:	Terry Barton, Urban Planning Manager
Approved for:	Ryan Smith, Community Planning Department Manager

Attachments:

Attachment A - Development Engineering Memo
DP17-0230 & DVP17-0233

MEMORANDUM

Development Permit & Development Variance Permit DP17-0203 & DVP17-0233



This permit relates to land in the City of Kelowna municipally known as

180 Rutland Rd N

and legally known as

Lot 2, Section 26, Township 26, ODYD, Plan EPP46594

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

Section 16.2.5: P2 – Education and Minor Institutional (Development Regulations)

To vary the maximum site coverage for buildings parking areas and roads from 60% to 82.6%

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: December 5th 2017

Decision By: CITY COUNCIL

Issued Date: **DATE**

Development Permit Area: Revitalization Development Permit Area

File Manager: AC

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: P2 - Education and Minor Institutional

Future Land Use Designation: INST - Institutional

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Rutland Park Society, Inc. No. S0002533
Address: 180 Rutland Rd N
City: Kelowna, BC
Phone: n/a

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$73,100.63
- OR
- b) An Irrevocable Letter of Credit in the amount of \$73,100.63

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

RUTLAND CENTENNIAL HALL

ADDITION AND RENOVATION
180 Rutland Rd N, Kelowna, B.C., V1X 3B2



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Revisions		
No	Date	Description
1	Oct. 4, 2017	Issued for DP

TRUE NORTH



ARCHITECTURAL
NEW TOWN ARCHITECTURE & ENGINEERING INC.
1464 St. Paul Street Kelowna, B.C., V1Y 2G9
Roman Yanchukov, Architect ABC
ph: 250 860 8185, fax: 250 860 0985
roman@newtownservices.net

CIVIL

LANDSCAPE

- A0.00 COVERPAGE AND DWG LIST
- A0.01 ZONING AND CODE ANALYSIS
- A0.04 EXTERIOR VIEWS
- A2.00 SITE PLAN
- A3.02 MAIN FLOOR PLAN - RENOVATION
- A3.03 SECOND FLOOR PLAN - RENOVATION
- A4.00 EXTERIOR ELEVATIONS
- A5.01 BUILDING SECTIONS

SCHEDULE
A&B

This forms part of application
DP17-0230 / DVP17-0233

Planner
Initials

AC



**City of
Kelowna**
COMMUNITY PLANNING



KEYPLAN:

project title
**RUTLAND CENTENNIAL
HALL ADDITION &
RENOVATION**

project address
**180 Rutland Rd N,
Kelowna, BC, V1X 3B2**

project no. 4022

revision
drawing title
**COVERPAGE
AND DWG LIST**

designed	R.Y.	scale
drawn		R.B.
checked		R.Y.
drawing no.		

A0.00

printed Sept. 28, 2017

ZONING SUMMARY		
ADDRESS	180 RUTLAND ROAD NORTH	
LEGAL DESCRIPTION	LOT B, SECTION 26, TP 26, COVD, PLAN KAP53836	
DEVELOPMENT PERMIT AREA	REVITALIZATION	
EXISTING ZONING	P2	
PROPOSED ZONING	P2	
EXISTING LEGAL USE	COMMUNITY RECREATION	
NUMBER OF BUILDINGS	1	
REQUIREMENTS FOR ALL DEVELOPMENT PERMIT APPLICATIONS		
	ZONING STANDARD	PROPOSED
SITE AREA (sqm)	MIN 660sqm	3,540.9 sqm
SITE DEPTH (m)	MIN 30m	84.6m
SITE WIDTH (m)	MIN 18m	41.5m
HEIGHT OF BUILDING(S) / # STORIES	13.5m OR 3 STOREYS	2 STOREYS (6.5m)
SITE COVERAGE OF BUILDING(S) (%)	40%	29.8%
SITE COVERAGE INCLUDING BUILDING(S), DRIVEWAY, AND PARKING	60%	82.6% (VARIANCE REQUIRED)
FLOOR AREA RATIO (FAR)	1.0	0.4
BUILDING SETBACKS		
WEST (FRONT)	6m (ROWBY ROAD)	17.48m
NORTH (SIDE)	6.0m	1.69m (EXISTING NON-CONFORMING)
EAST (REAR)	7.5m	18.3m (EXISTING)
SOUTH (SIDE)	4.5m	6.4m (EXISTING)

FLOOR AREA			
	NEW FLOOR AREA (SM)	PROPOSED	STALL REQUIRED
NEW FLOOR AREA (CULTURAL FACILITY)	363.49	2.5 STALLS / 100SM	10.18
TOTAL NEW STALLS REQUIRED			11 STALLS
TOTAL NEW STALLS PROVIDED			13 STALLS

BUILDING CODE REVIEW		
BUILDING DESCRIPTION: 2 STOREY COMMUNITY HALL AND DAYCARE		
OCCUPANCIES	GROUP A2 & GROUP D	
CODE ARTICLES	3.2.2.25 GROUP A, DIVISION 2, UP TO 2 STOREYS 1,200 m ² if facing 3 streets; loadbearing walls, columns and arches supporting an assembly required to have a fire-resistance rating shall i) have a fire-resistance rating not less than 45 min, or ii) be of noncombustible construction. 3.2.2.60, GROUP D, UP TO 2 STOREYS 1,200 m ² if facing 3 streets; loadbearing walls, columns and arches supporting an assembly required to have a fire-resistance rating shall i) have a fire-resistance rating not less than 45 min, or ii) be of noncombustible construction.	
	REQUIRED	PROPOSED
NUMBER OF STOREYS	2 STOREYS	2 STOREYS
NUMBER OF STREETS FACING	3	3
MAX. BUILDING AREA	1,200mm	1,040.2m
CONSTRUCTION TYPE	COMBUSTIBLE / NON COMBUST.	COMBUSTIBLE
SPRINKLERED	NO	NO
ASSEMBLY RATINGS		NEW CONSTRUCTION:
FLOOR(S)		45 MIN FIRE RATED ASSEMBLY
WALLS / STRUCTURE		45 MIN FIRE RATED ASSEMBLY
ROOF		N/R

SPATIAL SEPARATION		ARTICLE 3.2.3.1.D
WINDOW OPENINGS AND WALL CONSTRUCTION ARE UN-RESTRICTED, AS THE LIMITING DISTANCE EXCEEDS 9.0m EXCEPT SOUTH WALL, OR THE BUILDING IS FACING A STREET IN ACCORDANCE WITH ARTICLE 3.2.3.10		
SOUTH WALL		
SOUTH WALL EXISTING HALL, AREA 267.5 sqm, RATIO 1.5 ALLOW UNPROTECTED OPENINGS 10%		
SOUTH WALL NEW KITCHEN, AREA 70.8 sqm, RATIO LESS THAN 1.3 ALLOW, UNPROTECTED OPENINGS 21%		53%

FIRE PROTECTION		
LOCATION OF HYDRANT TO SIAMESE CONNECTION	45m MAX.	3.2.5.5.
STANDPIPE / HOSE	NO	3.2.5.8
SPRINKLERED	NO	
FIRE ALARM SYSTEM	YES	
EXIT LIGHTS	YES	
EMERGENCY LIGHTING	YES	
OCCUPANT LOAD		
LEVEL 1	126 sqm / 1.86 sqm PER PERSON	= 133
LEVEL 2	126 sqm / 1.86 sqm PER PERSON	= 6
TOTAL OCCUPANT LOAD		= 336

HALL 489 sqm at 0.95 = 514.7 PERSONS
 KITCHEN 58.7 SM at 0.3 = 6.3 PERSONS
 STORAGE 94.7 sqm at 46 = 2 PERSONS

EXIT FACILITIES			ARTICLE 3.2.3.1.D.
REQUIRED EXITS	2 PER FLOOR MINIMUM		
	REQUIRED		
	MIN. 800mm DOOR WIDTH MIN. 800mm STAIR WIDTH MIN. 1100mm EXIT CORRIDOR, RAMPS, AND PASSAGEWAY WIDTH		
	6.1mm / PERSON x 41 = 250mm	2 DOORS AT 900mm WIDE = 1,800mm	
	8.0mm / PERSON x 41 = 328mm	2 STAIRS @ 1,067mm WIDE = 2,134mm	
LEVEL 1 DOORS	6.1mm / PERSON x 187 = 1141mm	2 DOORS AT 900mm WIDE = 1,800mm	
LEVEL 1 STAIRS	8.0mm / PERSON x 187 = 1496mm	2 STAIRS AT 1,067mm WIDE = 2,134mm	
LEVEL 2 DOORS	6.1mm / PERSON x 54 = 329mm	2 DOORS AT 900mm WIDE = 1,800mm	
LEVEL 2 STAIRS	8.0mm / PERSON x 54 = 432mm	2 STAIRS AT 1,067mm WIDE = 2,134mm	
	MIN. 1 DOOR - 800mm WIDE PER UNIT	1 DOOR - 915mm WIDE PER UNIT	
EXIT THROUGH LOBBY			N/A (ARTICLE 3.4.4.2)
PANIC DOOR HARDWARE	REQUIRED (ARTICLE 3.4.8.16.(1))		
EXIT EXPOSURE	NO ADDITIONAL PROTECTION NEEDED (ARTICLE 3.2.3.13)		
MAX. TRAVEL DISTANCE	45m (RESIDENTIAL) AND 60m (PARKADE) (ARTICLE 3.4.2.5.(1))		
EXIT RATINGS REQUIRED			
STAIR SHAFTS	1 HOUR IN RESIDENTIAL / 2 HOURS IN PARKADE (ARTICLE 3.4.4.1)		
CORRIDORS	1 HOUR (ARTICLE 3.3.2.6.(1))		

REQUIRED FIRE SEPARATIONS	
TENANTS / MAJOR OCCUPANCIES	45 MIN (ARTICLE 3.3.1.1)
PUBLIC CORRIDORS	45 MIN (ARTICLE 3.3.1.4)
SERVICE ROOMS	1 HOUR (ARTICLE 3.6.2)
JANITOR ROOMS	NON RATED FIRE SEPARATION (ARTICLE 3.3.1.21.(3))

BUILDING FIRE SAFETY	
SOFFIT PROTECTION	NOT REQUIRED - SPRINKLERED (ARTICLE 3.2.3.16.(4))
FLAME SPREAD RATING	COMPLIES (ARTICLE 3.1.13.2)
ROOF COVERING CLASSIFICATION	CLASS "A" (ARTICLE 3.1.15.2)
MAX. CRAWL SPACE AREA	N/A (ARTICLE 3.1.11.6.1)

ACCESSIBILITY REQUIREMENTS			(ARTICLE 3.8)
	REQUIRED	PROVIDED	
ACCESS TO MAIN ENTRANCE	YES	YES	
ACCESS TO ALL FLOORS	YES	YES	
ACCESSIBLE WASHROOMS	YES	YES	

WASHROOM REQUIREMENTS			(ARTICLE 3.8)
	REQUIRED	PROVIDED	
	FIXTURES FEMALE 10, MALE 4 TABLE 3.7.2.2A	YES	
MAIN FLOOR DAYCARE 139.4 sqm at 4.6 = 30	FIXTURES FEMALE 1, MALE 1 TABLE 3.7.2.2A	YES	
UPPER FLOOR DAYCARE 139.4 sqm at 4.6 = 30	FIXTURES FEMALE 1, MALE 1 TABLE 3.7.2.2A	YES	
UPPER FLOOR FLOOR MULTI-USE 118.1 sqm at .95 = 122 PERSONS	FIXTURES FEMALE 3, MALE 2 TABLE 3.7.2.2A	YES	

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Revisions		
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project title
RUTLAND CENTENNIAL HALL ADDITION & RENOVATION

project address
**180 Rutland Rd N,
 Kelowna, BC, V1Y 3B2**

project no. 4022

files

drawing title

**ZONING AND
 CODE
 ANALYSIS**

designed	RL Y.	checked	SBP - 1/10"
drawn		checked	
		checked	RL Y.

A0.01

printed Sept. 28, 2017

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DP17-0230 / DVP17-0233

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City of
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COMMUNITY PLANNING

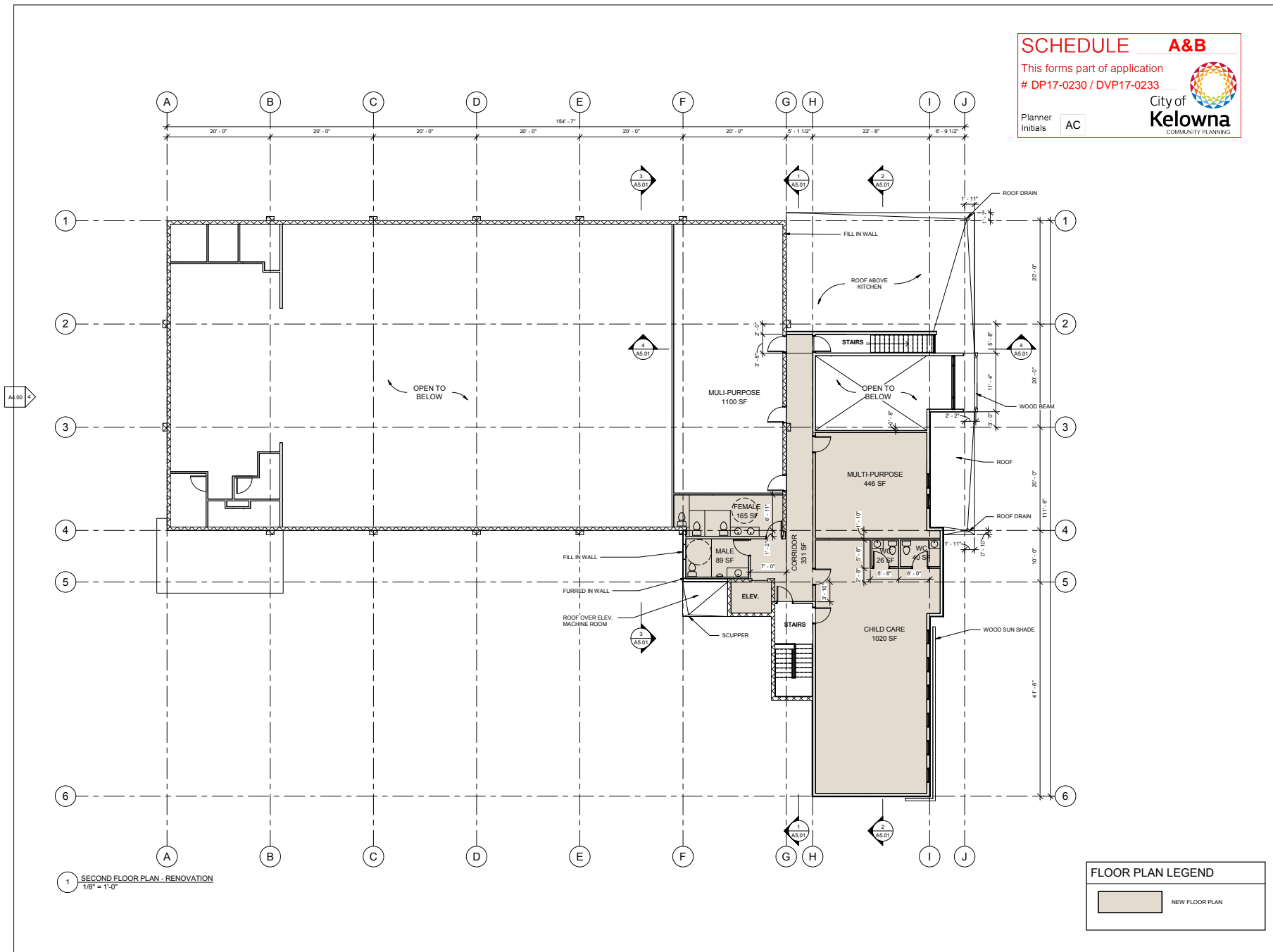


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AG-04

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RENOVATION**

project address
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Kelowna, BC, V1X 3B2**

project no. 4022

file no.

drawing title
**SECOND FLOOR
PLAN - RENOVATION**

designed by

drawn by

checked by

drawing no.

date

scale

notes

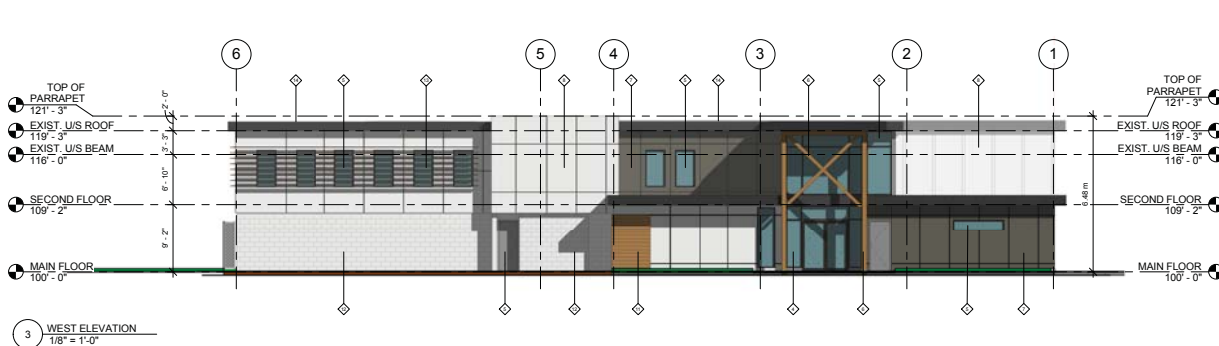
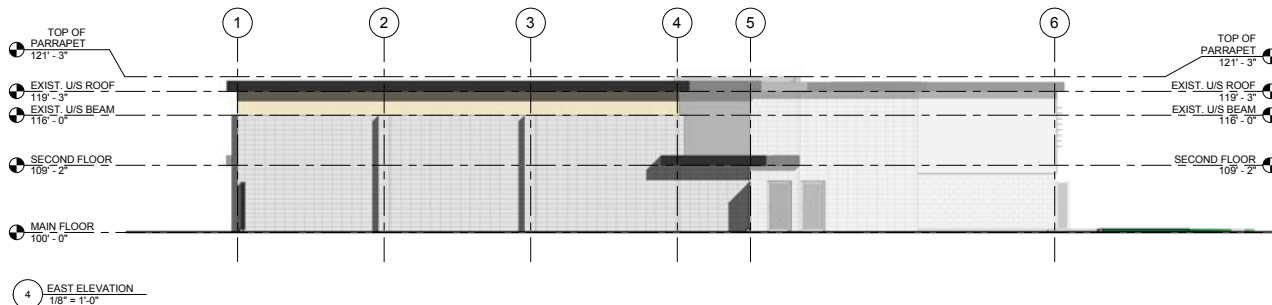
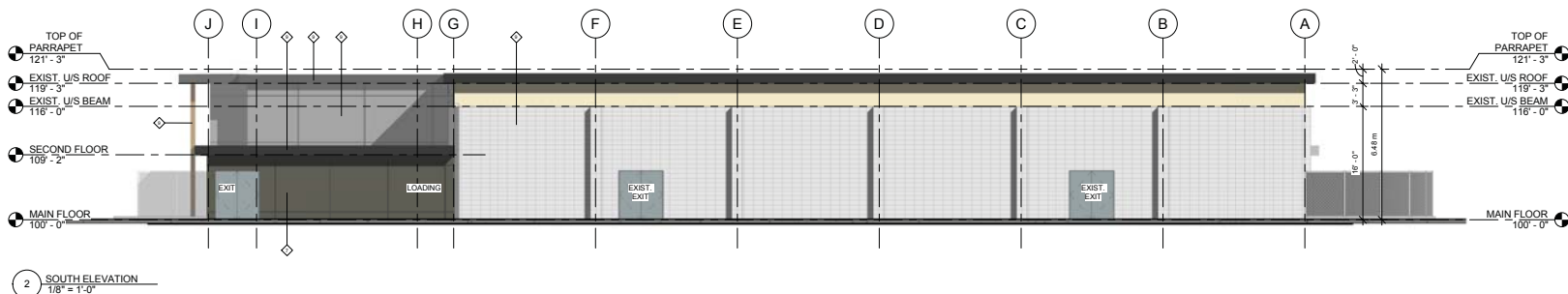
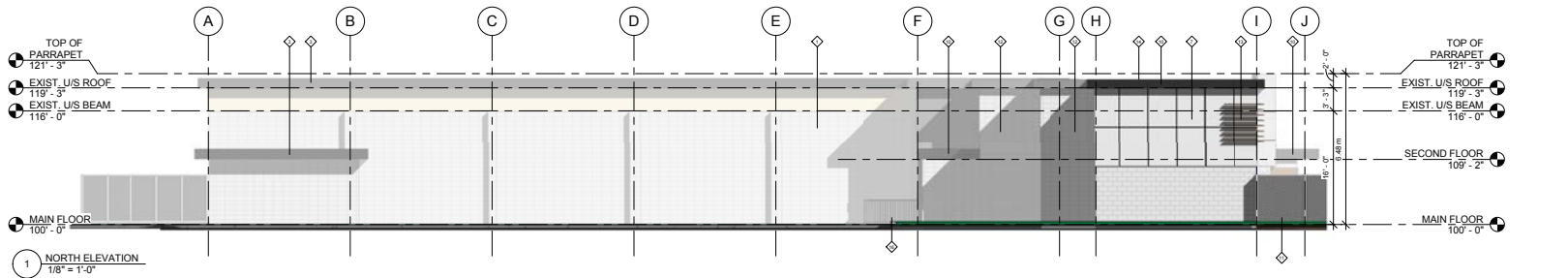
as indicated

PLD

PLT

printed

Sept. 28, 2017



SCHEDULE A&B

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EXTERIOR MATERIAL LEGEND

- EXISTING CONCRETE BLOCK (CMU)
- EXISTING DOOR
- EXISTING ROOF
- ALUMINUM STOREFRONT GLAZING
- VINYL WINDOW/DOOR
- HEAVY WOOD TIMBER
- FIBER CEMENT PANELS - 1 C/W REVEALS
- FIBER CEMENT PANELS - 2 C/W REVEALS
- FIBER CEMENT PANELS - 3 C/W REVEALS
- FIBER CEMENT FASCIA
- WOOD SIDING
- CONCRETE BLOCK (CMU)
- WOOD SUN SHADE
- PREFINISHED METAL CAP FLASHING - LIGHT GREY
- CONCRETE STAIRS
- PRE-FINISHED METAL RAILING

EXTERIOR COLOUR LEGEND

- FIBER CEMENT PANELS C/W CAULKED BUTT JOINTS
COLOUR: DARK GREY
- FIBER CEMENT PANELS C/W CAULKED BUTT JOINTS
COLOUR: WHITE
- WOOD SIDING PANELS
COLOUR: WOOD
- FIBER CEMENT PANELS C/W CAULKED BUTT JOINTS
COLOUR: LIGHT GREY

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project address
**180 Rutland Rd N,
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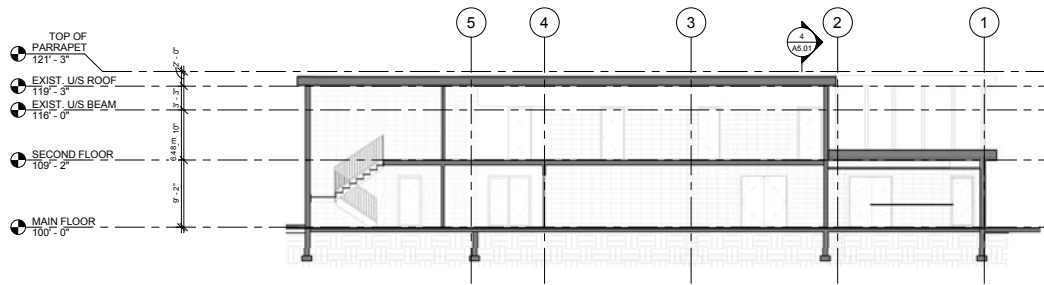
project no. 4022

series

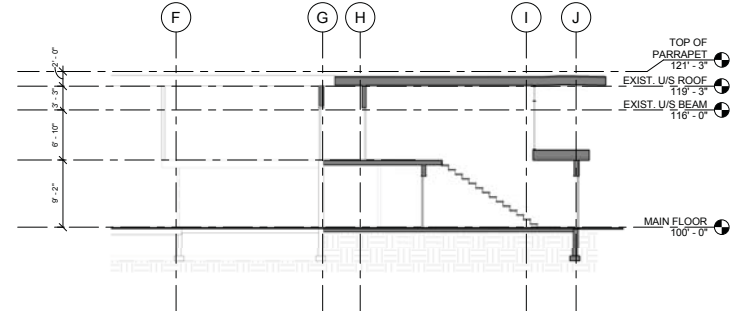
drawing title
EXTERIOR ELEVATIONS

designed	R.Y.	scale	As Indicated
drawn	R.B.		
checked			
drawing no.	R.Y.		

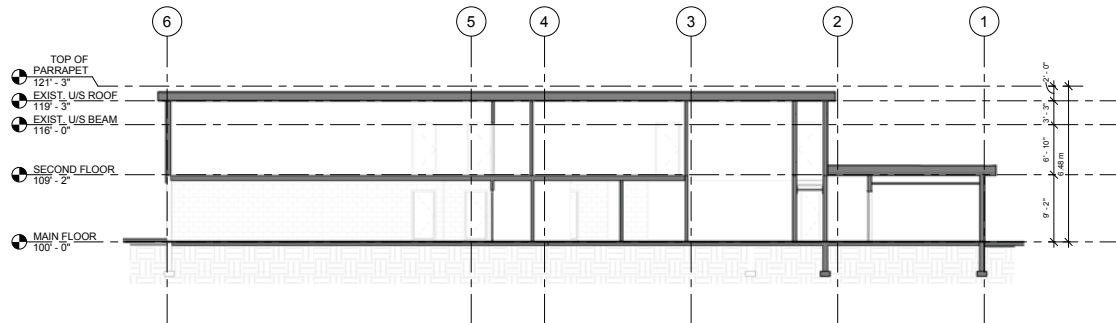
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printed Sept. 28, 2017



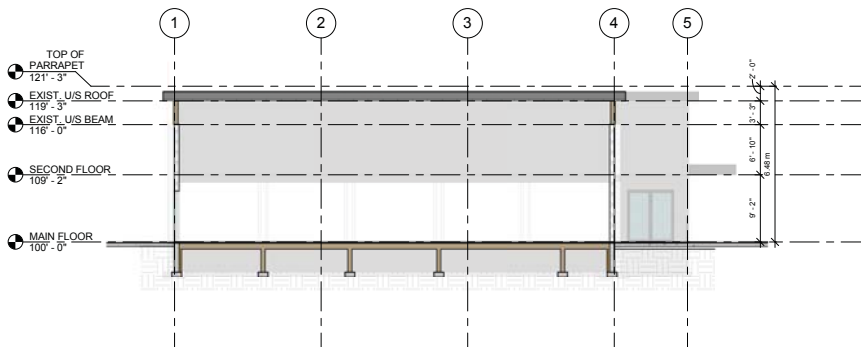
1 Section 1
1/8" = 1'-0"



4 Section 4
1/8" = 1'-0"



2 Section 2
1/8" = 1'-0"



3 Section 3
1/8" = 1'-0"

SCHEDULE A&B

This forms part of application
DP17-0230 / DVP17-0233

Planner
Initials

AC

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Kelowna**
COMMUNITY PLANNING

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project no. 4022

file no.

drawing title
BUILDING SECTIONS

designed	R.Y.	scale	1/8" = 1'-0"
drawn	R.B.		
checked	R.Y.		
drawing no.			

A5.01

revised Sept. 28, 2017



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

Thursday, October 06, 2017

Newtown Planning Services

1464 St. Paul Street

Kelowna BC V1Y 2E6

Attn: Jesse Alexander, Planner

Via Email to: jesse@newtownservices.net

SCHEDULE		C
This forms part of application # DP17-0230 / DVP17-0233		
Planner Initials	AC	 City of Kelowna <small>COMMUNITY PLANNING</small>

**Re: Landscape Architectural Services Proposal – Rutland Centennial Hall Renovation,
Kelowna BC**

Dear Jesse:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the 180 Rutland Rd N conceptual landscape plan dated 17.10.06;

- 875 square meters (10,333 square feet) of improvements = \$58,480.50.

