

# City of Kelowna Regular Council Meeting AGENDA



Monday, April 14, 2025  
1:30 pm  
Council Chamber  
City Hall, 1435 Water Street

Pages

## 1. Call to Order

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca.

## 2. Confirmation of Minutes

4 - 11

PM Meeting - April 7, 2025

## 3. Development Application Reports & Related Bylaws

### 3.1 South Ridge Dr 5008 - Z25-0006 (BL12779) - Nonis Developments Ltd., Inc.No. BC0938873

12 - 27

To rezone the subject property from the C1 - Local & Neighbourhood Commercial zone to the C1rcs - Local & Neighbourhood Commercial Retail Cannabis Sales zone to facilitate a retail cannabis sales establishment.

### 3.2 Parkinson Way 1700-1800 Spall Rd 1456 - DP25-0050 - City of Kelowna

28 - 127

To issue a Development Permit for the form and character of a multi-purpose recreation campus.

### 3.3 Cross Rd 1910 - Z23-0011 (BL12617) - Extension Request

128 - 129

To extend the adoption of Rezoning Bylaw No. 12617 to February 26, 2026.

## 4. Bylaws for Adoption (Development Related)

<b>4.1</b>	<b>Bottom Wood Lake Rd 9595 and Beaver Lake Road 672 - BL12721 (OCP24-0007) - 1432863 B.C. Ltd., Inc.No. BC1432863</b>	130 - 130
	<b>Requires a majority of all members of Council (5).</b>	
	To adopt Bylaw No. 12721 in order to change the future land use designation of the subject properties from the IND – Industrial designation to the S-MU – Suburban Multiple Unit designation.	
<b>4.2</b>	<b>Bottom Wood Lake Rd 9595 and Beaver Lake Road 672 - BL12722 (Z24-0028) - 1432863 B.C. Ltd., Inc.No. BC1432863</b>	131 - 131
	To adopt Bylaw No. 12722 in order to rezone the subject properties from the I2 – General Industrial zone to the MF3 – Apartment Housing zone.	
<b>4.3</b>	<b>Updates to Short-Term Rental Regulations BL12761 (TA25-0001) - City of Kelowna</b>	132 - 133
	To adopt Bylaw No. 12761 in order to amend the Zoning Bylaw to align short-term rental regulations with the Provincial short-term rental legislation.	
<b>5.</b>	<b>Non-Development Reports &amp; Related Bylaws</b>	
<b>5.1</b>	<b>2025 OCP Update - Revised Growth Scenario</b>	134 - 151
	To receive a revised 2041 growth scenario that aligns with the interim Housing Needs Assessment as part of the 2025 OCP Update.	
<b>5.2</b>	<b>Tenant Protection - Proposed Measures</b>	152 - 177
	To advance the proposed tenant protection measures and direct staff to prepare bylaw amendments.	
<b>5.3</b>	<b>Business Licence Updates to Short-Term Rental Regulations</b>	178 - 187
	To adopt amendments to the Short-Term Rental Accommodation Business Licence and Regulation Bylaw No. 11720 and Bylaw Notice Enforcement Bylaw No. 10475 to align with Zoning Bylaw No. 12375	
<b>5.4</b>	<b>BL12767 - Amendment No. 2 to Short-Term Rental Regulation Bylaw No. 11720</b>	188 - 189
	To adopt Bylaw No. 12767.	
<b>5.5</b>	<b>BL12768 - Amendment No. 40 to Bylaw Notice Enforcement Bylaw No. 10475</b>	190 - 190
	To adopt Bylaw No. 12768.	
<b>5.6</b>	<b>Water Security Plan Adoption</b>	191 - 307
	To adopt the Water Security Plan.	



<b>5.7</b>	<b>Tax Distribution Policy</b>	<b>308 - 323</b>
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To establish tax class ratios that will be used in the preparation of the 2025 tax rates.

**6. Bylaws for Adoption (Non-Development Related)**

<b>6.1</b>	<b>Renaming of Section of Frost Road to Frost Crescent - BL12759 - City of Kelowna</b>	<b>324 - 325</b>
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To adopt Bylaw No. 12759 in order to rename a portion of Frost Road to Frost Crescent.

<b>6.2</b>	<b>Amendment No. 13 to Council Remuneration and Expense Bylaw No. 7547</b>	<b>326 - 326</b>
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To adopt Bylaw No. 12777.

**7. Mayor and Councillor Items**

**8. Termination**



**City of Kelowna  
Regular Council Meeting  
Minutes**

Date:	Monday, April 7, 2025
Location:	Council Chamber City Hall, 1435 Water Street
Members Present	Mayor Tom Dyas, Councillors Ron Cannan, Maxine DeHart, Gord Lovegrove, Mohini Singh, Luke Stack*, Rick Webber and Loyal Wooldridge
Members Absent	Councillor Charlie Hodge**
Staff Present	City Manager, Doug Gilchrist; City Clerk, Laura Bentley*; Deputy City Clerk, Michael Jud; Housing Policy and Programs Manager, James Moore*; Partnerships Office Director, Michelle Kam*; Development Planning Manager, Alex Kondor*; Planner Specialist, Tyler Caswell*; Development Planning Department Manager, Nola Kilmartin*; Planner Specialist, Kimberly Brunet*; Divisional Director, Partnership & Investments, Derek Edstrom*; Planner Specialist, Mark Tanner*; Grant & Special Projects Manager, Kirby March*; Utility Services Department Manager, Kevin Van Vliet*; Controller, Matt Friesen*
Staff Participating Remotely	Legislative Coordinator (Confidential), Arlene McClelland
Guest	Krista Mallory, Manager of Central Okanagan Economic Development Commission

(\* Denotes partial attendance; \*\* Denotes leave of absence)

**1. Call to Order**

Mayor Dyas called the meeting to order at 1:31 p.m.

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca.

**2. Confirmation of Minutes**

Moved By Councillor Wooldridge/Seconded By Councillor DeHart

THAT the Minutes of the Regular Meetings of March 31, 2025 be confirmed as circulated.

**Carried**

### 3. Public in Attendance

#### 3.1 Central Okanagan Economic Development Commission Roadmap to Resiliency COEDC Strategy 2025-2030

##### Staff:

- Introduced the presentation and Krista Mallory, Manager of Central Okanagan Economic Development Commission.

##### Krista Mallory, Manager, Central Okanagan Economic Development Commission

- Displayed a PowerPoint Presentation.
- Spoke to the Regional Model and best practice; highly integrated regional economy.
- Spoke to high level strategic directions related to the Workplan.
- Spoke to multiple actions outlined in the work plan; business retention and enhancement as well workforce development.
- Spoke to the Roadmap to Resiliency Strategy and provided a Project overview.
- Responded to questions from Council.

##### Moved By Councillor Wooldridge/Seconded By Councillor Singh

THAT Council receives, for information, the report from the Partnerships Office dated April 7, 2025, with respect to the Central Okanagan Economic Development Commission Roadmap to Resiliency COEDC Strategy 2025-2030.

Carried

### 4. Development Application Reports & Related Bylaws

#### 4.1 Lakeshore Rd 5570 and 5600 - OCP24-0011 (BL12765) Z24-0036 (BL12766) - Multiple Owners

##### Staff:

- Displayed a PowerPoint Presentation summarizing the application.

##### Moved By Councillor Cannan/Seconded By Councillor Stack

THAT Council receives, for information, the report from Development Planning Department dated April 7, 2025 with respect to a revised Official Community Plan Amendment Bylaw and Zoning Amending Bylaw for the property located at 5570 Lakeshore Rd and 5600 Lakeshore Rd, Kelowna, BC;

AND THAT Official Community Plan Map Amendment Application No. OCP24-0011 to amend Map 3.1 in the Kelowna 2040 – Official Community Plan Bylaw No. 12300 by changing the Future Land Use designation of portions of Lot B Section 15 Township 28 Similkameen Division Yale District Plan KAP59239 Except Plan KAP88453, located at 5570 Lakeshore Rd, Kelowna, BC and That Part Fractional North West ¼ Section 15 Shown on Plan B1309 Township 28 Similkameen Division Yale District Except Plans KAP84401 and KAP88770, located at 5600 Lakeshore Road from the R-AGR – Rural – Agricultural & Resource designation to the S-RES – Suburban - Residential designation, as shown on Map "A" attached to the Report from the Development Planning Department dated April 7, 2025, be considered by Council;

AND THAT Rezoning Application No. Z24-0036 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of portions of Lot B Section 15 Township 28 Similkameen Division Yale District Plan KAP59239 Except Plan KAP88453, located at 5570 Lakeshore Rd, Kelowna, BC and That Part Fractional North West ¼ Section 15 Shown on Plan B1309 Township 28 Similkameen Division Yale District Except Plans KAP84401 and KAP88770, located at 5600 Lakeshore Road, from the A2 – Agriculture/Rural Residential zone to the RR2 –



Small Lot Rural Residential zone as shown on Map "B" attached to the Report from the Development Planning Department dated April 7, 2025, be considered by Council;

AND THAT the Official Community Plan Amendment Bylaw and Zoning Amending Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT the applicant be required to complete a Subdivision Application prior to permits being issued for site works and construction on the site;

AND FURTHER THAT the final adoption of the Official Community Plan and Rezoning Bylaw be considered subsequent to the issuance of a Preliminary Layout Review Letter by the Approving Officer.

**Carried**

**4.2 Lakeshore Rd 5570 and 5600 -BL12765 (OCP24-0011) - Multiple Owners**

Moved By Councillor Wooldridge/Seconded By Councillor Singh

THAT Bylaw No. 12765 be read a first time;

AND THAT the bylaw has been considered in conjunction with the City's Financial Plan and Waste Management Plan.

**Carried**

**4.3 Lakeshore Rd 5570 and 5600 - BL12766 (Z24-0036) - Multiple Owners**

Moved By Councillor Singh/Seconded By Councillor Wooldridge

THAT Bylaw No. 12766 be read a first time.

**Carried**

**4.4 Bernard Ave 279 - LL25-0004 - 456288 BC LTD**

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Moved By Councillor Wooldridge/Seconded By Councillor Webber

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with Division 9 (71) of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

1. Council recommends support of an application from Leopold's Tavern Kelowna Bernard Inc. for a licence amendment for The Easterly 26 Feet of Lot 12 Block 13 District Lot 139 ODYD Plan 462, located at 279 Bernard Ave, Kelowna, BC for the following reasons:
  - o The proposed capacity complies with Council Policy 359 – Liquor Licensing Policy & Procedures as the capacity does not exceed 500 persons.
2. Council's comments on LCRB's prescribed considerations are as follows:
  - a. The potential for noise if the application is approved:

The potential impact for additional noise is minimal as the patio has been existing for several years in the present location on a temporary basis.

b. The impact on the community if the application is approved:

The potential for negative impacts is minimal as the area supports several similar patios in a tourist and pedestrian oriented area as part of a city program.

3. The views of residents are summarized in the Staff report for the subject application. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures."

Carried

**5. Bylaws for Adoption (Development Related)**

**5.1 Pacific Ave 1239 - BL12760 (Z25-0001) - 1309118 B.C. Ltd., Inc.No. BC1309118**

Moved By Councillor Wooldridge/Seconded By Councillor Singh

THAT Bylaw No. 12760 be adopted.

Carried

**6. Non-Development Reports & Related Bylaws**

**6.1 Proposed Renaming of a Portion of Frost Road to Frost Crescent**

Staff:

- Provided an overview of the proposed renaming of a portion of Frost Road to Frost Crescent.

Moved By Councillor DeHart/Seconded By Councillor Wooldridge

THAT Council receives, for information, the report from the Office of the City Clerk dated April 7, 2025 with respect to a bylaw to rename a portion of Frost Road to Frost Crescent;

AND THAT Road Renaming Bylaw No. 12759 be forwarded for reading consideration.

Carried

**6.2 Renaming of Section of Frost Road to Frost Crescent - BL12759 - City of Kelowna**

Moved By Councillor Webber/Seconded By Councillor DeHart

THAT Bylaw No. 12759 be read a first, second and third time.

Carried

**6.3 St. Paul St 1355 - RTE25-0002 - Revitalization Tax Exemption**

Councillor Stack declared a conflict of interest for items 6.3 through 6.6 due to working closely with applicants that have benefited through these bylaws and policies and departed the meeting at 2:00 p.m.

Staff:

- Displayed a PowerPoint Presentation outlining the Revitalization Tax Exemption Agreement.



Moved By Councillor Wooldridge/Seconded By Councillor Lovegrove

THAT Council approves the City entering into a Revitalization Tax Exemption Agreement with 1247752 B.C. Ltd., Inc. No. BC1247752 and 1267320 B.C. Ltd., Inc. No. BC1267320 for Lot 2 DL 139 ODYD Plan EPP123577 located at 1355 St. Paul St, Kelowna, BC in the form attached to the Report from the Development Planning Department dated April 7, 2025;

AND THAT Council authorizes the Development Planning Department Manager to execute the Revitalization Tax Exemption Agreement RTE25-0002 on behalf of the City of Kelowna.

Carried  
Councillor Cannan - Opposed

**6.4 Revitalization Tax Exemption Program Updates**

Staff:

- Displayed a PowerPoint Presentation outlining the proposed amendments to the Revitalization Tax Exemption Program and responded to questions from Council.

**6.5 Amendment No. 3 to Revitalization Tax Exemption Program Bylaw No. 12561**

**6.6 Amendment No. 4 to Revitalization Tax Exemption Program Bylaw No. 12561**

Moved By Mayor Dyas/Seconded By Councillor Singh

THAT consideration of agenda items 6.4, 6.5 and 6.6 be deferred to a later date.

Carried

Councillor Stack rejoined the meeting at 2:12 p.m.

**6.7 Next Generation 911 Grant Application**

Staff:

- Provided an overview of the Next Generation 911 grant application.

Moved By Councillor Wooldridge/Seconded By Councillor Stack

THAT Council receives, for information, the report from the Partnerships Office dated April 7, 2025 with respect to the Next Generation 911 Grant;

AND THAT Council directs staff to apply for grant funding to the Next Generation 911 Grant program, administered through the Union of British Columbia Municipalities;

AND THAT Council authorizes staff to execute all documents necessary to complete and manage the grant.

Carried

**6.8 Water Supply Agreement for McCulloch Lake Resorts**

Staff:

- Provided an overview of the water supply agreement with McCulloch Lake Resorts and responded to questions from Council.

Moved By Councillor Wooldridge/Seconded By Councillor Stack

THAT Council receives, for information, the report from the Utility Services Department, dated April 7, 2025 with respect to allowing the McCulloch Lake Resort to purchase non-potable water from the McCulloch Lake Reservoir;

AND THAT the Mayor and City Clerk be authorized to execute the Agreement between 1205687 BC Ltd. and the City of Kelowna;

AND FURTHER THAT Council directs staff to request consent from the Board of the Regional District of Central Okanagan (RDCO) for the City of Kelowna to provide non-potable water service to the McCulloch Lake Resort.

Carried

### **6.9 Uptown Rutland Business Association - 2025 Budget**

Staff:

- Displayed a PowerPoint Presentation summarizing the proposed Uptown Rutland Business Association 2025 budget.

Moved By Councillor DeHart/Seconded By Councillor Cannan

THAT Council approves the Uptown Rutland Business Association (URBA) 2025 Budget as attached to the report of the Controller dated April 7, 2025;

AND THAT Council approve the 2025 levy of \$245,359 on the Class 5 and Class 6 properties located within the boundaries of the Uptown Rutland Business Improvement Area.

Carried

### **6.10 Downtown Kelowna Association - 2025 Budget**

Staff:

- Displayed a PowerPoint Presentation summarizing the proposed Downtown Kelowna Association 2025 budget.

Moved By Councillor Webber/Seconded By Councillor Singh

THAT Council approves the Downtown Kelowna Association 2025 Budget as attached to the report of the Controller dated April 7, 2025;

AND THAT Council approves the 2025 levy of \$1,335,860 on Class 5 and Class 6 properties located within the boundaries of the Kelowna Downtown Business Improvement Area.

Carried

### **6.11 Amendments to Council Policy No. 388 - Code of Conduct**

Staff:

- Displayed a PowerPoint Presentation outlining the proposed amendments to the Council Code of Conduct Policy and the Council Remuneration and Expense Bylaw and responded to questions from Council.

Moved By Councillor DeHart/Seconded By Councillor Stack

THAT Council receive, for information, the report from the Office of the City Clerk dated April 7, 2025, regarding amendments to Council Policy No. 388 – Code of Conduct;



AND THAT Council adopt amendments to Council Policy No. 388 – Code of Conduct as set out in the report from the Office of the City Clerk dated April 7, 2025;

AND FURTHER THAT Bylaw No. 12777 being Amendment No. 13 to Council Remuneration and Expense Bylaw No. 7547 be advanced for reading consideration.

Carried  
Councillor Cannan - Opposed

Mayor Dyas:

- Read a statement regarding Council's communication with the media.

#### 6.12 Amendment No. 13 to Council Remuneration and Expense Bylaw No. 7547

Moved By Councillor Cannan/Seconded By Councillor DeHart

THAT Bylaw No. 12777 be read a first, second and third time.

Carried

### 7. Bylaws for Adoption (Non-Development)

#### 7.1 BL12757 - Amendment No. 1 to the Five Year Financial Plan 2024 - 2028

Moved By Councillor DeHart/Seconded By Councillor Webber

THAT Bylaw No. 12757 be adopted.

Carried

### 8. Mayor and Councillor Items

Councillor Cannan:

- Commented on Mayor Dyas' remarks regarding email to the media.

Councillor Lovegrove:

- Commented on Mayor Dyas' remarks regarding email to the media.
- Will be attending, as Deputy Mayor, the Make It Safe Okanagan event on April 10, 2025.
- Will be attending the Joint Biosolids Advisory Committee Meeting on April 9, 2025.

Councillor Wooldridge:

- Spoke to their attendance, on behalf of Mayor Dyas, at the Evolve 2025 Conference on April 6, 2025 at the Coast Capri Hotel.
- Spoke to their attendance at the Sustainable Development Challenge at Okanagan College on April 5, 2025.

Councillor Singh:

- Will be attending a community party for Jane Stelkia's 95th birthday on April 11, 2025, making her the eldest person in the syilx Nation.
- Commented on Mayor Dyas' remarks regarding email to the media.

Councillor DeHart:

- Will be attending the Chamber of Commerce Top 40 over 40 event on April 10, 2025 at the Kelowna Art Gallery.
- Will be attending the Manufacturing Safety Alliance of BC breakfast event on April 10, 2025.
- Confirmed the Vaisakhi parade takes place Saturday, April 26, 2025.



9. Termination

This meeting was declared terminated at 2:56 p.m.

\_\_\_\_\_  
Mayor Dyas

mj/acm

*Michael J. Ford*  
\_\_\_\_\_  
Deputy City Clerk

DRAFT

# REPORT TO COUNCIL REZONING



**Date:** April 14, 2025  
**To:** Council  
**From:** City Manager  
**Address:** 5008 South Ridge Dr  
**File No.:** Z25-0006

	Existing	Proposed
<b>OCP Future Land Use:</b>	NCOM – Neighbourhood Commercial	NCOM – Neighbourhood Commercial
<b>Zone:</b>	C1 - Local & Neighbourhood Commercial	C1rcs - Local & Neighbourhood Commercial Retail Cannabis Sales

## 1.0 Recommendation

THAT Rezoning Application No. Z25-0006 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot 2 District Lot 1688S Similkameen Division Yale District Plan KAP68647, located at 5008 South Ridge Dr, Kelowna, BC from the C1 - Local & Neighbourhood Commercial zone to the C1rcs - Local & Neighbourhood Commercial Retail Cannabis Sales zone, be considered by Council;

AND THAT if the Rezoning Bylaw is adopted, Council direct Staff to send a recommendation to the Provincial Liquor and Cannabis Regulation Branch that they support issuance of a non-medical cannabis retail store licence for this legal lot with the following comments:

- The proposed store location meets local government bylaw requirements and as such, no negative impact is anticipated;
- The views of the residents were captured through the public notification process for the rezoning of the property and provided to Council for consideration; and
- Local government recommends that the application be approved because of the compliance with local regulations and policies.

## 2.0 Purpose

To rezone the subject property from the C1 - Local & Neighbourhood Commercial zone to the C1rcs - Local & Neighbourhood Commercial Retail Cannabis Sales zone to facilitate a retail cannabis sales establishment.

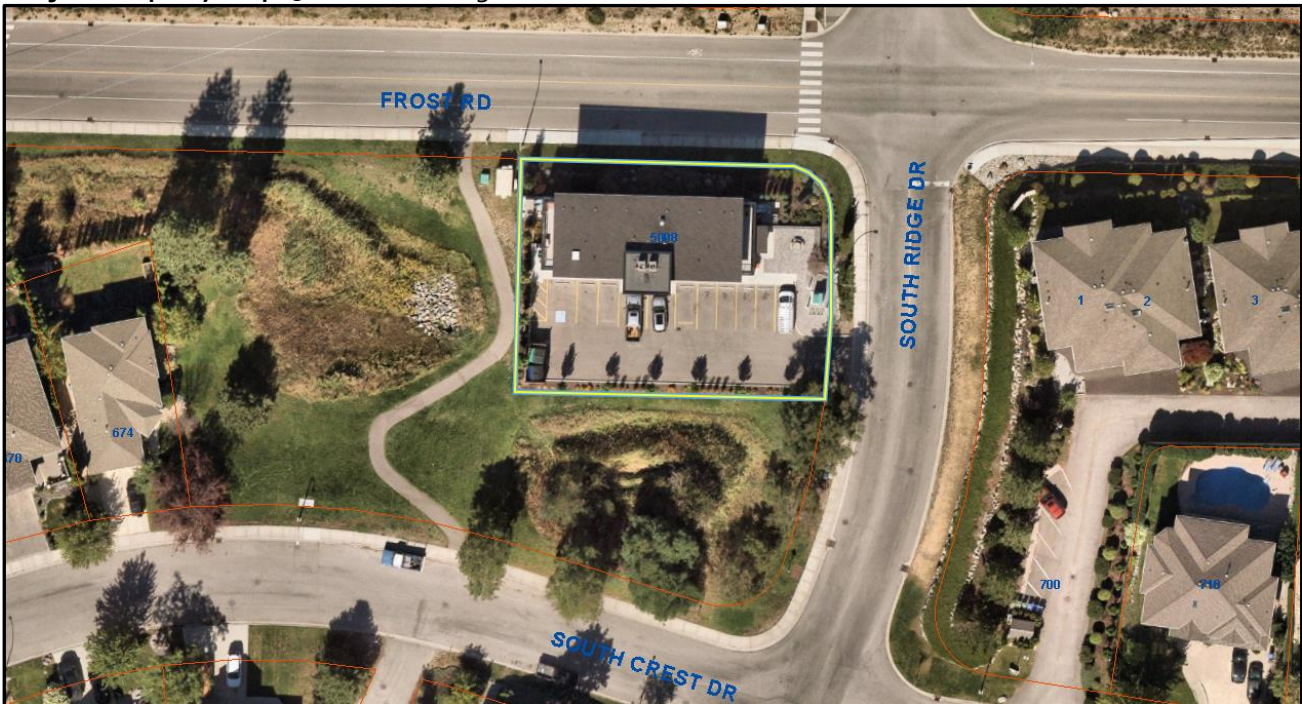
## 3.0 Development Planning

Staff support the application to rezone the subject property and to send a recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB) supporting the issuance of a cannabis retail store licence for this property. The rezoning proposal complies with Zoning Bylaw regulations specifying a minimum setback distance from public middle or secondary schools, and specified parks. There are no other properties zoned for retail cannabis sales in the area.

**4.0 Site Context & Background**

Orientation	Zoning	Land Use
North	P3 – Parks and Open Space	Powerline Park
East	MF2 – Townhouse Housing RU1 – Large Lot Housing	Duplex Housing Single Detached Dwellings
South	P3 – Parks and Open Space RU2 – Medium Lot Housing	Detention Basin Single Detached Dwellings
West	P3 – Parks and Open Space RU2 – Medium Lot Housing	Detention Basin/Powerline Park Single Detached Dwellings

**Subject Property Map: 5008 South Ridge Dr**



The subject property is in the Upper Mission Area of the City, at the intersection of Frost Rd and South Ridge Dr. It is surrounded by residential uses as well as Powerline Park. It’s approximately 500 m from the Village Centre to the east.

**4.1 Background**

The mixed-use building on the property received an occupancy permit in September 2021. It contains two commercial retail units at grade, and two residential units on the second storey. No exterior changes are proposed. If supported by Council, this rezoning application will add retail cannabis sales as a permitted principal land use to the property. With the retail cannabis sales subzone, one of the existing commercial retail units would be converted to a retail cannabis sales establishment.

**5.0 Application Chronology**

Application Accepted: February 14, 2025  
 Neighbourhood Notification Summary Received: March 15, 2025

**Report prepared by:** Kimberly Brunet, Planner Specialist  
**Reviewed by:** Alex Kondor, Development Planning Manager  
**Reviewed by:** Nola Kilmartin, Development Planning Department Manager  
**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

**Attachments:**

Attachment A: Applicant's Letter of Rationale

Attachment B: Summary of Neighbourhood Notification

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).

**ATTACHMENT A**  
This forms part of application  
# Z25-0006

Planner Initials **KB**

City of **Kelowna**  
COMMUNITY PLANNING



Cannabission Cannabis Ltd  
9-3818 Gordon Drive  
Kelowna, BC  
V1W3G8  
3-Feb-2025

**Letter of Rationale to Rezone Property at #2 5008 South Ridge Drive**

Cannabission Cannabis seeks to rezone the property located at #2 5008 South Ridge Drive, to permit retail cannabis sales from unit #2, a 1260 sq.ft retail space in the Upper Mission area of Kelowna.

Cannabission Cannabis Ltd is a Kelowna based corporation that was created in 2019. We currently operate a single licensed store at unit 9, 3818 Gordon Drive Kelowna, which opened in July 2019. Cannabission's presence is well established in the Lower Mission area.

Cannabission has had a perfect compliance record with the BC LCRB. We have created a fun work environment, while maintaining strict operational standards and regulatory compliance.

We are proud to note that we have proven ourselves as a safe, responsible retailer which employs 10 people. We have very low turnover and maintain high standards of service. Our store is well known for its small, cozy, clean modern design, which enhances the aesthetic appeal of the mall we're in. Our landlord, Chris Cavacuti would give us an outstanding reference as good tenants.

The proposed location on South Crest Road in the Upper Mission is ideally suited for retail cannabis sales. The site complies with all the conditions of Section 9.9 Bylaw 12375 and exceeds required distances from other cannabis stores, schools and noted recreation parks detailed in the Bylaw. The site is currently zoned as C1 and has Domino's pizza as a neighbor. Our existing store is the nearest cannabis store 4.5km to the north.

The Upper Mission area currently does not have any retail cannabis stores and this site would be ideal to service customers in this area. This area offers convenient access and ample customer parking with four designated parking spots.

We believe the additions of Cannabission to this location will positively contribute to the success of the area, while ensuring responsible cannabis sales in accordance with local and provincial regulations.

Thank you for your consideration,

Yours sincerely,



Steven Jones, CEO, Cannabission





Steven Jones  
Cannabission Cannabis Ltd  
9-3818 Gordon Drive  
Kelowna, BC  
V1W3G8  
Cell 250-870-2096  
Email [steve@cannabission.ca](mailto:steve@cannabission.ca)  
March 5<sup>th</sup>, 2025

**Re: Neighbourhood Notification**

Dear Neighbour,

We have applied to the City of Kelowna to have the commercial unit at #5008 South Ridge Drive, rezoned from a C1 zone (Local and Neighbourhood Commercial) to C1 - rcs (Retail Cannabis Store) and we are required to consult with you, as a neighbour, since you live within 50m of the property.

We are proposing to lease the “One Shop” next to Domino’s Pizza at #5008 South Ridge Drive, Kelowna. We would want to update the signs on the outsides of the building to replace them with a “Cannabission” sign. The windows would be mostly covered with decals and window coverings, as per Provincial regulations. Structurally, the building would remain unchanged. We would be building a couple of walls inside to create a secure checkout area, a manager’s office and a staff room, as per the attached floor plan.

Please also find attached a visual rendering of what the store would look like at the front and rear after the new signage and window coverings are installed.

Cannabission opened in 2020 on Gordon Drive in the Lower Mission. We are locally owned and operated and currently employ 10 people. We have a perfect compliance record with the Liquor and Cannabis Regulation Branch which oversees the regulation and licensing of cannabis establishments. We are very strict in checking people’s identification, to protect our youth and also to protect our business.

If you have any feedback or comments that you would like to share with the City of Kelowna, please contact Kimberly Brunet, Planner Specialist at the City of Kelowna, Tel 250-469-8637.

Kimberly’s email is [kbrunet@kelowna.ca](mailto:kbrunet@kelowna.ca). Please mention the City’s file number for this application - Z25-0006

If you have any feedback, questions or concerns for me, the store owner, please reach out to me using the contact details above. You are welcome to come and talk to me at the existing store Monday to Friday.

Thank you very much for your time,

Sincerely,

Steven Jones, Owner



Steven Jones

Cannabission Cannabis Ltd

9-3818 Gordon Drive

Kelowna, BC

V1W3G8

15-March 2025

**Summary of Neighbourhood Notification for Cannabission Cannabis : File # Z25-0006**

1. On Friday 7<sup>th</sup> March I mailed out 15 letters to all addresses included in a 50m area around the property at 5008 South Ridge Dr, as per Kim Brunet, City Planner request, notifying neighbours of our application to have this area rezoned to C1-rcs. This notification letter also included mockup images of the new store front and rear as well as a plan of the proposed changes inside the store.
2. On the 28<sup>th</sup> of January I consulted with the business owner next to the new store location via a telephone conversation. He had no concerns with us as a neighbour. We have had neighbouring businesses in our first location for over a decade without issues.
3. On Saturday March 15<sup>th</sup> I visited the addresses within 50m and knocked on neighbours' doors, for face to face meetings. I was able to speak with four neighbours.
4. One neighbour was happy we were opening and expressed no concerns about Cannabission being there.
5. Two neighbours had questions about the setback distance to Canyon Middle School, to which I assured them we were about 1km away, exceeding the city's minimum distance of 500m.
6. Another neighbour I spoke to was indifferent and said he "didn't care either way".
7. We are not proposing any changes to the project based on the feedback from neighbours close to the store.

Addresses notified via mail

674 South Crest Drive  
675 South Crest Drive  
5026 South Ridge Drive  
700 South Crest Drive Unit #1  
700 South Crest Drive Unit #2  
700 South Crest Drive Unit #3  
700 South Crest Drive Unit #4  
700 South Crest Drive Unit #5  
700 South Crest Drive Unit #6  
700 South Crest Drive Unit #7  
700 South Crest Drive Unit #8  
710 South Crest Drive  
5008 South Ridge Drive Unit #3  
5008 South Ridge Drive Unit #4

Steven Jones  
Owner  
Cannabission Cannabis Ltd.

**ATTACHMENT B**

This forms part of application  
# Z25-0006

Planner Initials

City of Kelowna  
COMMUNITY PLANNING





**CITY OF KELOWNA**  
**BYLAW NO. 12779**  
**Z25-0006**  
**5008 South Ridge Drive**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 2 District Lot 1688S Similkameen Division Yale District Plan KAP68647, located on South Ridge Dr, Kelowna, BC from the C1 - Local & Neighbourhood Commercial zone to the C1rcs - Local & Neighbourhood Commercial Retail Cannabis Sales zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk



City of  
**Kelowna**

# Rezoning Application

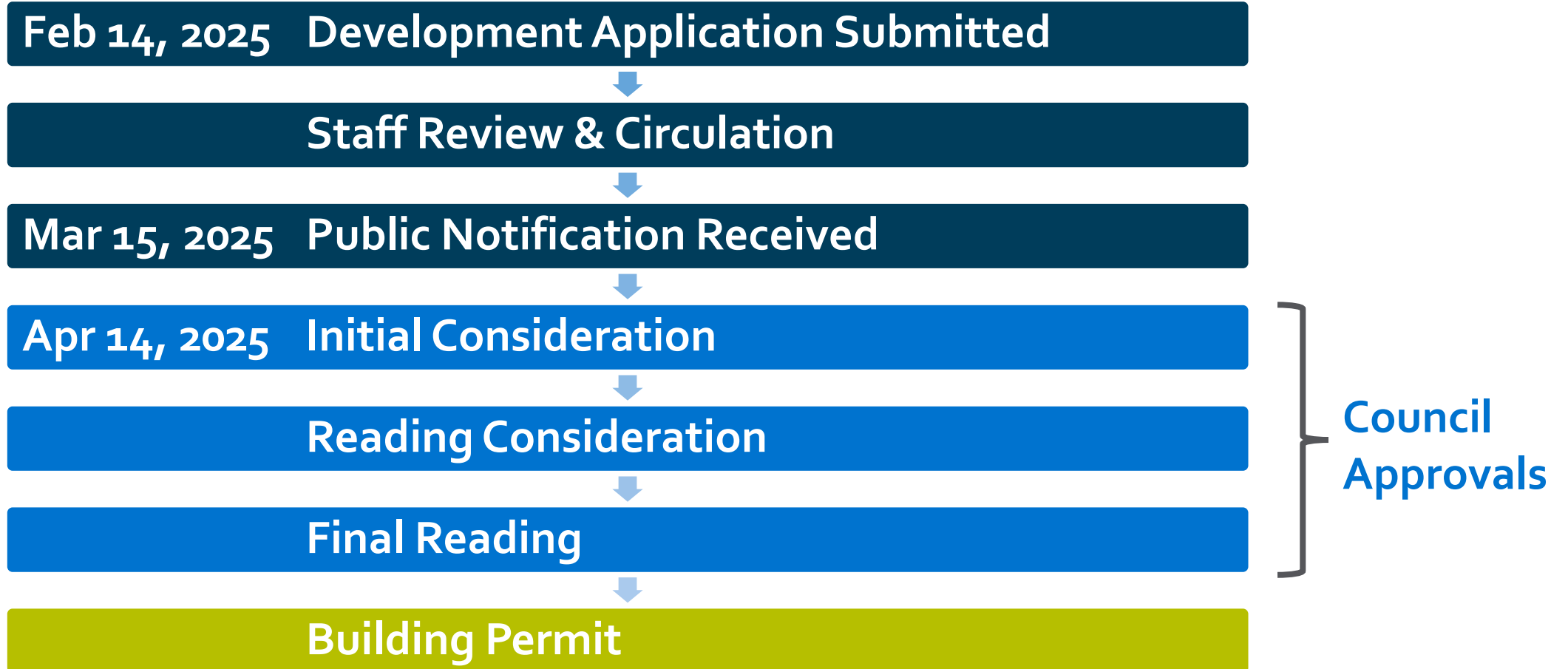
5008 South Ridge Dr

Z25-0006

# Purpose

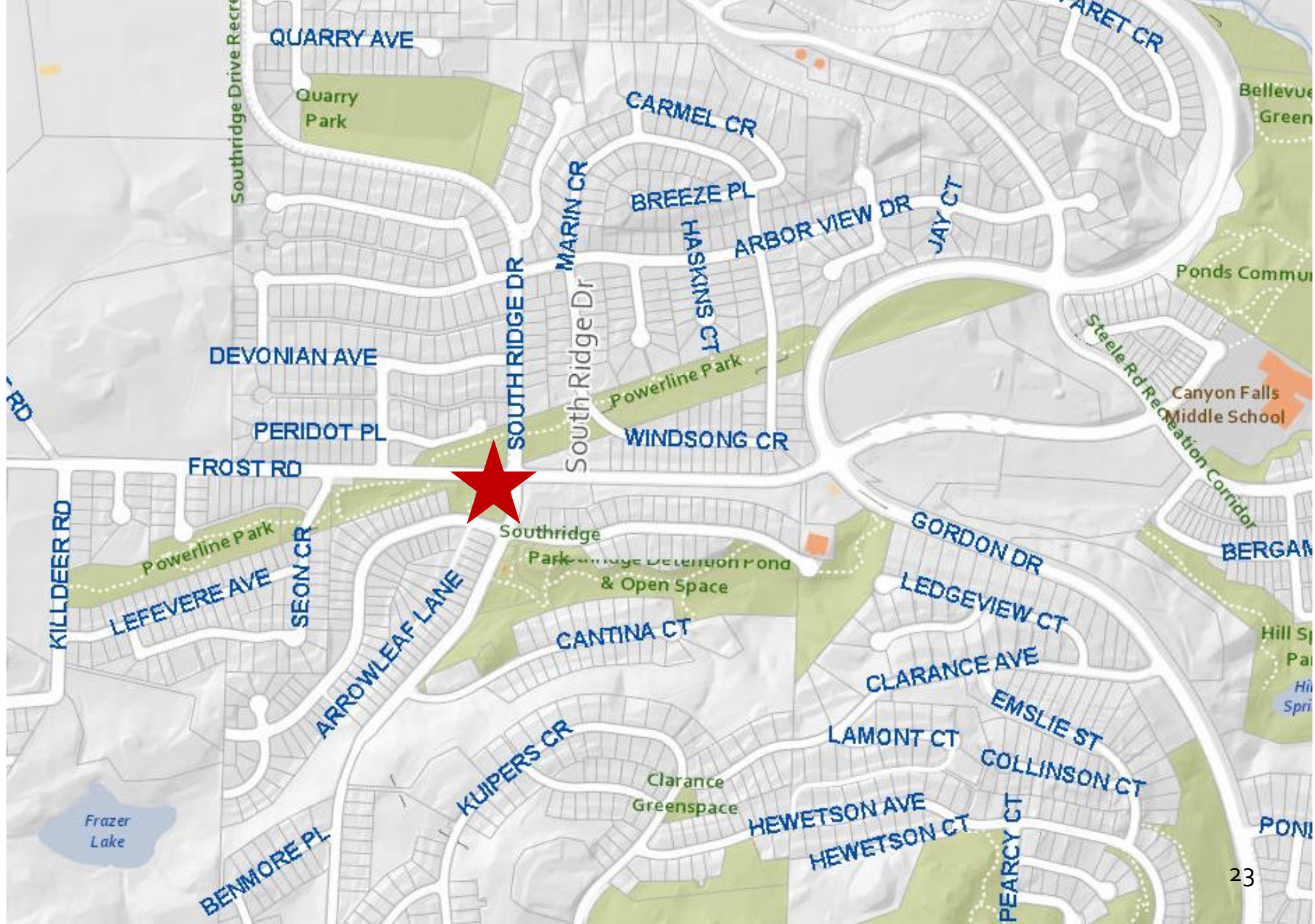
To rezone the subject property from the C<sub>1</sub> - Local & Neighbourhood Commercial zone to the C<sub>1rcs</sub> - Local & Neighbourhood Commercial Retail Cannabis Sales zone to facilitate a retail cannabis sales establishment.

# Development Process





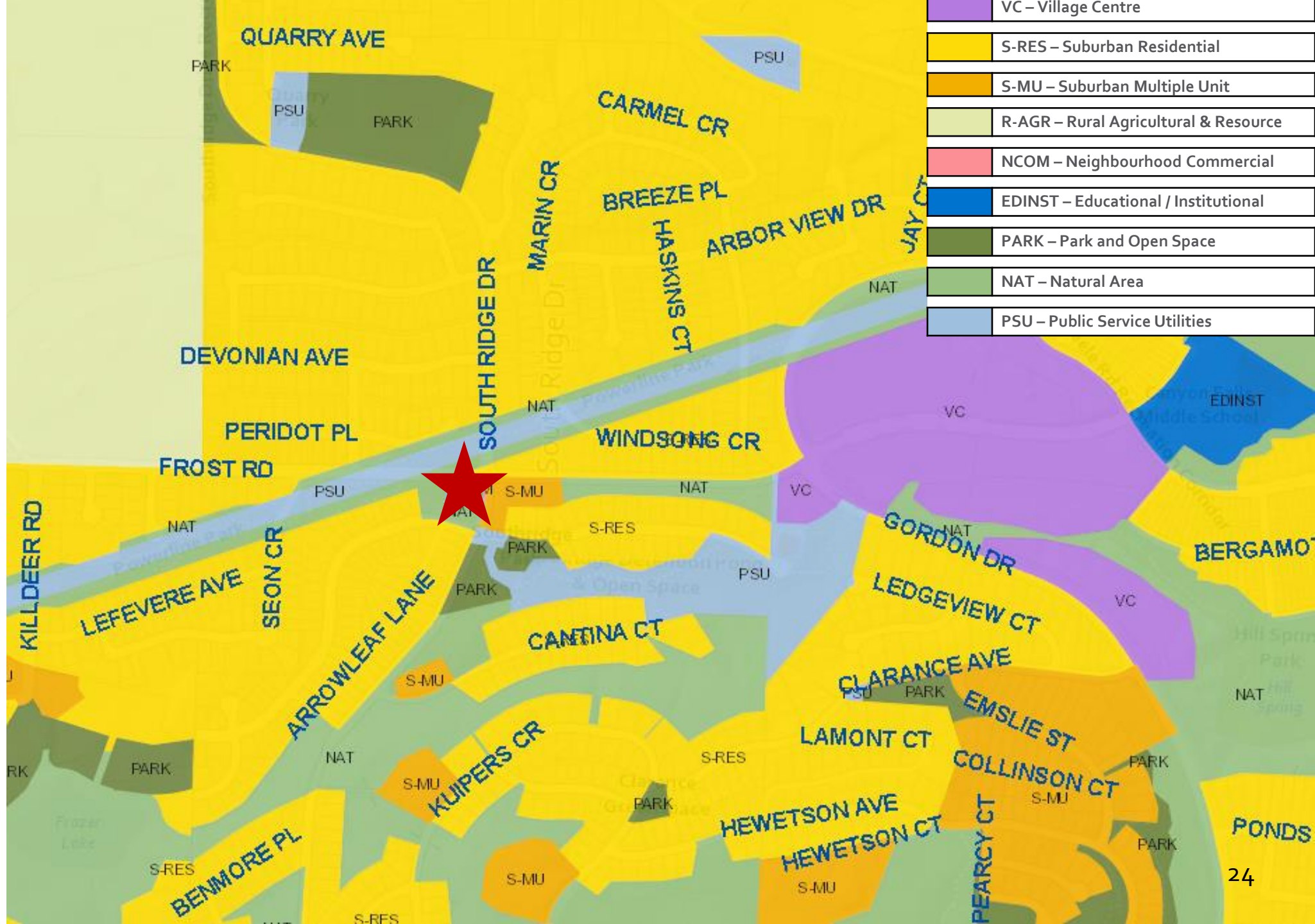
# Context Map







# Context Map: OCP Future Land Use







# Subject Property Map



# Zoning Bylaw Regulations

- Rezoning proposal complies with:
  - Min. 500 m setback from other retail cannabis sales establishments
  - Min. 500 m setback from public middle or secondary schools
  - Min. 150 m setback from select parks



# Staff Recommendation

- Staff recommend **support** for the proposed rezoning as it:
  - Meets Zoning Bylaw regulations
- Direct Staff to send a recommendation to the LCRB supporting issuance of a cannabis retail store licence

# REPORT TO COUNCIL DEVELOPMENT PERMIT



**Date:** April 14, 2025  
**To:** Council  
**From:** City Manager  
**Address:** 1700-1800 Parkinson Way & 1456 Spall Road  
**File No.:** DP25-0050  
**Zone:** P1 – Major Institutional  
P2 – Education and Minor Institutional

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## 1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP25-0050 for:

- Lot 2 Section 20 Township 26 ODYD Plan 32159 Except Plan EPP3465, located at 1700-1800 Parkinson Way, Kelowna, BC;
- Lot 2 Section 20 Township 26 ODYD Plan 23634 Except Plan EPP3465, located at 1800 Parkinson Way, Kelowna, BC; and
- Lot A Section 20 Township 26 ODYD Plan 37596 Except Plans KAP62854, KAP70690 and KAP71139, located at 1456 Spall Road, Kelowna, BC;

subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule 'A';
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule 'B';
3. Landscaping to be provided on the land in accordance with Schedule 'C';

AND THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## 2.0 Purpose

To issue a Development Permit for the form and character of a multi-purpose recreation campus.

## 3.0 Development Planning

Staff support the proposed Development Permit for the form and character of a multi-purpose recreation campus. The proposal generally aligns with the Official Community Plan (OCP) Form & Character Design Guidelines for Institutional Buildings. Key guidelines that are met include:

- Designing buildings to frame and activate adjacent open spaces;
- Siting and designing the building to respond to unique site conditions and opportunities;
- Incorporating landmark or emblematic design features, including large extensions of the public realm; and
- Demonstrating variety in massing and materiality.

The proposed recreation centre includes a triple gymnasium, running track, fitness area and studios, aquatics facility, multi-purpose rooms, community teaching kitchen, library space, washrooms, administration space, and child care centre. It will be surrounded by a redeveloped site including new and realigned parking lots, an active transportation network, new sports fields, pickleball courts, tennis courts, a multi-sport box, multi-use grass areas, playgrounds, the restoration of Mill Creek, relocation of outdoor fitness equipment, and a cultural gathering space.

The building is split into two segments connected by a large atrium, dubbed the “community living room,” which serves as an indoor public space. Proposed exterior materials primarily consist of cement and metal panels. The proposed design is inspired by and intended to reflect the vertical weave pattern of traditional slyx baskets. Warm coloured metal panels and darker cement panels create differentiation between the upper portion of the building and its base. Curving elements are included in the roof line and timber elements are incorporated for canopies.

Activity within and around the building is intended to further enhance the form and character with strong connections between the internal and external space. This includes event and gathering plazas that spill from the building as well as visual connections between interior and exterior spaces, such as the wellness components of the aquatics facility and Mill Creek. Exterior architectural features also carry through into internal spaces.

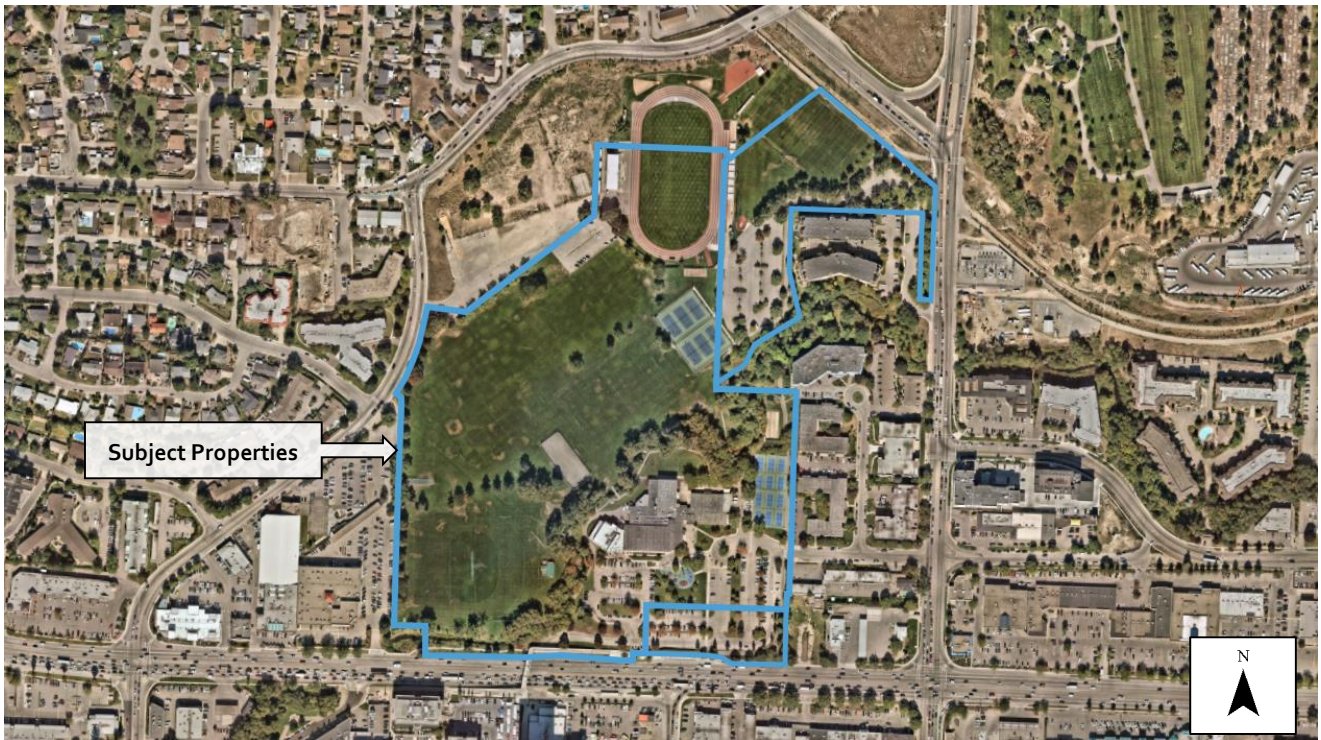
A total of 725 parking stalls are provided on-site. Primary vehicle access to the new recreation centre would be provided from Burtch Road, with secondary access from Spall Road. Vehicle accesses to the southern portion of the site from Parkinson Way and Harvey Avenue would be maintained.

Outside of the Mill Creek riparian area 309 new trees are proposed, planted throughout the site, in addition to retention of 204 existing trees. The Mill Creek riparian area restoration is subject to a separate Natural Environment Development Permit and is not subject to this application.

Multi-use pathways and pedestrian pathways are provided throughout the site to accommodate pedestrian and cycling access. This includes connections to existing adjacent active transportation corridors (Rail Trail, Angel Way, Dayton Overpass) as well as a major new north-south connection through the middle of the site. These also serve to connect the site to nearby transit stops on Harvey Ave, Parkinson Way, Burtch Road, and Bernard Avenue.

4.0 Subject Property & Background

4.1 Subject Property Map



The subject property is located between Burtch Road, Bernard Avenue, Harvey Avenue, Spall Road, and Clement Avenue. It is immediately north of the Capri-Landmark Urban Centre. The surrounding neighbourhoods include a wide variety of uses, including service commercial, offices, ground-oriented housing, and apartment housing. Existing active transportation connections to the site include the Rail Trail, Angel Way, and the Dayton Overpass. An adjacent lot is owned by School District #23 as a future school site. Existing transit stops are located adjacent to the site on Harvey Avenue, Bernard Avenue, and Burtch Road.

5.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
Gross Lot Area	188,191 m <sup>2</sup>
Undevelopable Land (riparian)	~25,050 m <sup>2</sup>
Total Number of Residential Units	N/A
Net Institutional Uses Floor Area	11,076 m <sup>2</sup>

DEVELOPMENT REGULATIONS		
CRITERIA	P <sub>1</sub> ZONE	PROPOSAL
<b>Total Maximum Floor Area Ratio</b>	<b>2.0</b>	<b>0.06</b>
Base FAR	2.0	
Max. Site Coverage (buildings)	50%	5%
Max. Site Coverage (buildings, parking, driveways)	70%	< 70%
<b>Max. Height</b>	<b>22.0 m &amp; 6 storeys</b>	<b>15.36 m &amp; 2 storeys</b>
Base Height	22.0 m & 6 storeys	

<b>Setbacks</b>		
Min. Front Yard (West)	2.0 m	> 2.0m
Min. Side Yard (North)	2.0 m	> 2.0 m
Min. Side Yard (South)	2.0 m / 4.5 m	> 4.5 m
Min. Rear Yard (East)	6.0 m	> 6.0 m
<b>Landscaping</b>		
Min. Number of Trees	60 trees	309 trees
Min. Large Trees	30 trees	95 trees

<b>PARKING REGULATIONS</b>		
<b>CRITERIA</b>	<b>P<sub>1</sub> ZONE REQUIREMENTS</b>	<b>PROPOSAL</b>
<b>Total Required Vehicle Parking</b>	<b>273 stalls</b>	<b>725 stalls</b>
Participant Recreation Services, Indoor	256	702
Child Care Centre, Major	17	23
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	100% Regular 0% Small
Min. Loading Stalls	3 stalls	3 stalls
Bicycle Stalls Short-Term	8 stalls	16 stalls
Bicycle Stalls Long-Term	28 stalls	52 stalls

**6.o Application Chronology**

Application Accepted: March 11, 2025

**Report prepared by:** Mark Tanner, Planner Specialist  
**Reviewed by:** Adam Cseke, Development Planning Manager  
**Reviewed by:** Nola Kilmartin, Development Planning Department Manager  
**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

**Attachments:**

- Attachment A: Draft Development Permit DP25-0050
  - Schedule A: Site Plan & Floor Plans
  - Schedule B: Elevations & Sections
  - Schedule C: Landscape Plan
- Attachment B: OCP Form and Character Development Permit Guidelines
- Attachment C: Project Rationale
- Attachment D: Renderings

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).

# Development Permit

## DP25-0050

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# DP25-0050		
Planner Initials	<b>MT</b>	 <b>City of Kelowna</b> <small>DEVELOPMENT PLANNING</small>



This permit relates to land in the City of Kelowna municipally known as

**1700-1800 Parkinson Way & 1456 Spall Road**

and legally known as

**Lot 2 Section 20 Township 26 ODYD Plan 32159 Except Plan EPP3465**

**Lot 2 Section 20 Township 26 ODYD Plan 23634 Except Plan EPP3465**

**Lot A Section 20 Township 26 ODYD Plan 37596 Except Plans KAP62854, KAP70690 and KAP71139**

and permits the land to be used for the following development:

- Cultural and Recreation Services**
- Participation Recreation Services, Indoor**
- Participation Recreation Services, Outdoor**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

- Date of Council Approval:** April 14, 2025
- Development Permit Area:** Form & Character
- Existing Zone:** P1 – Major Institutional, P2 – Education and Minor Institutional
- Future Land Use Designation:** PARK - Parks

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

### **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

### **NOTICE**

This permit does not relieve the owner or the owner’s authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

- Owner:** City of Kelowna
- Applicant:** Diamond Schmitt Architects

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Nola Kilmartin  
 Development Planning Department Manager  
 Planning & Development Services

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Date of Issuance

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP25-0050 for:

- Lot 2 Section 20 Township 26 ODYD Plan 32159 Except Plan EPP3465, located at 1700-1800 Parkinson Way, Kelowna, BC;
- Lot 2 Section 20 Township 26 ODYD Plan 23634 Except Plan EPP3465, located at 1800 Parkinson Way, Kelowna, BC; and
- Lot A Section 20 Township 26 ODYD Plan 37596 Except Plans KAP62854, KAP70690 and KAP71139, located at 1456 Spall Road, Kelowna, BC;

subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## 3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

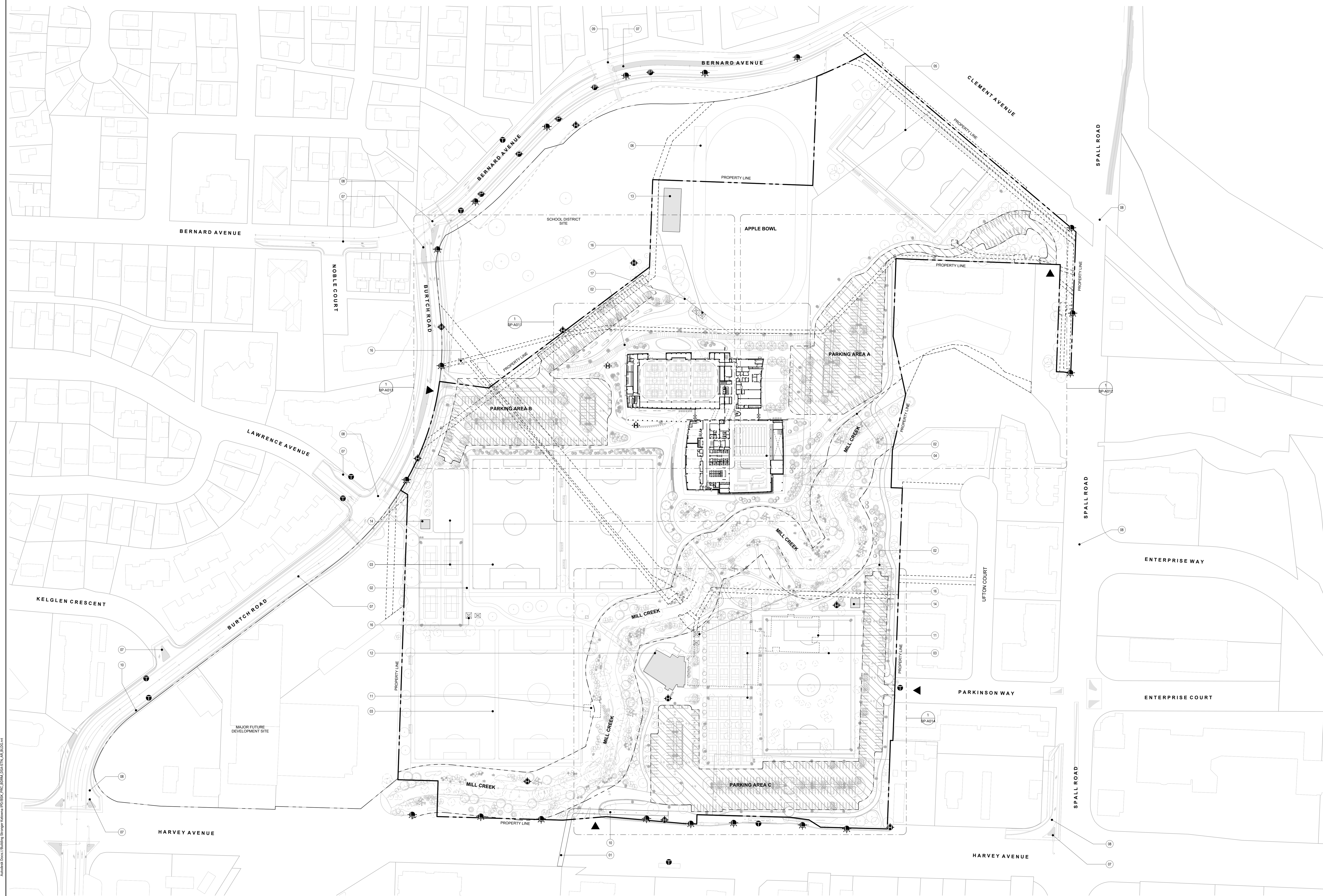
- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**



Issued No. Date Description  
1 02/28/2025 Issued for Development Permit



**NOT FOR  
CONSTRUCTION**

DP Park Plan  
1:1000

**SCHEDULE A**

This forms part of application  
# DP25-0050

Planner Initials **MT**

City of **Kelowna**  
DEVELOPMENT PLANNING

**Park Plan Notes**

- 01 EXISTING PEDESTRIAN BRIDGE
- 02 PROPOSED SITE PATHWAY (SEE LANDSCAPE DWG)
- 03 PROPOSED SPORTS FIELD/PLAYING SURFACE
- 04 PROPOSED RECREATION FACILITY
- 05 EXISTING SPORTS FIELD
- 06 EXISTING RUNNING TRACK
- 07 PROPOSED OFF-SITE ROADWORKS (SEE CIVIL DWG)
- 08 EXISTING OFF-SITE CROSSWALKS
- 09 PROPOSED OFF-SITE CROSSWALK
- 10 EXISTING CITY SIDEWALK
- 11 OUTLINE OF BUILDING TO BE DEMOLISHED
- 12 OUTLINE OF BUILDING TO REMAIN
- 13 APPLE BOWL GRANDSTAND TO REMAIN
- 14 STORAGE OUT BUILDING
- 15 PROPOSED ELECTRICAL SERVICE VAULT (SEE CIVIL DWG)
- 17 VEHICLE ACCESS TO THE APPLE BOWL

**Park Plan Legend**

- 1:50
- PROPERTY LINE
- EASEMENT BOUNDARY
- 15m RIPARIAN SETBACK
- VEHICLE SITE ACCESS
- EXISTING FIRE HYDRANT (SEE CIVIL DWG)
- PROPOSED FIRE HYDRANT (SEE CIVIL DWG)
- OFF-SITE TRANSIT LOCATION
- LAMP STANDARD (SEE CIVIL DWG)
- UTILITY POLE (SEE CIVIL DWG)

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Park Plan As Indicated  
**DP-A010**  
34



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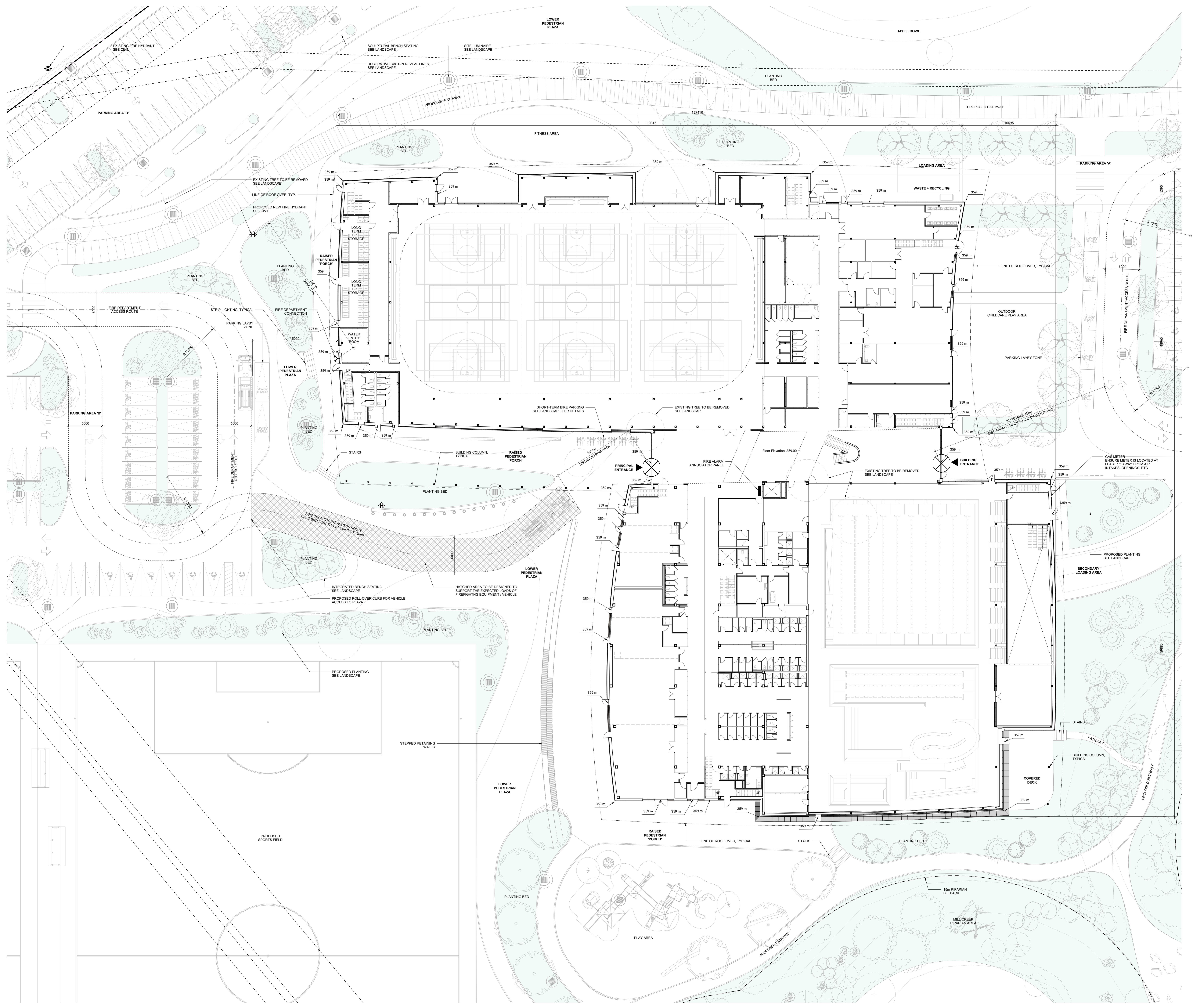
**SCHEDULE A**  
 This forms part of application # DP25-0050  
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**City of Kelowna**  
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Site Plan  
 1:200  
**DP-A011**  
 35



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 City of Kelowna  
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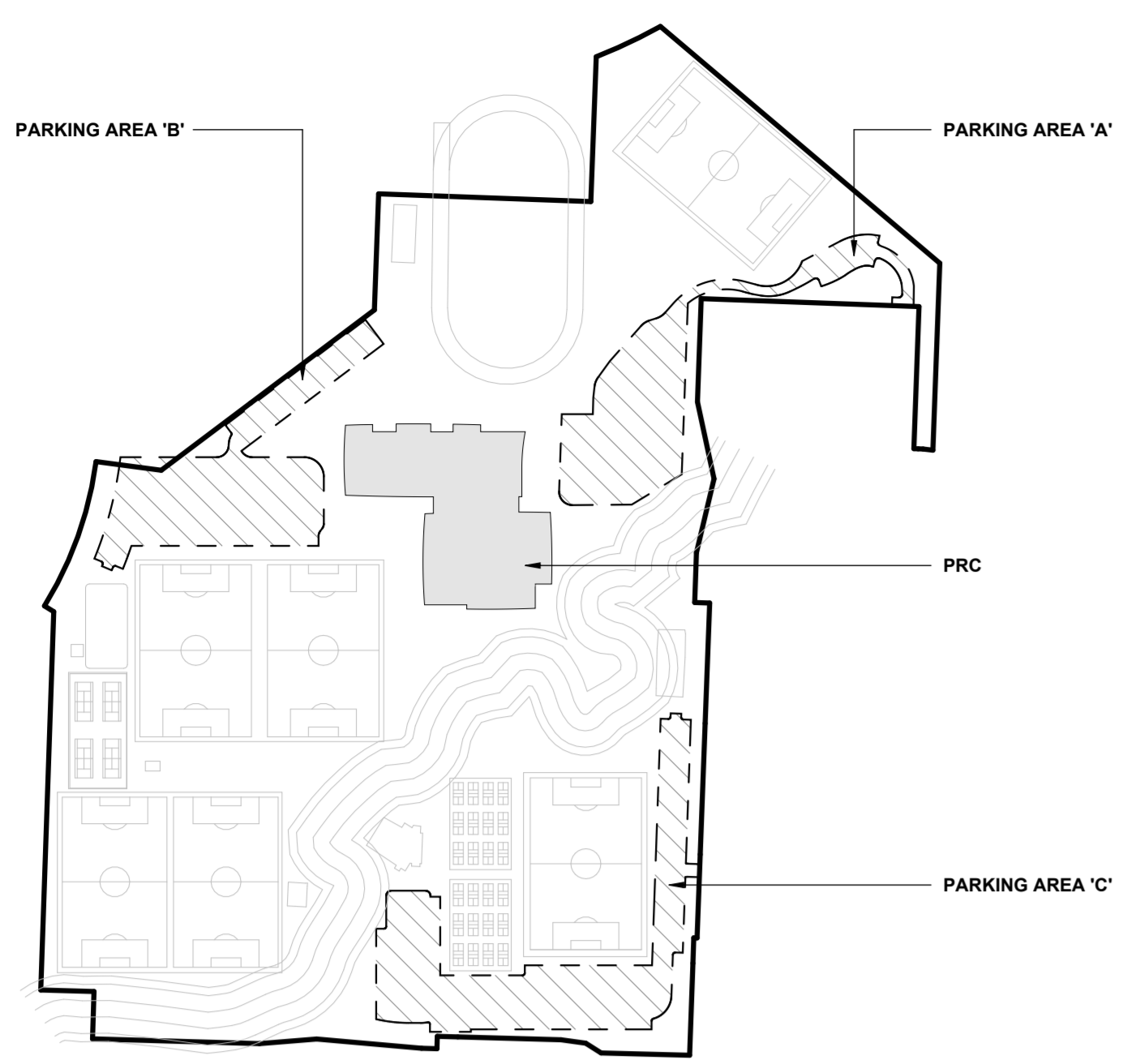
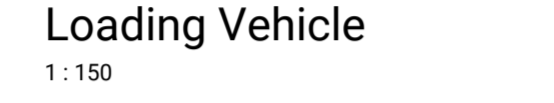
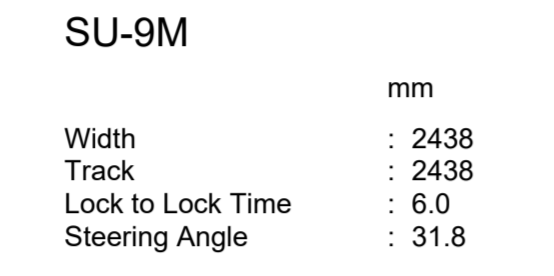
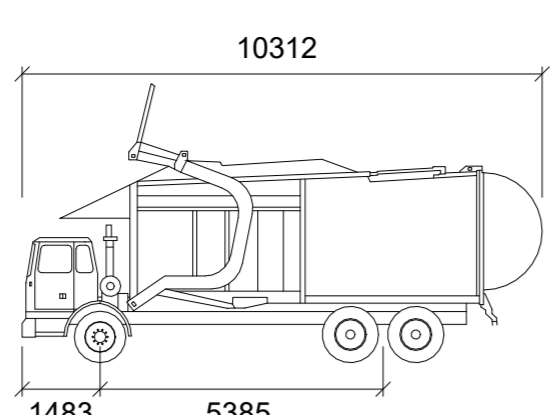
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Parking Area 'A' - Enlarged  
 As Indicated  
**DP-A012**  
 36

**Parking Schedule**

Area	Stall Type	Parking Code	Count
Area A	15 Minute Stall	ST	6
Area A	EV Stall	EV	4
Area A	Green Stall	GN	12
Area A	HC Stall Regular	HC	2
Area A	HC Stall Van	HV	5
Area A	Lay-By Stall	LB	5
Area A	Loading Stall	LD	4
Area A	Parallel Stall	PL	6
Area A	Regular Stall	RG	152
Area B	Regular Stall	RG	191
Area B	EV Stall	EV	6
Area B	Green Stall	GN	6
Area B	HC Stall Regular	HC	6
Area B	HC Stall Van	HV	1
Area B	Lay-By Stall	LB	2
Area B	Parallel Stall	PL	2
Area B	Regular Stall	RG	203
Area C	Regular Stall	RG	234
Area C	EV Stall	EV	6
Area C	Green Stall	GN	13
Area C	HC Stall Regular	HC	6
Area C	HC Stall Van	HV	3
Area C	Lay-By Stall	LB	3
Area C	Regular Stall	RG	275
Area C	Regular Stall	RG	304
Area C	Regular Stall	RG	729
Total Stalls Provided:			729



**Parking Area A Notes**  
 1:50

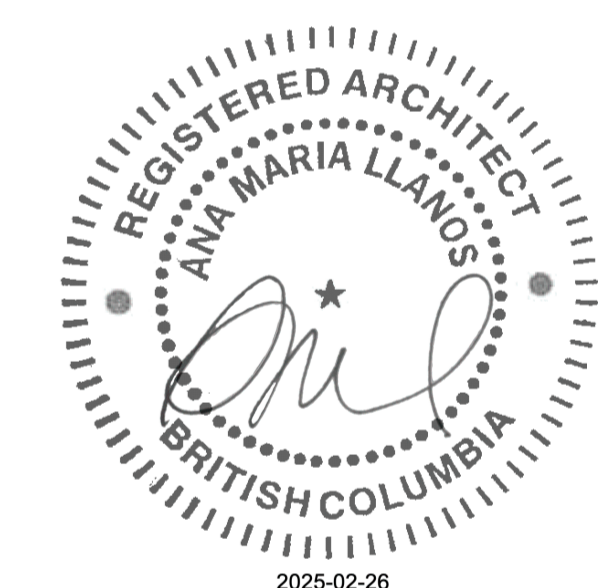
THE PROPOSED PARKING AREA INTENDS TO RETAIN AND MAKE USE OF MOST OF THE EXISTING PARKING STALLS, CURBS, LANDSCAPE ISLANDS IN THIS REGION.  
 DIMENSIONS NOTED ON PLAN ARE APPROXIMATE AND SHOULD BE CONFIRMED ON-SITE.



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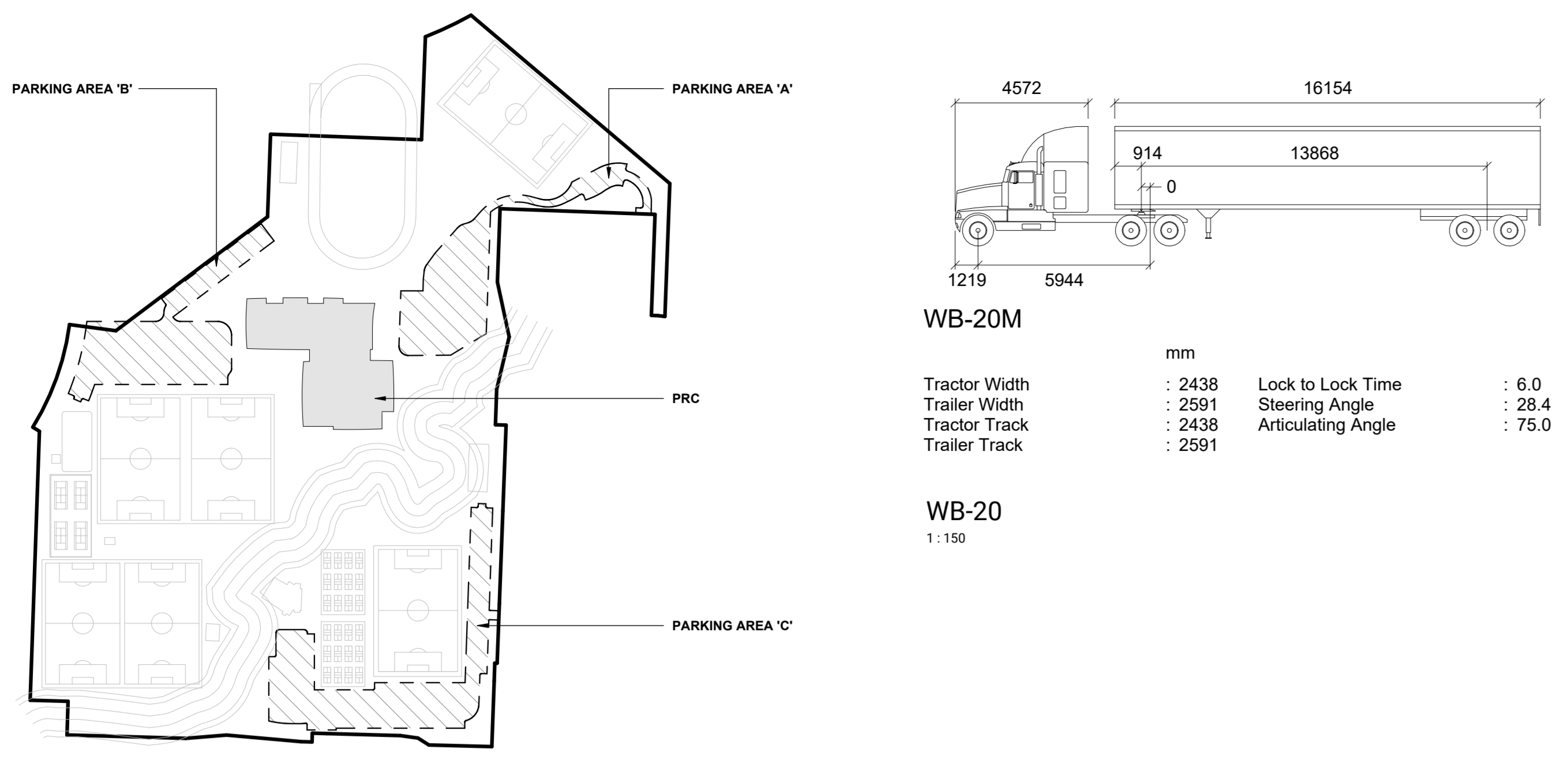
SCHEDULE A This forms part of application # DP25-0050 City of Kelowna Development Planning

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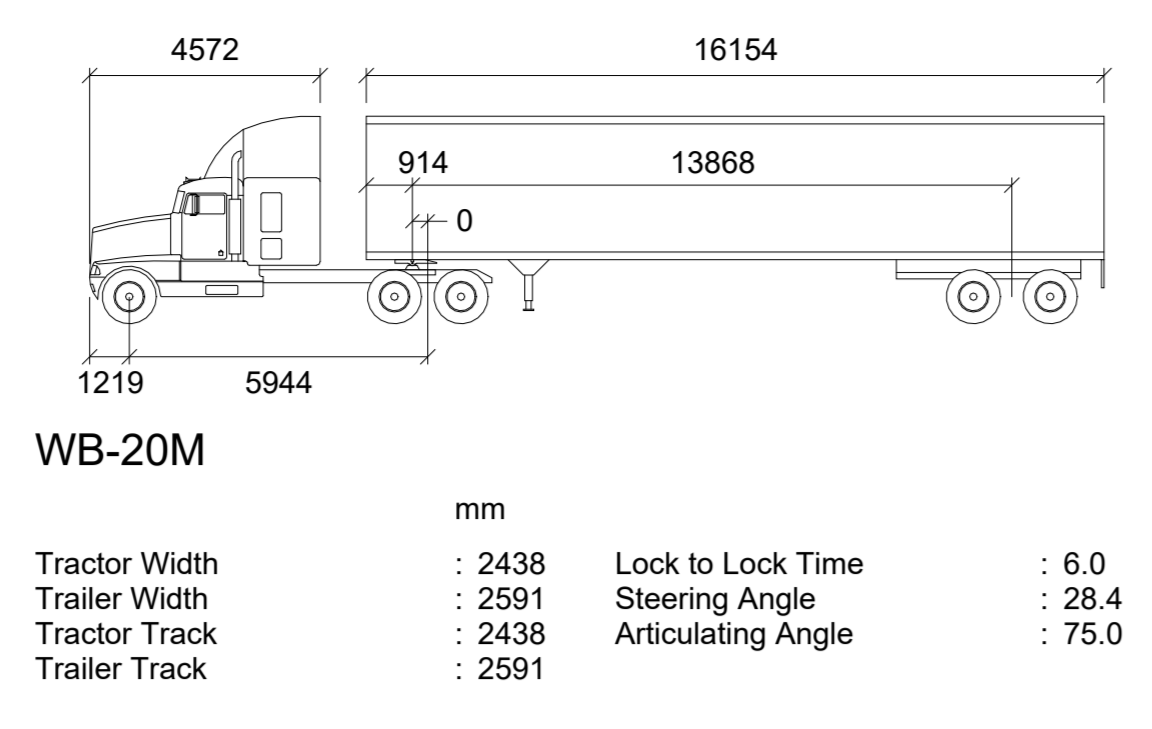
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Parking Area 'B' - Enlarged As Indicated DP-A013 37



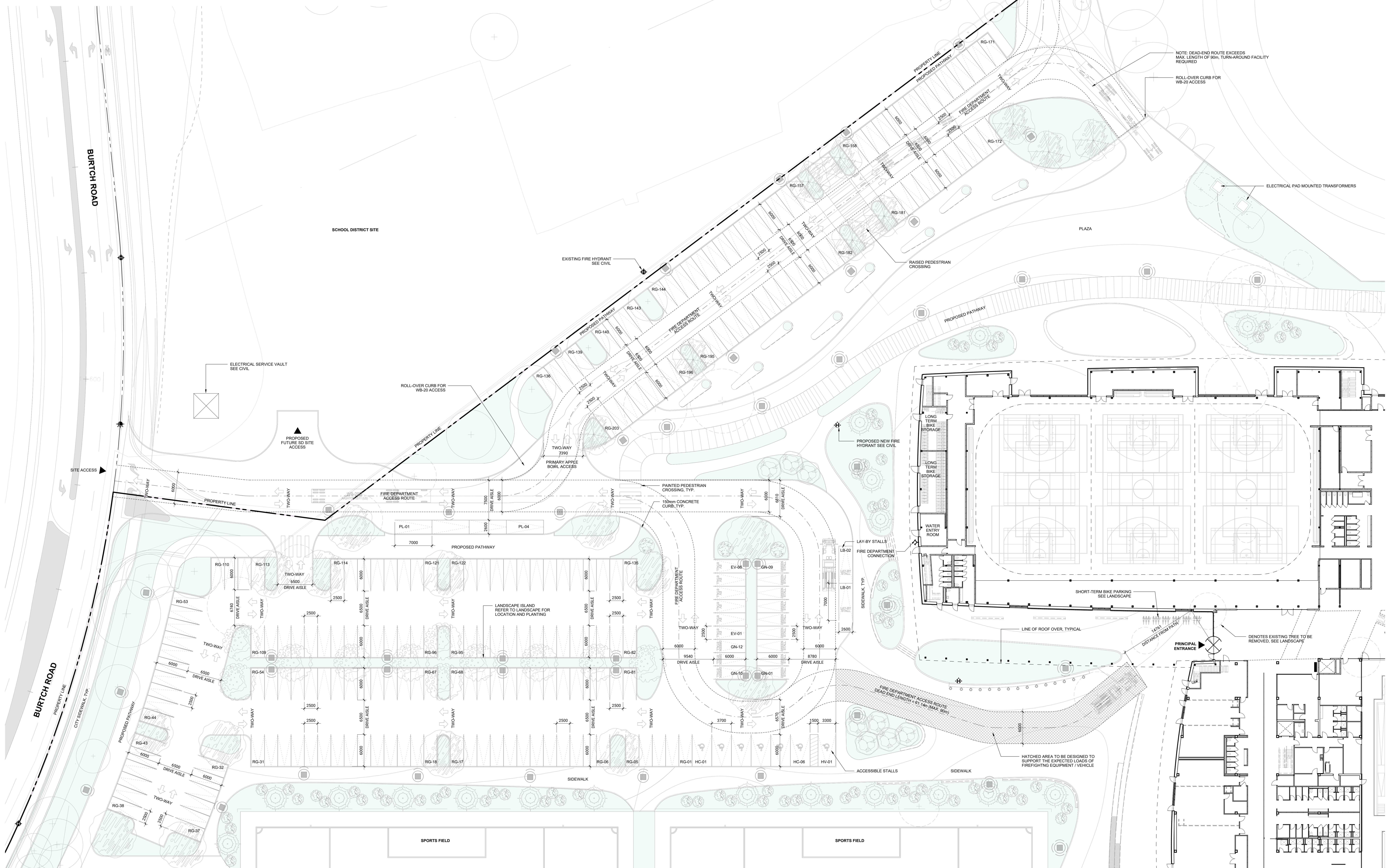
Parking Schedule table with columns: Area, Stall Type, Parking Code, Count. Lists various stall types (ST, EV, GN, HC, HV, LB, LD, PL, RG) and their counts across different areas (A, B, C).



