

City of Kelowna

Regular Council Meeting

AGENDA



Monday, November 9, 2015
1:30 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order

This meeting is open to the public and all representations to Council form part of the public record. A live audio feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

2. Confirmation of Minutes

3 - 7

Regular PM Meeting - November 2, 2015

3. Development Application Reports & Related Bylaws

3.1 1295 St. Paul Street, Z15-0023 & TA15-0014 - ML Holdings Inc.

8 - 31

To rezone the subject property to facilitate the development of a four-unit townhouse project on the subject property and to amend the Zoning Bylaw by adding the provision to increase the maximum floor area ratio for development in an Urban Centre to the RM4 zone.

3.2 BL11163 (TA15-0014) - Amendment to RM4 - Transitional Low Density Housing

32 - 33

To give first reading to Bylaw No. 11163 in order to amend the Zoning Bylaw by adding the provision to increase the maximum floor area ratio for development in an Urban Centre to the RM4 zone.

3.3 1295 St. Paul Street, BL11162 (Z15-0023) - ML Holdings Inc.

34 - 34

To give Bylaw No. 11162 first reading in order to rezone the subject property to facilitate the development of a four-unit townhouse project.

3.4 260 Davie Road, Z15-0047 - Urban Cottage Homes Ltd.

35 - 53

To rezone the subject property to facilitate the development of a second dwelling on the subject parcel.



City of Kelowna Regular Council Meeting Minutes

Date: Monday, November 2, 2015
Council Chamber

Location: City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart*, Ryan Donn, Gail Given, Tracy Gray, Charlie Hodge, Brad Sieben*, Mohini Singh and Luke Stack

Staff Present City Manager, Ron Mattiussi; City Clerk, Stephen Fleming; Community Planning Manager, Ryan Smith*; Policy & Planning Manager, Danielle Noble-Brandt*; Planner Specialist, Ross Soward*; Deputy City Manager, Paul Macklem*; Fire Chief, Jeff Carlisle*; Financial Services Director, Genelle Davidson*; and Council Recording Secretary, Arlene McClelland

(* Denotes partial attendance)

1. Call to Order

Mayor Basran called the meeting to order at 1:42 p.m.

Mayor Basran advised that the meeting is open to the public and all representations to Council form part of the public record. A live audio feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

2. Confirmation of Minutes

Moved By Councillor Hodge/Seconded By Councillor Gray

R840/15/11/02 THAT the Minutes of the Regular Meetings of October 26, 2015 be confirmed as circulated.

Carried

3. Development Application Reports & Related Bylaws

3.1 721-725 Francis Avenue, Z13-0038 - Aldo & Wilma Clinaz

Staff:

- Provided an overview of the reasons for rescindment.

Moved By Councillor Stack/Seconded By Councillor DeHart

R841/15/11/02 THAT Council receives, for information, the Report from the Community Planning Department dated November 2, 2015 with respect to Rezoning Application No. Z13-0038 for Strata Lots 1 and 2, District Lot 136, ODYD, Strata Plan KAS1005 together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown in Form 1, located on 721-725 Francis Avenue, Kelowna, BC.

AND THAT Bylaw No. 10933 be forwarded for rescindment consideration and the files be closed.

Carried

3.2 721-725 Francis Avenue, BL10933 (Z13-0038) - Aldo & Wilma Clinaz

Moved By Councillor Donn/Seconded By Councillor Given

R842/15/11/02 THAT first, second and third readings given to Bylaw No. 10933 be rescinded;

AND THAT the file for Rezoning Application No. Z13-0038, for the property located at 721-725 Francis Avenue be closed.

Carried

4. Bylaws for Adoption (Development Related)

4.1 975 - 985 Academy Way, BL11148 (Z15-0033) - Academy Apartments Ltd.

Councillor Sieben declared a conflict of interest as his in-laws have business interests in close proximity to the subject property that would be in direct competition and left the meeting at 1:44 p.m.

Councillor DeHart declared a conflict of interest as the hotel chain she works for has a retail liquor store component and left the meeting at 1:44 p.m.

Moved By Councillor Hodge/Seconded By Councillor Gray

R843/15/11/02 THAT Bylaw No. 11148 be adopted.

Carried

Councillors Sieben and DeHart returned to the meeting at 1:45 p.m.

5. Non-Development Reports & Related Bylaws

5.1 My Downtown Plan - Civic Block Land Use Plan Preferred Concept

Staff:

- Introduced Lance Berelowitz, Consultant, Urban Forum Associates.

Lance Berelowitz, Consultant, Urban Forum Associates

- Displayed a PowerPoint Presentation summarizing the preferred land use concept plan and responded to questions from Council.

Moved By Councillor Donn/Seconded By Councillor Given

R844/15/11/02 THAT Council receives the report from the Planner Specialist dated November 2, 2015 with respect to the Draft Civic Block Land Use Plan;

THAT Council endorses the consolidated and preferred draft concept, from the Planner Specialist dated November 2, 2015, with respect to the Civic Block Land Use Plan.

THAT Council endorses the development of the accompanying Civic Block Plan details, visuals, and final analysis and to complete the remainder of the public engagement strategy to inform the community on the Draft Plan prior to Staff reporting back to Council with the final Civic Block Land Use Plan.

Carried

5.2 Quarterly Report Update

Staff:

- Displayed a PowerPoint Presentation summarizing the Quarterly Report highlights.

Moved By Councillor Hodge/Seconded By Councillor Singh

R845/15/11/02 THAT Council receives, for information, the Quarterly Report from the Deputy City Manager, dated Oct. 28, 2015.

Carried

5.3 Fire Engine 2 RFP

Staff:

- Provided rationale for the Capital Budget amendment and responded to questions from Council.

Moved By Councillor Hodge/Seconded By Councillor Singh

R846/15/11/02 THAT Council approves a 2015 capital budget amendment increasing the \$730,000 budget for the end of life cycle replacement of Engine 2 by \$50,000 to a total of \$780,000 with funding from the Fire Equipment Replacement reserve;

Carried

5.4 894 Stremel Road (Adjacent to) (Portion of Finns Road) - Proposed Road Closure and Dedication

Moved By Councillor Sieben/Seconded By Councillor DeHart

R847/15/11/02 THAT Council receives the Report from the Manager, Real Estate Services dated November 2, 2015 recommending that Council adopt the proposed road closure and dedication of a portion of road adjacent to 894 Stremel Road;

AND THAT Bylaw No. 11158, being proposed road closure and dedication of a portion of road adjacent to 894 Stremel Road, be given reading consideration.

Carried

5.5 894 Stremel Road (Adjacent to) (Portion of Finns Road), BL11158 - Road Closure Bylaw

Moved By Councillor DeHart/Seconded By Councillor Stack

R848/15/11/02 THAT Bylaw No. 11158 be read a first, second and third time.

Carried

6. Bylaws for Adoption (Non-Development Related)

6.1 BL11149 - Amendment No. 26 to Traffic Bylaw No. 8120

Moved By Councillor Stack/Seconded By Councillor DeHart

R849/15/11/02 THAT Bylaw No. 11149 be adopted.

Carried

6.2 BL11150 - Amendment No. 12 to Bylaw Notice Enforcement Bylaw No. 10475

Moved By Councillor DeHart/Seconded By Councillor Stack

R850/15/11/02 THAT Bylaw No. 11150 be adopted.

Carried

7. Mayor and Councillor Items

Councillor Stack:

- Spoke to his attendance, along with Council, at the recent "Happy City" public presentation by Charles Montgomery.

Councillor DeHart:

- Spoke to her attendance at the Gospel Mission Appreciation Dinner.

Councillor Singh:

- Miss Lady of the Lake Committee looking for volunteer escorts and mentoring volunteers.

Councillor Sieben:

- Spoke to the recent Okanagan Sun Football victory.

Councillor Hodge:

- Will be attending the SILGA Executive Meeting on Wednesday, November 4th.

Councillor Gray:

- Will be attending the Mental Health Voices Breakfast on Wednesday, November 4th at the Coast Capri Hotel.

Councillor Donn:

- Reminder of the 100+ Men Who Give a Damn Event on Wednesday, November 4th.

Councillor Given:

- Congratulations to the Society of Hope and Councillor Stack on the Grand Opening of the new Apple Valley Seniors Housing Project.

Mayor Basran:

- Attended the 2016 Poppy Campaign kick-off this past Sunday.

8. Termination

This meeting was declared terminated at 3:22 p.m.

Mayor

/acm



City Clerk

DRAFT

REPORT TO COUNCIL



Date: November 9, 2015

RIM No. 1250-30

To: City Manager

From: Community Planning Department (LB)

Application: Z15-0023 / TA15-0014 **Owner:** ML Holdings Inc., Inc. No. BC0825079

Address: 1295 St Paul Street **Applicant:** Edgcombe Builders

Subject: Rezoning and Text Amendment Application

Existing OCP Designation: MRM - Multiple Unit Residential (Medium Density)

Existing Zone: RU2 - Medium Lot Housing

Proposed Zone: RM4 - Transitional Low Density Housing

1.0 Recommendation

THAT Rezoning Application No. Z15-0023 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 25, District Lot 139, ODYD, Plan 1303, located at 1295 St Paul Street, Kelowna, BC from the RU2 - Medium Lot Housing zone to the RM4 - Transitional Low Density Housing zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Attachment "A" attached to the Report from the Community Planning Department dated November 2, 2015;

AND THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject property;

AND THAT Zoning Bylaw Text Amendment Application No. TA15-0014 to amend the City of Kelowna Zoning Bylaw No. 8000, as outlined in the Report from the Community Planning Department dated November 2, 2015, be considered by Council;

AND THAT the Zoning Bylaw Text Amending Bylaw be forwarded to a Public Hearing for further consideration;

AND FURTHER THAT final adoption of the Zoning Bylaw Text Amending Bylaw be considered subsequent to the requirements of the Ministry of Transportation and Infrastructure being completed to their satisfaction.

2.0 Purpose

To rezone the subject property to facilitate the development of a four-unit townhouse project on the subject property and to amend the Zoning Bylaw by adding the provision to increase the maximum floor area ratio for development in an Urban Centre to the RM4 zone.

3.0 Community Planning

Community Planning Staff supports the proposed Rezoning and Text Amendment to facilitate the development of a four-unit townhouse on the subject property. This project will increase the density of the site and create a transition from the higher density mixed use developments to the single dwelling housing area.

Rezoning

The proposed rezoning is consistent with the property's Future Land Use designation of MRM - Multiple Unit Residential (Medium Density). This designation covers the area extending north and east; however, this is the first property to redevelop. Given the relatively small lot sizes, lot assembly is generally needed to achieve the forms of development and densities envisioned for this area. As a corner lot, the subject property presents an opportunity for urban infill development that is not viable on individual interior lots.

The property's proximity to recreational and retail services, employment opportunities, and transportation options makes it a prime location for additional density. It is directly on the Cawston Avenue multi-use corridor and within walking distance of Downtown Kelowna's many amenities. The proposal exceeds targeted residential intensities identified in the Official Community Plan. With an intensity of nearly 70 units per hectare, the proposed development strongly supports policies regarding creating complete communities and a compact urban form.

Variances

Although row housing and stacked row housing are permitted forms of development in the RM4 zone, it was created with low rise apartments in mind and the development regulations reflect this. As a row house development on a small urban lot, several of the development regulations are not met and variances are being requested.

Row houses are typically developed under the RM3 zone and Staff are considering the variances in light of development regulations for similar forms of development in other zones. For example, the development has access to grade and individual unit entrances facing St Paul Street and Cawston Avenue, and is considered ground-oriented housing. Several Official Community Plan policies support this form of housing to improve housing options for families. While the RM2 and RM3 zones have development regulations that specifically encourage ground-oriented housing, primarily through reduced front and side yard setbacks, the RM4 zone does not have these same provisions since ground-oriented housing is not characteristic of this zone.

Text Amendments

The proposed text amendments will support better use of the RM4 zone as a transition between low and medium density developments. The amendments are not site-specific; therefore, they could be used by any property currently zoned RM4 and any that rezone to RM4 in the future.

Parking in garages or carports was not previously included as an option to increase the FAR in the RM4 zone because it anticipates development of a scale that typically precludes individual garages or carports from being used for parking. The RM2 and RM3 zones include garages and carports in the allowance to increase FAR where certain parking screening requirements are met. The amendment meets the intent of the existing provision by discouraging open surface parking.

The RM2, RM3 and RM5 zones allow developments in an Urban Centre to benefit from an increased FAR. The applicant proposes to add a similar provision to the RM4 zone for a total maximum FAR of 1.15 if all conditions are met. Since density cannot be varied, this is intended to encourage multiple unit residential projects to locate in Urban Centres, supporting policies that direct intensification and higher density development to these areas. This facilitates a better transition between the RM3 zone, which has a total maximum FAR of 0.90, and the RM5 zone, which has a maximum FAR of 1.40.

There are currently six properties zoned RM4 within Urban Centres. While these properties would be able to make use of the additional FAR provisions, all of the properties are developed and no changes are anticipated outside of future full site redevelopment.

Public Consultation

In fulfillment of Council Policy No. 367, the applicant completed public notification and consultation with property owners within 50 m of the subject property. Recognizing the scope of the development, the applicant also held an open house to provide more information and answer questions about the project. The neighbourhood open house was held Wednesday October 7, 2015 from 5:00 pm to 6:00 pm in the Sole building across from the subject property. Five local residents and business owners attended, including a representative from the Kelowna Downtown Knox Mountain Neighbourhood Association. The applicants describe the project background and development details to the open house attendees.

The open house attendees were generally supportive of some development on the site and asked questions regarding specific elements of the project. Some areas of concern included changes to the boulevard and on-street parking, landscaping and the requested variances. At the time of writing, Staff has not been contacted directly with any questions or concerns about the proposed development.

4.0 Proposal

4.1 Project Description

Proposed Development

The proposed development consists of a four-unit, three storey townhouse building with attached garages. The intent is to create a building strata allowing the units to be sold individually. Unit sizes range from approximately 1,700 ft² (158 m²) to 1,800 ft² (167 m²), plus exterior decks and patio space. The site is in part of the City Centre (Downtown) Urban Centre that quickly changes from high density mixed use developments to an area of single dwelling housing that is designated for medium density residential development.

Secure parking is provided in a row of four attached garages, each of which offers tandem parking for two vehicles. Vehicular access to the garages is from the lane off St Paul Street on the north side of the property. Each unit has an at-grade pedestrian entrance facing either St Paul Street or Cawston Avenue.

As an urban infill townhouse project, this development is a form of housing seldom seen in Downtown Kelowna. The developer expects buyers to be those seeking to live near the amenities and employment in the area.

Rezoning

The property is currently zoned RU2 - Medium Lot Housing and the proposed zone is RM4 - Transitional Low Density Housing. The RM4 zone was created to facilitate development that transitions between low and medium density developments. It is the lower density of the two

zones under the MRM - Multiple Unit Residential (Medium Density) Future Land Use designation, the other being RM5 - Medium Density Multiple Housing.

