

City of Kelowna

Regular Council Meeting

AGENDA



Tuesday, August 29, 2017
6:00 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order

2. Reaffirmation of Oath of Office

The Oath of Office will be read by Councillor Singh.

3. Confirmation of Minutes

Public Hearing - August 15, 2017
Regular Meeting - August 15, 2017

4. Bylaws Considered at Public Hearing

4.1 Bennett Rd and Paly Rd, LUCT16-0002 (BL11404) - Various Owners

1 - 5

To give Bylaw No. 11404 second and third readings and be adopted in order to terminate Land Use Contracts LUC76-1088 & LUC78-1024 and revert the 68 subject parcels within the McKinley Area of Kelowna to the underlying zone of RR3-Rural Residential 3.

4.2 Clifton Rd N, Lynn Ct, Tina Ct and Kyndree Ct, LUCT17-0002 (BL11451) - Various Owners

6 - 8

To give Bylaw No. 11451 second and third readings and be adopted in order to terminate Land Use Contract LUC76-1087 and revert the 22 subject properties to the underlying zone of RR3 - Rural Residential 3.

5. Notification of Meeting

The City Clerk will provide information as to how the following items on the Agenda were publicized.

6. Liquor License Application Reports

6.1 109-590 KLO Rd, LL17-0009 - Simple Pursuits Inc

9 - 17

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the liquor license application to come forward.

To consider a Liquor Primary License for a spa services establishment with an occupant load of 30 persons.

7. Development Permit and Development Variance Permit Reports

7.1 4646 McClure Rd, DVP16-0241 - Pillar West Developments Inc

18 - 36

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider a Staff recommendation to NOT issue a Development Variance Permit to vary the required lot width on 1 of 3 proposed lots being created through Subdivision, for Lot B from 16.50m required to 15.72m proposed.

7.2 614 Barnaby Rd, Z16-0070 (BL11417) - Brent Hancock and Whitney Smith

37 - 37

To adopt Bylaw No. 11417 in order to rezone the subject property from the RR1 - Rural Residential 1 zone to the RR1c - Rural Residential 1 with Carriage House zone.

7.3 614 Barnaby Rd, DVP16-0266 - Whitney Smith

38 - 48

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To vary the location of a carriage house from the rear yard to the front yard, to vary the upper floor of a carriage house from 75% of the carriage house footprint to 106%, and to vary the maximum floor area of a carriage house from 90m² to 106m² on the subject property.

7.4 3450 McKinley Beach Dr, DVP17-0104 - Acorn Resorts GP

49 - 61

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider a variance for 2 units within the 64 unit building to exceed the maximum unit size by 67 square metres.

- 7.5 **781 Bay Ave, DVP17-0128 - Folio Building Group Inc** 62 - 78
- City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.**
- To consider a Staff recommendation to NOT issue a Development Variance Permit to vary the side yard setback, carriage house roof height, and upper storey floor area of the proposed carriage houses on the subject properties.
- 7.6 **1187 Sunset Dr, BL11423 (Z16-0077) - Sunset Drive Properties Ltd** 79 - 79
- To adopt Bylaw No. 11423 in order to rezone the subject property from C4 - Urban Central Commercial zone to the C7 - Central Business Commercial zone.
- 7.7 **1187 Sunset Dr, DVP17-0157 & DP17-0154 - Sunset Drive Properties Ltd** 80 - 172
- City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.**
- The purpose of the Development Permit is to review the Form & Character of a 36 storey residential tower and a 29 storey residential tower that contains a three storey podium within the total height. The podium includes ground floor commercial, a third floor daycare space, and a three storey parkade. The purpose of the Development Variance Permit is to consider a variance to increase the maximum building height and reduce the north tower setback above the 16.0 metre mark.
- 7.8 **2126 Long St, HAP17-0009 - Nicholas and Patricia Balfour** 173 - 185
- City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.**
- To consider the form and character of an attached garage addition and to vary the rear yard setback from 7.5m required to 2.1m proposed on the subject property.

8. **Reminders**

9. **Termination**

CITY OF KELOWNA

BYLAW NO. 11404

Early Termination of Land Use Contracts LUC76-1088 and LUC78-1024 Bennett and Paly Roads

WHEREAS a land use contract (the "Land Use Contract LUC76-1088") is registered at the Kamloops Land Title Office under the charge numbers M27805 and M57875 against lands in the City of Kelowna particularly known and described as in Schedule "A" attached (the "Lands"), located at Bennett and Paly Road, Kelowna, B.C.;

AND WHEREAS a land use contract (the "Land Use Contract LUC78-1024") is registered at the Kamloops Land Title Office under the charge numbers N74841 against lands in the City of Kelowna particularly known and described as in Schedule "B" attached (the "Lands"), located at Bennett and Paly Road, Kelowna, B.C.;

AND WHEREAS Section 548 of the *Local Government Act* provides that a local government may impose an early termination to land use contracts registered in a Land Title Office that applies to land within the jurisdiction of the local government;

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. This Bylaw may be cited for all purposes as "Early Termination of Land Use Contracts LUC76-1088 and LUC78-1024 Bylaw";
2. Land Use Contracts LUC76-1088 and LUC78-1024 are hereby terminated as of the date of adoption; and
3. This bylaw will come into force and effect one year after the adoption date.

Read a first time by the Municipal Council this 24th day of July, 2017.

Considered at a Public Hearing this

Read a second and third time by Municipal Council on the

Adopted by the Municipal Council this

Mayor

City Clerk

Schedule A: LUC76-1088						
No.	Legal Description	Address	Parcel Identifier Number	Charge Number	Land Use Contract	Underlying Zone
1	Lot B Section 17 Township 23 ODYD Plan KAP55322	2060 Bennett Rd	023-145-471	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
2	Lot A District Lot 17 Township 23 ODYD Plan KAP55322	2070 Bennett Rd	023-145-463	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
3	Lot 6 Section 17 Township 23 ODYD Plan 33033	2106 Bennett Rd	003-265-951	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
4	Lot 14 Section 17 Township 23 ODYD Plan 31701	2105 Paly Rd	002-288-800	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
5	Lot 27 Section 17 Township 23 ODYD Plan 31701	2160 Paly Rd	002-288-915	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
6	Lot 12 Section 17 Township 23 ODYD Plan 33033	2030 Bennett Rd	002-289-318	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
7	Lot 11 Section 17 Township 23 ODYD Plan 33033	2056 Bennett Rd	002-289-296	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
8	Lot 10 Section 17 Township 23 ODYD Plan 31701	2145 Paly Rd	003-614-832	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
9	Lot 11 Section 17 Township 23 ODYD Plan 31701	2135 Paly Rd	002-033-810	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
10	Lot 18 Section 17 Township 23 ODYD Plan 31701	1970 Paly Rd	001-978-497	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
11	Lot 19 Section 17 Township 23 ODYD Plan 31701	1980 Paly Rd	002-288-826	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
12	Lot 20 Section 17 Township 23 ODYD Plan 31701	1990 Paly Rd	002-288-834	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
13	Lot 25 Section 17 Township 23 ODYD Plan 31701	2040 Paly Rd	002-288-885	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
14	Lot 26 Section 17 Township 23 ODYD Plan 31701	2155 Paly Rd	002-288-893	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
15	Lot 9 Section 17 Township 23 ODYD Plan 31701	2157 Paly Rd	003-614-794	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
16	Lot 13 Section 17 Township 23 ODYD Plan 31701	2115 Paly Rd	003-614-883	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
17	Lot 15 Section 17 Township 23 ODYD Plan 31701	1940 Paly Rd	003-614-905	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
18	Lot 16 Section 17 Township 23 ODYD Plan 31701	1950 Paly Rd	003-614-913	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
19	Lot 21 Section 17 Township 23 ODYD Plan 31701	2000 Paly Rd	002-288-842	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
20	Lot 22 Section 17 Township 23 ODYD Plan 31701	2010 Paly Rd	001-975-994	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
21	Lot 23 Section 17 Township 23 ODYD Plan 31701	2020 Paly Rd	002-288-851	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
22	Lot 24 Section 17 Township 23 ODYD Plan 31701	2030 Paly Rd	002-288-877	N74841	LUC76-1088	RR3 - Rural Residential 3 zone

Schedule A: LUC76-1088

Legal Description		Address	Parcel Identifier Number	Charge Number	Land Use Contract	Underlying Zone
23	Lot 6 Section 17 Township 23 ODYD Plan 31701	2179 Paly Rd	003-614-646	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
24	Lot 7 Section 17 Township 23 ODYD Plan 31701	2175 Paly Rd	003-614-671	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
25	Lot 8 Section 17 Township 23 ODYD Plan 31701	2165 Paly Rd	003-614-689	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
26	Lot 41 Section 17 Township 23 ODYD Plan 31701	1928 Paly Rd	002-289-075	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
27	Lot 39 Section 17 Township 23 ODYD Plan 31701	2015 Bennett Rd	002-289-041	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
28	Lot 38 Section 17 Township 23 ODYD Plan 31701	2025 Bennett Rd	002-289-016	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
29	Lot 37 Section 17 Township 23 ODYD Plan 31701	2035 Bennett Rd	003-614-948	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
30	Lot 36 Section 17 Township 23 ODYD Plan 31701	2045 Bennett Rd	002-289-008	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
31	Lot 35 Section 17 Township 23 ODYD Plan 31701	2055 Bennett Rd	001-762-893	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
32	Lot 44 Section 17 Township 23 ODYD Plan 31701	1910 Paly Rd	003-614-999	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
33	Lot 43 Section 17 Township 23 ODYD Plan 31701	1916 Paly Rd	003-614-964	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
34	Lot 42 Section 17 Township 23 ODYD Plan 31701	1922 Paly Rd	002-289-091	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
35	Lot 29 Section 17 Township 23 ODYD Plan 31701	2125 Bennett Rd	002-288-940	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
36	Lot 28 Section 17 Township 23 ODYD Plan 31701	2135 Bennett Rd	002-288-923	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
37	Lot 4 Section 17 Township 23 ODYD Plan 31701	2195 Bennett Rd	002-288-796	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
38	Lot 34 Section 17 Township 23 ODYD Plan 31701	2065 Bennett Rd	003-614-921	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
39	Lot 33 Section 17 Township 23 ODYD Plan 31701	2085 Bennett Rd	002-288-991	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
40	Lot 32 Section 17 Township 23 ODYD Plan 31701	2095 Bennett Rd	002-288-982	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
41	Lot 4 Section 17 Township 23 ODYD Plan 33033	2120 Bennett Rd	002-289-253	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
42	Lot 15 Section 17 Township 23 ODYD Plan 33033	2000 Bennett Rd	002-289-351	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
43	Lot 3 Section 17 Township 23 ODYD Plan 33033	2130 Bennett Rd	002-289-245	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
44	Lot 20 Section 17 Township 23 ODYD Plan 33033	1950 Bennett Rd	002-289-431	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
45	Lot 21 Section 17 Township 23 ODYD Plan 33033	1942 Bennett Rd	002-289-458	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
46	Lot 19 Section 17 Township 23 ODYD Plan 33033	1960 Bennett Rd	002-289-423	N74841	LUC76-1088	RR3 - Rural Residential 3 zone

Schedule A: LUC76-1088

Legal Description		Address	Parcel Identifier Number	Charge Number	Land Use Contract	Underlying Zone
47	Lot 2 Section 20 Township 23 ODYD Plan 31701	2225 Bennett Rd	003-614-565	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
48	Lot 1 Section 20 Township 23 ODYD Plan 31701	2245 Bennett Rd	001-869-655	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
49	Lot 30 Section 17 Township 23 ODYD Plan 31701	2115 Bennett Rd	002-288-958	N74841	LUC76-1088	RR3 - Rural Residential 3 zone
50	Lot 2 Section 17 Township 23 ODYD Plan 33033	2140 Bennett Rd	002-289-229	N74841	LUC76-1088	RR3 - Rural Residential 3 zone

Schedule B: LU78-1024

Legal Description		Address	Parcel Identifier Number	Charge Number	Land Use Contract	Underlying Zone
1	Lot 14 Section 17 Township 23 ODYD Plan 33033	2010 Bennett Rd	002-289-334	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
2	Lot 5 Section 17 Township 23 ODYD Plan 33033	2110 Bennett Rd	001-730-355	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
3	Lot 17 Section 17 Township 23 ODYD Plan 33033	1980 Bennett Rd	002-289-393	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
4	Lot 7 Section 17 Township 23 ODYD Plan 33033	2090 Bennett Rd	003-265-978	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
5	Lot 18 Section 17 Township 23 ODYD Plan 33033	1970 Bennett Rd	002-289-415	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
6	Lot 8 Section 17 Township 23 ODYD Plan 33033	2080 Bennett Rd	003-265-994	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
7	Lot 3 Section 20 Township 23 ODYD Plan 31701	2201 Bennett Rd	002-288-761	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
8	Lot 13 Section 17 Township 23 ODYD Plan 33033	2020 Bennett Rd	002-289-326	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
9	Lot 1 Section 17 Township 23 ODYD Plan 33033 Except Plan KAP51756	2150 Bennett Rd	002-289-202	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
10	Lot 22 Section 17 Township 23 ODYD Plan 33033	1938 Bennett Rd	002-289-466	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
11	Lot 23 Section 17 Township 23 ODYD Plan 33033	2034 Bennett Rd	003-266-010	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
12	Lot 16 Section 17 Township 23 ODYD Plan 33033	1990 Bennett Rd	002-289-377	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
13	Lot 12 Section 17 Township 23 ODYD Plan 31701	2125 Paly Rd	003-614-867	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
14	Lot 47 Section 17 Township 23 ODYD Plan 31701	1935 Bennett Rd	003-615-049	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
15	Lot 45 Section 17 Township 23 ODYD Plan 31701	1904 Paly Rd	003-615-014	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
16	Lot 40 Section 17 Township 23 ODYD Plan 31701	1934 Paly Rd	002-289-067	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
17	Lot 31 Section 17 Township 23 ODYD Plan 31701	2105 Bennett Rd	002-288-966	M27805	LUC78-1024	RR3 - Rural Residential 3 zone
18	Lot 5 Section 17 Township 23 ODYD Plan 31701	2185 Paly Rd	003-614-603	M57875	LUC78-1024	RR3 - Rural Residential 3 zone

CITY OF KELOWNA

BYLAW NO. 11451

Early Termination of Land Use Contracts

LUC76-1087

Clifton Road North, Lynn Court, Tina Court and Kyndree Court

WHEREAS a land use contract (the "Land Use Contract LUC76-1088") is registered at the Kamloops Land Title Office under the charge number M17452 against lands in the City of Kelowna particularly known and described as in Schedule "A" attached (the "Lands"), located at Clifton Road North, Lynn Court, Tina Court and Kyndree Court, Kelowna, B.C.;

WHEREAS a land use contract (the "Land Use Contract LUC76-1088") is registered at the Kamloops Land Title Office under the charge number N17452 against lands in the City of Kelowna particularly known and described as in Schedule "B" attached (the "Lands"), located at Lynn Court, Kelowna, B.C.;

AND WHEREAS Section 548 of the *Local Government Act* provides that a local government may impose an early termination to land use contracts registered in a Land Title Office that applies to land within the jurisdiction of the local government;

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. This Bylaw may be cited for all purposes as "Early Termination of Land Use Contracts LUC76-1086 Bylaw";
2. Land Use Contracts LUC76-1086 are hereby terminated as of the date of adoption; and
3. This bylaw will come into force and effect one year after the adoption date.

Read a first time by the Municipal Council this 24th day of July, 2017.

Considered at a Public Hearing this

Read a second and third time by Municipal Council on the

Adopted by the Municipal Council this

Mayor

City Clerk

Schedule A: LUC76-1087						
No.	Legal Description	Address	Parcel Identifier Number	Charge Number	Land Use Contract	Underlying Zone
1	Lot 23 Section 8 Township 23 ODYD Plan 28178	436 Clifton Road N	004-438-353	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
2	Lot 22 Section 8 Township 23 ODYD Plan 28178	442 Clifton Road N	002-580-101	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
3	Lot 9 Section 8 Township 23 ODYD Plan 28178	466 Clifton Road N	004-625-714	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
4	Lot 7 Section 8 Township 23 ODYD Plan 28178	472 Clifton Road N	004-625-692	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
5	Lot 5 Section 8 Township 23 ODYD Plan 28178	478 Clifton Road N	004-625-668	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
6	Lot 3 Section 8 Township 23 ODYD Plan 28178	484 Clifton Road N	004-625-641	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
7	Lot 2 Section 8 Township 23 ODYD Plan 28178	490 Clifton Road N	004-625-633	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
8	Lot 1 Section 8 Township 23 ODYD Plan 28178	496 Clifton Road N	004-625-625	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
9	Lot 20 Section 8 Township 23 ODYD Plan 28178	1116 Lynn Court	002-170-655	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
10	Lot 19 Section 8 Township 23 ODYD Plan 28178	1120 Lynn Court	004-625-889	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
11	Lot 18 Section 8 Township 23 ODYD Plan 28178	1124 Lynn Court	004-625-862	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
12	Lot 17 Section 8 Township 23 ODYD Plan 28178	1128 Lynn Court	004-625-846	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
13	Lot 15 Section 8 Township 23 ODYD Plan 28178	1130 Lynn Court	004-625-803	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
14	Lot 16 Section 8 Township 23 ODYD Plan 28178	1132 Lynn Court	004-625-811	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
15	Lot 14 Section 8 Township 23 ODYD Plan 28178	1113 Kyndree Court	004-625-781	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
16	Lot 13 Section 8 Township 23 ODYD Plan 28178	1117 Kyndree Court	004-625-765	M17452	LUC76-1087	RR3 - Rural Residential 3 zone

Schedule A: LUC76-1087 (continued)						
No.	Legal Description	Address	Parcel Identifier Number	Charge Number	Land Use Contract	Underlying Zone
17	Lot 11 Section 8 Township 23 ODYD Plan 28178	1118 Kyndree Court	001-590-936	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
18	Lot B Section 8 Township 23 ODYD Plan KAP70761	1122 Kyndree Court	025-329-235	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
19	Lot 8 Section 8 Township 23 ODYD Plan 28178	461 Tina Court	004-625-706	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
20	Lot A Section 8 Township 23 ODYD Plan KAP70761	464 Tina Court	025-329-227	M17452	LUC76-1087	RR3 - Rural Residential 3 zone
21	Lot A Section 8 Township 23 ODYD Plan KAP57178	465 Tina Court	023-468-271	M17452	LUC76-1087	RR3 - Rural Residential 3 zone

Schedule B: LUC76-1087						
No.	Legal Description	Address	Parcel Identifier Number	Charge Number	Land Use Contract	Underlying Zone
1	Lot 21 Section 8 Township 23 ODYD Plan 28178	1112 Lynn Court	004-625-901	N17452	LUC76-1087	RR3 - Rural Residential 3 zone

REPORT TO COUNCIL



Date: August 29, 2017

RIM No. 0930-50

To: City Manager

From: Community Planning Department (TB)

Application: LL17-0009

Owner: Simple Pursuits Inc. Inc. No.
BCo449611

Address: 109 – 590 KLO Road

Applicant: Boutique Esthetics and Tanning
Lounge

Subject: Liquor License

Existing OCP Designation: MXR – Mixed Use (Residential / Commercial)

Existing Zone: C4 – Urban Centre Commercial

1.0 Recommendation

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor Control and Licensing Branch (LCLB):

In accordance with Section 10 of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

1. Council recommends support of an application from Boutique Esthetics & Tanning Lounge Ltd. for a liquor primary license for Lot A, District Lot 14, ODYD, Plan KAP68556, Except Plan EPP52684, located at 109 – 590 KLO Road, Kelowna, BC for the following reasons:
 - New Liquor Licensing Laws allow for barbershops, salons, and other establishments to apply for a liquor primary license;
 - Council Policy No. 359 recommends supporting alternative entertainment options and/or establishments which are less focused on alcohol consumption;
 - The maximum occupancy is 30 persons which will have minimal on the community
2. Council's comments on LCLB's prescribed considerations are as follows:

Criteria for new liquor primary:

 - a. The location of the establishment:** The location of the establishment is suitable for a small establishment liquor primary license (not located next to any other licensed establishment), and is located within an Urban Centre;
 - b. The person capacity and hours of liquor service of the establishment:** The hours of liquor service is suitable given the low occupancy of 30 persons;

c. The impact of noise on the community in the immediate vicinity of the

establishment: There is minimal risk of an impact of noise on the community;

d. The impact on the community if the application is approved: The overall impact on the community will be minimal;

3. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures."

2.0 Purpose

To consider a Liquor Primary License for a spa services establishment with an occupant load of 30 persons.

3.0 Community Planning

Community Planning supports the requested Liquor Primary License for the establishment known as Boutique Esthetics & Tanning Lounge Ltd. This is the first establishment in Kelowna that has applied under the new Provincial Liquor Licensing Regulations that allow other types of businesses to apply for a liquor primary license including barbershops, salons, bookstores, galleries, and a variety of others. The impacts on the community will be minimal and noise is not anticipated to be an issue due to the low maximum occupancy of 30 persons including staff. The establishment is located within an Urban Centre with access to alternate transportation options such as transit and taxi. Council Policy No. 359 recommends supporting alternative entertainment options and establishments which are less focused on alcohol.

4.0 Proposal

4.1 Background

The subject property is a brand new building 3 storey building recently constructed by Worman Resources. Tenants in the building include Bliss Bridal, Canadian Jewellery Exchange, and Orange Theory Fitness. Boutique Esthetics & Tanning Lounge Ltd. Is located on the first floor with a second floor loft, and plans to open their doors for business in August. They anticipate having as many as 18 esthetic stations open at one time with several staff members working, all of whom will have the appropriate Serving It Right certificate through the Province of BC.

4.2 Project Description

The applicant is the first establishment to apply for a Liquor Primary License under the new modern Provincial Liquor Licensing Regulations that allow a wider variety of businesses to apply for a liquor primary license. The proposal does not require any rezoning as the application falls under Liquor Primary Minor (less than 100-person occupancy) which is a permitted use in the C4 – Urban Centre Commercial zone.

Boutique Esthetics & Tanning Lounge offers services such as facials, waxing, eyelash extensions, tanning beds, and botox. Their hours of operation are 10 am - 9 pm Mondays to Fridays, 9 am – 6 pm on Saturdays, and 10 am – 4 pm on Sundays. The applicant has applied for licensing hours of 10am – 9 pm on weekdays, 9 am – 9 pm on Saturdays, and 10 am – 8 pm on Sundays. This is to accommodate guests who may want to book VIP service times on Saturday and Sunday evenings after regularly scheduled business hours.

Hours of Business for Boutique Esthetics & Tanning Lounge:

	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Open	10:00 am	10:00 am	10:00 am	10:00 am	10:00 am	10:00 am	9:00 am
Close	4:00 pm	9:00 pm	9:00 pm	9:00 pm	9:00 pm	9:00 pm	6:00 pm

Proposed Hours of Liquor Sales for Boutique Esthetics & Tanning Lounge:

	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Open	10:00 am	10:00 am	10:00 am	10:00 am	10:00 am	10:00 am	9:00 am
Close	8:00 pm	9:00 pm	9:00 pm	9:00 pm	9:00 pm	9:00 pm	9:00 pm

Due to the regulations of the BC Building Code regarding number of occupants and number of bathrooms provided, the occupant load for the purpose of this license is 30. As this is a relatively low occupant load, it is anticipated that the liquor license will not have a negative impact on the community in terms of noise, activity, or safety. Further, the relatively low occupant load ensures that liquor service will remain a secondary service within the business. In the future, should additional washrooms be added, the applicant could re-apply for an increase in occupant load.

The location is suitable for this type of license as there are no other licensed establishments located beside this business, and it is located in a predominantly commercial zone with retail, food primary, and grocery services in close proximity. The South Pandosy Urban Centre location allows for access to alternate transportation methods such as transit or taxi and there is ample parking on site.

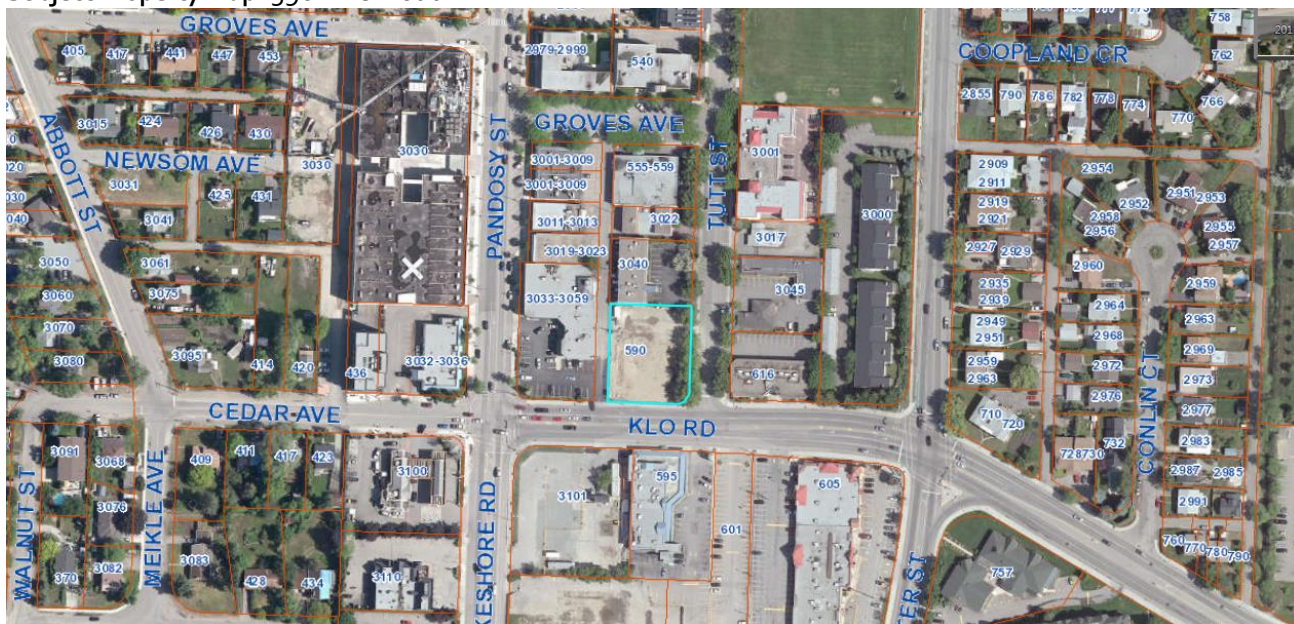
Council Policy No. 359 recommends supporting establishments which are less focused on alcohol consumption to add a mix of entertainment options in Urban Centres. This establishment will remain primarily a spa salon and therefore is an establishment less focussed on alcohol and will add to the mix of entertainment options in South Pandosy.

4.3 Site Context

The subject property is located in the South Pandosy Urban Centre in a new building on KLO Road east of Pandosy Street. It is near the new Sopa Development, Urban Fare, and Lakeview Market.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C4 – Urban Centre Commercial	Health Services
East	C4 – Urban Centre Commercial	Retail / Health Services
South	C4 – Urban Centre Commercial	Shopping Centre
West	C4 – Urban Centre Commercial	Grocery Store



6.0 Technical Comments

6.1 Bylaw Services

- Currently there are no outstanding/open Bylaw enforcement files pertaining to property location: 109-590 KLO Rd.

6.2 Fire Department

- Kelowna Fire Department is not opposed to the liquor license.

6.3 RCMP

- Kelowna RCMP have reviewed the above noted application for a liquor primary at a hair salon and approve of the applications with a restriction of hours of operation to no later than 9pm on Saturdays (applicant requested 10pm).
- The RCMP requests for consideration of the Planning Department/City the establishment of a comprehensive policy to address new liquor primary and manufacturer lounge endorsement license applications. Such a policy would facilitate a consistent, guided response to applications. Input from the RCMP in the creation of the policy can be provided if so desired

7.0 Application Chronology

Date of Application Received: May 1, 2017
Date Public Consultation Completed: Not Required

Report prepared by Trisa Brandt, Planner

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Applicant's Letter of Intent
Floor Plan

Boutique Esthetics & Tanning Lounge LTD

Letter of Intent

Boutiques primary focus of business will be the following Spa services:

- ~Facials
- ~Waxing
- ~Microdermabrasion & Skin Peels
- ~Microblading
- ~Eyelash Extensions
- ~Artificial Nails
- ~Manicures/Pedicures
- ~Tanning Beds
- ~Spray Tanning
- ~Botox

We will be offering VIP service times for our clients on Saturdays and Sundays after regular posted hours of operation. These functions will be a maximum of 4 hours and may or may not include the service of alcohol, but do bring the possibility of liquor service to 9:00pm on Saturdays and 8:00pm on Sundays. This option will consist of clients who have paid a premium to have their Spa services done after regular business hours.

Boutiques hours of operation are as follows:

Monday- Friday 10:00am-9:00pm

Saturday- 9:00am-6:00pm

Sunday- 10:00am-4:00pm

Boutiques primary focus of business will never solely be the service of liquor. Liquor service is an option we want to offer as a complimentary luxury to our clients. Boutiques liquor service will consist of 1 glass of wine, beer or a wine spritzer with Spa services starting no earlier than 10:00am Mon-Fri/Sun and 9:00am on Saturdays.

There will be no entertainment offered at Boutique Esthetics & Tanning Lounge on a regular basis. We may have a customer appreciation day once a month which would include a live DJ, no entertainment other than that.

We will be providing our clients with their choice of coffee, tea, fruit infused water, fresh fruit and vegetables and a variety of baked goods each and everyday from the time we open through to closing.

Boutique is situated in a neighbourhood made up predominantly of commercial spaces. This area is referred to as "The Shopping District". There are however a few lots in the

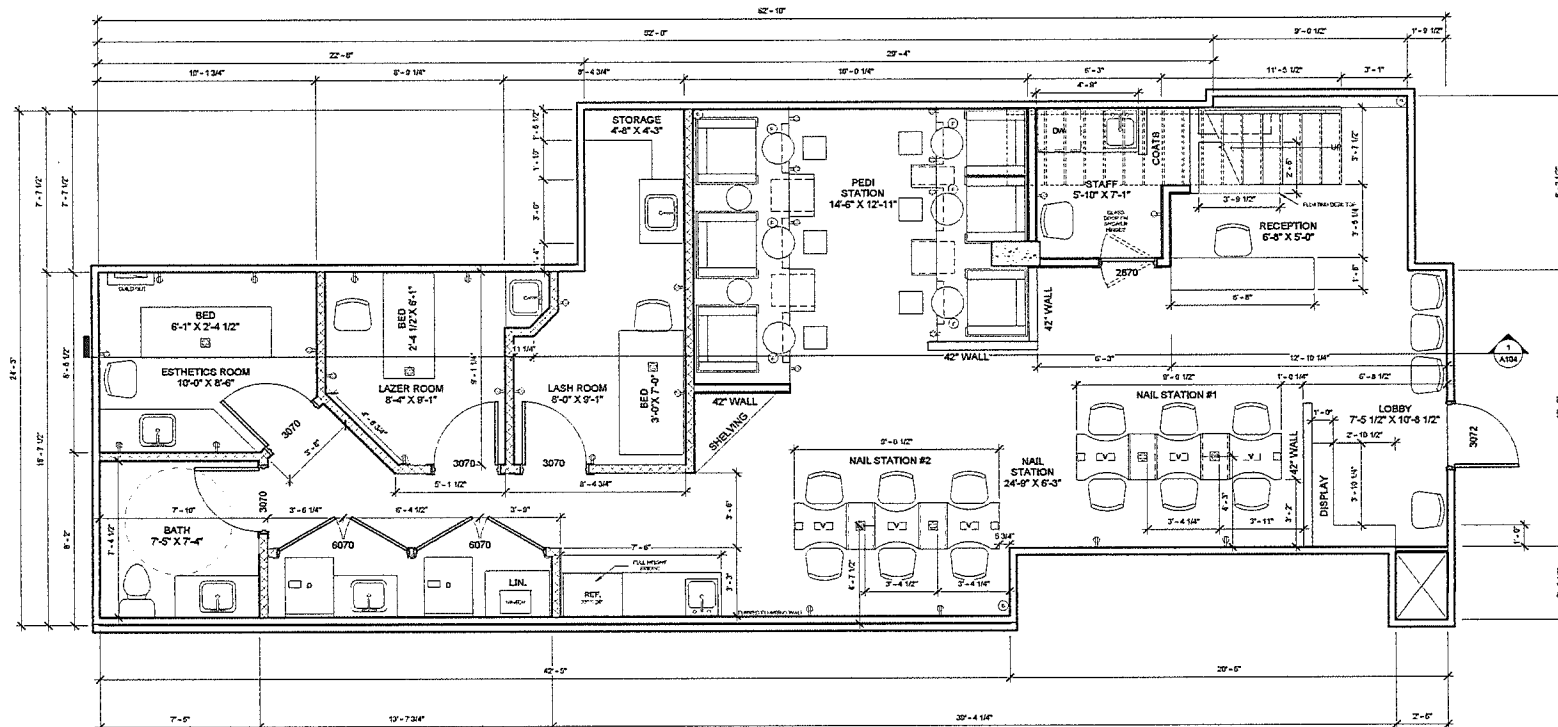
neighbourhood that have yet to be developed and may end up having buildings constructed with a mix of residential and commercial spaces. Sopa Square is the biggest up and coming development in the neighbourhood, this development consists of commercial spaces at street level with residential above. There is no Industrial in this neighbourhood.

There is absolutely no potential for noise or other disturbances from Boutiques staff or clients. We will have music playing at all times during regular hours of operation which will create an atmosphere of relaxation and peacefulness.

As the owner/operator of Boutique Esthetics & Tanning Lounge I am implementing a strict 1 drink limit with all services over 30 minutes, all services under 30 minutes will not have the alcohol service option. This policy will strictly be in place to ensure the safety of not only Boutique patrons and the nearby residents but also the general public. All Boutique employees will be required to have their Serving It Right, also a very strict policy we will have in place for the protection of the general public.

As mentioned above Boutiques primary focus is not liquor service nor will it ever be, We simply want to offer our paying clientele this added luxury. Minors would be of no harm to be in the service areas at anytime, we will have the necessary steps in place to ensure- All employees of Boutique Esthetics & Tanning Lounge have their Serving it Right certificates, all liquor will be stored and prepared in one designated area(with locking storage cabinets), minors will never have access to any liquor on our premises. The exposure to liquor in Boutique will be very minimal and will not encourage an environment of over consumption or exposure by any means, therefore minors will be completely safe in our service areas at all times. I would like to request the licensing option of allowing Minors in the service areas.

I would like to add that I Dawne Russell have been apart of the service industry since 1995 and hold a valid Serving it Right certificate to date. I was employed by Earls restaurants for 12 years where I not only served the general public myself, but I managed and trained all new and existing staff on the rules and regulations of serving liquor and food. I am very well educated on all aspects of Liquor service in the province of BC.



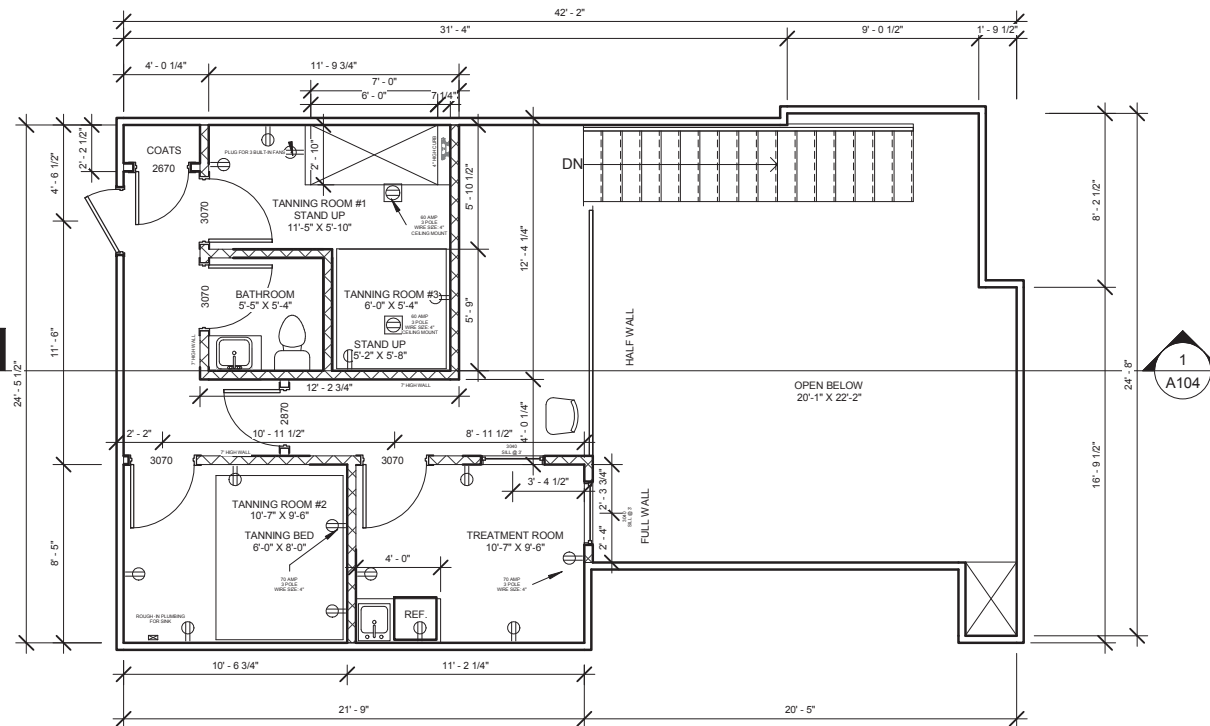
BOUTIQUE ESTHETICS LOUNGE
 109 590 KLO ROAD
 KELOWNA, BC

SITE MANAGER: LISA LAPOINTE
 lisalapointe111@gmail.com
 778.581.0560

MAIN FLOOR

Project number	1	A102
Date	April 12, 2017	
Drawn by	JB	
Checked by	CM	
Scale	3/8" = 1'-0"	

12/04/2017
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BOUTIQUE ESTHETICS
LOUNGE
109 590 KLO ROAD

SITE MANAGER: LISA
LAPOINTE
lisalapointe111@gmail.com

MEZZANINE FLOOR PLAN

Project number 1
Date April 12, 2017
Drawn by Author
Checked by Checker

A103A

Scale 3/16" = 1'-0"

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REPORT TO COUNCIL



Date: August 29, 2017

RIM No. 0940-00

To: City Manager

From: Community Planning Department (MS)

Application: DVP16-0241

Owner: Pillar West Developments Inc.

Address: 4646 McClure Rd

Applicant: Integrity Services Inc.

Subject: Development Variance Permit for Lot Width to facilitate a Three Lot Subdivision

Existing OCP Designation: S2RES – Single / Two Unit Residential
PARK – Parks and Open Space

Existing Zone: RU1 – Large Lot Residential Housing

1.0 Recommendation

THAT Council NOT authorize the issuance of Development Variance Permit No. DVP16-0241 for Lot 2 Section 25 TWP 28 SDYD Plan 29484, located at 4646 McClure Road, Kelowna, BC.

2.0 Purpose

To consider a Staff recommendation to NOT issue a Development Variance Permit to vary the required lot width on 1 of 3 proposed lots being created through Subdivision, for Lot B from 16.50m required to 15.72m proposed.

3.0 Community Planning

Staff does not support the application as proposed. Upon adoption of the current OCP in 2011, a number of policies were established for the requirement of dedication of natural areas upon subdivision, particularly in cases where rezoning or variances result in additional density. Options include dedicating the Riparian Management Area as a lot for City park or returning the land to crown, in order to facilitate the protection of all or significant portions of the Environmentally Sensitive Area (ESA). In addition, the policies are outlined to ensure that housing is an adequate distance with an intervening interface area between the housing and potential hazards such as flooding¹. As a last option, dedication to a land trust or similar non-government organization for conservation purposes is provided as an option.

As well as considerations for flood and riparian area protection, the Bellevue Creek Linear Park Master Plan runs along Bellevue Creek and a portion of the property has a Future Land Use of Park. While the plan identifies a walking trail along the other side of the creek (south) from the property, the Concept Plan has identified an interest for crossings that connect the trail to neighbourhoods north of Bellevue Creek where possible.

¹ City of Kelowna Official Community Plan, Policy 5.14.7 (Development Process Chapter).

The applicant has indicated they are willing to provide a 3.5m Statutory Right of Way (SRW) along the north property line, and a 3.0m SRW along the west property line, to provide access for maintenance and emergency protection (e.g. flood) only, not public access. (See Proposed Subdivision Plan below).

An alternate resolution is provided for Council's consideration where the 15m wide riparian area is protected through a dedication, and a 3.5 m width for maintenance as well as public access provided through a Statutory Right of Way (SRW) along the north property line, to access the riparian area and creek for flood mitigation purposes in a flood event, and a potential linkage in the future to Bellevue Creek Linear Park (see Proposed Alternate Subdivision Plan below and Section 8). As there are no imminent plans for a public trail connection through the property at this time, the SRW would be fenced, gated and locked for maintenance purposes, for the foreseeable future. The SRW would only be opened for public access should a continuous trail along Bellevue Creek and bridge crossing be built.

4.0 Proposal

4.1 Background

Property was originally subdivided in 1978, through a two lot split that divided the property from the property to the north (Lot 1). A Section 219 Covenant is on the property prohibiting building or disturbance within 15 metres of Bellevue Creek. This is shown on the Subject Property Map below.

4.2 Project Description

The application is for a Development Variance Permit to vary the required lot width on 1 of the 3 proposed lots, to facilitate a three lot subdivision in the RU1 – Large Lot Housing zone. Specifically, the request is to vary Lot B from 16.50 m required to 15.72 m proposed, together with a 3.5m Statutory Right of Way for public access on Lot A, and a 3.0m Statutory Right of Way for public access along the west property line of all three proposed lots.

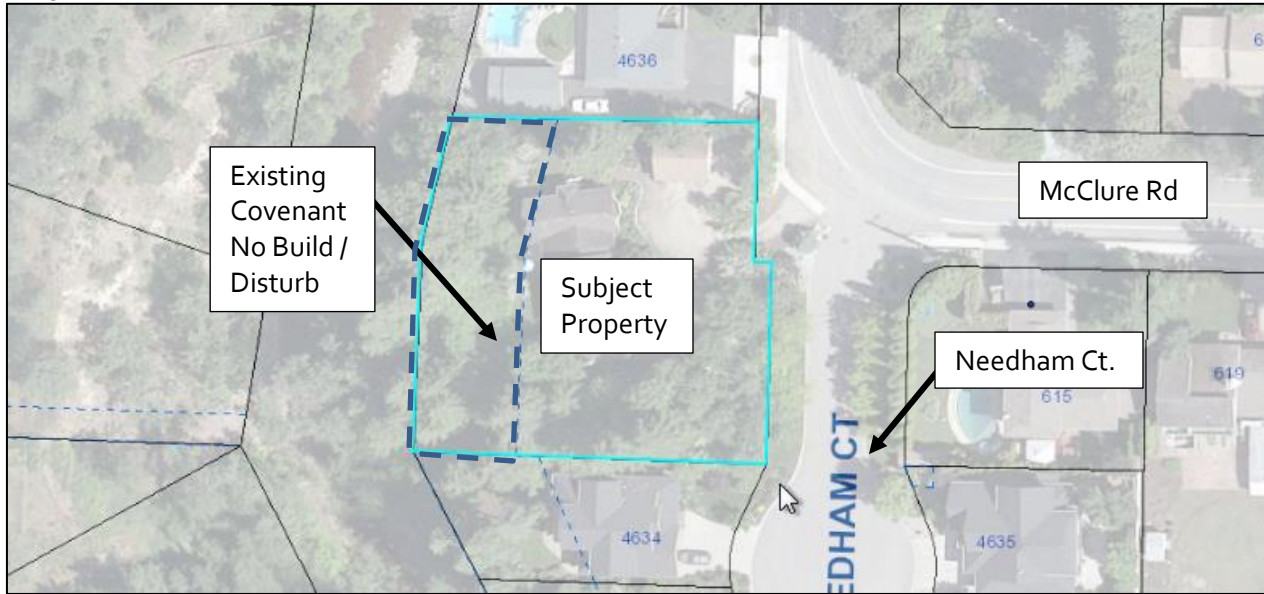
Bellevue Creek runs to the west of the subject property and the riparian area to high water mark, lies within the property. An existing No Build / No Disturb covenant is currently on title for the 15 metre riparian area, but OCP policy outlines dedication as the preferred option for long term habitat and flood protection.

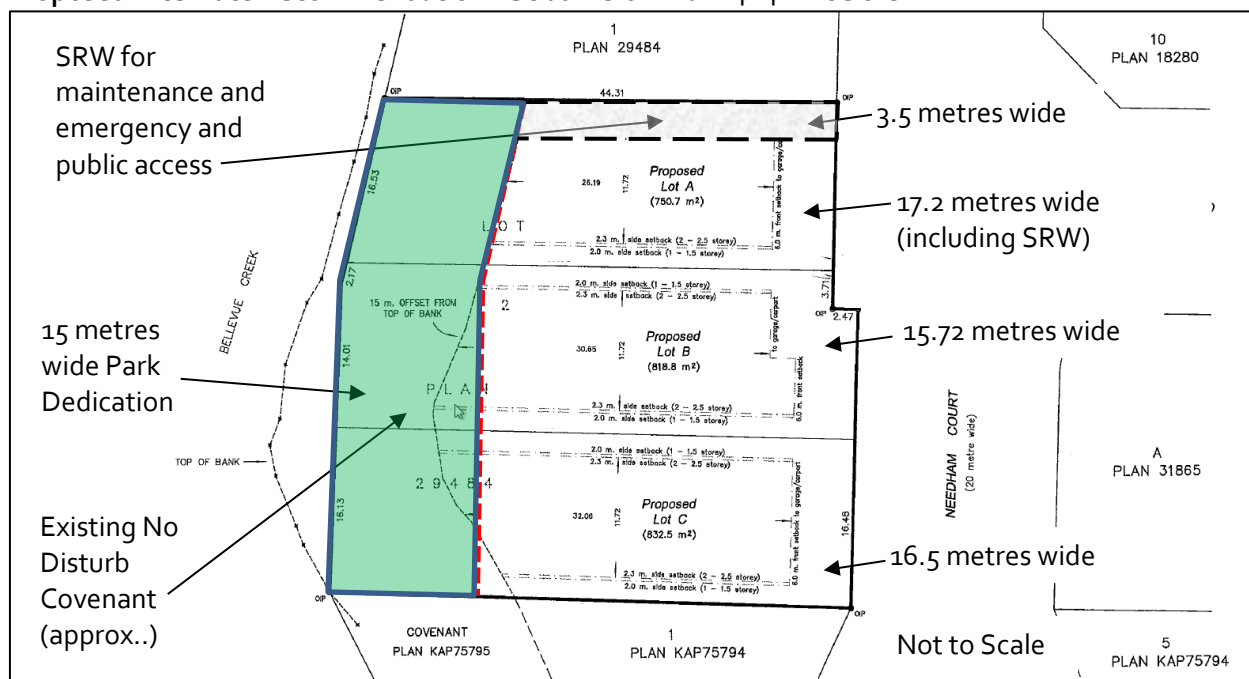
4.3 Site Context

The property is within the Southwest Mission Sector of the City according to the Official Community Plan. The elevation ranges from 366.5 metres above sea level (m.a.s.l.) to 369 m.a.s.l. Specifically, adjacent land uses are as follows:

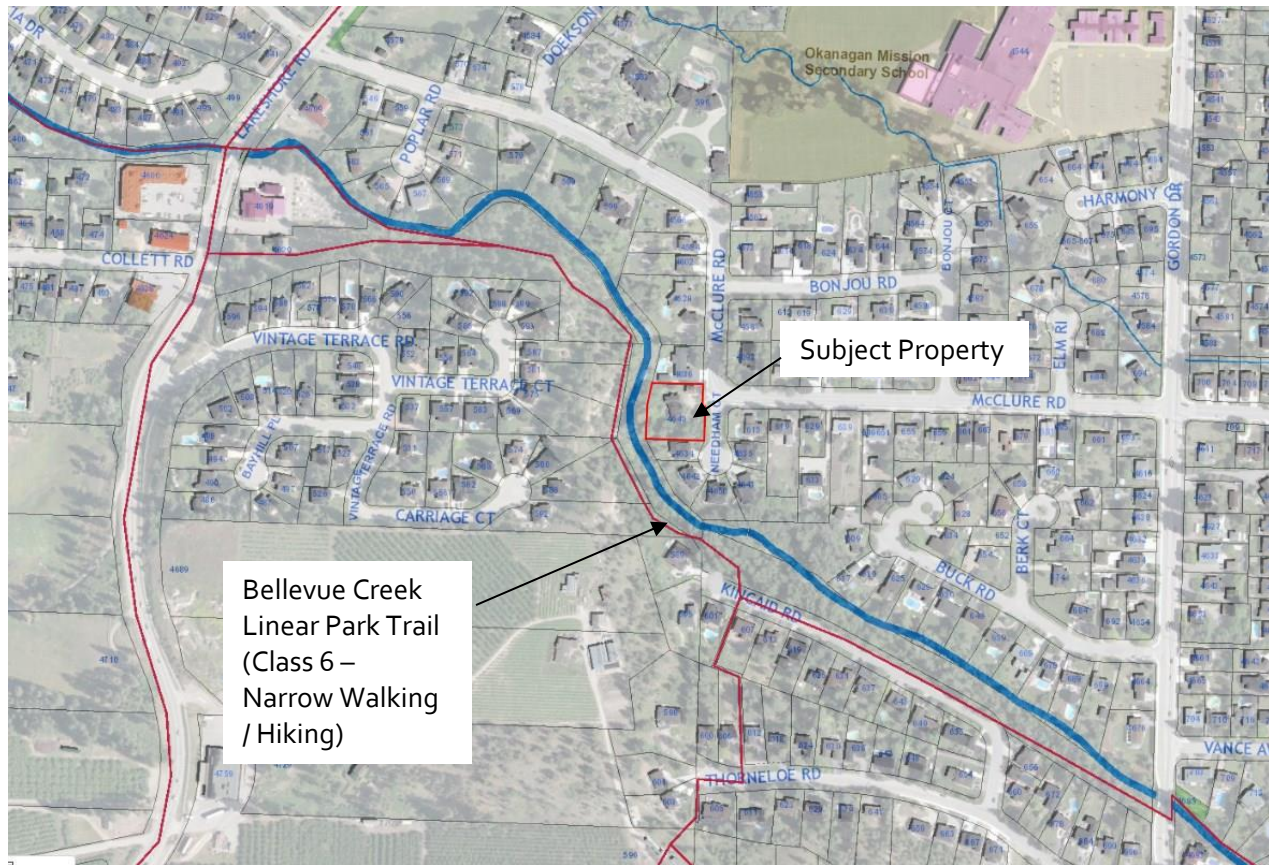
Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single / Two Unit Residential
East	RU1 – Large Lot Housing	Single / Two Unit Residential
South	RU1 – Large Lot Housing	Single / Two Unit Residential
West	RU1 – Large Lot Housing	Bellevue Creek / Single & Two Unit Residential

Subject Property Map: 4646 McClure

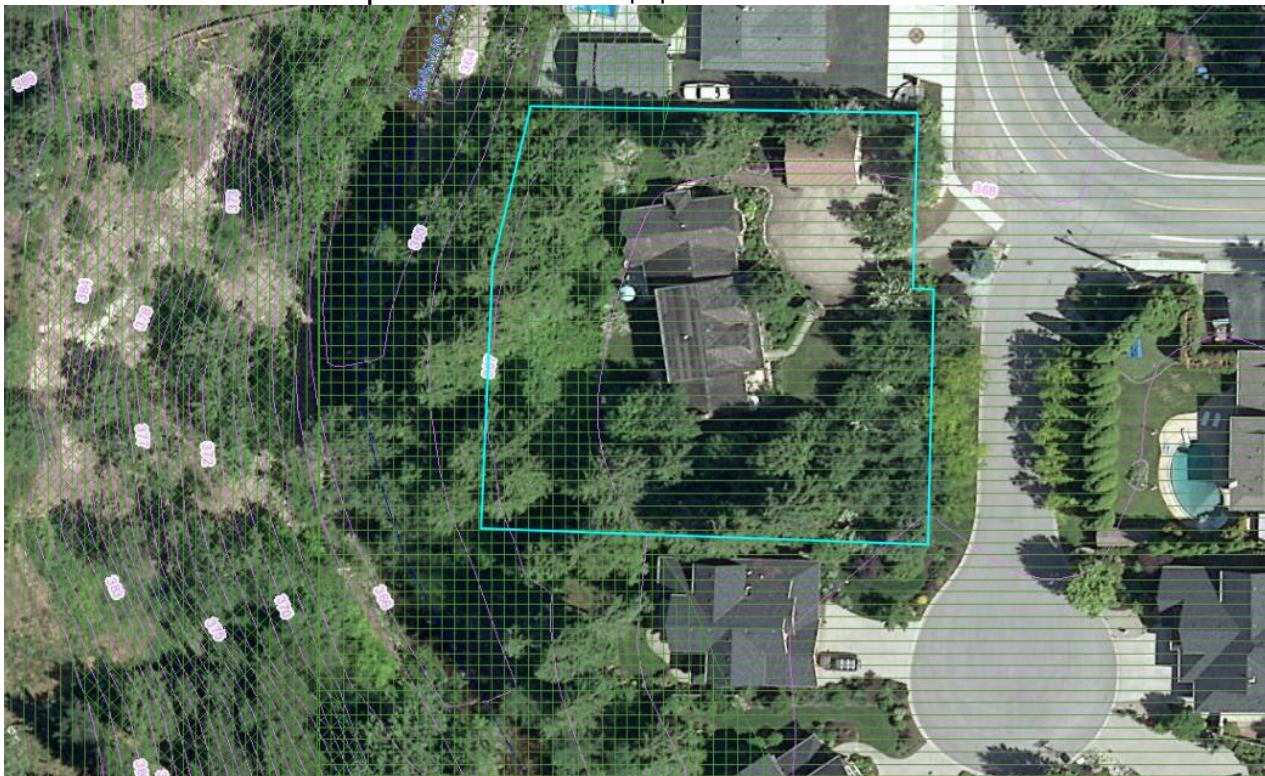


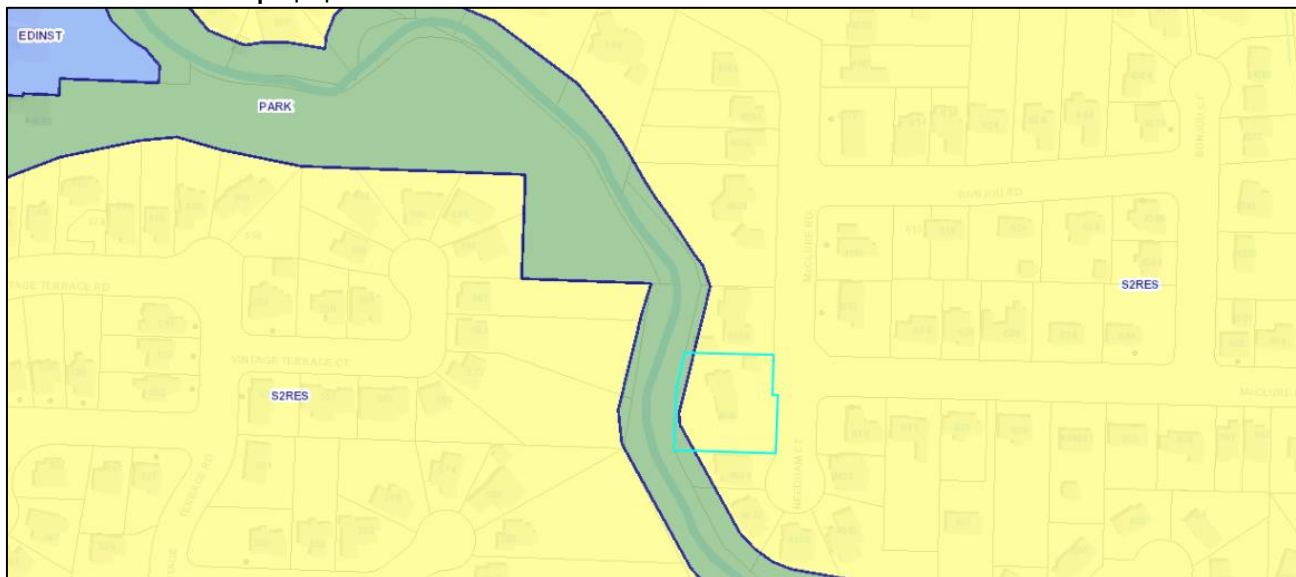


Bellevue Linear Park Plan from Lakeshore Road to Gordon Road



Natural Environment Development Permit Area: 4646 McClure





The subdivision regulations for RU1 – Large Lot Housing are noted in the table below, with requested variances noted.

Zoning Analysis Table		
CRITERIA	RU ₁ ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	550 m ²	774 m ² (Lot A); 770 m ² (Lot B); 841m ² (Lot C) (approx..)
Lot Width	16.5 m	17.2 (Lot A); 15.72m (Lot B) and 16.5m (Lot C)
Lot Depth	30.0 m	46.05m (Lot A); 49.36m (Lot B); 51.06m (Lot C)
<p>🔴 Indicates a requested variance to the Lot Width from 16.5 m required to 16.48m (Lot A); 16.48m (Lot B) and 16.46m (Lot C) proposed.</p>		

5.1 Kelowna Official Community Plan (OCP)

Development Process

Dedication of Linear Parks². Dedication of Linear Parks. At subdivision and rezoning for all development types secure a minimum 10-metre wide linear corridor for public access as included in Table 5.1 Linear Park – Public Access and/or are shown on Map 5.9 – Linear Corridors / Paths. The 10-metre wide corridor may be in addition to, and outside, any riparian management area requirements. Table 5.1 Linear Parks identifies Public Access for Bellevue Creek to be both sides of the creek.

Habitat Protection.³ Ensure a proposed development footprint within an ESA is configured in such a way as to minimise the encroachment toward aquatic or terrestrial habitat. Consider zoning and/ or subdivision

² City of Kelowna Official Community Plan, Policy 5.14.2 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Policy 5.14.11 (Development Process Chapter).

variances where needed to prevent or minimize a relaxation of or encroachment into the RMA or to acquire greater RMA width for environmental protection or hazard avoidance.

Protect Sensitive Areas⁴. Sensitive environmental areas and riparian management areas (RMA) will be protected by siting trails beyond their boundaries, unless there are absolutely no alternatives.

Protection Measures⁵. Protect and preserve environmentally sensitive areas using one or more of the following measures, depending on which measures are appropriate to a given situation:

- Dedication as a City park or trail where the area complements the goals and objectives of sustainable development. ESA's acquired as parks or trails will be managed to protect their sensitive features in balance with public use;
- Return to Crown Land or covenant for conservation purposes with the City, the Province and/or a nongovernmental organization (e.g. Central Okanagan Land Trust) eligible to hold Conservation Covenants;
- Some form of development incentive (density transfer, cluster housing, etc.) that will facilitate the protection of all or significant portions of ESAs;
- Protection of ESAs or portions of ESAs as an amenity contribution when new development requires a change to zoning that in-creases density over present zoning;
- Ensure setbacks on adjacent developments are adequate to maintain the integrity of the ESA and to minimize hazards created at the interface between natural areas and development. For example, ensure housing is setback an adequate distance adjacent to an interface area with potential tree, rock fall, flooding or fire hazards;
- As a last option, dedication to a land trust or similar nongovernment organization for conservation purposes.

Environmental Protection Guidelines

Habitat Protection⁶

- Plan, design and implement land development and subdivision to protect environmentally sensitive areas. Habitats that provide for at risk species, at-risk ecological communities and keystone species will be given priority for protection.
- Maintain intact ecosystems. An intact ecosystem is considered to be a community or ecosystem that is maintaining proper function and has not lost significant species (for communities) or significant communities (for ecosystems).
- Retain connectivity to adjacent ecosystems and avoid the creation of isolated islands of ecosystems.

⁴ City of Kelowna Official Community Plan, Policy 5.14.4 (Development Process Chapter).

⁵ City of Kelowna Official Community Plan, Policy 5.14.7 (Development Process Chapter).

⁶ City of Kelowna Official Community Plan, Page 12.4 (Natural Environment Development Permit Guidelines Chapter).

6.0 Technical Comments

6.1 Development Engineering Department

A memo from the Development Engineering Manager has been submitted for subdivision requirements, should the Development Variance Permit be approved. This is attached.

6.2 Infrastructure Planning

Infrastructure Planning has requested a 3.0 m wide SRW for public access through to Bellevue Creek for any potential future connections to Bellevue Creek Linear Park.

6.3 Fire Department

Ensure the lots are addressed off of the street they are accessed from as some appear to be accessed off of Needham Court.

6.4 Transportation

Comments from transportation regarding the subdivision at 4646 McClure Rd:

- The existing sidewalk on McClure should be rebuilt more in-line with the curvature of the road.
- Access (4m ROW) through the property to the creek would be advantageous.

7.0 Application Chronology

Date of Application Received: September 9, 2016

Date of Determination of Final Lot Widths: August 1, 2017

8.0 Alternate Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP16-0241 for Lot 2 Section 25 TWP 28 SDYD Plan 29484, located on McClure Road, Kelowna, BC;

AND THAT variance to the following section[s] of Zoning Bylaw No. 8000 be granted:

13.1.5 (a) Urban Residential Zones - Subdivision Regulations

To vary the minimum lot width for the future proposed Lot B from 16.5 m permitted to 15.72m requested.

AND THAT Council's consideration of this Development Variance Permit be considered subsequent to the outstanding conditions of approval as set out in Schedule "B" attached to the Report from the Community Planning Department dated August 29th, 2017;

AND THAT Council's consideration of the Development Variance Permit be considered whereby:

- A 15 metre width from the west property line is dedicated to the City of Kelowna as a lot as a condition of and concurrent with subdivision; and
- A 3.5 m wide Statutory Right of Way, in favour of the City of Kelowna, for maintenance, flood protection and public access from McClure Road to the riparian area to the City of Kelowna, as

outlined in Schedule B, is legally registered on title as a condition of and concurrent with subdivision;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Variance Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Report prepared by:

Melanie Steppuhn, Land Use Planner

Reviewed by:



Ryan Smith, Community Planning Department Manager

Approved for Inclusion:



Doug Gilchrist, Divisional Director, Community Planning & Real Estate

Attachments:

Development Engineering Memo (October 31, 2016)

Draft DVP16-0241 – Proposed Plan

Draft DVP16-0241 - Alternate Recommendation Plan

CITY OF KELOWNA
MEMORANDUM

Date: October 31, 2016
File No.: S16-0104

To: Community Planning (MS)

From: Development Engineering Manager (SM)

Subject: Subdivision Application – PLR Requirements

LOCATION: 4646 McClure Road

ZONE RU1

APPLICANT: Integrity Services

LEGAL: Lot 2 Plan 29484

WORKS AND SERVICES REQUIREMENTS

The City's Development Services Department will handle the Works & Services requirements identified below between time of Preliminary Layout Review (PLR) and application for Subdivision Approval. Arrangements for construction must be made before making application for Approval of a subdivision plan. The Development Engineering Technologist for this project is Sergio Sartori.

The following Works & Services are required for this subdivision:

.1) General

- a) This proposed subdivision may require the installation of centralized mail delivery equipment. Please contact Rick Ould, Delivery Planning Officer, Canada Post Corporation, 530 Gaston Avenue, Kelowna, BC V1Y 2K0 to obtain further information and to determine suitable location(s) within the development.

.2 Geotechnical Report

- (a) Provide a geotechnical report, prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.
The Geotechnical reports must be submitted to the Development Services Department (Subdivision Approving officer) for distribution to the Development Engineering Branch and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval.

- (i) Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
- (ii) Site suitability for development.
- (iii) Any special requirements for construction of roads, driveways, utilities and building structures.
- (iv) Recommendations for roof drains and perimeter drains.
- (v) Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- (vi) Recommendations for items that should be included in a Restrictive Covenant.
- (vii) Any items required in other sections of this document.

.3 Water

- a) The property is located within the City of Kelowna service area. The existing PVC water service will need to be upgraded to current standard. Arrange for the upgrade and additional lot connections for the new lots before submission of the subdivision plan.

.4 Sanitary Sewer

- a) Arrange for additional lot connections for the new lots and existing upgrades before submission of the subdivision plan.

.5 Drainage

- (a) The property is located within the City of Kelowna drainage service area. The Subdivision, Development and Servicing Bylaw requires each lot be provided with an individual connection; however, the City Engineer may permit use of individual ground water disposal systems, where soils are suitable. For on-site disposal of drainage water, a hydro geotechnical report will be required complete with a design for the disposal method (i.e. trench drain / rock pit).

.6) Roads

- a) McClure Road frontage must be upgraded to a full urban standard including curb, gutter, sidewalk, fillet pavement, street lights, storm drainage, landscaping and adjustment and/or re-location of existing utility appurtenances if required to accommodate this construction.
- b) Needham Court frontage must be upgraded to a full urban standard including sidewalk and adjustment and/or re-location of existing utility appurtenances if required to accommodate this construction.
- c) Re-locate existing poles and utilities, where necessary.

.7) Power and Telecommunication Services and Street Lights

- a) If the existing area is served by overhead wiring, the service connections may be provided overhead provided that there are no new poles required and service trespasses will not be created. If either of these conditions is not satisfied, then underground service will be required for that lot.
- b) Streetlights must be installed on all roads.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- d) Before making application for approval of your subdivision plan, please make arrangements with Fortis for the pre-payment of applicable charges and tender a copy of their receipt with the subdivision application for final approval.
- e) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

.8) Design and Construction

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

.9) Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not

to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

.10) Other Engineering Comments

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as B.C. Gas, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

.11) Charges and Fees

- a) Development Cost Charges (DCC's) are payable
- b) Fees per the "Development Application Fees Bylaw" include:
 - i) Survey Monument Fee: **\$100.00** (\$50.00 per newly created lot (GST exempt).
 - ii) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
- c) A hydrant levy charge of **\$500.00** (250.00 per new lot).

Steve Muenz, P.Eng.
Development Engineering Manager

SS

Schedule 'A'

DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE OF DEVELOPMENT VARIANCE PERMIT NO. DVP16-0241

Issued To: Pillar West Developments Inc.
Site Address: 4646 McClure Rd
Legal Description: Lot 2 Section 25 TWP 28 SDYD Plan 29484
Zoning Classification: RU1 – Large Lot Housing

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. DVP16-0241 for Lot 2 Section 25 TWP 28 SDYD Plan 29484, located at 4646 McClure Road, Kelowna, BC to allow the subdivision of three RU1 – Large Lot Housing be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Attachment "A";

AND THAT variance to the following section[s] of Zoning Bylaw No. 8000 be granted:

13.1.5 (a) Urban Residential Zones - Subdivision Regulations

- (a) The minimum **lot width** is 16.5 m permitted to:

Lot B – 15.72 m proposed on the subject property.

