

City of Kelowna
Regular Council Meeting
AGENDA



Tuesday, March 11, 2025
4:00 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This evening, Council will hold both a Public Hearing and a Regular Meeting.

The purpose of the Hearing is to hear from the public on matters contained in the various bylaws which, if adopted, will amend *Kelowna 2040* - Official Community Plan Bylaw No. 12300 and Zoning Bylaw No. 12375.

After the close of the Public Hearing, Council will then debate and vote on the proposed bylaws at the Regular Meeting that follows.

Council has been provided with the information, correspondence, petitions or reports that have been received concerning the subject bylaws. This information is available to the public online at Kelowna.ca/council or by request to the Office of the City Clerk.

For those participating this evening, or who have already submitted letters to Council, a reminder that this Hearing and the Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca.

Following the close of the Public Hearing, no further information from the applicant or members of the public will be accepted by Council.

2. Reaffirmation of Oath of Office

The Oath of Office will be read by Councillor Lovegrove.

3. Confirmation of Minutes

Tuesday, February 11, 2025

4. Call to Order the Public Hearing

5. Individual Bylaw Submissions

1 - 5

5.1 START TIME 4:00 PM - Multiple Properties - OCP24-0013 (BL12743) - City of Kelowna 6 - 36

To amend the Official Community Plan to change the future land use designation of three parcels for administrative updates and 97 parcels around the Okanagan College to align with the designated Urban Centre boundary.

6. Termination

7. Call to Order the Regular Meeting

8. Bylaws Considered at Public Hearing

8.1 START TIME 4:00 PM - Multiple Properties - BL12743 (OCP24-0013) - City of Kelowna 37 - 46

Requires a majority of all members of Council (5).

To give Bylaw No. 12743 second and third reading and adopt in order to change the future land use designation of 100 parcels.

9. Termination

10. Call to Order the Public Hearing

11. Individual Bylaw Submissions

11.1 START TIME 4:00 PM - Multiple Properties - Z24-0060 (BL12748) - City of Kelowna 47 - 97

To rezone 12 parcels for administrative updates and to rezone 69 parcels around the Okanagan College Transit Oriented Area to align zoning with provincial legislation.

12. Termination

13. Call to Order the Regular Meeting

14. Bylaws Considered at Public Hearing

14.1 START TIME 4:00 PM - Multiple Properties - BL12748 (Z24-0060) - City of Kelowna 98 - 111

To give Bylaw No. 12748 second and third reading in order to rezone 81 parcels.

15. Development Permit and Development Variance Permit Reports

City Clerk to invite anyone participating online or in the public gallery who deems themselves affected by the required variance(s) to come forward for each item.

15.1 START TIME 4:00 PM - Clement Ave 647 - DP25-0010 DVP25-0011 - Madison Avenue Clement GP Inc., Inc.No. A0117433

112 - 224

To issue a Development Permit for the form and character of an apartment building and to issue a Development Variance Permit to vary the minimum upper floor setbacks, the building setback, common amenity space, and long-term bicycle parking standards.

15.2 START TIME 4:00 PM - Pandosy St 2275 and 2283 - DP25-0025 DVP25-0026 - 0918843 B.C. Ltd., Inc.No. BC0918843

225 - 295

To issue a Development Permit for the form and character of a mixed-use apartment housing project with a Development Variance Permit to vary the front yard setback, flanking side yard setback, side yard setback, front yard setback, and flanking side yard setback.

16. Termination

17. Procedure on each Bylaw Submission

- a) Brief description of the application by City Staff (Development Planning);
- (b) The applicant has up to 15 minutes to make representations to Council regarding the project.
- (c) The Chair will call for representation from the public participating in person and online as follows:
 - (i) Any person wishing to make representations during the Hearing will have the opportunity to do so.
 - (ii) Speakers have up to 5 minutes to share their remarks.
- (d) Final calls for representation (ask three times). Unless Council directs that the Public Hearing on the bylaw in questions be held open, the Chair shall state to participants the the Public Hearing on the Bylaw is closed.
- (e) Once the public has had an opportunity to comment, the applicant is given up to 10 minutes to respond to any questions raised.
- (f) Questions of staff by members of Council must be asked before the Public Hearing is closed and not during debate of the bylaw at the Regular Meeting, unless for clarification.

Note: Any applicant or member of the public may use electronic visual aids to assist in their presentation or questions. Online participants must be able to share their screen to display the item.



**City of Kelowna
Regular Council Meeting
Minutes**

Date:	Tuesday, February 11, 2025
Location:	Council Chamber City Hall, 1435 Water Street
Members Present	Deputy Mayor Gord Lovegrove, Councillors Ron Cannan, Maxine DeHart, and Rick Webber
Members Participating Remotely	Councillor Mohini Singh
Members Absent	Mayor Tom Dyas**, Councillors Charlie Hodge**, Luke Stack and Loyal Wooldridge
Staff Present	City Manager, Doug Gilchrist; City Clerk, Laura Bentley; Divisional Director, Planning, Climate Action & Development Services, Ryan Smith; Development Planning Department Manager, Nola Kilmartin; Development Planning Manager, Alex Kondor; Acting Development Planning Manager, Adam Cseke; Legislative Coordinator (Confidential), Rebecca Van Huizen
Staff Participating Remotely	Legislative Coordinator (Confidential), Clint McKenzie

(** Denotes leave of absence)

1. Call to Order

Deputy Mayor Gord Lovegrove called the meeting to order at 4:00 p.m.

2. Reaffirmation of Oath of Office

The Oath of Office was read by Councillor DeHart.

3. Confirmation of Minutes

Moved By Councillor Cannan/Seconded By Councillor Webber

THAT the Minutes of the Public Hearing and Regular Meeting of January 21, 2025 be confirmed as circulated.

Carried

4. Call to order the Regular Meeting

Deputy Mayor Gord Lovegrove called the meeting to order at 4:02 p.m.

5. Development Permit and Development Variance Permit Reports

5.1 START TIME 4:00 PM - Barlee Rd 1881 - DP24-0101 DVP24-0162 - Barlee Road Development GP Ltd., Inc.No. BC1450498

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Renee Merrifield and Josh Klassen, Troika, Leon Avenue, Applicant:

- Displayed a PowerPoint presentation outlining the application.
- Provided overview of the company and its development objectives
- Spoke to the site context in a transit oriented development area.
- Commented on the building setback variance and the design considerations to accommodate tree planting requirements.

City Clerk invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

Gallery:

Davis Kyle, Glenwood Ave

- Supports the application.
- Stated the application is a good example of a building positioned within a transit oriented area.
- Assists the multi-family vacancy rate in the community.

Staff:

- Responded to questions from Council.

Applicant:

- Responded to questions from Council.

There were no further comments.

Moved By Councillor DeHart/Seconded By Councillor Webber

THAT Council authorizes the issuance of Development Permit No. DP24-0101 for LOT 1 DISTRICT LOT 129 OSOYOOS DIVISION YALE DISTRICT PLAN EPP141068, located at 1881 Barlee Rd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP24-0162 for LOT 1 DISTRICT LOT 129 OSOYOOS DIVISION YALE DISTRICT PLAN EPP141068, located at 1881 Barlee Rd, Kelowna, BC;

AND THAT a variance to the following section of Zoning Bylaw No. 12375 be granted as shown on Schedule "B":

Section 14.11: Commercial and Urban Centre Zone Development Regulations

To vary the minimum building setback from the front yard from 3.0 m required to 0.0 m proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

**5.2 START TIME 4:00 PM - Wardlaw Ave 667, 681 - DP24-0136 DVP24-0230 - 15017807
Canada Inc., Inc.No. A0127722**

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Jeff Stretch, Stretch Construction, Water St., Applicant:

- Spoke to looking forward to adding rental housing in the Pandosy area.
- Challenging to achieve the number of units due to setback requirements, losing 20% of useable property area.
- Chose to apply for 5 storey building instead of the 6 storeys permitted by the bylaw.
- Spoke to the parking provided being reasonable in context to the available transit corridor and the proximity to the college campus as the primary housing market for the development.
- Responded to the City's direction to incorporate Crime Prevention Through Environmental Design features.

City Clerk invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

Gallery:

Mark Hanson, Wardlaw Ave.:

- Spoke to community involvement and has lived in the neighbourhood for many years.
- Directly impacted living across the street from the subject property.
- Nice building design.
- Concerned with parking as there is already existing parking issues in the area.
- Concerned with the setback from Richter Street and the visibility of the turning radius onto the street.
- Would like to see more three bedroom units for families.

Joy Russell, Richter St.:

- Similar concerns to the previous speaker.
- Nice building design.
- Challenges turning onto Richter Street from Wardlaw Avenue.
- Concerned with lack of on-site parking and existing on street parking challenges.
- Difficult to see to access Wardlaw and extremely busy street.
- Existing parking is full on street. Overflow is not available.
- Two hour limit not enforced on the street.
- Concerned with additional traffic resulting from more development.

Mark Aquilon, MGA Architect Inc. Applicant's representative in response:

- Spoke to size of the site and the street being a major transportation corridor.
- The new structure will be pulled back further on the site than the existing structure is. The variance setback is to the stepback above the fifth floor.
- Spoke to number of parking stalls.
- Spoke to the design responding to the need of the powerlines in the area.

Staff:

- Responded to questions from Council.

Applicant:

– Responded to questions from Council.

There were no further comments.

Moved By Councillor DeHart/Seconded By Councillor Singh

THAT Council authorizes the issuance of Development Permit No. DP24-0136 for the subject properties;

- a. Lot 1 District Lot 14 ODYD Plan 3769, located at 681 Wardlaw Ave, Kelowna, BC; and
 - b. Lot 2 District Lot 14 ODYD Plan 3769, located at 667 Wardlaw Ave, Kelowna, BC
- subject to the following:
1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
 2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
 3. Landscaping to be provided on the land be in accordance with Schedule "C";
 4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;
 5. The applicant be required to make a payment into the Public Amenity & Streetscape Capital Reserve Fund as established by Bylaw No. 12386 in accordance with Table 6.8.a. in Zoning Bylaw No. 12375;
 6. The applicant be required to complete a technical subdivision consolidating the two subject lots.

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP24-0230;

AND THAT variances to the following sections of Zoning Bylaw No. 12375 be granted:

Section 14.11 - Commercial and Urban Centre Zone Development Regulations, UC5:

To vary the required building setback from 3.0 metres permitted to 0.0 metres proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Variance Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried
Councillor Cannan - Opposed

6. Termination

The meeting was declared terminated at 5:11 p.m.

Deputy Mayor Gord Lovegrove

lb/cm



City Clerk

REPORT TO COUNCIL

OCP



Date: February 24, 2025
To: Council
From: City Manager
Address: Various
File No.: OCP24-0013

	Existing	Proposed
OCP Future Land Use:	Various	Various

1.0 Recommendation

THAT Official Community Plan Map Amendment Application No. OCP24-0013 to amend Map 3.1 in the Kelowna 2040 – Official Community Plan Bylaw No. 12300 by changing the Future Land Use designation of 100 parcels described in Schedule 'A', be considered by Council;

AND THAT the Official Community Plan Map Amending Bylaw be forwarded to a Public Hearing for further consideration.

2.0 Purpose

To amend the Official Community Plan to change the future land use designation of three parcels for administrative updates and 97 parcels around the Okanagan College to align with the designated Urban Centre boundary.

3.0 Development Planning

Staff have committed to continual improvements to the Official Community Plan and Zoning Bylaw as priorities are clarified or issues arise. This proposed amendment is to update the Future Land Use designation of 100 parcels. These parcels can be divided into two (2) categories. The first includes administrative fixes on three (3) parcels. These generally occur when a past development or subdivision misaligns zoning and/or OCP boundaries. See Table 3.1 Executive Summary for further details for each of the three (3) parcels.

The remaining 97 parcels surround Okanagan College and are currently designated as EDINST – Educational / Institutional. Almost half of these 97 parcels are within a provincially designated transit exchange. Okanagan College does not have plans to acquire and/or expand into these parcels; therefore, the Future Land Use should be redesignated as Pandosy Urban Centre. An accompanying Zoning Bylaw mapping amendment and Zoning Bylaw text amendment are proposed for the same area to reflect the street context and redevelopment potential.

No.	Address	OCP FLU Details	Reason for Change
1.	(E OF) Grainger Road	Amend a portion from C-NHD – Core Area Neighbourhood designation to NAT – Natural Area designation as per Map 'A'	Amend the Future Land Use designation to reflect actual boundaries of Knox Mountain Park East (parkland added through development).

Table 3.1 Executive Summary for the Three Parcel Administrative Fixes Identified in Schedule 'A'			
No.	Address	OCP FLU Details	Reason for Change
2.	1601 Cara Glen Way	Amend C-NHD – Core Area Neighbourhood designation to PARK – Park and Open Space designation	Amend Future Land Use designation to reflect City owned parkland parcel contributed by developer. The parcel is already zoned P3.
3.	307 Glen Park Drive	Amend split designated C-NHD – Core Area Neighbourhood designation and EDINST – Education / Institutional designation to C-NHD – Core Area Neighbourhood designation as per Map 'B'	Fix mapping to align Institutional Future Land Use with the adjacent Institutional lot.

4.0 Technical Comments

Not Applicable

Report prepared by: Adam Cseke, Development Planner Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Sustainability & Development Services

Attachments:

Schedule 'A': List of Mapping Amendments for various properties

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

Schedule A - List of Mapping Amendments

Official Community Plan 12300


No.	Address	Legal Description	OCP FLU Details	Reason for Change
1.	(E OF) Grainger Road	Lot 4, Section 32, Township 26, ODYD, Plan EPP129429	Amend a Portion from the C-NHD – Core Area Neighbourhood designation to the NAT – Natural Areas designation as shown on Map 'A'	Amend the Future Land Use designation to reflect proper boundaries of Knox Mountain Park East (parkland added through development).
2.	1601 Cara Glen Way	Lot 1, Section 32, Township 26, ODYD, Plan EPP129429	Amend from the C-NHD – Core Area Neighbourhood designation to the PARK – Park and Open Space designation	Amend Future Land Use designation to reflect City owned park parcel contributed by developer. The parcel is already zoned P3.
3.	307 Glen Park Drive	Lot 1, Section 4 Township 23, and of Section 33 Township 26, ODYD, Plan EPP111632	Amend from the EDINST – Education / Institutional designation to the C-NHD – Core Area Neighbourhood designation as shown on Map 'B'	Fix Mapping error to align Institutional future land use with the institutional lot.
4.	790 KLO Road	Lot D, District Lot 135, ODYD, Plan 26418	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
5.	780 KLO Road	Lot C, District Lot 135, ODYD, Plan 26418	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation as shown Map 'C'	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.

SCHEDULE A

This forms part of application
OCP24-0013

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No.	Address	Legal Description	OCP FLU Details	Reason for Change
6.	770 KLO Road	Lot B, District Lot 135, ODYD, Plan 26418	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
7.	760 KLO Road	Lot A, District Lot 135, ODYD, Plan 26418	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
8.	2991 Conlin Court	Lot 60, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
9.	2985 – 2987 Conlin Court	Lot 59, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
10.	2983 Conlin Court	Lot 58, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
11.	2975 – 2979 Conlin Court	Strata Lot 1,2 & 3, District Lot 135, ODYD, Strata Plan EPS5937, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form V	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
12.	2973 Conlin Court	Strata Lot 1, 2, 3, & 4, District Lot 135, ODYD, Strata Plan EPS5936, Together with an interest in the common property	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.

SCHEDULE A


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No.	Address	Legal Description	OCP FLU Details	Reason for Change
		in proportion to the unit entitlement of the strata lot shown on Form V		
13.	2969 Conlin Court	Lot 55, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
14.	2963 Conlin Court	Lot 54, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
15.	2959 Conlin Court	Lot 53, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
16.	2955 -2957 Conlin Court	Lot 52, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
17.	2951 – 2953 Conlin Court	Lot 51, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
18.	2952 – 2954 Conlin Court	Lot 50, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
19.	2956 – 2958 Conlin Court	Lot 49, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.


SCHEDULE		A
This forms part of application		
# OCP24-0013		
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No.	Address	Legal Description	OCP FLU Details	Reason for Change
20.	2960 Conlin Court	Lot 48, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
21.	2964 Conlin Court	Lot 47, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
22.	2966 – 2970 Conlin Court	Strata Lot 1, 2, & 3, District Lot 135, ODYD, Strata Plan EPS10599, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form V	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
23.	2972 Conlin Court	Lot 45, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
24.	2976 Conlin Court	Lot 44, District Lot 135, ODYD, Plan 22856	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
25.	732 KLO Road	Lot B, District Lot 135, ODYD, Plan 27177	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
26.	728 - 730 KLO Road	Strata Lot 1 & 2, District Lot 135, ODYD, Strata Plan 333, Together with an interest in the common property in proportion to	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.

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No.	Address	Legal Description	OCP FLU Details	Reason for Change
		the unit entitlement of the strata lot shown on Form 1		
27.	2949 – 2951 Richter Street	Strata Lot 1 & 2, District Lot 135, ODYD, Strata Plan EPS8373, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form V	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
28.	2935 - 2939 Richter Street	Strata Lot 1 & 2, District Lot 135, ODYD, Strata Plan KAS1078, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form 1	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
29.	2927 – 2929 Richter Street	Strata Lot 1 & 2, District Lot 135, ODYD, Strata Plan KAS2494, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form V	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
30.	2919 – 2921 Richter Street	Strata Lot 1 & 2, District Lot 135, ODYD, Strata Plan KAS1256, Together with an interest in the common property in proportion to the unit	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.

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No.	Address	Legal Description	OCP FLU Details	Reason for Change
		entitlement of the strata lot shown on Form 1		
31.	2909 – 2911 Richter Street	Strata Lot 1 & 2, District Lot 135, ODYD, Strata Plan KAS1184, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form 1	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
32.	3094 - 3096 Lowe Court	Lot A, District Lot 135, ODYD, Plan 34922	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
33.	3086 Lowe Court	Lot B, District Lot 135, ODYD, Plan 34922	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
34.	3076 Lowe Court	Lot 12, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
35.	3064 - 3066 Lowe Court	Lot 13, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
36.	3056 Lowe Court	Lot 14, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
37.	3046 Lowe Court	Lot 15, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to

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No.	Address	Legal Description	OCP FLU Details	Reason for Change
			designation to the UC – Urban Centre designation	remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
38.	3036 Lowe Court	Lot 16, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
39.	3026 Lowe Court	Lot 17, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
40.	3016 Lowe Court	Lot 1, District Lot 135, ODYD, Plan 38814	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
41.	3006 Lowe Court	Lot 2, District Lot 135, ODYD, Plan 38814	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
42.	2996 Lowe Court	Lot 3, District Lot 135, ODYD, Plan 38814	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
43.	2984 - 2986 Lowe Court	Strata Lot 1 & 2, District Lot 135, ODYD, Strata Plan KAS2673, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form V	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
44.	2976 Lowe Court	Lot 5, District Lot 135, ODYD, Plan 38814	Amend from the EDINST – Education / Institutional	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to

No.	Address	Legal Description	OCP FLU Details	Reason for Change
			designation to the UC – Urban Centre designation	remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
45.	2977 Lowe Court	Lot 6, District Lot 135, ODYD, Plan 38814	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
46.	2987 Lowe Court	Lot 7, District Lot 135, ODYD, Plan 38814	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
47.	2997 Lowe Court	Lot 8, District Lot 135, ODYD, Plan 38814	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
48.	3007 Lowe Court	Lot 9, District Lot 135, ODYD, Plan 38814	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
49.	3015 - 3017 Lowe Court	Lot 10, District Lot 135, ODYD, Plan 38814	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
50.	3027 Lowe Court	Lot 1, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
51.	3037 Lowe Court	Lot 2, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
52.	3047 Lowe Court	Lot 3, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to

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No.	Address	Legal Description	OCP FLU Details	Reason for Change
			designation to the UC – Urban Centre designation	remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
53.	3057 Lowe Court	Lot 4, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
54.	3067 Lowe Court	Lot 5, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
55.	3077 Lowe Court	Lot 6, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
56.	3087 Lowe Court	Lot 7, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
57.	3095 - 3097 Lowe Court	Strata Lot 1 & 2, District Lot 135, ODYD, Strata Plan KAS315, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form 1	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
58.	1160 KLO Road	Lot 9, District Lot 135, ODYD, Plan 30518	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.

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No.	Address	Legal Description	OCP FLU Details	Reason for Change
59.	3098 Gordon Drive	Lot A, District Lot 135, ODYD, Plan 14283, except plan H16127	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
60.	3090 Gordon Drive	Lot A, District Lot 135, ODYD, Plan 28381, except plan H16127	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
61.	3080 Gordon Drive	Lot 3, District Lot 135, ODYD, Plan 23000, Except Plan H16127	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
62.	3070 Gordon Drive	Lot 2, District Lot 135, ODYD, Plan 23000, except plan H16127	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
63.	3060 Gordon Drive	Lot 1, District Lot 135, ODYD, Plan 23000, except plan H16127	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
64.	3050 - 3054 Gordon Drive	Strata Lot 1 & 2, District Lot 135, ODYD, Strata Plan KAS1320, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form 1	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
65.	3020 Gordon Drive	Lot A, District Lot 135, ODYD, Plan 21945	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.


No.	Address	Legal Description	OCP FLU Details	Reason for Change
66.	3010 Gordon Drive	Lot B, District Lot 135, ODYD, Plan 21945	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
67.	2930 Gordon Drive	Lot 1, District Lot 135, ODYD, Plan 38307	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
68.	2922 Gordon Drive	Lot 11, District Lot 135, ODYD, Plan 38814	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
69.	2910 Gordon Drive	Lot 4, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
70.	2900 Gordon Drive	Lot 3, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
71.	2896 Gordon Drive	Lot 2, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
72.	2890 Gordon Drive	Lot A, District Lot 135, ODYD, Plan 17712	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
73.	2880 Gordon Drive	Lot 2, District Lot 135, ODYD, Plan 17457	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.

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No.	Address	Legal Description	OCP FLU Details	Reason for Change
74.	2860 Gordon Drive	Lot 1, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
75.	2840 Gordon Drive	Lot A, District Lot 135, ODYD, Plan 26038	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
76.	2830 Gordon Drive	Lot 25, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
77.	1195 Raymer Avenue	Lot A, District Lot 135, ODYD, Plan 11528	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
78.	2805 Bouvette Street	Lot B, District Lot 135, ODYD, Plan 11528	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
79.	2835 - 2837 Bouvette Street	Lot 24, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
80.	2845 Bouvette Street	Lot 23, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
81.	2855 Bouvette Street	Lot 5, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.

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No.	Address	Legal Description	OCP FLU Details	Reason for Change
82.	2865 Bouvette Street	Lot 6, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
83.	2875 Bouvette Street	Lot 7, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
84.	2885 Bouvette Street	Lot 8, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
85.	2901 Bouvette Street	Lot 9, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
86.	2905 Bouvette Street	Lot 10, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
87.	2909 Bouvette Street	Lot 11, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
88.	2913 Bouvette Street	Lot 12, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
89.	2916 Bouvette Street	Lot 13, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.

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No.	Address	Legal Description	OCP FLU Details	Reason for Change
90.	2912 Bouvette Street	Lot B, District Lot 135, ODYD, Plan 35023	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
91.	2908 Bouvette Street	Lot A, District Lot 135, ODYD, Plan 35023	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
92.	2904 Bouvette Street	Lot 16, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
93.	2890 Bouvette Street	Lot 17, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
94.	2880 Bouvette Street	Lot 18, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
95.	2870 Bouvette Street	Lot 19, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
96.	2860 Bouvette Street	Lot 20, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
97.	2850 Bouvette Street	Lot 21, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.

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No.	Address	Legal Description	OCP FLU Details	Reason for Change
98.	2834 - 2842 Bouvette Street	Lot 22, District Lot 135, ODYD, Plan 33569	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
99.	1175 -1179 Raymer Avenue	Lot 1, District Lot 135, ODYD, Plan 24364, except plan 45674	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.
100.	1165 Raymer Avenue	Lot 2, District Lot 135, ODYD, Plan 24364	Amend from the EDINST – Education / Institutional designation to the UC – Urban Centre designation	Align lots within Urban Centre boundary to the Urban Centre future land use designation as there is no need to remain EDINST – Educational / Institutional without the need for Okanagan College expansion.

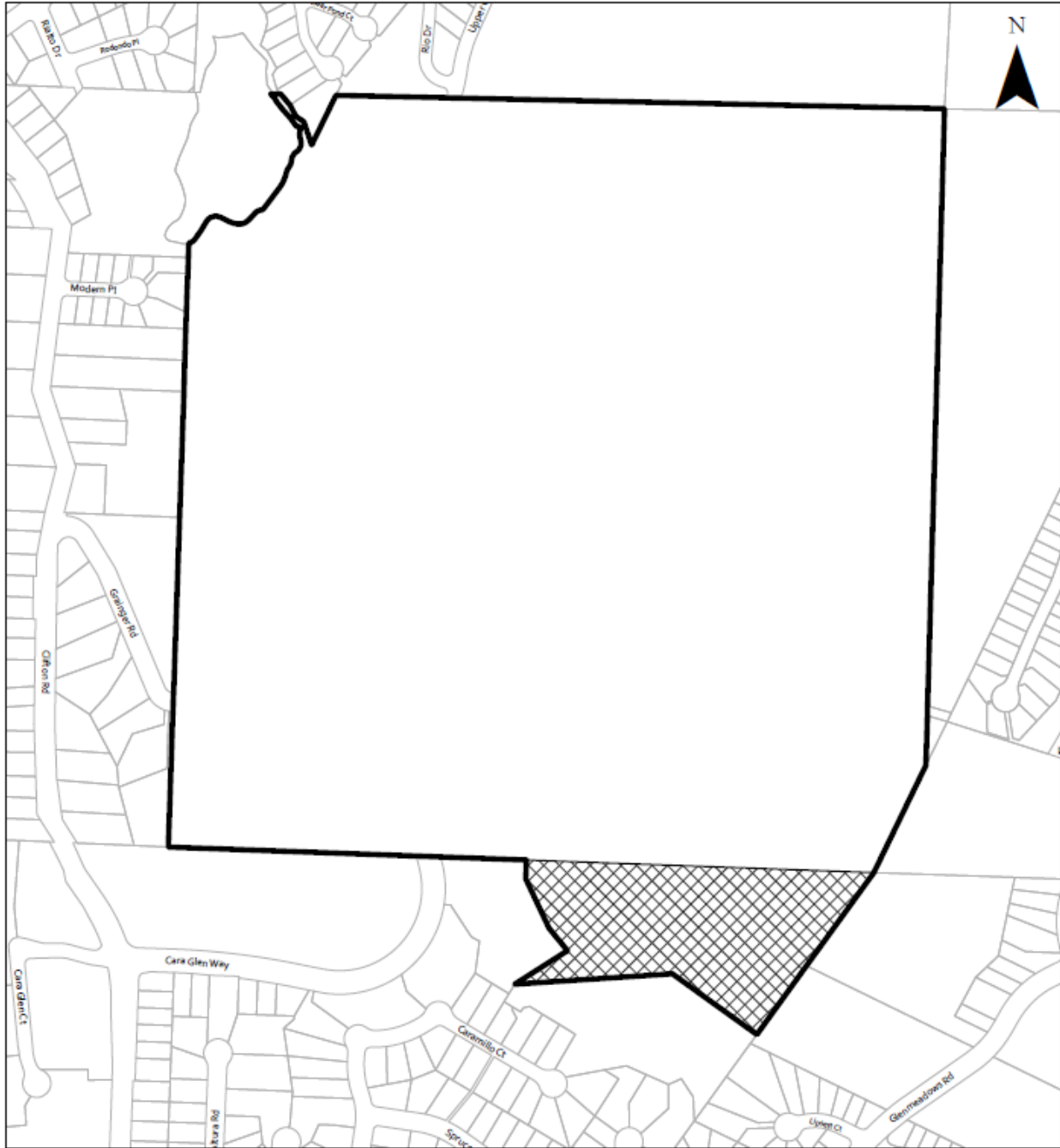
SCHEDULE _____ **A**

This forms part of application
OCP24-0013



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City of
Kelowna
DEVELOPMENT PLANNING




Map 'A' (E OF) Grainger Road
File: OCP24-0013

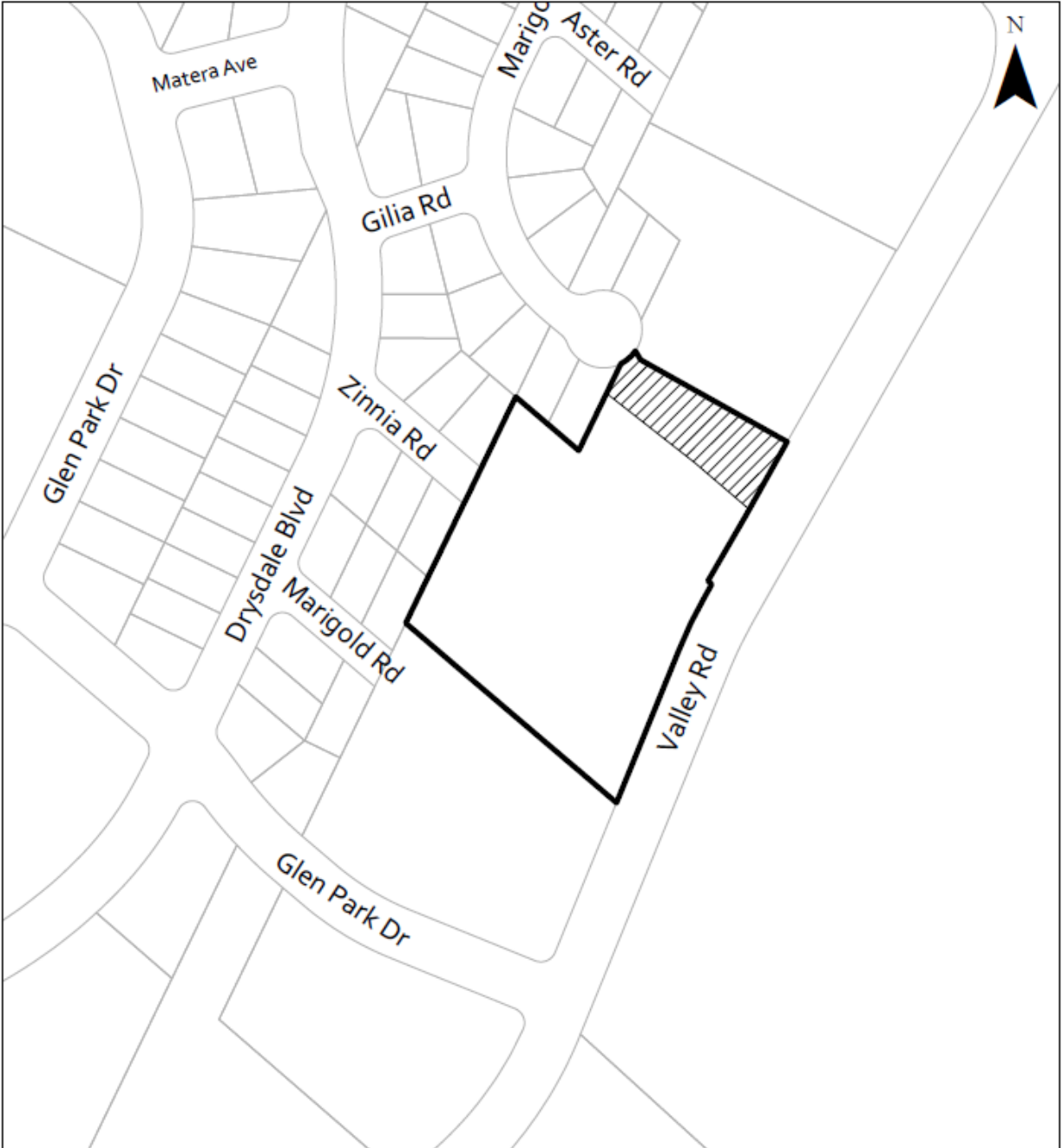
-  Subject Property
-  From C-NHD - Core Area Neighbourhood to NAT - Natural Area




This map is for general information only.
 The City of Kelowna does not guarantee its accuracy. All information should be verified.
 Rev. Sunday, January 12, 2025




SCHEDULE		A
This forms part of application # OCP24-0013		
Planner Initials	AC	 City of Kelowna DEVELOPMENT PLANNING



**Map 'B' 307 Glen Park Drive
File: OCP24-0013**

 Subject Property

 From EDINST - Education / Institutional to C-NHD - Core Area Neighbourhood



This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.

0 2.5 5 10 15 20 25 Metres

Rev. Sunday, January 12, 2025

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OCP24-0013

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City of
Kelowna

OCP 24-0013 Multiple Addresses

OCP Mapping Amendments

Purpose

- ▶ To amend the Official Community Plan Map 3.1 by changing the Future Land Use classification of 100 parcels as described in Schedule 'A'

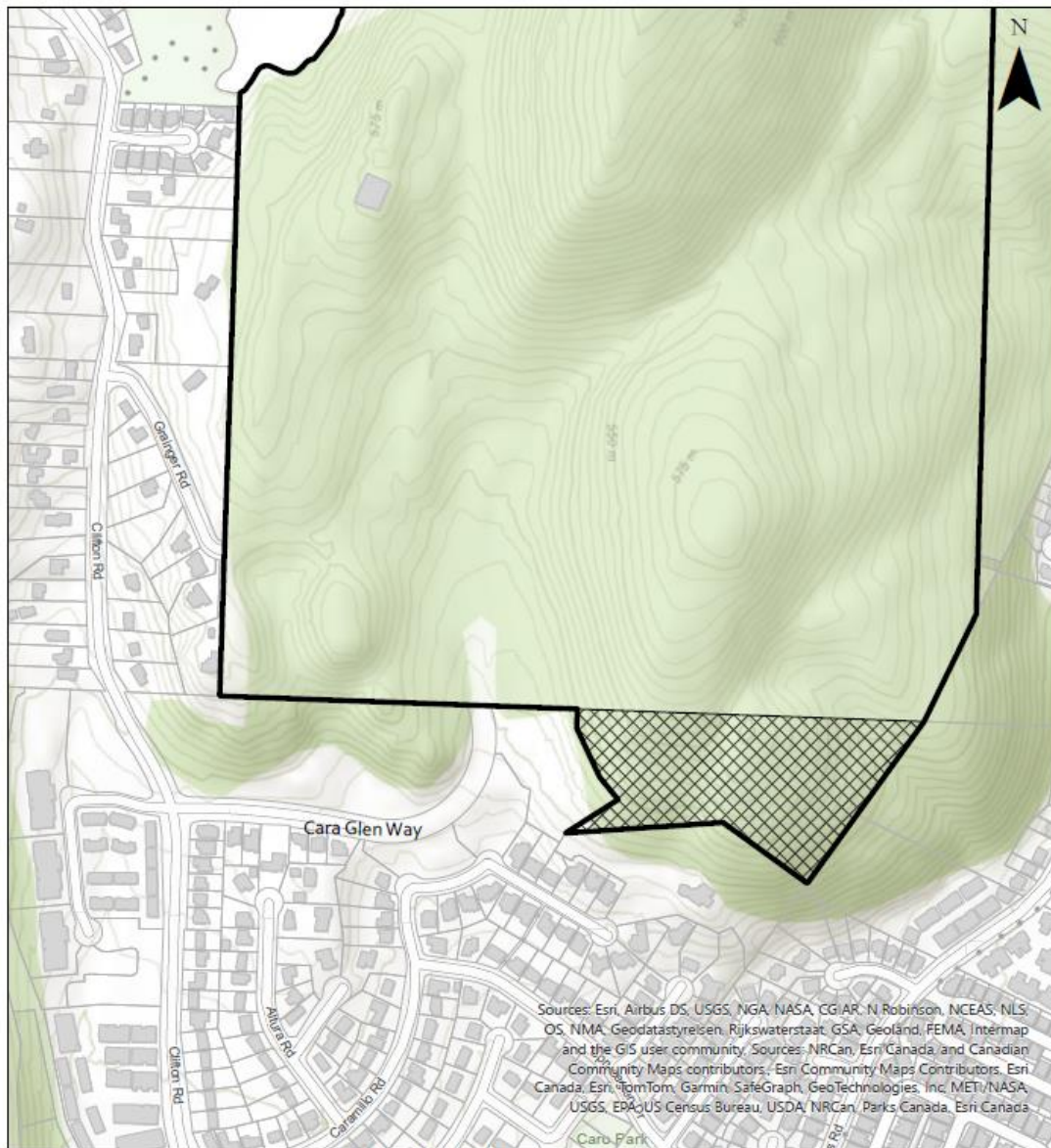
OCP Categories

Table: OCP Mapping Categories

<u>Number</u>	<u>Category</u>	<u>Number of Lots Affected</u>
1.	Administrative/Boundary	3
2.	FLU surrounding Okanagan College	97
	Total	100

OCP FLU Amendments

Administrative/Boundary			
No	Address	OCP FLU Details	Reason for Change
1.	(E OF) Grainger Road	Amend a portion from C-NHD – Core Area Neighbourhood designation to NAT – Natural Area designation as per Map 'A'	Amend FLU designation to reflect accurate boundaries of Knox Mountain Park East (parkland added through development).



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyreisen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community. Sources: NRCan, Esri Canada, and Canadian Community Maps contributors. Esri Community Maps Contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA/US Census Bureau, USDA, NRCan, Parks Canada, Esri Canada

Map 'A' (E OF) Grainger Road
File: OCP24-0013

-  Subject Property
-  From C-NHD - Core Area Neighbourhood to NAT - Natural Area

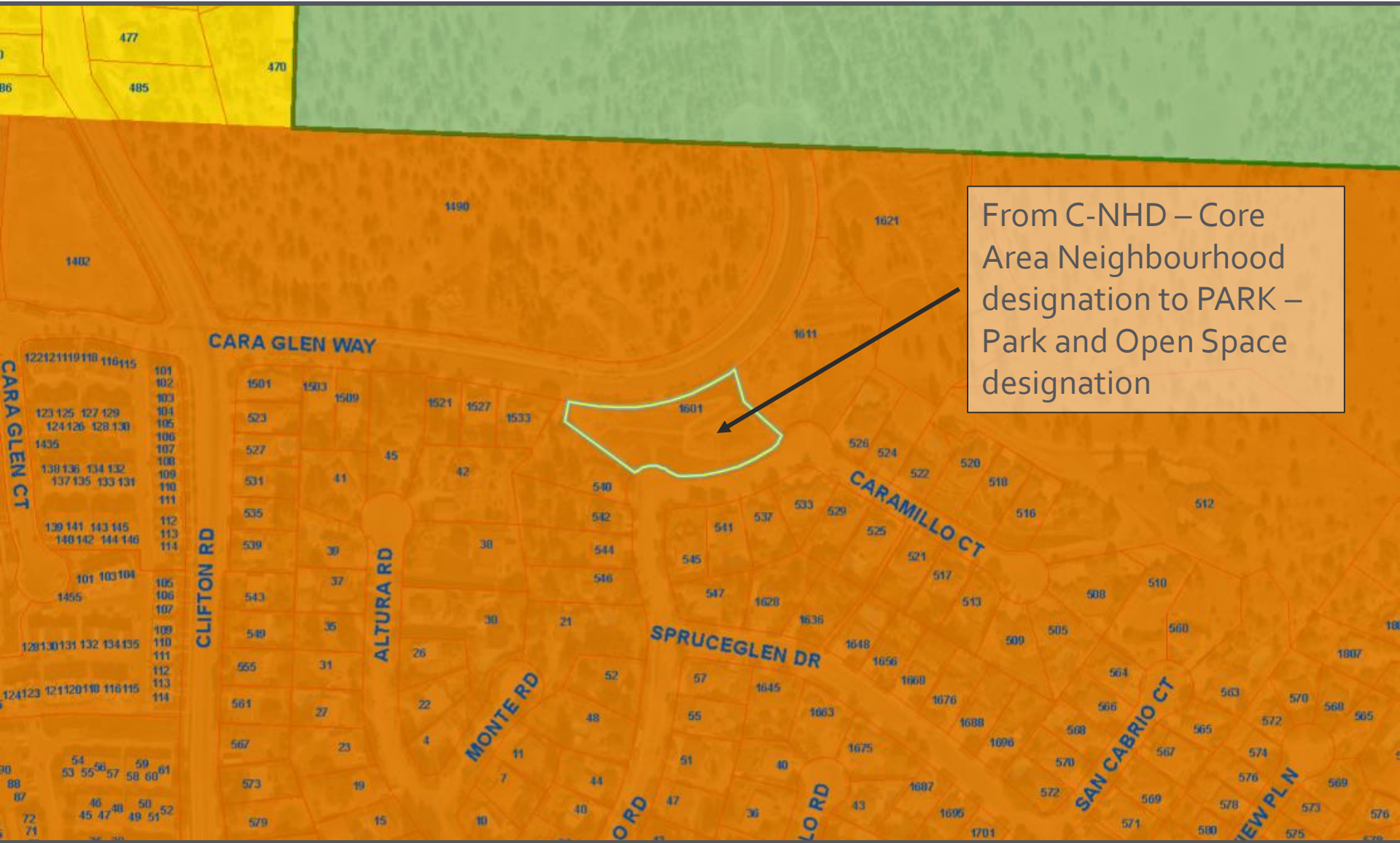


This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.
 Rev. Monday, November 25, 2024



OCP FLU Amendments

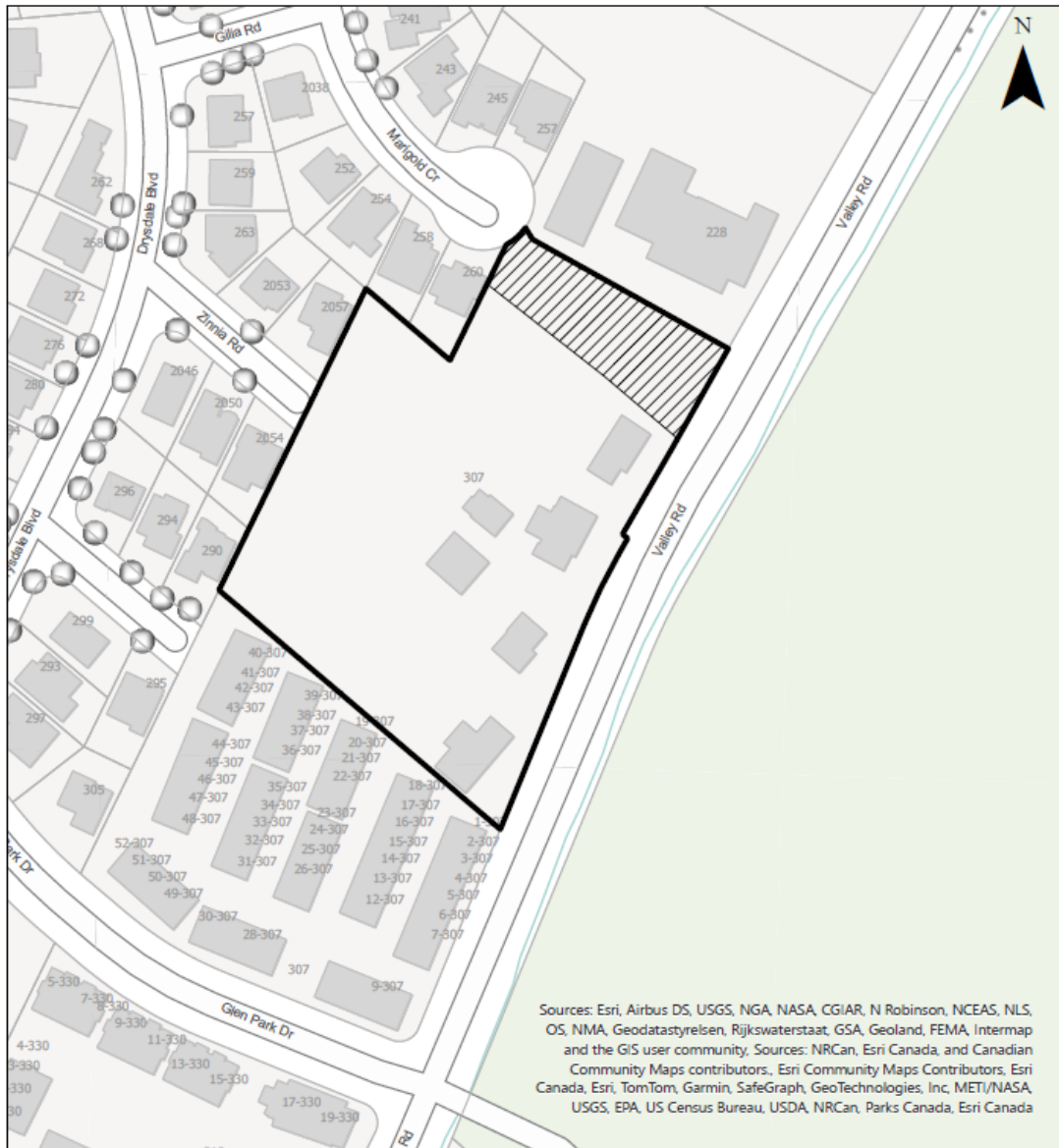
Administrative/Boundary			
No	Address	OCP FLU Details	Reason for Change
2.	1601 Cara Glen Way	Amend C-NHD – Core Area Neighbourhood designation to PARK – Park and Open Space designation	Amend FLU designation to reflect City owned parkland parcel contributed by developer. The parcel is already zoned P3.



From C-NHD – Core Area Neighbourhood designation to PARK – Park and Open Space designation

OCP FLU Amendments

Administrative Fixes			
No	Address	OCP FLU Details	Reason for Change
3.	307 Glen Park Drive	Amend split designated C-NHD – Core Area Neighbourhood designation and EDINST – Education / Institutional designation to C-NHD – Core Area Neighbourhood designation as per Map 'B'	Fix mapping to align Institutional FLU with the adjacent institutional lot.



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community. Sources: NRCan, Esri Canada, and Canadian Community Maps contributors, Esri Community Maps Contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, US Census Bureau, USDA, NRCan, Parks Canada, Esri Canada

Map 'B' 307 Glen Park Drive
File: OCP24-0013

- Subject Property
- From EDINST - Education / Institutional to C-NHD - Core Area Neighbourhood



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 Rev. Monday, November 25, 2024




OCP FLU Amendments

FLU Surrounding Okanagan College			
No	Addresses	OCP FLU Details	Reason for Change
1.	97 Parcels	Amend from EDINST – Education / Institutional designation to UC – Urban Centre designation as per Map 'C'	Align lots within Urban Centre boundary to the Urban Centre FLU designation as there is no need to remain EDINST – Educational / Institutional without planned Okanagan College expansion.



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NISDF, OS, NIMA, Geodatasysteisen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community. Sources: NRCan, Esri Canada, and Canadian Community Maps contributors. Esri Community Maps Contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, US Census Bureau, USDA, NRCan, Parks Canada, Esri Canada

Map 'C' 97 Parcels in Pandosy Urban Centre
File: OCP24-0013

-  Subject Properties
-  From EDINST - Education / Institutional to UC - Urban Centre



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 Rev. Monday, November 15, 2024



Staff Recommendation

- ▶ Staff recommend **support** for the proposed OCP Amendments and recommend the bylaw be forwarded to Public Hearing
 - ▶ Mapping / boundary adjustments
 - ▶ Conform to provincial legislation

CITY OF KELOWNA

BYLAW NO. 12743

Official Community Plan Amendment No. OCP24-0013 Multiple Addresses

A bylaw to amend the "*Kelowna 2040* – Official Community Plan Bylaw No. 12300".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- 1) THAT Map 3.1 – **Future Land Use** of "*Kelowna 2040* – Official Community Plan Bylaw No. 12300" be amended by changing the Future Land Use designation of:
 1. A portion of Lot 4 Section 32 Township 26 ODYD Plan EPP129429 located on (E OF) Grainger Road, Kelowna, BC from the C-NHD – Core Area Neighbourhood designation to the NAT – Natural Areas designation as shown on Map 'A' attached to and forming part of this bylaw;
 2. Lot 1 Section 32 Township 26 ODYD Plan EPP129429 located on Cara Glen Way, Kelowna, BC from the C-NHD – Core Area Neighbourhood designation to the PARK – Park and Open Space designation;
 3. A portion of Lot 1 Section 4 Township 23 and of Section 33 Township 26 ODYD Plan EPP111632 located on Glen Park Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the C-NHD – Core Area Neighbourhood designation as shown on Map 'B' attached to and forming part of this bylaw;
 4. Lot D District Lot 135 ODYD Plan 26418 located on KLO Road, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
 5. Lot C District Lot 135 ODYD Plan 26418 located on KLO Road, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
 6. Lot B District Lot 135 ODYD Plan 26418 located on KLO Road, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
 7. Lot A District Lot 135 ODYD Plan 26418 located on KLO Road, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
 8. Lot 60 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
 9. Lot 59 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;

10. Lot 58 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
11. Strata Lot 1, 2 and 3 District Lot 135 ODYD Strata Plan EPS5937 Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form V located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
12. Strata Lot 1, 2, 3, and 4 District Lot 135 ODYD Strata Plan EPS5936 Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form V located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
13. Lot 55 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
14. Lot 54 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
15. Lot 53 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
16. Lot 52 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
17. Lot 51 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
18. Lot 50 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
19. Lot 49 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
20. Lot 48 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
21. Lot 47 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
22. Strata Lot 1, 2, and 3 District Lot 135 ODYD Strata Plan EPS10599 Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form V located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
23. Lot 45 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;

24. Lot 44 District Lot 135 ODYD Plan 22856 located on Conlin Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
25. Lot B District Lot 135 ODYD Plan 27177 located on KLO Road, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
26. Strata Lot 1 and 2 District Lot 135 ODYD Strata Plan K333 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1 located on KLO Road, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
27. Strata Lot 1 and 2 District Lot 135 ODYD Strata Plan EPS8373 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V located on Richter Street, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
28. Strata Lot 1 and 2 District Lot 135 ODYD Strata Plan KAS1078 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1 located on Richter Street, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
29. Strata Lot 1 and 2 District Lot 135 ODYD Strata Plan KAS2494 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V located on Richter Street, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
30. Strata Lot 1 and 2 District Lot 135 ODYD Strata Plan KAS1256 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1 located on Richter Street, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
31. Strata Lot 1 and 2 District Lot 135 ODYD Strata Plan KAS1184 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1 located on Richter Street, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
32. Lot A District Lot 135 ODYD Plan 34922 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
33. Lot B District Lot 135 ODYD Plan 34922 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
34. Lot 12 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
35. Lot 13 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;

36. Lot 14 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
37. Lot 15 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
38. Lot 16 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation
;
39. Lot 17 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
40. Lot 1 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
41. Lot 2 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
42. Lot 3 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
43. Strata Lot 1 and 2 District Lot 135 ODYD Strata Plan KAS2673 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
44. Lot 5 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
45. Lot 6 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
46. Lot 7 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
47. Lot 8 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
48. Lot 9 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
49. Lot 10 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
50. Lot 1 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
51. Lot 2 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;

52. Lot 3 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
53. Lot 4 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
54. Lot 5 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
55. Lot 6 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
56. Lot 7 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
57. Strata Lot 1 and 2 District Lot 135 ODYD Strata Plan K315 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1 located on Lowe Court, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
58. Lot 9 District Lot 135 ODYD Plan 30518 located on KLO Road, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
59. Lot A District Lot 135 ODYD Plan 14283 Except Plan H16127 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
60. Lot A District Lot 135 ODYD Plan 28381 Except Plan H16127 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
61. Lot 3 District Lot 135 ODYD Plan 23000 Except Plan H16127 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
62. Lot 2 District Lot 135 ODYD Plan 23000 Except Plan H16127 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
63. Lot 1 District Lot 135 ODYD Plan 23000 Except Plan H16127 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
64. Strata Lot 1 and 2 District Lot 135 ODYD Strata Plan KAS1320 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;

65. Lot A District Lot 135 ODYD Plan 21945 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
66. Lot B District Lot 135 ODYD Plan 21945 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
67. Lot 1 District Lot 135 ODYD Plan 38307 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
68. Lot 11 District Lot 135 ODYD Plan 38814 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
69. Lot 4 District Lot 135 ODYD Plan 33569 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
70. Lot 3 District Lot 135 ODYD Plan 33569 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
71. Lot 2 District Lot 135 ODYD Plan 33569 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
72. Lot A District Lot 135 ODYD Plan 17712 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
73. Lot 2 District Lot 135 ODYD Plan 17457 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
74. Lot 1 District Lot 135 ODYD Plan 33569 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
75. Lot A District Lot 135 ODYD Plan 26038 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
76. Lot 25 District Lot 135 ODYD Plan 33569 located on Gordon Drive, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
77. Lot A District Lot 135 ODYD Plan 11528 located on Raymer Avenue, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
78. Lot B District Lot 135 ODYD Plan 11528 located on Bouvette Street, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
79. Lot 24 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
80. Lot 23 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;

- 98. Lot 22 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation;
 - 99. Lot 1 District Lot 135 ODYD Plan 24364 Except Plan KAP45674 located on Raymer Avenue, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation; and
 - 100. Lot 2 District Lot 235 ODYD Plan 24364 located on Raymer Avenue, Kelowna, BC from the EDINST – Education / Institutional designation to the UC – Urban Centre designation.
- 2) This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 24th day of February, 2025.

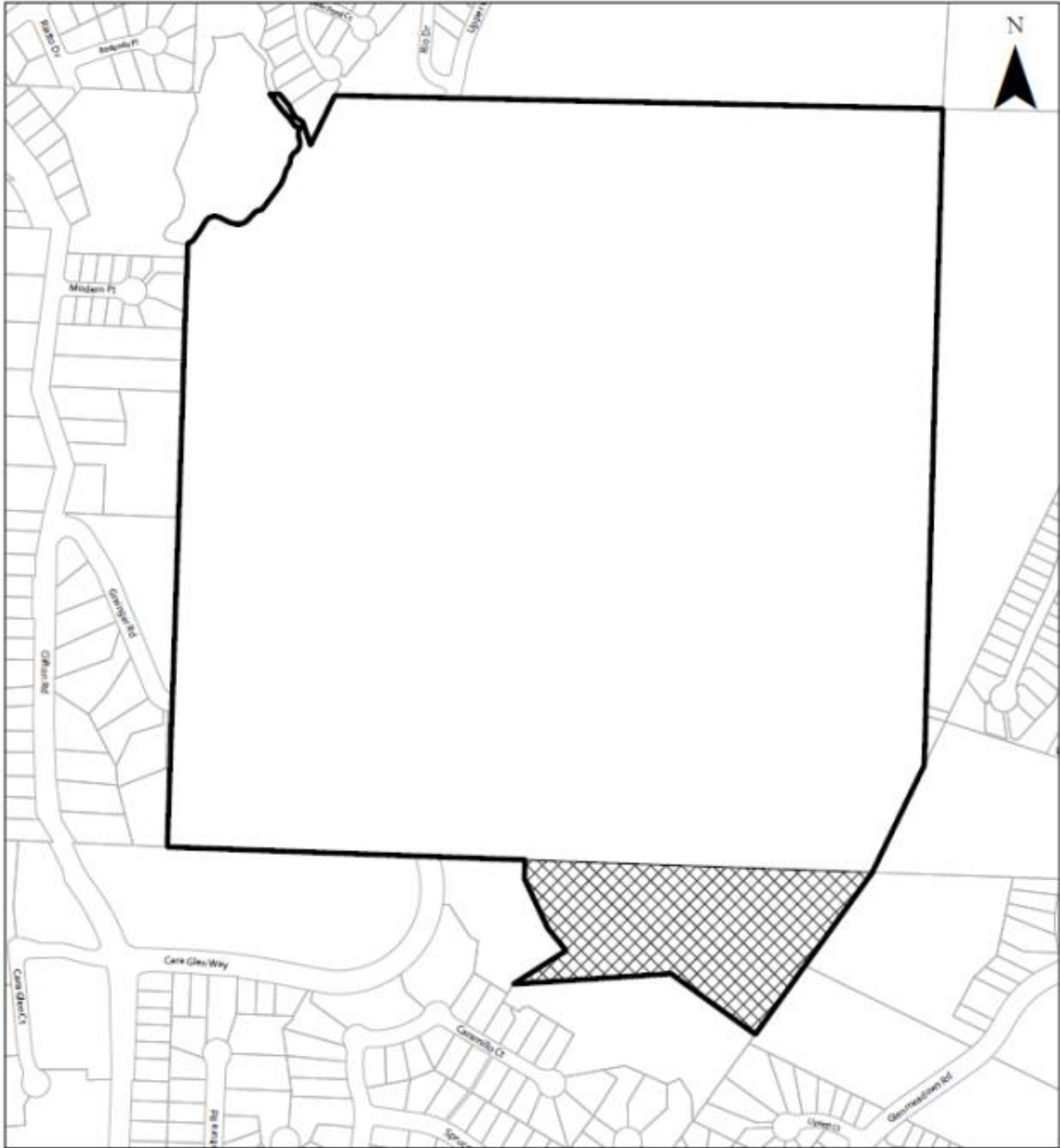
Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



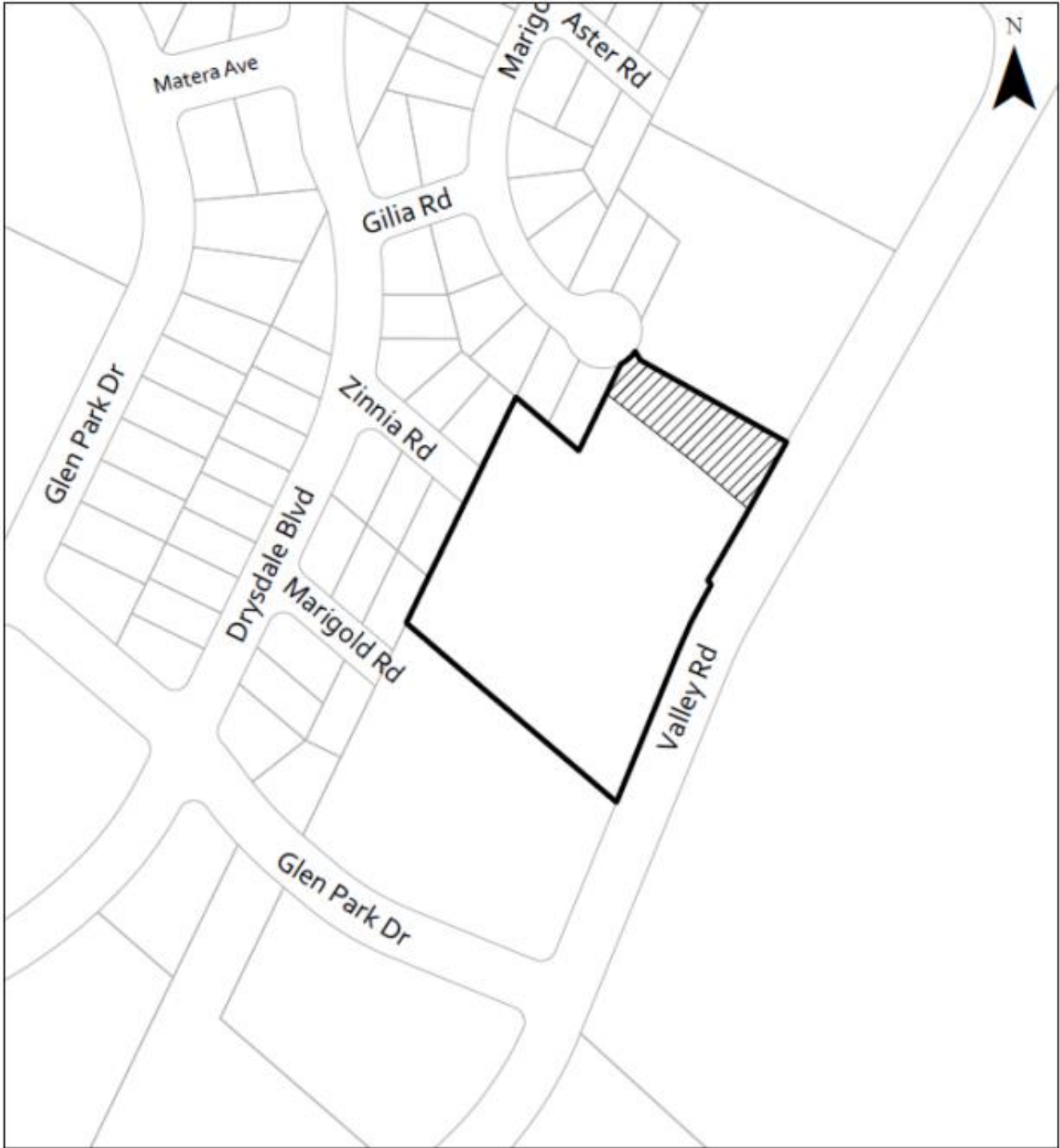
Map 'A' (E OF) Grainger Road
File: OCP24-0013

-  Subject Property
-  From C-NHD - Core Area Neighbourhood to NAT - Natural Area



This map is for general information only.
 The City of Kelowna does not guarantee its accuracy. All information should be verified.
 Rev. Sunday, January 12, 2025

0 2.5 5 10 15 20 25 Metres



**Map 'B' 307 Glen Park Drive
File: OCP24-0013**

- Subject Property
- From EDINST - Education / Institutional to C-NHD - Core Area Neighbourhood



This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.
Rev. Sunday, January 12, 2025



REPORT TO COUNCIL REZONING



Date: February 24, 2025
To: Council
From: City Manager
Address: Various
File No.: Z24-0060

	Existing	Proposed
Zone:	Various	Various

1.0 Recommendation

THAT Rezoning Application No. Z24-0060 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of 81 parcels described in Schedule 'A', be considered by Council;
 THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;
 AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure.

2.0 Purpose

To rezone 12 parcels for administrative updates and to rezone 69 parcels around the Okanagan College Transit Oriented Area to align zoning with provincial legislation.

3.0 Development Planning

Staff have committed to continual improvements to the Zoning Bylaw and the Official Community Plan as priorities are clarified or issues arise. This proposed amendment is to update the zoning classification of 81 parcels. These parcels can be divided into two categories. The first includes administrative fixes to 12 parcels. These generally occur when a past development or subdivision misaligns zoning and OCP Future Land Use (FLU) boundaries. See Table 3.1 Executive Summary for further details for each of the 12 parcels.

The remaining 69 parcels surround Okanagan College and are zoned MF1 – Infill Housing. Okanagan College does not have plans to acquire or expand into these areas; therefore, the parcels should be rezoned UC5 – Pandosy Urban Centre Zone, as these lots are within the Pandosy Urban Centre. Approximately two-thirds of the lots are within a provincially designated transit exchange. An accompanying OCP mapping amendment and Zoning Bylaw text amendment are proposed for the same area to reflect the street context and redevelopment potential.

No.	Address	Rezoning Details	Reason for Change
1.	(E OF) Grainger Road	Rezone portion of the lot from RR1 – Large Lot Rural Residential & MF2 – Townhouse Housing to P3	Additional land added to parkland through development. Rezone to P3 to match rest of parcel.

Table 3.1 Executive Summary for the 12 Parcel Administrative Fixes Identified in Schedule 'A'			
No.	Address	Rezoning Details	Reason for Change
		– Parks and Open Space as per Map 'A'	
2.	605 Fraser Road	Rezone property from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone	This property had a successful rezoning to MF2 in 2023. The Zoning Bylaw Amendments to implement the provincial housing legislation overwrote the zoning. The property should be MF2.
3.	9640-9670 McCarthy Road	Rezone property from the I2 – General Industrial & I3 – Heavy Industrial zone to the I2 – General Industrial zone as per Map 'B'	This property had a successful rezoning in January 2023 to the I2 – General Industrial zone. The Zoning Bylaw Amendments to implement the provincial housing legislation overwrote the zoning. The property should be I2.
4.	1550 Noble Court	Rezone property from the P2 – Education and Minor Institutional zone and the MF1 – Infill Housing zone to the MF3r – Apartment Housing Rental Only zone as per Map 'C'	This property had a successful rezoning to MF3r in 2023 and the Zoning Bylaw Amendments to implement the provincial housing overwrote the zoning. The property should be MF3r.
5.	1630 Glenmore Road North	Rezone portion of the lot from RU1 – Large Lot Housing to RU5 – Multiple Suburban Housing as per Map 'E'	Lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. Servicing construction is in progress and this zone best matches the original vision and servicing plan.
6.	1850 Begbie Road	Rezone portion of the lot from RU1 – Large Lot Housing to RU5 – Multiple Suburban Housing as per Map 'E' and Map 'F'	Portion of lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. Servicing construction is in progress and this zone best matches the original vision and servicing plan.
7.	225 Clifton Road North	Rezone portion of the lot from RU1 – Large Lot Housing to RU5 – Multiple Suburban Housing as per Map 'F'	Portion of lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. This zone best matches the original vision and intended servicing plan.
8.	(W OF) Union Road	Rezone portion of the lot from RU1 – Large Lot Housing to RU5 – Multiple Suburban Housing as per Map 'F'	Portion of lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. This zone best matches the original vision and intended servicing plan.
9.	185 Clifton Road North	Rezone portion of the lot from RU1 – Large Lot	Portion of lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw

Table 3.1 Executive Summary for the 12 Parcel Administrative Fixes Identified in Schedule 'A'			
No.	Address	Rezoning Details	Reason for Change
		Housing to RU5 – Multiple Suburban Housing as per Map 'F'	8000 and was always intended for cluster housing. This zone best matches the original vision and intended servicing plan.
10.	1360 KLO Road	Rezone portion of the lot from MF1 – Infill Housing to MF3 – Apartment Housing as per Map 'G'	This portion of property was incorrectly rezoned with the SSMUH provincial implementation and should be MF3 – Apartment Housing to reflect the actual use on the property.
11.	2160 Tower Ranch Boulevard	Rezone portion of the lot from P3 – Parks and Open Space to RU2 – Medium Lot Housing as per Map 'H'	This portion of property was incorrectly rezoned with the SSMUH provincial implementation and should be RU2- Medium Lot Housing to reflect the proposed lot layout plan for the new subdivision.
12.	300-350 Beaver Lake Road	Rezone portion of the lot from I3 – Heavy Industrial to I2 – General Industrial as per Map 'I'	This portion of property was incorrectly rezoned with the SSMUH provincial implementation and should be I2 – General Industrial to reflect the existing uses on the subject property.

4.0 Technical Comments

Not Applicable

Report prepared by: Adam Cseke, Development Planner Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Sustainability & Development Services

Attachments:

Schedule 'A': List of Mapping Amendments for various properties

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

Schedule A - List of Mapping Amendments


Zoning Bylaw 12375

No.	Address	Legal Description	Rezoning Details	Reason for Change
1.	(E OF) Grainger Road	Lot 4, Section 32, Township 26, ODYD, Plan EPP129429	Rezone portion of the lot from the RR1 – Large Lot Rural Residential zone & the MF2 – Townhouse Housing zone to the P3 – Parks and Open Space zone as shown on Map 'A'	Additional land added to park through development. Rezone to P3 to match rest of parcel.
2.	605 Fraser Road	Lot 1, Section 26, Township 26, ODYD, Plan EPP121151	Rezone property from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone	This property had a successful rezoning to MF2 in 2023. The Zoning Bylaw Amendments to implement the provincial housing legislation mistakenly overwrote the zoning and the property should be MF2.
3.	9640-9670 McCarthy Road	Strata Lots 1-37, Sections 10 and 11, Township 20, ODYD, Strata Plan EPS10689, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form V	Rezone property from the I2 – General Industrial zone & the I3 – Heavy Industrial zone to the I2 – General Industrial zone as shown on Map 'B'	This property had a successful rezoning in January 2023 to the I2 – General Industrial zone. The Zoning Bylaw Amendments to implement the provincial housing legislation mistakenly overwrote the zoning and the property should be I2.
4.	1550 Noble Court	Lot 8, Section 20, Township 26, ODYD, Plan 32159 Except Plan EPP128203	Rezone property from the P2 – Education and Minor Institutional zone and the MF1 – Infill Housing zone to the MF3r – Apartment Housing Rental Only zone as shown on Map 'C'	This property had a successful rezoning to MF3r in 2023 and the Zoning Bylaw Amendments to implement the provincial housing mistakenly overwrote the zoning and the property should be MF3r.

SCHEDULE A

This forms part of application
Z24-0060

Planner
Initials AC



City of Kelowna
DEVELOPMENT PLANNING

No.	Address	Legal Description	Rezoning Details	Reason for Change
5.	3094 - 3096 Lowe Court	Lot A, District Lot 135, ODYD, Plan 34922	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
6.	3086 Lowe Court	Lot B, District Lot 135, ODYD, Plan 34922	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
7.	3076 Lowe Court	Lot 12, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
8.	3064 - 3066 Lowe Court	Lot 13, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
9.	3056 Lowe Court	Lot 14, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
10.	3046 Lowe Court	Lot 15, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
11.	3036 Lowe Court	Lot 16, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
12.	3026 Lowe Court	Lot 17, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
13.	3016 Lowe Court	Lot 1, District Lot 135, ODYD, Plan 38814	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
14.	3006 Lowe Court	Lot 2, District Lot 135, ODYD, Plan 38814	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.

SCHEDULE A

This forms part of application
Z24-0060

Planner Initials AC




City of
Kelowna
DEVELOPMENT PLANNING

No.	Address	Legal Description	Rezoning Details	Reason for Change
15.	2996 Lowe Court	Lot 3, District Lot 135, ODYD, Plan 38814	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
16.	2984 - 2986 Lowe Court	Strata Lot 1 and 2, District Lot 135, ODYD, Strata Plan KAS2673, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form V	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
17.	2976 Lowe Court	Lot 5, District Lot 135, ODYD, Plan 38814	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
18.	2977 Lowe Court	Lot 6, District Lot 135, ODYD, Plan 38814	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
19.	2987 Lowe Court	Lot 7, District Lot 135, ODYD, Plan 38814	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
20.	2997 Lowe Court	Lot 8, District Lot 135, ODYD, Plan 38814	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
21.	3007 Lowe Court	Lot 9, District Lot 135, ODYD, Plan 38814	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
22.	3015 - 3017 Lowe Court	Lot 10, District Lot 135, ODYD, Plan 38814	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
23.	3027 Lowe Court	Lot 1, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.

SCHEDULE A


This forms part of application
Z24-0060

Planner Initials **AC**




City of
Kelowna
DEVELOPMENT PLANNING

No.	Address	Legal Description	Rezoning Details	Reason for Change
24.	3037 Lowe Court	Lot 2, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
25.	3047 Lowe Court	Lot 3, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
26.	3057 Lowe Court	Lot 4, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
27.	3067 Lowe Court	Lot 5, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
28.	3077 Lowe Court	Lot 6, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
29.	3087 Lowe Court	Lot 7, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
30.	3095 - 3097 Lowe Court	Strata Lot 1 and 2, District Lot 135, ODYD, Strata Plan KAS315, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form 1	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
31.	1160 KLO Road	Lot 9, District Lot 135, ODYD, Plan 30518	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
32.	3098 Gordon Drive	Lot A, District Lot 135, ODYD, Plan 14283, except plan H16127	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.

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No.	Address	Legal Description	Rezoning Details	Reason for Change
33.	3090 Gordon Drive	Lot A, District Lot 135, ODYD, Plan 28381, except plan H16127	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
34.	3080 Gordon Drive	Lot 3, District Lot 135, ODYD, Plan 23000, Except Plan H16127	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
35.	3070 Gordon Drive	Lot 2, District Lot 135, ODYD, Plan 23000, except plan H16127	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
36.	3060 Gordon Drive	Lot 1, District Lot 135, ODYD, Plan 23000, except plan H16127	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
37.	3050 - 3054 Gordon Drive	Strata Lot 1 and 2, District Lot 135, ODYD, Strata Plan KAS1320, Together with an interest in the common property in proportion to the unit entitlement of the strata lot shown on Form 1	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
38.	3020 Gordon Drive	Lot A, District Lot 135, ODYD, Plan 21945	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
39.	3010 Gordon Drive	Lot B, District Lot 135, ODYD, Plan 21945	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
40.	2930 Gordon Drive	Lot 1, District Lot 135, ODYD, Plan 38307	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
41.	2922 Gordon Drive	Lot 11, District Lot 135, ODYD, Plan 38814	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.

SCHEDULE		A
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No.	Address	Legal Description	Rezoning Details	Reason for Change
42.	2910 Gordon Drive	Lot 4, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
43.	2900 Gordon Drive	Lot 3, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
44.	2896 Gordon Drive	Lot 2, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
45.	2890 Gordon Drive	Lot A, District Lot 135, ODYD, Plan 17712	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
46.	2880 Gordon Drive	Lot 2, District Lot 135, ODYD, Plan 17457	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
47.	2860 Gordon Drive	Lot 1, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
48.	2840 Gordon Drive	Lot A, District Lot 135, ODYD, Plan 26038	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
49.	2830 Gordon Drive	Lot 25, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
50.	1195 Raymer Avenue	Lot A, District Lot 135, ODYD, Plan 11528	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
51.	2805 Bouvette Street	Lot B, District Lot 135, ODYD, Plan 11528	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
52.	2835 - 2837 Bouvette Street	Lot 24, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.

No.	Address	Legal Description	Rezoning Details	Reason for Change
53.	2845 Bouvette Street	Lot 23, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
54.	2855 Bouvette Street	Lot 5, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
55.	2865 Bouvette Street	Lot 6, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
56.	2875 Bouvette Street	Lot 7, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
57.	2885 Bouvette Street	Lot 8, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
58.	2901 Bouvette Street	Lot 9, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
59.	2905 Bouvette St	Lot 10, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
60.	2909 Bouvette Street	Lot 11, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
61.	2913 Bouvette Street	Lot 12, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
62.	2916 Bouvette Street	Lot 13, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
63.	2912 Bouvette Street	Lot B, District Lot 135, ODYD, Plan 35023	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.

SCHEDULE A

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Z24-0060

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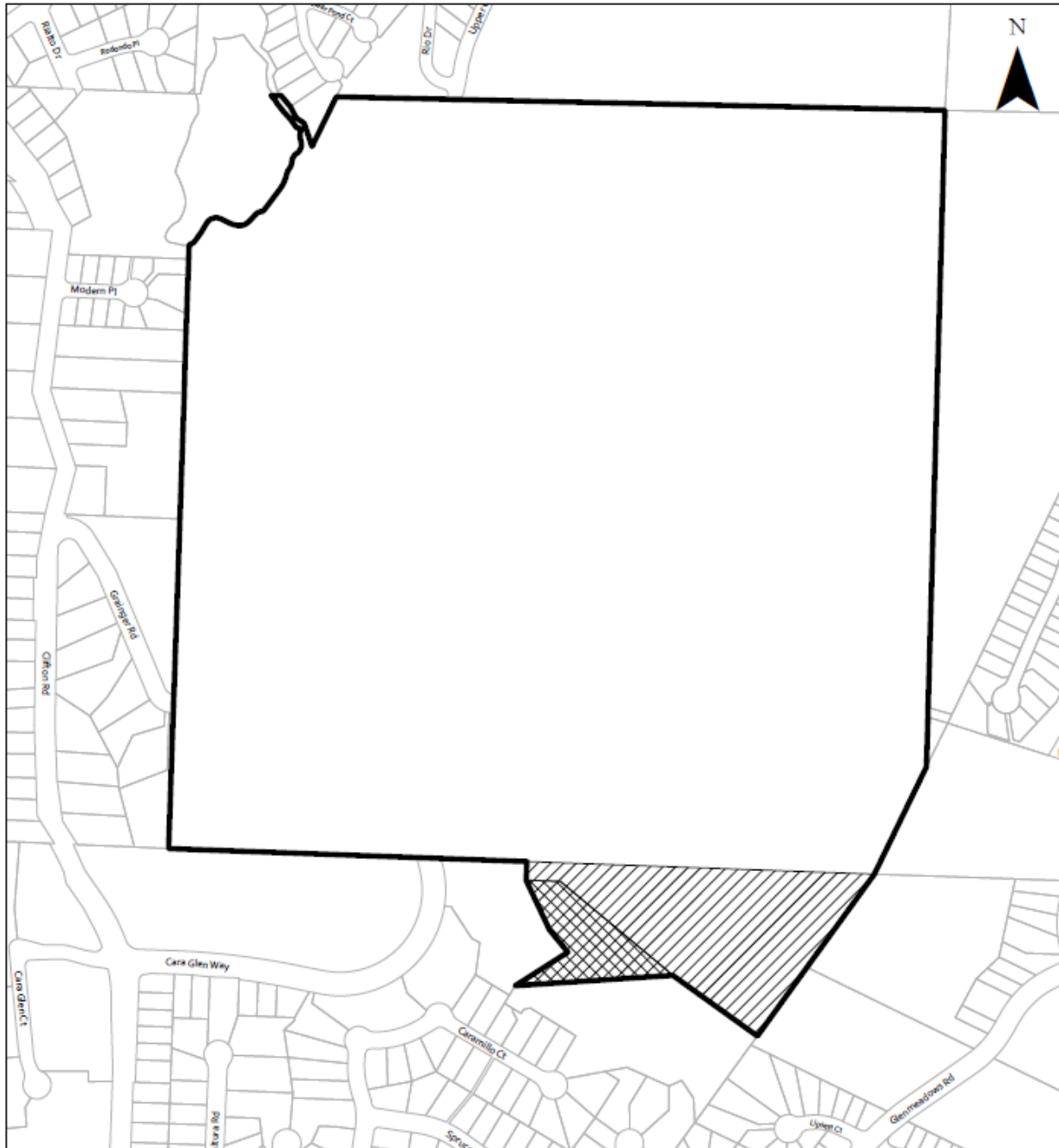
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DEVELOPMENT PLANNING

No.	Address	Legal Description	Rezoning Details	Reason for Change
64.	2908 Bouvette Street	Lot A, District Lot 135, ODYD, Plan 35023	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
65.	2904 Bouvette Street	Lot 16, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
66.	2890 Bouvette Street	Lot 17, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
67.	2880 Bouvette Street	Lot 18, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
68.	2870 Bouvette Street	Lot 19, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
69.	2860 Bouvette Street	Lot 20, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
70.	2850 Bouvette Street	Lot 21, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
71.	2834 - 2842 Bouvette Street	Lot 22, District Lot 135, ODYD, Plan 33569	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
72.	1175 -1179 Raymer Avenue	Lot 1, District Lot 135, ODYD, Plan 24364, except plan 45674	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
73.	1165 Raymer Avenue	Lot 2, District Lot 135, ODYD, Plan 24364	Rezone from the MF1– Infill Housing zone to the UC5– Pandosy Urban Centre zone	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.
74.	1630 Glenmore Road North	The South West ¼, Section 16, Township 23,	Rezone portion of the lot from the RU1 – Large Lot Housing zone to the RU5 –	Lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. Servicing construction is in




No.	Address	Legal Description	Rezoning Details	Reason for Change
		ODYD, Except Plan EPP123935	Multiple Suburban Housing zone as shown on Map 'D'	progress and this zone best matches the original vision and servicing plan.
75.	1850 Begbie Road	Lot A, Section 4, 5, 8, and 9, Township 23, ODYD, Plan 69724, Except Plans 71944, 73768, 75949, 78547, 80107, 81912, 85278, 86750, EPP24895, EPP93548, EPP101624, EPP115845 And EPP123935	Rezone portion of the lot from the RU1 – Large Lot Housing zone to the RU5 – Multiple Suburban Housing zone as shown on Map 'D' and Map 'E'	Portion of lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. Servicing construction is in progress and this zone best matches the original vision and servicing plan.
76.	225 Clifton Road North	Lot D, Section 8, Township 23, ODYD, Plan 75116, Except Plans EPP24895, EPP24897, EPP64871, And EPP77782	Rezone portion of the lot from the RU1 – Large Lot Housing zone to the RU5 – Multiple Suburban Housing zone as shown on Map 'E'	Portion of lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. This zone best matches the original vision and intended servicing plan.
77.	(W OF) Union Road	The North East 1/4 of Section 5, Township 23, ODYD, Except Plans 896, B645, 69724, EPP24895, EPP24897 and EPP64871	Rezone portion of the lot from the RU1 – Large Lot Housing zone to the RU5 – Multiple Suburban Housing zone as shown on Map 'E'	Portion of lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. This zone best matches the original vision and intended servicing plan.
78.	185 Clifton Road North	The North West 1/4 of Section 5, Township 23, ODYD, Except Plans 20895, 88266, EPP24895, EPP24897, EPP66328, EPP64875 and EPP87273	Rezone portion of the lot from the RU1 – Large Lot Housing zone to the RU5 – Multiple Suburban Housing zone as shown on Map 'E'	Portion of lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. This zone best matches the original vision and intended servicing plan.
79.	1360 KLO Road	Lot A, District Lot 131, ODYD, Plan EPP76548	Rezone portion of the lot from the MF1 – Infill Housing zone to the MF3 –	This portion of property was incorrectly rezoned with the SSMUH provincial implementation and should be MF3 – Apartment Housing to reflect the actual use on the property.

No.	Address	Legal Description	Rezoning Details	Reason for Change
			Apartment Housing zone as shown on Map 'F'	
80.	2160 Tower Ranch Boulevard	Lot 4, Section 31, Township 27, ODYD, Plan 80993	Rezone portion of the lot from the P3 – Parks and Open Space zone to the RU2 – Medium Lot Housing zone as shown on Map 'G'	This portion of property was incorrectly rezoned with the SSMUH provincial implementation and should be RU2-Medium Lot Housing to reflect the proposed lot layout plan for the new subdivision.
81.	300-350 Beaver Lake Road	Lot 1, Section 11, Township 20, ODYD, Plan EPP57272 Except Plan EPP109677	Rezone portion of the lot from the I3 – Heavy Industrial zone to the I2 – General Industrial zone as shown on Map 'H'	This portion of property was incorrectly rezoned with the SSMUH provincial implementation and should be I2 – General Industrial to reflect the existing uses on the subject property.