This preliminary cost estimate is inclusive of trees, shrubs, mulch, topsoil & irrigation.

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,



Fiona Barton, MBCSLA, CSLA

as per

Outland Design Landscape Architecture

206-1889 Spall Road, Kelowna, BC, V1Y 4R2 P 250.868.9270

outlanddesign.ca

APPLICATION IDENTIFICATION

Owner:		Subject Address:	180 Rutland Rd N, Kelowna, BC V1X 3B2	
Agent if applicable:	Fiona Barton	Telephone:	250-868-9270	
Title:	Landscape Architect	Fax No:		
Company:	Outland Design Landscape Architecture	Email:	Fiona@outlanddesign.ca	
City:	Kelowna	Mailing Address:	206-1889 Spall Road	
		Province:	BC	Postal Code: V1Y 4R2

LANDSCAPE WATER CONSERVATION CHECKLIST

Note: all boxes are to be checked - see instruction page

- ☒ Install Backflow prevention devices to meet City of Kelowna standards to isolate the outdoor irrigation system from the potable water system.
- ☒ Group planting into 'hydrozones' of high, medium and low water-use plants or unirrigated/unwatered areas.
- ☒ Minimize mown turf areas that are high water use areas - ideally to 50% of the landscape area or less - substitute with areas of lower water use treatments like unwatered native woods or meadow, mulch, spaced wood deck, pervious paving.
- ☒ Provide adequate topsoil or growing medium of depth and quality to meet the BC Landscape Standard, published by the BC Society of Landscape Architects and the BC Landscape and Nursery Association. General minimum depths over poor subsoils are 150mm for lawn and 300mm for shrubs groundcover.
- ☒ Group irrigation circuits/zones into 'hydrozones' of high, medium, and low or unirrigated areas consistent with the landscape planting plan. Provide a separate irrigation valve for each irrigated hydrozone.
- ☒ Minimize use of high-volume spray heads, and employ drip or low volume irrigation where practical.
- ☒ When spray or rotor irrigation is used, design and install head to head coverage in accordance with manufacturer's specifications, and avoid overspray outside landscape areas.
- ☒ Ensure matched precipitation rates within all irrigation circuits.
- ☒ Design and install pipe and head layout so flow velocity does not exceed 1.5 m/s, and to minimize elevation change or pressure variation in circuits. Provide check valves to stop low head drainage.
- ☒ Ensure irrigation mainlines are proved leak-free with hydrostatic tests.
- ☒ Provide pressure regulating devices to ensure irrigation outlets are operating at the manufacturer's optimum pressure range.
- ☒ Install - and program to minimize water use - 'Smart Controllers' to meet standards of the City of Kelowna Water Regulation Bylaw.
- ☒ Install an irrigation master shut-off valve (isolation valve) located outside the building in a location accessible to the City that when closed shall stop the supply of water from the potable water supply to the outdoor irrigation system and shall be capable of being closed and locked off by the City.

Applicant Notes on the Landscape Water Conservation Checklist:

LANDSCAPE WATER CONSERVATION TABLE

Applicant: Address:

Step 1: Measure Total Landscape Area (LA)

Area of site that will absorb water:

875 sq.m.

Note: INCLUDE BOULEVARD, and proposed lawn, plants, mulch, PERVIOUS decks or paving. Do not include building areas, driveways, patios, decks or walks unless pervious.

Step 2: Divide Into Landscape Treatments*		Plant Factor	Irrig Efficiency	Hydrozone Area	% of Total LA	Estimated Water
Note: each of the areas below are a 'HYDROZONE'		(PF)	(IE)	(HA)		(WU)
Unwatered Pervious Areas (not impervious paving)						
Mulch (Stone, bark or sand)		N/A	N/A		0%	N/A
Pervious deck (Spaced wood deck)		N/A	N/A		0%	N/A
Pervious paving (AquaPave, Rima Pave)		N/A	N/A		0%	N/A
Naturalized meadow (wildflowers)		N/A	N/A		0%	N/A
Naturalized area (Existing natural area)		N/A	N/A		0%	N/A
Other:		N/A	N/A		0%	N/A
Swimming or ornamental pool		1	1		0%	0
Watered Planting Beds (shrubs or groundcover)						
<i>Planting Type</i>	<i>Irrig Efficiency</i>					
Low water use plants	High (Drip or Bubbler)	0.3	0.9		0%	0
Low water use plants	Low (Spray or Rotor)	0.3	0.7		0%	0
Moderate water use plants	High (Drip or Bubbler)	0.5	0.9	875	100%	486
Moderate water use plants	Low (Spray or Rotor)	0.5	0.7		0%	0
High water use plants	High (Drip or Bubbler)	0.7	0.9		0%	0
High water use plants	Low (Spray or Rotor)	0.7	0.7		0%	0
Watered Mown Lawn Areas						
Low		1	0.7		0%	0
Special Landscape Areas (SLA)						
Vegetable Garden	High (Drip or Bubbler)	1	0.9		0%	0
Vegetable Garden	Low (Spray or Rotor)	1	0.7		0%	0
Sports Lawn	Low (Spray or Rotor)	1	0.7		0%	0
Rainwater or Recycled Water Use		0.3	1		0%	0
Totals				875	100%	486
Special Landscape Area (SLA) Sub total				0		

*If proposed design conditions are not shown on the form please contact the City at 250 469-8502

CALCULATE & COMPARE WATER BUDGET TO ESTIMATED WATER USE

Note: For Evapotranspiration (ET_o) in Kelowna use 1000m Amount Units

Total Landscape Area	875	sq.m.
Landscape Maximum Water Budget (WB)	875	cu.m./yr.
Estimated Landscape Water Use (WU)	486	cu.m./yr.
Under (-OVER) Budget (Must be under Water Budget WB)	389	cu.m./yr.
	OK	



I have identified and confirmed, by completing the attached 'Landscape Water Conservation Checklist' above, that the project will conform to current landscape and irrigation water conservation practices listed in the checklist. I also acknowledge that the landscape treatments of the project will conform to the Hydrozone areas identified by me in the 'Landscape Water Conservation Calculation Table' above.

Signature of Applicant

Date: _____

FOR CITY OF KELOWNA OFFICE USE ONLY

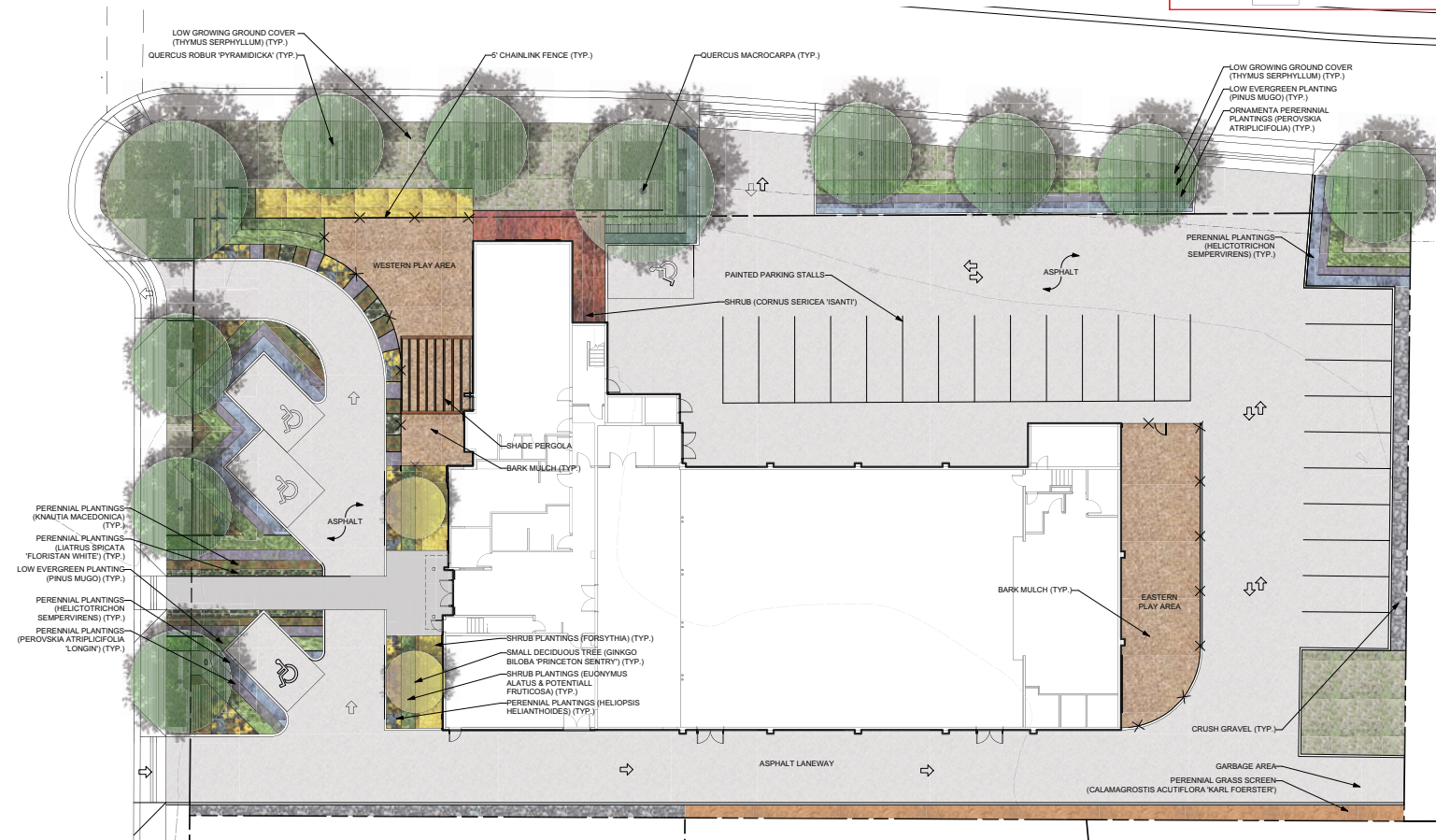
The Irrigation Application and calculations above satisfy the requirements of the Water Regulation Bylaw 10480 Section 4.4.2 and 4.4.3. and is hereby APPROVED with the signature of the Water Manager or designate.

Signature of Kelowna Water Smart designate
For Water Manager

Date: _____

Print Name

NOTE: Post Signed and approved application at Smart Controller for future reference



PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
TREES			
GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2	5cm CAL
QUERCUS MACROCARPA	BUR OAK	2	5cm CAL
QUERCUS ROBUR 'PYRAMIDICA'	PYRAMIDAL ENGLISH OAK	10	5cm CAL
SHRUBS, PERENNIALS & GRASSES			
CALAMAGROSTIS ACUTIFLORA 'KARL FORSTER'	KARL FORSTER FEATHER REED GRASS	37	#01 CONT. / 0.75m O.C. SPACING
CORNUS SERICEA 'ISANT'	ISANTI DOGWOOD	7	#01 CONT. / 2.0m O.C. SPACING
EUONYMUS ALATUS 'SELECT'	FIRE BALL BURNING BUSH	13	#01 CONT. / 1.25m O.C. SPACING
FORSYTHIA 'NORTHERN GOLD'	NORTHERN GOLD FORSYTHIA	14	#01 CONT. / 2.0m O.C. SPACING
HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	107	#01 CONT. / 0.75m O.C. SPACING
HELIOPSIS HELIANTHOIDES 'SUMMER SUN'	SUMMER SUN SUNFLOWER	62	#01 CONT. / 0.75m O.C. SPACING
KNAUTIA MACEDONICA	CRIMSON PINCUSHION FLOWER	124	#01 CONT. / 0.6m O.C. SPACING
LIATRIS SPICATA 'FLORISTAN WHITE'	WHITE BLAZING STAR	60	#01 CONT. / 0.5m O.C. SPACING
PEROVSKIA ATRIPICIFOLIA 'LONGIN'	LONGIN RUSSIAN SAGE	125	#01 CONT. / 0.75m O.C. SPACING
PINUS MUGO 'NORPS'	NORPS MUGO PINE	102	#01 CONT. / 1.0m O.C. SPACING
THYMUS SERPYLLUM	THYME	686	#01 CONT. / 0.75m O.C. SPACING

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C.L.N.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.



PROJECT TITLE

RUTLAND CENTENNIAL HALL RENOVATION

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION

1	17.10.06	Review
2		
3		
4		
5		

PROJECT NO. 17101

DESIGN BY CS

DRAWN BY NG/CS

CHECKED BY JB

DATE OCT. 06, 2017

SCALE 1:150

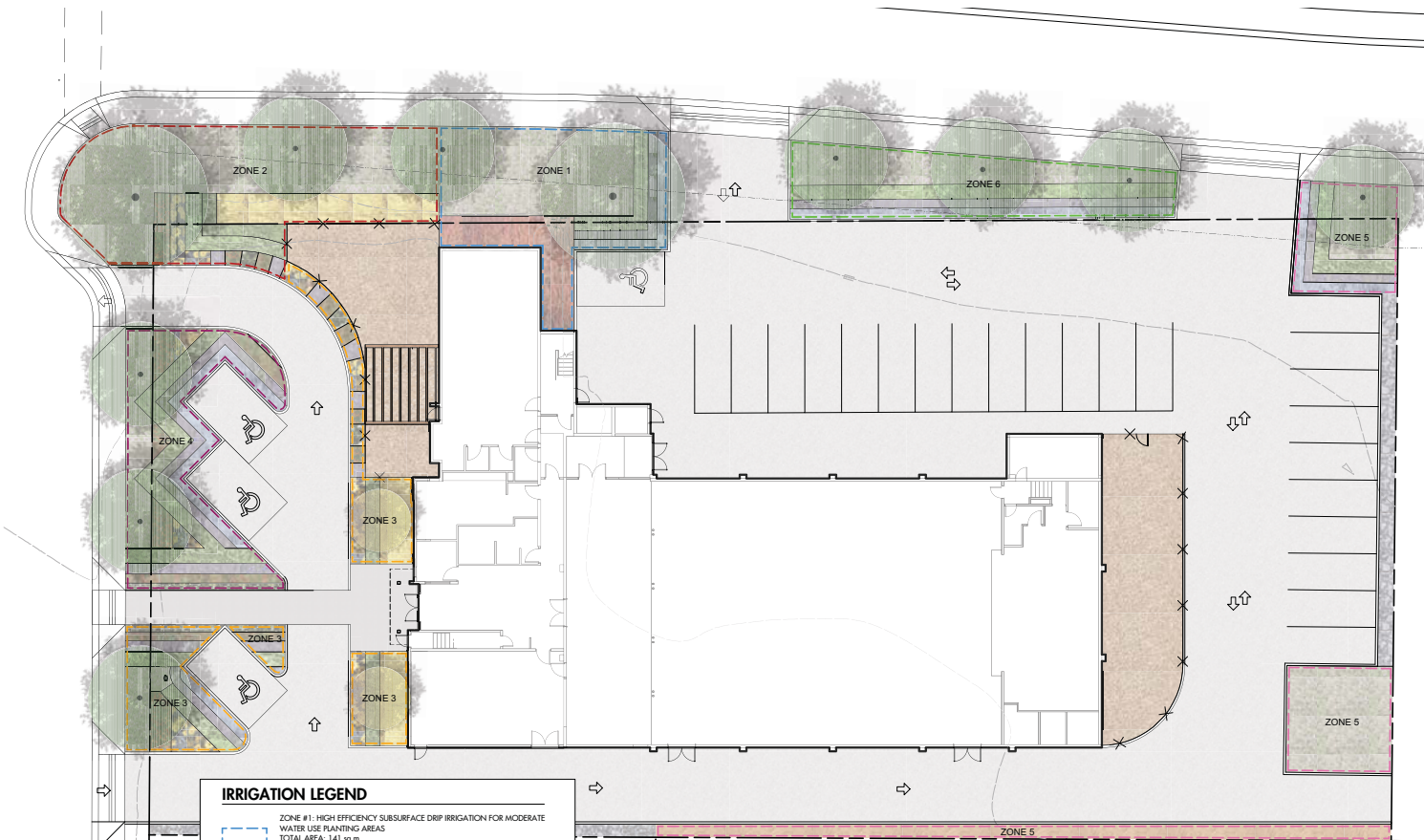
SEAL



DRAWING NUMBER

L1/2

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IRRIGATION LEGEND

- ZONE #1: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS**
 TOTAL AREA: 141 sq.m.
 MICROCLIMATE: NORTH EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
 ESTIMATED ANNUAL WATER USE: 78 cu.m.
- ZONE #2: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS**
 TOTAL AREA: 208 sq.m.
 MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES
 ESTIMATED ANNUAL WATER USE: 116 cu.m.
- ZONE #3: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS**
 TOTAL AREA: 131 sq.m.
 MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
 ESTIMATED ANNUAL WATER USE: 73 cu.m.
- ZONE #4: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS**
 TOTAL AREA: 128 sq.m.
 MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES
 ESTIMATED ANNUAL WATER USE: 71 cu.m.
- ZONE #5: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS**
 TOTAL AREA: 155 sq.m.
 MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY BUILDING
 ESTIMATED ANNUAL WATER USE: 86 cu.m.
- ZONE #6: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS**
 TOTAL AREA: 112.5 sq.m.
 MICROCLIMATE: NORTH EXPOSURE, PARTIALLY SHADED BY BUILDING
 ESTIMATED ANNUAL WATER USE: 63 cu.m.

IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 875 cu.m. / year
 ESTIMATED LANDSCAPE WATER USE (WU) = 486 cu.m. / year
 WATER BALANCE = 389 cu.m. / year
 *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS



PROJECT TITLE

**RUTLAND CENTENNIAL
HALL RENOVATION**

Kelowna, BC

DRAWING TITLE

**WATER CONSERVATION/
IRRIGATION PLAN**

ISSUED FOR / REVISION

1	17.10.06	Review
2		
3		
4		

PROJECT NO. 17101

DESIGN BY CS

DRAWN BY CS

CHECKED BY FB

DATE: OCT 06, 2017

SCALE: 1:150

SEAL



DRAWING NUMBER

L1/2

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REPORT TO COUNCIL



Date: December 5, 2017

RIM No. 0940-00

To: City Manager

From: Community Planning Department (LB)

Application: DP17-0197 / DVP17-0198 **Owner:** Valley Land Subdivision Ltd.

Address: 720-724 Valley Road **Applicant:** Kent-MacPherson

Subject: Development Permit & Development Variance Permit Application

Existing OCP Designation: MRM – Multiple Unit Residential (Medium Density)

Existing Zone: CD27 – Valley Land Subdivision

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP17-0197 for a portion of Lot A Sections 32 and 29 Township 26 ODYD Plan EPP54061, located at 720-724 Valley Road, Kelowna, BC, subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a Letter of Credit in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0198 for a portion of Lot A Sections 32 and 29 Township 26 ODYD Plan EPP54061, located at 720-724 Valley Road, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "D";

Section 7.5: Fencing and Retaining Walls

To vary the required retaining wall height from 1.2 m to 1.5 m and 3.0 m.

Section 13.11.6(c): RM5 – Medium Density Multiple Housing Development Regulations

To vary the required height from 18.0 m or 4.5 storeys permitted to 23.4 m or 6 storeys proposed.

Section 18 CD27 1.6(e): CD27 – Valley Land Subdivision Development Regulations

To vary the required side yard from 7.0 m permitted to 4.3 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider a Development Permit for the form and character of a six storey supportive housing building and to consider a Development Variance Permit to vary the maximum retaining wall and building heights and the minimum side yard setback.

3.0 Community Planning

Staff support the Development Permit and Development Variance Permit applications for the proposed supportive housing building. The form and character is in general accordance with the relevant Development Permit objectives and guidelines as well as the Master Development Permit that governs site layout, and the variances relate to the site context and improve the overall design.

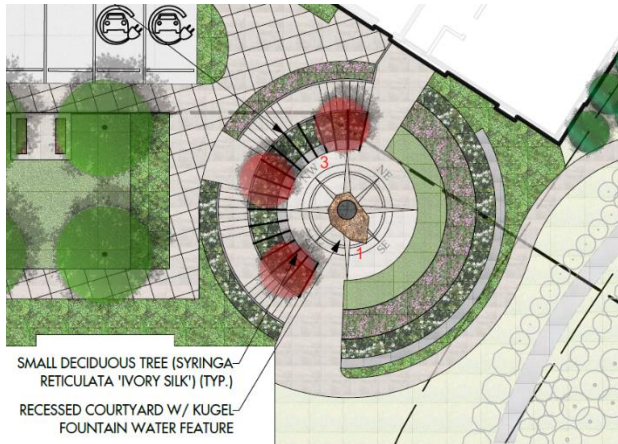
Form and Character

The form and character of the building and site layout is generally in keeping with the Comprehensive Development Permit Guidelines. The building's function dictates its form to some extent, with its quasi-institutional character leaving less flexibility for features such as window placement or projections to provide relief. Instead, the design applies a variety of exterior materials and colours to create visual interest. Building stepbacks at the northeast corner and large glazed entry features along the building's interior provide distinct articulation on those façades. The cladding materials and colours are similar to those used on the multi-family residential building proposed to the north, connecting the different developments across the site.

Given the proposed use as a memory care facility, secure on-site amenities are important, and the development includes on-site walkways and indoor and outdoor landscaped seating areas. Connectivity for visitors and nearby residents is offered via sidewalks along the internal roads.

Variances

To accommodate the change in grade across the site and provide outdoor amenity space, a stepped landscaped courtyard will be created in the southeast corner of the site. This courtyard includes retaining that is 1.5 m to 3.0 m in height, and it can be accessed from the walking path or a building entrance below, or from the parking lot area or a building entrance above. The retaining will be screened by landscaping between and in front of the walls, including small trees, perennials and grasses, reducing the visual impact of the higher walls.



Courtyard Landscaping



Courtyard Retaining Walls

The majority of the building is four storeys and less than 18.0 m in height, with only the east façade facing Valley Road being six storeys and up to 23.4 m in height. The basement is exposed along this wall due to the change in grade across the site, and the top floor lounge features tall windows and a sloped roof. In addition to being an internal amenity, this feature adds interest and the wood-look metal cladding adds warmth to the top floor. Further, the building is located approximately 17.0m from Valley Road providing a transition area with the Brandt's Creek riparian area and its plantings. In terms of site context, other residential buildings on the Conservatory and Valley Lands sites range from four to eight storeys.



East Facade with Top Floor Lounge

The north side yard is along an internal road, and while the majority of this building frontage meets the required setback, a small portion in the northeast corner is 4.3 m away from the property line instead of the required 7.0 m. While the building is no closer to the sidewalk in this location, it is where the property line jogs to align with the road. The variance is internal to the 720 Valley Lands project site and does not affect adjacent properties. The smaller setback allows more articulation along that portion of the building while maintaining the same distance from the sidewalk.



Neighbourhood Consultation

The applicant has confirmed they completed neighbourhood consultation in accordance with Council Policy No. 367 by speaking with and / or providing information materials to adjacent property owners,

including the Valley Lands site, the existing Conservatory building, Hillside Plaza, and the single family home across Valley Road.

4.0 Proposal

4.1 Background

The master planned 720 Valley Lands project is on the site formerly associated with the Conservatory, and this is the third building in the project. Council approved Master Site DP16-0173 on December 5, 2016, which established the overall development layout and common landscape design features of the entire site. Council subsequently approved the Development Permit for the first building on the site on March 27, 2017 and is considering a Development Permit and Development Variance Permit for the second building on November 21, 2017. These are rental and strata apartment buildings, respectively, for a total of 271 units.

A Development Permit application has been submitted for 49 townhouse units in the north portion of the site. The final building to the south is expected to be an independent living facility. Each of these projects will be considered by Council at later dates.

4.2 Project Description

The proposed development is a four to six storey 134-unit supportive housing facility, providing memory care and assisted living services. Vehicular access to the building is via private roads internal to the site, with a surface parking lot behind the building. It should be noted that as a supportive housing use, the parking requirement is one stall per three units, for a total of 45 stalls provided in this development. The development site is adjacent to Brandt's Creek, which is being restored as part of the broader site works.

The majority of the building is four storeys in height, with the east portion being six storeys facing Valley Road corresponding with the change in grade across the site. The base of the building is anchored by grey-brown thin brick with the bulk of the exterior clad in taupe hardie panel siding and stucco. Wood look metal cladding is used to delineate design elements and create visual interest, and main entry features use prominent glass and wood elements.

Site landscaping consists of a variety of shade and columnar trees around the outside of the building and the parking lot. The site has sidewalks along the internal roads and a walkway along the top of the slope above Brandt's Creek. Indoor and outdoor amenity areas are provided through small courtyards, gardens, seating areas, and an atrium.



Southeast View



Northeast View



Main Entry



Northwest View

4.3 Site Context

The subject property is located in the City's Glenmore – Clifton – Dilworth Sector and is within the Permanent Growth Boundary. The 720 Valley Lands project is immediately adjacent to the existing Conservatory rental apartment building, a new rental apartment building and the new Hillside Plaza at the intersection of Glenmore Road and Summit Drive, as well as the Chartwell strata to the north. The surrounding area has a mix of uses, including single detached residential neighbourhoods, elementary schools, a golf course, neighbourhood parks, and agricultural land.

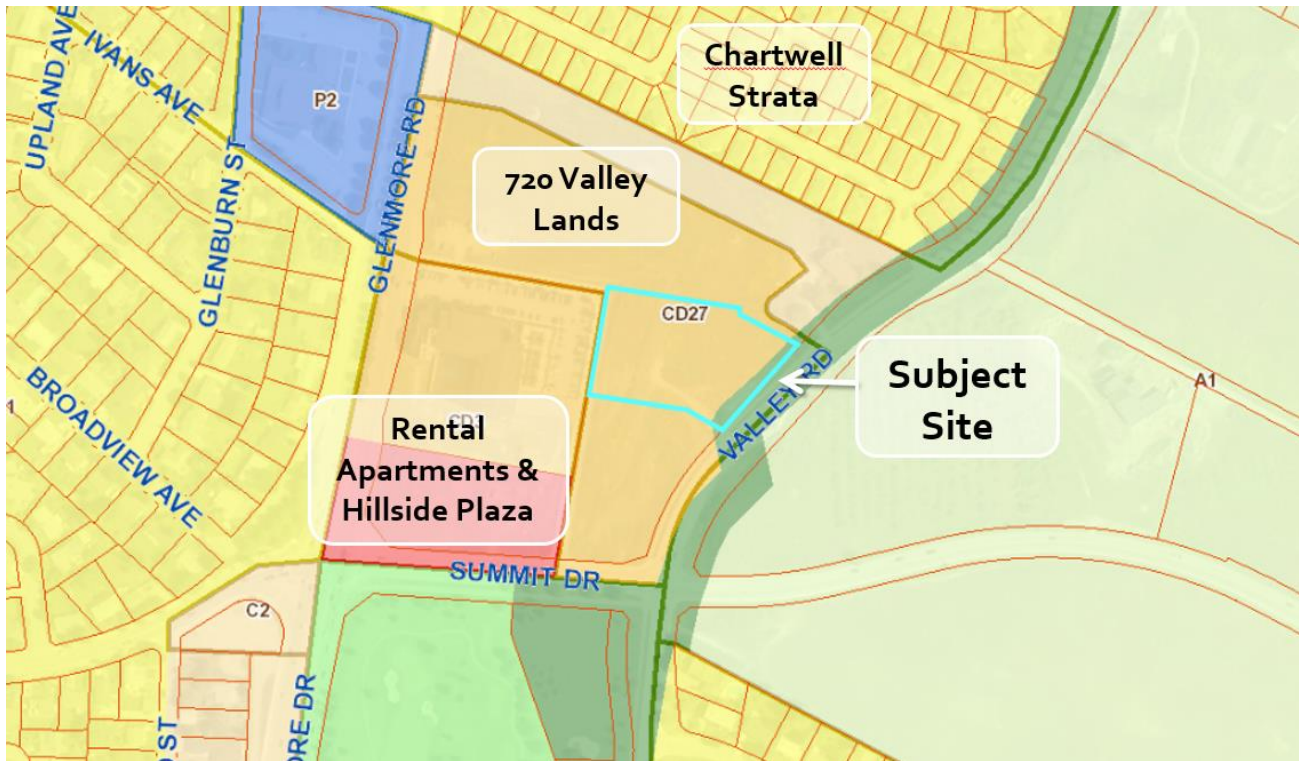
Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	CD27 – Valley Land Subdivision A1 – Agriculture 1	Vacant land (future apartment building) Vacant land (future townhouses)
East	A1 – Agriculture 1	Agricultural land
South	CD27 – Valley Land Subdivision	Vacant land (future multiple dwelling housing)
West	CD3 – Community Commercial	Multiple dwelling housing (Conservatory)

Map 1: Subject Property



Map 2: Surrounding Context



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	CD27 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Max. Site Coverage	40%	31.6%
Max. Site Coverage (buildings, driveways & parking)	65%	52.4%
Max. Floor Area Ratio	1.2	0.8
Max. Height	18.0 m or 4.5 storeys	23.4 m or 6 storeys ❶
Min. Front Yard	6.0 m	17.2 m
Min. Side Yard (south)	7.0 m	7.0 m
Min. Side Yard (north)	7.0 m	4.3 m ❷
Min. Rear Yard	9.0 m	9.0 m
Other Regulations		
Min. Parking	45 stalls	45 stalls
Min. Private Open Space	1,095 m ²	1,338 m ²
Max. Retaining Wall Height	1.2 m	3.0 m ❸
❶ Indicates a requested variance to increase the maximum height from 18.0 m / 4.5 storeys permitted to 23.4 m / 6 storeys proposed. ❷ Indicates a requested variance to decrease the minimum north side yard setback from 7.0 m permitted to 4.3 m proposed. ❸ Indicates a requested variance to increase the maximum retaining wall height from 1.2 m permitted to 3.0 m proposed.		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 5: Development Process

Policy 5.3.2 Compact Urban Form. Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 – 100 people and/or jobs per ha located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and redevelopment within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Policy 5.22.11 Housing Mix. Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

Chapter 10: Social Sustainability

Policy 10.3.1 Housing Availability. Support the provision of housing for all members of the community, including those in core housing need or requiring special needs housing (transitional, age in place, emergency or shelter).

