

City of Kelowna

Public Hearing

AGENDA



Tuesday, April 4, 2017
6:00 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order

THE CHAIR WILL CALL THE HEARING TO ORDER:

1. (a) The purpose of this Hearing is to consider certain bylaws which, if adopted, shall amend *Kelowna 2030* - Official Community Plan Bylaw No. 10500 and Zoning Bylaw No. 8000.

(b) All persons who believe that their interest in property is affected by the proposed bylaws shall be afforded a reason-able opportunity to be heard or to present written submissions respecting matters contained in the bylaws that are the subject of this hearing. This Hearing is open to the public and all representations to Council form part of the public record. A live audio feed may be broadcast and recorded by Castanet.

(c) All information, correspondence, petitions or reports that have been received concerning the subject bylaws have been made available to the public. The correspondence and petitions received after March 22, 2017 (date of notification) are available for inspection during the course of this hearing and are located on the information table in the foyer of the Council Chamber.

(d) Council debate on the proposed bylaws is scheduled to take place during the Regular Council meeting after the conclusion of this Hearing. It should be noted, however, that for some items a final decision may not be able to be reached tonight.

(e) It must be emphasized that Council will not receive any representation from the applicant or members of the public after conclusion of this Public Hearing.

2. Notification of Meeting

The City Clerk will provide information as to how the Hearing was publicized.

3. Individual Bylaw Submissions

3.1	4377 Kensington Drive, (BL11361) Z16-0042 - Gary Lupul	4 - 22
	To rezone the subject property to facilitate the development of a second single family dwelling on the subject parcel.	
3.2	757 Raymer Road, (BL11368) Z17-0005 - Daniel Joinson	23 - 32
	To consider rezoning the subject property from the RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing zone to facilitate a future subdivision.	
3.3	1449 Ethel Street, (BL11371) HRA16-0001 - Donald McDonald and Linda Scott-McDonald	33 - 45
	To enter into a Heritage Revitalization Agreement for the subject property to allow special events such as weddings, corporate events, fundraisers, and others; in exchange for long term preservation of a heritage resource.	
3.4	289-291 Valley Road, (BL11372) Z17-0002 - City of Kelowna	46 - 73
	To rezone the subject property from A1 Agricultural to P5 Municipal District Park, together with a Natural Environmental and Farm Development Permit to address stormwater drainage, farmland buffers and a road dedication for parking and access.	

4. Termination

5. Procedure on each Bylaw Submission

- (a) Brief description of the application by City Staff (Land Use Management);
- (b) The Chair will request that the City Clerk indicate all information, correspondence, petitions or reports received for the record.
- (c) The applicant is requested to make representation to Council regarding the project and is encouraged to limit their presentation to 15 minutes.
- (d) The Chair will call for representation from the public in attendance as follows:
 - (i) The microphone at the public podium has been provided for any person(s) wishing to make representation at the Hearing.
 - (ii) The Chair will recognize ONLY speakers at the podium.
 - (iii) Speakers are encouraged to limit their remarks to 5 minutes, however, if they have additional information they may address Council again after all other members of the public have been heard a first time.
- (e) Once the public has had an opportunity to comment, the applicant is given an opportunity to respond to any questions raised. The applicant is requested to keep the response to a total of 10 minutes maximum.

(f) Questions by staff by members of Council must be asked before the Public Hearing is closed and not during debate of the bylaw at the Regular Meeting, unless for clarification.

(g) Final calls for representation (ask three times). Unless Council directs that the Public Hearing on the bylaw in question be held open, the Chair shall state to the gallery that the Public Hearing on the Bylaw is closed.

Note: Any applicant or member of the public may use visual aids (e.g. photographs, sketches, slideshows, etc.) to assist in their presentation or questions. The computer and ELMO document camera at the public podium are available. Please ask staff for assistance prior to your item if required.

REPORT TO COUNCIL



Date: March 20, 2017

RIM No. 1250-30

To: City Manager

From: Community Planning Department (LK)

Application: Z16-0042 **Owner:** Gary Lupul

Address: 4377 Kensington Drive **Applicant:** Gary Lupul

Subject: Rezoning Application

Existing OCP Designation: S2RES – Single /Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

Proposed Zone: RU6 – Two Dwelling Housing

1.0 Recommendation

THAT Rezoning Application No. Z16-0042 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 21 District Lot 167 ODYD Plan 27559, located at 4377 Kensington Drive, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU6 – Two Dwelling Housing zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from Community Planning Department dated July 25, 2016;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject property.

2.0 Purpose

To rezone the subject property to facilitate the development of a second single family dwelling on the subject parcel.

3.0 Community Planning

Community Planning staff supports the proposal to rezone the parcel to facilitate the development of a second single family dwelling. The property is within the Permanent Growth Boundary in the North Mission/Crawford area of Kelowna. The parcel meets the Official Community Plan (OCP) Future Land Use

designation of S2RES – Single/Two Unit Residential and the policy of supporting densification of neighbourhoods through appropriate infill development. The proposed second dwelling is sensitive with respect to the building design, height and siting. The modest increase in density is supported by local amenities such as parks, schools, transit, and recreational opportunities in the immediate area.

Council Policy No. 367 with respect to public consultation was undertaken by the applicant and all neighbours within a 50m radius of the subject parcel.

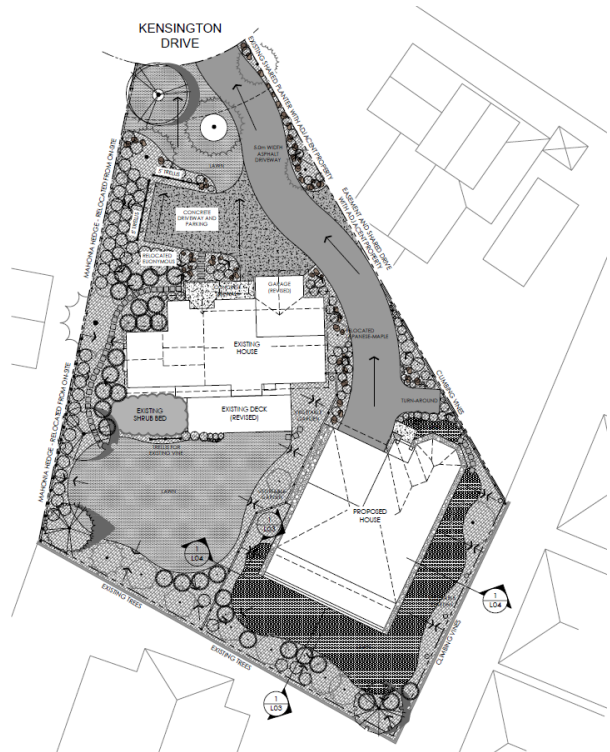
4.0 Proposal

4.1 Project Description

The subject application is to rezone the parcel to RU6 to accommodate the construction of a second dwelling on the parcel. If the Rezoning application is approved, a development variance permit will be considered by Council at a future date as the application would require a variance for parcel width due to the irregular shape of the parcel.

The parcel has a narrow frontage due to the location on the curve of the Cul de Sac and the minimum lot width as indicated in the subdivision regulations. The overall parcel area is more than three times the size required for two dwelling housing. As the parcel does not have rear lane access, the applicant is proposing shared driveway access to both the existing and new dwelling. This will ensure the amount of hard surfacing on the parcel, which in turn maximizes the amount of outdoor amenity area/green space on the parcel.

The proposed dwelling is located towards the rear of the parcel. It meets all of the zoning bylaw regulations, including required setbacks and site coverage. Overlook issues to adjacent properties are reduced as the proposed dwelling is single storey in height. The applicant is utilizing a Landscape Architect to address new site landscaping which includes additional trees, shrubs and lawn. The east fence will have climbing vines to provide screening for the adjacent parcels. The proposed dwelling provides setbacks larger than required from the rear adjacent multi-family site. All of these factors will increase the privacy of the subject parcel and those adjacent to it.



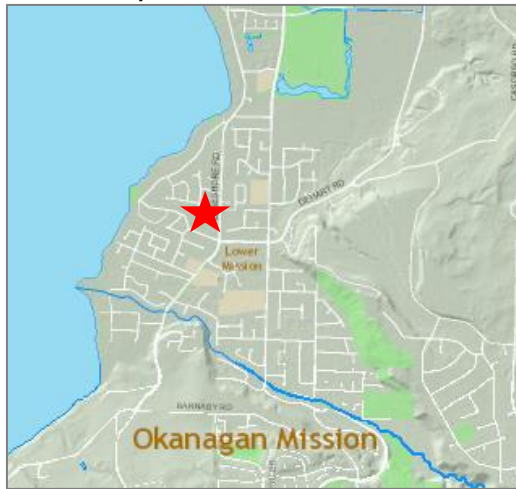
4.2 Site Context

The parcel is within the South Mission/ Crawford area at the end of a Cul de Sac. The parcel is within the Permanent Growth Boundary with easy access to Lakeshore Road. The Rezoning request aligns with the OCP Future Land Use of S2RES – Single/Two Unit Residential. The site provides a transition from the adjacent MRL – Multiple Unit Residential (Low Density) to the predominantly single family dwelling neighbourhood.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single Family Housing
East	RU1 – Large Lot Housing	Single Family Housing
South	RM3 – Low Density Multiple Housing	Multiple Dwelling Housing
West	RU1 – Large Lot Housing	Single Family Housing

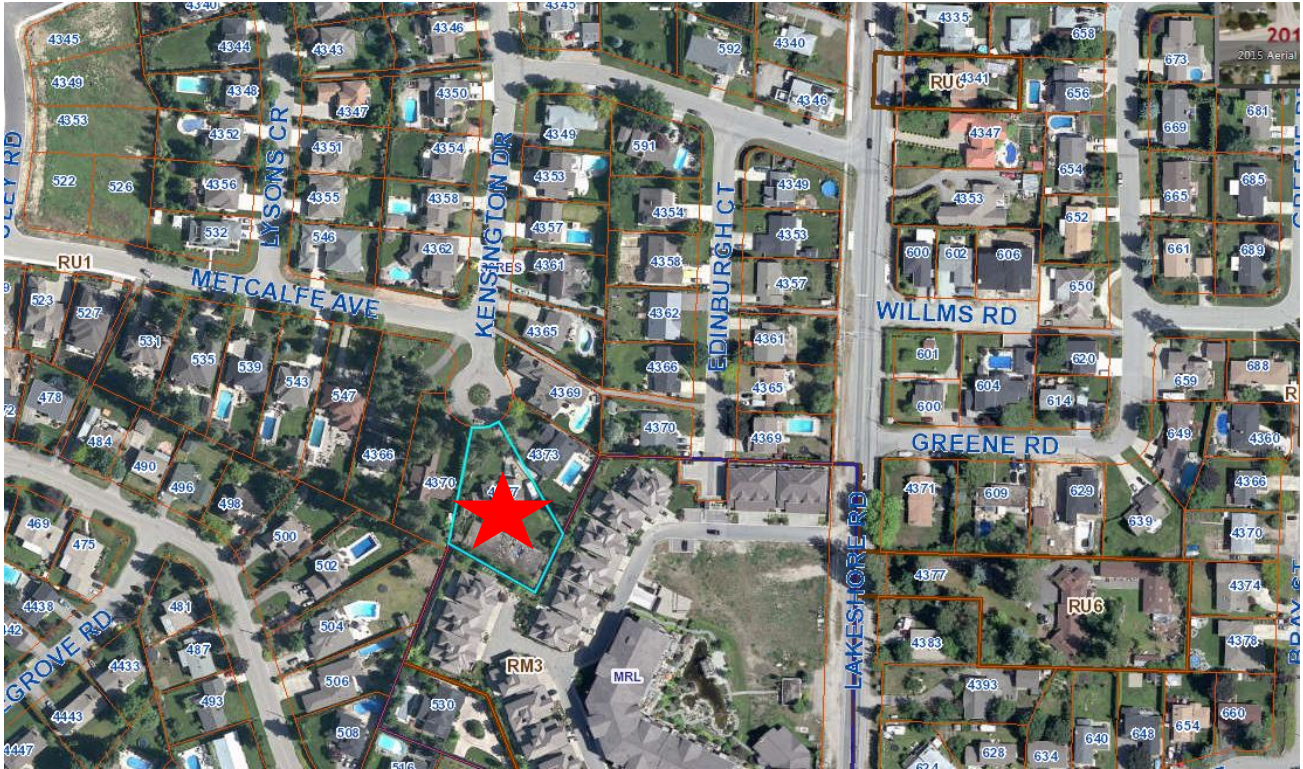
Context Map:



Future Land Use:



Subject Property Map: 4377 Kensington Drive



4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU6 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Minimum Lot Area	700 m ²	2307 m ²
Minimum Lot Width	18 m	17.03 m ❶
Minimum Lot Depth	30 m	56.94 m
Development Regulations		
Maximum Site Coverage (buildings)	40%	21%
Maximum Site Coverage (buildings, driveways and parking)	50%	38%
Maximum Height	9.5 m	4.19 m
Minimum Front Yard	4.5 m	24.6 m to existing dwelling
Minimum Side Yard (east)	2.0 m	2.0 m
Minimum Side Yard (west)	2.0 m	26.81 m
Minimum Rear Yard	7.5 m	15.64 m
Other Regulations		
Minimum Parking Requirements	4 stalls	+5 stalls
Minimum Private Open Space	25 m ² per dwelling	Exceeds requirements
❶ Indicates a requested variance to the minimum lot width of 18.0 m to 17.03 m proposed.		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Development Process

Complete Suburbs.¹ Support a mix of uses within Kelowna's suburbs (see Map 5.1 – Urban Core Area), in accordance with "Smart Growth" principles to ensure complete communities. Uses that should be present in all areas of the City (consistent with Map 4.1 – Future Land Use Map), at appropriate locations, include: commercial, institutional, and all types of residential uses (including affordable and special needs housing) at densities appropriate to their context.

Compact Urban Form.² Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Sensitive Infill.³ Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height, and siting.

6.0 Technical Comments

6.1 Building & Permitting Department

¹ City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications.

6.2 Development Engineering Department

- Refer to Attachment "A".

7.0 Application Chronology

Date of Application Received: July 12, 2016
Date Public Consultation Completed: November 12, 2016
Date of Amended Plans Received: January 16, 2017

Report Prepared by: Lydia Korolchuk, Planner

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Attachment A: Development Engineering Memorandum
Site Plan
Conceptual Elevations
Landscape Plan

CITY OF KELOWNA

MEMORANDUM

Date: July 25, 2016
File No.: Z16-0042

To: Community Planning (LK)

From: Development Engineering Manager(PI)

Subject: 4377 Kensington Road

RU1 to RU6

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Sergio Sartori

1. Domestic Water and Fire Protection

This property is currently serviced with a 19mm diameter PVC water service. Two 19mm copper or 25mm poly water services are required to meet current by-law requirements. The water service requirements can be provided by the City at the owner's cost. **The applicant will be required to sign a Third Party Work Order for the cost of the water service upgrades.** For estimate inquiry's please contact Sergio Sartori, by email ssartori@kelowna.ca or phone, 250-469-8589.

The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures. The City of Kelowna water meter contractor must salvage existing water meters, prior to building demolition. If water meters are not salvaged, the developer will be invoiced for the meters.

2. Sanitary Sewer

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. An inspection chamber (IC) complete with brooks box should be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost. **The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade.** For estimate inquiry's please contact Sergio Sartori, by email ssartori@kelowna.ca or phone, 250-469-8589.

3. Road Improvements

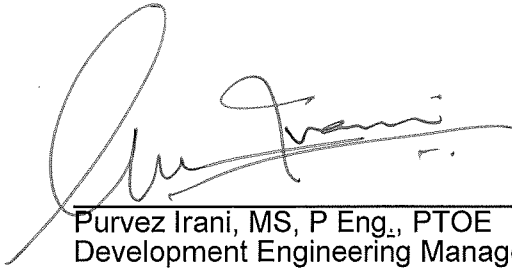
- (a) Kensington Rd has been upgraded to an urban standard along the full frontage of this proposed development therefore no further upgrades are required.

5. Development Permit and Site Related Issues

Direct the roof drains into on-site rock pits or splash pads.

6. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

A handwritten signature in black ink, appearing to read 'Purvez Irani', is written over a horizontal line.

Purvez Irani, MS, P Eng., PTOE
Development Engineering Manager
SS

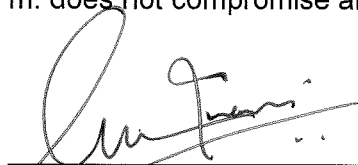
CITY OF KELOWNA

MEMORANDUM

Date: July 25, 2016
File No.: DVP16-0168
To: Community Planning (LK)
From: Development Engineer Manager (PI)
Subject: 4377 Kensington Road

The Development Engineering comments and requirements regarding this DVP application are as follows:

This development variance permit application to vary the required frontage from 18.0 m to 17.03 m. does not compromise any municipal services.



Purvez Irani, MS, P Eng., PTOE
Development Engineering Manager

SS

CITY OF KELOWNA

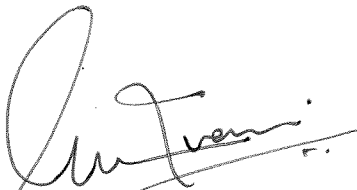
MEMORANDUM

Date: July 26, 2016
File No.: DP16-0169
To: Community Planning (LK)
From: Development Engineering Manager (PI)
Subject: 4377 Kensington Road

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

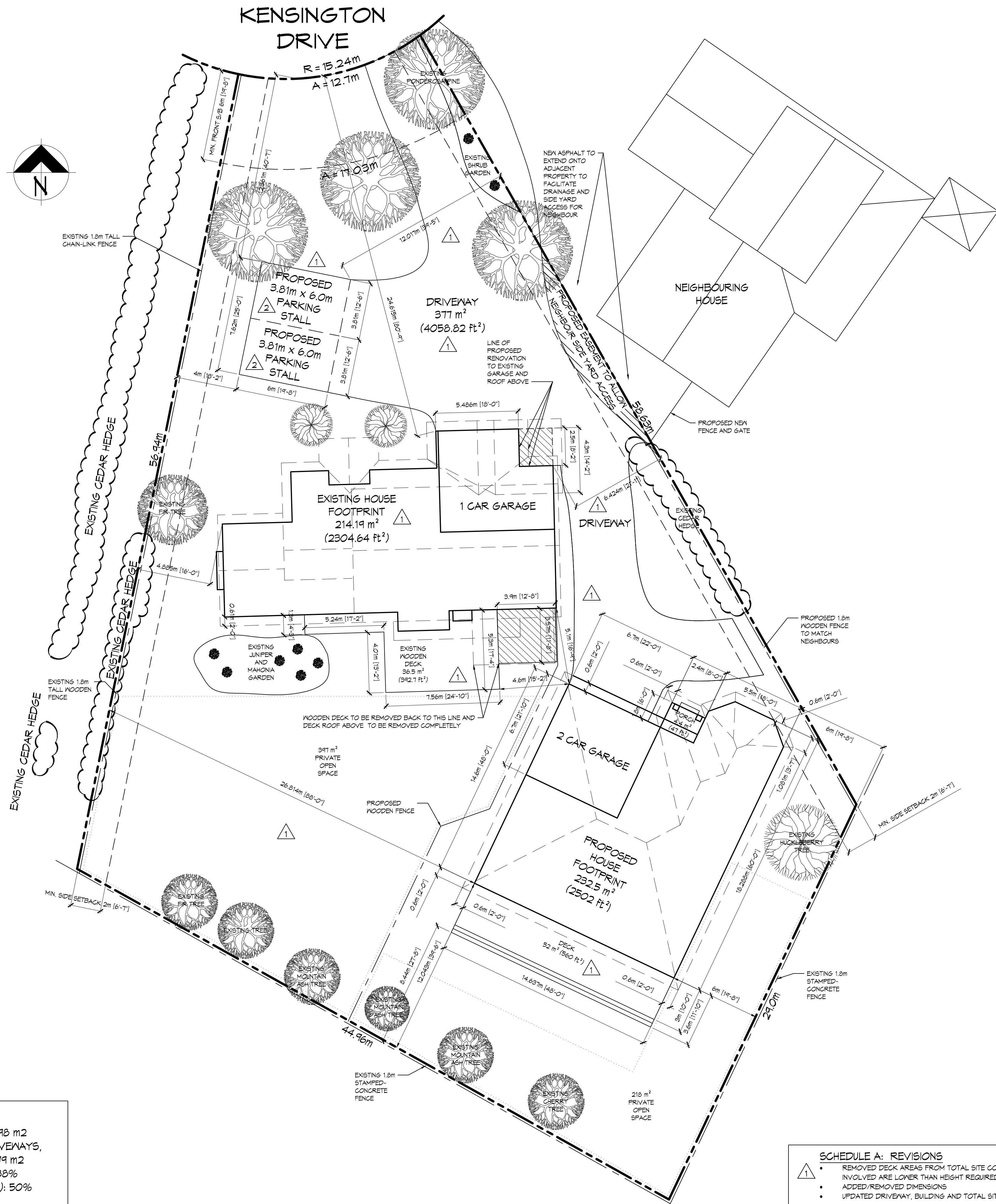
1. General.

- a) All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z16-0042.