Variances

The applicant is requesting several variances to facilitate this form of housing on a small urban lot. The variances are noted in the Zoning Analysis Table in Section 4.3 below and include increasing site coverage, reducing setbacks, varying parking ratios, reducing landscape buffers, and reducing visitor bicycle parking.

Should Council choose to support the rezoning and text amendment, the Development Permit and Development Variance Permit will be considered by Council at a later date. The Staff report for that application will include a full discussion of the requested variances as well as the form and character of the development.

Text Amendments

A text amendment to the RM4 zone is proposed to add two provisions to the floor area ratio (FAR) regulations. A measure of density, FAR is the total net floor area of all buildings on a property divided by the area of the property. The maximum FAR in the RM4 zone is 0.65 with a provision to increase the FAR by as much as 0.20 for a total of 0.85 if specific requirements to screen parking spaces are met.

The first change is to add that parking spaces within a garage or carport also qualify for the parking screening requirements to increase the FAR by up to 0.20. The second is to allow developments in an Urban Centre to increase the FAR by 0.30. With the proposed text amendments, the total maximum FAR in the RM4 zone will be 1.15 for developments that meet all the requirements for parking spaces and are within an Urban Centre.

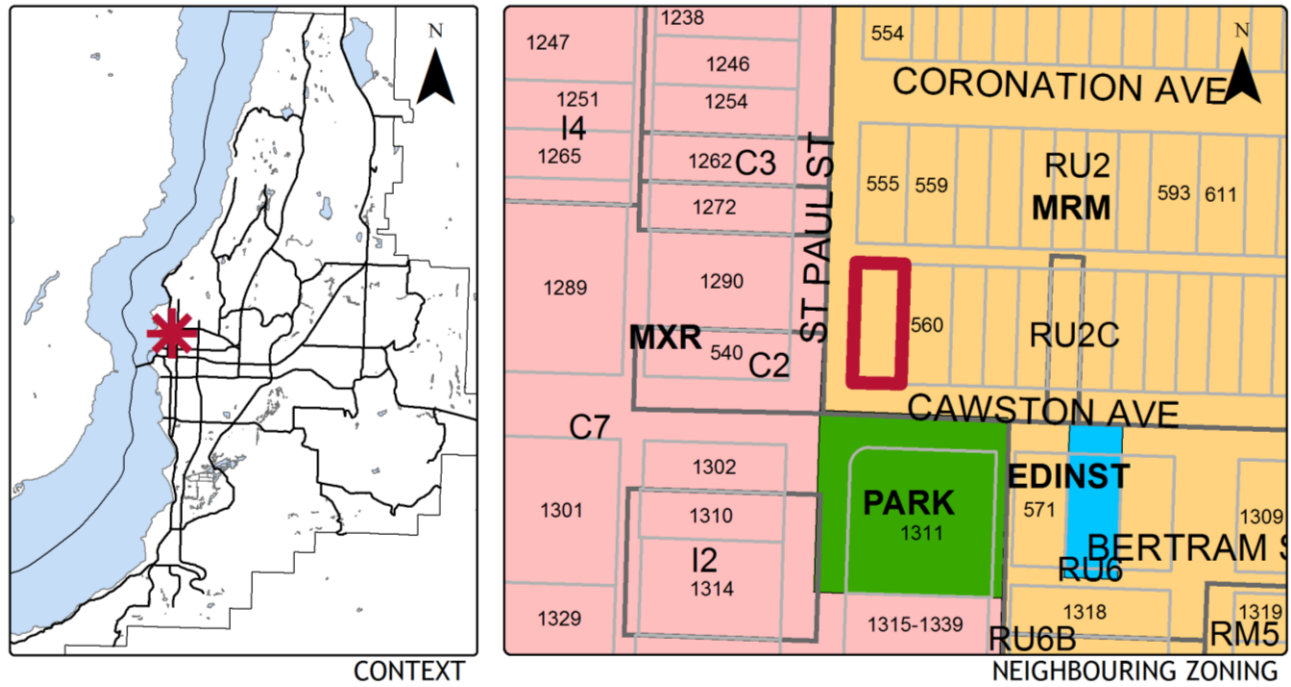
4.2 Site Context

The subject property is located at the northeast corner of the intersection of St Paul Street and Cawston Avenue in the Central City (Downtown) Sector as well as the City Centre (Downtown) Urban Centre. It is designated for medium density multiple unit residential development in the Official Community Plan and is within the Permanent Growth Boundary. The surrounding area is characterized by single dwelling housing to the north and east, and by mixed use commercial and residential development to the south and west.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU2 - Medium Lot Housing	Single dwelling housing
East	RU2 - Medium Lot Housing	Single dwelling housing
South	C7 - Central Business Commercial	Non-accessory parking
West	C2 - Neighbourhood Commercial	Offices
	C7 - Central Business Commercial	Offices, multiple dwelling housing

Subject Property Map: 1295 St Paul Street



SUBJECT PROPERTY

4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM4 ZONE REQUIREMENTS	PROPOSAL
Existing Lot		
Minimum Lot Area	900 m ²	577.8 m ² *
Minimum Lot Width	30.0 m	15.4 m *
Minimum Lot Depth	30.0 m	37.6 m *
Development Regulations		
Maximum Floor Area Ratio	0.65	1.15 ^
Maximum Site Coverage (buildings)	50%	70.2% ❶
Maximum Site Coverage (buildings, driveways and parking)	60%	72.8% ❷
Maximum Height	13.0 m / 3 storeys	11.0 m
Minimum Front Yard	4.5 m (two storeys or less) 6.0 m (more than two storeys)	1.0 m ❸
Minimum Side Yard (east)	2.3 m (two storeys or less) 4.5 m (more than two storeys)	1.5 m ❹
Minimum Side Yard (west)	4.5 m	0.8 m ❺
Minimum Rear Yard	7.5 m (two storeys or less) 9.0 m (more than two storeys)	1.5 m ❻
Other Regulations		
Minimum Parking Requirements	7 stalls (4 full, 3 medium)	8 stalls (4 full, 2 medium, 2 compact) ❼
Minimum Bicycle Parking	2 Class I 1 Class II	8 Class I (in garages) 0 Class II ❽
Minimum Private Open Space	25 m ² per dwelling	28 m ² per dwelling (average)
<p>* No subdivision is being proposed; therefore, the lot does not need to conform to the minimum lot dimensions of the RM4 subdivision regulations.</p> <p>^ Floor area ratio cannot be varied. The proposed text amendments would increase the maximum floor area ratio to 1.15.</p> <p>❶ Indicates a requested variance to increase the maximum site coverage from 50% permitted to 70.2% proposed.</p> <p>❷ Indicates a requested variance to increase the maximum site coverage for buildings, driveways and parking areas from 60% permitted to 72.8% proposed.</p> <p>❸ Indicates a requested variance to reduce the minimum front yard from 6.0 permitted to 1.0 m proposed.</p> <p>❹ Indicates a requested variance to reduce the minimum side yard from 4.5 m permitted to 1.5 m proposed.</p> <p>❺ Indicates a requested variance to reduce the minimum flanking street side yard from 4.5 m permitted to 0.8 m proposed.</p> <p>❻ Indicates a requested variance to reduce the minimum rear yard from 7.5 m permitted to 1.5 m proposed.</p> <p>❼ Indicates a requested variance to vary the ratio of parking stalls from three medium stalls permitted to two medium and two compact stalls proposed.</p> <p>❽ Indicates a requested variance to reduce the minimum Class II bicycle parking spaces from one permitted to zero proposed.</p>		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Development Process

Complete Communities.¹ Support the development of complete communities with a minimum intensity of approximately 35-40 people and/or jobs per hectare to support basic transit service - a bus every 30 minutes.

Compact Urban Form.² Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Sensitive Infill.³ Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

Ground-Oriented Housing.⁴ Encourage all multiple-unit residential buildings in neighbourhoods with schools and parks to contain ground-oriented units with 2 or more bedrooms so as to provide a family housing choice within the multi-unit rental or ownership markets. High density residential projects in the Downtown area are encouraged to include a ground-oriented housing component, especially where such can be provided on non-arterial and non-collector streets.

6.0 Technical Comments

6.1 Building & Permitting Department

- No concerns with the rezoning.
- Detailed Building & Permitting comments provided through the Development Permit and Development Variance Permit.

6.2 Development Engineering Department

- See Attachment "A": City of Kelowna Memorandum, dated June 12, 2015.

6.3 Fire Department

- No concerns with the rezoning.
- Detailed Fire Department comments provided through the Development Permit and Development Variance Permit.

6.4 FortisBC - Electric

- There are primary distribution facilities within the lane adjacent to the subject's north property line and within St Paul Street. The applicant is responsible for costs associated with any change to the subject property's existing service, if any, as well as the provision of appropriate land rights where required.

¹ City of Kelowna Official Community Plan, Policy 5.2.4 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

⁴ City of Kelowna Official Community Plan, Policy 5.23.1 (Development Process Chapter).

7.0 Application Chronology

Date of Application Received: May 8, 2015
Date Public Consultation Completed: October 7, 2015

Report prepared by:

Laura Bentley, Planner

Reviewed by: ☐ Terry Barton, Urban Planning Manager

Approved for Inclusion: ☐ Ryan Smith, Community Planning Department Manager

Attachments:

Subject Property Map
Attachment "A": City of Kelowna Memorandum
Conceptual Plans



CITY OF KELOWNA
MEMORANDUM

Date: June 12, 2015
File No.: Z15-0023

To: Urban Planning (LB)

From: Development Engineering Manager

Subject: 1295 St Paul Street

RU1 to RM3

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Sergio Sartori

1. Domestic Water and Fire Protection

- (a) The existing lot is serviced with 19mm diameter water service. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs. The estimated cost of this construction for bonding purposes is **\$6,000.00**
- (b) The applicant, at his cost, will arrange for the removal of the existing service on St Paul Street and the installation of one new larger metered water service.
- (c) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures. The City of Kelowna water meter contractor must salvage existing water meters, prior to building demolition. If water meters are not salvaged, the developer will be invoiced for the meters.

2. Sanitary Sewer

- (a) The existing lot is serviced with a 100mm diameter sanitary service. The developer's consulting mechanical engineer will determine the requirements of this proposed development and establish the required size and preferred location of the new service. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal of the existing small diameter service and the installation of a new larger service. The estimated cost of this construction for bonding purposes is **\$4,000.00**

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.

- (b) Only one service will be permitted for this development. The applicant, at his cost, will arrange for the installation of one new overflow service. The estimated cost of this construction for bonding purposes is **\$4,000.00**

4. Road Improvements

- (a) Cawston Ave fronting this development is complete therefore no further improvements is required.
- (b) St. Paul Street must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk, landscaped boulevard complete with street trees drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The estimated cost of this construction for bonding purposes is **\$21,000.00**
- (c) Lane must be upgraded along the full frontage of this proposed development including pavement removal and replacement, catch basin and concrete sidewalk thru the lane. The estimated cost of this construction for bonding purposes is **\$5,000.00**

5. Subdivision

- (a) Grant Statutory Rights Of Way if required for utility services.
- (b) Dedicate a 6.0m corner rounding at the intersection of Cawston Ave and St Paul St.
- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

6. Electric Power and Telecommunication Services

- a) All proposed distribution and service connections are to be installed underground.
- b) Streetlights must be installed St Paul Street if needed.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- d) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

7. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the city engineering department for review and marked "issued for construction" by the city engineer before construction may begin.

8. Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

11. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.

- (e) Additional geotechnical survey may be necessary for building foundations, etc.

12. Bonding and Levy Summary

(a) Bonding

Water service upgrades	\$ 6,000
Sanitary sewer service upgrades	\$ 4,000
Storm overflow services	\$ 4,000
St Paul Street frontage improvements	\$ 21,000
Laneway frontage improvements	\$ 5,000
Total Bonding	\$40,000.00

NOTE: The bonding amount shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided and may be in the form of cash or an irrevocable letter of credit, in an approved format.

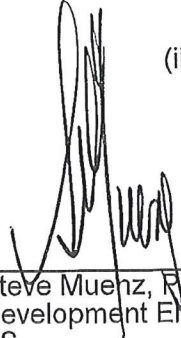
The owner must also enter into a servicing agreement in a form provided by the City.