Chapter 14: Urban Design Development Permit Guidelines

Comprehensive Development Permit Area Objectives

- Convey a strong sense of authenticity through urban design that is distinctive for Kelowna;
- Promote a high urban design standard and quality of construction for future development that is coordinated with existing structures;
- Integrate new development with existing site conditions and preserve the character amenities of the surrounding area;
- Promote interesting, pedestrian friendly streetscape design and pedestrian linkages;
- Incorporate architectural features and detailing of buildings and landscapes that define an area's character;
- Moderate urban water demand in the City so that adequate water supply is reserved for agriculture and for natural ecosystem processes; and
- Reduce outdoor water use in new or renovated landscape areas in the City by a target of 30%, when compared to 2007.

Relevant guidelines are noted in Attachment C.

6.0 Technical Comments

6.1 Development Engineering Department

- All offsite infrastructure and services upgrades are addressed as part of Rezoning Application Z16-0046 and Subdivision Application S16-0085.

7.0 Application Chronology

Date of Application Received: September 13, 2017
Date Public Consultation Completed: October 26-27, 2017

Report prepared by: Laura Bentley, Planner II

Reviewed by: Terry Barton, Urban Planning Manager

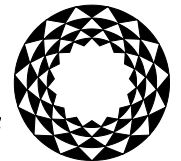
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Attachment A: Draft Development Permit / Development Variance Permit DP17-0197 / DVP17-0198
Attachment B: Letters of Rationale
Attachment C: Development Permit Guidelines Checklist

Development Permit & Development Variance Permit DP17-0197 & DVP17-0198

ATTACHMENT A	
This forms part of application # DP17-0197 / DVP17-0198	
Planner Initials	LB
City of Kelowna COMMUNITY PLANNING	



City of
Kelowna

This permit relates to land in the City of Kelowna municipally known as **720-724 Valley Road** and legally known as **Lot A Sections 32 and 29 Township 26 ODYD Plan EPP54061** and permits the land to be used for the following development: **Supportive Housing**, with variances to the following sections of the Zoning Bylaw No. 8000:

Section 7.5: Fencing and Retaining Walls

To vary the required retaining wall height from 1.2 m to 1.5 m and 3.0 m.

Section 13.11.6(c): RM5 – Medium Density Multiple Housing Development Regulations

To vary the required height from 18.0 m or 4.5 storeys permitted to 23.4 m or 6 storeys proposed.

Section 18 CD27 1.6(e): CD27 – Valley Land Subdivision Development Regulations

To vary the required side yard from 7.0 m permitted to 4.3 m proposed.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: December 5, 2017

Decision By: City Council

Issued Date: _____

Development Permit Area: Comprehensive Development Permit Area

This permit will not be valid if development has not commenced by December 5, 2019.

Existing Zone: CD27 – Valley Land Subdivision

Future Land Use Designation: MRM – Multiple Unit Residential (Medium Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Valley Land Subdivision Ltd.

Applicant: Kent-MacPherson

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.
- e) Variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "D";

Section 7.5: Fencing and Retaining Walls

To vary the required retaining wall height from 1.2 m to 1.5 m and 3.0 m.

Section 13.11.6(c): RM5 – Medium Density Multiple Housing Development Regulations

To vary the required height from 18.0 m or 4.5 storeys permitted to 23.4 m or 6 storeys proposed.

Section 18 CD27 1.6(e): CD27 – Valley Land Subdivision Development Regulations

To vary the required side yard from 7.0 m permitted to 4.3 m proposed.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$141,655.63 OR
- b) An Irrevocable Letter of Credit in the amount of \$141,655.63

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

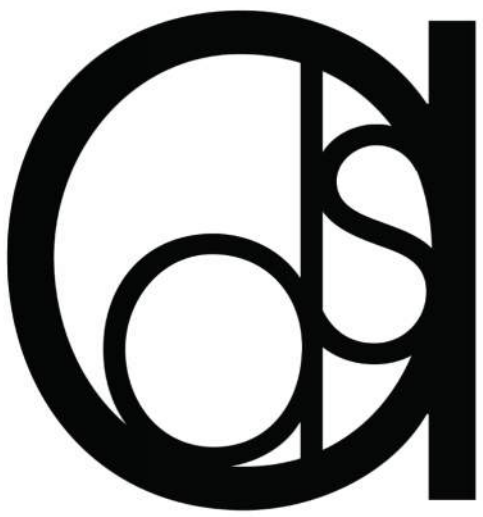
Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.

DRAFT



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licensed to practice:
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revisions:

no.	date	description
3	03 NOV 17	RE - ISSUED FOR DEVELOPMENT PERMIT
2	19 OCT 17	ISSUED FOR 60% COORDINATION REVIEW
1	28 SEP 17	ISSUED FOR 30% COORDINATION REVIEW
0	31 AUG 17	ISSUED FOR DEVELOPMENT PERMIT

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client:

GC CAN LIMITED
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TEL: 780-757-7575

seal:

permit:

project:

THE VINEYARDS
COMMUNITY GP INC.

client:

THE VINEYARDS
COMMUNITY GP INC.

project:

VINEYARDS LODGE
LOT C SECTIONS 32 AND 29
TOWNSHIP 26 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP54061

726 VALLEY ROAD,
KELOWNA, BC.

drawn by:

TK

scale:

1 : 200

date:

2017/10/20

project no:

2017-26

drawing title:

BUILDING ELEVATIONS

drawing no:

A3.0

revision no:

3

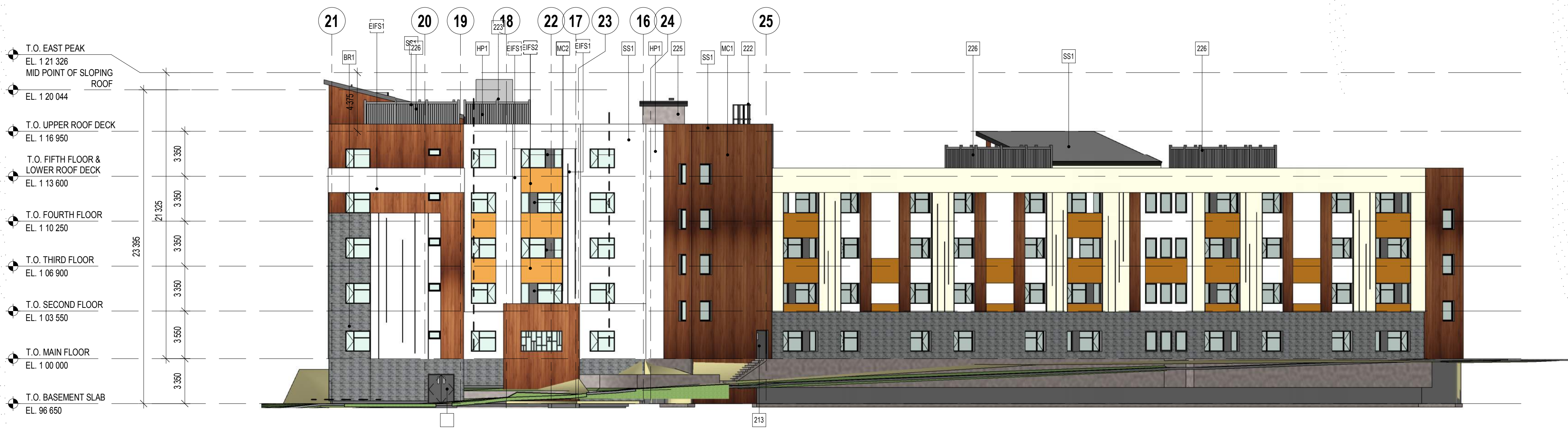
KEYNOTES

TYPE MARK	DESCRIPTION
213	INSULATED HOLLOW METAL DOOR
221	ALUMINUM CURTAIN WINDOW
222	STEEL ROOF LADDER
223	MECHANICAL UNIT - REFER TO MECHANICAL DRAWINGS
224	RETAINING WALL
225	CONCRETE ELEVATOR HOISTWAY
226	MECHANICAL EQUIPMENT SCREEN
BR1	THIN BRICK - ENDICOTT, TEXTURE: VELOUR, COLOUR: GREY BLEND
EIFS1	EIFS - IMASCO, TEXTURE: PATINA, COLOUR: FROSTED DAWN
EIFS2	EIFS - MANUFACTURER, TEXTURE: -, COLOUR: ORANGE
HP1	FIBRE CEMENT BOARD - VICWEST, LAP SIDING, TEXTURE: CEDARMILL, COLOUR: COBBLE STONE
MC1	METAL CLADDING - VICWEST, COLOUR: DARK CEDAR
SS1	STANDING SEAM METAL ROOF

SCHEDULE B

This forms part of application
DP17-0197 / DVP17-0198

Planner
Initials LB



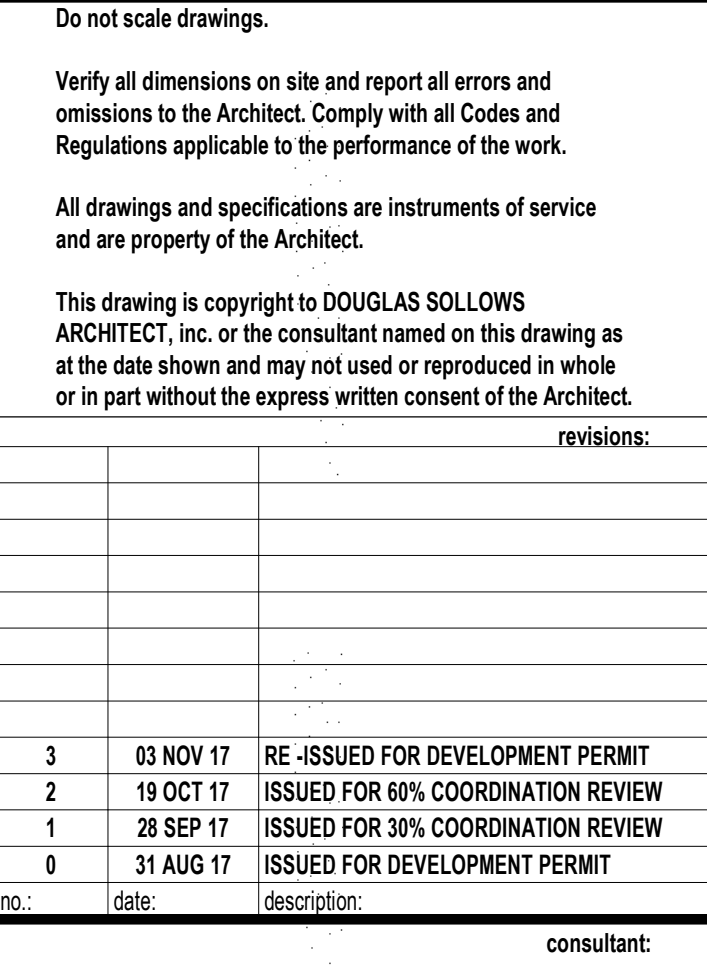
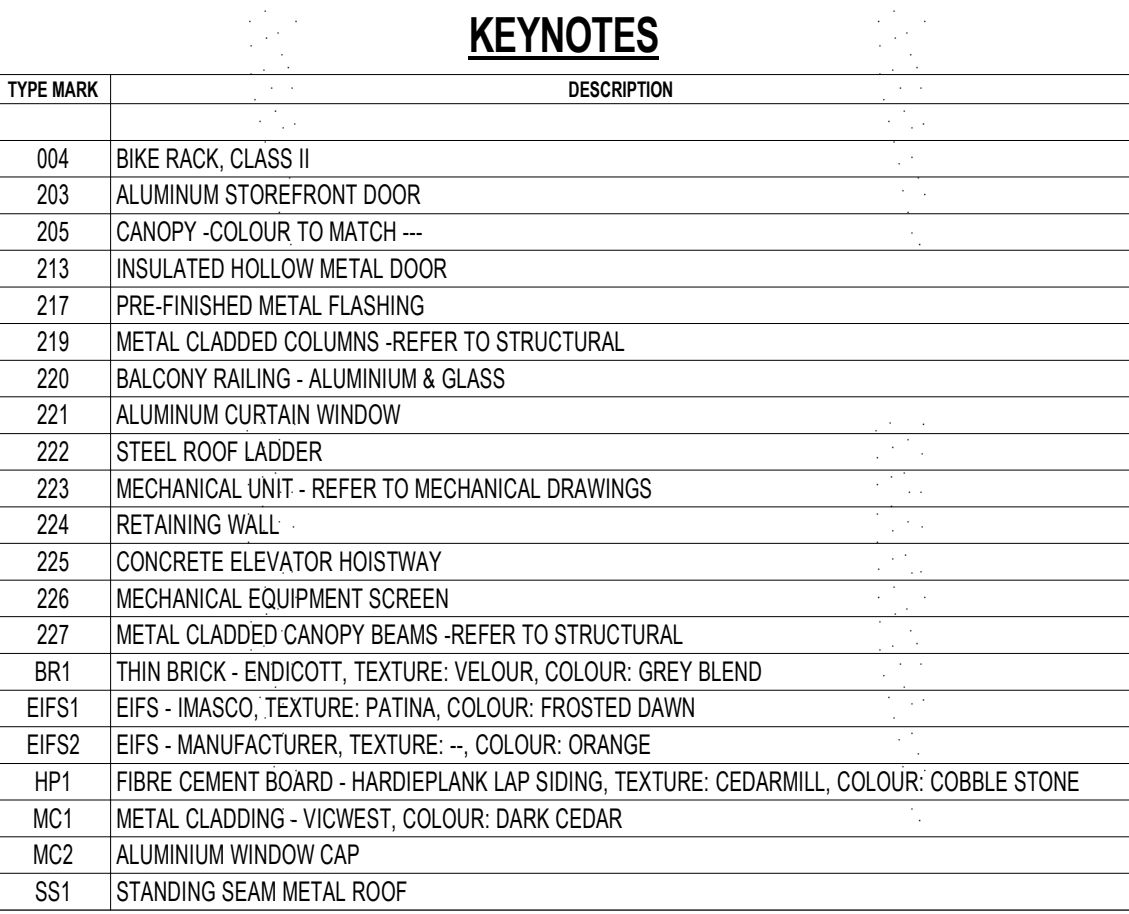
1 NORTH ELEVATION
SCALE: 1 : 200



2 NORTHWEST ELEVATION
SCALE: 1 : 200



3 EAST ELEVATION
SCALE: 1 : 200





1 South West Aerial View
SCALE:



2 NorthEast Aerial View
SCALE:

NOT FOR CONSTRUCTION



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consultant:



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seal:

permit:

client:

THE VINEYARDS
COMMUNITY GP INC.

project:

VINEYARDS LODGE
LOT C SECTIONS 32 AND 29
TOWNSHIP 26 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP54061
726 VALLEY ROAD,
KELOWNA, BC.

drawn by: NA	reviewed: NA
scale:	approved: DS
date: 2017/10/20	project no: 2017-26
drawing title:	

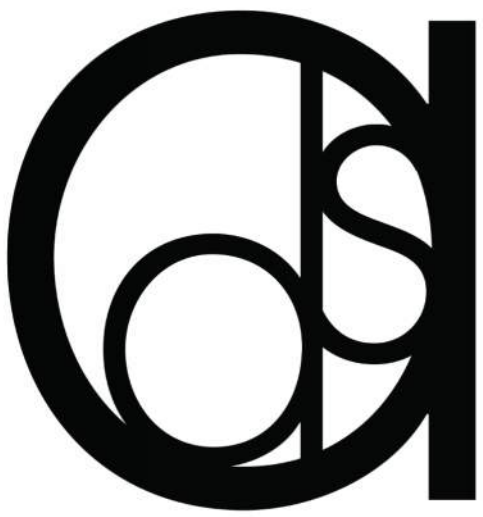
AERIAL VIEWS

drawing no: A3.2	revision no: 3
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1 SOUTHEAST PERSPECTIVE
A3.3 SCALE:

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consultant:
 GC CAN LIMITED SUITE 202, 10220 - 156 STREET EDMONTON, AB T5P 2R1 TEL: 780-757-7575

seal:



permit:

client:

**THE VINEYARDS
COMMUNITY GP INC.**

project:

**VINEYARDS LODGE
LOT C SECTIONS 32 AND 29
TOWNSHIP 26 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP54061**

**726 VALLEY ROAD,
KELOWNA, BC.**

drawn by: AL	reviewed: NA
scale:	approved: DS
date: 2017/10/20	project no: 2017-26

drawing title:

PERSPECTIVE VIEWS

drawing no: A3.3	revision no: 3
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1 NORTHEAST PERSPECTIVE
A3.4 SCALE:

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consultant:



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seal:

permit:

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project:

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TOWNSHIP 26 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP54061
726 VALLEY ROAD,
KELOWNA, BC.

drawn by: AL	reviewed: NA
scale:	approved: DS
date: 2017/10/20	project no: 2017-26
drawing title:	

PERSPECTIVE VIEWS

drawing no: A3.4	revision no: 3
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1 NORTHWEST PERSPECTIVE
SCALE:

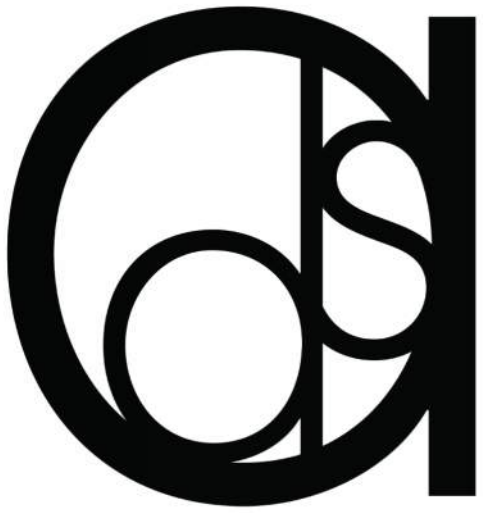


2 ENTRY PERSPECTIVE
SCALE:



3 Front Entry
SCALE:

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TEL: 780-757-7575

seal:

permit:

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project:

**VINEYARDS LODGE
LOT C SECTIONS 32 AND 29
TOWNSHIP 26 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP54061**

**726 VALLEY ROAD,
KELOWNA, BC.**

drawn by:
AL

reviewed:
NA

scale:

approved:
DS

date:
2017/10/20

project no:
2017-26

drawing title:

PERSPECTIVE VIEWS

drawing no:
A3.5

revision no:
3



vineyards lodge

development permit - exterior colour board
17.11.03





OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

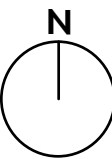
206 - 1889 Spall Road
Kelowna, BC V1Y 4R2
T (250) 868-9270
www.outlanddesign.ca

SCHEDULE

C

This forms part of application
DP17-0197 / DVP17-0198

Planner
Initials LB



PROJECT TITLE

SUSSEX VINEYARDS

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE
PLAN

ISSUED FOR / REVISION

1	17-08-28	Development Permit
2		
3		
4		
5		

PROJECT NO. 17-071

DESIGN BY FB

DRAWN BY MC

CHECKED BY FB

DATE AUGUST 28, 2017

SCALE 1:200

SEAL



DRAWING NUMBER

L1/1

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NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C.L.N.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm DOUGLAS RED FIR MULCH OR ROCK MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
ACER GRISEUM	PAPERBARK MAPLE	22	6cm CAL.
AMELANCHIER CANADENSIS 'PRINCE WILLIAM'	PRINCE WILLIAM SERVICE BERRY	4	6cm CAL.
QUERCUS PALUSTRIS 'PRINGREEN'	GREEN PILLAR OAK	52	6cm CAL.
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK LILAC	5	6cm CAL.
TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	12	6cm CAL.
SHRUBS			
BERBERIS THUNBERGI 'GENTRY'	ROYAL BURGUNDY BARBERRY	23	#02 CONT. /1.0M O.C. SPACING
CORNUS ALBA 'SIBIRICA VARIEGATA'	SIBERIAN VARIEGATED DOGWOOD	22	#02 CONT. /2.0M O.C. SPACING
HYDRANGEA MACROPHYLLA 'BALMER'	ENDLESS SUMMER HYDRANGEA	38	#02 CONT. /1.5M O.C. SPACING
PHYLADELPHUS 'SNOWBELLE'	SNOWBELLE MOCKORANGE	60	#02 CONT. /1.2M O.C. SPACING
ROSA MEIDLAND 'MEIDOMONAC'	BONICA ROSE	60	#02 CONT. /1.2M O.C. SPACING
SYRINGA MEYER 'PALIBIN'	DWARF KOREAN LILAC	38	#02 CONT. /1.5M O.C. SPACING
PERENNIALS, GRASSES & GROUNDCOVERS			
ACHILLEA FILIPENDULINA 'GOLDPLATE'	FERN-LEAF YARROW	41	#01 CONT. /0.75M O.C. SPACING
ASTILBE JAPONICA 'PEACH BLOSSOM'	PEACH BLOSSOM ASTILBE	41	#01 CONT. /0.75M O.C. SPACING
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	28	#01 CONT. /0.9M O.C. SPACING
ECHINACEA 'PRAIRIE SPLENDOR'	PRAIRIE SPLENDOR CONEFLOWER	64	#01 CONT. /0.6M O.C. SPACING
HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	41	#01 CONT. /0.75M O.C. SPACING
HOSTA 'NORTHERN EXPOSURE'	NORTHERN EXPOSURE HOSTA	60	#01 CONT. /1.2M O.C. SPACING
MISCANTHUS SINENSIS 'GRACILIMUS'	MAIDEN GRASS	60	#01 CONT. /1.2M O.C. SPACING
NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	28	#01 CONT. /0.9M O.C. SPACING
PANICUM VIRGATUM 'ROSTRAHLBUSCH'	RED SWITCH GRASS	60	#01 CONT. /1.2M O.C. SPACING
PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	23	#01 CONT. /1.0M O.C. SPACING
PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	60	#01 CONT. /1.2M O.C. SPACING
PICEA ABIES 'LITTLE GEM'	LITTLE GEM NORWAY SPRUCE	23	#01 CONT. /1.0M O.C. SPACING
PRUNUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	41	#01 CONT. /0.75M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	41	#01 CONT. /0.75M O.C. SPACING
SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY STONECROP	41	#01 CONT. /0.75M O.C. SPACING





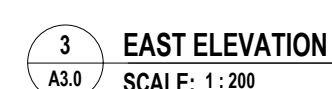
NOTE: GUARDRAIL TO FOLLOW ALL WALLS OVER 1.2M HEIGHT AND TIE INTO THE BUILDING/STAIR HANDRAILS WHERE POSSIBLE.



1 NORTH ELEVATION
A3.0 SCALE: 1 : 200




2 NORTHWEST ELEVATION
A3.0 SCALE: 1:200



3 EAST ELEVATION
A3.0 SCALE: 1:200

KEYNOTES	
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E1F51	EIFS - IMASCO, TEXTURE: PATINA, COLOUR: FROSTED DAWN
E1F52	EIFS - MANUFACTURER, TEXTURE: --, COLOUR: ORANGE
HP1	FIBRE CEMENT BOARD - HARDIEPLANK LAP SIDING, TEXTURE: CEDARMILL, COLOUR: COBBLE STONE
MC1	METAL CLADDING - VICWEST, COLOUR: DARK CEDAR
MC2	ALUMINIUM WINDOW CAP
SS1	STANDING SEAM METAL ROOF



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consultant:



seal:

permit:

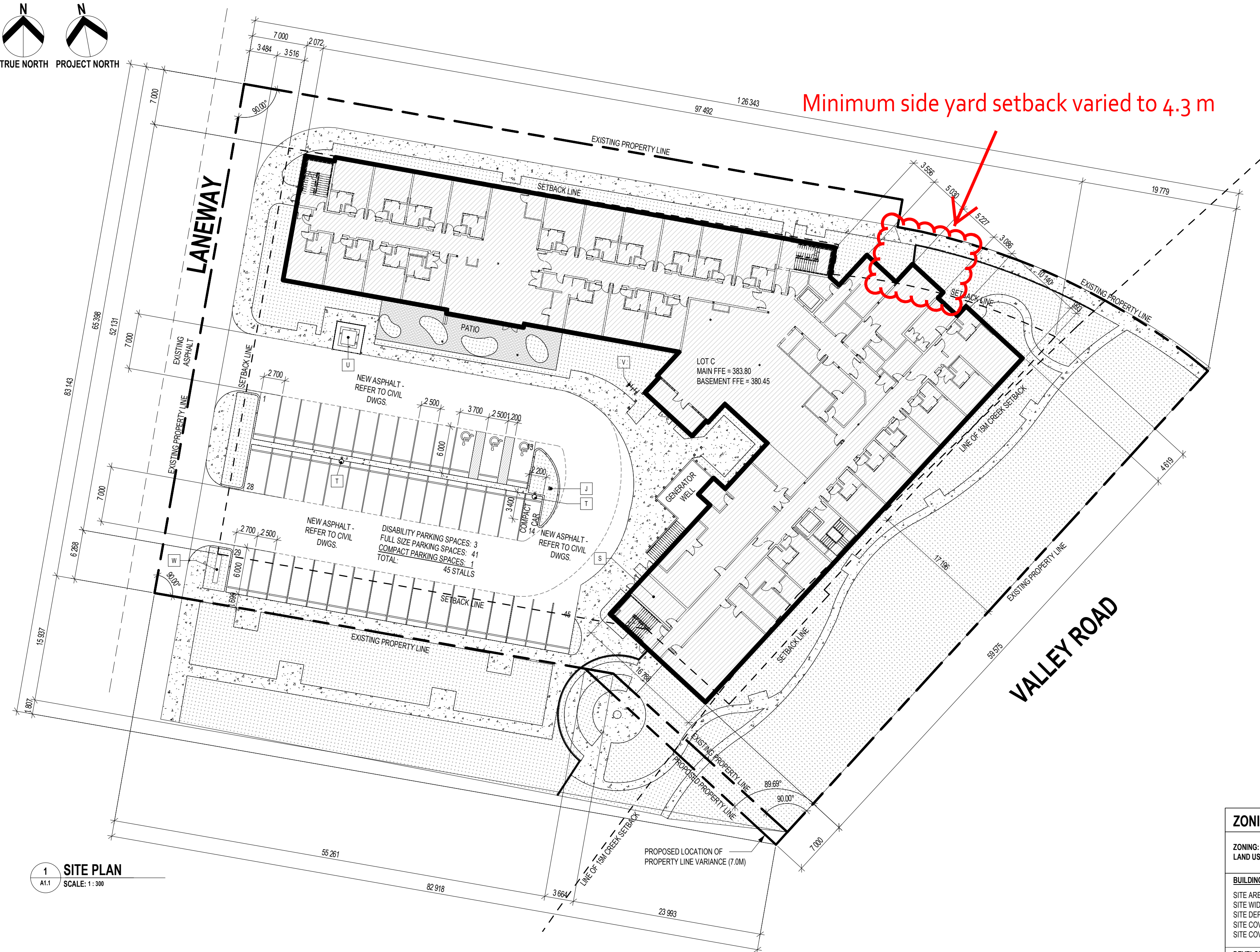
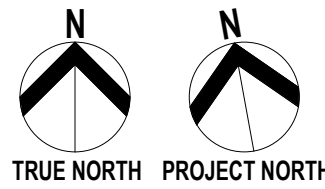
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**THE VINEYARDS
COMMUNITY GP INC.**

project:
VINEYARDS LODGE
LOT C SECTIONS 32 AND 2
TOWNSHIP 26 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP5406
726 VALLEY ROAD,
KELOWNA, BC.