SCHEDULE		A
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**Map 'A' (E OF) Grainger Road
File: Z24-0060**

-  Subject Property
-  From RR1 - Large Lot Rural Residential to P3 - Parks and Open Space
-  From MF2 - Townhouse Housing to P3 - Parks and Open Space

0 2.5 5 10 15 20 25 Metres


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 Rev. Sunday, January 12, 2025

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Map 'B' 9640-9670 McCarthy Road
File: Z24-0060

Subject Property
 From I3 - Heavy Industrial to I2 - General Industrial

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 Rev. Sunday, January 12, 2025

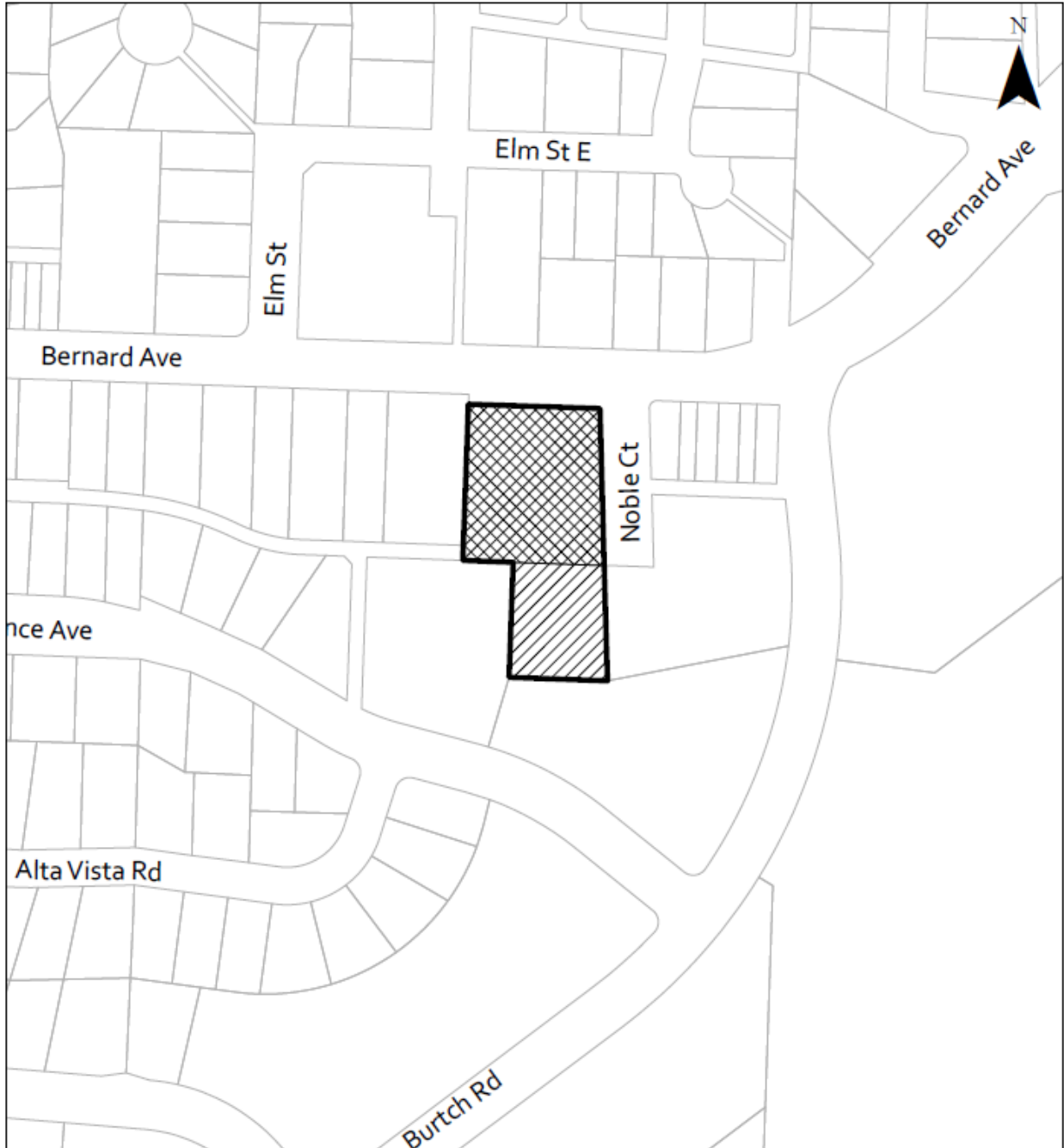
0 2.5 5 10 15 20 25 Metres

SCHEDULE A




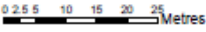

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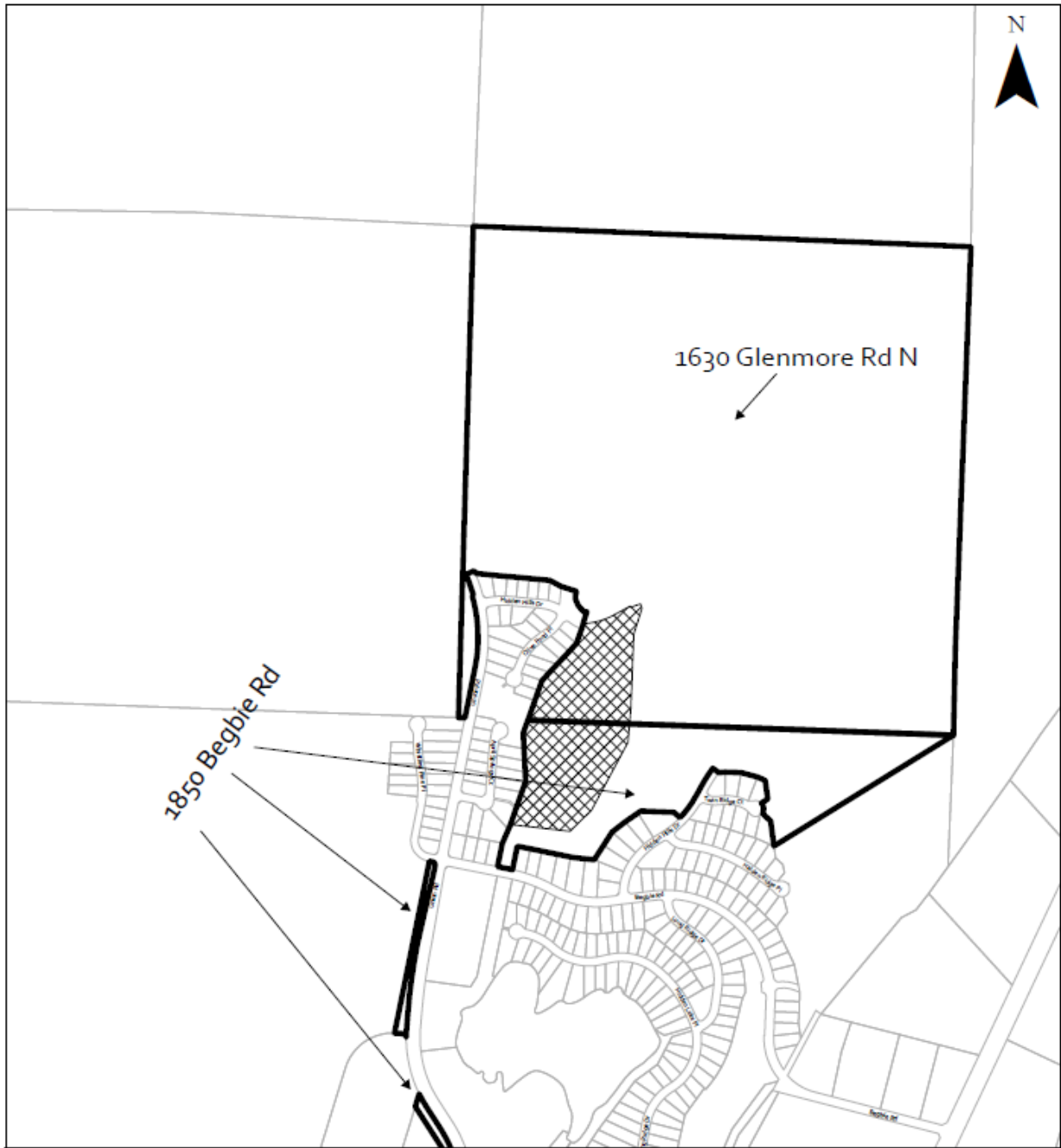
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**Map 'C' 1550 Noble Court
File: Z24-0060**

 Subject Property	 City of Kelowna <small>This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.</small>
 From MF1 - Infill Housing to MF3r - Apartment Housing Rental Only	
 From P2 - Education and Minor Institutional to MF3r - Apartment Housing Rental Only	<small>Rev. Sunday, January 12, 2025</small>

SCHEDULE		A
<small>This forms part of application # Z24-0060</small>		
<small>Planner Initials</small> AC	 City of Kelowna <small>DEVELOPMENT PLANNING</small>	

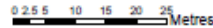


Map 'D' 1630 Glenmore Rd N & 1850 Begbie Rd
File: Z24-0060

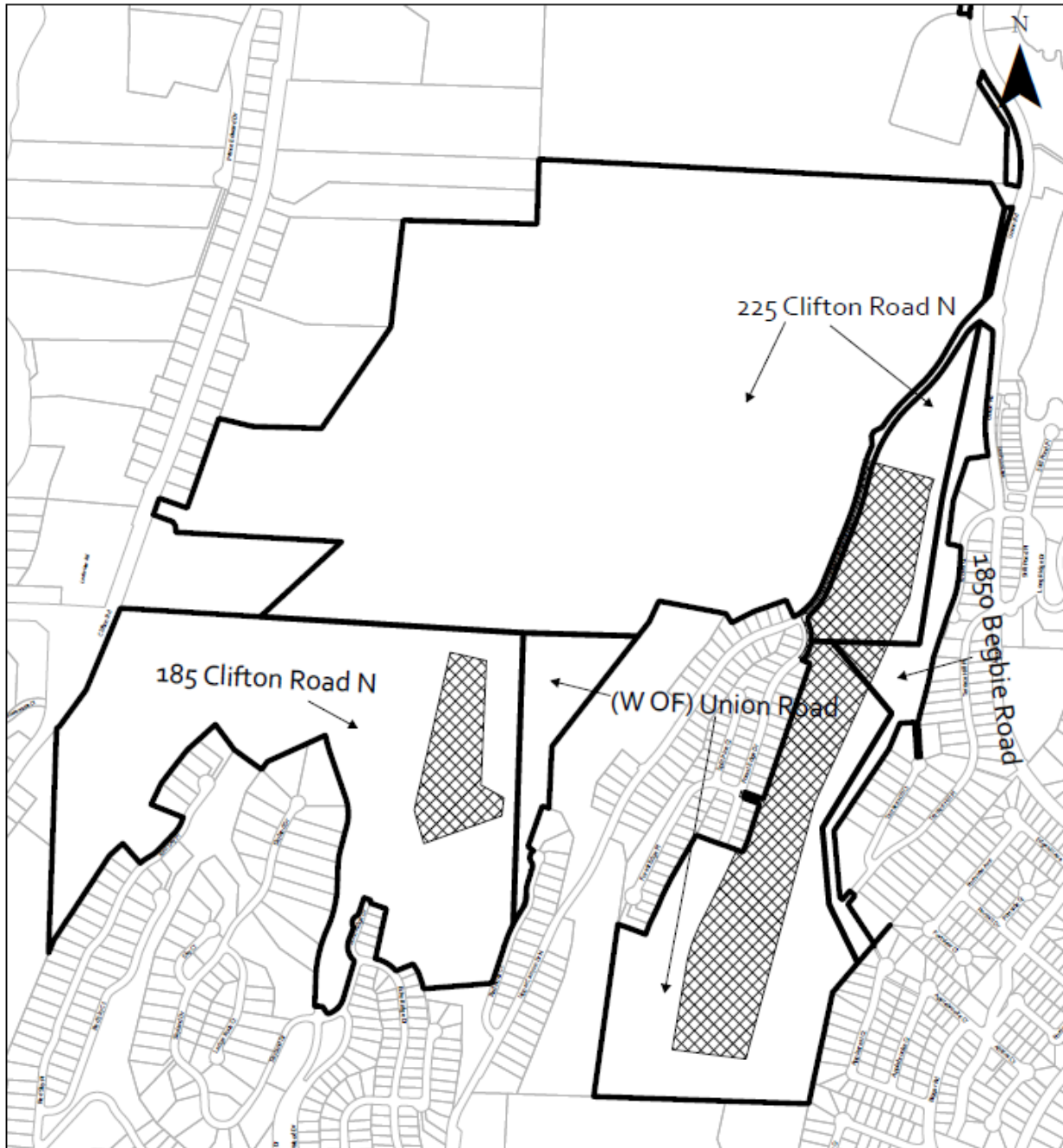
-  Subject Property
-  From RU1 - Large Lot Housing to RU5 - Multiple Suburban Housing





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 Rev. Sunday, January 12, 2025



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Map 'E' 225 Clifton Rd N, 185 Clifton Rd N, (W OF) Union Road, & 1850 Begbie Road
File: Z24-0060

-  Subject Property
-  From RU1 - Large Lot Housing to RU5 - Multiple Suburban Housing



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0 2.5 5 10 15 20 25 Metres

Rev. Sunday, January 12, 2025

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**Map 'F' 1360 KLO Road
File: Z24-0060**

-  Subject Property
-  From MF1 - Infill Housing to MF3 - Apartment Housing



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Rev. Sunday, January 12, 2025



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**Map 'G' 2160 Tower Ranch Boulevard
File: Z24-0060**

 Subject Property
 From P3 - Parks and Open Space to RU2 - Medium Lot Housing


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 Rev. Sunday, January 12, 2025

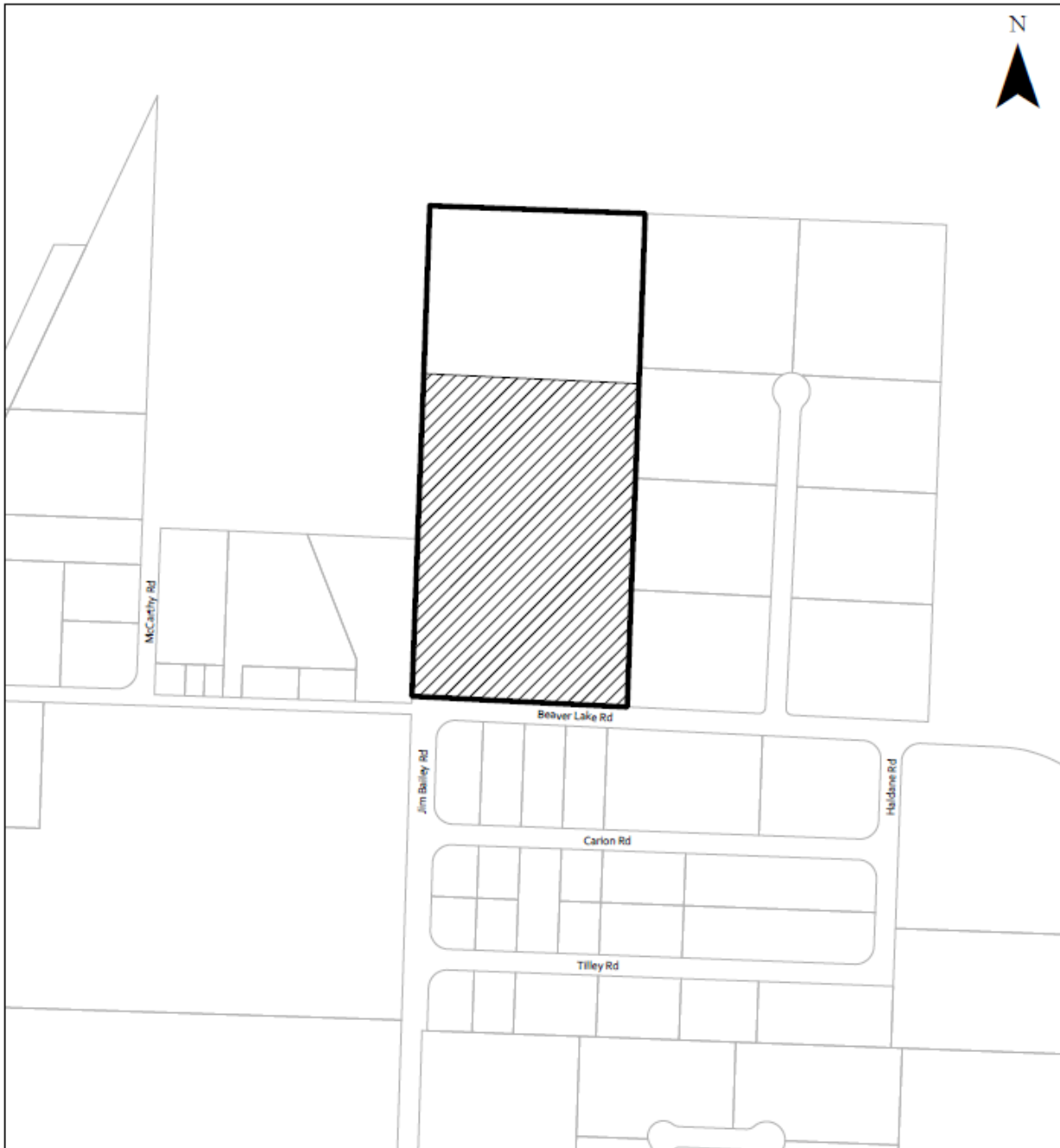
0 2.5 5 10 15 20 25 Metres

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**Map 'H' 300-350 Beaver Lake Rd
File: Z24-0060**

-  Subject Property
-  From I3 - Heavy Industrial to I2 - General Industrial



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Z24-0060 Multiple Addresses

OCP Mapping Amendments

Purpose

- ▶ To rezone 81 parcels as described in Schedule 'A'

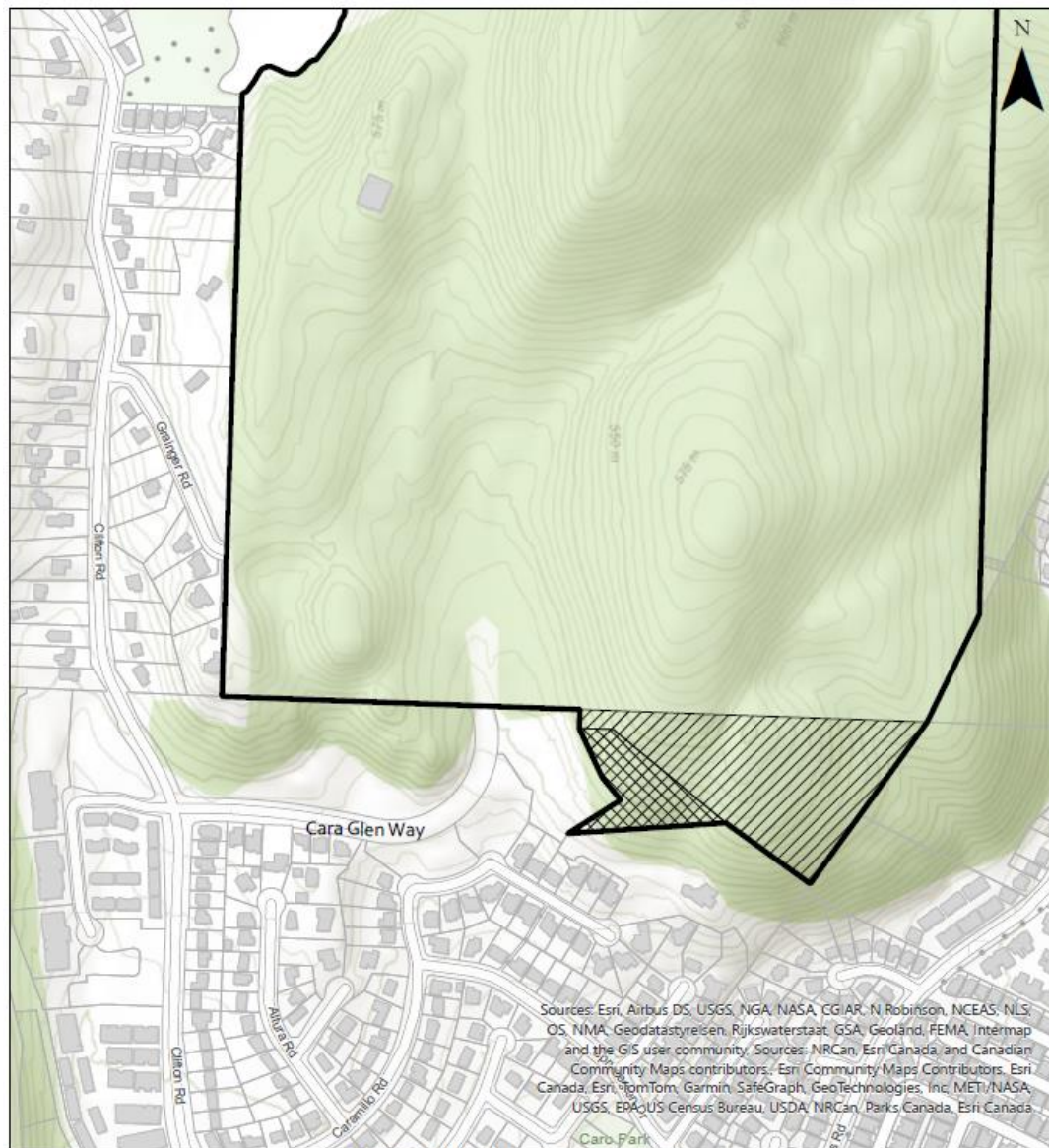
Zoning Categories

Table: Zoning Mapping Categories

<u>Number</u>	<u>Category</u>	<u>Number of Lots Affected</u>
1.	Administrative/Boundary	12
2.	Zoning surrounding Okanagan College	69
	Total	81




Zoning Amendments

Administrative/Boundary			
No	Address	Rezoning Details	Reason for Change
1.	(E OF) Grainger Road	Rezone portion of the lot from RR1 – Large Lot Rural Residential & MF2 – Townhouse Housing to P3 – Parks and Open Space as per Map 'A'	Additional land added to parkland through development. Rezone to P3 to match rest of parcel.




Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community. Sources: NRCan, Esri Canada, and Canadian Community Maps contributors, Esri Community Maps Contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, MET/NASA, USGS, EPA, US Census Bureau, USDA, NRCan, Parks Canada, Esri Canada

Map 'A' (E OF) Grainger Road
File: Z24-0060

-  Subject Property
-  From RR1 - Large Lot Rural Residential to P3 - Parks and Open Space
-  From MF2 - Townhouse Housing to P3 - Parks and Open Space




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 Rev. Monday, November 25, 2024

Zoning Amendments

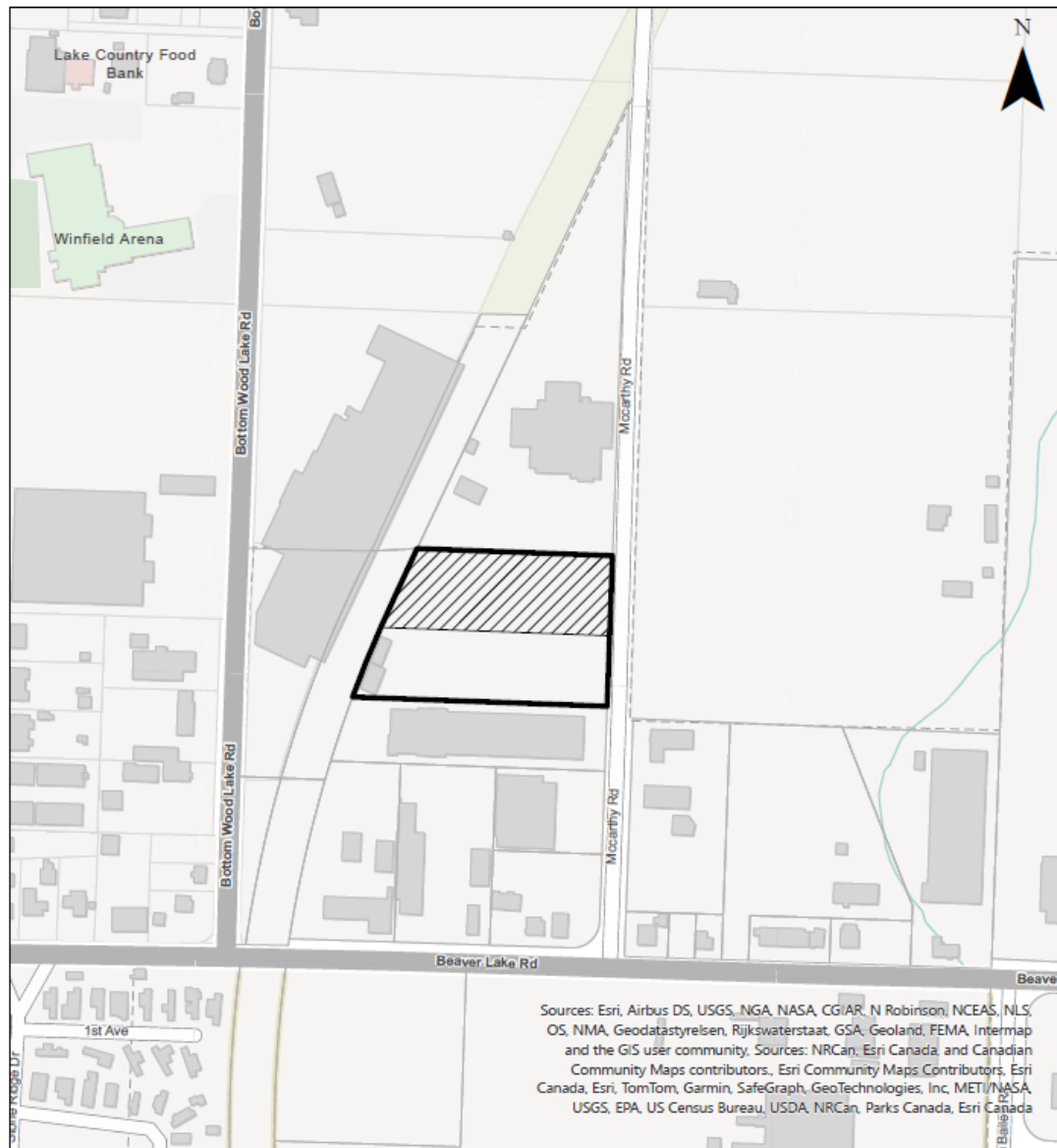
Administrative/Boundary			
No	Address	Rezoning Details	Reason for Change
2.	605 Fraser Road	Rezone property from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone	This property had a successful rezoning to MF2 in 2023. The Zoning Bylaw Amendments to implement the provincial housing legislation overwrote the zoning. The property should be MF2.



From the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone



Zoning Amendments

Administrative Fixes			
No	Address	Rezoning Details	Reason for Change
3.	9640-9670 McCarthy Road	Rezone property from the I2 – General Industrial & I3 – Heavy Industrial zone to the I2 – General Industrial zone as per Map 'B'	This property had a successful rezoning in January 2023 to the I2 – General Industrial zone. The Zoning Bylaw Amendments to implement the provincial housing legislation overwrote the zoning. The property should be I2.



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community. Sources: NRCan, Esri Canada and Canadian Community Maps contributors, Esri Community Maps Contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, US Census Bureau, USDA, NRCan, Parks Canada, Esri Canada

Map 'B' 9640-9670 McCarthy Road
File: Z24-0060

-  Subject Property
-  From I3 - Heavy Industrial to I2 - General Industrial

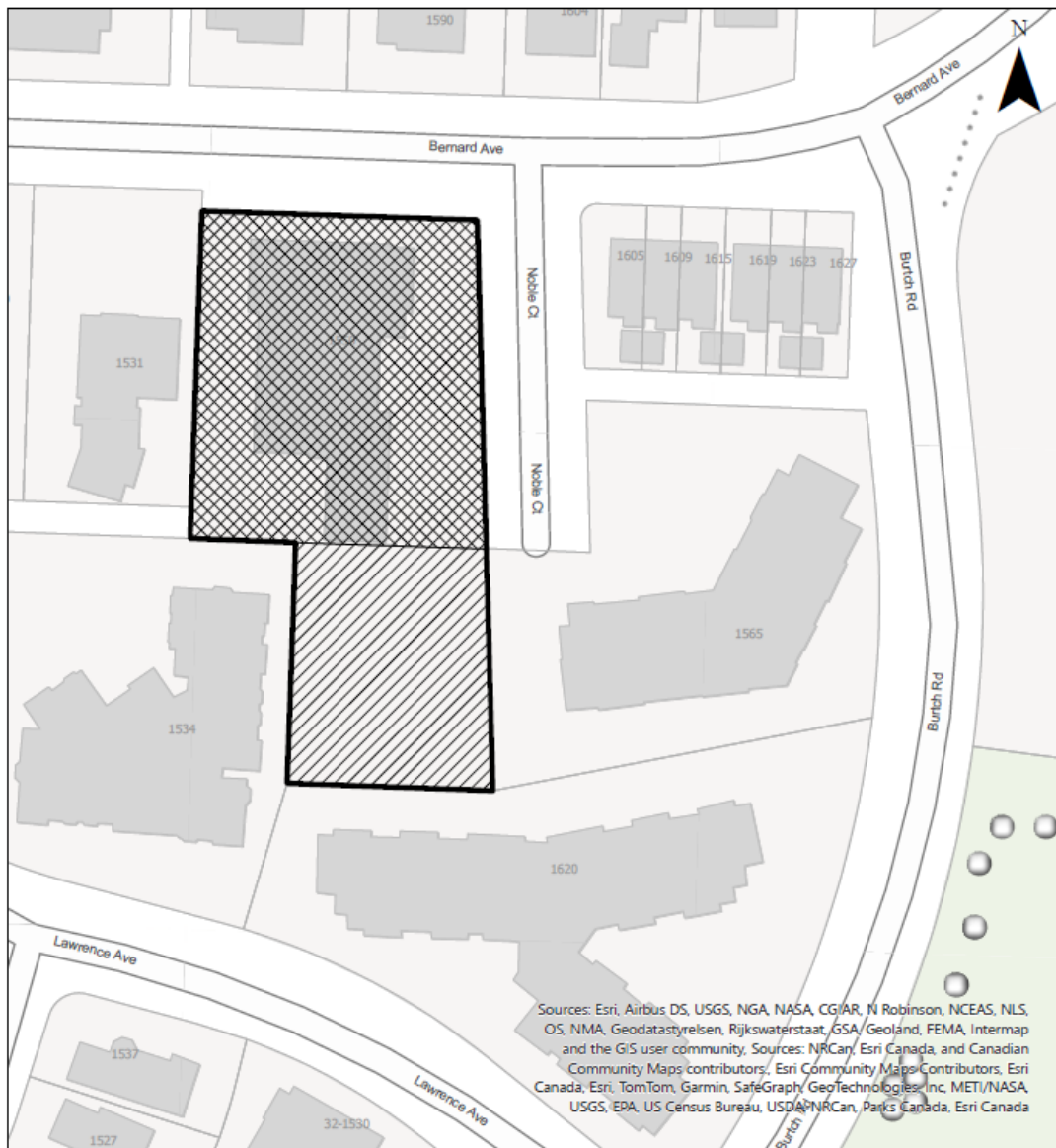


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 Rev. Tuesday, November 26, 2024






Zoning Amendments

Administrative Fixes			
No	Address	Rezoning Details	Reason for Change
4.	1550 Noble Court	Rezone property from the P2 – Education and Minor Institutional zone and the MF1 – Infill Housing zone to the MF3r – Apartment Housing Rental Only zone as per Map 'C'	This property had a successful rezoning to MF3r in 2023 and the Zoning Bylaw Amendments to implement the provincial housing overwrote the zoning. The property should be MF3r.



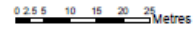
Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA/Geoland, FEMA, Intermap and the GIS user community, Sources: NRCan, Esri Canada, and Canadian Community Maps contributors, Esri Community Maps Contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, US Census Bureau, USDA/NRCan, Parks Canada, Esri Canada

Map 'C' 1550 Noble Court
File: Z24-0060

-  Subject Property
-  From MF1 - Infill Housing to MF3r - Apartment Housing Rental Only
-  From P2 - Education and Minor Institutional to MF3r - Apartment Housing Rental Only

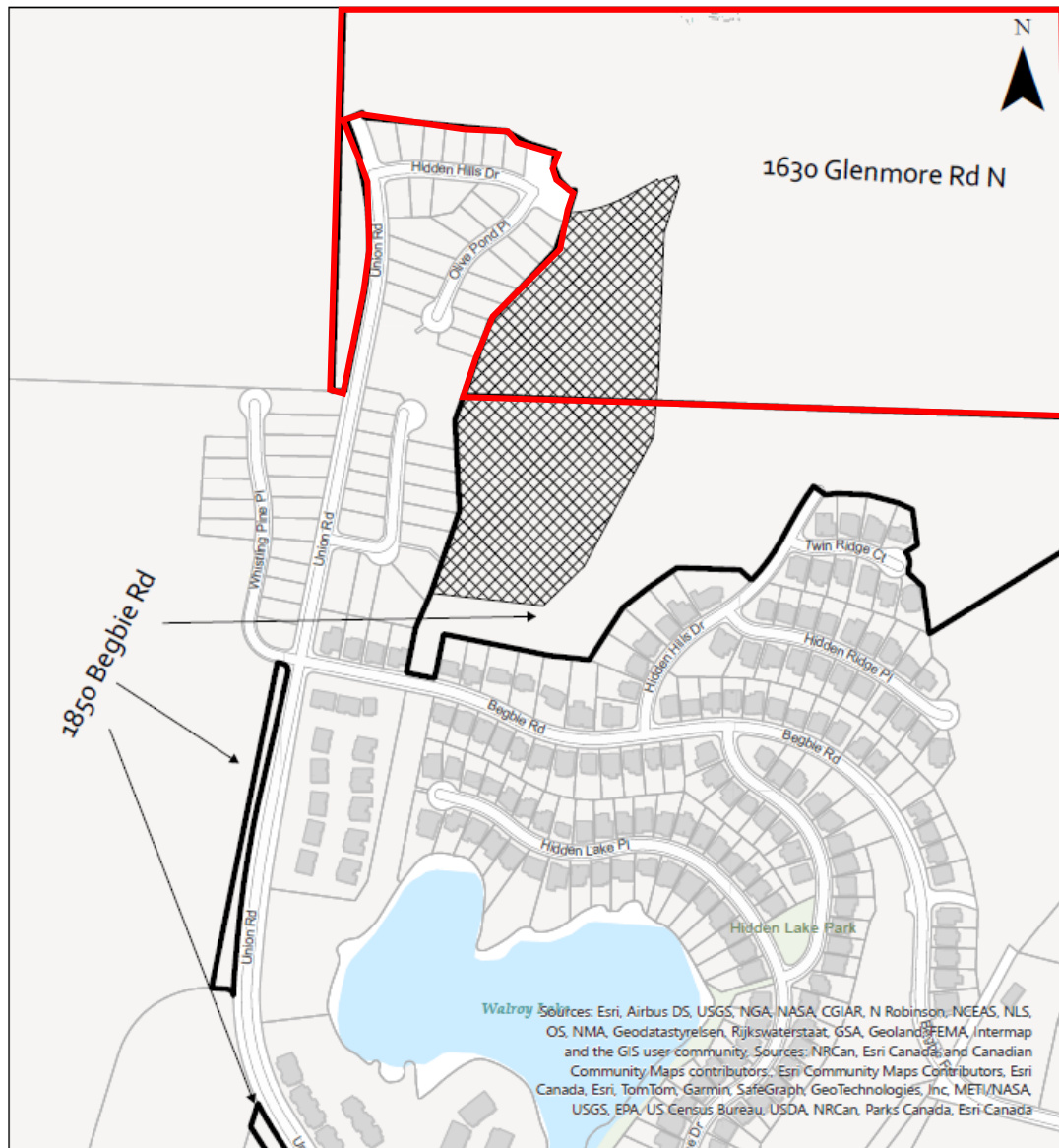


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 Rev. Monday, November 25, 2024





Zoning Amendments

Administrative Fixes			
No	Address	Rezoning Details	Reason for Change
5.	1630 Glenmore Road North	Rezone portion of the lot from RU1 – Large Lot Housing to RU5 – Multiple Suburban Housing as per Map 'E'	Lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. Servicing construction is in progress and this zone best matches the original vision and servicing plan.



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community. Sources: NRCan, Esri Canada, and Canadian Community Maps contributors. Esri Community Maps Contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, US Census Bureau, USDA, NRCan, Parks Canada, Esri Canada

Map 'E' 1630 Glenmore Rd N & 1850 Begbie Rd
File: Z24-0060

-  Subject Properties
-  From RU1 - Large Lot Housing to RU5 - Multiple Suburban Housing

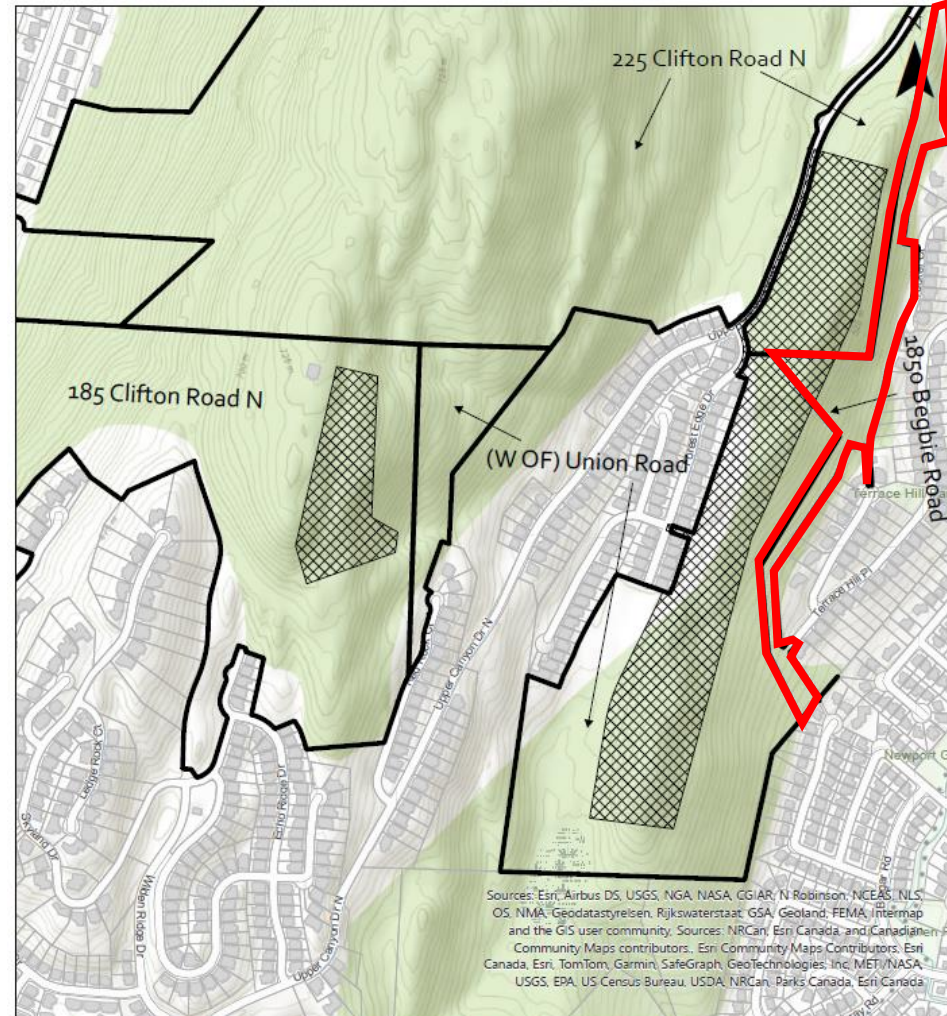
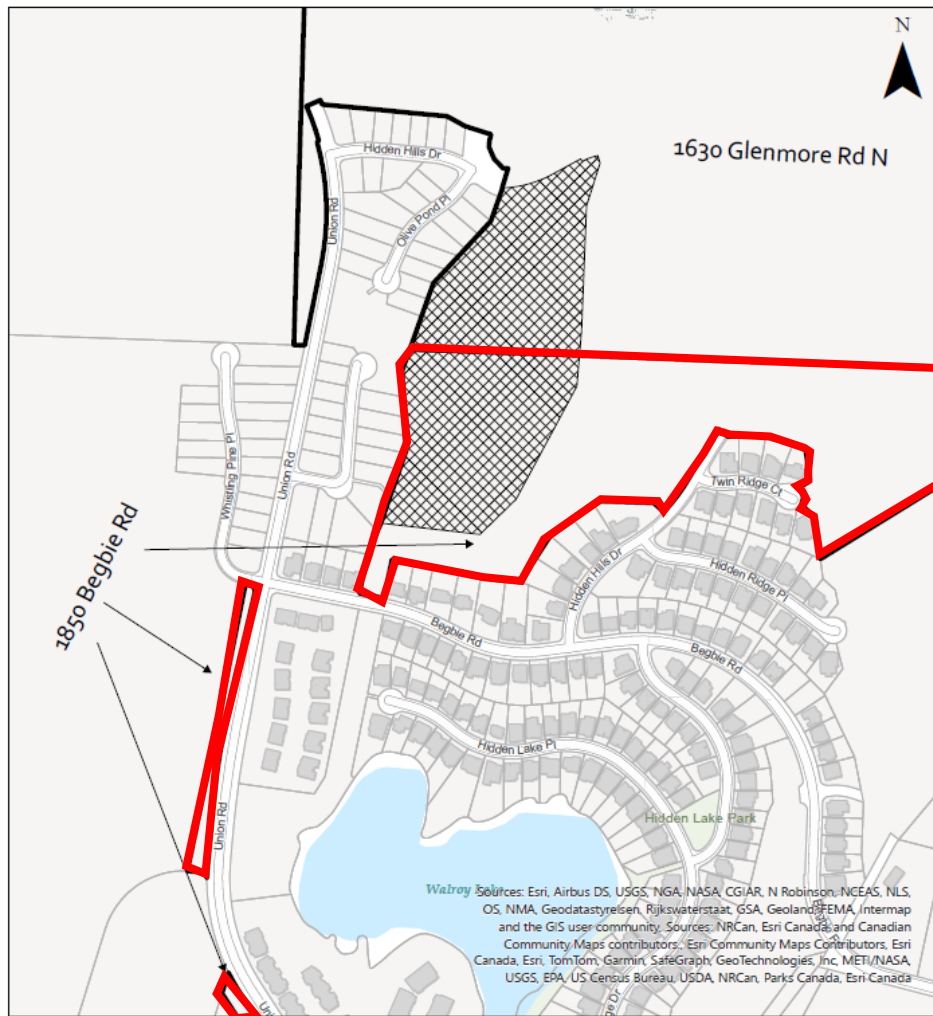


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 Rev. Thursday, November 28, 2024



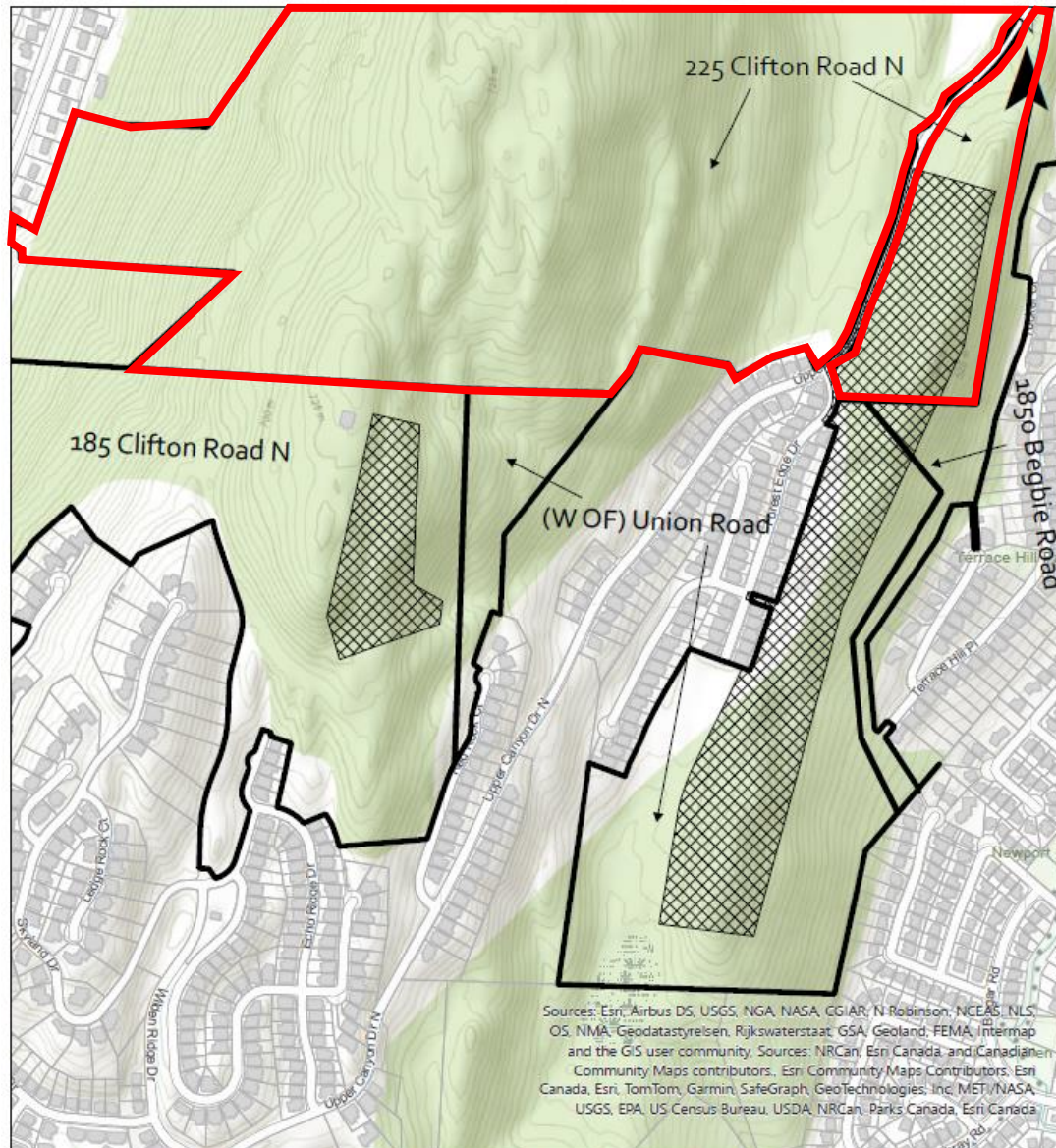
Zoning Amendments

Administrative Fixes			
No	Address	Rezoning Details	Reason for Change
6.	1850 Begbie Road	Rezone portion of the lot from RU1 – Large Lot Housing to RU5 – Multiple Suburban Housing as per Map 'E' and Map 'F'	Portion of lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. Servicing construction is in progress and this zone best matches the original vision and servicing plan.




Zoning Amendments

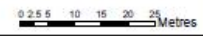
Administrative Fixes			
No	Address	Rezoning Details	Reason for Change
7.	225 Clifton Road North	Rezone portion of the lot from RU1 – Large Lot Housing to RU5 – Multiple Suburban Housing as per Map 'F'	Portion of lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. This zone best matches the original vision and intended servicing plan.




Sources: Esri, Airbus DS, USGS, NGA, NASA, GGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community. Sources: NRCan, Esri Canada, and Canadian Community Maps contributors, Esri Community Maps Contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, MET, NASA, USGS, EPA, US Census Bureau, USDA, NRCan, Parks Canada, Esri Canada

Map 'F' 225 Clifton Road N, 185 Clifton Road N, (W OF) Union Road, & 1850 Begbie Road
File: Z24-0060

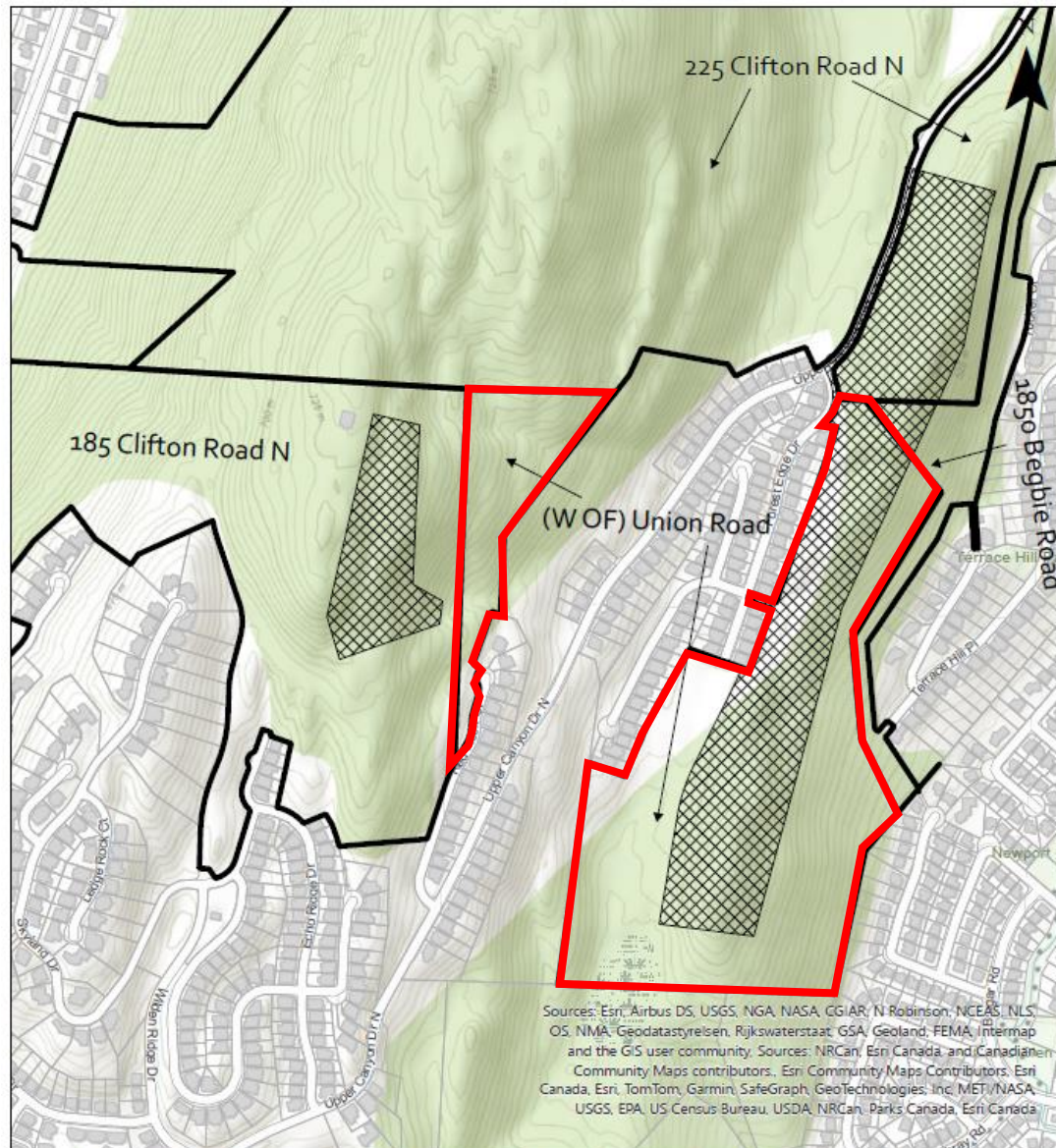
-  Subject Properties
-  From RU1 - Large Lot Housing to RU5 - Multiple Suburban Housing




 City of
Kelowna
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 Rev. Monday, December 2, 2024



Zoning Amendments

Administrative Fixes			
No	Address	Rezoning Details	Reason for Change
8.	(W OF) Union Road	Rezone portion of the lot from RU1 – Large Lot Housing to RU5 – Multiple Suburban Housing as per Map 'F'	Portion of lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. This zone best matches the original vision and intended servicing plan.



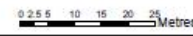
Sources: Esri, Airbus DS, USGS, NGA, NASA, GGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community. Sources: NRCan, Esri Canada, and Canadian Community Maps contributors, Esri Community Maps Contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, MET, NASA, USGS, EPA, US Census Bureau, USDA, NRCan, Parks Canada, Esri Canada

Map 'F' 225 Clifton Road N, 185 Clifton Road N, (W OF) Union Road, & 1850 Begbie Road
File: Z24-0060

-  Subject Properties
-  From RU1 - Large Lot Housing to RU5 - Multiple Suburban Housing

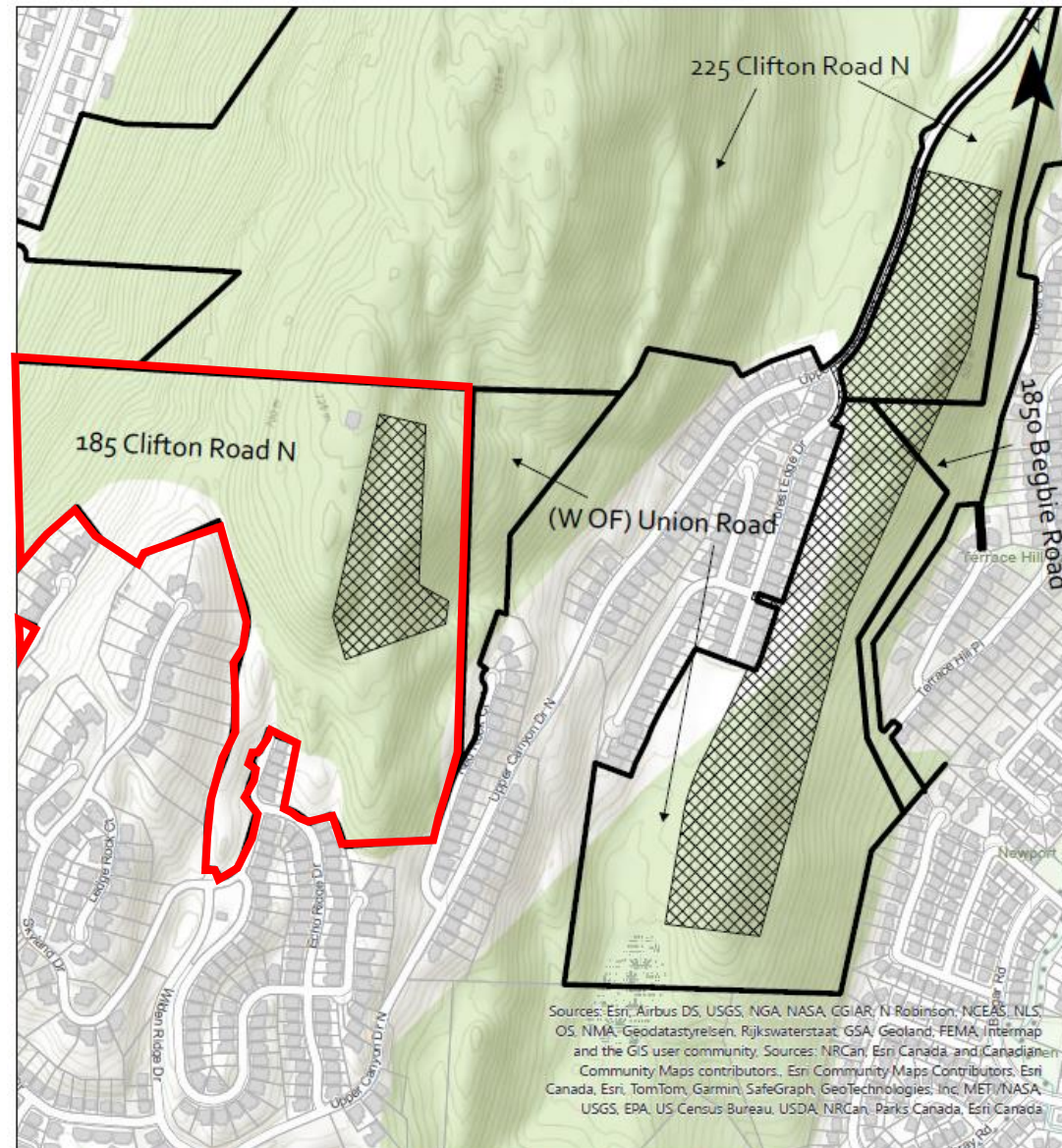


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 Rev. Monday, December 2, 2024





Zoning Amendments

Administrative Fixes			
No	Address	Rezoning Details	Reason for Change
9.	185 Clifton Road North	Rezone portion of the lot from RU1 – Large Lot Housing to RU5 – Multiple Suburban Housing as per Map 'F'	Portion of lot was previously zoned RU4 – Low Density Cluster Housing under Zoning Bylaw 8000 and was always intended for cluster housing. This zone best matches the original vision and intended servicing plan.



**Map 'F' 225 Clifton Road N, 185 Clifton Road N, (W OF) Union Road, & 1850 Begbie Road
File: Z24-0060**

-  Subject Properties
-  From RU1 - Large Lot Housing to RU5 - Multiple Suburban Housing

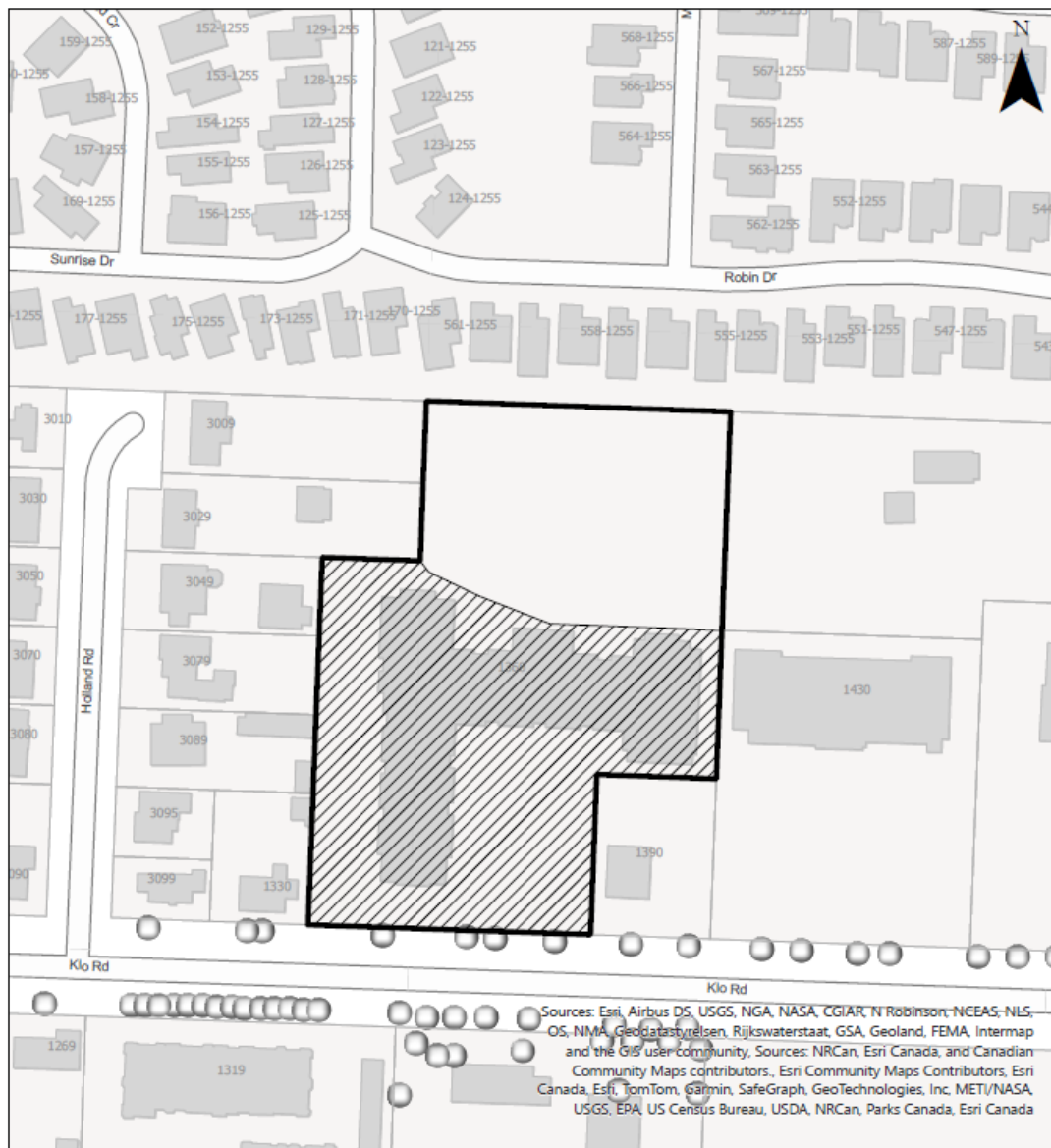


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Rev. Monday, December 2, 2024

0 2.5 5 10 15 20 25 Metres



Zoning Amendments

Administrative Fixes			
No	Address	Rezoning Details	Reason for Change
10.	1360 KLO Road	Rezone portion of the lot from MF1 – Infill Housing to MF3 – Apartment Housing as per Map 'G'	This portion of property was incorrectly rezoned with the SSMUH provincial implementation and should be MF3 – Apartment Housing to reflect the actual use on the property.



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Sources: NRCan, Esri Canada, and Canadian Community Maps contributors, Esri Community Maps Contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc. METI/NASA, USGS, EPA, US Census Bureau, USDA, NRCan, Parks Canada, Esri Canada

**Map 'G' 1360 KLO Road
File: Z24-0060**

-  Subject Property
-  From MF1 - Infill Housing to MF3 - Apartment Housing



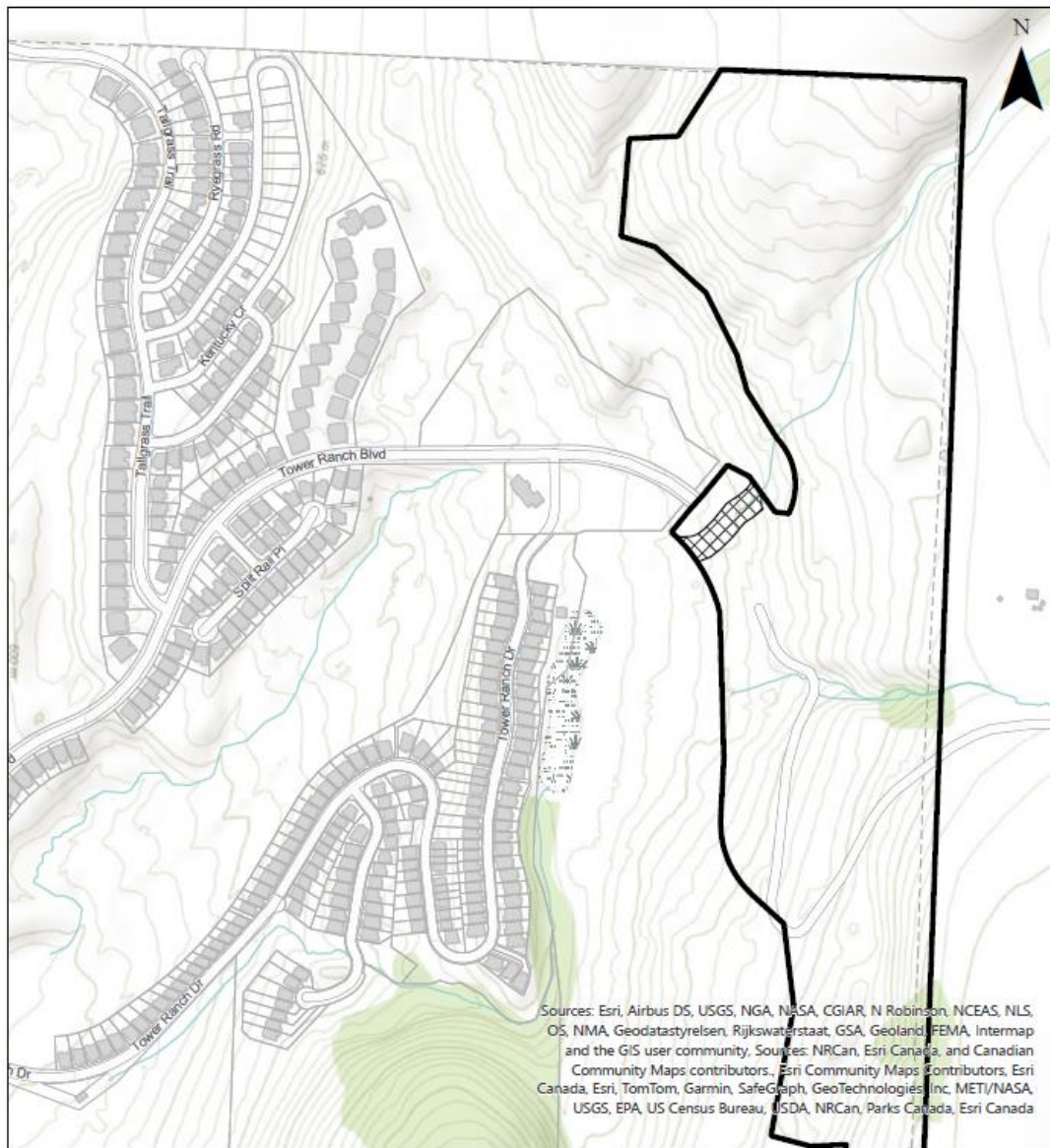
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Rev. Tuesday, December 17, 2024

Zoning Amendments

Administrative Fixes			
No	Address	Rezoning Details	Reason for Change
11.	2160 Tower Ranch Boulevard	Rezone portion of the lot from P ₃ – Parks and Open Space to RU ₂ – Medium Lot Housing as per Map 'H'	This portion of property was incorrectly rezoned with the SSMUH provincial implementation and should be RU ₂ - Medium Lot Housing to reflect the proposed lot layout plan for the new subdivision.



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Sources: NRCan, Esri Canada, and Canadian Community Maps contributors, Esri Community Maps contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies Inc, METI/NASA, USGS, EPA, US Census Bureau, USDA, NRCan, Parks Canada, Esri Canada

Map 'H' 2160 Tower Ranch Boulevard
File: Z24-0060

-  Subject Property
-  From P3 - Parks and Open Space to RU2 - Medium Lot Housing



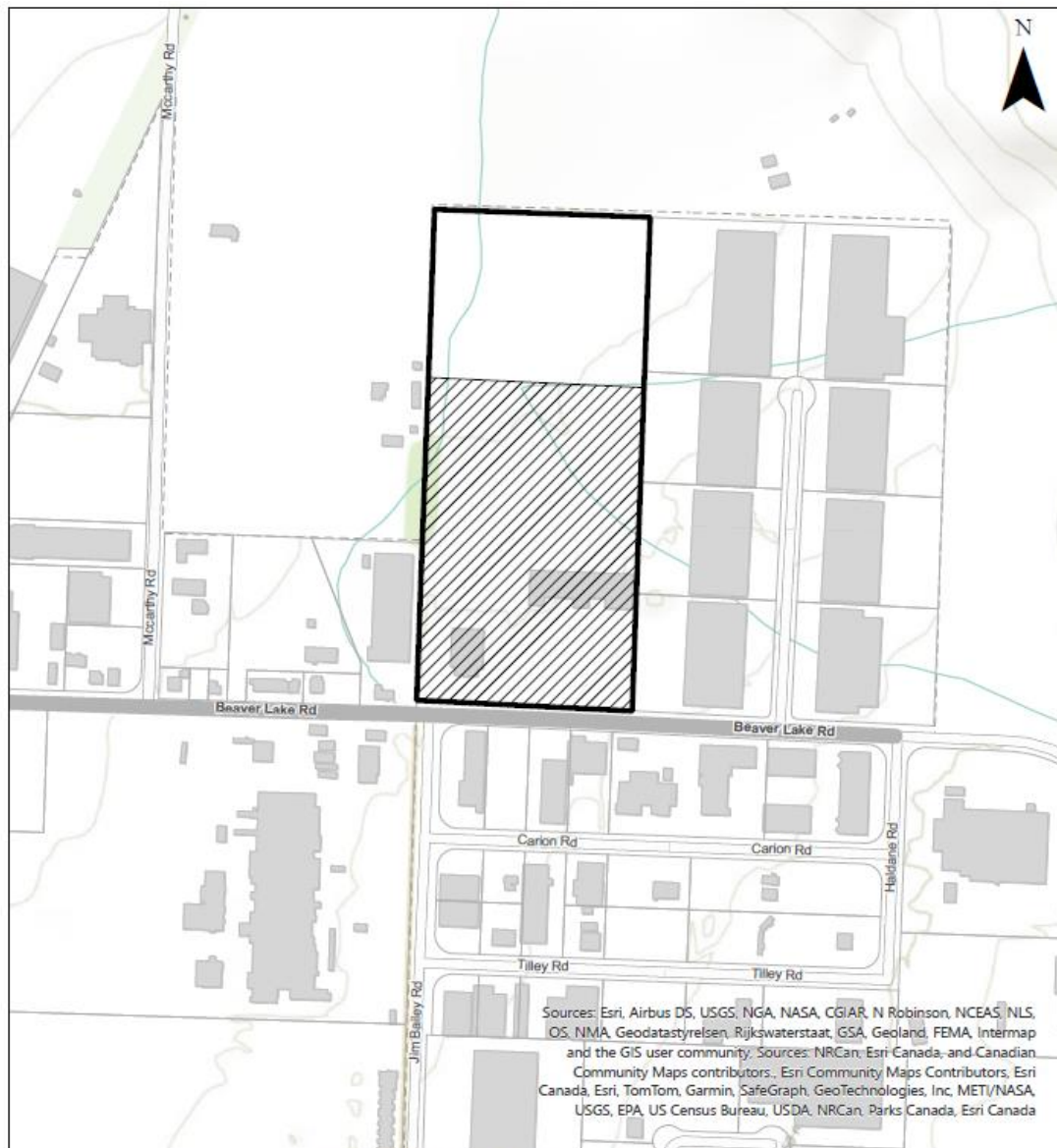
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Rev. Tuesday, December 17, 2024

Zoning Amendments

Administrative Fixes			
No	Address	Rezoning Details	Reason for Change
12.	300-350 Beaver Lake Road	Rezone portion of the lot from I3 – Heavy Industrial to I2 – General Industrial as per Map 'I'	This portion of property was incorrectly rezoned with the SSMUH provincial implementation and should be I2 – General Industrial to reflect the existing uses on the subject property.



Map 'I' 300-350 Beaver Lake Rd
File: Z24-0060

-  Subject Property
-  From I3 - Heavy Industrial to I2 - General Industrial

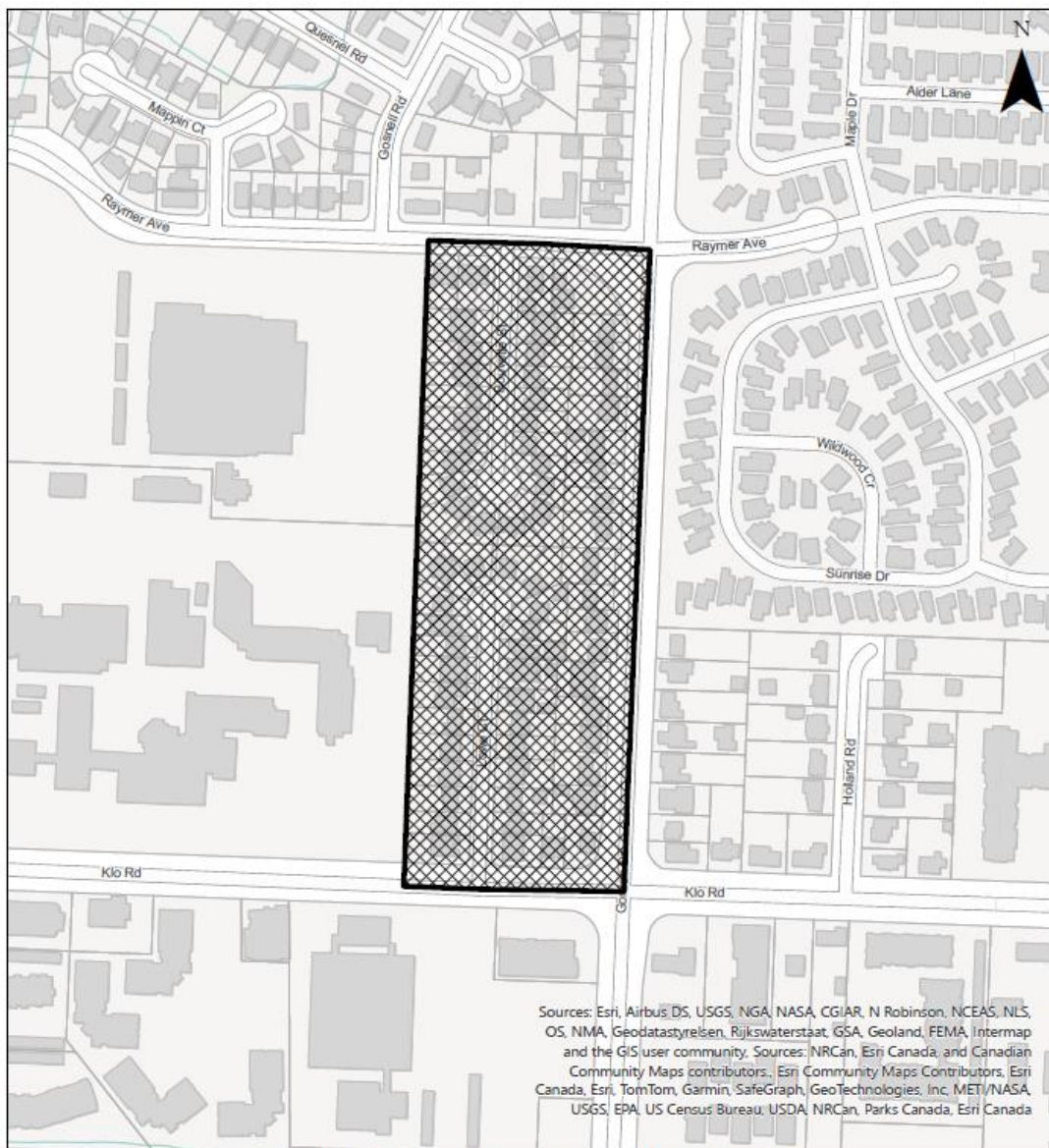


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 Rev. Tuesday, December 17, 2024





Zoning Amendments

Zoning Surrounding Okanagan College			
No	Addresses	Rezoning Details	Reason for Change
1.	69 Parcels	Rezone from MF1– Infill Housing to UC5–Pandosy Urban Centre as per Map 'D'	Align zoning with Urban Centre boundary and to comply with the Provincial Transit Oriented Areas Density and height requirements.



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community. Sources: NRCan, Esri Canada, and Canadian Community Maps contributors. Esri Community Maps Contributors, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, MET/NASA, USGS, EPA, US Census Bureau, USDA, NRCan, Parks Canada, Esri Canada

Map 'D' 69 Parcels in Pandosy Urban Centre
File: Z24-0060

-  Subject Properties
-  From MF1– Infill Housing to UC5–Pandosy Urban Centre



This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.



Rev. Tuesday, November 26, 2024

Staff Recommendation

- ▶ Staff recommend **support** for the proposed Rezoning Amendments and recommend the bylaw be forwarded to public hearing
 - ▶ Fix mapping errors
 - ▶ Conform to provincial legislation

CITY OF KELOWNA

BYLAW NO. 12748

Z24-0060

Multiple Addresses

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- 1) THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of:
 1. Portions of Lot 4 Section 32 Township 26 ODYD Plan EPP129429 located on Grainger Road, Kelowna, BC from the RR1 – Large Lot Rural Residential zone to the P3 – Parks and Open Space zone and from the MF2 – Townhouse Housing zone to the P3 – Parks and Open Space zone as shown on Map 'A' attached to and forming part of this bylaw;
 2. Lot 1 Section 26 Township 26 ODYD Plan EPP121151 located on Fraser Road, Kelowna, BC from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone;
 3. A portion of Strata Lots 1 to 37 Sections 10 and 11 Township 20 ODYD Strata Plan EPS10689 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V located on McCarthy Road, Kelowna, BC from the I3 – Heavy Industrial zone to the I2 – General Industrial zone as shown on Map 'B' attached to and forming part of this bylaw;
 4. Portions of Lot 8 Section 20 Township 26 ODYD Plan 32159 Except Plan EPP128203 located on Noble Court, Kelowna, BC from the MF1 – Infill Housing zone to the MF3r – Apartment Housing Rental Only zone and from the P2 – Education and Minor Institutional zone to the MF3r – Apartment Housing Rental Only zone as shown on Map 'C' attached to and forming part of this bylaw;
 5. Lot A District Lot 135 ODYD Plan 34922 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
 6. Lot B District Lot 135 ODYD Plan 34922 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
 7. Lot 12 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
 8. Lot 13 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
 9. Lot 14 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
 10. Lot 15 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
 11. Lot 16 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;

12. Lot 17 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
13. Lot 1 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
14. Lot 2 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
15. Lot 3 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
16. Strata Lots 1 and 2 District Lot 135 ODYD Strata Plan KAS2673 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V located on Lowe Court, Kelowna, BC from MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
17. Lot 5 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
18. Lot 6 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
19. Lot 7 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
20. Lot 8 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
21. Lot 9 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
22. Lot 10 District Lot 135 ODYD Plan 38814 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
23. Lot 1 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
24. Lot 2 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
25. Lot 3 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
26. Lot 4 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
27. Lot 5 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
28. Lot 6 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
29. Lot 7 District Lot 135 ODYD Plan 30518 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
30. Strata Lots 1 and 2 District Lot 135 ODYD Strata Plan K315 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on

Form 1 located on Lowe Court, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;

31. Lot 9 District Lot 135 ODYD Plan 30518 located on KLO Road, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
32. Lot A District Lot 135 ODYD Plan 14283 Except Plan H16127 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
33. Lot A District Lot 135 ODYD Plan 28381 Except Plan H16127 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
34. Lot 3 District Lot 135 ODYD Plan 23000 Except Plan H16127 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
35. Lot 2 District Lot 135 ODYD Plan 23000 Except Plan H16127 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
36. Lot 1 District Lot 135 ODYD Plan 23000 Except Plan H16127 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
37. Strata Lots 1 and 2 District Lot 135 ODYD Strata Plan KAS1320 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
38. Lot A District Lot 135 ODYD Plan 21945 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
39. Lot B District Lot 135 ODYD Plan 21945 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
40. Lot 1 District Lot 135 ODYD Plan 38307 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
41. Lot 11 District Lot 135 ODYD Plan 38814 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
42. Lot 4 District Lot 135 ODYD, Plan 33569 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
43. Lot 3 District Lot 135 ODYD Plan 33569 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
44. Lot 2 District Lot 135 ODYD Plan 33569 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
45. Lot A District Lot 135 ODYD Plan 17712 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
46. Lot 2 District Lot 135 ODYD Plan 17457 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;

47. Lot 1 District Lot 135 ODYD Plan 33569 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
48. Lot A District Lot 135 ODYD Plan 26038 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
49. Lot 25 District Lot 135 ODYD Plan 33569 located on Gordon Drive, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
50. Lot A District Lot 135 ODYD Plan 11528 located on Raymer Avenue, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
51. Lot B District Lot 135 ODYD Plan 11528 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
52. Lot 24 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
53. Lot 23 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
54. Lot 5 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
55. Lot 6 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
56. Lot 7 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
57. Lot 8 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
58. Lot 9 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
59. Lot 10 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
60. Lot 11 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
61. Lot 12 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
62. Lot 13 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
63. Lot B District Lot 135 ODYD Plan 35023 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
64. Lot A District Lot 135 ODYD Plan 35023 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
65. Lot 16 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;

66. Lot 17 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
67. Lot 18 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
68. Lot 19 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
69. Lot 20 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
70. Lot 21 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
71. Lot 22 District Lot 135 ODYD Plan 33569 located on Bouvette Street, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
72. Lot 1 District Lot 135 ODYD Plan 24364 Except Plan KAP45674 located on Raymer Avenue, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
73. Lot 2 District Lot 235 ODYD Plan 24364 located on Raymer Avenue, Kelowna, BC from the MF1 – Infill Housing zone to the UC5 – Pandosy Urban Centre zone;
74. A portion of The South West ¼ Section 16 Township 23 ODYD Except Plan EPP123935 located on Glenmore Road North, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU5 – Multiple Suburban Housing zone as shown on Map 'D' attached to and forming part of this bylaw;
75. Portions of Lot A Sections 4, 5, 8, and 9 Township 23 ODYD Plan KAP69724 Except Plans KAP71944, KAP73768, KAP75949, KAP78547, KAP80107, KAP81912, KAP85278, KAP86750, EPP24895, EPP93548, EPP101624, EPP115845 and EPP123935 located on Begbie Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU5 – Multiple Suburban Housing zone as shown on Map 'D' and Map 'E' attached to and forming part of this bylaw;
76. A portion of Lot D Section 8 Township 23 ODYD Plan KAP75116 Except Plans EPP24895, EPP24897, EPP64871, and EPP77782 located on Clifton Road North, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU5 – Multiple Suburban Housing zone as shown on Map 'E' attached to and forming part of this bylaw;
77. A portion of The North East 1/4 of Section 5 Township 23 ODYD Except Plans 896, B645, KAP69724, EPP24895, EPP24897 and EPP64871 located on Union Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU5 – Multiple Suburban Housing zone as shown onr Map 'E' attached to and forming part of this bylaw;
78. A portion of The North West 1/4 of Section 5 Township 23 ODYD Except Plans 20895, KAP88266, EPP24895, EPP24897, EPP66328, EPP64875 and EPP87273 located on Clifton Road North, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU5 – Multiple Suburban Housing zone as shown on Map 'E' attached to and forming part of this bylaw;
79. A portion of Lot A District Lot 131 ODYD Plan EPP76548 located on KLO Road, Kelowna, BC from the MF1 – Infill Housing zone to the MF3 – Apartment Housing zone as shown on Map 'F' attached to and forming part of this bylaw;

80. A portion of Lot 4 Section 31 Township 27 ODYD Plan KAP80993 located on Tower Ranch Boulevard, Kelowna, BC from the P3 – Parks and Open Space zone to the RU2 – Medium Lot Housing zone as shown on Map 'G' attached to and forming part of this bylaw; and

81. A portion of Lot 1 Section 11 Township 20 ODYD Plan EPP57272 Except Plan EPP109677 located on Beaver Lake Road, Kelowna, BC from the I3 – Heavy Industrial zone to the I2 – General Industrial zone as shown on Map 'H' attached to and forming part of this bylaw.