12. Development Permit and Site Related Issues

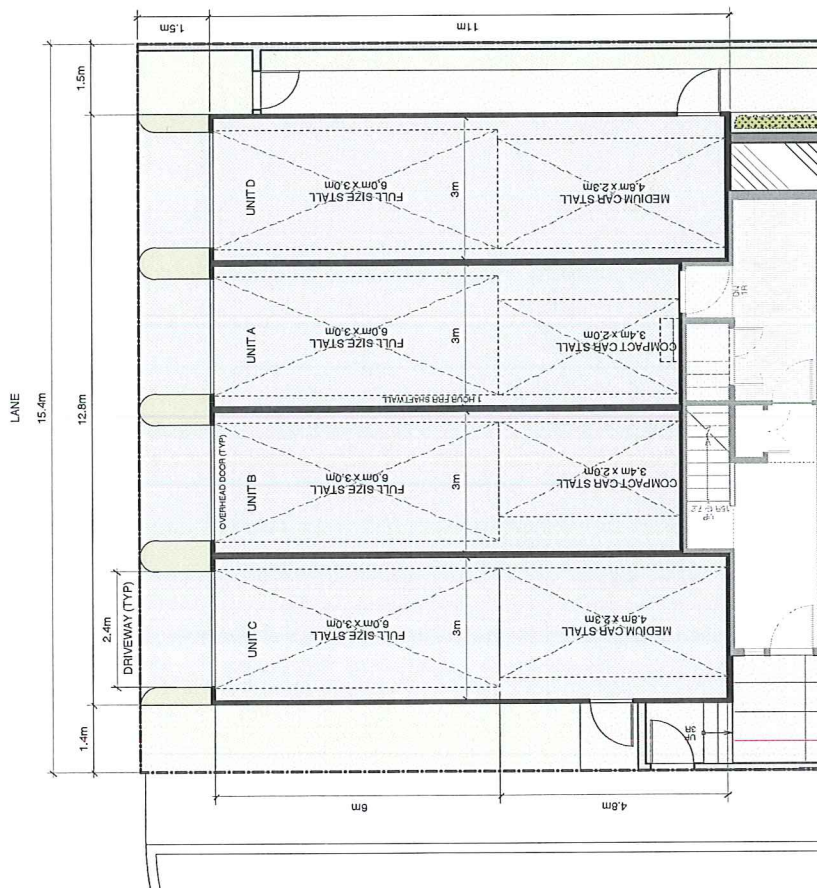
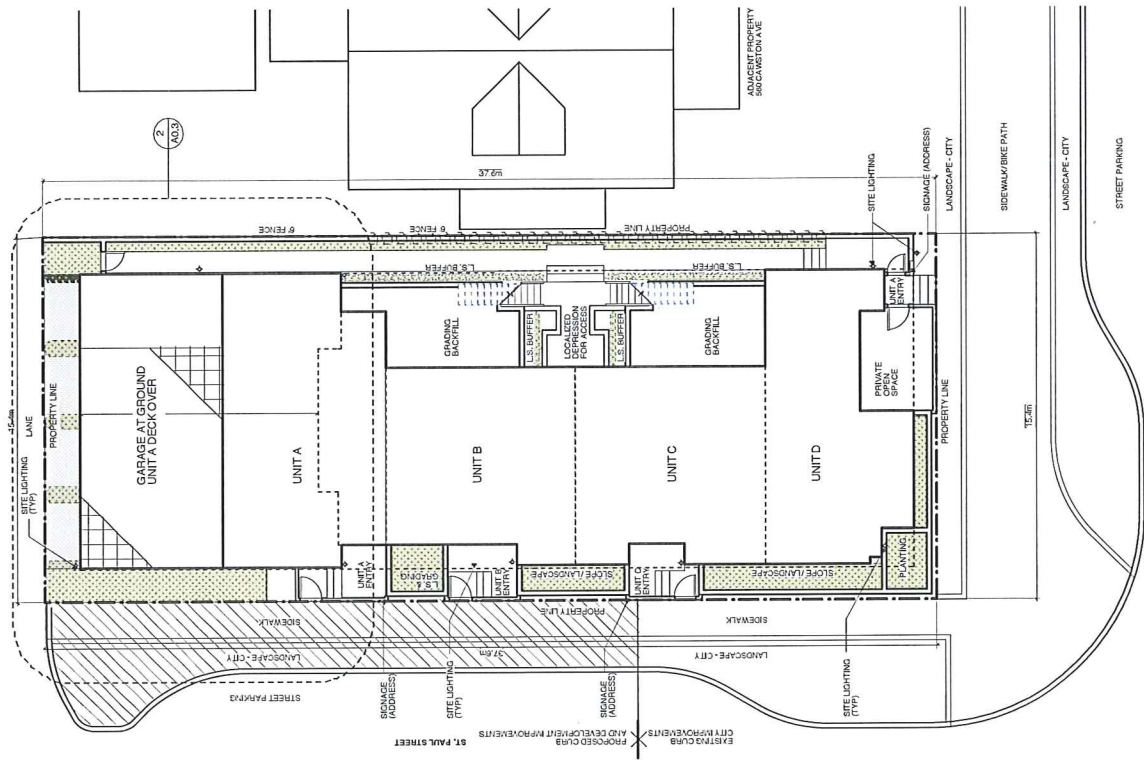
Access and Manoeuvrability

- (i) The access to the site should be from the lane only.

- (ii) Indicate on the site, the locations of loading bays as well as the garbage and recycle bins.



Steve Muenz, R. Eng.
Development Engineering Manager
SS

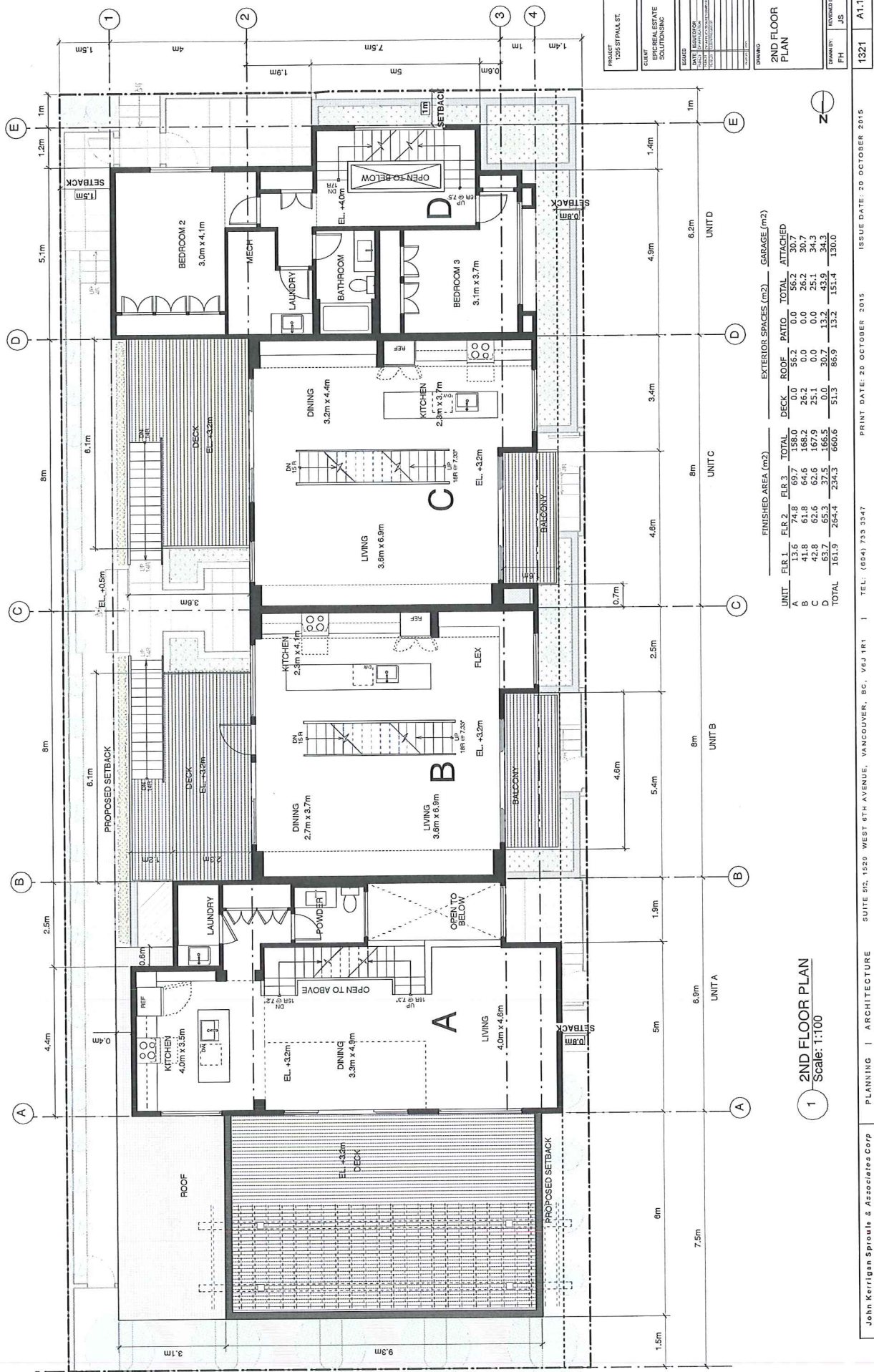


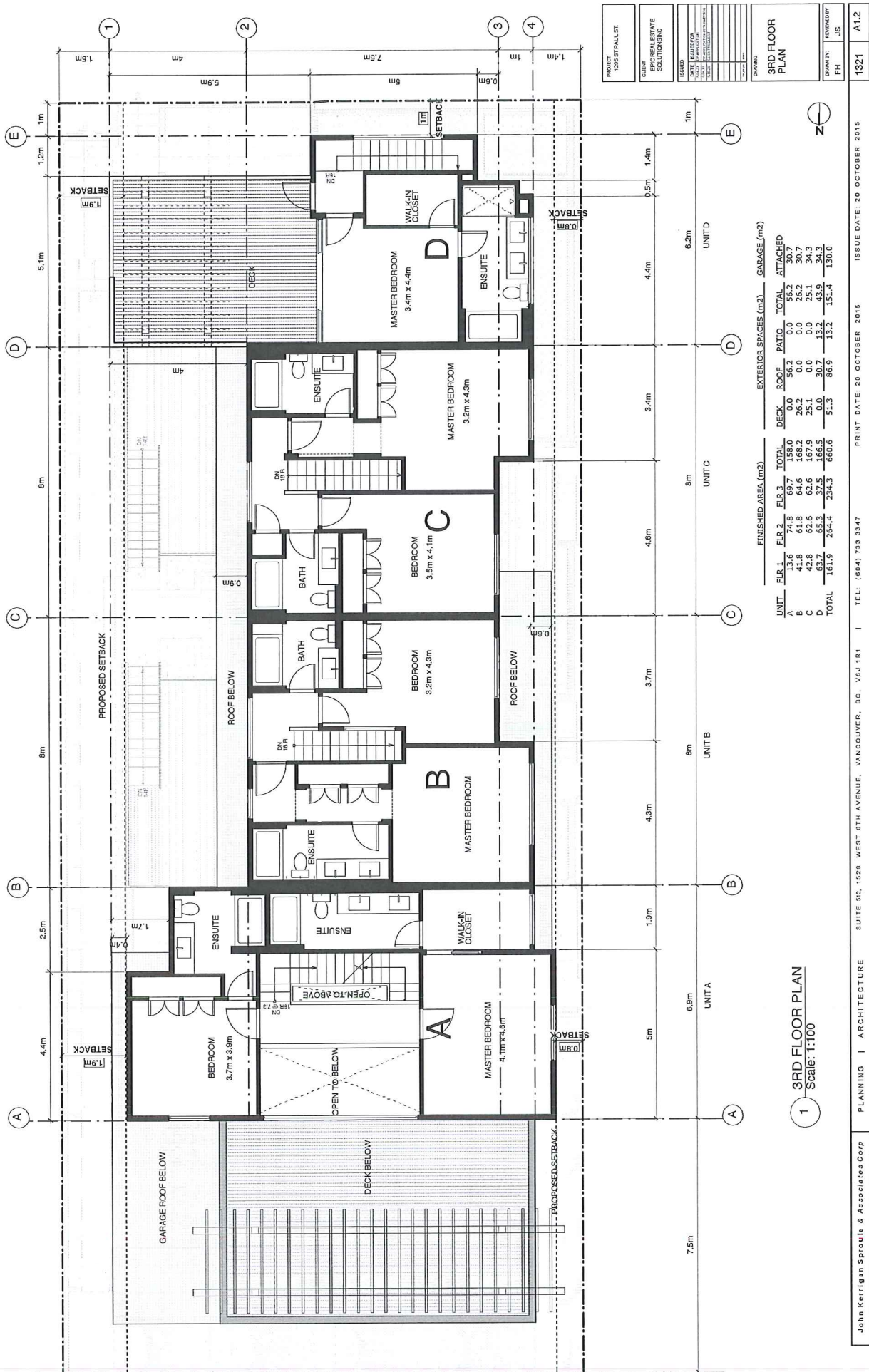
NOTE: 1. BIKE STORAGE IS PROVIDED AT EACH UNIT
2. GARAGE FLOOR FINISH IS 150mm CONCRETE
3. GARAGE FLOOR FINISH IS 150mm CONCRETE
4. ACCESSORY USE SETBACK IS 1.2M (6.5.8(b))

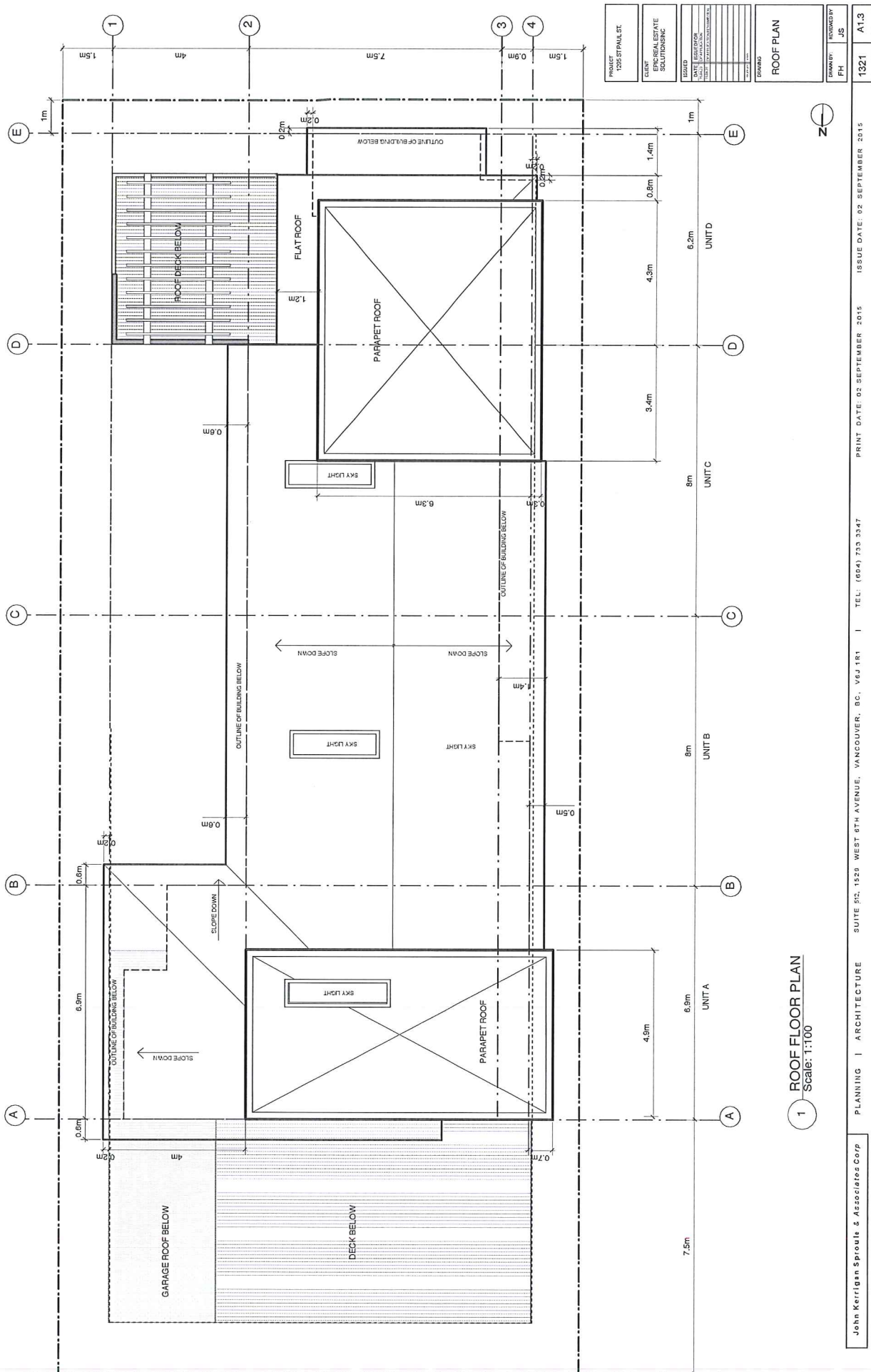
4 SPACES
2 SPACES
2 SPACES
2 SPACES
TOTAL PROVIDED: 8 SPACES