AND THAT the registration of a 3.5 m wide Statutory Right of Way in favour of the City for flood protection and maintenance along the north property line, and a 3.0 m wide Statutory Right of Way in favour of the City for flood protection and maintenance along the west property line;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not register the subdivision permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

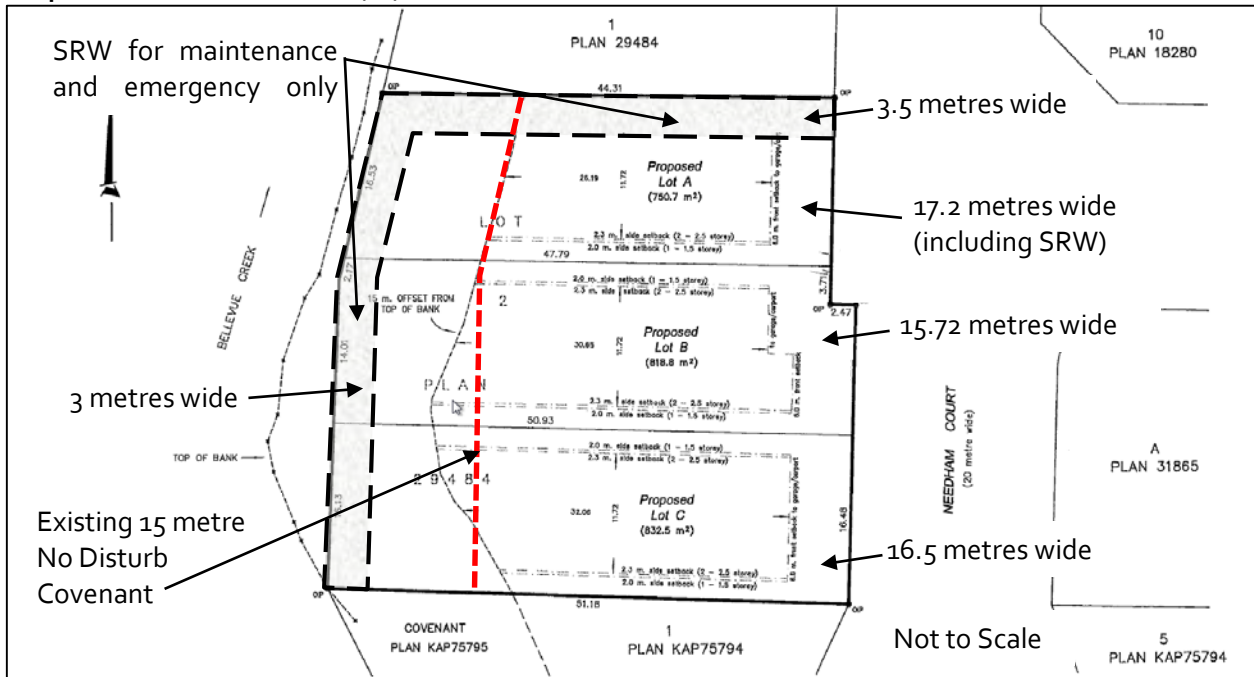
Issued and approved by Council on the _____ day of _____, 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or his or her designates**

Proposed Subdivision Plan: 4646 McClure



Schedule 'B'

DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE OF DEVELOPMENT VARIANCE PERMIT NO. DVP16-0241

Issued To: Pillar West Developments Inc.
Site Address: 4646 McClure Rd
Legal Description: Lot 2 Section 25 TWP 28 SDYD Plan 29484
Zoning Classification: RU1 – Large Lot Housing

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Variance Permit No. DVP16-0241 for Lot 2 Section 25 TWP 28 SDYD Plan 29484, located on McClure Road, Kelowna, BC to allow the subdivision of three RU1 – Large Lot Housing be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Attachment "AA";

AND THAT variance to the following section of the Zoning Bylaw No. 8000 be granted:

13.1.5 (a) Urban Residential Zones - Subdivision Regulations

To vary the minimum lot width for the proposed Lot B from 16.5 m permitted to 15.72m requested.

AND THAT the conditions of the Development Variance Permit be issued whereby:

- A 15 metre width from the west property line is dedicated to the City of Kelowna as a lot as a condition of and concurrent with subdivision; and
- A 3.5 m wide Statutory Right of Way, in favour of the City of Kelowna, for maintenance, flood protection and public access from McClure Road to the riparian area to the City of Kelowna, as outlined in Attachment "AA", is legally registered on title as a condition of and concurrent with subdivision;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Variance Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not register the subdivision permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or his or her designates**



CITY OF KELOWNA
BYLAW NO. 11417
Z16-0022 – 614 Barnaby Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 2, District Lot 357, SDYD, Plan 17353 located on Barnaby Road, Kelowna, B.C., from the RR1 – Rural Residential zone to the RR1c – Rural Residential 1 with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 29th day of May, 2017.

Considered at a Public Hearing on the 27th day of June, 2017.

Read a second and third time by the Municipal Council this 27th day of June, 2017.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL



Date: August 15, 2017

RIM No. 0940-00

To: City Manager

From: Community Planning Department (EW)

Application: DVP16-0266 **Owner:** Brent Hancock & Whitney Smith

Address: 614 Barnaby Rd **Applicant:** Whitney Smith

Subject: Development Variance Permit Application

Existing OCP Designation: S2RES – Single/ Two Unit Residential

Existing Zone: RR1 – Rural Residential 1

Proposed Zone: RR1c – Rural Residential 1 with Carriage House

1.0 Recommendation

THAT final adoption of Bylaw No. 11417 be considered by Council;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP16-0094 for Lot 2 District Lot 357 SDYD Plan 17353, located at 614 Barnaby Rd, Kelowna BC to allow the construction of a carriage house;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A":

Section 9.5b.1(c): Carriage House Regulations

To vary the location of a carriage house from the rear yard (permitted) to the front yard (proposed).

Section 9.5b.1(e): Carriage House Regulations

To vary the upper floor area of a carriage house from 75% of the carriage house footprint to 106% proposed.

Section 12.1.6(a): RR1 – Rural Residential 1 Development Regulations

To vary the maximum floor area of a carriage house from 90m² permitted to 106m² proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

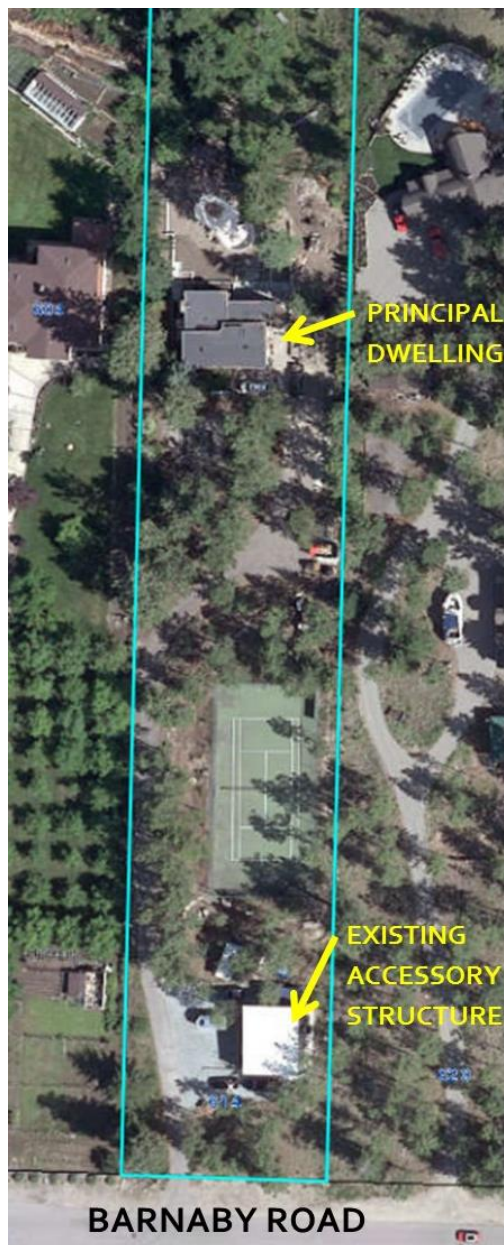
2.0 Purpose

To vary the location of a carriage house from the rear yard to the front yard, to vary the upper floor of a carriage house from 75% of the carriage house footprint to 106%, and to vary the maximum floor area of a carriage house from 90m² to 106m² on the subject property.

3.0 Community Planning

Community Planning staff support the proposed variances. The variances along with a future building permit would legalize the existing structure as a carriage house. The subject property is a large, rural lot and the location of the carriage house is not anticipated to have impacts on neighbouring properties.

To fulfill the requirements of Council Policy No. 367, the applicant submitted a neighbourhood consultation summary form on February 26, 2017 outlining that neighbours within 50m of the subject property were notified.



4.0 Proposal

4.1 Background

The 1.86-acre property contains one single family dwelling, renovated in June 2014. An accessory building was constructed near the front property line in December 2012. The accessory structure was constructed with permits and met the zoning bylaw of the day.

A City Bylaw suite investigation was conducted in early 2016 which determined that illegal construction to convert the accessory building to a carriage house had taken place by the current owners. The owners completed a decommission permit to remove all unpermitted works and the structure is currently vacant. The owners brought a Rezoning Application to Council, which was given 3rd reading on Tuesday June 27, 2017. Final adoption of the rezoning is pending the receipt of a \$20,000 security deposit to ensure the applicant completes the legalization of the carriage house. As part of the legalization process, a Development Variance Permit is currently being considered by Council, which would follow a Building Permit to legalize the carriage house.

4.2 Project Description

In order to legalize the existing structure as a carriage house three variances are required:

1. Section 9.5b.1c: *The principal dwelling unit shall be located between the front yard and the carriage house.* As the location of the principal dwelling and carriage house do not conform to this regulation, the first variance is triggered.
2. Section 9.5b.1e: *The upper floor area of any carriage house is limited to 75% of the carriage house footprint.* As the footprint of the proposed carriage house structure measures

100 m², and the upper floor area measures 106 m², the second variance is triggered.

3. Section 12.1.6 a: *The maximum floor area of a carriage house shall be 90 m² or 75% of the total floor area of the principal building.* As the floor area of the proposed carriage house is 106 m², the third variance is triggered. These variances would be presented to Council in a Development Variance Permit should this Rezoning application receive final adoption.

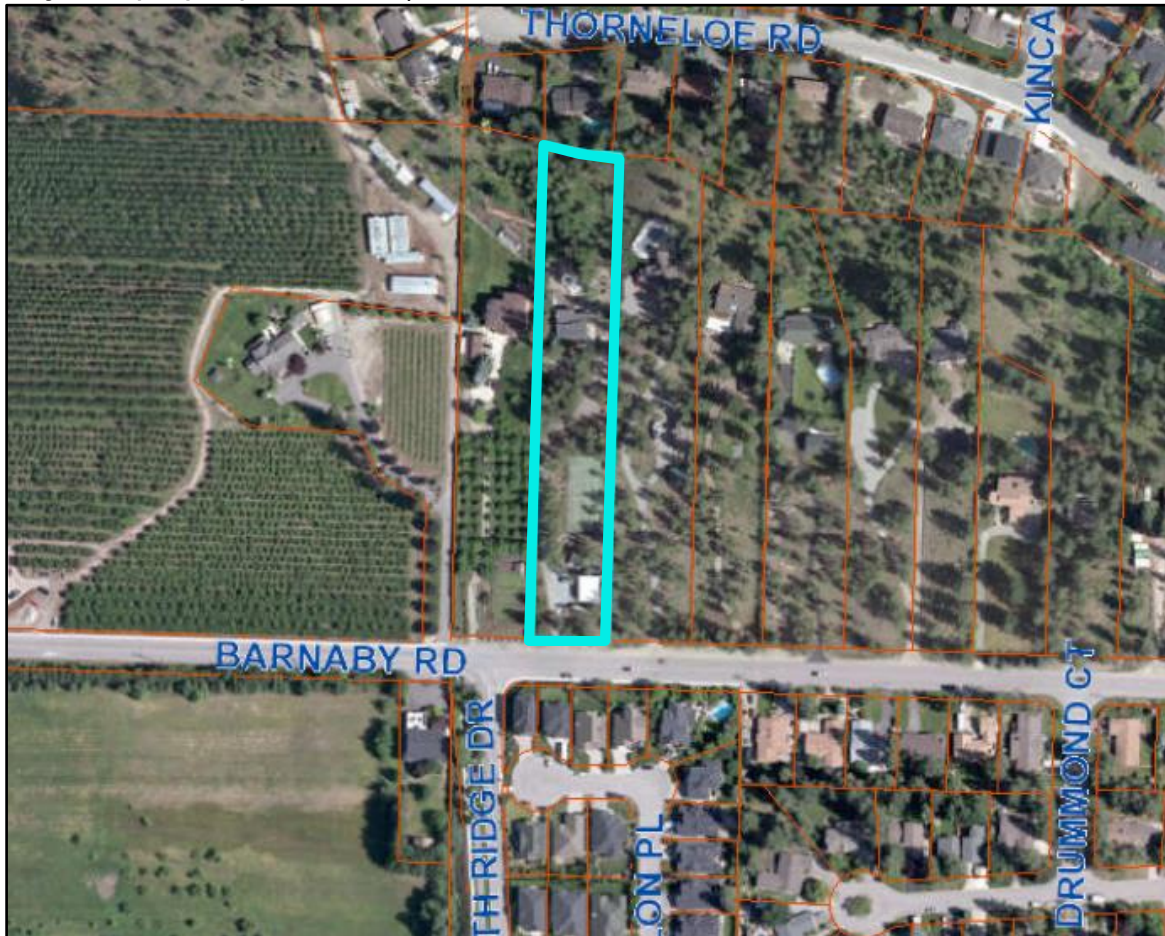
4.3 Site Context

The subject property is located within the Southwest Mission Sector of the City on the north side of Barnaby Road between South Ridge Drive and Drummond Court. The subject parcel and adjacent parcels on adjacent sides have a Future Land Use designation of Single / Two Unit Residential. This property contains easement where an existing sanitary sewer main is located, and has a water service that connects to a City water main within Barnaby Road.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Urban Residential 1 zone	Residential
East	RR1 – Rural Residential 1 zone	Residential
South	RU2 - Urban Residential 2 zone	Residential
West	RR1 – Rural Residential 1 zone	Residential with agriculture

Subject Property Map: 614 Barnaby Rd



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RR1c ZONE REQUIREMENTS	PROPOSAL
Existing Lot		
Lot Area	8000 ² m if connected to City sanitary sewer system	7527.42 m ² & connected to City Sanitary
Lot Width	40 m	34 m
Lot Depth	30 m	220 m
Carriage House Development Regulations		
Maximum Site Coverage of all structures	10%	4.0%
Site coverage for accessory buildings or structures and carriage house	14%	1.5%
Max. Height (mid-point of roof)	6.0 m	5.48 m
Min. Front Yard Setback (to Barnaby Road)	6.0 m	18 m
Min. Sideyard Setback	3.0 m	3.0 m
Min. Sideyard Setback	3.0 m	> 3.0 m
Maximum floor area of carriage house	90 m ² or 75% of the principal residence	106 m ² ❶
Maximum upper floor area of carriage house	75% of carriage house footprint	106% of carriage house footprint ❷
Minimum distance to principal building	3 m	+/-120 m
Location of carriage house	The principal dwelling shall be located between the front yard and the carriage house	The carriage house is located between the front yard and the principal dwelling ❸
❶ Indicates a requested variance for a carriage house living area more than 90 m ² in size. ❷ Indicates a requested variance for a carriage house with the upper floor greater than 75% of the carriage house structure footprint. ❸ Indicates a requested variance for a carriage house to be located between the front property line and the principal dwelling.		

5.0 **Technical Comments**5.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- The drawings submitted for Building Permit application is to indicate the method of fire separation between the suite and the garage.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications.

5.2 Development Engineering Department

- The DVP does not compromise servicing requirements.

6.o **Application Chronology**

Date of Application Received: October 7, 2016

Date Public Consultation Completed: February 26, 2017

Report prepared by: Emily Williamson, Planner

Reviewed by: Terry Barton, Urban Planning Manager

Reviewed by: Ryan Smith, Community Planning Department Manager

Approved for Inclusion: Doug Gilchrist, Divisional Director, Community Planning & Real Estate

Attachments:

Draft DVP16-0266

DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE OF DEVELOPMENT VARIANCE PERMIT NO. DVP16-0266

Issued To: Brent Kendall Handcock & Whitney Alexandra Smith
Site Address: 614 Barnaby Rd
Legal Description: Lot 2 District Lot 357 SDYD Plan 17353
Zoning Classification: RR1 – Rural Residential 1

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Council authorizes the issuance of Development Variance Permit No. DVP16-0094 for Lot 2 District Lot 357 SDYD Plan 17353, located at 614 Barnaby Rd, Kelowna BC to allow the construction of a carriage house;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A":

Section 9.5b.1(c): Carriage House Regulations

To vary the location of a carriage house from the rear yard (permitted) to the front yard (proposed).

Section 9.5b.1(e): Carriage House Regulations

To vary the upper floor area of the carriage house from 75% of the carriage house footprint to 106% proposed.

Section 12.1.6(a): RR1 – Rural Residential 1 Development Regulations

To vary the maximum floor area of a carriage house from 90m² permitted to 106m² proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

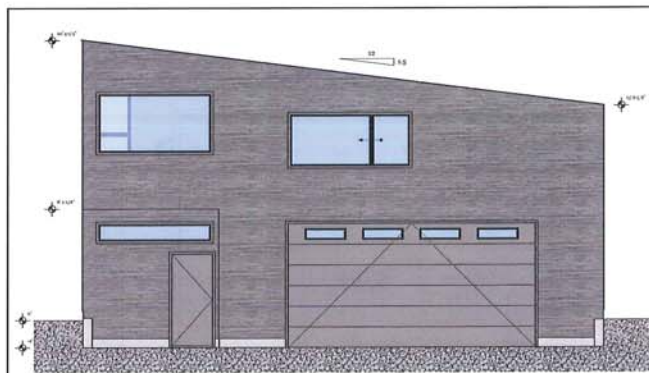
5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

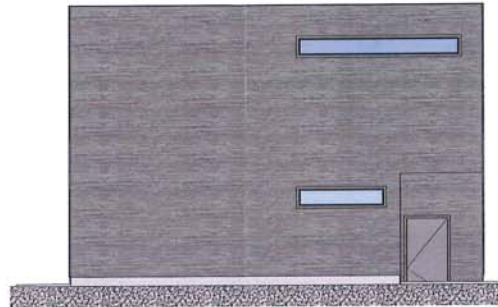
 Ryan Smith, Community Planning Department Manager
 Community Planning & Real Estate

 Date

The PERMIT HOLDER is the CURRENT LAND OWNER.



1 FRONT ELEVATION
1:10 1/4" = 1'-0"



2 NORTH SIDE ELEVATION
1:10 1/4" = 1'-0"



7 PERSPECTIVE
1:10 1/4" = 1'-0"



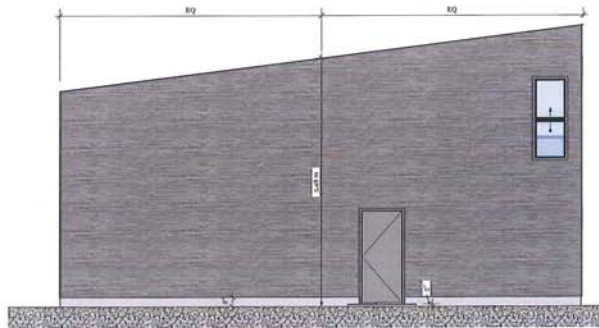
8 PERSPECTIVE
1:10 1/4" = 1'-0"



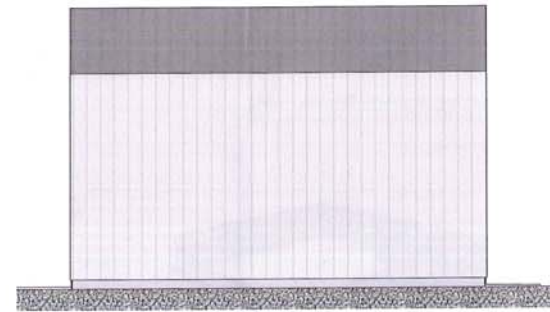
9 PERSPECTIVE
1:10 1/4" = 1'-0"



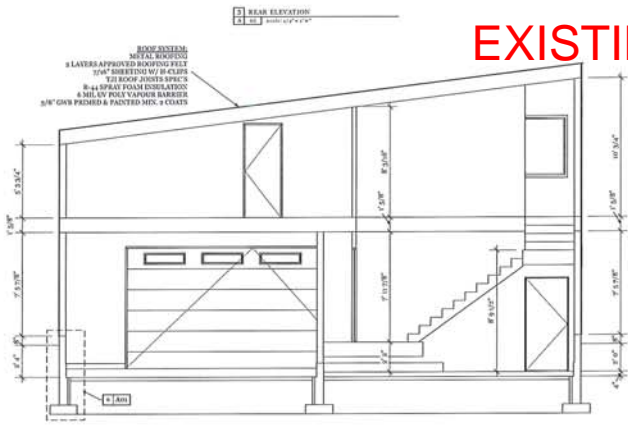
10 PERSPECTIVE
1:10 1/4" = 1'-0"



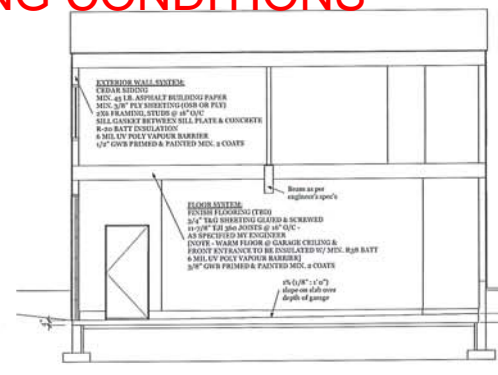
3 REAR ELEVATION
1:10 1/4" = 1'-0"



4 SOUTH SIDE ELEVATION
1:10 1/4" = 1'-0"



5 SECTION
1:10 1/4" = 1'-0"



6 SECTION
1:10 1/4" = 1'-0"

EXISTING CONDITIONS

SCHEDULE A

This forms part of application
DVP16-0266

Planner
Initials

EW

City of
Kelowna
COMMUNITY PLANNING

knowlton
concepts
inc.

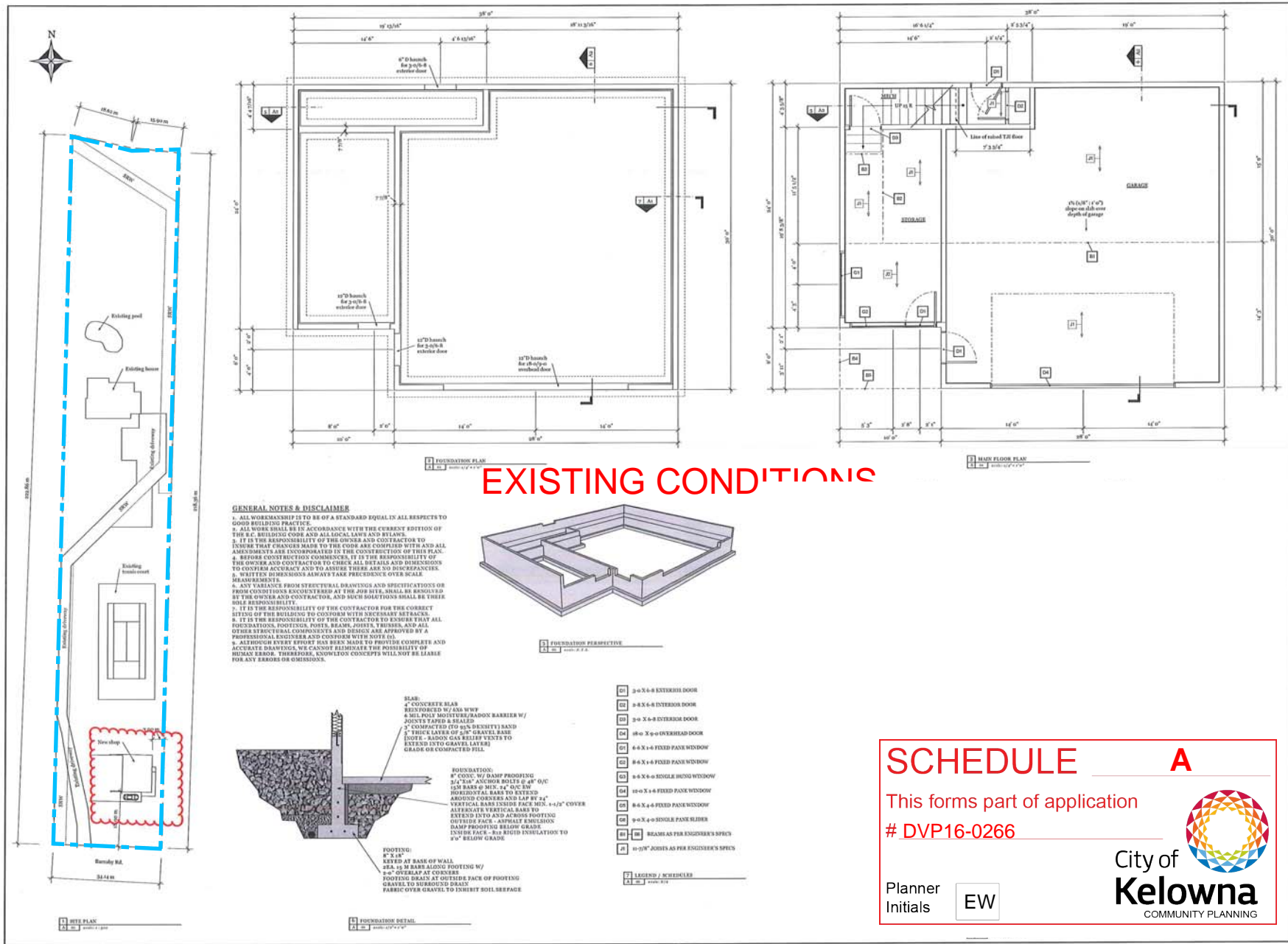
Architectural
Drafting & Design
Phone: (250) 875-0128
www.knowltonconcepts.com

REVISIONS	DATE	BY	APP'D
1			
2			
3			
4			
5			

HANCOCK DETACHED GARAGE
604 Barnaby Rd., Kelowna, BC
Lot 2, Plan 17353, Sec 30, TWP 29

ELEVATIONS & SECTIONS

A 02



Knowlton concepts inc.
 Architectural Drafting & Design
 Phone: (250) 575-0128
 www.knowltonconcepts.com

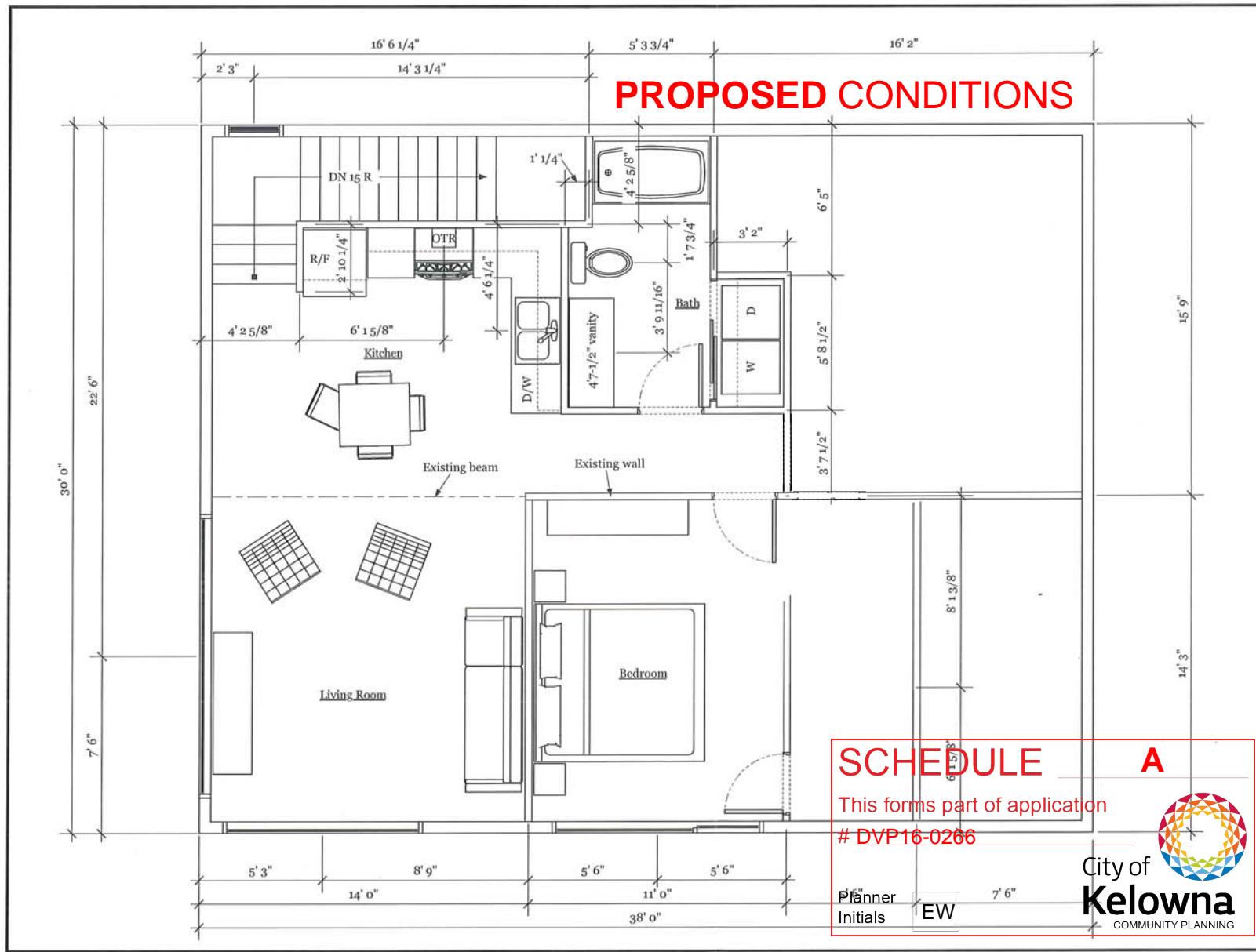
REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2016-02-26
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

HANCOCK DETACHED GARAGE
 614 Barnaby Rd., Kelowna, BC
 Lot 2, Plan 173553, Sec 30, TWP 29

PLANS

A **O1**



Knowlton
concepts
Inc.

Architectural
Drafting & Design

Phone: (250) 575 - 0128
www.knowltonconcepts.com

HANCOCK
DETACHED
GARAGE

614 Barnaby Rd.
Kelowna, BC
Lot 2, Plan 17353, Sec
30, TWP 29

(FUTURE)

UPPER
FLOOR PLAN

scale: 1/4" = 1'0"

X

01

REPORT TO COUNCIL



Date: August 29th, 2017

RIM No. 1250-30

To: City Manager

From: Community Planning Department (AC)

Application: DVP17-0104

Owner: Acorn Resorts GP Ltd., Inc. No. BCo888222

Address: 3450 McKinley Beach Dr

Applicant: GTA Architecture

Subject: Development Permit Applications

Existing OCP Designation: MXT – Mixed Use Tourism

Existing Zone: CD18 – McKinley Beach Comprehensive Resort Development

1.0 Recommendation

THAT Council authorize the issuance of Development Variance Permit DVP17-0104 for Lot B, Section 29, Township 23, ODYD, Plan EPP67208, located on 3450 McKinley Beach Dr, Kelowna, BC,

AND THAT variances to the following section[s] of Zoning Bylaw No. 8000 be granted:

Schedule 'B' Comprehensive Development Zones – CD18 – 1.3(g) [Development Regulations]

To vary the required maximum Type 'A' unit size of 150 m² not floor area to 217 m².

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Variance Permit Application in order for the permit to be issued.

AND FURTHER THAT the Development Permits be valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider a variance for 2 units within the 64 unit building to exceed the maximum unit size by 67 square metres.

3.0 Community Planning

Council approved the original Development Permit (DP16-0192) on November 7th 2017. During that review, Staff and the applicant did not realize the top penthouse units were over the maximum allowable unit size. This variance is proposed to allow for those two units. The original purpose for limiting unit size was to keep the use of the residential units as more of a vacation health resort with limited scale in development. This vision of the McKinley area does not apply anymore. As a result, Staff feel the condo unit size restriction could be seen as obsolete. Regardless, of the internal unit sizes, Staff review multi-family projects based on

the overall size, site coverage, massing, height, etc. in order to determine their impact. Lastly, the variance is minor and only applies to two units. Therefore, Staff are recommending this variance be granted.

Staff and the overall McKinley developers have discussed amending the zone including eliminating the maximum condo unit size. While Staff agree this rule should be relaxed, there are other development regulations Staff have been discussing with the developer which have included items like: minimum setbacks, maximum site coverage, and parking standards.

4.0 Proposal

4.1 Project Description

The subject property is currently vacant. The proposal contains a strata road running north-south with the semi-detached units located on the west side of the road or on the downslope portion. The 64-unit multi-family buildings are located upslope and to the east of the strata road. The project includes a single loaded corridor with all the suites facing the lake.

Figure 1.0: Site Plan

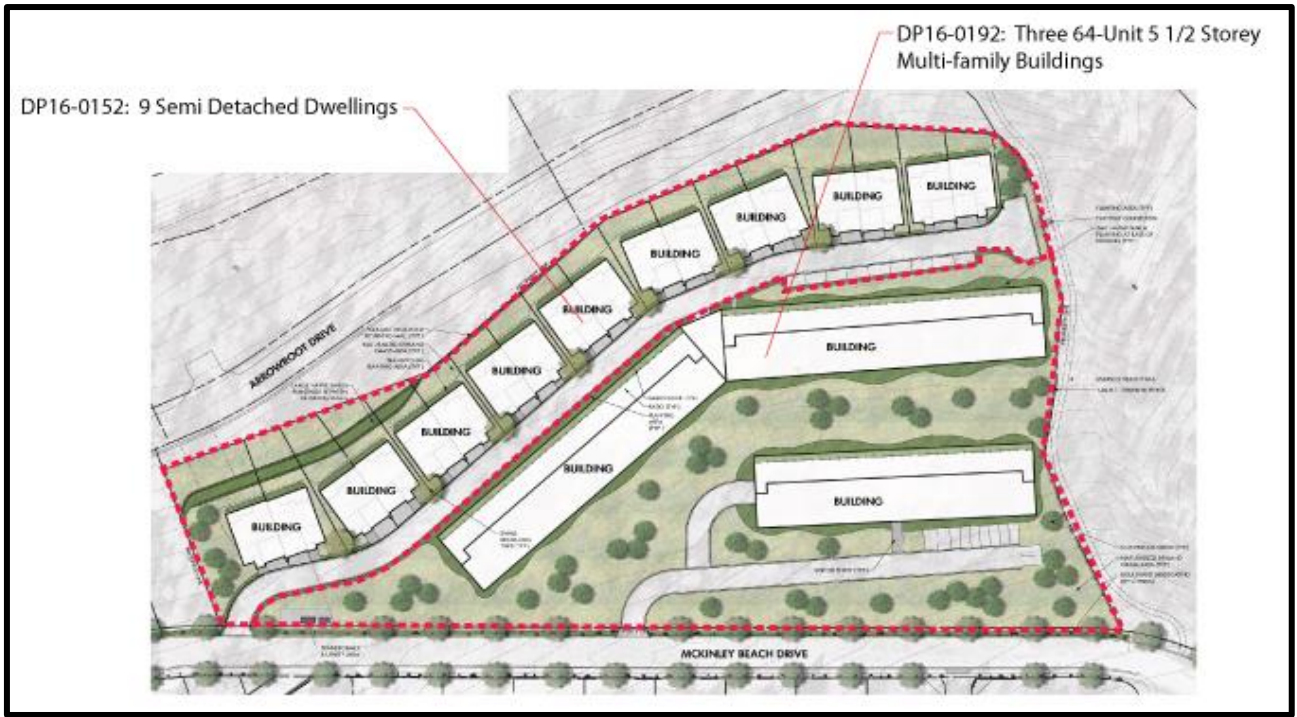


Figure 2.0: Colour Rendering



4.2 Site Context

The site is located within the McKinley Beach neighbourhood. The subject property is designated MXT (Mixed Use Tourism) and the lot is within the Permanent Growth Boundary. Specifically, the adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	CD18 - McKinley Beach Comprehensive Resort Development	Residential
East	CD18 - McKinley Beach Comprehensive Resort Development	Residential
South	CD18 - McKinley Beach Comprehensive Resort Development	Residential
West	CD18 - McKinley Beach Comprehensive Resort Development	Residential

Subject Property Map: 3450 McKinley Beach Drive



5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 5 – Development Process – Policy 10 - North McKinley:

- Not approve any additional residential uses or densities (beyond existing zoning) for lands in the North McKinley area designated in the OCP for mixed use tourism use.

Chapter 13 – Hazardous Condition DP – General Guidelines:

- Disturbance of steep slopes and hazardous condition areas will be avoided in accordance with City of Kelowna hillside development guidelines.

Chapter 16 – Intensive Residential (Hillside Design Guidelines):

OBJECTIVES

- Promote development that respects the terrain, vegetation, drainage courses and constraints related to the hillside environment of the site;
- Promote the siting of buildings and designs that are compatible with the steep slope context;
- Minimize visual impact on the hillside through appropriate siting, finishes, materials and colours;
- Preserve the natural, hillside character and avoid scarring;
- Ensure compatibility with existing neighbourhood or streetscape; and
- Promote a high standard of design, construction and landscaping.

- Ensure road design and anticipated use (e.g. parking) provides for a safe environment and ease of on-going maintenance.

POLICIES

- (1.3) Set buildings into the hillside and step up or down the slope to mimic the natural topography;
- (1.4) Avoid placing tall buildings at high points on the site or in highly visible areas;
- (1.9) Ensure any structures, building faces, street or building lighting do not dominate the landscape.
- (2.1) Preserve any slopes greater than 30% as undisturbed unless roads are required to access developments;
- (2.4) Minimize cut and fill excavation to preserve the natural topography of the hillside. Necessary cuts and fills should be balanced to reduce trucking costs;
- (5.3) Stagger siting of buildings and screen with mature vegetation to minimize the "wall effect";

6.0 Technical Comments

6.1 Building & Permitting Department

No comment

6.2 Development Engineering Department

No comment

6.3 Fire Department

No Comment

6.4 Glenmore-Ellison Irrigation District (GEID)

No Comment

7.0 Application Chronology

Date of Application:

April 27th 2016

Report prepared by:

Adam Cseke, Planner Specialist

Reviewed by:

Terry Barton, Urban Planning Manager

Approved for:

Ryan Smith, Community Planning Department Manager

Attachments:

DVPP17-0104

Sample Images of DP16-0192

DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE DEVELOPMENT VARIANCE PERMIT (DVP17-0104)

Issued To: Acorn Resorts GP Ltd., Inc. No. BCo888222
Site Address: 3450 McKinley Beach Dr
Legal Description: Lot B, Section 29, Township 23, ODYD, Plan EPP67208
Zoning Classification: CD18 – McKinley Beach Comprehensive Resort Development
Development Permit Area: COMPREHENSIVE DEVELOPMENT PERMIT AREA

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Variance Permit No. DVP17-0104 for Lot B, Section 29, Township 23, ODYD, Plan EPP67208, located at 3450 McKinley Beach Dr, Kelowna, BC be granted subject to the following sections of Zoning Bylaw No. 8000:

Schedule 'B' Comprehensive Development Zones – CD18 – 1.3(g) [Development Regulations]
To vary the required maximum Type 'A' unit size of 150 m² not floor area to 217 m².

2. PERFORMANCE SECURITY

None.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall be returned to the PERMIT HOLDER.**

GRANITE AT McKINLEY

KELOWNA, BC



SCHEDULE A & B

This forms part of application
DP16-0192

Planner
Initials

AC



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NO.	DATE	BY	REVISION
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DESIGN CONSULTANT

SCALE

gta

GTA ARCHITECTURE LTD.
243-1889 Springfield Road
Kelowna, British Columbia
V1Y 5V6
Fax: 250.979.4366
Telephone: 250.979.1668

PROJECT

GRANITE AT
MCKINLEY

KELOWNA, BC

SHEET TITLE

COVER SHEET

DRAWN RB	SHEET NO.
DESIGN	A0.0
SCALE AS NOTED	
DATE 2016-09-07	FILE A15-03

SCHEDULE

B

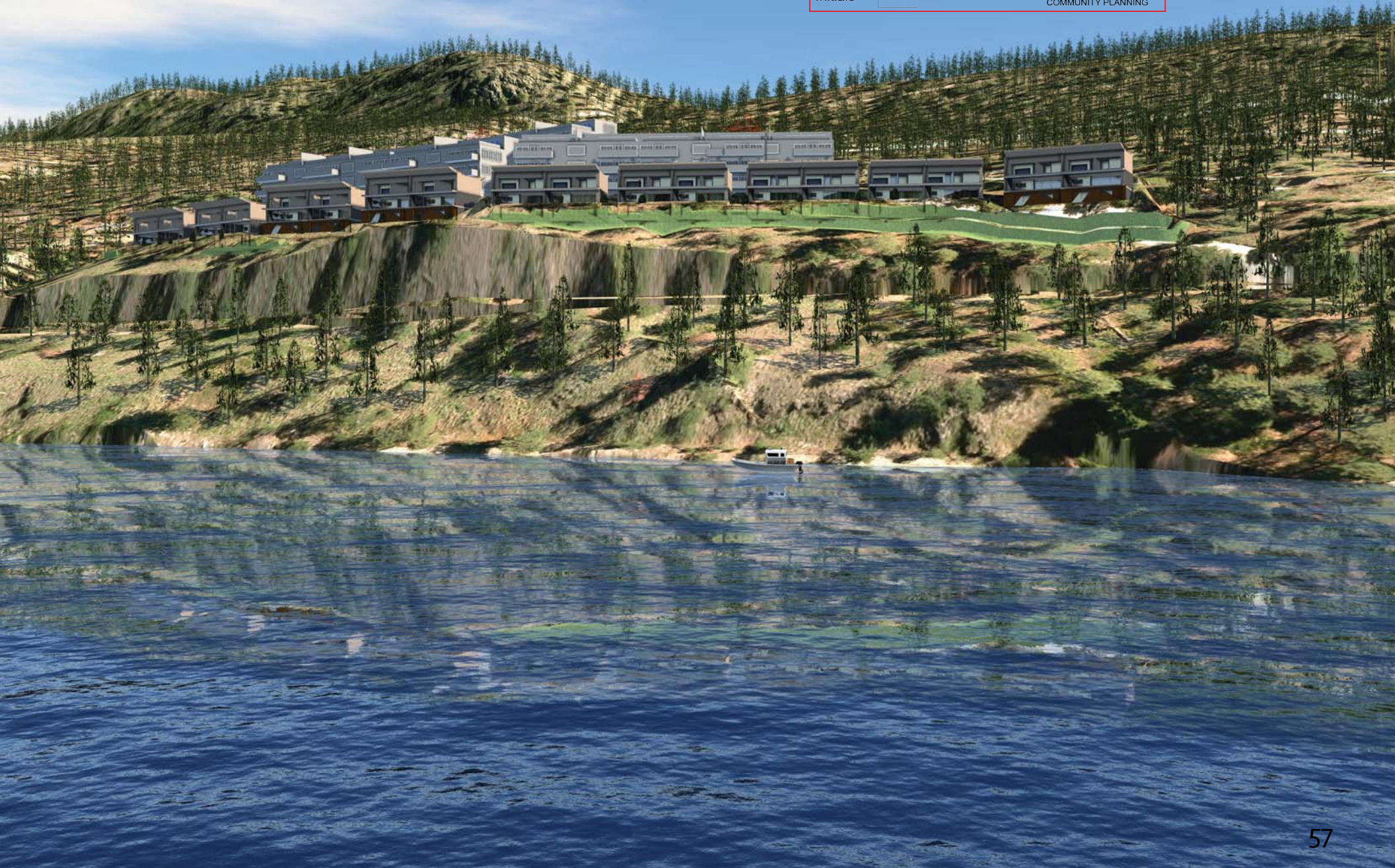
This forms part of application

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SCHEDULE A & B

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243-1889 Springfield Road
Kelowna, British Columbia
V1Y 5V6
Fax: 250.979.4366
Telephone: 250.979.1668

PROJECT

GRANITE AT
MCKINLEY

KELOWNA, BC

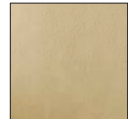
SHEET TITLE

COLOUR
PERSPECTIVES

DRAWN RB	SHEET NO.
DESIGN	A3.4
SCALE AS NOTED	
DATE 2016-09-07	FILE A15-03



PINE LOOK SOFFIT



HARDI PANEL - AUTUMN TAN



HARDI PANEL - IRON GREY



HARDI PLANK - COUNTRY LANE RED



ARTISTIC CONCRETE FINISH



CAMBRIA - LEDGESTONE



BLACK FRAMED WINDOW
WITH BLUE TINT GLAZING

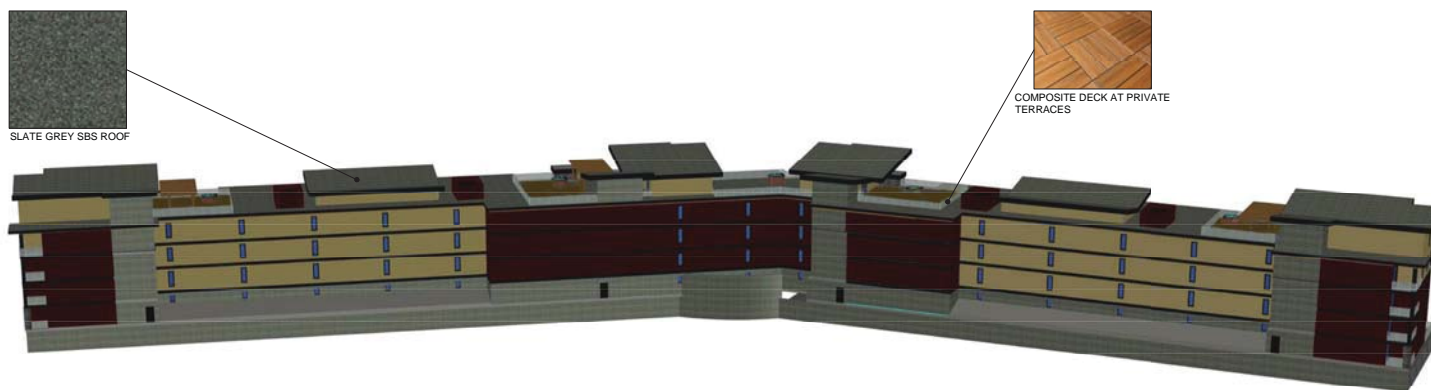


CAMBRIA - LEDGESTONE

UNTINTED GLASS RAILING
WITH SILVER ANODIZED POSTS



ARTISTIC CONCRETE FINISH



SCHEDULE A & B

This forms part of application
DP16-0192

Planner
Initials

AC



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243-1889 Springfield Road
Kelowna, British Columbia
V1Y 5V6
Fax: 250.979.4366
Telephone: 250.979.1668

PROJECT

GRANITE AT
MCKINLEY

KELOWNA, BC

SHEET TITLE

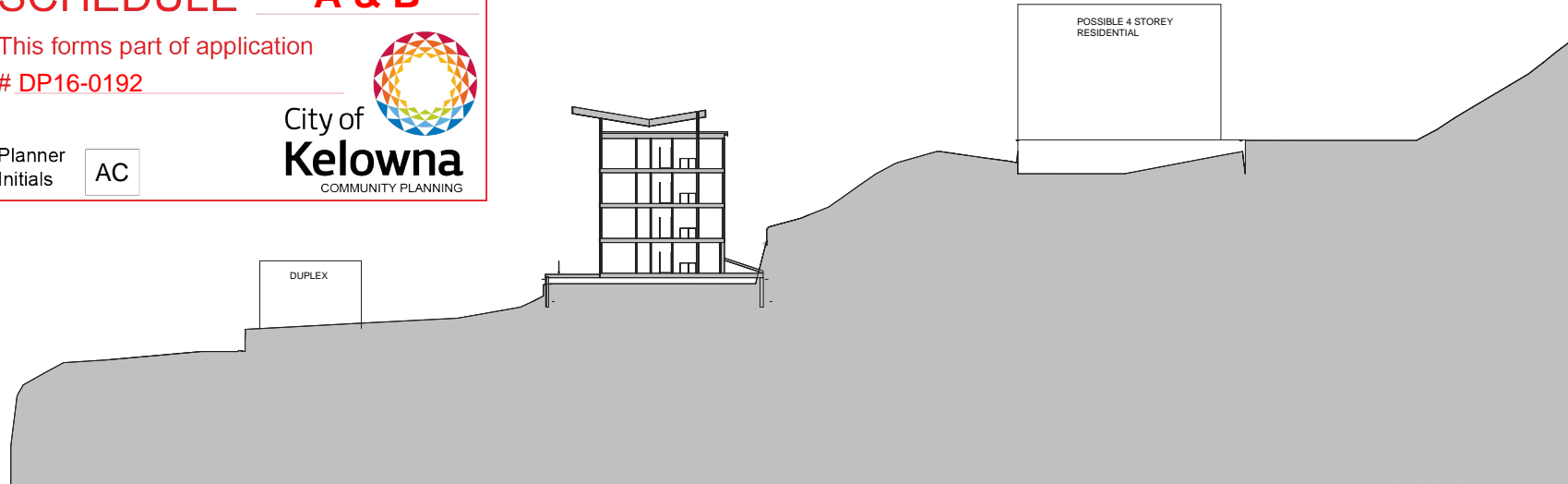
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PERSPECTIVES

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DATE 2016-09-07	FILE A15-03

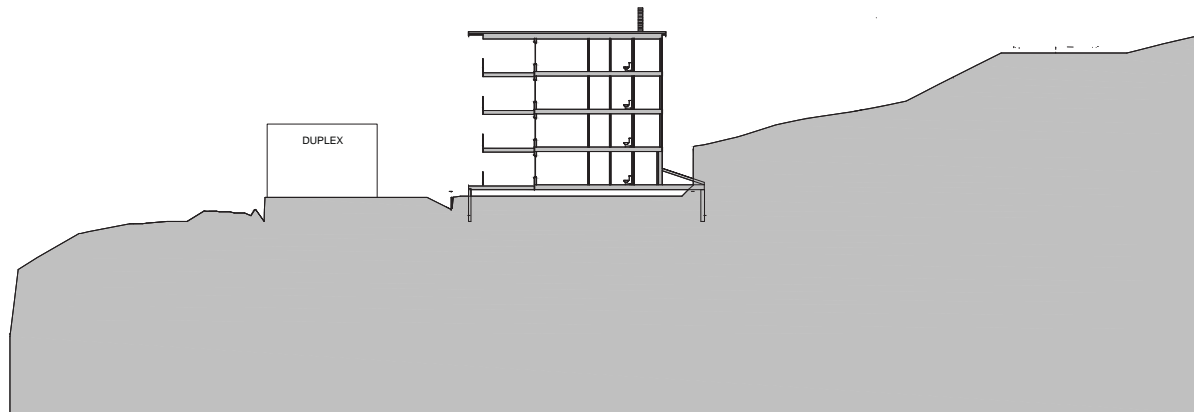
SCHEDULE A & B

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1 SITE SECTION
A4.0 1/16"=1'-0"



2 SITE SECTION
A4.0 1/16"=1'-0"

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1	20160623	RB	ISSUE FOR OP

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243-1889 Springfield Road
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V1Y 5V6
Fax: 250.979.4366
Telephone: 250.979.1668

PROJECT

GRANITE AT
MCKINLEY

KELOWNA, BC

SHEET TITLE

SITE SECTION

DRAWN BY	SHEET NO.
DESIGN	A4.0
SCALE AS NOTED	
DATE 2016-09-07	FILE: A15-03

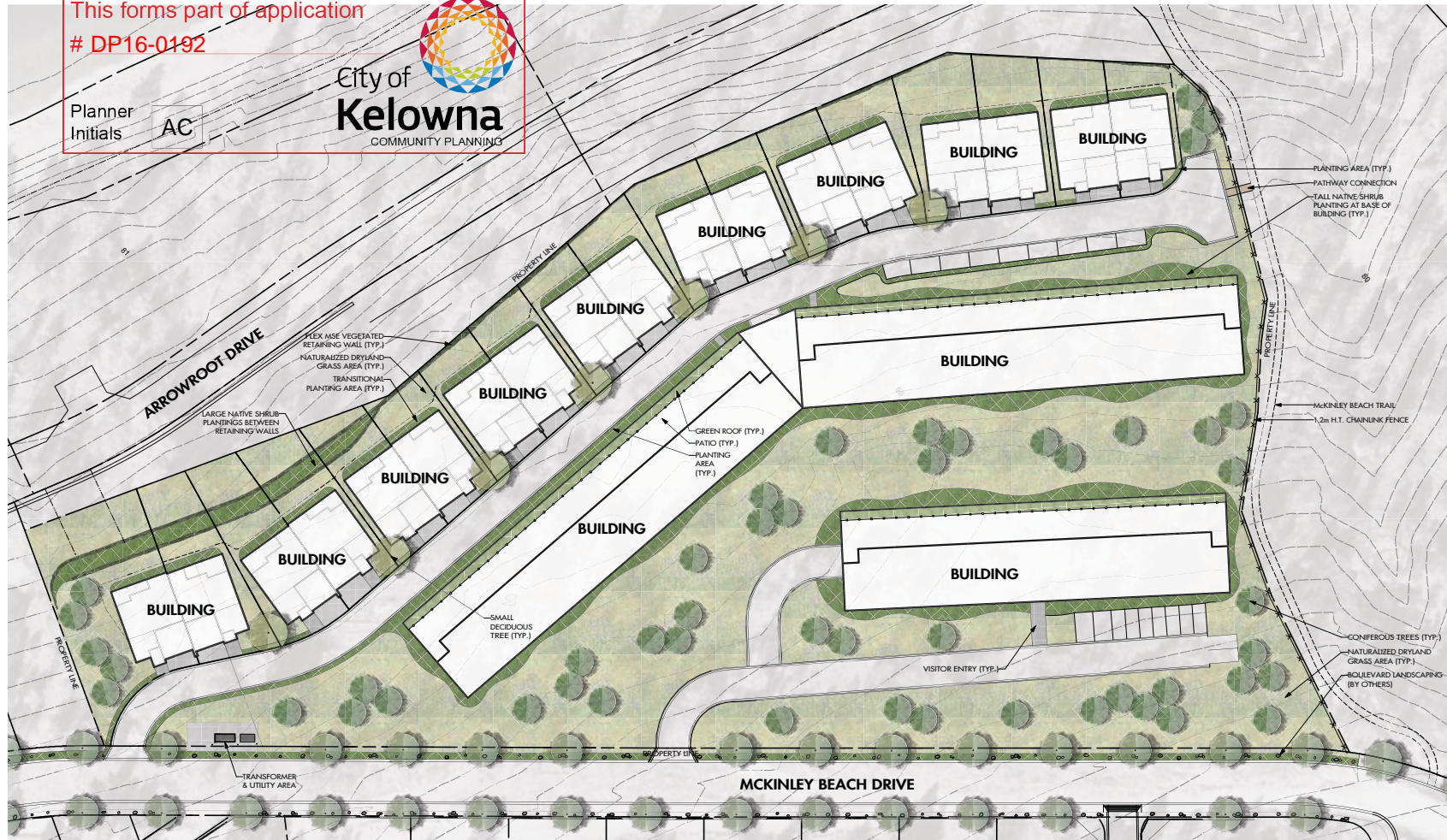
SCHEDULE

C

This forms part of application
DP16-0192

Planner
Initials AC

City of
Kelowna
COMMUNITY PLANNING



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

206 - 1889 Spall Road
Kelowna, BC V1Y 4R2
T (250) 868-9270
www.outlanddesign.ca



PROJECT TITLE

**GRANITE AT MCKINLEY
BEACH**

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL
LANDSCAPE PLAN**

ISSUED FOR REVISION

NO.	DATE	REVISION
1	16.05.06	Review
2		
3		
4		

PROJECT NO.

DESIGN BY

DRAWN BY

CHECKED BY

DATE

SCALE

SEAL



DRAWING NUMBER

L1/1

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LANDSCAPE NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C.L.N.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED WITH A MINIMUM 75mm WOOD MULCH. PLACEMENT.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. FLEX MSE VEGETATED RETAINING WALLS TO BE POCKET PLANTED WITH NATIVE SHRUBS (APPROXIMATELY 1 SHRUB EVERY 3 SQ. M).

HYDROSEEDING DRYLAND SEED AREAS:			
DRYLAND SEED MIXTURE	BY WEIGHT	BY SPECIES	
BLUE BUNCH WHEAT GRASS	41%	23%	
ROUGH FESCUE	25%	20%	
DAHO FESCUE	15%	19%	
PERENNIAL RYEGRASS	10%	7%	
SANDBERG BLUEGRASS	5%	13%	
JUNE GRASS	4%	18%	
WILDFLOWER SEED MIXTURE			
SILKY LUPINE	BY WEIGHT	BY SPECIES	
BALSAM ROOT	30%	30%	
BROWN EYED SUSAN	35%	35%	
COMMON YARROW	5%	5%	

HYDROSEEDING APPLICATION RATE (DRYLAND SEED AREA)			
NATIVE SEED	DRYLAND SEED MIXTURE	125KG/HECTARE	
WILDFLOWER SEED MIXTURE	1KG/HECTARE		
FERTILIZER	18-18-18-2, 50% SULPHUR COATED UREA	300KG/HECTARE	
MULCH	CANFOR ECOPHIRE PLUS TAC	2,800KG/HECTARE	
TACKIFIER	GLUE	3% OF MIX	

THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND SEED AREA AND FLEX MSE VEGETATED RETAINING WALLS AS SHOWN ON THE DRAWING. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
TREES			
AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SASKATOON	7	4cm CAL. / MULTI-STEM
PRINUS PENDERGOSA	PONDEROSA PINE	25	2.0m HT.
PSUEDOTSUGA MENZIESII	INTERIOR DOUGLAS FIR	25	2.0m HT.
SHRUBS, PERENNIALS & GRASSES			
ACHILLEA MOONSHINE	MOONSHINE YARROW	278	#01 CONT. / 0.6m O.C. SPACING
AMELANCHIER ALNIFOLIA	SASKATOON	80	#01 CONT. / 2.0m O.C. SPACING
CORNUS SERICEA	RED OSIER DOGWOOD	57	#01 CONT. / 2.0m O.C. SPACING
CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	260	#01 CONT. / 1.0m O.C. SPACING
ECORINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	278	#01 CONT. / 0.6m O.C. SPACING
KOeleria PYRAMIDATA	JUNE GRASS	1,111	PLUGS / 0.3m O.C. SPACING
MAHONIA AQUIFOLIUM	OREGON GRAPE	195	#01 CONT. / 1.2m O.C. SPACING
PHILADELPHUS 'SNOWBELLE'	SNOWBELLE MOCKORANGE	260	#01 CONT. / 1.0m O.C. SPACING
RHUS AROMATICA 'GOLD LOW'	GOLD LOW SUMAC	114	#01 CONT. / 1.5m O.C. SPACING
SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	BLUE LITTLE BLUESTEM	179	#01 CONT. / 0.75m O.C. SPACING
SYMPHORICARPOS ALBUS	SNOWBERRY	275	#01 CONT. / 1.5m O.C. SPACING
ROSA WOODSTOCK	WOODS ROSE	129	#01 CONT. / 1.5m O.C. SPACING



REPORT TO COUNCIL



Date: August 29, 2017

RIM No. 0940-50

To: City Manager

From: Community Planning Department (JR)

Application: DVP17-0128 **Owner:** Folio Building Group Inc.

Address: 781 Bay Avenue – Lot 28 & 29 **Applicant:** Shane Phillip Styles

Subject: Development Variance Permit

Existing OCP Designation: IND-T – Industrial - Transitional

Existing Zone: RU6 – Two Dwelling Housing

1.0 Recommendation

THAT Council NOT authorize the issuance of Development Variance Permit No. DVP17-0128 for Lot 28 & 29, Section 30, Township 26, ODYD, Plan 1304, located at 781 Bay Avenue, Kelowna, BC;

2.0 Purpose

To consider a Staff recommendation to NOT issue a Development Variance Permit to vary the side yard setback, carriage house roof height, and upper storey floor area of the proposed carriage houses on the subject properties.

3.0 Community Planning

The applicant is proposing a contemporary, 2 storey single family dwelling with a carriage house on each of the two subject properties. Access is proposed to be off the rear lane. Currently, there is an older single family dwelling and detached garage that straddle the two legal lots (Lot 28 & 29) that will be removed to facilitate the development. The contemporary nature of the proposed buildings has resulted in the request for three variances. The applicants have opted for a skillion style roof (lower slope) which has resulted in the request to vary the carriage house roof height and the upper storey floor area of the carriage house. The applicant is also requesting to vary the adjoining lot line side yard setback on each property.

Staff are not supportive of the proposed height and upper floor area variances. The City's current carriage house regulations were revised several times over the past decade to specifically guard against the visual impact of large carriage houses and their associated privacy concerns with neighbouring properties. This is why Council directed staff to include single storey incentives for carriage houses within the Zoning Bylaw as single storey privacy impacts are drastically reduced on neighbouring properties. Further, within the North End neighbourhood, the concerns of over-height carriage houses are magnified as the neighbourhood contains many smaller and shorter homes.

The proposed carriage house design includes a skillion style roof (lower slope) in order to maximize the amount of floor area above the garage. If a traditional gable roof was used with dormers, this would drastically reduce the effective floor area. This was the purpose behind the regulation requiring the upper floor to be 75% of the bottom floor in order to prevent box carriage house designs (i.e. exterior walls going straight up to the second storey). Further, the second storey footprint is larger than the first floor as the design contains an upper floor protrusion. The protrusion adds even more floor area to the second floor further undermining the maximum upper floor ratio and the overall definition of a carriage house. The proposed design is closer in form to a second dwelling, than that of a carriage house.

Most flat roof designed carriage houses need a height variance and Staff have previously supported flat roof design carriage houses but only when the building meets the 75% upper floor square footage rule. The applicant could have built more floor area on the first floor to eliminate the upper storey massing and eliminate the variance but the applicant wanted to maintain their backyard open space.

An alternative recommendation for support of the development permit and variances has been included in Section 7.0 for Council's consideration.

4.0 Proposal

4.1 Project Description

The applicant is requesting the following three variances to allow for the construction of a single family dwelling and carriage house:

- 1) To vary the required side yard setback (adjoining lot line) on each property from 2-2.3m permitted to 1.2m proposed.
- 2) To vary the required carriage home roof height from 4.5m permitted to 6.26m proposed.
- 3) To vary the required upper storey floor area ratio to carriage house footprint from 75% permitted to 100% proposed

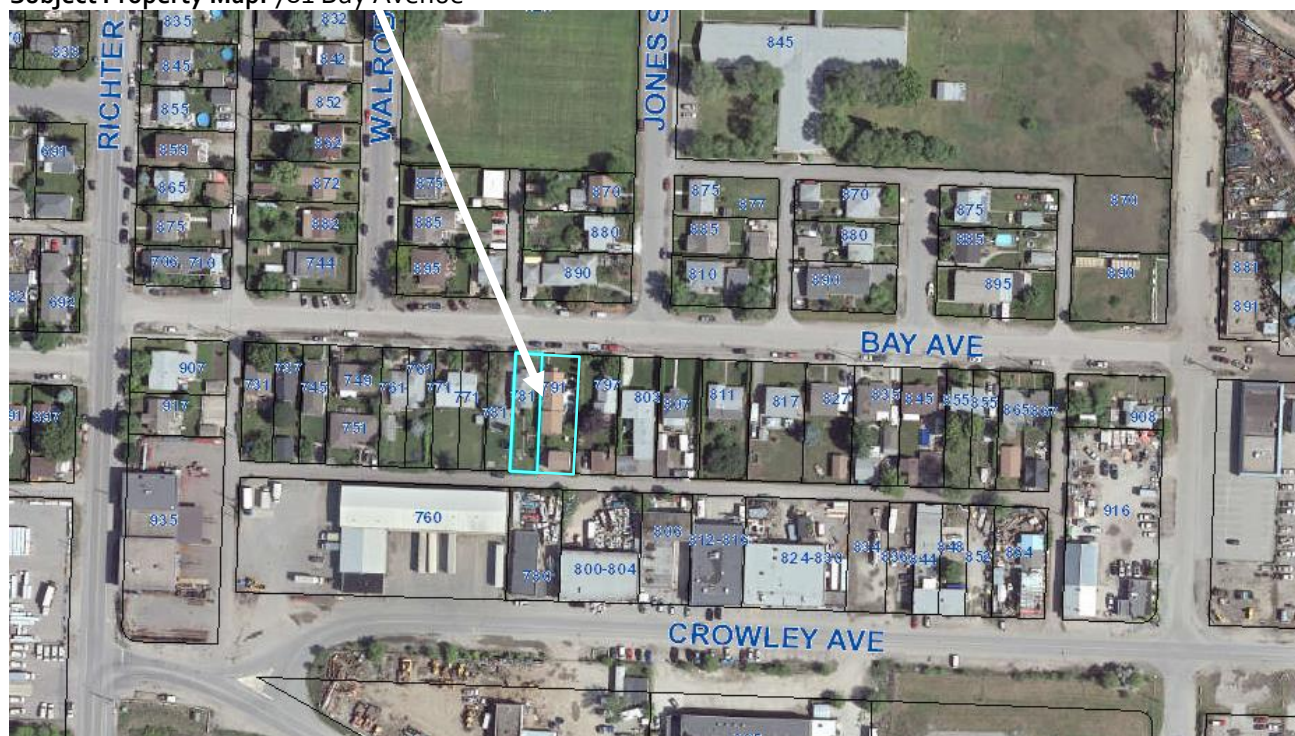
4.2 Site Context

The properties are located between Bay Avenue and a lane. The subject properties are 890 m² each, designated IND-T – Industrial – Transitional and are within the Permanent Growth Boundary.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing	Residential
East	RU6 – Two Dwelling Housing	Residential
South	I4 – Central Industrial	Industrial Warehouses
West	RU6 – Two Dwelling Housing	Residential

Subject Property Map: 781 Bay Avenue



4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU6 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Site coverage of Building(s) (%)	Max 40%	36.25%
Site Coverage of buildings, driveways, and parking (%)	Max 50%	43%
Height	9.5 m	7.3 m
Front Yard	4.5 m	4.5 m
Side Yard (east/west)	2-2.3 m	1.2 m (adjacent property line) ❶
Side Yard (east/west)	2-2.3 m	2-2.3 m
Rear Yard	7.5 m	m
Carriage House Regulations		
Maximum Accessory Site Coverage	14%	13.84%
Maximum Accessory Building Footprint	90 m ²	62.43 m ²
Maximum Net Floor Area	90 m ²	62.15 m ²
Maximum Net Floor Area to Principal Building	75%	31.78%
Maximum Upper Storey Floor Area to Building Footprint	75%	100% ❸
Maximum Height (to mid-point)	4.8 m	6.26 m ❷
Maximum Height (to peak)	Peak of principal dwelling	7.3 m
Minimum Front Yard	To be in rear yard	7.62 m

Minimum Side Yard (east/west)	2.0 m	1.2m (adjacent property line) ❶
Minimum Side Yard (east/west)	4.5 m (flanking street)	2.3m
Minimum Rear Yard	0.9 m 1.5 m (to garage / carport) 2.0 m (no lane)	4.94 m
Minimum Distance to Principal Building	3.0 m	7.62 m
Other Regulations		
Minimum Parking Requirements	3	4
Private Open Space	30 m ²	30 m ²
❶ To vary the required side yard setback (adjoining lot line) on each property from 2-2.3m permitted to 1.2m proposed. ❷ To vary the required carriage home roof height from 4.5m permitted to 6.26m proposed. ❸ To vary the required upper storey floor area to carriage house footprint from 75% permitted to 100% proposed.		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Development Process

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Sensitive Infill.² Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighborhood with respect to building design, height and siting.

6.0 Technical Comments

6.1 Building & Permitting Department

- 1) Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- 2) A third party work order may be required with the Development Engineering Department for an upgraded water line and sewage connection. These requirements are to be resolved prior to issuance of the Building Permit.
- 3) HPO (Home Protection Office) approval or release is required at time of Building Permit application.
- 4) The drawings submitted for Building Permit application are to indicate the method of fire separation between the garage and the suite.
- 5) Range hood above the stove and the washroom to vent separately to the exterior of the building. The size of the penetration for this duct thru a fire separation is restricted by BCBC 12, so provide size of ducts and fire separation details at time of Building Permit Applications.