2) This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 24th day of February, 2025.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

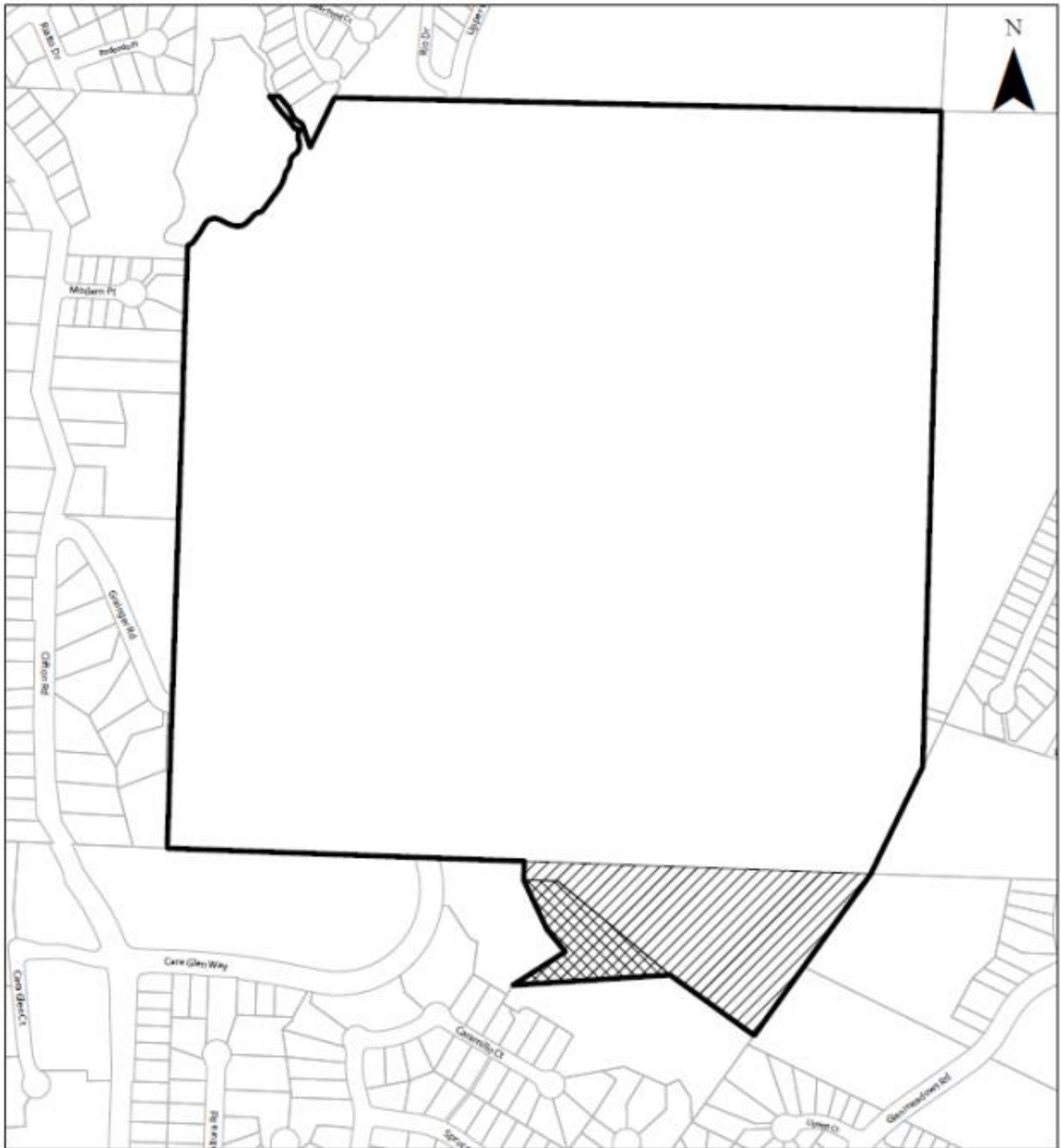
Approved pursuant to section 52(3)(a) of the Transportation Act this

(Approving Officer – for Minister of Transportation & Transit)




Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



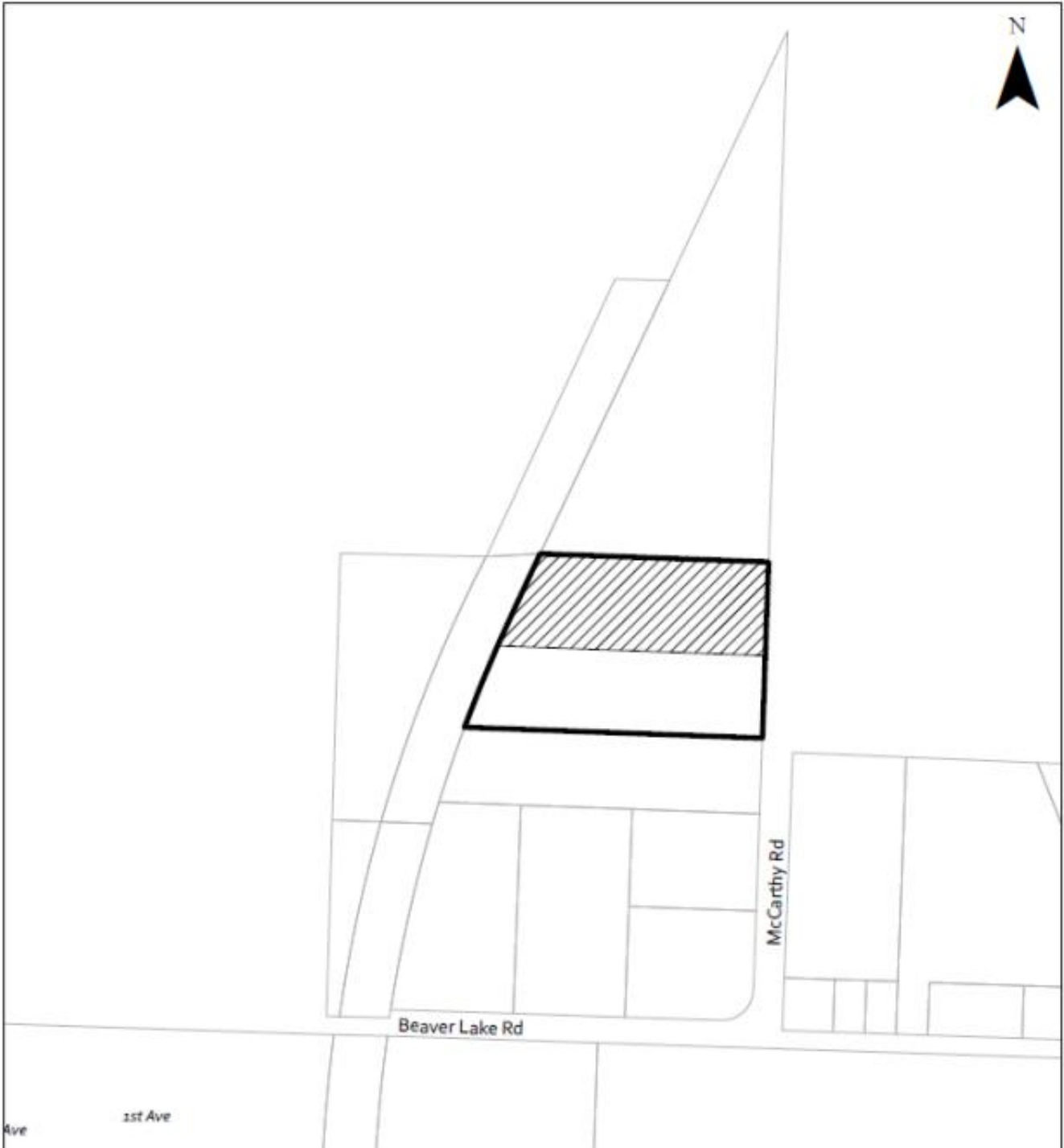
Map 'A' (E OF) Grainger Road
File: Z24-0060

-  Subject Property
-  From RR1 - Large Lot Rural Residential to P3 - Parks and Open Space
-  From MF2 - Townhouse Housing to P3 - Parks and Open Space



This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.
 Rev. Sunday, January 12, 2025





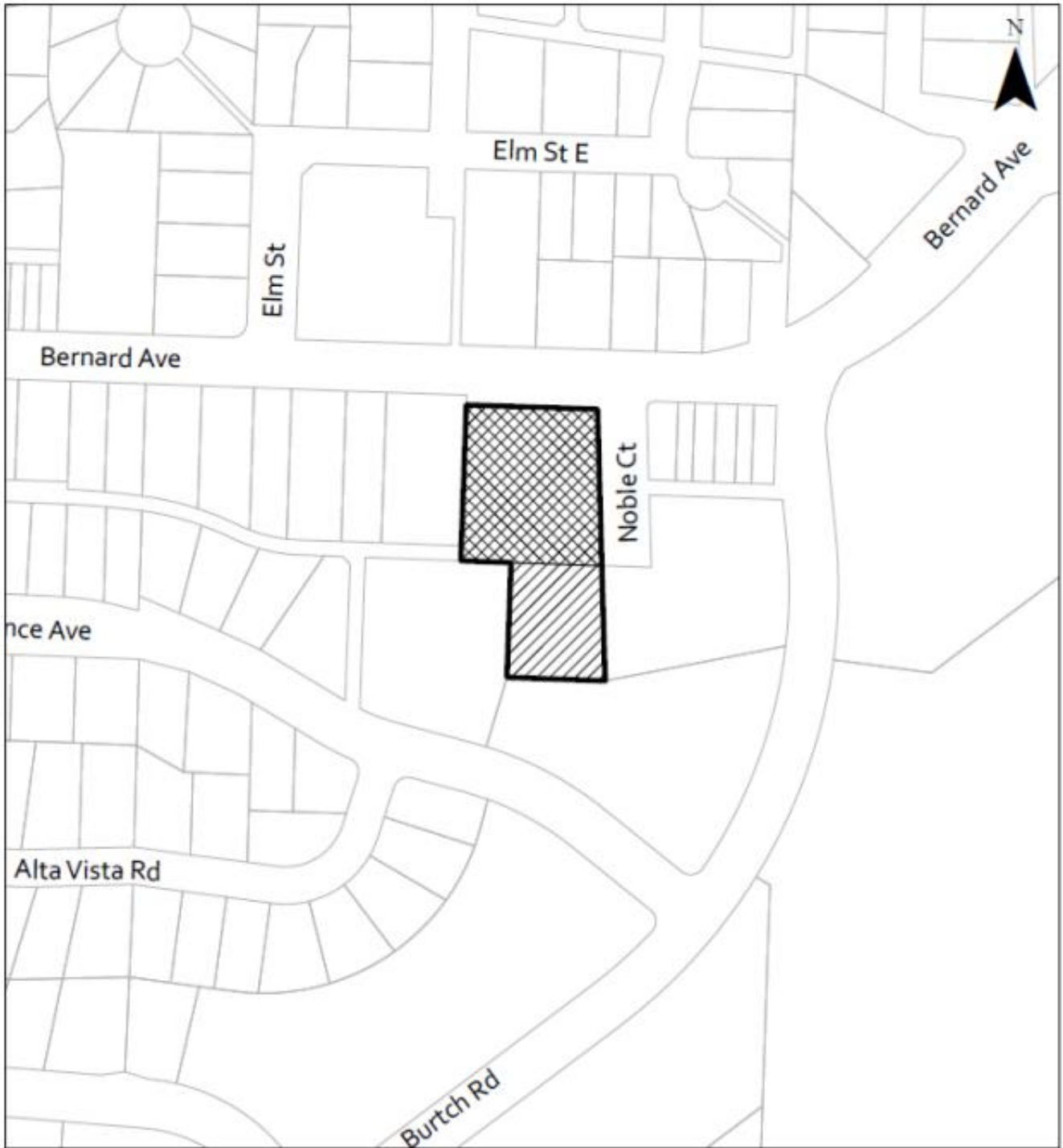
Map 'B' 9640-9670 McCarthy Road
File: Z24-0060

- Subject Property
- From I3 - Heavy Industrial to I2 - General Industrial




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 The City of Kelowna does not guarantee its
 accuracy. All information should be verified.
 Rev. Sunday, January 12, 2025





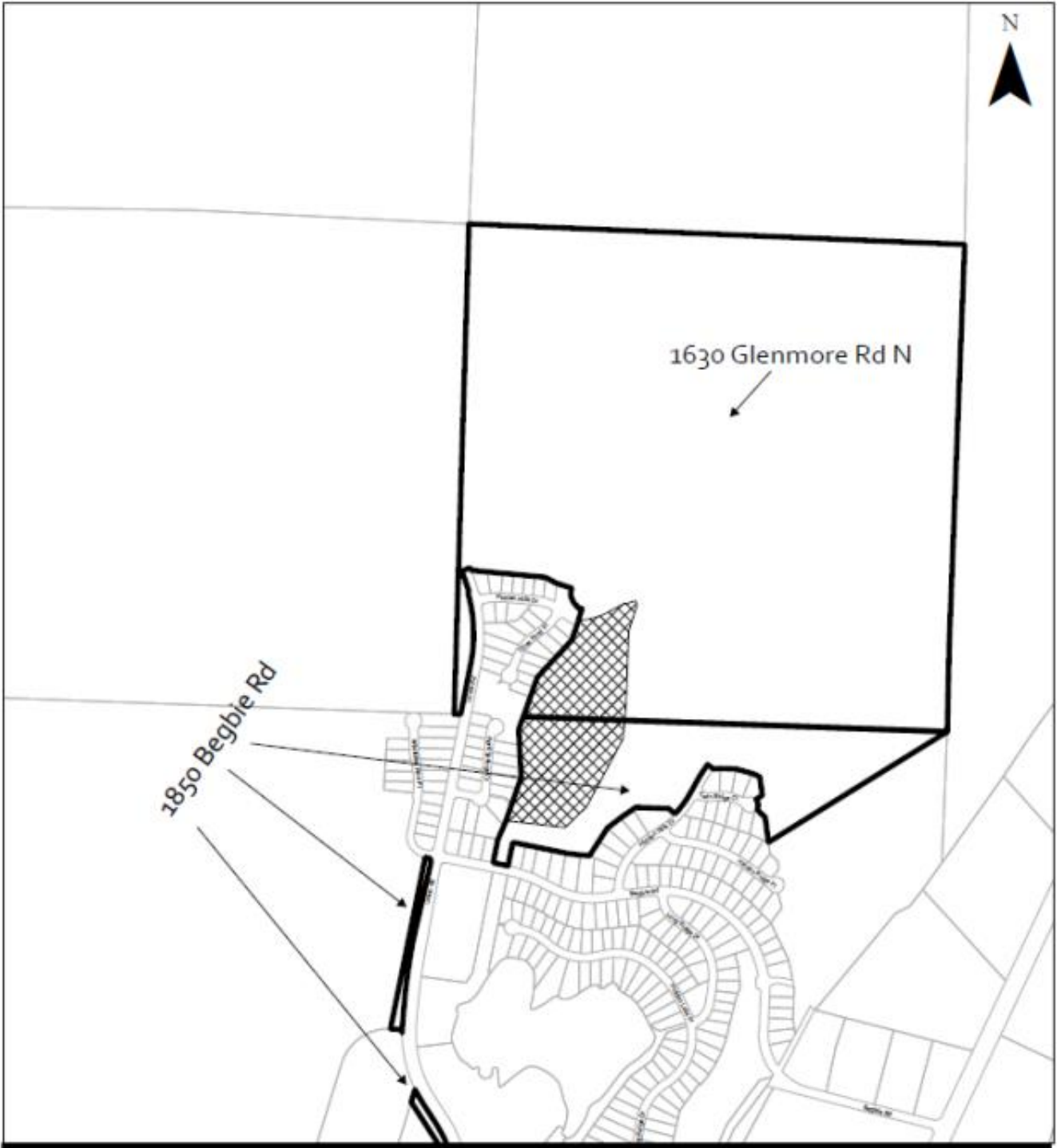
**Map 'C' 1550 Noble Court
File: Z24-0060**

-  Subject Property
-  From MF1 - Infill Housing to MF3r - Apartment Housing Rental Only
-  From P2 - Education and Minor Institutional to MF3r - Apartment Housing Rental Only




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Rev. Sunday, January 12, 2025



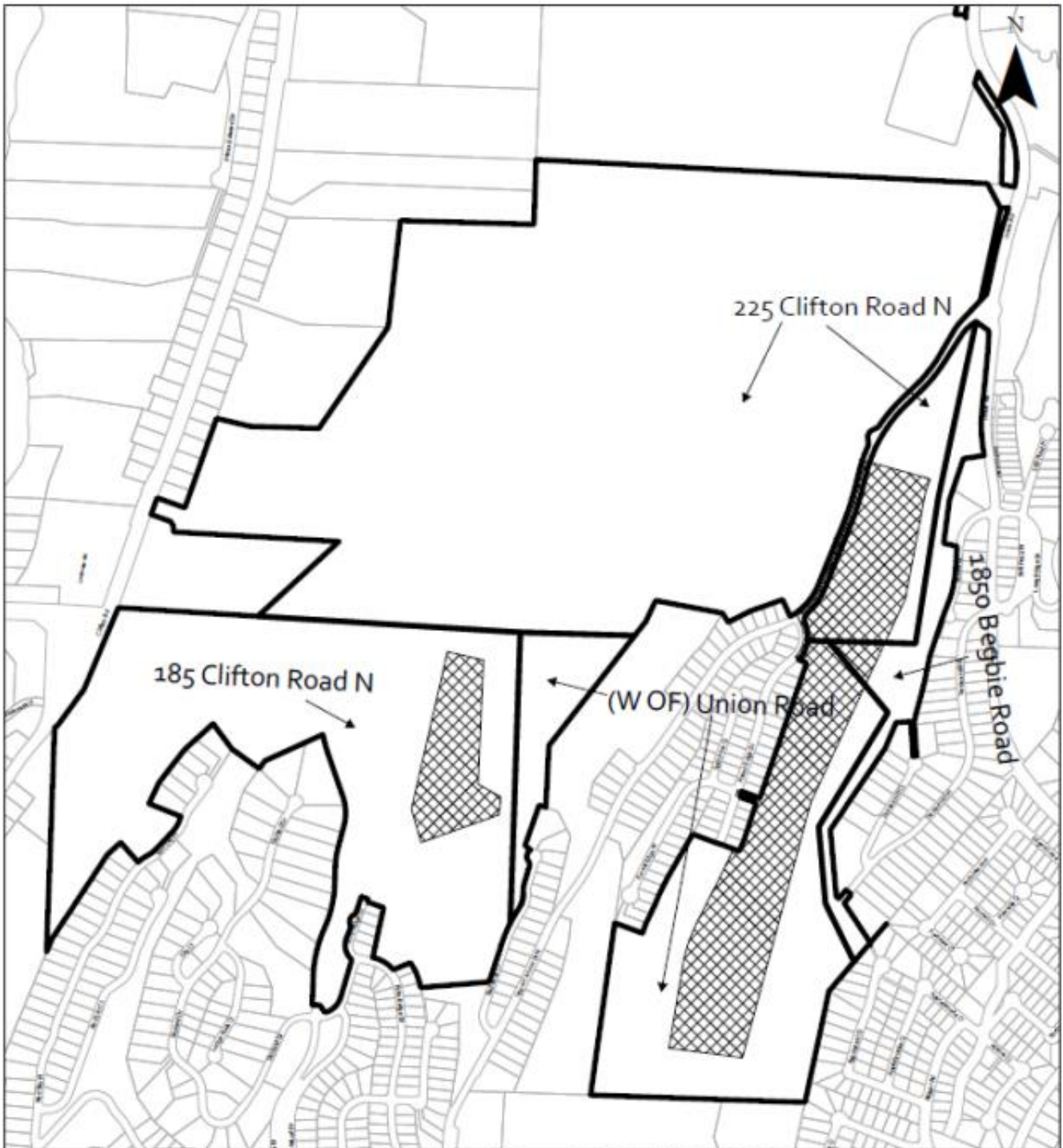


Map 'D' 1630 Glenmore Rd N & 1850 Begbie Rd
File: Z24-0060

-  Subject Property
-  From RU1 - Large Lot Housing to RU5 - Multiple Suburban Housing



City of Kelowna
This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.
 Rev. Sunday, January 12, 2025





**Map 'E' 225 Clifton Rd N, 185 Clifton Rd N, (W OF) Union Road, &
1850 Begbie Road
File: Z24-0060**

 Subject Property

 From RU1 - Large Lot Housing to RU5 - Multiple Suburban Housing





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Rev. Sunday, January 12, 2025]





**Map 'F' 1360 KLO Road
File: Z24-0060**

-  Subject Property
-  From MF1 - Infill Housing to MF3 - Apartment Housing



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accuracy. All information should be verified.
Rev. Sunday, January 12, 2025





**Map 'G' 2160 Tower Ranch Boulevard
File: Z24-0060**

-  Subject Property
-  From P3 - Parks and Open Space to RU2 - Medium Lot Housing



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Rev. Sunday, January 12, 2025





**Map 'H' 300-350 Beaver Lake Rd
File: Z24-0060**

-  Subject Property
-  From I3 - Heavy Industrial to I2 - General Industrial



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accuracy. All information should be verified.
Rev. Sunday, January 12, 2025



REPORT TO COUNCIL DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT



Date: March 11, 2025
To: Council
From: City Manager
Address: 647 Clement Avenue
File No.: DP25-0010 & DVP25-0011
Zone: UC1 – Downtown Urban Centre

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP25-0010 and Development Variance Permit No. DVP25-0011 for Lot 1 District Lot 139 ODYD Plan EPP121801, located at 647 Clement Avenue, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of the Zoning Bylaw No. 12375 be granted as shown on Schedule "A":

Table 8.5.1 – Minimum Dimensions for Bicycle Parking, Wall Mounted Rack

To vary the minimum distance between bicycle racks (for racks that accommodate two or more bicycles) from 0.9 m permitted to 0.8 m proposed.

Section 8.5.6(c)i. – Off-Street Bicycle Parking, Long-Term Bicycle Parking Standards

To vary the minimum amount of ground-anchored long-term bicycle parking from 50% permitted to 38% proposed.

Section 14.11: UC1 – Commercial and Urban Centre Zone Development Regulations

To vary the required minimum building setback from 3.0 m permitted to 0.0 m proposed.

Section 14.11 – Commercial and Urban Centre Zone Development Regulations

To vary the minimum common amenity space from 264 m² permitted to 217 m² proposed.

Section 14.11 Footnote .2: UC1 – Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the east property line from 4.0 m permitted to 0.0 m proposed.

Section 14.11 Footnote .2: UC1 – Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the west property line from 4.0 m permitted to 3.0 m proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Permit for the form and character of an apartment building and to issue a Development Variance Permit to vary the minimum upper floor setbacks, the building stepback, common amenity space, and long-term bicycle parking standards.

3.0 Development Planning

Staff support the proposed Development Permit and associated variances for the form and character of a 6-storey residential building. The proposed project generally aligns with the Official Community Plan (OCP) Form and Character Development Permit Area Design Guidelines for Low & Mid-Rise Residential Development. Key guidelines that are met include:

- Orienting the primary building façade and entry to the fronting street to create street edge definition;
- Accommodating off-street parking underground and "back-of-house" uses way from public view;
- Providing ground floor residential units which have direct, individual access to the street and a semi-private entry with an elevated front patio;
- Expressing a unified architectural concept that incorporates variation in façade treatments including articulating facades, providing patios and balconies, recessing balconies, stepping back upper storeys, and incorporating natural building materials such as brick; and
- Providing shared rooftop amenity spaces to be accessible to residents.

Exterior building materials include red brick veneer, charcoal metal panels, light grey horizontal lap siding, and cedar wood texture panels. Decorative shrub, perennial, and ornamental grass plantings are proposed along the townhouse patios to screen exposed concrete. A large amenity deck is provided on the roof of the structured parkade which includes seating, a firepit, landscape planters, an outdoor kitchen, and a dog run. Snowbird Hawthorn and Ivory Silk Lilac trees are proposed on the rooftop amenity deck.

Two levels of structured parking are provided and accessed from the rear lane. One level is below-grade, and one level is at-grade and screened by the townhome units. The applicant has signed a Car Share Agreement with Modo which requires them to provide the car share vehicle and designate the parking stall for the exclusive use of Modo.

The proposed project remains identical to the version approved by Council in 2022. However, new variances are required due to amendments in the Zoning Bylaw since the original approvals.

Building Setback Variances

The previous Development Permit had two variances which are to remain, to the upper floor setback (above 16.0 m) from 4.0 m permitted to 3.0 m proposed abutting the west property line and 0.0 m abutting the east property line. The setback only applies to the sixth storey of the building. The variance on the west side allows for balconies and a roof overhang, while the variance on the east side extends the patterned and textured firewall. Future development of the adjacent lots to the west are expected to eventually conceal the firewall.

Building Stepback Variance

The applicant is seeking to reduce the required minimum building stepback from 3.0 m permitted to 0.0 m proposed for a portion of front of the building. The building stepback requirement was adopted into the Zoning Bylaw in January 2024. The stepback is intended to reduce the overall mass of the building. The stepback variance allows for balconies and architectural distinction of the lobby façade. A visual break along the building frontage is provided by stepping back the walls for a portion of the sixth storey.

Common Amenity Space Variance

The applicant is requesting a variance to the common amenity space from 264 m² to 217 m². The regulation was amended in April 2023, to allocate 4.0 m² per dwelling unit to be used for common amenity space. The applicant has proposed a rooftop deck amenity that includes seating, a firepit, landscape planters, an outdoor kitchen, and a dog run. This variance is considered minor as the total private and common amenity space exceeds the required minimum.

Bicycle Parking Variances

A variance is proposed to reduce the minimum required ground-anchored long-term bicycle parking from 50% to 38%. To meet the bonus long-term bicycle parking requirement, the applicant has proposed double stacked bicycle racks. This system is ergonomically designed with a lift assist that enables anyone to store bicycles in upper trays and has a sliding mechanism for the bottom tray. To accommodate this system, a variance is required to reduce the distance between bicycle racks from 0.9 m to 0.8 m. These variances are considered minor, as the overall bicycle parking has been met, and the stalls are located at-grade and easily accessible to users.

4.0 Subject Property & Background

4.1 Subject Property Map



The subject property is located on the south side of Clement Avenue between St Paul Street and Richter Street. The surrounding neighbourhood is in the process of transitioning from single family dwellings to multi-dwelling housing. The Kelowna Police Services Building is directly across Clement Avenue. The surrounding area to the west, east, and south is designated Urban Centre and zoned UC1 – Downtown Urban Centre.

4.2 Background

In April 2022, Council reviewed a rezoning application (Z21-0066) to rezone the property to C7 – Central Business Commercial. However, with the adoption of Zoning Bylaw No. 12375, the property was rezoned to UC1 – Downtown Urban Centre.

On September 26, 2022, Council approved a road closure bylaw for a portion of the lane adjacent to Clement Avenue, which was consolidated into the development site.

Subsequently, Council approved a Development Permit (DP21-0150) and a Development Variance Permit (DVP22-0042) for the project on November 29, 2022. These permits remained valid for two years but lapsed on November 29, 2024, as construction had not commenced.

Under the Development Application Procedures Bylaw No.12310, a new application is required for lapsed permits. The applicant has submitted a new Development Permit and Development Variance Permit application for the same project proposal.

5.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
Gross Lot Area	1,668 m ²
Total Number of Units	66
Bachelor	20
1-bed	29
2-bed	17
3-bed	0

DEVELOPMENT REGULATIONS		
CRITERIA	MF ₃ ZONE	PROPOSAL
Total Maximum Floor Area Ratio	3.3	2.7
Max. Site Coverage (buildings)	100 %	84 %
Max. Site Coverage (buildings, parking, driveways)	100 %	100 %
Max. Height	12 storeys / 44 m	6 storeys / 20.8 m
Setbacks		
Min. Front Yard (North)	0.0 m	3.48 m
Min. Side Yard (East)	0.0 m	0.2 m
Min. Side Yard (West)	0.0 m	0.3 m
Min. Rear Yard (South)	0.0 m	0.0 m
Min. Upper Floor Setback (above 16.0 m or 4 storeys)	3.0 m (abutting street) 4.0 m (abutting adjacent property)	3.96 m (abutting street) 0.0 m (abutting east property) ❶ 3.0 m (abutting west property) ❷
Stepbacks		
Min. Fronting Street	3.0 m	0.0 m ❸
Amenity Space		
Total Required Amenity Space	665 m²	821 m²
Common	264 m ²	217 m ² ❹
Landscaping		
Min. Number of Trees	0 trees	10 trees
❶ Indicates a requested variance to the upper floor setback on the east side of the building from 4.0 m to 0.0 m. ❷ Indicates a requested variance to the upper floor setback on the west side of the building from 4.0 m to 3.0 m. ❸ Indicates a requested variance to the building stepback from front yard on the north side of the building from 3.0 m to 0.0 m. ❹ Indicates a requested variance to the common area within the total common and private amenity space from 264 m ² to 217 m ² .		

PARKING REGULATIONS		
CRITERIA	MF ₃ ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	59 stalls	59 stalls
Residential	59	
Visitor	10	
Other Reduction	-5 car share	
Other Reduction	- 5 long-term bicycle parking	
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	54% Regular 45% Small
Bicycle Stalls Short-Term	6 stalls	6 stalls
Bicycle Stalls Long-Term	87 stalls	88 stalls
Ground-Anchored Long-Term Bicycle Racks	50%	38% ⁵
Minimum Distance Between Bicycle Racks (for racks that accommodate two or more bicycles)	0.9 m	0.8 m ⁶
Bonus Stalls Provided for Parking Reduction	Y	Y
Bike Wash & Repair	Y	Y
<p>⁵ Indicates a requested variance to reduce the minimum required ground-anchored long-term bicycle parking from 50% to 38%</p> <p>⁶ To vary the minimum distance between bicycle racks (for racks that accommodate two or more bicycles) from 0.9 m to 0.8 m.</p>		

6.0 Application Chronology

Application Accepted: January 8, 2025
 Neighbour Notification Received: February 10, 2025

Report prepared by: Sara Skabowski, Planner I
Reviewed by: Adam Cseke, Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

Attachments:

Attachment A: Draft Development Permit DP25-0010 & Development Variance Permit DVP25-0011
 Schedule A: Site Plan & Floor Plans
 Schedule B: Elevations & Sections
 Schedule C: Landscape Plan
 Attachment B: OCP Form and Character Development Permit Guidelines
 Attachment C: Summary of Neighbourhood Notification

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

Development Permit & Development Variance Permit

DP25-0010 & DVP25-0011



This permit relates to land in the City of Kelowna municipally known as

647 Clement Avenue

and legally known as

Lot 1 District Lot 139 ODYD PLAN EPP121801

and permits the land to be used for the following development:

Apartment Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

ATTACHMENT A

This forms part of application
DP25-0010 & DVP25-0011

Planner Initials **SS**

The logo for the City of Kelowna Community Planning, featuring a colorful circular geometric pattern above the text "City of Kelowna COMMUNITY PLANNING".

Date of Council Approval: March 11, 2025

Development Permit Area: Form & Character Development Permit

Existing Zone: UC1 – Downtown Urban Centre

Future Land Use Designation: UC – Urban Centre

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner’s authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Madison Avenue Clement GP Inc. No. A0117433

Applicant: Madison Avenue Clement GP Inc.

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP25-0010 and Development Variance Permit No. DVP25-0011 for Lot 1 District Lot 139 ODYD PLAN EPP121801 located at 647 Clement Ave, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT variances to the following section[s] of Zoning Bylaw No. 12375 be granted:

Section 8.5.6(c).1 – Off-Street Bicycle Parking, Ground-Anchored Long-Term Bicycle Parking

To vary the minimum amount of ground-anchored long-term bicycle parking from permitted 50% to 38% proposed.

Table 8.5.1 – Minimum Dimensions for Bicycle Parking, Wall Mounted Rack

To vary the minimum distance between bicycle racks (for racks that accommodate two or more bicycles) from 0.9 m permitted to 0.8 m proposed.

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Section 14.11 Footnote.2: UC1 – Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the west property line from 4.0 m permitted to 3.0 m proposed.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as

per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$264,328.68**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

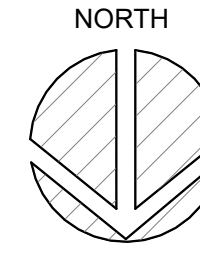
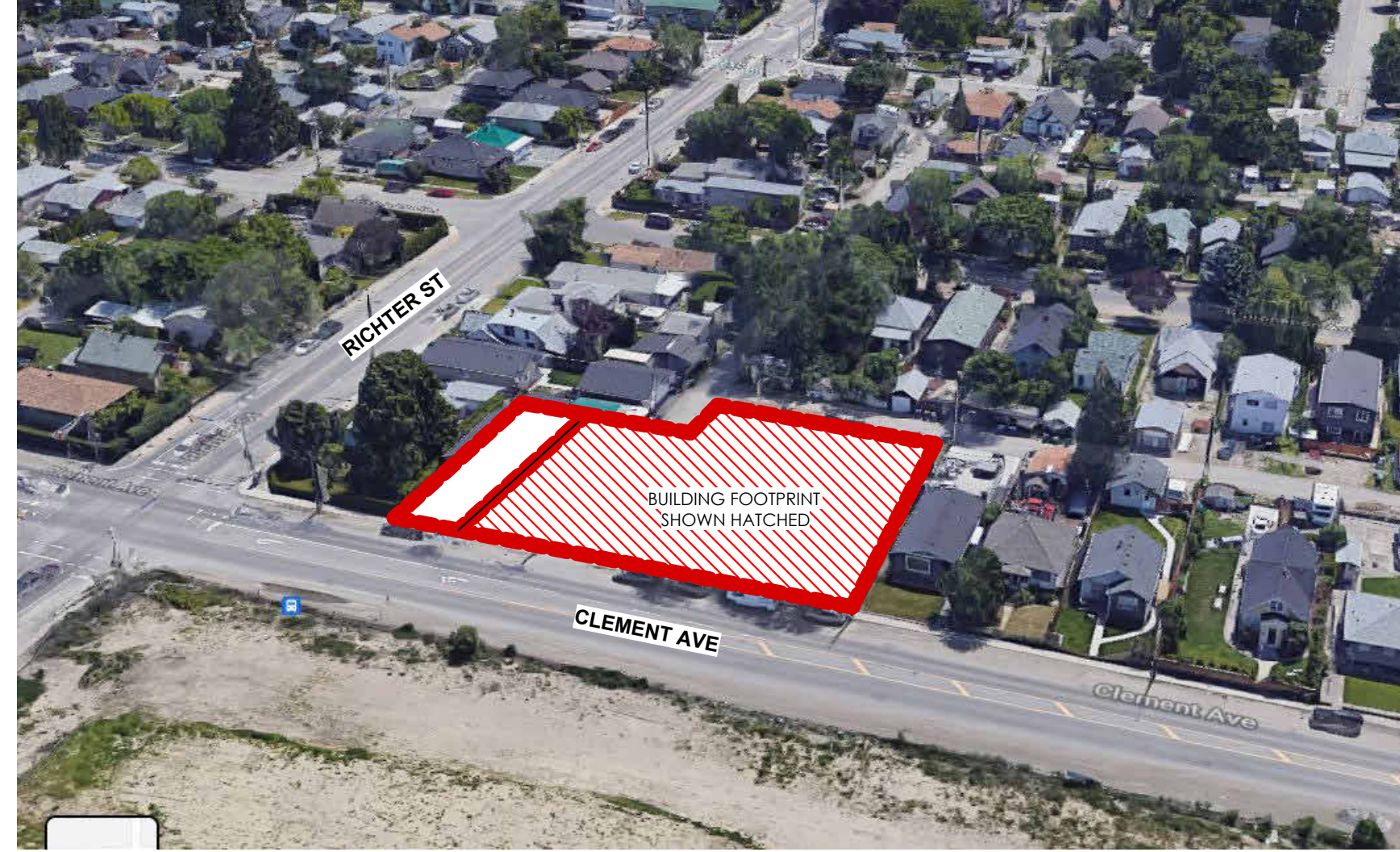
**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

ATTACHMENT A	
This forms part of application # DP25-0010 & DVP25-0011	
Planner Initials	SS
 City of Kelowna COMMUNITY PLANNING	

SAVOY ON CLEMENT

RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

LOCATION MAP



PROJECT INFO:

CIVIL ADDRESS:
677, 657, 647 & 631 CLEMENT AVE, Kelowna, BC

LEGAL DESCRIPTION:
012-396-249

ZONING: UC1 - DOWNTOWN URBAN CENTRE

LOT AREA: 23,516m² OR 253,126 SQ.FT.

SCHEDULE A

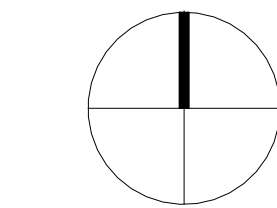
This forms part of application
DP25-0010 & DVP25-0011

Planner
Initials **SS**

City of
Kelowna
COMMUNITY PLANNING

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COORDINATION

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Scale

REGISTERED ARCHITECT
BRIAN J. HAYES
B.C.A.S. 11217
2025-02-13

ARCHITECTURAL DRAWING LIST	
SHEET NUMBER	SHEET NAME
A0.0	COVER SHEET
A1.0	SITE PLAN - LOBBY
A2.0	BASEMENT/LOWER PARKADE PLAN
A2.0A	BASEMENT-LEVEL 0 - SLAB EDGE PLAN
A2.1	MAIN FL.-LEVEL 1 - UPPER PARKADE PLAN
A2.1A	MAIN FL.-LEVEL 1 - SLAB EDGE PLAN
A2.2	2ND FL-LEVEL 2 - FLOOR PLAN
A2.2A	2ND FL-LEVEL 2 - SLAB / SLOPED INSULATION PLAN
A2.3	3RD FL-LEVEL 3 - FLOOR PLAN
A2.4	4TH FL-LEVEL 4 - FLOOR PLAN
A2.5	5TH FL-LEVEL 5 - FLOOR PLAN
A2.6	6TH FL-LEVEL 6 - FLOOR PLAN
A2.7	ROOF PLAN
A2.8	ENLARGED PLANS, UNITS T1 & T2
A2.9	ENLARGED PLANS, UNITS B1 TO B4
A2.10	ENLARGED PLANS, UNITS C1, & D1 to D3
A2.11	ENLARGED PLANS, UNITS A1, A2, E1, E2 & MAIN FL LOBBY
A3.0	BUILDING ELEVATIONS
A3.1	BUILDING ELEVATIONS
A4.0	BUILDING SECTIONS
A4.1	BUILDING SECTIONS
A4.2	BUILDING SECTIONS
A4.3	BUILDING SECTIONS
A4.4	BUILDING SECTIONS
A4.5	BUILDING SECTIONS



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CLIENT:

MADISON AVE GROUP:
CONTACT: MIKE KEIZER
CALGARY, AB
PHONE: (587) 391.9152
EMAIL: MKEIZER@MADISONAVEGROUP.COM

ARCHITECTURAL:

BLUEGREEN ARCHITECTURE INC.
CONTACT: WENDY REMPEL
100-1353 ELLIS STREET
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PHONE: (236) 420.3550 X202
EMAIL: WREMP@BLUEGREENARCH.COM

STRUCTURAL:

READ JONES CHRISTOFFERSEN LTD.
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EMAIL: JDICKIE@RJC.CA

MECHANICAL:

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CONTACT: JUBAL WRIGHT
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GEOTECHNICAL:

GEOPACIFIC CONSULTANTS
CONTACT: CONNOR GRIFFIN
VANCOUVER, BC
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EMAIL: GRIFFIN@GEOPACIFIC.CA

ENERGY:

FALCON ENGINEERING
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CIVIL:

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SURVEYOR:

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ELECTRICAL:

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LANDSCAPE:

ECORA
CONTACT: ACHIM MULLER
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BUILDING ENVELOPE:

READ JONES CHRISTOFFERSEN LTD.
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EMAIL: LPEER@RJC.CA

CITY OF KELOWNA ZONING SUMMARY

ADDRESS	631, 647, 657, 677 (1/2) CLEMENT AVE.	
CURRENT ZONING	UC1 - DOWNTOWN URBAN CENTRE	
GRADES	EXISTING AVERAGE - FLAT	FINISH AVERAGE - FLAT
BUILDING HEIGHTS	6 STOREYS	
SITE AREA (sqm)	17,955 SQ.FT. (1,668 m ²)	
OFF-STREET PARKING	59 (INCLUDING 2 CAR SHARE SPACES)	
TOTAL GFA (RESIDENTIAL)	53,491 SQ.FT. (4,969 m ²)	
TOTAL NFA	48,435 SQ.FT. (4,500 m ²)	
EFFICIENCY	91%	
F.A.R.	3.3 and 1.8	PROPOSED 2.70
OCP 2040 FUTURE LAND USE	C-NHD (2040 CORE AREA + URBAN CENTRE)	
SITE COVERAGE	100%	84%
INCLUDING IMPERMEABLE SURFACES	100%	100%
FRONT YARD/FLANKING / SIDE SETBACK	0 M	3.48 M
MIN. BUILDING STEPBACK - VARIANCE	3 M	0 M
MIN. REAR YARD	0 M	VARIES
UPPER FLOOR SETBACKS	3 M ABOVE 4 STOREYS OR 16 M	
MAX HEIGHT	6 AND 12 STOREYS	PROPOSED 6

UNIT FLOOR AREAS:

UNIT TYPES	DESCRIPTION	UNIT NFA (sqft)	OUTDOOR SPACE (sqm)	UNIT COUNT	TOTAL UNIT NFA (sqft)	TOTAL OUTDOOR SPACE (sqm)
A1	BACHELOR	455	9.2	20	9,100	184
B1	1 BED	650	6.1	12	7,800	73.2
B2	1 BED	575	13.7	4	2,300	54.8
B3	1 BED	690	11.3	5	3,250	56.5
B4	1 BED	525	1.0	5	2,625	5.0
B5	1 BED	650	38.3	1	650	38.3
B6	1 BED	625	15.1	1	625	15.1
C1	1 BED + DEN	750	20.6	1	750	20.6
D1	2 BED	1,025	6.2	3	3,075	18.6
D2	2 BED	1,000	9.1	3	3,000	27.3
D3	2 BED	1,100	48.7	1	1,100	48.7
E1	2 BED + DEN	1,085	68.7	1	1,085	68.7
E2	2 BED + DEN	1,225	6.1	3	3,675	18.3
T1	2 BED TOWNHOME	1,180	35.0	5	5,900	175
T2	2 BED TOWNHOME	1,300	74.0	1	1,300	74.0
TOTAL UNIT COUNT				66		
TOTAL NET AREA FOR F.A.R.					48,435 (4,500 m ²)	8780 m ²
PRIVATE AMENITY SPACE:						
PERMITTED (sqm): 6.0m x bachelors x 20 + 10m x 1 bed x 29 units + 15 m x 2 bed x 17 units =					7158 R2	
PROPOSED (sqm):						
BALC / TERRACES:					6,503 R2	
COMMON AMENITY TERRACE: PERMITTED(sqm): 4 SM PER DWELLING = 264 SM					2,339 R2	
ENTRY PLAZA:					40 R2	
TOTAL:					8,882 R2	
GROSS FLOOR AREAS:						
PARKADE LO		GFA sqft	GFA sqm			
		13,720	1,275			
PARKADE L1		10,680	992			
TOTAL PARKADE GFA		24,400	2,267			
LEVEL 1 RESIDENTIAL		3,698	342			
LEVEL 2 RESIDENTIAL		10,336	960			
LEVEL 3 - 5 RESIDENTIAL		10,165 (X3)	944 (X3)			
LEVEL 6 RESIDENTIAL		8,975	834			
TOTAL RESIDENTIAL GFA		53,491	4,969			

BUILDING CODE REVIEW

OCCUPANCY	RESIDENCES: GROUP C	PARKADE: GROUP F3
ARTICLE	3.2.2.50	3.2.2.82
NO. OF STOREYS	6 STOREYS	UNLIMITED
NO. OF STREETS FACING	2	2
MAX. BUILDING AREA	1,800 sqm	UNLIMITED
NOTE: PARKADE TO BE CONSIDERED AS A SEPARATE BUILDING IN ACCORDANCE WITH 3.2.1.2		
CONSTRUCTION TYPE	COMBUSTIBLE	NON-COMBUST.
SPRINKLERED	YES	YES
ASSEMBLY RATINGS:		
FLOOR	1 HR. (2 HR. RATING ABOVE PARKADE, NO FT RATING REQUIRED)	
WALLS / BEARING STRUCTURE	1 HR. (2 HR. RATING FOR PARKADE)	
ROOFS	1 HR	

PARKING CALCULATIONS

STALL SIZE	WIDTH	LENGTH	HEIGHT
FULL SIZE STALL	8'-3" (2.5m) min.	19'-8" (6.0m) min.	6'-4" (2.0m) min.
SMALL SIZE STALL (50% MAX)	7'-6" (2.3m) min.	15'-8" (4.8m) min.	6'-4" (2.0m) min.
ACCESSIBLE STALL	12'-2" (3.7m) min.	19'-8" (6.0m) min.	6'-4" (2.0m) min.
DRIVE AISLES (2-way 90° pkg)	23'-0" (7.0m) min.		

PARKING SUMMARY

AT GRADE	2 (1 CAR SHARE SPACE PROVIDED)
PARKADE	57 (1 ACCESSIBLE & 1 VAN-ACCESSIBLE SPACE PROVIDED)
TOTAL:	59

PARKING REQUIREMENTS:

RESIDENTIAL (URBAN CENTRE):	
0.8 stalls/ studio x 20 units	16 stalls
0.9 stalls/ 1 bedroom units x 29 units	26 stalls
1.0 stalls/ 2 bedroom units x 17 units	17 stalls
0.14 stalls/ dwelling unit x 66 units	10 visitor stalls
	69 stalls
CAR SHARE INCENTIVE x 1	5 stall reduction (1 space provided at rear lane)
BIKE STORAGE INCENTIVE x 1	5 stall reduction (see calculations below)
TOTAL PARKING REQUIRED	59 stalls
TOTAL PARKING PROVIDED	59 stalls
TOTAL SMALL CARS W/1 COUNT	27 stalls

BIKE PARKING REQUIREMENTS:

RESIDENTIAL:	REQ'D	PROVIDED
Bonus Long Term - 1.25 stall/studio, 1 bed	61 stalls	
Bonus Long Term - 1.5 stall/2 bed	25.5 stalls	
TOTAL PARKING REQUIRED	87 stalls	89 stalls (34 Ground Oriented)
Cargo Bicycle Spaces (Ground Oriented)	0 stalls	6 stalls of 86 provided
Short Term - 6 / entrance	6 stalls	6 stalls

RECORD OF ISSUES

NO.	DATE	DESCRIPTION
01	2021.05.27	ISSUED FOR REZONING & DEVELOPMENT PERMIT
02	2021.11.08	RE-ISSUED FOR REZONING & DEVELOPMENT PERMIT
03	2022.02.22	RE-ISSUED FOR REZONING & DEVELOPMENT PERMIT
04	2022.04.09	ISSUED FOR B.P. COMMENTS
05	2022.07.11	ISSUED FOR PRECING
06	2022.08.19	ISSUED FOR POST TENDER ADDENDUM
07	2023.08.02	ISSUED FOR IPC COORDINATION
08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.16	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP / CURRENT ZONING
11	2025.02.06	UC1 UPDATES

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
5	2024.01.08	IPC COORDINATION

Project

SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

Sheet Title

COVER SHEET

Job Number 21.888

Date 07/11/22

Scale

Revision Number A

Drawing Number

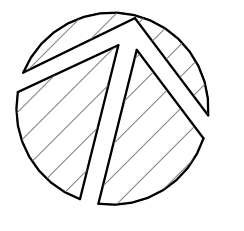
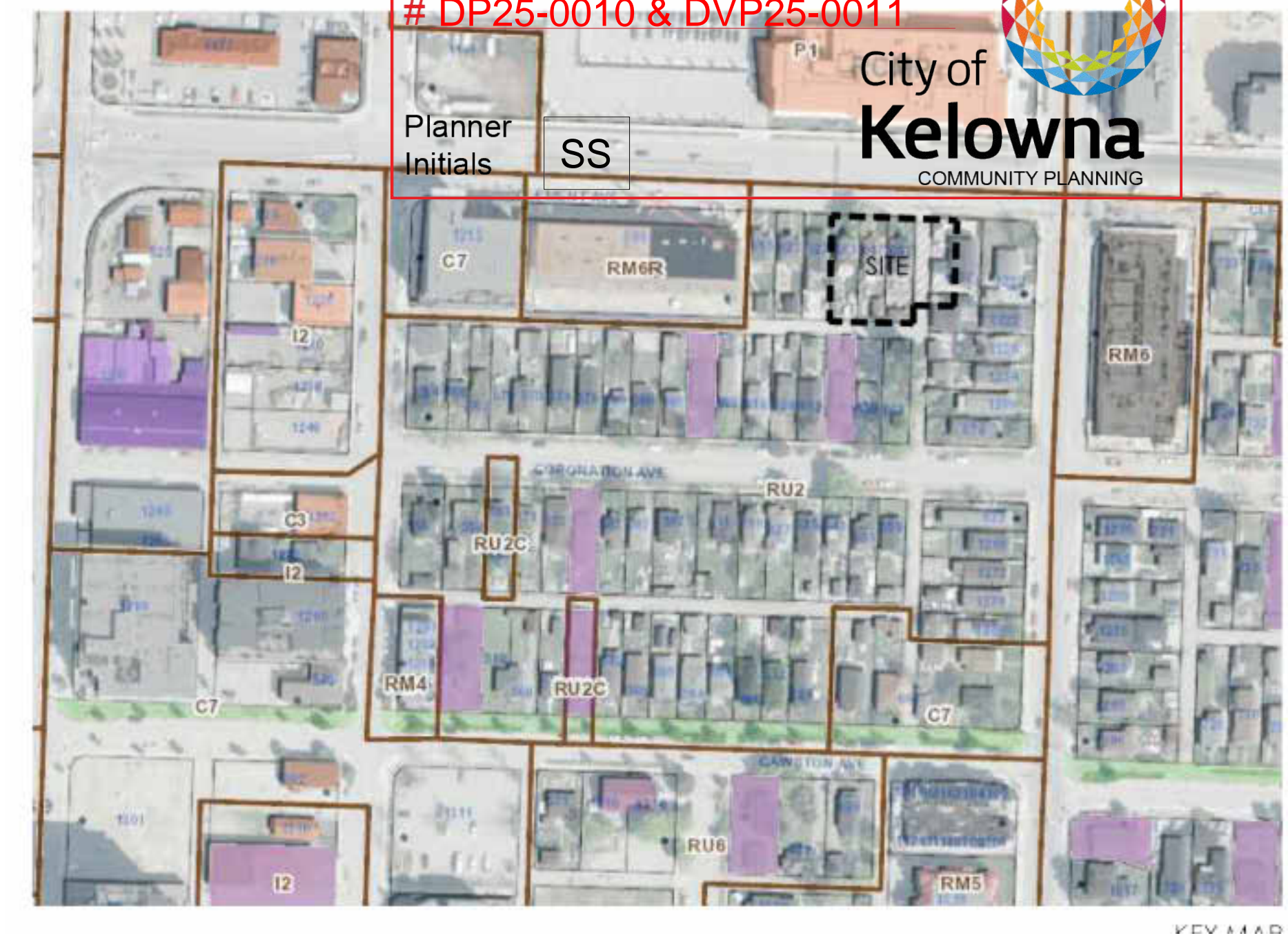
SCHEDULE A

This forms part of application
DP25-0010 & DVP25-0011



Planner Initials SS

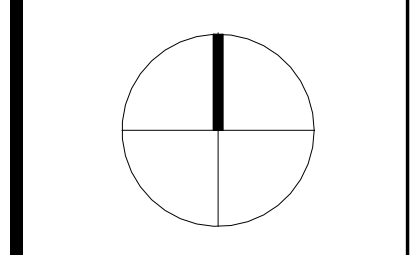
City of Kelowna
COMMUNITY PLANNING



BLUEGREEN
#100-1353 8th Street
Kelowna, BC V1Y 1Z9
p:254.420.3550
www.bluegreenarchitecture.com

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Seal
REGISTERED ARCHITECT
BRITISH COLUMBIA
2025-02-13

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NO.	DATE	DESCRIPTION
01	2021.05.27	ISSUED FOR REZONING & DEVELOPMENT PERMIT
02	2021.11.08	RE-ISSUED FOR REZONING & DEVELOPMENT PERMIT
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07	2023.08.02	ISSUED FOR IFC COORDINATION
08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.14	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.04	VCI UPDATES

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
5	2024.01.08	IFC COORDINATION

Project

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ON CLEMENT

RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

Sheet Title
SITE PLAN - LOBBY

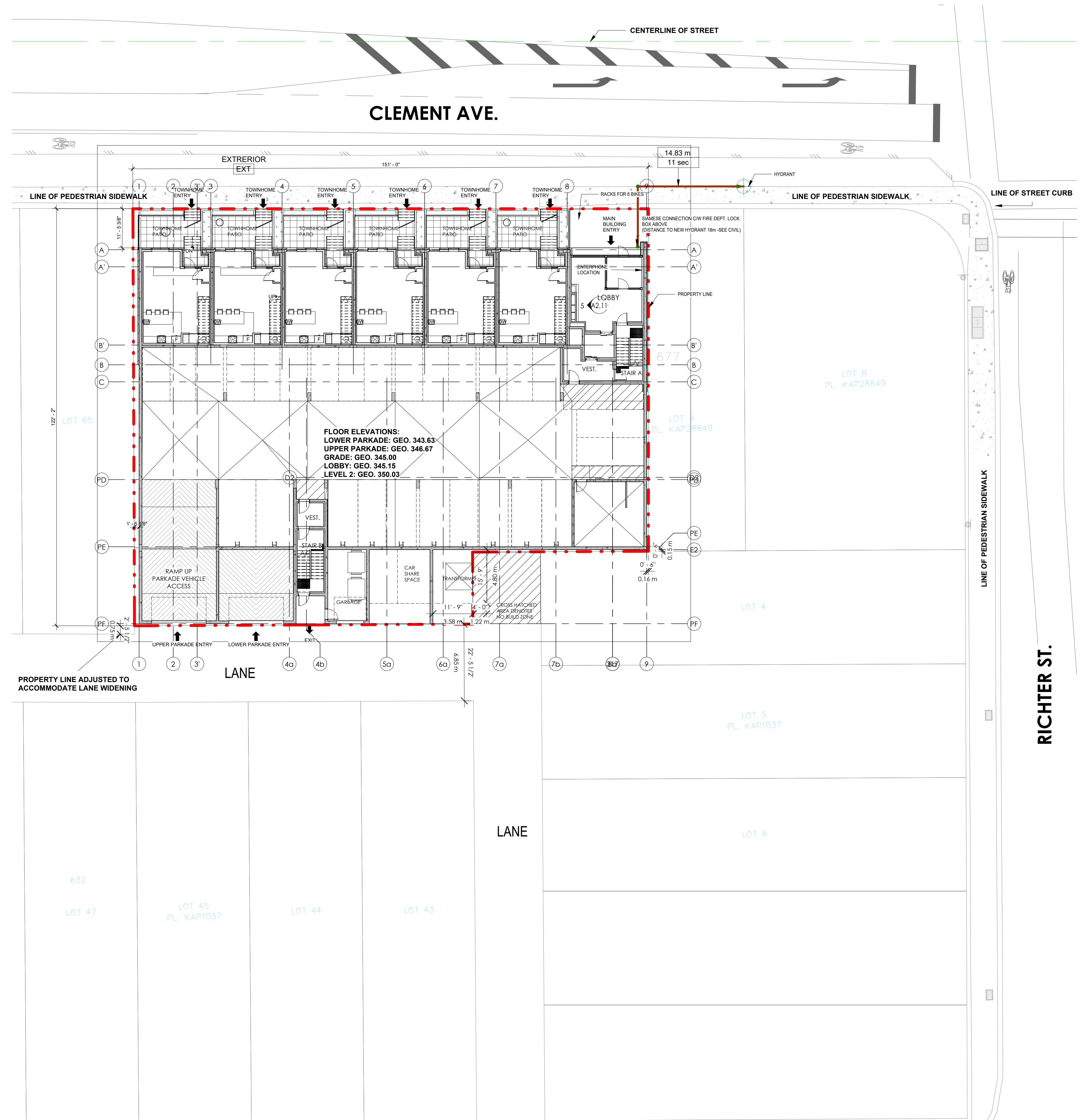
Job Number 21.888

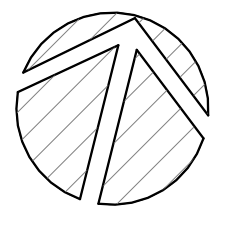
Date 07/11/22

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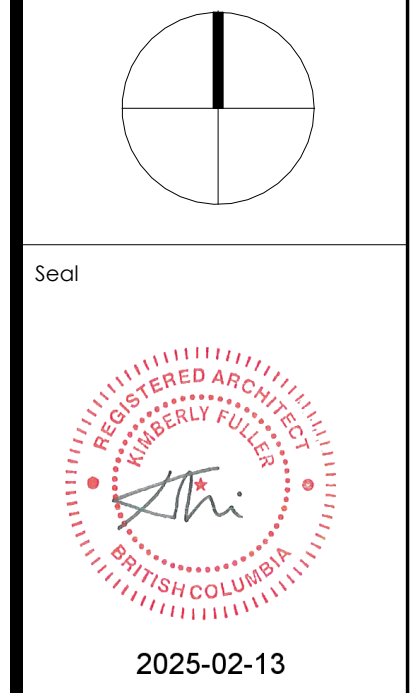
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06	2022.08.19	ISSUED FOR POST TENDER ADDENDUM
07	2023.08.02	ISSUED FOR IFC COORDINATION
08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.14	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.04	VCI UPDATES

NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
4	2023.11.13	IFC COORDINATION
1	01.25.2022	1625 COORDINATION

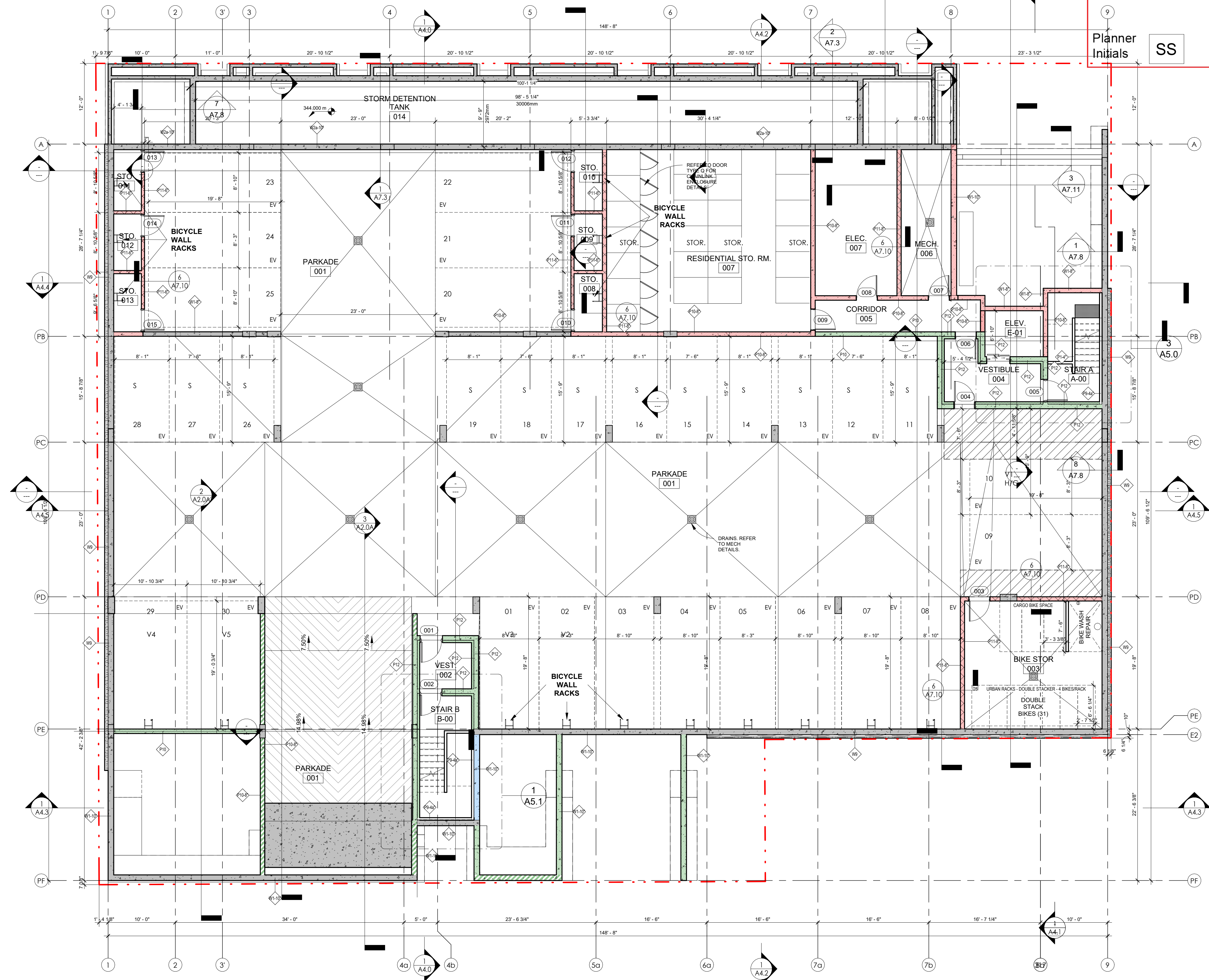
Project
SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

Sheet Title
BASEMENT-LOWER PARKADE PLAN

Job Number 21.888
 Date 07/11/22
 Scale 1/8" = 1'-0"
 Revision Number A
 Drawing Number

SCHEDULE A
 This forms part of application
 # DP25-0010 & DVP25-0011
 Planner Initials **SS**

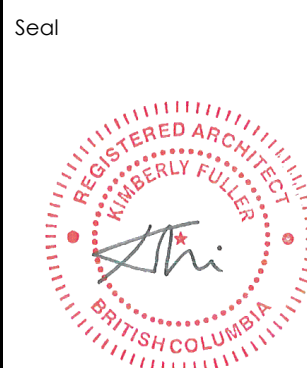
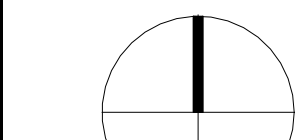


1 LEVEL 0- LOWER PARKADE
A2.0 1/8" = 1'-0"

LEGEND:
 (MAIN RATINGS REQUIRED @ WALLS)

1 HOUR FIRE SEPARATION	[Red hatched pattern]
1 HOUR FIRE RESISTANCE RATING	[Red diagonal hatched pattern]
1.5 HOUR FIRE SEPARATION	[Green hatched pattern]
1.5 HOUR FIRE RESISTANCE RATING	[Green diagonal hatched pattern]
2 HOUR FIRE SEPARATION	[Blue hatched pattern]
2 HOUR FIRE RESISTANCE RATING	[Blue diagonal hatched pattern]

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2025-02-13

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01	2021.05.27	ISSUED FOR REZONING & DEVELOPMENT PERMIT
02	2021.11.08	RE-ISSUED FOR REZONING & DEVELOPMENT PERMIT
03	2022.02.22	RE-ISSUED FOR REZONING COMMENTS
04	2022.04.09	ISSUED FOR B.P.
05	2022.07.11	ISSUED FOR PRICING
06	2022.08.19	ISSUED FOR POST TENDER ADDENDUM
07	2023.08.02	ISSUED FOR IFC COORDINATION
08	2023.11.09	RE-ISSUED FOR BUILDING PERMITS
09	2024.01.16	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR SP CURRENT ZONING
11	2025.02.06	VCI UPDATES

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
4	2023.11.13	IFC COORDINATION
1	01.25.2022	60% COORDINATION

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
1	01.25.2022	60% COORDINATION

Project

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RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

Sheet Title
**BASEMENT- LEVEL 0 -
 SLAB EDGE PLAN**

Job Number 21.888

Date 06/21/23

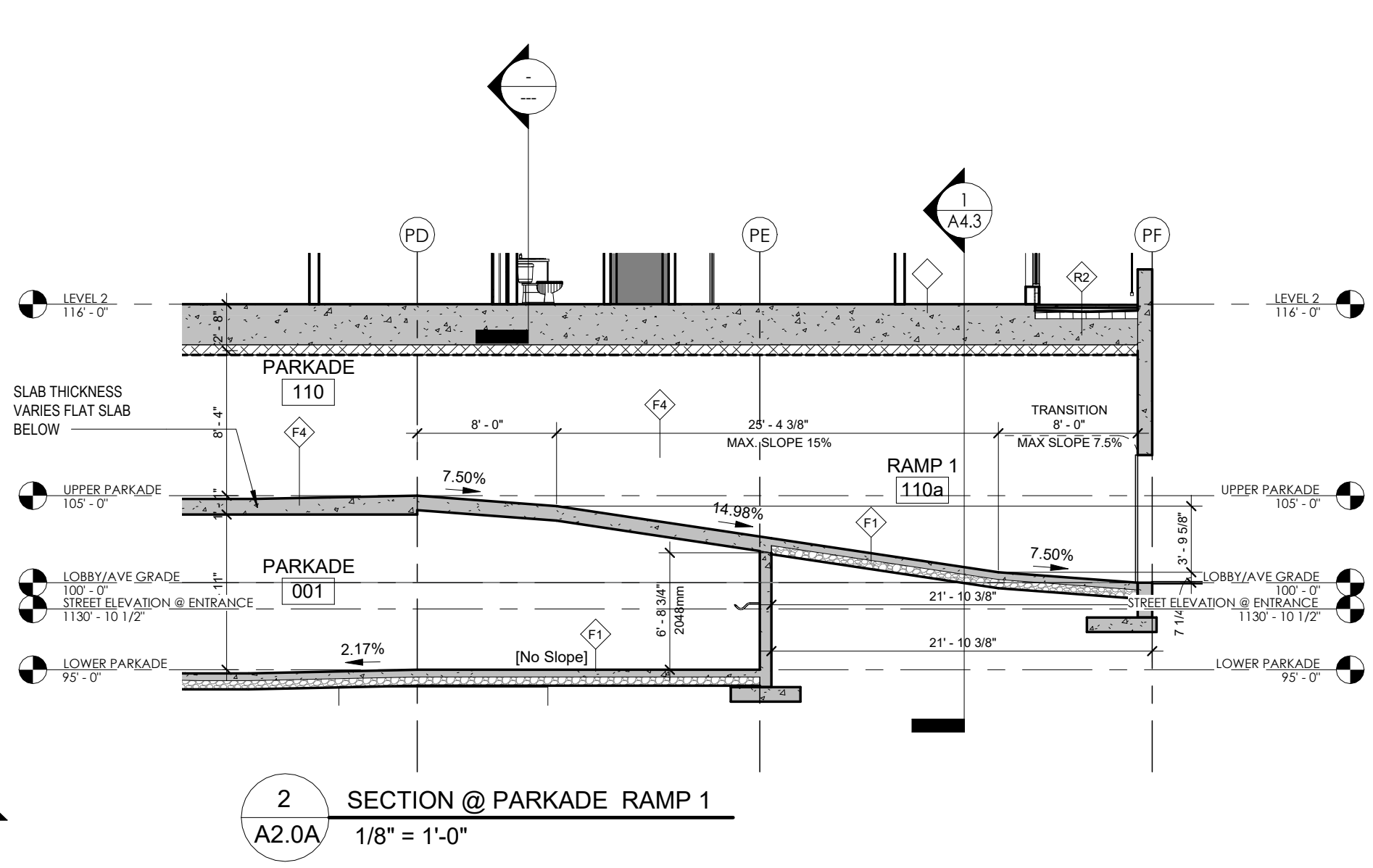
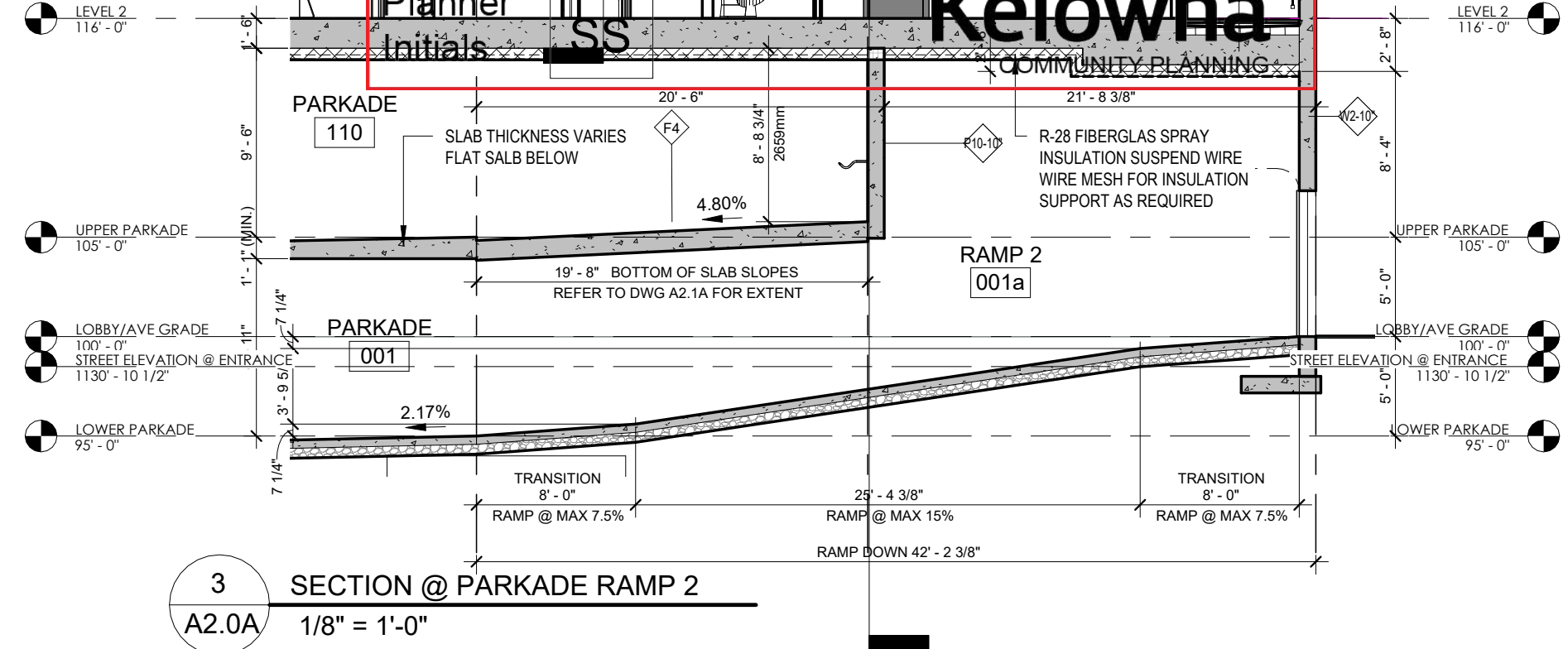
Scale 1/8" = 1'-0"

Revision Number A

Drawing Number

A2.0A

SCHEDULE A
 This forms part of application
 # DP25-0010 & DVP25-0011
 City of Kelowna
 COMMUNITY PLANNING
 Planner Initials

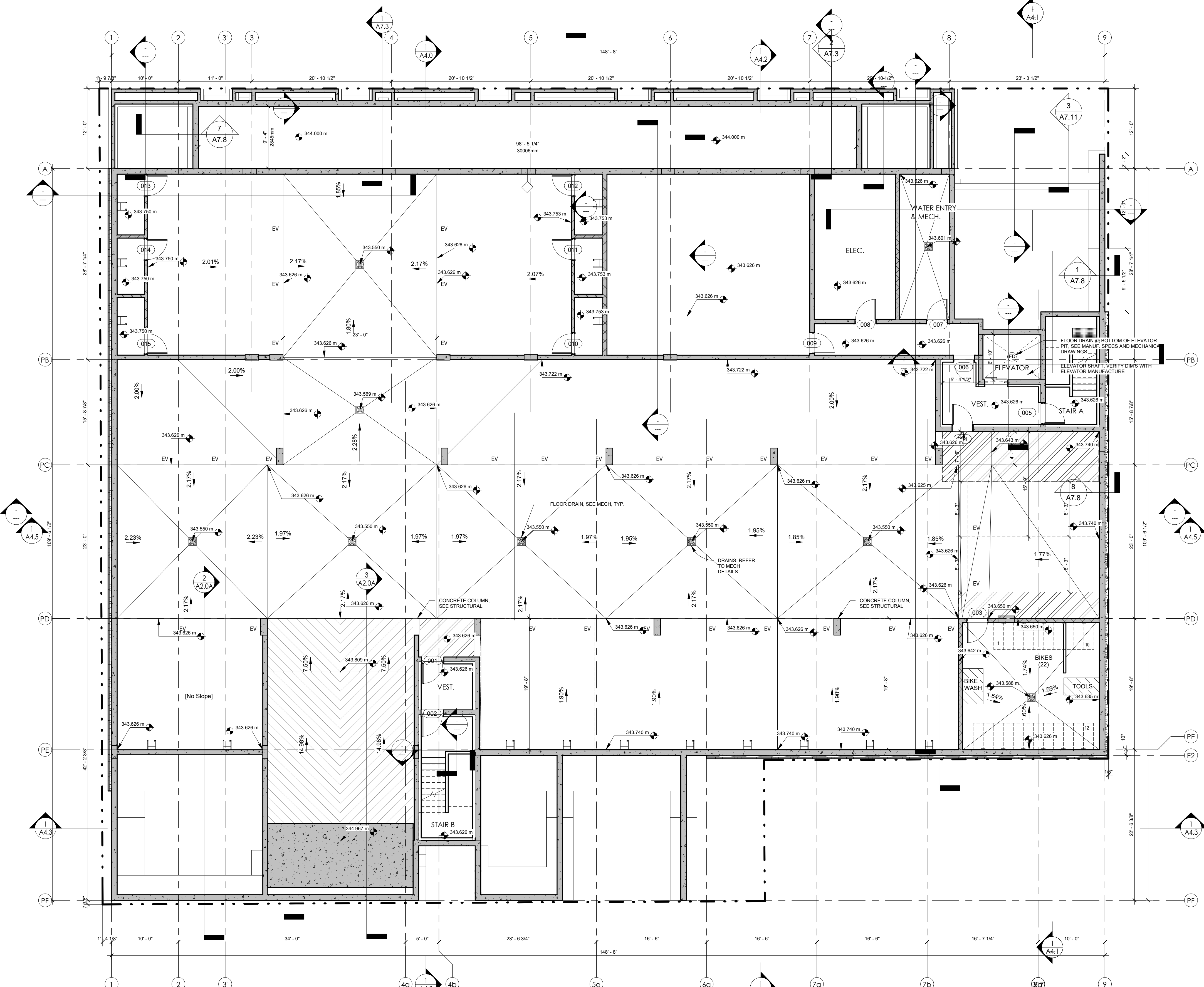


SLAB LEGEND

- PEDESTRIAN WALK AREA
- SLOPE
- SLAB ELEVATION
- DRIVE AISLE RAMP
- FLOOR DRAIN
- PARKADE SLAB SLOPES REFER TO DETAIL 2/A2.0A

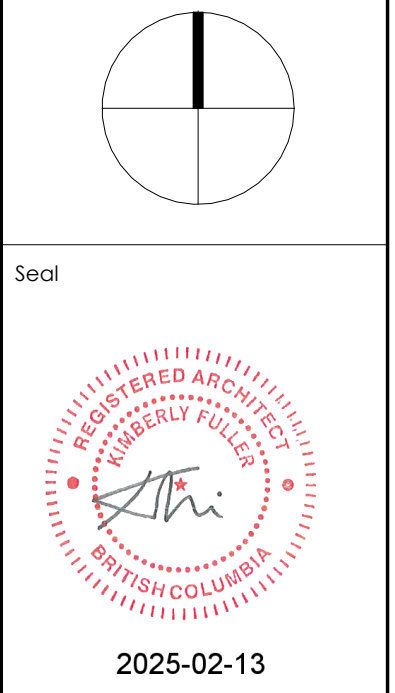
GENERAL NOTE: PARKADE SLAB VARIES IN THICKNESS U/S OF SLAB IS FLAT UNLESS NOTED OTHERWISE. (MIN. SLAB THICKNESS AS NOTED ON STRUCTURAL DRAWINGS)

NOTES - SEE A0.8 - RADON VENTED CONCRETE SLAB FOR RADON ZONES AND INFORMATION
 MECH CONSULTANTS TO ENSURE THAT THE PARKADE VENTILATION IN THE PARKING AREA IS DESIGNED FOR RADON PREVENTION AS PER BCBC 2018 ARTICLE 6.2.1. (i)
 - EXPOSED PARKADE FLOOR SLAB SURFACES TO RECEIVE TRAFFIC COATING
 - EXPOSED CONCRETE STAIR, VESTIBULE SLAB, MECHANICAL, ELECTRICAL ROOM FLOORS TO BE SEALED



1 LEVEL 0 LOWER PARKADE SLAB PLAN
 A2.0A 1/8" = 1'-0"

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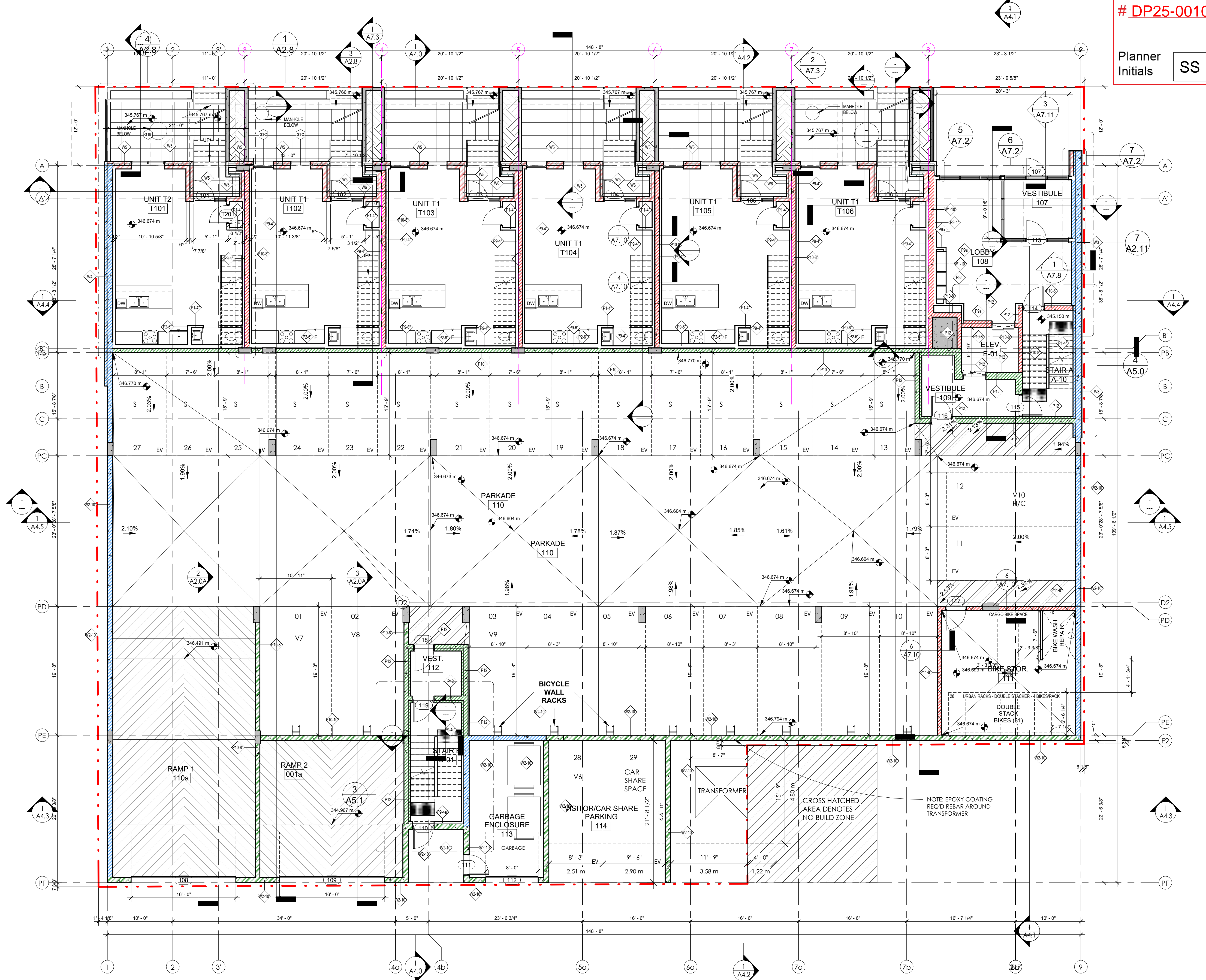


SCHEDULE A

This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**

City of Kelowna
 COMMUNITY PLANNING



1 LEVEL 1-UPPER PARKADE
 A2.1 1/8" = 1'-0"

AMENITY SPACE 2ND LEVEL

INDOOR COMMON	840 SF
OUTDOOR COMMON	
PRIVATE AMENITY	
TOTAL COMMON + PRIVATE AMENITY SPACE:	840 SF

LEGEND
 (MAIN RATINGS REQUIRED @ WALLS)

1 HOUR FIRE SEPARATION	[Red solid box]
1 HOUR FIRE RESISTANCE RATING	[Red hatched box]
1.5 HOUR FIRE SEPARATION	[Green solid box]
1.5 HOUR FIRE RESISTANCE RATING	[Green hatched box]
2 HOUR FIRE SEPARATION	[Blue solid box]
2 HOUR FIRE RESISTANCE RATING	[Blue hatched box]

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09	2024.01.14	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.06	VCI UPDATES

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
4	2023.11.13	IFC COORDINATION
2	25.05.2022	DP Review Comments

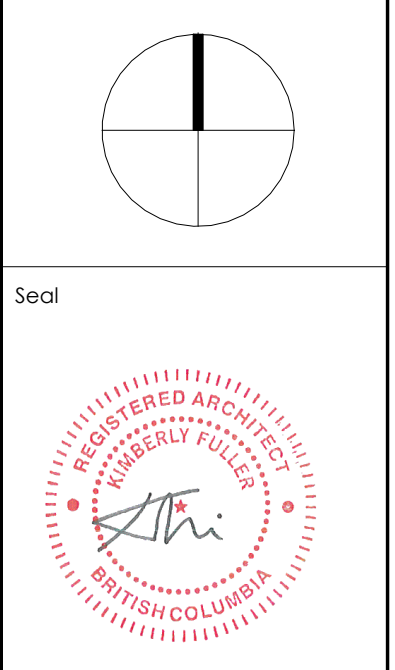
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 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

Sheet Title
MAIN FL.-LEVEL 1 - UPPER PARKADE PLAN

Job Number 21.888
 Date 07/11/22
 Scale 1/8" = 1'-0"
 Revision Number A
 Drawing Number

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2025-02-13

RECORD OF ISSUES		
NO.	DATE	DESCRIPTION
01	2021.05.27	ISSUED FOR REZONING & DEVELOPMENT PERMIT
02	2021.11.08	RE-ISSUED FOR REZONING & DEVELOPMENT PERMIT
03	2022.02.22	RE-ISSUED FOR REZONING & SP TO SUE CITY COMMENTS
04	2022.04.09	ISSUED FOR BIP
05	2022.07.11	ISSUED FOR PRICING
06	2022.08.19	ISSUED FOR POST TENDER ADDENDUM
07	2023.08.02	ISSUED FOR IPC COORDINATION
08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.14	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR SP CURRENT ZONING
11	2025.02.04	VCI UPDATES

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
1	2024.01.08	IPC COORDINATION
2	25.05.2022	DFP Review Comments

Project
SAVOY
 ON CLEMENT
 RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

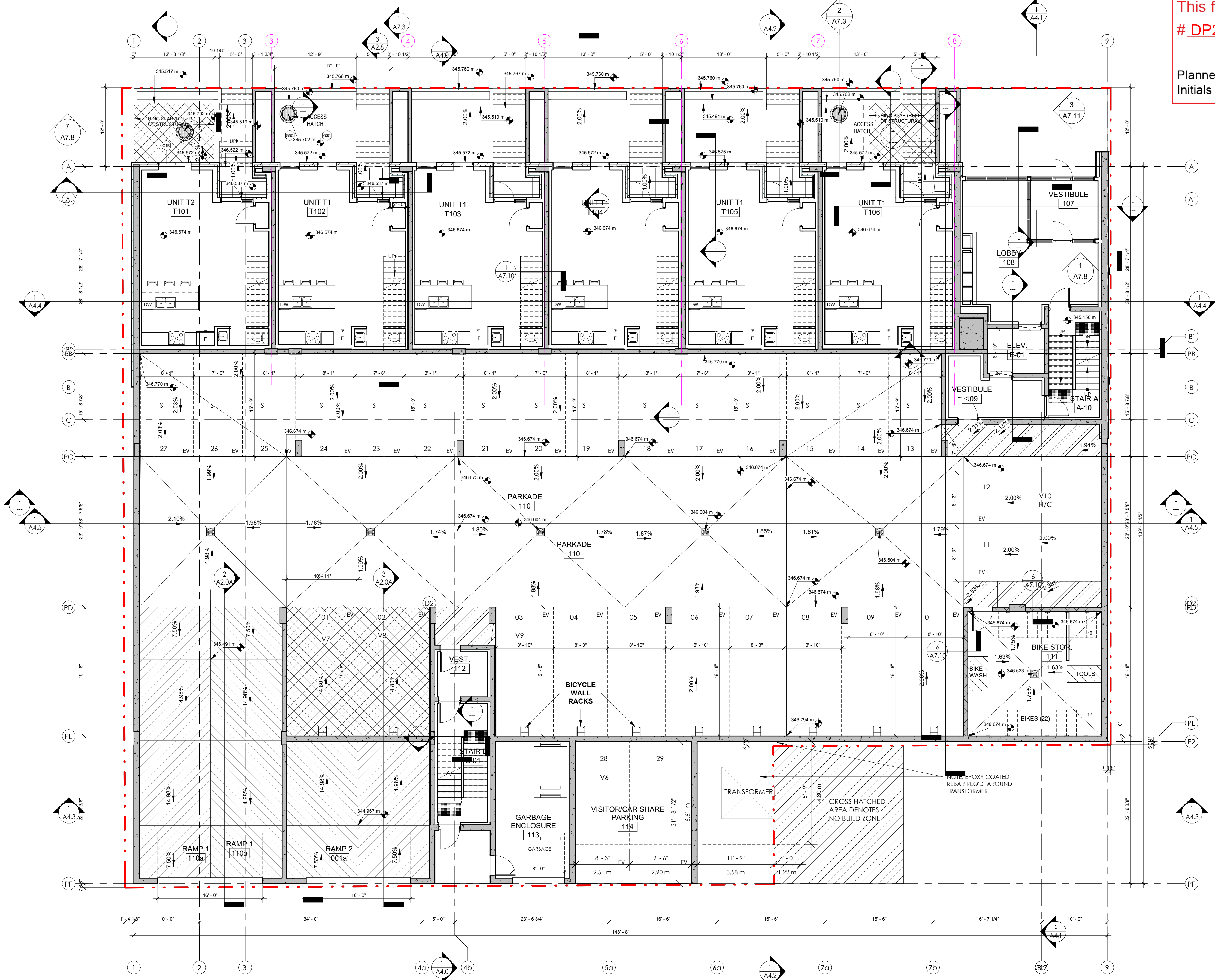
Sheet Title
**MAIN FL. - LEVEL 1 -
 SLAB EDGE PLAN**

Job Number 21.888
 Date 09/25/23
 Scale 1/8" = 1'-0"

Revision Number A
 Drawing Number

2025-02-13 4:46:00 PM
A2.1A

SCHEDULE A
 This forms part of application
 # DP25-0010 & DVP25-0011
 Planner Initials **SS**
City of Kelowna
 COMMUNITY PLANNING



SLAB LEGEND

- PEDESTRIAN WALK AREA
- SLOPE
- SLAB ELEVATION
- DRIVE AISLE RAMP
- FLOOR DRAIN
- PARKADE SLAB SLOPES REFER TO DETAIL 2/A2.0A

GENERAL NOTE: PARKADE SLAB VARIES IN THICKNESS U/S OF SLAB IS FLAT UNLESS NOTED OTHERWISE (MIN. SLAB THICKNESS AS NOTED ON STRUCTURAL DRAWINGS)

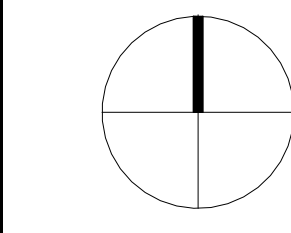
NOTES: - SEE A2.0 - RADON VENTED CONCRETE SLAB FOR RADON ZONES AND INFORMATION.
 - MECH CONSULTANTS TO ENSURE THAT THE PARKADE VENTILATION IN THE PARKING AREA IS DESIGNED FOR RADON PREVENTION AS PER BCBC 2018 ARTICLE 6.2.1.1 (i)
 - EXPOSED PARKADE FLOOR SLAB SURFACES TO RECEIVE TRAFFIC COATING
 - EXPOSED CONCRETE STAIR, VESTIBULE SLAB, MECHANICAL, ELECTRICAL ROOM FLOORS TO BE SEALED.