WB-20M mm Tractor Width : 2438 Lock to Lock Time : 6.0 Trailer Width : 2591 Steering Angle : 28.4 Tractor Track : 2438 Articulating Angle : 75.0 Trailer Track : 2591

WB-20 1:150

Parking Area Key Plan 1:3750



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**City of Kelowna**  
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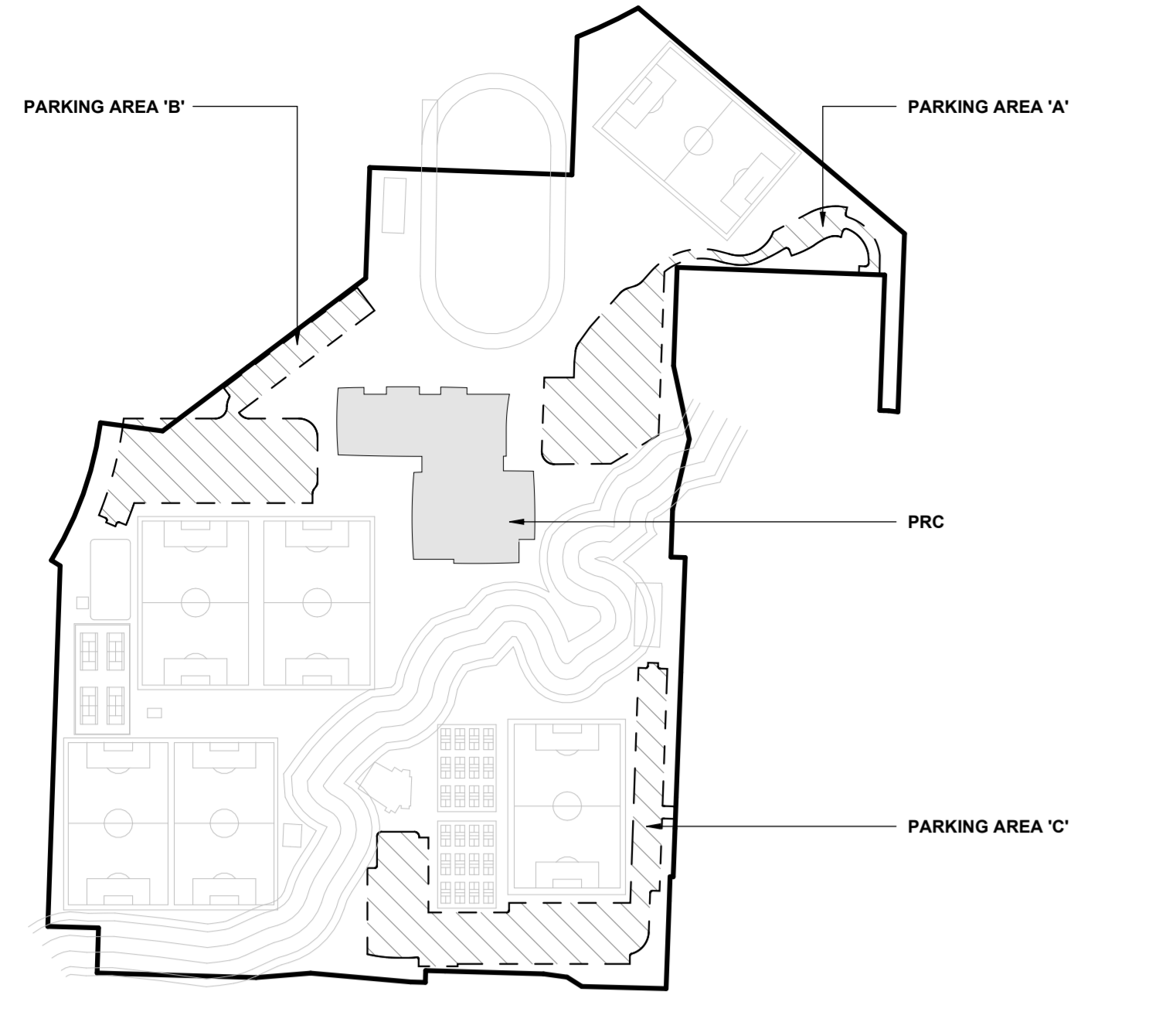
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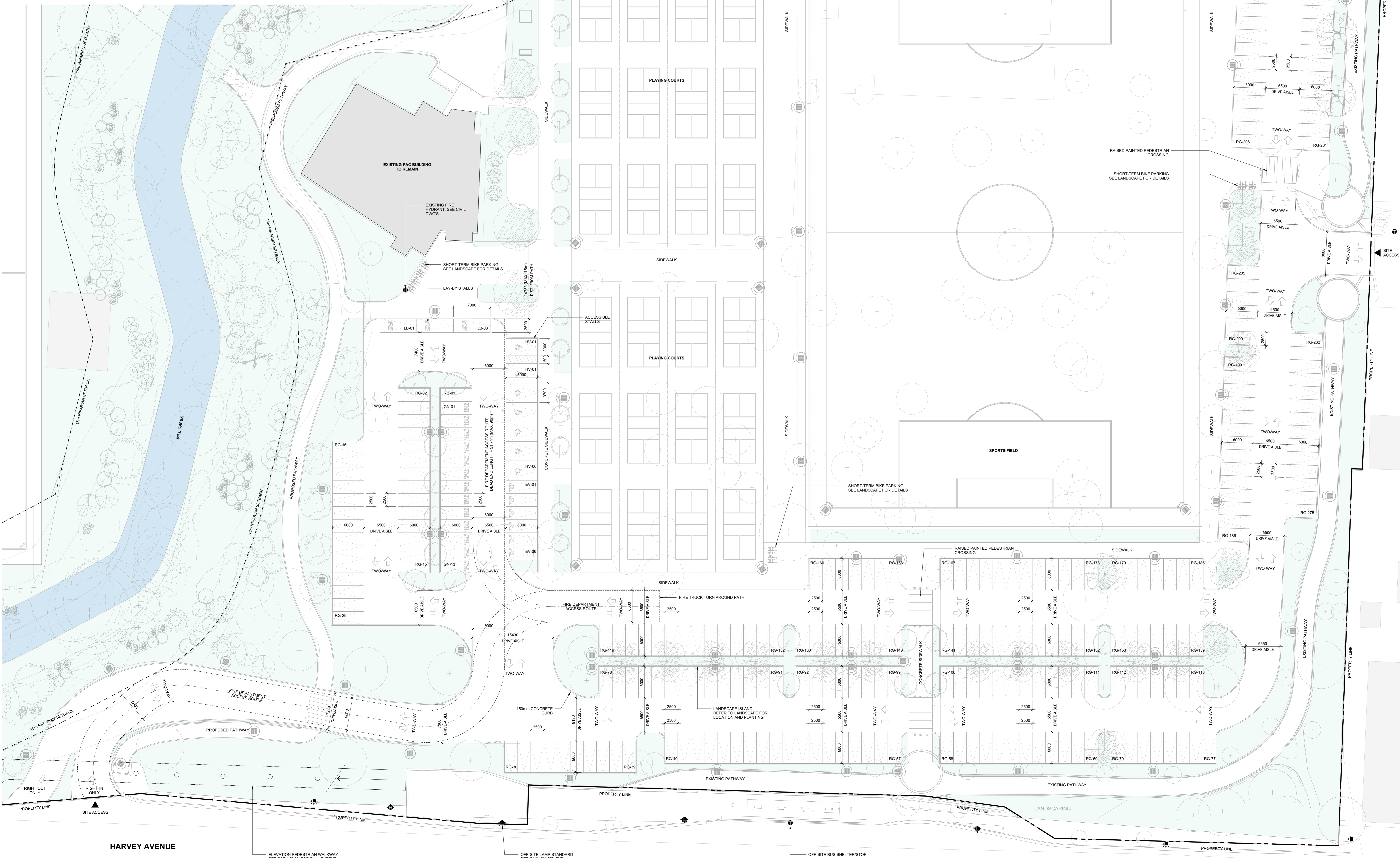
Parking Area 'C' - Enlarged  
 As Indicated  
**DP-A014**  
 38

**Parking Schedule**

Area	Stall Type	Parking Code	Count
Area A	15 Minute Stall	ST	6
Area A	EV Stall	EV	4
Area A	Green Stall	GN	12
Area A	HC Stall Regular	HC	2
Area A	HC Stall Van	HV	1
Area A	Low-Ry Stall	LB	5
Area A	Loading Stall	LD	4
Area A	Parallel Stall	PL	5
Area A	Regular Stall	RG	152
Area B			191
Area B	EV Stall	EV	6
Area B	Green Stall	GN	6
Area B	HC Stall Regular	HC	6
Area B	HC Stall Van	HV	1
Area B	Low-Ry Stall	LB	2
Area B	Parallel Stall	PL	4
Area B	Regular Stall	RG	203
Area B			234
Area C			6
Area C	EV Stall	EV	6
Area C	Green Stall	GN	13
Area C	HC Stall Regular	HC	6
Area C	HC Stall Van	HV	1
Area C	Low-Ry Stall	LB	3
Area C	Regular Stall	RG	275
Area C			304
Total Stalls Provided:			729



**Parking Area Key Plan**  
 1:3750



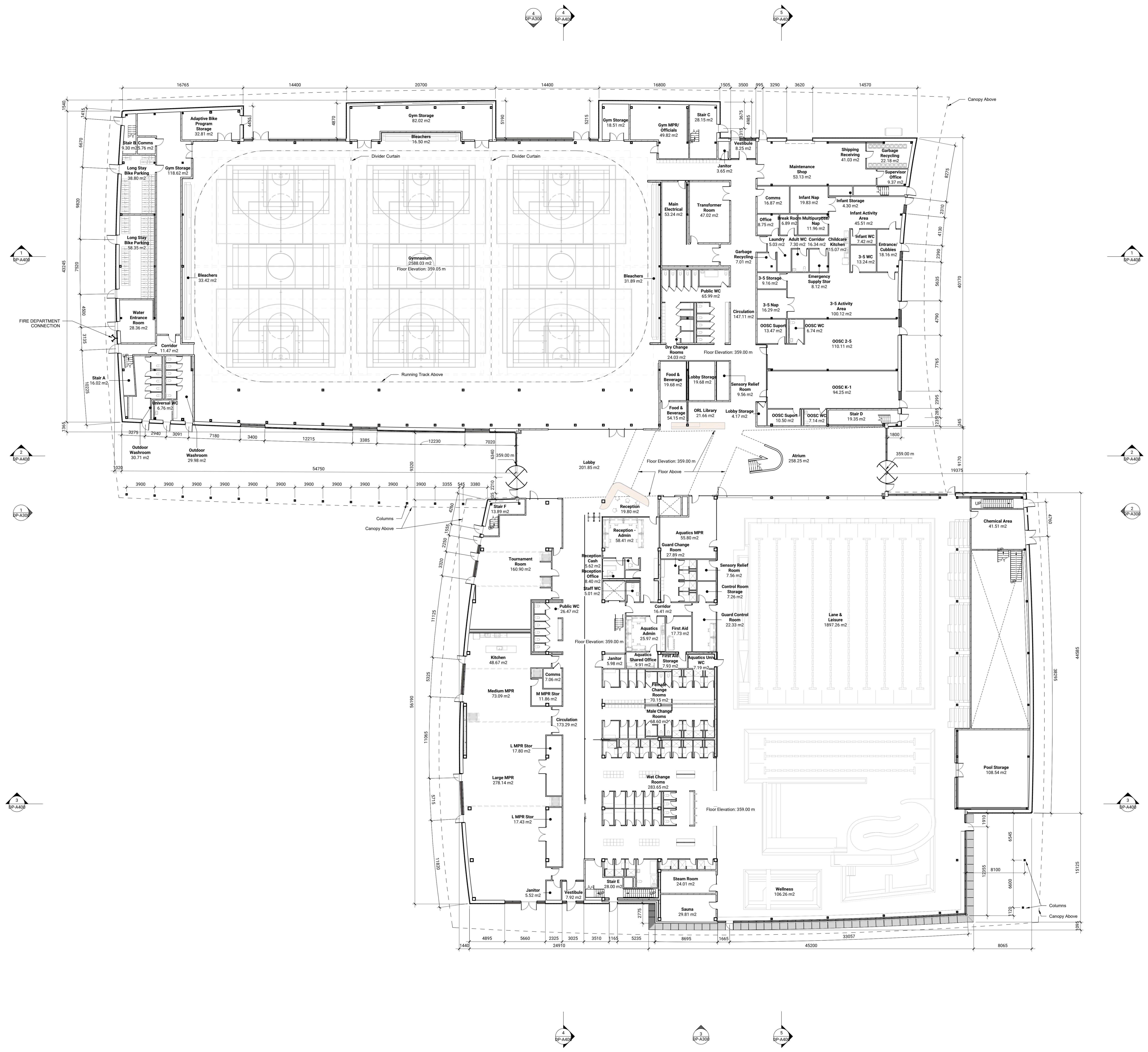
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DEVELOPMENT PLANNING

NOT FOR CONSTRUCTION

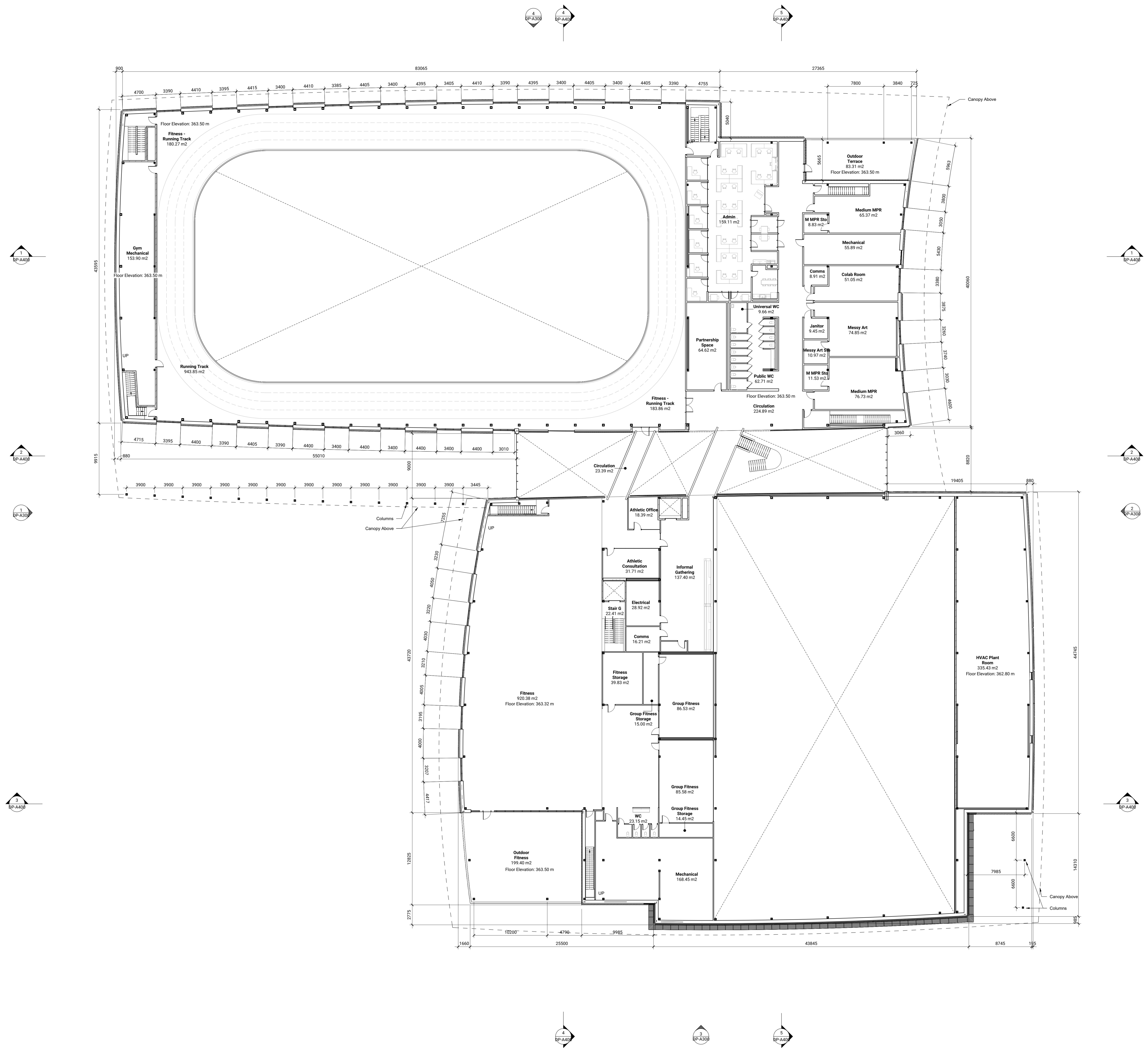
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BSK - Parkinson Recreation Center  
231054

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Issued No.	Date	Description
1	02/28/2025	Issued for Development Permit



**SCHEDULE A**  
This forms part of application # DP25-0050

Planner Initials: MT

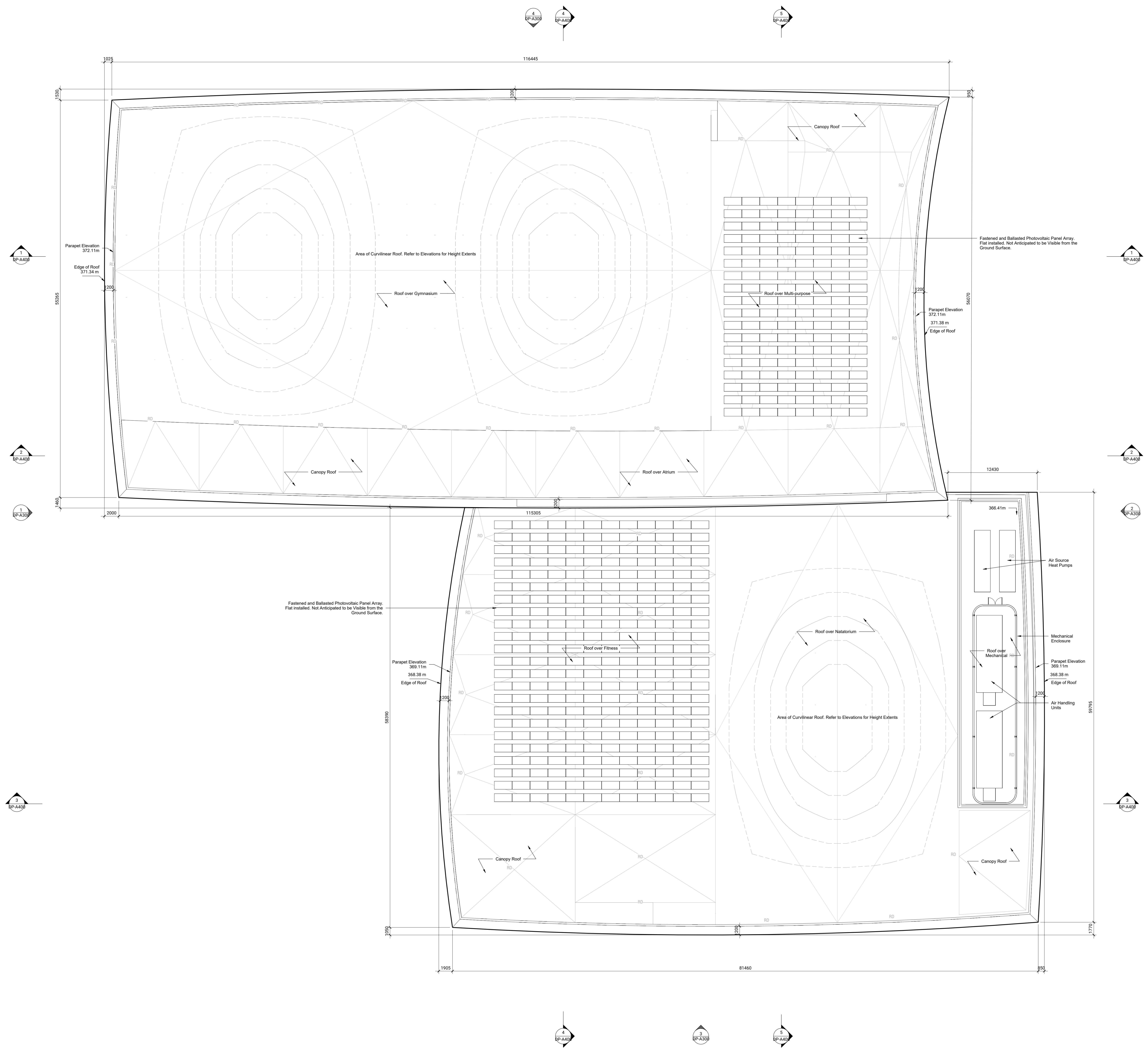
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A:\sketch\Drawings\Building Storage Kelowna BSK\DP-A102\02-DP-A102-Floor Plan.dwg



Issued No.	Date	Description
1	02/28/2025	Issued for Development Permit



**SCHEDULE A**  
 This forms part of application  
 # DP25-0050  
 City of Kelowna  
 DEVELOPMENT PLANNING  
 Planner Initials: MT

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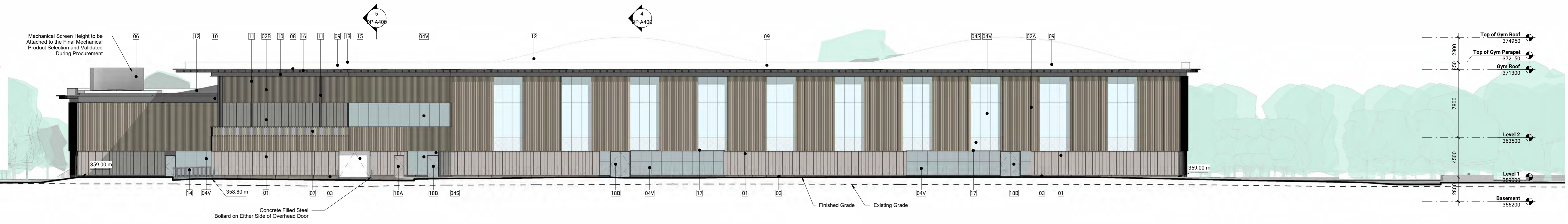
BSK - Parkinson Recreation Center  
 231054

Roof Plan  
 1:200  
**DP-A103**  
 42

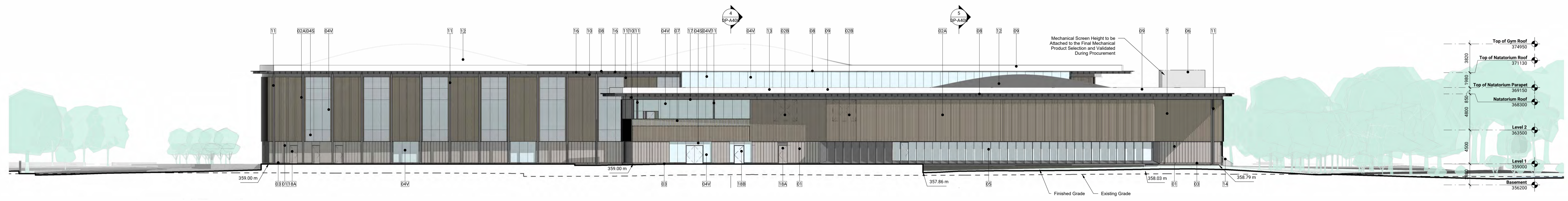
2025-02-26 12:54:15 PM Autodesk Docs/Building Storage/Kelowna/PROJECTS/PC/BK/DP25-0050/116445\_9900.dwg



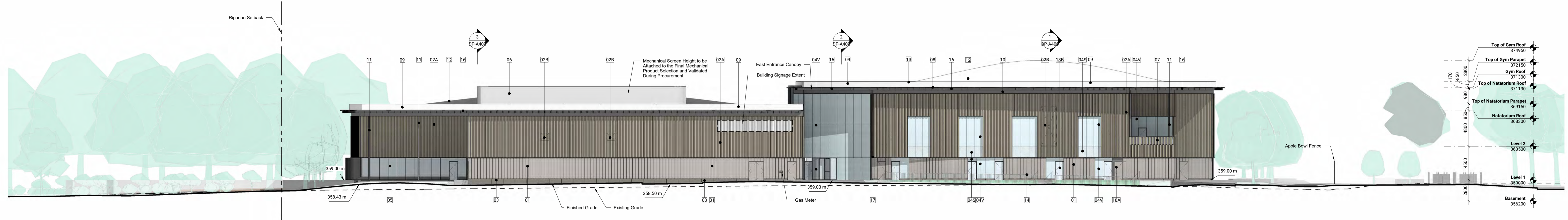
- Exterior Material Tags**
1. Exterior Cladding Panel 1 (Lower) - Cement Panel
  2. Exterior Cladding Panel 2 (Upper) -  
2A. Coloured Metal Breakshape Panel  
2B. Coloured Metal Breakshape Panel - Perforated
  3. Exterior Cladding Panel 3 (Base) - Concrete Precast Panel
  4. Glazing Type 1 - Coloured Metal Frame and Clear Glass  
4S. Spandrel Panel
  5. Glazing Type 2 - Deep Coloured Metal Frame to match Exterior Cladding Panel 1 (Lower) and Clear Glass (Natorium)
  6. Mechanical Equipment Screen - Coloured Perforated Metal Panel
  7. Picket Guard - Coloured Metal Extrusion
  8. Canopy Fascia Cladding - Coloured Metal Cladding
  9. Parapet Cladding Type 1 - Metal Cladding to match Exterior Panel 2 (Upper)
  10. Fascia Cladding - Metal Cladding to match Exterior Panel 2 (Upper)
  11. Painted Steel Columns
  12. Exposed Roof Membrane to match Exterior Panel 2 (Upper)
  13. PV Array Roof Beyond
  14. Exterior Railing - Coloured Metal Railing to match Glazing Type 2
  15. Loading Door to match Exterior Cladding Panel 1 (Lower)
  16. Wood and Painted Metal Structural Canopy Framing
  17. Soffit Cladding - Coloured Metal Panel
  18. Exterior Doors
  - 18A. HM Door Clad with Exterior Cladding 1 Veneer Panel
  - 18B. Glass Door to match Glazing Type 1 [4V]



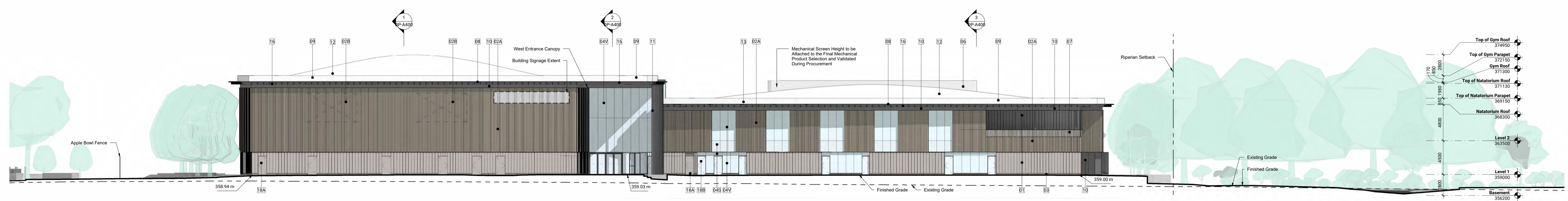
4 Elevation - North  
1:200



3 Elevation - South  
1:200



2 Elevation - East  
1:200



1 Elevation - West  
1:200

Issued No.	Date	Description
1	02/28/2025	Issued for Development Permit

**SCHEDULE B**  
This forms part of application # DP25-0050  
Planner Initials: MT  
City of Kelowna DEVELOPMENT PLANNING

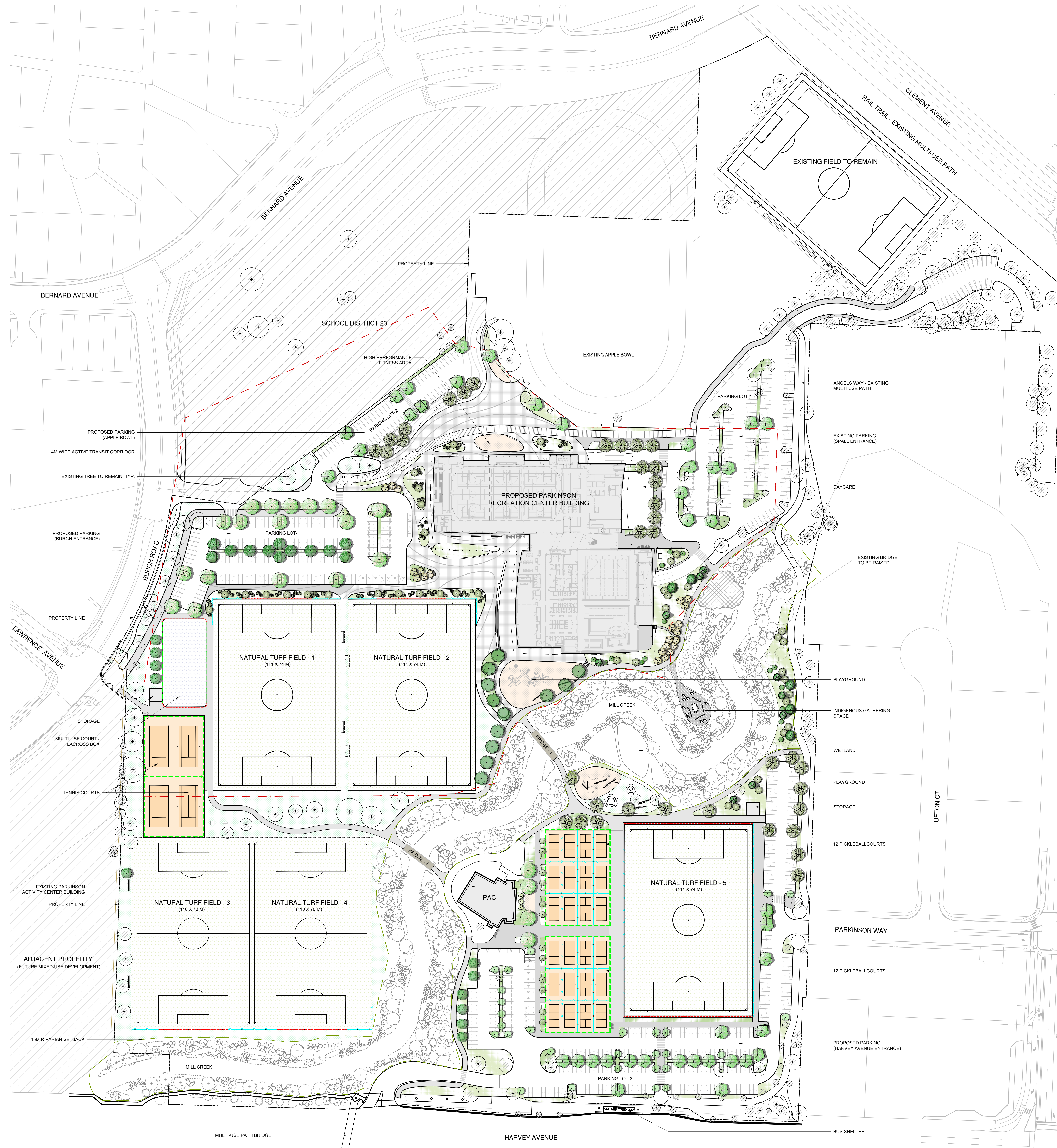


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BSK - Parkinson Recreation Center  
231054





### HARDSCAPE LEGEND

DESCRIPTION	SYMBOL
ASPHALT PATHWAY	[Pattern]
COLOURED CONCRETE PAVING	[Pattern]
CONCRETE UNIT PAVERS	[Pattern]
MULCH - PLAY AREA	[Pattern]
COMPACTED AGGREGATE	[Pattern]

### SOFTSCAPE LEGEND

DESCRIPTION	SYMBOL
TREE PLANTING	[Symbol]
ORNAMENTAL SHRUB PLANTING	[Symbol]
NATURAL / NATIVE PLANTING	[Symbol]
LAWN	[Symbol]

### FURNITURE LEGEND

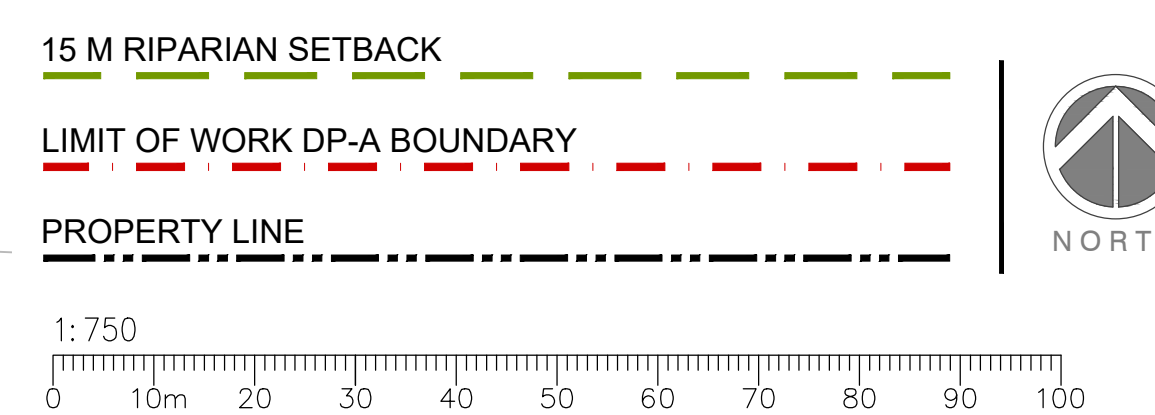
DESCRIPTION	SYMBOL
BENCH - TYPE 1	[Symbol]
BENCH - TYPE 2	[Symbol]
BIKE RACK	[Symbol]
BINS	[Symbol]
BOLLARDS	[Symbol]
WATER FOUNTAIN	[Symbol]
LANDSCAPE BOULDERS	[Symbol]
PLAYERS SHELTER	[Symbol]
BLEACHERS	[Symbol]
LOGS - NATURAL PLAY EQUIPMENT	[Symbol]
PLAY EQUIPMENT	[Symbol]

### FENCE LEGEND

DESCRIPTION	SYMBOL
1.2 M HIGH CHAINLINK FENCE	[Symbol]
2.4 M HIGH CHAINLINK FENCE - TENNIS	[Symbol]
3.6 M HIGH BACKSTOP FENCE	[Symbol]
EXISTING FENCE	[Symbol]

### TREE SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
[Symbol]	Acer glabrum dougasi / Douglas Maple	#15 pot	1.5m ht.	5
[Symbol]	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B&B	4 cm cal.	28
[Symbol]	Acer x freemanii 'Autumn Blaze' / Autumn Blaze Maple	B&B	6cm cal.	40
[Symbol]	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	#15 pot	2.0m ht.	16
[Symbol]	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	B&B	6cm cal.	12
[Symbol]	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	6cm cal.	36
[Symbol]	Magnolia stellata 'Royal Star' / Royal Star Magnolia	B&B	3cm cal.	6
[Symbol]	Parrotia persica / Persian Parrotia	B&B	4 cm cal.	12
[Symbol]	Pinus contorta latifolia / Lodgepole Pine	B&B	2.5m ht.	65
[Symbol]	Pinus ponderosa / Ponderosa Pine	B&B	2.5m ht.	40
[Symbol]	Platanus x acerifolia 'Exclamation' / Exclamation London Plane Tree	B&B	6cm cal.	11
[Symbol]	Populus tremuloides / Quaking Aspen	B&B	4 cm cal.	22
[Symbol]	Pseudotsuga menziesii glauca / Blue Douglas Fir	B&B	2.5m ht.	9
[Symbol]	Tilia tomentosa 'Sterling' / Sterling Silver Linden	B&B	6cm cal.	21
[Symbol]	Zelkova serrata 'Green Vase' / Sawleaf Zelkova	B&B	6cm cal.	12



### REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
2	MV	ISSUED FOR TP1 REVIEW	04-04-2025
1	MV	ISSUED FOR DP REVIEW	25-02-2025

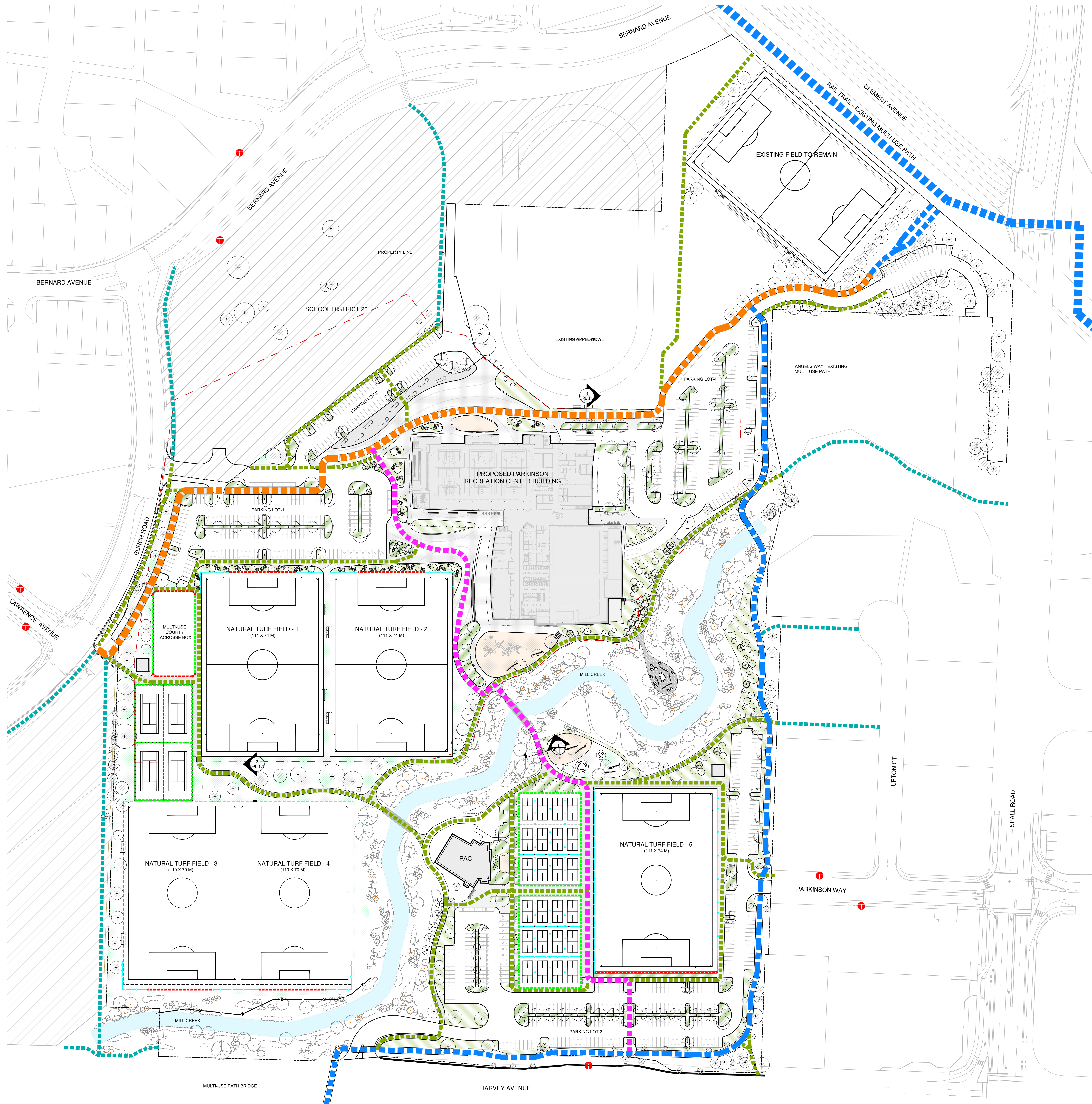
### REVISIONS TABLE FOR SHEET

No.	By	Description	Date
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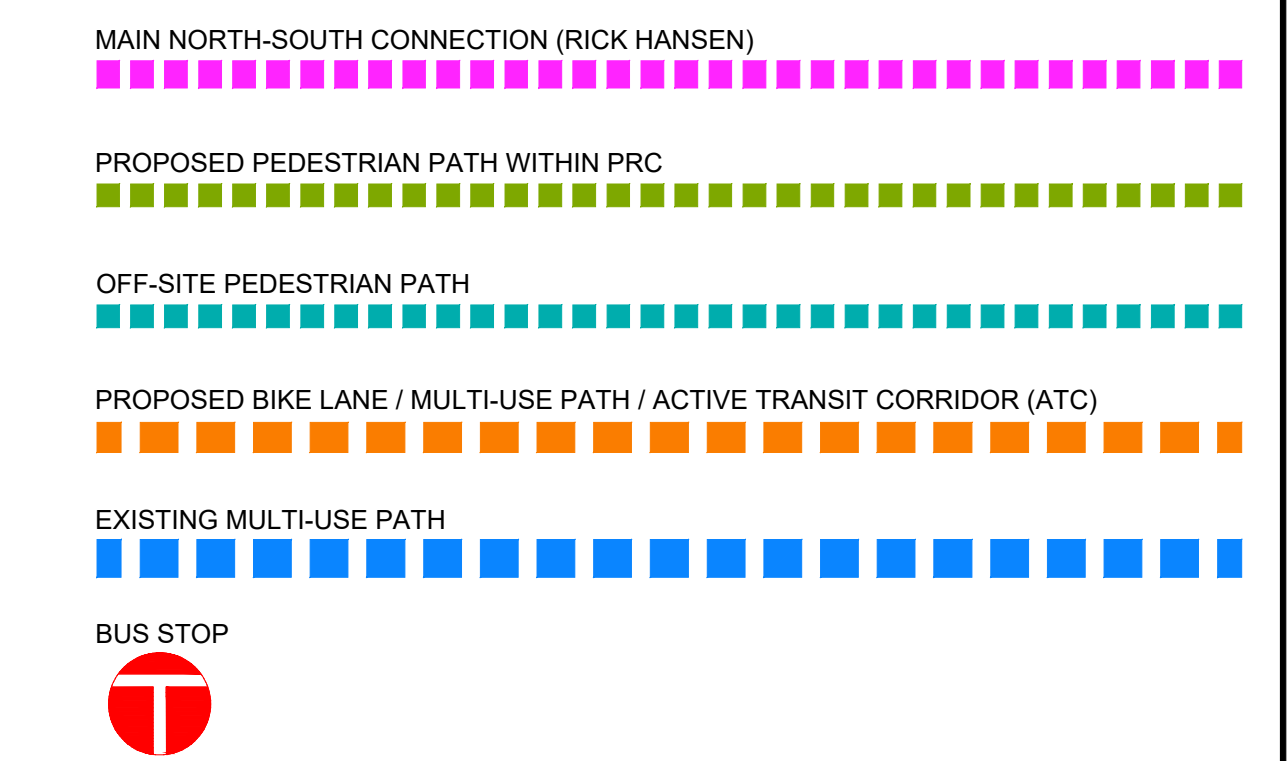
**SCHEDULE C**  
 This forms part of application # DP25-0050  
 Planner Initials: MT  
 City of Kelowna DEVELOPMENT PLANNING

Project: BSK - PARKINSON RECREATION CENTRE  
 Location: Kelowna, B.C.

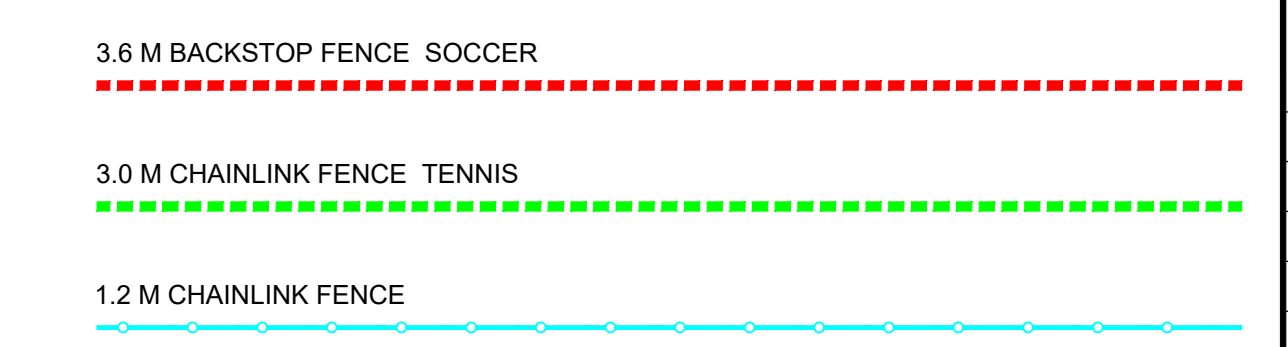




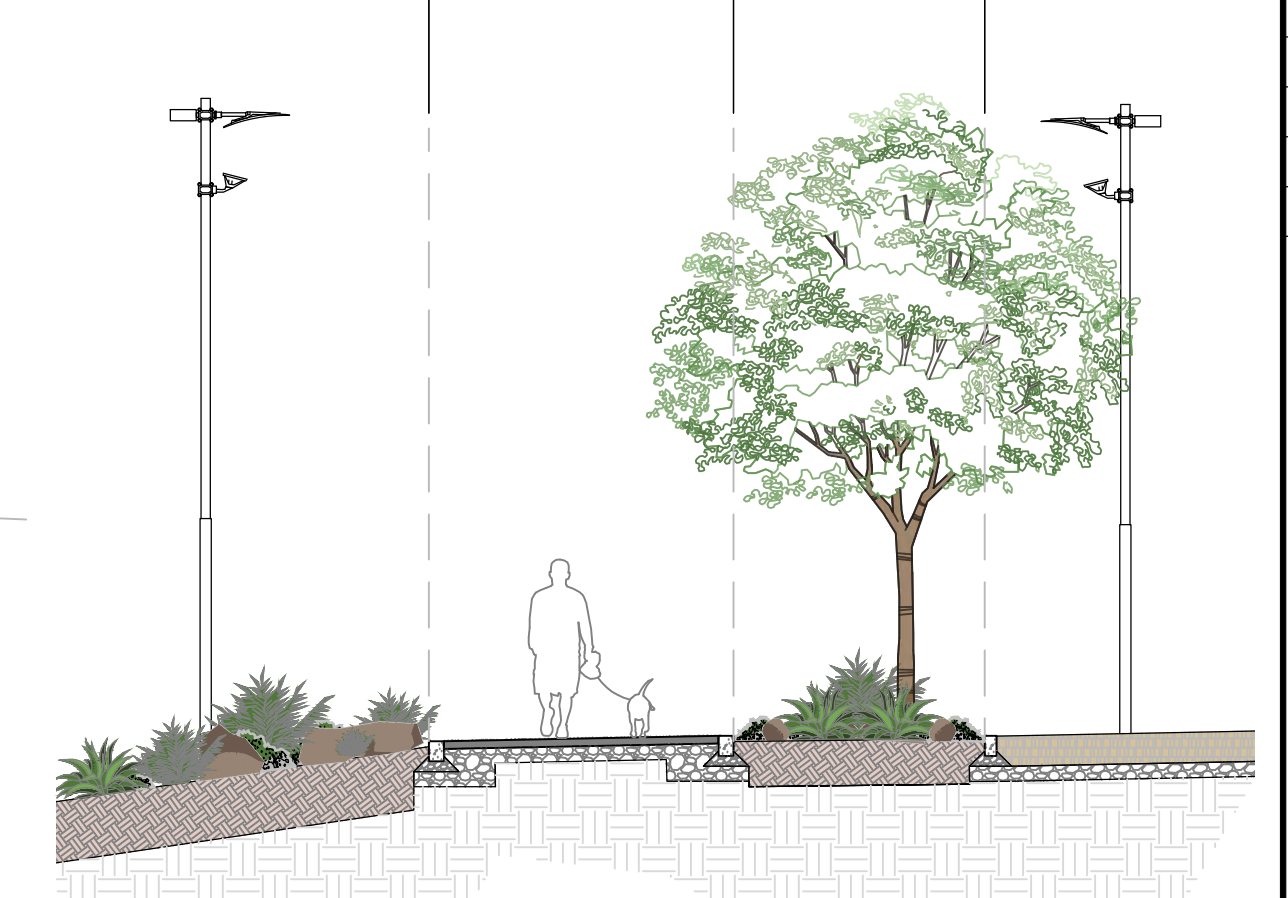
PATHWAY HIERARCHY - BIKING AND MULTI-USE PATH NETWORK



BACKSTOP & BALL CONTROL CHAIN-LINK FENCE

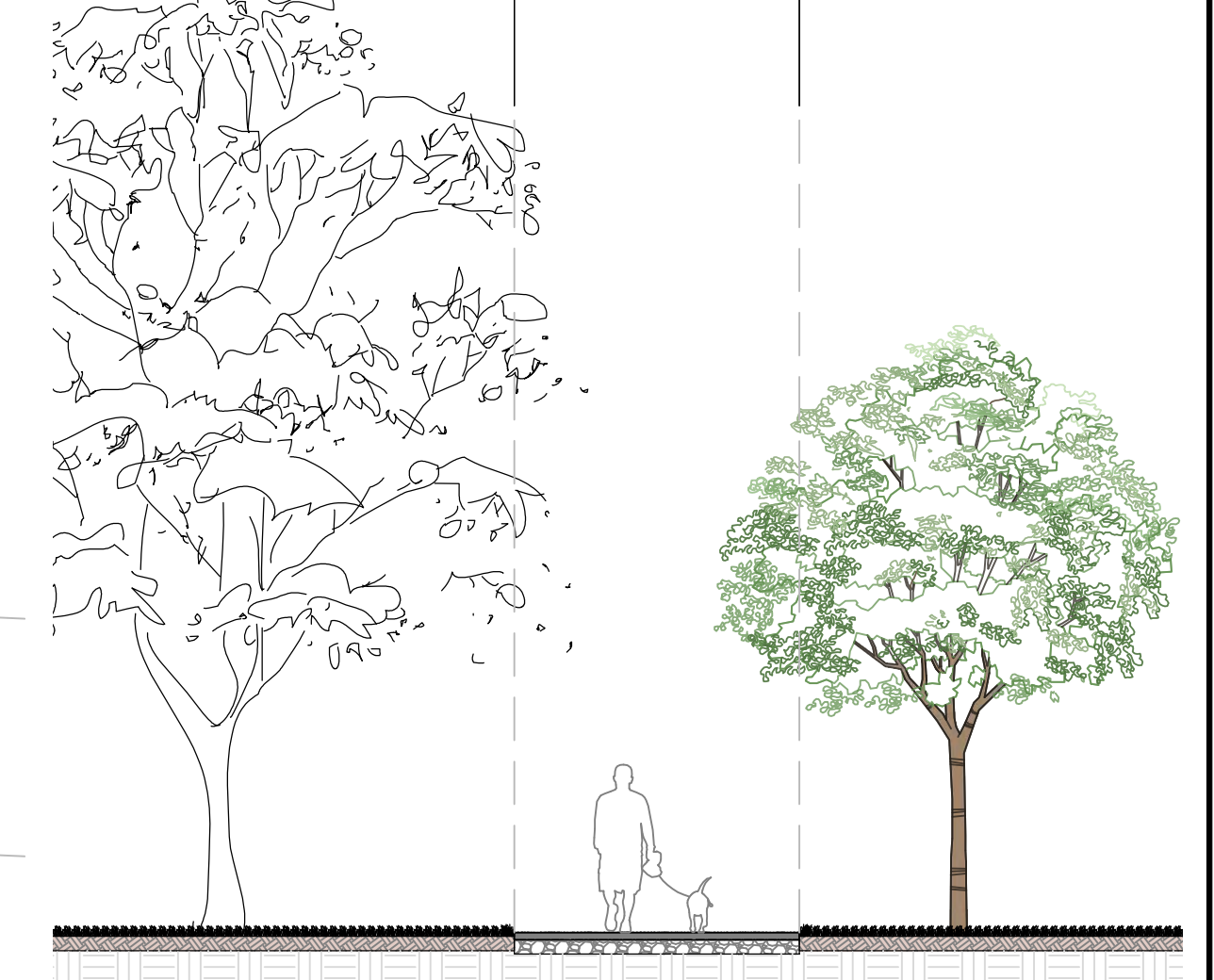


1 Mill Creek 3.00m Asphalt Pathway Planting Bed Natural Play Area



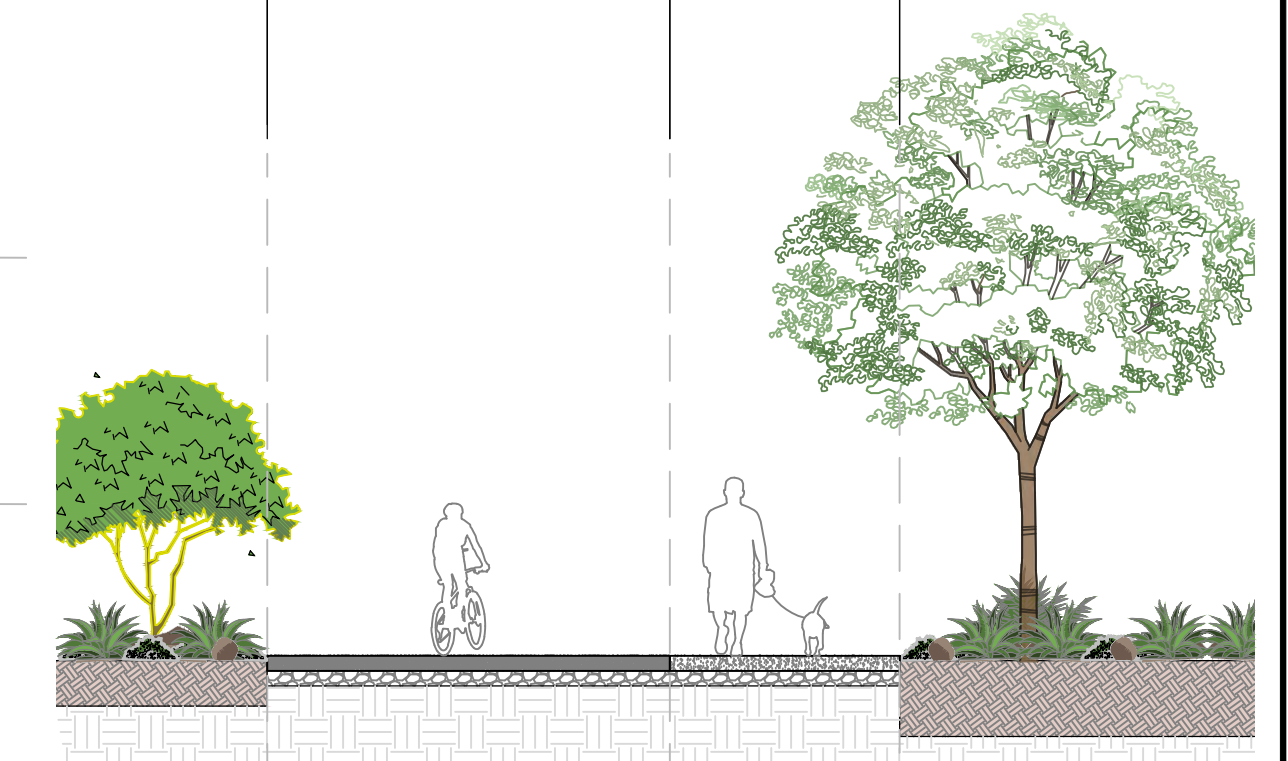
1 MAIN NORTH-SOUTH CONNECTION CROSS SECTION Scale 1:75

2 Open Lawn Area 3.00m Asphalt Pathway Open Lawn Area

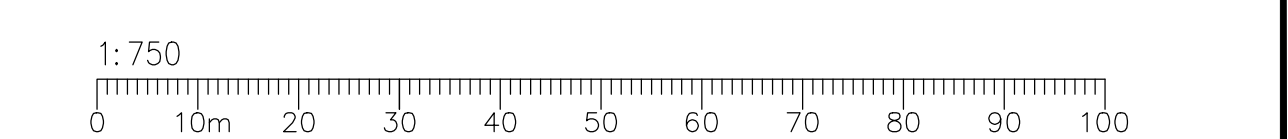


2 PROPOSED PEDESTRIAN PATH - CROSS SECTION Scale 1:75

3 Planting Bed 4.00m Concrete Active Transit Corridor Concrete Pedestrian Walkway Planting Bed



3 ACTIVE TRANSIT CORRIDOR - CROSS SECTION Scale 1:75



No.	By	Description	Date
1	MV	ISSUED FOR DP REVIEW	25-02-2025

REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
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REVISIONS TABLE FOR SHEET

**SCHEDULE C**  
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City of Kelowna DEVELOPMENT PLANNING

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Project: BSK - PARKINSON RECREATION CENTRE


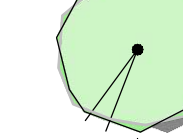


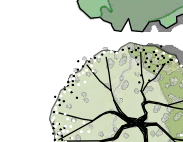

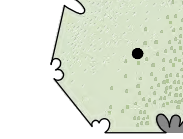
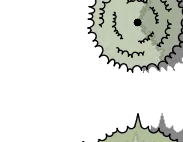



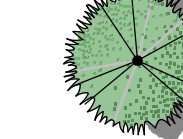

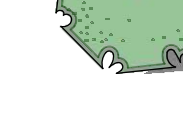


Location: Kelowna, B.C.

MOBILITY PLAN - PATHWAY HIERARCHY



1 DECIDUOUS NATIVE TREES

TREES

-  Acer glabrum douglasii / Douglas Maple
-  Acer x freemanii 'Armstrong' / Armstrong Freeman Maple
-  Acer x freemanii 'Autumn Blaze' / Autumn Blaze Maple
-  Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry
-  Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree
-  Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust
-  Magnolia stellata 'Royal Star' / Royal Star Magnolia
-  Parrotia persica / Persian Parrotia
-  Pinus contorta latifolia / Lodgepole Pine
-  Pinus ponderosa / Ponderosa Pine
-  Platanus x acerifolia 'Exclamation' / Exclamation London Plane Tree
-  Populus tremuloides / Quaking Aspen
-  Populus trichocarpa / Black Cottonwood
-  Pseudotsuga menziesii glauca / Blue Douglas Fir
-  Tilia tomentosa 'Sterling' / Sterling Silver Linden
-  Zelkova serrata 'Green Vase' / Sawleaf Zelkova



ACER GLABRUM VAR. DOUGLASII  
Douglas Maple



POPULUS TREMULOIDES  
Quaking Aspen



POPULUS TRICHOCARPA  
Black Cottonwood

2 NATIVE CONIFERS



PSEUDOTSUGA MENZIESII VAR. GLAUCA  
Mountain Douglas Fir



PINUS PONDEROSA  
Ponderosa Pine



PINUS CONTORTA VAR. LATIFOLIA  
Lodgepole Pine



TILIA TOMENTOSA 'STERLING'  
Sterling Silver Linden



ZELKOVA SERRATA 'GREEN VASE'  
Sawleaf Zelkova



GINKGO BILOBA 'AUTUMN GOLD'  
Autumn Gold Maidenhair Tree



PLATANUS X ACERIFOLIA 'EXCLAMATION'  
Exclamation London Plane Tree



PARROTIA PERSICA  
Persian Ironwood



GLEDITSIA TRI 'SHADEMASTER'  
Shademaster Locust



ACER RUBRUM 'AUTUMN BLAZE'  
Autumn Blaze Red Maple



MAGNOLIA STELLATA 'ROYAL STAR'  
Royal Star Magnolia



AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'  
Autumn Brilliance Serviceberry

5 COLUMNAR DECIDUOUS TREES



ACER X FREEMANII 'ARMSTRONG'  
Armstrong Freeman Maple

3 DECIDUOUS SHADE TREES

No.	By	Description	Date
1	MV	ISSUED FOR DP REVIEW	25-02-2025

REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
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REVISIONS TABLE FOR SHEET

**SCHEDULE C**  
This forms part of application # DP25-0050  
Planner Initials: MT  
City of Kelowna DEVELOPMENT PLANNING

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Project: BSK - PARKINSON RECREATION CENTRE

Location: Kelowna, B.C.

TREE PALETTE

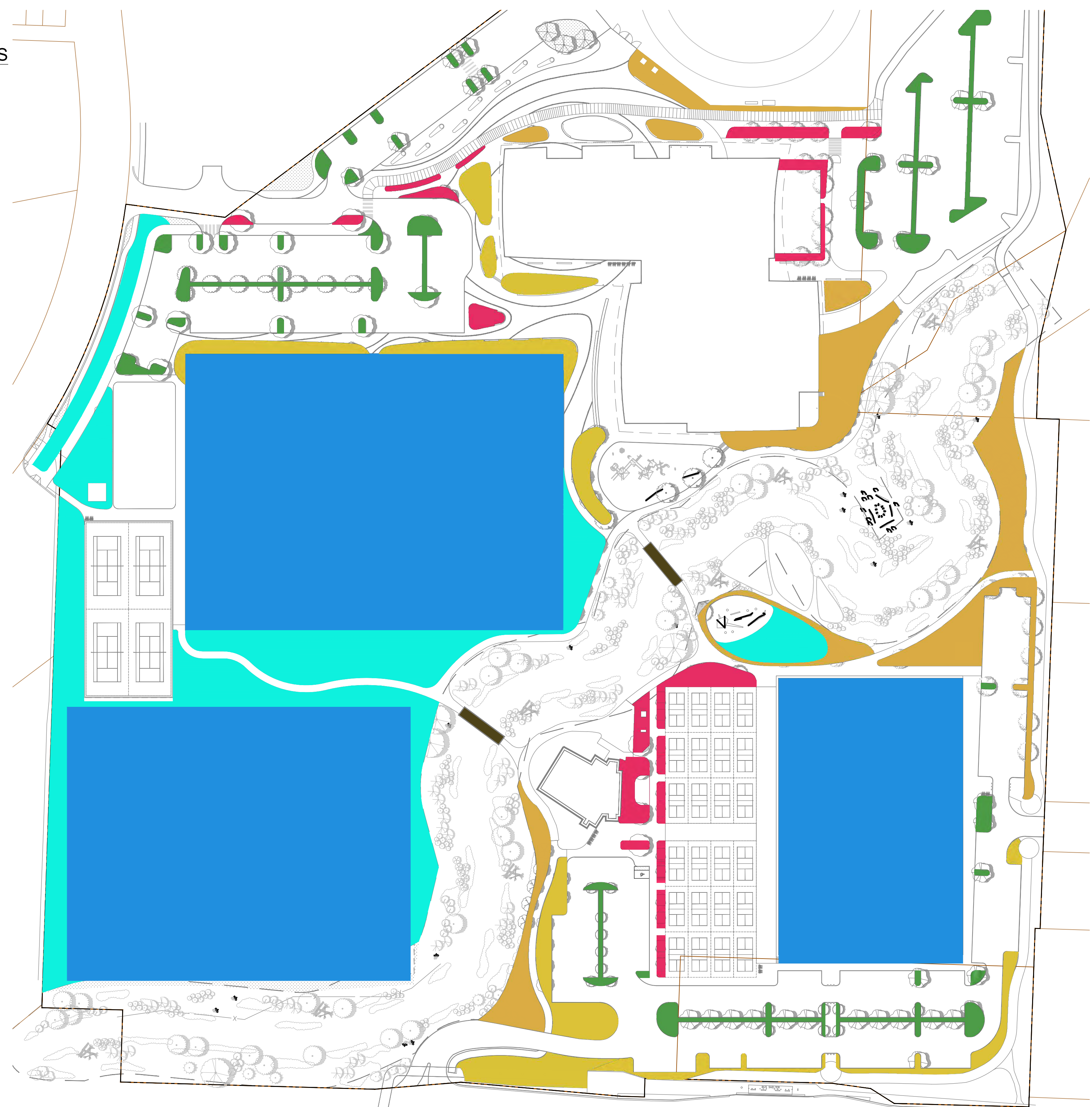


**BLOOM SCHEDULE**

CODE	BOTANICAL / COMMON NAME	EARLY SPRING	MID SPRING	LATE SPRING	EARLY SUMMER	MID SUMMER	LATE SUMMER	EARLY FALL	MID FALL	LATE FALL	EARLY WINTER	MID WINTER	LATE WINTER
<b>SHRUBS</b>													
AME SER	Amelanchier alnifolia / Serviceberry												
A2	Atemisia frigida / Prairie Sagebrush												
A3	Artemisia tridentata / Big Sagebrush												
BER RO2	Berberis thunbergii 'Rose Glow' / Rosy Glow Barberry												
Gm3	Ginkgo biloba 'Mariken' / Mariken Maidenhair Tree												
En	Erica nauseosa / Rabbitbrush												
BER COM	Mahonia aquifolium / Common Barberry												
PHI W12	Philadelphus lewisii / Wild Mockorange												
PHY DI2	Physocarpus opulifolius 'Diablo' / Diablo Ninebark												
Rg2	Rhus aromatica 'Gro-Low' / Gro-Low fragrant sumac												
SPI TOR	Spiraea betulifolia 'Tor' / Birchleaf Spirea												
Sa5	Syringa meyeri 'Anny2013-18' / Flowerfesta Pink Dwarf Korean Lilac												
<b>GRASSES</b>													
FES GLA	Festuca glauca 'Elijah Blue' / Blue Fescue												
HEL SEM	Helictotrichon sempervirens / Blue Oat Grass												
Lc2	Leymus cinereus / Great Basin Wildrye												
PEN HAM	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass												
S2	Sesleria autumnalis / Autumn Moor Grass												
Sa7	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem												
<b>DWARF CONIFERS</b>													
Jb2	Juniperus squamata 'Blue Star' / Blue Star Juniper												
Pk3	Picea omorika 'Karel' / Karel Serbian Spruce												
PIN HHO	Pinus mugo 'Mughus' / Mugo Pine												
<b>PERENNIALS</b>													
ACH MIL	Achillea millefolium / Common Yarrow												
Am3	Anaphalis margaritacea / Pearly Everlasting												
As3	Artemisia schmidtiana 'Silver Mound' / Silver Mound Artemisia												
Ee3	Echinacea x 'PAS702917' / PowWow Wild Berry Coneflower												
Hv2	Heterotheca villosa / Hairy False Goldenaster												
NEP WLO	Nepeta x 'Walker's Low' / Walker's Low Catmint												
RUD GO2	Rudbeckia fulgida sullivanii 'Goldsturm' / Black-Eyed Susan												
SED AU3	Sedum x 'Autumn Joy' / Autumn Joy Sedum												
Sa2	Sidalcea oregano 'Rose Bouquet' / Oregon Checkermallow												

**PLANTING ZONES**

- PARKING LOT
- ORNAMENTAL
- NATIVE
- DESERT ORNAMENTAL
- LAWN AREAS
- SPORTS FIELDS

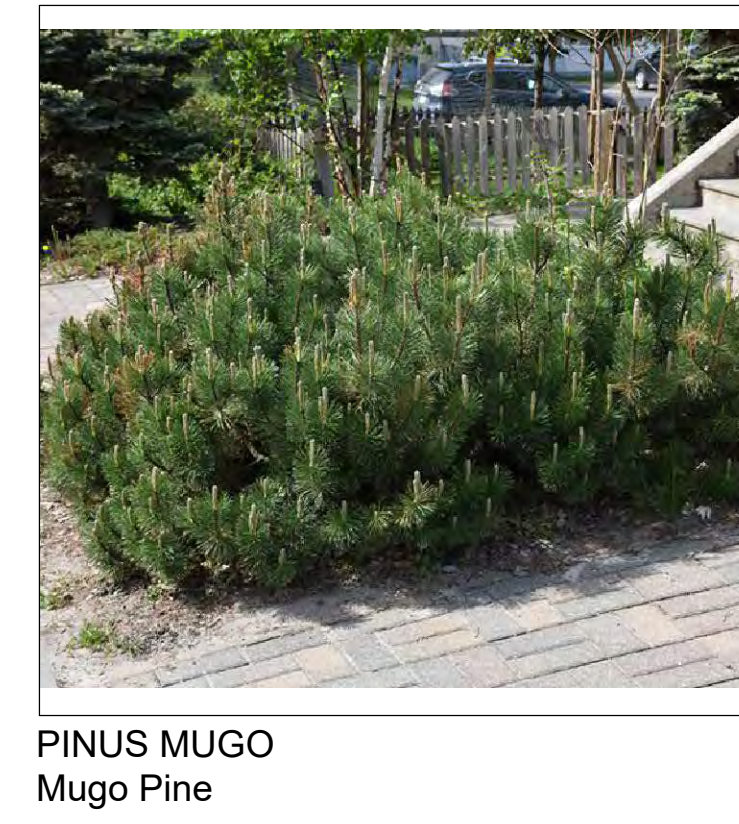
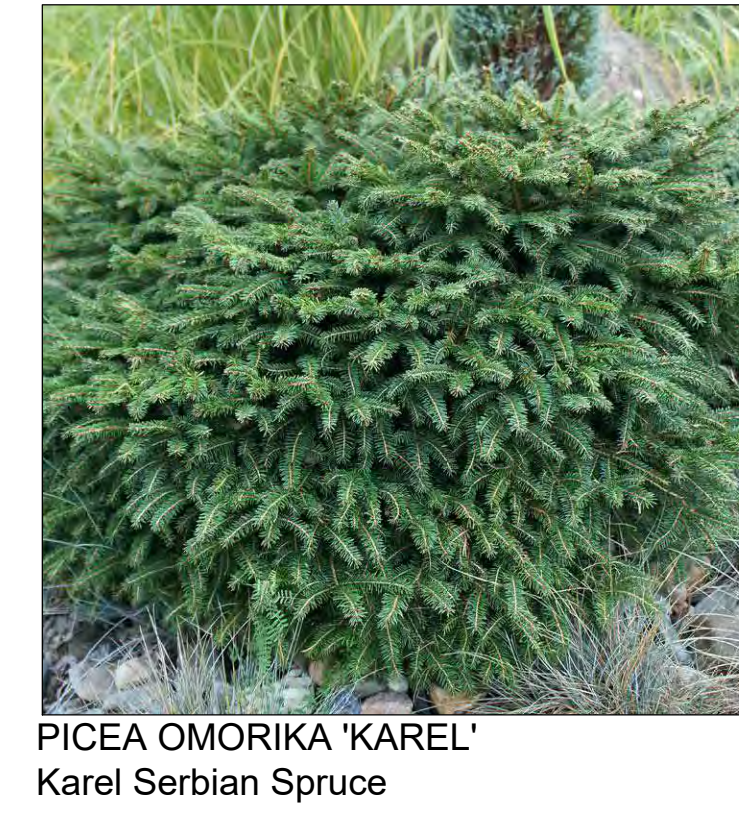
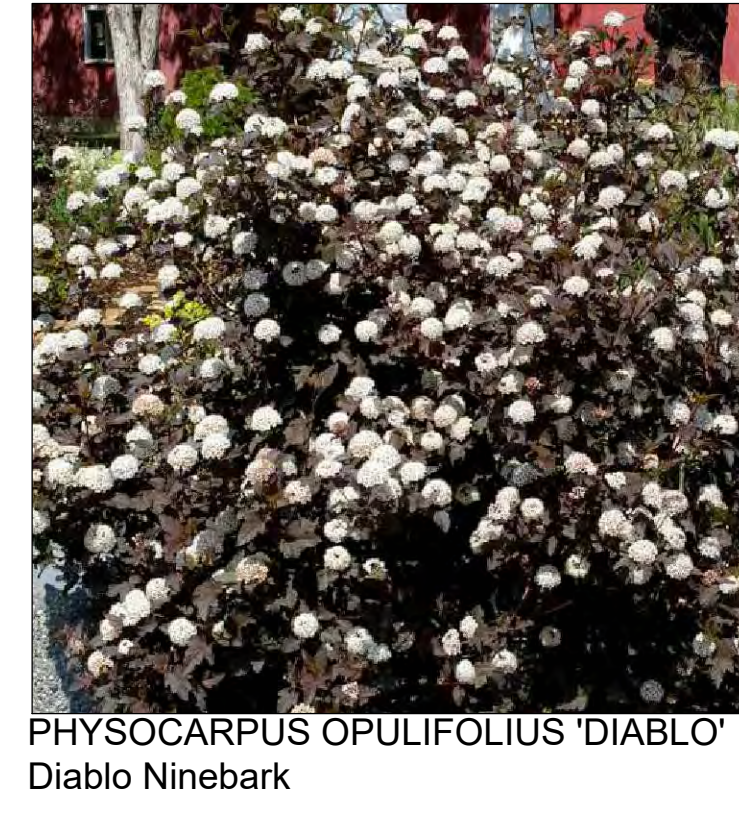
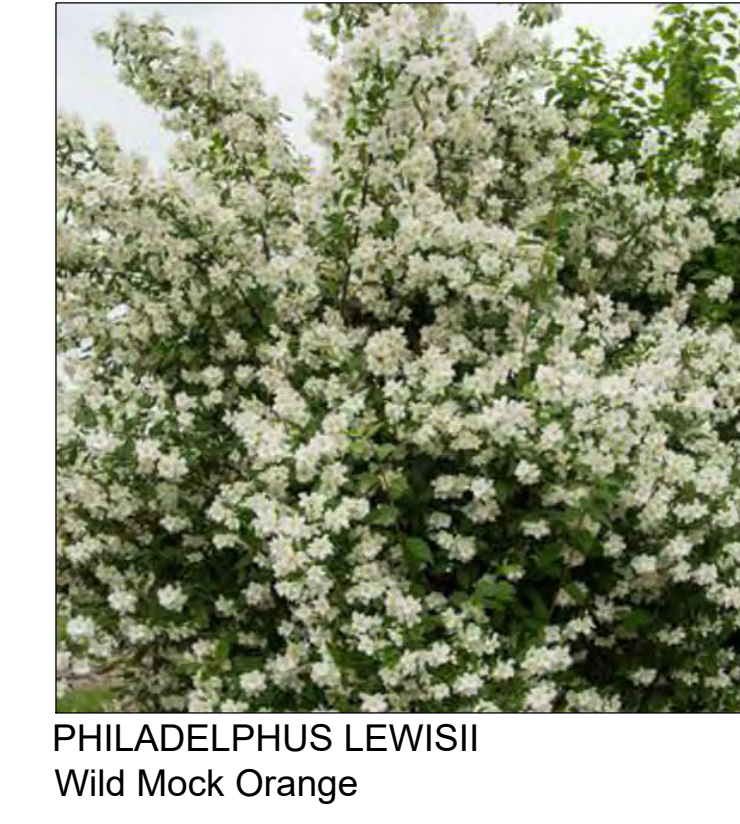


1:1000 0 10m 20 30 40 50 60 70 80 90 100 110 120 130 140 150

**DESERT ORNAMENTAL PLANTING**  
 Artemisia schmidtiana 'Silver Mound' / Silver Mound #1 Pot  
 Artemisia #5  
 Artemisia tridentata / Big Sagebrush #1 Pot  
 Echinacea x 'PAS702917' / PowWow Wild Berry Coneflower #1  
 Helictotrichon sempervirens / Blue Oat Grass #1 Pot  
 Heterotheca villosa / Hairy False Goldenaster #1 Pot  
 Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem #1 Pot  
 Sedum x 'Autumn Joy' / Autumn Joy Sedum #1 Pot



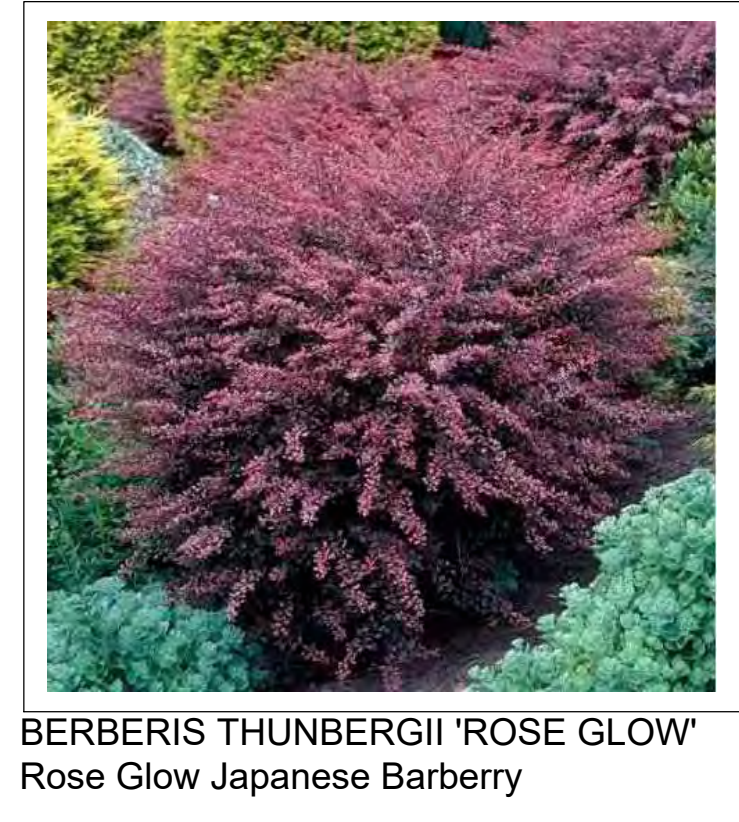
**ORNAMENTAL PLANTING**  
 Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass #1 Pot  
 Philadelphus lewisii / Wild Mock Orange #1 Pot  
 Physocarpus opulifolius 'Diablo' / Diablo Ninebark #1 Pot  
 Picea omorika 'Karel' / Karel Serbian Spruce #10  
 Pinus mugo / Mugo Pine #2  
 Rudbeckia fulgida Goldsturm / Black-eyed Susan #1 Pot  
 Rudbeckia #1 Pot  
 Sidalcea oregano 'Rose Bouquet' / Oregon Checkermallow #1 Pot



**NATIVE PLANTING**  
 Achillea millefolium / Common Yarrow #1 Pot  
 Amelanchier alnifolia / Serviceberry #5  
 Anaphalis margaritacea / Pearly Everlasting #1  
 Artemisia frigida / Prairie Sagebrush #1 Pot  
 Ericameria nauseosa / Rubber Rabbitbrush #1 Pot  
 Leymus cinereus / Great Basin Wildrye #1 Pot  
 Mahonia aquifolium / Oregon Grape #2



**PARKING LOT PLANTING**  
 Berberis thunbergii 'Rose Glow' / Rose Glow Japanese Barberry #2  
 Ginkgo biloba 'Mariken' / Mariken Maidenhair Tree #5  
 Juniperus squamata 'Blue Star' / Blue Star Juniper #2  
 Nepeta racemosa 'Walker's Low' / Walker's Low Catmint #1 Pot  
 Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac #1 Pot  
 Sesleria autumnalis / Autumn Moor Grass #1 Pot  
 Spiraea betulifolia 'Tor' / White Frost Birchleaf Spirea #2



No.	By	Description	Date
1	MV	ISSUED FOR DP REVIEW	25-02-2025
REVISIONS TABLE FOR DRAWINGS			
REVISIONS TABLE FOR SHEET			

**SCHEDULE C**  
 This forms part of application # DP25-0050  
 City of Kelowna  
 Planner Initials: MT

Z:\PROJECTS\PALETTE & RECREATION\PROJ-13\KELOWNA\POS\_DRAWINGS\PALETTE\_4\_PLANTING\_PALETTE\_AND\_PROTOTYPE.DWG



**FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES**

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 7.0 INSTITUTIONAL						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>6.1 General Guidelines</b>						
<b>6.1.1 General Guidelines</b>	N/A	1	2	3	4	5
a. Design institutional buildings to respond to the Design Foundations and General Guidelines while respecting the need for functional (e.g. access or parking) or site-specific design solutions.						✓
b. Key institutional buildings may incorporate landmark or emblematic design features, such as prominent vertical elements, significant corner treatments, and entry plazas or large extensions of the public realm.						✓
c. In large-scale projects, demonstrate variety in massing and materiality.						✓
d. Design buildings such that their form and architectural character reflect the building’s internal function and use (e.g. a school, a hospital, a museum).						✓





# Building a Stronger Kelowna

Redevelopment of  
Parkinson Recreation Center

**ATTACHMENT C**  
This forms part of application  
# DP25-0050

Planner Initials **MT**



City of **Kelowna**  
DEVELOPMENT PLANNING



Development Permit Design Rationale Booklet V1 Submission: February 28th 2025



## Land Acknowledgment

The City of Kelowna and the IPD Team acknowledges our presence on the traditional, ancestral, and unceded **t̓m̓x̓w̓úlaʔx̓w̓** of the syilx / Okanagan people who have resided here since time immemorial.

