

# City of Kelowna

## Regular Council Meeting

### AGENDA



Monday, May 29, 2017  
1:30 pm  
Council Chamber  
City Hall, 1435 Water Street

#### Pages

#### 1. Call to Order

This meeting is open to the public and all representations to Council form part of the public record. A live audio and video feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

#### 2. Confirmation of Minutes

6 - 13

PM Meeting - May 15, 2017

#### 3. Public in Attendance

##### 3.1 RCMP Quarterly Update – Quarterly Update Review, 2016

14 - 49

To provide Council with an update on the activities of the RCMP for the previous quarter and report on progress toward goals and outcomes in the 2016-2019 Crime Reduction Strategy.

##### 3.2 Okanagan Artists Alternative Association (Alternator Centre for Contemporary Art)

50 - 75

Annual presentation to Council by Lorna McParland, Artistic and Administrative Director.

#### 4. Development Application Reports & Related Bylaws

##### 4.1 1360 Belaire Ave, Z17-0023 - Gurpreet Pannu

76 - 114

**Mayor to invite the Applicant, or Applicant's Representative, to come forward.**

To consider a Staff recommendation to NOT rezone the subject property from RU6 – Two Dwelling Housing to the RM5 – Medium Density Multiple Housing Zone.

##### 4.2 2446 Harvard Rd, Z17-0011 - Wayne and Denise Henney

115 - 130

**Mayor to invite the Applicant, or Applicant's Representative, to come forward.**

To consider a Staff recommendation to NOT rezone the subject property that would facilitate the conversion of an existing accessory building into a carriage house.

<b>4.3</b>	<b>434 Sarsons Rd, Z17-0020 - James Northrop</b>	<b>131 - 149</b>
	To rezone the subject property from the RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing zone to facilitate a two lot subdivision.	
<b>4.4</b>	<b>434 Sarsons Rd, (BL11410) Z17-0020 - James Northrop</b>	<b>150 - 150</b>
	To give Bylaw No. 11410 first reading in order to rezone the subject property from the RU1 - Large Lot Housing zone to the RU2 - Medium Lot Housing zone.	
<b>4.5</b>	<b>861 Rose Ave, Z17-0012 - Pillar West Developments Inc.</b>	<b>151 - 168</b>
	To rezone the subject property to RM1 – Four Dwelling Housing to facilitate the development of four dwelling units.	
<b>4.6</b>	<b>861 Rose Ave, (BL11411) Z17-0012 - Pillar West Developments Inc.</b>	<b>169 - 169</b>
	To give Bylaw No. 11411 first reading in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RM1 – Four Dwelling Housing zone.	
<b>4.7</b>	<b>775 Rose Ave, Z17-0013 - Wes and Tammy Jones</b>	<b>170 - 187</b>
	To rezone the subject property to RM1 – Four Dwelling Housing to facilitate the development of four dwelling units.	
<b>4.8</b>	<b>775 Rose Ave, (BL11412) Z17-0013 - Wes and Tammy Jones</b>	<b>188 - 188</b>
	To give Bylaw No. 11412 first reading in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RM1 – Four Dwelling Housing zone.	
<b>4.9</b>	<b>185 Clifton Rd N, (E of) Upper Canyon Dr N and (W of) Union Rd - OCP17-0011 &amp; Z17-0028 - Glenwest Properties Ltd</b>	<b>189 - 202</b>
	To consider an Official Community Plan Amendment and Rezoning application to change the Future Land Use designation and rezone portions of the property to facilitate a residential subdivision with adjacent natural open space.	
<b>4.10</b>	<b>185 Clifton Rd N, (E of) Upper Canyon Dr N and (W of) Union Rd, (BL11414) OCP17-0011 - Glenwest Properties Ltd</b>	<b>203 - 205</b>
	<b>Requires a majority of all members of Council (5).</b>	
	To give Bylaw No. 11414 first reading in order to change the Future Land Use designation of portions of the subject properties as per Map "A".	
<b>4.11</b>	<b>185 Clifton Rd N, (E of) Upper Canyon Dr N and (W of) Union Rd, (BL11415) Z17-0028 - Glenwest Properties Ltd</b>	<b>206 - 208</b>
	To give Bylaw No. 11415 first reading in order to rezone portions of the subject properties as per Map "B".	



<b>4.12</b>	<b>815 Rose Ave - Z16-0022 - Paul Neufeld and Douglas Kirk</b>	<b>209 - 231</b>
	To rezone the subject property to RM1 – Four Dwelling Housing to facilitate the development of four dwelling units.	
<b>4.13</b>	<b>815 Rose Ave, (BL11416) Z16-0022 - Paul Neufeld and Douglas Kirk</b>	<b>232 - 232</b>
	To give Bylaw No. 11416 first reading in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RM1 - Four Dwelling housing zone.	
<b>4.14</b>	<b>614 Barnaby Rd, Z16-0070 - Brent Hancock and Whitney Smith</b>	<b>233 - 243</b>
	To rezone the subject property from the RR1 – Rural Residential 1 zone to the RR1c – Rural Residential 1 with Carriage House.	
<b>4.15</b>	<b>614 Barnaby Rd, (BL11417) Z16-0070 - Brent Hancock and Whitney Smith</b>	<b>244 - 244</b>
	To give Bylaw No. 11417 first reading in order to rezone the subject property from the RR1 - Rural Residential 1 zone to the RR1c - Rural Residential 1 with Carriage House zone.	
<b>4.16</b>	<b>1700 &amp; 1638 Tower Ranch Blvd, OCP16-0005 &amp; Z16-0078 - Emil Anderson Construction Inc. 0935343 BC Ltd</b>	<b>245 - 253</b>
	Official Community Plan amendment and rezoning application to amend the future land use designations and rezone portions of the subject property to facilitate a single and two unit residential subdivision with park space for 1700 Tower Ranch Boulevard, and make the future land use designation consistent with existing golf course use at 1638 Tower Ranch Boulevard.	
<b>4.17</b>	<b>1700 &amp; 1638 Tower Ranch Blvd, (BL11418) OCP16-0005 - Emil Anderson Construction Inc. 0935343 BC Ltd</b>	<b>254 - 255</b>
	<b>Requires a majority of all members of Council (5).</b> To give Bylaw No. 11418 first reading in order to change the Future Land Use designations of portions of the subject properties as per Map "A".	
<b>4.18</b>	<b>1700 &amp; 1638 Tower Ranch Blvd, (BL11419) Z16-0078 - Emil Anderson Construction Inc. 0935343 BC Ltd</b>	<b>256 - 258</b>
	To give Bylaw No. 11419 first reading in order to rezone portions of the subject properties.	
<b>4.19</b>	<b>671-681 Glenwood Ave, BL11303 (Z16-0037) - Shaun &amp; Lori Aussenhaus</b>	<b>259 - 259</b>
	To adopt Bylaw No. 11303 in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RM3 - Low Density Multiple Housing zone.	
<b>4.20</b>	<b>671 Glenwood Ave, DP16-0157 - Shaun &amp; Lori Aussenhaus</b>	<b>260 - 280</b>
	To consider the form and character to facilitate the development of multiple dwelling housing on the subject property.	

<b>4.21</b>	<b>1775 Chapman Pl, RTE16-0008, Revitalization Tax Agreement - CG Two-Mission Group Homes Ltd.</b>	<b>281 - 290</b>
	To enter into a Revitalization Tax Exemption Agreement with CG Two – Mission Group Homes Ltd. on the subject property.	
<b>5.</b>	<b>Bylaws for Adoption (Development Related)</b>	
<b>5.1</b>	<b>1225 Hwy 33 W, BL11380 (OCP16-0024) - Seventh Day Adventist Church</b>	<b>291 - 291</b>
	<b>Requires a majority of all members of Council (5)</b> To adopt Bylaw No. 11380 in order to change the Future Land Use Designation of the subject property to EDINST – Educational/Major Institutional Designation.	
<b>5.2</b>	<b>1225 Hwy 33 W, BL11381 (Z16-0071) - Seventh Day Adventist Church</b>	<b>292 - 292</b>
	To adopt Bylaw No. 11381 in order to rezone the property from RU1 – Large Lot Housing to P2 – Educational & Minor Institutional.	
<b>5.3</b>	<b>1920-1936 Summit Drive, TA17-0006 (BL11393) - Lindy Holdings Ltd</b>	<b>293 - 293</b>
	To adopt Bylaw No. 11393 in order to allow a limited amount of retail liquor sales in the CD3 zone.	
<b>6.</b>	<b>Non-Development Reports &amp; Related Bylaws</b>	
<b>6.1</b>	<b>Creative Spaces Update</b>	<b>294 - 346</b>
	To provide Council with an update regarding Creative Spaces consultations with the arts community.	
<b>6.2</b>	<b>2016 Climate Action Revenue Incentive Program Report</b>	<b>347 - 380</b>
	To report on the progress made in 2016 and the plans for 2017 to meet the City's climate action goals in order to fulfill the public reporting requirement for the provincial Climate Action Revenue Incentive Program grant. Further, the report also presents the latest corporate GHG emissions data and highlights GHG emissions reduction projects.	
<b>6.3</b>	<b>Healthy Housing Strategy</b>	<b>381 - 400</b>
	To inform Council on the purpose, milestones, timeline and engagement process for the Healthy Housing theme area of the Healthy City Strategy.	
<b>6.4</b>	<b>Strategic Priorities Fund - Priority Projects for Grant Applications</b>	<b>401 - 414</b>
	To receive Council's approval for grant application for the above noted projects for the Federal Gas Tax Fund – Strategic Priorities Fund.	

**7. Bylaws for Adoption (Non-Development Related)**

**7.1 Portion of Watt Rd, BL11370 - Road Closure Bylaw 415 - 416**

**Mayor to invite anyone in the public gallery who deems themselves affected by the proposed road closure to come forward.**

To adopt Bylaw No. 11370 in order to permanently close a portion of Watt Road.

**7.2 BL11409 - A Bylaw to Rename Clydesdale Rd to Academy Way 417 - 418**

To adopt Bylaw No. 11409 in order to rename Clydesdale Road to Academy Way.

**8. Mayor and Councillor Items**

**9. Termination**



## City of Kelowna

### Regular Council Meeting

### Minutes

Date: Monday, May 15, 2017  
 Location: Council Chamber  
 City Hall, 1435 Water Street

Council Members Present: Mayor Colin Basran\* and Councillors Maxine DeHart, Ryan Donn, Gail Given, Tracy Gray, Charlie Hodge, Brad Sieben, Mohini Singh\* and Luke Stack

Staff Present: City Manager, Ron Mattiussi; Deputy City Clerk, Karen Needham; Community Planning Department Manager, Ryan Smith\*; Urban Planning Manager, Terry Barton\*; Cultural Services Manager, Sandra Kochan\*; Planner, Emily Williamson\*; Planner Specialist, Adam Cseke\*; and FOI Legislative Coordinator, Sandi Horning

(\* denotes partial attendance)

#### 1. Call to Order

Mayor Basran called the meeting to order at 1:33 p.m.

Mayor Basran advised that the meeting is open to the public and all representations to Council form part of the public record. A live audio and video feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

## 2. Confirmation of Minutes

Moved By Councillor Hodge/Seconded By Councillor DeHart

R372/17/05/15 THAT the Minutes of the PM Meeting of May 8, 2017 be confirmed as circulated.

Carried

## 3. Public in Attendance

### 3.1 Okanagan Symphony

Rosemary Thomson, Music Director and Tracy Read, President, Okanagan Symphony:

- Displayed a PowerPoint Presentation summarizing Symphony Kelowna's annual activities and responded to questions from Council.

## 4. Development Application Reports & Related Bylaws

### 4.1 2800 Hwy 97 N, OCP16-0021 and Z16-0072 - 0802333 BC Ltd

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.
- Confirmed that a landscaping plan is required as part of a rezoning application.

Council:

- Expressed a concern with the Highway 97 buffering.
- Commented on a corridor wide study along the rail trail and the impacts with rezoning without a plan for the corridor in the future.

Moved By Councillor Hodge/Seconded By Councillor Given

R373/17/05/15 THAT Official Community Plan Bylaw Amendment Application No. OCP16-0021 to amend Map 4.1 in the Kelowna 2030 – Official Community Plan Bylaw No. 10500 by changing the Future Land Use designation of Lot 1 District Lots 124 and 143 ODYD Plan KAP83915 Except Plan KAP84828 and EPP57498, located at 2800 Hwy 97 N, Kelowna, BC from the REP – Resource Protection Area designation to the IND - Industrial designation as shown on Map “A” attached to the Report from the Community Planning Department dated May 15, 2017, be considered by Council;

AND THAT Rezoning Application No. Z16-0072 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of a portion of Lot 1 District Lots 124 and 143 ODYD Plan KAP83915 Except Plan KAP84828 and EPP57498, located at 2800 Hwy 97 N, Kelowna, BC from the A1 – Agriculture 1 zone to the I2 – General Industrial zone as shown on Map “B” attached to the Report from the Community Planning Department dated May 15, 2017, be considered by Council;

AND THAT the Official Community Plan Bylaw Amendment and Zoning Bylaw Amendment be forwarded to a Public Hearing for further consideration;

AND THAT Council considers the Public Information Session public process to be appropriate consultation for the *Purpose* of Section 879 of the *Local Government Act*, as outlined in the Report from the Community Planning Department dated May 15, 2017;

AND FURTHER THAT final adoption of the Official Community Plan Bylaw Amendment and Zoning Bylaw Amendment be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated May 10, 2017.

**Carried**

Councillor Donn – Opposed.

**4.2 2800 Hwy 97 N - BL11405 (OCP16-0021) - 0802333 BC Ltd**

**Moved By Councillor Sieben/Seconded By Councillor Singh**

**R374/17/05/15** THAT Bylaw No. 11405 be read a first time;

AND THAT the bylaw has been considered in conjunction with the City's Financial Plan and Waste Management Plan.

**Carried**

Councillor Donn – Opposed.

**4.3 2800 Hwy 97 N, BL11406 (Z16-0072) - 0802333 BC Ltd**

**Moved By Councillor Singh/Seconded By Councillor Sieben**

**R375/17/05/15** THAT Bylaw No. 11406 be read a first time.

**Carried**

Councillor Donn – Opposed.

**4.4 105-115 Hwy 33 W, Z16-0080 - Chi Quang Ly**

Staff:

- Noted a correction to the Development Engineering Department's Memo and confirmed that items (a) and (c) are no longer required.
- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.
- Advised of the difference between Class 1 & Class 2 bicycle parking. Class 1 is residential and Class 2 is commercial.
- Advised that a Covenant regarding off-site parking was not pursued as the developer intends to market to those with no vehicles.
- Confirmed that cash-in-lieu is being paid to the City and no parking variances are being requested.

**Moved By Councillor Sieben/Seconded By Councillor Hodge**

**R376/17/05/15** THAT Rezoning Application No. Z16-0080 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot A, Section 23, Township 26, ODYD, Plan 8678, located at 105-115 Hwy 33 W, Kelowna, BC from the C4 — Urban Center Commercial zone to the C3 — Community Commercial zone be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval a set out in Schedule "A" attached to the Report from the Community Planning Department dated March 27, 2017;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject property.

**Carried**

**4.5 105-115 Hwy 33 W, BL11407 (Z16-0080) - Chi Quang Ly**

**Moved By Councillor DeHart/Seconded By Councillor Stack**

**R377/17/05/15** THAT Bylaw No. 11407 be read a first time.

**Carried**

**4.6 4629 Lakeshore Rd, HRA17-0001 - City of Kelowna and JEM HTB Properties Inc.**

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.
- Confirmed that the development is a partnership between Worman Resources and the City of Kelowna.
- Confirmed that the design and the proposed land uses are set out in the Heritage Revitalization Agreement.
- Advised that the buildings will be relocated to allow for access to parking for the future creek corridor.
- Advised that the following Heritage Advisory Committee recommendations are not included in this application:
  - o Heritage Designation Bylaw; and
  - o The need for a heritage professional to oversee the project.
- Confirmed that the developer has hired a heritage consultant to review the project; however, there will not be a heritage professional on site during construction. The developer has agreed to document all of the decisions made.



**Moved By Councillor Sieben/Seconded By Councillor Hodge**

**R378/17/05/15** THAT Council consider a Bylaw which would authorize the City of Kelowna to enter into a Heritage Revitalization Agreement for Lot A, Section 25, Township 28, SDYD, Plan KAP71341, located at 4629 Lakeshore Rd, Kelowna, BC, for two buildings of heritage value as identified as Schedule "A" to the Report from the Community Planning Department dated May 15, 2017;

AND THAT the Heritage Revitalization Agreement Authorization Bylaw be forwarded to a Public Hearing for further consideration;

AND FURTHER THAT the Heritage Revitalization Agreement conditions outlined in Attachment "A" attached to the Report from the Community Planning Department dated May 15<sup>th</sup> 2017 be completed prior to adoption.

**Carried**

**4.7 4629 Lakeshore Rd, BL11408 (HRA17-0001) - City of Kelowna and JEM HTB Properties Inc.**

**Moved By Councillor Stack/Seconded By Councillor DeHart**

**R379/17/05/15** THAT Bylaw No. 11408 be read a first time.

**Carried**

## **5. Bylaws for Adoption (Development Related)**

**5.1 700 Highway 33 East, BL11083 (TA15-0002) - Amending Agriculture 1 Zone**

Mayor Basran declared a conflict of interest as he is related to the property owner and left the meeting at 2:41 p.m.

Councillor Singh declared a perceived conflict of interest as she is a very close family friend of the property owner and left the meeting at 2:41 pm.

Deputy Mayor Gray took over as Chair of the meeting at 2:41 p.m.

**Moved By Deputy Mayor Gray/Seconded By Councillor Hodge**

**R380/17/05/15** THAT Bylaw No. 11083 be adopted.

**Carried**

Councillor Hodge – Opposed.

Mayor Basran and Councillor Singh rejoined the meeting at 2:42 p.m.



Mayor Basran took over as Chair of the meeting at 2:42 p.m.

**5.2 1940 KLO Road, BL11339 (Z16-0055) - Mission Creek Mews Ltd**

Moved By Councillor Hodge/Seconded By Councillor Gray

R381/17/05/15 THAT Bylaw No. 11339 be adopted.

Carried

**5.3 BL11363 (TA16-0018) - C7 - Central Business Commercial Zone**

Moved By Councillor Hodge/Seconded By Councillor Gray

R382/17/05/15 THAT Bylaw No. 11363 be adopted.

Carried

**6. Non-Development Reports & Related Bylaws**

**6.1 Proposed Road Closure Adjacent to 3350 Watt Road**

Moved By Councillor Given/Seconded By Councillor Donn

R383/17/05/15 THAT Council receives, for information, the Report from the Manager, Strategic Land Development dated May 15, 2017, recommending that Council adopt the proposed closure of a portion of road adjacent to 3350 Watt Road;

AND THAT Bylaw No. 11370, being proposed road closure of a portion of land adjacent to 3350 Watt Road, be given reading consideration.

Carried

**6.2 Portion of Watt Rd, BL11370 - Road Closure Bylaw**

Moved By Councillor Donn/Seconded By Councillor Given

R384/17/05/15 THAT Bylaw No. 11370 be read a first, second and third time.

Carried

**6.3 Clydesdale Road Name Change to facilitate Academy Way Extension**

Staff:

- Displayed the area on Map Viewer and provided the rationale for the road name change.
- Responded to questions from Council.

- Confirmed that the developer will be reimbursing each household \$15.00 for the cost of changing their address. The developer will also be covering and up to \$250.00 per household for any business cards, cheques, etc. so long as the property owner provides receipts to verify any costs incurred.

Moved By Councillor Stack/Seconded By Councillor Hodge

R385/17/05/15 THAT Council receives, for information, the Report from the Community Planning Department Manager, dated May 15, 2017 for the purpose of renaming Clydesdale Road;

AND THAT the name of Clydesdale Road to be renamed Academy Way as outlined in Map "A" in the report from the Community Planning Manager, dated May 15, 2017;

AND FURTHER THAT Bylaw No. 11409 being "Renaming Clydesdale Road to Academy Way Name Change Bylaw" be forwarded to Council for reading consideration.

Carried

#### **6.4 BL11409 - A Bylaw to Rename Clydesdale Rd to Academy Way**

Moved By Councillor Donn/Seconded By Councillor Given

R386/17/05/15 THAT Bylaw No. 11409 be read a first, second and third time.

Carried

### **7. Bylaws for Adoption (Non-Development Related)**

#### **7.1 Amendment No. 3 to Parks and Public Spaces Bylaw No. 10680 - BL11349**

Moved By Councillor Donn/Seconded By Councillor Given

R387/17/05/15 THAT Bylaw No. 11349 be adopted.

Carried

#### **7.2 Amendment No. 18 to Bylaw Notice Enforcement Bylaw No. 10475 - BL11350**

Moved By Councillor Donn/Seconded By Councillor Given

R388/17/05/15 THAT Bylaw No. 11350 be adopted.

Carried

## 8. Mayor and Councillor Items

### Councillor Stack:

- Commented on his attendance at the Habitat for Humanity Canada Conference in Kelowna last week.

### Councillor DeHart:

- Commented on the Civic & Community Awards that took place over the weekend and thanked all of the volunteers.

### Councillor Sieben:

- Commented on his attendance at the Canadian Cancer Society Daffodil Ball over the weekend and advised that the event raised over \$267,000.

### Councillor Hodge:

- Noted that a reunion for the Kelowna Buckaroos is being planning and will be held on July 14, 15 & 16, 2017 in Kelowna.

### Councillor Gray:

- Commented on her attendance at the Chamber of Commerce Social Gathering last week at Grizzly Winery opening.
- Reminded everyone that the Rutland May Days Parade will take place on Saturday, May 20, 2017.

### Mayor Basran:

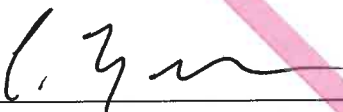
- Thanked the community for rallying together during the recent flooding event.

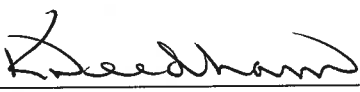
### City Manager:

- Thanked the Provincial Wildfire Crew for their efforts during the recent flooding event.

## 9. Termination

This meeting was declared terminated at 3:06 p.m.

  
\_\_\_\_\_  
Mayor

  
\_\_\_\_\_  
Deputy City Clerk

\_\_\_\_\_  
Deputy Mayor Gray

/slh

# Report to Council



**Date:** May 29, 2017  
**File:** 0100-01  
**To:** City Manager  
**From:** Stacey Jackson, Police Services Manager, Corporate & Protective Services  
Brent Mundle, Superintendent Kelowna RCMP Detachment  
**Subject:** RCMP Quarterly Update – quarterly update review, 2016

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## **Recommendation:**

That Council receive the RCMP Quarterly Update report from the Superintendent, Kelowna RCMP Detachment and the Divisional Director of Corporate and Protective Services dated May 29, 2017.

## **Purpose:**

To provide Council with an update on the activities of the RCMP for the previous quarter and report on progress toward goals and outcomes in the 2016-2019 Crime Reduction Strategy.

## **Background:**

The 2016-2019 Crime Reduction Strategy consists of four main goals each with multiple strategies within. The four goals include:

1. Taking a proactive approach to crime
2. To work with partner agencies for more effective policing
3. To maximize the effectiveness of resources using an intelligence-led model
4. Leveraging effective communications

In the fourth quarter of 2016, work continued to meet these goals. Initiatives underway to take a proactive approach to crime included bike patrols, promotion of the bicycle registry website Project 529, impaired driving enforcement, pawn shop charges for stolen items and a number of significant drug seizures.

We also worked with partner agencies for more effective policing, including the John Howard Society for Program STOP (domestic violence prevention), Elizabeth Fry Society for a Building Knowledge and

Resiliency Workshop, and Interior Health for supervised injection sites and building a police and crisis team.

To maximize the effectiveness of resources using an intelligence-led model, we gathered statistics to help deal with and target problem residences, and used data to effectively align resources. Each piece of data helps us to better understand what is happening in our community and work to proactively target problem areas or even prevent future incidences from happening.

In order to effectively communicate about crime prevention, we have developed internal and external communications about the new Police Services building, meet with our Communications Department quarterly to identify key touchpoints and continue to look for opportunities for positive community involvement.

### **Trends**

In all of 2016, there was a 9.5 per cent increase in property crime compared to 2015, and a 13 per cent reduction in persons' offences.

However, we continue to see an issue with thefts from vehicles and people leaving their vehicles unlocked. Theft from vehicles have increased 26 per cent from 2015, with approximately 60-70 per cent of vehicles broken into left unlocked. Bicycle theft also increased in 2016 – up 43 per cent over 2015.

By encouraging residents to take action against these preventable property theft crimes, we can all work together to drive Kelowna's overall crime rate down.

More information about the *Crime Reduction Strategy* and crime prevention programs can be found online at [kelowna.ca/police](http://kelowna.ca/police).

### **Internal Circulation:**

**Legal/Statutory Authority:**

**Legal/Statutory Procedural Requirements:**

**Existing Policy:**

**Financial/Budgetary Considerations:**

**Personnel Implications:**

**External Agency/Public Comments:**

**Communications Comments:**

**Alternate Recommendation:**

Submitted by:

B. Mundel, Superintendent Kelowna RCMP Detachment and S.Jackson, Police Services Manager  
Corporate & Protective Services

**Approved for inclusion:**



SF, Acting Divisional Director Corporate and Protective Services

cc: cc: S. Jackson, Manager Police Services, C. Cornock, Supervisor Crime Prevention

# CITY COUNCIL PRESENTATION

May 29<sup>th</sup>, 2017



Officer In Charge  
Supt. Brent Mundle  
Kelowna RCMP

# 2016-2019 CRIME REDUCTION STRATEGY

- ❖ The Kelowna RCMP continues to work diligently towards the four goals set forth in the 2016-2019 Crime Reduction Strategy





# Crime Reduction Strategy

## GOAL #1

**TAKING A PROACTIVE APPROACH TO CRIME**

## GOAL #2

**TO WORK WITH PARTNER AGENCIES FOR MORE EFFECTIVE POLICING**

## GOAL #3

**TO MAXIMIZE THE EFFECTIVENESS OF RESOURCES USING AN  
INTELLIGENCE-LED MODEL**

## GOAL #4

**LEVERAGING EFFECTIVE COMMUNICATIONS**

# GOAL #1

## TAKING A PROACTIVE APPROACH TO CRIME

### ❖ Annual Performance Plan

- Yearly Goals Outlined
- Quarterly Statistics Measuring Progress:
  - Collisions
  - Domestic Violence
  - Property Crime
  - Violent crime
  - Criminal Code Offences

# **GOAL #1**

## **TAKING A PROACTIVE APPROACH TO CRIME (CONT'D)**

- ❖ **Summer Policing**
  - **Bike Patrol**
  - **Inadmissible Patrons**
  - **Enhanced Policing Shifts**
  - **Boat Patrols**
- ❖ **Lock, Register, Report**
  - **Protect You Bike Campaign**
  - **Project 529 Garage**
- ❖ **Senior Safety and Fraud Presentations**
- ❖ **Traffic Safety Initiative**

# GOAL #1

## TAKING A PROACTIVE APPROACH TO CRIME (CONT'D)

- ❖ Impaired Driving Enforcement
  - Alexa Awards



# GOAL #1

## TAKING A PROACTIVE APPROACH TO CRIME (CONT'D)

- ❖ Anti-Tamper License Plates
- ❖ Coordinated Speed Watch Event
- ❖ Significant Drug Seizures
  - Fentanyl

# SIGNIFICANT DRUG SEIZURES

- ❖ In late 2015 an drug importation investigation was initiated and concluded in 2016 with the following seized:
  - 100 litres of GBL (precursor to GHB)
  - An industrial pill press confirmed to with fentanyl residue
  - 110 counterfeit pharmaceutical pills
  - Loaded firearm



# SIGNIFICANT DRUG SEIZURES

- ❖ In March of 2016, two properties were searched and Kelowna RCMP located:
  - 2 industrial pill presses
  - More than 8 kilograms of fentanyl powder
  - 1300 counterfeit pharmaceutical pills
  - \$150,000 in cash and vehicles seized as proceeds of crime



# SIGNIFICANT DRUG SEIZURES

- ❖ A two month investigation that concluded in November of 2016 led to the seizure of:
  - 1.32 kilograms of suspected fentanyl-laced heroin
  - 2.1 kilograms of methamphetamine
  - \$100,000 in Canadian currency
  - Several unrestricted firearms





## **GOAL #2**

### **TO WORK WITH PARTNER AGENCIES FOR MORE EFFECTIVE POLICING**

- ❖ **John Howard Society**
  - **Program 'STOP' - Domestic Violence Prevention**
- ❖ **Elizabeth Fry / RCMP / Willow CYAC**
  - **Building Knowledge and Resiliency Workshop**
- ❖ **Interior Health**
  - **Supervised Injection Sites**

## GOAL #2

### TO WORK WITH PARTNER AGENCIES FOR MORE EFFECTIVE POLICING (CONT'D)

- ❖ Central Okanagan Crime Stoppers
  - Program of the Year



## **GOAL #2**

### **TO WORK WITH PARTNER AGENCIES FOR MORE EFFECTIVE POLICING (CONT'D)**

- ❖ **Police and Crisis Team (PACT)**
- ❖ **In the first 7 weeks of operation PACT attended 22.5% of all the mental health act general occurrences.**

# **GOAL #3**

## **TO MAXIMIZE THE EFFECTIVENESS OF RESOURCES USING AN INTELLIGENCE-LED MODEL**

- ❖ **CompStat Success with Problem Residences**
- ❖ **More Efficient Alignment of Resources**
  - **Criminal Intelligence Analysts**
  - **Target Team**
  - **Bike Patrol**
  - **Addition of 6 Police Officers**

# **GOAL #3**

## **TO MAXIMIZE THE EFFECTIVENESS OF RESOURCES USING AN INTELLIGENCE-LED MODEL (CONT'D)**

- ❖ **Online Crime Reporting Project**
- ❖ **Auxiliary Constable Program**
- ❖ **Kelowna RCMP and the Crisis Team**
- ❖ **General Duty Staffing Analysis and Scheduling**

## **GOAL #4**

# **LEVERAGING EFFECTIVE COMMUNICATIONS**

- ❖ **Internal Communication in the New Detachment**
- ❖ **Quarterly Meeting with City of Kelowna Communications Section**
- ❖ **Emergency Flood Support**
- ❖ **Commitment of Volunteers**
- ❖ **Positive Community Involvement**

# POSITIVE COMMUNITY INVOLVEMENT

## ❖ Fill The Bag Blood Drive





# POSITIVE COMMUNITY INVOLVEMENT

## ❖ Anti-Bullying Day





# POSITIVE COMMUNITY INVOLVEMENT

## ❖ Cops For Kids Ride





# POSITIVE COMMUNITY INVOLVEMENT

## ❖ Law Day





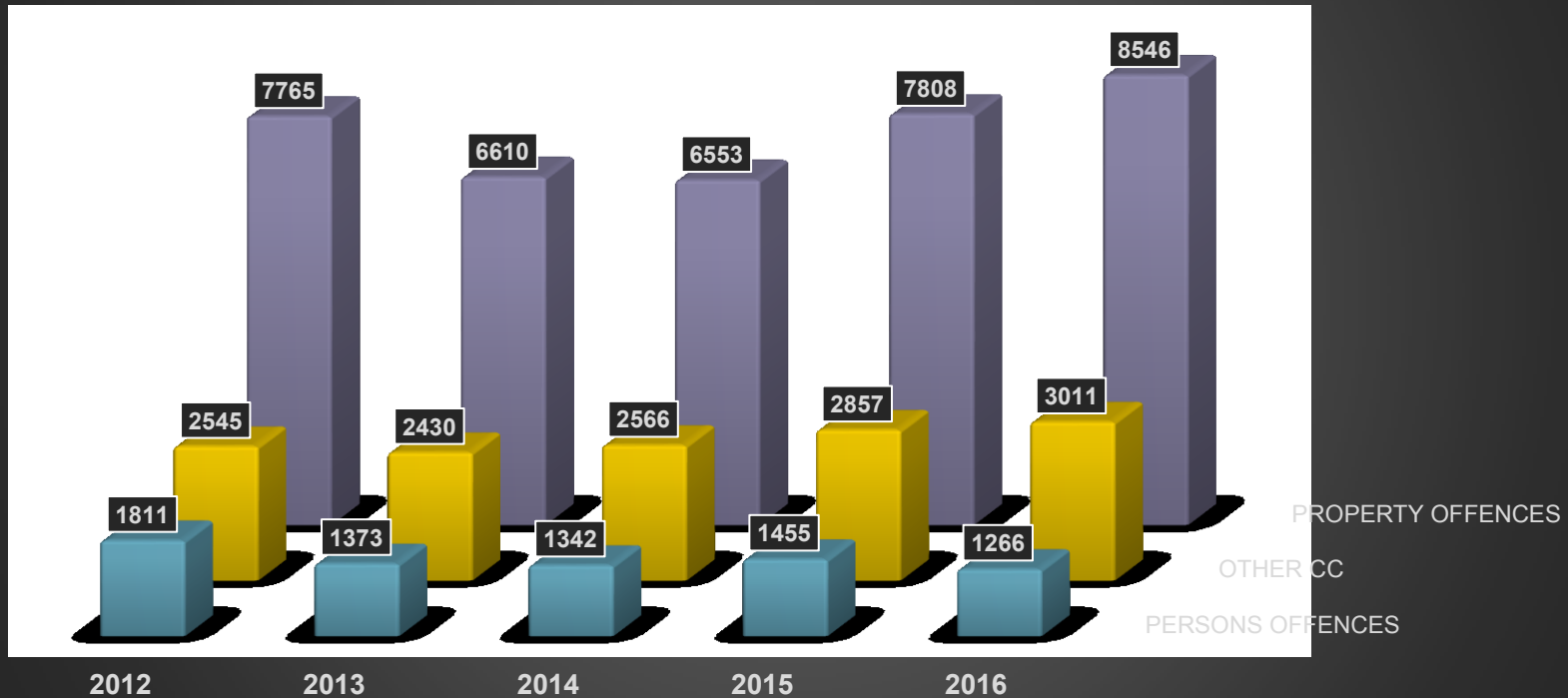
# POSITIVE COMMUNITY INVOLVEMENT

## ❖ Cops For Kids - Jail & Bail



# 2016 IN REVIEW

## YEARLY COMPARISON OF ALL CRIMINAL CODE OFFENCES



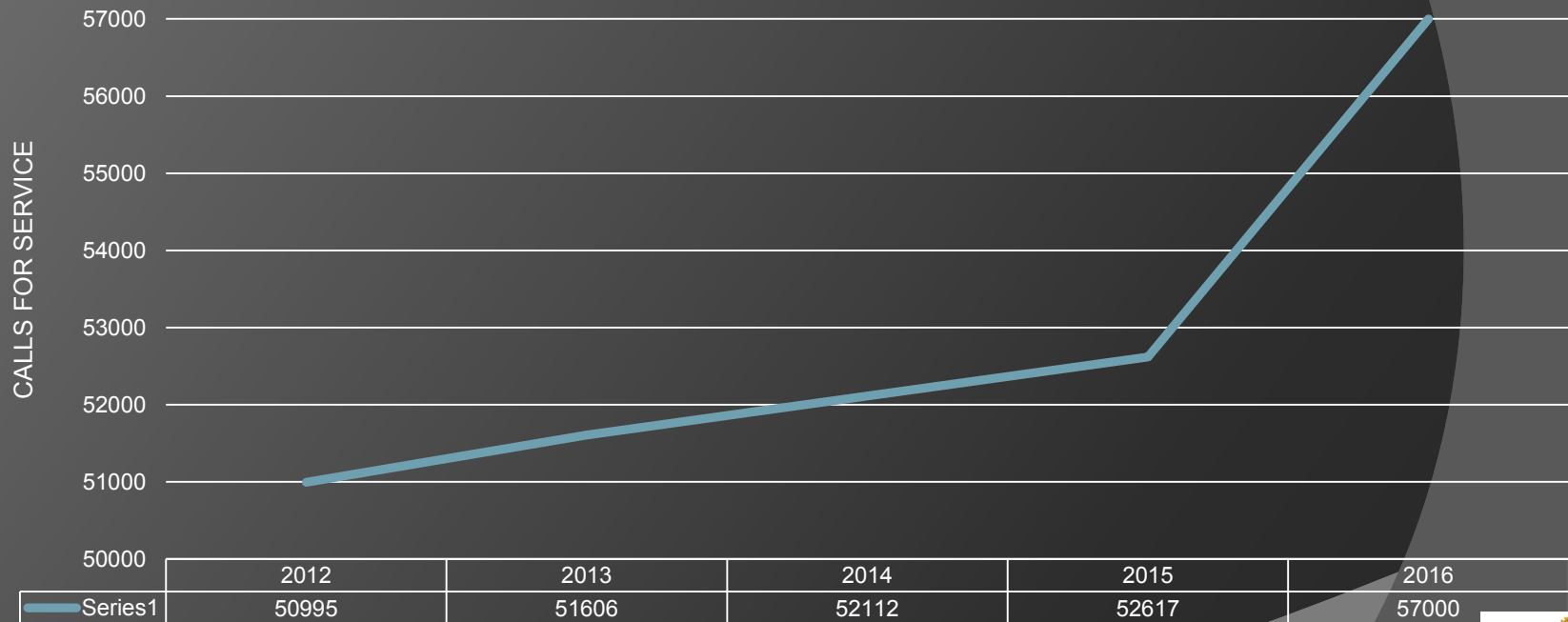
# TRENDS IN 2016

- ❖ Increase of **9.5%** in property crime in 2016 compared to 2015
- ❖ This increase was primarily driven by small scale offences including thefts from auto and thefts of bicycles
- ❖ Persons offences in 2016 decreased **13%** compared to 2015, and represent the lowest total overall in the past five years.

# TRENDS IN 2016

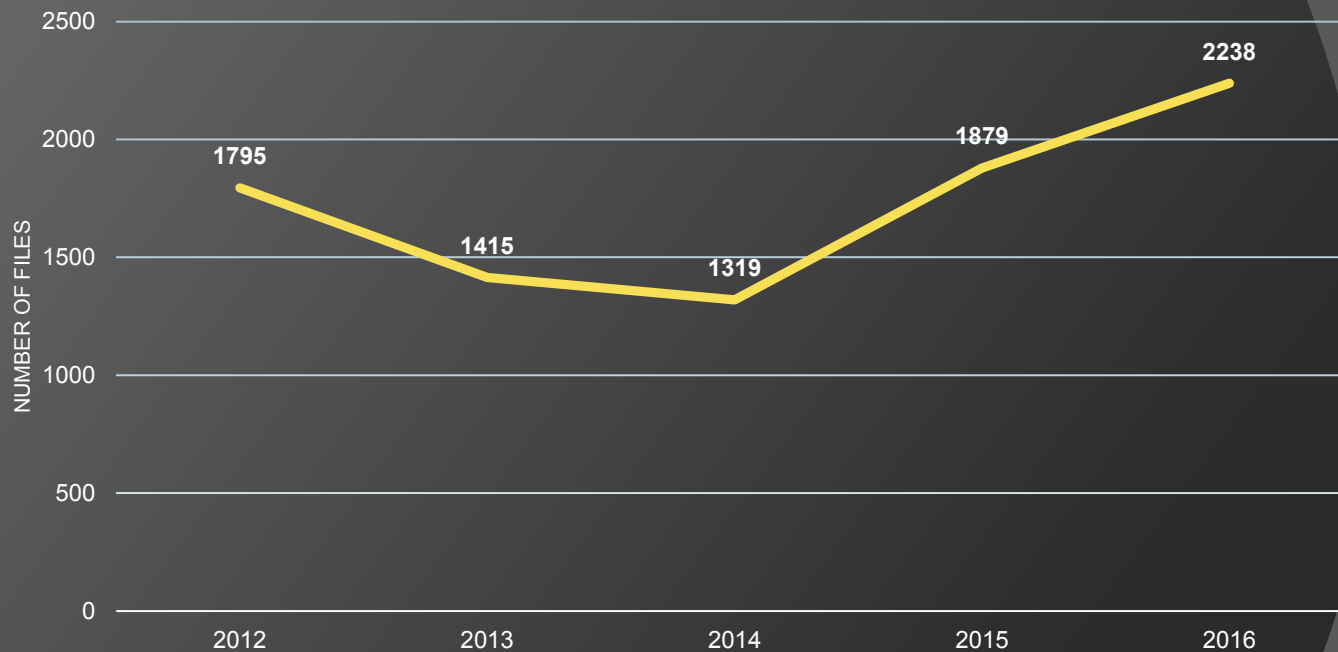
- ❖ Calls for service have increased **8.33%** in 2016 compared to the same period in 2015; an increase of **4383** calls.

## CALLS FOR SERVICE



# THEFT FROM VEHICLE

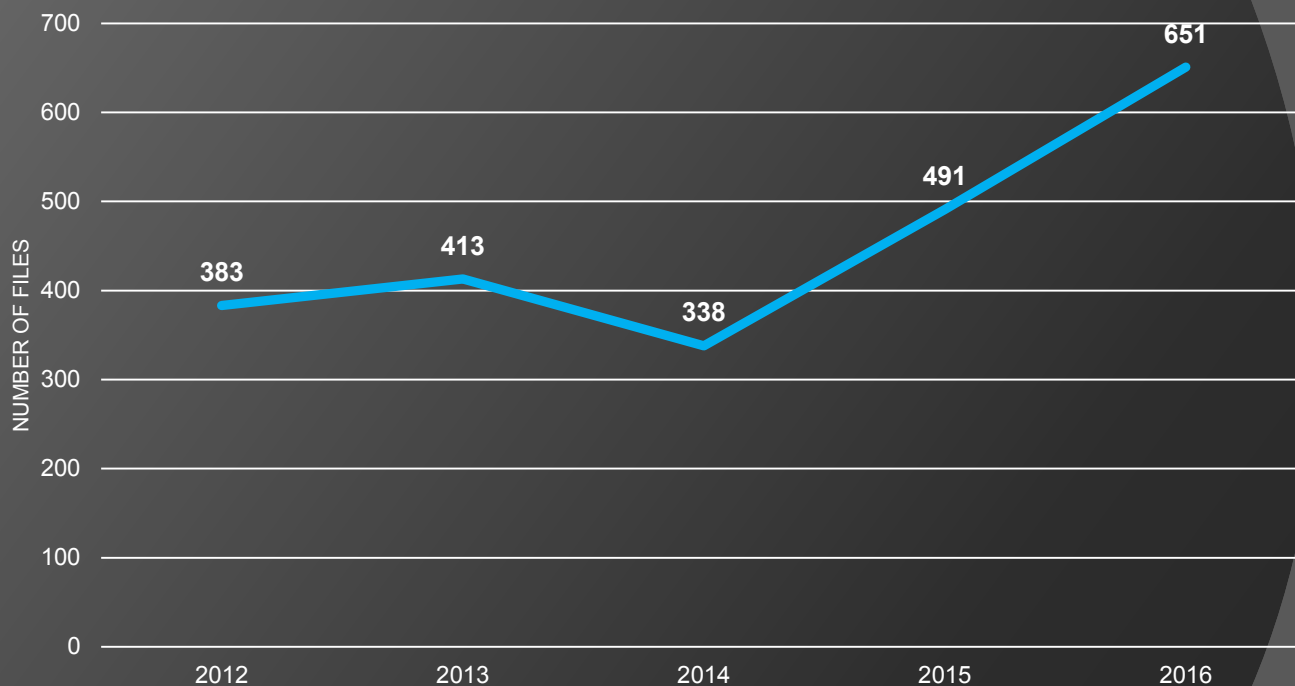
- ❖ Theft from vehicle files have increased of **26%** from 2015 compared to 2016, or a difference of **349 files**





# THEFT OF BICYCLE

- ❖ Theft from bicycle files have increased of **43%** from 2015 compared to 2016, or a difference of **164 files**

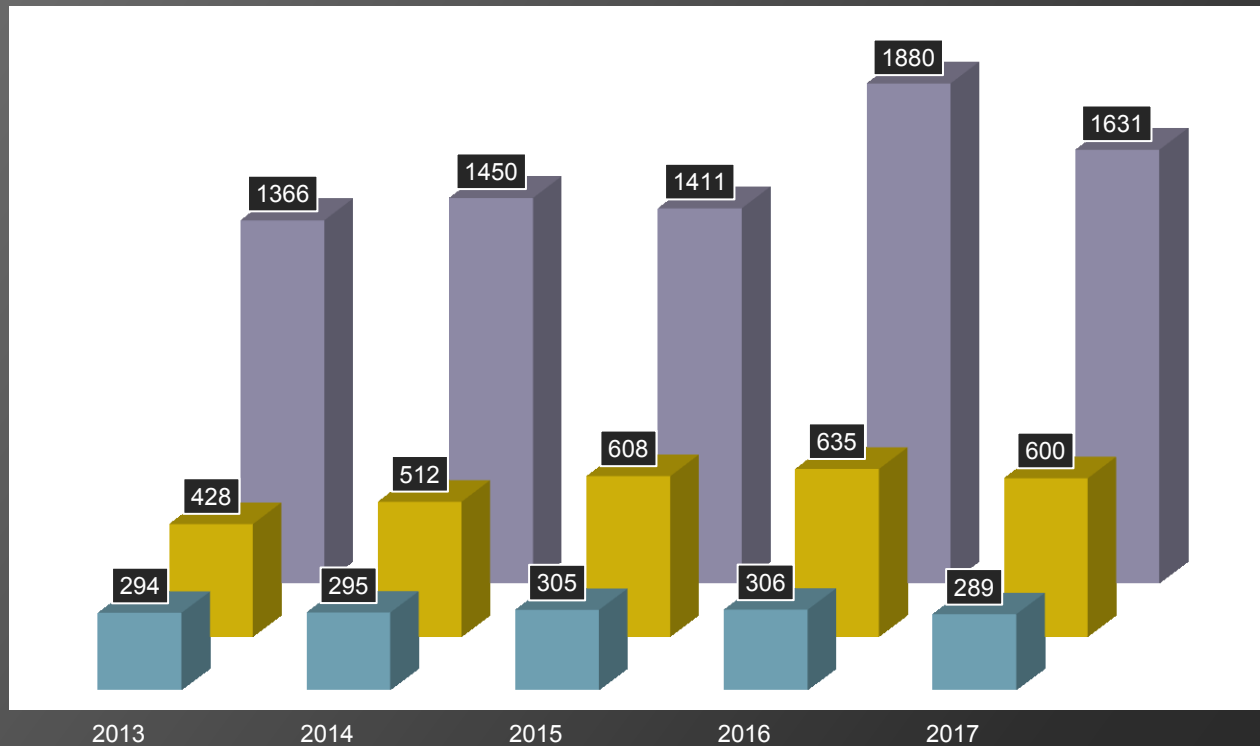


# 2016 Census Metropolitan Area Crime Severity Index / Crime Rate Ranking

- ❖ Results will not be known for several months
- ❖ Expectations are that our ranking will be similar to last year despite our fourth quarter reduction in crime

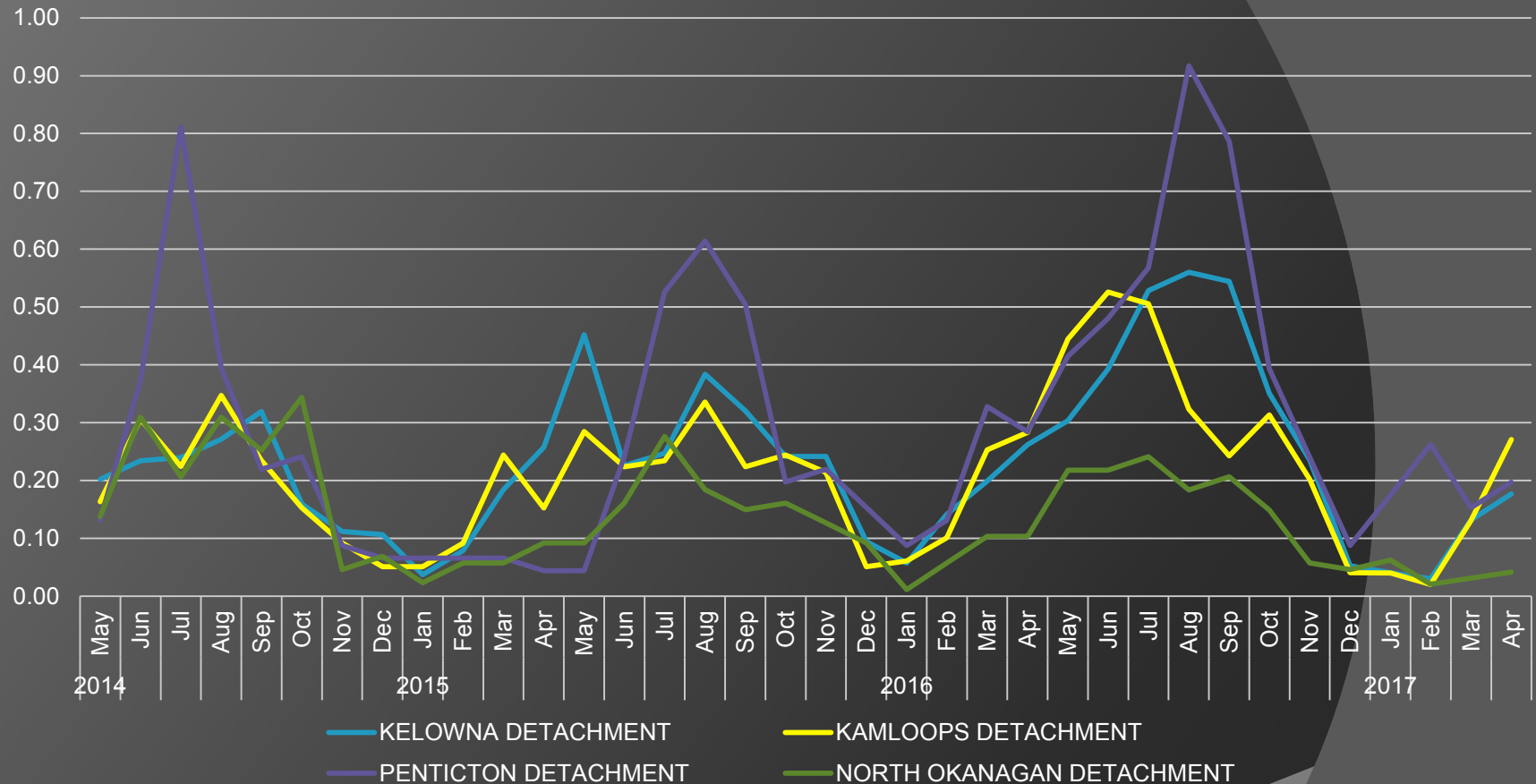
# FIRST QUARTER OF 2017

## CRIMINAL CODE OFFENCES JANUARY TO MARCH

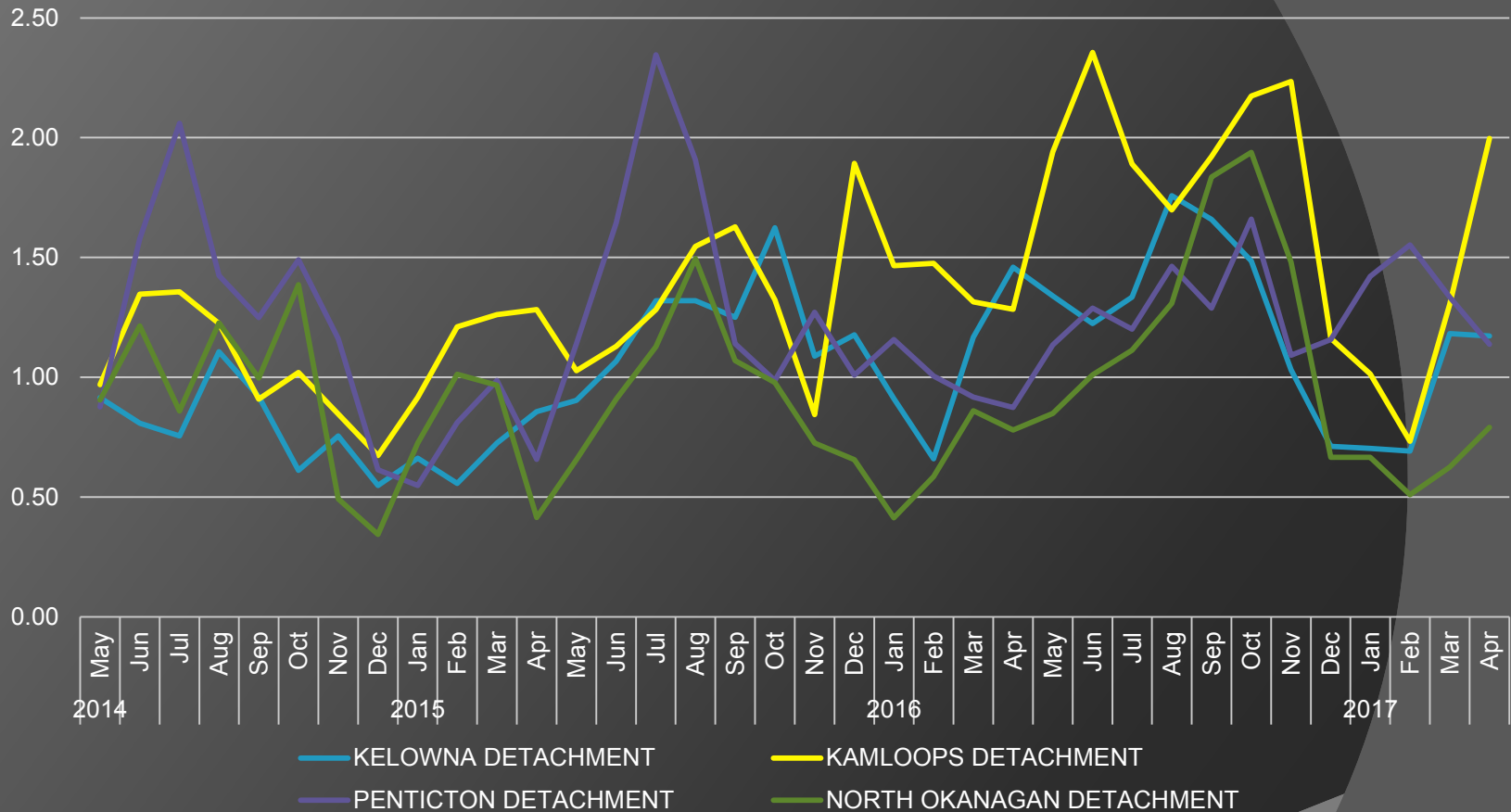


PROPERTY OFFENCES  
CC  
FENCES

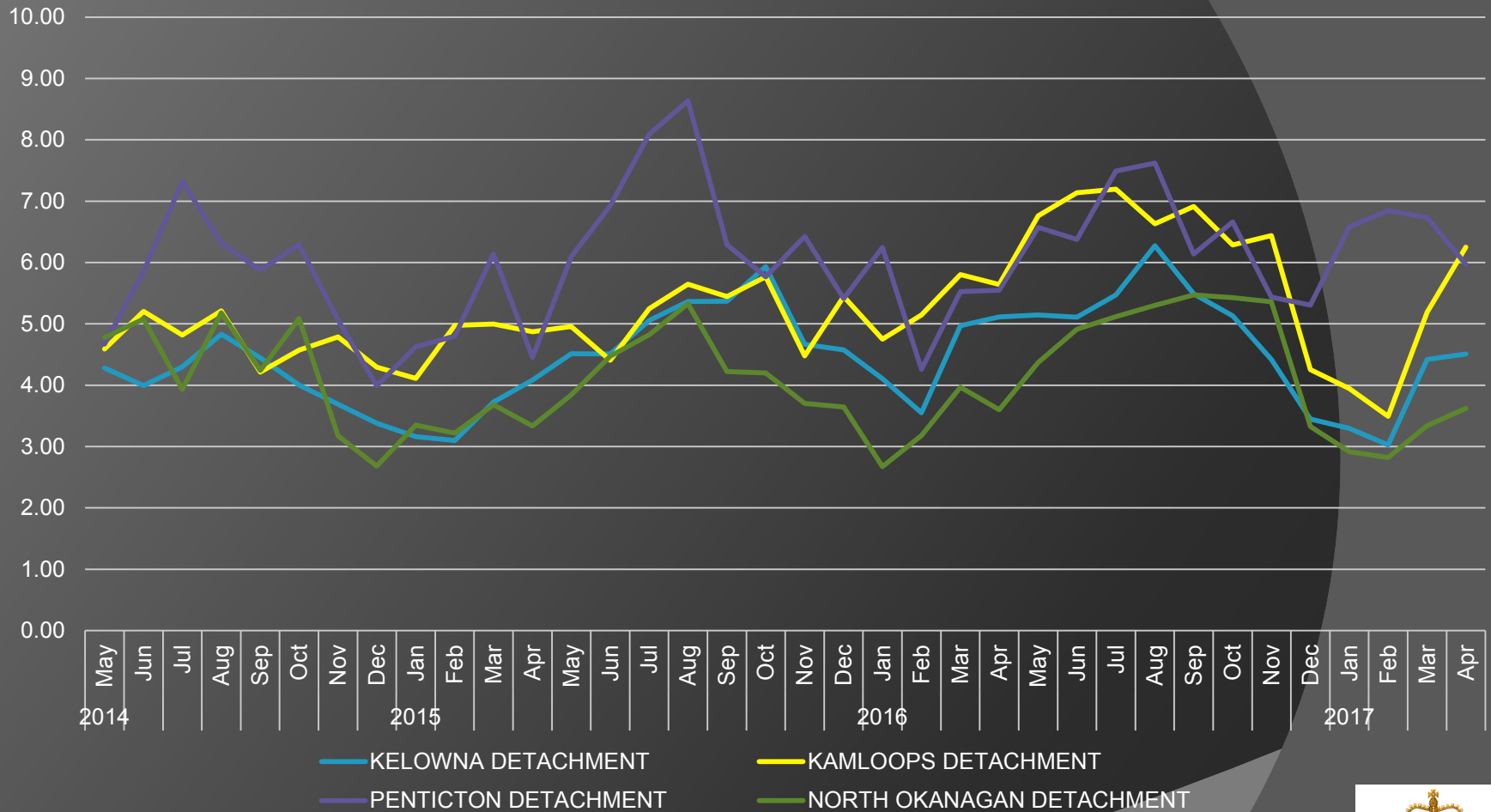
## Bicycle Theft by Jurisdiction Rate per 1,000



## Theft From Vehicle by Jurisdiction Rate per 1,000



# All Property Crime by Jurisdiction Rate per 1,000



# KELOWNA POLICE SERVICES BUILDING

- ❖ 1190 Richter St.
- ❖ Opens June 15<sup>th</sup>
- ❖ Opening ceremonies on June 27<sup>th</sup>





# QUESTIONS?

# ALTERNATOR

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• ORGANIZATIONAL SUMMARY •

- ARTIST RUN CENTRE FOUNDED IN 1989
- LOCATED IN THE ROTARY CENTRE FOR THE ARTS
- LARGEST ARTIST RUN CENTRE BETWEEN VANCOUVER & CALGARY

{mandate}

1. *to support emerging and alternative artists through mentorship, studio space, workshops, exhibition opportunities and professional development*
2. *to present exhibitions and projects that are engaged in social issues; are experimental and collaborative in nature; challenge dominant structures of identity and value*
3. *to inspire our members and the community*

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• ARTIST RUN CENTRES IN CANADA •

### WHAT ARE THEY?

- Artist initiated and managed organizations
- Follow the not-for-profit model
- Do not charge admission fees
- De-emphasize the selling of work

### WHAT IS THEIR ROLE?

- To act as arts incubators
- Work towards the benefit of the practicing artist within a context of self-determination

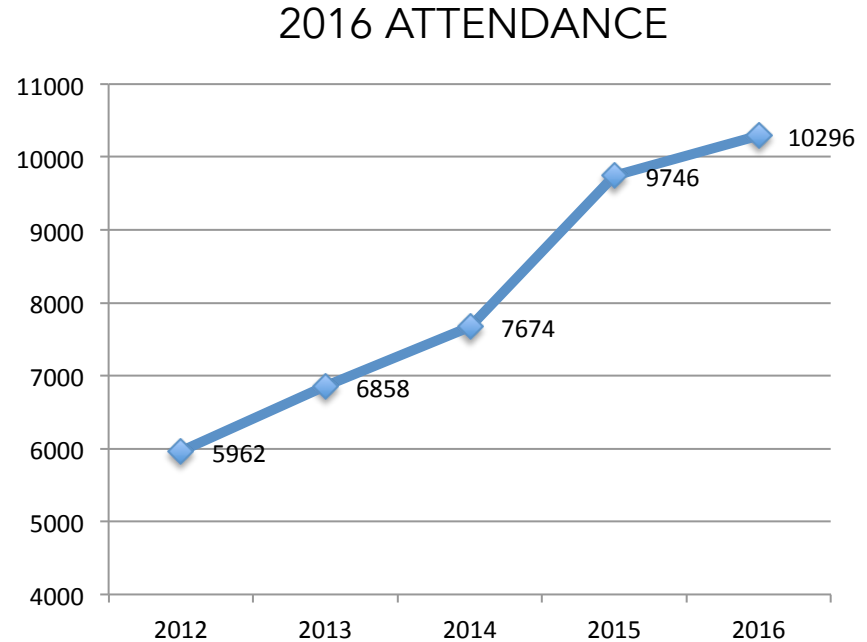
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• VISITOR STATISTICS •

- 48% ages 19-34
- 20% ages 35-49
- 29% ages 50+
- 70% from Kelowna
- 87% from the Okanagan
- Since 2012, visitor numbers have increased over 70%



**ALTERNATOR**

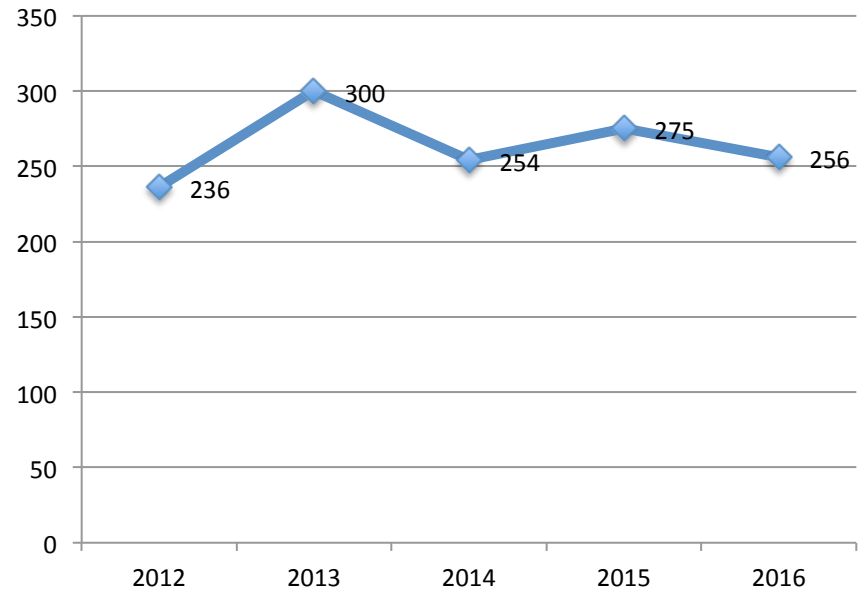
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centre for contemporary art

• MEMBERSHIP STATISTICS •

- Significant majority of members are young artists ages 19-35
- Includes membership agreement with UBC Okanagan Visual Arts Course Union
- Annual revenue from memberships in 2016: \$2,070.00
- Volunteer memberships are also available

2016 MEMBERSHIP RATES



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*Exhibition Opening Reception*



• HUMAN RESOURCES •

## STAFF

- 2 part-time senior staff
- 1 full-time gallery assistant
- 1 full-time summer student
- 1 part-time practicum student
- Annual Payroll: \$77,179

## VOLUNTEERS

- 80 volunteers
- 1700 hours annually
- Value: \$33,550

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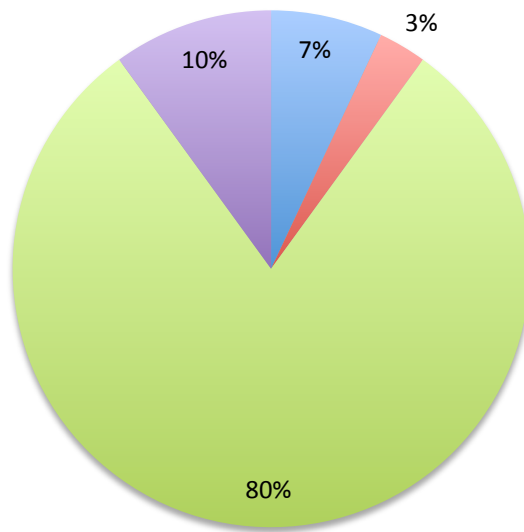
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• FINANCIALS •

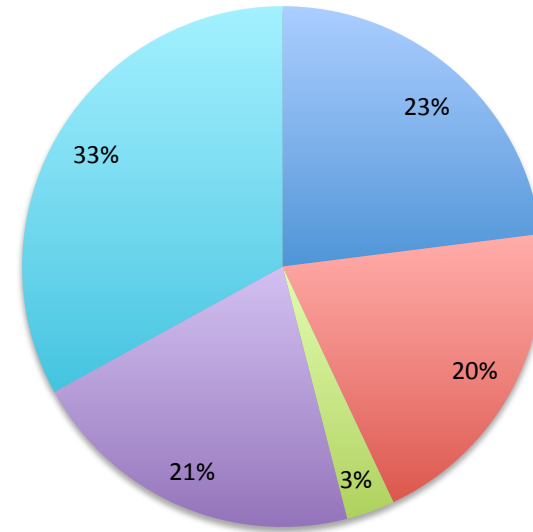
- 2016 Operating Budget: \$146,840
- 18% of total revenues from City of Kelowna

REVENUE SUMMARY



■ Earned Revenue    ■ Fundraising Activities  
■ Government Funding    ■ Foundations

GOVERNMENT FUNDING BREAKDOWN

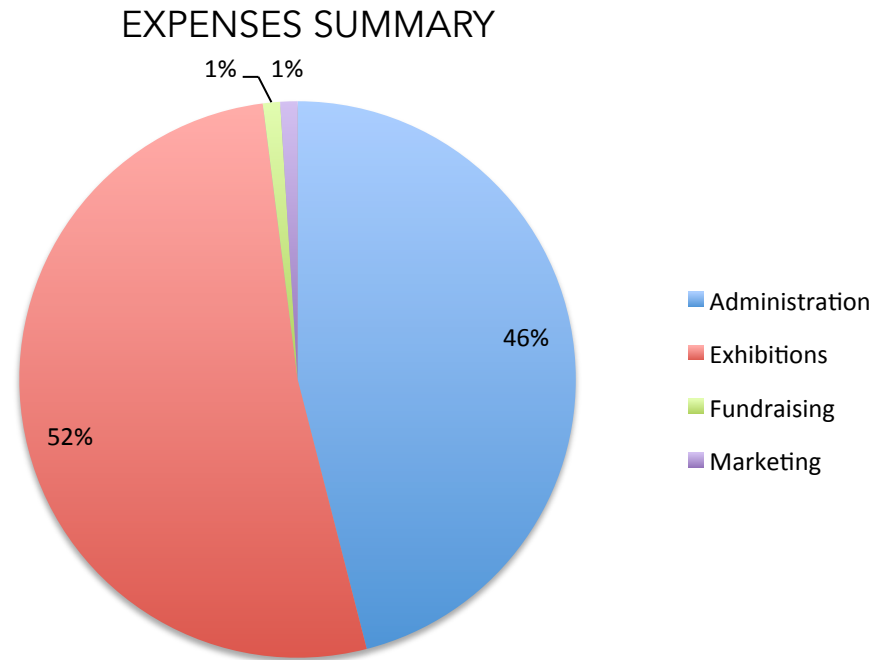


■ City of Kelowna    ■ Canada Council    ■ HRSDC  
■ BC Arts Council    ■ BC Gaming Commission

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• FINANCIALS •

## EXPENSES



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• IN COMPARISON •

## COMPARATIVE FINANCIAL DATA 2016 \*

	OAAA	CANADIAN ARC MEDIAN
MEMBERSHIP REVENUE	\$2,070	\$1,645
FUNDRAISING REVENUE	\$4,719	\$7,500
FEDERAL OPERATING GRANTS	\$27,083	\$46,842
PROVINCIAL OPERATING GRANTS	\$63,224	\$64,756
MUNICIPAL OPERATING GRANTS	\$27,000	\$30,035
TOTAL OPERATING BUDGET	\$146,840	\$215,484

\* DATA FROM CADAC (CANADIAN ARTS DATA). CANADIAN (EXCLUDING QUEBEC) ARTIST RUN CENTRE SAMPLE OF 90 ORGANIZATIONS.

• IN COMPARISON •

## COMPARATIVE STATISTICAL DATA 2016 \*

	OAAA	CANADIAN ARC MEDIAN
NUMBER OF EXHIBITIONS	12	8
COMMUNITY ARTS ACTIVITIES	20	3
ATTENDANCE AT EXHIBITIONS	10,296	5500
PARTICIPANTS IN COMMUNITY ARTS ACTIVITIES	219	159
NUMBER OF MEMBERS	287	134
HOURS WORKED BY VOLUNTEERS	2100	800

\* DATA FROM CADAC (CANADIAN ARTS DATA). CANADIAN (EXCLUDING QUEBEC) ARTIST RUN CENTRE SAMPLE OF 90 ORGANIZATIONS.

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• 2016 ACHIEVEMENTS •

- Continued growth of **fundraising** activities focused on stability, frequency and financial return
- Successful transition to **new staff structure**
- Renewed **strategic plan** aimed at affecting real change through small (yet meaningful) actions
- Effective implementation of two new **pilot programs**
- **Expanded partnerships** with community organizations resulting in increased programming and extended reach

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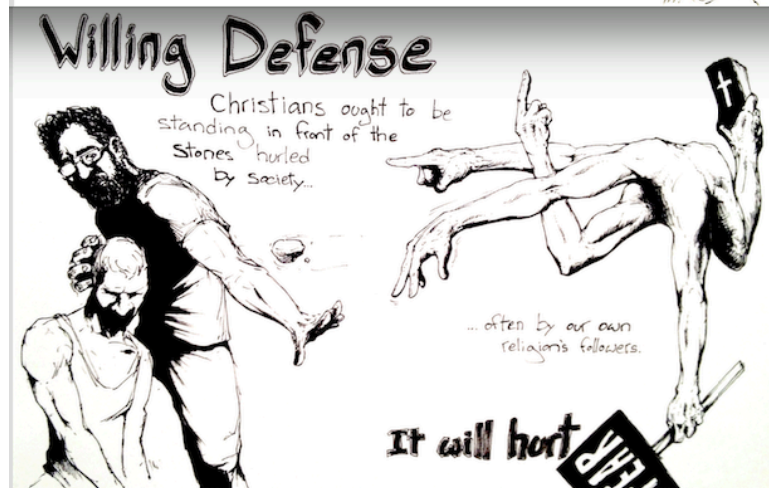
Holly Daze Fundraiser 2016





Pride Programming 2016

For a Straight,  
Christian ally  
Pride is ...



Pride Programming 2016 - Asher Klassen

• COMMUNITY IMPACT •

We act as an **arts incubator** in Kelowna, helping the promotion of amateur artists to **professional status**.



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*Red Dot Members' Show and Sale 2016*





*Members' Gallery Exhibition - Susan Bizecki 2017*



*Window Gallery Exhibition - Vikki Drummond - Wonderland Redux 2016*



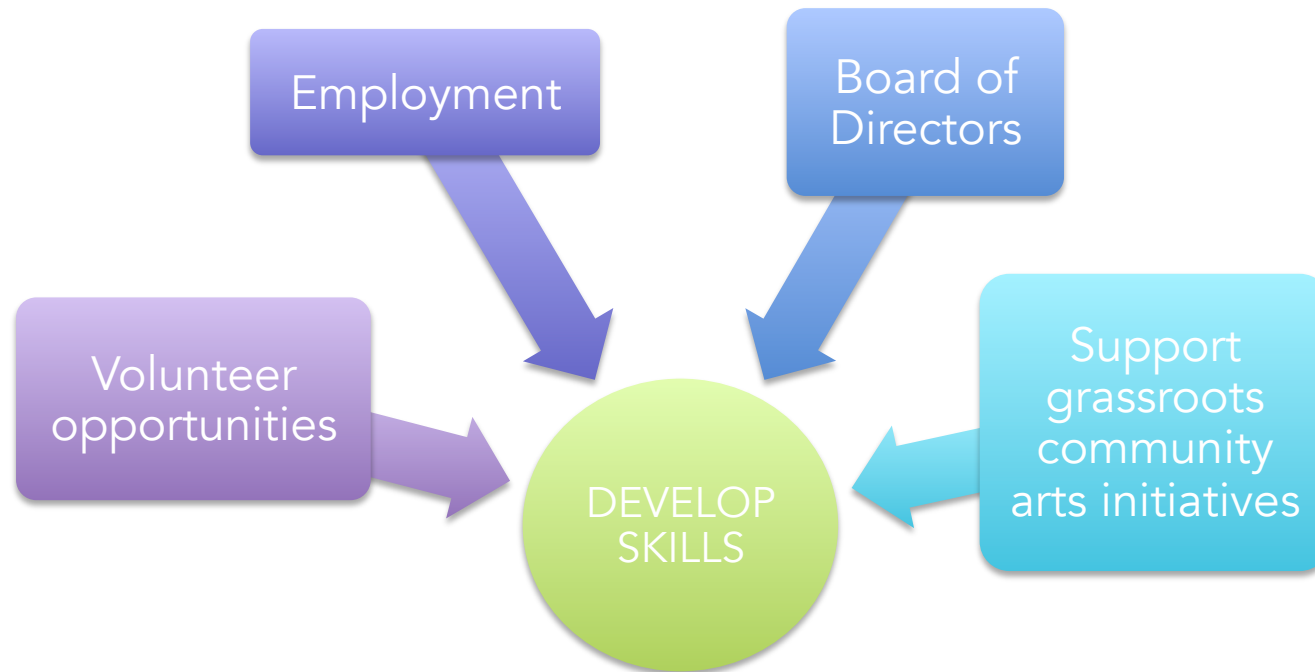


*Main Gallery Exhibition - Amy Malbeuf - apihkêw 2016*



- COMMUNITY IMPACT •

We integrate young artists in the Kelowna community, and help retain professionals in the region.



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*Intermission Paper Trail – Curated by Shayla Ritchie - 2016*



*Intermission The Archivist– Jia Chen - Curated by Shayla Ritchie - 2016*



*Intermission The Archivist– Jia Chen - Curated by Shayla Ritchie - 2016*

• LOOKING FORWARD •

- **Increase earned revenue** through fundraising and other private sources.
- Implement 2016 strategic plan including the revised parameters for our **Window Gallery**, realizing opportunities to better connect with c.200,000 RCA visitors each year.
- Strategically reassert our organizational value of presenting truly experimental works of art.
- Continue **pilot programs** and seek additional funding to convert these activities to permanent aspects of our programming.
- Effectively manage expected **transition** on our board of directors,

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• THANK YOU •



**BRITISH COLUMBIA  
ARTS COUNCIL**  
An agency of the Province of British Columbia



**Canada Council  
for the Arts**      **Conseil des arts  
du Canada**

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# REPORT TO COUNCIL



**Date:** May 29, 2017

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (AC)

**Application:** Z17-0023

**Owner:** Pannu, Gurpreet

**Address:** 1360 Belaire Ave

**Applicant:** New Town Services Inc.  
(Jesse Alexander)

**Subject:** Rezoning Application

Existing OCP Designation: MRM – Multiple Unit Residential (Medium Density)

Existing Zone: RU6 – Two Dwelling Housing

Proposed Zone: RM5 – Medium Density Multiple Housing

---

## 1.0 Recommendation

THAT Rezoning Application No. Z17-0023 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 34 District Lot 137 ODYD Plan 10011, located at 1360 Belaire Ave, Kelowna, BC from the RU6 – Two Dwelling Housing to the RM5 – Medium Density Multiple Housing Zone, be NOT considered by Council;

## 2.0 Purpose

To consider a Staff recommendation to NOT rezone the subject property from RU6 – Two Dwelling Housing to the RM5 – Medium Density Multiple Housing Zone.

## 3.0 Community Planning

The Official Community Plan (OCP) designated the subject property as MRM – Multiple Unit Residential (Medium Density) with the vision of achieving large apartment style buildings under the RM5 zone. This land use vision is evident in the surrounding neighborhood with residential projects such as the Dorchester, the Murano, the recently approved Cambridge House and the numerous apartment buildings along Harvey Ave.

The proposed application for the subject property is not consistent with this vision as the applicant is proposing to utilize the RM5 zone on one small urban lot. The lot is 34% below the minimum subdivision regulation for new RM5 lots. This results in a significantly smaller apartment building form than the typical RM5 apartment building as well as a relatively low residential density as expressed with the proposed 0.6 Floor Area Ratio (FAR). Apartment buildings are typically in the 1.1 – 1.3 FAR range. As this proposal



represents the first major development along Belaire Avenue, staff do not feel deviating from the OCP vision appropriate. In addition, due to the fact that there is no lot consolidation, the proposal leaves one urban lot directly to the east minimizing its future development potential.

Overall, achieving a higher residential density is an important community objective in this Harvey Avenue area due to its close proximity to the downtown and surrounding urban amenities (e.g. parks, schools, transit, cycling routes, shops and services). Furthermore, if small apartment buildings are permitted on single urban lots, this may discourage other developers from land assembly and consolidating larger sites. As a consequence, the City would not achieve its residential density goals. Therefore, Staff do not support the proposed rezoning from RU6 zone to the RM5 zone.

## 4.0 Proposal

### 4.1 Project Description

The applicant has applied for a Rezoning and Development Permit application to facilitate a 17-unit multiple residential building located at 1360 Belaire Ave. The proposal is for 16 rental micro-suites with 1 care-taker unit. The project is within 400 metres of a bus stop and is located in an urban centre which is the prerequisite to allow micro-suite developments.

The subject property is 931m<sup>2</sup>. The minimum lot size for subdivision in the RM5 zone is 1,400m<sup>2</sup>. Although, the subdivision regulations are not required to be adhered to when rezoning a property, Staff do use the minimums as a guide to indicate whether a particular lot is large enough for the intended densities within that zone (in this case apartment housing).

If the rezoning is successful, the applicant has proposed to build a 4 storey building with 17 parking stalls. Staff are currently tracking two variances and would provide comprehensive comments on the form & character within the Development Permit Council report, should the zoning proceed.

### 4.2 Background

The subject property contains a restrictive covenant and building scheme registered on the property in 1959 that restricts the property owner to the following structures: single detached dwelling, duplex, garage, and carport. Further, the covenant restricts the property owner from developing a detached dwelling or duplex less than 750ft<sup>2</sup> in floor area. However, this is a private agreement without the municipality, regional district, or provincial government's involvement. Therefore, the City does not consider these private agreements relevant in terms of enforcement or allowable land uses.

### 4.3 Site Context

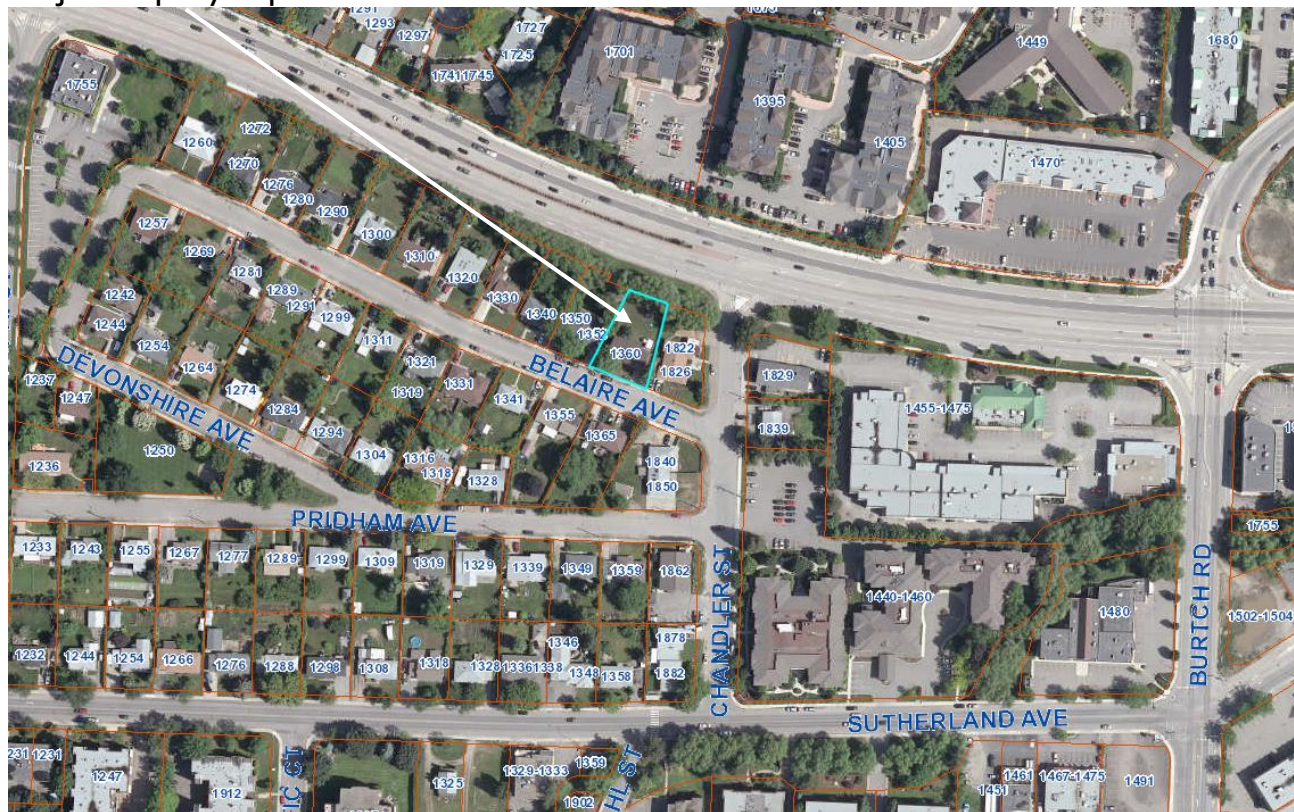
The subject property is located within the Capri-Landmark Urban Centre and within the Urban Core. Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RM5 – Medium Density Multiple Housing	Residential
East	RU6 – Two Dwelling Housing & C3 – Community Commercial	Residential & Commercial
South	RU6 – Two Dwelling Housing	Residential
West	RU6 – Two Dwelling Housing	Residential

#### 4.4 Site Context

The applicant has met Council Policy No. 367 (Development Notification Policy) by mailing notices to all properties within a 50 metre radius.

##### Subject Property Map: 1360 Belaire Ave



#### 4.5 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM <sub>5</sub> ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Height	18.0 m / 4.5 storeys	13.4 m / 4 storeys
Front Yard (south)	6.0m	6.0m
Side Yard (east)	4.5m below 2 ½ stories 7.0m above 2 ½ stories	4.5m below 2 ½ stories 7.0m above 2 ½ stories
Side Yard (west)	4.5m below 2 ½ stories 7.0m above 2 ½ stories	4.5m below 2 ½ stories 7.0m above 2 ½ stories
Rear Yard (north)	9.0m	9.0m
Site coverage of buildings	40 %	34%

Zoning Analysis Table		
CRITERIA	RM5 ZONE REQUIREMENTS	PROPOSAL
Site coverage of buildings, driveways & parking	65 %	62%
FAR	1.1 Max	0.6
Parking Regulations		
Minimum Parking Requirements	1 per bachelor unit = 17 stalls	17 stalls
Ratio of Parking Stalls	Full size: 50% Min Medium Size: 40% Max Small Size: 10% Max	Full size: 71% (12 stalls) Medium Size: 17% (4 stalls) Small Size: 6% (1 stall)
Minimum Drive Aisle Width	7.0m	6.0m / 6.5m ❶
Setback (Parking)	1.5 m	1.5m or greater
Parking stall size	0.2m wider when abutting an obstruction (e.g. column or wall)	0.0m ❷
	Measured to edge of column	Measured to centre of column ❷
Other Regulations		
Minimum Bicycle Parking Requirements	Class 1: 9 bikes Class 2: 2 bikes	Class 1: 10 bikes Class 2: 6 bikes
Private Open Space	127.5 m <sup>2</sup>	134.8 m <sup>2</sup>
Landscape Buffer	3.0m or opaque fence	6.0m front 1.5m side & rear & opaque fence
<b>Potential Variances:</b> ❶ Reduce minimum drive aisle widths; ❷ Reduce sizes of parking stalls;		

## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Capri-Landmark.**<sup>2</sup> Generally, 4 storeys. Greater height (up to 12 storeys) may be supported on the Capri Shopping Centre site and in the area bordered by Dickson Avenue, Dayton Avenue, Springfield Road and Kirschner Road upon approval of a Council-endorsed comprehensive development plan for the site that provides for a variety of housing types (including but not limited

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.3.4 (Development Process Chapter).

to ground-oriented and rental apartment housing) and the provision of commercial space that is of an amount that, at minimum, equals that which existed in 2010.

## **6.0 Technical Comments**

### **6.1 Building & Permitting Department**

- No comment on rezoning.

### **6.2 Development Engineering Department**

- See attached memorandum dated April 13, 2017.

### **6.3 Fire Department**

- No comment on rezoning.

### **6.4 Ministry of Transportation**

- With regard to the above noted zoning file, the Ministry has no objection. Please forward the final Bylaw once it has achieved third reading for Ministry approval. If you have any questions, please feel free to call Kelowna Development Approvals at (250) 712-3660.

## **7.0 Application Chronology**

Date of Application Received: March 9<sup>th</sup> 2017

Date Public Consultation Completed: April 6<sup>th</sup> 2017

## **8.0 Alternate Recommendation**

THAT Rezoning Application No. Z17-0023 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 34 District Lot 137 ODYD Plan 10011, located at 1360 Belaire Ave, Kelowna, BC from the RU6 – Two Dwelling Housing to the RM5 – Medium Density Multiple Housing Zone, be considered by Council;

AND THAT the Zone Amending Bylaw be forwarded to a Public Hearing for further consideration.

AND THAT final adoption of the Zone Amending Bylaw be subsequent to the following:

To the outstanding conditions identified in Attachment "A" associated with the report from the Community Planning Department dated April 13<sup>th</sup> 2017.

**Report prepared by:**

Adam Cseke, Planner Specialist

**Reviewed by:**

Terry Barton, Urban Planning Manager

**Approved for Inclusion:**

Ryan Smith, Community Planning Department Manager

### **Attachments:**

ATTACHMENT 'A' - Development Engineering Memo dated April 13<sup>th</sup> 2017

ATTACHEMENT 'B' – Applicant's Rationale & Initial Architectural Drawing Package

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**CITY OF KELOWNA**  
**MEMORANDUM**

**ATTACHMENT A**

This forms part of application  
# Z17-0023



City of  
**Kelowna**  
COMMUNITY PLANNING

Planner  
Initials AC

**Date:** April 13, 2017  
**File No.:** Z17-0023

**To:** Community Planning (AC)

**From:** Development Engineering Manager(SM)

**Subject:** 1360 Belaire Ave

RU6 to RM5

---

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Sergio Sartori

**1. Domestic Water and Fire Protection**

- (a) The subject property is currently serviced with a 13mm and a 19mm diameter water services. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the disconnection of existing services and the installation of a new service if necessary.
- (b) It is apparent that the existing 150mm diameter watermain within Belaire Avenue is substandard and will not support this development. The applicant, at his cost, will arrange for upgrading ~55m of waterman and the installation of a fire hydrant and one new larger water service. The estimated cost of this construction for bonding purposes is **\$76,000.00**.

**2. Sanitary Sewer**

- (a) The subject property is currently serviced with 100mm-diameter substandard sanitary service. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services and the installation of one new larger service. The estimated cost of this construction for bonding purposes is **\$12,000.00**.

**3. Storm Drainage**

The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.



The lot is not serviced with storm sewer service. Only one service will be permitted for this development. Storm drainage systems for the site will be reviewed and approved by Engineering when design drawings are submitted.

#### 4. **Road Improvements**

- (a) Belaire Ave must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk replacement, drainage system including catch basins, manholes and pavement removal and replacement, fillet pavement, boulevard landscaping, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The estimated cost of this construction for bonding purposes is **\$38,000.00**
- (b) Harvey Ave adjacent to this development site will require curb and gutter to meet current standards. The cash in lieu of construction cost is **\$3,000.00**

#### 5. **Road Dedication and Subdivision Requirements**

- (a) Grant statutory rights-of-way if required for utility services.

#### 6. **Electric Power and Telecommunication Services**

- a) The electrical services to this development must be installed in an underground duct system, and the building must be connected by an underground service. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground as this site is located within the Capri Landmark urban town centre.
- b) It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services which would be at the applicant's cost.

#### 8. **Design and Construction**

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application # Z17-0023		
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drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

## 9. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

## 10. Other Engineering Comments

- (a) Provide all necessary Statutory Rights-of-Way for any utility corridors as required.
- (b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.
- (c) The City wishes to defer the upgrades to Harvey Ave fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule.

Item	Cost
Curb &Gutter	\$ 3,000.00

### (d) Bonding

Water service upgrade	\$76,000.00
Sanitary service upgrade	\$12,000.00
Road Frontage Improvements	\$38,000.00

Total Bonding **\$126,000.00**

**NOTE:** The bonding amounts shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided, and may be in the form of cash or an irrevocable letter of credit, in an approved format. The owner must also enter into a servicing agreement in a form provided by the City.

### e) Administration Charge

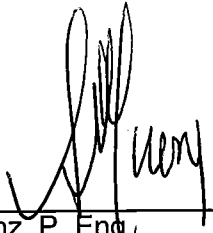
An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as (3.5% of Total Off-Site Construction Cost plus GST).

<b>ATTACHMENT A</b>	
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**11. Development Permit and Site Related Issues**

- (a) The proposed parking stalls must meet the zoning bylaw requirements.
- (b) Access and Manoeuvrability
  - (i) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.

  
\_\_\_\_\_  
Steve Muenz, P. Eng.  
Development Engineering Manager

SS

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# Z17-0023		
Planner Initials	AC	 City of <b>Kelowna</b> COMMUNITY PLANNING

# **Proposal for Rezoning & Development Permit** 1360 Belaire Ave

**ATTACHMENT B**

This forms part of application  
# Z17-0023

Planner Initials **AC**

**City of Kelowna**  
COMMUNITY PLANNING

## **Introduction**

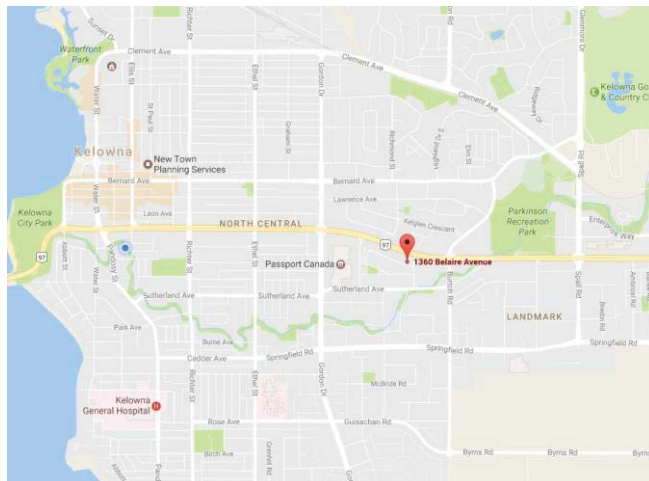
This application is for re-zoning and development permit to accommodate a 17 unit multi-residential building located at 1360 Belaire Ave. This infill project is a very unique structure with contemporary architectural design and no variances.



## **Site Context**

The subject site consists of a single lot roughly 0.24 acres in size that is located between Belaire Ave and Harvey Ave (Hwy97).

The property is zoned RU6, Two Dwelling Housing. The Future Land Use Designation is Medium Density Multiple Residential, as prescribed by the City of Kelowna OCP.



**Site Location**  
Source: Google Map



**Site Context**  
Source: Kelowna City Map

## Overview

The owner is aiming to rezone the property to RM5, Medium Density Multiple Housing, and undertake a Development Permit to facilitate the construction of a 17 unit multi-residential building. The units in this building are anticipated to be primarily rental micro-units, with a single studio caretaker unit. In accordance with Section 9.11 in the City of Kelowna Zoning Bylaw, this project is well within 400m of several bus stops and is within the Capri/Landmark Urban Center, so is thus eligible to provide micro suites under the RM5 Zone.

The structure has been designed with significant contemporary influence and hosts sharp, clean lines like many other modern Okanagan buildings. The use of earth tones and wood textures is intended make the building appear friendly and warm. Exterior materials consist of wood toned fiber cement siding, stucco, and concrete. These high quality materials will create a durable and low maintenance building. The RM5 setback increases above 2 storeys which creates the opportunity for generously sized decks on this level. Additional amenity space is provided at-grade in a semi-private landscaped seating area adjacent to the building.





Parking is provided at-grade below the building and is screened from view of the street and neighboring properties. Screening will be provided by a fully opaque fence around the property, which will also serve as noise mitigation. All parking is setback a min of 1.5m from property boundaries. This 1.5m will be provided as a landscaped buffer with low shrubs and grasses to create a more inviting parking environment than a typical underground condo structure. Bike parking will be provided in excess of Zoning Bylaw requirements and will consist of outdoor bike racks and a locked room.

This property hosts many mature trees that are to be preserved and integrated into the design. There is a dense band of trees at rear of the property that serve as a buffer to Harvey Ave. These trees will be retained to dampen the noise and visual impact created by the Highway. Additionally, there are several large trees at the front of the property that will remain. These trees will enhance the street interface and create a feeling of the building being “tucked within” a small forest.



## Conclusion

While smaller than many multi-family development projects in Kelowna, this building still makes excellent use of the site and fits within the RM5 zone with **no variances required**. The City of Kelowna has identified the need to increase density within existing single family neighborhoods by encouraging infill housing. Infill housing is a key tool to combat sprawl and low rental vacancy rates within the city. In keeping with that principle, this project will provide 17 much needed rental units within the landmark neighborhood. Furthermore, the rezoning to RM5 matches the intent of the City of Kelowna OCP Land Use Designation of Medium Density Multiple Residential. The combination of appropriate land use, the provisions of needed rental stock, and retention of existing trees makes this an appropriate infill project. The applicant requests support from staff and council for this application.