¹ City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.26.6 (Development Process Chapter).

- 6) Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

6.2 Development Engineering Department

See Attachment

6.3 Fire Department

No concerns

6.4 FortisBC Inc - Electric

There are FortisBC Inc (Electric) ("FBC(E)") primary distribution facilities along Bay Avenue. The existing improvements are serviced from a pole located at the northeast corner of the existing Lot 28. Based on the plans submitted, it is recommended that FBC(E) be contacted as soon as possible to determine servicing and land rights requirements for the proposed design. The applicant is responsible for costs associated with any change to the subject property's existing service, if any, as well as the provision of appropriate land rights where required.

7.0 Alternate Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0128 for Lot 28 & 29, Section 30, Township 26, ODYD, Plan 1304, located at 781 Bay Avenue, Kelowna, BC;

AND THAT variance to the following sections of Zoning Bylaw No. 8000 be granted:

Section 13.6.6 (g): RU6 – Two Dwelling Housing Development Regulations

To vary the required side yard setback (adjoining lot line) on each property from 2-2.3m permitted to 1.2m proposed;

Section 13.6.6 (e): RU6 – Two Dwelling Housing Development Regulations

To vary the required carriage home roof height from 4.8m permitted to 6.26m proposed;

Section 13.6.6: RU6 (b) – Two Dwelling Housing Development Regulations

To vary the required upper storey floor area ratio to carriage house footprint from 75% permitted to 100% proposed;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

8.o Application Chronology

Date of Application Received: May 19th, 2017
Date Public Consultation Completed: July 5th, 2017

Prepared by: Jenna Ratzlaff, Planner

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Schedule 'A': Development Engineering Comments
Schedule 'B': Development Variance Permit
Schedule 'C': Site Plan and Conceptual Elevations

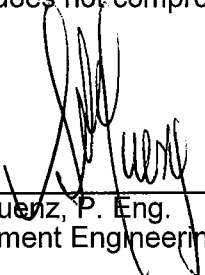
CITY OF KELOWNA

MEMORANDUM

Date: June 06, 2017
File No.: DVP17-0128
To: Community Planning (JR)
From: Development Engineer Manager (SM)
Subject: 781 Bay Ave

The Development Engineering comments and requirements regarding this DVP application are as follows:

The request to vary the side yard setback, height, and upper floor area ratio of 2 carriage houses does not compromise any municipal services.



Steve Muenz, P. Eng.
Development Engineering Manager

JA

SCHEDULE

A

This forms part of application
DVP17-0128

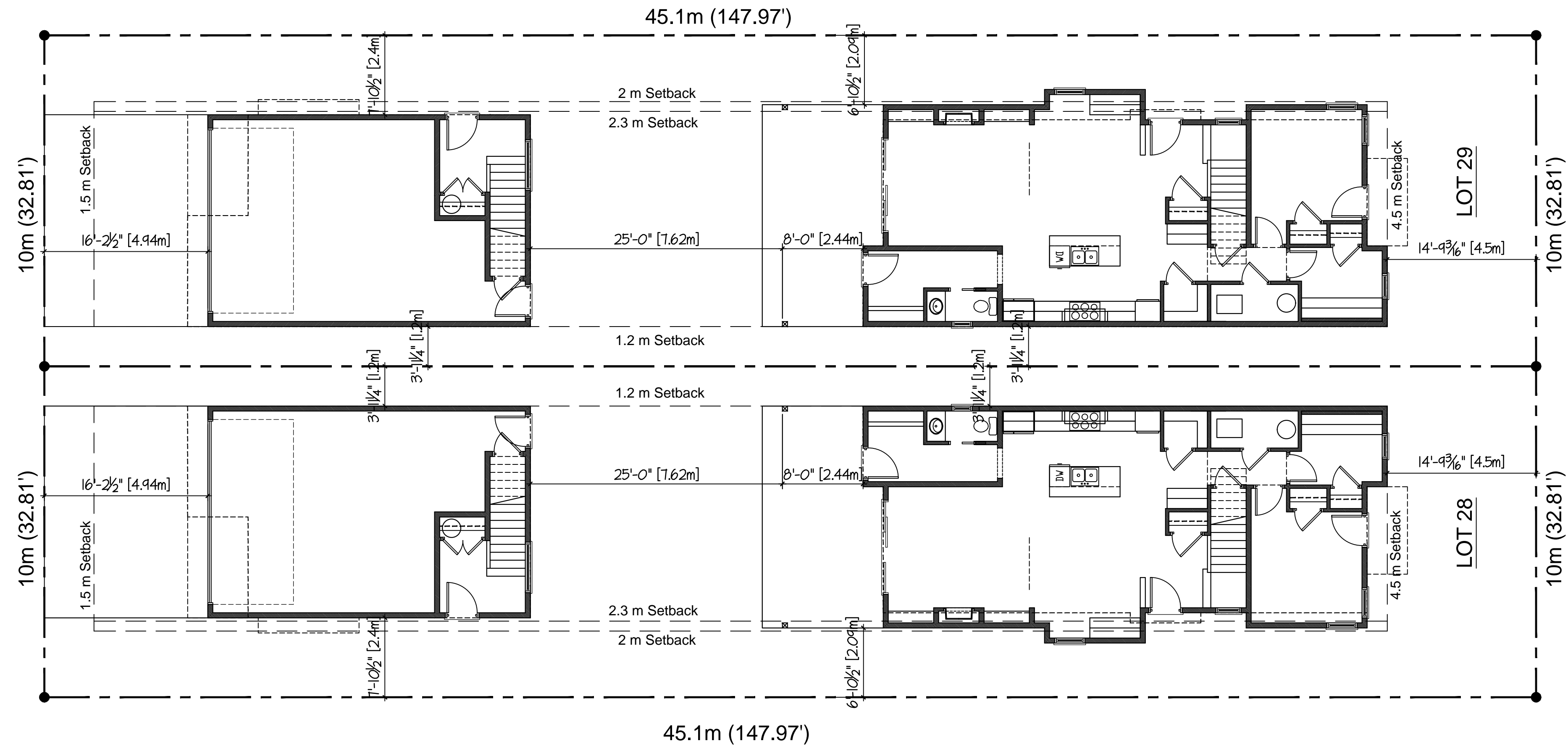
Planner
Initials

JR

City of
Kelowna
COMMUNITY PLANNING



LANE



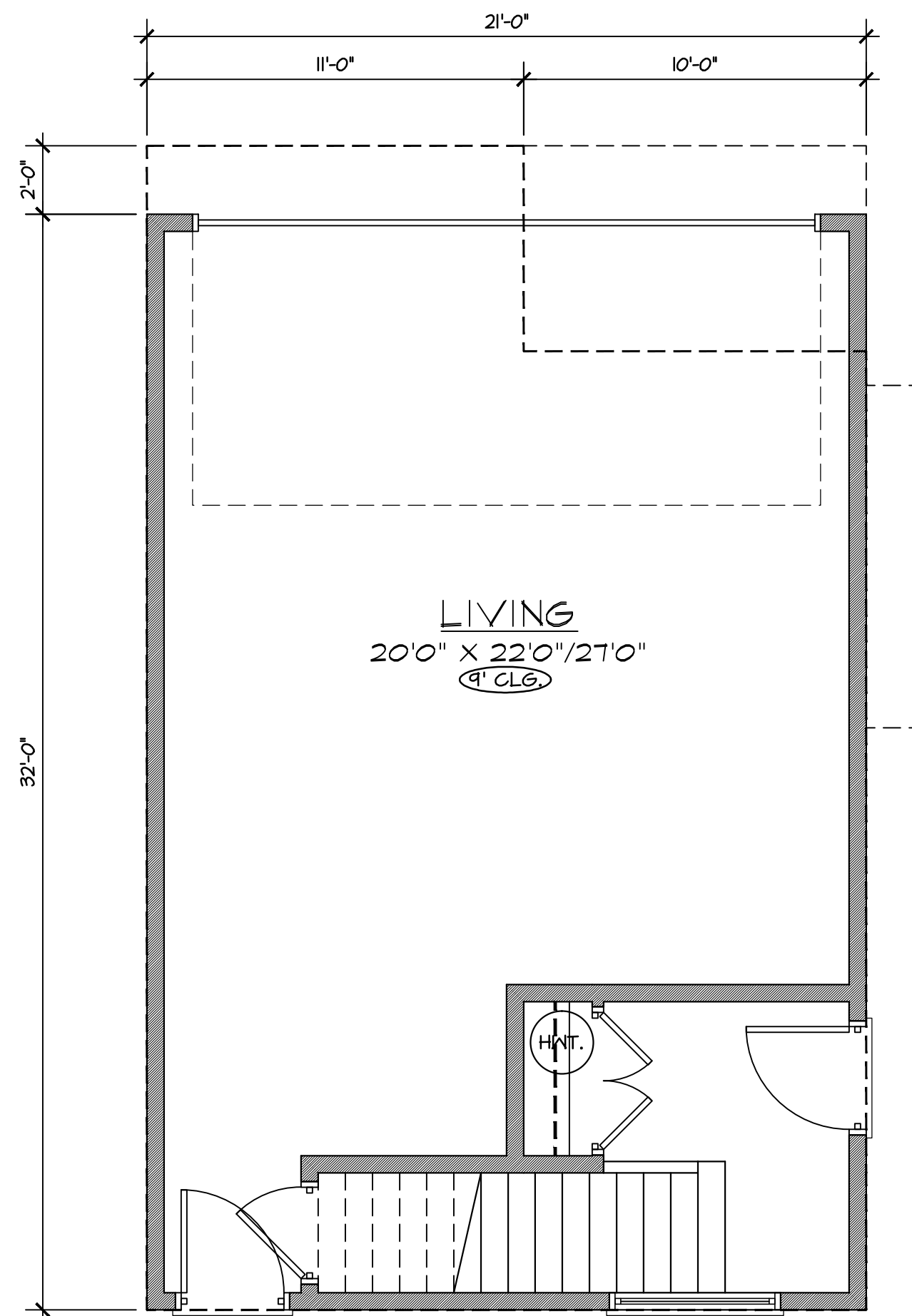
BAY AVE

Site Coverage Calculation (per lot):	
Lot area =	4855 sq.ft.
House area =	1088 sq.ft.
Garage area =	672 sq.ft.
Driveway area =	340 sq.ft.
Bldg. Coverage =	36%
Bldg. & D.W. Cov. =	43%

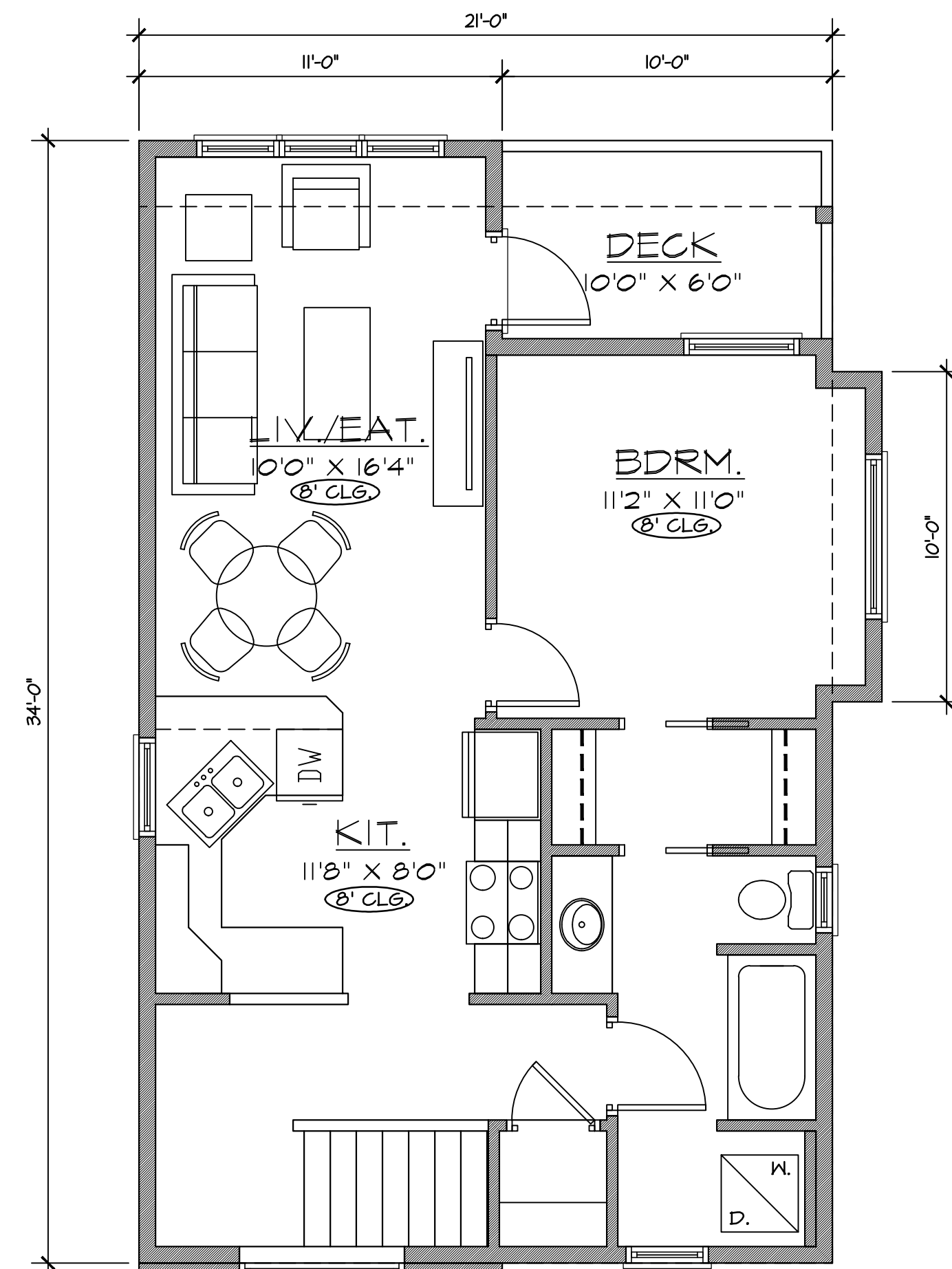
Civic Address: 781 Bay Avenue (Lots 28 & 29)
Legal Address: Lots 28 & 29, KAP 1304,
Section 30, Twp. 26, ODYD
Project Name: Bay Avenue Project
Applicant: Folio Building Group
Contact: Shane Styles 250-808-7998

ERRORS AND OMISSIONS

- BAXTER DESIGN & SHANE BAXTER shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- BAXTER DESIGN & SHANE BAXTER makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

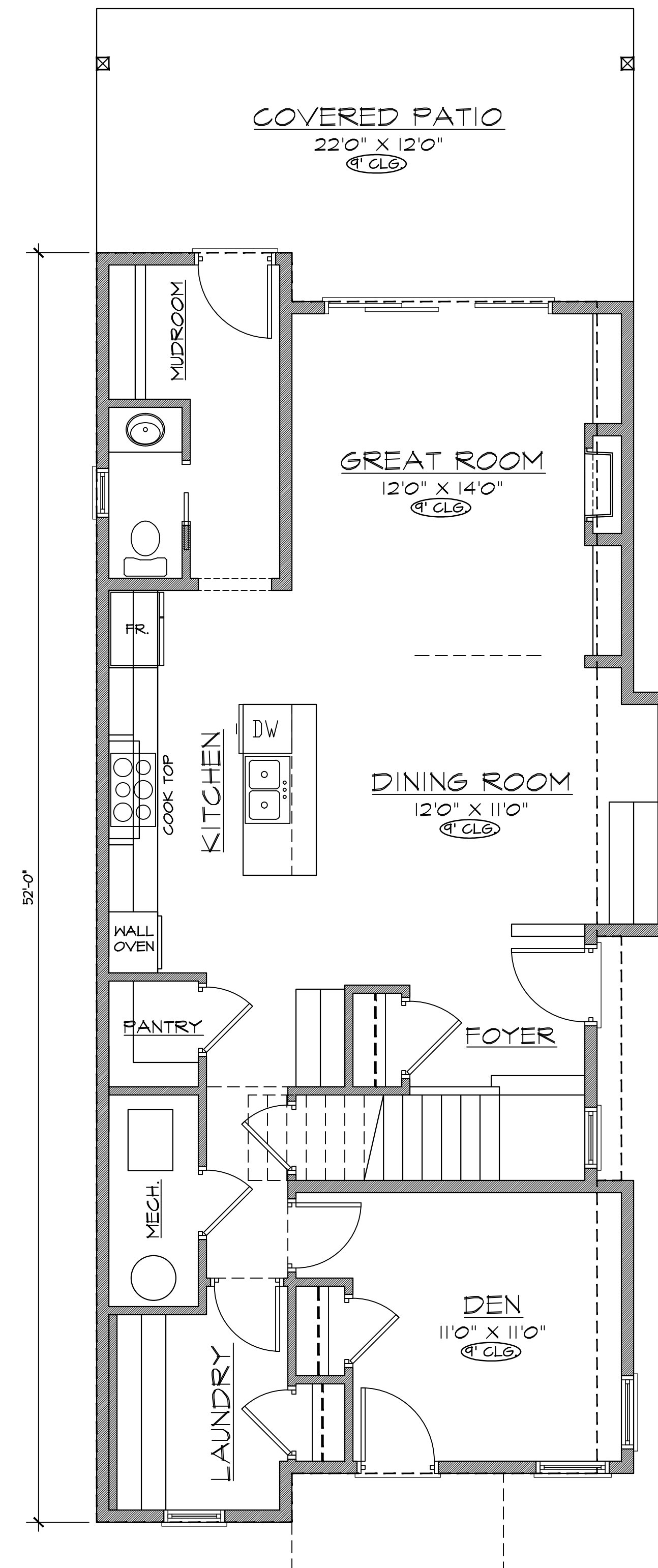


MAIN FLOOR PLAN 90 SQ. FT.

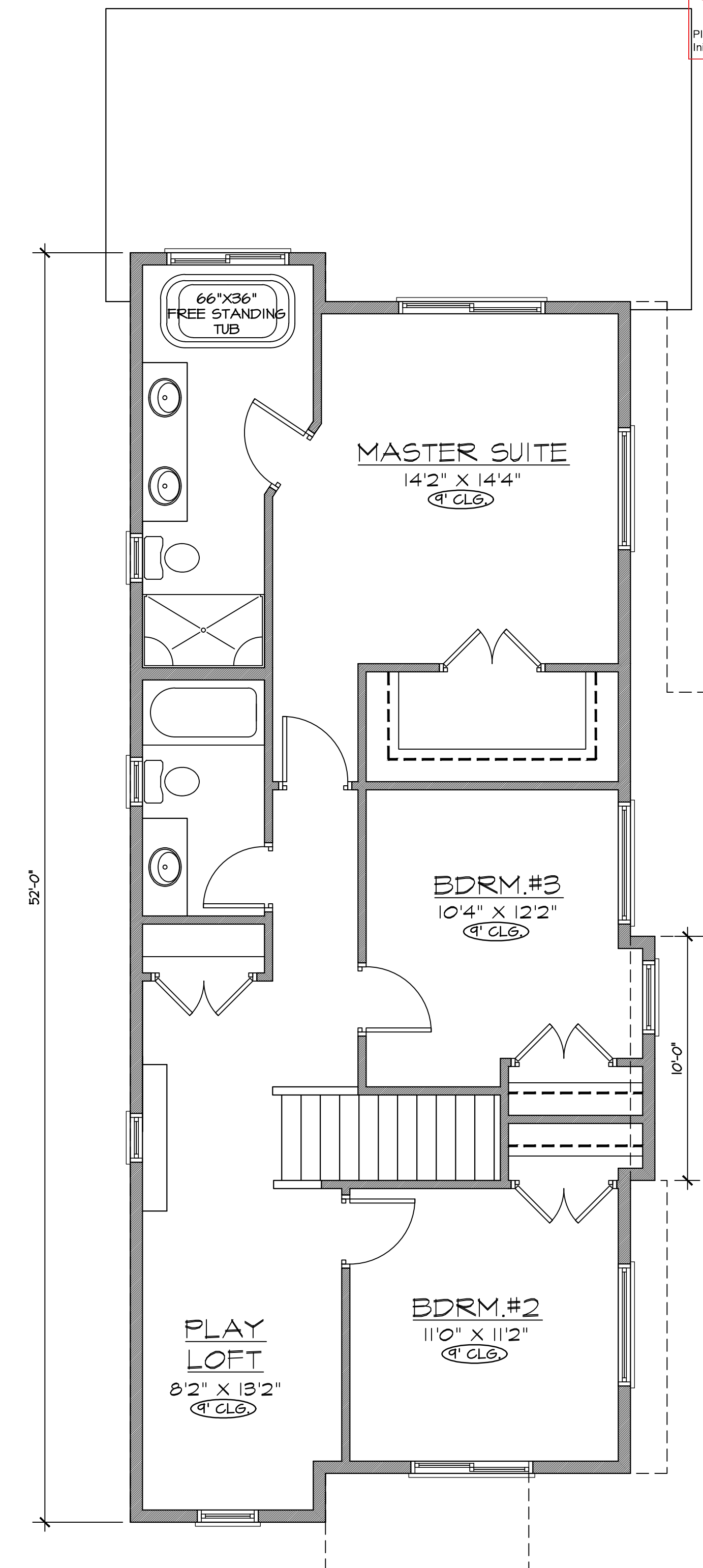


UPPER FLOOR PLAN 669 SQ. FT.

CARRIAGE HOUSE PLAN



MAIN FLOOR PLAN 1088 SQ. FT.



UPPER FLOOR PLAN 1026 SQ. FT.

MAIN HOUSE PLAN

LOT 29 FLOOR PLANS

ERRORS AND OMISSIONS

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BAXTER DESIGN
 Custom Building Design
 SHANE BAXTER DESIGNS INC.
 KELOWNA, B.C. CANADA
 ph: (250) 862-9662
 email: baxterdesign@shaw.ca

DEVELOPMENT PROPOSAL FOR:
 781 BAY AVENUE
 KELOWNA, B.C.
 Drawing Scale: 1/4" = 1'-0"
 Date: MAY 17, 2017
 Rev. Date: JUNE 21, 2017
 Drn. By: S.H.B.

D.P. APPLICATION

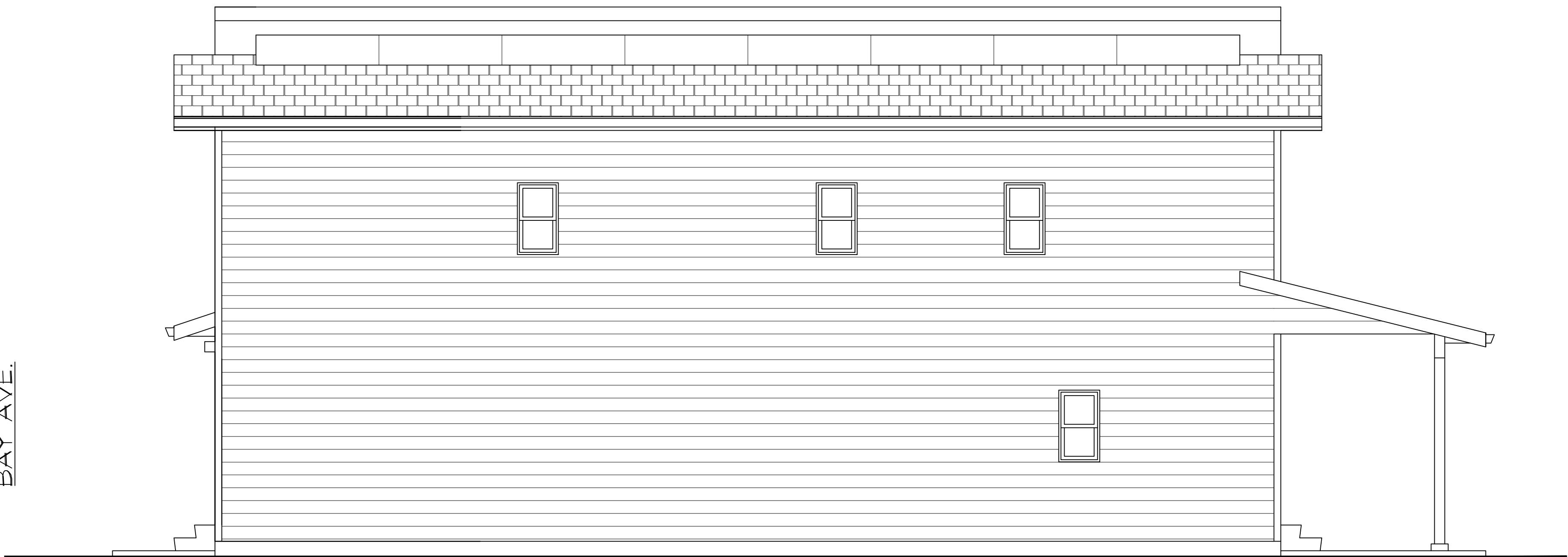
5/8



LEFT ELEVATION



HOUSE
FRONT ELEVATION



RIGHT (INSIDE) ELEVATION



HOUSE
REAR ELEVATION

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LOT 28 HOUSE ELEVATIONS

B

BAXTER DESIGN

Custom Building Design

SHANE BAXTER DESIGNS INC.

KELOWNA, B.C. CANADA

ph: (250) 862-9662

email: baxterdesign@shaw.ca

DEVELOPMENT PROPOSAL FOR:

781 BAY AVENUE

KELOWNA, B.C.

Drawing Scale: 1/4" = 1'-0"

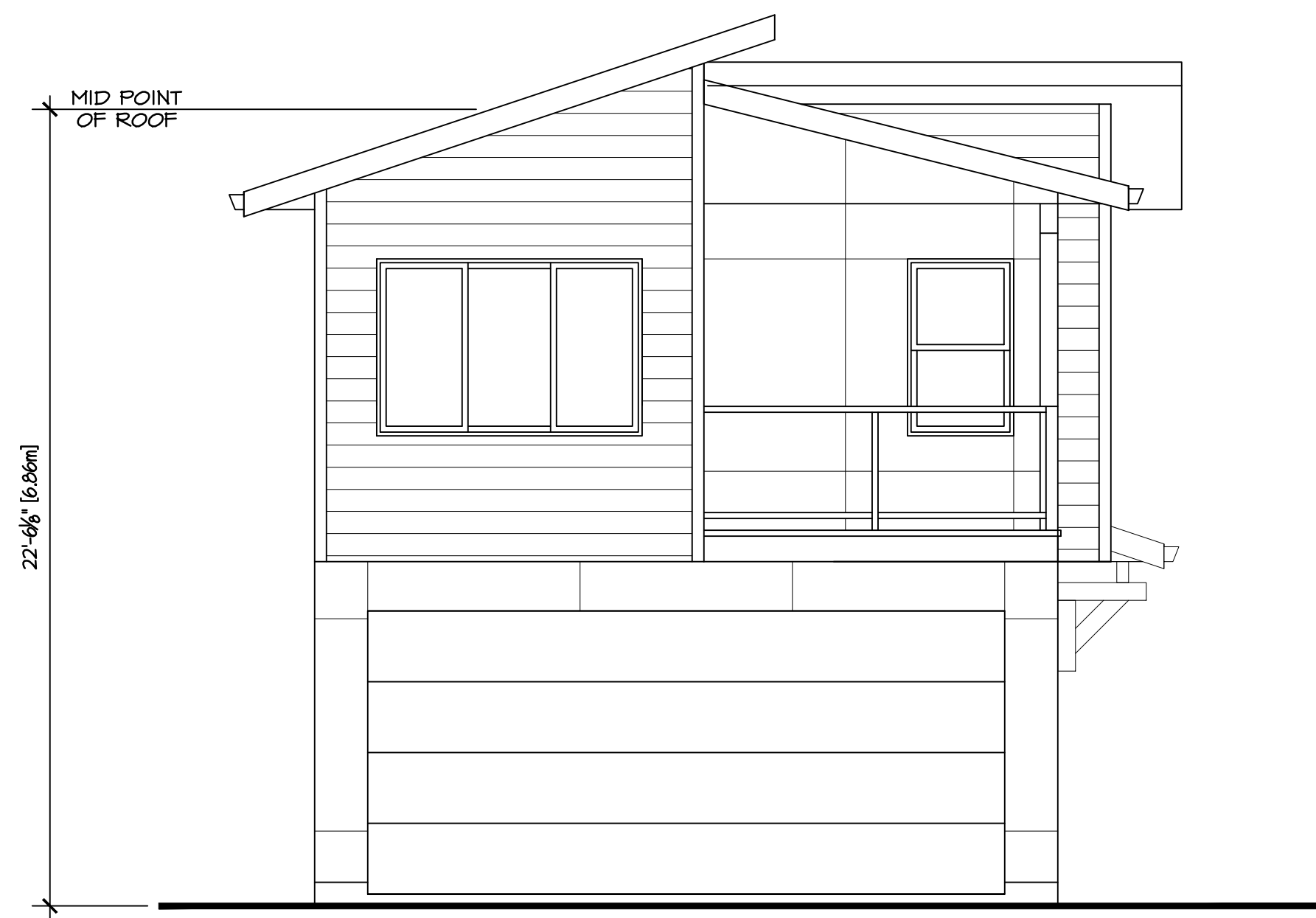
Date: MAY 17, 2017

Rev. Date:

Drn. By: S.H.B.

D.P. APPLICATION

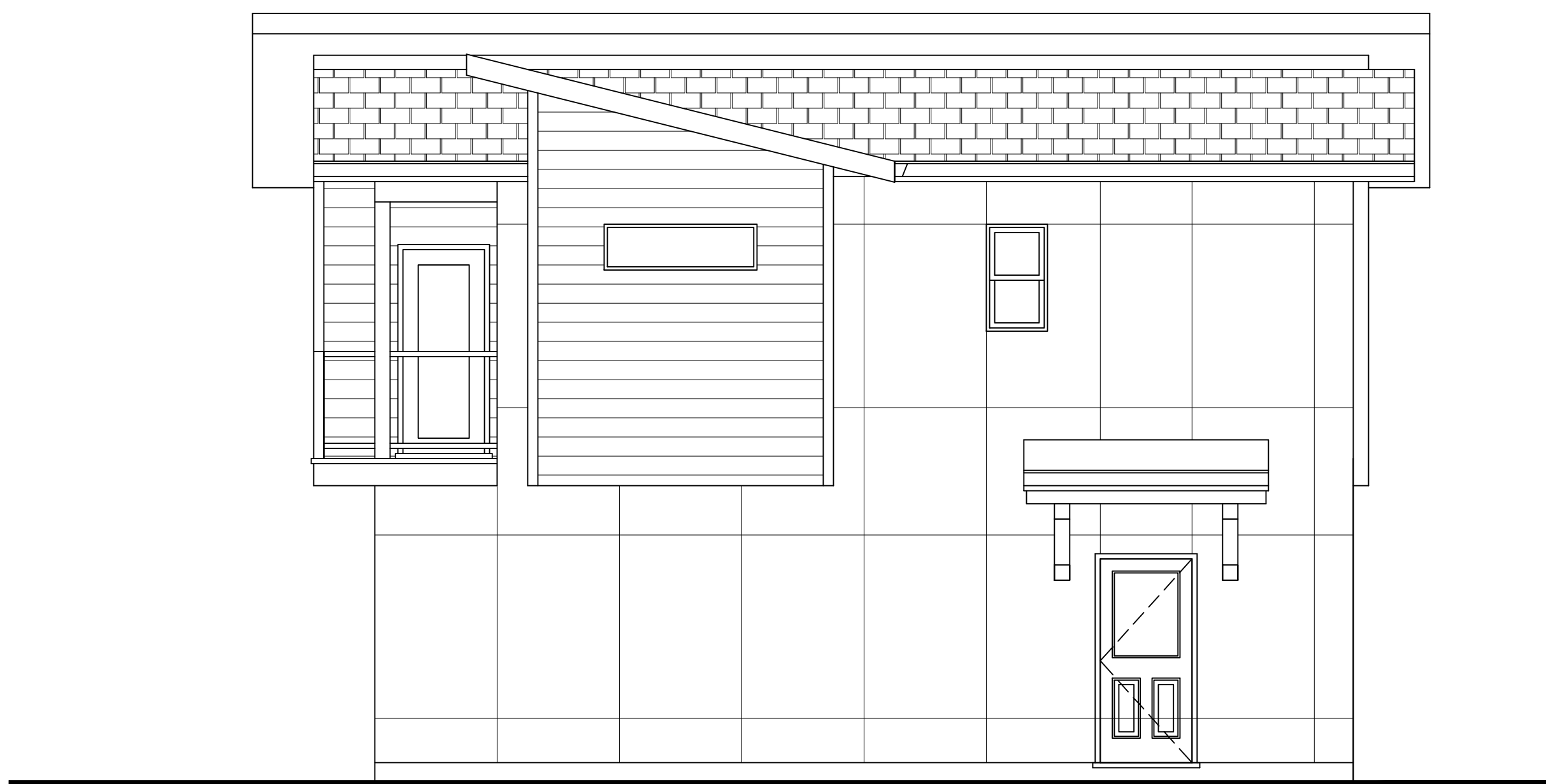
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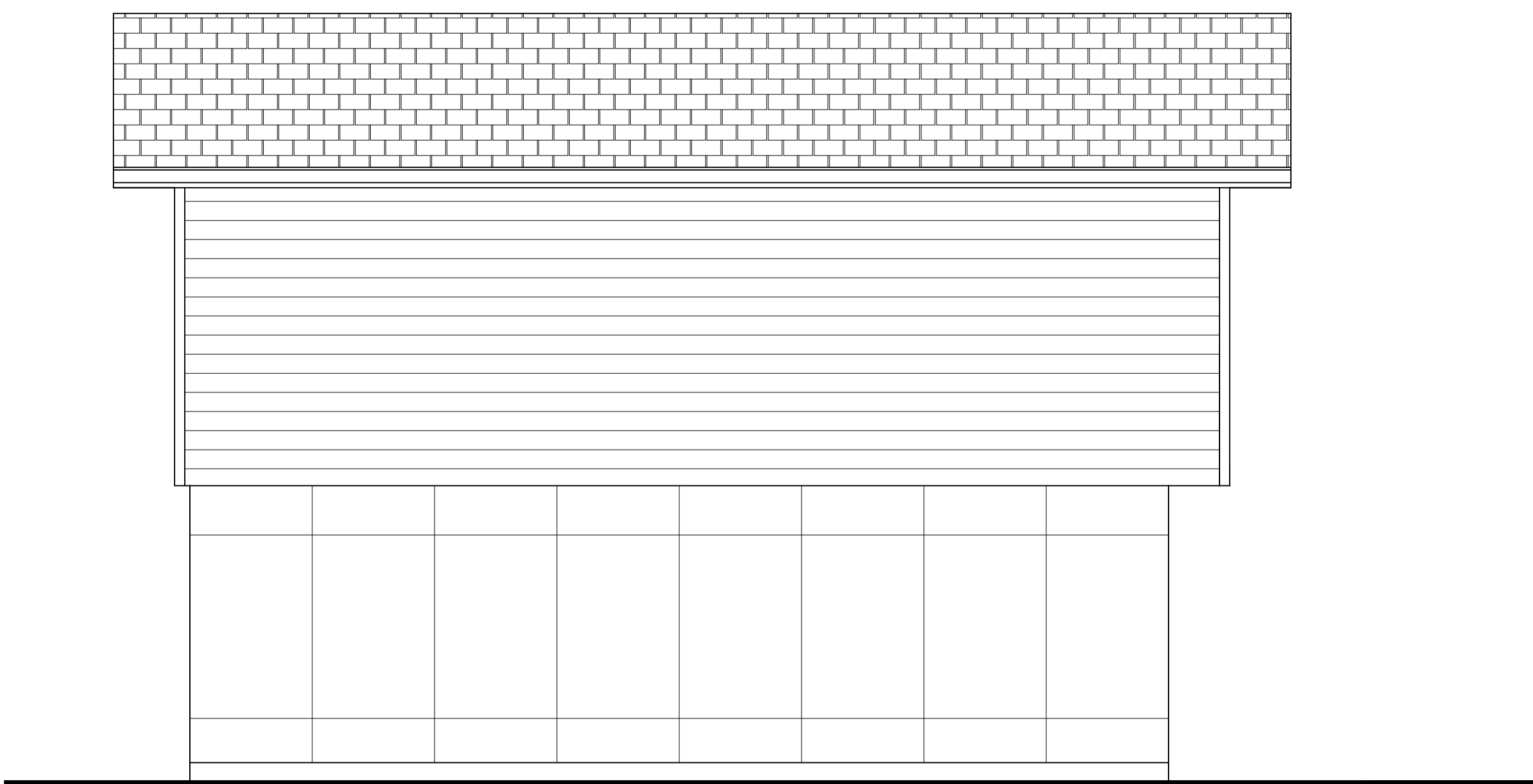
CARRIAGE HOUSE
FRONT (LANE) ELEVATION



CARRIAGE HOUSE
REAR ELEVATION



CARRIAGE HOUSE
OUTSIDE ELEVATION



CARRIAGE HOUSE
INSIDE ELEVATION

LOT 28 CARRIAGE HOUSE ELEVATIONS

ERRORS AND OMISSIONS

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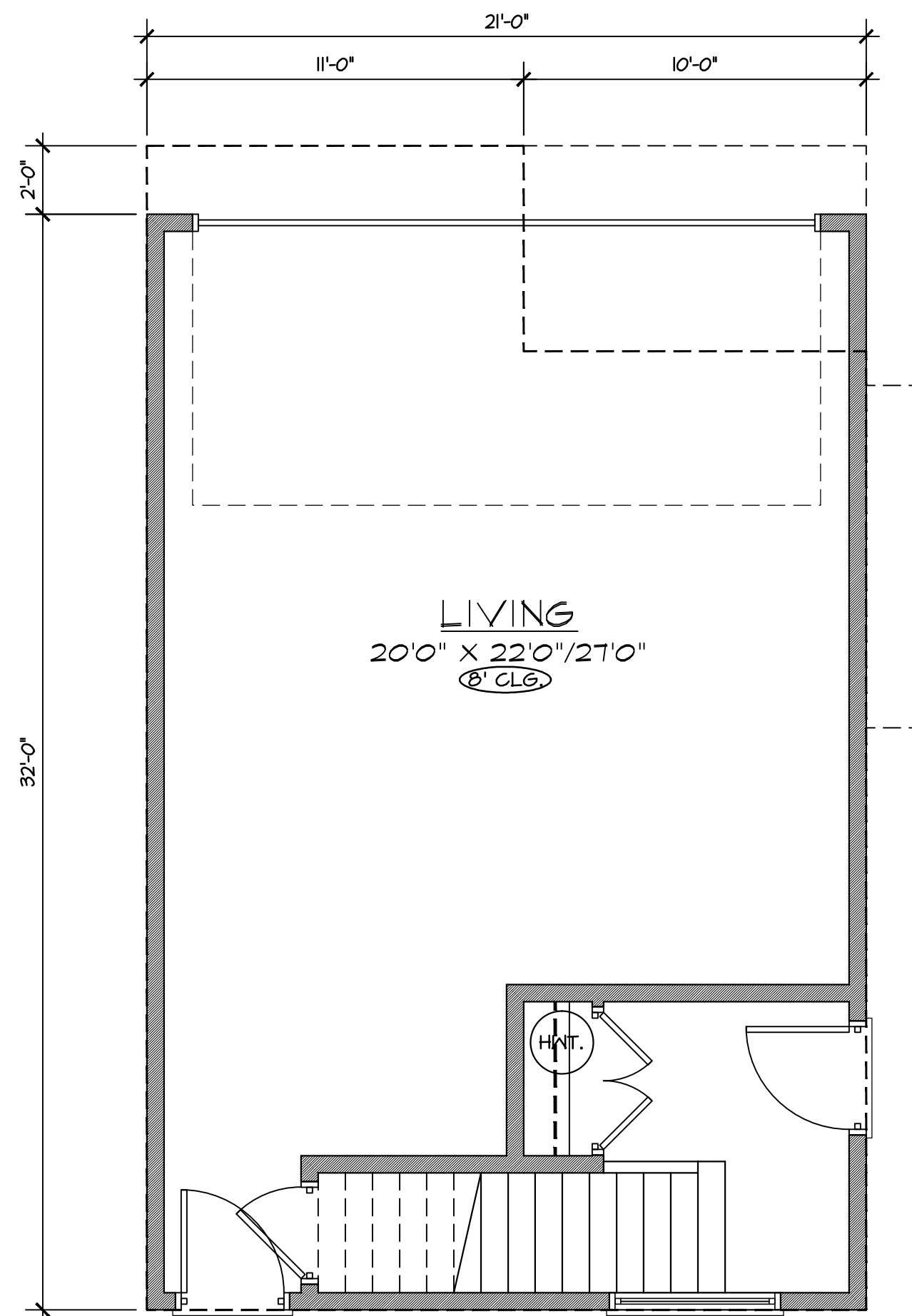
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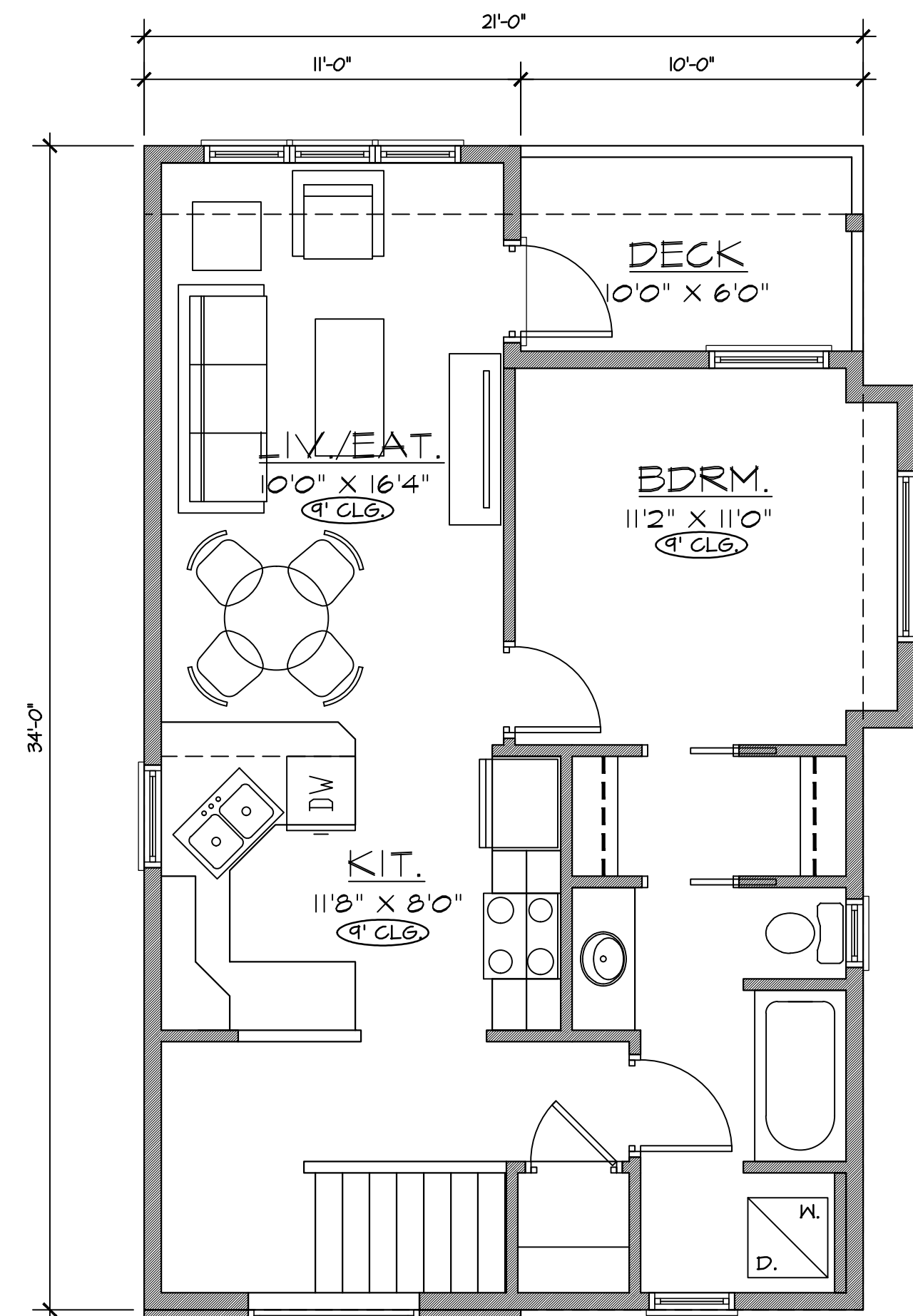
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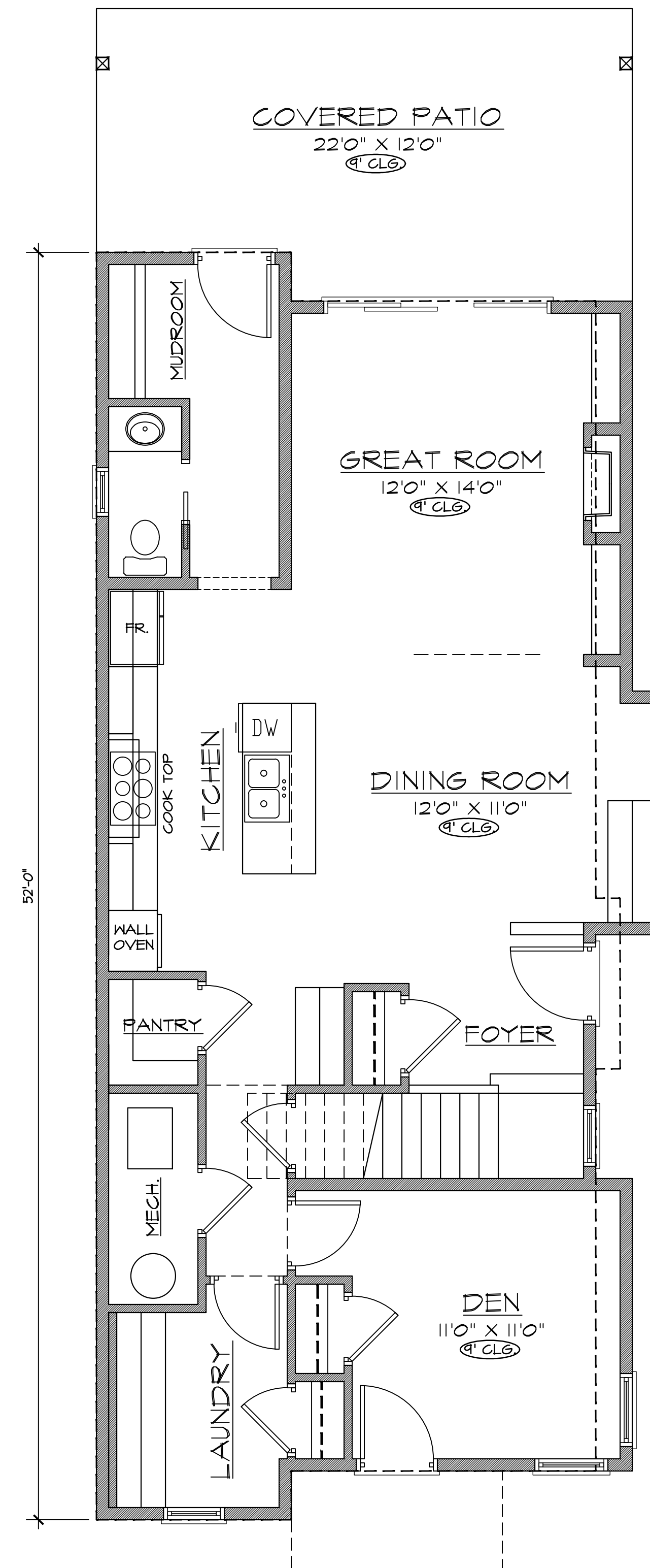


MAIN FLOOR PLAN 90 SQ. FT.

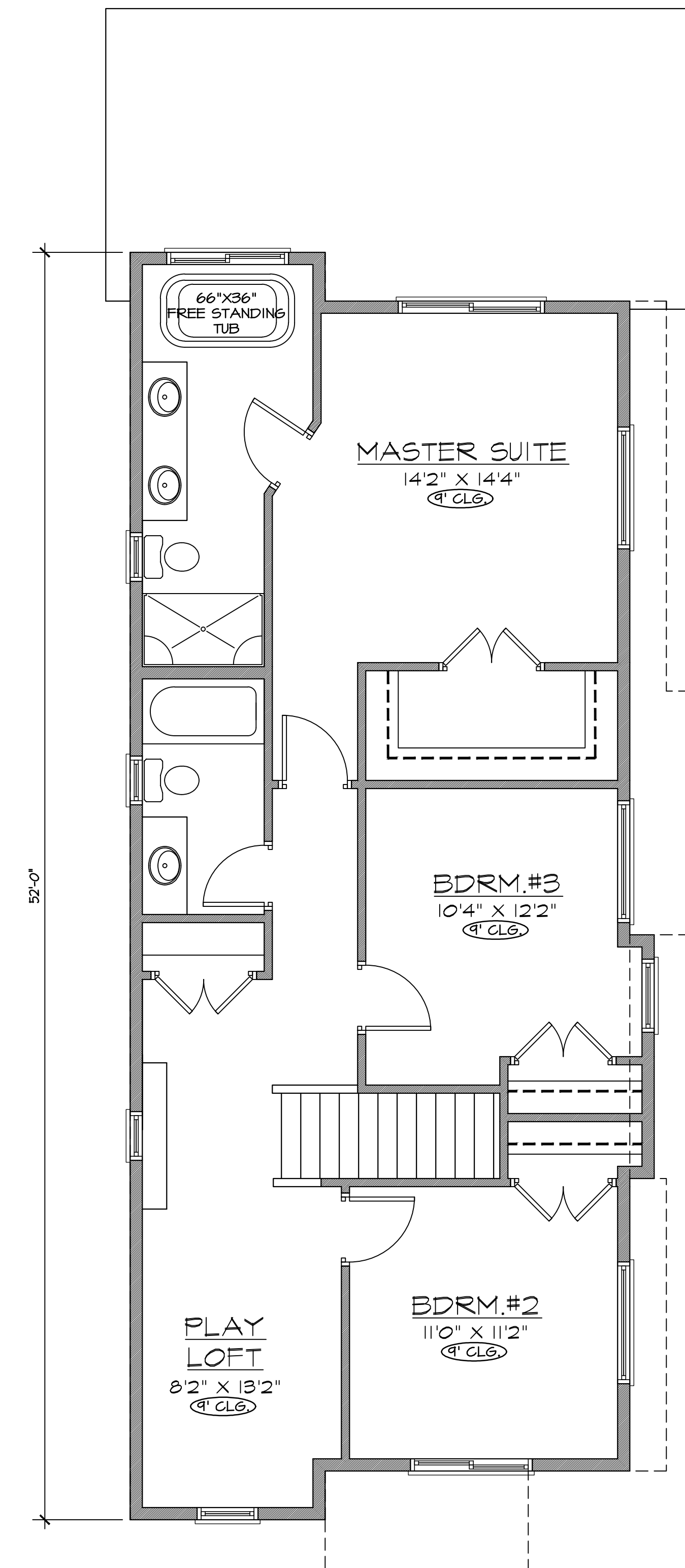


UPPER FLOOR PLAN 669 SQ. FT.

CARRIAGE HOUSE PLAN



MAIN FLOOR PLAN 1088 SQ. FT.



UPPER FLOOR PLAN 1026 SQ. FT.

MAIN HOUSE PLAN

LOT 29 FLOOR PLANS

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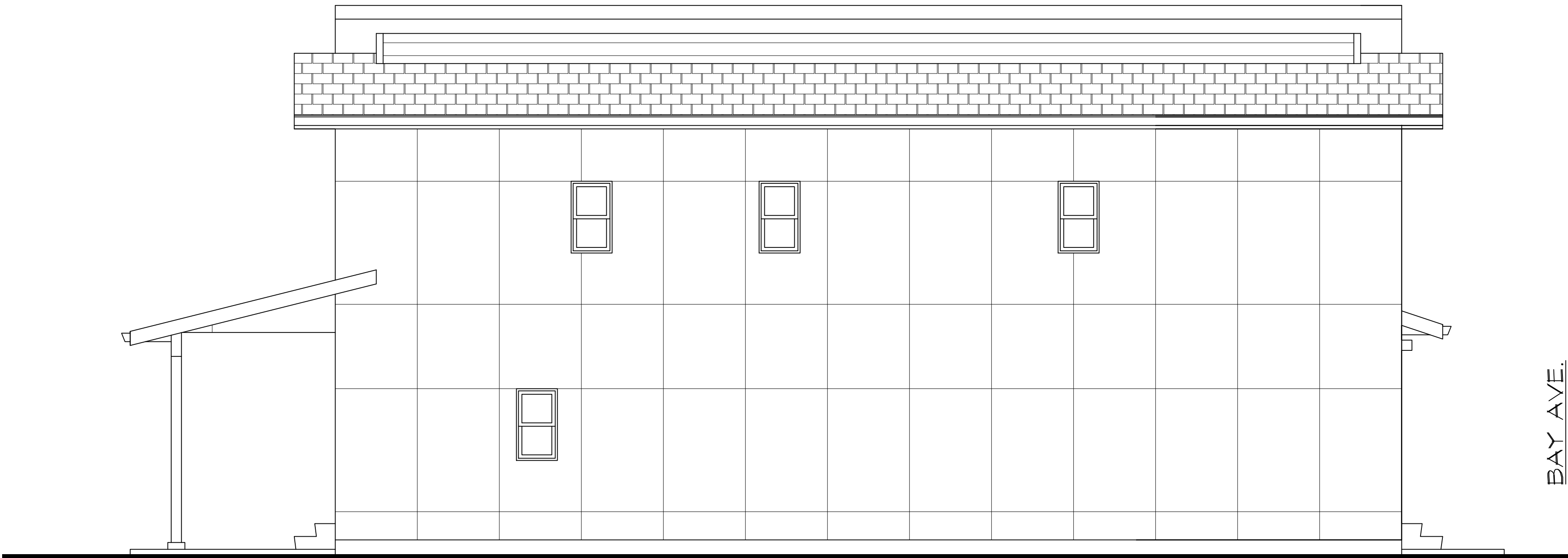
5/8



RIGHT ELEVATION



HOUSE
FRONT ELEVATION



LEFT (INSIDE) ELEVATION



HOUSE
REAR ELEVATION

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LOT 29 HOUSE ELEVATIONS

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6/8



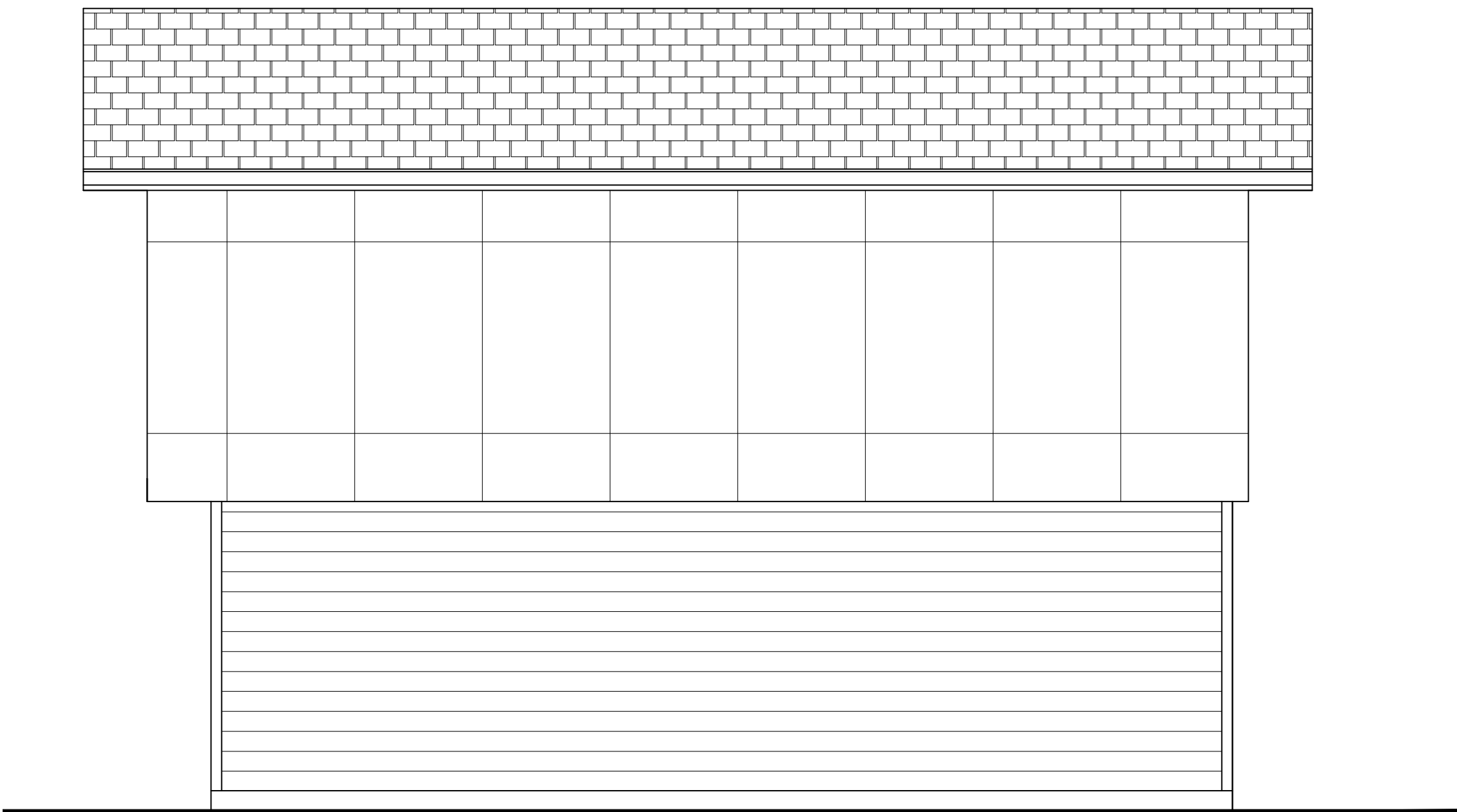
CARRIAGE HOUSE

FRONT (LANE) ELEVATION



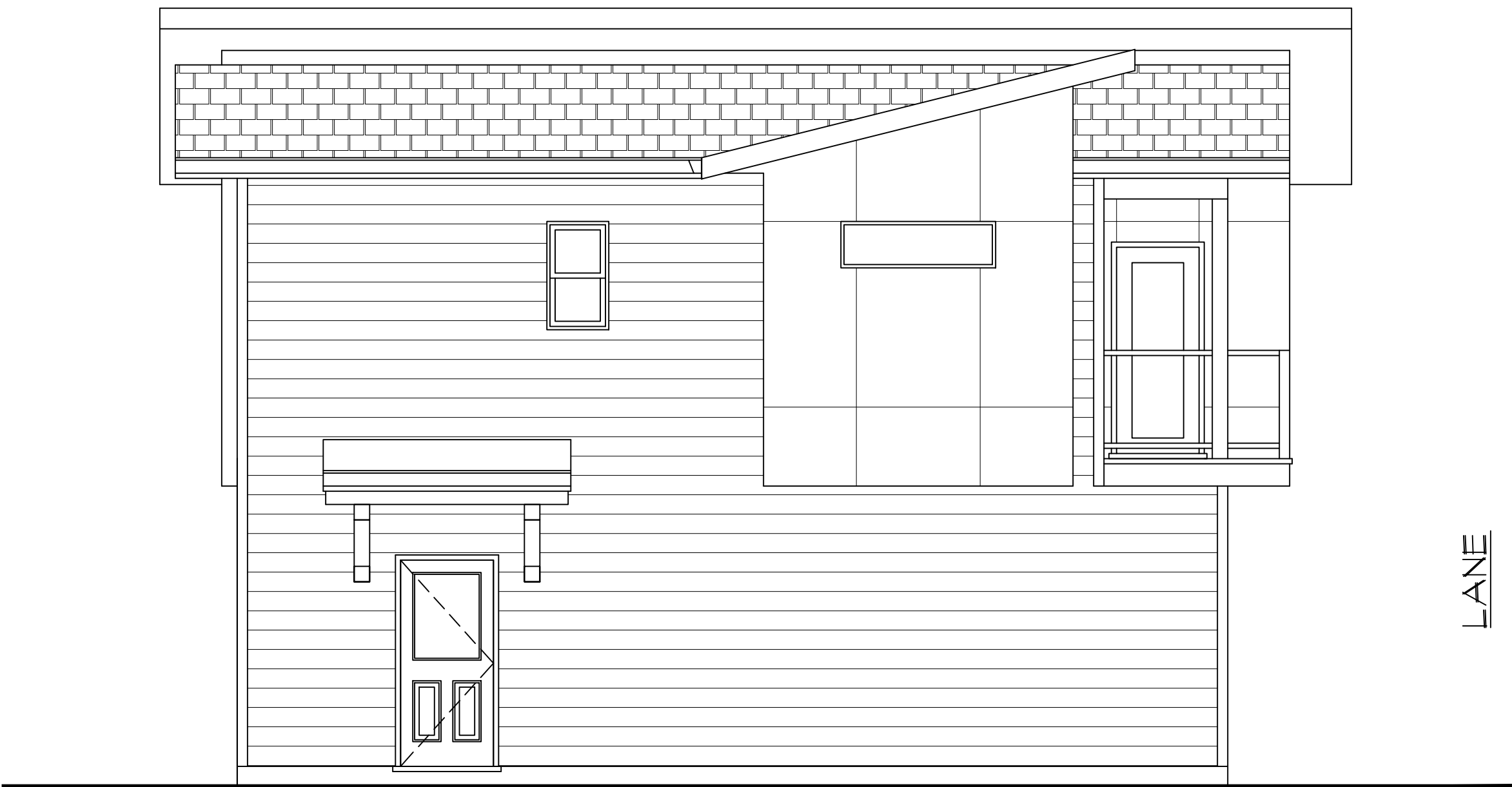
CARRIAGE HOUSE

REAR ELEVATION



CARRIAGE HOUSE

INSIDE ELEVATION



CARRIAGE HOUSE

OUTSIDE ELEVATION

LOT 29 CARRIAGE HOUSE ELEVATIONS

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B

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7/8

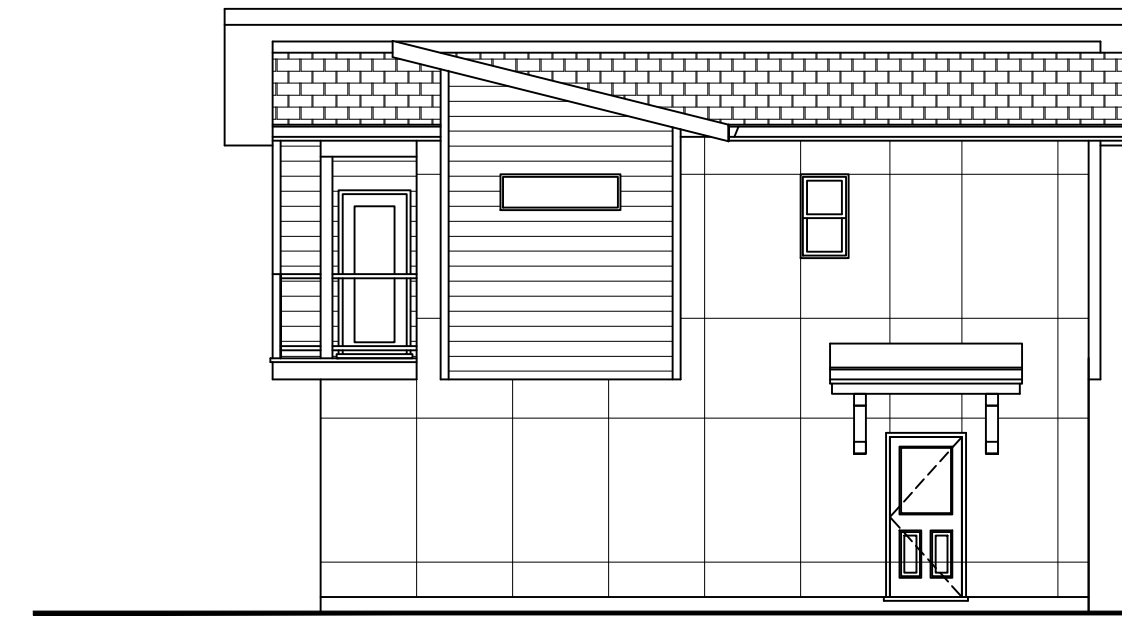


LOT 28 HOUSE FRONT (BAY AVE.) ELEVATION LOT 29



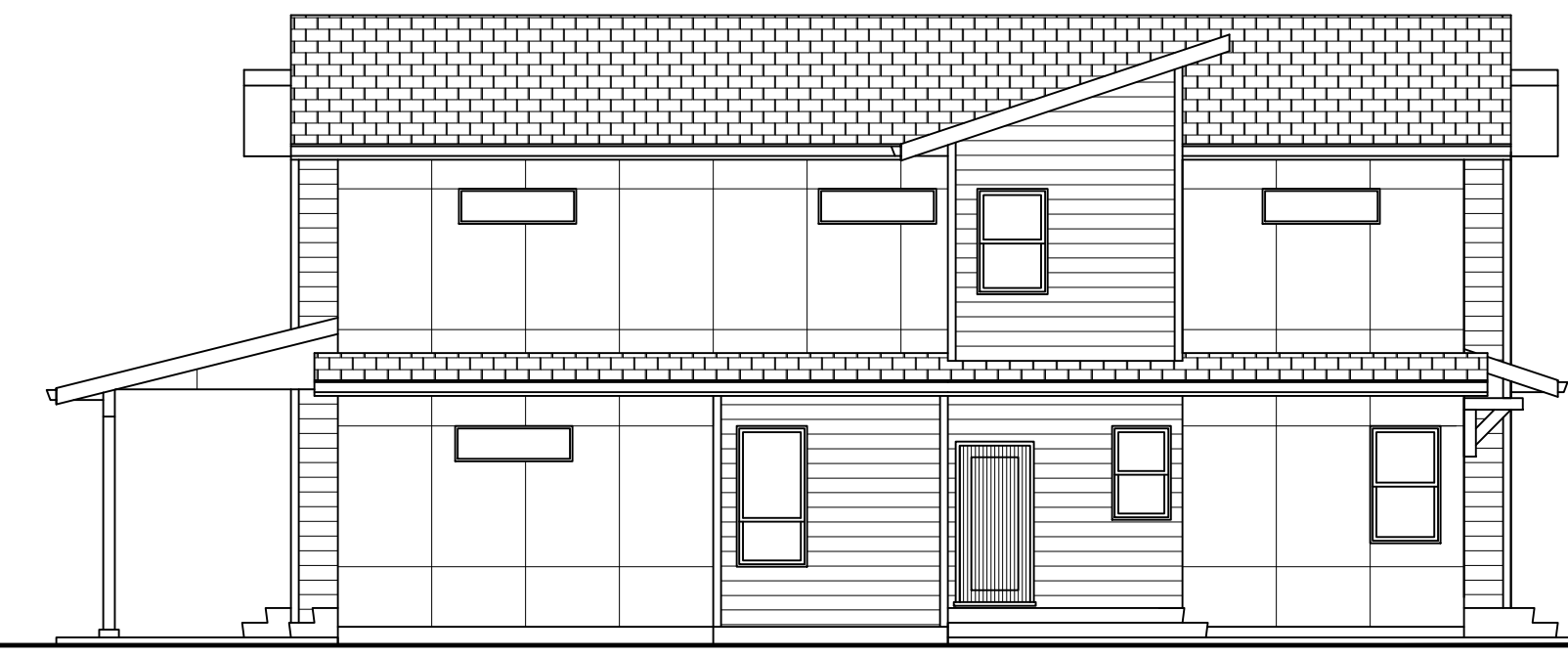
LOT 29 HOUSE REAR ELEVATION LOT 28

LANE



CARRIAGE HOUSE OUTSIDE ELEVATION

LOT 28



HOUSE LEFT ELEVATION

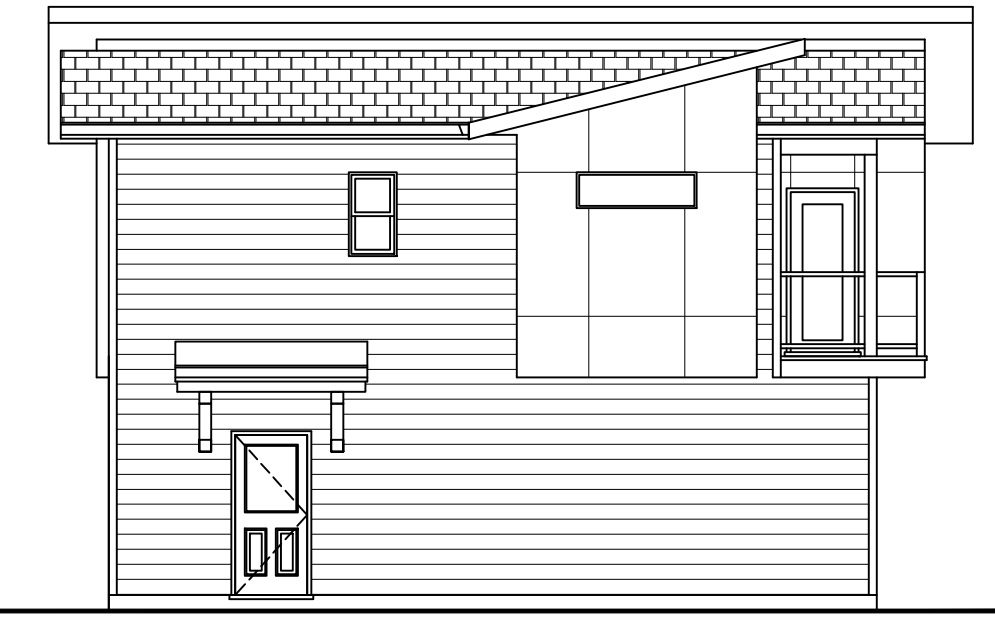
BAY AVE.