AMENITY SPACE 1ST LEVEL
 INDOOR COMMON 660 SF
 OUTDOOR COMMON
 PRIVATE AMENITY
 TOTAL COMMON + PRIVATE AMENITY SPACE: 660 SF

1 LEVEL 1 UPPER PARKADE SLAB EDGE PLAN
A2.1A 1/8" = 1'-0"

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Seal
 REGISTERED ARCHITECT
 BRITISH COLUMBIA
 2025-02-13

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04	2022.04.09	ISSUED FOR B.P.
05	2022.07.11	ISSUED FOR PRICING
06	2022.08.19	ISSUED FOR POST TENDER ADDENDUM
07	2023.08.02	ISSUED FOR IPC COORDINATION
08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.16	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.06	VCI UPDATES

NO.	DATE	DESCRIPTION
3	2024.01.08	IPC COORDINATION
2	25.05.2022	DP Review Comments
1	01.25.2022	1625 COORDINATION

NO.	DATE	DESCRIPTION
1	01.25.2022	1625 COORDINATION

Project
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 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
2ND FL-LEVEL 2 - FLOOR PLAN

Job Number 21.888

Date 07/11/22

Scale 1/8" = 1'-0"

Revision Number A

Drawing Number

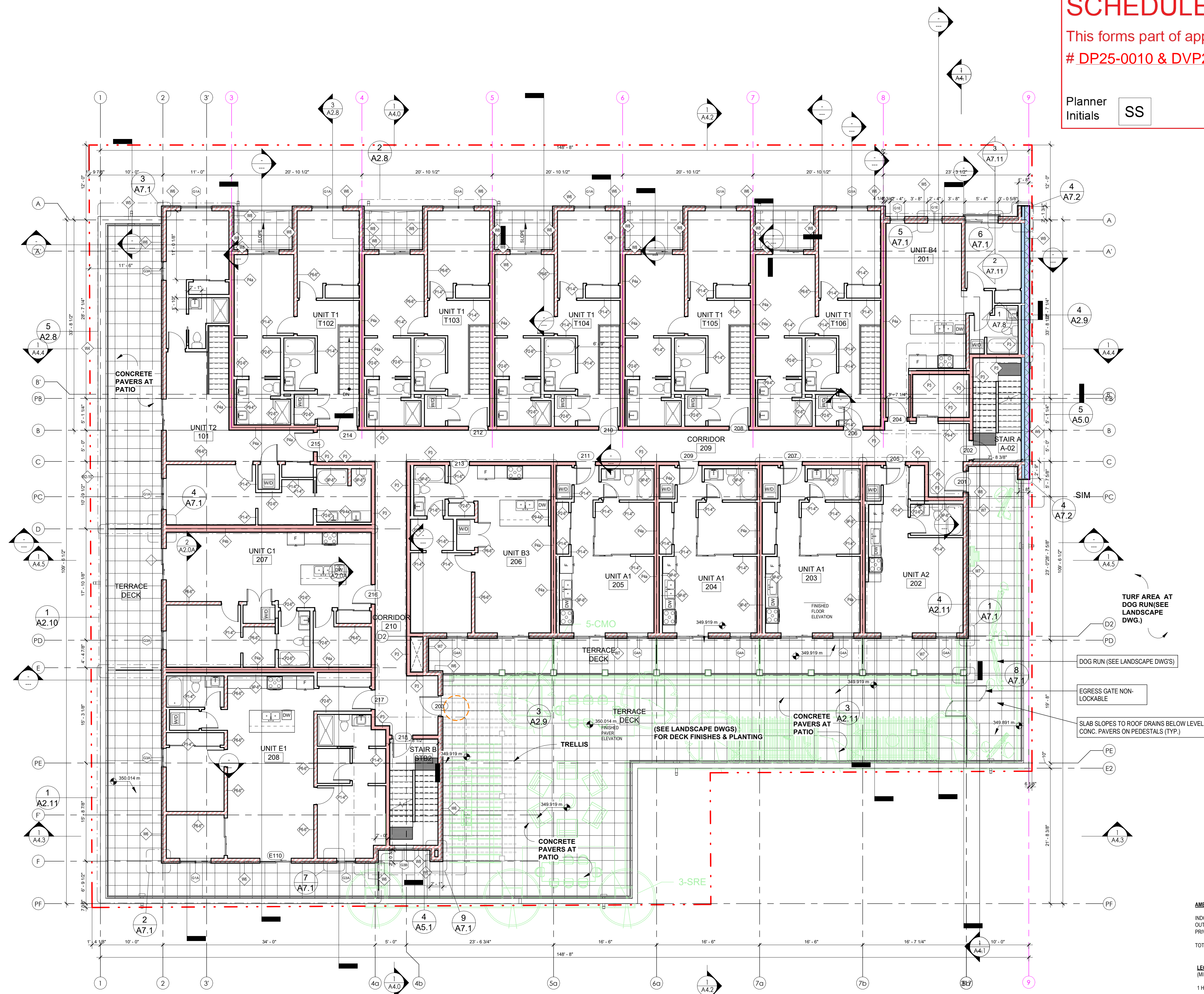
ISSUED FOR CONSTRUCTION 2024.01.16

SCHEDULE A

This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**

City of Kelowna
 COMMUNITY PLANNING



1 LEVEL 2
A2.2 1/8" = 1'-0"

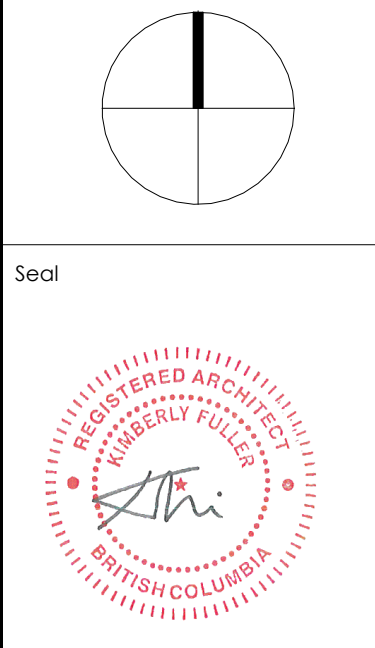
AMENITY SPACE 2ND LEVEL

INDOOR COMMON	2,340 SF
OUTDOOR COMMON	1,831 SF
PRIVATE AMENITY	
TOTAL COMMON + PRIVATE AMENITY SPACE:	4,271 SF

LEGEND
 (MIN. RATINGS REQUIRED @ WALLS)

1 HOUR FIRE SEPARATION	[Red solid box]
1 HOUR FIRE RESISTANCE RATING	[Red hatched box]
1.5 HOUR FIRE SEPARATION	[Green solid box]
1.5 HOUR FIRE RESISTANCE RATING	[Green hatched box]
2 HOUR FIRE SEPARATION	[Blue solid box]
2 HOUR FIRE RESISTANCE RATING	[Blue hatched box]

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10	2024.12.20	RE-ISSUED FOR SP CURRENT ZONING
11	2025.02.04	VCI UPDATES

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
4	2023.11.13	IFC COORDINATION

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION

Project
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 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

Sheet Title
 2ND FL.-LEVEL 2
 SLAB / SLOPED
 INSULATION PLAN

Job Number 21.888

Date 07/11/22

Scale 1/8" = 1'-0"

Revision Number A

Drawing Number

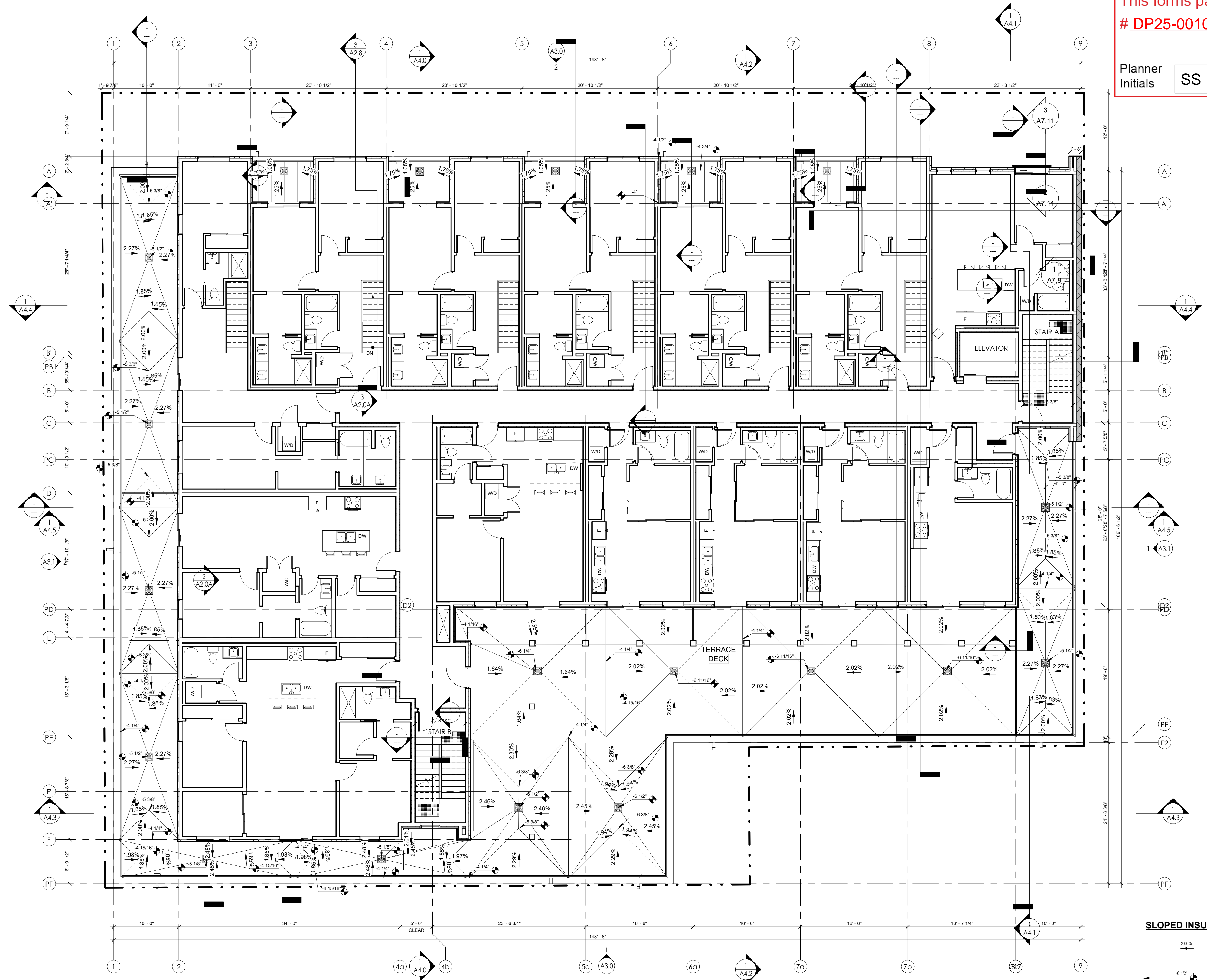
2025-02-13 4:46:08 PM

SCHEDULE A

This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**

City of Kelowna
 COMMUNITY PLANNING

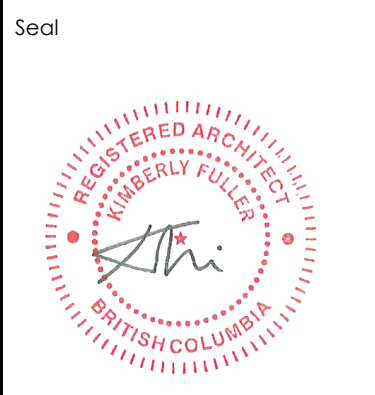
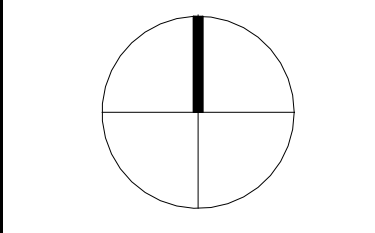


1 LEVEL 2 SLAB PLAN
A2.2A 1/8" = 1'-0"

- SLOPED INSULATION LEGEND**
- 2.02% SLOPE
 - 4.12" T/O MEMBRANE OVER SLOPED INSULATION (DIM A.F.F. @ ASSOCIATED LEVEL.)
 - FLOOR DRAIN

- GENERAL NOTE:**
1. SECOND FLOOR SLAB ELEVATION SET @ 350.027
 2. 2ND FLOOR CONCRETE TERRACE ELEVATION SET @ 349.773 (10" BELOW FINISHED SECOND FLOOR ELEVATION)
 3. SLOPES NOTE ON DRAWING ARE LOCATED @ TOP OF DECK MEMBRANE

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05	2022.07.11	ISSUED FOR PRICING
06	2022.08.19	ISSUED FOR POST TENDER ADDENDUM
07	2023.08.02	ISSUED FOR IFC COORDINATION
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09	2024.01.14	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.04	VCI UPDATES

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
4	2023.11.13	IFC COORDINATION
2	25.05.2022	DP Review Comments

Project
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RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
 3RD FL.-LEVEL 3 - FLOOR PLAN

Job Number 21.888

Date 07/11/22

Scale 1/8" = 1'-0"

Revision Number A

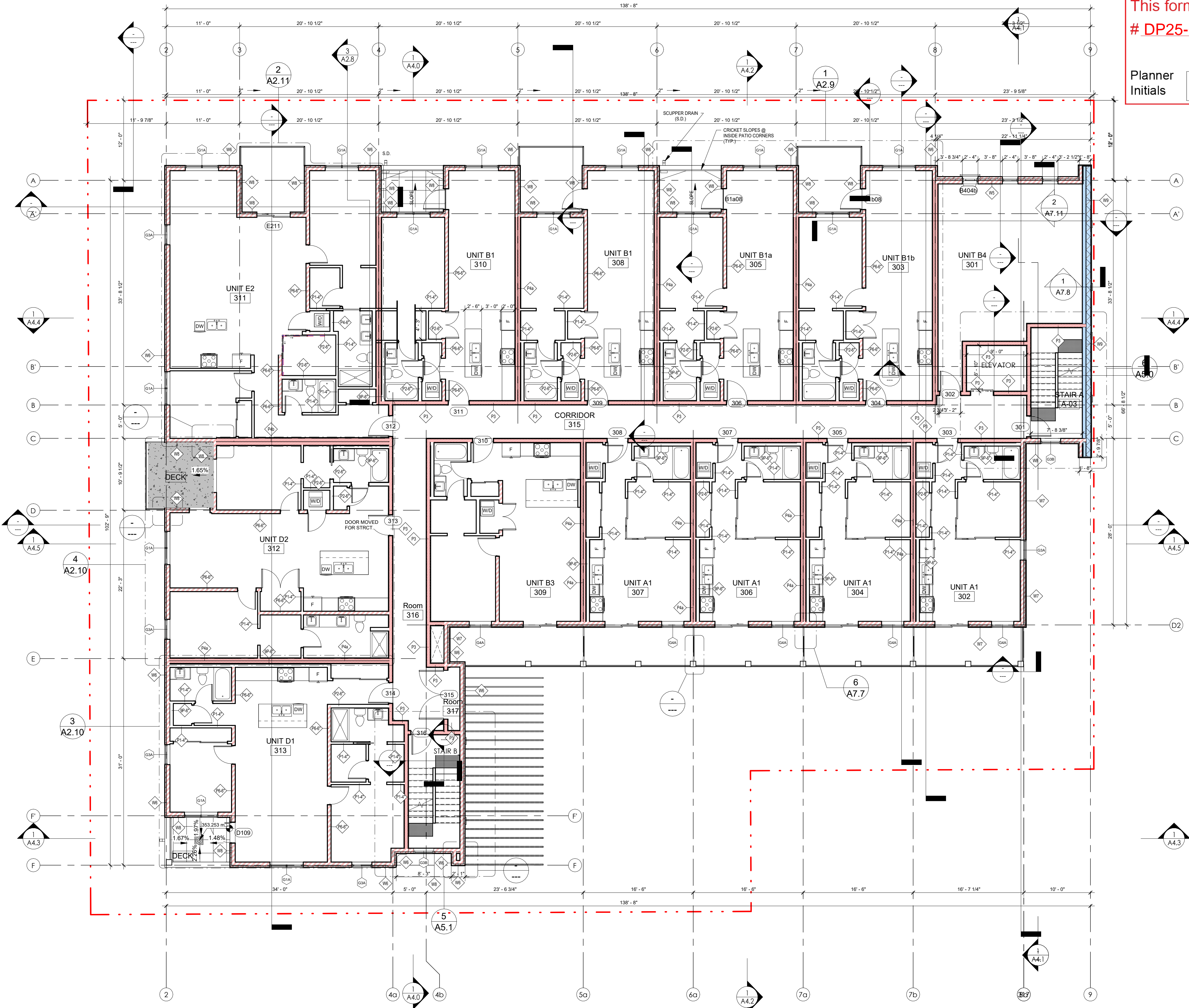
Drawing Number

2025-02-13 4:46:12 PM

SCHEDULE A

This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**



1 LEVEL 3
A2.3 1/8" = 1'-0"

AMENITY SPACE 3RD LEVEL

INDOOR COMMON	
OUTDOOR COMMON	1,089 SF
PRIVATE AMENITY	
TOTAL COMMON + PRIVATE AMENITY SPACE:	1,089 SF

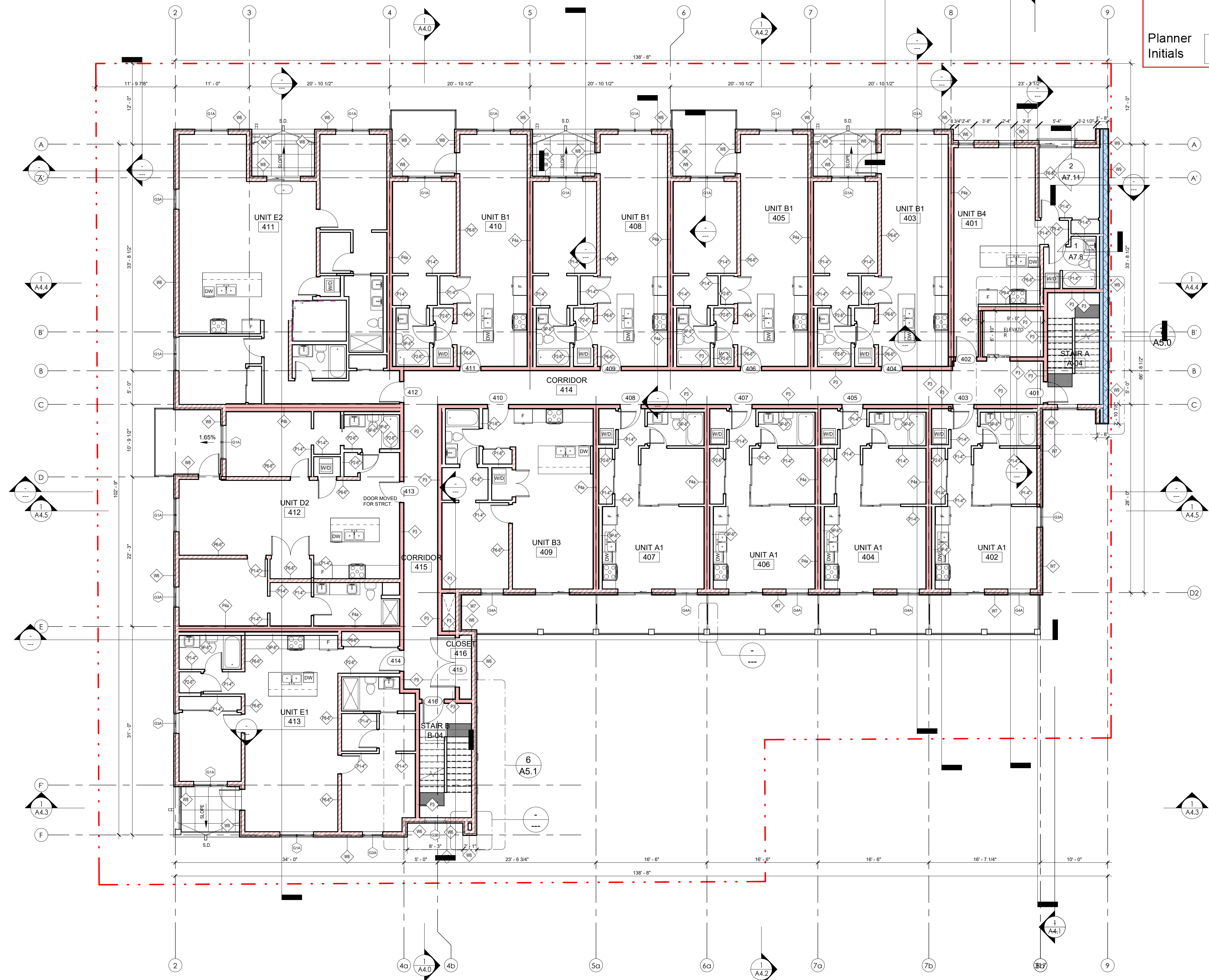
LEGEND
 (MAIN FINISHES REQUIRED @ WALLS)

1 HOUR FIRE SEPARATION	[Red solid box]
1 HOUR FIRE RESISTANCE RATING	[Red hatched box]
1.5 HOUR FIRE SEPARATION	[Green solid box]
1.5 HOUR FIRE RESISTANCE RATING	[Green hatched box]
2 HOUR FIRE SEPARATION	[Blue solid box]
2 HOUR FIRE RESISTANCE RATING	[Blue hatched box]

SCHEDULE A

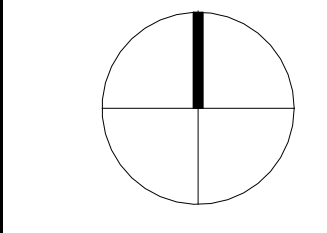
This forms part of application
 # DP25-0010 & DVP25-0011

Planner
 Initials **SS**



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Seal
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 BRITISH COLUMBIA
 2025-02-13

RECORD OF ISSUES		
NO.	DATE	DESCRIPTION
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06	2022.08.19	ISSUED FOR POST TENDER ADDENDUM
07	2023.08.02	ISSUED FOR IFC COORDINATION
08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.14	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.04	VCI UPDATES

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
4	2023.11.13	IFC COORDINATION
2	25.05.2022	DP Review Comments

Project

SAVOY
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RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

Sheet Title
 4TH FL.-LEVEL 4 - FLOOR PLAN

Job Number 21.888
 Date 07/11/22

Scale 1/8" = 1'-0"

Revision Number A
 Drawing Number

AMENITY SPACE 4TH LEVEL
 INDOOR COMMON
 OUTDOOR COMMON
 PRIVATE AMENITY
 TOTAL COMMON + PRIVATE AMENITY SPACE: 1,089 SF

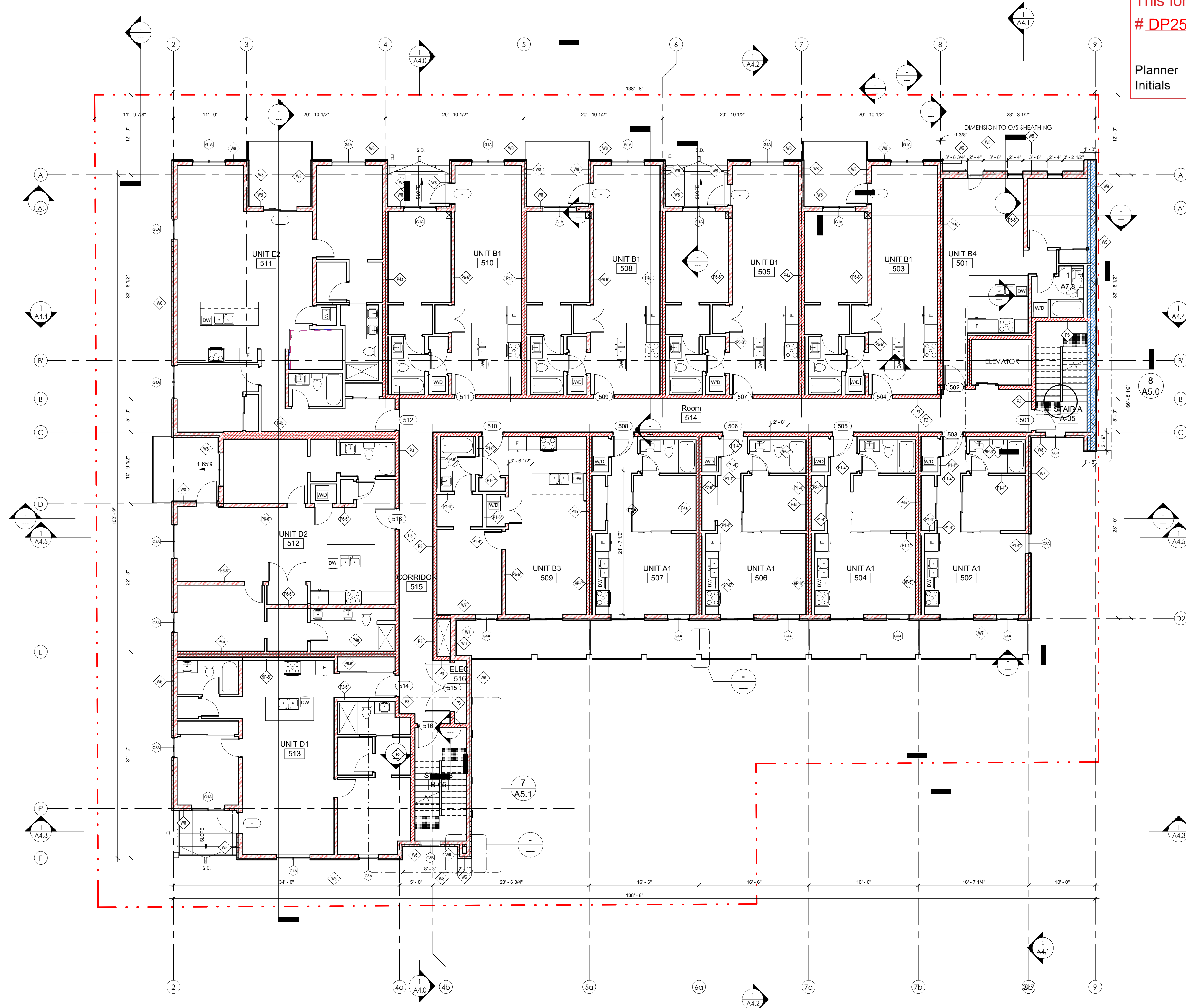
- LEGEND:**
 (MAIN RATINGS REQUIRED @ WALLS)
- 1 HOUR FIRE SEPARATION [Red solid box]
 - 1 HOUR FIRE RESISTANCE RATING [Red hatched box]
 - 1.5 HOUR FIRE SEPARATION [Green solid box]
 - 1.5 HOUR FIRE RESISTANCE RATING [Green hatched box]
 - 2 HOUR FIRE SEPARATION [Blue solid box]
 - 2 HOUR FIRE RESISTANCE RATING [Blue hatched box]

1 LEVEL 4
 A2.4 1/8" = 1'-0"

SCHEDULE A

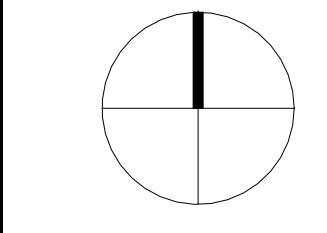
This forms part of application
 # DP25-0010 & DVP25-0011

Planner
 Initials **SS**



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11	2025.02.04	VCI UPDATES

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
4	2023.11.13	IFC COORDINATION
2	25.05.2022	DP Review Comments

RECORD OF REVISIONS

Project
SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
5TH FL.-LEVEL 5 - FLOOR PLAN

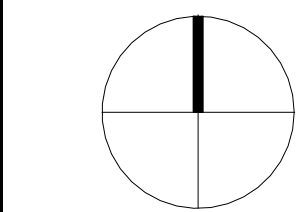
Job Number 21.888
 Date 07/11/22
 Scale 1/8" = 1'-0"
 Revision Number A
 Drawing Number

AMENITY SPACE 5TH LEVEL
 INDOOR COMMON 1,089 SF
 OUTDOOR COMMON
 PRIVATE AMENITY
 TOTAL COMMON + PRIVATE AMENITY SPACE: 1,089 SF

- LEGEND:**
 (MAIN RATINGS REQUIRED @ WALLS)
- 1 HOUR FIRE SEPARATION
 - 1 HOUR FIRE RESISTANCE RATING
 - 1.5 HOUR FIRE SEPARATION
 - 1.5 HOUR FIRE RESISTANCE RATING
 - 2 HOUR FIRE SEPARATION
 - 2 HOUR FIRE RESISTANCE RATING

1 LEVEL 5
 A2.5 1/8" = 1'-0"

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Seal



2025-02-13

RECORD OF ISSUES

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09	2024.01.14	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.04	VCI UPDATES

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
4	2023.11.13	IFC COORDINATION
2	25.05.2022	DP Review Comments
1	01.25.2022	60% COORDINATION

Project

SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
 6TH FL.-LEVEL 6 - FLOOR PLAN

Job Number 21.888

Date 07/11/22

Scale 1/8" = 1'-0"

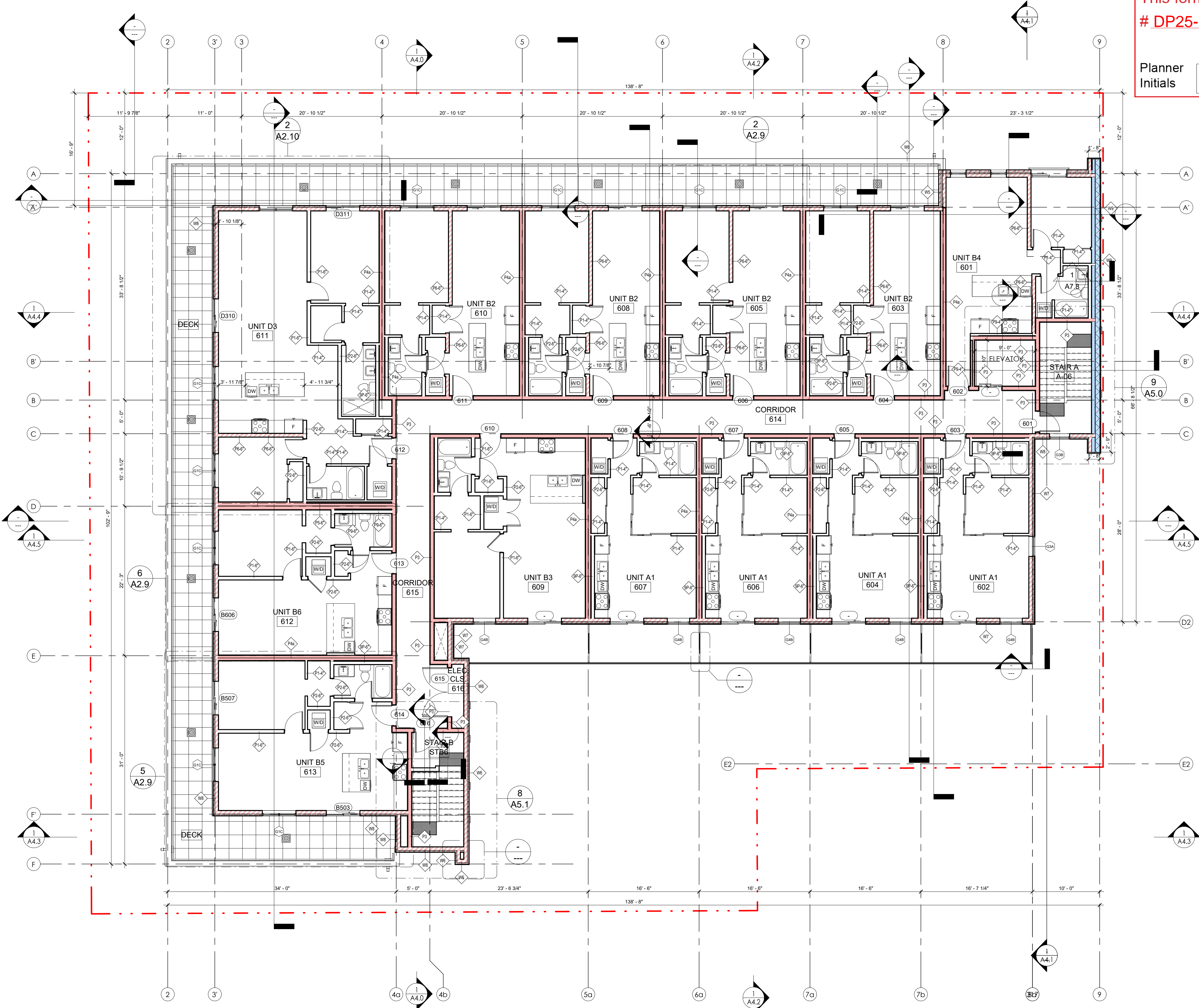
Revision Number A

Drawing Number

SCHEDULE A

This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**



1 LEVEL 6
 A2.6 1/8" = 1'-0"

AMENITY SPACE 6TH LEVEL

INDOOR COMMON	
OUTDOOR COMMON	
PRIVATE AMENITY	1,960 SF
TOTAL COMMON + PRIVATE AMENITY SPACE:	1,960 SF

LEGEND:
 (MAIN RATINGS REQUIRED @ WALLS)

1 HOUR FIRE SEPARATION	[Red solid box]
1 HOUR FIRE RESISTANCE RATING	[Red hatched box]
1.5 HOUR FIRE SEPARATION	[Green solid box]
1.5 HOUR FIRE RESISTANCE RATING	[Green hatched box]
2 HOUR FIRE SEPARATION	[Blue solid box]
2 HOUR FIRE RESISTANCE RATING	[Blue hatched box]

SCHEDULE A

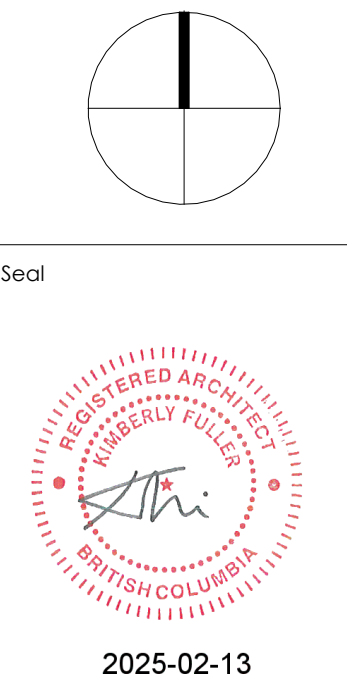
This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**



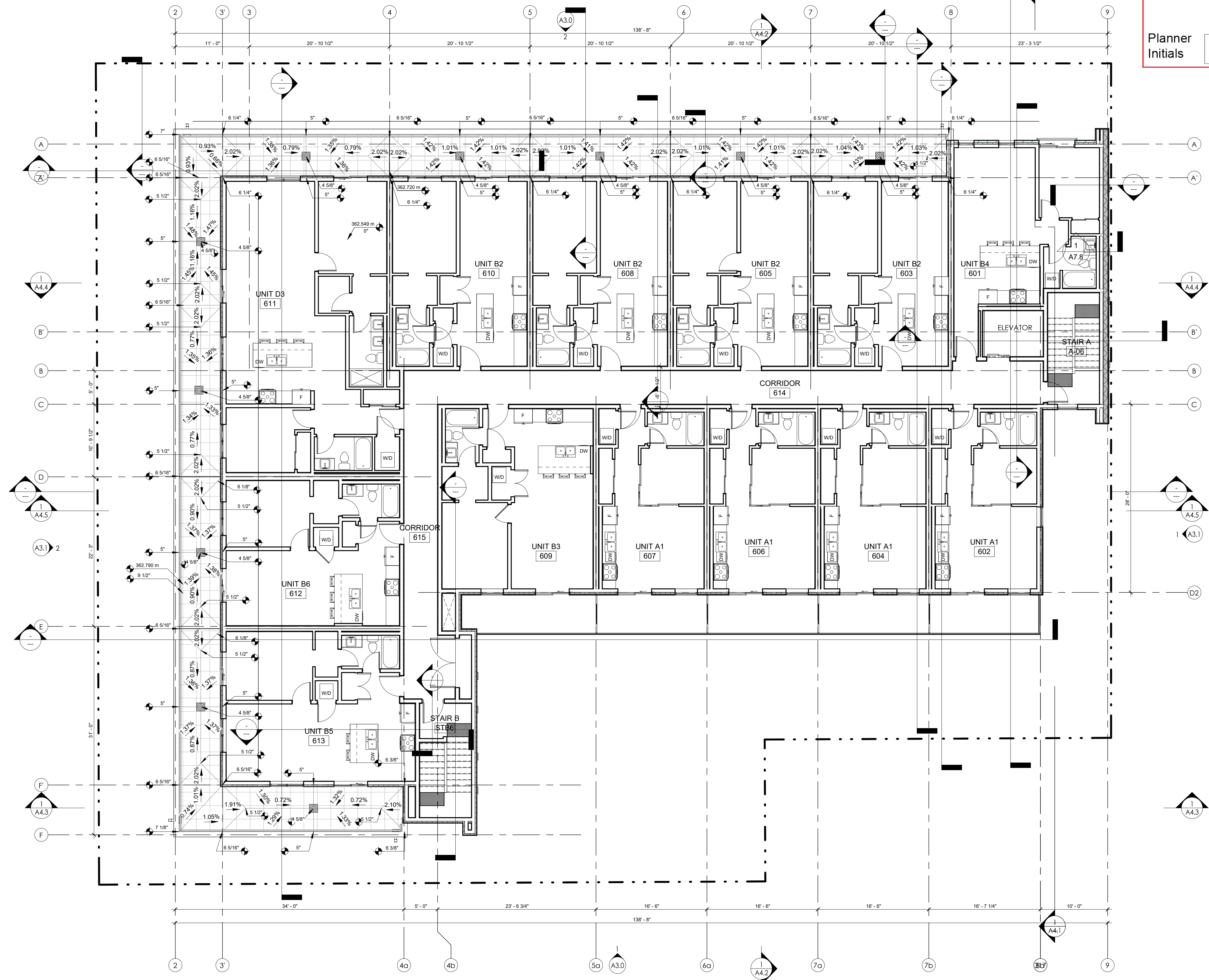
ISSUED FOR COORDINATION

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2025-02-13

NO.	DATE	DESCRIPTION
01	2021.05.27	ISSUED FOR REZONING & DEVELOPMENT PERMIT
02	2021.11.08	RE-ISSUED FOR REZONING & DEVELOPMENT PERMIT
03	2022.02.22	RE-ISSUED FOR REZONING & DP TO SUE CITY COMMENTS
04	2022.04.09	ISSUED FOR B.P.
05	2022.07.11	ISSUED FOR PRICING
06	2022.08.19	ISSUED FOR POST TENDER ADDENDUM
07	2023.08.02	ISSUED FOR IFC COORDINATION
08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.14	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.04	VCI UPDATES



1 LEVEL 6 SLAB PLAN
A2.6A 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
5	2024.01.08	IFC COORDINATION

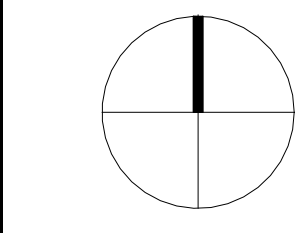
RECORD OF REVISIONS

Project
SAVOY
 ON CLEMENT
 RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
LEVEL 6 - DECK SLOPE PLAN

Job Number 21.888
 Date 07/11/22
 Scale 1/8" = 1'-0"
 Revision Number A
 Drawing Number

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Seal



2025-02-13

RECORD OF ISSUES

NO.	DATE	DESCRIPTION
01	2021.05.27	ISSUED FOR REZONING & DEVELOPMENT PERMIT
02	2021.11.08	RE-ISSUED FOR REZONING & DEVELOPMENT PERMIT
03	2022.02.22	RE-ISSUED FOR REZONING & DP TO SUE CITY COMMENTS
04	2022.04.09	ISSUED FOR B.P.
05	2022.07.11	ISSUED FOR PRECON.
06	2022.08.19	ISSUED FOR POST TENDER ADDENDUM
07	2023.08.02	ISSUED FOR IFC COORDINATION
08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.14	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.06	VCI UPDATES

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
5	2024.01.08	IFC COORDINATION

Project

SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
ROOF PLAN

Job Number 21.888

Date 07/11/22

Scale 1/8" = 1'-0"

Revision Number A

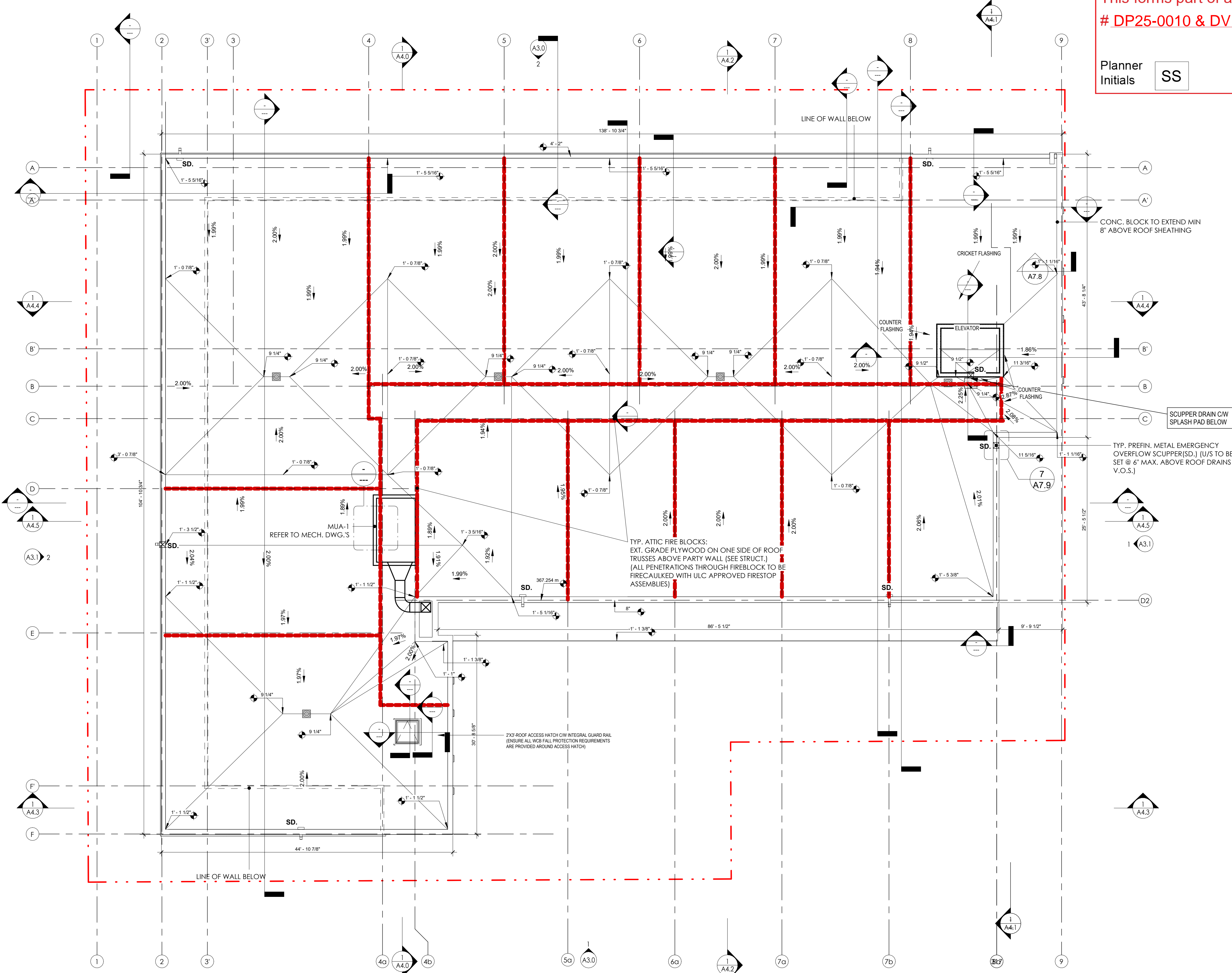
Drawing Number

2025-02-13 4:46:27 PM

SCHEDULE A

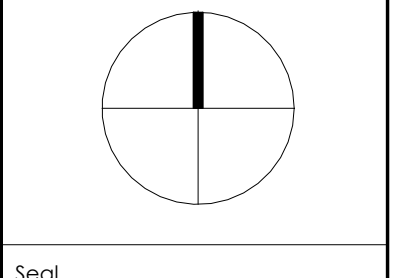
This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**



1 Building Permit - U/S TRUSSES
 A2.7 1/8" = 1'-0"

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08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.16	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT COMMENT
11	2025.02.06	VCI UPDATES

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
7	2024.10.17	Door Schedules & LHM Plan Revisions
4	2024.01.09	IFC COORDINATION
4	2023.11.13	IFC COORDINATION
3	2023.11.09	REISSUED FOR BUILDING PERMIT
2	25.05.2022	DP Review Comments
1	01.25.2022	1625 COORDINATION

Project

SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

Sheet Title
 ENLARGED PLANS,
 UNITS T1 & T2

Job Number 21.888
 Date 07/11/22

Scale 1/4" = 1'-0"

Revision Number A
 Drawing Number

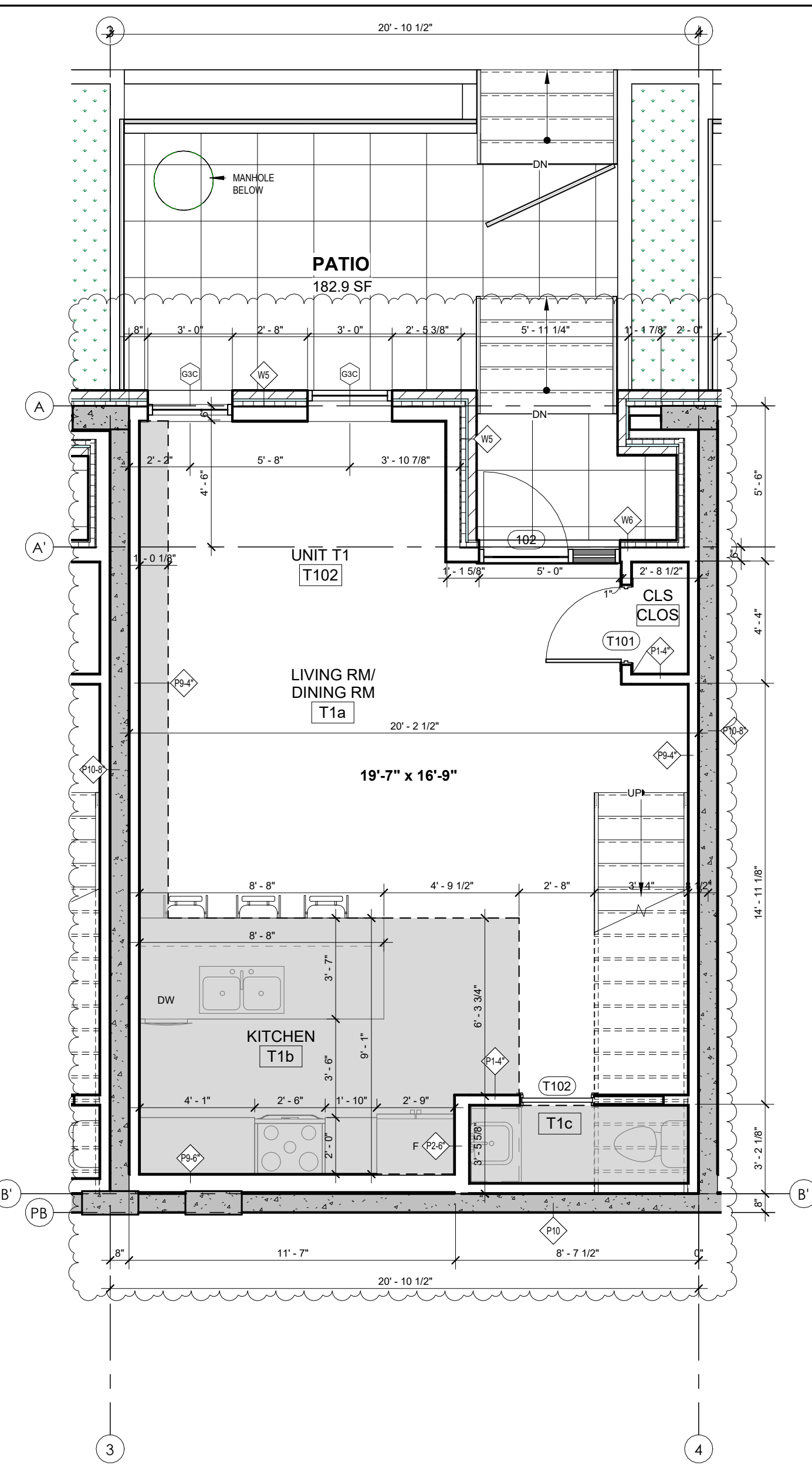
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SCHEDULE A

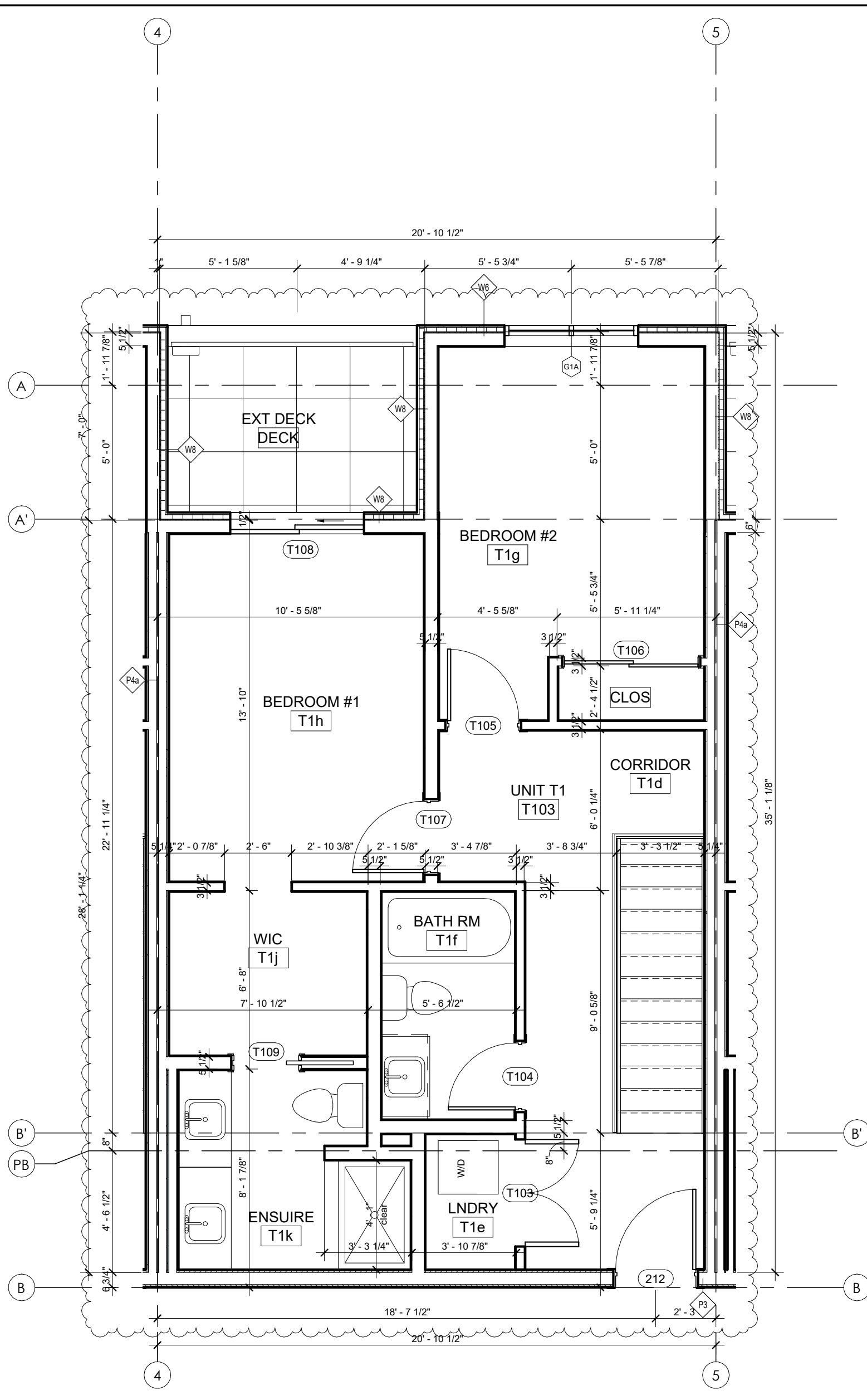
This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**

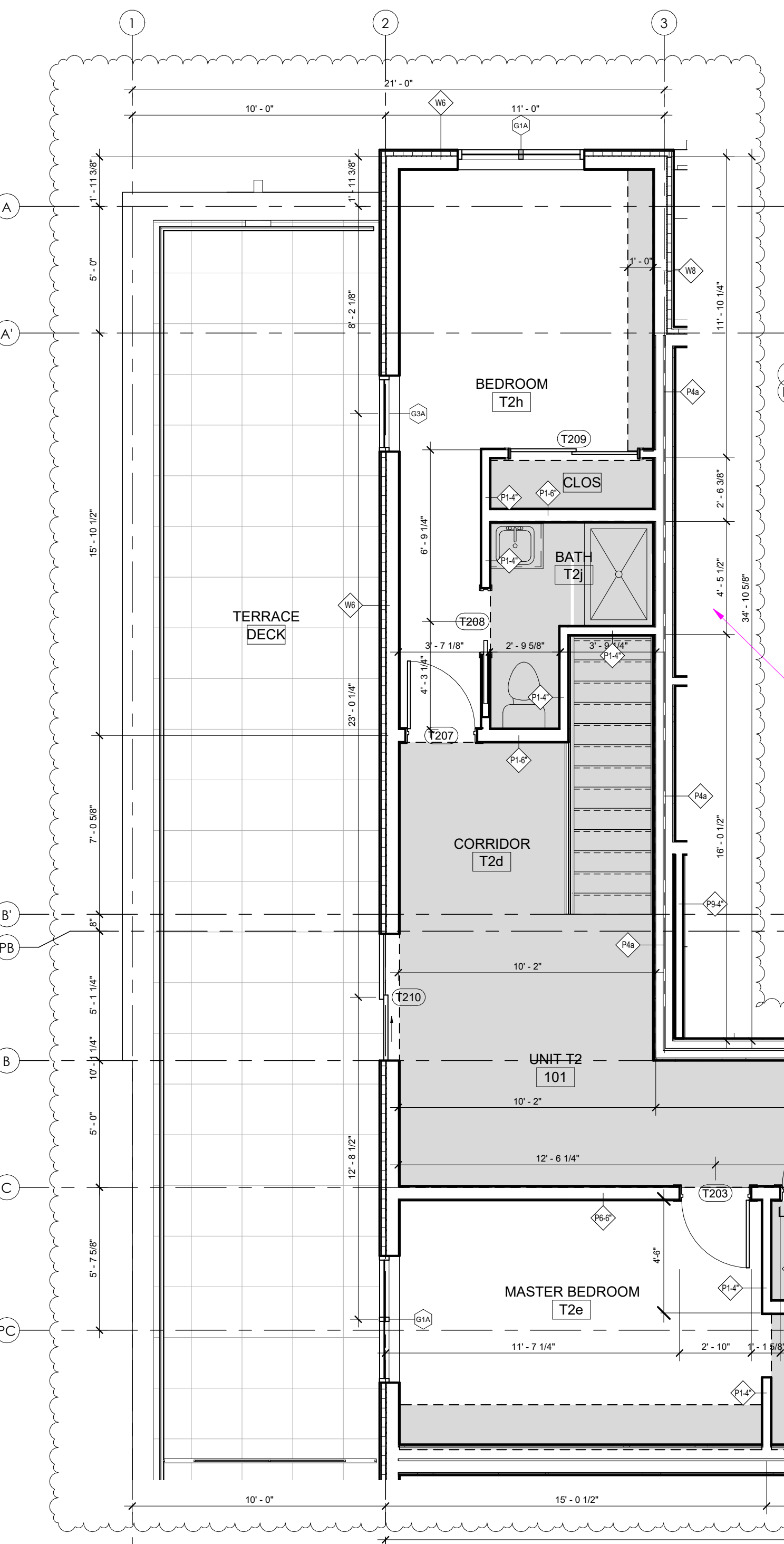
City of Kelowna
 COMMUNITY PLANNING



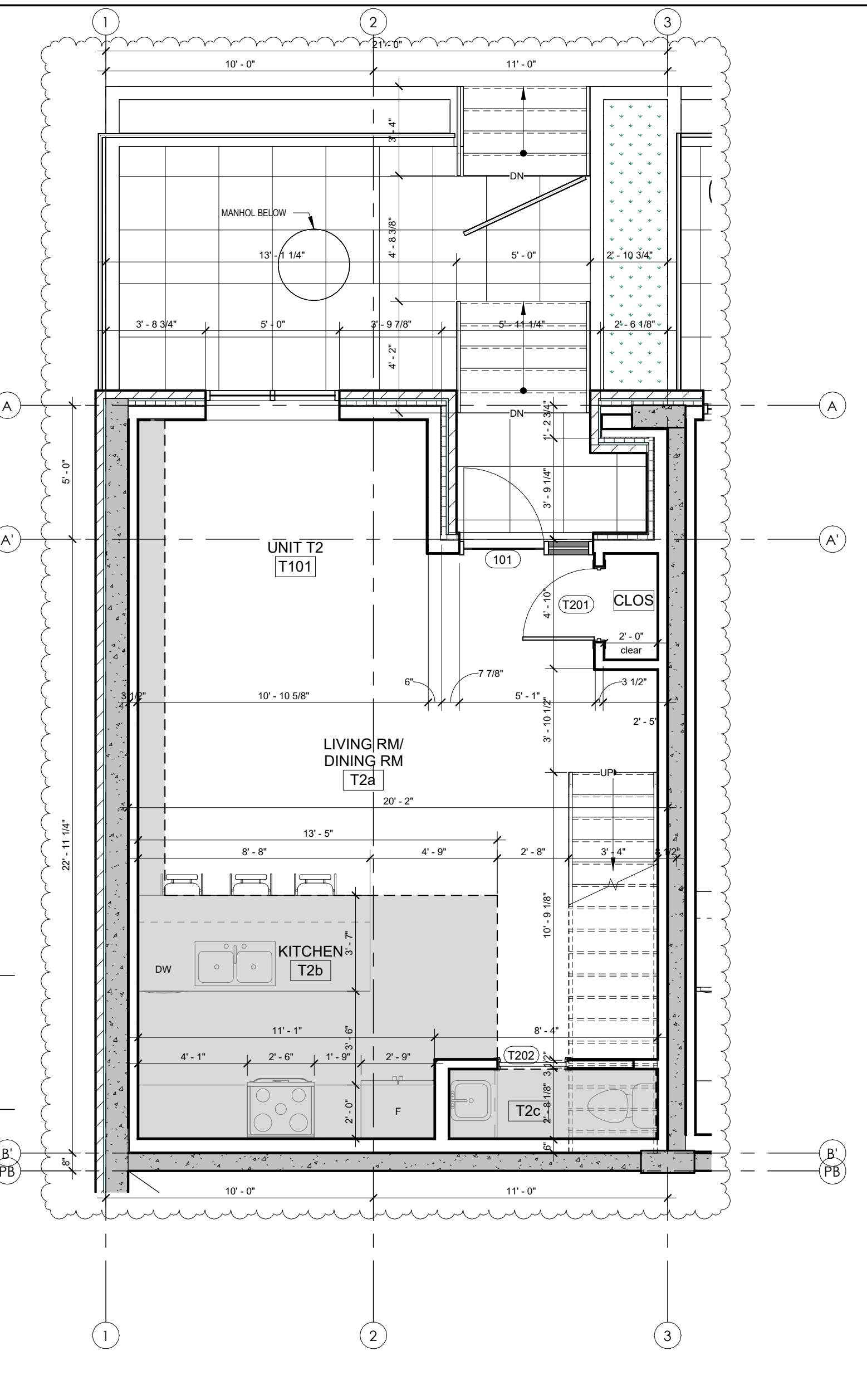
1 UNIT T1 - MAIN FLOOR
 AREA: 558 ft²
 PRIVATE OUT DOOR SPACE: 209 ft²
 ROOM NUMBERS: 102, 103, 104, 105, 106



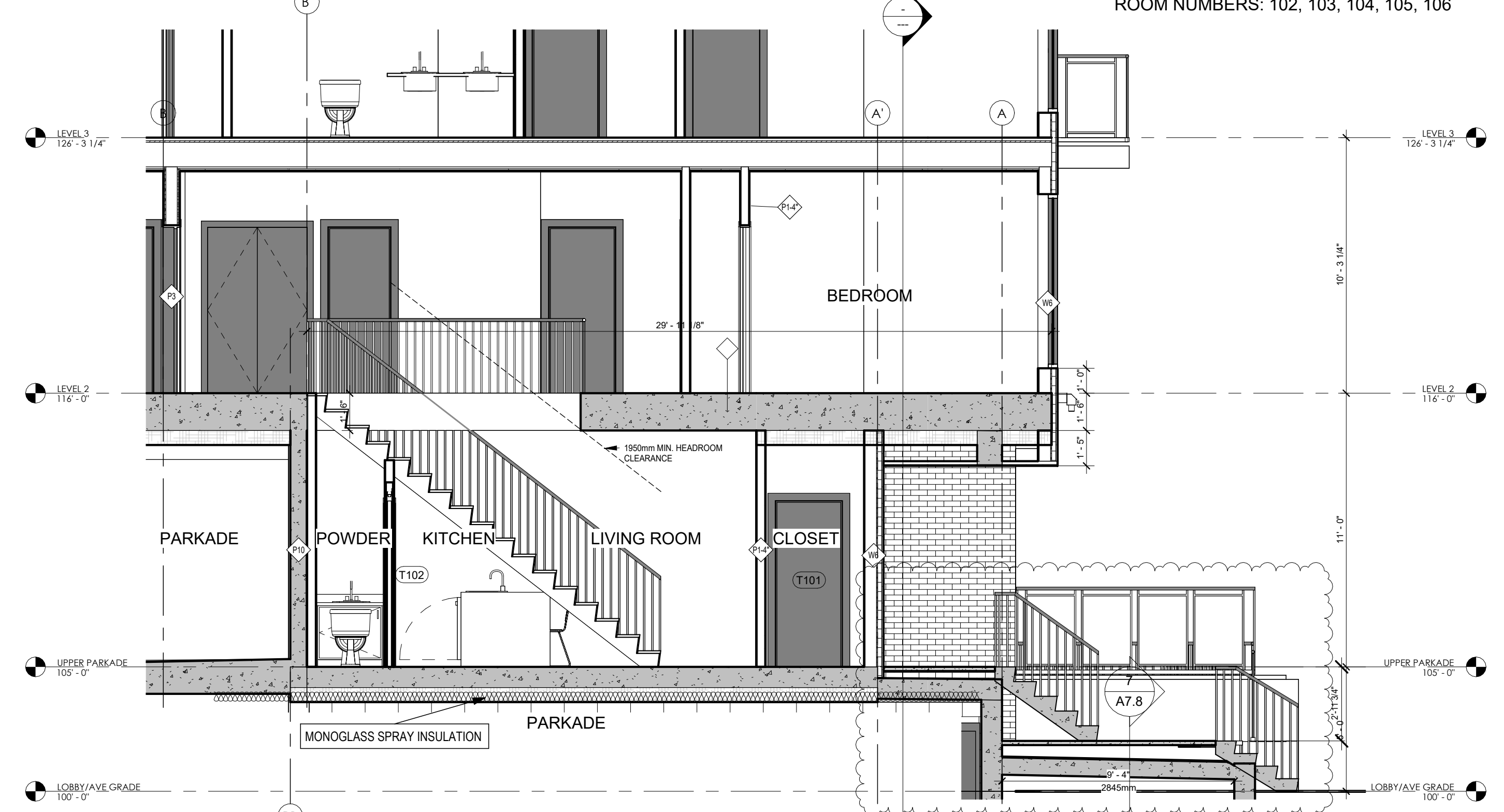
2 UNIT T1 - SECOND FLOOR
 AREA: 682 ft²
 DECK AREA: 62 ft²
 TOTAL UNIT AREA: 1240 ft²
 TOTAL OUT DOOR SPACE: 271 ft²
 ROOM NUMBERS: 102, 103, 104, 105, 106



5 UNIT T2 - SECOND FLOOR
 AREA: 903 ft²
 DECK AREA: 433 ft²
 TOTAL UNIT AREA: 1485 ft²
 TOTAL OUT DOOR SPACE: 650 ft²
 ROOM NUMBERS: 101

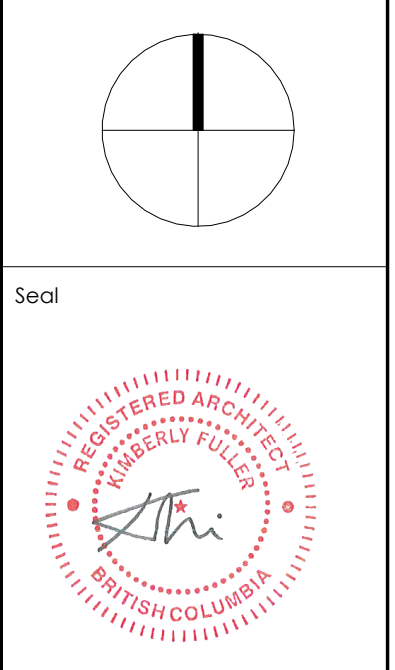


4 UNIT T2 - MAIN FLOOR
 AREA: 582 ft²
 PRIVATE OUT DOOR SPACE: 217 ft²
 ROOM NUMBERS: 101



3 TOWNHOUSE SECTION
 A2.8 1/4" = 1'-0"

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09	2024.01.16	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.06	VCI UPDATES

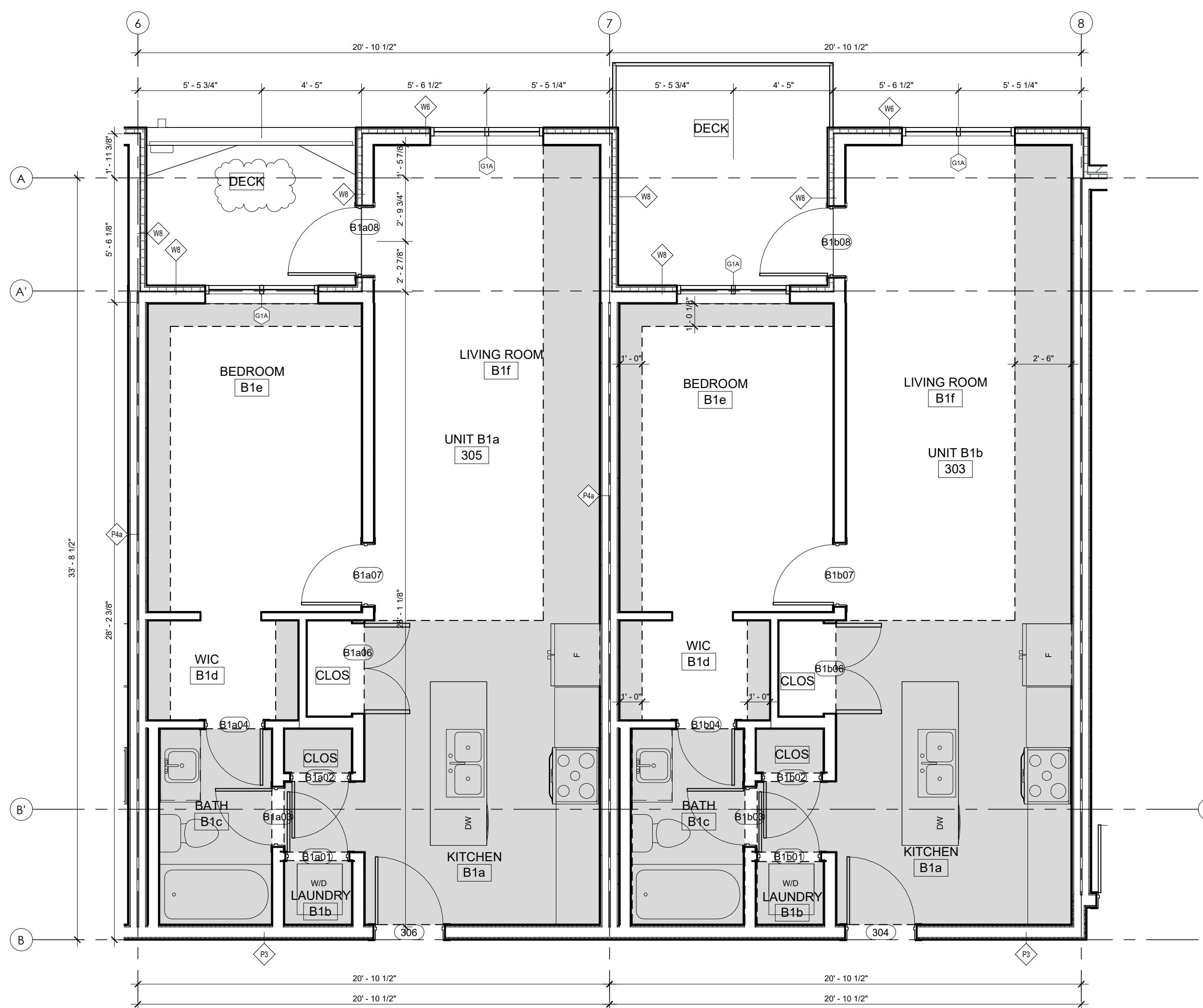
NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
4	2023.11.13	IFC COORDINATION
2	25.05.2022	DP Review Comments

RECORD OF REVISIONS

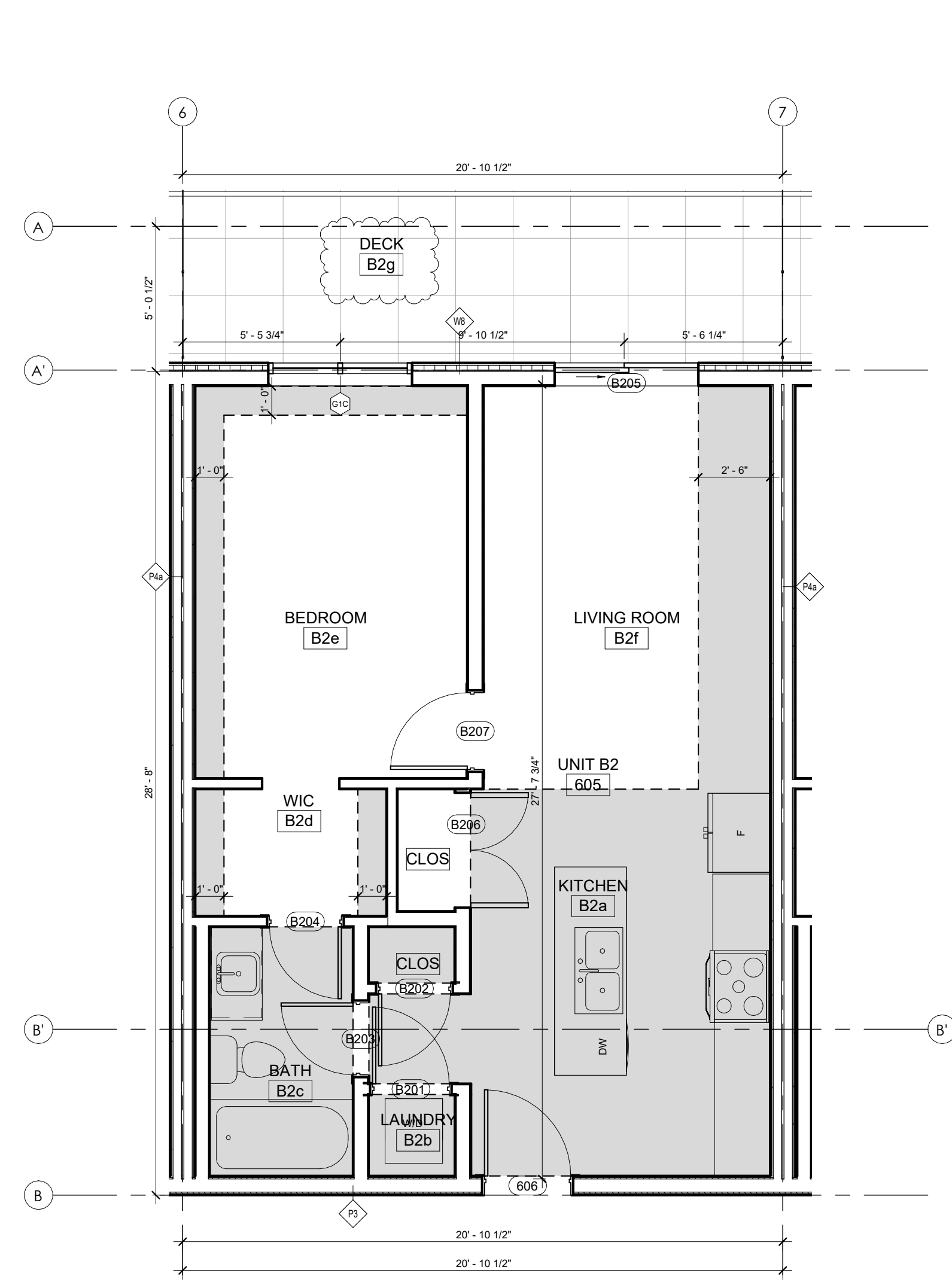
Project: **SAVOY**
 ON CLEMENT
 RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title: **ENLARGED PLANS, UNITS B1 TO B6**

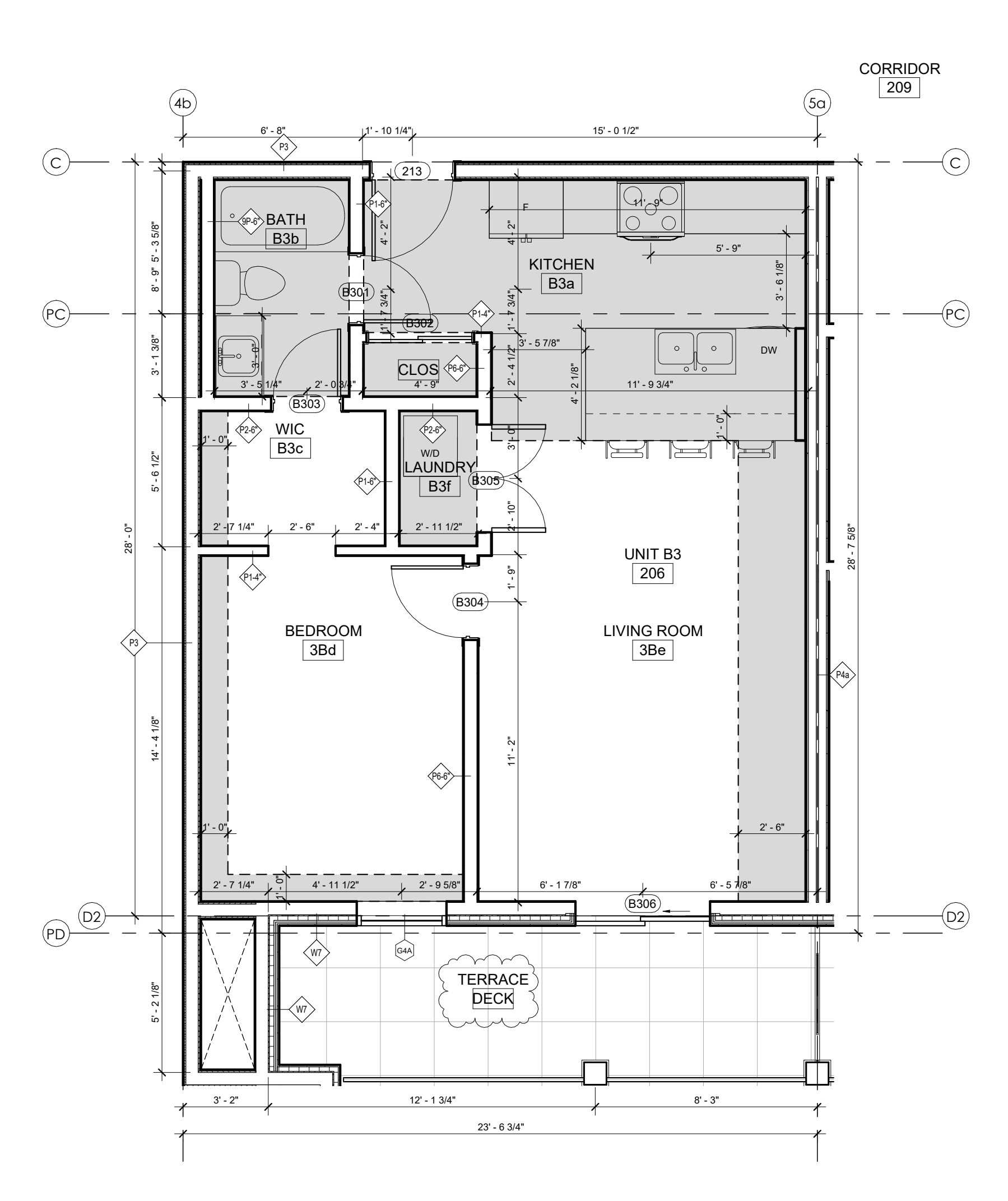
Job Number: 21.888
 Date: 07/11/22
 Scale: 1/4" = 1'-0"
 Revision Number: A
 Drawing Number: A2.9



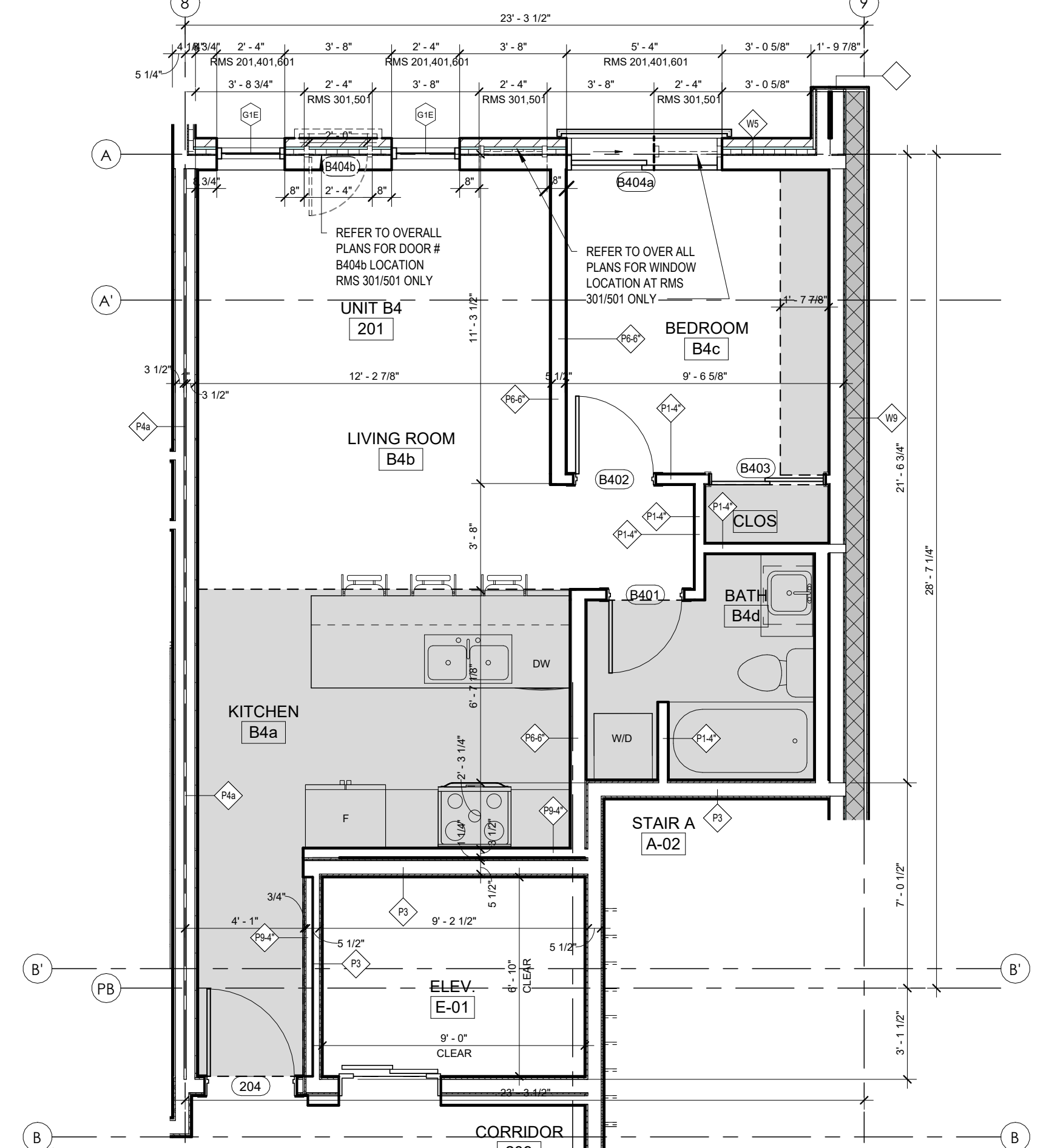
1 UNIT B1 - 1 BED AREA: 689 ft², DECK: TYPE a AREA 62ft², TYPE b AREA 90ft²
 ROOM NUMBERS: 303, 305, 308, 310, 403, 405, 408, 410, 503, 505, 505, 510
GENERAL NOTE: UNIT B1 DECKS VAVARY REFER TO OVER ALL PLANS FOR DECK SIZES



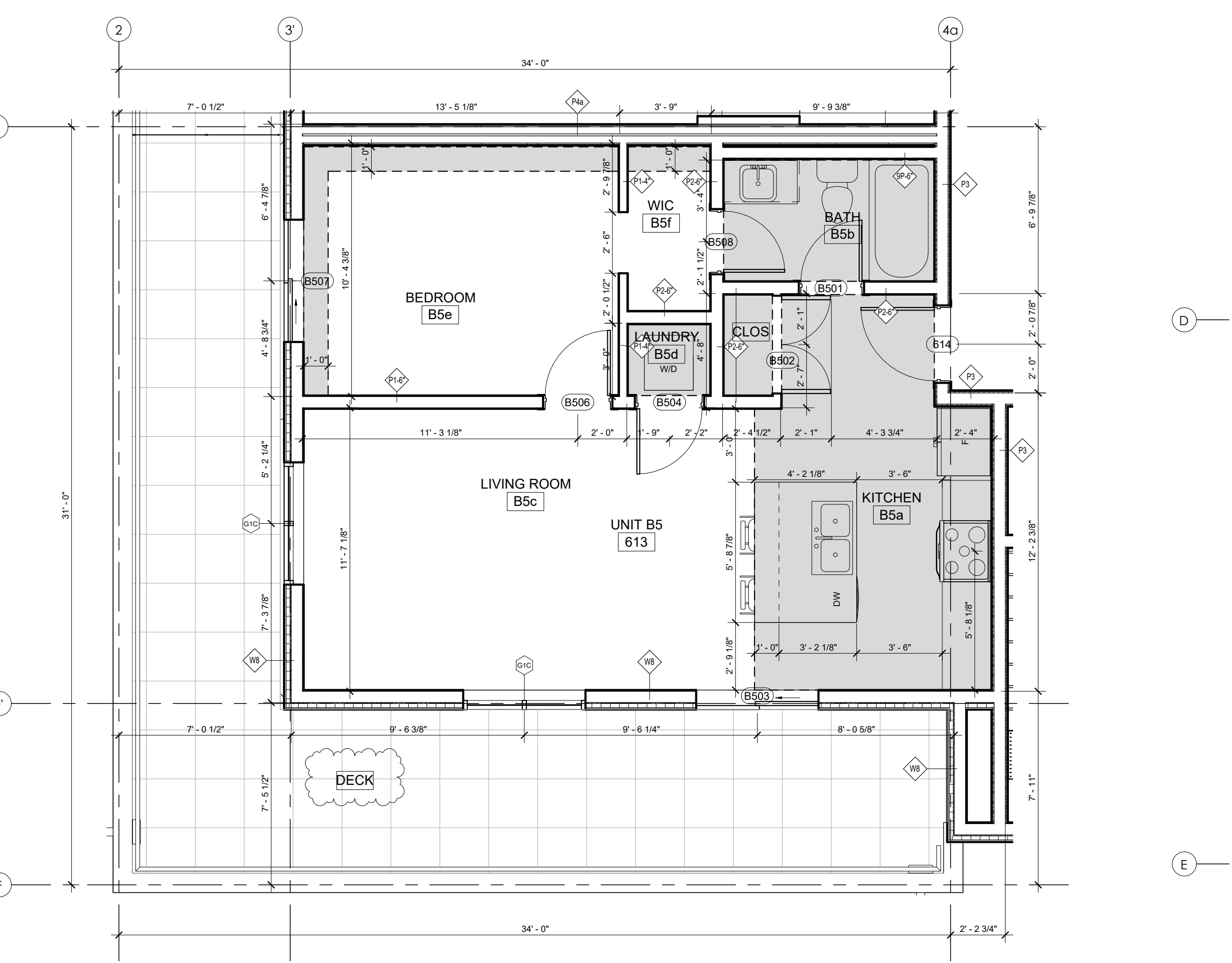
2 UNIT B2 - 1 BED AREA: 601 ft², DECK: AREA 123ft²
 ROOM NUMBERS: 603, 605, 608, 610



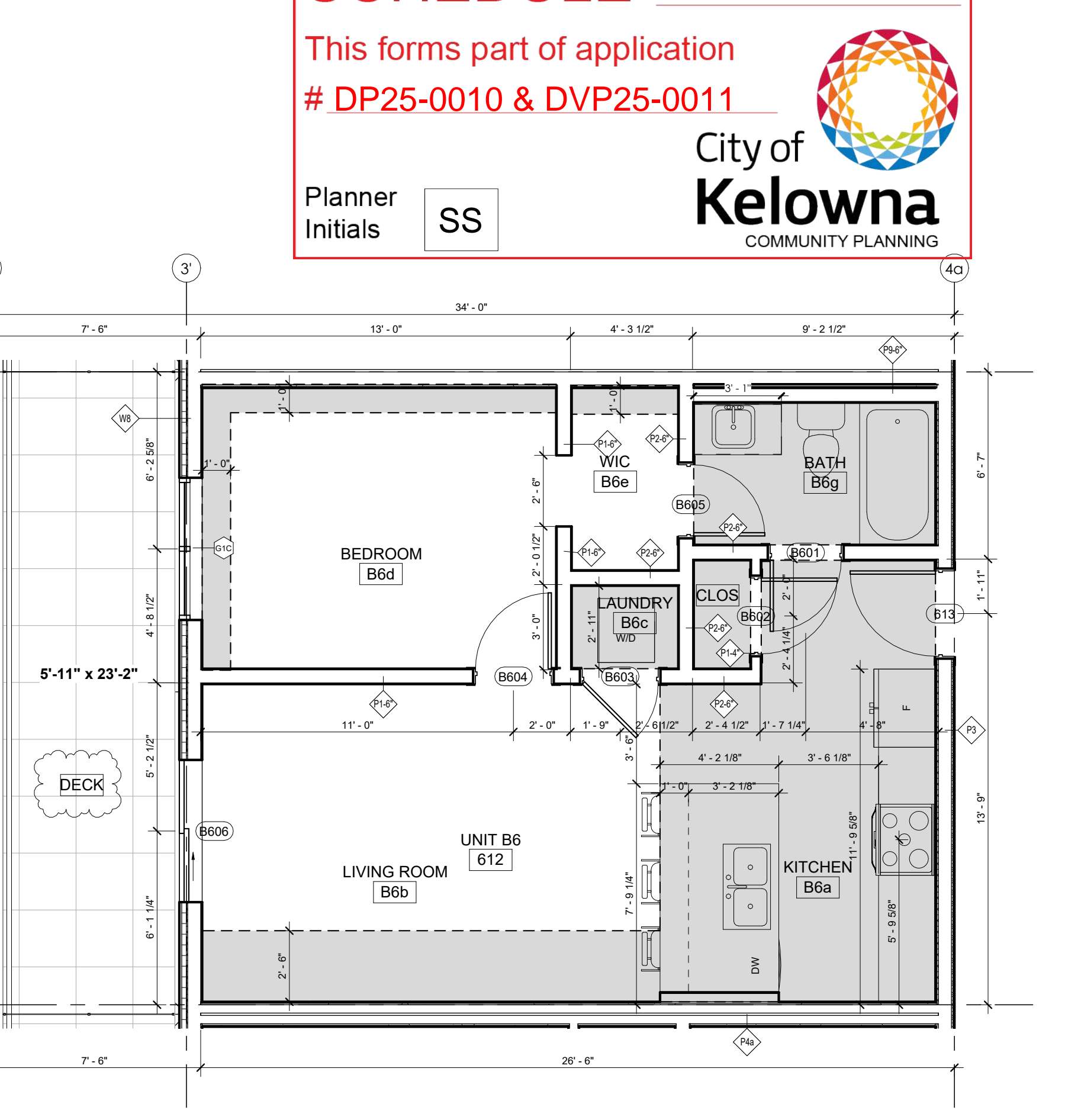
3 UNIT B3 - 1 BED AREA: 650 ft², DECK: AREA 111ft²
 ROOM NUMBERS: 206, 309, 409, 509, 609



4 UNIT B4 - 1 BED AREA: 598 ft², DECK: AREA: N/A
 ROOM NUMBERS: 201, 301, 401, 501, 601



5 UNIT B5 - 1 BED AREA: 669 ft², DECK: AREA: 361
 ROOM NUMBERS: 613



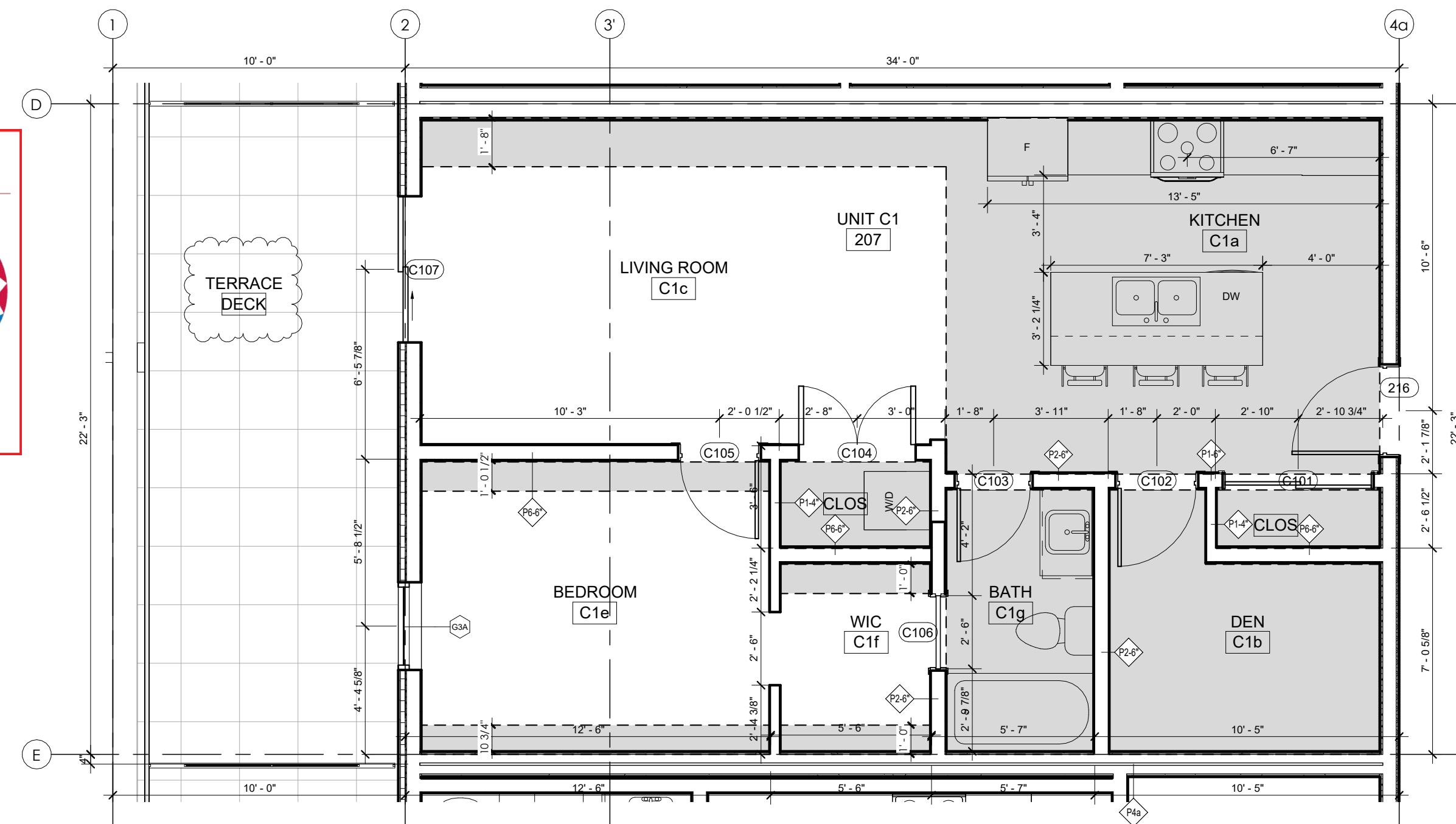
6 UNIT B6 - 1 BED AREA: 611 ft², DECK: AREA: 136
 ROOM NUMBERS: 612