# NOT FOR CONSTRUCTION

## BELAIRE AVENUE CONDOMINIUM

### BELAIRE AVE, KELOWNA, B.C.



ZONING BYLAW SUMMARY		
	REQUIRED	PROPOSED
ZONE:	RM5	RM5
PERMITTED USE:	MEDIUM DENSITY MULTIPLE HOUSING	MEDIUM DENSITY MULTIPLE HOUSING
MAXIMUM FLOOR AREA RATIO:	1.1	0.60
MAXIMUM SITE COVERAGE:	40 %	34 %
MAXIMUM SITE COVERAGE OF BUILDINGS, DRIVEWAYS & PARKING:	65 %	62 %
MAXIMUM HEIGHT:	18 m OR 4.5 STOREYS	13.4 m OR 4.0 STOREYS
MINIMUM FRONT SETBACK:	6.0m (BELAIRE AVENUE)	6.0 m
MINIMUM SIDE SETBACK (BELOW 2.5 STOREYS):	4.5 m	4.5 m
MINIMUM SIDE SETBACK (ABOVE 2.5 STOREYS):	7.0 m	7.0 m
MINIMUM REAR SETBACK:	9.0 m	9.0 m

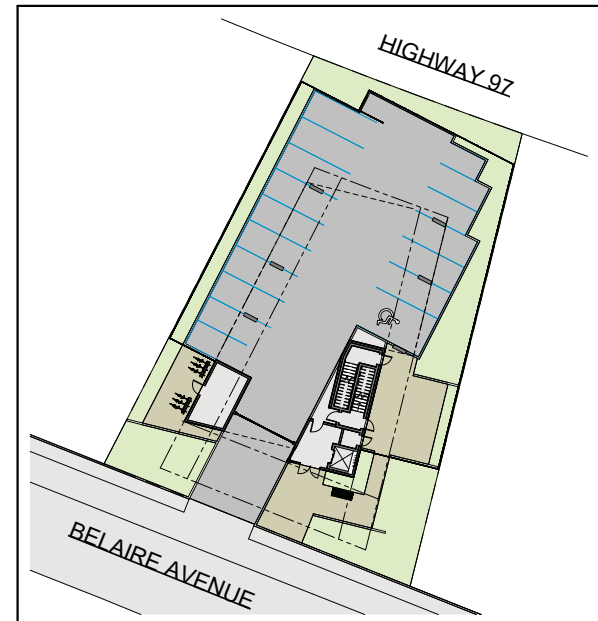
## ARCHITECTURAL:

NEWTOWN ARCHITECTURE & ENGINEERING  
1464 ST. PAUL STREET KELOWNA, B.C. V1Y 2E6  
PH: 250-860-8185

A0.00	COVER SHEET & DWG LIST
A2.00	SITE PLAN
A2.01	BUILDING IMAGES
A2.02	BUILDING IMAGES
A2.03	BUILDING IMAGES
A3.01	LEVEL 1 FLOOR PLAN
A3.02	LEVEL 2 FLOOR PLAN
A3.03	LEVEL 3 FLOOR PLAN
A3.04	LEVEL 4 FLOOR PLAN
A3.05	ROOF PLAN
A3.06	LEVEL 2 UNIT PLANS
A3.07	LEVEL 2 UNIT PLANS
A3.08	LEVEL 3 & 4 UNIT PLANS
A3.09	LEVEL 3 & 4 UNIT PLANS
A4.01	BUILDING ELEVATIONS
A4.02	BUILDING ELEVATIONS
A5.00	BUILDING SECTIONS

## BUILDING/SITE SUMMARY

<b>PROPERTY #1</b>	
CIVIC ADDRESS:	1360 BELAIRE AVENUE, KELOWNA BC
LEGAL DESCRIPTION:	LOT 34 DISTRICT LOT 137 COVD PLAN 10011, PID # 005-193-851
SITE AREA:	951.69 m <sup>2</sup>
PROPOSED NET FLOOR AREA:	571.1 m <sup>2</sup>
PARKADE AREA:	481.5 m <sup>2</sup>
FLOOR AREA RATIO (FAR):	571.1 / 951.69 = 0.60
<b>PRIVATE OPEN SPACE SUMMARY:</b>	
BACHELOR (7.5m <sup>2</sup> EACH)	17 UNITS
TOTAL REQUIRED:	± 127.5 m <sup>2</sup> ± 127.5 m <sup>2</sup>
PRIVATE OPEN SPACE PROPOSED:	± 1451.28 SF (134.83m <sup>2</sup> )
<b>PARKING: NOTE VARIANCE REQUIRED</b>	
REQUIRED:	
1 STALL PER DWELLING UNIT:	17 STALLS
TOTAL REQUIRED PARKING:	17 STALLS
PROVIDED:	
ABOVE GROUND PARKING:	TOTAL PROVIDED: 17 STALLS
BICYCLE PARKING:	
APARTMENT REQUIRED	
CLASS I - 0.5 PER DWELLING UNIT: 9.5	TOTAL PROVIDED CLASS I: 10
CLASS II - 0.1 PER DWELLING UNIT: 1.9	TOTAL PROVIDED CLASS II: 6



KEYPLAN

## ATTACHMENT B

This forms part of application  
# Z17-0023

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Initials

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SEAL

Revisions

No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project

BELAIRE AVE  
CONDOMINIUM

project address

BELAIRE AVE, KELOWNA,  
BC

project no. 4010

file

COVER SHEET  
& DWG LIST

designed: \_\_\_\_\_

drawn: \_\_\_\_\_

checked: \_\_\_\_\_

drawing no. \_\_\_\_\_

scale: \_\_\_\_\_

date: \_\_\_\_\_

project: \_\_\_\_\_

A0.00





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Revisions		
No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project  
**BELAIRE AVE CONDOMINIUM**

project address  
**BELAIRE AVE, KELOWNA, BC**

project no. 4010

file

drawing title  
**BUILDING IMAGES**

designed by [signature]

drawn by J.F.

checked by R.Y.

drawing no. **A2.01**

print NOV 28, 2016

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No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project  
**BELAIRE AVE CONDOMINIUM**

project address  
**BELAIRE AVE, KELOWNA, BC**

project no. 4010

file

drawing title  
**BUILDING IMAGES**

designed by

drawn by J.F.

checked by R.Y.

drawing no. **A2.02**

print NOV 28, 2016

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# Z17-0023

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No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project  
**BELAIRE AVE  
CONDOMINIUM**

project address  
**BELAIRE AVE, KELOWNA,  
BC**

project no. 4000

file

drawing title  
**BUILDING  
IMAGES**

designed: \_\_\_\_\_

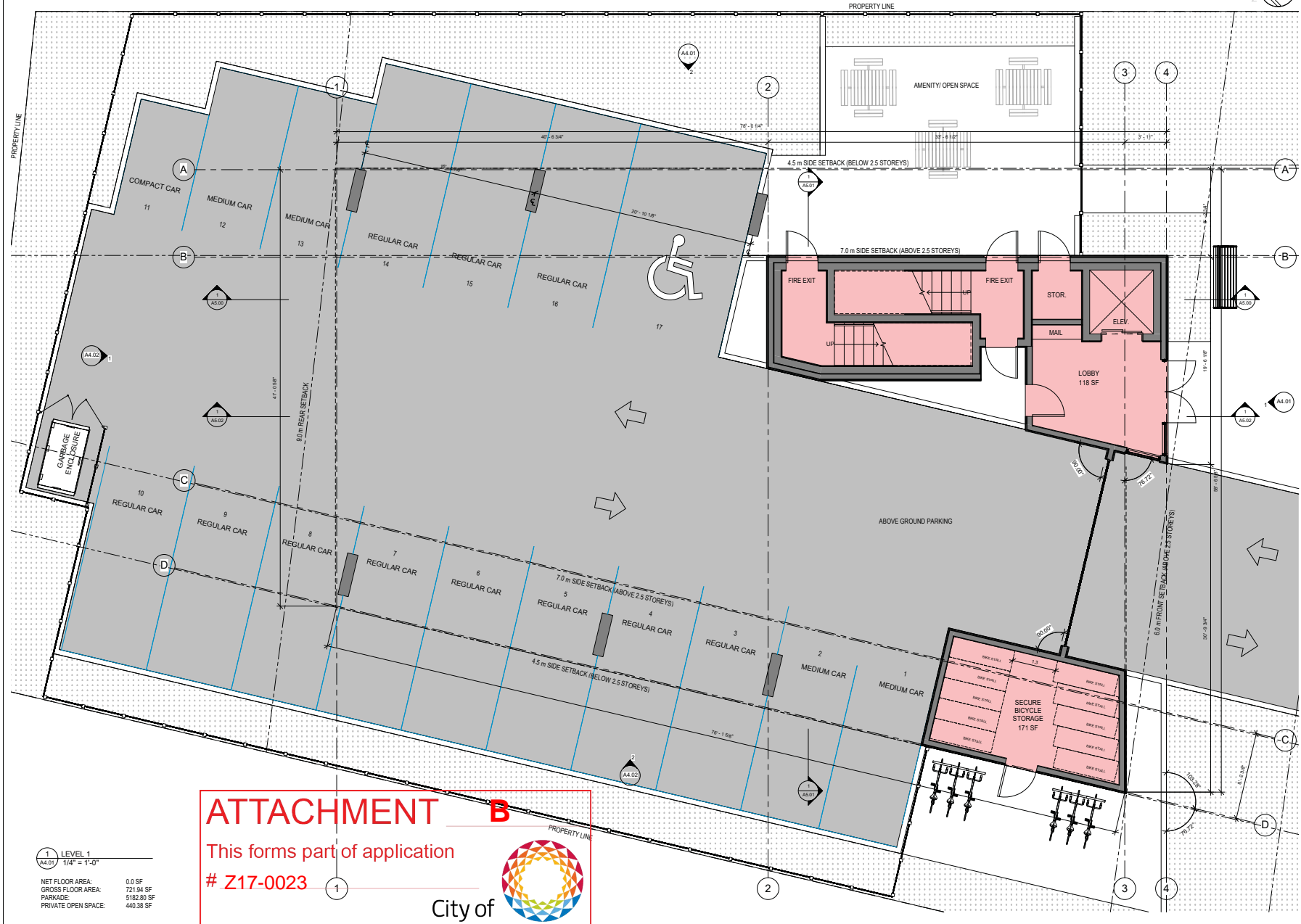
drawn: \_\_\_\_\_ J.F.

checked: \_\_\_\_\_ R.Y.

drawing no. A2.03

print: NOV 28, 2016

# NOT FOR CONSTRUCTION



1 LEVEL 1  
A4.01 1/4" = 1'-0"

NET FLOOR AREA: 0.0 SF  
GROSS FLOOR AREA: 721.94 SF  
PARKADE: 5182.80 SF  
PRIVATE OPEN SPACE: 440.38 SF

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Initials AC



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project  
**BELAIRE AVE CONDOMINIUM**

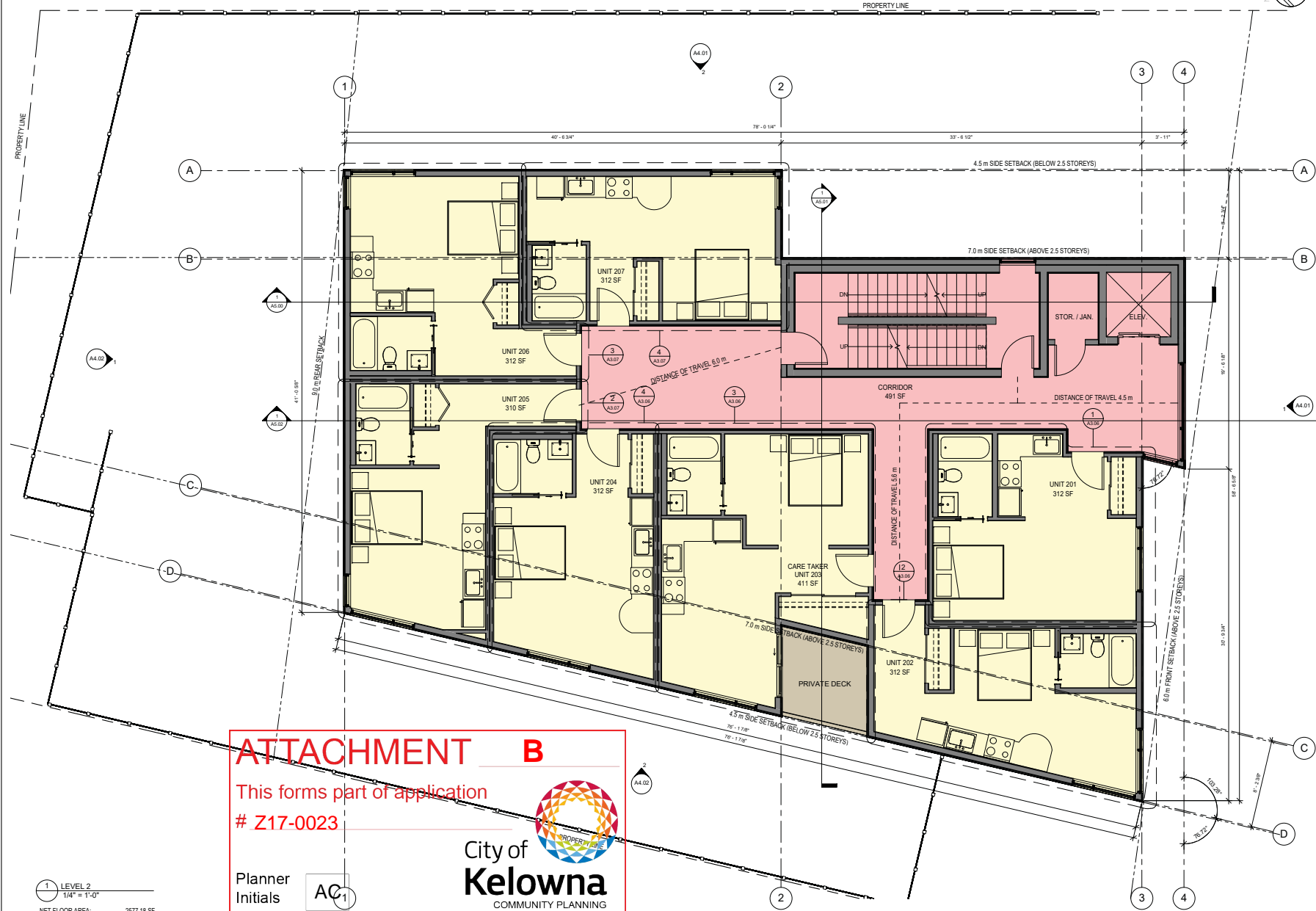
project address  
**BELAIRE AVE, KELOWNA, BC**  
project no. 4010  
drawing title  
**LEVEL 1 FLOOR PLAN**

designed: J.F.  
drawn: J.F.  
checked: R.Y.  
drawing no.

**A3.01**

print NOV 28, 2016

# NOT FOR CONSTRUCTION



1 LEVEL 2  
1/4" = 1'-0"

NET FLOOR AREA: 2577.18 SF  
GROSS FLOOR AREA: 3456.14 SF  
PRIVATE OPEN SPACE: 65.26 SF

**ATTACHMENT B**

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Planner  
Initials

AC1

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project  
**BELAIRE AVE CONDOMINIUM**

project address  
**BELAIRE AVE, KELOWNA, BC**

project no. **4010**

the

drawing title  
**LEVEL 2 FLOOR PLAN**

designer

drawn

checked

drawing no.

date

time

scale

notes

revision

approval

signature

date

time

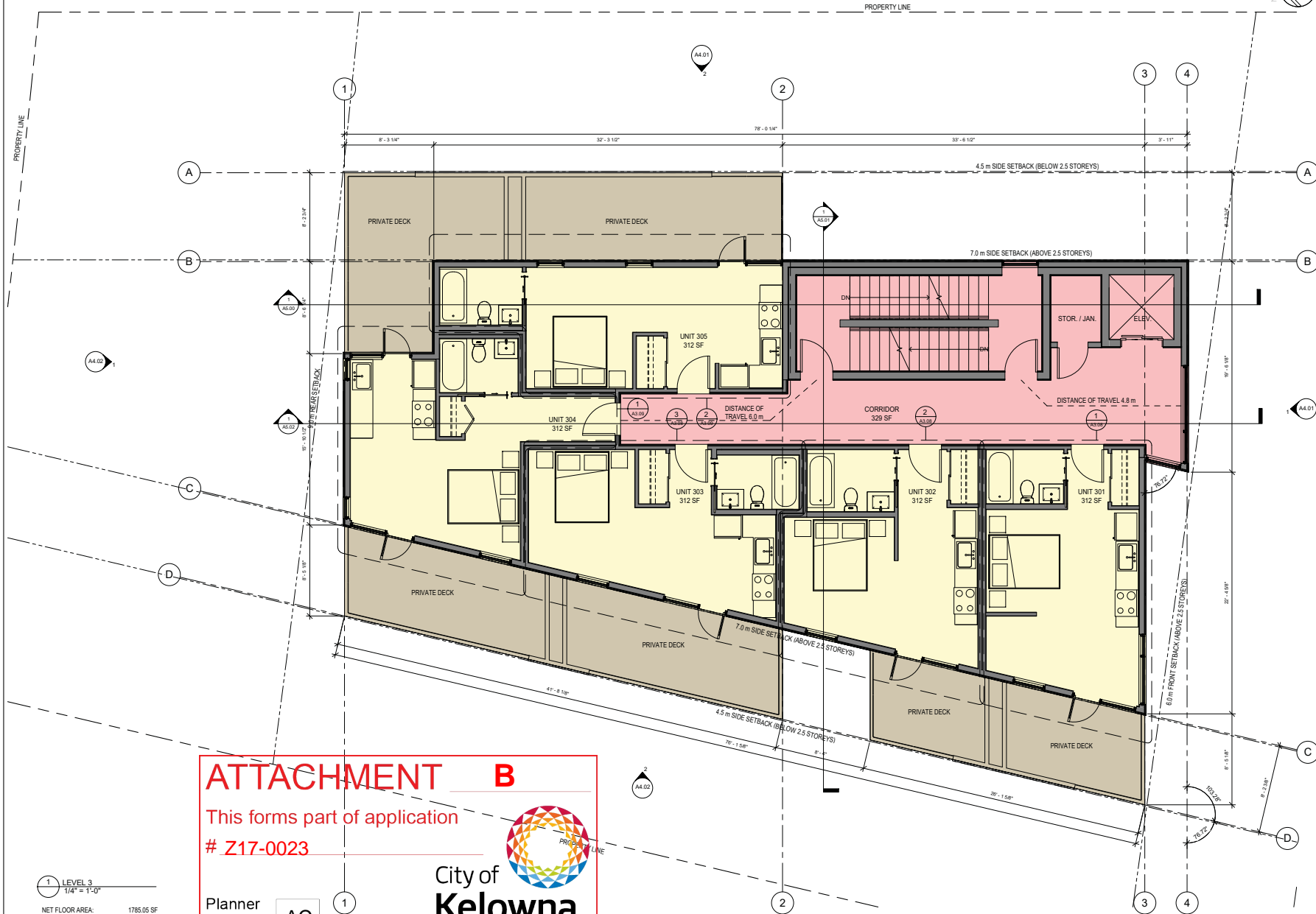
scale

notes

**A3.02**



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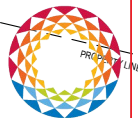
**ATTACHMENT B**

This forms part of application  
# Z17-0023

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Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING



1 LEVEL 3  
1/4" = 1'-0"

NET FLOOR AREA: 1785.05 SF  
GROSS FLOOR AREA: 2460.39 SF  
PRIVATE OPEN SPACE: 945.64 SF

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project  
**BELAIRE AVE CONDOMINIUM**

project address  
**BELAIRE AVE, KELOWNA, BC**

project no. **4010**

the

drawing title  
**LEVEL 3 FLOOR PLAN**

designer

date

drawn

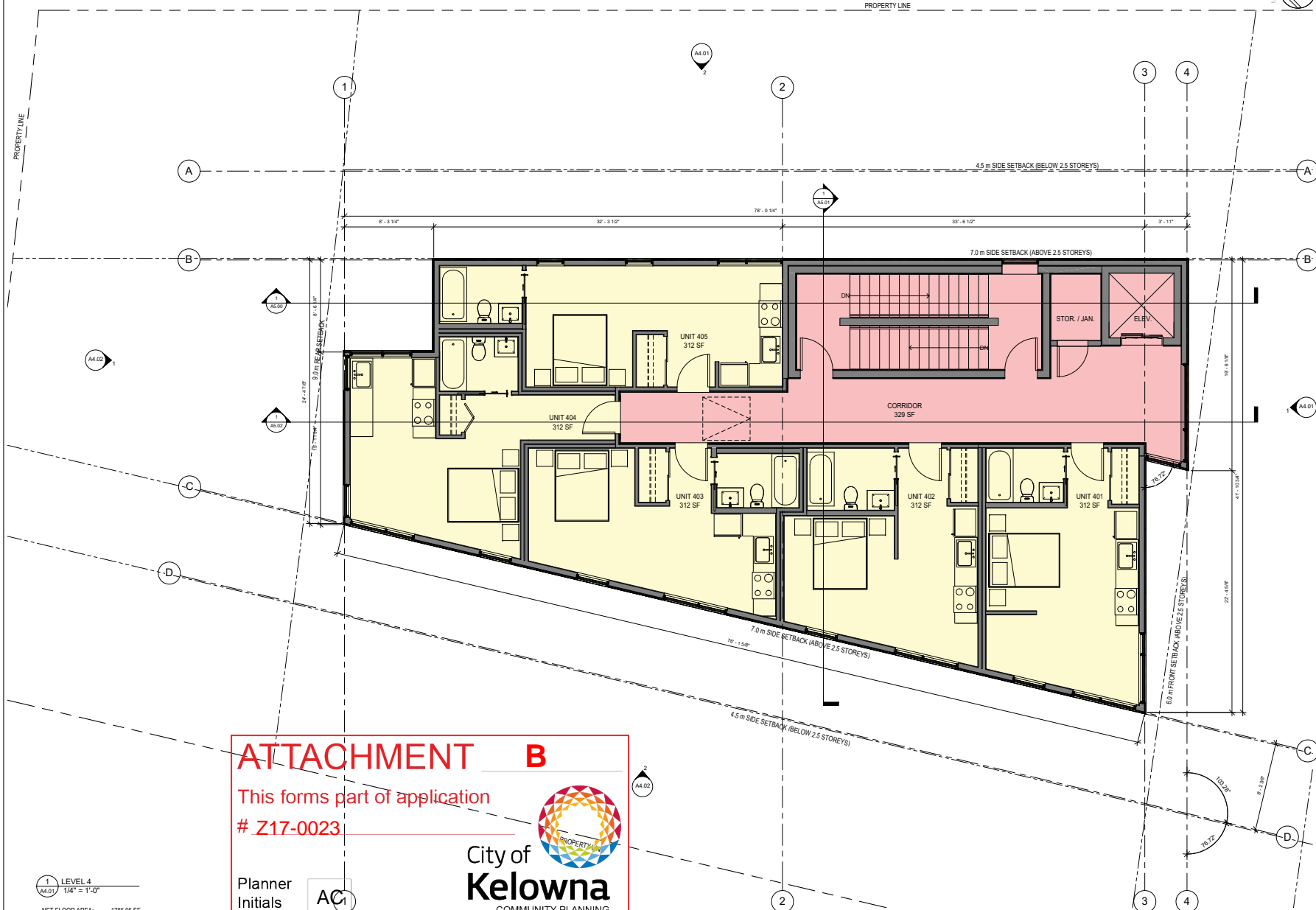
checked

drawing no.

**A3.03**

john NOV 28, 2016 04/2017 10/20/24 AM

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	1	MAR 6, 2017	ISSUED FOR DP

project  
**BELAIRE AVE CONDOMINIUM**

project address  
**BELAIRE AVE, KELOWNA, BC**

project no. **4010**

drawing title  
**LEVEL 4 FLOOR PLAN**

designer **J.F.** scale **1/4" = 1'-0"**

drawn **J.F.**

checked **J.F.**

drawing no. **A3.04**

DATE NOV 28, 2016 04/03/2017 10:20:27 AM

This drawing must not be scaled  
Verify all dimensions and datums prior to  
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No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project  
**BELAIRE AVE  
CONDOMINIUM**

project address  
**BELAIRE AVE, KELOWNA  
BC**

project no. 4210

file

drawing title  
**ROOF PLAN**

designed	scale	1/4" = 1'-0"
drawn	J.F.	
checked	D.H.	

**A3.05**

route	MCU per node
-------	--------------

This forms part of application  
# Z17-0023

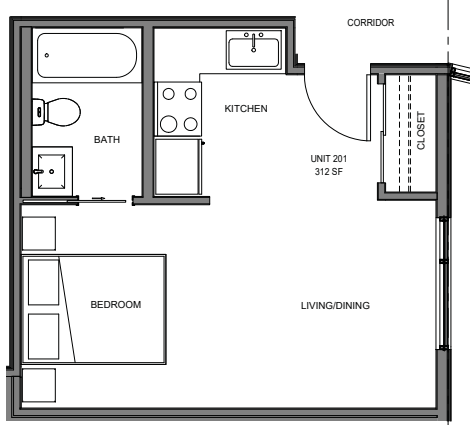


City of Kelowna  
COMMUNITY PLANNING

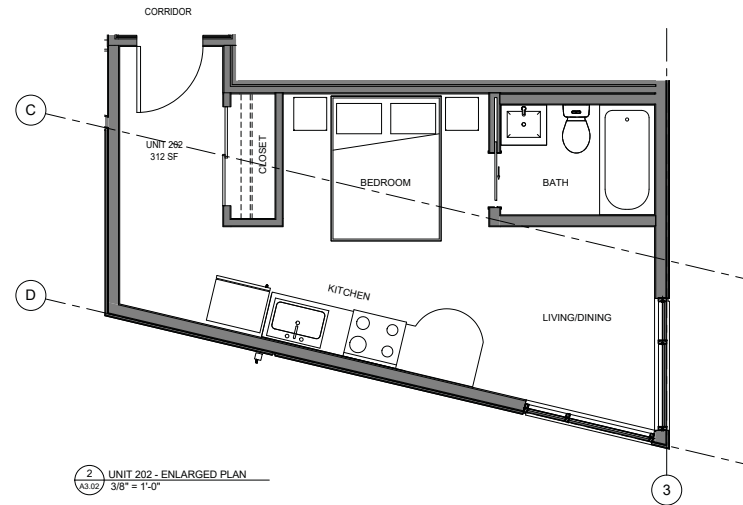
Planner Initials AC

1 ROOF PLAN  
A4.01 1/4" = 1'-0"

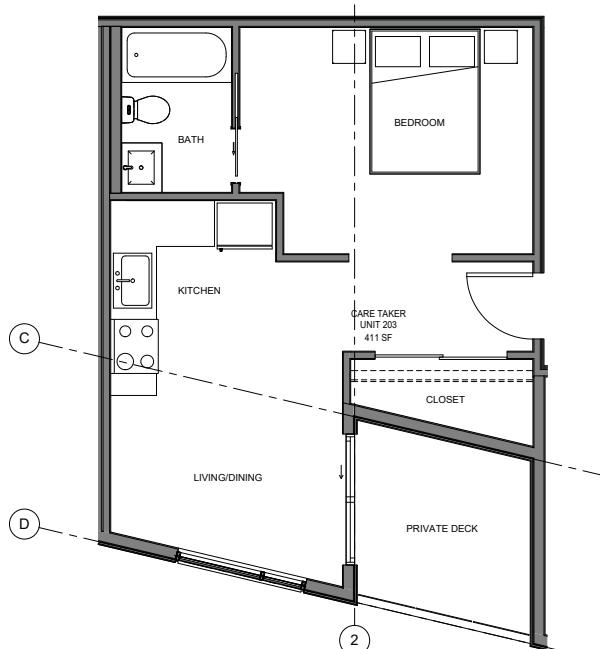
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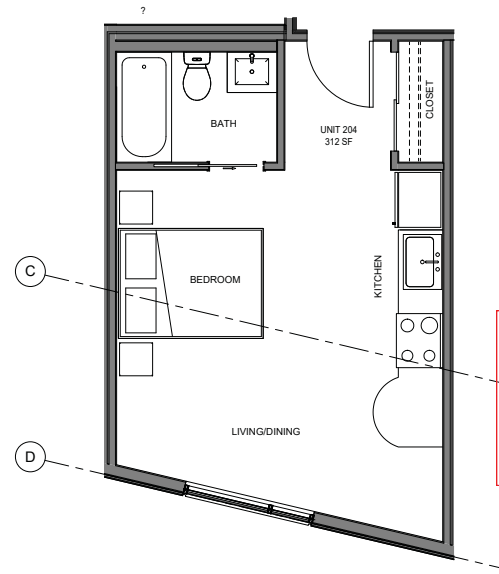
1 UNIT 201 - ENLARGED PLAN  
A3.02 3/8" = 1'-0"



2 UNIT 202 - ENLARGED PLAN  
A3.02 3/8" = 1'-0"



3 UNIT 203 (CARETAKER) - ENLARGED PLAN  
A3.02 3/8" = 1'-0"



4 UNIT 204 - ENLARGED PLAN  
A3.02 3/8" = 1'-0"

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# Z17-0023

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No	Date	Description
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project  
**BELAIRE AVE CONDOMINIUM**  
project address  
**BELAIRE AVE, KELOWNA, BC**  
project no. 4010  
file

drawing title  
**LEVEL 2 UNIT PLANS**

designed: JLB  
drawn: JLF  
checked: R.Y.  
drawing no.

**A3.06**

print NOV 28, 2016

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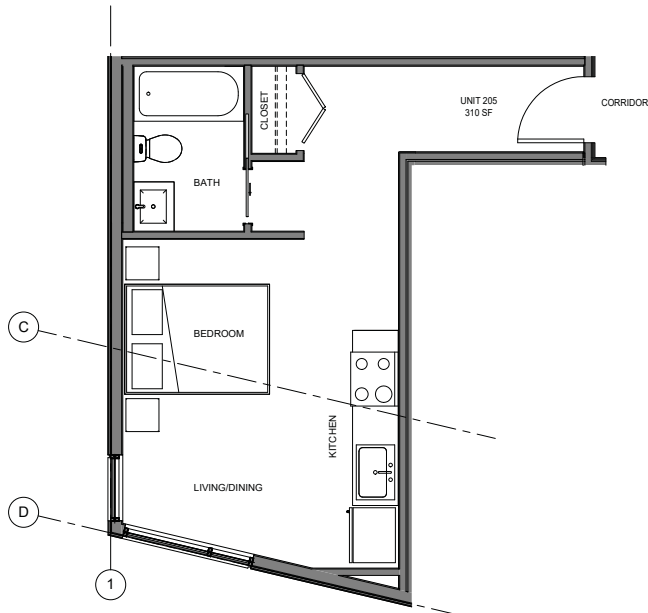
Report all errors and omissions to the Architect.



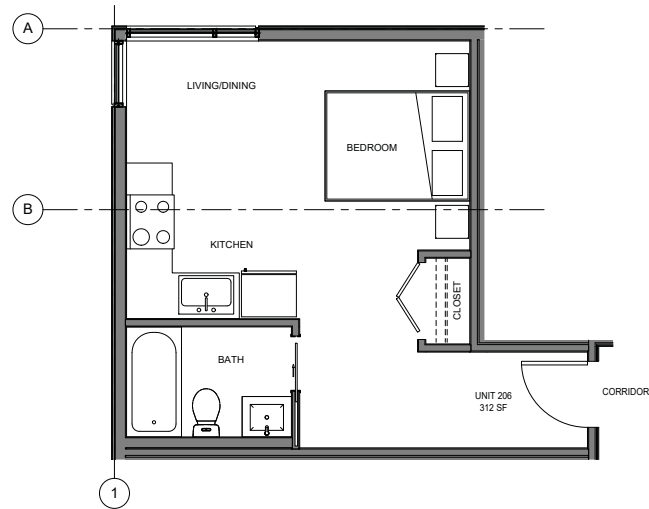
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SEAL

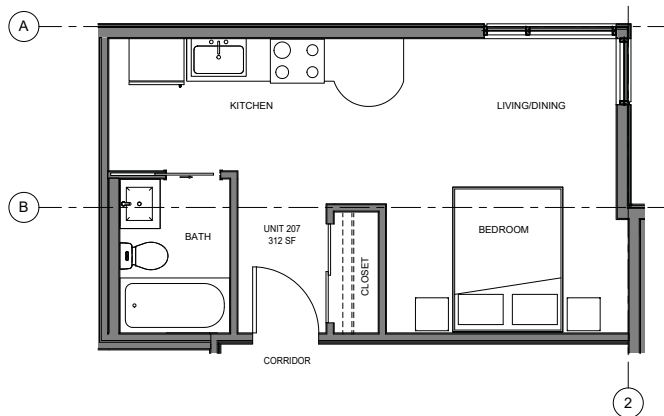
Revisions		
No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP



2 UNIT 205 - ENLARGED PLAN  
A3.02/ 3/8" = 1'-0"



3 UNIT 206 - ENLARGED PLAN  
A3.02/ 3/8" = 1'-0"



4 UNIT 207 - ENLARGED PLAN  
A3.02/ 3/8" = 1'-0"

**ATTACHMENT B**

This forms part of application  
# Z17-0023

Planner Initials AC

City of Kelowna  
COMMUNITY PLANNING

project  
**BELAIRE AVE CONDOMINIUM**

project address  
**BELAIRE AVE, KELOWNA, BC**

project no. 4010

file

drawing title  
**LEVEL 2 UNIT PLANS**

designed: [ ] scale: 3/8" = 1'-0"

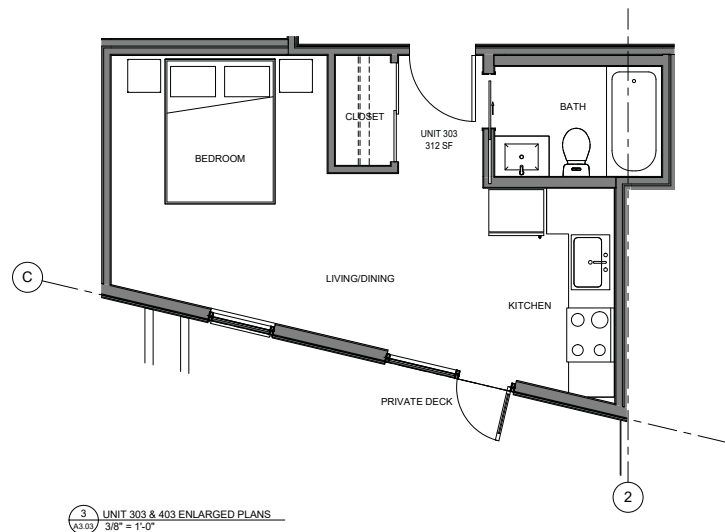
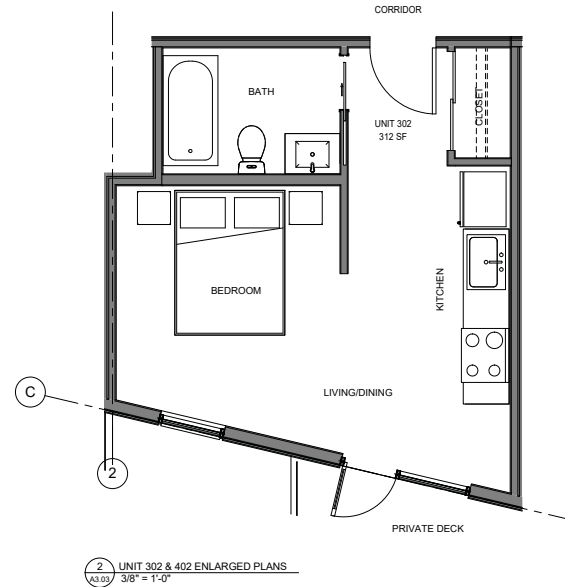
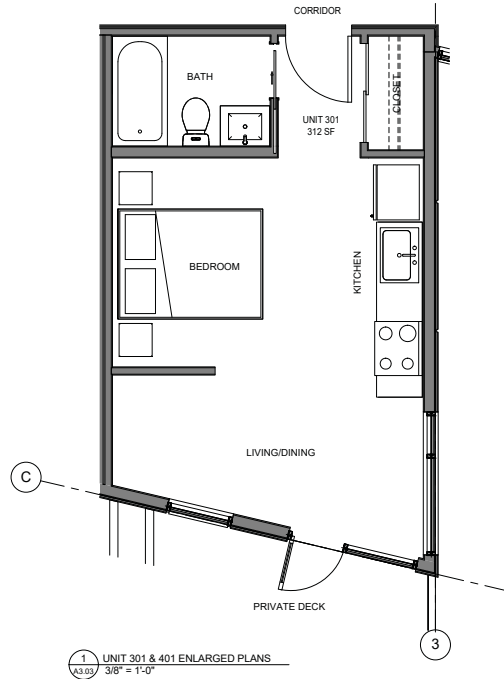
drawn: J.F.

checked: R.Y.

drawing no.  
**A3.07**

print: NOV 28, 2016

# NOT FOR CONSTRUCTION



## ATTACHMENT B

This forms part of application  
# Z17-0023

Planner  
Initials AC



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SEAL

Revisions		
No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

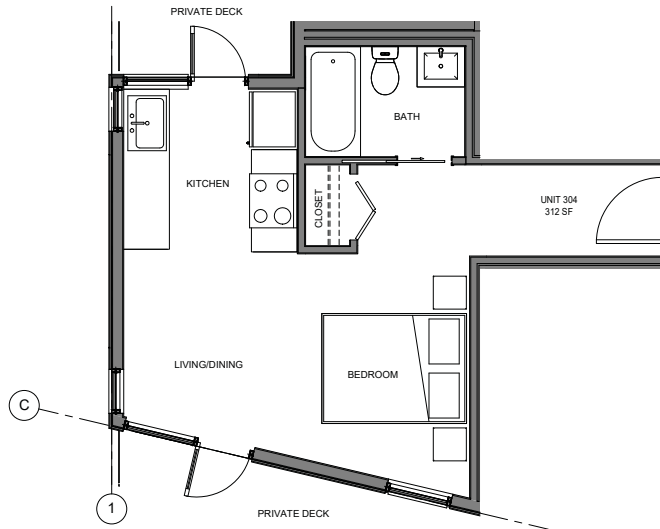
project  
**BELAIRE AVE CONDOMINIUM**  
project address  
**BELAIRE AVE, KELOWNA, BC**  
project no. 4010  
file  
drawing title  
**LEVEL 3 & 4 UNIT PLANS**

designed: [blank] scale: 3/8" = 1'-0"  
drawn: J.F.  
checked: R.Y.  
drawing no.

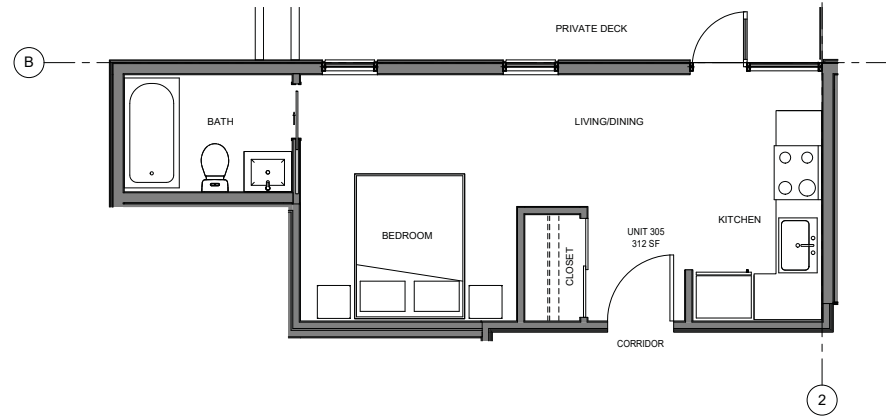
**A3.08**  
title NOV 28, 2016



# NOT FOR CONSTRUCTION



1 UNIT 304 & 404 ENLARGED PLANS  
A3.09 3/8" = 1'-0"



2 UNIT 305 & 405 ENLARGED PLANS  
A3.09 3/8" = 1'-0"

## ATTACHMENT B

This forms part of application  
# Z17-0023

Planner  
Initials AC



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URBAN PLANNING  
CIVIL ENGINEERING  
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SEAL

Revisions		
No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project  
**BELAIRE AVE CONDOMINIUM**

project address  
**BELAIRE AVE, KELOWNA, BC**

project no. 4010

file

drawing title  
**LEVEL 3 & 4 UNIT PLANS**

designed: J.F. scale: 3/8" = 1'-0"

drawn: J.F.









checked: R.Y.

drawing no.  
**A3.09**

print: NOV 28, 2016

# NOT FOR CONSTRUCTION

## EXTERIOR MATERIAL LEGEND

	STUCCO - LIGHT GREY/BEIGE COLOUR: TBD
	STUCCO - GRAY/BEIGE COLOUR: TBD
	CEMENT FIBER BOARD - WOOD GRAIN COLOUR: ALLURA, WOOD GRAIN, TBD
	CEMENT FIBER BOARD - SOLID BLACK COLOUR: TBD
	CEMENT COLUMN - PAINTED BLACK COLOUR: TBD
	PREFINISHED METAL FLASHING - BLACK COLOUR: TO MATCH BLACK FIBER CEMENT BOARD & WINDOWS/DOORS
	PREFINISHED METAL FLASHING - GRAY/BEIGE COLOUR: TO MATCH STUCCO FINISH
	GARAGE OVERHEAD DOOR - PAINTED TO MATCH EXTERIOR

## EXTERIOR MATERIAL LEGEND

- STUCCO - LIGHT GREY/BEIGE
- STUCCO - GRAY/BEIGE
- CEMENT FIBER BOARD - WOOD GRAIN
- CEMENT FIBER BOARD - SOLID BLACK
- WINDOWS - STYLE / MANUFACTURE TO BE CONFIRMED
- GLASS PATIO DOOR
- ALUMINUM STORFRONT - GLAZING AND DOORS
- PAINTED METAL DOORS
- ALUMINUM / GLASS GUARDRAILS
- PREFINISHED METAL FLASHINGS
- OVERHEAD PREFINISHED GARAGE DOOR
- CONCRETE COLUMNS - PAINTED

## ATTACHMENT B

This forms part of application  
# Z17-0023

Planner  
Initials AC

City of  
**Kelowna**  
COMMUNITY PLANNING



1 FRONT ELEVATION  
1/8" = 1'-0"



2 RIGHT SIDE ELEVATION  
1/8" = 1'-0"

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ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING  
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SEAL

### Revisions

No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project

**BELAIRE AVE CONDOMINIUM**

project address

**BELAIRE AVE, KELOWNA, BC**

project no.

4010

file

**BUILDING ELEVATIONS**

designed

drawn

checked

drawing no.

date

NOV 28, 2016

**A4.01**

# NOT FOR CONSTRUCTION

## ATTACHMENT B









This forms part of application  
# Z17-0023

Planner  
Initials AC

City of  
**Kelowna**  
COMMUNITY PLANNING



### EXTERIOR MATERIAL LEGEND

-  STUCCO - LIGHT GREYBEIGE  
COLOUR: TBD
-  STUCCO - GRAYBEIGE  
COLOUR: TBD
-  CEMENT FIBER BOARD - WOOD GRAIN  
COLOUR: ALLURA WOOD GRAIN, TBD
-  CEMENT FIBER BOARD - SOLID BLACK  
COLOUR: TBD
-  CEMENT COLUMN - PAINTED BLACK  
COLOUR: TBD
-  PREFINISHED METAL FLASHING - BLACK  
COLOUR: TO MATCH BLACK FIBER CEMENT BOARD & WINDOWS/DOORS
-  PREFINISHED METAL FLASHING - GRAYBEIGE  
COLOUR: TO MATCH STUCCO FINISH
-  GARAGE OVERHEAD DOOR - PAINTED TO MATCH  
EXTERIOR

### EXTERIOR MATERIAL LEGEND

- 1. STUCCO - LIGHT GREYBEIGE
- 2. STUCCO - GRAYBEIGE
- 3. CEMENT FIBER BOARD - WOOD GRAIN
- 4. CEMENT FIBER BOARD - SOLID BLACK
- 5. WINDOWS - STYLE / MANUFACTURE TO BE CONFIRMED
- 6. GLASS PATIO DOOR
- 7. ALUMINUM STORFRONT - GLAZING AND DOORS
- 8. PAINTED METAL DOORS
- 9. ALUMINUM / GLASS GUARDRAILS
- 10. PREFINISHED METAL FLASHINGS
- 11. OVERHEAD PREFINISHED GARAGE DOOR
- 12. CONCRETE COLUMNS - PAINTED



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URBAN PLANNING  
CIVIL ENGINEERING  
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SEAL

Revisions		
No	Date	Description

project  
**BELAIRE AVE CONDOMINIUM**

project address  
**BELAIRE AVE, KELOWNA, BC**

project no. 4000

file

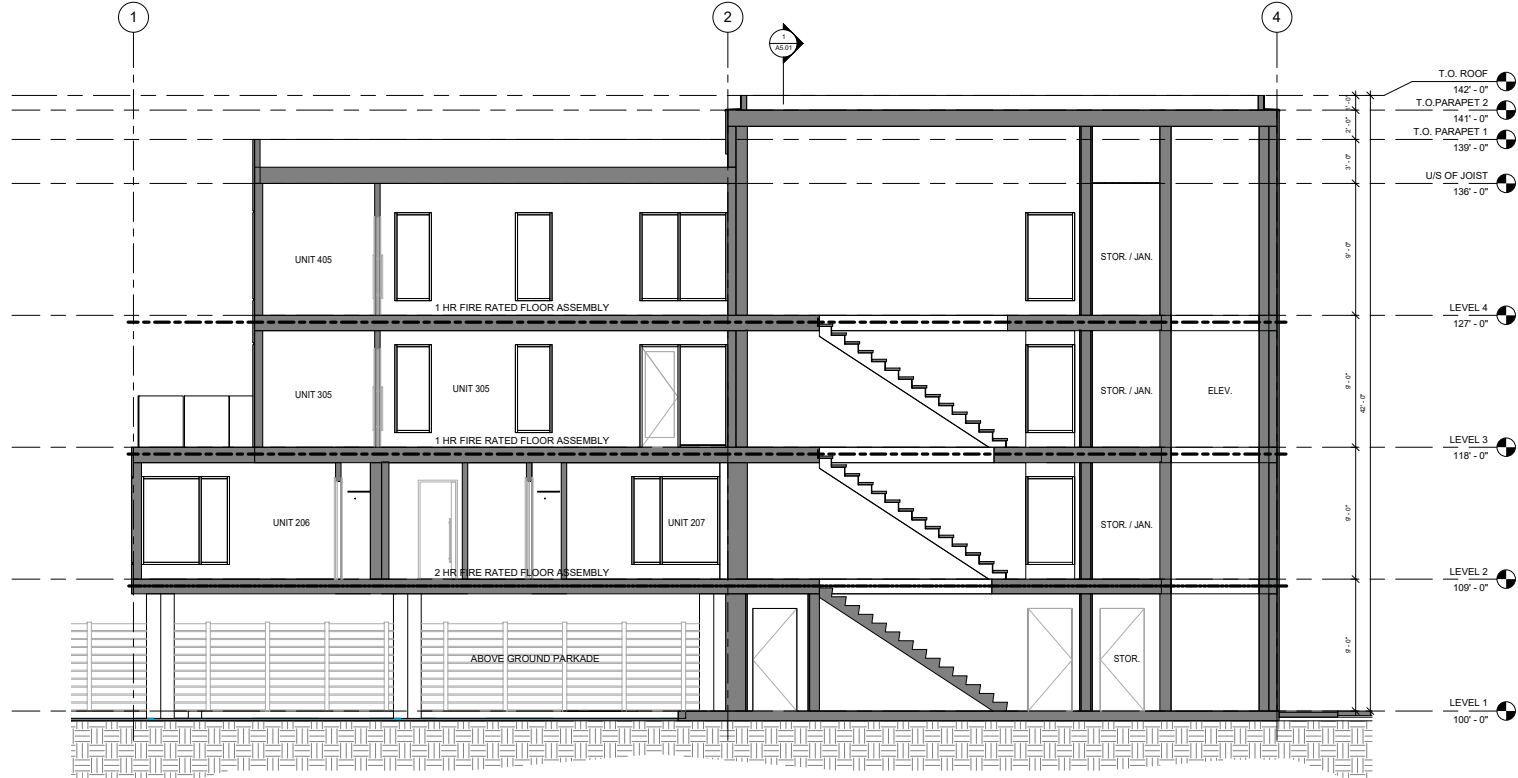
drawing title  
**BUILDING ELEVATIONS**

designed: [ ] notes: [ ]  
drawn: [ ]  
checked: [ ]  
drawing no. [ ]

**A4.02**

print NOV 28, 2016

# NOT FOR CONSTRUCTION



1  
13'-0" = 1'-0"  
BUILDING SECTION @ STAIRWELL

## ATTACHMENT B

This forms part of application  
# Z17-0023

Planner  
Initials AC



### FIRE SEPARATION LEGEND

1 HR FRR  
2 HRS FRR

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URBAN PLANNING  
CIVIL ENGINEERING  
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Revisions		
No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project  
BELLAIR AVE  
CONDOMINIUM

project address  
BELLAIR AVE, KELOWNA,  
BC

project no. 4010

file

drawing title  
BUILDING  
SECTIONS

designed by  
drawn by J.F.  
checked by R.Y.  
drawing no.

**A5.00**  
print NOV 28, 2016

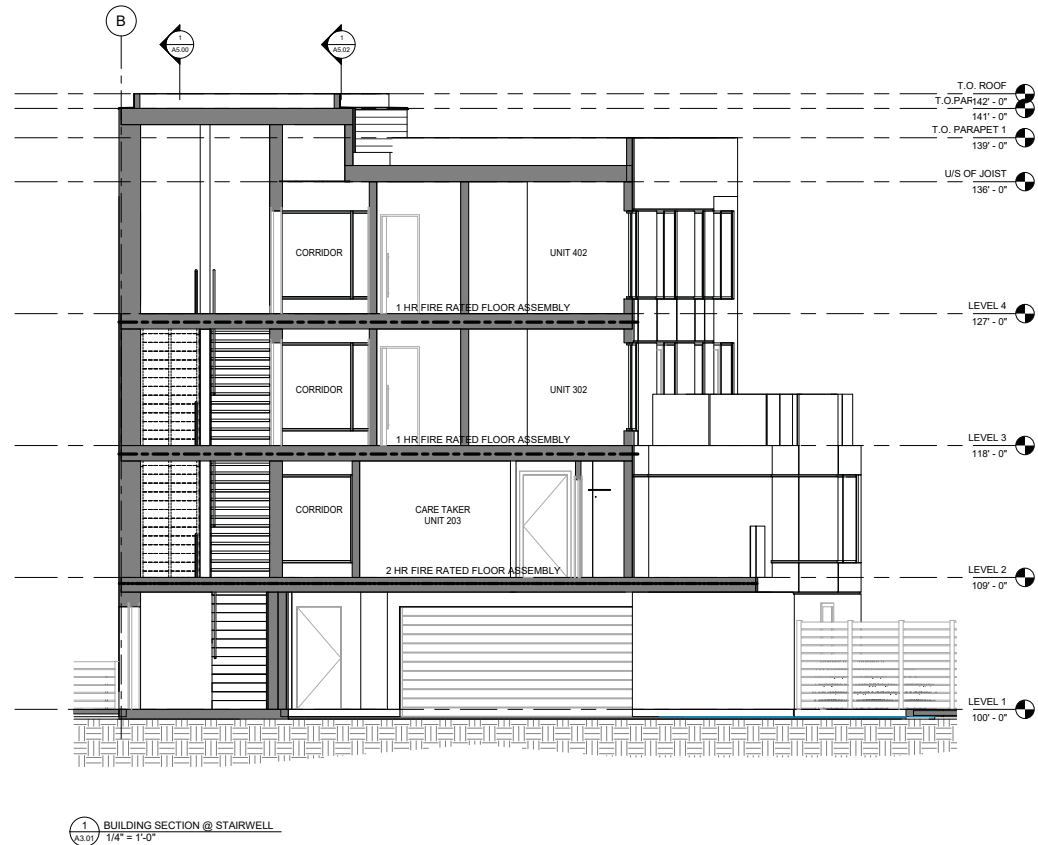
# NOT FOR CONSTRUCTION

## ATTACHMENT B

This forms part of application

# Z17-0023

Planner  
Initials AC



### FIRE SEPARATION LEGEND

1 HR FRR  
2 HR FRR

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ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING  
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SEAL

### Revisions

No	Date	Description

project

**BELAIRE AVE  
CONDOMINIUM**

project address

**BELAIRE AVE, KELOWNA,  
BC**

project no.

4010

file

drawing title

**BUILDING  
SECTIONS**

designed

drawn

checked

drawing no.

date

NOV 28, 2016

scale

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author

As indicated

date

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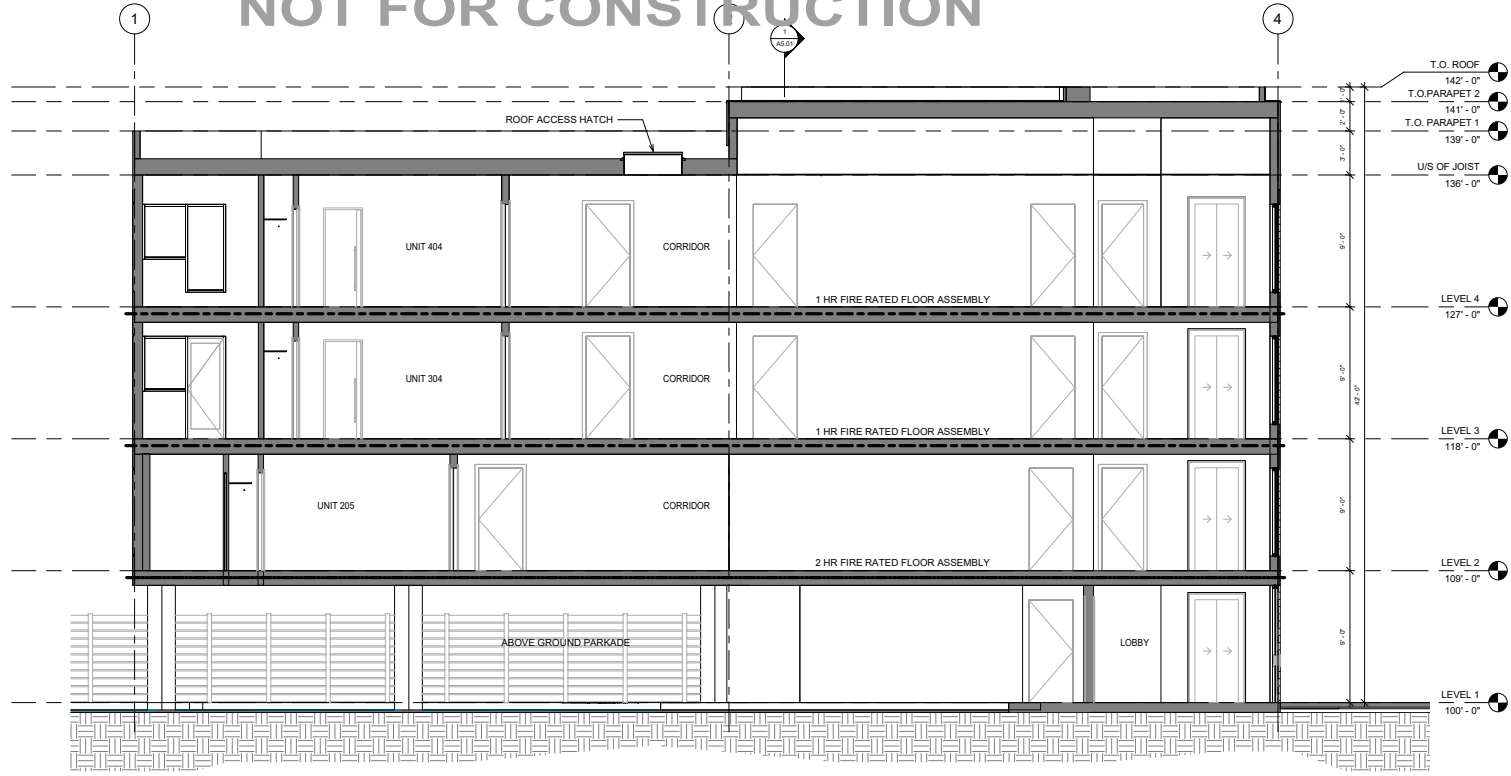
author

As indicated

date



# NOT FOR CONSTRUCTION



1 BUILDING SECTION @ CORRIDOR  
A3.01 1/4" = 1'-0"

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SEAL

Revisions		
No	Date	Description

ATTACHMENT **B**

This forms part of application  
# Z17-0023

Planner Initials

AC

City of Kelowna

COMMUNITY PLANNING

FIRE SEPARATION LEGEND		
-----	1 HR FRR	
-----	2 HRS FRR	

project  
**BELAIRE AVE CONDOMINIUM**

project address  
**BELAIRE AVE, KELOWNA, BC**

project no. 4010

file

drawing title  
**BUILDING SECTIONS**

designed: [ ] notes: As indicated

drawn: J.F.

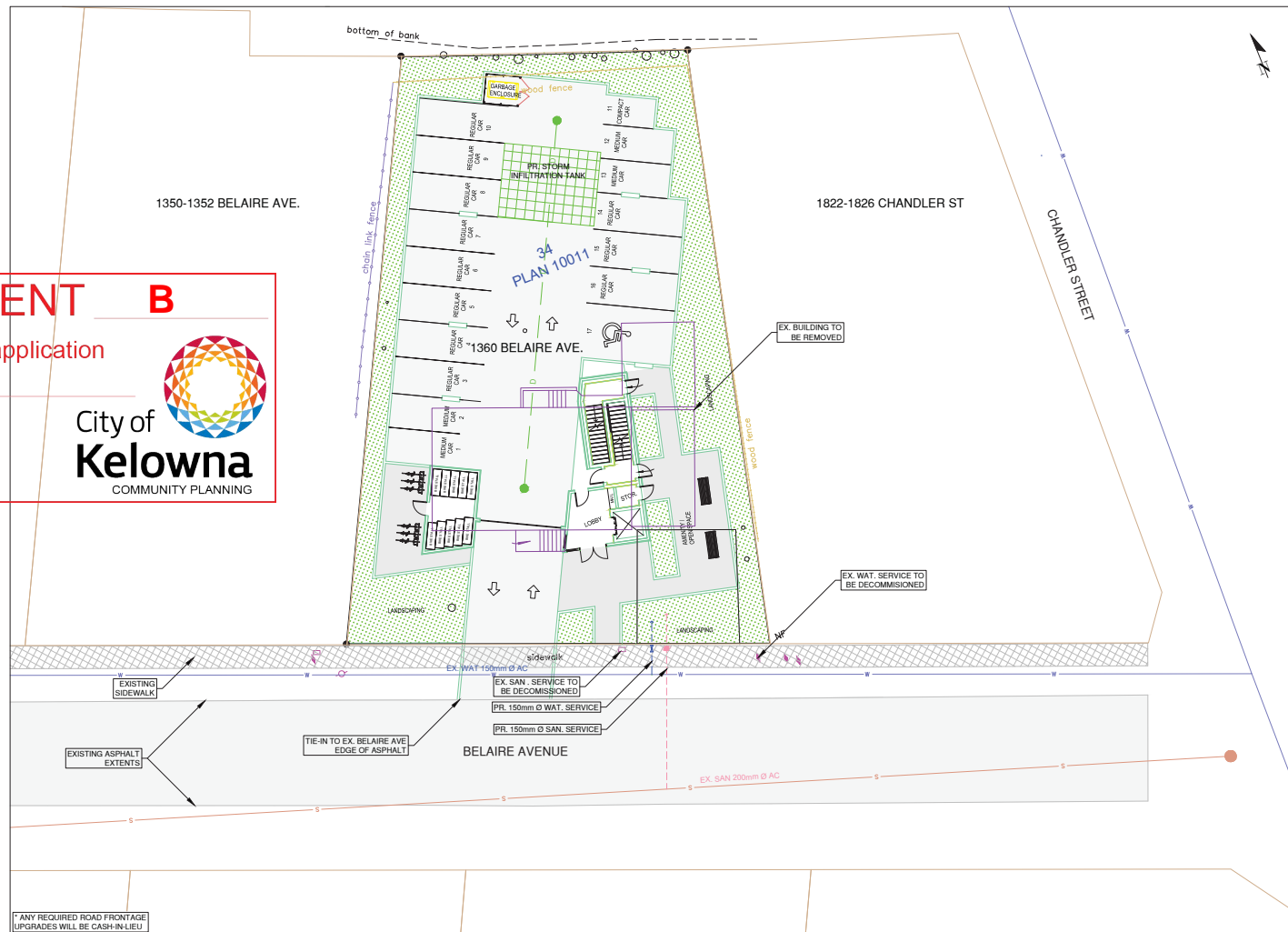
checked: [ ]

drawing no. **A5.02**

print: NOV 28, 2016

This forms part of application  
# Z17-0023

Planner Initials AC



No.	YY/MM/DD	BY	REVISION	CH'KD



BASE	JP
DESIGN	JP
APPROVED	JBK
DATE	2017/03/06
SCALE	1:150

CITY OF KELOWNA  
DESIGN AND CONSTRUCTION

---

SERVICING PLAN  
BELAIRE AVENUE CONDOMINIUM  
BELAIRE AVE, KELOWNA, B.C.

<p>The location of existing underground utilities are shown in an approximate way only &amp; have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.</p>	
DRAWING NO.	REV. NO.
101	-

# Landscape Water Conservation Report

## LANDSCAPE WATER USE AREA

Applicant: **Iniste Design** Address: **1360 Belaire Avenue Kelowna BC**

### Step 1: Measure Total Landscape Area (LA)

Area of site that will absorb water:

**242** sq.m.

Note: Include boulevard, and proposed lawn, plants, mulch, pervious decks or paving stones. Do not include areas that are not pervious such as buildings, paved driveways, concrete patios etc.

Step 2: Divide Into Landscape Treatments*		Plant Factor	Irrig Efficiency	Hydrozone Area	% of Total LA	Estimated Water
Note: each of the areas below are a 'HYDROZONE'		(PF)	(IE)	(HA)		(WU)
<b>Unwatered Pervious Areas (not impervious paving)</b>						
Mulch (Stone, bark or sand)		N/A	N/A		0%	N/A
Pervious deck (Spaced wood deck)		N/A	N/A		0%	N/A
Pervious paving (ie: AquaPave, Rima Pave)		N/A	N/A		0%	N/A
Naturalized meadow (wildflowers)		N/A	N/A		0%	N/A
Naturalized area (Existing natural area)		N/A	N/A		0%	N/A
Other:		N/A	N/A		0%	N/A
Swimming or ornamental pool		1	1	0	0%	0
<b>Watered Planting Beds (shrubs or groundcover)</b>						
<i>Planting Type</i>	<i>Irrig Efficiency</i>					
Low water use plants	High (Drip or Bubbler)	0.3	0.9	63	26%	17
Low water use plants	Moderate (Spray or Rotor)	0.3	0.7	38	16%	13
Moderate water use plants	High (Drip or Bubbler)	0.5	0.9	52	21%	23
Moderate water use plants	Moderate (Spray or Rotor)	0.5	0.7		0%	0
High water use plants	High (Drip or Bubbler)	0.7	0.9		0%	0
High water use plants	Moderate (Spray or Rotor)	0.7	0.7		0%	0
<b>Watered Mown Lawn Areas</b>						
Low		1	0.7	89	37%	102
<b>Special Landscape Areas (SLA)</b>						
Vegetable Garden	High (Drip or Bubbler)	1	0.9		0%	0
Vegetable Garden	Moderate (Spray or Rotor)	1	0.7		0%	0
Sports Lawn (Commercial / Parks)	Moderate (Spray or Rotor)	1	0.7		0%	0
Rainwater or Recycled Water Use		0.3	1		0%	0
<b>Totals</b>				242	100%	155
<b>Special Landscape Area (SLA) Sub total</b>				0		

\*If proposed design conditions are not shown on the form please contact Water Smart 250-460-0678

Applicant:

see cover

Address:

see cover

## CALCULATE & COMPARE WATER BUDGET TO ESTIMATED WATER USE

Total Landscape Area	242	sq.m.
Landscape Water Budget (WB)	194	cu.m./yr.
Estimated Landscape Water Use (WU)	155	cu.m./yr.
Under (-OVER) Budget (Must be under Water Budget WB)	39	cu.m./yr.
	OK	



I confirm by completing the attached Landscape Water Conservation Report, that the project will conform to industry best practices for landscape and irrigation installation in Kelowna. I also acknowledge that the landscape treatments of the project will conform to the Hydrozone areas as identified in the Landscape Area Water Use Area table.

Regan Hyde, CID

Name of Applicant (person submitting the form)

Date:

03-Mar-17

## FOR CITY OF KELOWNA OFFICE USE ONLY

The calculations above satisfy the requirements of the Water Regulation Bylaw 10480 Section 4.4.2 and 4.4.3. and the application is hereby APPROVED with the signature of the Water Manager or designate.

Name of Kelowna Water Smart designate  
For Water Manager

Date:

March 6, 2017

City of Kelowna  
1435 Water Street  
Kelowna, B.C. V1Y 1J4

SUBJECT: 1360 Beldaire Avenue – Beldaire Condominium Development Landscape Bonding

On behalf of New Town Services, INSITE DESIGN estimates a landscape development cost of **\$16,643.00** for the supply and installation of soft landscaping components for above noted development. This cost includes: growing medium; shrubs and perennial landscaping; planting mulch and; automatic irrigation system. This cost is exclusive of any City multiplier for bonding.

Should you have any questions pertaining to this letter, please do not hesitate to contact the undersigned.

Yours truly,

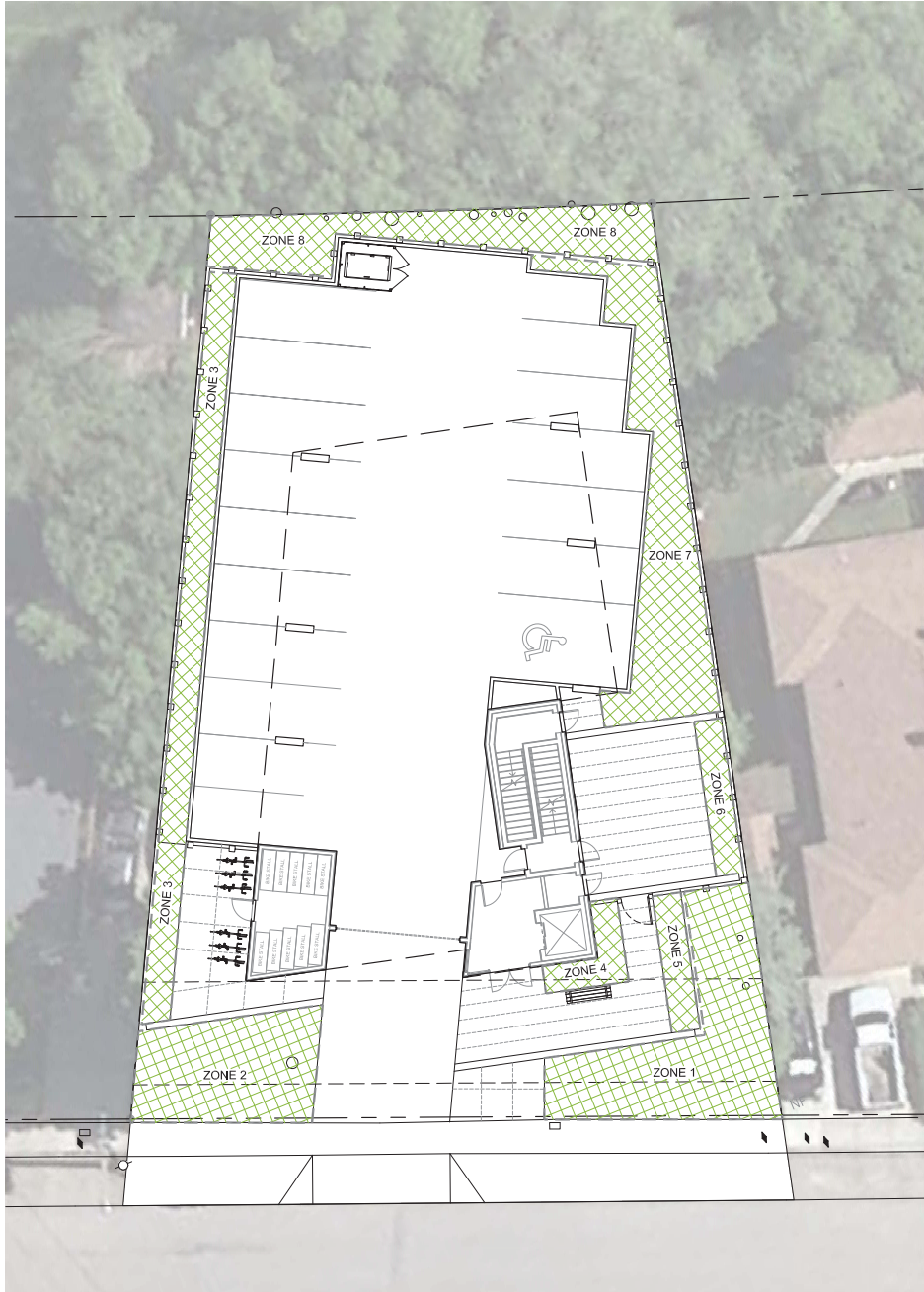


David James, MBCSLA, M.L.Arch, B.E.S  
Principal, INSITE DESIGN INC.

<b>ATTACHMENT</b>		<b>B</b>
This forms part of application		
# Z17-0023		
Planner Initials	AC	 City of <b>Kelowna</b> COMMUNITY PLANNING







## ATTACHMENT B

This forms part of application

# Z17-0023

Planner  
Initials **AC**

City of  
**Kelowna**  
COMMUNITY PLANNING



BELAIRE CONDOMINIUMS - HYDROZONES

*Hydrozone	Unit	Total	Landscape	Water Use	Mulch Type	Irrigation Comments
1,2 (on-site)	m2	89	Turf (Sod)	High	N/A	Low Volume Pop-Up Spray
3,4,5,6	m2	63	Grass / Perennial	Low	Bark	High Efficiency Subsurface Drip
7	m2	52	Shrub Hedge / Perennial	Moderate	Bark	High Efficiency Subsurface Drip
8	m2	38	Native Shrubs	Low	Bark	Temporary Irrigation

\* See Plan for Hydrozone Location

### IRRIGATION HYDROZONE NOTES:

1. IRRIGATION SYSTEM TO HAVE HIGH-EFFICIENCY SPRAY, DRIPLINE AND EMITTER COMPONENTS.
2. IRRIGATION SYSTEM TO BE EQUIPPED WITH A BACKFLOW PREVENTION DEVICE, WATER METER, FLOW SENSOR AND SHUT-OFF VALVE.
3. SCH. 40 SLEEVING TO BE PROVIDED UNDER ALL HARD SURFACES AND FEATURES.
4. ALL IRRIGATION MAINLINES TO BE LOCATED ON PRIVATE PROPERTY.

ISSUED FOR DP - NOT FOR CONSTRUCTION

### NOTES

1. PLANT MATERIAL AND CONSTRUCTION SHALL MEET OR EXCEED B.C.L.N.A STANDARDS.
2. ALL PERENNIAL AND SHRUB PLANTING AREAS TO HAVE A MIN. 0.45m GROWING MEDIUM DEPTH.
3. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A TIED AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
4. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANT SELECTIONS MAY VARY DEPENDING ON AVAILABILITY.
5. ALL PLANTING BEDS SHALL HAVE A MINIMUM 50mm DEPTH OF APPROVED MULCH.
6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. DRAWING IS NOT INTENDED FOR USE IN CONSTRUCTION.

NO.	Y/M/D	DESCRIPTION	REVISIONS / ISSUED
1	17/03/08	ISSUED FOR DP	
2	17/03/03	FOR CLIENT REVIEW	



PROJECT:  
**BELAIRE AVENUE**  
CONDOMINIUM DEVELOPMENT

1380 BELAIRE AVE.  
KELOWNA, B.C.

DESIGNED BY: DLU	SCALE: 1:100
DRAWN BY: DLU	
CHECKED BY: DLU	
PROJECT NO: 17410	

SHEET TITLE: **HYDROZONE PLAN**

SHEET NO: **LDP-2**

# B



City of Kelowna  
COMMUNITY PLANNING



**NEW TOWN**  
ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING  
[www.newtownservices.ca](http://www.newtownservices.ca)

CITY OF KELOWNA  
DESIGN AND CONSTRUCTION

---

GRADING PLAN  
BELAIRE AVENUE CONDOMINIUM  
BELAIRE AVENUE, KELOWNA, B.C.

DRAWING NO.	REV. NO.
102	-

# REPORT TO COUNCIL



**Date:** May 29, 2017

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (TB)

**Application:** Z17-0011

**Owner:**

Wayne Keith Henney

Denise Alana Henney

**Address:** 2446 Harvard Road

**Applicant:**

Wayne Keith Henney

**Subject:** Rezoning Application

Existing OCP Designation: REP – Resource Protection Area

Existing Zone: A1 – Agriculture 1

Proposed Zone: A1c – Agriculture 1 with Carriage House

---

## 1.0 Recommendation

THAT Rezoning Application No. Z17-0011 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot A, Section 33, Township 29, ODYD, Plan 9442, located at 2446 Harvard Road, Kelowna, BC from the A1 – Agriculture 1 zone to the A1 – Agriculture 1 with Carriage House zone **NOT** be considered by Council.

## 2.0 Purpose

To consider a Staff recommendation to NOT rezone the subject property that would facilitate the conversion of an existing accessory building into a carriage house.

## 3.0 Community Planning

Community Planning does not recommend support for the proposed rezoning as the subject property is not located in an urban area of the City and is outside the Official Community Plan (OCP) Permanent Growth Boundary.

The property and the surrounding neighbourhood does not have adequate urban amenities (sidewalks, cycling lanes, transit, etc.) to support even a modest increase in density and represents an inefficient use of the land. While the 3.43 acre property is not farmed today, it does have potential in the future for agricultural production and a proposed carriage house partially erodes this possibility. Further, the property is immediately adjacent to the ALR and other actively farmed properties, and so the increased density may place further pressure and conflict on the operations of these farms.



The City's Agricultural Plan reinforces this urban/rural conflict and states:

*Policy .8 Housing in Agricultural Areas.* Discourage residential development (both expansions and new developments) in areas isolated within agricultural environments (both ALR and non-ALR).

An Alternate Recommendation of support has been included in the report under Section 8.0 for Council's consideration.

#### **4.0 Proposal**

##### **4.1 Background**

The subject property is 3.43 acres and is currently zoned A1 – Agriculture. The property is not located within the Agricultural Land Reserve (ALR), but is adjacent to ALR Lands on the north east property line. The existing accessory building was constructed in 2001 and met the Zoning Bylaw requirements at that time for an accessory building. To convert the accessory building to a carriage house triggers three variances based on the different zoning requirements for an accessory building versus a carriage house.

The property is not currently actively farmed and does not have Farm Status through BC Assessment.

##### **4.2 Project Description**

The subject property is located outside of the Permanent Growth Boundary, and the Official Community Plan (OCP) Future Land Use is Resource Protection Area.

The applicants are proposing to rezone to A1c – Agriculture with Carriage House to convert the existing accessory building to a carriage house for family use. The habitable area of the carriage house would be on the upper floor while the lower floor would remain as a garage plus workshop area. The accessory building is already connected to power, water, and septic field. Access would be from the existing driveway and the carriage house would meet the parking and private outdoor space requirements.

The proposal is inconsistent with several OCP Policies. The OCP Policy regarding designated growth areas is firm in that growth and density should only occur within the Permanent Growth Boundary in order to contain urban growth and protect and preserve agricultural land. While this land is not actively being farmed, it is immediately adjacent to the ALR and is well outside the Permanent Growth Boundary. Further, the OCP Policy of Compact Urban Form encourages density where infrastructure already exists and is well serviced with amenities and transportation options. Finally, the Future Land Use is Resource Protection Area, which is a designation that does not support subdivision or further densification. This rezoning effectively increases density by allowing a second dwelling unit on the property in the form of a Carriage House.

The City of Kelowna Agriculture Plan reflects the OCP policies mentioned above and recommends against allowing isolated development that is within agricultural areas, regardless of ALR status. The Plan also directs urban uses (such as carriage house development) to urban areas in order to reduce pressure on the rural-agricultural boundary to prevent further development and speculative pressure. There is a precedent of conflict that can occur along urban-agricultural interfaces including complaints of noise, spray, tractor traffic, and prospective development encroaching on agricultural land.

The Agricultural Advisory Committee reviewed the application on March 13, 2017 and recommended support for the rezoning subject to the applicant registering a 219 Restrictive Covenant on-title restricting

any additional dwelling units on the property, including any potential additional suites or mobile home. The committee recognized that the property was not currently being used for agriculture and was not immediately adjacent to prominent ALR land and therefore would have minimal impact on agriculture in the area.

#### 4.3 Variances Requested

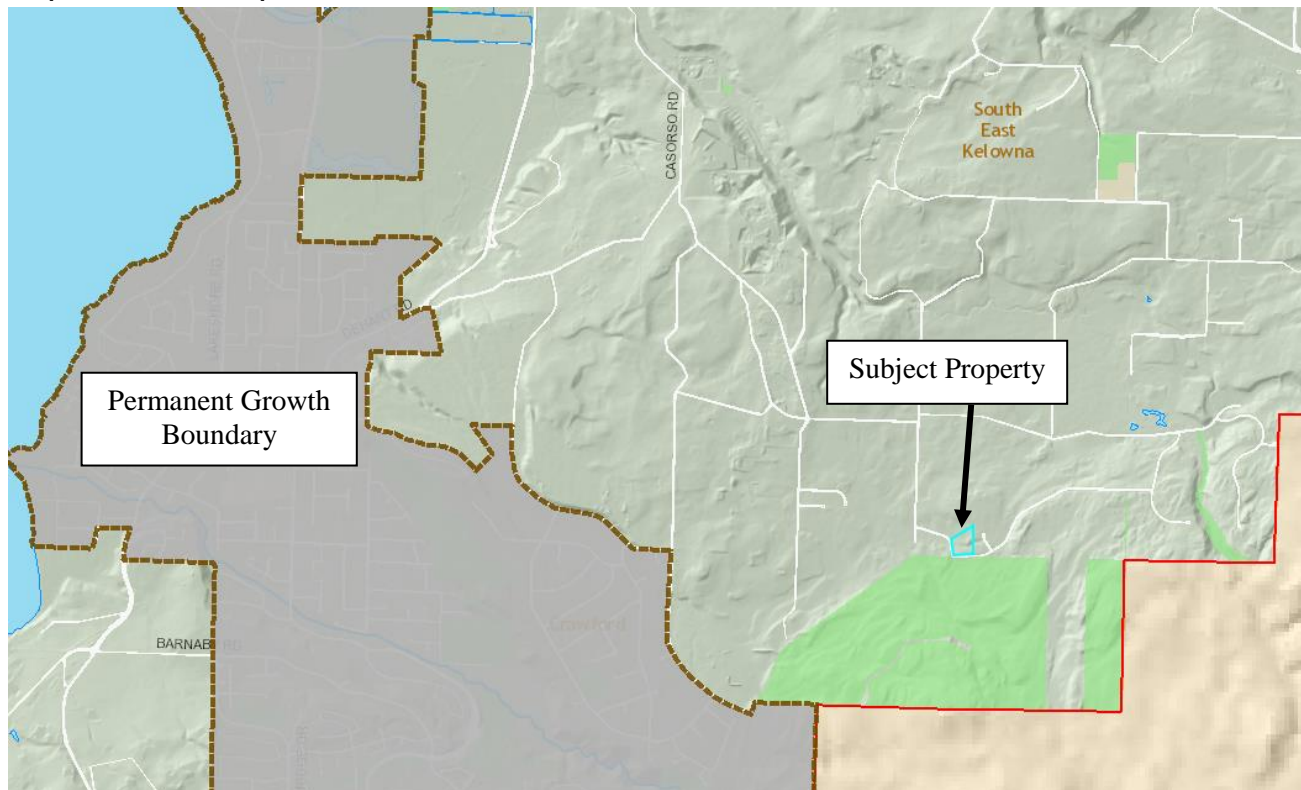
Should Council approve the rezoning, the following variances will need to be considered prior to 4<sup>th</sup> reading for the conversion of the accessory building into a carriage house. The first variance is due to the location of the accessory building being more than 10m away from the primary dwelling (10.0m required, 21.5m existing). This provision in the Zoning Bylaw was created to encourage carriage houses on agricultural land to be located close to the existing dwelling, using a residential homeplating footprint so as to have minimal impact on viable agricultural land.

The second variance is to vary the maximum height relative to the primary dwelling at peak. The Zoning Bylaw states that the carriage house must be less than the primary dwelling at mid-point and at peak. The main dwelling has an overall height at peak of 6.9m and the existing accessory dwelling as an overall height at peak of 7.43m.

The third variance is to vary the maximum footprint of a carriage house from 90m<sup>2</sup> (required) to 118.9m<sup>2</sup> (existing). The habitable floor area of the carriage house *does* meet the requirements as only the upper floor will be used as habitable space.

#### 4.4 Maps

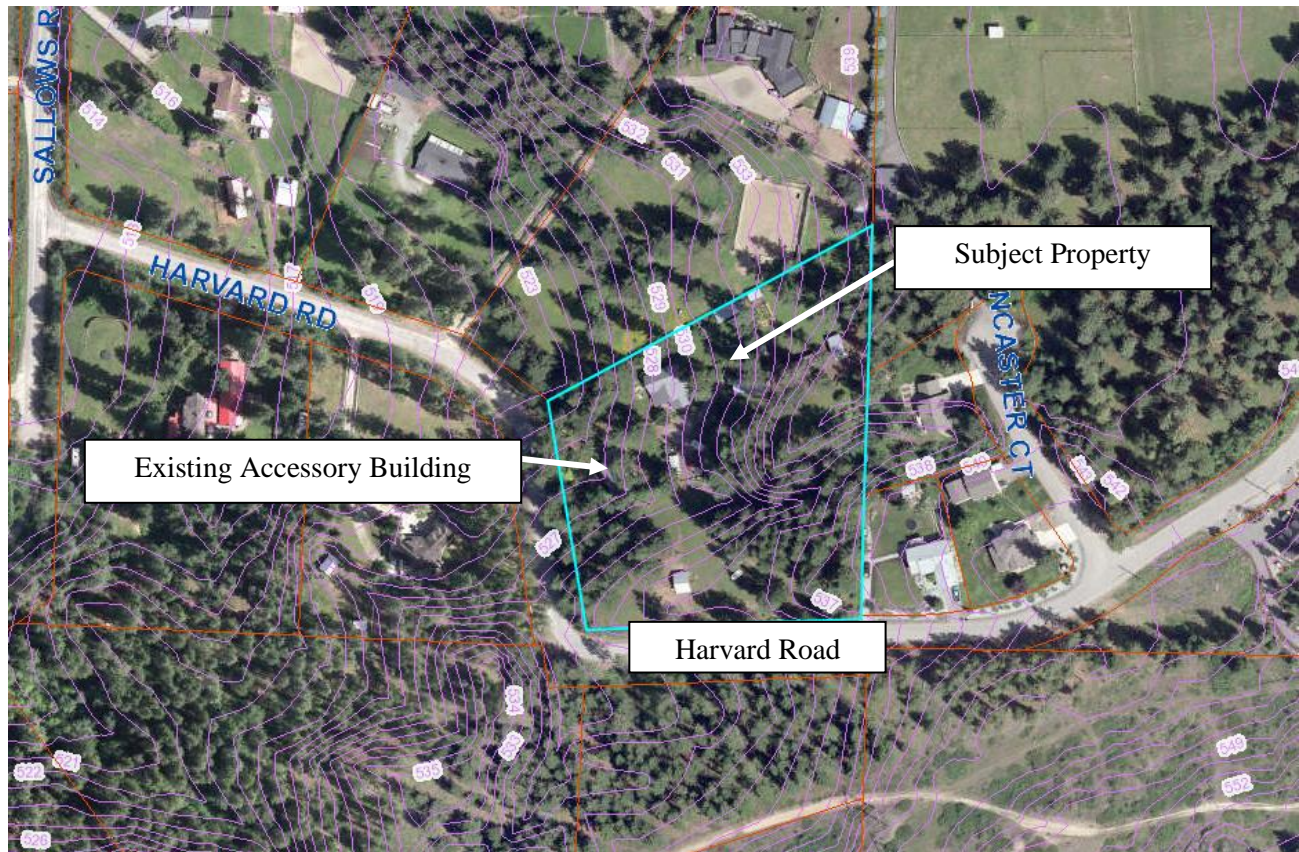
##### **Map 1 – Context Map**



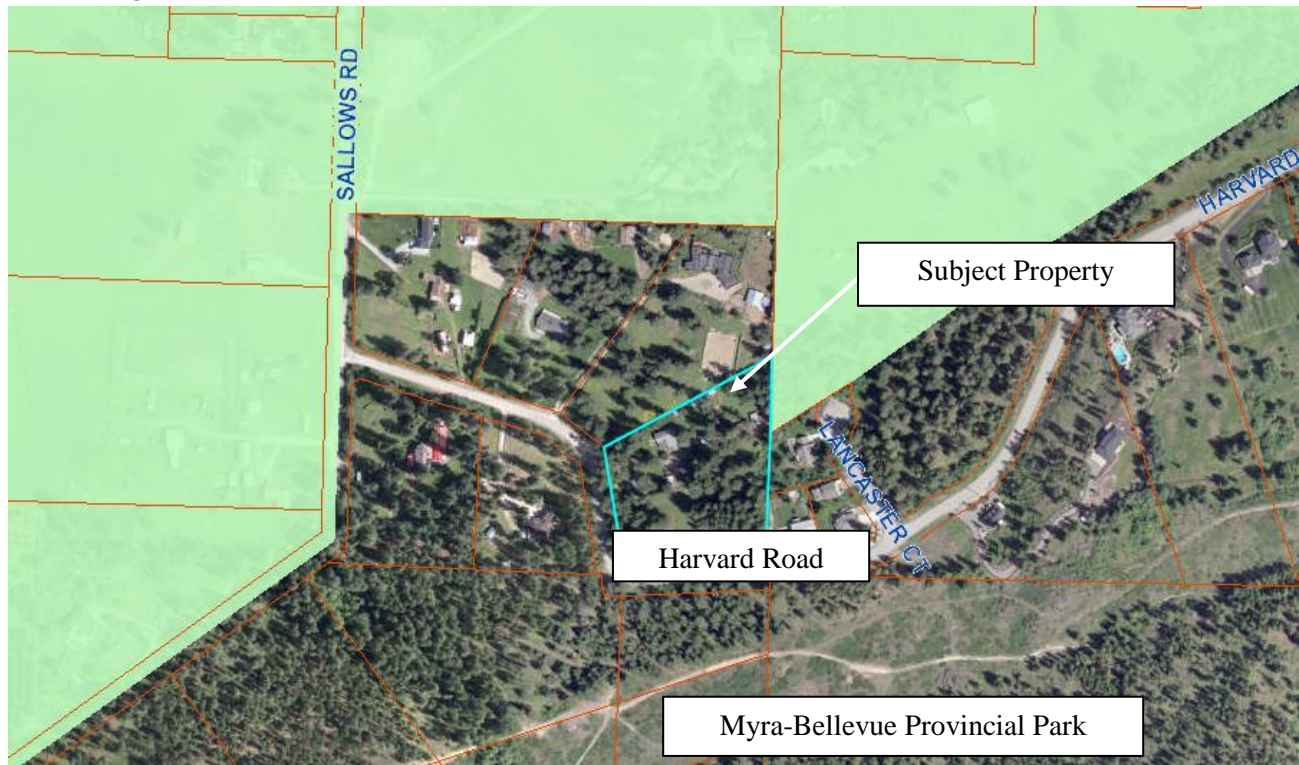




Map 2 – Neighbourhood



Map 3 – Agricultural Land Reserve



## 4.5 Neighbourhood Context

The subject property lies within the Southeast Kelowna Sector. It is located east of Sallows Road and north of Myra-Bellevue Park. The property is not located within the Permanent Growth Boundary and is adjacent ALR Land.

Orientation	Zoning	Land Use
North	A1 – Agriculture	Rural Residential
South	A1 - Agriculture	Park
East	A1 – Agriculture RR3 – Rural Residential 3	Agriculture Rural Residential
West	RR1 – Rural Residential 1	Rural Residential

## 5.0 **Current Development Policies**

### 5.1 Kelowna Official Community Plan (OCP)

#### **OCP Chapter 1: Introduction**

##### *Goals for a Sustainable Future*

Contain Urban Growth. Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

#### **OCP Chapter 4: Future Land Use**

##### *Permanent Growth Boundary (PGB)*

Lands within the permanent growth boundary may be considered for urban uses within the 20-year planning horizon ending 2030. Lands designated as Future Urban Reserve within the permanent growth boundary may be considered for urban uses beyond 2030. Lands outside the permanent growth boundary will not be supported for urban uses. Non-ALR land outside the Permanent Growth Boundary will not be supported for any further parcelization.

#### **Objective 5.3 Focus development to designated growth areas**

*Policy .2 Compact Urban Form.* Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns.

#### **Objective 5.33 Protect and enhance local agriculture**

*Policy .3 Urban Uses.* Direct urban uses to lands within the urban portion of the Permanent Growth Boundary, in the interest of reducing development and speculative pressure on agricultural lands.

*Policy .8 Housing in Agricultural Areas.* Discourage residential development (both expansions and new developments) in areas isolated within agricultural environments (both ALR and non-ALR).

#### **OCP Chapter 15: Farm Protection DP Guidelines**

##### *Objectives*

- Protect farm land and farm operations;
- Minimize the impact of urban encroachment and land use conflicts on agricultural land;
- Minimize conflicts created by activities designated as farm use by ALC regulation and non-farm uses within agricultural areas.

### *Guidelines*

- On properties located adjacent to agricultural lands, design buildings to reduce impact from activities associated with farm operations.
- On agricultural and non-agricultural lands, establish and maintain a landscape buffer along the agricultural and/or property boundary, except where development is for a permitted farm use that will not encourage public attendance and does not concern additional residences (including secondary suites).
- Design any subdivision or urban development of land to reduce densities and the intensity of uses gradually towards the boundary of agricultural lands.

## 5.2 Agriculture Plan (1998)

### **Transportation Policies**

*New Growth Areas.* Discourage the establishment of new growth areas within or beyond agricultural areas that create additional traffic pressure on the local rural road network.

### **Urban-Rural/Agricultural Boundary Policies**

*Farmland Preservation.* Direct urban uses to land within the urban portion of the defined urban – rural / agricultural boundary, in the interest of reducing development and speculative pressure, toward the preservation of agricultural lands and discourage further extension of existing urban areas into agricultural lands.

*Isolated Development.* In general, not support extensions to existing development or new development isolated within agricultural areas, regardless of ALR status.

## 6.0 **Technical Comments**

### 6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- Operable bedroom windows required as per the 2012 edition of the British Columbia Building Code (BCBC 12).
- Provide the City of Kelowna Bulletin #12-03 (Secondary Suites Requirements in a single family dwelling) for minimum requirements. The drawings submitted for Building Permit application is to indicate the method of fire separation between the suite and the garage.
- Range hood above the stove and the washroom to vent separately to the exterior of the building. The size of the penetration for this duct thru a fire separation is restricted by BCBC 12, so provide size of ducts and fire separation details at time of Building Permit Applications.
- A fire rated exit stairwell is required from the suite to the exterior c/w fire rated doors that open into the stairwell and a fire rating on the bottom of the stairs. Please provide these details on the building permit drawing sets.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications.

## 6.2 Development Engineering Department

- Please see attached Schedule "A" dated March 14, 2017

### 6.3 Bylaw Services

- No Bylaw files pertaining to property address 2446 Harvard Rd.

#### 6.4 Central Okanagan Regional District

- RDCO staff has reviewed the below-noted referral and advises that the RDCO's interests are unaffected. Thank you for the opportunity to comment.

## 6.5 Fire Department

- No concerns with the zoning. Because this site is in a Wildland Urban Interface area, vinyl siding would not be the best choice for building material.

## 6.6 Irrigation District – South East Kelowna Irrigation District

We have reviewed the above referenced application for water supply requirements. A copy of the technical review from our consulting engineers is attached for your information. Water service is available upon payment of the following fee:

Capital Expenditure Charge, Secondary Suite	\$1,200.00
---	------------

Total: \$1,200.00

## 7.0 Application Chronology

Date of Application Received: January 30, 2017

Date Public Consultation Completed: March 22, 2017

Agricultural Advisory Committee March 13, 2017

The above noted application was reviewed by the Agricultural Advisory Committee at the meeting held on March 13, 2017 and the following recommendations were passed:

**Moved by** Keith Duhaime/**Seconded by** Tarsem Goraya

THAT the Agricultural Advisory Committee recommends that Council support Rezoning Application No. Z17-0011 for the property located at 2446 Harvard Road, Kelowna, BC to rezone the subject property from the A1 - Agriculture 1 zone to the A1c - Agriculture 1 with Carriage House zone for the purposes of converting an existing accessory building to a carriage house;

AND THAT the Agricultural Advisory Committee recommends that Council support Development Variance Application No. DVP17-0027 for the property located at 2446 Harvard Road, Kelowna, BC to vary:

- the distance from primary dwelling;
- the height relative to peak of primary dwelling; and



- the maximum footprint of from 90m<sup>2</sup> required to 118.9m<sup>2</sup> existing.

**Carried**

**ANCELTAL COMMENTS:**

The Agricultural Advisory Committee recommends that a covenant be registered on title to the subject property restricting any additional dwelling units on the property, including any potential additional suite or mobile home.

**8.o Alternate Recommendation**

THAT Rezoning Application No. Z17-0011 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot A, Section 33, Township 29, ODYD, Plan 9442, located at 2446 Harvard Road, Kelowna, BC from the A1 – Agriculture 1 zone to the A1c – Agriculture 1 with Carriage House zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated May 29, 2017;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the applicant registering a 219 Restrictive Covenant on title restricting any additional dwelling units on the property including any additional suites or mobile home;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Variance Permit for the subject property.

<b>Report prepared by:</b>	Trisa Brandt, Planner
<b>Reviewed by:</b>	Todd Cashin, Subdivision, Suburban and Rural Planning Manager
<b>Reviewed by:</b>	Ryan Smith, Community Planning Department Manager
<b>Approved for Inclusion:</b>	Doug Gilchrist, Divisional Director, Community Planning & Real Estate

**Attachments:**

Attachment "A": Applicant's Application Package

Attachment "B": Photos

Schedule "A": Development Engineering Memorandum



City of  
**Kelowna**  
COMMUNITY PLANNING

[illegible]

**JOB TITLE** PROPOSED  
COACHOUSE AT  
2446 HARVARD  
ROAD  
W. HENNEY  
250-7644777

DRAWING TITLE
EXISTING SITE PHOTOS, COLOUR BOARD.

AND DESIGN	DATE	DRAWN BY	JOB No.	SCALE	DRAWING No.
INITIALS	DEC. 12 2006	TB	WCS 00-16	N.T.S.	

PARKING AREA AT TOP OF DRIVEWAY

FRONT OF HOUSE (PRINCIPLE BUILDING)



DRIVEWAY FROM FRONT GATE

## SITE VIEWS

1. **USE WOULD BE LOW IMPACT AND MINIMAL ADDITIONAL TRAFFIC:** Suite intended for single family member living in suite two to three weeks out of every six to eight weeks during time off work or as either a guest or caretaker suite for future assistance in property maintenance. Not intended for a rental suite.
2. **HISTORY OF PREVIOUS STRUCTURES AFFECTS B.C. ASSESSMENT CLASSIFICATION:** Property is classified as Actual Use OGO, two acres or more, Single Family Dwelling, Duplex. This classification may be based on two previous structures. A small cabin removed in 2001, and a mobile home just below the accessory building location circa 1960 -70s were both connected to current second septic system now in use for a toilet and sink in the garage.
3. **CURRENT BUILDING BUILT TO ZONING BYLAW:** Under Zoning Bylaw 8000, the building was built below the maximum height for an accessory building and at the time of construction there wasn't a regulation specifying maximum footprint or distance from the principal building.
4. **BUILDING IS CURRENTLY SERVICED AND READY FOR DEVELOPMENT:** The building is serviced with power fed underground to a sub-panel from the main house as are telephone and cable. A second service could be added if necessary. The building is plumbed with water and has a septic tank and field.
5. **NEIGHBOURING PROPERTIES ZONING AND USE:** Property is in a small pocket of A1, R1 and R23 zoned properties not in the A1R. There are three A1 zoned properties within approximately 100 m. and 101<sup>st</sup> zoned properties within 1.6 km. The Myra-Bellevue Provincial Park across the street has frequent visitors. Other neighbours include the Boteaga Boutique Hotel and Nagging Doubt Winery on Sallows Rd. The hotel occasionally attracts large volumes of traffic and the winery will also increase traffic as it develops. The attached South Perimeter Road extension map shows our location and future road improvements to help with increased traffic from the thousand new housing units planned for the South Slopes. Bedford to Benlouis is our main route to town. The accessory building is located within an "inner yard" area with the house of approximately .3 ha. The remaining portion of the property, 1.1 ha., is used as horse and small animal pasture and contains a small barn and three horse shelters. It is moderately treed with 75' to 100' (22 to 30 m) fir trees as shown on the attached 2015 aerial view. Due to elevation changes and a large gully through the middle of the property, it is not suitable for most other agricultural uses.
6. **SUMMERS:** There will be minimal impact on the area. One additional vehicle part-time, parked in the garage, no increases in building footprint, and no visual changes to the property. Simply finishing the existing storage area to make it habitable is all that is required.