**t̓m̓x̓w̓úlaʔx̓w̓** means the land and everything that lives and interacts on it. It is an all-encompassing word that expresses the intersectionality of land and nature.

We recognize, honour, and respect the syilx / Okanagan lands upon which we live, work, and play.





Owner  
**City of Kelowna**  
1435 Water Street, Kelowna, BC V1Y 1J4  
T: (250)-469-8820



IPD & LEAN Practice Advisors + Project Manager  
**Colliers Project Leaders**  
1499 St. Paul Street, Suite 805, Kelowna, BC V1Y 6P2  
T: (250)-317-7328



Architect  
**Diamond Schmitt Architects**  
1050 W Pender St., Suite 2010, Vancouver, BC V6E 3S7  
T: (604)-674-0866



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1. Introduction

**1.1 Project Overview**

This facility will reside on a 19.4 hectare site, easily accessible to pedestrians, cyclists, and transit users, with multiple amenities, including the Apple Bowl, the Parkinson Activity Centre, sports fields, athletics, sports courts, Mill Creek, and access points to the Okanagan Rail Trail. Moreover, its strategic location between two growing urban centres make it a prime canvas for the City's vision.

The new Redevelopment of Parkinson Recreation Centre (RPRC) in Parkinson Recreation Park (PRP) facility is envisioned as a multi-purpose campus that capitalizes on the synergies of these elements, embodying the forward-thinking spirit of the City. The facility components will include a natatorium, gymnasium, fitness and track and training rooms, multiple convertible program and activities rooms, and general administration spaces.

Outdoor amenities include sports field facilities, courts, plazas, playgrounds, and walking and cycling trails.

The RPRC project is proposing a new aquatics and athletics building on the north side of Mill Creek in the general area of the existing tennis courts to replace the existing PRC along with 5 reoriented high quality sports fields, tennis courts, a multi-sport court, among other site amenities.

The plan for the southeast portion of the site is to demolish the existing PRC and retain the PAC building. This demolition allows for the construction of a new sports field, and new pickle-ball courts.

The project will also include improvements to Mill Creek focusing on mitigating the anthropogenic effects of urbanization by improving the aquatic and riparian habitats in the Mill Creek corridor.



## 2. Context

### 2.1 Site Description

This site is located in 1700-1800 Parkinson Way, bounded on the east by Spall Rd, on the south by Harvey Ave, to the north by another site for school development. This site is primarily designated for recreational and community use. The land is home to the Parkinson Recreation Centre, a comprehensive facility offering various fitness, aquatic programs and community programs.

This site is uniquely divided by Mill Creek, a natural feature that flows from the east side of the Okanagan Basin and into Okanagan Lake in the city centre.

The surrounding land use is predominantly focused on recreational activities, providing residents and visitor with ample opportunities for sports, fitness, community connection and to be in nature.

### 2.2 Surrounding Land Uses

The area surrounding the site, encompasses a mix of residential, commercial, and recreational uses.

To the north and east of this site, there are established residential neighbourhoods characterized by single-family homes and low-rise apartments. These communities provide housing options for a diverse populations.

West of the site, along Harvey Avenue (Highway 97), lies a commercial corridor featuring various businesses, including retail stores, restaurants, and service providers. This area serves as a hub for shopping and dining, catering to both residents and visitors.

This diverse mix of land uses contributes to a vibrant community atmosphere, balancing residential living with commercial amenities and recreational opportunities.

Locating at centre of Landmark District, the site is surrounded by transit supportive corridors, providing convenient public access from the surrounding neighbourhoods.

#### Legend

- OCP 2040 Transit Supportive Corridors
- UC - Urban Centre
- VC - Village Centre
- C-NHD - Core Area Neighbourhood
- C-HTH - Core Area-health District
- C-HER - Heritage Conservation Area
- S-RES - Suburban Residential
- S-MU - Suburban Multiple Unit
- R-RES - Rural Residential
- R-AGR - Rural-Agricultural & Resource
- RCOM - Regional Commercial Corridor
- NCOM - Neighbourhood Commercial
- IND - Industrial
- EDINST - Education / Institutional
- PARK - Park and Open Space
- REC - Private Recreational
- NAT - Natural Area
- TC - Transportation Corridor
- PSU - Public Service Utilities
- FNR - First Nations Reserve

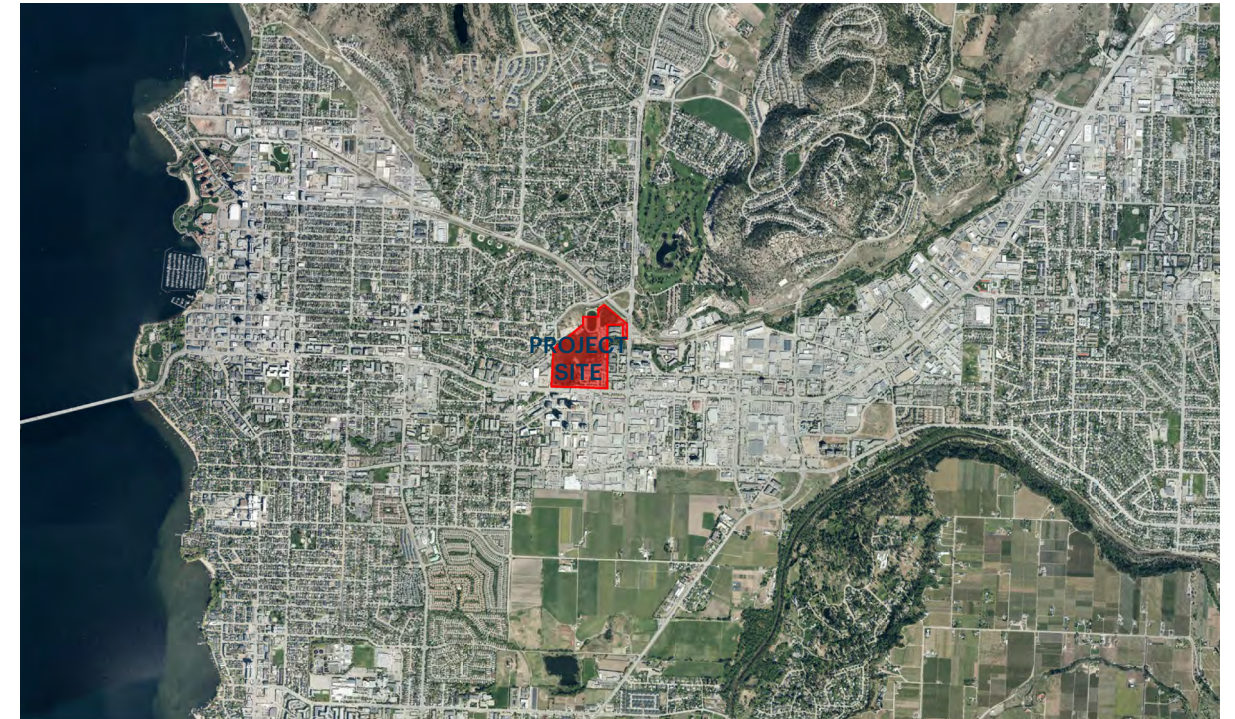


Fig 2.1 Site Location

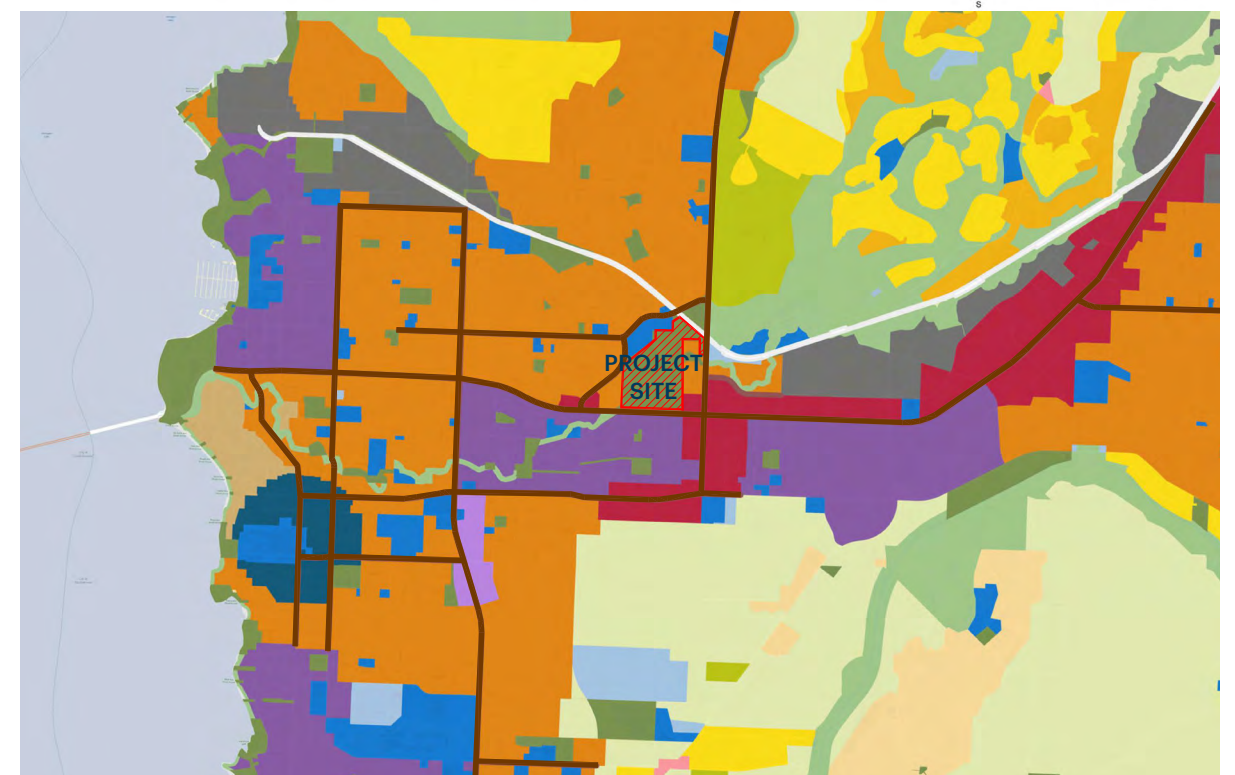
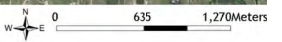
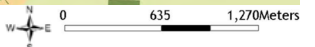


Fig 2.2 Surrounding Land Uses Map - OCP 2040





### 2.3 Network Connectivity

The vicinity is served by multiple bus routes, including the rapid transit line, facilitating convenient travel to key destinations such as downtown Kelowna and the University of British Columbia Okanagan campus. The nearest bus stops, such as Parkinson at Ufton and Enterprise at Spall, are within a short walking distance, approximately 3 to 5 minutes away.

The area benefits from proximity to major thoroughfares, notably Harvey Avenue (Highway 97), which provides efficient routes for vehicular travel across the city and to neighboring regions.

The OCP envisions road network improvements to strengthen the road network, increasing connectivity and redundancy within the urban centre. Providing more opportunities to travel east-west within the urban centre for pedestrians, cyclists, transit users, and drivers. Making active modes of transportation a safe and convenient option.

#### Legend

- Repaid Transit
- Frequent Transit Network
- Future Frequent Transit Network
- Bike - Existing Primary
- Bike - Future Primary
- Bike - Existing Secondary
- Bike - Future Secondary
- BC Transit Bus Stops

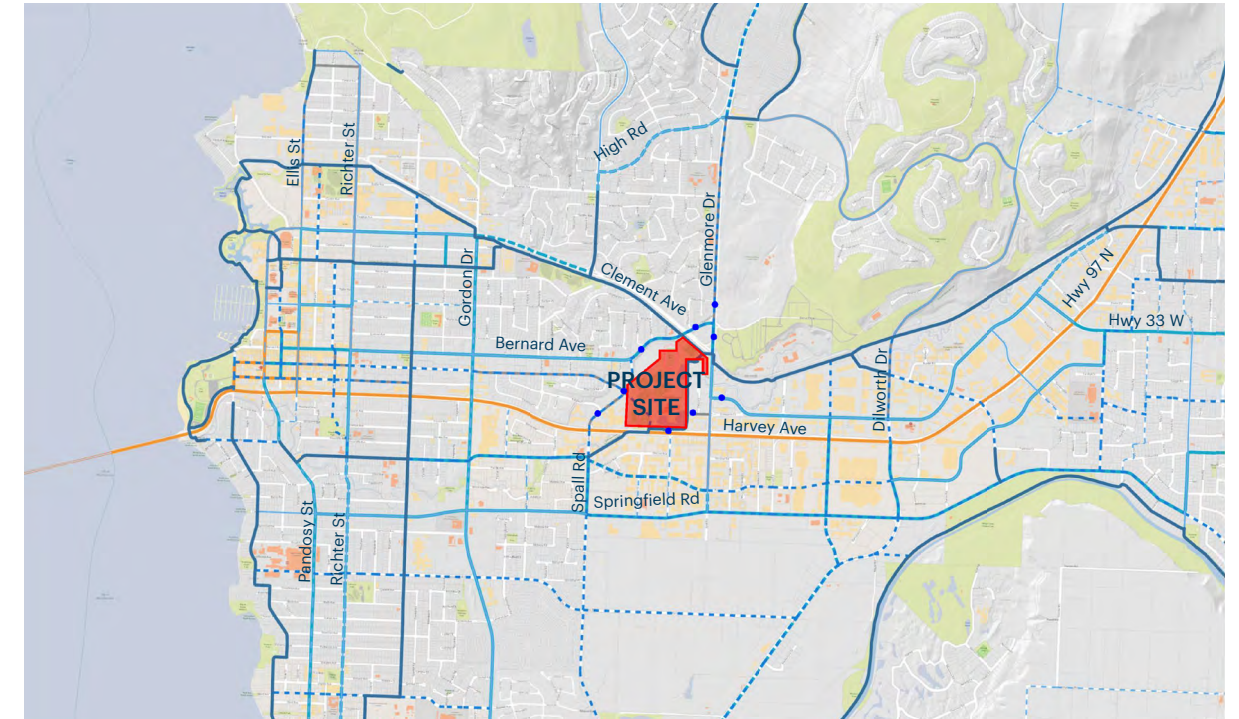


Fig 2.3 Connectivity Network Map - OCP 2040

### 2.4 Local Amenities

The Capri-Landmark area is a vibrant urban centre offering a diverse array of amenities that cater to residents, professionals, and visitors alike.

The Capri Centre Mall features a variety of retail stores, dining options, and essential services, providing convenience for daily needs.

Several creeks run through the area. For example, Mill Creek, one of Okanagan Lake's main tributaries. Also, other smaller water-courses connect to Mill Creek, including Ritchie Brook.

Two parks are located within Capri-Landmark urban centre: Pacific Park, which is host to a successful community garden, and Mary Ann Collinson Memorial Park. Both parks contain play structures and open green spaces.

These amenities contribute to the Capri-Landmark area's appeal as a desirable neighbourhood, balancing residential living with commercial conveniences and recreational opportunities.

#### Legend

- Paved Multi-use Trail
- Wide Gravel Multi-use Trail
- Parks
- Commercial
- Recreation

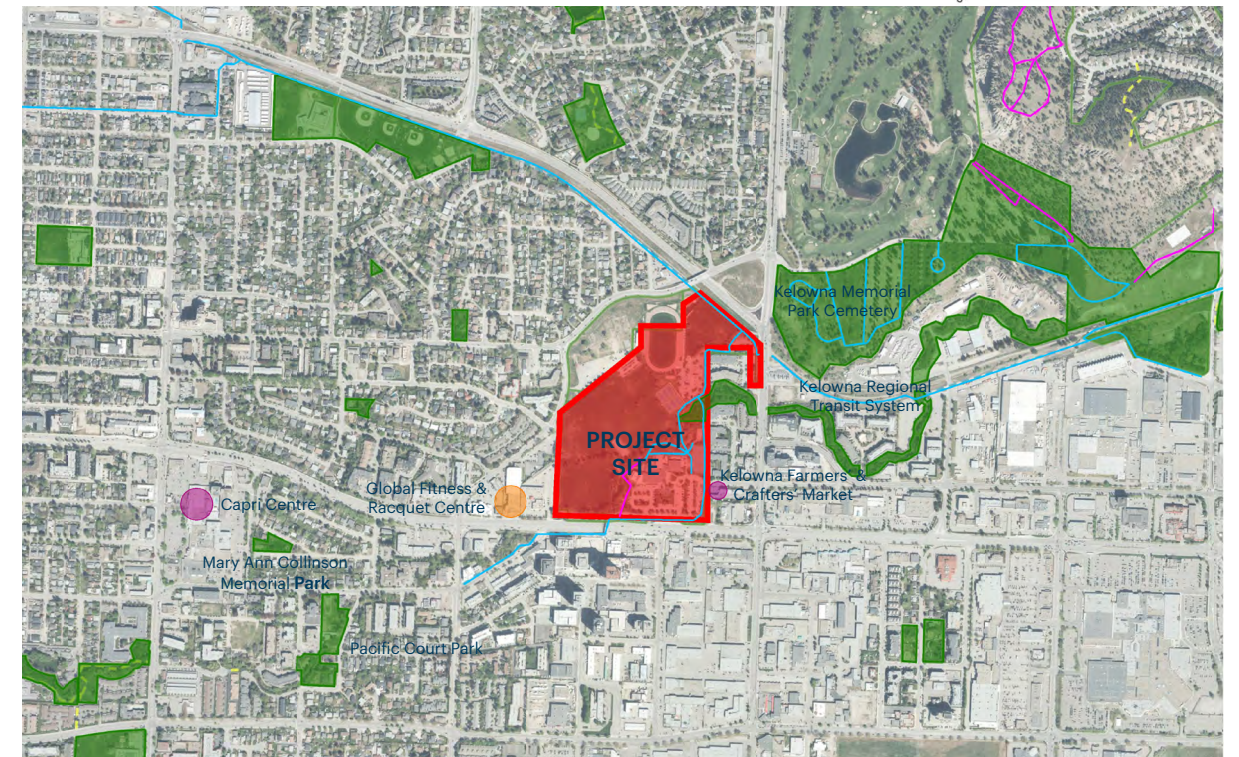


Fig 2.4 Local Amenities



### 3. Vision and Inspiration

#### 3.1 Vision

The redevelopment of Parkinson Recreation Centre (RPRC) has been a priority for the City of Kelowna for over a decade. The Indoor Recreation Facilities Strategy identified the redevelopment of Parkinson Recreation Centre as an important investment in meeting the wellness needs of the community. In 2023, Council approved funding to plan, design, and construct the Building a Stronger Kelowna initiative that included the redevelopment of Parkinson Recreation Centre (RPRC), Parkinson Recreation Park (PRP), all-ages activity centres in Mission and Glenmore, and sports fields in Rutland Recreation Park.

The architectural design and landscape master plan for the Redevelopment of the Parkinson Recreation Centre has set out to achieve a vibrant and inclusive master plan that is uniquely Kelowna. The landscape strives to capture the spirit and essence of the existing Parkinson Recreation Centre through the preservation of the natural open park character while enhancing connectivity, active sport, multi-use open space and opportunities for culturally significant experiences.

#### 3.2 Inspired by Kelowna for Kelowna

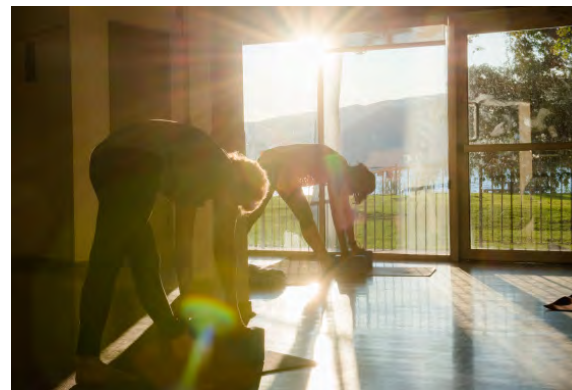
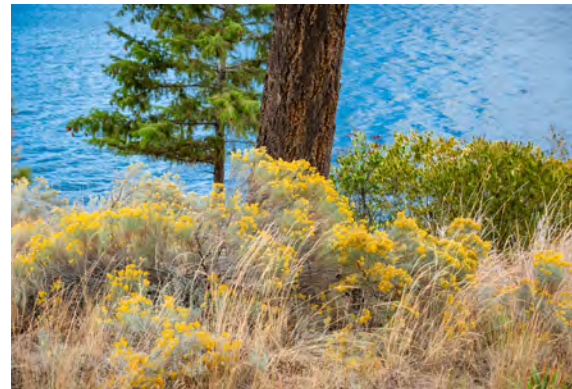
One of the driving forces is to provide a legacy facility that will embody the look and feel of Kelowna. The building's materials, form, and character were inspired by both the material nature of the Okanagan valley as well as influenced significantly by collaboration with syilx

members of the Westbank First Nation who provided knowledge, tours and insight to the stories, material culture and significance of living within the region. In this respect, many elements have come to embody and reflect these traditions.

#### 3.3 Guiding Principles

The project was guided by Kelowna's vision and commitment to community and environmental health. The symbols below have been distributed throughout the document to help identify how these commitments have been implemented into the overall Parkinson redevelopment.

-  Cultivate Partnerships
-  Sustainable
-  Good Stewards
-  People Focused
-  Innovative





The project includes several mandates that informed the approach in terms of design and layout considerations.

 **Indigenous Collaboration**

The building and park design will help achieve reconciliation goals by reflecting the living history of the Okanagan region in collaboration with syilx / Okanagan members of the Okanagan Nation Alliance (ONA) and Westbank First Nation (WFN).

*Refer to Indigenous Collaboration section for additional description.*

 **Inclusion & Diversity**

The commitment to make the new RPRC building a hub of the community and promoting a welcoming, accessible and supportive environment for all visitors. Through consultation, the design accommodates a wide array of user preferences.

 **Accessibility**

Equitable and safe access for people of all abilities is an important part of the design for all City of Kelowna facilities. Provisions to achieve Rick Hansen GOLD Certification have been implemented in the design, many of which go beyond minimum building code in an effort to serve a diverse demographic, and the increased use of all facilities by people with disabilities. City of Kelowna has made a firm commitment to ensure all are afforded full, fair and equal access to all services, programs and facilities.

*Refer to Architecture and Landscape*

 **Sustainability**

The building design identified opportunities to design a high performance, low carbon building which positively contributes to both natural and human ecosystems and supports the Kelowna's broader sustainability objectives.

*Refer to sustainability section for additional description.*

**Campus Siting**

The building was placed to provide a level of separation from adjacent neighbourhood as well as a central hub for the sprawling site. The building provides functional adjacencies to the surrounding landscape to support field sports. As a four sided building, all mechanical and service spaces are designed and positioned to ensure a pleasant pedestrian experience around the entire perimeter of the building.

*Refer to Landscape and Architecture Design Rationale sections for additional description.*

**Diverse Spaces**

Special consideration was provided to pedestrian connections both on and off site.

 **Innovative Design**

The project is innovative in approach and designed to support existing strategies

*Design Rationale for additional description.*

as well as anticipate evolving trends to ensure the facility can service the public for decades to come.

**Transportation**

A well-integrated approach to vehicular site access and parking, active transportation connectivity and transit accessibility, as well as pedestrian movements are thoughtfully considered over the extent of the site.

*Refer to Parking Section for additional description.*

 **Site Security & Safety**

A thoughtful design and the effective use of the built environment has been proposed to address safety and security for pedestrians and infrastructure across the site with the intent of achieving a reduction in crime, and an improvement in the quality of life.

*Refer to Landscape and Architecture Design Rationale sections for additional description.*

 **Planting**

The Parkinson Recreation Park (PRP) planting strategy includes a palette with native and adapted species for warmer and drier conditions. Emphasis has been placed on providing shade through the transplanting, and augmented planting of deciduous trees. Existing trees have been maintained where possible and enhanced planting strategies are being pursued to ensure the natural vibrancy of the campus.

*Refer to Landscape Design Rationale for*

*additional description.*

**Fields**

Sport and recreation are a significant part of Parkinson Recreation Park (PRP) and will be an important part of the redevelopment. The Park will be a destination for field sports and will be able to host provincial, national and international tournaments.

*Refer to Landscape Design Rationale for additional description.*

 **Mill Creek Revitalization**

The project will also include improvements to Mill Creek focusing on mitigating the anthropogenic effects of urbanization by improving the aquatic and riparian habitats in the Mill Creek corridor.

-  Cultivate Partnerships
-  Sustainable
-  Good Stewards
-  People Focused
-  Innovative



## 4. Project Description

### Parkinson Recreation Center

-  Cultivate Partnerships
-  Sustainable
-  Good Stewards
-  People Focused
-  Innovative

#### 4.1 Project Scope Summary

The Redevelopment of the Parkinson Recreation Centre (RPRC) will include several key areas; Athletics, Aquatics, General Program areas, Customer Service and Administration, as well as Building Operations to support the facility.

#### Athletics

The athletic program consists principally of a triple gymnasium capable of supporting competition basketball, volleyball, pickleball, badminton as well as recreation drop-in activity. One main court will allow for event viewing for approximately 1000 spectators with movable retractable seating. The gymnasium will be surrounded by a 4-lane running track with curved corners allowing for recreation and indoor track training. An open Fitness Area will provide strength training, cardiovascular and functional fitness amenity. Two group Fitness Studios adjacent to the Fitness Area will provide space for classes such as aerobics, yoga or dance. An Outdoor Fitness area will be provided, accessible from the open Fitness Area.

#### Aquatics

The Aquatics area is a significant program element and will accommodate a host of user requirements, ranging from recreation drop-in swimming and instruction to large invitational competition events. Additionally, a focus on wellness will allow for therapy and training amenity. The aquatics program includes three areas within the Natatorium; the lane pool, the leisure pool, and the wellness area, which includes hot and cold plunge pools as well

as steam room and sauna. The lane pool will accommodate competition events as well as water polo training, aquatics and swim lessons.

The leisure pool will support recreation activities for children and families as well as provide space for teaching and fitness. The leisure pool will include a gradual stepped entry as well as an accessible ramp. To ensure the leisure pool provides a 'fun factor' various spray water features will be incorporated. Connected to the leisure pool will be a family hot pool, providing a relaxing, warmer social experience. The wellness area will include both an adult hot pool and a cold plunge pool, to be located adjacent the Steam Room and Sauna for therapy and recreational use.

Change Rooms will be provided through two distinct areas. The main Pool Change will be a Family style/ Universal Change room with accessible and private change stalls. There will also be distinct Male and Female Dry Change Rooms also with private and accessible stalls, lockers, washrooms and showers which will serve both the Fitness component as well as opportunity to use the aquatics facility.

#### General Program

A wide range of amenities ensure that community events and activities are accommodated, multi-purpose rooms have been thoughtfully considered to be reconfigurable and able to accommodate a mix of uses and have access to adjacent outdoor space. Next to the large multi-purpose room will be a community teaching kitchen. Three additional multi-purpose rooms will accommodate smaller

groups, including a messy arts space, able to accommodate creative and tactile experiences. A multi-use/tournament room will be provided, able to be subdivided into three separate rooms to accommodate registration when large field-based events are occurring. As well, a dedicated partnership space will be provided.

The Okanagan Regional Library will have a public facing and flexible space, allowing for lending.

There will be a dedicated Childcare and Out of School Care (OOSC) program space. Licensed Childcare will be provided with associated outdoor playground space. Two OOSC spaces will also be provided as well as provide additional multipurpose room space.

Outdoor washrooms integrated within the facility with access from the exterior will provide service for outdoor activities during daylight hours.

An enclosed bicycle parking area will provide secure parking for both staff and patrons.

#### Customer Service

A main public lobby will form the backbone of the facility linking all the program elements upon entry. It will function as the community living room, provide intuitive wayfinding and allow for space to relax as well as view activities. A reception area adjacent the lobby will welcome patrons and provide support for programs, memberships, and provide security to paid and controlled program areas, such as fitness and aquatics. The lobby will be accented with dedicated areas describing the history of the Central Okanagan sport

and particularly Hall of Fame members. A concession area providing food and beverage amenity will flank the lobby as well, providing refreshments for patrons. Throughout the facility, informal gathering spaces will be integrated, providing a pace for lounging, meeting, relaxing or watching and enabling community interaction.

#### Administration

A dedicated facility administration space will be provided with a mix of private offices and open workstations, complimented with meeting space, storage and support. This administration support will likely be distributed to allow for recreation and aquatic support to be adjacent those activities.

#### Building Operations

A dedicated Shipping and Receiving area as well as Garbage and Recycling and a maintenance shop will be provided to ensure the efficient handling, storage and maintenance of materials and equipment. Ease of access to the exterior as well as efficient distribution through the building will be a consideration. Custodial rooms will be efficiently distributed throughout the building.



# Indigenous Collaboration

We are writing as Indigenous Collaborators working alongside the Building a Stronger Kelowna project team, with the approval of Westbank First Nation (WFN) and the Okanagan Nation Alliance (ONA), to represent Indigenous perspectives and the syilx/Okanagan living history of the region.

We wish to express our gratitude for the outstanding efforts in Indigenous integration, collaboration, and consultation that have been fundamental to the planning and design of the Redeveloped Parkinson Recreation Centre.

This project has been a positive starting point for us personally, as we navigate living in two worlds (western world and Indigenous world) and this acts as a steppingstone to reconciliation in our own community here in the Okanagan where the final building will incorporate a modern take on the living syilx stories and beautiful landscapes that surround us. We are grateful for being included in this project and the group that is working on this project as they are all genuine and curious and willing to think outside of the box to create a building that is meaningful, incorporates stories, considers future generations and prioritizes inclusivity of all who may use the facility for years to come.

We commend the City of Kelowna and all partners involved in this meaningful project and look forward to seeing the continued positive impact of this collaborative effort. It is our hope that moving forward, other projects will take this approach and the wheels of change and positive relationships will begin to turn and gain more momentum for years to come so that our children and grandchildren's paths will be just a little bit smoother as we ponder the idea of: *stim ʔast a kl mnimʔəmp* (will it be good for us all)?

Llana Teichroeb

Westbank First Nation Elder

Kim Kosik

Westbank First Nation Member



## 5. Indigenous Collaboration

### 5.1 Introduction

Collaboration between the City of Kelowna and the WFN/ONA on the RPRC has evolved from visioning workshops to a more formalized role as Indigenous Collaborators. Together, we are working to design a space that not only honours syilx/Okanagan culture but also fosters a deep sense of belonging for all community members.

From the project's inception, the inclusion of Indigenous perspectives has been integral in shaping a facility that is both respectful and reflective of the rich cultural heritage of the syilx/Okanagan people. This collaborative approach has been essential in fostering unity and mutual respect, which are key to the project's success and long-term sustainability. It has been incredible so far to witness the learning in the room and then watch how each person took that and used different pieces as inspiration for their specific roles. Whether that was from looking at unique pool filtration ideas to mimic a pit house, sourcing Indigenous plants to use for the landscape, asking questions about local stories to incorporate into a variety of areas, interest in using local art, exterior building design that honors the land we are on, and so many more elements. The consultation process has been rooted in meaningful dialogue with Indigenous leaders, Elders, and community members. Their invaluable insights and traditional knowledge have been thoughtfully incorporated into the design and functionality of the facility and has felt organic and led with utmost respect.



Fig 5.1.1 Photo of Leroi Bent

Key elements of the redevelopment include:

**Creation of Culturally Inclusive Spaces:** Thoughtful design ensures that the facility includes spaces for cultural ceremonies, storytelling, and educational workshops, making it welcoming for all community members.

**Design Inspired by Indigenous Collaboration:** An intentional effort was made to avoid designing a building that looked and felt institutional. Instead,

materials inspired by the natural environment were chosen. The shape and curvature of the building are welcoming and organic, with hard lines removed. Materials like wood were celebrated for their texture and finish. Design elements like the shape of the roof, material choices, such as exterior cladding that features vertical patterning reflective of tule reeds, the natural ventilation system that mimics traditional pit houses, organic shapes of the campus landscape design, and the connection to water with Mill Creek reflect the living history of syilx/Okanagan people

**Commitment to Environmental Stewardship:** Reflecting Indigenous values, the redevelopment prioritizes sustainability and environmental responsibility.

**Incorporation of Indigenous Art and Symbolism:** The facility will feature Indigenous art and symbolism, creating a connection to Indigenous ways of knowing and being.



### 5.2 Connection

The Integrated Project Delivery (IPD) method aligns remarkably well with Indigenous cultures and ways of being, fostering a collaborative, holistic, and inclusive approach to project management. By emphasizing teamwork, mutual respect, and shared responsibilities, IPD mirrors the Indigenous principles of community, collective effort, and interconnectedness. This methodology encourages open communication and trust among all interested parties, reflecting the Indigenous value of honoring every voice and perspective. Additionally, the sustainable and long-term focus of IPD resonates with Indigenous practices that prioritize environmental stewardship and the well-being of future generations. In essence, the IPD method not only complements but also honours the rich traditions and values inherent in Indigenous cultures.

The IPD team will continue to collaborate with WFN in meaningful ways to find



Fig 5.2.1 Pine Needle Basket

opportunities for syilx culture to be reflected in the architectural design of RPRC. This may include, but is not limited to finishes, features, art, wayfinding signage that references the *nsyilxcən* and culture in an accessible, genuine way.

### 5.3 Process

#### Building Relationships Before the Project Began

In the years leading up to the project, efforts were made to build strong relationships within the community. By establishing connections early on, trust was cultivated, laying the groundwork for meaningful collaboration throughout the project. This proactive approach helped foster an environment where community input was valued and ensured the project was aligned with the needs and values of local residents.



Fig 5.3.1 Photo from WFN Annual General Meeting

#### Attending Events to Gain Recognition and Trust

To strengthen ties within the community, attendance at various events, including Annual General Meetings (AGMs), became a priority. These events provided opportunities to engage directly with community members, allowing team members to become familiar faces that were both recognized and trusted. This presence helped build rapport and established a sense of transparency and commitment to the community's interests and concerns.

### Visioning Workshops with Community Members

Engaging with the community in visioning workshops allowed for the sharing of ideas and expectations for the project. These workshops provided a platform for community members to voice their perspectives, ensuring the design process was inclusive and responsive. By actively listening to the community's feedback, the project was able to reflect their values, desires, and long-term goals.

#### Outreach to Community Members in Collaboration with WFN/ONA

In collaboration with the Westbank First Nation (WFN) and Okanagan Nation Alliance (ONA), outreach was conducted to gauge interest from WFN members in becoming Indigenous Collaborators on the project team. This outreach ensured that Indigenous voices were integrated into the design process and provided an opportunity for community members to play an active role in shaping the project's direction, while also acknowledging their cultural significance.

#### IPD Team Touring Important Indigenous Cultural Sites

To deepen their understanding of Indigenous culture, the IPD team toured key sites, including the *sncəwips* Heritage Museum, WFN Community Core, *sənsisyustən* House of Learning, and Okanagan Heritage Museum. These visits offered valuable insights into the region's history and traditions, fostering greater respect for the community's Indigenous heritage.

### Indigenous Collaborators in the Design Process

Indigenous collaborators played an integral role as part of the design process, where they participated in the creation of the project's design. Their involvement was crucial not only in contributing culturally significant elements but also in teaching the IPD team about the *nsyilxcən* language and syilx/Okanagan culture. This collaboration enriched the design process, ensuring that the project authentically represented Indigenous values, knowledge, and traditions.

Setting a Condition of Satisfaction that incorporates Indigenous guiding principles:



Fig 5.3.2 BSK Indigenous Framework





Fig 5.3.3 Cross Roads

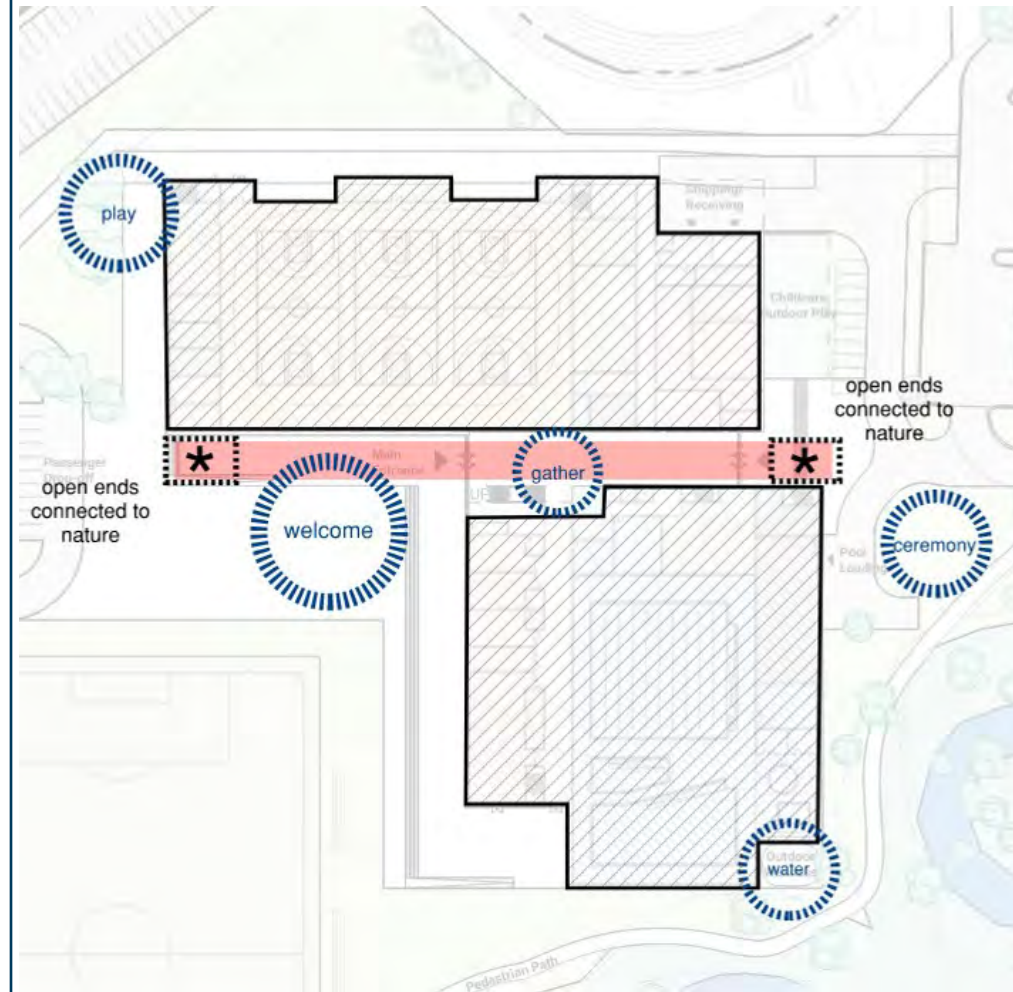


Fig 5.3.4 Open Ends



Fig 5.3.5 Circles





Fig 5.4.1 Three Bitterroot Flowers



Fig 5.4.2 Saskatoon berries

#### 5.4 Honoring Indigenous Perspectives in Design and Collaboration

The IPD team is committed to meaningful and lasting collaboration with Indigenous communities, ensuring that Indigenous perspectives, knowledge, and culture are woven into the design and delivery of the project. This commitment extends beyond the built environment—it is about fostering relationships, respecting traditions, and creating spaces that reflect the deep connection between people, land, and culture.

##### Commitment to Collaboration

The IPD team is dedicated to ongoing engagement with Westbank First Nation (WFN) and the Okanagan Nation Alliance (ONA) throughout the RPRC project and beyond. Recognizing that relationships are at the heart of this work, we will continue to invest time and resources in relationship-building activities to strengthen and honour the bonds established through this process.

##### Gathering Spaces

Culturally significant gathering spaces will be thoughtfully integrated into the site and building. A ceremonial gathering space, anchored by a fire pit, is envisioned near Mill Creek, creating a place for connection, reflection, and storytelling. Within the facility, areas such as the atrium and multipurpose rooms will be designed to accommodate ceremonies, gatherings, and other Indigenous uses.

##### Restoring Mill Creek

Honouring the natural world and the teachings of the syilx/Okanagan people, the Mill Creek rehabilitation project will prioritize the protection and enhancement of salmon habitat, supporting the ongoing stewardship of this vital ecosystem.

##### Culturally Significant Landscaping

The landscape strategy will incorporate native plant species with deep cultural significance to the syilx/Okanagan people, ensuring the land itself tells a story of tradition, sustainability, and respect for natural systems.

##### Incorporating nsyilxcən Language

Language is central to culture and identity. The IPD team is committed to integrating the **nsyilxcən** language into wayfinding and signage throughout the site and facility, celebrating and reinforcing the presence of the syilx/Okanagan people.

##### Childcare and Cultural Connection

Opportunities to connect childcare spaces with natural elements, storytelling, and Indigenous ways of learning will be explored in collaboration with operators once they are on board.

##### Architecture Rooted in Culture

The building's design will reflect the land, history, and traditions of the region. Structural and façade elements will provide opportunities for Indigenous expression, ensuring that the facility embodies cultural

meaning and significance. Materials will be chosen to reflect the natural environment, while avoiding institutional or colonial aesthetics. Patterning, colors, imagery, and storytelling will be thoughtfully incorporated through interior finishes and public art, with space for a variety of Indigenous art forms to be celebrated throughout the building.

This project is an opportunity to create a space that acknowledges, respects, and uplifts Indigenous culture, ensuring that it is a welcoming and meaningful place for all.



## əḥowkinwixʷ

*“Coming to an understanding through a gentle integrative process.”*

This term originates in a philosophy to nurture voluntary cooperation or form a consensus. The term is based on a metaphorical image created by the three syllables that make up the Okanagan word. The image is of liquid being absorbed drop by single drop through the head (mind).



Scan for pronunciation

## tḥxʷúlaʔxʷ

*“Land”*

All living things are going through seasonal and yearly cycles on the land which is going around.

tḥ, from tmixʷ = all living things  
 xʷui = spiraling  
 la, from alaʔ = here now  
 laʔxʷ, from ʔukʷlaʔxʷ = dirt



Scan for pronunciation

## stim̓ ʔast aʔ kɪ mnimʔəmpʔ

*“Will it be good for us all?”*



Scan for pronunciation

## n̓syilxcən

*Indigenous Okanagan Language*



Scan for pronunciation



Fig 5.4.3





**siwtk water declaration**

**siwtk** is a part of us and a part of all life.

**siwtk** must be treated with reverence and respect.

Our relationship with **siwtk** is not taken lightly; we are responsible to ensure that our relation can continue to maintain the health and resiliency of our **tmxwulaxw** and **timixw**.

**siwtk** is the lifeblood of our **tmxwulaxw** and our **timixw** and we as syilx People recognize **siwtk** as a sacred entity and relative that connects all life.

**siwtk** comes in many forms and all are needed for the health of **tmxwulaxw** and for the **timixw**.

**siwtk** is our most sacred medicine: **siwtk** nourishes, replenishes, cleanses, and heals. Any use of **siwtk** should be an act of reverence and a commitment to our responsibilities to all life: now and to come, as syilx People.

**siwtk** comes from the sky and the highest places yet it never willfully rises above anything.

It will always take the lowest path in its humility, yet of all the elements, it is the most powerful.

Our sacred **siwtk** water teaches us that we have great strength to transform even the tallest mountain while being gentle, soft, and flexible.

**siwtk** will always find a way around obstructions: under, over and through. It teaches us that anything is possible.

**siwtk** movements, pathways, resiliency and power teach us who we are and who we can be as people.



# Base Program & Design Narratives



Fig 6.1.1 RPRC Conceptual Sketch



## 6. Architectural Design Rationale

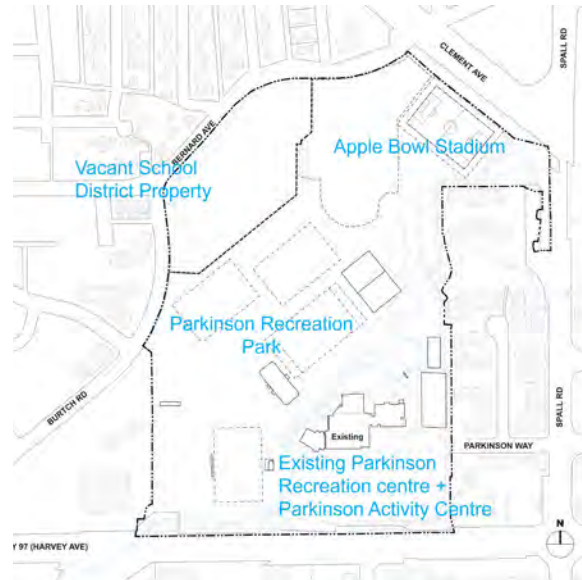


Fig 6.1.1.1 Existing Campus Layout

### 6.1 Campus Layout Plan Design

#### 6.1.1 Existing Campus Layout

The Parkinson Recreation Centre, originally built in 1972, sits at the heart of Kelowna, BC, within Parkinson Recreation Park, a key recreational space in the city. This park is uniquely divided by Mill Creek, a natural feature that flows from the east side of the Okanagan Basin and into Okanagan Lake in the city center.

The existing recreation facility is located on the south side of Mill Creek and includes a mix of aquatic and dryland recreation facilities, as well as the Parkinson Activity Centre. The primary access points are from Harvey Avenue and Spall Road, while the rest of the park is accessible from Spall Road and Bernard Avenue, adjacent to undeveloped land designated for a future school.

Parkinson Recreation Park is home to several community sports amenities, including:

- Five soccer fields
- Multisport box
- Pickleball and tennis courts
- Apple Bowl Stadium

#### 6.1.2 “Laying the Groundwork” for a New Campus

As we began envisioning a new, integrated campus of recreation amenities within the park, it was essential to define a structured approach for evaluating potential site layouts. A set of key criteria was established to guide the placement of major components, ensuring a well-connected and functional design:

- Relationship of Major Elements (Pool, Gym, Change Facilities)
- Connection to Mill Creek
- Proximity to the Future School
- Sense of Arrival & Public Gathering Space
- Ease of Access & Connectivity
- East-West Site Flow & Movement
- Integration with the Park

With these priorities in mind, a ‘Building Program Workshop’ was held on 5 June 2024, bringing together diverse perspectives to explore the site’s future.

### 6.2 Architectural Design

#### 6.2.1 Building Placement

Situated near the north end of Parkinson Recreation Park, to the south of the Apple Bowl and near the meandering banks of Mill Creek, the new RPRC carefully integrates the facility, establishes numerous community linkages to the west, the east, north and south, and provides an open and inclusive community space that is welcoming for all.

The building is composed of two major elements; one to the north oriented principally east west, and one to the south, oriented north south, and which are united by a central interior lobby that links all activities within. These major elements embrace the site and anchor the building, creating a porch-like condition that opens to the south west and the playing

fields beyond, and establishes a direct relationship with Mill Creek to the east, grounding the facility within the park and the city proper. An expansive timber roof unites the facility, with an extensive canopy at the west entry, supported by 13 columns, reflective of the 13 seasons of the syilx calendar, that extends through into the building to create a clerestory condition at the lobby, inviting patrons to take part in activities within.

#### 6.2.2 Major Program Elements

The two major building elements contain all the significant program elements and transcend the Conditions of Satisfaction to create a comprehensive and interactive facility that the community will find welcoming and exciting to occupy, play and learn within.

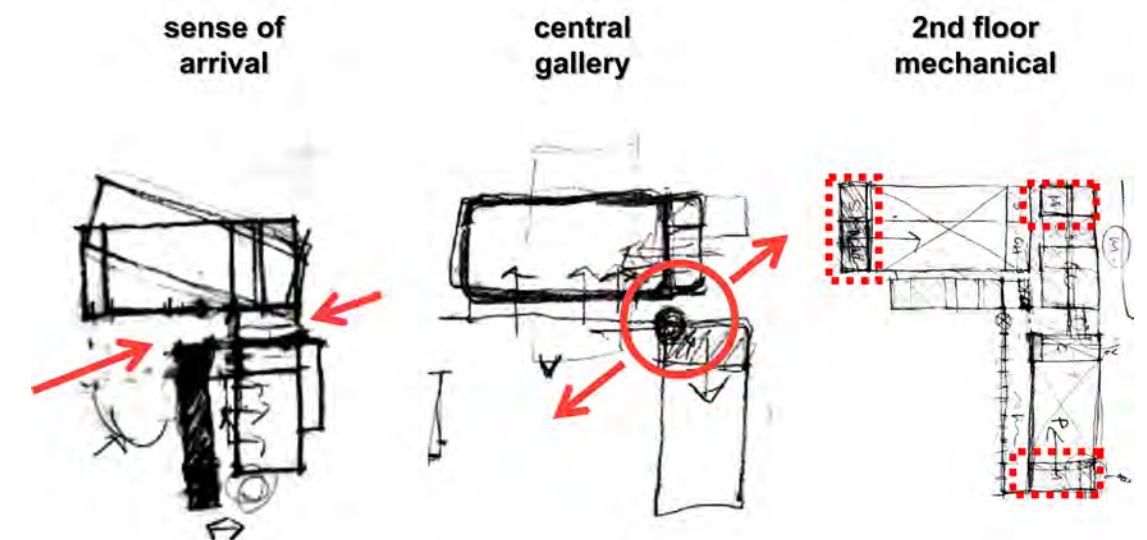


Fig 6.2.1.1 RPRC Conceptual Sketch



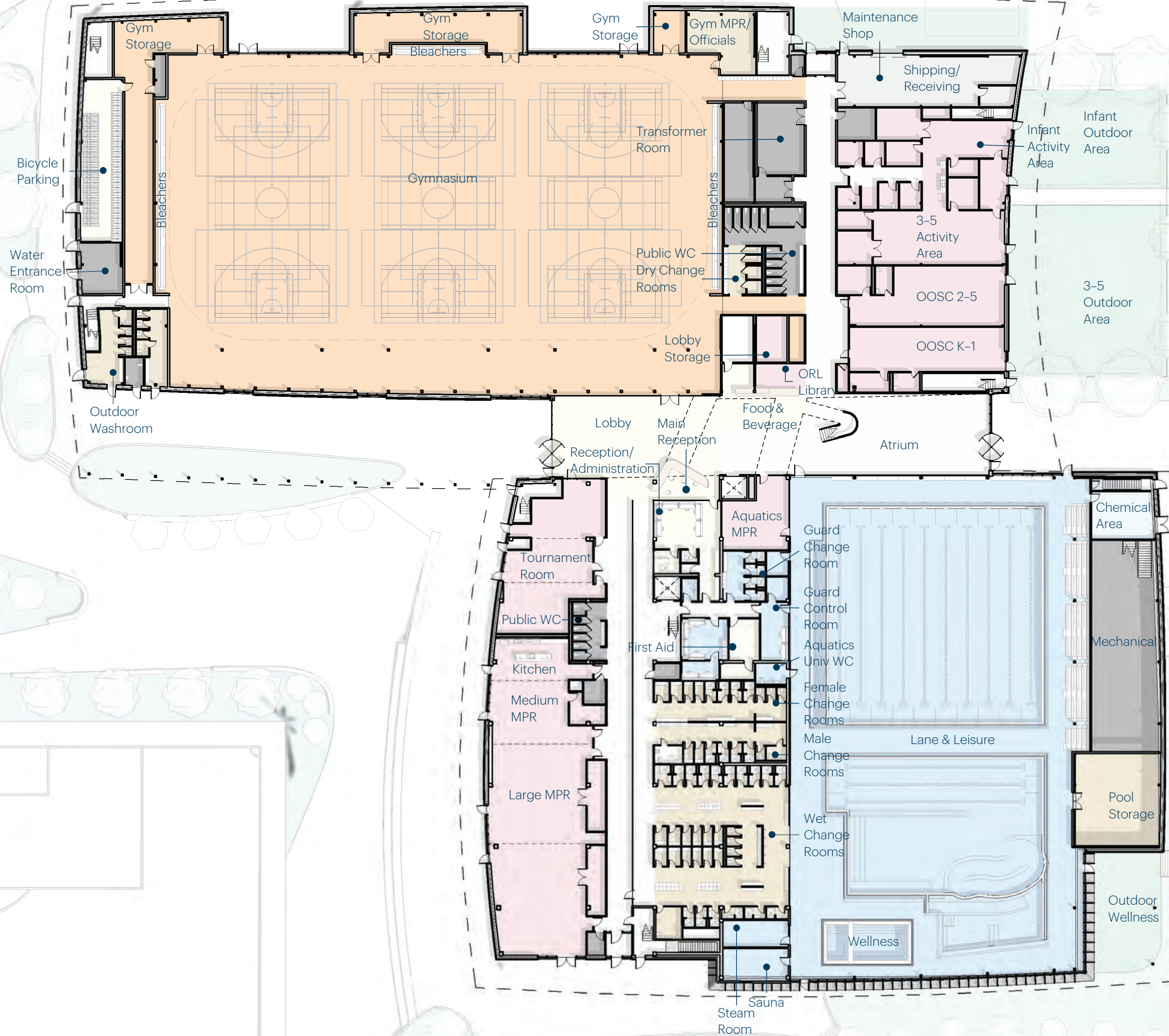


Fig 6.2.2.1



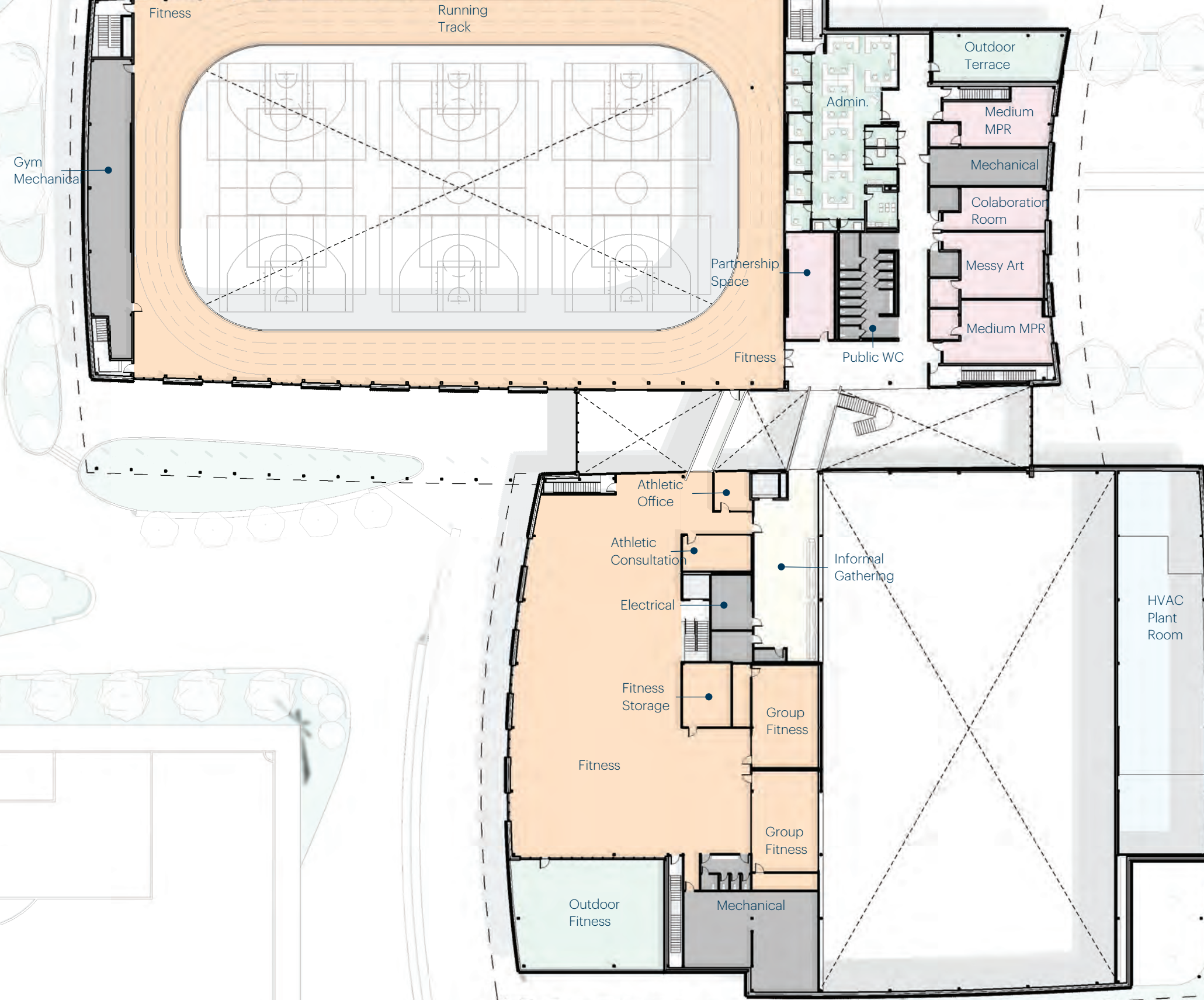


Fig 6.2.2.2





Fig 6.2.3.1 Artistic rendering looking at the east entrance

Upon entry one will occupy an open and light filled lobby, illuminated at the top with a continuous clerestory. Wayfinding is clear and intuitive, with a central reception desk as well as expansive glazing providing views to the gymnasium and the natatorium with comfortable spaces to view activity or pause. A feature stair animates the space and allows connection to the second level activities. Opposite the reception will be a small express branch for the Okanagan Public Library, as well a dedicated food and beverage venue providing refreshments to patrons. A centrally located elevator next to the reception desk also provides access to that level for all ages and abilities.

To the north is the largest program space, containing the triple gym and an upper level surrounded by a running track, with glazed connection to the Apple Bowl beyond. The gymnasium will allow for a range of activity, including 3 full size FIBA

courts, 6 volley ball courts, pickle ball, badminton and a breadth of other events on a sprung wood surface. Adjacent on the east side at ground level are programed childcare spaces, with a dedicated outdoor playground and the out of school care, which can also function as supplementary multipurpose rooms. Drop-in change areas at the east entry to the gym provide private change and day lockers for patrons. Loading and service are discretely housed at the northeast corner, with access from the east parking area. Level two of the north block contains a number of multi purpose spaces on the east and access to an outdoor terrace overlooking the Applebowl. Facility administration space is also located at this level with glazed views to both the gym and to the north. All perimeter areas of the building will be assessed for CPTED considerations in detail design to ensure the safety of the

community.

The south block includes principally the natatorium, as described later, but containing the significant features of a 10 lane 25m lap pool, a leisure pool with lazy river and water features, a wellness component, with hot plunge, cold plunge and family warm pools, sauna and steam rooms as well as gendered, family and private change areas. Accessing the natatorium will be through a controlled entry adjacent the main reception. The natatorium has a considered and direct relationship with Mill Creek passing by adjacent to the east, with glazing overlooking that meandering water system and an opportunity for the wellness area to connect with an adjacent outdoor deck space. To the west of the natatorium and change areas are a series of multipurpose spaces, as well as a flexible bank of team rooms, providing support and connection to indoor and outdoor activities. A teaching kitchen will link directly with the flexible large multipurpose room, allowing for contained or expanded culinary events that can cater to a breadth of cultural activities, particularly for the host nations.

Level two of the south wing contains a large fitness area, overlooking the park to the west. The fitness area is accessed through a controlled means from the change corridor, either by a dedicated stair or elevator. The fitness room will allow for a range of aerobic and strength training activity with a breadth of dedicated equipment. On the east side of the fitness room are two dedicated fitness studios with sprung wooden floors providing space for specific classes. These rooms also provide an environmental barrier to the natatorium adjacent, insulating the cool temperature

of the fitness room from the high humidity environment of the pools. The fitness area also has a dedicated bridge crossing the lobby and providing direct access to the running track. The second level track has four lanes on a synthetic surface that will allow for high performance as well as recreational training. The east side of the natatorium provides space for the bulk of the mechanical systems and equipment necessary for that side of the building as well as pool filtration.

### 6.2.3 Form and Character

One of the driving forces is to provide a legacy facility that will embody the look and feel of Kelowna. The building's materials, form, and character were inspired by both the material nature of the Okanagan valley as well as influenced significantly by collaboration with syilx members of the Westbank First Nation who provided knowledge, tours and insight to the stories, material culture and significance of living within the region. In this respect, many elements have come to embody and reflect these traditions. The building's exterior will be clad at the upper levels with a vertically ribbed and patterned warm colored metal cladding, reminiscent of a vertical weave pattern inspired by many of the syilx traditional baskets, interrupted with vertical glazing that provides controlled natural light within. The lower level will explore an GFRC panel or suitable alternate, similarly patterned but contrasting with a darker color to create a substantial base. This pattern will extend into the main lobby space, where a vertical wood slat acoustic cladding will provide a warm and inviting presence for visitors. An



Fig 6.2.3.2 Tule Reeds at Sncewips Heritage Museum





Fig 6.2.3.3 Artistic rendering looking at the west entrance





Fig 6.2.3.4 Artistic rendering looking at the south





Fig 6.2.3.5 Flow Diagram

theme for the character of the facility, and which will be expressed by providing subtly curving facades and spaces, that draw the user though and around the building and reinforce the inherent importance of water to the syilx culture and the adjacent lake.

Timber elements will play a significant role, expressed though the major long span structure systems, as well the entry canopy and extensive canopies that protect the outdoor spaces, as well as within the interior spaces as an acoustic and expressive measure in the main lobby. The structural members that span the gymnasium and aquatics build on the theme of 'Flow', by providing a hybrid steel and glulam beam structure that gently undulates as one passes from one end of the large space to the other. Both the top

and bottom chords of this truss subtly rise and fall, creating a flow from one end of the volume to the other. This shape was inspired both by the curving rhythmic notion of flow as well as the clarity of the assembled fishing implements of the syilx peoples. These trusses will create the long span structure in both the gymnasium and the natatorium.

The interior spaces will also build on drawing from the character of the Okanagan, with tiling patterns in the wet spaces developed to subtly reinforce the weave culture of syilx artifacts, but also use a colour palette that draws from the materiality of the region, using local timber such as hemlock and douglas fir, as well as emphasising major elements or points of entry with the vibrancy of colour from the Okanagan such as the purples of bitterroot

or rabbit brush yellow.

### 6.2.4 Accessibility

Making the building accessible for all is a prime requirement for the success of the building. While pursuing alignment with the Rick Hansen Foundation Accessibility Certification and implementing prescriptive technical requirements outlined within the CSA B651-18 'Accessible Design for the Built Environment', fundamentally the design of the facility prioritizes:

- Accessible access to all program areas and facility features
- Barrier-free entrances and exits
- Accessible washrooms and change facilities
- Clear and easy-to-read signage which incorporates tactile elements and Braille
- Elevators and ramps where necessary
- Wide pathways, corridors, and doorways to accommodate a variety of mobility devices
- Enhanced lighting levels at exterior lit pathways
- Sensory quiet rooms located adjacent to both natatorium and gymnasium spaces to support mind-friendly environments.

Particularly within the natatorium, which can be a notably technical space as it relates to accessibility, each pool includes a barrier free ramp as well as entry steps. The leisure pool includes graduated entry steps that provide a gentle entry to those with limited ability as well as an entry ramp. Wheelchair storage will be located nearby

at the pool deck. A dedicated universal change room with a barrier free shower, adult change table and lift ensures access for those requiring assistance. An on-deck universal washroom ensures ease of access at pool side. Black-out blinds will be provided for all glazed areas overlooking the pool allowing for privacy for gendered or culturally dedicated swims.

The design for the facility is rooted in the belief that accessibility is not just a requirement but a fundamental right, ensuring that every visitor can experience the facility with ease, dignity, and independence. By integrating thoughtful, barrier-free solutions throughout the building the project goes beyond compliance to create an inclusive and welcoming environment for all. This commitment to accessibility reflects a broader vision: a place where everyone, regardless of ability, can fully participate,

connect, and thrive.



Fig 6.2.4.1 Photo of Lunenburg Natatorium



## 7. Landscape Design Rationale

### 7.1 Landscape Masterplan

The landscape master plan for the RPRC has been guided by the City of Kelowna (CoK) Conditions of Satisfaction to achieve a vibrant and inclusive master plan that is uniquely Kelowna. The landscape strives to capture the spirit and essence of the existing Parkinson Recreation Centre through the preservation of the natural open park character while enhancing connectivity, active sport, multi-use open space and opportunities for culturally significant experiences.

The spatial program is defined by the CoK Park performance requirements. The design was developed through a collaborative process and features:

- Transportation alignment of vehicle, pedestrian and cyclist networks including on-site connectivity with connections to off-site works.
- Vibrant, synergistic public realm connection to the Apple Bowl that supports events and allows for future Apple Bowl expansion.
- Thoughtful public realm relationship of the future SD23 middle school site and RPRC.
- Redevelopment of the existing Parkinson Recreation Centre once demolished to accommodate exterior site program elements integrated and connected with the overall site.
- New parking lot(s) and adjustment of existing parking lots to align with transportation study, supporting campus strategy and connection to site elements.

- Integration of the existing PAC into the overall master plan with ease of access to parking and compatible program elements.
- Five new natural turf fields to *FIFA quality* standard, replacing the existing fields that do not meet FIFA standards
- Twenty-four pickle ball courts and three to four tennis courts.
- Multi-sport box
- Multi-use grass area(s) for community events, informal training, cultural and social activities.
- Accessible playground(s) to replace existing.
- Integration with Mill Creek restoration project.
- Childcare outdoor space to provincial requirements.
- Removal of Rugby / Cricket Pavilion and Bocce court.
- Relocation of existing outdoor fitness equipment including high performance equipment and circuit training for seniors.
- Integration of indigenous plants, and the creation of a cultural gathering space

### 7.2 Public Realm

The public realm of the RPRC project encompasses the space between the active sport program elements. These spaces include areas for individual and collective gathering as well as formal and informal activities. These spaces are defined by two plazas.

The **Porch Plaza** is a central public space at the west main entrance, serves as a venue for ceremonies, events, and gatherings. It features vehicle-rated concrete pavers, large naturalized planting areas with wood and concrete seating walls, and sculptural terraced seating on the east edge offering views of the soccer fields.

The Apple Bowl Plaza is located on the north side of the new PRC building and provides a vibrant synergistic public space link between the new building, the existing Apple Bowl and the future SD23 Middle school. It includes a 4m wide Active Transportation Corridor (ATC) that is surfaced in cast in place concrete with textured designated pedestrian crossings. The south edge of the commons adjacent to the building provides a seamless indoor / outdoor connection to the gym space allowing for formal and informal activities. The existing high performance fitness area is relocated within the Apple Bowl Commons.

### 7.3 Sports Fields & Courts

The campus will be a destination for field sports and will elevate the conditions of play to meet *FIFA quality* to support provincial, national and international tournament play. Associated storage, lighting infrastructure, and spectator viewing have been considered in the sizing, placement and orientation of these fields.

Space allowance for 24 new pickleball courts with associated fencing, and lighting infrastructure will be constructed adjacent to the redeveloped PAC building. This adjacency improves player experience with more readily available support facilities. Moving the courts away from property lines is expected to reduce noise impacts on surrounding residential properties. Tennis remains a part of the PRC campus albeit in a reduced number of courts. The multi-sport box will be reconstructed to contemporary standards to support a variety of box games including hockey, lacrosse, dry-land training, pre-tournament staging, and special events.



Fig 7.1





Fig 7.2

#### 7.4 Playgrounds

The campus plan will include two playgrounds situated between Mill Creek. The first playground will be a combination of adventure play with traditional and natural playground equipment. The surfacing will be a combination of resilient rubber and Fibar mulch. The playground will have accessible portions. The second will be natural in character comprised of a small tower, climbing logs and natural boulder features. The playground surfacing will be Fibar mulch.

#### 7.5 Cultural Gathering Area

A cultural gathering space is provided south of the natatorium on the north bank of Mill Creek. The cultural gathering space has been sensitively located with thoughtful input from the project team's Indigenous Collaborators. Located on a peninsula, the gathering space is within the restored natural planting area of Mill Creek with clear views of the water and the adjacent tule reed wetland. The cultural

gathering space is accessed from a gravel pathway. The seating circle is formed by natural boulders and large timber logs milled from trees removed from Mill Creek.

This gathering space is designed to be a place of reflection, connection, and community engagement, honouring the cultural significance of the location. The thoughtful integration of natural materials and landscaping not only creates a visually appealing environment but also promotes environmental stewardship by using reclaimed materials. Additionally, the proximity to Mill Creek and the tule reed wetland enhances the connection to nature, making the space ideal for cultural events, ceremonies, and informal gatherings. The design aims to offer a peaceful sanctuary that encourages interaction with the landscape while supporting the broader community's connection to Indigenous heritage.

#### 7.6 Softscape/Planting Strategy

The Campus planting and softscape strategy aligns with the current uses of PRC but moves forward with an enhanced planting palette that includes more native and adapted species that are more climate adapted for warmer and drier conditions. Emphasis has been placed on providing shade through the transplanting, and augmented planting of deciduous trees. The current urban forest of PRC includes significant trees that have grown in place for several decades. Some of these specimen trees have been reviewed for transplant suitability.

Shrub plantings and foundation plantings are proposed around all sides of the RPRC. These plantings have been vetted with the parks operations team to help ensure alignment with other public garden spaces throughout the city. Where appropriate, the horticulture strategy incorporates native plants with specific cultural significance to the syilx Okanagan Nation.

As part of the project sustainability objectives the reuse, and amendment of site soils is anticipated. Testing of soils has been done throughout the PRC foundation excavation and around the site to confirm suitability for reuse and amendment. By utilizing in-situ soils the project reduces trucking, carbon, and disposal waste. In addition, some reclamation of existing site turfgrass/sod may be possible further reducing the overall waste disposal, and potential for supporting other private or city initiatives. Site testing, and review with regional turfgrass and soils specialists has helped to inform these decisions.

#### 7.7 Mill Creek

Mill Creek rehabilitation will be a key part of the campus landscape. Coordination between the environmental and landscape teams will ensure consistent plantings and a unified vision, extending into the riparian zone and creating complementary transitions throughout the site.

PRC represents an opportunity to explore alternative aesthetics for xeric landscapes in Kelowna. Introducing some landscape typologies that are more drought tolerant, and non-irrigated in some specific areas of the site may serve as an educational opportunity for residents of Kelowna to understand alternative landscape

typologies as we anticipate longer periods of drought and water restrictions.

Protecting and enhancing salmon habitat is a priority for the Mill Creek rehabilitation project. As part of ensuring a campus-wide strategy for protecting fish habitat the project is exploring the feasibility of registering the site with the "Salmon Safe" program. The certification team works with owners to develop strategic plans that require harmonizing stormwater management, integrated pest management, chemical uses, and ongoing operational plans to protect stream environments.



Fig 7.3



## 8. Security

### 8.1 Site Security and Safety

The design responds to CPTED principles, having particular regards for:

- Defensibility and reducing opportunities for loitering.
- Theft in the parking areas.
- Mitigation of alcoves or vandalism opportunities, such as graffiti.

The design thoughtfully integrates elements to provide:

- Natural Access Control
- Natural Surveillance
- Territorial Reinforcement
- Maintenance
- Activity Support

### 8.2 Maintenance

Staff and maintenance teams provides an extensive and ongoing group to create a well-maintained campus creating a sense of ownership and ongoing site activity that deter criminal activity and presence.

### 8.3 Natural Surveillance

Public spaces throughout the campus are active and designed to provided expansive surveillance opportunities to occur.

- Building frontages are active pedestrian areas, which help maximize visibility and deter potential offenders.
- Extensive windows at grade to provide

surveillance opportunities maximizing how much can be seen by occupants and passersby in order to deter potential criminals because of the risk of being observed.

- Covered building alcoves have been minimized and where present for functional reasons are glazed for maximum visibility.

• Video surveillance serves as an integral component of the electronic security system recording entry/exit points and high-risk areas bolstering the safety measures for both staff and visitors.

• The intrusion detection system, and integral part of the electronic security system, will be implemented across the entire facility, aimed at monitoring and preventing unauthorized access to designated secure and restricted areas.

• The landscape design, particularly the outdoor plaza and open spaces, provide good natural surveillance such that it contributes to having a more active space at all entry points. In addition, grades gently slope away from the building providing clear sight lines from the building across the site.

• Building lighting extensively illuminates pathways, stairs, entrances/exits, storage areas, garbage/recycling areas, and the loading alcove areas to increase passive surveillance and security.

• Site illumination has been carefully studied and curated to ensure safe pedestrian movement and minimize dark areas. *A photometric plan has been provided with the DP submission. Refer to appendix for more information.*

- The building will be complemented by mechanical and organizational measures, e.g. security cameras can be added in areas where window surveillance is unavailable.

### 8.4 Natural Access Control

Natural access control limits the opportunity for crime by taking steps to clearly differentiate between public space and private space.

- Building entrances and exits are clearly identifiable and carry consistent architectural language to promote visibility from the streets and around the perimeter.

### 8.5 Natural Territorial Reinforcement







Use of signs, lighting and landscape elements (e.g. shrubs) are applied to express ownership and define the natural territorial reinforcement of space. Trees and shrubs are strategically placed along private spaces, while expansive open spaces signify public indoor uses.

- Trees have a high standard to create clear sight lines through it, and ground cover planting will be low enough to avoid places to hide.