Purvez Irani, MS, P Eng., PTOE
Development Engineering Manager

SS



SITE AREA: 2317.4 m²
TOTAL BUILDING COVERAGE: 498 m²
TOTAL SITE COVERAGE (INCL. DRIVEWAYS,
SIDEWALKS AND DECKS): 874.71 m²
TOTAL SITE COVERAGE (%): 38%
ALLOWABLE SITE COVERAGE (%): 50%

SCHEDULE A: REVISIONS	
1	REMOVED DECK AREAS FROM TOTAL SITE COVERAGE BECAUSE ALL DECKS INVOLVED ARE LOWER THAN HEIGHT REQUIRED FOR INCLUSION
2	ADDED/REMOVED DIMENSIONS
3	UPDATED DRIVEWAY, BUILDING AND TOTAL SITE COVERAGE
4	REPLACED 2-CAR GARAGE IN 2-3.81m x 6.0m PARKING STALLS SET BACK 4.0m FROM NEST PROPERTY LINE

- GENERAL NOTES**
- THESE PLANS HAVE BEEN DESIGNED AND DRAFTED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2012 AND THE CANADIAN WOOD COUNCIL SPAN BOOK 2004 EDITION. ALL STRUCTURAL MEMBERS HAVE BEEN DESIGNED FOR A ROOF SNOW LOAD OF 2.5 KPA. CONTRACTOR TO VERIFY LOCAL SNOW AND RAIN LOAD GUIDELINES PRIOR TO CONSTRUCTION.
 - IT IS THE RESPONSIBILITY OF THE BUILDING OWNER AND/OR BUILDER TO ENSURE CONSTRUCTION COMPLIES WITH APPLICABLE BUILDING CODES AND BYLAWS AND CONFORMS TO ACCEPTABLE BUILDING PRACTICES.
 - ALL CONSTRUCTION, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND IN A TIMELY FASHION.
 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE DRAWINGS AND ON THE BUILDING SITE BEFORE COMMENCING CONSTRUCTION.
 - IN THE EVENT OF A DISCREPANCY BETWEEN SCALED DIMENSIONS AND THOSE NOTED ON THE DRAWINGS, THE LATTER SHALL TAKE PRECEDENCE.
 - LUMBER SPECIES AND GRADES TO BE AS FOLLOWS UNLESS NOTED OTHERWISE:
JOISTS, RAFTERS, STRINGERS, PLATES: DOUGLAS FIR #2 & BETTER.
STUDS: D. FIR OR SPF STUD GRADE.
POSTS, BEAMS AND LINTELS: #2 D. FIR OR BETTER.
SILLS, SLEEPERS AND PLATES IN CONTACT WITH CONCRETE: PRESSURE TREATED DOUGLAS FIR.
FLOOR AND WALL SHEATHING TO BE MIN. 15.5MM U.N.O. ROOF SHEATHING TO BE MIN. 12.5 U.N.O.
 - ALL LINTELS TO BE MINIMUM 2-38X235 UNLESS NOTED OTHERWISE, AND TO HAVE MINIMUM 35MM END BEARING.
 - SOLID BLOCKING REQUIRED BETWEEN JOISTS AND RAFTERS AT BEARING WALLS.
 - 1 ROW OF CROSS BRIDGING SHALL BE PROVIDED MID-SPAN BETWEEN FLOOR JOISTS AT A SPACING NO GREATER THAN 2100MM AS PER CBC 1989 9.23.9.4.
 - LEDGERS AND FOUNDATION SILL PLATES SHALL BE BOLTED TO CONCRETE FOUNDATION WITH 15.5MM DIAM. ANCHOR BOLTS @1220MM O.C. UNLESS NOTED OTHERWISE.
 - NAILING SCHEDULE FOR FRAMING TO CONFORM TO NATIONAL STANDARDS.
 - ROOF VENTS SHALL BE PROVIDED TO A MINIMUM 1:300 OF THE INSULATED CEILING AREA. ROOF, GABLE AND/OR EAVE TYPE VENTS SHALL BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING AND AT TOP AND BOTTOM OF THE ATTIC SPACE. ALL VENTS SHALL BE DESIGNED TO PREVENT THE ENTRY OF INSECTS, SNOW, OR RAIN.
 - MINIMUM 63MM CONTINUOUS AIRSPACE TO BE MAINTAINED TO ALLOW AIRFLOW FROM ROOF VENTS TO ATTIC SPACES.
 - CONTINUOUS ULTRA-VIOLET RESISTANT 6MM POLY VAPOUR BARRIER TO BE INSTALLED ON THE WARM SIDE OF INSULATION IN ALL EXTERIOR WALLS AND CEILINGS.
 - MINIMUM INSULATION REQUIREMENTS ARE AS FOLLOWS (CONTRACTOR TO VERIFY WITH LOCAL BUILDING CODES IF INSULATION SHOULD BE INCREASED OR DECREASED FROM THE FOLLOWING VALUES):
ROOF JOISTS: R-32
ATTIC SPACES: R-40
FRAMED WALLS: R-20
SUSPENDED FRAMED FLOORS: R-28
SUSPENDED CONCRETE FLOORS: R-12
CONCRETE FOUNDATION WALLS: R-12
CONCRETE SLAB ON GRADE: R-12
 - CRAWL SPACES, HEATED OR UNHEATED, SHALL BE NATURALLY VENTED TO A MINIMUM 1:500 OF THE FLOOR AREA. ALL VENTS SHALL BE UNIFORMLY DISTRIBUTED AND CONSTRUCTED TO PREVENT THE ENTRY OF INSECTS, SNOW OR RAIN.
 - ALL ATTIC AND CRAWL SPACES TO HAVE AN MINIMUM 500MM X 700MM ACCESS OPENING PROVIDED.
 - CONTRACTOR TO ENSURE PROPER INSTALLATION OF PLUMBING, HEATING, AND ELECTRICAL EQUIPMENT AND MATERIALS AS PER THE MANUFACTURER'S SPECIFICATIONS AND IN ACCORDANCE WITH THE B.C.B.C.
 - ALL STAIRS, LANDINGS, BALCONIES, AND PORCHES HIGHER THAN 900MM (OR 2 RISERS) ABOVE GROUND SHALL BE PROTECTED WITH GUARDS AT ALL OPEN SIDES. GUARDS SHALL BE DESIGNED TO PREVENT CLIMBING AND HAVE NO OPENING GREATER THAN 100MM. INTERIOR GUARD HEIGHT SHALL BE MINIMUM 900MM AND EXTERIOR GUARD HEIGHT SHALL BE MINIMUM 1070MM.
 - ALL WINDOWS SHALL BE DOUBLE GLAZED OR INSULATED GLASS.
 - BEDROOM EGRESS: PROVIDE MINIMUM NET CLEAR OPENING OF 0.32 METERS SQUARED AND NO DIMENSION LESS THAN 380MM. MAXIMUM HEIGHT OF WINDOW FROM SUBFLOOR TO FINISHED WINDOW SILL TO BE 1500MM.
 - ALL CERAMIC WALL TILE INSTALLED IN AREAS PRONE TO WATER AND/OR PHYSICAL IMPACT TO BE UNDERLAIN WITH 12.5MM REINFORCED CONCRETE BACKER BOARD.
 - EXHAUST FANS, RANGE HOOD, AND CLOTHES DRYER TO VENT OUTSIDE VIA METAL DUCTS. EXHAUST VENTILATION RATE:
BATHROOM - 25 L/S (60 CFM)
KITCHEN - 40 L/S (90 CFM)
 - SMOKE DETECTORS SHOULD BE CONNECTED TO THE RESIDENCE POWER SOURCE (110V).
 - CLIMATIC DATA FOR THE DESIGN OF BUILDINGS IN KELOWNA:
GROUND SNOW LOAD
SS 1.8kPa
SR 0.1kPa
HOURLY WIND PRESSURES
1/10 0.34kPa
1/30 0.43kPa
1/100 0.53kPa
SEISMIC
ZA 1
ZV 1
FROST DEPTH 600MM
 - SPECIFIED SNOW LOAD: (0.8 X 1.8KPA + 0.1 KPA) = 1.5KPA

LEGAL DESCRIPTION
4377 KENSINGTON DRIVE
LOT 21, DL 167, PLAN 27559



Willow CADD Services
1971 ORCHARD DRIVE,
KELOWNA, B.C. V1Y 3V1
PH. (778) 215-0467

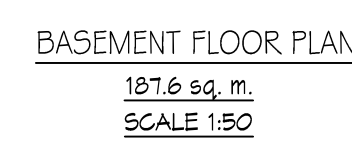
No.	REVISIONS	DATE
1	SEE SCHEDULE A	21-6-2016
2	SEE SCHEDULE A	20-7-2016

JOB TITLE
PROPOSED
DEVELOPMENT
4377
KENSINGTON
DRIVE, KELOWNA

DRAWING TITLE
SITE PLAN AND
SITE COVERAGE

DATE
JULY 5/2015
DRAW BY
D.P.
JOB No.
WCS 02-15
SCALE
1:150
DRAWING No.

A1





1371 ORCHARD DRIVE
KELOWNA, B.C. V1Y 3V
PH (778) 215-0967

[illegible]

JOB TITLE	
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PROPOSED
DEVELOPMENT
4377
KENSINGTON
DRIVE, KELOWNA

DRAWING TITLE

PROPOSED HOUSE ELEVATIONS

DATE
MARCH 18/2015

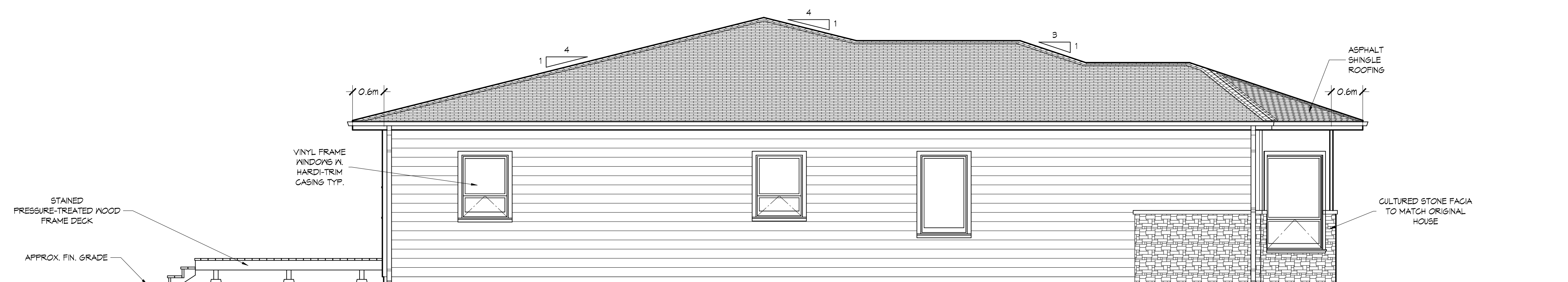
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D.P.

JOB No.
WCS 02-15

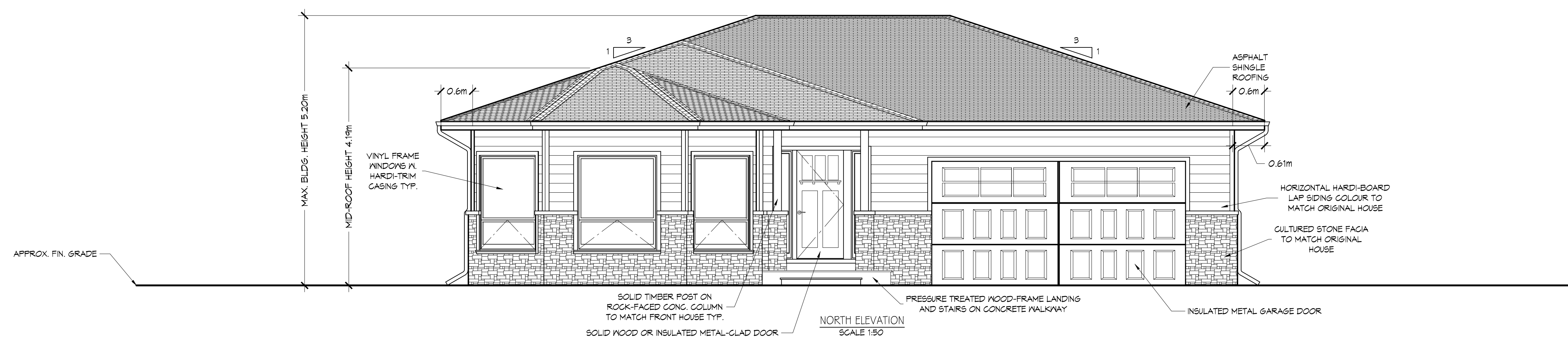
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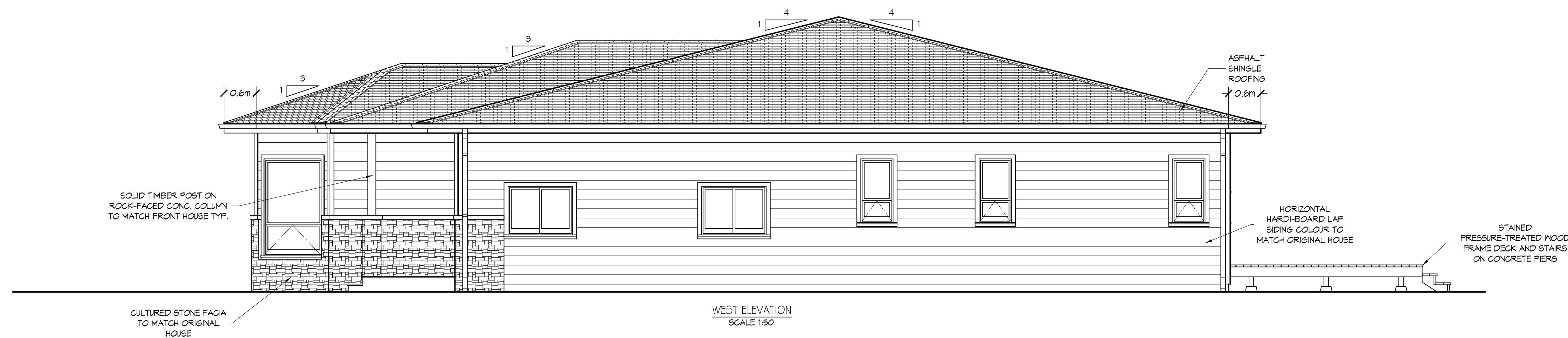
A3



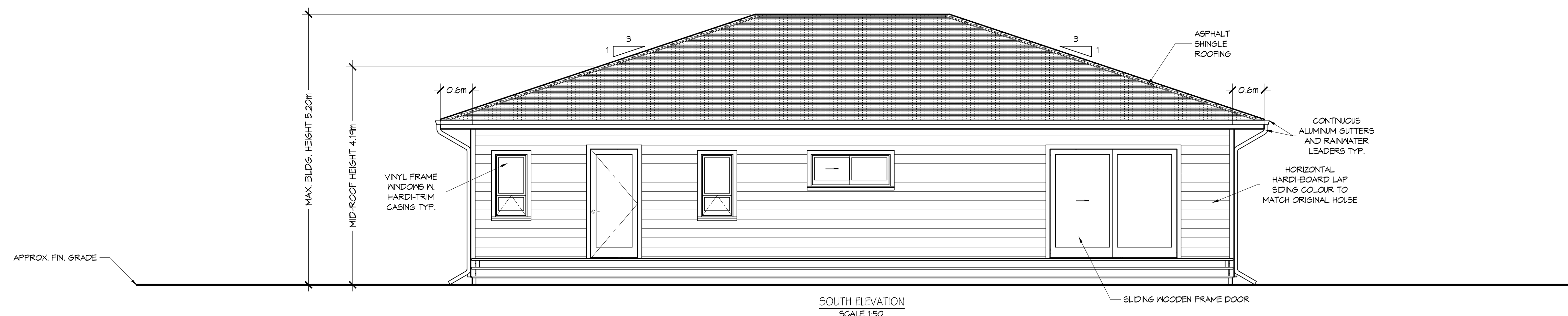
EAST ELEVATION
SCALE 1:50



NORTH ELEVATION
SCALE 1:50



WEST ELEVATION
SCALE 1:50



SOUTH ELEVATION
SCALE 1:50



JOB TITLE

PROPOSED
DEVELOPMENT
4377
KENSINGTON
DRIVE, KELOWNA

DATE	JULY 5/2015
DRAWN BY	D.P.

SCALE
1:50

A4

[illegible]

JOB TITLE

PROPOSED
DEVELOPMENT
4377
KENSINGTON
DRIVE, KELOWNA

DRAWING TITLE

EXISTING HOUSE
EAST AND WEST
ELEVATIONS

DATE
JULY 5/2015

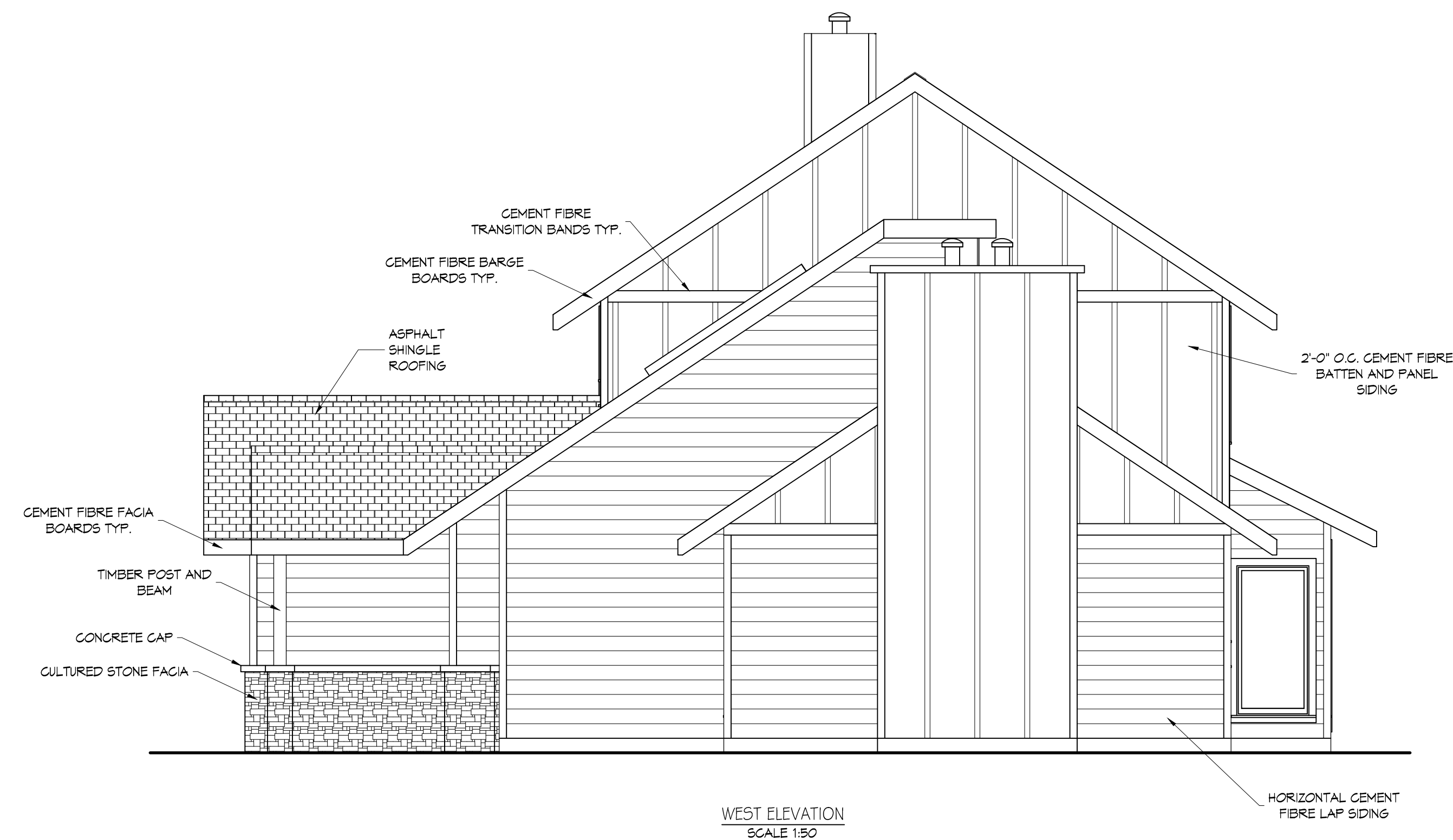
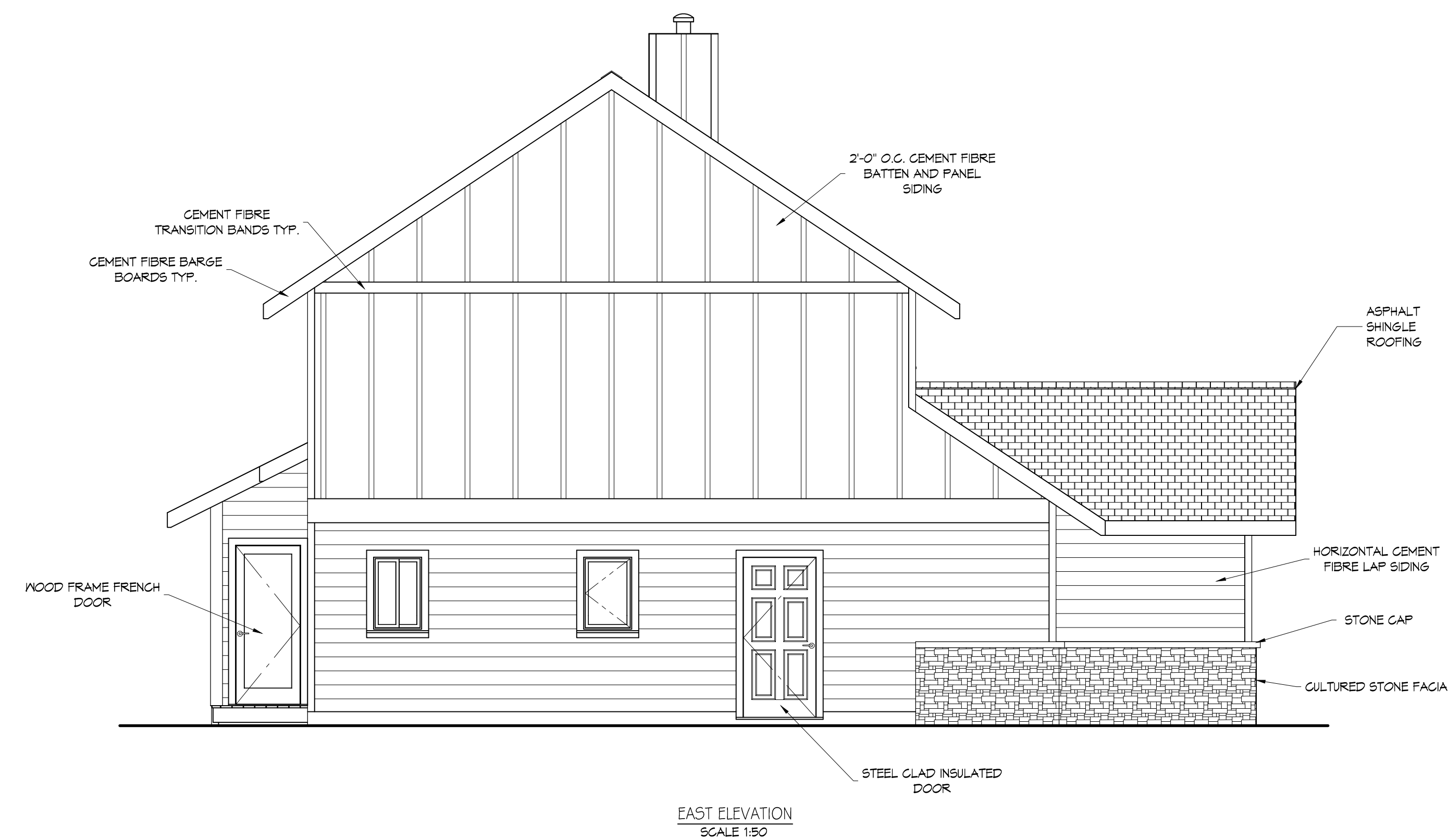
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D.P.

JOB No.
WCS 02-15

SCALE
1:50

DRAWING No.

A5





BRITISH COLUMBIA LAND SURVEYOR'S SITE PLAN SHOWING EXISTING
HOUSE ON LOT 21, DISTRICT LOT 167, ODYD, PLAN 27559.