## DESIGN RATIONALE

WEST ELEVATION

SOUTH ELEVATION

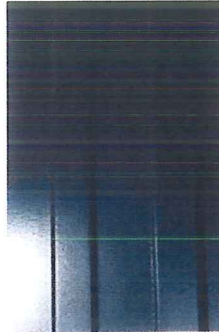


EAST ELEVATION

NORTH ELEVATION

## ELEVATIONS

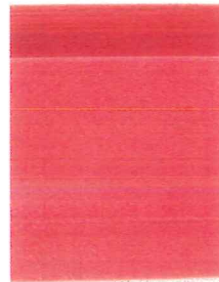
- WHITE (DOORS, WINDOWS, GUTTERS)



CHARCOAL (METAL ROOFING)



CANYON CLAY (VINYL SIDING)



RED BRICK (FACIA, TRIM, CASING)

## COLOUR BOARD

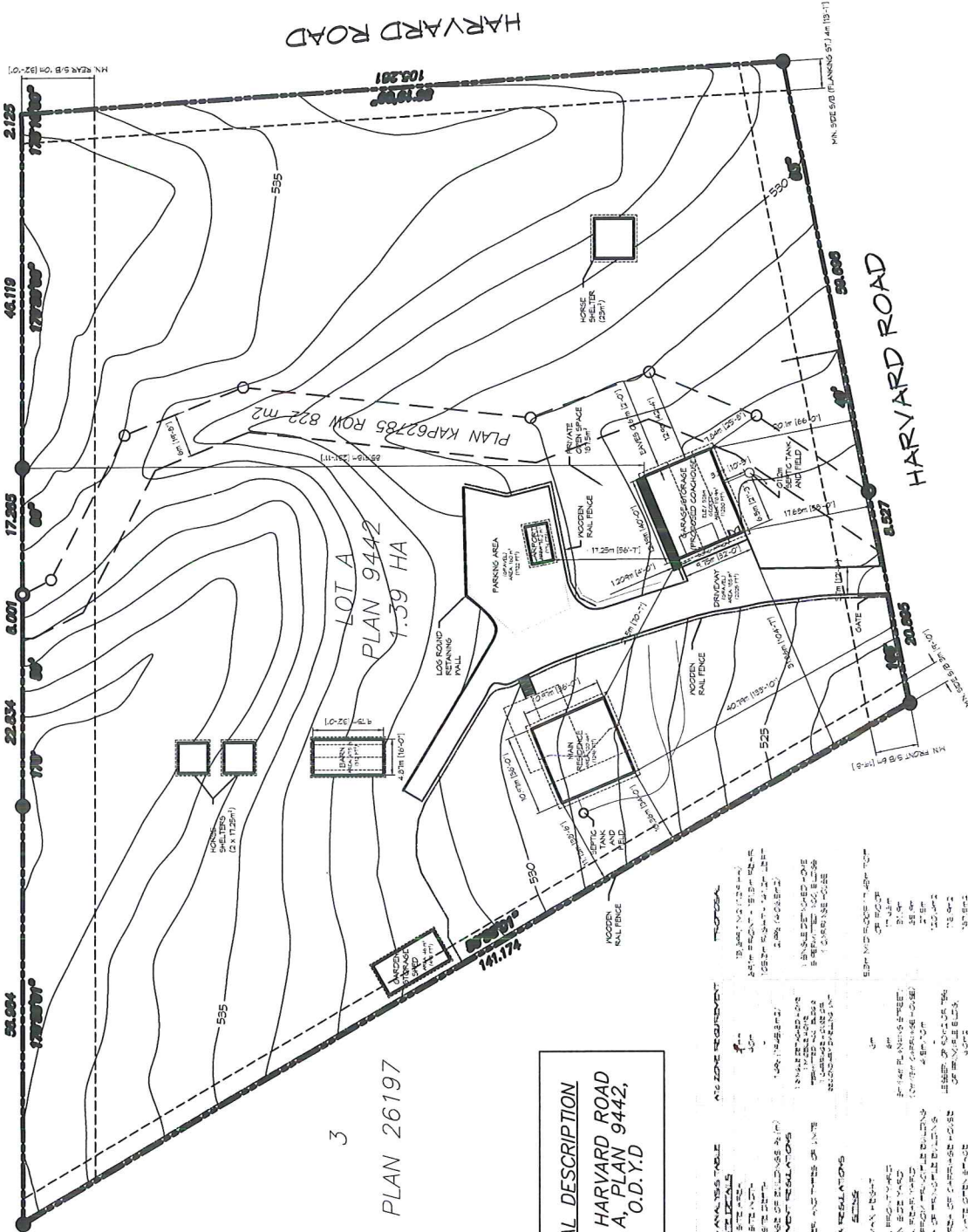
[illegible]

DEVELOPMENT  
PERMIT 2446  
HARVARD ROAD  
KELOWNA

# SITE PLAN AND SITE COVERAGE

DRAWING No. 1.250

A



LEGAL DESCRIPTION  
2446 HARVARD ROAD  
LOT A, PLAN 9442,  
O.D.Y.D

[illegible]



[illegible][illegible]

PROPOSED  
COACHOUSE AT  
2446 HARVARD  
ROAD

DRAWING TITLE

UPPER FLOOR,  
GARAGE &  
FOUNDATION  
PLANS AND BLDG.  
SECTION

DATE DEC. 1/2016

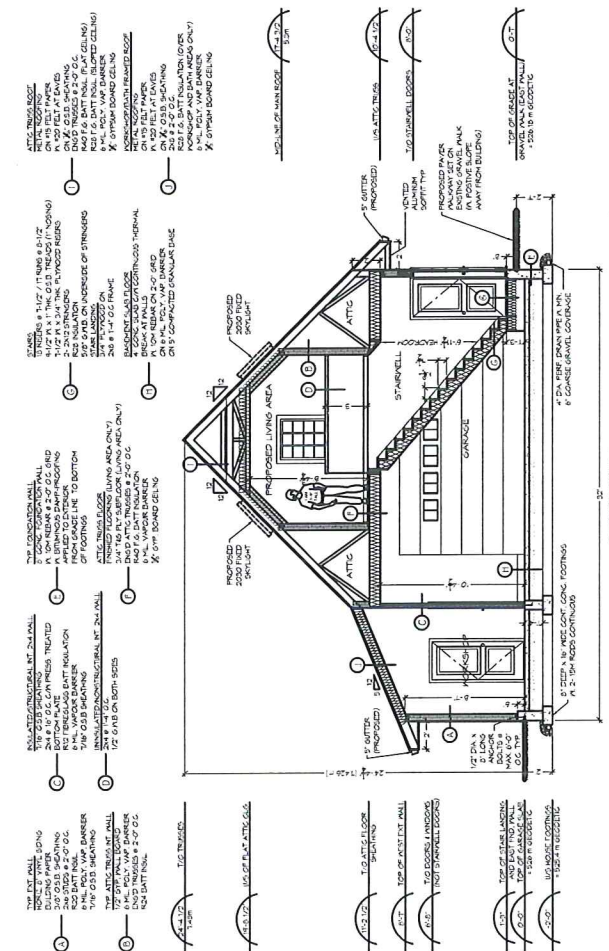
DRAWN BY D.P.

JOB No. WCS 10-16

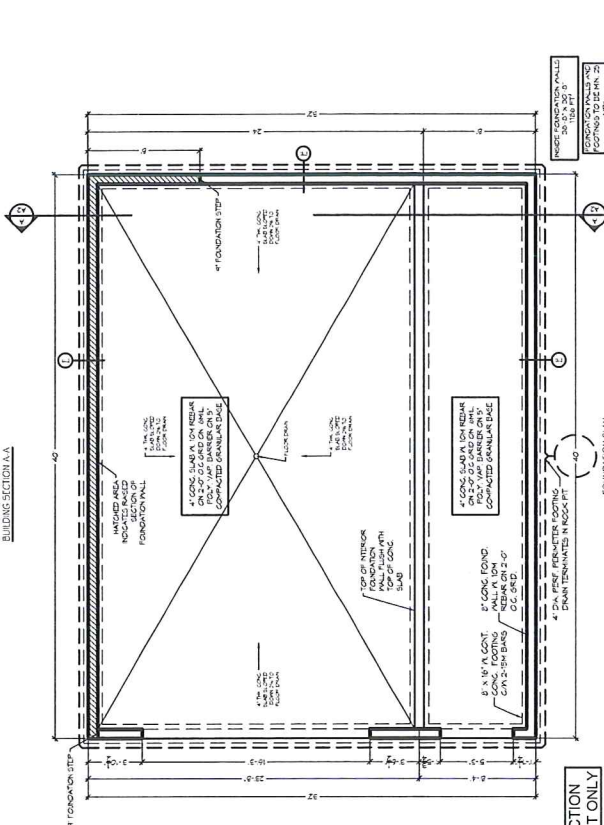
**SCALE**  
1/4" = 1'-0"

DRAWING No.

A2

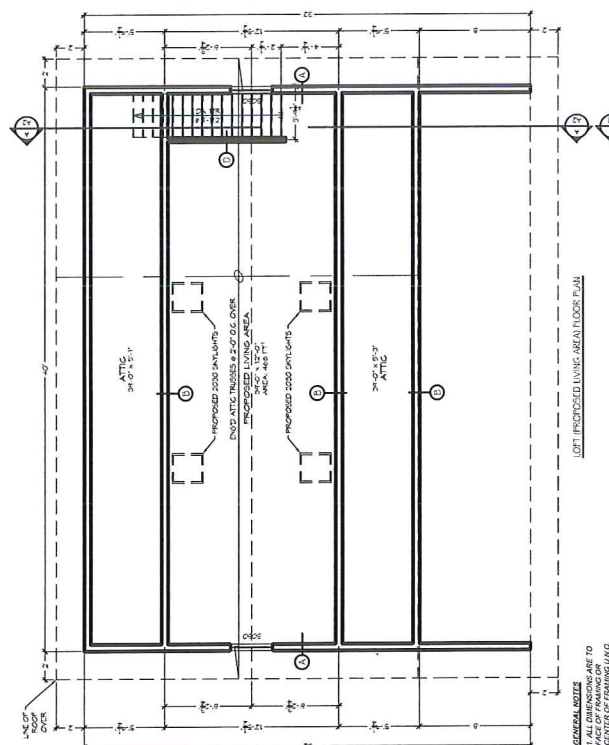


**BUILDING SECTION A-A**



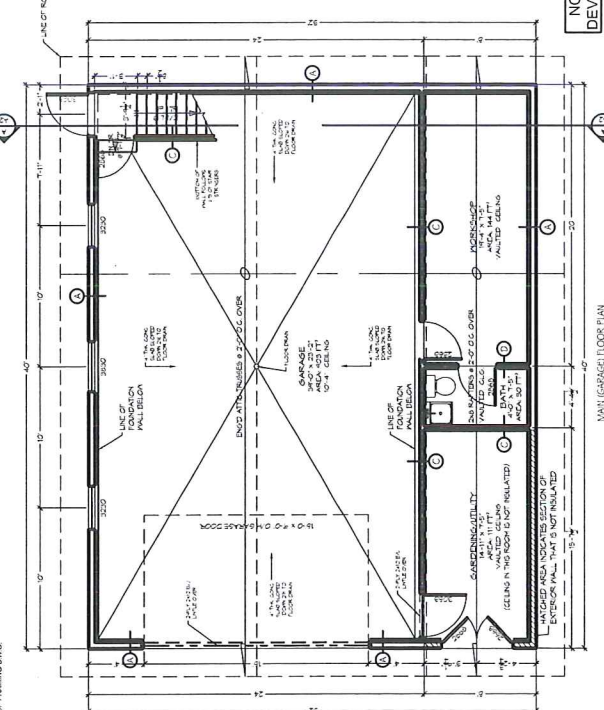
FOUNDATION PLAN

NOT FOR CONSTRUCTION  
DEVELOPMENT PERMIT ONLY



LOFT (PROPOSED LIVING AREA) FLOOR PLAN

**GENERAL NOTES**



### MAIN (GARAGE) FLOOR PLAN

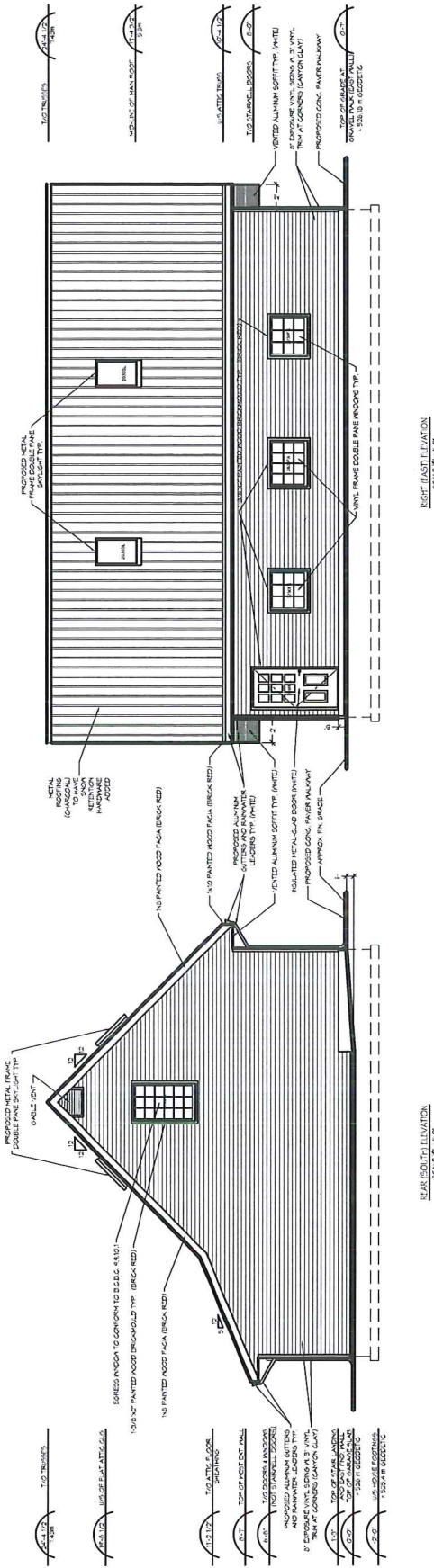
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PROPOSED  
COACHOUSE AT  
2446 HARVARD  
ROAD

BUILDING  
ELEVATIONS

DRAWING No.

A3



NOT FOR CONSTRUCTION  
DEVELOPMENT PERMIT ONLY

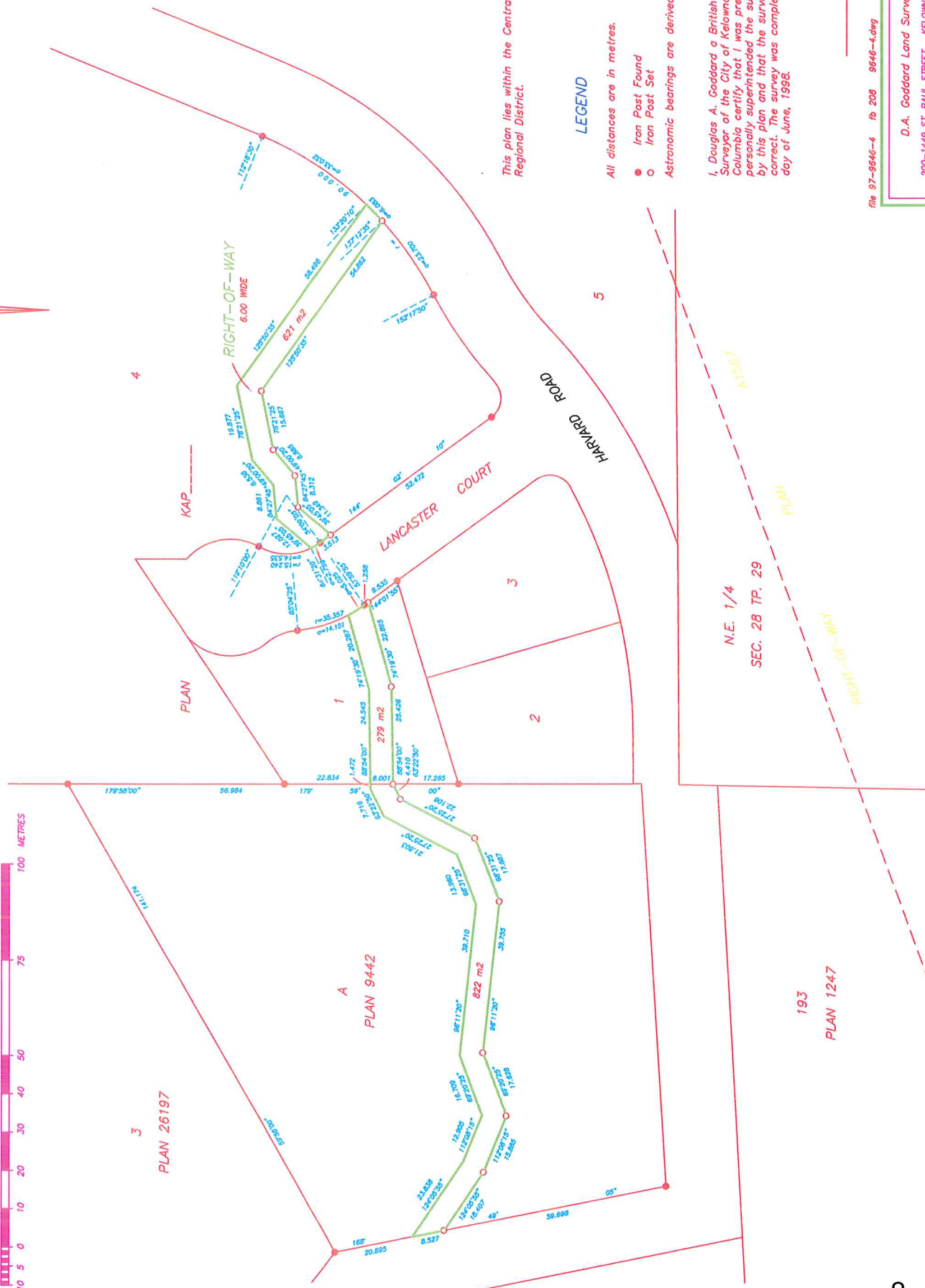


## PLAN No. KAP62785

Deposited in the Land Title Office at Kamloops, B.C.  
this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.



Registrar



*I, Douglas A. Goddard a British Columbia Land Surveyor of the City of Kelowna in British Columbia certify that I was present at and personally superintended the survey represented by this plan and that the survey and plan are correct. The survey was completed on the 12th day of June, 1996.*

**B.C.L.S.**

file 97-9646-4 1b 208 9646-4.dwg

*D.A. Goddard Land Surveying Inc.*

200-1449 ST. PAUL STREET KELOWNA PHONE 763-3733



This forms part of application

# Z17-0011

DVP17-0027

Planner  
Initials

TB

City of  
**Kelowna**  
COMMUNITY PLANNING





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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** March 14 2017  
**File No.:** Z17-0011  
**To:** Subdivision, Agriculture & Environment (TB)  
**From:** Development Engineering Manager  
**Subject:** 2446 Harvard Road                      Lot A Plan 9442                      A1c

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Development Engineering has the following comments and requirements associated with this application to rezone from A1 to A1C to convert an accessory building to a carriage house.

Domestic water and fire protection.

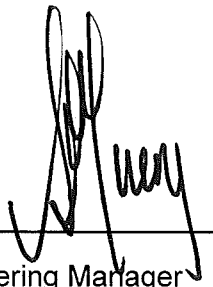
The subject property is within the service area of the South East Kelowna Irrigation District (SEKID). On-site servicing including the utilisation of existing or proposed services as well as fire protection will be reviewed by Building & Permitting.

Sanitary Sewer.

This subject property is currently not within the City service area. Sanitary sewage is handled by on-site wastewater disposal system(s). The existing on-site system(s) are not shown in detail on the submitted Site Plan. The application will be reviewed by a Licenced Wastewater Practitioner and Building & Permitting to ensure that the septic field for the carriage house does not encroach into the City Statutory Right-of Way Plan KAP62785 .

Access

Foliage shall be kept cleared in both directions to ensure that sightlines are not obstructed.

  
\_\_\_\_\_  
Steve Muenz, P.Eng.  
Development Engineering Manager  
JF

# REPORT TO COUNCIL



**Date:** May 29, 2017

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (LK)

**Application:** Z17-0020

**Owner:** James Northrop

**Address:** 434 Sarsons Road

**Applicant:** Ave Design Group

**Subject:** Rezoning Application

Existing OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

Proposed Zone: RU2 – Medium Lot Housing

---

## 1.0 Recommendation

THAT Rezoning Application No. Z17-0020 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 18 District Lot 167 ODYD Plan 8049, located at 434 Sarsons Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated May 29, 2017;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered subsequent to the issuance of a Preliminary Layout Review Letter by the Approving Officer.

## 2.0 Purpose

To rezone the subject property from RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing zone to facilitate a two lot subdivision.

## 3.0 Community Planning

Community Planning Staff are supportive of the proposed rezoning to facilitate the proposed two lot subdivision. The subject property is located within the Permanent Growth Boundary in the Mission neighbourhood of Kelowna. The parcel is designated as S2RES – Single/Two Unit Residential in the Official

Community Plan (OCP). The application to rezone the parcel meets the OCP urban infill policy of supporting the densification of neighbourhoods through appropriate infill development, including the use of smaller lots. The modest increase in density is supported by local amenities such as parks, schools, transit and recreational opportunities in the immediate area.

#### 4.0 Proposal

##### 4.1 Project Description

The proposal is to rezone the parcel from the existing RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing zone. Should the rezoning be successful, the applicant is planning to subdivide the parcel into two parcels to facilitate the development of one single family dwelling on each of the two new lots.

Should the rezoning be supported by Council, the applicant could proceed with the subdivision application and then directly to building permit applications to construct a single family dwelling on each of the lots. The Zoning Bylaw Development Regulations and parking requirements would be reviewed at time of Building Permit application to ensure compliance.

Council Policy No. 367 with respect to public consultation was undertaken by the applicant. All adjacent neighbours within 50 m radius of the subject parcel were provided with a circulation package in regards to the development.

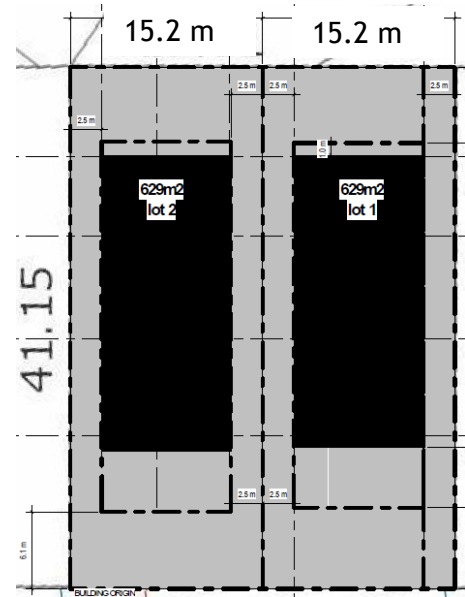


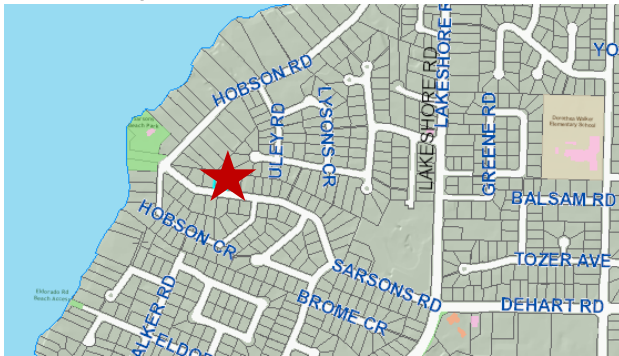
Figure 1 – Proposed subdivision layout.

##### 4.2 Site Context

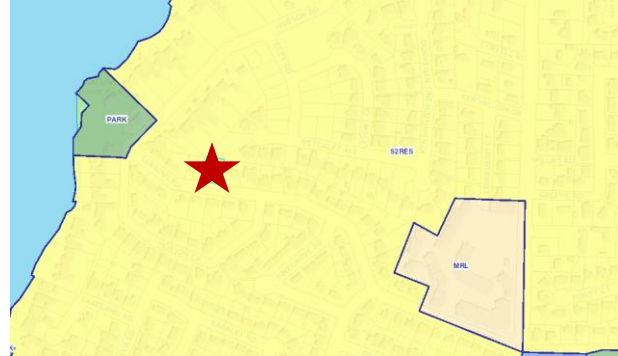
Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single Dwelling Housing
East	RU1 – Large Lot Housing	Single Dwelling Housing
South	RU1 – Large Lot Housing	Single Dwelling Housing
West	RU1 – Large Lot Housing	Single Dwelling Housing

Context Map:



Future Land Use Map:



Subject Property Map: 434 Sarsons Road





#### 4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU <sub>2</sub> ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	400 m <sup>2</sup>	627 m <sup>2</sup>
Lot Width	13 m	15.2 m
Lot Depth	30 m	41.15 m
Development Regulations		
Site Coverage	40%	30%
Site Coverage with driveways	50%	40%
Height	9.5 m	9.5 m
Front Yard	6.0 m	11.0 m
Side Yard (east)	1.8 m	2.5 m
Side Yard (west)	1.8 m	2.5 m
Rear Yard	6.0 m	7.0 m
Other Regulations		
Minimum Parking Requirements	2 stalls each	2 stalls each

### 5.0 **Current Development Policies**

#### 5.1 Kelowna Official Community Plan (OCP)

##### **Development Process**

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development,

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill.**<sup>2</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

- 1) Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- 2) Operable bedroom windows required as per the 2012 edition of the British Columbia Building Code (BCBC 12).
- 3) Demolition permits are required for any existing structure(s).
- 4) Full Plan check for Building Code related issues will be done at time of Building Permit applications.

### 6.2 Development Engineering Department

- Refer to Attachment A.

## 7.0 Application Chronology

Date of Application Received: February 22, 2017

Date Public Consultation Completed: January 28, 2017

**Report Prepared by:** Lydia Korolchuk, Planner

**Reviewed by:** Terry Barton, Urban Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

### **Attachments:**

Attachment A: Development Engineering Memorandum dated March 9, 2017

Proposed Site Plan

Conceptual Elevations

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<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.27.6 (Development Process Chapter).

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## CITY OF KELOWNA

# MEMORANDUM

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**Date:** March 9, 2017  
**File No.:** S17-0015

**To:** Community Planning (LK)

**From:** Development Engineering Manager (SM)

**Subject:** Subdivision Application – PLR Requirements

<b>LOCATION:</b> 434 Sarsons Road
<b>APPLICANT:</b> Ave Design Group
<b>LEGAL:</b> Lot 18 Plan 8049

### WORKS AND SERVICES REQUIREMENTS

The City's Development Engineering Department will handle the Works & Services requirements identified below between time of Preliminary Layout Review (PLR) and application for Subdivision Approval. Arrangements for construction must be made before making application for Final Approval of a subdivision plan. The Development Engineering Technologist for this project is Sergio Sartori. The following Works & Services are required for this subdivision:

#### .1) General

The postal authorities must be contacted to determine whether or not a "community mailbox" will be utilized. Please contact the Canadian Post Corporation, Delivery Services, P.O. Box 2110, Vancouver, B.C. V6B 4Z3 (604) 662-1381 in this regard.

#### .2) Geotechnical Report

- (a) Provide a geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.

The Geotechnical reports must be submitted to the Development Services Department (Subdivision Approving officer) for distribution to the Development Engineering Branch and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval.

- (i) Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.

- (ii) Site suitability for development.
- (iii) Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- (iv) Any special requirements for construction of roads, utilities and building structures.
- (v) Recommendations for items that should be included in a Restrictive Covenant.
- (vi) Recommendations for roof drains, perimeter drains and septic tank effluent on the site.
- (vii) Any items required in other sections of this document.

**.3) Water**

- a) The property is located within the City of Kelowna service area. The existing PVC water service will need to be upgraded to a 19mm copper service.
- b) Two new water services can be provided at the applicant's cost prior to subdivision approval. **The applicant will be required to sign a Third Party Work Order for the cost of the new service requirements.** For estimate inquiry's please contact Sergio Sartori at [ssartori@kelowna.ca](mailto:ssartori@kelowna.ca) or phone 250-469-8589. Or arrange for lot connections before submission of the subdivision plan.

**.4) Sanitary Sewer**

- a) The existing 100mm diameter service will be utilised to service one of the proposed lots.
- b) A new sanitary service can be provided at the applicant's cost prior to subdivision approval. **The applicant will be required to sign a Third Party Work Order for the cost of the new service requirements.** For estimate inquiry's please contact Sergio Sartori at [ssartori@kelowna.ca](mailto:ssartori@kelowna.ca) or phone 250-469-8589.

**.5) Drainage**

- a) The property is located within the City of Kelowna drainage service area. The Subdivision, Development and Servicing Bylaw requires that each lot be provided with an individual connection; however, the City Engineer may permit use of individual ground water disposal systems, where soils are suitable. For on-site disposal of drainage water, a hydrogeotechnical report will be required complete with a design for the disposal method (i.e. trench drain / rock pit). The Lot Grading Plan must show the design and location of these systems for each lot.
- b) The development is required to contain and dispose of site generated storm drainage on the site by installing a ground recharge system designed by the consulting civil engineer. The existing lots do not presently have storm drainage services.

**.6) Roads**

- a) Sarsons Road frontage must be upgraded to a full urban standard including curb, gutter, sidewalk, fillet pavement, street lights, storm drainage, and adjustment and/or re-location of existing utility appurtenances if required to accommodate this construction.

**.7) Power and Telecommunication Services and Street Lights**

- a) If the existing area is served by overhead wiring, the service connections may be provided overhead provided that there are no new poles required and service trespasses will not be created. If either of these conditions is not satisfied, then underground service will be required for that lot.
- b) Streetlights must be installed on all roads.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- d) Before making application for approval of your subdivision plan, please make arrangements with Fortis for the pre-payment of applicable charges and tender a copy of their receipt with the subdivision application for final approval.
- e) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

**.8) Other Engineering Comments**

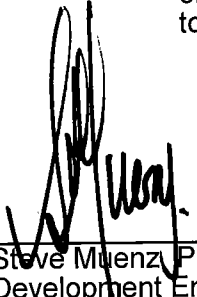
- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as B.C. Gas, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.
- c) Only the service upgrades must be completed at this time. The City wishes to defer the remainder of the upgrades to Sarsons Road fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule.

Item	Cost
Drainage	\$4,804.00
Curb &Gutter	\$3,048.00
Sidewalk	\$3,810.00
Street Lighting	\$1,410.00
Landscape Boulevard	\$1,143.00
Road Fillet	\$3,200.00
<b>Total</b>	<b>\$17,415.00</b>



**.9) Charges and Fees**

- a) Development Cost Charges (DCC's) are payable
- b) Fees per the "Development Application Fees Bylaw" include:
  - i) Survey Monument Fee: **\$50.00** (\$50.00 per newly created lot GST exempt).
  - ii) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
- c) A hydrant levy charge of **\$250.00** (250.00 per new lot).
- d) New water services for the lots; **to be determined.**
- e) New sanitary service for the new lot; **to be determined.**
- f) The City wishes to defer the construction of frontage improvements on Sarsons Road which is premature at this time. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule. The cash-in-lieu amount is determined to be **\$17,415.00**



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Steve Muenz P.Eng.  
Development Engineering Manager

SS

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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** March 9, 2017  
**File No.:** Z17-0020

**To:** Community Planning (LK)

**From:** Development Engineering Manager (SM)

**Subject:** 434 Sarsons Road

RU1 to RU2

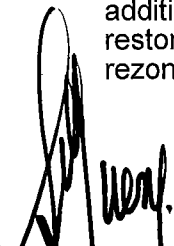
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Development Engineering has the following comments and requirements associated with this application.

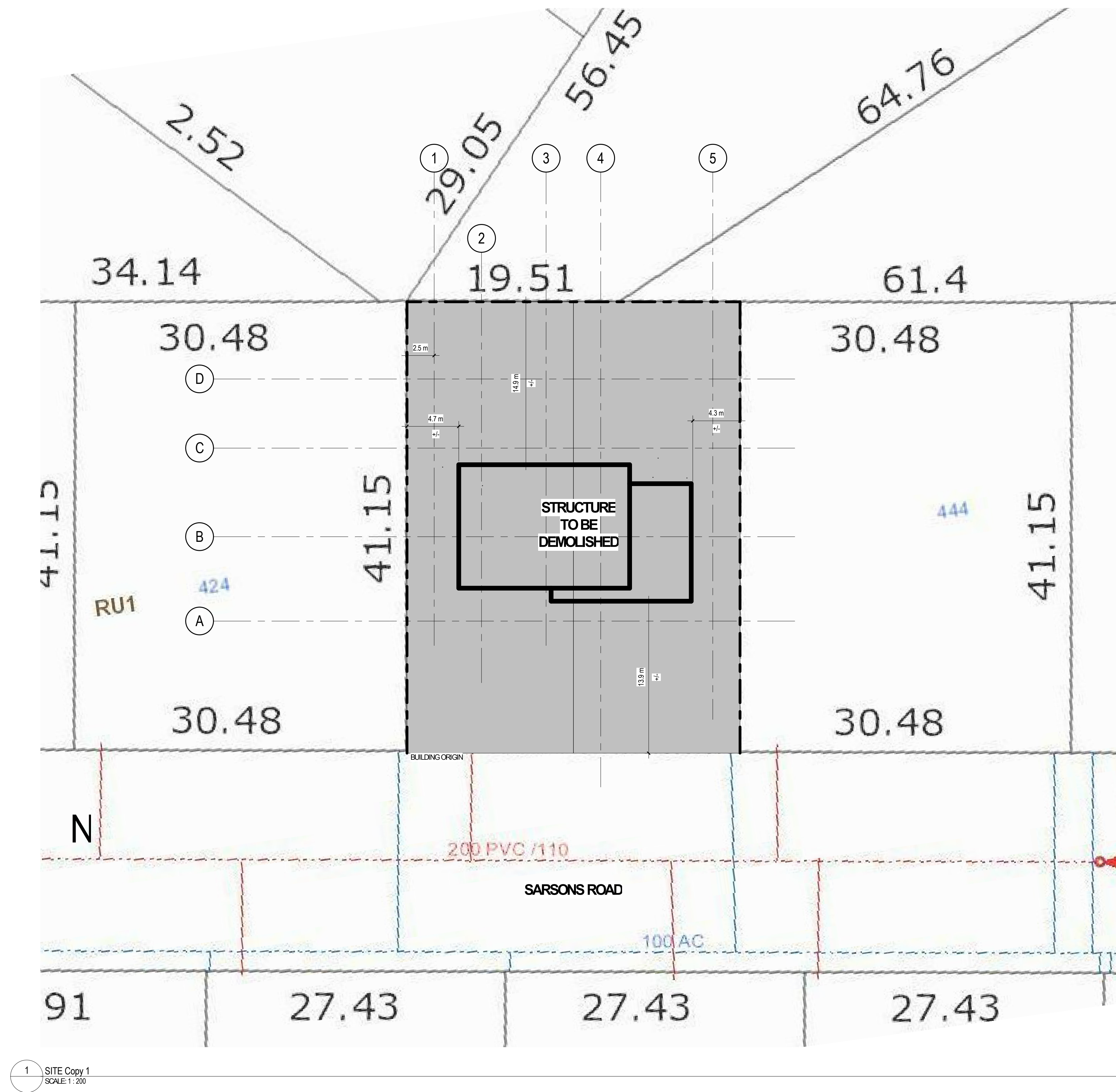
1. General

Road frontage improvements are triggered by this rezoning application. The requirements include curb and gutter, storm drainage system and pavement widening. Also required is a landscaped boulevard, street lighting and the re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The cost of this construction is at the applicant's expense.

The proposed redevelopment includes the subject parcel being subdivided into two lots. A subdivision application will require service upgrades that include the installation of additional services. The work will require road cuts and boulevard and pavement restoration. Development Engineering is prepared to defer the requirements of the rezoning to the subdivision stage.

  
\_\_\_\_\_  
Steve Muenz, P. Eng.  
Development Engineering Manager

SS

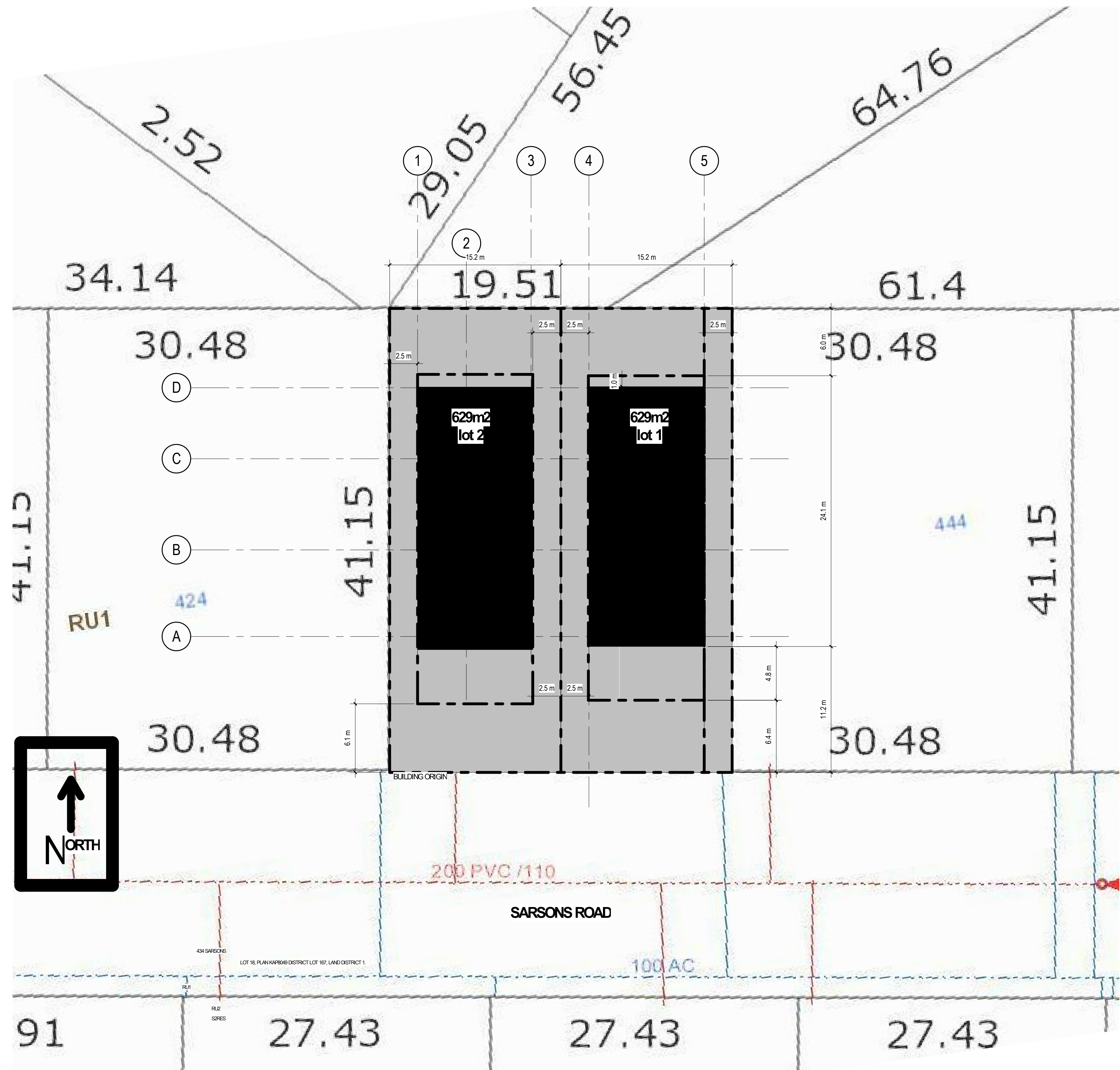


# SITE DEMO PLAN

AVENUE DESIGN GROUP

ISSUED FOR REZONING/SUBDIVISION  
FEB. 08/2017





1 SITE  
SCALE 1:200

### PROJECT STATISTICS

ADDRESS  
STREET ADDRESS: 434 SARSONS  
PROPERTY LEGAL INFORMATION LOT 18 PLAN KAP8049 DIST. LOT 167 LAND DISTRICT 41  
ZONING  
ZONING TYPE RU1  
PROPOSED USE: Types RU2  
ALLOWABLE USE: Types SZRES & RU1

Legal: Lot 18 Plan KAP8049 District Lot 167 Land District 41

PID: 009-883-517

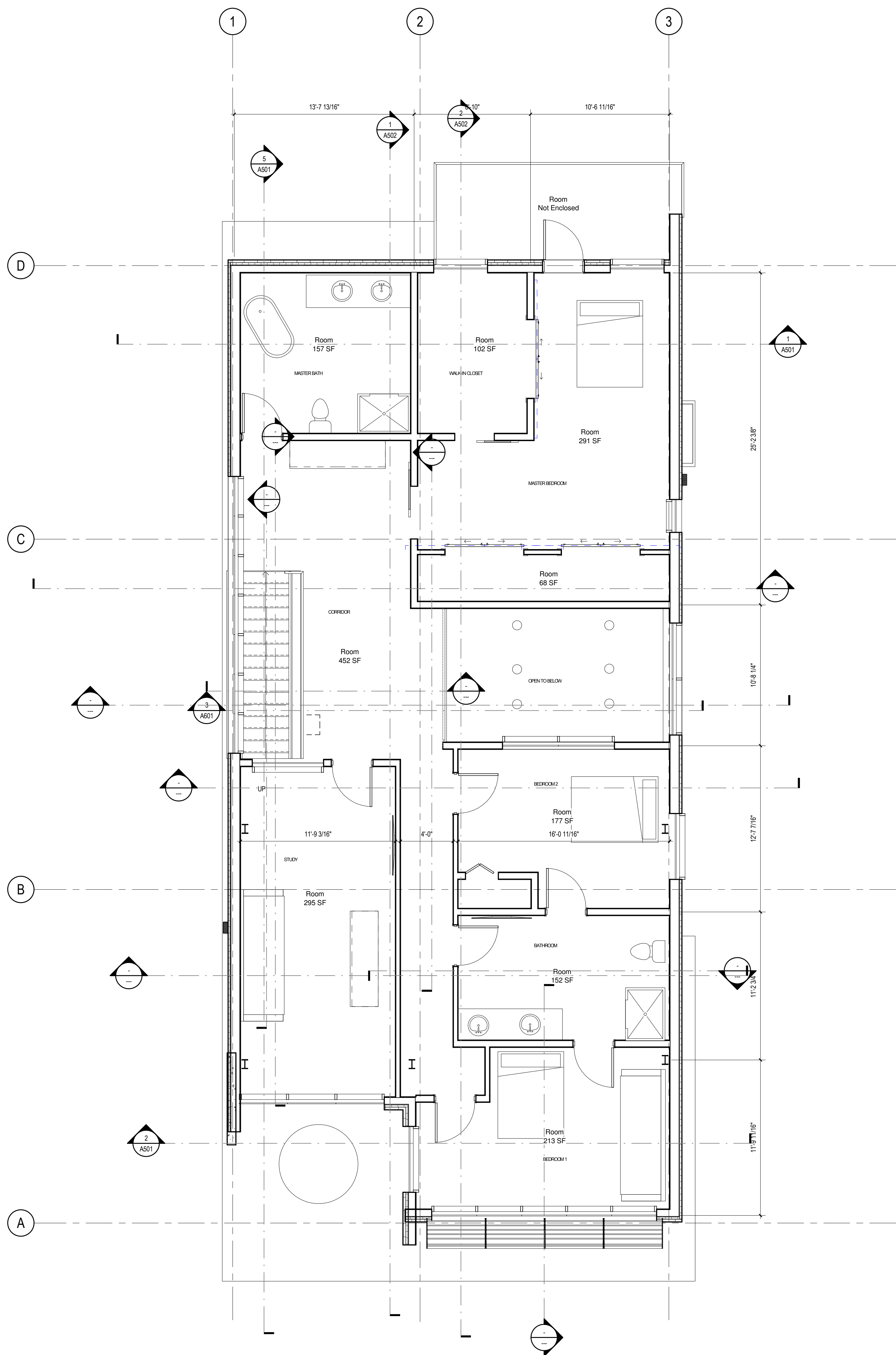
STREET ADDRESS 434 SARSONS ROAD

AVENUE DESIGN GROUP

ISSUED FOR REZONING/SUBDIVISION  
FEB. 08/2017



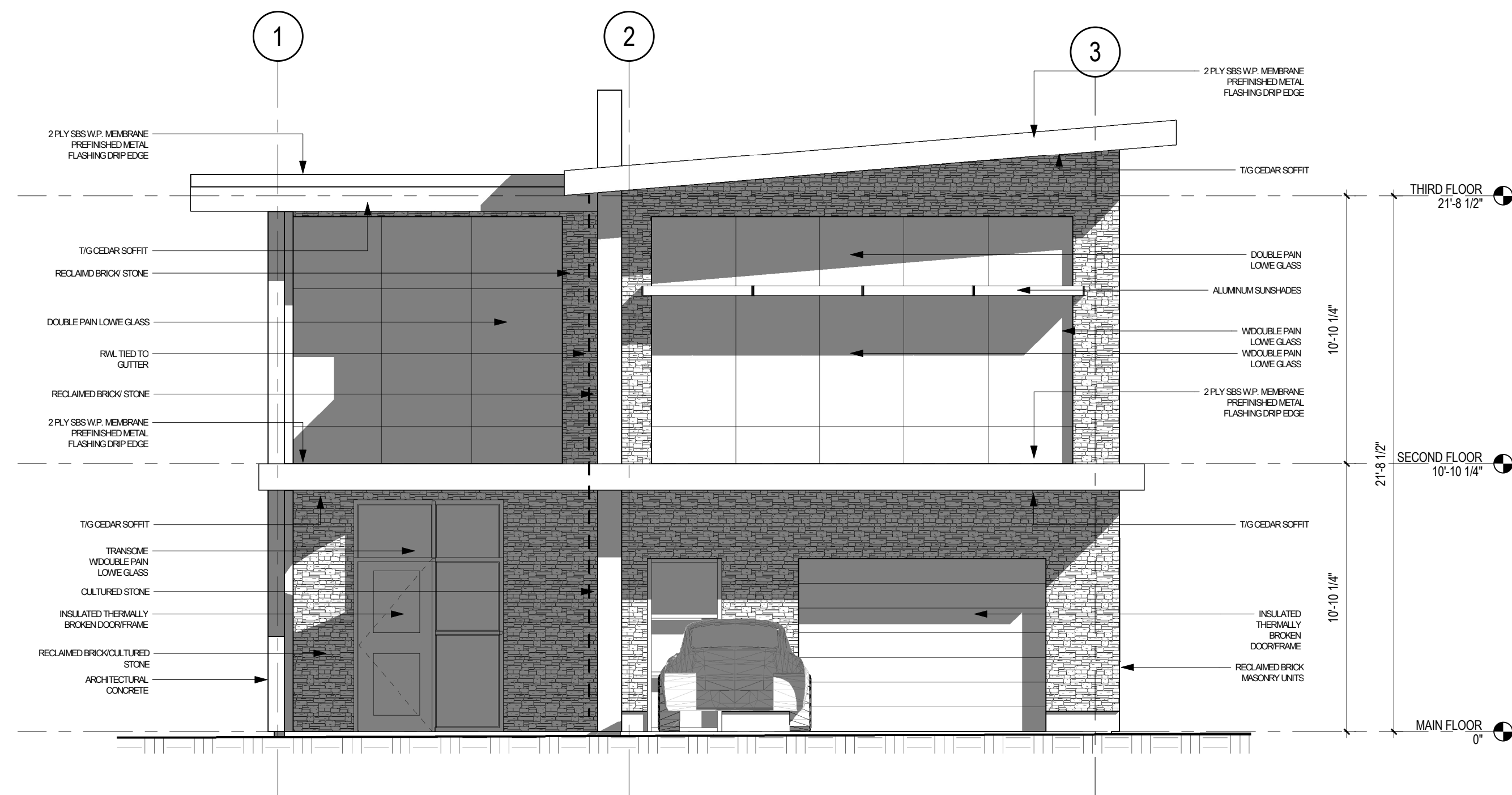




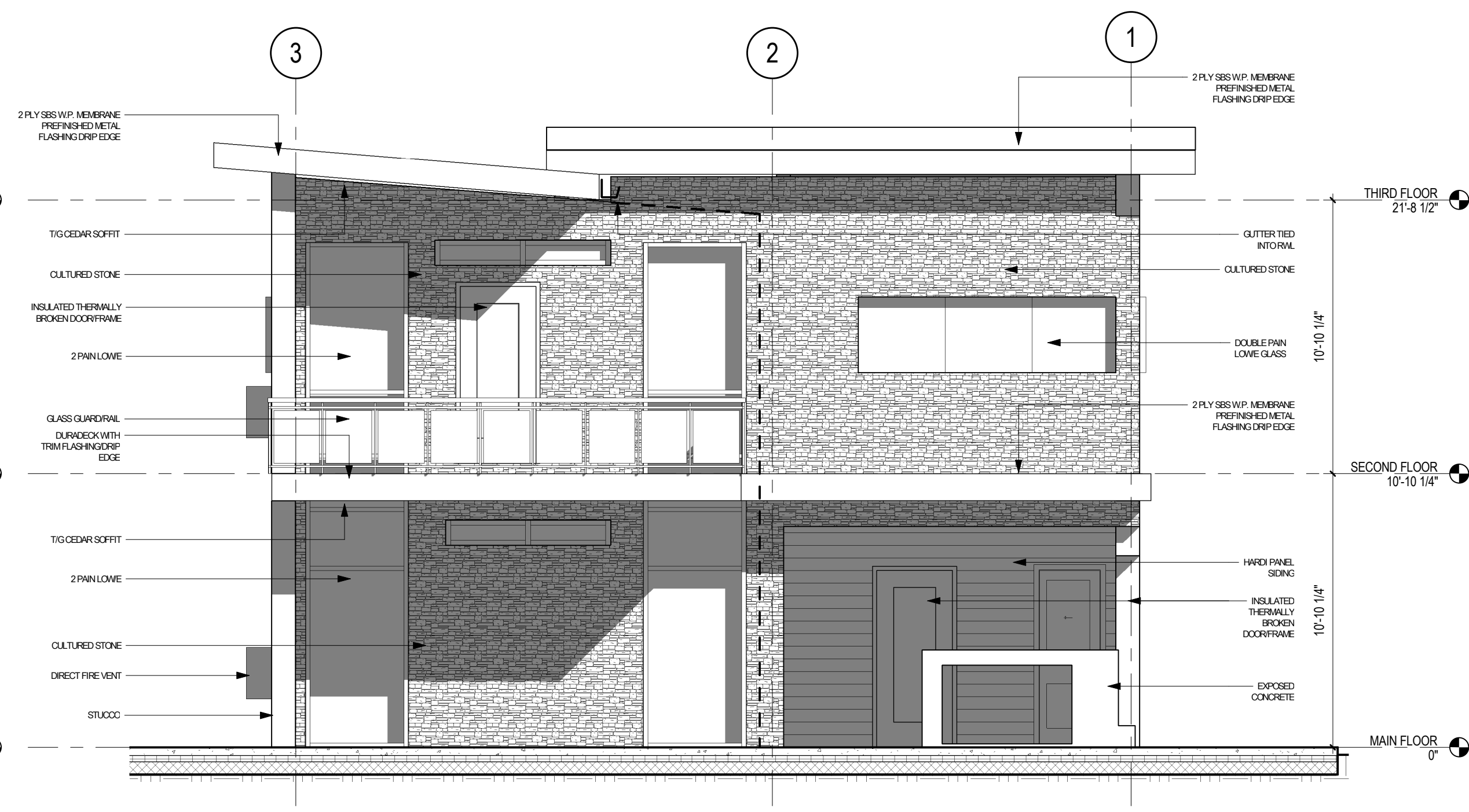
1 SECOND FLOOR  
A601 SCALE: 1/4" = 1'-0"

AVENUE DESIGN GROUP

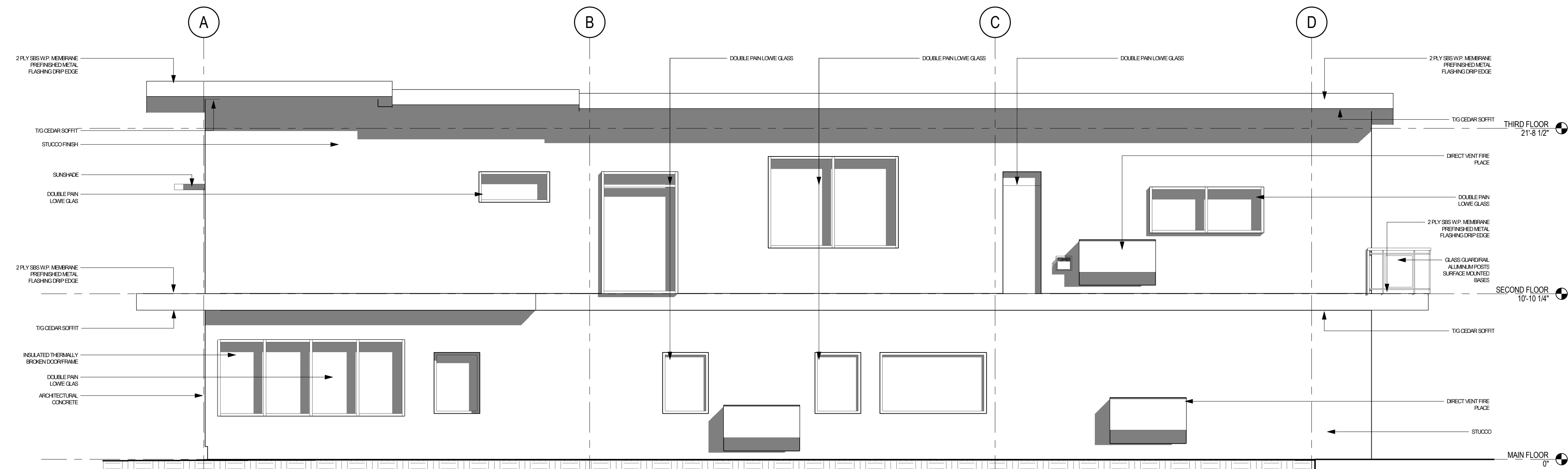
ISSUED FOR REZONING/SUBDIVISION  
FEB. 08/2017



3 Elevation 4 - a  
SCALE: 1/4" = 1'-0"



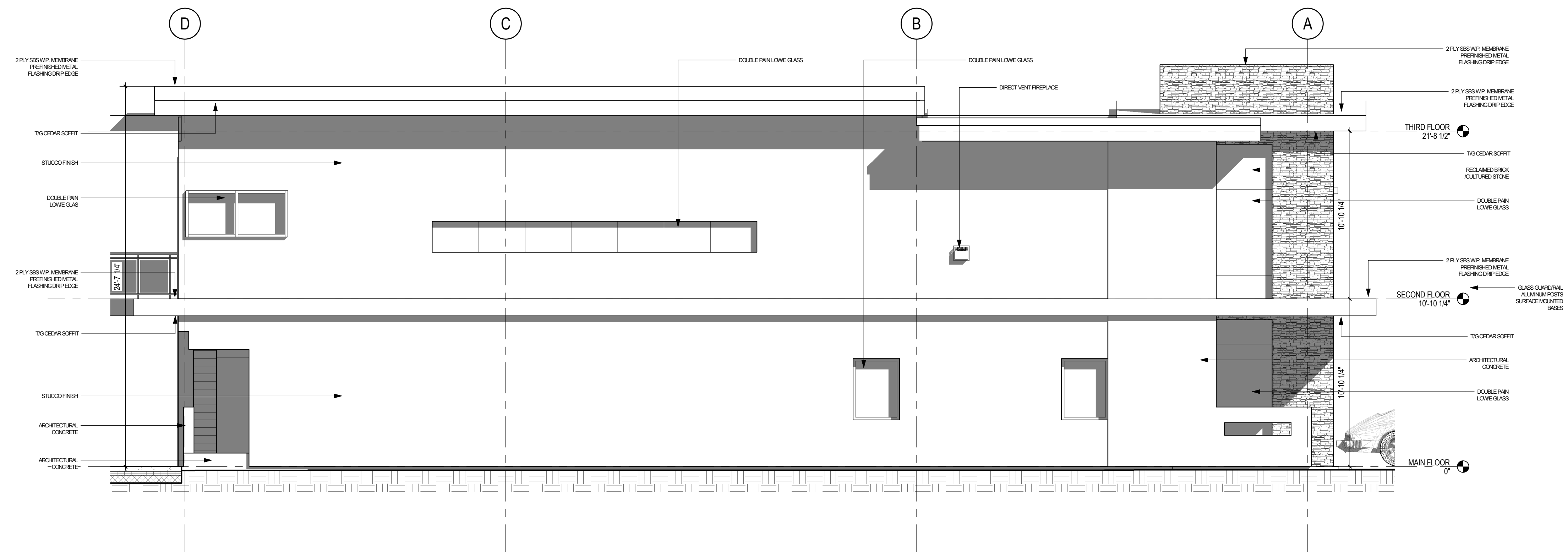
1 Elevation 2 - a  
SCALE: 1/4" = 1'-0"



2 Elevation 3 - a  
SCALE: 1/4" = 1'-0"

AVENUE DESIGN  
GROUP

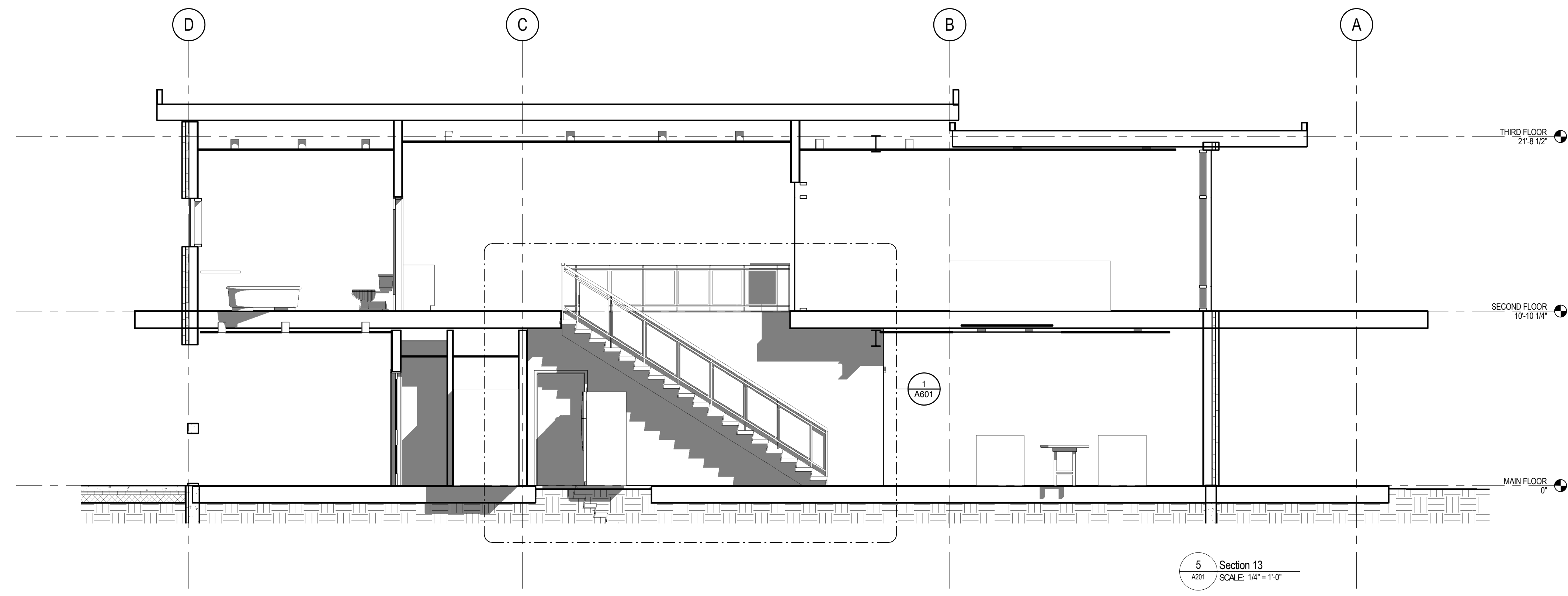
ISSUED FOR REZONING/SUBDIVISION  
FEB. 08/2017



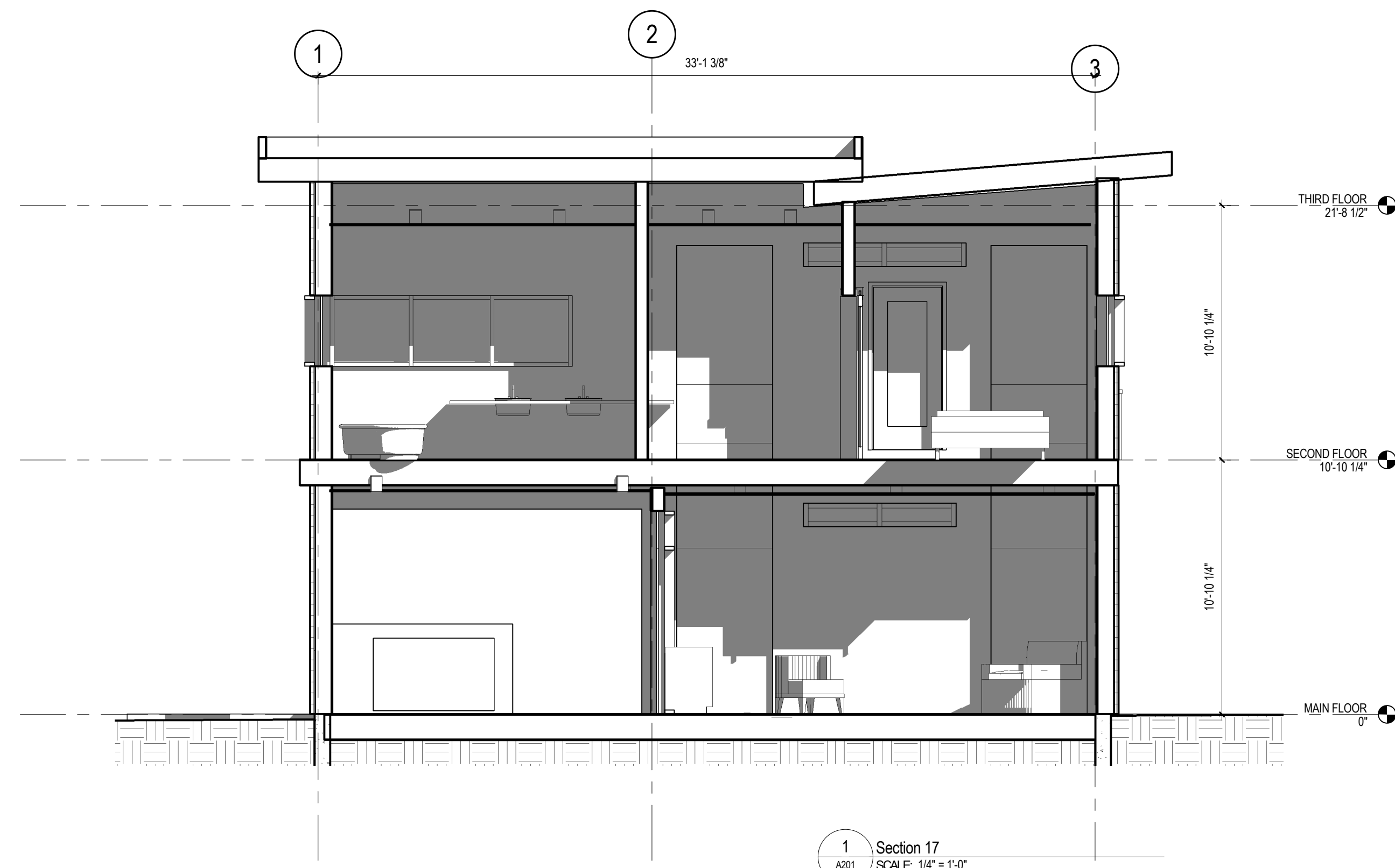
1  
A201  
Elevation 5 - a  
SCALE: 1/4" = 1'-0"

AVENUE DESIGN  
GROUP

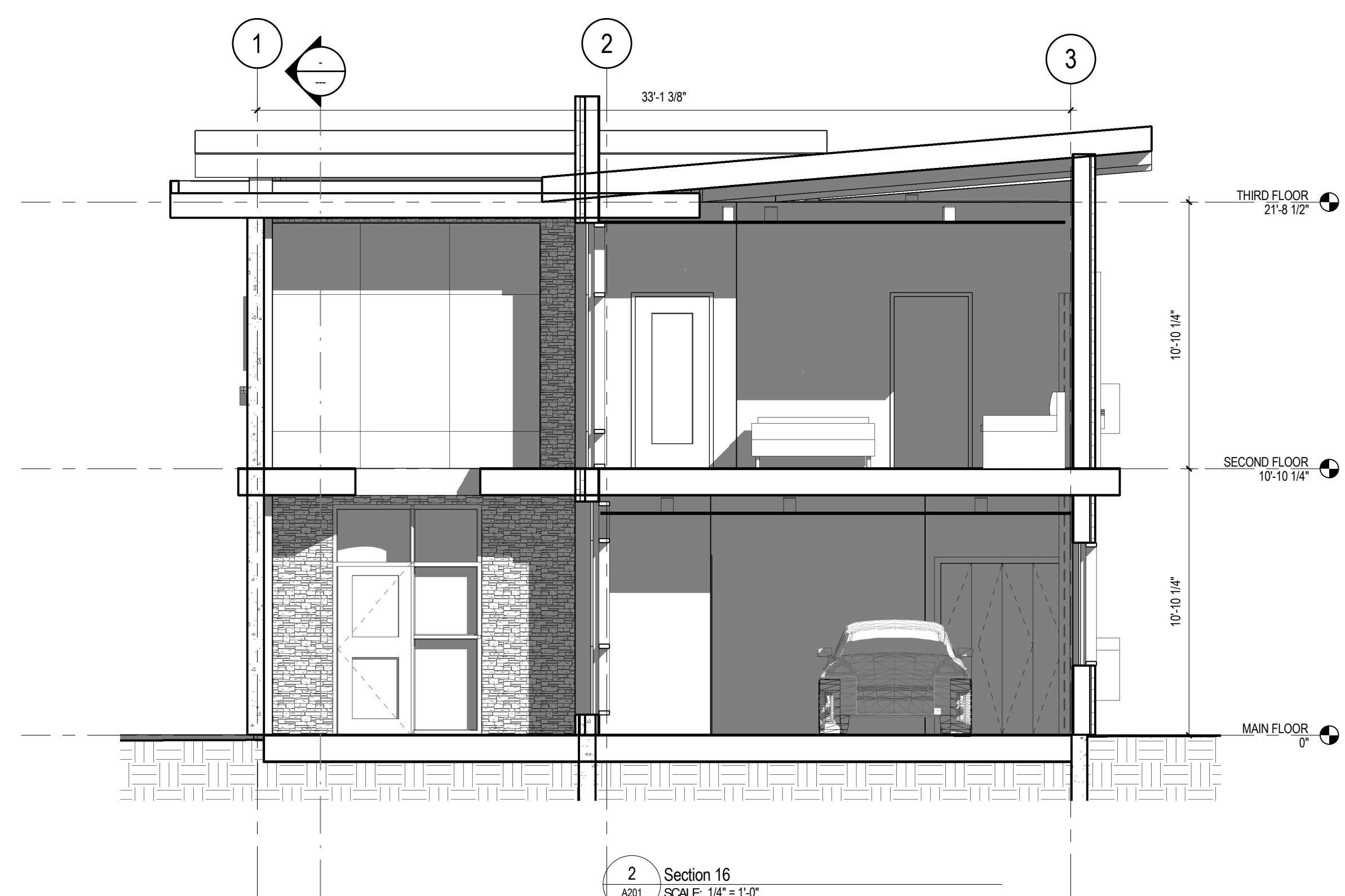
ISSUED FOR REZONING/SUBDIVISION  
FEB. 08/2017



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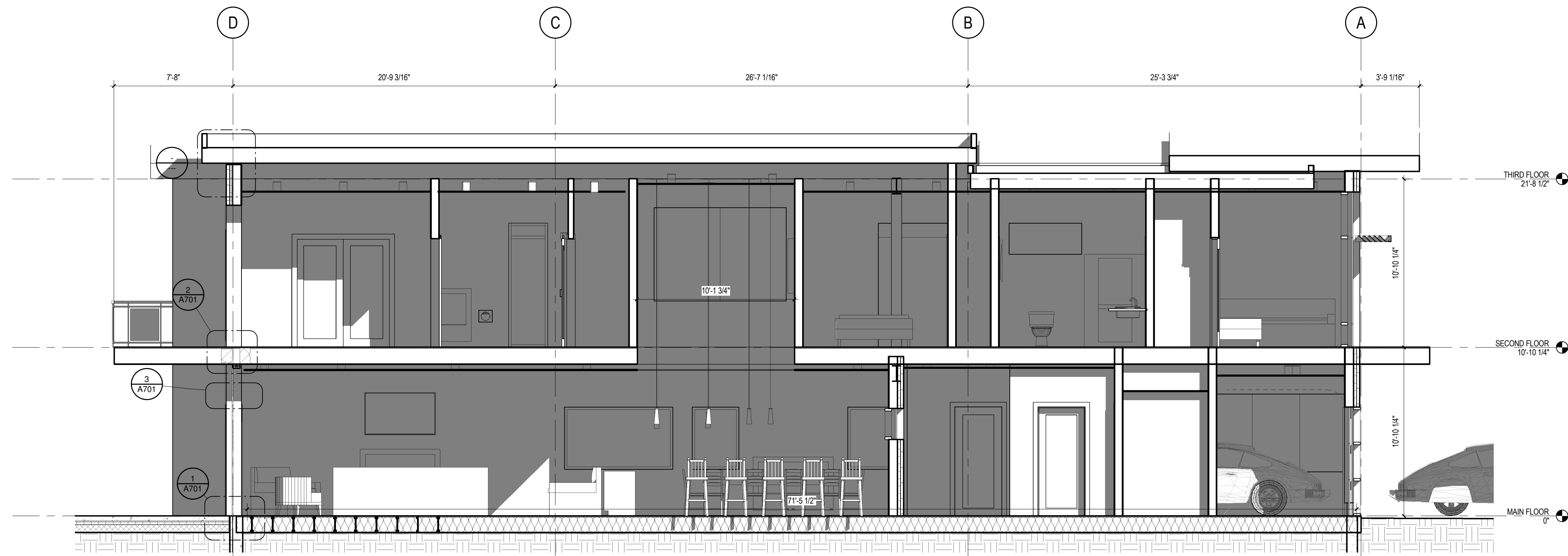
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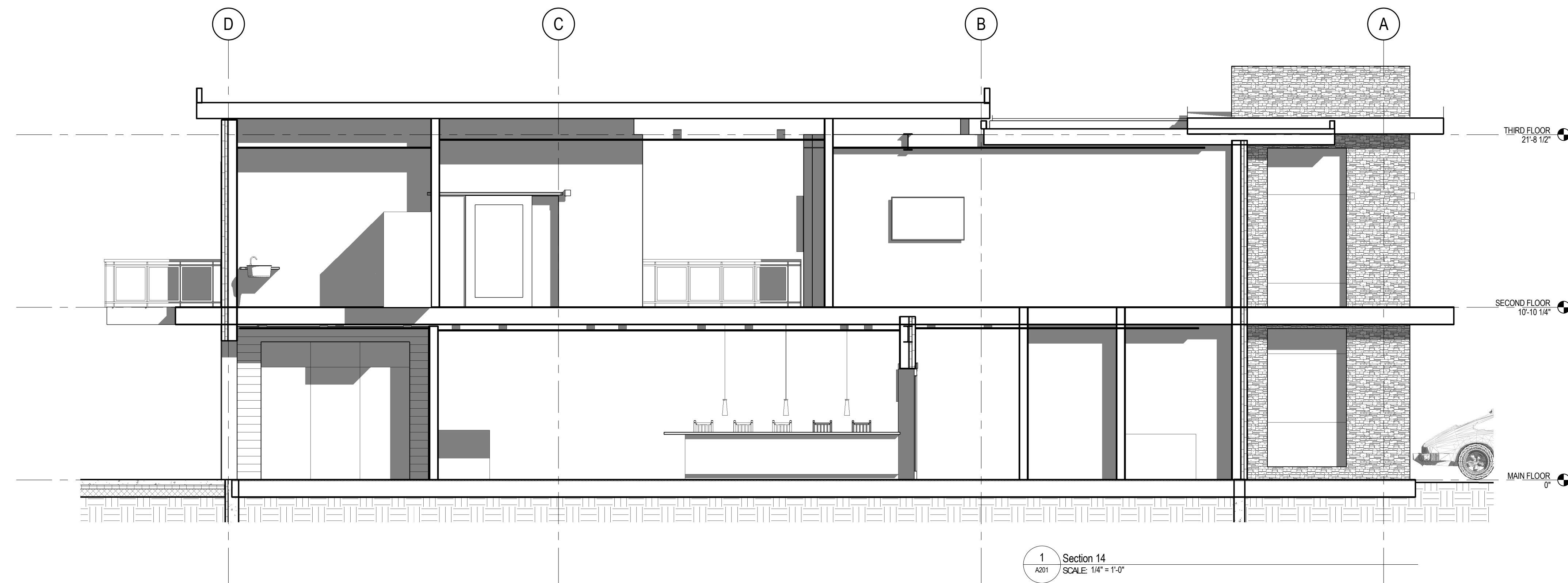
2 Section 16  
A201 SCALE: 1/4" = 1'-0"

AVENUE DESIGN  
GROUP

ISSUED FOR REZONING/SUBDIVISION  
FEB. 08/2017



2 Section 15  
A201 SCALE: 1/4" = 1'-0"



1 Section 14  
A201 SCALE: 1/4" = 1'-0"

AVENUE DESIGN  
GROUP

ISSUED FOR REZONING/SUBDIVISION  
FEB. 08/2017



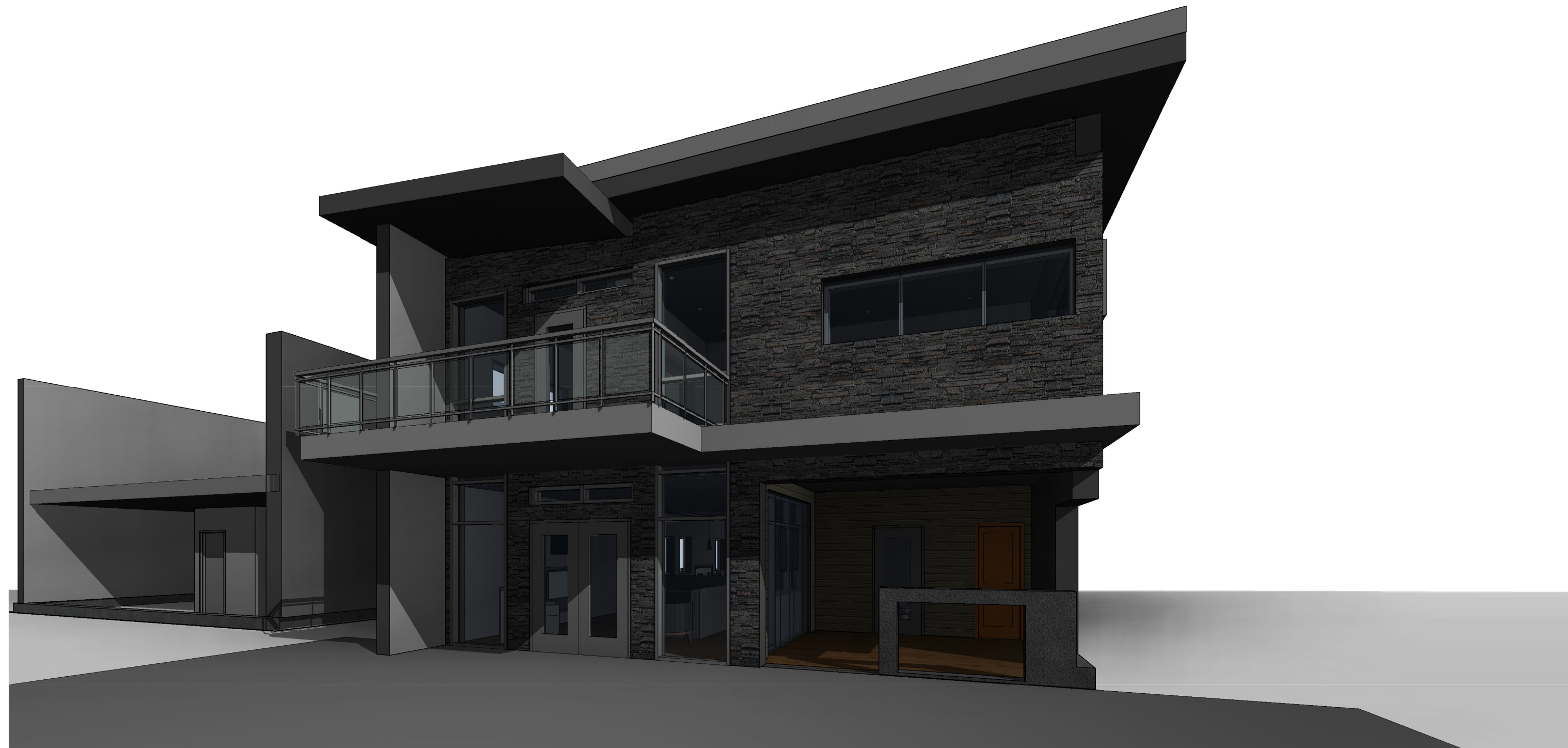


PERSPECTIVES

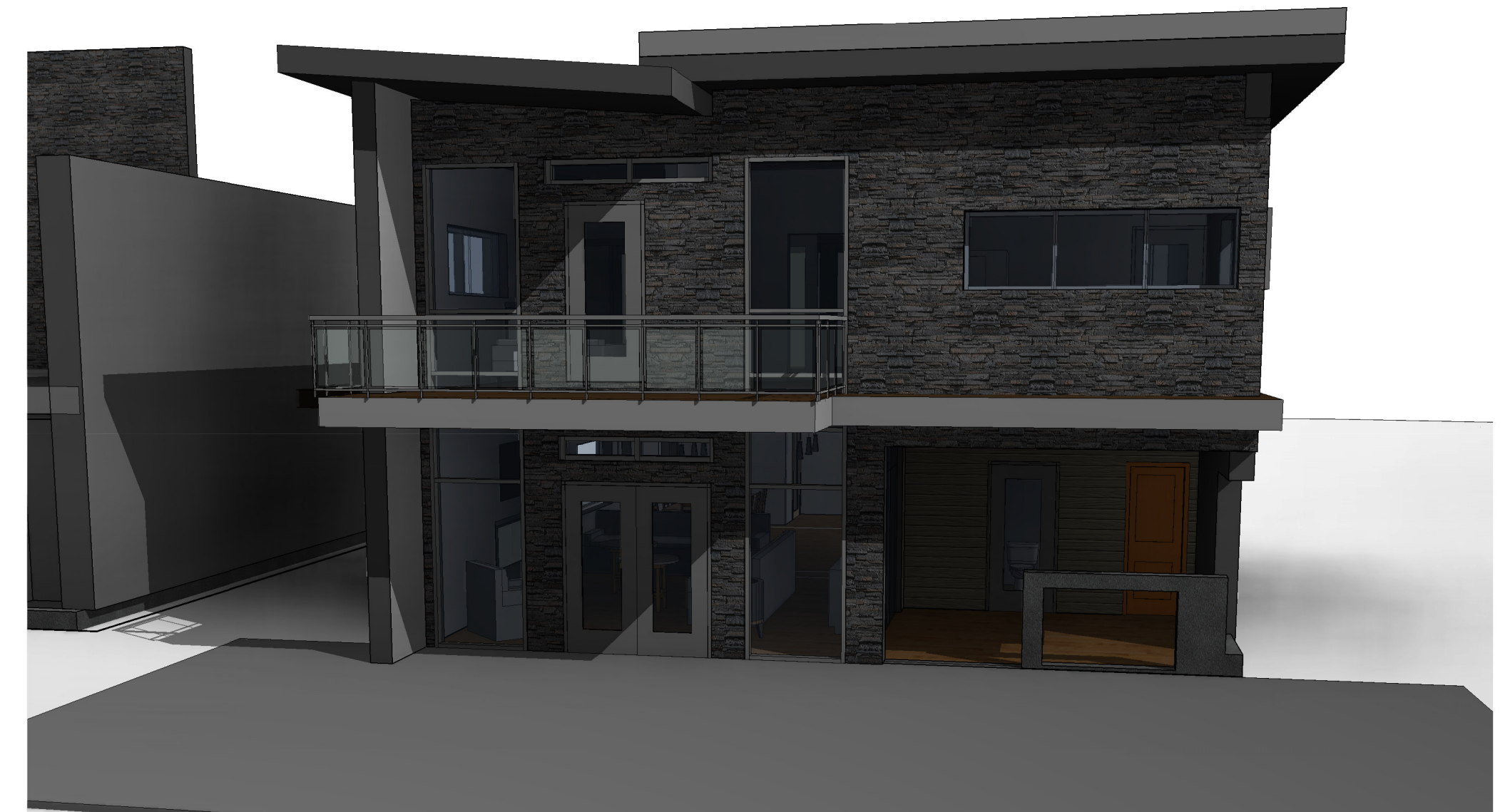
AVENUE DESIGN GROUP

ISSUED FOR REZONING/SUBDIVISION  
FEB. 08/2017





4 3D View 23  
SCALE



3 3D View 22  
SCALE



1 3D View 19  
SCALE



2 3D View 21  
SCALE

PERSPECTIVES

AVENUE DESIGN GROUP

ISSUED FOR REZONING/SUBDIVISION  
FEB. 08/2017



**CITY OF KELOWNA**  
**BYLAW NO. 11410**  
**Z17-0020 – 434 Sarsons Road**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 18, District Lot 167, ODYD, Plan 8049 located on Sarsons Road, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# REPORT TO COUNCIL



**Date:** May 29, 2017

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (TB)

**Application:** Z17-0012

**Owner:** Pillar West Developments Inc.  
Inc. No. BC1066488

**Address:** 861 Rose Avenue

**Applicant:** Integrity Services Inc.

**Subject:** Rezoning Application

Existing OCP Designation: MRL – Multiple Unit Residential (Low Density)

Existing Zone: RU6 – Two Dwelling Housing

Proposed Zone: RM1 – Four Dwelling Housing

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## 1.0 Recommendation

THAT Rezoning Application No. Z17-0012 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 7, District Lot 136, ODYD, Plan 8116, located at 861 Rose Avenue Kelowna, BC from the RU6 – Two Dwelling Housing zone to the RM1 – Four Dwelling Housing zone be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated May 29, 2017;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject property.

## 2.0 Purpose

To rezone the subject property to RM1 – Four Dwelling Housing to facilitate the development of four dwelling units.

### 3.0 Community Planning

Community Planning Staff supports the proposed rezoning application to facilitate the development of four dwelling units. The RM1 – Four Dwelling Housing zone is consistent with the Official Community Plan (OCP) Future Land Use Designation of MRL – Multiple Unit Residential (Low Density). The proposal is consistent with OCP policies for Compact Urban Form, and Sensitive Infill. Should Council support this rezoning, a Development Permit and Development Variance Permit will be considered by Council prior to 4<sup>th</sup> reading.

There are two other development applications on Rose Avenue that have been submitted to the City requesting the same zone to allow a four-plex with nearly identical floor plans. Staff have worked with the representatives from each project to ensure that differences in the materials and colour palette of each application provides variety and individuality.

### 4.0 Proposal

#### 4.1 Background

The subject property features a single storey bungalow that will be demolished as a function of this development. The property is located near the new RU7 – Infill Housing Zone which will also allow for four-plex developments. It is anticipated that this area is in a stage of redevelopment where infill will become more and more frequent and density will increase.

#### 4.2 Project Description

The proposed rezoning would facilitate the development of a four-plex on the subject property. This is consistent with the OCP Future Land Use designation of Multiple Unit Residential Low Density. The proposal meets the OCP Policy of Compact Urban Growth by increasing density where infrastructure already exists.

The proposal involves the decommissioning of a front driveway and a 5.0m road reserve across the front property for future expansion of Rose Avenue. All parking will be located in the rear, with 4 covered parking stalls and 2 uncovered stalls. The project requires one variance to allow the additional 2 uncovered stalls to be located in the side yard setback. All other Zoning Bylaw requirements are met including provision of private outdoor space, height, setbacks, and site coverage.

The proposed design has front doors facing the street for the two front units, and side entry for the two rear units. The units feature full basements and as such a 219 Restrictive Covenant regarding the Mill Creek Floodplain Bylaw has been placed on title that indemnifies the City in the event of any flooding. Four units is the maximum allowed under the zone, and therefore secondary suites would not be permitted in the units.

The design as proposed meets the majority of the design guidelines, and should Council support the rezoning, a Development Permit and Development Variance Permit will be considered by Council prior to 4<sup>th</sup> reading. There are two other applications on Rose Avenue at this time that are also rezoning to a four-plex with nearly identical floor plans. The representatives from each project have taken care to ensure that differences in the materials and colour palette of each application provides variety and individuality. The three projects are located at 775 Rose Avenue, 815 Rose Avenue, and 861 Rose Avenue as shown in the map below.





Figure 1.0 – Current Zoning Applications along Rose Avenue.

### 4.3 Site Context

The subject property is located in South Pandosy east of Richter Street and south of Ethel Street on the south side of Rose Avenue. The subject property is within walking distance to a variety of amenities including Guisachan Village, Cameron Park, Kelowna General Hospital, and is located on a bicycle corridor with access to the proposed Ethel Street Active Transportation Corridor. Immediately to the south of this property is Cameron Park, and an RU6 – Two Dwelling Housing neighbourhood is to the north.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing	Residential
East	RU6 – Two Dwelling Housing	Residential
South	RU7 – Infill Housing	Residential
West	RU6 – Two Dwelling Housing	Residential

**Subject Property Map: 861 Rose Avenue**



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM1 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Floor Area Ratio	.60	.49
Site Coverage of Buildings	40%	35.5%
Site Coverage of Buildings, Parking, and Driveways	50%	47.2%
Height	2.5 storeys or 9.0m	2.5 storeys or 8.56m
Front Yard	4.5m	6.5m
Side Yard (east)	2.0m	2.75m
Side Yard (west)	2.0m	2.75m
Rear Yard	1.5m	4.5m
Other Regulations		
Minimum Parking Requirements	6 parking stalls	6 parking stalls
Setbacks to Parking		
Side Yard (east)	1.5m	0.3m <sup>①</sup>
Side Yard (west)	1.5m	0.3m <sup>②</sup>
Rear Yard	1.5m	1.5m
Private Open Space	>25m <sup>2</sup> per dwelling	>25m <sup>2</sup> per dwelling
<sup>①</sup> Indicates a requested variance to allow required parking in the east side yard setback. <sup>②</sup> Indicates a requested variance to allow required parking in the west side yard setback.		

5.0 **Current Development Policies**5.1 Kelowna Official Community Plan (OCP)**Development Process**

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill.**<sup>2</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design height and siting.

6.0 **Technical Comments**6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

- A third party work order may be required with the Development Engineering Department for an upgraded water line and sewage connection. These requirements are to be resolved prior to issuance of the Building Permit.
- A Mechanical room independent from the units is required for the water service to enter prior to being piped to the independent units.
- Separate and independent heating systems are required for each unit. These heating units may be required to vent thru the roof depending on distances to windows and air inlets to the building. We recommend that the location of any air conditioners are to be established at this time due to setback limitations.
- This property falls within a defined flood plain area and compliance is required to Mill Creek Bylaw No. 10248 or alternative approval from the subdivision approving officer as per section 5.3 of the bylaw is required prior to issuance of any building permits
- HPO (Home Protection Office) approval or release is required at time of Building Permit application.
- The drawings submitted for Building Permit application are to indicate the method of fire separation between the units.
- Range hood above the stove and the washroom to vent separately to the exterior of the building. The size of the penetration for this duct thru a fire separation is restricted by BCBC 12, so provide size of ducts and fire separation details at time of Building Permit Applications.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

6.2 Development Engineering Department

- Please see attached Schedule "A" dated March 6, 2017

6.3 Fire Department

- Requirements of section 9.10.19 Smoke Alarms and Carbon Monoxide alarms of the BCBC 2012 are to be met.
- All units shall have a posted address on Rose Ave.
- If a fence is ever constructed between the units a clear width of 1100mm is required to be maintained for access
- Maintain access to all units from Rose Ave - a laneway is not a reliable emergency access route.

6.4 FortisBC Electric

- There are FortisBC Inc (Electric) ("FBC(E)") primary distribution facilities along Rose Avenue and within the lane adjacent the subject's south property line. The applicant is responsible for costs associated with any change to the subject property's existing service, if any, as well as the provision of appropriate land rights where required.

## **7.0 Application Chronology**

Date of Application Received: December 23, 2017  
Date Public Consultation Completed: May 5, 2017

**Report prepared by:** Trisa Brandt, Planner I

**Reviewed by:** Terry Barton, Urban Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

### **Attachments:**

Schedule "A": Memorandum dated March 6, 2017  
Site Plan and Floor Plans  
Conceptual Renderings  
Landscape Plan



## CITY OF KELOWNA

## MEMORANDUM

**Date:** March 6, 2017  
**File No.:** Z17-0012

**To:** Community Planning (TB)

**From:** Development Engineering Manager(SM)

**Subject:** 861 Rose Ave

RU6 to RM1

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Sergio Sartori

**1. Domestic Water and Fire Protection**

The subject property is currently serviced with a 13mm water service. The developer will need to determine the domestic and fire protection requirements of this proposed development. Only one service will be permitted for this development. The applicant will arrange for the disconnection of existing service and the installation of a new service. The disconnection of the existing small diameter water services and the tie-in of a larger new service can be provided by City forces at the developer's expense. One metered water service will supply the development. The applicant will be required to sign a Third Party Work Order for the cost of the water service upgrades. For estimate inquiry's please contact Sergio Sartori, by email [ssartori@kelowna.ca](mailto:ssartori@kelowna.ca) or phone, 250-469-8589.

**2. Sanitary Sewer**

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. An inspection chamber (IC) complete with brooks box must be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost. The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade. For estimate inquiry's please contact Sergio Sartori, by email [ssartori@kelowna.ca](mailto:ssartori@kelowna.ca) or phone, 250-469-8589.

**3. Road Improvements**

Rose Ave must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk, drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. A one-time cash payment in lieu of construction must be collected from the applicant for future construction by the City. The cash-in-lieu amount is determined to be **\$9,669.00** not including utility service cost.



This forms part of application

# Z17-0012

City of

**Kelowna**  
COMMUNITY PLANNING

- (a) Only the service upgrades must be completed at this time. The City wishes to defer the upgrades to Rose Ave fronting this development. The City will initiate the work later, on its own construction schedule.

Item	Cost
Drainage	\$ 2,855.00
Sidewalk	\$ 2,443.00
Curb & Gutter	\$ 1,954.00
Road Fillet	\$ 2,052.00
Blvd Landscaping	\$ 366.00
<b>Total</b>	<b>\$ 9,669.00</b>

#### 4. Subdivision

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) Provide a 5.0m road reserve along the full frontage of Rose Avenue.
- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager

#### 5. Development Permit and Site Related Issues

Direct the roof drains into on-site rock pits or splash pads.  
Access is permitted from the lane only.

#### 6. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

#### 7. Bonding and Levy Summary

##### (a) Levies

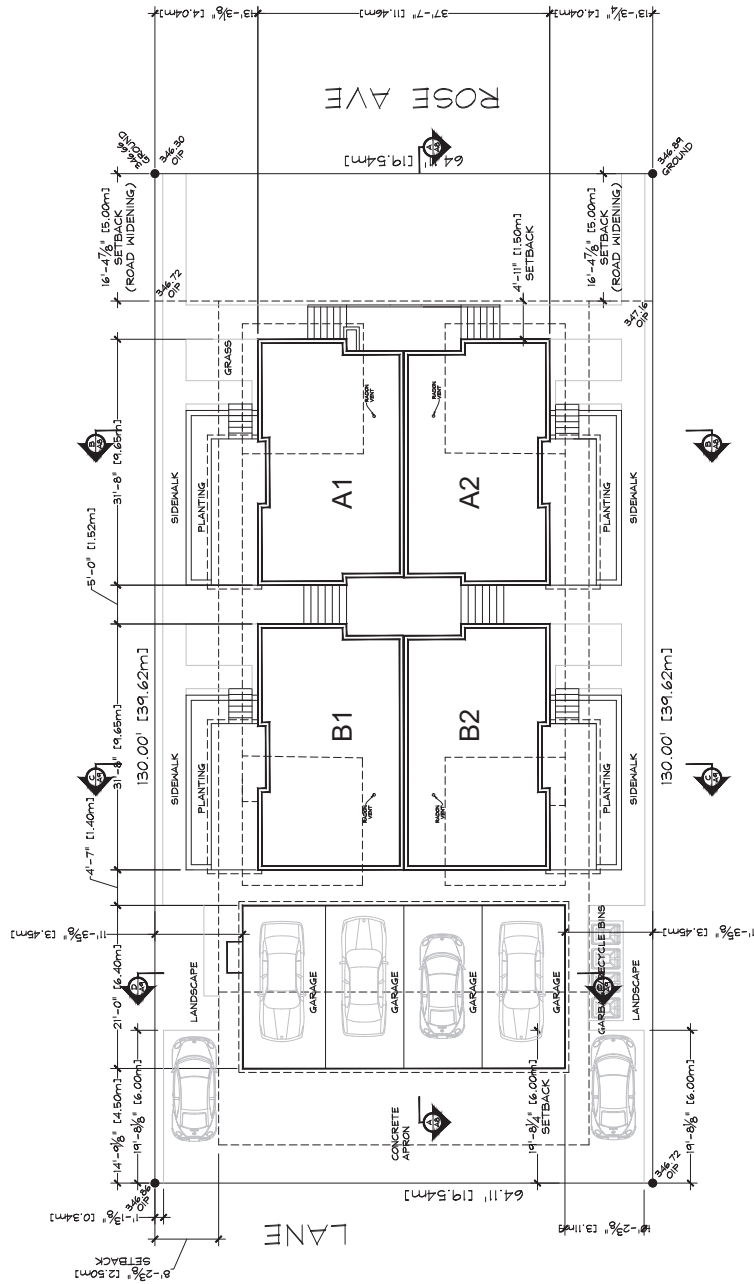
1. Rose Ave frontage improvements **\$9,669.00**

##### (b) Bonding

1. Service upgrades To be determined

  
Steve Muenz, P. Eng.  
Development Engineering Manager

SS



#### LOT COVERAGE

<b>BUILDING COVERAGE</b>	
MAIN FLOOR	= 2,082 SF
GARAGE	= 872 SF
PARKING/DRIVENAY	= 978 SF
<b>TOTAL LOT SQ/FT</b>	<b>= 8,334 SF</b>
<b>TOTAL FOOTPRINT</b>	<b>= 2,084 SF</b>
<b>TOTAL COVERAGE</b>	<b>= 35.45%</b>
<b>MAX ALLOWED</b>	<b>40%</b>

<b>TOTAL SITE COVERAGE</b>	
MAIN FLOOR	= 2,082 SF
GARAGE	= 872 SF
PARKING/DRIVENAY	= 978 SF
<b>TOTAL LOT SQ/FT</b>	<b>= 8,334 SF</b>
<b>TOTAL FOOTPRINT</b>	<b>= 3,932 SF</b>
<b>TOTAL COVERAGE</b>	<b>= 47.18%</b>
<b>MAX ALLOWED</b>	<b>50%</b>

<b>FLOOR AREA RATIO:</b>	
MAIN FLOOR	= 2,082 SF
UPPER FLOOR	= 1,982 SF
GARAGE	= 872 SF
<b>TOTAL LOT SQ/FT</b>	<b>= 8,334 SF</b>
<b>FAR</b>	<b>= 0.89 MAX ALLOWED 0.60</b>

#### LOT INFORMATION

ZONING R16  
 LEGAL DESCR. LOT 16, ODYD  
 CIVIC ADDRESS 861 ROSE AVE.  
 MILL CREEK FLOODPLAIN BYLAW: 346.75m

**TGM**  
Drafting & Design  
Tom Masters  
Kelowna, BC (250)372-2446  
kelowna6@gmail.com

SCALE: 1/8"=1'-0"

DATE: APR 23/17

SITE PLAN

'Rose Avenue Project'

# SPECIFICATIONS

- EXTERIOR WALL  
ACTIVE STUCCO ON  
PAPER & WIRE BASE W/ SCATCH COAT  
7" SHEATHING 1/2" O.C.  
2" RIGID INSULATION  
8.25 BATT INSULATION  
5/8" GYPSUM BOARD  
GARAGE FLOOR  
CONCRETE SLAB  
SLOPE 2" MIN FOR DRAINAGE  
EXTERIOR FOUNDATION  
2" CONCRETE FOUNDATION  
3" RIGID INSULATION TO  
CONCRETE FOUNDATION  
24" MIN. BELOW FINISH GRADE  
24" 4" CONCRETE FOOTING  
INTERIOR FOUNDATION  
6" CONCRETE CURB  
16" 4" CONCRETE FOOTING  
DRAINAGE  
6" MIN DRAIN ROCK COVER  
4" DIA DRAIN TILE

## BELOW GRADE WALL ASSEMBLY

DESCRIPTION	NOMINAL	EFFECTIVE
8" FOUNDATION WALLS W/ 2X6 PWF	RSI 2.66	(R-15.1)
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. DAMPROOFING/INTERIOR AIR FILM	0.33	1.9
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		RSI 2.99 (R-17.0)
MINIMUM THERMAL RESISTANCE FOR BELOW GRADE WALLS W/ R/V		RSI 2.98
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS		RSI 2.98 (R-16.92)

NOTE:  
FURNACES IN ALL UNITS  
TO BE HUNG FROM UNDERSIDE  
OF FLOOR JOISTS

FOOTINGS ARE TO BE PLACED ON UNDISTURBED  
OR COMPACTED SOIL WITH AN ALLOWABLE  
BEARING PRESSURE OF 2000LB/SQ.FT. OR GREATER.  
FOOTINGS ARE TO BE PLACED ON UNDISTURBED  
OR COMPACTED SOIL WITH AN ALLOWABLE  
BEARING PRESSURE OF 2000LB/SQ.FT. OR  
GREATER. COMPACTION TO BE TESTED BY QUALIFIED  
PROFESSIONAL OR GEOTECHNICAL ENGINEER.