SCHEDULE A
 This forms part of application # DP25-0010 & DVP25-0011
 Planner Initials: SS
 City of Kelowna COMMUNITY PLANNING

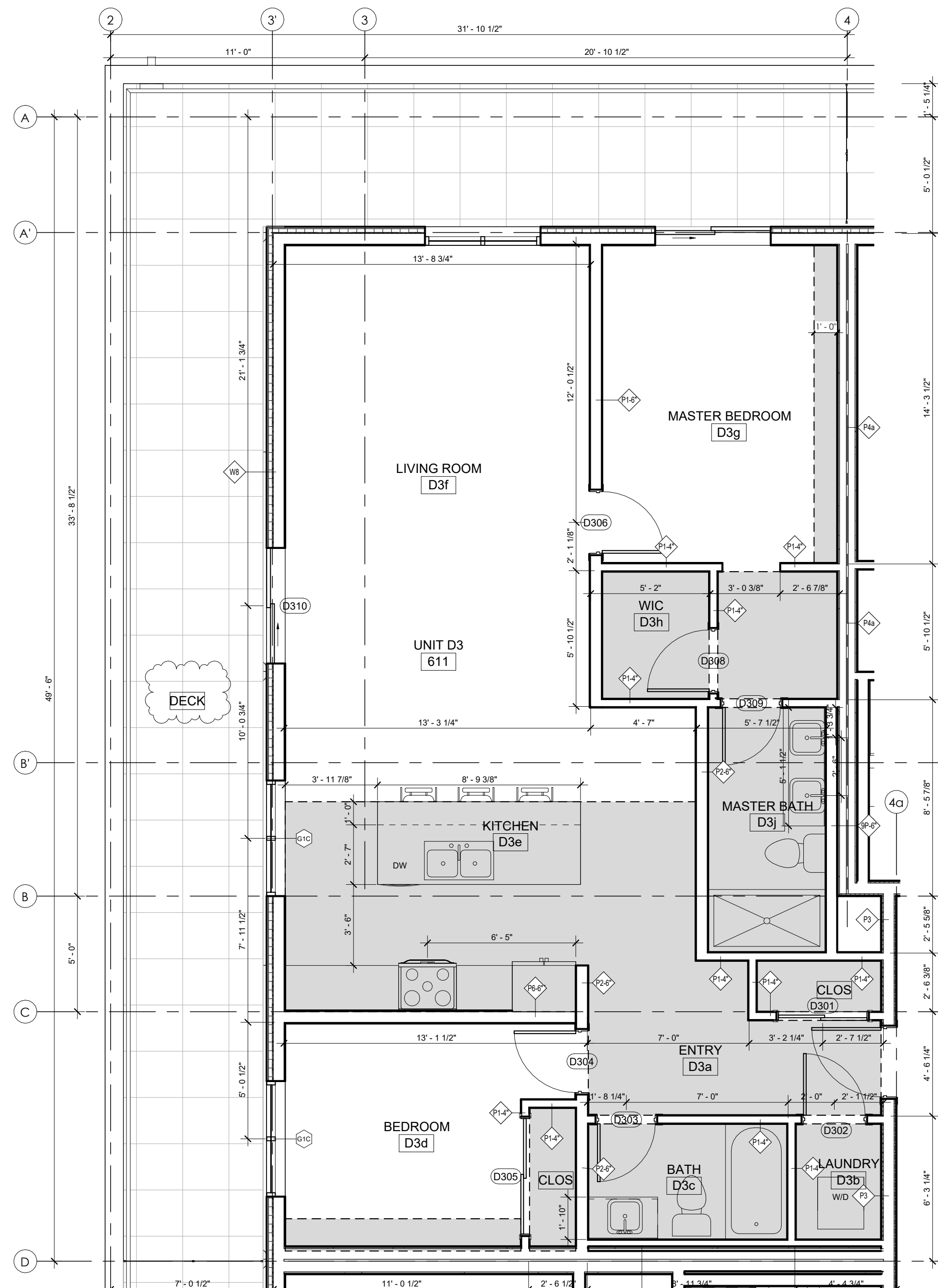
SCHEDULE A

This forms part of application
DP25-0010 & DVP25-0011

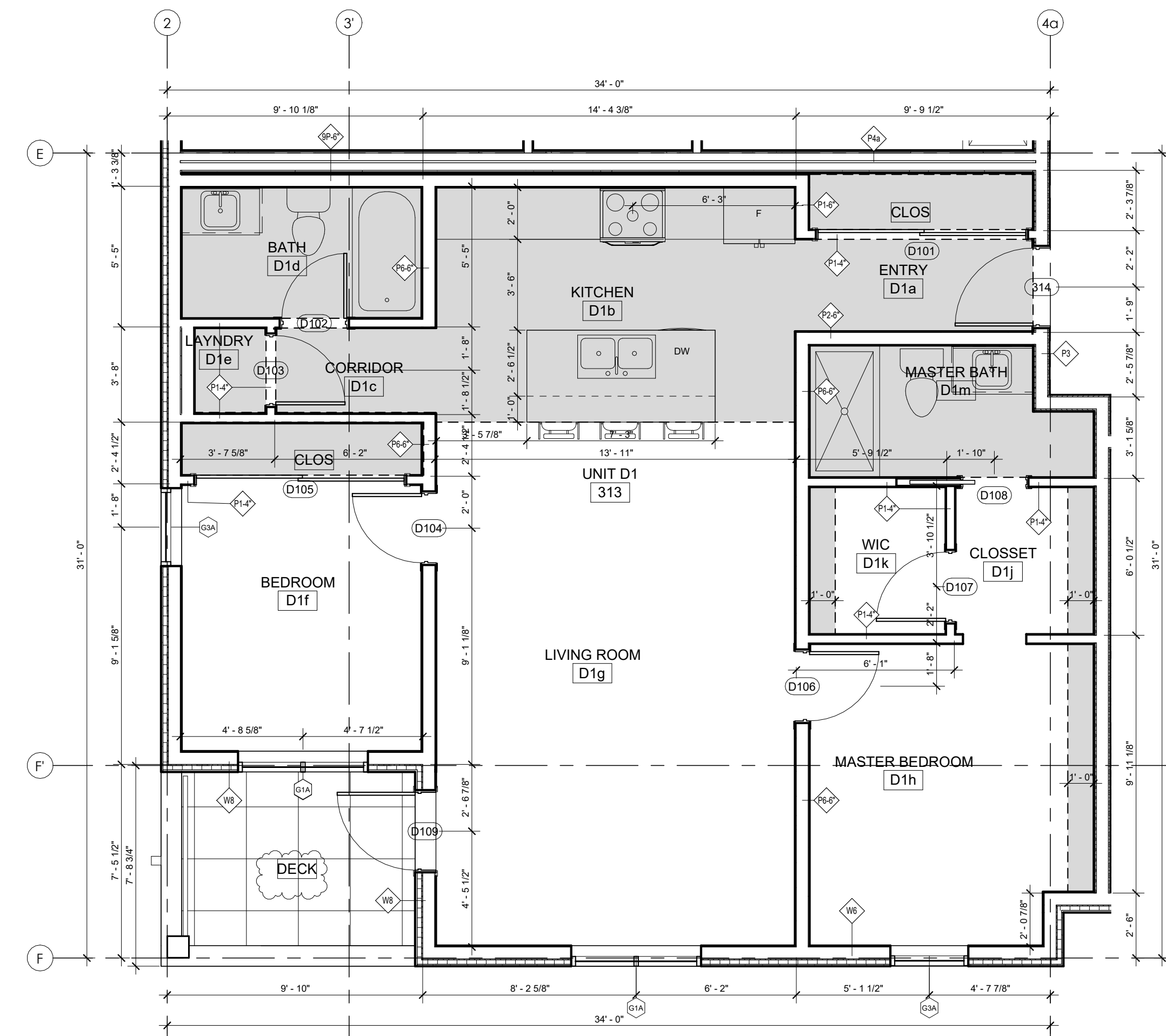
Planner Initials **SS**



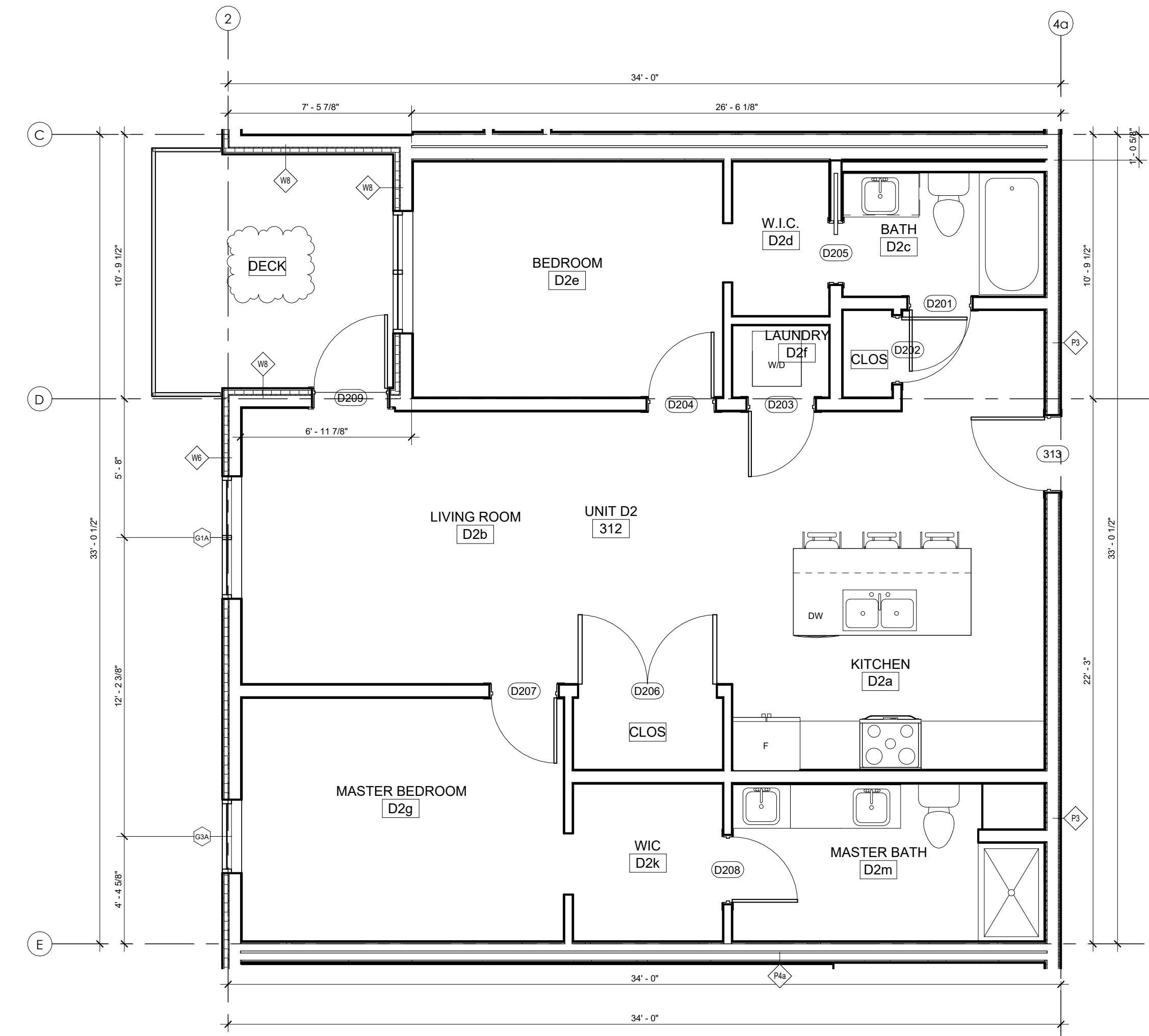
1 UNIT C1 - 1 BED + DEN
A2.10 1/4" = 1'-0" AREA: 768 ft²
DECK: AREA 200 ft²
ROOM NUMBERS: 207



2 UNIT D3 - 2 BED
A2.10 1/4" = 1'-0" AREA: 1163 ft²
DECK: AREA 461 ft²
ROOM NUMBERS: 611



3 UNIT D1 - 2 BED
A2.10 1/4" = 1'-0" AREA: 1028 ft²
DECK: AREA 60 ft²
ROOM NUMBERS: 312, 412, 512

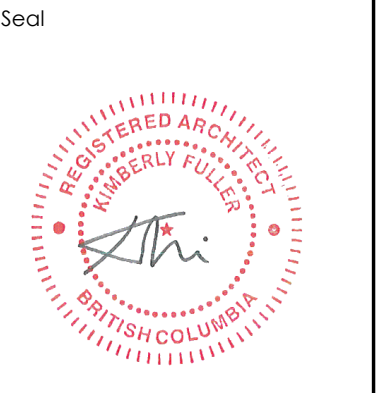
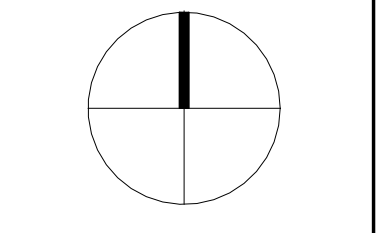


4 UNIT D2 - 2 BED
A2.10 1/4" = 1'-0" AREA: 1048 ft²
DECK: AREA 92 ft²
ROOM NUMBERS: 312, 412, 512



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2025-02-13

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NO.	DATE	DESCRIPTION
01	2021.05.27	ISSUED FOR REZONING & DEVELOPMENT PERMIT
02	2021.11.08	RE-ISSUED FOR REZONING & DEVELOPMENT PERMIT
03	2022.02.22	RE-ISSUED FOR REZONING & SP TO SUE CITY COMMENTS
04	2022.04.09	ISSUED FOR BFP
05	2022.07.11	ISSUED FOR PRICING
06	2022.08.19	ISSUED FOR POST TENDER ADDENDUM
07	2023.08.02	ISSUED FOR IFC COORDINATION
08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.16	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR SP CURRENT ZONING
11	2025.02.06	VC1 UPDATES

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
4	2023.11.13	IFC COORDINATION

Project

SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

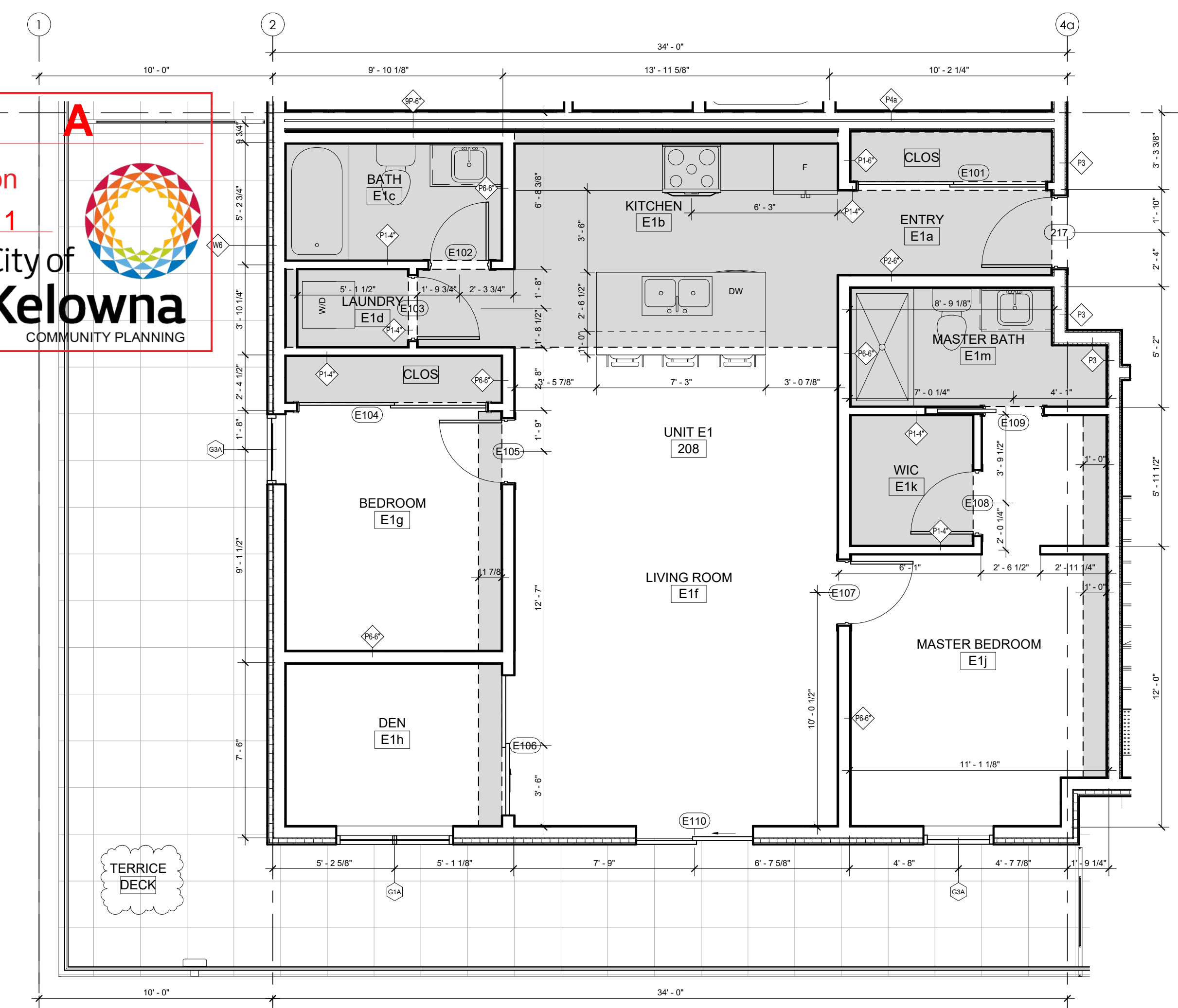
ENLARGED PLANS,
UNITS C1, & D1 TO D3

Job Number 21.888
Date 07/11/22
Scale 1/4" = 1'-0"
Revision Number A
Drawing Number

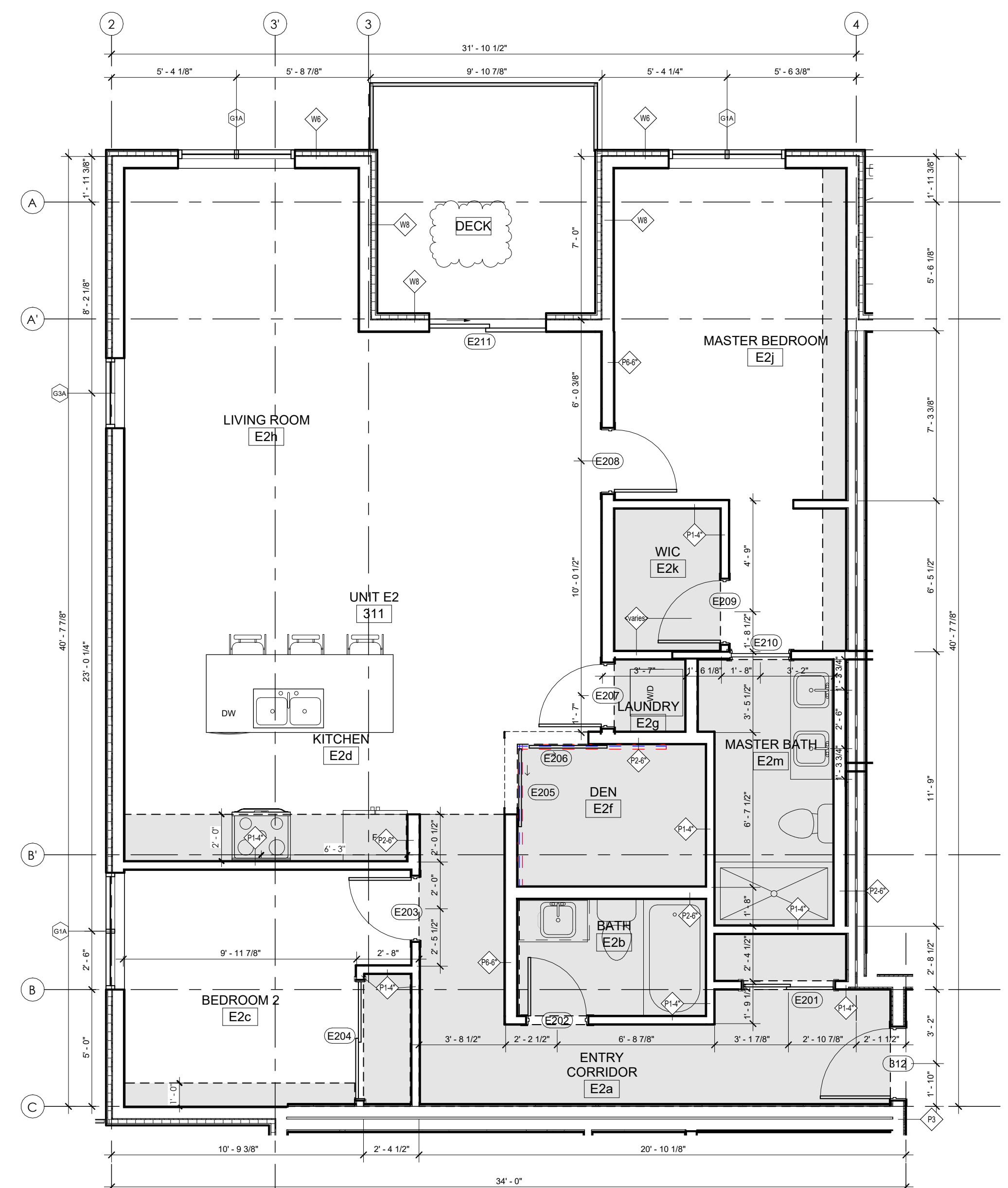
SCHEDULE

This forms part of application
DP25-0010 & DVP25-0011

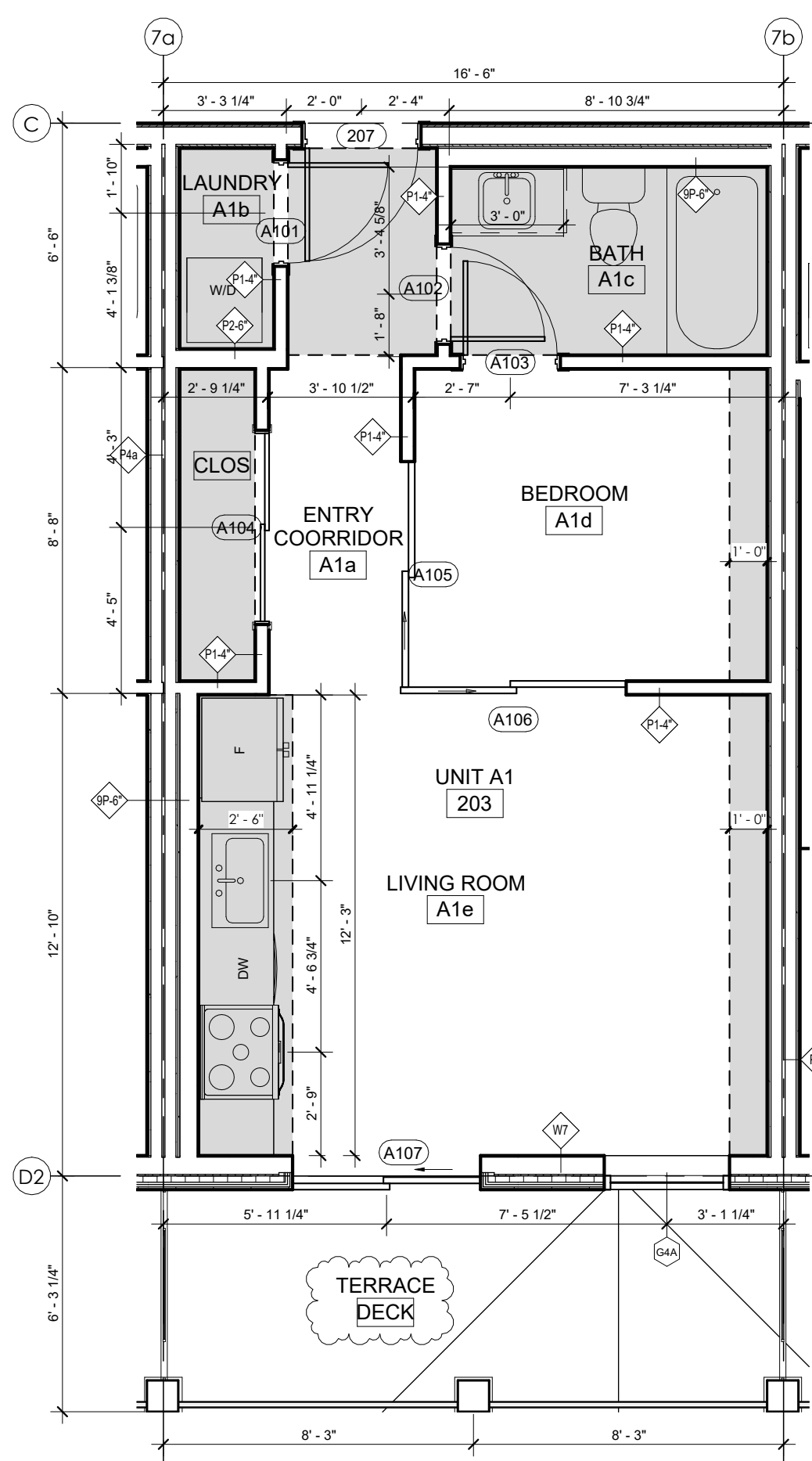
Planner Initials **SS**



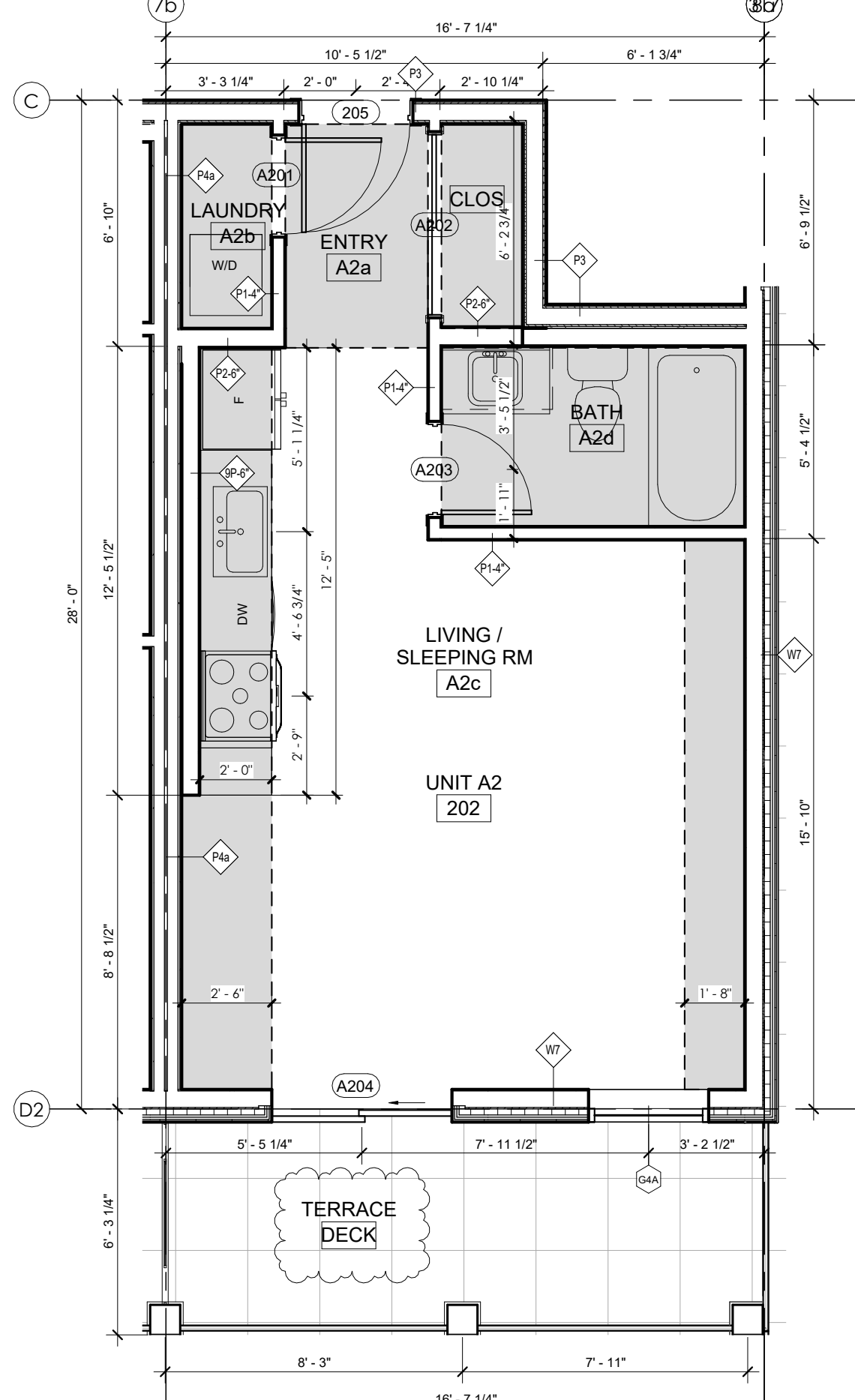
1 UNIT E1 - 2 BED + DEN
AREA: 1101 ft²
DECK: AREA 519 ft²
ROOM NUMBERS: 208
1/4" = 1'-0"



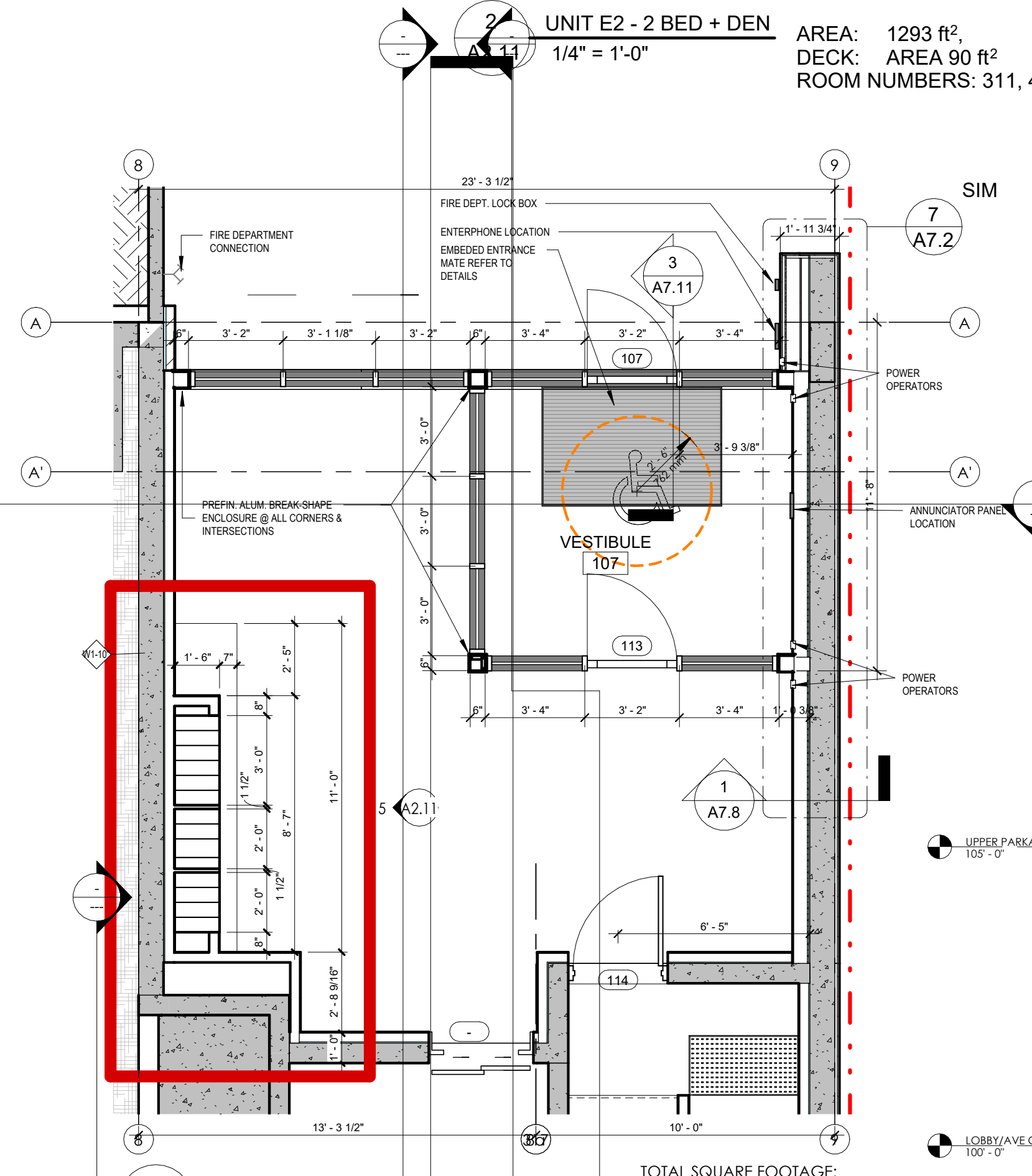
2 UNIT E2 - 2 BED + DEN
AREA: 1293 ft²
DECK: AREA 90 ft²
ROOM NUMBERS: 311, 411, 511
1/4" = 1'-0"



3 UNIT A1 - STUDIO
AREA: 463 ft²
DECK: AREA 93 ft²
ROOM NUMBERS: 203, 204, 205, 302, 304, 306, 307, 402, 404, 406, 407, 502, 504, 506, 507, 602, 604, 605, 607
1/4" = 1'-0"

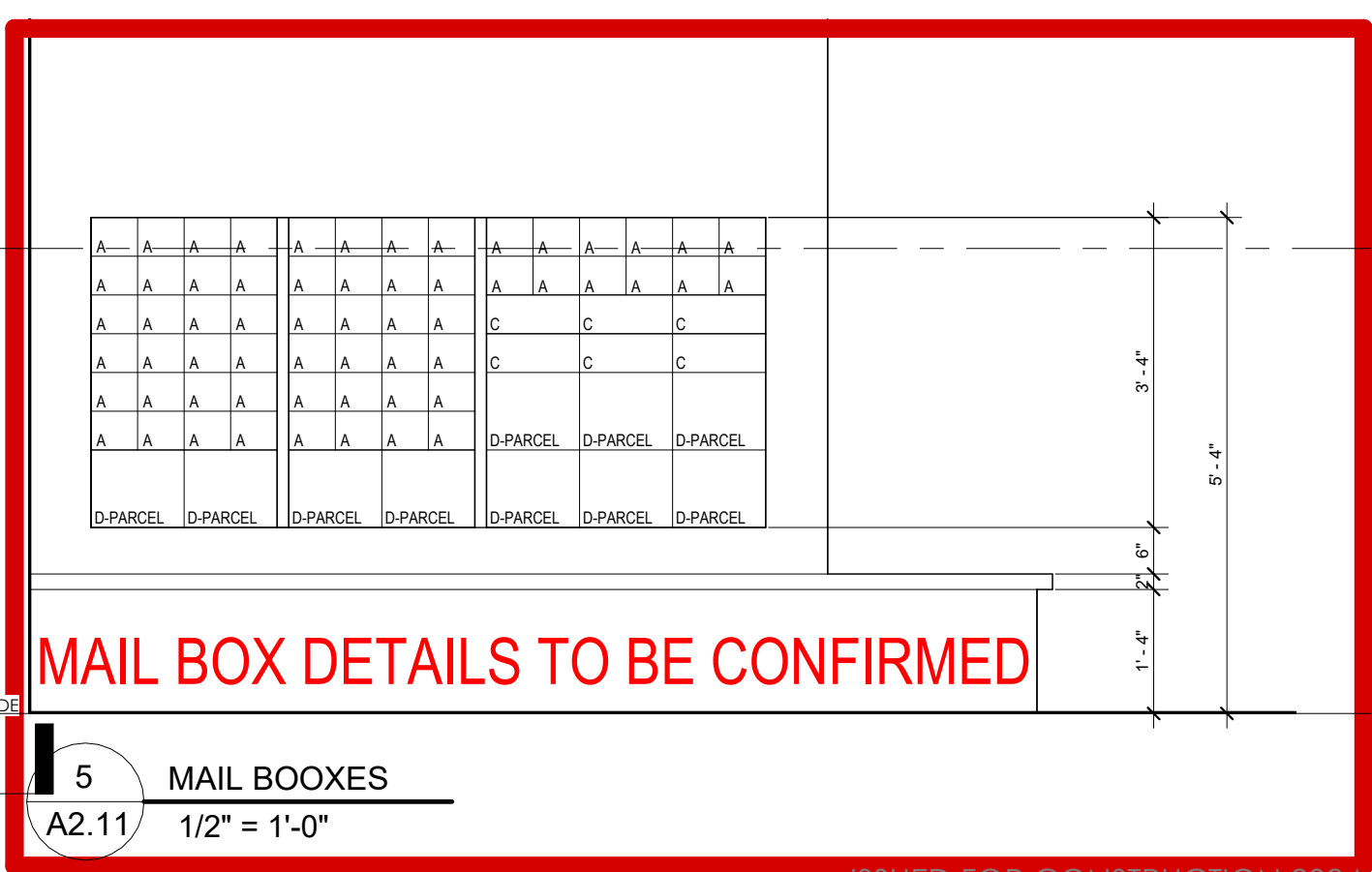


4 UNIT A2 - STUDIO
AREA: 437 ft²
DECK: AREA 93 ft²
ROOM NUMBERS: 202,
1/4" = 1'-0"



7 LOBBY 1
1/4" = 1'-0"

UNIT COUNT TOTAL UNITS = 66	
TYPE A UNIT A1 = 19 UNIT A2 = 1 TOTAL = 20	TYPE D UNIT D1 = 3 UNIT D2 = 3 UNIT D3 = 1 TOTAL = 7
TYPE B UNIT B1 = 12 UNIT B2 = 5 UNIT B3 = 5 UNIT B4 = 1 UNIT B2 = 1 TOTAL = 28	TYPE E UNIT E1 = 1 UNIT E2 = 4 TOTAL = 4
TYPE C UNIT C1 = 1 TOTAL = 1	TYPE T UNIT T1 = 5 UNIT T2 = 1 TOTAL = 6
MAIL BOXES COUNT PARCEL D BOXES REQUIRED 1 PER 8 UNITS = 8.25 PARCEL D BOXES	
MAIL BOX TYPE A PROVIDED = 60 TYPE C PROVIDED = 6 TOTAL MAIL BOXES = 66	
PARCEL BOX TYPE D PROVIDED = 8 TOTAL PARCEL BOXES = 10	
TOTAL BOXES = 76	



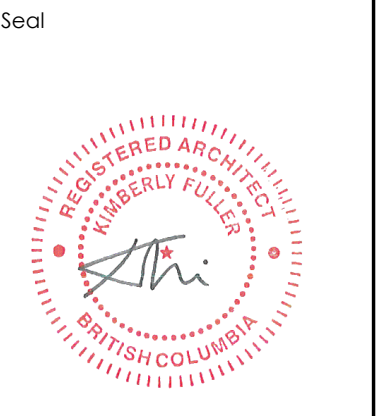
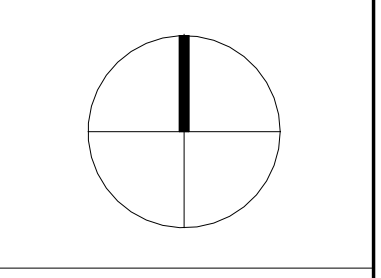
5 MAIL BOXES
1/2" = 1'-0"



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08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.16	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT EDGING
11	2025.02.06	NOT UPDATES

NO.	DATE	DESCRIPTION
1	2024.01.08	IFC COORDINATION
2	2024.01.13	IFC COORDINATION
2	25.05.2022	DP Review Comments

Project
SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

ENLARGED PLANS,
UNITS A1, A2, E1, E2 &
MAIN FL. LOBBY

Job Number 21.888

Date 07/11/22

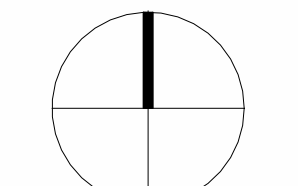
Scale As Indicated

Revision Number A

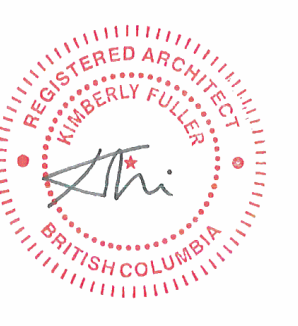
Drawing Number

2025-02-13 14:46:43 PM

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Scale



2025-02-13

RECORD OF ISSUES

NO.	DATE	DESCRIPTION
01	2021.05.27	ISSUED FOR REZONING & DEVELOPMENT PERMIT
02	2021.11.08	RE-ISSUED FOR REZONING & DEVELOPMENT PERMIT
03	2022.02.22	RE-ISSUED FOR REZONING & DP TO SUE CITY COMMENTS
04	2022.04.08	ISSUED FOR B.P.
05	2022.07.11	ISSUED FOR PRICING
06	2022.08.19	ISSUED FOR POST TENDER ADDENDUM
07	2023.08.02	ISSUED FOR IFC COORDINATION
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10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.06	VCI UPDATES

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
5	2024.01.08	IFC COORDINATION

Project

SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
447 CLEMENT AVE

Sheet Title
BUILDING ELEVATIONS

Job Number 21.888

Date 07/11/22

Scale As indicated

Revision Number A
Drawing Number

- MATERIAL LEGEND:**
- 1 BRICK
COLOUR: RED
STYLE: FULL BED, RUNNING BOND
 - 2 CORRUGATED METAL PANEL
FINISH: VERTICAL
COLOUR: CHARCOAL
 - 3 CORRUGATED METAL PANEL
FINISH: VERTICAL & HORIZONTAL
COLOUR: CHARCOAL
 - 4 EXPOSED ARCHITECTURAL CONCRETE CW CAST REVEALS
COLOUR: CEDAR
STYLE: SACKED & SMOOTHED
 - 5 HORIZONTAL LAP SIDING
COLOUR: LIGHT GREY
STYLE: SMOOTH
 - 6 WOOD TEXTURE METAL PANEL
COLOUR: CEDAR
STYLE: SMOOTH

SCHEDULE B
 This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**

MECH. GRILLE. COLOUR TO MATCH CLADDING, TYP.

1 South Elevation
A3.0 1/8" = 1'-0"

2 North Elevation
A3.0 1/8" = 1'-0"



MATERIAL LEGEND:

- 1 BRICK
COLOUR: RED
STYLE: FULL BED, RUNNING BOND
- 2 CORRUGATED METAL PANEL
FINISH: VERTICAL
COLOUR: CHARCOAL
- 3 CORRUGATED METAL PANEL
FINISH: VERTICAL & HORIZONTAL
COLOUR: CHARCOAL
- 4 EXPOSED ARCHITECTURAL CONCRETE CW CAST REVEALS
COLOUR:
STYLE: SACKED & SMOOTHED
- 5 HORIZONTAL LAP SIDING
COLOUR: LIGHT GREY
STYLE: SMOOTH
- 6 WOOD TEXTURE METAL PANEL
COLOUR: CEDAR
STYLE: SMOOTH

SCHEDULE B

This forms part of application
DP25-0010 & DVP25-0011

Planner Initials **SS**



1 East Elevation
A3.1 1/8" = 1'-0"

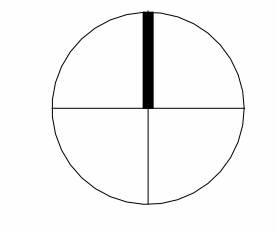


2 West Elevation
A3.1 1/8" = 1'-0"



ISSUED FOR COORDINATION

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REGISTERED ARCHITECT
BRITISH COLUMBIA
2025-02-13

RECORD OF ISSUES		
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01	2021.05.27	ISSUED FOR REZONING & DEVELOPMENT PERMIT
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08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.16	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.06	VCI UPDATES

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
1	2024.01.08	IFC COORDINATION
2	25.05.2022	DP Review Comments

Project
SAVOY
ON CLEMENT
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

Sheet Title
BUILDING ELEVATIONS

Job Number 21.888
Date 07/11/22
Scale As indicated
Revision Number A
Drawing Number

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Seal

2025-02-13

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08	2023.11.09	RE-ISSUED FOR BUILDING PERMIT
09	2024.01.14	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.04	VCI UPDATES

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
5	2024.01.08	IPC COORDINATION

Project

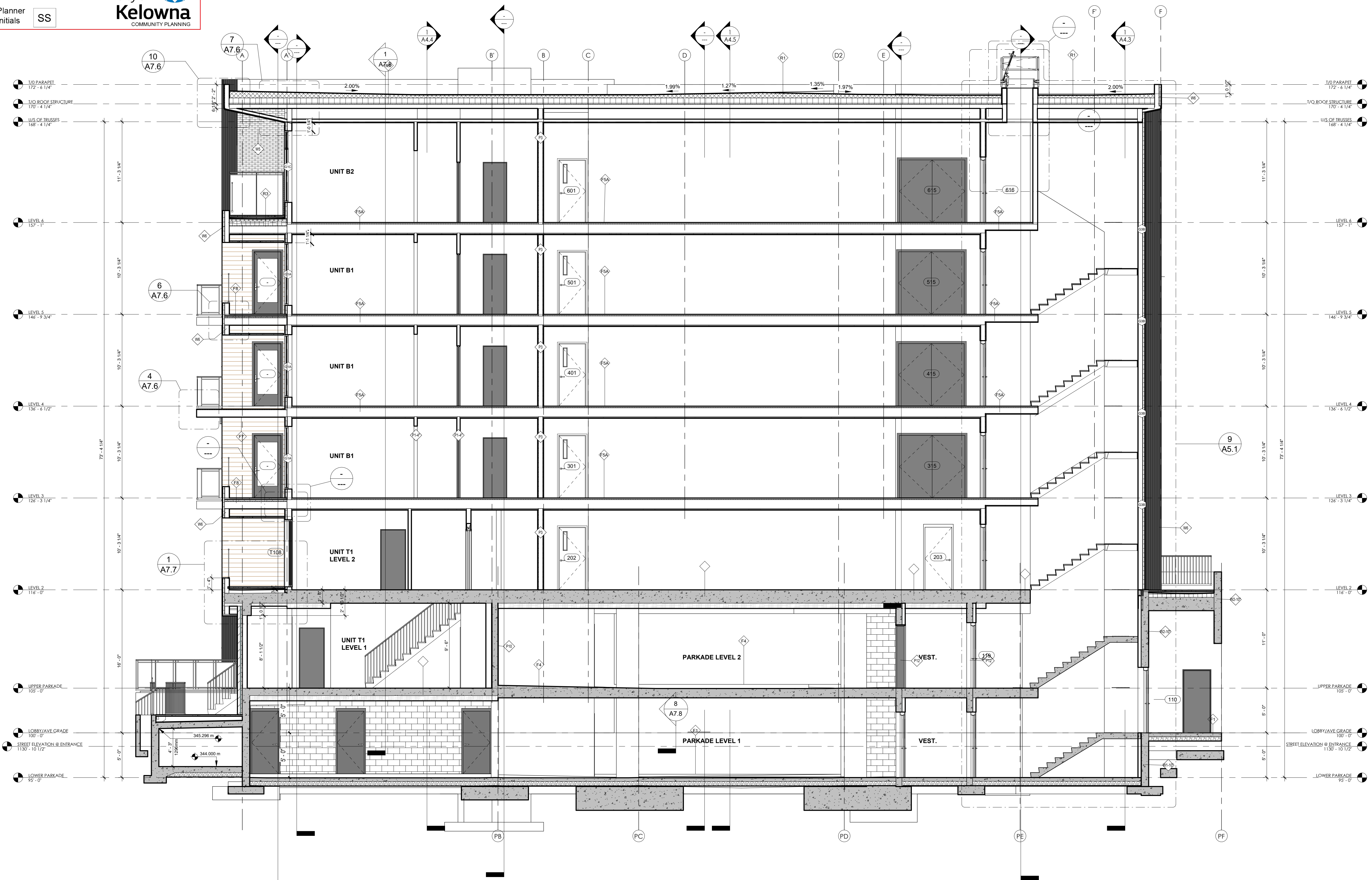
SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title

BUILDING SECTIONS

Job Number 21.888
 Date 07/11/22
 Scale 3/16" = 1'-0"
 Revision Number A
 Drawing Number



1 BUILDING SECTION - N/S-2
 A4.0 3/16" = 1'-0"

SCHEDULE B

This forms part of application
DP25-0010 & DVP25-0011



Planner Initials **SS**

ISSUED FOR COORDINATION

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09	2024.01.14	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.06	VC1 UPDATES

RECORD OF REVISIONS

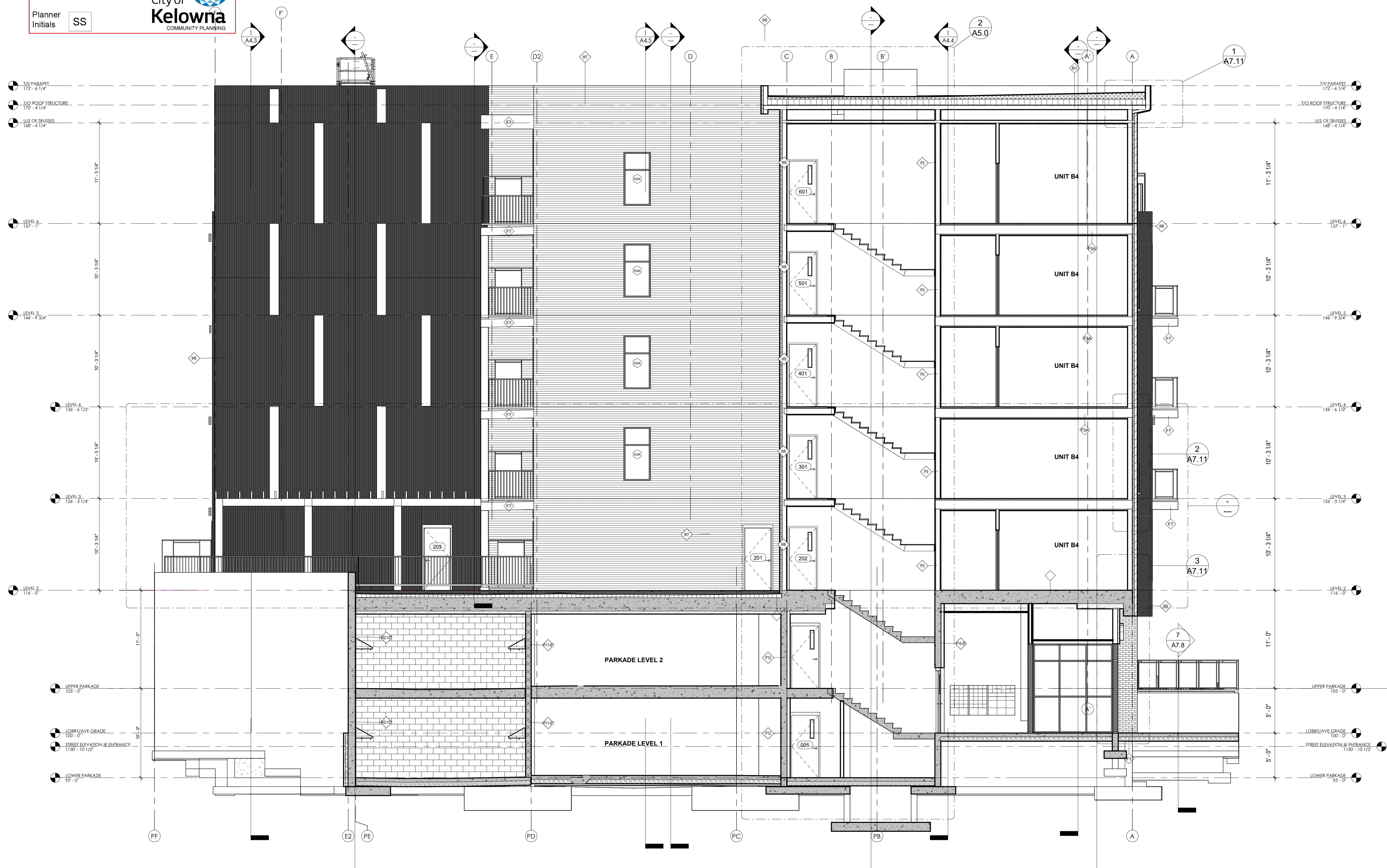
NO.	DATE	DESCRIPTION
5	2024.01.08	IFC COORDINATION

Project
SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

Sheet Title
BUILDING SECTIONS

Job Number 21.888
Date 07/11/22
Scale 3/16" = 1'-0"
Revision Number A
Drawing Number



1 BUILDING SECTION - NORTH/SOUTH
A4.1 3/16" = 1'-0"

- THIS DRAWING MUST NOT BE SCALED.
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Seal

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09	2024.01.14	ISSUED FOR CONSTRUCTION
10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.04	VCI UPDATES

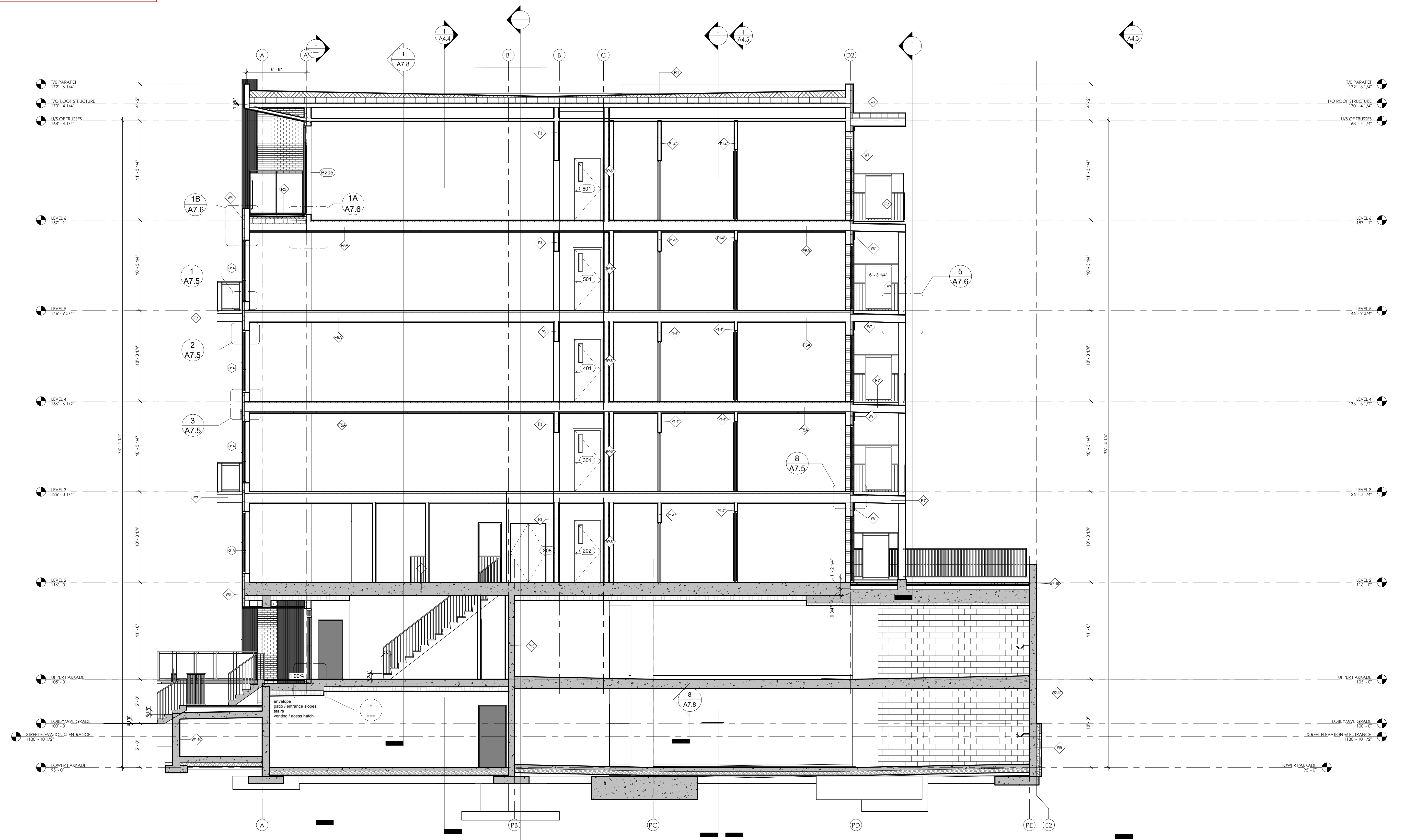
RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
1	01.25.2022	ISSUED FOR COORDINATION

Project
SAVOY
 ON CLEMENT
 RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE


Sheet Title
BUILDING SECTIONS

Job Number 21.888
 Date 07/11/22
 Scale 3/16" = 1'-0"
 Revision Number A
 Drawing Number



1 BUILDING SECTION - N/S1
 A4.2 3/16" = 1'-0"

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Seal

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10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.04	VCI UPDATES

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
1	01.25.2022	60% COORDINATION

Project
SAVOY
 ON CLEMENT
 RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
BUILDING SECTIONS

Job Number 21.888
 Date 07/11/22
 Scale 3/16" = 1'-0"

Revision Number A
 Drawing Number

ISSUED FOR CONSTRUCTION 2024.01.16
A4.3



1
A4.3 BUILDING SECTION - EAST/WEST
 3/16" = 1'-0"

SCHEDULE B

This forms part of application
DP25-0010 & DVP25-0011

Planner Initials
SS

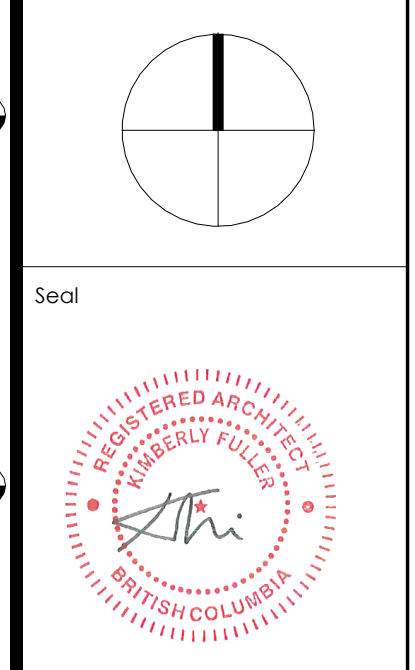


1 BUILDING SECTION WEST/EAST
A4.4 3/16" = 1'-0"



ISSUED FOR COORDINATION

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10	2024.12.20	RE-ISSUED FOR DP CURRENT ZONING
11	2025.02.06	VCI UPDATES

NO.	DATE	DESCRIPTION
1	2024.01.08	IFC COORDINATION
1	01.25.2022	1625 COORDINATION

RECORD OF REVISIONS

Project
SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

Sheet Title
BUILDING SECTIONS

Job Number 21.888
Date 07/11/22
Scale 3/16" = 1'-0"
Revision Number A
Drawing Number



SCHEDULE B

This forms part of application
DP25-0010 & DVP25-0011

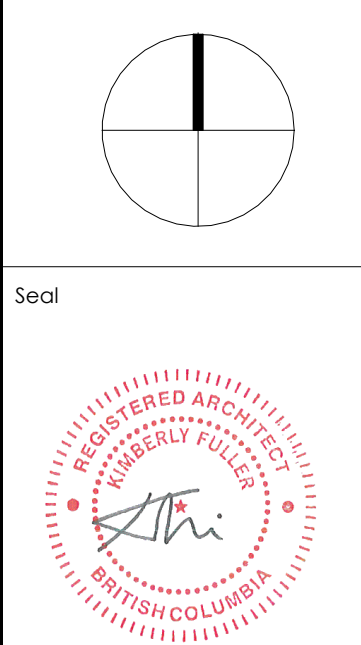
Planner Initials
SS



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11	2025.02.06	VC1 UPDATES

NO.	DATE	DESCRIPTION
3	2024.01.08	IFC COORDINATION
1	01.25.2022	1625 COORDINATION

RECORD OF REVISIONS

Project

SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
447 CLEMENT AVE

Sheet Title
BUILDING SECTIONS

Job Number 21.888
Date 07/11/22
Scale 3/16" = 1'-0"
Revision Number A
Drawing Number

1 BUILDING SECTION WEST/EAST 1
A4.5 3/16" = 1'-0"



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

303-590 KLO Road
Kelowna, BC V1Y 7S2
T (250) 868-9270
www.outlanddesign.ca

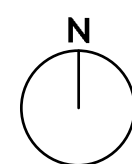
SCHEDULE C

This forms part of application
DP25-0010 & DVP25-0011

Planner Initials **SS**



City of
Kelowna
COMMUNITY PLANNING



PROJECT TITLE
**631-677 CLEMENT AVENUE
MULTIFAMILY**

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL
LANDSCAPE PLAN**

ISSUED FOR / REVISION

1	21.05.26	Review
2	21.10.28	Review
3	21.11.03	Review
4		
5		

PROJECT NO. 21-091

DESIGN BY AM

DRAWN BY NG

CHECKED BY FB

DATE NOV. 3, 2021

SCALE 1:100

PAGE SIZE 24x36"

SEAL

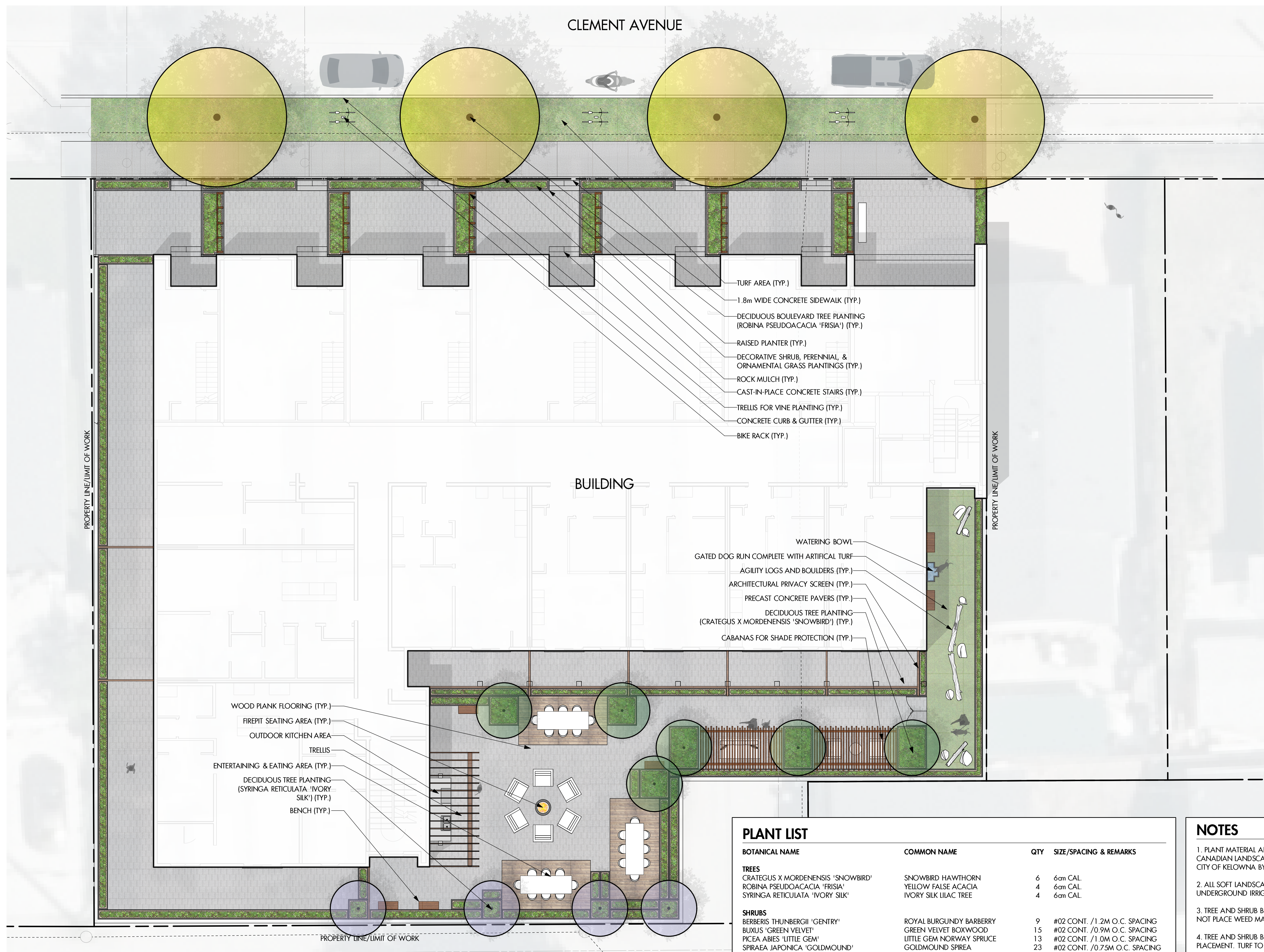


DRAWING NUMBER

L1/2

ISSUED FOR REVIEW ONLY

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PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
CRATEGUS X MORDENENSIS 'SNOWBIRD'	SNOWBIRD HAWTHORN	6	6m CAL
ROBINA PSEUDOACACIA 'FRISIA'	YELLOW FALSE ACACIA	4	6m CAL
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK LILAC TREE	4	6m CAL
SHRUBS			
BERBERIS THUNBERGII 'CENTRY'	ROYAL BURGUNDY BARBERRY	9	#02 CONT. /1.2M O.C. SPACING
BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	15	#02 CONT. /0.9M O.C. SPACING
PICEA ABIES 'LITTLE GEM'	LITTLE GEM NORWAY SPRUCE	13	#02 CONT. /1.0M O.C. SPACING
SPRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	23	#02 CONT. /0.75M O.C. SPACING
TAXUS X MEDIA 'HICKSII'	HICK'S YEW	15	#02 CONT. /0.9M O.C. SPACING
PERENNIALS & GRASSES			
ASTILBE JAPONICA 'PEACH BLOSSOM'	PEACH BLOSSOM ASTILBE	7	#01 CONT. /0.9M O.C. SPACING
CALAMAGROSIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	6	#01 CONT. /1.0M O.C. SPACING
HOSTIA 'STRIPTEASE'	STRIPTEASE HOSTIA	7	#01 CONT. /0.9M O.C. SPACING
LAVANDULA ANGLUSTIFOLIA 'HIDCOTE'	HIDCOTE ENGLISH LAVENDER	11	#01 CONT. /0.75M O.C. SPACING
PENINSETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE FOUNTAIN GRASS	4	#01 CONT. /1.2M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	11	#01 CONT. /0.75M O.C. SPACING
SEDUM SPECTABILE 'AUTUMN FIRE'	AUTUMN FIRE STONECROP	11	#01 CONT. /0.75M O.C. SPACING

- NOTES**
- PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD. ALL OFF-SITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 7900 STANDARDS.
 - ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 - TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 - TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TURF TO RECEIVE A MINIMUM OF 150mm DEPTH TOPSOIL PLACEMENT.
 - TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
 - SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.



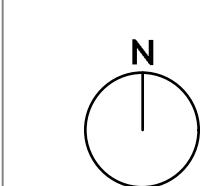
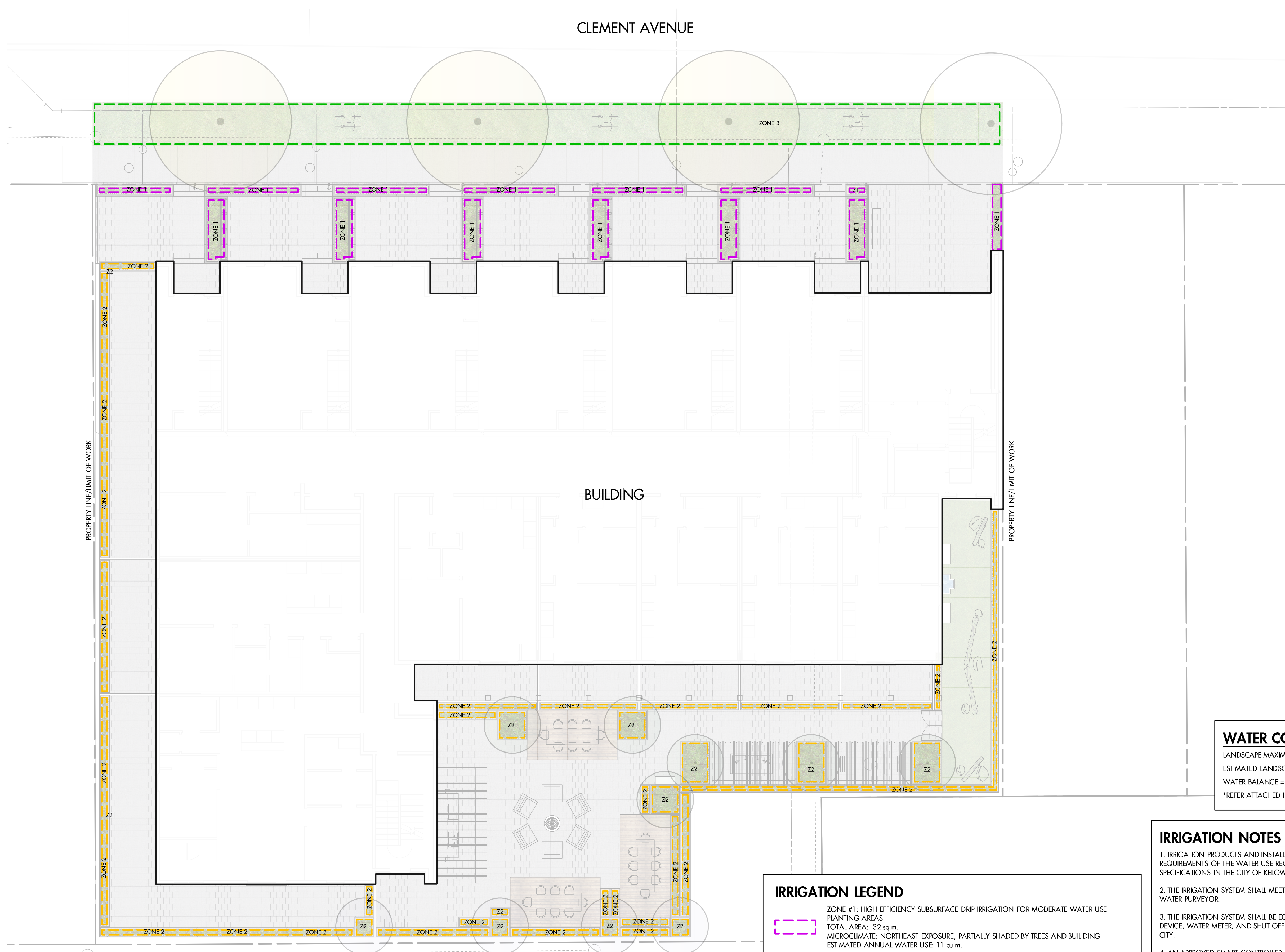
OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

303-590 KLO Road
Kelowna, BC V1Y 7S2
T (250) 868-9270
www.outlanddesign.ca

SCHEDULE C

This forms part of application
DP25-0010 & DVP25-0011

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PROJECT TITLE
**631-677 CLEMENT AVENUE
MULTIFAMILY**

Kelowna, BC

DRAWING TITLE
**WATER CONSERVATION /
IRRIGATION PLAN**

ISSUED FOR / REVISION		
1	21.05.26	Review
2	21.10.28	Review
3	21.11.03	Review
4		
5		

PROJECT NO.	21-091
DESIGN BY	AM
DRAWN BY	NG
CHECKED BY	FB
DATE	NOV. 3, 2021
SCALE	1:100
PAGE SIZE	24x36"

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 224 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 1.32 cu.m. / year
WATER BALANCE = 92 cu.m. / year
*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

- IRRIGATION NOTES**
- IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
 - THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
 - THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
 - AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
 - DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
 - IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
 - IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.
 - A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

- IRRIGATION LEGEND**
- ZONE #1:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 32 sq.m.
MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 11 cu.m.
 - ZONE #2:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 69 sq.m.
MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 23 cu.m.
 - ZONE #3:** LOW VOLUME POP-UP SPRAY HEADS FOR TURF AREAS
TOTAL AREA: 115 sq.m.
MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 99 cu.m.



DRAWING NUMBER
L2/2

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FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Chapter 2 - The Design Foundations: apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines: provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

Chapter 2 - Design Foundations

Apply To All Projects

Page 18-8

Section 2.1 - General Residential and Mixed Use Design Guidelines

Page 18-9

Section 2.2 - Achieving High Performance

Page 18-17

Chapter 3
Townhouses & Infill

Page 18-19

Chapter 4
Low & Mid-Rise
Residential &
Mixed Use

Page 18-34

Chapter 5
High-Rise
Residential &
Mixed Use

Page 18-42

*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.



Planner Initials: **ss** Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.	✓					
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.						✓
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						✓
f. Avoid blank, windowless walls along streets or other public open spaces.						✓
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.						✓
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. <ul style="list-style-type: none"> • Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets); • The street wall does not include upper storeys that are setback from the primary frontage; and • A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys. 						✓
2.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.					✓	
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.						✓
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> • Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and • Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice. 				✓		



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2.1.3 Site Planning		N/A	1	2	3	4	5
a.	Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.	✓					
b.	Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						✓
c.	Limit the maximum grades on development sites to 30% (3:1)						✓
d.	Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; Incorporating terracing to create usable open spaces around the building Using the slope for under-building parking and to screen service and utility areas; Design buildings to access key views; and Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped). 	✓					
e.	Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.	✓					
f.	Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	✓					
g.	Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						✓
2.1.4 Site Servicing, Access, and Parking		N/A	1	2	3	4	5
a.	Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						✓
b.	Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c.	Avoid locating off-street parking between the front façade of a building and the fronting public street.						✓
d.	In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> Underground (where the high water table allows) Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage); 						✓

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<ul style="list-style-type: none"> Garages or at-grade parking integrated into the building (located at the rear of the building), and Surface parking at the rear, with access from the lane or secondary street wherever possible. 						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.	✓					
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> Landscaping; Trellises; Grillwork with climbing vines; or Other attractive screening with some visual permeability. 	✓					
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> Covered short-term parking in highly visible locations, such as near primary building entrances; and Secure long-term parking within the building or vehicular parking area. 						✓
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						✓
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.				✓		
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.				✓		
2.1.5 Streetscapes, Landscapes, and Public Realm Design	N/A	1	2	3	4	5
a. Site buildings to protect mature trees, significant vegetation, and ecological features.	✓					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.	✓					
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						✓
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> Locating outdoor spaces where they will receive ample sunlight throughout the year; Using materials and colors that minimize heat absorption; Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and Using building mass, trees and planting to buffer wind. 					✓	
f. Use landscaping materials that soften development and enhance the public realm.						✓



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g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.						✓
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.	✓					
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> • Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and • Using recycled water irrigation systems. 	✓					
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	✓					
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.						✓
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> • Minimizing light trespass onto adjacent properties; • Using full cut-off lighting fixtures to minimize light pollution; and • Maintaining lighting levels necessary for safety and visibility. 						✓
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.	✓					
2.1.6 Building Articulation, Features and Materials	N/A	1	2	3	4	5
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> • Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; • Repeating window patterns on each step-back and extension interval; • Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval. 						✓
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs. Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters;						✓



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SS	ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c.	Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.						✓
d.	Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e.	Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.						✓
f.	Provide weather protection such as awnings and canopies at primary building entries.						✓
g.	Place weather protection to reflect the building's architecture.						✓
h.	Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						✓
i.	Provide visible signage identifying building addresses at all entrances.						✓

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE							
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5	
4.1 Low & mid-rise residential & mixed use guidelines							
4.1.1 Relationship to the Street							
i.	Ensure lobbies and main building entries are clearly visible from the fronting street.						✓
j.	Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> • Locating enclosed parking garages away from street frontages or public open spaces; • Using ground-oriented units or glazing to avoid creating dead frontages; and • When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting. 						✓
Residential & Mixed Use Buildings							
k.	Set back residential buildings on the ground floor between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio. <ul style="list-style-type: none"> • A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways. • Exceptions can be made in cases where the water table requires this to be higher. In these cases, provide a larger patio and screen parking with ramps, stairs and landscaping. 						✓

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	l. Incorporate individual entrances to ground floor units accessible from the fronting street or public open spaces.					✓
	m. Site and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.					✓
	4.1.2 Scale and Massing	N/A	1	2	3	4
	a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.					✓
	b. Residential buildings should have a maximum width of 24 m.					✓
	c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.				✓	
	d. For commercial facades, incorporate a significant break at intervals of approximately 35 m.	✓				
	4.1.3 Site Planning	N/A	1	2	3	4
	a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.	✓				
	b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> • Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and • Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access. 					✓
	c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.	✓				
	d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	✓				
	4.1.4 Site Servicing, Access and Parking	N/A	1	2	3	4
	a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimised; and • There is no more than one curb cut per property. 					✓
	b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.					✓
	c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations:					✓



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<ul style="list-style-type: none"> Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized. 						
4.1.5 Publicly-Accessible and Private Open Spaces	N/A	1	2	3	4	5
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	✓					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.	✓					
Rooftop Amenity Spaces						
c. Design shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) to be accessible to residents and to ensure a balance of amenity and privacy by: <ul style="list-style-type: none"> Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units by using fencing, landscaping, or architectural screening. 					✓	
d. Reduce the heat island affect by including plants or designing a green roof, with the following considerations: <ul style="list-style-type: none"> Secure trees and tall shrubs to the roof deck; and Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated. 					✓	
4.1.6 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: <ul style="list-style-type: none"> Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade; Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade; Providing a porch, patio, deck, or covered entry for each interval; Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; Changing the materials with the change in building plane; and 					✓	

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<ul style="list-style-type: none"> • Provide a lighting fixture, trellis, tree or other landscape feature within each interval. 							
b. Break up the building mass by incorporating elements that define a building's base, middle and top.							✓
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.							✓
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.							✓
e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.							✓
f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations: <ul style="list-style-type: none"> • Primary building entrances; • Adjacent to bus zones and street corners where people wait for traffic lights; • Over store fronts and display windows; and • Any other areas where significant waiting or browsing by people occurs. 	✓						
g. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.							✓
h. Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.							✓
i. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.							✓
j. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.	✓						
k. Avoid the following types of signage: <ul style="list-style-type: none"> • Internally lit plastic box signs; • Pylon (stand alone) signs; and • Rooftop signs. 							✓
l. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓						

February 10, 2025

Summary of Neighbour Notification – 647 Clement Ave

Dear Council,

The following is a summary of our Neighbour Notification efforts and feedback received as per our Development Permit application for 647 Clement Ave.

a. Date the mail outs or face-to-face notification was completed.

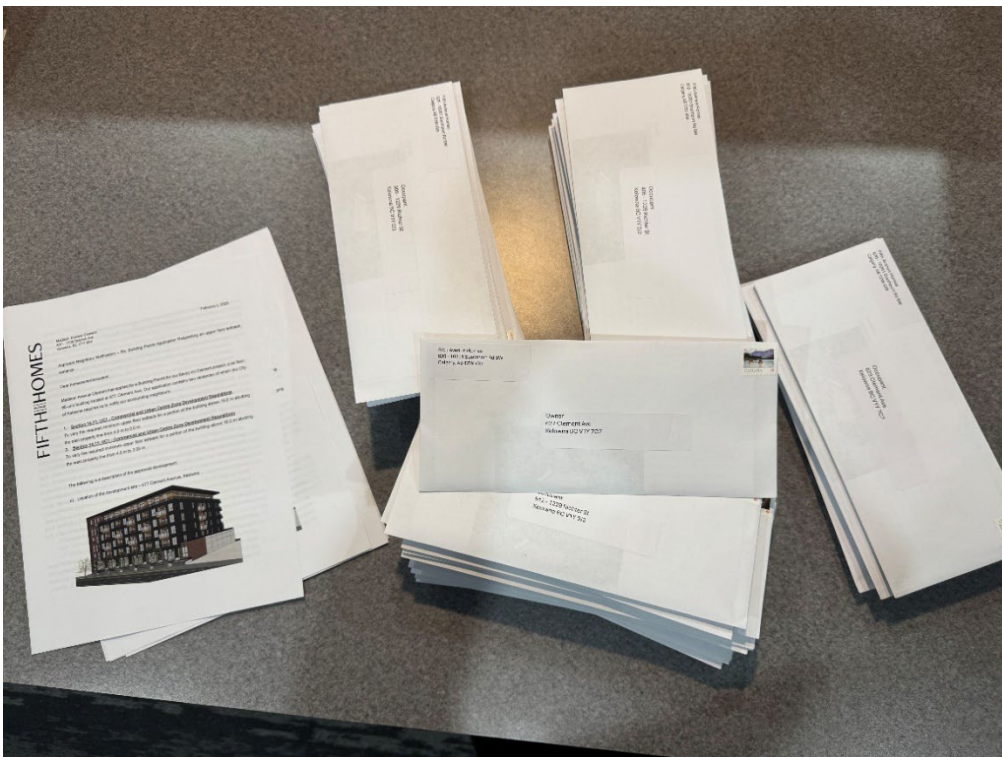
Letters were mailed out through Canada Post to each tenant and/or property owner, within a 50m radius of the project, on February 7, 2025.

b. Methods of notification (mail out, face-to-face, website, etc.)

See above.

c. List of all addresses notified

A total of 81 letters were mailed to all tenants and/or owners of properties within a 50m radius of the site, as per addresses provided by the City.



d. Details of the types of information provided

The variances we are requesting were listed (as shown below), in bold font, in the letter (please refer to Schedule A for a copy of the complete letter). Tenants and/or owners were also provided with the website where the proposed Development Permits for this project could be reviewed in detail.

1. Section 14.11: UC1 - Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the east property line from 4.0 m to 0.0 m.

2. Section 14.11: UC1 - Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the west property line from 4.0 m to 3.05 m.

A Development Permit for this project was previously awarded but expired and therefore we are completing a second notification to our neighbours as per Council Policy 367. The scope of the project has not changed since the previous approvals were received.

In late 2021/early 2022, the previous neighbour notification took place and included a public information session via Zoom (during Covid), a large format development notice sign (8'x4') which was placed on the proposed site and an advertisement was placed in a local newspaper. Neighbours were notified of the public information session through either a letter mailed via Canada Post or, for those tenants residing in two apartment buildings, the respective property managers were directly mailed letters with a request to notify their residents. As a result of these notifications, we were contacted by two neighbours asking if we were interested in purchasing their land for either this or a future project. One additional neighbour contacted us to inquire about fire access, parking ratio and the setback from Clement Ave; we were within City guidelines on each point. No changes were required to the plans based on this feedback.

e. Any feedback or key issues received from the neighbours

To date, no feedback has been received.

f. Outline any changes to the project resulting from neighbour notification

There have been no changes.

Schedule A – Neighbour Notification Letter

FIFTH HOMES
 AVENUE

Madison Avenue Clement
 407 - 1708 Dolphin Ave
 Kelowna, BC V1Y 9S4

February 5, 2025

Applicant Neighbour Notification – Re. Building Permit Application Requesting an upper floor setback variance

Dear homeowner/occupant,

Madison Avenue Clement has applied for a Building Permit for our Savoy on Clement project; a six floor, 66-unit building located at 647 Clement Ave. Our application contains two variances of which the City of Kelowna requires us to notify our surrounding neighbours.

3. Section 14.11: UC1 - Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the east property line from 4.0 m to 0.0 m.

4. Section 14.11: UC1 - Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the west property line from 4.0 m to 3.05 m.

The following is a description of the approved development:

- a) Location of the development site – 647 Clement Avenue, Kelowna



b) A detailed description of the approved Development Permits, DP25-0010 & DVP25-0011, can be found online under [Current development applications | City of Kelowna](#).

PROJECT DESCRIPTION

The building site is located in the transitioning “North End” of Kelowna along Clement Avenue, one of the City’s key transportation arteries. The project is a mid-block site located on the South side of Clement with the nearest intersection being Richter Street. The proposal is to build a 66-unit, 6 level condominium building with street accessed townhomes. The upper 5 storeys of wood-frame construction sit on a double level, partially buried, concrete parking structure accessed off the rear lane and masked behind ground-oriented, street accessed, townhomes and lobby. This site straddles the 12 storey and 6 storey allocation.

The building is designed to reflect the history of the once industrial area while progressing the transition into a more dense, residential, modern neighborhood. This is achieved between both the material pallet selected as well the building form. The material palette is largely industrial, a throwback to the history of the neighborhood, and applied over a modern form. The concrete, steel corrugated cladding, and brick are offset by rich detail and pattern and softened further by incorporation of warm wood and lush green landscaping. The form is sensitive to the neighboring projects, both present and future, while also creating opportunities for intimate, outdoor spaces. The building step backs incrementally to the west to provide opportunities for views, outdoor space, and will serve as a great neighbor to the future project directly West which will likely be 4-5 stories. To the East the building is partially setback while also allowing for a potential future connection and abutment to a future 6 storey, large footprint, building along Richter Street. Our client is keenly interested in these lots and we are leaving the door open to a future connection. The abutting wall has been incorporated as an architectural feature of the building and is designed to stand on its own without the future connection or at the very least the short interim between developments. Further to the form, careful attention has been taken to provide appropriate pedestrian scaled design along the busy Clement corridor. The townhomes at grade are buffered by large setbacks and landscaping creating opportunities for vibrant front yards. Floors 2-5 above are pulled towards the street while providing deep, inset, balconies which will provide the private intimacy desired facing a bustling street. By pulling these floors towards the street we are allowing for a greater amenity deck area at the rear or “back yard” as we call it. This area will promote diverse opportunities for social interaction, community gardens and even a dog run.