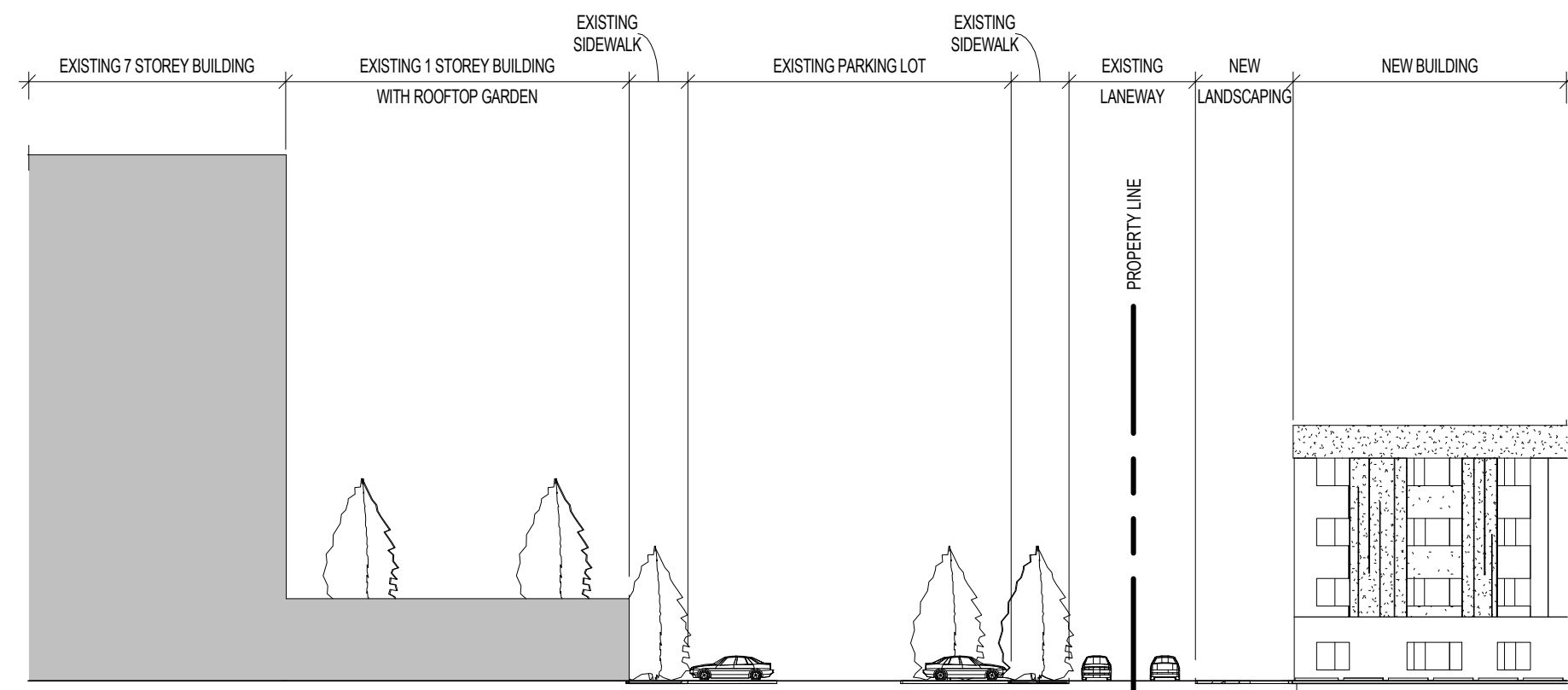
drawn by: TK	reviewed: NA
scale: 1 : 200	approved: DS
date: 2017/10/20	project no: 2017-26
drawing title:	

BUILDING ELEVATIONS

drawing no: A3.0	revision no: 3
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1 SITE PLAN
SCALE: 1:300



2 STREET ELEVATION
SCALE: 1:300

SITE PLAN LEGEND:

	SITE SIDEWALKS AND PATHS - REFER TO LANDSCAPE DRAWINGS
	PAVED PATIO - REFER TO LANDSCAPE DRAWINGS
	SOFT LANDSCAPING - REFER TO LANDSCAPE DRAWINGS
	NEW BUILDING

KEYNOTES

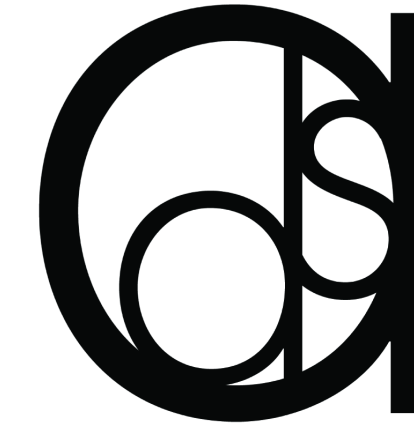
TYPE MARK	DESCRIPTION
J	LOCATION OF HYDRANT - REFER TO CIVIL
S	INTERIOR GARBAGE ROOM LOCATION
T	EXTERIOR LIGHTING - REFER TO ELECTRICAL
U	TRANSFORMER C/W CONCRETE PAD AND ENCLOSURE - REFER TO ELECTRICAL
V	BIKE RACK, CLASS II
W	FREESTANDING SIGNAGE - PROPOSED LOCATION



3 KEY PLAN - GOOGLE MAP
SCALE: 1:2000

ZONING ANALYSIS TABLE:

ZONING: COMPREHENSIVE DEVELOPMENT ZONE CD27 - VALLEY LAND SUBDIVISION LAND USE: SUPPORTIVE HOUSING (CARE FACILITY)		
BUILDING INFORMATION: SITE AREA (PARCEL / LOT) SITE WIDTH SITE DEPTH SITE COVERAGE OF BUILDINGS SITE COVERAGE OF BUILDINGS, DRIVEWAYS & PARKING	ZONE REQUIREMENT: - - - MAX 40% (2971.8 sq.m ALLOWED) MAX 65% (4829.1 sq.m ALLOWED)	PROPOSAL: 7429.4 sq.m EXISTING; (60.8 sq.m EXTRA PROPOSED VARIANCE) 81336 sq.m EXISTING; (1807 sq.m EXTRA PROPOSED VARIANCE) 126343 m 31.6% (2349.4 sq.m MAIN FLOOR) 52.4% (3899.6 sq.m)
DEVELOPMENT REGULATIONS: TOTAL NUMBER & TYPES OF UNITS	ZONE REQUIREMENT: -	PROPOSAL: STUDIO UNITS, HC (SUITE TYPES A, E, F, G, H, I) = 122 ONE BEDROOM UNITS, HC (SUITE TYPES B, C, D) = 12 TOTAL # OF UNITS = 134
FLOOR AREA (GROSS & NET) FLOOR AREA RATIO (FAR)	- MAX 1.2	GROSS = 9969.9 sq.m (NOT INCL. GENERATOR PIT @ 41.2 sq.m); NET = 9102.5 sq.m FAR = 0.8
BUILDING HEIGHT (STORIES / METERS)	MAXIMUM IS THE LESSER OF: 4.5 STORIES OR 18.0 m	BUILDING GRADE TO MIDPOINT OF SLOPPING EAST ROOF = 23 m; MAIN FLOOR TO EAST PEAK = 21.3 m; 5 STORIES
BUILDING SETBACKS: FRONT SIDE (INCLUDE DIRECTION) SIDE (INCLUDE DIRECTION) REAR	MIN 6.0 m; MIN 7.0 m; MIN 7.0 m; MIN 9.0 m;	7.0 m; 7.0 m NORTH; 6.3 m SOUTH; 17.2 m;
NUMBER OF PARKING STALLS / LOADING SPACES	PARKING: 1 STALL / 3 DWELLING UNITS = 45 REQ'D; LOADING: 1 PER 1,900 sq.m GFA FOR COMMERCIAL USE (KITCHEN)	45 1
SETBACKS TO PARKING: FRONT SIDE (INCLUDE DIRECTION) SIDE (INCLUDE DIRECTION) REAR	NO OFF-STREET PARKING LOCATED IN THE FRONT YARD (RESIDENTIAL REQMT); 1.5 m (RESIDENTIAL REQMT); 1.5 m (RESIDENTIAL REQMT); 1.5 m (RESIDENTIAL REQMT)	NONE N/A; 1.7 m SOUTH; N/A;
DRIVE AISLE WIDTH	7.0 m (2-WAY AISLES AND 90 DEGREE PARKING)	7.0 m
NUMBER OF BICYCLE PARKING SPACES	CLASS II: 5 PER BUILDING PUBLIC ENTRANCE	5
PRIVATE OPEN SPACE AREA	MIN 7.5 sq.m / BACHELOR DWELLING; MIN 15 sq.m / 1 BEDROOM DWELLING; 7.5 sq.m x 122 BACHELOR DWELLINGS = 915 sq.m 15 sq.m x 12 1-BEDROOM DWELLINGS = 180 sq.m TOTAL PRIVATE OPEN SPACE REQ'D = 1095 sq.m	INTERIOR COMMON AMENITY SPACES = 1101 sq.m EXTERIOR COMMON AMENITY SPACES = 237.2 sq.m TOTAL PRIVATE OPEN SPACE PROVIDED = 1338.2 sq.m



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Do not scale drawings.

Verify all dimensions on site and report all errors and omissions to the Architect. Comply with all Codes and Regulations applicable to the performance of the work.

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revisions:			
no.	date	description	consultant
2	31 AUG 17	ISSUED FOR DEVELOPMENT PERMIT	
1	04 AUG 17	ISSUED FOR CONSULTANT REVIEW	
0	28 JUL 17	ISSUED FOR CONSULTANT COORDINATION	

GC CAN LIMITED
SUITE 202, 10220 - 156 STREET
EDMONTON, AB T5P 2R1
TEL: 780-757-7575

seal:

permit:

client:

THE VINEYARDS
COMMUNITY GP INC.

project:

VINEYARDS LODGE
LOT 4 SECTIONS 32 AND 29
TOWNSHIP 26 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP54061

720 VALLEY ROAD,
KELOWNA, BC.

drawn by: CF / TK	reviewed: NA
scale: As indicated	approved: DS
date: 6 JULY 2017	project no: 2017-26
drawing title:	

SITE PLAN & KEY PLAN

drawing no:
A1.1

revision no:
2

NOT FOR CONSTRUCTION



ATTACHMENT B	
This forms part of application # DP17-0197 / DVP17-0198	
Planner Initials	LB

September 1, 2017

Current Planning Department
City of Kelowna
1435 Water Street
Kelowna, BC, V1Y 1J4

Attention: Laura Bentley, City Planner

Re: **Development Permit & Development Variance Permit**
720 Valley Road, Kelowna – Lot A, Section 32 & 29, ODYD, Plan EPP 54061

Applicant: Valley Land Subdivision Ltd.

Please accept this application for the following:

- | | |
|------------------------------|---|
| Development Permit: | To build a proposed 134 unit memory care facility. |
| Development Variance Permit: | <ol style="list-style-type: none"> 1. To permit a building of up to 5 stories and 23.0 meters within the CD27 zone. 2. Reduce the side yard setback from 7.0 meters, to 4.3 meters for two projections in the northeast corner of the site. |

The subject property is located within the old 'Conservatory' lands on the north side of Summit Drive, between Glenmore Road and Valley Road. The specific parcel is located midpoint on the site, along the Valley Road side of the property.

The building is in line with our existing applications that have been submitted in the past 14 months:

- Rezoning Z16-0046
- Development Permit DP16-0173
- Subdivision Application S16-0085
- Natural Environment Development Permit DP17-0057

The subject land has been identified for medium density development since 2000 in the City of Kelowna's OCP (Bylaw 8600). After a number of setbacks from previous property owners, we are ready to move forward with our application and ensure the site is utilized by appropriate and suitable urban infill that will compliment current and future developments in the area.

Upon completion, this unique facility will provide care to individuals diagnosed with Alzheimer's, Dementia, and other memory related diseases. This project will be operated by Sussex Retirement Living, an innovative seniors housing developer specializing in state of the art memory care, independent and assisted living facilities. Sussex and its partners believe in the social model offering personalized care in a home-like environment. This contrasts with the medical model that delivers standardized care in a hospital-like setting.


We look forward to working with the City to see this site developed into a healthcare asset that will benefit the entire Okanagan and its future generations.

If you have any questions pertaining to these Applications, please do not hesitate to contact me.

Sincerely,

KENT-MACPHERSON

Per:



J. Hettinga, B.Sc., RI



Suite 202, 10220 – 156 Street Edmonton, AB T6P 5C1
Ph: (780) 757-7575

City of Kelowna
ATTN: Development Department
1435 Water Street
Kelowna, AB V1Y 1J4

August 31, 2017

RE: Design Rationale For The Vineyards Lodge – 720 Valley Road

To Whom It May Concern,

Please let this letter serve as the design rationale statement for the proposed Vineyards Lodge development at 720 Valley Road. This 134 unit building is specifically designed to provide for the care of individuals with varying degrees of dementia. There are 5 areas called cottages on the main, second and third floors for the dementia residents and a fourth and partial fifth floor to serve assisted living residents who may have more mobility issues than the memory care clients.

Due to the major use being care, there were no individual balconies designed for this building although outdoor areas with 6' high guards have been provided on many floors. With the large required landscaped setback for the creek along Valley Road limiting our building pocket, we still had to provide for a reasonable number of units to make the project viable. In order to accomplish that, a simple structure that maximized our building area was designed as close to the setback lines as possible. This action required for efficiency predicated our use of as straight a wall profile as possible.

More internal amenities were required to enhance the lives of residents who, for the most part, need constant monitoring. We chose to enhance each cottage for memory care with large open internal dining and recreation space for a family living environment. A large lobby opens to a multi-purpose area on the main floor linked to a large main kitchen. A sanctuary and hair salon enhance the lives of our residents. In addition to a partial fifth floor containing assisted living suites, there is a large dining and amenity area served by a finishing kitchen and outside BBQ area. This area has attractive views to the East, with open orchard and green areas and the hoodoos of Dilworth Mountain for all to enjoy.

In short, the simplified structure with a variety of attractive finishes, including large areas of glass, allows for a concentration of services to enhance the lives of the residents.

Respectfully;

A handwritten signature in dark ink, appearing to read "Glen Cameron". The signature is fluid and stylized, with a large loop at the end.

Glen Cameron, President
GC Can Limited

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Authenticity and Regional Expression			
Do landscaping and building form convey a character that is distinct to Kelowna and the Central Okanagan?	✓		
Are materials in keeping with the character of the region?	✓		
Are colours used common in the region's natural landscape?	✓		
Does the design provide for a transition between the indoors and outdoors?	✓		
Context			
Does the proposal maintain the established or envisioned architectural character of the neighbourhood?	✓		
Does interim development consider neighbouring properties designated for more intensive development?	✓		
Are façade treatments facing residential areas attractive and context sensitive?	✓		
Are architectural elements aligned from one building to the next?			✓
For exterior changes, is the original character of the building respected and enhanced?			✓
Is the design unique without visually dominating neighbouring buildings?	✓		
For developments with multiple buildings, is there a sense of architectural unity and cohesiveness?	✓		
Relationship to the Street			
Do buildings create the desired streetscape rhythm?	✓		
Are parkade entrances located at grade?			✓
For buildings with multiple street frontages, is equal emphasis given to each frontage?		✓	
Massing and Height			
Does the design mitigate the actual and perceived mass of buildings?	✓		
Does the height consider shading and view impacts for neighbouring properties and transition to less intensive areas?	✓		
Human Scale			
Are architectural elements scaled for pedestrians?	✓		
Are façades articulated with indentations and projections?		✓	

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are top, middle and bottom building elements distinguished?	✓		
Do proposed buildings have an identifiable base, middle and top?	✓		
Are building facades designed with a balance of vertical and horizontal proportions?	✓		
Are horizontal glazed areas divided into vertically proportioned windows separated by mullions or building structures?	✓		
Does the design incorporate roof overhangs and the use of awnings, louvers, canopies and other window screening techniques?		✓	
Is the visual impact of enclosed elevator shafts reduced through architectural treatments?	✓		
Exterior Elevations and Materials			
Are buildings finished with materials that are natural, local, durable and appropriate to the character of the development?	✓		
Are entrances visually prominent, accessible and recognizable?	✓		
Are higher quality materials continued around building corners or edges that are visible to the public?	✓		
Are a variety of materials used to create contrast, enhance the pedestrian environment and reduce the apparent mass of a building?	✓		
Are elements other than colour used as the dominant feature of a building?	✓		
Public and Private Open Space			
Does public open space promote interaction and movement through the site?	✓		
Are public and private open spaces oriented to take advantage of and protect from the elements?	✓		
Is there an appropriate transition between public and private open spaces?	✓		
Are amenities such as benches, garbage receptacles, bicycle stands and community notice boards included on site?	✓		
Site Access			
Is the safe and convenient movement of pedestrians prioritized?	✓		
Are alternative and active modes of transportation supported through the site design?	✓		
Are identifiable and well-lit pathways provided to front entrances?	✓		
Do paved surfaces provide visual interest?	✓		
Is parking located behind or inside buildings, or below grade?	✓		

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are large expanses of parking separated by landscaping or buildings?	✓		
Are vehicle and service accesses from lower order roads or lanes?	✓		
Do vehicle and service accesses have minimal impact on the streetscape and public views?	✓		
Is visible and secure bicycle parking provided in new parking structures and parking lots?	✓		
Environmental Design and Green Building			
Does the proposal consider solar gain and exposure?		✓	
Are green walls or shade trees incorporated in the design?	✓		
Does the site layout minimize stormwater runoff?	✓		
Are sustainable construction methods and materials used in the project?	✓		
Are green building strategies incorporated into the design?		✓	
Decks, Balconies, Rooftops and Common Outdoor Amenity Space			
Are decks, balconies or common outdoor amenity spaces provided?	✓		
Does hard and soft landscaping enhance the usability of decks, balconies and outdoor amenity spaces?	✓		
Are large flat expanses of roof enhanced with texture, colour or landscaping where they are visible from above or adjacent properties?			✓
Amenities, Ancillary Services and Utilities			
Are loading, garage, storage, utility and other ancillary services located away from public view?	✓		
Are vents, mechanical rooms / equipment and elevator penthouses integrated with the roof or screened with finishes compatible with the building's design?	✓		
Landscape Development and Irrigation Water Conservation			
Does landscaping:	-	-	-
<ul style="list-style-type: none"> Compliment and soften the building's architectural features and mitigate undesirable elements? 	✓		
<ul style="list-style-type: none"> Maintain the dominant pattern of landscaping along the street and surrounding properties? 	✓		
<ul style="list-style-type: none"> Enhance the pedestrian environment and the sense of personal safety? 	✓		
<ul style="list-style-type: none"> Screen parking areas, mechanical functions, and garbage and recycling areas? 	✓		

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
• Respect required sightlines from roadways and enhance public views?	✓		
• Retain existing healthy mature trees and vegetation?			✓
• Use native plants that are drought tolerant?	✓		
• Define distinct private outdoor space for all ground-level dwellings?			✓
Do any fences and retaining walls create visual interest and enhance the pedestrian environment?			✓
Do parking lots have one shade tree per four parking stalls?	✓		
Does the Landscape Architect's Landscape Water Conservation Report:	-	-	-
• Meet the requirements for Landscape Water Budget calculations for the landscaped area?	✓		
• Indicate how the development complies with or varies from the Landscape Water Conservation Guidelines?	✓		
<i>Landscape Water Conservation Guidelines</i>			
Are plants grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas?	✓		
Does at least 25% of the total landscaped area require no irrigation / watering?		✓	
Does at least 25% of the total landscaped area require low water use?	✓		
Does at most 50% of the total landscaped area require medium or high water use?	✓		
Is mulch cover provided for shrubs and groundcover to reduce soil evaporation?	✓		
Do water features such as pools and fountains use recirculated water systems?		✓	
Do landscape installation standards meet the requirements of the BC Landscape Standard and / or the Master Municipal Construction Document?	✓		
Are the required written declarations signed by a qualified Landscape Architect?	✓		
<i>Irrigation System Guidelines</i>			
Is the Irrigation Plan prepared by a Qualified Professional?		✓	
Are irrigation circuits grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas consistent with the landscaping plan?	✓		
Is drip or low volume irrigation used?	✓		
Are the required written declarations signed by a qualified Certified Irrigation Designer?		✓	

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Crime prevention			
Are CPTED practices as related to landscaping, siting, form and exterior design included in the design?	✓		
Are building materials vandalism resistant?	✓		
Universal Accessible Design			
Is access for persons with disabilities integrated into the overall site plan and clearly visible from the principal entrance?	✓		
Are the site layout, services and amenities easy to understand and navigate?	✓		
Lakeside Development			
Are lakeside open spaces provided or enhanced?			✓
Are lake views protected?			✓
Does lakeside development act as a transition between the lake and inland development?			✓
Signs			
Do signs contribute to the overall quality and character of the development?	✓		
Is signage design consistent with the appearance and scale of the building?	✓		
Are signs located and scaled to be easily read by pedestrians?	✓		
For culturally significant buildings, is the signage inspired by historical influences?			✓
Lighting			
Does lighting enhance public safety?	✓		
Is "light trespass" onto adjacent residential areas minimized?	✓		
Does lighting consider the effect on the façade, neighbouring buildings and open spaces?	✓		
Is suitably scaled pedestrian lighting provided?	✓		
Does exterior street lighting follow the International Dark Sky Model to limit light pollution?	✓		

REPORT TO COUNCIL



Date: December 5th 2017

RIM No. 0940-00 & 0940-50

To: City Manager

From: Community Planning Department (AC)

Application: DP17-0016 / DVP17-0019 & DP17-0207 / DVP17-0208 **Owner:** 0984342 BC Ltd Inc. and FortisBC Inc.

Address: 650 & 700 Swordy Rd **Applicant:** Zeidler BKDI Architects (Jean Guy Beliveau)

Subject: Development Permit and Development Variance Permit

Existing OCP Designation: MXR – Mixed Use (Residential / Commercial) & MRL – Multiple Unit Residential (Low Density)

Existing Zone: C4 – Urban Centre Commercial & P4 - Utilities

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP17-0016 for Portion of Lot 2, Outlined Red on Plan A917, District Lot 134, ODYD, Plan 2864, located at 700 Swordy Rd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;
5. The applicant enter in a public parking agreement with the City of Kelowna for 27 stalls on evenings and weekends at 700 Swordy Road.

AND THAT Council authorize the issuance of Development Variance Permit DVP17-0019 for Portion of Lot 2, Outlined Red on Plan A917, District Lot 134, ODYD, Plan 2864, located at 700 Swordy Rd, Kelowna, BC;

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B, & C":

Section 7.6 Minimum Landscape Buffers: 7.6.1 (c):

To vary the minimum 3.0m landscape buffer from 3.0 m to 2.0 m.

AND THAT Council authorizes the issuance of Development Permit No. DP17-0207 for Lot A, District Lot 134, ODYD, Plan EPP65105, located at 650 Swordy Rd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorize the issuance of Development Variance Permit DVP17-0208 for Lot A, District Lot 134, ODYD, Plan EPP65105, located at 650 Swordy Rd, Kelowna, BC;

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B, & C":

Section 8: Parking and Loading: Table 8.1 Parking Schedule

To vary the required parking from 161 parking stalls permitted to 97 parking stalls proposed.

Section 14 – Commercial Zones: 14.4.5 (c) Development Regulations

To vary the maximum height from '15.0m or 4 stories' permitted '22.1m or 6 stories' proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

The purpose is to review two Form & Character Development Permits and two Development Variance Permits for one project known as 'The Shore'. The first Development Permit and Development Variance Permit is for a 6 storey, mixed use building on 650 Swordy Road with variances to increase the maximum height and to reduce the number of parking stalls. The other Development Permit and Development Variance Permit is for the surface parking lot proposed at 700 Swordy Road immediately adjacent with one variance to reduce the landscape buffer widths.

3.0 Community Planning

Note: This project encompasses two properties with two different owners. This has necessitated the need for additional Development Permit and Development Permit applications. All of these files are related to the same comprehensive development known as "The Shore". Below staff have separated comments related to the Fortis BC land (future 'Shore' parking lot) and the main development site.

3.1 Development Variance Permit DVP17-0019

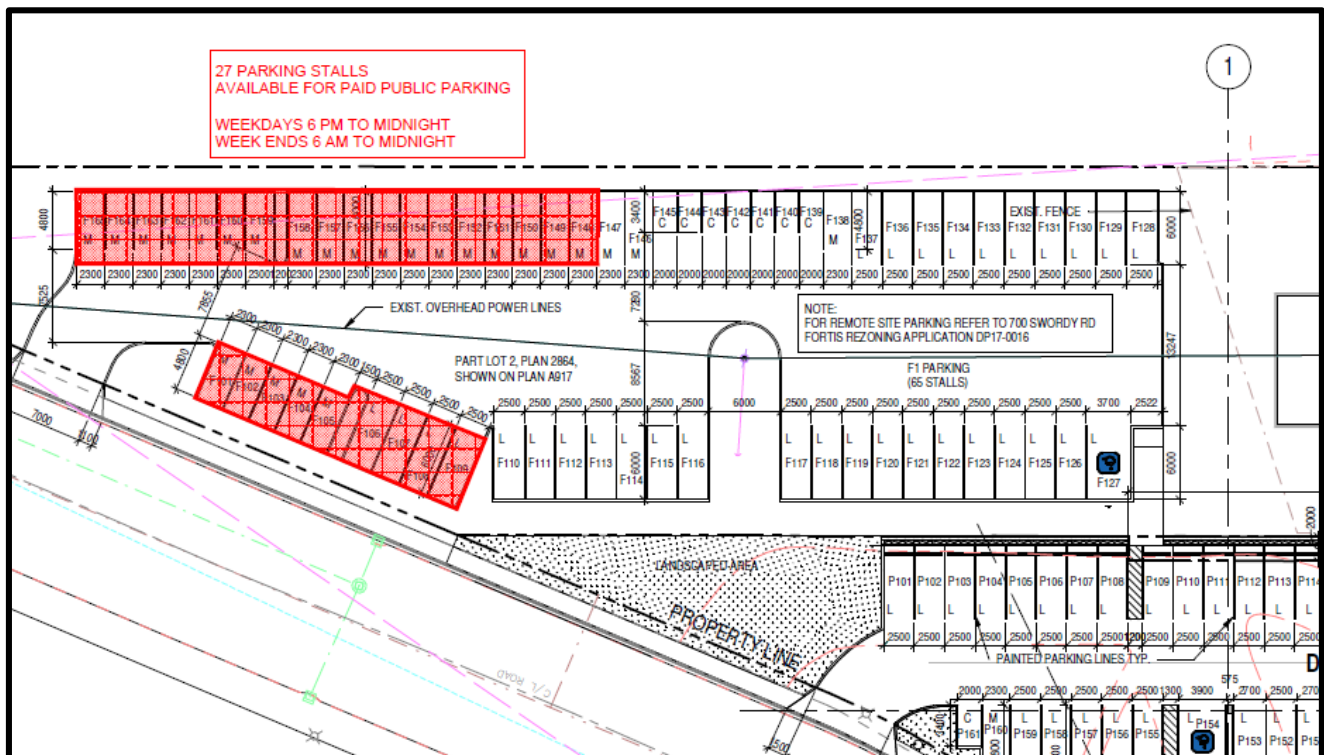
The applicant informed the City the original proposal (DP16-0160 & DVP16-0161) approved by Council on March 31st 2017 was not financially viable due to the forecasted costs of the proposed building. Therefore, the applicant engaged in a cost reduction and value engineering exercise to modify the project. The building's overall design and form & character remain intact with only minor reductions to the size of the building along Richter Street. The two major changes was the parking and the addition of another floor of residential units.