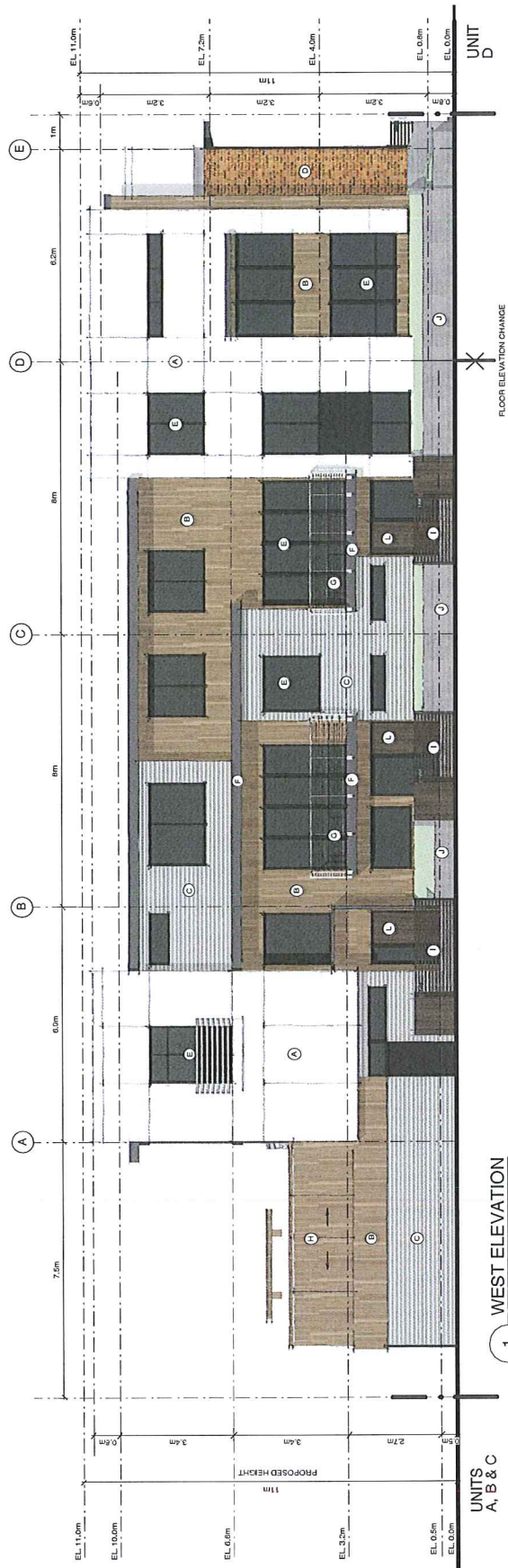
2 GARAGE PLAN
Scale: 1:100
(SEE DWG A1.0 FOR GROUND FLOOR DETAIL)

PROJECT	1295 ST. PAUL ST.
CLIENT	PRIVATE RESIDENT SOLUTIONS INC.
DATE	12/22/2015
DESIGNER	JOHN KERRIGAN SPROULE & ASSOCIATES CORP.
ARCHITECT	ARCHITECTURE
PLANNING	PLANNING
SUITE 502, 1520 WEST 8TH AVENUE, VANCOUVER, BC, V6J 1R1	
TEL: (604) 733 3347	
PRINT DATE: 02 SEPTEMBER 2015	
ISSUE DATE: 02 SEPTEMBER 2015	
DRAWN BY	JS
CHECKED BY	JS
1321	A0.3



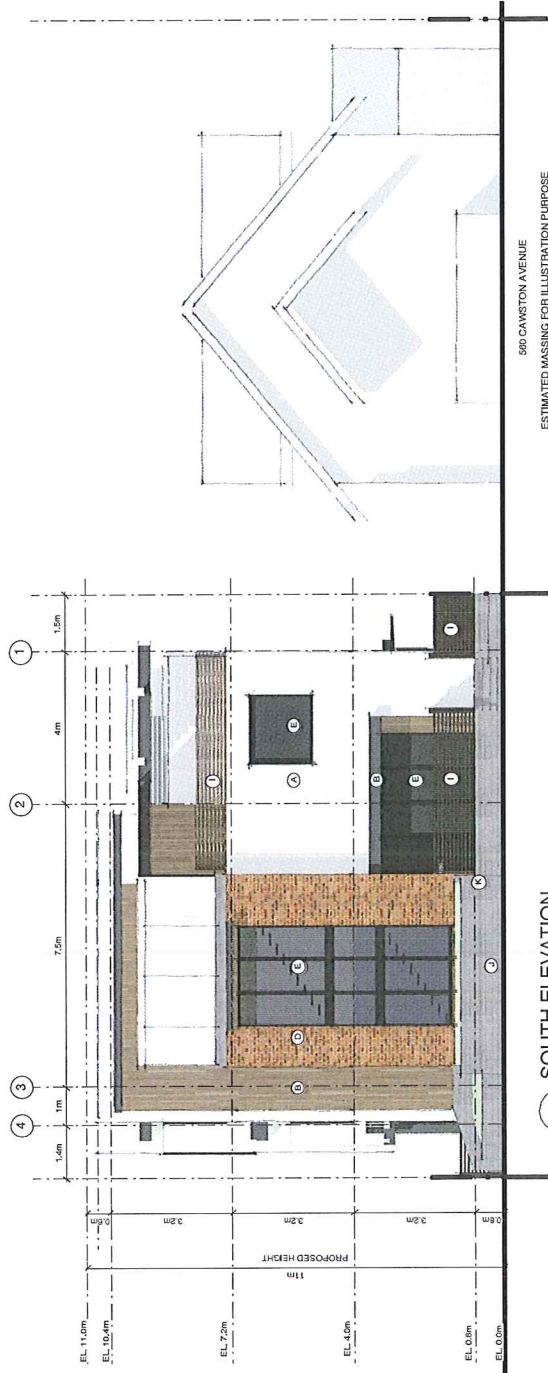






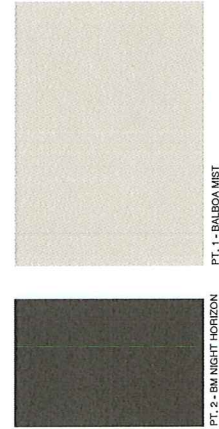
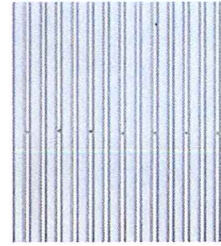
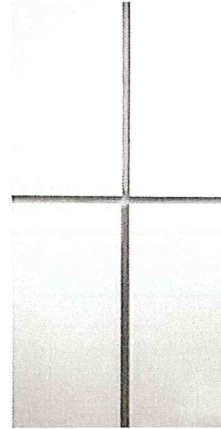
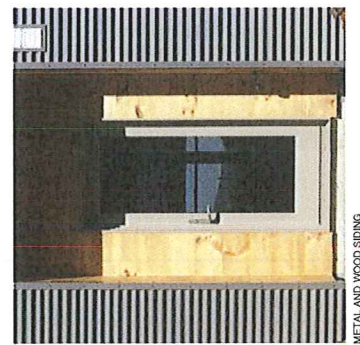
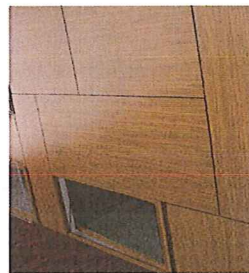
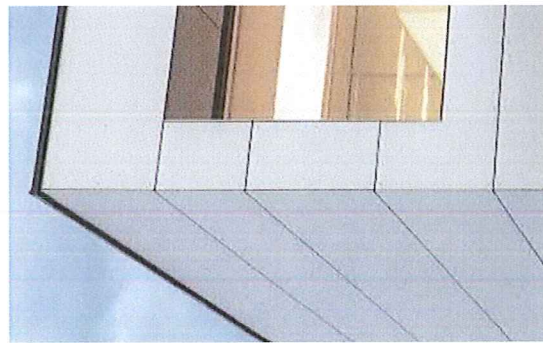
1 WEST ELEVATION
Scale: 1:125

MATERIAL SCHEDULE	
1	CEMENTITIOUS PANEL WITH REVEAL - BEIGE / B.M. BALBOA MIST
2	ARCHITECTURAL PANEL SYSTEM - WOOD GRAIN
3	1/2" CORRUGATED GALVALUME METAL SIDING
4	BRICK - RED / BROWN
5	WINDOW - DARK / B.M. NIGHT HORIZON
6	TRIM - CEMENTITIOUS TRIM WITH DARK COLOR
7	PAILING - METAL / SILVER
8	SLIDING WOOD PANEL
9	PRIVACY WOOD SCREEN
10	BOARD FORM CONCRETE
11	CONCRETE SIGNAGE
12	ENTRY DOOR - WOOD GRAIN
13	LANDSCAPE SCREEN / GREEN WALL



2 SOUTH ELEVATION
Scale: 1:125

PROJECT	1205 ST PAUL ST
CLIENT	BING REAL ESTATE SOLUTIONS
DATE	10/20/2015
DESIGNED BY	ARCHITECTURE
DRAWN BY	FH
CHECKED BY	JS
SCALE	A20
ISSUE DATE	20 OCTOBER 2015

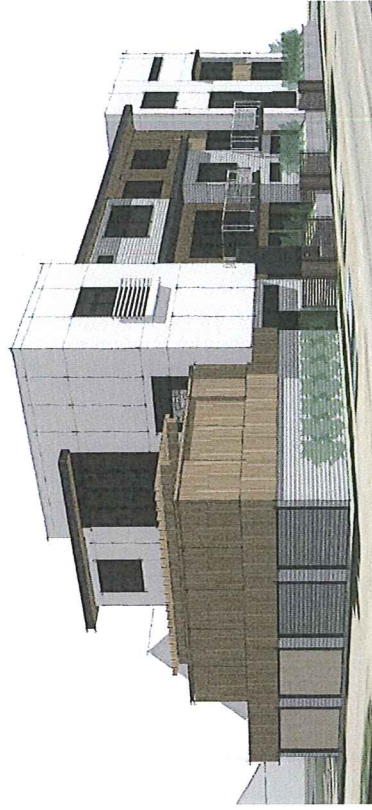
[illegible]



3D PRESPECTIVE - ST PAUL ST & CAWSTON AVE



3D PRESPECTIVE - CAWSTON AVE



3D PRESPECTIVE - ST PAUL ST LOOKING SOUTH

PROJECT 1205 ST PAUL ST	COUNTY BRITISH COLUMBIA	DATE 2015.09.02	ISSUED 2015.09.02	REVISION 2015.09.02	DATE 2015.09.02	BY JS	FOR JS
DRAWING MASSINGS							1321
DRAWING MASSINGS							A3.1

Architectural section drawing of a three-story residential building. The drawing shows the building's profile with various rooms and structural elements labeled. Key features include:

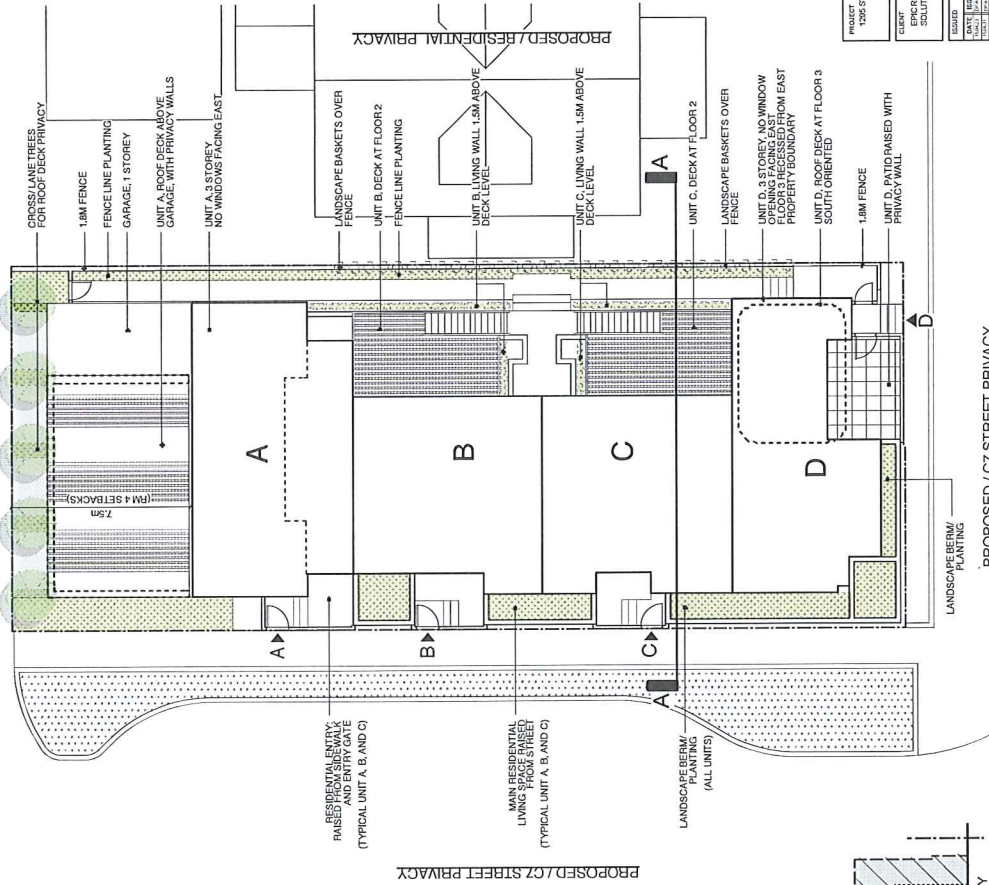
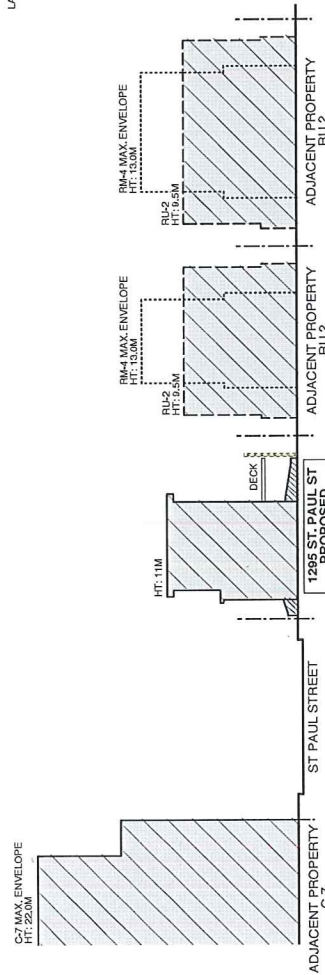
- Basement:** Main living (Unit A, B, and C), Entry/secondary (Unit A, B, and C), Study/bedrooms (Unit D).
- Storey 1:** Main living (Unit A, B, and C), Study/bedrooms (Unit D), Bedroom (Unit A, B, and C).
- Storey 2:** Main living (Unit A, B, and C), Study/bedrooms (Unit D), Bedroom (Unit A, B, and C).
- Roof:** EL +11.0m, EL +10.0m.
- Dimensions:**
 - Overall height: 13m.
 - RU-2 Zoning bylaw max. ht.: 9.5m.
 - Living wall / physical screen: 1.8m.
 - Deck: 2m.
 - Storey 1 (6.20m above grade): 2.7m.
 - Storey 2: 3.4m.
 - Basement: 2.7m.
 - Driveway: 2.7m.
 - Setback: 1m.
- Location:** 1296 ST. PAUL STREET, ST. PAUL STREET, SIDEWALK.