MISSING MIDDLE

This project does not cater to one single demographic, rather it provides and encourages a mixture of unit types and pricing options. The ratio between studio, one bedroom, and 2 bedroom+ units is essentially equal and designed intentionally. Given the projects location and amenities provided both on-site and in the immediate neighborhood this project meets the demand for walkable/ livable neighborhoods, responds to changing demographics, and provides housing at various, attainable price points.

URBAN CONNECTIVITY

The project is located within a 3 minute bicycle commute to Downtown and the New Clement Business /Cultural District is located directly across the street. This proximity allows pedestrians and cyclists easy access to all the shopping, recreational opportunities, and cultural events without the need to take a vehicle. Transit is available on Clement Avenue and when going further from the immediate area and a car is your only option, Clement Avenue offer excellent connectivity to the rest of the City and the region. To soften the reliance on vehicular transportation, bike storage exceeds zoning requirements, and 2 car chare spaces have been provided at the rear lane and can be accessed by any member of the surrounding neighborhood.

SUSTAINABILITY

The use of naturally sourced materials is used to a large extent and thereby reduces the carbon footprint as much as possible. Envelope details that prevent water and moisture ingress while still allowing the assemblies to dry are being incorporated. Minimizing thermal bridging combined with continuous, exterior insulation will reduce heating and cooling loads. South and west facing windows will be specified to have appropriate shading and glazing coefficients to utilize the summer sun by blocking the heat while still allowing the winter sun to penetrate, reducing cooling and heating loads in the summer and winter seasons respectively. Operable windows allow for natural ventilation, reducing the demand for mechanical ventilation to provide fresh air. Other sustainable measures will include drought resistant landscaping and smart climate management controls.

CRIME PREVENTION

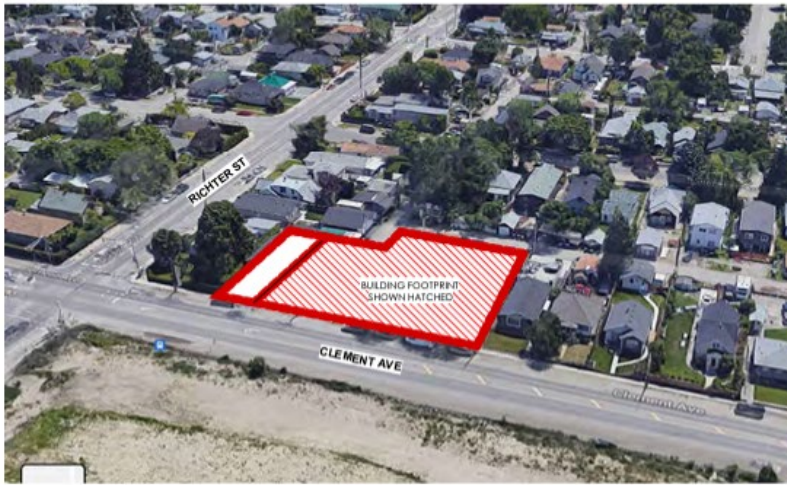
The intentions of CPTED have been addressed with well-maintained entrances and frontages that promote pride in ownership amongst the residents, and with the reduced setback increasing the buildings presence. The sight lines of the occupants from decks and windows will discourage vandalism and crime. Site lighting along the side/drive isle, and pathways will be balanced to provide enough illumination to ensure there are no high contrast areas that could conceal potential offenders, but not so much that the site is excessively contributing to local light pollution.

LANDSCAPING

The landscape design will compliment the character of the surrounding neighborhood. A number of annual and perennial shrubs have been selected for the planters throughout the site, and in special groupings on the amenity deck. Trees will be planted in the front boulevard, and in all greenspaces. Given enough time to mature, the trees will help the project blend with the existing neighborhoods numerous trees lining streets and in back yards. The landscape concept for the setback areas, will provide a visually exciting and high volume of green space. If viewed from above, there would appear to be significantly more “green” than building.

c) Site plan

LOCATION MAP



d) Contact information – Please contact us at info@fifthaveproperties.com or 250-794-3738 with any questions.

The City of Kelowna contact is:

Sara Skabowski, RPP, MCIP
 Planner I | City of Kelowna
 778-738-3427 | Sskabowski@kelowna.ca

Regards,

Jeff van Leenen
 Estimating

Address
599 Clement Ave V1Y7C7 ** Occupant **
615 Clement Ave V1Y7C7 ** Occupant **
623 Clement Ave V1Y7C7 ** Occupant **
627 Clement Ave V1Y7C7 ** Occupant **
647 Clement Ave ** Occupant **
677 Clement Ave V1Y7C7 ** Occupant **
602 Coronation Ave V1Y7A1 ** Occupant **
620 Coronation Ave ** Occupant **

640 Coronation Ave V1Y7A1

**** Occupant ****

650 Coronation Ave V1Y7A1

**** Occupant ****

658 Coronation Ave V1Y7A1

**** Occupant ****

678 Coronation Ave V1Y7A1

**** Occupant ****

1190 Richter St V1Y7C7

**** Occupant ****

1212 Richter St V1Y2K9

**** Occupant ****

1222 Richter St V1Y2K9

**** Occupant ****

1228 Richter St V1Y2K9

**** Occupant ****

101 1229 Richter St

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102 1229 Richter St

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103 1229 Richter St

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1234 Richter St V1Y2K9

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1236 Richter St V1Y2K9

**** Occupant ****

Mailing Address

10-145 WELHAM RD

BARRIE ON L4N 8Y3

615 CLEMENT AVE

KELOWNA BC V1Y 7C7

5489 PATRICK ST

BURNABY BC V5J 3B2

627 CLEMENT AVE

KELOWNA BC V1Y 7C7

620-10201 SOUTHPORT RD SW

CALGARY AB T2W 4X9

620-10201 SOUTHPORT RD SW

CALGARY AB T2W 4X9

407-1708 DOLPHIN AVE

KELOWNA BC V1Y 9S4

4306 RUSSO ST

KELOWNA BC V1W 0B6

640 CORONATION AVE KELOWNA BC V1Y 7A1
650 CORONATION AVE KELOWNA BC V1Y 7A1
658 CORONATION AVE KELOWNA BC V1Y 7A1
507-1290 ST. PAUL ST KELOWNA BC V1Y 2C9
1435 WATER ST KELOWNA BC V1Y 1J4
1212 RICHTER ST KELOWNA BC V1Y 2K9
1222 RICHTER ST KELOWNA BC V1Y 2K9
PO BOX 21003 RPO ORCHARD PARK KELOWNA BC V1Y 9N8

401-11 CHURCH ST
TORONTO ON M5E 1W1

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TORONTO ON M5E 1W1

1234 RICHTER ST

KELOWNA BC V1Y 2K9

3494 PARKLANE RD

WEST KELOWNA BC V4T 1B8

Development Permit & Development Variance Permit

647 Clement Avenue

DP25-0010 & DVP25-0011



Purpose

To issue a Development Permit for the form and character of an apartment building and to issue a Development Variance Permit to vary the minimum upper floor setbacks, the building stepback, common amenity space, and long-term bicycle parking standards. |

Development Process

Jan 8, 2025 Development Application Submitted



Staff Review & Circulation



Feb 10, 2025 Public Notification Received



Mar 11, 2025 DP & DVP

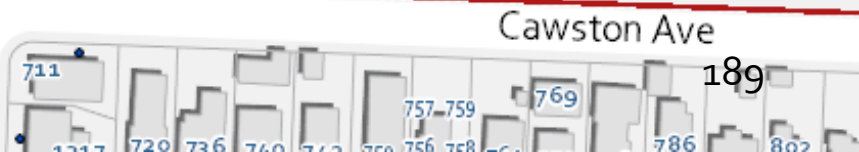
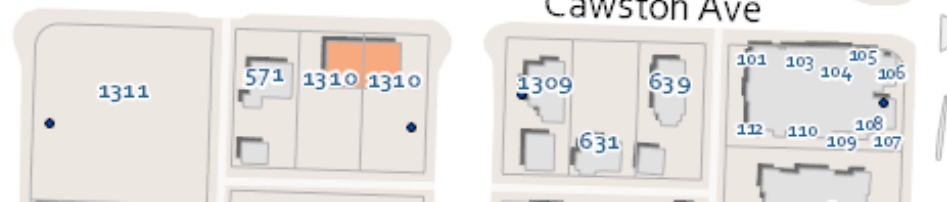
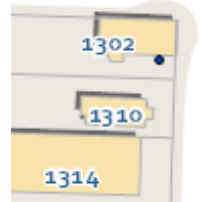
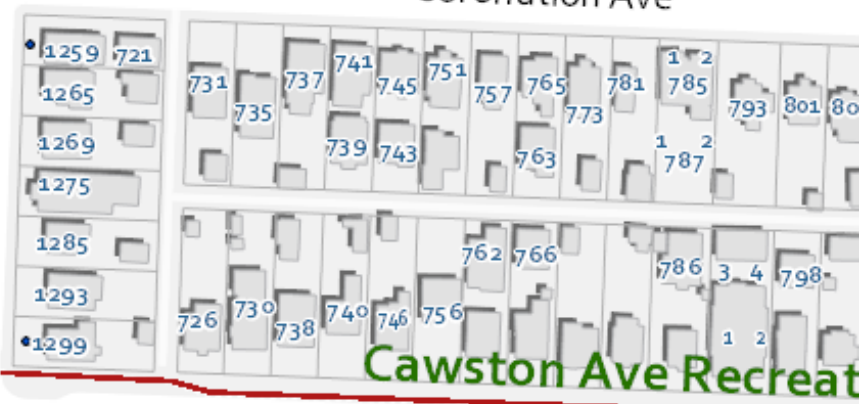
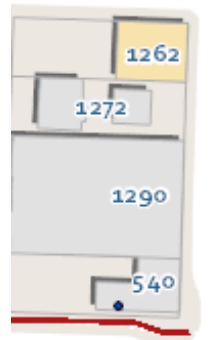
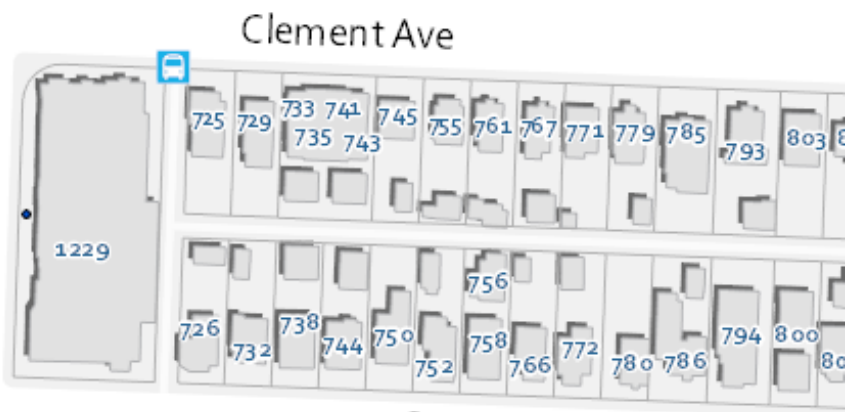
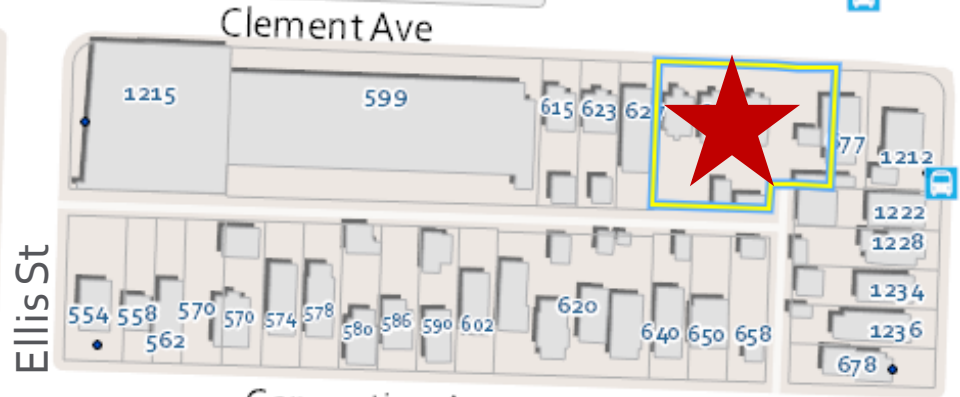
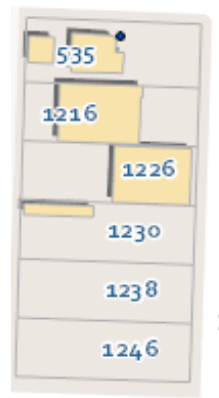
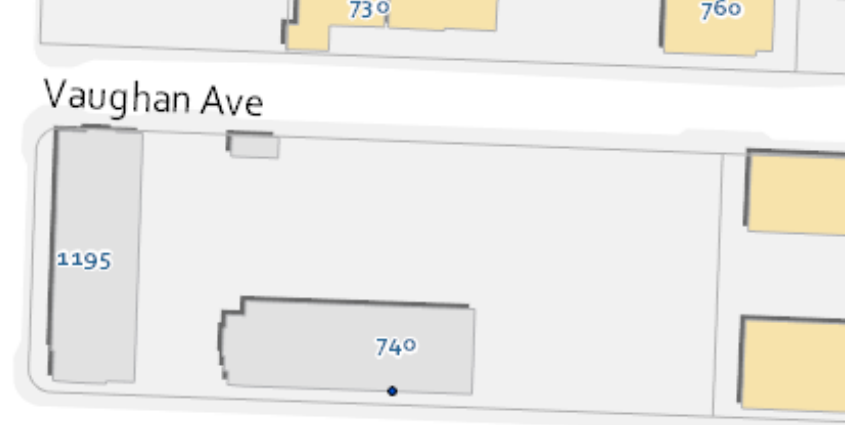
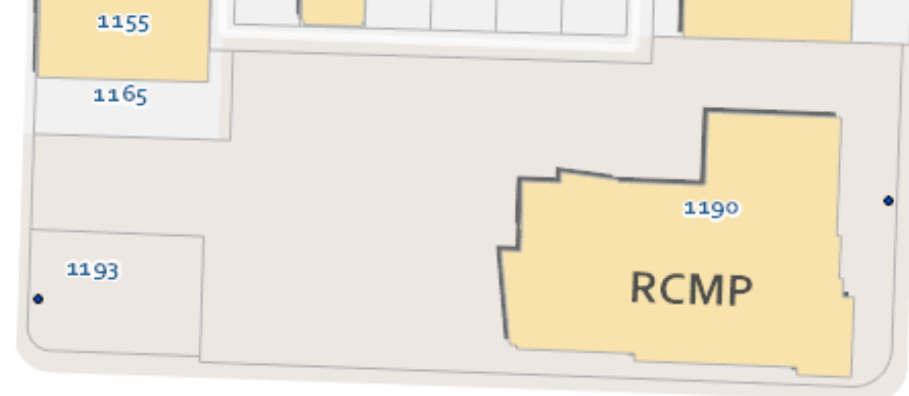
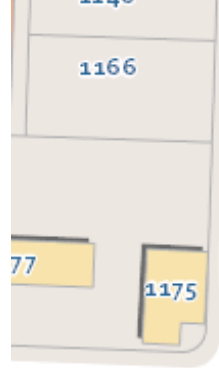
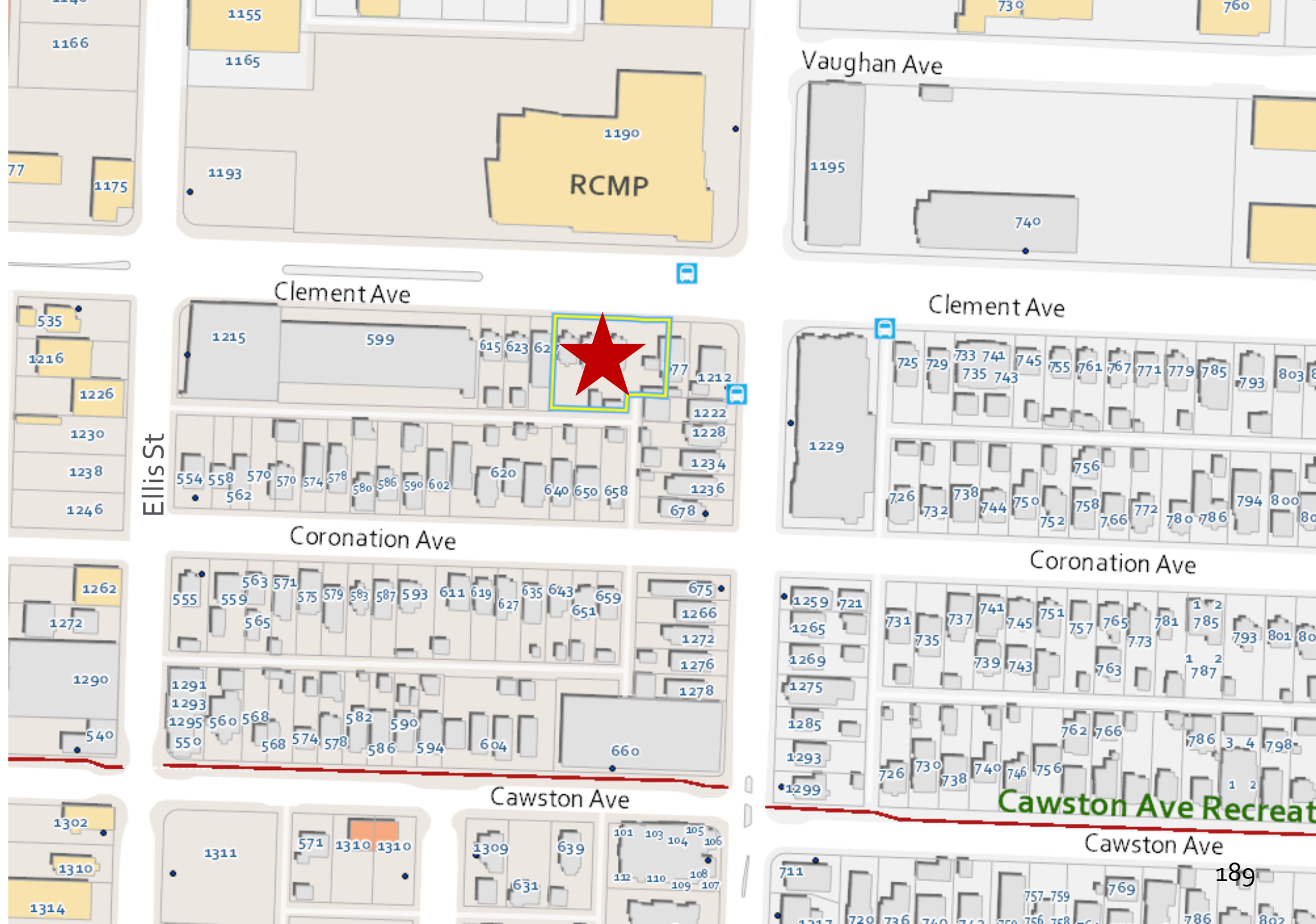
Council Approvals



Building Permit

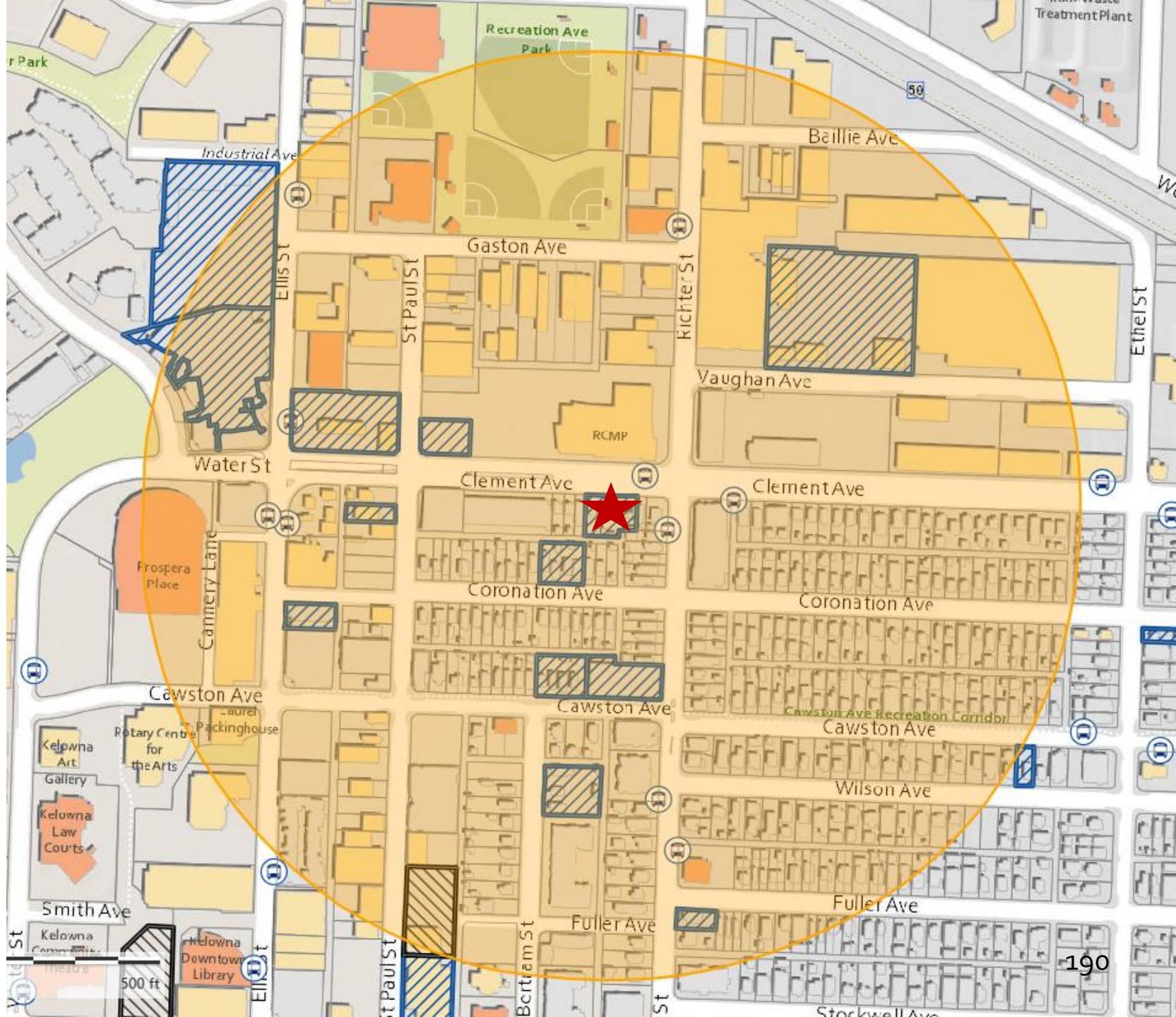


Context Map



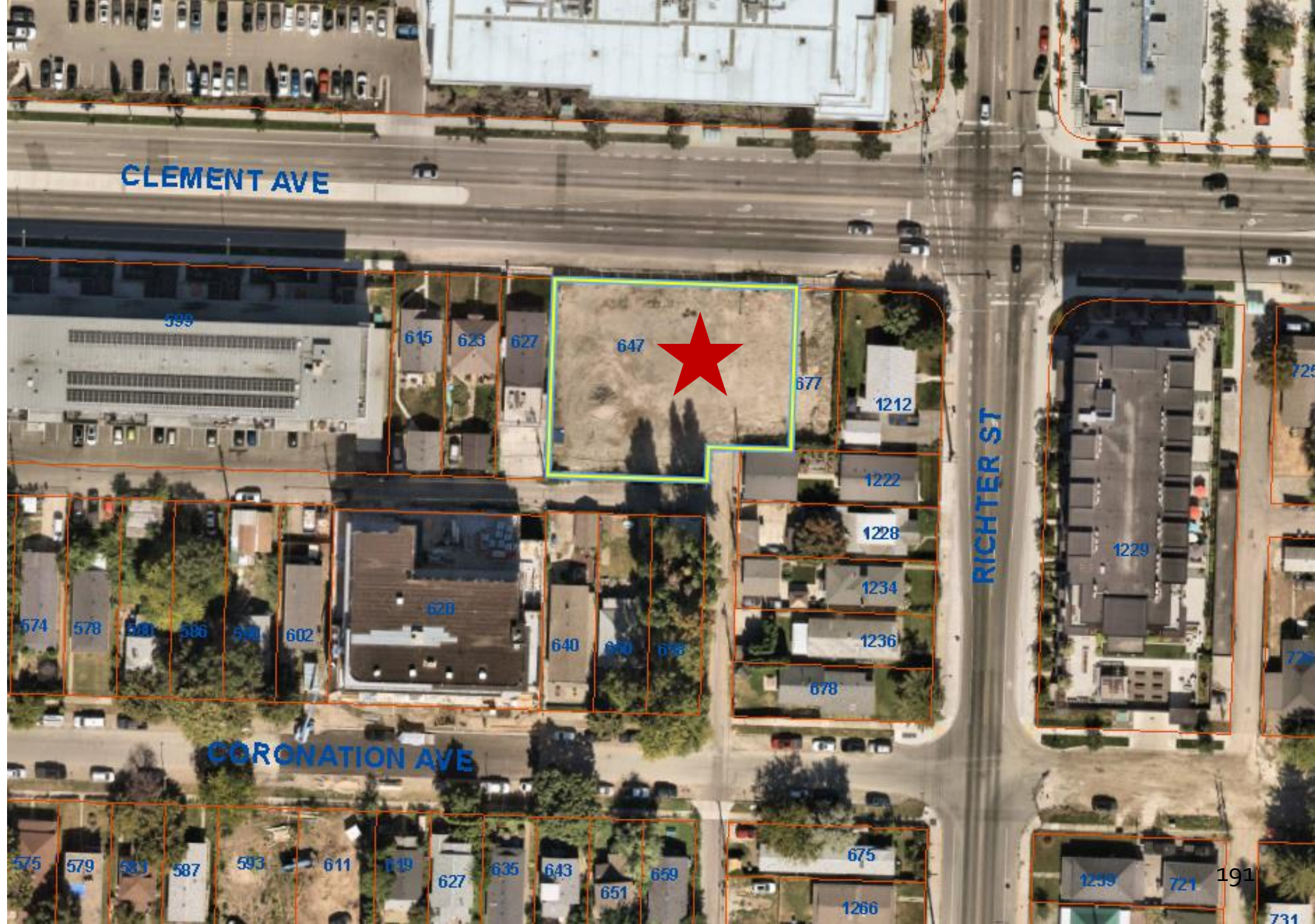
Model City

Population: 2,286
Jobs: 4,795





Subject Property Map



Technical Details

UC1 – Downtown Urban Centre

- 6 storeys with 66 units
 - 20 Bachelor
 - 29 1-Bedroom
 - 17 2-Bedroom
- 59 Parking Stalls (1 Modo Car-Share)
- 88 Bicycle Parking Stalls
- Common Amenity Deck
- 10 Trees On-Site

Variations

Section 14.11.2:

- To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the east property line from 4.0 m permitted to 0.0 m proposed.

Section 14.11.2:

- To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the west property line from 4.0 m permitted to 3.0 m proposed.

Section 14.11:

- To vary the required minimum building setback from front yard for a portion of the building abutting the north property line from 3.0 m permitted to 0.0 m proposed.

Variations

Section 14.11:

- To vary the minimum common amenity space from 264 m² permitted to 217 m² proposed.

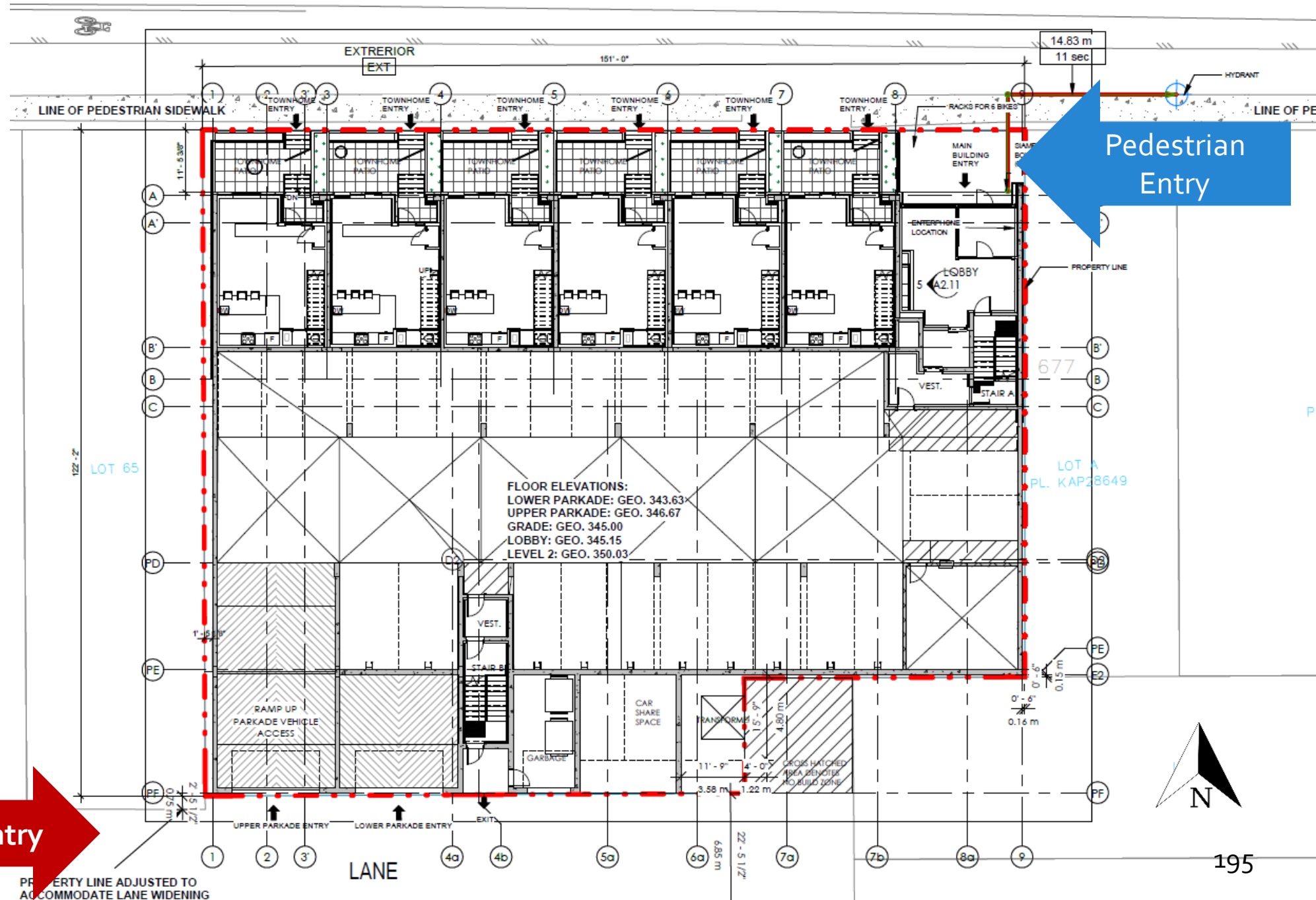
Section 8.5.6(c).i:

- To vary the minimum amount of ground-anchored long-term bicycle parking from 50% permitted to 38% proposed.

Section 8.5.1:

- To vary the minimum distance between bicycle racks (for racks that accommodate two or more bicycles) from 0.9 m permitted to 0.8 m proposed.

Site Plan



Vehicle Entry

Pedestrian Entry



Elevation (North)

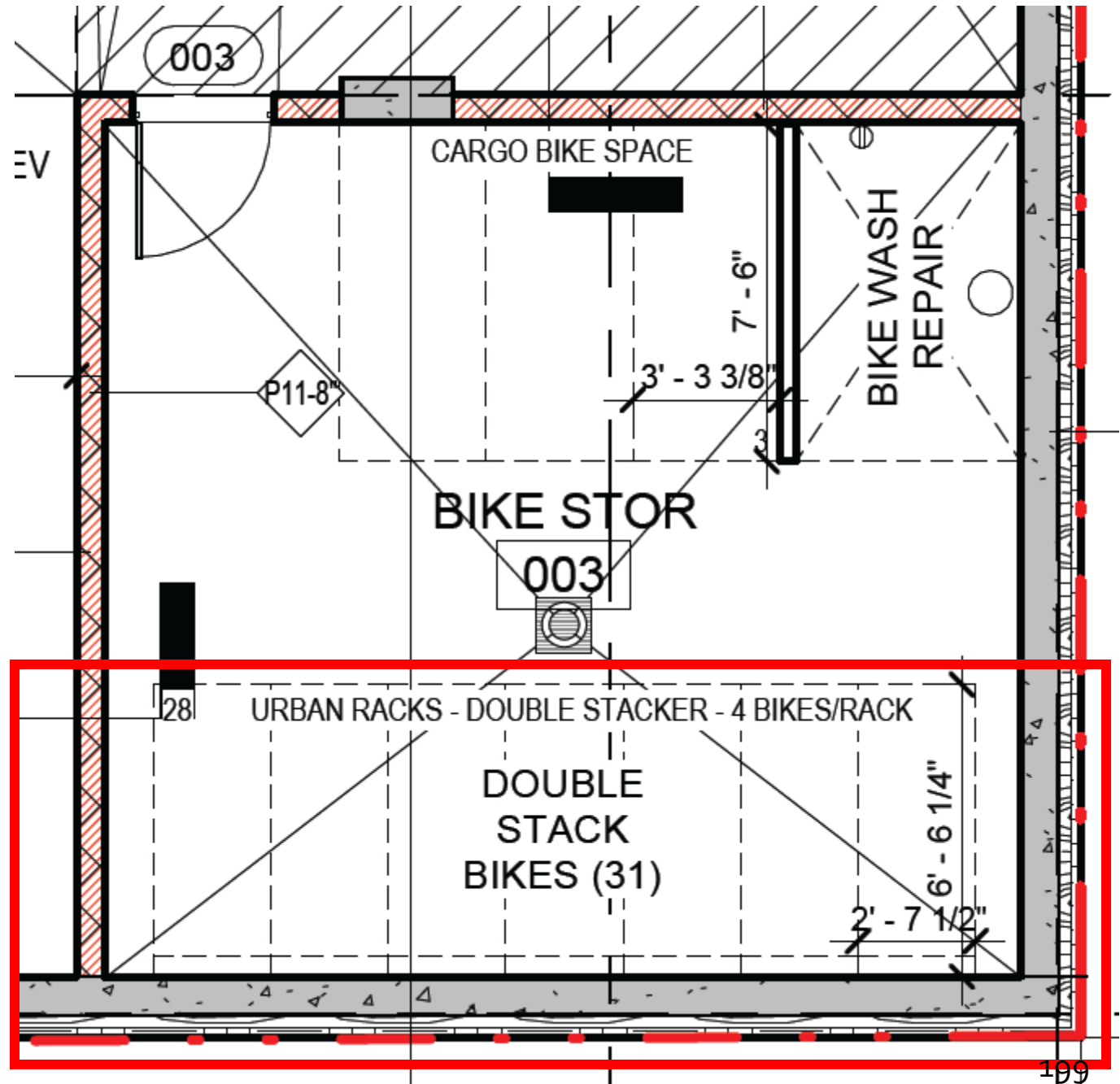


East Elevation



West Elevation





Materials Board

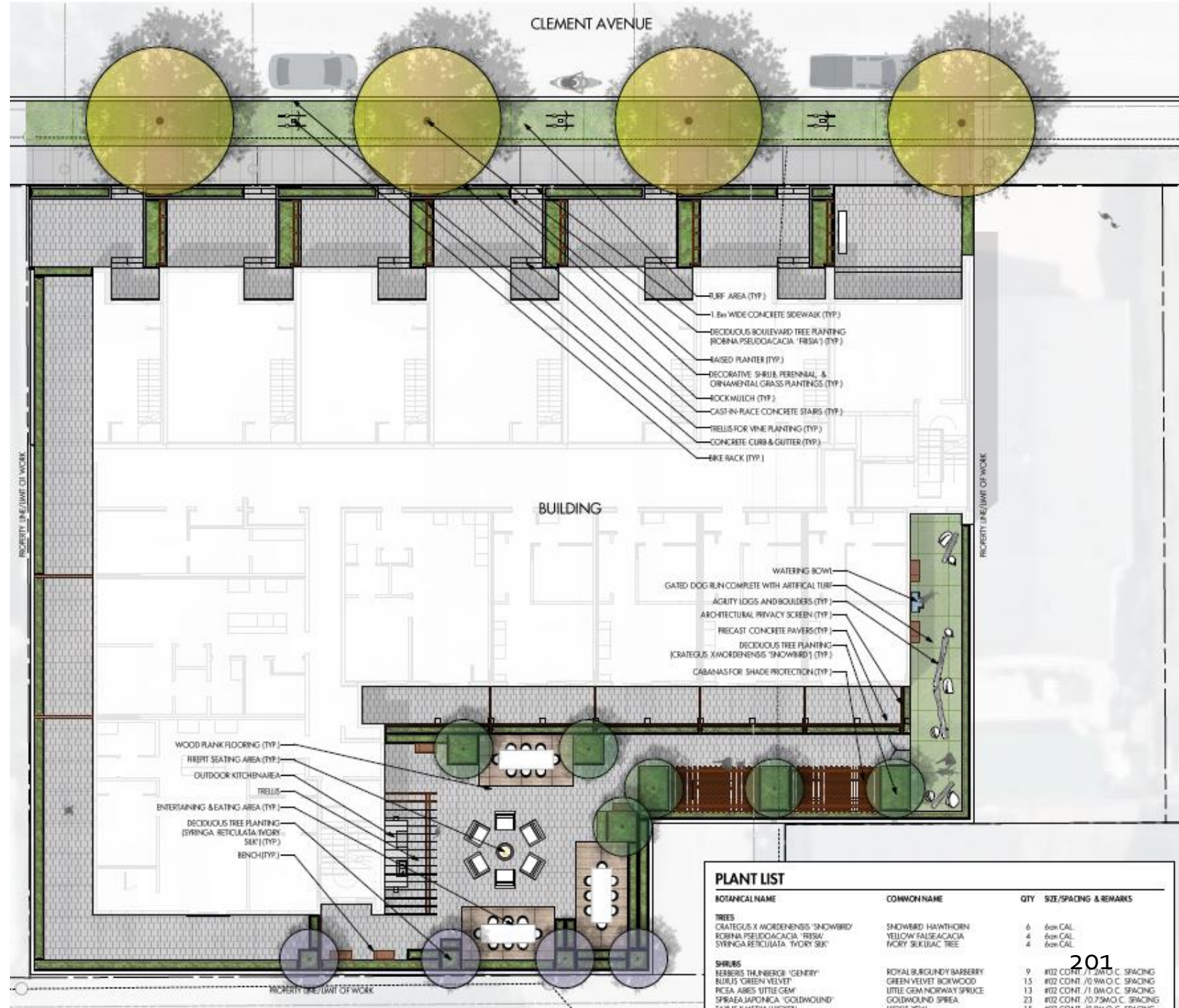
MATERIAL LEGEND:

- 1 BRICK
COLOUR: RED
STYLE: FULL BED, RUNNING BOND
- 2 CORRUGATED METAL PANEL
FINISH: VERTICAL
COLOUR: CHARCOAL
- 3 CORRUGATED METAL PANEL
FINISH: VERTICAL & HORIZONTAL
COLOUR: CHARCOAL
- 4 EXPOSED ARCHITECTURAL CONCRETE CW CAST REVEALS
COLOUR:
STYLE: SACKED & SMOOTHED
- 5 HORIZONTAL LAP SIDING
COLOUR: LIGHT GREY
STYLE: SMOOTH
- 6 WOOD TEXTURE METAL PANEL
COLOUR: CEDAR
STYLE: SMOOTH





Landscape Plan



Rendering NW



OCP Design Guidelines

- Ground oriented entrances for individual townhouse units
- Primary pedestrian entrance to the fronting street
- Variation in façade treatment, stepping back upper storeys
- Rooftop amenity deck

Staff Recommendation

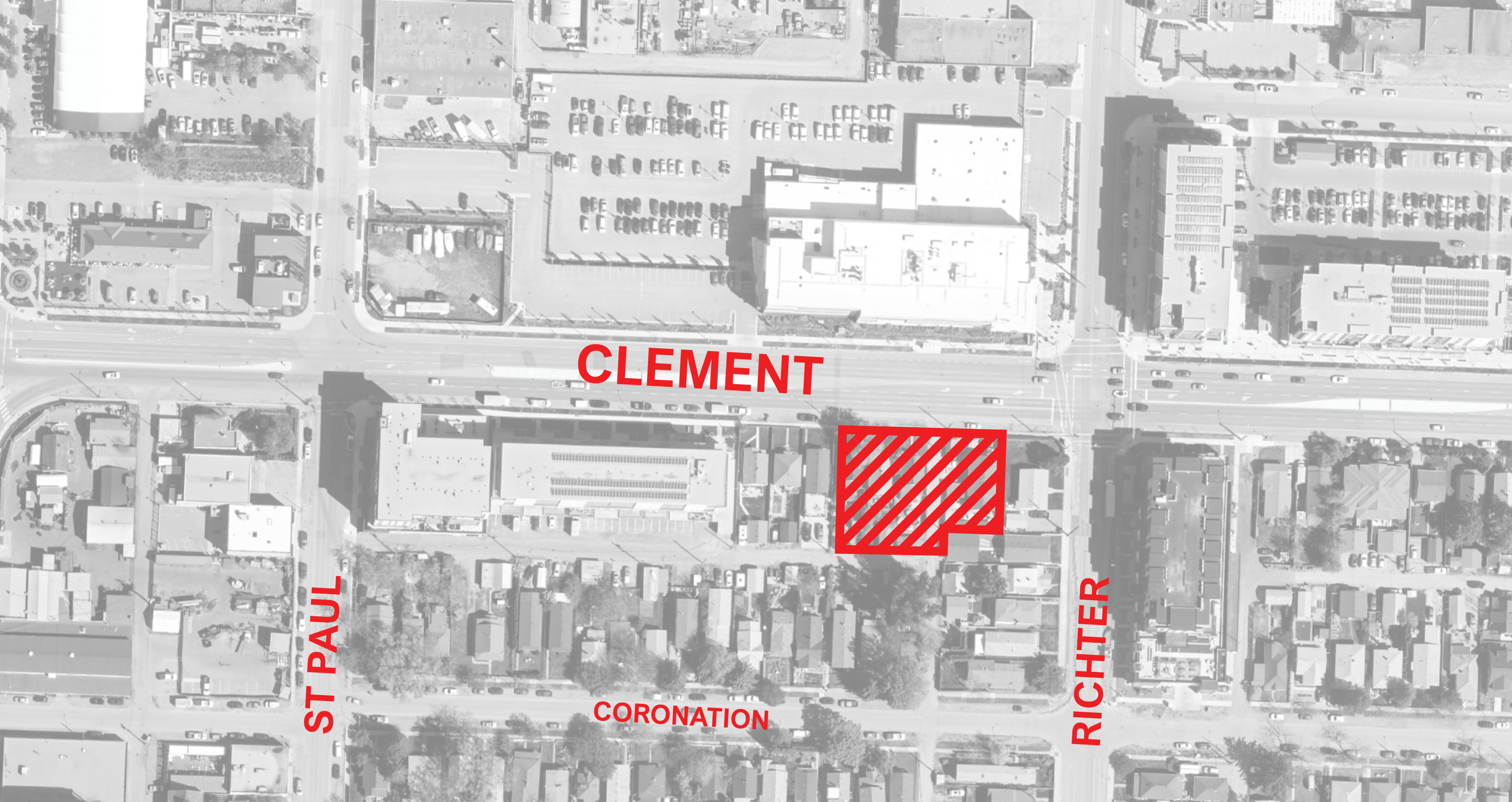
- Staff recommend support for the proposed Development Permit and Development Variance Permit as it:
 - Meets majority of OCP Design Guidelines
 - Variances mitigated through design and functionality
 - Same design as previously approved in 2022

SAVOY ON CLEMENT



STREET VIEW

SAVOY ON CLEMENT
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE



CLEMENT

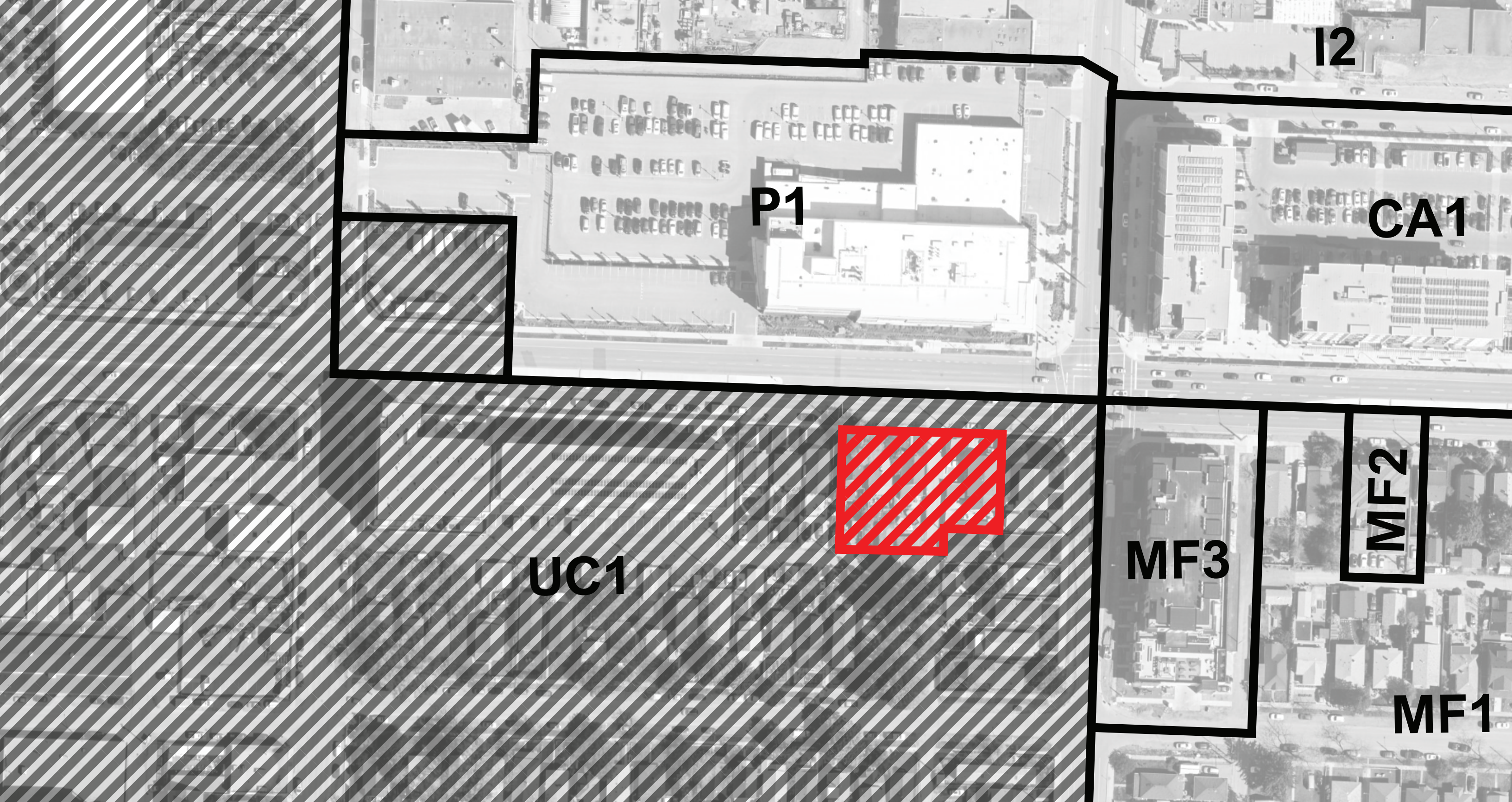
ST PAUL

CORONATION

RICHTER

CONTEXT

SAVOY ON CLEMENT
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE



I2

P1

CA1

UC1



MF2

MF3

MF1

CONTEXT

SAVOY ON CLEMENT
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

SAVOY

ON CLEMENT

The building site is located in the transitioning “North End” of Kelowna along Clement Avenue, one of the City’s key transportation arteries. The project is a mid-block site located on the South side of Clement with the nearest intersection being Richter Street. The proposal is to build a 66-unit, 6 level condominium building with street accessed townhomes. The upper 5 storeys of wood-frame construction sit on a double level, partially buried, concrete parking structure accessed off the rear lane and masked behind ground-oriented, street accessed, townhomes and lobby. This site straddles the 12 storey and 6 storey allocation.

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RATIONALE

SAVOY ON CLEMENT
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

ONLY TWO VARIANCES REQUIRED UNDER C7

VARIANCES REQUIRED UNDER UC1:

Section 8.5.6(c).1 – Off-Street Bicycle Parking, Ground-Anchored Long-Term Bicycle Parking

To vary the minimum amount of ground-anchored long-term bicycle parking from permitted **50%** to **38%** proposed

We have provided the correct amount of off-street bicycle stalls to off-set the car parking requirements, but we are shy the ratio of ground oriented. They are supposed to be 50/50.

Table 8.5.1 – Minimum Dimensions for Bicycle Parking, Wall Mounted Rack

To vary the minimum distance between bicycle racks (for racks that accommodate two or more bicycles) from **0.9 m** permitted to **0.8 m** proposed.

This was a similar variance approved of previously for C7.

Section 14.11: UC1 – Commercial and Urban Centre Zone Development Regulations

To vary the required minimum building setback from **3.0 m** permitted to **0.0 m** proposed.

We are shy 47 SQM of outdoor common space due to the new bylaw requirements. This building is located between downtown and the north end with access to parks, beaches and other outdoor facilities. Although we do not meet the min. requirement for outdoor common space, we do meet the total requirement for outdoor amenity space in total.

Section 14.11 – Commercial and Urban Centre Zone Development Regulations

To vary the minimum common amenity space from **264 m²** permitted to **217 m²** proposed.

This was a similar variance from C7 and was approved previously.

Section 14.11 Footnote.2: UC1 – Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building **above 16.0 m** abutting the **east** property line from **4.0 m** permitted to **0.0 m** proposed.

This was a similar variance from C7 and was approved previously.

Section 14.11 Footnote.2: UC1 – Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion-

of the building **above 16.0 m** abutting the **west** property line from **4.0 m** permitted to **3.0 m** proposed.
The first step back located at 3.51 m from the property line to provide immediate privacy to the neighbour to the west. The upper floor setback on the 6th floor is 5.64m which is greater than the required 4m. Due to the floor-floor height proposed, a portion of the 5th floor is within the max 16 m height requirement making this a variance for 0.45 m for a small portion of the building.

VARIANCES

SAVOY ON CLEMENT
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

CITY OF KELOWNA ZONING SUMMARY			
ADDRESS	631, 647, 657, 677 (1/2) CLEMENT AVE.		
CURRENT ZONING	UC1 – DOWNTOWN URBAN CENTRE		
GRADES	EXISTING AVERAGE - FLAT	FINISH AVERAGE - FLAT	
BUILDING HEIGHTS	6 STOREYS		
SITE AREA (sm)	17,955 SQ.FT. (1,668 m2)		
OFF-STREET PARKING	59 (INCLUDING 2 CAR SHARE SPACES)		
TOTAL GFA (RESIDENTIAL)	53,491 SQ.FT. (4,969 m2)		
TOTAL NFA	48,435 SQ.FT. (4,500 m2)		
EFFICIENCY	91%		
F.A.R.	3.3 and 1.8	PROPOSED	2.70
OCP 2040 FUTURE LAND USE	C-NHD 2040 CORE AREA + URBAN CENTRE		
SITE COVERAGE	100%	84%	
INCLUDING IMPERMEABLE SURFACES	100%	100%	
FRONT YARD/FLANKING / SIDE SETBACK	0 M	3.48 M	
MIN. BUILDING STEPBACK - VARIANCE	3 M	0 M	
MIN. REAR YARD	0 M	VARIES	
UPPER FLOOR SETBACKS	3 M ABOVE 4 STOREYS OR 16 M		
MAX HEIGHT	6 AND 12 STOREYS	PROPOSED	6

BUILDING CODE REVIEW		
OCCUPANCY	RESIDENCES: GROUP C	PARKADE: GROUP F3
ARTICLE	3.2.2.50	3.2.2.82
NO. OF STOREYS	6 STOREYS	UNLIMITED
NO. OF STREETS FACING	2	2
MAX. BUILDING AREA	1,800 sm	UNLIMITED
NOTE: PARKADE TO BE CONSIDERED AS A SEPARATE BUILDING IN ACCORDANCE WITH 3.2.1.2		
CONSTRUCTION TYPE	COMBUSTIBLE	NON-COMBUST.
SPRINKLERED	YES	YES
ASSEMBLY RATINGS:		
FLOOR	1 HR. (2 HR. RATING ABOVE PARKADE, NO FT RATING REQUIRED)	
WALLS / BEARING STRUCTURE	1 HR. (2 HR. RATING FOR PARKADE)	
ROOFS	1 HR	

PARKING CALCULATIONS			
STALL SIZE	WIDTH	LENGTH	HEIGHT
FULL SIZE STALL	8'-3" (2.5m) min.	19'-8" (6.0m) min.	6'-6" (2.0m) min.
SMALL SIZE STALL (50% max)	7'-6" (2.3m) min.	15'-9" (4.8m) min.	6'-6" (2.0m) min.
ACCESSIBLE STALL	12'-2" (3.7m) min.	19'-8" (6.0m) min.	6'-6" (2.0m) min.
DRIVE AISLES (2-way 90° pkg)	23'-0" (7.0m) min.		
PARKING SUMMARY			
AT GRADE	2 (1 CAR SHARE SPACE PROVIDED)		
PARKADE	57 (1 ACCESSIBLE & 1 VAN-ACCESSIBLE SPACE PROVIDED)		
TOTAL:	59		
PARKING REQUIREMENTS:			
RESIDENTIAL (URBAN CENTRE):			
0.8 stalls/ studio x 20 units		16 stalls	
0.9 stalls/ 1 bedroom units x 29 units		26 stalls	
1.0 stalls/ 2 bedroom units x 17 units		17 stalls	
0.14 stalls/ dwelling unit x 66 units		10 visitor stalls	
		69 stalls	
CAR SHARE INCENTIVE x 1		5 stall reduction (1 space provided at rear lane)	
BIKE STORAGE INCENTIVE x 1		5 stall reduction (see calculations below)	
TOTAL PARKING REQUIRED		59 stalls	
TOTAL PARKING PROVIDED		59 stalls	
TOTAL SMALL CARS W/I COUNT		27 stalls	
BIKE PARKING REQUIREMENTS:			
RESIDENTIAL:		REQ'D	PROVIDED
Bonus Long Term - 1.25 stall/studio, 1 bed		61 stalls	
Bonus Long Term - 1.5 stall/2 bed		25.5 stalls	
TOTAL PARKING REQUIRED		87 stalls	88 stalls (34 Ground Oriented)
Cargo Bicycle Spaces (Ground Oriented)		0 stalls	6 stalls of 88 provided
Short Term - 6 / entrance		6 stalls	6 stalls

CALCULATIONS

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RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE



STREET VIEW

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RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE



WALK-UPS

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RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE



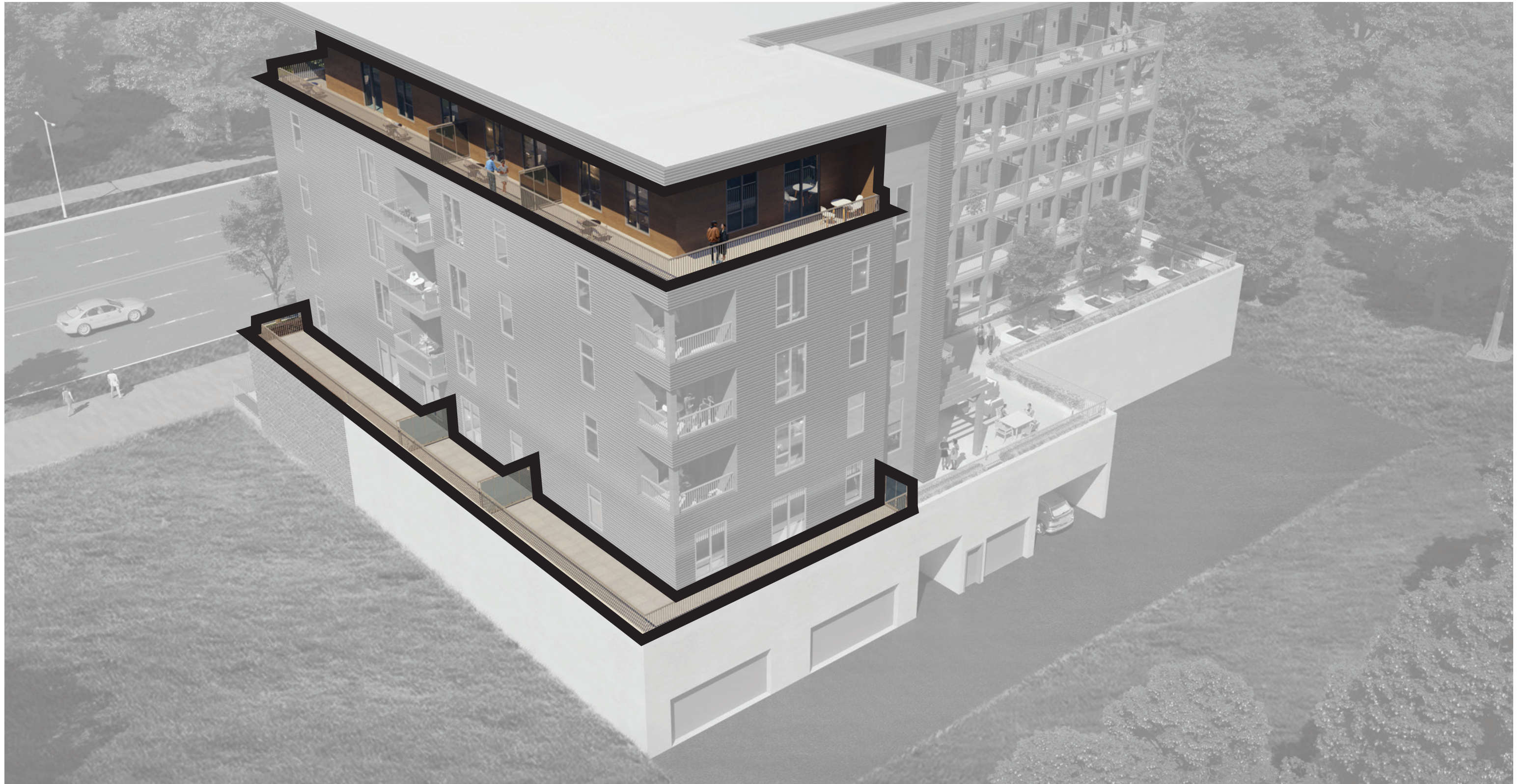
PRIVATE DECKS

SAVOY ON CLEMENT
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE



SETBACK

SAVOY ON CLEMENT
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE



STEPBACK

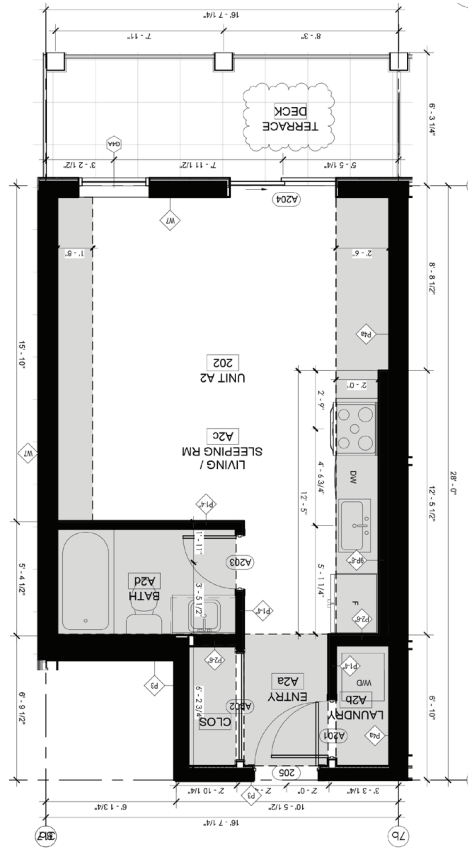
SAVOY ON CLEMENT
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE



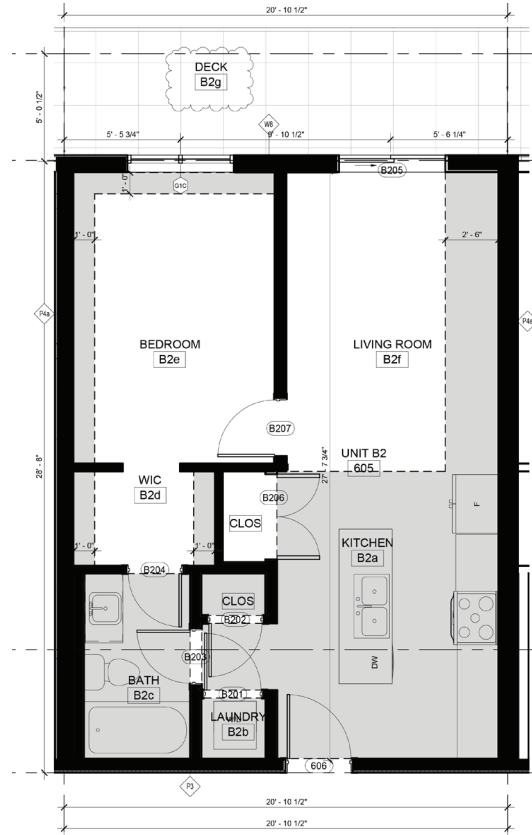
AMENITY SPACE

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RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

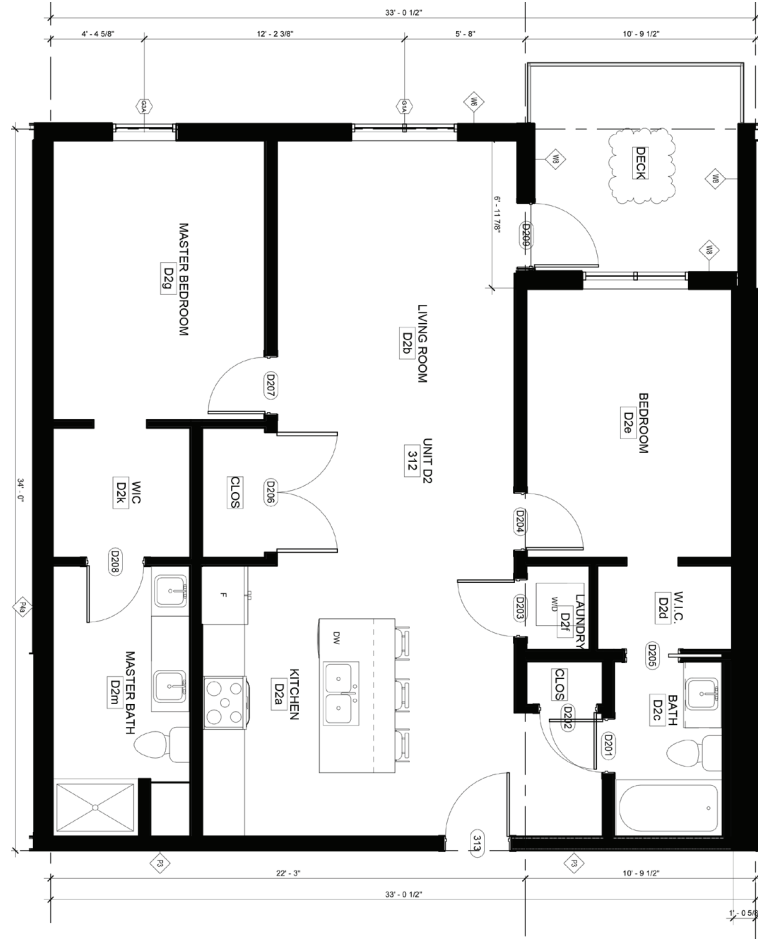
STUDIO



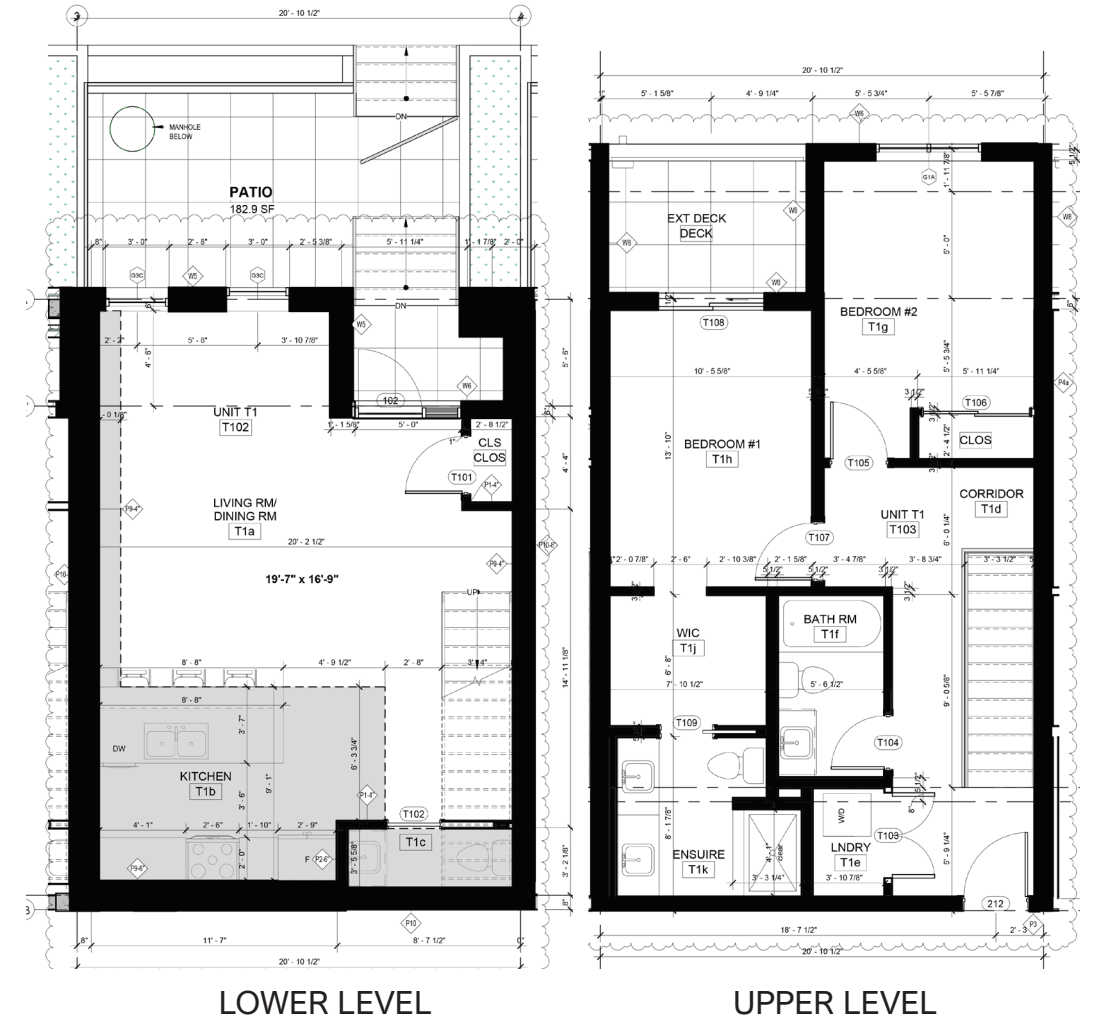
1 BED



2 BED



TOWHOUSE



TOTAL UNIT COUNT: 66

UNITS TYPES

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RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE



NORTH ELEVATION

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RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE



NOTICE TO PROCEED WITH CONSTRUCTION (UTILITY)

File: DP21-0150

Street: 647-677 Clement Ave

Authorization to proceed with construction is hereby granted to:

Name of Utility or Irrigation District: FortisBC (Electric)

For the works shown on "Issued for Construction" Drawings:

79-65180330-F1 Rev.2

• Date: September 25, 2024 This Notice expires one year from date issued.

• Check the following (all must be completed):

- Alignment approved by the City
- Utility Confirmation Form provided (Contractor information, workmanship assurance)

• Consulting Engineer: Primary Engineering Email: cabcdistproj@fortisbc.com
 Contact: Michael Johnson
 Phone No.: 250-878-0524

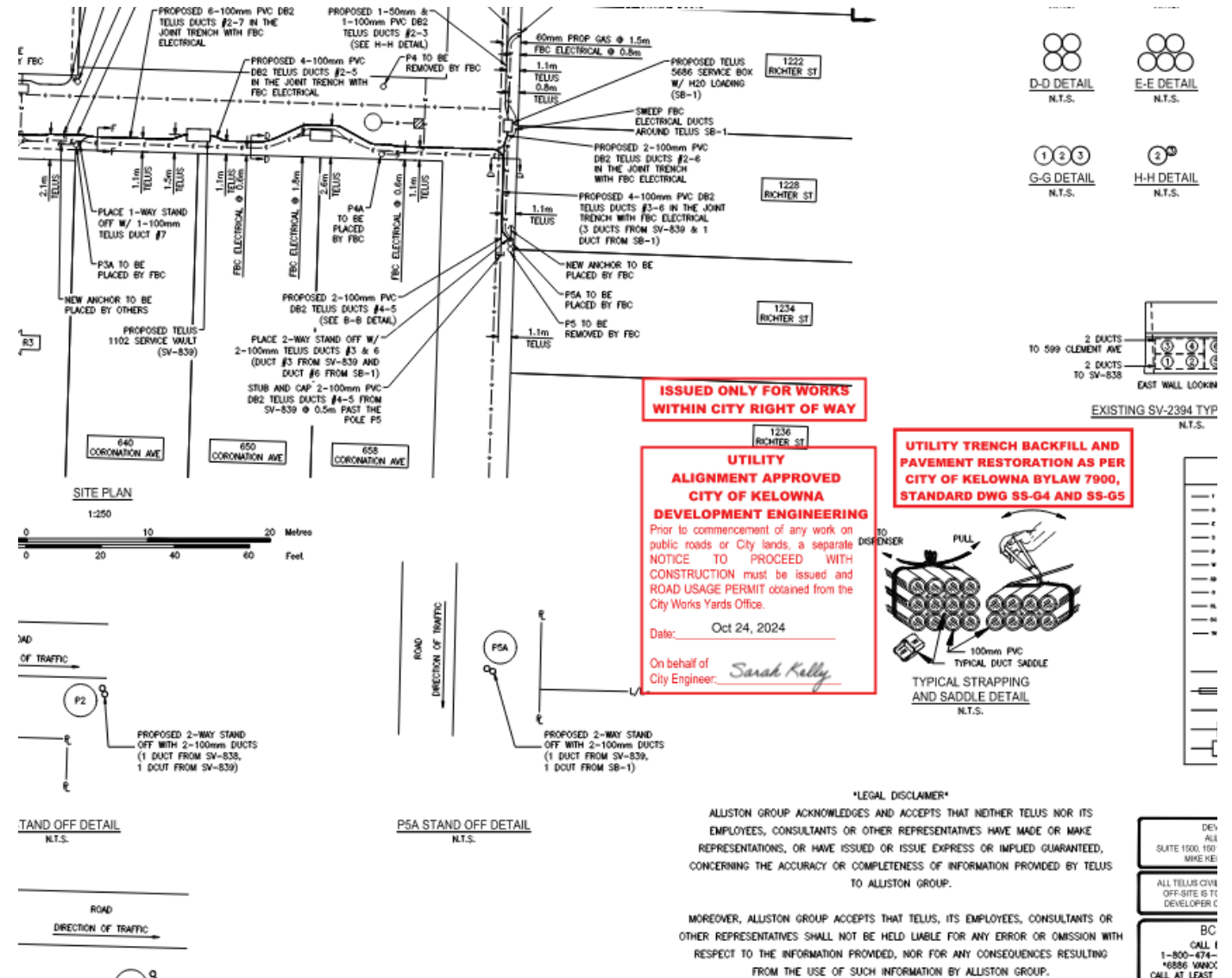
• Contractor: Supplied by developer

• **Special Conditions:**

1. The contractor is required to obtain a ROAD USAGE PERMIT prior to commencing construction.
2. Approval is limited to the off-site works only within the public Right of Way.
3. Lane and driveways must be restored to existing or better condition.
4. Coordination required with development related works for 647 Clement Ave & 620 Coronation Ave. Must ensure no conflict between electrical ducts and new storm infrastructure being installed with development.
5. Temporary surface restoration work is required for all asphalt work done between November 1 and March 31 that requires asphalt restoration. Temporary concrete will be required: 150mm thick for arterial roads and 100mm thick for local roads, both with 32 MPa strength at 28 days.

Sarah Kelly on behalf of
 Nelson Chapman, P.Eng.
 Development Engineering Manager

SK



AUTHORIZATION TO COMMENCE WORK

SAVOY ON CLEMENT
 RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE



On Jul 23, 2024, at 2:16 PM, Jeff van Leenen <jdvanleenen@fifthaveproperties.com> wrote:

Hi Shanna,

Thanks for your email.

As I see it there are two issues here. I am hoping that we can address each one individually.

First, we would like to come to an agreement where we remove the fence and then replace it with a wood or vinyl fence (whichever you choose) at our cost and also have access to your property from time to time as we work on constructing the building. I can assure you once we have completed the work on the building wall facing your property, we will complete the fence. In addition to the new fence, we would like to put up a safety fence on your property. We would like to move forward with this agreement separate from the damage to the house.

Second, we are also prepared to repair any damage to your property caused by the construction of the building. We would like to have someone out to look at the damage and document what needs to be completed. Unfortunately, Richard was unable to contact you right away, but he will be back on Monday and we are hoping to organize a time then to meet up. Do you have a time on Monday that would work? Let me know and I will help organize. The first step with this, is to have us walk through the property with you to assess and document the damage and then we can develop a plan to do the repairs. You mentioned that you have photos from the construction of the police building, could you please provide these so we can have those when we go through the walkthrough.

Johannes is still interested in meeting with Ryan to discuss the purchase of your property. Can we organize a time this week to meet for coffee?

Thanks,

Jeff van Leenen
ESTIMATING MANAGER - CALGARY / KELOWNA

Email to Shanna: “July 23, 2024 Fifth Avenue response to neighbor, requesting meeting to address concerns.”

From: Fraser Campbell <fcampbell@fifthaveproperties.com>
Sent: Tuesday, November 12, 2024 5:15 PM
To: ryan@whittlemortgages.com
Cc: Johannes van Leenen <jdvanleenen@fifthaveproperties.com>
Subject: Update - Savoy Construction and Neighbor Property Repairs

Hi Ryan,

I appreciate your time on the phone on Friday last week as we discussed the situation related to our construction work at 647 Clement Avenue, adjacent to your property.

I've spoken with Johannes and have the commitment as per below.

- Damaged to the building potentially related to construction activities are in process with the insurance providers. There are no changes since the discussion with yourself and Johannes.
- Damage to the existing driveway and fence we will be replaced in full at 5th Avenue's direct expense, at your convenience. The construction work will continue in this laneway until approximately November 30th, 2024. Please let us know a window of time and we will complete the repair. We recommend the driveway replacement is done in the spring when temperatures are warmer. It takes longer for concrete to cure to design strength in cold weather. However, we will repair whenever it works for you and do the best job possible given the weather conditions (i.e. hoarding with insulated tarps).

We will replace the fence and driveway with a quality that meets or exceeds the existing conditions. Please send us a photo, or specifications of the type of fence you would like. Similar, please confirm if you would like the driveway to be different than existing. Currently the driveway is concrete with broom finish which provides good texture and anti-slip properties. Control joints would be cut in approximately 10' x 10' grid to match existing, and be poured at 5 inches thick and using standard exterior grade concrete mix.

We also discussed the Telus communications and FortisBC electrical infrastructure changes that we are currently installing in the back alley. Please see attached our “Notice to Proceed” construction drawings for the service providers. The Telus drawing is sheet 3 of 4. The Fortis drawing is sheet 4 of 5. Note that this work required likely has an additional impact on your driveway, as developer we are committed to repairing your driveway temporarily at our own expense if required before the full replacement. Note that some scope is not scheduled or completed by our construction team. Telus and FortisBC will have their own construction crews who are scheduled by their dispatch, they will communicate with you and other neighbors directly for the work they perform.

We appreciate you working with us during the construction period. If you have any questions or concerns, please let me know.

Thanks, and have a great evening,

Fraser Campbell, PMP
PROJECT MANAGER

Email to Ryan: “November 12, 2024 Email to owner with commitment to fix damages.”

On Oct 3, 2024, at 8:13 AM, Chris Lockwood <Chris.Lockwood@crawco.ca> wrote:

Shanna, we are the independent insurance adjusters engaged to investigate the referenced incident on behalf of Fifth Avenue Homes Inc.'s Commercial General Liability (CGL) insurers.

RE: Policy Number: 501426795

We understand that a third-party property, situated adjacent to the Savoy project site, has sustained certain damages allegedly in connection with construction activities.

As we have received only high-level information from insurers at this juncture, we would like to discuss the matter with you at your convenience.

It is recommended that no admission of liability is tendered on behalf of / or by Fifth Avenue Homes Inc. to any third-party including contractors and / or sub-contractors involved with the construction project.

In the interim, we look forward to your comments and to any questions that you may have regarding the foregoing.

Chris Lockwood, CIP

International Executive General Adjuster – Global Technical Services

M 778-444-9866

E chris.lockwood@crawco.ca

W www.crawco.com

A 220- 4259 Canada Way, Burnaby BC V5G 1H1

Crawford & Company

Restoring and enhancing lives, businesses and communities

Open Claim: “October 3, 2024 Email from insurance to neighbor opening claim.”

CORRESPONDENCE

SAVOY ON CLEMENT
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

19 | 20

2025.03.06

From: Chris Lockwood <Chris.Lockwood@crowco.ca>
Sent: December 13, 2024 12:24 PM
To: Jamie Renaud <jrenaud@fifthaveproperties.com>
Cc: Fraser Campbell <fcampbell@fifthaveproperties.com>; Scott Stevens <sstevens@steerinsurance.com>
Subject: RE: Fifth Avenue Homes Inc. / Savoy On Clement / DOL May 14, 2024 / Crawford 4020214

Jamie, following up respecting the project status and if you have had any further contact with the claimant.

To date, we have spoken with Shanna Kennedy and understand that she has engaged her property insurers and also an engineer. If you receive any information from Shanna, or any other potential third-party claimants, please direct them to my attention.

In the interim, we look forward to your comments and to any questions that you may have.

Chris Lockwood, CIP
International Executive General Adjuster – Global Technical Services
M 778-444-9866
E chris.lockwood@crowco.ca
W www.crowco.com
A 220- 4259 Canada Way, Burnaby BC V5G 1H1
Crawford & Company
Restoring and enhancing lives, businesses and communities



Email from Insurance: “December 13, 2024 Email from insurance acknowledging lack of communication from neighbor.”

From: Chris Lockwood <Chris.Lockwood@crowco.ca>
Sent: February 21, 2025 2:08 PM
To: Scott Stevens <sstevens@steerinsurance.com>; Jamie Renaud <jrenaud@fifthaveproperties.com>
Subject: Re: Fifth Avenue Homes Inc. / Savoy On Clement / DOL May 14, 2024 / Crawford 4020214

Scott, nothing further on our end. How is the project going?

Chris Lockwood, CIP
International Executive General Adjuster

M 778-444-9866
E chris.lockwood@crowco.ca
W www.crowco.com
A 220- 4259 Canada Way, Burnaby BC V5G 1H1

Crawford & Company
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From: Scott Stevens <sstevens@steerinsurance.com>
Sent: Friday, February 21, 2025 10:32:34 AM
To: Chris Lockwood <Chris.Lockwood@crowco.ca>; Jamie Renaud <jrenaud@fifthaveproperties.com>
Subject: RE: Fifth Avenue Homes Inc. / Savoy On Clement / DOL May 14, 2024 / Crawford 4020214

Hi Chris,

Hope the week went well.

Have you heard anything further on this?

Email between insurance: “February 21, 2025 still no communication from neighbors.”

CORRESPONDENCE

SAVOY ON CLEMENT
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

REPORT TO COUNCIL DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT



Date: March 11, 2025
To: Council
From: City Manager
Address: 2275 & 2283 Pandosy St
File No.: DP25-0025 DVP25-0026
Zone: MF4 – Transit Oriented Areas

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP25-0025 and Development Variance Permit No. DVP25-0026 for:

- a) Lot 11 District Lot 14 ODYD Plan 413 Except West 10 Feet Thereof, located at 2275 Pandosy St, Kelowna BC; and
- b) Lot 12 District Lot 14 ODYD Plan 413 Except the West 10 Feet Thereof, located at 2283 Pandosy St, Kelowna BC

subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of Zoning Bylaw No. 12375 be granted:

Section 13.5 – Multi-Dwelling Zones, Development Regulations, MF4:

To vary the required minimum front yard setback from 2.0 meters permitted to 0.0 meters proposed.

Section 13.5 – Multi-Dwelling Zones, Development Regulations, MF4:

To vary the required minimum flanking side yard setback from 2.0 meters permitted to 0.0 meters proposed.

Section 13.5 – Multi-Dwelling Zones, Development Regulations, MF4:

To vary the required minimum side yard setback from 3.0 meters permitted to 0.0 meters proposed.

Section 13.5 – Multi-Dwelling Zones, Development Regulations, MF4:

To vary the required minimum building setback from front yard from 3.0 meters permitted to 2.5 meters proposed.

Section 13.5 – Multi-Dwelling Zones, Development Regulations, MF4:

To vary the required minimum building setback from flanking side yard from 3.0 meters permitted to 0.0 meters proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND THAT the applicant be required to consolidate the subject properties in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Permit for the form and character of a mixed-use apartment housing project with a Development Variance Permit to vary the front yard setback, flanking side yard setback, side yard setback, front yard setback, and flanking side yard setback.

3.0 Development Planning

Staff support the proposed Development Permit for the form and character of a mixed-use apartment building. The proposal generally conforms with the Official Community Plan (OCP) Form and Character Design Guidelines for Low & Mid-Rise Residential Development. Those guidelines are:

- On corner sites, orient building facades and entries to both fronting streets;
- Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view; and
- Design primary entrances to face the street, exhibit design emphasis, and provide weather protection by means of canopy or recessed entry.

The proposal includes 59 residential units consisting of bachelor and one-bedroom units, intended as rental housing for Kelowna General Hospital staff. The ground floor includes 385 m² of commercial space. Common amenity space has been provided in four separate areas:

- Second floor: 15 m² business centre;
- Third floor: 36 m² fitness centre;
- Sixth floor: 61 m² multi-purpose room; and
- Roof top: 461 m² rooftop amenity deck.

Parking

Vehicle access is provided from a laneway, which runs parallel to Pandosy Street, leading to 10 surface parking stalls. The subject property is located within a Transit Oriented Area (TOA) which has no minimum requirement for off-street residential parking, other than accessible parking stalls. The proposal includes two (2) accessible parking stalls, eight (8) commercial stalls, and no residential stalls. There are 46 long-term bicycle stalls being provided for 59 residential units and the two (2) commercial – retail units.

The applicant has discussed the potential of including a car-share vehicle with two different car-sharing programs and had discussions with BC Transit on subsidized transit passes. At this time no agreements have been finalized.

In order to facilitate the project, the applicant is seeking five variances.

Setback Variances

With the size of building proposed the applicant is required to follow the MF3 – Apartment Housing zone. The applicant is seeking to eliminate the setbacks on the north, west, and south, and the corresponding landscape areas. This will allow an urban centre style development built at property line.

With the proximity of Kelowna General Hospital, and other medical and office facilities, the neighbourhood context for a more urban development is supportable. The height, massing, and institutional design of the surrounding buildings will allow the proposed Development Permit to be well integrated into the neighbourhood. Furthermore, developing to the property line allows for easier integration, and larger, commercial units, fronting onto both Pandosy Street and Rose Avenue.

Stepback Variance

The intent of stepback rule to achieve two objectives: reduce the massing and create further articulation to improve the aesthetic components of the building and to maximize the amount of sunlight on the public realm.

A variance is requested from the 3.0 meter stepback required above the second floor to a 0.0 meter stepback along Rose Avenue. However, after the first floor there is a small stepback. This 1.3 meter stepback after the first floor will help mitigate some of the perceived massing. The lack of stepback on Rose Avenue is not anticipated to affect the amount of sunlight to the public realm as this elevation faces south and will be sun facing majority of the day.

Another variance is requested from the 3.0 meter stepback required above the second floor to a 2.5 meter stepback along Pandosy Street. The 0.5 meter difference between 3.0 metres and 2.5 metres is relatively minor while maintaining the primary objectives of the stepback regulation.

4.0 Subject Property & Background

4.1 Subject Property Map



The subject properties are located at the intersection of Pandosy Street and Rose Avenue. Pandosy Street and Rose Avenue are both Transit Supportive Corridors. The site is located in between the Downtown Urban Centre to the north and the Pandosy Urban Centre to the south. Adjacent to the west and north is Kelowna General Hospital.

5.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
Gross Lot Area	1,110 m ²
Total Number of Units	59
Bachelor	31
1-bed	28
2-bed	0
3-bed	0
Net Commercial Floor Area	385 m ²

DEVELOPMENT REGULATIONS		
CRITERIA	MF ₄ ZONE	PROPOSAL
Total Maximum Floor Area Ratio	2.5	2.31
Max. Site Coverage (buildings)	65%	56 %
Max. Site Coverage (buildings, parking, driveways)	85%	64 %
Max. Height	22.0 m / 6 storeys	22.0 m / 6 storeys
Setbacks		
Min. Front Yard (West)	2.0 m	0.0 m 1
Min. Side Yard (North)	3.0 m	0.0 m 2
Min. Flanking Side Yard (South)	2.0 m	0.0 m 3
Min. Rear Yard (East)	3.0 m	3.0 m
Stepbacks		
Min. Fronting Street (West)	3.0 m	2.5 m 4
Min. Flanking Street (South)	3.0 m	0.0 m 5
Amenity Space		
Total Required Amenity Space	653 m²	674 m²

Common	236 m ²	583 m ²
Private	417 m ²	91 m ²

❶ Indicates a requested variance to minimum front yard setback from 2.0 m required to 0.0 m proposed.
❷ Indicates a requested variance to minimum side yard setback from 3.0 m required to 0.0 m proposed.
❸ Indicates a requested variance to minimum flanking side yard setback from 2.0m required to 0.0 m proposed.
❹ Indicates a requested variance to front yard step back from 3.0 m required to 2.5 m proposed.
❺ Indicates a requested variance to flanking side yard step back from 3.0 m required to 0.0 m proposed.