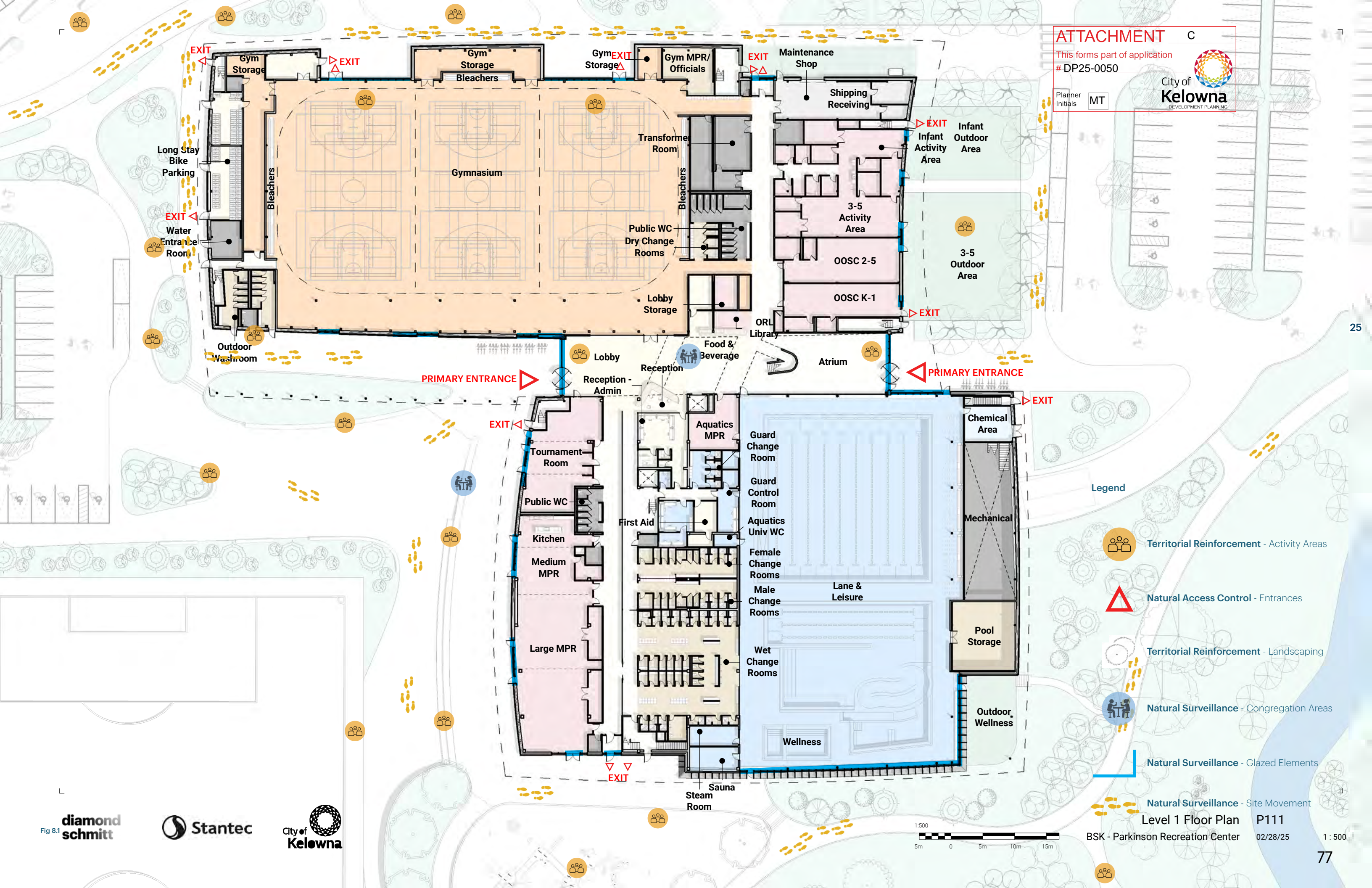
• Entry plaza and greenway offer informal seating and social spaces to promote gathering/resting points from paths of movement.

- Hidden accessible areas are minimized to ensure maximum visual and physical porosity across site.

#### Legend

-  **Territorial Reinforcement** - Activity Areas
-  **Natural Access Control** - Entrances
-  **Territorial Reinforcement** - Landscaping
-  **Natural Surveillance** - Congregation Areas
-  **Natural Surveillance** - Glazed Elements
-  **Natural Surveillance** - Site Movement





- Legend**
- Territorial Reinforcement - Activity Areas
  - Natural Access Control - Entrances
  - Territorial Reinforcement - Landscaping
  - Natural Surveillance - Congregation Areas
  - Natural Surveillance - Glazed Elements
  - Natural Surveillance - Site Movement

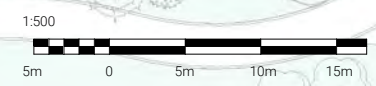






Fig 8.2 Photometric Site Plan



**ATTACHMENT**

This forms part of application  
# DP25-0050



City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner  
Initials **MT**



Fig 8.3 Photometric Site Plan (Enlarged)



## 9. Sustainability

### 9.1 Sustainability Summary

The RPRC project established several sustainability goals to demonstrate Leadership in Environmental Stewardship. The primary requirements were to target LEED Gold certification and achieve certification under the CaGBC's Zero Carbon Building Design standard. The project is also required under the BC building code to meet the requirements of the BC Energy step code. The project will show leadership in sustainable building best practices and will have low embodied carbon and low carbon operations.



Fig 9.1 Sustainability Targets

### 9.2 Energy Modeling

Energy Modeling was used as a critical decision-making tool throughout the project design. The energy model was used to:

- Inform architectural design through a massing analysis.
- Complete mechanical load analysis to inform equipment sizing
- Analyze thermal comfort to identify building conditioning strategies.

This exercise informed decisions on building envelope, mechanical systems, and expected energy consumption, energy costs, and greenhouse gas emissions. From

this analysis, the building has achieved substantial levels of energy reduction through the implementation of:

- High performance building envelope assemblies.
- Efficient HVAC plant consisting of a heat recovery chiller and air source heat pumps to provide heat to the pools and heating and cooling for the building.
- Effective utilization of airside energy recovery to reduce the energy required to condition ventilation air.
- Implementation of demand controlled ventilation strategies.

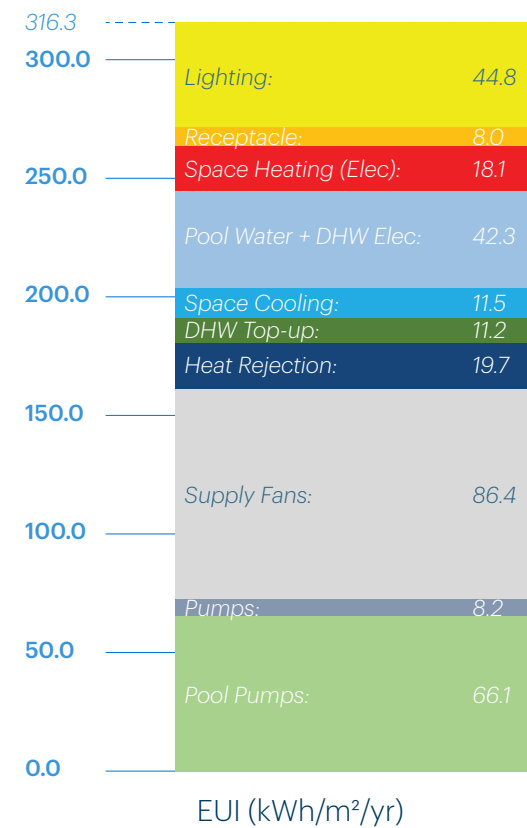


Fig 9.2 Energy End Use Breakdown

### 9.3 Embodied Carbon

Embodied carbon analysis was completed to reduce the buildings overall environmental footprint associated with the building materials and to inform design. Significant reductions in embodied carbon were achieved through the implementation of mass timber into the structural system and Low Global Warming Potential (GWP) concrete mixes.

### 9.4 LEED Gold Certification

The RPRC project is targeting LEED Gold certification. LEED focuses on sustainability holistically within areas of location and transportation, sustainable sites, energy & atmosphere, water efficiency, materials & resources, and indoor environmental quality. The full details of targeted credits and approaches can be found in the draft LEED Scorecard. The scorecard was developed with a focus on energy reduction, renewable energy production, and showing excellence in life cycle impact embodied carbon reduction.

### 9.5 Zero Carbon Building Standard – Design Certification

The RPRC project is also targeting certification under the CaGBC's Zero Carbon Building (ZCB) design standard. The standard focuses on whole building life cycle carbon emissions, including operational and embodied carbon and creating a thought-out plan to zero carbon emissions operation.

Preliminary embodied carbon calculations indicate that RPRC will be below the

maximum threshold required by ZCB for embodied carbon emissions. The standard also places a limit on combustion usage in the building and requires all space heating above -10°C to be done without the use of combustion.

### 9.6 Photovoltaics

The project will be implementing a rooftop solar PV system that will generate approximately 5% of the annual energy consumption of the building.

### 9.7 Other Sustainable Strategies

Water conservation for indoor and outdoor water. All public water closets will be low flow. Water usage can be reduced through careful planning of irrigation systems that consider plant species, seasonal watering demands, and Kelowna's unique climatic conditions.

- Cultivate Partnerships
- Sustainable
- Good Stewards
- People Focused
- Innovative



## LEED v4 BD + C New Construction Scorecard

**Project Name:** Redevelopment Parkinson Recreation Centre  
**Project Location:** Kelowna, BC, Canada

Targeted	Potential	Unlikely	No			
1	0	0	0	<b>Integrative Process</b>		<b>1</b>
1				IPc1 Integrative Process		1
7	1	0	8	<b>Location and Transportation</b>		<b>16</b>
				LTc1 LEED for Neighborhood Development Location		16
1				LTc2 Sensitive Land Protection		1
			2	LTc3 High Priority Site		2
2			3	LTc4 Surrounding Density and Diverse Uses		5
2			3	LTc5 Access to Quality Transit		5
1				LTc6 Bicycle Facilities		1
1				LTc7 Reduced Parking Footprint		1
	1			LTc8 Green Vehicles		1
6	0	0	4	<b>Sustainable Sites</b>		<b>10</b>
		Y		SSp1 Construction Activity Pollution Prevention	Required	
1				SSc1 Site Assessment		1
			2	SSc2 Site Development - Protect or Restore Habitat		2
1				SSc3 Open Space		1
3				SSc4 Rainwater Management		3
			2	SSc5 Heat Island Reduction		2
1				SSc6 Light Pollution Reduction		1
7	1	0	3	<b>Water Efficiency</b>		<b>11</b>
		Y		WEp1 Outdoor Water Use Reduction	Required	
		Y		WEp2 Indoor Water Use Reduction	Required	
		Y		WEp3 Building-Level Water Metering	Required	
1			1	WEc1 Outdoor Water Use Reduction		2
3	1		2	WEc2 Indoor Water Use Reduction		6
2				WEc3 Cooling Tower Water Use		2
1				WEc4 Water Metering		1
22	4	0	7	<b>Energy and Atmosphere</b>		<b>33</b>
		Y		EAp1 Fundamental Commissioning and Verification	Required	
		Y		EAp2 Minimum Energy Performance	Required	
		Y		EAp3 Building-Level Energy Metering	Required	
		Y		EAp4 Fundamental Refrigerant Management	Required	
4	2			EAc1 Enhanced Commissioning		6
14			4	EAc2 Optimize Energy Performance		18
1				EAc3 Advanced Energy Metering		1
			2	EAc4 Demand Response		2
2			1	EAc5 Renewable Energy Production		3
1				EAc6 Enhanced Refrigerant Management		1
	2			EAc7 Green Power and Carbon Offsets		2

Targeted	Potential	Unlikely	No		
67	8	4	31	<b>Total Points</b>	<b>110</b>
					Possible Points: 110
Certified: 40 - 49 points, Silver: 50 - 59 points, Gold: 60 - 79 points, Platinum: 80 + points					

Targeted	Potential	Unlikely	No			
8	1	2	2	<b>Materials and Resources</b>		<b>13</b>
	Y			MRp1 Storage and Collection of Recyclables	Required	
	Y			MRp2 Construction and Demolition Waste Management Planning	Required	
3			2	MRC1 Building Life-Cycle Impact Reduction		5
2				MRC2 Building Product Disclosure and Optimization - EPD		2
1		1		MRC3 Building Product Disclosure and Optimization - Sourcing of Raw Materials		2
1		1		MRC4 Building Product Disclosure and Optimization - Material Ingredients		2
1	1			MRC5 Construction and Demolition Waste Management		2

Targeted	Potential	Unlikely	No			
8	0	1	7	<b>Indoor Environmental Quality</b>		<b>16</b>
	Y			EQp1 Minimum Indoor Air Quality Performance	Required	
	Y			EQp2 Environmental Tobacco Smoke Control	Required	
2				EQc1 Enhanced Indoor Air Quality Strategies		2
2		1		EQc2 Low-Emitting Materials		3
1				EQc3 Construction Indoor Air Quality Management Plan		1
2				EQc4 Indoor Air Quality Assessment		2
			1	EQc5 Thermal Comfort		1
1			1	EQc6 Interior Lighting		2
			3	EQc7 Daylight		3
			1	EQc8 Quality Views		1
			1	EQc9 Acoustic Performance		1

Targeted	Potential	Unlikely	No			
5	0	1	0	<b>Innovation</b>		<b>6</b>
4		1		INc1.1 Innovation		
1				INc1.2 LEED Accredited Professional		

Targeted	Potential	Unlikely	No			
3	1	0	0	<b>Regional Priority</b>		<b>4</b>
1				RPC1 Regional Priority: Optimize Energy (10 Points)		1
	1			RPC2 Regional Priority: Indoor Water Use (4 points)		1
1				RPC3 Regional Priority: Building Lifecycle Impact Reduction (3 points)		1
1				RPC4 Regional Priority: Light Pollution Reduction (1 point)		1

Fig 9.3 DRAFT LEED Scorecard achieving LEED gold Certification



## 10. Transportation Design Rationale

### 10.1 Transportation Summary

Given the amount of program elements over the vast site area, the need for well integrated vehicular site access and parking, active transportation connectivity and transit accessibility are key to the success of this project. These components have been thoughtfully considered and integrated over the extent of the site. Considerations have been noted below.

Parking and loading reports have been completed and have been included in this Development Permit submission. Refer to the appendices for final reports.

### 10.2 Site Access

All site entrances will be designed to accommodate emergency vehicles. The primary site access for emergency vehicles will be from the west off Burtch Road to service both the RPRC and Apple Bowl (as well as future SD23 development).

- Burtch Road

The main access to the new RPRC facility is proposed from Burtch Road in the general location of the existing access to the Apple bowl Gravel/asphalt parking area. Off site intersection upgrades, including signalization and landing approach, is outside the project scope but is currently being designed to accommodate the forecasted traffic volumes entering and exiting the site from this location.

- Spall Road

The existing access from Spall Road to the parking area southeast of the Apple Bowl is to remain largely untouched.

- Highway 97 & Parkinson Way

On the south side of Mill Creek, the existing access from Highway 97 and the access from Parkinson Way are to remain to access the reconfigured parking area around the PAC and new program elements.

### 10.3 Parking

The parking strategy proposed takes a campus approach by distributing parking lots to service adjacent programmatic elements. Three approximately equal sized parking lots capture approximately 700 total parking stalls. Refer to project statistics for final parking counts.

- East of the site accessed from Spall Road. servicing RPRC including childcare, waste collection, loading/maintenance, as well as the track infrastructure and north field.
- West of the site accessed from Burtch Road. servicing RPRC including primary entrance, sports fields, apple bowl, multi-use box, tennis courts.
- South of the site accessed from Harvey servicing PAC, Pickle-ball courts, and south sports field.

In addition, EV and green parking spaces allocation will conform to the LEED requirements.

### 10.4 Commercial Loading

City of Kelowna stipulates a commercial loading requirement of 1 space per 2,800 sq. m. GFA for institutional uses (with a maximum of 3 loading spaces). The facility has been provided with three commercial loading spaces distributed into two discrete loading areas. A primary maintenance and waste collection

area adjacent to shipping/receiving as well as a designated pool maintenance loading area adjacent to the pool maintenance room. Additional loading areas can be operationally managed within lay-by areas under certain conditions.

### 10.5 Passenger Loading

Various passenger loading conditions have been included into the design. A series of vehicular lay-by spaces have been proposed in each parking lot that can be operationally managed to service as bus loading/unloading when required. Childcare facilities have been located on the east side of the building with access off Spall rd. with provisions for both lay-by and short-term drop-off spaces adjacent.

### 10.6 Bike Parking

Secure and weather protected bike parking facilities have been integrated into the building planning exceeding the minimum bylaw requirement to ensure future growth in demand of cycling facilities can be accommodated.

### 10.7 Pedestrian Connections, Active Transportation Corridor (ATC) and Transit Connections

To support the campus style layout of the site, while promoting active transportation in, around, and through the property, a series of interconnected pedestrian and bicycle paths have been proposed. The connectivity to peripheral ATC networks and distribution throughout the site is intended to provide convenient access and circulation to encourage users to take

alternate modes of transportation to site. A dedicated two-way cycle track crossing the site from Lawrance Ave connecting to the Okanagan Rail Trail at Angel way as well as a pedestrian focused multi-use path (MUP) provides the east-west connection across the site. A north-south connection is being provided as an extension to the existing multi-use path network that borders the south and east side of the property by providing a new connection near the Hwy 97 Pedestrian Bridge that extends through the site to SD23 property, with a future connection to Bernard Avenue.

Additional MUP's following the redeveloped Mill Creek as well as connecting program elements on site to parking and nearby transit stops to supplement the networks as show in Figure 1 below.

As part of the RPRC project, a new bus stop is being provided offsite on Spall Road as noted in the Offsite Transportation Section below with a MUP connection to the existing signalized crossing of Spall Road at Clement Avenue. A major bus stop exists on Harvey Avenue at the south end of the site, with smaller bus stops also located around the perimeter of the side along Spall, Burtch, and Bernard Ave.



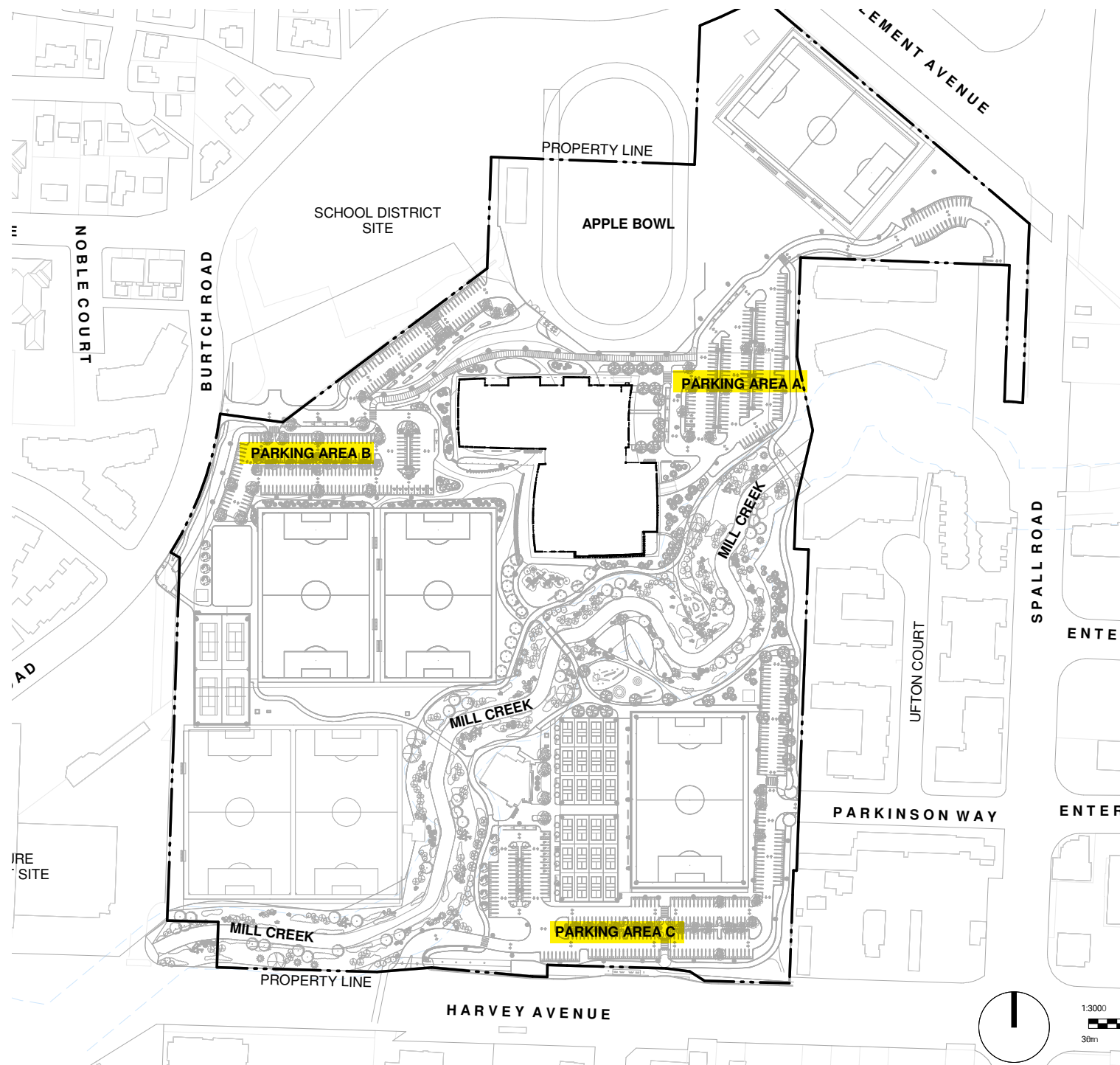


Figure 10.1 - Parking Map

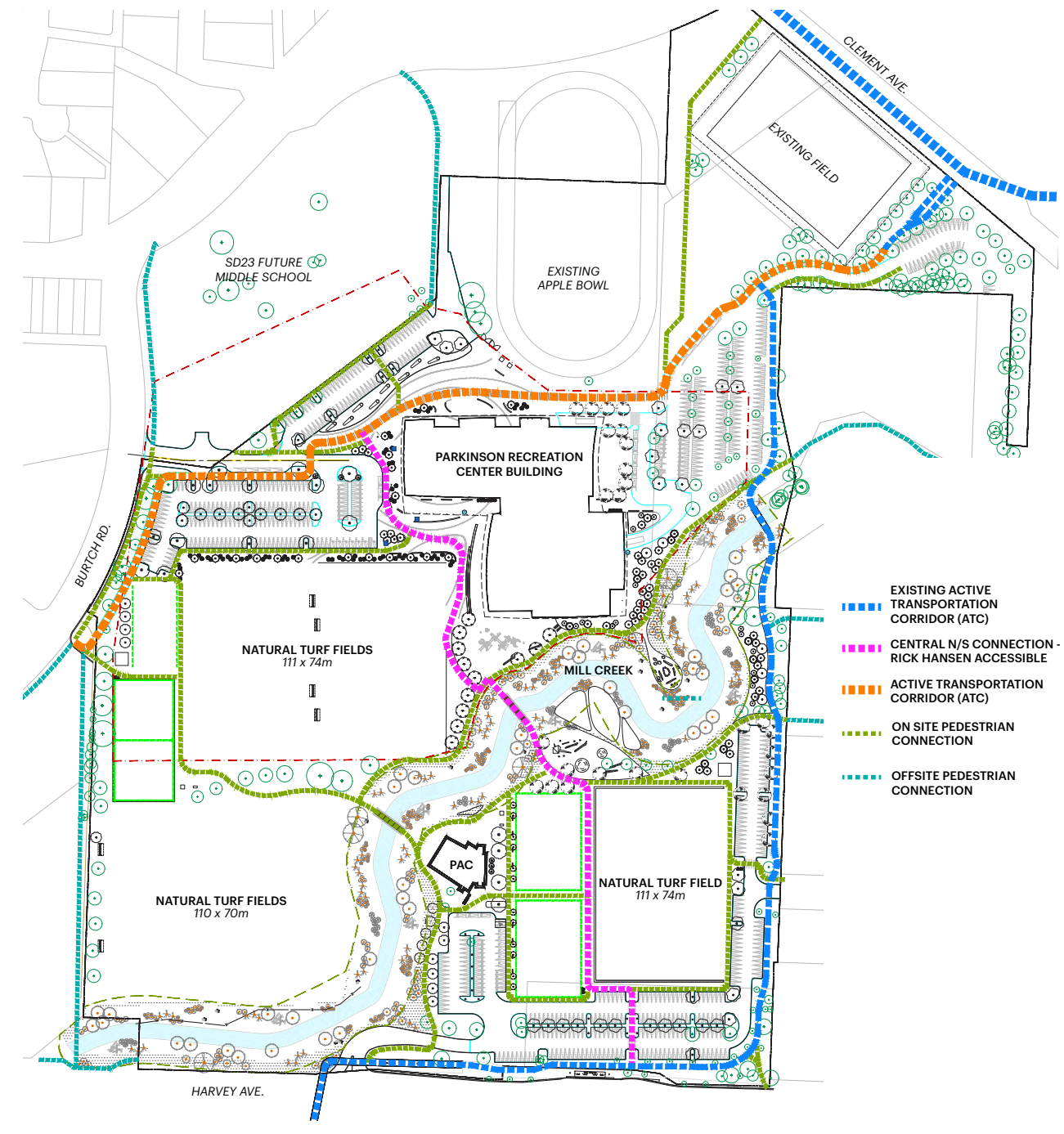


Figure 10.2 - Active Transportation Connections



## Architectural Drawings

- Floor Plan - Basement 33
- Floor Plan - Ground Level 34
- Floor Plan - Level 2 35
- Roof Plan 36
- Building Elevations 37
- Building Sections 38

## 11. Reference Drawings

32

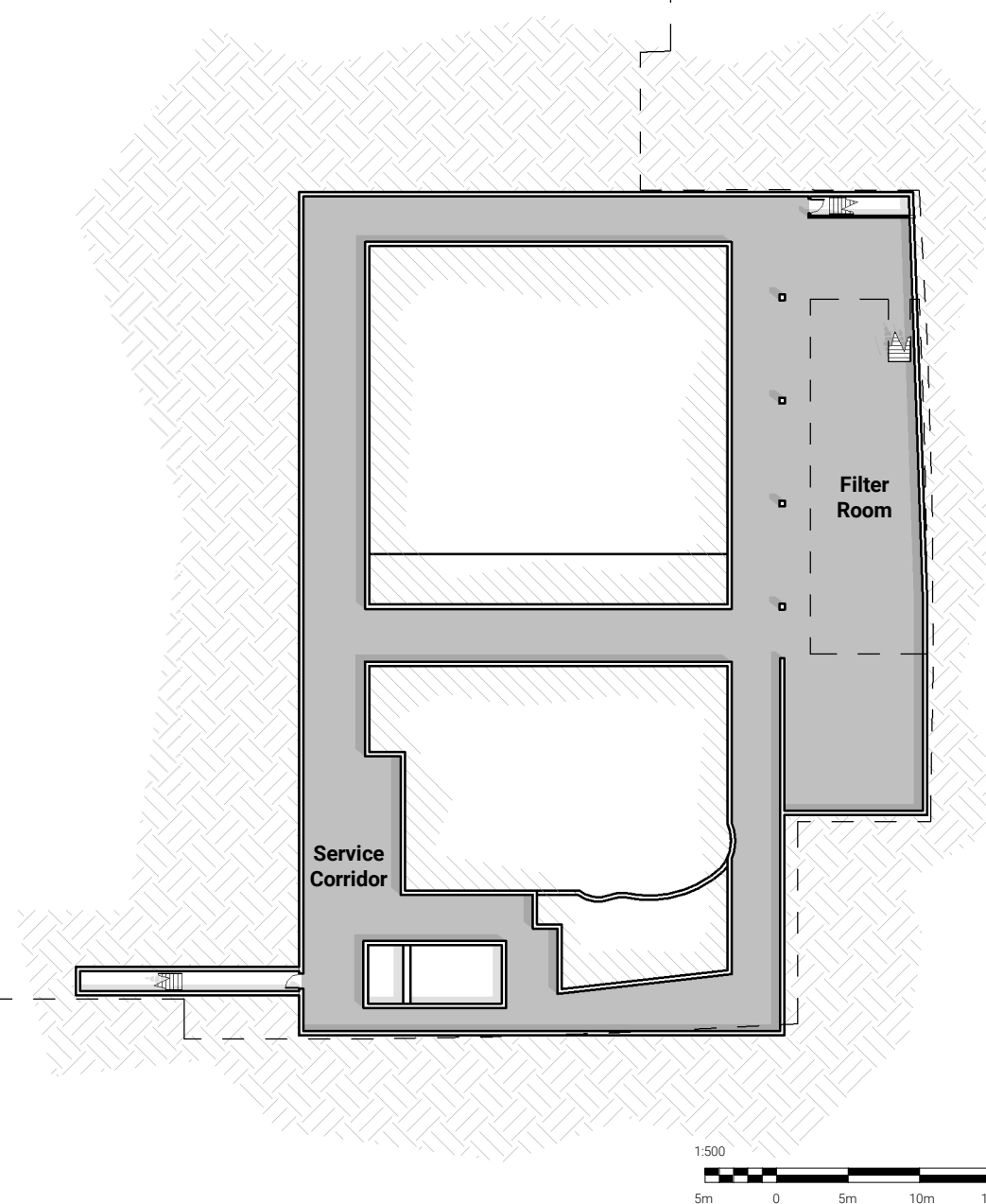
## Landscape Drawings

- Site Plan 40
- Mobility Plan 41
- Canopy Coverage Plan 42

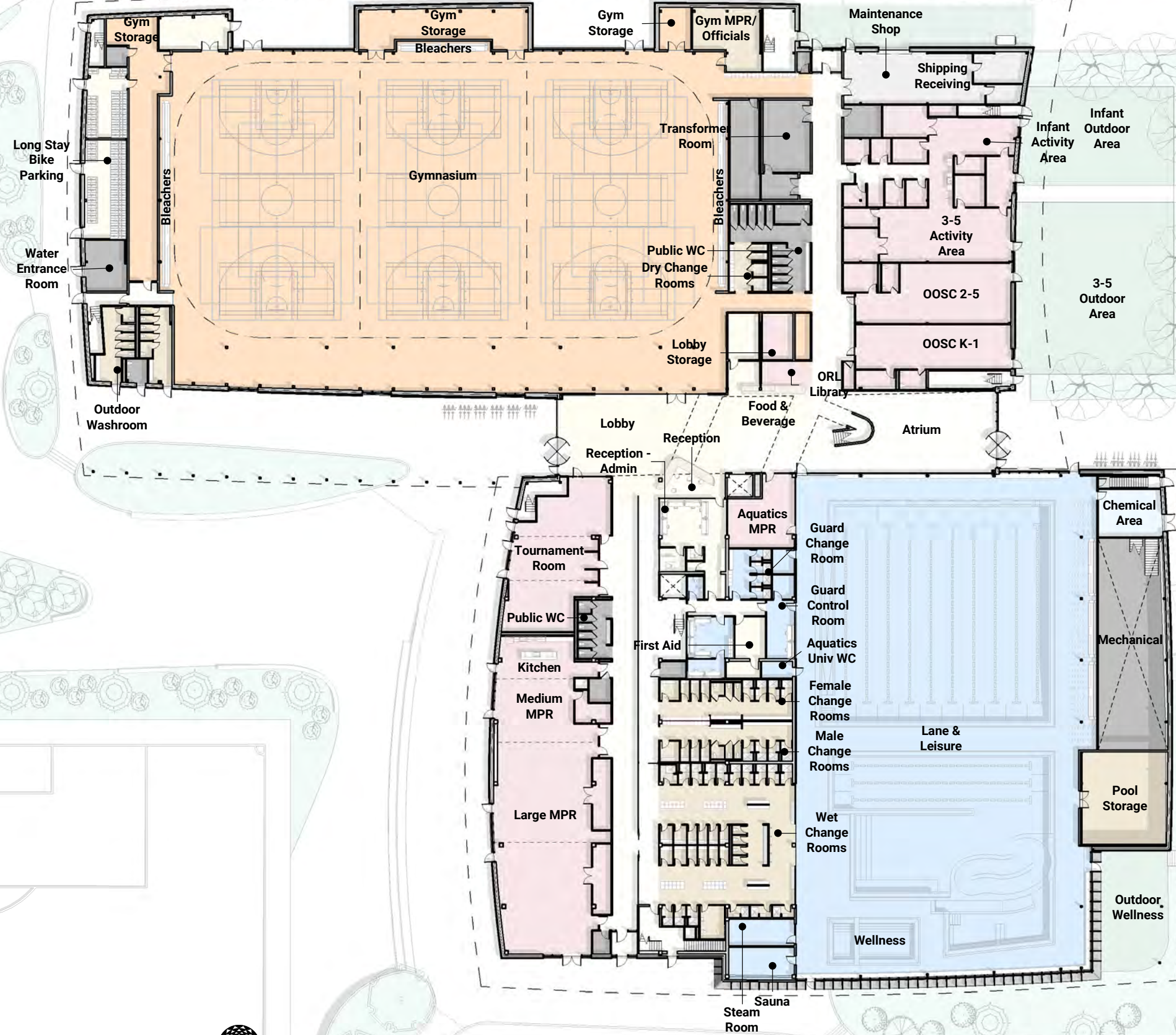


Architectural Drawings

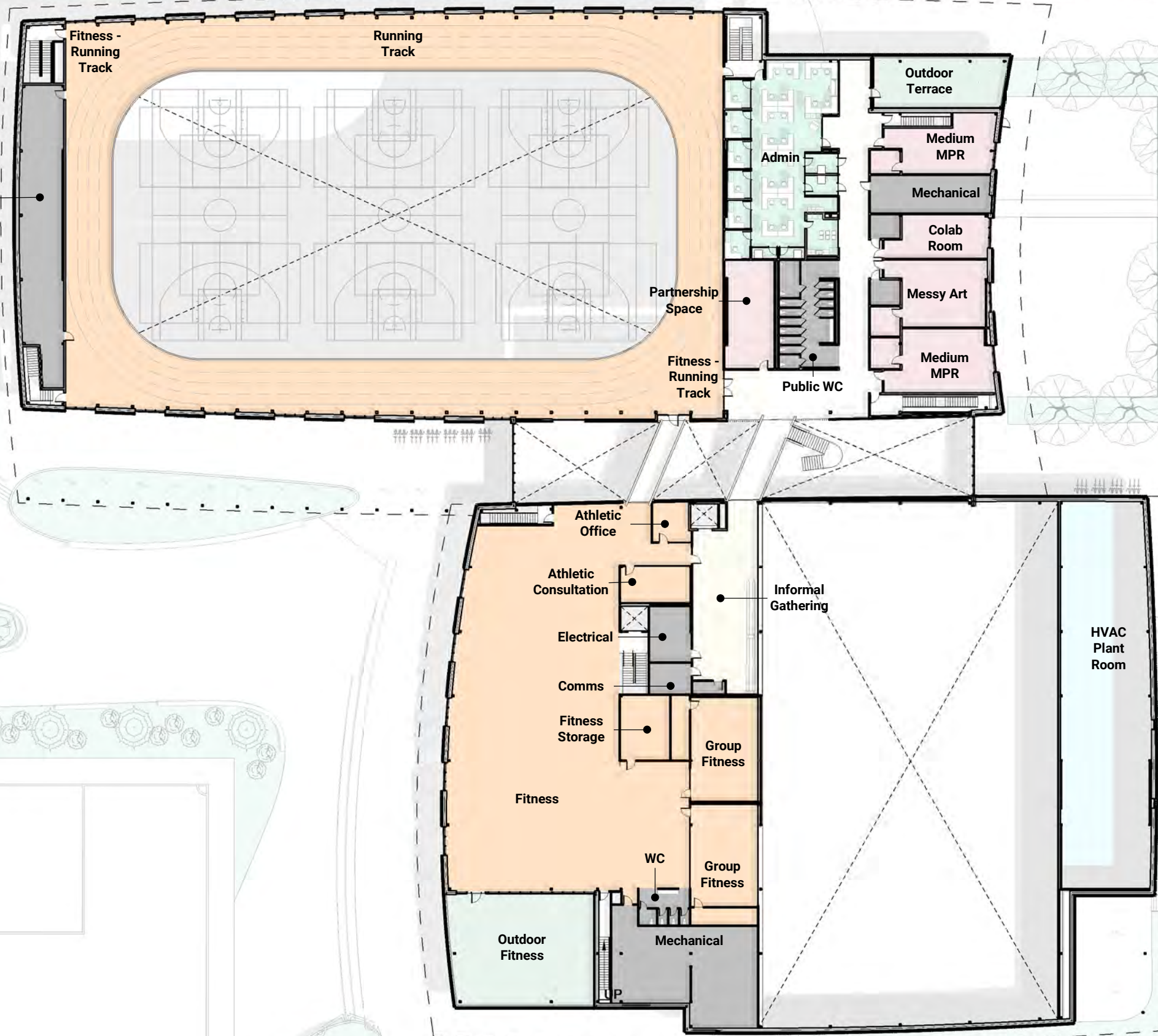
33





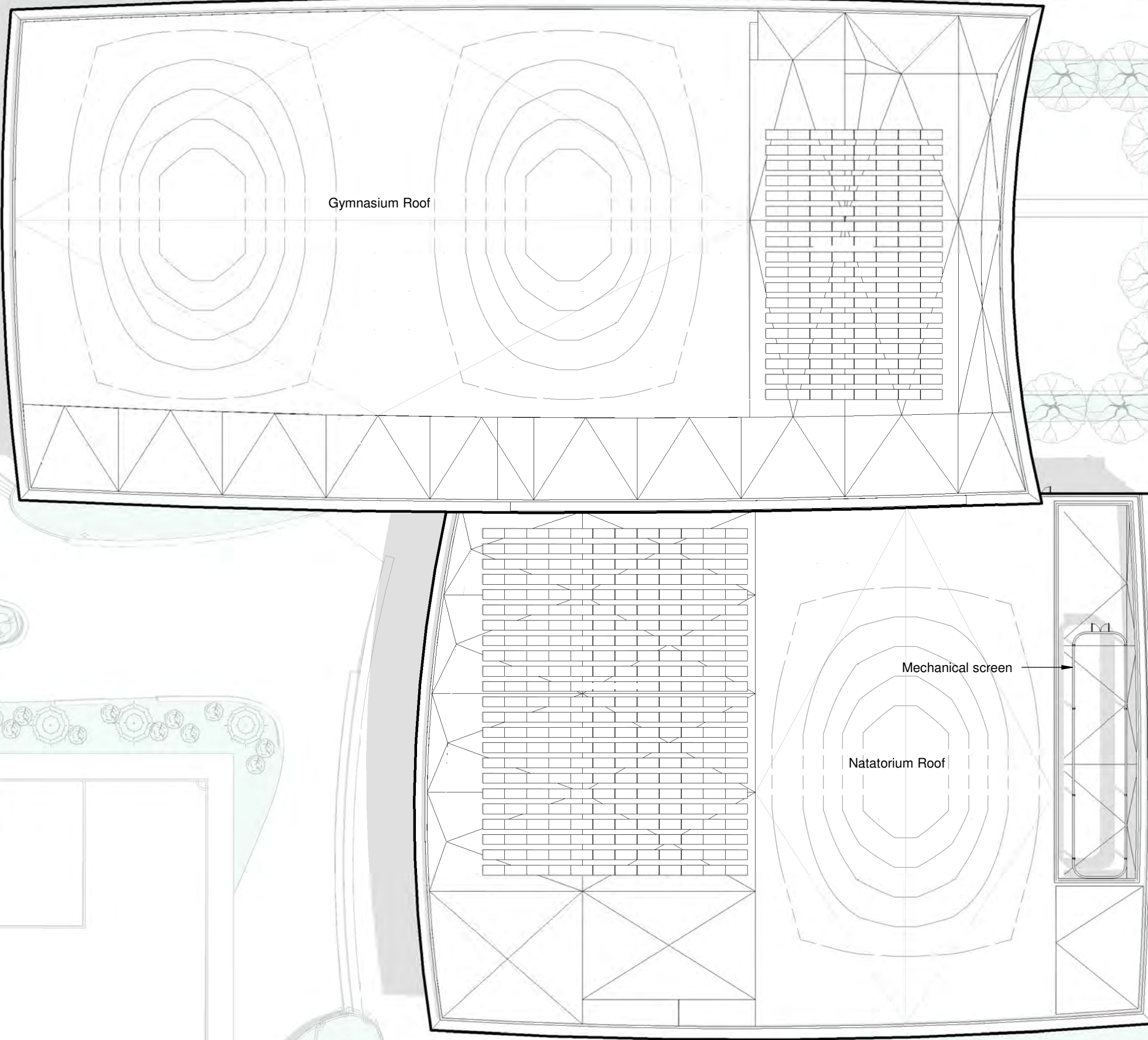






35





36





**West Elevation**  
 1 : 500

- Top of Gym Roof 374950
- Top of Natatorium Roof 371130
- Level 2 363500
- Level 1 359000
- Basement 356200



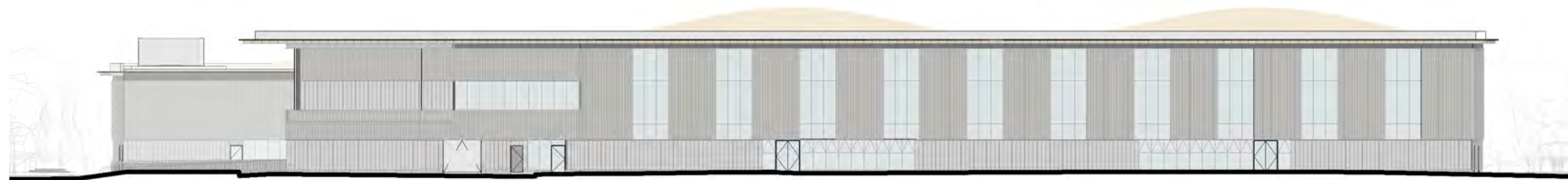
**South Elevation**  
 1 : 500

- Top of Gym Roof 374950
- Top of Natatorium Roof 371130
- Level 2 363500
- Level 1 359000
- Basement 356200



**East Elevation**  
 1 : 500

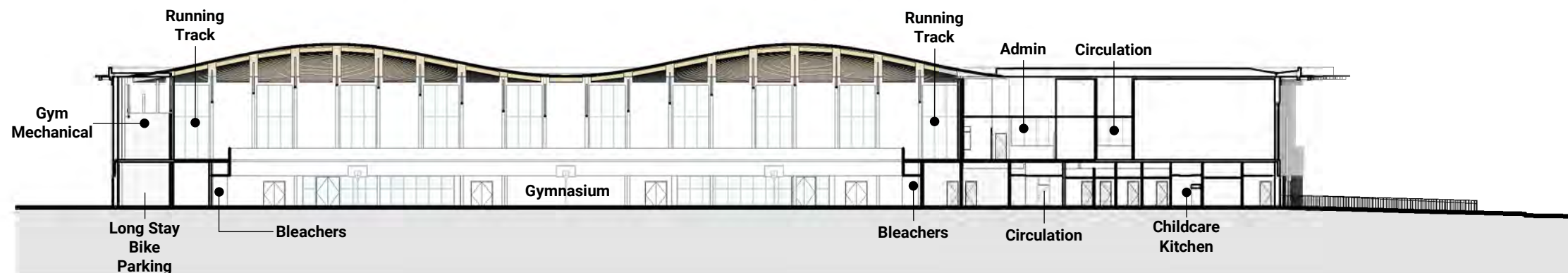
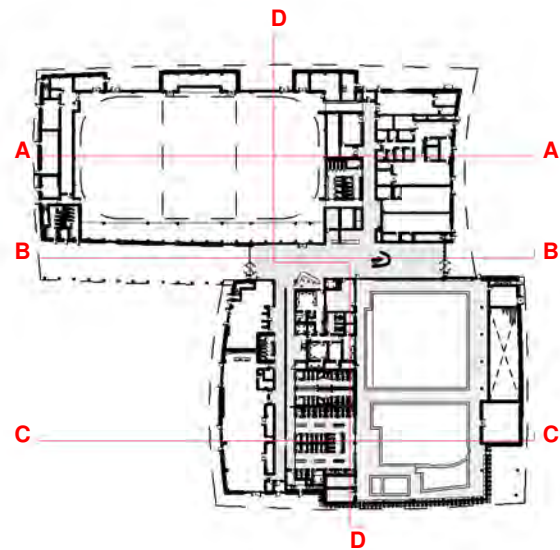
- Top of Gym Roof 374950
- Top of Natatorium Roof 371130
- Level 2 363500
- Level 1 359000
- Basement 356200



**North Elevation**  
 1 : 500

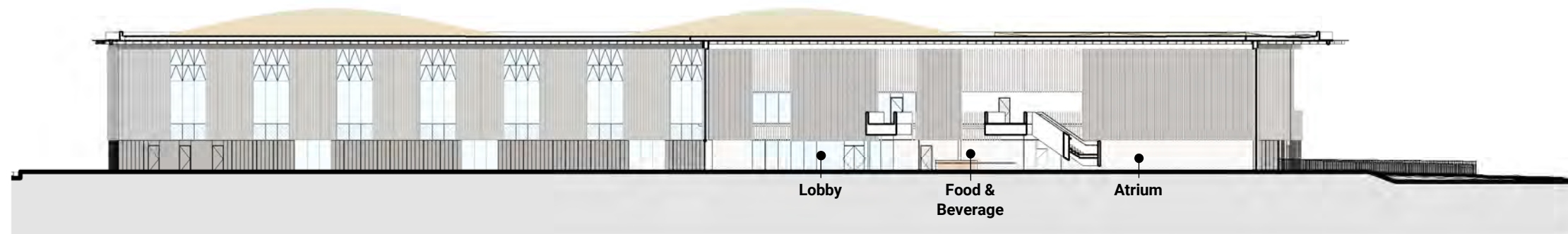
- Top of Gym Roof 374950
- Gym Roof 371300
- Level 2 363500
- Level 1 359000
- Basement 356200





**P\_AA - EW Section at Gymnasium**

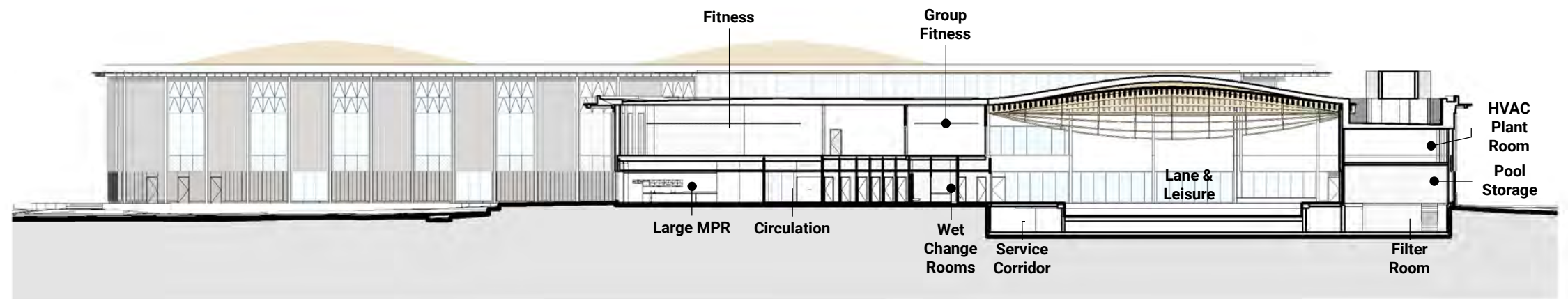
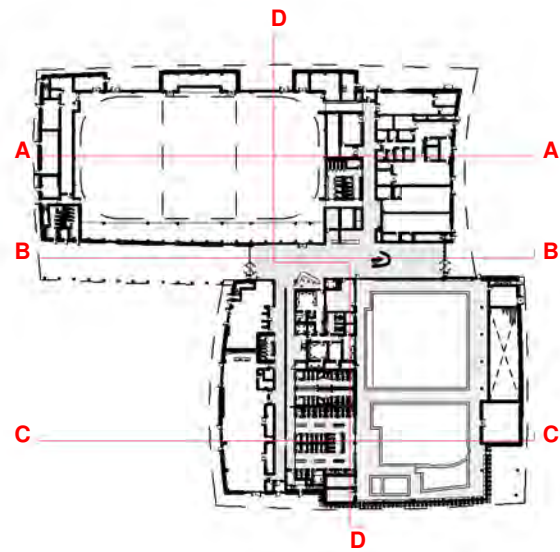
1 : 500



**P\_BB - EW Section at Atrium**

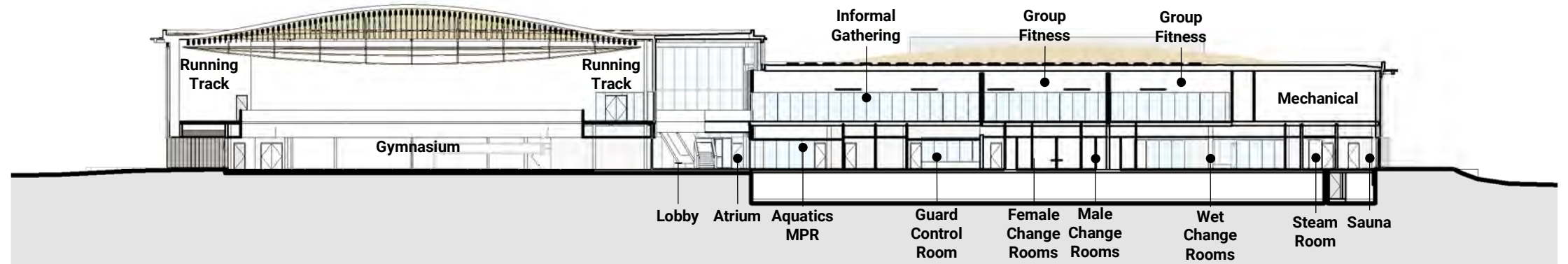
1 : 500





P\_CC - EW Section at Natatorium

1 : 500



P\_DD - NS Section at Gymnasium and Natatorium

1 : 500



Landscape Site Plan

**ATTACHMENT C**  
 This forms part of application  
 # DP25-0050

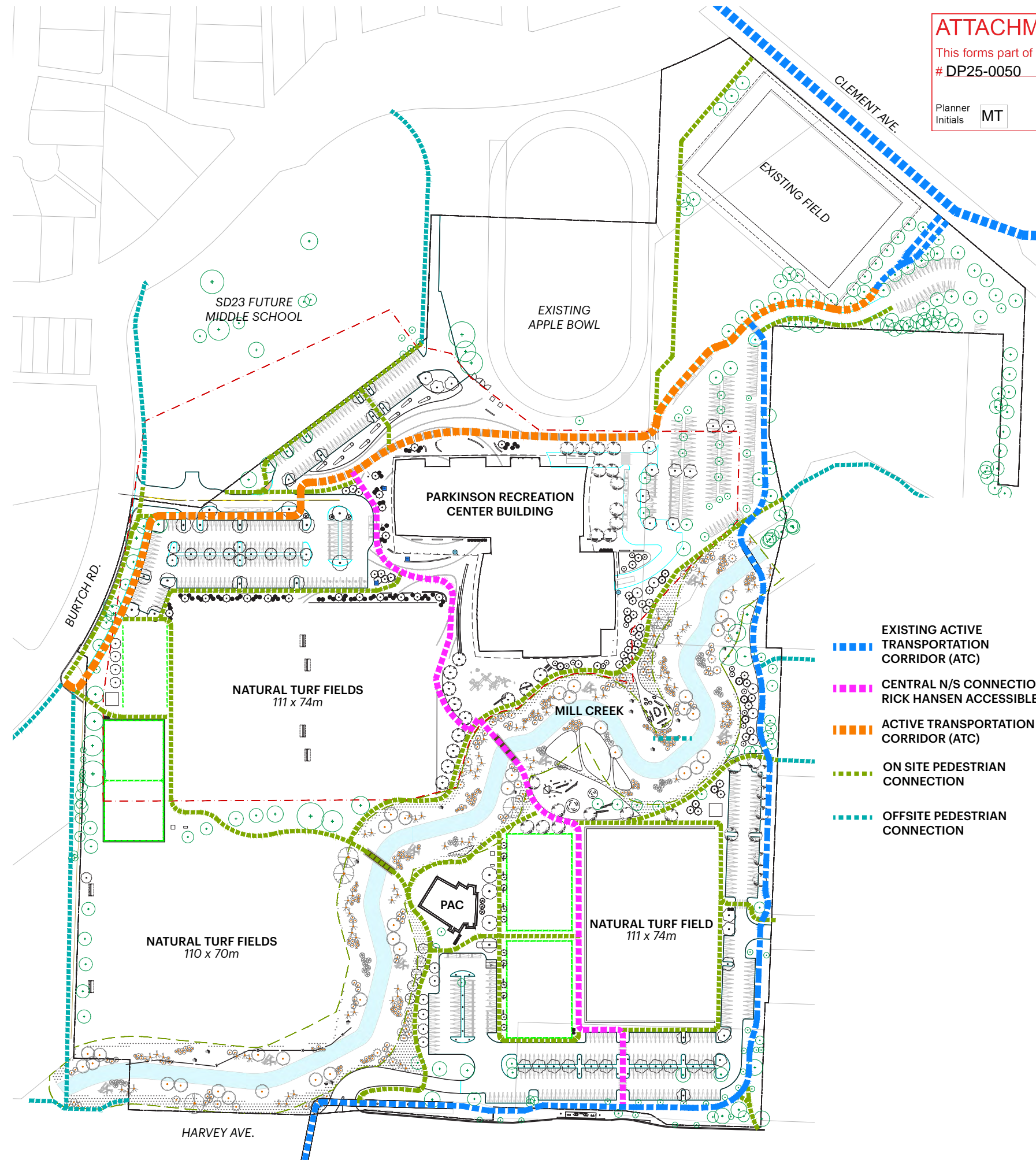
Planner Initials **MT**

City of **Kelowna**  
 DEVELOPMENT PLANNING





Landscape Mobility Plan





Landscape Canopy Coverage Plan



● RETAINED CANOPY  
 AREA = 22,940m<sup>2</sup>  
 ● ADDED NEW CANOPY  
 AREA = 16,375m<sup>2</sup>  
 TOTAL CANOPY COVERAGE  
 AREA = 20%  
 ( INCREASE OF 4%)



Cover photo for Indigenous Integration Approach:  
Indigenous Tourism BC. 2025.  
<https://www.indigenoustbc.com/content/uploads/2024/11/b6ea05fec4efa8630f67189ccd370ffb.jpeg>

Fig 5.1.1:  
Leroi Bent. Kelsie Kilawna, AptnNEWS..2020.  
<https://b1867527.smushcdn.com/1867527/wp-content/uploads/2020/06/Leroi-Bent-4-WEB.jpg?lossy=1&strip=1&webp=1>

Fig 5.2.1:  
Pine Needle Basket. Ad Hoc Penticton. 2025. [https://shopadhoc.com/cdn/shop/products/4583739A-7EC1-40EA-9750-4369FB2F2521\\_1\\_105\\_c.jpg?v=1623793939&width=773](https://shopadhoc.com/cdn/shop/products/4583739A-7EC1-40EA-9750-4369FB2F2521_1_105_c.jpg?v=1623793939&width=773)

Fig 5.3.1:  
Photo from WFN Annual General Meeting. BSK. 2024.

Fig 5.4.1:  
Three Bitterroot Flowers in a Crevice. iStock. 2025. <https://www.istockphoto.com/photo/three-bitterroot-flowers-in-a-crevice-gm476558342-66082453?searchscope=image%2Cfilm>

Fig 5.4.2:  
Saskatoon berries. Meggar – Wikimedia Commons. 2025. [https://upload.wikimedia.org/wikipedia/commons/8/8d/Amelanchier\\_alnifolia.jpg](https://upload.wikimedia.org/wikipedia/commons/8/8d/Amelanchier_alnifolia.jpg)

Fig 5.4.3:  
Grizzly bear and its two cubs. THE CANADIAN PRESS Jonathan Hayward. 2018.

Background to the Water Declaration:  
Aerial of the Fraser River Delta. Mint Images/ Art Wolfe. 2025

Background to Fig 6.1.1:  
Glenmore Hike. Brandts Creek. 2025. <https://brandtscreek.pub/wp-content/uploads/2018/05/pub-weekly-specials-wings-beer-wine-hikes-food-kelowna-glenmore-Brandts-Creek-1024x683.jpeg>

Fig 6.2.3.2  
Photo of Tule Reeds at Snccewips Heritage Museum. DSAI, 2025

Fig 6.2.4.1:  
Lunenburg Natatorium. DSAI. 2025.

## 12. Figures



## F&C Submission

- Owners Authorization
- DP Application Form & Checklist
- Zoning Analysis
- Architecture Drawings
- Landscape Drawings
- Arborist Report
- Landscape Letter of Understanding
- Civil Utility Drawings
- Electrical Photometric Plan
- Final Parking Report
- Final Loading Report
- Final Geotechnical Assessment

The data included in this document to be read in conjunction with the additional reports and drawings identified above and included with the submission.

## NE Submission

- Owners Authorization
- DP Application Form & Checklist
- Zoning Analysis
- Architecture Drawings
- Landscape Drawings
- Arborist Report
- Landscape Letter of Understanding
- Civil Utility Drawings
- Civil Soil Drawings
- Storm Water Management Plan
- Final Geotech Report
- Final Hydrogeological Report
- Environmental Assessment Report
- Environmental Monitor (Stop Work) Memo
- Shoring Sheet Pile Letter of Intent Memo
- Soil Deposition Information
- Site Logistics – Trailer Site Plan
- Site Logistics – Truck Movement
- Structural Buoyancy Analysis

The data included in this document to be read in conjunction with the additional reports and drawings identified above and included with the submission.









**ATTACHMENT D**

This forms part of application  
# DP25-0050

Planner Initials **MT**



City of  
**Kelowna**  
DEVELOPMENT PLANNING

































# Development Permit

1700 – 1800 Parkinson Way

DP25-0050



# Purpose

- To issue a Development Permit for the form and character of a multi-purpose recreation campus.



# Development Process

March 11 / 25 Development Application Submitted



Staff Review & Circulation



April 14 / 25 Development Permit

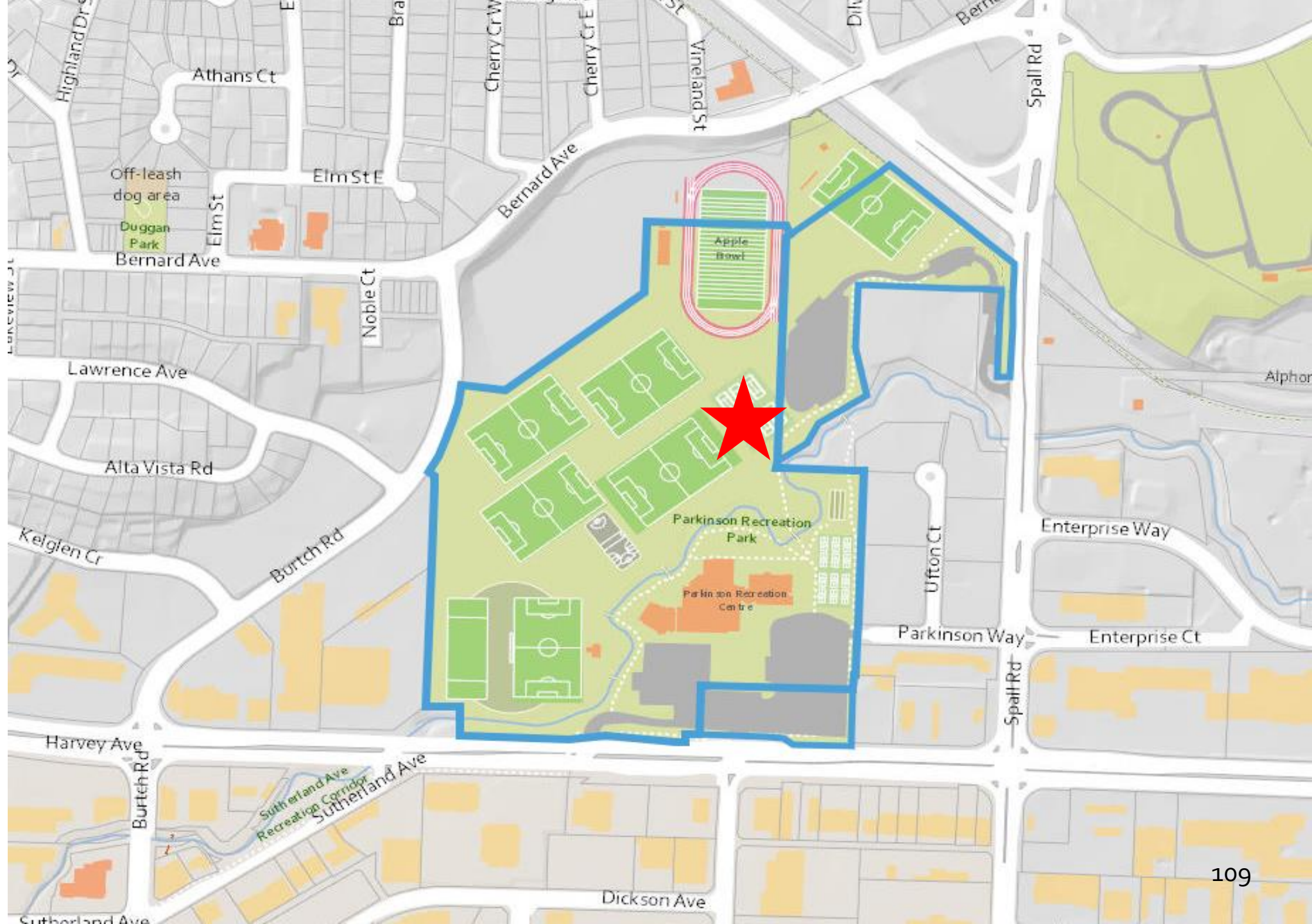


Building Permit





# Context Map

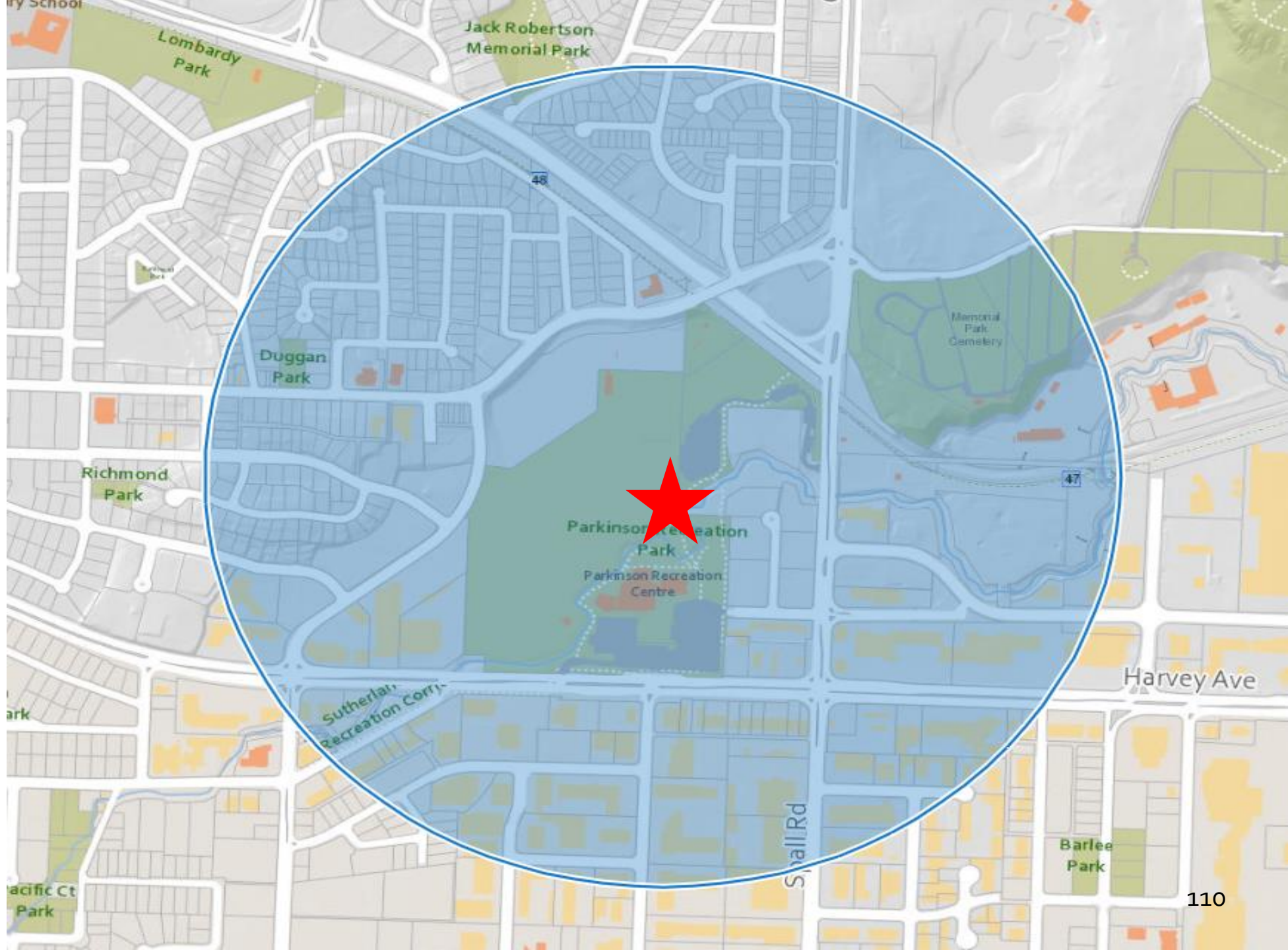






# Context Map

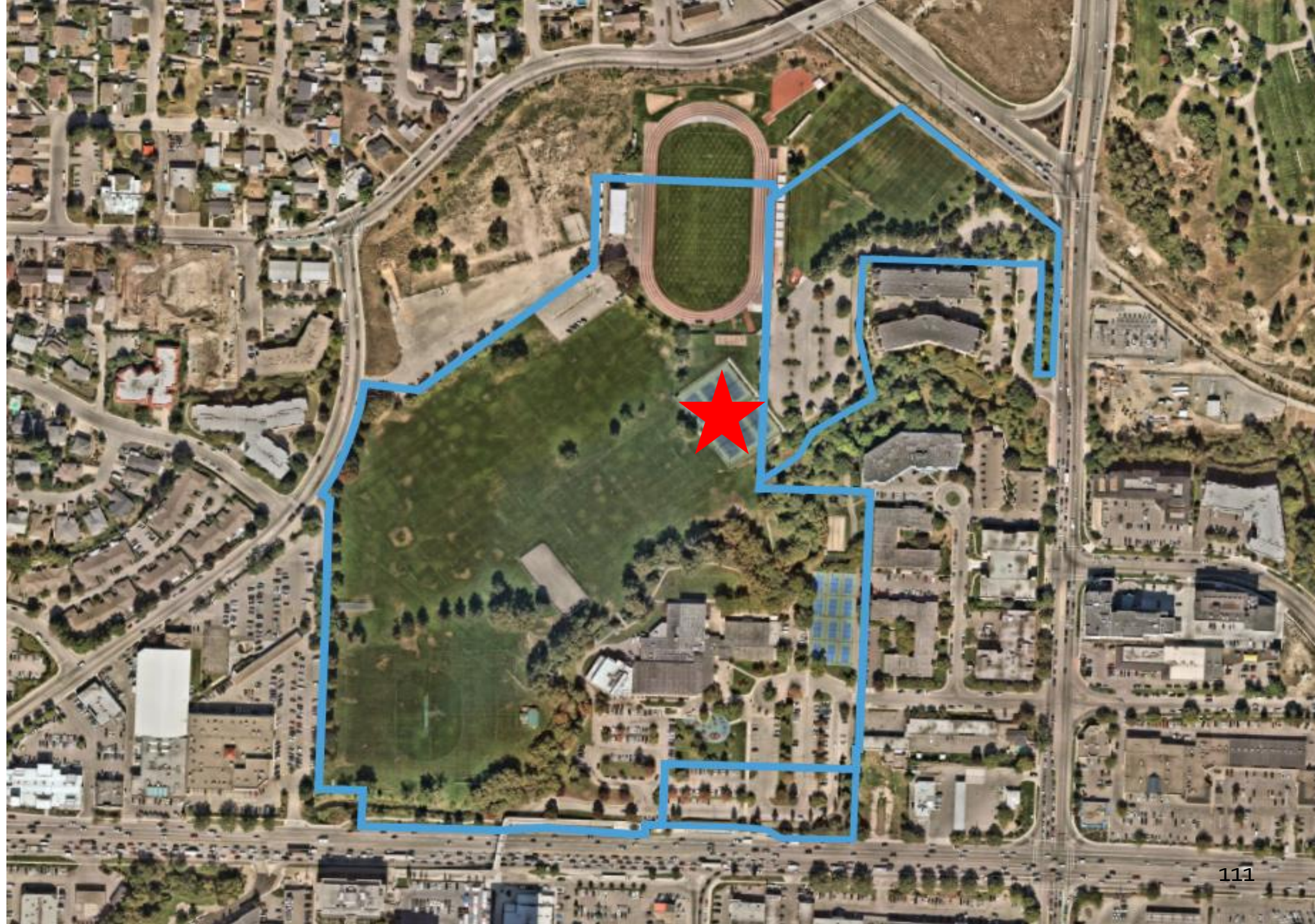
**Model City:**  
**Residential units:**  
2,103  
**Commercial units:**  
432  
**Estimated population:**  
3,598  
**Estimated jobs:**  
10,054







# Subject Property Map





# Technical Details

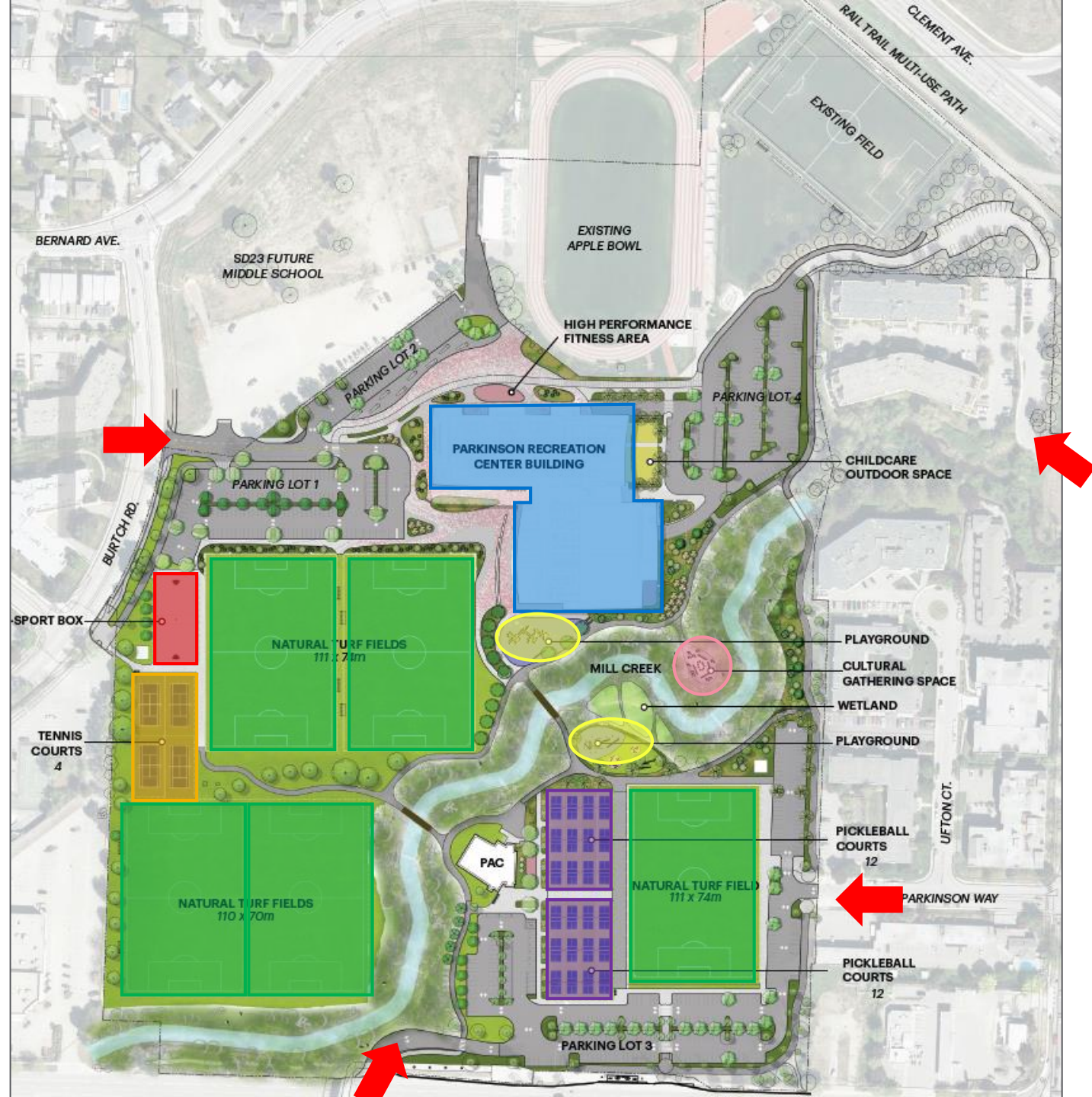
Multi-purpose recreation campus

- 15.36 m / 2 storeys
- Recreation Centre
  - Triple gymnasium, running track, fitness area, aquatics, multi-purpose rooms, community kitchen, library, administration space, childcare
- Redeveloped site
  - Sports fields, courts, multi-use areas, playgrounds, outdoor fitness, cultural gathering space, parking, active transportation





# Site Plan

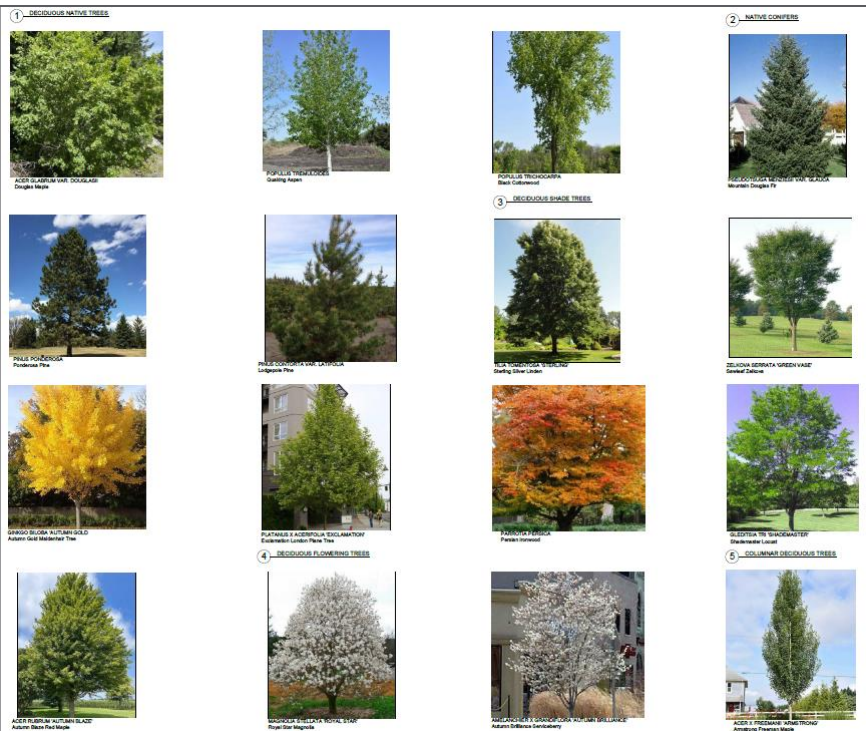








# Landscape Plan



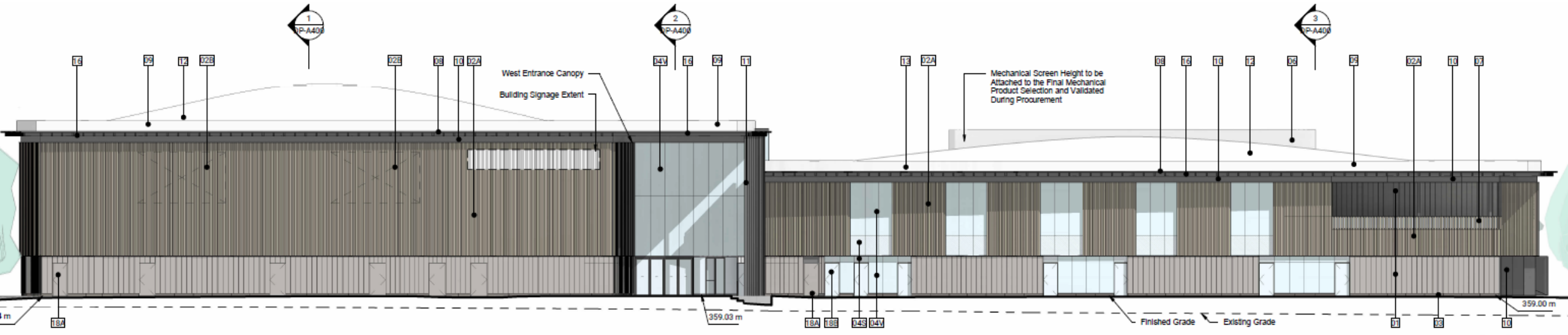


# Rendering West





# Elevation West



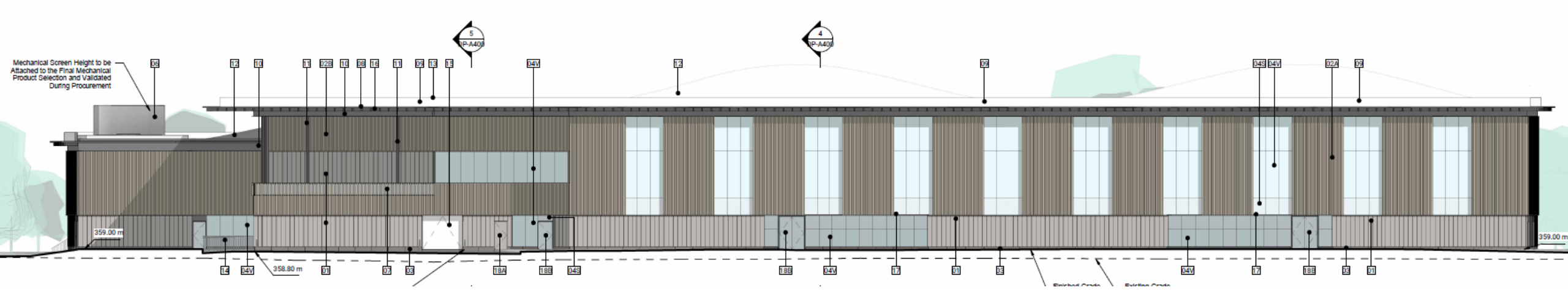


# Rendering North





# Elevation North



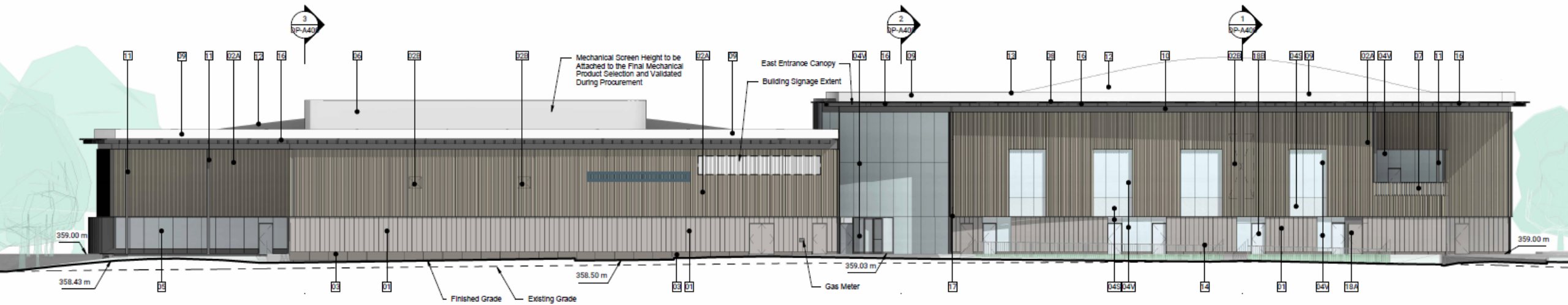


# Rendering East





# Elevation East



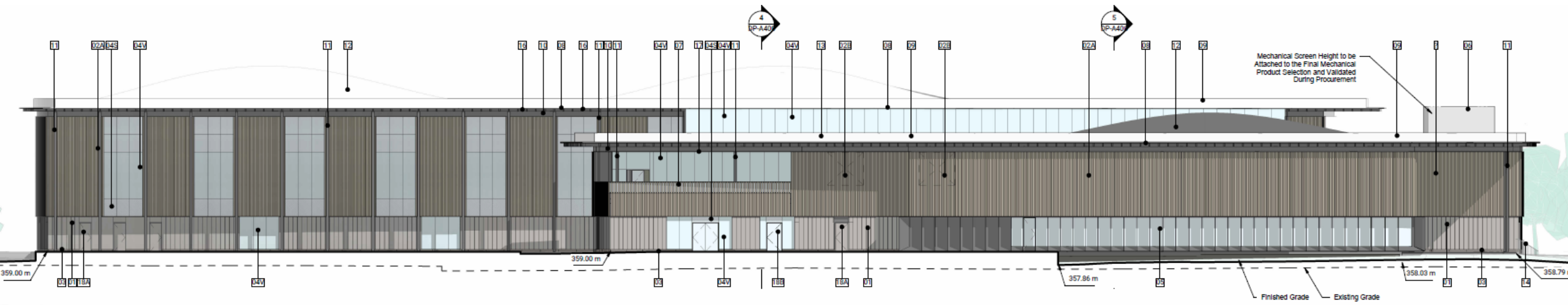


# Rendering South





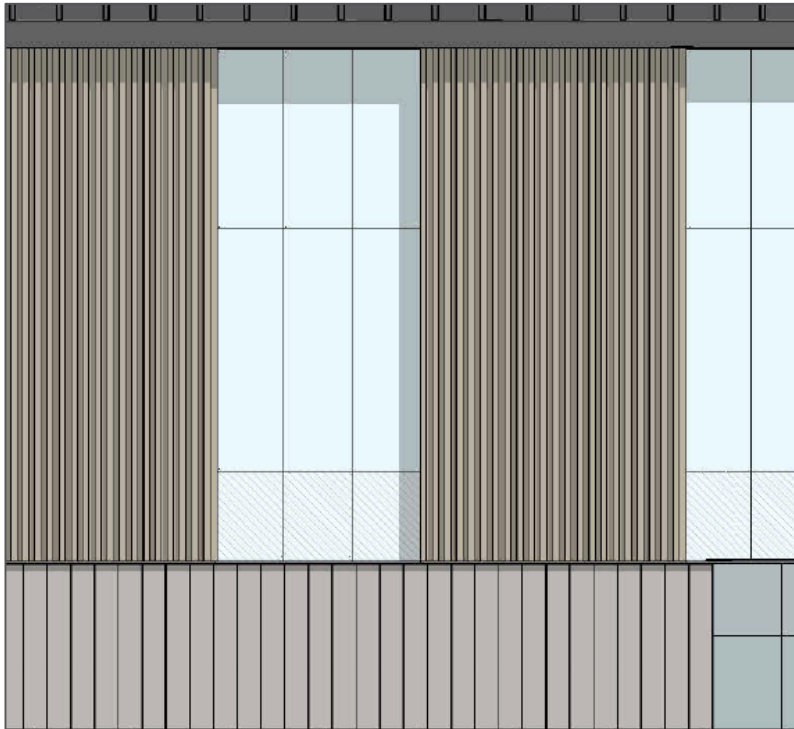
# Elevation South





# Materials

1. Exterior Cladding Panel 1 (Lower) - Cement Panel
2. Exterior Cladding Panel 2 (Upper) -
  - 2A. Coloured Metal Breakshape Panel
  - 2B. Coloured Metal Breakshape Panel - Perforated
3. Exterior Cladding Panel 3 (Base) - Concrete Precast Panel
4. Glazing Type 1 - Coloured Metal Frame and Clear Glass
  - 4V. Vision Glass Panel
  - 4S. Spandrel Panel
5. Glazing Type 2 - Deep Coloured Metal Frame to match Exterior Cladding Panel 1 (Lower) and Clear Glass (Natorium)
6. Mechanical Equipment Screen - Coloured Perforated Metal Panel
7. Picket Guard - Coloured Metal Extrusion
8. Canopy Fascia Cladding - Coloured Metal Cladding
9. Parapet Cladding Type 1 - Metal Cladding to match Exterior Panel 2 (Upper)
10. Fascia Cladding - Metal Cladding to match Exterior Panel 2 (Upper)
11. Painted Steel Columns
12. Exposed Roof Membrane to match Exterior Panel 2 (Upper)
13. PV Array Roof Beyond
14. Exterior Railing - Coloured Metal Railing to match Glazing Type 2
15. Loading Door to match Exterior Cladding Panel 1 (Lower)
16. Wood and Painted Metal Structural Canopy Framing
17. Soffit Cladding - Coloured Metal Panel
18. Exterior Doors
  - 18A. HM Door Clad with Exterior Cladding 1 Veneer Panel
  - 18B. Glass Door to match Glazing Type 1 [4V]



Design  
Inspiration 124



# Interior Rendering





# OCP Design Guidelines

- Designing buildings to frame and activate adjacent open spaces
- Siting and designing the building to respond to unique site conditions and opportunities
- Incorporating landmark or emblematic design features, including large extensions of the public realm
- Demonstrating variety in massing and materiality



# Staff Recommendation

- Staff recommend **support** for the proposed Development Permit as it:
  - Meets majority of OCP Design Guidelines
  - No variances required



# REPORT TO COUNCIL EXTENSION



**Date:** April 14<sup>th</sup>, 2025  
**To:** Council  
**From:** City Manager  
**Address:** 1910 Cross Rd  
**File No.:** Z23-0011

	Existing	Proposed
<b>OCP Future Land Use:</b>	C-NHD – Core Area Neighbourhood	C-NHD – Core Area Neighbourhood
<b>Zone:</b>	MF1 – Infill Housing	MF2 – Townhouse Housing

### 1.0 Recommendation

THAT in accordance with Development Applications and Heritage Procedures Bylaw No. 12310, the deadline for adoption of Rezoning Bylaw No. 12617 be extended from February 26, 2025 to February 26, 2026;  
 AND THAT Council direct Staff to not accept any further extension requests.