1 HEIGHT/BUILDING SECTION A-A
Scale: 1:150

Scale: 1:150

2 HEIGHT/CONTEXT SECTION

Scale: 1:400




3

PRIVACY
Scale: 1:200

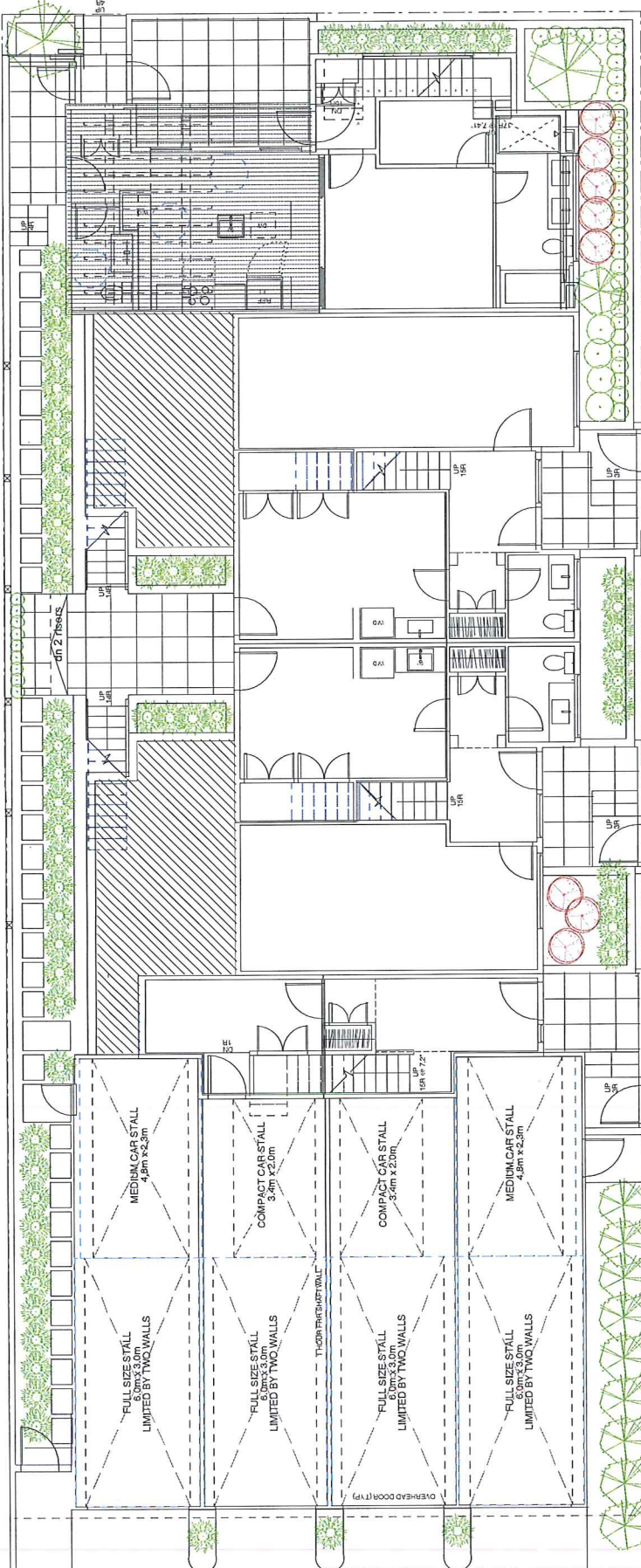
Scale: 1:200

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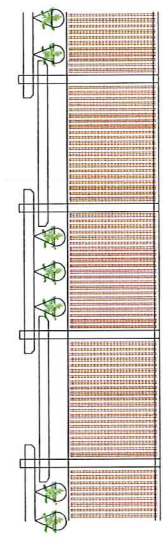
Cedarscape Ltd.
 Landscape designers, consultants
 and contractors
 2079 107 Road
 Kelowna, B.C. V1Y 2B9
 phone 250.860.4626
 fax 250.860.0247

DESIGNER: SCOTT LINTON
 DATE: August 28, 2015
 CLIENT: Alex Wink
 ADDRESS: 54 Paul St, Kelowna BC
 PROJECT TITLE: Elyse Call Home
 SHEET TITLE: DP Landscape Drawings



1 LANDSCAPE PLAN
Scale: 1:100

- PLANTING LEGEND
- UPRIGHT EVERGREEN CEDAR/ YEW
 - ORNAMENTAL SHRUB/ GRASS
 - BOXWOOD
 - ACCENT COLOURED SHRUB - BARBERRY
 - SMALL DECIDUOUS TREE
 - UPRIGHT DECIDUOUS TREE SWEDISH COLUMNAR ASPEN



FENCE/ ARBOR DETAIL

PROJECT	1005 ST PAUL, ETC.
CLIENT	BPC REAL ESTATE CONSULTING
DESIGNED BY	SCOTT LINTON
DATE	August 28, 2015
PROJECT TITLE	Elyse Call Home
SHEET TITLE	DP Landscape Drawings
DRAWING	LANDSCAPE PLAN
DRAWN BY	FH
REVIEWED BY	JS
DATE	1321
ISSUE DATE	02 SEPTEMBER 2015
PRINT DATE	02 SEPTEMBER 2015
TEL:	(804) 733 3347
SUITE	S12, 1520 WEST 6TH AVENUE, VANCOUVER, BC, V6J 1R1
ARCHITECTURE	PLANNING ARCHITECTURE
John Kerrigan Sprouts & Associates Corp	

CITY OF KELOWNA
BYLAW NO. 11163
TA15-0014 - Amendment to RM4 - Transitional Low Density Housing

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000, **Section 13.10 RM4 - Transitional Low Density Housing, Section 13.10.6 Development Regulations** be amended by deleting sub-paragraph (a) that reads:

“(a) The maximum floor area ratio is 0.65. Where parking spaces are provided totally beneath habitable space of a principal building or beneath useable common amenity areas providing that in all cases, the parking spaces are screened from view, an amount may be added to the floor area ratio equal to 0.2 multiplied by the ratio of such parking spaces to the total required parking spaces, but in no case shall this amount exceed 0.20.”

And replace it with:

“(a) The maximum floor area ratio is 0.65. Where parking spaces are provided totally beneath habitable space of a principal building, beneath useable common amenity areas or in a garage or carport providing that in all cases, the parking spaces are screened from view, an amount may be added to the floor area ratio equal to 0.2 multiplied by the ratio of such parking spaces to the total required parking spaces, but in no case shall this amount exceed 0.20.”

The floor area ratio may be increased by a further 0.3 for a development constructed in an Urban Centre (as defined by Kelowna’s Official Community Plan).”

2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act

(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11162
Z15-0023 - ML Holdings Inc., Inc. No. BC0825079
1295 St Paul Street

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 25, District Lot 139, ODYD, Plan 1303 located on St Paul Street, Kelowna, B.C., from the RU2 - Medium Lot Housing zone to the RM4 - Transitional Low Density Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL



Date: November 09, 2015

RIM No. 1250-30

To: City Manager

From: Community Planning Department (LK)

Application: Z15-0047 **Owner:** Urban Cottage Homes Ltd., Inc. 1009440

Address: 260 Davie Road **Applicant:** Novation Design Studio

Subject: Rezoning Application

Existing OCP Designation: MRL - Multiple Unit Residential (Low Density)

Existing Zone: RU1 - Large Lot Housing

Proposed Zone: RU6 - Two Dwelling Housing

1.0 Recommendation

THAT Rezoning Application No. Z15-0047 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 4 Section 22 Township 26 ODYD Plan 18085, located at 260 Davie Road, Kelowna, BC from the RU1 - Large Lot Housing zone to the RU6 - Two Dwelling Housing zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit for the subject property.

2.0 Purpose

To rezone the subject property to facilitate the development of a second dwelling on the subject parcel.

3.0 Community Planning

Community Planning Staff supports the proposed rezoning application to allow the construction of a second dwelling on the subject property. The MRL - Multiple Unit Residential (Low Density) land use designation within the OCP Future Land Use map permits the proposed RU6 - Two Dwelling Housing zone. Currently the adjacent parcels contain a mix of single family and multi-residential dwellings. The proposed two dwelling housing use is consistent with the Official Community Plan (OCP) Future Land Use designation policy objectives for Sensitive Infill and Compact Urban Form.

OCP Intensive Residential Guidelines:

- Design projects to reflect the character of the neighbourhood and the principal building through similar architectural and landscaping themes (i.e. respecting building setbacks, height massing, scale, articulated rooflines, building materials, etc.)
- Design and finish buildings to complement and enhance the principal dwelling (upgrades to the principal dwelling would be required to achieve visual consistency).
- Retain existing, healthy, mature trees and vegetation both on site and adjacent to the street.
- Minimize the amount of impervious paved surfaces (i.e. shared driveways between two dwellings).

Council Policy No. 367 with respect to public consultation was undertaken by the applicant. All adjacent neighbours within a 50m radius were provided with a circulation package in regards to the proposed development.

4.0 Proposal

4.1 Project Description

The subject parcel has an existing 1½ storey single detached dwelling which was constructed in 1970. The single car attached garage will be removed to allow for shared driveway access for both dwellings. A new single car garage with side entry will be added to the front of the existing dwelling. This will provide articulation to the front elevation and utilize a portion of the large front yard area while maintaining the required front yard setback area. The exterior façade will be updated to match the proposed second dwelling.

The new single detached dwelling has been designed and sited on the parcel to meet all Zoning Bylaw requirements and many OCP guidelines. The new dwelling is a single storey rancher with a building height and roof slope very similar to the existing house. The proposed dwelling will fit into the context of the subject parcel and the neighbourhood.

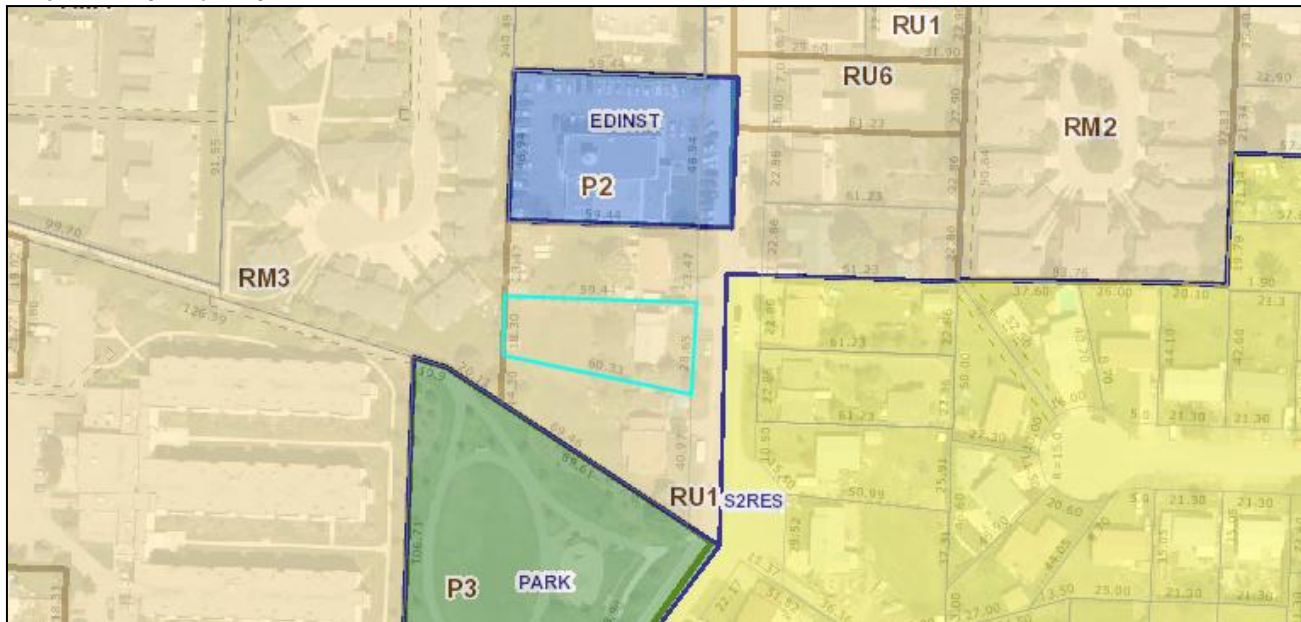
By having a shared driveway access along the north side of the parcel the impervious paved surfaces are minimized, the existing mature trees on the south side of the parcel will be retained, and the amount of front yard landscaping is maximized helps to create an attractive streetscape along Davie Road.

4.2 Site Context

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 - Large Lot Housing P2 - Education and Minor Institutional	Single Family Dwelling Religious Assembly/ Community Hall
East	RU1 - Large Lot Housing	Single Family Dwelling
South	RU1 - Large Lot Housing P3 - Parks and Open Space	Single Family Dwelling Davie Park
West	RM3 - Low Density Multiple Housing	Multi-Family Row housing

Subject Property Map: 260 Davie Road



4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU6 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Minimum Lot Area	700 m ²	1391 m ²
Minimum Lot Width	18 m	23.48 m
Minimum Lot Depth	30 m	59.44 m
Development Regulations		
Maximum Site Coverage (buildings)	40%	25.2%
Maximum Site Coverage (buildings, driveways and parking)	50%	50%
Maximum Height (lessor of)	9.5 m or 2 ½ stories	4.56 m
Minimum Front Yard	4.5 m	4.5 m to garage addition
Minimum Side Yard (south)	2.0 m	2.3 m
Minimum Side Yard (north)	2.0 m	2.28 m
Minimum Rear Yard	6.0 m	6.0 m
Minimum Distance Between Dwellings	4.5 m	14.8 m
Other Regulations		
Minimum Parking Requirements	2 stalls / dwelling	2 stalls / dwelling
Minimum Private Open Space	30 m ²	30 m ²

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

DEVELOPMENT PERMIT GUIDELINES

Intensive Residential - Carriage House / Two Dwelling Housing

Consideration has been given to the following guidelines as identified in Section 14.C. of the City of Kelowna Official Community Plan relating to Intensive Residential - Carriage House / Two Dwelling Housing Development Permit Areas:

INTENSIVE RESIDENTIAL - CARRIAGE HOUSE / TWO DWELLING HOUSING	YES	NO	N/A
General Considerations			
Does the dwelling complement the character of the neighbourhood and the principal dwelling?	✓		
Is private outdoor space maximized for each dwelling unit?	✓		
Does lighting placement ensure safety and reduce light pollution?			✓
Are parking spaces and garages located in the rear yard?	✓		
Are impermeable surfaces minimized?			✓
Do all street facing elevations have a high quality of design?	✓		
Are entrances a dominant feature visible from the street or lane?	✓		
Does the design consider the scale and placement of windows on building faces, projections and dormers?	✓		
Is utility and mechanical equipment screened from view?			✓
Do windows and outdoor areas respect the privacy of adjacent properties?	✓		
Does the building location minimize shadowing on the private open space of adjacent properties?	✓		
Does fencing or landscaping screen views of private open space on adjacent properties?	✓		
Is fencing material in keeping with that of abutting properties?			✓
Are existing healthy mature trees and vegetation being retained?	✓		
Does the front yard landscaping use drought tolerant native plants?			✓
Two Dwelling Housing and Carriage Houses			
Does the design create a "lanescape" with a main entrance, massing towards the lane and landscaping?			✓
Do all street facing elevations have an equal level and quality of design?	✓		
Does the exterior design and finish complement the principal dwelling?	✓		
Do the roofline, windows and façades incorporate variation to establish individual character?	✓		

INTENSIVE RESIDENTIAL - CARRIAGE HOUSE / TWO DWELLING HOUSING	YES	NO	N/A
Does the massing next to private open space of adjacent properties reduce the sense of scale?	✓		

Development Process

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Sensitive Infill.² Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height, and siting.