The original design had adequate parking onsite with a surface parking lot and two floors of above-grade parking. The entire Fortis parking lot site (at 700 Swordy Rd) was excess parking in the original proposal. Staff and Council were enthusiastic about excess parking in the Boyce-Gyro Beach Park area due to intense parking pressures during the summer months. A summary of the changes are listed below:

- The total retail area was reduced by 148 m²;
- The office area was reduced by 60 m²;
- The total number of residential units increased from 83 units to 103 units;
- The 47 stall 3rd floor parking level was eliminated;
- The adjacent Fortis site was excess parking and now will be all required parking;
- The overall height of the building increased by 1.52metres;
- A second public courtyard space was added along Richter Street;
- The original FAR was 1.359, the new proposal is 1.542, and the maximum FAR on the site is 1.542;

In the revised proposal, the applicant eliminated the 47 stalls provided within the 3rd floor parkade and relocated those stalls to the adjacent Fortis site. The addition of 20 extra units also required 20 extra stalls. Staff were concerned with regards to this proposed change of adding further residential densities to the project while having a greater reliance on the adjacent Fortis Site for surface parking without registering a covenant. Generally, Staff require applicants that relocate parking off-site to register a restrictive covenant on the parcel to ensure that the off-site parking is provided for in perpetuity. In this case, Fortis would not accept a restrictive covenant on title. Therefore, the City would rely on the lease agreement between 'The Shore' and Fortis to ensure parking is provided over the long term. Staff are satisfied with this arrangement as the high voltage overhead powerlines effectively limit the development potential of this site in the long term to parking as the highest and best use. The applicant has offered to provide 27 stalls on the Fortis Site for public parking on evenings and weekends (See image below). The 27 stalls correspond to the number of parking stalls required for the office use which tend not be utilized during evenings and weekends.

Overall, Staff feel the increase in height by 1.5m is a marginal and tolerable increase as well as the project has maintained the overall form & character (see previous report for detailed rationale).



3.2 Development Permit DP17-0016 & Development Variance Permit DVP17-0019 (700 Swordy Road)

A 65 stall surface parking lot was originally proposed on 700 Swordy Road to act as excess and supplementary parking to 'The Shore' development located immediately to the west. The developer is proposing a number of changes to 'The Shore' development that would reduce its on-site parking and designate the parking at 700 Swordy Road required parking under the Zoning Bylaw. The property will remain in the ownership of Fortis with a long-term lease to 'The Shore'. A landscape buffer variance for the surface parking lot, from 3.0m to 2.0m, is needed due to Fortis's vehicular maneuverability requirements to service the existing sub-station and to the location of the overhead power poles. The surface parking lot also does not meet the minimum number of trees per parking stall as described in the Official Community Plan design guidelines. However, this condition is tolerable as trees are usually provided in landscape islands within surface parking lots but in this case those landscape island would be located under power lines and Fortis would not permit trees in those areas.

3.3 Development Permit DP17-0207

Staff are recommending support for the proposed Development Permit due to the proposal's consistency with the Official Community Plan's (OCP) design guidelines. The applicant has worked with City staff to review and refine the design a number of times. The proposal is an excellent example of high quality architecture in a mid-rise form.

Staff are recommending support for the proposed Development Permit due to the proposal's consistency with the Official Community Plan's (OCP) design guidelines. The applicant has given particular consideration to the base of the podium to provide a successful streetscape and pedestrian experience. The proponent and their consultants have proposed to include "green" landscaping features on all the private and amenity outdoor space.

Key design features of the application is:

- Two "Public Courtyard" within the central portion of the site designed for universal accessibility.
- Significant landscaping has been provided onsite and on the building.
- Four levels of rental residential units.
- Retail commercial at-grade which provides for a great streetscape interface.
- Significant architectural features and building articulation coupled with varying and appropriate building materials.

3.4 Notification

Council's Public Notification Policy #367 has been met by informing property owners within 50 metres of the proposed development. Confirmation of a complete public notification was submitted to the City on October 31st 2017.

4.0 **Proposal**

4.1 Project Description (650 Swordy Rd)

The proposed mid-rise building is six storeys high, with a retail base, a dedicated office-oriented second floor (that spans two floors in height), and four levels of market rental housing (103 units) located above the podium. The massing of the upper levels is stepped back allowing the retail area to frame the public plaza in manner that accentuates the pedestrian friendly feeling while hiding the parking facilities. The proximity of the Boyce-Gyro Beach Park naturally led the design to provide plenty of on-site open space for café and restaurant patios at grade. Fitted with a breezeway, the project allocates the commercial parking underneath the building and at the rear of the site. This frames multiple views to the beach from the mid-block public plaza. Residential parking is hidden in a semi-open air parkade integrated into the rear of the podium.

Overall, the massing of the six storey building has been successfully apportioned and well-articulated. The material selection is also of high quality.

Vehicular access to the site is provided via Richter Street and Swordy Road satisfying the requirements of the Fortis right-of-way for service access to the existing facility to the east. The main residential and office entrance for the pedestrian coming in from the parking area or the public plaza is located at the breezeway making it an active connector across the site. The designated firefighter access is located on Swordy Road. All of the floors are designed with ample outdoor amenity space. The office floors contain view responsive corner windows, and the fourth floor residential amenity level opens up to an amenity deck overlooking the Boyce-Gyro Beach Park.

Lastly, the design of the project actively responds to servicing needs. Waste and recycling facilities are enclosed underneath the building at the rear of the site. It is anticipated that waste and recycling will be staged in the lane with thru-access for the trucks. Loading stalls are located out of sight underneath the building. Sight lines to the service areas are clear of obstructions which is in compliance with CPTED principles. The site is provided with appropriate landscaping required on public plazas and adjacent public streets. It is also fitted with a few landscape buffer areas that screen the surface parking lot.

4.2 Project Description (700 Swordy Rd)

The 65 stall parking lot will be screened with a landscape buffer and will be setback 9.2m from the existing Fortis sub-station at the south end. The 9.2m clearance is a safety setback required by the Fortis equipment. Access to the surface parking lot will be from Richter Street. Fortis will develop a new access for service vehicles from Swordy Road. The site currently contains high voltage power lines running in the north-south direction and contains two existing power poles. The power pole currently located in the middle of the site has a support guy wire. The power pole located at the north end will be fitted with a guy wire in the near future. As such, the power pole located in the middle of the site will have a landscaped area at its base and a new impact resistant barrier to prevent collisions of cars with the power pole. The rationale behind the parking layout was to spread the two parallel rows of cars as far away as possible from the overhead power lines while maintaining a landscape buffer to the neighbouring properties. A pedestrian link has been created at the south-western end of the surface parking lot to facilitate pedestrian movement between the two sites.

4.3 Site Context

The site is located at the south end of the South Pandosy Urban Centre across from Gyro Beach. Specifically, the adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C9 – Tourist Commercial	Vacant
East	P4 - Utilities	Utilities
South	RM3 – Low Density Multiple Housing	Residential
West	P3 – Parks and Open Space	Park

Subject Property Map: 650 Swordy Rd



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	C4 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Height	15.0 m / 4.0 storeys	22.1 m / 6 storeys ❶
Front Yard (north)	0.0 m	0.0 m
Side Yard (east)	0.0 m	0.0 m
Side Yard (west)	0.0 m	0.0 m
Rear Yard (south)	0.0 m	0.0 m
Site coverage of buildings	75 %	49.6 %
FAR	Base Far: 1.3 + Parking within Bldg bonus: 0.062 + <u>Public plaza bonus: 0.18</u> = 1.542	1.542
Parking Regulations		
Minimum Parking Requirements	161 parking stalls	Main floor / site: 61 stalls + 2 nd Floor: 36 stalls + <u>Fortis Site: 65 stalls</u> = 162 parking stalls ❷
Minimum Loading Spaces	2 spaces	2 spaces

Zoning Analysis Table		
CRITERIA	C4 ZONE REQUIREMENTS	PROPOSAL
Ratio of Parking Stalls	Full size: 50% Min Medium Size: 40% Max Small Size: 10% Max	Full size: 61% Medium Size: 34% Small Size: 5%
Minimum Drive Aisle Width	7.0 m	8.0 m
Other Regulations		
Minimum Bicycle Parking Requirements	Class 1: 59 bikes Class 2: 30 bikes	Class 1: 70 bikes Class 2: 30 bikes
<p>❶ A variance to increase the permitted height is proposed.</p> <p>❷ A variance to reduce the number of permitted parking stalls by 64 stalls is proposed</p>		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 5: Development Process

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Sensitive Infill.² Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

Contain Urban Growth.³ Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

Housing Mix.⁴ Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

Building Height⁵:

- **Other Urban Centres:** Locate taller buildings in the geographic centre of Urban Centres and generally decrease height moving away from the centre, to a maximum of 4 storeys at the periphery of the Urban Centres, where adjoining land is designated for single/two unit housing.
- **South Pandosy:** Generally, 4 storeys. Six storeys within C4 or C9 zoned areas. Potential for 8 storeys where an architecturally distinct and significant buildings is placed at a corner, gateway or view terminus location that is of significance to the community or where a building is of cultural significance to the community.
- **Rutland:** Generally, 4 storeys. Six storeys within C4 or C9 zoned areas. Potential for up to 44 m height (12-14 storeys) in the core of Rutland, as identified in the C7 zone of the Zoning Bylaw.
- **Midtown:** 16 storeys, where the OCP designation provides for high-density multiple-units.

¹ City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Goals for a Sustainable Future, Objective 1 (Chapter 1 Introduction)

⁴ City of Kelowna Official Community Plan, Policy 5.27.11 (Development Process Chapter)

⁵ City of Kelowna Official Community Plan, Policy 5.8.1 (Development Process Chapter)

- **Capri/Landmark:** Generally, 4 storeys. Greater height (up to 12 storeys) may be supported on the Capri Shopping Centre site and in the area bordered by Dickson Avenue, Dayton Avenue, Springfield Road and Kirschner Road upon approval of a Council-endorsed comprehensive development plan for the site that provides for a variety of housing types (including but not limited to ground-oriented and rental apartment housing) and the provision of commercial space that is of an amount that, at minimum, equals that which existed in 2010.
- **Elsewhere:** For all areas of the City outside the Urban Centres, buildings heights shall be a maximum of four storeys for residential and six storeys for apartment hotels and hotels. Additional height restrictions may be imposed as a result of airport-related zoning regulations.

Objective 5.5: Ensure appropriate and context sensitive built form.

Building Height. ⁶ In determining appropriate building height, the City will take into account such factors as:

- Contextual fit into the surrounding neighbourhood;
- Shadowing of the public realm;
- View impacts;
- Overlook and privacy impact on neighbouring buildings;
- Impacts on the overall skyline;
- Impacts on adjacent or nearby heritage structures;

Chapter 14: Urban Design Guidelines Amenities, ancillary Services and Utilities.⁵

- Locate loading, garbage, storage, utilities and other ancillary services away from public view. All such areas shall be screened and designed as an integral part of the building to minimize impact;
- Create attractive rear alley facades with high quality materials on buildings facing residential areas (e.g. rear building entrances, windows, balconies, plazas, and plantings).

Chapter 4: Land Use Designation Massing and Height.³

- Mitigate the actual and perceived bulk of buildings by utilizing appropriate massing, including:
- Architectural elements (e.g. balconies, bay windows, cantilevered floors, cupolas, dormers);
- Visually-interesting rooflines (e.g. variations in cornice lines and roof slopes);
- Step back upper floors to reduce visual impact;
- Detailing that creates a rhythm and visual interest along the line of the building;
- Wall projections and indentations, windows and siding treatments as well as varied material textures should be utilized to create visual interest and to articulate building facades;
- Building frontages that vary architectural treatment in regular intervals in order to maintain diverse and aesthetically appealing streets.

6.0 Technical Comments

6.1 Building & Permitting Department

DP17-0207 (650 Swordy Rd)

- This is not a plan review but the following items may apply at time of Building Permit application stage.
- Permits are required for any sales or office trailers that will be on site. The location(s) of these are to be shown at time of development permit application.

⁶ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter). ³ City of Kelowna Official Community Plan, Chapter 14 (Urban Design Development Permits Area).

- A Hoarding permit is required and protection of the public from the staging area and the new building area during construction.
- Requirements of the City of Kelowna fire prevention regulations bylaw No. 10760 for buildings 6 stories and greater are to be shown on the building permit drawings.
- A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s): a. Any alternative solution must be accepted by the Chief Building Inspector prior to the release of the Building Permit. b. Location, Heights, Colors of mechanical systems and the required screening are to be determined at time of DP c. Any security system that limits access to exiting needs to be addressed in the code analysis by the architect. d. Access to the roofs are required per NFPA and guard rails may be required and should be reflected in the plans if required. e. The terrace / roof top areas require a secondary means of egress as per BCBC 3.3.1.3. (2)
- This property falls within the Okanagan flood plain limits of a minimum Geodetic Elevation of 343.66 meters. This minimum elevation is required for all habitable spaces including the parking garage(s). Minimum building elevations are required to be established prior to the release of the Development Permit.
- We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent properties is a civil matter and is the sole responsibility of the owner(s). The items of potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, undermining & underpinning of existing foundation, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work, water infiltration systems, etc.
- Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

DP17-0016 (700 Swordy Rd)

- A Building permit is required for the civil works portion of the parking lot. A Civil engineer is required to provide drawings and schedules at time of permit application.

6.2 Development Engineering Department

- DP17-0016 / DVP17-0019
 - All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z17-0014.
 - The request to vary the landscape buffer for the front and side yards from 3.0m to 2.0m does not compromise any municipal services.
- DP17-0207 / DVP17-208
 - All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z16-0040.
 - The request to increase the height to six stories (22.07m) and a variance to allow for 65 off site parking stalls does not compromise any municipal services.

6.3 Fortis BC (Electric)

- There are FortisBC Inc (Electric) ("FBC(E)") primary distribution facilities along Lakeshore Road and Swordy Road. However, given the proposed building and transformer location noted on the plans provided, extension work might be required to service the proposed development, the cost of which may be significant. Furthermore, FBC(E) requires guaranteed tractor trailer access in order to service the adjacent substation to the east. The applicant is responsible for costs associated with any change to the subject property's existing service, if any, as well as the provision of appropriate land rights where required.
- Otherwise, FBC(E) has no concerns with this circulation.

6.4 Fire Department

- Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required.
- Engineered Fire Flow calculations are required to determine Fire Hydrant requirements as per the City of Kelowna Subdivision Bylaw #7900. New hydrants on this property shall be operational prior to the start of construction and shall be deemed a private hydrant
- All buildings shall be addressed off of the street it is accessed from.
- A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD
- Fire Department access is to be met as per BCBC 3.2.5.
- Approved Fire Department steel lock box acceptable to the fire dept. is required by the fire dept. entrance and shall be flush mounted
- All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met
- Fire alarm system is to be monitored by an agency meeting the CAN/ULC S561 Standard.
- Contact Fire Prevention Branch for fire extinguisher requirements and placement.
- Fire department connection is to be within 45M of a fire hydrant - unobstructed.
- Ensure FD connection is clearly marked and visible from the street
- Standpipes to be located on intermediate landings.
- Sprinkler zone valves shall be accessible as per fire prevention bylaw - less than 7 feet from floor
- Dumpster/refuse container must be 3 meters from structures or overhangs or in a rated room in the parking garage
- Do not issue BP unless all life safety issues are confirmed

7.0 **Application Chronology**

Date of Application Received (complete):	July 4 th 2016
Date of Notification Letters:	July 20 th 2016
Date of Public Open House:	August 4 th 2016
Date of First Reading:	Sept 12 th 2016
Date of Public Hearing:	Oct 4 th 2016
Date of Council DP/DVP approval:	Mar 21 st 2017
Date of re-application:	Oct 2 nd 2017

Prepared by:	Adam Cseke, Urban Planner
Reviewed by:	Terry Barton, Urban Planning Manager
Approved for:	Ryan Smith, Community Planning Department Manager

Attachments:

Applicant Rationale
DP17-0016 & DVP17-0019
DP17-0207 & DVP17-020

October 30, 2017

PARTNERS**VAIDILA BANELIS | ARCHITECT**

AAA, AIBC, SAA, OAA, MRAIC,

LEED® AP

STEPHEN BUGBEE | ARCHITECT

AAA, AIBC, SAA, MAA, NSAA, MRAIC,

CAA, AIA (IA)

R. SEAN CRAWFORD | BAID, IDC,

IDA, NCIDQ

JEAN GUY BELIVEAU**BILL MITCHELL**Mr. Adam Cseke
Planner
City of Kelowna**Design Rationale Statement****Re: The Shore – Lakeshore Road, Rise Developments
Development Permit Re-Application Submission**

Located across the street from Gyro Beach, Kelowna, this development proposal takes advantage of the vibrant street corner created by the intersections of Richter Street, Lakeshore Road, and Swordy Road. In broad terms, the project concept is centered around an interplay of uses that respond to the site context, zoning bylaws, and the Official Community Plan.

The proposed building is six storeys high, with a robust retail base, a dedicated office-oriented second floor, and four levels of market rental housing located above the podium. One of the strongest generating principles for this combination was the project's siting – its adjacency to the beach, its proximity to transit and Mission Park Shopping Centre, and the pedestrian oriented environment afforded by the corner location. As such it was paramount to provide a stepped back massing that allowed the retail to frame the urban realm in such a way as to hide parking facilities while maximizing pedestrian exposure. The proximity of the beach naturally led the design to provide plenty of on-site open space for café and restaurant patios at grade. Fitted with a pass-through commercial / residential lobby, the project tucks away commercial and residential parking underneath the building at the rear of the site, framing multiple views to the beach from it's mid block public plaza. Additional retail parking is located on the Fortis property, next door. In turn, enclosed residential parking is hidden in an above-ground parkade seamlessly integrated into the rear of the podium.

This organizing principle for the massing allows the project to exceed the zoning-required Daylighting Standards Vertical Angles by relying on voluntary setbacks on at the property line on Richter Street, and Swordy and Lakeshore Roads. It is both the parking arrangement and the provision of the public plaza that afford the project an additional 0.24 floor area ratio as permitted by the zoning bylaw.

Vehicular access to the site is provided via Richter Street and Swordy Road satisfying the requirements of the Fortis right-of-way for service access to the existing facility to the east. Once out of the car, the visitor to the site is funnelled through the pass-through lobby into the heart of the project – a large urban scale open-ended courtyard and plaza. This massing helps to satisfy the general accessibility requirements for retail. The main residential and office entrance for the pedestrian coming in from the parking area or the public plaza is also conveniently located at the courtyard making it an active connector across the site. Designated firefighter access is located on Swordy Road.

All of the floors contain ample outdoor amenity spaces. The office floors contain view responsive corner windows, and the third-floor residential amenity level opens up to an amenity deck overlooking the panoramic views. Visually, the project offers a fresh reinterpretation of the Kelowna vernacular, providing a contemporary twist on local materials.

PRINCIPALS**MARTIN VEENHOVEN | ARCHITECT**

AAA, AIBC, MRAIC, AIA (WA)

From an OCP standpoint, the proposed project responds to the densification trends underway in Kelowna. It concentrates a number of mixed uses in one location proximate to an urban centre, therefore containing urban sprawl. It also creates a distinctive and attractive destination - a landmark development in a growing neighbourhood. A proposed bike lane on Lakeshore and Swordy Roads, as well as a proposed bus stop in front of the development on Lakeshore Road, address the recommended environmental sustainability. The site's location next to a public park and beach, easy access to retail and restaurants at grade and medical offices on the 2nd floor, as well as its market rental residential offerings, address the social sustainability requirements outlined in the OCP.

Last but not least, the design actively responds to servicing needs. Waste and recycling facilities are enclosed underneath the building at the rear of the site. It is anticipated that waste and recycling will be staged in the lane with thru-access for the trucks. Loading stalls are tucked away out of sight underneath the building as well, allowing clear sight lines to the service areas on the site mandated by CPTED. The site is provided with appropriate landscaping required on public plazas and adjacent public streets. It is also fitted with a few landscape buffer areas that screen the surface parking lot.

Sincerely,
Zeidler BKDI Architects



Tom Cerajeski

Development Permit & Development Variance Permit DP17-0016 & DVP17-0019



This permit relates to land in the City of Kelowna municipally known as

700 Swordy Rd

and legally known as

PART OF LOT 2 OUTLINED RED ON PLAN A917 DISTRICT LOT 134 OSOYOOS DIVISION
YALE DISTRICT PLAN 2864

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

S.7.6 Minimum Landscape Buffers

To vary the minimum 3.0m landscape buffer from 3.0 metres to 2.0 metres.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: December 5th 2017

Decision By: CITY COUNCIL

Issued Date: **DATE**

Development Permit Area: Comprehensive Development Permit Area

File Manager: AC

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: P4 - Utilities

Future Land Use Designation: MXR – Mixed Use (Residential / Commercial) & MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: FORTISBC INC.
Address: 1290 Esplanade Box 130 V1R 4L4
City: Trail, BC
Phone: n/a

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$116,776.25
- OR
- b) An Irrevocable Letter of Credit in the amount of \$116,776.25

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**



SCHEDULE A & B

This forms part of application
DP17-0207 / DVP17-0208

Planner
Initials AC

City of
Kelowna
COMMUNITY PLANNING



300, 640 - 8 Avenue S.W.
Calgary, AB T2P 1G7
T +1 403 233 2525

RISE COMMERCIAL DEVELOPMENTS: THE SHORE

RISE COMMERCIAL DEVELOPMENTS

THE SHORE
650 SWORDY ROAD, KELOWNA BC
215-085

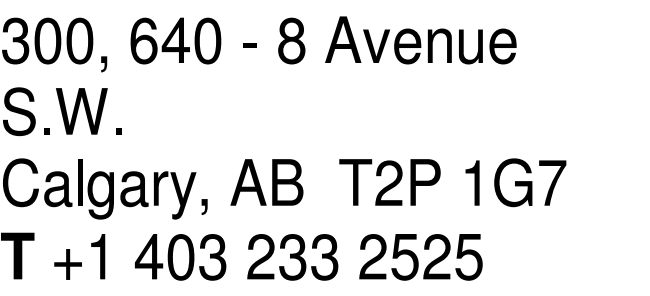
DATE: 2017-08-28

REISSUED FOR DP

ARCHITECTURAL

- DP0.1 SITE SURVEY
- DP0.2 SITE IMAGES
- DP1.1 SITE - PARKING PLAN
- DP1.2 SITE PLAN
- DP2.1 LEVEL 1 - FLOOR PLAN
- DP2.2 LEVEL 2 - PLAN
- DP2.2A LEVEL 2 - AREA PLAN
- DP2.3 LEVEL 3 - PLAN
- DP2.4 LEVEL 4-6 - PLAN
- DP2.5 ROOF PLAN
- DP3.1 BUILDING ELEVATIONS
- DP4.1 BUILDING SECTIONS





consultants

client

project title

THE SHORE

650 SWORDY ROAD RD
KELOWNA, BC

LOT A DISTRICT LOT 134 OSOYOOS
DIVISION YALE DISTRICT PLAN EPP65105

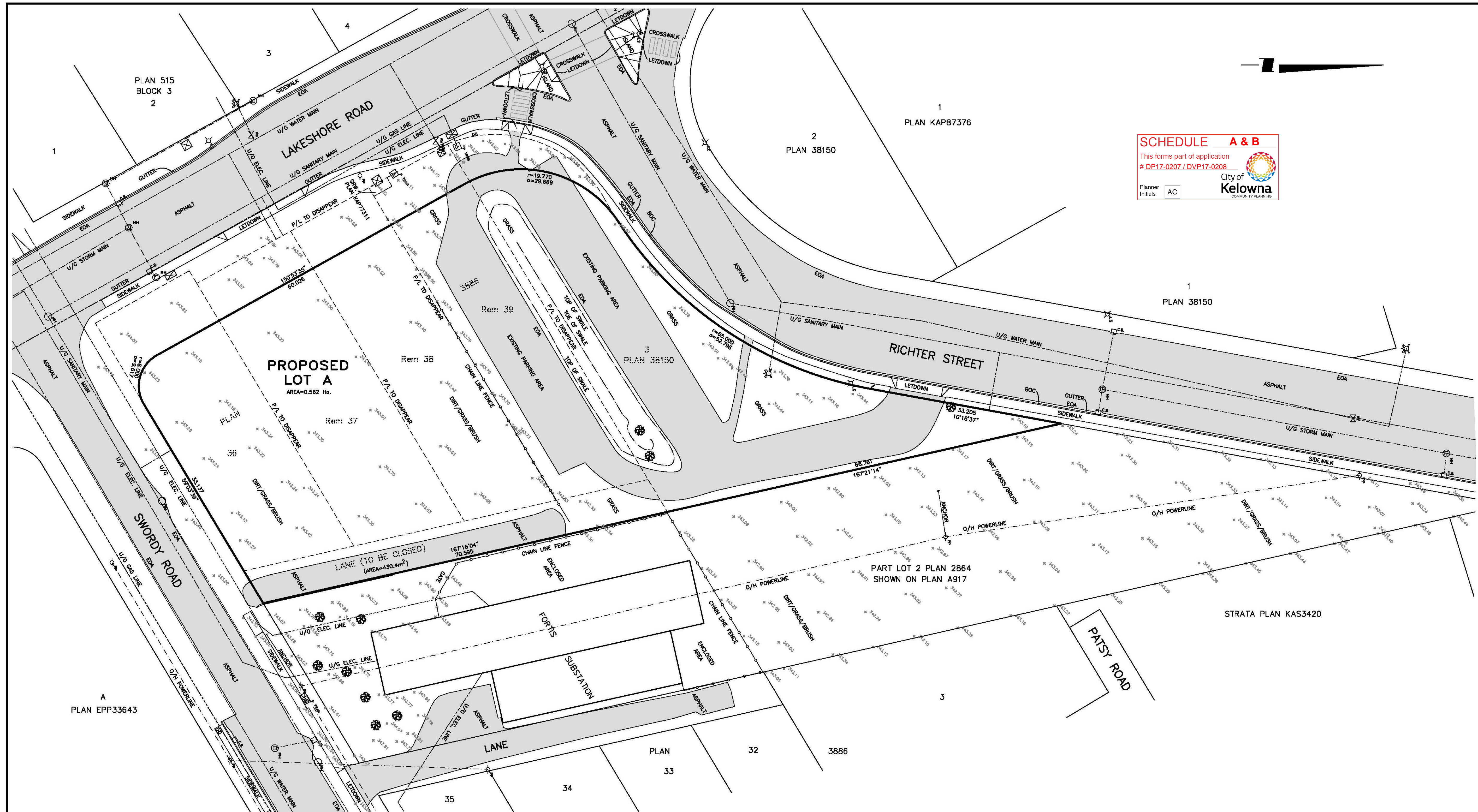
drawing title

SITE SURVEY

scale:	NTS
drawn by:	Author
checked by:	Checker
project no:	215-085
date issued:	2017-08-28

re-issue no: sheet no:

DP0.1



LEGAL DESCRIPTION	CLIENT	LEGEND				NOTES	JOB NO. 20623
LOT 36-39, PLAN 3886 LOT 3, PLAN 38150 PART LOT 2, SHOWN ON PLAN A917	RISE COMMERCIAL DEVELOPMENTS	<div><div><div>—————</div><div>—————</div><div>—————</div><div>—————</div><div>—————</div><div>—————</div><div>—————</div><div>—————</div><div>—————</div><div>—————</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div></div><div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓</div><div>⎓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PROJECT DATA

PROPOSED RISE COMMERCIAL DEVELOPMENT

MUNICIPAL ADDRESS

LOT A DISTRICT LOT 134 OSOYOOS DIVISION YALE DISTRICT PLAN EPP65105

EXISTING ZONING: C4

SITE AREA: 5,620m² (60,493 ft2), new property line

SITE AREA: 6,296m² (67,769 ft2)

for FAR calculation, including Road reserve

SETBACKS

FRONT YARD 0.0m

SIDE YARD 0.0m

REAR YARD 0.0m

GENERAL INFORMATION

BUILDING AREA

RETAIL OFFICE

RESIDENTIAL

COMMON

PARKING

TOTAL (gross)

Level 1 1,770

Level 2 1,540

Level 3 1,575

Level 4 1,625

Level 5 1,625

Level 6 1,625

575

375

390

340

340

340

1,110

2,555 m²

3,025 m²

1,965 m²

1,965 m²

1,965 m²

1,965 m²

TOTAL 1,720 1,540 6,450 2,410 1,110 13,440 m²

F.A.R. CALCULATION

FAR allowed base 1.30

FAR bonus parking within building 0.062

public plaza 0.18

FAR allowed 1.542

Building area for FAR calculation (net areas)

Retail + Office + Residential (net area) = 1,720 + 1,540 + 6,450 = 9,710m²

net area/site area = 9,710 m² / 6,296 m² = 1.542 FAR

SITE COVERAGE: 3,124 m² / 6,296 m² = 49.6%

BUILDING HEIGHT: 6 STOREYS = 22.07 m

PARKING REQUIRED

RETAIL - 1,770/100 x 1.75 = 31 STALLS

OFFICE - 1,540/100 X 1.75 = 27 STALLS

RESIDENTIAL 103 UNITS X 1 = 103 STALLS

TOTAL REQUIRED: 161 STALLS

PARKING PROVIDED

MAIN FLOOR / SITE 61 STALLS

2ND FLOOR 36 STALLS

ADJACENT PROPERTY 65 STALLS

TOTAL PARKING PROVIDED 162 STALLS

PARKING VARIANCE REQUIRED FOR 65 STALLS

ON ADJACENT PROPERTY

LOADING STALLS 2 PROVIDED

BICYCLE PARKING

RESIDENTIAL:

REQUIRED CLASS 1: 0.5 X 103 UNITS 52 STALLS

PROVIDED CLASS 1: 62 STALLS

REQUIRED CLASS 2: 0.1 X 103 10 STALLS

PROVIDED CLASS 2: 10 STALLS

COMMERCIAL:

REQUIRED CLASS 1: 0.2 X 3,310 m² /100 7 STALLS

PROVIDED CLASS 1: 8 STALLS

REQUIRED CLASS 2: 0.6 X 3,310 m² /100 20 STALLS

PROVIDED CLASS 2: 20 STALLS



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[illegible]

client



project title

THE SHORE
650 SWORDY ROAD RD
KELOWNA, BC

LOT A DISTRICT LOT 134 OSOYOOS
DIVISION YALE DISTRICT PLAN EPP65105

drawing title

SITE IMAGES

scale:	1 : 10
drawn by:	Author
checked by:	Checker
project no:	215-085
date issued:	2017-08-28

re-issue no:	sheet no:
	DP0.2

consultants

client

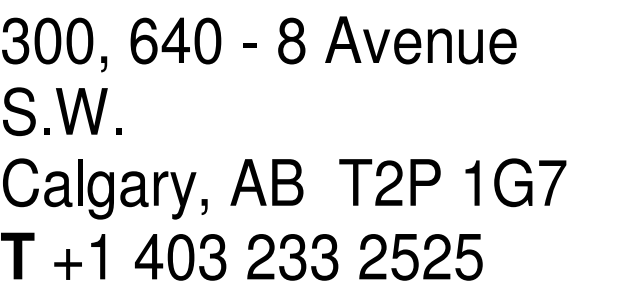
THE SHORE
650 SWORDY ROAD RD
KELOWNA, BC

drawing title

re-issue no: sheet no:

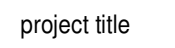
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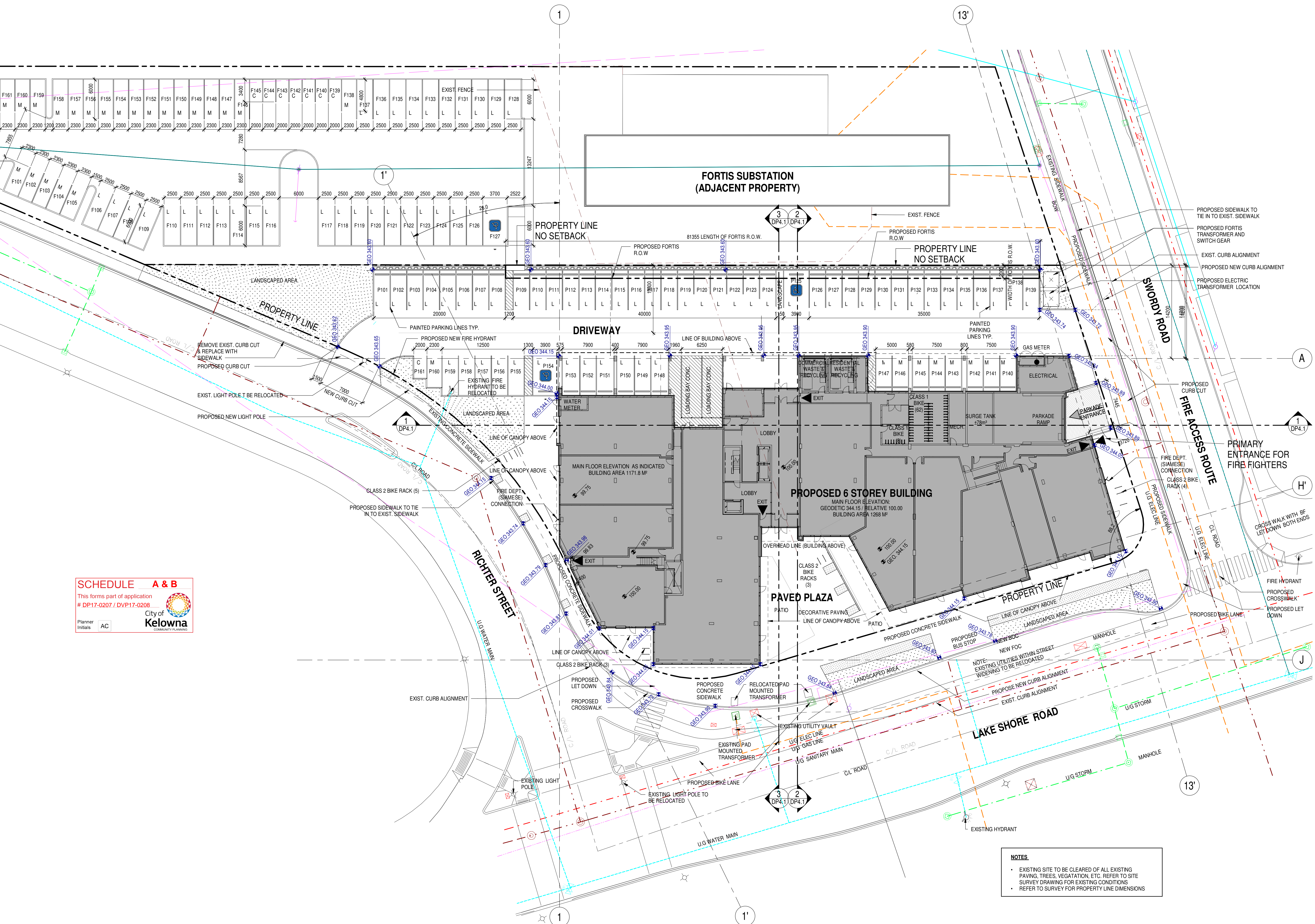
client



drawing title

DP1.2

C:\Revit Projects\215-085_TheShore_R17_Central_avford.rvt



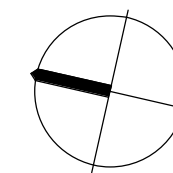
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Issue	No.	Date	Description
A	2016-06-21	ISSUED FOR REZONING, OCP & DP	
B	2017-02-03	REISSUED FOR DP	
C	2017-08-28	REISSUED FOR DP	

client



project title

THE SHORE
650 SWORDY ROAD RD
KELOWNA, BC

LOT A DISTRICT LOT 134 OSOYOOS
DIVISION YALE DISTRICT PLAN EPP65105

drawing title

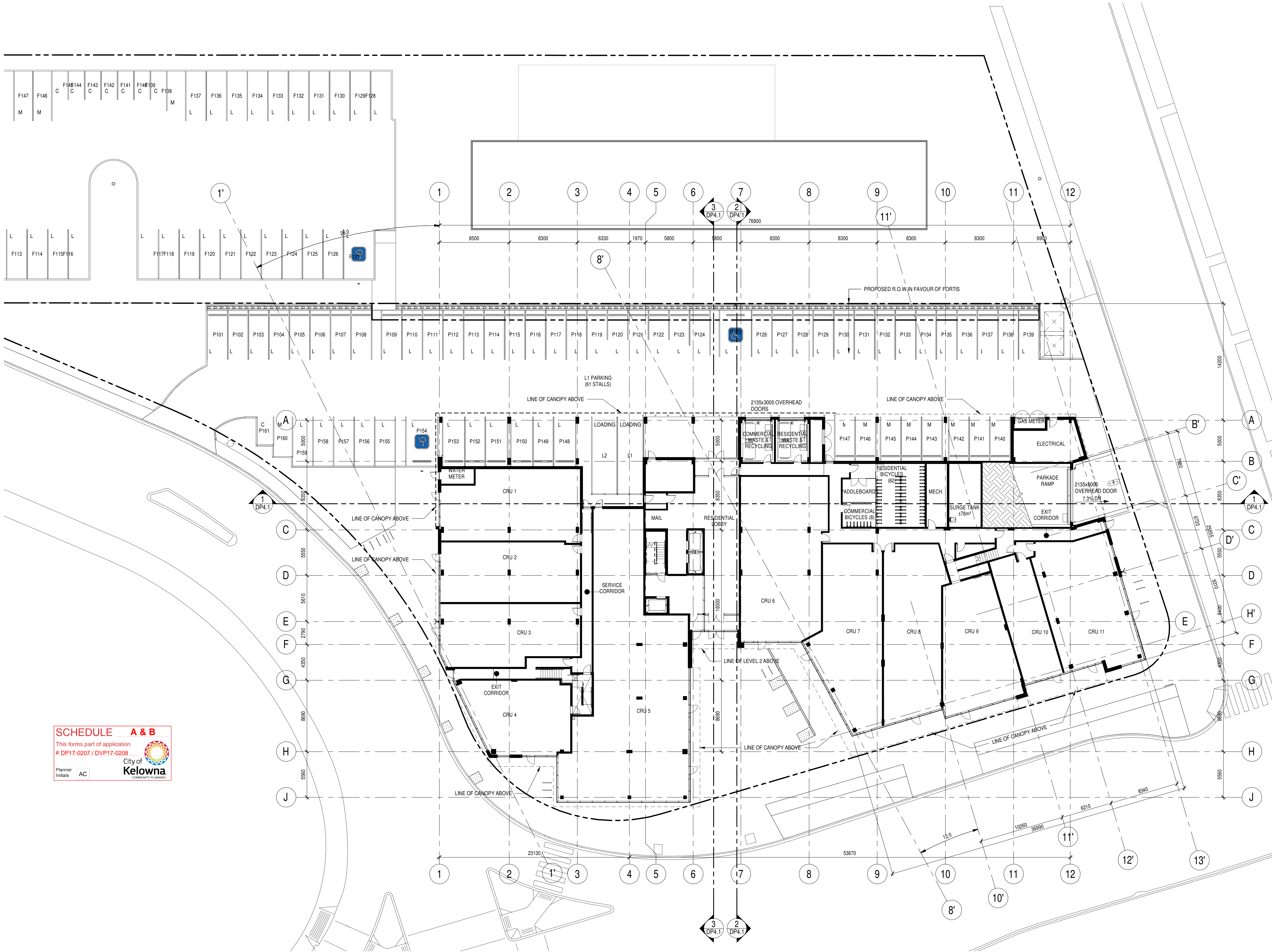
LEVEL 1 - FLOOR PLAN

scale: 1 : 200
drawn by: Author
checked by: Checker
project no: 215-085
date issued: 2017-08-28

re-issue no:

sheet no:

DP2.1



SCHEDULE A & B

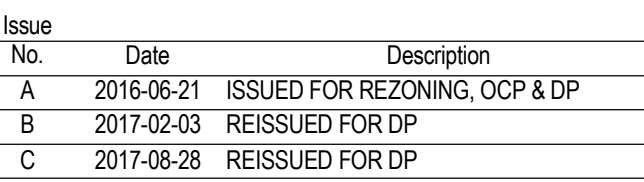
This forms part of application
DP17-0207 / DVP17-0208

Planner
Initials AC

City of Kelowna
COMMUNITY PLANNING

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RISE
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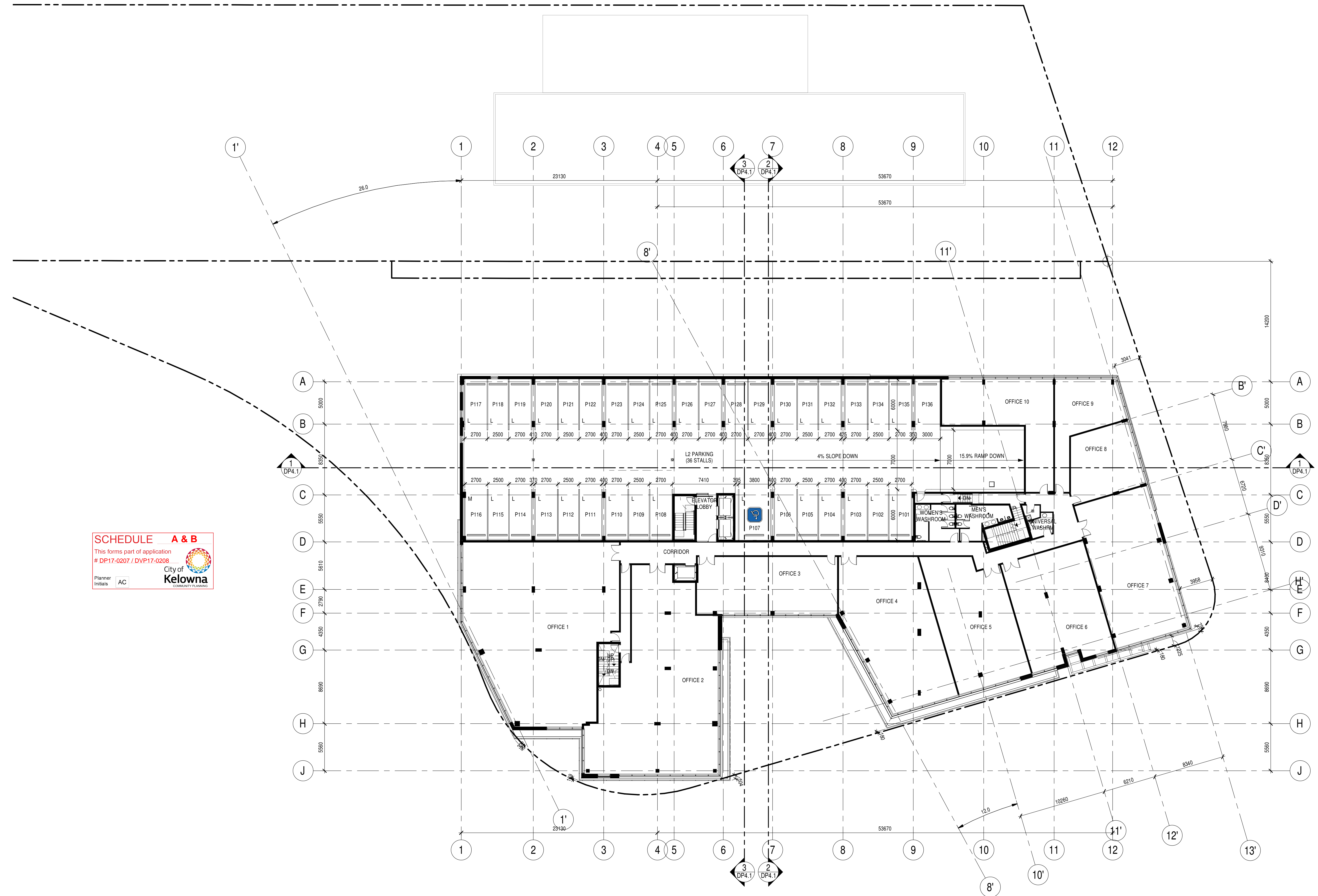
THE SHORE
650 SWORDY ROAD RD
KELOWNA, BC

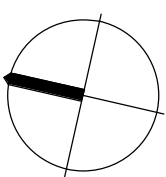
LOT A DISTRICT LOT 134 OSOYOOS
DIVISION YALE DISTRICT PLAN EPP65105

LEVEL 2 - PLAN

scale: 1 : 200
drawn by: Author
checked by: Checker
project no: 215-085
date issued: 2017-08-28

re-issue no: sheet no: DP2.2





Issue		
No.	Date	Description
A	2016-06-21	ISSUED FOR REZONING, OCP & DP
B	2017-02-03	REISSUED FOR DP
C	2017-08-28	REISSUED FOR DP



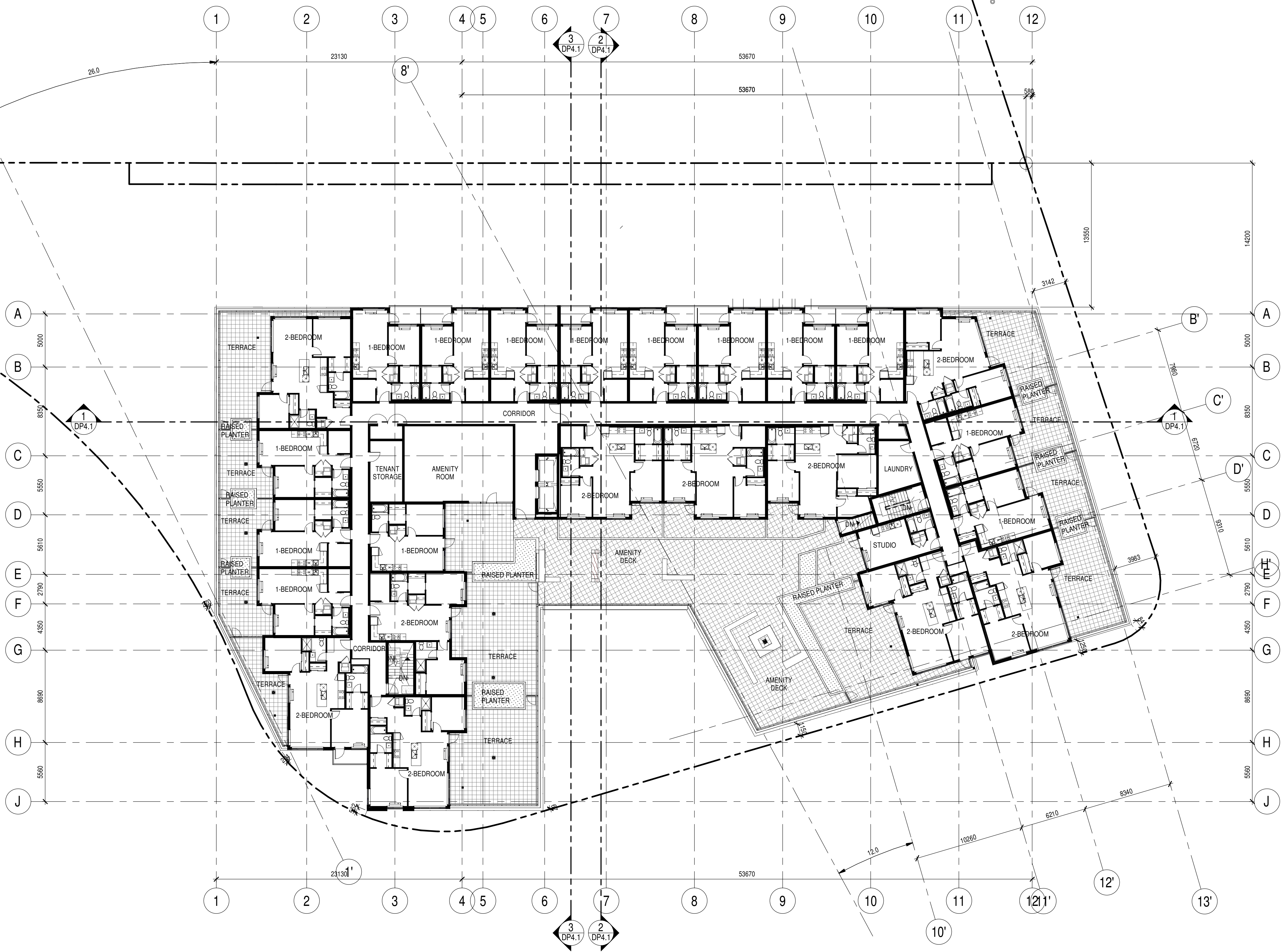
THE SHORE
650 SWORDY ROAD RD
KELOWNA, BC

LOT A DISTRICT LOT 134 OSOYOOS
DIVISION YALE DISTRICT PLAN EPP65105

LEVEL 3 - PLAN

scale: 1 : 200
drawn by: Author
checked by: Checker
project no: 215-085
date issued: 2017-08-28

SCHEDULE A & B
This forms part of application
DP17-0207 / DVP17-0208
Planner Initials AC
City of Kelowna
COMMUNITY PLANNING



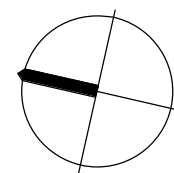
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Issue	No.	Date	Description
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C	2017-08-28	REISSUED FOR DP	

client



project title

THE SHORE
650 SWORDY ROAD RD
KELOWNA, BC

LOT A DISTRICT LOT 134 OSOYOOS
DIVISION YALE DISTRICT PLAN EPP65105

drawing title

LEVEL 4-6 - PLAN

scale: 1 : 200
drawn by: Author
checked by: Checker
project no: 215-085
date issued: 2017-08-28

re-issue no:

sheet no:

DP2.4

SCHEDULE A & B

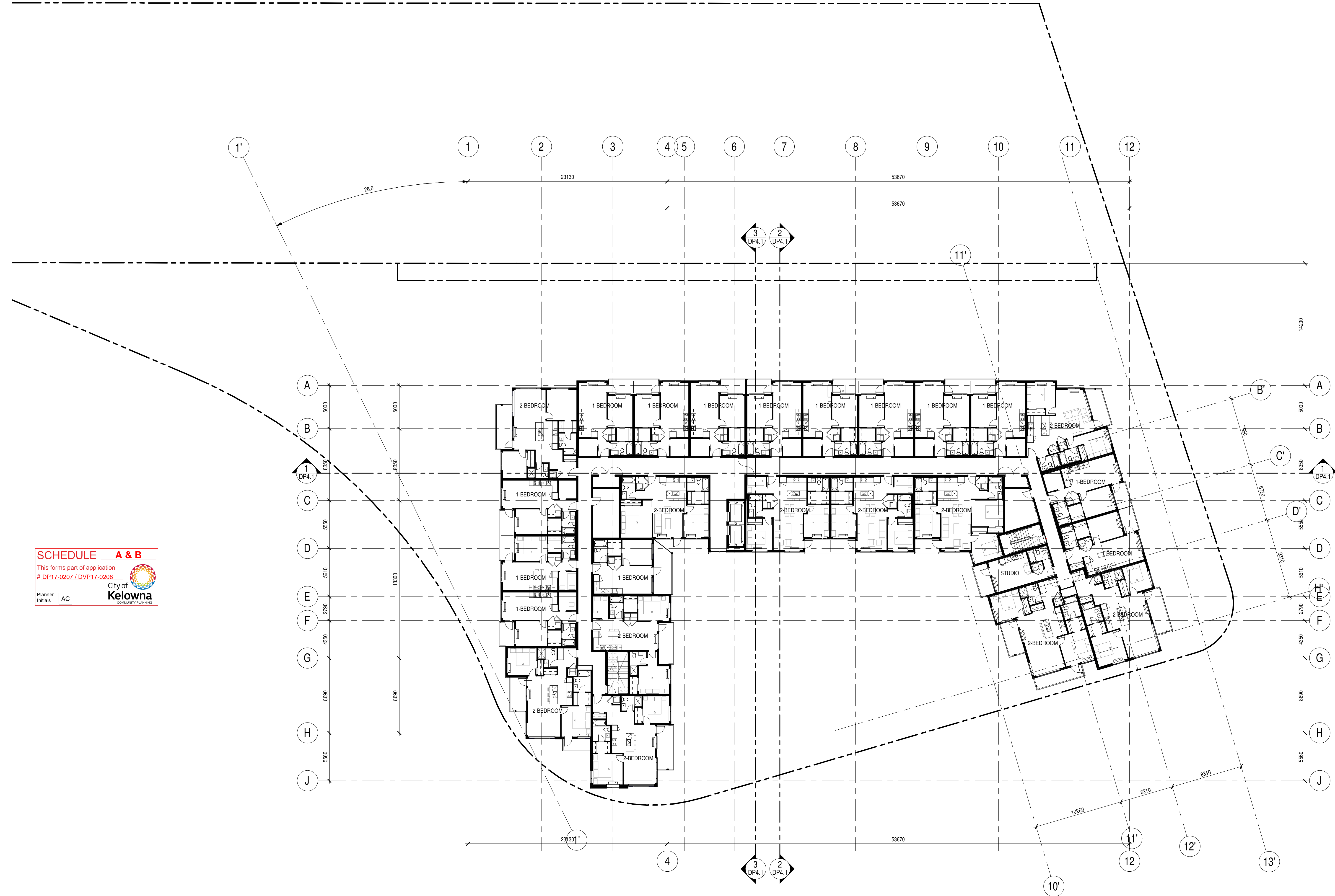
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DP17-0207 / DVP17-0208

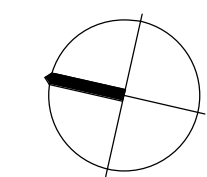
Planner
Initials

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City of
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COMMUNITY PLANNING





Issue		
No.	Date	Description
A	2016-06-21	ISSUED FOR REZONING, OCP & DP
B	2017-02-03	REISSUED FOR DP
C	2017-08-28	REISSUED FOR DP