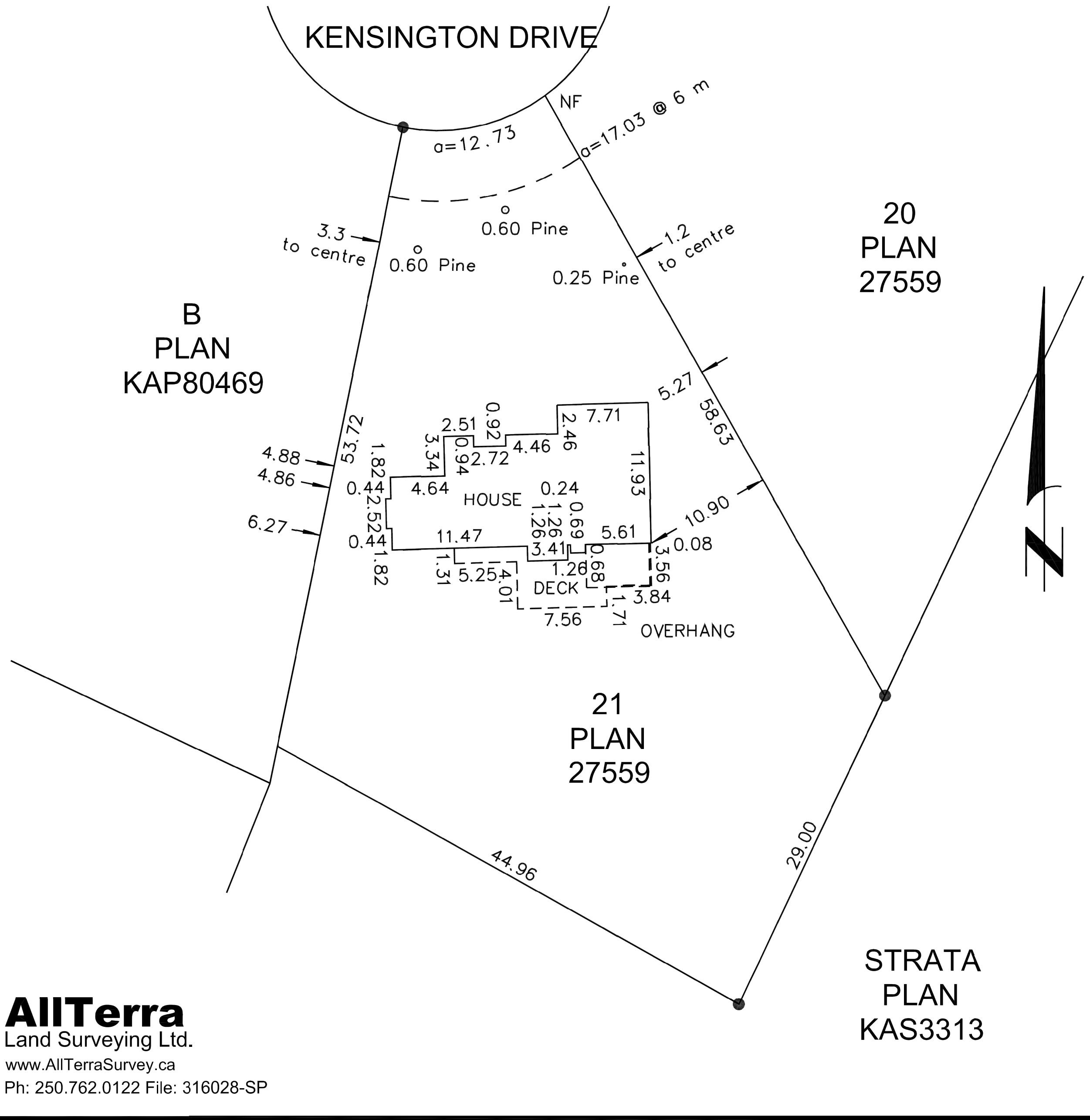
PID: 004-795-130
CIVIC ADDRESS: 4377 Kensington Drive
CLIENT: Lupul

Lot dimensions shown are derived from Land Title Office records.

Scale 1:500 Metric. Distances shown are in metres and decimals thereof.

This plan is based upon a field survey completed on March 31, 2016.

- Denotes Iron Post found
- NF Denotes nothing found



AllTerra
Land Surveying Ltd.
www.AllTerraSurvey.ca
Ph: 250.762.0122 File: 316028-SP

1 EXISTING CONDITIONS - AIR PHOTO
SCALE: APPROX. 1:200

2 EXISTING CONDITIONS - SITE SURVEY
SCALE: NTS

BLA
Landscape Architecture

BALDERSTON LANDSCAPE ARCHITECTURE LTD.
716 LAWSON AVENUE, SUITE A
KELOWNA, BC V1Y 6S8
t: 1.250.860.2974
e: elizabeth@blastudio.ca

ATTENTION

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SURVEY INFORMATION
PREPARED BY: AllTerra Land Surveying Ltd.
COORDINATE SYSTEM:
COMPILED DATE: 2016/04/06

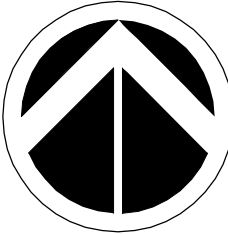
SEAL

REVISIONS			
NO.	DATE	ISSUE/REVISION	APP.
1	2016.07.25	DEVELOPMENT PERMIT	GL

PROJECT/CLIENT
4377 KENSINGTON DRIVE
LUPUL PROPERTIES LTD.

ISSUED FOR
DEVELOPMENT PERMIT

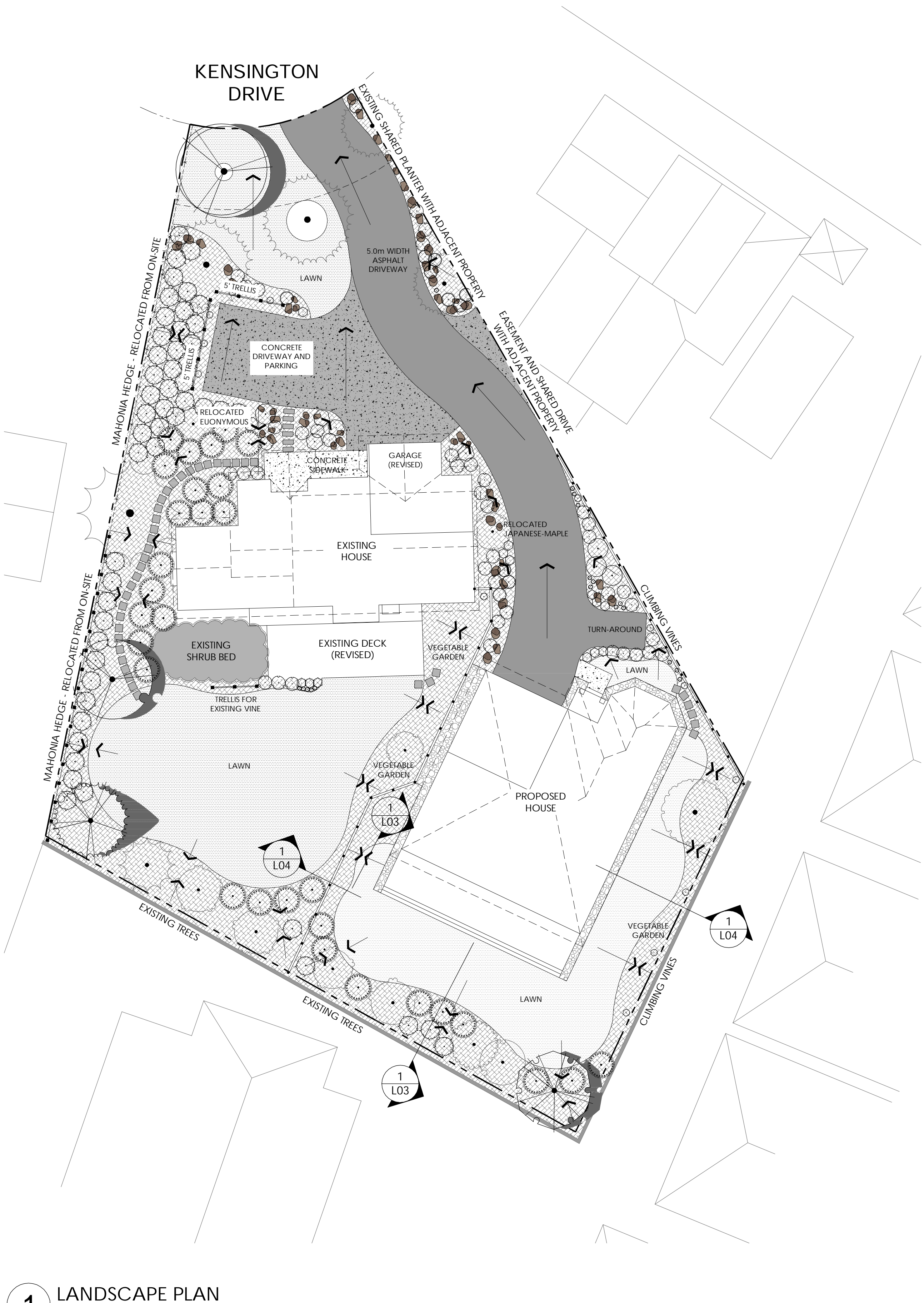
DRAWING NAME
EXISTING CONDITIONS

NORTH 	DRAWN BY:	EB
	DATE:	2016.06.06
	CHECKED BY:	XX
	DATE:	YYYY/MM/DD
	APPROVED BY:	GARY LUPUL
	DATE:	2016.06.10
	SCALE:	AS NOTED
	PROJECT NO:	0012.0001.01

DRAWING NO.

L01

SHEET NO. 1 of 4
REVISION NO. 1



1 LANDSCAPE PLAN
SCALE 1:200

LEGEND

- LARGE BOULDER
 - 750 X 500 X 500 mm
 - TO MATCH ADJACENT PROPERTY
- SMALL BOULDER
 - 500 X 500 X 500 mm
 - TO MATCH ADJACENT PROPERTY
- STEPPING STONE
 - 500 X 500 X 60 mm
 - CONCRETE OR NATURAL STONE
- WALKWAY STONE
 - 800 X 350 X 60 mm
 - CONCRETE OR NATURAL STONE
- RIVER ROCK MULCH C/W ALUMINIUM EDGER
 - 100 - 150 mm DIA WASHED RIVER ROCK
 - OVER 50 mm DEPTH GRANULAR BASE
- BARK MULCH
 - 75 mm DEPTH
 - OVER 450 mm DEPTH GROWING MEDIUM
- SOD
 - ECOTURF OR APPROVED EQUAL
 - OVER 150 mm DEPTH GROWING MEDIUM
- CONCRETE SIDEWALK
- ASPHALT DRIVEWAY
- CONCRETE DRIVEWAY
- PROPOSED WOOD FENCE
- PROPOSED TRELLIS
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING CONCRETE FENCE
 - FROM ADJACENT DEVELOPMENT
- DIRECTION OF SURFACE DRAINAGE
 - MIN. 2 % - MAX 30 % LANDSCAPE SURFACES

EXISTING TREES

- JAPANESE MAPLE (RELOCATED ON SITE)
- EUONYMOUS (RELOCATED ON SITE)
- MOUNTAIN ASH
- CHERRY
- BURR OAK
- MAPLE
- ELDERBERRY
- DOUGLAS FIR
- PONDEROSA PINE

PLANTING NOTES:

- KELOWNA PLANT HARDINESS ZONE 6a
- ALL PLANTS IN PLANT LIST ARE LOW TO MODERATE WATER USE
- ALL PLANT MATERIAL SHOWN AT 3/4 MATURE PLANT WIDTH
- TREES AND SHRUBS TO BE PLANTED AS PER CITY OF KELOWNA STANDARD TREE AND SHRUB PLANTING DETAILS

NOTES:

- SEE BUILDING PLANS FOR DIMENSIONED SITE LAYOUT PLAN AND FENCE DETAILS
- TIMED IRRIGATION WILL BE PROVIDED FOR EACH SEPARATE STRATA LOT TO COVER THE PLANTING ON THAT LOT
- SITE LIGHTING WILL CONSIST OF FRONT AND BACK PORCH LIGHTS ON EACH UNIT AND LIGHTS ON THE GARAGE ENTRIES; A PHOTO SENSITIVE LIGHT WILL BE LOCATED ON THE SIDE OF THE WEST HOUSE GARAGE NEXT TO THE DRIVEWAY

PLANT SCHEDULE									
TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	REMARKS	VERY LOW	LOW	MEDIUM
	1	ACER X FREEMANII 'JEFFSRED' / AUTUMN BLAZE MAPLE	B@B	60 MM					X
	1	PINUS PONDEROSA / PONDEROSA PINE	B@B		3.0M HT			X	
	1	QUERCUS MACDANIELLI 'CLEMONS' TM / HERITAGE OAK	B@B	60 MM					X
	1	QUERCUS MACROCARPA / BURR OAK	B@B	60 MM			X		
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT			REMARKS	VERY LOW	LOW	MEDIUM
	39	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	#2 CONT				X	X	X
	4	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	#3 CONT						X
	30	JUNIPERUS SABINA / SAVIN JUNIPER				RELOCATED FROM ON-SITE		X	X
	10	LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE' / HIDCOTE BLUE LAVENDER				RELOCATED FROM ON-SITE		X	
	41	MAHONIA AQUIFOLIUM / OREGON GRAPE				RELOCATED FROM ON-SITE		X	
	8	PARTHENOCISSUS QUINQUEFOLIA / VIRGINA CREEPER	#1 CONT						X
	11	PENNISETUM ALOPECUROIDES / FOUNTAIN GRASS	#2 CONT				X		
	13	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' TM / LITTLE SPIRE RUSSIAN SAGE	#2 CONT					X	
	4	ROSA X 'NEARLY WILD' / NEARLY WILD ROSE	#3 CONT					X	
	3	WISTERIA MACROSTACHYA 'BLUE MOON' / WISTERIA	#1 CONT					X	X

BALDERSTON LANDSCAPE ARCHITECTURE LTD.
716 LAWSON AVENUE, SUITE A
KELOWNA, BC V1Y 6S8
t: 1.250.860.2974
e: elizabeth@blastudio.ca

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SURVEY INFORMATION
PREPARED BY: Allterra Land Surveying Ltd.
COORDINATE SYSTEM:
COMPILATION DATE: 2016/04/06

SEAL

REVISIONS			
NO.	DATE	ISSUE/REVISION	APP.
1	2016.07.20	DEVELOPMENT PERMIT	GL
2	2016.07.25	DEVELOPMENT PERMIT	GL

PROJECT/CLIENT

4377 KENSINGTON DRIVE

LUPUL PROPERTIES LTD.

ISSUED FOR

DEVELOPMENT PERMIT

DRAWING NAME

LANDSCAPE PLAN

NORTH

DRAWN BY: EB
DATE: 2016.06.06
CHECKED BY: XX
DATE: YYYY/MM/DD
APPROVED BY: GARY LUPUL
DATE: 2016.06.10
SCALE: 1:200
PROJECT NO: 0012.0001.01

DRAWING NO.

L02

SHEET NO. 2 of 4

REVISION NO. 2

REVISIONS			
NO.	DATE	ISSUE/REVISION	APP.
1	2016.07.25	DEVELOPMENT PERMIT	GL

PROJECT/CLIENT

4377 KENSINGTON DRIVE

LUPUL PROPERTIES LTD.

ISSUED FOR
DEVELOPMENT PERMIT

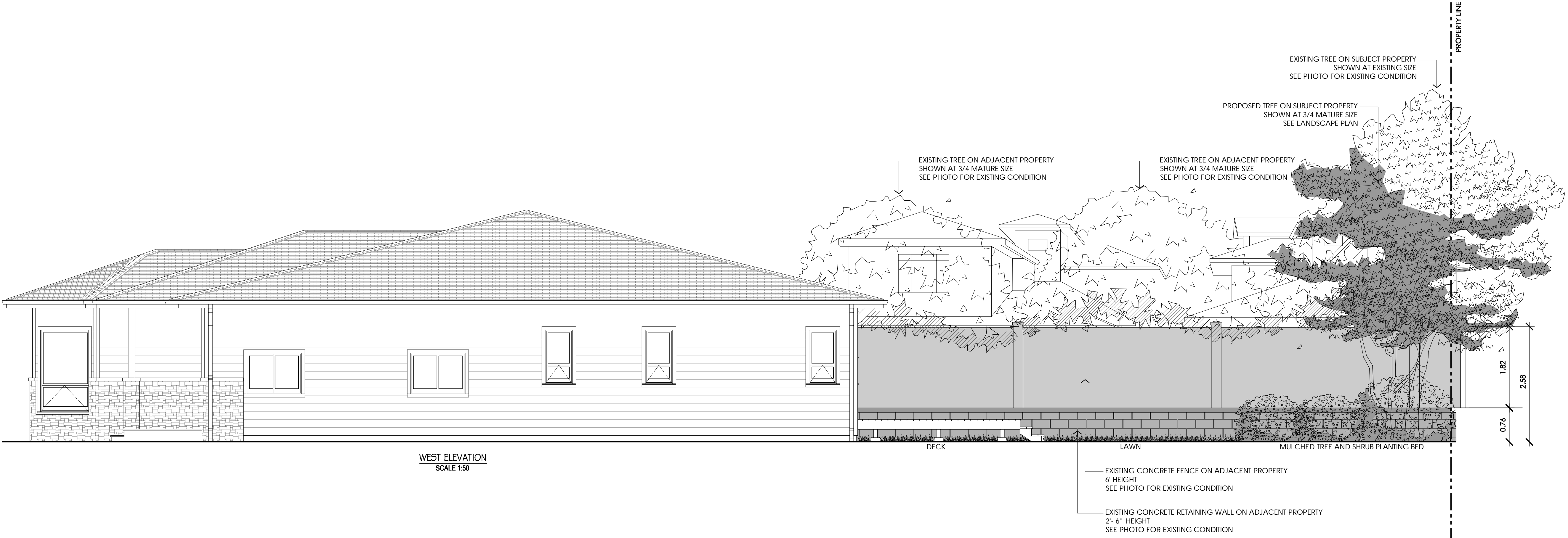
DRAWING NAME
LANDSCAPE SECTION

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	DATE:	2016.07.20
	CHECKED BY:	XX
	DATE:	YYYY/MM/DD
	APPROVED BY:	GARY LUPUL
	DATE:	2016.07.20
	SCALE:	AS NOTED
PROJECT NO:		0012.0001.01

DRAWING NO.

L03

SHEET NO. REVISION NO.
3 of 4 1



1 SECTION - WEST ELEVATION
1:50

P-BL-PRO-KENS-329333-02



2 PHOTO - EXISTING CONDITIONS - WEST ELEVATION
1:50

P-BL-PRO-KENS-329333-03

REVISIONS			
NO.	DATE	ISSUE/REVISION	APP.

PROJECT/CLIENT

4377 KENSINGTON DRIVE

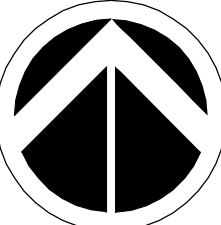
LUPUL PROPERTIES LTD.

ISSUED FOR

DEVELOPMENT PERMIT

DRAWING NAME

LANDSCAPE SECTION

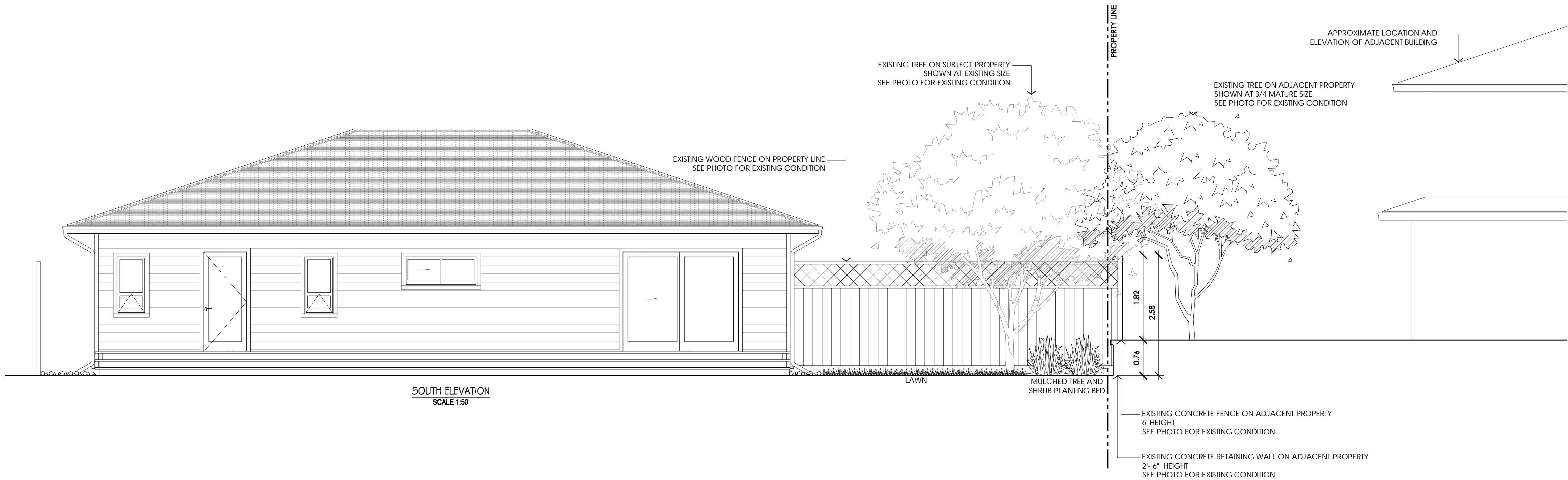
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	APPROVED BY:	GARY LUPUL
	DATE:	2016.07.24
	SCALE:	AS NOTED
PROJECT NO:		0012.0001.01

DRAWING NO.

L04

SHEET NO. REVISION NO.