BAY AVE.



HOUSE RIGHT ELEVATION

LOT 29



CARRIAGE HOUSE OUTSIDE ELEVATION

LANE

HOUSE & CARRIAGE HOUSE ELEVATIONS ALONG EXTERIOR LOT LINES

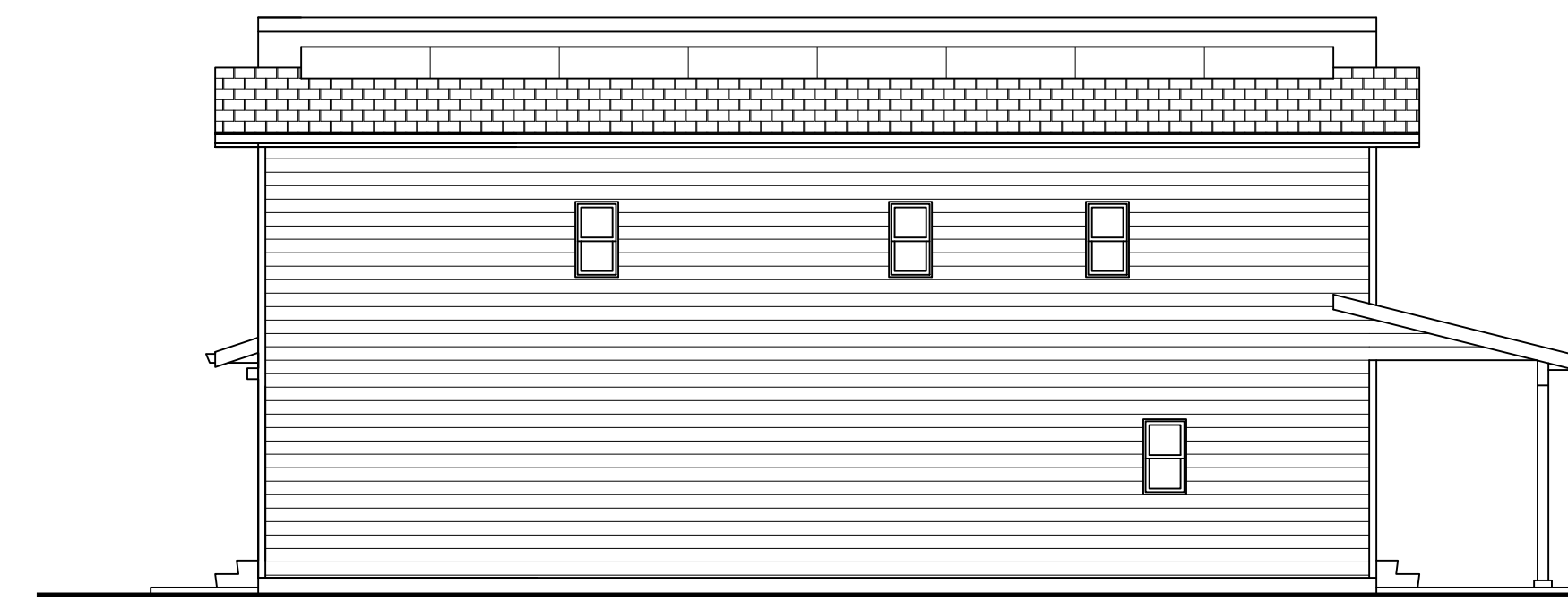


LOT 29 CARRIAGE HOUSE FRONT (LANE) ELEVATION LOT 28



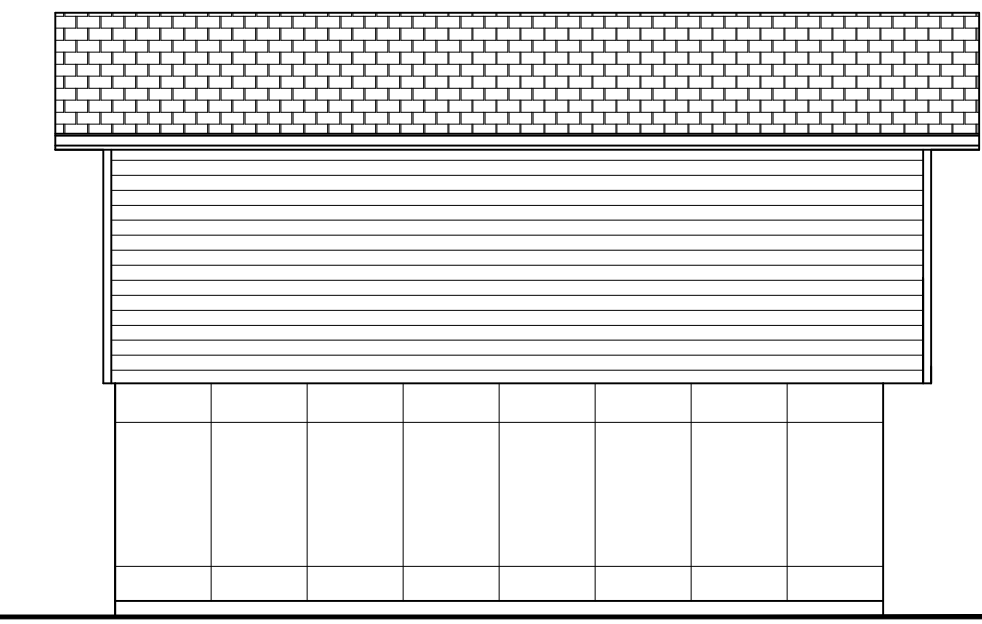
LOT 28 CARRIAGE HOUSE REAR ELEVATION LOT 29

BAY AVE.



HOUSE RIGHT (INSIDE) ELEVATION

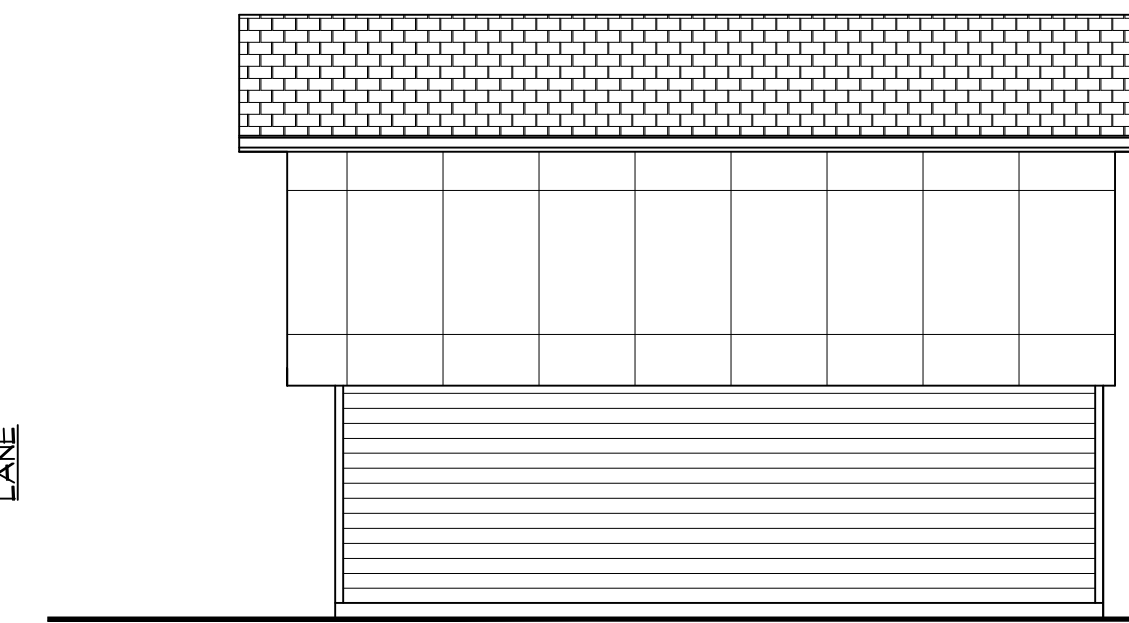
LOT 28



CARRIAGE HOUSE INSIDE ELEVATION

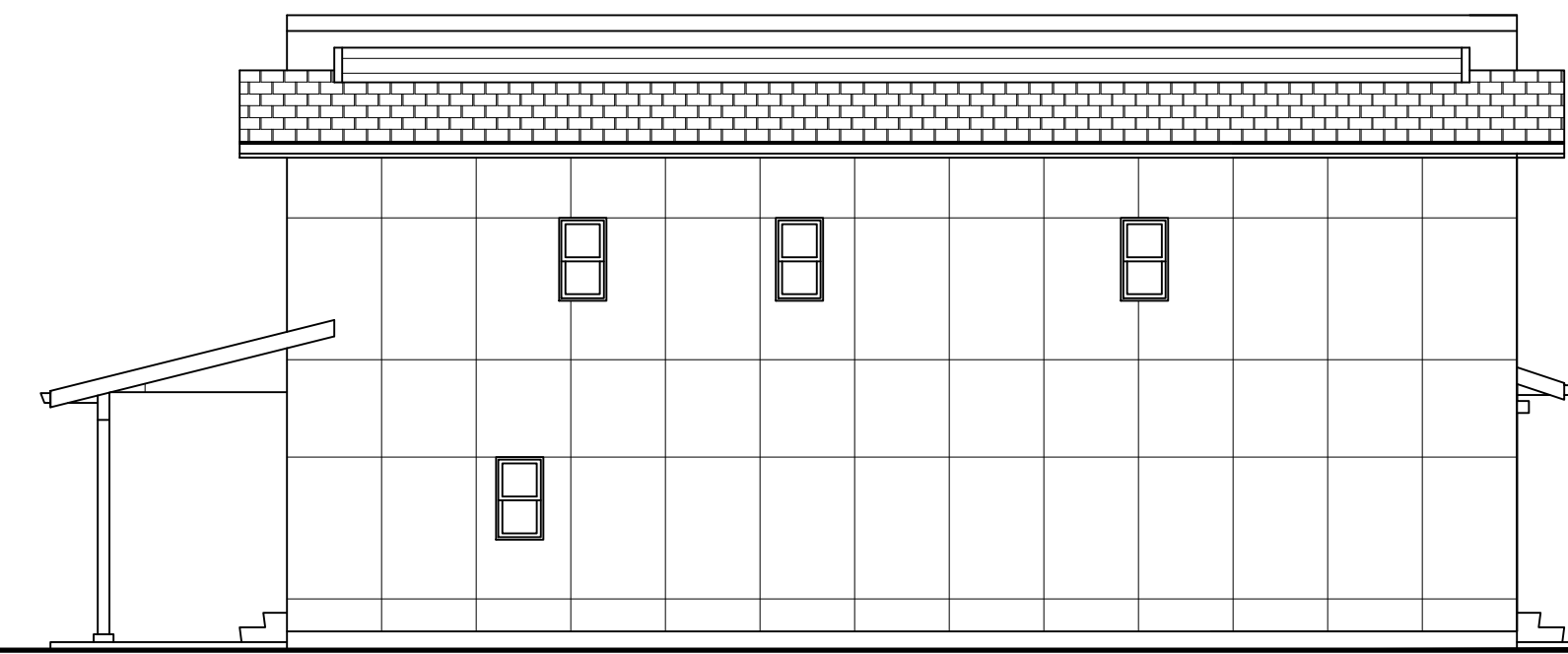
LANE

LANE



CARRIAGE HOUSE INSIDE ELEVATION

LOT 29



HOUSE LEFT (INSIDE) ELEVATION

BAY AVE.

HOUSE & CARRIAGE HOUSE ELEVATIONS ALONG INTERIOR LOT LINE

DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE OF DEVELOPMENT VARIANCE PERMIT NO. DVP17-0128

Issued To: Folio Building Group Inc.
Site Address: 781 Bay Avenue
Legal Description: Lot 28 & 29 Section 30 Township 26 ODYD Plan 1304
Zoning Classification: RU6 – Two Dwelling Housing

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. DPV17-0128 for Lot 28 & 29 Section 30 Township 26 ODYD Plan 1304, located at 781 Bay Avenue, Kelowna, BC to allow the construction of two single family dwellings with a carriage houses be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "B":

Section 13: RU6 – Two Dwelling Housing

- 1) To vary the required side yard setback (adjoining lot line) on each property from 2-2.3m permitted to 1.2m proposed.
- 2) To vary the required carriage home roof height from 4.5m permitted to 6.26m proposed.

- 3) To vary the required upper storey floor area ratio to carriage house footprint from 75% permitted to 100% proposed

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or his or her designates**

CITY OF KELOWNA
BYLAW NO. 11423
Z16-0077 – 1187 Sunset Drive

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 1 District Lots 139 ODYD Plan KAP76304 located on Sunset Drive, Kelowna, B.C., from the C4 – Urban Commercial zone to the C7 – Central Business Commercial zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 12th day of June, 2017.

Considered at a Public Hearing on the 27th day of June, 2017.

Read a second and third time by the Municipal Council this 27th day of June, 2017.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL



Date: August 29, 2017

RIM No. 0940-00 & 0940-50

To: City Manager

From: Community Planning Department (AC)

Application: DP17-0154 & DVP17-0157

Owner: Sunset Drive Properties Ltd.

Address: 1187 Sunset Drive

Applicant: North American Development Group (Russ Watson)

Subject: Rezoning Application

Existing OCP Designation: MXR – Mixed Use (Residential/Commercial)

Existing Zone: C4 – Urban Centre Commercial

Proposed Zone: C7 – Central Business Commercial

1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 11423 (Z16-0077) be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP17-0154 for Lot 1, District Lot 139, ODYD Plan KAP76304, located at 1187 Sunset Dr, Kelowna, BC, subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;
5. That the outstanding conditions set out in Attachment "A" attached to the Report from the Community Planning Department dated August 15th 2017;
6. That a land use covenant protecting the use of the daycare be registered on title.

AND THAT Council authorize the issuance of Development Variance Permit DVP17-0157 for Lot 1, District Lot 139, ODYD Plan KAP76304, located at 1187 Sunset Dr, Kelowna, BC;

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 14.7.5 Development Regulations (b)

To vary the maximum height of a building from 22 metres to 119 metres for the south tower and 98 metres for the north tower.

Section 6.4.2 Projections Into Yards

To vary the permitted balcony projection into the side yard (Sunset Drive) from 0.6m to 1.59m at various levels as described in Schedule 'A' and to vary the permitted balcony projection into the front yard (Water Street) from 0.6m to 1.32m on level 6 & 0.87m on level 36 as described in Schedule 'A'.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

The purpose of the Development Permit is to review the Form & Character Development Permit of a 36 storey residential tower and a 29 storey residential tower that contains a three storey podium within the total height. The podium contains ground floor commercial, a third floor daycare space, and a three storey parkade. The purpose of the Development Variance Permit is to consider a variance to increase the maximum building height and to consider an increase to the maximum balcony projections.

3.0 Community Planning

3.1 Development Permit

Staff are recommending support for the proposed Development Permit due to the proposal's consistency with the majority of the Official Community Plan's (OCP) urban design guidelines. The applicant has worked with City staff to review and refine the proposed building design which included a number of design revisions recommended by Staff. Particular emphasis was given to the base of the podium and to the tower design. The goal was to provide: a successful streetscape, a pleasant pedestrian experience on the prominent corner property, and a visual interest to Kelowna's skyline.

When assessing the merits of a tall building project, staff break the design into three components: the base of the building called the podium; the middle of the building largely consisting of the tower; and the top of the building as it relates to Kelowna's skyline.



Top: The tops of tall buildings, including upper floors and roof-top mechanical or telecommunications equipment, signage, and amenity space, should be designed, primarily through tower massing and articulation, and secondarily through materials, to create an integrated and appropriate conclusion to the tall building form.



Middle: The location, scale, floor plate size, orientation and separation distances of the middle affect sky view, privacy, wind, and the amount of sunlight and shadows that reach the public realm and neighbouring properties. The design and placement of the tower should effectively resolve these matters to ensure that a tall building minimizes its impact of surrounding streets as well as existing and/or future buildings on adjacent properties.



Podium: The lower storeys of a tall building should frame the public realm, articulate entrances and assist in the creation of an attractive and animated public realm which provides a safe, interesting, and comfortable pedestrian experience. The podium should define and support adjacent streets at an appropriate scale, integrate with adjacent buildings, assist to achieve a transition down to lower-scale buildings and minimize the impact of parking and servicing on the public realm.

The positive design features of this application that are congruent with the urban design guidelines are:

- 1) The building has three distinct sections: a top, a middle, and a bottom and the applicant has provided a positive design in each category (podium, tower, and skyline).
 - a. The top of the towers contributes positively to Kelowna's skyline with mechanical louvres, screening structures, and a rooftop gardens.
 - b. The 'middle' of the building contains a series of different building materials and large balconies to provide visual interest. The façade treatment of the towers further serves to breakdown the mass with the use of varying glass colours and with horizontal extensions of the balcony enclosures.
 - c. The podium has designed significant architectural variability around each street face. Further, the project meets all the podium height guidelines and the necessary corner cuts in the building at each intersection. The courtyard feature along Ellis Street provides an excellent pedestrian and streetscape interaction. Water Street presents a positive retail experience which wraps partially around Ellis Street. The majority of Ellis Street will have ground oriented live/work units facing the streetscape, providing a relatively unique street interaction for Kelowna.
- 2) The developer has committed to providing a third floor daycare unit and is willing to register a land use covenant to ensure the continued operation of that business. The City has been trying to encourage a daycare operator to locate in the downtown for some time now. Staff feel this is a significant community amenity not just to the residents of the building but to the downtown neighbourhood as it will increase the livability of Kelowna's downtown to live, work, shop, & play, all without the need of a vehicle for day to day operations.
- 3) The development is exceeding the minimum parking requirement and the parkade is hidden for view by wrapping the development with commercial or live/work units.
- 4) The proposal includes significant amenities and large communal areas.
- 5) From an urban design perspective this property is the most appropriate site in the downtown to achieve a tall building.
 - a. Few blocks back from the waterfront
 - b. Proximity to other significant towers on Sunset Drive creating a high density hub and a tower skyline.
 - c. Limited shadowing and view impacts on adjacent properties as the lands most impacted are across Ellis Street and they are designated as industrial as well as the site located to the immediately to the north which is vacant. The existing occupied towers on Sunset Drive have limited shadow impact. Additionally, the views of the existing occupied towers on Sunset Drive will only have a minor impact as their views to Knox mountain, the lake, the bridge, and the downtown will not be affected.

3.2 Development Variance Permit

There is a variance to increase the allowable height of the two towers. Officially, the maximum height is only 22 metres as this property was not identified in the downtown building height map. However, due to the location and proximity to other residential towers, employment, commercial, and downtown amenities, Staff feel this site warrants the maximum density and maximum height for the City. The maximum height currently permitted in the C7 zone is 76.5m (approximately 26 storeys). Multiple

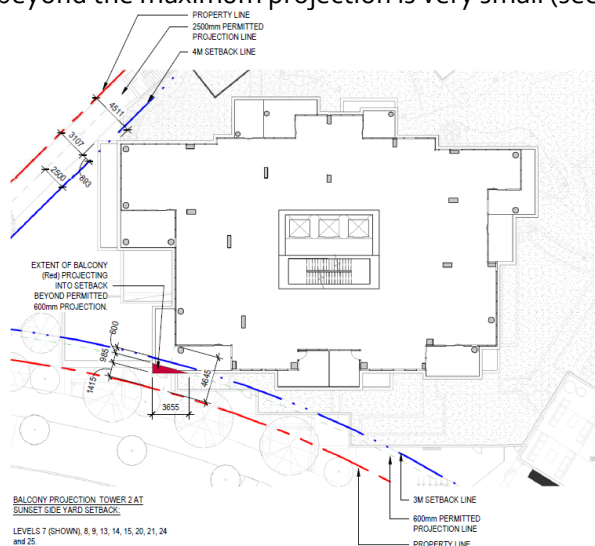
developers have informed Staff that the maximum physical height limit for geotechnical reasons within the downtown is approximately 120 to 140 metres before becoming economically unviable. The proposal for the south tower is to reach that maximum at 119 metres (36 stories). The north tower is proposed at 98 metres (29 stories).

The applicant has put significant detailed planning and thought in the height of the towers including the impact on the overall form and character in order to create truly iconic architecture. The differing heights of each tower are aligned “to play” on the adjacent mountains silhouette. The towers themselves have been sculpted to reach higher by using a slimmer silhouette. This will ensure views between and around can be maintained as much as possible. It will also help reduce the shadowing on adjacent properties as the sun moves throughout the day (see the shadow analysis attached to the permit). The shadows will predominately affect a vacant site to the north and an industrial area located on the east side of Ellis Street. The slimmer profiles of the towers also maximize the amount of amenity and outdoor space available to the residents. The angle and rotation of the towers in relationship to the street and podium levels is to give prominence to the surrounding views both from the units within the towers and those from neighboring developments. Staff recommend this slimmer tower design with a height variance compared to shorter buildings that would increase the massing and bulk of the buildings. Shorter bulkier buildings would create less desirable streetscape and aesthetic environments, increase the mass of the shadowing to the north, and reduce the potential for amenities on the parkade rooftop.

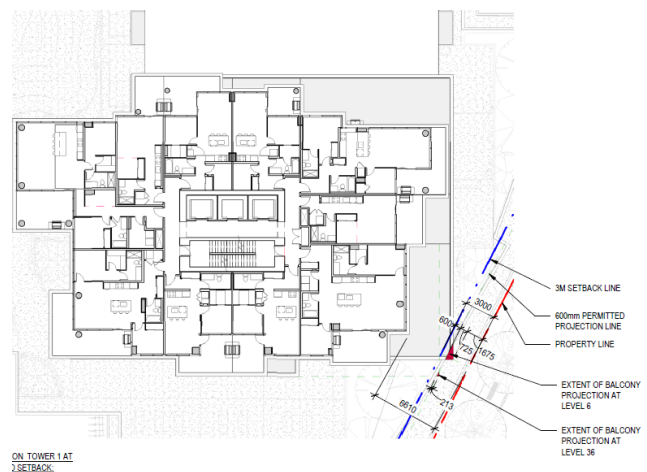
Further, the developer has done an excellent job with the articulation of the podium facade and its massing to the human scale at the ground plane. The towers appear to recede as they rise up to the sky as a result of their positioning on the podium and placement back from the street faces.

In the future, Staff are recommending the downtown building height map be reviewed to see what sites in the downtown could reach the maximum geotechnical height limit of 120 metres or at least increase from the current maximum of 76.5 metres (26 stories). Other sites will have greater impacts on their neighbours than this site especially mid-block, therefore the time to review maximum height seems appropriate.

Lastly, the variance to increase the maximum balcony projections is minor according to Staff. The applicant originally had a building setback variance to the property line but after a redesign to eliminate that variance there remained a balcony projection variance. Due to the angle of the towers the area of balcony intruding beyond the maximum projection is very small (see red areas in images below).



South Tower



North Tower

4.0 Proposal

4.1 Project Description

The proposed development has been branded as 'One Water'. The One Water proposal consists of:

- ground floor retail;
- 3 floors of parking;
- 2 residential towers upper;
 - North Tower: 29 stories, 176 units, & rooftop gardens;
 - South Tower: 36 stories, 222 units, & rooftop gardens;
- 6 live/work units proposed along Ellis Street;
- 404 total residential units;
- Daycare located on 3rd floor;
- Parkade rooftop amenities including:
 - Sports courts;
 - Adult pool;
 - Children's pool;
 - Bbq area;
 - Landscape area;
- Access to the parkade from Sunset Drive and from Ellis Street.

This proposal opts for a slender point tower form that promotes views to and from the development. These proportions permit breathing room between the towers with generous amenity spaces on the podium. The proposed aesthetic style and design is defined as "okanagan urban" by the architecture team. A harmonious blend of contemporary architectural style, abundant amenities, nestled within the downtown Kelowna lifestyle.

The towers are angled in plan to maximize views towards the lake and the bridge. This angular arrangement is found repeatedly in the layout of the podium and results in a breakdown of the mass of the podium façade creating human scale elements and exterior spaces with character. The façade treatment of the towers further serves to breakdown the mass with the use of varying glass colours and with horizontal extensions of the balcony enclosures. The units themselves are bright and spacious while allowing for large outdoor terraces, balconies and roof patios. A glass, enclosed penthouse courtyard will be illuminated at night time and will draw the eye up the slender silhouettes of the towers. At the tower entry lobbies either side of the Sunset Drive courtyard, the tower form extends to grade level and is expressed there. The scale of the buildings is repeatedly broken down by a series of lobby entrances and retail areas.

The ground plane is programmed and activated with retail frontages which is a prerequisite for a successful walkable neighborhood. The design enables a safe, active and cohesive street character. The public realm strategy promotes a cohesive and complexly layered community full of colour, texture, and activity. Large and small shops that are complimented by extensive landscaping, generous sidewalks, patios and retractable canopies. The development will feature a plethora of amenities in addition to plenty of shops, cafes and restaurants each with ample patio and outdoor space.

The courtyard facing Sunset Drive is a positive design inspiration at varying scales. The courtyard is ringed by trees, has a large public space located at the ground level and the courtyard is found on the tower levels with large semi-recessed balconies. This approach to elevated living encourages the outdoor lifestyle that is prevalent in the region. To this end, all site landscaping is specific to the Okanagan climate, and plantings are selected based on low maintenance and sensitivity to the local environment.

A main feature for the residents is a large landscaped and outdoor amenity space which acts as a gathering place. This is located on top of the podium with direct access from both towers. The terracing arrangement of the podium encourages interaction with the street and spills down from the residences to the gardens and amenities and finally to street level. The wrapping of the podium with at-grade retail at differing scales breaks down the mass of the façade and allows for an engaging streetscape, creating a generous sidewalk and outdoor seating areas. The provision of street lighting and clear site lines creates a warm and welcoming public realm and eliminates CPTED issues. Through a reduction in the number of grade changes, raised planter beds and other impediments as well as a requirement that all entrances be fully accessible, a healthy and walkable streetscape is ensured.

The stepped podium massing slows wind speeds and directs it away from sidewalk and patio areas. This massing combined with strategic landscaping will let the warm sun in, while keeping the cold wind out, extending the appeal of an outdoor lifestyle. Raised garden levels provide semi private amenities to residents, and further reduce heat island effect and storm water run-off.

Parking for the development will be located in the 3 story podium and will be wrapped by commercial units on Sunset Drive and on Water Street as well as live/work units on Ellis Street. Podium edges are articulated to create an enjoyable and walkable environment, allowing for easy navigation and orientation. Due to the high water table, the proposal does not include any occupied space below grade. Vehicular access to the site is at the northern limit of the site with access from sunset drive to the west and separate access from Ellis street to the east. This approach accommodates vehicles while permitting the remaining 3 sides of the site to be urban in scale and with a very strong focus on the pedestrian. Parking is provided in excess of the 1 per unit requirement and is to be screened from view from the street.

The proposed material strategy is designed to allow for a consistent and modern palate throughout the development while enabling individual tenancies to have their own character. At the base, durable materials such as concrete, stone, and metal complemented by warmer tones in wood allow some variety in form and colour. High quality materials provide texture, durability and a fine grain character to the retail streets and pedestrian mews in the project. All materials chosen are long lasting, durable, and will stand the test of time. Above this base, a clean modern material strategy emerges through the use of subtle tones and expansive glazing. Consistent use of materials and colours at the lobbies and entries of the buildings as well as in the parkade help orient residents and visitors alike.

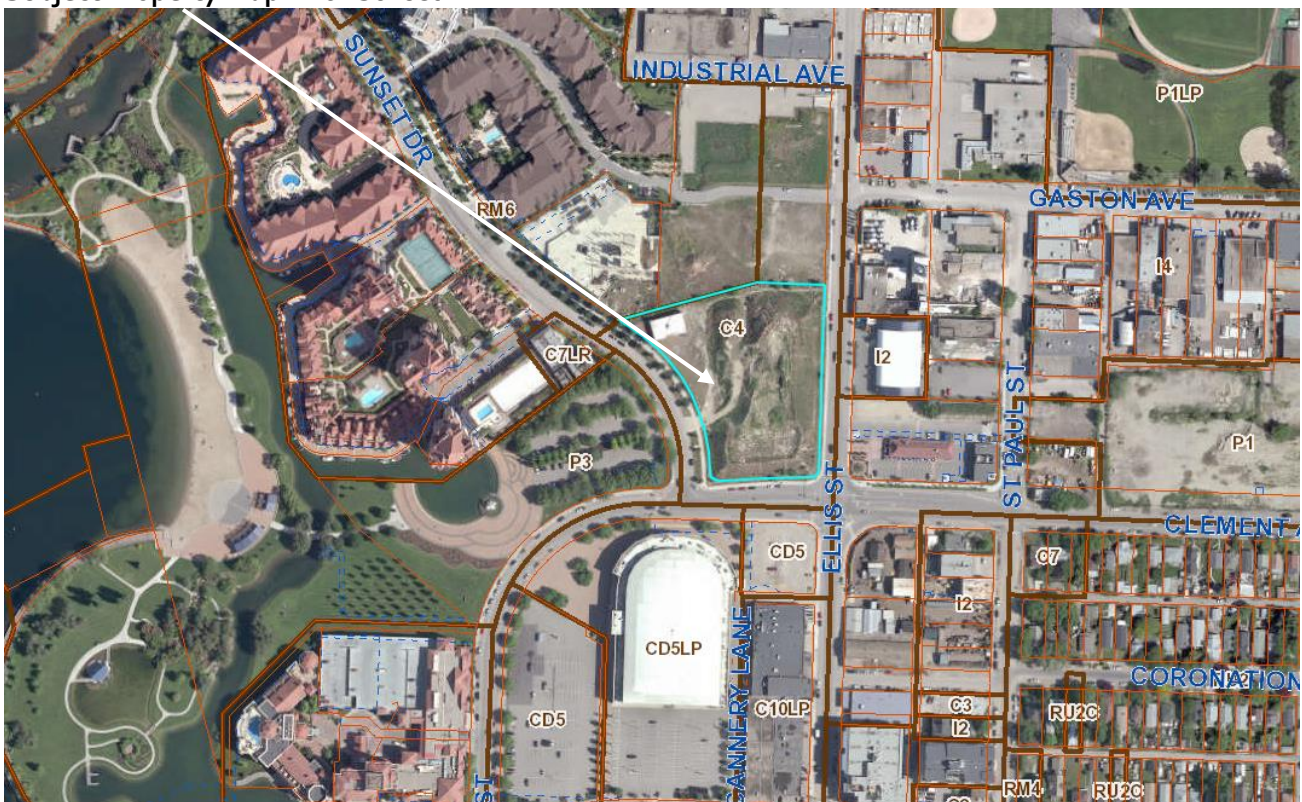
4.2 Site Context

The subject property is located at the north end of downtown. The site is located across from Prospera Arena and is located on a street that has many residential towers.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C4 – Urban Centre Commercial & RM6 – High Rise Apartment Housing	Vacant & Residential
East	I2 – General Industrial I4 – Central Industrial	Industrial & Commercial
South	CD5 – Multi-Purpose Facility	Arena & Parking Lot
West	RM6 – High Rise Apartment Housing; C7 – Central Business Commercial; & P3 - Parks	Mixed use (residential / commercial) Residential Park

Subject Property Map: 1187 Sunset Dr



4.3 Zoning Analysis Table

The zoning analysis table shows the requirements of the C7 zone compared to the proposal:

Zoning Analysis Table						
CRITERIA	C7 ZONE REQUIREMENTS			PROPOSAL		
For portion of building between 0.0 metres & 16.0 metres in height						
Front Yard (Water St)	0.0 m			0.171 m		
Flanking Street (Ellis St)	0.0 m			0.573 m		
Flanking Street (Sunset Dr)	0.0 m			0.120 m		
Rear Yard Setback	0.0 m			0.00 m (NW Corner)		
Floorplate	No restriction			9,249.5 m²		
For portion of building between 16.0 metres & above in height						
				North Tower	South Tower	
Front Yard (Water St)	3.0 m			70.44 m	6.61 m	
Flanking Street (Ellis St)	3.0 m			62.87 m	19.53 m	
Flanking Street (Sunset Dr)	3.0 m			4.65 m	21.44 m	
Rear Yard Setback	4.0 m			4.51 m	76.21 m	
Floorplate	1,221 m²			960.5 m²	960.5 m²	
Development Regulations						
Height	Podium	North Tower	South Tower	Podium	North Tower	South Tower
	16.0 / ~4.5 stories (unless Bldg steps back)	22.0m		12.2 m / 3 stories	29 storeys (~98m) ❶	36 storeys (~119) ❶
Corner Cut Setback	4.5 m			4.5 m		
FAR	9.0			5.3		
Parking Regulations						
Minimum Parking Requirements	498 parking stalls (404 stalls for residential units 58 stalls for visitors 36 stalls for commercial & daycare)			544 parking stalls (46 stalls over or 8.5%)		
Two-drive aisle minimum	7.0m			7.0m		
Min. Loading Spaces	1 stall			2 stalls		
Ratio of Parking Stalls	Small Size: 10% Max Medium Size: 40% Max Regular Size: 50% Min			Small Size: 1.5% (8 Stalls) Medium Size: 1.7% (9 Stalls) Regular Size: 97.0% (526 Stalls)		
Minimum Bicycle Parking Requirements	Class 1: 206 bikes Class 2: 48 bikes			Class 1: 206 bikes Class 2: 48 bikes		
Other Regulations						
Minimum frontage for	Sunset Dr	Water St	Ellis St	Sunset Dr	Water St	Ellis St

Zoning Analysis Table						
CRITERIA	C7 ZONE REQUIREMENTS			PROPOSAL		
commercial, civic, cultural, or ground oriented residential on 1 st floor	75%	100%	75%	87%	100%	100%
Minimum Private Open Space	6.0m ² per studio unit (20 Units) 10.0m ² per 1-bedroom unit (118 Units) 15.0m ² per 2-bedroom unit (194 Units) <u>15.0m² per 3-bedroom unit (49 Units)</u> = 4,945.0 m ² (Does not include townhomes or live/work)			Studio = 161 m ² 1 Bed = 1367 m ² 2 Bed = 3853 m ² <u>3 Bed = 1093 m²</u> 6,474.0 m ² (Does not include townhomes or live/work)		
Maximum Balcony Projection	0.6m			Water St ❷	Sunset Dr ❷	
				1.32 m on level 6 & 0.87 m on level 36	1.585m for levels 7, 8, 9, 13, 14, 15, 20, 21, 24, & 25.	
❶ To increase the permitted height of the two towers.						
❷ To increase the permitted balcony projections.						

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Development Process

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Downtown Development.² Support rezoning to C7 use in the downtown Urban Centre area only where properties are surrounded on a minimum of 3 sides by existing C7 zoning. The intent of this policy is to support intensification within the existing core areas of Downtown.

Commercial Land Use Policies.³ Encourage mixed-use commercial development.

Contain Urban Growth.⁴ Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

¹ City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.3.4 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Objective 5.24 (Development Process Chapter).

⁴ City of Kelowna Official Community Plan, Goals for a Sustainable Future, Objective 1 (Chapter 1 Introduction)

Housing Mix.⁵ Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

Objective 5.5: Ensure appropriate and context sensitive built form.

Building Height.⁶ In determining appropriate building height, the City will take into account such factors as:

- Contextual fit into the surrounding neighbourhood;
- Shadowing of the public realm;
- View impacts;
- Overlook and privacy impact on neighbouring buildings;
- Impacts on the overall skyline;
- Impacts on adjacent or nearby heritage structures;

Chapter 4: Land Use Designation Massing and Height.³

- Mitigate the actual and perceived bulk of buildings by utilizing appropriate massing, including:
- Architectural elements (e.g. balconies, bay windows, cantilevered floors, cupolas, dormers);
- Visually-interesting rooflines (e.g. variations in cornice lines and roof slopes);
- Step back upper floors to reduce visual impact;
- Detailing that creates a rhythm and visual interest along the line of the building;
- Wall projections and indentations, windows and siding treatments as well as varied material textures should be utilized to create visual interest and to articulate building facades;
- Building frontages that vary architectural treatment in regular intervals in order to maintain diverse and aesthetically appealing streets.

Chapter 14: Urban Design Guidelines Amenities, ancillary Services and Utilities.⁷

- Locate loading, garbage, storage, utilities and other ancillary services away from public view. All such areas shall be screened and designed as an integral part of the building to minimize impact;
- Create attractive rear alley facades with high quality materials on buildings facing residential areas (e.g. rear building entrances, windows, balconies, plazas, and plantings).

Chapter 14: Decks, balconies, rooftops, and common outdoor amenity space.⁵

- Incorporate decks, balconies and common outdoor amenity spaces into developments;
- Integrate vents, mechanical rooms and equipment, and elevator penthouses with the architectural treatment of the roof, and/or screen these elements with materials and finishes compatible with the building's design;

Chapter 14: Signs.⁵

- Integrate signage that contributes to the overall quality and unique character of a development (e.g. coordinate proportion, materials, and colour);
- Do not compromise the scale and visual qualities of a building with the size and number of signs;
- Locate, size, and format signs such that they can be easily read by pedestrians.

⁵ City of Kelowna Official Community Plan, Policy 5.27.11 (Development Process Chapter)

⁶ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

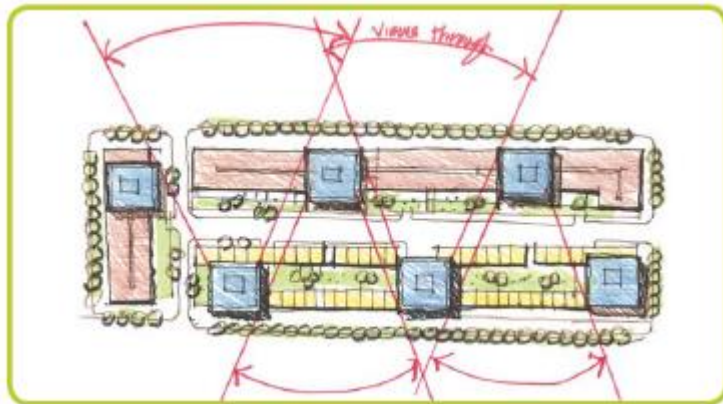
⁷ City of Kelowna Official Community Plan, Chapter 14 Urban Design Development Permit Areas, Guidelines

Building Height.⁸ In determining appropriate building height, the City will take into account such factors as:

- Contextual fit into the surrounding urban fabric;
- Shadowing of the public realm;
- View impacts;
- Overlook and privacy impacts on neighbouring buildings;
- Impacts on the overall skyline;
- Distance between adjacent buildings above 22m in height;
- Impacts on adjacent or nearby heritage structures;
- Building form and massing to mitigate negative impacts of buildings over 22m in height.

For all properties where height variances are required, a minimum separation distance of 36.5 m (120 ft.) will be sought between adjacent towers where there are floor plates larger than 697 sq. m (7,500 sq. ft.) and a minimum separation distance of 30.5 m (100 ft) will be sought between towers where floor plates are less than 697 sq. m. (7500 sq. ft.). In addition, where a height variance is required, adequate view corridors shall be provided between towers. For blocks a minimum of 100m in width, any portion of a building above 44.0m should be sited to afford existing surrounding tower development on the same block a 40 degree panoramic view, measured from the closest building face parallel to the lot line fronting a street. (See Diagram 5.1)

Diagram 5.1



6.0 Technical Comments

6.1 Building & Permitting Department

- 1) Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s).
- 2) Location of existing preload material to be determined
- 3) Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- 4) HPO (Home Protection Office) approval or release is required at time of Building Permit application.
- 5) A Hoarding permit is required and protection of the public from the staging area and the new building area during construction. Location of the staging area and location of any cranes should be established at time of DP.

⁸ City of Kelowna Official Community Plan, Objective 5.5 (Development Process Chapter).

- 6) A Geotechnical & Structural peer review will be required and the Mechanical & Building Code analysis peer review may be required at time of building permit application review. Please contact the Chief Building Inspector to review the policy and procedures in place for the peer review requirements and cost that will be associated to the owner for this independent review work. Peer review and drawing revisions if any are required to be addressed on the approved building permit drawings.
- 7) Requirements of the City of Kelowna fire prevention regulations bylaw No. 10760 for buildings 6 stories and greater are to be shown on the building permit drawings. Please add these to the requirements outlined in BCBC 3.2.6 for High Buildings
- 8) Fire Department access to site, turn a rounds requirement for equipment, travel distance from the truck access to the front doors of the units and private hydrant locations if required are too be verified with Kelowna Fire Department. The Fire truck is required to be able to drive up to access the front door within a range of 3 meters to 15 meters on an unobstructed hard surface path.
- 9) A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - a. Any alternative solution must be accepted by the Chief Building Inspector prior to the release of the Building Permit.
 - b. Location, Heights, Colors of mechanical systems and the required screening are to be determined at time of DP
 - c. Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - d. Handicap Accessibility to the main floor levels to be provided, ramps may be required.
 - e. Additional exit corridor maybe required for the tower since only one exit thru lobby is allowed. The travel distance for allowance of exit thru lobby is be defined to meet the limits or the lobby may require redesign.
 - f. Access to the roofs are required per NFPA and guard rails may be required and should be reflected in the plans if required
 - g. Single exit units (townhouses on the podium) are required to have a second exit if the single exit proposed is higher than 1.5 meters above the adjacent ground level BCBC 3.3.4.4. (3)
 - h. The terrace / roof top areas require a secondary means of egress as per BCBC 3.3.1.3. (2)
 - i. Green roof design will require schedules and sealed design by a building envelope consultant/engineer.
 - j. Washroom requirement for any Restaurant(s), CRU's, Live/Work or Amenity spaces are to be addressed on the base building drawings.
- 10) A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. Minimum building elevations are required to be established prior to the release of the Development Permit. If a soil removal or deposit permit is required, this must be provided at time of Development Permit application.
- 11) A minimum Geodetic Elevation of 343.66 meters is required for all habitable spaces including the parking garage(s). Minimum building elevations are required to be established prior to the release of the Development Permit or alternative approval from the subdivision approving officer as per section 5.3 of the bylaw is required prior to issuance of any building permits. If the Architect, Mechanical Engineer and Structural Engineer decide to water proof the foundation the drawings submitted for permit application must clearly define the details for protection of the walls and slab. Details and elevations at the vehicle ramp may need to be modified to accommodate the 343.66 minimum elevation.
- 12) We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent

properties is a civil action which does not involve the city directly. The items of potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, undermining & underpinning of existing foundation, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work, water infiltration systems, etc.

- 13) An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units and all corridors, number of required exits per area, door swing direction, handrails on each side of exit stairs, width of exits, spatial calculation for any windows in exit stairs, etc. Fire resistance ratings are required for storage, janitor and/or garbage enclosure room(s) / area(s). The drawings submitted for building permit is to clearly identify how this rating will be achieved and where these area(s) are located. Please address the requirements for temperature rise doors.
- 14) Mechanical Ventilation inlet and exhausts vents are not clearly defined in these drawings for the enclosed parking storeys. The location and noise from these units should be addressed at time of Development Permit.
- 15) Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
- 16) Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

6.2 Development Engineering Department

See attached memorandum dated July 6th 2017.

6.3 Fire Department

- 1) Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required. Template at Kelowna.ca.
- 2) Should a hydrant be required on this property it shall be operational prior to the start of construction and shall be deemed a private hydrant.
- 3) This building shall be addressed off of the street it is accessed from .
- 4) A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD.
- 5) Fire Department access is to be met as per BCBC 3.2.5.
- 6) Approved Fire Department steel lock box acceptable to the fire dept. is required by the fire dept. entrance and shall be flush mounted.
- 7) All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met including those for high buildings and communications.
- 8) Fire alarm system is to be monitored by an agency meeting the CAN/ULC S561 Standard.
- 9) Contact Fire Prevention Branch for fire extinguisher requirements and placement.
- 10) Fire department connection is to be within 45M of a fire hydrant – unobstructed unless all life safety issues are confirmed.

6.4 IPlan Parks & Public Spaces

- 1) Building corner creates a pinch point for pedestrians. Recommend cutting back to allow for clear sight lines, pedestrian safety and comfort, and adequate room for pedestrian to prepare to cross Ellis or Clement at the intersection.
- 2) Extend paving to create a bulb-out to serve as an entry plaza.
- 3) Ensure sidewalks at driveways remains level across the span of the drive aisle. Install MMCD standard vehicular letdowns.
- 4) Please provide a detail or specification for all fences which border public walkways. The intent would be to keep fencing low and transparent to increase vitality on the street.
- 5) Need to see a detail of tree planting in plaza in order to show how required soil volumes are being achieved.
- 6) Extend paving band to sidewalk and terminate sod here. Move tree over into sod area.
- 7) Recommend that retail entry doors are mirrored/paired to improve the street frontage rhythm, allow for larger entryways which create nodes for street life to occur. Once buildings are occupied, please ensure that the overall aesthetic and building façade is varied between units to provide an authentic, human scaled feeling within the urban realm.
- 8) Please show property lines on all plans/enlargements.
- 9) Indicate goomm soil depth for all tree plantings areas. Refer to Bylaw 7900 for soil volume requirements.
- 10) Tree species along Ellis Street to be determined. We are trying to define a consistent character and some research needs to be done.

7.0 Application Chronology

Date of Application Received: June 27th 2017
Date Public Consultation Completed: June 27th 2017

Report prepared by: Adam Cseke, Planner Specialist
Reviewed by: Terry Barton, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Attachment 'A' Development Engineering Memo dated July 6th 2017
DP17-0154 & DVP17-0157

CITY OF KELOWNA

MEMORANDUM

Date: July 06, 2017
File No.: DP17-0154
To: Community Planning (AC)
From: Development Engineer Manager (JK)
Subject: 1187 Sunset Drive

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. **General.**

- a) All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z16-0077.

James Kay, P.Eng.
Development Engineering Manager

JA

ATTACHMENT		A
This forms part of application		
# <u>DP17-0154</u>		
Planner Initials	AC	 City of Kelowna COMMUNITY PLANNING

CITY OF KELOWNA
MEMORANDUM

Date: July 06, 2017
File No.: DVP17-0157
To: Community Planning (AC)
From: Development Engineering Manager (JK)
Subject: 1187 Sunset Drive

Development Engineering comments and requirements regarding this development permit application are as follows:

This development variance permit application to vary the height to increase the north tower to 82.35 m – 29 stories and increase the south tower to 118.55m – 36 stories does not compromise any municipal services.

James Kay, P. Eng.
Development Engineering Manager

JA



DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE OF DEVELOPMENT PERMIT (DP17-0154) / DEVELOPMENT VARIANCE PERMIT (DVP17-0157)

Issued To: Sunset Drive Properties Ltd.
Site Address: 1187 Sunset Drive
Legal Description: Lot 1, District Lot 139, ODYD Plan KAP76304
Zoning Classification: C7 – Central Business Commercial
Development Permit Area: COMPREHENSIVE DEVELOPMENT PERMIT AREA

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. DP17-0154 for Lot 1, District Lot 139, ODYD Plan KAP76304, located at 1187 Sunset Dr, Kelowna, BC, to allow for the construction of the development be approved subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;
5. That a land use covenant protecting the use of the daycare be registered on title

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B, & C":

Section 14.7.5 Development Regulations (b)

To vary the maximum height of a building from 22 metres to 119 metres for the south tower and 98 metres for the north tower.

Section 6.4.2 Projections Into Yards

To vary the permitted balcony projection into the side yard (Sunset Drive) from 0.6m to 1.59m at various levels as described in Schedule 'A' and to vary the permitted balcony projection into the front yard (Water Street) from 0.6m to 1.32m on level 6 & 0.87m on level 36 as described in Schedule 'A'.

AND FURTHER THAT this Development Permit / Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permit Holder and be paid to the Permit Holder if the security is returned. The condition of the posting of the security is that should the Permit Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permit Holder, or should the Permit Holder carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Permit Holder. There is filed accordingly:

- a) Cash in the amount of \$ 915,210.62 OR
- b) A Certified Cheque in the amount of \$ 915,210.62 OR
- c) An Irrevocable Letter of Credit in the amount of \$ 915,210.62 .

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

 Ryan Smith, Community Planning Department Manager
 Community Planning & Real Estate

 Date

 Ryan Smith, Community Planning Department Manager
 Community Planning & Real Estate

**The PERMIT HOLDER is the CURRENT LAND OWNER.
 Security shall be returned to the PERMIT HOLDER.**

ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, BRITISH COLUMBIA

SCHEDULE

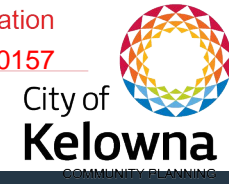
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This forms part of application

DP17-0154 & DVP17-0157

Planner
Initials

AC



2017-07-31 DEVELOPMENT PERMIT AMENDMENT



LANDSCAPE

- | | |
|--------|--|
| A0101 | PROJECT DRAWING LIST |
| A0102 | PROJECT INFORMATION, SYMBOLS & LEGENDS |
| A0103 | OVERALL |
| A0104 | CONTEXTUAL RENDERINGS |
| A0105 | PERSPECTIVE RENDERINGS - SHEET 1 |
| A0106 | PERSPECTIVE RENDERINGS - SHEET 2 |
| A0107 | SITE - SURVEY PLAN |
| A01101 | SITE - CONTEXT PLAN & SITE IMAGES |
| A01102 | SITE - LOCATION PLAN |
| A01103 | SITE - OVERALL PLAN |
| A01104 | SITE - SLOPE STUDY - SHEET 1 |
| A01105 | SITE - SLOPE STUDY - SHEET 1 |
| A01106 | SITE - SLOPE STUDY - SHEET 1 |
| A01107 | SITE - TOWER 2 SETBACK ENCROACHMENT |
| A01108 | FLOOR PLAN - PODIUM - LEVEL 01 |
| A01109 | FLOOR PLAN - PODIUM - LEVEL 02 |
| A01110 | FLOOR PLAN - PODIUM - LEVEL 03 |
| A01111 | FLOOR PLAN - PODIUM - LEVEL 04 |
| A01112 | FLOOR PLAN - PODIUM - LEVEL 05 |
| A01113 | FLOOR PLAN - TOWER 1 - LEVEL 06 |
| A01114 | FLOOR PLAN - TOWER 1 - LEVEL 07 |
| A01115 | FLOOR PLAN - TOWER 1 - LEVEL 08 |
| A01116 | FLOOR PLAN - TOWER 1 - LEVEL 09 |
| A01117 | FLOOR PLAN - TOWER 1 - LEVEL 10 |
| A01118 | FLOOR PLAN - TOWER 1 - LEVEL 11 TO 32 TYPICAL |
| A01119 | FLOOR PLAN - TOWER 1 - LEVEL 33 TO 35 TYPICAL |
| A01120 | FLOOR PLAN - TOWER 2 - LEVEL 36 TO 38 TOWER LEVEL 29 |
| A01121 | BUILDING ELEVATION - OVERALL - WEST |
| A01122 | BUILDING ELEVATION - OVERALL - EAST |
| A01123 | BUILDING ELEVATION - OVERALL - SOUTH |
| A01124 | BUILDING ELEVATION - OVERALL - NORTH |
| A01125 | ENLARGED ELEVATIONS - PODIUM - SHEET 1 |
| A01126 | ENLARGED ELEVATIONS - PODIUM - SHEET 2 |
| A01127 | ENLARGED ELEVATIONS - TOWER 1 - NORTH & EAST |
| A01128 | BUILDING ELEVATION - TOWER 1 - NORTH & EAST |
| A01129 | BUILDING ELEVATION - TOWER 1 - SOUTH & WEST |
| A01130 | BUILDING ELEVATION - TOWER 2 - NORTH & WEST |
| A01131 | BUILDING ELEVATION - TOWER 2 - SOUTH & EAST |

AC

City of Kelowna
COMMUNITY PLANNING



- L-01 COVER PAGE
- L-02 OVERALL SITE PLAN
- L-03 SITE PLAN - LEVEL 1
- L-03A SITE PLAN - LEVEL 1 - NORTH WEST
- L-03B SITE PLAN - LEVEL 1 - WEST
- L-03C SITE PLAN - LEVEL 1 - SOUTH
- L-03D SITE PLAN - LEVEL 1 - EAST
- L-03E SITE PLAN - LEVEL 1 - NORTH
- L-03F LEVEL 1 PRECEDENT IMAGES
- L-04 SITE PLAN - LEVEL 4
- L-04A SITE PLAN - LEVEL 4 - NORTH WEST
- L-04B SITE PLAN - LEVEL 4 - NORTH EAST
- L-04C SITE PLAN - LEVEL 4 - SOUTH WEST
- L-04D SITE PLAN - LEVEL 4 - SOUTH EAST
- L-04E SITE PLAN - LEVEL 4 - SOUTH
- L-04F PODIUM PRECEDENT IMAGES
- L-05 SECTIONS
- LD-01 DETAILS
- LD-02 DETAILS
- LD-03 DETAILS
- LD-04 DETAILS
- LD-05 PLANTING DETAILS

C-01	LOCATION PLAN
C-02	SITE SERVICING PLAN
C-03	SITE GRADING PLAN

- UNIT OF MEASUREMENT : METRIC

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|------|------------|------------------------------|----|
| 2 | 2017-07-31 | DEVELOPMENT PERMIT AMENDMENT | JB |
| 1 | 2017-06-28 | DEVELOPMENT PERMIT | JB |
| REV. | DATE | ISSUANCE | BY |
- ARCHITECT AND PRIME CONSULTANT



KKSIN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.
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CALGARY AB T2G 0H7 CANADA

TEL: +1 402.205.2640
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SEAL / PCOUNT

1572 AM



PROJECT

ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME

PROJECT DRAWING LIST

PROJECT NO: 150104 AUTHOR: OM APPROVED:

SOURCE

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

QUESTIONS

REVIEWS

A0.101

2

PROJECT INFORMATION

MUNICIPAL ADDRESS
1187 SUNSET DRIVE, KELLOWNA, B.C. V1Y 9P7

LEGAL ADDRESS
LOT 1, DISTRICT LOT 18, OYD PLAN KAP7634

PROPOSED ZONING
C7

PROPOSED USES
APARTMENT / RETAIL / LIVE-WORK

PROPOSED HEIGHT
TOWER 1 (SOUTH) - 36 STOREYS / 118.55m
TOWER 2 (NORTH) - 29 STOREYS / 82.35m

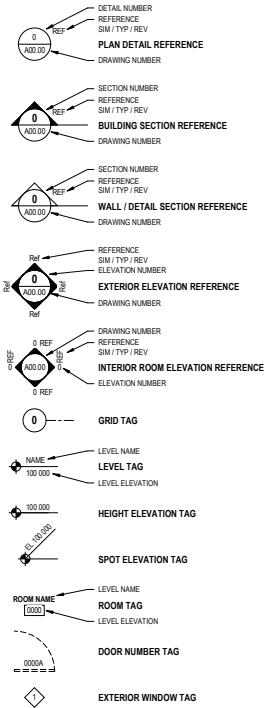
SITE AREA
11,493.2m²

BUILDING AREA
FOOTPRINT (AT GRADE) - 8,226.22m²
FOOTPRINT (INCL. DRIVEWAYS) - 9,869.19m²

COVERAGE
BUILDING - 75.7%
SITE COVERAGE (INCL. DRIVEWAYS) - 84.9%

ARCHITECTURAL SYMBOL LEGEND

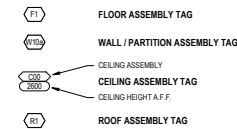
ANNOTATION SYMBOLS



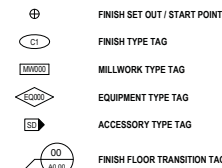
INTERIOR WINDOW / BORROWED LITE TAG

REVISION TAG

ASSEMBLY SYMBOLS



FINISHES SYMBOLS



ARCHITECTURAL ABBREVIATIONS

DESIGN NARRATIVE

PROJECT OVERVIEW

THE PROPOSED DEVELOPMENT HAS BEEN BRANDED AS 'ONE WATER STREET' AND IS DESIGNED WITH ALL THE AMENITIES FOR MODERN HIGH DENSITY LIVING. IT HAS BEEN CAREFULLY DETAILED TO BE FULLY RESPONSIVE TO VIEWS, CLIMATE AND THE URBAN CONTEXT. THE OBJECTIVE IS TO DEVELOP A HIGH-DENSITY PROJECT WITH ICONIC TOWERS AND GENEROUS AMENITIES THAT ATTRACTS LONG-TERM RESIDENTS. THERE WILL BE A SERIES OF INTERCONNECTED PUBLIC AND PRIVATE SPACES AND AN ENLIVENED PEDESTRIAN EXPERIENCE WHICH IS DECIDEDLY URBAN AND UNIQUELY MODERN. THE DESIGN PLACES A PRIORITY ON CREATING OPPORTUNITIES FOR A LIVELY AND ENGAGING PUBLIC REALM SO THAT THE DEVELOPMENT SUPPORTS THE DOWNTOWN AREA'S GOAL OF CONTINUING TO GROW AS A DESTINATION TO LIVE, WORK, SHOP, LEARN AND PLAY.

SITE

THE SITE IS LOCATED AT 1187 SUNSET DRIVE, TO THE NORTH SIDE OF CLEMENT AVE ACROSS THE STREET FROM THE NORTHERN BOUNDARY OF THE C7 AREA, A ZONE WHOSE PURPOSE IS TO ENCOURAGE HIGH-DENSITY MIXED-USE BUILDINGS. THE PROPOSED RE-ZONING IS A NATURAL EXTENSION OF THE C7 ZONE NORTHWARDS.

ZONING

THE C7 ZONE THAT IS BEFORE THE CITY FOR APPROVAL PERMITS AN FAR OF 8 AND A MAXIMUM HEIGHT OF 78.5m. IT ALSO LIMITS FLOOR PLATE SIZE TO A MAXIMUM OF 1221 SM. WITHIN THESE PARAMETERS, TWO TOWERS OF 29 STOREYS IN THEIR PLACES. THE RESIDENCES ARE SIMPLY ARRANGED WITH GENEROUS BEDROOMS, LIVING ROOMS, KITCHENS AND DINING ROOMS. EACH IS PROVIDED WITH AMPLE DAYLIGHT, GOOD VIEWS AND PRIVACY, A GENEROUS BALCONY, TERRACE OR ROOF PATIO ENHANCES THEIR CONNECTION TO THE OUTDOORS AND COMMUNITY AT LARGE.

URBAN CONTEXT

IN THE VICINITY OF THE SITE ARE SOME OF THE TALLEST BUILDINGS IN KELLOWNA. TO THE NORTH IS 1187 SUNSET AT 29 STOREYS HIGH. FURTHER NORTH IS WATERSCAPES AT 26 STOREYS AND APPROXIMATELY 88m HIGH. THE SITE DESIGN PROMOTES CONNECTION TO THE IMMEDIATE SURROUNDINGS BY BOTH PEDESTRIAN AND VEHICULAR MEANS.

DESIGN PHILOSOPHY

IN 1955, THE RENOWNED ARCHITECT ARTHUR ERICKSON CREATED A SKETCH, 'PLAN 58' WHICH HELPED DEFINE THE VANCOUVER SKYLINE FOR YEARS TO COME. IT WAS CHARACTERIZED BY TALL, BUT WIDELY SEPARATED, SLENDER TOWERS, INTERSPERSED WITH LOW-RISE BUILDINGS, PUBLIC SPACES, SMALL PARKS AND PEDESTRIAN-FRIENDLY STREETSCAPES AND FACADES TO MINIMIZE THE IMPACT OF A HIGH-DENSITY POPULATION. VANCOUVER'S SUBSEQUENT APPROACH TO HIGH RISE, HIGH-AMENITY AND HIGH DESIGN IS NOW HIGHLY PREVALENT AND REVERED ACROSS THE WORLD.

JUST AS ERICKSON'S VISION FOR VANCOUVER RESONATED AS IT REMAINED SENSITIVE TO THE NATURAL SURROUNDINGS, THE SWEEPING CURVE OF ASCENDING, HIGH-RISE FORMS, WHICH IS EXTENDED BY THIS SCHEME WILL CELEBRATE AND REFLECT KELLOWNA'S MOUNTAIN AND VALLEY LANDSCAPE.

ONE WATER STREET DELIVERS AN ICONIC DESIGN, CONSISTING OF TWO RESIDENTIAL TOWERS ABOVE A STOREY PODIUM. THIS PROPOSAL OPTS FOR A SLENDER PODIUM TOWER FORM THAT PROMOTES VIEWS TO AND FROM THE DEVELOPMENT. THESE PROPORTION POINT BREATHING ROOM BETWEEN THE TOWERS WITH GENEROUS AMENITY SPACES ON THE PODIUM. THE PROPOSED AESTHETIC LANGUAGE IS DEFINED AS 'OKANAGAN URBAN', A HARMONIOUS BLEND OF CONTEMPORARY ARCHITECTURAL STYLE, NESTLED WITHIN THE UNIQUE CHARACTER OF THE OKANAGAN ENVIRONMENT.

FORM

THE TOWERS ARE ANGLED IN PLAN TO MAXIMIZE VIEWS TOWARDS THE LAKE AND THE BRIDGE. THIS ANGULAR ARRANGEMENT IS FOUND REPEATEDLY IN THE LAYOUT OF THE PODIUM AND RESULTS IN A BREAKDOWN OF THE MASS OF THE PODIUM FACADE CREATING HUMAN SCALE ELEMENTS AND EXTERIOR SPACES WITH CHARACTER.

THE FACADE TREATMENT OF THE TOWERS FURTHER SERVES TO BREAKDOWN THE MASS WITH THE USE OF VARYING GLASS COLOURS AND WITH HORIZONTAL EXTENSIONS OF THE BALCONY ENCLOSURES. THE UNITS THEMSELVES ARE BRIGHT AND SPACIOUS WHILE ALLOWING FOR LARGE OUTDOOR TERRACES, BALCONIES AND ROOF PATIOS. A GLASS, ENCLOSED PENTHOUSE COURTYARD WILL BE ILLUMINATED AT NIGHT TIME AND WILL DRAW THE EYE UP THE SLENDER SILHOUETTES OF THE TOWERS.

AT THE TOWER ENTRY LOBBIES EITHER SIDE OF THE SUNSET DRIVE COURTYARD, THE TOWER FORM EXTENDS TO GRADE LEVEL AND IS EXPRESSED THERE. THE SCALE OF THE BUILDINGS ARE REPEATEDLY BROKEN DOWN BY A SERIES OF CELEBRATED LOBBY ENTRANCES AND RETAIL AREAS.

RESIDENTIAL DESIGN PRINCIPLES

THE GOAL FOR THE RESIDENTS OF ONE WATER STREET IS TO PROVIDE HIGH QUALITY, LIVABLE HOMES WITHIN A DENSE AND VIBRANT URBAN ENVIRONMENT. THESE HOMES ARE DESIGNED FOR A VARIETY OF FAMILIES AND LIFE STYLES. THE RESIDENCES ARE SIMPLY ARRANGED WITH GENEROUS BEDROOMS, LIVING ROOMS, KITCHENS AND DINING ROOMS. EACH IS PROVIDED WITH AMPLE DAYLIGHT, GOOD VIEWS AND PRIVACY, A GENEROUS BALCONY, TERRACE OR ROOF PATIO ENHANCES THEIR CONNECTION TO THE OUTDOORS AND COMMUNITY AT LARGE.

RETAIL STRATEGY

A SUCCESSFUL, WALKABLE NEIGHBOURHOOD STARTS AT THE GROUND FLOOR. A GREAT DEAL OF THAT GROUND PLANE IS PROGRAMMED AND ACTIVATED WITH RETAIL FRONTAGES. THE DESIGN ENABLES A SAFE, ACTIVE AND COHESIVE STREET CHARACTER. THE PUBLIC REALM STRATEGY PROMOTES A COHESIVE AND COMPLEXLY LAYERED COMMUNITY FULL OF COLOUR, TEXTURE, AND ACTIVITY. LARGE AND SMALL SHOPS THAT ARE COMPLEMENTED BY EXTENSIVE LANDSCAPING, GENEROUS SIDEWALKS, PATIOS AND RETRACTABLE CANOPIES. THE DEVELOPMENT WILL FEATURE A VARIETY OF AMENITIES IN ADDITION TO PLENTY OF SHOPS, CAFES AND RESTAURANTS EACH WITH AMPLE PATIO AND OUTDOOR SPACE.

PUBLIC REALM & LANDSCAPING

THE COURTYARD AT VARYING SCALES IS A DESIGN INSPIRATION FOR THE DEVELOPMENT. RINGED BY TREES, A LARGE PUBLIC SPACE IS LOCATED AT THE GROUND LEVEL, ON SUNSET DRIVE BETWEEN THE ENTRIES TO THE TOWERS. AT A SMALLER SCALE, THE COURTYARD IS FOUND ON THE TOWER LEVELS WITH LARGE SEMI-RECESSED BALCONIES. THIS APPROACH TO ELEVATED LIVING ENCOURAGES THE OUTDOOR LIFESTYLE THAT IS SO PREVALENT IN THE REGION.

TO THIS END, ALL SITE LANDSCAPING WILL BE SPECIFIC TO THE OKANAGAN CLIMATE, AND PLANTINGS ARE SELECTED BASED ON LOW MAINTENANCE AND SENSITIVITY TO THE LOCAL ENVIRONMENTAL.