### 2.0 Purpose

To extend the adoption of Rezoning Bylaw No. 12617 to February 26, 2026.

### 3.0 Discussion

Final adoption of the Rezoning Bylaw is subject to the applicant meeting requirement of the Attachment “A”: Development Engineering Memorandum and Council’s consideration of a Development Permit and Development Variance Permit Application. The applicant has been working with Staff and has requested additional time to complete the outstanding conditions. Staff are recommending that Council support the deadline for the adoption of Rezoning Bylaw No. 12617 by one year to February 26, 2026, with no further extension request to be granted.

### 4.0 Background

Resolution	Date
<p>THAT Rezoning Application No. Z23-0011 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot 8 Section 4 Township 23 ODYD Plan 18009 and Lot 9 Section 4 Township 23 ODYD Plan 18009, located at 1910 Cross Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the MF2 – Townhouse Housing zone, be considered by Council;</p> <p>AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Attachment “A” attached to the Report from the Development Planning Department dated February 5<sup>th</sup>, 2024;</p> <p>AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council’s consideration of a Development Permit and Development Variance Permit for the subject property.</p>	February 26, 2024



## 5.0 Application Chronology

Application Accepted: February 28, 2023

Reading Consideration: February 26, 2024

**Report prepared by:** Tyler Caswell, Planner Specialist

**Reviewed by:** Alex Kondor, Development Planning Manager

**Reviewed by:** Nola Kilmartin, Development Planning Department Manager

**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).



# CITY OF KELOWNA

## BYLAW NO. 12721

### Official Community Plan Amendment No. OCP24-0007 9595 Bottom Wood Lake Road and 672 Beaver Lake Road

---

A bylaw to amend the "Kelowna 2040 – Official Community Plan Bylaw No. 12300".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 3.1 – **Future Land Use** of "Kelowna 2040 – Official Community Plan Bylaw No. 12300" be amended by changing the Future Land Use designation of:
  - a) That Part Lot 45 Shown on Plan 940F District Lot 118 ODYD Plan 457 Except Plan 36673 located on Bottom Wood Lake Rd, Kelowna, BC, and
  - b) That Part Lot 46 Shown on Plan 940F District Lot 118 ODYD Plan 457 Except Plan 36673 located on Beaver Lake Rd, Kelowna, BC,from the IND – Industrial designation to the S-MU – Suburban Multiple Unit designation.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 25<sup>th</sup> day of November, 2024.

Considered at a Public Hearing on the 21<sup>st</sup> day of January, 2025.

Read a second and third time by the Municipal Council this 21<sup>st</sup> day of January, 2025.

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



# CITY OF KELOWNA

## BYLAW NO. 12722

### Z24-0028

## 9595 Bottom Wood Lake Road and 672 Beaver Lake Road

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of:
  - a) That Part Lot 45 Shown on Plan 940F District Lot 118 ODYD Plan 457 Except Plan 36673 located on Bottom Wood Lake Rd, Kelowna, BC, and
  - b) That Part Lot 46 Shown on Plan 940F District Lot 118 ODYD Plan 457 Except Plan 36673 located on Beaver Lake Rd, Kelowna, BC,from the I2 – General Industrial zone to the MF3 – Apartment Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 25<sup>th</sup> day of November, 2024.

Considered at a Public Hearing on the 21<sup>st</sup> day of January, 2025.

Read a second and third time by the Municipal Council this 21<sup>st</sup> day of January, 2025.

Approved under the Transportation Act this 24<sup>th</sup> day of January, 2025.

Audrie Henry

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



**CITY OF KELOWNA**  
**BYLAW NO. 12761**  
**TA25-0001 – Updates to Short-Term Rental Regulations**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that City of Kelowna Zoning Bylaw No. 12375 be amended as follows:

1. THAT **Section 5 – Definitions & Interpretations**, 5.3 – General Definitions, SHORT-TERM RENTAL ACCOMMODATION be amended by:
  - 1.1. Deleting "one or more sleeping units within" and replacing it with "a portion of".
  - 1.2. Deleting ", a carriage house, a group home, or within a secondary suite" and replacing it with "or a group home."
2. AND THAT **Section 5 – Definitions & Interpretations**, 5.3 – General Definitions, DWELLING UNIT be amended by deleting "This use" before "does not include a hotel or motel." and replacing it with "A dwelling unit may include short-term rental accommodation,".
3. AND THAT **Section 5 – Definitions & Interpretations**, 5.3 – General Definitions, SECONDARY SUITE be amended by deleting "Short-term rental accommodations, bed" and replacing it with "Bed".
4. AND THAT **Section 9 – Specific Use Regulations** be amended by deleting the "9.10 Short-Term Rental Accommodation" section in its entirety and replacing it with the following:

"9.10 Short-Term Rental Accommodation

  - 9.10.1 Short-term rental accommodation must be operated by a principal resident that resides at the dwelling unit for more than 240 days a year. If a secondary suite or carriage house is used for short-term rental accommodation, it must be operated by a principal resident that resides at a dwelling unit on the same lot as the secondary suite or carriage house for more than 240 days of a year. The principal residence does not apply to a property in respect of which an operator holds a fractional interest if the property may not be used as a principal residence by any person due to mandatory provisions in the applicable fractional ownership agreement.
  - 9.10.2 Short-term rental accommodation must have a valid licence issued under the City of Kelowna Short-Term Rental Accommodation Business Licence and Regulation Bylaw No. 11720.
  - 9.10.3 No more than one booking or reservation for short-term rental accommodation is permitted in each dwelling unit at one time.
  - 9.10.4 A maximum of three (3) sleepings units used for short-term rental accommodation is permitted per dwelling unit.



9.10.5 If a lot containing a single detached dwelling and a carriage house and/or a secondary suite is used for short-term rental accommodation, a maximum of two (2) dwelling units and five (5) sleeping units in total are permitted for short-term rental use.

9.10.6 No more than two adults may occupy a sleeping unit for short-term rental accommodation.

9.10.7 For properties within the Agricultural Land Reserve, short-term rental accommodation must be in accordance with the Agricultural Land Commission Act and its regulations.”.

5. AND THAT **Section 14 – Core Area & Other Zones**, Section 14.15 – Site Specific Regulations be amended by deleting “• short-term rental accommodation as a principal use in addition to those land uses permitted in Section 14.9.” under the “Regulation” column in row “5.”.
6. AND THAT **Section 14 – Core Area & Other Zones**, Section 14.15 – Site Specific Regulations be amended by deleting row “8.” in its entirety.
7. AND THAT **Section 14 – Core Area & Other Zones**, Section 14.15 – Site Specific Regulations be amended by deleting row “9.” in its entirety.
8. AND FURTHER THAT **Section 15 – Comprehensive Development Zones**, 15.4 CD18 – McKinley Beach Resort, 15.4.3 – CD18 Permitted Land Uses be amended by deleting the “Short-Term Rental Accommodations” row in its entirety.
9. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 17<sup>th</sup> day of March 2025.

Approved pursuant to section 52(3)(a) of the Transportation Act this 18<sup>th</sup> day of March 2025.

Damian Kusiak  
for Minister of Transportation & Transit

Adopted by the Municipal Council of the City of Kelowna this

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk



# Report to Council



**Date:** April 14, 2025  
**To:** Council  
**From:** City Manager  
**Subject:** 2025 OCP Update - Revised Growth Scenario  
**Department:** Long Range Planning

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**Recommendation:**

THAT Council receives, for information, the report from Long Range Planning dated April 14, 2025, with respect to the 2025 OCP Update - Revised Growth Scenario.

**Purpose:**

To receive a revised 2041 growth scenario that aligns with the interim Housing Needs Assessment as part of the 2025 OCP Update.

**Council Priority Alignment:**

- Affordable Housing
- Climate & Environment
- Transportation
- Agriculture

**Background:**

In late 2023 the Province passed a suite of legislation to shift to a more proactive approach to planning and zoning to enable more housing to be built in the right places, faster. The new framework emphasizes long-term planning to ensure that enough land is designated and pre-zoned to meet both current and future housing needs. As part of this new legislation, all municipalities are required to update their OCPs by December 31, 2025 to include statements and map designations to meet anticipated housing needs over at least 20 years, as identified in their Interim Housing Needs Assessments (HNA). The first part of this process is to understand where the additional growth identified in the HNA will go.



### Previous Council Resolution

Resolution	Date
THAT Council receives, for information, the report from the Housing Policy and Programs Department, dated November 25, 2024, regarding the Interim Housing Needs Assessment.	November 25, 2024
THAT Council receives, for information, the report from the Long Range Planning Department dated November 25, 2024, with respect to the 2025 Official Community Plan (OCP) Update Process.	November 25, 2024

### Discussion:

Based in part on the BC Stats population projections available at the time, [Kelowna's HNA](#) (presented to Council last fall) determined that nearly 45,000 housing units were required between 2021 and 2041 to meet an estimated 2041 population of over 232,000 people. This is nearly 20,000 more units than were identified in the 2040 OCP's Growth Scenario. This difference can be primarily attributed to BC Stats anticipating a higher growth rate as well as a more robust approach to delivering housing, particularly in onboarding more housing to address unmet needs.

BC Stats recently released revised projections, reducing their population projection to 2041 to approximately 212,000. Nevertheless, the 2025 OCP update must be based on the higher growth projection to align with what was projected in the interim HNA. If higher population growth is not achieved during that period, it will mean there will be additional capacity for housing beyond the 2041 timeframe.

The foundations of Kelowna's 2040 OCP, guided by thousands of pieces of public input provided over the multi-year planning process, continue to provide sound guiding direction for a growing Kelowna. Based on this, Model City has shown that Kelowna's Future Land Use and Zoning have nearly 75,000 units of high development potential capacity, and significant additional zoned capacity, well beyond what is needed to accommodate the additional units identified in the HNA.

Model City can be used to anticipate the likelihood of where the 45,000 units will be distributed across the city. Identifying locations of development applications in various stages of approval together with properties that have high residential development potential has resulted in the distribution of housing units as outlined in Table 1, with additional details provided in *Attachment A: Comparison of 2040 OCP and Revised Growth Scenarios* and *Attachment B: 2041 Growth Scenario Map*.

Table 1: Comparison of 2040 OCP and revised growth scenarios

	2040 OCP (2021 – 2040)	Revised scenario (2021 – 2041)
Urban Centres	12,100 (48%)	17,105 (38%)
Core Area	6,430 (25%)	14,844 (33%)
Suburban	4,250 (17%)	9,626 (21%)
Gateway	1,050 (4%)	1,288 (3%)
Rest (Suburban / Rural)	304 (6%)	304 (1%)
Secondary Suites		1,833 (4%)
<b>Total</b>	<b>25,330 units</b>	<b>45,000 units</b>

In the 2040 OCP growth scenario, 73 per cent of growth was in the Urban Centres and Core Area. The revised growth scenario also accommodates the bulk of the growth in these areas, however, they are



more evenly distributed between the Urban Centres and Core Area. This is because of significant development expected in the Core, for example future development in the North End, at the Mill Site and at Burtch/Harvey Area Redevelopment Plan lands.

The growth scenario doesn't only look at where new housing units will be going, it also considers what form the housing will be. The 2040 OCP looked at two different categories of housing - single / two units and multiple dwelling units. The revised growth scenario has adjusted these categories to be in line with new provincial housing legislation and census data: ground-oriented units (including a mix of single family, townhomes, infill, carriage homes and secondary suites) and apartments.

Table 2 below presents the updated housing mix, with 65 percent of new units comprising apartments and 35 percent consisting of ground-oriented forms. Most apartment units will be situated in Urban Centres and the Core Area, whereas most ground-oriented units will be located in the Core Area and Suburban growth strategy districts. Analyzing the data from the Housing Dashboard indicates that this distribution aligns closely with Kelowna's trends over the past four years, where 34 percent of building permits were issued for ground-oriented units and 66 percent for apartment units. Ultimately if this new housing mix is realized, by 2041 the distribution of Kelowna's total housing stock (which includes new and existing homes) will be 54 per cent ground-oriented and 46 per cent apartment.

Table 2: Revised new housing mix

2040 OCP (2021 – 2040)		Revised Growth Scenario (2021 – 2041)
5,980 single/two units (24%)	→	15,600 ground oriented (35%)
19,350 multiple units (76%)	→	29,400 apartments (65%)
<b>25,330 units total</b>		<b>45,000 units total</b>

### Conclusion & Next Steps:

Over the coming months staff will be drafting a package of proposed updates to align with the requirements set by the Province for the 2025 legislated OCP update. In addition to the revised growth scenario, updates will include select sections of Chapter 2 to address population and housing projections; and housing policy updates in each of the growth strategy district chapters (chapters 4, 5, 6, 7 and 8). The draft revisions will then be presented to Council and then shared with the public for comment.

The OCP is a living document that provides direction on how Kelowna will evolve to 2040. Amendments beyond the legislated update are expected and will be required throughout the life of the plan to adapt to a changing context. The OCP Pillars and the Plan's growth strategy, however, continue to serve as the foundations of the Plan, providing overarching direction as amendments are made.

### Internal Circulation:

Capital Planning & Asset Management  
 Community Communications  
 Data Services & Analytics  
 Development Engineering



Development Planning  
 Facilities Planning & Design  
 Housing Policy and Programs  
 Infrastructure  
 Integrated Transportation  
 Parks Planning & Design  
 Utility Services

**Considerations applicable to this report:**

***Legal/Statutory Authority:***

BC Local Government Act, Part 14, Division 4:

- Section 473.1 (5) The council of a municipality must, within the prescribed period after December 31 of the year in which the council received the most recent housing needs report, review and, if necessary, adopt an official community plan that includes statements, maps and housing policies in accordance with subsections (3) and (4).

***Existing Policy:***

2040 Official Community Plan

- Chapter 2: Housing & Population Projections
  - Table 2.5 Housing Unit Projections by Growth Area
  - Map 2.1 Anticipated Residential Unit Distribution

***Financial/Budgetary Considerations:***

The Housing Capacity Fund is a grant distributed to municipalities and regional districts to help facilitate implementation of the new provincial legislative requirements of Bill 44 and Bill 47, and/or to adopt new authorities under Bill 16 and 46. As part of Kelowna's grant allocation, \$210,000 has been designated for the 2025 OCP Update. These funds will provide for consultant support, data analysis, engagement, and legal review that is required as part of the OCP update.

***Consultation and Engagement:***

A consultation process will be planned once all changes have been drafted for the OCP update (including the new growth scenario, mapping and table updates) so that the public will have an opportunity to understand the implications of proposed amendments to meet the provincial requirements.

**Considerations not applicable to this report:**

***Legal/Statutory Procedural Requirements:***

***Communications Comments:***

Submitted by:

T. Guidi, Planner Specialist

**Approved for inclusion:** R. Miles, Long Range Planning Manager

**Attachments:**

Attachment A: Comparison of 2040 OCP and Revised Growth Scenario

Attachment B: Draft Map 2.1 Anticipated Residential Unit Distribution (2021-2041)



## Attachment A: Comparison of 2040 OCP and Revised Growth Scenarios

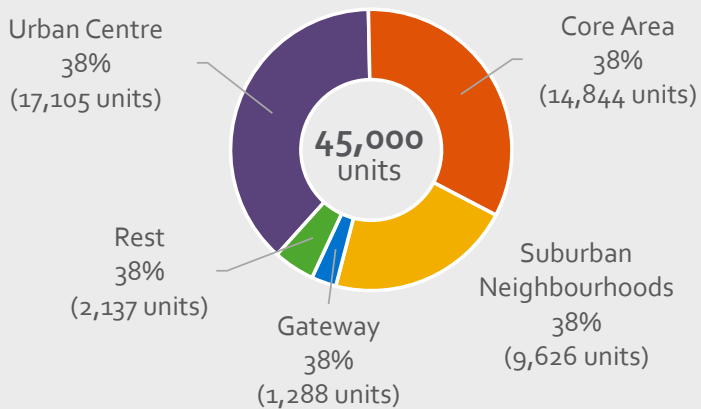
OCP (2021 - 2040)		Revised (2021 - 2041)	
<b>URBAN CENTRES</b>	<b>12,100 (48%)</b>		<b>17,105 (38%)</b>
Capri-Landmark UC	3,650	Capri-Landmark UC	2,160
Downtown UC	4,500	Downtown UC	6,939
Midtown UC	1,075	Midtown UC	3,154
Rutland UC	1,850	Rutland UC	2,883
Pandosy UC	1,025	Pandosy UC	1,969
<b>CORE AREA</b>	<b>6,430 (25%)</b>		<b>14,844 (33%)</b>
Core Central	3,800	Core Central	3,141
		Core Hospital	2,131
		Core Lakeshore	2,463
		Core Midtown	18
		North End	1,844
Core Glenmore	1,630	Core Glenmore	2,988
Core Rutland	1,000	Core Rutland	2,259
<b>SUBURBAN</b>	<b>4,250 (17%)</b>		<b>9,626 (21%)</b>
Black Mountain	450	Black Mountain	869
North Clifton	150	Clifton	209
Mt. Baldy	375	Dilworth	2,453
Kirschner Mountain	350	Kirschner Mountain	1,197
McKinley Beach	375	McKinley Beach	960
The Ponds	875	The Ponds	725
Tower Ranch	425	Tower Ranch	592
Kettle Valley South	250	Upper Mission	699
Wilden	1,000	Wilden	1,631
		Lower Mission	291
<b>GATEWAY</b>	<b>1,050 (4%)</b>		<b>1,288 (3%)</b>
University South	1,050	University	1,274
		Beaver Lake	-
		Industrial	-
		Gateway Industrial	14
<b>REST (Suburban/Rural)</b>	<b>1,500 (6%)</b>		<b>304 (1%)</b>
Remainder of City*	1,500	North Kelowna Rural and Suburban	207
		South Kelowna Rural and Suburban	97
<b>Secondary Suites</b>	<b>-</b>		<b>1,833 (4%)</b>
	<b>25,330</b>	<b>TOTAL</b>	<b>45,000</b>

\*Remainder of City also included portions of the areas in Suburban and secondary suites

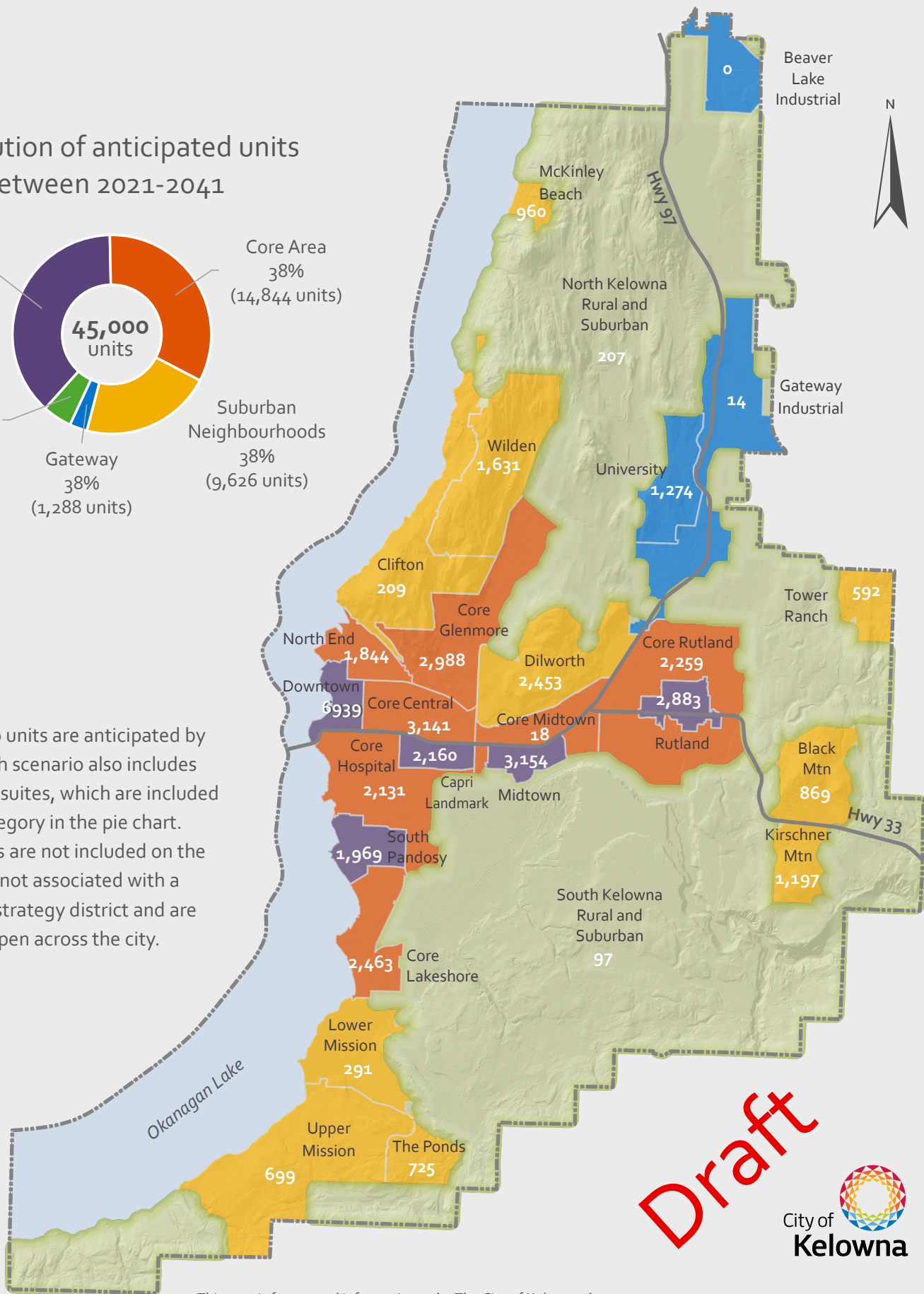
Ultimately if this new housing mix is realized, by 2041 the distribution of Kelowna's total housing stock (which includes new and existing homes) **will be 54 per cent ground-oriented and 46 per cent apartment.**



### Distribution of anticipated units between 2021-2041



A total of 45,000 units are anticipated by 2041. The growth scenario also includes 1,833 secondary suites, which are included in the "Rest" category in the pie chart. Secondary suites are not included on the map as they are not associated with a specific growth strategy district and are expected to happen across the city.



**Draft**



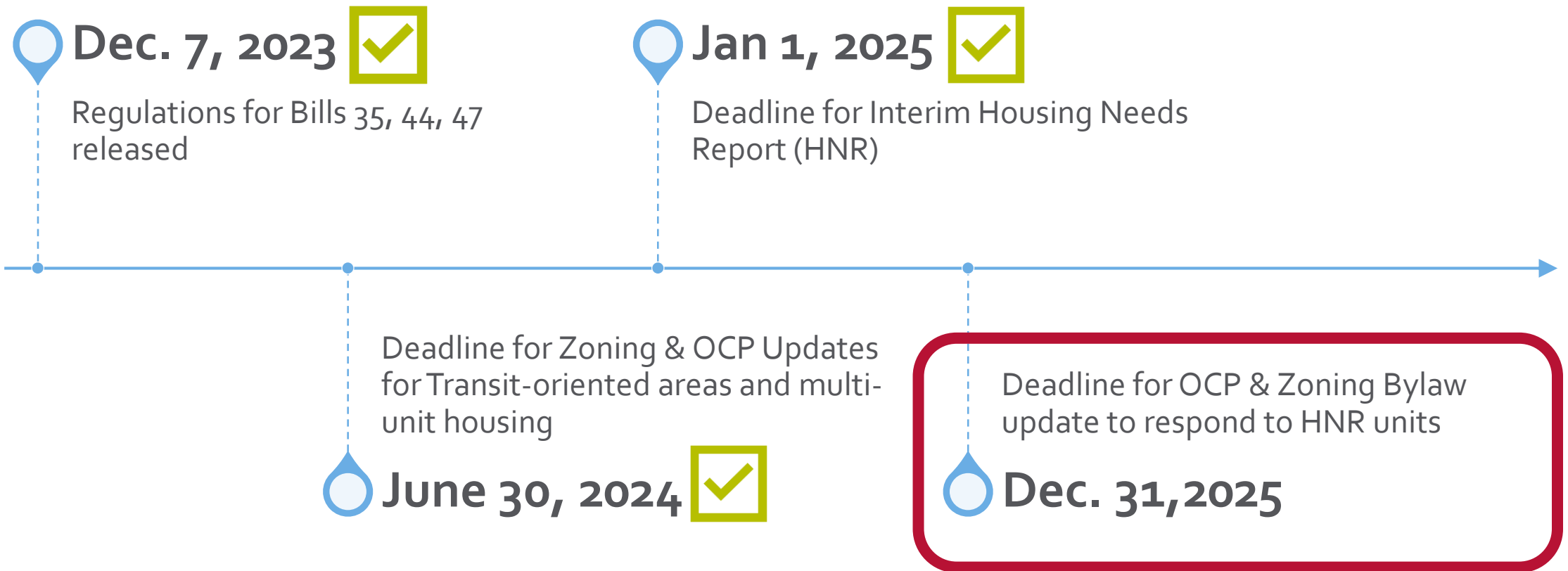


# 2025 OCP Update: **Revised Growth Scenario**

April 14, 2025



# Provincial Housing Requirements





# 2025 OCP Update Requirements

1

**Statements and map designations** for residential development including:

- Location, amount, type, and density

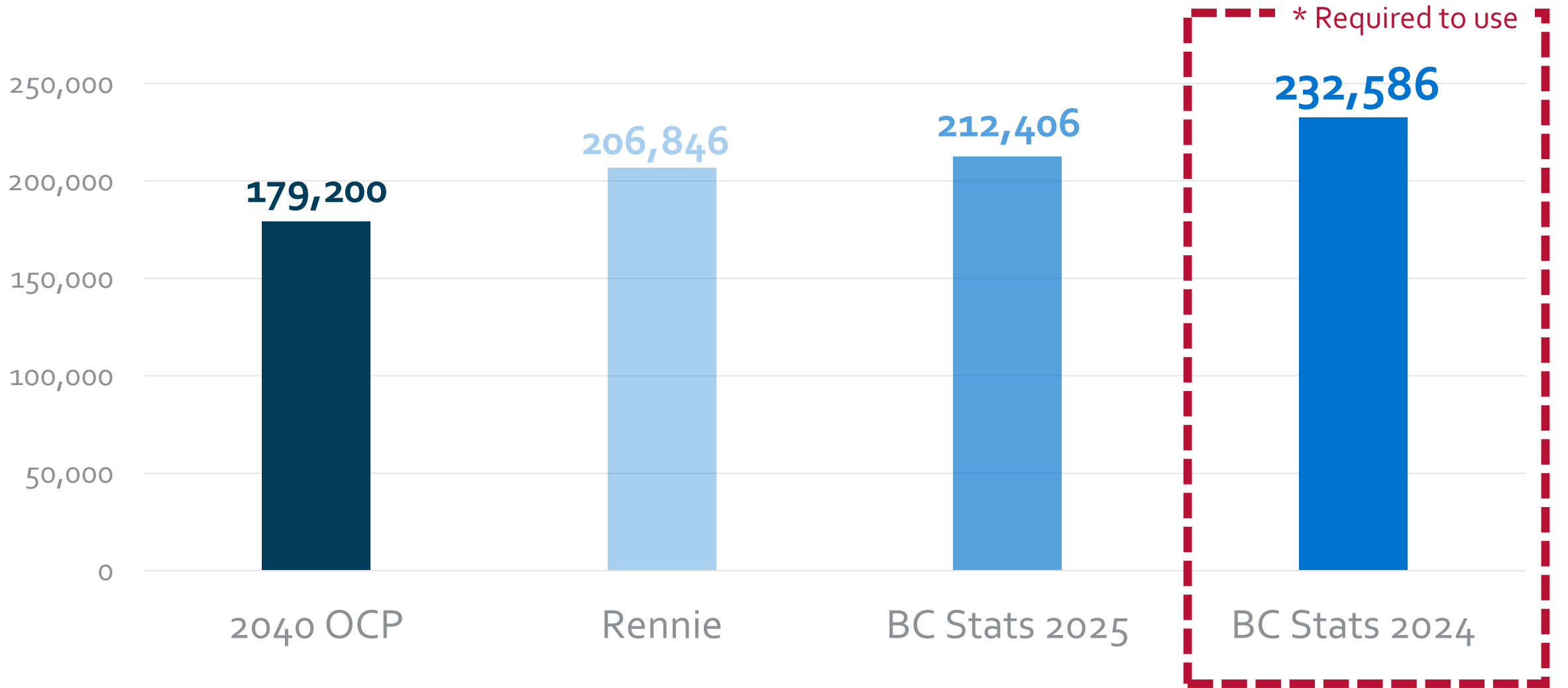
2

**Housing policies** addressing HNA including:

- Affordable, rental, special needs, family, seniors, shelter housing
- Housing close to alternative transportation infrastructure



# 2041 population projections





# Interim Housing Needs Assessment

2021 - 2041

7,882 units (unmet need) + 36,689 units (growth)

**= 44,571 new units**

*\*2040 OCP anticipated 25,300 units*







# Growing from 25,330 to 45,000 units

- Future land use designations
- Zoning Bylaw



Ample  
capacity

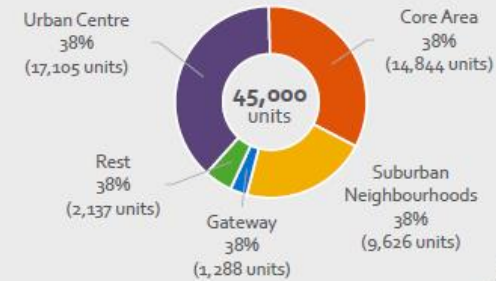
**Model City** informs where the new growth is expected to go.



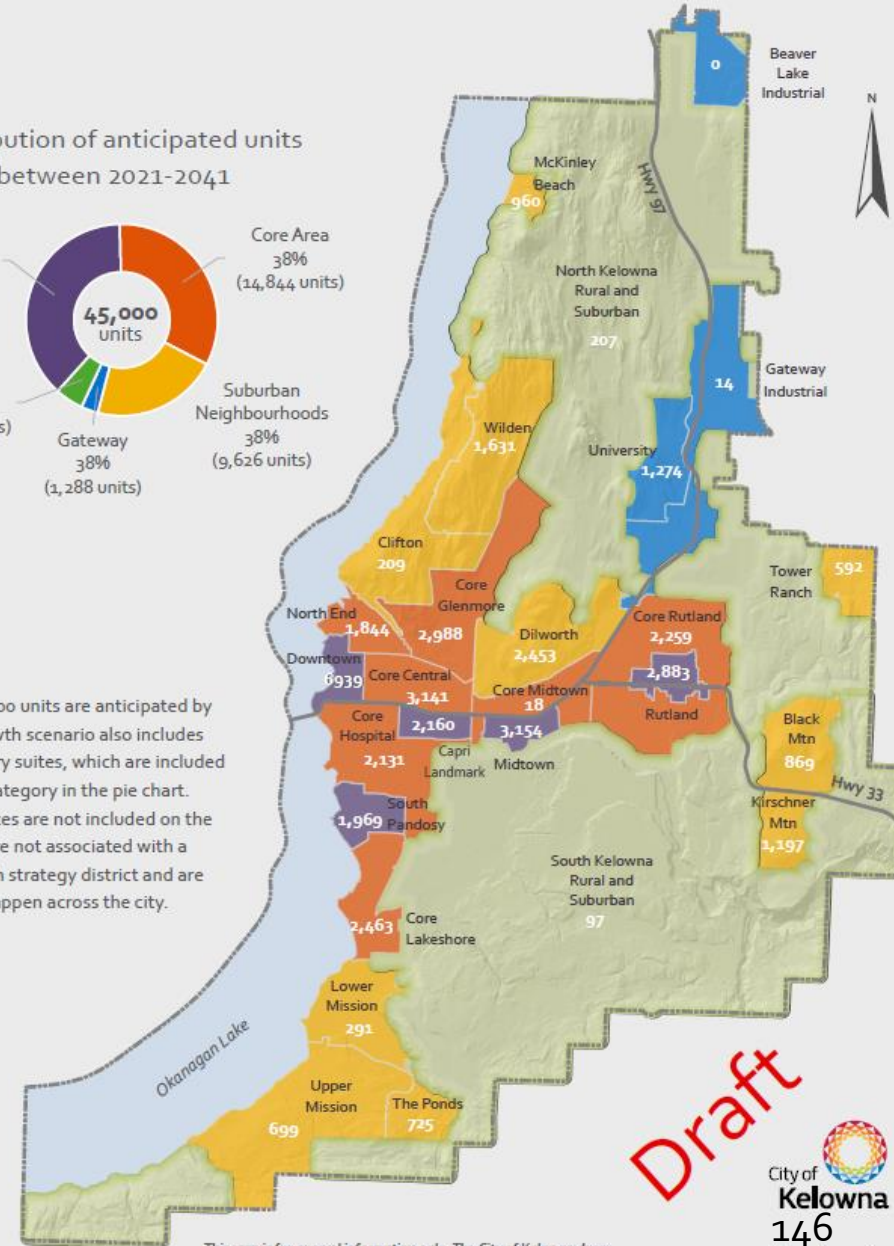
# Growing from 25,330 to 45,000 units

- Growth direction set by OCP Pillars
- Model City anticipates where growth will happen based on:
  - Permanent growth boundary
  - Current future land use
  - Current zoning
  - Current DA's, BP's, ASP's and known future developments
  - High development potential

Distribution of anticipated units between 2021-2041



A total of 45,000 units are anticipated by 2041. The growth scenario also includes 1,833 secondary suites, which are included in the "Rest" category in the pie chart. Secondary suites are not included on the map as they are not associated with a specific growth strategy district and are expected to happen across the city.



Draft



# Revised growth scenario



**38%**  
Urban  
Centres



**33%**  
Core  
Area



**21%**  
Suburban



**3%**  
Gateway



**1%**  
Rest

\*Secondary suites make up the remaining **4%** across the city



# 2041 housing mix

## 2040 OCP (2021 – 2040)

5,980 single/two units (24%)

19,350 multiple units (76%)

25,330 units total

## 2041 Growth Scenario (2021 – 2041)

15,600 ground oriented (35%)

29,400 apartment (65%)

45,000 units total



*Approx **total housing stock** (new and existing): 107,008 (54% ground oriented, 46% apartment)*

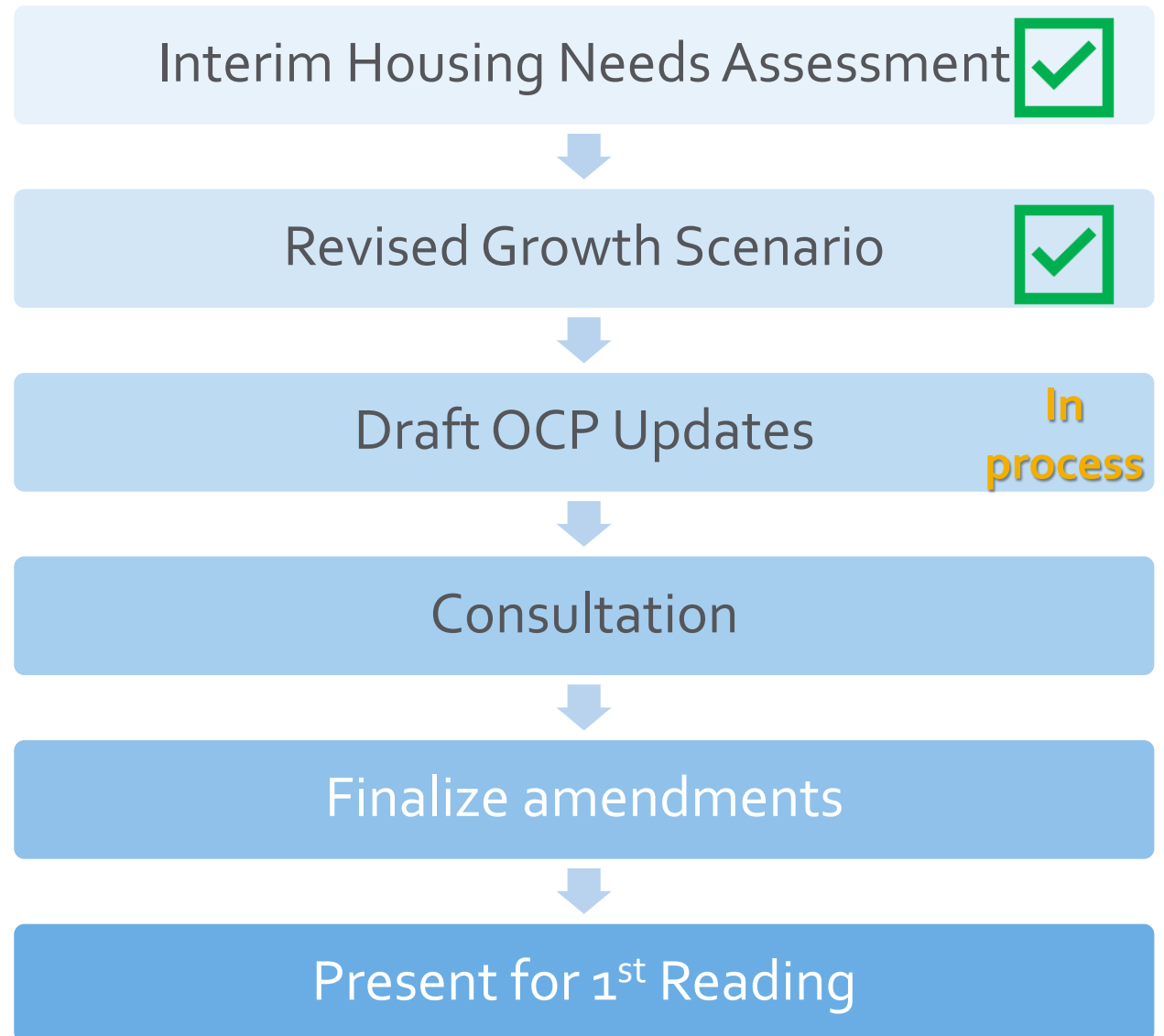




# 2025 OCP Update Process

NOW

Q3 2025





# Draft OCP Updates

Chapter 2

- Housing & residential unit projections to 2041
- 20-year housing distribution

Chapters 4, 5, 6, 7, 8

- Select housing policy updates

Chapter 16

- New implementation actions and priorities







Questions?



# Report to Council



**Date:** March 31, 2025  
**To:** Council  
**From:** City Manager  
**Subject:** Tenant Protection – Proposed Measures  
**Department:** Housing Policy & Programs

**Recommendation:**

THAT Council receives, for information, the report from the Housing Policy and Programs Department dated March 31, 2025 with respect to tenant protection measures;

AND THAT Council directs staff to prepare the necessary bylaw amendments to implement the proposed approach to tenant protection outlined in the report from the Housing Policy and Programs Department dated March 31, 2025.

**Purpose:**

To advance the proposed tenant protection measures and direct staff to prepare bylaw amendments.

**Council Priority Alignment:**

Affordable Housing  
 Homelessness

**Background:**

On March 3, 2025, staff brought forward recommended next steps to enact tenant protection measures as a result of previous Council direction. At that meeting, Council directed staff to report back to Council with further information on terms for a Tenant Relocation Plan and an implementation strategy.

*Previous Council Resolution*

Resolution	Date
THAT Council receives, for information, the report from the Housing Policy and Programs Department dated March 3, 2025 with respect to tenant protection;	March 3, 2025
THAT Council directs staff to report back to Council with further information on terms for a Tenant Relocation Plan and implementation strategy.	



### **Discussion:**

As a result of Council feedback, staff propose that the following measures be incorporated as part of a Tenant Protection approach. Additional elements were reviewed and considered by staff, but were not ultimately recommended as part of the proposed approach (see Attachment B).

### Applicability

The proposed Tenant Protection measures would apply to properties which:

- Contain five or more rental dwelling units; and
- Are being redeveloped, resulting in the tenancy agreements of rental-dwelling units being terminated.

### Tenant Protection Plan

An applicant would be required to submit a Tenant Protection Plan. The contents of the Tenant Protection Plan would be guided by a standardized Terms of Reference provided by the City (see Attachment A). The required contents would include:

- Information on how the applicant's obligations under the *Residential Tenancy Act* are being met;
- Information on how the applicant's obligations under the City's new Tenant Protection Bylaw are being met; and
- Information on any voluntary, additional proposals by the applicant respecting protection and relocation of tenants during redevelopment.

A proposed Tenant Protection Plan would form part of a Development Permit for a subject property and would be brought forward to Council at the same time as the Form and Character Development Permit.

### Financial Compensation

Financial compensation is intended to mitigate the financial hardships of displacement and assist with tenant's transitions from their existing rental housing into a housing market that may be less affordable.

Requirements:

- Amount: Equivalent to three (3) months of rent (including the one (1) month of rent required by the *RTA*)
- Provided as a lump sum payment at least 90 days prior to the termination of the tenancy or as free rent for the final three (3) months of the tenancy

Financial compensation would not be required if:

- the vacancy rate is greater than 4% (as per the annual CMHC Rental Market Survey); or
- the tenant agrees to be relocated into another unit in which the property owner has an ownership interest and the rent is not greater than 10% more than the tenant's current rent.

A vacancy rate between 3% and 5% is considered healthy. It is expected that when the vacancy rate exceeds 4%, there would be a broader array of rental options for relocating tenants with lower rents and greater ability to negotiate than when the vacancy rate is lower.

### Financial Assistance for Moving Expenses

Applicants would be required to provide financial assistance for moving expenses:

- Amount: \$1,000.00
- Provided as a lump sum payment at least 90 days prior to the end of the tenancy



Financial assistance is intended to help cover a portion of the costs of relocation (ex: hiring labour, renting a truck, paying for fuel, buying packing supplies, utility transfers, taking time off work, mail forwarding, move-in/move-out fees etc.).

#### Additional Notification

Applicants would be required to provide written notice to tenants of the financial compensation and financial assistance available at least four (4) months prior to the end of the tenancy, which is the same timeline required to give notice of eviction under the *RTA*.

#### Compliance Report

In order to ensure that the Tenant Protection Plan is carried out, prior to issuance of a Building Permit or Demolition Permit, an applicant would be required to submit a Compliance Report detailing the steps they have taken to comply with the above-noted requirements.

#### **Implementation:**

In order to implement the proposed tenant protection measures, the following bylaw amendments are necessary:

- Creation of a new Tenant Protection Bylaw - to set the City's requirements for financial compensation, financial assistance, and notice.
- Official Community Plan Bylaw No. 12300 Amendment - to create a Tenant Protection Development Permit Area to require applicants to submit a Tenant Protection Plan and ensure that developments proceed in accordance with those plans and to update OCP policies to reflect the new tenant protection measures.
- Development Application Procedures Bylaw No. 12310 Amendment - to add tenant protection as an item that Terms of Reference may require an applicant to address as part of Development Approval Information and to add application procedures and processing requirements for Tenant Protection Development Permits.

#### **Conclusion:**

The proposed approach aims to balance the needs of tenants and developers in Kelowna's rapidly evolving housing market. In response to Council direction, staff propose a set of measures to implement fair financial compensation and relocation assistance measures. In doing so, the City seeks to protect long-term residents from the negative impacts of displacement while ensuring that redevelopment projects can proceed. The approach aligns with the OCP and HAP. If Council endorses the proposed approach, staff will return with the necessary bylaw amendments.

#### **Considerations applicable to this report:**

##### ***Legal/Statutory Authority:***

*Community Charter*, s.63.2 Protection of tenants on redevelopments and s.63.3 Limits on tenant protection bylaws

*Local Government Act*, s.491 Development permits: specific authorities

*Residential Tenancy Act*, Part 4 – How to End a Tenancy



**Existing Policy:**1.1 Official Community Plan (OCP)

<b>Objective 4.13 Protect citizens from displacement due to Urban Centre development.</b>	
Policy 4.13.2 Displacement Effects of Gentrification	Ensure Urban Centre planning initiatives and significant redevelopment opportunities include affordable housing and access to services to ensure low to moderate income renters are protected from displacement effects of gentrification.
Policy 4.13.3 Tenant Assistance	Work towards the creation of a Council policy to protect tenants displaced by redevelopment through fair relocation assistance from the developer. Such relocation assistance should ensure that tenants retain their access to services and amenities, such as employment, transportation and schools.
<b>Objective 5.12 Protect citizens from displacement due to Core Area development</b>	
Policy 5.12.2 Displacement Impacts of Gentrification	Ensure Core Area planning initiatives include affordable housing and access to services to ensure low to moderate income renters are protected from displacement effects of gentrification.
Policy 5.12.3 Tenant Assistance	Work towards the creation of a Council policy to protect tenants displaced by redevelopment through fair relocation assistance from the developer. Such relocation assistance should ensure that tenants retain their access to services and amenities, such as employment, transportation and schools.
<b>Objective 6.10 Prioritize the construction of purpose-built rental housing.</b>	
Policy 6.10.4 Tenant Assistance	Ensure that tenants displaced by redevelopment are protected through relocation assistance from the developer.
<b>Objective 9.1 Incorporate equity into planning decisions and resource allocation in our community.</b>	
Policy 9.1.1 Equity in Planning Decisions	Incorporate an equity lens into land-use planning decisions and resource allocation in our community.
<b>Table 16.1: Implementation Actions</b>	
Action #42	Develop a Tenant Assistance Policy.

1.2 Housing Action Plan

1.7	Direct Action	<p><b>Support tenants who are being evicted due to redevelopment:</b> As Kelowna continues to grow, existing rental buildings may be redeveloped. Redevelopment processes can break-up existing tenant communities and force tenants into an unaffordable rental market, increasing housing insecurity and precarity.</p> <p>The <i>Residential Tenancy Act</i> provides supports and protects the right of both landlords and tenants. Bill 16, passed in April 2024, gives municipalities new authority to establish stronger tenant protections. Kelowna will introduce measures requiring developers to create tenant relocation plans when redevelopment removes 5 or more rental units. A bylaw and guidelines will be implemented to protect and support tenants without unreasonably limiting redevelopment projects that help achieve the community's housing objectives.</p>	<p>Housing with Supports:</p> <ul style="list-style-type: none"> <li>• Long-Term Supportive Housing</li> <li>• Subsidized Rental Housing</li> </ul> <p>Market Housing:</p> <ul style="list-style-type: none"> <li>• Rental Housing</li> </ul>
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***Consultation and Engagement:***

Staff previously contacted CMHA Okanagan, Urban Development Institute, Canadian Home Builders Association, and the Tenant Resource & Advisory Centre. Their correspondence was attached to the March 3, 2025 Council report.

***Communications Comments:***

Bylaw amendments to implement the tenant protection measures will require a Public Hearing. Once adopted, the City's webpage will be updated to provide information on the new requirements.

**Considerations not applicable to this report:*****Legal/Statutory Procedural Requirements:******Financial/Budgetary Considerations:***

**Submitted by:** M. Tanner, Planner Specialist

**Approved for inclusion:** James Moore, Housing Policy and Programs Manager  
Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

**Attachments:**

Attachment A: Draft Tenant Protection Plan Terms of Reference

Attachment B: Measures Not Included in Proposed Approach



# Tenant Protection Plan Terms of Reference

March 2025

DRAFT

1435 Water Street  
Kelowna, BC V1Y 1J4  
TEL 250-469-8610  
FAX 250-862-3349  
email@kelowna.ca

kelowna.ca



## INTRODUCTION

The City of Kelowna continues to grow in existing developed neighbourhoods with access to services, employment, housing, transportation, parks and other amenities. An inevitable result of growth within existing neighbourhoods is the incremental redevelopment of older rental housing stock. Redevelopment can lead to displacement of long-term residents and relocation can be challenging for residents who need to find new, affordable housing, especially in a difficult housing market with low vacancy rates. In some cases, this can lead to increased housing precarity or homelessness.

## OBJECTIVE

The objective of the Tenant Protection Plan Terms of Reference is to ensure that development applications for sites with existing residents in rental housing are processed in accordance with the City's Tenant Protection Bylaw No. **xxxx** and Tenant Protection Development Permit Area, and to provide the necessary relevant information for Planning Department staff and Council to consider the anticipated impacts of a proposed redevelopment on displaced tenants.



## CITY OF KELOWNA TENANT PROTECTION BYLAW

In addition to the obligations of property owners that are required under the Provincial *Residential Tenancy Act*, property owners must adhere to the City of Kelowna Tenant Protection Bylaw No. xxxx and associated Tenant Protection Development Permit Area.

### Applicability

As part of a Tenant Protection Development Permit application, a Tenant Protection Plan must be submitted by the applicant for any development where the subject property:

- Contains 5 or more rental dwelling units; and
- Is being redeveloped, resulting in the tenancy agreements of residential units being terminated.

### Requirements

Prior to redevelopment, applicants must:

- Apply for a Tenant Protection Development Permit, including submission of a Tenant Protection Plan in accordance with the Terms of Reference
- Provide written notice to the tenant(s) of the financial compensation and financial assistance available at least 120 days prior to the end of the tenancy
- Provide financial compensation to the tenant(s) equivalent to 3 months rent\*\* for each rental unit being redeveloped. Financial compensation must be in the form of a lump sum payment at least 90 days prior to the to the end of the tenancy or as free rent for the final 3 months of the tenancy. Financial compensation is not required if:
  - the vacancy rate is 4% or higher; or
  - the tenant(s) agrees to enter into a new tenancy agreement in another rental unit in which the owner has an interest with a rental rate that is not more than 10% higher than the tenant's previous rental rate.
- Provide financial assistance for moving expenses to the tenant(s) of \$1000.00 for each rental unit being redeveloped. Financial assistance for relocation expenses must be provided as a lump sum payment.
- After a Development Permit has been approved, but prior to issuance of a Building Permit/Demolition Permit for development on the subject property, submit a Compliance Report, in accordance with the Terms of Reference, demonstrating how the property owner/applicant has completed the above-noted requirements.

\*\*Financial compensation includes any compensation due under the *Residential Tenancy Act* (ex: if 1 month of rent is due as compensation under the *Residential Tenancy Act* only 2 additional months of rent is due as compensation under the Tenant Protection Bylaw).

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# N/A		
Planner Initials	MT	 City of <b>Kelowna</b> DEVELOPMENT PLANNING



# SUBMISSION REQUIREMENTS

## TENANT PROTECTION PLAN

The Tenant Protection Plan will form part of the issued Development Permit and must include:

a. Existing Development

A description of the existing occupied buildings on the property, including:

- I. The total number of residential units;
- II. The existing vacancy / occupancy of the residential units;
- III. The number of residential units where the tenancy agreement is ending due to redevelopment. If only a portion of the residential units are being affected, a site plan indicating the location of the units is required;
- IV. The monthly rent of each residential unit where the tenancy agreement is ending.

b. Residential Tenancy Act Requirements

A description of the obligations of the owner under the *Residential Tenancy Act*, including notice requirements and compensation and the manner in which these obligations are being fulfilled.

c. Tenant Protection Bylaw No. xxxx Requirements

A description of how the requirements of the City of Kelowna Tenant Protection Bylaw No. xxxx are met, including:

### **Notification**

- I. How the applicant will notify tenants of the financial compensation and financial assistance available. Written notification must be completed a minimum of 120 days prior to the end of the tenancy. A draft version of the notification letter should be submitted for staff review and include:
  - i. Civic address of the subject property
  - ii. Description of the development proposal
  - iii. Anticipated timeline of development proposal
  - iv. Description of the applicant's obligations under the *Residential Tenancy Act*
  - v. Description of the applicant's obligation under the City of Kelowna Tenant Protection Bylaw to provide financial compensation and financial assistance for relocation expenses (including required timeline, amount of compensation/assistance, and method of compensation).
  - vi. If applicable, opportunities for tenants to relocate into another rental unit in which the owner has an interest.
  - vii. Information on any other proposals by the applicant pertaining to tenant protection.
  - viii. Contact information for the applicant and/or owner or their agent
  - ix. Contact information for City staff



### Financial Compensation

- II. Financial compensation (equivalent to three months of rent\*\*)
  - i. Form of compensation (lump-sum payment or free rent)
  - ii. Amount of compensation due per unit
  - iii. Anticipated timing of compensation being paid

\*\*Financial compensation includes any compensation due under the *Residential Tenancy Act* (ex: if 1 month of rent is due as compensation under the *Residential Tenancy Act* only 2 additional months of rent is due as compensation under the Tenant Protection Bylaw).

### Financial Assistance

- III. Financial assistance for moving expenses
  - i. Amount of assistance due per unit
  - ii. Anticipated timing of assistance being paid

### Additional Proposals

- d. An applicant may wish to make additional voluntary proposals with respect to tenant protection. Examples of additional measures include:

- I. Additional notification or information provided to tenants

*E.g.: Holding one-on-one meetings or a community meeting with tenants to discuss the redevelopment proposal, provide information about the property owner's obligations, and provide an opportunity for tenants to ask questions.*

*E.g.: Establishing regular office hours where a representative will be available to answer questions about the proposed redevelopment and tenant protection measures.*

*E.g.: Allowing tenants to subscribe to an email newsletter which provides tenants with regular updates on the redevelopment.*

- II. Additional financial compensation

*E.g.: Additional financial compensation based on the length of the tenancy or when there are special circumstances or complex needs (ex: seniors, persons with disabilities, families with young children, households with very low incomes, other vulnerable persons)*

*E.g.: Providing a rent top-up that bridges the difference between the tenant's current rent and the rent in the tenant's new housing for a period of time.*

- III. Relocation assistance

*E.g.: Additional financial assistance for moving expenses based on the actual cost of the relocation or arrangements with an insured moving company*

*E.g.: Hiring an external tenant relocation coordinator (with knowledge of the rental housing market and Provincial housing programs) to liaise with tenants and assist them with finding new rental units, completing rental applications, meeting with prospective landlords, providing relevant information, attending scheduled viewings, assistance with utility transfers etc.*

*E.g.: Providing right of first refusal on new rental units being developed on-site or other units owned by the applicant, potentially at below-market rates*



**COMPLIANCE REPORT**

After approval of a Development Permit, but prior to issuance of a Building Permit or Demolition Permit for residential dwelling units, a Compliance Report must be submitted. The Compliance Report must include the following components:

- a. Copies of notices provided to each tenant;
- b. Date that notice was provided to each tenant;
- c. Date, form, and amount of financial compensation provided to each tenant;
- d. Date and amount of financial assistance for moving expenses provided to each tenant;
- e. Additional information on any additional tenant protection measures undertaken by the applicant and necessary supplemental information to demonstrate compliance with these measures.

Staff may request additional information as evidence that the steps in the Tenant Protection Plan were completed.



Attachment B: Measures Not Included in Proposed Approach

The following measures were considered by staff, but not included in the proposed approach:

Right of First Refusal	
<p><i>Description:</i>            Requirement that property owners give tenants the opportunity to exercise rights to enter into new tenancy agreements for the rental of a comparable replacement unit in which the owners have an interest. This could specify rental rates that are below-market (ex: same rental rate as existing rent).</p>	<p><i>Reason that the measure was not selected:</i></p> <ul style="list-style-type: none"> <li>• Would only apply to property owners with multiple rental properties.</li> <li>• Difficulty in determining what constitutes a “comparable unit.”</li> <li>• If a property owner has other vacant units, they are already incentivized by market forces to try and accommodate tenants in those units.</li> </ul>
Tenant Relocation Coordinator	
<p><i>Description:</i>            Independent liaison between tenant and owners. Their services typically include providing comparable units available for rent, assisting with budgeting, coordinating move logistics, completing rental applications etc.</p>	<p><i>Reason that the measure was not selected:</i></p> <ul style="list-style-type: none"> <li>• Difficult to regulate the level of service provided by a coordinator.</li> <li>• Vast array of services that a coordinator might provide which are difficult to mandate and may vary depending on unique characteristics of tenants.</li> </ul>
Early Return of Damage Deposit	
<p><i>Description:</i>            Damage deposits returned early to assist tenants in securing new housing (ex: can use money to pay damage deposit in new building).</p>	<p><i>Reason that the measure was not selected:</i></p> <ul style="list-style-type: none"> <li>• Regulated by the <i>Residential Tenancy Act</i> and no authority has been granted to Local Governments with respect to damage deposits in new legislation.</li> </ul>
Rent Top-Up	
<p><i>Description:</i>            Property owner provides a short-term rent-top between the tenant’s rent in an existing unit and rent in a new unit as a “bridge.”</p>	<p><i>Reason that the measure was not selected:</i></p> <ul style="list-style-type: none"> <li>• Uncertain financial impact given the variation that may occur between existing and new rental rates.</li> <li>• The financial compensation requirement that is already proposed is intended to help offset differences in rental rates.</li> </ul>



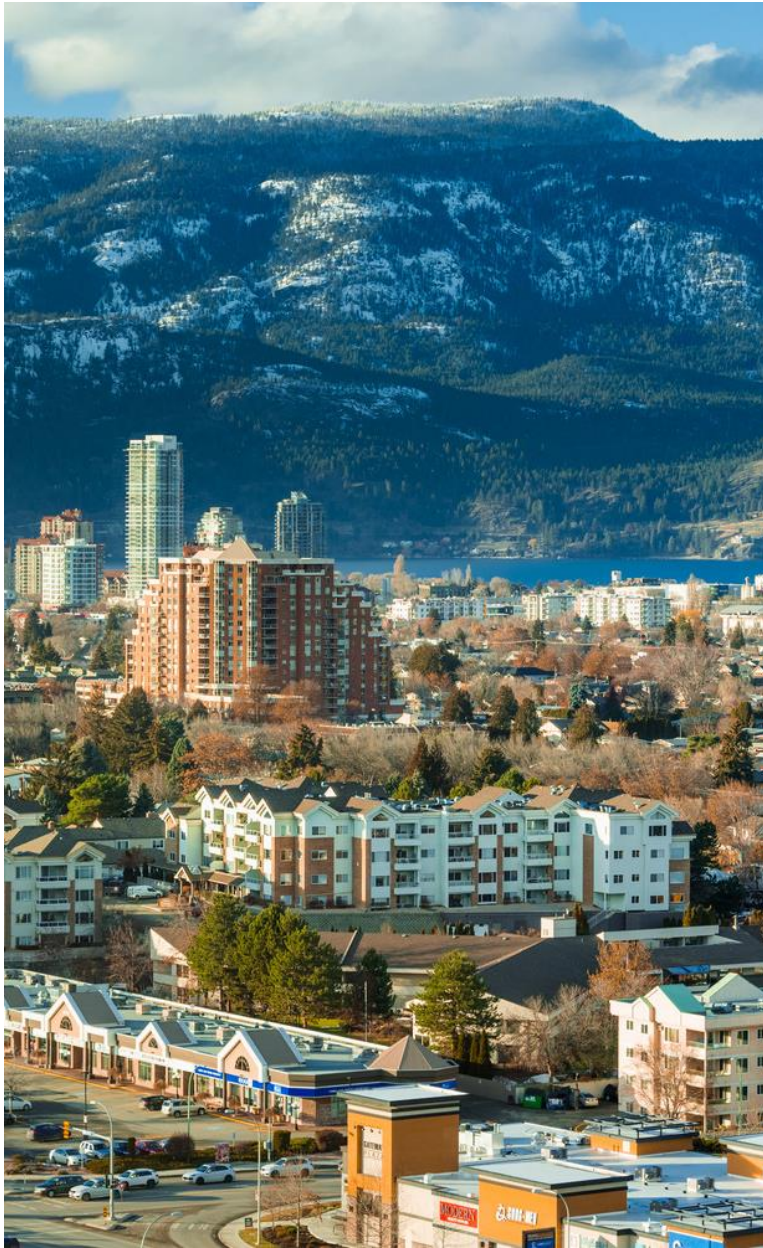


# Tenant Protection – Proposed Direction

Housing Policy & Programs

March 2025





# Purpose

To advance the proposed tenant protection measures and direct staff to prepare bylaw amendments.



# Provincial Legislation

## Residential Tenancy Act

- Four months of notice
- Compensation: 1 month's rent

## April 2024 – New Authority for Local Governments:

- Additional notification
- Financial compensation
- Relocation assistance
- Right of first refusal



# Background

- March 3, 2025 Council Resolution:

*THAT Council receives, for information, the report from the Housing Policy and Programs Department, dated March 3, 2025 with respect to tenant protection;*

*THAT Council directs staff to report back to Council with further information on terms for a Tenant Relocation Plan and implementation strategy.*



# Applicability

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Contain 5 or more rental dwellings units

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Are being redeveloped, which results in tenancy agreements being terminated

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# Proposed Approach

01

Tenant Protection Plan

02

Financial compensation

03

Financial assistance for moving expenses

04

Compliance Report



# Tenant Protection Plan

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Terms of Reference provided by City

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*Residential Tenancy Act* obligations

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Tenant Protection Bylaw obligations

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Any additional proposals by the applicant



# Financial Compensation

- Equivalent to 3 months rent
  - Lump sum payment or free rent for final 3 months of tenancy
- Not required if:
  - Vacancy rate is greater than 4%; or
  - Tenant agrees to be relocated into another unit by the owner and the rent is not more than 10% higher



# Financial assistance for moving expenses

- Amount: \$1000.00
- Provided as a lump sum payment at least 90 days prior to the end of the tenancy



# Compliance Report

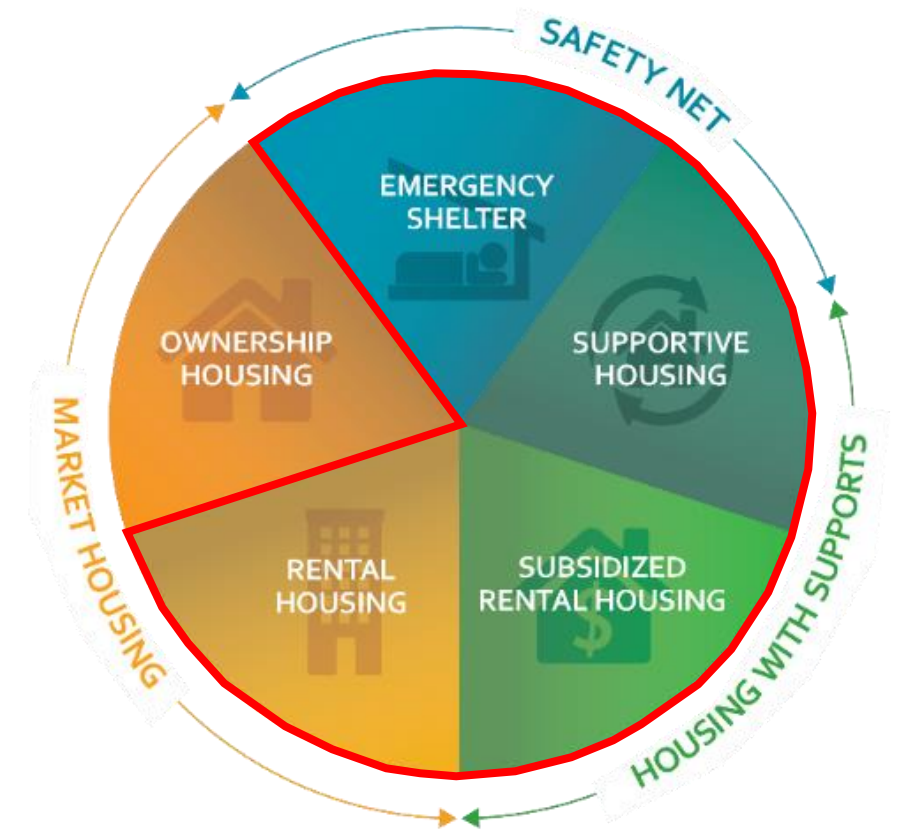
- Must submit a Compliance Report prior to issuance of a Building Permit or Demolition Permit
- Prepared in accordance with Terms of Reference
- Outlines steps taken to comply with requirements



# Housing Action Plan

## Action 1.7 – Support tenants who are being evicted due to redevelopment.

- Require developers to create tenant relocation plans
- Implement a bylaw and guidelines to protect tenants without unreasonably impacting development





# OCP Objectives and Policies

Urban Centres – Protect renters from displacement and create and require developers to provide fair relocation assistance

Core Areas - Protect renters from displacement and create and require developers to provide fair relocation assistance

Gateway – Require developers to provide fair relocation assistance

Equitable Community – Incorporate an equity lens into land use planning decisions



# Implementation

**New Tenant Protection Bylaw**

**OCP Amendment – Tenant Protection Development Permit**

**Development Application Procedures Bylaw Amendment**



# Conclusion

Staff recommend **support** for the proposed tenant protection measures as they incorporate previous Council input and are consistent with:

- Housing Action Plan
- OCP Objectives & Policies
- Balance support for tenants without unreasonably impacting development



# Report to Council



**Date:** April 14, 2025  
**To:** Council  
**From:** City Manager  
**Subject:** Business Licence Updates to Short-Term Rental Regulations  
**Department:** Business Licensing

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**Recommendation:**

THAT Council receives for information, the report from Business Licensing, dated April 14, 2025, recommending that Council consider amendments to the City of Kelowna Short-Term Rental Accommodation Business Licence and Regulation Bylaw No. 11720 and Bylaw Enforcement Notice Bylaw No. 10475;

AND THAT Bylaw No. 12767, being Amendment No. 2 to Short-Term Rental Accommodation and Business Licence and Regulation Bylaw No. 11720 be forwarded for adoption;

AND FURTHER THAT Bylaw No. 12768, being Amendment No.40 to Bylaw Notice Enforcement Bylaw No. 10475 be forwarded for adoption.

**Purpose:**

To adopt amendments to the Short-Term Rental Accommodation Business Licence and Regulation Bylaw No. 11720 and Bylaw Notice Enforcement Bylaw No. 10475 to align with Zoning Bylaw No. 12375

**Background:**

At the March 17, 2025 Council meeting, [staff presented recommendations](#) to Council to amend the Short-Term Rental Accommodation Business Licence and Regulation Bylaw No. 11720 and the Bylaw Enforcement Notice Bylaw No. 10475 to bring them into alignment with the Zoning Bylaw.

The proposed Bylaws No. 12767, Amendment No. 2 to Short-Term Rental Accommodation and Business Licence and Regulation Bylaw No. 11720, and Bylaw No. 12768, Amendment No.40 to Bylaw Notice Enforcement Bylaw No. 10475, received the first three readings on that date.

In accordance with Section 59(2) of the Community Chater, amendments to a business licence bylaw necessitates a public notification process, which is summarized in this report.



**Discussion:**

Before adopting any business licence bylaw, the City is required by legislation to provide notice and offer affected individuals the opportunity to provide feedback. To fulfill this requirement, Staff initiated a consultation process by notifying short-term rental accommodation operators with a pending or approved business licence, and published advertisements in the Daily Courier on March 19, 2025, and March 22, 2025. Written comments were required to be submitted to the Acting Business Licensing Supervisor no later than 4:00 PM on March 31, 2025.

Public Notice	Reach of Public Notice
Short-Term Rental Operators	404
Daily Courier – March 19, 2025	6,094
Daily Courier – March 22, 2025	6,267

**Correspondence Received:**

The public notification process was open for 14 days and asked anyone impacted by the proposed bylaw changes to provide written comments by 4:00 PM on March 31, 2025. The Acting Business Licensing Supervisor received three pieces of correspondence. Of the correspondence received, one was in support of the proposed bylaw amendments. Two were opposed to the proposed bylaw amendments, in favor instead of principal use short-term rentals in purpose-built rental buildings.

**Conclusion:**

The legislative notice requirements have been met; therefore, Staff are recommending the adoption of the proposed bylaw.

***Legal/Statutory Authority:***

Community Charter Sections 15, 16, 59 and 60

***Consultation and Engagement:***

Daily Courier newspaper

Short-Term Rental Accommodation business licence holders

**Submitted by:**

S. Krakower, Acting Business Licensing Supervisor

**Approved for inclusion:**

R. Smith, Divisional Director, Planning, Climate Action & Development Services





# Short-Term Rental Accommodation

Business Licence Updates for Short-Term  
Rental Regulations



# Purpose

To adopt amendments to the Short-Term Rental Accommodation Business Licence and Regulation Bylaw and the Bylaw Enforcement Notice Bylaw to align with the Zoning Bylaw.



# Background

On March 17, 2025:

- Recommendations were made to council to amend short-term rental regulations
- The proposed bylaws were given the first three readings
- Council directed staff to move forward with public notification



# Notification

Notification was provided by:

- Letter to Short-Term Rental Operators
- Ads placed in the Daily Courier
- With written comments to be submitted by March 31, 2025



# Notification

Public Notice	Reach
Short-Term Rental Operators	404
Daily Courier – March 19, 2025	6,094
Daily Courier – March 22, 2025	6,267



# Notification

Three pieces of correspondence were received:

- One in support
- Two opposed



# Staff Recommendation

That Bylaw No. 12767, being Amendment No. 2 to Short-Term Rental Accommodation and Business Licence and Regulation Bylaw No. 11720 AND Bylaw No. 12768, being Amendment No.40 to Bylaw Notice Enforcement Bylaw No. 10475 be forwarded for adoption.







# CITY OF KELOWNA

## Bylaw No. 12767

### Amendment No. 2 to Short-Term Rental Accommodation Business Licence and Regulation Bylaw No. 11720

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The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that the Short-Term Rental Accommodation Business Licence and Regulation Bylaw No. 11720 be amended as follows:

1. **Section 1 – Introduction**

1.1. THAT **Section 1.2 Definitions** be amended as follows:

- 1.1.1. For the term 'Business Licence Bylaw' deleting "means the City of Kelowna Business Licence and Regulation Bylaw No. 7878, 1996; as amended or replaced from time to time." and replacing with "means the Business Licence and Regulation Bylaw, No. 12585."
- 1.1.2. Adding in its appropriate location the following new term and definition: "**dwelling unit** means 'dwelling unit' as defined in the **Zoning Bylaw**."
- 1.1.3. For the term 'Licence Inspector' deleting "means the officials appointed by Council under Section 14 of the Business Licence and Regulation Bylaw No. 7878, and also includes Building Inspectors and Plumbing Inspectors and Fire Inspection Officers." and replacing with "means an individual employed by the City as a Licensing and Property Use Inspector, or their designate. Also includes a Building Inspector, Plumbing Inspector, or a Fire Inspection Officer."
- 1.1.4. Deleting "'premises" means an area of land, including a lot or parcel of land with or without buildings." in its entirety.
- 1.1.5. For the term 'short-term rental property' deleting "where accommodation of paying guests for 29 days or less is a permitted use" and replacing with "where accommodation of paying guests for less than 90 consecutive days is a permitted use".

2. **Section 4 – Licence Required**

- 2.1. THAT **Section 4.1** be amended by deleting "Business Licence and Regulation Bylaw No. 7878" and replacing with "**Business Licence Bylaw**".
- 2.2. THAT **Section 4.2.a** be amended by deleting in its entirety and replacing with "submit an application to the City on the prescribed form approved by the **Licence Inspector**;"
- 2.3. THAT **Section 4.2.d** be amended by deleting it in its entirety and replacing with "when the **short-term rental accommodation** is offered within a **strata lot**, on the prescribed form approved by the **Licence Inspector**, **strata council** confirmation that a **short-term rental accommodation** does not contradict a bylaw of the affected **strata corporation**;"
- 2.4. THAT **Section 4.2.e** be amended by deleting it in its entirety and replacing with "provide in the form satisfactory to the **Licence Inspector**, evidence that the dwelling unit where the **short-term rental accommodation** will be offered is occupied by the **operator** as their **principal residence**, unless the **short-term rental accommodation** is exempt from **principal residence** requirements under the **Zoning Bylaw**;"
- 2.5. THAT **Section 4.2.f** be amended by deleting "when the short-term rental accommodation is a principal use,"
- 2.6. THAT **Section 4.2.i** be amended by deleting it in its entirety and replacing with "provide information whether parking will be provided for the **short-term rental accommodation**, in the form satisfactory to the **Licence Inspector**;"



- 2.7. THAT **Section 4.3** be amended by deleting it in its entirety and replacing with "The annual fee for a **short-term rental accommodation** licence (type code 7316) is \$345."
- 2.8. THAT Section 4.5 be amended by deleting in its entirety and replacing with "The **operator** of a **short-term rental accommodation** may not be a corporation or society unless the **short-term rental accommodation** is exempt from **principal residence** requirements under the **Zoning Bylaw**."
3. **Section 6 – Licence Number and Approved Sleeping Unit Count to be Included in Marketing**
  - 3.1. THAT the **section title** be amended by deleting "LICENCE NUMBER AND APPROVED SLEEPING UNIT COUNT TO BE INCLUDED IN".
  - 3.2. THAT **Section 6.1** be amended by deleting "under this Bylaw and the approved sleeping unit count." and replacing it with "under this Bylaw, the approved **sleeping unit** count, and whether parking will be provided."
4. **Section 7 – Responsible Person**
  - 4.1. THAT **Section 7.1** be deleted in its entirety.
  - 4.2. THAT **Section 7.2** be amended by deleting "An operator who operates a short-term rental accommodation in premises other than their principal residence" and replacing with "An **operator** of a **short-term rental accommodation**".
  - 4.3. THAT **Section 7.5** be deleted in its entirety.
  - 4.4. THAT **Section 7** be appropriately renumbered.
5. **Section 8 – Conditions of Licence**
  - 5.1. THAT **Section 8.1.n** be amended by deleting "have stayed on" and replacing with "have stayed at".
  - 5.2. THAT **Section 8.2.a** be amended by deleting "secondary suite, carriage house,".
6. **Section 9 – Offences and Penalties**
  - 6.1. THAT **Section 9.2** be amended by deleting "\$10,000.00" and replacing with "\$50,000.00".
7. **Section 11 – Transition Provisions**
  - 7.1. THAT **Section 11 – Transition Provisions** be deleted in its entirety.
8. THAT the sections be appropriately renumbered.
9. THAT the term "premises" be deleted and replaced with "**dwelling unit**" throughout the bylaw.
10. This bylaw may be cited as "Bylaw No. 12767 being Amendment No. 2 to Short-Term Rental Accommodation Business Licence and Regulation Bylaw No. 11720".
11. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 17<sup>th</sup> day of March 2025.