PROVIDE FIRE STOPS IN ACCORDANCE WITH BC  
BUILDING CODE REFERENCE 9.10.1.3 AND SMOKE  
ALARMS IN ACCORDANCE WITH REFERENCE 9.10.1.8.  
PROVIDE DAMPROOFING, WATERPROOFING AND SOIL  
GAS CONTROL IN ACCORDANCE WITH BC BUILDING  
CODE REFERENCE SECTION 9.1.3 & 9.16.2

## FOUNDATION PLAN

'Rose Avenue Project'

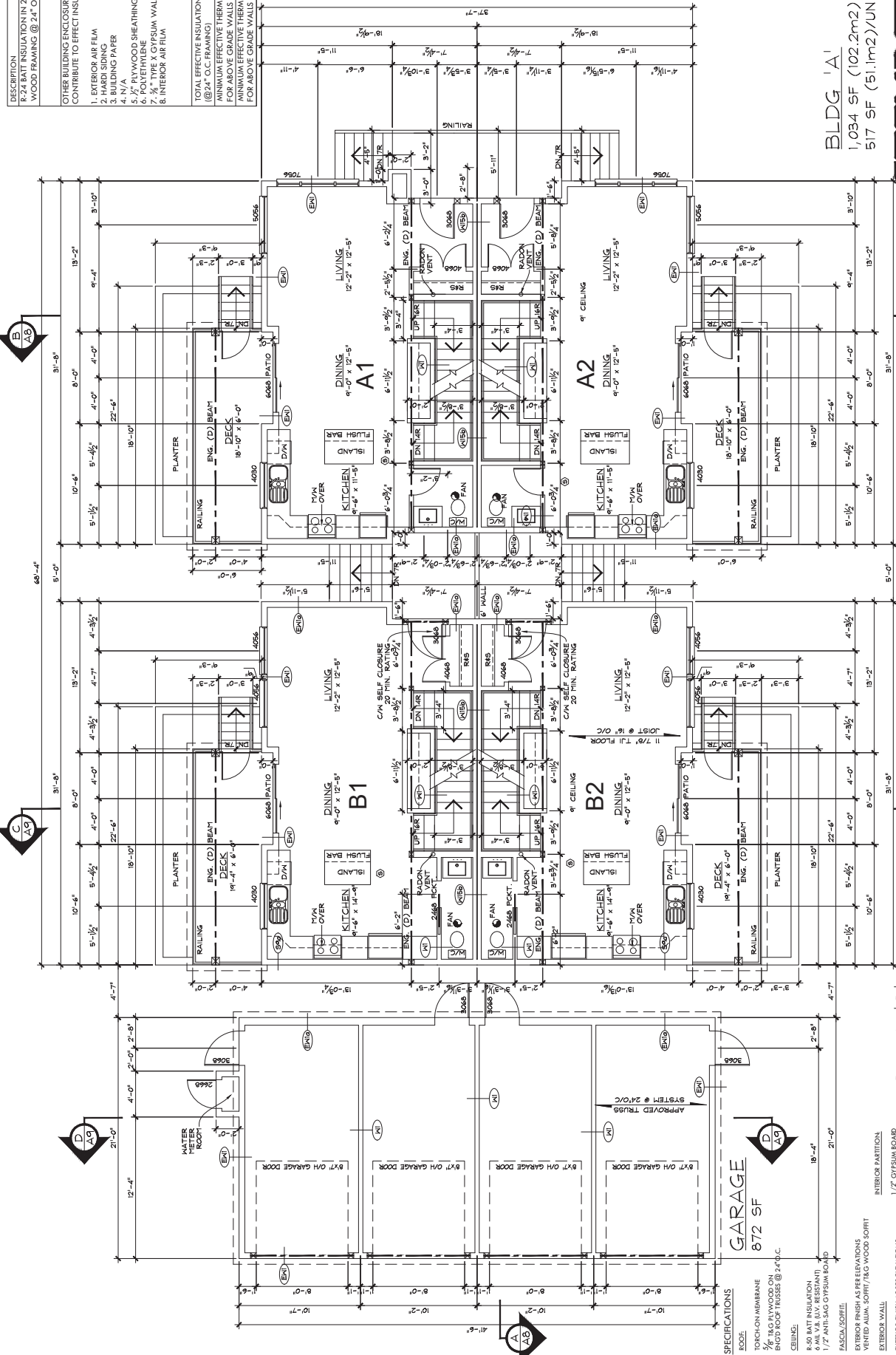
861 ROSE AVE, KELOWNA, BC

**TGM**  
Drafting & Design  
Tom Masters  
Kelowna, BC (250) 37-2446  
kelowna6@gmail.com

SHEET NO.  
SCALE 1/4"=1'-0"  
DATE APR 23/17  
**A4**  
BASEMENT  
PLAN

ABOVE GRADE WALL ASSEMBLY (HARDI SIDING)

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN ZIG	RSI 4.23	[R-15.1]
WOOD FRAMING @ 24" O.C.		
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. EXTERIOR AIR FILM	0.03	0.17
2. HARD SIDING	0.03	0.11
3. FINISHING PAPER	N/A	N/A
4. N/A	0.11	0.63
5. 5/8" PLYWOOD SHEATHING	0.00	0.00
6. POLYETHYLENE	0.00	0.00
7. 3/4" TYPE X GYPSUM WALL BOARD	0.099	0.56
8. INTERIOR AIR FILM	0.12	0.68
TOTAL EFFECTIVE INSULATION VALUE	RSI 4.42	[R-17.4]
MINIMUM EFFECTIVE THERMAL RESISTANCE	RSI 3.08	[R-17.49]
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS W/HRV	RSI 3.08	[R-17.49]
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS	RSI 3.08	[R-17.49]



**TGM**  
Drafting & Design  
Tom Masters  
Kelowna, BC (250)377-2446  
kelowna6@gmail.com

SCALE: 1/4" = 1'-0"  
DATE: APR 23/17  
MAIN FLOOR  
PLAN

SHEET NO. **A3**

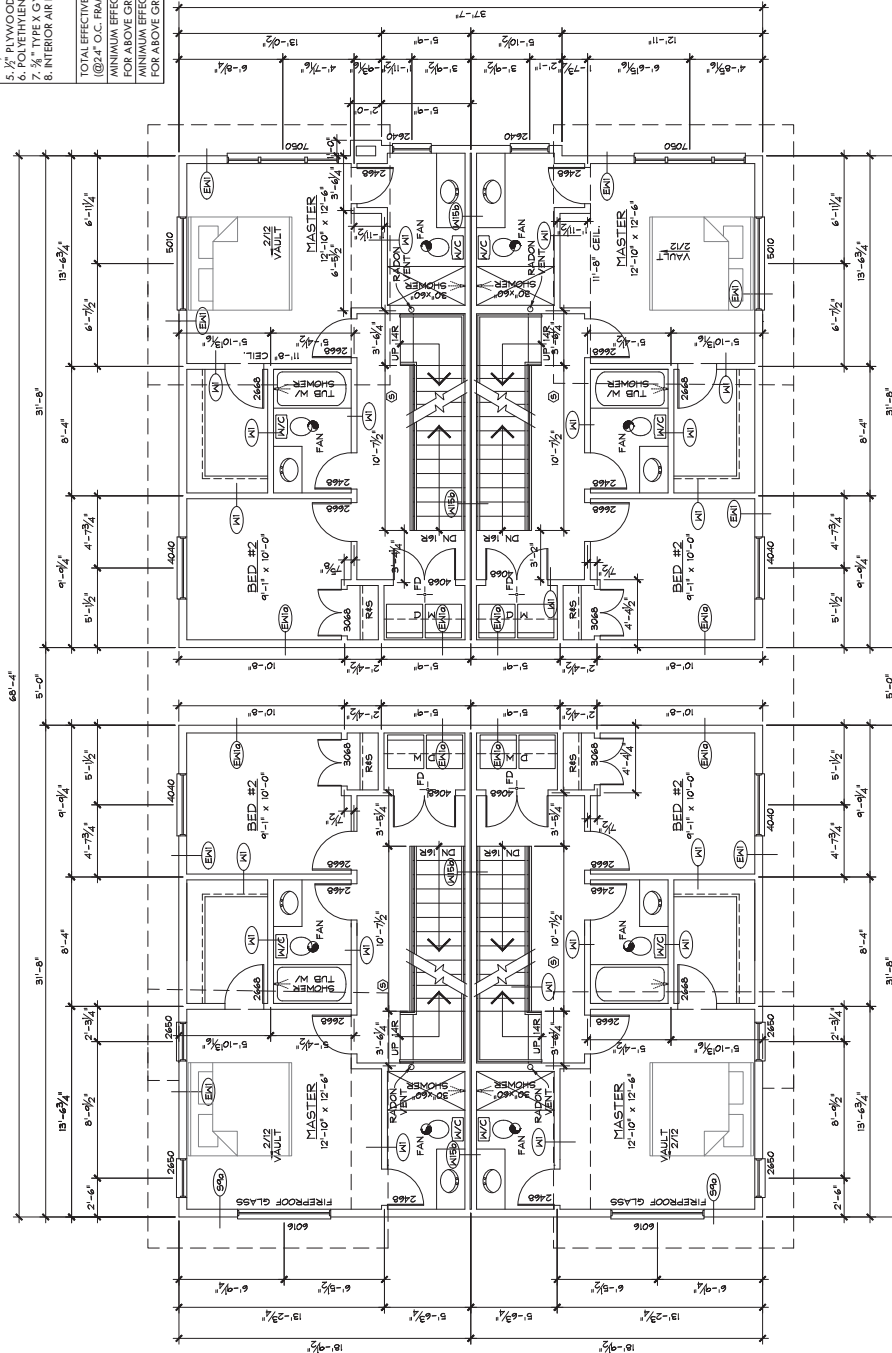
'Rose Avenue Project'

BLDG 'A'  
1,034 SF (102.2m<sup>2</sup>)  
517 SF (51.1m<sup>2</sup>)/UNIT

BLDG 'B'  
1,048 SF (106.8m<sup>2</sup>)  
524 SF (53.4m<sup>2</sup>)/UNIT

ABOVE GRADE WALL ASSEMBLY (HARD SIDING)

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2X6	RSI 4.23	(R-15.1)
WOOD FRAMING @ 24" O.C.		
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL		
1. EXTERIOR AIR FILM	0.03	0.17
2. HARD SIDING	0.03	0.11
3. BUILDING PAPER	0.00	0.00
4. 1/2" GYPSUM BOARD	0.05	0.05
5. 1/2" POLYETHYLENE SHEATHING	0.11	0.03
6. 1/2" POLYETHYLENE	0.00	0.00
7. 3/4" TYPE X GYPSUM WALL BOARD	0.099	0.56
8. INTERIOR AIR FILM	0.12	0.68
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		RSI 4.42 (R-17.24)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS W/ HRV		RSI 2.97 (R-16.86)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 3.08 (R-17.49)



BLDG 'A'  
996 SF (92.6m2)  
498 SF (46.3m2)/UNIT

BLDG 'B'  
996 SF (92.6m2)  
498 SF (46.3m2)/UNIT

'Rose Avenue Project'

861 ROSE AVE, KEDLOWNA, BC

**TGM**  
Drafting & Design  
Tom Masters  
Kedowna, BC (250)317-2446  
kedowna6@gmail.com

SCALE: 1/4"=1'-0"  
DATE: APR 23/17  
UPPER FLOOR  
PLAN

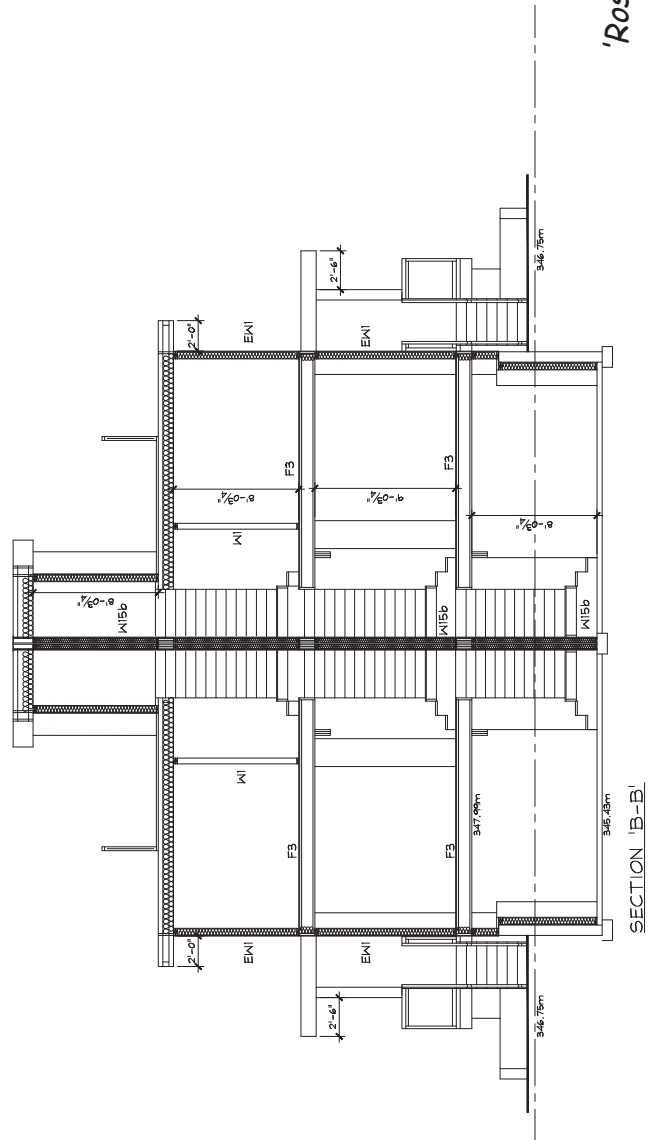
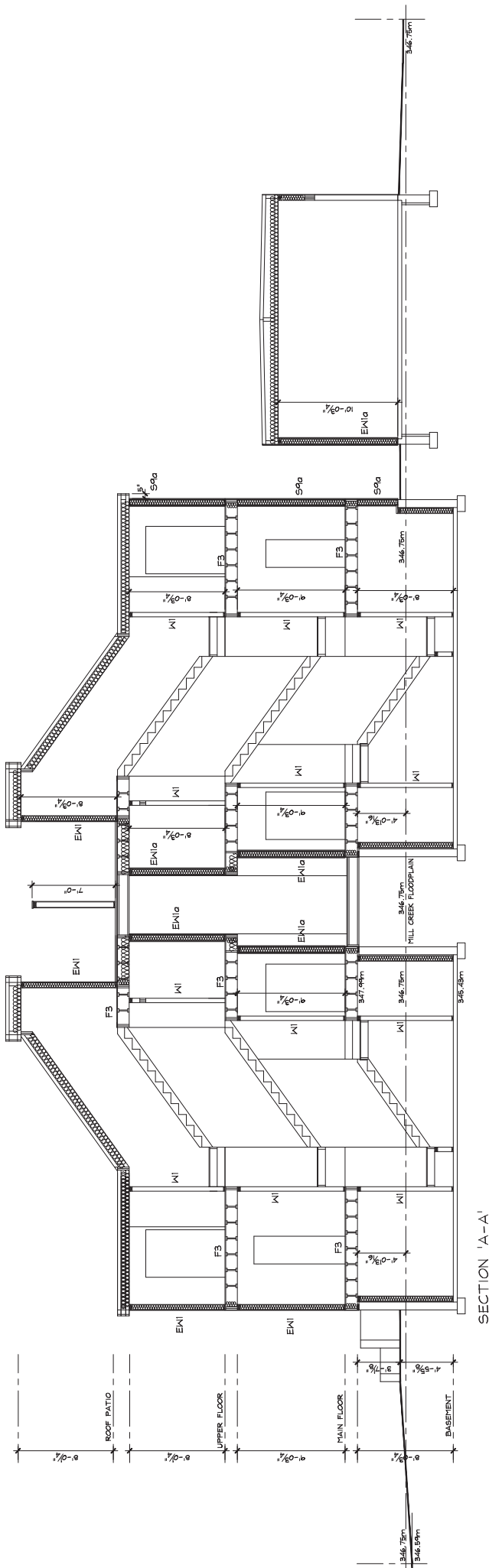


ROOF ASSEMBLY - CATHEDRAL CEILINGS

DESCRIPTION	NOMINAL	EFFECTIVE
R-50 BATT INSULATION IN ENG. TRUSS @ 24" O.C.	RSI 8.81	(R-50.0)
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL		
1. INTERIOR AIR FILM	0.12	0.68
2. 1/2" GYPSUM BOARD	0.08	0.45
3. 3/4" SHEATHING	0.00	0.00
4. ROOF FINISH	0.00	0.00
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		RSI 9.12 (R-51.73)
MINIMUM EFFECTIVE THERMAL RESISTANCE W/ HRV		RSI 5.73 (R-32.5)
MINIMUM EFFECTIVE THERMAL RESISTANCE		RSI 4.67 (R-26.5)



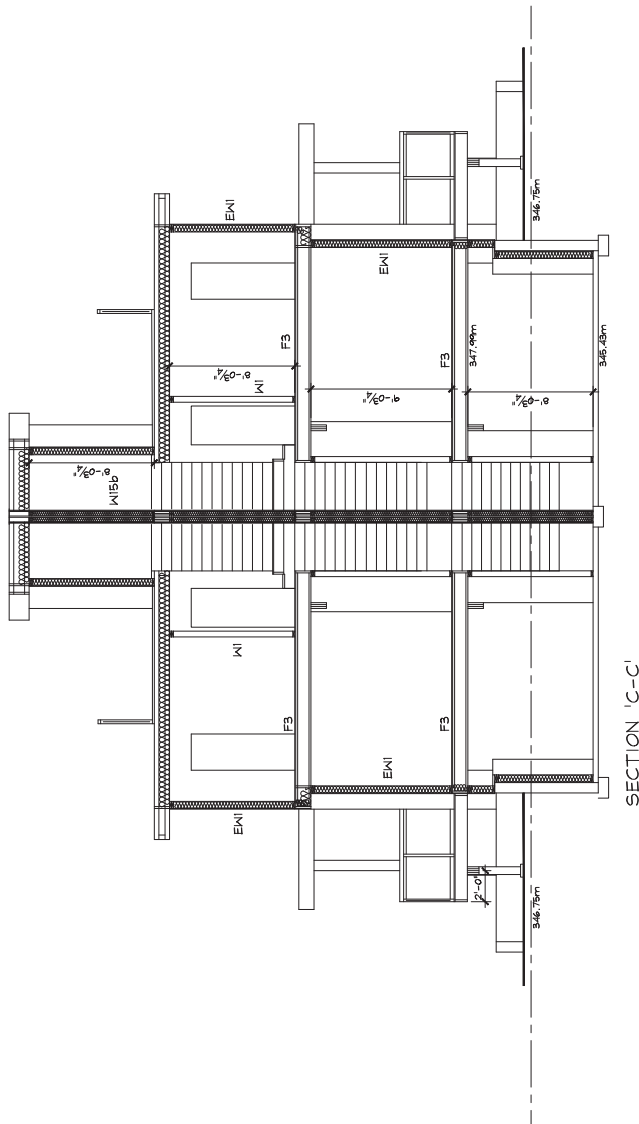




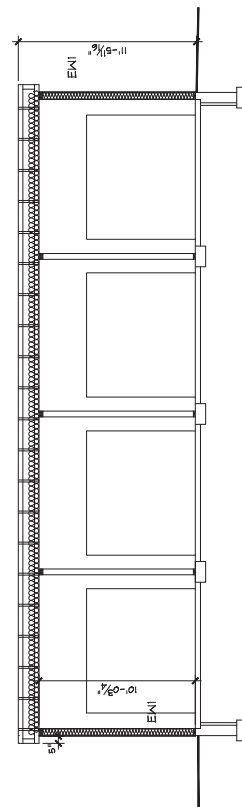
**TGM**  
Drafting & Design  
Tom Masters  
Kelowna, BC (250)37-2446  
kelowna6@gmail.com

SCALE: 1/4"=1'-0"  
DATE: APR 23/17  
SECTIONS  
SHEET NO. **A8**

'Rose Avenue Project'  
881 ROSE AVE, KELOWNA, BC



SECTION 'C-C'



SECTION 'D-D'

# WALL TYPES

- K1** 38 MM X 84 MM STUDS SPACED 400 MM OR 600 MM O.C.  
WITH OR WITHOUT ABSORPTIVE MATERIAL  
1 LAYER OF GYPSUM BOARD ON EACH SIDE
- K15B** TWO ROWS 38 MM X 84 MM STUDS, EACH SPACED 400 MM OR 600 MM O.C.  
ON GYPSUM BOARD, SEPARATE 38 MM X 84 MM PLATES SET 25 MM APART  
WITH OR WITHOUT ABSORPTIVE MATERIAL  
2 LAYERS OF GYPSUM BOARD ON EACH SIDE
- K15B** 115 WITH 12.7 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE  
12.7 MM TYPE X GYPSUM BOARD 1 H
- EN1** 38 MM X 140 MM STUDS SPACED 400 MM OR 600 MM O.C.  
84 MM THICK ABSORPTIVE MATERIAL  
1 LAYER OF 13 MM GYPSUM BOARD ON INSIDE  
EXTERIOR SHEATHING AND SIDING
- F3** SUBFLOOR OF 15.5 MM PLYWOOD, JOIST OR MAFERBOARD, 15.5 MM THICK ABSORPTIVE MATERIAL ON INSIDE  
ON WOOD JOISTS CHANGE BEGINNOR WOOD I-JOISTS CHANGE END SPACED NOT MORE THAN 600 MM O.C.  
WITH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITY  
1 LAYER OF GYPSUM BOARD ON CEILING SIDE
- S9a** 81 MM X 183 MM STEEL STUDS SPACED 400 MM OR 600 MM O.C.  
2 LAYERS OF 12.7 MM TYPE X GYPSUM BOARD ON EACH SIDE  
150 MM THICK ABSORPTIVE MATERIAL

'Rose Avenue Project'

861 ROSE AVE, KELOWNA, BC

Drafting & Design  
Tom Masters  
Kelowna, BC (250)372-2446  
kelowna6@gmail.com

SCALE: 1/4"=1'-0"

DATE: APR 23/17

SHEET NO. A9

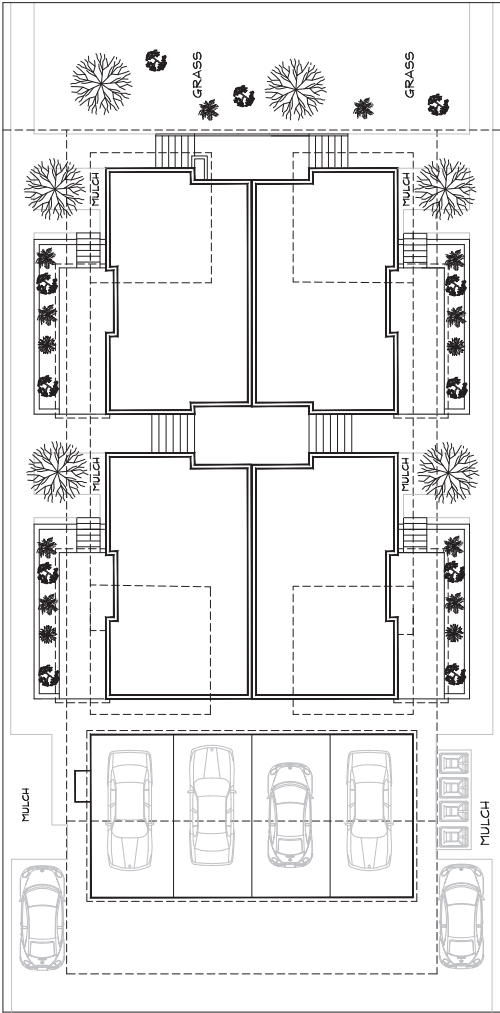
SECTIONS











**LOT INFORMATION**

ZONING RUC  
 LEGAL DESCR. LOT 16, ODD  
 CIVIC ADDRESS 861 ROSE AVE.

PROPOSED RM  
 PLAN 616  
 861 ROSE AVE.

- MAPLE
- JAPANESE MAPLE
- NINE BARK
- BARBERRY
- SMALL PLANTS AND FLOWERS  
 WILL BE ADDED TO PLANTING BEDS

**TGM**  
 Drafting & Design  
 Tom Masters  
 Kelowna, BC (250) 372-2446  
 kelowna6@gmail.com

SCALE: 1/8" = 1'-0"  
 DATE: APR 23/17  
 LANDSCAPE  
 PLAN  
 L1

*'Rose Avenue Project'*  
 861 ROSE AVE, KELOWNA, BC

**CITY OF KELOWNA**  
**BYLAW NO. 11411**  
**Z17-0012 – 861 Rose Ave**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 7, District Lot 136, ODYD, Plan 8116 located on Rose Avenue, Kelowna, B.C., from the RU6 – Two Dwelling Housing zone to the RM1 – Four Dwelling Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

# REPORT TO COUNCIL



**Date:** May 29, 2017

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (TB)

**Application:** Z17-0013      **Owner:** Wes Riley Jones  
Tammy Retta Jones

**Address:** 775 Rose Avenue      **Applicant:** Integrity Services Inc.

**Subject:** Rezoning Application

Existing OCP Designation: MRL – Multiple Unit Residential (Low Density)

Existing Zone: RU6 – Two Dwelling Housing

Proposed Zone: RM1 – Four Dwelling Housing

---

## 1.0 Recommendation

THAT Rezoning Application No. Z17-0013 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 7, District Lot 136, ODYD, Plan 11487, located at 775 Rose Avenue Kelowna, BC from the RU6 – Two Dwelling Housing zone to the RM1 – Four Dwelling Housing zone be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated May 29, 2017;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject property.

## 2.0 Purpose

To rezone the subject property to RM1 – Four Dwelling Housing to facilitate the development of four dwelling units.

### 3.0 Community Planning

Community Planning Staff supports the proposed rezoning application to facilitate the development of four dwelling units. The RM1 – Four Dwelling Housing zone is consistent with the Official Community Plan (OCP) Future Land Use Designation of MRL – Multiple Unit Residential (Low Density). The proposal is consistent with OCP policies for Compact Urban Form and Sensitive Infill. Should Council support this rezoning, a Development Permit and Development Variance Permit will be considered by Council prior to 4<sup>th</sup> reading.

There are two other development applications on Rose Avenue that have been submitted to the City requesting the same zone for the construction of a four-plex with nearly identical floor plans. Staff have worked with the representatives from each project to ensure that differences in the materials and colour palette of each application provides variety and individuality.

### 4.0 Proposal

#### 4.1 Background

The subject property features a raised bungalow that will be demolished as a function of this development proposal. The property is located near the new RU7 – Infill Housing Zone which will also allow for four-plex developments. It is anticipated that this area is in a stage of redevelopment where infill will become more and more frequent and density will increase.

#### 4.2 Project Description

The proposed rezoning would facilitate the development of a four-plex on the subject property. This is consistent with the OCP Future Land Use designation of Multiple Unit Residential Low Density. The proposal meets the OCP Policy of Compact Urban Growth by increasing density where infrastructure already exists.

The proposal involves a 5.0m road reserve across the front property for future expansion of Rose Avenue. All parking will be located in the rear, with 4 covered parking stalls and 2 uncovered stalls. The project requires one variance to allow the additional 2 uncovered stalls to be located in the side yard setback. All other Zoning Bylaw requirements are met including provision of private outdoor space, height, setbacks, and site coverage.

The proposed design has front doors facing the street for the two front units, and side entry for the two rear units. The units feature full basements and as such a 219 Restrictive Covenant regarding the Mill Creek Floodplain Bylaw has been placed on title that indemnifies the City in the event of any flooding. Four units is the maximum allowed under the zone, and therefore secondary suites would not be permitted in the units.

The design as proposed meets the majority of the design guidelines, and should Council support the rezoning, a Development Permit and Development Variance Permit will be considered by Council prior to 4<sup>th</sup> reading. There are two other applications on Rose Avenue at this time that are also rezoning to a four-plex with nearly identical floor plans. The representatives from each project have taken care to ensure that differences in the materials and colour palette of each application provides variety and individuality. The three projects are located at 775 Rose Avenue, 815 Rose Avenue, and 861 Rose Avenue as shown in the Map on Page 3.



Figure 1.0 – Current Zoning Applications along Rose Avenue to RM1

#### 4.3 Site Context

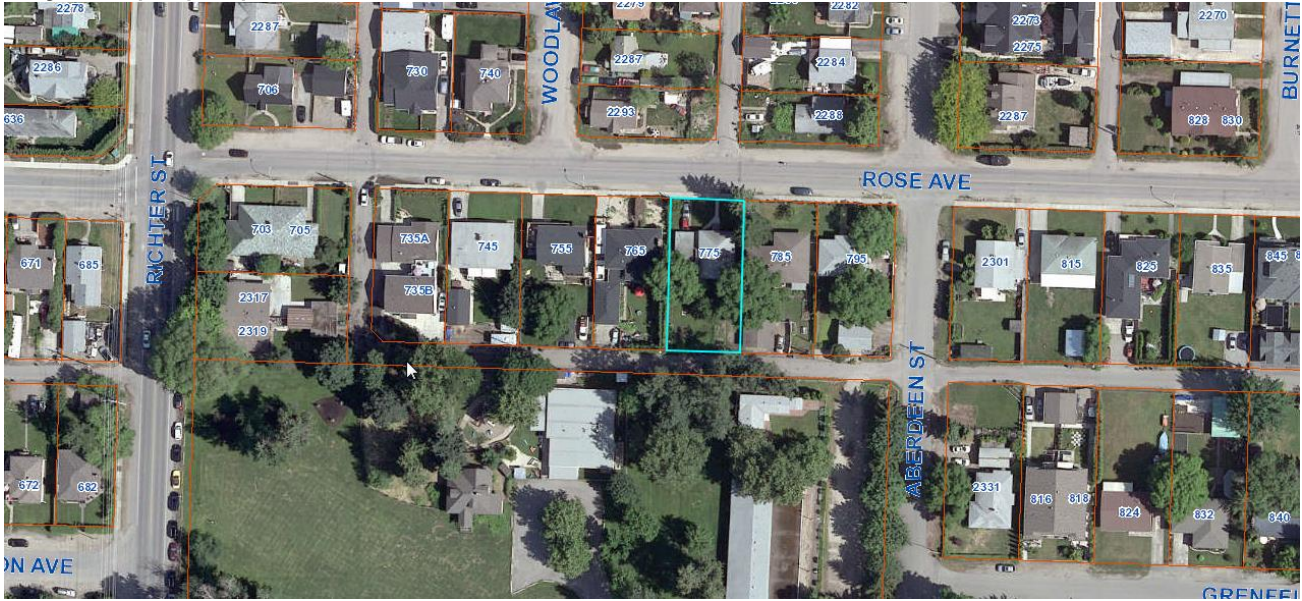
The subject property is located in South Pandosy east of Richter Street and south of Ethel Street on the south side of Rose Avenue. The subject property is within walking distance to a variety of amenities including Guisachan Village, Cameron Park, Kelowna General Hospital, and is located on a bicycle corridor with access to the proposed Ethel Street Active Transportation Corridor. Immediately to the south of this property is Cameron Park, and an RU6 – Two Dwelling Housing neighbourhood is to the north.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing	Residential
East	RU6 – Two Dwelling Housing	Residential
South	RU7 – Infill Housing	Residential
West	RU6 – Two Dwelling Housing	Residential



## Subject Property Map: 775 Rose Avenue



## 4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM <sub>1</sub> ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Floor Area Ratio	.60	.49
Site Coverage of Buildings	40%	35.5%
Site Coverage of Buildings, Parking, and Driveways	50%	47.2%
Height	2.5 storeys or 9.0m	2.5 storeys or 8.56m
Front Yard	4.5m	6.5m
Side Yard (east)	2.0m	2.75m
Side Yard (west)	2.0m	2.75m
Rear Yard	1.5m	4.5m
Other Regulations		
Minimum Parking Requirements	6 parking stalls	6 parking stalls
Setbacks to Parking		
Side Yard (east)	1.5m	0.3m ❶
Side Yard (west)	1.5m	0.3m ❷
Rear Yard	1.5m	1.5m
Private Open Space	>25m <sup>2</sup> per dwelling	>25m <sup>2</sup> per dwelling
❶ Indicates a requested variance to allow required parking in the east side yard setback. ❷ Indicates a requested variance to allow required parking in the west side yard setback.		

## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill.**<sup>2</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design height and siting.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- A third party work order may be required with the Development Engineering Department for an upgraded water line and sewage connection. These requirements are to be resolved prior to issuance of the Building Permit.
- A Mechanical room independent from the units is required for the water service to enter prior to being piped to the independent units.
- Separate and independent heating systems are required for each unit. These heating units may be required to vent thru the roof depending on distances to windows and air inlets to the building. We recommend that the location of any air conditioners are to be established at this time due to setback limitations.
- This property falls within a defined flood plain area and compliance is required to Mill Creek Bylaw No. 10248 or alternative approval from the subdivision approving officer as per section 5.3 of the bylaw is required prior to issuance of any building permits
- HPO (Home Protection Office) approval or release is required at time of Building Permit application.
- The drawings submitted for Building Permit application are to indicate the method of fire separation between the units.
- Range hood above the stove and the washroom to vent separately to the exterior of the building. The size of the penetration for this duct thru a fire separation is restricted by BCBC 12, so provide size of ducts and fire separation details at time of Building Permit Applications.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

### 6.2 Development Engineering Department

- Please see attached Schedule "A" dated March 6, 2017

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

6.3 Fire Department

- Requirements of section 9.10.19 Smoke Alarms and Carbon Monoxide alarms of the BCBC 2012 are to be met.
- All units shall have a posted address on Rose Ave.
- If a fence is ever constructed between the units a clear width of 1100mm is required to be maintained for access
- Maintain access to all units from Rose Ave - a laneway is not a reliable emergency access route.

6.4 FortisBC Electric

- There are FortisBC Inc (Electric) ("FBC(E)") primary distribution facilities along Rose Avenue and within the lane adjacent the subject's south property line. The applicant is responsible for costs associated with any change to the subject property's existing service, if any, as well as the provision of appropriate land rights where required.

7.0 **Application Chronology**

Date of Application Received: December 23, 2017  
Date Public Consultation Completed: May 5, 2017

**Report prepared by:** Trisa Brandt, Planner I

**Reviewed by:** Terry Barton, Urban Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

**Attachments:**

Schedule "A": Memorandum dated March 6, 2017  
Site Plan and Floor Plans  
Conceptual Renderings  
Landscape Plan



## CITY OF KELOWNA

## MEMORANDUM

**Date:** March 6, 2017  
**File No.:** Z17-0013

**To:** Community Planning (TB)

**From:** Development Engineering Manager(SM)

**Subject:** 775 Rose Ave

RU6 to RM1

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Sergio Sartori

1. **Domestic Water and Fire Protection**

The subject property is currently serviced with a 13mm water service. The developer will need to determine the domestic and fire protection requirements of this proposed development. Only one service will be permitted for this development. The applicant will arrange for the disconnection of existing service and the installation of a new service. The disconnection of the existing small diameter water services and the tie-in of a larger new service can be provided by City forces at the developer's expense. One metered water service will supply the development. The applicant will be required to sign a Third Party Work Order for the cost of the water service upgrades. For estimate inquiry's please contact Sergio Sartori, by email [ssartori@kelowna.ca](mailto:ssartori@kelowna.ca) or phone, 250-469-8589.

2. **Sanitary Sewer**

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. An inspection chamber (IC) complete with brooks box must be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost. The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade. For estimate inquiry's please contact Sergio Sartori, by email [ssartori@kelowna.ca](mailto:ssartori@kelowna.ca) or phone, 250-469-8589.

3. **Road Improvements**

Rose Ave must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk, drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. A one-time cash payment in lieu of construction must be collected from the applicant for future construction by the City. The cash-in-lieu amount is determined to be **\$9,669.00** not including utility service cost.

This forms part of application

# Z17-0013


**Kelowna**  
 COMMUNITY PLANNING

- (a) Only the service upgrades must be completed at this time. The City wishes to defer the upgrades to Rose Ave fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later on its own construction schedule.

Item	Cost
Drainage	\$ 2,855.00
Sidewalk	\$ 2,443.00
Curb & Gutter	\$ 1,954.00
Road Fillet	\$ 2,052.00
Blvd Landscaping	\$ 366.00
<b>Total</b>	<b>\$ 9,669.00</b>

#### 4. Subdivision

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) Provide a 5.0m road reserve along the full frontage of Rose Avenue.
- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager

#### 5. Development Permit and Site Related Issues

Direct the roof drains into on-site rock pits or splash pads.  
 Access is permitted from the lane only.

#### 6. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

#### 7. Bonding and Levy Summary

##### (a) Levies

1. Rose Ave frontage improvements **\$9,669.00**

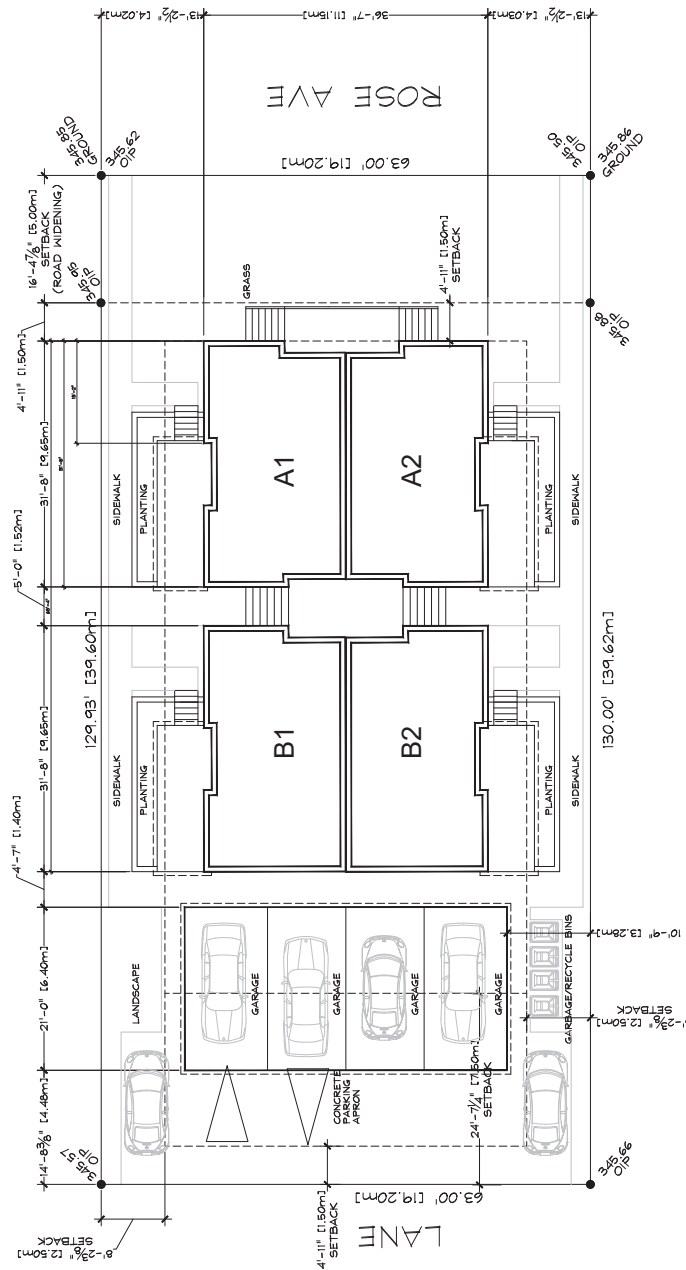
##### (b) Bonding

1. Service upgrades To be determined

  
 Steve Muenz, P. Eng.  
 Development Engineering Manager

SS





ZONING RU6  
LEGAL DESCR.  
CIVIC ADDRESS  
MILL CREEK FLOODPLAIN BYLAW:

PROPOSED RM1  
LOT 7 , DL 16, ODYD  
PLAN 11487  
775 ROSE AVE.  
345.95m

BUILDING COVERAGE		TOTAL SITE COVERAGE		FLOOR AREA RATIO	
MAIN FLOOR	= 2,022 SF	MAIN FLOOR	= 2,022 SF	MAIN FLOOR	= 2,022 SF
UPPER FLOOR	= 872 SF	PARKING	= 872 SF	UPPER FLOOR	= 1,432 SF
GARAGE	= 2,894 SF	GARAGE/DRIVEWAY	= 5,162 SF	GARAGE	= 4,732 SF
				SOFT FLOOR	= 8,186 SF
				LOT AREA	= 8,186 SF
				FAR	= 0.59 MAX ALLOWED 0.60
TOTAL LOT SO/FIT = 8,186 SF		TOTAL LOT SO/FIT = 8,186 SF			
TOTAL FOOTPRINT = 2,894 SF		TOTAL FOOTPRINT = 3,772 SF			
TOTAL COVERAGE = 35.35%		TOTAL COVERAGE = 47.50%			
MAX ALLOWED 40%		MAX ALLOWED 50%			

**TGM**  
Drafting & Design  
Tom Masters  
Kelowna, BC (250)317-2446  
kelowna635@gmail.com

SCALE:	1/8"=1'-0"
DATE:	APR 24/17
SITE PLAN	
SHEET NO. A1	

**'Rose Avenue Project'**  
775 ROSE AVE., KELOWNA, BC

# SPECIFICATIONS

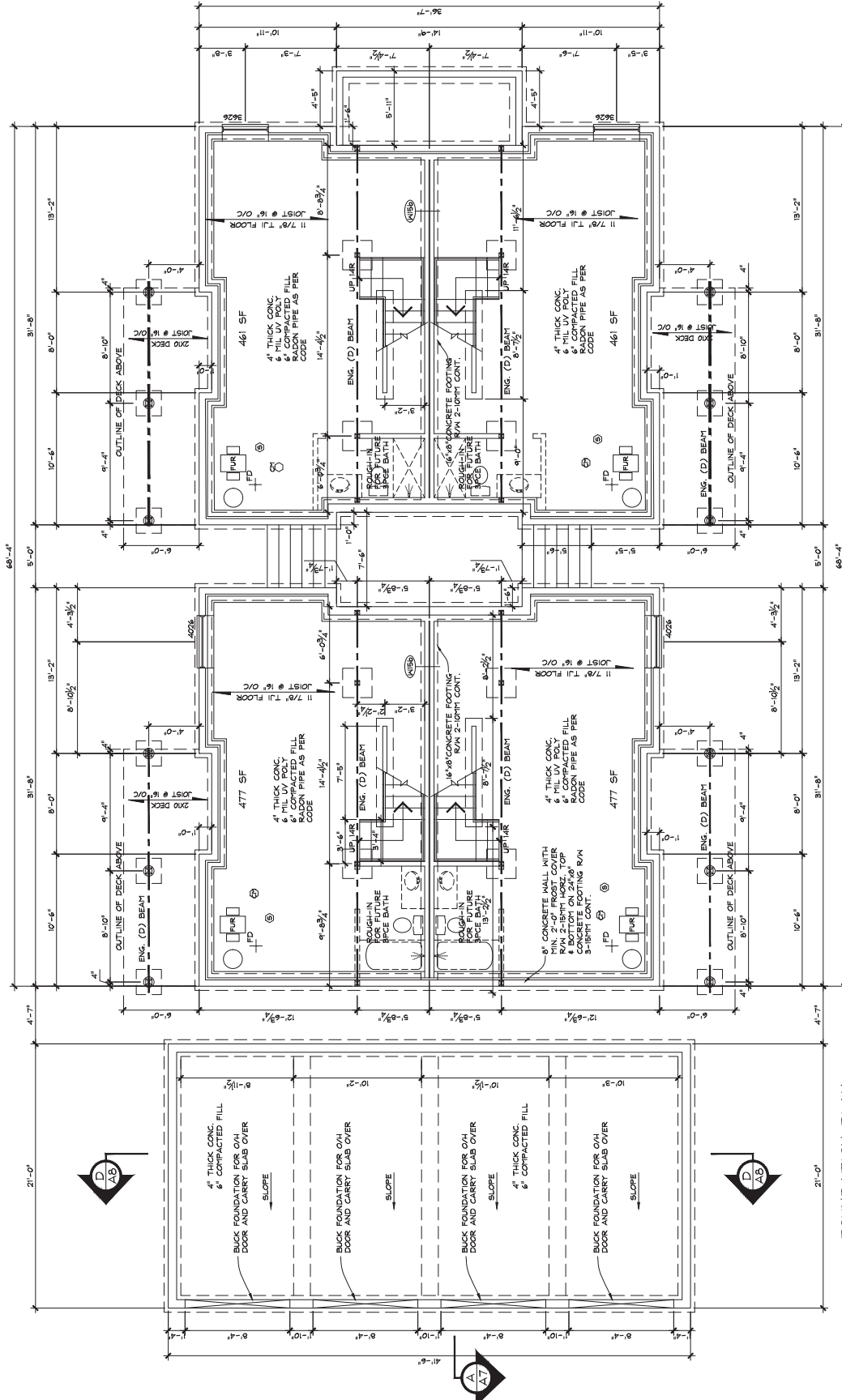
- EXTERIOR WALL  
ACTIVE STUCCO ON  
PAPER & WIRE MESH W/ SCRATCH COAT  
2" SHEATHING 4" O.C.  
8.25 BATT INSULATION  
9 MIL POLY V.A. (U.V. RESISTANT)  
5/8" GYPSUM BOARD  
GARAGE FLOOR  
CONCRETE SLAB  
SLOPE 2" MIN FOR DRAINAGE  
EXTERIOR FOUNDATION  
2" CON. EX. SP. REIN. EMBED IN  
3" CONCRETE FOUNDATION WALL  
3" RIGID INSULATION TO EXTERIOR  
MAX 24" BELOW FINISH GRADE  
24"x8" CONCRETE FOOTING  
INTERIOR FOUNDATION  
6" CONCRETE CURB  
6" 4" CONCRETE FOOTING  
DRAINAGE  
6" MIN DRAIN ROCK COVER  
4" DIA. DRAIN TILE

## BELOW GRADE WALL ASSEMBLY OPTION 1

DESCRIPTION	NOMINAL	EFFECTIVE
8" FOUNDATION WALLS W/ 2X6 PW/RSI 2.65 (#1.5.1)		
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. DAMPROOFING/INTERIOR AIR FILM 0.33		1.9
TOTAL EFFECTIVE INSULATION VALUE (@16" O.C. FRAMING) MINIMUM THERMAL RESISTANCE FOR BELOW GRADE WALLS W/ HR. RES. (#1.5.2)	RSI 2.99 (#1.7.2)	RSI 2.98 (#1.7.2)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS (#1.5.2)	RSI 2.98 (#1.5.2)	RSI 2.98 (#1.5.2)

## BELOW GRADE WALL ASSEMBLY OPTION 2

DESCRIPTION	NOMINAL	EFFECTIVE
8" FOUNDATION WALLS w/ 3" EPS	RSI 2.65 (#7.5.3)	
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. DAMPROOFING/INTERIOR AIR FILM		
TOTAL EFFECTIVE INSULATION VALUE (@16" O.C. FRAMING) MINIMUM THERMAL RESISTANCE FOR BELOW GRADE WALLS W/ HR. RES. (#1.5.2)	RSI 2.98 (#1.7.2)	RSI 2.98 (#1.7.2)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS (#1.5.2)	RSI 2.98 (#1.5.2)	RSI 2.98 (#1.5.2)



## FOUNDATION PLAN

- NOTES  
PROVIDE FIRE STOPS IN ACCORDANCE WITH BC  
BUILDING CODE REFERENCE 9.10.1.3 AND SMOKE  
ALARMS IN ACCORDANCE WITH REFERENCE 9.10.1.8.  
PROVIDE DAMPROOFING, WATERPROOFING AND SOIL  
GAS CONTROL IN ACCORDANCE WITH BC BUILDING  
CODE REFERENCE SECTION 9.13 & 9.16.2  
FOOTINGS ARE TO BE PLACED ON UNDISTURBED  
OR COMPACTED SOIL WITH AN ALLOWABLE  
BEARING PRESSURE OF 2000LBS/SQ.FT. OR GREATER.  
FOOTINGS ARE TO BE PLACED ON UNDISTURBED  
OR COMPACTED SOIL WITH AN ALLOWABLE  
BEARING PRESSURE OF 2000LBS/SQ.FT. OR  
GREATER. COMPACTION TO BE TESTED BY QUALIFIED  
PROFESSIONAL OR GEOTECHNICAL ENGINEER.

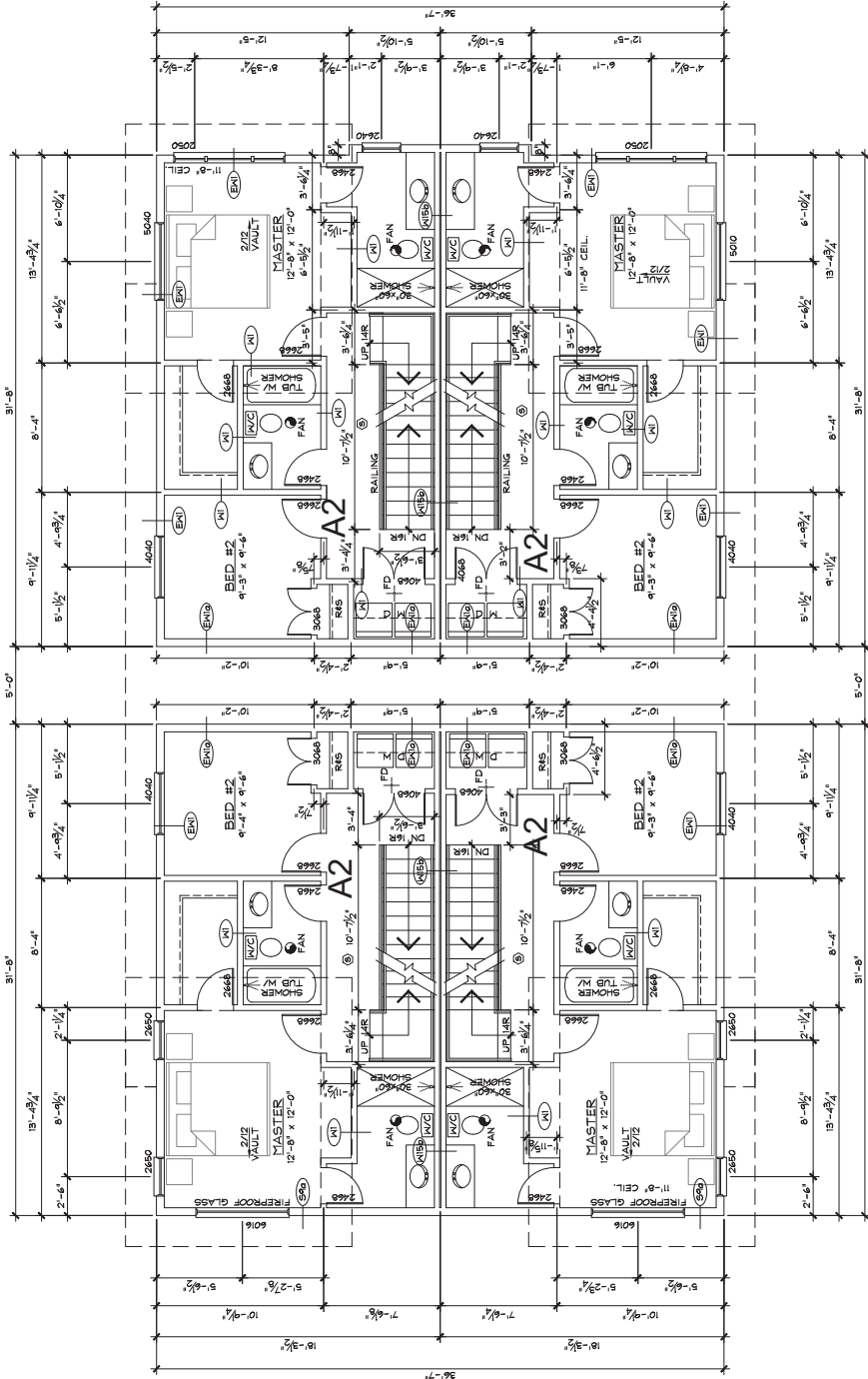
'Rose Avenue Project

775 ROSE AVE, KELOWNA, BC

**TGM**  
Drafting & Design  
Tom Masters  
Kelowna, BC (250)377-2446  
kelowna6@gmail.com

SCALE: 1/4"=1'-0"  
DATE: APR 24/17  
**A4**  
BASEMENT  
PLAN





ROOF ASSEMBLY - CATHEDRAL CEILINGS	
DESCRIPTION	
1. 2x6" INSULATION IN ENG.	NOMINAL
TRUSS @ 24" O.C.	EFFECTIVE
	RSI U-0.01

OTHER BUILDING ENCLOSURE LAYERS	
CONTRIBUTE TO EFFECT INSUL.	
1. INTERIOR AIR FILM	0.12
2. 1/2" GYPSUM BOARD	0.08
3. 1/4" SHEATHING	0.02
4. ROOF FINISH	0.00
TOTAL EFFECTIVE INSULATION VALUE	RSI 9.12
(@24" O.C. FRAMING)	(R-51.75)
MINIMUM EFFECTIVE THERMAL RESISTANCE	RSI 4.67
W/HV	(R-26.5)
MINIMUM EFFECTIVE THERMAL RESISTANCE	RSI 4.67
	(R-26.5)

BLDG 'A'

966 SF (89.7m2)

483 SF (44.9m2)/UNIT

BLDG 'B'

966 SF (89.7m2)

483 SF (44.9m2)/UNIT

Drafting & Design  
Tom Masters  
Kelowna, BC  
(250)317-2446  
kelowna6@gmail.com

SCALE: 1/4"=1'-0"

DATE: APR 24/17

UPPER FLOOR PLAN

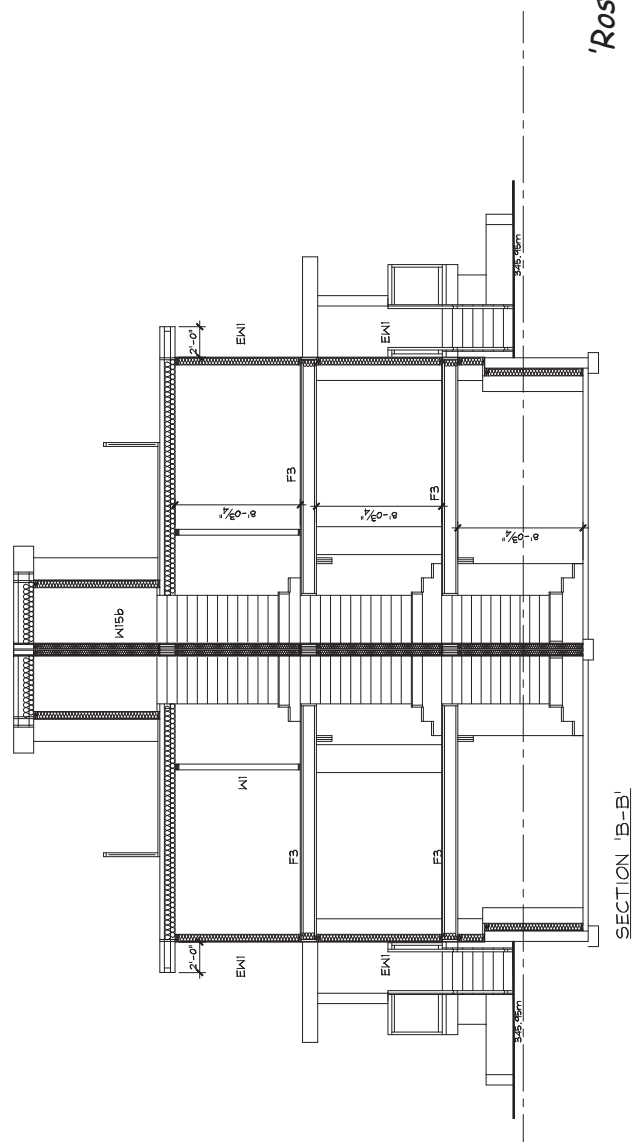
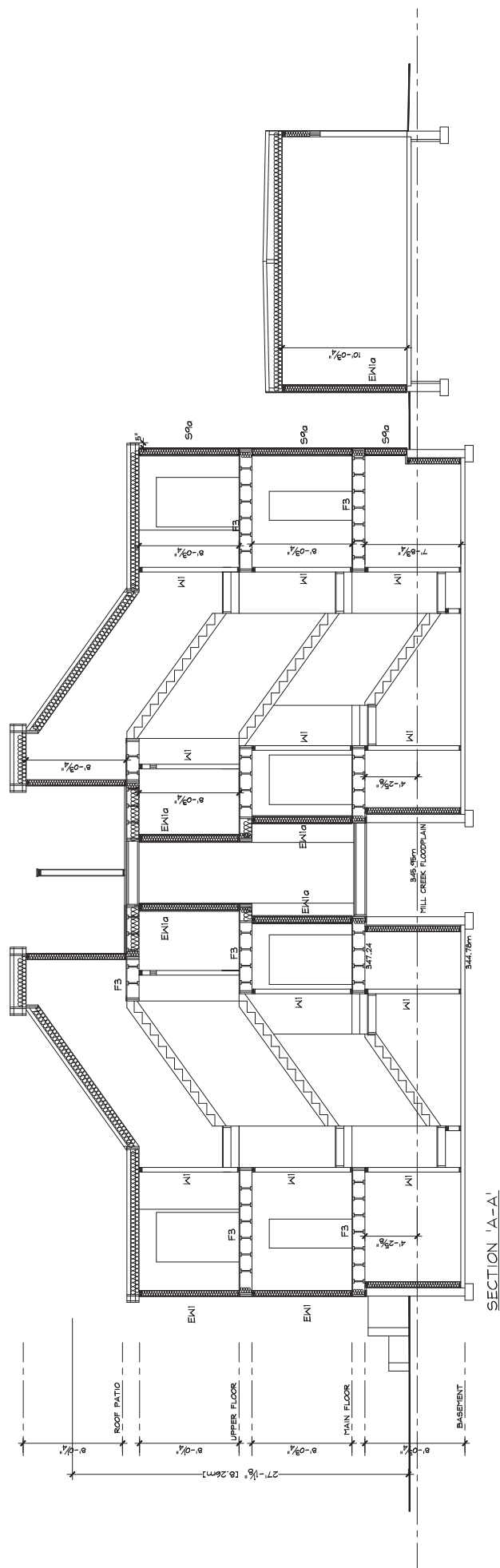
SHEET NO. A4

'Rose Avenue Project'

775 ROSE AVE, KELOWNA, BC





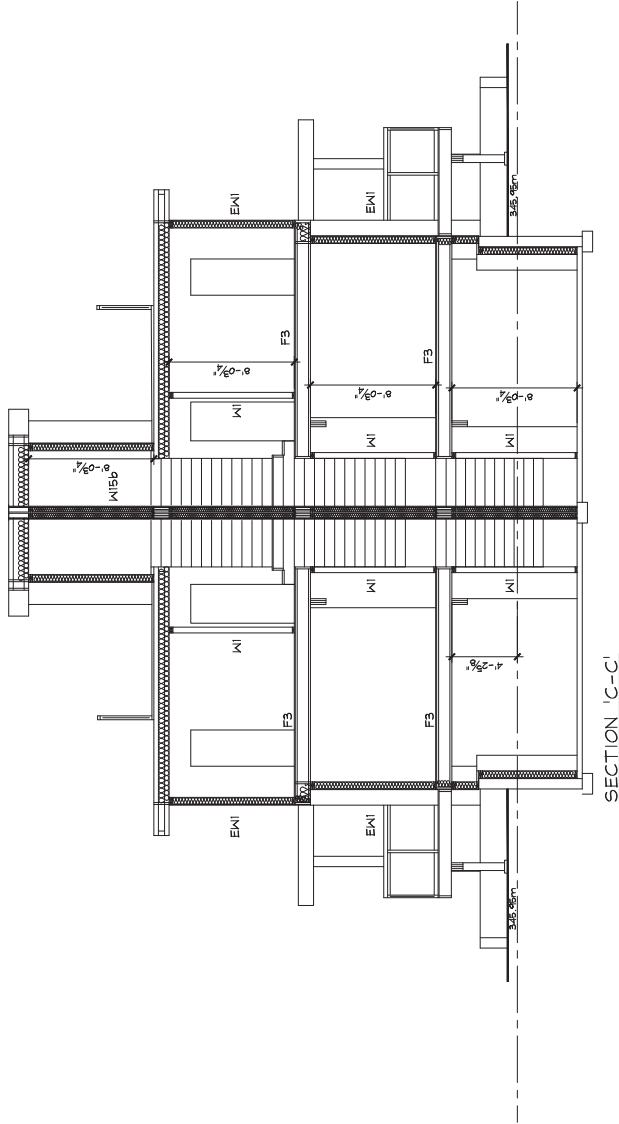


**'Rose Avenue Project'**  
775 ROSE AVE., KELOWNA, BC

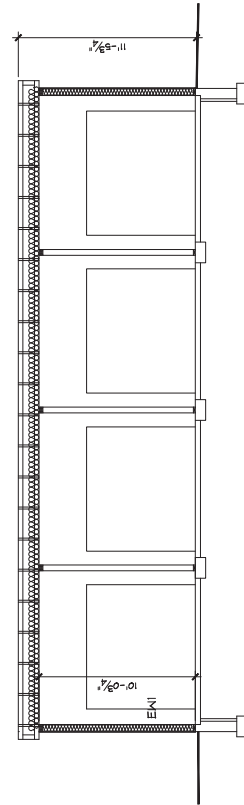
1775 ROSE AVE., KELOWNA, BC

**TGM**  
Drafting & Design  
Tom Masters  
Kelowna, BC (250)317-2446  
kelowna635@gmail.com

SCALE:	1/4" = 1'-0"
DATE:	APR 24/17
SECTIONS	
SHEET NO. <b>A8</b>	



SECTION 'C-C'



SECTION 'D-D'

# WALL TYPES

- K1 38 MM X 89 MM STUDS SPACED 400 MM OR 600 MM O.C. WITH OR WITHOUT ABSORPTIVE MATERIAL  
1 LAYER OF GYPSUM BOARD ON EACH SIDE
- K15 TWO ROWS 38 MM X 89 MM STUDS, EACH SPACED 400 MM OR 600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES SET 25 MM APART  
WITH OR WITHOUT ABSORPTIVE MATERIAL  
2 LAYERS OF GYPSUM BOARD ON EACH SIDE
- K15b K15 WITH  
89 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE(4)(8)  
12.7 MM TYPE X GYPSUM BOARD(5) 1 HR FR
- EX1 38 MM X 89 MM STUDS SPACED 400 MM OR 600 MM O.C.  
89 MM THICK ABSORPTIVE MATERIAL(6)  
1 OR 2 LAYERS OF GYPSUM BOARD ON INSIDE  
EXTERIOR SHEATHING AND SIDING
- EX1a EX1 WITH  
15.9 MM TYPE X GYPSUM BOARD(5)(9) 1 HR FR
- F3 SUBFLOOR OF 15.5 MM PLYWOOD, OSB OR WAFFERBOARD,  
OR 17MM TONGUE AND GROOVE LUMBER  
ON WOOD JOISTS CHANGE BEGIN OR WOOD I-JOISTS  
CHANGE END SPACED NOT MORE THAN 600 MM O.C.  
WITH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITY  
1 LAYER OF GYPSUM BOARD ON CEILING SIDE
- S9a 31 MM X 152 MM STEEL STUDS SPACED 400 MM OR 600 MM O.C.  
2 LAYERS OF 12.7 MM TYPE X GYPSUM BOARD ON EACH SIDE  
150 MM THICK ABSORPTIVE MATERIAL

'Rose Avenue Project'

775 ROSE AVE. KELOWNA, BC

Drafting & Design  
Tom Masters  
Kelowna, BC (250)372-2446  
kelowna63@gmail.com

SCALE: 1/4"=1'-0"

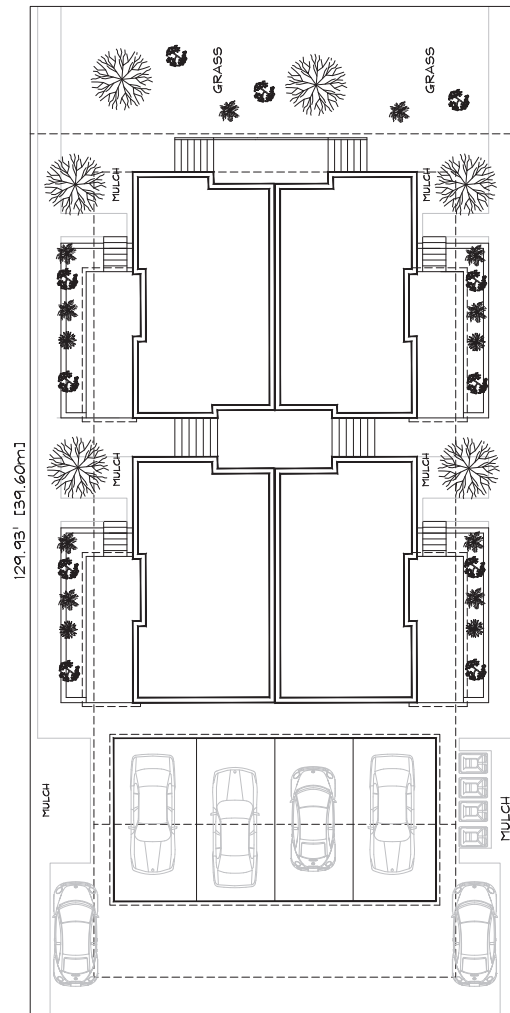
DATE: APR 24/17

SHEET NO. A9

SECTIONS







LOT INFORMATION

ZONING RU6  
LEGAL DESCR. PROPOSED RMI  
LOT 7 , DL 16, ODYD  
PLAN 11487  
CIVIC ADDRESS 775 ROSE AVE.

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NINE BARK

BARBERRY

SMALL PLANTS AND FLOWERS  
WILL BE ADDED TO PLANTING BEDS



MAPLE

JAPANESE MAPLE

NINE BARK

 BARBERRY

**'Rose Avenue Project'**  
775 ROSE AVE, KELOWNA, BC

775 ROSE AVE, KELOWNA, BC

**TGM**  
Drafting & Design  
Tom Masters  
Kelowna, BC (250)317-2411  
kelowna635@gmail.com

SHEET NO.	17
SCALE:	1/8"=1'-0"
DATE:	APR 24/17
LANDSCAPE PLAN	



**CITY OF KELOWNA**  
**BYLAW NO. 11412**  
**Z17-0013 – 775 Rose Ave**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 7, District Lot 136, ODYD, Plan 11487 located on Rose Avenue, Kelowna, B.C., from the RU6 – Two Dwelling Housing zone to the RM1 – Four Dwelling Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

# REPORT TO COUNCIL



**Date:** May 29, 2017

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (LB)

**Application:** OCP17-0011 / Z17-0028

**Owner:** Glenwest Properties Ltd., Inc.  
No. Co889227

**Address:** 185 Clifton Road North  
(E of) Upper Canyon Drive North  
(W of) Union Road

**Applicant:** Blenk Development  
Corporation

**Subject:** OCP Amendment & Rezoning Application

**Existing OCP Designation:** PARK – Major Park / Open Space (Public)  
S2RESH – Single / Two Unit Residential – Hillside

**Proposed OCP Designation:** PARK – Major Park / Open Space (Public)  
S2RESH – Single / Two Unit Residential – Hillside

**Existing Zone:** P3 – Parks and Open Space  
RU1h – Large Lot Housing (Hillside Area)  
RU2h – Medium Lot Housing (Hillside Area)

**Proposed Zone:** P3 – Parks and Open Space  
RU2h – Medium Lot Housing (Hillside Area)

---

## 1.0 Recommendation

THAT Official Community Plan Amendment Application No. OCP17-0011 to amend Map 4.1 in the Kelowna 2030 – Official Community Plan Bylaw No. 10500 by changing the Future Land Use designation of:

- portions of The North West 1/4 of Section 5 Township 23 ODYD Except Plans 20895, KAP88266, EPP24895, EPP24897, EPP66328 AND EPP64875, located at 185 Clifton Road North, Kelowna, BC, from the PARK – Major Park / Open Space (Public) designation to the S2RESH – Single / Two Unit Residential – Hillside designation, and from the S2RESH – Single / Two Unit Residential – Hillside designation to the PARK – Major Park / Open Space (Public) designation;
- portions of The South West 1/4 of Section 5 Township 23 ODYD Except Plans KAP83526, KAP88266, EPP9195, EPP24895, EPP24897, EPP55131 and EPP64875, located at (E of) Upper Canyon Drive North, Kelowna, BC, from the PARK – Major Park / Open Space (Public) designation to the S2RESH – Single / Two Unit Residential – Hillside designation, and from the S2RESH – Single / Two Unit Residential – Hillside designation to the PARK – Major Park / Open Space (Public) designation; and

- portions of The North East 1/4 of Section 5 Township 23 ODYD Except Plans 896, B645, KAP69724, EPP24895, EPP24897 AND EPP64871, located at (W of) Union Road, Kelowna, BC, from the S2RESH – Single / Two Unit Residential – Hillside designation to the PARK – Major Park / Open Space (Public) designation

as shown on Map “A” attached to the Report from the Community Planning Department dated May 29, 2017 be considered by Council;

AND THAT the Official Community Plan Map Amending Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT Council considers the neighbourhood consultation process to be appropriate consultation for the purposes of Section 475 of the *Local Government Act*, as outlined in the Report from the Community Planning Department dated May 29, 2017;

AND THAT Rezoning Application No. Z17-0028 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of:

- portions of The North West 1/4 of Section 5 Township 23 ODYD Except Plans 20895, KAP88266, EPP24895, EPP24897, EPP66328 AND EPP64875, located at 185 Clifton Road North, Kelowna, BC, from the P3 – Parks and Open Space zone to the RU2h – Medium Lot Housing (Hillside Area) zone, from the RU1h – Large Lot Housing (Hillside Area) zone to the RU2h – Medium Lot Housing (Hillside Area) zone, from the RU1h – Large Lot Housing (Hillside Area) zone to the P3 – Parks and Open Space zone, and from the RU2h – Medium Lot Housing (Hillside Area) zone to the P3 – Parks and Open Space zone;
- portions of The South West 1/4 of Section 5 Township 23 ODYD Except Plans KAP83526, KAP88266, EPP9195, EPP24895, EPP24897, EPP55131 and EPP64875, located at (E of) Upper Canyon Drive North, Kelowna, BC, from the P3 – Parks and Open Space zone to the RU2h – Medium Lot Housing (Hillside Area) zone, from the RU1h – Large Lot Housing (Hillside Area) zone to the RU2h – Medium Lot Housing (Hillside Area) zone, and from the RU2h – Medium Lot Housing (Hillside Area) zone to the P3 – Parks and Open Space zone; and
- portions of The North East 1/4 of Section 5 Township 23 ODYD Except Plans 896, B645, KAP69724, EPP24895, EPP24897 AND EPP64871, located at (W of) Union Road, Kelowna, BC, from the RU1h – Large Lot Housing (Hillside Area) zone to the P3 – Parks and Open Space zone;

as shown on Map “B” attached to the Report from the Community Planning Department dated May 29, 2017, be considered by Council;

AND FURTHER THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration.

## 2.0 Purpose

To consider an Official Community Plan Amendment and Rezoning application to change the Future Land Use designation and rezone portions of the property to facilitate a residential subdivision with adjacent natural open space.

## 3.0 Community Planning

Community Planning staff support the proposed OCP Amendments and Rezoning to allow for a subdivision of approximately residential 105 lots with natural open space connections. The proposed development area is currently designated and zoned for large and medium lot hillside residential housing along with an open space corridor running through the site. The proposal would see portions of this area re-designated and

rezoned to allow for medium lot hillside residential development with a larger adjacent open space network that connects to a designated wildlife corridor. This is in keeping with several OCP policies as well as the intent of the Glenmore Highlands Area Structure Plan (ASP).

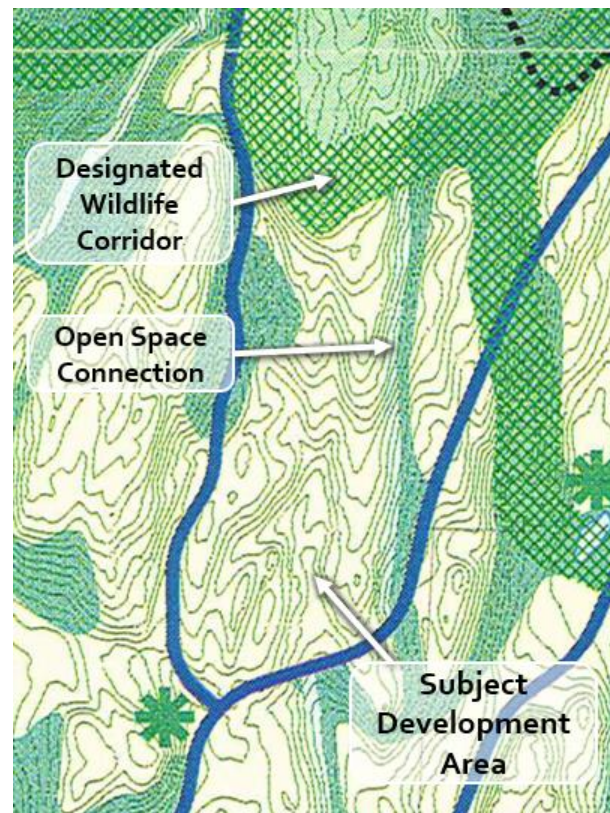
#### *Park and Open Space Corridor*

The existing open space corridor is approximately 30 m wide and bisects the areas designated for hillside residential (S2RESH) in this development phase. A rough graded emergency access road also runs through the site adjacent to and, in some locations, overlapping this corridor, resulting in disturbance to the natural vegetation and topography. The corridor's lack of connectivity to the larger open space network to the north and previous disturbance of the site limit its ability to function as a viable natural corridor for wildlife movement and the protection of open space.

The Environmental Assessment Report for this phase identifies wildlife movements to the east and north of the development site, as shown in purple in the image to the left below. Based on this report and the Glenmore Highlands ASP, staff worked with the applicant to identify an appropriate natural open space area that connects to Wilden's larger open space network and designated wildlife corridor. The proposed changes will protect a larger wildlife corridor east and north of the site as natural open space, with a net gain of 1.24 ha (3.06 ac) of area designated and zoned as park and open space. The new corridor will be over 500 m long and ranges from approximately 35 m to 65 m in width.



Wildlife Movement Corridors, Phase 2G Environmental Assessment Report, March 2017



Environmental and Recreation Network, Glenmore Highlands ASP, 2000

#### *Hillside Residential Development*

The western portion of the development area is currently zoned RU1h – Large Lot Housing (Hillside Area) while the eastern portion is zoned RU2h – Medium Lot Housing (Hillside Area), and the proposal is to rezone the entire area to RU2h. The minimum lot width in the RU2h zone is 13.0 m, somewhat narrower than the 16.5 m required in the RU1h zone. Applying RU2h to the entire development area allows for a more integrated and flexible subdivision that supports a mix of medium and larger lots, which supports OCP policies regarding a greater mix of housing types while maintaining the goal of the S2RESH designation.

A rough graded road through the site currently functions as an emergency access route between the neighbourhoods to the west and Upper Canyon Drive. This development phase will provide a full second access and egress for these areas with the extension of Skyland Drive to Upper Canyon Drive. Pedestrian connectivity will be achieved via sidewalks that connect to existing sidewalks and existing and future off-street trails adjacent to the site.

In addition to the areas specifically designated and zoned for park and open space, other areas through the site will remain undisturbed or be reclaimed through the development process to protect steep slopes and other environmental features. This will mitigate the long-term visual impact of the hillside development and provide additional open space connections.

Should Council support the OCP Amendments and Rezoning, staff will work with the applicant through the subdivision process to address specific servicing requirements, road standards, pedestrian connections, environmental restoration, and other matters. The applicant has applied for a Natural Environment and Hazardous Condition Development Permit, which is reviewed and issued at the staff level, and will apply for a Preliminary Layout Review Letter should this move forward.

The applicant completed neighbourhood consultation in accordance with Council Policy No. 367. Staff have reviewed this application, and it may move forward without affecting either the City's Financial Plan or Waste Management Plan.

#### **4.0 Proposal**

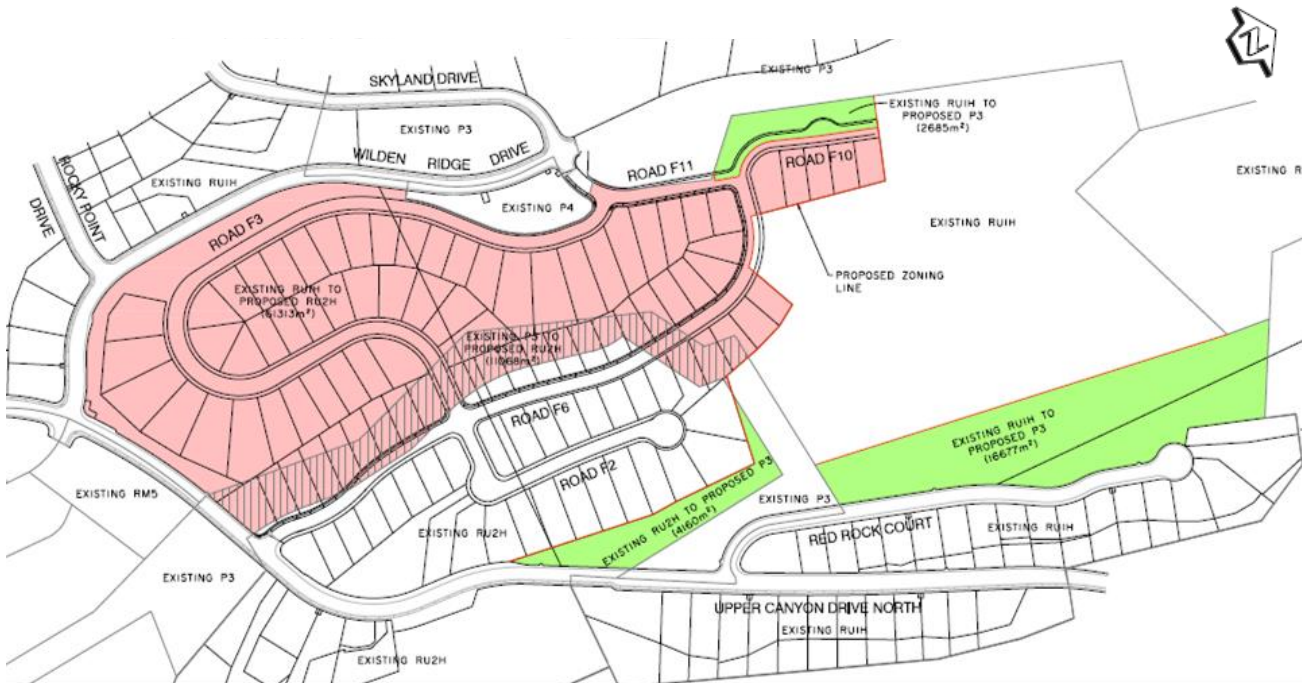
##### **4.1 Background**

The site is within the Glenmore Highlands ASP area, adopted by Council in April 2000. The ASP established the policy framework for the orderly development of the area and includes general plans for land uses, transportation, and servicing. The subject site is designated Clustered Single Family, Clustered Single / Multi Family, Linear Parks, and Open Space in the ASP. These designations reflect the topography of the land and related suitability for development.

##### **4.2 Project Description**

The site is currently designated PARK – Major Park / Open Space (Public) and S2RESH – Single / Two Unit Residential – Hillside, and is zoned P3 – Parks and Open Space, RU1h – Large Lot Housing (Hillside Area) and RU2h – Medium Lot Housing (Hillside Area). The proposal is to amend the Future Land Use designations and rezone portions of the site to facilitate subdivision of approximately 105 residential lots under the RU2h – Medium Lot Housing (Hillside Area) zone. The application also involves designating and rezoning relatively undisturbed land for natural open space to protect for wildlife corridors and connections to larger open space areas.





#### 4.3 Site Context

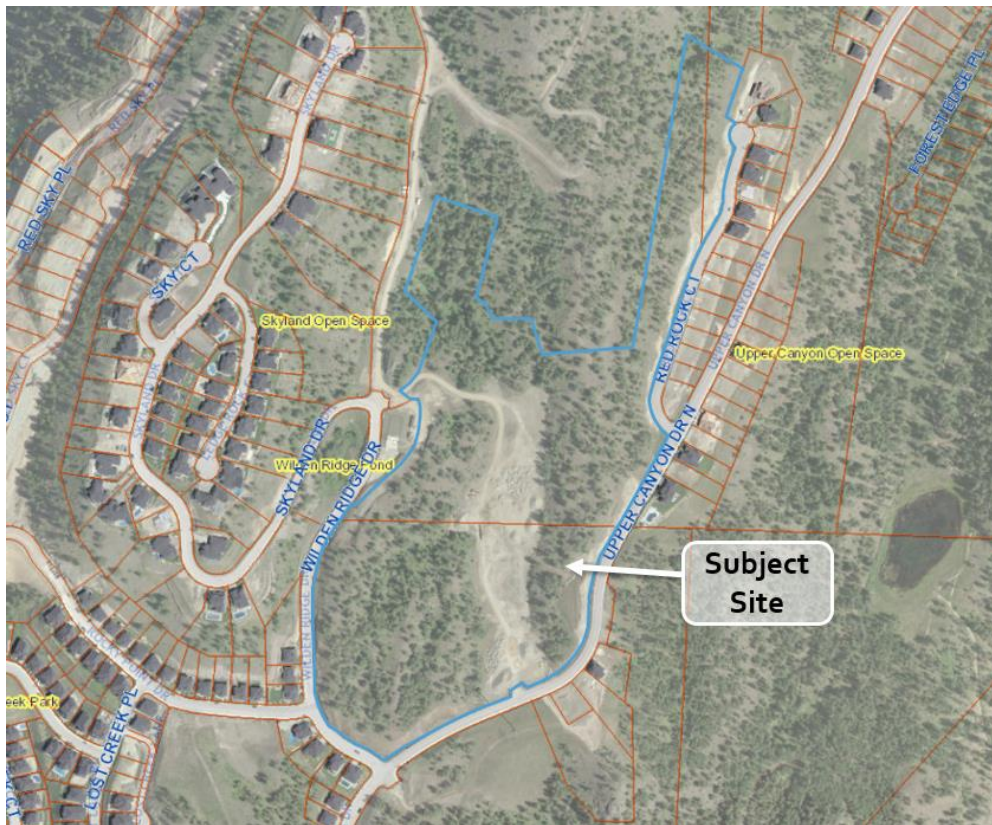
The subject site is located in the Wilden neighbourhood in the City's Glenmore-Clifton-Dilworth Sector. It is north of the intersection of Upper Canyon Drive North and Wilden Ridge Drive, and a new road through the site will connect Skyland Drive to Upper Canyon Drive North.

The surrounding area is characterized by single family homes and natural open space, some of which is designated and zoned for development. A future commercial and multiple unit residential node is immediately south of the site.

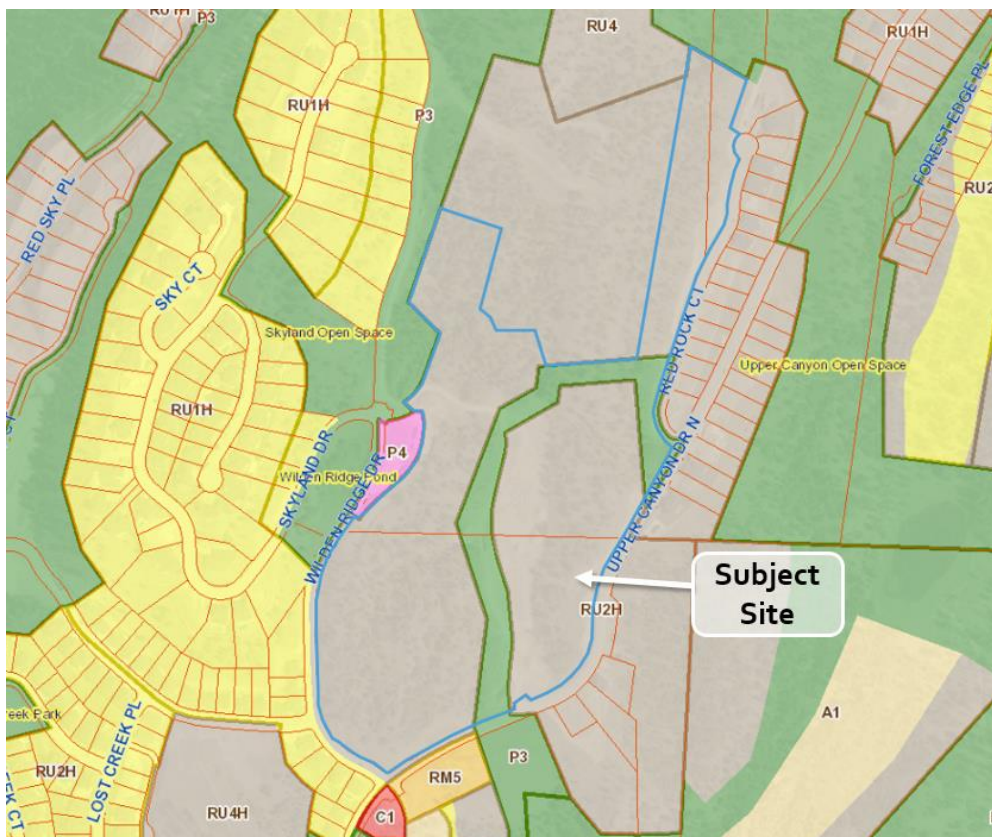
Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1h – Large Lot Housing (Hillside Area) P3 – Parks and Open Space	Vacant land / open space
East	RU1h – Large Lot Housing (Hillside Area)	Single dwelling housing
	RU2h – Medium Lot Housing (Hillside Area)	Single dwelling housing Vacant land / open space
South	P3 – Parks and Open Space RM5 – Medium Density Multiple Housing C1 – Local Commercial	Vacant land / open space
	RU1h – Large Lot Housing (Hillside Area)	Single dwelling housing
West	RU1h – Large Lot Housing (Hillside Area)	Single dwelling housing
	P3 – Parks and Open Space	Wilden Ridge Pond Vacant land / open space
	P4 – Utilities	Water booster station

Subject Property Map 1: Site Context



Subject Property Map 2: Existing Future Land Use Designations and Zoning



## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Chapter 5: Development Process

**Policy 5.2.5 Integrated Land Use.** Integrate land use approaches wherever possible to improve opportunities for biodiversity, ecosystem connectivity, recreation, agriculture and local food production, while reducing conflicts.

**Policy 5.10.1 Maximize Pedestrian / Cycling Connectivity.** Require that pedestrian and cyclist movement and infrastructure be addressed in the review and approval of all City and private sector developments, including provision of sidewalks and trails and recognition of frequently used connections and informal pedestrian routes. With new developments, require dedication of on-site walking and cycling paths where necessary to provide links to adjacent parks, schools, transit stops, recreation facilities, employment nodes, cul-de-sacs and large activity areas.

**Policy 5.15.3 Environmentally Sensitive Area Linkages.** Ensure that development activity does not compromise the ecological function of environmentally sensitive areas and maintains the integrity of plant and wildlife corridors.

**Policy 5.15.12 Steep Slopes.** Prohibit development on steep slopes (+30% or greater for a minimum distance of 10 metres) except where provided for in ASPs adopted or subdivisions approved prior to adoption of OCP Bylaw 10500.

#### Chapter 7: Infrastructure

**Policy 7.12.2 Natural Area Parks and Open Space.** Provide a city-wide network of natural area parks which meet the following criteria:

- contains representative Okanagan ecosystems;
- contains areas of outstanding natural beauty (including areas with high visual sensitivity and high visual vulnerability, such as rocky outcrops, ridge lines, hilltops, silt slopes, canyons, and water edges);
- the land area is contiguous and forms part of a larger open space network;
- contains conservation areas;
- protects viewshed corridors; and
- where appropriate, trails which maximize public safety while minimizing human impact on the most sensitive and vulnerable areas.

**Policy 7.17.1 Manage Public Access.** Manage the impacts of public access in natural area parks by defining and developing trails which maximize public safety while minimizing human impact on the most sensitive and vulnerable areas; and reducing the impact of trails for example by reducing width, modifying surfaces, and developing boardwalks.

### 5.2 Glenmore Highlands Area Structure Plan (ASP)

#### Section 3.5.4 Wetlands & Open Space

Open Space is typically comprised of undisturbed lands. This land use provides a physical and visual amenity as well as a venue to preserve and protect significant landscape features. Generally, the ASP designates as Open Space lands significant to the preservation of existing wildlife, environmentally fragile areas, such as wetlands, and lands having steeper slopes.

Collectively, the Glenmore Highlands Open Space system will provide a comprehensive network of undeveloped land. In physical terms, these lands incorporate major portions of the Designated Wildlife

Corridor system. In visual terms, the open space network will ensure that the most visually prominent hillsides and environmentally sensitive landforms remain undisturbed. In total, the Open Space network will help to fully integrate the Glenmore Highlands ASP area into its City and regional context.

- Lands having extensive areas of steep hillside with a slope in excess of thirty percent (30%) are undevelopable.
- It is intended that Open Space lands should be maintained in a naturally vegetated, undisturbed state.

### **Section 3.5.5 Linear Park**

A Linear Park system based on the routes outlined within the Glenmore / Clifton / Dilworth Sector Plan, has been incorporated into the ASP area. This system includes primary trail routes that provide access to Parks, Open Space and development areas. It has the potential for a variety of trail types that provide for a range of use and skill. The Linear Park network is an amenity that enhances neighbourhoods in the ASP area and contributes to the preservation and protection of natural spaces.

- The alignment of trail corridors shall be sensitive to environment, wildlife and surrounding residential uses; trail corridors shall be minimized within areas of rock outcrops.
- The Linear Park system is a dedicated public space and trailheads – particularly those access public streets – should be provided at appropriate intervals.

## **6.0 Technical Comments**

### **6.1 Development Engineering Department**

- Servicing requirements to be addressed through the subdivision application.