AT THE HEART OF THE DEVELOPMENT IS A LANDSCAPED, OUTDOOR AMENITY SPACE WHICH ACTS AS A GATHERING PLACE, COLLECTOR AND AMENITY FOR THE RESIDENTS. THIS WILL BE LOCATED ON TOP OF THE PODIUM WITH DIRECT ACCESS FROM BOTH TOWERS. THE TERRACING ARRANGEMENT OF THE PODIUM ENCOURAGES INTERACTION WITH THE STREET AND SPLITS DOWN FROM THE RESIDENCES TO THE GARDENS AND AMENITIES AND FINALLY TO STREET LEVEL. THE WRAPPING OF THE PODIUM WITH AT-GRADE RETAIL AT DIFFERING SCALES BREAKS DOWN THE MASS OF THE FACADE AND ALLOWS FOR AN ENGAGING STREETSCAPE, CREATING A GENEROUS SIDEWALK AN OUTDOOR SEATING AREAS.

THE PROVISION OF STREET LIGHTING AND CLEAR SITE LINES CREATES A WARM AND WELCOMING PUBLIC REALM AND ELIMINATES OPTED ISSUES. THROUGH A REDUCTION IN THE NUMBER OF GRADE CHANGES, RAISED PLANTER BEDS AND OTHER IMPEDIMENTS AS WELL AS A REQUIREMENT THAT ALL ENTRANCES BE FULLY ACCESSIBLE, A HEALTHY AND WALKABLE STREETSCAPE IS ENSURED.

CLIMATIC DESIGN

THE SUCCESS OF THE PLAZA AND SURROUNDING TENANTS DEPENDS ON CREATING A WELCOMING AND COMFORTABLE OUTDOOR ENVIRONMENT THAT PEOPLE CAN INHABIT AND ENJOY FOR AS MUCH OF THE YEAR AS POSSIBLE. THE LANDSCAPE AND PUBLIC REALM IS DESIGNED TO HARNESS AND MITIGATE ENVIRONMENTAL FACTORS TO CREATE A PLEASANT SHIELTERED OUTDOOR MICRO CLIMATE FOR PATIOS, EVENTS AND GATHERINGS.

THE STEPPED PODIUM MASSING SLOWS WIND SPEEDS AND DIRECTS IT AWAY FROM SIDEWALK AND PATIO AREAS. THIS MASSING COMBINED WITH STRATEGIC LANDSCAPING WILL ALLOW US TO LET THE WARM SUN IN, WHILE KEEPING THE COLD WIND OUT. EXTENDING THE APPEAL OF AN OUTDOOR LIFESTYLE. RAISED GARDEN LEVELS PROVIDE SEMI-PRIVATE AMENITIES TO RESIDENTS, AND FURTHER REDUCE HEAT ISLAND EFFECT AND STORM WATER RUN-OFF.

PARKING & ACCESS

A COMPREHENSIVE PEDESTRIAN AND VEHICULAR SITE ACCESS ARRANGEMENT WILL ALLOW VISITORS AND RESIDENCES TO COME AND GO WITH EASE AND CLARITY. PARKING FOR THE DEVELOPMENT WILL BE LOCATED IN THE 3 STORY PODIUM AND WILL BE WRAPPED BY COMMERCIAL UNITS ON SUNSET DRIVE AND ON CLEMENT AVE. AND BY LIVELIHOOD UNITS ON ELLIS STREET. PODIUM EDGES ARE ARTICULATED TO CREATE AN ENJOYABLE AND WALKABLE ENVIRONMENT, ALLOWING FOR EASY NAVIGATION AND ORIENTATION. DUE TO THE HIGH WATER TABLE IN KELLOWNA NO OCCUPIED SPACE WILL BE LOCATED BELOW GRADE.

VEHICULAR ACCESS TO THE SITE IS AT THE NORTHERN LIMIT OF THE SITE WITH ACCESS FROM SUNSET DRIVE TO THE WEST AND SEPARATE ACCESS FROM ELLIS STREET TO THE EAST. THIS APPROACH ACCOMMODATES VEHICLES WHILE PERMITTING THE REMAINING 3 SIDES OF THE SITE TO BE URBAN IN SCALE AND WITH A VERY STRONG FOCUS ON THE PEDESTRIAN. PARKING IS PROVIDED IN EXCESS OF THE 1 PER UNIT REQUIRED BY THE BY-LAW AND IS TO BE SCREENED FROM VIEW FROM THE STREET.

MATERIALS

THE PROPOSED MATERIAL STRATEGY IS DESIGNED TO ALLOW FOR A TIMELESS, CONSISTENT AND MODERN PALATE THROUGHOUT THE DEVELOPMENT WHILE ENABLING INDIVIDUAL TENANCIES TO HAVE THEIR OWN CHARACTER. AT THE BASE, DURABLE MATERIALS SUCH AS CONCRETE, STONE, AND METAL COMPLEMENTED BY WARMER TONES IN WOOD ALLOW SOME VARIETY IN FORM AND COLOUR. HIGH QUALITY MATERIALS PROVIDE TEXTURE, DURABILITY AND A FINE GRAIN CHARACTER TO THE RETAIL STREETS AND PEDESTRIAN WALKS IN THE PROJECT. ALL MATERIALS CHOSEN ARE LONG-LASTING, DURABLE, AND WILL STAND THE TEST OF TIME.

ABOVE THIS BASE, A CLEAN MODERN MATERIAL STRATEGY EMERGES THROUGH THE USE OF SUBTLE TONES AND EXPANSIVE GLAZING. CONSISTENT USE OF MATERIALS AND COLOURS AT THE LOBBIES AND ENTRIES OF THE BUILDINGS AS WELL AS IN THE PARKADE HELP ORIENT RESIDENTS AND VISITORS ALIKE.

OPTED

IN ORDER TO ENSURE EFFECTIVE CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (OPTED) FOR THIS PROJECT IT WILL USE SEVERAL APPROACHES. IT WILL INCLUDE BUT NOT LIMIT TO STRATEGIES USING NATURAL SURVEILLANCE, TERRITORIAL REINFORCEMENT, NATURAL ACCESS CONTROL AND TARGET HARDENING. THE FOLLOWING SUMMARY WILL IDENTIFY THE ELEMENTS AND STRATEGIES EMPLOYED WITH REGARD TO THE ABOVE.

THE PROJECT FACES ONTO THREE PUBLIC STREETS: WATER ST., ELLIS ST. AND SUNSET DRIVE. THE LOCATION OF RETAIL, LOBBY AND LIVELIHOOD UNITS PROVIDE NATURAL SURVEILLANCE BY HAVING EYES ON THE STREET THROUGHOUT THE COURSE OF THE DAY. DURING EVENING HOURS AFTER BUSINESS HOURS STREET LIGHTING AND CLEAR SIGHTLINES HELP TO PROVIDE SAFE ACCESS TO THE LOBBIES AND GROUND FLOOR UNITS. IT ALSO HELPS TO DETER VANDALISM OR RELATED ACTIVITIES.

THE HIGH LEVEL OF DESIGN AND STRONG FOCUS ON PROVIDING A TRULY PEDESTRIAN AND LIVABLE ENVIRONMENT PROVIDES TERRITORIAL REINFORCEMENT AND NATURAL ACCESS CONTROL. PRIOR TO CONSTRUCTION, THE PROJECT WILL BE WRAPPED BY COMMERCIAL UNITS ON SUNSET DRIVE AND ON CLEMENT AVE. AND BY LIVELIHOOD UNITS ON ELLIS STREET. UPKEEP BUT PROVIDE A NATURAL AND WELCOMING FEEL. PUBLIC AREAS ARE CLEARLY IDENTIFIED THROUGH DISTINCT RETAIL FRONTAGES AND SIGNAGE. THE THREE STOREY LOBBY ENTRANCES CLEARLY DENOTE THE PRIVATE ACCESS FOR RESIDENTS. THE PARKADE LOBBY AND PARKADE ACCESS WILL USE SECURITY MEASURE MAINTAIN A SEMI-PRIVATE ACCESS DURING REGULAR AND AFTER HOURS.

TARGET HARDENING MEASURE WILL BE REQUIRED FOR THE REMAINING LOW USE AREAS SUCH AS EXIT STAIRS, LOADING AREAS AND SERVICE ENTRANCES. THIS WILL REQUIRE BE ADDRESSED THROUGH SECURE HARDWARE, MONITORED SURVEILLANCE AND ALARM DEVICES WHERE APPLICABLE.

ACCESSIBILITY

THIS PROJECT HAS BEEN DESIGNED TO ENSURE INCLUSIVENESS FOR PUBLIC AND RESIDENTS ALIKE. UNDERSTANDING THAT ACCESSIBILITY IS NOT ONLY FOR MOBILITY IMPAIRMENTS BUT SHOULD ALSO ADDRESS THOSE THAT MAY HAVE OTHER FORMS OF IMPAIRMENTS THAT MAY LIMIT THEIR HEARING, SIGHT OR PHYSICAL ABILITIES. IN ADDITION THIS PROJECT ALSO LOOKS TO ADDRESS COMMON EVERYDAY ACCESSIBILITY ISSUES WHEN CARRYING LARGE OBJECTS, TRAVELLING WITH CHILDREN, MOVING AND DELIVERY OF GOODS.

THE FOLLOWING IS A LIST OF KEY ELEMENTS THAT WILL ENSURE ACCESS FOR ALL IN THIS PROJECT.

- LARGE OPEN WALKWAYS FROM THE MAIN PLAZA LEAD TO EACH OF THE TOWER LOBBY ENTRANCES
- LOBBY ELEVATORS PROVIDE ACCESS TO AMENITY SPACES LOCATED ON THE UPPER ROOF LEVEL OF THE PODIUM
- A CENTRAL PARKING LOBBY ALLOWS EASE OF ACCESS FOR VISITORS, RETAIL SHOPPERS, AND TENANTS
- ACCESSIBLE STAIRS HAVE BEEN LOCATED NEAR THE CENTRAL CORES AND PARKING LOBBY TO MINIMIZE TRAVEL DISTANCE FOR THE THOSE WITH LIMITED MOBILITY.
- MATERIALS AND THEIR PLACEMENT IN THE DESIGN HELP TO CREATE A DISTINCTION BETWEEN THE DIFFERENT PROGRAM ELEMENTS OF THE PROJECT.
- SERVICE SPACES SUCH AS GARBAGE, STORAGE AND BIKE ROOMS HAVE BEEN LOCATED CLOSE TO THE CORES TO MINIMIZE TRAVEL FOR RESIDENTS.



UNIT OF MEASUREMENT - METRIC

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2	2017-07-31	DEVELOPMENT PERMIT AMENDMENT	JB
1	2017-06-28	DEVELOPMENT PERMIT	JB
REV.	DATE	ISSUANCE	BY

ARCHITECT AND PRINCIPAL CONSULTANT



SHEET NUMBER

ARCHITECT

PROJECT

ONE WATER STREET

1187 SUNSET DRIVE, KELLOWNA, B.C. CANADA

SHEET NAME

PROJECT INFORMATION, SYMBOLS & LEGENDS

PROJECT NO: 105104 AUTHOR: GM APPROVED: Chetan

DATE:

DEVELOPMENT PERMIT AMENDMENT

DATE:

NOT FOR CONSTRUCTION

DATE:

A0.102 2

SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157



Planner Initials AC

City of Kelowna
COMMUNITY PLANNING

South Tower Area Matrix

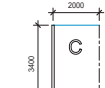
Level	Unit # and Area (sf)										Total # of Units	Total Unit Area (sf)	Studio	1 Bed	1 Bed + Den	2 Bed	2 Bed + Den	3 Bed	4 Bed	2 Bed Townhouse	3 Bed Townhouse
36	4423.0	-	-	-	-	-	-	-	-	-	1	4423.0	-	-	-	-	-	-	1	-	-
35	2632.0	2604.0	1591.0	-	-	-	-	-	-	-	3	6827.0	-	-	-	-	1	2	-	-	-
34	2632.0	2604.0	1591.0	-	-	-	-	-	-	-	3	6827.0	-	-	-	-	1	2	-	-	-
33	2632.0	2604.0	1591.0	-	-	-	-	-	-	-	3	6827.0	-	-	-	-	1	2	-	-	-
32	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
31	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
30	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
29	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
28	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
27	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
26	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
25	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
24	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
23	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
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17	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
16	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
15	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
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13	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
12	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
11	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-
10	611.0	612.0	866.0	457.0	1015.0	553.0	536.0	840.0	1165.0	442.0	10	7097.0	2	2	2	3	1	1	-	-	-
9	611.0	612.0	866.0	457.0	1015.0	553.0	536.0	840.0	1165.0	442.0	10	7097.0	2	2	2	3	1	1	-	-	-
8	611.0	612.0	866.0	457.0	1015.0	553.0	536.0	840.0	1165.0	442.0	10	7097.0	2	2	2	3	1	1	-	-	-
7	611.0	612.0	866.0	457.0	1015.0	553.0	536.0	840.0	1165.0	442.0	10	7097.0	2	2	2	3	1	1	-	-	-
6	611.0	612.0	866.0	457.0	1015.0	553.0	536.0	840.0	1165.0	442.0	10	7097.0	2	2	2	3	1	1	-	-	-
5	1908.0	1835.0	1929.0	1881.0	1856.0	1856.0	1731.0	1949.0	-	-	8	14945.0	-	-	-	-	-	-	5	3	-
4	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Totals (sf)	31,142.0	26,655.0	33,054.0	33,822.0	31,131.0	26,775.0	35,387.0	6,149.0	5,825.0	2,210.0	222	282,150.0	10	10	54	81	30	28	1	5	3
Totals (m2)	2,899.1	2,476.2	3,070.7	3,142.1	2,892.1	2,487.4	3,287.5	571.2	541.1	205.3	222	21,566.7	-	-	-	-	-	-	-	-	-

North Tower Area Matrix

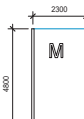
Level	Unit # and Area (sf)											Total # of Units	Total Unit Area	Studio	1 Bed	1 Bed + Den	2 Bed	2 Bed + Den	3 Bed	4 Bed	2 Bed Townhouse	3 Bed Townhouse	4 Bed Townhouse
	1	2	3	4	5	6	7	8	9	10	11												
29	4423.0	-	-	-	-	-	-	-	-	-	-	1	4423.0	-	-	-	-	-	-	1	-	-	-
28	2632.0	2604.0	1591.0	-	-	-	-	-	-	-	-	3	6827.0	-	-	-	-	1	2	-	-	-	-
27	2632.0	2604.0	1591.0	-	-	-	-	-	-	-	-	3	6827.0	-	-	-	-	1	2	-	-	-	-
26	2632.0	2604.0	1591.0	-	-	-	-	-	-	-	-	3	6827.0	-	-	-	-	1	2	-	-	-	-
25	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
24	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
23	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
22	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
21	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
20	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
19	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
18	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
17	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
16	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
15	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
14	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
13	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
12	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
11	630.0	634.0	1001.0	1348.0	1100.0	1007.0	1408.0	-	-	-	-	7	7128.0	-	-	2	3	1	1	-	-	-	-
10	611.0	612.0	866.0	457.0	1015.0	553.0	536.0	840.0	1165.0	442.0	-	10	7097.0	2	2	2	3	1	1	-	-	-	-
9	611.0	612.0	866.0	457.0	1015.0	553.0	536.0	840.0	1165.0	442.0	-	10	7097.0	2	2	2	3	1	1	-	-	-	-
8	611.0	612.0	866.0	457.0	1015.0	553.0	536.0	840.0	1165.0	442.0	-	10	7097.0	2	2	2	3	1	1	-	-	-	-
7	611.0	612.0	866.0	457.0	1015.0	553.0	536.0	840.0	1165.0	442.0	-	10	7097.0	2	2	2	3	1	1	-	-	-	-
6	611.0	612.0	866.0	457.0	1015.0	553.0	536.0	840.0	1165.0	442.0	-	10	7097.0	2	2	2	3	1	1	-	-	-	-
5	1589.0	1486.0	1867.0	1588.0	2275.0	1729.0	1729.0	1729.0	1729.0	1729.0	11	15,179.0	-	-	-	-	-	-	-	-	1	9	1
Totals (sf)	26,413.0	21,868.0	25,985.0	24,093.0	23,850.0	19,599.0	25,529.0	5,929.0	7,554.0	3,939.0	1,729.0	176	186,488.0	10	10	40	60	23	21	1	1	9	1
Totals (m2)	2,453.8	2,031.5	2,414.0	2,238.2	2,215.7	1,820.7	2,371.6	550.8	701.8	365.9	160.6	176	17,324.7	-	-	-	-	-	-	-	-	-	-



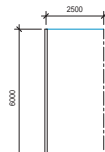
CLASS II BIKE PARKING



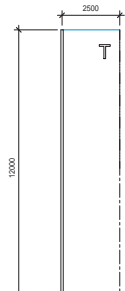
COMPACT VEHICLE PARKING



MEDIUM VEHICLE PARKING



STANDARD VEHICLE PARKING



TANDEM VEHICLE PARKING

Parking
City Required Residential Parking: 1 Stall per unit
City Required Visitor Parking: 1 Stall per 7 units (included in City requirement above)
Parking Requirement by Owner: 1.4 Stalls per unit
Commercial Parking: 1.3 Stalls per 100m2
Daycare Parking: 4 stalls on 3rd floor
Residential Bicycle Parking: 0.5/dwelling unit - Class 1; 0.1/dwelling unit - Class 2
Commercial Bicycle Parking: 0.2/100m2 - Class 1; 0.4/100m2 - Class 2
Restaurant Bicycle Parking: 0.1/100m2 - Class 1

Vehicle Parking Requirement	
-----------------------------	--



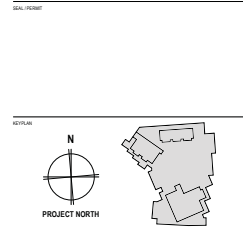
CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)	
Key Value	Keynote Text
CP1	PARKADE OVERHEAD DOORS - SECURE HOURS OF OPERATION W/ VIDEO SURVEILLANCE
CP2	PARKADE PUBLIC TENANT SEPARATION - PHYSICAL SEPARATION
CP3	PARKADE TENANT PARKING SECURE GATE ACCESS
CP4	PARKADE LOADING AREA MONITORED AND SECURED AT ACCESS POINTS W/ VIDEO SURVEILLANCE
CP5	PARKADE LOBBY ACCESS VISIBLE FROM LOBBY AND MAJOR STREETS
CP7	MAIN ENTRY AND RETAIL SPACES VISIBLE FROM MAJOR STREETS
CP8	LIVE/WORK AND RETAIL UNITS PROVIDE 'EYES' ON STREET TO MINIMIZE VANDALISM AND GRAFFITI
CP9	ALL SERVICE ROOMS MONITORED AND SECURE
CP10	ALL ELEVATOR LOBBIES MONITORED AND SECURE W/ FOB ACCESS TO TENANT FLOORS FROM COMMON AREAS



UNIT OF MEASUREMENT : METRIC
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2	2017-07-31	DEVELOPMENT PERMIT AMENDMENT	JB
1	2017-06-28	DEVELOPMENT PERMIT	JB
REV.	DAT	ISSUANCE	BY

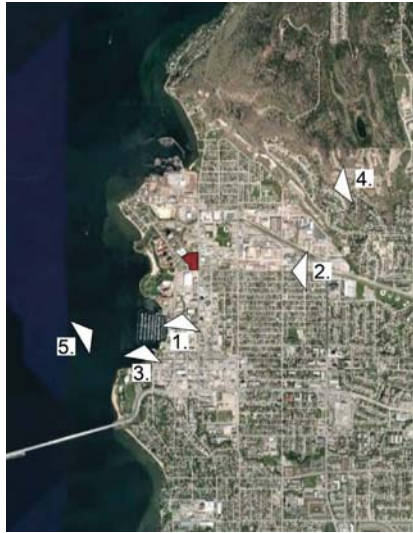
ARCHITECT AND FIRM CONSULTANT
kasian
 KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.
 1187 SUNSET DRIVE, KELOWNA, B.C. CANADA
 TEL: 250.860.0444
 FAX: 250.860.0445
 CONSULTANT



PROJECT
ONE WATER STREET
 1187 SUNSET DRIVE, KELOWNA, B.C. CANADA
 SHEET NAME

CPTED PLAN
 PROJECT NO: 180104 AUTHOR: JB APPROVED: Chohan
 ISSUANCE
 DEVELOPMENT PERMIT AMENDMENT
 NOT FOR CONSTRUCTION
 DATE: 2017-07-31

A0.104 2



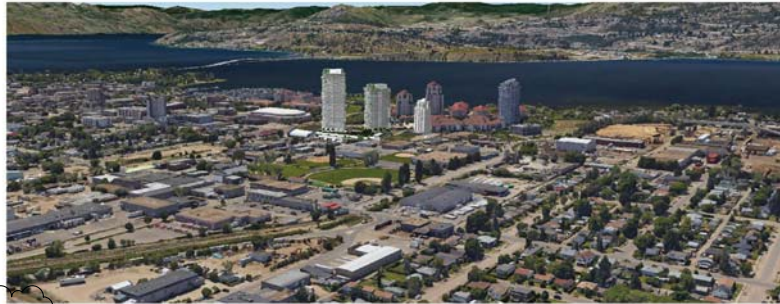
1. CONTEXTUAL RENDERING WATER STREET + BERNARD AVENUE



2. CONTEXTUAL RENDERING GORDON DRIVE + CLEMENT AVENUE



3. CONTEXTUAL RENDERING DOWNTOWN



4. CONTEXTUAL RENDERING KNOX MOUNTAIN

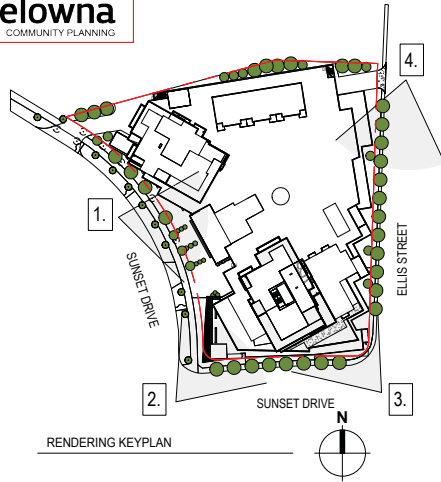


5. CONTEXTUAL RENDERING MARINA

SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner Initials AC



RENDERING KEYPLAN



1. STREET LEVEL RENDERING _NW CORNER



2. STREET LEVEL RENDERING _SW CORNER



3. STREET LEVEL RENDERING _SE CORNER



4. STREET LEVEL RENDERING _NE CORNER



UNIT OF MEASUREMENT : METRIC

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1	2017-06-28	DEVELOPMENT PERMIT	J.B.
REV.	DATE	ISSUANCE	BY

ARCHITECT AND PRINCIPAL CONSULTANT



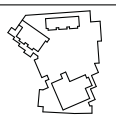
KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.
1187 SUNSET DRIVE, KELOWNA, B.C. CANADA
TEL: 250-860-0000
FAX: 250-860-0001

TEL: 250-860-0000

CONSULTANT

SHEET NUMBER

PROJECT



PROJECT
ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C. CANADA

SHEET NAME

PERSPECTIVE
RENDERINGS - SHEET 1

PROJECT NO. 180104 AUTHOR: MM APPROVED: CHEN

ISSUANCE

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

DATE: 2017-07-31

A0.602 2

SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials AC



SITE CONTEXT _VIEW FROM EAST



SITE CONTEXT _VIEW FROM SOUTH



SITE CONTEXT _VIEW FROM WEST



CONTEXT PLAN



VIEW E @ CLEMENT AVE.



VIEW N @ ELLIS ST.



VIEW S @ SUNSET DR.



VIEW W @ CLEMENT AVE.

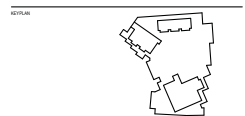


UNIT OF MEASUREMENT : METRIC
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2	2017-07-31	DEVELOPMENT PERMIT AMENDMENT	JB
1	2017-06-28	DEVELOPMENT PERMIT	JB
REV.	DATE	ISSUANCE	BY



SHEET NUMBER



PROJECT
ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

DRAWING

SITE - CONTEXT PLAN & SITE IMAGES

PROJECT NO: 185104 AUTHOR: BM APPROVED: Chohan

ISSUANCE
DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

DRAWING NO: 185104

A1.101

2

PLAN 42174

[illegible]

SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials AC



MUNICIPAL ADDRESS
1187 SUNSET DRIVE, KELOWNA, B.C., V1Y9P7

LEGAL ADDRESS
LOT 1, DISTRICT LOT 139, ODD PLAN KAP76304

SITE AREA
11,493.2m²

BUILDING AREA
FOOTPRINT (AT GRADE) - 9,226.22m²
FOOTPRINT (INCL. DRIVEWAYS) - 9,859.19m²

COVERAGE
BUILDING - 79.7%
SITE COVERAGE (INCL. DRIVEWAYS) - 84.9%

CLASS 2 BIKE STALLS
48 STALLS



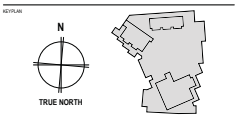
UNIT OF MEASUREMENT : METRIC
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2 2017-07-31 DEVELOPMENT PERMIT AMENDMENT JB
1 2017-06-28 DEVELOPMENT PERMIT JB
REV. DATE REVISION JB
ARCHITECT AND FIRM CONSULTANT



KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.
400-1000 HASTINGS DRIVE, SUITE 100, VICTORIA, B.C. V8M 1Y1
TEL: 250-383-0000
FAX: 250-383-0001
WWW.KASIANARCHITECTURE.COM

SHEET NAME



ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME

SITE - OVERALL PLAN

PROJECT NO: 18014 AUTHOR: BM APPROVED: CHEN

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

SHEET NO. 2

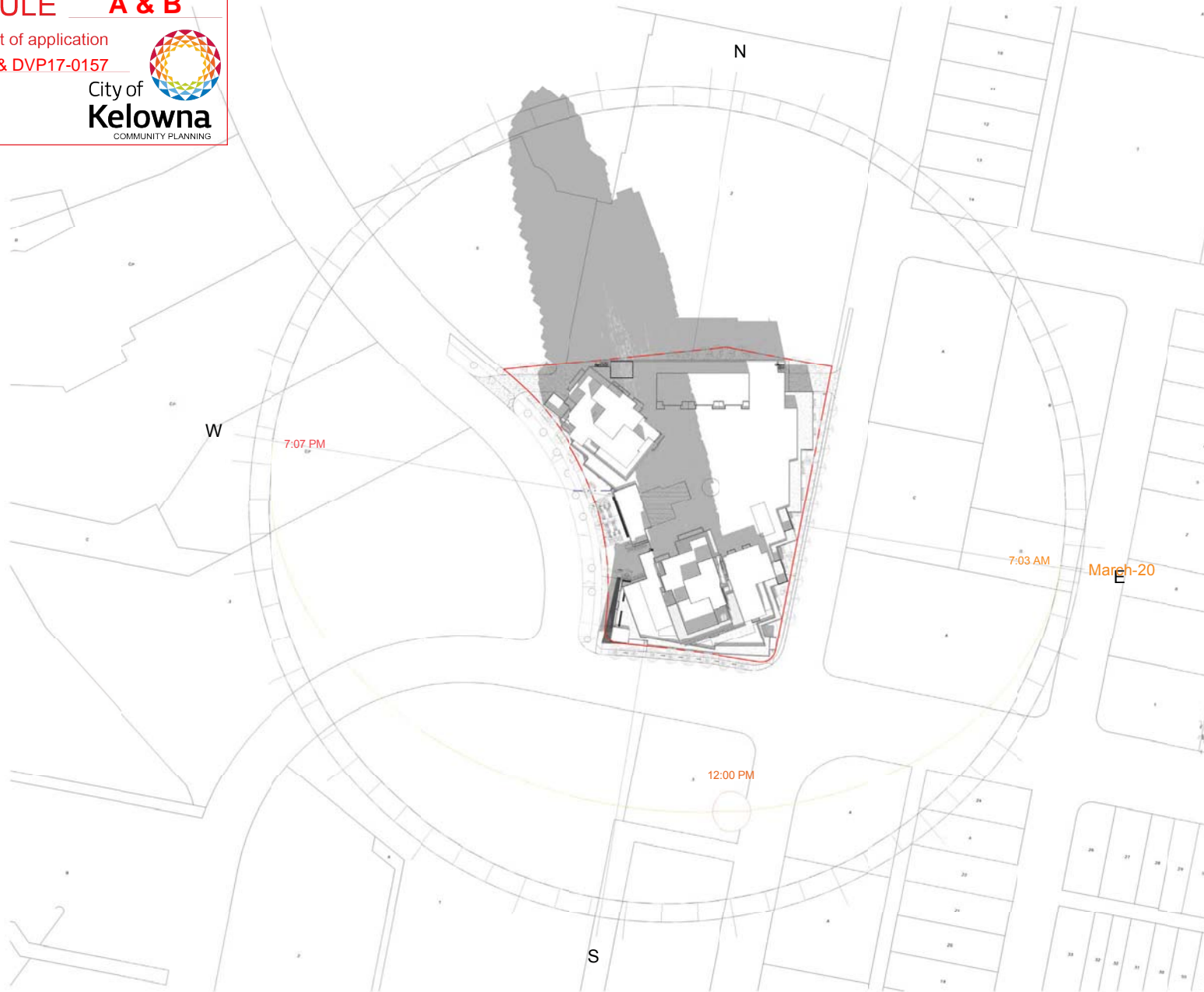
A1.103

2

SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials AC

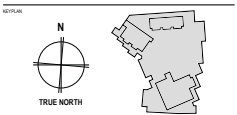


UNIT OF MEASUREMENT : METRIC
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2	2017-07-31	DEVELOPMENT PERMIT AMENDMENT	J.B.
1	2017-06-28	DEVELOPMENT PERMIT	J.B.
REV.	DATE	ISSUANCE	BY



SHEET NUMBER



PROJECT
ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME
SITE - SOLAR STUDY - SHEET 1

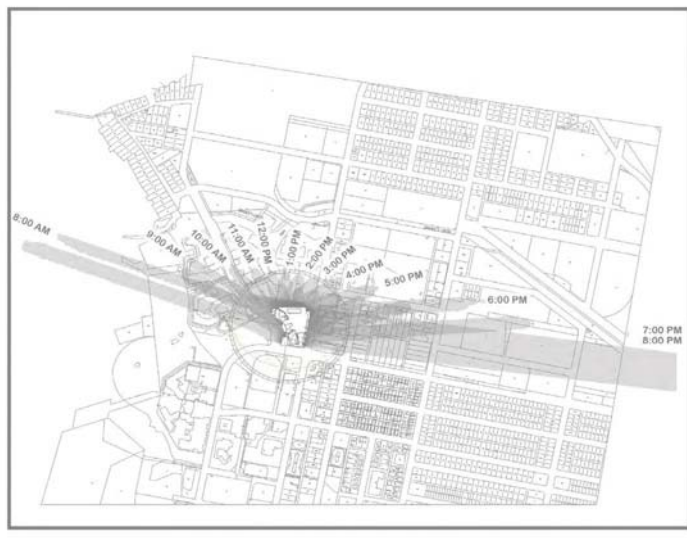
PROJECT NO. 189104 AUTHOR: MM APPROVED: Chohan
SOURCE
DEVELOPMENT PERMIT AMENDMENT
NOT FOR CONSTRUCTION

SHEET NO. 2

A1.104

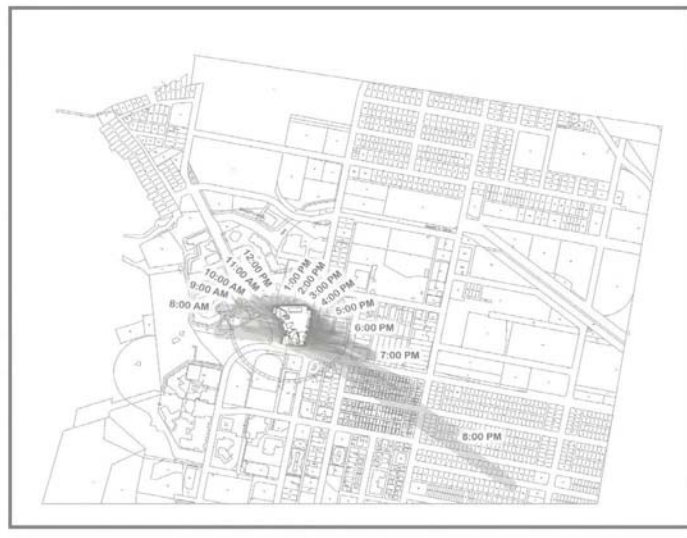
SPRING

EQUINOX



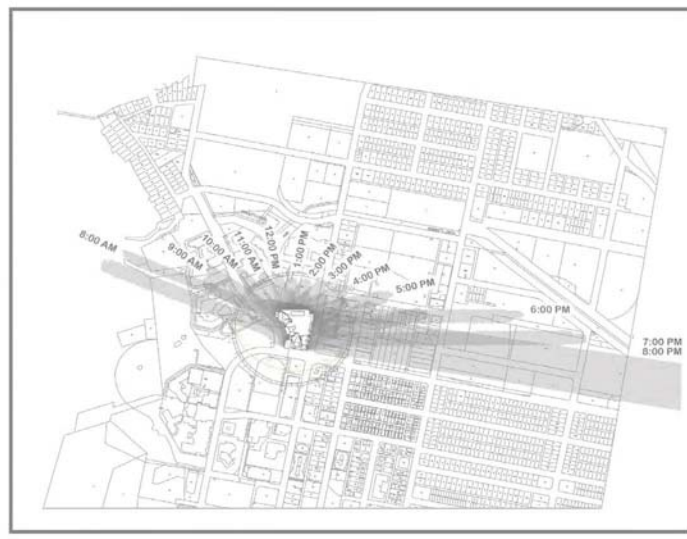
SUMMER

SOLSTICE



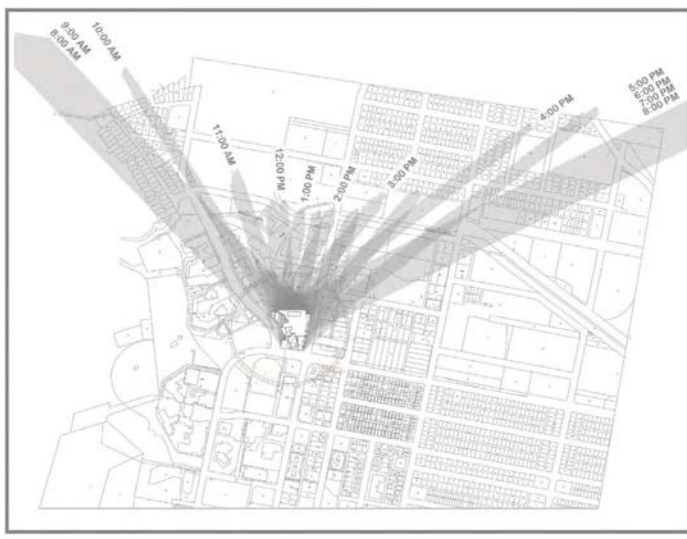
FALL

EQUINOX



WINTER

SOLSTICE



UNIT OF MEASUREMENT : METRIC

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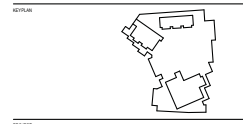
2	2017-07-31	DEVELOPMENT PERMIT AMENDMENT	J.B
1	2017-06-28	DEVELOPMENT PERMIT	J.B
REV.	DATE	ISSUANCE	BY
ARCHITECT AND PRINCIPAL CONSULTANT			

kasian

KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.
 801-1010 HASTINGS ST. W.
 VANCOUVER, BC V6P 6E1 CANADA

TEL: 604-683-8446
 TEL: KASIAN.COM
 CONSULTANT

SHEET NUMBER



PROJECT

ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

DRAWING NAME

SITE - SHADOW STUDY - SHEET 1

PROJECT NO: 189104 AUTHOR: MM APPROVED: Checker

ISSUANCE

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

DRAWING NO: 189104-02

A1.105 2

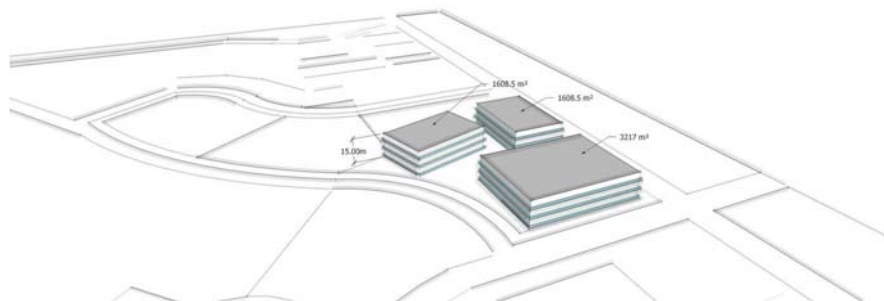
This forms part of application
DP17-0154 & DVP17-0157



City of
Kelowna
COMMUNITY PLANNING

Planner Initials AC

max far w/ bonusing: 1.68
max height 15m = 3 floors
max site coverage 75%



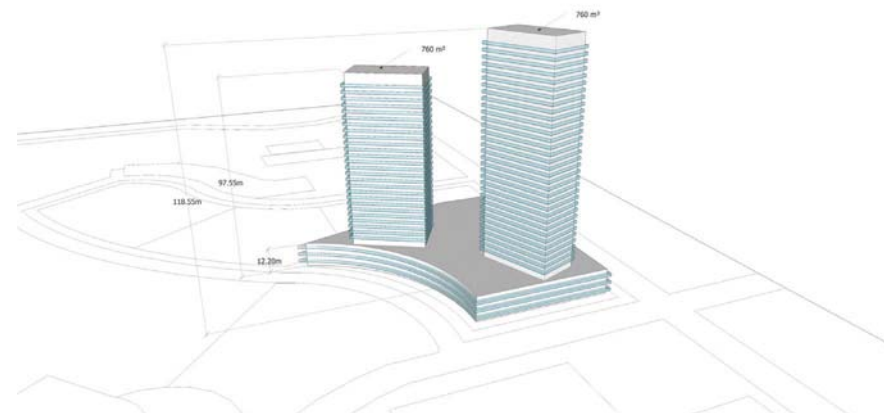
as of right zoning: C7

2 towers with total max.
floor plate of 1,221 m2

site area: 11,490m²
max far: 9.0/103 410m²
FAR achievable: 7.04



proposed tower height: 118.55m / 97.55 m
FAR Achievable: 5.30



UNIT OF MEASUREMENT : METRIC

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2	2017-07-31	DEVELOPMENT PERMIT AMENDMENT	J
1	2017-06-28	DEVELOPMENT PERMIT	J
REV.	DATE	ISSUANCE	B

ARCHITECT AND ENGINEER CONSULTANT



KASIRN ARCHITECTURE INTERIOR DESIGN AND PLANNING
452 - 1211 8TH AVENUE SE
CALGARY AB T2G 0K7 CANADA

TEL: +6 4632 2065

NEW LISTINGS



ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME

SITE - ZONING - F.A.R.
DIAGRAM

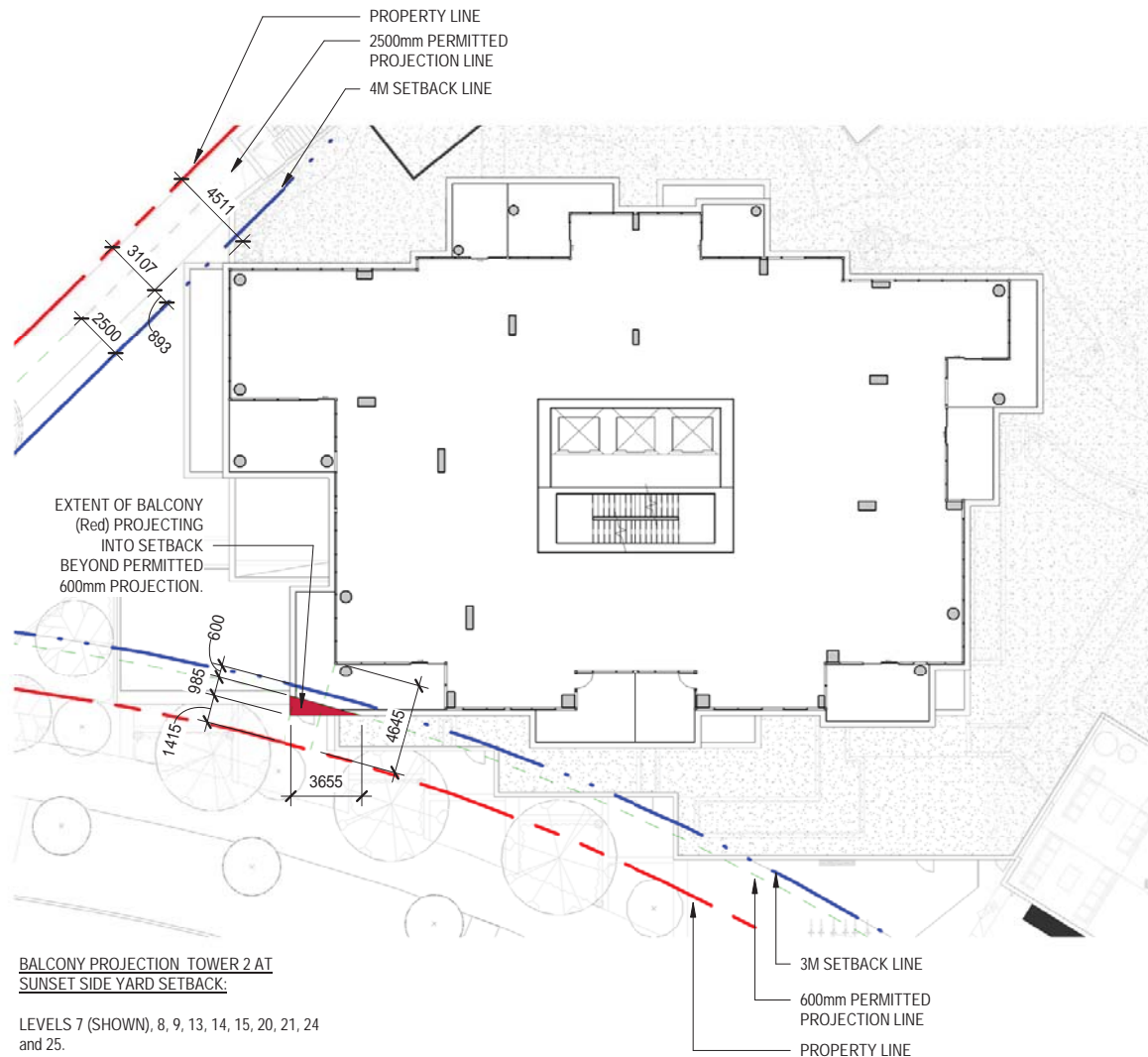
PROJECT NO: 150104 AUTHOR: MM APPROVED: Check

DEVELOPMENT PERMIT AMENDMENT

SHEET NO. _____ REVISION _____

A1.106

2



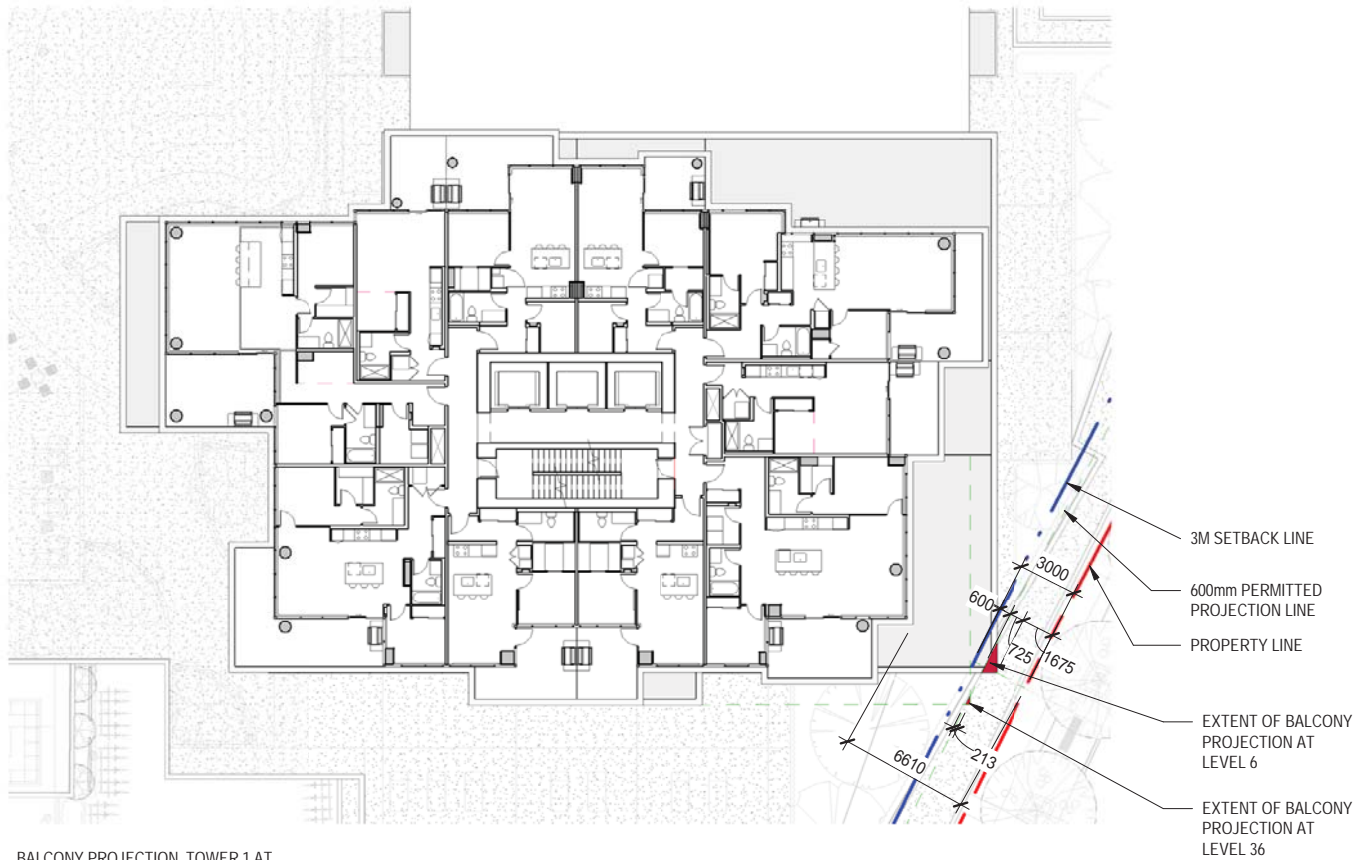
SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING

	PROJECT	ONE WATER STREET		PROJECT NO.	190104	S.I. NO.
	DRAWING TITLE	TOWER 2 - BALCONY PROJECTION		ISSUED DATE	08/03/17	DWG. REF.
				SCALE	1 : 250	
				DRAWN	Author	DWG. NO.
				REVIEWED	Approver	A1.107



BALCONY PROJECTION, TOWER 1 AT
WATER FRONT YARD SETBACK:


LEVEL 6 & 36

SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner Initials AC

City of Kelowna
COMMUNITY PLANNING

	PROJECT	ONE WATER STREET	PROJECT NO. 190104	S.I. NO.
	DRAWING TITLE	TOWER 1 - BALCONY PROJECTION	ISSUED DATE 08/04/17	DWG. REF.
			SCALE 1 : 250	DWG. NO.
			DRAWN Author	A1.108
			REVIEWED Approver	

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2 2017-07-31 DEVELOPMENT PERMIT AMENDMENT JB
1 2017-06-28 DEVELOPMENT PERMIT JB
REV. DATE REVISION BY

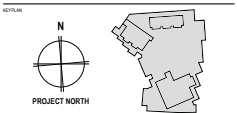
ARCHITECT AND FIRM CONSULTANT

kasian

KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.
1187 SUNSET DRIVE, KELOWNA, B.C. CANADA
TEL: (250) 860-1111
FAX: (250) 860-1112

CONSULTANT

SCALE: 1/8"=1'-0"



PROJECT
ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME

FLOOR PLAN - PODIUM -
LEVEL 01

PROJECT NO.: 189104 AUTHOR: JB APPROVED: Chetan

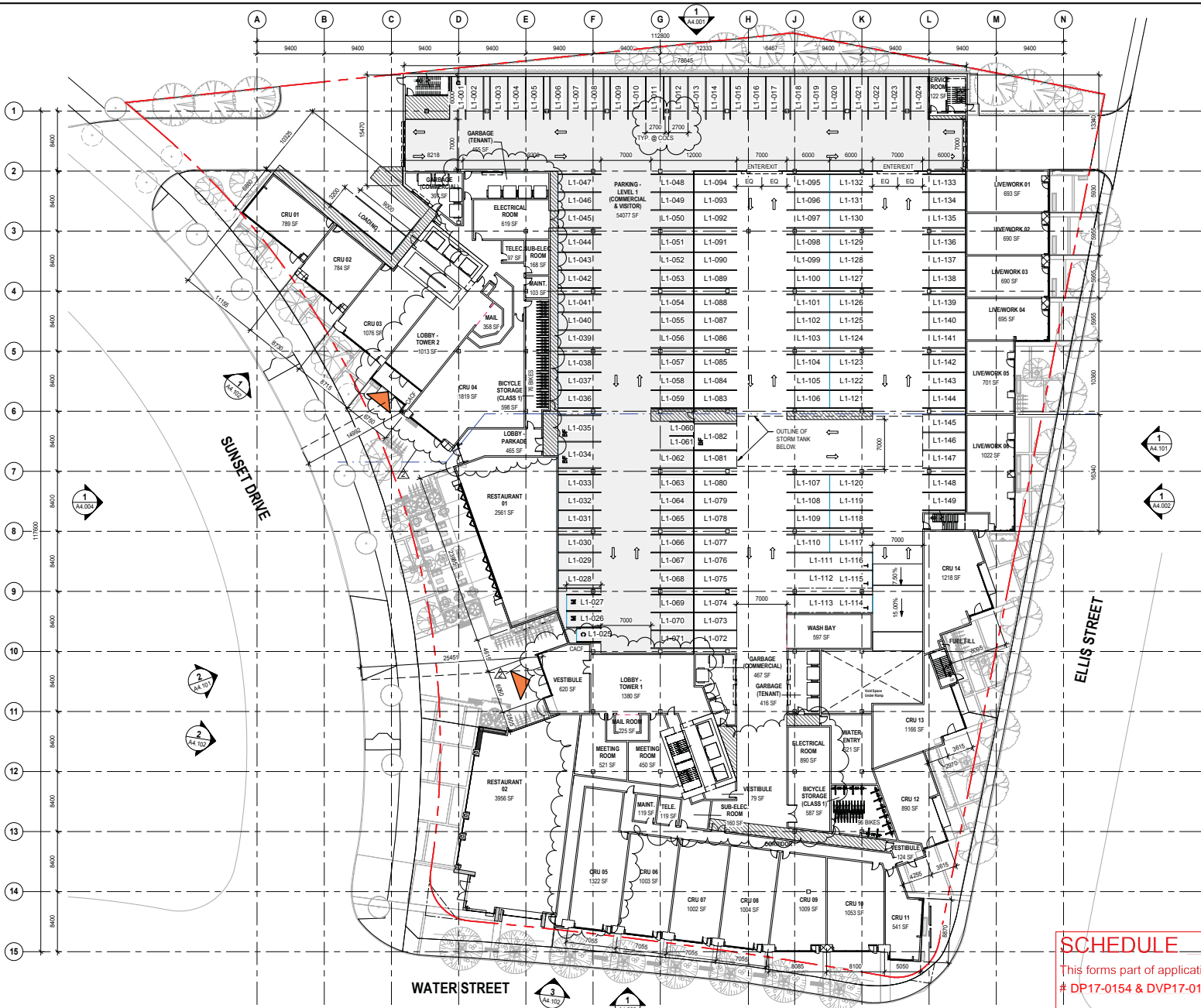
DATE: DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

SHEET NO. 2

A2.101

2



SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

City of Kelowna
COMMUNITY PLANNING

Planner Initials AC

FILENAME: C:\NORTH\PROJECTS\189104\ONE WATER STREET\189104-01-01.dwg

PAPER SIZE: 11x17 INCH SCALE: ARCH D (24 x 36" / 610 x 914mm)

UNIT OF MEASUREMENT - METRIC

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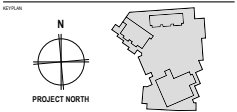
2 2017-07-31 DEVELOPMENT PERMIT AMENDMENT JB
1 2017-06-28 DEVELOPMENT PERMIT JB
REV. DATE ISSUANCE BY

ARCHITECT AND PRINCIPAL CONSULTANT

kasian

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1187 SUNSET DRIVE, KELOWNA, B.C. CANADA
TEL: 250.860.0444
FAX: 250.860.0445
CONSULTANT

SHEET NUMBER



PROJECT
ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C. CANADA

FLOOR PLAN - PODIUM -
LEVEL 04

PROJECT NO. 189104 AUTHOR: JB APPROVED: CHEN

ISSUANCE
DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

SHEET NO. 2

SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials

AC



A2.104

2

UNIT OF MEASUREMENT - METRIC

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2 2017-07-31 DEVELOPMENT PERMIT AMENDMENT JB
1 2017-06-28 DEVELOPMENT PERMIT JB
REV. DATE INSURANCE BY

ARCHITECT AND FIRM CONSULTANT

kasian

KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.

180 - 10700 MIDLAND
SUITE 100, TORONTO, CANADA

TEL: 416-593-8444
TEL: 416-593-8444

CONSULTANT

SHEET NUMBER

SECTION



PROJECT NORTH

ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME

FLOOR PLAN - TOWER 1 - LEVEL 04

PROJECT NO. 189104 AUTHOR: Author APPROVED: Checker

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

SHEET NO. 2

A2.301

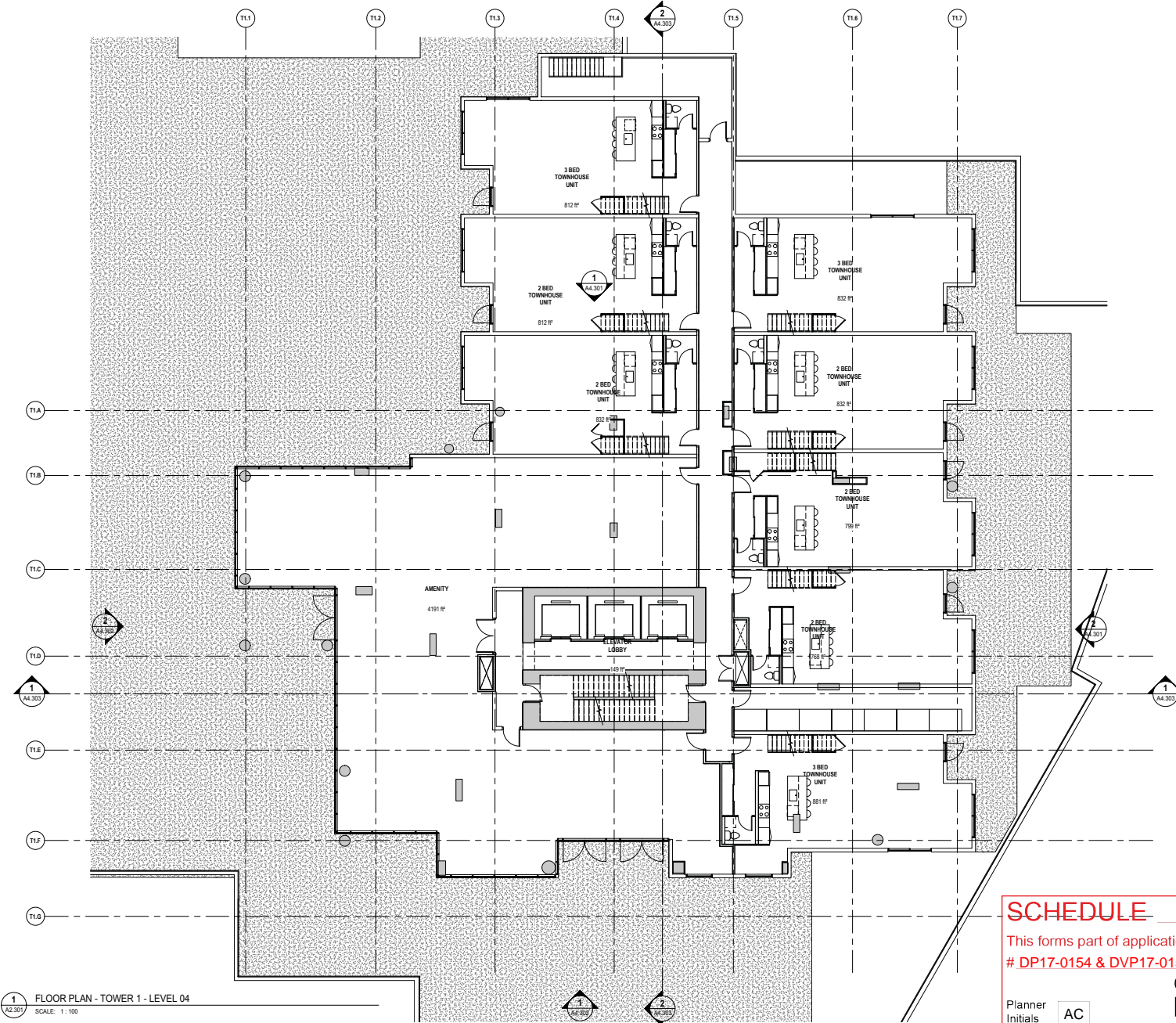
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SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner Initials AC

City of Kelowna
COMMUNITY PLANNING



FILENAME: C:\R007\Projects\A2015_0524_00100_Kelowna\A2015_0524_00100_Kelowna.dwg

PAPER SIZE: @ 100% SCALE ARCH D (24 x 36" / 610 x 914mm)

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2	2017-07-31	DEVELOPMENT PERMIT AMENDMENT	J.B.
1	2017-06-28	DEVELOPMENT PERMIT	J.B.
REV.	DATE	ISSUANCE	BY

ARCHITECT AND FIRM CONSULTANT

kasian

KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.
400-10100 HURONTARIO
SUITE 100, MISSISSAUGA, ONTARIO L4R 1A1, CANADA

TEL: 416-662-0444
TEL: 416-662-0444

CONSULTANT

SHEET NUMBER

SECTION



PROJECT NORTH

PROJECT

ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME

FLOOR PLAN - TOWER 1 - LEVEL 05

PROJECT NO: 180104 AUTHOR: Author APPROVED: Checker

ISSUANCE

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

DATE: 2017-07-31

REVISION

A2.302 2

1 FLOOR PLAN - TOWER 1 - LEVEL 05

SCALE: 1:100

SCHEDULE A & B

This forms part of application

DP17-0154 & DVP17-0157

Planner
Initials

AC



UNIT OF MEASUREMENT - METRIC

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1 2017-07-31 DEVELOPMENT PERMIT AMENDMENT JB
REV. DATE ISSUANCE BY

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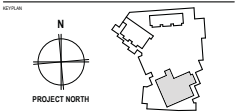
kasian

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1187 SUNSET DRIVE, KELOWNA, B.C. CANADA

TEL: 250.860.0444 FAX: 250.860.0444

CONSULTANT

SHEET NUMBER



PROJECT
ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C. CANADA

SHEET NAME

FLOOR PLAN - TOWER 1 -
LEVEL 06

PROJECT NO: 189104 AUTHOR: Author APPROVED: Checker

ISSUANCE

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

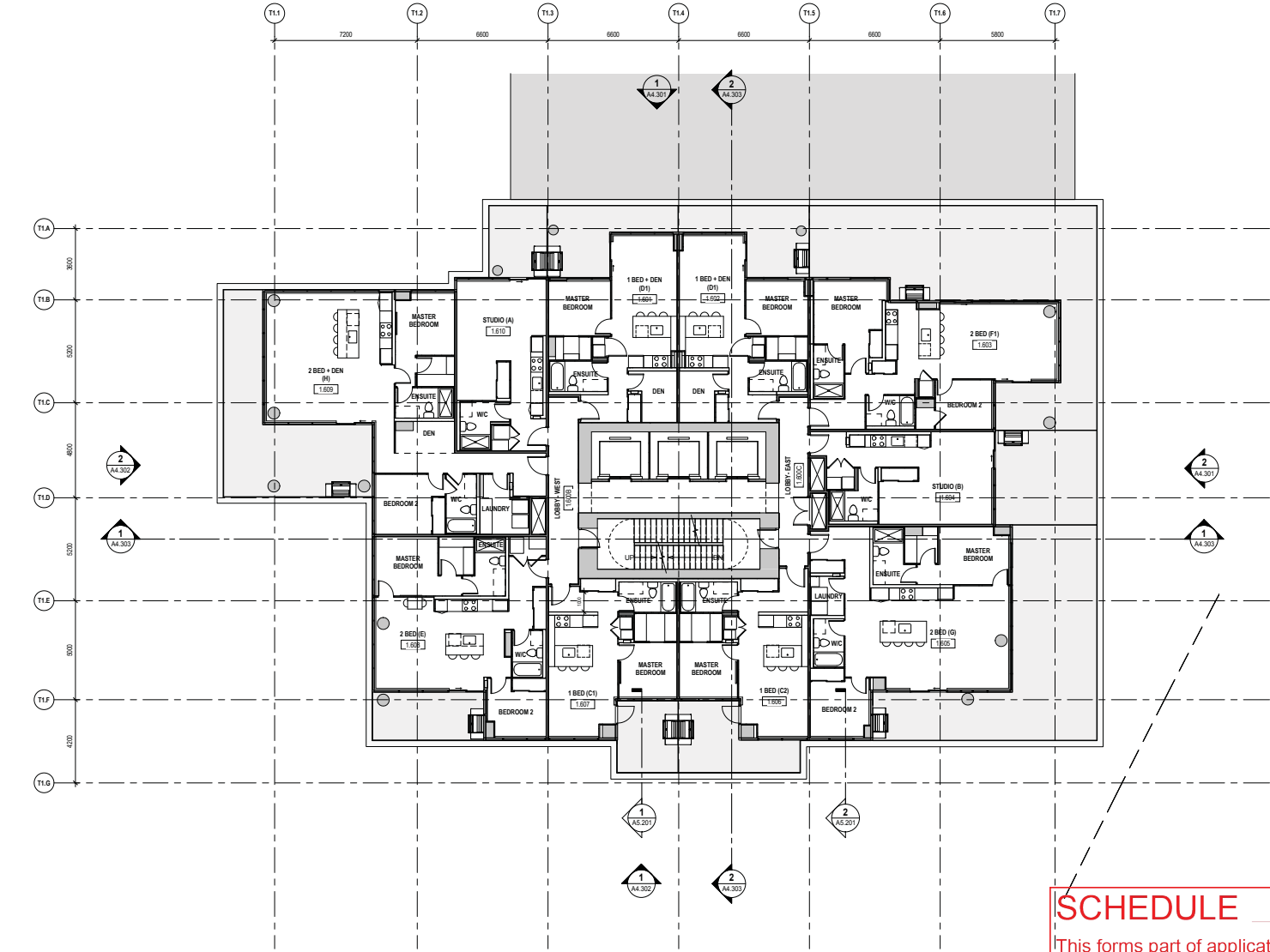
DATE: 2017-07-31

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A2.303

1

124



1 FLOOR PLAN - TOWER 1&2 - LEVEL 6-10 TYPICAL

SCALE: 1:100

SCHEDULE A & B

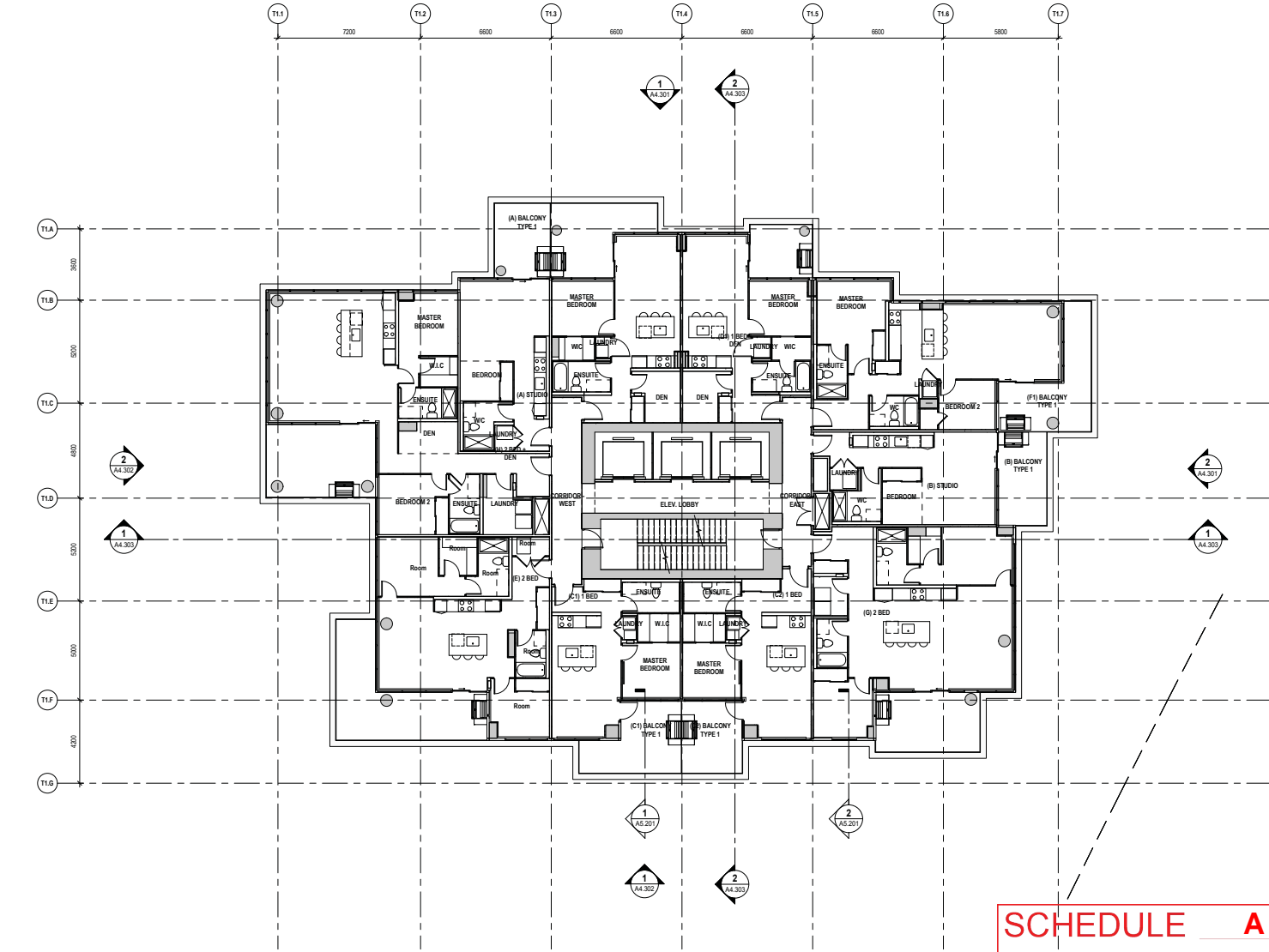
This forms part of application
DP17-0154 & DVP17-0157

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING

FILENAME: C:\KOFF\Projects\189104_189104-0154-0157_189104-0157.dgn

PAPER SIZE: 1189x841 SCALE: ARCH D (24 x 36" / 610 x 914mm)



1 FLOOR PLAN - TOWER 1&2 - LEVEL 07-10 TYPICAL
SCALE: 1 : 100

SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING

FILENAME: C:\ROOT\Projects\ANTON\18024-00100-0000\1717_189104.dwg

PAPER SIZE: @ 100% SCALE ARCH D (24 x 36" / 610 x 914mm)