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk



# CITY OF KELOWNA

## Bylaw No. 12768

### Amendment No. 40 to Bylaw Notice Enforcement Bylaw No. 10475

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The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that the Bylaw Notice Enforcement Bylaw No. 10475 be amended as follows:

1. THAT **Schedule 'A'**, Short-Term Rental Accommodation Business Licence and Regulation Bylaw No. 11720 Table, be amended by deleting "Marking without Licence No. or sleeping unit count" and replacing with "Marketing without licence number, approved sleeping unit count, and parking availability".
2. This bylaw may be cited as "Bylaw No. 12768, being Amendment No. 40 to Bylaw Notice Enforcement Bylaw No. 10475".
3. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 17<sup>th</sup> day of March 2025.

Adopted by the Municipal Council of the City of Kelowna this

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk



# Report to Council



**Date:** April 14, 2025  
**To:** Council  
**From:** City Manager  
**Subject:** Water Security Plan Adoption  
**Department:** Utility Services

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**Recommendation:**

THAT Council receives for information the report from Utility Services dated April 14, 2025, regarding the adoption of the Water Security Plan;

AND THAT Council adopts the Water Security Plan.

**Purpose:**

To adopt the Water Security Plan.

**Council Priority Alignment:**

Climate & Environment

**Background:**

The City of Kelowna has drafted its first Water Security Plan, which is a comprehensive strategy to ensure a more holistic approach to how we use, protect and share water, now and in the future. The actions included in this Water Security Plan focus on ways the City of Kelowna can ensure long-term security in the supply and quality of our water and build an understanding and awareness of the shared responsibility of partners and community members to sustainably manage water in the Central Okanagan.

The purpose of the Water Security Plan is to highlight the common needs, challenges and opportunities related to water and, using a holistic “one water” lens, allow the City to responsibly manage the water that is supplied to, consumed or flows through our community. It identifies the links of its various operations, approaches, operational needs and leadership opportunities into the future.

Water security also describes the needs and pressures involved in providing a safe supply of water to our urban and agricultural customers, our responsibility towards assuring that strategies to protecting water



quality in our creeks and lakes are clearly understood, and a path forward on how we partner with different levels of government and First Nations.

In June 2023 a workshop that included 34 representatives from 11 different organizations, including the province, local governments, improvement districts, and Interior Health was held to gather input on the six water sectors included in this plan. The engagement included focus groups on each water sector and drove many of the action items. Common actions across all sectors included obtaining better data for decision making, increasing the City’s role in water management in the valley, and increasing community awareness of the impact of municipal decisions on water. A full engagement summary report is included in the plan as Appendix B.

From the 2023 workshop, and based on the guiding principles approved by Council, a draft plan was prepared for feedback from participants of the previous workshop as well as the public. This engagement occurred in late spring 2024. Overall takeaways included having the City place a greater focus on protecting water in decision making, protecting our water and the need for individuals to take responsibility for water conservation. An engagement summary report is included in the plan as Appendix C.

Staff engaged with local First Nations including representatives from the Okanagan Indian Band and Okanagan Nation Alliance in November 2024. The draft plan was finalized in early 2025 based on these engagements.

The Water Security Plan has been produced for both internal and public use. The plan fills an obligation to the Province’s Auditor General, to have a long-term plan available that defines our path forward to various drinking water initiatives.

*Previous Council Resolution*

Resolution	Date
<p>THAT Council receives for information, the report from Utility Services dated February 6, 2023, with regard to the Water Security Plan (formerly Area Based Water Management Plan) update;</p> <p>AND THAT Council adopt the nine (9) water related Principles described in this report to guide development of a Water Security Plan;</p> <p>AND THAT Council instruct staff to develop a draft Water Security Plan for public engagement and input prior to final Council review and adoption.</p>	<p>February 13, 2023</p>

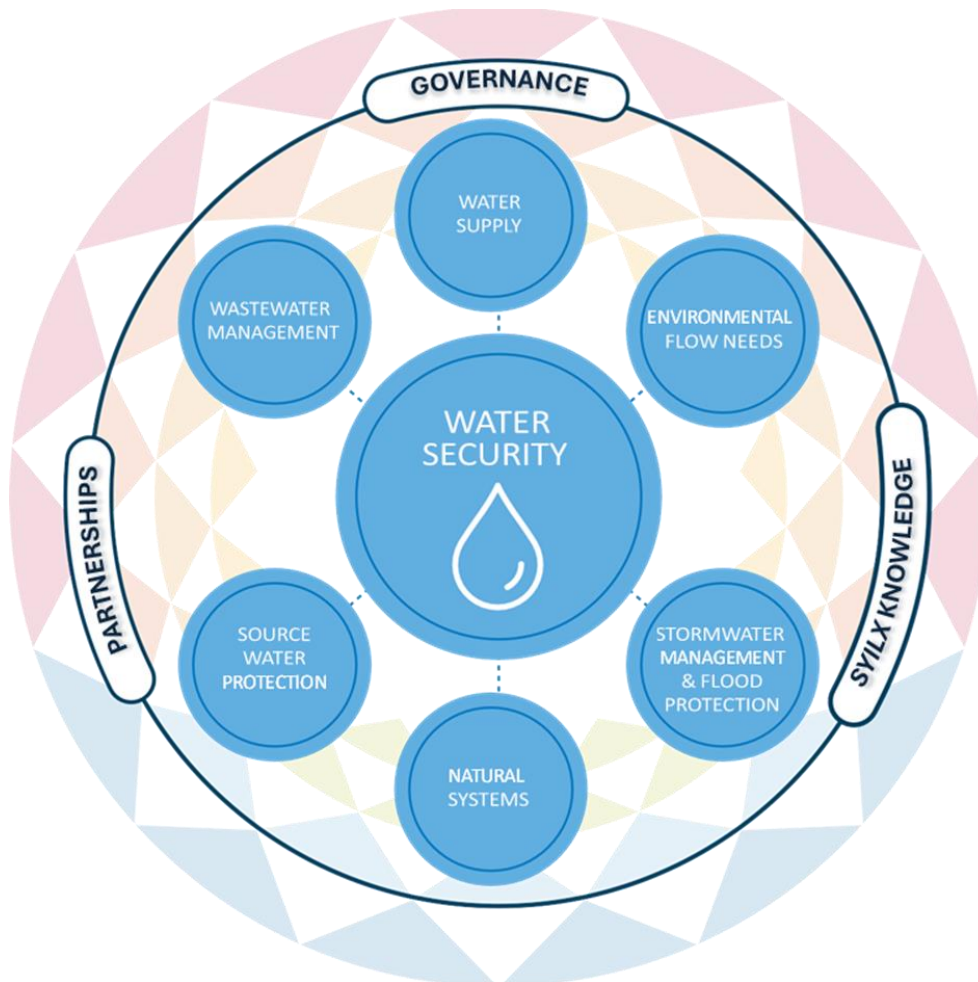
**Discussion:**

The Water Security Plan encompasses three foundational elements; Governance, Partnerships and *syilx* knowledge that support each of the following six water sectors:

1. **Water Supply:** The system that ensures we have water to use in our homes, at workplaces, for agriculture and in public spaces and amenities
2. **Wastewater Management:** How wastewater from homes and businesses in Kelowna is collected, treated and discharged to the environment.



3. **Environmental Flow Needs:** The ideal volume, timing and quality of water flow needed to keep an aquatic ecosystem healthy and sustainable.
4. **Stormwater Management and Flood Protection:** How the City of Kelowna controls runoff from rainwater or melted snow to prevent flood damage and impact on Okanagan Lake water quality.
5. **Natural Systems:** Includes lakes, creeks, wetlands, forests, soil and sometimes “green infrastructure” which are enhanced and engineered to provide similar benefits to natural systems.
6. **Source Water Protection:** Protecting the water we use at its source, which is crucial to ensure that we have clean, safe, and reliable drinking water.



The following Vision was developed for the Water Security Plan:

Water management in Kelowna is approached from a holistic, “one water,” lens that guides decision-making and long-term planning, reflecting the importance of water for our communities and our environment.



To achieve the vision the Plan is guided by the following nine guiding principles:

- All residents and water users in the City have a safe, affordable, resilient and sustainable supply of high-quality drinking water and a reliable supply of water for agriculture.
- Protect Okanagan Lake, our human health, and our environment through efficient collection and effective treatment of wastewater.
- Stormwater is effectively managed without negatively impacting riparian areas, infrastructure, property, or Okanagan Lake.
- The community is resilient and resistant to lake and creek flooding.
- Okanagan Lake and upland watersheds remain a source of high-quality water.
- Account, protect, restore, and enhance natural systems that make up our asset inventory and increase environmental resiliency.
- Assure that the quality and quantity of water is available to support a healthy aquatic ecosystem.
- Indigenous knowledge, practice and permitting is effectively incorporated into water decision processes.
- The City works in partnership with other water providers and government agencies to ensure water security.

The plan identifies 40 actions that are focused across the foundational elements and various water sectors. The actions are identified as Short Term (1-3 years), Medium Term (3-7 years) and Long Term (7 years or more).

Many of the values and principles found in this final plan have already been incorporated into the 2040 Official Community Plan, City Financial Planning and Utility reporting. The Water Security Plan identifies some of the issues we all face towards sustaining our long-term social and environmental needs. New strategies are identified to address some of the opportunities and procedural changes needed in the future.

There are a few short / medium term actions in the plan that have had limited discussion within the community and are worth highlighting at this time:

1. **Water Supply:** Advise Government and the agricultural community of the commitment required to renew and replace aging supply and delivery infrastructure. A substantial amount of agricultural water infrastructure was installed around 1970 as part of the Agricultural and Rural Development Act (ARDA). These assets are nearing end-of-life and few organizations have set aside funds for renewal or have the revenues needed to renew these systems. This includes the City's non-potable water system inherited from SEKID, as well as some of the GEID infrastructure.
2. **Environmental Flow Needs:** Incorporate critical flow needs into the City's drought management and water shortage response plans. Defining and understanding environmental and critical flow needs for Mission Creek and Mill Creek will become critical to ensure sustainable operation of our systems as well as any obtaining any new or changed water licenses by the City.
3. **Stormwater Management:** Developing best management practices for operations and life cycle ownership and ensuring more sustainable stormwater funding is important for the City to move from re-active to proactive stormwater management.
4. **Source Water Protection:** The City should clearly identify source water protection for our lake intakes from both a planning and development perspective as well as increasing transparency for lake users.



**Conclusion:**

Effective and holistic water management is vital to support the different and sometimes competing needs for water. The responsibilities around water management are multi-jurisdictional and complex. In the Okanagan these needs include personal water demand, public health, agriculture, the environment, businesses, culture, and land use, to name a few. These shared needs mean there are many partners and community members that also share the responsibility to manage and use water sustainably.

Our water responsibilities all relate from source, to creek, to lake, to tap, to wastewater and back to lake. Addressing our long-term water needs and responsibilities requires this holistic view where decision processes are looked at through a “one water” lens.

**Internal Circulation:**

Communications

**Considerations applicable to this report:*****Consultation and Engagement:***

Development of the plan included three separate engagements that included invitations to several groups with an interest in water in 2023, and the same groups and broader public in June 2024. In Fall 2024, a final draft was reviewed with members of the *syilx* First Nation and the Okanagan Nation Alliance.

***Communications Comments:***

When adopted, the Water Supply Plan will be shared with stakeholders that participated in the engagement sessions and will be prominently placed on the City’s website.

**Considerations not applicable to this report:**

*Legal/Statutory Authority:*

*Legal/Statutory Procedural Requirements:*

*Existing Policy:*

*Financial/Budgetary Considerations:*

Submitted by: K. Van Vliet, Utilities Services Manager

Approved for inclusion: M. Logan, Infrastructure General Manager

**Attachments:**

Attachment 1 - City of Kelowna Water Security Plan, April 2025





**City of Kelowna**

# Water Security Plan

Our approach to responsible  
water management

April 2025









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## LAND ACKNOWLEDGEMENT

Kelowna is located on the traditional, ancestral, unceded territory of the *syilx/* Okanagan people. We recognize the deep relationship and connection the *syilx/* Okanagan people have with *siw̓tk̓w* (water), and respect their knowledge, values, responsibilities, and rights to protect *siw̓tk̓w*. This Plan reflects a commitment by the City of Kelowna to work with local First Nations to incorporate these values into water security management and best practices.





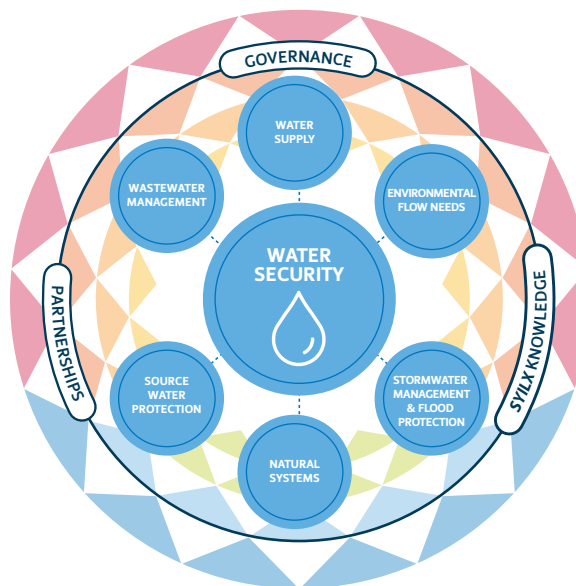


## Executive Summary

The City of Kelowna is developing its first Water Security Plan, which is a comprehensive strategy to ensure a more holistic approach to how we use, protect and share water, now and in the future. The actions included in this Water Security Plan focus on ways the City of Kelowna can ensure long-term security in the supply and quality of our water and build understanding and awareness of the shared responsibility of partners and community members to sustainably manage water in the Central Okanagan.

This version encompasses three foundational elements, six key sectors and a total of 39 actions for water management.

The six sectors should not be viewed as completely separate, distinct areas. Each sector affects the other and best management practices need to consider the impacts on all these areas to improve water responsibility. For example, Kelowna discharges treated wastewater effluent into Okanagan Lake, which is also the source of water supply for Kelowna and other communities.





### Foundational Elements:

- *syilx* Knowledge
- Partnerships
- Governance

### Key Water Sectors:

- Water Supply
- Environmental Flow Needs
- Stormwater Management & Flood Protection
- Natural Systems
- Source Water Protection
- Wastewater Management

## VISION

Water management in Kelowna is approached from a holistic, “one water,” lens that guides decision-making and long-term planning, reflecting the importance of water for our communities and our environment.

## GUIDING PRINCIPLES

- All residents and water users in the City have a safe, affordable, resilient and sustainable supply of high-quality drinking water and a reliable supply of water for agriculture.
- Protect Okanagan Lake, our human health, and our environment through efficient collection and effective treatment of wastewater.
- Stormwater is effectively managed without negatively impacting riparian areas, infrastructure, property, or Okanagan Lake.
- The community is resilient and resistant to lake and creek flooding.
- Okanagan Lake and upland watersheds remain a source of high-quality water.
- Account, protect, restore, and enhance natural systems that make up our asset inventory and increase environmental resiliency.
- Assure that the quality and quantity of water is available to support a healthy aquatic ecosystem.
- *syilx* knowledge, practice and permitting is effectively incorporated into water decision processes.
- The City works in partnership with other water providers and government agencies to ensure water security.





## 1.0 INTRODUCTION

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The City of Kelowna is developing its first Water Security Plan, a comprehensive strategy to ensure a more holistic approach to how we use, protect and share water, now and in the future. The actions included in this Water Security Plan focus on ways the City of Kelowna can ensure long-term security in the supply and quality of our water and build understanding and awareness of the shared responsibility of partners and community members to sustainably manage water in the Central Okanagan.

Kelowna is located on the traditional territory of the *syilx* / Okanagan people. The *syilx* people believe that using *siw̓tkʷ*, or water, must include an act of reverence and a commitment towards responsible use and stewardship. This includes a responsibility to the past, present and future generations to protect and restore *siw̓tkʷ*. The Okanagan Nation Water Declaration (2014), states *siw̓tkʷ* is not a resource or a commodity. Instead, *siw̓tkʷ* "has the right to be recognized as a familial entity, a relation, and a being with a spirit who provides life for all living things."

### **Why does Kelowna need a Water Security Plan?**

Kelowna doesn't own water. Instead we have limited rights to access water legislated through the Province. As Okanagan Lake supply is limited, it is important to use water responsibly. We must protect our lake and watershed to ensure future generations can continue to prosper. All residents, visitors and businesses in our community are responsible, directly or indirectly, for the quantity and quality of water that we use and return to the environment.



**We rely on water for drinking, fire protection, agriculture and our community needs.**

**Water is a common thread that weaves together our cultures and community values.**

**We rely on Okanagan Lake for fun, recreation and as a safe source of drinking water.**

Water management is vital to support the different and sometimes competing needs for water. The responsibilities around water management are multi-jurisdictional and complex. In the Okanagan, these needs include personal water demand, public health, agriculture, the environment, culture, and land use. These shared needs mean there are many partners and community members that share the responsibility to manage and use water sustainably.

Our water responsibilities are all related, from source, to creek, to lake, to tap, to wastewater and back to lake. Addressing our long-term water needs and responsibilities requires this holistic view where decision processes are looked at through a “water lens.”

Part of the process to develop this plan included engagement with community members to gather feedback and understand the community’s priorities related to water. Participants were asked to describe ‘water security’ and ‘water responsibility’ in their own words. The most common themes in the responses were:

**WATER SECURITY**

- Clean
- Safe
- Available / accessible
- Adequate / enough / sufficient
- For future generations
- Nature / ecosystems / environment
- Agriculture

**WATER RESPONSIBILITY**

- Not being wasteful
- Environmentally safe
- Minimizing water use for lawns/landscaping
- Future generations
- No contamination
- Changing our behaviours to protect water

**Why water security?**

The quality and supply of our water are challenged by the changing climate, an increasing population and over-consumption. Today, we are witnessing higher frequency and intensity of flood, fire and drought events, which are forcing us to adapt at a great expense. As the City of Kelowna’s responsibilities related to water supply increase, organizational shifts are necessary to consider a broader holistic approach, and the need to consider decisions we make through a “one water” lens.



This shift is a step towards ensuring water security and responsibility are key considerations in the City’s planning and decision-making processes, recognizing that safe and reliable water and sewer systems are fundamental services for the City. It also recognizes the need to plan for the future, especially in accommodating increasing needs as Kelowna’s population grows, recognizing that using water responsibly now can save money in the future, and considering the role safe, reliable water plays as an economic driver for tourism and agriculture.

Overall, this approach aims to ensure that Kelowna, surrounding communities and First Nations in the Central Okanagan have a clean, healthy, adequate supply of water that meets our needs now and in the future.

As we look into our future, we see a need to do better for ourselves and future generations. We recognize that *syilx* Okanagan knowledge and stewardship practices will be foundational in learning how to manage our water responsibilities in a way that sustains landscapes, fish and wildlife as well our communities. Finally, we commit to working collaboratively with other communities, agencies and organizations to understand each other’s values, expectations and concerns related to preserving the water around us.

### **Purpose of this Plan**

The purpose of this plan is to highlight the common needs, challenges and opportunities around water, then develop a vision and a strategic plan for the City to responsibly manage the water that is supplied to, consumed or flows through our community.

### **“One water” approach**

This Water Security Plan takes a “one water” approach to water stewardship that promotes the integration of water management practices, whether water supports drinking, sanitation, agriculture, recreation or industry, the natural environment and more. This integrated approach involves coordinating between six key sectors of water management: water supply, wastewater management, environmental flow needs, source water protection, natural assets, and stormwater management and flood protection.



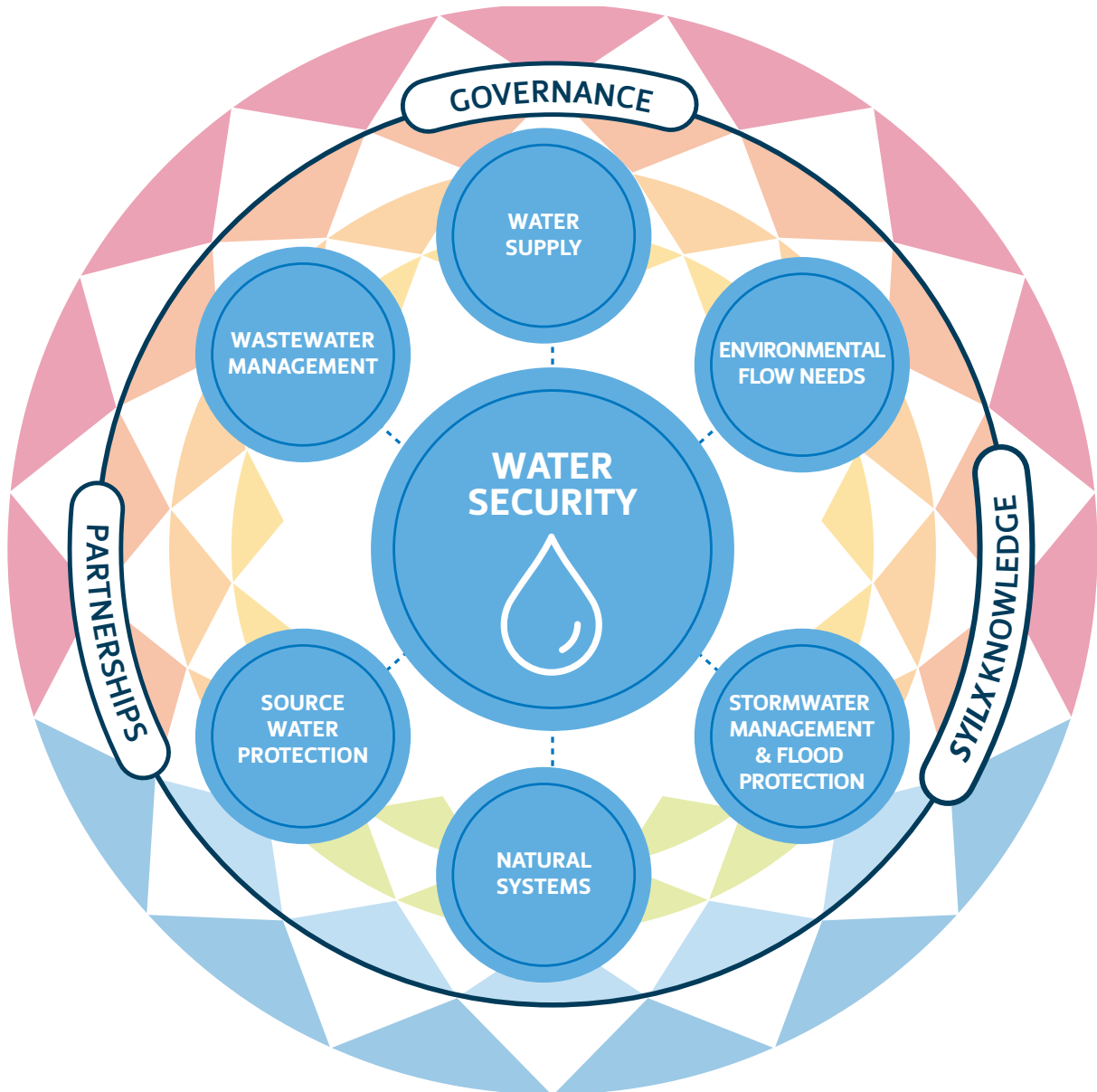
**Our sacred *siwłk<sup>w</sup>* connects and sustains all life. We as the *syilx* people have a duty and responsibility to ensure *siwłk<sup>w</sup>* can maintain all of its relationships, known and unknown, by showing due respect and humility.”**

***syilx* Water Declaration**



Working through a holistic water lens can ensure that we meet current needs without compromising the ability of future generations to meet theirs.

The City's "one water" approach to water management is reflected in the circle below, which shows how the six key sectors are supported by the three foundational elements of water security:



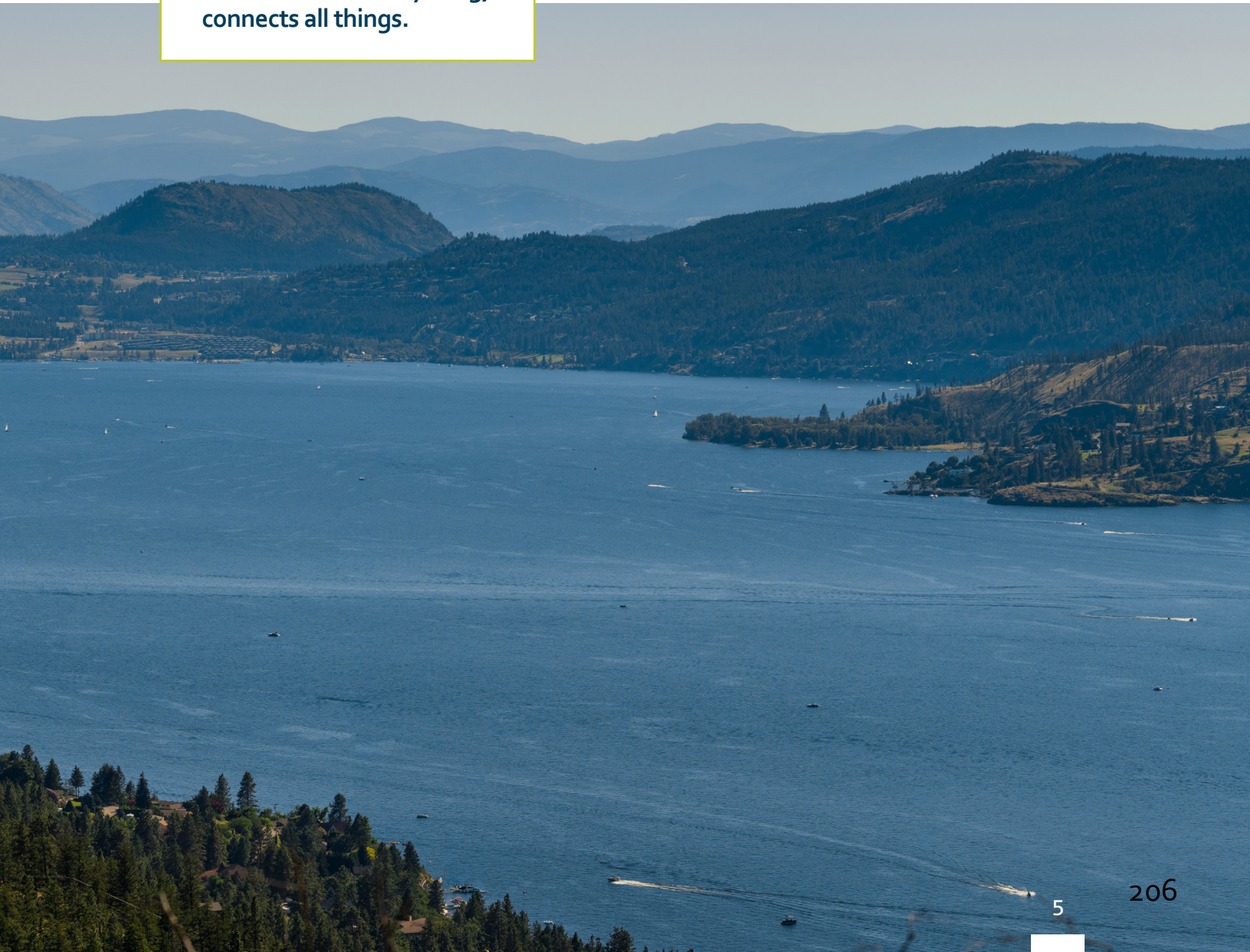


## How will this Water Security Plan improve water management?

The Water Security Plan will establish a foundation for more collaborative stewardship of water in and around Kelowna by:

- Laying out strategies that focus on resiliency and responsibility of water.
- Defining the City's responsibilities and the interests of other partners in water responsibility in the Okanagan Lake basin.
- Aligning organizational policies, budgets and resource allocation decisions.
- Identifying sustainable funding sources and models to support achievable outcomes.
- Addressing the impacts of growth and climate change on water security.
- Underlining the importance of transparency, consultation and raising awareness.
- Proposing new best management practices to ensure efficient service delivery.

**Water touches everything;  
connects all things.**



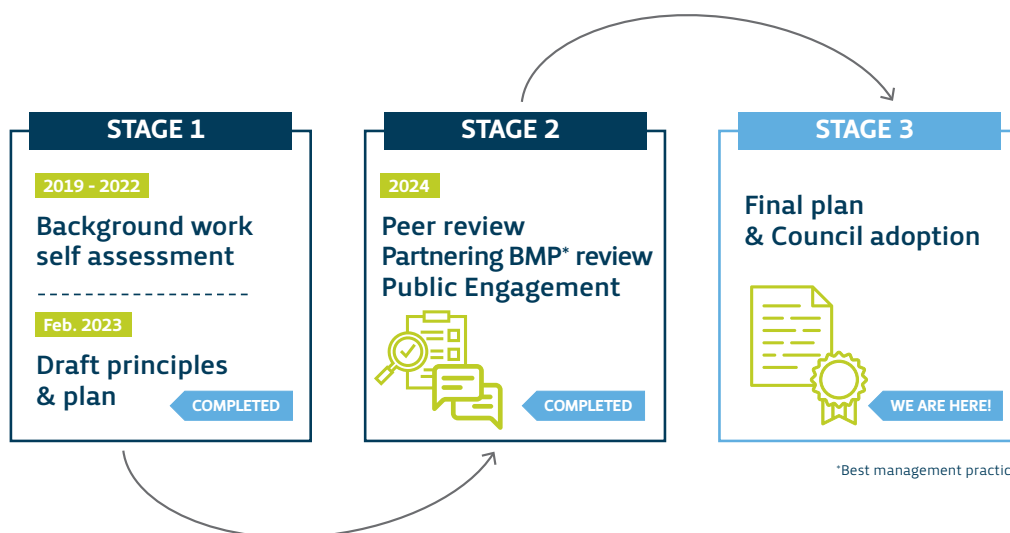




## 2.0 DEVELOPING OUR WATER SECURITY PLAN

An area-based planning process was a direct recommendation from the Interior Health Authority (IHA) and the Auditor General for Local Government to address water management issues in and around the City of Kelowna. Area based plans were promoted through the province’s *Water Sustainability Act*. The City and senior levels of government are also required and responsible for considering the application of Indigenous Rights and Knowledge in water management.

Development of the Water Security Plan involved a three-stage strategic planning approach to develop management practices to address water responsibility:







### STAGE 1

#### INTERNAL REVIEW & ASSESSMENT OF CURRENT PRACTICES

Before determining how to improve the City's current water management practices and develop new approaches, we needed to understand the current risks, process gaps, opportunities and level of service to the community. An internal review and assessment of practices was undertaken to help identify areas to focus on in Stage 2.



### STAGE 2

#### INTER-AGENCY COLLABORATION, PARTNERING & BEST PRACTICE REVIEW

There are many different communities, organizations and government bodies that rely on, and have a responsibility for, managing the Okanagan water basin. To effectively support water security in Kelowna, the requirements and expectations of other jurisdictions, agencies and interest groups need to be considered. During Stage 2, we determined the need to take a holistic approach to water management in the Kelowna-area basin. This includes expanding our understanding of traditional *syilx* values and knowledge related to water and wildlife protection and incorporating an environmental lens into our practices.

In June 2023, a workshop with key partners was held to gather input on the six key sectors included in this plan. This workshop included 34 representatives from 11 organizations, including the province, local governments, improvement districts, Interior Health and local businesses. Following group discussion about each of the six topics, participants were asked to determine three or four key themes or priorities for each sector. For the full peer review workshop summary, see **Appendix B**.

#### COMMUNITY ENGAGEMENT

After the draft Water Security Plan was developed, it was shared with the community for feedback on the vision and priorities included in the plan. Engagement took place in July 2024 and included a survey, information session and online question submission form. The plan was then refined based on the input from participants. For the full engagement summary report, see **Appendix C**. Staff met with members of Okanagan Nation Alliance and Okanagan Indian Band to obtain feedback on the updated version of the Plan in November 2024.





**STAGE 3**

**FINALIZING THE WATER SECURITY PLAN**

This plan is the result of assessments and internal reviews in Stage 1 and the input from other organizations and community members in Stage 2.

**Water management planning in Kelowna**

The Kelowna Water Security Plan is the culmination of several initiatives moving towards a more integrated, holistic approach to water management in Kelowna. Over the past decade, the City of Kelowna and its partners at the Province of British Columbia, Regional District of Central Okanagan (RDCO), Interior Health, Okanagan Basin Water Board (OBWB), and other local governments and irrigation districts have embraced more collaboration in adopting and implementing best practices in water management. Several key studies and plans have led to the development of this work:

**2017: VALUE PLANNING STUDY**

Identified concepts and solutions for a city-wide integrated water supply plan to ensure all Kelowna residents receive reliable high-quality water service.

**2017: KELOWNA INTEGRATED WATER SUPPLY PLAN**

Separated agricultural and domestic water systems and delivered sustainable water supply to agriculture in the South Mission.

**2018: PROVINCIAL AUDIT OF WATER SUPPLY**

Recommended the City undertake area-based water management planning to protect water quality.

**2019: AREA BASED WATER MANAGEMENT PLANNING**

Initiated to develop a strategic approach to water and watershed management to protect the City's water supply.





## VISION

Water management in Kelowna is approached from a holistic “one water” lens that guides decision-making and long-term planning, reflecting the importance of water for our communities and our environment.

### Our Guiding Principles

The following guiding principles for the Water Security Plan help lay out the priorities for the future of Kelowna’s water use and responsibilities, and guide the actions identified in this plan.

## GUIDING PRINCIPLES

- All residents and water users in the City have a safe, affordable, resilient and sustainable supply of high-quality drinking water and a reliable supply of water for agriculture.
- Protect Okanagan Lake, our human health, and our environment through efficient collection and effective treatment of wastewater.
- Stormwater is effectively managed without negatively impacting riparian areas, infrastructure, property, or Okanagan Lake.
- The community is resilient and resistant to lake and creek flooding.
- Okanagan Lake and upland watersheds remain a source of high-quality water.
- Account, protect, restore, and enhance natural systems that make up our asset inventory and increase environmental resiliency.
- Assure that the quality and quantity of water is available to support a healthy aquatic ecosystem.
- *syilx* knowledge, practice and permitting is effectively incorporated into water decision processes.
- The City works in partnership with other water providers and government agencies to ensure water security.





## 3.0 FOUNDATIONAL ELEMENTS

### 3.1 GOVERNANCE

The City of Kelowna shares water with many other users of Okanagan Lake and upland watersheds. To effectively manage the risks and responsibilities related to water security and responsibility, the City will need to align governance frameworks with other municipalities, *syilx* First Nations, industries, private landowners, the provincial government and the regional district.

Finding more ways to work together and align decision-making would enable more effective water security initiatives and provide better service to each community. One example of a common goal would be creating more resiliency to climate change impacts on water in the Okanagan.

A provincial audit of the City of Kelowna's water utility in 2018 showed that sustainable water management will only be possible through

#### Guiding Principle

The City works in partnership with other water providers and government agencies to ensure water security.

collaboration between the many governments and groups involved in the protection and management of water sources and systems in the region.

#### Provincial legislation and requirements

The regulatory framework regarding water and watershed protection rests with the Province. The Province also delegates the City of Kelowna's legislative authority for specific activities within its jurisdiction. The City has stewardship obligations as part of its responsibility associated with the water it consumes and manages.



There are also various provincial ministries that are responsible for different pieces of legislation related to water security. Creating more collaboration with these ministries to achieve the requirements set out for the City and other municipalities could create more efficient and effective practices for all partners.

This Water Security Plan addresses the City’s responsibilities and requirements laid out in multiple pieces of legislation and bridges the gap between provincial watershed protection and health and safety requirements.



The City operates the McCulloch Reservoir system outside of the City Boundary, which means that rural regulatory processes and legislations apply.

## How are we doing?

The following outlines the strengths, challenges and opportunities as they relate to water governance in the City of Kelowna:



### STRENGTHS

#### Previous successful partnerships

- The partnership with the Province, Okanagan Nation Alliance, Westbank First Nation, RDCO and others led to the successful Mission Creek Restoration Initiative.
- Flood protection funding and assistance was accessed from senior governments to support recovery after flooding in 2017 and 2018.
- The successful integration of SEKID into the City’s water utility helped save costs and better serve residents.



### CHALLENGES

#### Jurisdictional role

- The City has few resources and little jurisdiction outside of its boundary. Activities or investments in the upper watershed, outside of the City’s jurisdiction, could be either detrimental or beneficial to water security.

#### Varying interests and needs

- The various agencies involved in water responsibility have different interests, needs and funding requirements.





**OPPORTUNITIES**

**Shared interests**

- The City of Kelowna and other local governments and water providers have similar challenges and goals, which could be addressed more effectively by working together.
- This plan, which was developed through a workshop with many of the City’s partners in water management, reflects a collaborative process for long-term planning.

**How will we improve?**

These specific actions support improvements in how the City aligns governance with other partners. A summary of all water security actions and how they relate to the guiding principles is included in **Appendix A**.



**SHORT-TERM**

- Align City operations, level of service, and key performance indicators with the guiding principles of the Water Security Plan.
- Develop communications strategies to support service levels.

**MEDIUM-TERM**

- Prepare risk registries and contingency plans for water security infrastructure assets.

**LONG-TERM**

- Assess and refine development policies and processes to incorporate requirements to include source water protection, natural system preservation, and prevention of development on floodplains.
- Update and align infrastructure master plans with an assessment of risks (likelihood and consequence) facing service delivery including asset condition, capacity, compliance and undertaking a climate vulnerability assessment for the water systems.



## 3.2 PARTNERSHIPS

Water security in and around Kelowna is a shared responsibility, which requires collaboration, input and support from a variety of partners. This includes local First Nations, the provincial government, neighbouring municipalities and the regional district, other water providers and key organizations, such as Interior Health and the Okanagan Basin Water Board.

Each of these partners have their own interests, regulations and requirements surrounding the management, protection and supply of water

### Guiding Principle

The City works in partnership with other water providers and government agencies to ensure water security.

services in their communities. This Plan emphasizes the need to work together to define priorities and implement solutions for the challenges we all face related to water responsibility.

### LOCAL FIRST NATIONS

Local First Nations have inherent rights and responsibilities for the water on their traditional, ancestral and unceded territory. Traditional knowledge and values must be incorporated into water management practices to reflect the deep knowledge these communities have of this area. Specifically, ongoing collaboration is needed with:

- Westbank First Nation, which owns and operates water systems that also rely on Okanagan Lake.
- Okanagan Indian Band, which is in the process of developing a partnership with the City of Kelowna to provide water and sewer service to residents of Indian Reserve 7 .
- Okanagan Nation Alliance, whose biologists and knowledge-keepers have initiated water studies, measurements, and are helping develop processes leading to positive change in fish habitat restoration, creek naturalization and water quality.

### CITY OF KELOWNA

There are multiple departments within the City of Kelowna that play a role in water management and water responsibility. Internal coordination and alignment will be required to implement the actions outlined in this Plan. This includes utility services, infrastructure engineering, and development planning.



### PROVINCIAL GOVERNMENT

The provincial government plays a significant role in water management. This includes responsibility for water and land use regulations, health requirements, and empowering and funding other agencies that support sustainable management practices and infrastructure. The provincial regulatory framework for water management is complex, and overlaps several ministries and agencies, including:

- Ministry of Housing and Municipal Affairs
- Ministry of Health
- Ministry of Water, Land and Resource Stewardship
- Ministry of Forests
- Ministry of Agriculture and Food

The Interior Health Authority establishes requirements for drinking water providers to protect public health, and approves, inspects and monitors water systems to prevent the spread of water-borne diseases.

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### NEIGHBOURING MUNICIPALITIES AND REGIONAL DISTRICTS

Other local governments provide services in their communities that have an impact on the City of Kelowna's water security practices, and vice versa. This includes the Regional District of Central Okanagan, the District of Lake Country, the City of West Kelowna and District of Peachland as well as other communities within the Okanagan basin.

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### PARTNER ORGANIZATIONS

The Okanagan Basin Water Board works to identify and resolve critical water issues in the Okanagan watershed, and includes representatives from the three Okanagan regional districts, the Okanagan Nation Alliance, the Water Supply Association of BC and the Okanagan Water Stewardship Council.

There are three large water purveyors that provide water to residents in Kelowna:

- City of **Kelowna Water Utility**, which, with the amalgamation of the Glenmore-Ellison Improvement District (GEID) on January 1st, 2025, serves three quarters of the population of Kelowna, amounting to approximately 120,000 residents.
- **Black Mountain Irrigation District (BMID)**, which serves approximately 26,000 people in the Scotty Creek subdivision and the Belgo, McKenzie, Ellison, and Black Mountain areas of Kelowna.
- **Rutland Waterworks District**, which serves over 13,000 residents in the Rutland area.

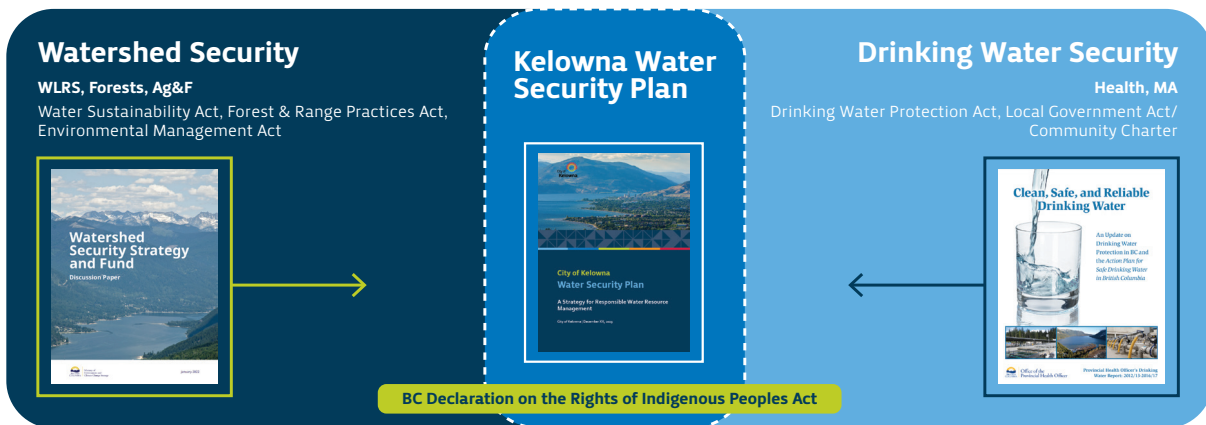


### What are we doing to develop partnerships, today?

There are several policies, plans and frameworks that outline the priorities for the many different users, organizations and governments responsible for water security in the region. These provide a starting point to align work between partners and establish shared goals for water security, and serve as examples of how future partnerships could be achieved:

- City of Kelowna 2040 Official Community Plan, which lays out policies to ensure creeks and lakes have the necessary flow and temperature to support a thriving and resilient aquatic habitat.
- Mission Creek Water Use Plan, which was jointly developed and endorsed by the City of Kelowna, the Province and Black Mountain Irrigation District.
- Water Responsibility Strategy and Fund, which is under development by the Ministry of Water, Land and Resource Stewardship to support better stewardship of watersheds across the province.
- *Clean, Safe, Reliable Drinking Water*, a report from the Ministry of Health that provides recommendations to prevent and reduce the risk of contamination of drinking water.

### WATER SECURITY PLANS



Additional examples of successful initiatives and partnerships that have supported better service for the community and the health of aquatic environments include:

- Merging the Glenmore-Ellison Improvement District (GEID) with the City water utility as initiated by the GEID Board of Trustees to help ensure reliable, resilient and sustainable water supply to the Glenmore-Ellison area. This helped provide safe, clean drinking water to the SEKID customers, who previously experienced regular drinking water quality advisories, and protected the SEKID water source for agricultural use.
- Merging the Southeast Kelowna Irrigation District (SEKID) with the City water utility, which was supported with funding from the provincial and federal governments. This





The Mission Creek Greenway is an example of a successful partnership between multiple jurisdictions that promotes sustainability and public awareness.



The City's Raymer Wastewater Treatment Plant must continue to maintain its effectiveness in treating effluent. Senior government partnerships will be needed to support future growth.

### How will we improve?

These specific actions support improvements in how the City works with key partners in water management. A summary of all water security actions and how they relate to the guiding principles is included in **Appendix A**.



#### SHORT-TERM

- Establish regular meetings with other water purveyors in Kelowna to collaborate on water supply challenges and share expertise in urban and rural water supply needs.
- In partnership with other organizations, increase our measurement and publishing of water data in the Okanagan basin.



#### LONG-TERM

- Develop Best management practices with other Okanagan agencies and the Okanagan Basin Water Board for water related operations and maintenance.
- Seek financial support from higher levels of government for continued water security initiatives.



The siwtk<sup>w</sup>, tmxw ulaxw , and all living things are all intricately connected, what you do to one you do to all.”

*syilx* Water Declaration





### 3.3 *syilx* KNOWLEDGE

The City of Kelowna is located on the traditional, ancestral, unceded territory of the *syilx*/Okanagan people, and has benefited from the use of the water and land that *syilx* Peoples have the inherent rights and responsibilities to care for.

The Okanagan Indian Band and Westbank First Nation are both part of the *syilx* Nation, a transboundary Nation that extends across multiple watersheds and the Canada-U.S. border. The *syilx* Nation comprises of seven communities on the Canadian side and a confederated tribe south of the 49th parallel. The Okanagan Nation Alliance (ONA), an alliance of the individuated Bands within the *syilx* Nation, advocates for member Nations and pursues collective initiatives across the territory.

The Okanagan Nation Water Declaration (2014), states *siwtk<sup>w</sup>*, or water, is not a resource or a commodity. Instead, *siwtk<sup>w</sup>* "has the right to be recognized as a familial entity, a relation, and a being with a spirit who provides life for all living things."

#### Guiding Principle

*syilx* knowledge, practice and permitting is effectively incorporated into water decision processes.

“*siwtk<sup>w</sup>* is our most sacred medicine: *siwtk<sup>w</sup>* nourishes, replenishes, cleanses, and heals. Any use of *siwtk<sup>w</sup>* should be an act of reverence and a commitment to our responsibilities to all life: now and to come, as *syilx* People”.<sup>1</sup>

*syilx* Water Declaration

Excerpts from:

1. *syilx* Nation *siwtk<sup>w</sup>* Declaration. 2014. Principle 5. Published by the Okanagan Nation Alliance



The Okanagan Nation Water Declaration reminds us that our lakes, rivers, creeks, streams and oceans are all connected – to each other and to us – and thus that all people share the responsibility to care for and preserve water for our future generations. A central priority of the *syilx* Nation is to protect and restore *siwłk*<sup>w2</sup>. In recognition of this, the City emphasizes the need to establish environmental flow needs, creek flow measurement, fish spawning opportunities, and flood mitigation parameters.

### PROVINCIAL COMMITMENTS

The Province continues its mandate to bring provincial laws into alignment with the *United Nations Declaration on the Rights of Indigenous Peoples* and develop and implement an action plan to achieve these objectives in consultation and cooperation with Indigenous Peoples. The Ministry of Water, Land and Resource Stewardship, for example, continues to co-develop a Watershed Security Strategy and Fund.

### CITY RESPONSIBILITIES

The City of Kelowna has the authority to establish policies to guide the growth, development and operation of the City. Kelowna is now looking to address some anticipated gaps in our processes that will be caused by upcoming changes in legislation, regulation and legal priority. This process includes our responsibilities with water. In the meantime, City staff participate in a wide variety of local efforts, including the ONA's Okanagan Lake Responsibility Planning Initiative Workshops, interactive field tours on *syilx* Knowledge, and incorporating *syilx* knowledge into project design criteria. The City is working to maintain and strengthen a respectful and collaborative relationship with the Okanagan Nation Alliance and to pursue partnerships and agreements with Okanagan Indian Band to provide water and sewer servicing to Indian Reserve 7 at the north edge of Kelowna.

### How will we improve?

These specific actions support improvements in how the City incorporates *syilx* knowledge into water management practices. A summary of all water security actions and how they relate to the guiding principles is included in **Appendix A**.



#### SHORT-TERM

- Consistently participate in *syilx* water resource activities in the Okanagan.



#### MEDIUM-TERM

- Ensure best management practices and environmental stewardship policies incorporate *syilx* values related to water and fish through participating in ONA water-centric and educational opportunities.

2. *syilx siwłk*<sup>w</sup> Strategy. 2021. Page 26. Priority 3. Published by the Okanagan Nation Alliance.





## 4.0 KEY WATER SECTORS

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### 4.1 WATER SUPPLY

#### What does water supply mean?

Water supply refers to the system that ensures we have water to use in our homes, at workplaces, for agriculture and in public spaces and amenities. In Kelowna, water is supplied by several providers from a few different sources, including Okanagan Lake, upland reservoirs, creeks and groundwater.

#### Why is water supply important for water security?

Water is critical for both life and our economy. Supplying safe and reliable water is one of the most important roles for a local government.

In Kelowna, we live in a semi-arid environment where the water is in limited supply. We share the our water sources with other users, wildlife

#### Guiding Principle

All residents and water users in the City have a safe, affordable, resilient and sustainable supply of high-quality drinking water and a reliable supply of water for agriculture.

and the natural environment. By taking steps to ensure reliable, sustainable water supply, Kelowna citizens will continue to receive high-quality, affordable water.

As we face climate change, natural disasters, and population growth, we need to build a resilient water supply that leverages effective infrastructure, natural and built systems, and public involvement.

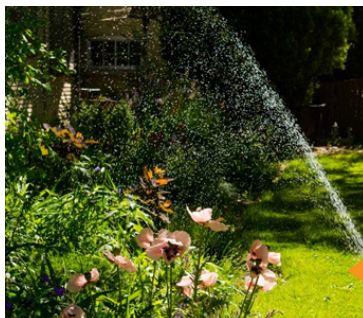


## What are we doing to manage water supply, today?

Kelowna citizens are supplied water from several water sources including Okanagan Lake, upland reservoirs, creeks and groundwater. Since the City boundary was extended in 1973, City residents and customers are also supplied by several water purveyors, private water systems, private wells and private licensees.

As of January 1, 2025, Kelowna’s water utility (shown in orange and blue on the map below) supplies potable water to three quarters of the community from Okanagan Lake. Independent water purveyors and other community suppliers, which all operate under the authority of the provincial government, also source water from Okanagan Lake, groundwater and creeks that are all part of the Okanagan watershed.

The quality of the water supplied by the City and other purveyors needs to meet public health standards and the standard necessary for sustainable food security and agricultural supply.

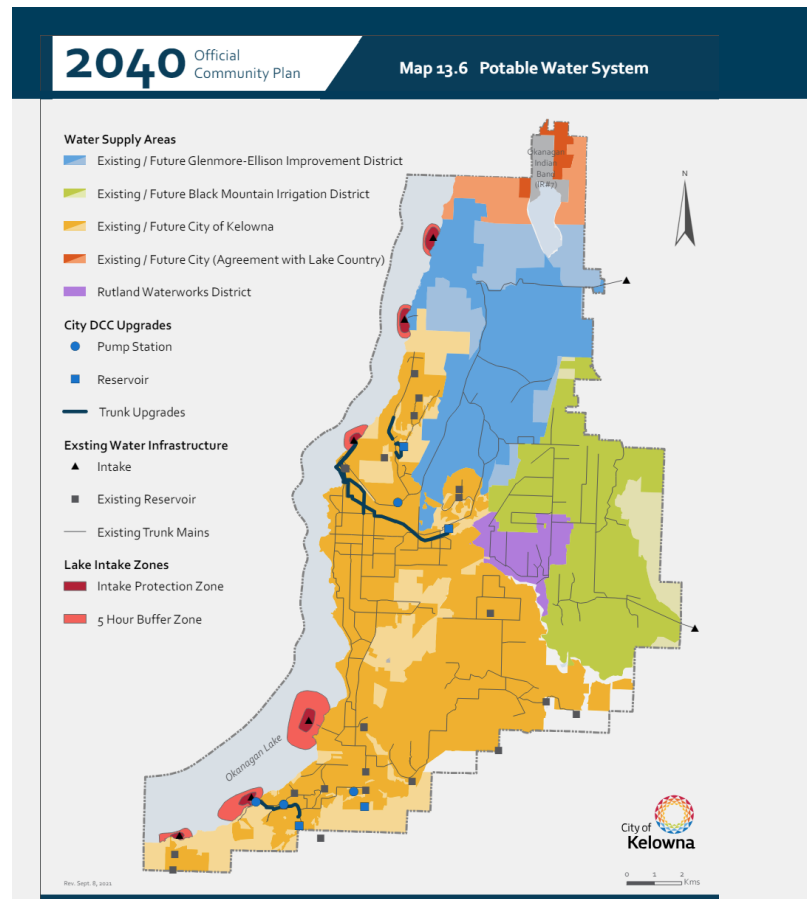


Demand for home irrigation has a major impact on the capacity needs for water supply infrastructure. Summer demand is three times larger than winter demand.

Potable water is pumped from Okanagan Lake. This booster pump system at Stellar Road moves water to higher destinations in the City.



Reservoirs, such as this one on Jean Road, allows water pressures to be stable, provide resiliency to the areas served, and provide emergency water supply for firefighting.



On January 1, 2025, the Glenmore-Ellison Improvement District, shown in blue, amalgamated with the City of Kelowna water utility.



## How are we doing?

The following outlines the strengths, challenges and opportunities as they relate to water supply in the City of Kelowna:



### STRENGTHS

#### High-quality service

- Major water providers all use a multi-barrier approach for water treatment, which is a best management practice in British Columbia.
- The City utility meets the storage and supply demands for agricultural customers in the City service area.
- All major water providers meet all current demand from customers.

#### Pro-active protection

- The City uses a proactive approach to protect water intakes through intake protection zones.



### CHALLENGES

#### Reducing water use:

- Based on community engagement, City of Kelowna residents appear supportive of reducing water use. Suggestions for how the City could encourage water conservation include restrictions or incentives to become more efficient in non-essential and water-intensive activities such as residential pools, water features, golf courses and excessive watering, or encouraging water-efficient landscaping (such as Xeriscaping).
- Water rates are among the lowest in Canada, resulting in inefficient behaviors around usage.

#### Growth and development

- The pace of development and population growth in the City will put more pressure on water supply. Long-term planning should prioritize ensuring the security of the City's water supply.

#### Alignment and accountability

- The City is not well aligned with the planning needs of other purveyors in Kelowna.
- Ownership and accountability of water systems is fragmented. Each water purveyor or system is only accountable to their Council, Board or Provincial Ministry.





### High infrastructure costs

- Residents face increasing costs to deliver water-related services.
- The City utility continues to defer construction of water filtration plants for each of the Okanagan Lake intakes. However, this deferral depends on Okanagan Lake remaining a high-quality water source that does not yet require filtration to meet Interior Health requirements.
- The installation and renewal of water supply infrastructure is costly, and the costs for replacement are rising faster than inflation.

### Resiliency of supply

- Customers of both urban and rural suppliers are at risk of water shortage should a major system failure occur. The City's major water systems are poorly interconnected, and a similar failure to that in Calgary in 2024 could happen here. The City must address communication gaps between its water purveyors and develop resiliency of supply across the City.

### Access to new water sources is limited.

- Threats exist to Okanagan Lake water quality due to climate change, changing input from creeks and precipitation, invasive species such as zebra and quagga mussels, and increased recreational use.

### Limited capacity

- The City infrastructure will require significant capacity upgrades to service accelerated growth needs.
- Agriculture has limited capacity to expand without an adequate water supply.

## OPPORTUNITIES

### Knowledge sharing

- The City has a strong understanding of urban vs. agricultural water needs, and can play a role in collaborating with purveyors to manage supply in the local watershed.







## How will we improve?

These specific actions support improvements in water supply. A summary of all water security actions and how they relate to the guiding principles is included in **Appendix A**.



### SHORT-TERM

- Conserve water. Update water demand criteria in Bylaw 7900 updating infill zoning and new light industrial requirements.
- Review and upgrade water infrastructure in urban core areas to assure that water supply is adequate to meet firefighting requirements to facilitate densification.
- Increase our measurement of water use and focus on evidence-based decision making by aligning water consumption data with irrigation use.
- Advise government and the agricultural community of the commitment required to renew and replace aging supply and delivery infrastructure.



### MEDIUM-TERM

- Develop funding strategies that assure that non-potable water is supplied to the agricultural community.
- Assure resiliency and water quality supply risk mitigation through interconnectivity of sources.
  - Evaluate transmission connectivity between McKinley intake and Dilworth Reservoir.
  - Install multiple connections between GEID and City system to interconnect the networks.



### LONG-TERM

- Protect public health by developing concept plans and ensuring land is available for addition of filtration facilities at all potable water supply locations.





## 4.2 WASTEWATER MANAGEMENT

### What is wastewater management?

Wastewater management refers to how sewage and wastewater from homes and businesses in Kelowna is treated and discharged. In Kelowna, treated wastewater, or effluent, is discharged into Okanagan Lake. This effluent needs to be clear of any nutrients, toxins, metals or other contaminants that could affect the water quality of the lake.

### Why is wastewater management important for water security?

Wastewater management is crucial for the health and safety of our community. Since we source some of our domestic water supply from Okanagan Lake, the lake water needs to be clean and reliable. Wastewater treatment is a critical process at the City of Kelowna because of the potential health and safety consequences for our drinking water.

### Guiding Principle

Protect Okanagan Lake, human health and our environment through efficient collection and effective treatment and disposal of wastewater.



The City operates 44 lift stations, which transfer wastewater from a lower level to a higher level to transport it to the wastewater treatment plant.

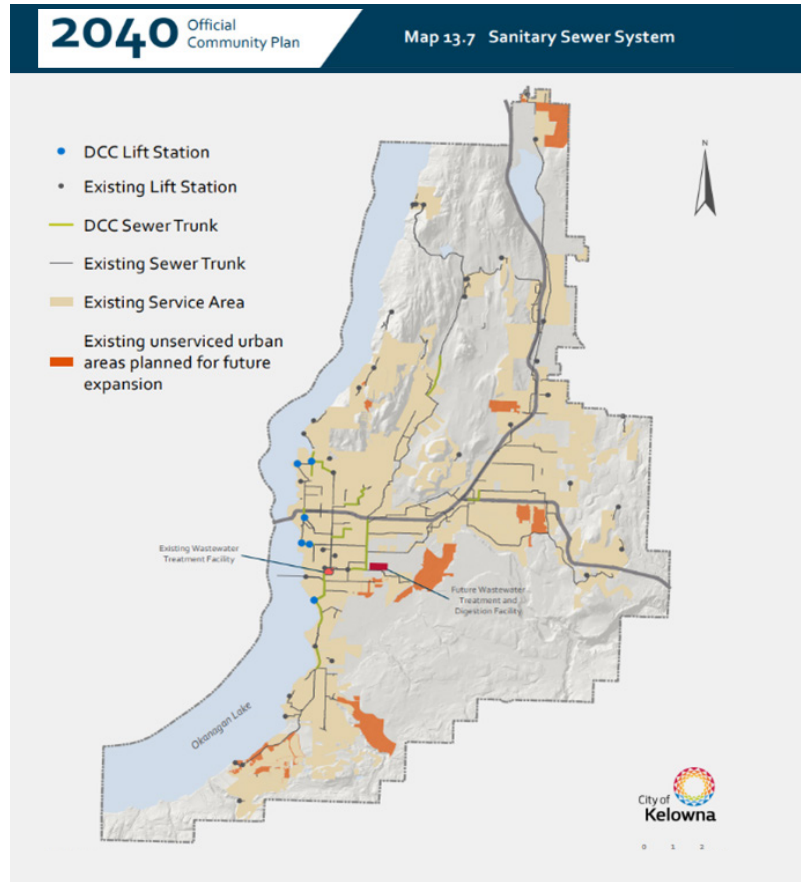


### What are we doing to manage wastewater, today?

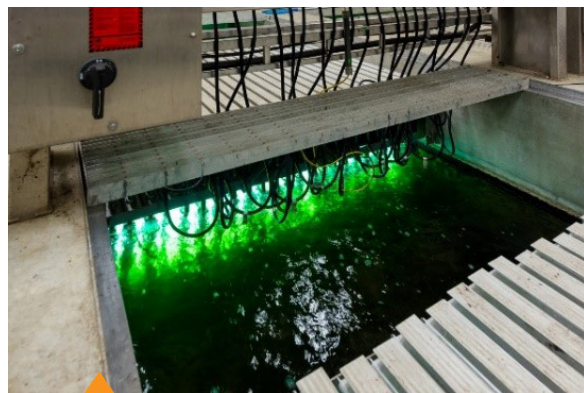
Almost all of Kelowna’s urbanized areas are connected to the sanitary sewer service. Some wastewater from industrial or agricultural uses are pre-treated before entering the sanitary sewer system and are monitored regularly to assure that normal treatment processes are not impacted.

Kelowna has been a leader in wastewater treatment advancement for decades and piloted a bio-nutrient treatment process with the University of British Columbia (UBC) as far back as the 1980s. The City’s treatment plant has undergone several upgrades since then to optimize this technology and grow the plant’s capacity to accommodate community growth. Additional property has been secured to support expansion and redundancy of wastewater treatment in the City.

Thanks to Kelowna’s wastewater management system, it’s safe to discharge the treated effluent into the lake. The effluent is also discharged at specific locations and water depths to ensure it isn’t near water supply intakes. The quality of the treated wastewater is monitored regularly and compared to the provincial permit measures to ensure Okanagan Lake continues to be a safe, healthy, reliable source of water.



Before filtering and UV disinfection, wastewater goes through primary and secondary clarification, which removes solid waste and nutrients.



Before treated effluent is discharged back to Okanagan Lake it undergoes a final disinfection process with ultraviolet light.

## Key objectives for the City of Kelowna's wastewater management system include:

- Collect wastewater from all urbanized areas of the City and route it safely to the wastewater treatment facility.
- Effectively filter, treat and disinfect all wastewater to protect public health, the environment and Okanagan Lake.
- Assure that policies are consistent across the valley to prevent discharge of untreated sanitary wastewater to Okanagan Lake.
- Sustain investment, resources and trained professional staff to service the needs of a growing city reliably for 24 hours a day and 365 days per year.
- Rates that reflect these objectives, a reasonable level of service, and are competitive with other communities.

## How are we doing?

The following outlines the strengths, challenges and opportunities as they relate to waste water management in the City of Kelowna:



### STRENGTHS

#### Service capacity

- The City currently collects wastewater from 95% of the population in Kelowna.
- We are succeeding in consistent treatment of trade waste, or waste that's created by food or industrial businesses, through our Brandt's Creek wastewater plant.

#### Water treatment requirements

- The City of Kelowna's wastewater treatment process effectively removes or reduces nutrients, toxins, soaps and other sanitary elements from being introduced to Okanagan Lake.
- Kelowna consistently meets or exceeds permit requirements and legislated levels for treated effluent. The treatment processes for areas on sewer collection are highly effective.







## CHALLENGES

### Treatment Challenges

- The City's success in reducing water demand is leading to a higher concentration of sanitary inflows to the wastewater treatment process. This is causing a need to expand capacity and increase funding earlier than expected.
- Urban development adjacent to the treatment plant adds to operating challenges.

### Septic systems

- On-site septic systems are used in rural or less urban areas of the City. The failure of these systems, especially those close to a creek or other body of water, is a risk to water quality.

### Using biosolids

- We have a growing biosolids production that can be a challenge to manage. Biosolids include sludge and filtered materials that are byproducts of the wastewater process. Sustainable biosolids management includes composting, reducing volumes through anaerobic digestion, or shipping to external sites for mine reclamation.

### Infrastructure costs

- Wastewater transmission and treatment infrastructure are expensive to construct and maintain.

### Illegal dumping

- Illegal discharges into system have the potential of shocking the biological treatment processes the City uses. Public awareness of this issue is low.

### Multi-jurisdictional impacts

- Not all communities that discharge effluent into Okanagan Lake treat wastewater at the same level.



## OPPORTUNITIES

### Updated Sewer Connection Program

- The City has recently updated its sanitary sewer connection program in an effort to connect remaining urbanized areas to sewer. This is an ongoing process, which is estimated to take at least 20 more years.

### Valuable Biosolids

- The treatment system produces Class A compost using the removed biosolids, which can be used by the community as a soil amendment.

### Heat Capture

- We are capturing some surplus process heat in wastewater and converting it to building heat at Okanagan College. There is the potential to recover even more heat through this process.

## How will we improve?

These specific actions support improvements in wastewater management. A summary of all water security actions and how they relate to the guiding principles is included in **Appendix A**.



### SHORT-TERM

- Develop and implement improvements to wastewater treatment facility to address challenges related to increasing concentration of influent.



### MEDIUM-TERM

- Work with Interior Health to add tracking of emerging contaminants of concern that are under the City's scope of responsibility.



### LONG-TERM

- Plan for an alternate treatment plant site to be included in the development of new processes and capacity improvements.
- Transition on-site septic systems to community sewer in urbanized areas. Complete the transition program by 2040.







## 4.3 ENVIRONMENTAL FLOW NEEDS

### What are environmental flow needs?

Fish, wildlife, ecosystems and all natural systems require water to function. Environmental Flow Needs (EFNs) define the ideal volume, timing and quality of water flow needed to keep an aquatic ecosystem healthy and sustainable.

### Why are environmental flow needs important for water security?

EFNs are important for water security because they support the survival of fish, wildlife and other natural systems.

In the Okanagan, EFNs are particularly crucial for species like Kokanee salmon, which require cooler water temperatures when they travel upstream to spawn. The minimum environmental flows needed to support fish are at risk in late summer and early fall due to hot weather, low precipitation and high demand for water in agriculture, residential and recreational uses.

*The Water Sustainability Act (WSA)* requires provincial decision-makers to consider EFNs in new water source license applications, which allow local governments and land owners to divert, use or store surface water or ground water.

### Guiding Principle

Assure that the quality and quantity of water is available to support a healthy aquatic system.

New water license allocations from streams and connected aquifers are unlikely to be granted if the EFNs cannot be met.

“Critical Flow Needs” is another term used when the water flow levels are at extreme low levels because of extreme heat, drought or over use. This term identifies the flows needed for fish and wildlife to survive in high temperatures. Additional regulations within the WSA and federal fisheries acts can use whatever means necessary to supplement emergency flows, which can impact water supply for residential, agricultural and business use.

The Okanagan Nation Alliance (ONA) has developed some EFN measures in many of the creeks feeding the Okanagan Lake and river watershed. These measures will likely become regulatory conditions and will form the basis of water demand criteria for the Province into the future.

## What are we doing to manage environmental flow needs, today?

### Policies and regulations

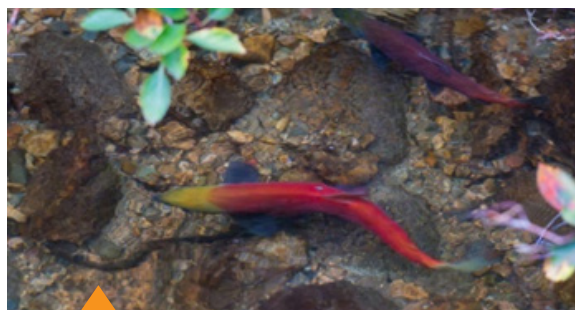
The City of Kelowna 2040 Official Community Plan includes policies to ensure that creeks and lakes remain at the temperatures and flow levels needed to support thriving and resilient aquatic habitats.

The City’s primary responsibility is currently to ensure that minimum flows are achieved in Hydraulic Creek supported by flows from McCulloch Lake. The flow from the lake is measured at the intake structure downstream from the release point. The 2010 Mission Creek Water Management Plan includes requirements for supplemental flows from reservoirs owned by the City, BMID and the province to support the Mission Creek flows to meet EFNs. These supplemental flows are needed on a regular basis.

During drought or dry conditions, provincial regulators focus on critical environmental flow threshold (CEFT) rather than EFNs. The CEFT establishes the minimum flows required to ensure the survival of fish populations. This measure provides regulators the ability to issue “fish population protection” orders which creates the power to release water from upland water storage in case of emergencies and prioritize creek flows over other uses.

### Fish reintroduction

The ONA is working with communities to re-introduce Sockeye and Chinook salmon into the Okanagan Valley. The shoreline of Okanagan Lake and the creeks that feed into the lake provide crucial salmon spawning habitat. As part of the Mill Creek Flood Protection Project, the ONA produced a Mill Creek Habitat Assessment and Restoration Plan for the creek from the Kelowna International Airport to Okanagan Lake. The report identifies the ability of each section of the creek to support fish spawning and recommends restoration activities to improve spawning conditions.



Salmon spawn in pairs in local creeks and along the shores of Okanagan Lake. The female releases her eggs at the spawning location for the male to fertilize. The eggs are laid in gravel nests called “redds.” Salmon fry hatch and emerge from the redds the following spring.



Recent Mill Creek Flood Protection works incorporate fish passage, riparian improvements and fish spawning, similar to the habitat restoration work shown here on Mission Creek. These elements are now part of the design criteria for all future creek works.



Minimum water levels must be maintained in creeks in Kelowna to assure water temperature targets are met.



## How are we doing?

The following outlines the strengths, challenges and opportunities as they relate to Environmental Flow Needs in the City of Kelowna:



### STRENGTHS

#### Ongoing fish reintroduction

- Since 2016, the Okanagan Nation Alliance has released Sockeye salmon fry into Mission Creek to restore salmon to their natural habitat. Four years later, these salmon should return to the release point and spawn. Fish counts are undertaken to track success.
- Multiple restoration projects have been recently completed to enhance habitat resulting in increased salmon spawning in Kelowna creeks.



### CHALLENGES

#### Climate change

- Climate change is impacting natural flows and making predictive watershed planning more difficult.

#### Measurement and reporting

- New water supply licensing will require a working knowledge and reporting of Environmental Flow Needs.
- Fish kills or riparian zone destruction in any water management facility can result in heavy fines and reputational damage.

#### Coordination between partners and plans

- Several governing entities, purveyors, industries and recreation play a part in water management in watersheds—however, there is a lack of coordination between them and the City does not have a good understanding of how upstream creek watersheds are being managed.
- The City's drought management or water shortage plan procedures do not address critical flow needs.

#### Regulatory changes

- Upper watershed supply is at risk of impacts from regulatory changes.



### OPPORTUNITIES

#### Mill Creek improvements

- Improvements are being achieved in recent flood mitigation work on Mill Creek, creating the potential to release new salmon fry in the future.

## How will we improve?

These specific actions support improvements in environmental flow needs. A summary of all water security actions and how they relate to the guiding principles is included in **Appendix A**.



### SHORT-TERM

- Incorporate critical flow needs into the City's drought management and water shortage plans.
- Investigate modifications to storage infrastructure to optimize release to minimize losses and ensure environmental flow needs are met.



### MEDIUM-TERM

- Work with the Province and partners to plan reservoir storage in the upper watersheds and improve management of critical flow releases to our creeks, reducing impacts to allotments for the agricultural industry.







## 4.4 STORMWATER MANAGEMENT & FLOOD PROTECTION

### What is stormwater management and flood protection?

Stormwater management and flood protection refers to how the City of Kelowna controls runoff from rainwater or melted snow to prevent flood damage and impact on Okanagan Lake water quality.

### Why is stormwater management and flood protection important for water security?

Kelowna is located in a semi-arid valley and gets rain less frequently than other parts of British Columbia, our stormwater management needs are much different than other cities. We need a unique approach that addresses how stormwater and flooding affects the city and the water quality of Okanagan Lake, our primary water source.

Since we live in a dry climate, pollutants tend to accumulate on roads, ditches and other spaces. When rainstorms happen, pollutants and sediment travel through the drains, sewers and creeks, negatively impacting the health of our ecosystem.

### Guiding Principles

Stormwater is effectively managed without negatively impacting riparian areas, property or Okanagan Lake.

The community is resilient and resistant to lake and creek flooding.

Stormwater also causes flooding, accelerating flows that increase the risk of erosion and sediment deposition in our creeks.

Severe events have closed beaches, flooded businesses and caused drinking water quality advisories. Our creeks must have the capacity to handle local storm events. The City is looking at every opportunity to increase the creek width and using the riparian areas to contain flood events. This has the added benefits of improving water quality, increasing fish spawning capabilities, and providing the needed protection with effective tree cover.

#### MINOR SYSTEMS

- Buried sewers
- Manholes
- Curb
- Gutters
- Soak-away strips
- On-site storage structures

#### MAJOR SYSTEMS

- Channels
- Roads
- Storm ponds
- Outfalls

#### NATURAL SYSTEMS

- Streams
- Gullies
- Pond
- Wetlands
- Okanagan Lake

## What are we doing to manage stormwater, today?

The City's key objectives for managing stormwater effectively include:

- Safely routing rain and snow to natural systems
- Improving the quality of water entering Okanagan Lake and its contributing creeks, ponds and channels
- Protecting people, property, key infrastructure and the environment from flooding
- Sustainably investing in stormwater asset renewal and operating budgets
- Ensure the stormwater and flood protection sector is funded for the expected level of service

### Stormwater capacity

The City of Kelowna manages stormwater by routing runoff through minor, major and natural systems:

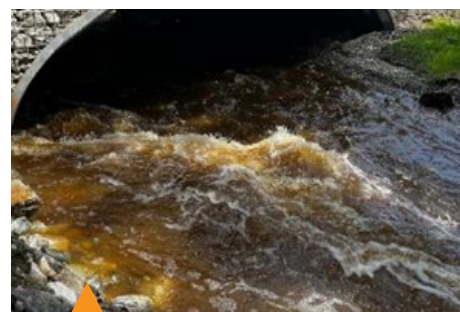
- *Minor systems* typically accommodate 1-in-5-year storms and include assets like buried sewers, manholes, curbs, gutters, soak-away strips and on-site storage structures. Minor systems convey flows toward major and natural systems.
- *Major systems* are designed to accommodate 1-in-100 or 1-in-200-year storm events. Examples include more specialized assets such as channels, roads, storm ponds, and outfalls. The goal of a major system is to protect land and property, prevent erosion and route stormwater to natural systems.
- *Natural systems* are typically the end point for stormwater to flow into, including streams, gullies, ponds, wetlands and Okanagan Lake.



Stormwater ponds are constructed to capture water, reduce downstream peak flows and improve the quality of water entering the creek or water body.



Data on stormwater is collected through automated rain gauges located throughout the City. There is over 30 years of historical data available.



Flood friendly road crossings are being installed on Mill Creek Road to allow fish passage and reduce debris blockages.



## Stormwater quality

The history of our agricultural and urban land development practices has shaped our vibrant and beautiful City. However, our legacy stormwater systems present a challenge—many components were not designed with water quality in mind. Over time, we’ve shifted from managing local flooding and property damage to focusing on integrated stormwater management, protecting creeks, wetlands, and Okanagan Lake.

This challenge cannot be tackled by the City alone, as our community plays a crucial role in protecting our environment. By adopting responsible private maintenance solutions and ensuring stable funding, we can maintain treatment systems, protect riparian areas, and set high water quality expectations for fish, wetlands and Okanagan Lake for future generations.

## How are we doing?

The following outlines the strengths, challenges and opportunities as they relate to stormwater management and flood protection in the City of Kelowna:



### STRENGTHS

#### Infrastructure maintenance

- The City cleans out 20% of the oil-grit separators and over 90% of catchbasins, annually. These devices remove sediment from runoff prior to entering the creeks or Okanagan Lake.

#### Measurement and reporting

- The City is slowly improving its creek flow and quality measurement capabilities. Information dashboards that provide visual interpretation of instantaneous data are becoming more available.
- Flood Protection infrastructure:
  - The re-construction of the diversion on Mill Creek is resulting in lower instantaneous flood peaks downstream and improved staff safety.





## CHALLENGES

### Minimizing our City's impacts on creeks and Okanagan Lake

- Spot measurements for water quality on our creeks show there are pollutants entering our waterways.
- Water oxygen levels are threatened by poor stormwater quality, which has a negative impact on fish spawning and survival.
- 80% of the City's impervious areas are on private property, which the City has limited ability to manage, and where water quality degradation often begins.
- Many historical stormwater management components do not consider water quality impacts.

### Increasing risk of flooding

- The cause of higher flood peaks seen on Mill Creek are from a combination of climate change and a reduction in flood attenuation (or flooded lands) upstream.
- Flooding will continue to be a risk to many areas of the City.
- Larger snowpacks, high intensity rainfalls and increased risk of drought are challenging past engineering design standards.

### Development on floodplains

- The options for flood mitigation and adaptation are constrained by existing development within the floodplains.

### Storm pond maintenance

- Storm ponds and constructed areas can be declared naturalized, or considered natural habitat, making them difficult to maintain and operate.



## OPPORTUNITIES

### Flood Protection

- Substantial funding support from the province's Disaster Mitigation and Adaptation Fund is creating opportunities to improve flood resistance at Mill Creek.

### Stormwater Quality

- Explore a utility-based funding model to allow a more stable approach to managing resources and incentivize effective stormwater management on private property.



## How will we improve?

These specific actions support improvements in storm water management and flood protection. A summary of all water responsibility actions and how they relate to the guiding principles is included in **Appendix A**.



### SHORT-TERM

- Establish guidelines for maintenance and operation of naturalized storm ponds and constructed areas.
- Update best management practices for the operation, maintenance, and renewal of storm infrastructure to protect the public, infrastructure, and the environment.
- Consider implementing a Stormwater Utility to incentivize effective stormwater quality and quantity management from private property.