### **6.2 Fire Department**

- Emergency egress / access for Upper Wilden needs to be addressed prior to more subdivisions being approved in this area. *This subdivision will satisfy this requirement by providing a full second access / egress for this area with a connection from Skyland Drive to Upper Canyon Road North.*

## **7.0 Application Chronology**

Date of Application Received: March 22, 2017

Date Public Consultation Completed: May 9, 2017

**Report prepared by:** Laura Bentley, Planner II

**Reviewed by:** Todd Cashin, Subdivision, Suburban and Rural Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

### **Attachments:**

Map "A"

Map "B"

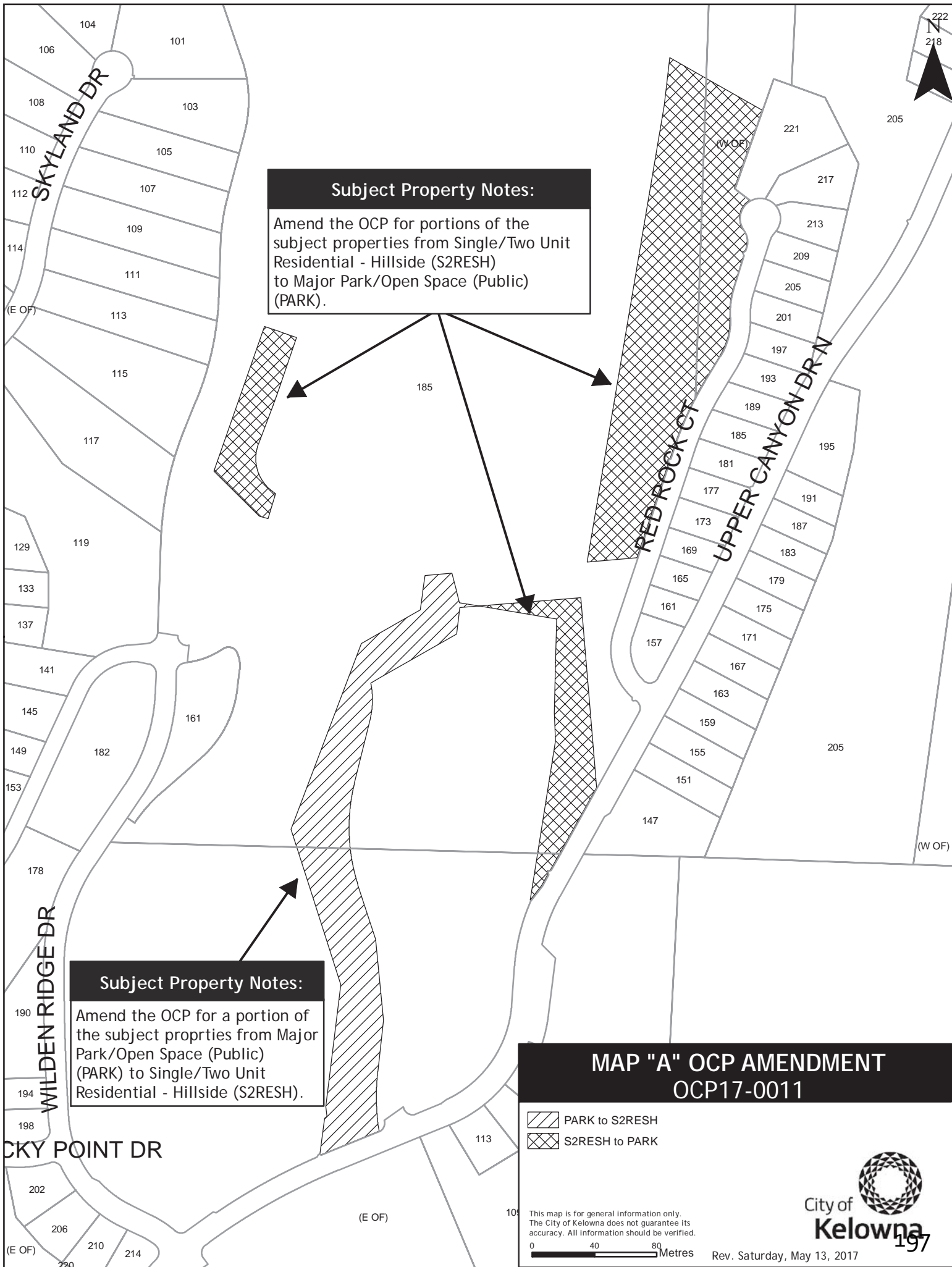
Attachment 1: Environmental Assessment Report Impact Assessment

Attachment 2: Glenmore Highlands ASP Environment and Recreation Network

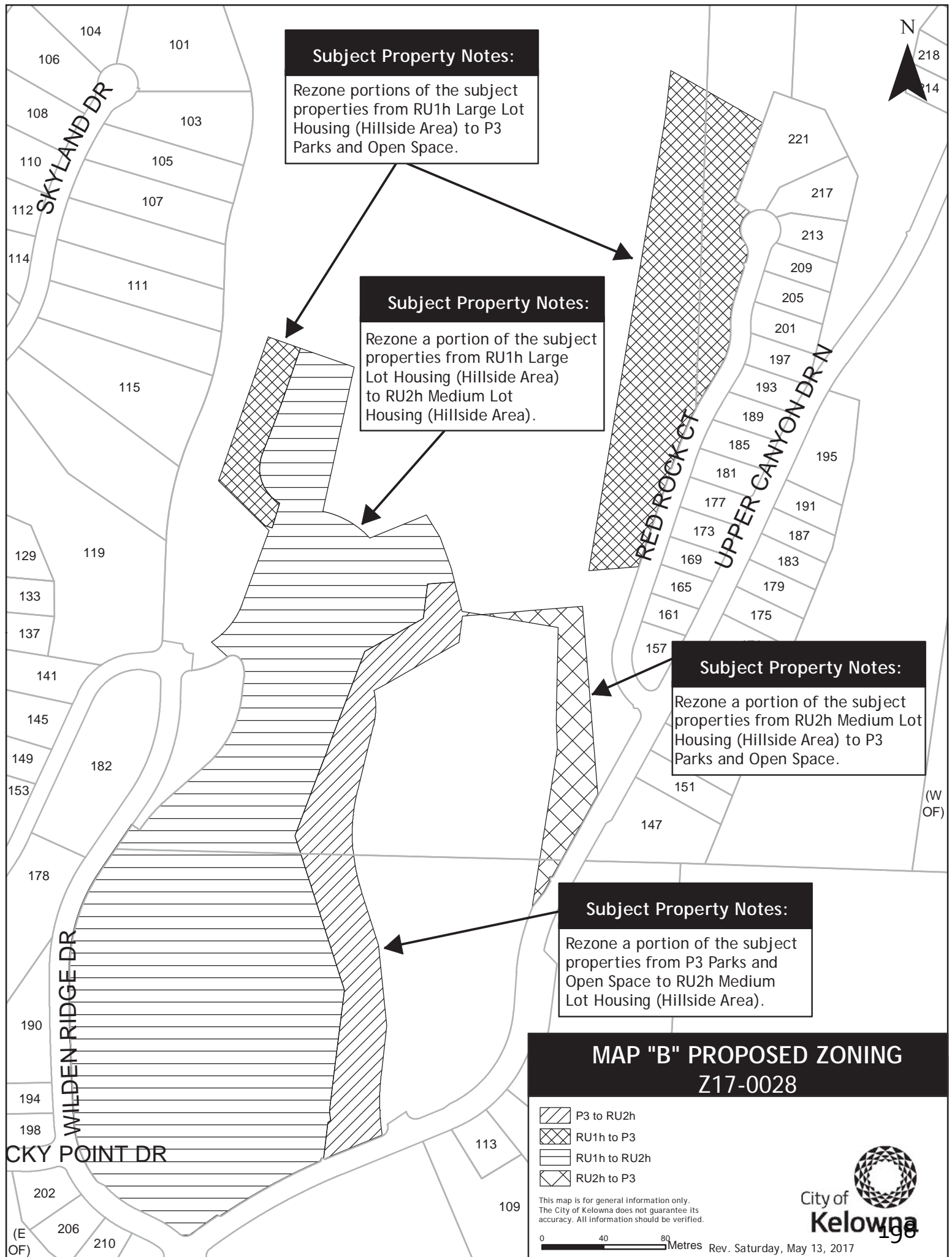
Attachment 3: Rezoning Plan

Attachment 4: Conceptual Subdivision Layout

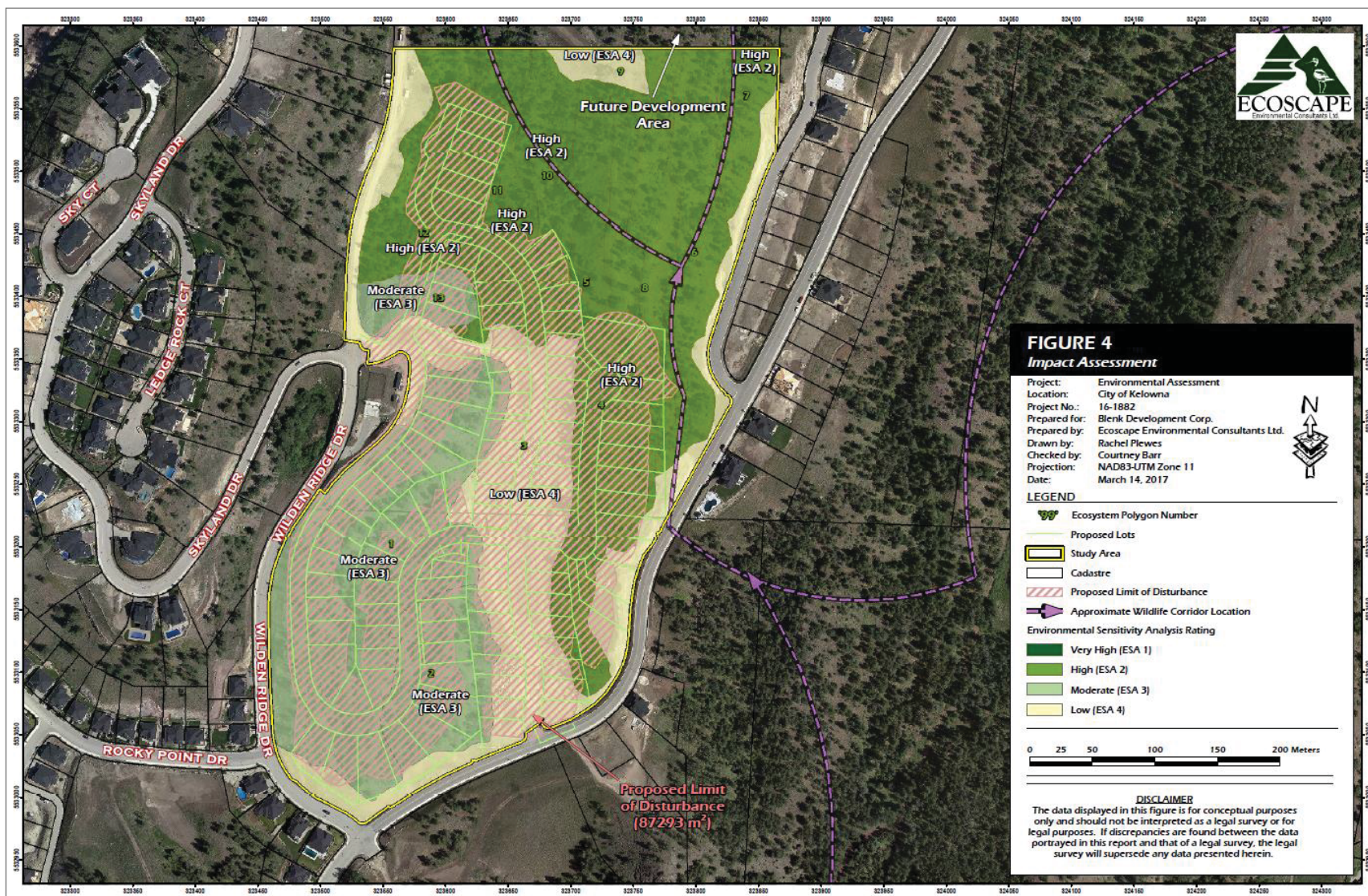














This forms part of application  
# OCP17-0011 Z17-0028



City of  
**Kelowna**  
COMMUNITY PLANNING

Planner  
Initials LB

## GLENMORE HIGHLANDS AREA STRUCTURE PLAN

Figure 19  
Environmental and  
Recreational Network

Scale 1:12,500

February 2000



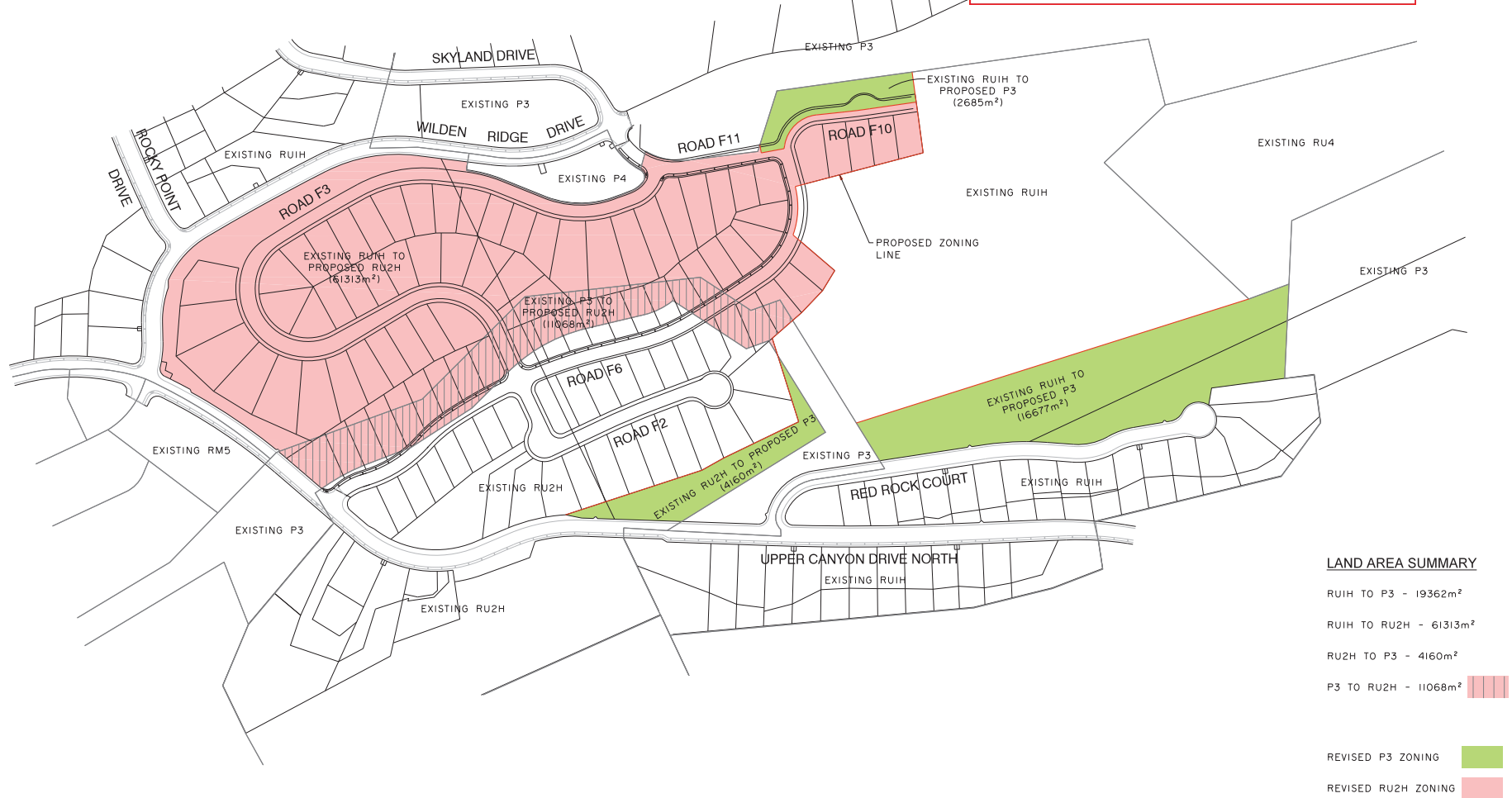
**EKISTICS**  
TOWN PLANNING INC.



# ATTACHMENT 3

This forms part of application  
# OCP17-0011 Z17-0028

Planner  
Initials LB



## LAND AREA SUMMARY

RUIH TO P3 - 19362m²

RUIH TO RU2H - 61313m²

RU2H TO P3 - 4160m²

P3 TO RU2H - 11068m²

REVISED P3 ZONING

REVISED RU2H ZONING

InterCAD  
CONSULTING ENGINEERS

NO.	DATE	BY	REVISION	CHKD
2	17-05-04	RZ	ADDED P3 STRIP WEST OF RED ROCK CT	
1	17-03-17	RZ	DEVELOPMENT PERMIT SUBMISSION	

Drawn	R. ZECHEL
Design	R. ZECHEL
Approved	
Date	AUG 2016
Scale	
Horiz.	1:1500
Vert.	

THE CITY OF KELOWNA  
ENGINEERING DEPARTMENT  
Wilden - Phase 2G Site Services  
Rezoning Plan

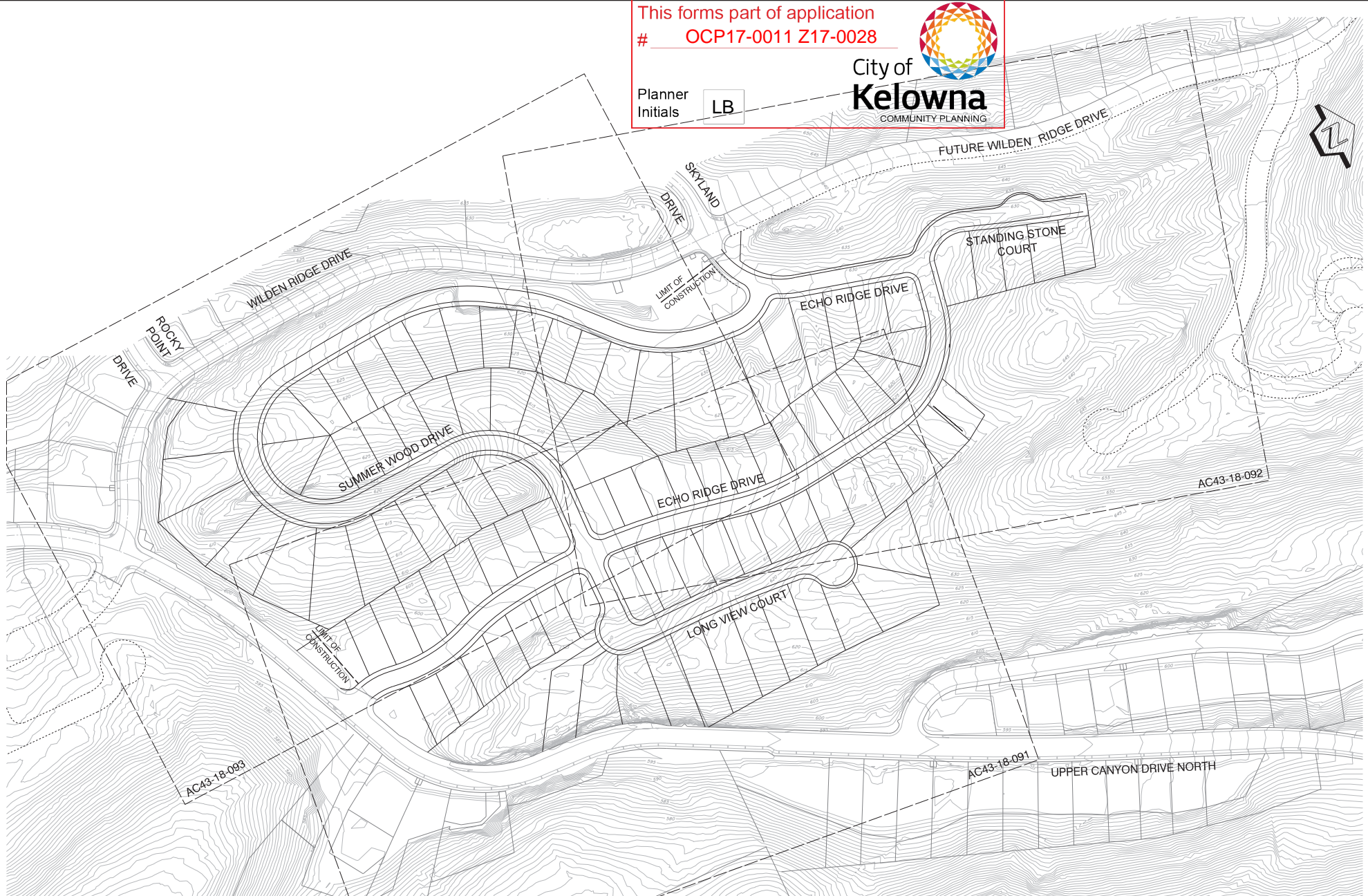
Division	
Drawing No.	2
Rev. No.	

# ATTACHMENT 4

This forms part of application  
# OCP17-0011 Z17-0028

Planner  
Initials LB

City of  
**Kelowna**  
COMMUNITY PLANNING



**InterCAD**  
CONSULTING ENGINEERS

1	17-03-17	R.Z.	DEVELOPMENT PERMIT SUBMISSION		
NO.	DATE	BY	REVISION	CHKD	

Drawn R. ZECHEL  
Design R. ZECHEL  
Approved  
Date AUG 2016  
Scale  
Horiz. 1:1000  
Vert.

THE CITY OF KELOWNA  
ENGINEERING DEPARTMENT  
Wilden - Phase 2G Site Services  
Key Plan

Division  
Drawing No. AC43-18-090DP  
Rev. No. 1



# CITY OF KELOWNA

## BYLAW NO. 11414

### Official Community Plan Amendment No. OCP17-0011– 185 Clifton Road North, (E of) Upper Canyon Drive North and (W of) Union Road

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A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of the following:
  - a) portions of The North West 1/4 of Section 5 Township 23 ODYD Except Plans 20895, KAP88266, EPP24895, EPP24897, EPP66328 AND EPP64875, located at 185 Clifton Road North, Kelowna, BC, from the PARK – Major Park / Open Space (Public) designation to the S2RESH – Single / Two Unit Residential – Hillside designation, and from the S2RESH – Single / Two Unit Residential – Hillside designation to the PARK – Major Park / Open Space (Public) designation;
  - b) portions of The South West 1/4 of Section 5 Township 23 ODYD Except Plans KAP83526, KAP88266, EPP9195, EPP24895, EPP24897, EPP55131 and EPP64875, located at (E of) Upper Canyon Drive North, Kelowna, BC, from the PARK – Major Park / Open Space (Public) designation to the S2RESH – Single / Two Unit Residential – Hillside designation, and from the S2RESH – Single / Two Unit Residential – Hillside designation to the PARK – Major Park / Open Space (Public) designation; and
  - c) portions of The North East 1/4 of Section 5 Township 23 ODYD Except Plans 896, B645, KAP69724, EPP24895, EPP24897 AND EPP64871, located at (W of) Union Road, Kelowna, BC, from the S2RESH – Single / Two Unit Residential – Hillside designation to the PARK – Major Park / Open Space (Public) designationas per Map "A" attached to and forming part of this bylaw;
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

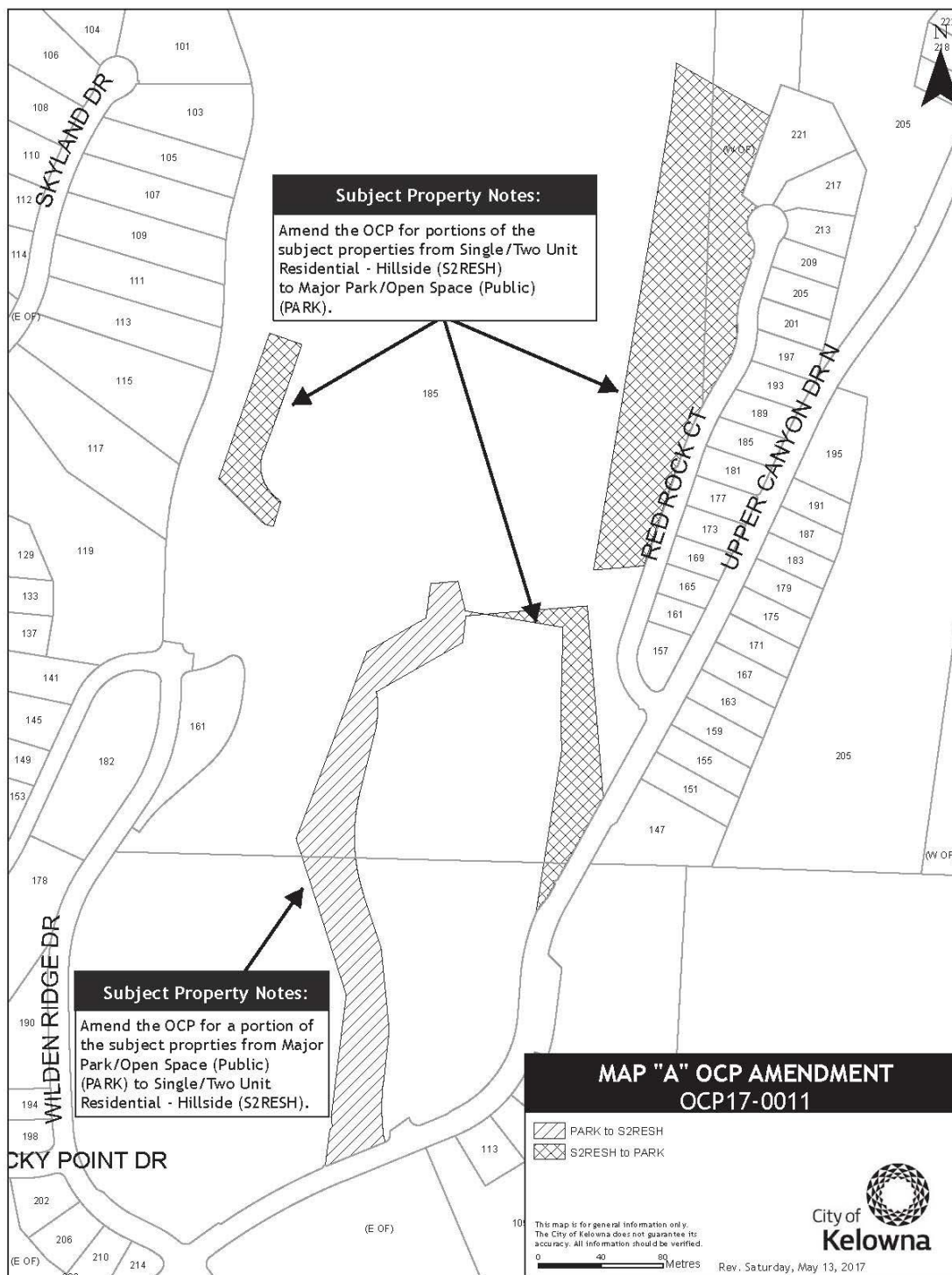
Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk



## **CITY OF KELOWNA**

### **BYLAW NO. 11415**

#### **Z17-0028 – 185 Clifton Road North, (E of) Upper Canyon Drive North and (W of) Union Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of :
  - a) portions of The North West 1/4 of Section 5 Township 23 ODYD Except Plans 20895, KAP88266, EPP24895, EPP24897, EPP66328 AND EPP64875, located at 185 Clifton Road North, Kelowna, BC, from the P<sub>3</sub> – Parks and Open Space zone to the RU<sub>2h</sub> – Medium Lot Housing (Hillside Area) zone, from the RU<sub>1h</sub> – Large Lot Housing (Hillside Area) zone to the RU<sub>2h</sub> – Medium Lot Housing (Hillside Area) zone, from the RU<sub>1h</sub> – Large Lot Housing (Hillside Area) zone to the P<sub>3</sub> – Parks and Open Space zone, and from the RU<sub>2h</sub> – Medium Lot Housing (Hillside Area) zone to the P<sub>3</sub> – Parks and Open Space zone;
  - b) portions of The South West 1/4 of Section 5 Township 23 ODYD Except Plans KAP83526, KAP88266, EPP9195, EPP24895, EPP24897, EPP55131 and EPP64875, located at (E of) Upper Canyon Drive North, Kelowna, BC, from the P<sub>3</sub> – Parks and Open Space zone to the RU<sub>2h</sub> – Medium Lot Housing (Hillside Area) zone, from the RU<sub>1h</sub> – Large Lot Housing (Hillside Area) zone to the RU<sub>2h</sub> – Medium Lot Housing (Hillside Area) zone, and from the RU<sub>2h</sub> – Medium Lot Housing (Hillside Area) zone to the P<sub>3</sub> – Parks and Open Space zone; and
  - c) portions of The North East 1/4 of Section 5 Township 23 ODYD Except Plans 896, B645, KAP69724, EPP24895, EPP24897 AND EPP64871, located at (W of) Union Road, Kelowna, BC, from the RU<sub>1h</sub> – Large Lot Housing (Hillside Area) zone to the P<sub>3</sub> – Parks and Open Space zoneAs per Map "B" attached to and forming part of this bylaw.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

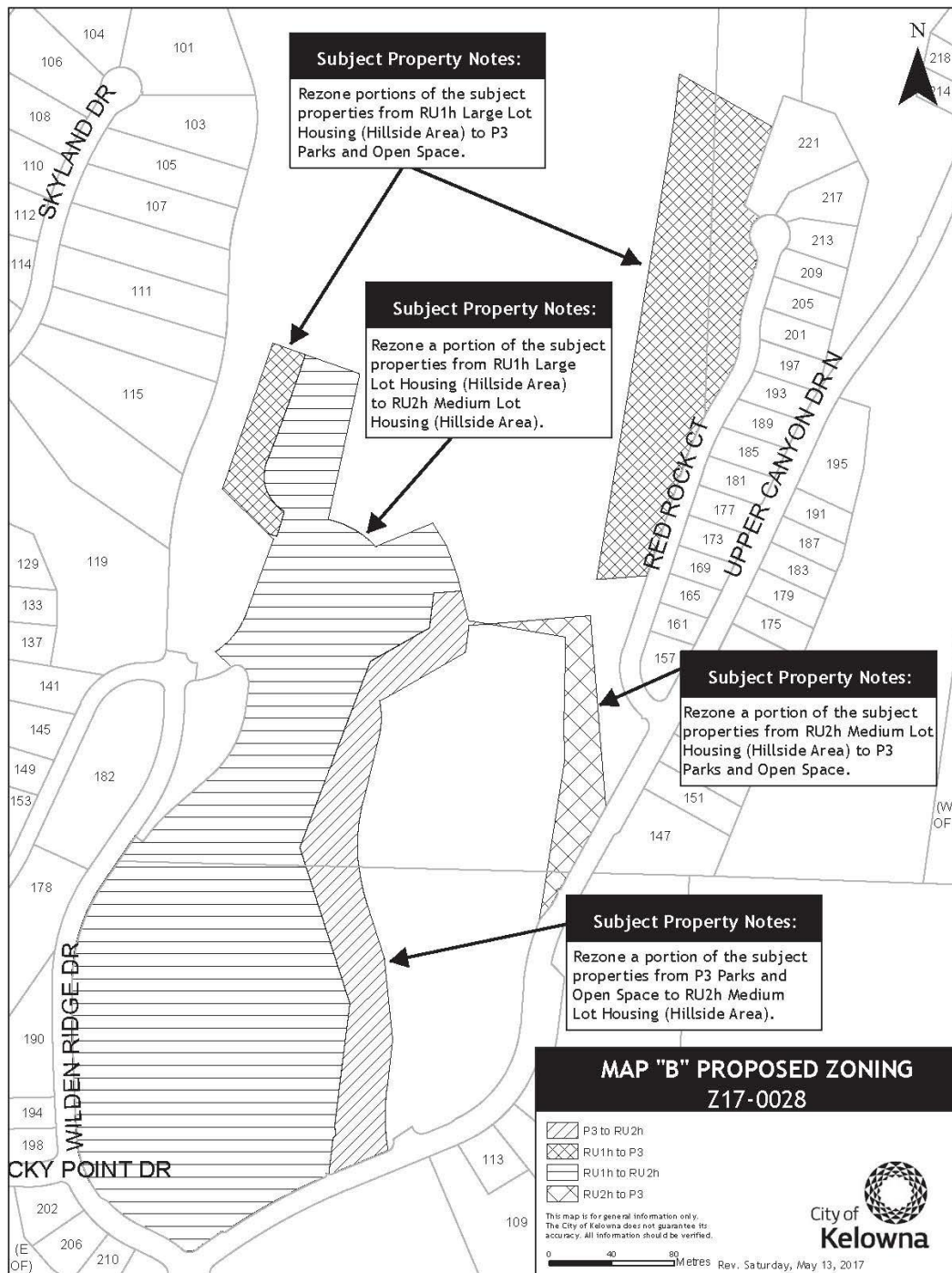
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Mayor

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City Clerk





# REPORT TO COUNCIL



**Date:** May 29, 2017

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (TB)

**Application:** Z16-0022      **Owner:** Paul Benjamin Neufeld  
Douglas Richard Kirk

**Address:** 815 Rose Avenue      **Applicant:** Douglas Richard Kirk

**Subject:** Rezoning Application

Existing OCP Designation: MRL – Multiple Unit Residential (Low Density)

Existing Zone: RU6 – Two Dwelling Housing

Proposed Zone: RM1 – Four Dwelling Housing

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## 1.0 Recommendation

THAT Rezoning Application No. Z16-0022 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 2, District Lot 136, ODYD, Plan 8116, located at 815 Rose Avenue, Kelowna, BC from the RU6 – Two Dwelling Housing zone to the RM1 – Four Dwelling Housing zone be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated May 29, 2017;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject property.

## 2.0 Purpose

To rezone the subject property to RM1 – Four Dwelling Housing to facilitate the development of four dwelling units.

### 3.0 Community Planning

Community Planning Staff supports the proposed rezoning application to facilitate the development of four dwelling units. The RM1 – Four Dwelling Housing zone is consistent with the Official Community Plan (OCP) Future Land Use Designation of MRL – Multiple Unit Residential (Low Density). The proposal is consistent with OCP policies for Compact Urban Form, and Sensitive Infill. Should Council support this rezoning, a Development Permit and Development Variance Permit will be considered by Council prior to 4<sup>th</sup> reading.

There are two other development applications on Rose Avenue that have been submitted to the City requesting the same zone to allow a four-plex with nearly identical floor plans. Staff have worked with the representatives from each project to ensure that differences in the materials and colour palette of each application provides variety and individuality.

### 4.0 Proposal

#### 4.1 Background

The subject property features a 1 ½ storey single family dwelling that was constructed in 1960 and a small storage shed that will be demolished as part of this development. The applicants began this process in April 2016 with a proposal for a total of 3 units. Council passed 2<sup>nd</sup> and 3<sup>rd</sup> readings on the rezoning for that proposal on July 12<sup>th</sup>, 2016. The applicants asked to put their application on hold and have come up with a redesign and a new proposal for 4 units. This is a significant change and requires a new public hearing.

#### 4.2 Project Description

The proposed rezoning would facilitate the development of a four-plex on the subject property. This is consistent with the OCP Future Land Use designation of Multiple Unit Residential Low Density. The proposal meets the OCP Policy of Compact Urban Growth by increasing density where infrastructure already exists.

The proposal involves the closure of the front driveway, and a 5.0m road reserve across the front property for future expansion of Rose Avenue. All parking will be located in the rear, with 4 covered parking stalls and 2 uncovered stalls. The project requires one variance to allow the additional 2 uncovered stalls to be located in the side yard setback. All other Zoning Bylaw requirements are met including provision of private outdoor space, height, setbacks, and site coverage.

The proposed design has front doors facing the street for the two front units, and side entry for the two rear units. The units feature full basements and as such a 219 Restrictive Covenant regarding the Mill Creek Floodplain Bylaw has been placed on title that indemnifies the City in the event of any flooding. Four units is the maximum allowed under the zone, and therefore secondary suites would not be permitted in the units.

The design as proposed meets the majority of the design guidelines, and should Council support the rezoning, a Development Permit and Development Variance Permit will be considered by Council prior to 4<sup>th</sup> reading. There are two other applications on Rose Avenue at this time that are also rezoning to a four-plex with nearly identical floor plans. The representatives from each project have taken care to ensure that differences in the materials and colour palette of each application provides variety and individuality of the projects. The three projects are located at 775 Rose Avenue, 815 Rose Avenue, and 861 Rose Avenue as shown in the map on Page 3.



Figure 1.0 – Current Zoning Applications along Rose Avenue

4.3 Site Context

The subject property is located in South Pandosy east of Richter Street and south of Ethel Street on the south side of Rose Avenue. The subject property is within walking distance to a variety of amenities including Guisachan Village, Cameron Park, Kelowna General Hospital, and is located on a bicycle corridor with access to the proposed Ethel Street Active Transportation Corridor.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing	Residential
East	RU6 – Two Dwelling Housing	Residential
South	RU7 – Infill Housing	Residential
West	RU6 – Two Dwelling Housing	Residential

Subject Property Map: 815 Rose Avenue



#### 4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM1 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Floor Area Ratio	.60	.49
Site Coverage of Buildings	40%	35.5%
Site Coverage of Buildings, Parking, and Driveways	50%	47.2%
Height	2.5 storeys or 9.0m	2.5 storeys or 8.56m
Front Yard	4.5m	6.5m
Side Yard (east)	2.0m	2.75m
Side Yard (west)	2.0m	2.75m
Rear Yard	1.5m	4.5m
Other Regulations		
Minimum Parking Requirements	6 parking stalls	6 parking stalls
Setbacks to Parking		
Side Yard (east)	1.5m	0.3m <sup>①</sup>
Side Yard (west)	1.5m	0.3m <sup>②</sup>
Rear Yard	1.5m	1.5m
Private Open Space	>25m <sup>2</sup> per dwelling	>25m <sup>2</sup> per dwelling
<sup>①</sup> Indicates a requested variance to allow required parking in the east side yard setback. <sup>②</sup> Indicates a requested variance to allow required parking in the west side yard setback.		

### 5.0 Current Development Policies

#### 5.1 Kelowna Official Community Plan (OCP)

##### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill.**<sup>2</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design height and siting.

### 6.0 Technical Comments

#### 6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s).
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. This property falls within the Mill Creek flood plain bylaw area and compliance is required. Minimum building elevations are required to be established prior to the

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).



release of the Development Permit. This minimum Geodetic elevation is required for all habitable spaces including parking garages. This building may be designed to low, which may affect the form and character of the building.

- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this structure at time of permit application.

#### 6.2 Development Engineering Department

- Please see attached Schedule "A" dated June 6, 2016

#### 6.3 Fire Department

- Emergency access to the duplex (south) must be maintained - a laneway is not adequate for emergency access
- Requirements of section 9.10.19 Smoke Alarms and Carbon Monoxide alarms of the BCBC 2012 are to be met.
- If a fence is ever constructed between the dwellings a gate with a clear width of 1100mm is required.
- All units shall have a posted address on Rose Ave. for emergency response
- The fire department has no issues with the zoning

#### 6.4 FortisBC Electric

- There are FortisBC Inc (Electric) ("FBC(E)") primary distribution facilities along Rose Avenue and within the lane adjacent the subject's south property line. The applicant is responsible for costs associated with any change to the subject property's existing service, if any, as well as the provision of appropriate land rights where required.
- Otherwise, FBC(E) has no concerns with this circulation.
- In order to initiate the design process, the customer must call 1-866-4FORTIS (1-866-436-7847). It should be noted that additional land rights issues may arise from the design process but can be dealt with at that time, prior to construction.

## **7.0 Application Chronology**

Date of Application Received:	April 6, 2016
Date Public Consultation Completed:	April 9, 2016
Date of Public Hearing:	July 12, 2016
Revised Plans Received:	May 3, 2017
Date Revised Public Consultation Completed:	May 9, 2017

**Report prepared by:** Trisa Brandt, Planner

**Reviewed by:** Terry Barton, Urban Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

### **Attachments:**

Schedule "A": Memorandum dated June 6, 2016  
Site Plan and Floor Plans  
Conceptual Renderings  
Landscape Plan

---

## CITY OF KELOWNA

# MEMORANDUM

---

**Date:** May 18, 2016  
**File No.:** Z16-0022  
**To:** Community Planning (TB)  
**From:** Development Engineering Manager(SM)  
**Subject:** 815 Rose Ave

RU6 to RM1

---

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Sergio Sartori

1. **Domestic Water and Fire Protection**

The subject property is currently serviced with a 19mm water service. The developer will need to determine the domestic and fire protection requirements of this proposed development. Only one service will be permitted for this development. The applicant will arrange for the disconnection of existing service and the installation of a new service. The disconnection of the existing small diameter water services and the tie-in of a larger new service can be provided by City forces at the developer's expense. One metered water service will supply the development. The applicant will be required to sign a Third Party Work Order for the cost of the water service upgrades. For estimate inquiry's please contact Sergio Sartori, by email [ssartori@kelowna.ca](mailto:ssartori@kelowna.ca) or phone, 250-469-8589.

2. **Sanitary Sewer**

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. An inspection chamber (IC) complete with brooks box must be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost. The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade. For estimate inquiry's please contact Sergio Sartori, by email [ssartori@kelowna.ca](mailto:ssartori@kelowna.ca) or phone, 250-469-8589.

3. **Road Improvements**

Rose Ave must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. A one-time cash payment in lieu of construction must be collected from the applicant for future construction by the City. The cash-in-lieu amount is determined to be **\$7,227.00** not including utility service cost.

This forms part of application  
# Z16-0022



City of  
**Kelowna**  
COMMUNITY PLANNING

- (a) Only the service upgrades must be completed at this time. The City wishes to defer the upgrades to Rose Ave fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule.

Item	Cost
Drainage	\$ 2,855.00
Curb & Gutter	\$ 1,954.00
Road Fillet	\$ 2,052.00
Blvd Landscaping	\$ 366.00
<b>Total</b>	<b>\$ 7,227.00</b>

#### 4. Subdivision

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) Dedicate 5.0m along the full frontage of Rose Avenue.
- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager

#### 5. Development Permit and Site Related Issues

Direct the roof drains into on-site rock pits or splash pads.  
Access is permitted from the lane only.

#### 6. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

#### 7. Bonding and Levy Summary

(a) Levies

1. Rose Ave frontage improvements **\$7,227.00**

(b) Bonding

1. Service upgrades To be determined

Steve Muenz, P. Eng.  
Development Engineering Manager



CITY OF KELOWNA  
MEMORANDUM

SCHEDULE

A

This forms part of application  
# Z16-0022

Planner  
Initials

TB



Date: May 18, 2016

File No.: DP16-0101

To: Community Planning (TB)

From: Development Engineering Manager (SM)

Subject: 580 Patterson Ave

*815 ROSK AVE*

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. General.

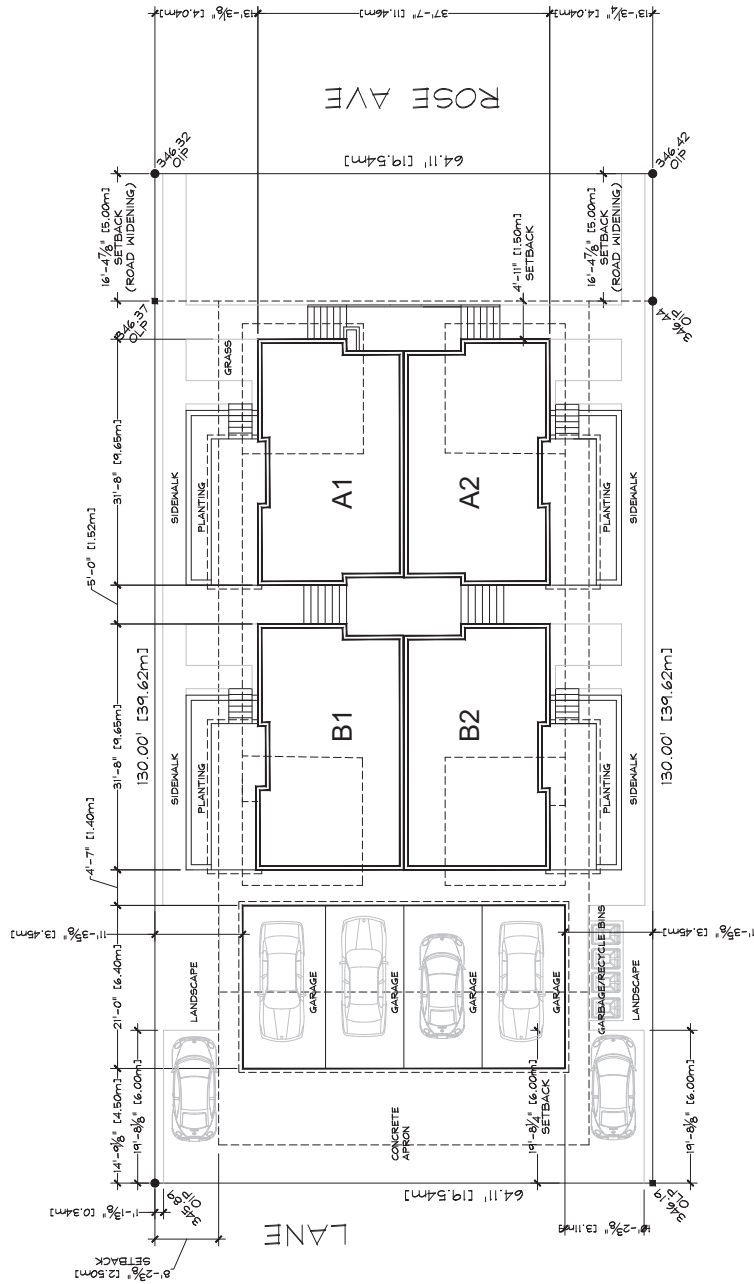
- a) All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z16-0022.

*for*   
Steve Muenz, P. Eng.  
Development Engineering Manager

SS

*(O.K. FOR LUCIO SACTORI TO SIGN AS I APPROVED Z16-0022)  
STEVE MUENZ*





### LOT INFORMATION

PROPOSED RMI  
R16  
LOCAL DESIGN  
CIVIC ADDRESS  
815 ROSE AVE.

FLOOR AREA RATIO:  
MAIN FLOOR = 2,082 SF  
UPPER FLOOR = 1,982 SF  
GARAGE = 872 SF  
TOTAL LOT SQ/FT = 4,936 SF  
LOT AREA = 8,334 SF  
FAR = 0.59 MAX ALLOWED 0.60

TOTAL SITE COVERAGE  
MAIN FLOOR = 2,082 SF  
UPPER FLOOR = 1,982 SF  
GARAGE = 872 SF  
PARKING/DRIVENAY = 4,936 SF  
TOTAL LOT SQ/FT = 8,334 SF  
TOTAL FOOTPRINT = 3,932 SF  
TOTAL COVERAGE = 47.18%  
MAX ALLOWED 50%

### LOT COVERAGE

BUILDING COVERAGE  
MAIN FLOOR = 2,082 SF  
UPPER FLOOR = 1,982 SF  
GARAGE = 872 SF  
TOTAL LOT SQ/FT = 8,334 SF  
TOTAL FOOTPRINT = 3,932 SF  
TOTAL COVERAGE = 47.18%  
MAX ALLOWED 40%

**TGM**  
Drafting & Design  
Tom Masters  
Kelowna, BC (250)372-2446  
kelowna6@gmail.com

SCALE: 1/8"=1'-0"  
DATE: MAY 1/17  
SHEET NO. A1  
SITE PLAN

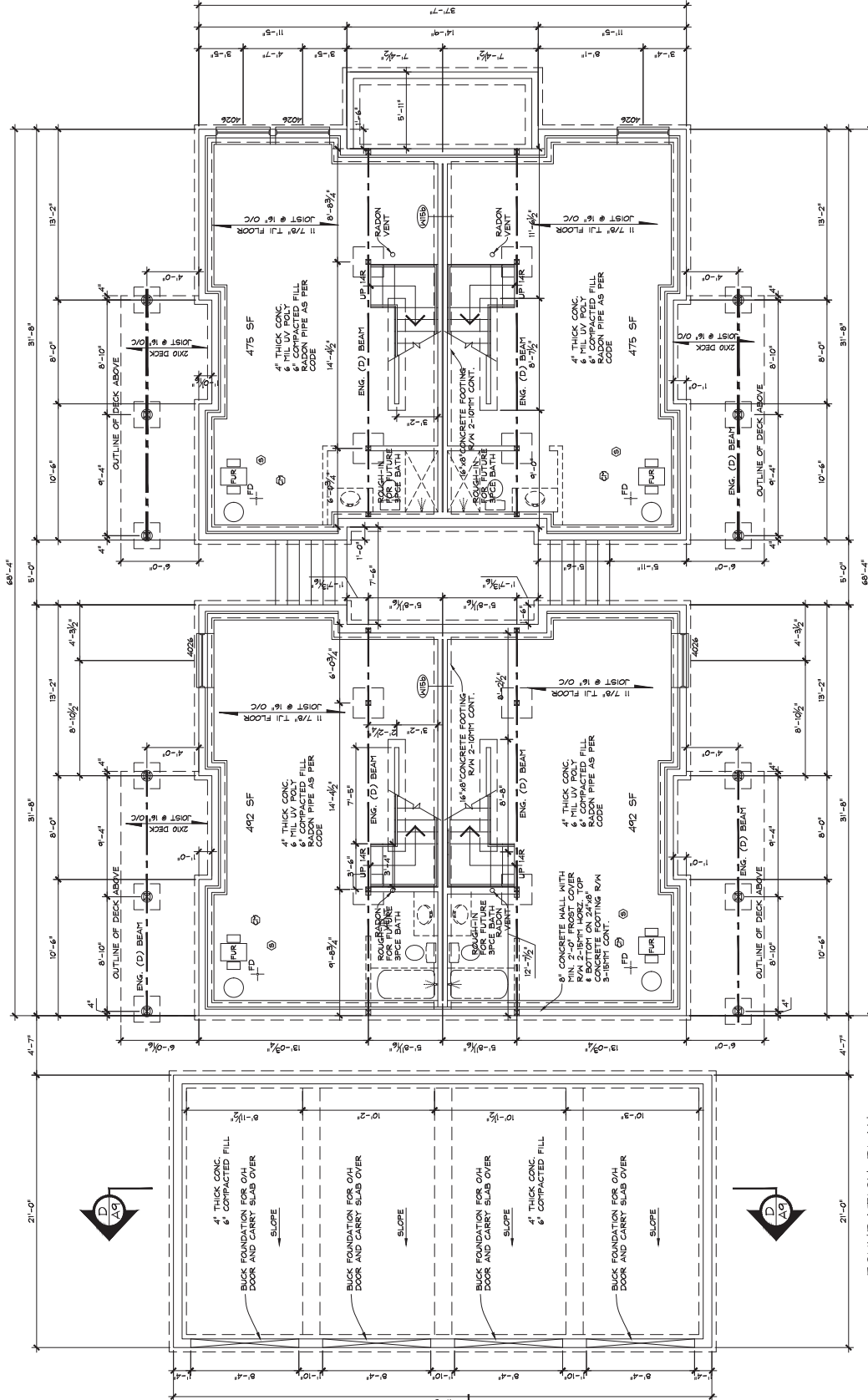
'Rose Avenue Project'  
815 ROSE AVE, KELOWNA, BC

# SPECIFICATIONS

- EXTERIOR WALL  
ACTIVE STUCCO ON  
PAPER & WIRE BASE W/ SCRATCH COAT  
2" SHEATHING 4" O.C.  
2" POLYSTYRENE INSULATION  
8.24 BATT INSULATION  
5/8" GYPSUM BOARD  
GARAGE FLOOR  
CONCRETE SLAB  
SLOPE 2" MIN FOR DRAINAGE  
EXTERIOR FOUNDATION  
2" COOLANT INSULATION  
3" RIGID INSULATION TO  
OUTSIDE FINISH SURFACE  
MAX 24" BELOW FINISH GRADE  
24"x8" CONCRETE FOOTING  
INTERIOR FOUNDATION  
6" CONCRETE CURB  
6" 4" CONCRETE FOOTING  
DRAINAGE  
6" MIN DRAIN ROCK COVER  
4" DIA DRAIN TILE

## BELOW GRADE WALL ASSEMBLY

DESCRIPTION	NOMINAL	EFFECTIVE
8" FOUNDATION WALLS W/ 2X6 PWF	RSI 2.265	(R-15.1)
8" 24" O.C. W/ R-24 BATT INSULATION		
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. DAMPROOFING/INTERIOR AIR FILM	0.33	1.9
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		RSI 2.59 (R-17.9)
MINIMUM U-VALUE FOR BELOW GRADE WALLS W/ R/V		RSI 2.98 (R-16.5)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS		RSI 2.98 (R-16.92)



## FOUNDATION PLAN

- NOTES
- PROVIDE FIRE STOPS IN ACCORDANCE WITH BC BUILDING CODE REFERENCE 9.10.1.3 AND SMOKE ALARMS IN ACCORDANCE WITH REFERENCE 9.10.1.8.
  - PROVIDE DAMPROOFING, WATERPROOFING AND SOIL GAS CONTROL IN ACCORDANCE WITH BC BUILDING CODE REFERENCE SECTION 9.1.3 & 9.1.2.
  - FOOTINGS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL WITH AN ALLOWABLE BEARING PRESSURE OF 2000 LB/SQ.FT. OR GREATER. COMPACTION TO BE TESTED BY QUALIFIED PROFESSIONAL OR GEOTECHNICAL ENGINEER.

'Rose Avenue Project'

815 ROSE AVE, KELOWNA, BC

**TGM**  
Drafting & Design  
Tom Masters  
Kelowna, BC (250) 37-2446  
kelowna6@gmail.com

SHEET NO.  
SCALE: 1/4" = 1'-0"  
DATE: MAY 1/17  
**A4**  
BASEMENT  
PLAN

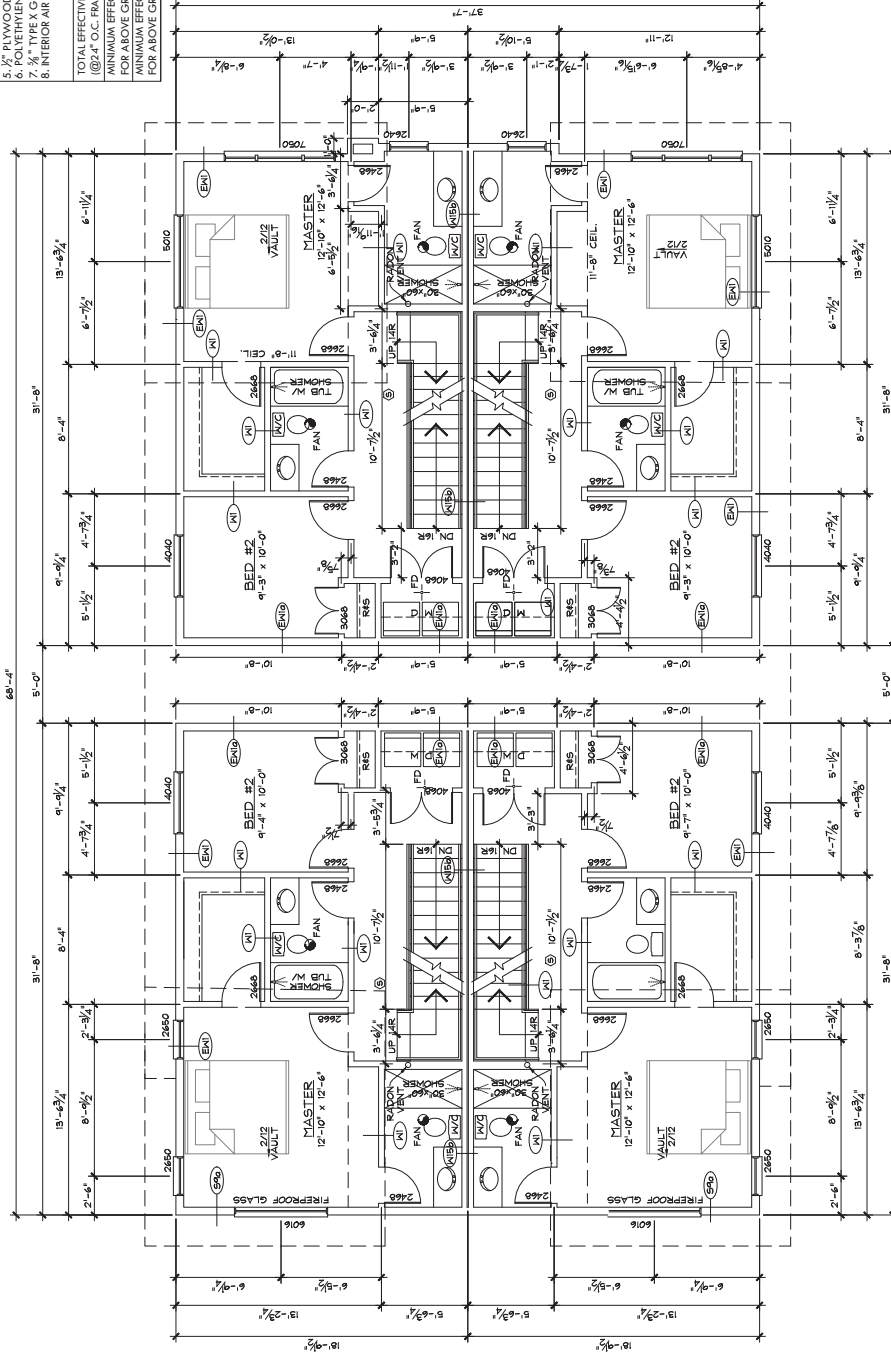


ROOF ASSEMBLY - CATHEDRAL CEILINGS

DESCRIPTION	NOMINAL	EFFECTIVE
R-50 BATT INSULATION IN ENG. TRUSS @ 24" O.C.	RSI 8.81	RSI 5.00
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. INTERIOR AIR FILM	0.12	0.68
2. 1/2" GYPSUM BOARD	0.08	0.45
3. 3/4" SHEATHING	0.03	0.25
4. ROOF FINISH	0.00	0.00
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		RSI 9.12 (R-51.7)
MINIMUM EFFECTIVE THERMAL RESISTANCE W/ HRV		RSI 26.51 (R-26.5)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 4.67 (R-26.5)

ROOF ASSEMBLY - CATHEDRAL CEILINGS

DESCRIPTION	NOMINAL	EFFECTIVE
R-50 BATT INSULATION IN ENG. TRUSS @ 24" O.C.	RSI 8.81	RSI 5.00
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. INTERIOR AIR FILM	0.12	0.68
2. 1/2" GYPSUM BOARD	0.08	0.45
3. 3/4" SHEATHING	0.03	0.25
4. ROOF FINISH	0.00	0.00
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		RSI 9.12 (R-51.7)
MINIMUM EFFECTIVE THERMAL RESISTANCE W/ HRV		RSI 26.51 (R-26.5)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 4.67 (R-26.5)



BLDG 'B'

996 SF (92.6m<sup>2</sup>)

498 SF (46.3m<sup>2</sup>)/UNIT

BLDG 'A'

996 SF (92.6m<sup>2</sup>)

498 SF (46.3m<sup>2</sup>)/UNIT

'Rose Avenue Project'

815 ROSE AVE, KEDLOWNA, BC

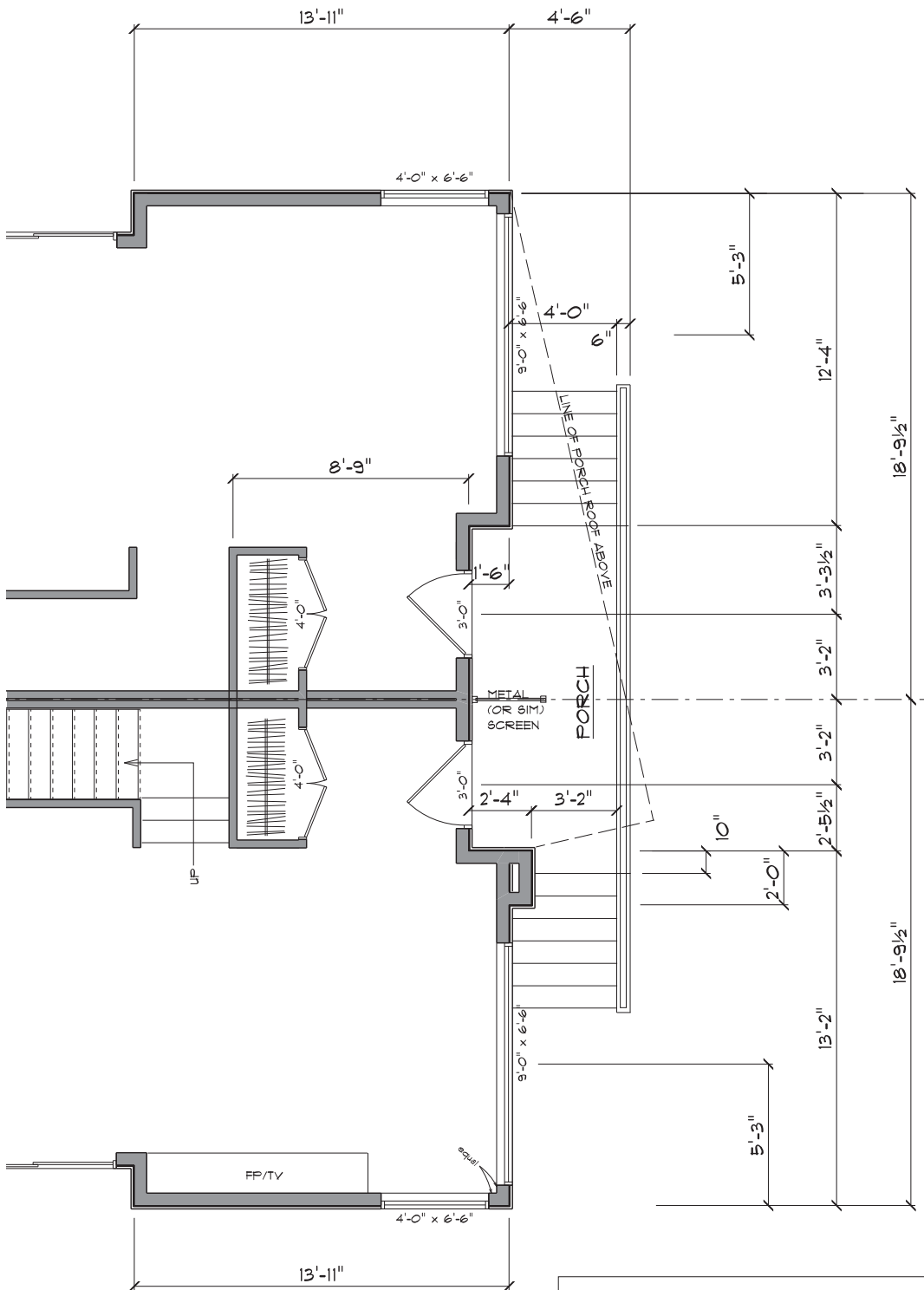
**TGM**  
Drafting & Design  
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Kedowna, BC (250)37-2446  
kedowna6@gmail.com

SCALE: 1/4" = 1'-0"  
DATE: MAY 1/17  
SHEET NO. **A4**  
UPPER FLOOR  
PLAN



1/4" = 1'0" ON 11X17

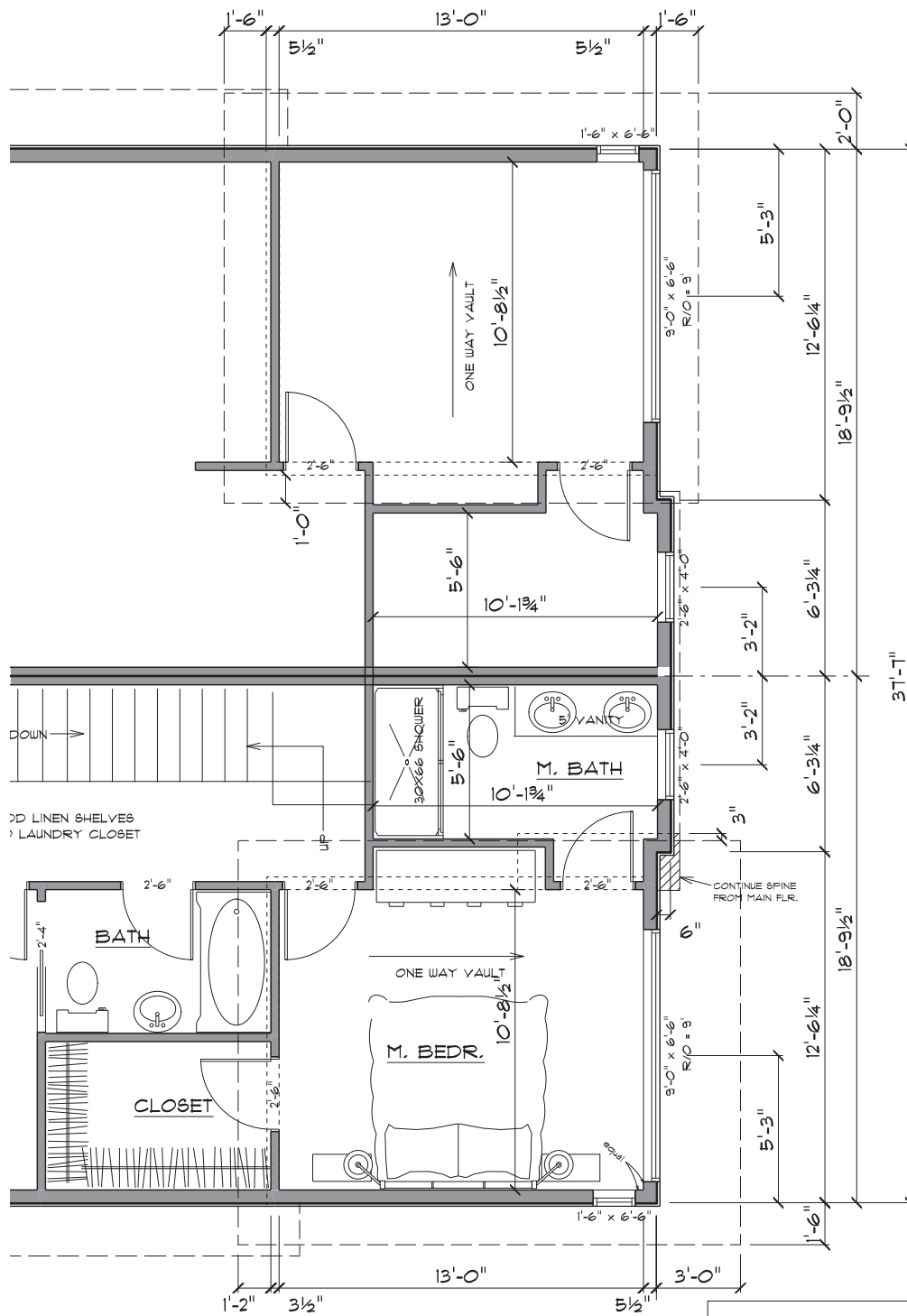




815 ROSE AVE.  
ALTERNATE FACADE  
MAIN FLOOR PLAN

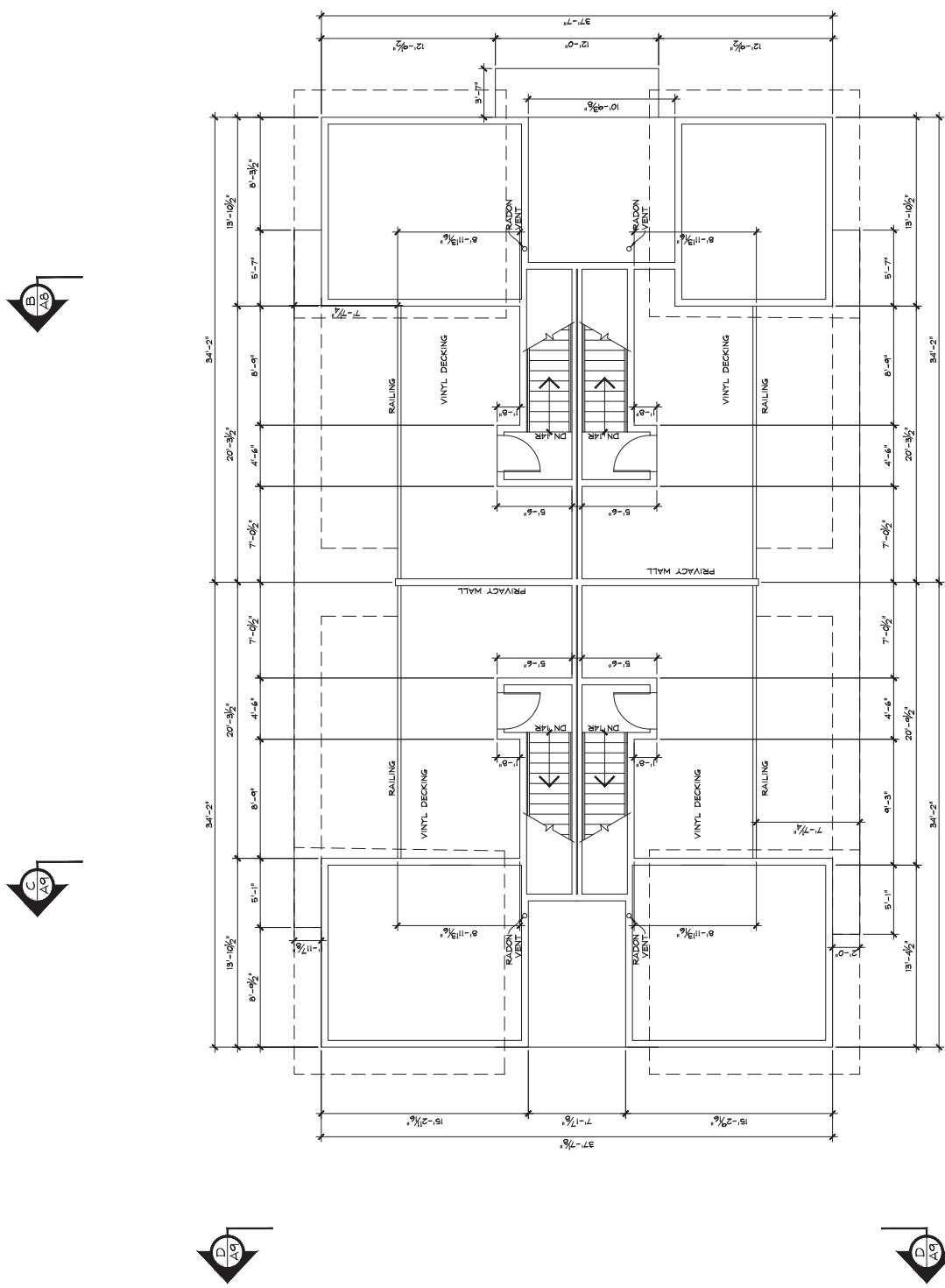
(MAR. 22, 2017)

1/4" = 1'0" ON 11X17



815 ROSE AVE.  
ALTERNATE FACADE  
SECOND FLOOR PLAN

(MAR. 22, 2017) 1/4" = 1'0" ON 11X17

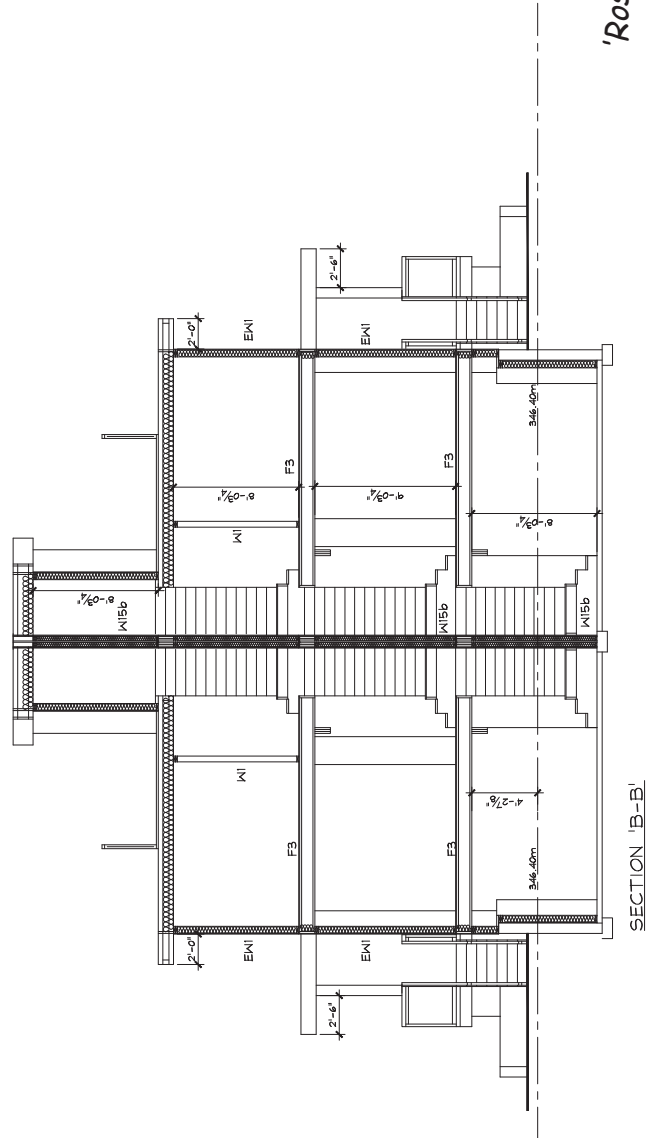
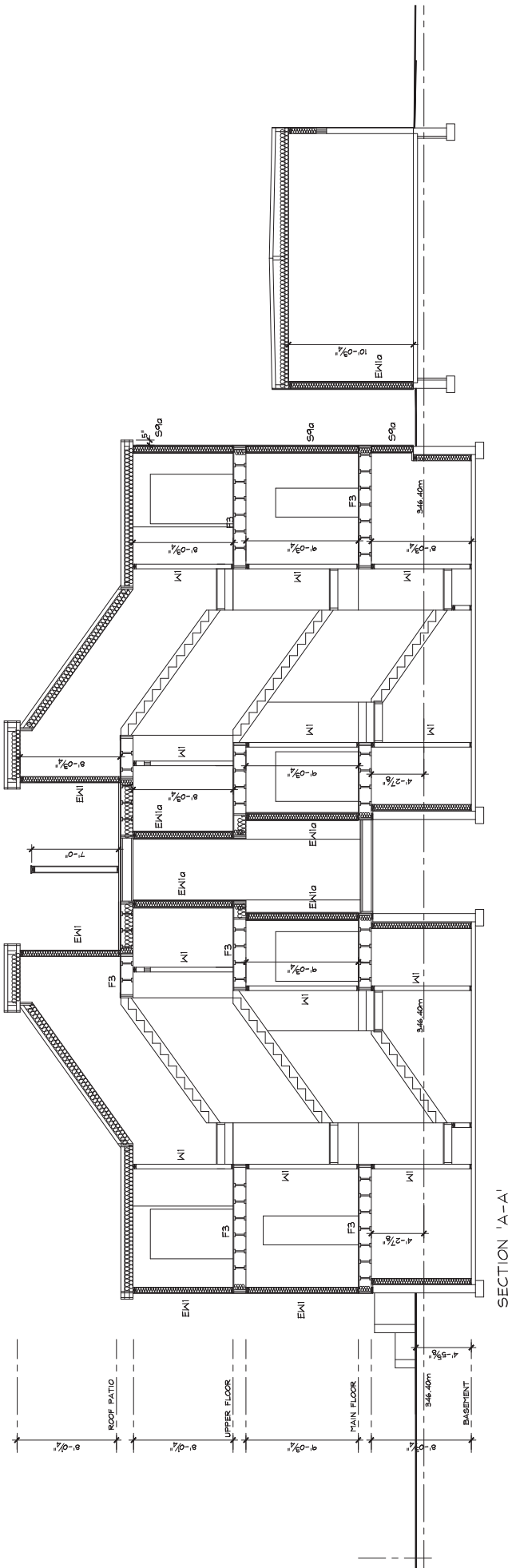


ROOF PATIO  
213 SF (19.87 m2)/UNIT

'Rose Avenue Project'  
815 ROSE AVE, KELOWNA, BC

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kelowna63@gmail.com

SHEET NO. **A5**  
SCALE: 1/4"=1'-0"  
DATE: MAY 1/17  
PROJECT: ROOF PLAN



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SCALE: 1/4"=1'-0"  
DATE: MAY 1/17  
SHEET NO. A8  
SECTIONS

'Rose Avenue Project'  
815 ROSE AVE, KELOWNA, BC

'Rose Avenue Project'

815 ROSE AVE, KELOWNA, BC

TGM

Drafting & Design

Tom Masters

Kelowna, BC (250)372-2446

kelowna63@gmail.com

SCALE

1/4"=1'-0"

DATE

MAY 1/17

SHEET NO.

A9

SECTIONS

SECTION 'C-C'

SECTION 'D-D'

WALL TYPES

- W1 38 MM X 88 MM STUDS SPACED 400 MM OR 600 MM O.C.  
1 LAYER OF GYPSUM BOARD ON EACH SIDE  
1 LAYER OF ABSORPTIVE MATERIAL
- W2 TWO ROWS 38 MM X 88 MM STUDS, EACH SPACED 400 MM OR 600 MM O.C. ON SEPARATE 38 MM X 88 MM PLATES SET 25 MM APART  
1 LAYER OF ABSORPTIVE MATERIAL  
2 LAYERS OF GYPSUM BOARD ON EACH SIDE
- W3 12.7 MM TYPE X GYPSUM BOARD 1 H
- W4 84 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE
- W5 38 MM X 140 MM STUDS SPACED 400 MM OR 600 MM O.C.  
1 LAYER OF GYPSUM BOARD ON INSIDE  
EXTERIOR SHEATHING AND SIDING
- W6 SUBFLOOR OF 18.5 MM PLYWOOD, OSB OR WATERBOARD, OR 17MM TONGUE AND GROOVE LUMBER ON WOOD JOISTS CHANGE BEGINNER MOOD 1-JOISTS CHANGE ON WOOD JOISTS WITHOUT TONGUE AND GROOVE LUMBER WITH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITY  
1 LAYER OF GYPSUM BOARD ON CEILING SIDE
- W7 31 MM X 152 MM STEEL STUDS SPACED 400 MM OR 600 MM O.C.













**CITY OF KELOWNA**  
**BYLAW NO. 11416**  
**Z16-0022 – 815 Rose Aveune**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 6, District Lot 136, ODYD, Plan 11487 located on Rose Avenue, Kelowna, B.C., from the RU6 – Two Dwelling Housing zone to the RM1 – Four Dwelling Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



# REPORT TO COUNCIL



**Date:** June 13, 2017

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (EW,TH)

**Application:** Z16-0070  
**Owner:** Brent Hancock & Whitney Smith

**Address:** 614 Barnaby Road  
**Applicant:** Whitney Smith

**Subject:** Rezoning Application

Existing OCP Designation: S2RES – Single/Two Unit Residential

Existing Zone: RR1 – Rural Residential 1

Proposed Zone: RR1c – Rural Residential 1 with Carriage House

---

## 1.0 Recommendation

That Rezoning Application No. Z16-0070 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 2, District Lot 357, SDYS, Plan 17353 located at 614 Barnaby Road Kelowna, BC from the RR1 – Rural Residential 1 zone to the RR1c – Rural Residential 1 with Carriage House zone be considered by Council;

AND THAT The Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT Final Adoption of the Rezoning Bylaw be considered subsequent the applicant required to post with the City a security deposit in the form of a Letter of Credit in the amount of \$20,000.00 to be returned to the applicant upon completion of a Development Variance Permit and completion of a Building Permit to legally convert the existing accessory structure to a Carriage House as proposed.

## 2.0 Purpose

To rezone the subject property from the RR1 – Rural Residential 1 zone to the RR1c – Rural Residential 1 with Carriage House.

## 3.0 Community Planning

Community Planning are in support of the proposed application to rezone the subject parcel to permit a carriage house. The subject parcel is within the Permanent Growth Boundary. The proposed carriage house location does not impede on neighbouring private open space and the subject parcel is connected to City

sanitary services. The applicant has also agreed to a \$20,000 security bond to ensure that the required permits are completed that would legalize the existing structure as a carriage house.

#### 4.0 Proposal

##### 4.1 Background

##### Map 1: Subject Property



The 1.86-acre property contains one single family dwelling, renovated in June 2014. An accessory building was constructed near the front property line in December 2012. The accessory structure was constructed with permits and met the zoning bylaw of the day.

An illegal suite investigation was conducted in early 2016 which determined that illegal construction to convert the accessory building to a carriage house had taken place by the current owners. The owners completed a decommission permit to remove all unpermitted works and the structure is currently vacant. The owners are now coming forward to Council with a Rezoning Application. Should the rezoning application be successful, a Development Variance Permit will be considered by Council, followed by a Building Permit to legalize the carriage house.

##### 4.2 Project Description

The application is to rezone the subject parcel to add a "c" designation to the existing zone to permit a carriage house. The structure for the proposed carriage house exists on the property. The first floor consists of a double vehicle garage, with a stairwell that leads to an upper floor. The upper floor is the space proposed for the carriage house living area. The owners are proposing internal renovations to the second floor only in order to create the secondary suite within the accessory structure.

##### 4.3 Variances

The conversion from an accessory structure to a carriage house will require three variances to Zoning Bylaw No. 8000, RR1c Zone:

Variance 1: 9.5b.1c *The principal dwelling unit shall be located between the front yard and the carriage house.* As the location of the principal dwelling and carriage house do not conform to this regulation, the first variance is triggered.

Variance 2: 9.5b.1e *The upper floor area of any carriage house is limited to 75% of the carriage house footprint.* As the footprint of the proposed carriage house structure measures 100 m<sup>2</sup>, and the upper floor area measures 106 m<sup>2</sup>, the second variance is triggered.

Variance 3: 12.1.6 a *The maximum floor area of a carriage house shall be 90 m<sup>2</sup> or 75% of the total floor area of the principal building.* As the floor area of the proposed carriage house is 106 m<sup>2</sup>, the third variance is triggered. These variances would be presented to Council in a Development Variance Permit should this Rezoning application receive final adoption.

#### 4.4 Security Bond

A condition of final adoption of the proposed RR1c zone includes a security bond in the amount of \$20,000.00. The purpose of the security is to ensure that the appropriate permits are completed should the parcel receive final adoption of the RR1c zone. The appropriate permits include:

- A Development Variance Permit for the three identified variances.
- Obtaining Final Occupancy for the carriage house through a Building Permit.

This is a requirement of final adoption of the RR1c zone as the above noted permits may only be applied for once rezoning is complete. If the permits are not completed, the accessory structure may be misrepresented as a legal carriage house to future owners and existing neighbours. When legalizing existing structures, a security bond allows Council and Staff to be confident that an owner will follow through with any required permits or applications to complete a legalization process.

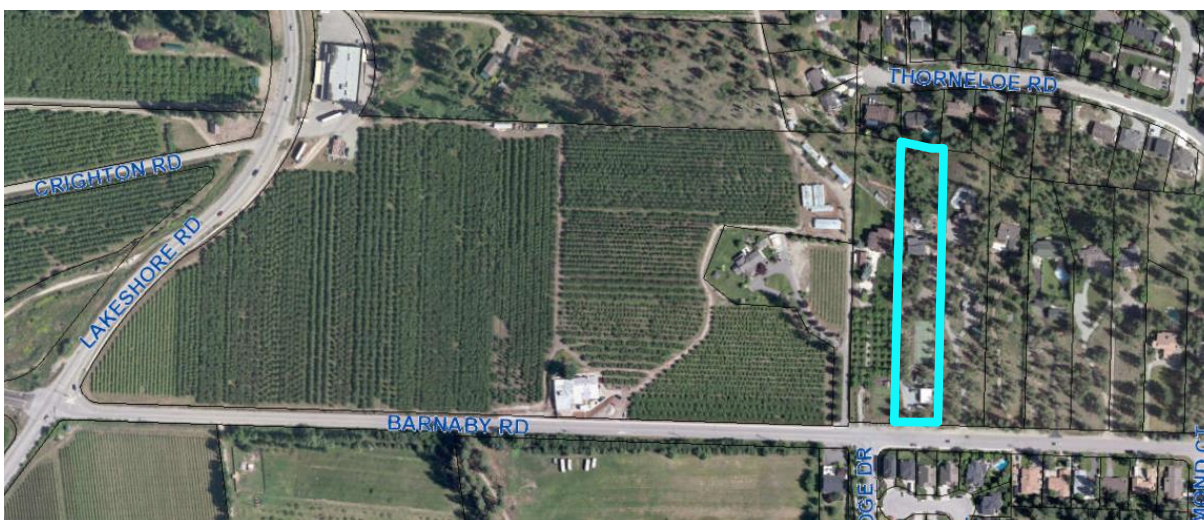
#### 4.5 Site Context

The subject property is located within the Southwest Mission Sector of the City on the north side of Barnaby Road between South Ridge Drive and Drummond Court. The subject parcel and adjacent parcels on adjacent sides have a Future Land Use designation of Single / Two Unit Residential. This property contains easement where an existing sanitary sewer main is located, and has a water service that connects to a City water main within Barnaby Road.

Adjacent land uses are as follows:

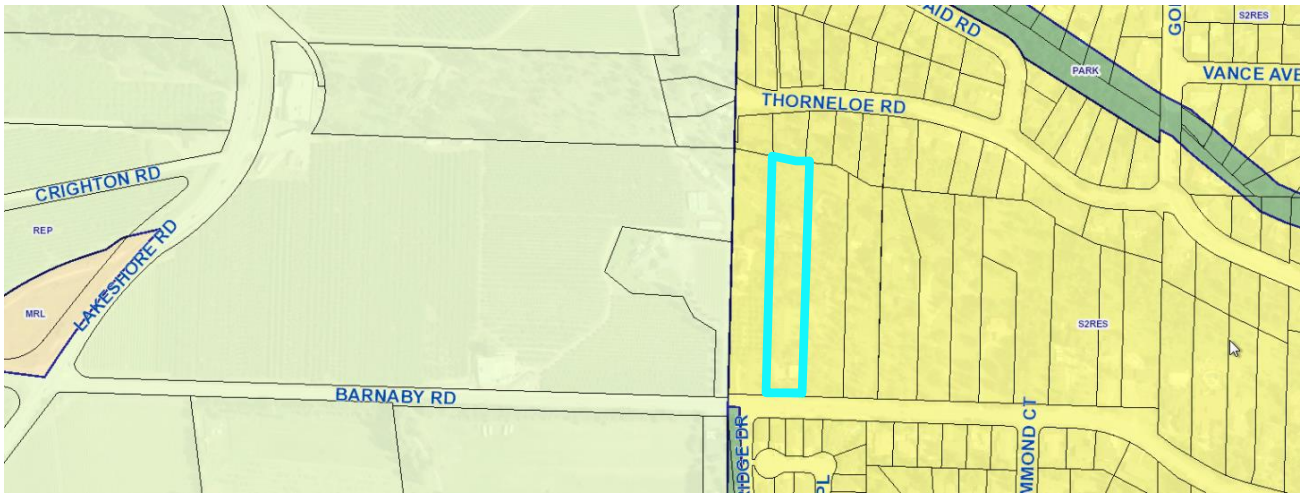
Orientation	Zoning	Land Use
North	RU1 – Urban Residential 1 zone	Residential
East	RR1 – Rural Residential 1 zone	Residential
South	RU2 - Urban Residential 2 zone	Residential
West	RR1 – Rural Residential 1 zone	Residential with agriculture

**Map 2:** Neighbourhood Context

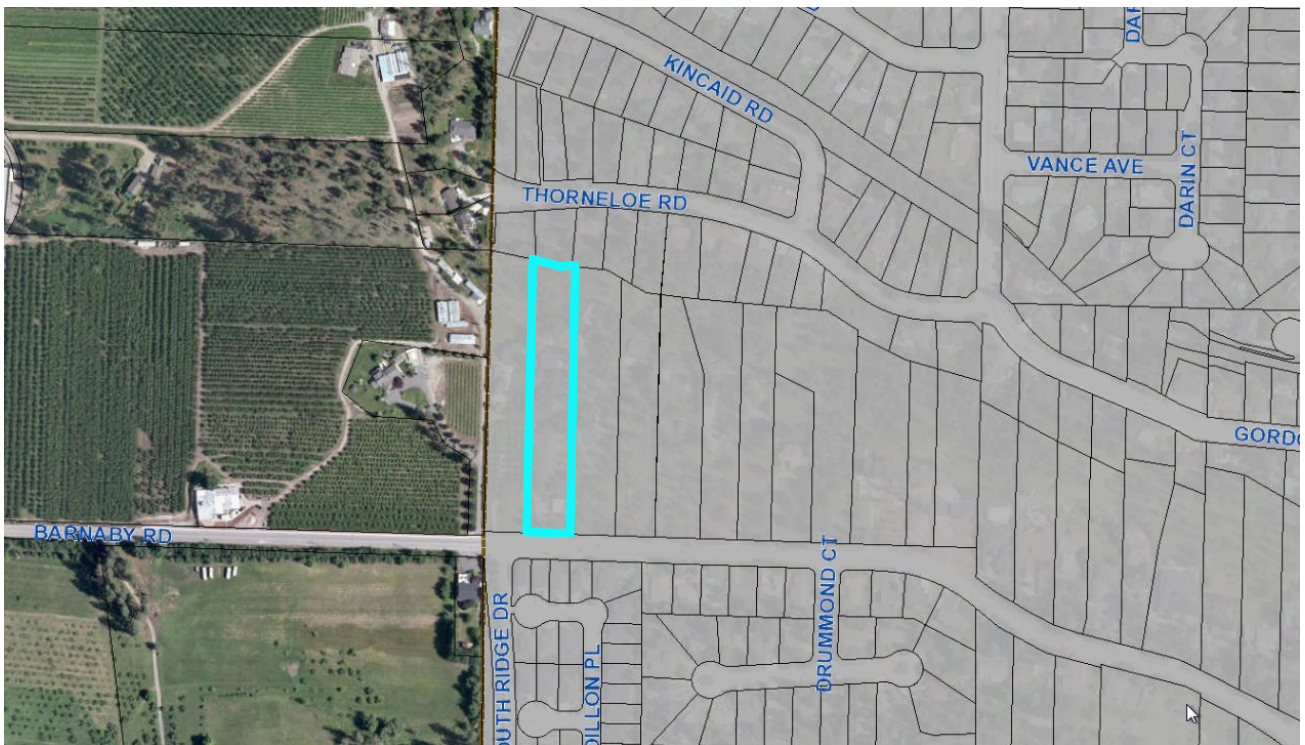




**Map 3: Future Land Use**



**Map 4: Permanent Growth Boundary**



#### 4.6 Zoning Analysis Table

This table illustrates where the proposed carriage house meets and does not meet the RR1c zoning regulations.

Zoning Analysis Table		
CRITERIA	RR1c ZONE REQUIREMENTS	PROPOSAL
Subdivision Regulations		
Lot Area	10,000 m <sup>2</sup> or 8000 <sup>2</sup> m if connected to City sanitary sewer system	7527.42 m <sup>2</sup> & connected to City Sanitary
Lot Width	40 m	34 m
Lot Depth	30 m	220 m
Carriage House Development Regulations		
Maximum Site Coverage of all structures	10%	4.0%
Site coverage for accessory buildings or structures and carriage house	14%	1.5%
Max. Height (mid-point of roof)	6.0 m	5.48 m
Min. Front Yard Setback (to Barnaby Road)	6.0 m	18 m
Min. Sideyard Setback	3.0 m	3.0 m
Min. Sideyard Setback	3.0 m	> 3.0 m
Maximum floor area of carriage house	90 m <sup>2</sup> or 75% of the main floor of the accessory building	106 m <sup>2</sup> ❶
Maximum upper floor area of carriage house	75% of carriage house footprint	106% of carriage house footprint ❷
Minimum distance to principal building	3 m	+/-120 m
Location of carriage house	The principal dwelling shall be located between the front yard and the carriage house	The carriage house is located between the front yard and the principal dwelling ❸
❶ Indicates a requested variance for a carriage house living area more than 90 m <sup>2</sup> in size. ❷ Indicates a requested variance for a carriage house with the upper floor greater than 75% of the carriage house structure footprint. ❸ Indicates a requested variance for a carriage house to be located between the front property line and the principal dwelling.		



## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### **Future Land Use**

**Single/Two Unit Residential (S2RES).**<sup>1</sup> Single detached homes for occupancy by one family, single detached homes with a secondary suite or carriage house, semi-detached buildings used for two dwelling units, modular homes, bareland strata, and those complementary uses (i.e. minor care centres, minor public services/utilities, convenience facility and neighbourhood parks), which are integral components of urban neighbourhoods.

Staff Notes: The subject parcel is S2RES with connections to city water and sanitary, the large lot size easily accommodates a secondary dwelling in the form of a carriage house.

**Permanent Growth Boundary (PGB)**<sup>2</sup> Lands within the permanent growth boundary may be considered for urban uses within the 20 year planning horizon ending 2030.. Lands outside the permanent growth boundary will not be supported for urban uses. Non-ALR land outside the Permanent Growth Boundary will not be supported for any further parcelization.

Staff Notes: The subject parcel is within the PGB. As the site is fully serviced and does not interfere with the private open space of neighbouring Rural Residential parcels, staff consider the c designation appropriate.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- The drawings submitted for Building Permit application is to indicate the method of fire separation between the suite and the garage.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications.

### 6.2 Development Engineering

- See memorandum (Attachment B).

<sup>1</sup> City of Kelowna Official Community Plan, Designation definitions (Future Land Use Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Designation definitions (Future Land Use Chapter).

## **7.0 Application Chronology**

Date of Application Received: October 7, 2016  
Date Public Consultation Completed: February 26, 2017

**Report prepared by:** Tracey Hillis & Emily Williamson, Planners

**Reviewed by:** Terry Barton, Urban Planning Manager

**Reviewed by:** Ryan Smith, Community Planning Department Manager

**Approved for Inclusion:** Doug Gilchrist, Divisional Director, Community Planning & Real Estate

**Attachment A** – Proposed Carriage House Plans

**Attachment B** – Development Engineering Memo



TH

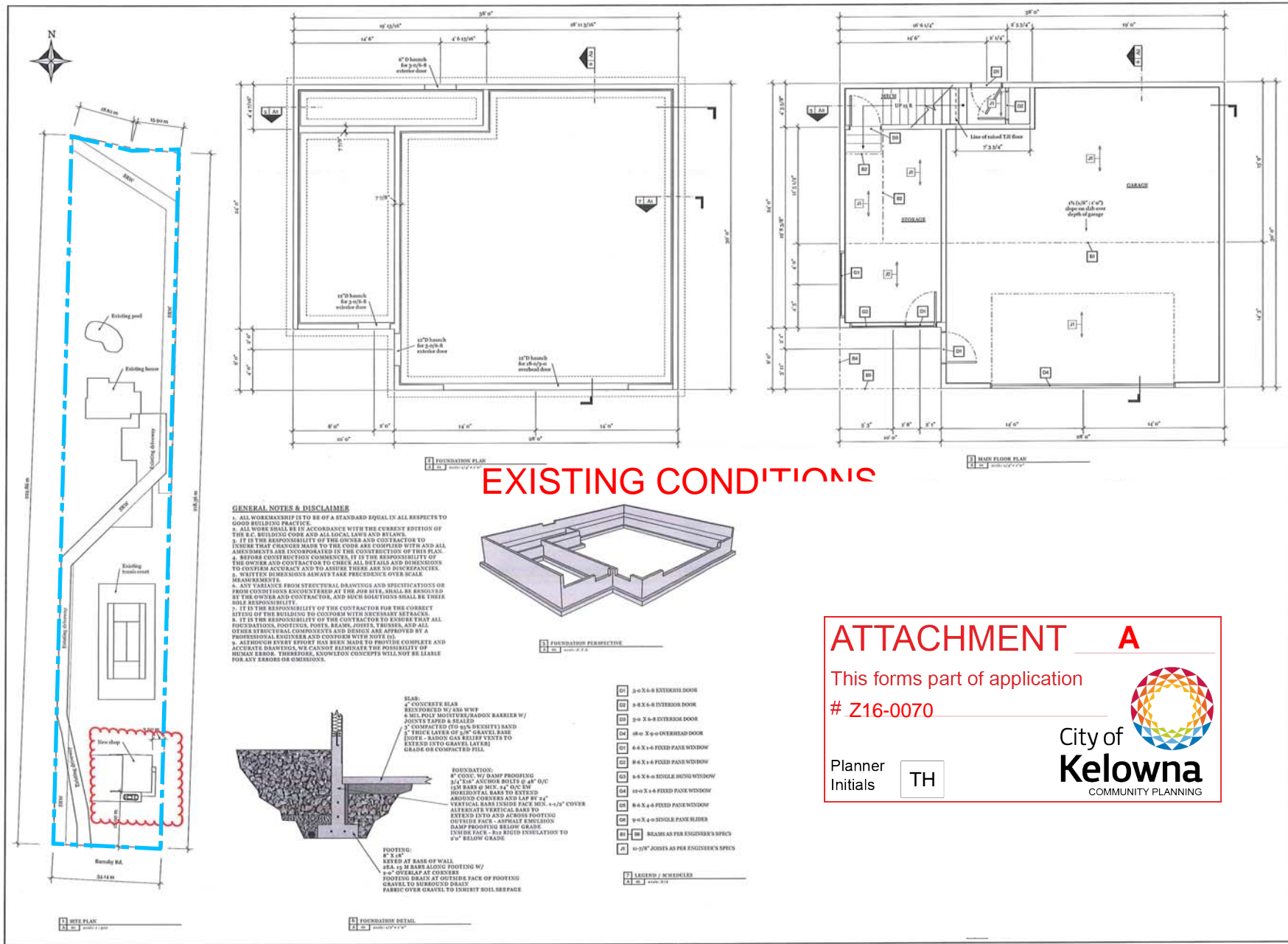


B	PERSPECTIVE	
A	OP	angle N.Y.



SECTION \_\_\_\_\_  
 A 01 000000/000000





# ATTACHMENT

## A

This forms part of application

# Z16-0070

Planner Initials

TH

City of Kelowna  
COMMUNITY PLANNING

Knowlton concepts inc.  
Architectural Drafting & Design  
Phone: (250) 575-0128  
www.knowltonconcepts.com

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2016-07-27
2	FOR COMMENTS	
3	FOR COMMENTS	
4	FOR COMMENTS	
5	FOR COMMENTS	
6	FOR COMMENTS	

HANCOCK DETACHED GARAGE  
614 Barnaby Rd. Kelowna, BC  
Lot 2, Plan 73553, Sec 30, TWP 29

PLANS

A	O1
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# ATTACHMENT A

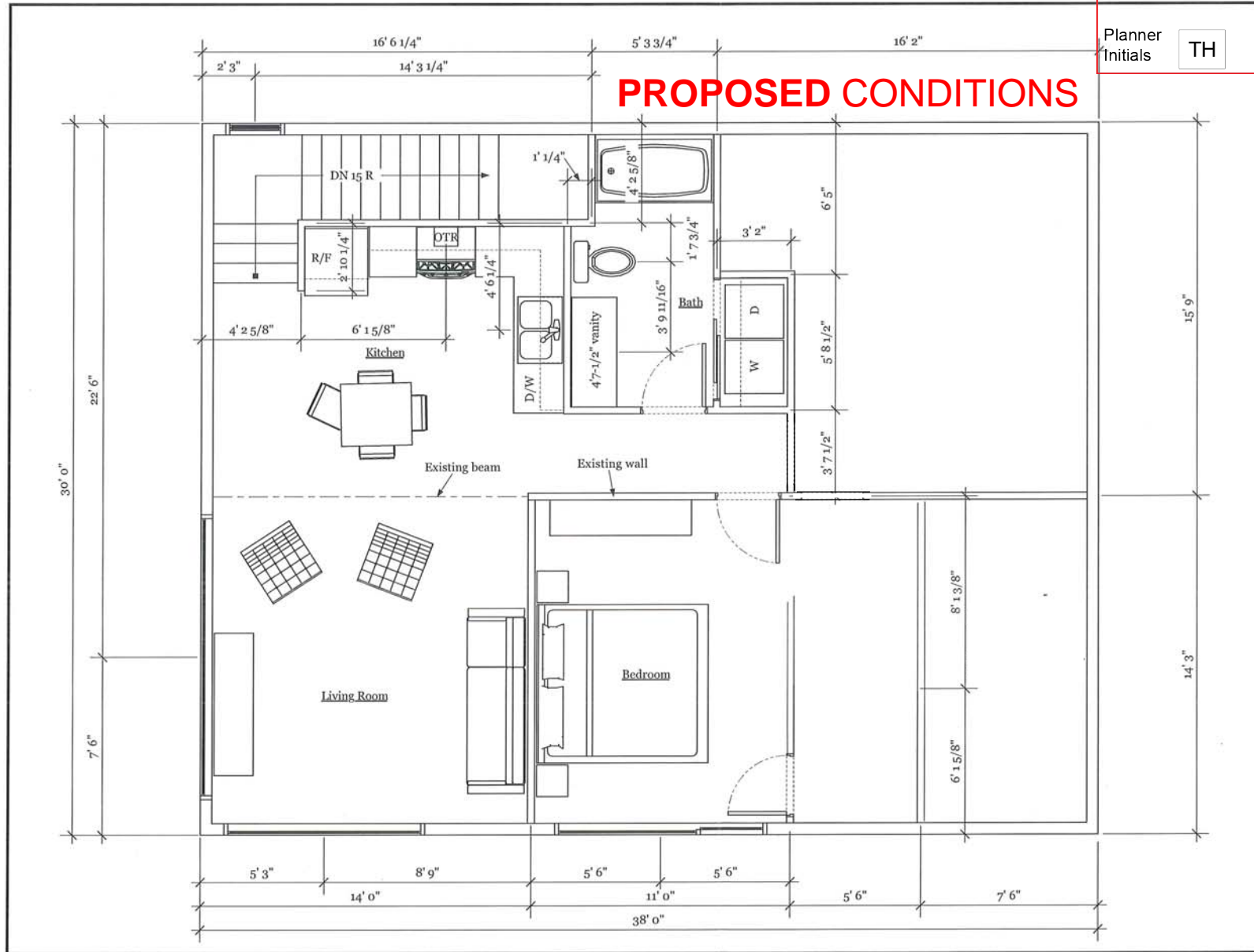
This forms part of application  
# Z16-0070



City of  
**Kelowna**  
COMMUNITY PLANNING

Planner  
Initials TH

## PROPOSED CONDITIONS



Architectural  
Drafting & Design

Phone: (250) 575 - 0128  
www.knowltonconcepts.com

HANCOCK  
DETACHED  
GARAGE

614 Barnaby Rd.  
Kelowna, BC  
Lot 2, Plan 17353, Sec  
30, TWP 29

(FUTURE)  
UPPER  
FLOOR PLAN

scale: 1/4" = 1'0"

X

01



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## CITY OF KELOWNA

# MEMORANDUM

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**Date:** November 24, 2016  
**File No.:** Z16-0070

**To:** Land Use Management Department (TH)

**From:** Development Engineering Manager

**Subject:** 914 Barnaby Road Lot 2 Plan 17353 Carriage House RU1c

---

Development Engineering has the following requirements associated with this application.