PARKING REGULATIONS		
CRITERIA	MF ₄ ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	10 stalls	10 stalls
Residential (accessible)	2	
Commercial	8	
Ratio of Regular to Small Stalls	Min. 70 % Regular Max. 30 % Small	74 % Regular 26 % Small
Bicycle Stalls Short-Term	13 stalls	14 stalls
Bicycle Stalls Long-Term	45 stalls	46 stalls
End of Trip Facilities	n	n
Bike Wash & Repair	y	y

6.0 Application Chronology

Application Accepted: January 29, 2025
 Neighbour Notification Received: February 11, 2025

Report prepared by: Jason Issler, Planner II
Reviewed by: Adam Cseke, Central Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

Attachments:

- Attachment A: Draft Development Permit DP25-0025 and Development Variance Permit DVP25-0026
 - Schedule A: Site Plan & Floor Plans
 - Schedule B: Elevations & Sections
 - Schedule C: Landscape Plan
- Attachment B: Shadow Study
- Attachment C: OCP Form and Character Development Permit Guidelines
- Attachment D: Applicant’s letter of rationale

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

Development Permit & Development Variance Permit

DP25-0025 / DVP25-0026



This permit relates to land in the City of Kelowna municipally known as

2275 & 2283 Pandosy St

and legally known as

Lot 11 District Lot 14 ODYD Plan 413 Except West 10 Feet Thereof

Lot 12 District Lot 14 ODYD Plan 413 Except the West 10 Feet Thereof

and permits the land to be used for the following development:

Apartment Housing & Commercial

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval: March 11, 2025

Development Permit Area: Form and Character

Existing Zone: MF₄ – Transit Oriented Areas

Future Land Use Designation: C-NHD – Core Area Neighbourhood

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 0918843 B.C. Ltd., Inc. No. BC0918843

Applicant: Argus Properties


Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

ATTACHMENT A

This forms part of application
DP25-0025 DVP25-0026

Planner Initials **JL**



City of Kelowna
DEVELOPMENT PLANNING

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP25-0025 and Development Variance Permit No. DVP25-0026 for:

- Lot 11 District Lot 14 ODYD Plan 413 Except West 10 Feet Thereof, located at 2275 Pandosy St, Kelowna BC; and
- Lot 12 District Lot 14 ODYD Plan 413 Except the West 10 Feet Thereof, located at 2283 Pandosy St, Kelowna BC

subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of Zoning Bylaw No. 12375 be granted:

Section 13.5 – Multi-Dwelling Zones Development Regulations, MF4:

To vary the required minimum front yard setback from 2.0 meters required to 0.0 meters proposed.

Section 13.5 – Multi-Dwelling Zones Development Regulations, MF4:

To vary the required minimum flanking side yard setback from 2.0 meters required to 0.0 meters proposed.

Section 13.5 – Multi-Dwelling Zones Development Regulations, MF4:

To vary the required minimum side yard setback from 3.0 meters required to 0.0 meters proposed.

Section 13.5 – Multi-Dwelling Zones Development Regulations, MF4:

To vary the required minimum building setback from front yard from 3.0 meters permitted to 2.5 meters proposed.

Section 13.5 – Multi-Dwelling Zones Development Regulations, MF4:

To vary the required minimum building setback from flanking side yard from 3.0 meters permitted to 0.0 meters proposed.

AND THAT the applicant be required to complete the above noted conditions of Council’s approval of the Development Permit Application in order for the permits to be issued;

AND THAT the applicant be required to consolidate the subject properties in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security

is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$180,822.94**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall **ONLY** be returned to the signatory of the
Landscape Agreement or their designates.**

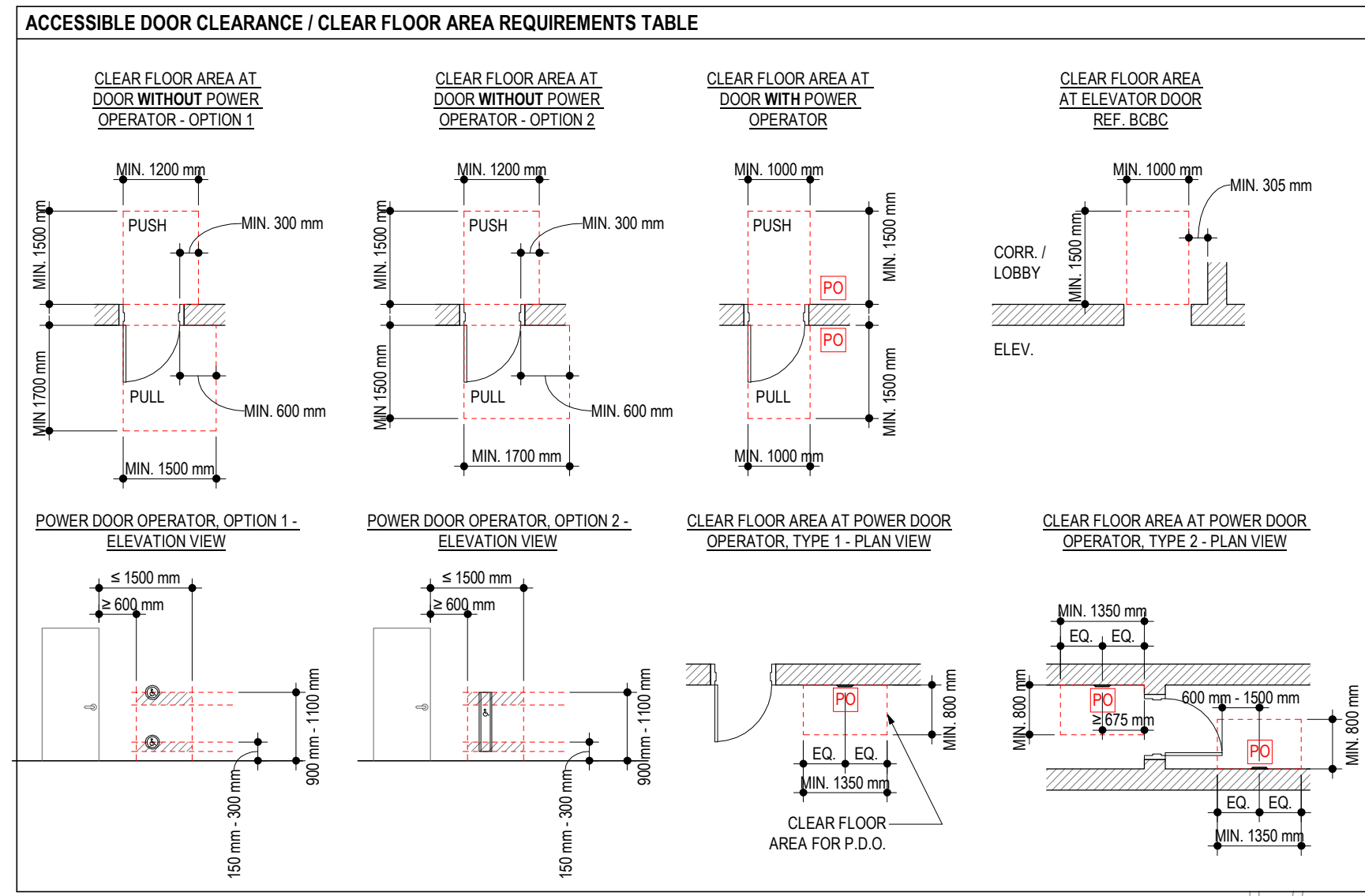
ATTACHMENT A

This forms part of application
DP25-0025 DVP25-0026

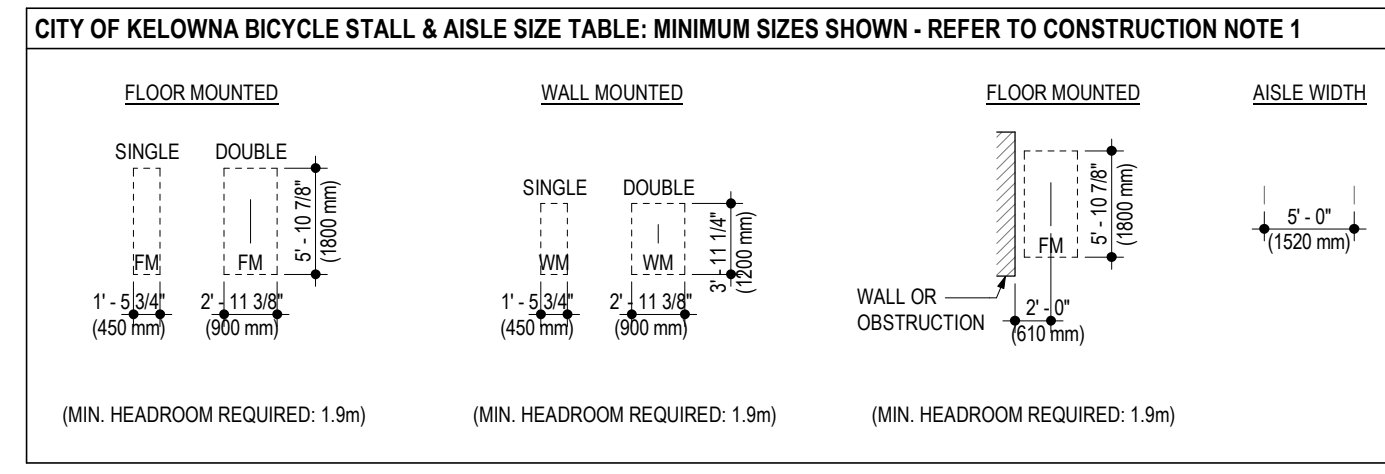
Planner Initials

City of **Kelowna**
DEVELOPMENT PLANNING

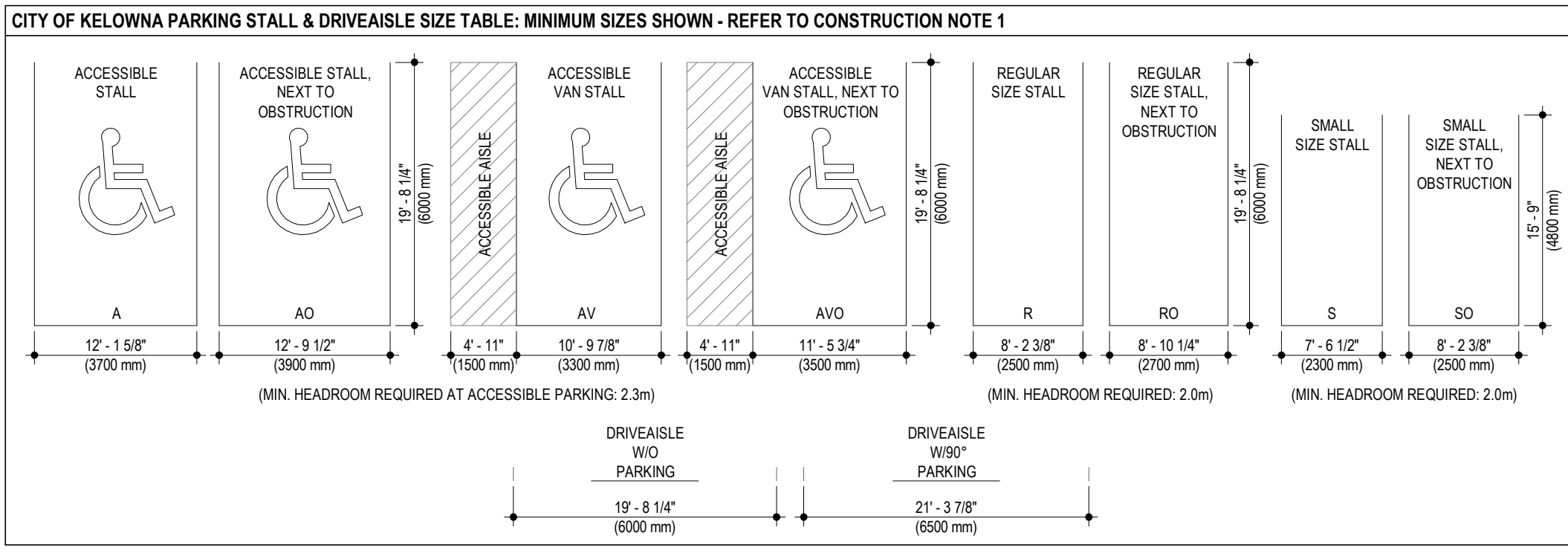




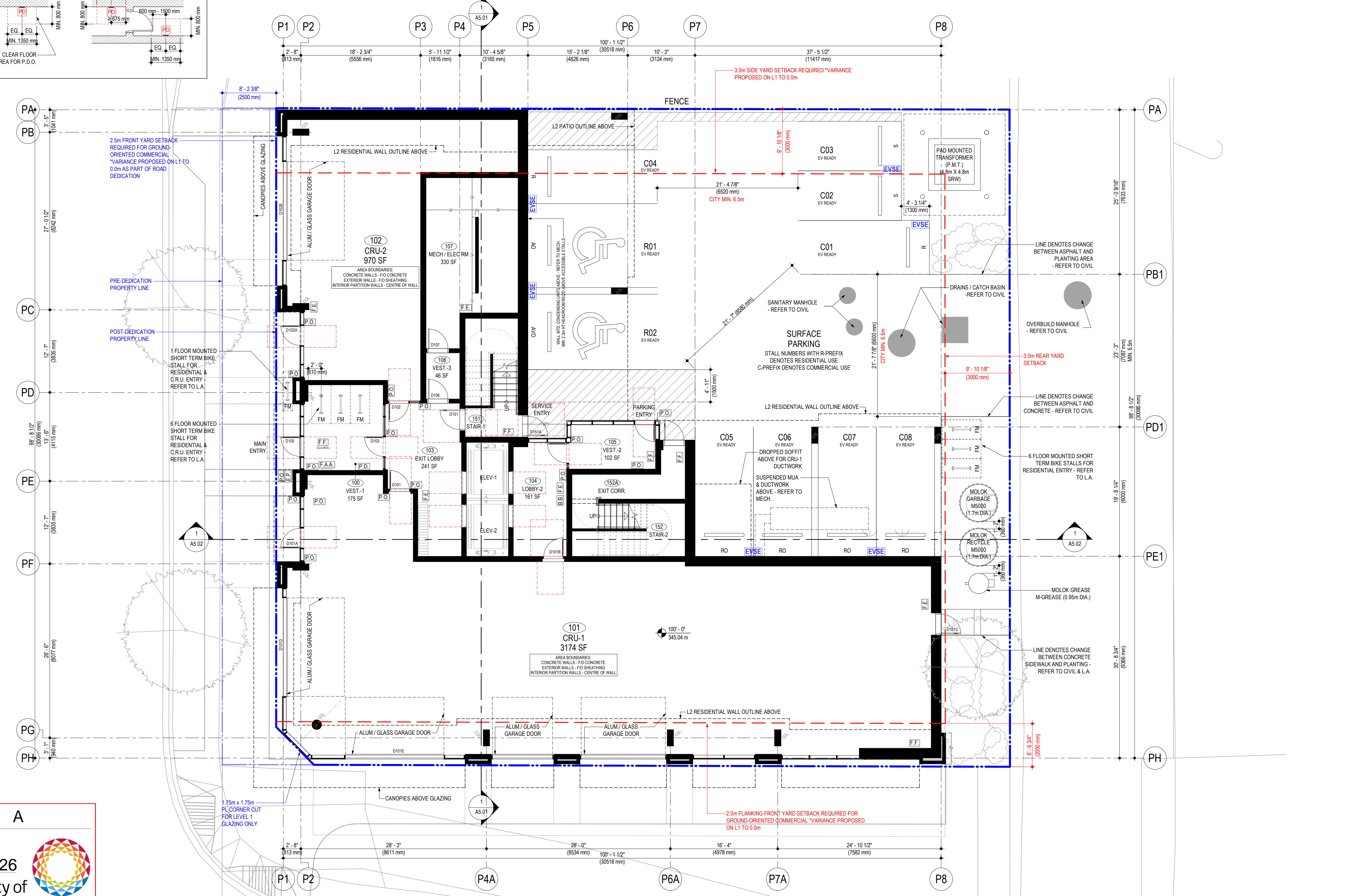
3 ACCESSIBLE DOOR CLEARANCE TABLE
A3.01 1/8" = 1'-0"



2 CITY OF KELOWNA BICYCLE STALL & AISLE SIZE TABLE
A3.01 3/32" = 1'-0"



1 CITY OF KELOWNA PARKING STALL & DRIVEAISLE SIZE TABLE
A3.01 3/32" = 1'-0"



SCHEDULE A

This forms part of application
DP25-0025 DVP25-0026

Planner Initials **JI**

m+m
MEIKLEJOHN ARCHITECTS INC.

REGISTERED ARCHITECT
STAKE TONNE
BRITISH COLUMBIA

2025-02-12

PROJECT NORTH			TRUE NORTH		
ISSUED	No.	Date	Issued For		
	1	2025-01-17	DEVELOPMENT PERMIT APPLICATION		
REVISION	No.	Date	Revision		

Project Title
PANDOSY STREET MIXED USE PROJECT

2275 & 2283 PANDOSY STREET KELOWNA, BC V1Y 1T1
PLAN KAP413 LOTS 118,12 DISTRICT LOT 14 EX W 10 FT

Drawing Number
A3.01

Drawing Title
LEVEL 1 FLOOR PLAN

Job No.	2004
Scale	1/8" = 1'-0"
Drawn	D.S.
Checked	S.T.

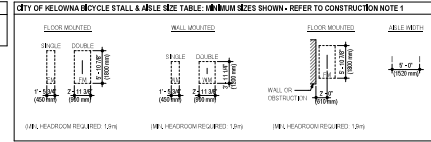
SCHEDULE A

This forms part of application
DP25-0025 DVP25-0026

Planner
Initials **JJ**



FLOOR PLAN NOTES
1. O.F.A. MEASUREMENT REQUIREMENTS FOR O.F.A. TAKE AT CENTERLINE OF PARTY WALL, CORRIDOR WALLS & EXTERIOR FACE OF EXTERIOR WALL.



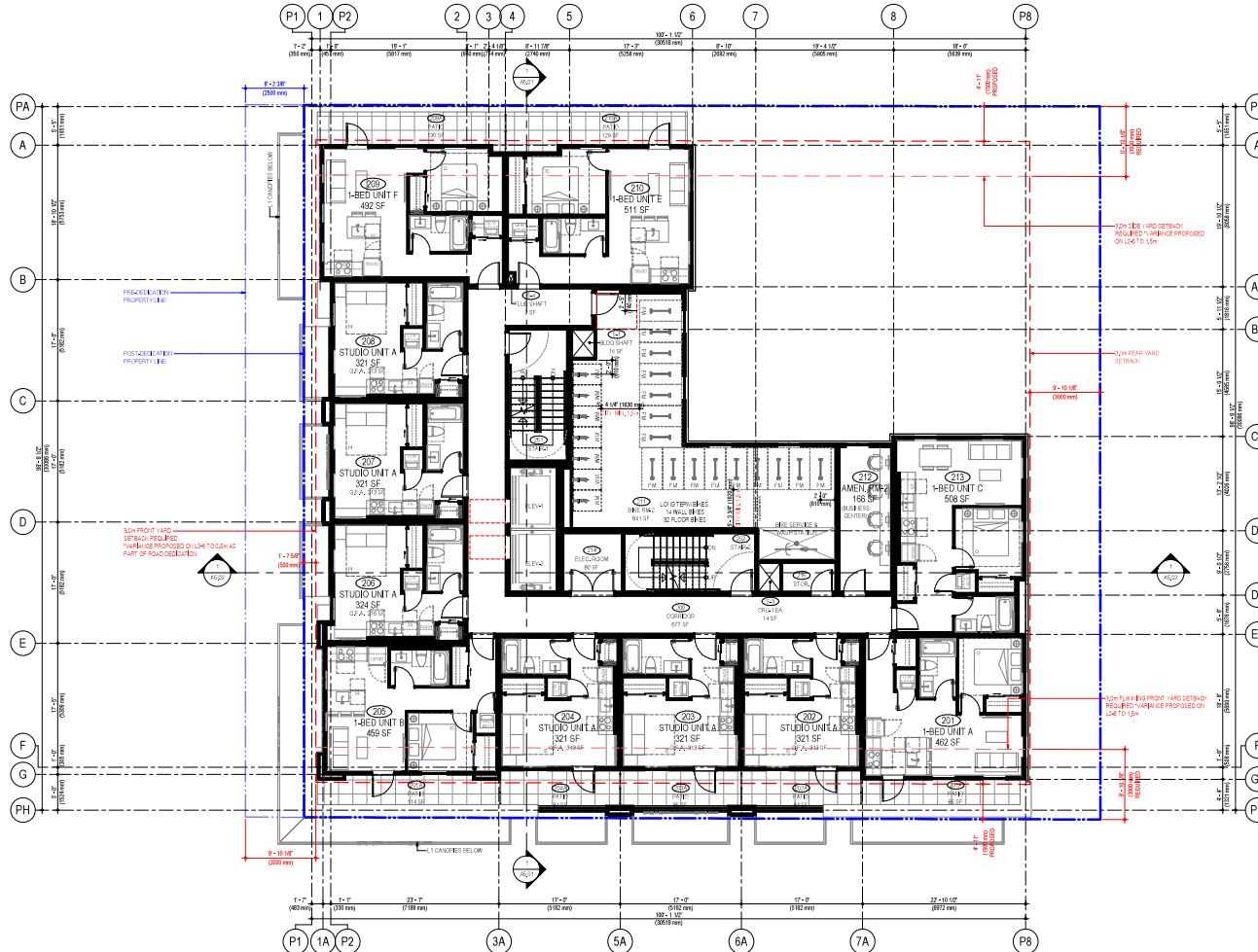
CITY OF KELLOWNA BICYCLE STALL & ABLE SIZE TABLE

213 HUNNARD AVENUE
KELowna, B.C.
V1Y 6V9
TEL: 250.762.2006
FAX: 250.762.8007
EMAIL: info@mmam.ca

MMAM ARCHITECTS INC.

REGISTERED ARCHITECTS
SOCIETY OF BC
BRITISH COLUMBIA

2025-01-20



PROJECT NUMBER	TRUE NORTH	
ISSUED:		
No.	Date	Issued by
1	2025-01-27	DEVELOPMENT PERMIT APPLICATION
REVISION:		
No.	Date	Revision

Project Title
PANDOSY STREET MIXED USE PROJECT

225-A-0281 PANDOSY STREET KELLOWNA, BC V1Y 1T1
PLAN KAP413 LOTS 1-5 (SHP) DISTRICT LOT 1-4 & 6-1011

Drawing Number
A3.02

Drawing Title
LEVEL 2 FLOOR PLAN

Job No.	2004
Scale	As indicated
Drawn	R.S.
Checked	S.L.

SCHEDULE A

This forms part of application
DP25-0025 DVP25-0026



City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials **JJ**

FLOOR PLAN NOTES

1. O.G.A. MEASUREMENT
REGULATORY FOR O.C.A. TABLE CENTERLINE OF PARTY WALL, CORNER OF WALL & INSET FACE OF EXTERIOR WALL.

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PROJECT NUMBER		TRUE NORTH	
ISSUED:			
No.	Date	Issued by	
1	2025-01-27	DEVELOPMENT PERMIT APPLICATION	
REVISION			
No.	Date	Revision	

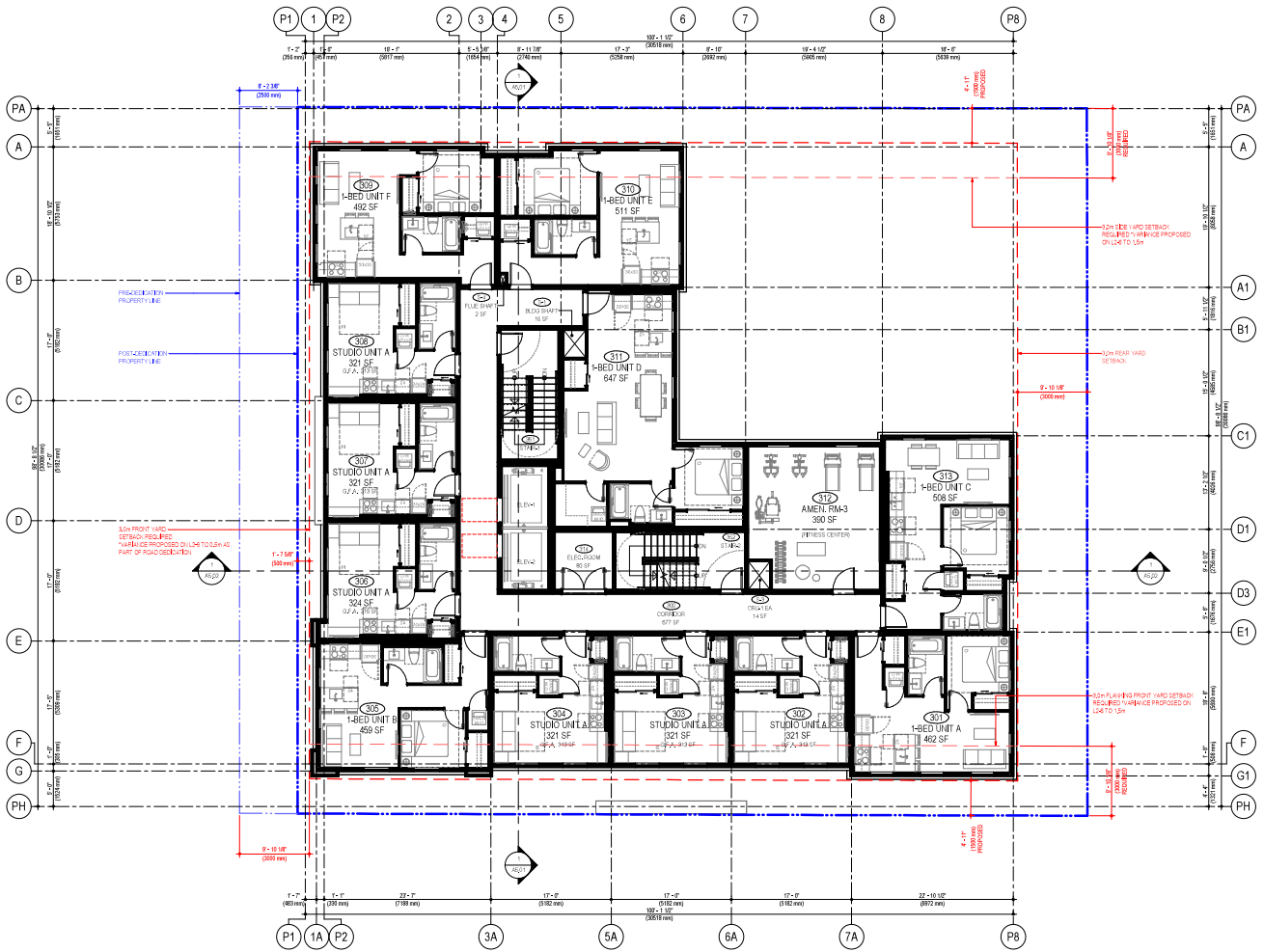
Project Title
**PANDOSY STREET
MIXED USE PROJECT**

2275-A-0288 PANDOSY STREET KELOWNA, BC V1Y 1T1
PLAN KAP413 LOTS 1 & 2 (PART OF LOT 1 & 2) L&R W-0107

Drawing Number
A3.03

Drawing Title
LEVEL 3 FLOOR PLAN

Job No.	2004
Scale	As indicated
Drawn	S.S.
Checked	S.S.



SCHEDULE A

This forms part of application
 # DP25-0025 DVP25-0026

Planner Initials **JI**

City of Kelowna
 DEVELOPMENT PLANNING

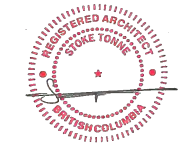
FLOOR PLAN NOTES

1. O.G.A. MEASUREMENT
 INDICATED BY DIMENSIONS TO FACE OF PARTY WALL, CORNER OF WALL & FACE OF EXTERIOR WALL.

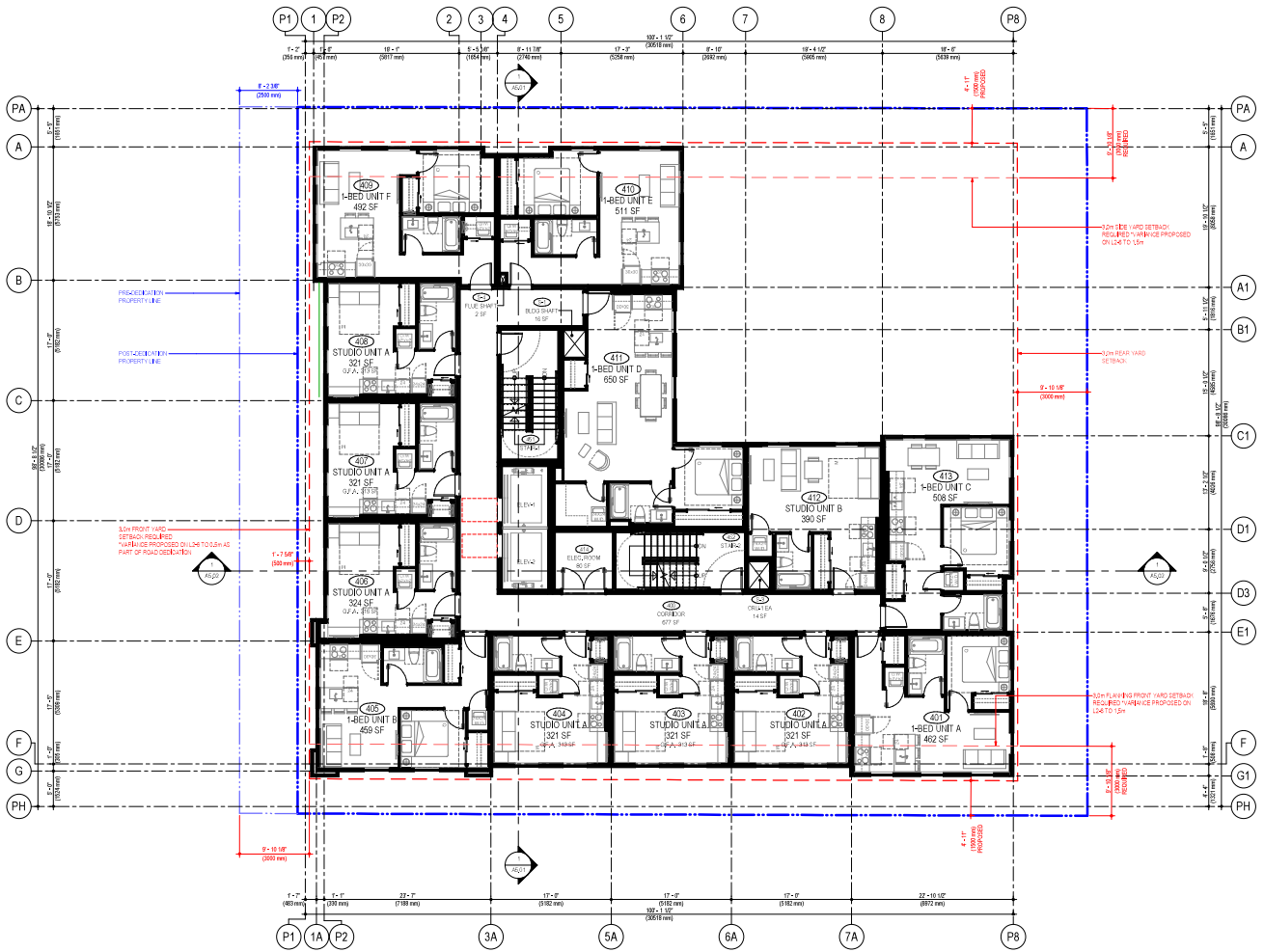
213 HOWARD AVENUE
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2025-01-20



PROJECT NUMBER		TRUE NORTH	
ISSUED:			
No.	Date	Issued by	
1	2025-01-27	DEVELOPMENT PERMIT APPLICATION	
REVISION			
No.	Date	Revision	

Project Title
PANDOSY STREET MIXED USE PROJECT

2254-A-0281 PANDOSY STREET KELOWNA, BC V1Y 1T1
 PLAN 40413 LOTS 1-14 & 15 (PART OF LOT 14 & 15)

Drawing Number
A3.04

Drawing Title
LEVEL 4 FLOOR PLAN

Job No.	2024
Scale	As indicated
Drawn	S.S.
Checked	S.S.

SCHEDULE A

This forms part of application
DP25-0025 DVP25-0026



City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials **JJ**

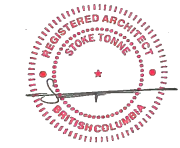
FLOOR PLAN NOTES
1. O.S.A. MEASUREMENT: 1/8" = 1'-0" (30.48 mm) TABLET CENTERLINE OF PARTY WALL, CORNER OF WALL & FREE FACE OF EXTERIOR WALL.

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2025-01-20

PROJECT NUMBER		TRUE NORTH	
ISSUED:			
No.	Date	Issued for	
1	2025-01-27	DEVELOPMENT PERMIT APPLICATION	
REVISION			
No.	Date	Revision	

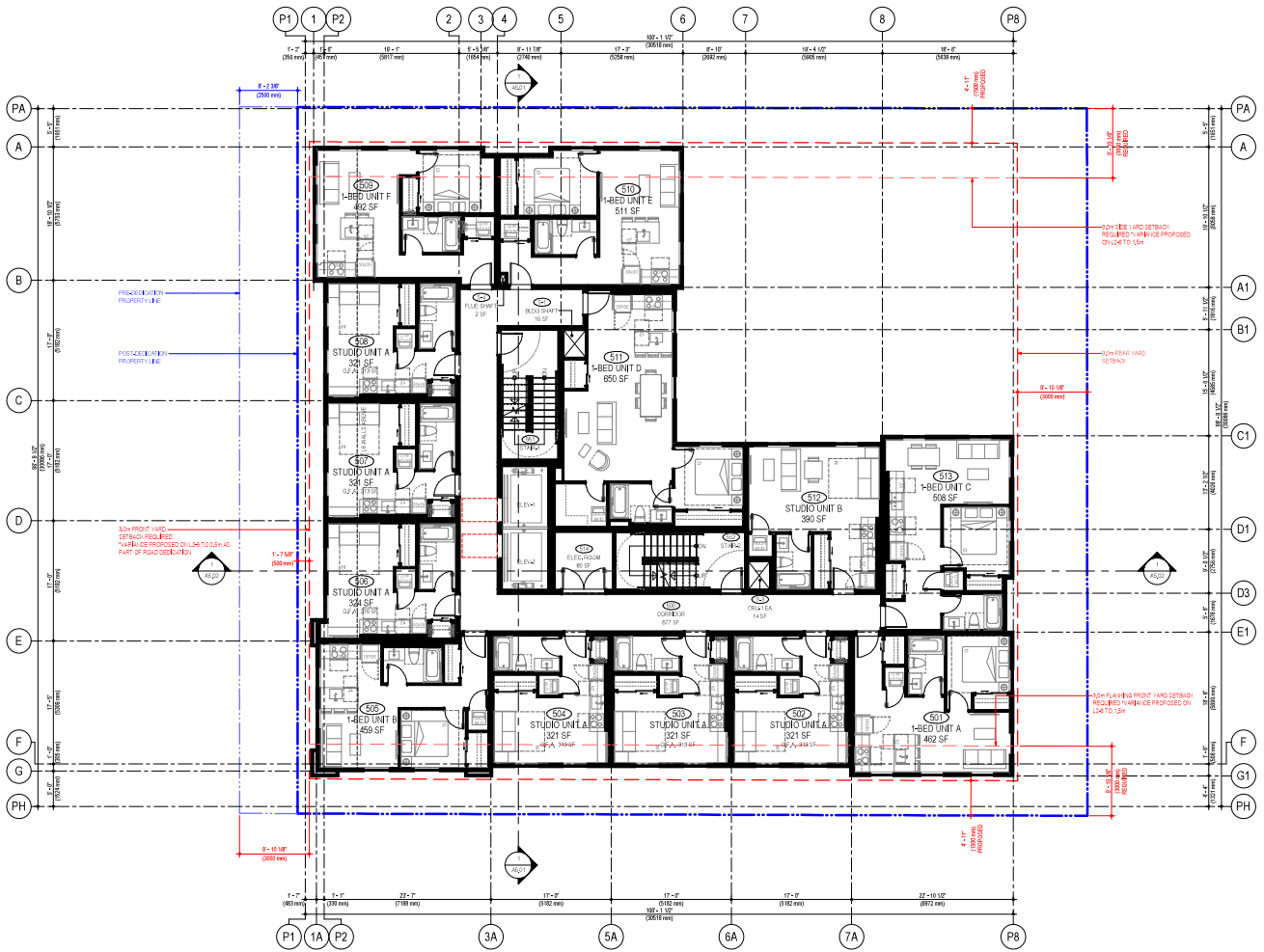
Project Title
PANDOSY STREET MIXED USE PROJECT

2275 A-0281 PANDOSY STREET KELOWNA, BC V1Y 1T1
PLAN 40413 LOTS 1 & 2 (PART OF LOT 1 & 2 & 3)

Drawing Number
A3.05

Drawing Title
LEVEL 5 FLOOR PLAN

Job No.	2004
Scale	As indicated
Drawn	S.S.
Checked	S.S.



SCHEDULE A

This forms part of application
 # DP25-0025 DVP25-0026

Planner Initials **JI**



City of
Kelowna
 DEVELOPMENT PLANNING

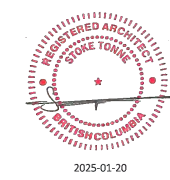
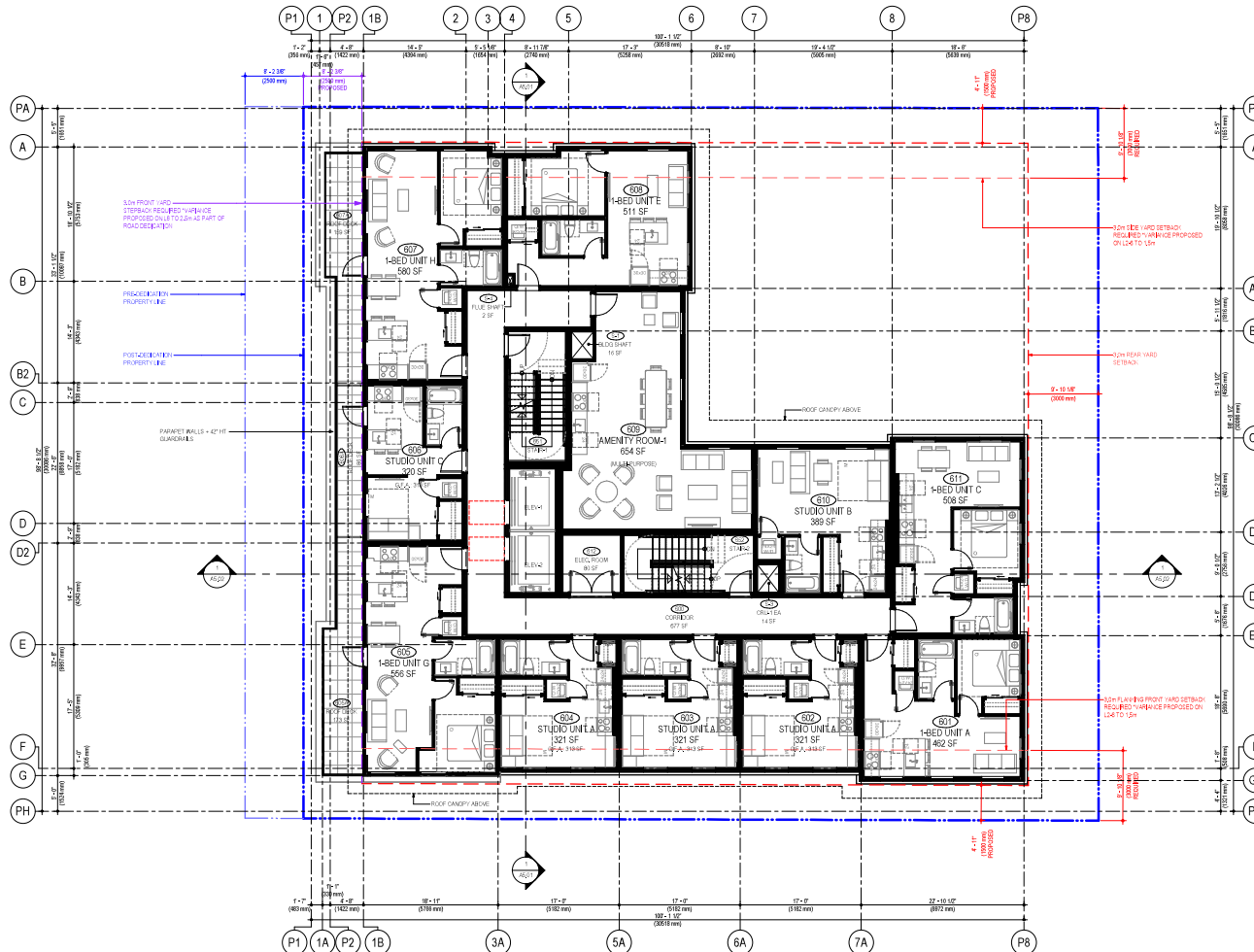
FLOOR PLAN NOTES

1. GFA MEASUREMENT: MEASUREMENTS FOR GFA, TABS BY CENTERLINE OF PARTY WALL, CORNER WALLS & REAR FACE OF EXTERIOR WALL.

273 HUNNARD AVENUE
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2025-01-20

PROJECT NUMBER	TRUE NORTH	
ISSUED:		
No.	Date	Issued for
1	2025-01-27	DEVELOPMENT PERMIT APPLICATION
REVISION:		
No.	Date	Revision

Project Title
PANDOSY STREET MIXED USE PROJECT

273 & 288 PANDOSY STREET, KELOWNA, BC V1Y 1T1
 PLAN R42413 LOTS 1 & 2 (L&S) DISTRICT LOT 1 & 2 & 3

Drawing Number
A3.06

Drawing Title
LEVEL 6 FLOOR PLAN

Job No.	2004
Scale	As indicated
Drawn	S.S.
Checked	S.S.

SCHEDULE A

This forms part of application
 # DP25-0025 DVP25-0026



City of
Kelowna
 DEVELOPMENT PLANNING

Planner
 Initials **JJ**

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m+m
 MEIKLEJOHN ARCHITECTS INC.



2025-01-20

PROJECT NUMBER	TRUE NUMBER	
ISSUED		
No.	Date	Issued by
1	2025-01-27	DEVELOPMENT PERMIT APPLICATION
REVISION		
No.	Date	Revision

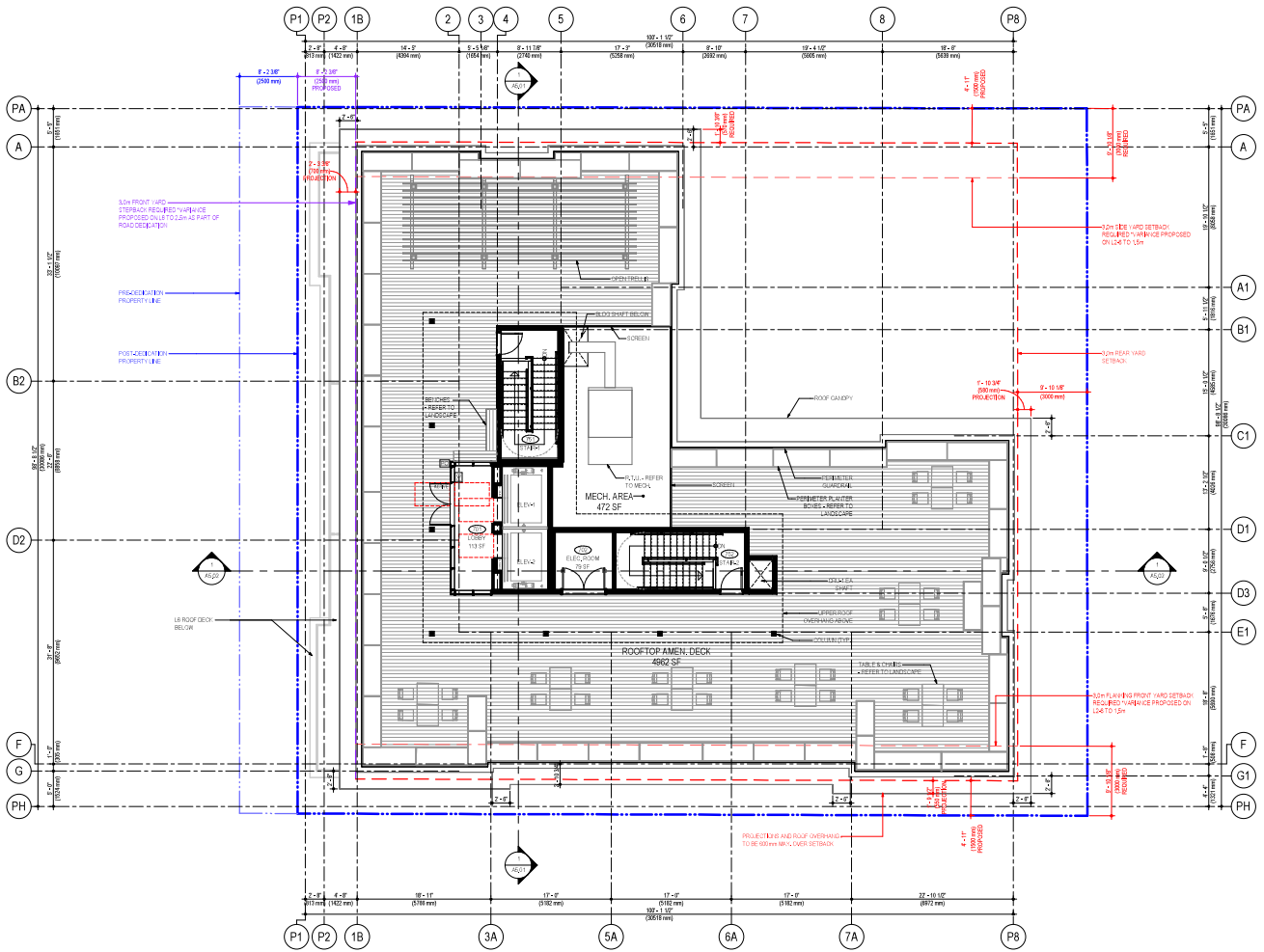
Project Title
**PANDOSY STREET
 MIXED USE PROJECT**

225-A-028 PANDOSY STREET KELLOWNA, BC V1Y 1T1
 PLAN R42413 LOTS 1 & 2 (PART) DISTRICT LOT 1 & 2 R-1011

Drawing Number
A3.07

Roof Plan

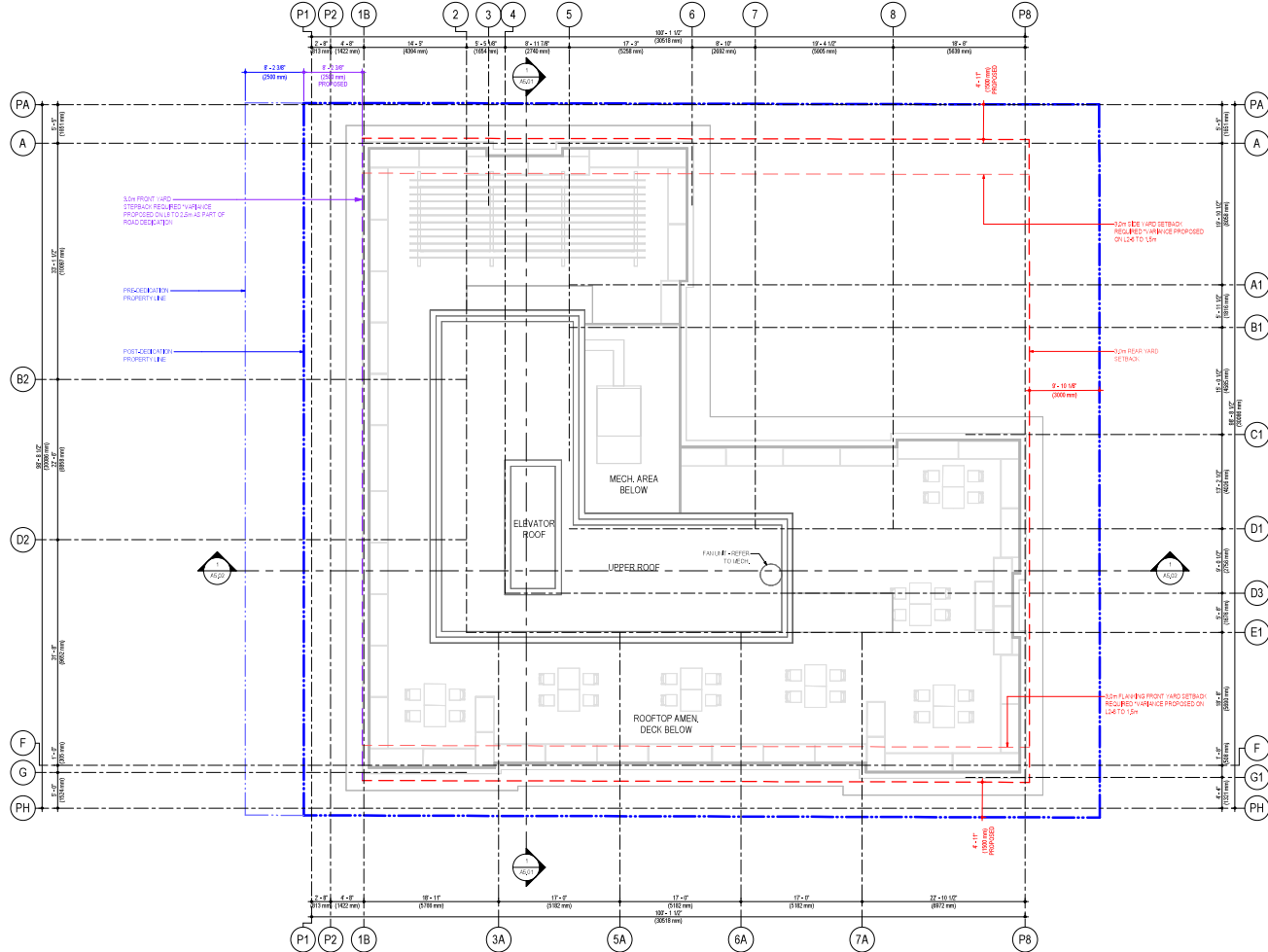
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Drawn	B.S.
Checked	S.L.



SCHEDULE A

This forms part of application
DP25-0025 DVP25-0026

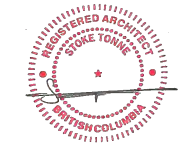
Planner Initials **JJ**

213 HUNARD AVENUE
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TEL: 250.762.8006
FAX: 250.762.8007
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2025-01-20

PROJECT NUMBER	TRIM NUMBER
1	1

ISSUED	No.	Date	Description
1	1	2025-01-20	DEVELOPMENT PERMIT APPLICATION

REVISION	No.	Date	Description

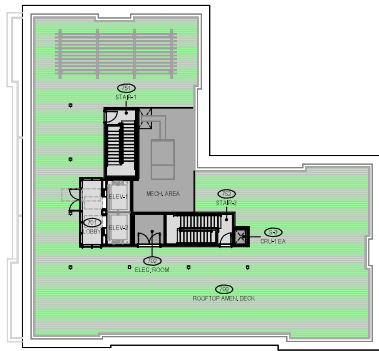
Project Title
**PANDOSY STREET
MIXED USE PROJECT**

2254 S. OAK PANDOSY STREET KELOWNA, BC V1Y 1T1
PLAN KAP413 LOTS 1 & 2 (SUBJECT TO LOT 1 & 2)

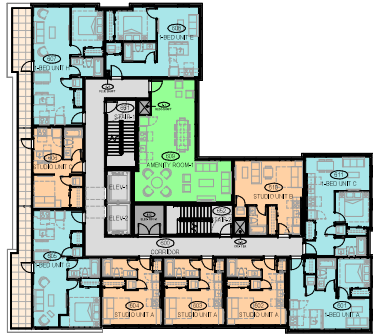
Drawing Number
A3.08

Drawing Title
UPPER ROOF PLAN

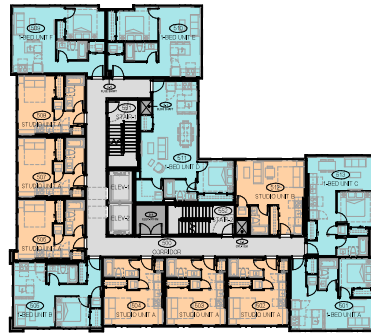
Job No.	2004
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Drawn	S.S.
Checked	S.S.



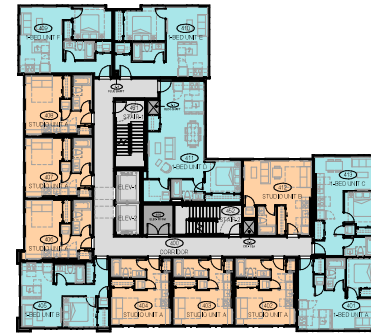
1 ZONING PLAN-ROOF
A1.02
DATE: 1-20



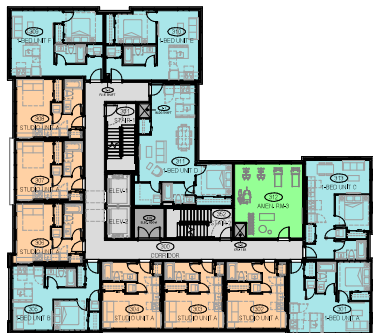
1 ZONING PLAN-1.0
A1.02
DATE: 1-20



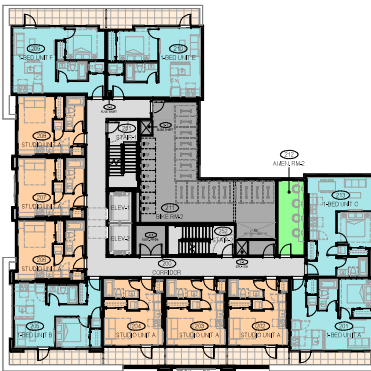
2 ZONING PLAN-1.3
A1.02
DATE: 1-20



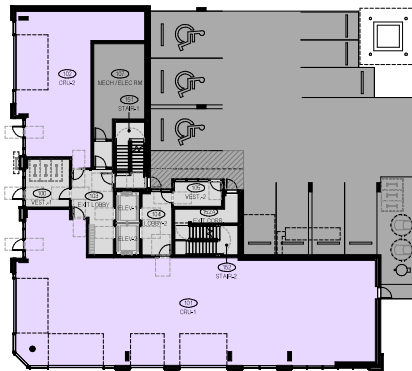
4 ZONING PLAN-1.4
A1.02
DATE: 1-20



3 ZONING PLAN-1.5
A1.02
DATE: 1-20



2 ZONING PLAN-1.2
A1.02
DATE: 1-20



7 ZONING PLAN-1.1
A1.02
DATE: 1-20

SCHEDULE A

This forms part of application
DP25-0025 DVP25-0026

Planner Initials **JI**

City of Kelowna
DEVELOPMENT PLANNING

ZONING PLANS LEGEND:

RESIDENTIAL-CLASS, COHABITATIONS	LABORATORY USES
STUDENT USES	RECREATION USES
COMMERCIAL RETAIL USES	COMMUNITY AMENITY BUILDINGS
PRIVATE AMENITY BUILDINGS & PATIOS	REGULATION
COMMUNITY AMENITY BUILDINGS	PARKING, BUILDING SERVICES, STORAGE

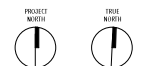
273 HUNNARD AVENUE
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2025-01-20



ISSUED	No.	Date	Revised/By
1	2025-01-27		DEVELOPMENT PERMIT APPLICATION

REVISION	No.	Date	Revision

Project Title
**PANDOSY STREET
MIXED USE PROJECT**

2735 & 2088 PANDOSY STREET, KELOWNA, BC V1Y 1T1
PLAN R424.13 (LOT 1) & R425.13 (LOT 14 & 15)

Drawing Number
A1.02

Drawing Title
ZONING PLANS

Job No.	2004
Scale	As indicated
Drawn	R.S.
Checked	S.S.

SCHEDULE A

This forms part of application
DP25-0025 DVP25-0026

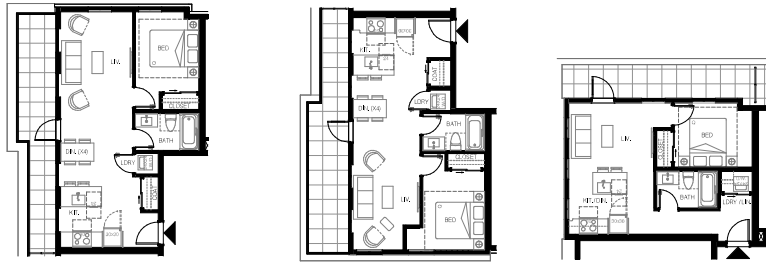
Planner Initials **JJ**



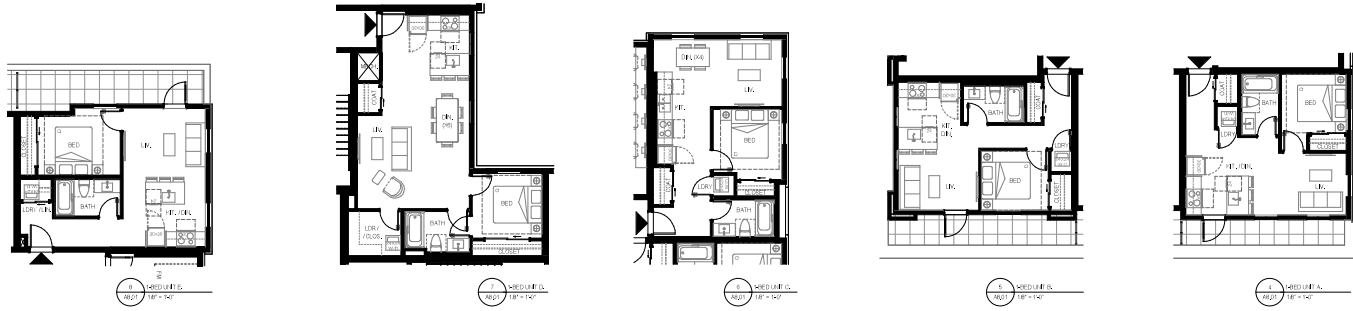
City of
Kelowna
DEVELOPMENT PLANNING

UNIT PLAN SYMBOL LEGEND:

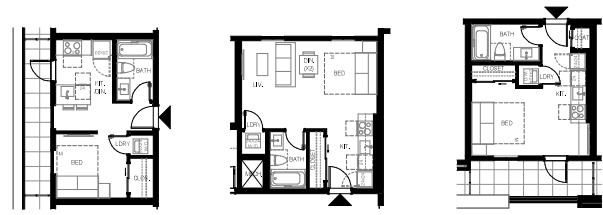
○	WALL
□	DOOR
▽	UNIT ENTRY OR CORRIDOR



11. SCHEDULE UNIT 11
12. SCHEDULE UNIT 12
13. SCHEDULE UNIT 13



14. SCHEDULE UNIT 14
15. SCHEDULE UNIT 15
16. SCHEDULE UNIT 16
17. SCHEDULE UNIT 17
18. SCHEDULE UNIT 18

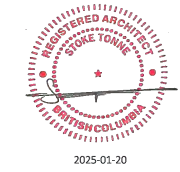


19. SCHEDULE UNIT 19 (2 BDR)
20. SCHEDULE UNIT 20
21. SCHEDULE UNIT 21

213 HUNARD AVENUE
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PROJECT NUMBER	TRIM NUMBER
ISSUED	
No.	Date
1	2025-01-27
DEVELOPMENT PERMIT APPLICATION	
REVISION	
No.	Date

Project Title
**PANDOSY STREET
MIXED USE PROJECT**

2225A & 228A PANDOSY STREET KELOWNA, BC V1Y 1T1
PLAN AREA 4.13 LOTS 1 & 2 (PART OF LOT 1 & 2 & 3)

Drawing Number
A8.01

Drawing Title
UNIT PLANS

Job No.	2004
Scale	1/8" = 1'-0"
Drawn	S.S.
Checked	S.S.

SCHEDULE B

This forms part of application
DP25-0025 DVP25-0026



City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials **JJ**



CLADDING	MATERIAL	COLOR
1.1	FIBRE CEMENT PANEL	WHITE LIGHT
1.2	FIBRE CEMENT PANEL	BLACK DARK GRAY
1.3	STONE TILE PANEL	WHITE LIGHT
1.4	ALUMINUM CLADDING	WOODLOOK VEGETATION
1.5	ARCHITECTURAL CONCRETE	NATURAL UNPAINTED

SOFFIT/FASCIA/TRIM	MATERIAL	COLOR
2.1	ALUMINUM SOFFIT PLANKS	WOODLOOK VEGETATION
2.2	FIBRE CEMENT FIBREWORKS FASCIA PANELS	WHITE LIGHT
2.3	FIBRE CEMENT FIBREWORKS FASCIA PANELS	BLACK DARK GRAY

WINDOWS & DOORS	MATERIAL	COLOR
3.1	WOOD WINDOW SASHES	BLACK
3.2	VEHICLE GLASSING	CLEAR AND TINT
3.3	ALUMINUM WINDOW SASHES	BLACK ANODIZED
3.4	VEHICLE GLASSING	CLEAR AND TINT
3.5	METAL DOORS & STEEL FRAME	MATCHING ADJACENT WALLS
3.6	ALUMINUM GLASS GARAGE DOORS	BLACK ANODIZED

ROOF/FINISHING	MATERIAL	COLOR
4.1	FLAT ROOF MEMBRANE	GRAY PATTERNED
4.2	LEVEL 2 & 3 DECK FINISHING	MEDIUM GRAY
4.3	PARAPET CAP FINISHING	BLACK
4.4	THROUGH-WALL FLASHING	MATCHING ADJACENT WALL
4.5	ROOFTOP EQUIPMENT	TOULBY MANUFACTURER

METAL PANELS	MATERIAL	COLOR
5.1	METAL GLASSING	BLACK
5.2	METAL PANELING	BLACK

SCREENS	MATERIAL	COLOR
6.1	GLASS SCREENS	BLACK FRAME
6.2	SCREENS	FROSTED
6.3	ROOF TOP MECHANICAL SCREENS	WOODLOOK VEGETATION

DETAILS	MATERIAL	COLOR
7.1	BRONZE	TOLBY TRIMANT
7.2	STRUCTURAL COLUMN	WOOD FINISH
7.3	WOOD TRIM	WOOD FINISH
7.4	STEEL COLUMN	BLACK
7.5	STEEL COLUMN	WHITE
7.6	GROUND GARAGE	TOLBY MANUFACTURER

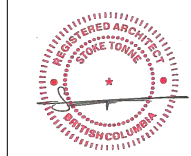
BUILDING ELEVATION MATERIAL SCHEDULE

FIBRE CEMENT PANEL - WHITE LIGHT 1.1, 1.2, 1.3	FIBRE CEMENT PANEL - BLACK DARK GRAY 1.2, 2.3	STONE TILE PANEL - WHITE LIGHT 1.3
WOODLOOK PANEL 1.4, 1.5, 1.6	MFL - BLACK 1.5	CONCRETE - NATURAL 1.5, 2.3, 4.5
METAL - BLACK 1.5, 4.4, 5.1, 5.2, 7.4	METAL - WHITE 1.5, 4.4, 5.2	ALUMINUM - BLACK ANODIZED 1.5, 3.4, 3.5, 4.5
ALUMINUM - CLEAR ANODIZED 1.5	ROOF MEMBRANE - VEGETATION GRAY 1.5	

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MM+A
MERKLEJOHN ARCHITECTS INC.

REGISTERED ARCHITECT
BRITISH COLUMBIA
2025-01-20



2025-01-20

ISSUED
No. Date Revision
1 2025-01-27 DEVELOPMENT PERMIT APPLICATION

REVISION
No. Date Revision

Project Title
**PANDOSY STREET
MIXED USE PROJECT**

2736 A CORN PANDOSY STREET, KELOWNA, BC V1Y 1T1
PLAN AREA 4.13 LOTS 1 & 2, 3 & 4, 5 & 6, 7 & 8, 9 & 10, 11 & 12

Drawing Number Revision

A4.01

Drawing Title

WEST ELEVATION

Job No. 2024
Scale: 1/8" = 1'-0"
Drawn: S.S.
Checked: S.S.

SCHEDULE B

This forms part of application
DP25-0025 DVP25-0026



Planner Initials **JI**

City of Kelowna
DEVELOPMENT PLANNING



GLAZING	MATERIAL	COLOR
1.1	FIBRE CEMENT PANEL	WHITE LIGHT
1.2	FIBRE CEMENT PANEL	BLACK DARK GRAY
1.3	STONE TILE PANEL	WHITE LIGHT
1.4	ALUMINUM GLASS	WOOD LOOK - VERTICAL FINE
1.5	ARCHITECTURAL CONCRETE	NATURAL OUPPERITE

ROOF/FASCIA/TILING	MATERIAL	COLOR
2.1	ALUMINUM SOFFIT PLANKS	WOOD LOOK - VERTICAL FINE
2.2	FIBRE CEMENT FIBREGLASS FACIA PANELS	WHITE LIGHT
2.3	FIBRE CEMENT FIBREGLASS FACIA PANELS	BLACK DARK GRAY

WINDOWS & DOORS	MATERIAL	COLOR
3.1	WIND WOODWORK DOORS	BLACK
3.2	WIND GLAZING	CLEAR AND TINT
3.3	ALUMINUM WOODWORK DOORS	BLACK ANODIZED
3.4	WIND GLAZING	CLEAR AND TINT
3.5	METAL DOORS & STEEL FRAME	MATCHING ADJACENT WALLS
3.6	ALUMINUM CLASS GARAGE DOORS	BLACK ANODIZED

FLOOR FINISHING	MATERIAL	COLOR
4.1	2" & 1" TYP ROOF MEMBRANE	GRAY PATTERNED
4.2	LEVEL 2 & 3 DECK STAIR FINISH	MEDIUM GRAY
4.3	PARAPET CAP FINISHING	BLACK
4.4	THROUGH WALL FINISHING	MATCHING ADJACENT WALL
4.5	ROOFTOP EQUIPMENT	TOLBY MANUFACTURER

METAL PANELING	MATERIAL	COLOR
5.1	METAL GLASS CURTAIN	BLACK
5.2	METAL PANELING	BLACK

SCREENING SCREENS	MATERIAL	COLOR
6.1	GLASS PRIVACY SCREENS	BLACK FRAME
6.2	GLAZING	FROSTED
6.3	ROOF TOP MECHANICAL SCREENS	WOOD LOOK - VERTICAL FINE

DETAILS	MATERIAL	COLOR
7.1	BRONZE	TOLBY TRIVANT
7.2	STRUCTURAL COLUMN	WOOD FINISHED BRUSH
7.3	WOOD TRIM	WOOD FINISHED BRUSH
7.4	STEEL GLASS PANEL	BLACK
7.5	STEEL GLASS PANEL	WHITE
7.6	GROUND GARAGE	TOLBY MANUFACTURER

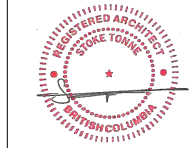
BUILDING ELEVATION MATERIAL SCHEDULE

1.1, 1.2, 1.3	1.2, 1.3	1.3
1.4, 5.1, 5.2	3.1, 3.2, 3.3, 3.4, 3.5, 3.6	2.1, 2.2, 4.1
5.1, 5.2, 5.3, 5.4	5.1, 5.2	5.1, 5.2, 5.3, 5.4
4.1	4.1	

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2025-01-20

ISSUED	No.	Date	Issued for
1	2025-01-27		DEVELOPMENT PERMIT APPLICATION

Project Title
PANDOSY STREET MIXED USE PROJECT

Drawing Number
Revision

A4.02

Drawing Title

SOUTH ELEVATION

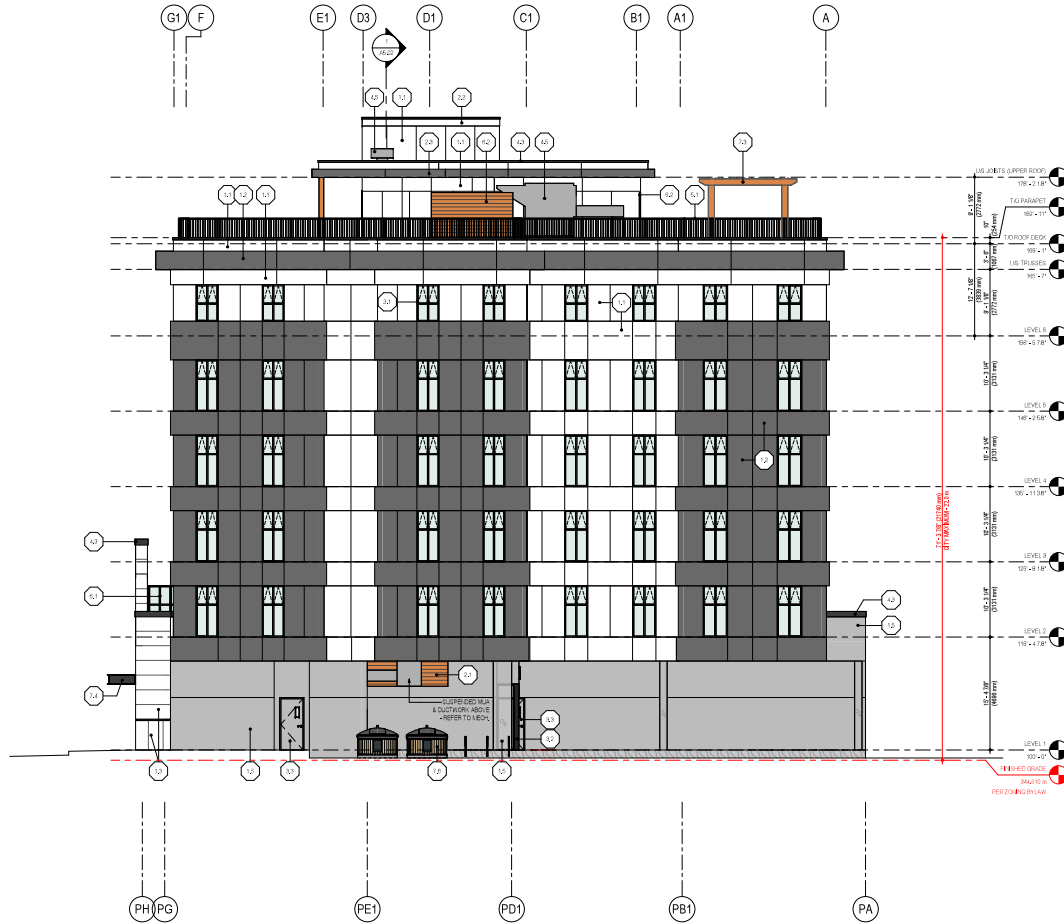
Job No.	2004
Scale	1/8" = 1'-0"
Drawn	S.S.
Checked	S.S.

SCHEDULE B

This forms part of application
DP25-0025 DVP25-0026



Planner Initials **JI**



KEYNOTE	MATERIAL	COLOR
1.1	FIBRE CEMENT PANEL	WHITE LIGHT
1.2	FIBRE CEMENT PANEL	BLACK DARK GRAY
1.3	STONE TILE PANEL	WHITE LIGHT
1.4	ALUMINUM SIDING	WOODLOOK VEEBENTONE
1.5	ARCHITECTURAL CONCRETE	NATURAL OUPPERITE

KEYNOTE	MATERIAL	COLOR
2.1	ALUMINUM SIDING PLANKS	WOODLOOK VEEBENTONE
2.2	FIBRE CEMENT FIBREWORKS / FIBER PANELS	WHITE LIGHT
2.3	FIBRE CEMENT FIBREWORKS / FIBER PANELS	BLACK DARK GRAY

KEYNOTE	MATERIAL	COLOR
3.1	WALL MIRRORS & DOORS	BLACK
3.2	VEHICLE GLAZING	CLEAR / TINTED
3.3	ALUMINUM WINDOWS & DOORS	BLACK ANODIZED
3.4	VEHICLE GLAZING	CLEAR / TINTED
3.5	METAL DOORS & STEEL FRAME	MATCHING ADJACENT WALLS
3.6	ALUMINUM CLASS GARAGE DOORS	BLACK ANODIZED

KEYNOTE	MATERIAL	COLOR
4.1	BLK. TRAP ROOF MEMBRANE	GRAY / PATTERNED
4.2	LEVEL 5 & 6 DECK / ROOF PANELS	MEDIUM GRAY
4.3	PARAPET CAP FLASHING	BLACK
4.4	THROUGH-WALL FLASHING	MATCHING ADJACENT WALL
4.5	ROOF TOP EQUIPMENT	TOLBY / MANUFACTURER

KEYNOTE	MATERIAL	COLOR
5.1	METAL GLASSURIA	BLACK
5.2	METAL MIRRORS	BLACK

KEYNOTE	MATERIAL	COLOR
6.1	GLASS ENTRANCE SCREEN	BLACK FRAME
6.2	GLAZING	FROSTED
6.3	ROOF TOP MECHANICAL SCREEN	WOODLOOK VEEBENTONE

KEYNOTE	MATERIAL	COLOR
7.1	BECHAGE	TOLBY / TRUANT
7.2	STRUCTURAL COLUMN	WOOD FINISHED / BROWN
7.3	WOOD TRIM	WOOD FINISHED / BROWN
7.4	STEEL GLASSURIA	BLACK
7.5	STEEL GLASSURIA	WHITE
7.6	GROUND GARAGE	TOLBY / MANUFACTURER

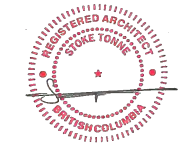
BUILDING ELEVATION MATERIAL SCHEDULE

FIBRE CEMENT PANEL - WHITE LIGHT 1.1, 1.2, 1.3	FIBRE CEMENT PANEL - BLACK DARK GRAY 1.2, 2.3	STONE TILE PANEL - WHITE LIGHT 1.3
WOODLOOK PANEL 1.4, 1.5, 1.6	MIR - BLACK 3.1, 3.6	CONCRETE - NATURAL 1.5, 2.1, 4.2
METALS - BLACK 3.2, 3.3, 3.4, 3.5, 3.6	METALS - WHITE 3.2, 3.3, 3.4	ALUMINUM - BLACK ANODIZED 3.3, 3.4, 3.5, 3.6
ALUMINUM - CLEAR ANODIZED 3.3	ROOF MEMBRANE - VEEBENTONE 4.1, 4.2, 4.3, 4.4, 4.5	GLAZING 6.2

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2025-01-20

ISSUED	No.	Date	Revised by
1	2025-01-27		DEVELOPMENT PERMIT APPLICATION

Project Title
PANDOSY STREET MIXED USE PROJECT

2735 A 208A PANDOSY STREET, KELWNA, BC V1Y 1T1
PLAN 042413 LOTS 1 & 2 (SOUTH DISTRICT LOT 1 & 2) & 1011

Drawing Number
A4.03

Drawing Title
EAST ELEVATION

Job No.	2004
Scale	1/8" = 1'-0"
Drawn	S.S.
Checked	S.S.

SCHEDULE B

This forms part of application
DP25-0025 DVP25-0026



City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials **JJ**



BUILDING ELEVATION KEYNOTE SCHEDULE		
KEYNOTE	MATERIAL	COLOR
1.1	FIBRE CEMENT PANEL	WHITE LIGHT
1.2	FIBRE CEMENT PANEL	BLACK DARK GRAY
1.3	STONE TILE PANEL	WHITE LIGHT
1.4	ALUMINUM CLAD	WOOD LOOK - VERTICAL GRAY
1.5	ARCHITECTURAL CONCRETE	NATURAL OUPPERITE

2.0 ROOF FINISHING		
2.1	ALUMINUM ROOF PANELS	WOOD LOOK - VERTICAL GRAY
2.2	FIBRE CEMENT FIBRE REINFORCED PLASTER PANELS	WHITE LIGHT
2.3	FIBRE CEMENT FIBRE REINFORCED PLASTER PANELS	BLACK DARK GRAY

3.0 WINDOWS & DOORS		
3.1	WOOD WINDOW SASHES	BLACK
3.2	VERGE GLAZING	CLEAR AND TRU
3.3	ALUMINUM WINDOW SASHES	BLACK ANODIZED
3.4	VERGE GLAZING	CLEAR AND TRU
3.5	METAL DOORS & STEEL FRAME	MATCHING ADJACENT WALLS
3.6	ALUMINUM CLASS GARAGE DOORS	BLACK ANODIZED

4.0 ROOF FLASHING		
4.1	TRU & TRU ROOF FLASHING	GRAY PATTERNED
4.2	LEVEL 2 & 3 DECK FLASHING	MEDIUM GRAY
4.3	PARAPET CAP FLASHING	BLACK
4.4	THROUGH-WALL FLASHING	MATCHING ADJACENT WALL
4.5	ROOF TOP EQUIPMENT	TRU BY MANUFACTURER

5.0 METAL PANELS		
5.1	METAL GLASS BLOCK	BLACK
5.2	METAL PANELING	BLACK

6.0 SCREENS		
6.1	GLASS PRIVACY SCREEN	BLACK FRAME
6.2	GLAZING	FROSTED
6.3	ROOF TOP MECHANICAL SCREEN	WOOD LOOK - VERTICAL GRAY

7.0 FINISHES		
7.1	TRU	TRU BY TRU
7.2	STRUCTURAL COLUMN	WOOD FINISHED TRU
7.3	WOOD TRUSS	WOOD FINISHED TRU
7.4	STEEL COLUMN	BLACK
7.5	STEEL BEAM	WHITE
7.6	GROUND GARAGE	TRU BY MANUFACTURER

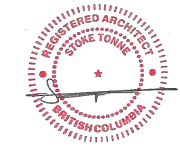
BUILDING ELEVATION MATERIAL SCHEDULE

FIBRE CEMENT PANEL - WHITE LIGHT 1.1, 1.2, 1.3	FIBRE CEMENT PANEL - BLACK DARK GRAY 1.2, 2.3	STONE TILE PANEL - WHITE LIGHT 1.3
WOOD LOOK PANEL 1.4, 1.5, 1.6	TRU - BLACK 1.4, 1.5, 1.6	CONCRETE - NATURAL 1.5, 1.6, 1.7
METAL - BLACK 1.5, 1.6, 1.7, 1.8	METAL - WHITE 1.5, 1.6, 1.7	ALUMINUM - BLACK ANODIZED 1.5, 1.6, 1.7, 1.8
ALUMINUM - CLEAR ANODIZED 1.5	ROOF MEMBRANE - VERTICAL GRAY 1.5	

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2025-01-20

ISSUED	No.	Date	Issued For
1	2025-01-27		DEVELOPMENT PERMIT APPLICATION

Project Title
PANDOSY STREET MIXED USE PROJECT

2735 A 2025 PANDOSY STREET KELOWNA, BC V1Y 1T1
PLAN R42413 LOTS 1 & 2 (2ND FLOOR) LOT 1 & 2 & 3 (1ST FLOOR)

Drawing Number
A4.04

Drawing Title
NORTH ELEVATION

Job No.	2004
Scale	1/8" = 1'-0"
Drawn	S.S.
Checked	S.S.

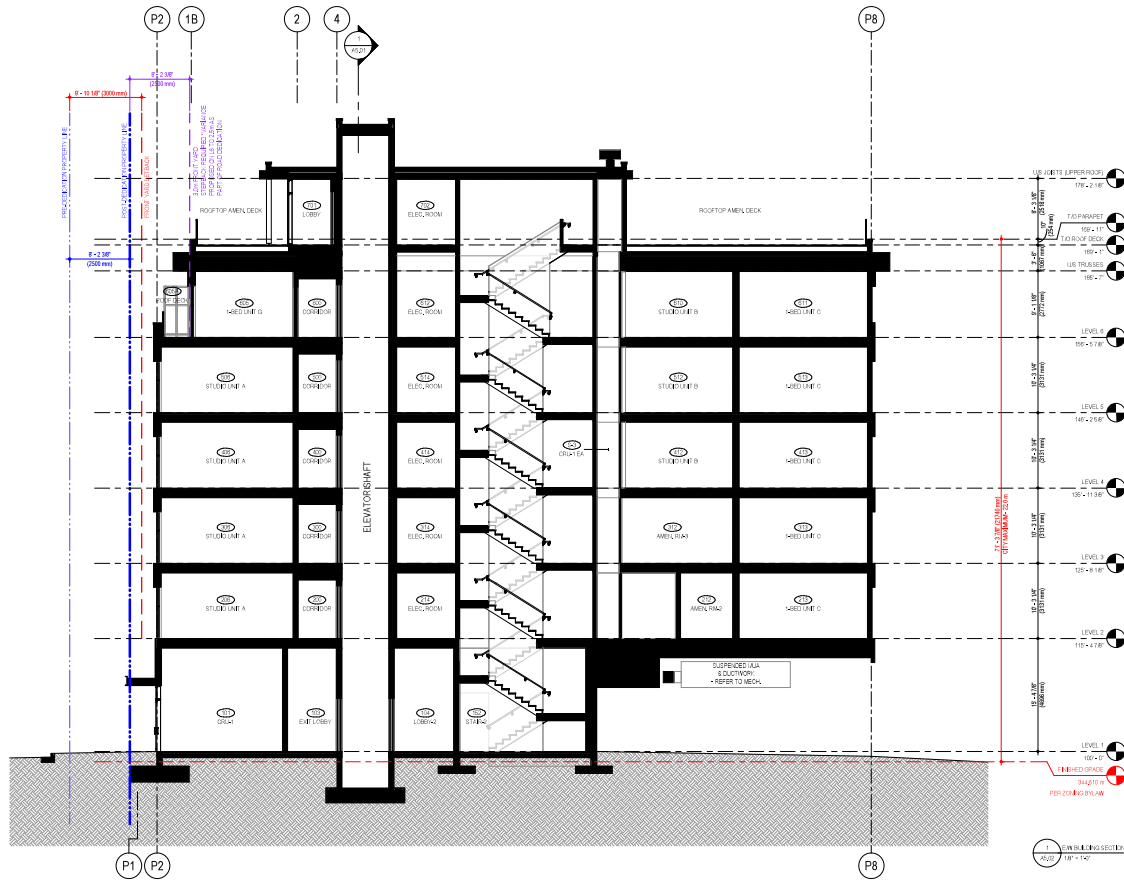
SCHEDULE B

This forms part of application
DP25-0025 DVP25-0026



City of
Kelowna
DEVELOPMENT PLANNING

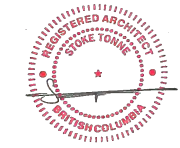
Planner
Initials **JJ**



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DIMENSIONS
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DO NOT SCALE DRAWINGS.



2025-01-20

ISSUED		
No.	Date	Description
1	2025-01-20	DEVELOPMENT PERMIT APPLICATION
REVISION		
No.	Date	Description

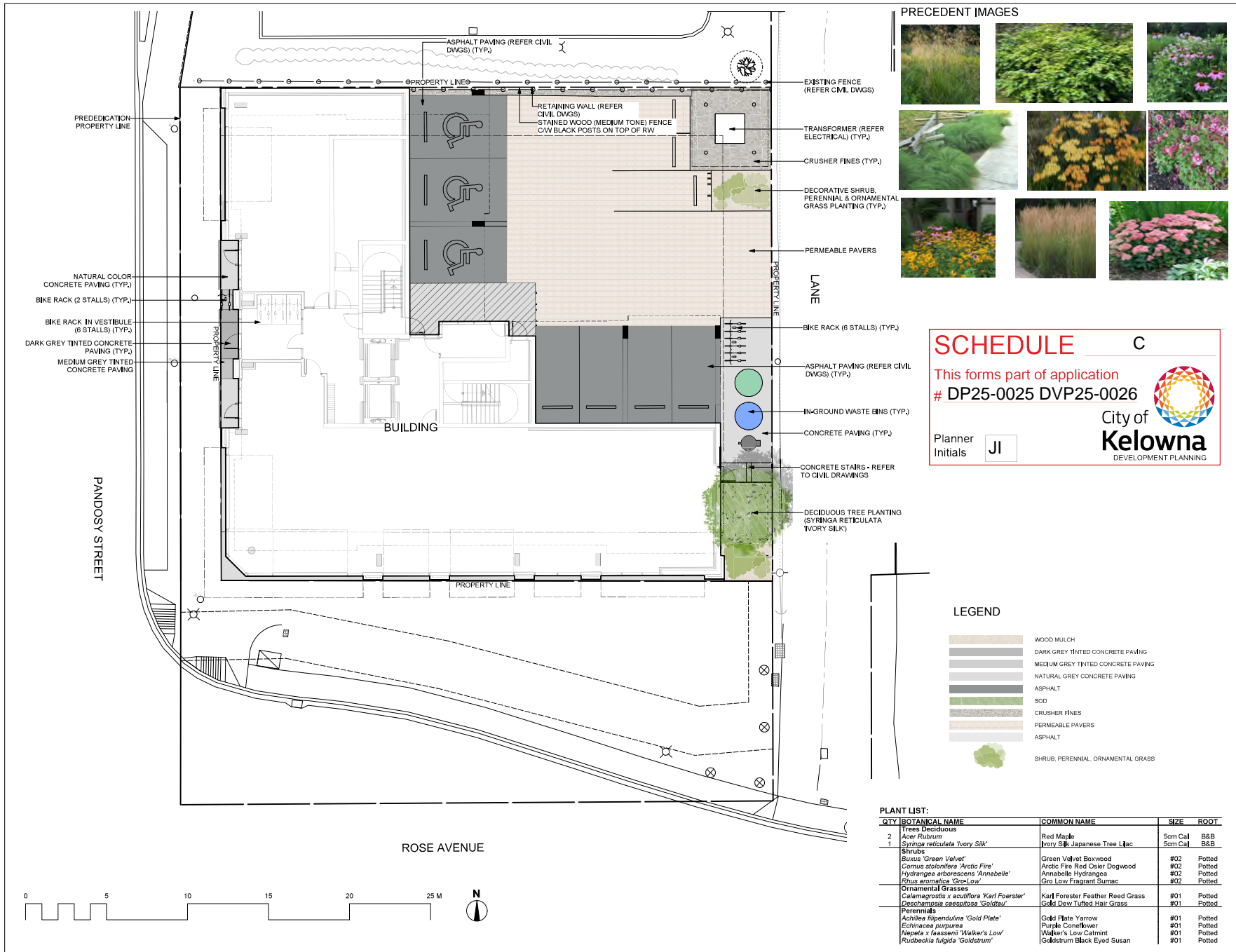
Project Title
**PANDOSY STREET
MIXED USE PROJECT**

2254-8-0001 PANDOSY STREET KELOWNA, BC V1Y 1T1
PLAN AREA 11 LOTS 1 & 2 DISTRICT LOT 1 & 2 & 1011

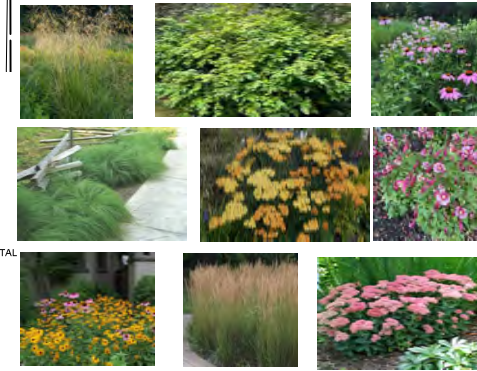
Drawing Number
A5.02

Drawing Title
E/W BUILDING SECTION

Job No.	2004
Scale	1/8" = 1'-0"
Drawn	S.S.
Checked	S.S.