6.0 Technical Comments

6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications.

6.2 Development Engineering Department

- See attached Schedule A

6.3 Fortis BC Energy Inc. - Gas

- The gas service line may need to be altered to accommodate the garage addition.

6.4 Fire Department

- Requirements of section 9.10.19 Smoke Alarms and Carbon Monoxide alarms of the BCBC 2012 are to be met.
- All units shall have a posted address on Davie Road for emergency response.

7.0 Application Chronology

Date of Application Received: September 10, 2015
Date Public Consultation Completed: October 7, 2014

¹ City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

Report prepared by:

Lydia Korolchuk, Planner

Reviewed by:

☐

Terry Barton, Urban Planning Manager

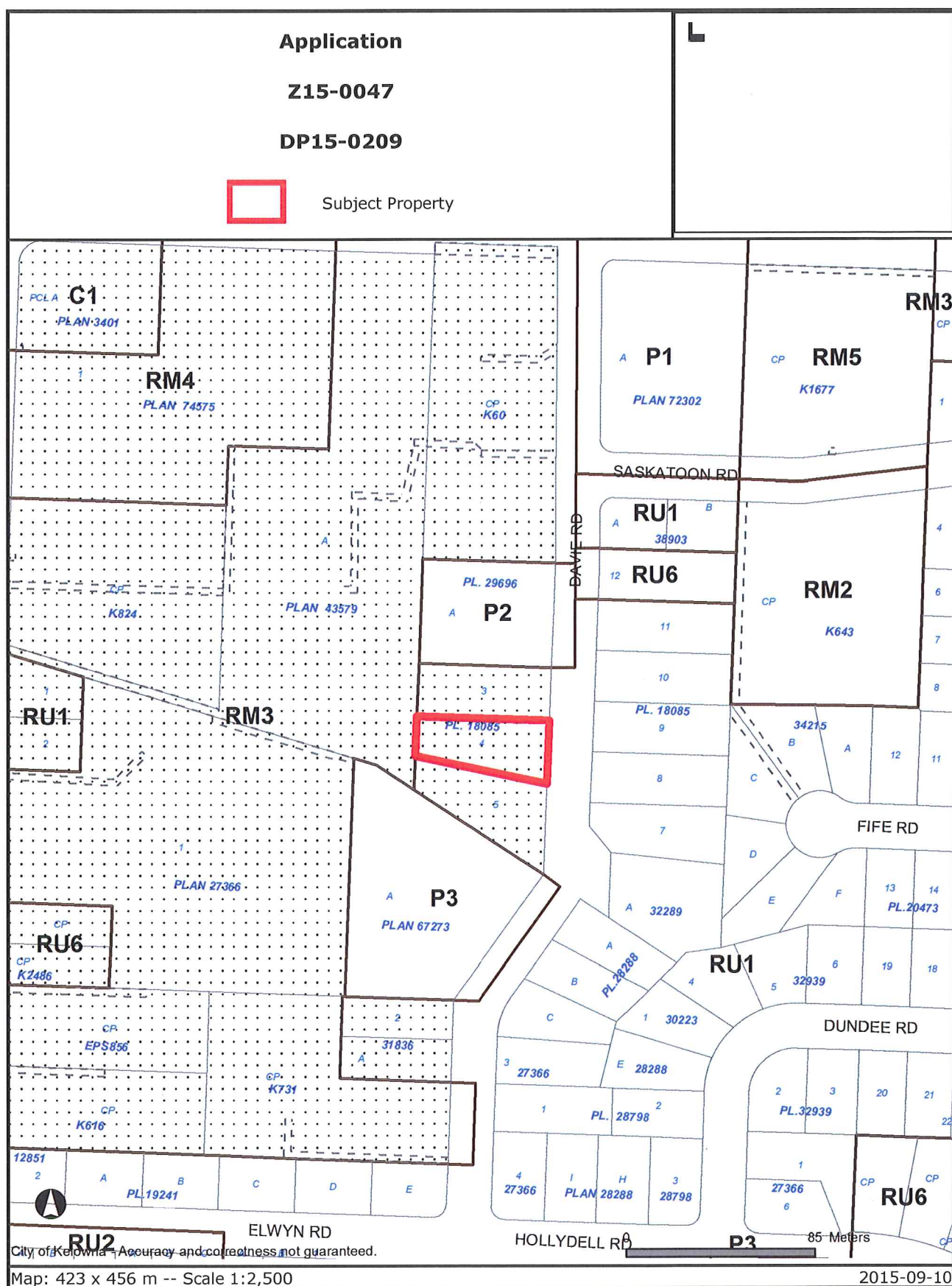
Approved for Inclusion:

☐

Ryan Smith, Community Planning Department Manager

Attachments:

Subject Property Map
Site Plan/Landscape Plan
Conceptual Elevations
Development Engineering Memo



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.

CITY OF KELOWNA
MEMORANDUM

Date: October 13, 2015
File No.: Z15-0047

To: Community Planning (LK)

From: Development Engineering Manager

Subject: 260 Davie Road

RU1 to RU6

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Sergio Sartori

1. Domestic Water and Fire Protection

- a) This development is within the service area of the Rutland Waterworks District (RWD). The developer is required to make satisfactory arrangements with the RWD for these items. All charges for service connection and upgrading costs are to be paid directly to the RWD. The developer is required to provide a confirmation that the district is capable of supplying fire flow in accordance with current Bylaws and policies requirements.
- b) A water meter is mandatory as well as a sewer credit meter to measure all the irrigation water. Water meters must be housed in an above-ground, heated, accessible and secure building, either as part of the main site buildings or in a separate building. Remote readers units are also mandatory on all meters.

2. Sanitary Sewer

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service complete with inspection chamber (IC) which is adequate for this application.

3. Road Improvements

- (a) Davie Road must be upgraded to a full urban standard including a sidewalk curb and gutter, piped storm drainage system, fillet pavement, street lights, boulevard landscaping, etc. and adjustment and/or re-location of existing utility appurtenances if required to accommodate this construction. A one-time cash payment in lieu of construction must be collected from the applicant for future construction by the City. The cash-in-lieu amount is determined to be **\$15,186.00** not including utility service cost
- b) Only the service upgrades must be completed at this time. The City wishes to defer the upgrades to Davie Road fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule.

Davie Road

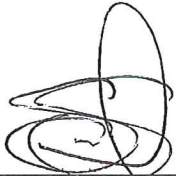
Item	Cost
Drainage	\$4,604.00
Curb & Gutter	\$2,865.00
Sidewalk	\$3,581.00
Street Lighting	\$ 967.00
Landscape Boulevard	\$ 537.00
Road Fillet	\$2,632.00
Total	\$15,186.00

4. Development Permit and Site Related Issues

Direct the roof drains into on-site rock pits.

5. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.


For _____
Steve Muenz, P. Eng.
Development Engineering Manager

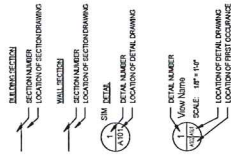
SS

SYMBOL LEGEND:

- [illegible]

SYMBOL LEGEND:

SYMBOL LEGEND:



Door Tags

DOOR NUMBER - SEE DOOR SCHEDULE

Window Tags

WINDOW TYPE - SEE WINDOW DETAILS

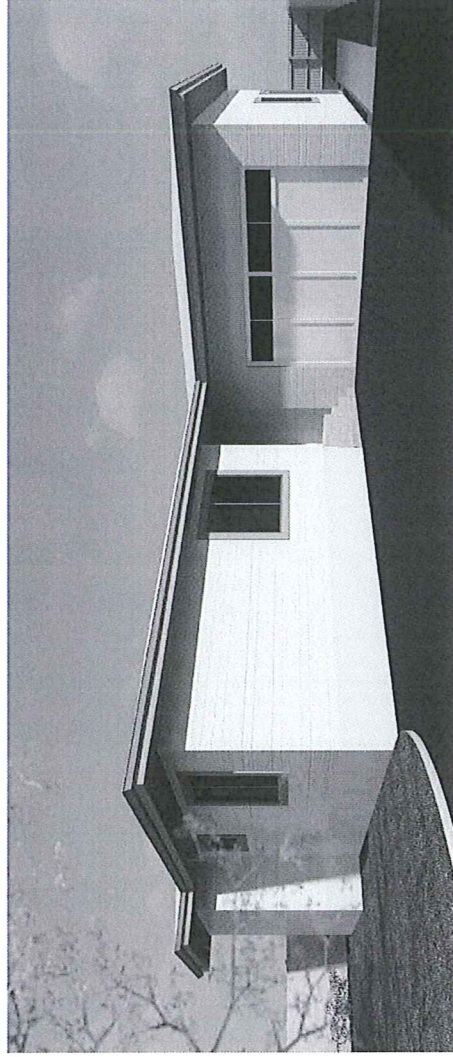
Assembly Tags
ASSEMBLY TYPE - SEE CONSTRUCTION

11

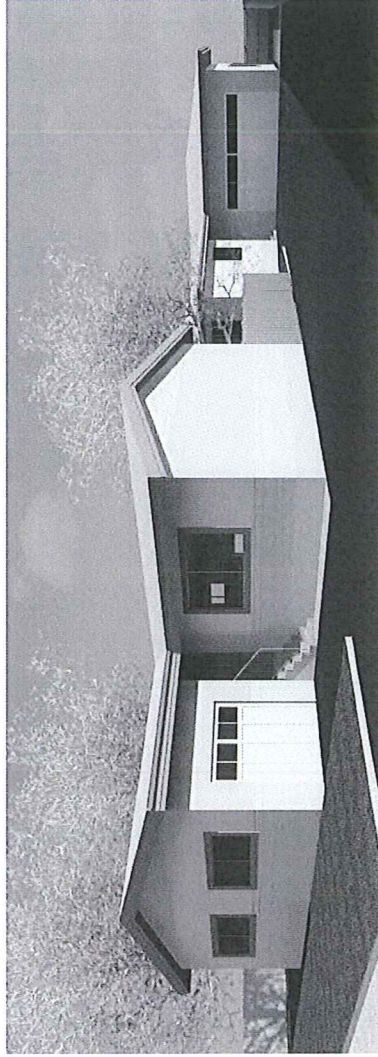
DRAWING INDEX:

- [illegible]

DRAWING INDEX:



CONTEXT SITE PLAN:



NO.	DATE	DESCRIPTION
02	20/06/04	ISSUED FOR DP
03	20/06/04	ISSUED FOR RELOADING

NOVATION
101-1665 BELWORTH DR., SUITE 520
KELOWNA, B.C. V1Y 9T1

project title
260 Davis Road

Victoria, British Columbia

drawing file

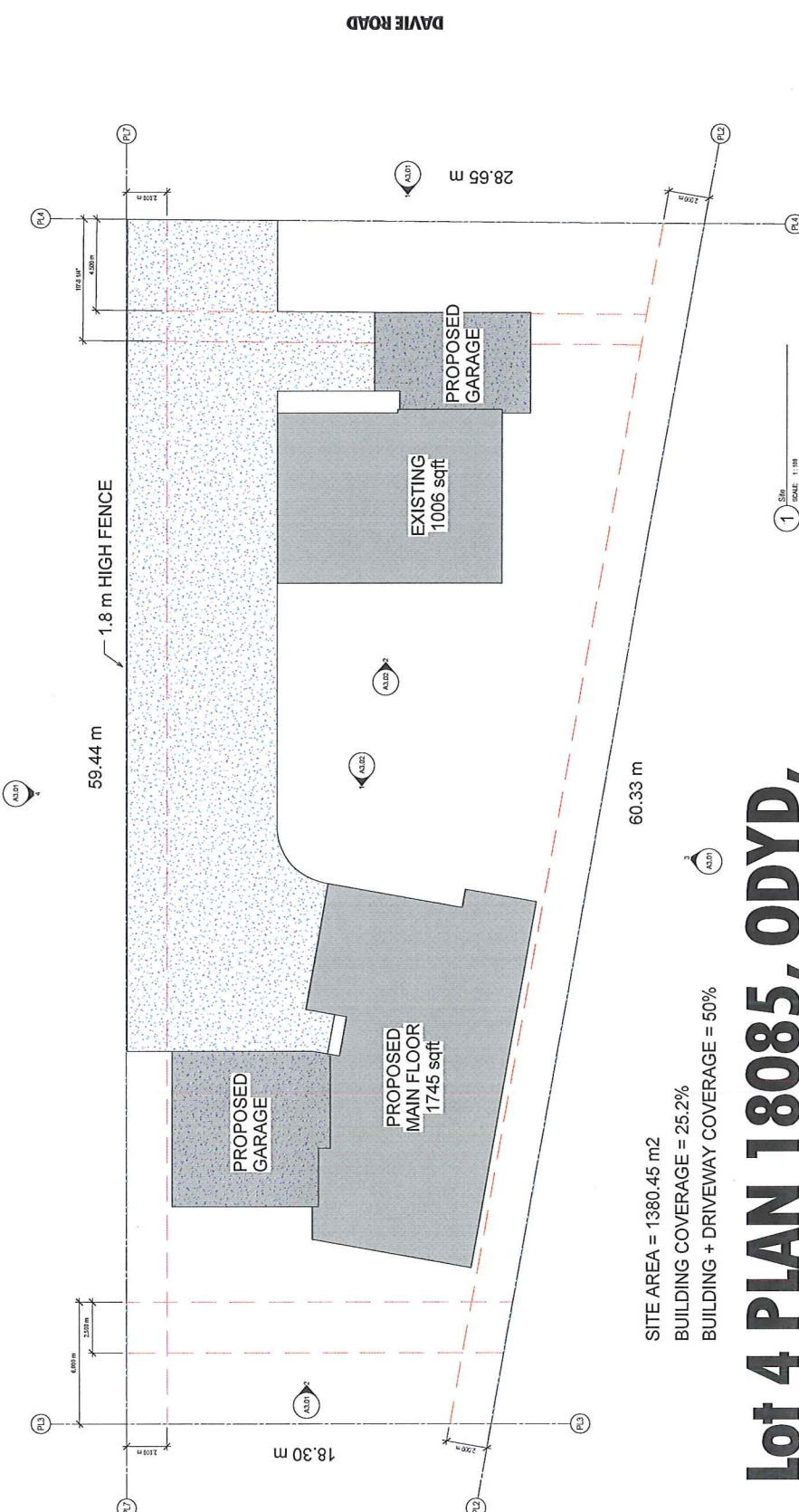
PROJECT INFORMATION
AND DRAWINGS INDEX

designed	PS	PS = 1.0°
designed	BD	
designed		
designed		

A0.00

[illegible]

ISSUED FOR DEVELOPMENT PERMIT



00.33

SITE AREA = 1380.45 m²
BUILDING COVERAGE = 25.2%
BUILDING + DRIVEWAY COVERAGE = 50%

 ASD

**Lot 4 PLAN 18085, ODYD,
TWP 26**

GDOS
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Plans shall be used in accordance with Canadian standards, specifications, B.C. Building Code (2012 edition) and local authority bylaws and regulations.