1. Domestic Water


This property is currently serviced with a 19mm diameter Municipal Service that will service both the existing dwelling and proposed carriage house

2. Sanitary Sewer

This property is currently serviced with a 100mm diameter Municipal Service complete with inspection chamber that will service both the existing dwelling and proposed carriage house

3. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

  
\_\_\_\_\_  
Steve Muenz, P. Eng.  
Development Engineering Manager  
JF/jf

<b>ATTACHMENT</b>		<b>B</b>
This forms part of application		
# Z16-0070		
Planner Initials	EW	 City of <b>Kelowna</b> <small>COMMUNITY PLANNING</small>

**CITY OF KELOWNA**  
**BYLAW NO. 11417**  
**Z16-0022 – 614 Barnaby Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 2, District Lot 357, SDYD, Plan 17353 located on Barnaby Road, Kelowna, B.C., from the RR1 – Rural Residential zone to the RR1c – Rural Residential 1 with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

# REPORT TO COUNCIL



**Date:** May 29, 2017

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (MS)

**Application:** OCP16-0005 / Z16-0078

**Owners:** Emil Anderson Construction Inc.  
0935343 BC Ltd. (Tower Ranch Golf  
& Country Club)

**Address:** 1700 Tower Ranch Blvd and  
1638 Tower Ranch Blvd

**Applicant:** Greg Asling

**Subject:** Official Community Plan Amendment and Rezoning Application

**Existing OCP Designation:** S2RES – Single / Two Unit Residential  
S2RESH – Single / Two Unit Residential – Hillside  
PARK – Major Park and Open Space (public)  
REC – Private Recreation

**Proposed OCP Designation:** S2RES – Single / Two Unit Residential  
S2RESH – Single / Two Unit Residential – Hillside  
PARK – Major Park / Open Space (public)  
REC – Private Recreation

**Existing Zone:** RU1h – Large Lot Housing (Hillside Area)  
RU2 – Medium Lot Housing  
RU2h – Medium Lot Housing (Hillside Area)  
RU4 – Low Density Cluster Housing  
RU6 – Two Dwelling Housing  
P3 – Parks and Open Space

**Proposed Zone:** RU2h - Medium Lot Housing (Hillside Area)  
RU4h – Low Density Cluster Housing (Hillside Area)  
RU6 – Two Dwelling Housing  
P3 – Parks and Open Space

---

## 1.0 Recommendation

THAT Official Community Plan Map Amendment Application No. OCP16-0005 to amend Map 4.1 in the Kelowna 2030 – Official Community Plan Bylaw No. 10500 by changing the Future Land Use designation of portions of *Lot 2 Section 31 TWP 27 ODYD Plan KAP80993 Except Plans KAP25114, KAP90346, EPP50442 and EPP64271*, located at 1700 Tower Ranch Boulevard, from the future land use designations identified in the OCP for the property (REC – Private Recreation, S2RES – Single/Two Unit Residential, S2RESH – Single/Two Unit Residential Hillside and PARK – Parks and Open Space) to the future land use designations (PARK – Parks and Open Space, S2RES – Single/Two Unit Residential and S2RESH – Single/Two Unit

Residential (Hillside)) as shown on Map "A" attached to the Report from the Community Planning Department dated May 29, 2017, be considered by Council;

AND THAT Official Community Plan Map Amendment Application No. OCP16-0005 to amend Map 4.1 in the Kelowna 2030 – Official Community Plan Bylaw No. 10500 by changing the Future Land Use designation of portions of *Lot 1 Section 31 TWP 27 ODYD Plan KAP80993*, located at 1638 Tower Ranch Blvd, Kelowna, BC from S2RESH – Single/Two Unit Residential (Hillside) to REC – Private Recreation as shown on Map "A" attached to the Report from the Community Planning Department dated May 29, 2017, be considered by Council;

AND THAT the Official Community Plan Map Amending Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT Council considers the public process to be appropriate consultation for the *Purpose* of Section 879 of the *Local Government Act*, as outlined in the Report from the Community Planning Department dated May 29, 2017;

THAT Rezoning Application No. Z16-0078 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of portions of *Lot 2 Section 31 TWP 27 ODYD Plan KAP80993 Except Plans KAP85114, KAP90346, EPP50442 and EPP64271*, located at 1700 Tower Ranch Boulevard, Kelowna, BC, from (P3 – Parks and Open Space, RU1h – Large Lot Housing (Hillside Area), RU6 – Two Dwelling Housing) to (P3 – Parks and Open Space, RU2h - Medium Lot Housing (Hillside Area) and RU6 – Two Dwelling Housing) as shown on Map "B" attached to the Report from the Community Planning Department dated May 29, 2017), be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the release of Restrictive Covenant CA440802 and CA4540803 (Zoning Covenant).

## 2.0 Purpose

Official Community Plan amendment and rezoning application to amend the future land use designations and rezone portions of the subject property to facilitate a single and two unit residential subdivision with park space for 1700 Tower Ranch Boulevard, and make the future land use designation consistent with existing golf course use at 1638 Tower Ranch Boulevard.

## 3.0 Community Planning

Community Planning supports the proposed OCP and zone amendments. Key components to the amendments are:

- Including the hillside designation to all of the residential area;
- Refinement of the location of the neighbourhood park and natural park areas; and
- Correction of the golf course and residential areas with respect to property lines.

Staff believe the proposed amendments better align this portion of the development with the City's Hillside Development policies and natural open space/park objectives.

## 4.0 Proposal

### 4.1 Background

At the time of the adoption current OCP (approved in May 2011), the subject properties were owned by a previous developer. The configuration of future land use designations was designed in accordance with the

previous concept plan. The amendment responds to the current concept plan as well as the finalized property line of the Tower Ranch Golf Course.

In 2011, 1700 Tower Ranch Boulevard was purchased by Emil Anderson Construction Inc. (Emil Anderson). Emil Anderson has an interest in amending the configuration of the future land uses to better suit their concept and target market. A development permit for the current configuration was issued in 2008, and the site has been pregraded in accordance with this development permit. In addition, the amendment corrects the finalized property lines and location of the Tower Ranch Golf Course and park space.

In 2008, a neighbourhood park was planned for the area. This plan refines the location of the proposed neighbourhood park. In addition to this park, the amendment refines an area of steep natural open space that will also be designated as park.

The Agricultural Land Commission (ALC) allowed the graduated release of Tower Ranch Golf Course associated residential development from the Agricultural Land Reserve (ALR) through a number of resolutions, the most recent of which was Resolution #498/2006.

#### 4.2 Project Description

The amendment changes the single / two unit residential (S2RES) to single / two unit (S2RESH) residential hillside, so that the development can better respond to the hillside conditions of the site. The location of the open park space is refined, and a neighbourhood park is designated within the development to be held for future development.

The zoning designation of RU2h - Medium Lot Housing (Hillside Area) will be applied to the residential lots in the eastern and central portions of the property. The designation of RU6 – Two Dwelling Units will be applied along the western property line, to facilitate duplex units.

In 2008, a neighbourhood park was planned for the area. This plan refines the location of the proposed neighbourhood park. Our Real Estate Service's Department has had preliminary discussions with the owner regarding transfer of the parkland, and the parties are currently negotiating for the acquisition of the future park via Development Cost Charges (DCC) credit's to be issued as part of the overall development. The park areas will correspond to the new property lines with a zoning of P3 – Parks and Open Space.

In addition, the amendment refines an area of steep open space that will also be designated as park. A walkway connection from Tower Ranch Boulevard to 'Road D' providing connectivity to the development for pedestrians (see attached Plan PLR-01).

The amendment also corrects the private recreation future land use designation to the current property line of Tower Ranch Golf Course.

Fencing and landscape buffering along the ALR will be required when the area adjacent to the ALR at the north is subdivided, in accordance with the ALC requirements.

A restrictive covenant, in favour of the City of Kelowna, is registered on 1700 Tower Ranch Drive, which specifies that the parcel should be built to a RU2 – Medium Lot Housing zone. Given that this amendment will specify the proposed zone for the property, the covenant will be redundant. Staff recommends that this covenant and associated priority charge be discharged from title prior to the adoption of this bylaw.



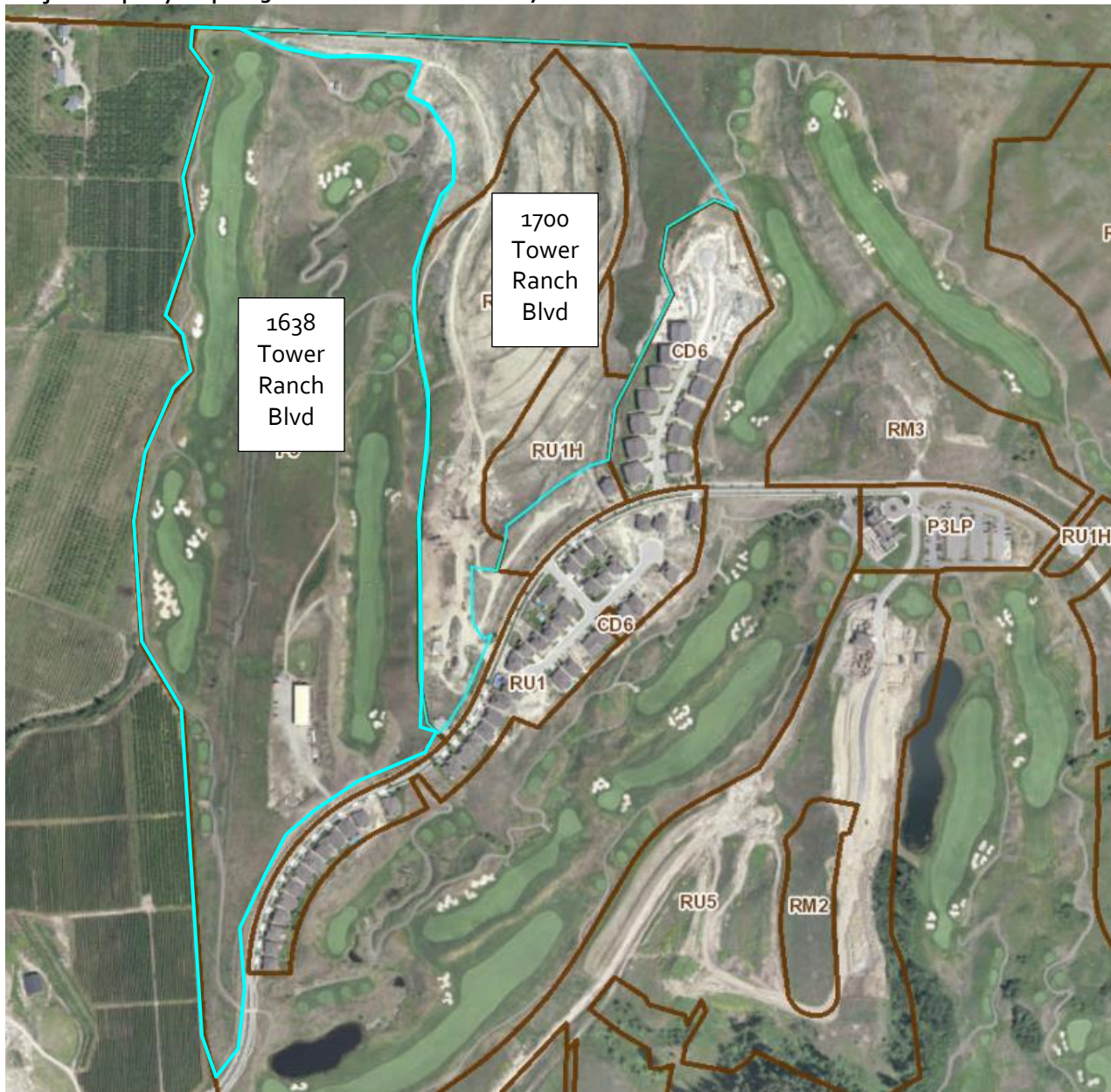
#### 4.3 Site Context

The site is located on the upper McCurdy Bench in the Rutland Sector. Lands within the Agricultural Land Reserve (ALR) in the Regional District of the Central Okanagan (RDCO) lie to the north. The site is within the Tower Ranch Community Association Area.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	Agriculture 1 / ALR (RDCO)	Agriculture
East	P3 – Parks and Open Space / RU4 Cluster Housing(Hillside)	Golf Course / Residential
South	RU1 – Large Lot Housing	Residential
West	P3 – Parks and Open Space / A1 – Agriculture 1 (ALR)	Golf Course / Agriculture

Subject Property Map: 1638 Tower Ranch Blvd and 1700 Tower Ranch Blvd



## 5.0 Public Notification

Staff understands that the applicant has undertaken public notification in accordance with Council Policy #367. This included delivering a letter, including a map of the proposed OCP Amendments to neighbouring residents.

## 6.0 Current Development Policies

### 6.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Steep Slopes.**<sup>1</sup> Prohibit development on steep slopes (+30% or greater for a minimum distance of 10 metres) except where provided for in ASPs adopted or subdivisions approved prior to adoption of OCP Bylaw 10500.

**Design for People and Nature.**<sup>2</sup> Structure new neighbourhoods around parks, pedestrian and bike routes, open spaces, and environmental areas, rather than around roadways and cars.

**Develop parkland to respond to user needs.**<sup>3</sup> Design parks to meet the needs of a variety of user groups, including families, youth, and seniors.

## 7.0 Technical Comments

### 7.1 Development Engineering Department

All offsite infrastructure and services upgrades are addressed in the Subdivision Application Engineering Report under file S16-0006.

### 7.2 Community Planning

The City has considered the City of Kelowna Financial Plan and the City of Kelowna Wastewater Management Plan as part of this amendment.

## 8.0 Application Chronology

Date of Complete Application Received:	August 9, 2016
Date Public Consultation Completed:	October 5, 2017
Date of Circulation Comments Received:	February 14, 2017

### Report prepared by:

Melanie Steppuhn, Land Use Planner

**Reviewed by  
Approved for Inclusion:**

☐

Ryan Smith, Community Planning Department Manager

**Approved for Inclusion:**

☐

Doug Gilchrist, Divisional Director, Community Planning & Real Estate

### Attachments:

Map A – OCP Amendment  
Map B – Zoning Amendment  
Subdivision Plan – 1700 Tower Ranch Boulevard

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>3</sup> City of Kelowna Official Community Plan, Policy 7.16 (Infrastructure).



**Subject Properties Notes  
1700 Tower Ranch Blvd**

Amend the OCP for portions of the Subject Property from Private Recreation (REC) and Park to Single/Two Unit Residential - Hillside (S2RESH).

**Subject Property Notes  
1700 Tower Ranch Blvd**

Amend the OCP for a portion of the subject property from Private Recreation (REC) to Major Park and Open Space (PARK).

**Subject Properties Notes  
1638 Tower Ranch Blvd**

Amend the OCP for portions of the Subject Property from Single/Two Unit Residential - Hillside (S2RESH) to Private Recreation (REC).

**Subject Properties Notes  
1700 Tower Ranch Blvd**

Amend the OCP for portions of the Subject Property from Private Recreation (REC) to Single/Two Unit Residential (S2RES).

**Subject Properties Notes  
1700 Tower Ranch Blvd**

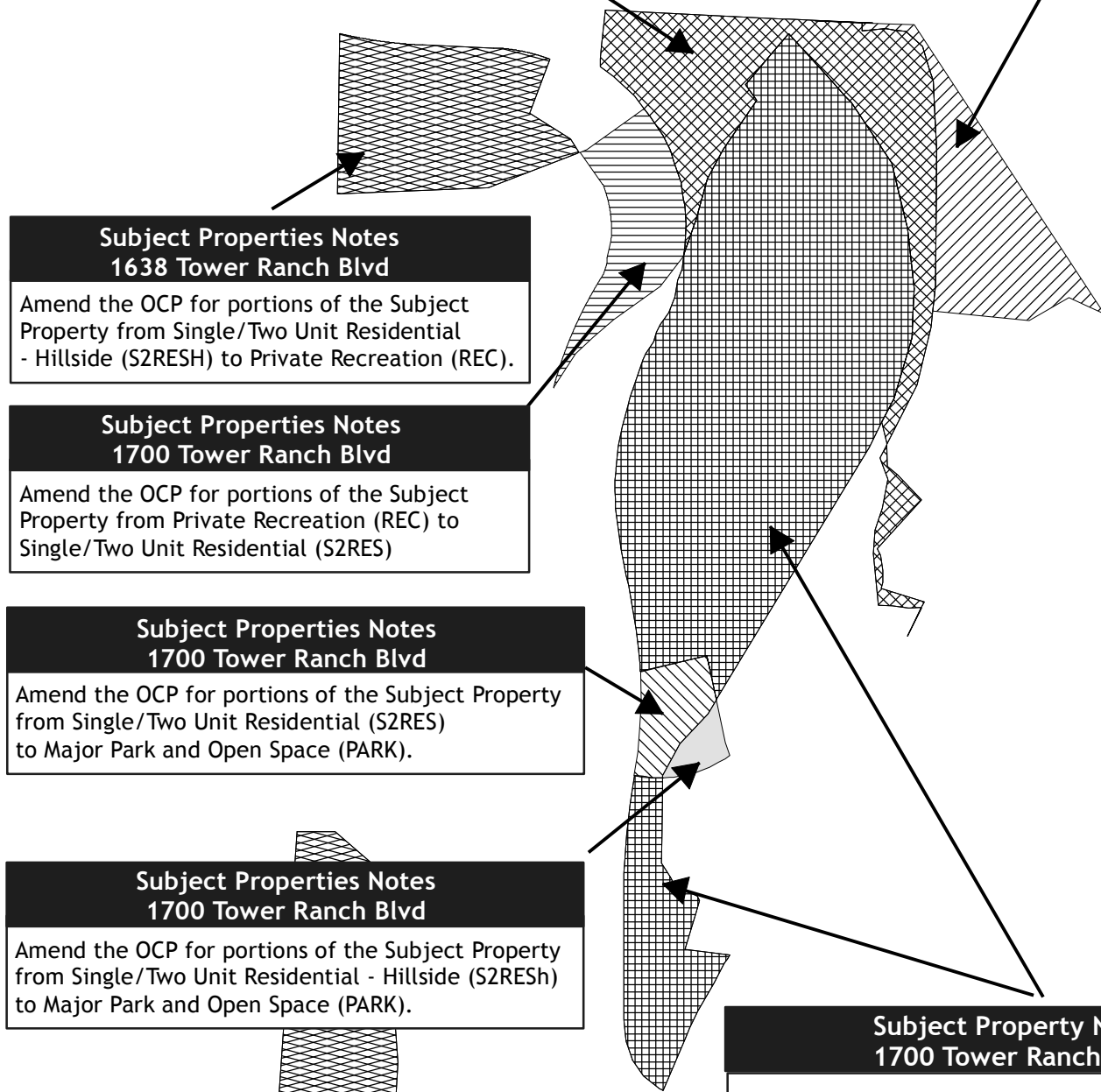
Amend the OCP for portions of the Subject Property from Single/Two Unit Residential (S2RES) to Major Park and Open Space (PARK).

**Subject Properties Notes  
1700 Tower Ranch Blvd**

Amend the OCP for portions of the Subject Property from Single/Two Unit Residential - Hillside (S2RESH) to Major Park and Open Space (PARK).

**Subject Properties Notes  
1638 Tower Ranch Blvd**

Amend the OCP for portions of the Subject Property from Single/Two Unit Residential - Hillside (S2RESH) to Private Recreation (REC).



**Subject Property Notes  
1700 Tower Ranch Blvd**

Amend the OCP for a portion of the Subject Properties from Single/Two Unit Residential (S2RES) to Single/Two Unit Residential Hillside (S2RESH).

**MAP "A" OCP AMENDMENT  
OCP16-0005**

- REC to PARK
- REC to S2RES
- REC to S2RESH
- S2RES to PARK
- S2RES to S2RESH
- S2RESH to PARK
- S2RESH to REC

This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.

0 50 100 Metres

**Subject Property Notes:**

Rezone a portion of the subject property from P3 Parks and Open Space to RU6 - Two Dwelling Housing.

**Subject Property Notes:**

Rezone a portion of the subject property from P3 Parks and Open Space to RU2H - Medium Lot Residential (Hillside).

**Subject Property Notes:**

Rezone a portion of the subject property from RU6 - Two Dwelling Housing to RU2H - Medium Lot Residential (Hillside).

**Subject Property Notes:**

Rezone a portion of the subject property from RU6 - Two Dwelling Housing to P3 - Parks and Open Space.

**Subject Property Notes:**

Rezone a portion of the subject property from RU1h - Large Lot Housing - Hillside to RU2H - Medium Lot Residential - Hillside.








**Subject Property Notes:**

Rezone a portion of the subject property from RU1H - Large Lot Housing (Hillside Area) to P3 - Parks and Open Space.

## MAP "B" PROPOSED ZONING

### File Z16-0078

1700 Tower Ranch Blvd

-  P3 to RU2h
-  P3 to RU6
-  RU1h to P3
-  RU1h to RU2h
-  RU6 to P3
-   RU6 to RU2h

This map is for general information only.  
The City of Kelowna does not guarantee its  
accuracy. All information should be verified.

0 45 90 Metres

Rev. Wednesday, May 17, 2017



FUTURE LAND USE:

MAJOR PARK

SINGLE 2 UNIT RESIDENTIAL

PRIVATE RECREATION

SINGLE 2 UNIT RESIDENTIAL HILLSIDE

BORDER

1  
R0993

LEGAL DESCRIPTION:  
PROPOSED SUBDIVISION OF LOT 2, PLAN 80933,  
O.D.Y.D

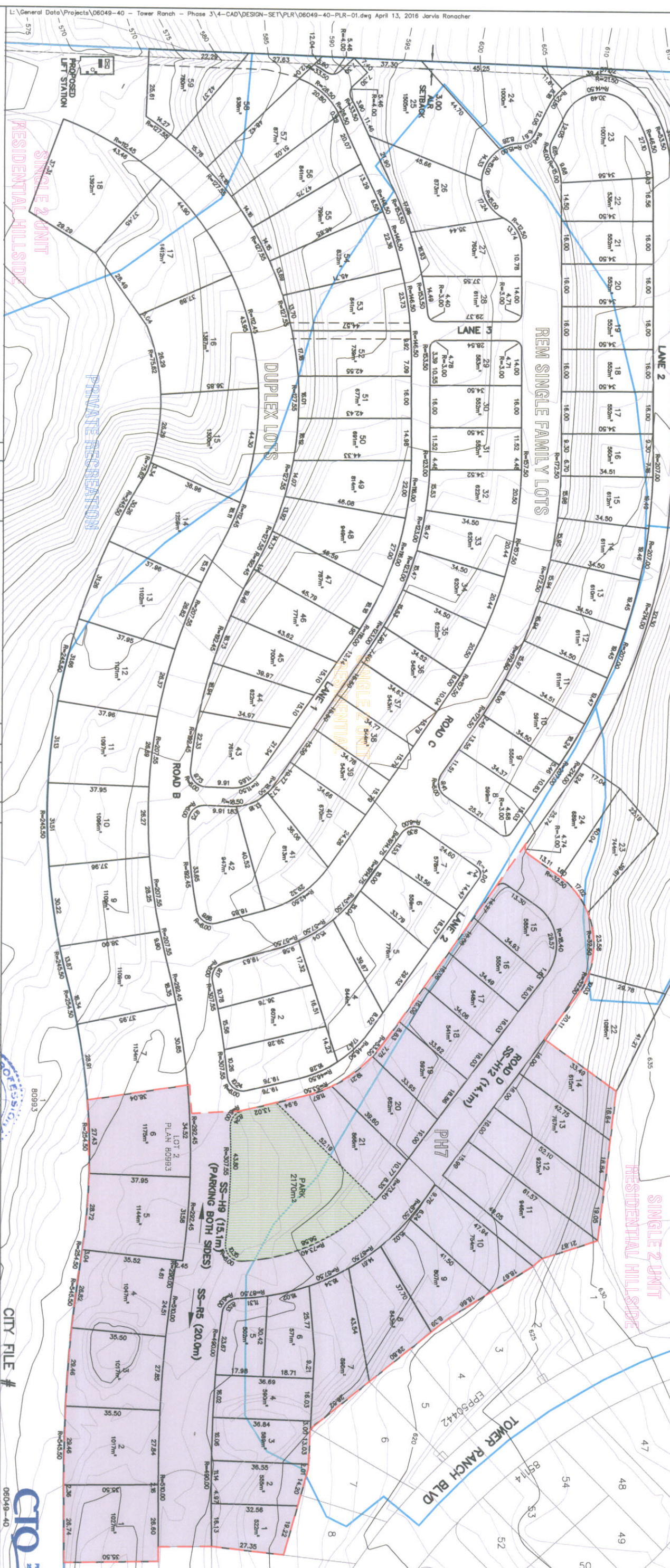
PHASE 7 AREA: 30514m<sup>2</sup> (3.05 HECTARES)

PRIVATE RECREATION

MAJOR PARK

SINGLE 2 UNIT  
RESIDENTIAL HILLSIDE

LOCATION PLAN  
SCALE 1:20000



PRELIMINARY LAYOUT REVIEW

L:\General Data\Projects\06049-40 - Tower Ranch - Phase 3\4-CAD\DESIGN-SET\PLR\06049-40-PLR-01.dwg April 13, 2016 Jarvis Ronacher									
No.	1	16.01.14	DC	PRELIMINARY LAYOUT REVIEW	ST	1	16.03.30	LT	ADJUSTED TO FUTURE LAND USE LINES
By	YYMDD				Child	No.	YYMDD		
Revision									
D:\CUTLER									
1:1500									
JANUARY 2016									
DC									
THE CITY OF KELOWNA									
ENGINEERING DEPARTMENT									
TOWER RANCH DEVELOPMENT									
DILWORTH BLOCK PHASE 7									
PRELIMINARY LAYOUT REVIEW									
CITY FILE # 06049-40									
PHONE 250-779-1221									
Division MUNICIPAL									
Drawing No. PLR-01									
Rev No. 2									



# CITY OF KELOWNA

## BYLAW NO. 11418

### Official Community Plan Amendment No. OCP16-0005 – - 1638 & 1700 Tower Ranch Blvd

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A bylaw to amend the "Kelowna 2030 – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "Kelowna 2030 – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of portions of Lot 2, Section 31, Township 27, ODYD, Plan KAP80993 Except Plans KAP25114, KAP90346, EPP50442 and EPP64271, located at 1700 Tower Ranch Boulevard, from the REC – Private Recreation, S2RES – Single/Two Unit Residential, S2RESH – Single/Two Unit Residential Hillside and PARK – Parks and Open Space designations to the PARK – Parks and Open Space, S2RES – Single/Two Unit Residential and S2RESH – Single/Two Unit Residential (Hillside) as shown on Map "A" attached to and forming part of this bylaw;
2. AND THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "Kelowna 2030 – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of portions of portions of Lot 1 Section 31 TWP 27 ODYD Plan KAP80993, located at 1638 Tower Ranch Blvd, Kelowna, BC from S2RESH – Single/Two Unit Residential (Hillside) designation to the REC – Private Recreation designation as shown on Map "A" attached to and forming part of this bylaw;
3. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

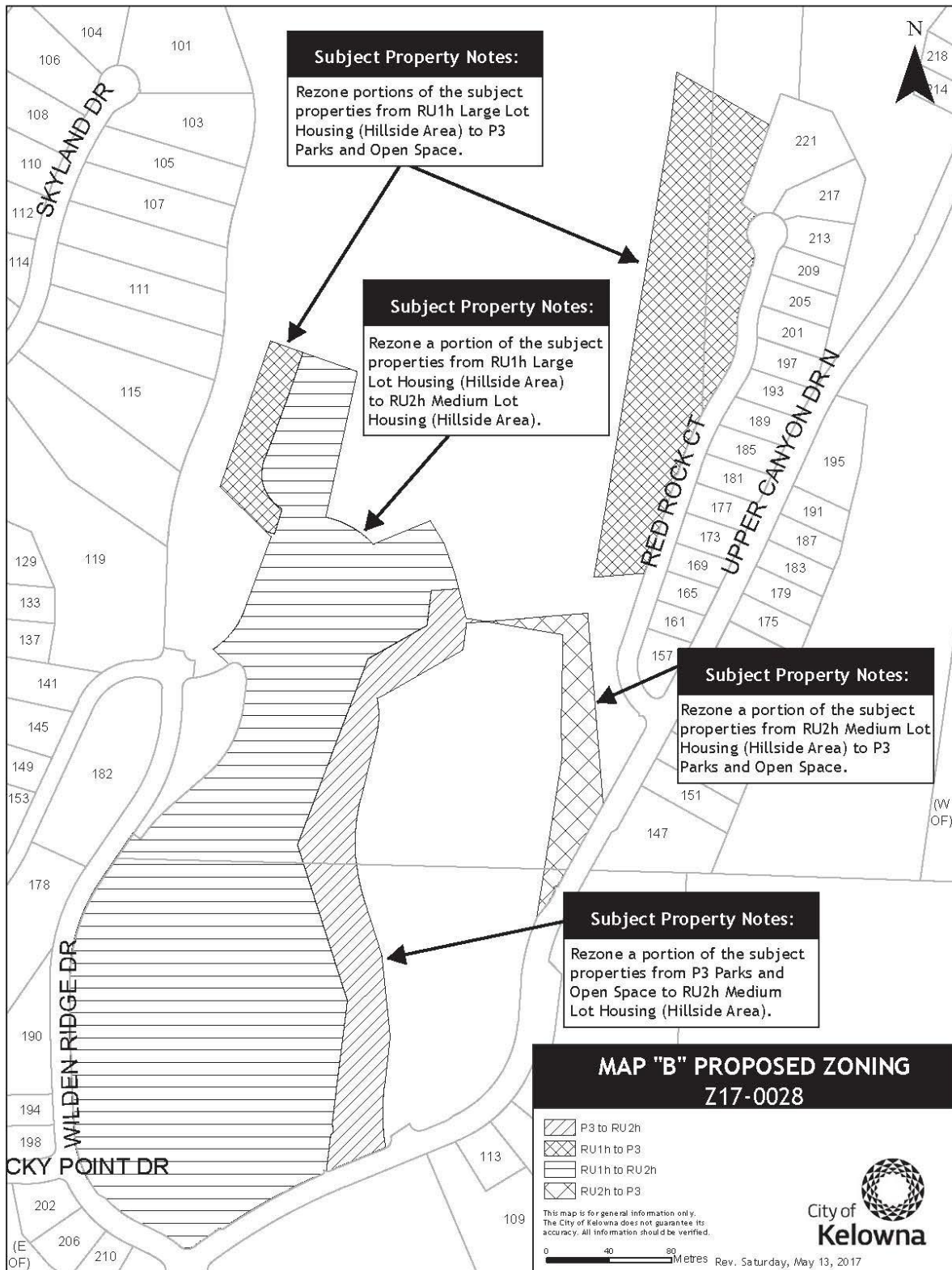
Adopted by the Municipal Council of the City of Kelowna this

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Mayor

---

City Clerk



**CITY OF KELOWNA**  
**BYLAW NO. 11419**  
**Z16-0078 – 1638 & 1700 Tower Ranch Blvd**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of Lot 2 Section 31 TWP 27 ODYD Plan KAP80993 Except Plans KAP85114, KAP90346, EPP50442 and EPP64271, located at 1700 Tower Ranch Boulevard, Kelowna, BC, from the P<sub>3</sub> – Parks and Open Space, RU<sub>1h</sub> – Large Lot Housing (Hillside Area), RU<sub>6</sub> – Two Dwelling Housing zones to the P<sub>3</sub> – Parks and Open Space, RU<sub>2h</sub> - Medium Lot Housing (Hillside Area) and RU<sub>6</sub> – Two Dwelling Housing zones as per Map "B" attached to and forming part of this bylaw.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

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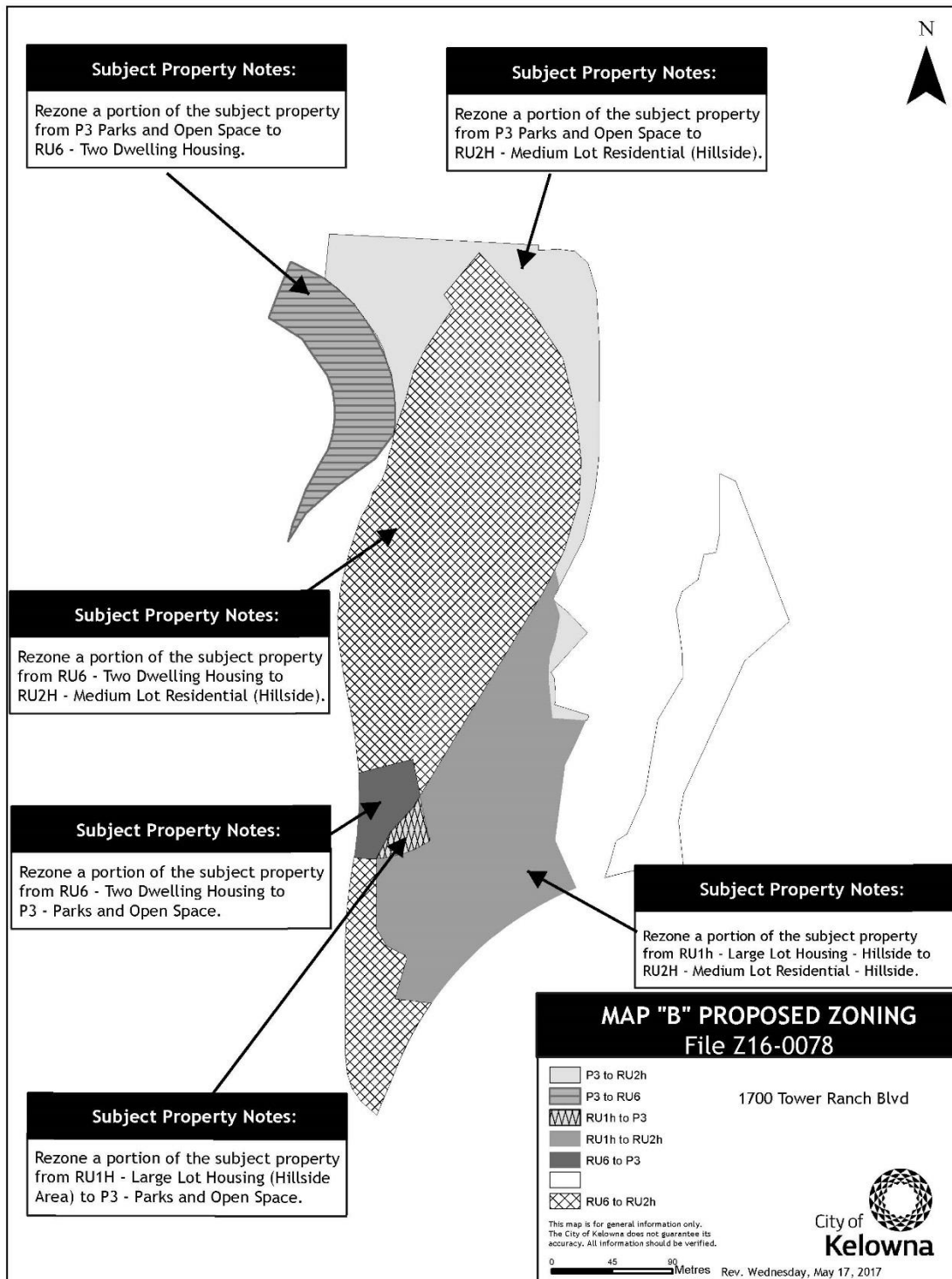
Mayor

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City Clerk







**CITY OF KELOWNA**  
**BYLAW NO. 11303**  
**Z16-0037 - Shaun & Lori Ausenhus**  
**671-681 Glenwood Avenue**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 2, District Lot 14, ODYD, Plan 6704 located on Glenwood Avenue, Kelowna, B.C., from the RU6 - Two Dwelling Housing zone to the RM3 - Low Density Multiple Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 31<sup>st</sup> day of October, 2016.

Considered at a Public Hearing on the 15<sup>th</sup> day of November, 2016.

Read a second and third time by the Municipal Council this 15<sup>th</sup> day of November, 2016.

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# REPORT TO COUNCIL



**Date:** May 29, 2017

**RIM No.** 0940-00

**To:** City Manager

**From:** Community Planning Department (LK)

**Application:** DP16-0157

**Owner:** Shaun & Lori Aussenhaus

**Address:** 671 Glenwood Avenue

**Applicant:** Shaun Aussenhaus

**Subject:** Development Permit Application

Existing OCP Designation: MRL – Multiple Unit Residential (Low Density)

Existing Zone: RU6 – Two Dwelling housing

Proposed Zone: RM3 – Low Density Multiple Housing

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## 1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 11303 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP16-0157 for Lot 2 District Lot 14 ODYD Plan 6704, located at 671 Glenwood Avenue, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## 2.0 Purpose

To consider the form and character to facilitate the development of multiple dwelling housing on the subject property.

## 3.0 Community Planning

Community Planning staff supports the proposed 8-unit multiple dwelling housing project on the subject parcel. The application meets the Official Community Plan (OCP) Urban Design Guidelines and the design is appropriate for the context of the site. The proposal also meets many of the OCP's Urban Infill objectives and it meets all of the Zoning Bylaw Regulations for RM3 – Low Density Multiple housing.

The property is within the Permanent Growth Boundary and is located in the South Pandosy neighbourhood. The parcel is located at the southwest corner of the Richter Street and Glenwood Avenue intersection. Kelowna General Hospital and the South Pandosy shopping area are within walking distance. The increase in density at this location is supported by local amenities such as parks, schools, transit and recreational opportunities in the immediate area.

Council Policy No. 367 with respect to public consultation was undertaken by the applicant and all neighbours within a 50m radius of the subject parcel.

## 4.0 Proposal

### 4.1 Project Description

The proposed development will see the construction of 8 purpose built rental units within the South Pandosy neighbourhood. The proposal consists of two buildings with four stacked townhouse units in each building. The main floor units are ground oriented with prominent front entries facing onto Richter Street and Glenwood Avenue. The second storey units are accessed via a central staircase in each building which is oriented to the interior of the site.

All units provide amenity space in the form of large balconies or at-grade patios. The site provides 12 covered parking stalls to meet the Zoning Bylaw requirements with vehicular site access from the rear lane. Bike racks/storage lockers are located centrally on the site to promote alternate forms of transportation.



Three of the existing mature trees need to be removed to facilitate the development. The applicant will be adding five additional trees which will be planted along both road frontages in addition to numerous shrubs and grasses. The boulevard parking, landscaping and defined walkways create a user friendly streetscape while providing screening for the street facing windows. The adjacent residential property to the west is separated by the drive aisle and will have a 1.8 m height fence as an opaque barrier between the proposed development and the adjacent parcel. Existing mature trees on both parcels provide additional screening and privacy.

The building design has a modern feel through the use of angled flat roofs, projections and sunshades. The exterior includes a mix of granite grey lap siding and silverplate grey board & batten siding. The red hue of the santa rose brick and galvanized corrugated metal siding will provide visual interest to the overall design while providing longevity and ease of maintenance. Fir timber is used for the balcony support columns and roof detailing. The colours and materials are found in the regions natural landscape. The larger windows have sunshades to provide comfort and shade from the Okanagan sun.

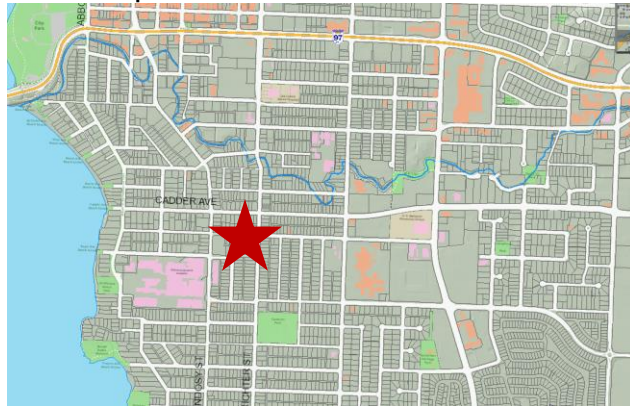


#### 4.2 Site Context

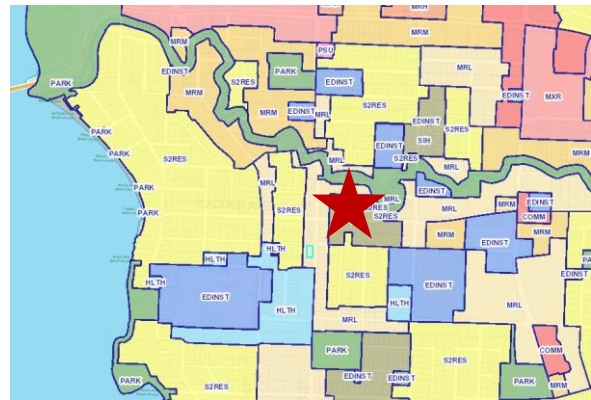
Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 - Two Dwelling Housing	Single Dwelling House
East	RU6 - Two Dwelling Housing	Single Dwelling House
South	RU6 - Two Dwelling Housing	Single Dwelling House
West	RU6 - Two Dwelling Housing	Single Dwelling House

**Context Map**

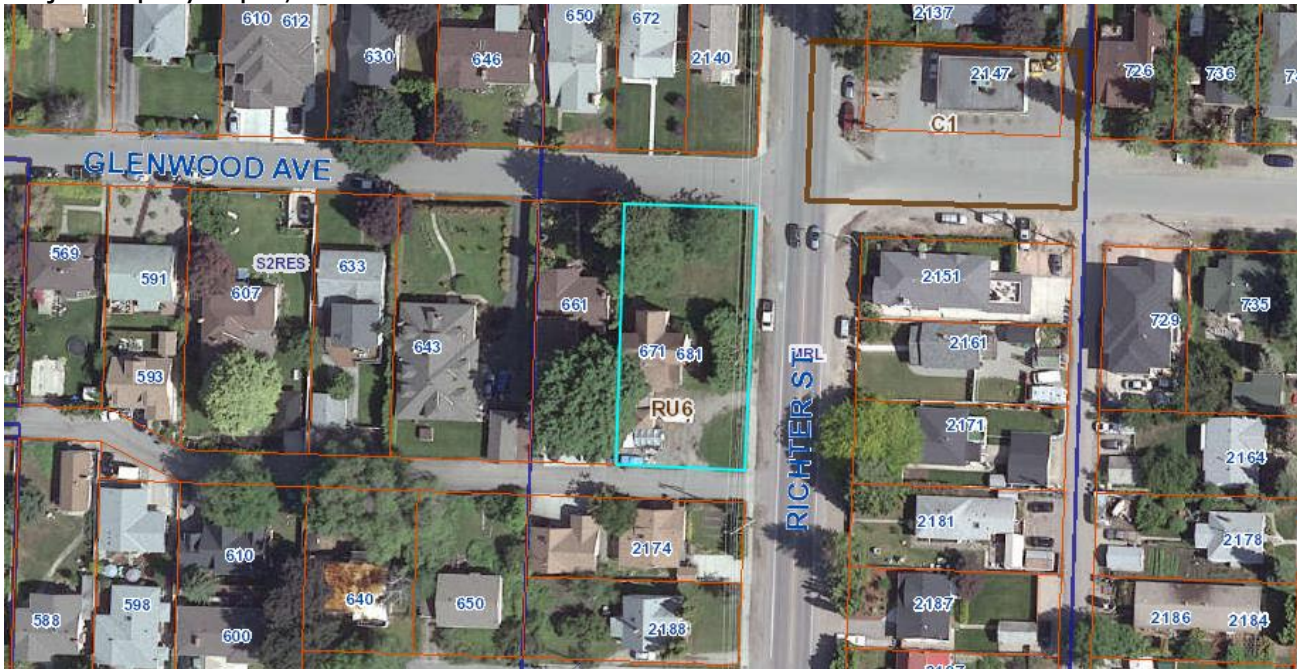


**Future Land Use**





## Subject Property Map: 671 Glenwood Avenue



## 4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM <sub>3</sub> ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	900 m <sup>2</sup>	1193 m <sup>2</sup>
Lot Width	30 m	24.32 m
Lot Depth	30 m	48.92 m
Development Regulations		
Floor Area Ratio	0.80	0.42
Height	10 m or 3 storeys	7.03 m & 2 storeys
Front Yard	1.5 m for Ground Oriented	4.36 m
Side Yard (east – Richter Street)	1.5 m for Ground Oriented	1.63 m
Side Yard (west)	4.0 m	6.0 m
Rear Yard	3.0m	3.57 m
Other Regulations		
Minimum Parking Requirements	12 stalls	12 stalls
Bicycle Parking	Class I - 4 stalls Class II – 1 stall	8 stalls 4 stalls
Private Open Space	25 m <sup>2</sup> / dwelling	Meets requirement

## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### **Development Process**

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Ground Oriented Housing.**<sup>2</sup> Encourage all multiple-unit residential buildings in neighbourhoods with schools and parks to contain ground-oriented units with 2 or more bedrooms so as to provide a family housing choice within the multi-unit rental or ownership markets.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s).
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications

### 6.2 Development Engineering Department

- Refer to Attachment A.

### 6.3 Fire Department

- Emergency access to the buildings is from Glenwood Ave - and all units shall be addressed off of Glenwood for emergency response.
- Requirements of section 9.10.19 Smoke Alarms and Carbon Monoxide alarms of the BCBC 2012 are to be met.
- Dumpster/refuse container must be 3 meters from structures and overhangs

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.23.1 (Development Process Chapter).

## **7.0 Application Chronology**

Date of Application Received:	June 17, 2016
Date Public Consultation Completed:	September 26, 2016
Date of Amended Plans Received:	October 7, 2016
Date of Rezoning Public Hearing, 2 <sup>nd</sup> & 3 <sup>rd</sup> Readings:	November 15, 2016

**Report prepared by:** Lydia Korolchuk, Planner

**Reviewed by:** Terry Barton, Urban Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

### **Attachments:**

Draft Development Permit: DP16-0157  
Attachment A: Development Engineering Memorandum  
Schedule A: Site Plan  
Schedule B: Conceptual Elevations & Finish Schedule  
Schedule C: Landscape Plan

# DEVELOPMENT PERMIT



## APPROVED ISSUANCE OF DEVELOPMENT PERMIT NO. DP16-0157

**Issued To:** Shaun & Lori Ausenhaus  
**Site Address:** 671 Glenwood Avenue  
**Legal Description:** Lot 2 District Lot 14 ODYD Plan 6704  
**Zoning Classification:** RM3 – Low Density Multiple Housing  
**Development Permit Area:** Comprehensive Development Permit Area

### SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 1. TERMS AND CONDITIONS

THAT Development Permit No. DP16-0157 for Lot 2 District Lot 14 ODYD Plan 6704, located at 671 Glenwood Avenue, Kelowna, BC to allow the construction of a multi-dwelling housing be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council's consideration of this Development Permit be considered subsequent to the outstanding conditions of approval as set out in Attachment "A" attached to the Report from the Community Planning Department dated July 19, 2016;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## **2. PERFORMANCE SECURITY**

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$ 27,825.00 OR
- b) An Irrevocable Letter of Credit in the amount of \$ 27,825.00.

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## **3. DEVELOPMENT**

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

**This Permit IS NOT a Building Permit.**

## **4. Indemnification**

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.



**5. APPROVALS**

Issued and approved by Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_  
Ryan Smith, Community Planning Department Manager  
Community Planning & Real Estate

\_\_\_\_\_  
Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or his or her designates**

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## CITY OF KELOWNA

# MEMORANDUM

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**Date:** July 19, 2016  
**File No.:** Z16-0037

**To:** Community Planning (LK)

**From:** Development Engineering Manager (PI)

**Subject:** 671-681 Glenwood Ave

RU6 to RM3

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The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Ryan O'Sullivan

### 1. Domestic Water and Fire Protection

- a) This property is currently serviced with a 19mm-diameter water service. The applicant's consulting mechanical engineer will determine the requirements of the proposed development and establish the service needs. The applicant will arrange for the removal and disconnection of the existing service and the installation of one new larger service at the applicants cost.

The estimated cost of this construction, for bonding purposes, is \$12,000.

- b) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures. The City of Kelowna water meter contractor must salvage existing water meters, prior to building demolition. If water meters are not salvaged, the developer will be invoiced for the meters.

### 2. Sanitary Sewer

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. The applicant's consulting mechanical engineer will determine the requirements of the proposed development and establish the service needs. Only one service per lot will be permitted for this development. If required, the applicant will arrange for the removal and disconnection of the existing service and the installation of one new larger service at the applicants cost.

The estimated cost of this construction, for bonding purposes, is \$10,000.

### 3. Road Improvements

- (a) Richter Street must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk, drainage system including catch basins, manholes and pavement removal and replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.

- (b) Glenwood Avenue must be upgraded to an urban standard along the full frontage of this proposed development, sidewalk is need to complete this frontage.

#### 4. **Subdivision**

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) *Dedicate 2.5m width along the full frontage of Glenwood Avenue.*
- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.
- (d) Provide 6m corner rounding at intersection of Glenwood Avenue and Richter Street.

#### 5. **Development Permit and Site Related Issues**

- a) Direct the roof drains into on-site rock pits or splash pads.
- b) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.
- c) The access to this site must be from the lane. Access to Richter St. and Glenwood Ave. is not permitted as per bylaw.

#### 6. **Electric Power and Telecommunication Services**

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

#### 7. **Bonding and Levy Summary**

##### (a) **Bonding**

Storm service upgrades	\$20,843.00
Sanitary service upgrades	\$10,000.00
Watermain and service upgrade	\$12,000.00
Road Frontage Improvements	\$31,984.38

Total Bonding	<b><u>\$74,827.38</u></b>
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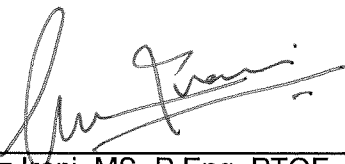
#### 8. **Administration Charge**

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as (3.5% of Total Off-Site Construction Cost plus GST). in the amount of **\$2,749.90** (\$2,618.95 + 130.95GST)

## 9. Geotechnical Report

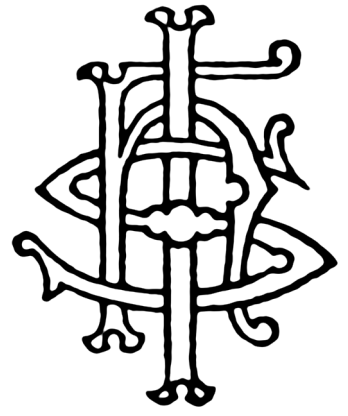
As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.



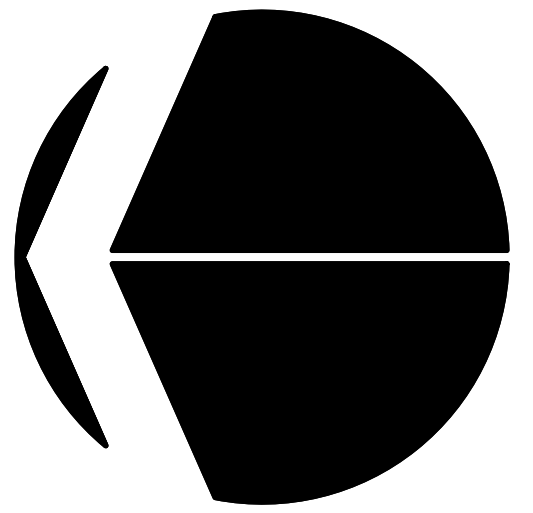
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Purvez Irani, MS, P.Eng, PTOE  
Development Engineering Manager  
RO



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PROJECT NORTH

REVISION	DATE	DISCRPTION

PROJECT

## MULTIFAMILY DEVELOPMENT

671 GLENWOOD AVENUE

KELOWNA, BC V1Y 5M2

LOT 2 PLAN KAP6704

DRAWING TITLE

## ELEVATIONS

DATE \_\_\_\_\_

JANUARY 18, 2016

DRAWING NUMBER

1  
— of —  
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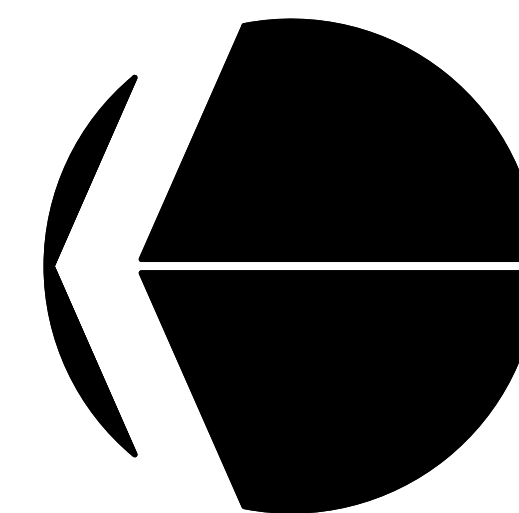


1 EAST ELEVATION  
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2 WEST ELEVATION  
Scale: 1/4" = 1'-0"





PROJECT NORTH

REVISION	DATE	DISCRPTION

PROJECT

## MULTIFAMILY DEVELOPMENT

671 GLENWOOD AVENUE

KELOWNA, BC V1Y 5M2

LOT 2 PLAN KAP6704

DRAWING TITLE

## ELEVATIONS

DATE

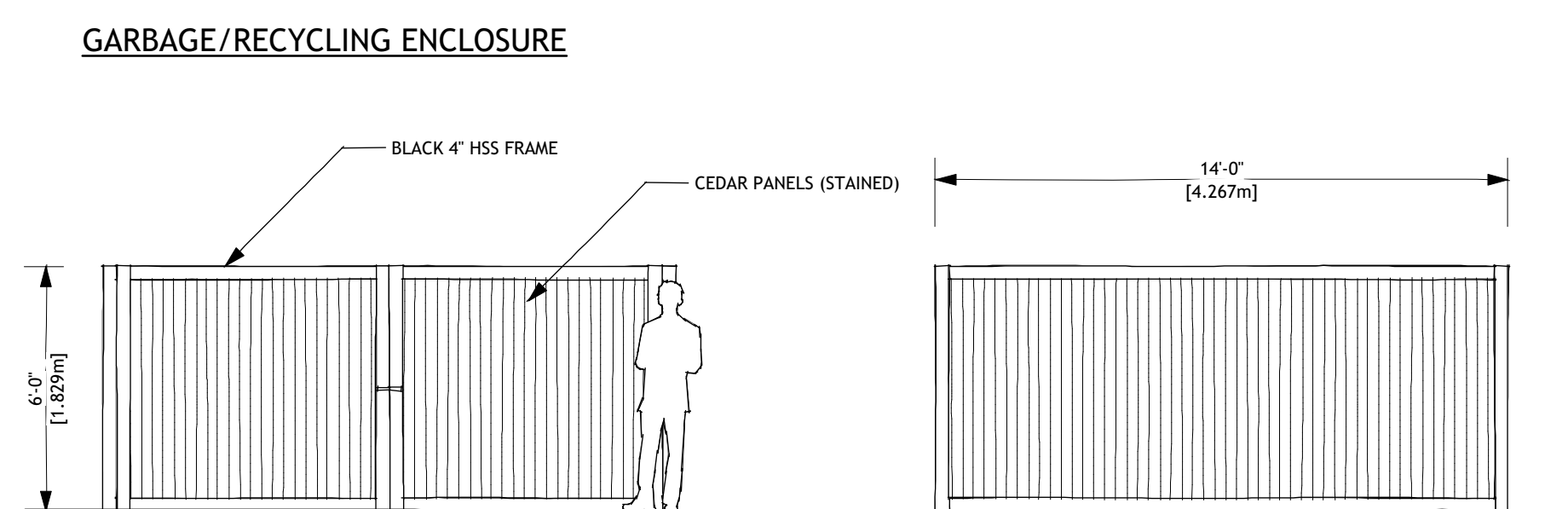
JANUARY 18, 2016

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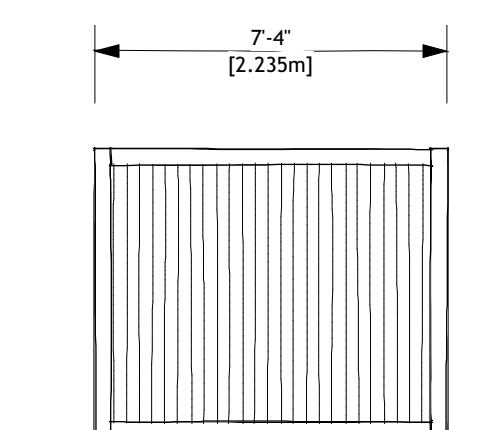


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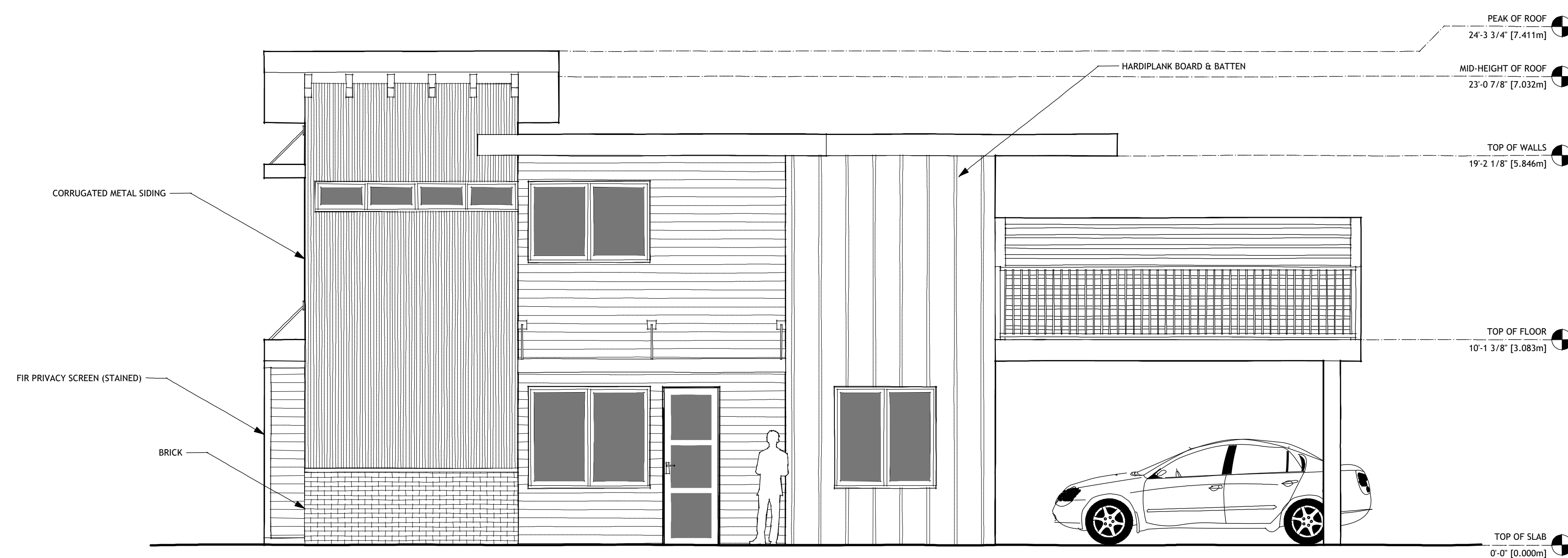


3 WEST ELEVATION  
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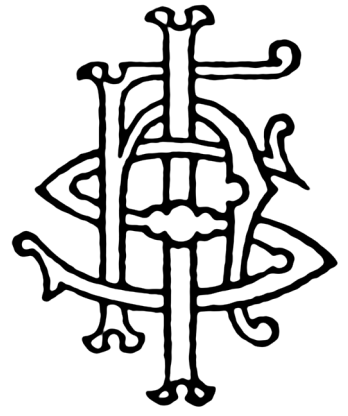
4 EAST ELEVATION  
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5 NORTH/SOUTH ELEVATION  
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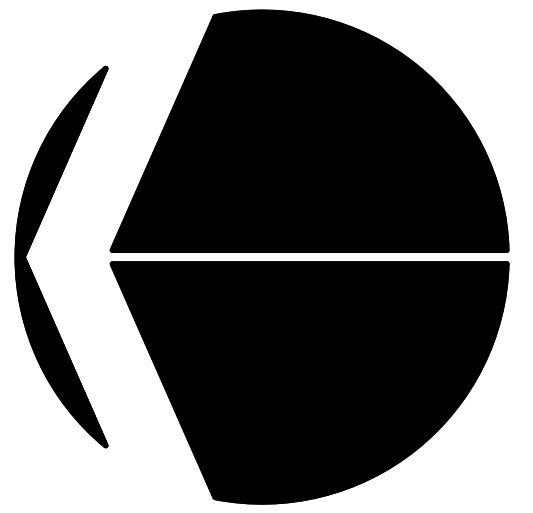


2 NORTH ELEVATION  
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PROJECT NORTH

REVISION	DATE	DISCRPTION

PROJECT

MULTIFAMILY DEVELOPMENT  
671 GLENWOOD AVENUE  
KELOWNA, BC V1Y 5M2  
LOT 2 PLAN KAP6704

DRAWING TITLE

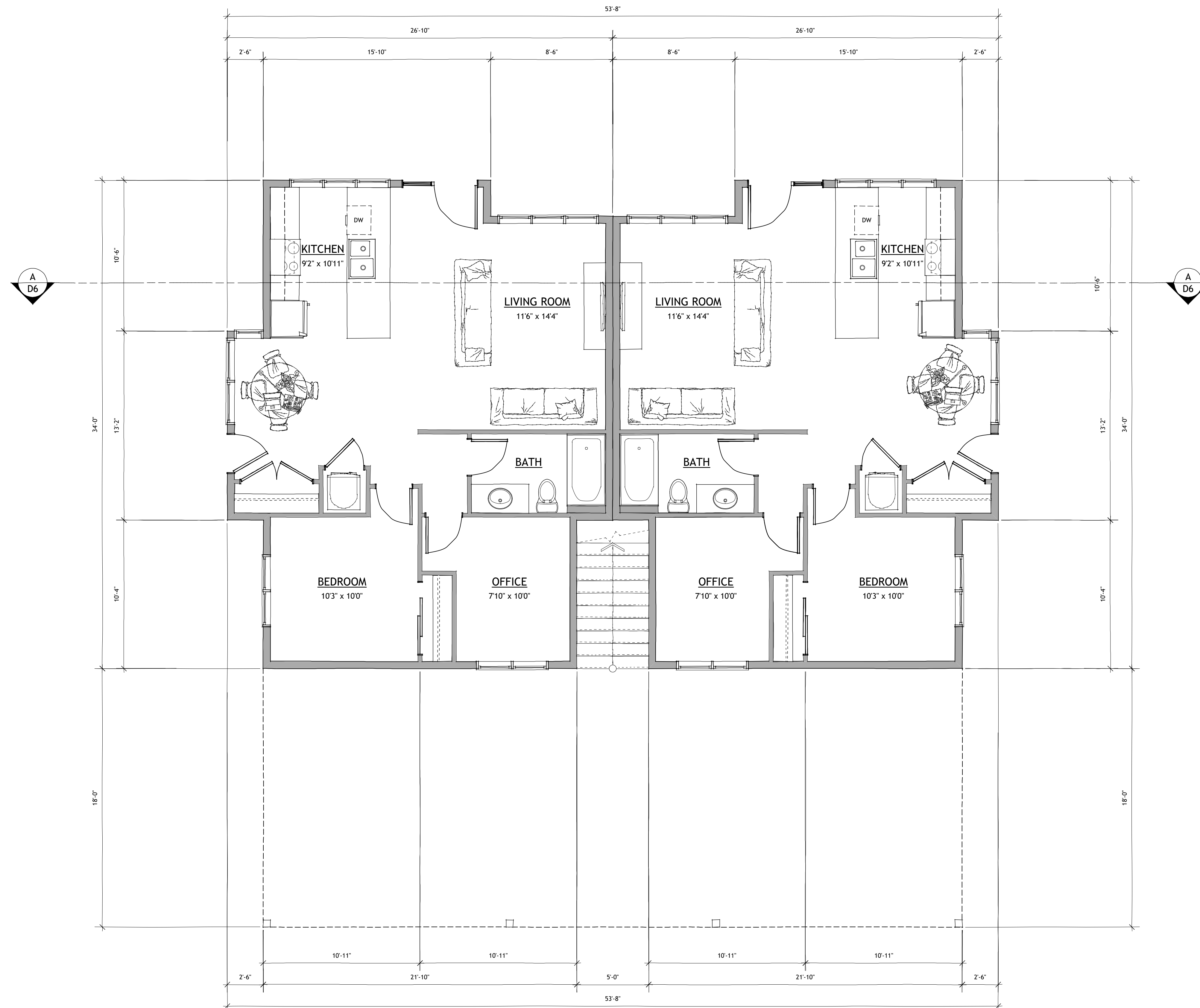
## MAIN FLOOR PLAN

DATE \_\_\_\_\_

JANUARY 18, 2016

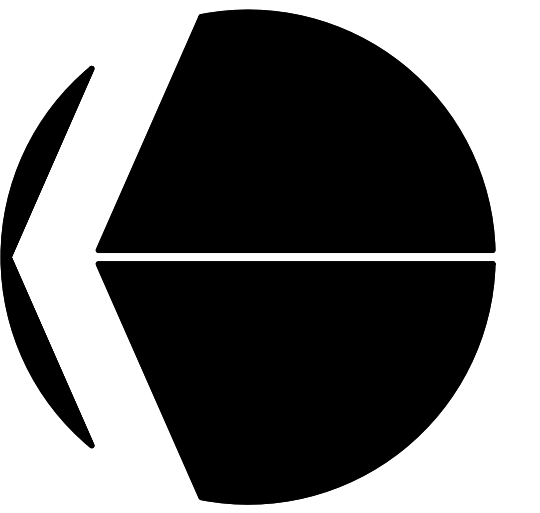
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1 MAIN FLOOR PLAN  
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PROJECT NORTH

PROJECT

MULTIFAMILY DEVELOPMENT

671 GLENWOOD AVENUE

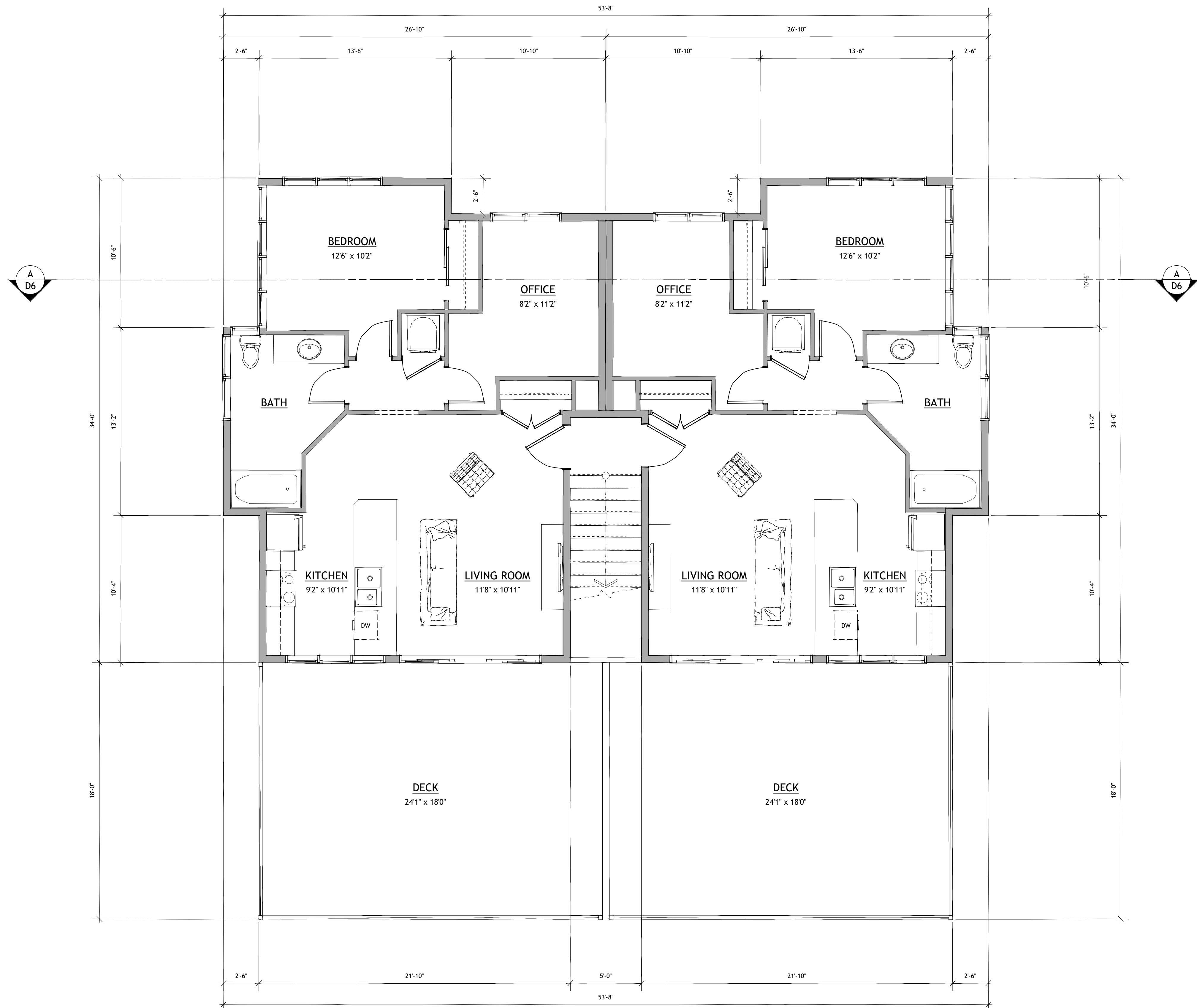
KELOWNA, BC V1Y 5M2

LOT 2 PLAN KAP6704

DATE JANUARY 18, 2016

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7



1 SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"





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PROJECT

MULTIFAMILY DEVELOPMENT

671 GLENWOOD AVENUE

KELOWNA, BC V1Y 5M2

LOT 2 PLAN KAP6704

DRAWING TITLE

## SITE PLAN

DATE \_\_\_\_\_

JANUARY 18, 2016

DRAWING NUMBER

7



### PARKING CALCULATIONS

REQUIRED PARKING	8 UNITS X 1.5 (1 BED + DEN)	12 STALLS
VISITOR PARKING	1 PER 7 UNITS	2 STALLS
<b>TOTAL PARKING</b>		<b>12 STALLS</b>

FULL SIZE STALLS	MIN. 50%	8 STALLS
MEDIUM SIZE STALLS	MAX. 50%	4 STALLS
BOULEVARD PARKING	NONE REQUIRED	4 STALLS
CLASS I BICYCLE PARKING	8 UNITS X 0.5	4 STALLS
CLASS II BICYCLE PARKING	8 UNITS X 0.1	1 STALL

PROJECT DATA: CIVIC ADDRESS

LEGAL ADDRESS	KELOWNA, BC V1Y 5M2
CURRENT ZONING	LOT 2 PLAN KAP6704
PROPOSED ZONING	RU-6 TWO DWELLING HOUSING
FUTURE LAND USE	RM3 - LOW DENSITY MULTIPLE HOUSING
	MRL MULTIPLE UNIT RESIDENTIAL (LOW DENSITY)


## ZONING ANALYSIS

	RM3 ZONE STANDARDS	PROPOSED
SITE AREA	900.00m2	1193.25m2
PROPOSED BUILDING FOOTPRINT AT GRADE (PER BLDG)		155.89m2
PROPOSED DECK AREA (PER BLDG)		81.38m2
PROPOSED PERMEABLE FRONT WALKWAYS (2X2 PAVERS)		9.92m2
PROPOSED PERMEABLE DRIVEWAY AREA (2X2 PAVERS)		290.21m2
PROPOSED CRUSH WALKWAYS		49.70m2
LOWER UNIT FINISHED FLOOR AREA		75.55m2
UPPER UNIT FINISHED FLOOR AREA		73.41m2
FLOOR AREA RATIO (WITH PARKING BONUS)	0.80	0.42
SITE COVERAGE (WITH SITE COVERAGE BONUS)	50.0%	39.8%
SITE COVERAGE INCLUDING HARD SURFACES	65.0%	64.9%

PROPOSED BUILDING HEIGHT	10m/3 STOREYS	7.032m/2 STOREYS
PARKING STALLS PROVIDED	12	12
BICYCLE STALLS PROVIDED	5	12
PRIVATE OPEN SPACE (LOWER UNITS)	15.00m <sup>2</sup>	22.00m <sup>2</sup>
PRIVATE OPEN SPACE (UPPER UNITS)	15.00m <sup>2</sup>	40.69m <sup>2</sup>

DISTANCE BETWEEN BUILDINGS	3.000m	5.790m
FRONT (NORTH) YARD SETBACK	1.500m	4.365m
REAR (SOUTH) YARD SETBACK	3.000m	3.565m
SIDE/FLANKING (EAST) YARD SETBACK	1.500m	1.628m
SIDE (WEST) YARD SETBACK	4.000m	6.905m

1 IN 200 YEAR FLOOD CONSTRUCTION LEVEL	343.660m	345.500m
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REVISION	DATE	DISCRPTION

PROJECT

MULTIFAMILY DEVELOPMENT

671 GLENWOOD AVENUE

KELOWNA, BC V1Y 5M2

LOT 2 PLAN KAP6704

DRAWING TITLE

SECTION

DATE JANUARY 18, 2016

DRAWING NUMBER

6  
of  
7



1. THE DESIGNER MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE MEASUREMENTS AND DETAILS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS AND/OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS IT IS INCUMBENT ON YOU TO ADVISE OUR OFFICE AS SOON AS POSSIBLE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM REOCCURRING.
2. ALL FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOILS AND BELOW THE FROST LINE. FOUNDATION WALL HEIGHTS AND THICKNESSES AS WELL AS FOOTING SIZES MAY NEED TO BE ADJUSTED AND/OR REINFORCED DUE TO SITE CONDITIONS. ANY ENGINEERING SERVICES REQUIRED ARE THE RESPONSIBILITY OF THE OWNER OR BUILDER.
3. APPROVED SMOKE ALARMS TO BE INSTALLED AND INTERCONNECTED.
4. BUILDER TO CHECK SNOW LOAD REQUIREMENTS FOR THEIR LOCAL AREA AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO CONSTRUCTION.
5. CARBON MONOXIDE ALARMS SHALL CONFORM TO CSA 6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES".
6. DAMPROOFING OF 6 MIL POLYETHYLENE, WITH SEAMS LAPPED, OVER 4" OF GRANULAR FILL SHALL BE LAID UNDER CONCRETE SLABS. A FLEXIBLE SEALANT SHALL BE PLACED WHERE THE SLAB AND FOUNDATION WALL MEET.
7. DIMENSIONS TAKE PRECEDENCE TO SCALE.
8. DRAINAGE AROUND FOUNDATION TO CONSISTING OF A 4" DIAMETER PIPED COVERED WITH A MINIMUM OF 6" CRUSHED STONE SHALL BE PLACED AROUND THE PERIMETER OF THE BUILDING.
9. ENSURE THAT WINDOWS IN FUTURE BEDROOMS HAVE A MINIMUM AREA OF .35m<sup>2</sup> (3.75 FT<sup>2</sup>) WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 380mm (15"). THE WINDOW OPENING SHALL BE A MAXIMUM OF 1.5m (5') ABOVE THE FLOOR.
10. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING.
11. EXTERIOR WALLS ARE DRAWN AT 6"
12. LIGHTING AND ELECTRICAL LAYOUTS TO BE SPECIFIED BY THE OWNER OR BUILDER MUST MEET WITH 2012 CBC REQUIREMENTS.
13. PLANS ARE BASED ON THE USE OF #2 OR BETTER SPF, UNLESS OTHERWISE STATED. LAMINATED BEAMS WILL REQUIRE AN ENGINEER'S CERTIFICATION. THIS IS THE RESPONSIBILITY OF THE OWNER OR BUILDER.
14. REFER TO ENGINEERED FLOOR JOIST AND ROOF TRUSS LAYOUT TO CONFIRM BEAM, POST AND PAD FOOTING LOCATION AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL BEAMS.
15. ROOF SPACES SHALL BE VENTED WITH ROOF, EAVE AND/OR GABLE END TYPE VENTS TO A MIN OF 1:300 OF THE INSULATED AREA.
16. SITING OF THE HOME IS THE RESPONSIBILITY OF THE BUILDER IN CONJUNCTION WITH THE HOMEOWNER.
17. THE DRAWINGS HAVE BEEN PREPARED TO CONFORM TO THE 2012 EDITION OF THE BRITISH COLUMBIA BUILDING CODE. THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO THE CBC AND LOCAL ORDINANCES AND BYLAWS. ALL INSTALLATION OF MATERIALS SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICES AND MANUFACTURERS INSTRUCTIONS. LOCAL BUILDING DEPARTMENTS MAY REQUIRE CERTIFICATION FROM A STRUCTURAL ENGINEER FOR PART OR ALL OF THE STRUCTURE. ANY ENGINEERING FEES ARE THE RESPONSIBILITY OF THE OWNER OR BUILDER.
18. THE INSTALLATION OF ALL PLUMBING, HVAC AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE 2012 CBC.
19. THE SITING OF THE HOME MUST BE IN COMPLIANCE WITH CITY OF KELLOWNA BYLAWS. BEFORE COMMENCEMENT OF CONSTRUCTION, ENSURE THAT THE SITE PLAN HAS BEEN APPROVED BY A CITY OF KELLOWNA BUILDING OFFICIAL.
20. VANITY SIZES ARE FOR REFERENCE ONLY. REFER TO APPROVED KITCHEN LAYOUT FOR CABINET SIZES.
21. CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIOR STORAGE OF MATERIALS OR USE OF EQUIPMENT, SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADINGS.
22. CONFIRM ALL DIMENSIONS ON-SITE PRIOR TO BEGINNING CONSTRUCTION
23. EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHERSTRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
24. GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS AND HOUSE SITING MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
25. MIN. 25% OF UNOBSTRUCTED ROOF VENT AREA SHALL BE AT BOTH THE SOFFIT AND TOP OF ATTIC. ROOF VENTING SHALL BE IN ACCORDANCE WITH CBC 9.19.1.2.
26. PROVIDE Baffle FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
27. THE FACE OF SHEATHED EXTERIOR WALLS SHALL BE FLOUSH WITH FOUNDATION WALLS.
28. WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH SILL GASKET OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE FOUNDATION WITH 1/2" DIA. #30 ANCHOR BOLTS AT 4'-0" O.C.

- LAMINATE SHINGLES
- BITUMEN SATURATED ROOFING PAPER
- 7/16" SHEATHING W/ H-CLIPS
- ENGINEERED ROOF TRUSSES @ 24" O.C.
- LOOSE FILL INSULATION
- 6 MIL POLY VAPOUR & AIR BARRIER
- 1/2" CEILING BOARD (TEXTURED)

- HARDIPLANK LAP SIDING/BOARD & BATTEN
- BUILDING PAPER
- 3/8" SHEATHING
- 2X6 STUD WALL - STUDS @ 16" O.C.
- BATT TYPE INSULATION
- 6 MIL POLY VAPOUR & AIR BARRIER
- 1/2" DRYWALL (PAINTED)

- 1/2" DRYWALL (PAINTED)
- 2X4 STUD WALL - STUDS @ 16" O.C.
- 1/2" DRYWALL (PAINTED)

- 1/2" DRYWALL (PAINTED)
- 2X4 STUD WALL - STUDS @ 16" O.C.
- 1/2" DRYWALL (PAINTED)

- INTERIOR FLOOR COVERINGS
- 3/4" T & G PLYWOOD SUBFLOOR
- 11 7/8" TJI SILENT FLOOR (SEE APPROVED LAYOUT FOR JOIST SPACING AND PLACEMENT)
- 1/2" DRYWALL (TEXTURED) IN FINISHED AREAS ONLY
- REFER TO APPROVED FLOOR LAYOUT DIAGRAM

- 8" CONCRETE FROST WALL
- MIN. 20 MPa 28 DAY CONCRETE STRENGTH
- 10M BAR (HORIZ.) @ 18" O.C.
- 10M BAR (VERT.) @ 48" O.C. ALTERNATING
- 24" X 24" 15M CORNER BARS @ ALL CORNERS
- 1 1/2" CLEAR TO REBAR FROM INSIDE OF WALL
- 1/2" A307 ANCHOR BOLTS REQ'D @ 4'-0" O.C.
- RIGID INSULATION

- 4" CONCRETE SLAB (20 MPA MIN)
- 10M BARS @ 16" E.W. IN TILED FLOOR AREAS
- 6 MIL POLY LAPPED NOT LESS THAN 12" & ALL JOINTS SEALED TO PREVENT AIR LEAKAGE
- RIGID INSULATION
- MINIMUM 4" CLEAN GRANULAR MATERIAL

- PROVIDE ROUGH-IN FOR FUTURE SUBFLOOR DEPRESSURIZATION SYSTEM TO CONTROL SOIL GAS AS PER BCBC 9.13.4.3

- 4" CONCRETE SLAB (32 MPA MIN)
- MIN. 2% SLOPE TO FRONT OF GARAGE
- 5% MIN AIR ENTRAINMENT
- 10M BARS @ 18" E.W.
- 6" MIN WELL COMPACTED GRANULAR FILL
- UNEXCAVED EARTH





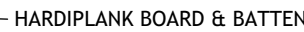
- CORRUGATED METAL SIDING

CERTAINTED FIBER CEMENT SIDING

**BOARD & BATTEN**



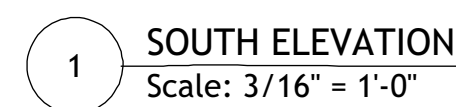
EAST ELEVATION  
Scale: 1/4" = 1'-0"



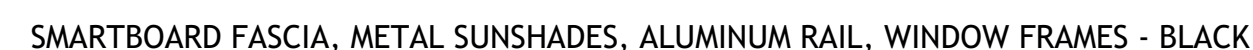
CORRUGATED METAL SIDING —

FIR PRIVACY SCREEN (STAINED)

BRICK



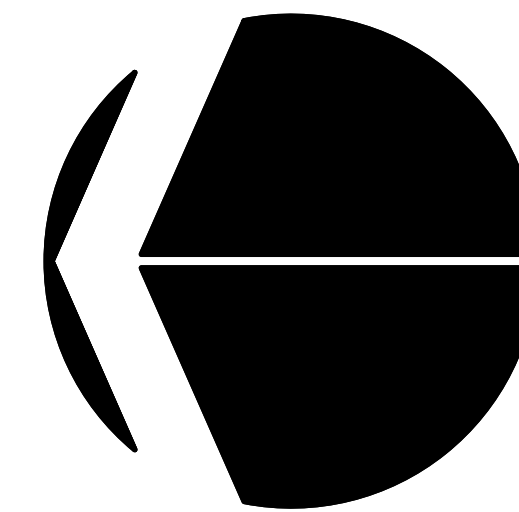
SOUTH ELEVATION  
Scale: 3/16" = 1'-0"



WEST ELEVATION  
Scale: 1/4" = 1'-0"



THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF IHS  
DESIGN AND MAY NOT BE REPRODUCED OR USED WITHOUT  
EXPRESSED WRITTEN PERMISSION FROM THE SAME.



PROJECT NORTH

REVISION	DATE	DISCRIPTION

PROJECT

## MULTIFAMILY DEVELOPMENT

671 GLENWOOD AVENUE

KELOWNA, BC V1Y 5M2

LOT 2 PLAN KAP6704

DRAWING TITLE

COLOUR BOARD

DATE \_\_\_\_\_

JANUARY 18, 2016

DRAWING NUMBER

7

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7



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SCHEDULE

C

This forms part of application

# Z16-0037

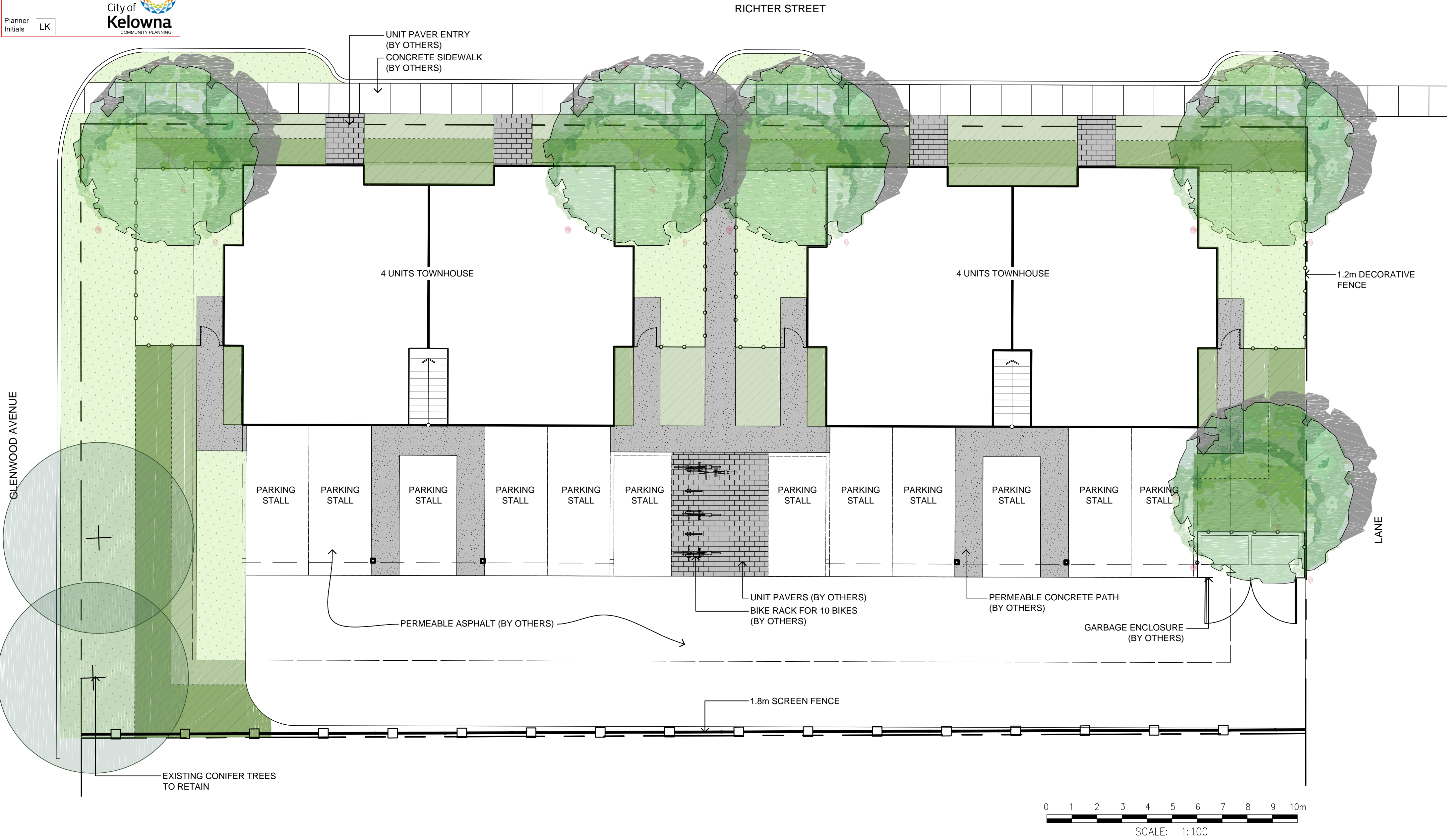
Planner

Initials

LK

City of Kelowna

COMMUNITY PLANNING



- LANDSCAPE DEVELOPMENT DATA:
1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE B.C. LANDSCAPE STANDARD (CURRENT EDITION).
  2. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
  3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
  4. ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
  5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
  6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

REPRESENTATIVE PLANT LIST					
Qty.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plant Size (Ht.xWd.)
Trees Deciduous					
5	<i>Cercidiphyllum japonicum</i>	Katsura Tree	6cm Cal	B&B	13.5m x 9m
Shrubs					
39	<i>Buxus sempervirens</i>	Boxwood	#01	Potted	1.0m x 1.0m
30	<i>Euonymus alatus</i>	Winged Burning Bush	#05	Potted	2.0 x 1.5m
Grasses					
12	<i>Calamagrostis x acutiflora</i> 'Overdam'	Variegated Reed Grass	#01	Potted	1.25m x 0.90m
16	<i>Panicum virgatum</i> 'Shenandoah'	Switchgrass	#01	Potted	1.20m x 0.9m
22	<i>Pennisetum alopecuroides</i> 'Red Head'	Fountain Grass	#01	Potted	1.20m x 1.00m
Perennials					
40	<i>Nepeta x fassenii</i> 'Walker's Low'	Walker's Low Catmint	#01	Potted	0.90m x 0.90m
16	<i>Sedum</i> 'Autumn Joy'	Autumn Stonecrop	#01	Potted	0.70m x 0.75m

SITE PLAN LEGEND:

EXISTING CONIFER TREE

PROPOSED DECIDUOUS TREE

PROPERTY LINE

SHRUB PLANTING

PERENNIAL PLANTING

ORNAMENTAL GRASS PLANTING

SOD AREA

UNIT PAVING (BY OTHERS)

PERMEABLE CONCRETE PATHWAY (BY OTHERS)

BIKE RACK

1.2m HEIGHT DECORATIVE FENCE

1.8m SCREEN FENCE



Cercidiphyllum japonicum



Euonymus alatus



Buxus sempervirens



Sedum 'Autumn Joy'



Nepeta x fassenii 'Walker's Low'



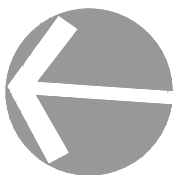
Panicum virgatum 'Shenandoah'



Calamagrostis x acutiflora 'Overdam'



Pennisetum alopecuroides 'Red Head'



REVISIONS / ISSUED	
1	MAY 13/16
NO. DATE	DESCRIPTION

PROJECT  
671 GLENWOOD AVENUE MULTIFAMILY DEVELOPMENT

CLIENT  
VIKING REAL ESTATE INC.

MMM GROUP

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING

540 Leon Ave. Kelowna, BC V1Y 6J6 t: 250.869.1334 f: 250.862.4849 www.mmm.ca

DESIGN BY	BD
DRAWN BY	YY
CHECKED BY	RF
PROJECT NO.	5116057-000
SCALE	1:100

SHEET TITLE  
PLANTING PLAN

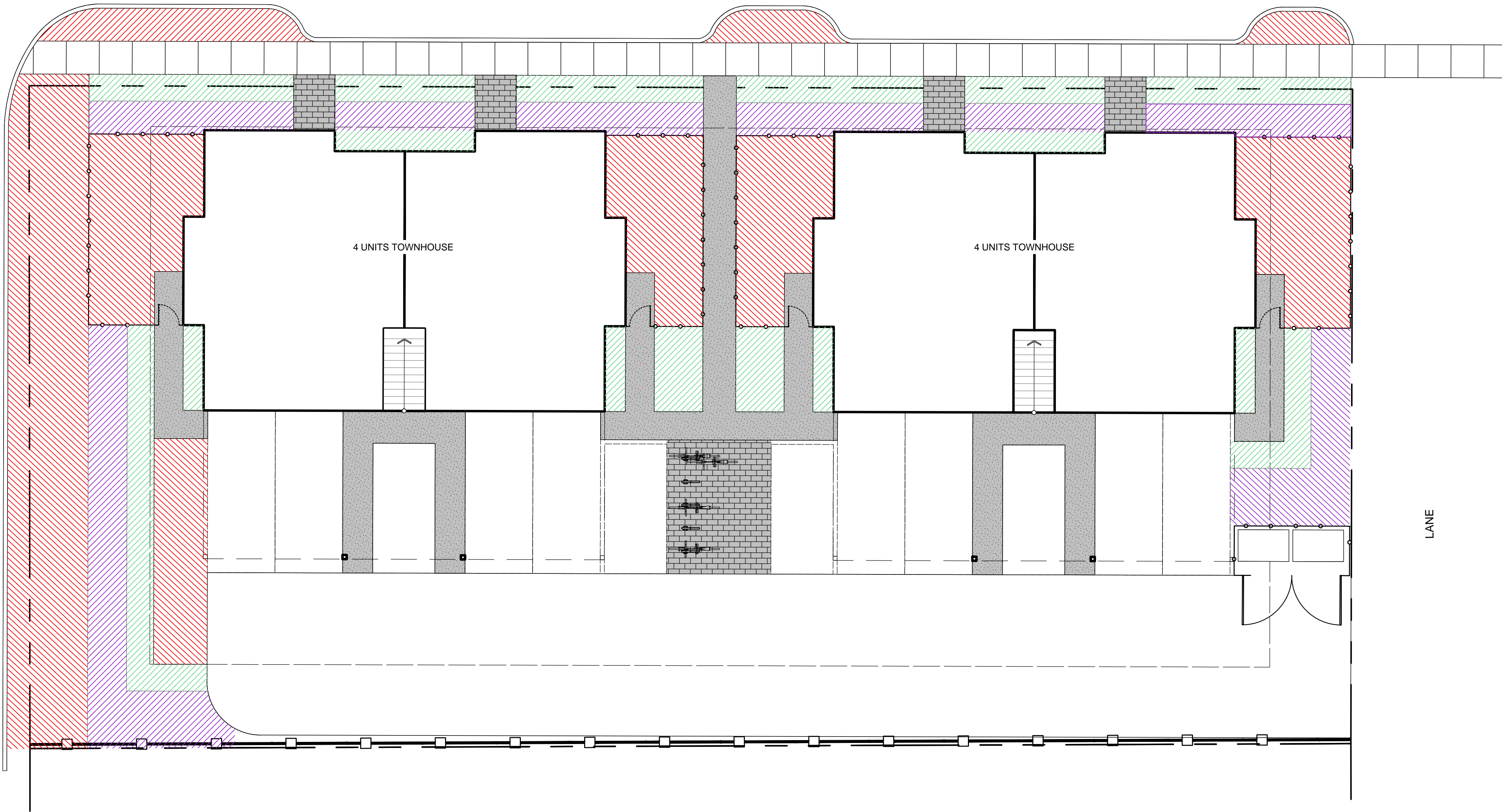
SHEET NO.  
LDP-1



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GLENWOOD AVENUE

RICHTER STREET



HYDROZONE PLAN LEGEND:

- LOW WATER REQUIREMENTS (90sq.m.)
- MEDIUM WATER REQUIREMENTS (90sq.m.)
- HIGH WATER REQUIREMENTS (200sq.m.)