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2 2017-07-31 DEVELOPMENT PERMIT AMENDMENT JB
1 2017-06-28 DEVELOPMENT PERMIT JB
REV. DATE BY

ARCHITECT AND FIRM CONSULTANT

kasian

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400-1010 HASTINGS DRIVE
VICTORIA, BC V8M 1Y1 CANADA TEL: 250.682.0444
FAX: 250.682.0445
WWW.KASIANARCH.COM

SHEET NAME

AC PLAN

PROJECT

ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME

FLOOR PLAN - TOWER 1 - LEVELS 33 TO 35 TYPICAL & TOWER 2 LEVELS 26 TO 28 TYPICAL

PROJECT NO. 189104 AUTHOR: Author APPROVED: Checker

ISSUES

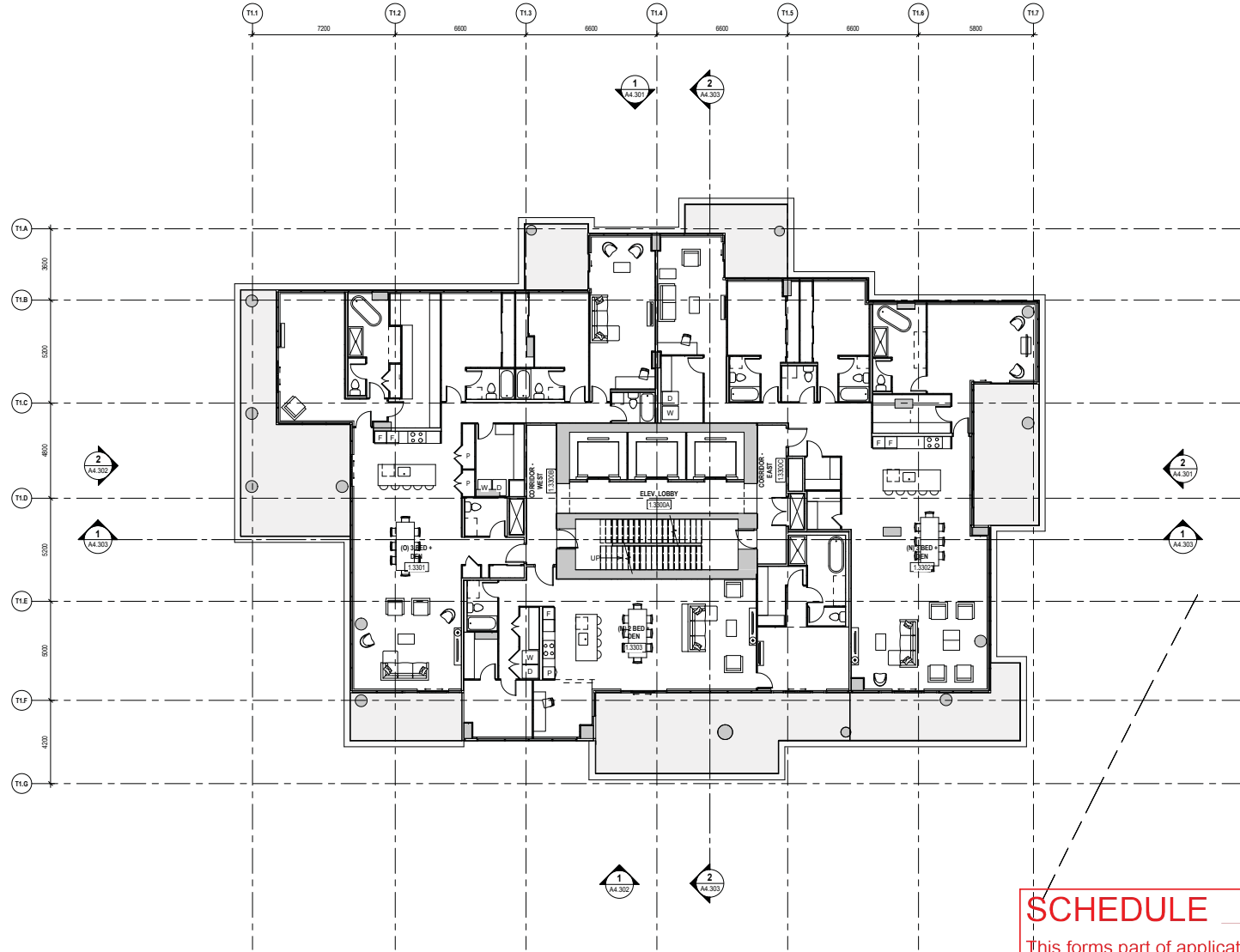
DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

SHEET NO. 2

A2.306

2



1 FLOOR PLAN - TOWER 1 - LEVEL 33-35 TYPICAL
SCALE: 1:100

SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING

UNIT OF MEASUREMENT : METRIC

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REV. DATE ISSUANCE BY
ARCHITECT AND PRIME CONSULTANT

kasian

KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.
185 - 10101 HURON ST.
SUITE 100, VANCOUVER, BC V6P 6E6, CANADA TEL: 604.271.1111 FAX: 604.271.1112

SHEET NUMBER

SECTION NAME

PROJECT
ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME

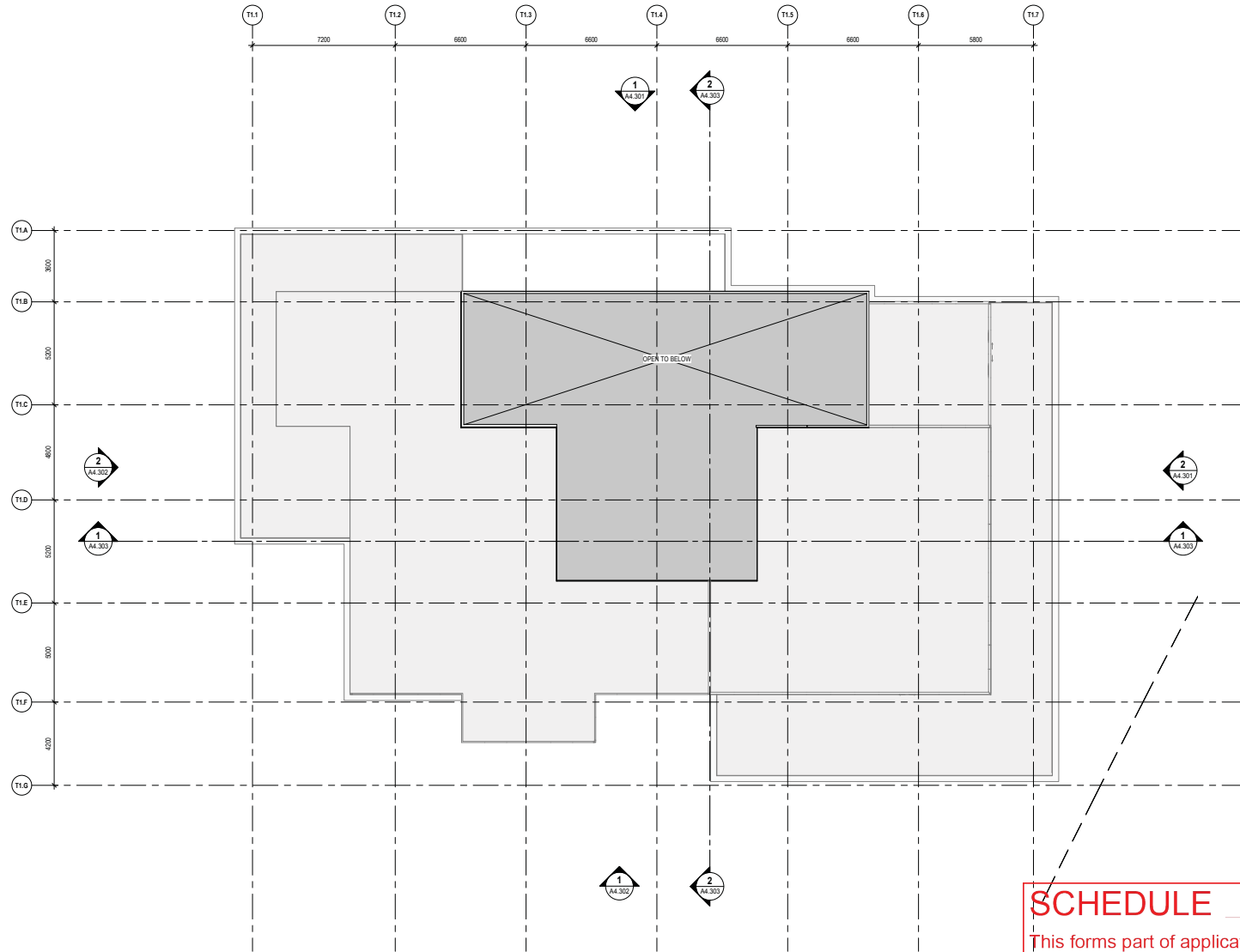
FLOOR PLAN - TOWER 1 -
LEVEL 38 & TOWER 2 LEVEL
31 (ROOF)

PROJECT NO. 189104 AUTHOR: Author APPROVED: Checker

ISSUANCE

DATE: 10/10/2018

A2.309



SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING

SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials AC

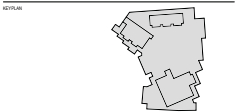


UNIT OF MEASUREMENT : METRIC
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2 2017-07-31 DEVELOPMENT PERMIT AMENDMENT JB
1 2017-06-28 DEVELOPMENT PERMIT JB
REV. DATE ISSUANCE BY



SHEET NUMBER



PROJECT
ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME

**BUILDING ELEVATION -
OVERALL - NORTH**

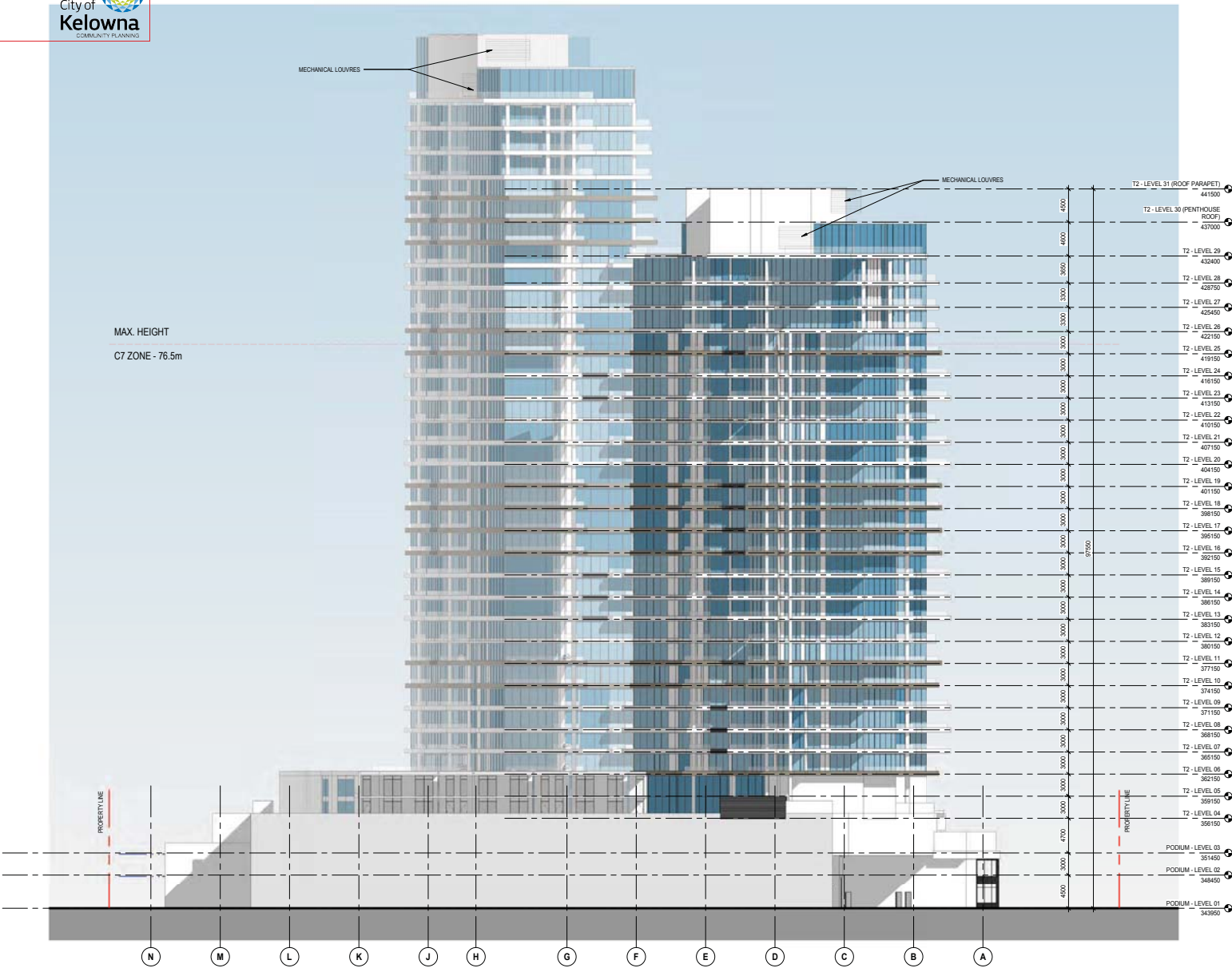
PROJECT NO: 180104 AUTHOR: MM APPROVED: CHEN

ISSUANCE
DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

DATE: 10-2018

A4.001 2



FILENAME: C:\R00T\Project\A4.001-180104-Overall NVT.dgn

PAPER SIZE: @ 100% SCALE ARCH D (24 x 36" / 610 x 914mm)

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials

City of Kelowna
COMMUNITY PLANNING

UNIT OF MEASUREMENT : METRIC

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2	2017-07-31	DEVELOPMENT PERMIT AMENDMENT	JB
1	2017-06-28	DEVELOPMENT PERMIT	JB
REV.	DATE	ISSUANCE	BY

ARCHITECT AND ENGINEER CONSULTANT

Kasian

KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.
450 - 1011 EGLAVILLE DR.
CALGARY AB T2G 0N7 CANADA

TEL: +1 403.262.2446
URL: KASIAN.COM

COMPASS TACT

NEW LISTING

1572-1581

PROPERTY

ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME

BUILDING ELEVATION -
OVERALL - EAST

PROJECT NO: 150104	AUTHOR: MM	APPROVED: Check
--------------------	------------	-----------------

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

SHEET NO. _____ REVISION _____

A4.002 2

2



FILENAME: C:\R2\IT Projects\A\POD - SDCX-190104-Quintal V77_gary.mcauley.rvt

PAPERSIZE @ 100% SCALE: ARCH D (24 x 36" / 610 x 914mm)

SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials AC

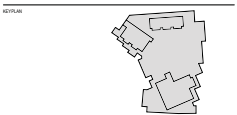


UNIT OF MEASUREMENT - METRIC
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2	2017-07-31	DEVELOPMENT PERMIT AMENDMENT	JB
1	2017-06-28	DEVELOPMENT PERMIT	JB
REV.	DATE	ISSUANCE	BY
ARCHITECT AND PRINCIPAL CONSULTANT			



SCALE: 1/8"=1'-0"



PROJECT
ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

BUILDING ELEVATION - OVERALL - SOUTH

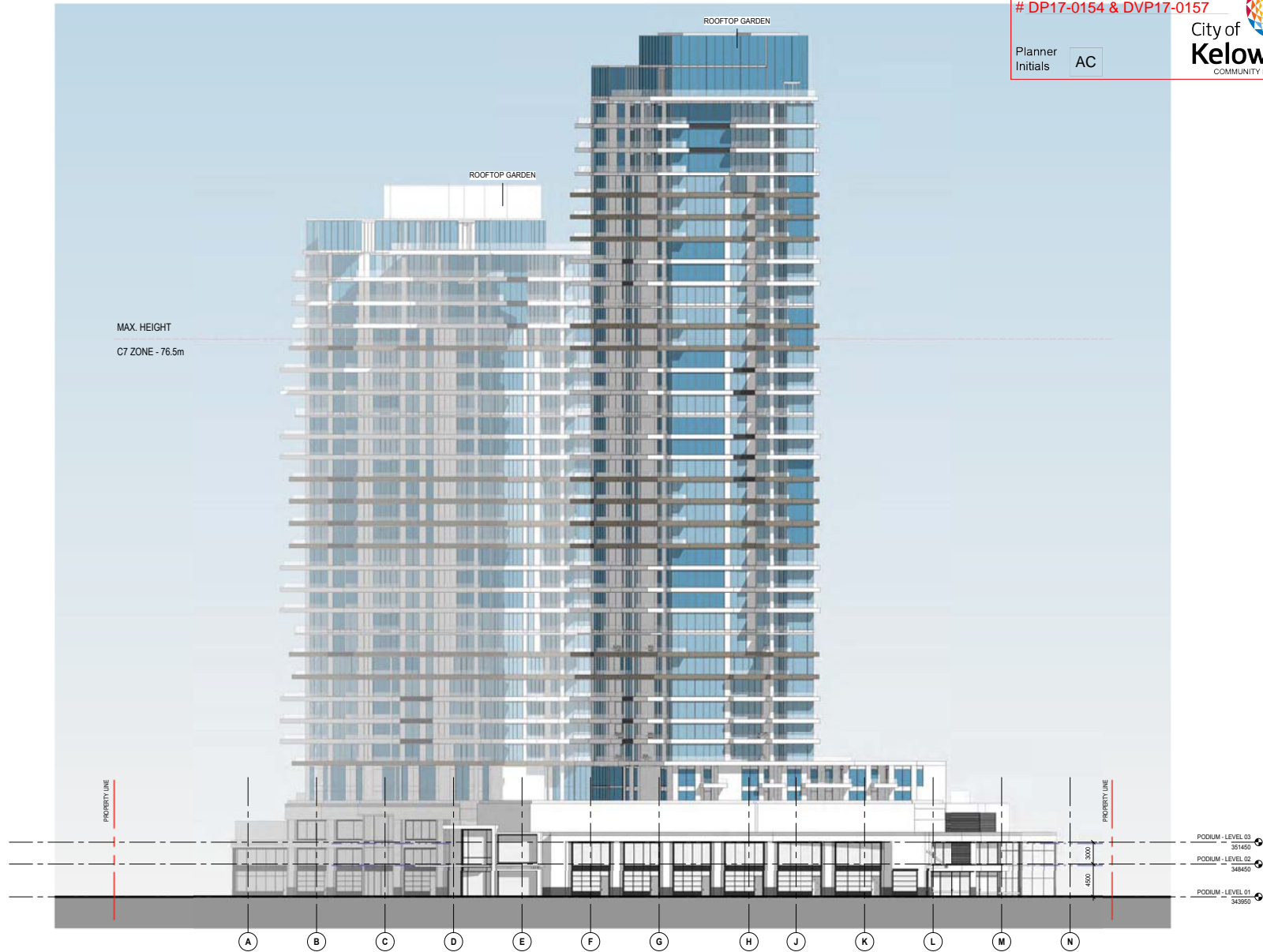
PROJECT NO: 189104 AUTHOR: MM APPROVED: CHEN

ISSUANCE
DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

DRAWING NO: A4.003

2



FILENAME: C:\R001\Project\A4.003\189104-001-A4.003.dwg

PAPER SIZE: 11" x 17" SCALE: ARCH D (1/8" = 1'-0") (1/8" = 1'-0")

SCHEDULE A & B

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials AC



UNIT OF MEASUREMENT - METRIC

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2	2017-07-31	DEVELOPMENT PERMIT AMENDMENT	JB
1	2017-06-28	DEVELOPMENT PERMIT	JB
REV.	DATE	ISSUANCE	BY

ARCHITECT AND FIRM CONSULTANT



KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.
1187 SUNSET DRIVE, KELOWNA, B.C. CANADA
TEL: 250-860-0444
FAX: 250-860-0445
WWW.KASIAN.CO

SHEET NUMBER

SECTION



PROJECT

ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C. CANADA

SHEET NAME

BUILDING ELEVATION -
OVERALL - WEST

PROJECT NO: 18104 AUTHOR: MM APPROVED: CHENAP

ISSUANCE

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

DATE: 2017-07-31

A4.004

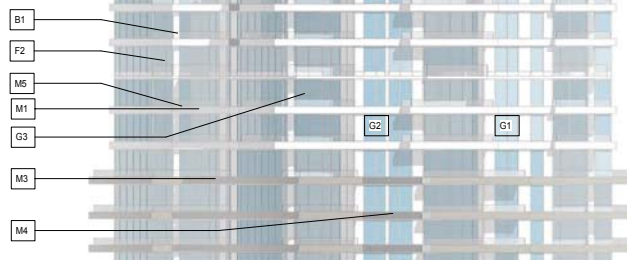
2

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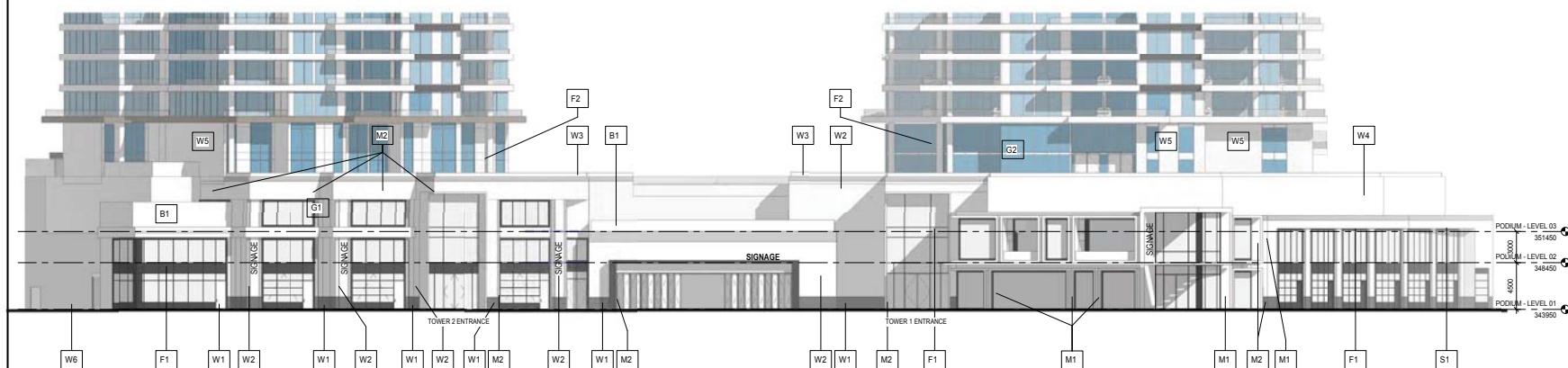
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W2	TILE - WHITE MARBLE	M2	METAL PANEL - CHARCOAL
W3	TILE - BEIGE MARBLE	M3	METAL PANEL - BEIGE
W4	FIBRE CEMENT PANEL - LIGHT GREY	M4	METAL PANEL - GUN METAL / COPPER
W5	FIBRE CEMENT PANEL - WHITE	M5	METAL FLASHING - GUN METAL / COPPER
W6	EXPPOSED CONCRETE	G1	GLAZING - LIGHT BLUE
S1	SOFFIT - DARK CHERRY / LONGBOARD	G2	GLAZING - BLUE
F1	WINDOW FRAME - BLACK METAL	G3	SPANDREL PANEL - WHITE BACKPAINTED GLASS
F2	WINDOW FRAME - POLY CARBONATE	B1	BALCONY GLAZING - CLEAR

Planner Initials AC

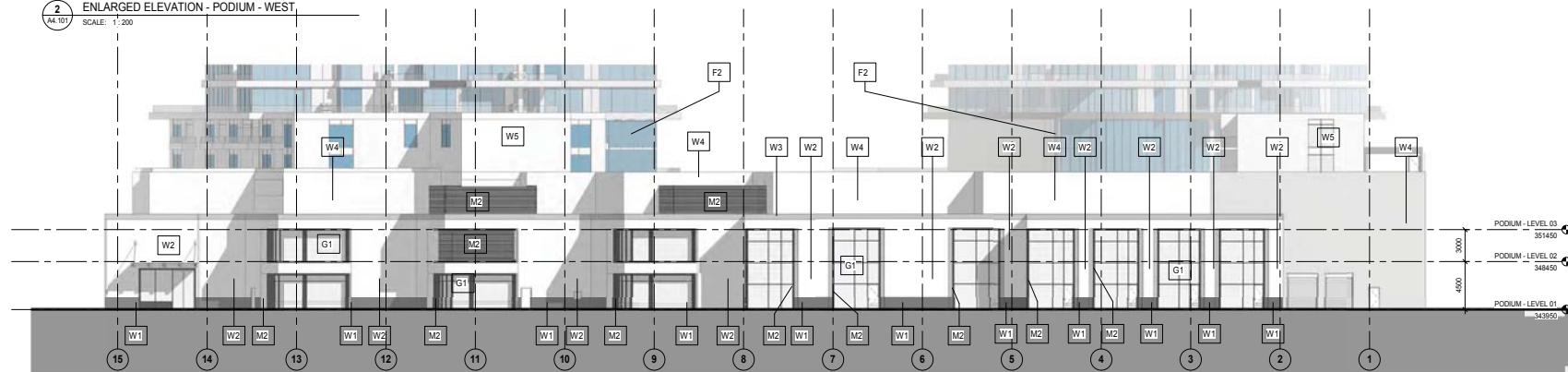
City of Kelowna
COMMUNITY PLANNING



ENLARGED ELEVATION - TOWER 1 - WEST
(TYPICAL)



2 ENLARGED ELEVATION - PODIUM - WEST
A4.101 SCALE: 1:200



1 ENLARGED ELEVATION - PODIUM - EAST
A4.101 SCALE: 1:200



PROJECT ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

ENLARGED ELEVATIONS -
PODIUM - SHEET 1

PROJECT NO: 150104 AUTHOR: MM APPROVED: Chacko

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

QUEST NO. _____ DECISION _____

A4.101

2

UNIT OF MEASUREMENT : METRIC

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2 2017-07-31 DEVELOPMENT PERMIT AMENDMENT JB
1 2017-06-28 DEVELOPMENT PERMIT JB
REV. DATE REVISION BY
ARCHITECT AND FIRM CONSULTANT

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180 - 1010 BROADVIEW AVE. SUITE 100, KASIAN, ONTARIO L4N 1B1, CANADA TEL: 416-593-0444
FAX: 416-593-0445



PROJECT

ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

ENLARGED ELEVATIONS -
PODIUM - SHEET 2

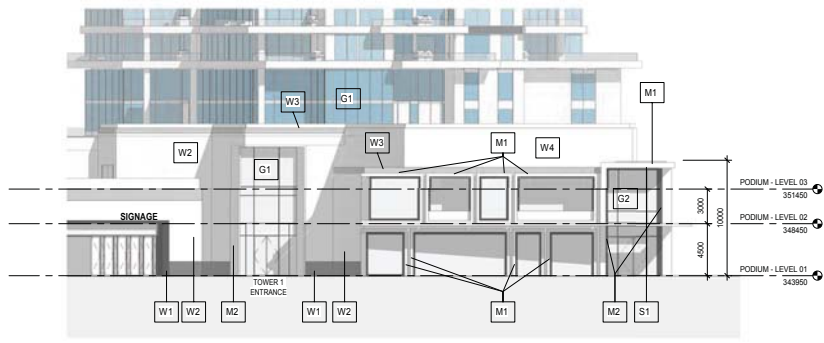
PROJECT NO: 180104 AUTHOR: MM APPROVED: CHEN
DATE: 2017-06-28
DEVELOPMENT PERMIT AMENDMENT
NOT FOR CONSTRUCTION

A4.102 2

MATERIAL PALETTE SCHEDULE			
W1	TILE - GREY	M1	METAL PANEL - WHITE
W2	TILE - WHITE MARBLE	M2	METAL PANEL - CHARCOAL
W3	TILE - BEIGE MARBLE	M3	METAL PANEL - BEIGE
W4	FIBRE CEMENT PANEL - LIGHT GREY	M4	METAL PANEL - GUN METAL / COPPER
W5	FIBRE CEMENT PANEL - WHITE	M5	METAL FLASHING - GUN METAL / COPPER
W6	EXPOSED CONCRETE	G1	GLAZING - LIGHT BLUE
S1	SOFFIT - DARK CHERRY / LONGBOARD	G2	GLAZING - BLUE
F1	WINDOW FRAME - BLACK METAL	G3	SPANDREL PANEL - WHITE BACKPRINTED GLASS
F2	WINDOW FRAME - SILVER METAL	B1	BALCONY GLAZING - CLEAR



1 ENLARGED ELEVATION - PODIUM - NORTH WEST
SCALE: 1:200



2 ENLARGED ELEVATION - PODIUM - SOUTH WEST
SCALE: 1:200



3 ENLARGED ELEVATION - PODIUM - SOUTH
SCALE: 1:200

SCHEDULE A & B


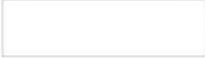
















This forms part of application

DP17-0154 & DVP17-0157

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Initials AC



MATERIAL PALETTE SCHEDULE

	W1	TILE - GREY		M1	METAL PANEL - WHITE
	W2	TILE - WHITE MARBLE		M2	METAL PANEL - CHARCOAL
	W3	TILE - BEIGE MARBLE		M3	METAL PANEL - BEIGE
	W4	FIBRE CEMENT PANEL - LIGHT GREY		M4	METAL PANEL - GUN METAL / COPPER
	W5	FIBRE CEMENT PANEL - WHITE		M5	METAL FLASHING - GUN METAL / COPPER
	W6	EXPOSED CONCRETE		G1	GLAZING - LIGHT BLUE
	S1	SOFFIT - DARK CHERRY		G2	GLAZING - BLUE
	F1	WINDOW FRAME - CHARCOAL METAL		G3	SPANDREL PANEL - WHITE BACKPAINTED GLASS
	F2	WINDOW FRAME - SILVER METAL		B1	BALCONY GLAZING - CLEAR

UNIT OF MEASUREMENT : METRIC

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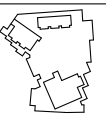
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CONSULTANT

Tel: 416-593-0444
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SHEET NAME

AC PLAN



PROJECT

ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME

MATERIAL PALETTE SCHEDULE

PROJECT NO: 180104 AUTHOR: MM APPROVED: Chokor

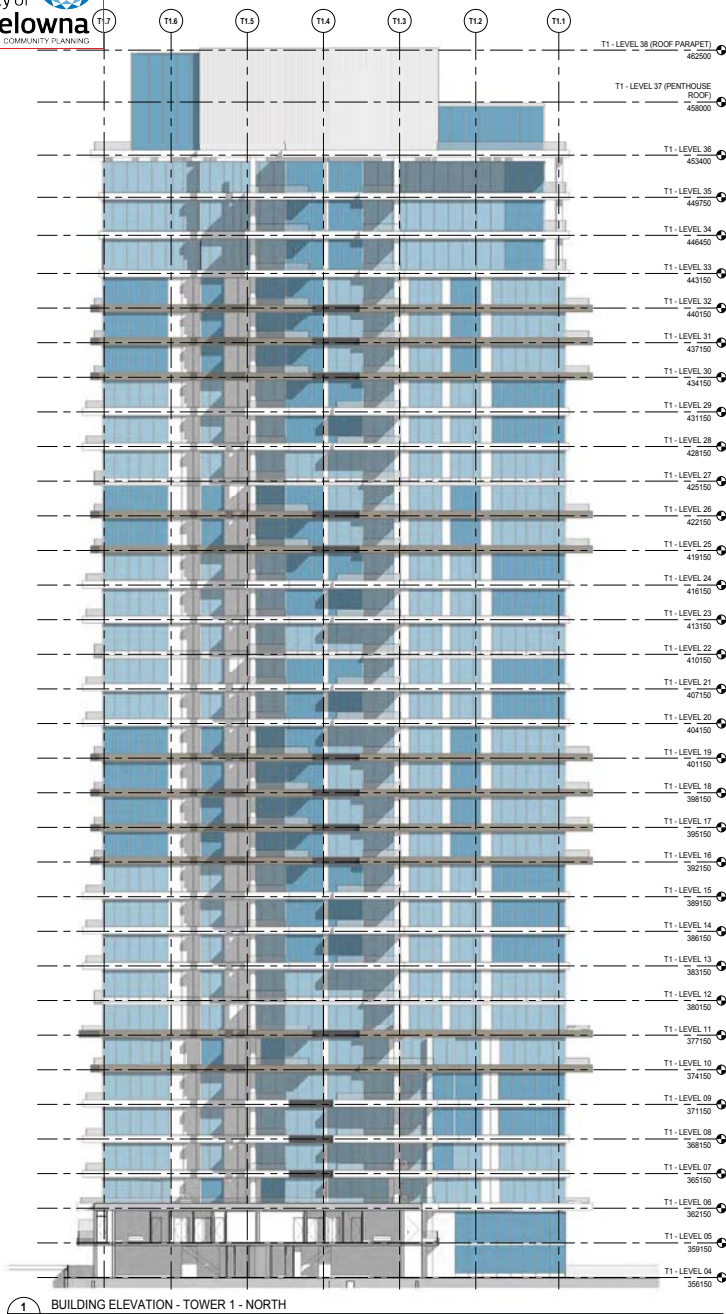
ISSUANCE

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

DRAWING

A4.201 2

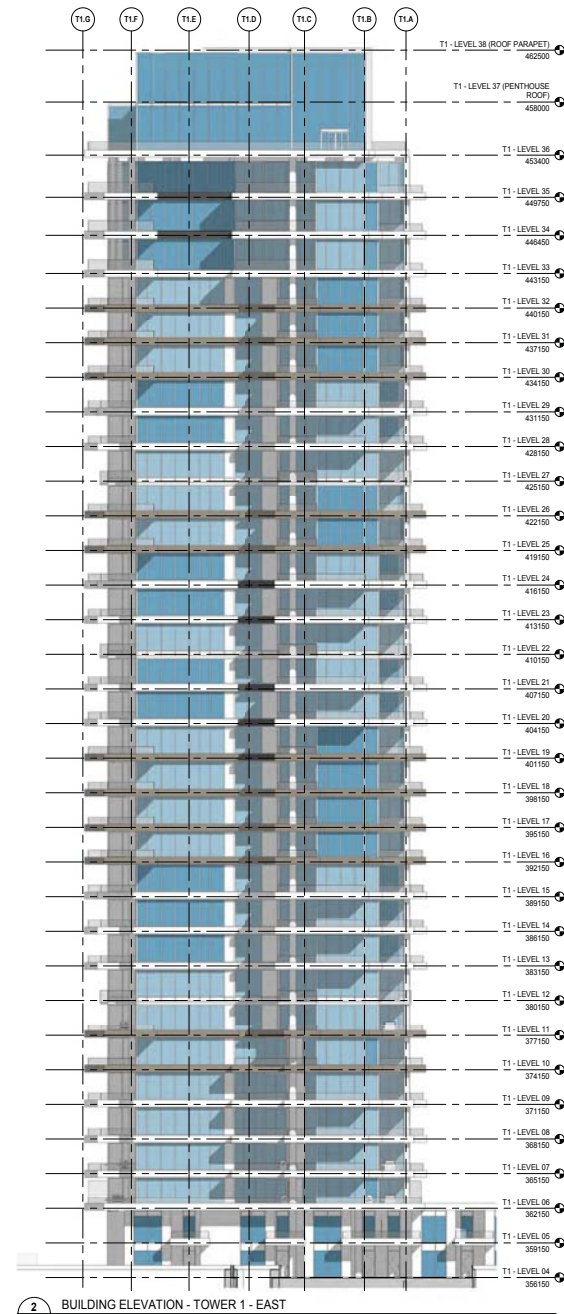


1

A4.301

BUILDING ELEVATION - TOWER 1 - NORTH

SCALE: 1 : 200



2

A4.301

BUILDING ELEVATION - TOWER 1 - EAST

SCALE: 1 : 200



UNIT OF MEASUREMENT : METRIC

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 401-1010 HURONTARIO ST.
 SUITE 100, KANATA, ONTARIO K0M 1H0, CANADA

TEL: 416-882-0441
 TEL: KASIAN.COM

CORRECTION

DATE PREPARED

ARCHITECT

PROJECT

ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

DRAWING NAME

BUILDING ELEVATION - TOWER 1 - NORTH / EAST

PROJECT NO: 189104 AUTHOR: Author APPROVED: Checker

ISSUANCE

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

DATE/REV

A4.301 **2**

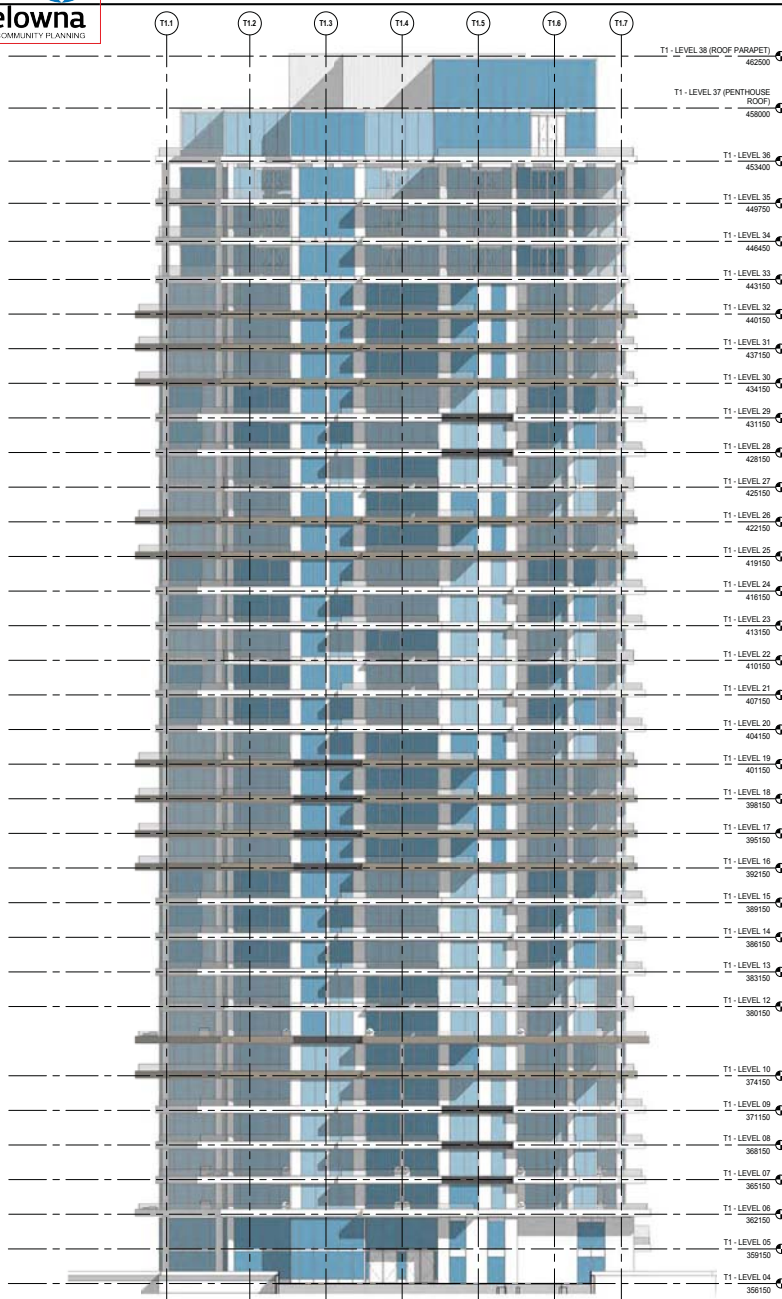
SCHEDULE A & B

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DP17-0154 & DVP17-0157

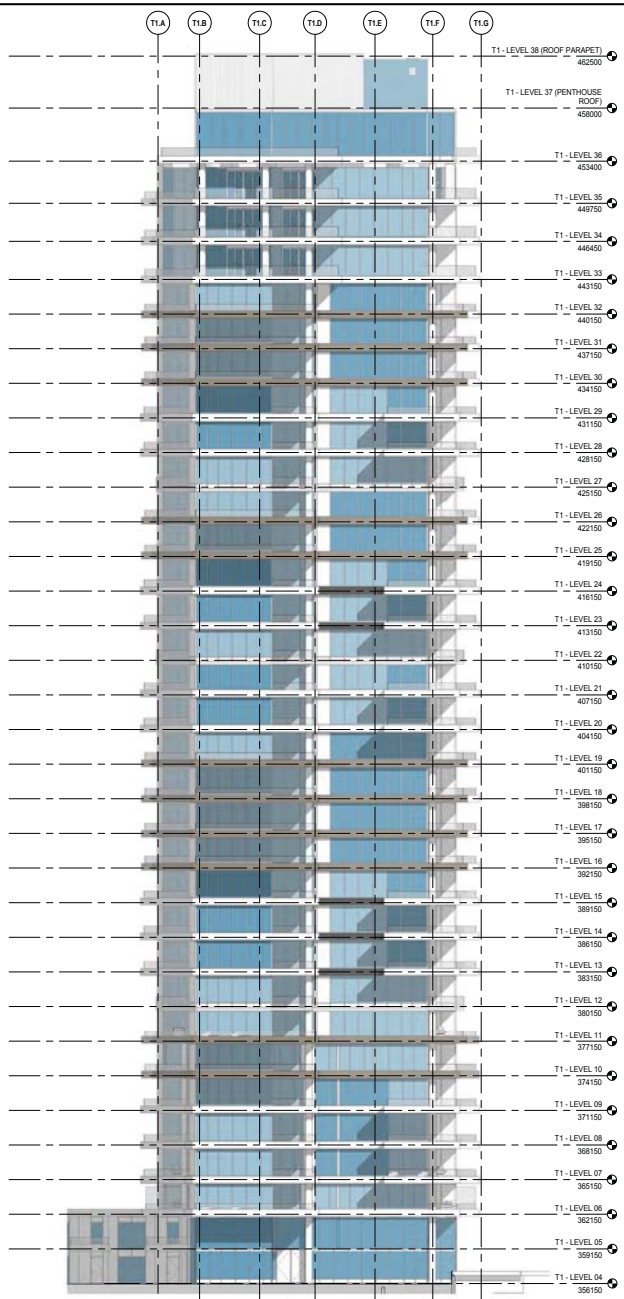


City of Kelowna
COMMUNITY PLANNING

Planner Initials
AC



1 BUILDING ELEVATION - TOWER 1 - SOUTH
SCALE: 1:200



2 BUILDING ELEVATION - TOWER 1 - WEST
SCALE: 1:200



UNIT OF MEASUREMENT : METRIC
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2	2017-07-31	DEVELOPMENT PERMIT AMENDMENT	J.B.
1	2017-06-28	DEVELOPMENT PERMIT	J.B.
REV.	DATES	ISSUANCE	BY

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KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.
401-1010 HASTINGS DRIVE, SUITE 100, KASIAN BUILDING
VICTORIA, BC V8W 2E1, CANADA
TEL: 250.363.0444
WWW.KASIANBC.COM
CONSULTANT

PROJECT
ONE WATER STREET
1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME
BUILDING ELEVATION - TOWER 1 - SOUTH / WEST

PROJECT NO: 189104 AUTHOR: Author APPROVED: Checker

ISSUANCE
DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

DATE: 2017-07-31

A4.302 2

UNIT OF MEASUREMENT : METRIC

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1	2017-06-28	DEVELOPMENT PERMIT	JB
REV.	DATES	ISSUANCE	BY

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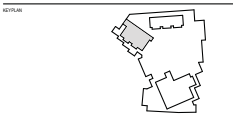
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801 - 1010 WEST HAVEN RD.
CALGARY, AL. T2C 2V1 CANADA

Tel: 403.262.2441
Tel: 403.262.2442

CONSULTANT

SHEET NUMBER



ONE WATER STREET

1187 SUNSET DRIVE, KELOWNA, B.C., CANADA

SHEET NAME

BUILDING ELEVATION - TOWER 2 - NORTH / EAST

PROJECT NO: 189104 AUTHOR: MC APPROVED: JB

ISSUANCE

DEVELOPMENT PERMIT AMENDMENT

NOT FOR CONSTRUCTION

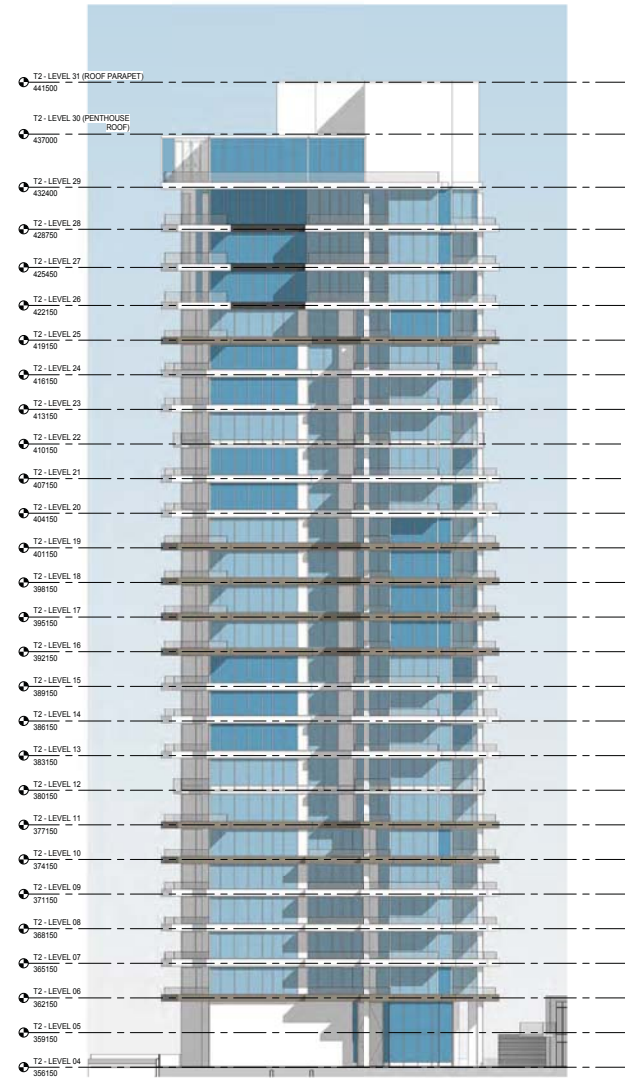
SHEET NO. 18-0000

A4.501

2



1 BUILDING ELEVATION - TOWER 2 - NORTH
SCALE: 1:200



2 BUILDING ELEVATION - TOWER 2 - EAST
SCALE: 1:200

C



NORTH CAROLINA STATE UNIVERSITY

kasian 

**Kasian Architecture
Interior Design
and Planning Ltd**

Issued for Development Permit

Sheet List Table

L-04E	SITE PLAN - LEVEL 4 SOUTH
L-04F	PODIUM PRECEDENT IMAGES
L-05A	LANDSCAPE LIGHTING PLAN - LEVEL 1
L-05B	LANDSCAPE LIGHTING PLAN - LEVEL 4
L-06A	SECTIONS
L-06B	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS
LD-06	PLANTING DETAILS



- NOTES:
1. All planting beds, planting pots, tree pits and grass areas are to be fully irrigated. Irrigation plans will be submitted at time of building permit.
 2. Drip strips to be installed wherever softscape abuts a building face.

SCHEDULE C

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials AC



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Interior Design
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1011 North Avenue SE, Suite 402
Calgary, AB Canada T2S 9K7
T 403.263.2440 F 403.233.0913
www.kasian.com

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3	2017.08.28	REVISION - DRAWING ISSUE	REVISION	



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Urban Design + Landscape Architecture

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PROJECT STAMP

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PROJECT

ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE

**SITE PLAN -
OVERALL**

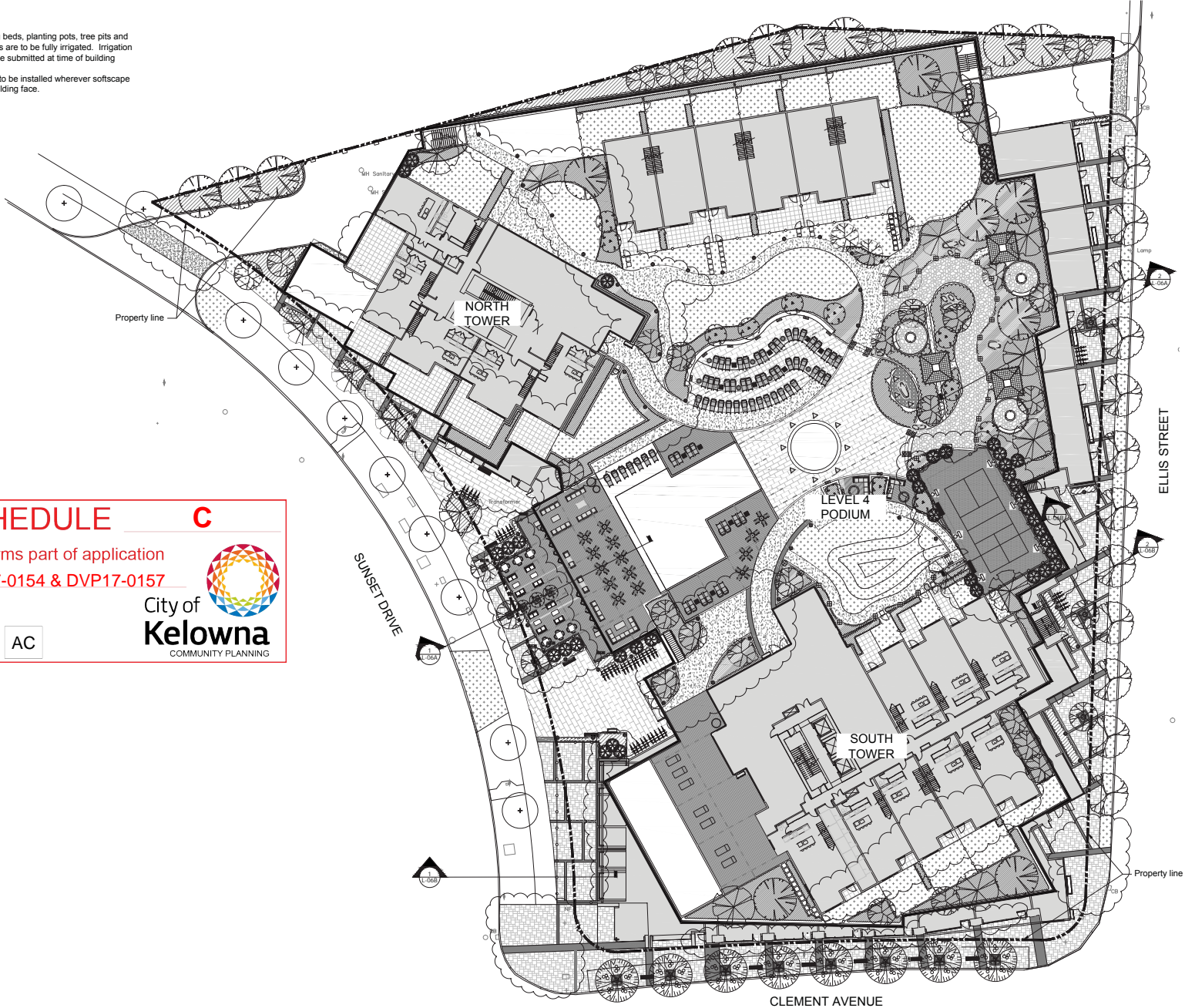
DRAWING BOARD

**DEVELOPMENT
PERMIT**

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PROJECT NO.	PLOT DATE	DATE	BY	CHKD.
DP2017-15	August 1, 2017		AD	
DRAWING NO.	SCALE	AS SHOWN	REVISION	SH

L-02



1:250 0 2.5m 5 7.5 10 12.5 15 17.5 20 22.5 25 27.5 30 32.5 35 37.5

SCHEDULE C

This forms part of application

DP17-0154 & DVP17-0157

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City of
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Calgary, AB Canada T2S 9K7
T 403.263.2440 F 403.233.0913
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3	2017.08.28	REVISION / DRAWING ISSUE	REVIEW	

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PROJECT
ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE

**SITE PLAN -
LEVEL 1**

DRAWING ISSUE

PRELIMINARY PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	SCALE	REVISION	BY
DP2017-15	August 1, 2017	AS SHOWN	REVIEWED	SH

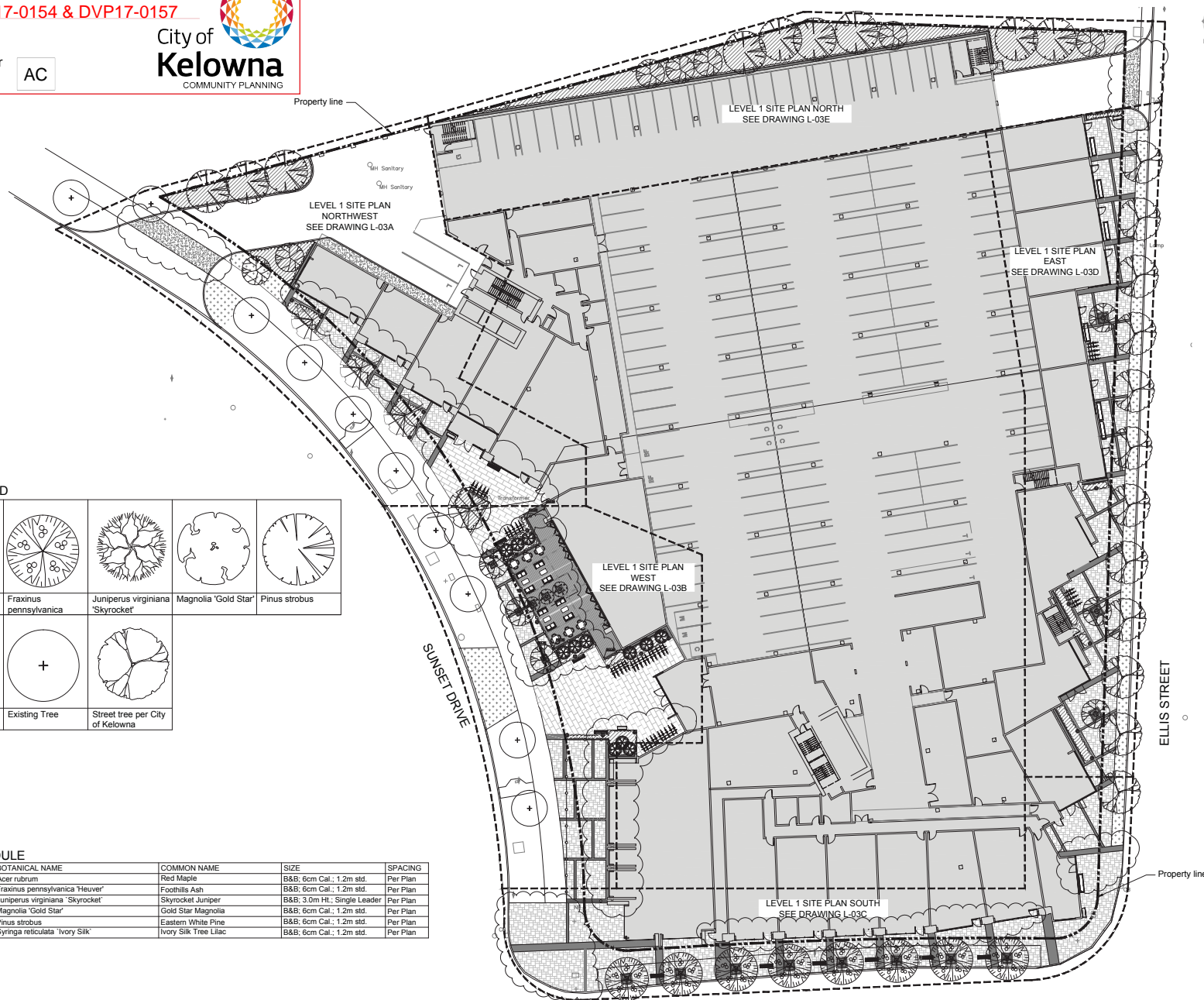
DRAWING NO. **L-03**

TREE LEGEND

Acer rubrum	Fraxinus pennsylvanica	Juniperus virginiana 'Skyrocket'	Magnolia 'Gold Star'	Pinus strobus
Syringa reticulata 'Ivory Silk'	Existing Tree	Street tree per City of Kelowna		

TREE SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	4	Acer rubrum	Red Maple	B&B: 6cm Cal.; 1.2m std.	Per Plan
See Legend	8	Fraxinus pennsylvanica 'Heuer'	Foothills Ash	B&B: 6cm Cal.; 1.2m std.	Per Plan
See Legend	12	Juniperus virginiana 'Skyrocket'	Skyrocket Juniper	B&B: 3.0m Ht.; Single Leader	Per Plan
See Legend	3	Magnolia 'Gold Star'	Gold Star Magnolia	B&B: 6cm Cal.; 1.2m std.	Per Plan
See Legend	9	Pinus strobus	Eastern White Pine	B&B: 6cm Cal.; 1.2m std.	Per Plan
See Legend	13	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	B&B: 6cm Cal.; 1.2m std.	Per Plan



1:250 0 2.5m 5 7.5 10 12.5 15 17.5 20 22.5 25 27.5 30 32.5 35 37.5

SCHEDULE C

This forms part of application

DP17-0154 & DVP17-0157

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City of
Kelowna
COMMUNITY PLANNING



LANDSCAPE LEGEND

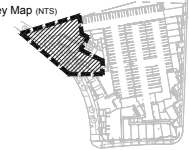
KEY	REF.	DESCRIPTION
	5 LD-01	CONCRETE PAVING
	5 LD-01	COLOURED CONCRETE
	4 LD-02	WOOD DECK
	7 LD-01	HYDRAPRESSED SLABS
	8 LD-01	UNIT PAVERS
	2 LD-01	DRILL STRIP
		SOD
	8 LD-04	WOOD FENCE
	4 LD-03	METAL FENCE
	3 LD-04	BIKE RACK
	2 LD-04	WASTE RECEPTACLE
	4 LD-04	TREE GRATE
	1 LD-04	BENCH
	2 LD-05	BOLLARD LIGHT
	1 LD-05	PEDESTRIAN LIGHT
	5 LD-05	INGROUND UPLIGHT
	3 LD-05	WALL/STEP LIGHT
	6 LD-05	SPORT COURT LIGHT
	4 LD-05	CONTINUOUS STRIP LIGHT



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Key Map (NTS)



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PROJECT
ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE

SITE PLAN - LEVEL 1 NORTH WEST

DRAWING ISSUE

DEVELOPMENT PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	SCALE	REVISION
DP2017-15	August 1, 2017	1:100	SH

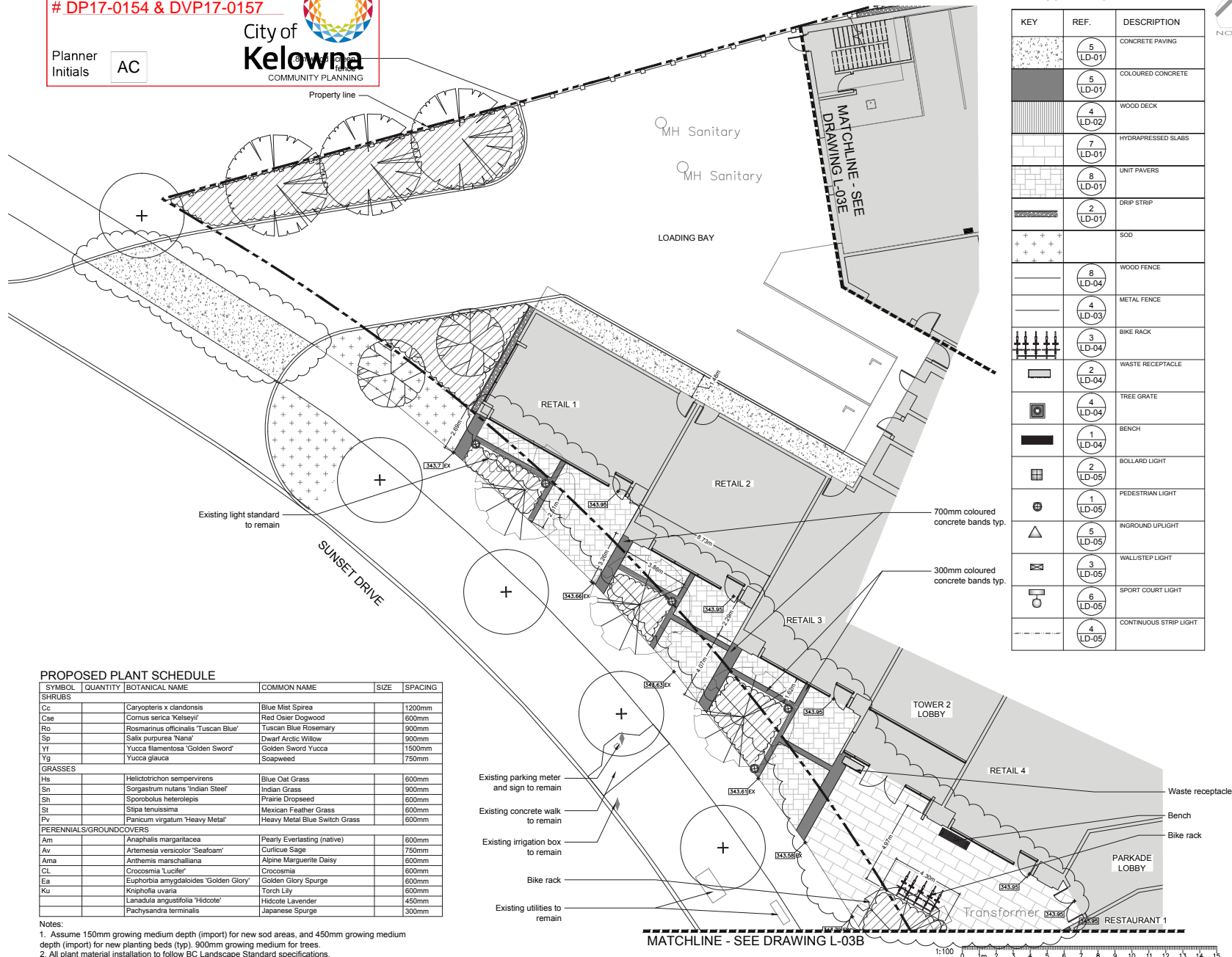
DRAWING NO. **L-03A**

PROPOSED PLANT SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Cc		Caryopteris x clandonis	Blue Mist Spirea	1200mm	
Cae		Cornus serica 'Kelsayii'	Red Osier Dogwood	800mm	
Ro		Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	900mm	
Sp		Salix purpurea 'Nana'	Dwarf Arctic Willow	900mm	
Yf		Yucca filamentosa 'Golden Sword'	Golden Sword Yucca	1500mm	
Yg		Yucca glauca	Soapweed	750mm	
GRASSES					
Hs		Helictotrichon sempervirens	Blue Oat Grass	600mm	
Sn		Sorghastrum nutans 'Indian Steel'	Indian Grass	900mm	
Sh		Sporobolus heterolepis	Prairie Dropseed	600mm	
St		Stipa tenuissima	Mexican Feather Grass	600mm	
Pv		Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass	600mm	
PERENNIALS/GROUNDCOVERS					
An		Anaphalis margaritacea	Pearly Everlasting (native)	600mm	
Av		Antennaria versicolor 'Seafoam'	Cuticle Sage	750mm	
Am		Antennaria marshalliana	Alpine Marguerite Daisy	600mm	
CL		Crocus 'Lucifer'	Crocus	600mm	
Ea		Euphorbia amygdaloides 'Golden Glory'	Golden Glory Spurge	600mm	
Ku		Kniphofia uvaria	Torch Lily	600mm	
		Lanadula angustifolia 'Hidcote'	Hidcote Lavender	450mm	
		Pachysandra terminalis	Japanese Spurge	300mm	

Notes:

1. Assume 150mm growing medium depth (import) for new sod areas, and 450mm growing medium depth (import) for new planting beds (typ). 900mm growing medium for trees.
2. All plant material installation to follow BC Landscape Standard specifications.



SCHEDULE C

This forms part of application
DP17-0154 & DVP17-0157



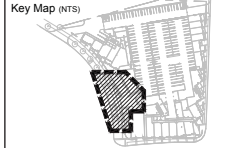
City of
Kelowna
COMMUNITY PLANNING

Planner
Initials **AC**



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Landscape Architecture
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Kelowna, BC Canada V2Y 9H7
T 403.263.2440 F 403.233.0913
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PERMIT STAMP

SEAL

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS OF PLANT AND MATERIALS MUST NOT BE LESS THAN THE DIMENSIONS UNLESS LABELLED AS SUCH FOR TRANSFER/CONSTRUCTION.