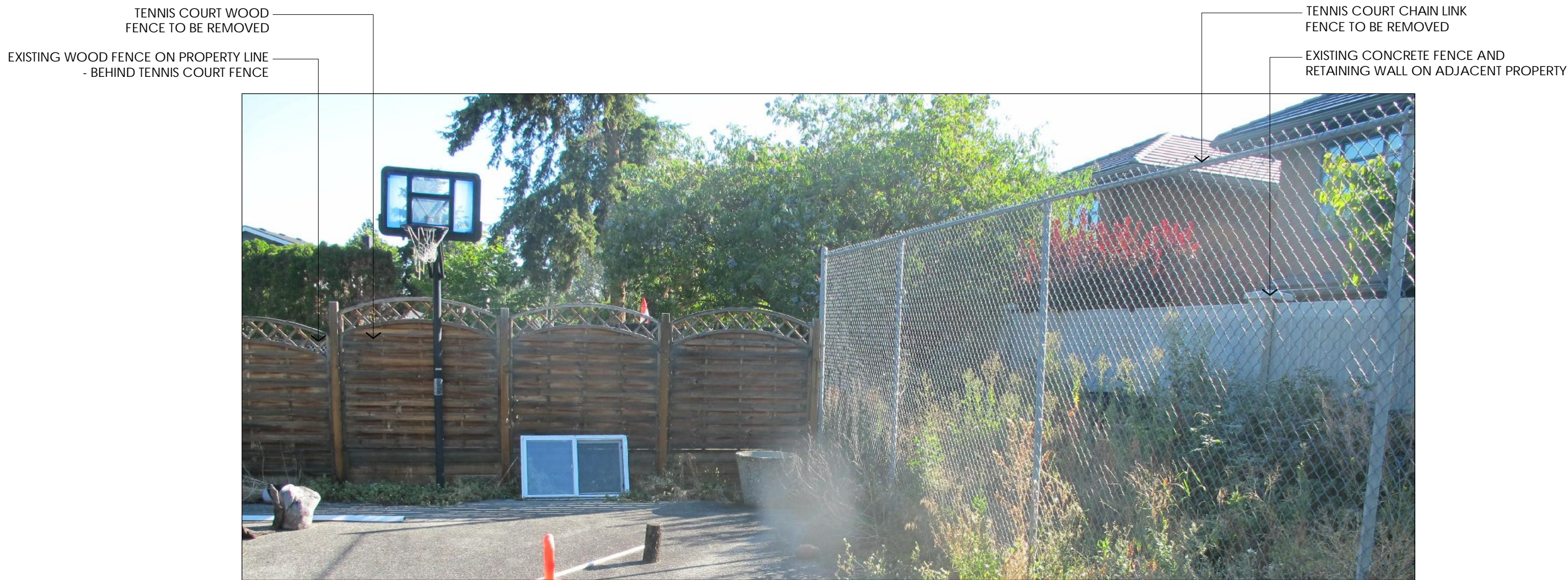
4 of 4 0



1 SECTION - SOUTH ELEVATION

1:50

P-BL-PRO-KENS-329333-04



2 PHOTO - EXISTING CONDITIONS - SOUTH ELEVATION

1:50

P-BL-PRO-KENS-329333-05

REPORT TO COUNCIL



Date: March 13, 2017

RIM No. 1250-30

To: City Manager

From: Community Planning Department (EW)

Application: Z17-0005 **Owner:** Daniel James Joinson

Address: 757 Ramer Rd **Applicant:** Integrity Services Inc.

Subject: Rezoning Application

Existing OCP Designation: S2RES – Single/ Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

Proposed Zone: RU2 – Medium Lot Housing

1.0 Recommendation

THAT Rezoning Application No. Z17-0005 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot A District Lot 358 ODYD Plan 26557, located at 757 Raymer Rd, Kelowna BC from the RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing zone be considered by Council;

AND THAT the Zone Amending Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Zone Amending Bylaw be considered subsequent to the issuance of Preliminary Layout Review Letter by the Approving Officer;

AND FURTHER THAT final adoption of the Zone Amending Bylaw be considered subsequent to the requirements of the Development Engineering Branch being completed to their satisfaction.

2.0 Purpose

To consider rezoning the subject property from the RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing zone to facilitate a future subdivision.

3.0 Community Planning

Community Planning Staff support the application as the proposed rezoning to the RU2 zone is supported by the OCP S2RES Future Land Use Designation. Density of the neighbourhood has been modestly increasing as there are recent examples of RU1c – Large Lot Housing with Carriage House, RU2 – Medium Lot Housing, and RU6 – Two Dwelling Housing properties within the surrounding area. Rezoning the

subject parcel to the RU2 zone will continue the density increase trend. Rezoning to support a future two-lot subdivision is also consistent with the OCP's permanent growth boundary policies which direct urban uses to lands within the urban portions of the City as well as the OCP's urban infill policies which aim to maximize the use of existing infrastructure and develop energy efficient settlement patterns.

In fulfillment of Council Policy No. 367, the applicant submitted a Neighbour Consultation Summary Form outlining that neighbours within 50 m of the subject property were notified.

4.0 Proposal

4.1 Project Description

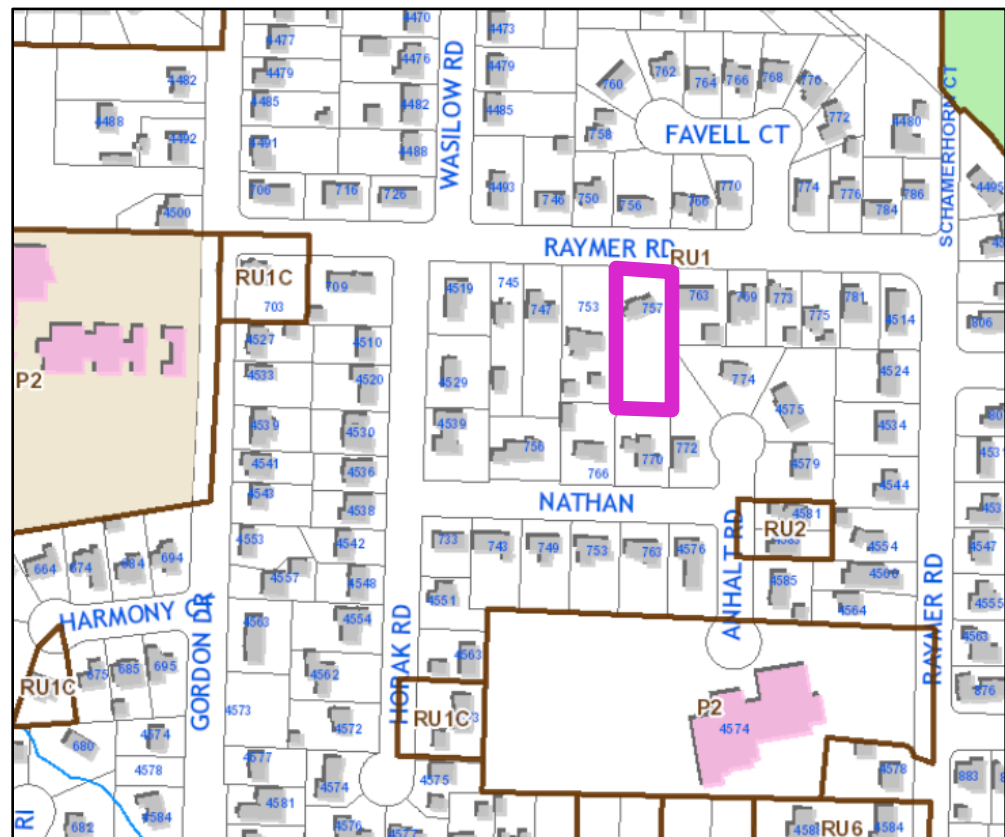
The applicant proposed rezoning the subject property to the RU2 – Medium Lot Housing zone. The rezoning will facilitate a future two-lot subdivision. All servicing and technical considerations will be managed through the subdivision application.

4.2 Site Context

The subject property is in the North Okanagan Mission city sector, in a suburbanized neighbourhood characterize by single family dwellings. The property is within the Permanent Growth Boundary. Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Residential
East	RU1 – Large Lot Housing	Residential
South	RU1 – Large Lot Housing	Residential
West	RU1 – Large Lot Housing	Residential

Subject Property
Map: 757 Raymer Rd



4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU ₂ ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	400 m ²	> 1162 m ²
Lot Width	13.0 m	> 15.0 m
Lot Depth	30.0 m	> 76.0 m

5.0 **Current Development Policies**5.1 Kelowna Official Community Plan (OCP)

Future Land Use - Single/Two Unit Residential (SRES)¹. Single detached homes for occupancy by one family, single detached homes with a secondary suite or carriage house, semi-detached buildings used for two dwelling units, modular homes, and those complementary uses (i.e. minor care centres, minor public services / utilities, and neighbourhood parks), which are integral components of urban neighbourhoods. This designation applies to suburban hillside areas where slopes are over 20%. Subdivisions on hillsides over 20% slope will be required to rezone to a hillside zone.

Chapter 5 - Development Process

Compact Urban Form.² Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Sensitive Infill.³ Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

6.0 **Technical Comments**6.1 Building & Permitting Department

- Demolition Permit required for the existing house
- Development Cost Charges should be paid for at time of subdivision

6.2 Development Engineering Department

- See Attachment 'A' Memorandum dated February 10, 2017.

¹ City of Kelowna Official Community Plan (Future Land Use Chapter).

² City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

6.3 Fire Department

- The Fire Department has no issues with the zoning change

6.4 FortisBC - Electric

- There are FortisBC Inc (Electric) ("FBC(E)") primary distribution facilities along Raymer Road. To date, arrangements have not been completed to meet the requirements to service the proposed subdivision. The applicant is responsible for costs associated with changes to the proposed lots' existing service, if any, as well as the provision of appropriate land rights where required. Otherwise, FBC(E) has no concerns with this circulation.

7.0 **Application Chronology**

Date of Application Received: January 16, 2017

Date Public Consultation Completed: February 1, 2017

Report prepared by: Emily Williamson, Planner I

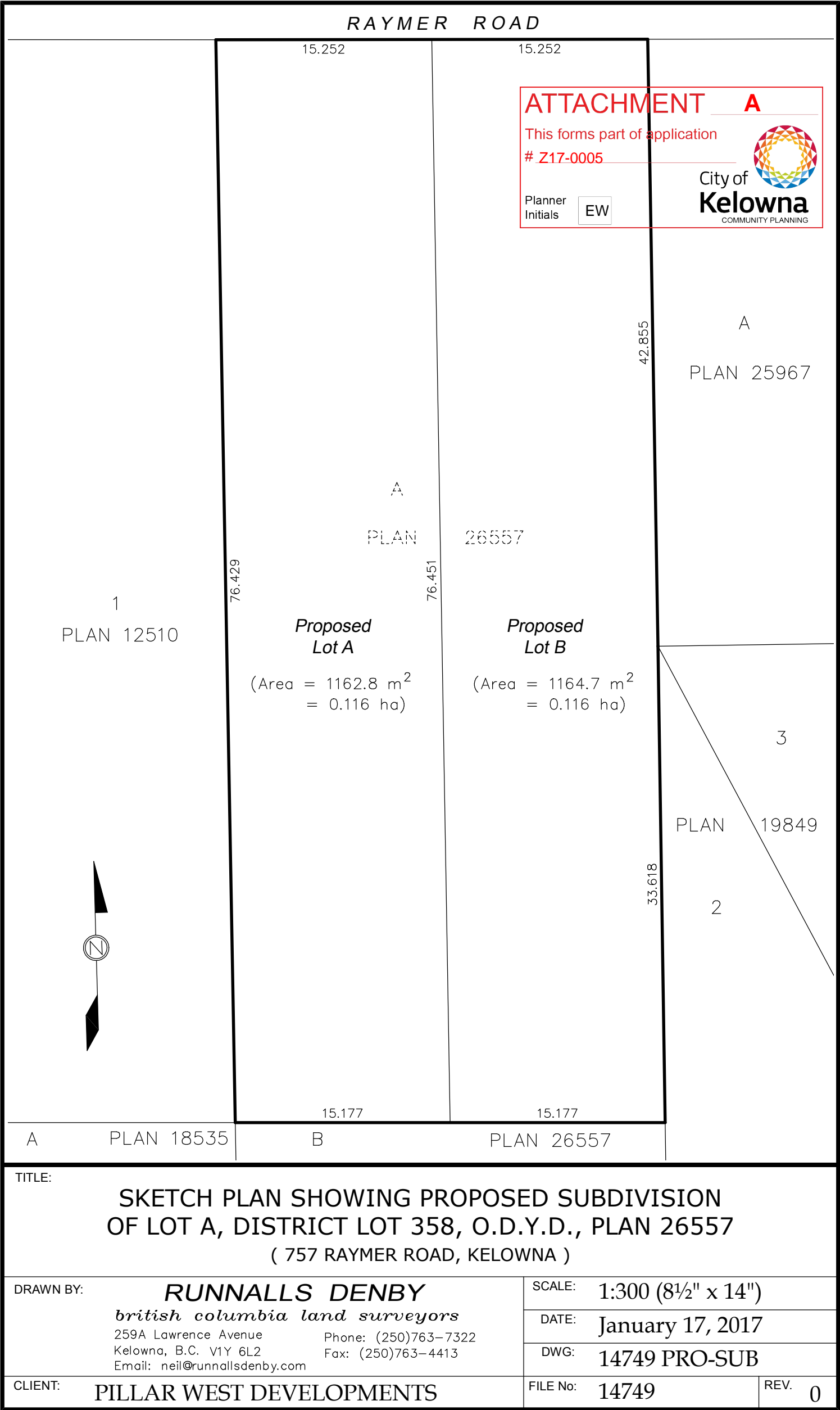
Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Manager

Attachments:

Attachment 'A' – Proposed Subdivision Plan

Attachment 'B' – Development Engineering Memorandum dated February 10, 2017



CITY OF KELOWNA
MEMORANDUM

ATTACHMENT B	
This forms part of application # Z17-0005	
Planner Initials	EW
 City of Kelowna COMMUNITY PLANNING	

Date: February 10, 2017
File No.: S17-0009
To: Community Planning (EW)
From: Development Engineering Manager (SM)
Subject: Subdivision Application – PLR Requirements

LOCATION: 757 Raymer Road
APPLICANT: Integrity Services Inc
LEGAL: Lot A Plan 26557

WORKS AND SERVICES REQUIREMENTS

The City's Development Engineering Department will handle the Works & Services requirements identified below between time of Preliminary Layout Review (PLR) and application for Subdivision Approval. Arrangements for construction must be made before making application for Final Approval of a subdivision plan. The Development Engineering Technologist for this project is Sergio Sartori. The following Works & Services are required for this subdivision:

.1) General

The postal authorities must be contacted to determine whether or not a "community mailbox" will be utilized. Please contact the Canadian Post Corporation, Delivery Services, P.O. Box 2110, Vancouver, B.C. V6B 4Z3 (604) 662-1381 in this regard.

.2) Geotechnical Report

- (a) Provide a geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.
The Geotechnical reports must be submitted to the Development Services Department for distribution to the Development Engineering Branch and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval.
- (i) Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.

- (ii) Site suitability for development.
- (iii) Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- (iv) Any special requirements for construction of roads, utilities and building structures.
- (v) Recommendations for items that should be included in a Restrictive Covenant.
- (vi) Recommendations for roof drains, perimeter drains and septic tank effluent on the site.
- (vii) Any items required in other sections of this document.

.3) Water

- a) The property is located within the City of Kelowna service area.
- b) The existing PVC water service will need to be upgraded to current standard and a new water service can be provided at the applicant's cost prior to subdivision approval. The applicant will be required to sign a Third Party Work Order for the cost of the new service requirements. For estimate inquiry's please contact Sergio Sartori at ssartori@kelowna.ca or phone 250-469-8589.

.4) Sanitary Sewer

- a) The existing 100mm diameter service will be utilised to service proposed lot A.
- b) A new sanitary service can be provided at the applicant's cost prior to subdivision approval. The applicant will be required to sign a Third Party Work Order for the cost of the new service requirements. For estimate inquiry's please contact Sergio Sartori at ssartori@kelowna.ca or phone 250-469-8589.

.5) Drainage

- a) The property is located within the City of Kelowna drainage service area. The Subdivision, Development and Servicing Bylaw requires that each lot be provided with an individual connection; however, the City Engineer may permit use of individual ground water disposal systems, where soils are suitable. For on-site disposal of drainage water, a hydrogeotechnical report will be required complete with a design for the disposal method (i.e. trench drain / rock pit). The Lot Grading Plan must show the design and location of these systems for each lot.
- b) The development is required to contain and dispose of site generated storm drainage on the site by installing a ground recharge system designed by the consulting civil engineer. The existing lot does not presently have a storm drainage service.

ATTACHMENT B

This forms part of application
Z17-0005

Planner
Initials

EW

City of
Kelowna
COMMUNITY PLANNING



.6) Roads

- a) Raymer Road frontage must be upgraded to a full urban standard including curb, gutter, sidewalk, fillet pavement, street lights, storm drainage system, landscaped boulevard and adjustment and/or re-location of existing utility appurtenances if required to accommodate this construction.

.7) Power and Telecommunication Services and Street Lights

- a) If the existing area is served by overhead wiring, the service connections may be provided overhead provided that there are no new poles required and service trespasses will not be created. If either of these conditions is not satisfied, then underground service will be required for that lot.
- b) Streetlights must be installed on all roads.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- d) Before making application for approval of your subdivision plan, please make arrangements with Fortis for the pre-payment of applicable charges and tender a copy of their receipt with the subdivision application for final approval.
- e) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

.8) Other Engineering Comments

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as B.C. Gas, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.
- c) Only the service upgrades must be completed at this time. The City wishes to defer the remainder of the upgrades to Raymer Road fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule.

Item	Cost
Drainage	\$ 5,489.00
Curb &Gutter	\$ 3,809.00
Sidewalk	\$ 4,761.00
Street Lighting	\$ 1,028.00
Landscape Boulevard	\$ 1,143.00
Road Fillet	\$ 3,199.00

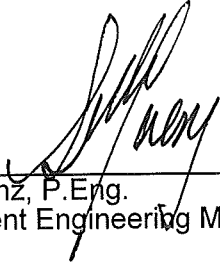
ATTACHMENT B	
This forms part of application # Z17-0005	
Planner Initials	<div style="border: 1px solid black; padding: 2px; display: inline-block;">EW</div>
<div style="text-align: right;"> City of Kelowna <small>COMMUNITY PLANNING</small></div>	

Total

\$19,429.00

.9) Charges and Fees

- a) Development Cost Charges (DCC's) are payable
- b) Fees per the "Development Application Fees Bylaw" include:
 - i) Survey Monument Fee: **\$50.00** (\$50.00 per newly created lot GST exempt).
 - ii) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
- c) A hydrant levy charge of **\$250.00** (250.00 per new lot).
- d) New water services for the two new lots; **to be determined.**
- e) New sanitary service for the Lot B; **to be determined.**
- f) The City wishes to defer the construction of frontage improvements on Raymer Road which is premature at this time. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule. The cash-in-lieu amount is determined to be **\$19,429.00**



Steve Muenz, P.Eng.
Development Engineering Manager

SS

ATTACHMENT		B
This forms part of application # Z17-0005		
Planner Initials	EW	 City of Kelowna <small>COMMUNITY PLANNING</small>

CITY OF KELOWNA

MEMORANDUM

Date: February 10, 2017
File No.: Z17-0005

To: Community Planning (EW)

From: Development Engineering Manager (SM)

Subject: 757 Raymer Road

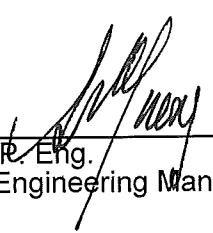
RU1 to RU2

Development Engineering has the following comments and requirements associated with this application.

1. General

Road frontage improvements are triggered by this rezoning application. The requirements include curb and gutter, sidewalk storm drainage system and pavement widening. Also required is a landscaped boulevard, street lighting and the re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The cost of this construction is at the applicant's expense.

The proposed redevelopment includes the subject parcel being subdivided into two lots. A subdivision application will require service upgrades that include the installation of additional services. The work will require road cuts and boulevard and pavement restoration. Development Engineering is prepared to defer the requirements of the rezoning to the subdivision stage.



Steve Muenz, P. Eng.
Development Engineering Manager

SS

ATTACHMENT B

This forms part of application
Z17-0005

Planner
Initials

EW

City of
Kelowna
COMMUNITY PLANNING



REPORT TO COUNCIL



Date: March 20, 2017

RIM No. 1240-30

To: City Manager

From: Community Planning Department (TB)

Application: HRA16-0001
Owner: Donald F. McDonald
Linda J. Scott-McDonald

Address: 1449 Ethel Street
Applicant: Donald F. McDonald
Linda J. Scott-McDonald

Subject: Heritage Revitalization Agreement

Existing OCP Designation: SIH – Sensitive Infill Housing

Existing Zone: RU7 – Infill Housing

1.0 Recommendation

THAT Council consider a Bylaw which would authorize the City of Kelowna to enter into a Heritage Revitalization Agreement for the property legally known as Lot 1, District Lot 138, ODYD, Plan 2442, located at 1449 Ethel Street, Kelowna, BC, in the form attached as Schedule "A" to the Report from the Community Planning Department dated March 20, 2017;

AND THAT the Heritage Revitalization Agreement Authorization Bylaw be forwarded to a Public Hearing for further consideration.

2.0 Purpose

To enter into a Heritage Revitalization Agreement for the subject property to allow special events such as weddings, corporate events, fundraisers, and others; in exchange for long term preservation of a heritage resource.

3.0 Community Planning

Community Planning staff recommend support for the proposed Heritage Revitalization Agreement (HRA) that would allow special events in exchange for long term preservation of a heritage resource. This is consistent with Official Community Plan policies to identify and conserve heritage resources. In addition, the City's Adaptive Re-Use Guidelines were applied when drafting the agreement to mitigate any potential neighbourhood conflict. The Heritage Advisory Committee has reviewed the application and is also in support of the proposal.

4.0 Proposal

4.1 Background

There are four structures on the subject property which is located at 1449 Ethel Street and is listed on the City's Heritage Register. The main house is known as Billy-Lloyd Jones House and was constructed in 1910 by Lloyd-Jones who was a prominent community member and alderman. A garage and workshop were added to the rear of the house in the 1980s and have since been converted to a small banquet area that is used for hosting events. Few other significant alterations are noted and the exterior is very well maintained. The carriage house was constructed in 2002 and reflects the heritage characteristics of the main house. The current owners did extensive renovations to the interior and exterior after purchasing the property in 2009. A small gazebo and garden shed are located on the well-maintained and extensive gardens at the rear of the property.

4.2 Project Description

The applicant is seeking to legitimize commercial uses on the property such as small scale functions and weddings. The applicant has had a license for a Bed & Breakfast since 2010 and has been hosting small scale functions and weddings since that time, unaware that the business license did not include functions beyond the scope of a Bed & Breakfast. During this time there have been no recorded complaints or bylaw investigations and the applicants reside in the main building full-time.

The house and gardens have been well maintained and no changes are proposed as a function of this HRA application. Should future changes be proposed, the applicants would be required to apply for a Heritage Alteration Permit to ensure consistency with the City's Heritage Guidelines.

The purpose of allowing the commercial use within this residential property is to ensure the preservation and maintenance of an existing Heritage Registered property that has been well-maintained.

4.3 Variances

Two variances would be granted through the provisions of this HRA: B&B use and parking.

The City of Kelowna Zoning Bylaw No. 8000 states that B&B's must be operated within the principal building (Zoning Bylaw regulation 9.6.1(a)) and are not permitted on the same property as a carriage house (Zoning Bylaw regulation 9.5b.8). The proposed HRA would allow the B&B operations to exist on a property that has a carriage house, and within the carriage house.