PRECEDENT IMAGES



SCHEDULE C

This forms part of application
 # DP25-0025 DVP25-0026

Planner Initials **JL**

LEGEND

[Pattern]	WOOD MULCH
[Pattern]	DARK GREY TINTED CONCRETE PAVING
[Pattern]	MEDIUM GREY TINTED CONCRETE PAVING
[Pattern]	NATURAL GREY CONCRETE PAVING
[Pattern]	ASPHALT
[Pattern]	SOD
[Pattern]	CRUSHER FINES
[Pattern]	PERMEABLE PAVERS
[Pattern]	ASPHALT
[Pattern]	SHRUB PERENNIAL ORNAMENTAL GRASS

PLANT LIST:

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
2	Trees Deciduous	Red Maple	5cm Cal	B&B
1	<i>Acer Rubrum</i>	Ivory Silk Japanese Tree Lilac	5cm Cal	B&B
	<i>Syringa reticulata 'Ivory Silk'</i>			
	Shrubs			
	<i>Buxus 'Green Velvet'</i>	Green Velvet Boxwood	#02	Potted
	<i>Cornus stolonifera 'Arctic Fire'</i>	Arctic Fire Red Osier Dogwood	#02	Potted
	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangeas	#02	Potted
	<i>Rhus aromatica 'Gron-Low'</i>	Gro Low Fragrant Sumac	#02	Potted
	Ornamental Grasses			
	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	#01	Potted
	<i>Deschampsia caespitosa 'Goldstar'</i>	Gold Dew Tufted Hair Grass	#01	Potted
	Perennials			
	<i>Achillea filipendulina 'Gold Plate'</i>	Gold Plate Yarrow	#01	Potted
	<i>Echinacea purpurea</i>	Purple Coneflower	#01	Potted
	<i>Nepeta x faassenii 'Walker's Low'</i>	Walker's Low Catmint	#01	Potted
	<i>Rudbeckia fulgida 'Goldstrum'</i>	Goldstrum Black Eyed Susan	#01	Potted

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- NOTES:**
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS SHALL CONFORM WITH CITY OF KELOWNA BYLAW 7900.
 2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH GROWING MEDIUM PLACEMENT. TREES TO RECEIVE A MINIMUM 1.0M DEPTH GROWING MEDIUM PLACEMENT. ALL TREES WITHIN THE LANDSCAPE BUFFER SHALL CONFORM WITH CITY OF KELOWNA LANDSCAPE BYLAW TABLE 7.2 REQUIREMENTS.
 5. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.



NOT FOR CONSTRUCTION

ISSUE	DESCRIPTION	DATE
2	ISSUED FOR DEVELOPMENT PERMIT	2025-05-15
1	ISSUED FOR COORDINATION REVIEW	2024-12-20

CLIENT NAME:
ARGUS PROPERTIES LTD.

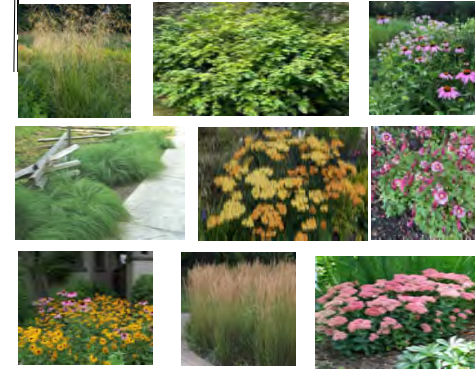
PROJECT NAME:
PANDOSY STREET MIXED USE PROJECT
 KELOWNA, BC

DRAWING TITLE:
CONCEPTUAL LANDSCAPE PLAN
 GROUND LEVEL

DESIGNED: NM	DRAWING NO. LDP1
PROJECT NO. 24125-100	
SCALE: 1:100	



PRECEDENT IMAGES



SCHEDULE C

This forms part of application
DP25-0025 DVP25-0026

Planner Initials **JJ**



City of Kelowna
DEVELOPMENT PLANNING

LEGEND



PLANT LIST:

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
2	Trees Deciduous	Red Maple	5cm Cal	B&B
1	<i>Acer Rubrum</i>	Ivory Silk Japanese Tree Lilac	5cm Cal	B&B
	<i>Syringa reticulata 'Ivory Silk'</i>			
	Shrubs			
	Buxus 'Green Velvet'	Green Velvet Boxwood	#02	Potted
	<i>Cornus stolonifera 'Arctic Fire'</i>	Arctic Fire Red Osler Dogwood	#02	Potted
	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangeas	#02	Potted
	<i>Rhus aromatica 'Gron'Low'</i>	Gro Low Fragrant Sumac	#02	Potted
	Ornamental Grasses			
	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	#01	Potted
	<i>Deschampsia caespitosa 'Goldstar'</i>	Gold Dew Tufted Hair Grass	#01	Potted
	Perennials			
	<i>Achillea filipendulina 'Gold Plate'</i>	Gold Plate Yarrow	#01	Potted
	<i>Echinacea purpurea</i>	Purple Coneflower	#01	Potted
	<i>Nepeta x faassenii 'Walker's Low'</i>	Walker's Low Catmint	#01	Potted
	<i>Rudbeckia fulgida 'Goldstrum'</i>	Goldstrum Black Eyed Susan	#01	Potted

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- NOTES:**
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 2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH GROWING MEDIUM PLACEMENT. TREES TO RECEIVE A MINIMUM LOW DEPTH GROWING MEDIUM PLACEMENT. ALL TREES WITHIN THE LANDSCAPE BUFFER SHALL CONFORM WITH CITY OF KELOWNA LANDSCAPE BYLAW TABLE 7.2 REQUIREMENTS.
 5. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.



NOT FOR CONSTRUCTION

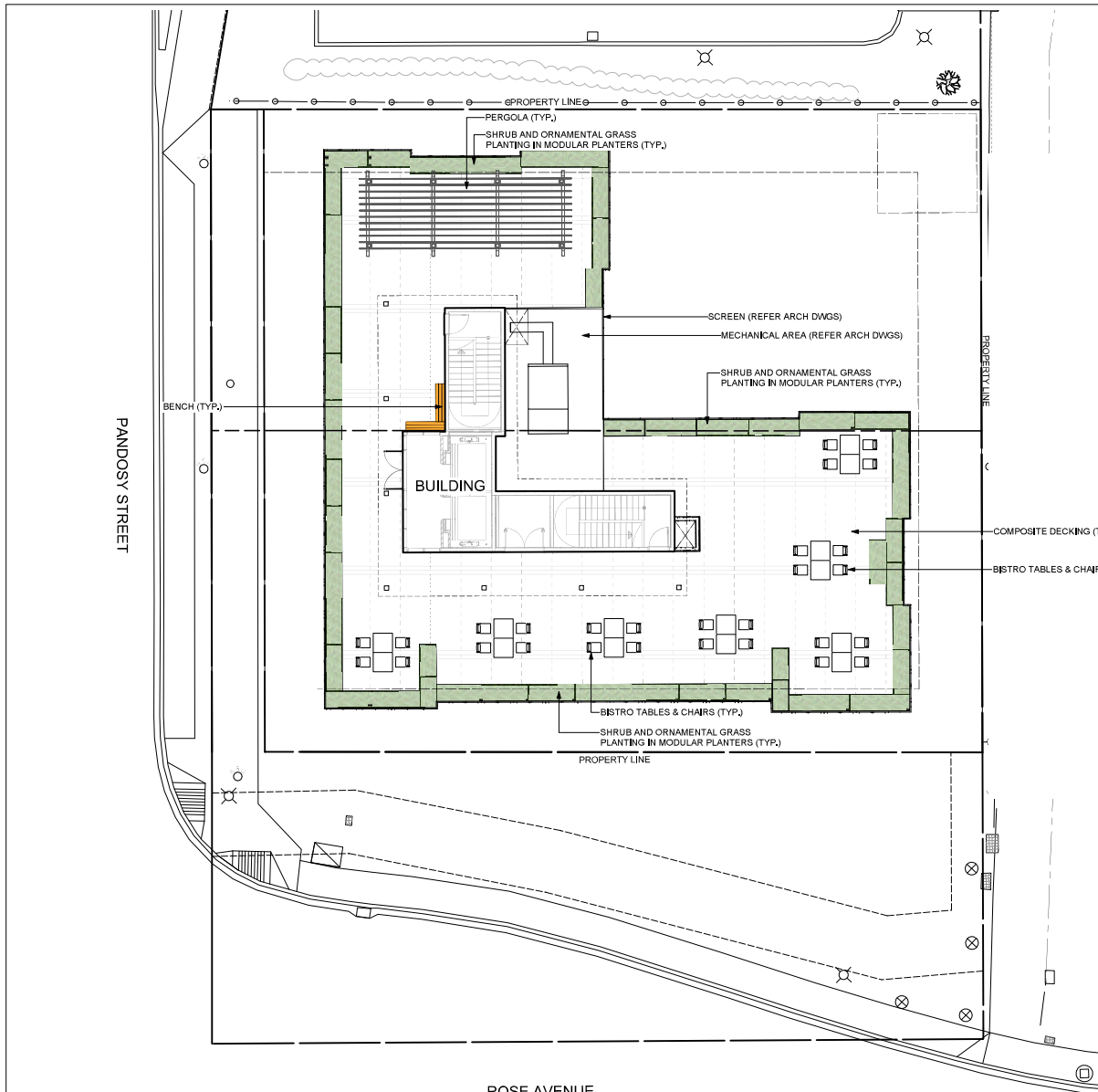
ISSUE	DESCRIPTION	DATE
2	ISSUED FOR DEVELOPMENT PERMIT	2025-04-15
1	ISSUED FOR COORDINATION REVIEW	2024-12-20

CLIENT NAME:
ARGUS PROPERTIES LTD.

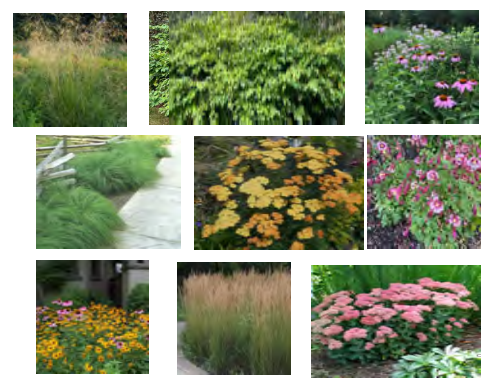
PROJECT NAME:
PANDOSY STREET
MIXED USE PROJECT
KELOWNA, BC

DRAWING TITLE:
CONCEPTUAL LANDSCAPE
PLAN
GROUND LEVEL

CHECKED:	DATE:	DRAWING NO.:
NM	2412-100	LDP2
SCALE:	1:100	



PRECEDENT IMAGES



SCHEDULE C

This forms part of application
 # DP25-0025 DVP25-0026

Planner Initials **JL**

LEGEND

- COMPOSITE DECKING
- WOOD BENCH
- SHRUB, PERENNIAL, ORNAMENTAL GRASS

PLANT LIST:

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
2	Trees Deciduous	Red Maple	5cm Cal	B&B
1	<i>Acer Rubrum</i>	Ivory Silk Japanese Tree Lilac	5cm Cal	B&B
1	<i>Syringa reticulata</i> 'Ivory Silk'			
Shrubs				
	<i>Buxus</i> 'Green Velvet'	Green Velvet Boxwood	#02	Potted
	<i>Cornus stolonifera</i> 'Arctic Fire'	Arctic Fire Red Osier Dogwood	#02	Potted
	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangeas	#02	Potted
	<i>Philus aromaticus</i> 'Glow-Low'	Gro Low Fragrant Sumac	#02	Potted
Ornamental Grasses				
	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	#01	Potted
	<i>Deschampsia caespitosa</i> 'Goldstar'	Gold Dew Tufted Hair Grass	#01	Potted
Perennials				
	<i>Achillea filipendulina</i> 'Gold Plate'	Gold Plate Yarrow	#01	Potted
	<i>Echinacea purpurea</i>	Purple Coneflower	#01	Potted
	<i>Nepeta x faassenii</i> 'Walker's Low'	Walker's Low Catmint	#01	Potted
	<i>Rudbeckia fulgida</i> 'Goldstrum'	Goldstrum Black Eyed Susan	#01	Potted

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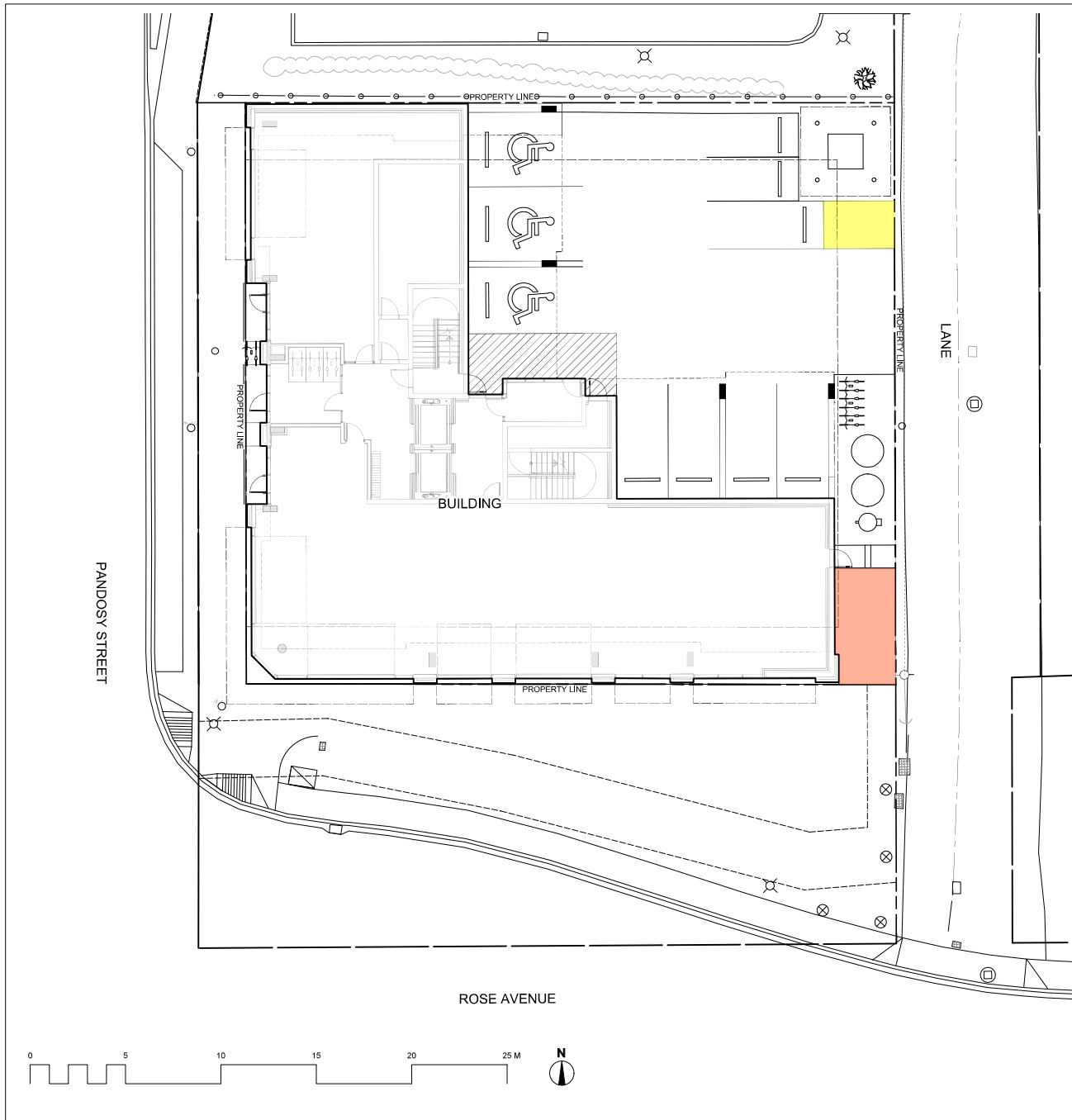
2	ISSUED FOR DEVELOPMENT PERMIT	2025-05-15
1	ISSUED FOR COORDINATION REVIEW	2024-12-20
ISSUE	DESCRIPTION	DATE

CLIENT NAME
ARGUS PROPERTIES LTD.

PROJECT NAME
PANDOSY STREET MIXED USE PROJECT KELOWNA, BC

DRAWING TITLE
CONCEPTUAL LANDSCAPE PLAN ROOFTOP

DESIGNED: NM	DRAWING NO. LDP3
PROJECT NO. 24125-100	SCALE 1:100



LEGEND:

- LOW WATER REQUIREMENTS GRASSES/PERENNIALS
- MEDIUM WATER REQUIREMENTS SHRUBS
- HIGH WATER REQUIREMENTS SOG

SCHEDULE C

This forms part of application
DP25-0025 DVP25-0026

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 192cu.m./year
 ESTIMATED LANDSCAPE WATER USE (WU) = 51cu.m./year
 WATER BALANCE = 141cu.m./year
 *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

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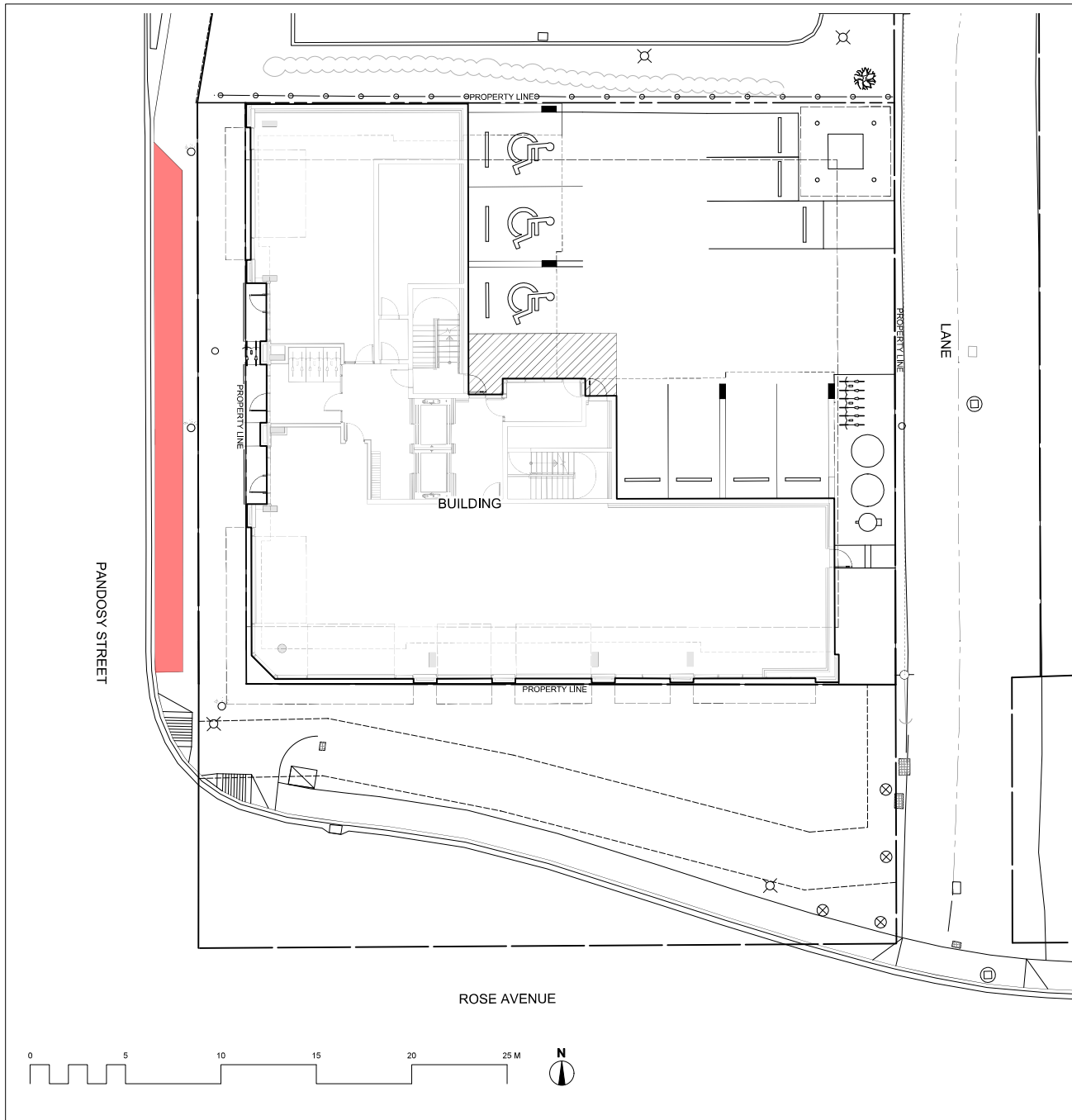
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1	ISSUED FOR COORDINATION REVIEW	2024-12-20

CLIENT NAME:
ARGUS PROPERTIES LTD.

PROJECT NAME:
PANDOSY STREET MIXED USE PROJECT
KELOWNA, BC

DRAWING TITLE:
WATER CONSERVATION PLAN

GROUND LEVEL					
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MM/MC	LDP4				
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LEGEND:

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- MEDIUM WATER REQUIREMENTS SHRUBS
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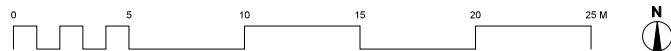
SCHEDULE C

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DP25-0025 DVP25-0026

Planner
Initials **JL**



City of Kelowna
DEVELOPMENT PLANNING



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GROUND LEVEL					
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NM	2412-100				



LEGEND:

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- MEDIUM WATER REQUIREMENTS SHRUBS
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SCHEDULE C

This forms part of application
DP25-0025 DVP25-0026

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING

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1	ISSUED FOR COORDINATION REVIEW	2024-12-20
ISSUE	DESCRIPTION	DATE

CLIENT NAME:
ARGUS PROPERTIES LTD.

PROJECT NAME:
**PANDOSY STREET
MIXED USE PROJECT
KELOWNA, BC**

DRAWING TITLE:
WATER CONSERVATION PLAN

ROOFTOP

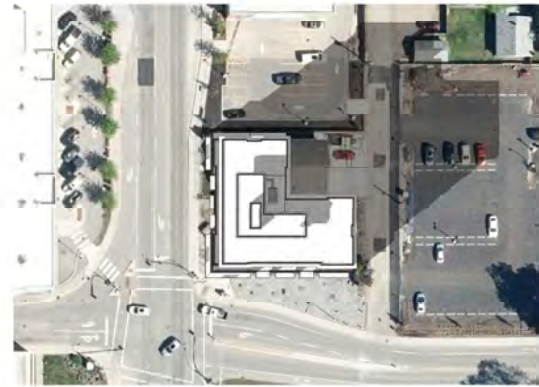
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1:500



MARCH 21 @ 12 PM
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MARCH 21 @ 3 PM
1:500



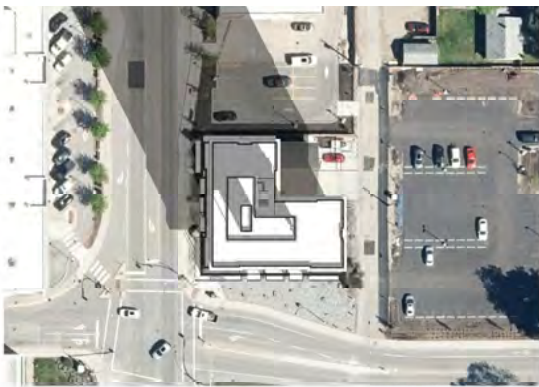
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JUNE 21 @ 3 PM
1:500



DECEMBER 21 @ 9 AM
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DECEMBER 21 @ 12 PM
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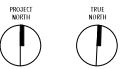
213 HUNARD AVENUE
KELOWNA, B.C.
V1Y 5K9
TEL: 250.762.2006
FAX: 250.762.8907
EMAIL: info@mm+a.ca

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The Contractor shall verify all dimensions, and immediately
report any errors and/or omissions to the design architect.
DO NOT SCALE DRAWINGS.



2025-01-20



ISSUE	No.	Date	Description
	1	2025-01-17	DEVELOPMENT PERMIT APPLICATION

REVISION	No.	Date	Revision

Project Title
**PANDOSY STREET
MIXED USE PROJECT**

22754-0268 PANDOSY STREET KELOWNA, BC V1Y 1T8
PLAN KAP413 LOTS 1 & 2 (SEPT 1977 LOT 1 & 2 & 3017)

Drawing Number
A1.03

Drawing Title
SHADOW STUDY

Job No.	2004
Scale	1:500
Drawn	S.S.
Checked	S.S.

ATTACHMENT B

This forms part of application
DP25-0025 DVP25-0026


Planner Initials
JI



Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						x
b. On corner sites, orient building facades and entries to both fronting streets.						x
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.						x
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						x
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						x
f. Avoid blank, windowless walls along streets or other public open spaces.						x
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	x					
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. <ul style="list-style-type: none"> Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets); The street wall does not include upper storeys that are setback from the primary frontage; and A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys. 						x
2.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.					x	
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.					x	
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice. 			x			

ATTACHMENT C
 This forms part of application
 # DP25-0025 DVP25-0026
 City of Kelowna
 DEVELOPMENT PLANNING
 Planner Initials **JJ**




2.1.3 Site Planning	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						x
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						x
c. Limit the maximum grades on development sites to 30% (3:1)	x					
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; Incorporating terracing to create usable open spaces around the building Using the slope for under-building parking and to screen service and utility areas; Design buildings to access key views; and Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped). 	x					
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						x
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	x					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						x
2.1.4 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						x
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						x
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						x
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> Underground (where the high water table allows) Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage); 						x

ATTACHMENT C

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 # DP25-0025 DVP25-0026

Planner Initials **JL**



City of **Kelowna**
 DEVELOPMENT PLANNING

<ul style="list-style-type: none"> Garages or at-grade parking integrated into the building (located at the rear of the building); and Surface parking at the rear, with access from the lane or secondary street wherever possible. 						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.						x
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> Landscaping; Trellises; Grillwork with climbing vines; or Other attractive screening with some visual permeability. 	x					
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> Covered short-term parking in highly visible locations, such as near primary building entrances; and Secure long-term parking within the building or vehicular parking area. 						x
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						x
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.						x
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.					x	
2.1.5 Streetscapes, Landscapes, and Public Realm Design	N/A	1	2	3	4	5
a. Site buildings to protect mature trees, significant vegetation, and ecological features.	x					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.	x					
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.	x					
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						x
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> Locating outdoor spaces where they will receive ample sunlight throughout the year; Using materials and colors that minimize heat absorption; Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and Using building mass, trees and planting to buffer wind. 						x
f. Use landscaping materials that soften development and enhance the public realm.		x				

g. Plant native and/or drought tolerant trees and plants suitable for the local climate.		x				
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.	x					
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.	x					
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> • Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and • Using recycled water irrigation systems. 	x					
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	x					
l. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> • Minimizing light trespass onto adjacent properties; • Using full cut-off lighting fixtures to minimize light pollution; and • Maintaining lighting levels necessary for safety and visibility. 						x
m. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.						x
2.1.6 Building Articulation, Features and Materials	N/A	1	2	3	4	5
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> • Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; • Repeating window patterns on each step-back and extension interval; • Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval. 				x		
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs. Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters; ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.				x		

c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.						X	
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.							X
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.						X	
f. Provide weather protection such as awnings and canopies at primary building entries.							X
g. Place weather protection to reflect the building's architecture.							X
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.							X
i. Provide visible signage identifying building addresses at all entrances.							X

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE							
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5	
4.1 Low & mid-rise residential & mixed use guidelines							
4.1.1 Relationship to the Street	N/A	1	2	3	4	5	
i. Ensure lobbies and main building entries are clearly visible from the fronting street.							X
j. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> Locating enclosed parking garages away from street frontages or public open spaces; Using ground-oriented units or glazing to avoid creating dead frontages; and When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting. 					X		
Commercial & Mixed Use Buildings							
k. Ensure buildings have a continuous active and transparent retail frontage at grade to provide a visual connection between the public and private realm.							X
l. Site buildings using common 'build to' line at or near the front property line so that a continuous street frontage is maintained. Some variation (1-3 m maximum) can be accommodated in ground level set backs to support pedestrian and retail activity by, for example, incorporating recessed entryway, small entry plaza, or sidewalk café.							X
m. Incorporate frequent entrances (every 15 m maximum) into commercial and street frontages to create punctuation and							X

ATTACHMENT C

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rhythm along the street, visual interest and support pedestrian activity.						
4.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.						x
b. Residential buildings should have a maximum width of 24 m.					x	
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.	x					
d. For commercial facades, incorporate a significant break at intervals of approximately 35 m.	x					
4.1.4 Site Servicing, Access and Parking	N/A	1	2	3	4	5
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimised; and • There is no more than one curb cut per property. 						x
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.	x					
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: <ul style="list-style-type: none"> • Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and • Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized. 	x					
4.1.5 Publicly-Accessible and Private Open Spaces	N/A	1	2	3	4	5
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	x					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.						x
Rooftop Amenity Spaces						
c. Design shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) to be accessible to residents and to ensure a balance of amenity and privacy by: <ul style="list-style-type: none"> • Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and 						x

<ul style="list-style-type: none"> Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units by using fencing, landscaping, or architectural screening. 						
<p>d. Reduce the heat island affect by including plants or designing a green roof, with the following considerations:</p> <ul style="list-style-type: none"> Secure trees and tall shrubs to the roof deck; and Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated. 			x			
4.1.6 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
<p>a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include:</p> <ul style="list-style-type: none"> Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade; Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade; Providing a porch, patio, deck, or covered entry for each interval; Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; Changing the materials with the change in building plane; and Provide a lighting fixture, trellis, tree or other landscape feature within each interval. 					x	
<p>b. Break up the building mass by incorporating elements that define a building’s base, middle and top.</p>					x	
<p>c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.</p>					x	
<p>d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.</p>					x	
<p>e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.</p>					x	
<p>f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations:</p> <ul style="list-style-type: none"> Primary building entrances;,, Adjacent to bus zones and street corners where people wait for traffic lights; Over store fronts and display windows; and 						x

<ul style="list-style-type: none"> Any other areas where significant waiting or browsing by people occurs. 							
g. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.							x
h. Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.							x
i. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.							x
j. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.							x
k. Avoid the following types of signage: <ul style="list-style-type: none"> Internally lit plastic box signs; Pylon (stand alone) signs; and Rooftop signs. 							x
l. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.							x

ATTACHMENT C

This forms part of application
 # DP25-0025 DVP25-0026

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City of
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DEVELOPMENT PLANNING

January 17, 2025

City of Kelowna
Planning Department
1435 Water Street
Kelowna BC
V1Y 1J4

2275 & 2283 Pandosy Street – Mixed Use Project

Development Permit Application Design Rationale

To Whom it May Concern,

Please see the design rationale document supporting the Development Variance Permit application for the proposed mixed-use development located at 2275 & 2283 Pandosy Street. The proposed project is a six-storey development with two commercial retail units on level one which are envisioned to serve the neighbourhood and adjacent health district and 59 residential units on floors two to six completed with a large amenity roof deck in the newly created MF4 zone.

The rationale is organized into the following sections

- Section 1 | Project Summary: Introduction, Site, Building Design, Landscape & Shared Amenities
- Section 2 | Official Community Plan Response: OCP Objective and Proposed Design Matrix
- Section 3 | Variance Summary: Variance and Rationale Matrix
- Section 4 | Transportation: Proposed Transportation Assistance
- Section 5 | Neighbouring Institutions: Consultation and Letters of Support

Attachments:

1. Kelowna General Hospital Foundation Letter of Support dated September 13, 2024
2. BC Cancer Foundation Letter of Support dated September 17, 2024
3. UBC Okanagan Letter of Support dated January 15, 2025
4. BC Cancer Foundation Letter of Support dated January 15, 2025

We look forward to your favourable review of the Development Variance Permit application and if you have any questions, please do not hesitate to call.

Yours truly,



Stoke Tonne, Principal
Architect AIBC, MRAIC, LEED AP



SECTION 1 | PROJECT SUMMARY

INTRODUCTION

Since 1969 Argus Properties has been developing property in the City of Kelowna guided by a vision that each project must add to the community and be a project of which we can be proud many years later. Argus Properties proposes a new 59-unit rental housing project on Pandosy Street across from the hospital which will be primarily for temporary and longer-term housing for visiting staff and guests of the adjacent institutions of KGH and UBC. We anticipate that a large percentage of tenants will not own vehicles. The two commercial suites on the ground floor are envisioned to provide amenities to the surrounding residential neighbourhood and also the hospital district.

SITE

The site is unique in that it is comprised of the only two single family lots remaining on the east side of Pandosy Street between Rose and Royal Avenue. The adjacent building on the block to the north of the site is the Kelowna General Hospital (KGH) Lab Building and is zoned Health District 1 (HD-1) with a surface parking lot serving Interior Health Authority (IHA) directly beside the project site. Directly across Pandosy Street to the west of the site is the KGH Interior Heart and Surgical Centre which is connected to the KGH Centennial Building with the roundabout and drop-off between the two institutional buildings. South of the site is a triangular-shaped City-owned lot that has been recently dedicated as future road reserve and is currently landscape with decorative gravels and rocks. Directly east of the site is an IHA surface parking lot that was once the site of three single family homes fronting onto Speer Street.

The characteristics of the site are visibly different than most of the properties in the newly created Multi Family 4 (MF4) zone as there are no single family or multi family homes directly beside the property and the scale of the buildings is dramatically larger and taller than those typically found in the zone. The hospital buildings which flank the north and west of the site are 4 'super storey' projects as the floor-to-floor height of each is approximately 1.5 times that of a typical residential project. The scale immediately to the north and east will over time 'jump' as we believe that the surface parking lots which are directly beside the project will be developed into larger IHA projects. The southern City lot has been dedicated as road which we understand will accommodate a widening and/or straightening of Rose Avenue in the future. Based on the context the site feels decidedly 'urban' in its setting and the project responds to that by 'pushing' to the property lines as most projects in more urban zones tend to do.

Figure 1 – Zoning Map (from City of Kelowna Map Viewer) Showing Project Site





SECTION 1 | PROJECT SUMMARY

BUILDING DESIGN

The goal of Argus and design team was to have the new building look like it 'belonged' on the street by taking cues from the hospital buildings for materiality while also 'elevating' the architecture by emulating a more European style of apartment building design. Based on those objectives a key feature material for the new project, the medium toned wood-look cladding, directly references both the IHA Lab and Surgical Centre buildings and is used on the feature areas such as soffits, level 1 bands above canopies, and the upper storey banding on the southeast corner. The use of fibre cement panel with strong reveals for most of the cladding on levels 2-6 directly references the IHA Lab Building to the north as that project is clad in cement panel complete with reveals, albeit of a different colour palette. The proposed colours for the fibre cement panel make direct reference to another KGH(F) project, JoeAnna's House, as the modern farmhouse colour palette of blacks and whites was abstracted to suit new building on the residential floors.

Level one is made purposely different from the upper floors as it serves commercial units and building entries and is clad in a more 'distinguished' cladding system of light/white stone tile panels with strong reveals and flashings. The stone tile cladding adorns the level 1 piers and frame elements while black framed aluminium glazing systems complete the openings. Windows on the residential storeys are proposed to be black vinyl framed high performance triple glazed and European in their proportion as they are tall and narrow and spaced quite densely giving the project a sense of sophistication and articulation while providing enhanced energy performance. The exterior walls on the upper floors are recessed on each side of the building to create central 'notches' in plan whereas in section there are approximately 3 foot high 'bands' at each floor level which are 4 inches proud of the walls above and below to further articulate the building's elevations.

Moving up the building the sixth storey setback provides a relief to the scale of the building wall along Pandosy Avenue and further creates a sense of interest to the overall massing. The setback also provides long and linear balconies to the three units it serves and is completed with a black guardrail running the entire width of the west side. Crowning the project is the amenity roof deck which is defined by the intentional large 'cornice' at the top of level 6 which caps the exterior walls with a black band. The roof deck is served by a small lobby which is completed mostly with black aluminium glazing and a large roof overhang which is supported by timber or wood look columns which match those supporting the timber trellis on the north side of the roof deck.

Figure 2 – Rendering of Southwest Building Corner



SECTION 1 | PROJECT SUMMARY**LANDSCAPE & SHARED AMENITIES**

The project site design is quite constrained by the size of the property, the 2.5m road dedication on Pandosy Avenue, and the commercial and residential parking requirements coupled with the space required for necessary infrastructure such as the pad mounted transformer and in-ground garbage collection bins. However the project is designed to 'open up' onto the public sidewalk to the west and patio area to the south by way of garage doors which is seen as a way to enhance the dining and seating experience for the commercial units while activating the street and public realm. Of note is that the patio area referred to above is an approx 95 square metre, 3 metre strip of the adjacent City owned property (noted as road dedication area #2 on drawings) that Argus has been in discussions with the City to lease under a license of occupation.

Within the building there are three amenity rooms serving the residents: a business centre on level 2, a fitness centre on level 3, and a large multi-purpose room on level 6. The largest amenity space is the level 7 roof deck which is approximately 5,000sf and finished with wood-look decking, moveable planters, a large timber trellis for shading, and comfortable outdoor furniture. The roof deck is served by two elevators and two stairwells and is completed with a large roof overhang on its south and west sides supported by timber or wood-look columns.

Figure 3 – Aerial Rendering of South Building Elevation and Amenity Roof Deck



Figure 4 – Street Level Rendering of Building Southwest Corner and Commercial Retail Unit 1



SECTION 2 | OFFICIAL COMMUNITY PLAN RESPONSE

Please see matrix below summarizing the Official Community Plan (OCP) Form & Character Development Permit Guidelines references and our response to how the proposed building design meets the OCP requirements and objectives.

OCP 2040 REFERENCE	OCP KEY GUIDELINE + DEFINITION	DESIGN COMMENTS + DESIGN RATIONALE
4.1.0 a	Provide attractive and active human-scale amenities oriented towards public spaces at grade such as frequent entries, weather protection, and outdoor seating areas (see 4.1.1 and 4.1.5)	<p>The public realm is enhanced by way of the level 1 design on the west and south elevations which is made up of several large stretches of glazing with 5 garage doors opening to the outside in addition to the three fully glazed entries: 2 for the commercial units and one for the residential building entrance.</p> <p>This allows for opportunities such as a multiple ground level seating areas which are partially weather protected by the wood-look clad soffits onto which the ground level commercial spaces open up to by way of the man and garage doors and when closed these doors and glazed openings provide views inside and out from large windows.</p>
4.1.0 b	Break up building mass by providing simple vertical and horizontal articulation of facades; e.g., step-backs, insets, projections, color and texture (see 4.1.6).	<p>Massing articulation is achieved through the strength of the level 1 frames and openings, the differentiation of the building corners on the storeys above, the tall and narrow window patterning, and the stepback and level 7 roof deck top of wall/cornice detailing.</p> <p>Horizontal articulation is achieved by way of bands at every floor level above level 1 which are proud of the building wall as well as the 'notches' or recesses in the walls between the building corners.</p> <p>The southwest corner facing onto the intersection of Rose Avenue and Pandosy Street is made different from the rest and acts as the 'feature corner' through the use of stone tile cladding completed with wood-look panel bands.</p>
4.1.0 d	Orient entries, windows, patios and balconies to face the fronting street. Ensure primary building entries are architecturally emphasized and directly accessible from the fronting public sidewalk (see 4.1.1)	<p>The main entries are located in the centre of the Pandosy Steet elevation and are grouped for ease of way-finding and accessibility.</p> <p>The entries and pronounced by way of signage and canopies which provide weather protection.</p> <p>All west and south glazed openings that do not form part of the trees are intended to serve outdoor seating areas.</p>
4.1.6 b	Break up the building mass by incorporating elements that define a building's base, middle and top.	<p>The building's base consists of heavy material, represented through the use of the stone panel tile cladding broken up with glazing and exposed concrete walls broken up with reveals.</p> <p>The middle of the building is defined through the mix of light and dark colored fibre cement panel which is broken up by tall and narrow windows with similar coloured trims at panel joints.</p> <p>The top of layer of the building is defined by the stepback deck and the amenity roof deck pronounced by the level 6 top of wall detailing and cornice.</p>

SECTION 3 | VARIANCE SUMMARY

Please see matrix below summarizing the Zoning Bylaw Development Regulations references and our response/rationale as to why a variance is being proposed.

ZONING BYLAW REFERENCE	ZONING REQUIREMENT + PROPOSED VARIANCE	VARIANCE RATIONALE
SECTION 13.5 Min. Front Yard Setback for all building types	WEST SETBACK Zoning Requirement: 3 metres Proposed Variance: 0 metres on level 1 1.5 metres on levels 2-5	<p>RATIONALE LOGIC: Current design meets bylaw requirement if site was not encumbered with City required road dedication (refer to note 2).</p> <p>If the project site was not encumbered with the 2.5m road dedication the allowable front yard setback would be 2m from the pre-dedication property line as there is ground oriented commercial units making up the west frontage.</p> <p>We are proposing that the front yard setback on level 1 be reduced to 0m which would be 2.5m inboard from the pre-dedication property line and would be 0.5m in excess of the 2m setback if measured from the pre-dedication property line.</p> <p>The logic described above is applied also to the 0.5m setback of the proposed building wall on levels 2-6 as this would otherwise be in accordance with the 3m zoning requirement if measured from the pre-dedication property line.</p>
SECTION 13.5 Min. Flanking Side Yard Setback for all building types	SOUTH SETBACK Zoning Requirement: 3 metres Proposed Variance: 0 metres on level 1 1.5 metres on levels 2-5	<p>RATIONALE LOGIC: The provision of viable neighbourhood commercial amenity (restaurant) through the consideration of urban centre 1 zone bylaw requirements as they relate to this urban site (refer to note 3).</p> <p>Due to the unique and urban nature of the site we are proposing to apply the logic of the UC1 zone flanking side setback for ground oriented commercial of 0m to this project as this allows for the viability of the commercial unit 1 which is anticipated to be a restaurant.</p> <p>The logic described above is applied also to the 1.5m setback of the proposed building wall on levels 2-6 as this allows for the viability of the rental apartment units along the south side of the project, the majority of them being studio units which would not be functional if reduced in floor area.</p>
SECTION 13.5 Min. Building Stepback from Front Yard	WEST STEPBACK Zoning Requirement: 3 metres (measured to exterior face of wall closest to property line) Proposed Variance: 2.5 metres on level 6	<p>RATIONALE LOGIC: Current design meets bylaw requirement if site was not encumbered with City required road dedication (refer to note 2).</p> <p>If the project site was not encumbered with the 2.5m road dedication the allowable front yard setback would be 2m from the pre-dedication property line as there is ground oriented commercial units making up the west frontage and the front yard stepback would be 3m inboard of the level 1 building wall for a total distance of 5m from pre-dedication property line.</p> <p>We are proposing that the front yard stepback be reduced to 2.5m which when added to the 2.5m road dedication area meets the 5m that would be required if measured from the pre-dedication property line.</p>

SECTION 3 | VARIANCE SUMMARY

ZONING BYLAW REFERENCE	ZONING REQUIREMENT + PROPOSED VARIANCE	VARIANCE RATIONALE
SECTION 13.5 Min. Building Stepback from Flanking Side Yard	SOUTH STEPBACK Zoning Requirement: 3 metres (measured to exterior face of wall closest to property line) Proposed Variance: 0 metres on level 6	RATIONALE LOGIC: Adjacent property changed classification through the design process and stepback is present on west side of project. The project site is also made unique by way of the City owner lot, now road dedication area, directly south of the project. At the outset of the project design this lot was considered a titled property and not a road and the development planning was based on the south side of the property being a side yard. We also understand that Due to the unique and urban nature of the site we are proposing to apply the logic of the UC1 zone stepback requirements (of which there are none) to this project for the viability of the rental apartment units along the south side of the project on level 6, the majority of them being studio units, which would not be functional if reduced in floor area.
SECTION 13.5 Min. Side Yard Setback	NORTH SETBACK Zoning Requirement: 3 metres (measured to exterior face of wall closest to property line) Proposed Variance: 0 metres on level 1 1.5 metres on levels 2-5	The provision of viable neighbourhood commercial amenity (coffee shop) through the consideration of urban centre 1 zone bylaw requirements as they relate to this urban site (refer to note 3). Due to the unique and urban nature of the site we are proposing to apply the logic of the UC1 zone side setback of 0m for the north property line as it allows for both the limited parking layout to be maximized in terms of function as well as allowing for the viability of commercial unit 2 which we is anticipated as a coffee shop. This variance is sought to allow for the viability of the two rental apartment units along the north side of the project which would not be functional if reduced in floor area.
<p>NOTES:</p> <ol style="list-style-type: none"> PRE-APPLICATION MEETINGS: Please note that the variances noted above were reviewed with the City at two separate pre-application meetings in April and August of 2024 where the proposed design (and associated variances) were well received and the design team was encouraged to submit a DP application that did not deviate significantly from what was reviewed. ROAD DEDICATION: Applicable to both the setback and stepback variances proposed on the west side is that Argus is dedicating 2.5 metres from their existing property to a road dedication area required by Development Engineering for what we understand to be for the widening of Pandosy Street. URBAN SITE: The project site has been reviewed by City staff and agreed as being distinct and unique within the MF4 zone as it is not directly adjacent to any other single or multi family development and is bounded on to sides by large, tall, institutional projects as well as fronting onto two busy roads and a lit intersection. 		

ATTACHMENT D

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DP25-0025 DVP25-0026



City of
Kelowna
DEVELOPMENT PLANNING

Planner Initials JI

SECTION 4 | TRANSPORTATION

Argus Properties understands the unique aspects of the newly created MF4 zone, which was ushered in by Provincial legislation and formally introduced into the City of Kelowna Zoning Bylaw in the spring of 2024, regarding parking and has provided the following information noted below to their approach to assist residents of the proposed project.

As a property management company dedicated to sustainability and community enrichment, we recognize the critical role that urban transportation plays in achieving these goals. Encouraging the use of public transportation not only yields significant environmental benefits but also enhances the overall quality of life for our residents and the community at large. Reducing reliance on personal vehicles will alleviate traffic congestion, lower emissions, and foster healthier lifestyles.

To support these objectives, we are committed to making public transportation more accessible and appealing to our residents in the following ways:

- **Proximity to Public Transport:** The building is ideally located within walking distance of the hospital and major bus routes. The nearest bus stop is approximately 10 meters from the property and is served by Route 1, Route 8, Route 11, and Route 97.
- **Subsidized Transit Passes:** We have reached out to Umo, partner with BC Transit, to establish a partnership that will allow us to provide incoming tenants with subsidized transit passes, making public transportation more accessible and convenient.
- **Car-Sharing Programs:** We are currently awaiting proposals from both Modo and Evo to determine which provider will be the best fit for the property, ensuring residents have convenient and reliable car-sharing options.
- **Bike-Friendly Amenities:** The building will include ample bike storage and repair facilities, promoting cycling as a viable mode of transportation.

We respectfully request the city's collaboration in enhancing public transportation infrastructure in the surrounding area to ensure reliable and efficient access for our residents. A coordinated effort between our development team, city planners, and other stakeholders will be instrumental in creating a more sustainable and vibrant downtown Kelowna.

Figure 5: Rendering of South Elevation and Northwest Building Corner Showing Bus Stop Directly North of Project.



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SECTION 5 | NEIGHBOURING INSTITUTIONS

NEIGHBOURING INSTITUTIONS

The project has been developed with its institutional neighbours in mind as early in planning process Argus garnered support for the project as it was fulfilling an acute need for more housing and temporary accommodation in close to proximity of the Hospital district. UBC Okanagan, BC Cancer Foundation, and the Kelowna Hospital Foundation have provided the attached letters of support and collectively they all express the fact that this project will benefit the neighbourhood, the environment, their institutions, and the City. Please see below extracts from each speaking to their support.

Kelowna General Hospital Foundation Letter of Support dated September 13, 2024

Please accept this letter as support of Argus Properties' interest in constructing an extended stay housing development at the intersection of Pandosy Street and Rose Avenue.

This development will help fill the need for temporary accommodations near the BC Cancer Center, for health care professionals and patients.

BC Cancer Foundation Letter of Support dated September 17, 2024

On behalf of BC Cancer Foundation, I am writing to express our strong support for Argus Properties' proposed housing development near Kelowna General Hospital, at the intersection of Rose Avenue and Pandosy Street.

We respectfully request the city's support in enhancing the surrounding public transportation infrastructure to ensure reliable and efficient access for residents. Collaboration between BC Cancer, the Argus development team, and city planning can pave the way for a more sustainable and vibrant downtown area.

UBC Okanagan Letter of Support dated January 15, 2025

I am writing to you on behalf of UBC Okanagan, in support of Argus Properties' housing development near Kelowna General Hospital at the intersection of Rose Avenue and Pandosy.

We kindly request the city's support in promoting Argus' initiative in this area by enhancing the surrounding public transportation infrastructure and ensuring that the residents have reliable and efficient access to public transport options.

BC Cancer Foundation Letter of Support dated January 15, 2025

I am pleased to provide a letter of support for this important initiative, as it addresses a critical gap in our community.

The shortage of affordable housing, particularly for health care professionals and families who require extended stays, has been a growing challenge. Your project will directly help to alleviate this pressure.

We firmly believe that this development will help provide an essential service, strengthening our collective ability to care for those who need it most.

ATTACHMENT		D
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Development Permit & Development Variance Permit

2275 & 2283 Pandosy Street

DP25-0025 DVP25-0026



Purpose

- To issue a Development Permit for the form and character of a mixed-use Apartment Housing project with a Development Variance Permit to vary the front yard setback, flanking side yard setback, side yard setback, front yard stepback, and flanking side yard stepback.

Development Process

Jan 29, 2025 Development Application Submitted



Staff Review & Circulation



Feb 11, 2025 Public Notification Received



Mar 11, 2025 DP & DVP

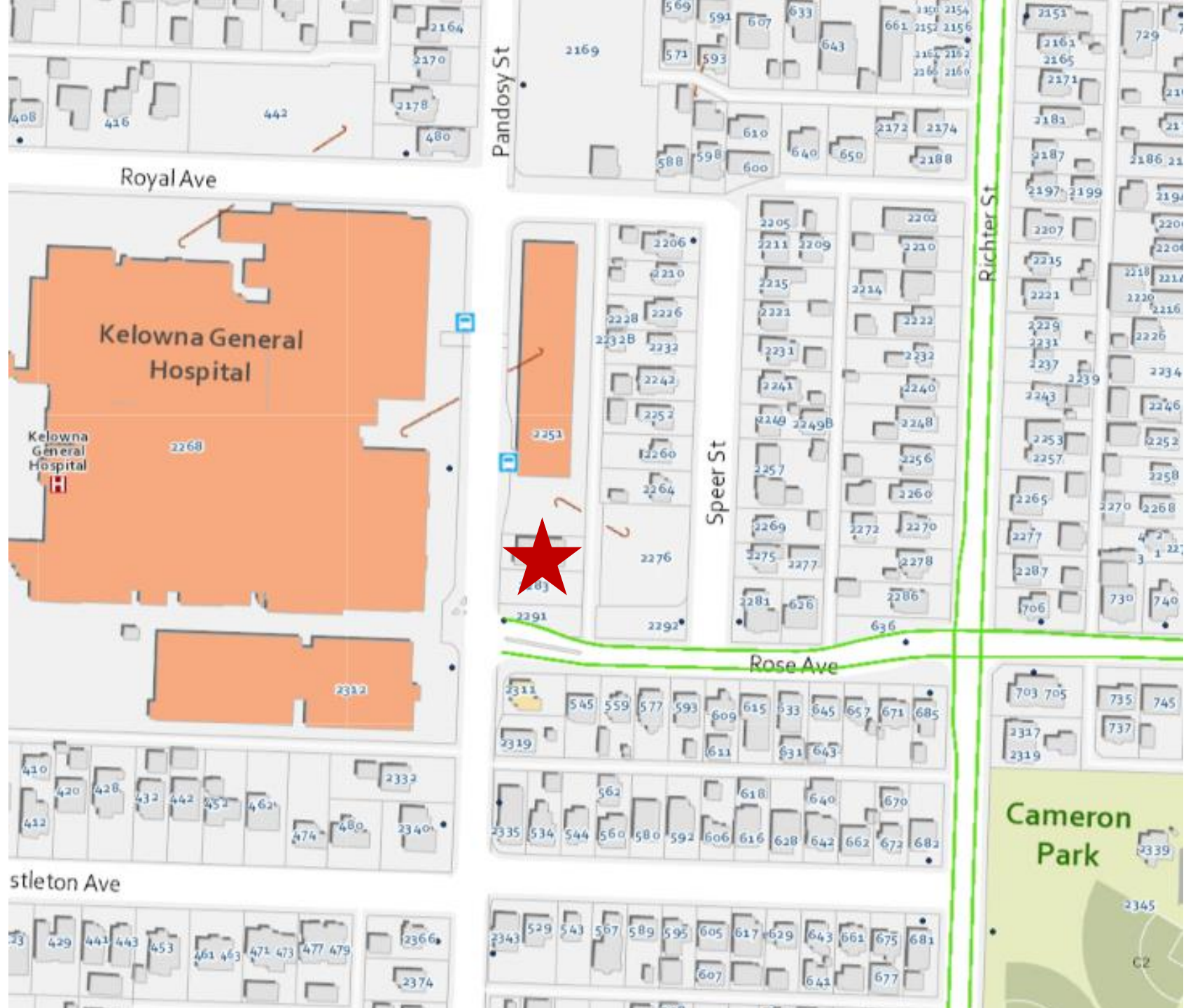
} Council Approvals



Building Permit



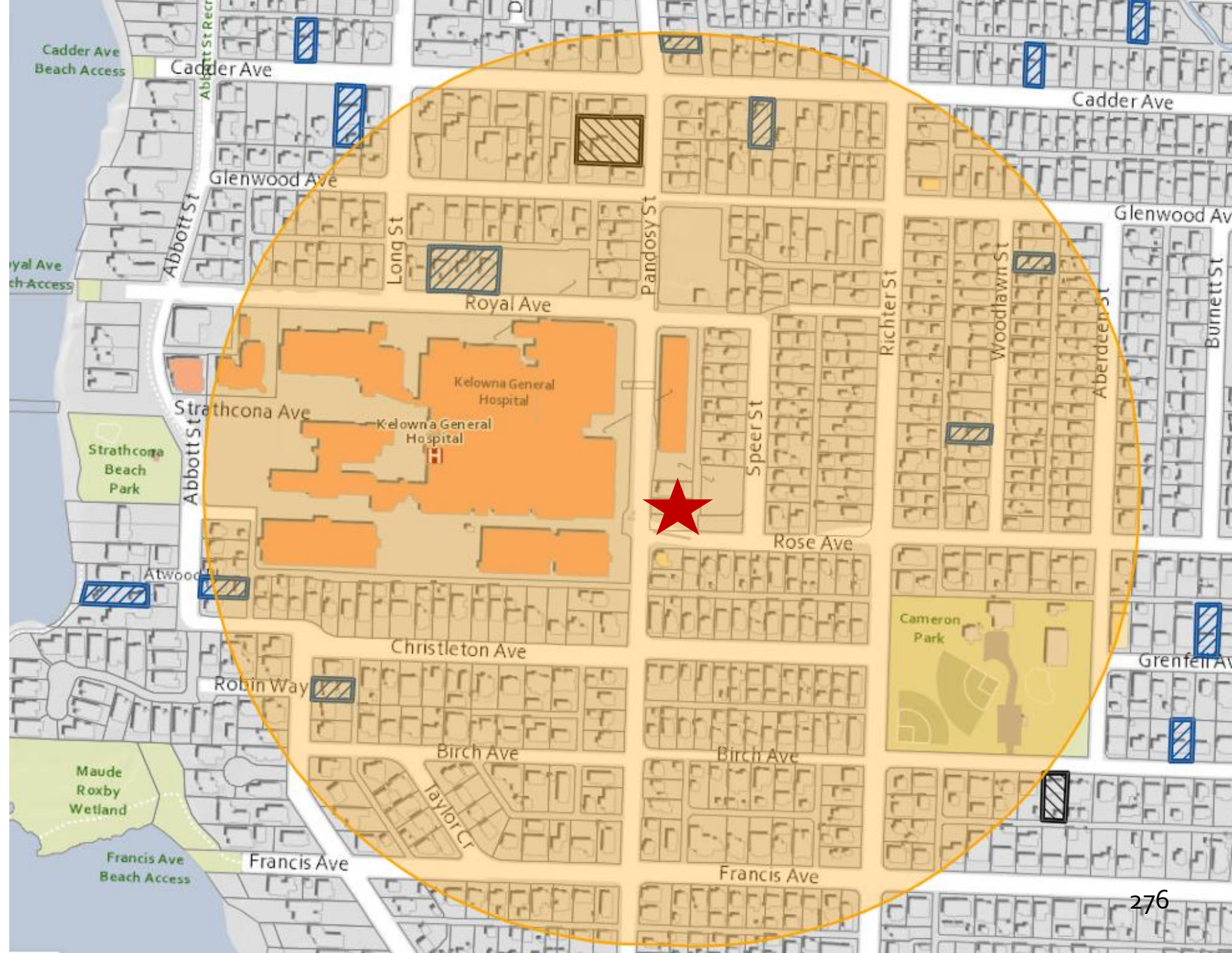
Context Map





Model City

Estimated Population:
1,556
Estimated Jobs:
4000+





Subject Property Map



Technical Details

MF₄ – Transit Oriented Areas

- 6 storeys with 59 units
 - 31 Bachelor
 - 28 One-Bedroom
- 385 m² Commercial (2 commercial retail units)
- 10 Parking Stalls
 - 2 Accessible
 - 8 Commercial
- 60 Bicycle Parking Stalls
 - 14 Short-Term
 - 46 Long-Term

Parking

- Located in a Transit Oriented Areas (TOA)
- Not required to provide parking for residential units
- Site location
 - Fronting two Transit Supportive Corridors
 - Across the street from Kelowna's largest employer
- Applicant working with two car-share companies & BC Transit to provide alternate transportation options for residents
- On-street parking managed in the area with 1-hr time restrictions

Variations

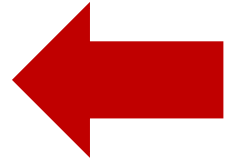
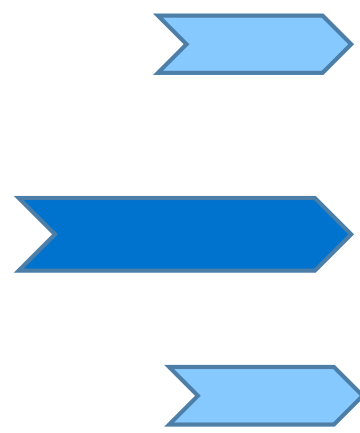
Section 13.5:

- To vary the required minimum flanking side yard setback from 2.0 meters permitted to 0.0 meters proposed.
- To vary the required minimum front yard setback from 2.0 meters permitted to 0.0 meters proposed.
- To vary the required minimum side yard setback from 3.0 meters permitted to 0.0 meters proposed.
- To vary the required minimum building setback from front yard from 3.0 meters permitted to 2.5 meters proposed.
- To vary the required minimum building setback from flanking side yard from 3.0 meters permitted to 0.0 meters proposed.

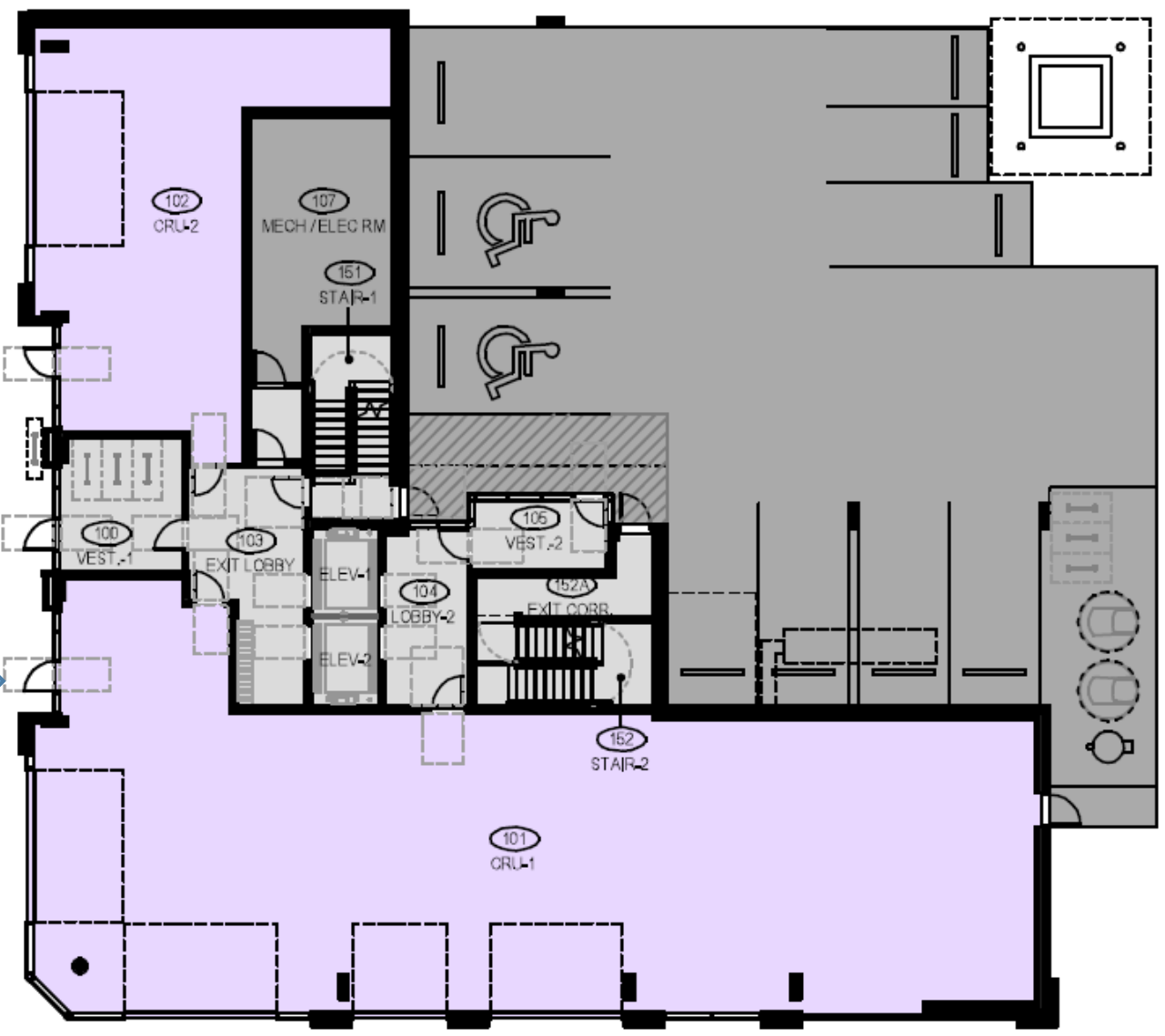
Site Plan



Pandory St



Lane

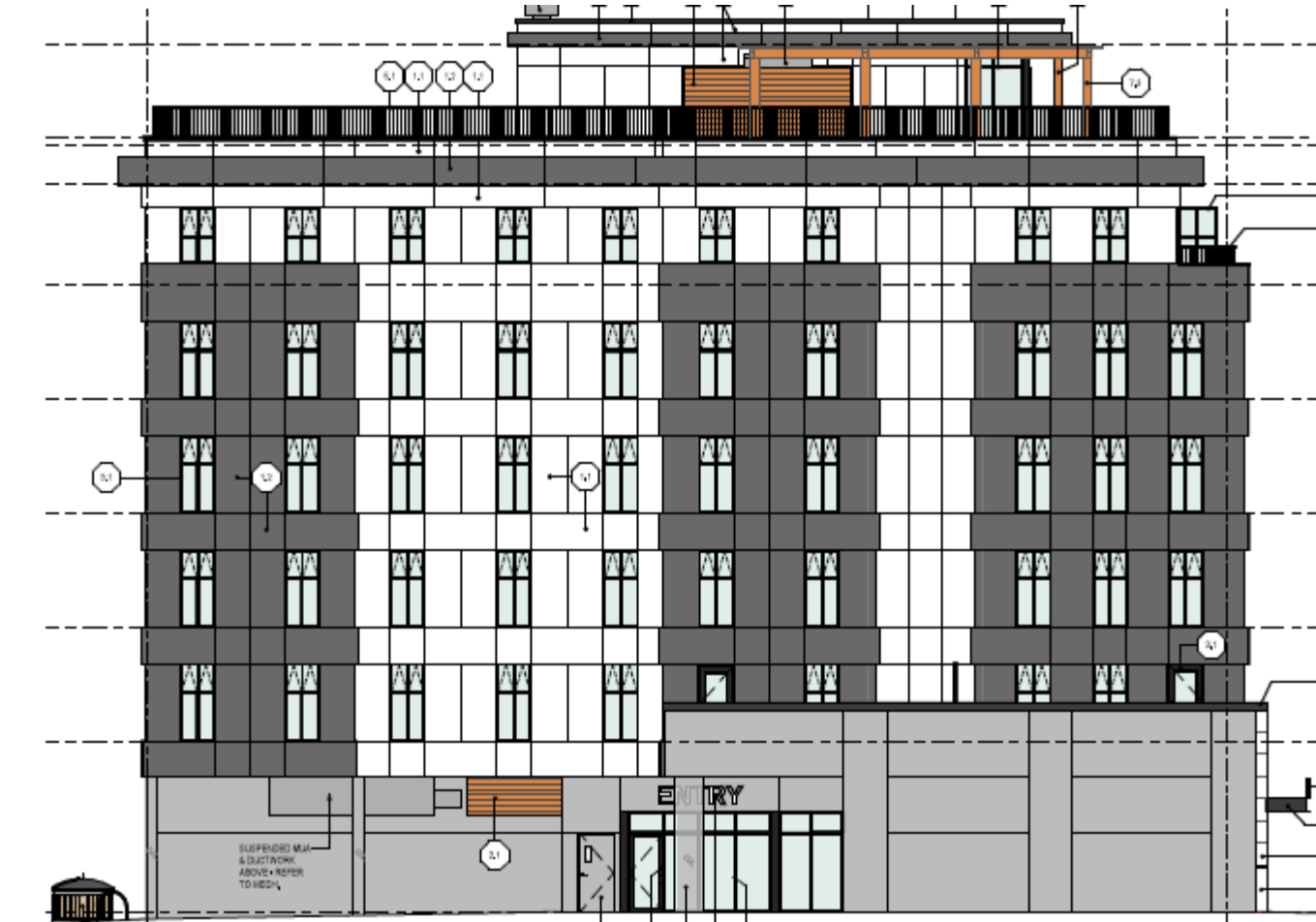


Rose Ave

Elevation (West)



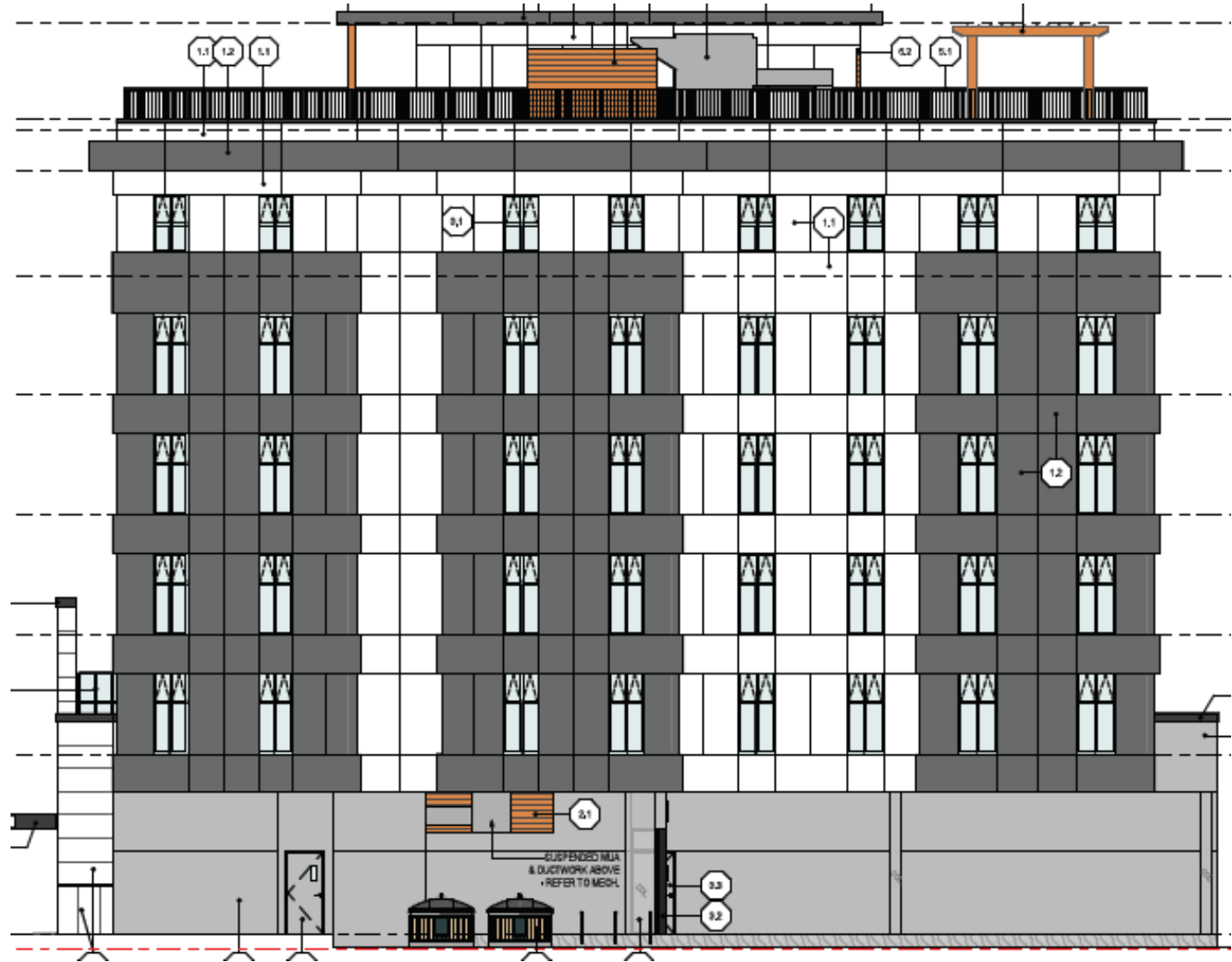
Elevation (North)



Elevation (South)





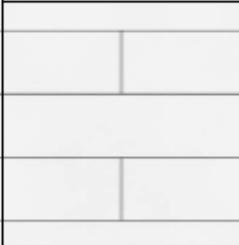






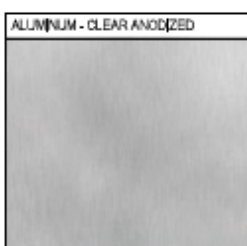
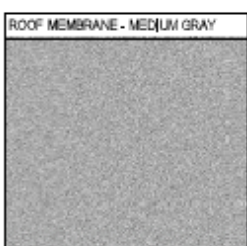
Elevation (East)



Materials Board



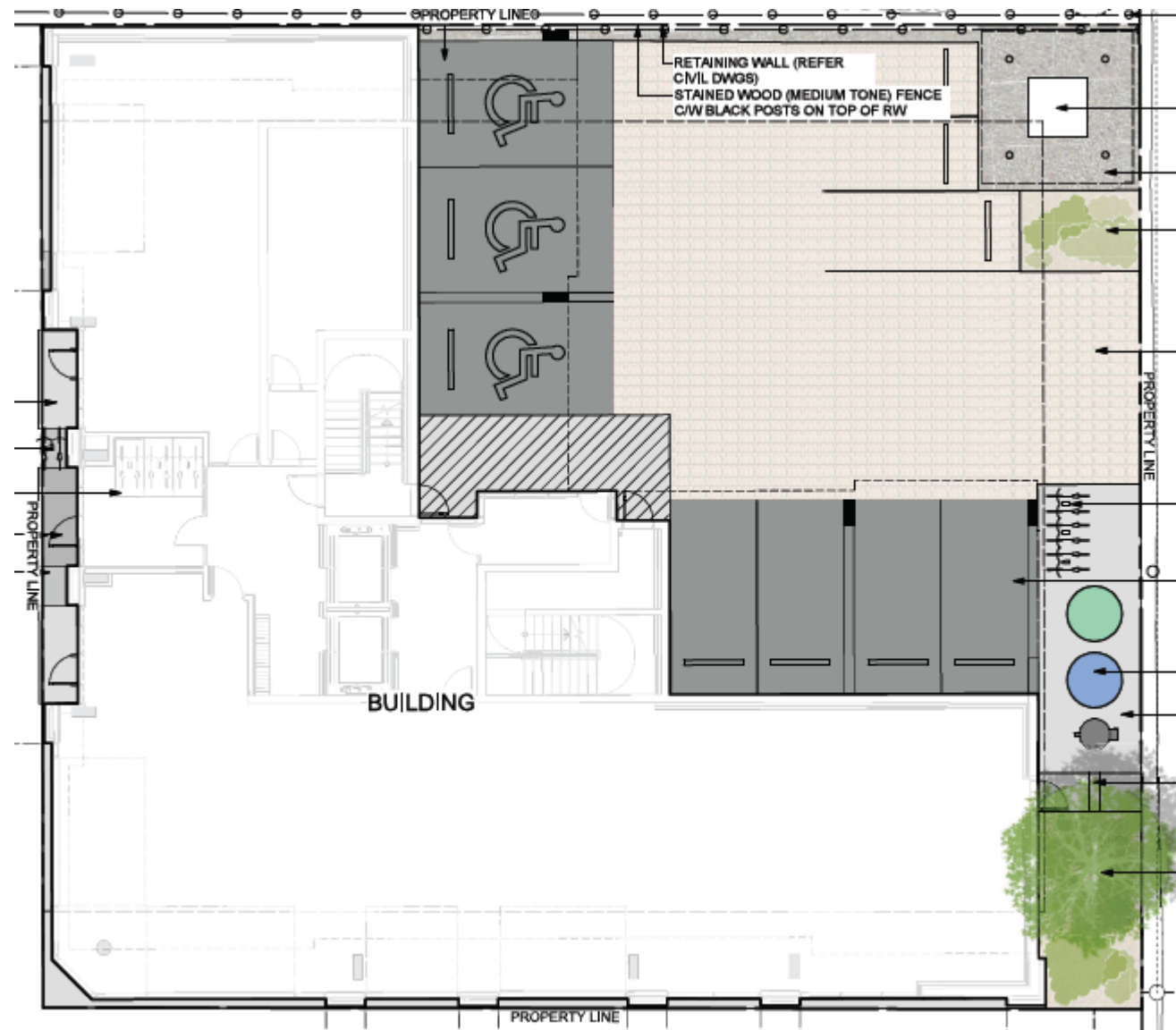
BUILDING ELEVATION MATERIAL SCHEDULE

<p>FIBRE CEMENT PANEL - WHITE / LIGHT</p>  <p>1,1, 2,2</p>	<p>FIBRE CEMENT PANEL - BLK / D, GRAY</p>  <p>1,2, 2,3</p>	<p>STONE TILE PANEL - WHITE / LIGHT</p>  <p>1,3</p>
<p>WOOD LOOK PANEL</p>  <p>1,4, 2,1, 6,2</p>	<p>VINYL - BLACK</p>  <p>3,1</p>	<p>CONCRETE - NATURAL</p>  <p>1,5, 3,3, 4,2</p>
<p>METALS - BLACK</p>  <p>4,3, 4,4, 5,1, 5,2, 7,4</p>	<p>METALS - WHITE</p>  <p>3,3, 4,4, 7,5</p>	<p>ALUMINUM - BLACK ANODIZED</p>  <p>3,2, 3,4, 6,1, 6,4</p>
<p>ALUMINUM - CLEAR ANODIZED</p>  <p>8,3</p>	<p>ROOF MEMBRANE - MEDIUM GRAY</p>  <p>4,1</p>	



Landscape Plan

Pandosy St



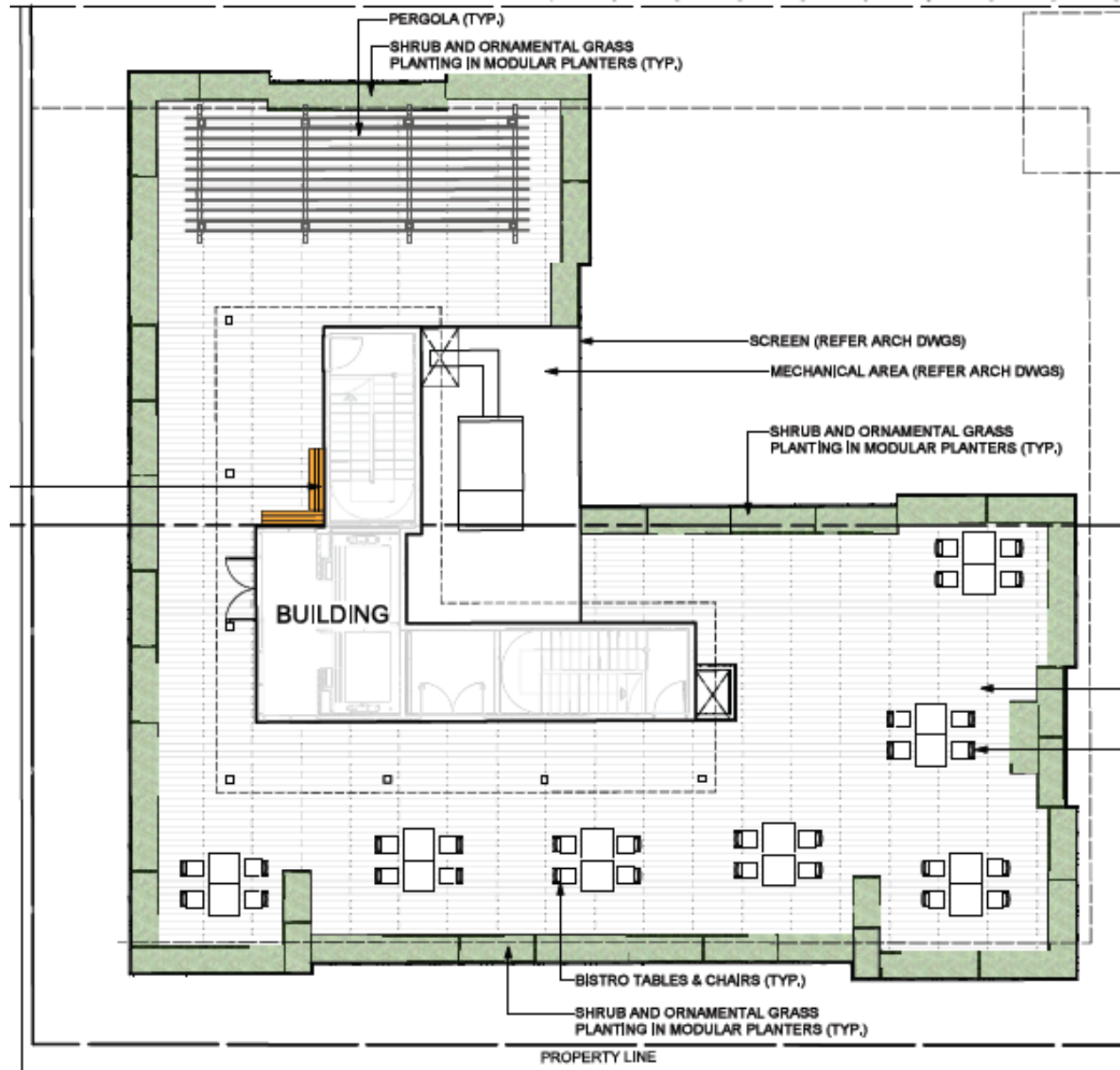
Lane

Rose Ave



Landscape Plan (rooftop)

Pandosy St



Lane

Rose Ave

Rendering SW



Rendering West



Rendering South



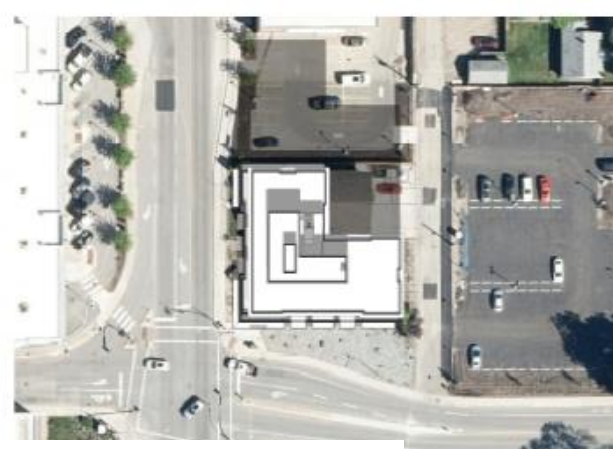
Rendering SW



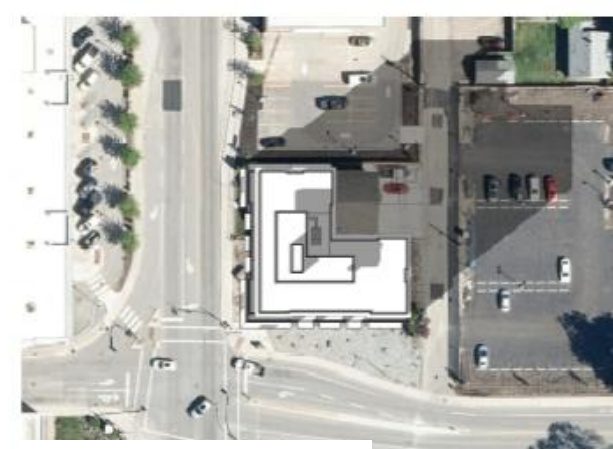
Shadow Study



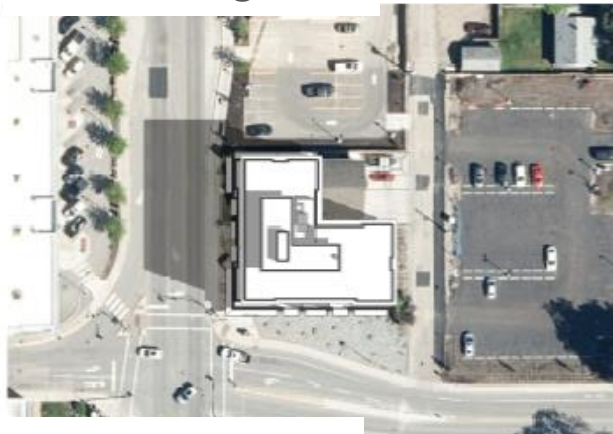
March 21: 9 am



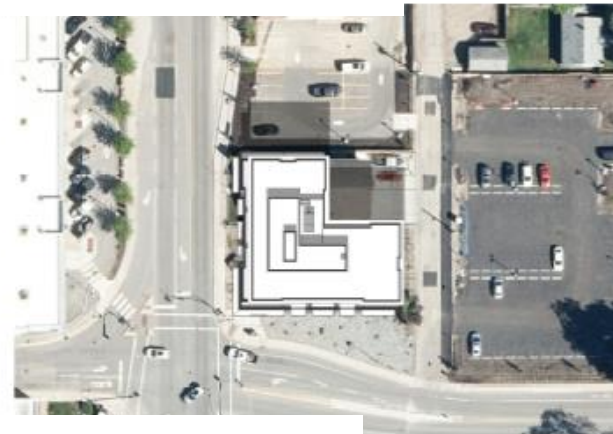
March 21: 12 noon



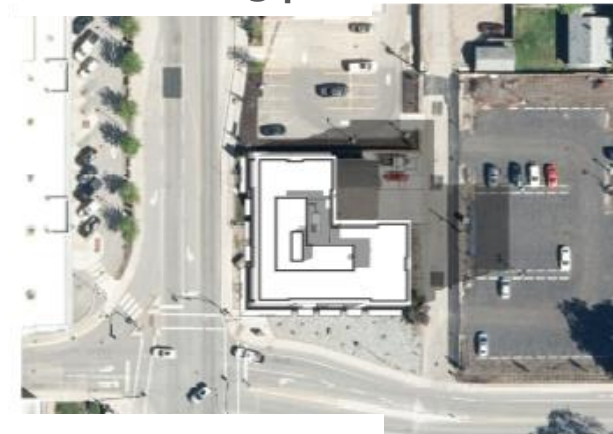
March 21: 3 pm



June 21: 9 am



June 21: 12 pm



June 21: 3 pm



Dec 21: 10 am



Dec 21: 12 pm



Dec 21: 2 pm

OCP Design Guidelines

- On corner sites, orient building facades and entries to both fronting streets;
- Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view;
- Design primary entrances to face the street, exhibit design emphasis, and provide weather protection by means of canopy or recessed entry.

Staff Recommendation

- Staff recommend support for the proposed development permit and development variance permit as it:
 - Meets several OCP Design Guidelines
 - Variances mitigated by Urban Centre style development appropriate in context