SCHEDULE

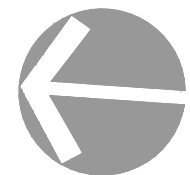
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This forms part of application  
# Z16-0037

Planner  
Initials  
LK

City of  
Kelowna

COMMUNITY PLANNING



REVISIONS / ISSUED		
1	MAY 13/16	ISSUED FOR DP
NO.	DATE	DESCRIPTION

PROJECT  
671 GLENWOOD AVENUE MULTIFAMILY DEVELOPMENT

CLIENT  
VIKING REAL ESTATE INC.

MMM GROUP

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING  
540 Leon Ave. Kelowna, BC V1Y 6J6 t: 250.869.1334 f: 250.862.4849 www.mmm.ca

DESIGN BY	BD
DRAWN BY	YY
CHECKED BY	RF
PROJECT NO.	5116057-000
SCALE	1:100

SHEET TITLE  
HYDROZONE PLAN

SHEET NO.  
LDP-2

# REPORT TO COUNCIL



**Date:** May 29, 2017

**RIM No.** 0940-00

**To:** City Manager

**From:** Community Planning Department (EW)

**Application:** RTE16-0008

**Owner:** CG Two – Mission Group  
Homes Ltd., Inc.No. BC1017482

**Address:** 1775 Chapman Pl

**Applicant:** CG Two – Mission Group  
Homes Ltd.

**Subject:** Revitalization Tax Agreement

Existing OCP Designation: MRM – Multiple Unit Residential (Medium Density)

Existing Zone: CD22 – Central Green Comprehensive Development Zone

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## 1.0 Recommendation

THAT Council approves the City entering into a Revitalization Tax Exemption Agreement (Schedule "A") with CG Two – Mission Group Homes Ltd. for Lot 3 District Lot 139 ODYD Plan KAP92715 located at 1775 Chapman Pl, Kelowna, BC in the form attached to the Report from the Community Planning Department dated May 8, 2017;

AND THAT the Mayor and City Clerk be authorized to execute the Revitalization Tax Exemption Agreement on behalf of the City of Kelowna.

## 2.0 Purpose

To enter into a Revitalization Tax Exemption Agreement with CG Two – Mission Group Homes Ltd. on the subject property.

## 3.0 Proposal

The subject property is designated as MRM – Multiple Density Unit Residential (Medium Density) in the Official Community Plan (OCP) and is zoned CD22 – Central Green Comprehensive Development. The Development Variance Permit and Development Permit for 'Building G' a 4-storey 87-unit apartment building was approved by Council on May 16, 2016 under DP16-0060. The Building Permit Application for the building was submitted on April 5, 2016 for a Total Value of Building Construction of \$13,700,000.00.

The project is in the 'Tax Incentive Area 3' as described by the Revitalization Tax Exemption Program Bylaw No. 9561. A tax exemption will be considered within Area 3 for the first 200,000 sq.ft of development to

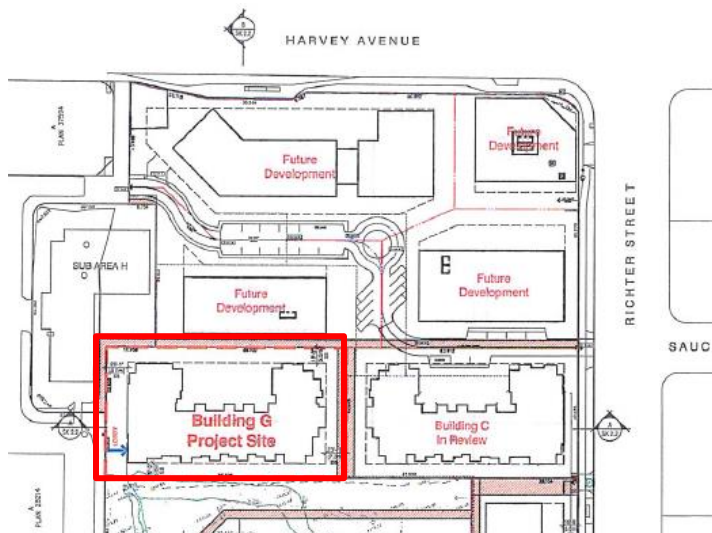
receive a building permit.<sup>1</sup> 'Tax Incentive Area 3' amounts to 50% of the Residential portion of Revitalization Amount on the parcel, for a project with a minimum floor area of 3,7156 m<sup>2</sup> as long as:

1. The Project involves construction that results in a new building;
2. The construction value based on the building permit(s) issued is \$50,000.00 or greater;
3. The Project is consistent with the land use for the area as set out in Zoning Bylaw No. 8000 and Official Community Plan Bylaw No. 10500;
4. The owner of the Parcels enters into an agreement with the City;
5. The form and character of the Project is consistent with the applicable Development Permit Area Design Guidelines contained within Chapter 14 of Official Community Plan Bylaw No. 10500
6. The property is located in a Revitalization Area as shown on Schedule 'A' of Revitalization Tax Exemption Program Bylaw No. 9561.

With all requirements met the subject property qualifies to receive 50% of the Residential portion of Revitalization Amount on the parcel. Based on the 2016 Municipal Tax Rate for a Residential Property Class (3.711) and the total value of building construction estimated at \$13,700,000.00<sup>2</sup>, the tax exemption would be approximately \$25,420 per year. For a period of 10 years from 2019-2028, the total exempt amount would be approximately \$254,203.

### 3.1 Development Permit DP16-0060

Site Plan:



<sup>1</sup> If this RTE application (RTE16-0008) for 1775 Chapman Pl is approved by Council, Tax Incentive Area 3 would be removed from the Tax Exemption Program as the 200,000 sq.ft capacity has been reached.

<sup>2</sup> This estimate was provided by the applicant as part of the Building Permit application.



Elevation:



**4.0 Current Development Policies**

Revitalization Tax Exemption Program Bylaw No. 9561.

**5.0 Technical Comments**

None.

**6.0 Application Chronology**

Date of Application Received: October 18, 2016

<b>Report prepared by:</b>	Emily Williamson, Planner I
<b>Reviewed by:</b>	Terry Barton, Urban Planning Manager
<b>Approved for Inclusion:</b>	Ryan Smith, Community Planning Department Manager

**Attachments:**

Schedule "A" – Revitalization Tax Exemption Agreement  
Schedule "B" – Tax Exemption Certificate

**Revitalization Tax Exemption Agreement**

THIS AGREEMENT dated for reference the \_\_\_\_ day of \_\_\_\_\_, 2017 is

**BETWEEN:**

**CG TWO-MISSION GROUP HOMES LTD., INC.** NO. BC1017482  
1000-1631 Dickson Avenue  
Kelowna, B.C.  
V1Y 0B5  
(the "Owner")

**AND:**

**CITY OF KELOWNA**  
1435 Water Street,  
Kelowna, B.C.  
V1Y 1J4  
(the "City")

**GIVEN THAT:**

- A. The Owner is the registered owner in fee simple of lands in the City of Kelowna at **1775 CHAPMAN PL** legally described as **LOT 3 DISTRICT LOT 139 OSOYOOS DIVISION YALE DISTRICT PLAN KAP92715** (the "Parcel");
- B. Council has established a revitalization tax exemption program and has included within the City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561 the designation of areas which include the Parcel as a revitalization area; and
- C. The Owner proposes to construct new improvements on the Parcel as described in Appendix "A" attached to and forming part of this agreement (the "Project") and has applied to the City to take part in the revitalization tax exemption program in respect of the Project and the City has agreed to accept the Project under the program;

THIS AGREEMENT is evidence that in consideration of the promises exchanged below, the Owner and the City covenant and agree each with the other as follows:

1. **The Project** - the Owner will use its best efforts to ensure that the Project is constructed, maintained, operated and used in a fashion that will be consistent with and will foster the objectives of the revitalization tax exemption program, as outlined in the City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561. Without limiting the generality of the foregoing, the Owner covenants to use its best efforts to ensure that the Project will:
  - a. Include construction of a four storey 87-unit condominium building;
  - b. Provide parking under the building within an enclosed parkade;
  - c. Have a mix of apartment types, varying from studios to two bedrooms.

2. **Operation and Maintenance of the Project** - throughout the term of this agreement, the Owner shall operate, repair and maintain the Project and will keep the Project in a state of good repair as a prudent owner would do.
3. **Revitalization Amount** - Refers to the municipal portion of property tax calculated in relation to the increase in the assessed value of improvements on the property resulting from the construction or alterations as outlined in section 1 of this agreement;
4. **Revitalization Tax Exemption** - subject to fulfilment of the conditions set out in this agreement and in "City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561", the City shall issue a revitalization tax exemption certificate (the "Tax Exemption Certificate") to the British Columbia Assessment Authority entitling the Owner to a property tax exemption in respect of the property taxes due (not including local service taxes) in relation to the Revitalization Amount on the Parcel (the "Tax Exemption") for the calendar year(s) set out in this agreement.
5. **Conditions** - the following conditions shall be fulfilled before the City will issue a Tax Exemption Certificate to the Owner in respect of the Project:
  - a. The Owner must obtain a building permit from the City for the Project on or before April 30, 2017;
  - b. The Owner must complete or cause to be completed construction of the Project in a good and workmanlike fashion and in strict compliance with the building permit and the plans and specifications attached hereto as Appendix "A" and the Project must be officially opened for use as multiple dwelling housing (the "Exempt Use") and for no other use, by no later than October 30, 2018;
  - c. The Owner must submit a copy of the Occupancy Permit and Revitalization Tax Exemption Agreement to the City of Kelowna's Revenue Branch before the City will issue the Tax Exemption Certificate.
  - d. The completed Project must substantially satisfy the performance criteria set out in Appendix "B" hereto, as determined by the City's Urban Planning Manager or designate, in their sole discretion, acting reasonably.
6. **Calculation of Calculation of Revitalization Tax Exemption** - the amount of the Tax Exemption shall be equal to:

- a) For "Tax Incentive Area 3," 50% of the Residential portion of Revitalization Amount on the Parcel, for a project with a minimum floor area of 3,716 m<sup>2</sup> (40,000 sq. ft.);
7. **Term of Tax Exemption** - provided the requirements of this agreement, and of the City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561, are met the Tax Exemption shall be for the taxation years 2019 to 2028, inclusive.
8. {deleted}
9. **Compliance with Laws** - the Owner shall construct the Project and, at all times during the term of the Tax Exemption or any renewal term, use and occupy the Parcel and the Project in compliance with all statutes, laws, regulations and orders of any authority having jurisdiction and, without limiting the generality of the foregoing, all federal, provincial, or municipal laws or statutes or bylaws, including all the rules regulations policies guidelines criteria or the like made under or pursuant to any such laws.
10. **Effect of Stratification** - if the Owner stratifies the Parcel or the Project under the *Strata Property Act*, then the Tax Exemption shall be prorated among the strata lots in accordance with the unit entitlement of each strata lot for:
- a. the current and each subsequent tax year during the currency of this agreement if the strata plan is accepted for registration at the Land Title Office before May 1; or
- b. for the next calendar year and each subsequent tax year during the currency of this agreement if the strata plan is accepted for registration at the Land Title Office after May 1;
- so long as, where a Housing Agreement exists in relation to the Parcel or the Project which limits ability to stratify, the Housing Agreement is still complied with.
11. **Cancellation** - the City may in its sole discretion cancel the Tax Exemption Certificate at any time:
- a. on the written request of the Owner; or
- b. effective immediately upon delivery of a notice of cancellation to the Owner if at any time any of the conditions in the Tax Exemption Certificate are not met.

If such cancellation occurs, the Owner of the Parcel for which the Tax Exemption Certificate was issued will remit to the City an amount equal to the value of any Tax Exemption received after the cancellation of the Tax Exemption Certificate.

12. **No Refund** - for greater certainty, under no circumstances will the Owner be entitled under the City's revitalization tax exemption program to any cash credit, any carry forward tax exemption credit or any refund for any property taxes paid.
13. **Notices** - any notice or other writing required or permitted to be given hereunder or for the purposes hereof to any party shall be sufficiently given if delivered by hand or posted on the Parcel, or if sent by prepaid registered mail (Express Post) or if transmitted by facsimile to such party:

- a. in the case of a notice to the City, at:

THE CITY OF KELOWNA  
1435 Water Street,  
Kelowna, B.C.  
V1Y 1J4

- b. in the case of a notice to the Owner, at:

CG TWO-MISSION GROUP HOMES LTD., INC., NO. BC1017482  
1000-1631 Dickson Avenue  
Kelowna, B.C.  
V1Y 0B5

Attention: Luke Turri

Or at such other address as the party to whom such notice or other writing is to be given shall have last notified the party giving the same.

14. **No Assignment** - the Owner shall not assign its interest in this agreement except to a subsequent owner in fee simple of the Parcel.
15. **Severance** - if any portion of this agreement is held invalid by a court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remainder of this agreement.
16. **Interpretation** - wherever the singular or masculine is used in this agreement, the same shall be construed as meaning the plural, the feminine or body corporate where the context or the parties thereto so require.
17. **Further Assurances** - the parties hereto shall execute and do all such further deeds, acts, things and assurances that may be reasonably required to carry out the intent of this agreement.
18. **Waiver** - waiver by the City of a default by the Owner shall be in writing and shall not be deemed to be a waiver of any subsequent or other default.



19. **Powers Preserved** - this agreement does not:
- a. Affect or limit the discretion, rights or powers of the City under any enactment or at common law, including in relation to the use or subdivision of the Parcel;
  - b. Affect or limit any enactment relating to the use or subdivision of the Parcel; or
  - c. Relieve the Owner from complying with any enactment, including in relation to the use or subdivision of the Parcel and without limitation shall not confer directly or indirectly any exemption or right of set-off from development cost charges, connection charges, application fees, user fees or other rates, levies or charges payable under any bylaw of the City.
20. **Reference** - every reference to each party is deemed to include the heirs, executors, administrators, personal representatives, successors, assigns, servants, employees, agents, contractors, officers, licensees and invitees of such party, wherever the context so requires or allows.
21. **Enurement** - this agreement shall ensure to the benefit of and be binding upon the parties hereto and their respective successors and permitted assigns.
22. Any construction of a new improvement or alteration of an existing improvement as of this bylaw undertaken prior to the application for a Revitalization Tax Exemption will not be eligible for consideration
23. The maximum Revitalization Tax Exemption authorized under this Bylaw must not exceed the Revitalization Amount on the Property between:
- a. the calendar year before the construction or alteration began, as outlined under Section 1 of this agreement; and
  - a. the calendar year in which the construction or alteration, as outlined under Section 1 of this agreement, is completed.
24. The Property's assessed value of improvements must not be reduced below the amount assessed in the calendar year prior to construction or alteration, as a result of the Revitalization Tax Exemption.


IN WITNESS WHEREOF the parties hereto have executed this agreement as of the day and year first above written.

Executed by the CITY OF KELOWNA by  
Its authorized signatories:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

Executed by CG TWO-MISSION GROUP HOMES LTD. by its  
Authorized signatories:

  
Name: LUKE TURRI

\_\_\_\_\_  
Name:

Appendix "A": Plans and Specifications

**Schedule "C"**

**Tax Exemption Certificate**

In accordance with the City of Kelowna Revitalization Tax Exemption Program Bylaw No. 9561 (the "Bylaw"), and in accordance with a Revitalization Tax Exemption Agreement dated for reference the \_\_\_\_ day of \_\_\_\_\_, 20\_\_ (the "Agreement") entered into between the City of Kelowna (the "City") and CG Two-Mission Group Homes Ltd., Inc., No. BC1017482 (the "Owner"), the registered owner(s) of Lot 3 District Lot 139 Osoyoos Division Yale District Plan KAP92715 (the "Parcel");

This certificate certifies that the Parcel is subject to a Revitalization Tax Exemption, for each of the taxation years 2019 to 2028 inclusive, equal to:

1. "Tax Incentive Area 3," 50% of the Revitalization Amount attributed to Building Permit No. BP 52679 between 2016 and 2018;

Any construction of a new improvement or alteration of an existing improvement, on the Parcel described above, undertaken prior to the application for a Revitalization Tax Exemption will not be eligible for consideration;

The maximum Revitalization Tax Exemption authorized must not exceed the increase in the assessed value of improvements on the property resulting from the construction or alterations attributed to Building Permit No. BP 52679 between 2016 and 2018;

The Property's assessed value of improvements must not be reduced below the amount assessed in the calendar year prior to construction or alteration, as a result of the Revitalization Tax Exemption.

The Revitalization Tax Exemption is provided under the following conditions:

1. The Owner does not breach any term, condition or provision of, and performs all obligations set out in, the Agreement and the Bylaw;
2. The Owner has not sold all or any portion of his or her equitable or legal fee simple interest in the Parcel without the transferee taking an assignment of the Agreement, and agreeing to be bound by it;
3. The Owner, or a successor in title to the Owner, has not allowed the property taxes for the Parcel to go into arrears or to become delinquent;
4. The Exempt Use (as defined in the Agreement) of the Project is not discontinued;

If any of these conditions are not met then the Council of the City of Kelowna may cancel this Revitalization Tax Exemption Certificate. If such cancellation occurs, the Owner of the Parcel, or a successor in title to the Owner as the case may be, shall remit to the City an amount equal to the value of the exemption received after the date of the cancellation of the certificate.

# CITY OF KELOWNA

## BYLAW NO. 11380

### Official Community Plan Amendment No. OCP16-0024 – 1225 Hwy 33 W

---

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of Lot 1, Section 22, Township 26, ODYD, Plan EPP64302, located on Hwy 33 W, Kelowna, B.C., from the S2RES – Single / Two Unit Residential designation to the EDINST – Educational / Major Institutional designation.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 10<sup>th</sup> of April, 2017.

Considered at a Public Hearing on the 25<sup>th</sup> day of April, 2017.

Read a second and third time by the Municipal Council this 25<sup>th</sup> day of April, 2017.

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11381**  
**Z16-0071 – 1225 Hwy 33 W**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 1, Section 22, Township 26, ODYD, Plan EPP64302 located on Hwy 33 W, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the P2 – Educational & Minor Institutional zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 10<sup>th</sup> day of April, 2017.

Considered at a Public Hearing on the 25<sup>th</sup> day of April, 2017.

Read a second and third time by the Municipal Council this 25<sup>th</sup> day of April, 2017.

Approved under the Transportation Act this 17<sup>th</sup> day of May, 2017.

\_\_\_\_\_  
Audrie Henry  
(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk



# CITY OF KELOWNA

## BYLAW NO. 11393

### TA17-0006 – CD3 – Comprehensive Development Three Zone

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT **Section 18 – CD3 – Comprehensive Development Three Zone, 1.2 Permitted Uses**, Permitted Principal uses in Area 2, be amended by adding in its appropriate location a new subparagraph "retail liquor sales" and renumbering subsequent sub-paragraphs;
2. AND THAT **Section 18 – CD3 – Comprehensive Development Three Zone, 1.5 Other Regulations**, be amended by adding in its appropriate location the following new subsections:
  - "(f) Only one Retail Liquor Sale business is permitted in Area 2.
  - (g) Retail Liquor Sales within Area 2 shall be limited to a maximum Gross Floor Area of 185 m<sup>2</sup>"
3. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 24<sup>th</sup> day of April, 2017.

Considered at a Public Hearing on the 16<sup>th</sup> day of May, 2017.

Read a second and third time by the Municipal Council this 16<sup>th</sup> day of May, 2017.

Adopted by the Municipal Council of the City of Kelowna this

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

# Report to Council



**Date:** May 29, 2017  
**File:** 1200-15  
**To:** City Manager  
**From:** Sandra Kochan, Cultural Services Manager  
**Subject:** Creative Spaces Update

---

## **Recommendation:**

THAT Council receives for information the report dated May 29, 2017 from the Cultural Services Manager regarding a Creative Spaces Update.

## **Purpose:**

To provide Council with an update regarding Creative Spaces consultations with the arts community.

## **Background:**

Staff provided a report to Council on April 11, 2016 with information about a survey and series of focus groups which would provide data and information about the space needs of artists and organizations in Kelowna.

The 2016 consultations addressed goals and strategies in the [2012-2017 Cultural Plan](#), in particular Goal 3: 'to identify more and different kinds of affordable spaces devoted to creative production for both visual and performing artists.'

Consultations were conducted through two initiatives:

- a) The Creative Space Needs & Issues Survey was distributed in May 2016 and made available until July 3, 2016. The survey attracted 180 responses. Highlights from the survey are provided within the Findings Report (page 19) and include:
  - 40 per cent of artists are currently working out of home studios, but 68 per cent of them would prefer to have a separate location for their studios. Over 65 per cent of artists would prefer a studio to be in a downtown or central location which offers high visibility and proximity to other cultural amenities.
  - Affordability is the most significant factor in selecting a studio space.
  - Just over 50 per cent of artists are either sharing studio space now, or are interested in shared space for the future.

- Many artists report that creative processes are constrained by spaces that are too small. Many artists are also unable to afford costly renovations or upgrades that would make their spaces and their practice more successful.
- b) A series of eight discipline-based Focus Groups was convened between May 25 and June 29. The discipline categories were based on distinct and unique usage of space:
- Visual Arts
  - Theatre
  - Screen-Based
  - Amplified Music
  - Acoustic Music
  - Venues/Schools
  - Fabricators
  - Dance

Each session was two hours in length and was facilitated by Alison Moore of Oomph Consulting. Each session focused on three questions:

- Describe the ideal creative space for your work and for artists working in your discipline. List your ideal discipline related space amenities.
- What is your greatest space related issue or challenge?
- Discuss collaborative space sharing. What would this look like for you and those working in your discipline?

62 professional artists and cultural workers attended the sessions.

### **The Findings Report:**

The findings from the Focus Groups are summarized in the Report attached as Appendix A.

These findings will inform next year's Cultural Plan update and can also be used by staff and the private sector to investigate opportunities for artists' use of new or vacant spaces. The findings provide a baseline understanding of what space characteristics are most important to artists practicing various artforms and what might be required to make a space suitable for artistic practice.

For some practitioners, needs are quite straightforward. For others, such as fabricators using heavy equipment and/or chemical processes, space requirements are quite complex and typically beyond the financial reach of a sole practitioner. A case study included in the report is illustrative of the challenges encountered by a local glass artist seeking to establish a working studio in the downtown area.

Highlights from the report:

- Design considerations for performance venues emphasize configurable staging and seating, a high standard of technical and acoustic excellence, a more visible and enticing public presence, the importance of multiple rehearsal and studio spaces, and back of house amenities which add value to all other spaces;
- Design considerations for fabrication spaces are focused on appropriate utility servicing and engineering and locations which minimize impact from fabrication activity;
- Operating considerations include physical access, affordability, balancing needs to provide equitable allocation, and examining the regulatory environment to more flexibly accommodate where and how artists do their work.

Appendix C of the Findings Report provides a compendium of creative spaces around the world which could serve as models for development of creative spaces in Kelowna. The examples include:

- small to mid-sized performance venues of up to 1,500 seats
- large performance venues with more than 1,500 seats
- venues associated with academic institutions
- unique cultural venues and hubs
- fabrication and makerspaces
- visual arts studios, and
- creative spaces initiatives which have successfully developed spaces and tools for the benefit of the arts community.

#### **2017 Creative Spaces Summit:**

On June 6, 2017, Cultural Services is convening a Creative Spaces Summit at the Laurel Packinghouse. The objectives of the event are to:

- Share the findings from last year's consultations;
- Provide information about new resources such as [SpaceFinder BC](#) which may provide some solutions for challenges identified in the findings;
- Stimulate ideas and dialogue about shared spaces through a panel discussion with three successful creative hubs in Vancouver
- Brainstorm 'made-in-Kelowna' solutions that can be implemented in the short to medium term to ease access to creative spaces in Kelowna.

Invitations for the event will be sent to a number of City staff representing various departments, cultural venues, all survey respondents and Focus Group invitees. The event will also be promoted through the City's usual channels.

The invitation which includes more information about presenters is attached as Appendix B.

Following the Summit, staff will look at ideas generated from the community and, where feasible, consider how and when various initiatives might move forward, including the potential for a partnered approach.

#### **Internal Circulation:**

Director, Active Living & Culture Division  
Communications Supervisor  
Community Engagement Consultant  
Parks and Buildings Planning Manager

#### **Existing Policy:**

This report is submitted pursuant to Council Cultural Policy 274 and Engage Policy 372.

#### **Considerations not applicable to this report:**

Legal/Statutory Authority  
Legal/Statutory Procedural Requirements  
Financial/Budgetary Considerations  
Personnel Implications  
External Agency/Public Comments

Communications Comments  
Alternate Recommendation

Submitted by:  
S. Kochan, Cultural Services Manager

**Approved for inclusion:** J. Gabriel, Division Director, Active Living & Culture

Attachments:  
Appendix A: Findings Report from 2016 Creative Spaces Consultations  
Appendix B: Invitation to 2017 Creative Spaces Summit

cc:  
Director, Active Living & Culture Division  
Communications Supervisor  
Community Engagement Consultant  
Parks and Buildings Planning Manager





# Findings Report from 2016 Creative Spaces Consultations

**May 2017**

Prepared by: Alison Moore, Oomph Consulting  
and Sandra Kochan, Cultural Services Manager, City of Kelowna for:

City of Kelowna Cultural Services Branch  
Active Living & Culture Division  
#105 – 1014 Glenmore Drive  
Kelowna, BC V1Y 4P2  
TEL 250-469-8811  
culture@kelowna.ca

**kelowna.ca**

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(Cover photo: Rotary Centre for the Arts)

## BACKGROUND: CREATIVE SPACES CONSULTATIONS

### Introduction

The 2016 Creative Spaces Consultation process was twofold. First, the Creative Space Needs & Issues Survey was developed. This was a research tool distributed in May 2016 and available until July 3, 2016. Survey results are summarized in Appendix A.

The second part of the process, and the subject of this report, was a series of eight focus groups with professional artists. The findings from these conversations are contained within this report and will serve to inform future planning of creative spaces for the benefit of both the artists who use these spaces and the audiences and customers who visit them.

### Context

The City of Kelowna conducted extensive community consultations when it was developing the [2012-2017 Cultural Plan](#). This generated an entire goal area (Goal 3): to 'find more and different kinds of affordable cultural spaces', with the following commentary:

*'Cultural vitality depends on the availability of spaces both for cultural consumption (the demand side – where audiences gather) and for cultural production (the supply side – where artists work). Spaces for cultural production by visual and performing artists are lacking in Kelowna.'*

Although there have been some encouraging developments recently with the opening of some privately operated studio and performance spaces,

much of what was heard in 2010 about production space requirements is still relevant.

Adding to the pressure is the emergence of new performing arts organizations, program expansion by existing organizations, and heavy demand for performance, rehearsal and studio spaces in the Cultural District which are at or nearing their capacity.

In March 2016, Kelowna's City Council approved the [Civic Precinct Land Use Plan](#). This plan, which builds on the previous Downtown Plan, will guide future development of various sites in the Cultural District and the area around City Hall. It sets a long-term 25-year vision for enhancing vitality and attracting private investment, while protecting sites for future civic use to support a dynamic Cultural District. In essence, the plan bookmarks various sites for redevelopment and future cultural use. The building of the new Police Services building at the north end of Kelowna leaves the current facility's Doyle Avenue site available for future development. Next door, the Kelowna Community Theatre, opened in 1962, is reaching the end of its service life.

In a larger context, the last decade has generated significant changes in the ways that artists work, and the markets within which they generate income. As revealed in a [major report](#)<sup>1</sup> prepared by the Center for Cultural Innovation for the National Endowment for the Arts, the following factors are influencing the livelihoods of artists and the arts economy as a whole:

- The population of artists is growing and diversifying, and norms about who is considered an artist are changing
- Substantial numbers of artists now work in interdisciplinary and transdisciplinary ways

<sup>1</sup> *Creativity Connects: Trends and Conditions Affecting U.S. Artists* (September, 2016)

- Many artists are finding work as artists in non-arts contexts
- Artists are pursuing new opportunities to work entrepreneurially
- Technology is altering the context and economics of artists' work
- Artists share challenging economic conditions with other segments of the workforce
- Structural inequities in the artists' ecosystem mirror inequities in society more broadly
- Training is not keeping pace with artists' evolving needs and opportunities
- Artist fellowships, grants, and awards are not responding to new ways of working.

The consultation captured in this report is an important first step in exploring priorities for future development of cultural infrastructure which serves the needs of artists and creators first. This information should be useful for both private and public sector development planning on sites within the Civic Block and Cultural District and will inform a 2018 update to the Cultural Plan.

Key to the consultation approach is the foundational principle that ***a building's design and value is determined by what goes on inside it.*** This 'inside out' approach leads to the following areas of inquiry:

- a) What creative production space needs and requirements are going unmet and why?
- b) What are some of the unique space requirements for specific arts disciplines?
- c) What are the possibilities for co-location and space sharing?
- d) Are there good examples elsewhere from which we can learn?
- e) What do future planners, developers, architects, engineers and designers need to know in order to create valuable and usable spaces for artists and practitioners, their audiences and the community.

This was the starting point for the conversations in the 2016 Creative Spaces Focus Groups.

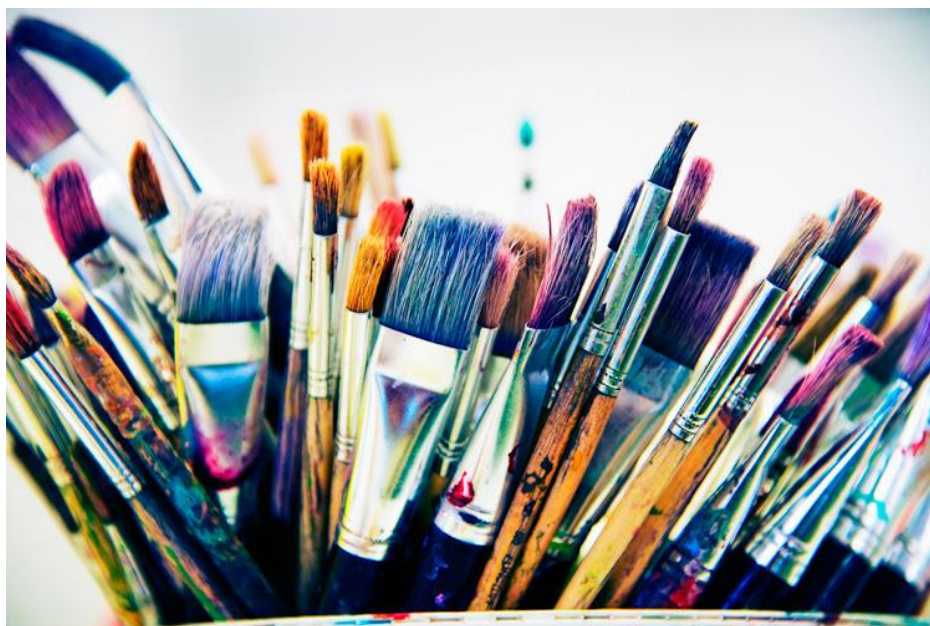


Photo: Michael Hintringer



## SUMMARY OVERVIEW OF FINDINGS

In this summary, findings are broadly categorized by artistic discipline (visual and performing arts as the two major cohorts) and by design and operational considerations. There is some crossover between these areas. More detailed information about specific disciplines is included in the body of the report.

Although visual artists are represented in the findings, there is more emphasis on performance-based disciplines such as dance, theatre and music, as they are frequent users of civic facilities and are increasingly challenged by rental rates, competitive demand for space and lack of rehearsal and studio space options.

Generally, while different artistic disciplines (dance, acoustic music, amplified music, screen-based, etc) have very different functional space requirements, there are some similarities in practical design features which came up repeatedly in Focus Group discussions.

However, even within the same discipline, there is a wide range of individual practice and preference. Some artists prefer to work collaboratively; others value a more solitary practice. Some artists are interested in inter- or intra-disciplinary connections; others have an established niche and are not seeking out these types of interactions. Shared or co-located space will not be a universal solution for all artists, nor will it necessarily be a long-term choice for artists whose careers are constantly evolving. Design and operational models need to accommodate different kinds of people, practice and tenancies.

Accordingly, there is no 'one size fits all' solution for creative space requirements. Flexibility, affordability, adaptability and a range of options will provide the best results, both in terms of physical design and operational models.

One other point convincingly articulated by the film community was the differentiation between grassroots creative activity which supports personal and community development, and professional/commercial activity which creates jobs and a significant economic impact in the community. The City will need to more clearly define its role in either or both of these spheres when it comes to infrastructure development.

Finally, dysfunctional shortcomings apparent in existing facilities can easily be addressed in future projects through better design and practical solutions which are informed by meaningful consultation with practicing artists and those with facility operating experience.

All Focus Group participants were asked to share examples of what they perceived to be successful creative spaces. These are itemized in Appendix C.



Christos Dikeakos: Nature Morte exhibition, Kelowna Art Gallery (photo: Yuri Akuney, Digital Perfections)



## Design Considerations for Performance Venues

### Performance spaces are the heart of the facility and must provide:

- Multiple staging and seating configurations to accommodate a range of audience sizes and performance types
- Acoustical excellence (including buffering from internal and external sound)
- A state-of-the-art staging and technical environment
- Orchestra pit
- Full accessibility for performers and patrons with a disability or limited mobility

### 'Front of house' spaces are the public face of the facility and should flexibly accommodate:

- private and public gatherings
- catered events with or without alcohol service
- large and small groups
- bookable usage, either separate from, or in association with use of performance space
- usage by several groups at the same time
- appropriate and right-sized amenities such as box office, washrooms, bar/concession areas, coat checks and seating for patron comfort and convenience
- permanent or temporary exhibition of 2-D and 3-D art and public art
- a visible and enticing presence in the public realm

### Studio/rehearsal spaces support artistic development by:

- providing a range of sizes and configurations, including spaces that match the floor area of the performance space(s), spaces which can be made private or visible to the public depending on user preferences, and spaces which can accommodate small(er) audiences or gatherings
- Being soundproof
- Accommodating a range of technical supports for sound, lighting and staging
- Including a high quality piano in one or more spaces
- Being easily and privately accessible to/from performance spaces and back of house
- Providing access to (or including) storage

### 'Back of house' amenities add value to all other spaces:

- All amenities must be fully accessible
- Catering kitchen
- Offices and/or shared administration space
- Bookable meeting rooms for use by organizations, staff, artists and renters
- Lounges/'greenrooms' for use by artists, renters and volunteers
- Dressing rooms properly equipped with washrooms/showers/laundry/storage/private areas
- Secure storage (with appropriate environment controls) for costumes, props and sets, music and script libraries, instruments
- Fabrication space for costumes, sets and props
- Secure loading/unloading areas, protected from weather

## Design Considerations for Visual and Fabrication Arts Studios

Fabrication studios have special requirements which dictate physical location and inhibit the potential of sharing space with other artists and types of art practice:

- Examples of work produced in traditional fabrication studios include: sculpture, printmaking, woodworking, ceramics, fused glass, blown glass, metal work, metal forge or foundry, moulding/casting with various materials, fibre or textile work, and more – these activities require more space and more equipment than studios producing 2D works.
- Use of equipment, and various material and chemical processes requires heavy duty/industrial utility service (electrical, plumbing, lighting, HVAC) – these are not possible in residential or ‘passive’ studio environments and are expensive to establish
- Heavy duty/industrial-grade waste disposal (sinks, drains, traps, toxic materials) is required to ensure artist, public and environmental safety
- Designated areas must be engineered for weight bearing of heavy equipment (i.e. printing presses, kilns)
- Enclosed/ventilated areas for sandblasting, spray painting, chemical processes
- Appropriate separation/buffering between artist workspaces to protect from dust, fumes, heat and noise
- Consider the concept of a ‘makerspace’ which provides training and shared access to 3D printers, laser cutters, robotics and electronics
- Industrial locations are ideal as it reduces the expense associated with appropriate buffering/soundproofing to ensure that use of machinery, chemicals etc does not interfere with neighbours
- Compared to other visual artists, local fabrication artists have encountered considerable difficulty in establishing studios. See the story from Joanne McKechnie of La Luz Glass in Appendix D.

Visual artists in general prefer spaces which provide:

- Sturdy, cleanable surfaces (i.e. polished concrete floors)
- Multiple electrical outlets in ceiling grid, floor and walls
- High ceilings and natural light
- Large open spaces and large wall surfaces
- Overhead doors to enable loading/unloading of materials, equipment and large works
- If not on one level, freight elevators to enable movement of materials, equipment and large works
- ‘Flex’ studios which can be booked for shorter (or longer) time periods
- Secure storage for materials, work in progress, completed work – including large scale
- Shared washrooms, kitchen, lounge areas
- Access to high-speed or dark fibre network
- Meeting rooms which can also be used for teaching and demonstrations
- Public access/gathering, exhibition or merchandising areas adjacent to, but separated from studio areas
- Clear separation between ‘clean’ and ‘dirty’ areas

## General Operating Considerations

### Physical access to the space:

- Practitioners need access to space both within and outside normal business hours – some will require 24/7 access – the design and operating model (including security) needs to accommodate use at any time of day.

### Affordability:

- Rates need to be affordable. Rates at existing facilities are barriers to access for many artists, and suppress new or risky types of programming. Artists are seeking out (and finding) alternative venues which guarantee lower costs and better returns, but this leads to other issues, such as bylaw complaints arising from house concerts.
- Consider the benefit of including professional technical support in rental rates for all bookable spaces.

### Meeting creative needs while ensuring equitable allocation:

- Allocation of space must strike an appropriate balance between professional and community usage.
- Certain peak times of day (after-school and evening hours) or days of the week have intense demand but frequently existing facilities are vacant at non-peak times. This should not necessarily mean that new facilities are needed; it may mean that programming structure and location needs a re-think.
- Consider whether professional companies or artists would be 'resident' in the facility and gain exclusive or preferential access to space(s).
- Consider how youth and young adults can gain reliable access to space for development and creation of work specific to their interests, aspirations and audiences.
- Studio spaces must be bookable and appropriate for both short and longer term usage. Development of new work may span a period of months.
- Consider designating studio space(s) for use by an 'artist in residence.'
- Rehearsal rooms must be available at the right time, and for the right length of time, in conjunction with usage of primary performance space. Rehearsal room bookings for users of primary performance space should be given priority over other unrelated bookings.
- Be intentional about creating an 'incubator' space for artistic production which crosses disciplinary boundaries and enables sharing of creative, technical and administrative resources.

### Policies, procedures, regulations and permits:

- Balance the need to regulate safety with the opportunity for learning and experimentation (for example, stage pyrotechnics, shared usage of equipment).
- Have clear and transparent policies and procedures about how an individual or group gains access to space or equipment and what they can do in it. Ensure that policies and procedures are fairly and consistently applied.
- Review bylaws and regulatory and permitting processes (for example regarding filming, noise, fire protection) and determine whether changes can be made to ease access to creative production space while still protecting the public interest.

# CREATIVE SPACES FOCUS GROUPS – DETAILED FINDINGS

## Introduction

Eight discipline-based Focus Groups were convened by Cultural Services between May 25 and June 29. Each session was two hours in length and was facilitated by Alison Moore of Oomph Consulting.

In total 62 professional artists and cultural workers attended the sessions.

Notes from each focus group were prepared by Alison Moore and appear in edited form in this report in the following order:

- Visual Arts
- Theatre
- Screen-Based
- Amplified Music
- Acoustic Music
- Venues
- Fabricators
- Dance

Feedback for each session was captured through exit surveys. The exit surveys suggest that overall participants felt that the focus groups were a good use of their time.

Additional feedback and information was received by email from practitioners who could not attend.

## Focus Groups Process

The purpose of the focus groups was to have a conversation with artists about creative workspaces. Artists who are considered connectors and incubators in their respective discipline and community were invited. These are the individuals who know what is going on, who is doing it and who are forging new networks and new approaches relating to finding and using space. The invitation is attached in Appendix B.

The disciplines were narrowed down to those that represent distinct space usage. For example, fabricators such as ceramists, glass artists, sculptors, etc. have distinctly different space needs than individual visual artists engaged in a painting or drawing practice. Thus two different focus groups to address these two different types of visual arts practice were created. Similarly, artists working in the music discipline were divided into two different groups: amplified music (i.e. rock / jazz) and acoustic music (orchestral, operatic, roots / folk).

During these conversations, participants were asked to share their thoughts about current workspaces, and what types of workspace features were most important to them. Three primary questions were used for all groups:

**Question 1 – Describe the ideal creative space for your work and for artists working in your discipline. List your ideal discipline related space amenities.**

Each participant received a 'menu' listing 50 attributes and was asked to identify the top ten (more were allowed) that were perceived priorities for their ideal space.

**Question 2 - What is your greatest space related issue or challenge?**

Contrasting and comparing answers to Questions 1 and 2 provided:

- Insight into the needs of artists working in different disciplines
- Identification of design criteria for the different disciplines
- Ideas about different uses and the relevant design issues
- Plausibility of collaborative space sharing, the benefits and barriers
- Criteria for the development and design of effective/useful creative work spaces.

**Question 3 - Discuss collaborative space sharing. What would this look like for you and those working in your discipline?**

The final question turned out, based on exit survey responses, to be the most relevant question, and the one that generated the most conversation.

In some focus groups, a follow-up question was added: 'What is keeping artists from exploring collaborative space sharing now?' This provided insight into the barriers to collaboration and suggested the challenges that may be encountered in future development of co-located or shared spaces.

In addition to these questions, participants were asked to list examples of ideal creative spaces to be explored by planners and designers in developing future space. These are provided in Appendix C.



Bumbershoot  
Theatre rehearsal  
  
Photo: Trance  
Blackman





## Focus Group #1: Visual Arts

### Top Attributes for Visual Arts Spaces

high intensity lighting
open space
high ceilings / good walls
loading Area
secure storage
gallery space
retail space
high speed internet
access to group gathering space
parking
Natural light
access to space 24/7
bathrooms
concrete floors
freight elevator
special ventilation and plumbing
Sound proofing
office administration
ground level access
fabrication space
large open space--dividable
elevator access

### Space-Related Challenges

Parking
Funding; grants to help pay for space
Affordability - \$350 / mo is the threshold – RCA is too expensive and we can't get into it
Not enough working space
Lack of storage, including large scale
There are spaces available but most of them aren't really suitable for studio use – artists always end up using their own resources to create usable spaces
Accessibility (physical, and time of day)
Visibility
Individual studios need to have adjacent spaces for exhibitions, community gatherings and meetings
Zoning/permits
Autonomy and control over how and when space gets used
Space dictates what artist can do – artists may work smaller because they can't store their work or don't have a car

### Ideas

Culture Crawl (like Vancouver East)
Live/Work spaces for artists
City Arts Directory (Map + App)
Co-ops
Convert older or unused buildings into art spaces (i.e. churches, schools, commercial buildings)
Artists are moving away; we are losing 'critical mass' making it harder to be visible and work as a cluster
Cultural District is not fully developed; needs more signage
More spaces for exhibiting work that is not tied to selling work
Need more awareness of spaces available and space needs
Shared reference library
Partnerships regarding administration and skill development
Partnership in managing collaborative/ shared space.
Create short term studio space availability for visiting artists
Someone needs to play a coordinating role for space
Venues located close together more critical mass.
A la carte storage based on needs
Connecting and engaging community in the space
Space functioning as a cultural hub – building awareness of how we work as artists

### Space Sharing – Challenges & Ideas

How to deal with security
24/7 access
Would all studios be in use at the same time and would this work?
Storage for work in progress, completed work, tools, equipment, supplies
Balancing individual and group needs
Some activities may have health implications for others using the space
Managing personalities



## Focus Group #2: Theatre

### Top Attributes for Theatre Spaces

Black Box / open space
150 Seat theatre or equivalent (intimate, flexible, multi-purpose and capable of multiple configurations)
audio visual and multi media capabilities (clamp on/clamp off)
loading Dock (measure entire space from truck to stage/shop)
make space idiot proof and not too precious; accessible, affordable, create an incubator
access – elevators, freight, wheelchairs and railings
social space for performers – kitchenette, private washroom, greenroom with lockers for belongings
rehearsal space - dressing rooms, sprung floor, wing space, mirrors, good acoustics, sound piped in, soundproof
secure storage for both performance and rehearsal spaces
fabrication space/technical shop - proper ventilation, paint sink, costume shop, soundproof
adequate wiring/power for both light and sound – anticipate future needs; emergency power, surge protectors
performance space – wings, fly gallery, catwalks, cable grid for lighting
visible and open public interface
solid operational support for technical, janitorial, security, box office etc
centralized location - attracting audiences, public transit

### Space Related Challenges

greater access to rehearsal space
the KCT Black Box needs dressing rooms and access to fabrication space.
there is a need to know what spaces currently exist in the City of Kelowna and are available for rehearsal and performance of theatrical productions
local theatre needs greater space availability and access – spaces are being booked/rented by touring acts and reducing access for local
review regulations re: pyrotechnics and other needs
maintenance of theatrical equipment. Budget for depreciation and replacement of equipment.

### Ideas

Need to attract talented and competent designers and technicians. This could be supported through a cost-sharing arrangement by the productions using these services.
Greater event coordination to get maximum use of available spaces is required.
Website listings and marketing a brand “Uniquely Okanagan” being developed through the increasing number of cross-disciplinary events.
Could the Black Box become the shared community theatre space?
Need for affordable spaces for rehearsal and performance and administration, especially if shared.
Consider building relationships with local owners/developers to enliven retail space that is available and waiting to be leased.
Borrow non-sanctioned spaces for performance.

### Space Sharing – Challenges & Ideas

Shared space creates a community culture and can become a “Community Incubator”, which nurtures synergy within the discipline and increases professionalism. It can also result in reduced cost for the groups sharing the space. A cluster of multiple functions can take place in a shared space from administration to workshops
What spaces for what functions can be shared? Fabrication-Rehearsal-Administration-Social Space/Cafeteria-Presentation space for all types of performance
Centralized Shared Facility = Pooled Resources Shared Rehearsal, Storage, Social Space Shared Woodworking Shop, Flats, Sets, Props Administration Space with Wifi Public Relations & Marketing functions
<b><i>What prevents groups from collaborating and exploring shared space now?</i></b> Essentially theatre groups are focused on their individual work and there has not been an opportunity to gather to discuss how theatre groups might work together to address some of the identified needs. A follow up meeting was planned.



## Focus Group #3: Screen Based

### Top Attributes for Film/Screen Spaces

loading dock at ground level
high Speed Internet available 24/7 to transmit large animation and video files
Black Box
open space
soundproofing
secure storage
high intensity lighting
oversized doors
ground level location
administrative/office space for visiting producers
large windows for non-studio spaces
high ceilings for large sets
reinforced floors
non-combustible construction
shared common area
access to group gathering space
special ventilation – media needs consistent temperature controls
support for specialized film gear
parking for visiting producers. Have 50+ spaces for film crews and workers during screenings. Film industry needs parking for trailers on film site.
for small productions, Film Factory is a good model
for large productions need a large studio/sound stage (20,000 sf) located away from city noise with lots of space for film trailers and other vehicles.

### Space Related Challenges

Loss of Paramount Theatre for screenings
Mary Irwin Theatre is ideal for smaller screenings but it is heavily booked in advance and not that available/affordable
Black Box is too small / not suitable for screenings – raked seating needed
Lack of screening space at UBCO
Lack of storage for out-of-town productions
Lack of soundstage/film infrastructure
Lack of pre-existing fiber internet
Kelowna is vastly under equipped to host large film productions. Kelowna needs infrastructure to support them.
There is a lack of hotel space during the busy tourist season. Film crews are often on location for seven months. (August – February)

### Film Commission perspective

There are two different screen Based industries. There are two ways to grow them. Is the City of Kelowna supporting the local grass roots arts community or is it planning for the future and the growth of the film industry in the City?

- “How do we get more people creating?”
- “Do we have the facilities required to support the artists and the makers?”
- “Is there support in the community through the City or corporate sector to pull in professionals?”

Bringing in professional productions will help grow local skills and jobs. “One day on set is equivalent to one month of film school.” Currently 50% of crews come from out of town. There are 800 union workers in the Okanagan Valley who are going to Vancouver or Toronto to work. Large films have 200 roles/jobs and require experienced workers. There are currently not enough talented skilled people to meet the need. Commercialization of the industry will enable filmmakers to make a living. It is not possible to be a full time filmmaker in Kelowna at this time.

- Develop a ‘Culture of Creation’
- Professionalize the local talent
- Commercialize the industry

### Other Ideas

Kamloops is doing lots of films. Penticton has a very permissive policy of “Shoot wherever you want.” Kelowna has a time consuming process requiring permits and insurance so filmmakers and producers go elsewhere. “Kelowna needs to be hungrier”. Film productions generate a five fold economic impact.

A need for an existing inventory of Creative Spaces to ensure spaces already created meet existing needs.

tax credits for out-of-town crew.

access to specialized gear and space for film in particular postproduction.

updated and comprehensive list of shooting locations and the showcasing of the best locations.

There is a lot of cross over between film and theatre with use of costumes and props and set building. However the technical needs are very different. The biggest difference is the lighting requirements.

Ensuring there is professional and skilled management and technical staff in any facility is important.

Consider convening an additional focus group with technical directors in existing spaces or local groups to determine what the tech needs are



## Focus Group #4: Amplified Music

### Top Attributes for Amplified Music Spaces (outdoor marked 'O')

Shared common area and washrooms
Access to external Services/amenities
Private washroom for artists
loading area/dock – convenient, safe
Backstage areas for staging/assembling large groups
access to public transit
ground level location
specialized wiring for light and sound
Secure storage
Retail space
Dividable, soundproof spaces
Multiple safe exits
Non-combustible Construction
Access to gathering spaces for visitors, classes
Good ventilation, heating, air conditioning
Admin/office space for running shows and events
High speed internet
Range of public and privately operated venues in different sizes/capacities for all types of genres and shows including all ages
O - Ground plating for electrical
O – open spaces where capacity and noise is not a concern
O – loading/parking for performers and organizers
O – multiple exits / manageable crowd control
O – access by transit
O – structural supports for lighting/sound equipment
O – performers amenities (dressing room etc)

### Space Related Challenges

Local venues closing down (Streaming Café, Minstrel Café, Flashbacks) means loss of work for musicians
By-laws – noise complaints for house concerts, outdoor concerts and some venues
Affordable liability insurance
Seasonality – summer months are tough for some venues because of competition from free outdoor music and loss of regular audience
Lack of rehearsal space
Lack of access to existing spaces in churches and schools especially OKM black box
Soundproofing is expensive

Need venues in a location where music can be loud into late night hours without getting complaints
Musicians are making and playing music at home but residential interface is a problem. Need live/work spaces where musicians are welcome.
Affordability and availability of venues
Take out some of the front row seats to create dancefloor, allow for more interaction
Higher costs=higher risks for presenting venues
Lack of experienced technicians in community and at venues.
KCT is too small for some shows such as the Wentworth Music School – up to 200 turned away per performance
Prospera Place sound quality depends on the show.

### Other Challenges

Learning gap for young musicians after they leave school – no local bridge into music as a career. Music BC doesn't have a presence here anymore.
Venues and musicians need more profile and visibility
The way people are listening to music has changed – live music may not have a guaranteed audience
Local broadcasters not supporting or playing local talent – contributes to lack of audience
No major annual music festivals in Kelowna
Grant funding is not structured to help private venues; grant money goes to artists and non profits
Creators may have different challenges than presenters/producers – need to find solutions for the whole ecosystem
Kelowna is a secondary market on the route between Vancouver/Victoria and Calgary/Edmonton. Ability to attract touring shows en route depends on quality venues and manageable financial risk.

### Ideas

Churches and schools have space and technical support; facilitate access to these spaces (Trinity/Willow Park/OKM Black Box)
Shared equipment and movable seating
Make it easier to use outdoor spaces



## Focus Group #5: Acoustic Music

Top Attributes for Acoustic Music Spaces
Secure storage for instruments before, during or after show
Acoustical excellence
Ground level bays, freight elevator and connecting passages to performance and rehearsal space that are large enough to move large sets
Open gathering space with appropriate acoustics
All spaces fully accessible for audience and performers who may have physical disabilities
Dividable practice and performance spaces
Sound separation between rehearsal and performance spaces, and between rehearsal spaces
Quiet space (no outside noise)
Loading dock/delivery area ground level
Admin/office space with meeting room(s)
High speed internet
Shared washrooms, common room, kitchen
Greenrooms/ dressing rooms with private washrooms
Access to public transit
High intensity lighting
High ceilings over 10 feet
Gallery space
Orchestra pit with hydraulic lift; clear sightlines between conductor and performers
Quality pianos in both rehearsal and performance spaces
risers
Movable stage / configurable seating
Comfortable audience seating with good sightlines
In house box office
parking

Space-Related Challenges
Storage
Acoustics
Venue size: Mary Irwin too small, KCT too large – need something in between
Spaces not versatile or configurable
Lack of rehearsal space
Access to performance space; need to book a year or more ahead to get the dates you want
Not enough skilled technicians
Gaining access to other spaces such as churches and schools is difficult

Ideas
Shared administration and meeting space with appropriate equipment
Shared space can provide collective efficacy
Shared production space can incubate new artistic collaboration
Other things that could be shared: set shop, storage, vehicle rentals
Make it affordable
Some kind of calendar or database about space availability and matching the size of the facility to the performance

### What prevents groups from collaborating and exploring shared space now?

- Building the community to share space
- Finding space
- Cost and affordability of space (sponsor may be needed)
- Organizing and managing the shared space
- Time currently focused on next event





## Focus Group #6: Venues/Schools

### Top Attributes for Venues Used by Students in the Arts

Good acoustics
Good quality pianos in a range of spaces
Good soundproofing between spaces
Studio/rehearsal spaces in a range of sizes for small, medium and large ensembles
Studios and rehearsal rooms which are available in after school hours
Public classroom space
Flexible zoning to accommodate arts education facilities in industrial or other areas where noise, etc will not be an issue
Set shop and fabrication space
Storage
Flexible seating and staging options
Bigger might not be better – if house size is less than 250 seats, this makes licensing of works to be performed more affordable

### Space-Related Challenges

KCT too large; RCA theatre too small for many student performances
Wentworth Music School needs 1200 seats – KCT too small for its student shows
Lack of rehearsal and performance space especially in after-school hours
Many performance spaces either lack pianos or have poor quality pianos
Rehearsal spaces hard to find for larger ensembles
Performance spaces are heavily booked and need to be secured too far in advance; not available on dates needed by the schools
Can't find extra space to build and store sets
Large spaces can be found in industrial areas but they can't be used/zoned for educational/school.
Access to spaces in churches and other schools can be affected by sudden policy or administrative changes – unpredictable and hard to get into.
Outdoor performance spaces like Island Stage are too small for large ensembles and acoustics/sound bleed are not conducive for classical music.
Affordability – need a place where an amateur artist can perform and 'not lose their shirt'

### Ideas

Outdoor screening space for Metropolitan Opera broadcasts
Cafes offering informal classical performance
More open and visible rehearsals
Intimate outdoor space where artists can perform and promote upcoming concerts
More opportunities for young students to perform in conjunction with other events (i.e. before OSO or Chamber Music concerts, Jazz Jams, etc)
More music appreciation education for audiences, perhaps in conjunction with performances

### Space-Sharing Ideas

Objective management practices to ensure fair access to practice rooms and teaching studios
Co-op model worth considering
Look at models of how shared space is administered and paid for



## Focus Group #7: Fabricators

### Top Attributes for Fabrication Spaces

Industrial plumbing – drains, traps, hose bibs
Specialized ventilation – fumes, heat, dust
Secure outdoor working area
Gallery and retail space
Soundproofing
Specialized utilities - i.e. triple phase electric for kilns and lots of outlets for specialized tools. Multiple outlets and dedicated circuits in floors and walls.
Cleanable polished concrete floors
Loading dock - oversized doors – ground floor or, if not, a freight elevator
Shared washroom and kitchen
High ceiling over 10 ft.
Dividable space
High intensity lighting or natural light in gallery and studios
Classroom space – audio/visual
Administration space
Public gathering space 1600 to 2000 sf
High speed internet
Secure storage, both indoor and outdoor spaces
Parking

### Space-Related Challenges

Artists want exposure and visibility to customers but this is balanced against need to get work done and not be interrupted by visiting public
24/7 access is essential – some processes are multi-day (i.e. kiln firing) and need to be checked at regular intervals during 24 hour or longer cycle
Downtown location is ideal but shared space outside the downtown core can become a destination
Public needs to be separated from areas where hazardous materials or equipment is used
Sealed surfaces (walls, floors, ceilings) to make clean up easier
Some groups (i.e. quilters) are quite large – 180 members gather weekly. Need space, power for machines, tables etc
Studios are expensive to establish
Industrial type spaces are not available in locations which are easily accessible by visiting public

### Ideas

If there were a shared space outside the downtown area with a concentration of fabricators, it would become a destination and attract buyers and tourists.
It would be ideal to have a Makers Space that shares access to 3D printers, laser cutters Robotics and electronics and shares Storage and provides the makers mentorship/training.
Two buildings/spaces are really needed; one for fabrication and one for the consumption of the art by the public
Don't build a building that does not meet the identified needs of arts producers. Raise the additional \$\$\$ needed to make it functional. In other words don't settle for less than what is needed based on funds raised.
Do not duplicate existing facilities when planning a new one.
Facility needs to work for the artists and the process and how artists use the space needs to be transparent for visitors to see.
Many artists have found their own solutions for studio space; what they really need most is to sell more work. How will an open or shared studio help artists sell more work?
Artists as private businesses is a different model than non profit model. May not fit together that well.



## Focus Group #8: Dance

### Top Attributes for Dance Studio Spaces

Sprung wood floor
Private dressing rooms – shared can be OK as long as there is lockable storage for regular users
Shared washroom OK as long as there is private dressing room space for professional costume fittings
Parking and pick up/drop off area for students
High ceilings
Ground level loading area with oversized doors
Freight elevator
Secure storage
Administration office space
High speed internet
Sound proofing – for music and for dance forms such as highland and tap
Kitchen – can be shared
Access to group gathering space
Access to public transit
Open dividable space – no pillars
Large windows
Natural light – morning only
Quiet space – no noise from internal or external sources
Multiple safe exits
Special equipment – i.e. sound equipment
Air conditioning / ventilation
Secure places for dancers to put their belongings instead of storing in the hallways while in class.

### Top Attributes for Dance Performance Spaces

Safe dance floor
Wing space and fly space
Climate controlled, secure storage for costumes and props
At least 500 raked seats – up to 1500 – maintain excellent sightlines
Adjacent, but separate rehearsal hall so that performance space can be set up during rehearsals
Front of house/lobby space for receptions – dividable for different types of events
A strong cancelation policy must be put in place and enforced.

### Space Related Challenges

RCA theatre stage not safe or big enough for dance. Theatre design was not well planned.

Professional companies and community groups have very different needs. Different types and styles of dance have very different needs. It may not be ideal to try to combine them in one facility. Would require thoughtful planning. Scotia Dance Centre model has had challenges. Examples:

- A ten-year plan for meeting the needs of community dance was outgrown with professional company moving into the building.
- Turning an old bank into a dance centre didn't recognize limitations from the location. Loading docks need to be designed with enough room to be accessed from the road.
- Facility has a small footprint with multiple floors affecting how users access the spaces (i.e. dressing rooms on a different floor from rehearsal studios)

Allocation – how do you manage prioritization between professional groups and community groups? Who gets priority for use of stage and rehearsal space? How is enough time set aside in studio spaces for creation of new work vs weekly classes?

Have a separate entrance area for short term users so that they are not going through professional or resident company areas.

Building signage outside and inside the facility to provide visibility for the resident company is needed.

Noise is an issue.

Dance floor safety and maintenance for different dance forms. Tap dancers can't use the same room as ballet or jazz.

Confidentiality of individual groups information.

Community groups feel marginalized. Need to work together more and have cross pollination with professional groups. Shared space would be a benefit.

## APPENDIX A - Creative Spaces Survey

The survey attracted 181 respondents, 63 of whom identified groups they represent. Not all respondents completed all sections of the survey – this was anticipated. Some information from the survey (for example, space attributes and challenges, models from elsewhere in the world) has been incorporated into previous sections of this report and is not repeated here.

The following highlights reveal additional information about artists and creative space needs in Kelowna:

- Artists of all ages are represented in the survey: 20% aged 18-34, 20% aged 35-44, 33% aged 45-59 and 26% aged 60+;
- More women (62%) than men (37%) responded;
- The majority of respondents are either self-employed (37%) or employed full-time in an arts occupation (28%). 17% are employed full-time in a non-arts occupation and another 9% are students;
- 43% earn less than 10% of their total income from their art. 26% earn 100% of their total income from art. 48% of respondents indicate income from all sources below \$40,000 per year;
- Respondents are from a wide range of art practice including 2D visual art (19%), music (15%), arts administration (15%), theatre (10%), fabrication (9%), fibre art (6%), and dance and media (each 5%);
- 40% of artists are working at home, but 68% of them would prefer to have a separate location for their studios. Affordability was the single most important factor influencing their choice of studio, followed by the physical characteristics of the space and the proximity of the space to their home;
- 44% of artists are sole occupants of their studios; 56% of them are sharing space with other individuals or organizations. When asked about their 'dream' spaces, sharing was still a preferred option for 51% of artists;
- For those artists not working at a home studio, 43% of them get to their studio by car. 18% of them walk or bike, and only 4% of them carpool or use transit;
- More than 60% of artists have been in their current space for at least 3 years and 41% of those have been in their current space for more than 5 years. 41% of artists are working in the downtown area, with another 25% in urban centres and 31% in suburban areas. Regardless of discipline, 68% of artists prefer to be in a downtown or central location;
- The single biggest challenge for artists in their current studios is size; the spaces are too small. Other significant constraints were the need for costly upgrades and renovations, limited hours of access and not enough parking. Noise from practices and processes was identified by 55% of fabrication artists as another factor limiting where their studio can be located and when they can work;
- Awareness of zoning, permits and licensing is low. 68% of respondents do not know the zoning for their current studio location. Only 26% of respondents have applied for a business license.

## APPENDIX B - Focus Group Invitation (sample)



Greetings from the City of Kelowna Cultural Services Branch:

In order to inform long-range planning for cultural infrastructure and development of cultural policy and programs, the City of Kelowna is gathering information about the creative space needs of visual and performing artists.

Information is being collected through:

- 1) An online survey which is available until July 3, 2016 - the survey will take approximately 20 minutes to complete and asks for detailed information about current and desired creative workspaces, discipline-specific features, and good examples of studio and performance spaces from elsewhere. We encourage you to complete the survey and share your perspective and would also appreciate it if you could pass along the following survey link within your network of visual arts colleagues and encourage them to participate: <http://fluidsurveys.com/surveys/kelowna/creative-space-needs-issues-survey/>
- 2) A series of discipline-specific focus groups. Each focus group of up to 20 invited participants will, with the help of a facilitator, delve into:
  - Creative/production spaces currently being used by independent artists and arts groups
  - Problems and issues being encountered by artists and groups in their current spaces, or in trying to find new spaces
  - Space needs unique to various artistic disciplines
  - Opportunities for collaborative space development and space-sharing

This is your invitation, as a connector or incubator in Kelowna's visual arts community, to join the Visual Arts Focus Group on **Wednesday May 25<sup>th</sup> 4:00-6:00pm** at the Rotary Centre for the Arts - Boardroom (2<sup>nd</sup> floor).

Please respond by email to Caroline Ivey at [civey@kelowna.ca](mailto:civey@kelowna.ca) by May 23<sup>rd</sup>. If you cannot attend, we hope that you can provide us with a recommendation for an alternate who can represent the interests of the visual arts community. We would appreciate it if you did not circulate this invitation further; our office will directly contact any alternates you recommend.

Finally, as a further consultation option, I am happy to meet with you in person to discuss any specific interests you or your organization may have regarding studio or performance space. My contact information appears below.

We look forward to your participation in the survey and focus group and welcome your engagement in this important process.

Thank you.

Sandra Kochan JD  
Cultural Services Manager  
250-469-8935 | [skochan@kelowna.ca](mailto:skochan@kelowna.ca)



## APPENDIX C - Artists Picks - Creative Spaces Around the World

Each of the Focus Groups was asked to contribute recommendations for a favourite or ideal creative space that could serve as inspiration for development of new spaces in Kelowna. The following is a selection of recommendations, with links and basic information about capacity/format.

### Small to Mid-Sized Performance

#### Venues (up to 1,500 seats)

- [The Dream Café](#), Penticton, BC (110 seats)
- [Pabst Theatre](#), Milwaukee, WI (1339 seats)
- [Firehall Arts Centre](#), Vancouver, BC (136 to 174 flex seating with rehearsal studio, gallery, lobby and courtyard)
- [Anvil Centre Theatre](#), New Westminster, BC (361 retractable seats, non-proscenium convertible stage, access to adjacent conference centre amenities)
- [Roundhouse Performance Centre](#), Vancouver, BC (250 collapsible seats, access to community centre amenities)
- [The Bell Performing Arts Centre](#), Surrey, BC (1052 seats on balcony and orchestra levels)
- [Commodore Ball Room](#), Vancouver (250-900 seats depending on set-up; The Bottleneck adjacent bookable space—capacity 85 people)
- [Vernon District and Performing Arts Centre](#), Vernon, BC (750 seats with orchestra pit, adjacent Black Box capacity 100, box office, lobby with bar/concession)
- [Artscape Sandbox](#), Toronto ON (6000 sq ft flex space for performance or events with main event space, green room, lobby, bar and kitchen, capacity 150 theatre up to 200 reception)
- [Jerwood DanceHouse](#), Ipswich UK (200 seat studio theatre, 3 dance studios, meeting room, gallery, café)
- [Walker Art Centre](#), Minneapolis, MN (340 seat Walker Cinema, 385 seat McGuire

Theatre, 4 event/reception rooms including outdoor terrace)

[Sadler's Wells](#), London UK (Peacock Theatre 975 seats, Sadlers Wells Theatre 1500 seats, Lilian Baylis Studio Theatre 200 configurable seats, 3 rehearsal studios, reception and meeting rooms, resident dance companies)

### Large Performance Venues (1,500+ seats)

- [National Arts Centre](#), Ottawa, ON (Southam Hall 2,065 seats; Theatre Hall 897 seats; Studio Hall 250-300 seats; Fourth Stage event space in development; on site restaurant, bookable banquet/event rooms)
- [Four Seasons Centre for the Performing Arts](#), Toronto, ON (resident companies are The National Ballet of Canada and Canadian Opera Company; main auditorium 2163 seats, main lobby 1800, VIP Lounge 225, amphitheatre 175, rehearsal hall 48-150, dance studio 75-150, 2 hospitality suites, 1 board room, box office)
- [Denver Performing Arts Complex](#), Denver, CO (10 performance spaces over 4 blocks; Colorado Ballet, Symphony and Opera are resident companies, Opera House 2225 seats, Concert Hall 2679 seats, Theatre 2843 seats, Stage Theatre 778 seats, Space Theatre 550 seats in the round, 5 small Black Box style spaces 100-250 capacity – note operational review is underway)

- [Portland's Centers for the Arts](#) (5 theatres in 3 buildings ranging from black box up to 2992 seats, 5 resident professional companies)

## Venues Associated with Academic Institutions

- [Bienen School of Music, Northwestern University](#), Chicago, IL (Ryan Center for the Musical Arts includes teaching studios, offices, 10 classrooms, 99 practice rooms, Pick Staiger Concert Hall 989 seats, 3 small performance spaces ranging from 120 to 400 seats; Regenstein Hall of Music provides 38 practice rooms, 200 seat Master Class Room)
- [Drama Department, University of Lethbridge](#), Lethbridge, AB (450 seat proscenium, 225 seat configurable black box, 195 seat performance lab, scene and costume shops, recording studio)
- [Okanagan Mission Secondary School](#) Theatre, Kelowna, BC (approx. 125 retractable seats, cable grid, digital sound, LED lighting)
- [Koerner Recital Hall, Vancouver Academy of Music](#), Vancouver, BC (300 seats; major capital campaign underway for significant renovations)
- [University of Victoria Phoenix Building](#), Victoria, BC (3 stages: 208 seat proscenium with orchestra pit, 194 seat thrust, 80 seat black box with movable seating – all supported by changerooms, scenery, costume, lighting and movement workshops, studios and classrooms)
- [The 25 Most Amazing University Performing Arts Centres](#)

## Unique Cultural Venues & Hubs

- [Santa Fe Opera](#), Santa Fe, NM (open air Crosby Theatre 2128 seats; Stieren Orchestra Hall for rehearsal and storage space, 10 acre campus with offices, cantina and other amenities)

- [Centre Stage at Surrey City Hall](#), Surrey, BC (200 seats, fully equipped performance venue, doubles as Council Chambers, access to City Hall Atrium and support amenities)
- [Oregon Shakespeare Festival](#), Ashland, OR (three stages – two indoor theatres 871 to 961 seats total, outdoor theatre 1190 seats)
- [Covent Garden](#), London UK (theatre, museums, galleries, shopping, restaurants, artisan market, street performers)
- [Granville Island](#), Vancouver, BC
- [CSPACE](#), Calgary, AB (1750 sf studio theatre, 1160 sf event space, 29 studio tenants including artists, theatre, galleries and NFP organizations)
- [Artists on Santa Fe](#) and [Art District on Santa Fe](#), Santa Fe Drive, Denver, CO (60 galleries and studios; First Friday ArtWalks, Third Friday Collectors Night)

## Fabrication & Makerspaces

- [Vernon Community Arts Centre](#), Vernon, BC (studios for clay, glass, glazing, 2D, performing arts, and youth, along with gallery, library and events. Drop in available for studios.)
- [Malaspina Printmaking Society](#), Vancouver, BC (short and long term printmaking studio rentals with access to extensive equipment inventory)
- [MakerLabs](#), Vancouver, BC (26,000 sf space with materials store and tools including laser cutter, CNC router, 3D printers and scanners, woodshop, metal shop, softshop, plotter, electronics lab, software and photography. Monthly membership and studio rental available as well as classes, events and custom fabrication)
- [The Vancouver Tool Library](#), Vancouver, BC (cooperative tool lending library, membership gives access to tool inventory, workshops)

- [Arts Factory](#), Vancouver, BC (21,000 sf workshops, studios, offices and common areas – primarily for fabrication-based practice)
- [Devon House Craft Centre](#), St. John's, NFLD (craft gallery, gift shop, library and resource centre, offices, public access community clay studio, incubation studio located in heritage building)

## Visual Arts Studios

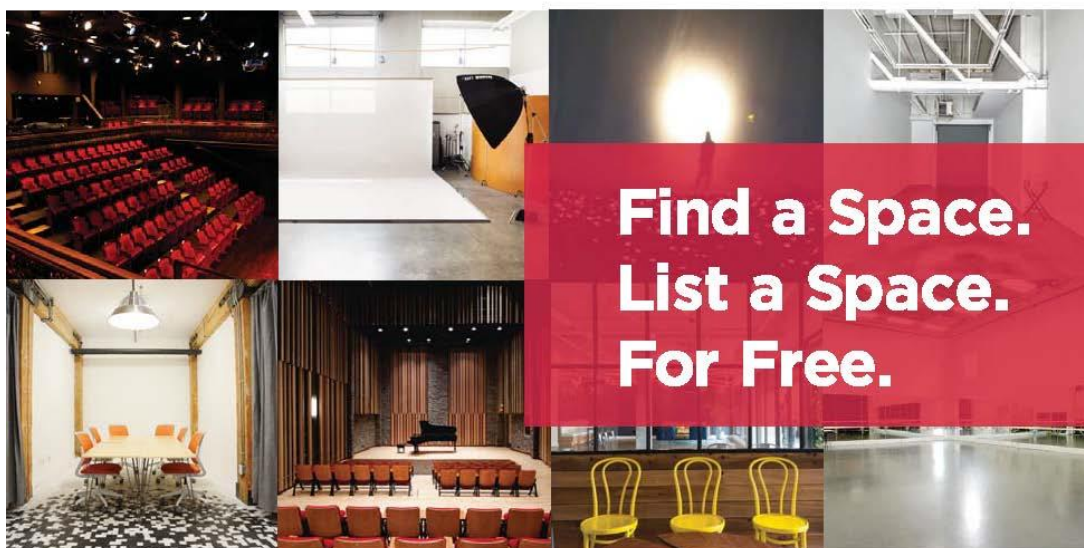
- [The Torpedo Factory Arts Centre](#), Alexandria, VA (82 artist studios, 7 galleries, 2 workshops, museum, café, retail, school, rental spaces)
- [TwispWorks](#), Twisp, WA (12+ artist studios, interpretive centre, gardens, classes, festivals and events, public art, community plaza – associated with Methow Made economic development initiative for rural areas in transition)
- [Ellis Art Studios](#), Kelowna, BC (24/7 access to studio spaces, shared open workspace, 1400 sf workshop/classroom space, master classes, events)



Main Auditorium  
Kelowna Community Theatre

## Creative Spaces Initiatives

- [Artscape](#), Toronto ON (projects range from culture-led urban regeneration to housing and studio development; now active in Vancouver; consulting services available)
- [Artspace](#), across the US in 20+ states (national leader in developing affordable space that meets the needs of artists through new construction and adaptive reuse of historic buildings)
- [Creative Spaces Program](#), Melbourne, AU (brokering or creating affordable space for creative industries, free listings of space)
- [SpaceFinder BC](#) (free listing or search for arts or creative venues)



**Find a Space.  
List a Space.  
For Free.**



**SpaceFinder BC**  
BY FRACTURED ATLAS

**Helping artists and venues  
find each other.**



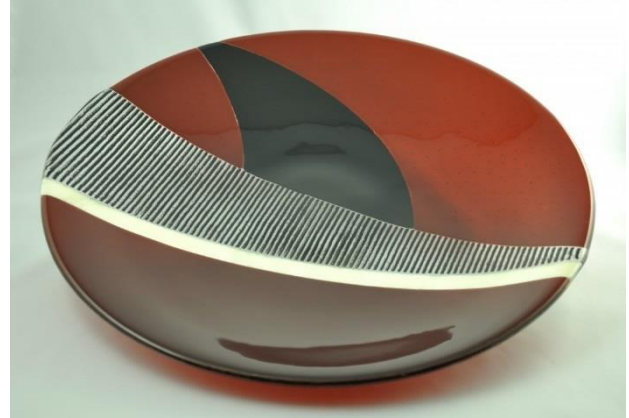
## APPENDIX D - La Luz Glassworks Studio – Case Study



L: Joanne  
McKechnie

R: Tomato Red &  
Black Strip Plate

All photos  
contributed by  
Joanne  
McKechnie



### [La Luz Glassworks Studio](#)

Joanne McKechnie is a practicing glass artist in Kelowna, BC. After more than 30 years making stained glass, she started exploring warm glass or kiln glass manufacturing, and uses a range of equipment including kilns, sand blasters, saws, sanders, grinders and polishers.

She has pursued ongoing skill development through classes at Bullseye Glass in Portland, Corning Glass in upstate NY, Urban Glass in NYC and more.

She is represented by Hambleton Gallery in Kelowna, and was commissioned to create architectural glass for a new Okanagan winery in 2016.

She kindly agreed to share her story about the challenges of establishing a working glass studio in Kelowna.

### Downtown Location Needed

'A downtown location was important for me,' Joanne begins, 'because I live downtown, and need to be able to check on the kiln several times a day, and during odd hours, during a firing. My husband and I share a car, so being able to walk to the studio makes things easier. Plus I wanted to be connected to the active arts community in and around the Cultural District; I didn't want to be in an isolated location.'

### Location #1 – 2011/12

'From November 2011 to October 2012 I rented a small studio space in an empty building in the downtown area. I spent \$550 upgrading the

electrical service. Access to water and a drain was in a bathroom down the hall. The main space adjacent to the studio was leased to a coffee shop which wanted to redevelop the entire space, so I had to move out.'

### Location #2 – 2012 to 2015

'From November 2012 to October 2015 I had my studio in a small shed on a property on St. Paul Street. I spent about \$500 installing a used window and upgrading the electrical. Water access was from a hose attached to the main building. The only drainage available was by dumping used water down the drain in the back lane. Heating was limited and there was no air conditioning.



While this space was conveniently located I became interested in opportunities to work more collaboratively with other artists in the downtown area. So, in fall 2014, I started enquiring about the studio spaces at the Rotary Centre for the Arts. Space was not available at that time but I completed an application and believe I am still on a wait list but have heard nothing from the RCA since I applied in April 2015.

In 2015 I became aware that the property I was renting on St. Paul Street was listed for sale and without access to the RCA or other affordable rental spaces in the immediate area, I started looking at other options.'

### Location #3 - 2015

'I purchased a small house on Clement Ave. that had a garage. I rented the house to a tenant and started the process of getting the garage ready to use as a studio. Prior to purchasing this house, I checked with the City and was told that zoning was suitable for my studio and that both electrical and plumbing could be upgraded. The estimate for electrical upgrades came in at over \$7000 (including several thousand to Fortis for a design plan). And bringing adequate water supply into the garage would have required a new foundation. The combined cost for electrical and plumbing work made creating a studio on the property impossible. I sold the property in the summer of 2015. The property on St. Paul was sold in fall 2015 and I had to move my studio out at the end of October.'

### Location #4 - 2015

'Still unable to find a rental/lease space downtown, I purchased another space downtown. Prior to purchasing this space, I spoke with the City, an electrician and a flooring specialist to ensure that I had covered all the bases. However, the day I moved in, the fire inspector came by and questioned my studio practices and indicated I could not use my kiln in that space given the

sprinkler system. Needless to say, I was devastated. I spoke with experts about using industrial kitchen type sprinklers with higher temperature trigger points. I also enquired about having an exhaust hood installed above my kiln to mitigate any increase in temperature in the room. Neither of these were possible – the sensitive sprinklers could not be counted on to do the job and I was unable to install a vent given the building had a closed air pressure system.

I had to put my equipment and supplies in storage from November 2015 to mid-February 2016 while I looked for another space.'

### Location #5 - 2016

'In mid-February 2016 I learned about the development of a privately owned multi-space visual arts studio. The upper level was already set up and leased to a number of painters. The lower level was to be developed into 4-5 spaces for industrial artists. This seemed perfect. I was the first (and ultimately only person) to sign up for this space. I signed a month to month lease and moved into the space in mid-February 2016. There was a verbal commitment that adequate electrical, water, drainage and exhaust fans would be installed to accommodate all of the industrial spaces planned for the lower level.

By this time I was under pressure to complete a fairly large commission for architectural glass for a new winery and really had to get the studio up and running. There were some delays in getting the utilities connected. I really had to push to get the electrical in and paid \$1000 to get it done. A water tap was finally installed in May but drainage and exhaust fans never were installed.

In early May I was advised that my rent would be increasing by 50% because not all of the lower level spaces had been rented. In the end, this led to a disagreement and I left the space at the end of

May, 2016. My equipment and supplies were once again in storage as I searched for another space.'

### Location #6 – 2016/17

'In June 2016, I found another empty space on St. Paul Street. It was a bit larger and more expensive than I wanted but otherwise seemed good. I leased it effective July 1, 2016 and I negotiated a 2-year lease. The landlord agreed to help upgrade the electrical (I paid \$2000 and he paid \$500). He removed the carpets and I resurfaced the floor.

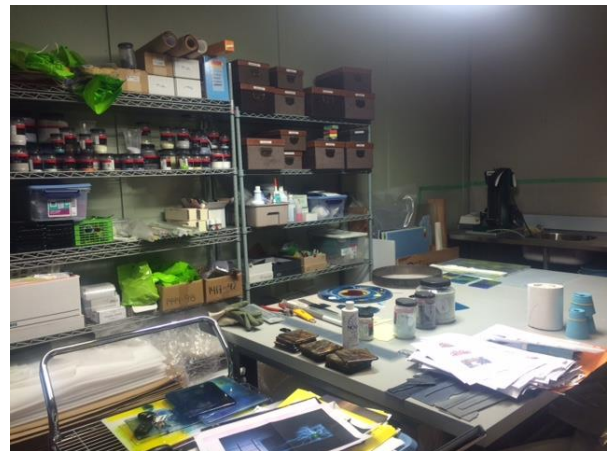
In mid-October 2016, I was notified that the building had been sold. I met with the purchaser in late October. Their plans are to gut the entire building and so all of the business tenants were asked to leave. I haven't agreed to leave yet as I have a signed lease, and the owner is trying to find me another space. However, it doesn't look promising and is discouraging. I am considering giving up on the dream of an affordable and convenient studio.'



La Luz Glassworks: current studio

### Financial, personal and creative costs

Joanne ends her story by talking about the toll this process has taken. 'It's been really stressful. Every time this happens it's a major interruption of creative energy and production. Aside from all of the extra costs in trying to get the right utilities set up, every relocation costs about \$750 just to move the materials and equipment. While I see the downtown area beginning to really develop it is clear there is very limited space available for industrial type artists. Neither the City, landlords, nor trades really understands what kind of utility services are needed for a studio like this.'



## APPENDIX E – Additional Comments and Ideas

This is a compilation of commentary received from survey respondents and Focus Group participants which is not reflected elsewhere in this report

### ON THE CULTURAL DISTRICT

I believe there needs to be more spaces for artists to exhibit their work.

Excluding coffee shops and commercial buildings, the only 3 spaces that an artist has to exhibit their talents is at the Kelowna Art Gallery, the Alternator Centre for Contemporary Art and the Rotary Centre for the Arts. all 3 are within a block from each other. While this centralizes the arts in the downtown core, it makes it seem as if the cultural district is the only place to see art.

Also, most of these spaces are limited in space, and each has an agenda to meet in regards to their mandate and artistic merit. I would love to see a space that is easier to access, where artists can test out their ideas, without the need to propose it a year in advance, or need to have it fully conceptualized.

I feel having the arts district near the arena is a folly. Most people who go to hockey games have no interest in the arts. These two groups have very little in common. The arena is also an eyesore and without enough parking they city has now become responsible to create it. It's a total pain to try and go downtown for an arts event when a game is happening. People are parked illegally all over the place including in alleyways.

It would be wonderful to work with the city to create a space to feature our many talented artists in Kelowna who produce pieces for sale. Would

there be a way to have a summer (tourist time) gallery that can be artist run. A co-op perhaps? Or a Granville Island type area where many professional hand-fabricators can be setup for the bulk of the year - something we can promote as a City of Kelowna Destination. Is there an area close to downtown to develop an "artist alley"...full of small C-Cans (storage containers) which can be outfitted with power, windows and doors...make it into a cool, hip area of town for everyone to enjoy. The Container Studios could be painted/decorated tastefully. They are an environmentally friendly and affordable structure - it's having somewhere to put them. I know I would buy one for a studio if I had somewhere to put it. How incredibly cool would it be to have an actual Artist Alley...our mini-Granville Island of professional working artists.

### ON CITY SUPPORT FOR THE ARTS IN GENERAL

Artists and art collectives keep making really valiant efforts to make things happen in this city by creating cultural events, studios and other great opportunities but they end up floundering on their own and petering out because they do not seem have the support from the city which potentially has the infrastructure and resources to help them survive and grow.

My suggestion would be to take Memorial Arena and turn it into a Granville Island style market of working artist studios and boutiques. It would also be nice to have an actual open air market down in City Park. I participated in Downtown Kelowna's

Mardi Gras or whatever it's called last year and people were so excited to see someone actually selling art as almost every other booth was a store manufactured item. The one-night event, Arts on the Avenue was the same - people raving about how good it was and why was it only one night a year. The City neglects its artists terribly in that respect. God only knows how it got called a Cultural Capital of Canada because it is terribly lacking in that respect. Glad that you're at least asking questions, it's a start.

Ideal model = Cultural Centres that are able to present the whole story of production, practice, exhibit and performance and make it accessible to producers and viewers in a welcoming environment that makes it part of everyday life

#### **ON WHETHER CREATIVE SPACES SHOULD BE SUPPORTED BY THE CITY**

When you have a beer budget you don't drink expensive wine, taxes are too high in Kelowna already. No money for public space for arts.

It has to make economic sense. The idea of artist workspace is great in a perfect world utopia but reality has to set in eventually and one must do what one can without burdening the tax payer to pay for one's personal interest.

#### **ON SPECIFIC FACILITIES**

The one place I'm familiar with and have had much feedback from artists is on the accessibility and safety of having a studio in the Rotary Centre; these limiting factors have people searching elsewhere, when it has the potential for being an art powerhouse in Kelowna.

I don't have room for a kiln or glazing materials, and am isolated as the space is in my home. I'd prefer that there be an affordable community pottery studio/multi-use 3D art space that doesn't require a membership, and which doesn't require you to buy all materials from the owner of the space, so that there's ample space for different forms of art making, a welcoming public atmosphere, and proper equipment for pottery production. There is currently no such public community pottery/3D art space in Kelowna.

An exhibition space that is accessible to local and emerging talents. Galleries program 1-3 years in advance and are limited in the number of exhibitions per year. Alternatively commercial areas like commercial galleries and coffee shops, art centres, etc. charge a commission and are limited to 2-Dimensional work. It would be great to find a space in Kelowna that you can test or experiment installation work, or test run an exhibition or project. Currently, the only place this is possible is the Alternator Centre's Members' Gallery. More spaces like these would be a great draw for artists and curators.

RCA is a beautiful building and the interior of the theatre is great. Ancillary amenities need improvement. It's very hard to get a date at Mary Irwin theatre, and from our point of view Kelowna could really use a smaller performance space which is still professional quality.

#### **ON ACCESS TO EMPTY SPACES**

There are many commercial spaces standing empty, and have been empty for many years in central Kelowna. Absentee landlords take up valuable space and there does not appear to be

any accountability or laws in place to enforce the use of those spaces. This tarnishes Kelowna's downtown. Meanwhile, there are many talented and innovative people working in the arts who need space to create and showcase their talents. This is good for tourism and the local economy. I don't have the solutions to this conundrum, but I hope that someone might.

---

Artists are very industrious they will find a way... It is unfortunate though that they are at the whim of a society that operates at the will of the almighty dollar. I have tried a few times to find studio space and it was impossible. The space I am in now I was lucky to get b/c someone else had a baby and decided to work from home. I really like what Brazen Edwards (a private) citizen created at Ellis Studios. Bravo!! There are too many absentee commercial building owners in this town and too many empty commercial spaces. One of the worst being the old Saan store?? on Bernard, my God that could be such an amazing space for so many people. Now it is the worst possible eyesore. Yuck, not proud of that part of Kelowna.

---

The idea of enlivening empty spaces has been discussed in Kelowna for over 20 years. Stores that are not currently being used, alley ways for pop up art galleries, dance performances in stairwells explore the possibility of dead space becoming creative space. Is it messy? Is it unpredictable? Is it insurable? These questions keep a city locked down. Inviting in creatives to a pop up event creates a sense of inclusivity that can contribute to vitality and enlivening the artistic community more along the lines of the way social network entities are shown to be most effective. When one group, or one person "controls" and "patrols" a space, it does not allow for cross pollination. When space must be static it does not encourage creatives to

create safe spaces out of dead areas. Visitors are thrilled when they can "find" something alive and moving. It encourages exploration of the city, exploration of the gifts that other creatives have, and exploration of possibilities. Guerrilla, Pop Up, Moving and flowing creativity can regenerate a city.

---

City needs to broaden their spectrum on culture. Not everything has to be in the RCA and in a new building & city run... In fact, small artist run spaces are what creates a uniqueness, and character, and affordability. Let artists use your empty buildings, all over the city...charge them rent, nominal...the Okanagan should not just be about wineries, this is an opportunity to make a big change do it right.

---

#### ON MARKETING AND PROMOTION

A central online "workspace"/presence in the Okanagan would be useful to help artists connect with one another, as well as connect to opportunities and funding, and share work/ideas, since a lot of us work on our own, so we can be isolated, and need more/easier ways to connect.

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Better media coverage for performing and art events.

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We need more organized marketing, perhaps a central directory, web presence to let people know we are here, what we do and where we are located.

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There needs to be some kind of information system that connects everything to do with art. Whether this is Kelowna, Okanagan, B.C. or Canada, it's in a supreme mess. The website should include submission details, exhibitions,



open studios, performance venues, online sales, shows, freebies, studio space for rent, gift shops that take art, etc. etc. etc. Presently, it is all scattered and if a tourist or local wanted to find a class, studio or event it wouldn't be time effective. I would love to help pull together such a website as a job (for pay).

Assistance with artist exposure and promotions. I have noticed and heard it's who you know in the art world but then how do you get to the important who-you-knows? I think it is a critical piece in the success of an artist.

#### ON PERFORMANCE SPACES

The biggest hurdle for our performance group is finding a practice hall with storage since our instruments are big and not very portable. Sharing with other groups would be desirable in order to keep the cost down.

New concert hall required!

There needs to be affordable space for nonprofit community arts groups to use for performance that allows them to compete with commercial performance space.

Possibility might be a multi-room theatre similar to multi-screen theatres where several performances of different types could occur in different sized venues. Would be a more visible and self-promoting space like lobbies in multi-screen theatres and could even house central vending/food service that would make it a space to be. Like the Capital News Centre except with performance rooms instead of pools and soccer.

Need a facility with an orchestra pit.

I would like to see more outdoor amphitheatre performance venues. Great for summer concerts.

For the music community, small, intimate and affordable rental spaces are a priority. This would allow more performers to put on small concerts (think local quartets, sopranos, etc.), at a lower ticket cost and a higher return on their work. This would greatly enhance the arts community in Kelowna. Also, having pianos that don't suck in those rental spaces would be a plus, as most musicians require a piano at some point.

We need a small flexible space in Kelowna. The larger stages (Mary Irwin, KCT, the college and UBCO) all have fixed stages and don't work for smaller less traditional events. Flexible seating, high ceiling, basic grid for lighting, basic admin and tech support.

The city is right to consider the needs of community performing organizations, but it also should consider what needs there may be for professional performing arts organizations, such as theatre companies, dance companies, orchestra and chamber music organizations.

#### ON SURVIVING AS AN ARTIST IN KELOWNA

I think the arts and culture sector could learn a lot by partnering with tech professionals. I believe creative people are often in great need of business advice and support. A mentoring plan would be a good place to start increase viability for artists of all disciplines. From my standpoint I see

fragmentation where collaboration needs to override.

---

There is a general feeling of artists and their work not having value in Kelowna, a starving artist mentality prevails. How can the community and municipal government facilitate partnerships, communication and cross-promotion? I can see some kind of summit being effective. My goals for artists to be autonomous while being connected to community in order to become financially viable.

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Kelowna is a great place for artists, however it is a struggle for most if not all of us to do this full-time. I'm not sure how we change this, but I would certainly like to be a part of making Kelowna known for its amazing arts community. I've had the privilege of working with hundreds of artists over years and I want to do anything in my power to help all of them succeed.

---

...everyone wants to use an artist's talent and no one wants to pay for it. We are talented people and have a lot to give, but it's hard to give when you have no income. Artists have phenomenal skills outside their artistic talents, such as marketing, social media, organization etc. and all their talents are wasted because of lack of recognition, support, and the struggle to survive.

---

My space does not allow me to work continuously on a project over an extended period of time - I am unable to leave needed materials out and accessible and must put away, clean up and store materials after each working session, both slowing productivity, limiting project expansion and generally hindering creative process. I am not able to afford a dedicated studio outside of home to increase production -yet increased production and

sales is what would enable me to afford studio space.

[M]entoring or coaching from the city when going in to a project would save time and money. Entrepreneurs often need support in the way of executing new ideas and projects. I had renovated a second space for [x] school in 2014 and found that I wasn't getting direction until after mistakes had been made and needed fixing. The result was devastating, due to extra costs I lost that business. Had I had more direction from city officials prior to renovations, in regards to permits, I may have been able to have success.

---

#### ON CO-LOCATION/SPACE-SHARING

I just recently heard about Flashbacks closing, this would be an absolutely ideal location for a co work space for artists and creatives, I believe there is a real need to support our community's cultural backbone. Also if it could be made a little easier to communicate with our policy makers regarding things such as the arts and artists' workspaces. Thanks

---

It would be great to have shared studio space in the downtown area for University-based student artists to ensure that the work that is being created at the University is accessible downtown as well.

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A community space is a utopia when you have so many egos trying to control the spaces. If a community space is created, it should be inclusive to all.

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If there is to be a shared space for arts organizations to work in and collaborate across disciplines, then please consider a general retail space for artists/groups of all genres to sell either their artwork or related items to the public. This will help to promote their art/discipline and be a source of revenue for the groups.

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Many are isolated, working from home due to affordability, and our community would be served much better if we had greater opportunity to work in shared spaces, in central spaces, even if part-time.

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Shared spaces like old schools that are divided to help with an artist community feeling would be great.

---

I think co-op space where a variety of artists can work and share ideas is ideal. Maybe with a small gallery in front of a bigger work area so work could be displayed as well as created. I like the idea of the "black box" design space which is open to reconfiguration and has movable partitions to allow for a variety of uses and tenants.

---

The biggest complaint we receive from our members across BC is that they need space to create but cannot afford individual or even shared studio space that is well lit, ventilated and accessible with free or reasonable parking. A drop-in facility, where artists could rent for a day / week / month at a time would be a great help to these artists. A room in this facility with a drop-in hourly fee, that artists shared as they worked would not only address the studio space problem, but also the complaints we receive about artists feeling cut off and isolated in their practice. Also, if planned,

designed and located right, this location could become a great tourist draw in Kelowna.

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[I have] a shared space that I am not the primary tenant in. Therefore I must accommodate everyone else's needs. Unable to install the type of equipment I really want for my work. Constantly having to move my work around others. There is very little available in the area I want for the type of work I do.

---

I'm looking for an affordable and private larger space. I am a painter and performer and I prefer to spend much of my practice alone, rather than in a public or shared space. My work is shared with others when I perform or have exhibitions. I prefer the process of creating my work to be solitary. Many of the available spaces are in shared or extremely public places.

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Finally...parking was mentioned...a lot.



Photo: Michael Hintringer

# INVITATION

## 2017 CREATIVE SPACES SUMMIT

In 2016, through an on-line survey and eight Focus Groups, more than 200 local artists shared information about the spaces they work in, challenges they are encountering in accessing the creative spaces they need, and ideas for change.

It's time to share the findings from this work and continue the conversation about Creative Spaces in Kelowna. This is an opportunity to hear from representatives of three successful creative hubs in Vancouver, and learn about new projects and resources in Kelowna which may help artists and organizations improve their access to creative spaces. It's also a chance to come together and talk more about space solutions which will nurture creative processes and success in our community.

Please join us for the:  
**2017 Creative Spaces Summit**  
**Tuesday, June 6, 2017**  
**Laurel Packinghouse (1304 Ellis Street)**  
**10:00 a.m. to 3:00 p.m.**  
Lunch will be provided.\*

**Register at [Eventbrite](#) by Thursday, June 1**

\*When responding, please advise of any special dietary requirements.

Free parking at the Library Parkade will be available for up to 30 participants (first come first served). Contact Caroline Ivey at [civey@kelowna.ca](mailto:civey@kelowna.ca) for more information.

The agenda and more information about presenters is provided on the next page.