The total number of spaces required for the subject property based on the commercial use is 8 stalls, and the HRA would reduce that to 4 stalls in the front driveway with 1 space available for loading on the north property line off of the lane from Stockwell Avenue. The applicants have mitigated parking issues in the past by offering a shuttle service for guests.

It is important to note that the applicants have been operating their business in this manner for several years and City Bylaw has never received a complaint. This would include noise complaints, parking complaints, illegal use complaints, and unsightly premises complaints.

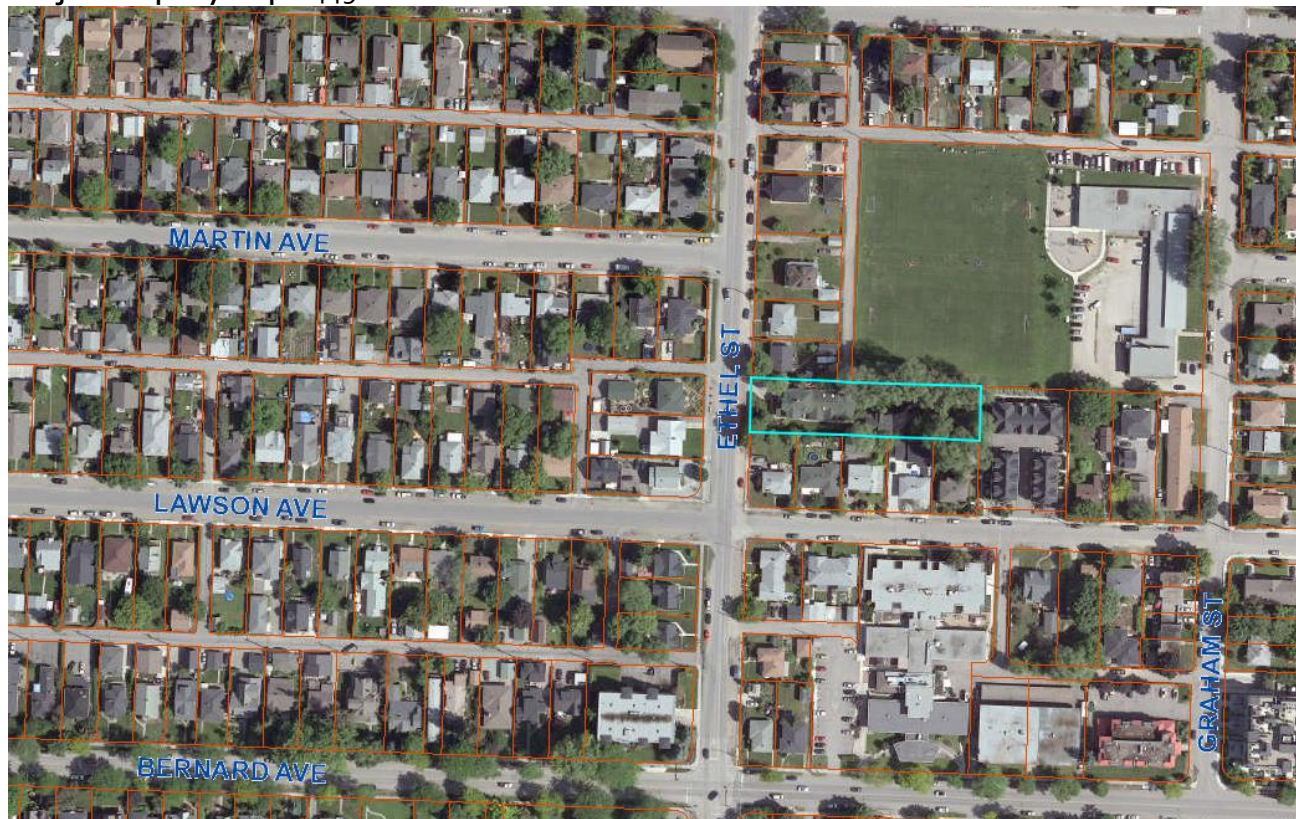
4.4 Site Context

The subject property has a lot area of 2226m² and is located on the east side of Ethel Avenue between Stockwell Avenue and Lawson Avenue. The subject property is zoned RU7 – Infill Housing and is within the Core Area east of the City Centre and within a Character Neighbourhood Development Permit Area.

The property is in a predominantly residential area, bordered on the north-east side by Martin Park. Specifically, the adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing P2 – Educational & Minor Institutional	Single Family Dwelling Martin Park
East	RM3 – Low Density Multiple Housing	Multi-family Residential
South	RU6 – Two Dwelling Housing	Single and Two Family Dwellings
West	RU6 – Two Dwelling Housing	Single Family Dwelling

Subject Property Map: 1449 Ethel Street



5.0 Adaptive Re-Use Guidelines

Details of the Adaptive Re-Use Guidelines and how the application meets or does not meet:

1. Neighborhood Resident Concerns: The applicant has conducted neighbourhood notification as a requirement of Council Policy #367. No feedback from the neighbourhood has been received to date. The applicant has been operating this business in a similar fashion since 2010 with no

complaints or bylaw investigations. The applicant has agreed to adhere to the City of Kelowna Noise Control Bylaw No 6647.

2. Residential Component: The applicant resides full time in the main house. When an event requires access to overnight accommodations the applicant has 4 Bed & Breakfast rooms available in the home or 2 rooms in the Carriage House that will only be used during special events.
3. Concentration of Adaptive Re-Uses: There are no other properties with HRAs located on this block of Ethel Street. Four properties on Bernard Avenue between Richter Street and Ethel Street have HRAs that allow commercial office uses in addition to residential uses.
4. Design Standards: There are no proposed changes to the exterior or interior of the heritage home as it is recognized as well-maintained and preserved. A component of the HRA includes an inspection of the exterior of the home every 2 years to ensure it is maintained.
5. Scale: The scale of the business will be limited to 30 attendees within the home. The floor area to be used for the special events includes indoor and outdoor space.
6. Signage: The existing sign will remain and meets the guidelines for Adaptive Re-Use Signage.
7. Parking/Access: There is currently 4 on-site parking stalls located in a front driveway off of Ethel Street. A second access to the property exists on the north off a lane that connects with Stockwell Avenue which may be used for loading. The applicant has stated that their business model includes the use of shuttle services for guests coming and going from the property thereby reducing the amount of traffic, parking, and eliminating alcohol related risks.
8. Hours of Operation: The hours of operation are restricted to 9 am to 10 pm outdoors, with an extension until midnight indoors. The frequency is not to exceed 4 weekend events per month to a maximum of 24 per year; and 4 weekday events per month to a maximum of 24 per year.
9. Screening: Attractive fencing and landscaping has been used extensively on the property. Screening from the front of the house is maintained at a low profile so as to allow the public to view the heritage property from the public sidewalk. Screening and landscaping on the sides and rear of the 2226m² (.55 acre) property is mature and provides a visual and sound buffer between adjacent properties.

6.0 Current Development Policies

6.1 Kelowna Official Community Plan (OCP)

Chapter 5 – Development Process

Objective 5.7: Identify and conserve heritage resources.

Policy 2 Heritage Designation:¹ Encourage owners of properties listed in the Kelowna Heritage Register and identified as significant to voluntarily provide long-term heritage protection to their properties through the use of a Heritage Designation Bylaw.

¹ City of Kelowna, Official Community Plan Chapter 5, Objective 5.7, Policy 2

Policy 3 Heritage Revitalization Agreements:² Consider the adaptive reuse of heritage buildings appropriate within any future land use designation, provided that a Heritage Revitalization Agreement is negotiated with the City and provided that the project meets the criteria established for sensitive neighbourhood integration.

Chapter 9 - Heritage Policies

Objective 9.2 Identify and conserve heritage resources.³

7.0 Application Chronology

Date of Application Received:	February 17, 2016
Date of Community Heritage Committee:	April 21, 2016
Date Public Consultation Completed:	January, 2017

Community Heritage Committee April 21, 2016

The above noted application was reviewed by the Community Heritage Committee at the meeting held on April 21, 2016 and the following recommendations were passed:

THAT the Heritage Advisory Committee recommends that Council support the Heritage Revitalization Agreement HRA16-0001 on the subject property at 1449 Ethel Street to be used for commercial uses such as weddings, corporate events, fundraising tours and other small events and gatherings.

ANECTODAL COMMENT:

The Heritage Advisory Committee supported the application and recommend the Applicant consider a Heritage Designation on their property, as well, consider exterior restoration work specifically on the original house; in particular windows and vinyl siding. There are Grants up to \$10,000 for owners to access as a restoration incentive. The Heritage Advisory Committee raised concerns pertaining to operations maintaining status quo if and when a new owner takes over the property and believes a 2-year inspection is the right tool to ensure operations are being adhered to and maintained. The Heritage Advisory Committee recommended a maximum occupancy sign be posted for fire safety purposes. The Heritage Advisory Committee believes this is an important heritage property with great history for adaptive use.

Report prepared by: Trisa Brandt, Planner I

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Adaptive Re-Use Guidelines (For Heritage Revitalization Agreements)
Statement of Historical Significance
Photographs

² City of Kelowna, Official Community Plan Chapter 5, Objective 5.7, Policy 3

³ City of Kelowna, Official Community Plan Chapter 9, Objective 9.2

City of Kelowna Adaptive Re-use Guidelines for Residential Heritage Buildings

The Kelowna Official Community Plan recommends the use of Heritage Revitalization Agreements to allow for the adaptive re-use and continuing protection of heritage buildings. Entering into a Heritage Revitalization Agreement with the City of Kelowna allows owners of heritage buildings to use their building for purposes that would not otherwise be allowed. The additional revenue obtained from these adaptive re-uses can then be used to help restore and maintain their heritage building. In turn, the community benefits from the conservation of Kelowna's built heritage.

Please note: changing a residential building to a commercial use may require modifications so as to meet the requirements of the BC Building Code.

Objectives related to permitting the adaptive re-use of residential heritage buildings:

- To conserve Kelowna's residential **heritage buildings listed in the Kelowna Heritage Register** by enhancing their appearance and viability as functional buildings;
- To retain the desirable qualities of older residential neighbourhoods such as heritage houses, mature landscaping and pedestrian oriented street environments;
- To favourably consider a limited range of uses which would achieve the adaptive re-use of heritage buildings and at the same time, would preserve the prevailing character of neighbourhoods by limiting impacts such as high amount of traffic, noise, smell, etc.;
- To ensure that allowing adaptive re-uses within heritage buildings does not have a negative impact on the viability of existing commercial areas within Town Centre areas.

The following guidelines reinforce that there is an essential relationship between the proposed use in a heritage building and the location of the heritage property relative to the surrounding streets and the character of the neighbourhood. The type and intensity of a proposed adaptive re-use will be assessed according to which category of roadway will best be able to accommodate that particular use. The roadway categories are based on the Official Community Plan 20 Year Major Road Network Plan.

On major roads, a greater variety and intensity of uses can be supported without affecting the character of the area given the existing impacts of prevailing traffic volumes. The potential exists in these locations to allow adaptive re-uses normally considered not appropriate within residential locations, provided controls are in place to limit scale and concentration of adaptive re-uses within a given area.

For the purpose of these guidelines, roads not identified as major roads on the 20 Year Major Road Network Plan will be considered local roads. Adaptive re-uses that can be supported along local roads also include those uses that would typically be permitted in residential zones, such as home based businesses, bed and breakfast homes, care centres, secondary suites and group homes. The difference would be that the scale and conditions of such uses

could be expanded, to a lesser degree than on major roads, under a Heritage Revitalization Agreement.

Site Specific Criteria

After consideration has been given to location, each adaptive re-use proposal must be assessed on its own merits as to whether the proposal would be appropriate within the context of the heritage building, the surrounding neighbourhood and adjacent property characteristics. In this regard, the following factors should be considered:

1. Neighbourhood Resident Concerns

The concerns of neighbouring property owners should be considered. Identifying and, wherever possible, resolving these issues when developing the terms and conditions specific to an application is important. Applicants are encouraged to discuss their proposed adaptive reuse with neighbouring property owners.

2. Residential Component

A residential component (secondary suite, principal dwelling, etc.) **is mandatory** in conjunction with a non-residential use in order to minimize impacts on the residential character of a neighbourhood. For security purposes, incorporating a residential component is particularly important where a high concentration of adaptive re-uses occurs along a particular block. ***However, a residential component may not be desirable for all properties where a residential component may impact the heritage character negatively.***

3. Concentration of Adaptive Re-Uses

Careful consideration must be given to avoid a concentration of adaptive re-uses in any given area. In this regard, consideration should be given to maintaining the existing neighbourhood character. In addition, consideration should be given to whether or not permitting an adaptive re-use or a concentration of adaptive re-uses would limit the ability to redevelop the area to higher density uses supported in the OCP.

4. Design Standards

Any heritage building restorations, renovations or alterations must respect the heritage character of the building and its surrounding area. Reference should be made to the character-defining elements for the property as detailed in the Heritage Register record.

5. Scale

The size and intensity of the adaptive re-use component should be compatible with the surrounding neighbourhood and able to be readily accommodated within an existing heritage building. The requirements of a specific use and the available floor area in the existing building will limit the extent and nature of the adaptive re-use proposal.

It is recommended that the number of employees not exceed four non-resident employees at any given time for adaptive re-uses along major roads and two non-resident employees at any given time for adaptive re-uses along local roads. ***In addition to this, it is recommended that, as a guideline, the non-residential floor area not exceed 60% to a maximum of 232 sq. m (2500 sq. ft) for adaptive re-uses along major roads, and 40% to a maximum of 139 sq. m (1500 square feet) for adaptive re-uses along local roads.***

6. Signage

Signage should be limited to one non-illuminated nameplate not to exceed 0.23 sq. m. (2.5 sq. ft.) in area and shall be placed within, flat against or hanging from the dwelling unit. Along major roads, signs of this size and dimension may be hung from a free standing post.

7. Parking / Access

Consideration must be given to on-site parking, access and traffic generation associated with adaptive re-use proposals. In order to limit the impact on adjacent properties, the required number of on-site parking spaces should conform to the Parking Schedule of the Zoning Bylaw.

8. Hours of Operation

No generation of vehicular traffic or parking of vehicles in excess of that permitted for the zone in which the adaptive re-use is located should be permitted during non-regular working hours. Generally, working hours should be limited to daytime hours, Monday through Friday.

9. Screening

Screening helps lessen the impact of an adaptive re-use in a residential area. In this regard, outdoor storage and parking areas associated with an adaptive re-use should be well screened with fencing and landscaping which are compatible in design with the heritage building and which form a year round dense screen.





Kid: 304889 **Plan:** 2442 **Lot:** 1 **Block:**
Map
Civic Address: 1449 Ethel St
Neighbourhood: North End
Building Name: Billy Lloyd-Jones House
Conservation Area: no
Date Built: 1910
Status: Active

Historical Significance: Constructed during the early development of Kelowna, this was the home of Billy Lloyd-Jones, an active member of the community and contributor to Kelowna's social, political, business, and church life in 1st half of the 20th century.

History: "Billy" Lloyd-Jones moved to Kelowna in 1901. He managed Bernard Lequime's Post Office and Store on Benevoulin Road for a time and later was the manager of the Lequime's sawmill. He was active in the United Church, city council, Rotary, and various lodges. He worked for cousin David Lloyd-Jones in a sawmill where City Park now is. William was secretary-treasurer of the company until his death in 1956, staying on after S.M. Simpson Ltd. purchased control.

Architectural Significance: Very attractive house, which illustrates well the changing house types of the first decade of the 20th century.

Style / Character: Transition from the vertically-proportioned gable-front Victorian/Queen Anne house to the more cubic hipped-roof Foursquare.

Design Features: Broad verandah supported by square posts. Brackets under eaves, small porch on 2nd storey centre, some decorative trim around windows, decorative railings on porches. Building is a central hearth plan. The plans for the house are said to have come from an architectural catalog/pattern book (source: owner).

Architect: unknown

Builder: Lloyd-Jones

Building Construction: wood frame

Foundation Construction: Haug rusticated concrete block

Stories: 2

Roof Type: hipped

Window types: 1 Bay w., all w. are DH 1/1, art glass in some, 1 semi-circular w L of door, decorative glass

Exterior Wall Material: horizontal wood siding

Original Wall Material: same

Exterior Wall Color: creamy beige w. white trim

Landscape Features: large firs trees and shrubbery, grass lawn and foundation planting

Associated Buildings: old garden shed remains alongside a new larger garage

Alterations Documented: 1980 garage and workshop

Alterations Observed: It appears that the veranda once continued around the right but has been filled in. The roof was replaced, and general improvements and renovations made in 1997. Staircase replaced.

Site Context: The house is larger and older than others in area. Another building, of similar style, is 3 lots down. The building stands out from others as very attractive.

Source: KHRI 1983; Street files; Henderson's 1910; Wrigley's 1919-27; Sun 1936-47; Kel City Dir 1948, 56; OHS 20:69, 168.

Additional Notes and Comments: William's wife was Naomi. The House is now occupied / owned by White Cloud Investments Ltd. The building is in excellent condition and the period character is generally intact. An architectural description exists in the KHRI 1983 p.11.

Note: Building in 1st phase of CRHP collection but incomplete. Will be included in phase 4.

Updates:

History Recorder Name: David Dendy **Date Recorded:** 1997-10-04

Field Recorder Name: Leigh-Ann Carter **Date Recorded:** 1997-06-21

Photographer: Leigh-Ann Carter **Date Photographed:** 1997-06-20

Photo Reference: CD2.71

Main Photo File:



Additional Photos:

CRHP Inventory: [Click Here](#)

[Change](#)

[Delete](#)

[Maintain Additional Photos](#)





Carriage House



REPORT TO COUNCIL



Date: March 27, 2017

RIM No. 1250-01

To: City Manager

From: Community Planning Department (MS)

Application: Z17-0002 / DP17-0003 **Owner:** City of Kelowna

Address: 289 – 291 Valley Road **Applicant:** City of Kelowna

Subject: Rezoning from A1 – Agriculture 1 to P5 – Municipal District Park

Existing OCP Designation: Park

Existing Zone: A1 – Agriculture 1

Proposed Zone: P5 – Municipal District Park

1.0 Recommendation

THAT Rezoning Application No. Z17-0002 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of *Lot A Sections 4 Township 23 and Section 33 Township 26 ODYD District Plan EPP16971*, located at 289-291 Valley Road, Kelowna, BC from the A1 – Agricultural 1 zone to the P5 – Municipal District Park zone be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the issuance of a Preliminary Layout Review Letter by the Approving Officer for road dedication;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit for the subject property.

THAT Development Permit No. **DP17-0003** for *Lot A Sections 4 TWP 23 and Section 33 TWP 26 ODYD Plan EPP16971*, located at 289 – 291 Valley Road, Kelowna, BC, as attached to the report of March 27, 2017, to allow the construction of Phase I and Phase II Glenmore Recreation Park be approved subject to the following:

- a) The dimensions and siting of the attenuation pond, fencing, vegetative buffer, and roadway and to be constructed on the land be in accordance with Schedule "A";
- b) The landscaping and fencing for the Agricultural Buffer to be provided on the land be in accordance with Schedule "B"; and

- c) The attenuation pond, associated riparian planting and stormwater attenuation structures, including the oil/water separator, to be provided on the land be in accordance with Schedule "C";

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To rezone the subject property from A1 Agricultural to P5 Municipal District Park, together with a Natural Environmental and Farm Development Permit to address stormwater drainage, farmland buffers and a road dedication for parking and access.

3.0 Community Planning

Community Planning supports the proposal to rezone the subject property from A1 – Agriculture 1 to P5 – Municipal District Park, as well as the farmland buffers and stormwater attenuation as per plans for the Development Permit.

The proposal is consistent with the Official Community Plan's future land use designation of the property as Park, which has been in place prior to 2011. In addition, it is consistent with the Agricultural Land Commission's approval¹ #352/2011, which approved the use of the property as a Municipal District Park.

Staff have kept the ALC apprised of the planning progress for the park as well as the agricultural mitigation commitments required as part of the approval. The ALC have communicated that they are encouraged with the progress of the mitigation measures, and have had input on details of the plan including the fencing and vegetative buffer. The ALC expects the ALR buffer to be completed in 2017.

Phase I of the park development is scheduled for 2017. This includes the establishment of the farmland vegetation buffers, ALR fencing, an attenuation pond for site stormwater, riparian planting around the pond, site grading, road dedication, and gravel surfacing of the road.

Phase II of park development is scheduled for 2018, subject to funding. This will include constructing the playing fields on the southern half of the property, and finishing the roadway access.

Future phases include a recreation centre, rugby fieldhouse, a spray park, a skate park, and additional playing fields. Staff notes that these future works are not included in the Development Permit.

4.0 Proposal

4.1 Background

Glenmore Recreation Park has long been envisioned as a significant community amenity to serve both residents in the local Glenmore area and the larger community. Since the 1980s, the City instituted a consistent planning framework that has anticipated the need for a major park in Glenmore. The Glenmore Valley Sector Plan (1989) followed the block approval of ALR land in 1988 and was the first to formally recognize the need.

Subsequent plans including the Agriculture Plan (1998), the Glenmore/Clifton/Dilworth Sector Plan (1998), and Kelowna's Official Community Plans, including the City's recently adopted 2030 OCP reference the need for a Recreation Park in Glenmore.

The 1989 Glenmore Sector Plan anticipated an additional built-out population of approximately 12,000. At present the Glenmore sector is home to approximately 23,000 residents. Further, approximately 11,000

¹ ALC, Nov. 22, 2011. ALC File 52452 – Glenmore Recreation Park – letter and Minutes of Resolution #352/2011

additional residents are projected to locate in the Glenmore sector by 2030, with additional growth taking place in Glenmore's neighbouring areas.

In 2011, the Agricultural Land Commission (ALC) granted a Non-farm use approval² subject to a number of agricultural mitigation measures. These included vegetation buffers along the ALR, fencing, lot consolidation of road right of way with adjacent parcels through Glenmore Valley that is no longer required, the rehabilitation of the playing fields at 500 Valley Road, and the relocation of the Scenic Road Firehall and rehabilitation of that property to agriculture. Staff have been corresponding with the ALC on the status of the mitigation measures, and a summary of the results is included below in Section 4.5.

4.2 Project Description

Phase I of the park development is scheduled for 2017. This includes the establishment of the farmland buffers, fencing, an attenuation pond for site stormwater, road dedication, underground utilities and gravel surfacing of the road.

Phase II of park development is scheduled for 2018. This will include constructing the playing fields on the southern half of the property, completing the roadway paving, and lighting.

Future phases include an activity centre, fieldhouse, a spray park, a skate park, a playground and additional playing fields.