PROJECT
ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE

SITE PLAN - LEVEL 1 WEST

DRAWING ISSUE

DEVELOPMENT PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	DATE	AD
DP2017-15	August 1, 2017		
SCALE	1:100	REVIEWED	SH

DRAWING NO. **L-03B**

LANDSCAPE LEGEND

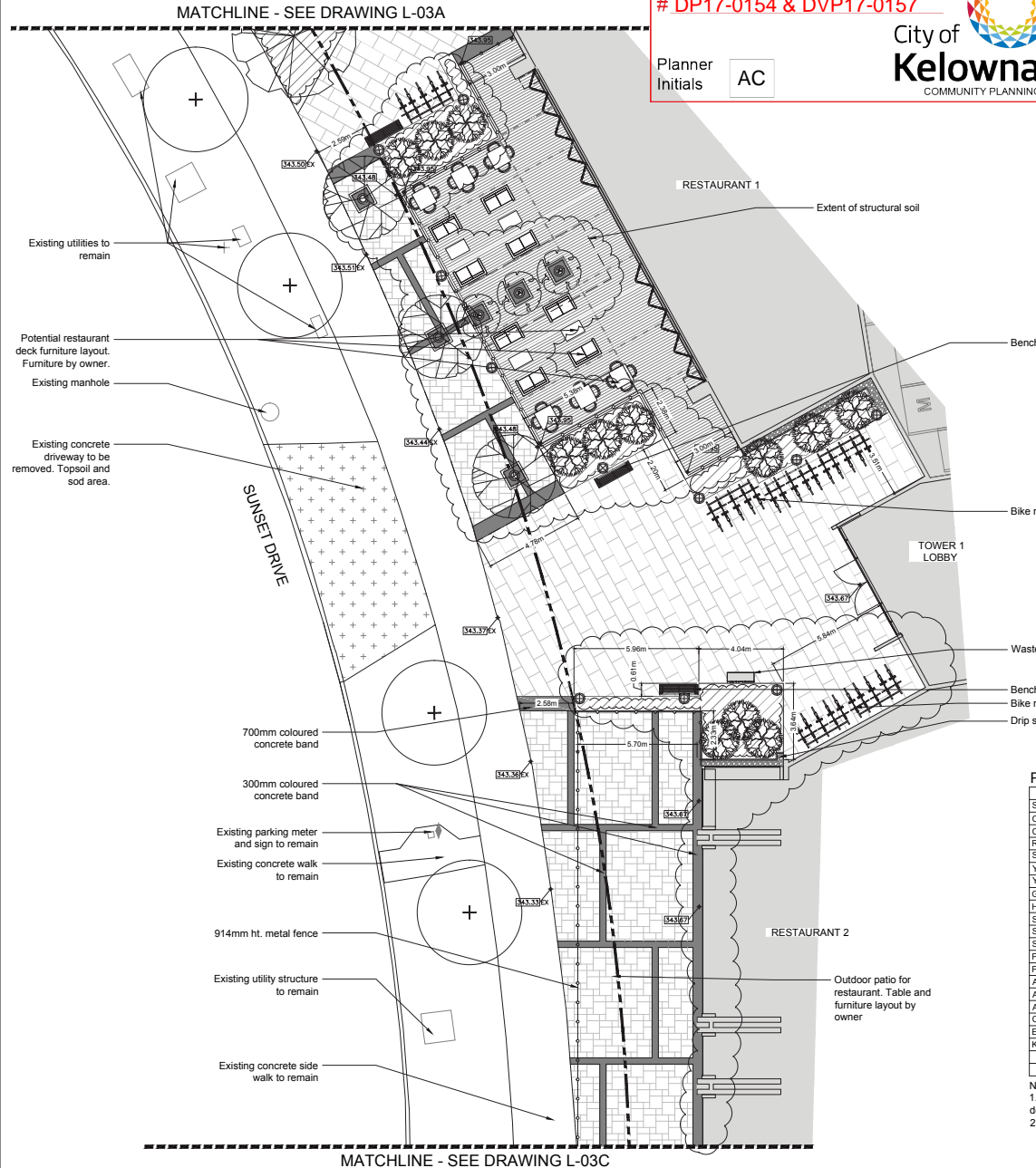
KEY	REF.	DESCRIPTION	SYMBOL	REF.	DESCRIPTION
(5) LD-01	5	CONCRETE PAVING	(3) LD-04	3	BIKE RACK
(5) LD-01	5	COLOURED CONCRETE	(2) LD-04	2	WASTE RECEPTACLE
(4) LD-02	4	WOOD DECK	(4) LD-04	4	TREE GRATE
(7) LD-01	7	HYDRAPRESSED SLABS	(1) LD-04	1	BENCH
(8) LD-01	8	UNIT PAVERS	(2) LD-05	2	BOLLARD LIGHT
(2) LD-01	2	DRIP STRIP	(1) LD-05	1	PEDESTRIAN LIGHT
(8) LD-04	8	WOOD FENCE	(5) LD-05	5	INGROUND UPLIGHT
(4) LD-03	4	METAL FENCE	(3) LD-05	3	WALL/STEP LIGHT
			(6) LD-05	6	SPORT COURT LIGHT
			(4) LD-05	4	CONTINUOUS STRIP LIGHT

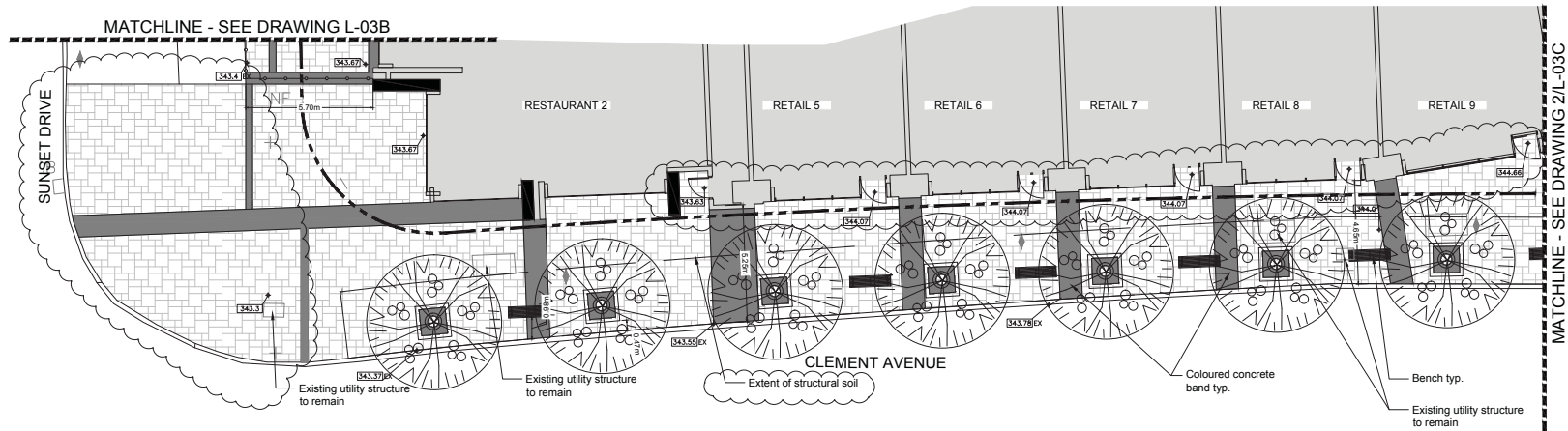
PROPOSED PLANT SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Cc		Caryopteris x clandonis	Blue Mist Spirea	1200mm	
Cse		Cornus serica 'Kelseyii'	Red Osier Dogwood	600mm	
Ro		Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	900mm	
Sp		Salix purpurea 'Nana'	Dwarf Arctic Willow	900mm	
Yf		Yucca filamentosa 'Golden Sword'	Golden Sword Yucca	1500mm	
Yg		Yucca glauca	Soapweed	750mm	
GRASSES					
Hs		Helictotrichon sempervirens	Blue Oat Grass	600mm	
Sn		Sorghastrum nutans 'Indian Steel'	Indian Grass	900mm	
Sh		Sporobolus heterolepis	Prairie Dropseed	600mm	
St		Stipa tenuissima	Mexican Feather Grass	600mm	
Pv		Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass	600mm	
PERENNIALS/GROUNDCOVERS					
Am		Anaphalis margaritacea	Pearly Everlasting (native)	600mm	
Av		Artemisia versicolor 'Seafoam'	Curfew Sage	750mm	
Ama		Anthemis marschalliana	Alpine Marguerite Daisy	600mm	
CL		Crocsmia 'Lucifer'	Crocsmia	600mm	
Ea		Euphorbia amygdaloides 'Golden Glory'	Golden Glory Spurge	600mm	
Ku		Kniphofia ovata	Torch Lily	600mm	
Lan		Lanadula angustifolia 'Hidcote'	Hidcote Lavender	450mm	
Pt		Pachysandra terminalis	Japanese Spurge	300mm	

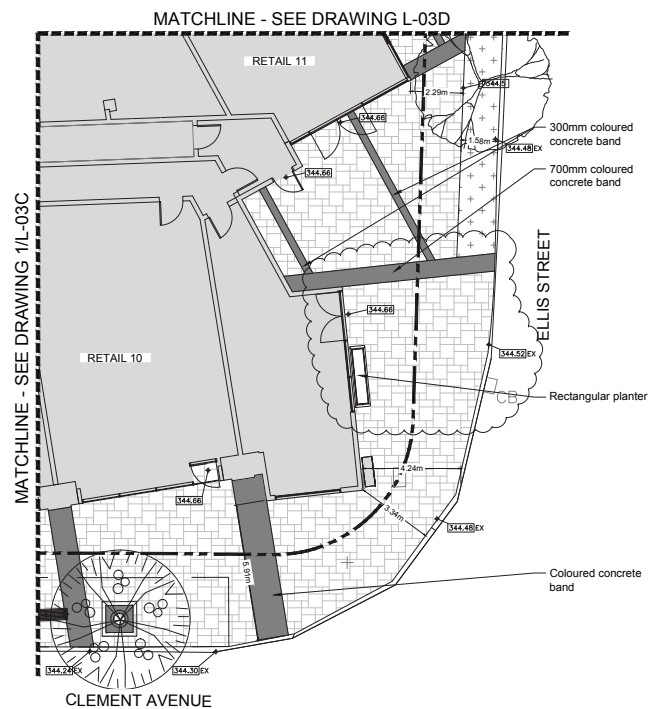
- Notes:
- Assume 150mm growing medium depth (import) for new sod areas, and 450mm growing medium depth (import) for new planting beds (typ). 900mm growing medium for trees.
 - All plant material installation to follow BC Landscape Standard specifications.

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15





1 LEVEL 1 SITE PLAN SOUTH WEST
Scale 1:100



2 LEVEL 1 SITE PLAN SOUTH EAST
Scale 1:100

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	5 (LD-01)	CONCRETE PAVING
	6 (LD-01)	COLOURED CONCRETE
	4 (LD-02)	WOOD DECK
	7 (LD-01)	HYDRAPRESSED SLABS
	8 (LD-01)	UNIT PAVERS
	2 (LD-01)	DRIP STRIP
	3 (LD-01)	SOD
	8 (LD-04)	WOOD FENCE
	4 (LD-03)	METAL FENCE
	3 (LD-04)	BIKE RACK
	2 (LD-04)	WASTE RECEPTACLE
	4 (LD-04)	TREE GRATE
	1 (LD-04)	BENCH

	2 (LD-05)	BOLLARD LIGHT
	1 (LD-05)	PEDESTRIAN LIGHT
	5 (LD-05)	INGROUND UPLIGHT
	3 (LD-05)	WALL/STEP LIGHT
	6 (LD-05)	SPORT COURT LIGHT
	4 (LD-05)	CONTINUOUS STRIP LIGHT

PROPOSED PLANT SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Cc		Caryopteris x clandonis	Blue Mist Spirea	1200mm	
Cse		Cornus serica 'Kelsey'	Red Osier Dogwood	600mm	
Ro		Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	900mm	
Sp		Salix purpurea 'Nana'	Dwarf Arctic Willow	900mm	
Yf		Yucca filamentosa 'Golden Sword'	Golden Sword Yucca	1500mm	
Yg		Yucca glauca	Soapweed	750mm	
GRASSES					
Is		Helictotrichon sempervirens	Blue Oat Grass	600mm	
Sn		Sorghastrum nutans 'Indian Steel'	Indian Grass	900mm	
Sh		Sporobolus heterolepis	Prairie Dropseed	600mm	
St		Stipa tenuissima	Mexican Feather Grass	600mm	
Pv		Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass	600mm	
PERENNIALS/GROUNDCOVERS					
Am		Anaphalis margaritacea	Pearly Everlasting (native)	600mm	
Av		Artemisia versicolor 'Seafoam'	Curlicue Sage	750mm	
Ama		Artemisia marschalliana	Alpine Marguerite Daisy	600mm	
CL		Crocsmia 'Lucifer'	Crocsmia	600mm	
Ea		Euphorbia amygdaloides 'Golden Glory'	Golden Glory Spurge	600mm	
Iku		Kniphofia uvaria	Torch Lily	600mm	
		Lanadula angustifolia 'Hidcote'	Hidcote Lavender	450mm	
		Pachysandra terminalis	Japanese Spurge	300mm	

Notes:

1. Assume 150mm growing medium depth (import) for new sod areas, and 450mm growing medium depth (import) for new planting beds (typ). 900mm growing medium for trees.
2. All plant material installation to follow BC Landscape Standard specifications.

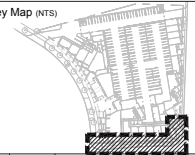


kasian

Kasian Architecture
Interior Design
and Planning Ltd

1011 North Avenue SE, Suite 402
Kelowna, BC Canada V2Y 9H7
T 403.260.2440 F 403.233.0913
www.kasian.com

Key Map (NTS)



NO.	DATE	DESCRIPTION	BY	CHKD.
1	2017.08.28	ISSUED FOR DEVELOPMENT PERMIT	AD	
2	2017.07.31	DEVELOPMENT PERMIT AMENDMENT	AD	
3	2017.08.28	REVISION: DRAWING ISSUE	AD	

van der Zalm + associates inc.
Landscape Architecture
1011 North Avenue SE, Suite 402
Kelowna, BC Canada V2Y 9H7
T 403.260.2440 F 403.233.0913
www.vdzalm.com

PROJECT STAMP

SEAL

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PROJECT
ONE WATER STREET
1187 Sunset drive
Kelowna, BC

DRAWING TITLE
SITE PLAN - LEVEL 1 SOUTH

DRAWING ISSUE

DEVELOPMENT
PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	DATE	AD
DP2017-15	July 28, 2017		
SCALE	1:100	REVISION	SH
DRAWING NO.	L-03C	REVISION	

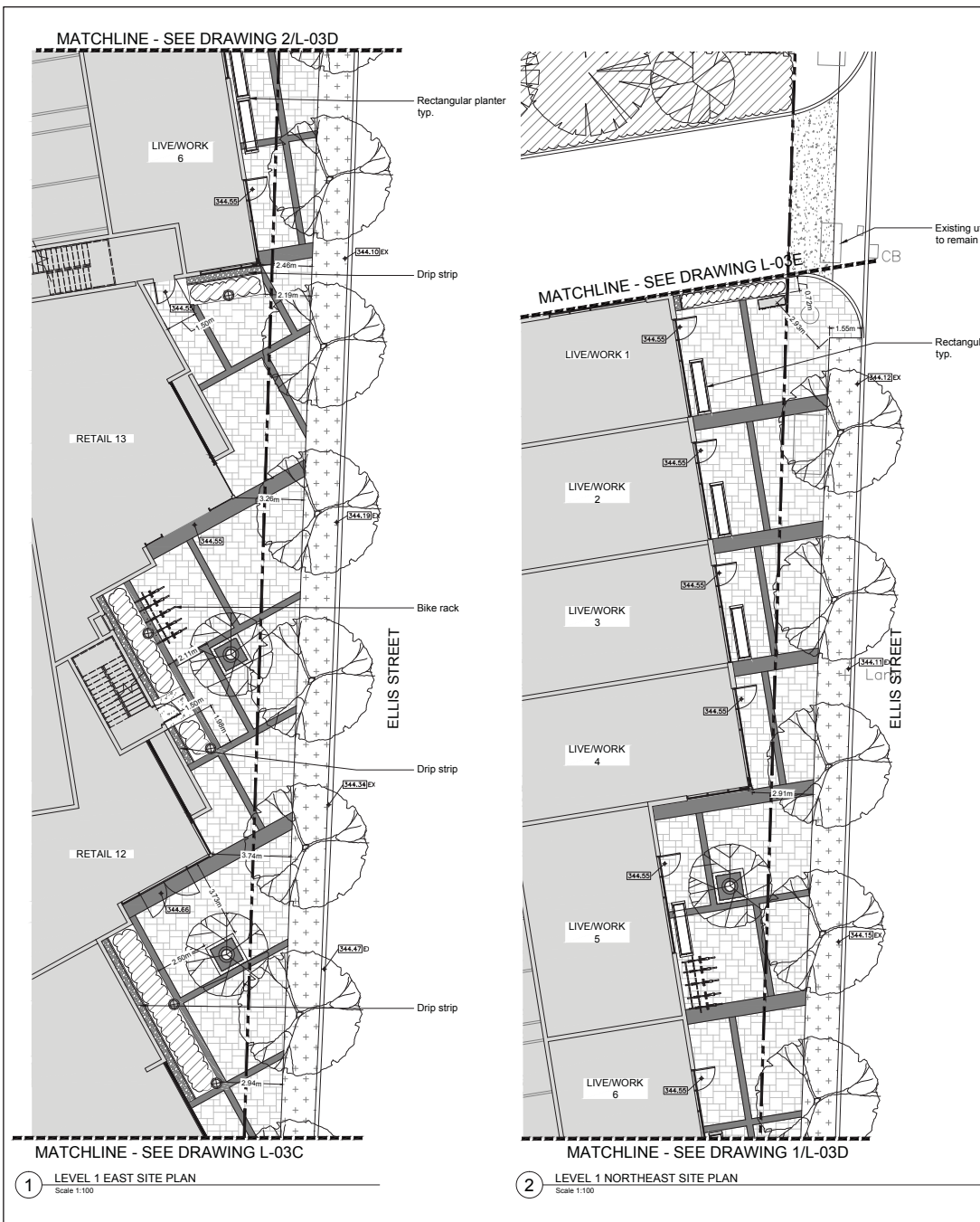
SCHEDULE C

This forms part of application
DP17-0154 & DVP17-0157



Planner
Initials AC

City of
Kelowna
COMMUNITY PLANNING



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION			
	5 LD-01	CONCRETE PAVING		2 LD-05	BOLLARD LIGHT
	5 LD-01	COLOURED CONCRETE		1 LD-05	PEDESTRIAN LIGHT
	4 LD-02	WOOD DECK		5 LD-05	INGROUND UPLIGHT
	7 LD-01	HYDRAPRESSED SLABS		3 LD-05	WALL/STEP LIGHT
	8 LD-01	UNIT PAVERS		6 LD-05	SPORT COURT LIGHT
	2 LD-01	DRIP STRIP		4 LD-05	CONTINUOUS STRIP LIGHT
	8 LD-04	WOOD FENCE			
	4 LD-03	METAL FENCE			
	3 LD-04	BIKE RACK			
	2 LD-04	WASTE RECEPTACLE			
	4 LD-04	TREE GRATE			
	1 LD-04	BENCH			

SCHEDULE C

This forms part of application
DP17-0154 & DVP17-0157

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING

PROPOSED PLANT SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Cc		Caryopteris x clandonis	Blue Mist Spirea		1200mm
Cse		Cornus serica 'Kelseyii'	Red Osier Dogwood		600mm
Ro		Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary		900mm
Sp		Salix purpurea 'Nana'	Dwarf Arctic Willow		900mm
Yf		Yucca filamentosa 'Golden Sword'	Golden Sword Yucca		1500mm
Yg		Yucca glauca	Soapweed		750mm
GRASSES					
Hs		Helictotrichon sempervirens	Blue Oat Grass		600mm
Sn		Sorghastrum nutans 'Indian Steel'	Indian Grass		900mm
Sh		Sporobolus heterolepis	Prairie Dropseed		600mm
St		Stipa tenuissima	Mexican Feather Grass		600mm
Pv		Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass		600mm
PERENNIALS/GROUNDCOVERS					
Am		Anaphalis margaritacea	Pearly Everlasting (native)		600mm
Av		Artemisia versicolor 'Seafoam'	Curticle Sage		750mm
Ama		Anthemis marschalliana	Alpine Marguerite Daisy		600mm
CL		Crocus 'Lucifer'	Crocus		600mm
Ea		Euphorbia amygdaloides 'Golden Glory'	Golden Glory Spurge		600mm
Ku		Kniphofia uvaria	Torch Lily		600mm
		Lanadula angustifolia 'Hidcote'	Hidcote Lavender		450mm
		Pachysandra terminalis	Japanese Spurge		300mm

- Notes:
1. Assume 150mm growing medium depth (import) for new sod areas, and 450mm growing medium depth (import) for new planting beds (typ). 900mm growing medium for trees.
 2. All plant material installation to follow BC Landscape Standard specifications.



Kasian Architecture
Interior Design
and Planning Ltd

1011 North Avenue SE, Suite 400
Calgary, AB Canada T2S 9H7
T 403.240.2440 F 403.233.0913
www.kasian.com

Key Map (NTS)



NO.	DATE	DESCRIPTION	BY	CHKD
1	2017.07.28	DEVELOPMENT PERMIT APPLICATION	AD	
2	2017.08.28	ISSUED FOR DEVELOPMENT PERMIT	AD	
3	2017.08.28	REVISION: DRAWING ISSUE	SH	

CONTR. NAME

van der Zalm + associates inc.
Landscape Architecture
1011 North Avenue SE, Suite 400
Calgary, AB Canada T2S 9H7
T 403.240.2440 F 403.233.0913
www.kasian.com

PROJECT STAMP

SEAL

DATE

PROJECT

ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE

SITE PLAN - LEVEL 1 EAST

DRAWING ISSUE

DEVELOPMENT PERMIT

PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.

DP2017-15

PLOT DATE

July 28, 2017

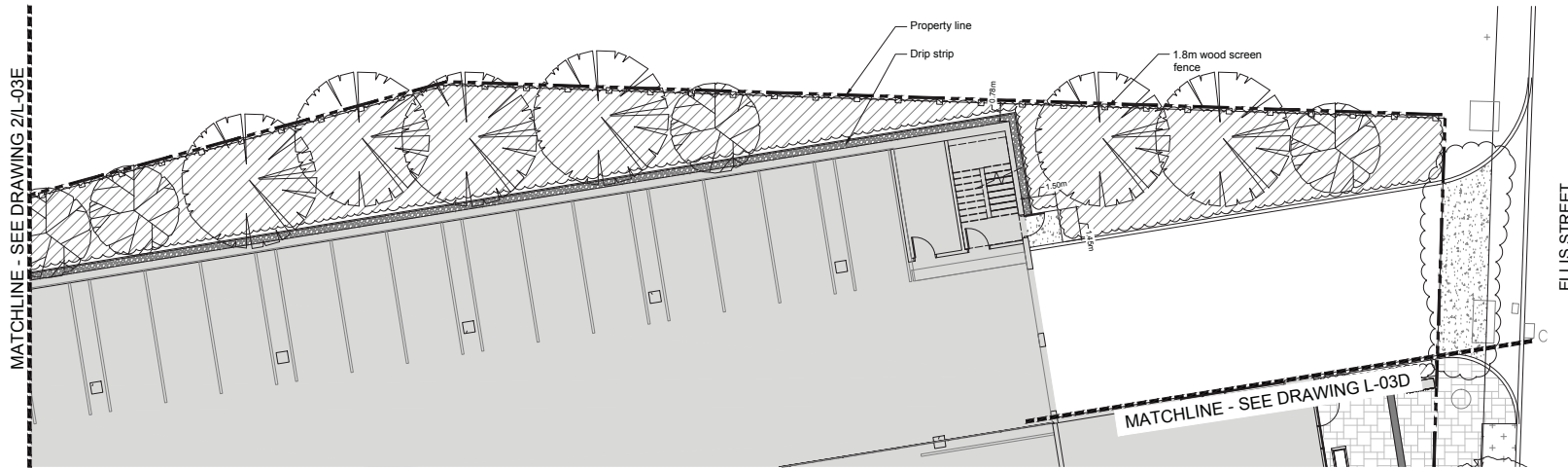
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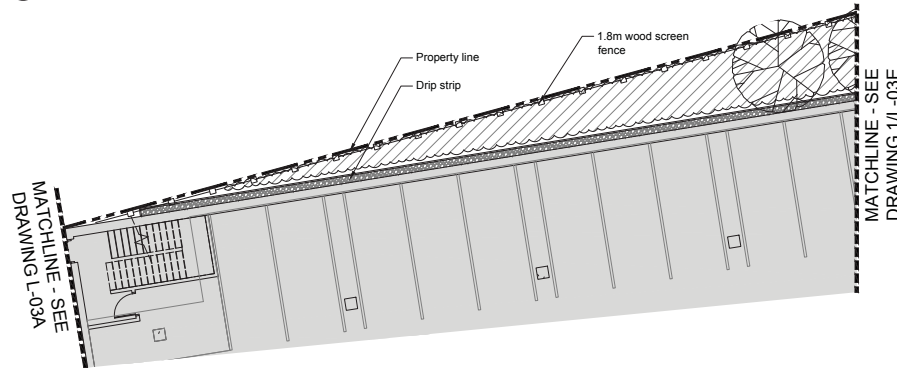
DRAWING NO.

L-03D

REVISION



1 LEVEL 1 NORTH SITE PLAN - EAST
Scale 1:100



2 LEVEL 1 NORTH SITE PLAN - WEST
Scale 1:100

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION			
	5 LD-01	CONCRETE PAVING		2 LD-04	WASTE RECEPTACLE
	5 LD-01	COLOURED CONCRETE		4 LD-04	TREE GRATE
	4 LD-02	WOOD DECK		1 LD-04	BENCH
	7 LD-01	HYDRAPRESSED SLABS		2 LD-05	BOLLARD LIGHT
	8 LD-01	UNIT PAVERS		1 LD-05	PEDESTRIAN LIGHT
	2 LD-01	DRIP STRIP		5 LD-05	INGROUND UPLIGHT
	8 LD-04	WOOD FENCE		3 LD-05	WALL/STEP LIGHT
	4 LD-03	METAL FENCE		6 LD-05	SPORT COURT LIGHT
	3 LD-04	BIKE RACK		4 LD-05	CONTINUOUS STRIP LIGHT

PROPOSED PLANT SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Cc		Caryopteris x clandonensis	Blue Mist Spirea		1200mm
Cse		Cornus serica 'Kelsey'	Red Osier Dogwood		600mm
Ro		Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary		900mm
Sp		Salix purpurea 'Nana'	Dwarf Arctic Willow		900mm
Yf		Yucca filamentosa 'Golden Sword'	Golden Sword Yucca		1500mm
Yg		Yucca glauca	Soapweed		750mm
GRASSES					
Ha		Helictotrichon sempervirens	Blue Oat Grass		600mm
Sh		Sorghastrum nutans 'Indian Steel'	Indian Grass		900mm
Sh		Sporobolus heterolepis	Prairie Dropseed		600mm
Sl		Stipa tenuissima	Mexican Feather Grass		600mm
Pv		Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass		600mm

PERENNIALS/GROUNDCOVERS				
Am	Anaphalis margaritacea	Pearly Everlasting (native)		600mm
Av	Artemisia versicolor 'Seafoam'	Curlicue Sage		750mm
Am	Artemisia marschalliana	Alpine Marguerite Daisy		600mm
CL	Crocus 'Lucifer'	Crocus		600mm
Ea	Euphorbia amygdaloides 'Golden Glory'	Golden Glory Spurge		600mm
Ku	Kniphofia uvaria	Torch Lily		600mm
	Lanadula angustifolia 'Hidcote'	Hidcote Lavender		450mm
	Pachysandra terminalis	Japanese Spurge		300mm

Notes:
1. Assume 150mm growing medium depth (import) for new sod areas, and 450mm growing medium depth (import) for new planting beds (typ). 900mm growing medium for trees.
2. All plant material installation to follow BC Landscape Standard specifications.

SCHEDULE

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials

AC

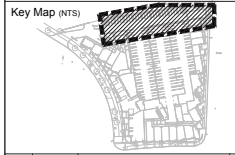
City of
Kelowna
COMMUNITY PLANNING

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NO.	DATE	DESCRIPTION	BY	CHKD.
1	2017-07-28	ISSUED FOR DEVELOPMENT PERMIT	AD	
2	2017-07-31	DEVELOPMENT PERMIT AMENDMENT	AD	
3	2017-08-28	REVISION: DRAWING ISSUE	AD	

van der Zalm + associates inc.
Landscape Architecture
1187 Sunset drive
Kelowna, BC V1Y 1B9
P: 250-862-0024
F: 250-862-0042
info@vzai.com

PROJECT STAMP

SEAL

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS OF PLANT MATERIALS MUST BE NOTED FOR CONSTRUCTION UNLESS LABELLED AS SUCH FOR TRANSPLANTATION.

PROJECT
ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE

SITE PLAN - LEVEL 1 NORTH

DRAWING ISSUE

DEVELOPMENT
PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	DATE	AD
DP2017-15	July 28, 2017		
SCALE	1:100	REVIEWED	SH
DRAWING NO.	L-03E	REVISION	

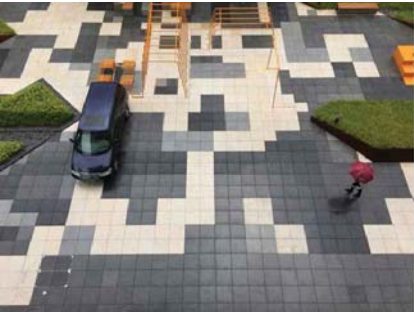
PLANTING PALETTE



BENCH SEATING



LIVE/WORK ENTRANCE



PAVING PATTERN



PLANTERS



RESTAURANT PATIO



RESTAURANT STREETSCAPE

kasian

Kasian Architecture

Interior Design

and Planning Ltd

1011 North Avenue SE, Suite 400

Calgary, AB Canada T2S 0K7

T 403.263.2440 F 403.233.0913

www.kasian.com

2	2017.07.31	DEVELOPMENT PERMIT ASSIGNMENT	AD
1	2017.06.26	ISSUED FOR DEVELOPMENT PERMIT	AD
REV	17.07.08.00	REVISION / DRAWING ISSUE	REV

van der Zalm + associates inc.

Parks & Recreation + Civil Engineering

Urban Design + Landscape Architecture

1011 North Avenue SE, Suite 400

Calgary, Alberta T2S 0K7

T 403.263.2440 F 403.233.0913

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PROJECT

ONE WATER STREET

1187 Sunset drive Kelowna, BC

DRAWING TITLE

LEVEL 1 PRECEDENT IMAGES

DRAWING BOULE

DEVELOPMENT PERMIT

PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	DRAWN	AD
DP2017-15	July 28, 2017	REVIEWED	SH
DRAWING NO.	SCALE	1:100	REVISION

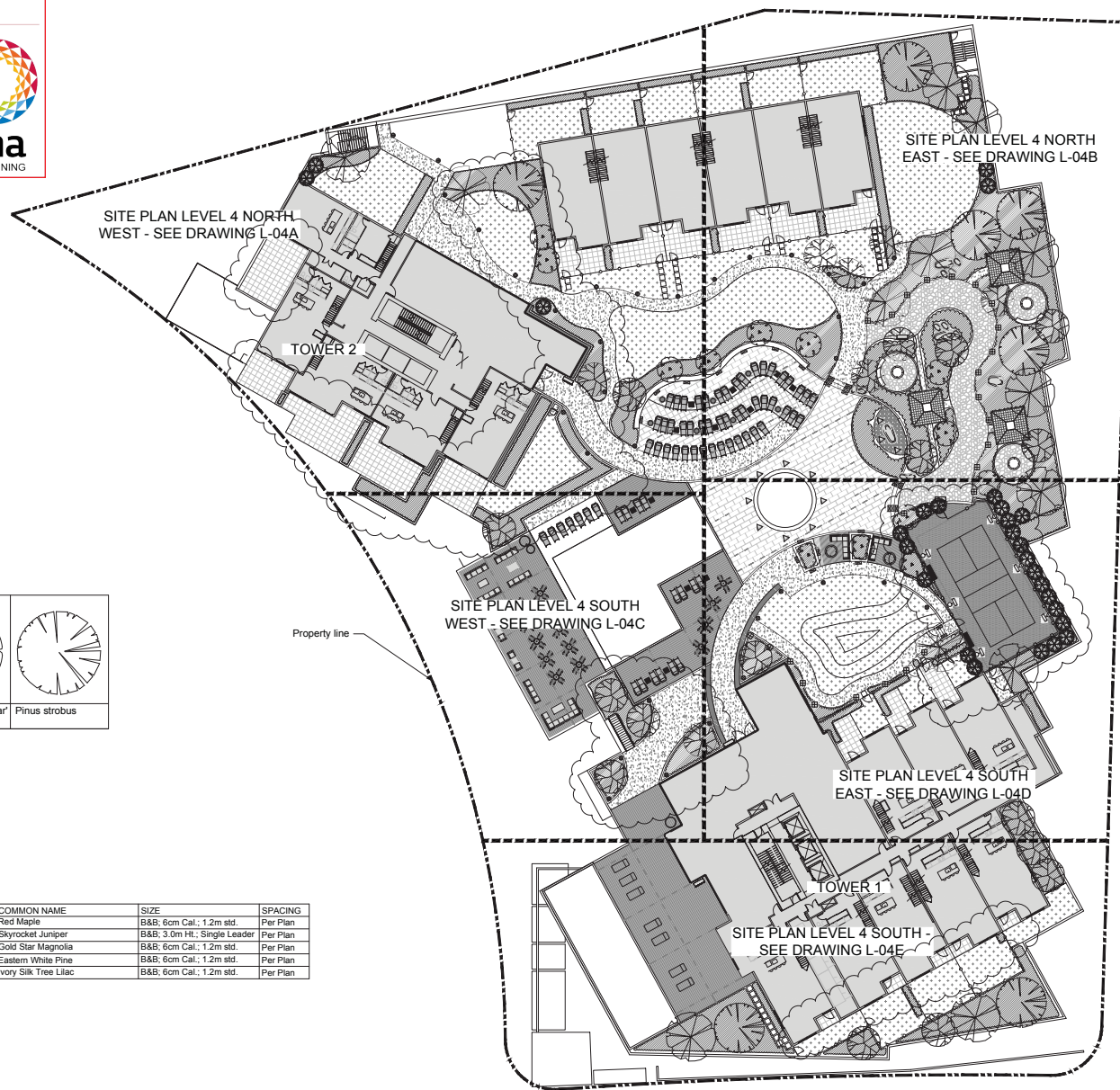
L-03F

SCHEDULE

This forms part of application
DP17-0154 & DVP17-0157

Planner Initials AC

City of Kelowna
COMMUNITY PLANNING



TREE LEGEND

Acer rubrum	Juniperus virginiana 'Skyrocket'	Magnolia 'Gold Star'	Pinus strobus
Syringa reticulata 'Ivory Silk'	Existing Tree		

TREE SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	13	Acer rubrum	Red Maple	B&B; 6cm Cal.; 1.2m std.	Per Plan
See Legend	28	Juniperus virginiana 'Skyrocket'	Skyrocket Juniper	B&B; 3.0m Ht.; Single Leader	Per Plan
See Legend	13	Magnolia 'Gold Star'	Gold Star Magnolia	B&B; 6cm Cal.; 1.2m std.	Per Plan
See Legend	7	Pinus strobus	Eastern White Pine	B&B; 6cm Cal.; 1.2m std.	Per Plan
See Legend	23	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	B&B; 6cm Cal.; 1.2m std.	Per Plan



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van der Zalm + associates inc.
Parks & Recreation + Civil Engineering
Urban Design + Landscape Architecture

PROJECT STAMP

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PROJECT
ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE

SITE PLAN - LEVEL 4

DRAWING BOULE

DEVELOPMENT
PERMIT

PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	DATE	BY
DP2017-15	July 28, 2017	AD	
SCALE	REVISION	SH	
1:100			

DRAWING NO. **L-04**

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SCHEDULE

C

This forms part of application

DP17-0154 & DVP17-0157



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials **AC**

PROPOSED PLANT SCHEDULE

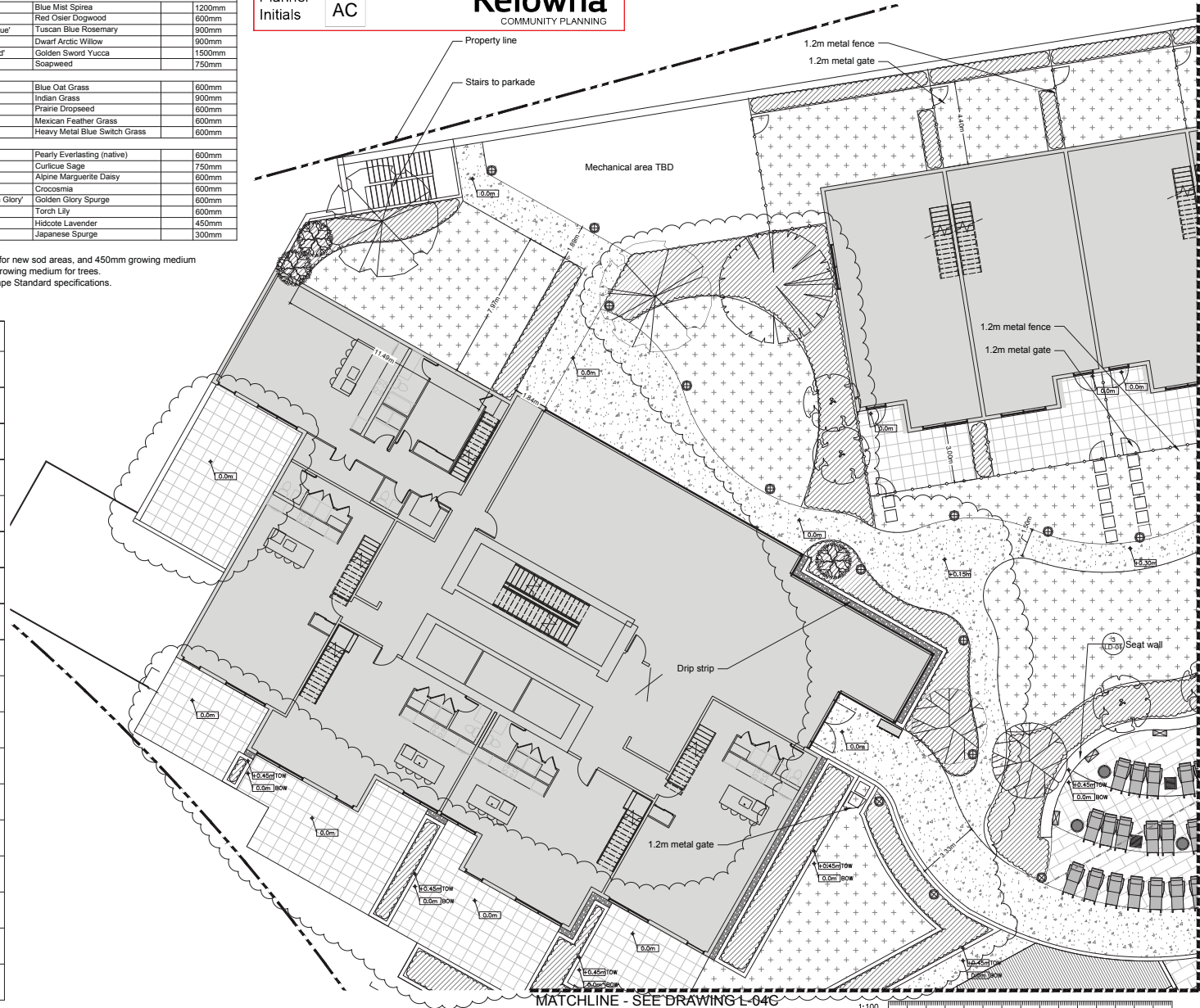
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
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Sp		Salix purpurea 'Nana'	Dwarf Arctic Willow		900mm
Yf		Yucca filamentosa 'Golden Sword'	Golden Sword Yucca		1500mm
Yg		Yucca glauca	Soapweed		750mm
GRASSES					
Hs		Helictotrichon sempervirens	Blue Oat Grass		600mm
Sn		Sorghastrum nutans 'Indian Steel'	Indian Grass		900mm
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Pv		Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass		600mm
PERENNIALS/GROUNDCOVERS					
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Av		Artemesia versicolor 'Seafoam'	Curlicue Sage		750mm
Ama		Anthemis marschalliana	Alpine Marguerite Daisy		600mm
CL		Crocsmia 'Lucifer'	Crocsmia		600mm
Ea		Euphorbia amygdaloides 'Golden Glory'	Golden Glory Spurge		600mm
Ku		Kniphofia ovata	Torch Lily		600mm
		Lanadula angustifolia 'Hidcote'	Hidcote Lavender		450mm
		Pachysandra terminalis	Japanese Spurge		300mm

Notes:

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LANDSCAPE LEGEND

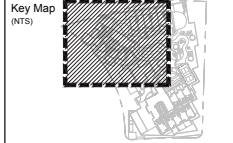
KEY	REF.	DESCRIPTION
	6 LD-01	CONCRETE PAVING
	6 LD-01	COLOURED CONCRETE
	4 LD-02	WOOD DECK
	7 LD-01	HYDRAPRESSED SLABS
	7 LD-01	HYDRAPRESSED SLABS
	3 LD-02	FLAGSTONE PAVERS
	1 LD-01	DRIP STRIP
		SOD
	2 LD-03	PICKLEBALL FENCE
	3 LD-03	METAL FENCE
	2 LD-05	BOLLARD LIGHT
	1 LD-05	PEDESTRIAN LIGHT
	5 LD-05	INGROUND UPLIGHT
	3 LD-05	WALLSTEP LIGHT
	6 LD-05	SPORT COURT LIGHT
	4 LD-05	CONTINUOUS STRIP LIGHT
	2 LD-04	WASTE RECEPTACLE
	1 LD-04	BENCH



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Kasian Architecture
Interior Design
and Planning Ltd

1011 North Avenue SE, Suite 402
Calgary, AB Canada T2S 9H7
T 403 263 2440 F 403 233 0913
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REV	DATE	DESCRIPTION	BY	CHKD
1	2017.07.28	ISSUED FOR DEVELOPMENT PERMIT	AD	
2	2017.07.31	DEVELOPMENT PERMIT AMENDMENT	AD	
3	2017.08.28	ISSUED FOR DEVELOPMENT PERMIT	AD	
4	2017.11.08.05	REVISION: DRAWING ISSUE		

van der Zalm + associates inc.
Landscape Architecture
1011 North Avenue SE, Suite 402
Calgary, Alberta T2S 9H7
P 403 263 2440
F 403 233 0913
info@vazalm.com

PROJECT STAMP

SEAL

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND NOTIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS OF THIS PLAN OR DIMENSIONS MUST NOT BE USED FOR CONSTRUCTION UNLESS LABELLED ISSUED FOR TENDER/CONSTRUCTION.

PROJECT
ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE

SITE PLAN - LEVEL 4 NORTH WEST

DRAWING ISSUE

DEVELOPMENT PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	DATE	AD
DP2017-15	July 28, 2017		
SCALE	1:100	REVIEWED	SH
DRAWING NO.	L-04A	REVISION	

SCHEDULE C

This forms part of application

DP17-0154 & DVP17-0157

Planner
Initials AC

City of
Kelowna
COMMUNITY PLANNING



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	6 LD-01	CONCRETE PAVING
	6 LD-01	COLOURED CONCRETE
	4 LD-02	WOOD DECK
	7 LD-01	HYDRAPRESSED SLABS
	7 LD-01	HYDRAPRESSED SLABS
	3 LD-02	FLAGSTONE PAVERS
	1 LD-01	DRIP STRIP
		SOD
	2 LD-03	PICKLEBALL FENCE
	3 LD-03	METAL FENCE
	2 LD-05	BOLLARD LIGHT
	1 LD-05	PEDESTRIAN LIGHT
	5 LD-05	INGROUND UPLIGHT
	3 LD-05	WALL/STEP LIGHT
	6 LD-05	SPORT COURT LIGHT
	4 LD-05	CONTINUOUS STRIP LIGHT
	2 LD-04	WASTE RECEPTACLE
	1 LD-04	BENCH



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Key Map (NTS)



NO.	DATE	DESCRIPTION	BY	CHKD.
1	2017.08.28	ISSUED FOR DEVELOPMENT PERMIT	AD	
2	2017.07.31	DEVELOPMENT PERMIT AMENDMENT	AD	
3	2017.08.28	REVISION: DRAWING ISSUE	AD	

van der Zalm + associates inc.
Landscape Architecture
1187 Sunset Drive, Kelowna, BC
P: 250.862.0004
F: 250.862.0042
info@vza.ca

PROJECT STAMP

SEAL

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PROJECT
ONE WATER STREET
1187 Sunset drive
Kelowna, BC

DRAWING TITLE
SITE PLAN - LEVEL 4 NORTH EAST

DRAWING ISSUE

DEVELOPMENT
PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO. DP2017-15	PLOT DATE July 28, 2017	DRAWN AD
SCALE 1:100	REVIEWED SH	

DRAWING NO.
L-04B

MATCHLINE - SEE DRAWING L-04A



MATCHLINE - SEE DRAWING L-04D

PROPOSED PLANT SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Cc		Caryopteris x donaldsonii	Blue Mist Spirea	1200mm	
Cse		Cornus sericea 'Kelsayii'	Red Osier Dogwood	600mm	
Rb		Rosa rugosa 'Tuscan Blue'	Tuscan Blue Rosemary	900mm	
Sp		Salix purpurea 'Nana'	Dwarf Arctic Willow	900mm	
Yf		Yucca filamentosa 'Golden Sword'	Golden Sword Yucca	1500mm	
Yg		Yucca glauca	Soapweed	750mm	
GRASSES					
Hs		Helictotrichon sempervirens	Blue Oat Grass	600mm	
Sn		Sorghastrum nutans 'Indian Steel'	Indian Grass	900mm	
Sh		Sporobolus heterolepis	Prairie Dropseed	600mm	
Sl		Stipa tenuissima	Mexican Feather Grass	600mm	
Pv		Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass	600mm	
PERENNIALS/GROUNDCOVERS					
Am		Anaphalis margaritacea	Pearly Everlasting (native)	600mm	
Av		Artemisia versicolor 'Seafoam'	Curlicue Sage	750mm	
Ama		Anthemis marschalliana	Alpine Marguerite Daisy	600mm	
CL		Crocus 'Lucifer'	Crocus	600mm	
Ea		Euphorbia amygdaloides 'Golden Glory'	Golden Glory Spurge	600mm	
Ku		Kniphofia uvaria	Torch Lily	600mm	
Lan		Lanadula angustifolia 'Hidcote'	Hidcote Lavender	450mm	
Pt		Pachysandra terminalis	Japanese Spurge	300mm	

Notes:

1. Assume 150mm growing medium depth (import) for new sod areas, and 450mm growing medium depth (import) for new planting beds (typ). 900mm growing medium for trees.
2. All plant material installation to follow BC Landscape Standard specifications.



SCHEDULE C

This forms part of application
DP17-0154 & DVP17-0157

City of Kelowna
COMMUNITY PLANNING

Planner Initials: AC

LANDSCAPE LEGEND

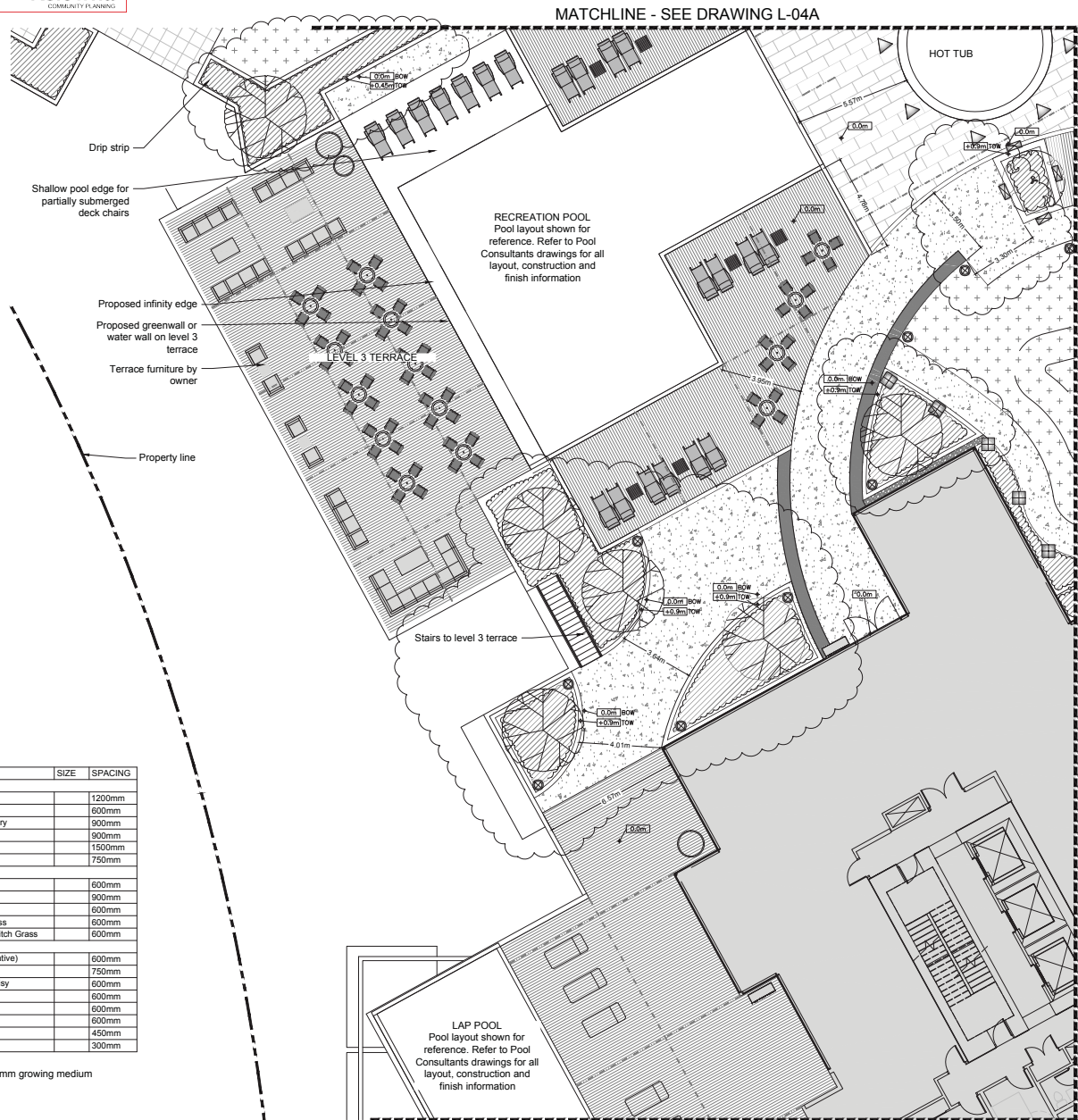
KEY	REF.	DESCRIPTION
	6 (LD-01)	CONCRETE PAVING
	6 (LD-01)	COLOURED CONCRETE
	4 (LD-02)	WOOD DECK
	7 (LD-01)	HYDRAPRESSED SLABS
	7 (LD-01)	HYDRAPRESSED SLABS
	3 (LD-02)	FLAGSTONE PAVERS
	1 (LD-01)	DRIP STRIP
		SOD
	2 (LD-03)	PICKLEBALL FENCE
	3 (LD-03)	METAL FENCE
	2 (LD-05)	BOLLARD LIGHT
	1 (LD-05)	PEDESTRIAN LIGHT
	5 (LD-05)	INGROUND UPLIGHT
	3 (LD-05)	WALL/STEP LIGHT
	6 (LD-05)	SPORT COURT LIGHT
	4 (LD-05)	CONTINUOUS STRIP LIGHT
	2 (LD-04)	WASTE RECEPTACLE
	1 (LD-04)	BENCH

PROPOSED PLANT SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Cc		Caryopteris x clandonensis	Blue Mist Spirea		1200mm
Cse		Cornus sericea 'Kelseyif'	Red Osier Dogwood		600mm
Ro		Rosemarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary		900mm
Sp		Salix purpurea 'Nana'	Dwarf Arctic Willow		900mm
Yf		Yucca filamentosa 'Golden Sword'	Golden Sword Yucca		1500mm
Yg		Yucca glauca	Soapweed		750mm
GRASSES					
Hs		Helictotrichon sempervirens	Blue Oat Grass		600mm
Sn		Sorghastrum nutans 'Indian Steel'	Indian Grass		900mm
Sh		Sporobolus heterolepis	Prairie Dropseed		600mm
St		Stipa tenuissima	Mexican Feather Grass		600mm
Pv		Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass		600mm
PERENNIALS/GROUNDCOVERS					
Am		Anaphalis margaritacea	Pearly Everlasting (native)		600mm
Av		Artemisia versicolor 'Seafoam'	Curious Sage		750mm
Am		Artemisia marshalliana	Alpine Marguerite Daisy		600mm
CL		Crocasmia 'Lucifer'	Crocasmia		600mm
Ea		Euphorbia amygdaloides 'Golden Glory'	Golden Glory Spurge		600mm
Ku		Kniphofia uvaria	Torch Lily		600mm
		Lanadula angustifolia 'Hidcote'	Hidcote Lavender		450mm
		Pachysandra terminalis	Japanese Spurge		300mm

Notes:

1. Assume 150mm growing medium depth (import) for new sod areas, and 450mm growing medium depth (import) for new planting beds (typ). 900mm growing medium for trees.
2. All plant material installation to follow BC Landscape Standard specifications.



MATCHLINE - SEE DRAWING L-04E

kasian

Kasian Architecture
Interior Design
and Planning Ltd

1011 North Avenue SE, Suite 400
Calgary, AB Canada T2S 9K7
T 403.263.2440 F 403.233.0915
www.kasian.com

Key Map (NTS)

2 2017.07.31 DEVELOPMENT PERMIT ASSIGNMENT AD
2 2017.08.28 ISSUED FOR DEVELOPMENT PERMIT AD
REV 1 2017.08.28 REVISION - DRAWING ISSUE THE VIEW

van der Zalm + associates inc.
Landscape Architecture
1011 North Avenue SE, Suite 400
Calgary, Alberta T2S 9K7
P 403.263.2440
F 403.233.0915
info@vazalm.com

PROJECT STAMP

SITE

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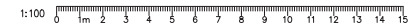
PROJECT
ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE
SITE PLAN - LEVEL 4 SOUTH WEST

DRAWING ISSUE
DEVELOPMENT PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO. DP2017-15	PLOT DATE July 28, 2017	DESIGN AD
SCALE 1:100	REVISION SH	
DRAWING NO. L-04C		



SCHEDULE C

This forms part of application
DP17-0154 & DVP17-0157



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials **AC**

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	6 (LD-01)	CONCRETE PAVING
	6 (LD-01)	COLOURED CONCRETE
	4 (LD-02)	WOOD DECK
	7 (LD-01)	HYDRAPRESSED SLABS
	7 (LD-01)	HYDRAPRESSED SLABS
	3 (LD-02)	FLAGSTONE PAVERS
	1 (LD-01)	DRILL STRIP
		SOD
	2 (LD-03)	PICKLEBALL FENCE
	3 (LD-03)	METAL FENCE
	2 (LD-05)	BOLLARD LIGHT
	1 (LD-05)	PEDESTRIAN LIGHT
	5 (LD-05)	INGROUND UPLIGHT
	3 (LD-05)	WALL/STEP LIGHT
	6 (LD-05)	SPORT COURT LIGHT
	4 (LD-05)	CONTINUOUS STRIP LIGHT
	2 (LD-04)	WASTE RECEPTACLE
	1 (LD-04)	BENCH

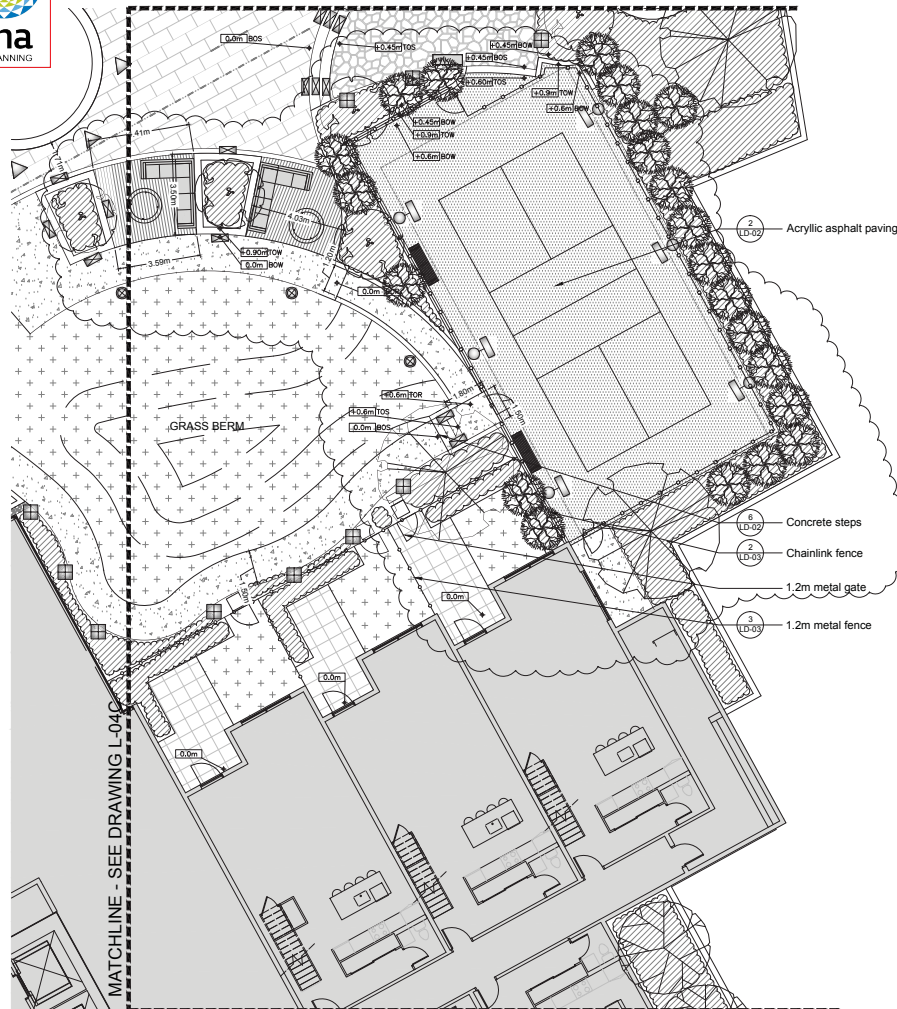
PROPOSED PLANT SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Cc		Caryopteris x clandonalis	Blue Mist Spirea		1200mm
Cse		Cornus serica 'Kelseyii'	Red Osier Dogwood		600mm
Ro		Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary		900mm
Sp		Salix purpurea 'Nana'	Dwarf Arctic Willow		900mm
Yf		Yucca filamentosa 'Golden Sword'	Golden Sword Yucca		1500mm
Yg		Yucca glauca	Soapweed		750mm
GRASSES					
Hs		Helictotrichon sempervirens	Blue Oat Grass		600mm
Sh		Sorghastrum nutans 'Indian Steel'	Indian Grass		900mm
Sh		Sporobolus heterolepis	Prairie Dropseed		600mm
St		Stipa tenuissima	Mexican Feather Grass		600mm
Pv		Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass		600mm
PERENNIALS/GROUNDCOVERS					
Am		Anaphallis margaritacea	Pearly Everlasting (native)		600mm
Ar		Artemisia versicolor 'Sisalfoam'	Curious Sage		750mm
Am		Anthemis marschalliana	Alpine Marguerite Daisy		600mm
CL		Crocsmia 'Lucifer'	Crocsmia		600mm
Ea		Euphorbia amygdaloides 'Golden Glory'	Golden Glory Spurge		600mm
Ku		Kniphofia uvaria	Torch Lily		600mm
		Lanadula angustifolia 'Hidcote'	Hidcote Lavender		450mm
		Pachysandra terminalis	Japanese Spurge		300mm

Notes:

- Assume 150mm growing medium depth (import) for new sod areas, and 450mm growing medium depth (import) for new planting beds (typ). 900mm growing medium for trees.
- All plant material installation to follow BC Landscape Standard specifications.

MATCHLINE - SEE DRAWING L-04B



MATCHLINE - SEE DRAWING L-04E

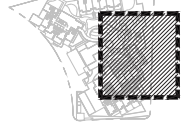


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Kasian Architecture
Interior Design
and Planning Ltd

1011 North Avenue SE, Suite 402
Calgary, AB Canada T2S 9H7
T 403.263.2440 F 403.233.0013
www.kasian.com

Key Map (NTS)



NO.	DATE	DESCRIPTION	BY	CHKD.
1	2017.08.28	ISSUED FOR DEVELOPMENT PERMIT	AD	
2	2017.07.31	DEVELOPMENT PERMIT ASSIGNMENT	AD	
3	2017.08.28	REVISION: DRAWING ISSUE	AD	

van der Zalm + associates inc.
Landscape Architecture
1011 North Avenue SE, Suite 402
Calgary, Alberta T2S 9H7
P 403.263.2440
F 403.233.0013
www.vdzalm.com

PROJECT STAMP

SEAL

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PROJECT
ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE

SITE PLAN - LEVEL 4 SOUTH EAST

DRAWING ISSUE

DEVELOPMENT PERMIT

PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	SCALE	REVISION
DP2017-15	July 28, 2017	1:100	SH

DRAWING NO. **L-04D**

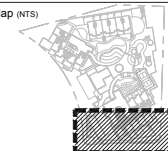
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Interior Design
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1011 North Avenue SE, Suite 402
Calgary, AB Canada T2S 9H7
T 403.263.2440 F 403.233.0913
www.kasian.com

Key Map (NTS)



NO.	DATE	DESCRIPTION	BY	CHKD.
1	2017-07-31	DEVELOPMENT PERMIT APPLICATION	AD	
2	2017-08-28	ISSUED FOR DEVELOPMENT PERMIT	AD	
REV	11-11-2017	REVISION: DRAWING ISSUE		

van der Zalm + associates inc.
Landscape Architecture
1181 45th Avenue
Calgary, Alberta T2C 1K5
P 403.882.0024
F 403.882.0042
info@vza.ca

PROJECT STAMP

SEAL

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PROJECT
ONE WATER STREET
1187 Sunset drive
Kelowna, BC

DRAWING TITLE

SITE PLAN - LEVEL 4 SOUTH

DRAWING ISSUE

DEVELOPMENT PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	DP2017-15	PLOT DATE	July 28, 2017	DESIGN	AD
SCALE	1:100	REVIEWED	SH		
DRAWING NO.	L-04E	REVISION			

MATCHLINE - SEE DRAWING L-04C

MATCHLINE - SEE DRAWING L-04D

TOWER 1

LAP POOL

Pool deck furniture,
by owner

Wood deck

Stepping stone path

1.2m metal gate

1.2m metal fence

Property line

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	6 (LD-01)	CONCRETE PAVING
	6 (LD-01)	COLOURED CONCRETE
	4 (LD-02)	WOOD DECK
	7 (LD-01)	HYDRAPRESSED SLABS
	7 (LD-01)	HYDRAPRESSED SLABS
	3 (LD-02)	FLAGSTONE PAVERS
	1 (LD-01)	DRIP STRIP
		SOD
	2 (LD-03)	PICKLEBALL FENCE

	3 (LD-03)	METAL FENCE
	2 (LD-05)	BOLLARD LIGHT
	1 (LD-05)	PEDESTRIAN LIGHT
	5 (LD-05)	INGROUND UPLIGHT
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	4 (LD-05)	CONTINUOUS STRIP LIGHT
	2 (LD-04)	WASTE RECEPTACLE
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PROPOSED PLANT SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
Cc		Caryopteris x dlandensis	Blue Mist Spirea		1200mm
Cae		Cornus sericea 'Kelsey'	Red Osier Dogwood		600mm
Ro		Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary		900mm
Sp		Salix purpurea 'Nana'	Dwarf Arctic Willow		900mm
Yf		Yucca filamentosa 'Golden Sword'	Golden Sword Yucca		1500mm
Yg		Yucca glauca	Soapweed		750mm
GRASSES					
He		Helictotrichon sempervirens	Blue Oat Grass		600mm
Sn		Sorghastrum nutans 'Indian Steel'	Indian Grass		900mm
Sh		Sporobolus heterolepis	Prairie Dropseed		600mm
St		Stipa tenuissima	Mexican Feather Grass		600mm
Pv		Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass		600mm
PERENNIALS/GROUNDCOVERS					
Am		Anaphalis margaritacea	Pearly Everlasting (native)		600mm
As		Artemisia versicolor 'Seafoam'	Curious Sage		750mm
Ama		Anthemis marschalliana	Alpine Marguerite Daisy		600mm
CL		Crocsmia 'Lucifer'	Crocsmia		600mm
Ea		Euphorbia amygdaloides 'Golden Glory'	Golden Glory Spurge		600mm
Ku		Kniphofia uvaria	Torch Lily		600mm
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Notes:

1. Assume 150mm growing medium depth (import) for new sod areas, and 450mm growing medium depth (import) for new planting beds (typ). 900mm growing medium for trees.
2. All plant material installation to follow BC Landscape Standard specifications.

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

SCHEDULE

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials **AC**

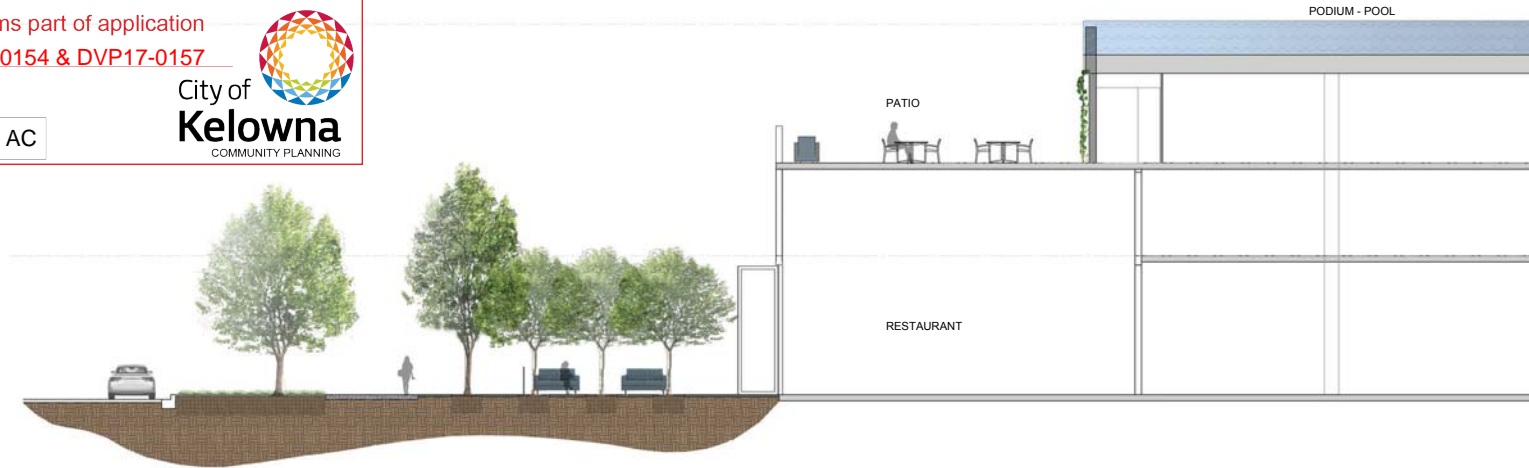
City of Kelowna
COMMUNITY PLANNING

SCHEDULE

C

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials AC



1 SECTION A
Scale 1:75



2 SECTION B
Scale 1:75



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Interior Design
and Planning Ltd

1011 North Avenue SE, Suite 400
Calgary, AB Canada T2S 9K7
T 403.263.2440 F 403.233.0013
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REV	DATE	DESCRIPTION	BY	CHKD
1	2017.08.28	ISSUED FOR DEVELOPMENT PERMIT	AD	
2	2017.07.31	DEVELOPMENT PERMIT AMENDMENT	AD	
3	2017.08.28	ISSUED FOR DEVELOPMENT PERMIT	AD	
4	2017.08.28	REVISION / DRAWING ISSUE		

CONSULTANT	REVISION / DRAWING ISSUE	REVIEW



van der Zalm + associates inc.

Parks & Recreation + Civil Engineering
Urban Design + Landscape Architecture
Suite 1, 20177 97th Avenue P 604 882 0224
V1N 4S9 F 604 882 0242
info@vza.ca

PROJECT STAMP

SEAL

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS OF PLANS AND SPECIFICATIONS MUST NOT BE USED FOR CONSTRUCTION UNLESS LABELLED ISSUED FOR TENDER/CONSTRUCTION.