**Creative Spaces Summit Agenda**  
**Tuesday, June 6, 2017 – 10:00 a.m. to 3:00 p.m.**  
**Laurel Packinghouse (1304 Ellis Street, Kelowna)**

<b>10:00 – 10:10</b>	<b>Welcome and Opening Remarks from Mayor Colin Basran</b>
<b>10:10 – 10:30</b>	<b>Presentation: Findings from 2016 Creative Spaces Consultations</b> Sandra Kochan, Cultural Services Manager, City of Kelowna
<b>10:30 – 11:00</b>	<b>Presentation: SpaceFinder BC</b> Rhiannon Herbert, Outreach & Database Coordinator, BC Alliance for Arts and Culture  <a href="#">SpaceFinder BC</a> increases the visibility of creative workspaces throughout the province. Venues can market unbooked rental space by creating a listing and uploading a digital calendar, while artists and public alike can discover space based on location, price, amenities, and up-to-date availability. Built by nonprofit <a href="#">Fractured Atlas</a> SpaceFinder BC is made possible through the local leadership of the <a href="#">BC Alliance for Arts + Culture</a> and is free to use. Rhiannon Herbert will provide an introduction to the SpaceFinder platform and answer questions about its use.
<b>11:00 – 11:20</b>	<b>Presentation: Let's Make a Kelowna MakerSpace!</b> Ross Ladell, Software Developer and Local Maker  Ross Ladell organizes the Okanagan Makers Group ( <a href="http://www.okanaganmakers.com">www.okanaganmakers.com</a> ), which has grown to 205 members in 2 years. They meet regularly to work on 3D printing, laser cutting/engraving, CNC and woodworking projects. The group has long since outgrown Ross' garage and in April 2017 the Okanagan Makers Society was incorporated as a society with the mission of founding a dedicated makerspace here in Kelowna. To give people a taste of what a makerspace might look like, the Okanagan Makers Society is working with the Okanagan Regional Library to bring a pop-up makerspace to the Kelowna Branch for the month of June.
<b>11:20 – 11:30</b>	10 Minute Break
<b>11:30 – 12:30</b>	<b>Panel: Making Shared Spaces Happen</b> <ul style="list-style-type: none"> <li>• Jay Dodge, Progress Lab 1422</li> <li>• Brian McBay, 1654 Franklin</li> <li>• Minna Schendlinger, The Post at 750</li> </ul> <p>Representatives from three successful creative hubs in Vancouver talk about their co-location models, expected and unexpected results of co-location, and how the arts community, government and the private sector can enable the development of shared spaces.</p>
<b>12:30 – 1:00</b>	<b>Buffet Lunch prepared by The Bike Shop Café</b>
<b>1:00 – 2:30</b>	<b>Brainstorming, inspired by the morning presentations, and focused on 3 Big Questions:</b> <ol style="list-style-type: none"> <li>a) What is the potential for creative hubs in Kelowna? Are you interested?</li> <li>b) How can the arts community mobilize its collective voice to influence businesses and property owners to get involved in providing space for artists?</li> <li>c) Given high sensitivity to tax increases in Kelowna, what do you think the City of Kelowna can/should do to improve access to creative spaces in Kelowna?</li> </ol>
<b>2:30 – 3:00</b>	<b>Learning Circle – share specific insights, themes, action items or next steps with the whole group.</b>



# Creative Spaces Update

May 29, 2017



# Overview

- ▶ Cultural Plan
- ▶ 2016 survey and focus groups
- ▶ Findings
- ▶ June 6 Creative Spaces Summit

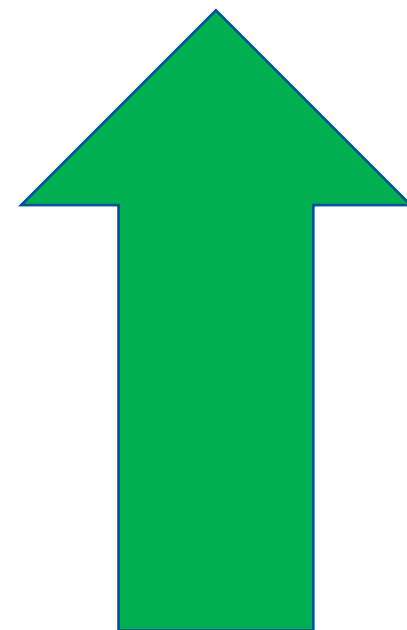
# Cultural Plan

## *Goal 3: 'Find More & Different kinds of Affordable Cultural Spaces'*

- ▶ Gathering information re: needs / challenges
- ▶ Inventory
- ▶ Providers / partners
- ▶ Potential models
- ▶ Regulatory review

# Since 2012...increasing:

- ▶ Number of artists and organizations
- ▶ Diversity of artforms
- ▶ Professional-level production
- ▶ Number of touring shows
- ▶ Theatre/rehearsal room usage
- ▶ Rental rates and fees







**THE FILM  
FACTORY**



**FORUM**  
the meeting place



**ELLIS ART  
STUDIOS**

**Okanagan Film Studios**

# Creative Spaces Survey

- ▶ Diverse range of art practice
- ▶ Artists of all ages
- ▶ 40 per cent working in home studios
- ▶ Sharing space is a preferred option for many
- ▶ Affordability is primary concern
- ▶ 66 per cent currently located in downtown or urban centre
- ▶ Earnings are low

# Focus Groups

- ▶ Eight groups
- ▶ Distinct art disciplines
- ▶ 62 participants by invitation
- ▶ Professional facilitator
- ▶ Open dialogue



# Findings - Highlights

- ▶ Demand for existing spaces exceeds supply
- ▶ Design and size of existing spaces no longer meeting needs
- ▶ Operational factors are inhibiting access
- ▶ Unique challenges for fabrication artists
- ▶ Interest in co-location
- ▶ Models for flexible, affordable 'incubation' hubs

# Inspiration





# Inspiration



# Creative Spaces Summit

► Tuesday, June 6

10:00 a.m. to 3:00 p.m.

Laurel Packinghouse

► Register through Eventbrite - free

More information: [culture@kelowna.ca](mailto:culture@kelowna.ca) or  
250-469-8474



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## *Questions?*

For more information, visit [kelowna.ca](http://kelowna.ca).

# Report to Council



**Date:** May 29, 2017  
**File:** 0710-70  
**To:** City Manager  
**From:** Tracy Guidi, Sustainability Coordinator and  
Brydan Tollefson, Energy Program Manager  
**Subject:** 2016 Climate Action Revenue Incentive Program Report

---

## **Recommendation:**

THAT Council receives, for information, the report from the Sustainability Coordinator and Energy Program Manager, dated May 29, 2017, with respect to the 2016 Climate Action Revenue Incentive Program report.

## **Purpose:**

To report on the progress made in 2016 and the plans for 2017 to meet the City's climate action goals in order to fulfill the public reporting requirement for the provincial Climate Action Revenue Incentive Program grant. Further, the report also presents the latest corporate GHG emissions data and highlights GHG emissions reduction projects.

## **Background:**

The Climate Action Revenue Incentive Program (CARIP) is a provincial conditional grant program that provides funding to local governments who have signed the BC Climate Action Charter equivalent to 100 per cent of the carbon taxes they pay directly. This funding supports local governments in their efforts to reduce greenhouse gas (GHG) emissions and to move forward on achieving their Charter goals. The City of Kelowna signed the Charter in 2007, committing to take action and develop strategies to achieve the following 3 goals:

1. Being carbon neutral in corporate operations by 2012 (the Province allows for "making progress towards becoming carbon neutral.")
2. Measure and report on community GHG emissions profile; and
3. Create complete, compact, energy efficient rural and urban communities.

As a Charter signatory, the City is eligible for the CARIP grant, provided a report on the City's plans and progress toward meeting climate action goals is made public by the June 1 deadline (see attached: *Climate Action Revenue Incentive Program (CARIP) Public Report for 2016*).



In addition to reporting publicly, Financial Services has completed the required Carbon Tax Calculation Form and will submit it to the Province alongside the Public Report. The City is requesting a return of \$227,613.47, the total amount of carbon tax the City paid directly in 2015. The funds will be placed in the Ro11 – Energy Management Rebate fund and will be used for capital or operational projects that help lower energy and greenhouse gas emissions.

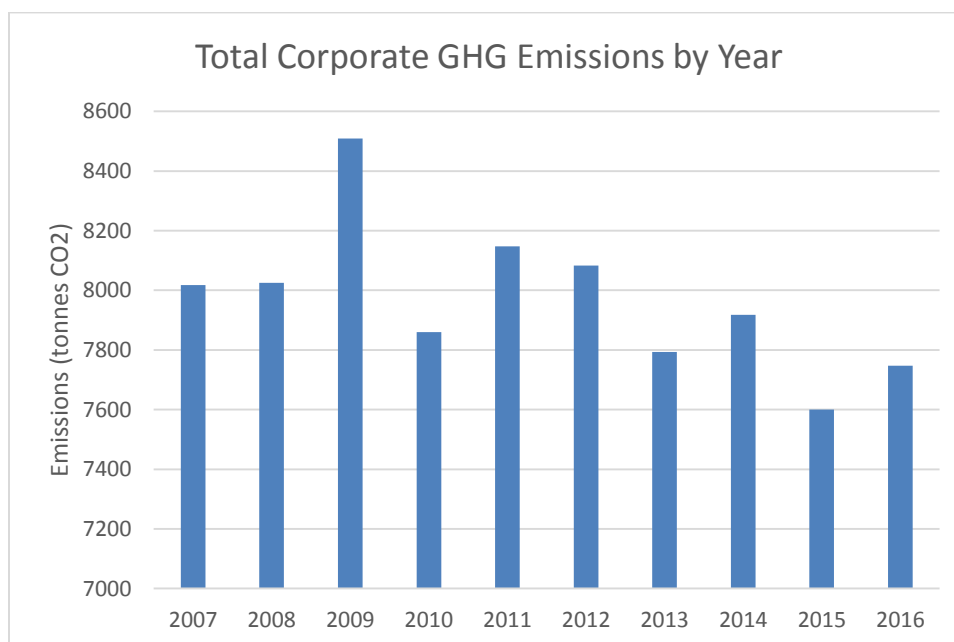
Projects to be funded are reviewed and recommended by the City's Energy Management Committee. In 2017, the fund will be used to support the LED street light retrofit project, which upon completion is estimated to save 3.5 Giga Watts of electricity each year.

### **Corporate GHG Emissions**

Corporately, the City tracks energy and emissions data from its corporate operations and this information is uploaded into the City's energy management systems. Sources for the corporations GHG emissions include:

- Civic buildings and facilities (i.e. H<sub>2</sub>O, Airport, Fire Halls, City Hall, RCMP, etc.)
- Outdoor lighting
- Water, Waste Water and Solid Waste Operations
- Vehicle fleet

Since 2007, the Corporations' total GHG emissions have declined approximately seven per cent from 8,317 tonnes of CO<sub>2</sub> in 2007 to 7,748 tonnes CO<sub>2</sub> in 2016 as illustrated in Figure 1. It should be noted that while this information is collected annually, the data is not corrected for temperature, so emissions can fluctuate significantly from year to year.



*Figure 1: Corporate GHG Emissions by Year*

The CARIP Public Report for 2016 reports Kelowna's corporate emissions at 6,022 tonnes CO<sub>2</sub> equivalent. The number differs from above, as CARIP reporting requirements do not include emissions

for airports, police or solid waste as these services are considered regional under the Climate Action Charter.

In 2016, a variety of projects and programs helped reduce corporate greenhouse gas emissions including:

- Rutland arena heat recovery project - 24,600 GJ/year savings (122 tonnes of CO<sub>2</sub>e reduced);
- City Yards boiler upgrade - 890 GJ/year savings (44 tonnes of GHG reduced);
- Capital News Center LED lighting upgrade - 686,103 kWh/year savings;
- Waste Water Treatment Facility exterior lighting upgrade - 72,165 kWh/year savings;
- Purchased 10 hybrid and 1 electric vehicle(s);
- Partnered with Ogo Car Share Co-op with city fleet vehicles;
- Successful trials of landfill gas collection by FortisBC;
- Planted 5000 ponderosa seedlings and 200 large caliper trees;
- Updated the tree inventory system – 25,000 trees on public lands in the inventory; and
- 2,450 m of leachate recirculation pipe added at the landfill.

### **Community GHG Emissions**

Community emissions are tracked by the provincial government, who have committed to producing reports every 2 years, with the current data available up to 2012. Data for 2012 shows a 3.5 per cent absolute reduction between 2007 and 2012 compared to the community growing by over nine per cent<sup>1</sup> during the same period.

In 2016, the City participated in a variety of initiatives consistent with the Official Community Plan's 33 per cent community greenhouse gas reduction target that include:

- Completed the Urban Centres Roadmap to provide performance targets for future urban centre planning related to land use, sustainable transportation, parks and open space;
- Initiated the Imagine Kelowna community engagement process to develop a long term strategic community vision for Kelowna;
- Expanded the active transportation network by 1,350m of sidewalk, 4 km of shared paths, cycle tracks and bike lanes;
- Completed 16 bus stop upgrades;
- Partnered with FortisBC to install 2 EV charging stations;
- Completed a Pedestrian and Bicycle Master Plan;
- Initiated the Regional Strategic Transportation Plan;
- Updated the Solid Waste Management Plan;
- Partnered with FortisBC to inform businesses on energy efficiency programs and rebates;
- Sold 500 large trees through the Neighbourwoods program – a residential planting initiative to encourage citizens to help grow and preserve Kelowna's urban forest;
- Sold 299 composting units to Kelowna residents;
- Hosted 4 reuse events (trunk sales and a Repair Café);
- Achieved sign-off on guiding principles for Value Planning of a Kelowna Integrated Water Supply Plan; and
- Through agricultural chipping program and woodstove exchanges, reduced GHG emissions by 51 tonnes.

---

<sup>1</sup> Population increase is approximate based on information provided in the 2006, 2011 and 2016 Canadian Census.

## **Summary**

In 2017, a multitude of projects are planned that will have an impact on corporate and community greenhouse gas emissions. These are summarized in the attached CARIP Public Report for 2016.

The City is moving forward and providing tools to help its citizens adopt a low carbon lifestyle. Projects that reduce community GHG emissions have benefits across multiple sectors, making Kelowna a stronger, healthier, more resilient community. Further, the City can be seen as a role model, as corporate emissions start to decline despite increases in infrastructure and fleet to serve a growing community.

### **Internal Circulation:**

Divisional Director, Community Planning and Strategic Investment

Divisional Director, Infrastructure

Infrastructure Operations Department Manager

Integrated Transportation Department Manager

Infrastructure Engineering Manager

Transit and Programs Manager

Parks Services Manager

Fleet Services Manager

Utility Planning Manager

Integrated Water Project Manager

Payroll and Internal Controls Manager

Landfill Supervisor

Waste Water Treatment Supervisor

Transportation Planner

Communications Advisor

Planner Specialist

Design Technician

### **Existing Policy:**

OCP Policy 6.2.1 - GHG Reduction Target and Actions. The City of Kelowna will, in partnership with: senior governments; local residents and businesses; NGOs; external agencies; and utility providers, work towards reducing community greenhouse gas emissions by 33% (from 2007 levels) by 2020.

The City of Kelowna's efforts will be focused on creating more mixed-use neighbourhoods (as identified on the OCP Future Land Use map) and on ensuring that residents can conveniently and safely travel by bus or by foot, bicycle and other forms of active transportation to get to major community destinations while ensuring the efficient movement of goods and services.

The City will support the reduced use of fossil fuels in buildings by encouraging renewable energy supplies, district energy systems and energy efficient technologies in new and existing buildings. By working with senior government partners, regulated utilities and others, the City will lead through example and strive to meet the BC Climate Action Charter targets for the reduction of GHG emissions from municipal infrastructure.

The Multiple Bottom Line framework pursuant to Council Policy 352: Sustainable Municipal Infrastructure targets climate change initiatives (mitigation and adaptation) including the reduction of GHG emissions. The corporation's goal is to reduce GHG emissions 22% below 2007 levels by 2017.

**Financial/Budgetary Considerations:**

To be eligible for the Climate Action Revenue Incentive Program (CARIP) grant, a copy of the Climate Action Revenue Incentive Program (CARIP) Public Report for 2016 must be made public and submitted to the Province by June 1, 2017. Further, Financial Services will concurrently submit the 2016 CARIP Carbon Tax Calculation Form to the Province, requesting \$227,613.47 for the 2016 reporting year.

Note: local governments that do not submit a CARIP Public Report to the Province by the deadline of June 1, 2016 will not be eligible for their CARIP Grant.

The annual CARIP grant will be placed in the Carbon Energy reserve and will be used for projects that will reduce corporate energy and GHG emissions. This reserve will also fund operational expenses, like software licenses, for data collection and reporting. Projects for 2017 will be reviewed by the Energy Management Committee and prioritized based on their business case which will include consideration for environmental and economic benefit.

**External Agency/Public Comments:**

As the Regional Waste Reduction Office provides waste reduction for the entire region, Cynthia Coates, Waste Reduction Facilitator, Regional District of Central Okanagan, provided a synopsis of waste reduction projects and programs for the CARIP report.

**Communications Comments:**

A link to the Climate Action Revenue Incentive Program (CARIP) Public Report for 2016 will be posted on the City's Climate Action webpage.

**Alternate Recommendation:**

**Considerations not applicable to this report:**

**Legal/Statutory Authority:**

**Legal/Statutory Procedural Requirements:**

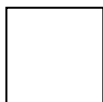
**Personnel Implications:**

Submitted by:

T. Guidi, Sustainability Coordinator

Brydan Tollefson, Energy Program Manager

**Approved for inclusion:**



DNB

Attach: Climate Action Revenue Incentive Program (CARIP) Public Report for 2016

# Climate Action Revenue Incentive Program (CARIP) Public Report for 2016

May, 2017

1435 Water Street  
Kelowna, BC V1Y 1J4  
TEL 250-469-8610  
FAX 250-862-3349  
email@kelowna.ca

kelowna.ca



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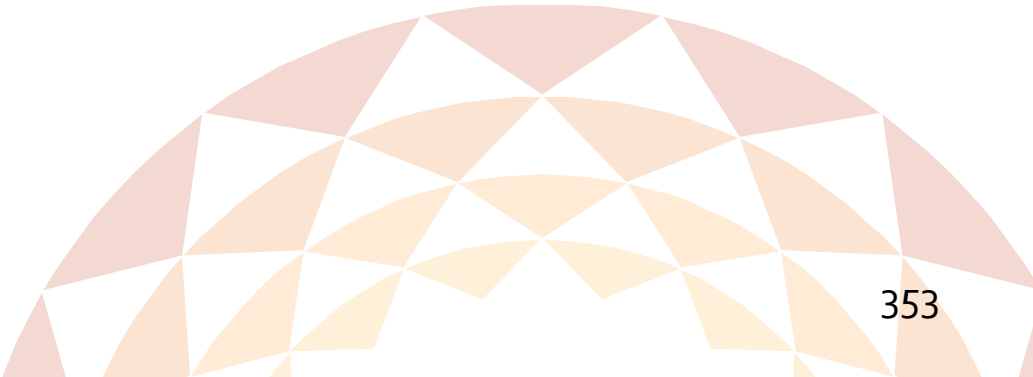
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## 2016 Broad Planning Actions

Broad Planning refers to high level planning that sets the stage for GHG emissions reductions, including plans such as Official Community Plans, Integrated Community Sustainability Plans, Climate Action Plans or Community Energy Emissions Plans. Land use planning that focuses on Smart Growth principles (compact, complete, connected, centred) plays an especially important role in energy and GHG reduction.

Community-Wide Actions Taken in 2016	
	Completed a Community for All Action Plan which focusses on seniors, children and people with diverse abilities. This Plan includes actions related to encouraging alternative transportation.
	Completed Urban Infill Challenge and drafted bylaw changes to support the densification of select urban areas.
	Completed the Urban Centres Roadmap in June 2016, strategy provides more detailed performance targets for future urban centre planning related to land use, sustainable transportation, parks and open space. Key principles and targets relate to complete communities goals, the strategy will also be used to guide future urban centre planning.
	Initiated the "Imagine Kelowna" community engagement process for the long-term strategic community vision kicked-off in May 2016.
	Pedestrian and Bicycle Master Plan completed
	Initiated work on Regional Strategic Transportation Plan.
	Updated the Solid Waste Management Plan for the Central Okanagan.
Community-Wide Actions Proposed for 2017	
	Kelowna's Community Climate Action Plan will be updated in 2017 and will establish a new target beyond 2020 and identify actions to reduce emissions from transportation, buildings, waste, planning and technology.
	Complete the bylaw changes for the urban infill challenge.
	Will be working on the Capri-Landmark Urban Centre Plan that will integrate the urban centres roadmap principles and targets and advance the city's efforts to revitalize its urban centres and promote complete communities.
	Complete "Imagine Kelowna" strategic community vision.
	Continue to work on Regional Strategic Transportation Master Plan.
	Initiate an update on the Transit Future Action Plan with BC Transit.
	Initiate work on a new Transportation Master Plan (to be completed in 2018)
	Endorse Solid Waste Management Plan for the Central Okanagan.
Corporate Actions Proposed for 2017	
	Review an update of the Corporate Energy and Emissions Plan

<b>Broad Planning</b>		
What is (are) your current GHG reduction target(s)?	The City of Kelowna will, in partnership with: senior governments; local residents and businesses; NGOs; external agencies; and utility providers, work towards reducing community greenhouse gas emissions by 33% (from 2007 levels) by 2020.	
Has your local government used the Community Energy and Emissions Inventory (CEEI) to measure progress?		<b>Yes</b>
What plans, policies or guidelines govern the implementation of climate mitigation in your community?	<ul style="list-style-type: none"> <li>• Community Energy and Emissions (CEE) Plan</li> <li>• Climate Action Plan</li> <li>• Integrated Community Sustainability Plan</li> <li>• Official Community Plan (OCP)</li> <li>• Regional Growth Strategy (RGS)</li> <li>• Do not have a plan</li> <li>• Other:</li> </ul>	<b>No</b> <b>Yes</b> <b>No</b> <b>Yes</b> <b>Yes</b> <b>No</b> <b>No</b>
Does your local government have a corporate GHG reduction plan?		<b>Yes</b>
Does your local government have a climate reserve fund or something similar?		<b>Yes</b>

## 2016 Buildings and Lighting Actions

Low-carbon buildings use the minimum amount of energy needed to provide comfort and safety for their inhabitants and tap into renewable energy sources for heating, cooling and power. These buildings can save money, especially when calculated over the long term. This category also includes reductions realized from energy efficient street lights and lights in parks or other public spaces.

Community-Wide Actions Taken in 2016	
	Partnered with FortisBC to send information on small and medium business energy efficiency programs through City commercial utility billing.
	Partnered with FortisBC to send information on small and medium business energy efficiency program through annual business license renewal letters.
Community-Wide Actions Proposed for 2017	
	The City partnered with Interior Health to send a letter of support to over 40 community organizations to encourage their members to sign up for FortisBC's Energy Conservation Assistance Program which helps low income residents save energy costs and improve efficiency.
	Assist FortisBC to distribute New Home and Renovation Rebate brochures through building permit office and inspectors.
	Work with FortisBC to distribute information on efficiency rebates for renovations, new homes and appliances through City e-bulletin.

Corporate Actions Taken in 2016	
	Rutland Arena Heat Recovery project – 2460 GJ/year savings (122 tonnes CO <sub>2</sub> e)
	City Yards Boiler Upgrade – 890 GJ/year savings (44 tonnes CO <sub>2</sub> e)
	Capital News Centre LED Lighting Upgrade 686,103 kWh/year savings
	Waste Water Treatment Facility Exterior Lighting Upgrade – 72,165 kWh/year savings
Corporate Actions Proposed for 2017	
	Commencement of LED street light retrofit – 3.5 GWh/year savings
	Memorial Parkade – LED lighting and controls project – 109,318 kWh/year
	Police Services Building – high efficiency mechanical plant, high performance windows, LED lighting – 4,216 GJ/year savings (209 tonnes CO <sub>2</sub> e), 154,604 kWh/year savings
	Review of outdoor lighting at the Wastewater Treatment Facility
	Re-configuring HVAC systems at some major Pump Operations facilities to reduce energy consumption.
	Ongoing programs and Fortis assessments to improve insulation in all Pump Operations facilities to reduce energy consumption.

## 2016 Energy Actions

A transition to renewable or low-emission energy sources for heating, cooling and power supports large, long-term GHG emissions reductions. Renewable energy including waste heat recovery (e.g. from biogas and biomass), geo-exchange, micro hydroelectric, solar thermal and solar photovoltaic, heat pumps, tidal, wave, and wind energy can be implemented at different scales, e.g. in individual homes, or integrated across neighbourhoods through district energy or co-generation systems.

Community-Wide Actions Taken in 2016	
	Okanagan College continues to be heated through clean wastewater effluent from Kelowna's Wastewater Treatment Facility and heat pumps.

Corporate Actions Taken in 2016	
	Upgraded landfill gas collection and equipment to allow for FORTIS BC to perform trials and commissioning of their biogas plant. Successful trials attempted in Q4.
Corporate Actions Proposed for 2017	
	Finalize initial commissioning of the FORTIS Plant. Work to assist in optimization including installation of upgraded landfill gas header pipes. FORTIS to begin full operation of plant.

Energy Generation	
Is your local government developing, or constructing: <ul style="list-style-type: none"> <li>A district energy system</li> <li>A renewable energy system (in partnership with FortisBC, landfill gas to pipeline)</li> </ul>	No Yes
Is your local government operating: <ul style="list-style-type: none"> <li>A district energy system</li> <li>A renewable energy system (in trial and final commission phase in partnership with FortisBC for landfill gas to pipeline, heat from Waste Water Treatment facility heats neighbouring Okanagan College)</li> </ul>	No Yes
Is your local government connected to a district energy system that is operated by another energy provider?	No
Are you aware of the Integrated Resource Recovery guidance page on the <a href="#">BC Climate Action Toolkit</a> ?	No



## 2016 Greenspace / Natural Resource Protection Actions

Greenspace/Natural Resource Protection refers to the creation of parks and greenways, boulevards, community forests, urban agriculture, riparian areas, gardens, recreation/school sites, and other green spaces, such as remediated brownfield/contaminated sites as well as the protection of wetlands, waterways and other naturally occurring features.

Community-Wide Actions Taken in 2016	
	Sold 500 large trees through Neighbourwoods program – a residential planting initiative developed to encourage citizens to help grow and preserve Kelowna's healthy neighbourhoods urban forest.
	Munson Pond Park developed in cooperation with the Central Okanagan Land Trust
Community-Wide Actions Proposed for 2017	
	Continue the Neighbourwoods program offering another 500 large caliper trees to residents.

Corporate Actions Taken in 2016	
	Planted 5000 ponderosa seedlings in City's natural parks. The plantings are assisting with the trees that were lost in the past 5 years due to forest health issues (e.g. Pine beetle, Tussock Moth, drought and snow damage). Further 200 large caliper trees were planted in parks and boulevards, as well as inherited approximately 100 new trees as requirements of developments that occur.
	Updates to tree inventory system. Currently there are 25,000 trees in the inventory.
	Received a grant from the Okanagan Basin Water Board to develop a Tree Management Plan for Mill Creek that will target trees along Mill Creek on city owned properties.
Corporate Actions Proposed for 2017	
	Planning to ramp up tree planting in the spring and fall with up to 300 large caliper trees being planted and an additional 5000 more Ponderosa Pine seedlings for planting in the City's natural parks.
	Introduce a tree protection policy for trees on City property
	Create a tree planting standard for trees on City property. This standard may be shared with the public for general information.

Greenspace	
Does your local government have urban forest policies, plans or programs?	Yes

## 2016 Solid Waste Actions

Reducing, reusing, recycling, recovering and managing the disposal of the residual solid waste minimizes environmental impacts and supports sustainable environmental management, greenhouse gas reductions, and improved air and water quality.

Community-Wide Actions Taken in 2016	
	Sold 299 composting units in City of Kelowna as part of annual composter sale.
	Hosted 4 reuse events (trunk sales and a Repair café)
	Commercial and residential waste monitoring for mandatory recyclables using RFID technology and physical monitoring.
	Illegal dumping monitoring, education and cleanup.
Community-Wide Actions Proposed for 2017	
	Begin implementing Solid Waste Management Plan recommendations including pilot program for bulky item collection and needs assessment for additional depots/transfer stations in order to increase accessibility.

Corporate Actions Taken in 2016	
	2450m of leachate recirculation pipe was added at the landfill.
	Engineered the tie in collectors with recirculating pumps and dispersal field at the landfill.
Corporate Actions Proposed for 2017	
	Continue to add recirculation pipes and distribution pumps as landfill grows.

Solid Waste	
Does your local government have construction and demolition waste reduction policies, plans or programs?	Yes
Does your local government have organics reduction/diversion policies, plans or programs? Composter sales to divert organics from waste stream.	Yes

## 2016 Transportation Actions

Transportation actions that increase transportation system efficiency, emphasize the movement of people and goods, and give priority to more efficient modes, e.g. walking, cycling, ridesharing, and public transit, can contribute to reductions in greenhouse gas emissions and more livable communities.

<b>Community -Wide Actions Taken in 2016</b>	
	Working on a review of bike parking regulations that will promote improved bike parking and end of trip facilities.
	Expanded the active transportation network by 1,350m of sidewalk, 4 km of shared paths, cycle tracks and bike lanes
	Completed 16 bus stop upgrades for accessibility and passenger comfort
	Partnered with Fortis BC to install 2 EV charging stations.
	Conducted Safe Routes to School program at Raymer Elementary and Pearson Elementary.
	Partnered with Interior Health on transportation demand strategies for Interior Health employees.
<b>Community-Wide Actions Proposed for 2017</b>	
	The City will review and update infrastructure policies, bylaws and guidelines to ensure accessibility features are incorporated to encourage walking and cycling for all ages and abilities.
	Re-develop a travel training program to encourage people to use regular transit as an alternative to accessible transit.
	Pilot a program to incorporate 3 City fleet bicycles into the Ogo Car Share program so that they are available for City staff and Ogo Car Share members. This will encourage the use of alternative transportation.
	Bike parking review will finish in 2017.
	Car Sharing policy review to look at incentives to integrate car sharing in multi-family residential developments as a tool to reduce parking requirements and encourage more alternative forms of transportation and reduce GHGs.
	Will build 1 km of sidewalk, 9 km of bike lanes and 675 meters of cycle tracks. BikeBC providing funding towards the Okanagan Rail Trail project.
	Building 13 bus stop upgrades
	Conducting Safe Routes to School program at Belgo Elementary.
	Constructing roundabouts at Doyle/Water and Lakeshore/Collett.
	Presenting an anti-idling bylaw to regional board and City Council for adoption.
	ICBC providing funding for a roundabout planning study.
	BikeMaps.org providing a platform for reporting safety issues and deficiencies in the bike network.
	Cycling in Cities Research Program (an initiative of SFU/UBC) is conducting research on attitudes towards cycling in Kelowna.

<b>Corporate Actions Taken in 2016</b>	
	Acknowledged with a "Kal Tire Certificate of Corporate Social Responsibility" for saving approximately 14,380 litres of oil and prevented 253 tires from going into landfills over the past 3 years through the use of retreaded tires.
	Purchased 10 hybrid vehicles and 1 electric vehicle.
	Partnered with Ogo Car Share Co-op with city vehicles.
	Continue to use up to 20% bio-diesel.
	Converting equipment lighting on work vehicles from incandescent to LED.
	Continue to use the automatic vehicle locator system to look for efficiencies.
<b>Corporate Actions Proposed for 2017</b>	
	Add more electric personnel movers (carts) to fleet at the cemetery and landfill.
	Purchase 2 electric assist tricycles.
	Investigate adding hybrid arborist truck to fleet.
	Continue to use bio-fuel and look for efficiencies with automatic vehicle locator system.

<b>Transportation</b>	
Does your local government have policies, plans or programs to support:	
• Walking (Pedestrian and Bicycle Master Plan)	Yes
• Cycling (Pedestrian and Bicycle Master Plan)	Yes
• Transit Use (Transit Future Plan)	Yes
• Electric Vehicle Use (Eco-pass permit program Eco-Passes are available for any plug-in or hybrid electric vehicle)	Yes
• Other (please specify)	No
Does your local government have a transportation demand management (TDM) strategy (e.g. to reduce single-vehicle occupancy trips, increase travel options, provide incentives to encourage individuals to modify travel behavior)?	Yes
Does your local government have policies, plans or programs to support local food production (thus reducing transportation emissions)? OCP Policy, Agriculture Plan, Community Garden partnerships	Yes

## 2016 Water and Wastewater Actions

Managing and reducing water consumption and wastewater is an important aspect of developing a sustainable built environment that supports healthy communities, protects ecological integrity, and reduces greenhouse gas emissions.

Community-Wide Actions Taken in 2016	
	Achieved sign-off on guiding principles for Value Planning of a Kelowna Integrated Water Supply Plan. Applied for funding for Phase 1 of this plan.
	Fats, Oils and Grease promotions to inform customers of the importance of keeping oil and grease out of the sanitary sewers through social media, news releases, website and 17,500 brochures to City Utility customers
	Swimming pool / hot tub draining promotion through media ads, news releases and social media to inform residents of the correct way to drain water for their swimming pools/hot tubs.
	The City of Kelowna offered a \$40 rebate to water users who purchased a new irrigation controller that was compliant with the updated Water Regulation By-Law. The Water Smart Program has reduced the amount of water used for Irrigation through offering free irrigation system assessments and enforcing an Irrigation System Approval application process.
Community-Wide Actions Proposed for 2017	
	Completed Value Planning, executed a Transition Agreement with one of four large water improvement districts and received approval of a \$43.9 million grant for Phase 1 of Kelowna Integrated Water Supply Plan. This year will now be used to ramp up to deliver this capital project over next two years.
	Continuation of fats, oils and grease promotion to keep these substances out of the sanitary sewers.
	Continuation of correct way to drain swimming pools and hot tub promotion
	The City plans to roll out a new water meter program that will enforce water regulations and notify City staff of any violations
	Residents will be educated on the Water Smart Program by neighborhood hand out brochures.
	Gathering rain water to irrigate residential properties as oppose to domestic water. Adopt Slow It, Sink It, Spread It by OBWB to prevent additional loading on Storm water System.

Corporate Actions Proposed for 2017	
	Replacement of WWTF process air compressor. Replace air compressor which has reached end of life with an energy efficient model. Replace air dryer system which has reached end of life with a new system which will improve air quality and usage for pneumatic equipment resulting in more efficient operations and energy usage.
	Refining Drinking Water Reservoir cleaning procedures to reduce volumes of water wasted. Convert analytical testing methods to alternates that reduce use of hazardous chemical and water consumption used to run instruments.

Water Conservation	
Does your local government have water conservation policies, plans or programs?	Yes



## 2016 Climate Change Adaptation Actions

For local governments, adaptation to a changing climate can take the form of changes in policy, management, technology and behaviour that minimize negative impacts or exploit opportunities. It can involve both “hard” and “soft” solutions, including: changes in infrastructure engineering, planning, zoning, bylaws, and public education.

Climate Change Adaptation Actions Taken in 2016	
<input type="checkbox"/>	Draft Community Wildfire Protection Plan.
<input type="checkbox"/>	Water Regulation Bylaw Update which implements water use restrictions on a permanent basis,
Climate Change Adaptation Actions Proposed for 2017	
<input type="checkbox"/>	Endorse Community Wildfire Protection Plan.

Resources you have used to support climate change adaptation (e.g. <a href="#">Plan2Adapt</a> , <a href="#">Preparing for Climate Change: Implementation Guide</a> )	
<input type="checkbox"/>	Plan2Adapt

In 2016 did you consider climate change impacts in any of the following areas? (check if yes)	
Risk reduction strategies	
Risk and Vulnerability assessment	
Asset management	✓
Infrastructure upgrades (e.g. stormwater system upgrades)	✓
Cross-department working groups	
Emergency response planning	✓
Land-use policy changes (eg. OCP, DPA)	✓
Economic diversification initiatives	
Ecosystem-based approaches (incl. shorelines)	
Incentives (e.g. property owner reducing stormwater run-off)	
Public education and awareness	
Research (e.g. mapping, participation in studies)	✓
Other (Please Identify):	

## 2016 Other Climate Actions

This section provides local governments the opportunity to report other climate actions that are not captured in the categories above.

Community-Wide Actions Taken in 2016	
	Completed 18 woodstove exchanges.
	Through agricultural chipping program and woodstove exchanges, reduced GHG emissions by 51 tonnes CO <sub>2</sub> e.
	Completed the "Spatiotemporal Variation of PM <sub>2.5</sub> in the Central Okanagan Region" with partial funding from the BC Clean Air Research Fund.
	Initiated strategies to reduce smoke in the Central Okanagan
Community-Wide Actions Proposed for 2017	
	Update regional open burning bylaws and promoting alternatives to burning.
	Woodstove exchange program continues with 43 rebates available.

Corporate Actions Taken in 2016	
	The City of Kelowna worked with SSG Consulting to create an interactive model called Model Health which aligns land use patterns and its impact on the health of residents.

Other	
Are you familiar with the <a href="#">Community Lifecycle Infrastructure Costing Tool (CLIC)</a> ?	Yes
Have you used CLIC?	No

## Innovation and Peer to Peer Learning

### Innovation

This section provides the opportunity to showcase an innovative Corporate and/or Community-Wide GHG reduction or climate change adaptation activity that your local government has undertaken and that has had or has the potential to have a significant impact. Projects included here may be featured as success stories on the B.C. Climate Action Toolkit and/or shared with other local governments to inspire further climate action. Please add links to additional information where possible.

Community-Wide Innovative Action
<ul style="list-style-type: none"> <li>• The City is very proud of the successful NeighbourWoods Program. This program encourages planting trees on private land and the cost of the trees is supplemented by the City. For more information on the program visit <a href="https://www.kelowna.ca/parks-recreation/urban-trees-wildlife/neighbourwoods?t=neighbourwoods">https://www.kelowna.ca/parks-recreation/urban-trees-wildlife/neighbourwoods?t=neighbourwoods</a>.</li> <li>• The City has started to plant large trees bare root. The quality of the roots is higher and the cost of installation are lower.</li> <li>• ModelHealth is a city modelling tool that assesses built environment characteristics that a) are known to influence health outcomes, and b) can be altered by urban planning decisions. The model estimates potential changes to certain health outcomes that might result from changes in urban form. The model uses GIS spatial data to determine the relationships between built environment elements such as locations of homes, roads, sidewalks, and locations of work, play and education. Built environment and human behavioural relationship assumptions are applied to determine the likelihoods of residents using different modes of travel, their exposure to air pollution, their rates of physical activity, pedestrian safety, and access to nature—each on a daily basis. Once assembled, this 'picture of health' can then be compared to one that might result under a different built environment scenario, for example, after the addition of a new housing development or construction of new roads. Results are either displayed spatially (mapped) across the City's transportation zones or tallied for the whole City.</li> </ul>
Corporate Innovative Action
<ul style="list-style-type: none"> <li>• The City's participation in helping grow a non for profit car share program demonstrates the City's commitment in reducing greenhouse gases, reducing operational costs and making available to its citizens alternate commuting choices. The City has added several of its fleet vehicles into the pool, allowing access. Further, the City has provided parking locations for several of the car share vehicles. Three and a half short years the program has grown from 2 vehicles to 12 vehicles and over 400 members.</li> </ul>

**Programs, Partnerships and Funding Opportunities**

Local governments often rely on programs, partnerships and funding opportunities to achieve their climate action goals. Please share the names of programs and organizations that have supported your local government’s climate actions by listing each entry in the box below.

Programs and Funding
<ul style="list-style-type: none"><li>• FortisBC – providing funding towards Community Climate Action Plan and partnering on other initiatives (e.g. landfill gas to pipeline)</li><li>• ICBC – providing funding towards roundabout planning study</li><li>• BikeBC – received Provincial funding for the Okanagan Rail Trail</li><li>• BikeMaps.org – providing a platform for reporting safety issues and deficiencies</li><li>• Cycling in Cities Research Program – conducting research on attitudes towards cycling in Kelowna</li><li>• Interior Health – partnering on the Healthy City Strategy</li></ul>

## 2016 Carbon Neutral Reporting

Local governments are required to report on their progress in achieving their carbon neutral goal under the Climate Action Charter. Working with B.C. local governments, the joint Provincial-UBCM Green Communities Committee (GCC) has established a common approach to determining carbon neutrality for the purposes of the Climate Action Charter, including a Carbon Neutral Framework and supporting guidance for local governments on how to become carbon neutral. Prior to completing this survey, please ensure that you are familiar with guidance available on the B.C. Climate Action Toolkit website, especially Becoming Carbon Neutral: A Guide for Local Governments in British Columbia.

### Reporting Emissions

Did you measure your local government's corporate GHG emissions in 2016?	<b>Yes</b>
If your local government measured 2016 corporate GHG emissions, please report the number of corporate GHG emissions (in tonnes of carbon dioxide equivalent) from services delivered <u>directly</u> by your local government:	6,022
If your local government measured 2016 corporate GHG emissions, please report the number of corporate GHG emissions (in tonnes of carbon dioxide equivalent) from <u>contracted</u> services:	
<b>TOTAL A: CORPORATE GHG EMISSIONS FOR 2016</b>	<b>6,022 tCO<sub>2</sub>e</b>

### Reporting Reductions and Offsets

To be carbon neutral, a local government must balance their TOTAL corporate GHG emissions by one or a combination of the following actions:

- undertake GCC-supported Option 1 Projects
- undertake GCC-supported Option 2 Projects (community GHG emissions reduction projects that meet project eligibility requirements)
- purchase carbon offsets from a credible offset provider

<b>Reductions and Offsets</b>	<b>REDUCTIONS</b>
Option 1 projects (energy efficient retrofits, solar thermal, household organics, low emission vehicles, avoided forest conversion, etc.)	0
Option 2 reduction projects	0
Offsets purchased	0
<b>TOTAL B REDUCTIONS AND OFFSETS FOR 2016</b>	<b>0</b>

### Corporate GHG Emissions Balance for 2016

Your local government's Corporate GHG Emissions Balance is the difference between total corporate GHG emissions (direct + contracted emissions) and the GHG emissions reduced through GCC Option 1 and Option 2 projects and/or the purchase of offsets.

**CORPORATE GHG EMISSIONS BALANCE FOR 2016 = (A – B) = 6,022 tCO<sub>2</sub>e**

**If your Corporate GHG Emissions Balance is negative or zero,  
your local government is carbon neutral.  
CONGRATULATIONS!**



## GCC Climate Action Recognition Program

The joint Provincial-UBCM Green Communities Committee (GCC) is pleased to be continuing the Climate Action Recognition Program again this year. This multi-level program provides the GCC with an opportunity to review and publicly recognize the progress and achievements of each Climate Action Charter (Charter) signatory.

This year a new recognition level has been added – **Level 3: Accelerating Progress on Charter Commitments**–. Recognition is provided on an annual basis to local governments who demonstrate progress on their Charter commitments, according to the following:

**Level 1 – Demonstrating Progress on Charter Commitments:** for local governments who demonstrate progress on fulfilling one or more of their Charter commitments

**Level 2 – Measuring GHG Emissions:** for local governments that achieve level 1, and who have measured their Corporate GHG Emissions for the reporting year and demonstrate that they are familiar with the Community Energy and Emissions Inventory (CEEI)

**Level 3 – Accelerating Progress on Charter Commitments:** for those local governments who have achieved level 1 and 2 and have demonstrated undertaking significant action (corporately or community wide) to reduce GHG emissions in the reporting year (ie: through undertaking a GHG reduction project, purchasing offsets, establishing a reserve fund).

**Level 4 - Achievement of Carbon Neutrality:** for local governments who achieve carbon neutrality in the reporting year.

For purposes of Level 3 recognition, if applicable, please identify any new or ongoing corporate or community wide GHG reduction projects (other than an Option 1 or Option 2 project) undertaken by your local government that reflects a significant investment of time or financial resources and is intended to result in significant GHG reductions:

<b>PROJECT NAME:</b>
N/A

Based on your local government's 2016 CARIP Climate Action/Carbon Neutral Progress Survey, please check the GCC Climate Action Recognition Program level that best applies:

Level 1 – Demonstrating Progress on Charter Commitments	
Level 2 – Measuring GHG Emissions	
Level 3 – Accelerating Progress on Charter Commitments	
Level 4 - Achievement of Carbon Neutrality	
Not Sure	X



# Climate Action Revenue Incentive Program

May 2017



# Provincial Climate Action Charter

- ▶ Kelowna signed in 2007
- ▶ Commits municipalities to:
  - ▶ Being carbon neutral in corporate operations;
  - ▶ Measure and report GHG emissions;
  - ▶ Create complete, compact and energy efficient communities.
- ▶ Signatories eligible for the annual CARIP grant.

# What is CARIP?

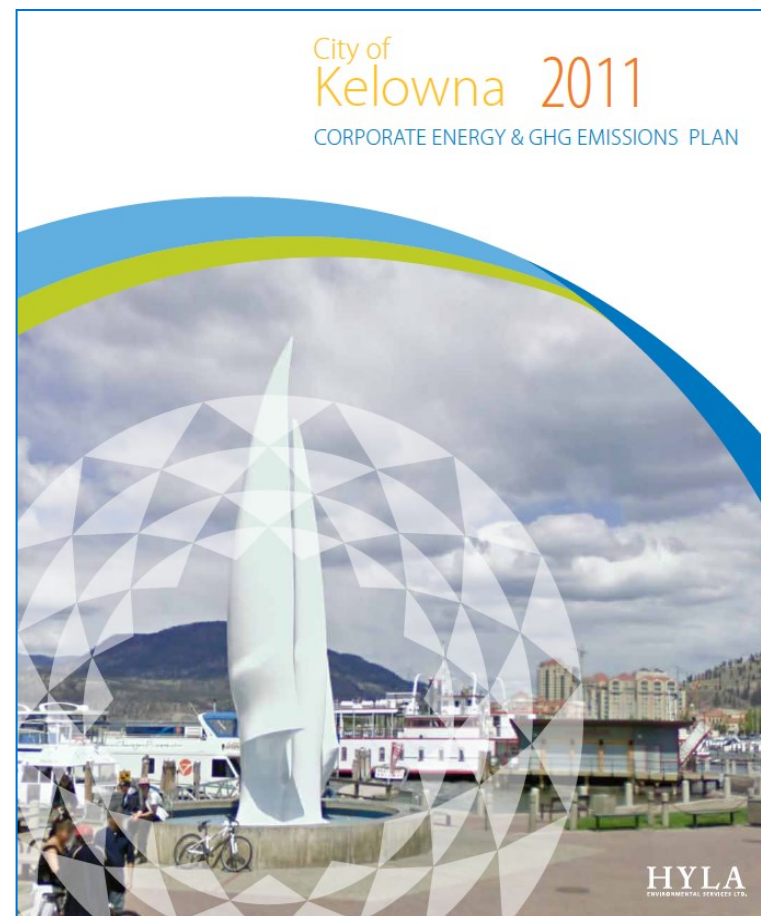
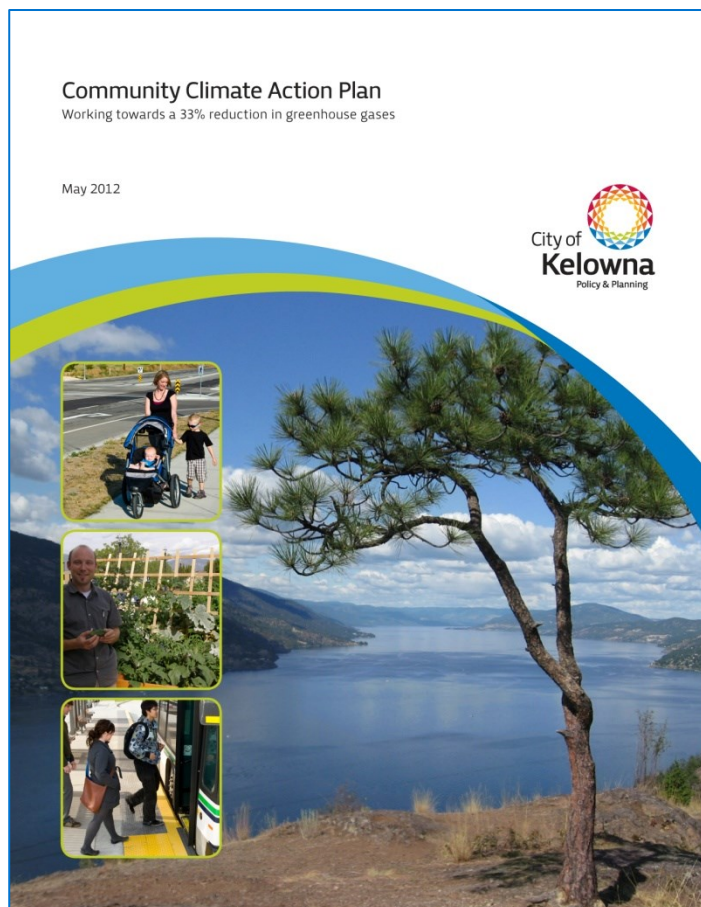
- ▶ Climate Action Revenue Incentive Program;
- ▶ A grant equal to 100% of the carbon taxes paid directly by a municipality;
- ▶ This year applying for \$228,466;
- ▶ Grant placed in City's Ro11- Energy Management Rebate fund

*To be eligible must make public and submit the CARIP Report to the Province by June 1.*





# Climate Action Plans





# 2016 Community Action Highlights

1. Broad Planning
  - ▶ Urban Centres Roadmap
  - ▶ Imagine Kelowna
2. Building and Lighting
  - ▶ Partnered with Fortis to promote energy efficiency programs
3. Transportation
  - ▶ 1350 m sidewalk, 4 km shared paths, cycle tracks and bike lanes
  - ▶ 16 bus top upgrades
  - ▶ 2 EV charging stations



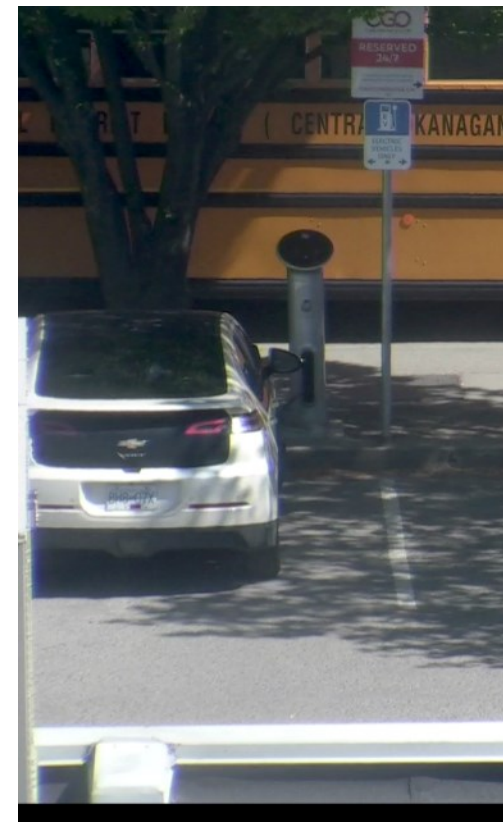
# 2016 Community Action Highlights con't

4. Greenspace / Natural Resource
  - ▶ Neighbourwoods (500 large trees)
  - ▶ Munson Pond Park in cooperation with Central Okanagan Land Trust
5. Solid Waste
  - ▶ 299 composters sold
  - ▶ 4 re-use events
6. Water and Wastewater
  - ▶ Value Planning of Kelowna Integrated Water Supply Plan
  - ▶ \$40 rebate offered for irrigation controllers



# 2017 Community Actions

1. Broad Planning
  - ▶ Climate Action Plan Update
  - ▶ Capri-Landmark Urban Centre Plan
2. Building and Lighting
  - ▶ Partner with Fortis BC to promote energy efficiency programs
3. Transportation
  - ▶ Transportation Master Plan
  - ▶ Safe routes to school
  - ▶ 1 km sidewalk, 9 km bike lanes and paths



# 2017 Community Actions

4. Greenspace / Natural Resource
  - ▶ Neighbourhoods, 500 more trees
5. Solid Waste
  - ▶ Implement Solid Waste Management Plan
6. Water and Wastewater
  - ▶ Received \$43.9 million for Integrated Water Supply Plan
  - ▶ New water meter program to enforce water regulations





# 2016 Corporate Action Highlights

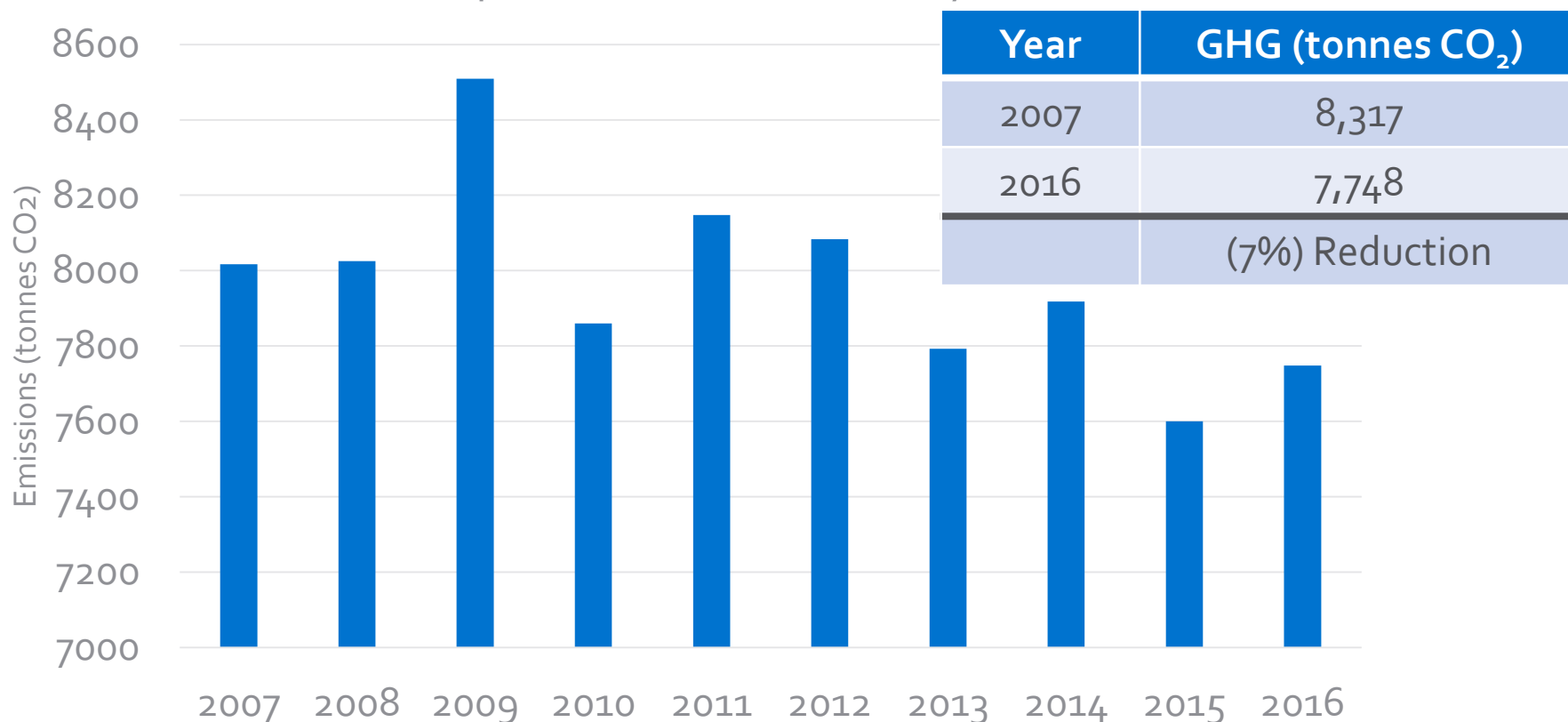
1. Buildings and Lighting
  - ▶ Rutland Arena Heat Recovery Project
    - ▶ 2460 GJ/year savings (122 tonnes CO<sub>2</sub>e)
  - ▶ City Yards Boiler Upgrade
    - ▶ 980 GJ/yr savings (44 tonnes CO<sub>2</sub>e)
2. Fleet
  - ▶ Purchased 1 electric and 10 hybrid vehicles
  - ▶ Partnered with Ogo Car share
3. WWTF
  - ▶ Upgrade of Exterior Lighting to LED
    - ▶ 72,165 kWh/yr savings
4. Airport
  - ▶ Conversion of Parking Lot Lighting to LED
    - ▶ 117,000 kWh/yr savings (\$7,600/yr)





# 2016 Corporate Emissions

Total Corporate GHG Emissions by Year



*Note: 2016 reported CARIP emissions are 6,022 tonnes CO<sub>2</sub> as they don't include  
Police Services, Airport, Solid Waste emissions*

# 2017 Corporate Actions

1. Update of the Corporate Energy and Emissions Plan
2. Commencement of the LED Street Light Retrofit
  - ▶ Savings estimated to be 3,500,000 kWh/yr (\$750,000)
3. Completion of the new Kelowna Police Services Building
  - ▶ Energy Efficient Design to save 4,216 GJ/yr and 155,000 kWh/yr
4. Completion of the Memorial Parkade with LED lighting and controls
  - ▶ Savings of 109,318 kWh/yr
5. Purchase 2 electric assist tricycles, and more electric personnel movers



## *Questions?*

For more information, visit [kelowna.ca](http://kelowna.ca).

# Report to Council



**Date:** May 29, 2017  
**File:** 1200-40  
**To:** City Manager  
**From:** Michelle Kam, Sustainability Coordinator  
**Subject:** Healthy Housing Strategy

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## **Recommendation:**

THAT Council receives, for information, the report from the Sustainability Coordinator dated May 29, 2017, with respect to the Healthy Housing Strategy.

AND THAT Council supports the proposed engagement process as outlined within the report from the Sustainability Coordinator dated May 29, 2017, with respect to the Healthy Housing Strategy.

## **Purpose:**

To inform Council on the purpose, milestones, timeline and engagement process for the Healthy Housing theme area of the Healthy City Strategy.

## **Background:**

The availability of affordable, secure and suitable housing options for all residents is becoming more constrained, and the demand will increase as Kelowna continues to grow. Between 2014 and 2015 the Kelowna Census Metropolitan Area was the fastest growing region in Canada, with a population growth rate of over 3% driven primarily by interprovincial and intraprovincial migration. As of May 2016, the average purchase price across all housing types exceeded the previous peak of 2008, with the average price of a single detached dwelling being \$604,751 in 2016 compared to \$543,308 in 2008<sup>1</sup>. With ownership housing increasingly out of reach, more households are forced to look for rental housing, which puts additional pressure on the limited supply of rental units. In 2016 the vacancy rate for purpose-built rental units was 0.6%, falling well short of the Official Community Plan (OCP) goal of 3%<sup>2</sup>. Notably, the vacancy rate for three-bedroom rental units is currently 0.0%, primarily impacting families in Kelowna. All these pressures combined can result in more residents having unaffordable housing

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<sup>1</sup> CMHC Housing Market Information Portal

<sup>2</sup> CMHC Housing Market Information Portal

costs, living in unsuitable conditions or being homeless or at risk of homelessness.

The City's current housing policies and priorities are contained within two main documents: the 2030 OCP and the 2012 Housing Strategy. These plans work towards ensuring an adequate supply of a variety of suitable housing for all residents. The OCP guides growth and development and provides policy direction for municipal decisions related to housing. The 2012 Housing Strategy identifies 25 policy, zoning and procedural recommendations regarding the City's approach to housing supply. Of these recommendations, 17 are complete, 3 are in progress, 4 are ongoing and 1 has been postponed. Some of the recommendations within this Strategy included the following: secondary suites being allowed in all zones, fee simple townhouses and ongoing partnerships with housing agencies. As the majority of the recommendations from the 2012 Housing Strategy have been implemented, are ongoing or are in progress, the City continues to seek ways to build on the momentum and successes of the 2012 Housing Strategy through the development of the next iteration of a Healthy Housing Strategy.

The broader topic of housing is a community-wide issue that directly impacts people's physical and social health. City of Kelowna community planners and Interior Health public health practitioners are working together to develop a Healthy City Strategy, and Healthy Housing has been prioritized by Council and Interior Health as the second theme area. It will build on the Healthy City Strategy's Community for All Plan in which housing was identified as an issue for seniors, children and those with diverse abilities. A Healthy Housing Strategy will be developed and will include recommendations for the City of Kelowna, Interior Health and select community stakeholders that will guide policies, regulations and programs to achieve healthy housing options that are diverse, affordable and attainable.

The key focus areas of the Healthy Housing Strategy include the following:

1. **Affordability and supply** - to examine the range of market and non-market housing and to assess how the City can encourage development of various housing options (particularly non-market and more affordable market housing);
2. **Rental housing market** - to consider opportunities on how to provide an adequate supply of secure and affordable rental housing options;
3. **Changing demographics** - to examine various future housing trends and evaluate opportunities that are responsive to the future needs of our community, which may include supporting seniors aging in place, ensuring access to services, and supporting social connections.

The goal of the Healthy Housing project is to identify and prioritize housing needs, and determine the most appropriate and effective strategies to address those needs. The outcome will be a Healthy Housing Strategy that will become part of the overarching Healthy City Strategy and will also inform the upcoming 2040 OCP review. In order to capture the current and future housing supply and demand, a Housing Needs Assessment will be created that will include research on Kelowna's current and future housing supply, housing demand as well as a gap analysis to create a complete picture of Kelowna's housing in order to build a robust Healthy Housing Strategy. The outcome will be a series of recommendations that will include policies, programs and actions in the most appropriate areas of the Housing Continuum to position the City to deliver on its Healthy Housing goals. Recognizing that this project is under a tight timeline and very limited budget, being committed to the key focus areas and delivering on this scope will be paramount to the project's successful delivery.



The Healthy Housing Strategy will be built with support from City staff, Interior Health and other key stakeholders. This Plan is being developed with several teams including:

1. *Healthy City Strategy Steering Committee* – This committee consists of senior leaders and staff from both the City and Interior Health. The committee will oversee the entire Healthy City Strategy and each of the theme areas.
2. *City and Interior Health Technical Teams* – The City of Kelowna and Interior Health have created staff technical teams that are assembled with various technical and front-line skills/experience that will be dedicated to building out the recommended Plan and corresponding actions for both organizations.
3. *Healthy Housing Stakeholder Advisory Committee* – This committee will be led by the City of Kelowna and will include key stakeholders to provide guidance throughout the project including advising on stakeholders to consult and partnering on proposed actions for implementation. The below table outlines the sectors that will be included in this committee as well as the proposed stakeholder to invite.

Sector	Proposed Stakeholder Advisory Committee
Health	Interior Health
Housing / Funding	BC Housing
Poverty Reduction / Funding	United Way
Development	Urban Development Institute Canadian Home Builder's Association
Public	School District #23
Social Services	Seniors Outreach Services Society Non-profit housing provider
Private	Urban Matters

As this project requires consultation with many organizations, staff is working with Communications to ensure that a balance of voices, including community stakeholders, agencies, and the general public will be incorporated into the development of the Healthy Housing Strategy. Stakeholders will be engaged either through a variety of methods including, but not limited to, individual interviews, workshops, and online engagement opportunities. Additionally, the Healthy Housing Strategy will be built through research, best practices and other community consultation including the Imagine Kelowna engagement.

The Healthy Housing Strategy will work closely with the Journey Home (Homeless-Serving Systems Strategy) project to ensure alignment between the two projects and to ensure that all housing forms are being captured within the two strategies. The development of a Journey Home Strategy will help to transform Kelowna's housing and homelessness services into an integrated, people-centered, performance-focused service system. This will be designed to assist residents to achieve housing stability and improve their well-being as well as the overall safety and health of the community. While the Journey Home Strategy will focus on the system of services supporting those who are homeless and those at risk of homelessness, Journey Home will also identify recommendations for development of appropriate housing in the spectrum of emergency, transitional, and supportive housing. The Healthy Housing Strategy will focus on policies, zoning and procedural recommendations for subsidized housing, rental market and home ownership.

The milestones and anticipated timelines for the Healthy Housing are:

Task	Details	Anticipated Date
Project Kickoff	Approval from SLT, meetings with City and IH Technical Teams	April/May 2017
Background research	Including best practices and research of other municipal strategies and plans	Ongoing
Creation of a Stakeholder Advisory Committee	Develop a Terms of Reference and form committee	May to June 2017
Housing Needs Assessment	Conduct an analysis of the City's housing supply and demand and future trends analysis	May to July 2017
Stakeholder engagement	To conduct interviews with stakeholders that targets discussion on the City's opportunities and challenges to support healthy housing. To also conduct workshops to discuss potential policy, actions and partnerships	September to November 2017
Draft Plan and Recommendations	Draft Healthy Housing Strategy	December 2017 to February 2018
Consultation	Finalize consultation on draft plan	February 2018
Final Plan	Including Council Endorsement	March 2018

Affordable housing is a priority at every level of government, and municipalities are stepping up to show leadership and support for affordable housing opportunities. At a fundamental level, healthy housing is about people of all demographics, all ages, and all family compositions that deserve the opportunity to live in a safe, stable home. The time is right to update the City's Housing Strategy, and provide refreshed direction to policy, programs, and partnerships to advance the City's housing spectrum.

The goal of the Healthy Housing Strategy is to advance policies, consider new tools and identify community partnerships that will increase Kelowna's housing supply to meet the needs of our current and future residents. The Healthy Housing Strategy will also build on Council's priorities of providing housing diversity and building vibrant urban centers. Creating partnerships for housing will be a critical aspect of the recommendations, as the City of Kelowna is one of numerous partners that will need to work together to continue to make progress on delivering the full spectrum of housing needs for today and decades to come.

#### **Internal Circulation:**

Community Planning and Strategic Investments Director  
 Active Living and Culture Director  
 Social Development Manager  
 Development Services Director  
 Planner II

Property Officer  
Communications Consultant

**Existing Policy:**

OCP Goal 2: *Address Housing Needs of All Residents* by identifying recommendations to support the creation of attainable and diverse housing choices for all residents.

Policy 5.22.7 *Healthy Communities*. Through current zoning regulations and development processes, foster healthy, inclusive communities and a diverse mix of housing forms, consistent with the appearance of the surrounding neighbourhood.

Policy 5.22.10 *Housing Mix*. Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

Objective 10.3 Support the creation of affordable and safe rental, non-market and/or special needs housing.

Policy 10.3.1 *Housing Availability*. Support the provision of housing for all members of the community, including those in core housing need or requiring special needs housing (transitional, age in place, emergency or shelter).

**Financial/Budgetary Considerations:**

The total budget for the Healthy Housing project is \$17,600 that will be resourced from existing budget from Policy & Planning. The project has allocated 1,180 hours of staff time.

**Considerations not applicable to this report:**

**Communications Comments:**

**Legal/Statutory Authority:**

**Legal/Statutory Procedural Requirements:**

**Personnel Implications:**

**External Agency/Public Comments:**

**Alternate Recommendation:**

Submitted by:

Michelle Kam, Sustainability Coordinator

**Approved for inclusion:**



Danielle Noble-Brandt, Dept. Manager, Policy & Planning

cc:

Community Planning and Strategic Investments Director

Active Living and Culture Director

Social Development Manager

Development Services Director

Planner II

Property Officer

Healthy City Strategy Steering Committee  
Interior Health Technical Team



## Healthy Housing

Council Presentation  
May 29, 2017



# Healthy City Strategy

The Healthy City Strategy will be a long-term, integrative plan that will focus on healthy built environment, community health and quality of life for all Kelowna residents.

## Vision:

*Working together to create built environments in which people and places thrive.*



# Healthy City Strategy

## Theme areas



# First Theme Area: Community for All

## Vision:

**A city that is  
healthy, safe, active  
& inclusive for  
seniors, children  
and those with  
diverse abilities**



# Second Theme Area: Healthy Housing

- Build on existing strategies and plans
- Identify and prioritize housing needs
- Determine appropriate strategies for Kelowna's context





# Official Community Plan

OCP Goal:

***Address Housing Needs  
of All Residents:***

*Address housing needs  
of all residents by  
working towards an  
adequate supply of a  
variety of housing*



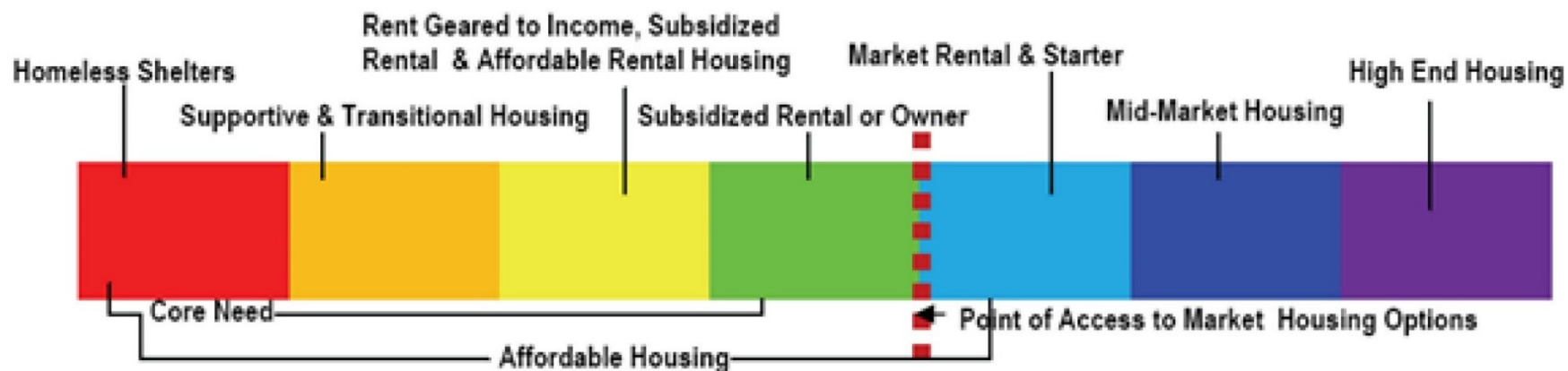


# Healthy Housing Strategy Alignment

- OCP 2040 Update
- Council priorities
- Journey Home



# Housing Continuum



Journey Home



Services Map

Healthy Housing Strategy



Policies, zoning, tools

# Snapshot of Housing in Kelowna



- Increase in housing prices
- 0.6% rental vacancy rate
- 0% rental vacancy for 3 bedroom family units
- Housing needs vary across demographics

# 3 Key Focus Areas for Strategy

1. Affordability and supply
2. Rental housing market
3. Changing demographics



# Housing Needs Assessment

- Current and future housing supply
- Current and future housing demand
- Gap Analysis





# Housing Needs Teams

- Healthy City Strategy Steering Committee
- City of Kelowna and Interior Health Technical Teams
- Healthy Housing Stakeholder Advisory Committee



# Project Timelines



# Healthy Housing Strategy

To make progress on delivering a full spectrum of housing needs:

- Advance policies
- Consider new tools
- Identify community partnerships



# Report to Council



**Date:** May 29<sup>th</sup>, 2017  
**File:** 0710-60  
**To:** City Manager  
**From:** Joel Shaw, P.Eng., Infrastructure Engineering Manager  
**Subject:** Strategic Priorities Fund - Priority Projects for Grant Applications

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## **Recommendation:**

THAT Council receives for information, the report from the Infrastructure Engineering Manager dated May 29<sup>th</sup>, 2017 with respect to Strategic Priorities Fund - Priority Projects for Grant Applications;

AND THAT Council approves the Hall Road Sewer Project and the Rutland Transit Exchange Phase 2 Project as the City's capital projects for grant application for the Federal Gas Tax Fund - Strategic Priorities Fund Capital Infrastructure Projects Stream;

AND THAT Council approves the Asset Management System as the City's capacity building project for grant application for the Federal Gas Tax Fund - Strategic Priorities Fund Capacity Building Stream.

AND FURTHER THAT upon confirmation of the grant award, the 2017 Financial Plan be amended to include receipt of grants as noted in report.

## **Purpose:**

To receive Council's approval for grant application for the above noted projects for the Federal Gas Tax Fund - Strategic Priorities Fund.

## **Background:**

In May 2014, Canada, BC and UBCM signed the renewed Gas Tax Agreement (GTA) which provides a ten-year commitment of federal funding for investment in Local Government infrastructure and capacity building projects in British Columbia. One of the key funding programs through the GTA is the Strategic Priorities Fund (SPF). The SPF is an application based funding program that is available to local governments and other recipients outside of the Greater Vancouver Regional District to support infrastructure and capacity building projects.

The SPF program provides grant funding specifically targeted for the capital costs of local government infrastructure projects that are larger in scale, regional in impact, or innovative and support the national objectives of productivity and economic growth, a clean environment and strong cities and communities. The SPF program also provides grant funding for Local Government capacity building projects, including asset management, long term infrastructure planning and sustainability planning that support the national objectives and are larger in scale, regional or innovative.

Eligible Local Governments may submit two (2) applications under the SPF-Capital Infrastructure Projects Stream and one (1) application under the SPF-Capacity Building Stream for a total of three (3) applications. It is anticipated that there will be a minimum of two intakes over the first five years of the program. This is the second intake for grant applications. The first SPF intake was launched in 2014 and resulted in the approvals of 66 projects across the province committing over \$122 million in federal Gas Tax Strategic Priorities Funding. The City was unsuccessful in the first intake.

It is anticipated that there is approximately \$180 million in SPF funding available for this intake. Approximately 5% (\$ 9 million) of SPF funding will be reserved for projects under the Capacity Building stream. The SPF may fund up to 100% of eligible costs of approved projects. For larger projects that require significant funding support, it is recommended that applicants submit a phased approach.

The deadline for submitting the SPF application is June 1<sup>st</sup>, 2017.

Eligible Projects under the SPF - Capital Infrastructure Projects Stream:

Public Transit	Brownfield Redevelopment
Local Roads, Bridges and Active Transportation	Local and Regional Airports
Solid Waste	Short-sea Shipping
Community Energy Infrastructure	Short-line Rail
Drinking Water	Highways
Wastewater	Broadband Connectivity
Disaster Mitigation	Culture Infrastructure
Recreational Infrastructure	Sport Infrastructure
Tourism Infrastructure	

Eligible Projects under the SPF - Capacity Building Stream:

Asset Management including software acquisition and implementation	Long-term Infrastructure Planning
Integrated Community Sustainability Planning	



Staff recommend the following two capital projects as the best candidates for successful grant award under the SPF program. The capital projects meet the objectives and criteria of the SPF.

<b>Capital Infrastructure Project</b>	<b>Total Cost</b>	<b>Grant Funding</b>
Hall Road Sewer Project	\$11,200,000	\$6,000,000
Rutland Transit Exchange Phase 2 Project	\$2,800,000	\$2,800,000

Both Hall Road Sewer and Rutland Transit Exchange Phase 2 will be applications submitted under the SPF - Capital Infrastructure Stream. These projects meet the criteria of larger in scale, regional in impact, and innovative. The Hall Road Sewer Project is the larger of the two projects and the proposed eligible grant funding (\$6 million) is the maximum available for a capital project under the SPF program.

Project detail and phasing for both capital projects is provided in the appendices of this report.

For application under the Capacity Building Stream, staff recommend the following project.

<b>Capacity Building Project</b>	<b>Total Cost</b>	<b>Grant Funding</b>
Asset Management Project	\$1,500,000	\$675,000

The City owns and operates \$2.6 billion worth of infrastructure that supports service delivery in our community. This infrastructure is managed through an inventory of approximately 30,000 assets that support a variety of services including protective services, transportation, parks, recreation, sewer, water, drainage and solid waste services. The City requires a common corporate platform to optimize the life cycle of the infrastructure assets and maintain service delivery.

The City has been in communication with UBCM and have discussed the maximum grant available under the Capacity Building category. Although UBCM would not commit, City staff got a sense that \$675,000 was about the maximum available for a project in the Capacity Building category.

#### **Financial/Budgetary Considerations:**

The City is requesting the maximum available grant funding (\$6,000,000) for the Hall Road Sewer Project. The balance of the project funding (\$5,200,000) would be received from benefitting property owners through a local area service agreement. The LSA agreement would require consent from the benefitting property owners before this project would proceed.

The Rutland Transit Exchange Phase 2 project would be funded by the grant of \$2.8 million. Existing budget would be used to cover ineligible costs like City staff time estimated at \$50,000.

The total cost of the Asset Management System is \$1.5 million for which Council approved budget in 2017. Should the City receive grant funding a budget amendment would be prepared to adjust the General Fund portion and the Community Works Funding by the grant amount of \$675,000.

**Internal Circulation:**

Divisional Director, Infrastructure  
Divisional Director, Financial Services  
Budget Supervisor, Financial Services  
Manager, Financial Planning  
Manager, Grant & Partnerships  
Manager, Integrated Transportation  
Manager, Utility Planning  
Project Manager, Infrastructure Delivery  
Utility Technologist, Civic Operations

**Considerations not applicable to this report:**

Legal/Statutory Authority  
Legal/Statutory Procedural Requirements  
Existing Policy  
Personnel Implications  
External Agency/Public Comments  
Communications Comments  
Alternate Recommendation

Submitted by:

J. Shaw, Infrastructure Engineering Manager

Approved for inclusion:



A. Newcombe, Divisional Director, Infrastructure

cc: Divisional Director, Infrastructure  
Divisional Director, Communications & Information Services  
Divisional Director, Financial Services  
Manager, Financial Planning  
Manager, Grant & Partnerships  
Manager, Integrated Transportation  
Manager, Utility Planning  
Project Manager, Infrastructure Delivery

## **APPENDIX A - Rutland Transit Exchange Phase 2 Project**

This project provides for the completion of the Shepherd Road extension and Rutland Transit Exchange including pedestrian/cycle connectivity in support of the vision of transforming Rutland Town Centre into an attractive transit oriented urban centre (see attached figure).

Shepherd Road extension supports realignment of mainline and feeder bus transit services to a fully operational on-street transit exchange in the Rutland Town Centre. The new exchange replaces current bus stops on Hwy 33 between Dougall Road and Rutland Road. New transit amenities proposed include large transit shelters providing a safe, more convenient and comfortable environment for transfers between mainline transit and feeder bus services for riders. Further proposed enhancements include appropriate level of streetscape to include street trees and plantings, new lighting, benches, and opportunity for public art as well as pedestrian/cycle connectivity to Centennial Park. This new two-lane traffic calmed roadway connects with the first phase from Roxby Road to Rutland Road N., completed in 2012, and will include a new signalized intersection. The signalized intersection will provide for a safer pedestrian crossing replacing an existing uncontrolled pedestrian crossing and equipped with transit signal priority at Rutland Rd N.

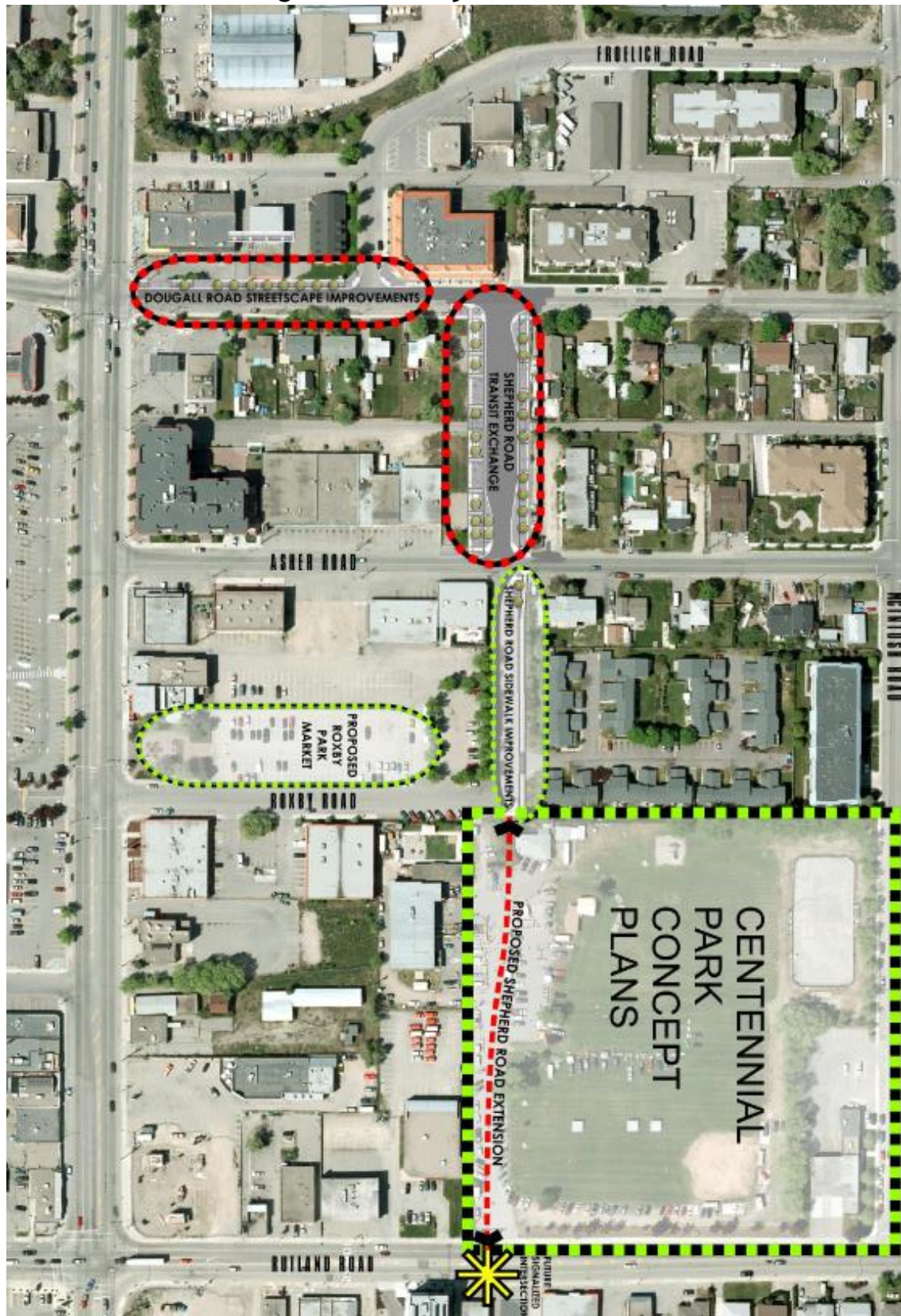
Phase 1 of the transit exchange is currently only servicing the Route 14 Black Mountain bus. With the Shepherd Road extension, the exchange would accommodate service demand in the Rutland area including major routes:

- Route 8 University
- Route 10 North Rutland
- Route 11 Rutland

### **Cost Estimate: \$2.8 million**

- 2 lanes per direction/ with on street cycle lanes,
- 1.8 m separate sidewalk on south side with a landscape buffer,
- 4.0 m. wide multi use pathway separated by landscape buffer.

## Rutland Transit Exchange Phase 2 Project Limits



## **APPENDIX B - Hall Road Sewer Extension**

The project consists of the installation of sewer mains and services to approximately 347 homes in the Hall and Parsons Road area of Kelowna, BC (see attached figure). The sewer service to this area is needed to service residents who are having or may have septic system problems from their aging systems and to mitigate environmental issues related to nutrient loading from septic systems that may be leaching into Mission Creek and Okanagan Lake.

The majority of the homes in the Hall Road area are greater than 25 years old. These homes are presently served by onsite septic systems.

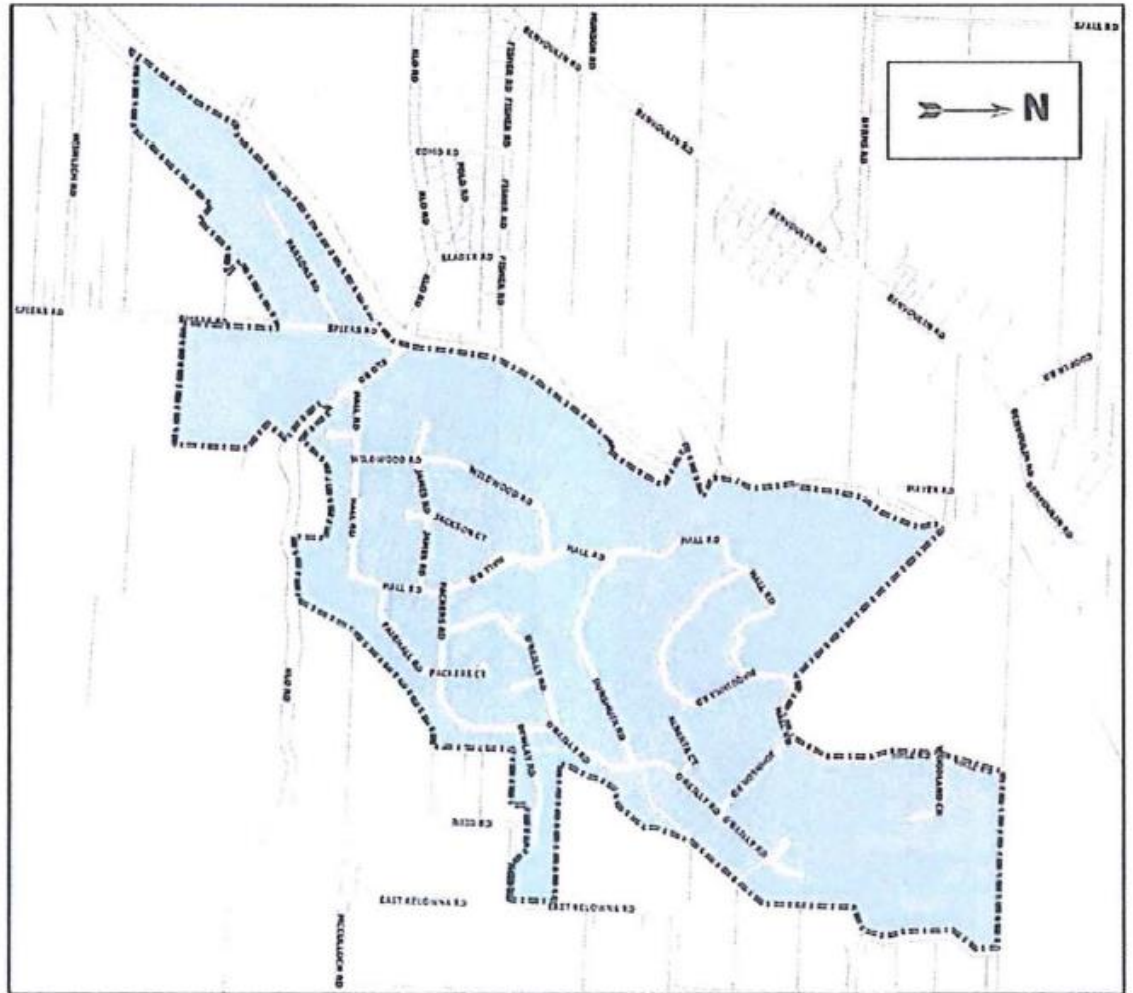
Over the last few years the City has received many calls from residents experiencing septic system problems and expressing their desire to have the City sewer extended into their neighborhood. It is probable that the failure rate of these septic systems will continue to increase as they near the end of their service life.

The Hall Road area is located adjacent to Mission Creek which is the main tributary to Okanagan Lake and primary fish habitat. Due to the close proximity of this area to Mission Creek, the potential is high for the existing septic fields to be hydraulically connected to Mission Creek. This has environmental consequences on water quality and fish habitat in Mission Creek and Okanagan Lake.

The health and environmental benefits from this project would extend beyond the residents of Hall Road area to the community at large.

If the City was successful in receiving grant funding this project would be coordinated with the Integrated Water Projects so that City Water and Wastewater service was delivered to these residents at the same time. Prior to proceeding with this project, however, the affected residents would have to agree to a Local Service Area where the benefitting property owners would pay for the balance of the infrastructure improvements.





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# Grant Priorities Strategic Priorities Fund

May 29<sup>th</sup>, 2017

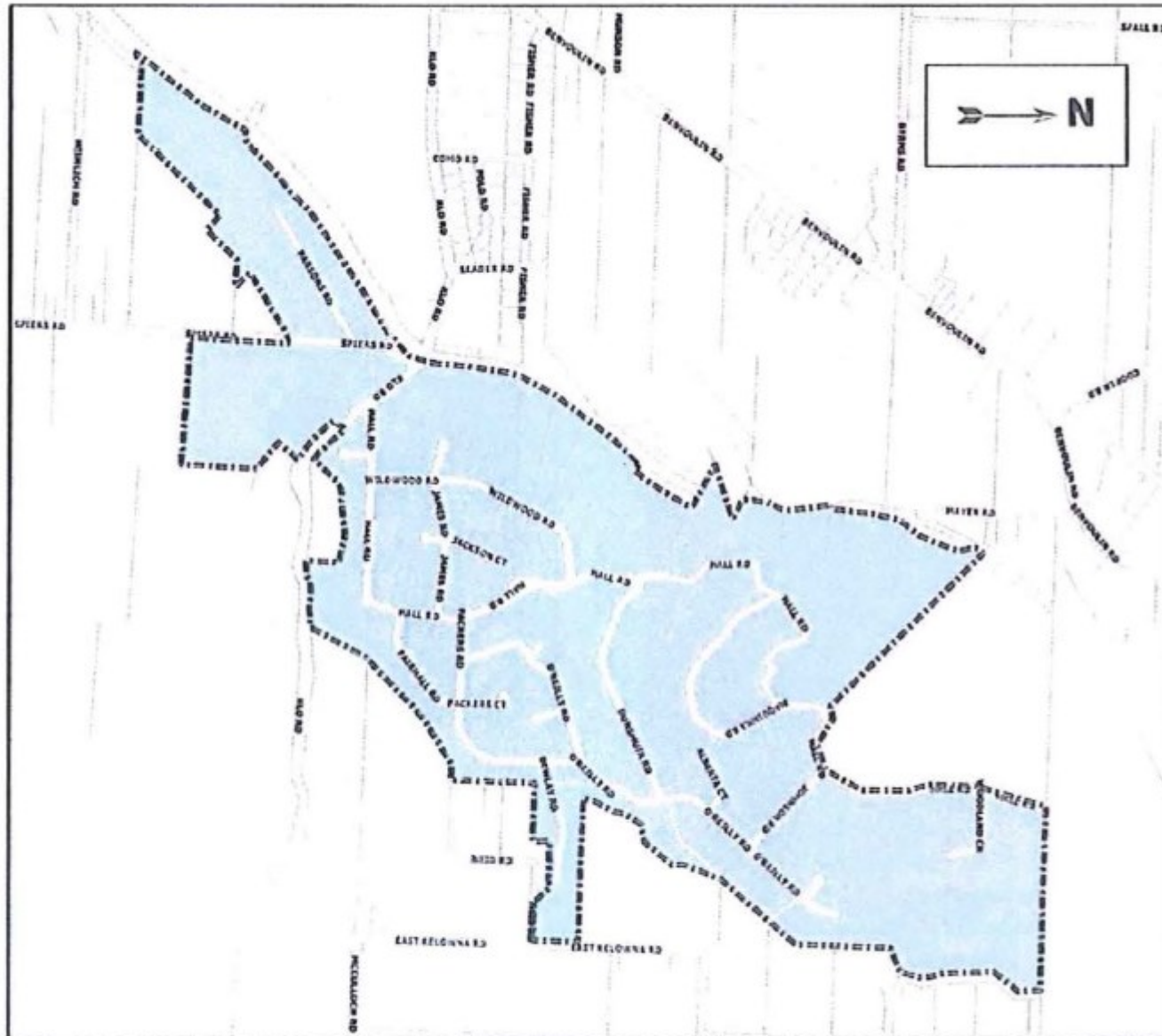


# Strategic Priorities Fund

- ▶ Application based funding program through the Gas Tax Agreement administered by UBCM.
- ▶ Provides funding for strategic Investments
  - ▶ Large in scale,
  - ▶ Regional in impact,
  - ▶ Innovative.
- ▶ Application limit
  - ▶ Two capital infrastructure projects (maximum \$6 million),
  - ▶ One capacity building stream,
- ▶ Application Deadline – June 1, 2017.

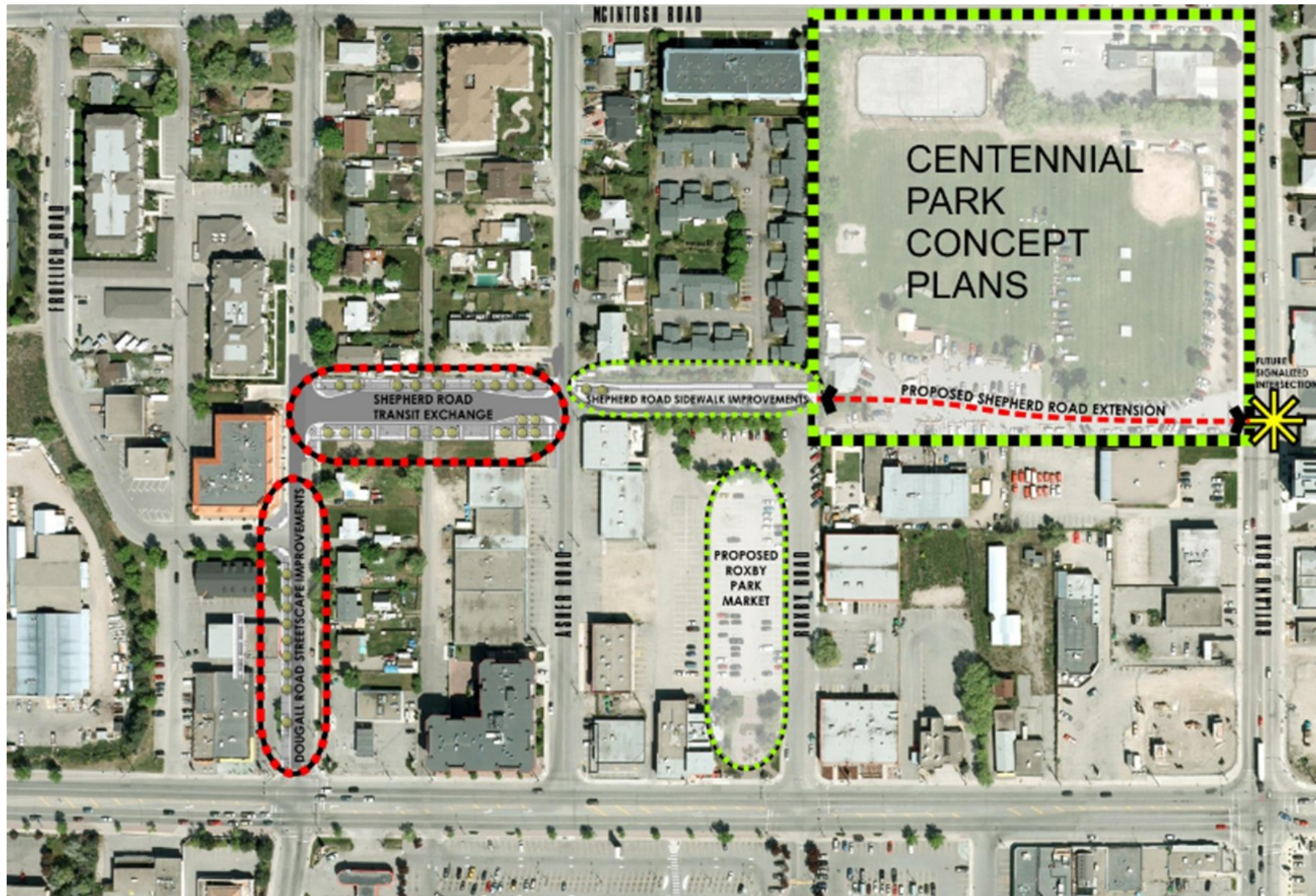
# Projects

Project Description	Grant Category	Cost	Grant Funding
Hall Road Sewer	Capital	\$11,200,000	\$6,000,000
Rutland Transit Exchange Phase 2	Capital	\$2,800,000	\$2,800,000
Asset Management System	Capacity	\$675,000	\$675,000



City of Kelowna







*Questions?*

For more information, visit [kelowna.ca](http://kelowna.ca).

# **CITY OF KELOWNA**

## **BYLAW NO. 11370**

### **Road Closure and Removal of Highway Dedication Bylaw** **(Portion of Watt Road)**

**A bylaw pursuant to Section 40 of the Community Charter  
to authorize the City to permanently close and remove the  
highway dedication of a portion of highway on Watt Road**

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NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, hereby enacts as follows:

1. That portion of highway attached as Schedule “A” comprising 0.206 ha shown in bold black as Closed Road on the Reference Plan prepared by Robert T. Macdonald, B.C.L.S., is hereby stopped up and closed to traffic and the highway dedication removed.
2. The Mayor and City Clerk of the City of Kelowna are hereby authorized to execute such conveyances, titles, survey plans, forms and other documents on behalf of the said City as may be necessary for the purposes aforesaid.

Read a first, second and third time by the Municipal Council this 15<sup>th</sup> day of May, 2017.

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

### Schedule “A”



# CITY OF KELOWNA

## BYLAW NO. 11409

### A Bylaw to Rename Clydesdale Road to Academy Way

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WHEREAS the Municipal Council of the City of Kelowna deems it desirable for Clydesdale Road to be renamed Academy Way in the City of Kelowna;

NOW THEREFORE the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT the name of Clydesdale Road be changed to Academy Way as outlined in Map "A" attached to and forming part of this bylaw;
2. This bylaw may be cited for all purposes as the "Renaming Clydesdale Road to Academy Way Name Change Bylaw No. 11409".

Read a first, second and third time by the Municipal Council this 15th day of May, 2017.

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk



Map "A"