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This drawing shall not be scaled.

Contractors shall verify all dimensions prior to commencement of work.

Any enclosures or discrepancies shall be reported to the architect.

<input checked="" type="checkbox"/>	NOT controlled. Revisions may be made without notice.
<input type="checkbox"/>	A CONTROLLED document. Revisions will be advised.
<input checked="" type="checkbox"/>	The first issue of the document.
<input type="checkbox"/>	A complete revision. Remove previous issues from use.
<input type="checkbox"/>	A partial revision. Remove previous issues of corresponding sheets / pages from use.

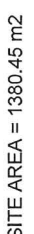


Kelowna, British Columbia
Project no. 1503

weight	PS	1:100
shape	BD	
material		

Publication Title	Year
-------------------	------

ISSUED FOR NEWSPRINT PERMIT



**Lot 4 PLAN 18085, ODYD,
TWP 26**

1 Mid Roof

<input checked="" type="checkbox"/> NOT considered. Revisions may be made without notice.	<input type="checkbox"/> A CONTROLLED document. Revisions will be advised.
<input checked="" type="checkbox"/> The first issue of the document.	<input type="checkbox"/> A complete revision. Remove previous issues from use.
<input type="checkbox"/> A partial revision. Remove previous issues of corresponding sheets / pages from use.	<input type="checkbox"/> Not for Circulation.

Q2	201606	STATE FUND
Q1	201605	STATE FUND
Q4	201512	STATE FUND



NOVATION
101-1845 OLWORTH DR. SUITE 520
KELOWNA, B.C. V1Y 9T1

260 Davie Road
 55410116

Kelowna, British Columbia
project no. 1503

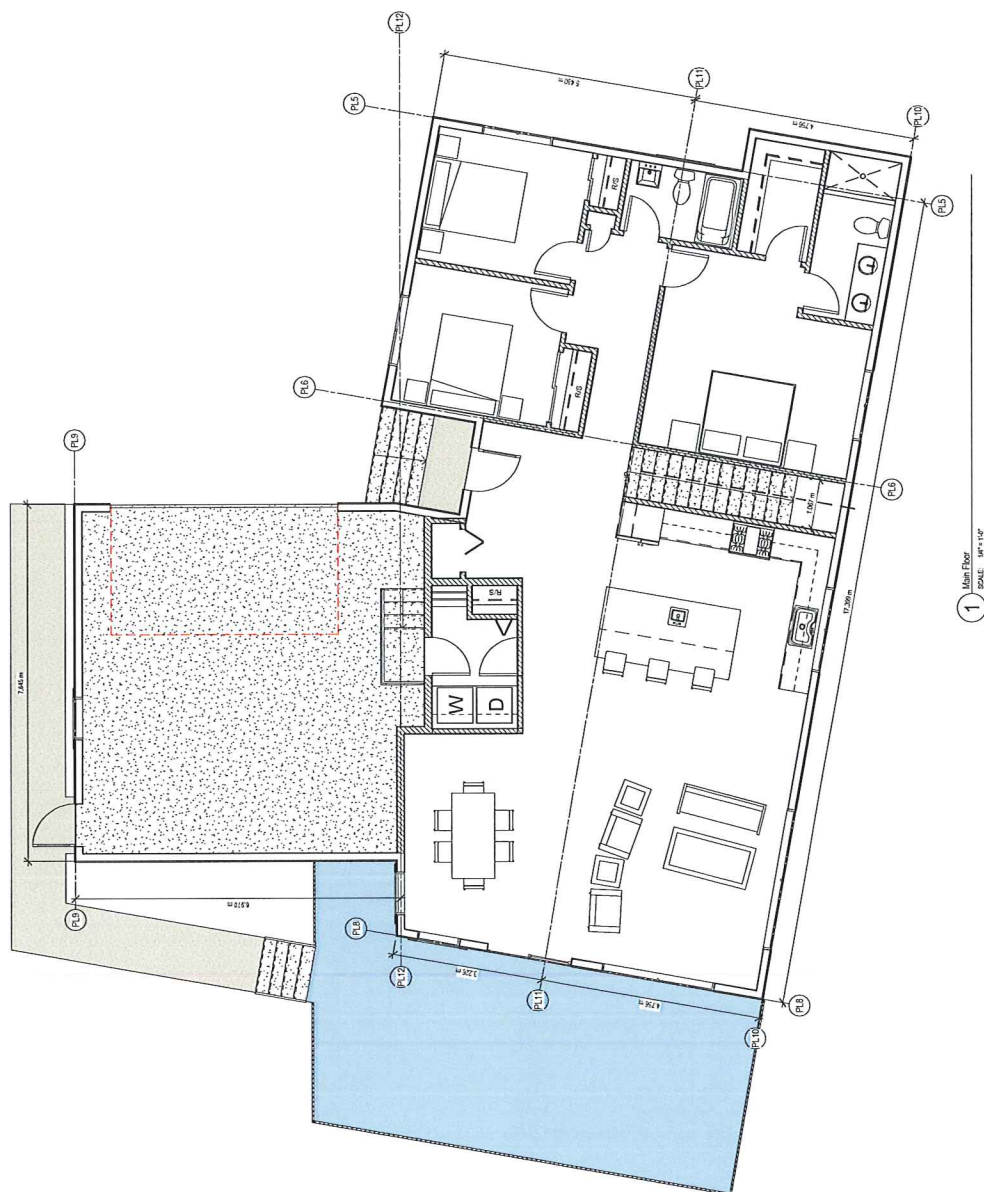
driving life

MAIN FLOOR PLAN

designated	PS	$1/\lambda^2 = 1 \cdot 0^{\circ}$
designated	BD	
designated		

A2.01

ISSUED FOR DEVELOPMENT PERMIT



Project Title: Name and Location

Notes

1. Copyright Reserved. The Shapers and Designers, and all the trademarks, the property of Maxwell Design Studio, and all the rights are reserved with their owner.

2. All drawings and the text is in accordance with specifications and standard sizes.

3. All items shall be submitted for a certificate with Canadian standard specifications, i.e. (Building Code 2010 edition and building codes and regulations).

4. Tolerances shall be as per AISC 360 design sheet.

5. The drawing must be in color.

6. Contractors shall verify all dimensions prior to commencement of work.

7. Measurements of dimensions shall be according to the standard.

8. *End*

This document is

<input checked="" type="checkbox"/>	NOT controlled. Revisions may be made without notice.
<input type="checkbox"/>	A CONTROLLED document. Revisions will be advised.
<input checked="" type="checkbox"/>	The first issue of the document.
<input type="checkbox"/>	A complete revision. Remove previous issues from use.
<input type="checkbox"/>	A partial revision. Remove previous issues of corresponding sheets / pages from use.
<input type="checkbox"/>	Not for Construction.

Sl. No.	Date	Description
02	20/10/2001	ISSUED FOR DIP
03	20/10/2001	ISSUED FOR RECOMM.



NOVATION
101-1545 DILLWORTH DR. SUITE 520
KELOWNA B.C. V1Y 9T1

Project 550
230 Davis Road

project no. 1503

drawing title
BASEMENT FLOOR

Chemical	PS	$1/4^{\circ} = 1^{\circ} 30'$
Altitude	no	

A2.02

[illegible]

ISSUED FOR DEVELOPMENT PERMIT

Project File Name and Location:	UNOCTATION Version: Change Studies Along Employment Creation Committee (November 1992) Change Board (All)

49

NOVATION
 100-1000 SKATING DR. SUITE 200
 KEELANDIA, B.C. V1P 1Y1

THIS DOCUMENT IS:
☒ NOT a contract. It contains information for the owner.
☐ A CONTROLLED DOCUMENT. It contains information for the owner.
☐ The final issue of the document.
☐ A complete set of documents. It contains information for the owner.
☐ A partial set of documents. It contains information for the owner.
☐ A set of documents. It contains information for the owner.
☐ A set of documents. It contains information for the owner.

NOVATION
 100-1000 SKATING DR. SUITE 200
 KEELANDIA, B.C. V1P 1Y1

NOVATION
 100-1000 SKATING DR. SUITE 200
 KEELANDIA, B.C. V1P 1Y1

200 Davis Road

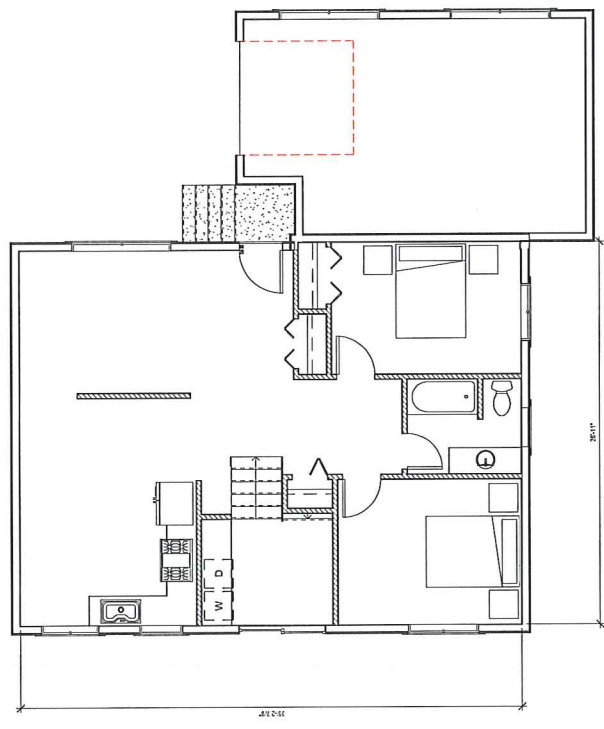
NOVATION
 100-1000 SKATING DR. SUITE 200
 KEELANDIA, B.C. V1P 1Y1

EXISTING MAIN FLOOR
 PLAN

NOVATION
 100-1000 SKATING DR. SUITE 200
 KEELANDIA, B.C. V1P 1Y1

A2.04

ISSUED FOR DEVELOPMENT PERMIT



1 Existing Main Floor
 SCALE: 1/8" = 1'-0"

Notes:

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All drawings shall be used in conjunction with specifications and standard details.

Always double check for accuracy with Canadian standards, specifications, SCS (Safety Code 2012) entries and local authority policies and regulations.

Trademark rules state in Article 10 the drawing shall:

This drawing shall be scaled:

Comparison of all drawings prior to commencement of work.

Any alteration or discrepancy shall be reported to the architect.

Any

has document ID:	<input checked="" type="checkbox"/>	NOT completed. Revisions may be made without notice.	<input type="checkbox"/>	A CONTROLLED document. Revisions will be advised.
	<input checked="" type="checkbox"/>	The first issue of the document.	<input type="checkbox"/>	A complete revision. Removes previous issue from use.
	<input type="checkbox"/>		<input type="checkbox"/>	A partial revision. Remove previous version of corresponding fields / pages from use.
	<input type="checkbox"/>		<input type="checkbox"/>	Not for Constitution.

[illegible]

NOVATION
101 - 1065 DOWORTH DR., SUITE 500
FEELOWHA BC V1V 0T1

260 Davis Road
Cincinnati 33, Ohio

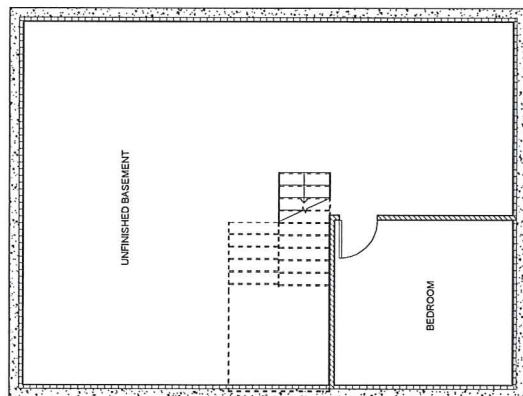
Kelowna, British Columbia
Project no. 1503

Existing Basement Floor Plan

material	PS	$1/\epsilon^0 = 1.0^a$
shape	BO	
thickness		

2015/04/11 14:27 PM
A2.05

ISSUED FOR DEVELOPMENT PERMIT



1 Existing Basement
2nd fl. 1st fl. 2nd fl.

<p>NOT certified. Revisions may be made without notice.</p> <p><input checked="" type="checkbox"/> A CONTROLLED document. Revisions will be tracked.</p>	<p>The first issue of the document.</p> <p><input checked="" type="checkbox"/> A complete revision. Remove previous issues from use.</p> <p><input type="checkbox"/> A partial revision. Remove previous issues of corresponding sheets / pages from use.</p> <p><input type="checkbox"/> Not for Construction.</p>
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NOVATION
101-1055 CILWORTH DP, SUITE 520
PELOWNA BC V1V 9T1

Integrated	PS	Grade	1-100
Others	BD		
Overall			

© 2000 by A3.01

2000-0001 1-000000

Project File Name and Location: IACOVA/CONVOLUTION/Deepa_Jindal_Hand_Creation/Convolution_Deepa_Jindal/Hand_Creation/1902_Deepa_Roast (A) (H)