4.2.1 Phase I

Phase I and Phase II occur in the south portion of the property only, and includes the scope of work included below:

Phase I - 2017

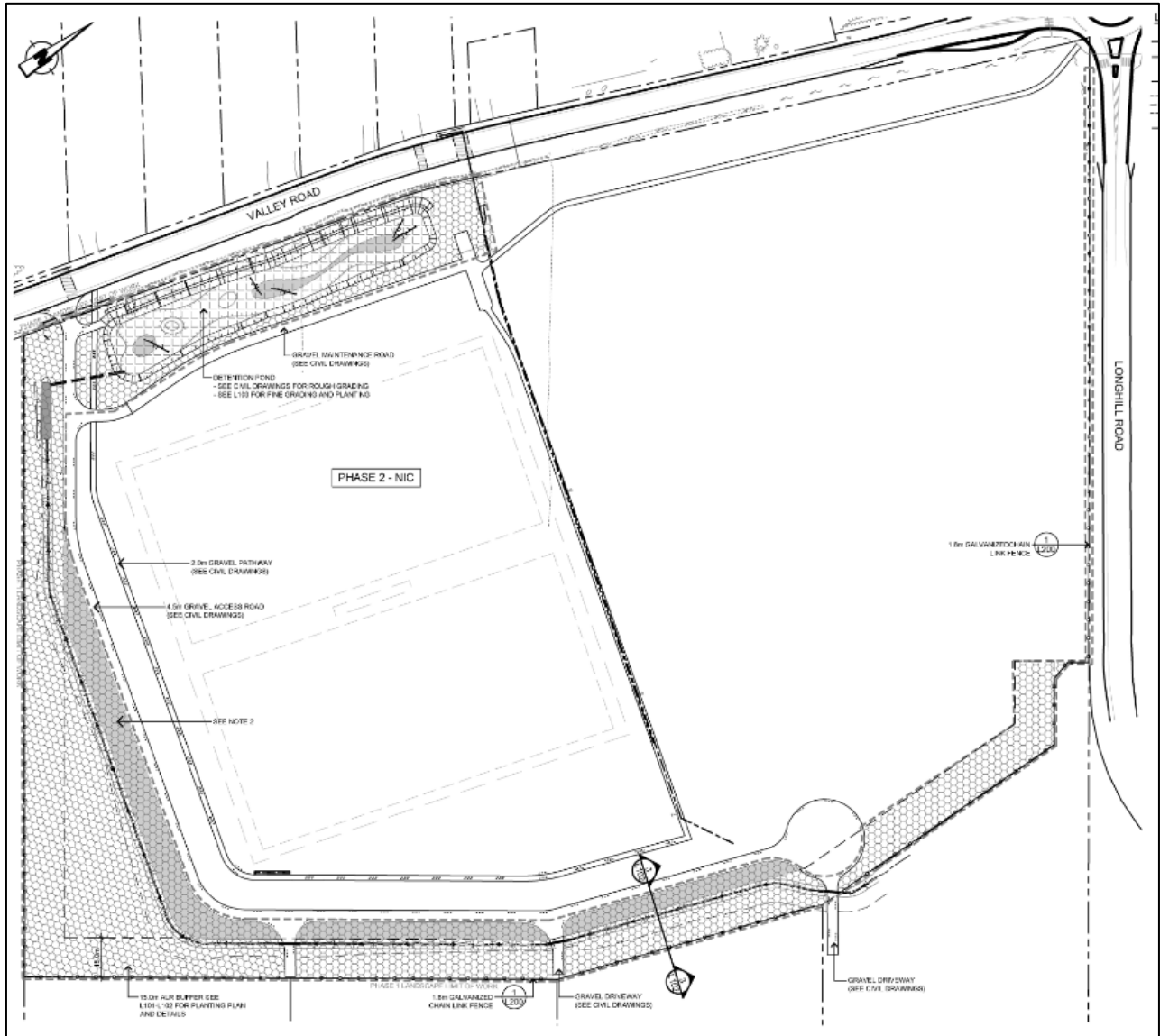
- Stormwater attenuation pond for overall drainage improvements
- ALR vegetated buffer and fencing
- Grading
- Underground utilities
- Gravel access roads
- Gravel trail along Brandt's Creek

Phase II - 2018

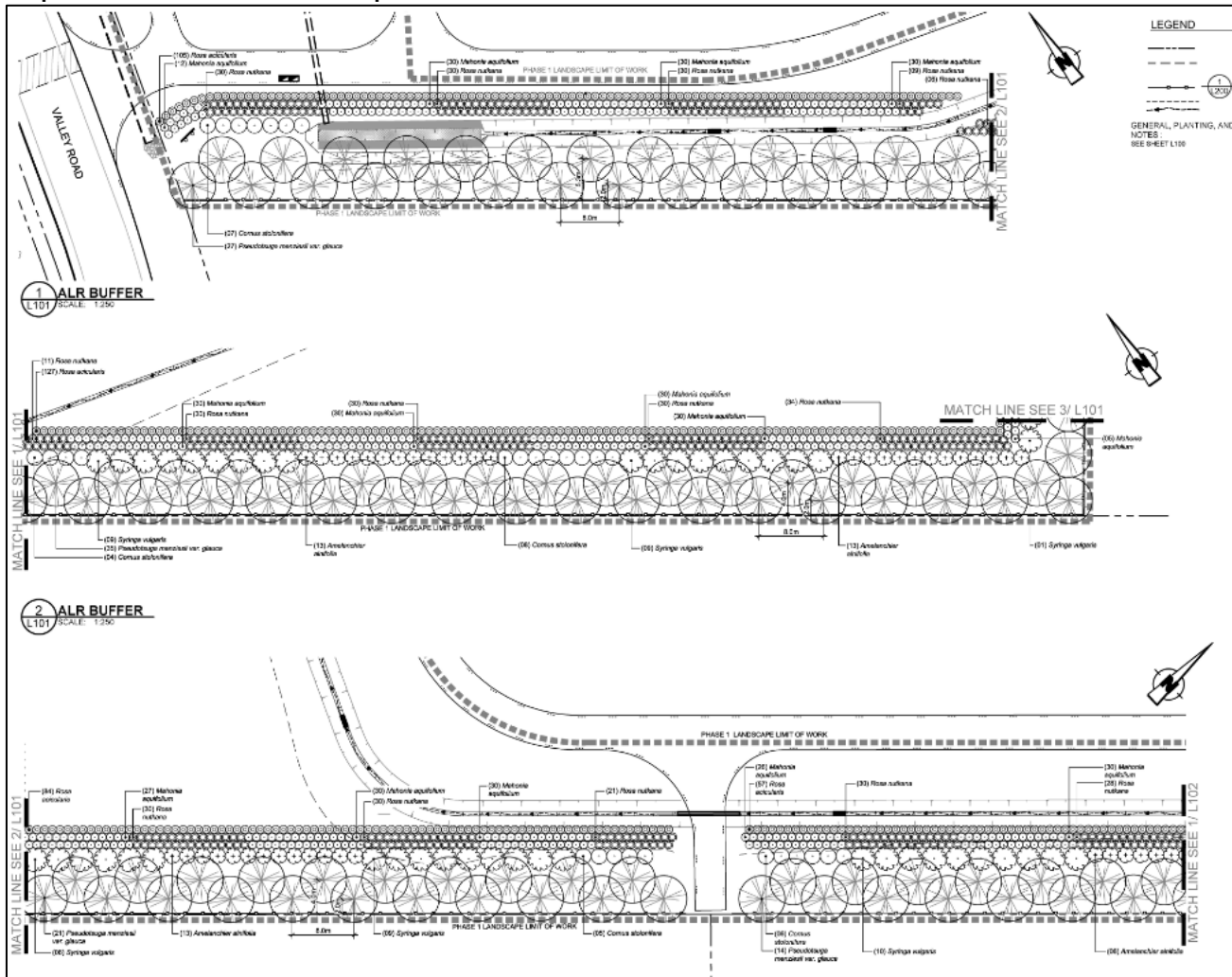
- Roadway and parking (curb, gutter, sidewalk and paving)
- Lighting
- Sport fields (2 pitches)

² ALC, Nov. 22, 2011. ALC File 52452 – Glenmore Recreation Park – letter and Minutes of Resolution #352/2011

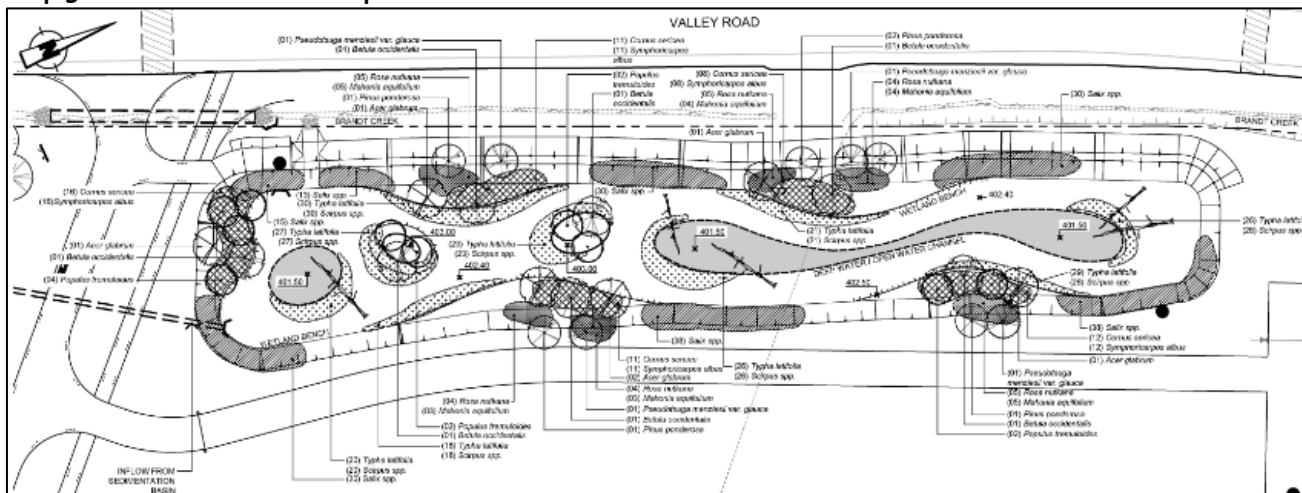
Map 1. Glenmore Recreation Park – Phase I – Schedule A

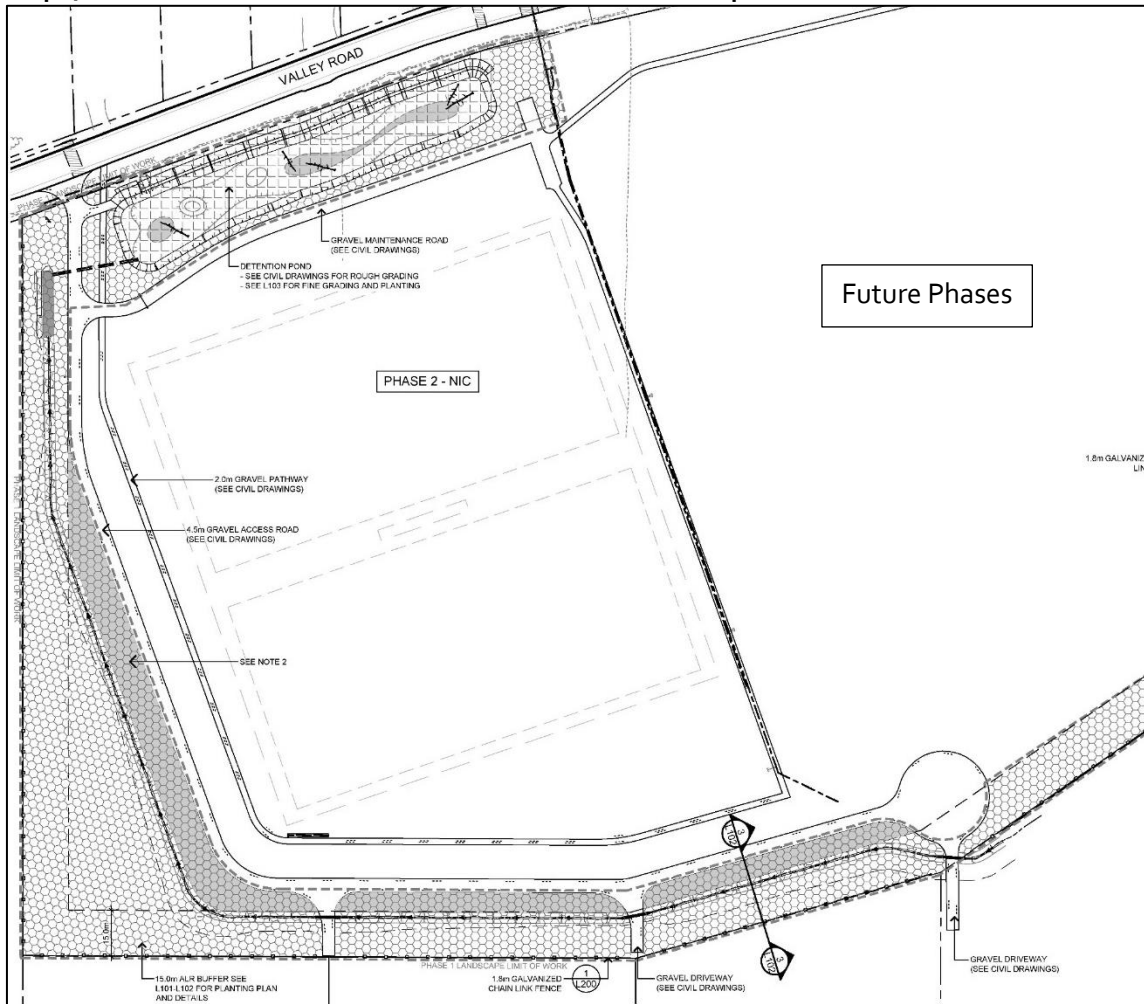


Map 2. Farm Protection Development Permit – Phase I – Schedule B



Map 3. Natural Areas Development Permit – Phase I – Schedule C



Map 4. Road Dedication (Phase I) and Southern Field Completion (Phase II)

4.2.2 Future Phases – Concept Plan

The City has developed a Preliminary Concept Plan to illustrate how the land could be developed. The Concept Plan is provided for discussion purposes only and is subject to revisions following public consultation and discussion with the ALC. Key program elements of the park design currently include:

- Multi-use playing fields
- Artificial turf playing fields
- Playground
- Spray park
- Walking trails
- Off-leash dog park
- Field house
- Cricket batting cage
- Basketball courts
- Sport courts
- Site circulation and parking
- Field house
- Community garden
- Two Storey Activity Centre

Map 5. Glenmore Recreation Park Master Plan

4.3 Site Context

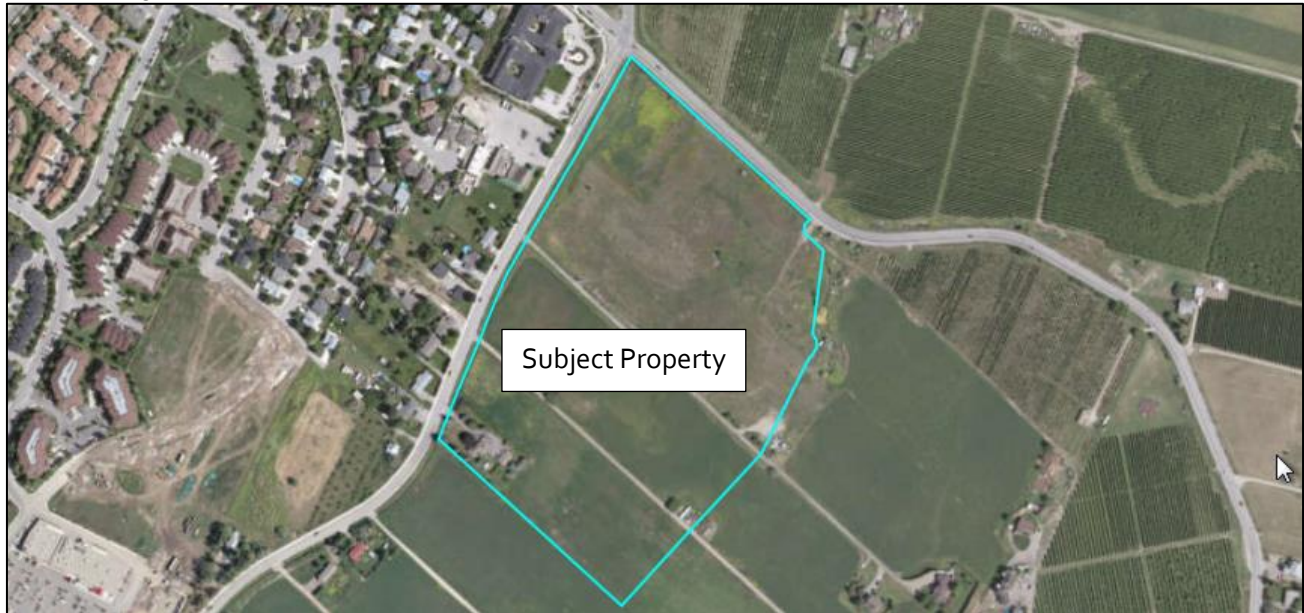
The subject properties site are located in the Glenmore/Clifton/ Dilworth Sector of the City of Kelowna. The site is situated at the southeast corner of Longhill and Valley Roads.

The Official Community Plan, Future Land Use Map currently designates part of the proposed parcels as Park. The east fork of Brandts Creek runs along the western property line of the subject parcels and adjacent to Valley Road.

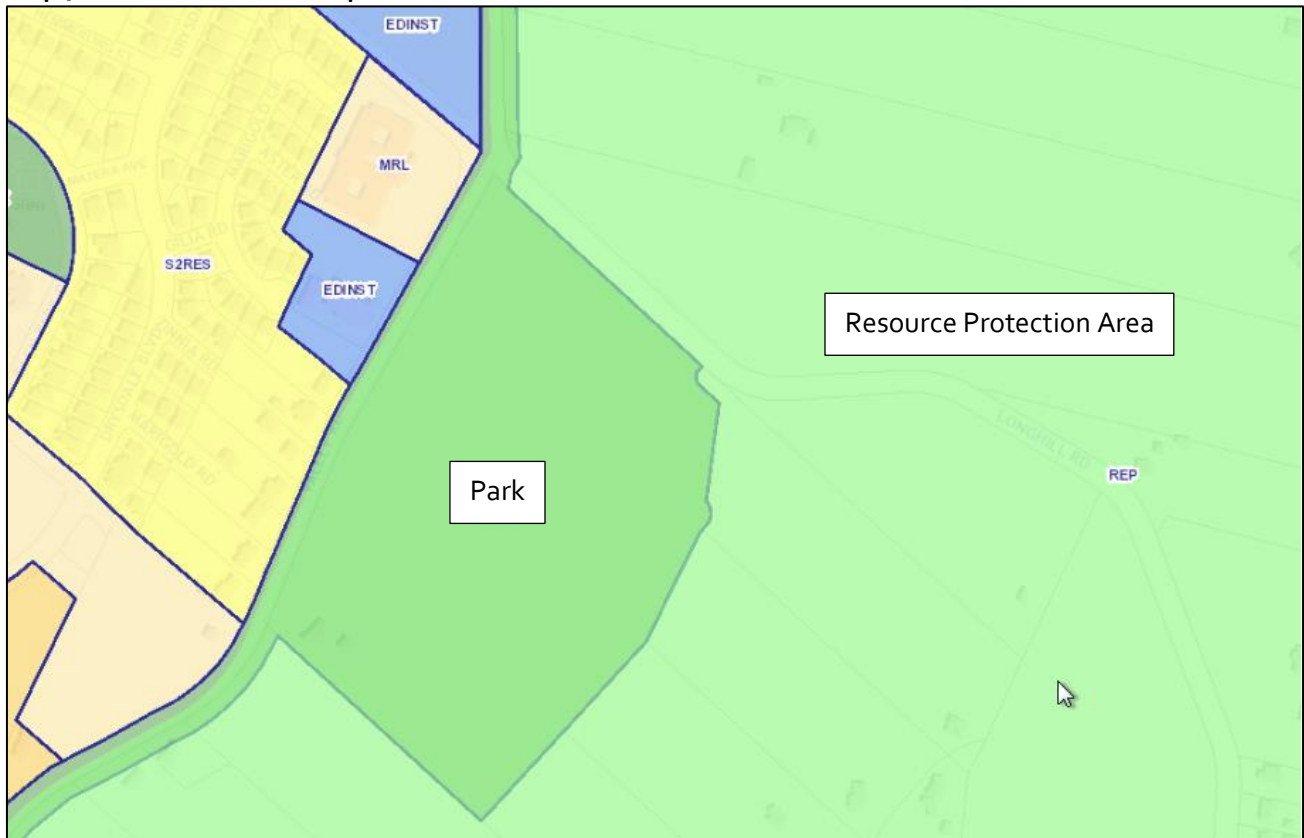
Specifically, adjacent land uses are as follows:

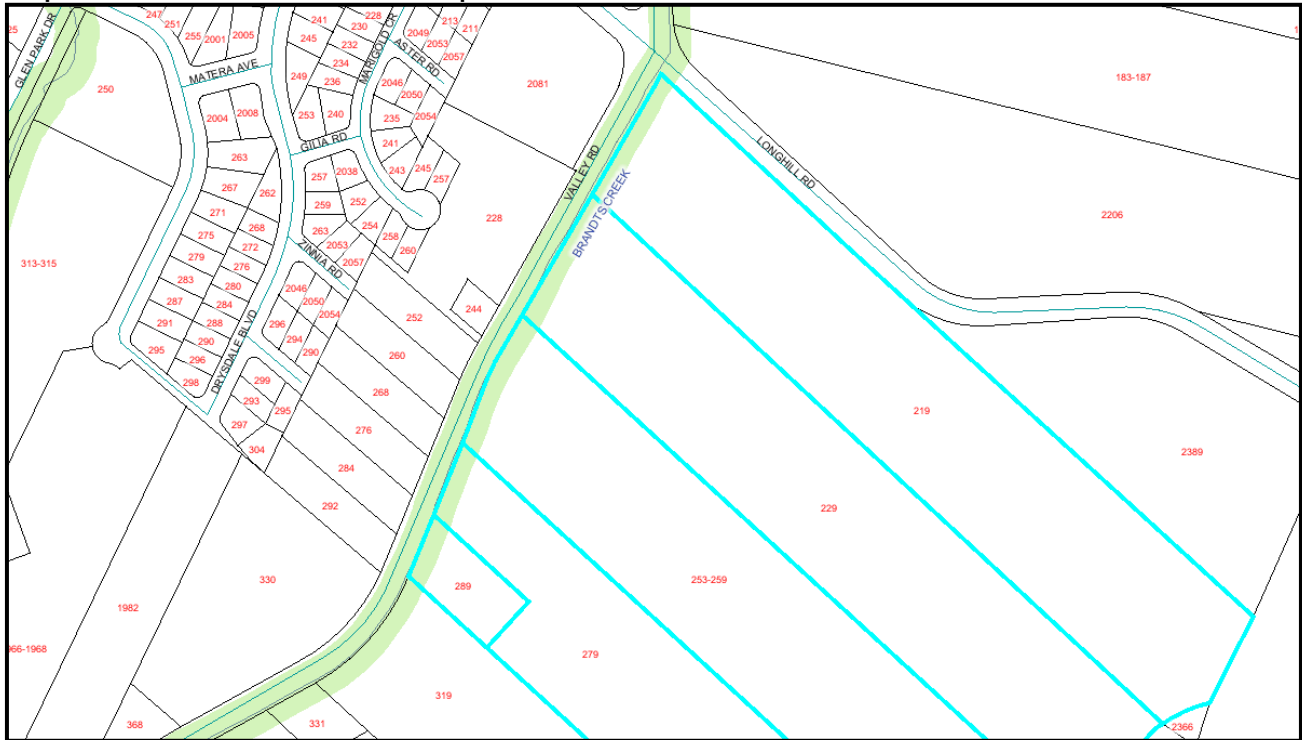
Orientation	Zoning	Land Use
North	A1 – Agriculture 1	Agricultural
East	A1 – Agriculture 1	Agricultural
South	A1 – Agriculture 1	Agricultural
West	RR3 – Rural Residential P2 – Educational & Minor Institutional RM3 – Low Density Multiple Housing	Residential Religious Assembly Multi-family Residential