THE SHORE

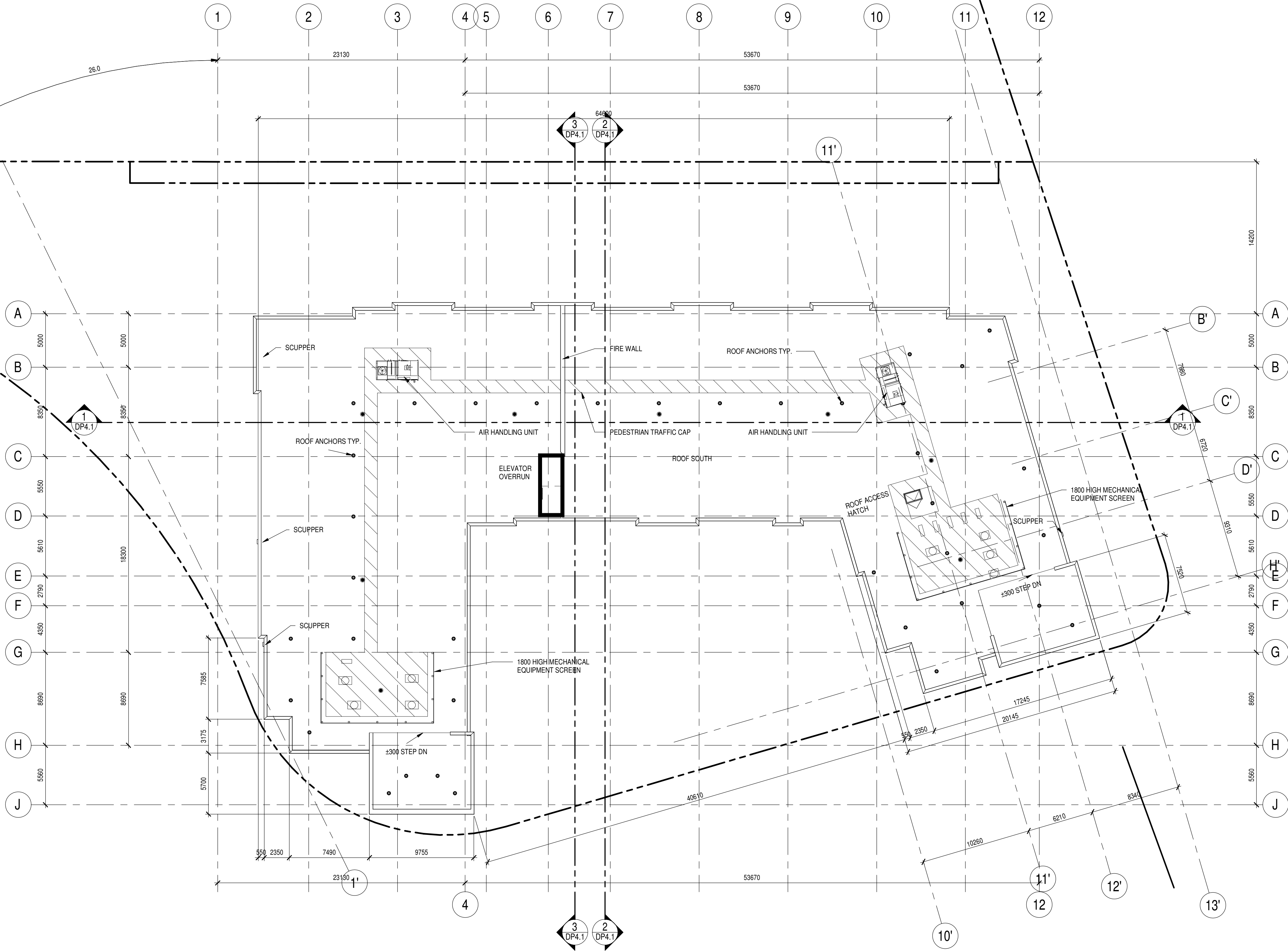
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KELOWNA, BC

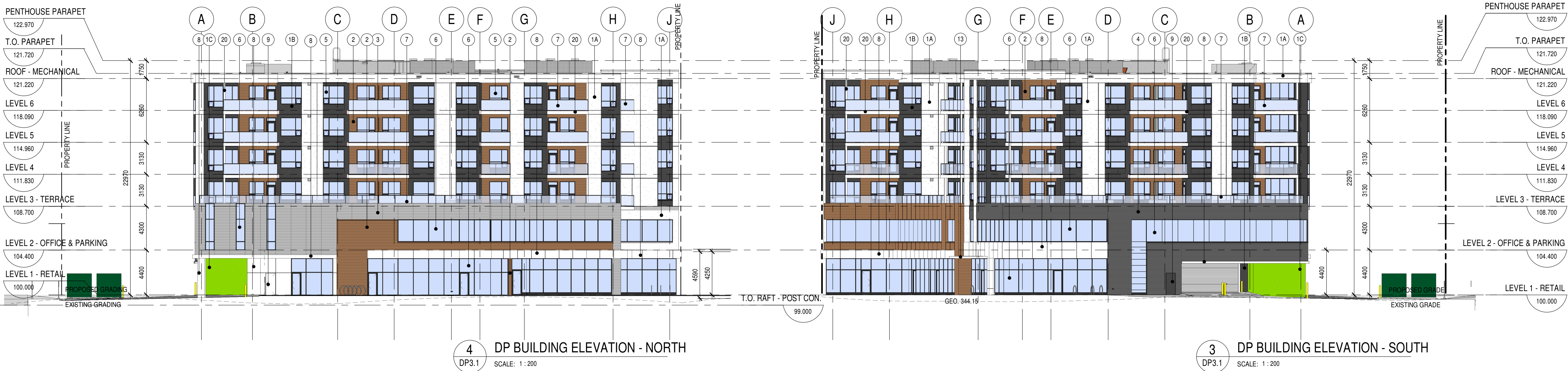
LOT A DISTRICT LOT 134 OSOYOOS
DIVISION YALE DISTRICT PLAN EPP65105

ROOF PLAN

scale:	1 : 200
drawn by:	Author
checked by:	Checker
project no:	215-085
date issued:	2017-08-28

SCHEDULE A & B
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DP17-0207 / DVP17-0208
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SCHEDULE A & B

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DP17-0207 / DVP17-0208

Planner Initials AC



City of Kelowna
COMMUNITY PLANNING

- BUILDING ELEVATION MATERIAL LEGEND
- 1- EXTERIOR INSULATION AND STUCCO SYSTEM (EIFS)

A WHITE

B DARK GREY

C GREEN

D MEDIUM GREY

2 WOOD APPARENT PANEL

3 EXTERIOR LIGHT GREY PANELIZED CLADDING

4 EXTERIOR DARK GREY PANELIZED CLADDING

5 VINYL WINOWS (BLACK) WITH LOW 'E' GLAZING

6 ALUMINUM CURTAIN WALL SYSETEM WITH LOW 'E' GLAZING

7 ALUMINUM GUARD RAIL C'WITH CLEAR GLAZING

8 COMPOSITE METAL PANEL WHITE

9 PAINTED HOLLOW METAL DOOR AND STEEL FRAME

10 PAINTED OVERHEAD DOORS

11 PREFINIHSED METAL FLASHING/ CAP FLASHING

12 DECORATIVE SCREEN WITH STEEL MESH

13 PAINTED STEEL CANOPY

20 FIBER CEMENT CLADDING



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	B	2017-02-03	REISSUED FOR DP
	C	2017-08-28	REISSUED FOR DP



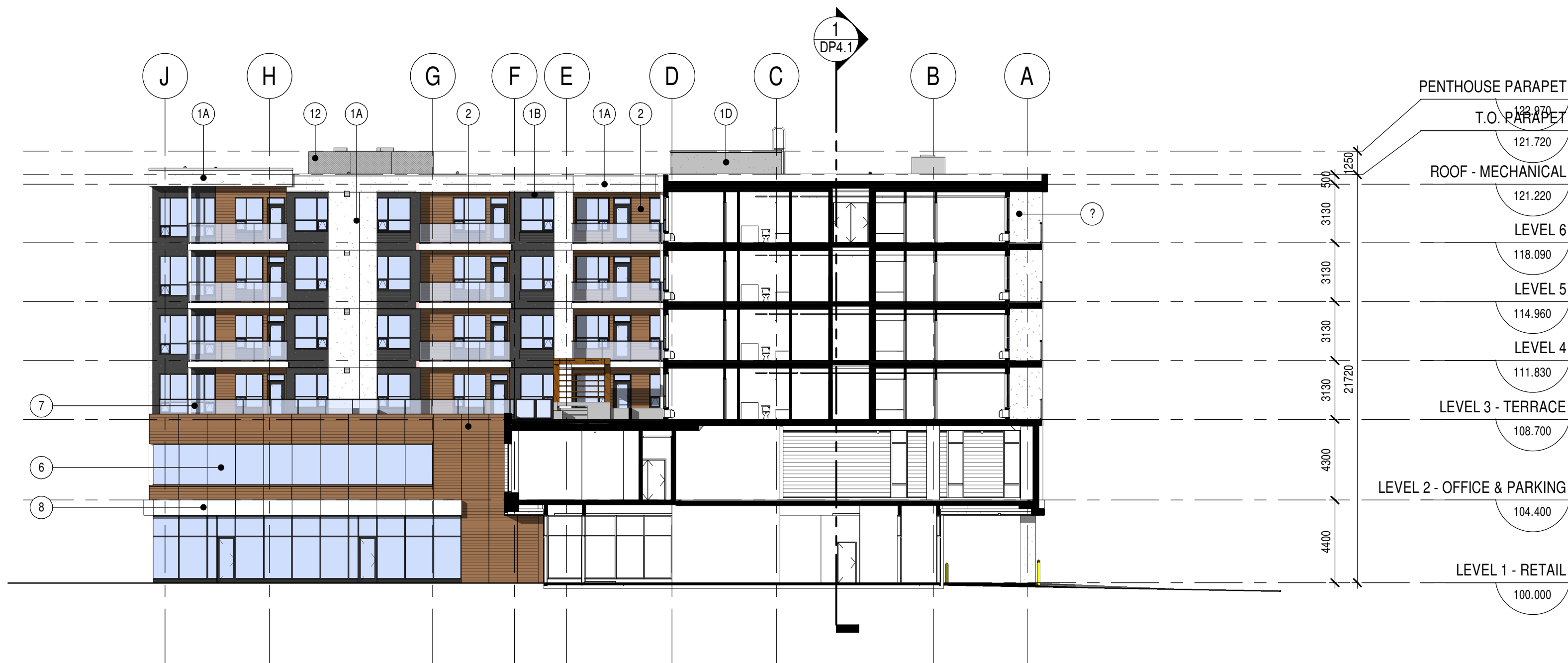
project title
THE SHORE
650 SWORDY ROAD RD
KELOWNA, BC
LOT A DISTRICT LOT 134 OSOYOOS
DIVISION YALE DISTRICT PLAN EPP65105

BUILDING ELEVATIONS

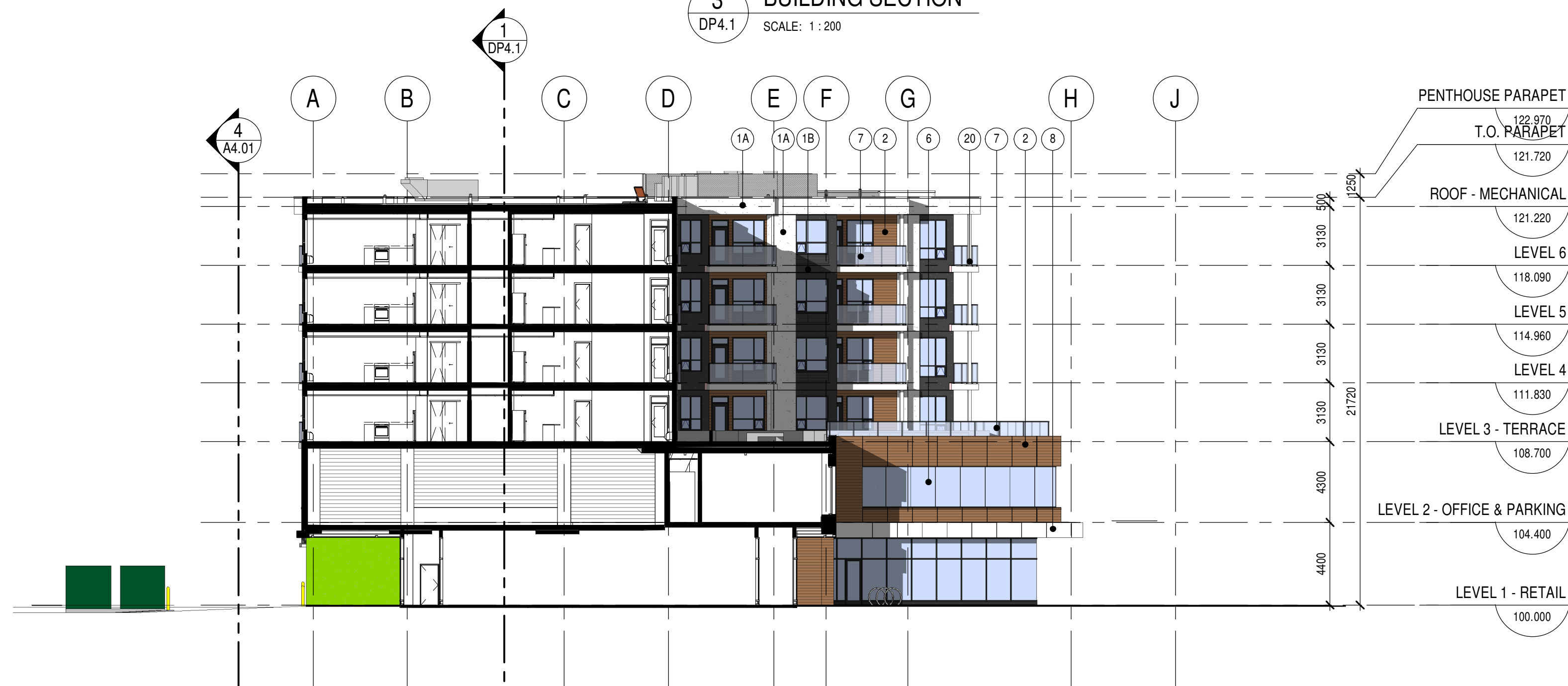
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project no: 215-085
date issued: 2017-08-28

re-issue no: sheet no:
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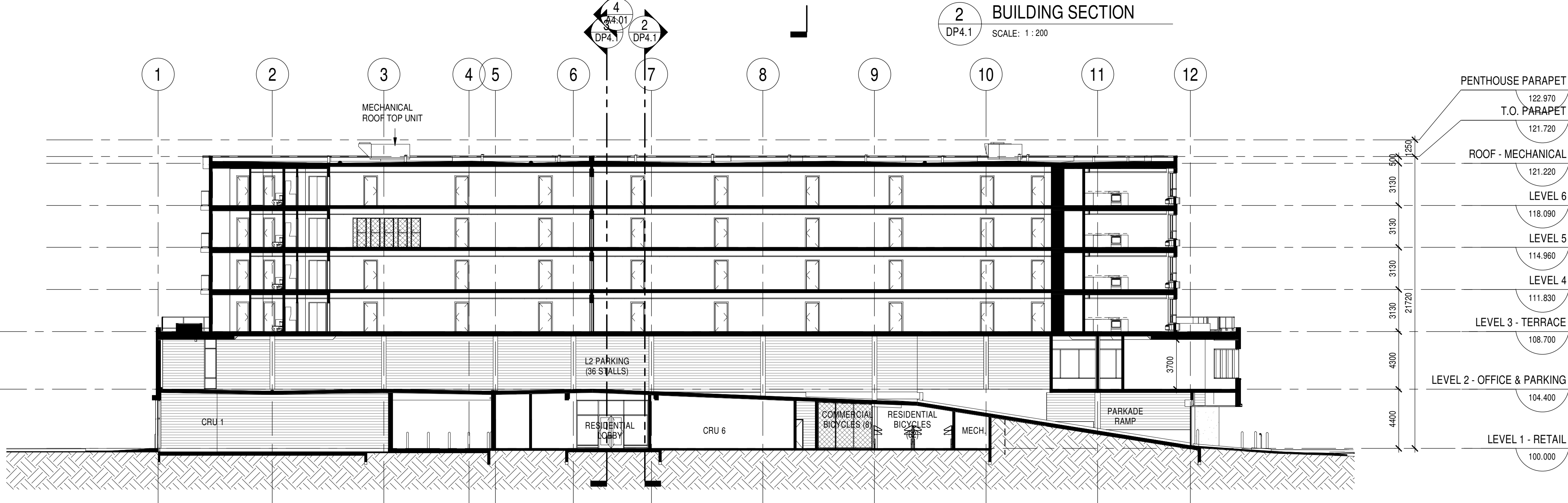
Issue	No.	Date	Description
A	2016-06-21	ISSUED FOR REZONING, OCP & DP	
B	2017-02-03	REISSUED FOR DP	
C	2017-08-28	REISSUED FOR DP	



3 BUILDING SECTION
DP4.1 SCALE: 1 : 200



2 BUILDING SECTION
DP4.1 SCALE: 1 : 200

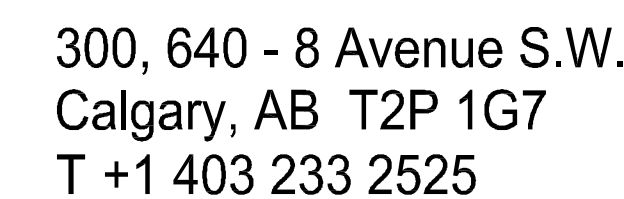


1 BUILDING SECTION
DP4.1 SCALE: 1 : 200

BUILDING ELEVATION MATERIAL LEGEND

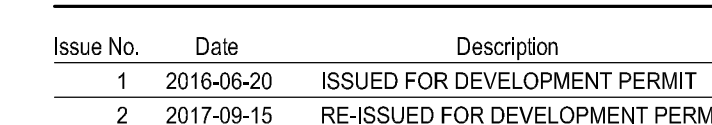
- EXTERIOR INSULATION AND STUCCO SYSTEM (EIFS)
 - WHITE
 - DARK GREY
 - GREEN
 - MEDIUM GREY
- WOOD APPARENT PANEL
- EXTERIOR LIGHT GREY PANELIZED CLADDING
- EXTERIOR DARK GREY PANELIZED CLADDING
- VINYL WINOWS (BLACK) WITH LOW 'E' GLAZING
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- COMPOSITE METAL PANEL WHITE
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- PREFINISHED METAL FLASHING/ CAP FLASHING
- DECORATIVE SCREEN WITH STEEL MESH
- PAINTED STEEL CANOPY
- FIBER CEMENT CLADDING

SCHEDULE A & B
This forms part of application
DP17-0207 / DVP17-0208
Planner Initials AC
City of Kelowna
COMMUNITY PLANNING



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client

RISE
COMMERCIAL
DEVELOPMENT

project title

THE SHORE

3441, 3451, 3461, 3471 LAKESHORE RD &
700 SWORDY RD
KELOWNA, BC

drawing title

LANDSCAPE PLAN

scale: 1 : 200

drawn by: AD

checked by: VK

project no: 215-085

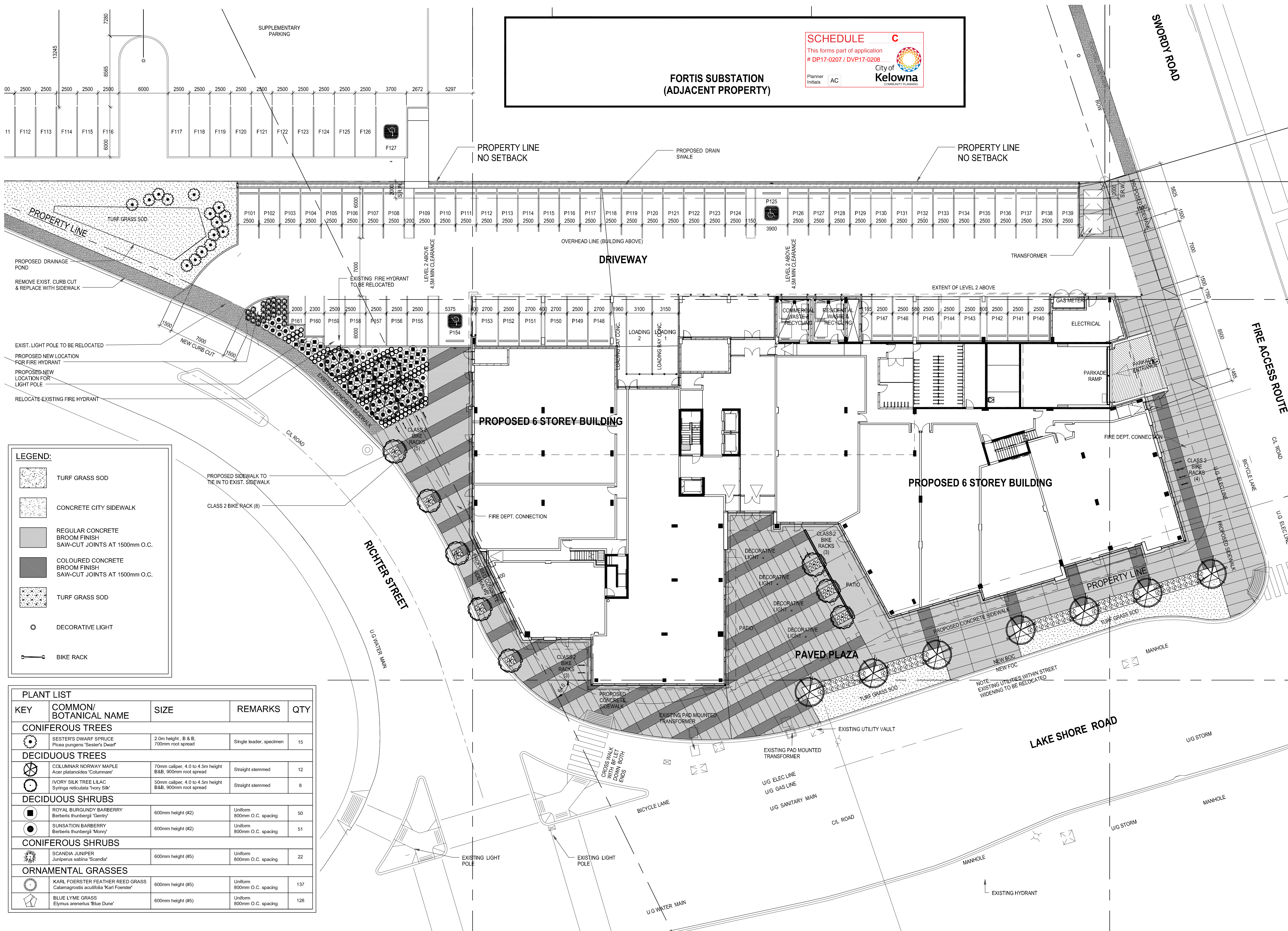
date issued: 2016-09-15

re-issue no:

sheet no:

2

DPL1.1




1
DPL1.1

LANDSCAPE PLAN

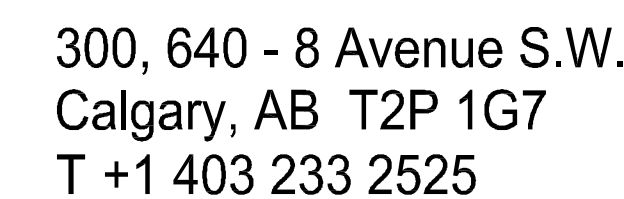
SCALE: 1:200



LEGEND:



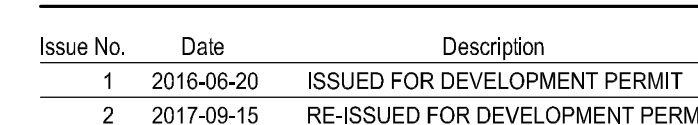
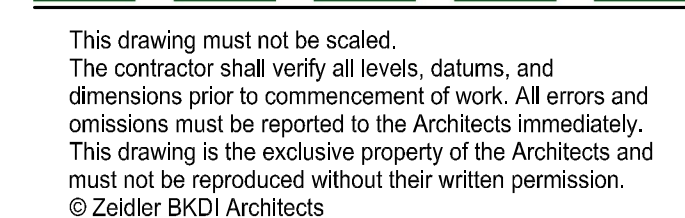
TECTURA GRANITEX
600 X 600 X 50mm PAVER
GTX-120 COLOUR



seal

consultants

MATRIX
LANDSCAPE ARCHITECTURE



project title

THE SHORE

3441, 3451, 3461, 3471 LAKESHORE RD &
700 SWORDY RD
KELOWNA, BC

drawing title

LANDSCAPE PLAN

scale: 1 : 200

drawn by: AD

checked by: VK

project no: 215-085

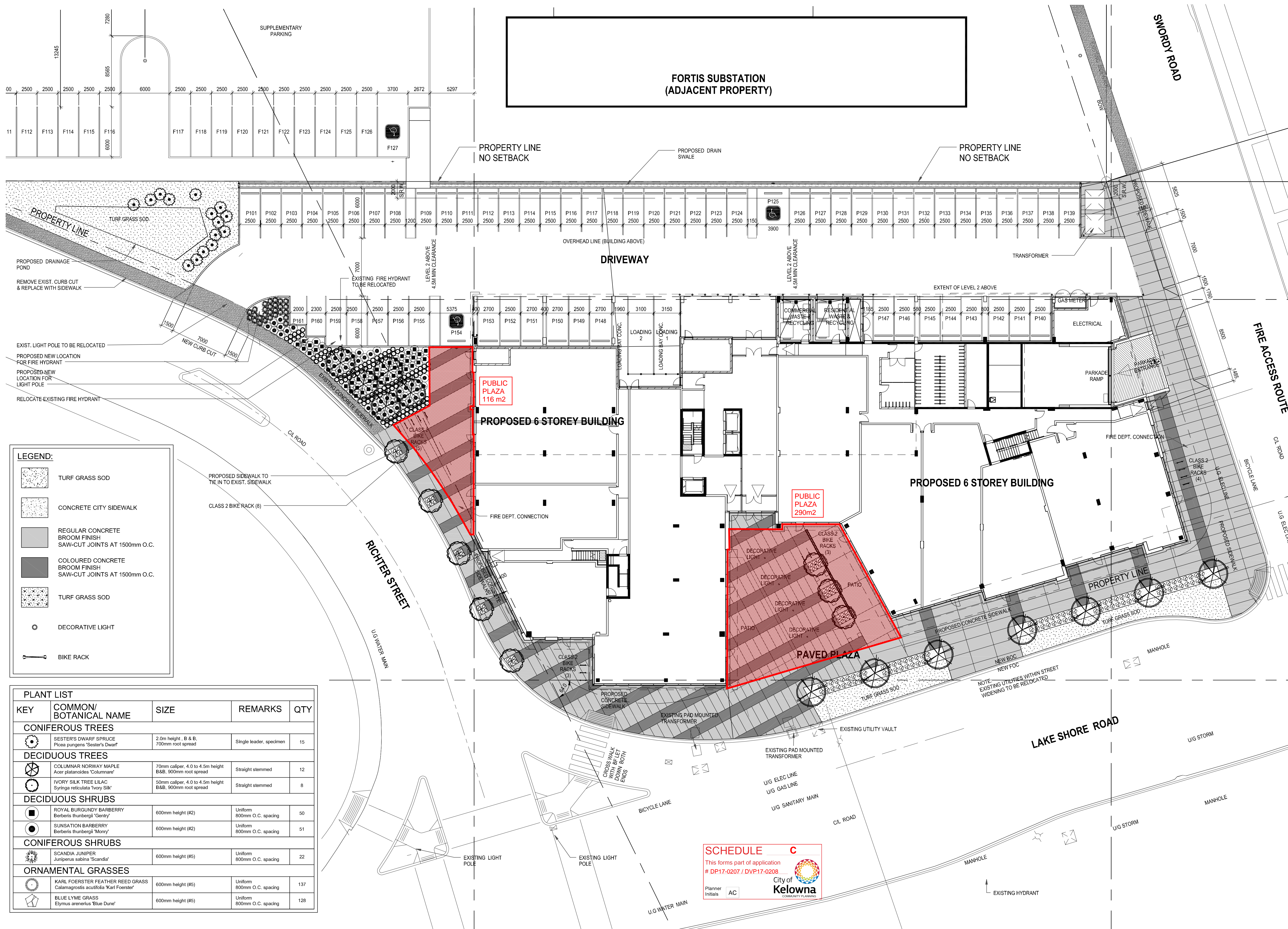
date issued: 2016-09-15

re-issue no:

sheet no:

2

DPL1.1



1 LANDSCAPE PLAN
DPL1.1 SCALE: 1:200

SCALE: 1:200

SCHEDULE C

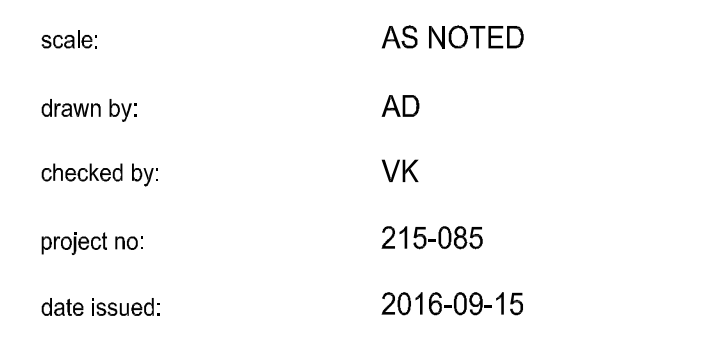
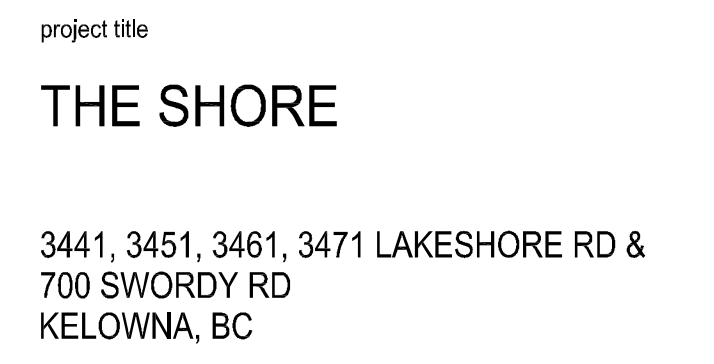
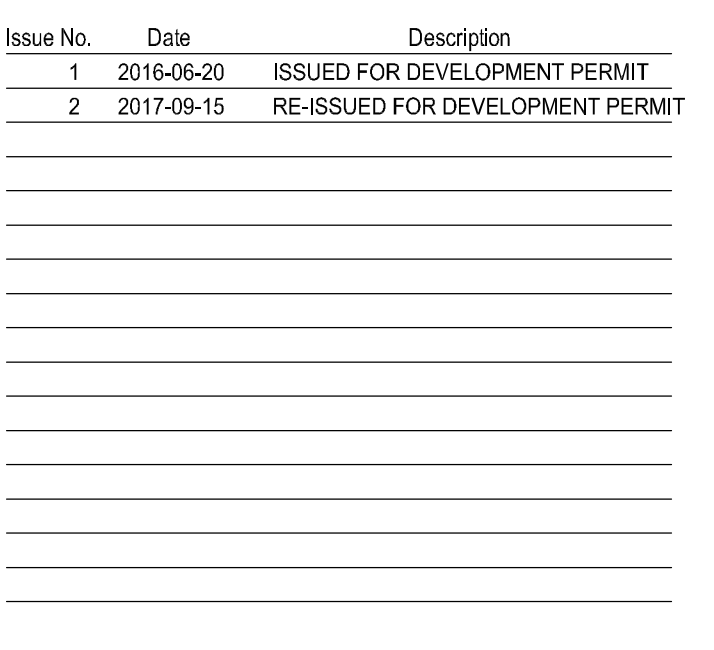
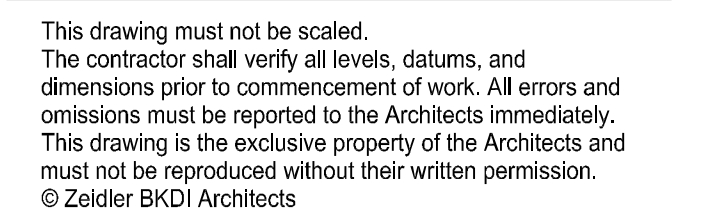
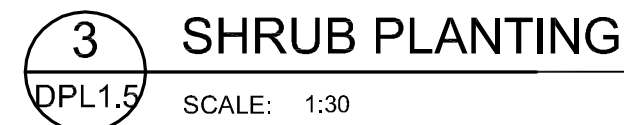
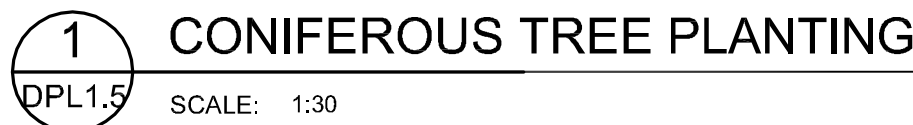
This forms part of application
 # **DP17-0207 / DVP17-0208**

Planner Initials **AC**

City of Kelowna
 COMMUNITY AFFAIRS

1. Do not allow air pockets to form when backfilling.
2. Stake tree outside of tree pit.
3. Bars should be hammered secure down to a minimum of 400mm into compacted subgrade.
4. If tree is in wire basket, cut strapping and pull burlap on basket from top 1/3 of rootball prior to backfilling.
5. Use rubber hose on all guy wires to protect tree at point of contact.
6. Prune dead and broken branches to maintain natural form of tree as directed by Landscape Architect.

11 GAUGE
GUY WIRE





The Shore _Landscape_updated 21 September 2017

PRELIMINARY OPINION OF PROBABLE COST - SOFT LANDSCAPE - NOT TO BE USED FOR CONSTRUCTION

ITEM	QUANTITY	UNIT	UNIT PRICE	TOTAL
GENERAL LANDSCAPING				
(Ground Level & Level 3 Amenity)				
Topsoil, imported, 150mm depth (Ground Level)	385	sq.m.	\$5.00	\$1,925.00
Shrub Bed Preparation, 600mm depth (Ground Level)	205	sq.m.	\$40.00	\$8,200.00
Wood Mulch, 75mm depth (Ground Level)	205	sq.m.	\$8.00	\$1,640.00
Sod (Ground Level)	385	sq.m.	\$6.00	\$2,310.00
Planter soil mix, depth varies, avg 900mm depth (Level 3 Amenity)	130	sq.m.	\$60.00	\$7,800.00
Subtotal				\$21,875.00
TREES AND SHRUBS				
Trees - Coniferous (Ground Level)				
Sester's Dwarf Spruce (1.5m height)	15	each	\$750.00	\$11,250.00
Trees - Deciduous (Ground Floor)				
Columnar Norway Maple (70mm caliper)	5	each	\$700.00	\$3,500.00
Ivory Silk Tree Lilac (50mm caliper)	3	each	\$700.00	\$5,600.00
Trees - Deciduous (Level 3 Amenity)				
Japanese Maple (50mm caliper)	3	each	\$700.00	\$2,100.00
Shrubs (Ground Floor)				
Royal Burgundy Barberry (#5 Container)	44	each	\$45.00	\$1,980.00
Sunsation Barberry (#2 Container)	42	each	\$45.00	\$1,890.00
Scandia Juniper (#5 Container)	15	each	\$45.00	\$675.00
Karl Foerster Feather Reed Grass (#5 Container)	117	each	\$45.00	\$5,265.00
Blue Lyme Grass (#5 Container)	18	each	\$45.00	\$810.00
Shrubs (Level 3 Amenity)				
Korean Feather Reed Grass (#5 Container)	26	each	\$45.00	\$1,170.00
Japanese Blood Grass (#5 Container)	46	each	\$45.00	\$2,070.00
Blue Oat Grass (#5 Container)	52	each	\$45.00	\$2,340.00
Northern Lights Tufted Grass (#5 Container)	79	each	\$45.00	\$3,555.00
Ice Dance Japanese Sedge (#5 Container)	141	each	\$45.00	\$6,345.00
Overdam Variegated Reed Grass (#5 Container)	49	each	\$45.00	\$2,205.00
Flame Grass (#5 Container)	48	each	\$45.00	\$2,160.00
Little Bunny Grass (#5 Container)	88	each	\$45.00	\$3,960.00
Beyond Blue Fescue (#5 Container)	100	each	\$45.00	\$4,500.00
Japanese Forest Grass (#5 Container)	75	each	\$45.00	\$3,375.00
Karl Foerster Feather Reed Grass (#5 Container)	36	each	\$45.00	\$1,620.00
Eldorado Feather Reed Grass (#5 Container)	25	each	\$45.00	\$1,125.00
Red Switch Grass (#5 Container)	6	each	\$45.00	\$270.00
Subtotal				\$67,765.00
LANDSCAPE FEATURES				
Irrigation		allowance		\$40,000.00
Subtotal				\$40,000.00
TOTAL				\$107,765.00

SCHEDULE

C

This forms part of application
DP17-0207 / DVP17-0208

Planner
Initials

AC

City of
Kelowna
COMMUNITY PLANNING


Development Permit & Development Variance Permit DP17-0207 & DVP17-0208



This permit relates to land in the City of Kelowna municipally known as

650 Swordy Rd

and legally known as

LOT A DISTRICT LOT 134 OSOYOOS DIVISION YALE DISTRICT PLAN EPP65105

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

Table 8.1 Parking Schedule

To vary the required parking from 161 parking stalls permitted to 97 parking stalls proposed.

S.14.4.5 (c) Development Regulations

To vary the maximum height from '15.0m or 4 stories' permitted '22.1m or 6 stories' proposed.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: December 5th 2017

Decision By: CITY COUNCIL

Issued Date: **DATE**

Development Permit Area: Comprehensive Development Permit Area

File Manager: AC

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: C4 – Urban Centre Commercial Future Land Use Designation: MXR – Mixed Use (Residential / Commercial)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 0984342 B.C. LTD., INC.NO. BC0984342
Address: 302-3975 LAKESHORE RD V1W 1V3
City: Kelowna, BC
Phone: n/a

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$134,706.25
- OR
- b) An Irrevocable Letter of Credit in the amount of \$134,706.25

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

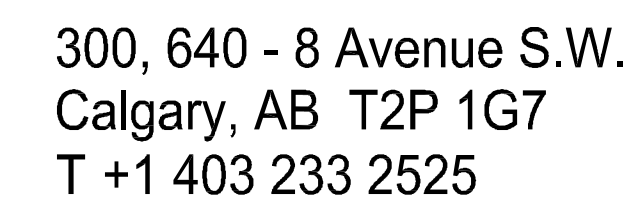
4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**



seal

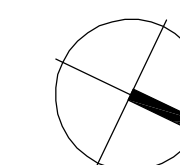
seal

NOT FOR CONSTRUCTION

consultants

MATRIX
LANDSCAPE ARCHITECTURE

This drawing must not be scaled.
The contractor shall verify all levels, datums, and dimensions prior to commencement of work. All errors and omissions must be reported to the Architects immediately. This drawing is the exclusive property of the Architects and must not be reproduced without their written permission.
© Zeldler BKDI Architects



Issue No.	Date	Description
1	2017-02-15	ISSUED FOR DEVELOPMENT PERMIT
2	2017-09-15	RE-ISSUED FOR DEVELOPMENT PERMIT
3	2017-09-22	UPDATES FOR DEVELOPMENT PERMIT

client

RISE
COMMERCIAL
DEVELOPMENT

project title

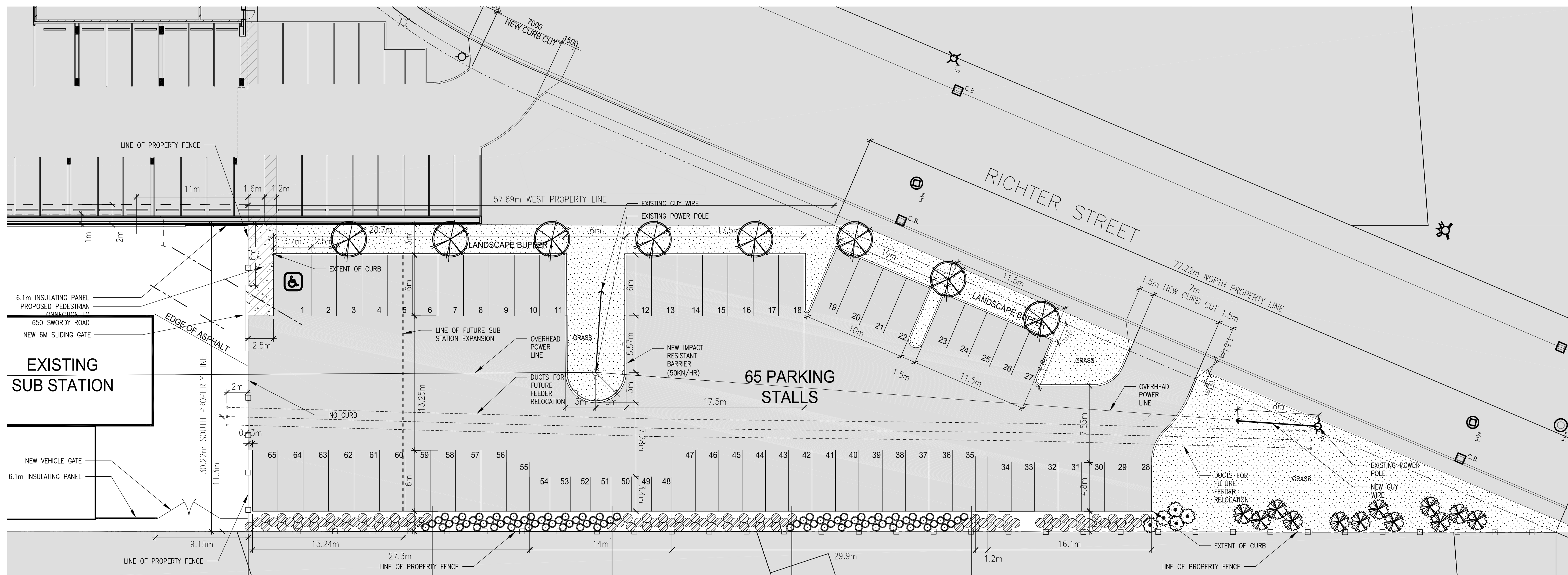
FORTIS PARKING LOT

3441, 3451, 3461, 3471 LAKESHORE RD &
700 SWORDY RD
KELOWNA, BC

drawing title






LANDSCAPE PLAN

scale:	1 : 200
drawn by:	SS/AD/PI
checked by:	TK
project no:	215-085
date issued:	2017-09-15
<hr/>	
re-issue no:	sheet no:
2	DPL1.1






1 LANDSCAPE PLAN

DPL1.1 SCALE: 1:200

PLANT LIST				
KEY	COMMON/ BOTANICAL NAME	SIZE	REMARKS	QTY
CONIFEROUS TREES				
	SESTER'S DWARF SPRUCE <i>Picea pungens</i> 'Sester's Dwarf'	2.0m height B & B 700mm root spread	Single leader, specimen	20
	MOUNTAIN PINE <i>Pinus uncinata</i>	3.0m height B & B 900mm root spread	Single leader, specimen	12
DECIDUOUS TREES				
	UPRIGHT MAPLE Acer—"Columnare"	900mm caliper, 4.0 to 4.5m height B&B, 900mm root spread	Straight stemmed	8
DECIDUOUS SHRUBS				
	PAINT THE TOWN RED EASY ELEGANCE <i>Rosa Ballwag</i>	800mm height (#2)	Uniform 900mm O.C. spacing	97
ORNAMENTAL GRASSES				
	KARL FOERSTER FEATHER REED GRASS <i>Calamagrostis acutifolia</i> 'Karl Foerster'	1200mm height (#5)	Uniform 800mm O.C. spacing	84

LEGEND:

	NOT PART OF THIS DEVELOPMENT PERMIT APPLICATION
	TURF GRASS SOD
	REGULAR CONCRETE BROOM FINISH SAW-CUT JOINTS AT 1500mm O.C.

SCHEDULE A, B, & C

This forms part of application
DP17-0016 / DVP17-0019

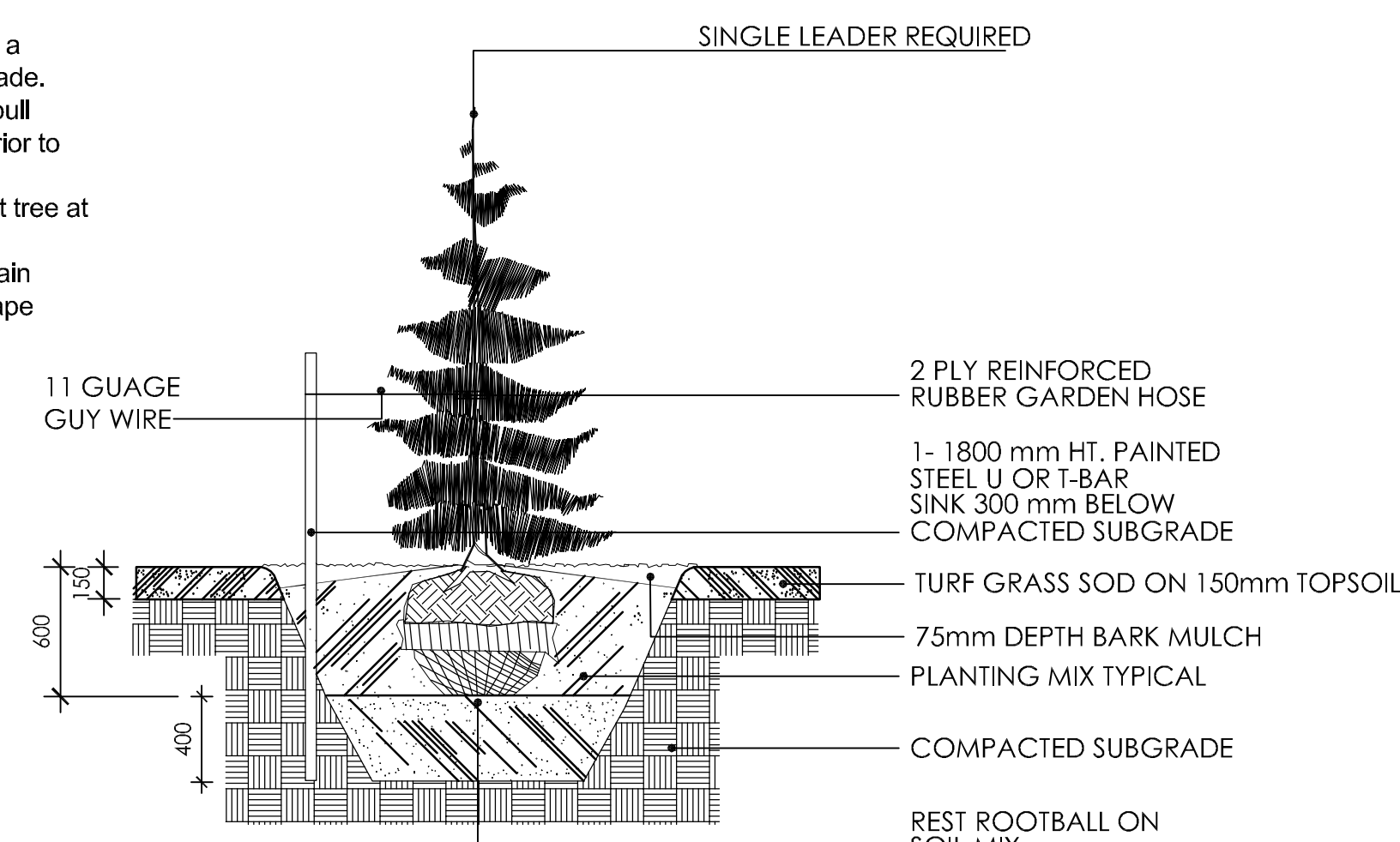
Planner Initials: AC

3



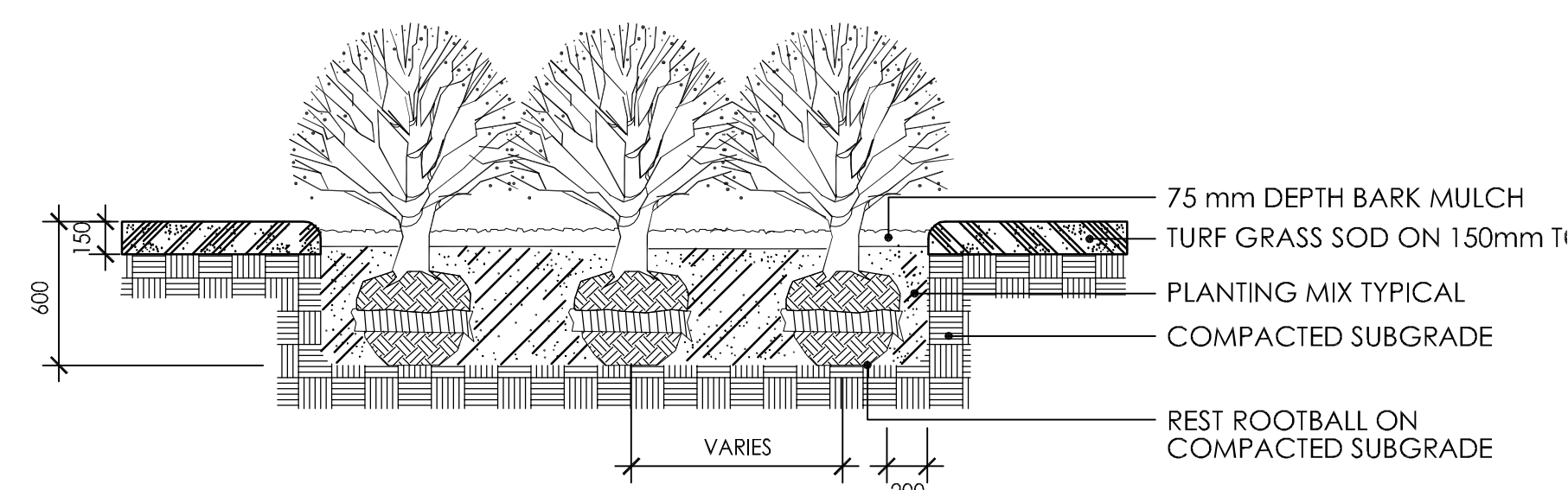
TREE PLANTING INSTRUCTIONS:

1. Do not allow air pockets to form when backfilling.
2. Stake tree outside of tree pit.
3. Bars should be hammered secure down to a minimum of 400mm into compacted subgrade.
4. If tree is in wire basket, cut strapping and pull burlap on basket from top 1/3 of rootball prior to backfilling.
5. Use rubber hose on all guy wires to protect tree at point of contact.
6. Prune dead and broken branches to maintain natural form of tree as directed by Landscape Architect.



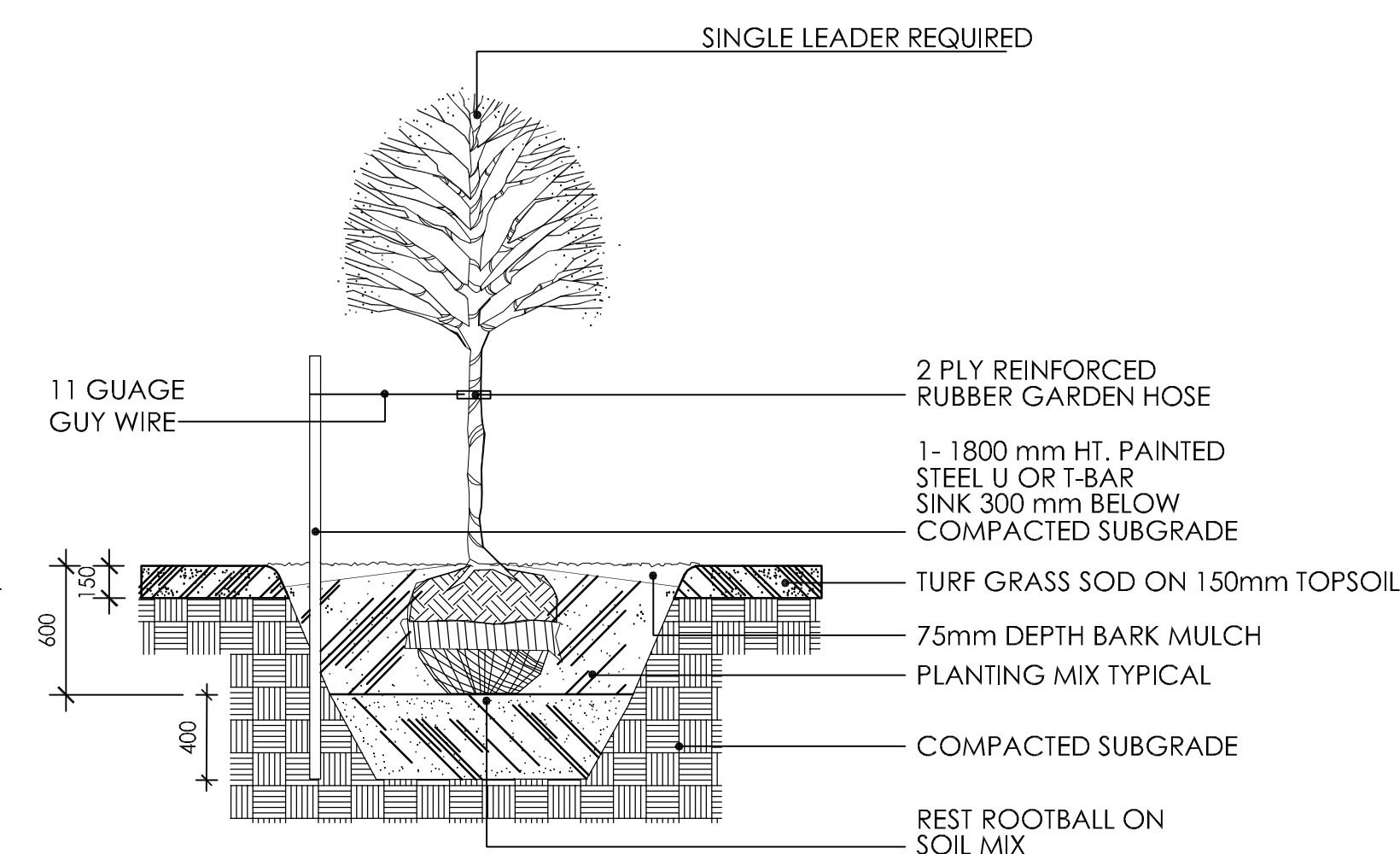
① CONIFEROUS TREE PLANTING

DPL1.1 SCALE: 1:30



3 SHRUB PLANTING

DPL1.1 SCALE: 1:30



② DECIDUOUS TREE PLANTING

DPL1.1 SCALE: 1:30

Fortis Parking Lot Landscape_updated 21 September 2017

PRELIMINARY SOFT LANDSCAPE COST ESTIMATE - NOT TO BE USED FOR CONSTRUCTION

ITEM	QUANTITY	UNIT	UNIT PRICE	TOTAL
GENERAL LANDSCAPING				
Topsoil, imported (150mm depth)	715	m²	\$5.00	\$3,575.00
Shrub Bed Preparation (600mm depth)	110	m²	\$40.00	\$4,400.00
Wood Mulch (75mm depth)	110	m²	\$8.00	\$880.00
Sod	715	m²	\$6.00	\$4,290.00
Subtotal				\$26,536.00
TREES AND SHRUBS				
Trees - Coniferous				
Sester's Dwarf Spruce (2.0m height)	20	each	\$450.00	\$9,000.00
Mountain Pine (3.0m height)	12	each	\$450.00	\$5,400.00
Trees - Deciduous				
Columnar Norway Maple (90mm caliper)	8	each	\$700.00	\$5,600.00
Shrubs /Ornamental Grasses				
Paint the Town Red Easy Elegance (5 gal.)	97	each	\$45.00	\$4,365.00
Feather Reed Grass	84	each	\$30.00	\$2,520.00
Subtotal				\$26,885.00
LANDSCAPE FEATURES				
Irrigation		allowance		\$40,000.00
Subtotal				\$40,000.00
TOTAL				\$93,421.00

SCHEDULE A, B, & C This forms part of application # DP17-0016 / DVP17-0019	 City of Kelowna <small>COMMUNITY PLANNING</small>
	<div style="border: 1px solid black; padding: 2px; display: inline-block;">AC</div> Planner Initials