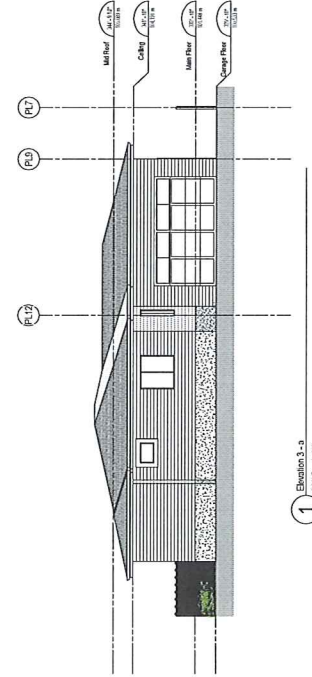
<p>NOT controlled. Revisions may be made without notice.</p> <p><input type="checkbox"/></p>	<p>A controlled document. Revisions will be advised.</p> <p><input type="checkbox"/></p>
<p>The first issue of the document.</p> <p><input type="checkbox"/></p>	<p>A complete revision. Remove previous issues from use.</p> <p><input type="checkbox"/></p>
<p>A partial revision. Remove previous issues of corresponding sheets / pages from use.</p> <p><input type="checkbox"/></p>	<p>Not for contribution.</p> <p><input type="checkbox"/></p>

NOVATION
101-1845 DELWORTH DR., SUITE 500
KELOWNA, B.C. V1Y 9T1

Kelowna, British Columbia
project no. 1503

Designated	PS	Scale	1:100
Materials	BD		
Construction			
Remarks			

Project File Name and Location:	UNIVERSITY OF ALABAMA DESIGN STUDIOS PROJECTS 1902_Cayde Rian/Monkey Cinema/Final/0409_1902 Cayde Rian (A) NT
	



CITY OF KELOWNA
BYLAW NO. 11164
Z15-0047 - Urban Cottage Homes Ltd., Inc. No. 1009440
260 Davie Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 4, Section 22, Township 26, ODYD, Plan 18085 located on Davie Road, Kelowna, B.C., from the RU1 - Large Lot Housing zone to the RU6 - Two Dwelling Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act

(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL



Date: November 9, 2015

RIM No. 1250-30

To: City Manager

From: Urban Planning, Community Planning and Real Estate (AW)

Application: Z12-0056/ TA14-0004 **Owner:** RG Properties Ltd

Address: 1755 Capri Street. 1835 Gordon Drive & 1171 Harvey Ave **Applicant:** Dialogue

Subject: Rezoning Application, Extension Request

Existing OCP Designation: Commercial & Mixed Use (Commercial/Residential)

Existing Zones: C4LP, C4LR & C4 - Urban Centre Commercial

Proposed Zones: CD25 - Capri Centre Comprehensive Development Zone

1.0 Recommendation

THAT in accordance with Development Application Procedures Bylaw No. 10540, the deadline for the adoption of Text Amending Bylaw No. 10998 and Rezoning Bylaw No. 11016, for Lot A, D.L. 137, ODYD, Plan KAP64836, located at 1835 Gordon Drive, Lot B, D.L. 137, ODYD, Plan KAP64836, located at 1171 Harvey Avenue, Lot C, D.L. 137, ODYD, Plan KAP64836, located at 1755 Capri Street, Kelowna BC, be extended from October 22, 2015 to October 22, 2016;

AND THAT Council direct staff not to accept any further extension requests.

2.0 Purpose

To extend the date for adoption of Text Amending Bylaw No. 10998 and Rezoning Bylaw No. 11016 to October 22, 2016.

3.0 Community Planning

Section 2.12.1 of Procedure Bylaw No. 10540 states that:

In the event that an application made pursuant to this bylaw is one (1) year old or older and has been inactive for a period of six (6) months or greater:

a) The application will be deemed to be abandoned and the applicant will be notified in writing that the file will be closed;

- b) Any bylaw that has not received final adoption will be of no force and effect;
- c) In the case of an amendment application, the City Clerk will place on the agenda of a meeting of **Council** a motion to rescind all readings of the bylaw associated with that Amendment application.

Section 2.12.2 of the Procedure Bylaw makes provision that upon written request by the applicant prior to the lapse of the application, **Council** may extend the deadline for a period of twelve (12) months by passing a resolution to that affect.

By-Laws No. 11016 received second and third readings on October 22, 2014 after the Public Hearing held on the same date. The applicant wishes to have this application remain open for an additional twelve (12) months to complete the conditions of adoption. Given the recent activity on the application, a final extension to October 22, 2016 is supported.

Report prepared by:

Alec Warrender, Planner

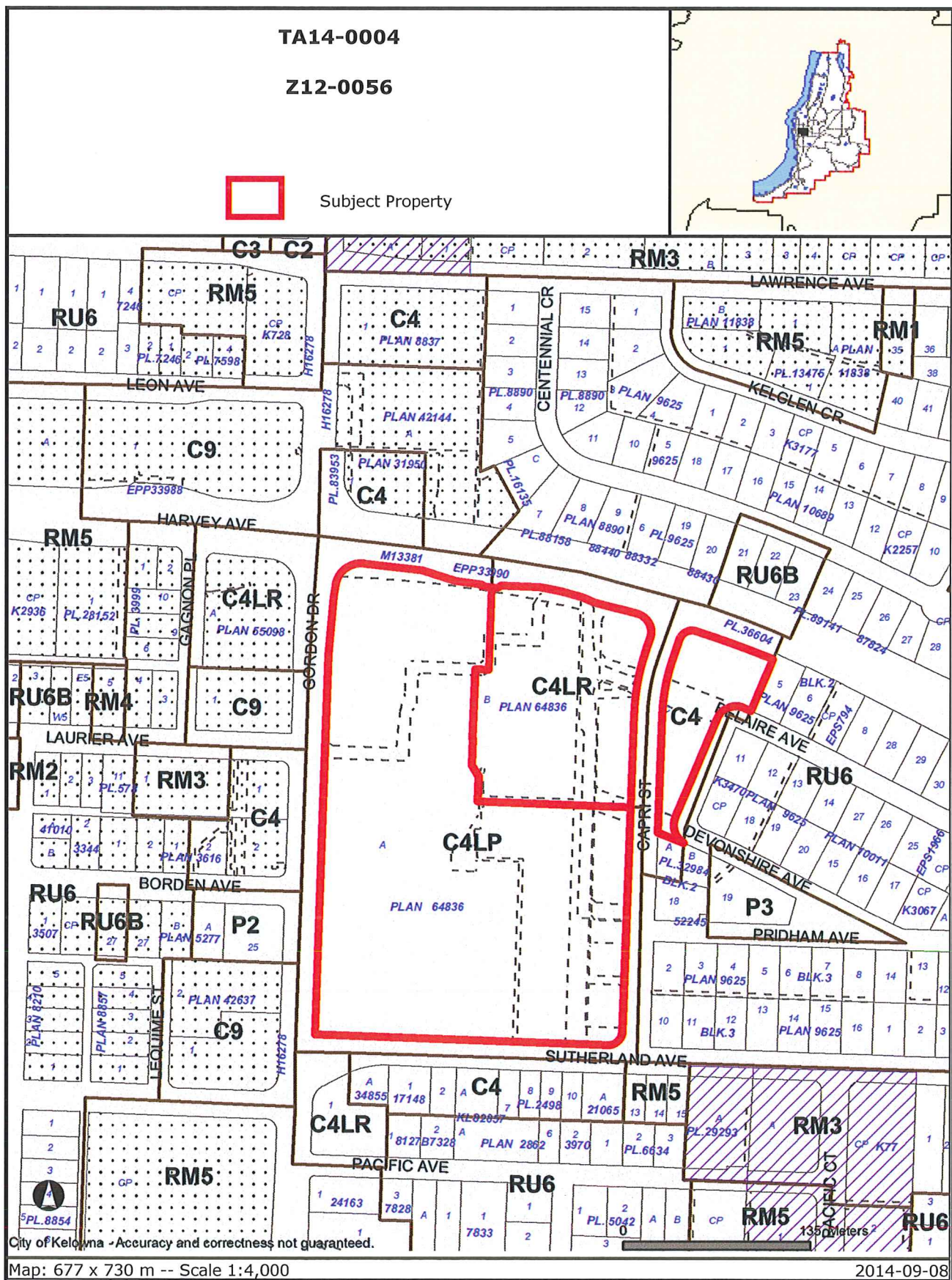
Approved for Inclusion:



Ryan Smith, Manager
Community Planning Department

Attachments:

Subject Property Map



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.

CITY OF KELOWNA
BYLAW NO. 11110
Z15-0021 - David Reginald John Rolleston
5267 Chute Lake Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 2, Section 24, Township 28, SDYD, Plan KAP79725, located on Chute Lake Road, Kelowna, B.C., from the RR3 - Rural Residential 3 zone to the RU1 - Large Lot Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 13th day of July, 2015.

Considered at a Public Hearing on the 28th day of July, 2015.

Read a second and third time by the Municipal Council this 28th day of July, 2015.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11151
Z15-0040 - Frank & Dawn Filice
3473 Scott Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 21, District Lot 134, ODYD, Plan 3886 located on Scott Road, Kelowna, B.C., from the RU1 - Large Lot Housing zone to the RU1c - Large Lot Housing with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 5th day of October, 2015.

Considered at a Public Hearing on the 20th day of October, 2015.

Read a second and third time by the Municipal Council this 20th day of October, 2015.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11153
Z15-0042 - Frank & Dawn Filice
3461 Scott Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 22, District Lots 134 & 135, ODYD, Plan 3886 located on Scott Road, Kelowna, B.C., from the RU1 - Large Lot Housing zone to the RU1c - Large Lot Housing with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 5th day of October, 2015.

Considered at a Public Hearing on the 20th day of October, 2015.

Read a second and third time by the Municipal Council this 20th day of October, 2015.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Report to Council



Date: November 9, 2015
File: 1862-01
To: City Manager
From: D. Duncan, Manager, Parking Services
Subject: Complimentary Saturday Parking in December 2015

Recommendation:

THAT Council receives, for information, the report from the Manager, Parking Services dated November 9, 2015 with respect to Complimentary Downtown Parking on Saturdays in December 2015;

AND THAT Council approves no charge on-street parking in the Downtown area on the four (4) Saturdays in December 2015.

Purpose:

To provide no charge parking in the downtown area on Saturdays for the month of December

Background:

For the past twenty (20) years, the City has approved no charge on-street Saturday parking during the month of December in the Downtown area. This has been done as a Christmas promotion, at the request of the Downtown Kelowna Association. Off-street parking in City owned parking lots is currently no charge on Saturdays, with the exception of the Water Street Boat Launch Lot and special events (generally in the evening).

The Association has requested the City's approval for no charge parking again this year.

Financial/Budgetary Considerations:

Total impact on downtown parking reserve contribution - \$20,400 (Downtown on-street revenues in September 2015 were approximately \$ 5,100 per day)

External Agency/Public Comments:

Request letter received from the Executive Director, Downtown Kelowna Association

Communications Comments:

Press release will be issued to notify the public

Considerations not applicable to this report:

Internal Circulation:

Legal/Statutory Authority:

Legal/Statutory Procedural Requirements:

Existing Policy:

Personnel Implications:

Alternate Recommendation:

Submitted by: D. Duncan, Manager, Parking Services

Approved for inclusion: D. Edstrom, Director, Real Estate

Attachments: 1. Letter - Downtown Kelowna Association

cc: T. Wilson, Supervisor, Corporate Communications
G. Wise, Manager, Bylaw Services

DOWNTOWN KELOWNA

September 23, 2015

Dave Duncan
City of Kelowna
435 Water Street
Kelowna, BC V1Y 1J4

Re: Free Saturday Parking in December for Downtown Kelowna Visitors

Dear Dave,

Please accept this letter as our formal request to continue with the holiday tradition of offering complimentary Saturday parking for the month of December 2015 to encourage visitation in Downtown Kelowna. This is a very important value added initiative for our Downtown retailers, services and restaurants during the busy holiday shopping season.

We request parking charges be waived for Saturday parking in Downtown Kelowna, on-street and in City owned lots, commencing on December 5, 2015 and continuing through until December 26, 2015 (four Saturdays in total). We appreciate the City's support and approval on this valued program.

Please do not hesitate to call if you have any questions or concerns. Thank you in advance for your time and attention to this request.

Sincerely,



Peggy Athans EXECUTIVE DIRECTOR

cc: Councillor Maxine Dehart

Report to Council



Date: November 9, 2015

File: [RIM Classification Number]

To: City Manager

From: Alan Newcombe, Infrastructure Divisional Director

Subject: Southern Interior Construction Association Awards for City Projects

Recommendation:

THAT Council receives, for information, the Report from the Infrastructure Divisional Director dated November 9, 2015 regarding the Southern Interior Construction Association Awards for City Projects.

Purpose:

To advise Council of the Southern Interior Construction Association Awards for City Projects.

Background:

Two City of Kelowna projects were recognized by the Southern Interior Construction Association at their award ceremony on October 22, 2015.

Queensway Transit Exchange

The Queensway Transit Exchange was recognized with an Award of Excellence in the category of Community Institutional construction. The award highlighted the new canopy structure of the exchange.

The Queensway Transit Exchange was upgraded in 2014 and 2015 as part of the Rapid Bus project, a partnership between Transport Canada, the BC Ministry of Transportation and Infrastructure, City of Kelowna, District of West Kelowna, Westbank First Nation and BC Transit.

Complete reconstruction of the road and walkways between Pandosy St and Water St was completed in 2014. In April, 2015 a new canopy structure was built over the centre island between the Ellis St and Pandosy St. The wave design of the canopy signifies the community's association with Okanagan Lake and BC wood is showcased on the underside.

Project management was provided by Andrew Albiston and Pat McCormick on behalf of the City of Kelowna.

Key components of the project were delivered by:

- Architectural: VIA Architecture
- Engineering: Fast + Epp

- General Contractor: Sawchuk Developments Co. Ltd

Kelowna Family Y

The Kelowna Family Y was recognized with an Award of Merit in the category of Renovation construction.

This project was required for structural upgrades to the failing concrete floor of the women's change room and was initiated with funding from the Federal Community Infrastructure Improvement Grant program.

The planned reconstruction of the women's change room provided the opportunity to also refresh the men's change room and resize the family change room to better meet current and future facility needs. The additional work was done in partnership with YMCA of Okanagan who provided \$715,000 in funding and input into facility program requirements. Project management was provided by Kevin Van Vliet on behalf of the City of Kelowna.

Key components of the project were delivered by:

- Architectural: Bruce Carscadden Architect
- Engineering: Stantec Consulting
- General Contractor: Sawchuk Developments Co. Ltd

Internal Circulation:

Regional Services Director

Community Communications Supervisor

Infrastructure Delivery Project Manager

Utility Services Manager

Considerations not applicable to this report:

Legal/Statutory Authority:

Legal/Statutory Procedural Requirements:

Existing Policy:

Financial/Budgetary Considerations:

Personnel Implications:

External Agency/Public Comments:

Communications Comments:

Alternate Recommendation:

Submitted by:

Alan Newcombe, Infrastructure Divisional Director

Attachment: Queensway Photos

cc: Regional Services Director

Community Communications Supervisor

Infrastructure Delivery Project Manager

Utility Services Manager

Attachment: Queensway Photos