Map 6. Subject Property Map



Map 7. Future Land Use Map



Map 8. Natural Environment Development Permit Area (Brandt's Creek)**4.4 Zoning Analysis Table**

The requirements for the zone are included in the table below:

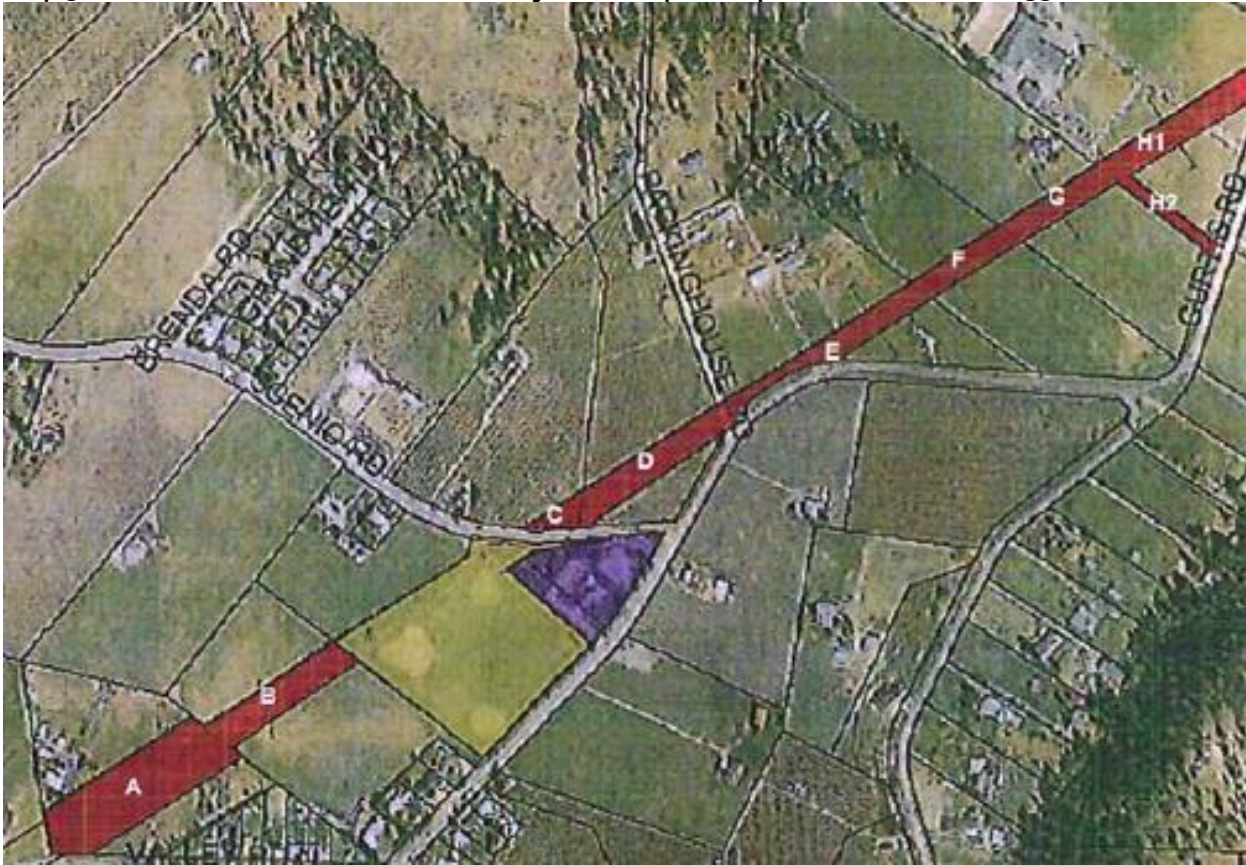
Zoning Analysis Table		
CRITERIA	P ₅ ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	1 ha	11.5 ha
Lot Width	13.0 m	410 m
Lot Depth	30.0 m	300 m

4.5 ALC Non-Farm Use Approval Conditions

The ALC Non-farm Use Approval for the recreation park was subject to a number of agricultural mitigation conditions by the ALC. Staff have been working on the mitigation measures, and have been communicating updates to ALC staff. A summary is provided below, based on correspondence from the ALC³:

Item #	Item	Status	Notes
1.	Fencing	Due for installation – Phase I (2017)	Confirm completion through an update to the ALC in Fall 2017
2.	Development Plan Revision	ALC Comment – provide adequate access for large farm vehicles to adjacent farms	Confirm completion through an update to the ALC in Fall 2017
3.	Vegetative Buffer	Due for installation – Phase I (2017)	ALC is satisfied with proposed, detailed comments provided.
4.	Consolidation of Right of Way with adjacent farms (see Map 9 below)	Of 9 parcels targeted for consolidation, 3 complete, 2 are due 2017, and 4 have ongoing discussions with adjacent owners	ALC satisfied with status – requires annual update
5.	Rehabilitation of existing sports fields to agriculture (500 Valley Road North)	Rehabilitate to agricultural standard and register a covenant prohibiting the construction of a dwelling on the property. Scheduled for 2017.	ALC requires an agrologist to oversee rehabilitation
6.	Firehall Relocation (550-552 Valley Rd North)	Ongoing -Long Term Objective – planning underway to find alternate fire hall location	ALC is satisfied with status, but requires an agrologist to oversee rehabilitation when scheduled
7.	Fencing of Firehall (550-552 Valley Rd)	Fencing required once agricultural rehabilitation occurs	ALC is satisfied with status
8.	Substantial Commencement of Glenmore Recreation Park	The date for substantial commencement of construction was extended by the ALC to Oct. 25, 2017	ALC approves first phase but requires substantial progress update prior to future phases moving forward
9.	Consolidation to a single parcel	Complete	Consolidation completed and ALC is satisfied with this item
10.	Approval is only for the City of Kelowna	Confirmed	ALC is satisfied with this item

³ ALC, J. Bedore. Jan. 4, 2017, Letter regarding ALC File 52452 – Glenmore Recreation Park.

Map 9. Parcels to be Consolidated with Adjacent Properties per ALC Resolution #352/2011 (in red)

4.6 Public Notification

Public notification for a Public Information Meeting was undertaken in compliance with Policy 367 for the subject property. The Public Information Meeting was held on Wednesday, March 8, 2017, from 4:00 - 6:30pm, at the Abbey Church, 228 Valley Road (located across Valley Road from the subject property). The subject parcel is located within the Permanent Growth Boundary.

Neighbours within 50m of the subject property were notified with a hand delivered information package. Landowners with mailing addresses beyond 50m of the notification boundary were mailed the information package. A notice of the Public Information Meeting was placed in the Kelowna Capital News before the meeting and ran for two consecutive weeks.

Nineteen (19) people attended the meeting, including 4 of 5 landowners directly to the east of the subject property. Most attendees were familiar with the project's site plan and attended to see if there were any changes or new information that they should be aware of, such as the project schedule. The information presented was consistent with information presented during previous public engagement activities.

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Objective 5.33 Protect and enhance local agriculture⁴.

Policy .1 Protect Agricultural Land. Retain the agricultural land base by supporting the ALR and by protecting agricultural lands from development by supporting a “no net loss” approach, except as otherwise noted in the City of Kelowna Agricultural Plan. Ensure that the primary use of agricultural land is agriculture, regardless of parcel size.

Policy .2 ALR Exclusions. The City of Kelowna will not forward ALR exclusion applications to the ALC except in extraordinary circumstances where such exclusion is otherwise consistent with the goals, objectives and other policies of this OCP. Soil capability alone should not be used as justification for exclusion.

Objective 7.12 Provide active and passive parks for a diversity of people and a variety of uses⁵.

Policy .1 Active Park Standard. Using Development Cost Charge revenue provide 2.2 ha of parks per 1000 new population growth. As a guideline the 2.2 ha standard will include provision for 0.6 ha neighbourhood, 0.4 ha community, 0.6 ha recreation and 0.6 city-wide types of parks.

Policy .4 Parks in Agricultural Areas. Where parks and linear pathways are proposed adjacent to farm areas they will be designed so as not to negatively affect farming operations. Mitigation techniques may include: deer fencing, signage, and trash bins to ensure trespass and field contamination is minimized. Any parks affecting lands in the ALR will be subject to detailed design based on the Ministry of Agriculture’s guidelines.

Policy .6 Glenmore Recreation Park. As a key park initiative establish a major Recreation Park in the Glenmore Valley that complements the existing park system. This site is identified on Map 4.1 Generalized Future Land Use. The City recognizes that use of this site for park purposes will require provision of off-setting agricultural benefits on adjacent or nearby ALR land in the Glenmore Valley to the satisfaction of the Agricultural Land Commission.

5.2 City of Kelowna Agriculture Plan

Urban - Rural/Agricultural Boundary Policies⁶

Glenmore District Park. Seek Agricultural Land Commission concurrence toward the release of ALR land to serve as a District Park site at a location that maximizes facility potential, possibly in conjunction with other civic resources.

East of Valley Road. Encourage non-soil bound agricultural activities in the bottom lands east of Valley Road, and support the creation of smaller lots west of the toe of the slope for hobby farms, as a transition to more productive lands to the east.

⁴ City of Kelowna 2030 Official Community Plan: Greening Our Future (2011); p. 5.33.

⁵ City of Kelowna 2030 Official Community Plan: Greening Our Future (2011); pp. 7.8 & 7.9.

⁶ City of Kelowna Agriculture Plan (1998); p. 133.

5.3 City of Kelowna – Glenmore/Clifton/Dilworth Sector Plan

Agriculture⁷

Pursue either the release of property from the ALR or permission for park use within the ALR to provide for the creation of a District Park.

Parks, Recreation and Open Space⁸

Seek Agricultural Land Commission concurrence toward the release of ALR land to serve as a District Park site at a location that maximizes facility potential, possibly in conjunction with other civic resources.

5.4 City of Kelowna – Glenmore Valley Sector Plan

Objective 5 – Public Open Space⁹

Park standards outlined in the Official Community Plan provide for 2.2 hectares (5.5 acres) per 1,000 people on an overall basis, comprised of neighbourhood, district and City-wide facilities. With a potential population of 12,000 new people in the Glenmore Valley, the overall park requirement would be 27 hectares (68 acres). The land area allocations previously outlined include the provision of 18 hectares (45 acres) of parks within the development area. **This will require approximately 9 hectares (23 acres) in the form of a major district park to be located and provided within this overall section of the City in the future as the resident population grows and the needs will require.**

6.0 **Technical Comments**

6.1 Development Engineering Department

See attached Development Engineering Memorandum.

6.2 Fire Department

The Fire Department has no issues with the zoning. Please ensure that there is a hammerhead or a turnaround for fire trucks.

6.3 Interior Health Authority

See attached letter of support.

6.4 Glenmore Ellison Irrigation District (GEID)

GEID does not require fees and conditions prior to re-zoning or development permit approval. However, GEID will have fees and conditions required prior to issuance of a Water Service Certificate to facilitate building permit issuance / subdivision (for road dedication) approval. See attached letter for additional details.

⁷ City of Kelowna - Glenmore/Clifton/Dilworth Sector Plan (1998); p. 102.

⁸ City of Kelowna - Glenmore/Clifton/Dilworth Sector Plan (1998); p. 113.

⁹ City of Kelowna - Glenmore Valley Sector Plan (1998); p. 20.

7.0 Application Chronology

Date of Application Received: January 13, 2017
Date of Public Open House: March 8, 2017
Date Public Consultation Completed: March 13, 2017

Report prepared by: Melanie Steppuhn, Planner Specialist
Reviewed by: Todd Cashin, Subdivision, Suburban and Rural Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager
Approved for Inclusion: Doug Gilchrist, Divisional Director, Community Planning & Real Estate

Attachments:

Development Permit - Draft
Development Engineering Services Memo
Interior Health – Letter of Support
Glenmore Ellison Irrigation District Letter

DRAFT - DEVELOPMENT PERMIT



APPROVED ISSUANCE OF DEVELOPMENT PERMIT NO. DP17-0003

Issued To: City of Kelowna
Site Address: 289 – 291 Valley Road, Kelowna BC
Legal Description: Lot A Sections 4 TWP 23 and Section 33 TWP 26 ODYD Plan EPP16971
Zoning Classification: P5 – Municipal District Park
Development Permit Area: Farm Protection / Natural Areas Development Permit Area

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. **DP17-0003** for *Lot A Sections 4 TWP 23 and Section 33 TWP 26 ODYD Plan EPP16971*, located at 289 – 291 Valley Road, Kelowna, BC to allow the construction of a Municipal District Park be approved subject to the following:

- a) The dimensions and siting of the attenuation pond, fencing, vegetative buffer, and roadway and to be constructed on the land be in accordance with Schedule "A";
- b) Landscaping and fencing for the Agricultural Buffer to be provided on the land be in accordance with Schedule "B"; and
- c) Attenuation pond, associated riparian planting and stormwater attenuation structures, including the oil/water separator, to be provided on the land be in accordance with Schedule "C"; and
- d) An Environmental Monitor (Qualified Environmental Professional) is required to ensure the works are monitored throughout the duration of the project. A copy of this development permit must be submitted to the designated Environmental Monitoring consultant prior to construction starting.

Environmental Monitoring Reports must be submitted to the City of Kelowna Community Planning Department;

- e) The designated Environmental Monitor and grading contractor / developer shall meet prior to construction starting to review limits of disturbance, erosion and sediment controls and Development Permit conditions / requirements for the project site;
- f) Physically demarcate "No Disturbance Areas" around Brandt's Creek with snow fencing or another visible material to avoid accidental disturbance;
- g) No sediment laden water is to enter streams at any time. Erosion and sediment controls must be in place prior to construction starting;
- h) All work must correspond to the Water Act Authorization from the Province of BC;
- i) Any noxious weeds that are present at the site should be removed from the site and disposed of appropriately, in accordance to the City of Kelowna's Noxious Weed and Grass Control Bylaw.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

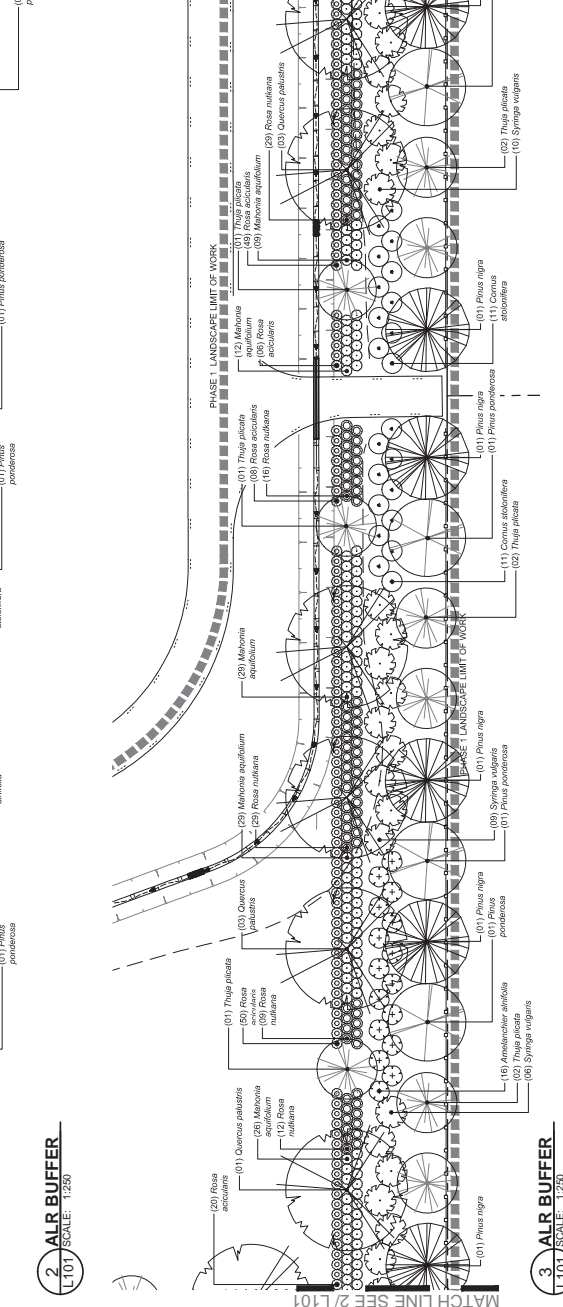
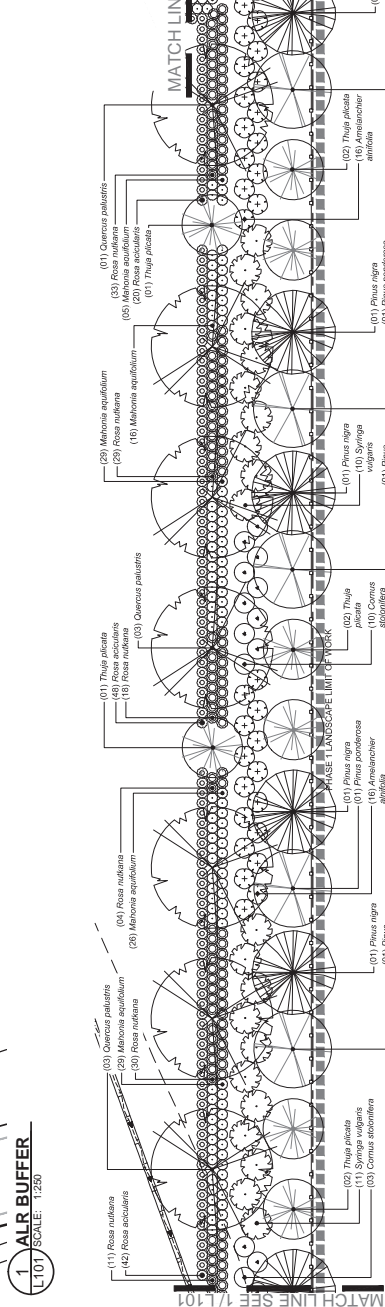
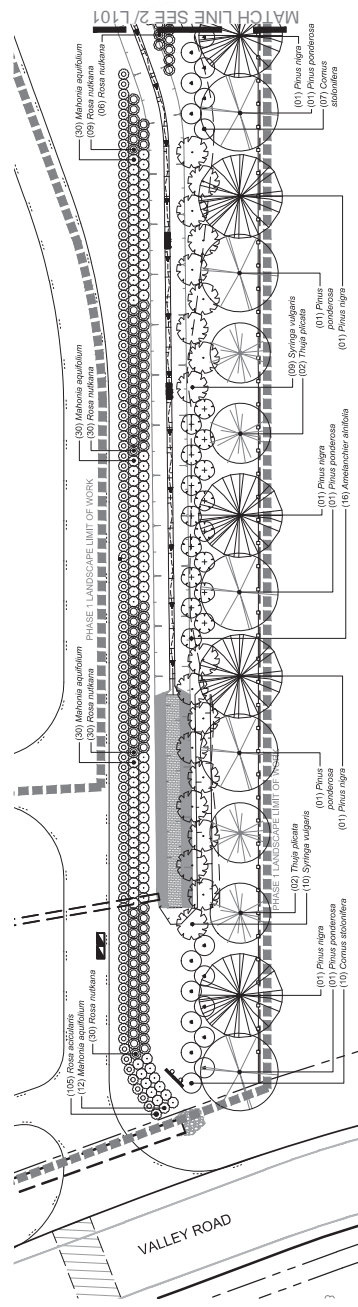
5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

Todd Cashin, Suburban and Rural Planning Manager
Community Planning & Real Estate


Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or his or her designates**



GLENMORE RECREATION PARK - PHASE 1 PLANT LIST					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	WATER RISE
	Trees				
20	<i>Picea canadensis</i>	Can. Oak	7.5m CL	B&S	15.0m x 12.0m
20	<i>Picea nigra</i>	Australian Pine	2.0m		20.0m x 8.0 m
25	<i>Picea ponderosa</i>	Ponderosa Pine	2.0m		20.0m x 8.0 m
4	<i>Thuja occidentalis</i>	Western Red Cedar	2.0m		20.0m x 8.0 m
	Shrubs				
85	<i>Amelanchier alnifolia</i>	Vaccinium berry	#602	Protected	3.0m x 2.0m
52	<i>Cornus stricta</i>	Red Dogwood	#602	Protected	2.0m x 2.0m
52	<i>Rubus odoratus</i>	Black Raspberry	#602	Protected	2.0m x 2.0m
47	<i>Rosa aciculate</i>	Rocky Rose	#602	Protected	1.5m x 1.5m
47	<i>Rosa rugifolia</i>	Muskle Rose	#602	Protected	2.5m x 3.0m
85	<i>Syringa vulgaris</i> (var.)	Common Lilac	#605	Protected	2.5m x 3.0m

GRP - PHASE 1 - ALR BUFFER SHRUBS LEGEND	
KEY	BOTANICAL NAME
	<i>Amelanchier alnifolia</i>
	<i>Cornus stolonifera</i>
	<i>Mahonia aquifolium</i>
	<i>Rosa aciculfans</i>
	<i>Rosa nutkana</i>
	<i>Syringa vulgaris</i>

GRP - PHASE 1 - AIR BUFFER TREES LEGEND	
KEY	BOTANICAL NAME
deciduous	 <i>Quercus pellisistis</i>


SCHEDULE B

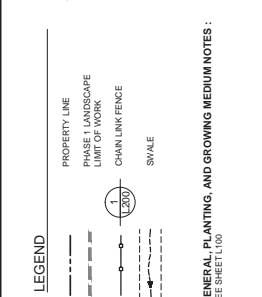
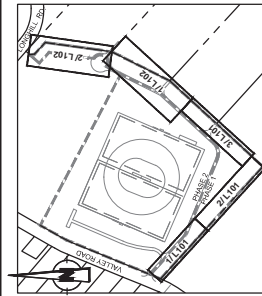
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DP17-00003