### MEDIUM-TERM

- Improve stormwater quality by conducting research on public stormwater ponds for nutrient management and habitat development to develop best management practices.
- Complete stormwater basin plans that include overland flow routes, safe discharge to natural systems, and account for future development.
- Update engineered solutions for urban development to reduce pollutants and fine sediment at the source.



### LONG-TERM

- Ensure all flood protection designs include creek health, riparian health, and fish habitat goals.



## 4.5 NATURAL SYSTEMS

### What are natural systems?

Natural water systems include lakes, creeks, wetlands, forests, soil and more. The City also manages “green infrastructure,” which are enhanced and engineered to provide similar benefits to natural systems. Some examples of green infrastructure, which are often referred to as “natural” in urban settings, include stormwater ponds, rain gardens, parks, green roofs, rain barrels and more.

### Guiding Principle

Account, protect, enhance and restore natural systems that make up our asset inventory and increase environmental recovery.

Natural Systems	Green Infrastructure	
	Enhanced	Engineered
<ul style="list-style-type: none"> <li>• Lakes</li> <li>• Creeks</li> <li>• Wetlands</li> <li>• Forests</li> <li>• Soil</li> <li>• Aquifers</li> </ul>	<ul style="list-style-type: none"> <li>• Stormwater ponds</li> <li>• Rain gardens</li> <li>• Urban trees</li> <li>• Urban parks</li> <li>• Bioswales</li> </ul>	<ul style="list-style-type: none"> <li>• Permeable pavement</li> <li>• Green roofs</li> <li>• Rain barrels</li> <li>• Green walls</li> </ul>

### Why are natural systems important for water security?

Natural systems fill many key functions in water security, including preventing flooding, enabling stormwater to runoff safely, supporting healthy habitats for fish and wildlife, controlling temperatures, and naturally filtering and treating water. In many cases, the natural systems serve these needs more effectively than any artificial or engineered solutions. If the City of Kelowna doesn’t protect the existing natural systems that support water security in the city, they can be difficult and costly to replace – and, sometimes, impossible to fully restore.

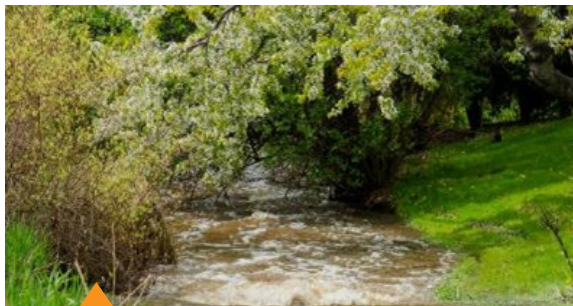


## What are we doing to manage natural systems, today?

In the last five years, our approach to natural systems management has evolved significantly. This includes growing our understanding of what natural systems we rely on and how we can better protect them. In 2021, the City completed a natural asset inventory that describes the different natural systems in the city, their condition and the risks they face. In 2022, the City began a pilot project with the Natural Assets Initiative and the RDCO to examine how natural systems intersect with species at risk.

Additional projects and initiatives that have been undertaken to understand, project and restore natural systems include:

- Developing Natural Environment Development Permit Areas and Guidelines to protect environmentally sensitive and groundwater resources with high intrinsic value from the impact of development
- Developing a Wetland Habitat Management Strategy
- Updating the Sustainable Urban Forest Strategy
- Undertaking a variety of creek restoration projects, including some in partnership with other organizations
- Using a variety of GIS processes and models to inventory natural systems and green infrastructure including forest canopy coverage, creek and wetland mapping, flood mapping, and a sensitive ecosystem inventory



Many creeks in the city have been constrained to narrow channels, which are not as effective as they used to be in supporting wildlife habitat and preventing flooding.



Provincial forest regulations only apply outside the City's boundary. This is an example of how other jurisdiction's regulations and policies can impact natural systems within city boundaries.



City parks and trails are examples of "green infrastructure," which play a role in water security in addition to providing recreation to residents.

## How are we doing?

The following outlines the strengths, challenges and opportunities as they relate to natural systems in the City of Kelowna:



### STRENGTHS

#### Monitoring and measurement

- The City monitors some natural systems and forests.
- Natural systems within the City boundary are well documented.

#### Policies and criteria

- Protection of riparian areas and wildlife habitat has been emphasized in the OCP and recently drafted bylaws.
- New design criteria has been integrated into flood policies to include riparian flood protection.



### CHALLENGES

#### Re-establishing riparian corridors

- Re-establishing riparian corridors is a requirement of creek enhancements and fish spawning opportunities.

#### Permitting

- It's becoming more common to need permits around lakes, streams and wetlands for all types of City activities, especially for City infrastructure projects.

#### Lack of control

- A variety of factors beyond the City's control can influence natural systems. For example, natural systems upstream of the city boundary can impact creek water quality and quantity flowing through the city. Recreation, forestry or agriculture within and outside of the city's boundary can also deteriorate natural systems, impacting water quality.

#### Climate change

- Climate change poses a significant risk to Kelowna's natural systems. Shifting intensity or timing of rainfall, thunderstorms, heat domes and snowfall are affecting forest health, fire activity and local waterways.





**OPPORTUNITIES**

**Planning coordination**

- Water security has not been incorporated into natural systems planning and monitoring before but could be added to strengthen the management of these systems.

**Permitting**

- The City should examine riparian banks as part of future a compensation structure that can include development and growth.

**How will we improve?**

These specific actions support improvements in natural systems. A summary of all water security actions and how they relate to the guiding principles is included in **Appendix A**.



**SHORT-TERM**

- Create a Habitat Compensation Bank for all environmental permitting requirements.



**MEDIUM-TERM**

- Complete a natural asset inventory by adding water responsibility considerations and incorporating the inventory into the City’s Asset Management Program.
- Investigate possible zoning regulations to support the identification, protection and/or restoration of natural system protection areas.

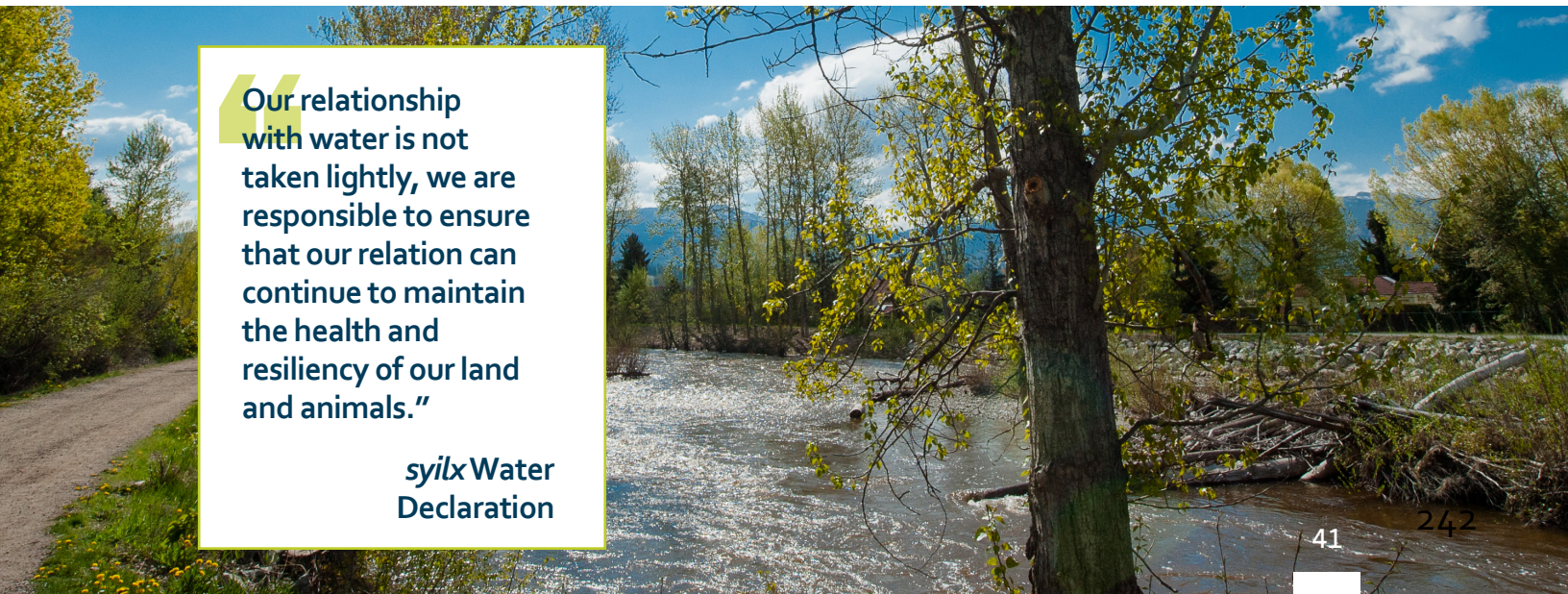


**LONG-TERM**

- Restore creek riparian areas and reduce negative human impacts.

“Our relationship with water is not taken lightly, we are responsible to ensure that our relation can continue to maintain the health and resiliency of our land and animals.”

*sylix* Water Declaration







## 4.6 SOURCEWATER PROTECTION

### What is source water protection?

Source water is where the water we use comes from. In Kelowna, our water source is primarily Okanagan Lake. Protecting our source water is crucial to ensuring we have clean, safe and reliable drinking water.

### Guiding Principle

Okanagan Lake and upland watersheds remain a source of high-quality water.

The quality of source water can be affected by various factors, such as:

- Land use practices that contribute to erosion, increasing runoff and changing natural drainage patterns
- Recreation and rangeland cattle waste
- Run-off from products used in agriculture
- Flooding/erosion of creeks that flow into Okanagan Lake
- Pollution from urban areas



### Why is source water protection important for water security?

Source water protection is the first line of defense to ensure the provision of safe, clean drinking water. Without clean source water, the cost of treatment increases significantly. In the case of Okanagan Lake, the source water is of such high quality that Interior Health has granted the City of Kelowna a filtration exemption, saving significant costs for water users.

However, this filtration deferral depends on maintaining the water quality in the lake and can be revoked if quality falls below Interior Health requirements. Other conditions for maintaining this deferral include undertaking source protection measures and meeting the remaining objectives of the multi-barrier process to achieve safe drinking water.

Other Kelowna water providers also source water from other lakes, streams, springs and groundwater – all of which need additional protection. Groundwater sources are typically exempt from filtration requirements, but other surface sources usually need advanced treatment.

The consequences of not protecting our community's source water are significant. If the City of Kelowna lost the filtration exemption for the Okanagan Lake source, expensive water treatment upgrades and a complete refocus on infrastructure priorities would be required.

### What are we doing to manage our water sources, today?

The City of Kelowna uses several strategies to manage and protect our water sources, including protecting intakes on Okanagan Lake, protecting local watersheds, and collaborating with regional partners:



Creek water quality can impact Okanagan Lake source water quality.



Forestry practices impact source water through erosion, increased runoff and modifications to local drainage patterns.



Agricultural practices are key to reduce non-point source water pollution in our source water.

**Intake protection:**

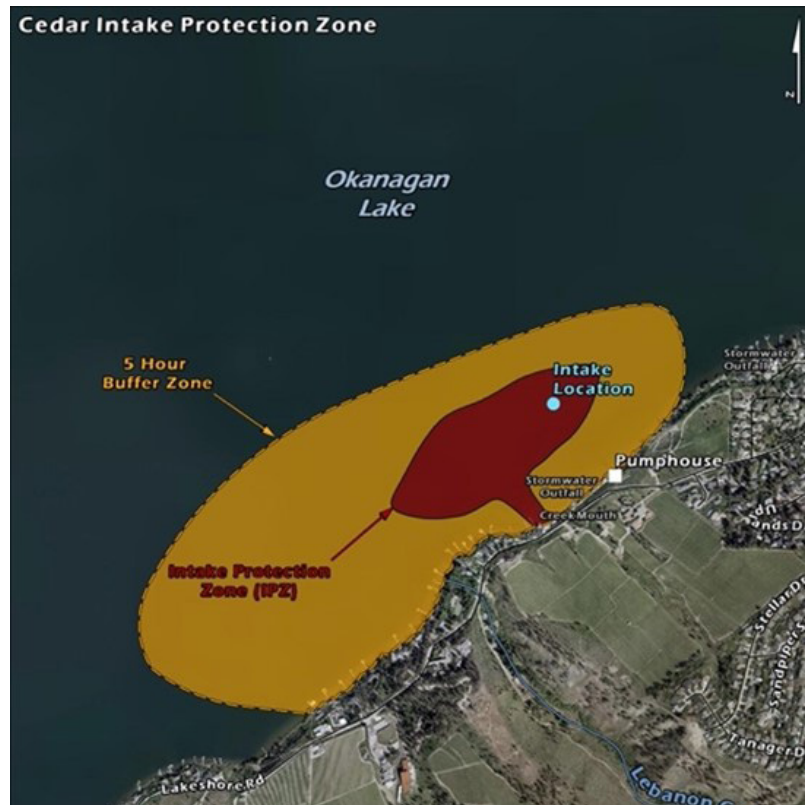
The City of Kelowna water utility has protection zones around each of the four drinking water intakes on Okanagan Lake. These zones surround water intakes and define areas where special care must be taken to prevent potential contaminants from entering the lake.

**Local watershed protection:**

- The Black Mountain Irrigation District (BMID) sources their water primarily from Mission Creek. This source originates outside the city boundary but within the RDCO’s jurisdiction.
- Rutland Waterworks sources all their water from groundwater within the City boundary. Source water protection features are geared more towards groundwater protection and management.

**Regional protection:**

Okanagan Lake, itself, is a source managed by other levels of government (First Nations, Province, Federal, and other local governments). The City participates with other communities on the Okanagan Basin Water Board (OBWB) and Water Stewardship Council



**How are we doing?**

The following outlines the strengths, challenges and opportunities as they relate to source water protection in the City of Kelowna:



**STRENGTHS**

**High source water quality**

- Okanagan Lake continues to be a high-quality source of drinking water.
- The City sees few water quality advisories annually.
- Four out of five lake intakes consistently meet turbidity limits year-round, which can impact proper disinfection. The one that doesn’t always meet the guidelines is only used only during periods of low turbidity.
- The City water utility has a source water protection plan that identifies major impacts along with actionable items that is regularly updated as part of its water supply permit.





## CHALLENGES

### Coordination between lake users

- The City has minimal jurisdiction over land and water use in the Okanagan Lake watershed. Crown and private lands include commercial forestry, agriculture, range, mineral exploration, residential and recreational uses.
- There is little source water protection coordination, yet it is a responsibility to all users, including visitors and businesses that operate within the Okanagan Lake watershed.

### Development and growth

- Development and population growth will continue to put pressure on the lake and its creeks. Growth and activity in turbidity-prone zones can permanently impact lake water quality.

### Limited backup for water sources

- There are multiple intakes on a single lake supply, but no backup.

### Maintaining filtration deferral

- To maintain the filtration deferral, the lake must remain healthy and of high quality. Lake water quality is diminishing over time.



## OPPORTUNITIES

### Collaboration with regional partners

- The City participates fully with the Okanagan Basin Water Board and its activities, creating opportunities for coordination of source water protection between jurisdictions.

### Zebra and Quagga Mussels

- Through the OBWB, recreational boats are monitored continuously to prevent the entry of zebra and quagga mussels into Okanagan Lake.





## How will we improve?

These specific actions support improvements in source water protection. A summary of all water security actions and how they relate to the guiding principles is included in **Appendix A**.



### SHORT-TERM

- Develop policy for recreational development that minimizes impacts from watercraft, effluent discharges and other items impacting source water Protection Zones identified in the OCP.



### MEDIUM-TERM

- Participate in development of a new Watershed Sustainability Plan for Mission Creek.
- Provide resources to manage issues within the Source Water Protection Portfolio. This staff can also participate at the Okanagan Basin Water Board.
- Provide resources to develop long term data analysis on water quality within Okanagan and upper watershed.





# APPENDIX A

## Action Matrix

# ACTION MATRIX

## GOVERNANCE

**GUIDING PRINCIPLES:**The City works in partnership with other water providers and government agencies to ensure water security

ACTION	RELATED FOCUS AREAS	TIME FRAME	KEY PERFORMANCE INDICATORS
Align City operations, level of service, and key performance indicators with the guiding principles of the Water Security Plan	Water Supply	Short-term	Level of Service for each sector is defined along with related KPIs that are published.
	Wastewater Management		
	Environmental Flow Needs		
	Stormwater Management & Flood Protection		
	Natural Systems		
	Source Water Protection		
Develop communications strategies to support service levels	Water Supply	Short-term	Council and public communications and engagement consistently tie back to the water security plan.
	Wastewater Management		
	Environmental Flow Needs		
	Stormwater Management & Flood Protection		
	Natural Systems		
	Source Water Protection		
Prepare risk registries and contingency plans for water security infrastructure assets	Water Supply	Medium-term	Risk registries and contingency plans are prepared for key infrastructure assets
	Wastewater Management		
	Environmental Flow Needs		
	Stormwater Management & Flood Protection		
	Natural Systems		
	Source Water Protection		
Assess and refine development policies and processes to incorporate requirements to include source water protection, natural system preservation, and prevention of development on floodplains	Stormwater Management & Flood Protection	Long-term	Number of units in flood zones
	Natural Systems		
	Source Water Protection		
Update and align infrastructure master plans with an assessment of risks (likelihood and consequence) facing service delivery including asset condition, capacity, compliance and undertaking a climate vulnerability assessment for the water systems.	Water Supply	Long-term	Risk assessments are completed and incorporated into relevant infrastructure master plans
	Wastewater Management		
	Environmental Flow Needs		
	Stormwater Management & Flood Protection		
	Natural Systems		
	Source Water Protection		



## PARTNERSHIPS

**GUIDING PRINCIPLES:** The City works in partnership with other water providers and government agencies to ensure water security

ACTION	RELATED FOCUS AREAS	TIME FRAME	KEY PERFORMANCE INDICATORS
Establish regular meetings with other water purveyors in Kelowna to collaborate on water supply challenges and share expertise in urban and rural water supply needs	Water Supply	Short-term	Number and frequency of meetings held with water purveyors annually
In partnership with other organizations, increase our measurement and publishing of water data in the Okanagan basin.	Water Supply	Short-term	Number of new shared, published and publicly accessible water related data points sourced from other organizations
	Wastewater Management		
	Environmental Flow Needs		
	Stormwater Management & Flood Protection		
	Natural Systems		
	Source Water Protection		
Develop Best management practices with other Okanagan agencies and the Okanagan Basin Water Board for water related operations and maintenance.	Water Supply	Long-term	Best management practice developed for each sector  Level of collaboration on service delivery practices between neighbouring local governments
	Wastewater Management		
	Environmental Flow Needs		
	Stormwater Management & Flood Protection		
	Natural Systems		
	Source Water Protection		
Seek financial support from higher levels of government for continued water security initiatives.	Water Supply	Long-term	Level of Provincial and Federal funding received.
	Wastewater Management		
	Environmental Flow Needs		
	Stormwater Management & Flood Protection		
	Natural Systems		
	Source Water Protection		

## syilx KNOWLEDGE

**GUIDING PRINCIPLES:** *syilx* knowledge, practice and permitting is effectively incorporated into water decision processes.

ACTION	RELATED FOCUS AREAS	TIME FRAME	KEY PERFORMANCE INDICATORS
Consistently participate in <i>syilx</i> water resource activities in the Okanagan.	Environmental Flow Needs	Short-term	Number of activities that receive City support and participation.
	Natural Systems		
	Source Water Protection		
Ensure best management practices and environmental stewardship policies incorporate <i>syilx</i> values related to water and fish through participating in ONA water-centric events and educational opportunities.	Environmental Flow Needs	Medium-term	Best management practices incorporate and reference <i>syilx</i> values
	Natural Systems		
	Source Water Protection		

## WATER SUPPLY

**GUIDING PRINCIPLES:** All residents and water users in the city have a safe, affordable, resilient and sustainable supply of high-quality drinking water and reliable supply of water for agriculture.

ACTION	RELATED FOCUS AREAS	TIME FRAME	KEY PERFORMANCE INDICATORS
Conserve water. Update water demand criteria in Bylaw 7900 updating infill zoning and new light industrial requirements.	Water Supply	Short-term	Per capita potable water production. Annual water produced divided by the population served.
Review and upgrade water infrastructure in urban core areas to assure that water supply is adequate to meet firefighting requirements to facilitate densification.	Water Supply	Short-term	All urban centre serviced properties meet minimum requirements of Policy 383 – Water Supply Level of Service.
Increase our measurement of water use and focus on evidence-based decision making by aligning water consumption data with irrigation use.	Water Supply	Short-term	Water meter data is incorporated into water utility planning processes.
Advise government and the agricultural community of the commitment required to renew and replace aging supply and delivery infrastructure.	Water Supply	Short-term	Successful meetings with senior government.
	Partnerships		
Develop funding strategies that assure that non-potable water is supplied to the agricultural community.	Water Supply	Medium-term	Funding strategy developed. Non-Potable systems are sustainably funded.
	Partnerships		
Assure resiliency and water quality supply risk mitigation through interconnectivity of sources. <ul style="list-style-type: none"> <li>Evaluate transmission connectivity between McKinley intake and Dilworth Reservoir.</li> <li>Install multiple connections between GEID and City system to interconnect the networks.</li> </ul>	Water Supply	Medium-term	Percentage of customer properties serviced by two or more sources during emergencies.  WQA-person-days and BWN Person days across city are falling or zero.
	Source Water Protection		
Protect public health by developing concept plans and ensuring land is available for addition of filtration facilities at all potable water supply locations.	Water Supply Source Water Protection	Long-term	Plans and land secured for advanced treatment at each source.

## WASTEWATER MANAGEMENT

**GUIDING PRINCIPLES:** Protect Okanagan Lake, human health and our environment through efficient collection and effective treatment of wastewater.

ACTION	RELATED FOCUS AREAS	TIME FRAME	KEY PERFORMANCE INDICATORS
Develop and implement improvements to wastewater treatment facility to address challenges related to increasing concentration of influent.	Wastewater Management	Short-term	Measurement of nutrient levels, temperatures and disinfection performance at the outlet.
	Source Water Protection		
Work with Interior Health to add tracking of emerging contaminants of concern that are under the City's scope of responsibility.	Wastewater Management	Medium-term	Effective identification of emerging contaminants
	Source Water Protection		
Plan for an alternate treatment plant site to be included in the development of new processes and capacity improvements.	Wastewater Management	Long-term	Minimize number of regulatory exceedances of effluent discharge quality to Okanagan Lake
Transition on-site septic systems to community sewer in urbanized areas. Complete the transition program by 2040.	Wastewater Management	Long-term	Percentage of properties disposing to sanitary system Area of city not served by community sewer
	Source Water Protection		



## ENVIRONMENTAL FLOW NEEDS

**GUIDING PRINCIPLES:** Assume that the quality and quantity of water is available to support a healthy aquatic system.

ACTION	RELATED FOCUS AREAS	TIME FRAME	KEY PERFORMANCE INDICATORS
Incorporate critical flow needs into the City's drought management and water shortage plans.	Water Supply	Short-term	Critical Flow Needs are included in updated drought management and water shortage plans
	Environmental Flow Needs		
	Stormwater Management & Flood Protection		
Investigate modifications to storage infrastructure to optimize release to minimize losses and ensure environmental flow needs are met.	Water Supply	Short-term	Capital plan includes recommended storage and release infrastructure projects
	Environmental Flow Needs		
	Stormwater Management & Flood Protection		
Work with the Province and partners to plan reservoir storage in the upper watersheds and improve management of critical flow releases to our creeks, reducing impacts to allotments for the agricultural industry.	Water Supply	Medium-term	Reduced impact on agricultural allotments.  Increase in allotments.
	Environmental Flow Needs		
	Natural Systems		
	Source Water Protection		

## STORMWATER MANAGEMENT

**GUIDING PRINCIPLES:** Stormwater is effectively managed without negatively impacting riparian areas, property or Okanagan Lake. The community is resilient and resistant to lake and creek flooding.

ACTION	RELATED FOCUS AREAS	TIME FRAME	KEY PERFORMANCE INDICATORS
Establish guidelines for maintenance and operation of naturalized storm ponds and constructed areas.	Stormwater Management & Flood Protection	Short-term	Guidelines developed for management of naturalized storm ponds
Update best management practices for the operation, maintenance, and renewal of storm infrastructure to protect the public, infrastructure, and the environment.	Stormwater Management & Flood Protection	Short-term	Net water quality of creek water entering the City and discharging to Okanagan Lake  Percentage of City-owned catch basins and oil-grit separators cleaned annually
Consider implementing a Stormwater Utility to incentivize effective stormwater quality and quantity management from private property.	Stormwater Management & Flood Protection	Short-term	Private properties have effective incentive programs to drive behaviours
Improve stormwater quality by conducting research on public stormwater ponds for nutrient management and habitat development to develop best management practices.	Stormwater Management & Flood Protection	Medium-term	Measurement of contaminants in creeks
	Natural Systems		
	Environmental Flow Needs		
Complete stormwater basin plans that include overland flow routes, safe discharge to natural systems, and account for future development.	Stormwater Management & Flood Protection	Medium-term	Basin Plans completed every 2 years (8 plans, 16 year cycle)
Update engineered solutions for urban development to reduce pollutants and fine sediment at the source.	Stormwater Management & Flood Protection	Medium-term	Changes to development standards that address on site pollutants are implemented.
Ensure all flood protection designs include creek health, riparian health, and fish habitat goals.	Stormwater Management & Flood Protection	Long-term	Flood plains where adaptive measures have been implemented.
	Partnerships		
	Natural Systems		

## NATURAL SYSTEMS

**GUIDING PRINCIPLES:** Account, protect, enhance and restore natural systems that make up our asset inventory and increase environmental recovery.

ACTION	RELATED FOCUS AREAS	TIME FRAME	KEY PERFORMANCE INDICATORS
Create a Habitat Compensation Bank for all environmental permitting requirements.	Natural systems	Short-term	DFO approved projects.
	Stormwater and Flood Protection		
	Sourcewater Protection		
Complete a natural asset inventory by adding water responsibility considerations and incorporating the inventory into the City's Asset Management Program.	Natural Systems	Medium-term	Area of inventoried natural assets Improvements to the Parks Asset Management processes
Investigate possible zoning regulations to support the identification, protection and/or restoration of natural system protection areas	Natural Systems	Medium-term	Change to Zoning Bylaw
	Stormwater and Flood Protection		
	Sourcewater Protection		
Restore creek riparian areas and reduce negative human impacts.	Natural Systems	Long-term	Percentage of creeks meet high grade for fish passage and spawning consistent with ONA criteria Quantity of fish returning to creeks
	Stormwater and Flood Protection		

## SOURCEWATER PROTECTION

**GUIDING PRINCIPLES:** Okanagan Lake and upland watersheds remain a source of high-quality water.

ACTION	RELATED FOCUS AREAS	TIME FRAME	KEY PERFORMANCE INDICATORS
Develop policy for recreational development that minimizes impacts from watercraft, effluent discharges and other items impacting source water Protection Zones identified in the OCP.	Water Supply	Short-term	The number of physical protection barriers identifying water intake locations.
	Source Water protection		
Participate in development of a new Watershed Sustainability Plan for Mission Creek.	Water Supply	Medium-term	Added resources in watershed planning Plan endorsement by Council
	Wastewater Management		
	Environmental Flow Needs		
	Stormwater Management & Flood Protection		
	Natural Systems		
	Source Water Protection		
Provide resources to manage issues within the Source Water Protection Portfolio. This staff can also participate at the Okanagan Basin Water Board.	Water Supply	Medium-term	Full-time employee responsible for Source Water Protection.
	Source Water Protection		
Provide resources to develop long term data analysis on water quality within Okanagan and upper watershed.	Water Supply	Medium-term	Levels of growth and activity in turbidity prone zones Raw water quality at Okanagan Lake intakes meets or exceeds Interior Health Filtration Exemption requirements Emerging contaminants are effectively identified.
	Source Water Protection		





# APPENDIX B

## Peer Review Workshop Summary



## Water Security Planning Peer Review Workshop Summary June 14<sup>th</sup>, 2023

Coast Capri Hotel, Kelowna, BC

City of Kelowna | August 29, 2023



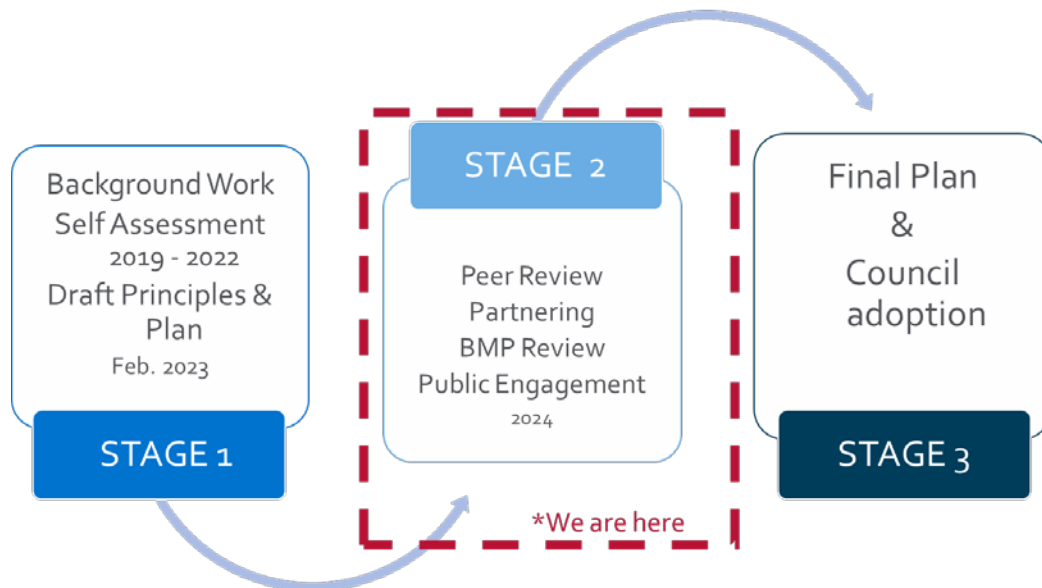
# 1. Introduction

Kelowna is developing its first Water Security Plan with the goal of:

- Achieving more holistic and sustainable water management,
- Guiding local and regional decision-making and prioritization, and
- Framing decision making from a “water lens”.

The City understands the multiple interests and decisions that take place affecting local water management. Kelowna looks to implement sustainable best management practices to address many of the challenges it faces, and the risks associated with those challenges.

Developing the Water Security Plan involves three stages:



The June 14, 2023 peer review session is part of Stage 2, and tasks interested and knowledgeable associated agency representatives to help review and add value to the draft Water Security Plan. More work is still required to explore partnerships, First Nations knowledge, and collaboration on Best Management Practices for the community. A draft revised plan will then be presented to the Community. The feedback will help create the final plan for adoption by Council.

The City hosted 34 peers from 11 organizations at a workshop to collaborate and gather feedback on the area’s water security and best water management practices. These workshop participants represented the Province, local governments, improvement districts, Interior Health and local businesses. A list of participants is found in Appendix A.

## 2. Process

The workshop consisted of six separate sessions with independent topics, lasting most of the day. Facilitators, selected in advance by the City, were tasked to capture feedback and comments, and provide clarity and context where needed.

Participants were asked to familiarize themselves with the topics in advance of the meeting. The following link to the individual background documents was provided:

[Water Security Plan - Compiled Version \(kelowna.ca\)](https://www.kelowna.ca/~/media/2017/06/20/Water_Security_Plan_-_Compiled_Version_(kelowna.ca).pdf)

Each discussion group was provided with a facilitator, easel and background information on each topic or sector. Participants were encouraged to introduce themselves, and outline what brought them to the session. The Project Leads then provided a brief presentation on the topic, followed by focus group discussion.

Following the discussions, each group was asked to review their notes, and agree on the three or four key messages they felt warranted priority action or review. Each facilitator was then asked to present their findings. The feedback was compiled into this report.





### 3. Acknowledgements

#### a) Syilx/Okanagan People

Located on the traditional, ancestral, unceded territory of the syilx/Okanagan people, Kelowna is the largest municipality in the British Columbia interior and relies on the Okanagan Lake basin for its water supply. We share waters from Okanagan Lake with many neighbouring communities and First Nations.

Special guests to the meeting included members of the syilx First Nation. Pamela Barnes and Wilfred Barnes Grouse, syilx knowledge keepers, delivered a special welcome that recognized the territory, and presented an interesting interpretive story of the lake and the fish.

We were pleased to see participants from the Okanagan Nation Alliance, whose biologists and knowledge-keepers have initiated water studies, measurements, and are helping develop processes leading to positive change in our community.

#### b) Special Guests from the Province

Provincial participants included Dr. Silvina Mema, the Drinking Water Officer for Interior Health, and Mr. Brian Bedford, Executive Director of Local Government Infrastructure and Finance within the Ministry of Municipal Affairs. Both Dr. Mema and Mr. Bedford have been valued supporters of the City's Water Security strategy, and both see the opportunity to partner towards a more resilient, high-quality supply of drinking water and water for agriculture. City staff have reached out and collaborated with other Ministries involved in water and watershed security throughout Stage 1.

The provincial government plays a significant role in Water Security. From water and land regulations to empowering and funding other agencies in sustainable management practices and/or infrastructure, they arguably carry the most responsibility in this endeavor.

Over the years, provincial management and/or regulation of Water Security elements have been assigned to several different Ministries and Health Authorities. The regulatory framework is complex, - overlapping and perhaps even lacking in terms of fulfilling the growing needs of regional Water Security. Partnerships with local governments and other agencies will become more and more necessary to sustainably manage Water Security in the years ahead.

The participation by these representatives was both encouraging to the local agencies and invaluable to the City as it seeks to develop partnerships and a long-term best water management strategy for Kelowna's watersheds. We very much appreciated their collaboration and thank them for their participation.

#### c) Peer Group

Equally important was the participation of our local agencies, water sector specialists, and many of the people with whom we share a responsibility to assure our water is well managed and respected. We appreciated their participation and enthusiasm in this Water Security Planning effort.

## 4. What We Heard

A high-level summary of the workshops is outlined below. A more detailed summary of information from each engagement table is provided in Appendix B.

### a) Water Supply

The discussions about water supply, conservation, and management focused on several key areas. Firstly, the importance of alternate water sources and storage; Secondly, promoting water re-use and acceptance, including private water recycling methods such as rain barrels; Thirdly, the discussions focused on strategies such as separating domestic and irrigation water use, interconnection between water providers, and ensuring fair treatment of different industries. Lastly, group responses stressed the significance of protecting aquifers, prioritizing agriculture, and promoting efficiency in irrigation. Collaboration, public education, and incentivizing water conservation are also needed. Notably absent from these discussions was the acknowledgement of First Nations legal requirements to water, and accountability to the public.

The top issues to note for the Water Supply Sector were:

- Water supply resiliency requires interconnection between providers, storage in headwaters, and long-term planning for infrastructure needs and funding.
- Promote water smart education, address changing targets in the community, then plan for long-term water needs in the community.
- Water management and supply in the local watershed requires collaboration. The City can play a role or lead with its understanding of urban versus agricultural needs.

### b) Wastewater

The groups highlighted the importance of aligning wastewater effluent monitoring standards with local issues and Okanagan Lake's health, while keeping an eye on emerging pollutants. The wastewater treatment infrastructure must be regularly maintained and contain resiliency and safeguards. The City relies on other communities adjacent to or upstream of Okanagan Lake to have best management practices in place for safe effluent discharge, monitoring and reporting. Other uses for treated effluent should be planned and implemented in non-food related activities such as parks and forests. Future wastewater challenges involve assuring effective treatment of emerging contaminants and pharmaceuticals. Finally, there was consensus on the need to replace urban septic systems for environmental protection.

The top issues to note for the Wastewater Sector were:

- High quality effluent discharge and quality standards must be a key goal for source control in Okanagan Lake.
- Okanagan communities must work with IHA to track emerging contaminants in the community.
- Public awareness needs to be reinforced about the importance of acceptable discharges to the sanitary system.

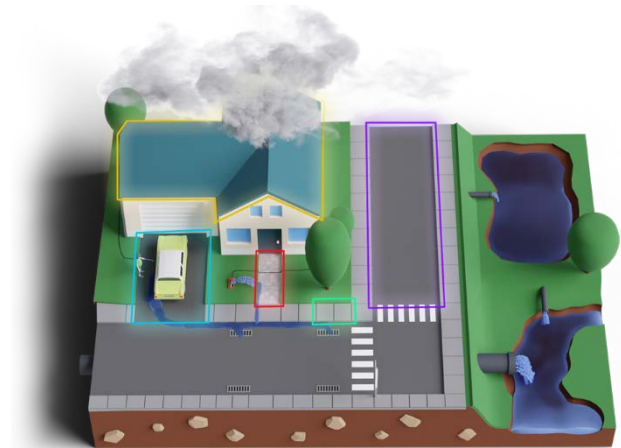


### c) Storm Water

Managing stormwater systems is usually a constant challenge for local governments, as the assets are often considered naturalized, and potentially exposed to maintenance restrictions due to conflicting legislation at the Provincial level. Stormwater quality is a challenge to measure. Urbanized storm systems face shocks during first flush and runoff events and can be impacted by illegal dumping around creeks. Design capacities are being impacted by climate change. Flood protection is also needed to enhance resilience, however changes in water license-based frameworks are needed. Measures and transparent reporting are needed to improve stormwater practices in the region and protect Okanagan Lake.

The top issues to note for the Stormwater Sector were:

- Local governments require a broader authority to manage stormwater and natural systems within their boundaries.
- Communities can then apply best management practices provided through a collaborative process between government agencies and stakeholder organizations.
- Measures to improve stormwater quality are needed.



### d) Source Water Protection

This discussion examined the City's role in coordinating organizations, raising awareness, and challenging assumptions related to source water protection of upper watersheds and Okanagan Lake. The City is a beneficiary of high-quality water in Okanagan Lake and must always practice and promote source water control to maintain its filtration exemption status. This includes wastewater, stormwater, flood protection, watershed protection and effective water use practices throughout the Okanagan. The groups focused on mechanisms to deploy the necessary resources, strengthening bylaws, and encouraging senior government action. The challenges include navigating through legislation, multiple agencies, limited funding, and limited resources. Collaboration with agencies like the Okanagan Basin Water Board in a broader application are seen as opportunities. The group emphasized water quality preservation, stakeholder collaboration, and the need for long-term funding and government support for success.

The top issues in this category were summarized as:

- Source Water Protection is a responsibility of all users, visitors and businesses that operate within the Okanagan Lake watershed.
- The City can play a lead role through coordination of local resources, improving public education, enforcing environmental policies & regulations, and information sharing.
- The City can also play a lead role in funding partnerships with senior government.
- Sector planning must apply to both urban and rural sectors, focusing on responsible water use and land management to improve or protect the water source.

## e) Environmental Flow Needs

The groups discussed various water management and environmental challenges, including fish species management, water quality, drought conditions, and climate change impacts. They emphasized the importance of collaboration, education, and infrastructure upgrades. Key concerns included invasive species, development practices, and water licenses overallocation. There is a need for more data, more analysis, improved forest management practices, and a better understanding of aquifer connections to creeks. Strategies for adaptation to multi-year droughts and enhancing water storage were emphasized, along with the importance of stewardship and empowerment.

The top issues to be addressed further were:

- Flexibility in licensing in the upper watersheds, particularly storage licenses, to allow for additional supply, flood protection and EFN purposes.
- Collect data to measure success and failure.
- Increase the general awareness of EFNs and their importance to the City and surrounding community.
- Identify operational changes and include watershed management and stewardship to protect all Kelowna watersheds.

## f) Natural Systems

This session involved discussions around the need for conservation and restoration of natural systems like wetlands and floodplains in the City. The benefits included wildlife habitat, improved water quality, and flood control, to name a few. Challenges include identifying and defining natural assets, understanding their functions, and managing the competing interests that impact their preservation. There is a lack of understanding, leading to poor management practices and funding shortfalls. The consequence of this is higher costs to replace their function or losing that function altogether. The development community's involvement is crucial, and senior government needs to provide a clearer regulatory framework to ensure long-term sustainability and protection of natural assets.

The top issues to be addressed further were:

- Natural assets must be inventoried completely at the City, including their sub-components.
- This helps establish a Level of Service and performance indicators as a responsibility for the community.
  - The City must assure that natural systems are protected in the development approval process. It must clearly be understood that replacing that benefit can be more expensive or impossible to achieve.
- The link between City Parks/operations and Natural Systems is strong. This is an awareness opportunity to educate the public and develop best management practices that incorporate natural systems.





## g) Partnerships

The group discussions acknowledged that collaboration and involvement from multiple entities are crucial in ensuring water security in the Okanagan. They highlight the importance of partnerships with the provincial ministries, federal agencies, First Nations, land trusts, cattle ranching associations, and academic institutions. Engaging with BC Parks, landowners, and water users under licenses of occupation was also emphasized. It was noted that there are challenges in prioritizing water security and obtaining support from council members and politicians. It suggests building strong relationships with Okanagan municipalities, water districts, and stakeholders, addressing funding gaps, and improving communication with water purveyors and agriculture. The groups emphasized the need for collaboration, advocacy, and liaison with relevant authorities to promote water security in Kelowna and the Okanagan.

The top topics in the Partnership discussions involved:

- Partnerships, including funding, are needed to address resiliency issues and climate change impacts to all water sectors in this plan.
- Other communities, governing bodies and indigenous communities must partner to protect Okanagan Lake.
- Partnerships in water security extend from data collection to public awareness to 'how we are doing' (KPI's) and commitment to continuous improvement.
- Responsibilities must be assigned and accepted in formal partnerships.



*2040 OCP Objective 14.3 - Preserve Okanagan Lake for its environmental, traditional, cultural, spiritual, and recreational values.*

## 5. Next Steps

The next steps in this Stage 2 process are to consider the peer review information provided in this report, then incorporate key elements into the draft Water Security Plan. Engagement with the public on the draft Plan is anticipated to start in the fall of 2023. One of the key goals of this engagement is to raise public awareness to the complexities and responsibilities of water security. Another goal is to gauge public support for the Water Security Plan prior to bringing back recommendations before Council.

Concurrently, staff will continue to look at opportunities for partnerships, to build relationships, align resources, assign responsibilities and work towards a sustainable funding program.

The peer review process identified some priority actions:

1. Develop a City-wide water supply resiliency strategy in partnership with Municipal Affairs.
2. Explore a partnership framework towards a Kelowna watershed security strategy with Provincial leadership. Key partners could include the OBWB, First Nations, local governments and the Province. Such an initiative could encompass five of the City's six water management sectors.
3. Partner with interested parties to develop long term key performance indicators for the health of Okanagan Lake.
4. Delegate responsibilities to City water management sector leads to address the high-risk areas identified for their sector. This includes updating and implementing best management practices.



## Appendix A – List of Attendees

Kellie Garcia	Okanagan Basin Water Board
Anna Warwick Sears	Okanagan Basin Water Board
Pamela Barnes	Syilx knowledge keeper
Wilfred Barnes Grouse	Syilx knowledge keeper
Kary Fell	Westbank First Nation
Elinor McGrath	Okanagan Nation Alliance
Travis Kendall	Regional District of Central Okanagan
Brendan Russell	Black Mountain Irrigation District
Bob Hrasko	Black Mountain Irrigation District
Collin Day	Black Mountain Irrigation District
Patti Meger	District of Lake Country
Kiel Wilkie	District of Lake Country
Greg Buchholz	District of Lake Country
Silvina Mema	Interior Health Authority
Judi Ekkert	Interior Health Authority
John Ivor Norlin	Interior Health Authority
Brian Bedford	Ministry of Municipal Affairs
Rosalind Werner	Okanagan Climate Hub
Ed Hoppe	City of Kelowna
Kevin McCluskey	City of Kelowna
Kevin Van Vliet	City of Kelowna – Project Lead
Rod MacLean	City of Kelowna – Project Lead
Mike Murrell	City of Kelowna
Andy Weremy	City of Kelowna
Jennifer Miles	City of Kelowna
Maddie Poole	City of Kelowna - Student
Tracy Guidi	City of Kelowna - Facilitator
Robinson Puche	City of Kelowna – Facilitator
Luke Dempsey	City of Kelowna – Facilitator
Jim Hager	City of Kelowna - Facilitator
Desni Bachman	City of Kelowna – Facilitator
Ron Westlake	Lead Consultant
Glen Lucas	BC Fruit Growers

# Appendix B – Workshop Detail Summary



# Water Supply

June 14<sup>th</sup>/2023 Workshop Feedback Summary

Theme	Group 1	Group 2	Group 3	Group 4	Group 5
<p>Summary</p>	<p>The discussions about water supply, conservation, and management focused on several key areas. Firstly, the importance of alternate water sources and storage; Secondly, promoting water re-use and acceptance, including private water recycling methods such as rain barrels; Thirdly, the discussions focus on strategies such as separating domestic and irrigation water use, interconnection between water providers, and ensuring fair treatment of different industries. Lastly, the report stresses the significance of protecting aquifers, prioritizing agriculture, and promoting efficiency in irrigation. Collaboration, public education, and incentivizing water conservation are also needed. Notably absent from these discussions was the acknowledgement of First Nations legal requirements to water, and accountability to the public.</p> <p>The top issues to note for the Water Supply Sector were:</p> <ol style="list-style-type: none"> <li>1. Water supply resiliency requires interconnection between providers, storage in headwaters, and long-term planning for needs and funding discussions.</li> <li>2. Promote water smart education, address changing targets in the community, then plan for long-term water needs in the community.</li> <li>3. Water management and supply in the local watershed requires collaboration. The City can play a role or lead with its understanding of urban versus agricultural needs.</li> </ol>				
<p>Table discussions</p>	<p>This group reviewed the various aspects of water supply, conservation, and water management. Some elements to consider included the importance of alternate water sources and storage, promoting water re-use and acceptance, on-site water recycling opportunities (rain barrels), separating domestic and irrigation water use, and interconnection between water providers. The group consistently noted the need for fair treatment of different industries and collaboration with the agriculture sector. Protecting aquifers, prioritizing agriculture in water plans, and promoting efficiency in irrigation are emphasized. The conversation touched on watershed protection, proactive forestry management, public education, and incentivizing water conservation.</p>	<p>The group highlighted challenges and recommendations related to water supply and management. They emphasized the need for clarity on water supply boundaries, coordination among multiple purveyors, and prioritization of water use. Maintaining supply quantity and quality has co-benefits for water security sectors. Concerns included invasive mussels, uncertainty in water licensing frameworks, and the lack of tracking and real-time decision-making tools. They suggested water conservation initiatives for agriculture and stressed the importance of interconnects and governance. Planning efforts must consider climate change and unforeseen events while evaluating historic data for reliability and limitations.</p>	<p>This group highlighted key issues and priorities related to water supply management. Challenges include the impending growth and climate change impacts, uncertainties in licensing, and resiliency issues among purveyors. Shifting requirements for EFN's and fragmented watershed planning further complicate the situation. The report emphasizes the need to adapt to changing targets and enhance resiliency through storage and interconnections. Supporting agriculture, establishing government partnerships, and ensuring an enforceable watershed plan are also crucial. Improving upper watershed areas, increasing water sources, and better transmission between sources are recommended. Maybe a coordinating body/group can improve collaboration. Public awareness and fair infrastructure cost apportionment are additional considerations.</p>	<p>The region faces challenges related to water supply and conservation. Climate change impacts the growing season, increasing water demand but reducing water supply. Snowpack influences water demand for DLC and BMID. Provincial regulations limit the autonomy of municipalities, affecting water conservation efforts. In residential areas, the CoK must pump water, while DLC and BMID rely mostly on gravity. Some residents disregard water restrictions, highlighting the importance of education. Agricultural contingency plans prioritize crops based on long-term impacts, while BMID has universal water restrictions. Collaboration among water purveyors and infrastructure development, including interconnections, are vital for a resilient and comprehensive water supply system.</p>	<p>This group discussed considerations and challenges in water supply and management. They noted the importance of a secondary water supply for contingency planning and interconnections. Potential issues included flooding at wastewater treatment facilities and the need for alternative water sources. They explored concepts of Inter-reliance, housing densification, fire flows, and strategic use of different sources. The significance of metered water consumption, standardization, and the need for conservation enforcement are discussed. Resiliency, managing wildfires, long-term planning, and addressing growth stress are emphasized. Public education, funding structures, and designing an ideal, interconnected, and resilient system are vital. Finally, consumer awareness is deemed crucial for efficient water management.</p>
<p>Top issues at each table</p>	<ol style="list-style-type: none"> <li>1. Water supply resiliency must address interconnection abilities between purveyors today and in the future.</li> <li>2. The City can promote Water Smart Education in schools and community. The public need to understand how water is valued.</li> <li>3. Water security must include the agricultural community. Trust starts with building the plan with Ag users.</li> </ol>	<ol style="list-style-type: none"> <li>1. It was hard to separate the topic of supply from partnerships – internal or external.</li> <li>2. The legacy supply infrastructure in the City will take years to renew and replace. Any plans must consider multiple water sources and the infrastructure needed for resiliency to all customers.</li> <li>3. Should there be a formal plan to consolidate the Improvement Districts. Does the Province have a plan?</li> <li>4. Risk tolerance for urban water supply compared to Agricultural production. This should be addressed.</li> </ol>	<ol style="list-style-type: none"> <li>1. Strategies are needed to address the fast-changing targets in our community. New expectations are coming into play that may lead to changes to consumption patterns, allotments, emergency relief, Environmental Flow relief and new climate change fluctuations.</li> <li>2. Resiliency must consider storage in the headwaters and mutually beneficial interconnectivity.</li> </ol>	<ol style="list-style-type: none"> <li>1. The City cannot lead the charge in the Okanagan, but could lead a local watershed strategy. There should be a collective and comprehensive regional strategy with all water suppliers, licensees and purveyors.</li> <li>2. There are opportunities for interconnections between purveyors in the City.</li> </ol>	<ol style="list-style-type: none"> <li>1. Water supply planning and decisions in the region must identify needs in the 20 year, 40 year and longer term horizon.</li> <li>2. Discussion is needed to understand the extend of interconnection, the capacity needed and how it will all be funded. Are we expecting a fully interconnected system or flows for emergency needs only.</li> </ol>

## Wastewater

June 14<sup>th</sup>/2023 Workshop Feedback Summary

Theme	Group 1	Group 2
Summary	<p>The groups highlighted the importance of aligning wastewater effluent monitoring standards with local issues and Okanagan Lake's health, while keeping an eye on emerging pollutants. The wastewater treatment infrastructure must be regularly maintained, and contain resiliency and safeguards. The City relies on other communities adjacent to or upstream of Okanagan Lake to have best management practices in place for safe effluent discharge, monitoring and reporting. Other uses for treated effluent should be planned and implemented in non-food related activities such as parks and forests. Future wastewater challenges involve assuring effective treatment of emerging contaminants and pharmaceuticals. Finally, there was consensus on the need to replace urban septic systems for environmental protection.</p> <p>The top issues to note for the Wastewater Sector were:</p> <ol style="list-style-type: none"> <li>1. High quality effluent discharge and quality standards must be a key goal for source control in Okanagan Lake.</li> <li>2. Okanagan communities must work with IHA to track emerging contaminants in the community.</li> <li>3. Public awareness needs to be reinforced about the importance of acceptable discharges to the sanitary system.</li> </ol>	
Summary of discussions by Table	<p>This group highlighted the need to align wastewater effluent monitoring standards with local issues, not just Provincial regulation. They mentioned linking standards to the lake's health and keeping up with emerging pollutants. Specialized local facility impacts were addressed, as well as quantifying the biggest threats to the lake. Long-term financial sustainability of infrastructure is required, along with better tracking and alignment of development and infrastructure planning. In the end, standardized effluent standards in communities on Okanagan Lake are needed, with a focus on monitoring, reporting, and quality objectives.</p>	<p>This discussion focused treated wastewater management practices. Treated wastewater effluent use is historically not permitted in food production. There are opportunities for use in several related areas such as parks, naturalized areas and forested areas. This could include re-use options such as "purple" pipe for irrigation. Future wastewater treatment may need to include emerging contaminants, and whether digestion is needed to produce Class A biosolids for direct land application. The group also discussed the need to replace urbanized septic systems to protect the environment. Septic systems are managed through the province, although there is no mandate for removal.</p>
Top 3 Issues identified at each table	<ol style="list-style-type: none"> <li>1. Wastewater effluent monitoring standards should align with local interests and practices, and not just driven by regulations.</li> <li>2. There must be consistent effluent discharge and quality standards throughout the Okanagan.</li> <li>3. The City should work with IHA to possibly track emerging contaminant categories such as pharmaceuticals, COVID, plastics, or other modern-day elements of concern.</li> </ol>	<ol style="list-style-type: none"> <li>1. The public needs to be advised regularly on the importance of acceptable discharges to the sanitary system.</li> <li>2. The City must provide landfill leachate pre-treatment prior to disposal to the sanitary system.</li> <li>3. Consider effluent as backup water source for survival for natural or agricultural systems during a drought.</li> </ol>



## Stormwater

June 14<sup>th</sup>/2023 Workshop Feedback Summary

Theme	Group 1	Group 2
Summary	<p>Managing stormwater systems is a constant challenge for local governments, as the assets are often considered naturalized, and potentially exposed to maintenance restrictions due to conflicting legislation at the Provincial level. Stormwater quality is a challenge to measure. Urbanized storm systems face shocks during first flush and runoff events, and often include the illegal dumping around creeks. Design capacities are being impacted by climate change. Flood protection is also needed to enhance resilience, however changes in water license-based frameworks are needed. Measures and measurement are needed to improve stormwater practices in the region, and protect Okanagan Lake.</p> <p>The top issues to note for the Stormwater Sector were:</p> <ol style="list-style-type: none"> <li>1. Local governments require a broader authority to manage stormwater and natural systems within its boundaries.</li> <li>2. Communities can then apply best management practices provided through a collaborative process between government agencies and stakeholder organizations.</li> <li>3. Measures to improve stormwater quality are needed.</li> </ol>	
Summary of discussions by Table	<p>This discussion highlighted the need for improved guidance on stormwater infrastructure maintenance, including consideration of natural assets. Local governments are normally responsible for stormwater management, and need some confidence that maintaining instream works are part of their routing. They discussed exploring water license-based frameworks for stormwater facility management. They noted conflicting mandates between senior government ministries, particularly between DFO and Provincial Acts, whose approach to fish passage &amp; protection, flood protection, stormwater quality and maintenance often conflict, causing confusing and avoidance. The group touched on source control monitoring and treatment of private discharges.</p>	<p>This group discussed urban stormwater management issues, such as first flush shocks, road runoff pollution, illegal dumping, and increasing yard waste dumping. Their discussion looked at solutions that could include on-site stormwater retention, decentralized systems, stormwater re-use and exploring diversions or storm ponds. Addressing nutrient concentrations and identifying improved practices should improve water quality and quantity.</p>
Top 3 Issues identified at each table	<ol style="list-style-type: none"> <li>1. Local governments require the authority to manage stormwater and natural systems within its boundaries.</li> <li>2. Senior government agencies can monitor local stormwater management practices, and encourage good practice at all levels.</li> </ol>	<ol style="list-style-type: none"> <li>1. Improving stormwater quality starts by managing pollutants and quantity at the source, or on-site upstream of the service point.</li> <li>2. Explore practices that retain more stormwater on site (both Residential and Commercial)</li> <li>3. Research is needed to find where "excellent" stormwater practices are happening around the world that would be applicable to the Okanagan?</li> </ol>

## Source Water Protection

June 14<sup>th</sup>/2023 Workshop Feedback Summary

Theme	Group 1	Group 2	Group 3
Summary	<p>This discussion examined the City's role in coordinating organizations, raising awareness, and challenging assumptions related to source water protection of upper watersheds and Okanagan Lake. The City is a beneficiary of high quality water in Okanagan, and must always practice and promote source water control to maintain its filtration exemption status. This includes wastewater, stormwater, flood protection, watershed protection and effective water use practices throughout the Okanagan. The groups focused on mechanisms to deploy the necessary resources, strengthening bylaws, and encouraging senior government action. The challenges include navigating through legislation, multiple agencies, limited funding and limited resources. Collaboration with agencies like the Okanagan Basin Water Board in a broader application are seen as opportunities. The group emphasized water quality preservation, stakeholder collaboration, and the need for long-term funding and government support for success.</p> <p>The top issues in this category were summarized as:</p> <ol style="list-style-type: none"> <li>1. Source Water Protection is a responsibility to all users, visitors and businesses that operate within the Okanagan Lake watershed.</li> <li>2. The City can play a lead role through coordination of local resources, improving public education, enforcing environmental policies &amp; regulations, and information sharing.</li> <li>3. The City can also play a lead role in funding partnerships with senior government.</li> <li>4. Sector planning must apply to both urban and agricultural sectors, focusing on responsible water use and land management to improve or protect the water source.</li> </ol>		
Table Discussion	<p>This group noted that the City's role in SWP could encompass a number of vital aspects including leading and coordinating multiple organizations, building public awareness, and challenging assumptions made by senior government. Controlling and safeguarding water resources is crucial, considering industries, climate change, and agriculture's impact. Strengthening City bylaws, aligning departments, and encouraging provincial involvement are key steps for progress. Challenges include navigating multiple agencies and resource limitations. Collaborating with agencies like the Okanagan Basin Water Board and exploring basin-wide plans present opportunities for resilience and interconnection. Overall, SWP must apply to all users around Okanagan Lake, and must be considered as broader than the City of Kelowna.</p>	<p>This group included members from the City, other municipalities and improvement districts and discussed the need for water quality preservation, with the Freshet period being a major concern. The City needs to formalize management strategies to include collaboration with stakeholders, leveraging resources and sharing information. A long-term funding mechanism is needed for long term sustainable water quality. Priority must be given to working with First Nations, public education and responsible water usage. Other strategies may be to protect and improve water sources, including those to agricultural areas.</p>	<p>This group discussed the City's challenges involving keeping Okanagan Lake clean and safe as a drinking water source. The discussion focused building strong partnerships and breaking jurisdiction barriers. Participating in policy that regulates recreation, ranching and forestry activities must be addressed. The City can offer dedicated personnel, coordinators and resources for watershed management and possible management of the headwaters. Discussions included data collection, environmental policy enforcement, provincial involvement, recreation, industrial operations, and fostering innovation. Adequate funding, resources and senior government support are all needed to succeed.</p>
Top 3 Issues identified at each table	<ol style="list-style-type: none"> <li>1. Source Water Protection must apply to all users around Okanagan Lake, and must be considered as broader than the City of Kelowna.</li> <li>2. Source Water Protection of Okanagan Lake is a priority for the City, as the utility water supply relies on clean water from the Lake.</li> <li>3. The threats in the SWOT need more emphasis in these documents.</li> <li>4. The City can assist with coordination of local resources, manpower, public education and awareness, and be a partner in obtaining senior government funding.</li> </ol>	<ol style="list-style-type: none"> <li>1. Reducing water quality during a freshet/flood event by improving practices in the upper watersheds:               <ol style="list-style-type: none"> <li>a. Monitor, and if necessary, police recreation practices.</li> <li>b. Participate directly to promote best forestry practices.</li> <li>c. Focus on Action, not just Talk.</li> <li>d. Formalize watershed best management strategies at the City, including engagement with stakeholders.</li> <li>e. Work, talk, collaborate.</li> </ol> </li> <li>2. SWP needs to consider both water quality and quantity, and must apply to both urban and agricultural sectors.               <ol style="list-style-type: none"> <li>a. Focus on responsible water use.</li> <li>b. Poor source quality can lead to larger budget requirements (filtration) in the future.</li> <li>c. Threats can include accidental spills, or water borne diseases (like cryptosporidium outbreaks).</li> </ol> </li> </ol>	<ol style="list-style-type: none"> <li>1. City can play a lead role in SWP.               <ul style="list-style-type: none"> <li>o Public education is critical.</li> <li>o Enforcement of environmental policies &amp; regulations.</li> </ul> </li> <li>2. Educate the public on the importance of the tie between SWP and filtration deferral, and maintaining high water quality in Okanagan Lake?</li> <li>3. Data collection and sharing needs must include all stakeholders in the watershed.</li> </ol>



## Environmental Flow Needs

June 14<sup>th</sup>/2023 Workshop Feedback Summary

Theme	Table 1	Table 2	Table 3
Summary	<p>The groups discussed various water management and environmental challenges, including fish species management, water quality, drought conditions, and climate change impacts. They emphasized the importance of collaboration, education, and infrastructure upgrades. Key concerns included invasive species, development practices, and water licenses overallocation. There is a need for more data, more analysis, improved forest management practices, and a better understanding of aquifer connections to creeks. Strategies for adaptation to multi-year droughts and enhancing water storage were emphasized, along with the importance of stewardship and empowerment.</p> <p>The issues that need to be addressed are:</p> <ol style="list-style-type: none"> <li>1. Flexibility in licensing in the upper watersheds, particularly storage licenses, to allow for additional supply, flood protection and EFN purposes.</li> <li>2. Collect data to measure success and failure.</li> <li>3. Increase the general awareness of EFNs and their importance to the City and surrounding community.</li> <li>4. Identify operational changes to include watershed management and stewardship to protect all Kelowna watersheds.</li> </ol>		
Table Summary	<p>This group discussed topics around maintenance, water temperatures and public education by looking through the "Fish lens". Water quality was also discussed, noting the importance of critical flows, effective sediment control, poor development practice and enhanced data/measurement. The City could work with other agencies and municipalities to further emphasize environmental flow needs. Education about EFN's is key, and must be part of designs that include flood protection, riparian improvements, fish passage, creek improvements, and stewardship/empowerment. This group also noted operational challenges under drought conditions, groundwater influences, and the difficulties around species monitoring.</p>	<p>This group discussed multiple water management and environmental challenges related to new EFN policies, noting threats like invasive mussels, eutrophic conditions and catastrophic events. They discussed the possibilities for the need to adapt to multi-year droughts, impacts of more intense rainfall patterns, and possible licensing changes that include EFN's, agricultural supply, domestic use, flood protection and water storage improvements. They noted the importance of collaboration, updating creek water use plans, developing a better understanding of base flows, and exploring funding needs. Other parameters include forest management practices, wildfire protection, and data collection.</p>	<p>This group started with developing a general understanding of fish species, development impacts, riparian needs, general watershed management and strategies, groundwater protection, and impacts of water overallocation. They also discussed climate change impacts related to infrastructure, improved forestry management, and crown lands management. They touched on topics including potable vs. non-potable water sources, increased fire protection in the watershed and the impacts of pumping from aquifers on creek water temperature.</p>
Top 3 Issues per table	<ul style="list-style-type: none"> <li>• Agriculture needs accounts for much of the licensed water need, but does not necessarily account for EFN. The agricultural community may need to adjust. How? Farm planning? Adjusted cropping practices?</li> <li>• There is a challenge to assure awareness and agreement among groups with existing allotments (ie. Agricultural Community)?</li> <li>• More research needed in understanding groundwater influences in creeks. There is uncertainty over these impacts to improve temperature conditions, ephemeral conditions or abilities to supplement creek flows.</li> </ul>	<ul style="list-style-type: none"> <li>• Improved data and information about EFN's and flow.</li> <li>• Support EFNs with additional water storage <ul style="list-style-type: none"> <li>○ Seek Federal/Provincial support for new/enhanced dams.</li> <li>○ Provincial support for additional purposes such as supply, EFN/conservation and flood mitigation.</li> </ul> </li> <li>• A better understanding is needed of cumulative impacts from existing forest management operations. Who oversees this, as municipalities and local purveyors have a stake?</li> </ul>	<ul style="list-style-type: none"> <li>• Is there a solution through licensing to determine priority for urban, agricultural or environmental need?</li> <li>• Today, EFN's are not guaranteed. there is some capability to enhance flows to higher levels, however this requires storage. it is difficult to guarantee minimum flows. Are there opportunities for additional infrastructure, changed watershed practices or added resiliency?</li> <li>• There is a need to measure success and failure. Measures and key performance indicators are needed here for municipalities.</li> </ul>

## Natural Systems

June 14<sup>th</sup>/2023 Workshop Feedback Summary

Theme	Table 1	Table 2
Summary	<p>This session involved discussions around the need for conservation and restoration of natural systems like wetlands and floodplains in the City. The benefits included wildlife habitat, improved water quality, and flood control, to name a few. Challenges include identifying and defining natural assets, understanding their functions, and managing the competing interests that impact their preservation. There is a lack of understanding, leading to poor management practices and funding shortfalls. The consequence of this is higher costs to replace their function, or losing that function allo-together. The development community's involvement is crucial, and senior government needs to provide a clearer regulatory framework to ensure long-term sustainability and protection of natural assets.</p> <p>The top issues to be addressed further were:</p> <ol style="list-style-type: none"> <li>1. Natural assets must be inventoried completely at the City, including their sub-components?             <ol style="list-style-type: none"> <li>a. This helps establish a LOS and KPI as a responsibility for the community.</li> </ol> </li> <li>2. The City must assure that natural systems are protected in the development process. It must clearly be understood that replacing that benefit can be more expensive or impossible to achieve.</li> <li>3. The link between City Parks/operations and Natural Systems is strong. This is an awareness opportunity to educate the public and develop best management practices that incorporate natural systems.</li> </ol>	
Summary of discussions by Table	<p>This group discussed the need for conservation and restoration of natural systems such as wetlands and floodplains. They noted the important benefits including wildlife habitat, improved water quality and flood attenuation. Challenges persist in distinguishing between natural and disturbed areas, and in implementing protection and maintenance practices given the regulatory restrictions. A process is needed properly identify natural assets, and understanding their function and longevity for future sustainability. Kelowna can undertake actions to conserve water, educate residents and collaborate with partners to expand and protect natural systems. The City is challenged with managing competing interests while preserving these natural areas into the future, but this must include an understanding of the impacts such as lost water supply, natural water filtration and the costs to replace these natural system functions.</p>	<p>This group discussed how Kelowna faces challenges in designing elements that assure natural systems are not impacted. These challenges come from a lack of understanding of natural system benefits, and the shortfall of protections in the processes and reviews, the lack of standards/bylaws, and very limited operation and maintenance practices. It was emphasized that the development community is an influential stakeholder in natural asset protection. Cumulative impacts on natural systems become significant, and the City should pay more attention during the development process. The example discussed was Jack Smith Lake, which did not include the water license to supplement the hydrology. Some possibilities include identifying utility or natural systems as park assets, and incorporating them as much as possible in new park designs. A clear regulatory framework around natural and urbanized natural assets is needed. Funding mechanisms to protect natural assets are not available.</p>
Top 3 Issues identified at each table	<ul style="list-style-type: none"> <li>- What are the natural assets in the City and their sub-components? What are we protecting? → This helps establish a LOS and KPI as a responsibility for the community.</li> <li>- Establish a priority of importance to natural assets, including an understanding of their natural (or constructed) supporting elements.</li> <li>- City must assure that natural systems are protected in the development process. It is assumed that all natural assets provide benefit to other natural systems, such as water quality, soil quality, natural plantings or wildlife. Replacing that benefit can be more expensive or impossible to achieve.</li> </ul>	<ul style="list-style-type: none"> <li>- How can the City maintain or expand its "inventory" of natural systems?</li> <li>- Urban area plans must include a broader understanding of how the natural assets exist, function and perform in the long term with each proposed development.</li> <li>- The link between Parks and Natural Systems is strong. This is an awareness opportunity to educate the public and develop best management practices that incorporate natural systems.</li> </ul>



## Partnerships

June 14<sup>th</sup>/2023 Workshop Feedback Summary

Theme	Group 1	Group 2	Group 3	Group 4
Summary	<p>Collaboration and participation from multiple entities will be crucial in ensuring water security in the Okanagan. The discussions highlighted the importance of partnerships with Provincial Ministries, BC Parks, landowners, federal agencies, First Nations, land trusts, cattle ranching associations, and academic institutions. Engaging with other water users under licenses of occupation was also emphasized. These groups noted the challenges in prioritizing water security and obtaining support from council members and politicians. These strong relationships include addressing funding gaps, and improving communication with water purveyors, and assuring that agriculture is always considered. Emphasis included the need for collaboration, advocacy, and liaison with relevant authorities to promote water security in Kelowna and the Okanagan. The top topics in the Partnership discussions involved:</p> <ol style="list-style-type: none"> <li>1. Partnerships, including funding, are needed to address resiliency issues and climate change impacts to all water sectors in this plan.</li> <li>2. Other communities, governing bodies and indigenous communities must partner to protect Okanagan Lake.</li> <li>3. Partnerships in water security extend from data collection to public awareness (KPI's) to determine how we are doing.</li> <li>4. Responsibilities must be assigned and accepted in any formal partnership.</li> </ol>			
Summary of discussions by Table	<p>Collaboration and involvement of various entities are key to addressing water security. Partnerships with the Ministry of Environment, federal agencies, and First Nations can support Environmental Flow Needs (EFN) and restoration initiatives. Engaging with land trusts, cattle ranching associations, and academic institutions strengthens water stewardship efforts. Coordinating with BC Parks, landowners, and water users under licenses of occupation is important. Public involvement, water reuse initiatives, and shared databases for research and projects within the watershed enhance comprehensive water management.</p>	<p>The City of Kelowna faces challenges in prioritizing water security and obtaining buy-in from council members and politicians. Internal collaboration and understanding the legal responsibilities of financial decisions are important. Partnerships with First Nations, community education, and empowerment are crucial. Building strong relationships with Okanagan municipalities, water districts, and stakeholders is emphasized. Addressing funding gaps and securing provincial support for water districts are highlighted. Collaboration with water purveyors and agriculture, along with communication improvement, is crucial for redundancy and water reduction efforts.</p>	<p>This group discussed potential areas of collaboration between other organizations and Kelowna to enhance water security. The suggested approaches include sharing knowledge and best practices with operators, developing standards and training programs, partnering with the province on watershed security plans, conducting research with the OBWB, raising public awareness, engaging with schools and First Nations, assessing long-term water supply needs, facilitating interconnection discussions, identifying funding strategies, and fostering joint-management initiatives. The group emphasized the importance of collaboration, advocacy, and liaison with relevant authorities to promote water security in Kelowna and the Okanagan.</p>	<p>This group discussed critical issues in water management. They noted concerns of inadequate infrastructure, the lack of partnerships between relevant authorities, and challenges related to water licensing and maintenance. The group emphasized a need to identify and tackle the most pressing problems, secure funding for shared projects, and establish a watershed-wide authority. They also called for clarity in responsibilities, active involvement of policy makers, and funding support for water security initiatives.</p>
Top 3 Issues identified at each table	<ul style="list-style-type: none"> <li>→ The Province should consider more emphasis on Licenses of Occupation for within the watershed.</li> <li>→ Consideration must be given towards a compliance and enforcement-based model in-lieu of direct government intervention.</li> <li>→ Information must be shared, including databases and time series data.</li> </ul>	<ul style="list-style-type: none"> <li>→ Use the Mill Creek Project elements as examples of developing technical working parameters and standards with ONA.</li> <li>→ Replace the word stakeholders with a more respectable word. <ul style="list-style-type: none"> <li>▪ Partners?</li> </ul> </li> <li>→ More emphasis is needed for community education and empowerment.</li> </ul>	<ul style="list-style-type: none"> <li>→ Work needs to proceed on interconnection opportunities between the Improvement Districts and the City.</li> <li>→ A goal must be a partnership with Province on Water Security.</li> <li>→ Build public and agency awareness to water security, and determine common interests.</li> </ul>	<ul style="list-style-type: none"> <li>→ Develop a leadership framework where partners work together and collaborate on grant opportunities.</li> <li>→ Assure that shovel-ready projects are available to leverage grant opportunities.</li> <li>→ Work with the province to access upcoming Watershed Security Funds to help with partnerships and coordination.</li> <li>→ Assure that climate resiliency and indigenous partnerships are incorporated. .</li> </ul>



# APPENDIX C

## Engagement Summary



City of Kelowna

# Water Security and Responsibility Plan

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## Engagement Summary

Prepared by Urban Systems Ltd. on behalf of the City of Kelowna

September 2024





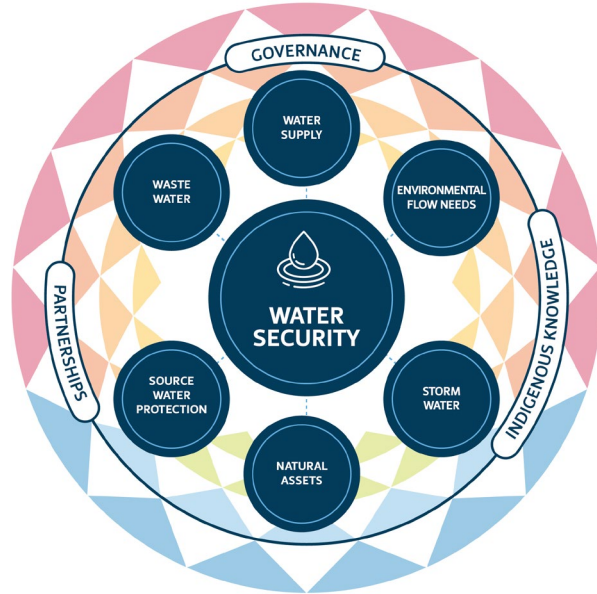
## INTRODUCTION

The City of Kelowna is developing its first **Water Security and Responsibility Plan**, which will be a comprehensive strategy that lays out a path forward to ensure that Kelowna takes a holistic approach to using, protecting and sharing water.

The Plan is based on two concepts:

- The shared **responsibility** of the City, residents, visitors, neighbouring communities, and partners have in protecting water in the Central Okanagan for now and future generations.
- The need to ensure long-term **security** of water amidst a changing climate and growing population.

In June 2024, members of the public and key partners in water security and responsibility were presented with the draft Water Security and Responsibility Plan and asked to provide feedback on key components of the plan, including the **vision statement, guiding principles, and sectors of water responsibility**.



### ENGAGEMENT OVERVIEW



Survey open on the City of Kelowna's Get Involved platform from **June 6 to 28, 2024**.



**1,260** page visitors



**137** survey respondents



**14** information session attendees



**76%** of survey respondents supported the draft Plan's vision



**92%** of survey respondents agreed that water should be a key consideration in the City's decision-making.



## KEY FINDINGS

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### Overall takeaways

- Participants in this public engagement process are supportive of a water security and responsibility plan and having the City place a greater focus on protecting water in decision-making at the Council level,
- Key priorities include protecting Kelowna's **water supply**, ensuring Kelowna continues to have enough **clean, healthy water**, and the need for individuals to take **responsibility for water conservation**. This aligns with the reasons participants were interested in taking the survey, which were primarily health, recreational or environmental concerns.
- Participants in the process have some concerns: this includes around residential water conversation, whether our present-day infrastructure can meet the City' rate of growth and development and whether there is enough redundancy and resiliency in our systems to provide water-based services in the event of an emergency.

### Community understanding of water security and responsibility

Based on input from the survey respondents, the following definitions have been drafted for water security and water responsibility. These definitions will be integrated into the final Water Security and Responsibility Plan and used to communicate why the City of Kelowna is focusing on these two elements in future water-related decisions.

**Water Security:** Kelowna's water sources are effectively protected so that the residents and ecosystems in Kelowna have access to clean, safe, healthy and adequate water now and in the future.

**Water Responsibility:** All residents, businesses and industries are conscientious about how water is used in Kelowna to ensure there is enough water for everyone. This includes not being wasteful, using water in environmentally safe ways, preventing contamination and planning for the future.

### Vision Statement

- The draft vision statement is supported by more than **three-quarters (76%)** of survey respondents. This suggests that it was easy to understand and that it resonates with the community.
- Potential areas of improvement include an emphasis on **water conservation**, protection of water in decisions related to **growth and development**, and use clear, simple and **plain language**.

### Guiding Principles

- Survey respondents indicate that they resonate most with water supply, providing responsible wastewater treatment services and protecting our natural source water supply.
- The top three most important guiding principles for respondents reflect a focus on protecting Okanagan Lake and ensuring a reliable and high-quality water supply. Understanding the

community's values related to water security and responsibility can help the City prioritize investments and initiatives relate to these areas:

1. All residents and water users in the City have a **safe, affordable, resilient and sustainable supply** of high-quality drinking water and a reliable supply of water for agriculture
2. Protect Okanagan Lake, our human health, and our environment through **efficient collection and effective treatment of wastewater**.
3. Okanagan Lake and upland watersheds remain a source of **high-quality water**.

## Water Sectors

- **Water supply (46%), water protection (29%) and natural systems (15%)** are the most important sectors for respondents. This suggests that the City's continued focus on these areas are important for the community.

## HOW WE ENGAGED

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The draft Water Security and Responsibility Plan and an overview of the Plan was posted on the City of Kelowna's Get Involved platform in June 2024. Community members were invited to provide feedback on the Plan in the following ways:

- An **online survey**: open from June 6 to June 28, 2024
- A **question submission form**: open from June 6 to June 28, 2024
- An in-person **regional partner session** held on June 20, 2024
- An in-person **public information session** held on June 20, 2024

Feedback on the draft Plan and key elements of the plan was primarily received through the online survey. The findings from the survey, public information session and question submission form are described in detail below.

## Limitations

Owing to the opt-in nature of the feedback opportunities provided, feedback received may not be balanced or broadly representative. Additionally, promotional channels may be limited in their demographic reach with audiences comprised largely of homeowners, people who are online and older residents.

## WHAT WE HEARD – SURVEY RESULTS

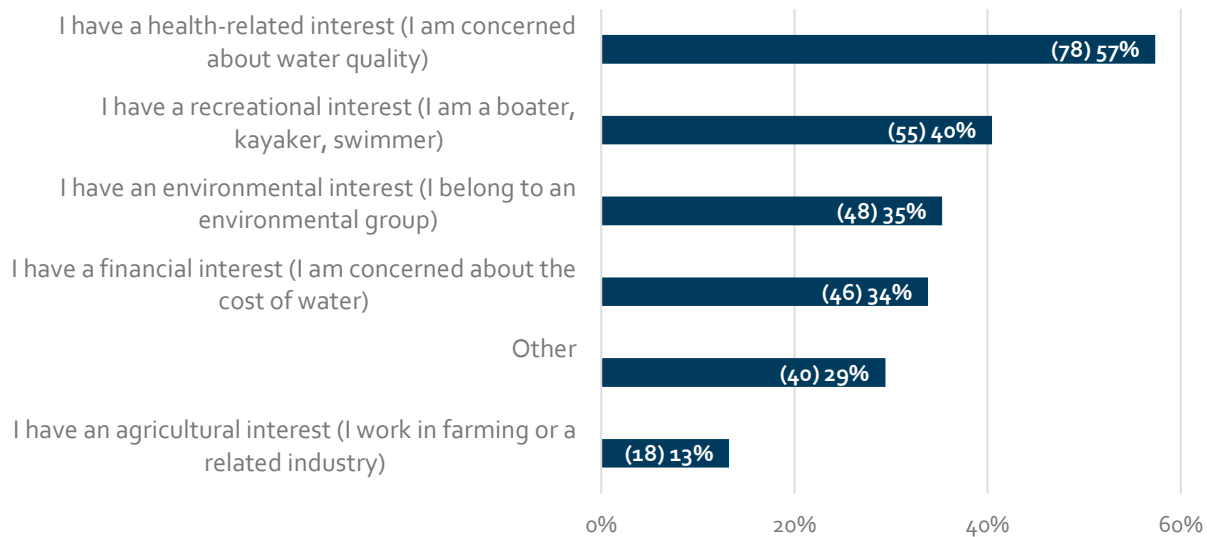
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### About the respondents

Residents were asked to describe their interest in the subject presented. The highest percentage of respondents (57%) are interested in the project because of water quality and health-related reasons, followed by respondents with a recreational interest (40%) and those with an environmental interest (36%). Over one-third of respondents indicated they are concerned about the cost of water (34%), while 29% of respondents selected "Other" and provided their own answer. Approximately 13% of survey respondents said they work in farming or another agricultural-related industry.