PROJECT
ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE

SECTIONS

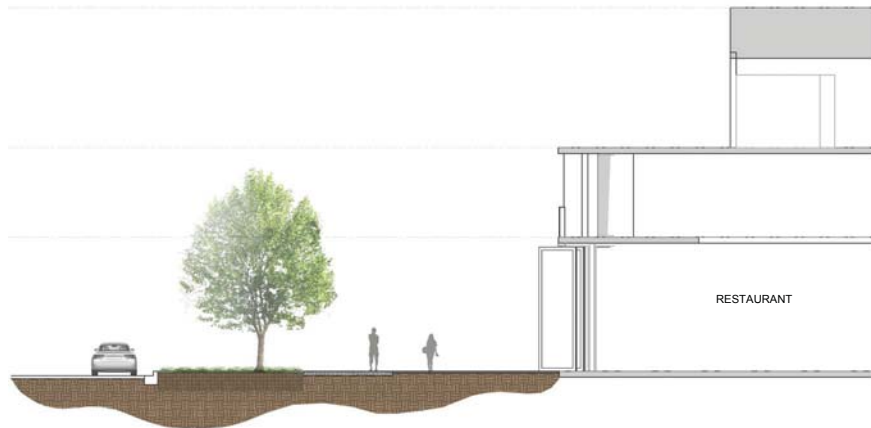
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DEVELOPMENT
PERMIT

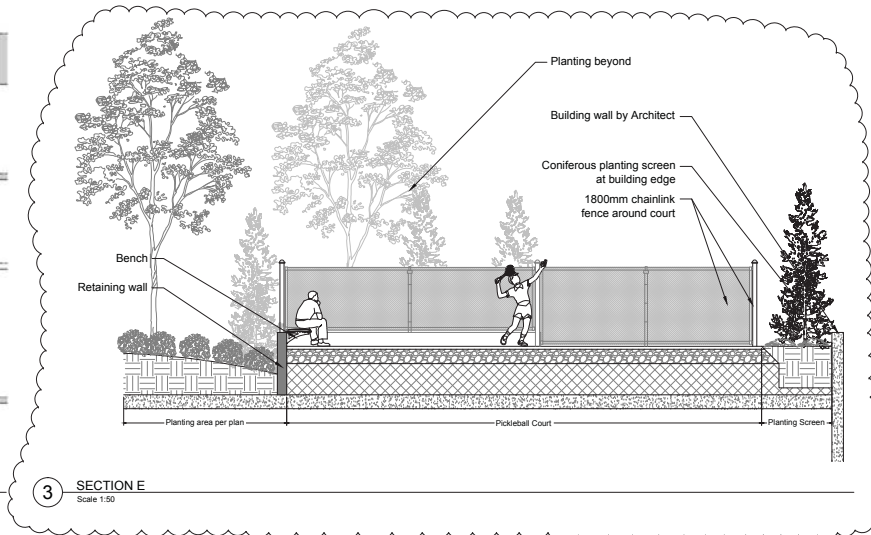
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	DATE	SCALE	DESIGN	AD
DP2017-15	July 28, 2017	1:75	REVIEWED	SH

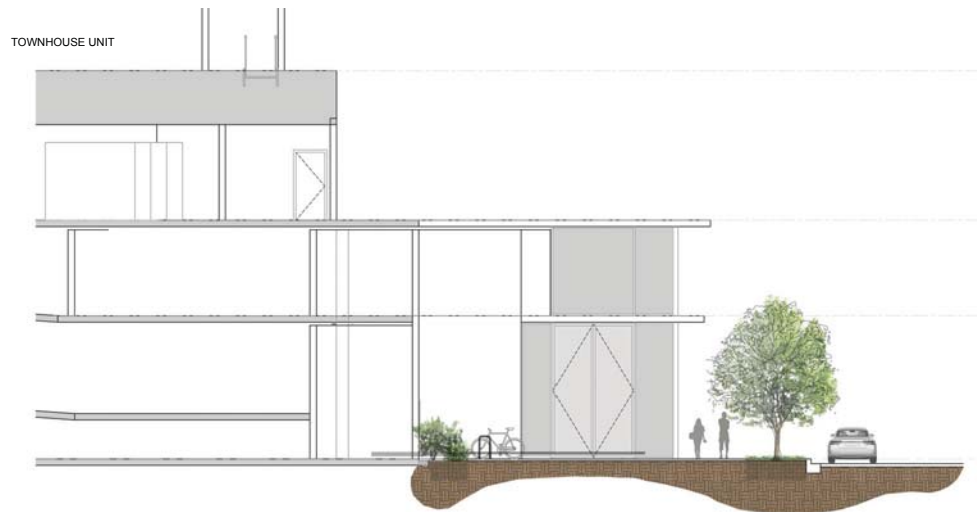
DRAWING NO.	REVISION
L-06A	



1 SECTION C
Scale 1:75



3 SECTION E
Scale 1:50



2 SECTION D
Scale 1:75

SCHEDULE C

This forms part of application
DP17-0154 & DVP17-0157

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING



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Interior Design
and Planning Ltd

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1	2017.08.28	ISSUED FOR DEVELOPMENT PERMIT	AD	
2	2017.07.31	DEVELOPMENT PERMIT ASSIGNMENT	AD	
3	2017.08.28	REVISION: DRAWING ISSUE	AD	

CONSULTANT

van der Zalm + associates inc.
Parks & Recreation • Civil Engineering
Urban Design • Landscape Architecture

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PERMIT STAMP

SEAL

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PROJECT
ONE WATER STREET
1187 Sunset drive
Kelowna, BC

DRAWING TITLE
SECTIONS

DRAWING BOARD
DEVELOPMENT PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO. DP2017-15	PLOT DATE July 28, 2017	DRAWN AD
DRAWING NO. L-06B	SCALE 1:75	REVIEWED SH
		REVISION

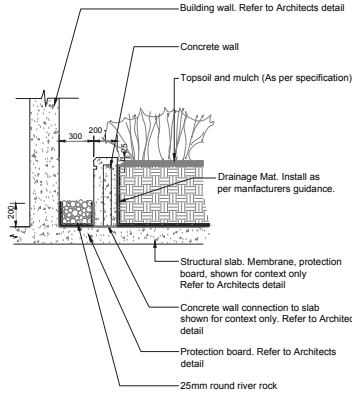
SCHEDULE

C

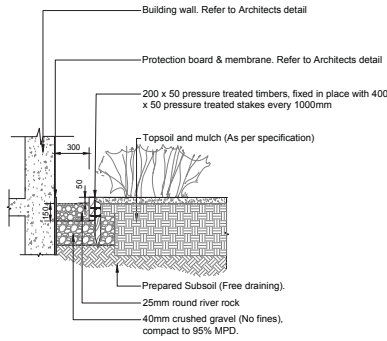
This forms part of application
DP17-0154 & DVP17-0157



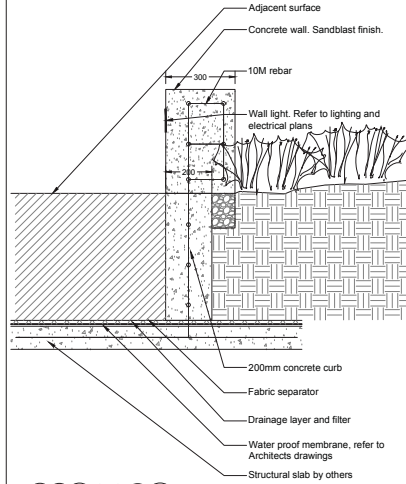
Planner Initials AC



1 DRIP STRIP ON SLAB
Scale 1:20

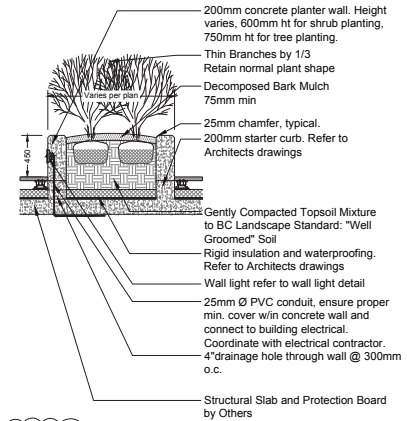


2 DRIP STRIP ON GRADE
Scale 1:20



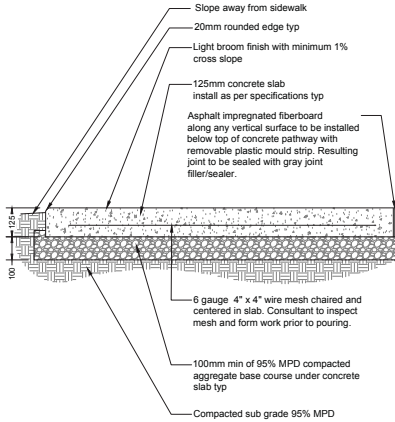
NOTE:
Refer to structural detail for reinforcement and slab tie in requirements

3 CONCRETE SEATWALL
Scale 1:10



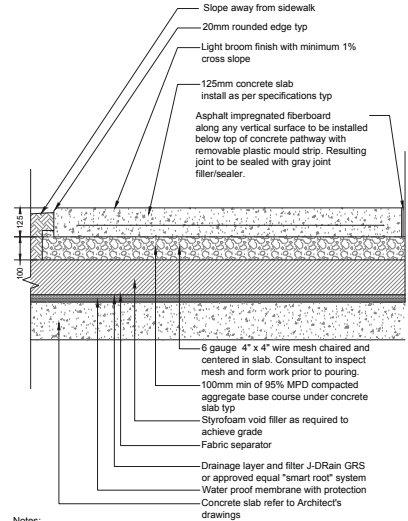
NOTE:
Refer to structural detail for reinforcement and slab tie in requirements

4 CONCRETE PLANTER
Scale 1:25



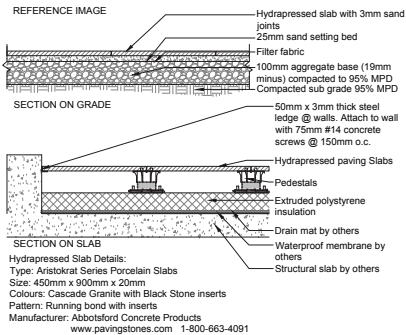
- Notes:
- Contractor to provide expansion joints where concrete meets all vertical structures
 - Horizontal scorelines at 1500mm o.c. unless shown otherwise. Refer to plans.
 - Center scoreline on 150mm smooth finish or to match existing concrete pathway

5 CONCRETE PAVING
Scale 1:10

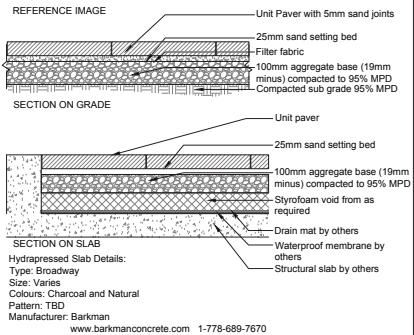


- Notes:
- Contractor to provide expansion joints where concrete meets all vertical structures
 - Horizontal scorelines at 1500mm o.c. unless shown otherwise. Refer to plans.
 - Center scoreline on 150mm smooth finish or to match existing concrete pathway

6 CONCRETE PAVING ON SLAB
Scale 1:10



7 HYDRAPRESSED SLABS
Scale 1:10



8 CONCRETE UNIT PAVING
Scale 1:10



Kasian Architecture
Interior Design
and Planning Ltd

1011 North Avenue SE, Suite 402
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T 403.263.2440 F 403.233.0913
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NO.	DATE	DESCRIPTION	BY	CHKD.
1	2017-07-31	DEVELOPMENT PERMIT APPLICATION	AD	
2	2017-08-28	ISSUED FOR DEVELOPMENT PERMIT	AD	
3	2017-08-28	REVISION: DRAWING ISSUE	REVIEW	



van der Zalm + associates inc.

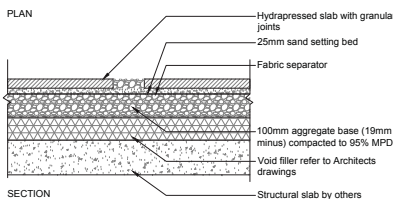
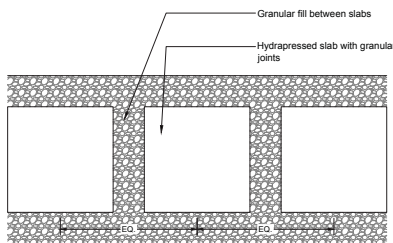
Parks & Recreation • Civil Engineering
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1011 North Avenue SE, Suite 402
Calgary, Alberta T2S 9K7
P 403.263.2440 F 403.233.0913
www.vdzalm.com

PROJECT	ONE WATER STREET
1187 Sunset drive Kelowna, BC	
DRAWING TITLE	DETAILS
DRAWING ISSUE	DEVELOPMENT PERMIT PRELIMINARY, NOT FOR CONSTRUCTION

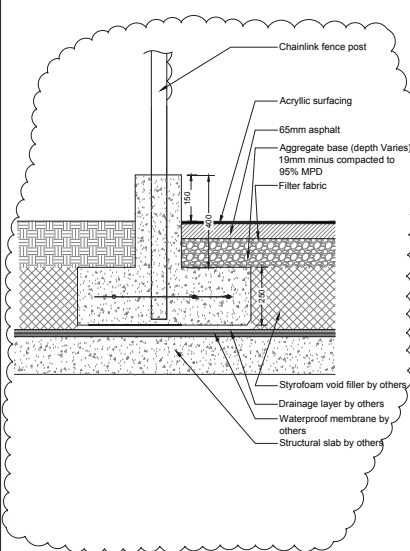
PROJECT NO.	PLOT DATE	SCALE	REVISION	AD
DP2017-15	July 28, 2017	AS SHOWN	REVIEW	SH
DRAWING NO.	LD-01			

Notes:
1. Slabs to be spaced equally between adjacent surfaces.

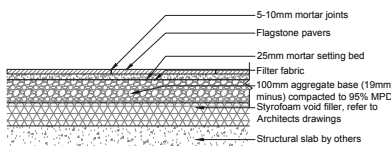


Notes:
1. Install all components as per manufacturer's specifications.
2. Supplier: Abbotsford Concrete or approved Equal
3. Type: Texada
4. Sizes: 457mm x 457mm
5. Color: Charcoal

1 STEPPING STONE PATH ON SLAB
Scale 1:10



2 ACRYLIC ASPHALT PAVING
Scale 1:10

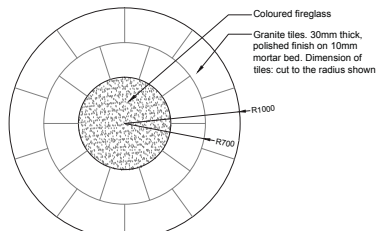


3 FLAGSTONE PAVING
Scale 1:10



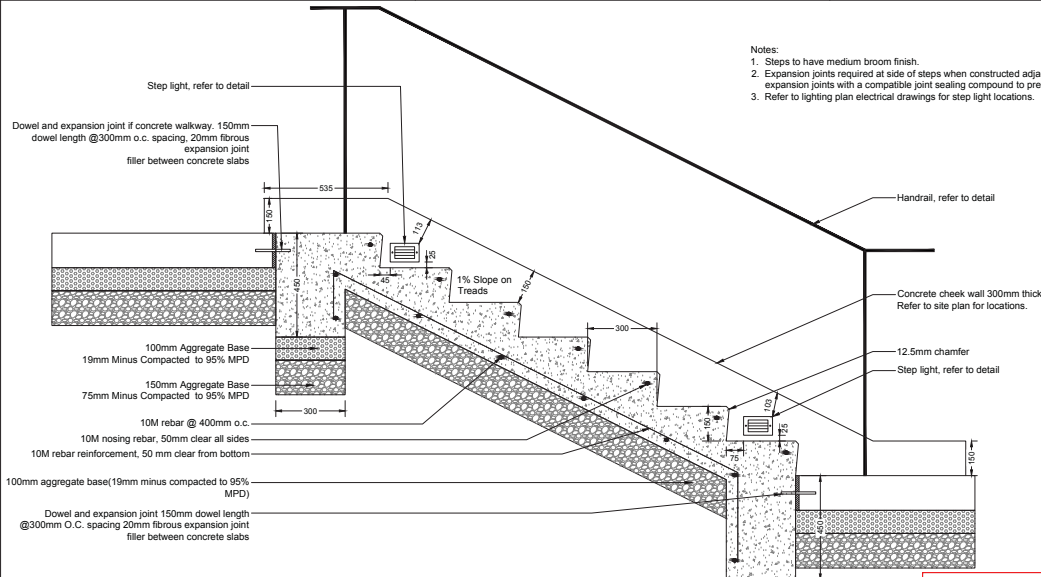
WOOD DECK:
Model: Resysta Deck
Colour: TBD
Manufacturer: Resysta Deck

4 WOOD DECK
N.T.S.



NOTES:
1. Fire place burner to be supplied by Vancouver Gas Fireplaces at 604-732-3470.

5 FIRE PIT
Scale 1:20



Notes:
1. Steps to have medium broom finish.
2. Expansion joints required at side of steps when constructed adjacent to cheek walls. Seal expansion joints with a compatible joint sealing compound to prevent moisture infiltration.
3. Refer to lighting plan electrical drawings for step light locations.

6 CONCRETE STEPS
Scale 1:10

SCHEDULE C

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials AC



Kasian Architecture
Interior Design
and Planning Ltd

1011 North Avenue SE, Suite 402
Kelowna, BC Canada V2Y 9K7
T 403.263.2440 F 403.233.0013
www.kasian.ca

NO.	DATE	DESCRIPTION	BY	CHKD
1	2017.07.31	DEVELOPMENT PERMIT APPLICATION	AD	
2	2017.08.28	ISSUED FOR DEVELOPMENT PERMIT	AD	
3	2017.08.28	REVISION / DRAWING ISSUE	AD	



PROJECT STAMP

SEAL

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PROJECT
ONE WATER STREET
1187 Sunset drive
Kelowna, BC

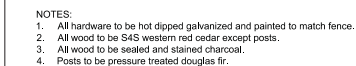
DRAWING TITLE
DETAILS

DRAWING ISSUE

DEVELOPMENT PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	DRAWN	AD
DP2017-15	July 28, 2017	REVIEWED	SH
SCALE	AS SHOWN	REVISION	

LD-02

[illegible]

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PROJECT	
---------	--

ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE

DETAILS

DRAWING ISSUE

DEVELOPMENT
PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO. DP2017-15	PLOT DATE July 28, 2017	DRAWN AD
	SCALE AS SHOWN	REVIEWED SH

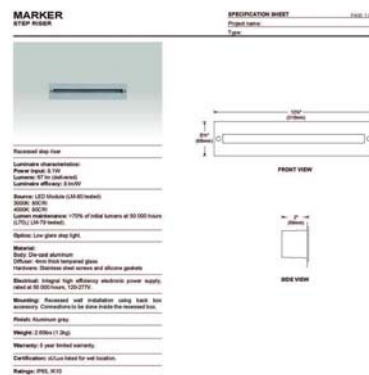
DRAWING NO. **LD-04**



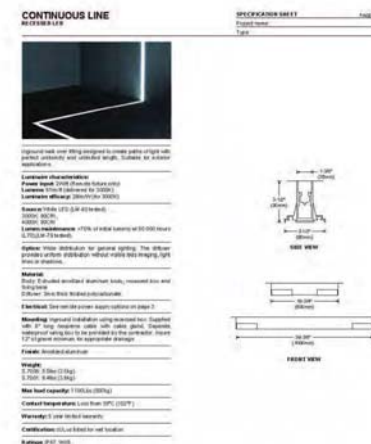
PEDESTRIAN LIGHT:
Model: Metro 40 Hi Glo
Height: 4267mm
Colour: Powdercoat Silver
Manufacturer: Landscape Forms
www.landscapeforms.com



BOLLARD LIGHT:
Model: Metro 40 Lo Glo
Height: 914mm
Colour: Powdercoat Silver
Manufacturer: Landscape Forms
www.landscapeforms.com



SISTEMALUX



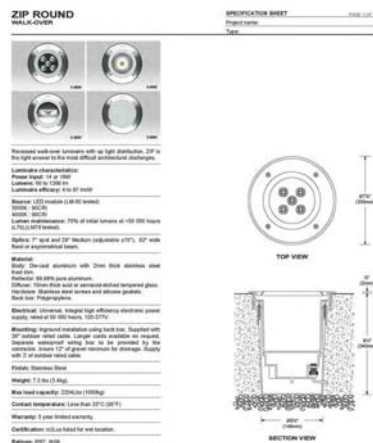
SISTEMALUX

① PEDESTRIAN LIGHT
N.T.S.

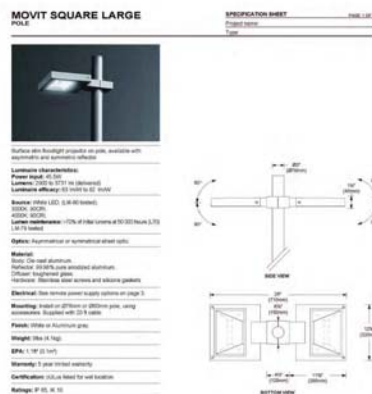
② BOLLARD LIGHT
N.T.S.

③ STEP/WALL LIGHT
N.T.S.

④ CONTINUOUS LINE LIGHT
N.T.S.



SISTEMALUX



SISTEMALUX

⑤ INGROUND UPLIGHT
N.T.S.

⑥ SPORTSCOURT LIGHT
N.T.S.

SCHEDULE C

This forms part of application
DP17-0154 & DVP17-0157

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING

kasian

**Kasian Architecture
Interior Design
and Planning Ltd**

1011 North Avenue SE, Suite 400
Calgary, AB Canada T2S 9K7
T 403.263.2440 F 403.233.0013
www.kasian.ca

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2017.07.31	DEVELOPMENT PERMIT AMENDMENT	AD	
2	2017.08.28	ISSUED FOR DEVELOPMENT PERMIT	AD	
REV	17.07.28.00	REVISION: DRAWING ISSUE	REVIEW	

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Landscape Architecture
1011 North Avenue SE, Suite 400
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T 403.263.2440 F 403.233.0013
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PROJECT
ONE WATER STREET
1187 Sunset drive
Kelowna, BC

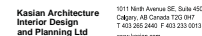
DRAWING TITLE
DETAILS

DRAWING ISSUE

DEVELOPMENT PERMIT
PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	DATE	AD
DP2017-15	July 28, 2017		
SCALE	AS SHOWN	REVIEWED	SH

DRAWING NO.
LD-05



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Calgary, AB Canada T2G 0H7
T 403 265 2440 F 403 233 0013
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Parks & Recreation + Civil Engineering
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Suite 1, 20177 50th Avenue
Langley, British Columbia
V1M 4B9

P 604.882.0024
F 604.882.0042
info@www.vdz.ca

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PROJECT ONE WATER STREET

1187 Sunset drive
Kelowna, BC

DRAWING TITLE

PLANTING DETAILS

DRAWING ISSUE

DEVELOPMENT
PERMIT

PRELIMINARY, NOT FOR CONSTRUCTION

PROJECT NO. DP2017-15	PLOT DATE July 28, 2017	DRAWN A
	SCALE AS SHOWN	REVIEWED S



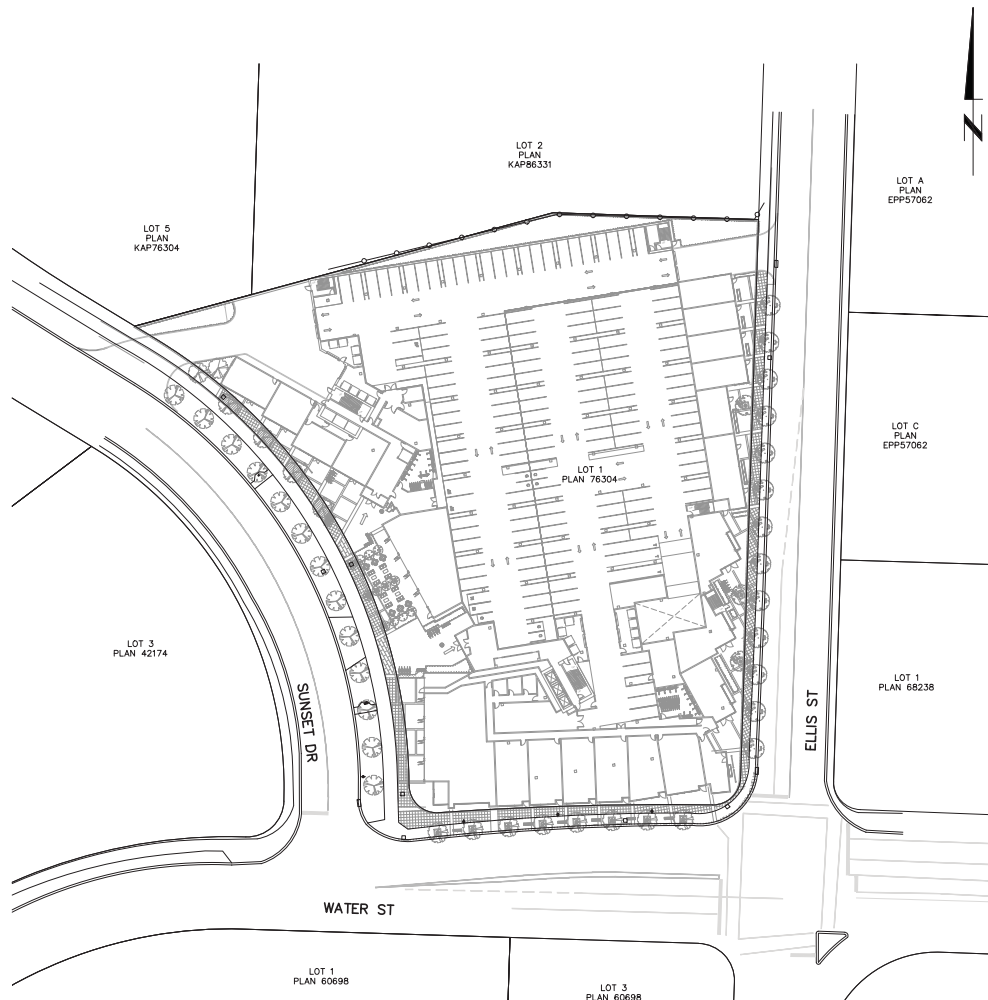
SCHEDULE C

This forms part of application
DP17-0154 & DVP17-0157

Planner
Initials

AC

City of Kelowna
COMMUNITY PLANNING



Kasian Architecture
Interior Design
and Planning Ltd

1111 North Avenue SE, Suite 202
Calgary, AB Canada T2G 9H7
T 403 268 2868 F 403 233 9015
www.kasian.com

DATE		BY	
2017-08-29	FOR DEVELOPMENT PERMIT	BY	
REVIEW	REVISION / DRAWING ISSUE	REVIEW	

PHONE: 250-879-1221

PERMIT STAMP

2017-08-29

SEAL

2017-08-29

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PROJECT

ONE WATER STREET

1187 SUNSET DRIVE

DRAWING TITLE

LOCATION PLAN

DRAWING ISSUE

DEVELOPMENT PERMIT

NOT FOR CONSTRUCTION

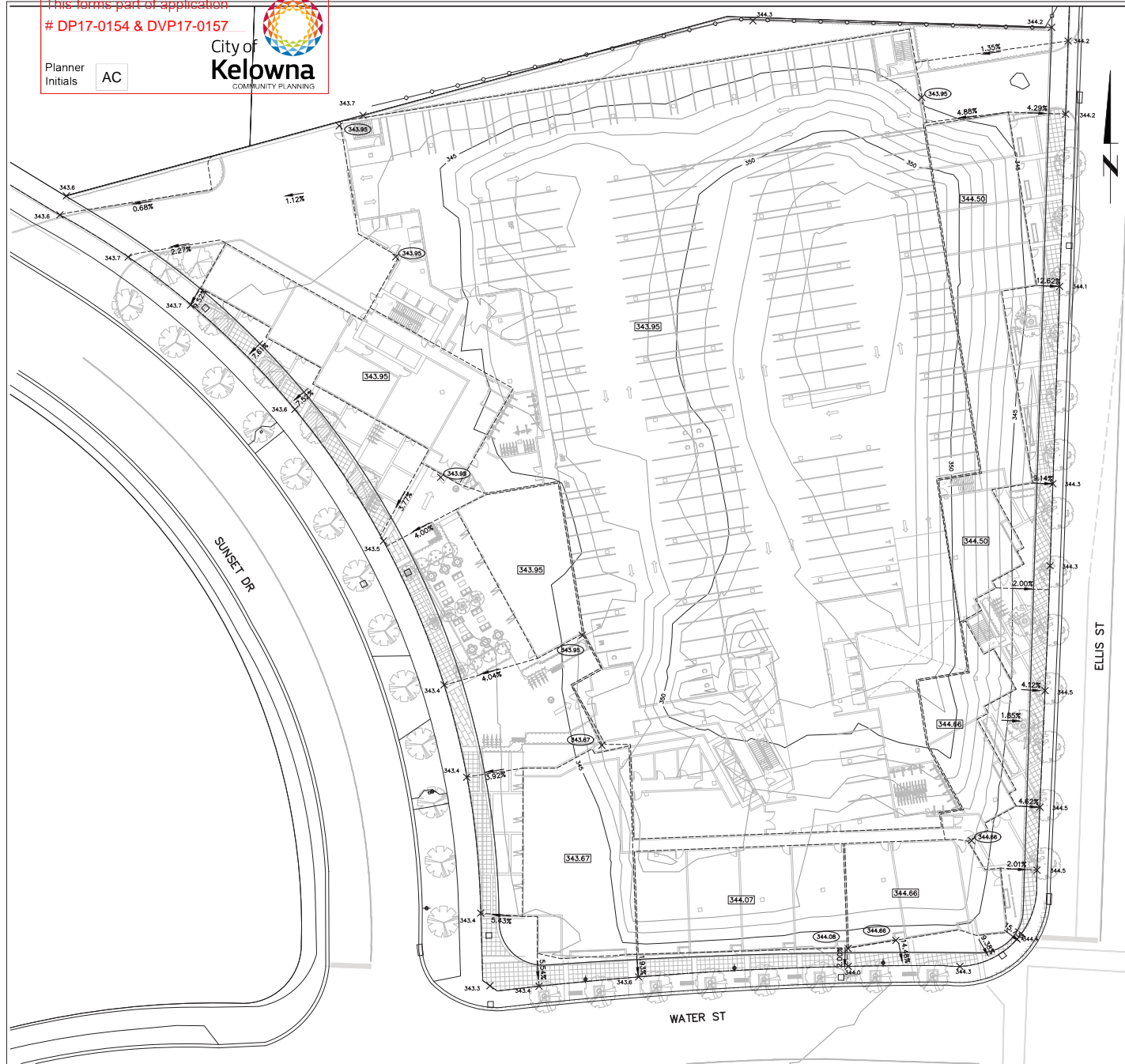
PROJECT NO.	PLOT DATE	DRAWN	JR
16070	JUNE 2107		
SCALE	1:500	REVIEWED	ST
DRAWING NO.	C-01	REVISION	0

C

Planner Initials AC



City of Kelowna
COMMUNITY PLANNING



1. ORIGINAL GROUND CONTOURS SHOWN AT 1.0m INTERVALS BASED ON FIELD SURVEY PROVIDED BY ALLTERRA LANDSURVEYING LTD DATED OCTOBER 25, 2016;
2. GEOTECHNICAL REPORT TO BE PROVIDED TO CONFIRM ALL CUT/FILL SLOPES.
3. WALLS HIGHER THAN 1.2m TO BE DESIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER;
4. ALL WORKS TO MEET MMCD (PLATINUM EDITION) ENVIRONMENTAL PROTECTION SECTION 01 57 01 REQUIREMENTS, BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL--UPLAND WORKS BY CITY OF SELWEN AND LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT -- DFO + BCMOE.

1. ALL WORK IS TO BE UNDERTAKEN AND COMPLETED BY THE CONTRACTOR IN SUCH A MANNER AS TO PREVENT THE RELEASE OF SILT, SEDIMENT AND/OR OILY SUBSTANCES INTO THE SURFACES UNDER ANY STORM SEWER OR WATERCOURSE.
2. ALL EXISTING CATCH BASINS ON SITE TO HAVE FABRIC INSTALLED PRIOR TO ANY WORK STARTING.
3. TO PREVENT EROSION:
 - 3.1. TO PREVENT CONCENTRATED OVERLAND FLOWS FROM OCCURRING
 - 3.2. TO STOP STROPPLES, EXPOSED EARTH AND DISTURBED AREAS WITH TARP OR ANY DISAPPROVED PRODUCT.
 - 3.3. TO PROVIDE CLEARINGS AS MUCH AS POSSIBLE TO AREAS TO BE IMMEDIATELY WORKED.
4. PREVENT WIND BLOWN EROSION BY WATERING, COVERING EXPOSED EARTH OR BY OTHER APPROVED MEASURES.
5. EROSION & SEDIMENT MANAGEMENT WORKS SHALL BE INSTALLED PRIOR TO ANY WORK IN THE AREA FOR WHICH THE EROSION & SEDIMENT MANAGEMENT WORKS ARE REQUIRED INCLUDING REMOVALS, CLEARING AND EARTHWORKS.
6. ALL EROSION & SEDIMENT MANAGEMENT WORKS TO BE MAINTAINED BY THE CONTRACTOR AT ALL TIMES TO ENSURE THE EFFECTIVE REPLACEMENT OF SILT FENCES AND FILTER CLOTHS (CATCH BASINS), THE FLUSHING OF SEDIMENT AND CLEANING OF SUMPS ARE REQUIRED DURING THE COURSE OF CONSTRUCTION.
7. REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT FROM SEDIMENT MANAGEMENT FACILITIES BEFORE REACHING ONE THIRD OF THE HEIGHT OF THE FACILITY.
8. MONITOR EROSION AND SEDIMENT MANAGEMENT WORKS DAILY AND AFTER HEAVY RAINFALL OR OTHER WEATHER EVENTS. REPAIRS ARE COMPLETED AT END OF WORK WEEK OR HOLIDAYS.
9. PRIOR TO CONSTRUCTION ACTIVITIES, CONTRACTOR TO INSPECT ALL CATCH BASINS TO ENSURE THEY ARE SECURE AND FREE OF DEBRIS TO PREVENT SEDIMENT FROM ENTERING ANY STORM SYSTEM.
10. DURING CONSTRUCTION THE CONTRACTOR IS TO MAINTAIN CLEAN ACCESS TO ALL REQUIRED AREAS AND AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR MAY NEED TO EMPLOY ADAPTED MEASURES TO PREVENT EROSION, SEDIMENT AND/OR ADJUST THE INSTALLED EROSION AND SEDIMENT MANAGEMENT WORKS TO SUIT THE REQUIREMENTS OF THE LADEN WATER AS SITE CONDITIONS CHANGE.
11. ALL EROSION AND SEDIMENT MANAGEMENT WORKS ARE TO REMAIN IN PLACE UNTIL ALL BUILDING ACTIVITIES ARE 97% COMPLETE AND INFILTRATION HAS DEVELOPED ON EXPOSED AND DISTURBED AREAS WHICH CONTRIBUTE FLOWS TO EROSION AND SEDIMENT MANAGEMENT

X 604.5 EXISTING ELEVATIONS
 X 603.4 DESIGN ELEVATIONS
 510.6 MFE - MINIMUM FLOOR ELEVATION
 --- GRADE BREAKS

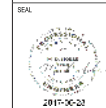


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Calgary, AB Canada T2G 0H7
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PROJECT ONE WATER STREET

1187 SUNSET DRIVE

DRAWING TITLE

SITE GRADING PLAN

DRAWING ISSUE

DEVELOPMENT
PERMIT

NOT FOR CONSTRUCTION

PROJECT NO.	PLOT DATE	DRAWN
16070	JUNE 2107	JR
	SCALE	REVIEWED
	1:250	ST

DRAWING NO.	C-03	REVISION	0
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Date prepared: 27-Jul-17
Attention: Sydney Madi
Firm Name: Kasian Architecture
Address/Fax: 1011 Ninth Avenue SE, Suite 450
Calgary AB T2G 0H7

VDZ File Number: DP2017-15
DP Application Number:
Project Name: One Water Street
Prepared by: AD
Checked by: MVDZ

Re: Cost Estimate for Bonding

Dear Sydney,

Please find attached a cost estimate for bonding for the One Water Street development permit application. Key Components of this estimate include:

HARDSCAPE	\$417,885.00
SOFTSCAPE	\$185,263.50
WALLS AND FENCES	\$71,920.00
FURNISHINGS	\$41,600.00
MAJOR AMENITIES	\$15,500.00

OVERALL TOTAL: \$732,168.50

This estimate is for bonding only. This estimate has been prepared for Landscape works only, and does not include civil works, architectural elements, large-scale earthworks and fill, electrical or mechanical works etc. The cost estimate is not to be used for construction cost budgeting purposes or any other use other than for bonding at the development permit stage.

Signature: _____

Date: 31-Jul-17



Seal: _____



COST ESTIMATE FOR BONDING

Category	Description	Quantity	Unit	Unit Cost	Price
HARDSCAPE					
Scored Concrete	Installed to MMCD Standards	549	m2	\$95.00	\$52,155.00
Coloured Concrete	Installed to MMCD Standards	193	m2	\$105.00	\$20,265.00
Hydrapressed Slabs	Installed to MMCD Standards	953	m2	\$105.00	\$100,065.00
Unit pavers	Installed to MMCD Standards	770	m2	\$105.00	\$80,850.00
Asphalt	Installed to MMCD Standards	200	m2	\$75.00	\$15,000.00
Gravel surfaces	Installed to MMCD Standards	60	m2	\$65.00	\$3,900.00
Natural Stone surfaces	Installed to MMCD Standards	191	m2	\$150.00	\$28,650.00
Resysta Deck	Installed to MMCD Standards	780	m2	\$150.00	\$117,000.00
Subtotal					\$417,885.00
SOFTSCAPE					
Sod	As per specifications	1493	m²	\$3.50	\$5,225.50
Seed	Hydroseeding / drill		m²	\$1.50	\$0.00
Soil	Imported- (Depth as Specified)	937	cubic met	\$18.00	\$16,866.00
Structural soil	Update Depth as Required	242	cubic met	\$73.00	\$17,666.00
Mulching (including bioswale)	100mm Depth	131	cubic met	\$22.00	\$2,882.00
Deciduous trees	Installed to BCLNA Standards	89	Each	\$160.00	\$14,240.00
Coniferous trees	Installed to BCLNA Standards	56	Each	\$85.00	\$4,760.00
Tree Stakes	Installed to BCLNA Standards	290	Each	\$8.00	\$2,320.00
Root Barrier	Required as per standard notes and details	330	Lm	\$24.00	\$7,920.00
Silva Cells			Each		\$0.00
Shrubs/groundcovers/grasse	General price	6296	Each	\$11.00	\$69,256.00
Installation	Assumed 50% cost to total price of softscape materials				\$44,128.00
Subtotal					\$185,263.50
WALLS AND FENCES					
Fences	Chainlink	60	Lm	\$70.00	\$4,200.00
	Standard Cedar - 6' Height	137	Lm	\$90.00	\$12,330.00
	Custom Fencing - 4' Height	194	Lm	\$185.00	\$35,890.00
	Custom Fencing - 3' Height	75	Lm	\$150.00	\$11,250.00
Walls	Retaining Wall Systems	33	Face m2	\$250.00	\$8,250.00
Subtotal					\$71,920.00
FURNISHINGS					
Benches		12	LS	\$850.00	\$10,200.00
Receptacles		9	LS	\$650.00	\$5,850.00
Bike Rack		9	LS	\$450.00	\$4,050.00
Planter Box		7	LS	\$1,250.00	\$8,750.00
Tree Grate		17	LS	\$750.00	\$12,750.00
Subtotal					\$41,600.00
MAJOR AMENITIES					
Waterless Waterfeature		1	LS	\$5,000.00	\$5,000.00
Fire pit		3	LS	\$3,500.00	\$10,500.00
			LS		\$0.00
			LS		\$0.00
Subtotal					\$15,500.00
Overall Total:					\$732,168.50

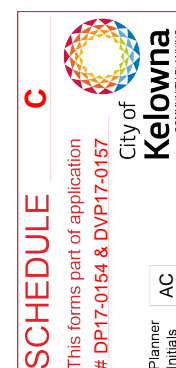
LANDSCAPE ARCHITECTURE

URBAN DESIGN

PARKS AND RECREATION

CIVIL ENGINEERING

T:604.882.0024
F:604.882.0042



www.vdz.ca

REPORT TO COUNCIL



Date: August 29, 2017

RIM No. 0940-60

To: City Manager

From: Community Planning Department (EW)

Application: HAP17-0009

Owners: Nicholas James Broadfoot
Balfour & Patricia Marion
Balfour

Address: 2126 Long St

Applicant: Urban Options Planning &
Permits

Subject: Heritage Alteration Permit

Existing OCP Designation: S2RES- Single/Two Unit Residential

Existing Zone: RU6 – Two Dwelling Housing

1.0 Recommendation

THAT Council authorizes the issuance of Heritage Alteration Permit No. HAP17-0009 for Strata Lot 2 District Lot 14 ODYD Strata Plan EPS1754 Together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as Shown on Form V, located at 2126 Long St, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";

AND THAT a variance to the following section of Zoning Bylaw No. 8000 be granted as shown on Schedule "A":

Section 13.6.6 (h): RU6 – Two Dwelling Housing Development Regulations

To vary the required minimum rear yard from 7.5 m permitted to 2.1 m proposed.

AND FURTHER THAT this Heritage Alteration Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider the form and character of an attached garage addition and to vary the rear yard setback from 7.5m required to 2.1m proposed on the subject property.

3.0 Community Planning

Community Planning Staff support the proposed heritage alteration permit and associated rear yard setback variance for an attached garage addition. The proposal provides additional off-street parking/storage alleviating street parking issues in the neighbourhood. The proposal is not anticipated to have a negative impact on the streetscape and the addition will be in the same colours and materials as the existing building. While the proposal triggers a rear yard setback variance, because the subject property is a corner lot, when viewed from Long St the rear yard also acts as a side yard from the neighbouring property to the north. The proposed setback of 2.1m maintains the minimum side yard setback for a single storey portion of a building in the RU6 zone and will blend into the neighbourhood's established setbacks.

To fulfill the requirements of Council Policy No. 367, the applicant submitted a neighbour consultation summary form on July 5, 2017 outlining that neighbours within 50 m of the subject property were notified.

4.0 Proposal

4.1 Background

The subject parcel was rezoned to the RU6 zone in 2012 and has two single detached houses on the property, which were stratified in 2013. Owner's authorization from both owners of the units has been obtained for this application. Pending approval of this heritage alteration permit, the owners would be responsible for amending the strata plan.

4.2 Project Description

The applicant is proposing the construction of an attached garage on the north side of the north home to provide additional storage. When the two single detached houses were constructed one single car garage was provided per unit with the other required parking spaces provided on the driveways. The owners of the north unit would like to increase storage and provide additional parking off of their driveway.

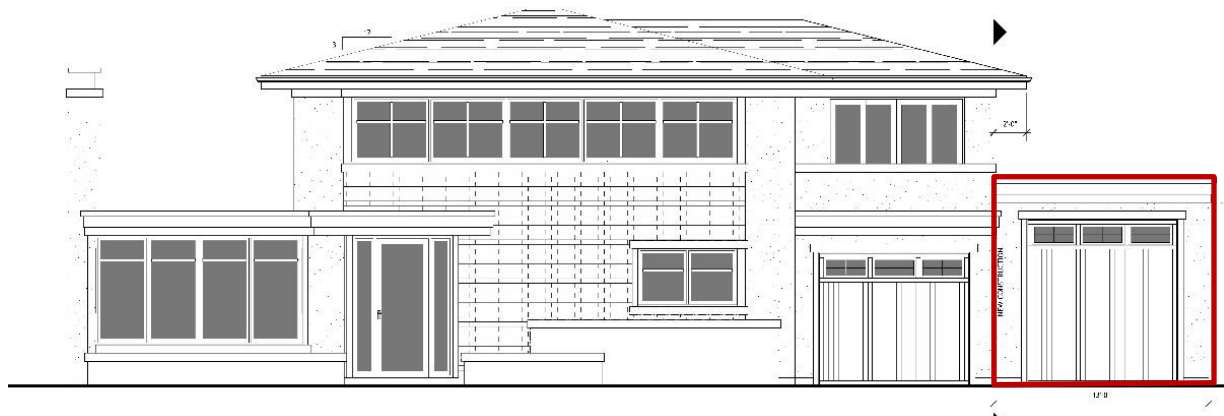


Figure 1. Elevation of existing dwelling with proposed garage addition outlined in red.

The proposal triggers one variance to the rear yard setback. As per the Zoning Bylaw interpretation the rear lot line is most opposite/distant from the front lot line; the front lot line in this case is the frontage facing Glenwood Ave.

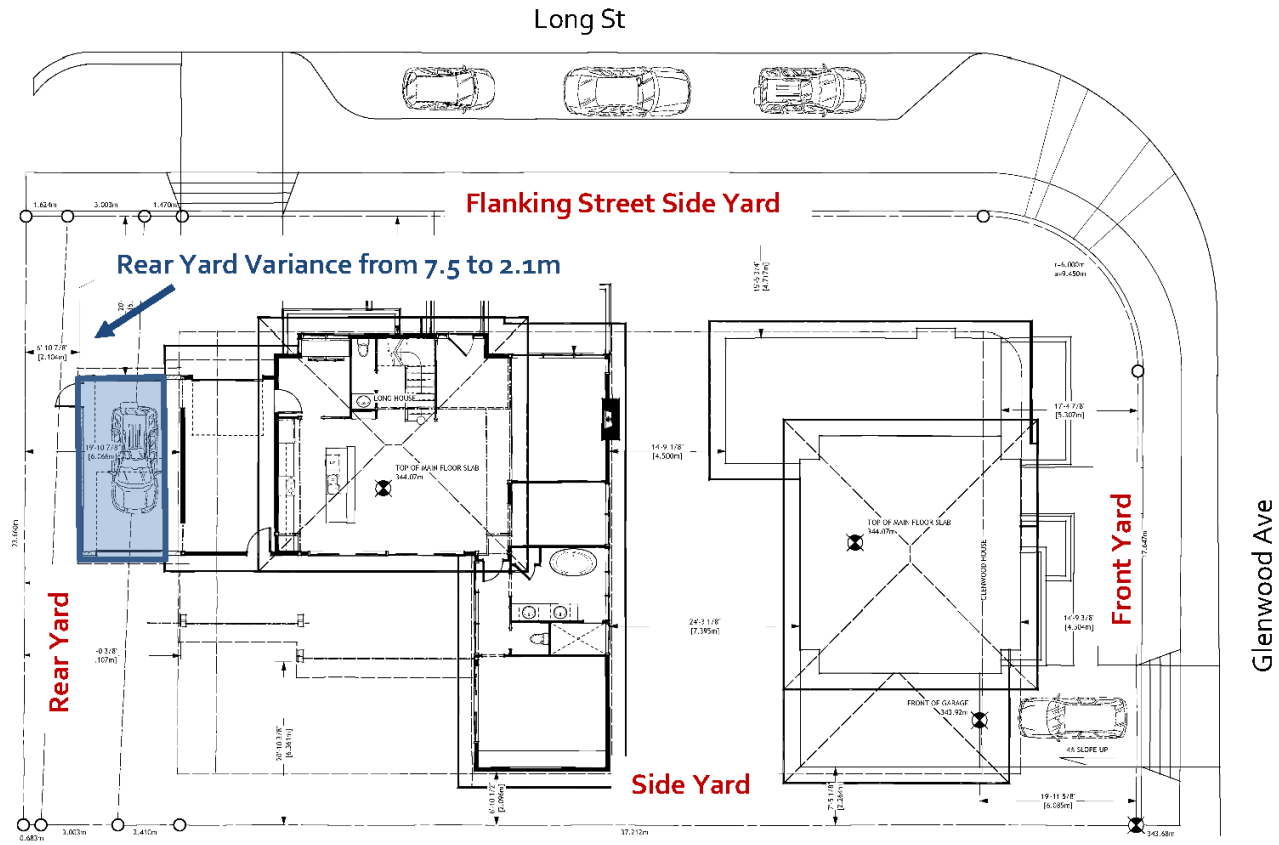


Figure 2. Site plan with labelled yards. The garage addition is indicated by the blue box and the associated rear yard variance is indicated by the blue text and arrow.

The dominant block style from the Abbott/Marshall St Heritage Conservation Area Map is Late Arts & Crafts. The existing single detached dwellings were inspired by the Arts and Crafts movement, specifically Frank Lloyd Wright's 'prairie house' phase. The proposed addition will be in the same colours and materials as the existing building.



Photo 1 (left). Photo of existing dwelling. Photo 2 (right). Photo of proposed location of garage addition.

4.3 Site Context

The subject property is located at the corner of Long St and Glenwood Ave within the Abbott St Heritage Conservation Area. The property is 1017 m² and is located in a primarily single family neighbourhood.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1c – Large Lot Housing with Carriage House	Residential
East	RU1 – Large Lot Housing	Residential
South	RU1 – Large Lot Housing	Residential
West	RU1 – Large Lot Housing	Residential

Subject Property Map: 2126 Long St



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU6 ZONE REQUIREMENTS	PROPOSAL
Existing Lot Regulations		
Lot Area	800m ²	1017m ²
Lot Width	20.0m	23.7m
Lot Depth	30.0m	43.3m
Development Regulations for Garage Addition		
Site Coverage of Buildings	40%	38.7%

Site Coverage of Buildings, Driveways, and Parking	50%	45.3%
Building Height	9.5m/ 2 ½ storeys	6.3m
Front Yard (Glenwood Ave)	4.5m	4.5m
Side Yard (east – Long St)	6.0m (garage setback)	6.2m
Side Yard (west)	2.0m	2.1m
Rear Yard	7.5m	2.13m ❶
Other Regulations		
Private Open Space	30m ²	97-112 m ²
Minimum Parking Requirements	4	4
❶ Indicates a requested variance to the rear yard setback from 7.5m required to 2.13m proposed.		

5.0 Technical Comments

5.1 Building & Permitting Department

- Full Plan check for Building Code related issues will be done at time of Building Permit applications.

5.2 Development Engineering Department

- See Attachment 'B' – memorandum dated June 14, 2017.
- **Staff Note:** The applicant is working with FortisBC to release the Statutory Right of Way which runs along the north property line. FortisBC has provided written confirmation that the applicant can build within the Statutory Right of Way while the paperwork for the release is being finalized.

6.0 Application Chronology

Date of Application Received: May 16, 2017

Date Public Consultation Completed: July 5, 2017

Heritage Advisory Committee (HAC)

As per the terms of reference for the HAC's Terms of Reference, applications that propose an addition less than 30m² visible from a street will not be forwarded to the HAC for consideration. As the new proposed garage addition is 25.5m² the application was not considered by the HAC.

Report prepared by:

Emily Williamson, Planner

Approved for Inclusion:

Ryan Smith, Community Planning Department Manager

Attachments:

Attachment 'A' – Applicant's Proposal Letter

Attachment 'B' – Development Engineering Memorandum dated June 14, 2017

Draft HAP17-0009



Nick and Patty Balfour
2126 Long Avenue
Kelowna, BC
V1Y 0C6

May 15, 2017

City of Kelowna
Urban Planning Department
1435 Water Street
Kelowna, BC

RE: Development Variance Permit at 2126 Long Avenue
Zone: RU6– Two Dwelling Housing

Dear Planning Staff:



We are seeking to relax the rear yard setback from 6.0m required to 2.1m to allow the construction of an attached garage. To proceed a Heritage Alteration Permit with a Development Variance is being triggered. When the original dwellings were constructed in 2013, only one garage was provided per unit. The new owners at 2126 Long Avenue need additional storage space for their sports equipment and motorhome.

There are several factors that make the attached garage a possibility. Currently there is a Fortis service right of way (SRW) along the north property line which contain the power services for 377 Cadder Avenue. This property was recently sold, will be redeveloped and the power lines are being relocated off Cadder Avenue. The owner at 2126 Long has made application in March 2017 to dismiss the SRW, which should be complete by June 2017. We are making this City application now so that it may run concurrent with the Fortis application. Please note that an owner's authorization from both dwelling owners has been submitted.

The proposed garage will attach to the north side of the north home. The plan is to seamlessly incorporate the new portion into the existing buildings, therefore, it will be finished in the same colours and materials. The defining difference is that the garage door will have an opening glass door into the yard space. This will allow for access to the yard. The owners are planning to upgrade the yard space to make it more suitable for outdoor living.

We believe that the variance has merit given that there are some parking difficulties in the neighbourhood and by adding a garage we are taking vehicles off the street and out of the driveway. Further, the owners are water sport enthusiasts and own several small human /wind

propelled watercraft. The additional garage provides them with a safe place to store their equipment and easy access to cart it to the lake. Given the garage design, the availability of the SRW, and the parking challenges in the area, we ask that you please support this variance.

Regards,



N. and P. Balfour

CITY OF KELOWNA

MEMORANDUM

Date: June 14, 2017
File No.: HAP17-0009

To: Community Planning (EW)

From: Development Engineering Manager (SM)

Subject: 384 Glenwood Ave & 2126 Long Street

ATTACHMENT		B
This forms part of application		
# HAP17-0009		
Planner Initials	EW	 City of Kelowna <small>COMMUNITY PLANNING</small>

Development Engineering has the following comments and requirements associated with this Heritage application;

1. Domestic Water and Fire Protection

Our records indicate this property is currently serviced with two 19mm-diameter water services. The services are adequate for the proposed application.

2. Sanitary Sewer

Our records indicate that this property is serviced with a 100mm-diameter sanitary sewer service complete with inspection chamber. The service is adequate for the proposed application.

3. Development Permit and Site Related Issues

- a) The development variance for the rear yard setback from 7.5m to 2.13m does compromise an existing SROW that is in the City of Kelowna's name. This SROW is understood to be an old electrical SROW that was given to FORTIS when the City electrical was taken over by FORTIS. Confirmation is needed from FORTIS to be released to the property owner.
- b) Direct the roof drains into on-site rock pits.
- c) Driveway access width should be a maximum of 6m.

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.



Steve Muenz, P. Eng.
Development Engineering Manager

JA

HERITAGE ALTERATION PERMIT



APPROVED ISSUANCE OF HERITAGE ALTERATION PERMIT NO. HAP17-0009

Issued To:	Nicholas James Broadfoot Balfour & Patricia Marion Balfour
Site Address:	2126 Long St
Legal Description:	Strata Lot 2 District Lot 14 ODYD Strata Plan EPS1754 Together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as Shown on Form V
Zoning Classification:	RU6 – Two Dwelling Housing

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Council authorizes the issuance of Heritage Alteration Permit No. HAP17-0009 for Strata Lot 2 District Lot 14 ODYD Strata Plan EPS1754 Together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as Shown on Form V, located at 2126 Long St, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";

AND THAT a variance to the following section of Zoning Bylaw No. 8000 be granted as shown on Schedule "A":

Section 13.6.6 (h): RU6 – Two Dwelling Housing Development Regulations

To vary the required minimum rear yard from 7.5 m permitted to 2.1 m proposed.

AND FURTHER THAT this Heritage Alteration Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

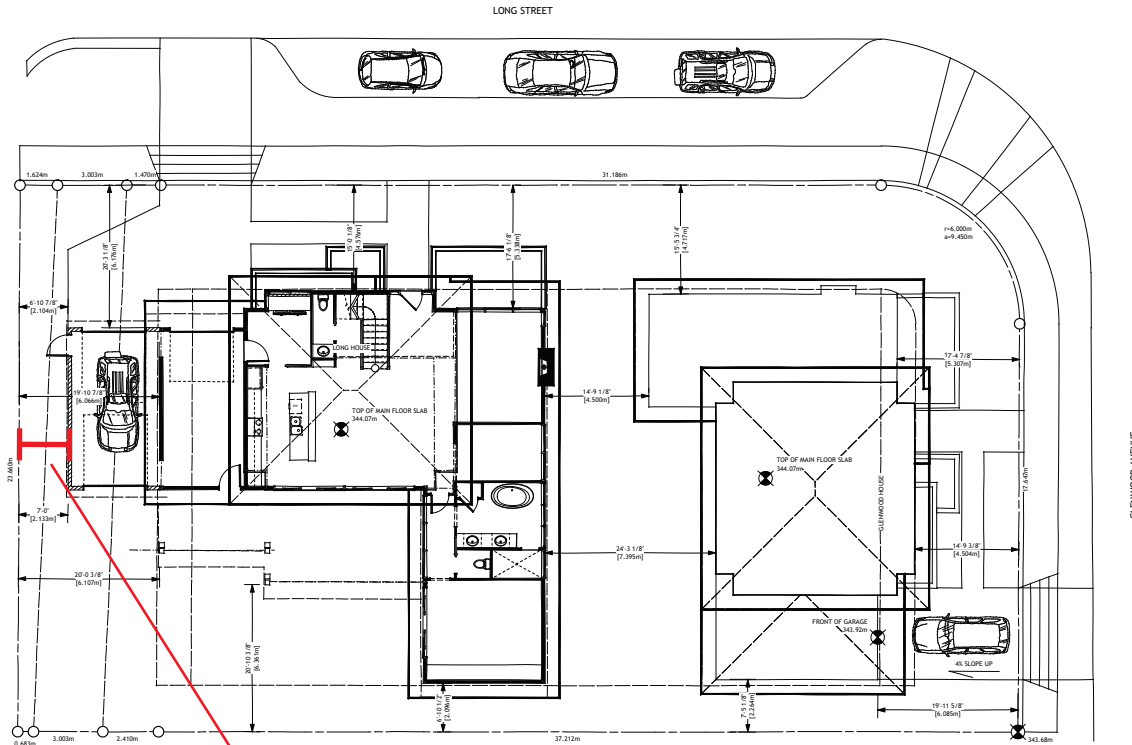
Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

The PERMIT HOLDER is the CURRENT LAND OWNER.

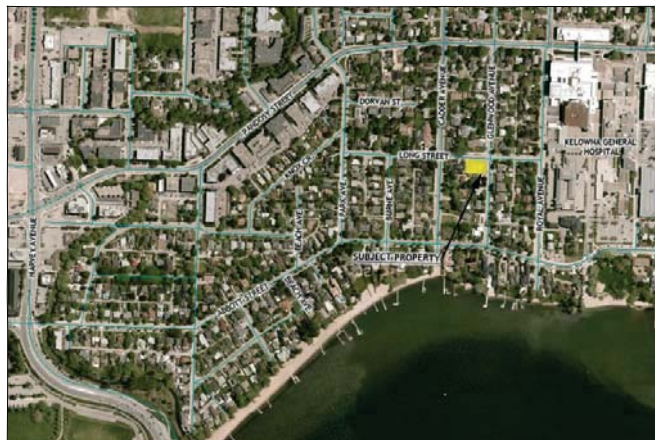
PROJECT DATA: CIVIC ADDRESS 384 GLENWOOD AVENUE
 LEGAL ADDRESS KELOWNA, BC V1Y 5L8
 CURRENT ZONING LOT A PLAN 3305 DDVD
 PROPOSED ZONING RUK TWO DWELLING HOUSING

	PERMITTED	PROPOSED
LOT WIDTH	20.00m	23.660m
LOT DEPTH	30.00m	43.308m
SITE AREA	600.00m ²	1017.13m ²
PROPOSED LONG ST. FOOTPRINT AT GRADE		178.20m ²
PROPOSED GLENWOOD AVE. FOOTPRINT AT GRADE		148.20m ²
PROPOSED LONG ST. DRIVEWAY AND WALK		46.20m ²
PROPOSED GLENWOOD AVE. DRIVEWAY AND WALK		39.60m ²
PROPOSED PATIOS (TWO PATIOS)		48.72m ²
SITE COVERAGE	40.0%	22.1%
SITE COVERAGE W/ DRIVEWAY	50.0%	65.2%
BUILDING HEIGHT	9.5m	6.310m
ROOF PEAK HEIGHT		6.925m
FRONT (SOUTH) YARD SETBACK	4.500m	4.504m
REAR (NORTH) YARD SETBACK	6.000m	6.066m
SIDE (EAST) YARD SETBACK (MAIN FLOOR)	4.500m	4.717m
SIDE (WEST) YARD SETBACK (MAIN FLOOR)	2.000m	2.096m
DISTANCE BETWEEN BUILDINGS	4.500m	4.500m
PRIVATE OPEN SPACE LONG STREET	30.00m ²	97.79m ²
PRIVATE OPEN SPACE GLENWOOD AVENUE	30.00m ²	112.23m ²
PARKING STALLS	4	4



1 SITE PLAN
 Scale: 1:100

Requested rear yard setback variance from 7.5m to 2.1m.

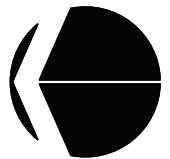


2 KEY PLAN



IHS DESIGN
 644 ARROWLEAF LANE
 KELOWNA, BC
 V1W 4Y5

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PROJECT NORTH

REVISION	DATE	DISCUSSION
A	2/25/13	ISSUED FOR PRICING
B	4/4/13	ISSUED FOR BUILDING PERMIT
C	5/7/17	ISSUED FOR DWP

PROJECT
 STRATA DEVELOPMENT
 2126 LONG AVENUE
 KELOWNA, BC V1Y 5L8
 LOT A PLAN 3305

DRAWING TITLE
 SITE PLAN

DATE
 FEBRUARY 12, 2013

DRAWING NUMBER
 1
 of
 4

SCHEDULE A

This forms part of application
 # HAP17-0009

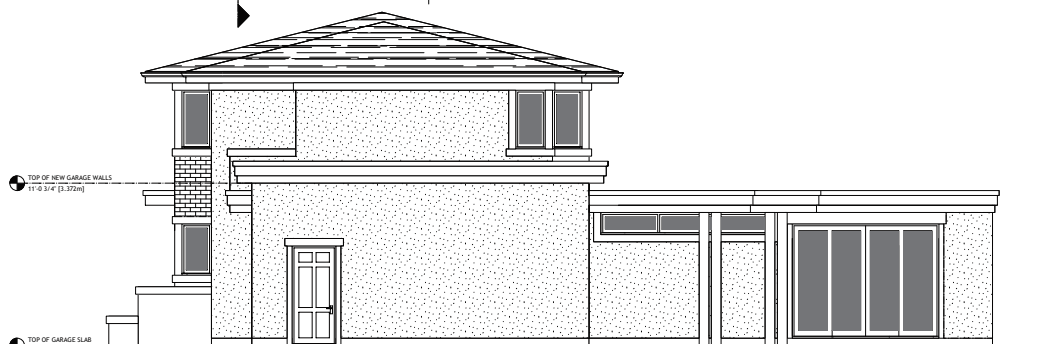
Planner
 Initials
 EW



City of
Kelowna
 COMMUNITY PLANNING



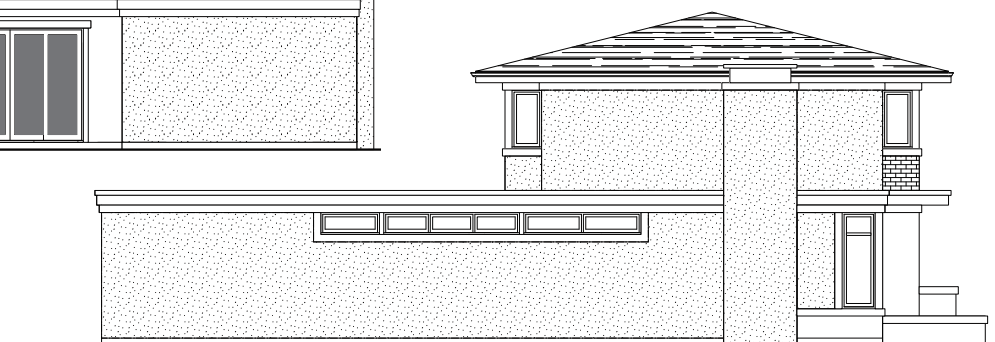
1 EAST ELEVATION (LONG AVE.)
Scale: 1/4" = 1'-0"



2 NORTH ELEVATION
Scale: 1/4" = 1'-0"



3 WEST ELEVATION
Scale: 1/4" = 1'-0"

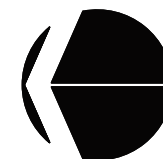


4 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



IHS DESIGN
644 ARROWLEAF LANE
KELOWNA, BC
V1W 4Y5

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PROJECT NORTH

REVISION	DATE	DISCUSSION
A	22/13	ISSUED FOR PRICING
B	4/4/13	ISSUED FOR BUILDING PERMIT
C	5/17/17	ISSUED FOR DWP

PROJECT
STRATA DEVELOPMENT
2126 LONG AVENUE
KELOWNA, BC V1Y 5L8
LOT A PLAN 3305

DRAWING TITLE
ELEVATIONS

DATE
MARCH 18, 2017

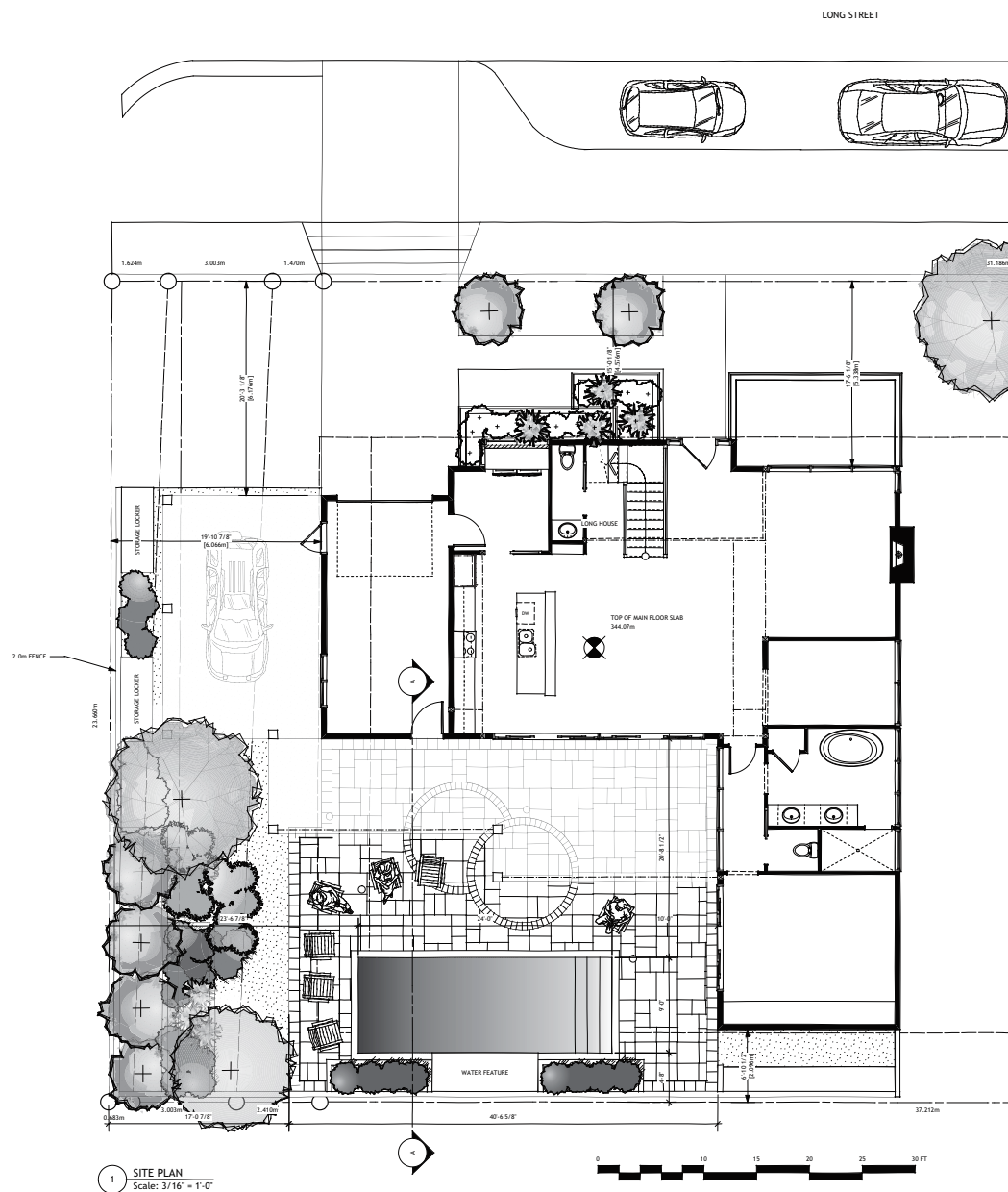
DRAWING NUMBER
2
of
4

SCHEDULE B

This forms part of application
HAP17-0009

Planner Initials **EW**

City of Kelowna
COMMUNITY PLANNING



LONG STREET



IHS DESIGN
644 ARROWLEAF LANE
KELOWNA, BC
V1W 4Y5

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PROJECT NORTH

REVISION	DATE	DESCRIPTION

PROJECT
STRATA DEVELOPMENT 2126 LONG AVENUE KELOWNA, BC V1Y 5L8 LOT A PLAN 3305

DRAWING TITLE
REAR YARD DEVELOPMENT

DATE
MAY 20, 2016

DRAWING NUMBER
2 — of — 2

SCHEDULE B

This forms part of application
HAP17-0009

Planner Initials EW

City of Kelowna
COMMUNITY PLANNING