City of Kelowna
COMMUNITY

Planner Initials
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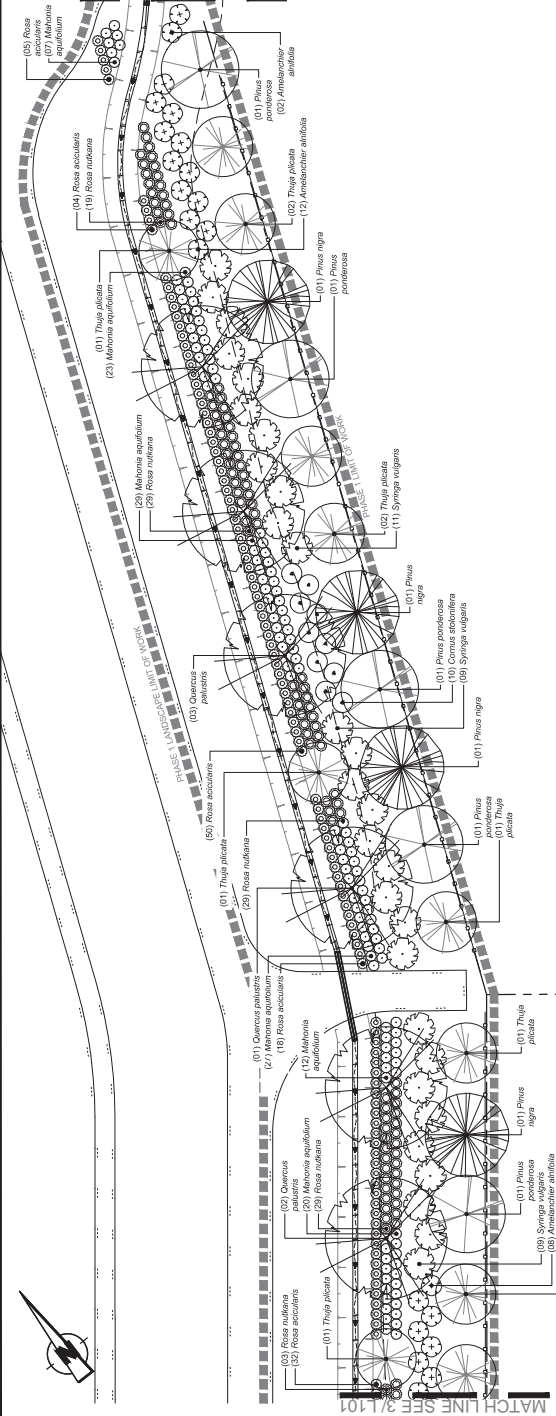


GENERAL PLANTING AND GROWING MEDIUM NOTES :
SEE SHEET L100

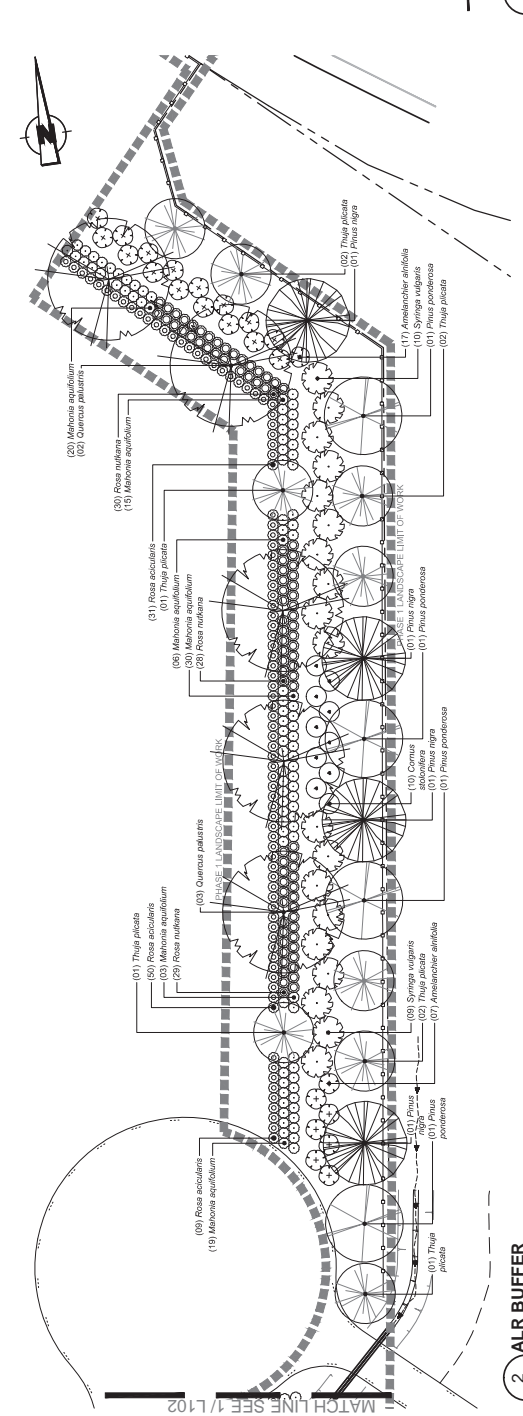
KEY PLAN
N.T.S.

SRP - PHASE 1 - ALR BUFFER SHRUBS LEGEND	
KEY	BOTANICAL NAME
	Amelanchier alnifolia
	Cornus stolonifera
	Malvonia aquifolium
	Rosa aciculata
	Rosa rugosa
	Syringa vulgaris

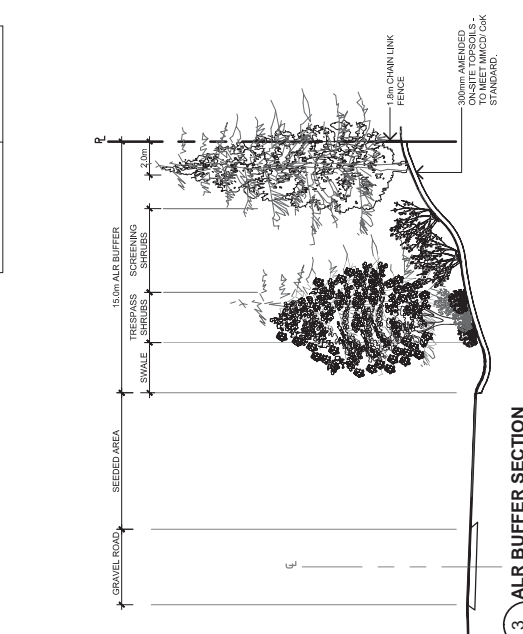
SRP - PHASE 1 - ALR BUFFER TREES LEGEND	
KEY	BOTANICAL NAME
	Quercus palustris
	Thuja plicata
	Pinus nigra
	Pinus ponderosa



1. ALR BUFFER
L102 SCALE: 1:250



2. ALR BUFFER
L102 SCALE: 1:250



3. ALR BUFFER SECTION
L102 SCALE: 1:150

City of Kelowna

ISSUED FOR DP

ISSUED FOR CITY REVIEW FOR PRELIMINARY DESIGN

NO. 11/AM/20 BY

REVISION

RF

RF

DP/D

BASE: BUDY APPROVED DATE: APRIL 2016 SCALE: 1:250

DESIGN: RF/780

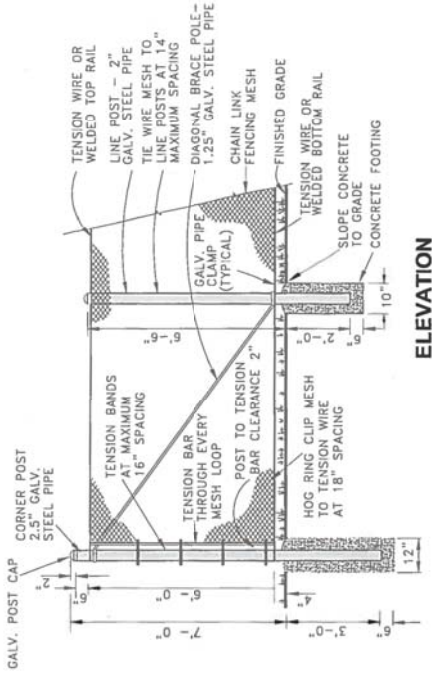
THE CITY OF KELOWNA
DESIGN AND CONSTRUCTION

GLENMORE RECREATION PARK - PHASE 1
LAYOUT AND PLANTING PLAN
ALR BUFFER AREA

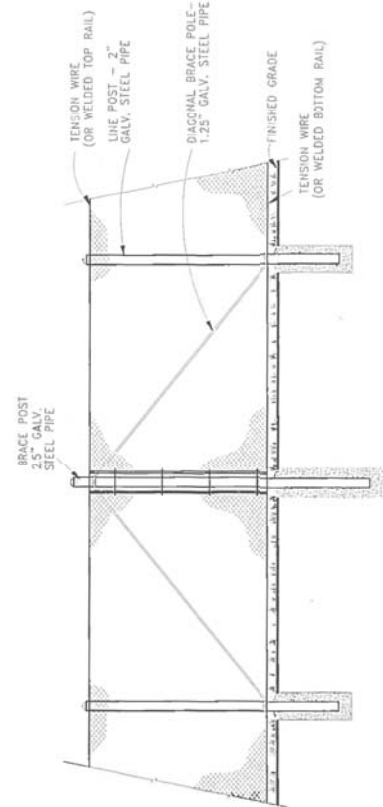
DIVISION: INFRASTRUCTURE

DRAWING NO.: L102

REV NO.



ELEVATION



ELEVATION

1 CHAIN LINK FENCE
L200 SCALE: N.T.S.

CHAIN LINK FENCE NOTES:

1. WIRE POSTS SHALL BE CONSTRUCTED FROM 1/2" DIA. STANDARD GALVANIZED STEEL PIPE (0.125" WALL THICKNESS) 8.5' (2.5m) IN LENGTH, GALVANIZED TO CSA G164 STANDARD.
2. CORNER AND STRAINING POSTS SHALL BE CONSTRUCTED FROM 2.5" (64mm) STANDARD GALVANIZED STEEL PIPE GALVANIZED TO CSA G164 STANDARD.
3. DIAGONAL BRACE POSTS SHALL BE CONSTRUCTED FROM 1.25" (32mm) STANDARD GALVANIZED STEEL PIPE GALVANIZED TO CSA G164 STANDARD.
4. TENSION BANDS SHALL BE CONSTRUCTED FROM 1/2" (12.7mm) DIA. CONCRETE EXTENDING FROM THE SOIL SURFACE TO 6" (152mm) BELOW THE BOTTOM OF THE POST. POST SHALL BE SPACED NO MORE THAN 60" (1.52m) O.C.
5. TENSION BANDS SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - 5.1. MINIMUM HEIGHT: 5' (1.5m)
 - 5.2. MINIMUM WIRE GAUGE: 11.0 AWG
 - 5.3. MINIMUM WIRE DIAMETER: 5/16" (8mm)
 - 5.4. BE GALVANIZED TO CSA G164
 - 5.5. COLOUR: BLACK
6. ALL ACCESSORY MATERIALS SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - 6.1. POST CAPS AND EXTENSION ARMS OF PRESSED STEEL OR CAST OR MALLEABLE IRON AND GALVANIZED TO CSA G164 STANDARD.
 - 6.2. TENSION WIRE BOTTOM AND TOP WIRES 6.0 GAUGE (9mm) MEDIUM TENSILE GALVANIZED TO CSA G164 STANDARD.
 - 6.3. WIRE: 9.0 GAUGE ALUMINUM WIRE FOR MESH FIXING TO LINE POSTS.
 - 6.4. HOG RING CLIPS 9.0 GAUGE GALVANIZED STEEL WIRE CLIPS FOR MESH FIXING TO TOP AND BOTTOM TENSION.
 - 6.5. TENSION BANDS: 1/2" x 2 1/4" (12.7mm x 57mm) GALVANIZED FORMED MILD STEEL FLAT BAR.
 - 6.6. TENSION BANDS: 1/2" x 2 1/4" (12.7mm x 57mm) GALVANIZED FORMED MILD STEEL FLAT BAR.
7. ALL TENSION BANDS SHALL BE SECURELY FITTED WITH THE APPROPRIATE WEATHER-TIGHT CAPS AND DUG HOLES TO THE DEPTHS AND REGULAR SPACING.
8. INTERMEDIATE TENSIONING POSTS SHALL BE SET PLUMB INTO CONCRETE FOOTING NAILING OR DRIVEN INTO THE DEPTHS AND REGULAR SPACING.
9. IF TOP AND BOTTOM WELDED RAILS ARE NOT USED, TOP AND BOTTOM TENSION WIRES SHALL BE SECURELY ATTACHED TO THE TENSIONING POSTS. TOP TENSION WIRE SHALL PASS THROUGH LINE POST TOPS.
10. INTERMEDIATE TENSIONING ASSEMBLIES SHALL BE PROVIDED WHERE TERMINAL POSTS ARE MORE THAN 60' (18.3m) APART. TENSIONING POSTS SHALL PASS THROUGH LINE POST TOPS.
11. CHAIN LINK FENCING MESH SHALL BE STRETCHED BETWEEN TERMINAL POSTS AND ANY INTERMEDIATE TENSIONING POSTS. TENSIONING POSTS SHALL BE MADE BY WEAVING AND BANDS, TIE WIRE AND CLIPS. JOINS IN THE LENGTH OF WIRE MESH SHALL BE MADE BY WEAVING THE MESH TOGETHER WITH A SINGLE WIRE POCKET TO FORM A NEAT CONTINUOUS MESH.



City of Kelowna

NO.	REVISION	BY	DATE
1	ISSUED FOR OP	YY	2017-01-26
0	ISSUED FOR CITY REVIEW	YY	2016-10-26
0	ISSUED FOR CITY REVIEW	YY	2016-10-26



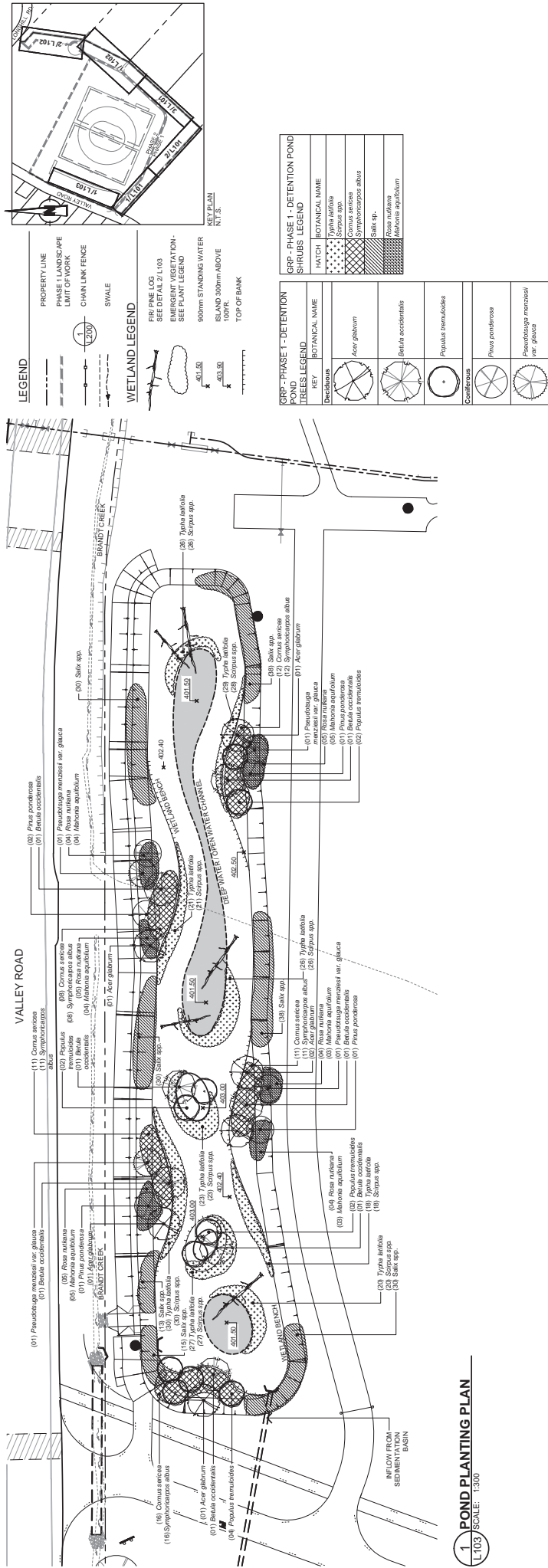
WSP
1000 West Beaver Creek Rd., Suite 100
Richmond Hill, ON L4B 1N2
Tel: 905.882.1100 x2222 Fax: 905.882.1101

DATE	SCALE	AS NOTED
APRIL 2016		

BASE	DESIGN	REVISION
APPROVED	RF	RF

THE CITY OF KELOWNA
DESIGN AND CONSTRUCTION
GLENMORE RECREATION PARK - PHASE 1
LANDSCAPE DETAILS

DIVISION	INFRASTRUCTURE
DRAWING NO.	L200
REV NO.	

[illegible]

DETENTION POND PLANTING NOTES:

1. SPECIFIC PLANTS CHOSEN BY THE CONTRACTOR SHOULD BE REVIEWED BY THE ENVIRONMENTAL MONITOR PRIOR TO PLANTING.

GENERAL, PLANTING, AND GROWING MEDIUM NOTES :
SEE SHEET L100

<h1>SCHEDULE C</h1>		<p>City of Kelowna COMMUNITY PLANNING</p>	<div>Planner Initials</div> <div>MS</div>



CITY OF KELOWNA
MEMORANDUM

Date: February 23, 2017
File No.: Z17-0002 Rev 1
To: Urban Planning Management (MS)
From: Development Engineering Manager (SM)
Subject: 289-291 Valley Road A1 to P5

The Development Engineering Department has the following comments and requirements associated with this application to rezone the property at 289-291 Valley Road from A1 to IP5 in order for Park designation.

The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Ryan O'Sullivan

1. Domestic Water and Fire Protection

- a) The property is located within the Glenmore Ellison Irrigation District (GEID) service area. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. The developer (City of Kelowna) is responsible, if necessary, to arrange with GEID staff for any service improvements and the decommissioning of existing services. Only one water service will be permitted to a consolidated lot.
- b) A water meter is mandatory for each property and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost. Boulevard landscaping, complete with underground irrigation system, must be integrated with the on-site irrigation system.
- c) Boulevard landscape irrigation system, must be integrated with the on-site irrigation system.

2. Sanitary Sewer

The developer's (City of Kelowna) consulting mechanical engineer will determine the development requirements of the proposed development and establish the service needs. Our records indicate the subject property does not have an existing sanitary sewer service. The applicant will arrange, if necessary, for any service improvements that are required at the applicants cost to all properties in Glenmore Rec Park agreement.

3. Storm Drainage

The developer (City of Kelowna) must engage a consulting civil engineer to provide a storm water management plan which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of a lot grading plan,) overland drainage routes, floodplain elevations and setbacks, and provision of a storm drainage service for the lot and /or recommendations for onsite drainage containment and disposal systems. The on-site drainage systems may be connected to the existing Brandt Creek on Valley Rd with an Section 11 approval from MOE service at the applicants cost.

ALR landscape buffer need to in place upon completion of phase 1 construction.

4. Road Improvements

- a) New road to access 789-291 Valley Rd must be dedicated as road right of way upon completion of Phase 2 (when open to public) of construction of Glenmore Rec Park.
- b) Driveway access to 279,253,259,229,2366 Valley Road must be accessible at all times to either Valley road or Longhill Drive.
- c) An access agreement must be in place to all effected properties until road is dedicated.
- d) Valley road intersection and the new Glenmore Rec park road must comply with by-law 9700 local road construction standards upon any public access to new road and park.

5. Road Dedication and Subdivision Requirements

- a) Dedicate new road to road right of way upon completion of Phase 2 of Glenmore Rec park
- b) Grant Statutory Rights of Way if required for utility services.
- c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.
- d) Right and Left turn lanes into development from Valley Road are required upon completion of Phase 2 (when open to public).

6. Electric Power and Telecommunication Services

All proposed service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

7. Design and Construction

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.

- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

9. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, Identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

8. Survey Monuments and Iron Pins

If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

9. Other Engineering Comments

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

10. Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

11. Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as (3.5% of Total Off-Site Construction Cost plus GST)

Steve Muenz, P.Eng,
Development Engineering Manager

RO



January 23, 2017

Melanie Steppuhn
Community Sustainability
1435 Water St
Kelowna BC V1Y 1J4

Dear Melanie,

RE: Z17-0002/DP17-0003/S17-0006, 289-291 Valley Rd

Thank you for the opportunity to provide a health perspective for the Glenmore Recreation Park.

Interior Health is in support of this application which will create opportunities for residents to access physical activity options for both recreation and sport.

Please contact me if you have any questions or comments.

Sincerely,

Pam Moore
Healthy Built Environment Team

Bus: (250 469-7070 ext. 12284

Web: interiorhealth.ca

HEALTH PROTECTION
"Less Risk, Better Health"
505 Doyle Avenue. V1Y 0C5 Kelowna



Glenmore-Ellison Improvement District

445 Glenmore Road
Kelowna, BC V1V 1Z6

Email: glenmore.ellison@shaw.ca

Website: www.glenmoreellison.com

Phone: 250-763-6506

Fax: 250-763-5688

OUR FILE No.: 53-19-01
CITY OF KELOWNA FILE No.: Z17-0002
DP17-0003
S17-0006
P.I.D.: 028-955-714

February 16, 2017

City of Kelowna Community Planning
1435 Water Street
Kelowna, BC V1Y 1J4

Attention: Melanie Steppuhn (via email: [msteppuhn](mailto:msteppuhn@kelowna.ca); planninginfo@kelowna.ca)

Dear Melanie:

Re: Conditions of water service (re-zoning, development permit and subdivision) at 289-291 Valley Road (Lot A, Plan EPP16971, City of Kelowna – Glenmore Recreation Park)

Glenmore-Ellison Improvement District (GEID) has received a Re-zoning / Development Permit / Subdivision referral from the City of Kelowna for the above noted property. GEID does not require fees and conditions prior to Re-zoning / Development Permit approval; however, GEID will have fees and conditions required PRIOR TO ISSUANCE of a Water Service Certificate to facilitate building permit issuance / subdivision approval. Please see attached letter which deals with the provision of irrigation water and subdivision (road) for Glenmore Recreation Park. This letter was sent to WSP Canada Inc., on June 8, 2016; cc. sent to City of Kelowna (via email to agibbs@kelowna.ca).

This application is subject to GEID's Standard Terms and Conditions.

If you have any questions regarding the above fees and conditions, please feel free to contact our office at 250-763-6506. Please reference our file number on all correspondence.

Sincerely,

GLENMORE-ELLISON IMPROVEMENT DISTRICT

Mike Rojem
Projects Coordinator

sv/mr

Enclosures: Letter dated June 6, 2016

GEID Standard Terms and Conditions

cc: Applicant: WSP Attention: Jared Bunch (via email: jared.bunch@wspgroup.com)