**Which of the following describes you and your interest in this subject? Select all that apply. (n = 136)**



“Other” comments indicated additional reasons for being interested in the project such as:

- Job-related interests (strata manager, water utility employee, developer)
- Engineering interests
- Civic interests (residents, concerns about water resources)
- Cultural interests (Indigenous lens)
- Personal interests (gardener, other environmental concerns)

**Differing views and feedback from interest groups**

Throughout this report, areas are noted where the responses from different interest groups differed largely from the average responses from all participants. These insights were gathered through cross-tabulation of available data.

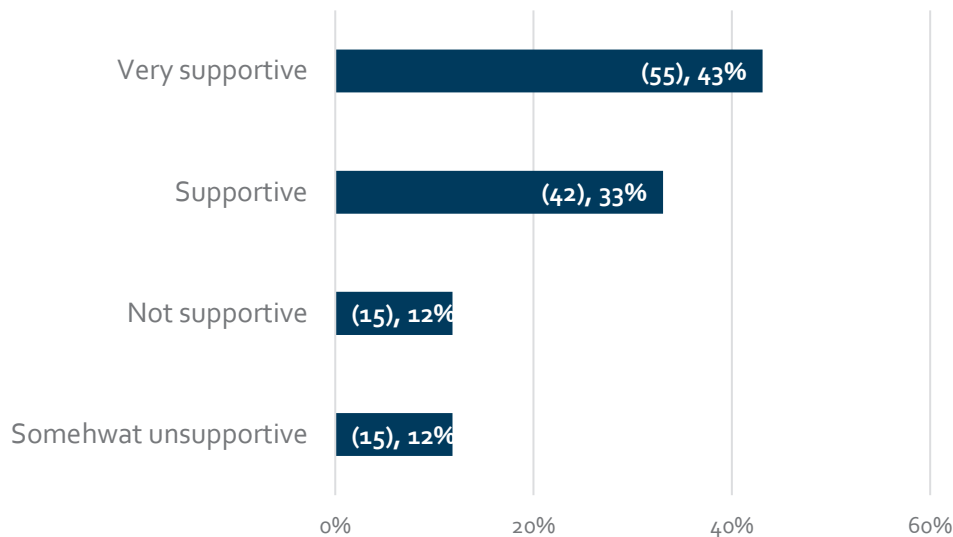
## Vision Statement

Participants were asked to share feedback on the draft vision statement.

Water management in Kelowna is approached from a holistic, “one water,” lens that guides decision-making and long-term planning, reflecting the importance of water for our communities and for our environment.

Over three-quarters of survey respondents (76%) indicated they were **supportive or very supportive** of the vision, while the remaining respondents indicated they were somewhat unsupportive (12%) or unsupportive (12%).

### How supportive are you of this vision? (n = 127)



### How might the vision be improved? (n = 69)

This open-ended question asked respondents to suggest improvements to the draft vision. The following themes emerged:

- Importance of water conservation:** Several respondents suggested that the draft vision place a greater focus on water conservation and its effect on water management. They mentioned that the vision should have more urgent and action-oriented language around reducing water usage across residential, recreation and other non-essential uses. *(17 mentions)*
- Growth and development:** Survey respondents raised concerns about the vision in relation to Kelowna’s recent growth and development. These respondents urged the City to adopt a vision that prioritizes water protection amidst growing residential demand. For example, respondents suggested placing limitations to new construction for things like pools, water features, cosmetic lawns, and non-native plant species (e.g. cedar hedges). *(10 mentions)*
- Make the vision clearer:** There were several suggestions to clarify the draft vision. Particularly, respondents mentioned that “holistic” and “one water” were concepts that need clarification. Without prior explanation, those terms were considered difficult to interpret. *(8 mentions)*



- **Make the vision simpler:** Other respondents mentioned that the vision could be reframed in a simpler, people-centred way. They suggested that the vision might have a greater impact for the reader if it is personal and reflects the importance of water for our people, food and environment. (5 mentions).

The following potential draft revised vision statement based on this feedback could incorporate these elements in the final Water Security and Responsibility Plan:

All decision-making and long-term planning in Kelowna prioritize water security and reflect the interconnectedness of our communities and water systems to ensure water is used responsibly, and we have enough water for our people and environment as Kelowna grows.

### **Level of support for vision statement from respondents with environmental and financial interests**

#### **Support from financial interest group (concerned with the cost of water)**

Compared to the average level of support from survey participants, respondents with a financial interest had much **lower levels of support** for the vision. Twenty-nine per cent (29%) of respondents with a financial interest strongly support the vision statement, and 24% of respondents with a financial interest were not supportive.

The majority of comments from these participants who did not support the vision statement felt that it should focus more on **water conservation** and educating the public about how to use water more responsibly. These participants also felt that water rates for individual users should be kept reasonable but at a point where people are incentivized to be more careful about their water use.

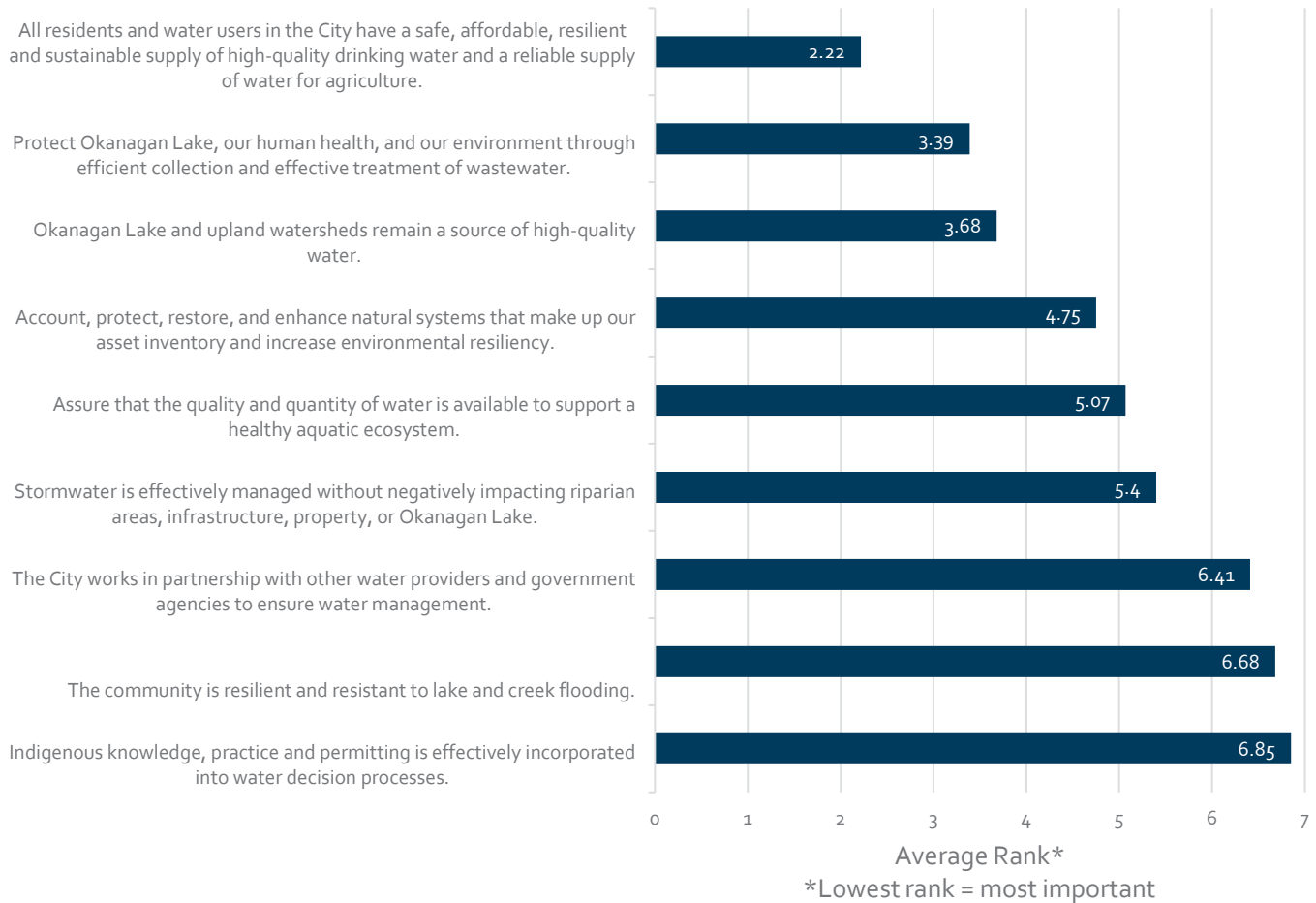
#### **Support from environmental interest group**

Alternatively, respondents with an environmental interest were more supportive of the vision statement than the total average. For this group, 65% of participants were very supportive of the vision statement and only 5% were not supportive of the vision statements.

## Guiding Principles

Nine guiding principles were endorsed by Council in February 2023 to help guide the priorities and actions of the Water Security and Responsibility Plan. Participants were asked to rank the importance of each of the principles. Almost two-thirds of survey respondents (62%) chose the same option as most important to them: *"All residents and water users in the City have a safe, affordable, resilient and sustainable supply of high-quality drinking water and a reliable supply of water for agriculture."*

**Rank the following guiding principles by selecting them in order of importance. (1 = most important) (n = 122)**

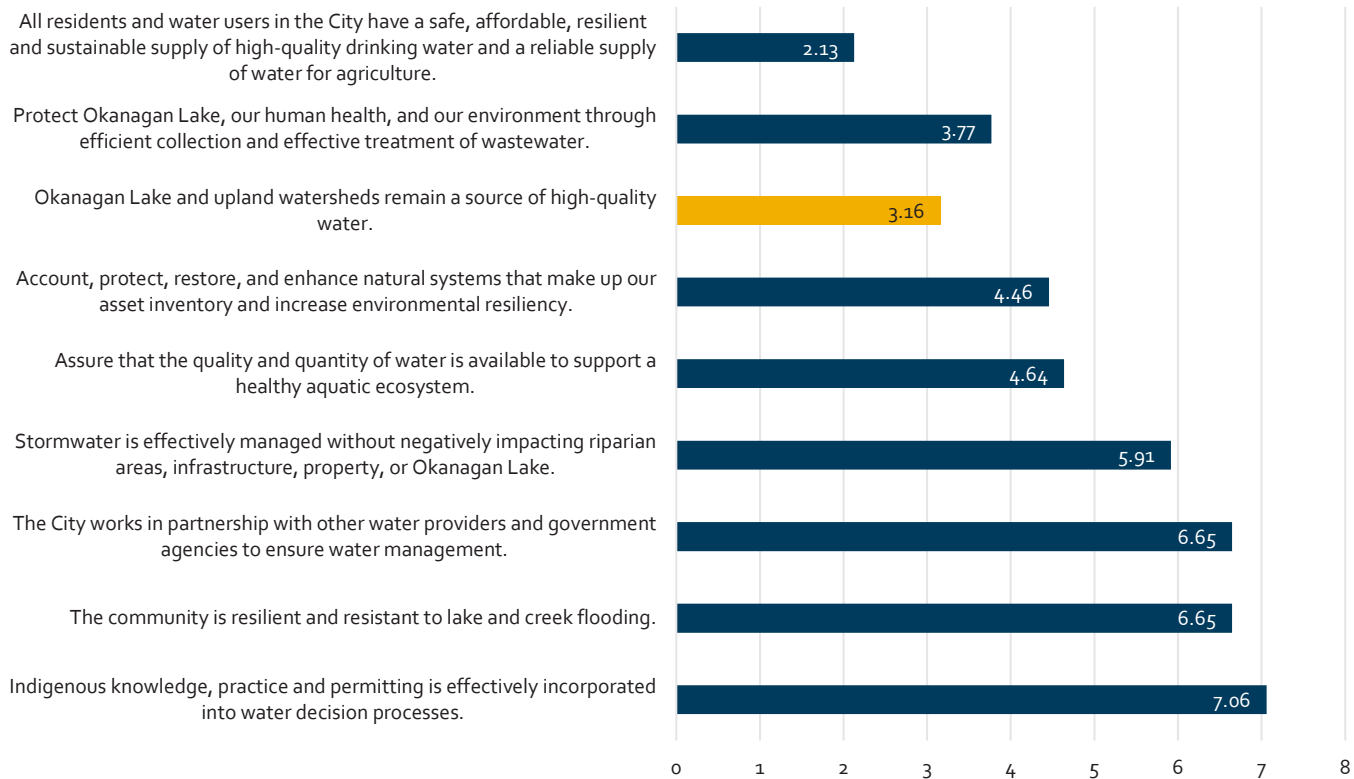




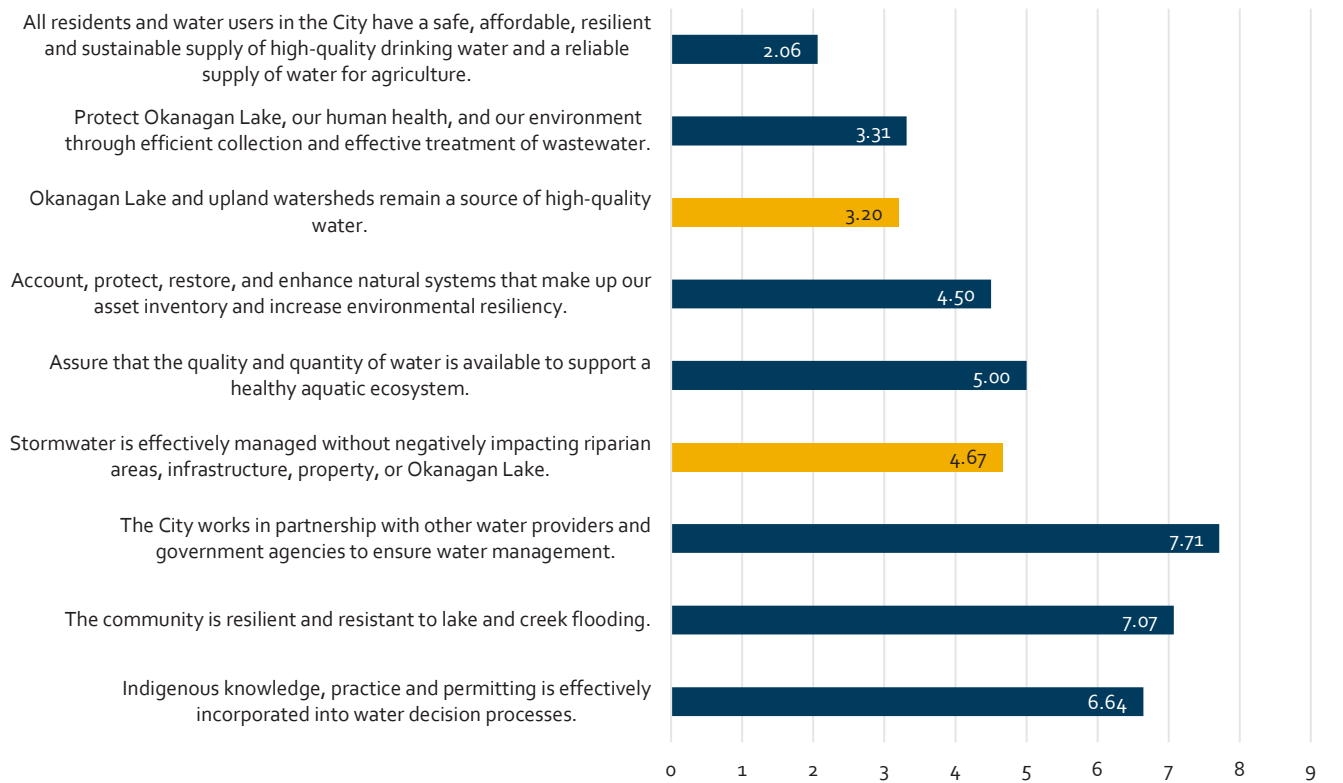
### Most important guiding principles for respondents with an environmental or agricultural interest

Respondents that indicated that they have an environmental interest in water security and responsibility or have an agricultural interest ranked the importance of the guiding principles slightly different than the rest of respondents. Most notably, both groups ranked “Okanagan Lake and upland watersheds remain a source of high-quality water” as the second most important principle. Participants with an agricultural interest felt that “stormwater is effectively managed without negatively impacting riparian areas, infrastructure, property or Okanagan Lake” was on average more important total participants.

#### Guiding principle rankings from participants with an environmental interest (1 = most important) (n = 47)



**Guiding principle rankings from participants with an agricultural interest (1 = most important) (n = 18)**



**Key Sectors**

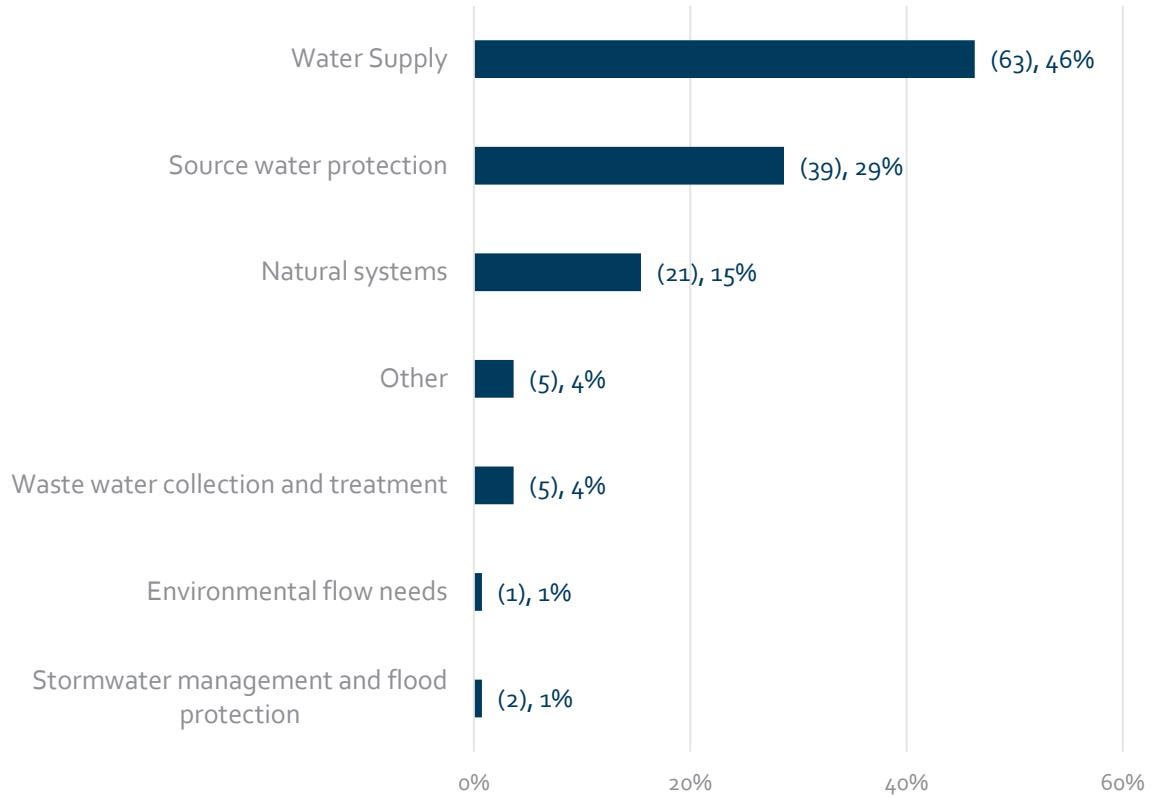
The Water Security and Responsibility Plan outlines actions to improve responsibility and security related to six key sectors of water management:

- Water supply
- Environmental Flow Needs
- Stormwater & flood protection
- Natural systems
- Source water protection
- Wastewater

Participants were asked to share and provide comments on the sector that was most important to them. Almost half of respondents (46%) indicated that water supply was top of mind for them, followed by source water protection (29%) and then natural systems (15%). The rest of the options comprise the remaining 10%, and respondents who answered “Other” (4%) indicated other priorities such as waste water planning and human-made systems.



**Which of these is top of mind for you? (n = 136)**



**Please explain your answer.** (*n* = 84)

When asked to explain their reasoning for the previous selection, respondents answered under the following top themes:

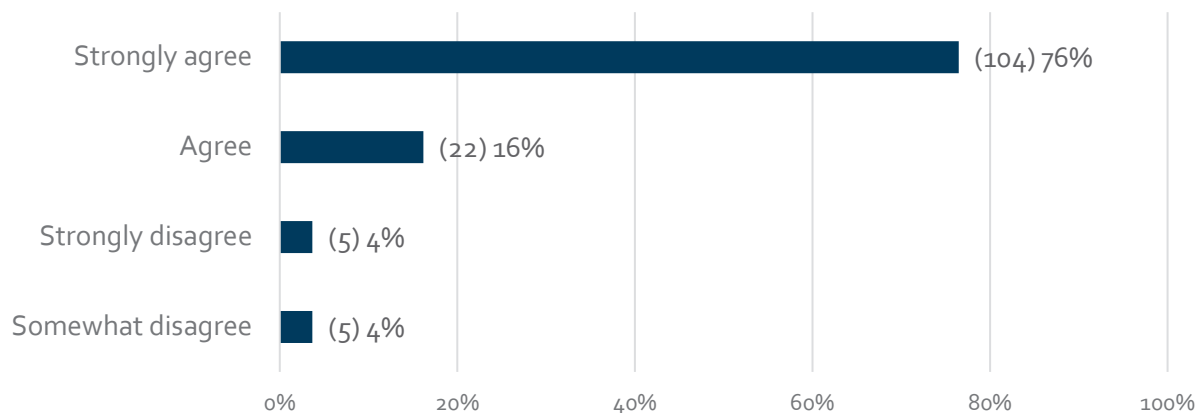
- **Source water protection:** Respondents emphasized the importance of protecting water sources. Without any access to a clean water source, all other water management efforts become irrelevant. They expressed that this reasoning should guide the City’s approach to actions and decision-making. (*28 mentions*)
- **Community needs:** The City cannot function without an adequate and reliable water supply for its community. Respondents acknowledged that the City’s role in providing water, treatment and infrastructure is essential for survival and quality of life in Kelowna. (*25 mentions*)
- **Water is life:** Respondents expressed that without water, there is no life. Careful management of water sources, natural systems and water treatment encourages responsible use for all living things in the ecosystem. (*18 mentions*)

**General Feedback**

Participants were asked to share their reflections on the importance of water security and responsibility and what each of these concepts mean to them, as well as provide general feedback on the Water Security and Responsibility Plan.

The majority of respondents (92%) indicated they agreed or strongly agreed that water security should be a key consideration in the City’s decision-making and planning. The remaining respondents somewhat disagreed (4%) or strongly disagreed (4%) with the same statement.

**How strongly do you agree with the following statement: Water security and responsibility should be a key consideration in the City’s planning and decision-making.** (*n* = 136)





**Please explain your answer.** (n = 79)

Respondents provided reasoning for their previous selection under the following top themes:

- **Importance of water:** Respondents agreeing with the statement emphasized that water availability impacts all of facets of life, including public health, agriculture, cultural value and recreation, so it makes sense for the City to consider water in its planning and decision-making. (25 mentions)
- **Community trust:** Survey respondents shared that residents rely on the City to take accountability surrounding water use decisions. Kelowna and its partners need to be responsible for protecting the lake and environment for future generations. (10 mentions)
- **Accounting for growth:** As more people come to the Okanagan Valley to live, work and recreate, the importance of water management increases. (9 mentions)
- **Agriculture and food production:** Water supply, quality and management impacts the region’s ability to produce food and sustain our agricultural activities. (9 mentions)
- **A limited resource:** Respondents urged that water is a limited resource that requires protection through sustainable practices and responsible use. (9 mentions)

**Level of agreement from respondents with a financial interest (concerned with the cost of water)**

Participants with a financial interest were the most supportive of this statement, with 82% of those respondents saying they strongly supported water security and responsibility being a key consideration in the City’s planning and decision-making. The reasoning these respondents provided included:

- Safe and reliable water and sewer systems is **fundamental service** for a municipality
- The City needs to plan ahead to accommodate **population growth**
- Access to water is an **economic driver** for tourism and agriculture
- Using water responsibly now can **save money in the future**

**Community understanding of water security and responsibility**

Residents were also asked to describe ‘water security’ and ‘water responsibility’ in their own words. The following terms were frequently used in the responses:

Water security	Water responsibility
<ul style="list-style-type: none"> <li>• Clean (30 mentions)</li> <li>• Safe (23 mentions)</li> <li>• Available / accessible (21 mentions)</li> <li>• Adequate / enough / sufficient (21 mentions)</li> <li>• For future generations (14 mentions)</li> <li>• Nature / ecosystems / environment (14 mentions)</li> <li>• Agriculture (13 mentions)</li> </ul>	<ul style="list-style-type: none"> <li>• Not being wasteful (25 mentions)</li> <li>• Environmentally safe (12 mentions)</li> <li>• Minimizing water use for lawns/landscaping (11 mentions)</li> <li>• Future generations (10 mentions)</li> <li>• No contamination (9 mentions)</li> <li>• Changing our behaviours to protect water (8 mentions)</li> </ul>

Some of the answers provided by respondents are shown below:

**What does “water security” mean to you? (n = 111)**

- That every citizen in Kelowna now and in the future has access to the water they need for drinking, eating, cleaning, growing and enjoyment.
- There is healthy and clean water available for future generations of both human life and all other beings
- Enough water to maintain a healthy ecosystem.
- Protecting our sources and quality of water.

**What does “water responsibility” mean to you? (n = 110)**

- To plan for the future and to protect the environment, and life with safe water and building practices.
- Valuing water, using water for beneficial reasons and making sure there is enough for environmental needs (not just humans)
- Reducing water usage, change landscaping to use native drought tolerant plants.
- Making hard decisions now to change mindset around water, to see it as a Sacred living being and protect water ways

**Do you have any thoughts or comments about the Water Security & Responsibility Plan as a whole that you would like to share? (n = 76)**

The following themes emerged:

- **Reducing water use:** Several respondents used this question to suggest ways for reducing water use. Respondents pointed to activities that are considered non-essential and water-intensive, including residential pools, water features, golf courses, and inefficient irrigation techniques. Respondents generally suggested some form of restriction or incentive to reduce usage across these activities. (24 mentions)
- **Growth and development:** Respondents expressed concern for the pace of development in the Okanagan and the City’s ability to accommodate more water users. Given the region’s semi-arid climate and risk of drought, these respondents urged the City to prioritize water security over unsustainable growth. (14 mentions)
- **Water rates:** Several respondents expressed that Kelowna’s inexpensive water rates are impacting behaviours around usage. Respondents shared that if the City increased its water rates, especially to large water consumers, this would encourage more responsible use across the board. (11 mentions)
- **Residential lawns:** Respondents suggested that the City encourage water-efficient landscaping, such as xeriscaping, and to consider restrictions to green lawns and excessive watering.



## **ADDITIONAL FEEDBACK**

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### **Feedback from information session**

Additional general feedback on the Plan received at the public information session included the need to balance new development with increasing demand for water, learn from challenges faced by other jurisdictions, and ensure that water infrastructure is planned well in advance to meet community needs. Some residents expressed frustration with increasing costs to deliver water-related services and many communicated that they feel the City's water is safe to use and consume.

Several information session participants referenced the City of Calgary's water main break and the impacts on that community. This sparked questions surrounding water resiliency in Kelowna and whether a similar situation could happen here. The heightened level of public awareness about the importance of resiliency and reliability of water systems may draw attention to gaps between Kelowna's water purveyors and should be considered in future communications related to the Water Security and Responsibility Plan and related initiatives.

### **Feedback from online question submission**

Six questions were received through the Get Involved project page that focused on the following topics:

- Clarity on what Indigenous knowledge and practices means and how this would be incorporated into the City's decision-making.
- Impacts of logging on water security and the reliance on trees to protect water sources.
- Incentives to reduce residential water consumption.

### **Feedback from written submissions**

One written submission was received that shared concerns related to the impacts of climate change on water supply, combined with increasing demand for electricity generated from hydropower, leading to reduced availability of water to drink and grow food.

## CONCLUSION & NEXT STEPS

The findings from this engagement program will be used to refine the draft Water Responsibility and Security Plan to ensure it reflects the community’s priorities and values related to water. The final Plan will be presented to Council for adoption, and the actions outlined in the Plan will be implemented by the City, in collaboration with local First Nations, the Provincial Government, neighbouring municipalities, the Regional District of Central Okanagan and partner organizations.

Key input from community members that will be incorporated into the final Water Responsibility and Security Plan includes the definitions for **water security** and **water responsibility** based on survey responses, clarifying the vision statement, and placing greater emphasis on water conservation and balancing protection of water with population growth.



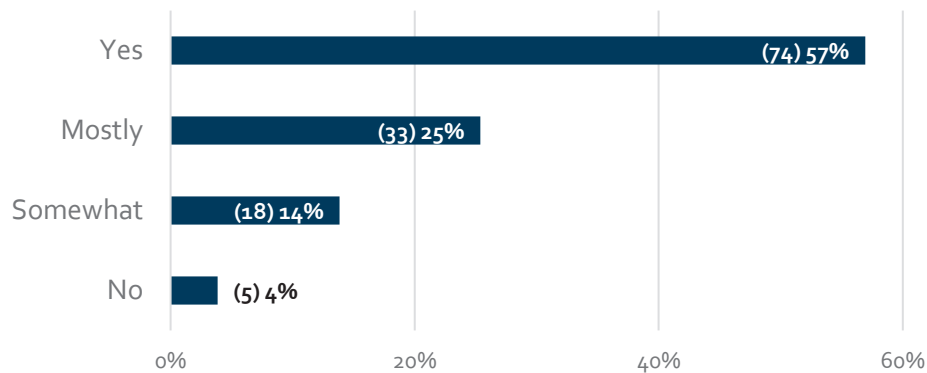


## ENGAGEMENT FEEDBACK

Survey respondents were also invited to share feedback on the engagement process, including whether the draft Plan was easy to understand, if they learned anything new, their interest in the topic, and how they learned about the survey.

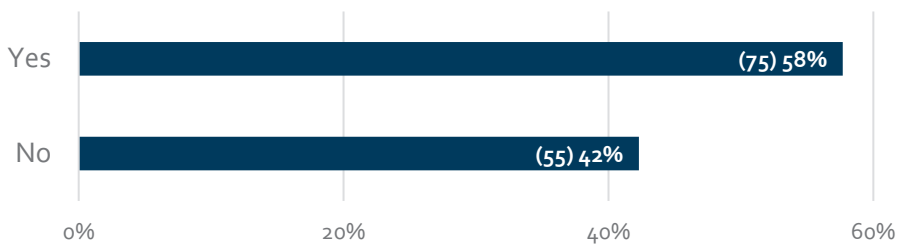
### Was the information easy to understand? (n = 130)

Most survey respondents (82%) indicated that the plan’s information was easy or mostly easy to understand. Approximately 14% of respondents indicated that the information was somewhat easy to understand, and the remaining 4% felt the information was not easy to understand.



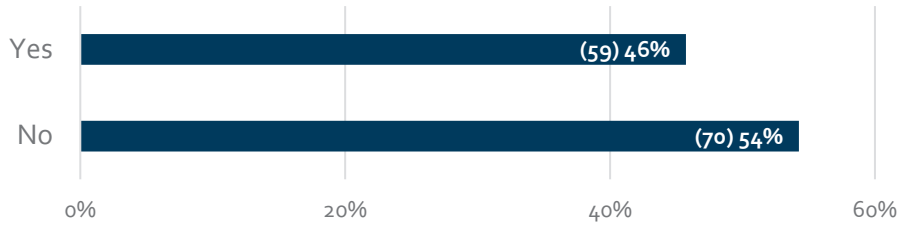
### Do you understand how your input will be used? (n = 130)

Over half of respondents (58%) understand how their input will be used in this engagement process, while the remaining 42% indicated they do not.



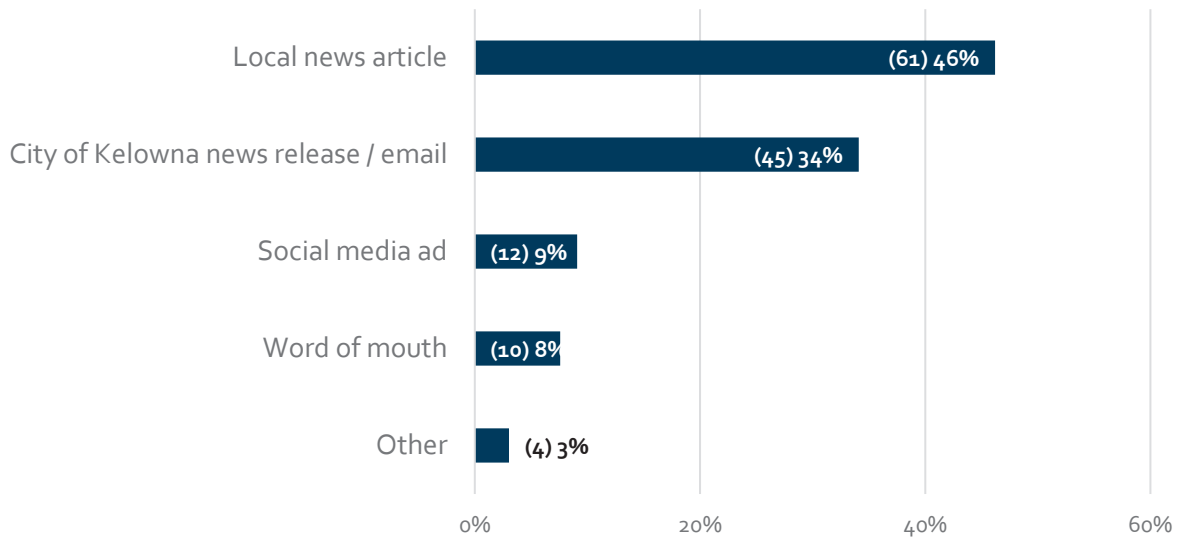
**Did you learn something new?** (n = 129)

Almost half of respondents (46%) indicated that they learned something new from the survey, while the remaining 54% said they did not.



**How did you hear about the survey?** (n = 132)

Almost half of respondents (46%) heard about the survey from a local news article about the project, and over one-third (34%) heard about it through the City’s media release. The rest of the respondents heard about the survey through social media (9%), word of mouth (8%) or through another way (3%). “Other” responses included the City of Kelowna website and other news articles.





# Kelowna's Water Security Plan

Our approach to responsible water  
management

April 14, 2025

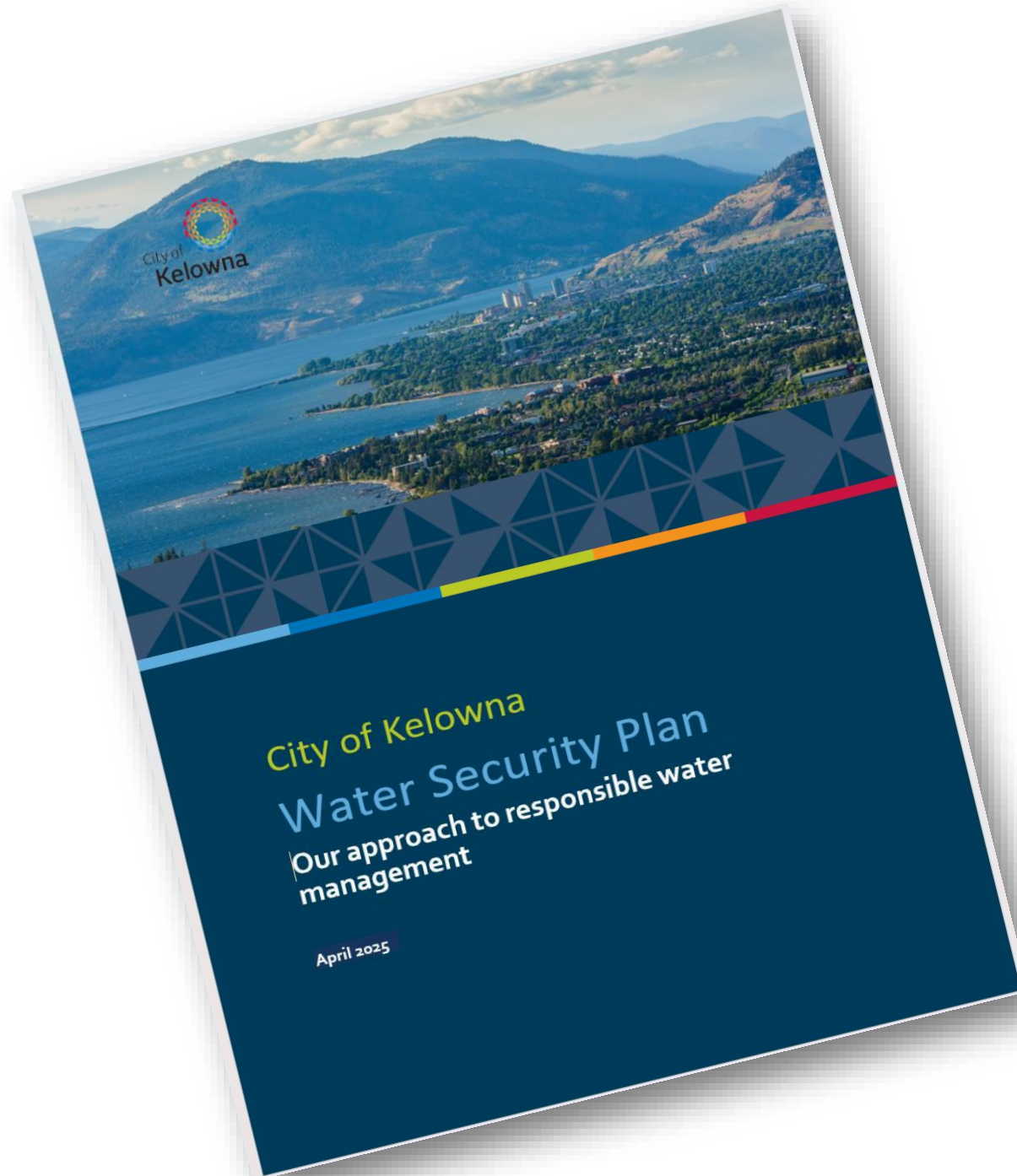


# Presentation Overview

- Introduction – The Plan
- Action Items
- Summary



# The Plan



# Engagement / Reviews

- Peer Review (Appendix B)
- Public Engagement (Appendix C)
- *syilx* Review

*syilx*

## Kelowna Guiding Water Security Principles

Council Endorsed – February 13, 2023

1. All residents and water users in the City have a safe, affordable, resilient and sustainable supply of high-quality drinking water and a reliable supply of water for agriculture.
2. Protect Okanagan Lake, our human health, and our environment through efficient collection and effective treatment of wastewater.
3. Stormwater is effectively managed without negatively impacting riparian areas, infrastructure, property, or Okanagan Lake.
4. Our community is resilient and resistant to lake and creek flooding.
5. Okanagan Lake and upland watersheds remain a source of high-quality water.
6. Natural Systems are accounted, protected, restored, and enhanced to improve our environmental resiliency.
7. Assure that the quality and quantity of water is available to support a healthy aquatic ecosystem.
8. Indigenous knowledge, practice and permitting is effectively incorporated into water decision processes.
9. The City works in partnership with other water providers and government agencies to ensure water security.



# Actions

- Appendix A

40 Actions in this plan.

## WATER SUPPLY

**GUIDING PRINCIPLES:** All residents and water users in the city have a safe, affordable, resilient and sustainable supply of high-quality drinking water and reliable supply of water for agriculture.

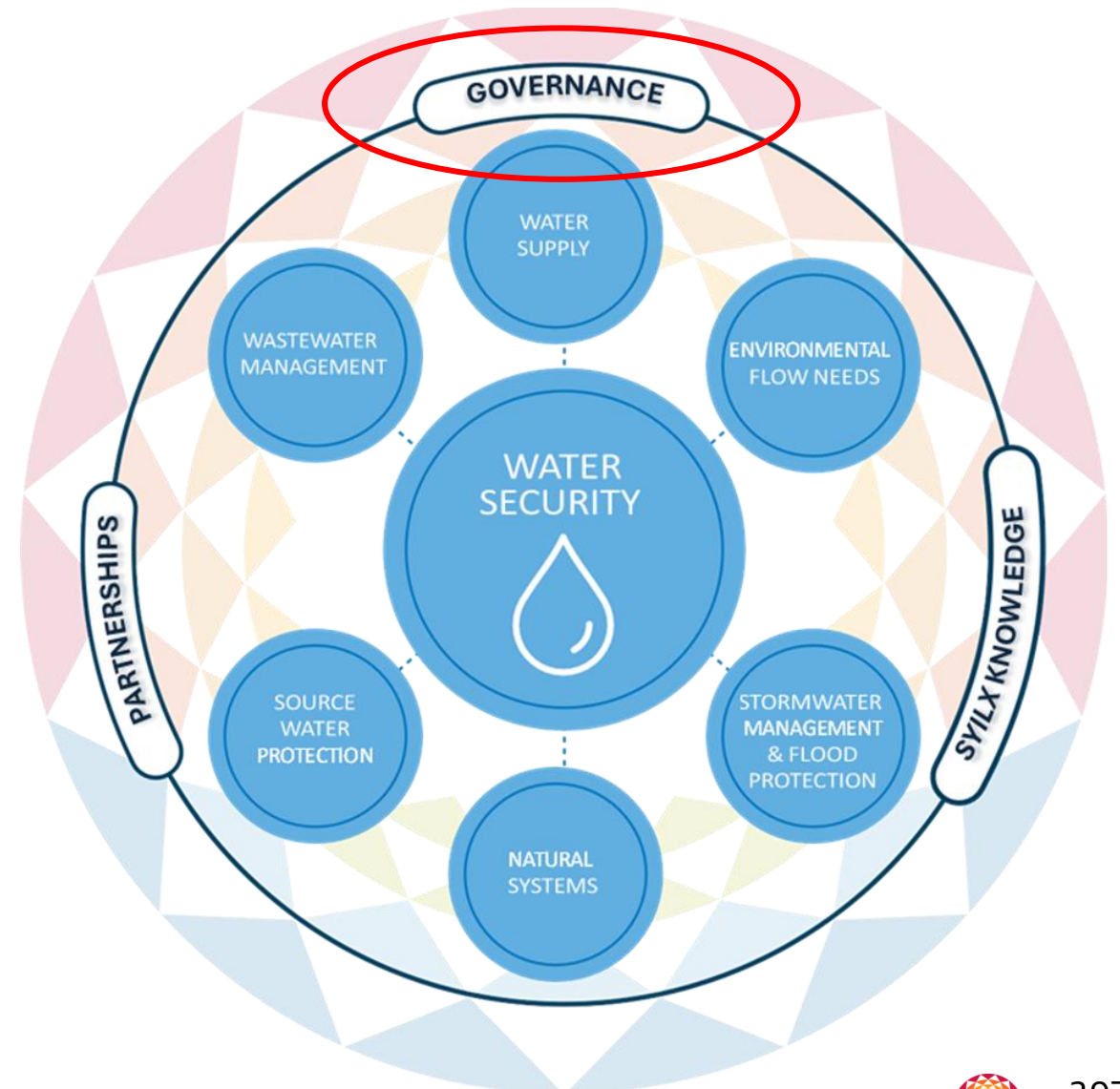
ACTION	RELATED FOCUS AREAS	TIME FRAME	KEY PERFORMANCE INDICATORS
Conserve water. Update water demand criteria in Bylaw 7900 updating infill zoning and new light industrial requirements.	Water Supply	Short-term	Per capita potable water production. Annual water produced divided by the population served.
Review and upgrade water infrastructure in urban core areas to assure that water supply is adequate to meet firefighting requirements to facilitate densification.	Water Supply	Short-term	All urban centre serviced properties meet minimum requirements of Policy 383 – Water Supply Level of Service.
Increase our measurement of water and focus on evidence-based decision making by aligning water consumption data with irrigation use.	Water Supply	Short-term	Water meter data is incorporated into water utility planning processes.
Advise government and the agricultural community of the commitment required to renew and replace aging supply and delivery infrastructure.	Water Supply	Short-term	Successful meetings with senior government.
	Partnerships		
Develop funding strategy to assure that non-potable water is supplied to agricultural producers	Water Supply	Medium-term	Funding strategy developed. Non-Potable systems are sustainably funded.
	Partnerships		
Assure resiliency and water quality supply risk mitigation through interconnectivity of sources. <ul style="list-style-type: none"> <li>• Evaluate transmission connectivity between McKinley intake and Dilworth Reservoir. (Short term)</li> <li>• Install multiple connections between GEID and City system to interconnect the networks.</li> </ul>	Water Supply	Medium-term	Percentage of customer properties serviced by two or more sources during emergencies.  WQA-person-days and BWN Person days across city are falling or zero.
	Source Water Protection		
Protect public health by developing concept plans and ensuring land is available for addition of filtration facilities at all potable water supply locations.	Water Supply Source Water Protection	Long-term	Plans and land secured for advanced treatment at each source.

## Sample Sector Action Plan for Water Supply Appendix A

# Governance

## Actions

- Short Term
  - Align City operations, level of service, and key performance indicators with the guiding principles.
- Medium Term
  - Adjust risk registries and contingency plans for water security infrastructure assets.
- Long Term
  - Assess and refine development policies.

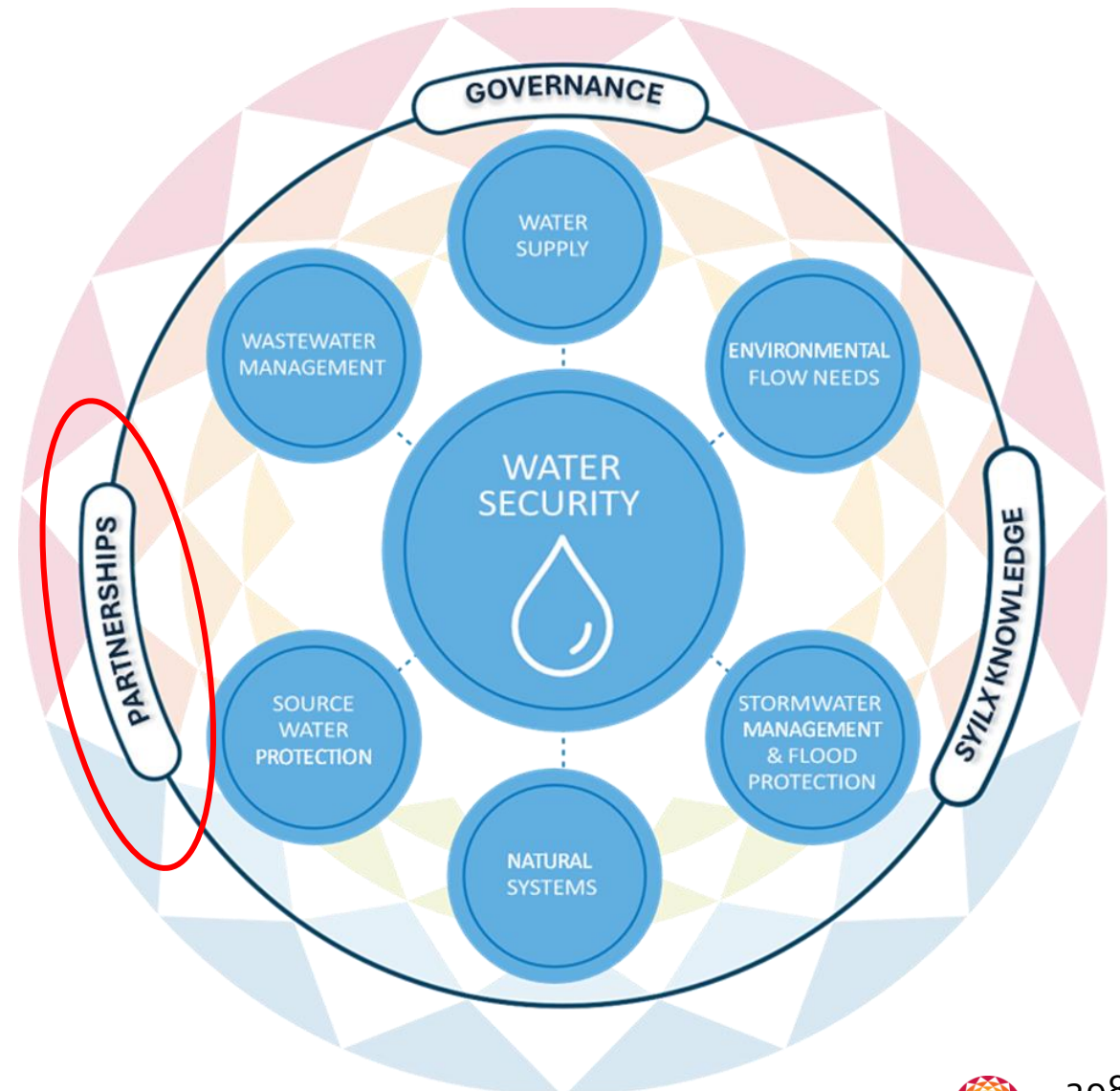




# Partnerships

## Actions

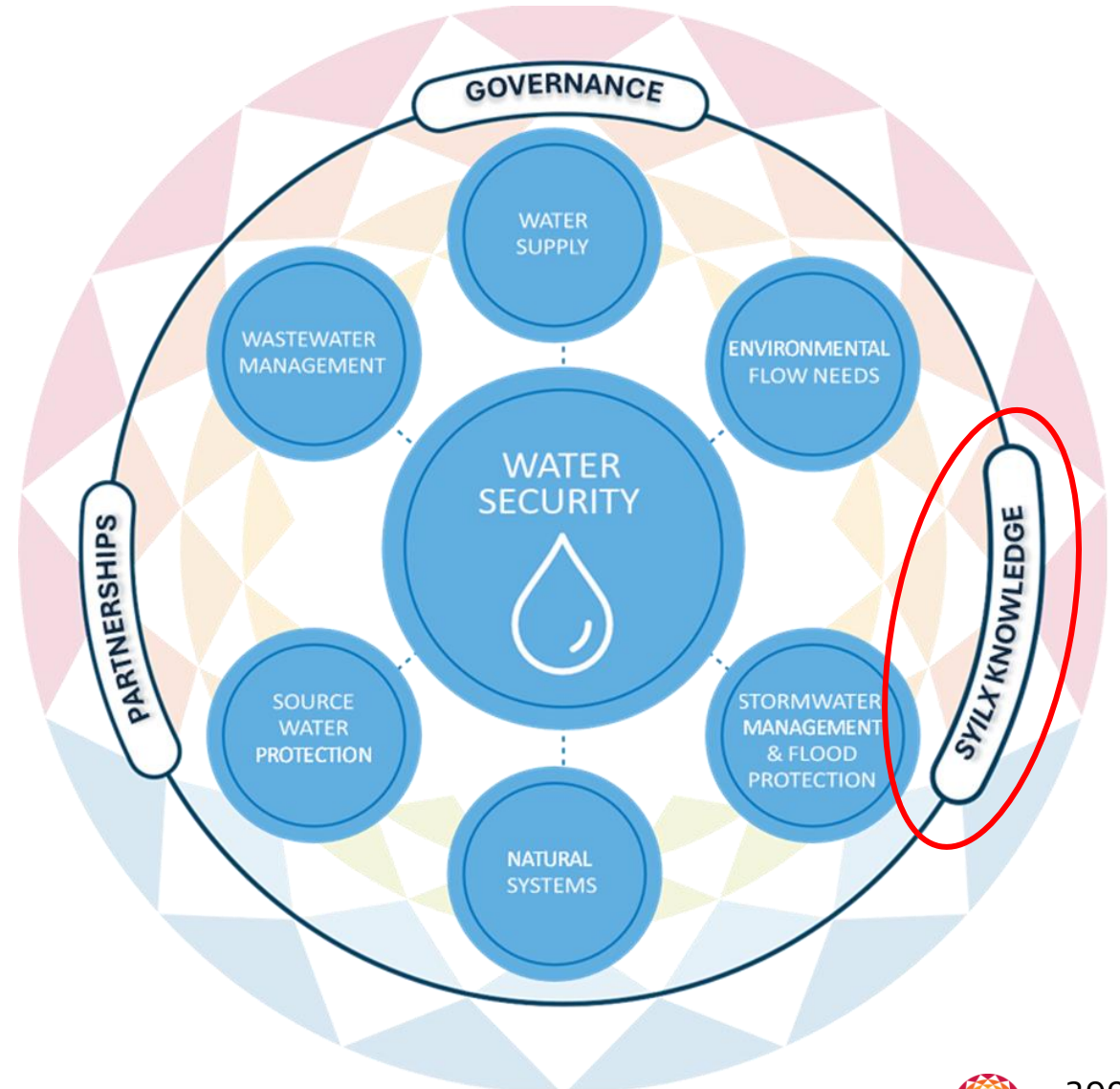
- Short Term
  - Meet regularly with other water purveyors in Kelowna to share experiences & expertise.
- Medium Term
  - Develop BMP's that work.
- Long Term
  - Partner with senior government



# Syilx Knowledge

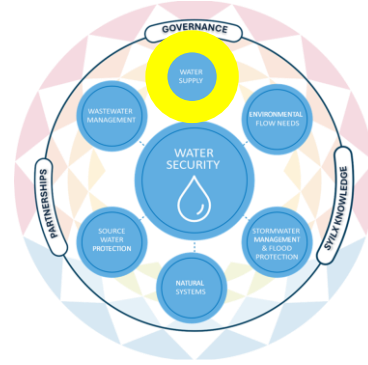
## Actions

- Short Term
  - Familiarize ourselves with the *syilx* Water Declaration.
  - Adopt fish passage into City Projects.
- Medium Term
  - Participate in *syilx* water resource activities.
  - BMP's & policies include *syilx* Knowledge.
- Long Term
  - Adapt to updates in Provincial Law.





# Water Supply



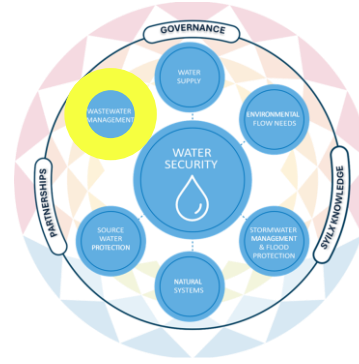
## Actions

- Short Term
  - Adjust water demand criteria to prepare for growth.
  - Improve water quality and quantity analytics.
  - Investigate additional Non-Potable allotments for agriculture.
- Medium Term
  - Improve system resiliency through interconnectivity.



Poplar Point Lake Intake  
& Pump Station

# Wastewater



## Actions

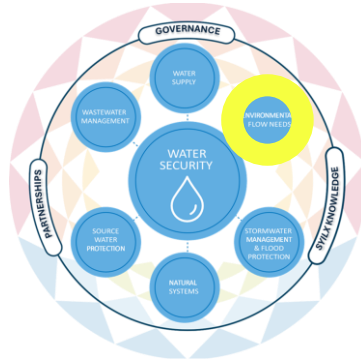
- Short Term
  - Address WWTP upgrades related to recent growth estimates.
- Medium Term
  - Track emerging contaminants of concern.
- Long Term
  - Eliminate on-site septic systems in urbanized areas.



Secondary Clarifiers  
Raymer Wastewater Treatment Plant



# Environmental Flow Needs



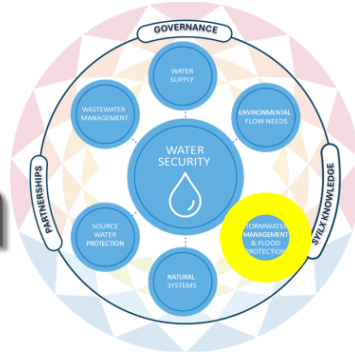
## Actions

- Short Term
  - Incorporate critical flow needs into the City's drought and water shortage plans.
- Medium Term
  - Look to modify infrastructure to accommodate automated releases
  - Look for more watershed reservoir storage.



Riffles and Spawning Area  
Mission Creek - Reach 4

# Stormwater & Flood Protection



## Actions

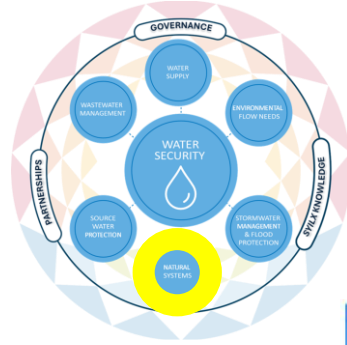
- Short Term
  - Redirect focus to Stormwater Quality
  - Flood protection works to include fish spawning and riparian health.
- Medium Term
  - Incentivize effective stormwater quality on private property.
  - Examine a Stormwater Utility



Vac-Truck used to regularly  
to clean out Catch Basins and drains



# Natural Systems



## Actions

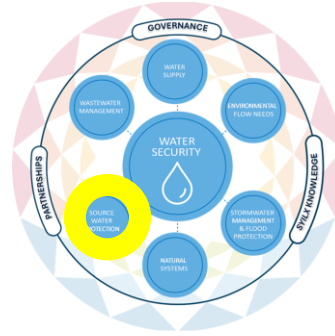
- Short Term
  - Create a Habitat Compensation Bank.
- Medium Term
  - Provide Natural system protection by designating Natural Park zoning.



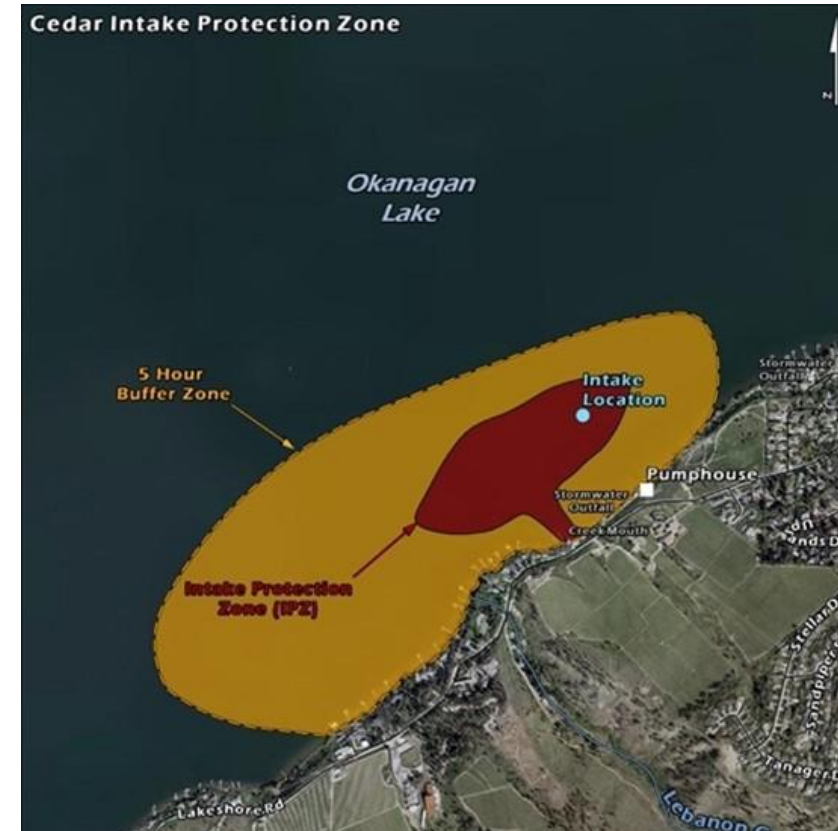
Burne Park – New 39 metre riparian section on Mill Creek  
Natural or Green Infrastructure?

# Source Water Protection

## Actions



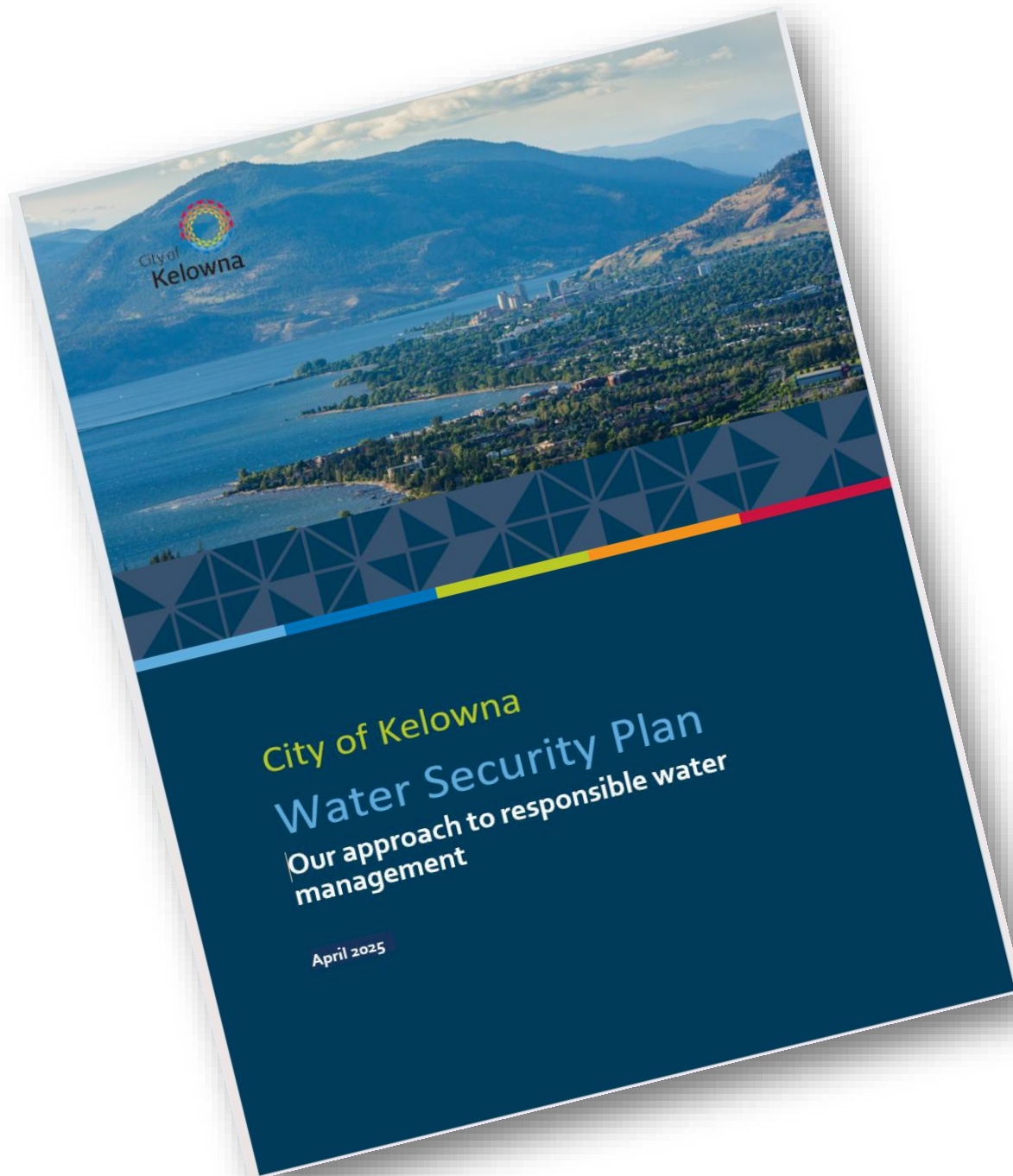
- Short Term
  - Develop processes where decisions include “a look through the Water Lens”.
    - Water recreation expansion,
    - Effluent discharges
    - Lake disruption.
- Medium Term
  - Participate in a new Watershed Sustainability Plan for Mission Creek.
  - Continue OBWB participation
  - Add resource to managed the Source Water Protection Portfolio.



Intake Protection Zone – Cedar Creek Intake  
(From 2040 OCP)



# Summary





Thank you



# Report to Council



**Date:** April 14, 2025  
**To:** Council  
**From:** City Manager  
**Subject:** Tax Distribution Policy  
**Department:** Financial Services - Controller

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**Recommendation:**

THAT Council approves a Municipal Tax Distribution Policy as outlined in the Report dated April 14, 2025, for the year 2025 that will result in a modification of the 2024 Tax Class Ratios to reflect the uneven market value changes which have been experienced between property classes, as follows:

<u>Property Class</u>	<u>2024 Tax Class Ratios</u>	<u>2025 Tax Class Ratios</u>
Residential/Rec/NP/SH	1.0000:1	1.0000:1
Utilities	4.5169:1	3.6021:1
Major Industrial	8.3358:1	8.2256:1
Light Industrial/Business/Other	2.0696:1	2.0265:1
Farm Improvements	0.5122:1	0.5136:1

AND THAT Council approves development of 2025 tax rates to reflect 2025 assessment changes in property market values.

**Purpose:**

To establish tax class ratios that will be used in the preparation of the 2025 tax rates.

**Background:**

The 2025 assessment roll is based on market values established on July 1, 2024. The market value change to assessments is outlined in the following table:

<u>Property Class</u>	<u>Market Increase/(Decrease)</u>
Residential/Rec/NP/SH	-1.32%
Utilities	23.74%
Major Industrial	0.00%
Light Industrial/Business/Other	0.77%
Farm Improvements	-1.59%

**Discussion:**

Under Provincial legislation, Community Charter section 165(3.1)(b), municipalities must set out objectives and policies in relation to the distribution of property value taxes among the property classes. The current Council policy is to use the Fixed Share tax distribution methodology to modify tax class ratios in order to provide an effective tax increase that is the same for all classes. Market value changes are uneven between the property classes from year to year. Leaving the tax ratios unchanged would result in greater tax burden shifts to the property classes experiencing greater market value increases. Modifying the tax ratios, using this Fixed Share methodology, accounts for these uneven market shifts to ensure an equal distribution of the tax burden between the classes.

2024 information on municipalities with a population of over 75,000, shows Kelowna with the third lowest Business Class ratio and was one of eleven municipalities that had a Business class ratio under 3.00. To remain competitive, Kelowna ensures that business and light industry property tax ratios remain below the average of BC municipalities with populations greater than 75,000. A maximum of 3.00 is to be considered for these classes and any impacts from this cap will be reported to Council. There is a Provincial regulation capping the Utility class multiple at 2.5 times the Business property class ratio; this equates to a maximum of 5.07 for the current year. The Utility Class proposed ratio for 2025 of 3.602 meets this constraint.

Farm Land tax rates are set by provincial statute and cannot be modified using this Fixed Shared distribution methodology. For 2025, the tax rate is set at \$0.57 per \$1,000 of assessed value which was the same in 2024.

The recommended ratios for 2025 have decreased for all the classes except for Farm Improvements when compared to 2024. This is because the market changes for these property classes were larger compared to the base residential property class. Farm Improvements had a larger decrease compared to the residential class and therefore the ratio for this class increased slightly.

Impact on Properties Within Each Property Class

It is important to be aware that the tax rates established because of new tax class ratios are designed to avoid shifts between property classes; however, the rates established are based on the average market value increase for the entire class or classes.

The establishment of tax class ratios that prevent shifts between classes does not eliminate potential shifts within a property class where a property has experienced a market value change that is greater than the average for that class.



The establishment of modified tax class ratios provides a basis for an equitable distribution of general municipal taxes between classes; however, the establishment of the required tax rate will be dependent on the final tax demand as determined by Council during Final Budget deliberations.

**Conclusion:**

The recommended tax class ratios calculated using the Fixed Share tax distribution methodology, adjusts for the uneven market value changes which have been experienced between property classes to ensure an equal effective tax increase across all property classes. This methodology provides stability and predictability for the City of Kelowna, Council, and its citizens, and provides a basis for an equitable distribution of municipal taxes between property classes.

**Considerations applicable to this report:**

***Legal/Statutory Authority:***

Community Charter section 165(3.1)(b)  
Taxation (Rural Area) Act Regulation B.C. Reg 387/82(5)

***Existing Policy:***

As included in the Five-Year Financial Plan Bylaw:

- Council will annually review and modify tax class ratios to provide an effective tax change that is the same for all classes.
- The impacts on other property classes from administering a ratio cap on the Light Industrial/Business classes will be reported to Council.
- Regularly review and compare the City's relative position in terms of distribution of taxes to other similarly sized municipalities in British Columbia.

***Financial/Budgetary Considerations:***

The approved tax class ratios will be used to establish the 2025 property tax rates.

**Considerations not applicable to this report:**

Legal/Statutory Procedural Requirements  
Consultation and Engagement  
Communications Comments

**Submitted by:** M Friesen, Controller, Financial Services

**Approved for inclusion:** M. Warrender, Deputy Chief Financial Officer, Financial Services

## **ADDITIONAL BACKGROUND INFORMATION**

### **The B.C. Assessment Authority and the Assessment System**

The B.C. Assessment Authority is an independent body created by the Provincial Legislature and is charged with the responsibility of preparing an Assessment Roll for all the properties in British Columbia.

Taxing authorities, at various levels of government (e.g. Provincial, Municipalities, Regional Districts, Hospitals, School Districts) use the Assessment Roll to assist them with the distribution of the taxes required to operate their corporations.

July 1<sup>st</sup> of the previous year is the assessment valuation date for properties listed in the assessment roll.

Although the Assessment Roll preparation is the responsibility of the Assessment Authority, for use by various taxing jurisdictions, B.C. Assessment has nothing to do with the actual levying of taxes, other than for its own operating levy.

### **The Taxation System**

City Council is responsible only for the General Municipal portion of the property taxes appearing on the Kelowna tax bill that is sent to property owners in May of each year. The City of Kelowna is responsible for the billing and collection of taxes levied by other taxing jurisdictions such as the School District, however City Council has no direct control over these levies.

The General Municipal tax levy is the City's primary revenue source, which is used to pay for the services that it delivers to its citizens such as fire and police protection, street and parks maintenance, library, new road construction, etc.

The provision of water, sewer and airport services is funded by way of user rates. These costs are not included in the general municipal tax levy.

The Assessment System managed by B.C. Assessment and the Taxation System managed by the City of Kelowna are two separate systems, subject to different Acts of Legislature and meant for two different purposes.

Over the years, the taxation system has changed substantially and has been constantly reviewed and amended by the Province in an attempt to provide a more equitable and understandable method of sharing the taxation requirements within each municipality.

Prior to the present system, which provides the authority for Municipalities to set the tax class ratios, uneven market fluctuations between classes resulted in shifts in the taxation burden from one property class to another.

Tax Class ratios represent the relative tax amounts that each class will pay as a ratio of the residential tax class. For example, if the tax class ratio of the Business to Residential class is 2.50:1, this means that for



each dollar of market value the Business Class tax rate will be two and one-half times that of the Residential Class.

The ability to establish different tax rates for each class of property means that municipalities can avoid shifts of taxation between classes of property, unless there is a deliberate political decision to do otherwise.

The differential tax rate powers granted to municipalities are not, however, designed to prevent shifts of taxation between properties within a particular class.

**Historical Council Policy - Tax Class Ratios**

From 1984, when City Council was granted the authority to establish tax class ratios, to 1988, there was very little market value movement in the City. As a result, there was no need to adjust the tax class ratios to prevent shifts in the tax burden from one property class to another.

This changed slightly in 1989 and the City chose to modify the tax class ratios at that time to reflect the difference in market movement between the residential class and the business class.

In 1997 there was a more dramatic change in the market values of residential property which necessitated a more significant change in the tax class ratios to ensure that the residential class did not experience a greater percentage tax increase, on average, than other property classes that year.

The following is a historical recap of the tax class ratios which were established from 1985 to 2024 based on market value shifts that occurred during that period (some years are omitted to condense the information):

<b><u>Property Class</u></b>	<b><u>1985</u></b>	<b><u>1997</u></b>	<b><u>2010</u></b>	<b><u>2015</u></b>	<b><u>2018</u></b>	<b><u>2019</u></b>	<b><u>2020</u></b>	<b><u>2021</u></b>	<b><u>2022</u></b>	<b><u>2023</u></b>	<b><u>2024</u></b>
Residential	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Utilities	2.21	3.03	5.21	5.13	5.55	5.47	4.92	4.92	6.08	5.77	4.52
Supportive Housing			1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Major Industry	1.74	3.20	3.54	3.48	6.62	6.42	6.04	5.85	7.53	8.56	8.34
Light Industry/ Business	1.74	2.02	2.38	2.13	2.38	2.36	2.17	2.26	2.55	2.46	2.07

**The 2025 Assessment Roll**

The following is the 2025 split between market and non-market changes as provided by B.C. Assessment:

	(ooo's)		Market	Non-Market
	2025	2024		
Res/Rec/NP/SH	53,154,475	52,591,916	-1.32%	2.39%
Utilities	86,892	69,825	23.74%	0.70%
Major Industrial	5,289	1,322	0.00%	300.08%
Light Ind/Bus/Other	11,184,156	10,864,905	0.77%	2.16%
Farm Land	22,560	22,066	1.90%	0.34%
Farm Improvements	556,098	546,743	-1.59%	3.30%
<b>Totals</b>	<b>65,009,470</b>	<b>64,096,777</b>	<b>-0.94%</b>	<b>2.36%</b>

The 2025 Assessment Roll includes a total of \$1,514.44 million in non-market change values added and summarized as follows:

	(millions)
Res/Rec/NP/SH	1,257.77
Utilities	0.49
Major Industrial	3.97
Light Ind/Bus/Other	235.08
Farm Land	0.07
Farm Improvements	18.05
<b>Totals</b>	<b>1,515.44</b>





# Tax Distribution Policy 2025

April 14, 2025

# 2025 Tax Distribution Policy

## Purpose

- To establish the methodology for “Tax Class Ratios” or distribution of taxation demand among property classes resulting in the 2025 tax rate



# 2025 Tax Distribution Policy

## Background

- Provincial legislation empowers local governments to distribute property taxes among property classes
- There are nine property classes within the City of Kelowna:
  - Residential
  - Utilities
  - Business/Other
  - Rec/Non-Profit
  - Major Industrial
  - Farm Land
  - Supportive Housing
  - Light Industrial
  - Farm Improvements

# 2025 Tax Distribution Policy

## Tax Class Ratio

- Used to calculate the municipal tax rate for each property class
- A multiple of the tax rate in comparison to the residential rate (base rate)



# 2025 Tax Distribution Policy

## Two Common Tax Distribution Methodologies

### Fixed Tax Class Ratio Method

- Leads to tax burden shifts between classes due to differential changes in market values

### Fixed Share Method

- Compensates for differential changes in market values between property classes
- Provides an equal effective tax increase for all classes
- Most common method used by municipalities
- Methodology has been supported by Council since 1989

# 2025 Tax Distribution Policy

- Fixed Share method modifies the Tax Class Ratios to account for market change
- The effective tax increase is equal among all property classes

MODIFY THE TAX CLASS RATIOS				
Property Class	Market Change (Average)	2024 Tax Class Ratios	2025 Tax Class Ratios (Modified)	2025 Preliminary Budget Effective Tax Increase
Res/Rec/NP/SH	-1.32%	1.0000	1.0000	4.36%
Utilities	23.74%	4.5169	3.6021	4.36%
Major Industrial	0.00%	8.3358	8.2256	4.36%
Lgt Ind/Bus/Other	0.77%	2.0696	2.0265	4.36%
Farm Improvements	-1.59%	0.5122	0.5136	4.36%



# 2025 Tax Distribution Policy

2024 Ratios: > 75,000 Population

Municipality	Business	Utilities	Major Ind.	Light Ind.
Saanich	4.75	8.60	2.11	2.11
Victoria	3.68	12.02	3.37	3.61
Coquitlam	3.40	15.91	3.40	2.19
Vancouver	3.38	17.89	19.93	3.38
Nanaimo	3.29	9.07	3.29	3.29
Burnaby	3.25	8.72	11.66	2.33
New Westminster	3.05	7.62	6.06	2.59
North Vancouver	2.78	24.40	8.41	3.69
Kamloops	2.70	9.59	10.82	3.58
Maple Ridge	2.56	16.26	5.12	2.56
Langley	2.54	18.31	1.90	1.90
Prince George	2.45	6.68	10.29	5.33
Surrey	2.36	22.28	10.89	1.40
Abbotsford	2.22	15.63	-	1.75
Richmond	2.14	21.38	3.25	2.14
Kelowna	2.07	4.52	8.34	2.07
Delta	1.91	18.89	7.55	1.49
Chilliwack	1.76	12.62	1.26	1.26
<i>Average</i>	2.79			

# 2025 Tax Distribution Policy

## Fixed Share Tax Distribution

- Business Tax Class Ratio below cap of 3.00 :1
  - Anticipated to remain below provincial average
- Utility Tax Class Ratio below legislated provincial cap of 2.5 times Business Tax Class Ratio



# 2025 Tax Distribution Policy

## Fixed Share Tax Distribution

- Provides stability and predictability
- Provides a basis for an equitable distribution of municipal taxes between property classes



*Questions?*



# CITY OF KELOWNA

## BYLAW NO. 12759

### A Bylaw to Rename a Section of Frost Road to Frost Crescent

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The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT the name of Frost Road be changed to Frost Crescent as outlined in Map "A" attached to and forming part of this bylaw.
2. This bylaw may be cited for all purposes as the "Renaming of Section of Frost Road to Frost Crescent Name Change Bylaw No. 12759".

Read a first, second and third time by the Municipal Council this 7<sup>th</sup> day of April, 2025.

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk





# CITY OF KELOWNA

## Bylaw No. 12777

### Amendment No. 13 to Council Remuneration and Expense Bylaw No. 7547

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The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that the Council Remuneration and Expense Bylaw No. 7547 be amended as follows:

1. That **Section 2 – Mayor’s Indemnity, Section 3 – Councillor’s Indemnity, and Section 4 – Deputy Mayor’s Indemnity** be amended by replacing every instance of the word “indemnity” with “remuneration”.
2. That the following new section be added immediately following **Section 6 – Benefits**, with subsequent sections renumbered accordingly:

“7. Code of Conduct Remedies

Pursuant to Council Policy 388 – Code of Conduct, when a Council member has been found by an Investigator to have breached the Code of Conduct, Council may, by resolution, impose a temporary reduction in the remuneration to which the Council member would otherwise be entitled under this Bylaw.”

3. This bylaw may be cited as "Bylaw No. 12777 being Amendment No. 13 to Council Remuneration and Expense bylaw No. 7547."
4. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 7<sup>th</sup> day of April, 2025.

Adopted by the Municipal Council of the City of Kelowna this

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk