

City of Kelowna
Regular Council Meeting
AGENDA



Monday, February 10, 2025
1:30 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca.

2. Confirmation of Minutes

5 - 10

PM Meeting - January 27, 2025

3. Development Application Reports & Related Bylaws

3.1 Updates to Zoning Bylaw No. 12375 to Allow Secondary Suites in Townhouses - TA24-0017 (BL12751)

11 - 31

To amend the Zoning Bylaw by allowing secondary suites as a permitted use in Townhouses.

3.2 Supplemental Report TA24-0021 Bylaw 12742

32 - 36

To consider Zoning Bylaw text amending Bylaw No. 12742 as revised.

3.3 Glenmore Dr 1210, 1220, and 1226 - Z24-0059 (BL12747) - City of Kelowna

37 - 57

To rezone the subject properties from the MF₁ – Infill Housing zone to the MF_{3r} – Apartment Housing Rental Only zone to facilitate the development of apartment housing.

3.4 Stillingfleet Rd 2236 - Z24-0047 (BL12749) - Kevin and Jacqueline Fierbach

58 - 78

To rezone the subject property from the MF₁ – Infill Housing zone to the MF₂ – Townhouse Housing zone to facilitate a townhouse development.

- 3.5 Stillingfleet Rd 2248 - Z24-0048 (BL12750) - 2248 Stillingfleet Road Inc.** 79 - 99
- To rezone the subject property from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone to facilitate a townhouse development.
- 3.6 Laurier Ave 964 - Z24-0057 (BL12752) - 608698 B.C. Ltd., Inc.No. BCo608698** 100 - 116
- To rezone the subject property from the MF1b – Infill Housing with Boarding or Lodging House zone to the MF1cc – Infill Housing with Child Care Centre, Major zone to facilitate a child care centre.
- 3.7 Rezoning Bylaws Supplemental Report to Council** 117 - 118
- To receive a summary of notice of first reading for Rezoning Bylaw No. 12740 and Zoning Bylaw Text Amending Bylaw No. 12741 and to give the bylaws further reading consideration.
- 3.8 Rezoning Applications**
- To give first, second and third reading to a rezoning application.
- 3.8.1 Laurier Ave 962 - BL12740 (Z24-0049) - 608698 B.C. Ltd., Inc.No. BCo608698** 119 - 119
- To give Bylaw No. 12740 first, second and third reading in order to rezone the subject property from the MF1b – Infill Housing with Boarding or Lodging House zone to the MF1cc – Infill Housing with Child Care Centre, Major zone.
- 3.9 Text Amendment Applications**
- To give first, second and third reading and adopt a site-specific Zoning Bylaw text amendment application.
- 3.9.1 Valley Road N 212 - BL12741 (TA24-0014) - City of Kelowna** 120 - 120
- To give Bylaw No. 12741 first, second and third reading and adopt in order to amend the Zoning Bylaw to allow 'Temporary Shelter Services' as a principal use on the subject property.
- 3.10 St. Amand Rd 3200 - BL12690 (Z24-0002) - Acacia Garden Properties Development Corp., Inc.No. BC1440521** 121 - 121
- To amend and adopt Bylaw No. 12690 in order to rezone the subject properties from the MF1 - Infill Hosing zone to the MF2 - Townhouse Housing zone.

3.11	St Amand Rd 3200 - DP24-0016 - Acacia Garden Properties Development Corp., Inc. No	122 - 184
	To issue a Development Permit for the form and character of a townhouse development.	
3.12	Wilkinson St 2160 - BL12732 (Z24-0042) - Wilkinson St Holdings Ltd., Inc.No. BC1321697	185 - 185
	To adopt Bylaw No. 12732 in order to rezone the subject property from the MF1 – Infill Housing zone to the MF3r – Apartment Housing Rental Only zone.	
3.13	Wilkinson St 2160 - DP24-0150 - Wilkinson St Holdings Ltd Inc. No. BC1321697	186 - 233
	To issue a Development Permit for the form and character of a four-storey rental supportive housing apartment development.	
3.14	Badke Rd 765 - DP24-0039 - Kerr Properties 002 Ltd., Inc. No. BCo813930	234 - 286
	To issue a Development Permit for the form and character of a rental apartment housing development.	
3.15	Hollywood Rd N 673 and McWilliams Rd 595 - Z23-0083 - Extension Request	287 - 288
	To extend the deadline for adoption of Rezoning Bylaw No.12628 from March 18, 2025 to March 18, 2026.	
4.	Bylaws for Adoption (Development Related)	
4.1	Glenmore Dr 1256, 1260,1270 - BL12708 (Z24-0029) - Various Owners	289 - 289
	To adopt Bylaw No. 12708 in order to rezone the subject properties from the MF1 – Infill Housing zone to the MF3 – Apartment Housing zone.	
4.2	Brookside Ave 1230 - BL12737 (Z24-0054) - City of Kelowna	290 - 290
	To adopt Bylaw No. 12737 in order to rezone the subject property from the UC2 – Capri-Landmark Urban Centre zone to the UC2r – Capri-Landmark Urban Centre Rental Only zone.	
4.3	Enterprise Way 2009 - BL12738 (Z24-0052) - WGP-241 Holdings Ltd., Inc.No. 665182	291 - 291
	To adopt Bylaw No. 12738 in order to rezone the subject property from the CA1 – Core Area Mixed Use zone to the CA1rcs – Core Area Mixed Use Retail Cannabis Sales zone.	

5. Non-Development Reports & Related Bylaws

5.1	Proposed Renaming of a Section of Frost Road to Frost Crescent	292 - 298
	To rename a portion of Frost Road to Frost Crescent to ensure continuity in the City's addressing grid.	
5.2	2024 Review Planning and Development Statistics	299 - 317
	This report updates Council on building and development Statistics for 2024.	
5.3	Housing Targets - Interim Report	318 - 342
	To receive the Interim Housing Targets Report to fulfill legislative requirements.	
5.4	Property Management Delegation of Authority 2025	343 - 351
	To update Council on the use of the Delegation of Authority to Enter into Leases and Licenses of Occupation in 2024.	
5.5	Traffic Calming Policy Update	352 - 370
	To adopt the updated Council Policy No. 300, retitled Neighbourhood Traffic Calming Program.	
5.6	UBCM Regional Grant Funding Application - Emergency Support Services Equipment and Training Grant	371 - 372
	To support the Regional Emergency Management Program to apply for and manage a joint application to the UBCM Community Emergency Preparedness Fund – Emergency Support Services Equipment and Training grant on behalf of the City of Kelowna and other Central Okanagan local jurisdictions.	
5.7	Growing Canada's Community Canopies Grant 2025	373 - 375
	To inform Council of the Growing Canada's Community Canopies Grant, and to receive support to apply for the grant funding.	
6.	Mayor and Councillor Items	
7.	Termination	



**City of Kelowna
Regular Council Meeting
Minutes**

Date:	Monday, January 27, 2025
Location:	Council Chamber City Hall, 1435 Water Street
Members Present	Mayor Tom Dyas, Councillors Ron Cannan, Maxine DeHart, Gord Lovegrove, Luke Stack, Rick Webber and Loyal Wooldridge
Members Participating Remotely	Councillors Charlie Hodge and Mohini Singh
Staff Present	City Manager, Doug Gilchrist; City Clerk, Laura Bentley; Divisional Director, Planning, Climate Action & Development Services, Ryan Smith*; Development Planning Department Manager, Nola Kilmartin*; Development Planning Manager, Alex Kondor*; Planner, Sara Skabowski*; Social Development Supervisor, Stephanie Martin*; Planner, Graham Allison*; Housing Policy and Programs Manager, James Moore*; Social Development Manager, Colleen Cornock*; Corporate Strategy & Performance Department Manager, Mike McGreer*; Legislative Technician, Natasha Beauchamp
Staff Participating Remotely	Legislative Coordinator (Confidential), Arlene McClelland
Guest Participating Remotely	Matt Thomson, Urban Matters*

(* Denotes partial attendance)

1. Call to Order

Mayor Dyas called the meeting to order at 1:30 p.m.

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca.

2. Confirmation of Minutes

Moved By Councillor Wooldridge/Seconded By Councillor Lovegrove

THAT the Minutes of the Regular Meetings of January 20, 2025 be confirmed as circulated.

Carried

3. Development Application Reports & Related Bylaws

3.1 Brentwood Rd 1850 - A24-0010 - 1311485 BC Ltd., Inc. No. BC1311485

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Wooldridge/Seconded By Councillor Singh

THAT Agricultural Land Reserve Application No. A24-0010 for Lot 1, Section 18, Township 27, ODYD, Plan 32945, located at 1850 Brentwood Road, Kelowna, BC for a Soil and Fill Use in the Agricultural Land Reserve pursuant to Section 20.3 of the *Agricultural Land Commission Act*, be supported by Council;

AND THAT Council directs staff to forward the subject application to the Agricultural Land Commission for consideration.

Carried
Councillor Hodge - Opposed

3.2 Laurier Ave 962 - Z24-0049 (BL12740) - 608698 B.C. Ltd., Inc. No. BCo608698

Staff:

- Displayed a PowerPoint Presentation summarizing the application and commented on the amendment to the legal description from Lot B to Lot A.

Moved By Councillor Stack/Seconded By Councillor Wooldridge

THAT Rezoning Application No. Z24-0049 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot A District Lot 138 ODYD PLAN KAP64260, located at 962 Laurier Ave, Kelowna, BC from the MF1b – Infill Housing with Boarding or Lodging House zone to the MF1cc – Infill Housing with Child Care Centre, Major zone, be considered by Council;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure.

Carried

3.3 Rezoning Bylaws Supplemental Report to Council

Staff:

- Commented on notice of first reading and correspondence received.

3.4 Rezoning Applications

3.4.1 Brookside Ave 1230 - BL12737 (Z24-0054) - City of Kelowna

3.4.2 Enterprise Way 2009 - BL12738 (Z24-0052) - WGP-241 Holdings Ltd., Inc. No. 665182

Moved By Councillor Wooldridge/Seconded By Councillor Lovegrove

THAT Bylaw Nos. 12737 and 12738 each be read a first, second and third time.

Carried

3.5 Rezoning and Text Amendment Applications

3.5.1 Wardlaw Ave 667, 681 - BL12736 (Z24-0039) - 15017807 Canada Inc., Inc. No. A0127722

3.5.2 Rutland Rd N 920 - BL12739 (TA24-0011) - Amarjit Kaur Dhani and Sukhbir Singh Dhani

Moved By Councillor Lovegrove/Seconded By Councillor Wooldridge

THAT Bylaw Nos. 12736 and 12739 each be read a first, second and third time and be adopted.

Carried

3.6 Jim Bailey Rd 8999 - LL24-0014 - Britannia Brewing Lake Country Company Corp., Inc. No. BC1275857

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Moved By Councillor Webber/Seconded By Councillor Cannan

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):
In accordance with 'Division 9 (71)' of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

1. Council recommends support of an application from Britannia Brewing for a license amendment for Lot 1 Section 2 Township 20 ODYD PLAN EPP98124, located at 8999 Jim Bailey Rd, Kelowna, BC for the following reasons:
 - o The proposed structural change is perceived to be minor in nature and the RCMP do not have any comments.
2. Council's comments on LCRB's prescribed considerations are as follows:
 - o The potential for noise if the application is approved:

The anticipated noise impact is minimal, given that the property is situated within an industrial zone. The outdoor patio and picnic areas are limited to 11:00 PM, which is consistent with other licensed patio areas in the City. The business is required to adhere to the City's Good Neighbour Bylaw.

- o The impact on the community if the application is approved:

The impact on the community is anticipated to be minimal as the hours of operation will remain the same and the property is not in close proximity to residential uses.

3. The views of residents are summarized in the Staff report for the subject application. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures."

Carried

4. Bylaws for Adoption (Development Related)

4.1 Badke Rd 765 - BL12692 (Z24-0021) - Kerr Properties 002 Ltd., Inc. No. BCo813930

Moved By Councillor Wooldridge/Seconded By Councillor Lovegrove

THAT Bylaw No. 12692 be adopted.

Carried

5. Non-Development Reports & Related Bylaws

5.1 Kelowna Housing Action Plan

Staff:

- Displayed a PowerPoint Presentation summarizing the outcomes, objectives and actions of the Housing Action Plan and responded to questions from Council.

Moved By Councillor Wooldridge/Seconded By Councillor Webber

THAT Council receives for information the final report from the Housing Policy and Programs and Social Development Departments, dated January 27, 2025, regarding the Housing Action Plan;

AND THAT Council endorses the Housing Action Plan, as described in the report from the Housing Policy and Programs and Social Development Departments, dated January 27, 2025;

AND FURTHER THAT Council directs staff to advance the objectives and actions of the Housing Action Plan and report back to Council as needed, as described in the report from the Housing Policy and Programs and Social Development Departments, dated January 27, 2025.

Carried

The meeting recessed at 2:49 p.m.

The meeting reconvened at 2:57 p.m.

5.2 Progress Report on Council Priority Actions

Staff:

- Displayed a PowerPoint Presentation summarizing the performance management program and an update on the status of Council Priority actions and responded to questions from Council.

Moved By Councillor DeHart/Seconded By Councillor Wooldridge

THAT Council receives, for information, the progress report on Council priority actions from the Corporate Strategy & Performance Department dated January 27, 2025.

Carried

6. Resolutions

6.1 Mayor Dyas - Draft Resolution

Mayor Dyas:

- Provided comments on the purpose and intent of the draft resolution regarding current building podiums and responded to questions from Council.

Staff:

- Responded to questions from Council.

Moved By Councillor Wooldridge/Seconded By Councillor Lovegrove

THAT Council directs staff to review and report to Council on current building podium policies, guidelines and requirements as outlined in the 2040 Official Community Plan and Zoning Bylaw No. 12375.

Carried

Mayor Dyas:

- Provided comments on the purpose and intent of the draft resolution regarding micro suites and responded to questions from Council.

Staff:

- Responded to questions from Council.

Moved By Councillor Lovegrove/Seconded By Councillor Webber

THAT Council directs staff to review current micro suite building policies and requirements as outlined in the City of Kelowna's Official Community Plan and Zoning Bylaw No. 12375.

Carried

6. Resolutions

6.2 City Clerk, Draft Resolution re: SILGA Executive Nomination

Moved By Councillor Wooldridge/Seconded By Councillor DeHart

THAT Council supports Councillor Lovegrove's nomination for election to the 2025-26 Southern Interior Local Government Association Executive.

Carried

7. Bylaws for Adoption (Non-Development Related)

7.1 BL12744 - Maintenance of Boulevards

Moved By Councillor Webber/Seconded By Councillor DeHart

THAT Bylaw No. 12744 be adopted.

Carried

7.2 BL12745 - Amendment No. 38 to Bylaw Notice Enforcement Bylaw No. 10475

Moved By Councillor DeHart/Seconded By Councillor Webber

THAT Bylaw No. 12745 be adopted.

Carried

7.3 BL12746 - Amendment No. 1 to Development Cost Charge Bylaw No. 12420

Moved By Councillor DeHart/Seconded By Councillor Cannan

THAT Bylaw No. 12746 be adopted.

Carried

8. Mayor and Councillor Items

Mayor Dyas:

- Provided remarks addressing today's Bennett Bridge incident and the response measures to ensure public safety and re-opening of the Bridge.
- Commented on a recent tour of the Red Fish Healing Centre located in the lower mainland and the advocacy for establishing a similar facility in the Interior.

Councillor Singh:

- Commented on the LEED Gold certification for the Parc Retirement Living building at KLO Road and Pandosy Street.

Councillor DeHart:

- Spoke to their attendance at the Push-In and Wash-Down ceremony for two new fire trucks at the Kelowna Fire Department.

Councillor Lovegrove:

- Spoke to their attendance at the Push-In and Wash-Down ceremony for two new fire trucks at the Kelowna Fire Department.
- Expressed Lunar New Year greetings.

Councillor Cannan:

- Spoke to their attendance at the Kelowna Kasugai Sister City Annual Board Meeting and commented on the upcoming visit of students from Kasugai.
- Will be attending Tourism Kelowna Board Meeting on Wednesday, January 22, 2025.
- Commented on the Annual Heart of Hospitality Awards on January 23, 2025.
- Expressed Lunar New Year greetings.

Councillor Hodge:

- Provided reasons for not supporting the Brentwood Road Agricultural Land Reserve application.
- Expressed support for Councillor Lovegrove running for SILGA Executive.

9. Termination

This meeting was declared terminated at 3:35 p.m.

Mayor Dyas

/acm



City Clerk

REPORT TO COUNCIL TEXT AMENDMENT



Date: February 10, 2025
To: Council
From: City Manager
Address: n/a
File No.: TA24-0017

1.0 Recommendation

THAT Zoning Bylaw Text Amendment Application No. TA24-0017 to amend the City of Kelowna Zoning Bylaw No. 12375 as outlined in Schedule "A" attached to the Report from the Housing Policy and Programs Department dated February 10, 2025, be considered by Council;

AND THAT final adoption of the Zoning Bylaw Text Amending Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure.

2.0 Purpose

To amend the Zoning Bylaw by allowing secondary suites as a permitted use in Townhouses.

3.0 Background

The BC Building Code was updated in December 2019 to allow the construction of secondary suites in townhouses. Secondary suites are still prohibited in building forms where units are "stacked" (located above and below each other), like stacked townhouses and apartment buildings.

4.0 Development Planning

In support of housing supply and diversity initiatives, staff are recommending that Council advance the proposed text amendments to the City's townhouse and urban centre zones in order to allow secondary suites as a permitted use in more forms of housing. These changes would give townhouse owners the opportunity to have a secondary suite as a mortgage-helper or for more flexible housing opportunities (ex: ageing in place, accommodating multi-generational families etc.).

The proposed amendments are also consistent with several key policy directions and funding commitments. More specifically, the Housing Action Plan identifies the expansion of opportunities for secondary suites in townhouses (Action #2.5) as a way to provide additional rental housing and as a mortgage helper for owners.

Housing Accelerator Fund Initiative #1: Infill aims to allow the development of missing middle housing across more of the city and accelerate its development through regulatory and process changes. Updating secondary suite regulations to align with BC Building Code changes was identified as a specific action to implement as a part of this initiative.

The proposed amendments align with the Official Community Plan (OCP) as allowing secondary suites in townhouses facilitates more housing diversity that supports a variety of households, incomes, and life stages. OCP Policy specifically identifies support for ground-oriented units within the design of multi-family developments like townhouses.

In addition, the proposed changes create more consistency in the City’s regulations. Several other zones (ex: MF4 and MF1) already allow secondary suites in townhomes. The proposed changes put the MF2 – Townhouse Housing zone and the Urban Centre zones on equal footing.

Stratification of secondary suites is prohibited by the Zoning Bylaw, meaning that secondary suites in townhouses could not be sold individually as a separate real estate entity. Secondary suites in townhouses would be required to provide a minimum of 1 parking stall per unit, which would be consistent with parking regulations in other zones that allow secondary suites.

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

The Big Picture: 10 Pillars to Realize our Vision	
Promote More Housing Diversity: One of Imagine Kelowna’s goals is to build healthier neighbourhoods that support a variety of households, incomes, and life stages. Having the housing that Kelowna citizens need is critical to achieving this goal. With this in mind, the Official Community Plan signals a wider variety of housing types and not just single family homes or small apartments. This housing is focused in areas where residents have easier access to jobs, amenities, transit and active transportation routes. In addition, this Official Community Plan supports more rental housing options.	

Objective 5.11 Increase the diversity of housing forms and tenure to create an inclusive, affordable and complete core area.	
Policy 5.11.1 Diverse Housing Forms	Ensure a diverse mix of low and medium density housing forms in the Core Area to support a variety of household types and sizes, income levels, and life stages. <i>Allowing suites in townhouses provides the opportunity for additional housing forms.</i>
Policy 5.11.3 Ground Oriented Housing	Incorporate ground-oriented units in the design of multi-family developments in the Core Area to support a variety of household types and sizes. <i>Suites in townhouses would allow additional ground-oriented units to be provided within multi-family developments.</i>

5.2 Housing Action Plan

Action 2.5 – Expand opportunities for secondary suites in townhomes in alignment with BC Building Code.

Secondary Suites are a useful tool to provide gentle density to established neighbourhoods. They provide rental housing and opportunities for owners to have a mortgage-helper. The City has taken several steps to support the development of secondary suites including a simplified online web portal and materials for homeowners. The City is looking to increase the development of secondary suites by allowing them in all zones that allow townhouses (e.g. MF2 – Townhouse Housing zone).

Report prepared by: Mark Tanner, Planner Specialist
Reviewed by: James Moore, Housing Policy and Programs Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

Internal Circulation:
 Development Planning

Attachments:

Schedule 'A': Proposed Text Amendment to Zoning Bylaw No. 12375

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

Schedule A – Proposed Text Amendment

No.	Section	Current Wording					Proposed Wording					Reason for Change
			MF1	MF2	MF3	MF4		MF1	MF2	MF3	MF4	
1.	Section 13 – Multi-Dwelling Zones, Section 13.3 Permitted Land Uses	Secondary Suites	S	-	-	S	Secondary Suites	S ^{.11}	S ^{.11}	-	S ^{.11}	To allow secondary suites as a permitted uses in townhouses in the MF2 zone.
2.	Section 13 – Multi-Dwelling Zones, Section 13.3 Permitted Land Uses	N/A					. ¹¹ Secondary Suites are only permitted within Single Detached Housing, Semi-Detached Housing and Townhouses.					To limit secondary suites to Single Detached Housing, Semi-Detached Housing and Townhouses within the MF1, MF2 and MF4 zones.
3.	Section 14 – Core Area & Other Zones, Section 14.9 Principal and Secondary Land Uses	. ¹¹ Secondary Suites are only permitted within Single Detached Housing.					. ¹¹ Secondary Suites are only permitted within Single Detached Housing and Townhouses. The maximum net floor area of a Secondary Suite is 90 m ² .					To allow secondary suites within Townhouses in the Urban Centre zones.
4.	Section 8 – Parking and Loading, Section 8.3 Required Off-Street Parking Requirements, Table 8.3 – Required Residential Off-Street Parking Requirements	See Chart A					See Chart B					To require one off-street parking stall per secondary suite in Townhouses.

Chart A

Original – Table 8.3 - Required Residential Off-Street Parking Requirements

Table 8.3 – Required Residential Off-Street Parking Requirements					
Location of Residential Development	Required Parking by Unit Type				Visitor Parking Required ^{.1, .2}
	Studio Units	1 – bedroom Units	2 – bedroom Units	3 – bedroom or more Units	
Dwelling Units within an Urban Centre Zone ^{.5, .8}	Min 0.8 spaces & Max 1.25 spaces per studio	Min 0.9 spaces & Max 1.25 spaces per 1 bedroom	Min 1.0 space & Max 1.5 spaces per 2 bedroom	Min 1.0 space & Max 1.5 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units within a Village Centre Zone	Min 0.9 spaces & Max 1.25 spaces per studio	Min 1.0 space & Max 1.25 spaces per 1 bedroom	Min 1.1 spaces & Max 1.6 spaces per 2 bedroom	Min 1.4 spaces & Max 2.0 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units within the MF1 Zone ^{.8}	Min 1.0 space & Max 1.5 spaces per studio ^{.10}	Min 1.0 space & Max 1.5 spaces per 1 bedroom ^{.10}	Min 1.0 space & Max 1.5 spaces per 2 bedroom ^{.10}	Min 1.0 space & Max 2.0 spaces per 3 bedroom ^{.10}	n/a
Dwelling Units for lots fronting a Transit Supportive Corridor ^{.8, .9}	Min 0.9 spaces & Max 1.25 spaces per studio	Min 1.0 space & Max 1.25 spaces per 1 bedroom	Min 1.1 spaces & Max 1.6 spaces per 2 bedroom	Min 1.4 spaces & Max 2.0 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units for lots within the Core Area ^{.8, .9}	Min 1.0 space & Max 1.25 spaces per studio	Min 1.2 spaces & Max 1.6 spaces per 1 bedroom	Min 1.4 spaces & Max 2.0 spaces per 2 bedroom	Min 1.6 spaces & Max 2.2 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units for lots outside the Core Area with 4 or less dwelling units	Min 1.25 space & Max 1.5 spaces per studio ^{.10}	Min 1.25 space & Max 1.5 spaces per 1 bedroom ^{.10}	Min 1.25 space & Max 1.5 spaces per 2 bedroom ^{.10}	Min 1.25 space & Max 2.0 spaces per 3 bedroom ^{.10}	n/a
Dwelling Units for lots outside the Core Area with 5 or more dwelling units	Min 1.0 space & Max 1.25 spaces per studio ^{.10}	Min 1.25 spaces & Max 1.6 spaces per 1 bedroom ^{.10}	Min 1.5 spaces & Max 2.0 spaces per 2 bedroom ^{.10}	Min 2.0 spaces & Max 2.6 spaces per 3 bedroom ^{.10}	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units within A1, A2,	Min 2.0 spaces per dwelling unit ^{.12} & Max is n/a				Min 0.0 ^{.13} spaces &

Table 8.3 – Required Residential Off-Street Parking Requirements					
Location of Residential Development	Required Parking by Unit Type				Visitor Parking Required ^{.1, .2}
	Studio Units	1 – bedroom Units	2 – bedroom Units	3 – bedroom or more Units	
RR1, & RR2 Zones					Max n/a
Dwelling Units within the CD20 Zone	Min 1.0 space per dwelling unit, except 0.15 spaces per student only residences & Max 1.5 spaces per dwelling unit				Min 0.14 spaces ^{.11} & Max 0.2 spaces per dwelling unit
Dwelling Units within the CD22 zone	Min 0.75 spaces & Max 1.0 space per studio	Min 0.9 spaces & Max 1.25 spaces per 1 bedroom	Min 1.0 space & Max 1.6 spaces per 2 bedroom	Min 1.1 spaces & Max 2.0 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units within the CD26 zone	Min 1.0 space & Max 1.5 space per studio	Min 1.0 space & Max 1.5 spaces per 1 bedroom	Min 1.0 space & Max 1.5 spaces per 2 bedroom	Min 1.0 space & Max 1.5 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Congregate Housing, Group Homes, & Supportive Housing ^{.8}	Min 0.35 spaces per sleeping unit; Plus a Min 0.5 spaces per non-resident on-duty employee or a Min of 3.0 spaces (whichever is greater) & Max 2.0 spaces per sleeping unit				Min 0.14 spaces & Max 0.2 spaces per dwelling unit

FOOTNOTES (Table 8.3):

^{.1} Visitor parking is to be easily accessible to the access points of the corresponding development and/or buildings. Visitor parking is a separate minimum parking requirement that rounds up or down independent of the basic parking requirement.

^{.2} Regardless of the parking rate (spaces per unit). The minimum number of dwelling units when the first visitor parking space is required is seven (7) dwelling units. For example, a lot with six (6) dwelling units does not require a visitor parking space.

^{.3} [Deleted]

^{.4} [Deleted]

^{.5} All lots in the areas identified as 3 storeys in Map 4.1 within the OCP (UC1 Downtown) shall not be required to meet any vehicle parking space requirements if the height of the buildings on the lot are 4 storeys or less and 15.0 metres or less.

^{.6} [Deleted]

^{.7} [Deleted]

^{.8} Lots in a Transit Oriented Area (identified in Map 8.3.a, Map 8.3.b, Map 8.3.c, or Map 8.3.d) have no minimum residential parking requirement. However, there is a minimum number of accessible parking spaces required in all new developments (See Section 8.2.17 Accessible Parking Standards).

^{.9} This category does not apply to any lots that are zoned MF1, UC1, UC2, UC3, UC4, UC5, or VC1.

Table 8.3 – Required Residential Off-Street Parking Requirements

Location of Residential Development	Required Parking by Unit Type				Visitor Parking Required ^{.1, .2}
	Studio Units	1 – bedroom Units	2 – bedroom Units	3 – bedroom or more Units	
<p>^{.10} There is no maximum when a lot contains two or fewer dwelling units.</p> <p>^{.11} The minimum visitor parking is 0.05 spaces per student only residences.</p> <p>^{.12} Except secondary suites and carriage houses only require 1.0 space per dwelling unit.</p> <p>^{.13} Within a residential strata with five or more dwelling units the visitor parking requirement is 0.14 spaces per dwelling unit.</p>					

Chart B

Proposed – Table 8.3 - Required Residential Off-Street Parking Requirements

Table 8.3 – Required Residential Off-Street Parking Requirements					
Location of Residential Development	Required Parking by Unit Type				Visitor Parking Required ^{.1, .2}
	Studio Units	1 – bedroom Units	2 – bedroom Units	3 – bedroom or more Units	
Dwelling Units within an Urban Centre Zone ^{.5, .8}	Min 0.8 spaces & Max 1.25 spaces per studio	Min 0.9 spaces & Max 1.25 spaces per 1 bedroom	Min 1.0 space & Max 1.5 spaces per 2 bedroom	Min 1.0 space & Max 1.5 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units within a Village Centre Zone	Min 0.9 spaces ^{.12} & Max 1.25 spaces per studio	Min 1.0 space ^{.12} & Max 1.25 spaces per 1 bedroom	Min 1.1 spaces ^{.12} & Max 1.6 spaces per 2 bedroom	Min 1.4 spaces ^{.12} & Max 2.0 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units within the MF1 Zone ^{.8}	Min 1.0 space & Max 1.5 spaces per studio ^{.10}	Min 1.0 space & Max 1.5 spaces per 1 bedroom ^{.10}	Min 1.0 space & Max 1.5 spaces per 2 bedroom ^{.10}	Min 1.0 space & Max 2.0 spaces per 3 bedroom ^{.10}	n/a
Dwelling Units for lots fronting a Transit Supportive Corridor ^{.8, .9}	Min 0.9 spaces ^{.12} & Max 1.25 spaces per studio	Min 1.0 space ^{.12} & Max 1.25 spaces per 1 bedroom	Min 1.1 spaces ^{.12} & Max 1.6 spaces per 2 bedroom	Min 1.4 spaces ^{.12} & Max 2.0 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units for lots within the Core Area ^{.8, .9}	Min 1.0 space ^{.12} & Max 1.25 spaces per studio	Min 1.2 spaces ^{.12} & Max 1.6 spaces per 1 bedroom	Min 1.4 spaces ^{.12} & Max 2.0 spaces per 2 bedroom	Min 1.6 spaces ^{.12} & Max 2.2 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units for lots outside the Core Area with 4 or less dwelling units	Min 1.25 space & Max 1.5 spaces per studio ^{.10}	Min 1.25 space & Max 1.5 spaces per 1 bedroom ^{.10}	Min 1.25 space & Max 1.5 spaces per 2 bedroom ^{.10}	Min 1.25 space & Max 2.0 spaces per 3 bedroom ^{.10}	n/a
Dwelling Units for lots outside the Core Area with 5 or more dwelling units	Min 1.0 space ^{.12} & Max 1.25 spaces per studio ^{.10}	Min 1.25 ^{.12} spaces & Max 1.6 spaces per 1 bedroom ^{.10}	Min 1.5 spaces ^{.12} & Max 2.0 spaces per 2 bedroom ^{.10}	Min 2.0 spaces ^{.12} & Max 2.6 spaces per 3 bedroom ^{.10}	Min 0.14 spaces & Max 0.2 spaces per dwelling unit

Table 8.3 – Required Residential Off-Street Parking Requirements					
Location of Residential Development	Required Parking by Unit Type				Visitor Parking Required ^{.1, .2}
	Studio Units	1 – bedroom Units	2 – bedroom Units	3 – bedroom or more Units	
Dwelling Units within A1, A2, RR1, & RR2 Zones	Min 2.0 spaces per dwelling unit ^{.12} & Max is n/a				Min 0.0 ^{.13} spaces & Max n/a
Dwelling Units within the CD20 Zone	Min 1.0 space per dwelling unit, except 0.15 spaces per student only residences & Max 1.5 spaces per dwelling unit				Min 0.14 spaces ^{.11} & Max 0.2 spaces per dwelling unit
Dwelling Units within the CD22 zone	Min 0.75 spaces & Max 1.0 space per studio	Min 0.9 spaces & Max 1.25 spaces per 1 bedroom	Min 1.0 space & Max 1.6 spaces per 2 bedroom	Min 1.1 spaces & Max 2.0 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units within the CD26 zone	Min 1.0 space & Max 1.5 space per studio	Min 1.0 space & Max 1.5 spaces per 1 bedroom	Min 1.0 space & Max 1.5 spaces per 2 bedroom	Min 1.0 space & Max 1.5 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Congregate Housing, Group Homes, & Supportive Housing ^{.8}	Min 0.35 spaces per sleeping unit; Plus a Min 0.5 spaces per non-resident on-duty employee or a Min of 3.0 spaces (whichever is greater) & Max 2.0 spaces per sleeping unit				Min 0.14 spaces & Max 0.2 spaces per dwelling unit

FOOTNOTES (Table 8.3):

- ^{.1} Visitor parking is to be easily accessible to the access points of the corresponding development and/or buildings. Visitor parking is a separate minimum parking requirement that rounds up or down independent of the basic parking requirement.
- ^{.2} Regardless of the parking rate (spaces per unit). The minimum number of dwelling units when the first visitor parking space is required is seven (7) dwelling units. For example, a lot with six (6) dwelling units does not require a visitor parking space.
- ^{.3} [Deleted]
- ^{.4} [Deleted]
- ^{.5} All lots in the areas identified as 3 storeys in Map 4.1 within the OCP (UC1 Downtown) shall not be required to meet any vehicle parking space requirements if the height of the buildings on the lot are 4 storeys or less and 15.0 metres or less.
- ^{.6} [Deleted]
- ^{.7} [Deleted]
- ^{.8} Lots in a Transit Oriented Area (identified in Map 8.3.a, Map 8.3.b, Map 8.3.c, or Map 8.3.d) have no minimum residential parking requirement. However, there is a minimum number of accessible

Table 8.3 – Required Residential Off-Street Parking Requirements

Location of Residential Development	Required Parking by Unit Type				Visitor Parking Required ^{.1, .2}
	Studio Units	1 – bedroom Units	2 – bedroom Units	3 – bedroom or more Units	
parking spaces required in all new developments (See Section 8.2.17 Accessible Parking Standards).					
^{.9} This category does not apply to any lots that are zoned MF1, UC1, UC2, UC3, UC4, UC5, or VC1.					
^{.10} There is no maximum when a lot contains two or fewer dwelling units.					
^{.11} The minimum visitor parking is 0.05 spaces per student only residences.					
^{.12} Except secondary suites and carriage houses only require 1.0 space per dwelling unit .					
^{.13} Within a residential strata with five or more dwelling units the visitor parking requirement is 0.14 spaces per dwelling unit .					

CITY OF KELOWNA

BYLAW NO. 12751

TA24-0017 – Secondary Suites in Townhouses

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that City of Kelowna Zoning Bylaw No. 12375 be amended as follows:

1. THAT **Section 8 – Parking and Loading, 8.3 – Required Off-Street Parking Requirements, Table 8.3 – Required Residential Off-Street Parking Requirements** be deleted in its entirety and replaced with Table 8.3 as outlined in **Schedule A** attached to and forming part of this bylaw;
2. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.3 – Permitted Land Uses** be amended by deleting the "Secondary Suites" row in its entirety and replacing it with the following new row:

"

Secondary Suites	S ^{.11}	S ^{.11}	-	S ^{.11}
------------------	------------------	------------------	---	------------------

";

3. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.3 – Permitted Land Uses, FOOTNOTES** be amended by adding the following footnote in its appropriate location:

"^{.11} Secondary Suites are only permitted within Single Detached Housing, Semi-Detached Housing and Townhouses.";

AND FURTHER THAT **Section 14 – Core Area & Other Zones, Section 14.9 – Principal and Secondary Land Uses, FOOTNOTES**, ^{.15} be amended by adding "and Townhouses. The maximum net floor area of a Secondary Suite is 90 m²" after "Single Detached Housing".

4. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Schedule A

Table 8.3 – Required Residential Off-Street Parking Requirements					
Location of Residential Development	Required Parking by Unit Type				Visitor Parking Required ^{.1, .2}
	Studio Units	1 – bedroom Units	2 – bedroom Units	3 – bedroom or more Units	
Dwelling Units within an Urban Centre Zone ^{.5, .8}	Min 0.8 spaces & Max 1.25 spaces per studio	Min 0.9 spaces & Max 1.25 spaces per 1 bedroom	Min 1.0 space & Max 1.5 spaces per 2 bedroom	Min 1.0 space & Max 1.5 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units within a Village Centre Zone	Min 0.9 spaces ^{.12} & Max 1.25 spaces per studio	Min 1.0 space ^{.12} & Max 1.25 spaces per 1 bedroom	Min 1.1 spaces ^{.12} & Max 1.6 spaces per 2 bedroom	Min 1.4 spaces ^{.12} & Max 2.0 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units within the MF1 Zone ^{.8}	Min 1.0 space & Max 1.5 spaces per studio ^{.10}	Min 1.0 space & Max 1.5 spaces per 1 bedroom ^{.10}	Min 1.0 space & Max 1.5 spaces per 2 bedroom ^{.10}	Min 1.0 space & Max 2.0 spaces per 3 bedroom ^{.10}	n/a
Dwelling Units for lots fronting a Transit Supportive Corridor ^{.8, .9}	Min 0.9 spaces ^{.12} & Max 1.25 spaces per studio	Min 1.0 space ^{.12} & Max 1.25 spaces per 1 bedroom	Min 1.1 spaces ^{.12} & Max 1.6 spaces per 2 bedroom	Min 1.4 spaces ^{.12} & Max 2.0 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units for lots within the Core Area ^{.8, .9}	Min 1.0 space ^{.12} & Max 1.25 spaces per studio	Min 1.2 spaces ^{.12} & Max 1.6 spaces per 1 bedroom	Min 1.4 spaces ^{.12} & Max 2.0 spaces per 2 bedroom	Min 1.6 spaces ^{.12} & Max 2.2 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units for lots outside the Core Area with 4 or less dwelling units	Min 1.25 space & Max 1.5 spaces per studio ^{.10}	Min 1.25 space & Max 1.5 spaces per 1 bedroom ^{.10}	Min 1.25 space & Max 1.5 spaces per 2 bedroom ^{.10}	Min 1.25 space & Max 2.0 spaces per 3 bedroom ^{.10}	n/a
Dwelling Units for lots outside the Core Area with 5 or more dwelling units	Min 1.0 space ^{.12} & Max 1.25 spaces per studio ^{.10}	Min 1.25 ^{.12} spaces & Max 1.6 spaces per 1 bedroom ^{.10}	Min 1.5 spaces ^{.12} & Max 2.0 spaces per 2 bedroom ^{.10}	Min 2.0 spaces ^{.12} & Max 2.6 spaces per 3 bedroom ^{.10}	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units within A1, A2,	Min 2.0 spaces per dwelling unit ^{.12} & Max is n/a				Min 0.0 ^{.13} spaces &

Table 8.3 – Required Residential Off-Street Parking Requirements					
Location of Residential Development	Required Parking by Unit Type				Visitor Parking Required ^{.1, .2}
	Studio Units	1 – bedroom Units	2 – bedroom Units	3 – bedroom or more Units	
RR1, & RR2 Zones					Max n/a
Dwelling Units within the CD20 Zone	Min 1.0 space per dwelling unit, except 0.15 spaces per student only residences & Max 1.5 spaces per dwelling unit				Min 0.14 spaces ^{.11} & Max 0.2 spaces per dwelling unit
Dwelling Units within the CD22 zone	Min 0.75 spaces & Max 1.0 space per studio	Min 0.9 spaces & Max 1.25 spaces per 1 bedroom	Min 1.0 space & Max 1.6 spaces per 2 bedroom	Min 1.1 spaces & Max 2.0 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Dwelling Units within the CD26 zone	Min 1.0 space & Max 1.5 space per studio	Min 1.0 space & Max 1.5 spaces per 1 bedroom	Min 1.0 space & Max 1.5 spaces per 2 bedroom	Min 1.0 space & Max 1.5 spaces per 3 bedroom	Min 0.14 spaces & Max 0.2 spaces per dwelling unit
Congregate Housing, Group Homes, & Supportive Housing ^{.8}	Min 0.35 spaces per sleeping unit; Plus a Min 0.5 spaces per non-resident on-duty employee or a Min of 3.0 spaces (whichever is greater) & Max 2.0 spaces per sleeping unit				Min 0.14 spaces & Max 0.2 spaces per dwelling unit

FOOTNOTES (Table 8.3):

^{.1} Visitor parking is to be easily accessible to the access points of the corresponding development and/or buildings. Visitor parking is a separate minimum parking requirement that rounds up or down independent of the basic parking requirement.

^{.2} Regardless of the parking rate (spaces per unit). The minimum number of dwelling units when the first visitor parking space is required is seven (7) dwelling units. For example, a lot with six (6) dwelling units does not require a visitor parking space.

^{.3} [Deleted]

^{.4} [Deleted]

^{.5} All lots in the areas identified as 3 storeys in Map 4.1 within the OCP (UC1 Downtown) shall not be required to meet any vehicle parking space requirements if the height of the buildings on the lot are 4 storeys or less and 15.0 metres or less.

^{.6} [Deleted]

^{.7} [Deleted]

^{.8} Lots in a Transit Oriented Area (identified in Map 8.3.a, Map 8.3.b, Map 8.3.c, or Map 8.3.d) have no minimum residential parking requirement. However, there is a minimum number of accessible parking spaces required in all new developments (See Section 8.2.17 Accessible Parking Standards).

^{.9} This category does not apply to any lots that are zoned MF1, UC1, UC2, UC3, UC4, UC5, or VC1.

Table 8.3 – Required Residential Off-Street Parking Requirements

Location of Residential Development	Required Parking by Unit Type				Visitor Parking Required ^{.1, .2}
	Studio Units	1 – bedroom Units	2 – bedroom Units	3 – bedroom or more Units	
<p>^{.10} There is no maximum when a lot contains two or fewer dwelling units.</p> <p>^{.11} The minimum visitor parking is 0.05 spaces per student only residences.</p> <p>^{.12} Except secondary suites and carriage houses only require 1.0 space per dwelling unit.</p> <p>^{.13} Within a residential strata with five or more dwelling units the visitor parking requirement is 0.14 spaces per dwelling unit.</p>					



City of
Kelowna

TA24-0017 Secondary Suites in Townhouses

Text Amendment Application

Purpose

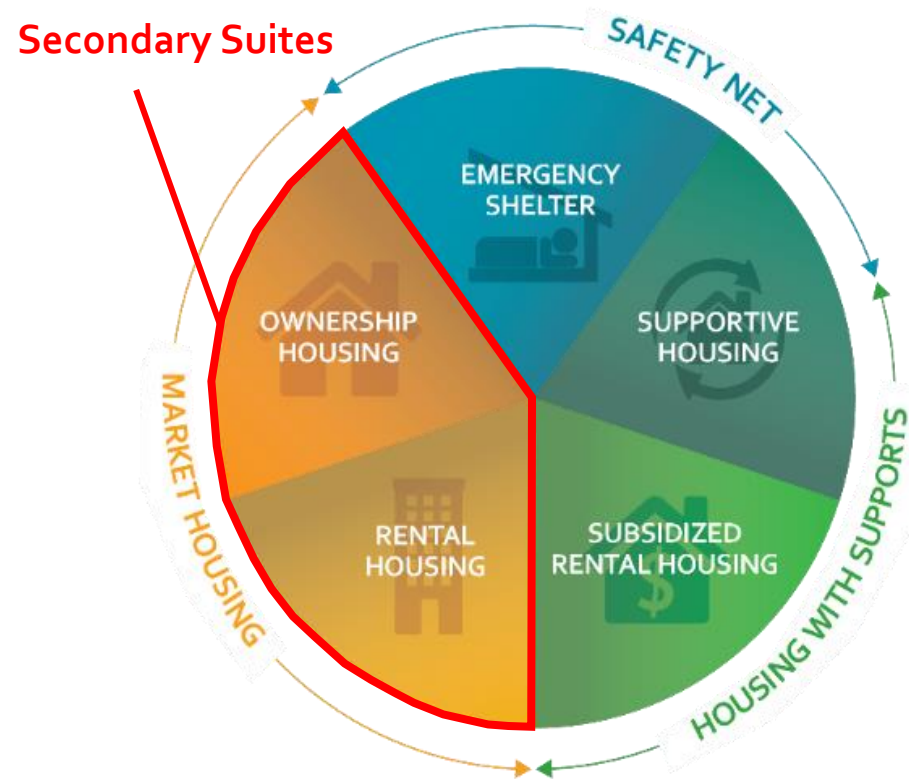
- ▶ To amend the Zoning Bylaw by allowing secondary suites as a permitted use in Townhouses.

Proposed Changes

- ▶ Allow Secondary Suites as a permitted use:
 - ▶ MF2 – Townhouse Housing zone
 - ▶ Urban Centre zones (UC1 to UC5)
- ▶ Clarify that Secondary Suites are not permitted in Stacked Townhouses or Apartment Buildings as per BC Building Code
- ▶ Require one parking stall per secondary suite for Townhouses

Policies

- ▶ Housing Action Plan
 - ▶ Action 2.5 – Expand opportunities for secondary suites in townhomes
- ▶ Housing Accelerator Fund Initiative #1 – Infill
 - ▶ Update secondary suite regulations to align with BC Building Code



OCP Objectives & Policies

- ▶ The Big Picture: Pillars to Realize Our Vision
 - ▶ Promote Housing Diversity

- ▶ Objective 5.11.1 – Increase the diversity of housing forms and tenure to create an inclusive, affordable and complete core area
 - ▶ Policy 5.11.1 – Diverse Housing Forms
 - ▶ Policy 5.11.3 – Ground Oriented Housing

Staff Recommendation

- ▶ Staff recommend **support** for the proposed Zoning Bylaw Text Amendment as it is consistent with:
 - ▶ Housing Action Plan
 - ▶ Housing Accelerator Fund
 - ▶ OCP Pillars & Objectives
 - ▶ Diverse Housing Forms
 - ▶ Ground Oriented Housing
 - ▶ More consistent, clear regulations

REPORT TO COUNCIL SUPPLEMENTAL



Date: February 10, 2025
To: Council
From: City Manager
Property: N/A
File No.: TA24-0021

1.0 Recommendation

THAT Council receives, for information, the report from the Development Planning Department dated February 10, 2025 with respect to a revised Zoning Bylaw Text Amending Bylaw;

AND THAT Zoning Bylaw Text Amending Bylaw No. 12742, as revised, be considered by Council.

2.0 Purpose

To consider a revision to the content changes in Zoning Bylaw text amending Bylaw No. 12742.

3.0 Discussion

On January 20, 2025, Council considered a text amendment to various sections of Bylaw 12375. Following the discussion during initial consideration, it is recommended to amend Bylaw 12742 by removing item 22:

Section 14.15 - Site Specific Regulations			
Uses and regulations apply on a site-specific basis as follows:			
	Legal Description	Civic Address	Regulation
15.	Plan KAP5452 Section 3024- Township 26 PT Of Blk 8 As Shown On CNR Lease RP 1684	735 Weddell Pl	To permit campsites as a permitted use in addition to those land uses permitted in Section 14.9

This section of the amendment was intended to limit camping to a single site in Kelowna’s north end. However, the ability to control camping and ensure safety within the property itself is better managed without this amendment. Camping regulations and provisions throughout the rest of the City will be addressed through the forthcoming short-term rental Text Amendments.

4.0 Application Chronology

Initial Council Consideration: January 20th 2025

Report prepared by: Jason Issler, Planner II
Reviewed by: Adam Cseke, Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

See Item 3.2 on the January 20th 2025 Council meeting for a complete copy of the original TA24-0014 report and bylaw: [January 20th 2025 Council Meeting](#).

CITY OF KELOWNA
BYLAW NO. 12742
TA24-0021 – Content Changes

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that City of Kelowna Zoning Bylaw No. 12375 be amended as follows:

1. THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions, AUTOMOTIVE AND EQUIPMENT** be amended by deleting "4100 kilograms, motorhomes with a length less than 6.7 metres, or motorhomes with a gross vehicle weight less than 5500 kilograms." and replacing it with "5,500 kilograms and any motorhome shall be less than 6.7 metres in length.";
2. AND THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions, AUTOMOTIVE AND EQUIPMENT, INDUSTRIAL** be amended by deleting "4100 kilograms, motorhomes with a length of more than 6.7 metres, or motorhomes with a gross vehicle weight of more than 5500 kilograms." and replacing it with "5,500 kilograms including motorhomes with a length greater than 6.7 metres.";
3. AND THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions** be amended by adding **VISUAL EXAMPLES OF CORNER LOT SETBACK (Figure 9.11.1)** outlined **Schedule A** as attached to and forming part of this bylaw in its appropriate location;
4. AND THAT **Section 6 – General Development Regulations, 6.2 – Projections Into Yards, 6.2.2** be amended by deleting "and Single & Two Dwelling Zones." and replacing it with "Suburban Residential zones containing two or less dwelling units, and any residential Core Area lot containing two or less dwelling units.";
5. AND THAT **Section 7 – Site Layout, 7.2 – Landscaping Standards** be amended by deleting subsection 7.2.7 in its entirety and replacing it with the following new subsection 7.2.7:

"7.2.7 Unless part of a Natural Hazard or Environmentally Sensitive Area (as defined by the OCP), landscape areas will be graded to maintain safe access according to the Canadian Landscape Standards (CLS), for efficient maintenance, and to collect storm water for plant watering where City stormwater regulations allow.";
6. AND THAT **Section 7 – Site Layout, 7.3 – Refuse and Recycling Bins, 7.3.3** be amended by adding ", yard waste," after "All garbage";
7. AND THAT **Section 9 – Specific Use Regulations, 9.2 – Home-Based Business, Section 9.2 - Home Based Business Regulations** be amended by deleting "4,100" in the "Commercial Vehicle Restriction" row and replacing it with "5,500";

8. AND THAT **Section 9 – Specific Use Regulations, 9.11 – Tall Building Regulations, Table 9.11 – Tall Building Regulations** be amended by deleting “See visual example figure 9.11.1.” under the “Regulation” column and replacing it with “See visual example of Corner Lot Setback (figure 9.11.1).”;
9. AND THAT **Section 9 – Specific Use Regulations, 9.11 – Tall Building Regulations, Figure 9.11.1 - Visual Examples of Corner Lot Setback** be deleted in its entirety;
10. AND THAT **Section 10 – Agriculture & Rural Residential Zones, Section 10.5 – A1 Agricultural and Development Regulations, FOOTNOTES, ¹** be amended by deleting “40,000m²” and replacing it with “400,000m²”;
11. AND THAT **Section 12 – Mobile Home and Camping Zones, Section 12.1 – Zone Purposes** be amended by:
 - a) Deleting “MH1 – Mobile Home and Camping” under the “Zones” column and replacing it with “MH1 – Mobile Home”; and
 - b) Deleting “The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting and for campsites.” under the “Purpose” column and replacing it with “The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting.”;
12. AND THAT **Section 12 – Mobile Home and Camping Zones, Section 12.2 – Permitted Land Uses** be amended by deleting the “Campsites” row in its entirety;
13. AND THAT all references throughout the bylaw of “Section 12 – Mobile Home and Camping Zones” be deleted and replaced with “Section 12 – Mobile Home Zones”;
14. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.3 – Permitted Land Uses** be amended by deleting “.4” under the “MF3” column in the “Stacked Townhouses” row;
15. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.3 – Permitted Land Uses, FOOTNOTES, ⁴** be amended by deleting “and/or stacked townhouses”;
16. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.5 – Development Regulations, FOOTNOTES, ⁹** be amended by deleting “For all apartment buildings, at least 75 m² of the required portion of common area shall be configured indoors.” and replacing it with “Any apartment building with 25 or more dwelling units must have at least 75 m² of the required common area configured indoors.”;
17. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.5 – Development Regulations, FOOTNOTES, ¹¹** be amended by adding “However, any lot greater than 2,000 m² that is building an apartment building shall develop using the MF3 Development Regulations.” after “MF3 Development Regulations apply.”;

18. AND THAT **Section 14 – Core Area & Other Zones, Section 14.11 – Commercial and Urban Centre Zone Development Regulations, FOOTNOTES**, ³ be deleted in its entirety and replaced with “³ Except it is 3.0 m when the lot is on Conlin Ct, Lowe Ct, or Bouvette St. The side yard setback is 3.0 metres when the lot is abutting a Core Area Neighbourhood (C-NHD), Suburban - Residential (S-RES), Suburban - Multiple Unit (S-MU), or an Education / Institutional (EDINST) future land use designation as outlined in the Official Community Plan”;
19. AND THAT **Section 14 – Core Area & Other Zones, Section 14.11 – Commercial and Urban Centre Zone Development Regulations, FOOTNOTES**, ¹¹ be amended by adding “Any apartment building with 25 or more dwelling units must have at least 75 m² of the required common area configured indoors.” after “50% of the total space required.”;
20. AND THAT **Section 14 – Core Area & Other Zones, Section 14.14 – Density and Height** be amended by:
- a) Adding “¹⁶” after “1.0 FAR” in the “P2” row, under the “Min. Density (if applicable) & Max. Base Density FAR ^{1, 7}” column; and
 - b) Adding “¹⁶” after “3 storeys & 13.5 m” in the “P2” row, under the “Max. Base Height ^{3, 7, 14}” column;
21. AND FURTHER THAT **Section 14 – Core Area & Other Zones, Section 14.14 – Density and Height, FOOTNOTES** be amended by adding the following footnote in its appropriate location:
- “¹⁶ Any P2 zoned lot within an Urban Centre shall use that Urban Centre zone’s maximum base density and maximum base height.”;
22. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

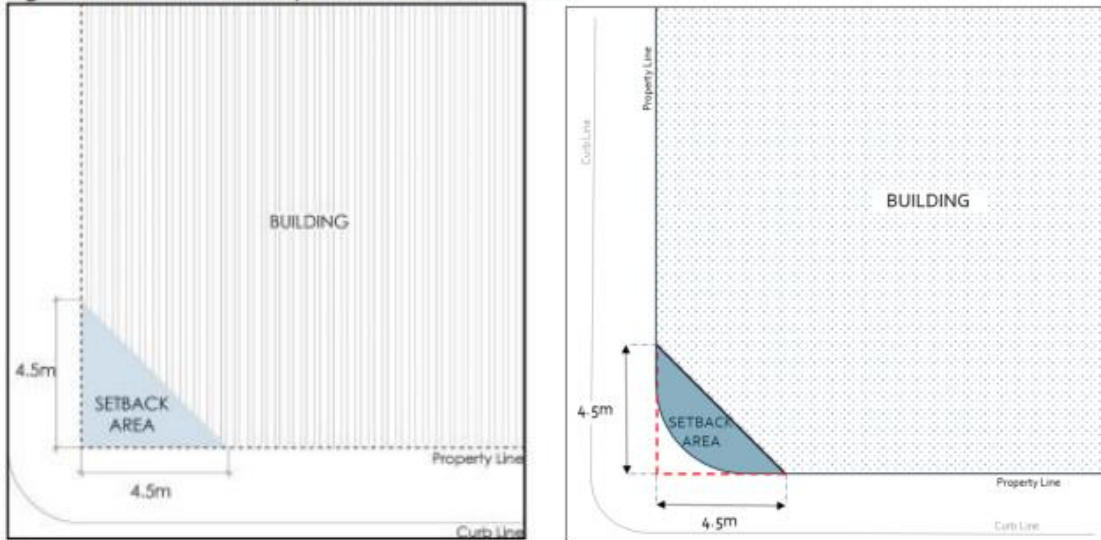
Mayor

City Clerk

Schedule A

VISUAL EXAMPLES OF CORNER LOT SETBACK (Figure 9.11.1) means the following figures:

Figure 9.11.1 - Visual Examples of Corner Lot Setback



REPORT TO COUNCIL REZONING



Date: February 10, 2025
To: Council
From: City Manager
Address: 1210, 1220, and 1226 Glenmore Dr
File No.: Z24-0059

	Existing	Proposed
OCP Future Land Use:	C-NHD – Core Area Neighbourhood	C-NHD – Core Area Neighbourhood
Zone:	MF1 – Infill Housing	MF3r – Apartment Housing Rental Only

1.0 Recommendation

THAT Rezoning Application No. Z24-0059 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of:

- Lot 2 Section 29 Township 26 ODYD Plan 25524, located at 1210 Glenmore Dr;
- Lot 1 Section 29 Township 26 ODYD Plan 25524, located at 1220 Glenmore Dr; and
- Lot A Section 29 Township 26 ODYD Plan 39467, located 1226 Glenmore Dr

from the MF1 – Infill Housing zone to the MF3r – Apartment Housing Rental Only zone, be considered by Council.

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approvals as set out in Attachment “A” attached to the Report from the Development Planning Department dated February 10, 2025.

2.0 Purpose

To rezone the subject properties from the MF1 – Infill Housing zone to the MF3r – Apartment Housing Rental Only zone to facilitate the development of apartment housing.

3.0 Development Planning

Staff support the proposed rezoning from the MF1 – Infill Housing zone to the MF3r – Apartment Housing Rental Only zone. The subject properties have the Future Land Use Designation of Core Area Neighbourhood (C-NHD) and are directly fronting a Transit Supportive Corridor (TSC) on Glenmore Rd. As such, the proposed zone is consistent with the Official Community Plan’s (OCP) objectives to focus density along TSC. The MF3r – Apartment Housing Rental Only zone allows for a maximum of 6 storeys in building height along TSCs.

Lot Area	Proposed (m ²)
Gross Site Area	2,368 m ²
Road Dedication	59.8 m ²
Undevelopable Area	N/A
Net Site Area	2,308.2 m ²

4.0 Site Context & Background

Orientation	Zoning	Land Use
North	P2 – Education and Minor Institutional	Religious Assembly
East	P3 – Parks and Open Space	Participant Recreation Services, Outdoor
South	MF3r – Apartment Housing Rental Only	Single Detached Housing
West	MF1 – Infill Housing	Single Detached Housing

Subject Property Map: 1210-1226 Glenmore Dr



The subject properties are located on Glenmore Dr near the intersection of Highland Dr N. The surrounding area is zoned MF1 – Infill Housing, MF3r – Apartment Housing Rental Only, P2 – Education and Minor Institutional and P3 – Parks and Open Space. There are two BC transit bus stops within 300 m on Glenmore Rd. The subject property is in close proximity to Calmels Park and Jackson Robertson Memorial Park.

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Objective 5.2 Focus residential density along Transit Supportive Corridors	
Policy 5.2.1. Transit Supportive Corridor Densities	Encourage development that works toward a long-term population density of between 50 – 100 people per hectare within 200 metres of each corridor to achieve densities that support improved transit service and local services and amenities. Discourage underdevelopment of properties along Transit Supportive Corridors. <i>The proposal adds meaningful density along Glenmore Dr, which is a Transit Supportive Corridor.</i>
Policy 5.2.2. Transit Supportive Corridor Building Heights.	Encourage housing forms up to six storeys in height in Core Area Neighbourhoods that front or directly abut Transit Supportive Corridors. Explore higher or lower heights through dedicated corridor planning processes. Consider buildings above six storeys where the project is adjacent to higher capacity transit along Highway 97, a major intersection, or near an Urban

	Centre, with due consideration for the context of the surrounding neighbourhood.
	<i>The proposed MF3r – Apartment Housing Rental Only zone permits land uses that are consistent with the above policy.</i>
Objective 5.11. Increase the diversity of housing forms and tenure to create an inclusive, affordable and complete Core Area.	
Policy 5.11.1. Diverse Housing Forms.	Ensure a diverse mix of low and medium density housing forms in the Core Area that support a variety of households, income levels and life stages.
	<i>The proposed MF3r - Apartment Housing Rental Only zone would permit medium density housing forms, and the rental only subzone would prohibit any building or bareland stratification, supporting households seeking rental housing</i>

6.o Application Chronology

Application Accepted: November 20, 2024
 Neighbourhood Notification Summary Received: January 15, 2025

Report prepared by: Tyler Caswell, Planner Specialist
Reviewed by: Alex Kondor, Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

Attachments:

Attachment A: Development Engineering Memo
 Attachment B: Summary of Neighbourhood Notification

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

CITY OF KELOWNA
MEMORANDUM

Date: January 16, 2025
File No.: Z24-0059
To: Urban Planning Manager (AK)
From: Development Engineering Department
Subject: 1210 1220 1226 Glenmore Dr MF1 to MF3

The Development Engineering Department has the following comments associated with this Rezoning Application to rezone the subject properties from the MF1 - Infill Housing zone to the MF3 - Apartment Housing zone.

Works and Servicing requirements directly attributable at the time of Building Permit will be provided in the future Development Engineering Department memo for the Development Permit application.

The Development Engineering Technologist for this file is Cindal McCabe (cmccabe@kelowna.ca).

1. SITE-SPECIFIC REQUIREMENTS

- a. Approximately 0.33 m road dedication along the entire frontage of Glenmore Dr is required to achieve a ROW width of 31.5 m in accordance with OCP Functional Road Classification objectives. The applicant's BCLS must confirm existing ROW width prior to finalizing dedication requirement; requirement is based on achieving a half ROW width of 15.75 m.

2. GENERAL

- a. The following comments and requirements are valid for a period of one (1) year from the reference date of this memo, or until the application has been closed, whichever occurs first.
- b. Comments and requirements contained herein assume the subject properties will be consolidated into a single lot.

M Hobbs

Melissa Hobbs, P.Eng., PMP
Development Engineering Dept.

CM

ATTACHMENT A

This forms part of application
Z24-0059

Planner
Initials

TC



**City of
Kelowna**
DEVELOPMENT PLANNING

Public Consultation Summary Report – 1210-1226 Glenmore Drive

Date of Completion: November 28, 2024

Method: Mailout

Addresses Consulted: 1150 Glenmore Drive
1210 Glenmore Drive
1220 Glenmore Drive
1226 Glenmore Drive
1232-1250 Glenmore Drive
1219 Mountainview Street
1223 Mountainview Street
1227 Mountainview Street
1231 Mountainview Street
1243 Mountainview Street
1253 Mountainview Street
1265 Mountainview Street

Info Provided: See attached

Feedback: 1 email

Changes: No changes

ATTACHMENT **B**

This forms part of application
Z24-0059

Planner Initials TC

City of 
Kelowna
DEVELOPMENT PLANNING

(1) - Letter mailed to neighbours



November 27 2024

Re: Public Notification of Rezoning Application for properties located at 1210, 1220 and 1226 Glenmore Road

Dear Resident,

This letter is to inform you that City of Kelowna staff have initiated a rezoning application for the properties located at 1210, 1220 and 1226 Glenmore Drive. The purpose of this application is to rezone the subject properties from the MF1 – Infill Housing to the MF3r - Apartment Housing Rental Only Zone.

The proposed zone aligns with the Official Community Plan, which encourages the development of low-rise apartments and stacked townhouses up to six stories in height in Core Area Neighborhoods located along or adjacent to Transit Supportive Corridors such as Glenmore Drive. At a future date a Development Permit will also be submitted and considered by City Council.

If you have any questions or concerns about the rezoning application, please contact Benjamin Walker, Strategic Land Development Manager (Real Estate), at 250-469-8967 or email bwalker@kelowna.ca; or Tyler Caswell, Planner Specialist (Development Planning), at 250-469-8589 or email tcaswell@kelowna.ca. You can also view the application details and supporting documents on the City's website at:

<https://www.kelowna.ca/homes-building/property-development/current-development-applications>

Sincerely,

Benjamin Walker (he / him / his)

Strategic Land Development Manager | City of Kelowna
250-469-8472 | bwalker@kelowna.ca

ATTACHMENT B

This forms part of application
Z24-0059

Planner Initials TC



City of Kelowna
DEVELOPMENT PLANNING

Real Estate
1435 Water Street
Kelowna, BC V1Y 1J4
TEL 250-469-8500
FAX 250-862-3399
kelowna.ca

(2) – Correspondence

To: [Redacted]
Cc: Tyler Caswell [Redacted]

Reply Reply All Forward [Icons] Thu 11/28/2024 3:35 PM

CAUTION: External email - Check before you click!

>
> Good afternoon,
>
> I am writing to express my strong opposition to the proposed development project of 1210, 1220 and 1226 Glenmore Drive. While I appreciate the need for progress and growth, I am deeply concerned about the potential strain it will have on our already aging infrastructure, particularly in terms of traffic, electricity and water supply.
>
> One of the most pressing issues that impact the development will have on traffic congestion in our neighbourhood. Our streets are already heavily congested, the addition of more vehicles would only exacerbate the is problem. Not only would this inconvenience residents, but it would also pose safety hazards for pedestrians, cyclists and children.
>
> Moreover our neighbourhood's infrastructure including electrical and water supply systems, is outdated and may not be equipped to handle the increases demands that comes with the new development. The strain on these systems could lead to disruptions in service and potentially compromise the safety and well-being of residents.
>
> Additionally, our neighbourhood has a unique charm and character that is rooted. Introducing large-scale development projects could comprise the integrity of our neighbourhood and distract from its appeal as a desirable place to live. It will impact our property values and will deter future buyers to our neighbourhood.
>
> Given these concerns, I urge you to reconsider the proposed development and explore alternatives that are more sustainable and compatible with the existing infrastructure of our neighbourhood. It is crucial to prioritize the well-being and quality of life of current residents while planning for future growth.
>
> Thank you for considering our concerns. We are available to discuss this matter further and collaborate on finding solutions that benefit our community as a whole.
>
> Sincerely,
> [Redacted]

ATTACHMENT **B**

This forms part of application
Z24-0059

Planner Initials TC

City of 
Kelowna
DEVELOPMENT PLANNING

(3) – Proof of Mailing

A.C.E. Courier Services

A Div of All-Can Express Ltd.
#122 - 3016 - 10 Ave. N.E.
Calgary AB T2A 6A3
Phone: 250-763-1324

G.S.T. Number: 100144427

Page

Invoice Number: 12401089

Invoice Date: 28-Nov-2024

Customer Account #1215628

Bill To:

CITY OF KELOWNA
ACCOUNTS PAYABLE
1435 WATER STREET
KELOWNA BC V1Y 1J4

Count	Description	Amount
9	See attached shipment details	\$ 54.00
	Fuel Surcharge @ 29.70 %	16.02
	Goods & Services Tax @ 5.00 %	3.50
<p>Until the Canada Post Labor dispute has been resolved, we ask that you pay your invoices electronically or drop cheques off at your local ACE office. Thank you in advance for your cooperation</p>		
		<p>Invoice Total: \$ 73.52 CDN Funds</p>

Payment due upon receipt of invoice.

ATTACHMENT B

This forms part of application
Z24-0059

Planner Initials TC



City of Kelowna
DEVELOPMENT PLANNING

November 27, 2024




MAIL CERTIFICATE

Julie Timpany

Representative of A.C.E Courier Services located at 760

Crowley Avenue Kelowna, BC V1Y 7G7 hereby certify that I received 9 Public Notification Letters of Rezoning Application for properties located at 1210, 1220 and 1226 Glenmore Road. On the 27th of November 2024 at.....

X 

ATTACHMENT		B
This forms part of application		
# Z24-0059		
Planner Initials	TC	 City of Kelowna DEVELOPMENT PLANNING

City of Kelowna
1435 Water Street
Kelowna, BC V1Y 1J4
TEL 250-469-8777
FAX 250-862-3371
kelowna.ca

CITY OF KELOWNA

BYLAW NO. 12747

Z24-0059

1210, 1220, and 1226 Glenmore Drive

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of:
 - a. Lot 2 Section 29 Township 26 ODYD Plan 25524, located on Glenmore Dr;
 - b. Lot 1 Section 29 Township 26 ODYD Plan 25524, located on Glenmore Dr; and
 - c. Lot A Section 29 Township 26 ODYD Plan 39467, located on Glenmore Drfrom the MF1 – Infill Housing zone to the MF3r – Apartment Housing Rental Only zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



City of
Kelowna

Z24-0059 1210, 1220 and 1226 Glenmore Dr

Rezoning Application

Purpose

- ▶ To rezone the subject properties from the MF₁ – Infill Housing zone to the MF_{3r} – Apartment Housing Rental Only zone to facilitate the development of apartment housing.

Development Process

Nov 20, 2024

Development Application Submitted



Staff Review & Circulation



Jan 15, 2025

Neighbour Notification Received



Feb 10, 2025

Initial Consideration



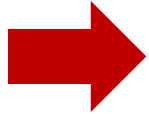
Reading Consideration



Final Reading

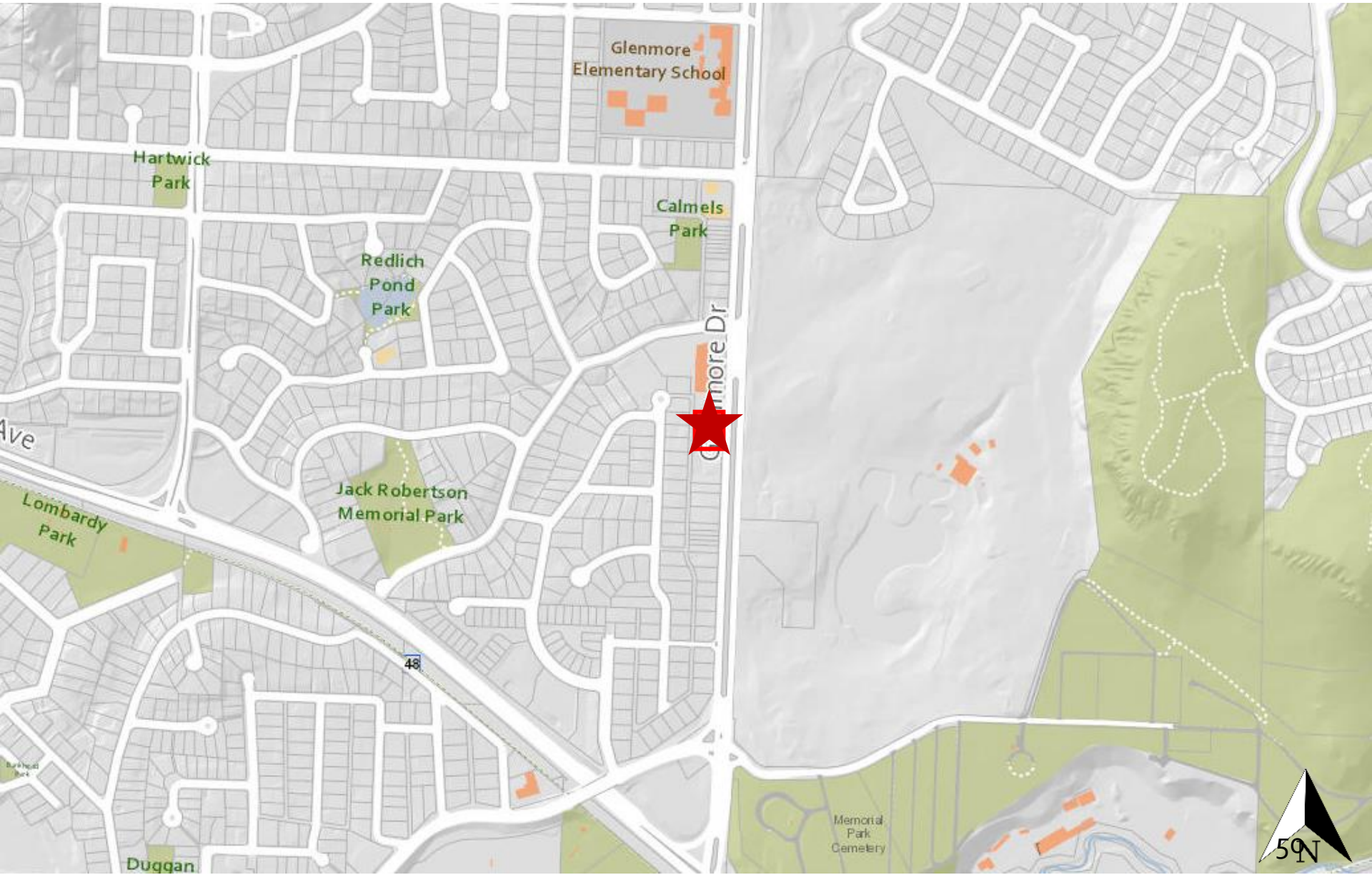


Building Permit








Council
Approvals

Context Map



OCP Future Land Use



	C-NHD – Core Area Neighbourhood
	EDINST – Educational / Institutional
	PARK – Park and Open Space
	REC – Private Recreational
	NAT – Natural Area

Subject Property Map



MF3r – Apartment Housing Rental Only Zone

Purpose

- To provide a zone for apartments on serviced urban lots with various commercial uses permitted on Transit Supportive Corridors
- To provide a sub-zone that restricts the dwelling units to a rental only tenure and to prohibit any building or bareland stratification.

Summary of Uses

- Apartment Housing
- Stacked Townhouses
- Townhouses
- Dwelling units must be long-term rental only
- Can apply for Revitalization Tax Exemption

MF3r – Apartment Housing Rental Only Zone

Regulation	Maximum Permitted
Base Height	22.0 m & 6 storeys (Transit Supportive Corridor)
Base Floor Area Ratio	For 5 storeys or more: 1.8
Bonus Floor Area Ratio	Underground Parking: 0.25 Public Amenity: 0.25 Rental/Affordable: 0.3
Site Coverage Buildings	65%
Site Coverage Total	85%

OCP Objectives – Climate Resilience

Climate Criteria

Dark Green – Meets Climate Criteria

Light Green – Will Meet Criteria Soon

Yellow – Does not meet Climate Criteria

10 min Walk to Retail/Restaurants	Dark Green
5 min Walk to Park	Dark Green
10 min Bike to Public School	Dark Green
20 min Bus to Urban Centre/Village Centre/Employment Hub	Dark Green
Retaining Trees and/or Adding Trees	Dark Green
OCP Climate Resilience Consistency	Dark Green

OCP Objectives & Policies

- ▶ C-NHD: Core Area Neighbourhood
 - ▶ Policy 5.2.1 – Transit Supportive Corridor Densities.
 - ▶ Policy 5.2.2 – Transit Supportive Corridor Building Heights.
 - ▶ Policy 5.11.1 – Diverse Housing Forms.
- ▶ Adjacent to Transit Supportive Corridor
 - ▶ Mid-rise apartments

Staff Recommendation

- ▶ Staff recommend **support** for the proposed rezoning as it is consistent with:
 - ▶ OCP Future Land Use C-NHD
 - ▶ OCP Objectives in Chapter 5 Core Area
 - ▶ Transit Supported Corridor Policies
 - ▶ Housing Diversity
 - ▶ Rental Housing
 - ▶ Development Permit to follow for Council consideration

REPORT TO COUNCIL REZONING



Date: February 10, 2025
To: Council
From: City Manager
Address: 2236 Stillingfleet Rd
File No.: Z24-0047

	Existing	Proposed
OCP Future Land Use:	C-NHD – Core Area Neighbourhood	C-NHD – Core Area Neighbourhood
Zone:	MF1 – Infill Housing	MF2 – Townhouse Housing

1.0 Recommendation

THAT Rezoning Application No. Z24-0047 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot 6 District Lot 136 ODYD Plan 10841, located at 2236 Stillingfleet Rd, Kelowna, BC from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone, be considered by Council.

2.0 Purpose

To rezone the subject property from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone to facilitate a townhouse development.

3.0 Development Planning

Staff support the proposed rezoning from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone to facilitate a townhouse development. The subject property has an Official Community Plan (OCP) Future Land Use Designation of C-NHD – Core Area Neighbourhood. The intent of the Core Area Neighbourhood is to accommodate much of the City’s growth through sensitive residential infill such as ground-oriented multi-unit housing and low-rise buildings. The proposal aligns with the OCP Policy for the Core Area to encourage a diverse mix of low and medium density housing.

The subject property is a larger lot relative to other lot sizes in the existing neighbourhood at approximately 25.0 m wide, 55.0 m deep and with nearly 1,400 m² of lot area. The existing parcel is large enough to accommodate more than the six (6) dwelling unit maximum permitted in the MF1 zone.

Lot Area	Proposed (m ²)
Gross Site Area	1,398 m ²
Road Dedication	n/a
Undevelopable Area	n/a
Net Site Area	1,398 m ²

4.0 Site Context & Background

Orientation	Zoning	Land Use
North	MF1 – Infill Housing	Single Detached Housing
East	MF1 – Infill Housing	Single Detached Housing
South	MF1 – Infill Housing	Duplex Housing
West	MF2 – Townhouse Housing	Townhouse Development

Subject Property Map: 2236 Stillingfleet Rd



The subject property is located mid-block on the west side of the street nearest to the intersection of Stillingfleet Road and Guisachan Road. The site is located adjacent to the Guisachan Village Centre and is within a 5-minute walk to Stillingfleet Park. Transit stops are located within walking distance of the site along both sides of Gordon Drive which is a Transit Supportive Corridor.

The surrounding neighbourhood context largely consists of properties that are zoned MF1 – Infill Housing and MF2 – Townhouse Housing with some P2 – Education and Minor Institutional and P3 – Parks and Open Space zoned sites within the area.

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Objective 5.3 Design residential infill to be sensitive to neighbourhood context	
Policy 5.3.1 Core Area Neighbourhood Infill	Encourage ground-oriented residential uses such as house-plexes, townhouses and narrow lot housing up to approximately 3 storeys to fit with the existing neighbourhood development pattern. Consider larger infill projects, including those where lot consolidation is required, where they are in a Transit Supportive Corridor transition area, on a block end or near community amenities including, but not limited to, parks and schools. <i>The subject site is a large lot located in close proximity to transit, parks and schools.</i>
Objective 5.11 Increase the diversity of housing forms and tenure to create an inclusive, affordable and complete Core Area.	
Policy 5.11.1 Diverse Housing Forms	Ensure a diverse mix of low and medium density housing forms in the Core Area to support a variety of household types and sizes, income levels and life stages. <i>The proposal adds increased density into the established single detached housing neighbourhood.</i>

6.0 Application Chronology

Application Accepted: September 19, 2024
 Neighbourhood Notification Summary Received: December 9, 2024

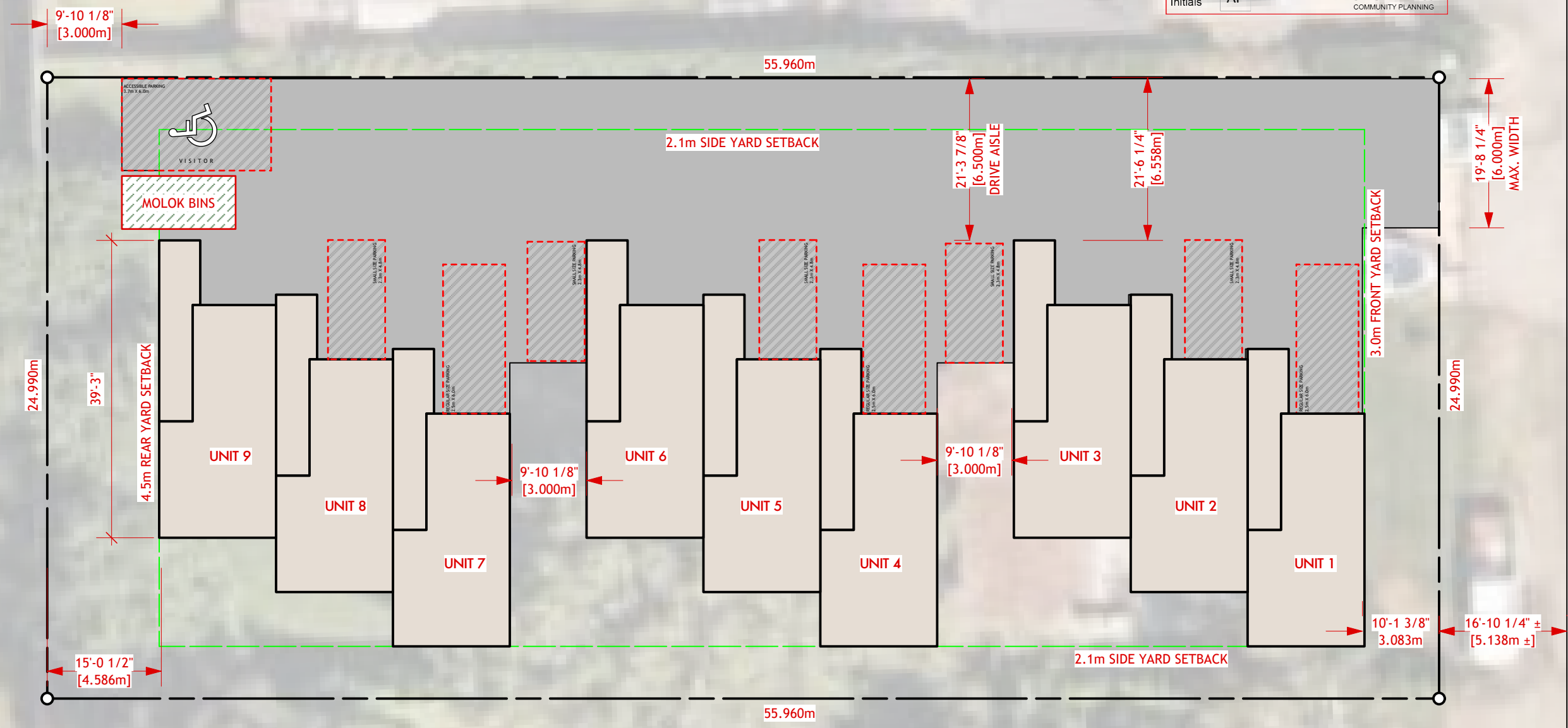
Report prepared by: Andrew Ferguson, Planner II
Reviewed by: Adam Cseke, Development Planning Manager, Central
 Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Sustainability and Development Services

Attachments:
 Attachment A: Draft Site Plan
 Attachment B: Neighbourhood Notification Summary
 Attachment C: Applicant’s Letter of Rationale

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

ATTACHMENT A
 This forms part of application
 # Z24-0047
 Planner Initials AF

 City of Kelowna
 COMMUNITY PLANNING



STILLINGFLEET ROAD



IHS DESIGN
 #202-1470 ST. PAUL ST.
 KELOWNA, BC
 250.212.7938
 info@ihdesign.ca

MULTIFAMILY DEVELOPMENT



2236 STILLINGFLEET ROAD
 KELOWNA, BC V1Y 7Y9
 LOT 6 PLAN KAP10841

SITE PLAN

DATE: 9-Dec-24

SCALE: 1/16" = 1'-0"
 ISSUED FOR: CLIENT REVIEW
 SHEET: T1 **61**

Neighbour Consultation Form (Council Policy No.367)

ATTACHMENT B
This forms part of application
Z24-0047
Planner Initials AF
City of Kelowna
COMMUNITY PLANNING



A summary of neighborhood consultation efforts, feedback and response must be provided to City staff, identifying how the efforts meet the objectives of this Policy. This form must be filled out and submitted to the File Manager a minimum of 20 days prior to initial consideration by Council.

I, Steve Nicholson, the applicant for Application No. Z24-0047

for Rezoning from MF1 to MF2
(brief description of proposal)

at 2236 Stillingfleet Road have conducted the required neighbour
(address)
consultation in accordance with Council Policy No. 367.

- My parcel is located **outside** of the Permanent Growth Boundary and I have consulted all owners & occupants within a 300m radius
- My parcel is located **inside** of the Permanent Growth Boundary and I have consulted all owners & occupants within a 50m radius

I have consulted property owners and occupants by doing the following: _____

Going Door-to-Door to properties within 50M to explain our application for rezoning, providing an information package, and to explain the rezoning process and our intention. We also provided our contact information and the city contact.

Please initial the following to confirm it has been included as part of the neighbour consultation:

- SN Location of the proposal;
- SN Detailed description of the proposal, including the specific changes proposed;
- SN Visual rendering and/or site plan of the proposal;
- SN Contact information for the applicant or authorized agent;
- SN Contact information for the appropriate City department;
- SN Identification of available methods for feedback.

Please return this form, along with any feedback, comments, or signatures to the File Manager 20 days prior to the anticipated initial consideration by Council date. On the back of this form please list those addresses that were consulted.

Address	Spoke with Owner & Occupant	Left Package with Owner & Occupant	Date
19 - 1120 Guisachan	X		November 18, 2024
20 - 1120 Guisachan	X		
21 - 1120 Guisachan	X		
22 - 1120 Guisachan	X		
23 - 1120 Guisachan		X	
24 - 1120 Guisachan	X		
25 - 1120 Guisachan	X		
26- 1120 Guisachan	X		
27 - 1120 Guisachan		X	
28 - 1120 Guisachan	X		
17 - 1120 Guisachan	X		
18 - 1120 Guisachan		X	
30 - 1120 Guisachan		X	
31 - 1120 Guisachan		X	
29 - 1120 Guisachan		X	
95 - 1120 Guisachan	X		
34 - 1120 Guisachan	X		
35 - 1120 Guisachan		X	
36 - 1120 Guisachan	X		
37 - 1120 Guisachan	X		
38 - 1120 Guisachan		X	
39 - 1120 Guisachan		X	
40 - 1120 Guisachan	X		
42 - 1120 Guisachan	X		
2260 Stillingfleet Rd		X	
1130 Guisachan	X		
1190 Guisachan	X		
2265 Stillingfleet Rd	X		
2259 Stillingfleet Rd		X	
2253 Stillingfleet Rd		X	
2247 Stillingfleet Rd		X	
2233 Stillingfleet Ct	X		
2229 Stillingfleet Ct	X		
2213 Stillingfleet Ct	X		
2209 Stillingfleet Ct	X		
2205 Stillingfleet Rd		X	
1225 Stillingfleet Rd		X	
2210 Stillingfleet Rd		X	
2230 Stillingfleet Rd		X	
2240/2242 Stillingfleet Rd	X		
2254 Stillingfleet Rd	X		
Remainder of Strata Units at 1120 Guisachan		X	December 5, 2024

August 20, 2024

City of Kelowna
Urban Planning Department
1435 Water Street, Kelowna BC
V1Y 1J4

Rezoning Application for MF2 – Townhouse Housing at 2248 Stillingfleet Road

Introduction

Dear Planning Staff,

The purpose of this application is to rezone the subject properties from MF1 – Infill Housing to MF2 – Townhouse Housing Zone. The goal for this site is to utilize Zoning Bylaw 12375 and OCP 2040 – Townhouse Guidelines to develop a 3-storey 9-unit townhouse project which is safe, livable, accessible, and provides new housing opportunities immediately adjacent to the Guisachan Village Centre. This proposal conforms to the 2040 OCP – Future Land Use guidance of Core Area – Neighbourhood, as ground-oriented multi-unit residential is a supported use.

Official Community Plan Objectives

As part of the application, a site plan and a massing diagram has been submitted to represent the intended land use on the property. When the architectural set is drafted for Development Permit, specific Form and Character Guidelines from Sections 3.1.1 – 3.1.6 will be carefully followed throughout the design process. The OCP identifies 10 Pillars to realize Kelowna’s vision and balance growth. This project meets the pillars as follows:

1. Stop planning new suburban neighbourhoods.

Creating sensitive infill within existing neighbourhoods reduces the desire for new suburban neighbourhoods to be planned. In turn, density is focused in areas with existing services and nearby transit, walking, and biking options.

2. Target growth along transit corridors & prioritize sustainable transportation and shared mobility.

The subject property is located less than 400 meters from a frequent transit route along Gordon Drive and slightly further to a route along Springfield. The area is also well served with bike lanes reaching all areas of the City.

3. Promote more housing diversity

Townhouse housing allows for diverse housing options within the Core Area of Kelowna. Many tenants or property owners are searching for “missing middle” housing which provides appropriate parking, ground-oriented outdoor space, and multiple bedrooms for growing families. Unlike many developments all units will have 3 bedrooms.

4. Take action on climate

The current housing stock found on the site is a 1950's bungalow. With the Step code and improvements to the Building Code stricter measures for energy consumption leads to better efficiencies. There is a large tree that will need to be removed to accommodate the townhouses however carefully placed trees in keeping with the Zoning Bylaw requirements will grow to provide significantly improve soil and water consumption, carbon storage, provide shade, and improve air quality on the site.

The OCP acknowledges:

As one of the fastest growing cities in Canada, Kelowna is rapidly evolving. Its economy is diversifying, many of its neighbourhoods are transforming, and people are choosing new ways to get around. In short, Kelowna is becoming a more urban and dynamic city and the pace of change is unlikely to let up. As one of the fastest growing cities in Canada, Kelowna is rapidly evolving. Its economy is diversifying, many of its neighbourhoods are transforming, and people are choosing new ways to get around. In short, Kelowna is becoming a more urban and dynamic city and the pace of change is unlikely to let up.

Zoning

The purpose of this application is to assess whether MF2 – Townhouse Housing is the appropriate land use for this site. Policies noted in the OCP and highlighted above provide direction for housing forms. From a zoning perspective, the purpose of the MF2 Townhouse Housing zone is: “to provide a zone for ground-oriented multiple housing (typically townhouse developments) up to 3 storeys on serviced urban lots.” The lot meets these conditions. The Core Area seeks to incorporate housing variety as a top priority especially in forms like four-plexes, townhouses and low-rise apartments. Policy’s suggest transition from transit supportive corridors such as Gordon drive to the west and Springfield to the north to ground-oriented residential. The proposed form is consistent with this policy.

This project seeks to increase available housing in an area that was developed as a single dwelling unit neighbourhood in the 1950's and 1960's. In broad terms, the Regional Growth Strategy (RGS) has outlined various goals for land, housing, and transportation in the Regional District of Central Okanagan. The projected housing unit projected in this City sector is 3,800 units or 15% over the 20-year span of the OCP. It will be a positive contribution to meet the Provincial housing target for the area.

Site Layout

As shown on the conceptual plan, the proposed project is 3 cluster of 3 units that are 3-storeys tall. Due to the stepping of the individual units, all entry doors of the first block are visible to the street. Private outdoor space is available on the south side yard and on the roof top decks. Although the design shows a paved surface to on the north side of the building, the intent is to provide a space for children to play – basketball, ball hockey, etc. As shown on the attached Zoning Table, the MF2 zone will work seamlessly on the site with no need for variances. Regarding form and character, Section 3.1 – Townhouse Guidelines will be carefully followed throughout the design process at the Development Permit stage and there will be no variances required.

Landscaping and Amenity Space

Although the landscape plan has not been created the intention is to create an urban forest. 6 – 8 deciduous columnar trees are envisioned along the north lot. The requirement for 3 trees per front and rear lot will be exceeded and expected to stager and blend with required street trees. The streetscape will be urbanized and upgraded once the power/communication lines are relocated underground.

Common amenity space is provided by a garden area for each cluster adjacent to the units. The plans include a mixture of hard surfaces of different elevations, vegetative matter and some turf. Low trees will be used to define each of the 3 spaces. We believe that landscape is an integral part of the vision and can be achieved with the change in land use.

Conclusion

The intention of this proposal is to create an attractive townhouse development in clusters of three units per building. They will be staggered to allow for maximum light in the units and provide private areas adjacent to the building. Stillingfleet Park is nearby the subject property with a child's playground which has a church located across the street. The property to the west is a large multi-residential development in the 90's. Transit is provided within walking distance (200M at Gordon Drive and 400M at Springfield), and a small commercial node is located nearby (200M) that offers many essential services. We look forward to hearing your comments and feedback on the project.

Regards,

STEVE

Steven Nicholson
Strandhaus

CITY OF KELOWNA
BYLAW NO. 12749
Z24-0047
2236 Stillingfleet Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 6 District Lot 136 ODYD Plan 10841, located on Stillingfleet Road, Kelowna, BC from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



City of
Kelowna

Z24-0047 2236 Stillingfleet Rd

Rezoning Application

Purpose

- ▶ To rezone the subject property from the MF₁ – Infill Housing zone to the MF₂ – Townhouse Housing zone to facilitate a townhouse development.

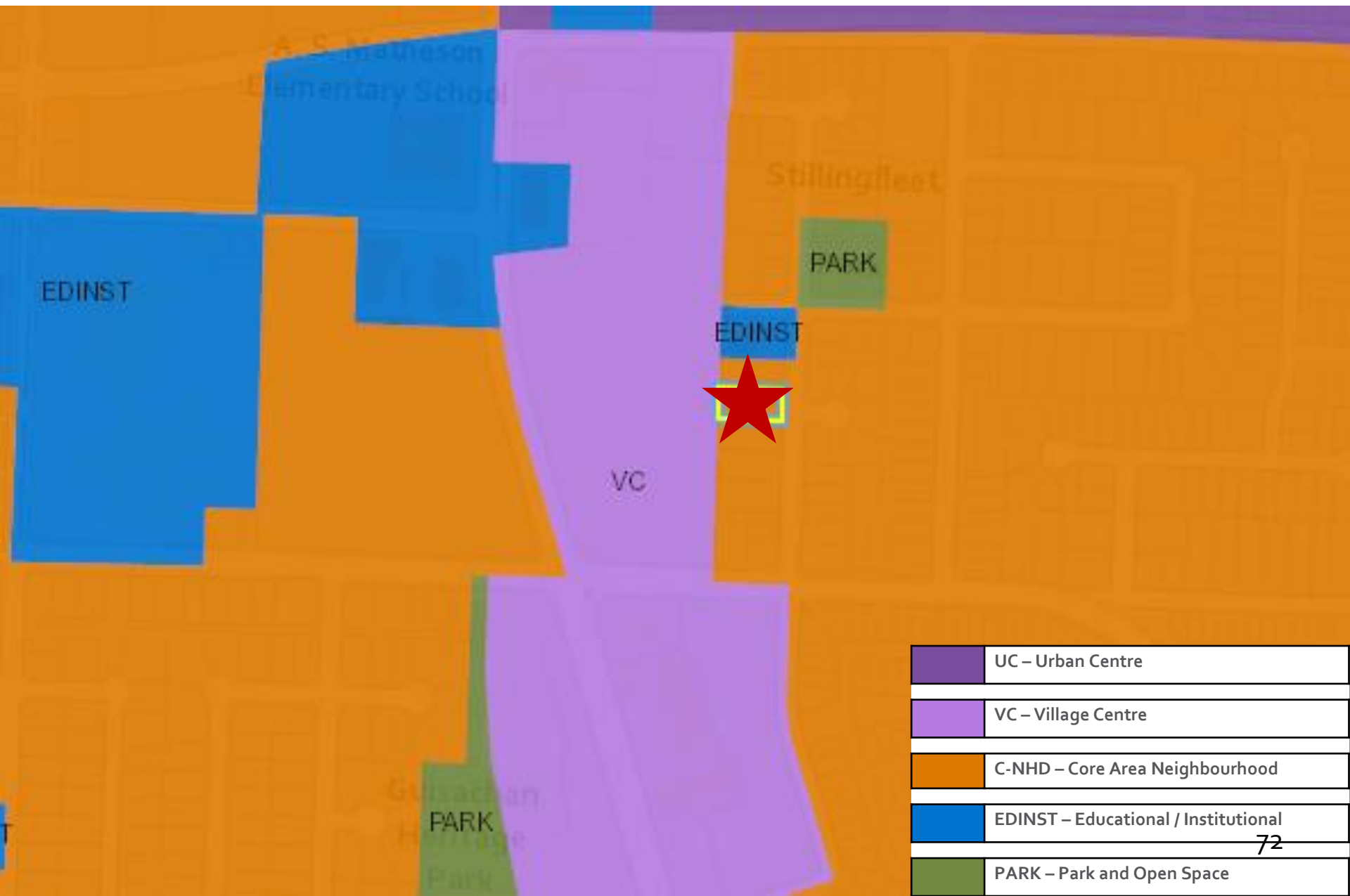
Development Process








Context Map



OCP Future Land Use



	UC – Urban Centre
	VC – Village Centre
	C-NHD – Core Area Neighbourhood
	EDINST – Educational / Institutional
	PARK – Park and Open Space

Subject Property Map



MF2 – Townhouse Housing Zone

Purpose

- To provide a zone for ground-oriented multiple housing (typically townhouses) up to 3 storeys on serviced urban lots.

Summary of Uses

- Townhouses
- Stacked Townhouses
- Duplex Housing
- Semi-Detached Housing
- Home Based Businesses

MF2 – Townhouse Housing Zone

Regulation	Permitted
Maximum Height	11.0 m & 3 storeys
Potential Number of Units	9 units
Maximum Site Coverage of Buildings	55%

OCP Objectives – Climate Resilience

Climate Criteria

Dark Green – Meets Climate Criteria

Light Green – Will Meet Criteria Soon

Yellow – Does not meet Climate Criteria

10 min Walk to Retail/Restaurants	Dark Green
5 min Walk to Park	Dark Green
10 min Bike to Public School	Dark Green
20 min Bus to Urban Centre/Village Centre/Employment Hub	Dark Green
Retaining Trees and/or Adding Trees	Light Green
OCP Climate Resilience Consistency	Dark Green

OCP Objectives & Policies

- ▶ Future Land Use: C-NHD: Core Area Neighbourhood
 - ▶ Objective 5.3: Design residential infill to be sensitive to neighbourhood context.
 - ▶ Encourage ground-oriented residential uses such as house-plexes, townhouses and narrow lot housing up to approximately 3 storeys to fit with the existing neighbourhood development pattern.
 - ▶ Objective 5.11: Increase the diversity of housing forms and tenure to create an inclusive, affordable and complete Core Area.
 - ▶ Ensure a diverse mix of low and medium density housing forms in the Core Area to support a variety of household types and sizes, income levels and life stages.

Staff Recommendation

- ▶ Staff recommend **support** for the proposed rezoning as it is consistent with:
 - ▶ OCP Future Land Use: Core Area Neighbourhood
 - ▶ OCP Objectives in Chapter 5 Core Area
 - ▶ Core Area Neighbourhood Infill
 - ▶ Housing Diversity
 - ▶ Development Permit to follow for Council consideration

REPORT TO COUNCIL REZONING



Date: February 10, 2025
To: Council
From: City Manager
Address: 2248 Stillingfleet Rd
File No.: Z24-0048

	Existing	Proposed
OCP Future Land Use:	C-NHD – Core Area Neighbourhood	C-NHD – Core Area Neighbourhood
Zone:	MF1 – Infill Housing	MF2 – Townhouse Housing

1.0 Recommendation

THAT Rezoning Application No. Z24-0048 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot 4 District Lot 136 ODYD Plan 10841, located at 2248 Stillingfleet Rd, Kelowna, BC from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone, be considered by Council.

2.0 Purpose

To rezone the subject property from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone to facilitate a townhouse development.

3.0 Development Planning

Staff support the proposed rezoning from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone to facilitate a townhouse development. The subject property has an Official Community Plan (OCP) Future Land Use Designation of C-NHD – Core Area Neighbourhood. The intent of the Core Area Neighbourhood is to accommodate much of the City’s growth through sensitive residential infill such as ground-oriented multi-unit housing and low-rise buildings. The proposal aligns with the OCP Policy for the Core Area to encourage a diverse mix of low and medium density housing.

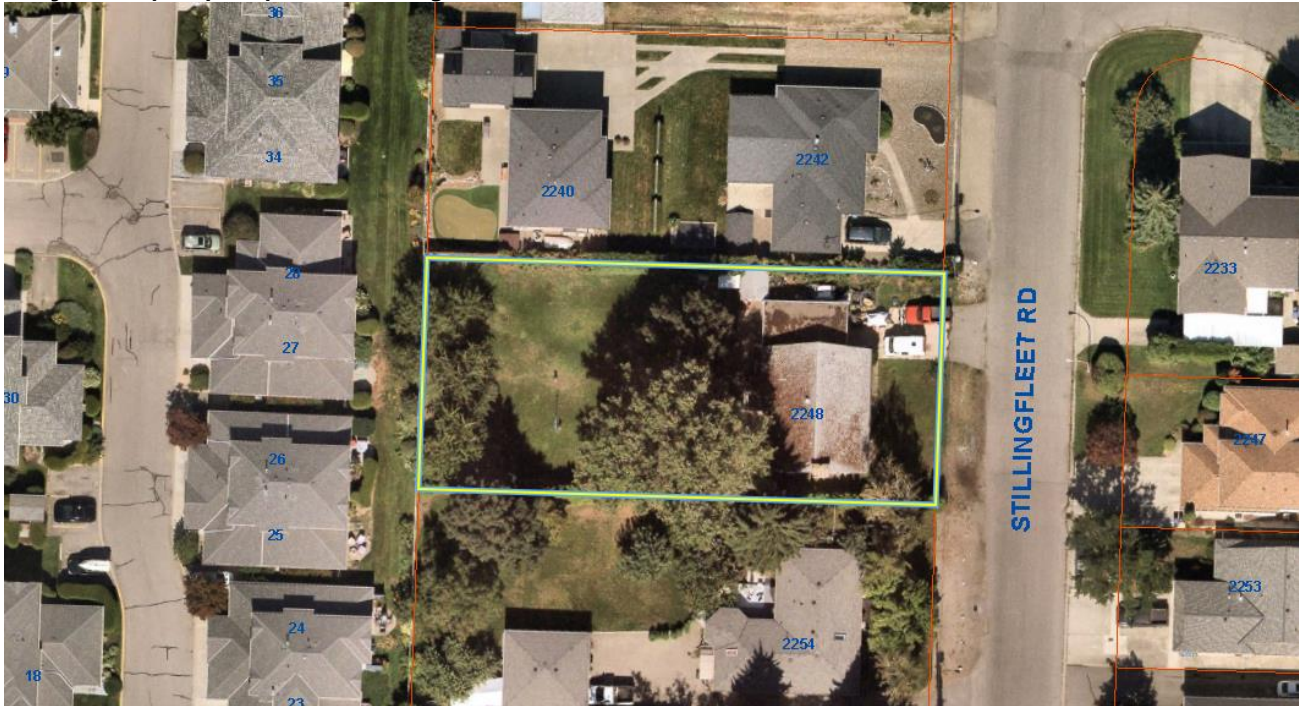
The subject property is a larger lot relative to other lot sizes in the existing neighbourhood at approximately 25.0 m wide, 55.0 m deep and with nearly 1,400 m² of lot area. The existing parcel is large enough to accommodate more than the six (6) dwelling unit maximum permitted in the MF1 zone.

Lot Area	Proposed (m ²)
Gross Site Area	1,398 m ²
Road Dedication	n/a
Undevelopable Area	n/a
Net Site Area	1,398 m ²

4.0 Site Context & Background

Orientation	Zoning	Land Use
North	MF1 – Infill Housing	Duplex Housing
East	MF1 – Infill Housing	Single Detached Housing
South	MF1 – Infill Housing	Single Detached Housing
West	MF2 – Townhouse Housing	Townhouse Development

Subject Property Map: 2248 Stillingfleet Rd



The subject property is located mid-block on the west side of the street nearest to the intersection of Stillingfleet Road and Guisachan Road. The site is located adjacent to the Guisachan Village Centre and is within a 5-minute walk to Stillingfleet Park. Transit stops are located within walking distance of the site along both sides of Gordon Drive which is a Transit Supportive Corridor.

The surrounding neighbourhood context largely consists of properties that are zoned MF1 – Infill Housing and MF2 – Townhouse Housing with some P2 – Education and Minor Institutional and P3 – Parks and Open Space zoned sites within the area.

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Objective 5.3 Design residential infill to be sensitive to neighbourhood context	
Policy 5.3.1 Core Area Neighbourhood Infill	Encourage ground-oriented residential uses such as house-plexes, townhouses and narrow lot housing up to approximately 3 storeys to fit with the existing neighbourhood development pattern. Consider larger infill projects, including those where lot consolidation is required, where they are in a Transit Supportive Corridor transition area, on a block end or near community amenities including, but not limited to, parks and schools. <i>The subject site is a large lot located in close proximity to transit, parks and schools.</i>
Objective 5.11 Increase the diversity of housing forms and tenure to create an inclusive, affordable and complete Core Area.	
Policy 5.11.1 Diverse Housing Forms	Ensure a diverse mix of low and medium density housing forms in the Core Area to support a variety of household types and sizes, income levels and life stages. <i>The proposal adds increased density into the established single detached housing neighbourhood.</i>

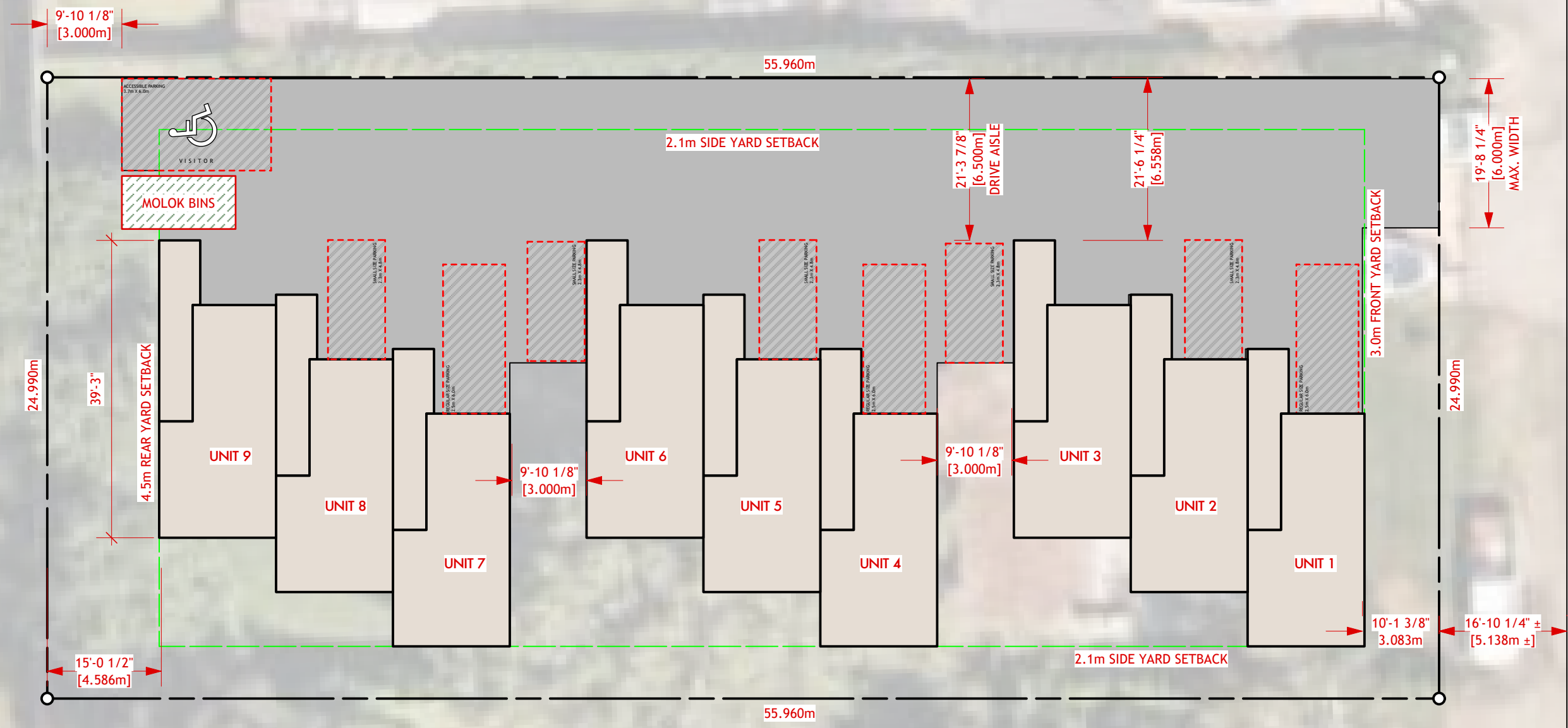
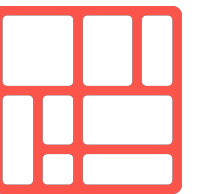
6.0 Application Chronology

Application Accepted: September 19, 2024
 Neighbourhood Notification Summary Received: December 9, 2024

Report prepared by: Andrew Ferguson, Planner II
Reviewed by: Adam Cseke, Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Sustainability and Development Services

Attachments:
 Attachment A: Draft Site Plan
 Attachment B: Neighbourhood Notification Summary
 Attachment C: Applicant’s Letter of Rationale

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.



STILLINGFLEET ROAD

MULTIFAMILY DEVELOPMENT



2248 STILLINGFLEET ROAD
 KELOWNA, BC V1Y 7Y9
 LOT 4 PLAN KAP10841

SITE PLAN

DATE: 9-Dec-24



**Neighbour Consultation Form
 (Council Policy No.367)**

A summary of neighborhood consultation efforts, feedback and response must be provided to City staff, identifying how the efforts meet the objectives of this Policy. This form must be filled out and submitted to the File Manager a minimum of 20 days prior to initial consideration by Council.

I, Steve Nicholson, the applicant for Application No. Z24-0048

for Rezoning from MF1 to MF2
 (brief description of proposal)

at 2248 Stillingfleet Road have conducted the required neighbour
 (address)
 consultation in accordance with Council Policy No. 367.

- My parcel is located **outside** of the Permanent Growth Boundary and I have consulted all owners & occupants within a 300m radius
- My parcel is located **inside** of the Permanent Growth Boundary and I have consulted all owners & occupants within a 50m radius

I have consulted property owners and occupants by doing the following: _____

Going Door-to-Door to properties within 50M to explain our application for rezoning, providing an information package, and to explain the rezoning process and our intention. We also provided our contact information and the city contact.

Please initial the following to confirm it has been included as part of the neighbour consultation:

- SN Location of the proposal;
- SN Detailed description of the proposal, including the specific changes proposed;
- SN Visual rendering and/or site plan of the proposal;
- SN Contact information for the applicant or authorized agent;
- SN Contact information for the appropriate City department;
- SN Identification of available methods for feedback.

*Please return this form, along with any feedback, comments, or signatures to the File Manager **20 days prior to the anticipated initial consideration by Council date.** On the back of this form please list those addresses that were consulted.*

Address	Spoke with Owner & Occupant	Left Package with Owner & Occupant	Date
19 - 1120 Guisachan	X		November 18, 2024
20 - 1120 Guisachan	X		
21 - 1120 Guisachan	X		
22 - 1120 Guisachan	X		
23 - 1120 Guisachan		X	
24 - 1120 Guisachan	X		
25 - 1120 Guisachan	X		
26- 1120 Guisachan	X		
27 - 1120 Guisachan		X	
28 - 1120 Guisachan	X		
17 - 1120 Guisachan	X		
18 - 1120 Guisachan		X	
30 - 1120 Guisachan		X	
31 - 1120 Guisachan		X	
29 - 1120 Guisachan		X	
95 - 1120 Guisachan	X		
34 - 1120 Guisachan	X		
35 - 1120 Guisachan		X	
36 - 1120 Guisachan	X		
37 - 1120 Guisachan	X		
38 - 1120 Guisachan		X	
39 - 1120 Guisachan		X	
40 - 1120 Guisachan	X		
42 - 1120 Guisachan	X		
2260 Stillingfleet Rd		X	
1130 Guisachan	X		
1190 Guisachan	X		
2265 Stillingfleet Rd	X		
2259 Stillingfleet Rd		X	
2253 Stillingfleet Rd		X	
2247 Stillingfleet Rd		X	
2233 Stillingfleet Ct	X		
2229 Stillingfleet Ct	X		
2213 Stillingfleet Ct	X		
2209 Stillingfleet Ct	X		
2205 Stillingfleet Rd		X	
1225 Stillingfleet Rd		X	
2210 Stillingfleet Rd		X	
2230 Stillingfleet Rd		X	
2240/2242 Stillingfleet Rd	X		
2254 Stillingfleet Rd	X		
Remainder of Strata Units at 1120 Guisachan		X	December 5, 2024

August 20, 2024

City of Kelowna
Urban Planning Department
1435 Water Street, Kelowna BC
V1Y 1J4

Rezoning Application for MF2 – Townhouse Housing at 2248 Stillingfleet Road

Introduction

Dear Planning Staff,

The purpose of this application is to rezone the subject properties from MF1 – Infill Housing to MF2 – Townhouse Housing Zone. The goal for this site is to utilize Zoning Bylaw 12375 and OCP 2040 – Townhouse Guidelines to develop a 3-storey 9-unit townhouse project which is safe, livable, accessible, and provides new housing opportunities immediately adjacent to the Guisachan Village Centre. This proposal conforms to the 2040 OCP – Future Land Use guidance of Core Area – Neighbourhood, as ground-oriented multi-unit residential is a supported use.

Official Community Plan Objectives

As part of the application, a site plan and a massing diagram has been submitted to represent the intended land use on the property. When the architectural set is drafted for Development Permit, specific Form and Character Guidelines from Sections 3.1.1 – 3.1.6 will be carefully followed throughout the design process. The OCP identifies 10 Pillars to realize Kelowna’s vision and balance growth. This project meets the pillars as follows:

1. Stop planning new suburban neighbourhoods.

Creating sensitive infill within existing neighbourhoods reduces the desire for new suburban neighbourhoods to be planned. In turn, density is focused in areas with existing services and nearby transit, walking, and biking options.

2. Target growth along transit corridors & prioritize sustainable transportation and shared mobility.

The subject property is located less than 400 meters from a frequent transit route along Gordon Drive and slightly further to a route along Springfield. The area is also well served with bike lanes reaching all areas of the City.

3. Promote more housing diversity

Townhouse housing allows for diverse housing options within the Core Area of Kelowna. Many tenants or property owners are searching for “missing middle” housing which provides appropriate parking, ground-oriented outdoor space, and multiple bedrooms for growing families. Unlike many developments all units will have 3 bedrooms.

4. Take action on climate

The current housing stock found on the site is a 1950's bungalow. With the Step code and improvements to the Building Code stricter measures for energy consumption leads to better efficiencies. There is a large tree that will need to be removed to accommodate the townhouses however carefully placed trees in keeping with the Zoning Bylaw requirements will grow to provide significantly improve soil and water consumption, carbon storage, provide shade, and improve air quality on the site.

The OCP acknowledges:

As one of the fastest growing cities in Canada, Kelowna is rapidly evolving. Its economy is diversifying, many of its neighbourhoods are transforming, and people are choosing new ways to get around. In short, Kelowna is becoming a more urban and dynamic city and the pace of change is unlikely to let up. As one of the fastest growing cities in Canada, Kelowna is rapidly evolving. Its economy is diversifying, many of its neighbourhoods are transforming, and people are choosing new ways to get around. In short, Kelowna is becoming a more urban and dynamic city and the pace of change is unlikely to let up.

Zoning

The purpose of this application is to assess whether MF2 – Townhouse Housing is the appropriate land use for this site. Policies noted in the OCP and highlighted above provide direction for housing forms. From a zoning perspective, the purpose of the MF2 Townhouse Housing zone is: “to provide a zone for ground-oriented multiple housing (typically townhouse developments) up to 3 storeys on serviced urban lots.” The lot meets these conditions. The Core Area seeks to incorporate housing variety as a top priority especially in forms like four-plexes, townhouses and low-rise apartments. Policy’s suggest transition from transit supportive corridors such as Gordon drive to the west and Springfield to the north to ground-oriented residential. The proposed form is consistent with this policy.

This project seeks to increase available housing in an area that was developed as a single dwelling unit neighbourhood in the 1950's and 1960's. In broad terms, the Regional Growth Strategy (RGS) has outlined various goals for land, housing, and transportation in the Regional District of Central Okanagan. The projected housing unit projected in this City sector is 3,800 units or 15% over the 20-year span of the OCP. It will be a positive contribution to meet the Provincial housing target for the area.

Site Layout

As shown on the conceptual plan, the proposed project is 3 cluster of 3 units that are 3-storeys tall. Due to the stepping of the individual units, all entry doors of the first block are visible to the street. Private outdoor space is available on the south side yard and on the roof top decks. Although the design shows a paved surface to on the north side of the building, the intent is to provide a space for children to play – basketball, ball hockey, etc. As shown on the attached Zoning Table, the MF2 zone will work seamlessly on the site with no need for variances. Regarding form and character, Section 3.1 – Townhouse Guidelines will be carefully followed throughout the design process at the Development Permit stage and there will be no variances required.

Landscaping and Amenity Space

Although the landscape plan has not been created the intention is to create an urban forest. 6 – 8 deciduous columnar trees are envisioned along the north lot. The requirement for 3 trees per front and rear lot will be exceeded and expected to stager and blend with required street trees. The streetscape will be urbanized and upgraded once the power/communication lines are relocated underground.

Common amenity space is provided by a garden area for each cluster adjacent to the units. The plans include a mixture of hard surfaces of different elevations, vegetative matter and some turf. Low trees will be used to define each of the 3 spaces. We believe that landscape is an integral part of the vision and can be achieved with the change in land use.

Conclusion

The intention of this proposal is to create an attractive townhouse development in clusters of three units per building. They will be staggered to allow for maximum light in the units and provide private areas adjacent to the building. Stillingfleet Park is nearby the subject property with a child's playground which has a church located across the street. The property to the west is a large multi-residential development in the 90's. Transit is provided within walking distance (200M at Gordon Drive and 400M at Springfield), and a small commercial node is located nearby (200M) that offers many essential services. We look forward to hearing your comments and feedback on the project.

Regards,

STEVE

Steven Nicholson
Strandhaus

CITY OF KELOWNA
BYLAW NO. 12750
Z24-0048
2248 Stillingfleet Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 4 District Lot 136 ODYD Plan 10841, located on Stillingfleet Road, Kelowna, BC from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



City of
Kelowna

Z24-0048 2248 Stillingfleet Rd

Rezoning Application

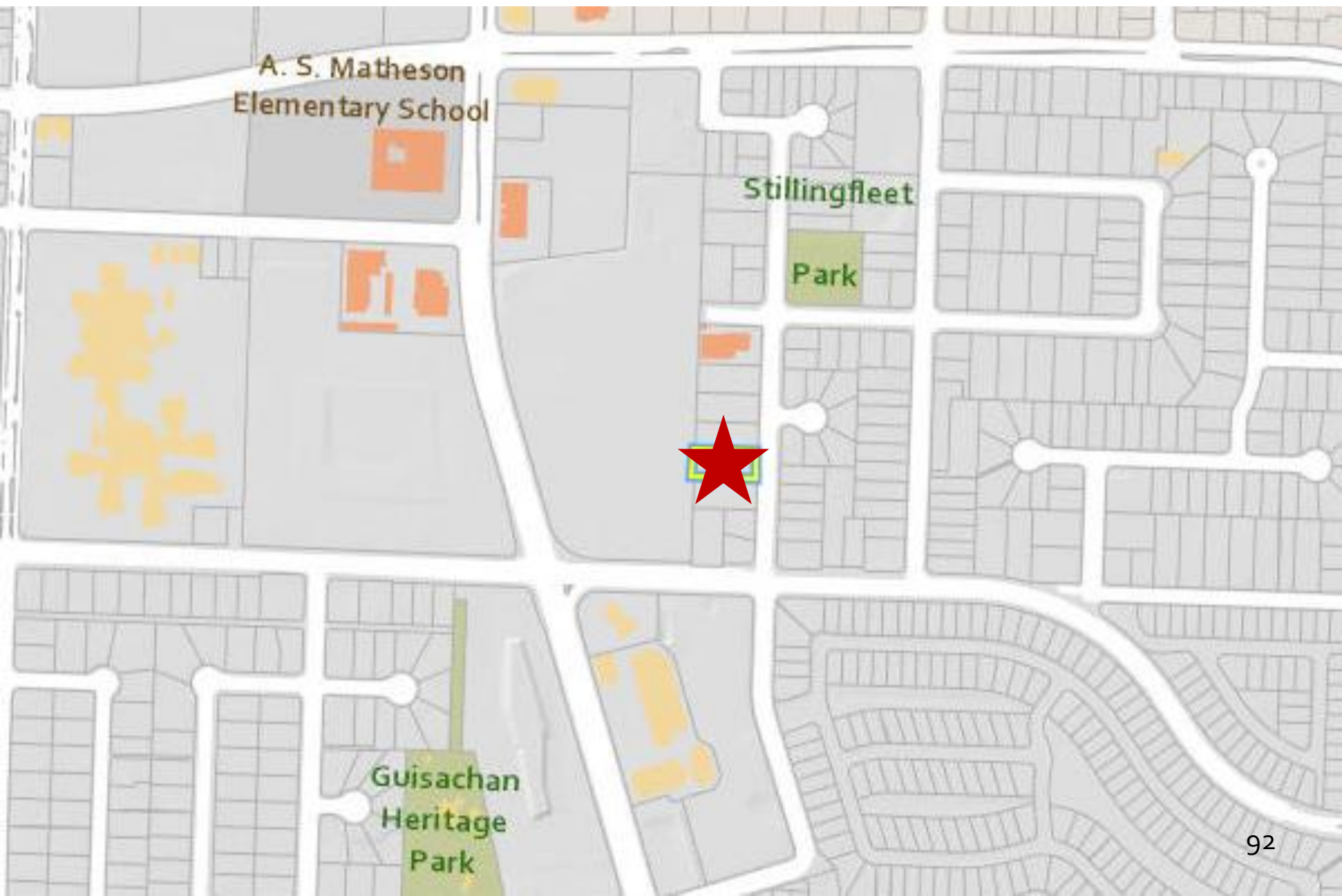
Purpose

- ▶ To rezone the subject property from the MF₁ – Infill Housing zone to the MF₂ – Townhouse Housing zone to facilitate a townhouse development.

Development Process








Context Map



OCP Future Land Use



	UC – Urban Centre
	VC – Village Centre
	C-NHD – Core Area Neighbourhood
	EDINST – Educational / Institutional
	PARK – Park and Open Space

Subject Property Map



MF2 – Townhouse Housing Zone

Purpose

- To provide a zone for ground-oriented multiple housing (typically townhouses) up to 3 storeys on serviced urban lots.

Summary of Uses

- Townhouses
- Stacked Townhouses
- Duplex Housing
- Semi-Detached Housing
- Home Based Businesses

MF2 – Townhouse Housing Zone

Regulation	Permitted
Maximum Height	11.0 m & 3 storeys
Potential Number of Units	9 units
Maximum Site Coverage of Buildings	55%

OCP Objectives – Climate Resilience

Climate Criteria

Dark Green – Meets Climate Criteria

Light Green – Will Meet Criteria Soon

Yellow – Does not meet Climate Criteria

10 min Walk to Retail/Restaurants	Dark Green
5 min Walk to Park	Dark Green
10 min Bike to Public School	Dark Green
20 min Bus to Urban Centre/Village Centre/Employment Hub	Dark Green
Retaining Trees and/or Adding Trees	Light Green
OCP Climate Resilience Consistency	Dark Green

OCP Objectives & Policies

- ▶ Future Land Use: C-NHD: Core Area Neighbourhood
 - ▶ Objective 5.3: Design residential infill to be sensitive to neighbourhood context.
 - ▶ Encourage ground-oriented residential uses such as house-plexes, townhouses and narrow lot housing up to approximately 3 storeys to fit with the existing neighbourhood development pattern.
 - ▶ Objective 5.11: Increase the diversity of housing forms and tenure to create an inclusive, affordable and complete Core Area.
 - ▶ Ensure a diverse mix of low and medium density housing forms in the Core Area to support a variety of household types and sizes, income levels and life stages.

Staff Recommendation

- ▶ Staff recommend **support** for the proposed rezoning as it is consistent with:
 - ▶ OCP Future Land Use: Core Area Neighbourhood
 - ▶ OCP Objectives in Chapter 5 Core Area
 - ▶ Core Area Neighbourhood Infill
 - ▶ Housing Diversity
 - ▶ Development Permit to follow for Council consideration

REPORT TO COUNCIL REZONING



Date: February 10, 2025
To: Council
From: City Manager
Address: 964 Laurier Ave
File No.: Z24-0057

	Existing	Proposed
OCP Future Land Use:	C-NHD – Core Area Neighbourhood	C-NHD – Core Area Neighbourhood
Zone:	MF1b – Infill Housing with Boarding or Lodging House	MF1cc – Infill Housing with Child Care Centre, Major

1.0 Recommendation

THAT Rezoning Application No. Z24-0057 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot B District Lot 138 ODYD Plan KAP64260, located at 964 Laurier Ave, Kelowna, BC from the MF1b – Infill Housing with Boarding or Lodging House zone to the MF1cc – Infill Housing with Child Care Centre, Major zone, be considered by Council;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure.

2.0 Purpose

To rezone the subject property from the MF1b – Infill Housing with Boarding or Lodging House zone to the MF1cc – Infill Housing with Child Care Centre, Major zone to facilitate a child care centre.

3.0 Development Planning

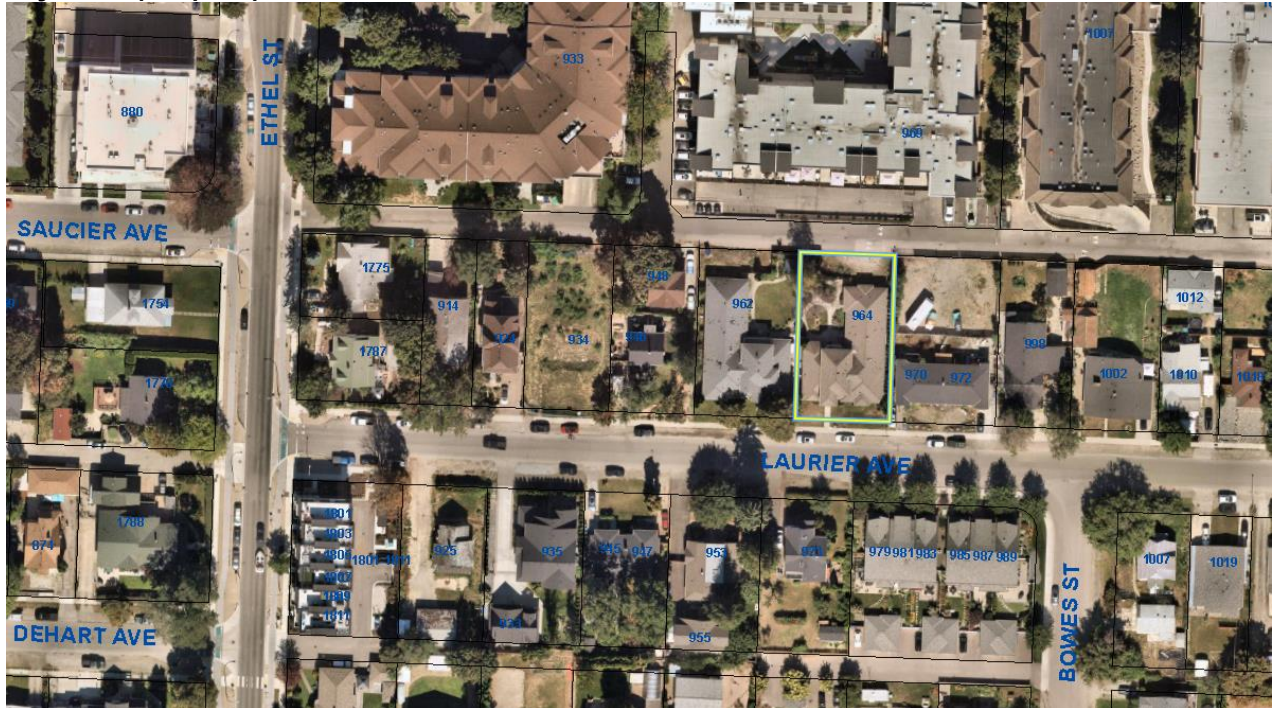
Staff support the proposed rezoning application to facilitate a child care centre. The proposal converts a former assisted living seniors home to a child care centre. The subzone allows a licensed establishment that provides child care, educational services, and supervision to more than 8 children. The proposal meets the intent of the Official Community Plan (OCP) and the Future Land Use Designation of C-NHD – Core Area Neighbourhood, which supports facilitating child care spaces throughout the Core Area.

The child care will have a proposed capacity of 63 children, 3 teachers, and 3 assistants. The facility will operate between the hours of 7:30 AM – 5:30 PM. Interior renovations will convert bedrooms into classrooms. A designated outdoor play space is provided. The Zoning Bylaw parking requirements have been exceeded and drop-off and pick-up areas are accessible via the rear lane and the fronting street with existing 15-minute loading zones. Additional transportation, parking, and accessibility considerations have been addressed, with no further requirements identified.

4.0 Site Context & Background

Orientation	Zoning	Land Use
North	MF3r – Apartment Housing with rental sub-zone	Rental Apartment Housing
East	MF1 – Infill Housing	Two Single Detached Dwellings
South	MF1 – Infill Housing	One Single Detached Dwelling
West	MF1b – Infill Housing with Boarding or Lodging House	Boarding and Lodging Dwelling

Subject Property Map: 964 Laurier Ave



The property is approximately 200 m to the south of the Harvey Avenue Transit Supportive Corridor.

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Objective 5.4 Strategically locate community services to foster greater inclusion and social connections in the Core Area	
Policy 5.4.7 Child Care Spaces	Facilitate the development of childcare spaces throughout the Core Area including accessible, affordable, and inclusive spaces that meet the needs of the community.
	<i>The proposed rezoning will facilitate the development of a child care centre in close proximity to schools, recreation areas, and is located within an established core area neighbourhood.</i>

6.0 Application Chronology

Application Accepted: November 5, 2024
Neighbourhood Notification Summary Received: January 16, 2025

Report prepared by: Sara Skabowski, Planner I
Reviewed by: Adam Cseke, Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Climate Action, Planning & Development Services

Attachments:

Attachment A: Site Plan

Attachment B: Summary of Neighbourhood Notification

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

EXISTING WALLS - Hatched pattern

NEW WALLS - Solid black

DEMOLISHED WALLS - Dashed line

LIFE SAFETY FIXTURE LEGEND

EXIT/ EMERGENCY COMBO - Arrow with EXIT symbol

EMERGENCY LIGHT - Light symbol

CARBON MONOXIDE & SMOKE ALARM COMBO - Alarm symbol

DOOR SCHEDULE		
DOOR SYMBOL	TYPE	DETAILS
①	20 MIN FIRE RATED - C / W CLOSURE	C/W FIRE RATED FRAME
②	STANDARD INTERIOR NON RATED DOOR	
③	EXTERIOR HALF LITE DOOR - METAL CLAD	CONFIRM STYLE WITH OWNER
④	FRONT EXTERIOR DOOR - TYPE AS PER OWNER	METAL CLAD C/W 18" SIDELITES
⑤	STANDARD INTERIOR NON RATED DOOR (L-3-0")	
⑥	GREAT RM. REAR EXT. DOOR - FULL LITE	CONFIRM STYLE WITH OWNER
⑦	20 MIN. FIRE RATED - C / W FIRE ACTUATED CLOSURE	
⑧	SIDE STAIRWELL ENTRANCE	6 - PANEL METAL CLAD
⑨	STANDARD INTERIOR DOOR - CUSTOM SIZE ANGLED TOP FOR STAIRWELL STORAGE	

NOTES:

ALL DOOR SIZES AS PER INDICATIONS ON ARCH. PLANS.

FIRE RATED DOORS - FRAME AND THRESHOLD AS PER BUILDING DEPT.

ALL CLOSET DOORS TO BE FULL LITE AND WITH BI-PASS DOORS UNLESS OTHERWISE INDICATED CONFIRM WITH OWNER.

DOOR HARDWARE - BEDROOMS AND BATHS - LEVER HANDLE PASSAGE SETS PREFERRED.

ATTACHMENT A

This forms part of application # Z24-0057

Planner Initials **SS**

City of Kelowna
COMMUNITY PLANNING

NO	DESCRIPTION	DATE
1	Preliminary	10-22-2024

© Copyright reserved.

The design and drawings prepared by the SK ARCHITECT are instruments of service for the execution of the work show and are the property of the SK ARCHITECT whether the work be executed or not and SK ARCHITECT reserves the copyright therein and in the work executed therefrom, and they are not to be reproduced or used in any way without the written consent of the SK ARCHITECT.

Drawings shall not be scaled. The contractor shall verify and be responsible for all dimensions, datum, and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Architect prior to commencing construction.

These Design Documents are prepared Solely for the use by the Party with whom the SK ARCHITECT has entered into a Contract and there are no Representations of any kind made by the SK ARCHITECT to any party with whom the SK ARCHITECT has not entered into contract.

Client
HUSANPREET

Project
PROPOSED CHILDCARE

Address
964 LAURIER AVE,
KELOWNA (BC)

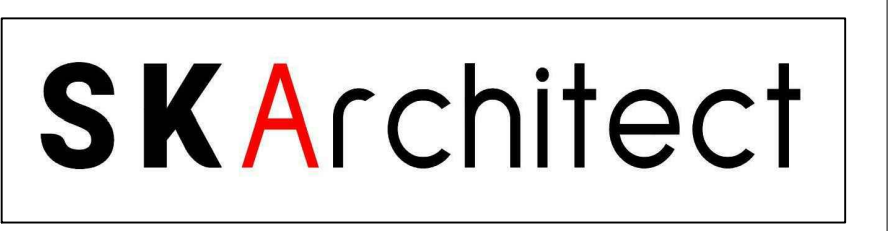
Sheet
PROPOSED
FLOOR PLAN

Project number 2000.06

A - 2.4

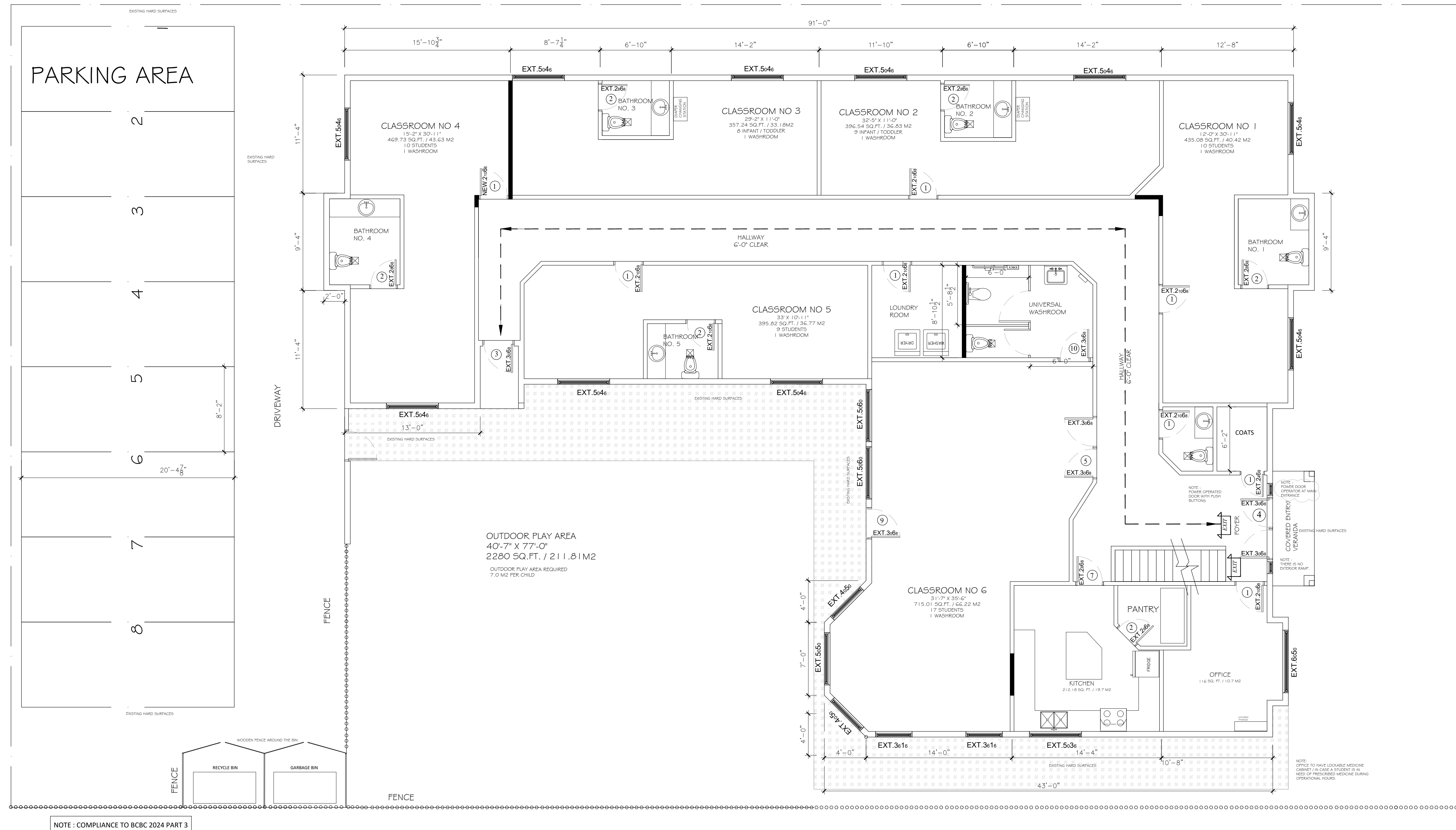
SCALE AS SHOWN

DRAWN BY T.KORGAONKAR



106-460 - DOYLE AVE.
KELOWNA, B.C. V3B 0N9

T. 778.318.4874 www.skarchitect.ca





Triumph Academy

964 LAURIER AVE
KELOWNA BC
V1Y6B1
PHONE:3065819141
EMAIL:triumphacademylimited@gmail.com

ATTACHMENT B

This forms part of application

Z24-0057



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials

SS

Subject: Summary of Neighborhood Notification

On January 16, 2025, we conducted door to door visits within our local community and visited the addresses provided by the City of Kelowna. We provided a copy of our notification letter with our intention of opening a new childcare facility in the community. We spoke face to face with the local residence who were available at the time of our visits. For those who were not available, we left a copy of our letter with contact information (mail). We engaged in dialogue with local community to enlist feedback. The communication was well received within the community which expressed that it is looking forward to such facilities in their neighborhood. Residence expressed that there is a need for more childcare centers and appreciate our efforts to support the local community. Residence were also appreciative of the new job opportunities that will be provided along with support for children. They communicated that these types of childcare centers would provide more flexibility for families as there are already constraints due to capacity at other institutions. Overall, we received very positive feedback.

No changes to the project resulting from the neighborhood notification at this time.

Please note the addresses visited are listed on page two of the Neighborhood Consultation Form (Council Policy No. 367).

Regards,

Sonia Badyal

CITY OF KELOWNA

BYLAW NO. 12752

Z24-0057

964 Laurier Avenue

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot B District Lot 138 ODYD Plan KAP64260, located on Laurier Avenue, Kelowna, BC from the MF1b – Infill Housing with Boarding or Lodging House zone to the MF1cc – Infill Housing with Child Care Centre, Major zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



City of
Kelowna

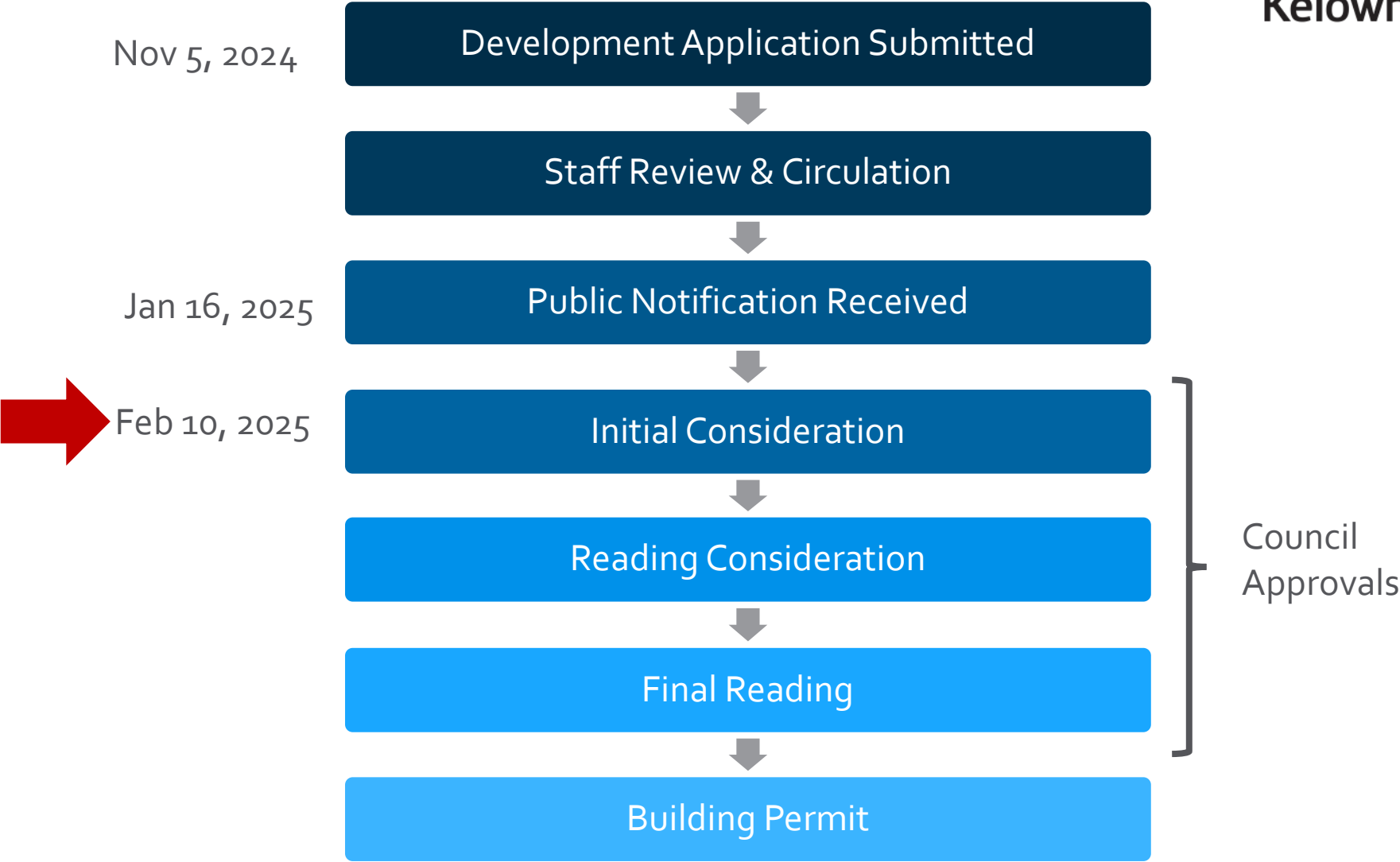
Z24-0057
964 Laurier Ave

Rezoning Application

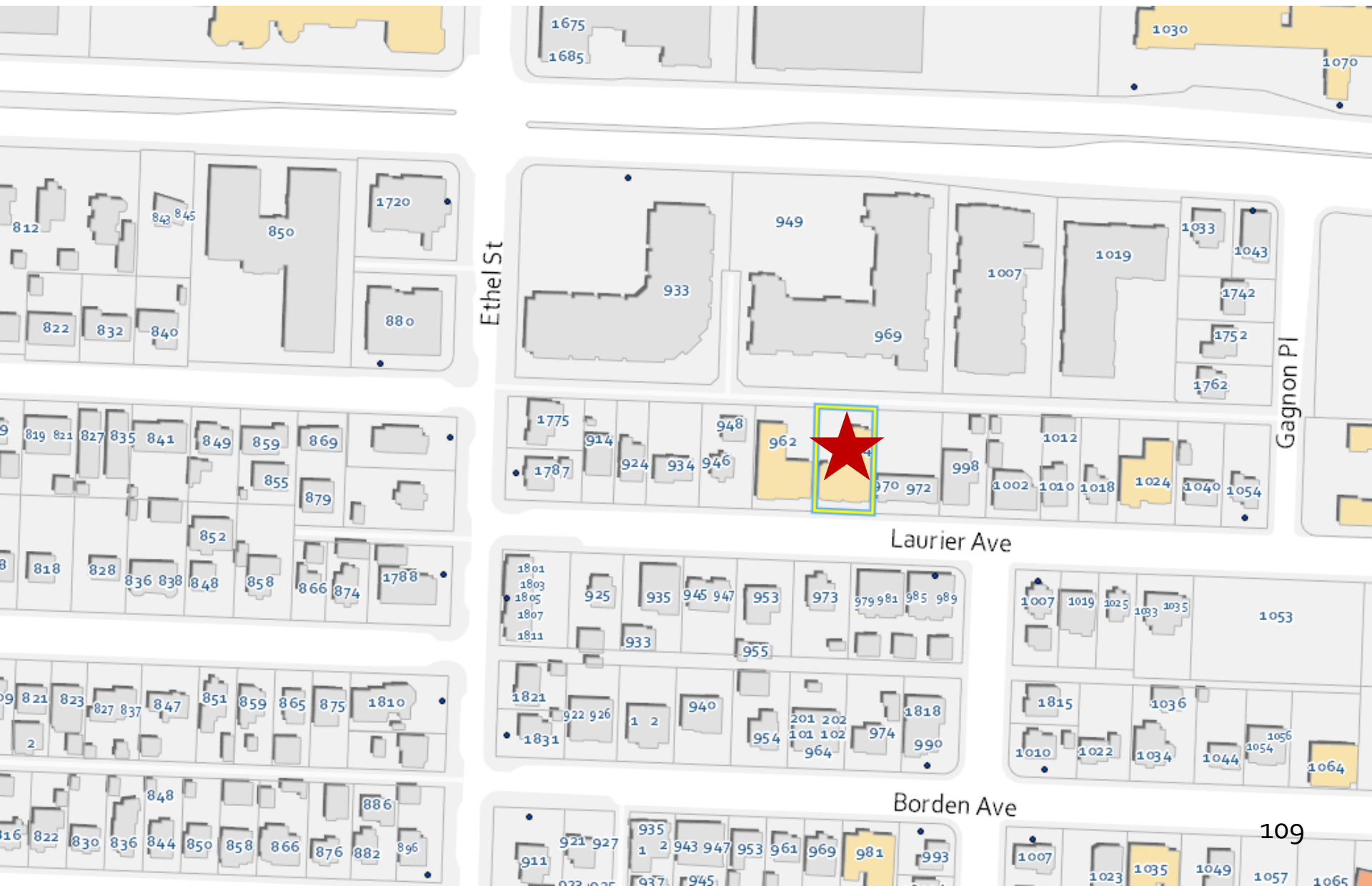
Purpose

- ▶ To rezone the subject property from the MF1b – Infill Housing with Boarding and Lodging zone to the MF1cc – Infill Housing with Child Care Centre, Major zone to facilitate a child care centre.

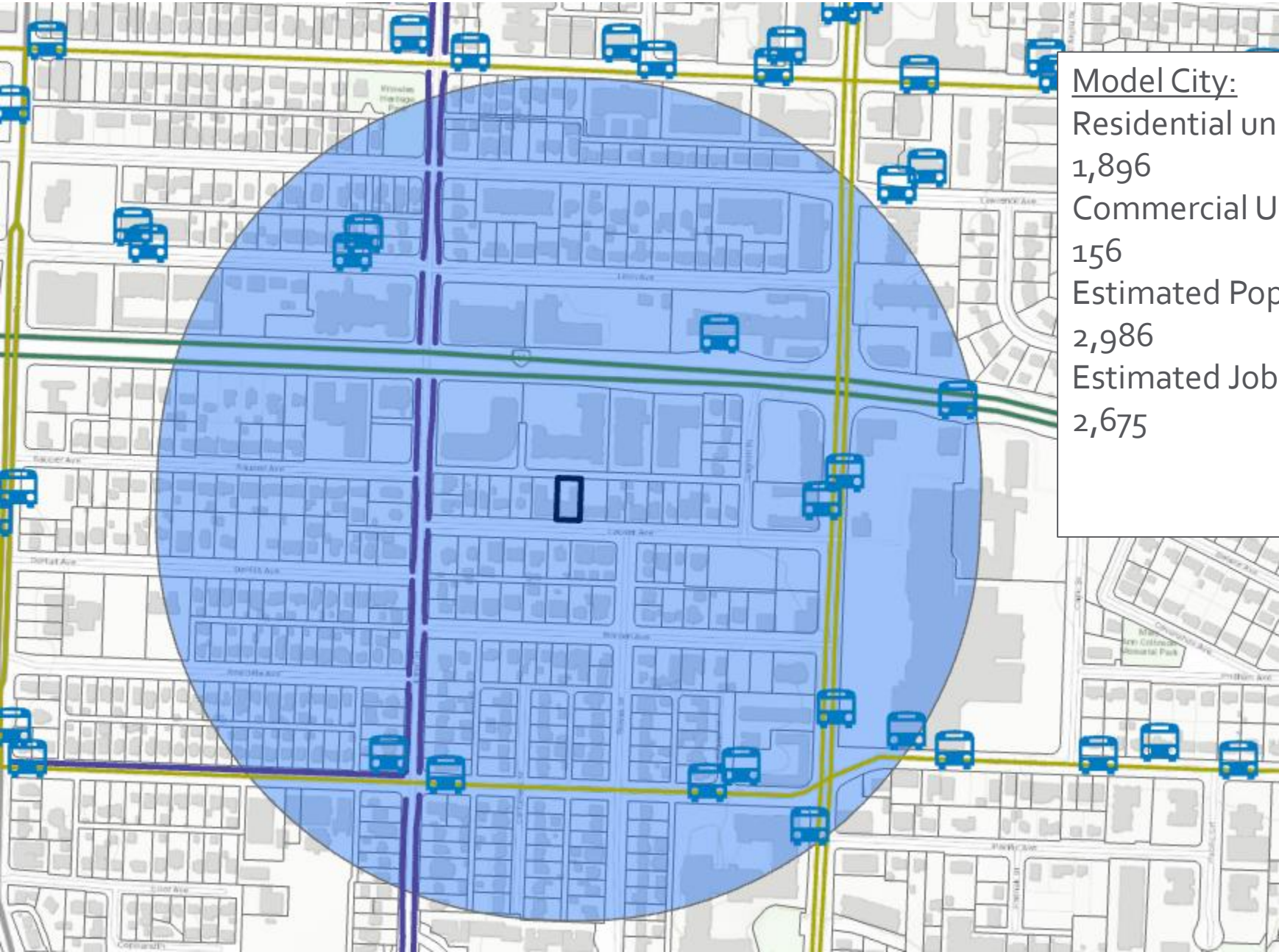
Development Process



Context Map

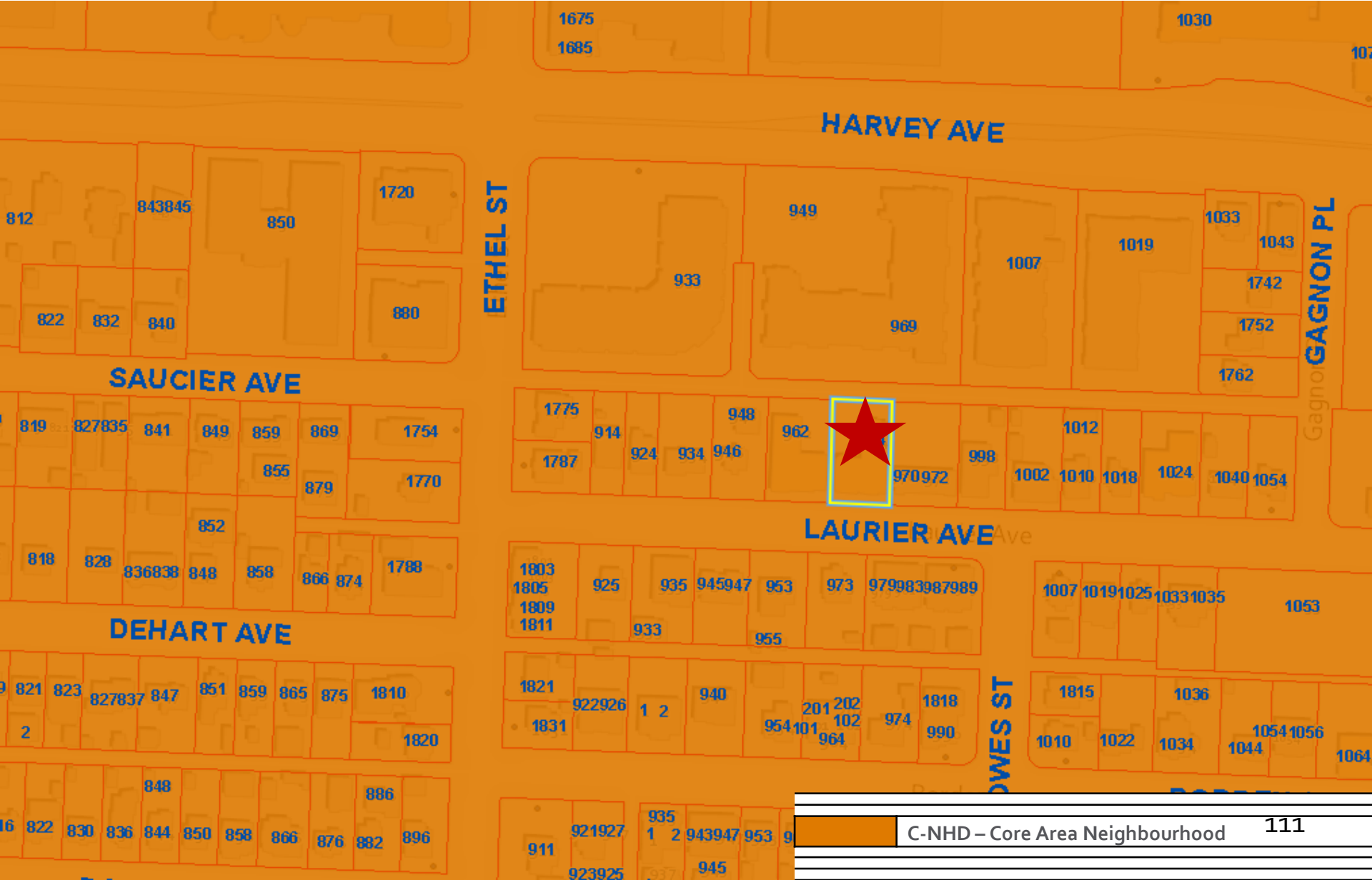


5 – Minute Walk radius



Model City:
Residential units:
1,896
Commercial Units:
156
Estimated Population:
2,986
Estimated Jobs:
2,675

OCP Future Land Use



	C-NHD – Core Area Neighbourhood	111

Subject Property Map



Rear Lane

Laurier Ave

Bowes St

“cc” – Child Care Centre, Major

Purpose

- To provide a sub-zone to allow for Child Care Centre, Major on a case-by-case basis where supported by OCP Policy.

Summary of Uses

- Child Care Centre, Major
 - Licensed under Community Care and Assisted Living Act
 - Care, education, supervision
 - More than 8 children

OCP Objectives – Climate Resilience

Climate Criteria

Dark Green – Meets Climate Criteria

Light Green – Will Meet Criteria Soon

Yellow – Does not meet Climate Criteria

10 min Walk to Retail/Restaurants	Dark Green
5 min Walk to Park	Light Green
10 min Bike to Public School	Light Green
20 min Bus to Urban Centre/Village Centre/Employment Hub	Dark Green
Retaining Trees and/or Adding Trees	Dark Green
OCP Climate Resilience Consistency	Dark Green

OCP Objectives & Policies

- ▶ C-NHD: Core Area Neighbourhood
- ▶ **OCP Policy 5.4.7** Facilitate the development of child care spaces throughout the Core Area
 - ▶ Transit Supportive Corridors
 - ▶ Established core area neighbourhood

Staff Recommendation

- ▶ Staff recommend **support** for the proposed rezoning as it is consistent with:
 - ▶ OCP Future Land Use C-NHD
 - ▶ OCP Objectives in Chapter 5 Core Area
 - ▶ Child Care Centre Policies

Report to Council



Date: February 10, 2025
To: Council
From: City Manager
Department: Office of the City Clerk
Subject: Rezoning Bylaws Supplemental Report to Council

Recommendation:

THAT Council receives, for information, the report from the Office of the City Clerk dated February 10, 2025 with respect to one rezoning application and one site-specific Zoning Bylaw text amendment application;

AND THAT Rezoning Bylaw No. 12740 and Zoning Bylaw Text Amending Bylaw No. 12741 be forwarded for further reading consideration.

Purpose:

To receive a summary of notice of first reading for Rezoning Bylaw No. 12740 and Zoning Bylaw Text Amending Bylaw No. 12741 and to give the bylaws further reading consideration.

Background:

A public hearing cannot be held for zoning bylaws for residential development that are consistent with the OCP. A public hearing is not required for all other zoning bylaws that are consistent with the OCP. Public notice is given before first reading with signage on the subject property, newspaper advertisements, and mailouts in accordance with the Local Government Act and Development Application & Heritage Procedures Bylaw No. 12310.

Discussion:

The rezoning application and site-specific Zoning Bylaw text amendment application were brought forward to Council for initial consideration on January 20, 2025 and January 27, 2025. Notice of first reading was completed as outlined above.

Correspondence was received as per the following table:

Address	Application	Bylaw	Public Hearing Option	Recommended Readings	Correspondence Received
962 Laurier Ave	Z24-0049	12740	No	1 st , 2 nd , 3 rd	0
212 Valley Rd N	TA24-0014	12741	No	1 st , 2 nd , 3 rd , adopt	0

These applications were brought forward with a recommendation of support from the Development Planning Department. Staff are recommending Council proceed with further readings of the Bylaws.

Conclusion:

Following notice of first reading, staff are recommending that Council give Rezoning Bylaw No. 12740 and Zoning Bylaw Text Amending Bylaw No. 12741 further reading consideration.

Considerations applicable to this report:

Legal/Statutory Authority:

Local Government Act s. 464(2)

Legal/Statutory Procedural Requirements:

Following the notification period under s. 467 of the Local Government Act, Council may choose to:

- give a bylaw reading consideration,
- defeat the bylaw, or
- for non-residential bylaws, give a bylaw first reading and advance the bylaw to a Public Hearing.

Considerations not applicable to this report:

Existing Policy:

Financial/Budgetary Considerations:

External Agency/Public Comments:

Communications Comments:

Submitted by: N Beauchamp , Legislative Technician

Approved for inclusion: L Bentley, City Clerk

cc: Development Planning

CITY OF KELOWNA

BYLAW NO. 12740

Z24-0049

962 Laurier Avenue

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot A District Lot 138 ODYD PLAN KAP64260 located on Laurier Avenue, Kelowna, BC from the MF1b – Infill Housing with Boarding or Lodging House zone to the MF1cc – Infill Housing with Child Care Centre, Major zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA

BYLAW NO. 12741

TA24-0014

212 Valley Road N

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375, **Section 10 – Agriculture & Rural Residential Zones, Section 10.7 – Site Specific Regulations** be amended by adding the following in its appropriate location:

“

That Part of Lot 13 Block 5 Section 4 Township 23 ODYD Plan 896 Shown as Okanagan Hwy (Proposed) and Two Parts as 50 ft Access Road all of Which are Dedicated as Road on Plan 11656	212 Valley Road N	To allow for Temporary Shelter Services as a Principal Use on the subject property.
--	-------------------	---

”

2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 12690
Z24-0002
3200 St. Amand Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot A District Lot 131 ODYD Plan EPP136561, located on St Amand Road, Kelowna, BC from the MF1 - Infill Housing zone to the MF2 – Townhouse Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 26th day of August, 2024.

Amended at third reading and adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL DEVELOPMENT PERMIT



Date: February 10, 2025
To: Council
From: City Manager
Address: 3200 St Amand Road
File No.: DP24-0016
Zone: MF2 – Townhouse Housing zone

1.0 Recommendation

THAT Rezoning Bylaw No. 12690 be amended at third reading to revise the legal description of the subject properties from:

- Lot 1 District Lot 131 ODYD Plan 15011 Except Plan KAP78065, located at 1559 KLO Road, Kelowna, BC;
- Lot 1 District Lot 131 ODYD Plan 17156, located at 3150 St. Amand Road, Kelowna, BC;
- Lot 2 District Lot 131 ODYD Plan 17156, located at 3210 St. Amand Road, Kelowna, BC; and
- Lot 3 District Lot 131 ODYD Plan 17156, located at 3220 St. Amand Road, Kelowna, BC;

To Lot A District Lot 131 ODYD Plan EPP136561, located at 3200 St. Amand Road, Kelowna, BC.

AND THAT final adoption of Rezoning Bylaw No. 12690 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP24-0016 for Lot A District Lot 131 ODYD Plan EPP136561, located at 3200 St Amand Road, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect; (remove if not applicable)

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Permit for the form and character of a townhouse development.

3.0 Development Planning

Staff recommend support for the proposed Development Permit for the form and character of a 42-unit townhouse development on the corner of KLO Road and St Amand Road. The proposal conforms with the

majority of the Official Community Plan (OCP) Form and Character Development Permit Design Guidelines for Townhouses. Key guidelines that are met include:

- Ensure main building entries are clearly visible with direct sight lines from the fronting street;
- Incorporating a range of architectural features and details into building facades to create visual interest, and breaking up the building with an integrated, consistent range of materials and colours that provide variety; and
- Incorporate landscaping, seating, play space, and other elements that encourage gathering or recreation.

The site offers common amenity spaces in two locations: a playground area in the southwest corner and a seating area on the northern portion of the site. Vehicle access is available from St. Amand Road, with two entry points located at the north and south ends of the property. Most of the parking will be accommodated in private garages, along with six surface parking stalls for visitors.

Subject Property & Background

3.1 Subject Property Map



The subject property is located on St Amand Road, at the intersection of St Amand Road and KLO Road. KLO Road is a Transit Supportive Corridor (TSC) and has transit stops located 150 meters west of the site. Immaculata Regional High School is adjacent to the west and KLO Sports Field is across the street to the north.

4.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
Gross Lot Area	5909 m ²
Total Number of Units	42
3-bed	42

DEVELOPMENT REGULATIONS		
CRITERIA	MF ₂ ZONE	PROPOSAL
Total Maximum Floor Area Ratio	1.0	1.0
Max. Site Coverage (buildings)	55 %	43 %
Max. Site Coverage (buildings, parking, driveways)	80 %	80 %
Max. Height	11.0 m / 3 Storeys	11.0 m / 3 Storeys
Setbacks		
Min. Front Yard (North)	2.0 m	3.5 m
Min. Flanking Side Yard (East)	2.0 m (Ground oriented)	3.8 m
Min. Side Yard (West)	2.1 m	2.4 m
Min. Rear Yard (South)	4.5 m	15.2 m
Amenity Space		
Total Required Amenity Space	1,050 m²	2,269 m²
Common	168 m ²	169 m ²
Private	1050 m ²	2,100 m ²
Landscaping		
Min. Number of Trees	21 trees	32 trees
Min. Large Trees	11 trees	16 trees

PARKING REGULATIONS		
CRITERIA	MF ₂ ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	65 stalls	90 stalls
Residential	59	84
Visitor	6	6
Ratio of Regular to Small Stalls	Min. 50 % Regular Max. 50 % Small	53 % Regular 47 % Small
Bicycle Stalls Short-Term	8 stalls	8 stalls

5.0 Application Chronology

Application Accepted: January 26, 2024

Report prepared by: Jason Issler, Planner II
Reviewed by: Adam Cseke, Central Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

Attachments:

Attachment A: Draft Development Permit DP24-0016
 Schedule A: Site Plan & Floor Plans
 Schedule B: Elevations & Sections

Schedule C: Landscape Plan
Attachment B: OCP Form and Character Development Permit Guidelines

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.



City of
Kelowna

DP24-0016
3200 St Amund Rd

Development Permit

Purpose

- ▶ To issue a Development Permit for the form and character of a townhouse development.

Development Process

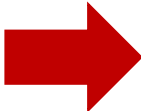


Jan 26, 2024

Development Application Submitted



Staff Review & Circulation



Feb 10, 2025

DP

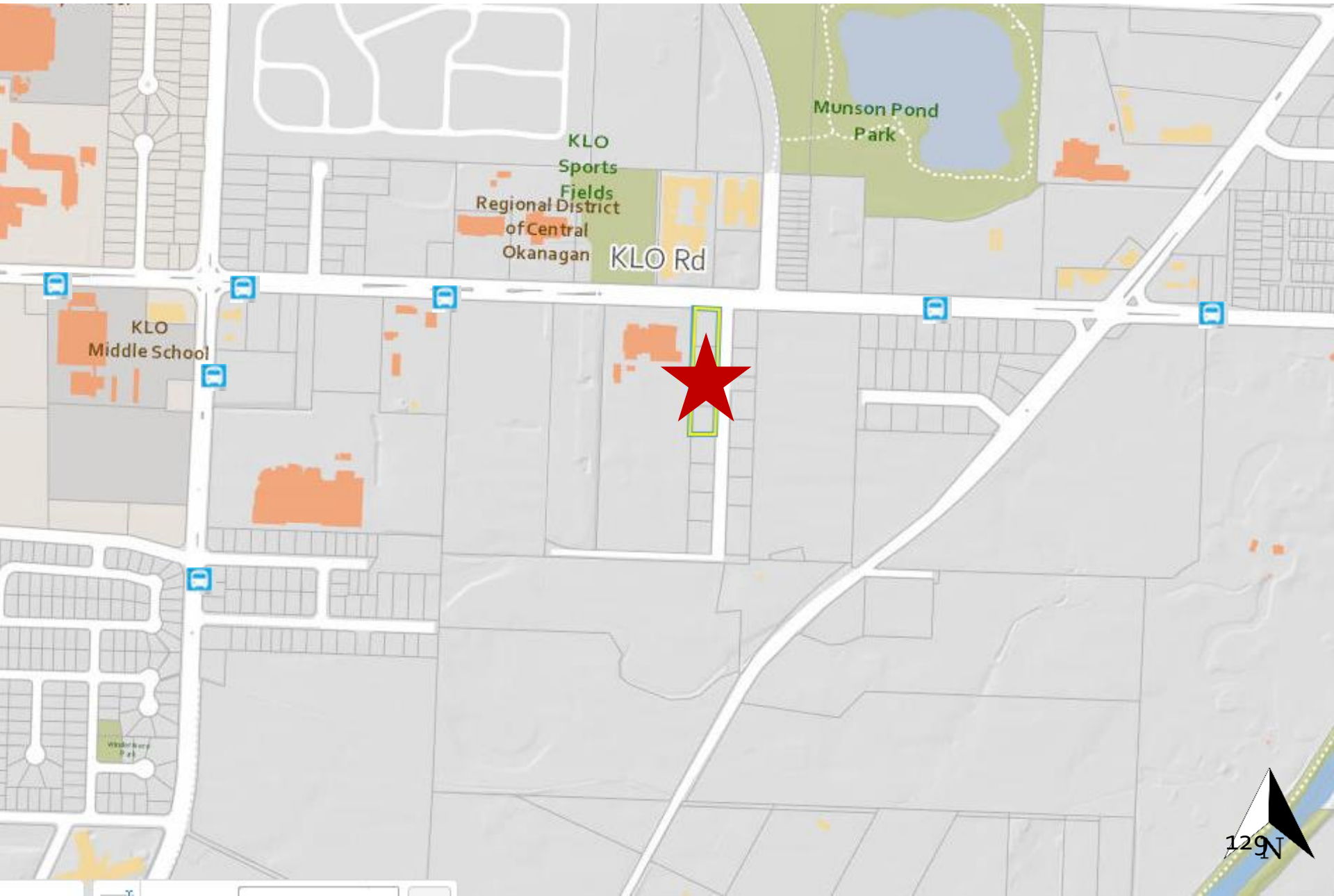


Council Approvals



Building Permit

Context Map



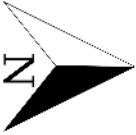
Subject Property Map



Technical Details

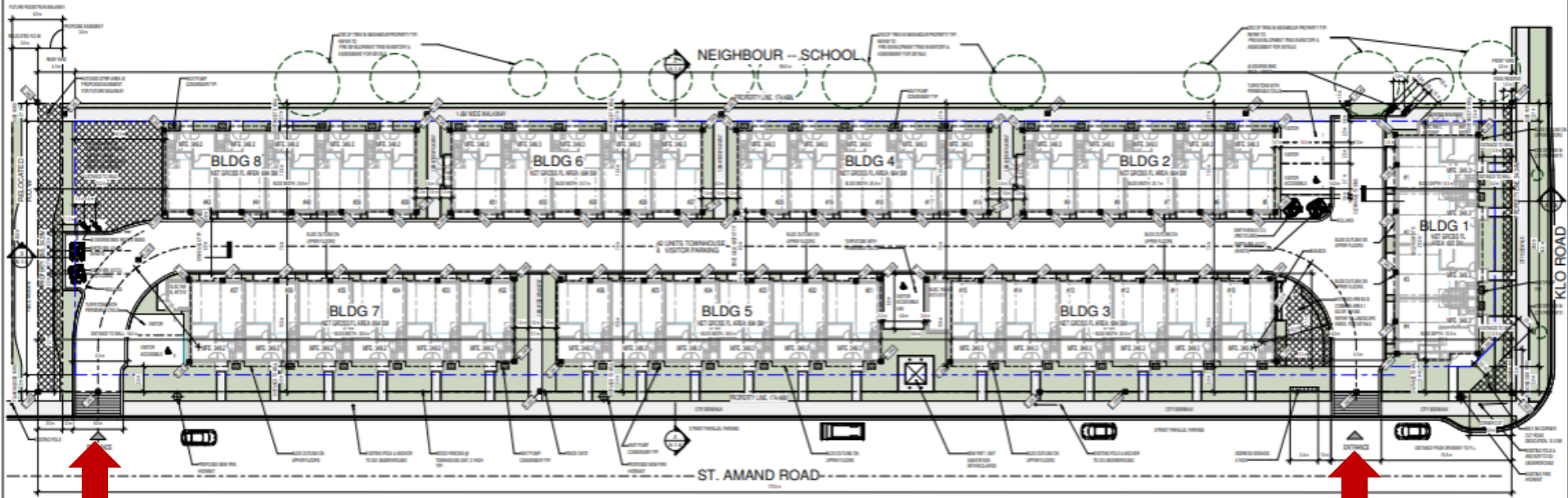
- ▶ MF2 – Townhouse Housing zone
 - ▶ 42 units
 - ▶ 42 3-Bedroom
 - ▶ 11.0 m / 3 Storeys in height
 - ▶ 90 Parking Stalls
 - ▶ 8 Short-Term Bicycle Parking Stalls
 - ▶ 16 Large Trees
 - ▶ 32 Trees total

Site Plan



LEGEND

- PROPERTY LINE
- - - EASEMENT, ROAD/NEEDS
- REQUIRED SETBACK
- BLDG OUTLINE ON UPPER FLOOR



ITE PLAN
1" = 1'-0"

Elevation – Colour Pallet A



1 NORTH ELEVATION
A-3.1 1/4" = 1'-0"

Elevation – Colour Pallet A



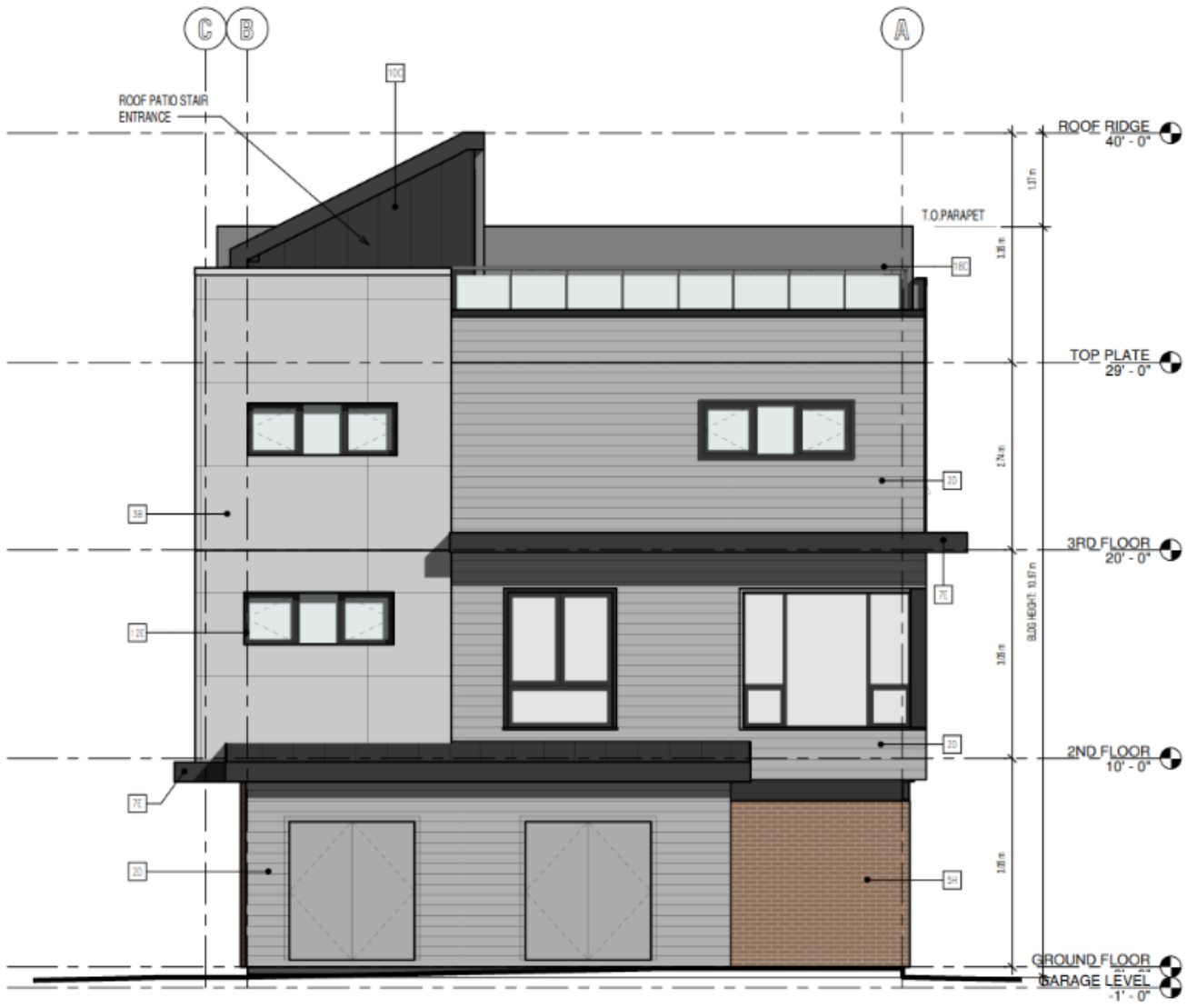
4 SOUTH ELEVATION
A-31 1/4" = 1'-0"

Elevation – Colour Pallet A



1 INTERIOR SIDE ELEVATION
A-3.2 1/4" = 1'-0"

Elevation – Colour Pallet A



2 SIDE ELEVATION
A-32 1/4" = 1'-0"

Elevation – Colour Pallet B



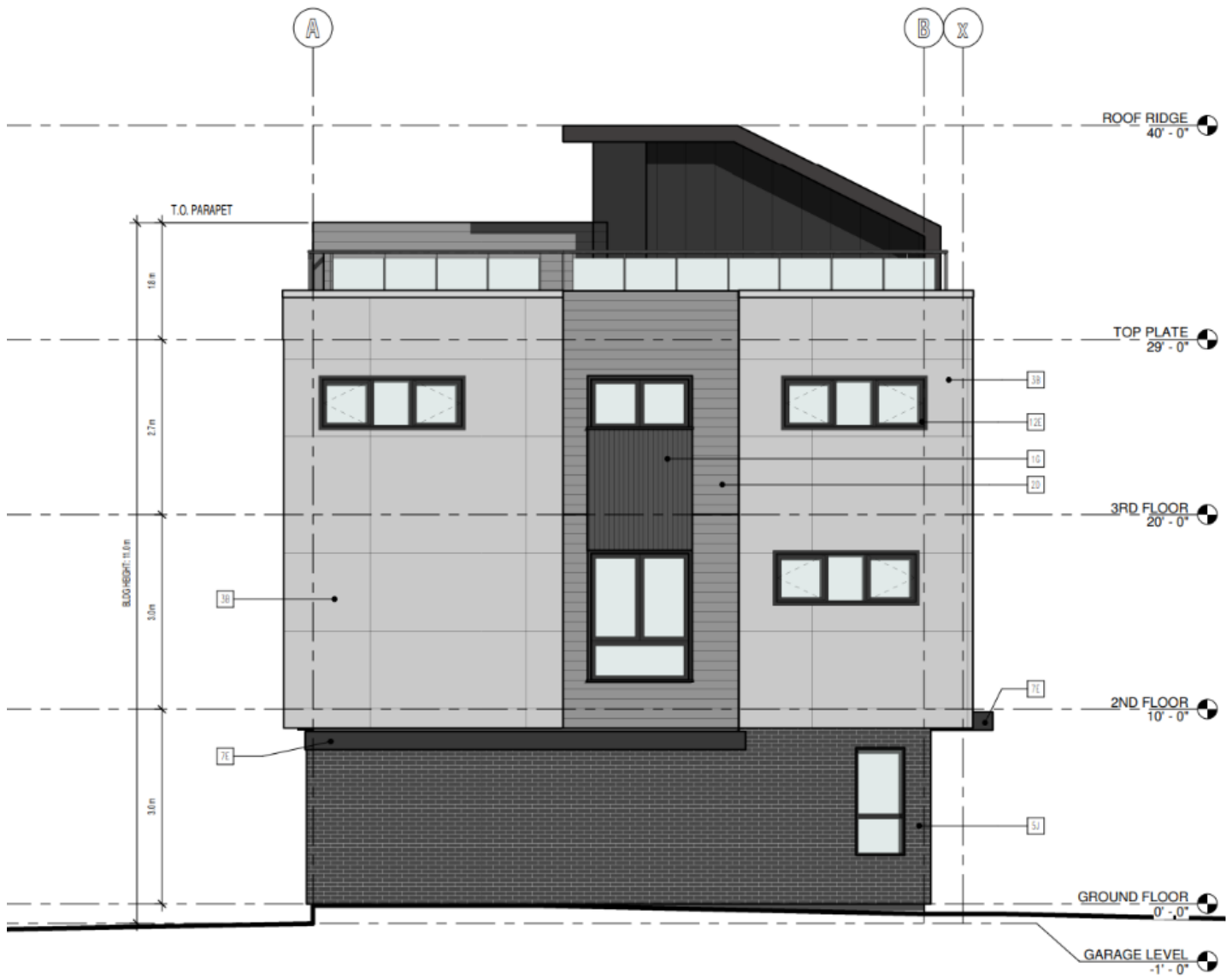
1 EAST ELEVATION
A-36 / 1/4" = 1'-0"

Elevation – Colour Pallet B



1 WEST ELEVATION
A3.5 / 1/4" = 1'-0"

Elevation – Colour Pallet B



2 SOUTH ELEVATION
A-3.5 1/4" = 1'-0"

Elevation – Colour Palette B



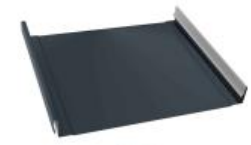
Materials Board



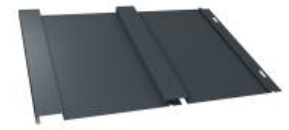
STANDING SEAM METAL ROOF PANEL



STEEL BOARD AND BATTEN SIDING TO MATCH ROOF



STANDING SEAM METAL ROOF PANEL



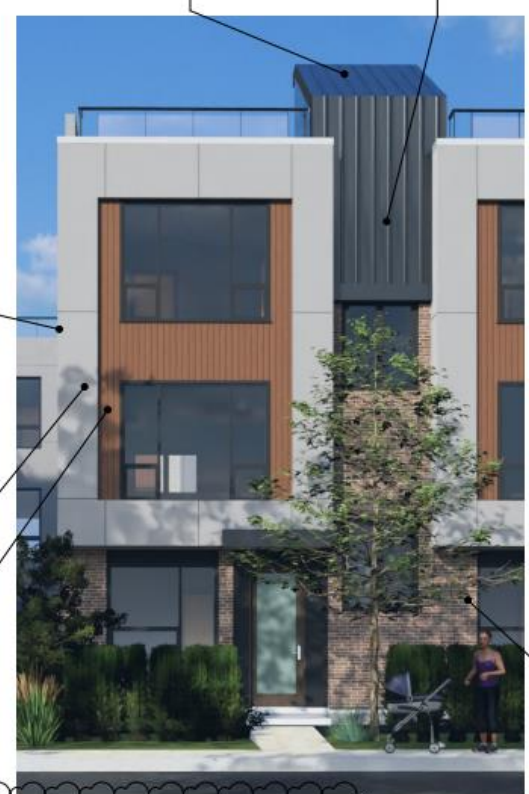
STEEL BOARD AND BATTEN SIDING TO MATCH ROOF



HARD PLANK LAP SIDING



HARD PLANK, SMOOTH FINISH



LUSTRO POLISHED METAL PANEL - GRAYWOOD

GRAYWOOD



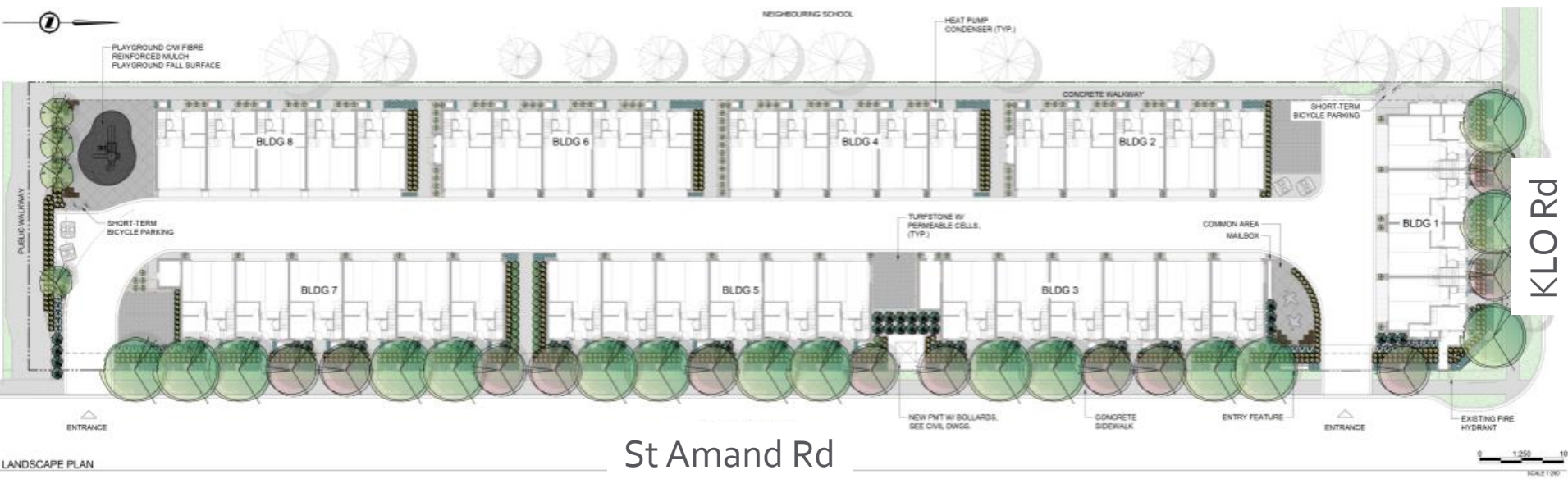
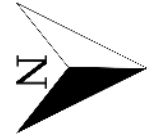
NEW TECH WOOD LINE - NORWEGIAN SPRING TEAK

NORWEGIAN SPRING TEAK

SMOOTH REDWOOD

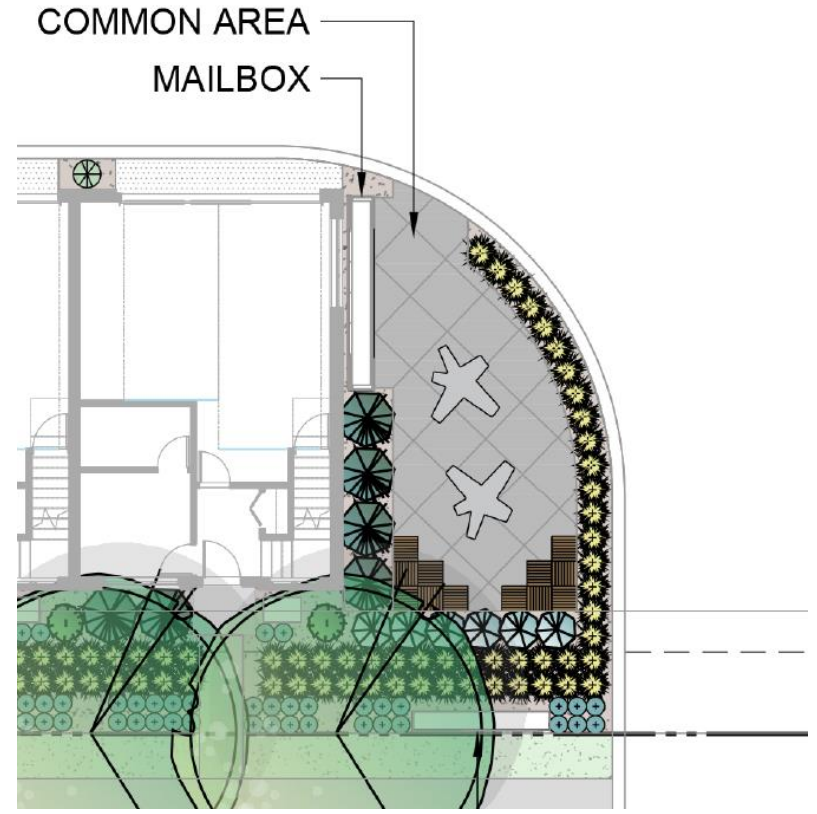
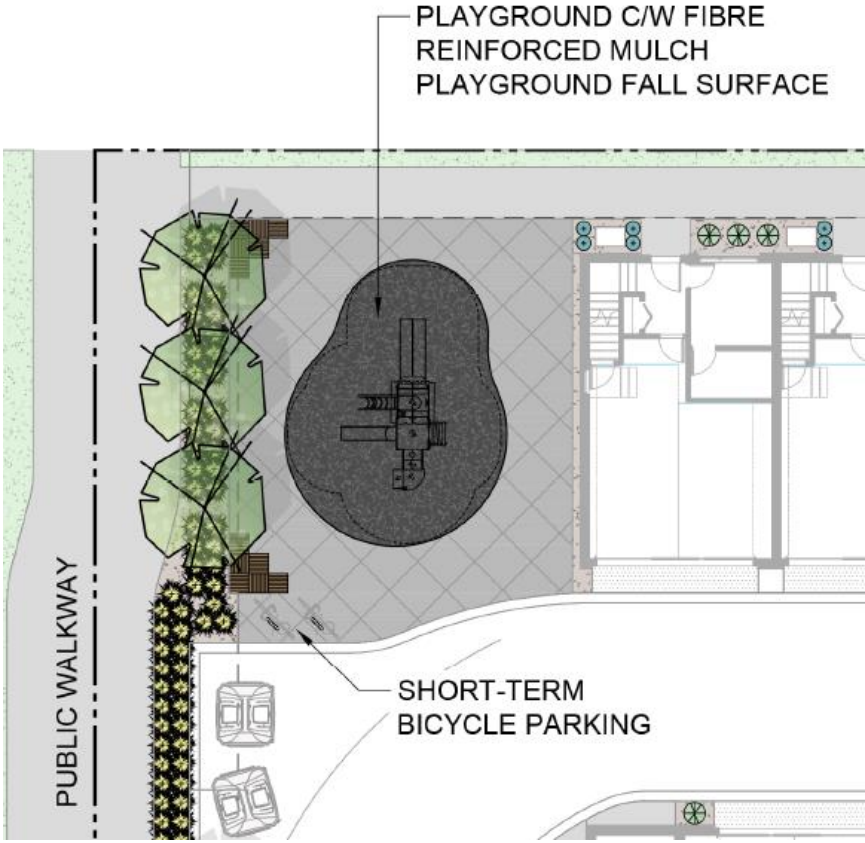
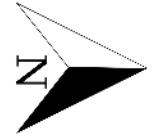


Landscape Plan



St Amand Rd

Amenity Area



Rendering – North



TOWNHOUSE FACING KLO ROAD

Rendering – North East



KLO ROAD & ST AMAND ROAD INTERSECTION

Rendering – West



ST AMAND ROAD STREET VIEW

Rendering – West



ST AMAND ROAD STREET VIEW

Rendering – West



Rendering – West



ST AMAND ROAD ENTRANCE

OCP Design Guidelines

- ▶ Clear and visible main building entries from the fronting street;
- ▶ A range of architectural features and diverse details in building facades;
- ▶ Offering common amenity spaces in two locations featuring a playground and seating areas.

Staff Recommendation

- ▶ Staff recommend **support** for the proposed development permit as it:
 - ▶ Meets majority of OCP Design Guidelines
 - ▶ No variances

Development Permit

DP24-0016



This permit relates to land in the City of Kelowna municipally known as

3200 St Amand Rd

and legally known as

Lot A District Lot 131 ODYD Plan EPP136561

and permits the land to be used for the following development:

Townhouses

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval: February 10, 2025

Development Permit Area: Form and Character

Existing Zone: MF2 – Townhouse Housing zone

Future Land Use Designation: C-NHD – Core Area Neighbourhood

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner’s authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Acaia Garden Properties Development Corp., Inc. No. BC1440521

Applicant: Song Peng

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

ATTACHMENT A

This forms part of application
DP24-0016

Planner Initials JI


City of Kelowna
DEVELOPMENT PLANNING

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP24-0016 for Lot A District Lot 131 ODYD Plan EPP136561 located at 3200 St Amand Rd, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$332,064.56**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

ATTACHMENT	A
This forms part of application # DP24-0016	
Planner Initials	JJ
City of Kelowna DEVELOPMENT PLANNING	



SCROLLBAR

1	BLDG 1	RELOCATED
2	BLDG 2	RELOCATED
3	BLDG 3	RELOCATED
4	BLDG 4	RELOCATED
5	BLDG 5	RELOCATED
6	BLDG 6	RELOCATED
7	BLDG 7	RELOCATED
8	BLDG 8	RELOCATED

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES

1559 KLO Rd., 0150.0210.0220 St. Amand Rd



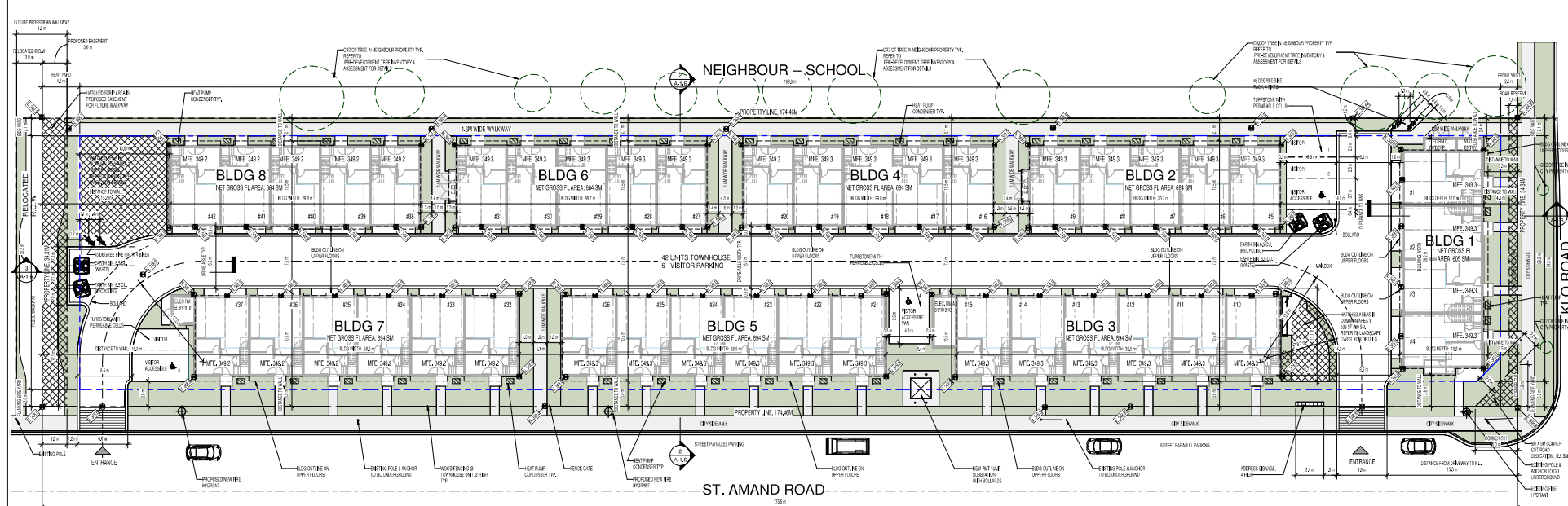
2308

SITE PLAN

1	As Issued	A-1.1
2	SP	

LEGEND

- PROPERTY LINE
- EASEMENT, ROAD RESERVE
- REQUIRED SETBACK
- BLDG OUTLINE ON UPPER FLOOR



SITE PLAN
 1/110' = 1/50'

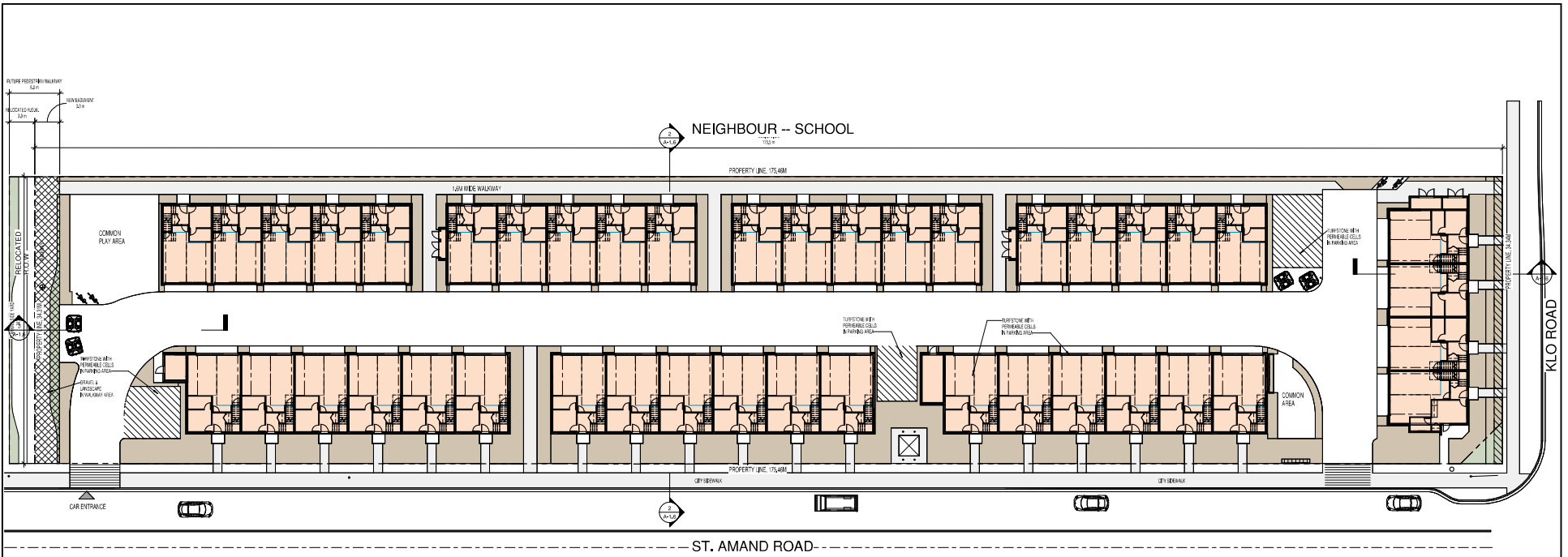
ZONING INFORMATION	
1. ADDRESS: 1559 KLO RD. 0150.0210.0220 ST AMAND RD	6. RESIDENTIAL UNITS: 42 UNITS
2. ZONING: CURRENT: MFI INFL HOUSING; PROPOSED: MFI TOWNHOUSE	7. SETBACK: SOUTH (REAR): 4.2M; NORTH (FRONT): 12.0M; EAST (PLANNING SIDE): 12.0M; WEST (SIDE): 2.0M
3. LOT AREA: 6,023.5M ² ; EXISTING ROAD DEDICATION: 122.5M ² CORNER LOT; NEW LOT AREA: 6,011.5M ²	8. HEIGHT: ALLOWED: 3 STOREYS / 11 M; PROVIDED: 3 STOREYS / 11 M
4. FLOOR AREA: NET GROSS FLOOR AREA (GF) / SM: BLDG 1: 6,483SF / 602.5M ² ; BLDG 2: 7,363SF / 684.5M ² ; BLDG 3: 9,623SF / 894.5M ² ; BLDG 4: 7,363SF / 684.5M ² ; BLDG 5: 9,623SF / 894.5M ² ; BLDG 6: 7,363SF / 684.5M ² ; BLDG 7: 9,623SF / 894.5M ² ; BLDG 8: 7,363SF / 684.5M ² ; TOTAL: 64,833SF / 6,023.5M ²	9. COMMON OUTDOOR AMENITY AREA: REQUIRED: 42 X 4 = 168 SM; PROVIDED: COMMON AREA 1: 233 SF / 48.5M ² ; COMMON PLAY AREA 2: 233 SF / 48.5M ² ; TOTAL: 466 SF / 96.5M ²
5. DENSITY: ALLOWED: 1/3; PROVIDED: 6/031/00225 = 1/3	10. COMMON & PRIVATE AMENITY AREA: TOWNHOUSE: 42 X 25 = 1,050 SM; REQUIRED: 42 X 25 = 1,050 SM; PROVIDED: MIN. 50 SM ROOF PATIO EA. UNIT, TOTAL 2100 SM
	11. LOT COVERAGE MAX ALLOWED: MFI: 50%; LOT COVERAGE PROVIDED: MFI: 40%; IMPERMEABLE SURFACE MAX ALLOWED: MFI: 80%; IMPERMEABLE SURFACE PROVIDED: MFI: 76%
	12. PARKING (TRANSIT SUPPORTIVE CORRIDOR): TOWNHOUSE: 42 F.U. = 252 CARS; TOTAL: 420 CARS; 88 CARS; PROVIDED: TOWNHOUSE GARAGES: 84 CARS; GROUND PARKING VISITORS: 6 CARS; TOTAL: 90 CARS; ACCESSIBLE PARKING REQUIRED: 3 CARS; ONE IS VAN ACCESSIBLE; ACCESSIBLE PARKING PROVIDED: 3 CARS; ONE IS VAN ACCESSIBLE
	13. BICYCLE PARKING (CORE AREA): TOWNHOUSE: REQUIRED: N/A; LONG TERM: 42 X 5 = 84; SHORT TERM: 8 BIKES; PROVIDED: LONG TERM: N/A; SHORT TERM: 8 BIKES; RACKS FOR 8 BIKES AT SOUTH END AND NORTH END

SCHEDULE A

This forms part of application
 # DP24-0016

City of Kelowna
 DEVELOPMENT PLANNING

Planner Initials: **JJ**



SITE PLAN LOT COVERAGE
1/16" = 1'-0"

OVERLAY LEGEND

- PERMEABLE AREA - LANDSCAPE & TURFSTONE PERMEABLE PAVING
- TOWNHOUSE GROUND FLOOR AREA
- GRAVEL
- TURFSTONE WITH PERMEABLE CELLS

LOT COVERAGE & PERMEABLE AREA	
LOT AREA:	NEW LOT AREA AFTER DEDICATION: 9,011 SM
COVERED AREA:	TOWNHOUSE FIRST FLOOR TOTAL AREA: 27616 SF / 2564 SM
LOT COVERAGE:	2564 / 9011 = 42%
PERMEABLE SURFACE:	LANDSCAPE: 10,770 SF / 1001 SM
	GRAVEL IN LANDSCAPE & FUTURE WALKWAY: 1,394 SF / 128 SM
	TURFSTONE AT PARKING STALLS: 1,348 SF / 125 SM
	13,512 SF / 1257 SM
IMPERMEABLE SURFACE PROVIDED:	100% - (1227 / 9011) = 79.2%



This Plan, or a portion thereof, is hereby approved in principle by the Council of the City of Kelowna, on the condition that the applicant pay the cost of any necessary engineering or other services required for the implementation of this Plan, or the cost of any other services required for the implementation of this Plan, as determined by the City Engineer.

DATE: 2024-07-11

NO.	REVISION	DATE
1	ISSUE FOR PERMIT	2024-07-11
2	ISSUE FOR PERMIT	2024-07-11
3	ISSUE FOR PERMIT	2024-07-11
4	ISSUE FOR PERMIT	2024-07-11
5	ISSUE FOR PERMIT	2024-07-11
6	ISSUE FOR PERMIT	2024-07-11
7	ISSUE FOR PERMIT	2024-07-11
8	ISSUE FOR PERMIT	2024-07-11
9	ISSUE FOR PERMIT	2024-07-11
10	ISSUE FOR PERMIT	2024-07-11
11	ISSUE FOR PERMIT	2024-07-11
12	ISSUE FOR PERMIT	2024-07-11
13	ISSUE FOR PERMIT	2024-07-11
14	ISSUE FOR PERMIT	2024-07-11
15	ISSUE FOR PERMIT	2024-07-11
16	ISSUE FOR PERMIT	2024-07-11
17	ISSUE FOR PERMIT	2024-07-11
18	ISSUE FOR PERMIT	2024-07-11
19	ISSUE FOR PERMIT	2024-07-11
20	ISSUE FOR PERMIT	2024-07-11

SCHEDULE A

This forms part of application
DP24-0016

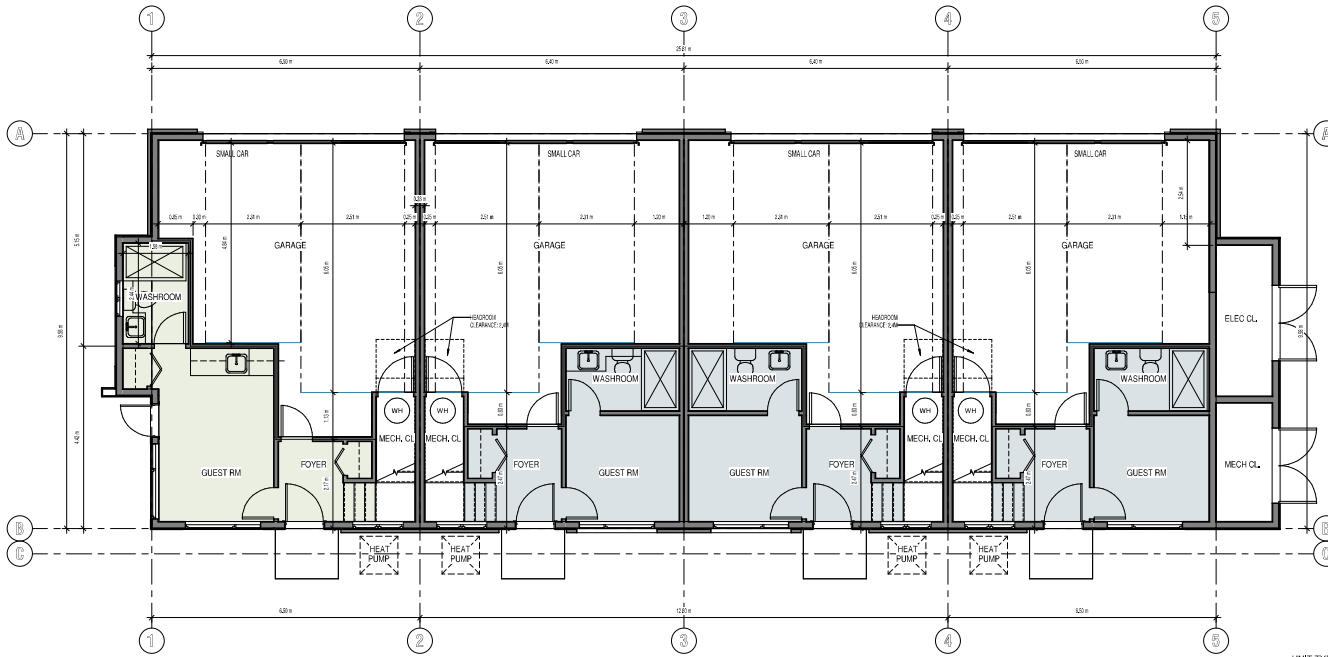
City of
Kelowna
DEVELOPMENT PLANNING

Planner Initials JI



This drawing is a contract document. It is the property of Steve Pring Architect and may not be reproduced, copied, or used in any way without the written consent of Steve Pring Architect. The drawings are the property of Steve Pring Architect and shall not be used for any other project without the written consent of Steve Pring Architect.

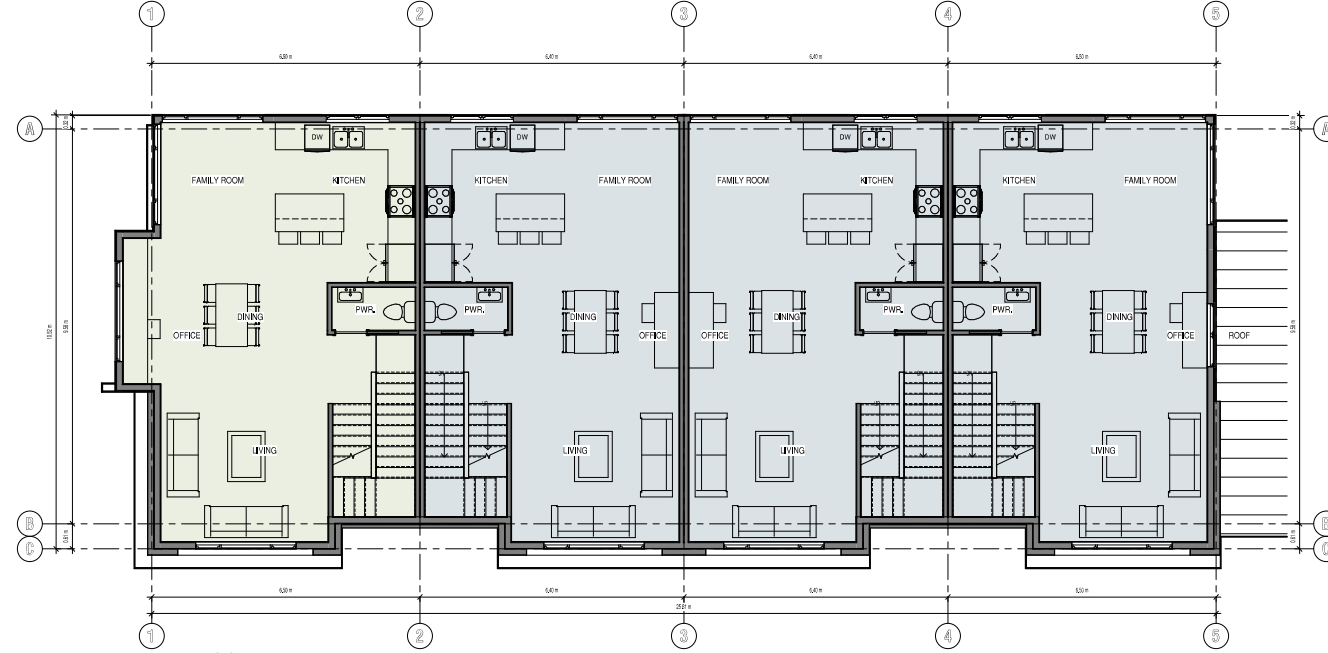
SCALE: 1/4" = 1'-0"



1 GROUND FLOOR
 1/4" = 1'-0"

UNIT TYP LEGEND
 TYP C, 4 BEDROOMS

UNIT TYPE	GROSS NET FLOOR AREA	GROSS NET FLOOR AREA
TYP C, 4 BEDROOMS	2857 SF (13.50)	2857 SF (13.50)
TYP C, 4 BEDROOMS	2857 SF (13.50)	2857 SF (13.50)
TYP C, 4 BEDROOMS	2857 SF (13.50)	2857 SF (13.50)
TYP C, 4 BEDROOMS	2857 SF (13.50)	2857 SF (13.50)
TYP C, 4 BEDROOMS	2857 SF (13.50)	2857 SF (13.50)



2 2ND FLOOR
 1/4" = 1'-0"

SCHEDULE A
 This forms part of application
 # DP24-0016

Planner Initials **JJ**

City of Kelowna
 DEVELOPMENT PLANNING

NO.	DESCRIPTION
1	2857 SF (13.50)
2	2857 SF (13.50)
3	2857 SF (13.50)
4	2857 SF (13.50)
5	2857 SF (13.50)

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES

1559 KLO Rd., 3150, 3210, 3220 St. Amund Rd



2308

BLDG 1 FLOOR PLANS

NO.	DESCRIPTION
1	2857 SF (13.50)
2	2857 SF (13.50)
3	2857 SF (13.50)
4	2857 SF (13.50)
5	2857 SF (13.50)

This Plan, or a portion thereof, is the property of Steve Pring Architect and may not be reproduced, stored in a retrieval system or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of Steve Pring Architect.

SCHEDULE

NO.	DATE	DESCRIPTION
1	2024/01/10	ISSUED FOR PERMIT
2	2024/01/10	ISSUED FOR PERMIT
3	2024/01/10	ISSUED FOR PERMIT
4	2024/01/10	ISSUED FOR PERMIT

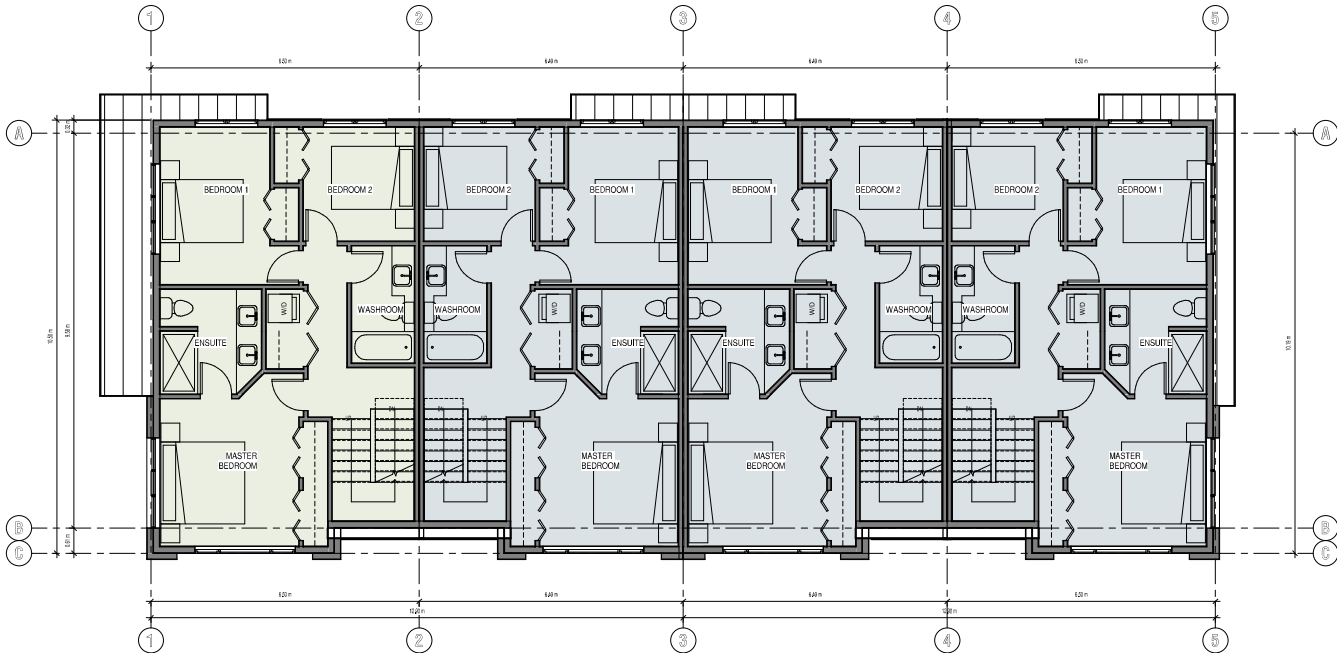
RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES
 1559 KLO Rd., 3150, 3210, 3220 St. Amant Rd.



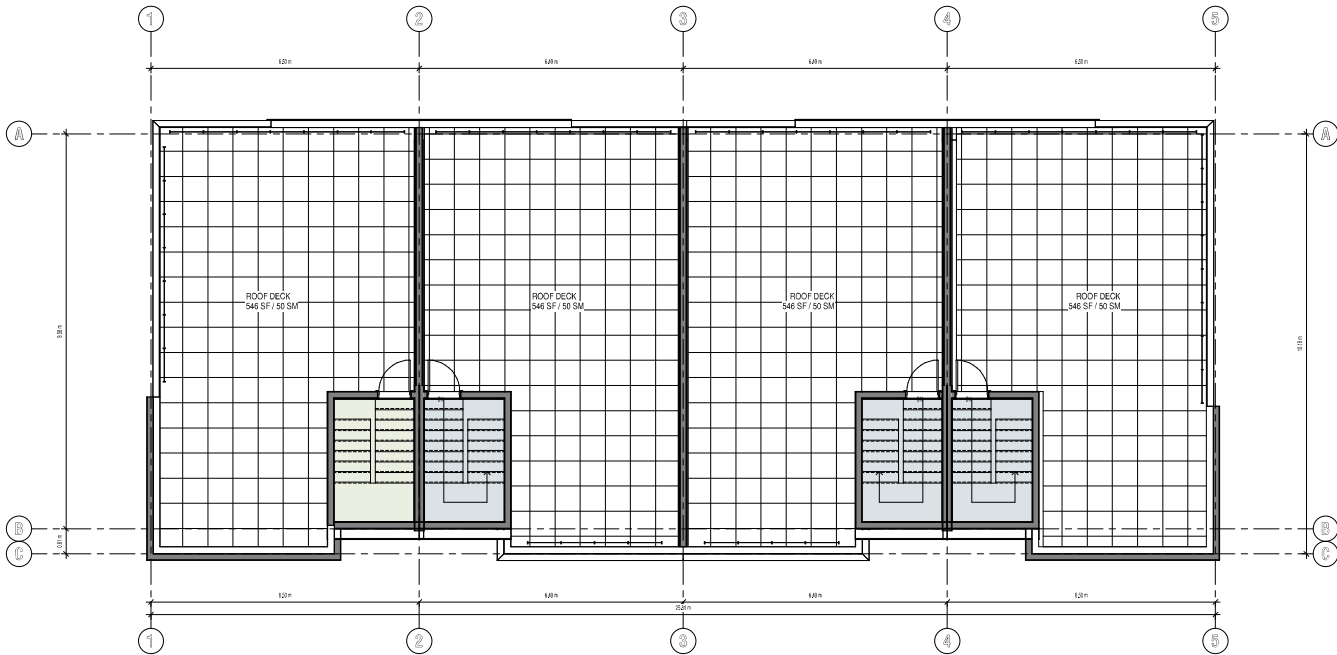
2308

BLDG 1 FLOOR PLANS

A-22



3RD FLOOR
 1/4" = 1'-0"



ROOF PLAN
 1/4" = 1'-0"

SCHEDULE A

This forms part of application
 # DP24-0016

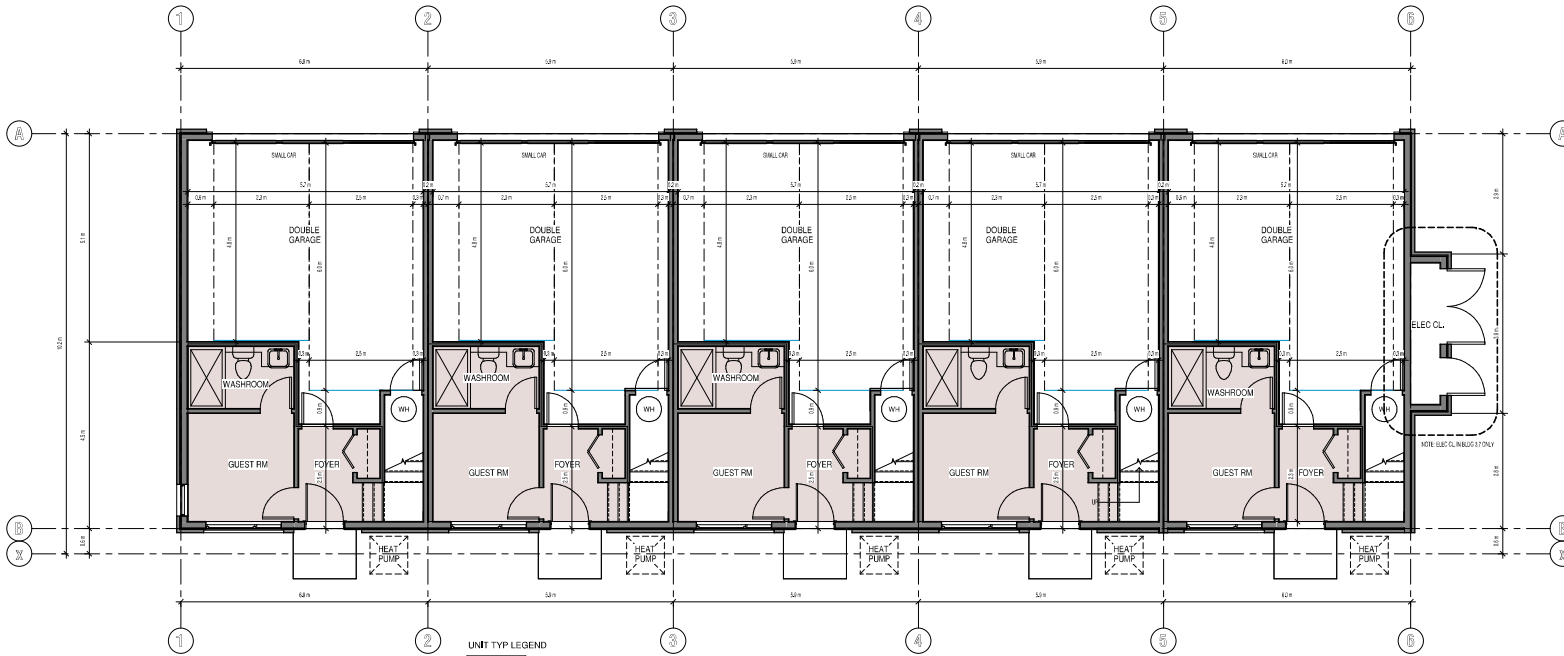
Planner Initials **J1**

City of Kelowna
 DEVELOPMENT PLANNING

This plan, or a substantial portion of the work, is the property of Steve Pring Architect and may not be reproduced, stored in a retrieval system or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Steve Pring Architect.

SCALE: 1/4" = 1'-0"

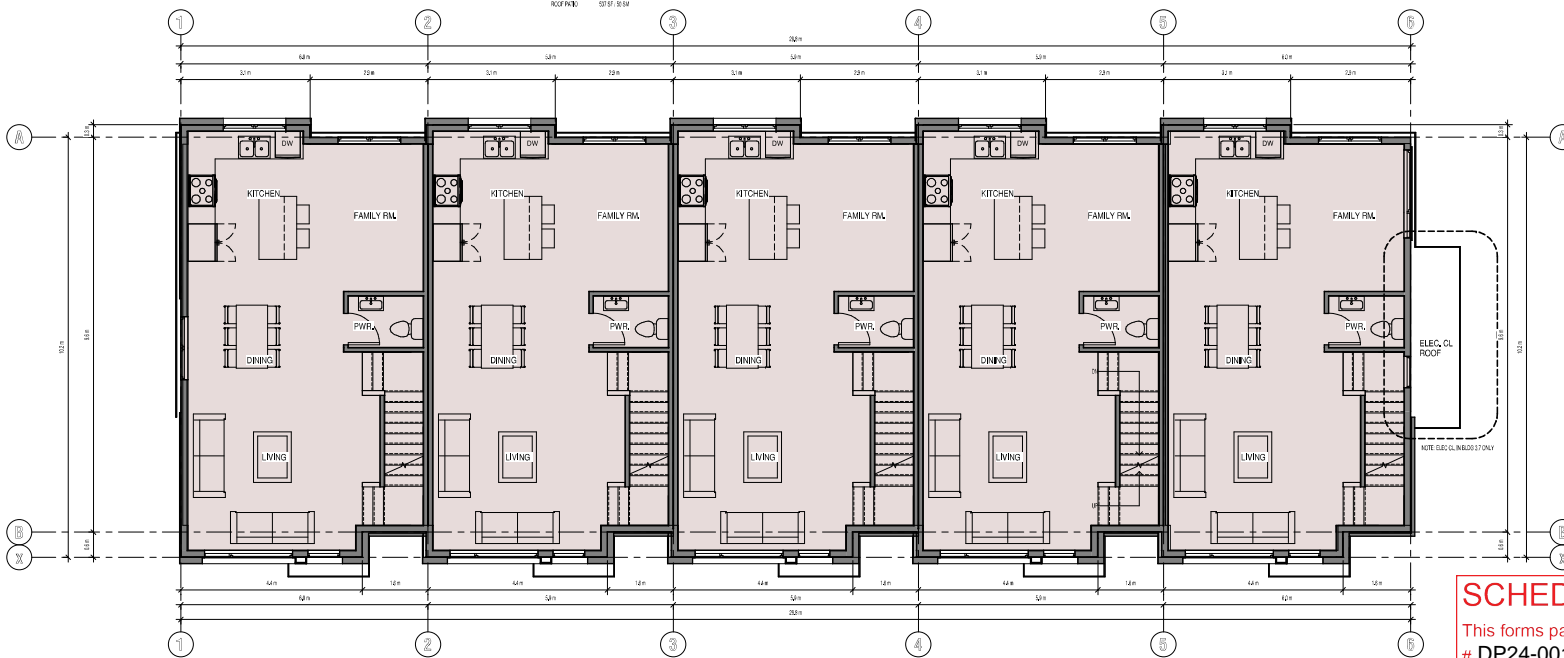
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024-01-15
2	ISSUED FOR PERMIT	2024-01-15
3	ISSUED FOR PERMIT	2024-01-15



1 GROUND FLOOR
 1/4" = 1'-0"

UNIT TYP LEGEND

UNIT TYPE	DESCRIPTION	AREA (SQ FT)
TYP A - 4 BEDROOMS	4050 S.F.	179 SF - 11.52
	2020 S.F.	87 SF - 5.88
	2020 S.F.	87 SF - 5.88
	2020 S.F.	87 SF - 5.88
	2020 S.F.	87 SF - 5.88
	2020 S.F.	87 SF - 5.88
	2020 S.F.	87 SF - 5.88
	2020 S.F.	87 SF - 5.88



2 2ND FLOOR
 1/4" = 1'-0"

SCHEDULE A
 This forms part of application
 # DP24-0016

Planner Initials **JJ**

City of Kelowna
 DEVELOPMENT PLANNING

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES
 1559 KLO Rd., 3150, 3210, 3220 St. Amund Rd

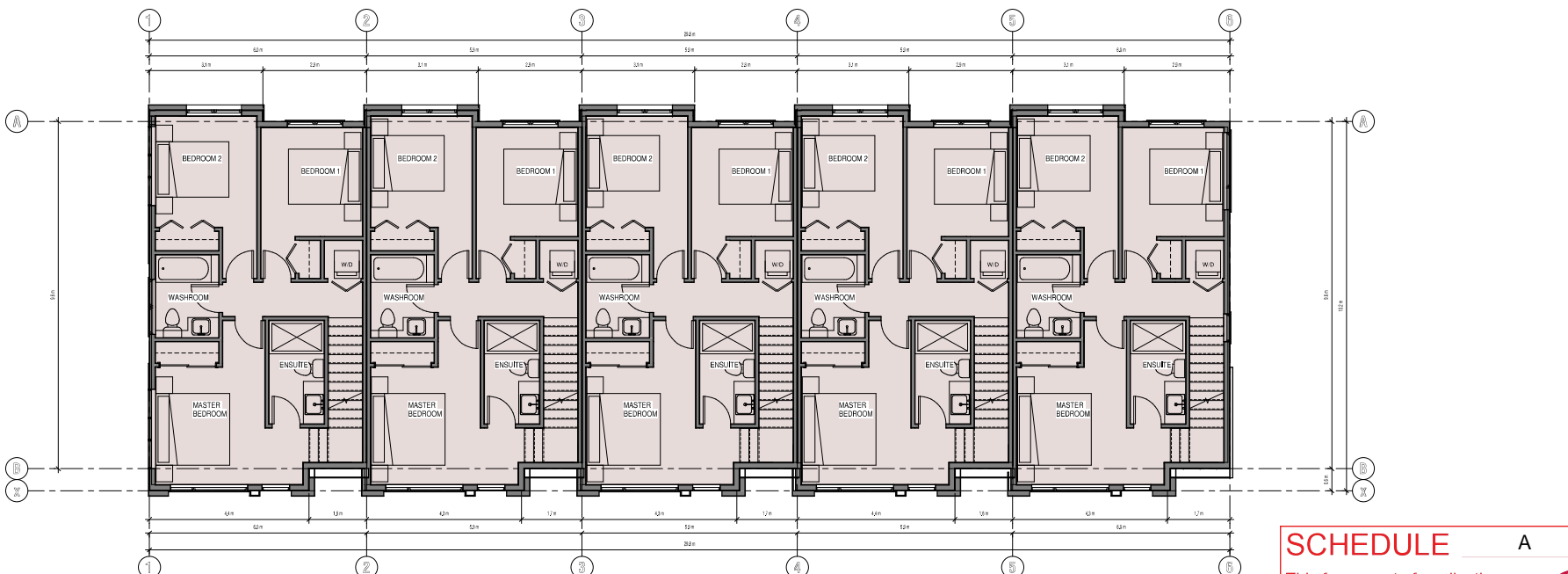


2308
 BLDG 2,4,6,8
 FLOOR PLANS
 A-23

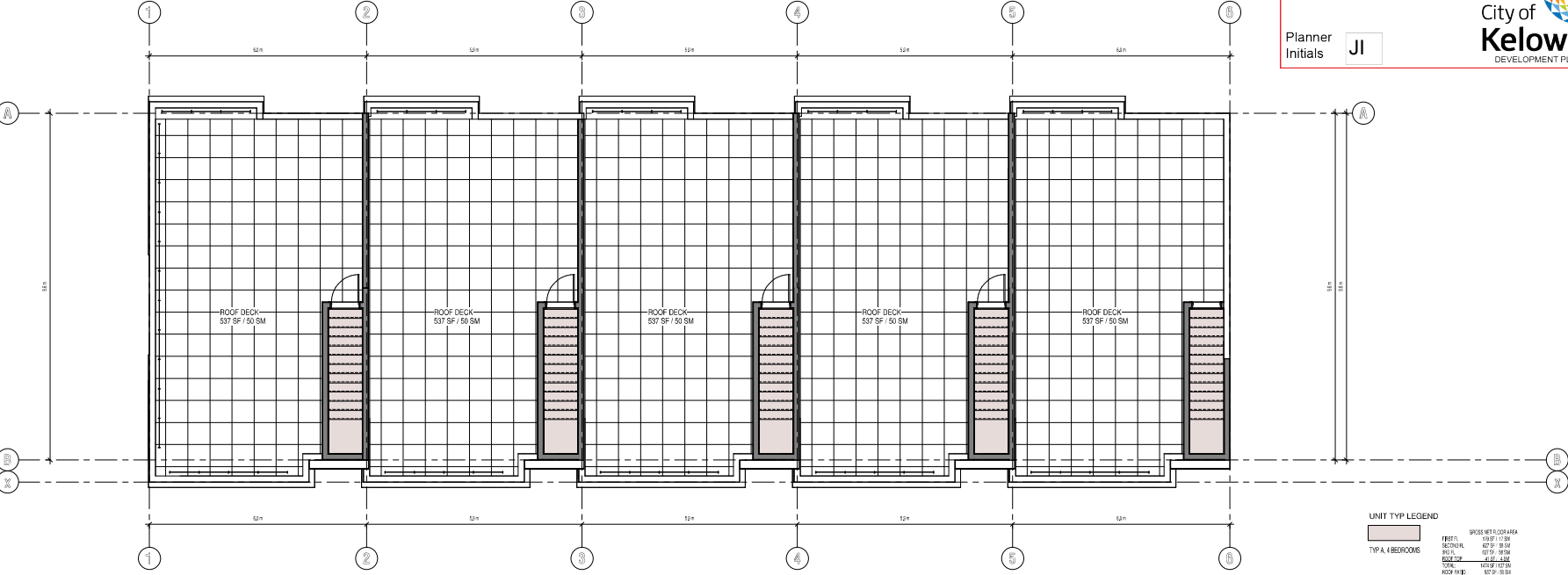
This Plan, or a portion of it, is to be used for the purposes of Design Review only and may not be used for any other purpose without the written consent of the Architect. The Architect is not responsible for the accuracy of the information provided on this Plan, or for the use of the information, and shall not be liable for any errors or omissions.

SCALE: 1/4" = 1'-0"

1	WALL	1/2" THICK
2	WALL	1/2" THICK
3	WALL	1/2" THICK
4	WALL	1/2" THICK
5	WALL	1/2" THICK
6	WALL	1/2" THICK
7	WALL	1/2" THICK
8	WALL	1/2" THICK
9	WALL	1/2" THICK
10	WALL	1/2" THICK
11	WALL	1/2" THICK
12	WALL	1/2" THICK
13	WALL	1/2" THICK
14	WALL	1/2" THICK
15	WALL	1/2" THICK
16	WALL	1/2" THICK
17	WALL	1/2" THICK
18	WALL	1/2" THICK
19	WALL	1/2" THICK
20	WALL	1/2" THICK
21	WALL	1/2" THICK
22	WALL	1/2" THICK
23	WALL	1/2" THICK
24	WALL	1/2" THICK
25	WALL	1/2" THICK
26	WALL	1/2" THICK
27	WALL	1/2" THICK
28	WALL	1/2" THICK
29	WALL	1/2" THICK
30	WALL	1/2" THICK
31	WALL	1/2" THICK
32	WALL	1/2" THICK
33	WALL	1/2" THICK
34	WALL	1/2" THICK
35	WALL	1/2" THICK
36	WALL	1/2" THICK
37	WALL	1/2" THICK
38	WALL	1/2" THICK
39	WALL	1/2" THICK
40	WALL	1/2" THICK
41	WALL	1/2" THICK
42	WALL	1/2" THICK
43	WALL	1/2" THICK
44	WALL	1/2" THICK
45	WALL	1/2" THICK
46	WALL	1/2" THICK
47	WALL	1/2" THICK
48	WALL	1/2" THICK
49	WALL	1/2" THICK
50	WALL	1/2" THICK
51	WALL	1/2" THICK
52	WALL	1/2" THICK
53	WALL	1/2" THICK
54	WALL	1/2" THICK
55	WALL	1/2" THICK
56	WALL	1/2" THICK
57	WALL	1/2" THICK
58	WALL	1/2" THICK
59	WALL	1/2" THICK
60	WALL	1/2" THICK
61	WALL	1/2" THICK
62	WALL	1/2" THICK
63	WALL	1/2" THICK
64	WALL	1/2" THICK
65	WALL	1/2" THICK
66	WALL	1/2" THICK
67	WALL	1/2" THICK
68	WALL	1/2" THICK
69	WALL	1/2" THICK
70	WALL	1/2" THICK
71	WALL	1/2" THICK
72	WALL	1/2" THICK
73	WALL	1/2" THICK
74	WALL	1/2" THICK
75	WALL	1/2" THICK
76	WALL	1/2" THICK
77	WALL	1/2" THICK
78	WALL	1/2" THICK
79	WALL	1/2" THICK
80	WALL	1/2" THICK
81	WALL	1/2" THICK
82	WALL	1/2" THICK
83	WALL	1/2" THICK
84	WALL	1/2" THICK
85	WALL	1/2" THICK
86	WALL	1/2" THICK
87	WALL	1/2" THICK
88	WALL	1/2" THICK
89	WALL	1/2" THICK
90	WALL	1/2" THICK
91	WALL	1/2" THICK
92	WALL	1/2" THICK
93	WALL	1/2" THICK
94	WALL	1/2" THICK
95	WALL	1/2" THICK
96	WALL	1/2" THICK
97	WALL	1/2" THICK
98	WALL	1/2" THICK
99	WALL	1/2" THICK
100	WALL	1/2" THICK



3RD FLOOR
 1/4" = 1'-0"



ROOF PLAN
 1/4" = 1'-0"

SCHEDULE A

This forms part of application
DP24-0016

Planner Initials **JJ**

City of Kelowna
 DEVELOPMENT PLANNING

UNIT TYP LEGEND

TYP A, 4 BEDROOMS	FREE FL. AREA	537 SF / 50 SM
	NET AREA	427 SF / 39 SM
	GROSS AREA	427 SF / 39 SM
	NET AREA	427 SF / 39 SM
	GROSS AREA	427 SF / 39 SM

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES
 1559 KLO Rd., 3150, 3210, 3220 St. Amund Rd



2308
 BLDG 2,4,6,8
 FLOOR PLANS
 A-24

This Plan, or a Subpart
 of Part of the subject
 Design, or any part of
 it, or the physical layout of
 the same, shall not be
 used, in whole or in part,
 for any other project,
 without the written
 consent of the Architect.

SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024-01-15
2	ISSUED FOR PERMIT	2024-01-15
3	ISSUED FOR PERMIT	2024-01-15
4	ISSUED FOR PERMIT	2024-01-15
5	ISSUED FOR PERMIT	2024-01-15

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES

1559 KLO Rd., 3150, 3210, 3220 St. Amant Rd

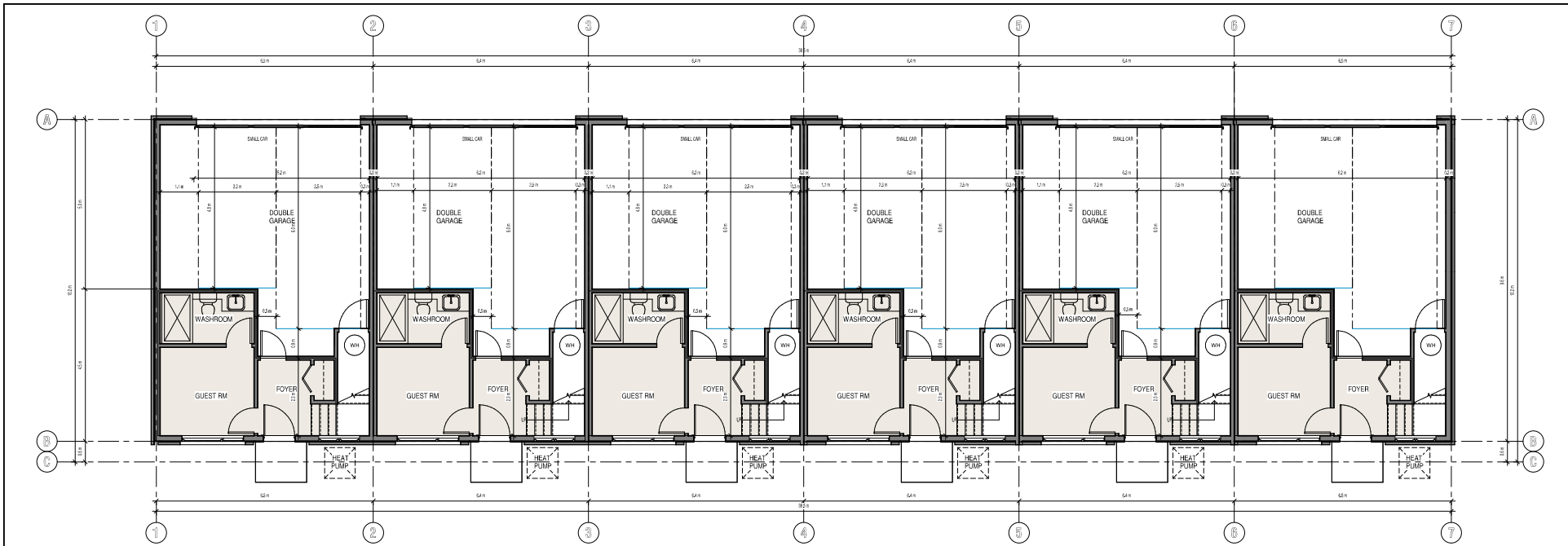


2308

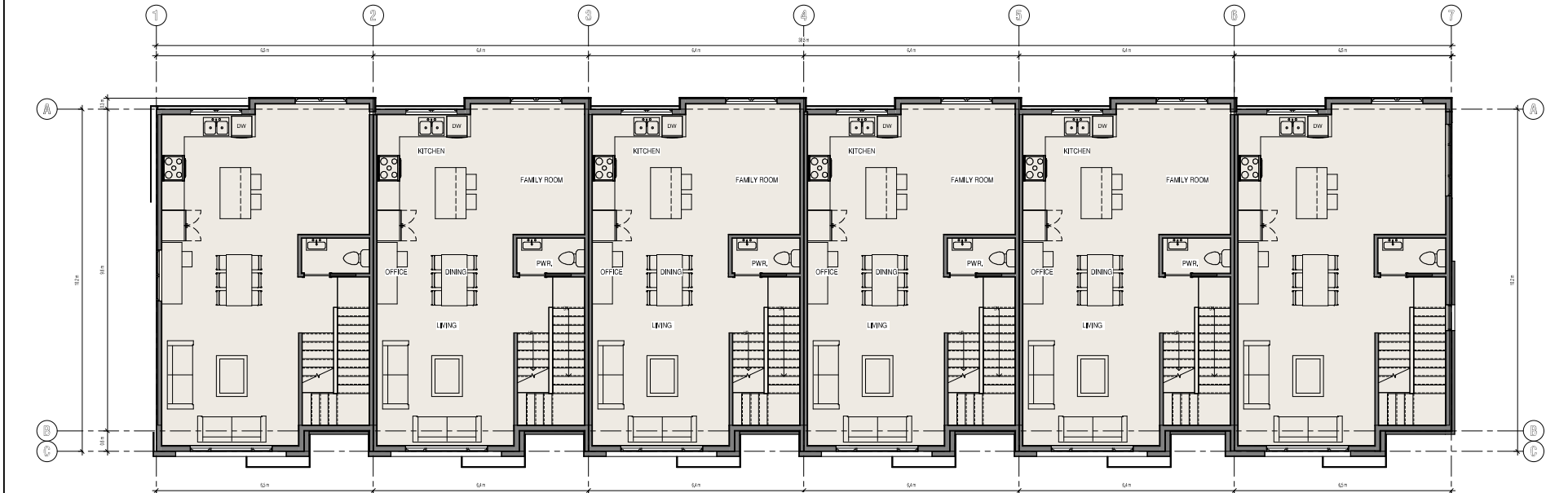
BLDG 3.5.7
 FLOOR PLANS

A-2.5

160



1 GROUND FLOOR
 1/4" = 1'-0"



2 2ND FLOOR
 1/4" = 1'-0"

SCHEDULE A
 This forms part of application
 # DP24-0016

Planner Initials **JJ**

UNIT TYP LEGEND

TYP B	4 BEDROOMS
TYP C	3 BEDROOMS
TYP D	2 BEDROOMS

GROSS NE FLOOR AREA

TYP B	184 SF / 17.06 M
TYP C	175 SF / 16.28 M
TYP D	162 SF / 15.06 M
TOTAL	521 SF / 48.40 M

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024-01-15
2	ISSUED FOR PERMIT	2024-01-15
3	ISSUED FOR PERMIT	2024-01-15
4	ISSUED FOR PERMIT	2024-01-15
5	ISSUED FOR PERMIT	2024-01-15

The Plans, or a portion thereof, are the property of Steve Pink Architect and may not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Steve Pink Architect.

DATE: 11/11/2024

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/11/2024
2	ISSUED FOR PERMIT	11/11/2024
3	ISSUED FOR PERMIT	11/11/2024
4	ISSUED FOR PERMIT	11/11/2024
5	ISSUED FOR PERMIT	11/11/2024
6	ISSUED FOR PERMIT	11/11/2024
7	ISSUED FOR PERMIT	11/11/2024
8	ISSUED FOR PERMIT	11/11/2024
9	ISSUED FOR PERMIT	11/11/2024
10	ISSUED FOR PERMIT	11/11/2024

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES

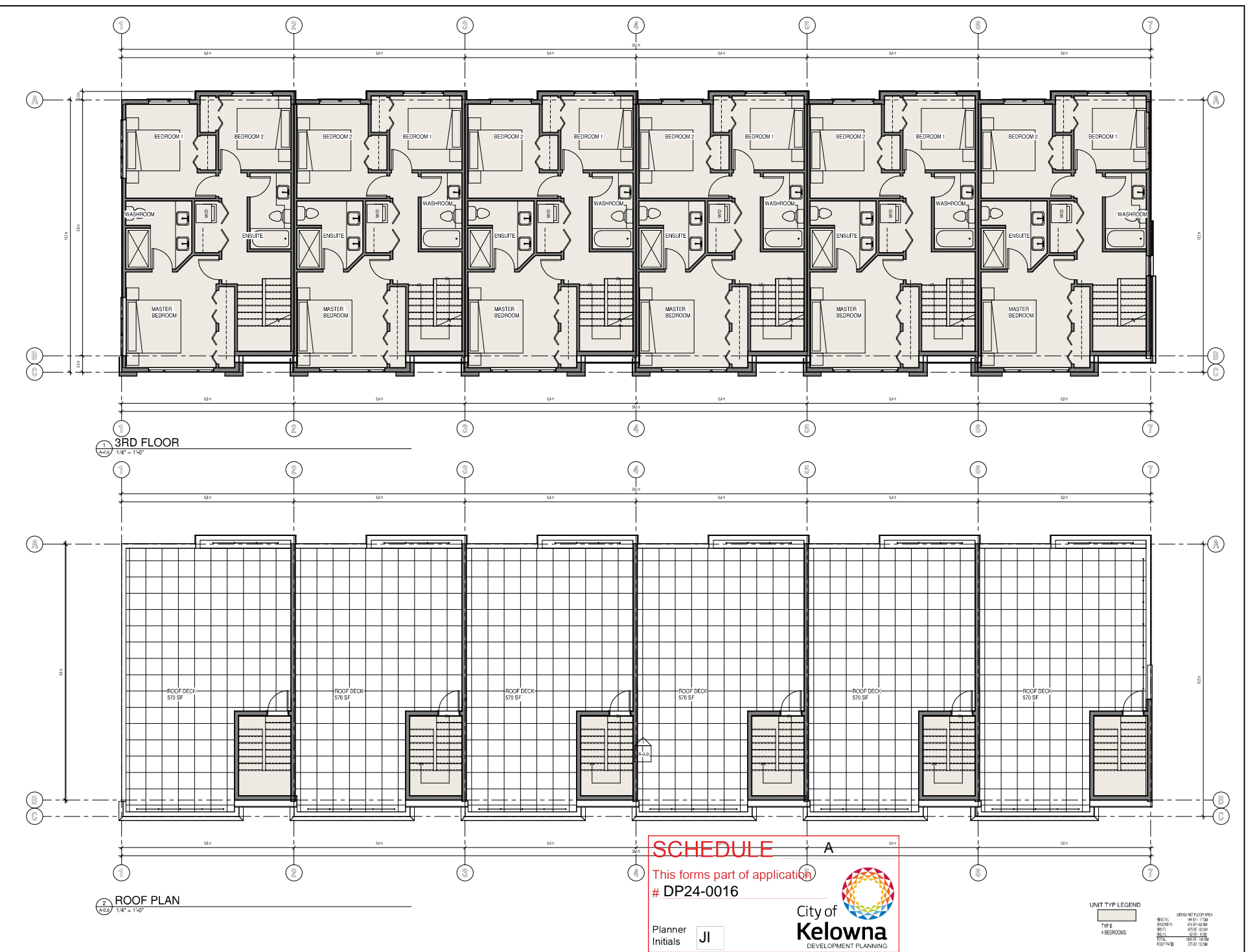
1559 KLO Rd., 3150, 3210, 3220 St. Amant Rd



2308

BLDG 3,5,7
 FLOOR PLANS

A-2.6



3RD FLOOR
 1/4" = 1'-0"

ROOF PLAN
 1/4" = 1'-0"

SCHEDULE A

This forms part of application # DP24-0016

Planner Initials **JJ**

City of Kelowna
 DEVELOPMENT PLANNING

UNIT TYP LEGEND

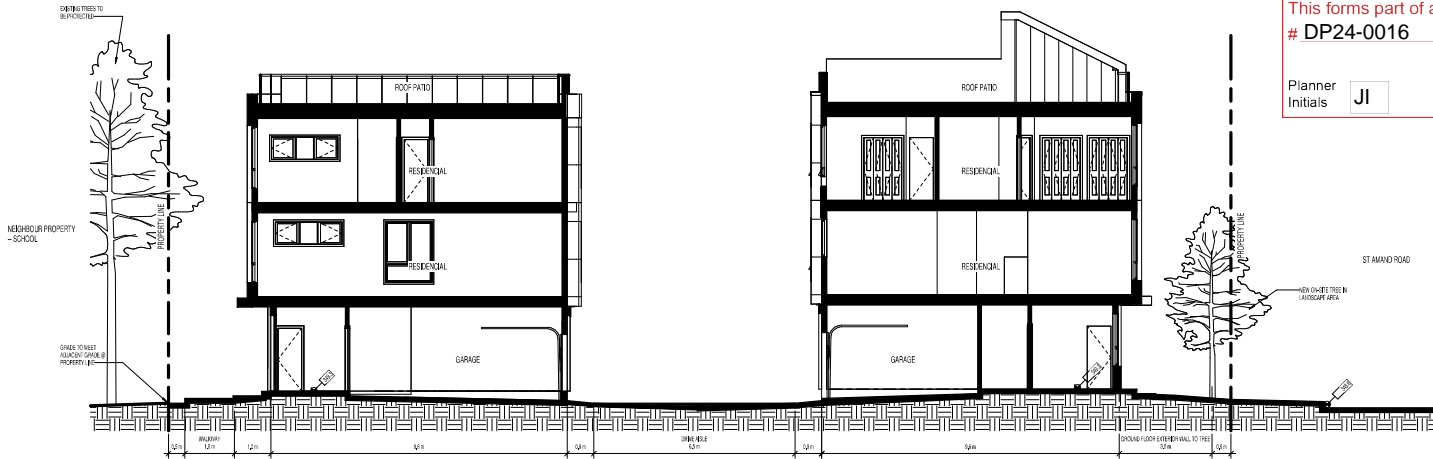
TYP B	4 BEDROOMS	GRAND NET FLOOR AREA
		BLDG 1: 164 SF / 17.3M
		BLDG 2: 183 SF / 16.9M
		BLDG 3: 175 SF / 16.2M
		BLDG 4: 183 SF / 16.9M
		BLDG 5: 183 SF / 16.9M
		BLDG 6: 183 SF / 16.9M

SCHEDULE B

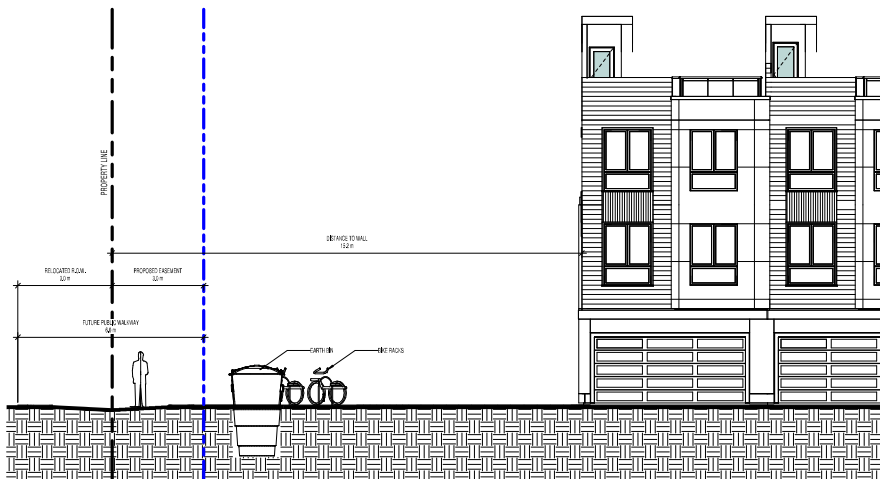
This forms part of application
 # DP24-0016

Planner Initials **JJ**

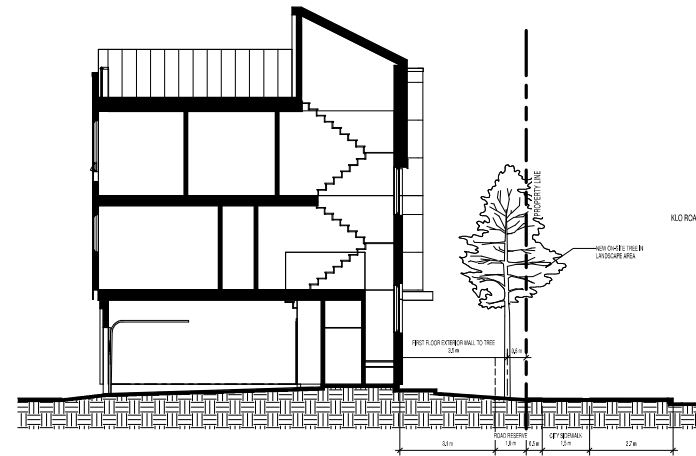
City of Kelowna
 DEVELOPMENT PLANNING



2 SITE SECTION -- TOWNHOUSE
 3/16" = 1'-0"



3 SITE SECTION @ REAR YARD
 3/16" = 1'-0"



1 SITE SECTION @ KLO STREET FRONT
 3/16" = 1'-0"

It is noted that the Applicant is required to provide a detailed description of any and all proposed work to be done on the site of the project, and to provide a detailed description of the proposed work to be done on the site of the project.

SCHEDULE

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	2024-04-10	SP
2	ISSUED FOR PERMIT	2024-04-10	SP
3	ISSUED FOR PERMIT	2024-04-10	SP
4	ISSUED FOR PERMIT	2024-04-10	SP

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES
 1559 KLO Rd., 3150, 3210, 3220 St. Amand Rd



2308

SITE SECTIONS

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	2024-04-10	SP
2	ISSUED FOR PERMIT	2024-04-10	SP

A-1.6

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024-07-10
2	REVISED	2024-07-10
3	REVISED	2024-07-10
4	REVISED	2024-07-10
5	REVISED	2024-07-10



1 NORTH ELEVATION
 1/4" = 1'-0"



4 SOUTH ELEVATION
 1/4" = 1'-0"

SCHEDULE B

This forms part of application
DP24-0016

City of Kelowna
 DEVELOPMENT PLANNING

Planner Initials **JI**

EXTERIOR FINISH SCHEDULE

MATERIAL TAG:	MATERIAL:	COLOR:
1	LUXPRO METAL CRAFT SERIES, FOLDED WALL METAL PANEL, VERTICAL INSTALL	
2	HARDE BRICK	
3	HARDE PANEL	
4	HARDE BOARD WITH BATTEN	
5	TRIN BRICKS	
6	METAL CAP FLASHING	
7	WOOD TRIM	
8	ALUMINO METAL SCREEN	
9	METAL FLASHING	
10	STANDING SEAM METAL PANEL	
11	ALLEN BRICKS	
12	WIND WINDOW SLIDING DOOR	
13	LAMINATED GLAZING DOOR	
14	METAL DOOR	
15	ALUMINUM STOREFRONT WINDOW	
16	PRIVACY GLASS SCREEN	
17	INSULATED GARAGE SECTION DOOR	
18	METAL RAILING	
19	CONCRETE, SMOOTH FINISH	
COLOR		
A	LUXPRO - KNOTTY-REDWOOD	
B	BM OC-68 SILVER SATIN	
C	BM P-0540 DEEP SPACE	
D	BM ZB-1009Y PORCELAN	
E	BM ZB-1018 BLACK BEAUTY	
F	BM HC-28 SHELBURNE BLUFF	
G	LUXPRO - BRIFTWOOD	
H	BL CATALOG - ROUTE #6	
I	COLOR TO MATCH ADJACENT WALL	
J	BL CATALOG - GRAYWITE GREY	

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES
 1559 KLO Rd., 3150, 3210, 3220 St. Amand Rd.



2308
 BLDG 1 ELEVATIONS
 A-3.1



1 INTERIOR SIDE ELEVATION
1/4" = 1'-0"



2 SIDE ELEVATION
1/4" = 1'-0"

SCHEDULE B

This forms part of application
DP24-0016

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

1. Part of a subject
2. Part of a subject
3. Part of a subject
4. Part of a subject
5. Part of a subject
6. Part of a subject
7. Part of a subject
8. Part of a subject
9. Part of a subject
10. Part of a subject
11. Part of a subject
12. Part of a subject
13. Part of a subject
14. Part of a subject
15. Part of a subject
16. Part of a subject
17. Part of a subject
18. Part of a subject
19. Part of a subject
20. Part of a subject

SCHEDULE

NO.	DESCRIPTION	DATE	BY
1	ISSUED	2024/01/10	JJ
2	ISSUED	2024/01/10	JJ
3	ISSUED	2024/01/10	JJ
4	ISSUED	2024/01/10	JJ
5	ISSUED	2024/01/10	JJ
6	ISSUED	2024/01/10	JJ
7	ISSUED	2024/01/10	JJ
8	ISSUED	2024/01/10	JJ
9	ISSUED	2024/01/10	JJ
10	ISSUED	2024/01/10	JJ
11	ISSUED	2024/01/10	JJ
12	ISSUED	2024/01/10	JJ
13	ISSUED	2024/01/10	JJ
14	ISSUED	2024/01/10	JJ
15	ISSUED	2024/01/10	JJ
16	ISSUED	2024/01/10	JJ
17	ISSUED	2024/01/10	JJ
18	ISSUED	2024/01/10	JJ
19	ISSUED	2024/01/10	JJ
20	ISSUED	2024/01/10	JJ

EXTERIOR FINISH SCHEDULE	
MATERIAL TAG:	COLOR
MATERIAL TAG: [1]	COLOR
MATERIAL TAG: [2]	COLOR
MATERIAL TAG: [3]	COLOR
MATERIAL TAG: [4]	COLOR
MATERIAL TAG: [5]	COLOR
MATERIAL TAG: [6]	COLOR
MATERIAL TAG: [7]	COLOR
MATERIAL TAG: [8]	COLOR
MATERIAL TAG: [9]	COLOR
MATERIAL TAG: [10]	COLOR
MATERIAL TAG: [11]	COLOR
MATERIAL TAG: [12]	COLOR
MATERIAL TAG: [13]	COLOR
MATERIAL TAG: [14]	COLOR
MATERIAL TAG: [15]	COLOR
MATERIAL TAG: [16]	COLOR
MATERIAL TAG: [17]	COLOR
MATERIAL TAG: [18]	COLOR
MATERIAL TAG: [19]	COLOR
COLOR	
A - LUXPRO-KNOTTY-REDWOOD	
B - BM-CC-68 SILVER SATIN	
C - BM-F-0540 DEEP SPACE	
D - BM-ZS-1030Y PORSLAIN	
E - BM-ZS-1030 BLACK BEAUTY	
F - BM-NC-28 SHELBURNE BLUFF	
G - LUXPRO-DRIFTWOOD	
H - BL-CATALOG-ROUTE 66	
I - COLOR TO MATCH ADJACENT WALL	
J - BL-CATALOG - GRAYWITE GREY	

RESIDENTIAL DEVELOPMENT
ACACIA GARDEN PROPERTIES
1559 KLO Rd., 3150, 3210, 3220 St. Amund Rd



2308
BLDG 1 ELEVATIONS
A-32

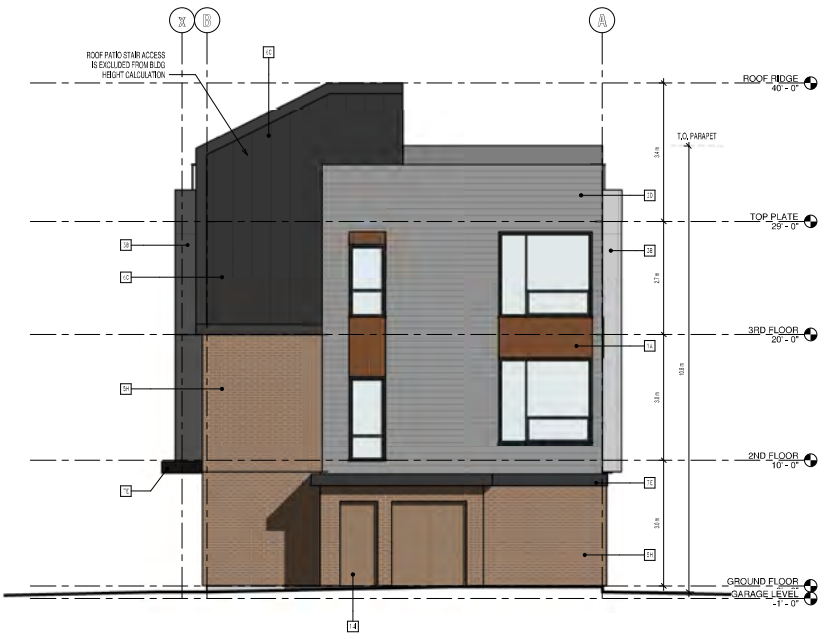
1.5. Particulars of Materials
2. Particulars of the Work
3. Details of the Work
4. Details of the Work
5. Details of the Work
6. Details of the Work
7. Details of the Work
8. Details of the Work
9. Details of the Work
10. Details of the Work
11. Details of the Work
12. Details of the Work
13. Details of the Work
14. Details of the Work
15. Details of the Work
16. Details of the Work
17. Details of the Work
18. Details of the Work
19. Details of the Work
20. Details of the Work
21. Details of the Work
22. Details of the Work
23. Details of the Work
24. Details of the Work
25. Details of the Work
26. Details of the Work
27. Details of the Work
28. Details of the Work
29. Details of the Work
30. Details of the Work
31. Details of the Work
32. Details of the Work
33. Details of the Work
34. Details of the Work
35. Details of the Work
36. Details of the Work
37. Details of the Work
38. Details of the Work
39. Details of the Work
40. Details of the Work
41. Details of the Work
42. Details of the Work
43. Details of the Work
44. Details of the Work
45. Details of the Work
46. Details of the Work
47. Details of the Work
48. Details of the Work
49. Details of the Work
50. Details of the Work
51. Details of the Work
52. Details of the Work
53. Details of the Work
54. Details of the Work
55. Details of the Work
56. Details of the Work
57. Details of the Work
58. Details of the Work
59. Details of the Work
60. Details of the Work
61. Details of the Work
62. Details of the Work
63. Details of the Work
64. Details of the Work
65. Details of the Work
66. Details of the Work
67. Details of the Work
68. Details of the Work
69. Details of the Work
70. Details of the Work
71. Details of the Work
72. Details of the Work
73. Details of the Work
74. Details of the Work
75. Details of the Work
76. Details of the Work
77. Details of the Work
78. Details of the Work
79. Details of the Work
80. Details of the Work
81. Details of the Work
82. Details of the Work
83. Details of the Work
84. Details of the Work
85. Details of the Work
86. Details of the Work
87. Details of the Work
88. Details of the Work
89. Details of the Work
90. Details of the Work
91. Details of the Work
92. Details of the Work
93. Details of the Work
94. Details of the Work
95. Details of the Work
96. Details of the Work
97. Details of the Work
98. Details of the Work
99. Details of the Work
100. Details of the Work

SCROLL DOWN

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	2024-03-15	JL
2	ISSUED FOR PERMIT	2024-03-15	JL
3	ISSUED FOR PERMIT	2024-03-15	JL
4	ISSUED FOR PERMIT	2024-03-15	JL
5	ISSUED FOR PERMIT	2024-03-15	JL
6	ISSUED FOR PERMIT	2024-03-15	JL
7	ISSUED FOR PERMIT	2024-03-15	JL
8	ISSUED FOR PERMIT	2024-03-15	JL
9	ISSUED FOR PERMIT	2024-03-15	JL
10	ISSUED FOR PERMIT	2024-03-15	JL
11	ISSUED FOR PERMIT	2024-03-15	JL
12	ISSUED FOR PERMIT	2024-03-15	JL
13	ISSUED FOR PERMIT	2024-03-15	JL
14	ISSUED FOR PERMIT	2024-03-15	JL
15	ISSUED FOR PERMIT	2024-03-15	JL
16	ISSUED FOR PERMIT	2024-03-15	JL
17	ISSUED FOR PERMIT	2024-03-15	JL
18	ISSUED FOR PERMIT	2024-03-15	JL
19	ISSUED FOR PERMIT	2024-03-15	JL
20	ISSUED FOR PERMIT	2024-03-15	JL
21	ISSUED FOR PERMIT	2024-03-15	JL
22	ISSUED FOR PERMIT	2024-03-15	JL
23	ISSUED FOR PERMIT	2024-03-15	JL
24	ISSUED FOR PERMIT	2024-03-15	JL
25	ISSUED FOR PERMIT	2024-03-15	JL
26	ISSUED FOR PERMIT	2024-03-15	JL
27	ISSUED FOR PERMIT	2024-03-15	JL
28	ISSUED FOR PERMIT	2024-03-15	JL
29	ISSUED FOR PERMIT	2024-03-15	JL
30	ISSUED FOR PERMIT	2024-03-15	JL
31	ISSUED FOR PERMIT	2024-03-15	JL
32	ISSUED FOR PERMIT	2024-03-15	JL
33	ISSUED FOR PERMIT	2024-03-15	JL
34	ISSUED FOR PERMIT	2024-03-15	JL
35	ISSUED FOR PERMIT	2024-03-15	JL
36	ISSUED FOR PERMIT	2024-03-15	JL
37	ISSUED FOR PERMIT	2024-03-15	JL
38	ISSUED FOR PERMIT	2024-03-15	JL
39	ISSUED FOR PERMIT	2024-03-15	JL
40	ISSUED FOR PERMIT	2024-03-15	JL
41	ISSUED FOR PERMIT	2024-03-15	JL
42	ISSUED FOR PERMIT	2024-03-15	JL
43	ISSUED FOR PERMIT	2024-03-15	JL
44	ISSUED FOR PERMIT	2024-03-15	JL
45	ISSUED FOR PERMIT	2024-03-15	JL
46	ISSUED FOR PERMIT	2024-03-15	JL
47	ISSUED FOR PERMIT	2024-03-15	JL
48	ISSUED FOR PERMIT	2024-03-15	JL
49	ISSUED FOR PERMIT	2024-03-15	JL
50	ISSUED FOR PERMIT	2024-03-15	JL
51	ISSUED FOR PERMIT	2024-03-15	JL
52	ISSUED FOR PERMIT	2024-03-15	JL
53	ISSUED FOR PERMIT	2024-03-15	JL
54	ISSUED FOR PERMIT	2024-03-15	JL
55	ISSUED FOR PERMIT	2024-03-15	JL
56	ISSUED FOR PERMIT	2024-03-15	JL
57	ISSUED FOR PERMIT	2024-03-15	JL
58	ISSUED FOR PERMIT	2024-03-15	JL
59	ISSUED FOR PERMIT	2024-03-15	JL
60	ISSUED FOR PERMIT	2024-03-15	JL
61	ISSUED FOR PERMIT	2024-03-15	JL
62	ISSUED FOR PERMIT	2024-03-15	JL
63	ISSUED FOR PERMIT	2024-03-15	JL
64	ISSUED FOR PERMIT	2024-03-15	JL
65	ISSUED FOR PERMIT	2024-03-15	JL
66	ISSUED FOR PERMIT	2024-03-15	JL
67	ISSUED FOR PERMIT	2024-03-15	JL
68	ISSUED FOR PERMIT	2024-03-15	JL
69	ISSUED FOR PERMIT	2024-03-15	JL
70	ISSUED FOR PERMIT	2024-03-15	JL
71	ISSUED FOR PERMIT	2024-03-15	JL
72	ISSUED FOR PERMIT	2024-03-15	JL
73	ISSUED FOR PERMIT	2024-03-15	JL
74	ISSUED FOR PERMIT	2024-03-15	JL
75	ISSUED FOR PERMIT	2024-03-15	JL
76	ISSUED FOR PERMIT	2024-03-15	JL
77	ISSUED FOR PERMIT	2024-03-15	JL
78	ISSUED FOR PERMIT	2024-03-15	JL
79	ISSUED FOR PERMIT	2024-03-15	JL
80	ISSUED FOR PERMIT	2024-03-15	JL
81	ISSUED FOR PERMIT	2024-03-15	JL
82	ISSUED FOR PERMIT	2024-03-15	JL
83	ISSUED FOR PERMIT	2024-03-15	JL
84	ISSUED FOR PERMIT	2024-03-15	JL
85	ISSUED FOR PERMIT	2024-03-15	JL
86	ISSUED FOR PERMIT	2024-03-15	JL
87	ISSUED FOR PERMIT	2024-03-15	JL
88	ISSUED FOR PERMIT	2024-03-15	JL
89	ISSUED FOR PERMIT	2024-03-15	JL
90	ISSUED FOR PERMIT	2024-03-15	JL
91	ISSUED FOR PERMIT	2024-03-15	JL
92	ISSUED FOR PERMIT	2024-03-15	JL
93	ISSUED FOR PERMIT	2024-03-15	JL
94	ISSUED FOR PERMIT	2024-03-15	JL
95	ISSUED FOR PERMIT	2024-03-15	JL
96	ISSUED FOR PERMIT	2024-03-15	JL
97	ISSUED FOR PERMIT	2024-03-15	JL
98	ISSUED FOR PERMIT	2024-03-15	JL
99	ISSUED FOR PERMIT	2024-03-15	JL
100	ISSUED FOR PERMIT	2024-03-15	JL



EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

SCHEDULE B
This forms part of application
DP24-0016
Planner Initials **JL**
City of Kelowna
DEVELOPMENT PLANNING

EXTERIOR FINISH SCHEDULE

MATERIAL TAG:	COLOR:
1A	
MATERIAL TAG:	COLOR:
MATERIAL & FINISH:	
1 - LUMPRO METAL ORNAT SERIES, FOLDED WALL METAL PANEL, VERTICAL INSTALL	
2 - HARDBE SIDING	
3 - HARDBE PANEL	
4 - HARDBE BOARD WITH BATTEN	
5 - TRIM BRICKS	
6 - METAL CAP FLASHING	
7 - WOOD TRIM	
8 - ANKO METAL SCREEN	
9 - METAL FLASHING	
10 - STANDING SEAM METAL PANEL	
11 - ALLEN BLOCKS	
12 - VINYL WINDOW / SLIDING DOOR	
13 - LAMINATED GLAZING DOOR	
14 - METAL DOOR	
15 - ALUMINUM STOREFRONT WINDOW	
16 - FRAMING GLASS SCREEN	
17 - INSULATED GARAGE SECTION DOOR	
18 - METAL RAILING	
19 - CONCRETE, SMOOTH FINISH	
COLOR:	
A - LUMPRO - KNOTTY REDWOOD	
B - BM OC 06 SILVER SATIN	
C - BM 2125-20 DEEP SPACE	
D - BM 2201VIVORY PORCELAIN	
E - BM 2128-1 BLACK BEAUTY	
F - BM HC 28 SHELBYRNE BLUFF	
G - LUMPRO - DRIFTWOOD	
H - KIL CATALOG - ROUTE 66	
I - COLOR TO MATCH ADJACENT WALL	
J - KIL CATALOG - GRAPHITE GREY	

ACACIA GARDEN PROPERTIES
RESIDENTIAL DEVELOPMENT
1559 KLO Rd., 3150, 3210, 3220 St. Amand Rd



2308
BLDG 2.6
ELEVATIONS
A-33

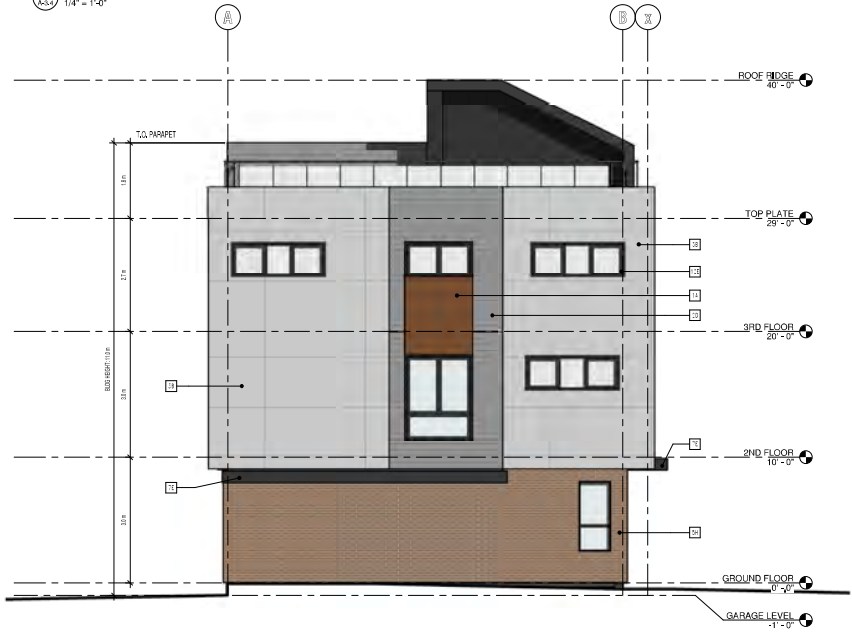
This Plan, or a Subpart
thereof, is the property of
Spracht Architects and may
not be reproduced, copied,
distributed, or otherwise
used in any way without
the prior written consent of
Spracht Architects. If you
are a contractor, you shall not
use extracts hereafter
without permission.

SCHEMATIC

1	REVISION	DATE
2	REVISION	DATE
3	REVISION	DATE
4	REVISION	DATE
5	REVISION	DATE
6	REVISION	DATE
7	REVISION	DATE
8	REVISION	DATE
9	REVISION	DATE
10	REVISION	DATE
11	REVISION	DATE
12	REVISION	DATE
13	REVISION	DATE
14	REVISION	DATE
15	REVISION	DATE
16	REVISION	DATE
17	REVISION	DATE
18	REVISION	DATE
19	REVISION	DATE



1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

MATERIAL TAG	MATERIAL & FINISH	COLOR
1	LUXPRO METAL CRAFT SERIES, FOLDED WALL METAL PANEL, VERTICAL INSTALL	
2	HARDE SIDING	
3	HARDE PANEL	
4	HARDE BOARD WITH BATTERY	
5	TRIM BRICKS	
6	METAL CAP FLASHING	
7	WOOD TRIM	
8	ALUMINUM METAL SCREEN	
9	METAL FLASHING	
10	STANDING SEAM METAL PANEL	
11	ALLEN BLOCKS	
12	NYLON WINDOW / SLIDING DOOR	
13	LAMINATED GLAZING DOOR	
14	METAL DOOR	
15	ALUMINUM STOREFRONT WINDOW	
16	PRIVACY GLASS SCREEN	
17	INSULATED GARAGE SECTION DOOR	
18	METAL RAILING	
19	CONCRETE, SMOOTH FINISH	

COLOR	DESCRIPTION
A	LUXPRO - KNIGHTHERRWOOD
B	BM OC-16 SILVER SATIN
C	BM P12-40 DEEP SPACE
D	BM 2510 IVORY PORCELAIN
E	BM 1708-10 BLACK BEAUTY
F	BM 10-28 BYE-BYE BUNNY BLUFF
G	LUXPRO - CRAFTWOOD
H	DL CATALOG - ROUTE 66
I	COLOR TO MATCH ADJACENT WALL
J	DL CATALOG - GRAPHITE GREY

SCHEDULE B
This forms part of application
DP24-0016
Planner Initials **JJ**
City of Kelowna
DEVELOPMENT PLANNING

ACACIA GARDEN PROPERTIES
RESIDENTIAL DEVELOPMENT
1559 KLO Rd., 3150, 3210, 3220 St. Amund Rd



2308

BLDG 2.6
ELEVATIONS

A-3.4

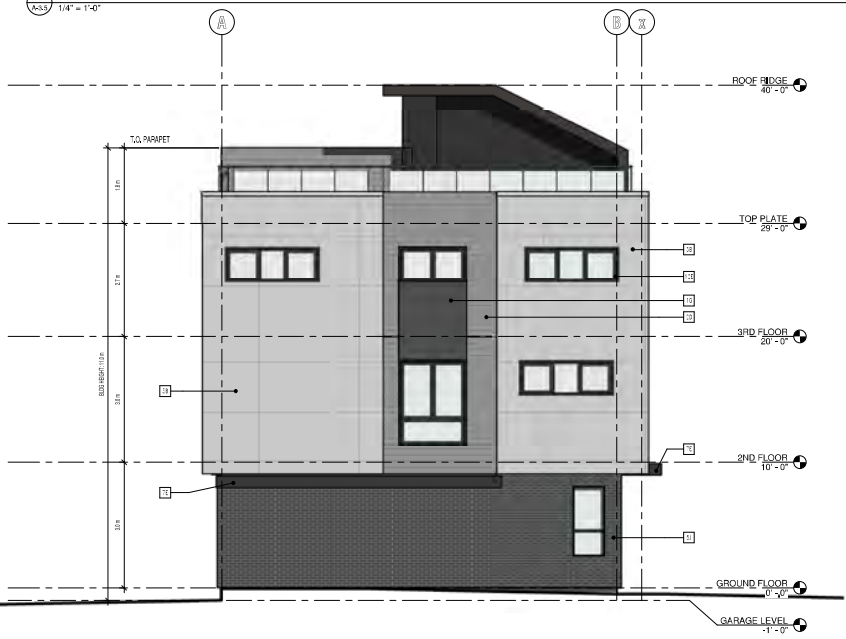
It is the policy of the architect to provide the architect's design and drawings as a guide only. The contractor is responsible for the construction of the project. The architect is not responsible for the construction of the project.

DATE: _____

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	04/22/2019
2	ISSUED FOR PERMIT	04/22/2019
3	ISSUED FOR PERMIT	04/22/2019
4	ISSUED FOR PERMIT	04/22/2019
5	ISSUED FOR PERMIT	04/22/2019
6	ISSUED FOR PERMIT	04/22/2019
7	ISSUED FOR PERMIT	04/22/2019
8	ISSUED FOR PERMIT	04/22/2019
9	ISSUED FOR PERMIT	04/22/2019
10	ISSUED FOR PERMIT	04/22/2019
11	ISSUED FOR PERMIT	04/22/2019
12	ISSUED FOR PERMIT	04/22/2019
13	ISSUED FOR PERMIT	04/22/2019
14	ISSUED FOR PERMIT	04/22/2019
15	ISSUED FOR PERMIT	04/22/2019
16	ISSUED FOR PERMIT	04/22/2019
17	ISSUED FOR PERMIT	04/22/2019
18	ISSUED FOR PERMIT	04/22/2019
19	ISSUED FOR PERMIT	04/22/2019
20	ISSUED FOR PERMIT	04/22/2019



1 WEST ELEVATION
 1/4" = 1'-0"



2 SOUTH ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

MATERIAL TAG	COLOR
1A	

MATERIAL & FINISH:

- 1 - LUAPRO METAL CRAFT SERIES, FOLDED WALL METAL PANEL, VERTICAL INSTALL
- 2 - HARDC STAINS
- 3 - HARDC PANEL
- 4 - HARDC BOARD WITH BATTEN
- 5 - THIN BRICKS
- 6 - METAL CAP FLASHING
- 7 - WOOD TRIM
- 8 - ANICO METAL SCREEN
- 9 - METAL FLASHING
- 10 - STANDING SEAM METAL PANEL
- 11 - ALLEN BLOCKS
- 12 - VINYL WINDOW / SLIDING DOOR
- 13 - LAMINATED GLAZING DOOR
- 14 - METAL DOOR
- 15 - ALUMINUM STOREFRONT WINDOW
- 16 - PRIVACY GLASS SCREEN
- 17 - INSULATED GARAGE SECTION DOOR
- 18 - METAL RAILING
- 19 - CONCRETE, SMOOTH FINISH

COLOR
A - LUAPRO-KNOTTY REDWOOD
B - BM-02-05 SILVER SATIN
C - BM-212-20 DEEP SPACE
D - BM-220-BURY PORCELAIN
E - BM-105-10 BLACK BEAUTY
F - BM-MC-25 SHELF LINE BLUFF
G - LUAPRO-CRAFTWOOD
H - BILCATALOG-ROUTE 66
I - COLOR TO MATCH ADJACENT WALL
J - BI_CATALOG-GRAPHITE GREY

SCHEDULE B
 This forms part of application
 # DP24-0016

Planner Initials **JJ**

City of Kelowna
 DEVELOPMENT PLANNING

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES
 1559 KLO Rd., 3150, 3210, 3220 St. Amant Rd



2308
 BLDG 4.8
 ELEVATIONS
 A-3.5

It is noted that all materials shown in this schedule are to be installed in accordance with the manufacturer's instructions. All materials shown in this schedule are to be installed in accordance with the manufacturer's instructions. All materials shown in this schedule are to be installed in accordance with the manufacturer's instructions.

SCHEMATIC

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	04/22/2024
2	ISSUED FOR PERMIT	04/22/2024
3	ISSUED FOR PERMIT	04/22/2024
4	ISSUED FOR PERMIT	04/22/2024
5	ISSUED FOR PERMIT	04/22/2024
6	ISSUED FOR PERMIT	04/22/2024
7	ISSUED FOR PERMIT	04/22/2024
8	ISSUED FOR PERMIT	04/22/2024
9	ISSUED FOR PERMIT	04/22/2024
10	ISSUED FOR PERMIT	04/22/2024
11	ISSUED FOR PERMIT	04/22/2024
12	ISSUED FOR PERMIT	04/22/2024
13	ISSUED FOR PERMIT	04/22/2024
14	ISSUED FOR PERMIT	04/22/2024
15	ISSUED FOR PERMIT	04/22/2024
16	ISSUED FOR PERMIT	04/22/2024
17	ISSUED FOR PERMIT	04/22/2024
18	ISSUED FOR PERMIT	04/22/2024
19	ISSUED FOR PERMIT	04/22/2024
20	ISSUED FOR PERMIT	04/22/2024
21	ISSUED FOR PERMIT	04/22/2024
22	ISSUED FOR PERMIT	04/22/2024
23	ISSUED FOR PERMIT	04/22/2024
24	ISSUED FOR PERMIT	04/22/2024
25	ISSUED FOR PERMIT	04/22/2024
26	ISSUED FOR PERMIT	04/22/2024
27	ISSUED FOR PERMIT	04/22/2024
28	ISSUED FOR PERMIT	04/22/2024
29	ISSUED FOR PERMIT	04/22/2024
30	ISSUED FOR PERMIT	04/22/2024
31	ISSUED FOR PERMIT	04/22/2024
32	ISSUED FOR PERMIT	04/22/2024
33	ISSUED FOR PERMIT	04/22/2024
34	ISSUED FOR PERMIT	04/22/2024
35	ISSUED FOR PERMIT	04/22/2024
36	ISSUED FOR PERMIT	04/22/2024
37	ISSUED FOR PERMIT	04/22/2024
38	ISSUED FOR PERMIT	04/22/2024
39	ISSUED FOR PERMIT	04/22/2024
40	ISSUED FOR PERMIT	04/22/2024
41	ISSUED FOR PERMIT	04/22/2024
42	ISSUED FOR PERMIT	04/22/2024
43	ISSUED FOR PERMIT	04/22/2024
44	ISSUED FOR PERMIT	04/22/2024
45	ISSUED FOR PERMIT	04/22/2024
46	ISSUED FOR PERMIT	04/22/2024
47	ISSUED FOR PERMIT	04/22/2024
48	ISSUED FOR PERMIT	04/22/2024
49	ISSUED FOR PERMIT	04/22/2024
50	ISSUED FOR PERMIT	04/22/2024

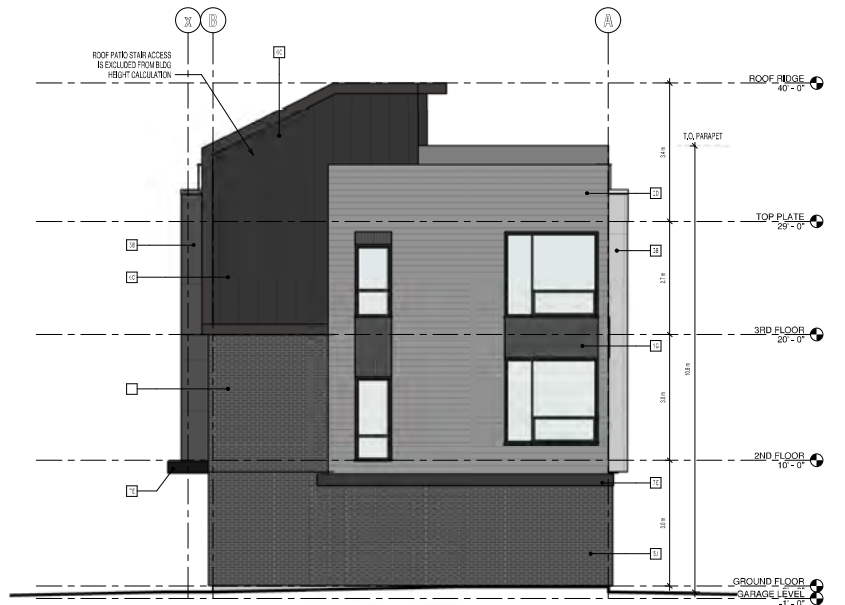


EAST ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

MATERIAL TAG
1 - LUSPRO METAL CRAFT SERIES, FOLDED WALL METAL PANEL, VERTICAL INSTALL
2 - HARDE BOARD
3 - HARDE BOARD
4 - HARDE BOARD WITH BATTEN
5 - TRIM BRICKS
6 - METAL CAP FLASHING
7 - WOOD TRIM
8 - ANODIZED METAL SCREEN
9 - METAL FLASHING
10 - STAINING SEMI-METAL PANEL
11 - ALUM. BLOOMS
12 - NYLON WINDOW / SLIDING DOOR
13 - LAMINATED GLAZING DOOR
14 - METAL DOOR
15 - ALUMINUM STOREFRONT WINDOW
16 - PRIVACY GLASS SCREEN
17 - INSULATED GARAGE SECTION DOOR
18 - METAL RAILING
19 - CONCRETE SMOOTH FINISH

COLOR
A - LUSPRO - CREST-MIDWOOD
B - BM DC-26 SILVER BATH
C - BM 2124-01 DEEP SPACE
D - BM 2128-BONY PORCELAIN
E - BM 2128-10 BLACK BEAUTY
F - BM HC-26 SHE-BURNIE BUFF
G - LUSPRO - SWEETWOOD
H - DL CATALOG - ROUTE 66
I - COLOR TO MATCH ADJACENT WALL
J - DL CATALOG - GRANITE GREY



NORTH ELEVATION
 1/4" = 1'-0"

SCHEDULE B
 This forms part of application
 # DP24-0016

Planner Initials **JJ**

City of Kelowna
 DEVELOPMENT PLANNING

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES

1559 KLO Rd., 3150, 3210, 3220 St. Amund Rd



2308

BLDG 4.8
 ELEVATIONS

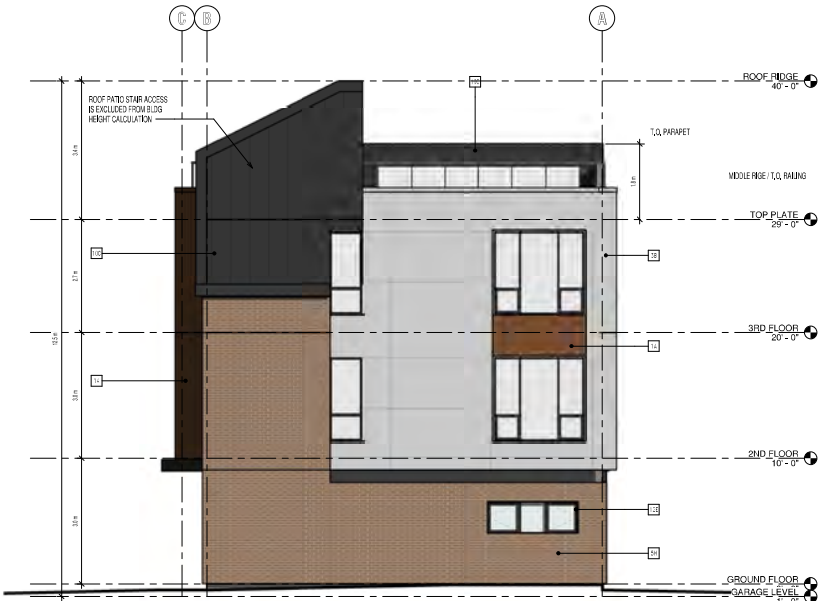
Issue Date: 04/22/2024
 As Issued: 04/22/2024
 04/22/2024
 A-3.6

It is the policy of the architect to provide the services of design architect only and not to provide the services of construction manager. All design, construction and other matters shall be referred to the client. The architect shall not be responsible for any errors or omissions in the drawings unless they are specifically noted.

SCHEMATIC



EAST ELEVATION
 1/4" = 1'-0"



NORTH ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

MATERIAL TAG	MATERIAL TYPE	COLOR
1	NEWTECHWOOD COMPOSITE WOOD SILING, 1/8"X1, VERTICAL INSTALL	
2	HARDE SIDING	
3	HARDE PANEL	
4	HARDE BOARD WITH BATTEN	
5	TIM BRICKS	
6	METAL CAP FLASHING	
7	WOOD TRIM	
8	ALUMINO METAL SCREEN	
9	METAL FLASHING	
10	STANDING SEAM METAL PANEL	
11	ALLEN BLOCKS	
12	MINI WINDOW / SLIDING DOOR	
13	LAMINATED GLAZING DOOR	
14	METAL DOOR	
15	ALUMINUM STOREFRONT WINDOW	
16	PRIVACY GLASS SCREEN	
17	INSULATED GARAGE SECTION DOOR	
18	METAL TRIMING	
19	CONCRETE, SMOOTH FINISH	

SCHEDULE B
 This forms part of application
 # DP24-0016

Planner Initials **JJ**

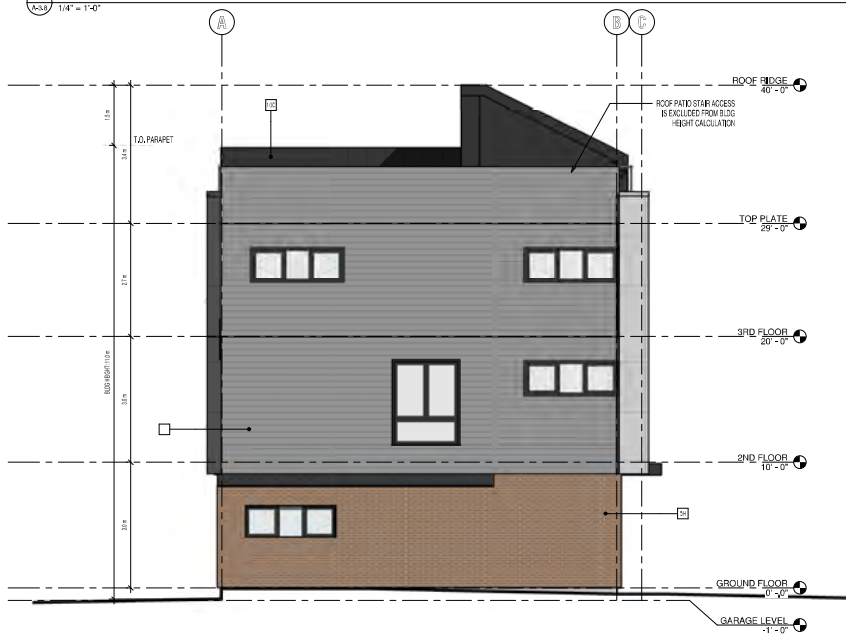
City of Kelowna
 DEVELOPMENT PLANNING

COLOR
A - PERUMAN TEAK
B - BM 02-05 SILVER SATIN
C - BM 2105-00 DEEP SPACE
D - BM 2511 IVORY PORCELAIN
E - BM 2108-10 BLACK BEAUTY
F - BM 02-08 SHELBYBURNE BUFF
G - RED CEDAR
H - HANEAR BRICK COVER
I - COLOR TO MATCH ADJACENT WALL
J - HANEAR BRICK, CLARENFLAND
K - SILVER GREY





1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

MATERIAL TAG:	
MATERIAL TAG:	1 1/2
MATERIAL TAG:	COLOR
MATERIAL & FINISH	
1 - NEWTOWNSHIP COMPOSITE WOOD SIDING, VERTICAL INSTALL	
2 - HARDE SIDING	
3 - HARDE PANEL	
4 - HARDE BOARD WITH BATTEN	
5 - THIN BRICKS	
6 - METAL CAP FLASHING	
7 - WOOD TRIM	
8 - ALUMCO METAL SCREEN	
9 - METAL FLASHING	
10 - STANDING SEAM METAL PANEL	
11 - ALLEN BLOCKS	
12 - VINYL WINDOW / SLIDING DOOR	
13 - LAMINATED GLAZING DOOR	
14 - METAL DOOR	
15 - ALUMINUM STOREFRONT WINDOW	
16 - PRIVACY GLASS SCREEN	
17 - INSULATED GARAGE SECTION DOOR	
18 - METAL RAILING	
19 - CONCRETE, SMOOTH FINISH	
COLOR	
A - PERUNIAN TEAK	
B - BM OC-01 SILVER SATIN	
C - BM 215-01 DEEP SPACE	
D - BM 281-01 RUBY PORCELAIN	
E - BM 212-01 BLACK BEAUTY	
F - BM HC-28 SHILBURN BUFF	
G - RED CEDAR	
H - MAKEAR BRICK COVER	
I - COLOR TO MATCH ADJACENT WALL	
J - MAKEAR BRICK, CUMBERLAND	
K - SILVER GREY	

SCHEDULE B
 This forms part of application
 # DP24-0016

Planner Initials: **JJ**

City of Kelowna
 DEVELOPMENT PLANNING

1.5. Planning or a subsequent 2. Review of the project. 3. Design. 4. Approval of any. 5. On the technical level of. 6. Some, while others remain. 7. All single copies, and the. 8. Project, on the site of the. 9. project only, and shall not be. 10. use, extracts, views, or. 11. otherwise.

SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	2024-04-10
2	ISSUED FOR PERMIT	2024-04-10
3	ISSUED FOR PERMIT	2024-04-10

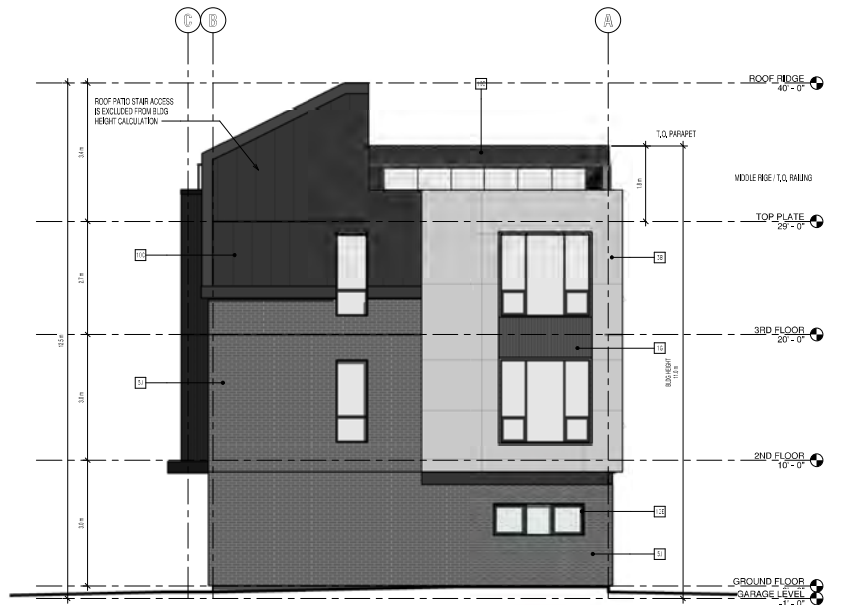
It is noted that all exterior finishes are to be applied to the exterior of the building. All finishes are to be applied to the exterior of the building. All finishes are to be applied to the exterior of the building. All finishes are to be applied to the exterior of the building.

SCHEMATIC

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024-01-15
2	ISSUED FOR PERMIT	2024-01-15
3	ISSUED FOR PERMIT	2024-01-15
4	ISSUED FOR PERMIT	2024-01-15
5	ISSUED FOR PERMIT	2024-01-15
6	ISSUED FOR PERMIT	2024-01-15
7	ISSUED FOR PERMIT	2024-01-15
8	ISSUED FOR PERMIT	2024-01-15
9	ISSUED FOR PERMIT	2024-01-15
10	ISSUED FOR PERMIT	2024-01-15
11	ISSUED FOR PERMIT	2024-01-15
12	ISSUED FOR PERMIT	2024-01-15
13	ISSUED FOR PERMIT	2024-01-15
14	ISSUED FOR PERMIT	2024-01-15
15	ISSUED FOR PERMIT	2024-01-15
16	ISSUED FOR PERMIT	2024-01-15
17	ISSUED FOR PERMIT	2024-01-15
18	ISSUED FOR PERMIT	2024-01-15
19	ISSUED FOR PERMIT	2024-01-15
20	ISSUED FOR PERMIT	2024-01-15



EAST ELEVATION
 1/4" = 1'-0"



NORTH ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

MATERIAL TAG	COLOR
1	LUXPRO METAL CRAFT SERIES, FOLDED WALL METAL, PANEL, VERTICAL INSTALL
2	HARDE SIDING
3	HARDE PANEL
4	HARDE BOARD WITH BATTEN
5	TRIM BRICKS
6	METAL CAP FLASHING
7	WOOD TRIM
8	ALUMINO METAL SCREEN
9	METAL FLASHING
10	STANDING SEAM METAL PANEL
11	ALLEN BLOCKS
12	VINYL WINDOW / SLIDING DOOR
13	LAMINATED GLAZING DOOR
14	METAL DOOR
15	ALUMINUM STOREFRONT WINDOW
16	PRIVACY GLASS SCREEN
17	INSULATED GARAGE SECTION DOOR
18	METAL TRIMMING
19	CONCRETE, SMOOTH FINISH

COLOR
A - LUXPRO - KNOTTY-REDWOOD
B - BM 02-05 SILVER SATIN
C - BM 1105-00 DEEP SPACE
D - BM 251 IVORY PORCELAIN
E - BM 2108-10 BLACK BEAUTY
F - BM 16-28 SHELBYBURNE BUFF
G - LUXPRO - DRIFTWOOD
H - BL CATALAG - AGUENTE #6
I - COLOR TO MATCH ADJACENT WALL
J - BL CATALAG - GRAYMATE GREY

SCHEDULE B
 This forms part of application
 # DP24-0016

Planner Initials **JJ**

City of Kelowna
 DEVELOPMENT PLANNING

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES
 1559 KLO Rd., St 150, 3210, 3220 St Amand Rd



2308

BLDG 3.7 ELEVATIONS

A-3.9

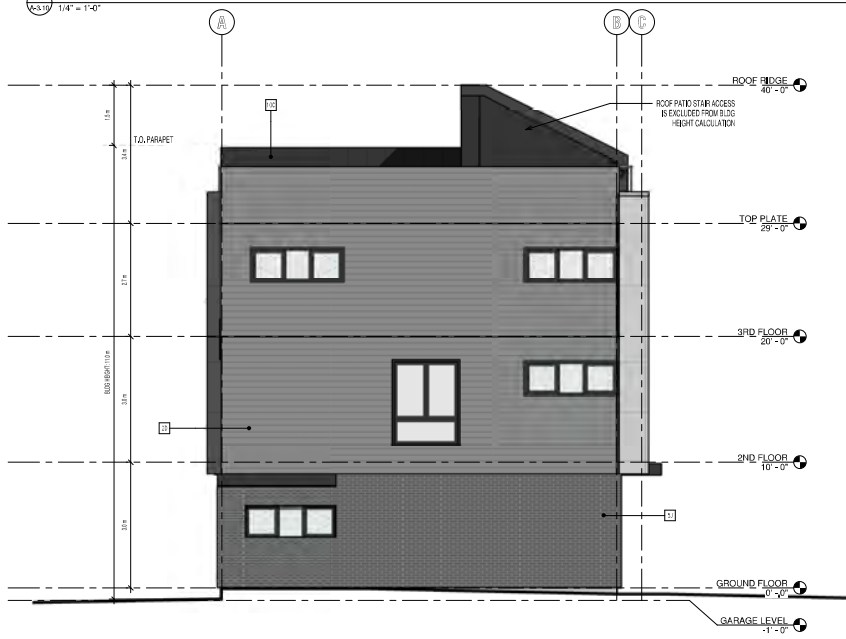
1.5. Particulars of Materials
 2. Particulars of the Work
 3. Details of the Work
 4. Details of the Work
 5. Details of the Work
 6. Details of the Work
 7. Details of the Work
 8. Details of the Work
 9. Details of the Work
 10. Details of the Work
 11. Details of the Work
 12. Details of the Work
 13. Details of the Work
 14. Details of the Work
 15. Details of the Work
 16. Details of the Work
 17. Details of the Work
 18. Details of the Work
 19. Details of the Work
 20. Details of the Work
 21. Details of the Work
 22. Details of the Work
 23. Details of the Work
 24. Details of the Work
 25. Details of the Work
 26. Details of the Work
 27. Details of the Work
 28. Details of the Work
 29. Details of the Work
 30. Details of the Work
 31. Details of the Work
 32. Details of the Work
 33. Details of the Work
 34. Details of the Work
 35. Details of the Work
 36. Details of the Work
 37. Details of the Work
 38. Details of the Work
 39. Details of the Work
 40. Details of the Work
 41. Details of the Work
 42. Details of the Work
 43. Details of the Work
 44. Details of the Work
 45. Details of the Work
 46. Details of the Work
 47. Details of the Work
 48. Details of the Work
 49. Details of the Work
 50. Details of the Work
 51. Details of the Work
 52. Details of the Work
 53. Details of the Work
 54. Details of the Work
 55. Details of the Work
 56. Details of the Work
 57. Details of the Work
 58. Details of the Work
 59. Details of the Work
 60. Details of the Work
 61. Details of the Work
 62. Details of the Work
 63. Details of the Work
 64. Details of the Work
 65. Details of the Work
 66. Details of the Work
 67. Details of the Work
 68. Details of the Work
 69. Details of the Work
 70. Details of the Work
 71. Details of the Work
 72. Details of the Work
 73. Details of the Work
 74. Details of the Work
 75. Details of the Work
 76. Details of the Work
 77. Details of the Work
 78. Details of the Work
 79. Details of the Work
 80. Details of the Work
 81. Details of the Work
 82. Details of the Work
 83. Details of the Work
 84. Details of the Work
 85. Details of the Work
 86. Details of the Work
 87. Details of the Work
 88. Details of the Work
 89. Details of the Work
 90. Details of the Work
 91. Details of the Work
 92. Details of the Work
 93. Details of the Work
 94. Details of the Work
 95. Details of the Work
 96. Details of the Work
 97. Details of the Work
 98. Details of the Work
 99. Details of the Work
 100. Details of the Work

SCHEMATIC

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	2024/01/10	SP
2	ISSUED FOR PERMIT	2024/01/10	SP
3	ISSUED FOR PERMIT	2024/01/10	SP
4	ISSUED FOR PERMIT	2024/01/10	SP
5	ISSUED FOR PERMIT	2024/01/10	SP
6	ISSUED FOR PERMIT	2024/01/10	SP
7	ISSUED FOR PERMIT	2024/01/10	SP
8	ISSUED FOR PERMIT	2024/01/10	SP
9	ISSUED FOR PERMIT	2024/01/10	SP
10	ISSUED FOR PERMIT	2024/01/10	SP
11	ISSUED FOR PERMIT	2024/01/10	SP
12	ISSUED FOR PERMIT	2024/01/10	SP
13	ISSUED FOR PERMIT	2024/01/10	SP
14	ISSUED FOR PERMIT	2024/01/10	SP
15	ISSUED FOR PERMIT	2024/01/10	SP
16	ISSUED FOR PERMIT	2024/01/10	SP
17	ISSUED FOR PERMIT	2024/01/10	SP
18	ISSUED FOR PERMIT	2024/01/10	SP
19	ISSUED FOR PERMIT	2024/01/10	SP
20	ISSUED FOR PERMIT	2024/01/10	SP
21	ISSUED FOR PERMIT	2024/01/10	SP
22	ISSUED FOR PERMIT	2024/01/10	SP
23	ISSUED FOR PERMIT	2024/01/10	SP
24	ISSUED FOR PERMIT	2024/01/10	SP
25	ISSUED FOR PERMIT	2024/01/10	SP
26	ISSUED FOR PERMIT	2024/01/10	SP
27	ISSUED FOR PERMIT	2024/01/10	SP
28	ISSUED FOR PERMIT	2024/01/10	SP
29	ISSUED FOR PERMIT	2024/01/10	SP
30	ISSUED FOR PERMIT	2024/01/10	SP
31	ISSUED FOR PERMIT	2024/01/10	SP
32	ISSUED FOR PERMIT	2024/01/10	SP
33	ISSUED FOR PERMIT	2024/01/10	SP
34	ISSUED FOR PERMIT	2024/01/10	SP
35	ISSUED FOR PERMIT	2024/01/10	SP
36	ISSUED FOR PERMIT	2024/01/10	SP
37	ISSUED FOR PERMIT	2024/01/10	SP
38	ISSUED FOR PERMIT	2024/01/10	SP
39	ISSUED FOR PERMIT	2024/01/10	SP
40	ISSUED FOR PERMIT	2024/01/10	SP
41	ISSUED FOR PERMIT	2024/01/10	SP
42	ISSUED FOR PERMIT	2024/01/10	SP
43	ISSUED FOR PERMIT	2024/01/10	SP
44	ISSUED FOR PERMIT	2024/01/10	SP
45	ISSUED FOR PERMIT	2024/01/10	SP
46	ISSUED FOR PERMIT	2024/01/10	SP
47	ISSUED FOR PERMIT	2024/01/10	SP
48	ISSUED FOR PERMIT	2024/01/10	SP
49	ISSUED FOR PERMIT	2024/01/10	SP
50	ISSUED FOR PERMIT	2024/01/10	SP
51	ISSUED FOR PERMIT	2024/01/10	SP
52	ISSUED FOR PERMIT	2024/01/10	SP
53	ISSUED FOR PERMIT	2024/01/10	SP
54	ISSUED FOR PERMIT	2024/01/10	SP
55	ISSUED FOR PERMIT	2024/01/10	SP
56	ISSUED FOR PERMIT	2024/01/10	SP
57	ISSUED FOR PERMIT	2024/01/10	SP
58	ISSUED FOR PERMIT	2024/01/10	SP
59	ISSUED FOR PERMIT	2024/01/10	SP
60	ISSUED FOR PERMIT	2024/01/10	SP
61	ISSUED FOR PERMIT	2024/01/10	SP
62	ISSUED FOR PERMIT	2024/01/10	SP
63	ISSUED FOR PERMIT	2024/01/10	SP
64	ISSUED FOR PERMIT	2024/01/10	SP
65	ISSUED FOR PERMIT	2024/01/10	SP
66	ISSUED FOR PERMIT	2024/01/10	SP
67	ISSUED FOR PERMIT	2024/01/10	SP
68	ISSUED FOR PERMIT	2024/01/10	SP
69	ISSUED FOR PERMIT	2024/01/10	SP
70	ISSUED FOR PERMIT	2024/01/10	SP
71	ISSUED FOR PERMIT	2024/01/10	SP
72	ISSUED FOR PERMIT	2024/01/10	SP
73	ISSUED FOR PERMIT	2024/01/10	SP
74	ISSUED FOR PERMIT	2024/01/10	SP
75	ISSUED FOR PERMIT	2024/01/10	SP
76	ISSUED FOR PERMIT	2024/01/10	SP
77	ISSUED FOR PERMIT	2024/01/10	SP
78	ISSUED FOR PERMIT	2024/01/10	SP
79	ISSUED FOR PERMIT	2024/01/10	SP
80	ISSUED FOR PERMIT	2024/01/10	SP
81	ISSUED FOR PERMIT	2024/01/10	SP
82	ISSUED FOR PERMIT	2024/01/10	SP
83	ISSUED FOR PERMIT	2024/01/10	SP
84	ISSUED FOR PERMIT	2024/01/10	SP
85	ISSUED FOR PERMIT	2024/01/10	SP
86	ISSUED FOR PERMIT	2024/01/10	SP
87	ISSUED FOR PERMIT	2024/01/10	SP
88	ISSUED FOR PERMIT	2024/01/10	SP
89	ISSUED FOR PERMIT	2024/01/10	SP
90	ISSUED FOR PERMIT	2024/01/10	SP
91	ISSUED FOR PERMIT	2024/01/10	SP
92	ISSUED FOR PERMIT	2024/01/10	SP
93	ISSUED FOR PERMIT	2024/01/10	SP
94	ISSUED FOR PERMIT	2024/01/10	SP
95	ISSUED FOR PERMIT	2024/01/10	SP
96	ISSUED FOR PERMIT	2024/01/10	SP
97	ISSUED FOR PERMIT	2024/01/10	SP
98	ISSUED FOR PERMIT	2024/01/10	SP
99	ISSUED FOR PERMIT	2024/01/10	SP
100	ISSUED FOR PERMIT	2024/01/10	SP



1 WEST ELEVATION
 1/4" = 1'-0"



2 SOUTH ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

MATERIAL TAG	
MATERIAL TYPE	COLOR
MATERIAL & FINISH	
1 - LUXPRO METAL CRAFT SERIES, FOLDED WALL METAL PANEL, VERTICAL INSTALL	
2 - HARDE SIDING	
3 - HARDE PANEL	
4 - HARDE BOARD WITH BATTEN	
5 - THIN BRICKS	
6 - METAL CAP FLASHING	
7 - WOOD TRIM	
8 - ANCO/METAL SCREEN	
9 - METAL FLASHING	
10 - STANDING SEAM METAL PANEL	
11 - ALLEN BLOCKS	
12 - VINYL WINDOW / SLIDING DOOR	
13 - LAMINATED GLAZING DOOR	
14 - METAL DOOR	
15 - ALUMINUM STOREFRONT WINDOW	
16 - PRIVACY GLASS SCREEN	
17 - INSULATED GARAGE SECTION DOOR	
18 - METAL RAILING	
19 - CONCRETE, SMOOTH FINISH	
COLOR	
A - LUXPRO - KNOTH REDWOOD	
B - BM OC-01 SILVER SATIN	
C - BM 215240 DEEP SPACE	
D - BM 2911070V PORCELAIN	
E - BM 212910 BLACK BEAUTY	
F - BM HC-28 SHIELD/IRVINE BUFF	
G - LUXPRO - BRITWOOD	
H - BLS CATALOG - ROUTE 66	
I - COLOR TO MATCH ADJACENT WALL	
J - IXL CATALOG - GRAPHITE GREY	

SCHEDULE B
 This forms part of application
 # DP24-0016
 Planner Initials **JJ**
 City of Kelowna
 DEVELOPMENT PLANNING

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES
 1559 KLO Rd., 3150, 3210, 3220 St. Amand Rd.



2308
 BLDG 3.7
 ELEVATIONS
 A-3.10

This Plan, or a Subpart
 of Part 1 of the British
 Columbia Act of 1996,
 or any other Act of
 the Province of British
 Columbia, or the
 Regulations made there-
 under, shall not be
 taken to authorize the
 carrying out of any
 work unless the
 necessary permits
 have been obtained
 from the appropriate
 authority.

DATE: 2024-04-15

NO.	DESCRIPTION	DATE	BY
1	ISSUE	2024-04-15	JL
2	REVISION		
3	REVISION		
4	REVISION		
5	REVISION		
6	REVISION		
7	REVISION		
8	REVISION		
9	REVISION		
10	REVISION		

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES

1559 KLO Rd., 3150, 3210, 3220 St. Amand Rd



2308

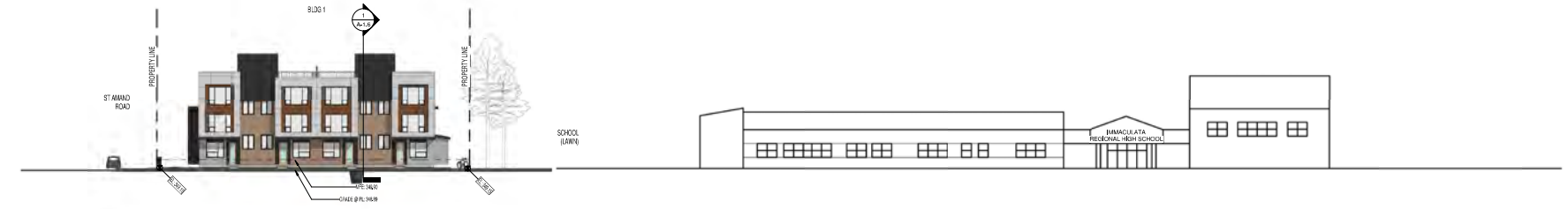
STREETSCAPE ELEVATIONS

NO.	DESCRIPTION	DATE	BY
1	ISSUE	2024-04-15	JL
2	REVISION		
3	REVISION		
4	REVISION		
5	REVISION		

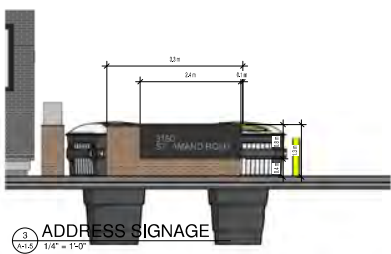
A-1.5



1 STREETSCAPE (ST AMAND RD)
 A1.5 1/16" = 1'-0"



2 STREETSCAPE (KLO ROAD)
 A1.5 1/16" = 1'-0"



3 ADDRESS SIGNAGE
 A1.5 1/4" = 1'-0"

SCHEDULE B
 This forms part of application
 # DP24-0016

Planner Initials **JL**

City of Kelowna
 DEVELOPMENT PLANNING

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	BRICK	468837	CS		
2	WOOD	468837	CS		
3	WOOD	468837	CS		
4	WOOD	468837	CS		
5	WOOD	468837	CS		
6	WOOD	468837	CS		
7	WOOD	468837	CS		
8	WOOD	468837	CS		
9	WOOD	468837	CS		
10	WOOD	468837	CS		

RESIDENTIAL DEVELOPMENT
 ACACIA GARDEN PROPERTIES

1559 KLO Rd, 9150, 3210, 3220 St. Amant Rd



2308

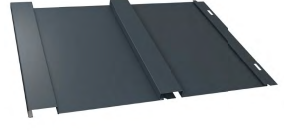
MATERIAL BOARD

A-1.7

SCHEDULE B
 This forms part of application
 # DP24-0016
 Planner Initials **JJ**
 City of Kelowna
 DEVELOPMENT PLANNING



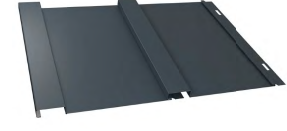
STANDING SEAM METAL ROOF PANEL



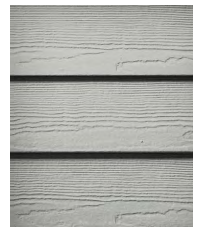
STEEL BOARD AND BATTEN SIDING TO MATCH ROOF



STANDING SEAM METAL ROOF PANEL



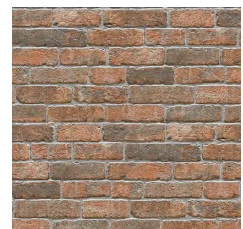
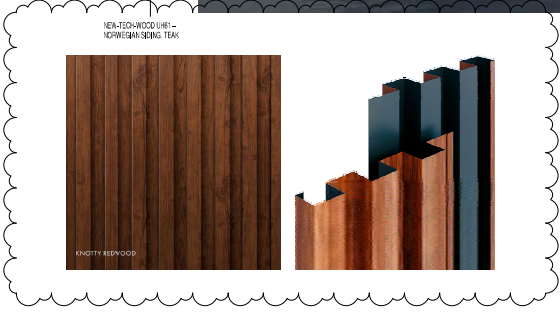
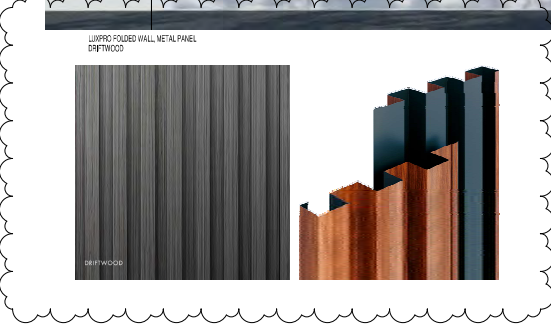
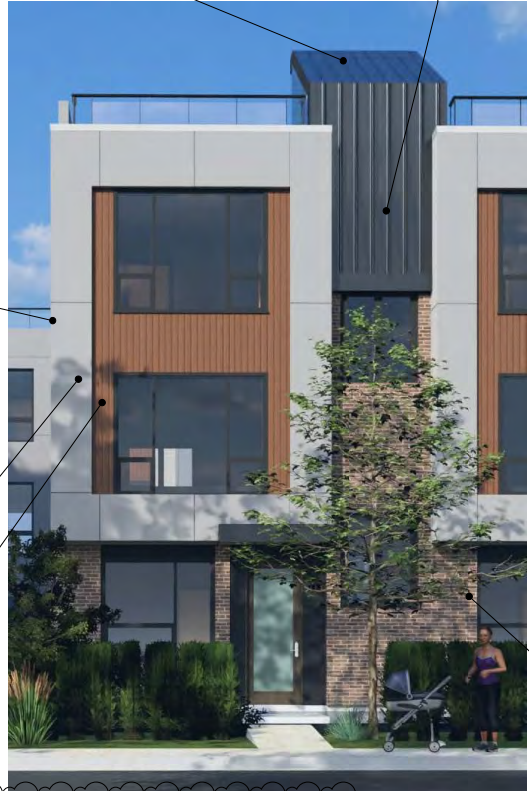
STEEL BOARD AND BATTEN SIDING TO MATCH ROOF

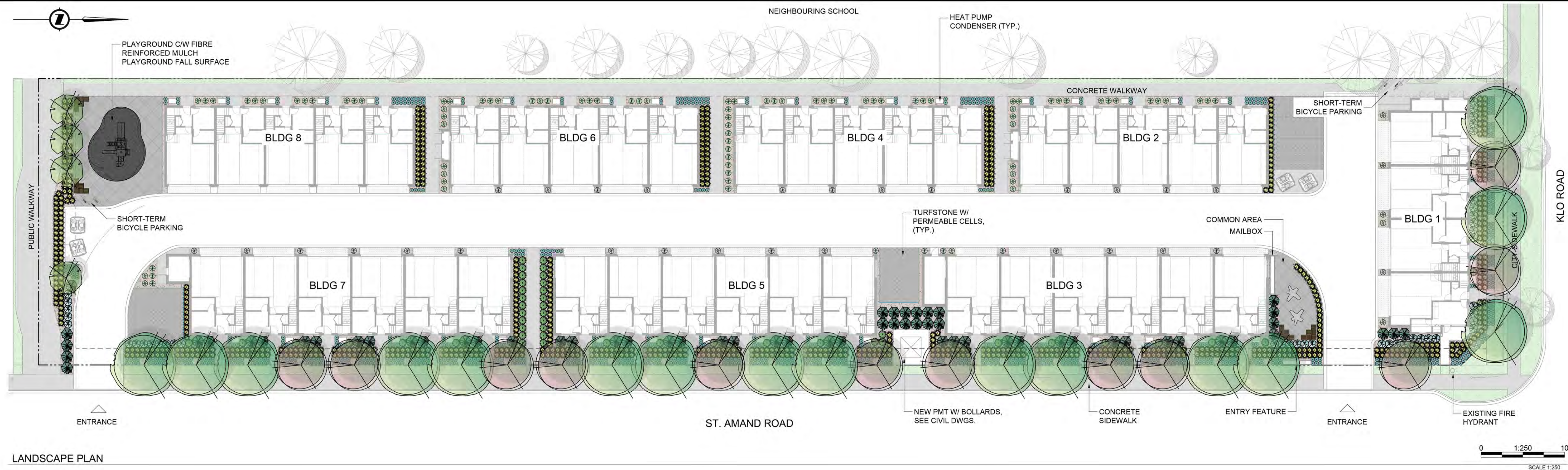


HORIZONTAL LAP SIDING



HORIZONTAL PLANK SMOOTH FINISH





LANDSCAPE PLAN

LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED DROUGHT TOLERANT SOD ON 150mm DEPTH TOPSOIL
- PROPOSED PLANTING BED WITH 75mm DEPTH SHREDDED, SELF-BINDING WOOD MULCH
- STANDARD GREY CONCRETE C/W BROOM FINISH
- 100mm DEPTH COLOURED CONCRETE W/ SAWCUT PATTERN
- KLO ROAD RESERVE
- DRIVEWAY, SEE CIVIL DWGS.
- TURFSTONE W/ PERMEABLE CELLS
- EXISTING TREE TO RETAINED
- BLOCK BENCH, BLOCK HEIGHTS TBD AT DETAILED DESIGN BY MAGLIN PIXEL (OR APPROVED EQUAL) QTY: 12
- REINFORCED CAST STONE BENCH, SIZE TBD AT DETAILED DESIGN BY LANDSCAPE FORM FLOR (OR APPROVED EQUAL) QTY: 2
- BIKE RACKS BY LANDSCAPE FORMS (OR APPROVED EQUAL) QTY: 4

PLANT MATERIALS
(PLANT HARDINESS ZONE 6A)

TREE PLANTING

- THORNLESS HONEYLOCUST
Gleditsia triacanthos
- TOBA HAWTHORN
Crataegus x mordenensis 'Toba'
- RED OAK
Quercus rubra

SHRUB PLANTING

- SAVIN JUNIPER
Juniperus sabina
- SLOWMOUND MUGO PINE
Pinus mugo 'Slowmound'
- COLUMNAR MUGO PINE
Pinus mugo 'Columnaris'

PERENNIALS & ORNAMENTAL GRASSES

- KARL FOERSTER FOUNTAIN GRASS
Calamagrostis x acutiflora 'Karl Foerster'
- BLUE DUNE LYME GRASS
Leymus arenarius 'Blue Dune'
- BLUE OAT GRASS
Helictotrichon sempervirens

GENERAL NOTES

1. THIS DRAWING HAS BEEN PREPARED FOR REVIEW PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.
2. LANDSCAPE AND CIVIL DRAWINGS SHALL BE COORDINATED. LANDSCAPE GRADING SHALL CONFORM TO THE SITE GRADING AND DRAINAGE CIVIL DRAWINGS. ENSURE POSITIVE DRAINAGE ON WALKWAY AND SURROUNDING LANDSCAPE.
3. LOCATION OF UNDERGROUND UTILITIES TO BE CONFIRMED PRIOR TO COMMENCEMENT OF LANDSCAPE WORKS.
4. ALL LANDSCAPE AREAS SHALL BE AUTOMATICALLY IRRIGATED, AUTOMATED IRRIGATION AS PER IRRIGATION DRAWINGS.
5. VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUM. REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE OWNER PRIOR TO CONSTRUCTION.
6. DO NOT SCALE DRAWINGS.
7. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.

PLANTING NOTES

1. ALL LANDSCAPING WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD AND BE IN ACCORDANCE WITH CITY OF KELOWNA STANDARDS/GUIDELINES.
2. ALL PLANT MATERIAL TO COME FROM A CERTIFIED DISEASE-FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.
3. ALL PLANTING BED AND TREE WELLS TO HAVE A MINIMUM OF 100mm DEPTH WOOD MULCH. ENSURE CLEAR RADIUS OF 100mm AROUND PLANT STEM.
4. SOD TO BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE DROUGHT TOLERANT.
5. STAKE TREE LOCATIONS AND BED EDGES FOR APPROVAL BY LANDSCAPE ARCHITECT.
6. PROVIDE GROWING MEDIUM DEPTHS/VOLUMES AS FOLLOWS:
TREES - 1000mm DEPTH
PLANTING BEDS (SHRUBS | PERENNIALS) - 450mm
CONTINUOUS DEPTH
LAWN - 150mm CONTINUOUS DEPTH

SCHEDULE C

This forms part of application
DP24-0016

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

Rev	Date	Description	Drawn	Design	App'd
PB	2024-10-29	REISSUED FOR DEVELOPMENT PERMIT	TM	TM	TM
PB	2024-09-24	REISSUED FOR DEVELOPMENT PERMIT	TM	TM	TM
PB	2024-05-23	ISSUED FOR DEVELOPMENT PERMIT	LJ	TM	TM
PA	2024-05-15	ISSUED FOR REVIEW	LJ	TM	TM

THIS DRAWING AND DESIGN IS THE PROPERTY OF McELHANNEY AND SHALL NOT BE USED, REUSED OR REPRODUCED WITHOUT THE CONSENT OF McELHANNEY. McELHANNEY WILL NOT BE HELD RESPONSIBLE FOR THE IMPROPER OR UNAUTHORIZED USE OF THIS DRAWING AND DESIGN.

THIS DRAWING AND DESIGN HAS BEEN PREPARED FOR THE CLIENT IDENTIFIED, TO MEET THE STANDARDS AND REQUIREMENTS OF THE APPLICABLE PUBLIC AGENCIES AT THE TIME OF PREPARATION. McELHANNEY, ITS EMPLOYEES, SUBCONSULTANTS AND AGENTS WILL NOT BE LIABLE FOR ANY LOSSES OR OTHER CONSEQUENCES RESULTING FROM THE USE OR RELIANCE UPON, OR ANY CHANGES MADE TO, THIS DRAWING, BY ANY THIRD PARTY, INCLUDING CONTRACTORS, SUPPLIERS, CONSULTANTS AND STAKEHOLDERS, OR THEIR EMPLOYEES OR AGENTS, WITHOUT McELHANNEY'S PRIOR WRITTEN CONSENT.

INFORMATION ON EXISTING UNDERGROUND FACILITIES MAY NOT BE COMPLETE OR ACCURATE. McELHANNEY, ITS EMPLOYEES AND DIRECTORS ARE NOT RESPONSIBLE NOR LIABLE FOR THE LOCATION OF ANY UNDERGROUND CONDUITS, PIPES, CABLES OR OTHER FACILITIES WHETHER SHOWN OR OMITTED FROM THIS PLAN. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING FACILITIES BY HAND DIGGING OR HYDROVAC AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS.

ORIGINAL DWG SIZE: ANSI D (22" x 34")



710 Laval Crescent
Kelowna BC
Canada V2C 5P3
Tel 250 374 2200



PRELIMINARY
NOT FOR
CONSTRUCTION

ACACIA GARDEN PROPERTIES
LANDSCAPE PLAN

Drawing No.	L101
Project Number	2451-82406-00
Rev.	PB

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.						✓
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.					✓	
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						✓
f. Avoid blank, windowless walls along streets or other public open spaces.						✓
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.						✓
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. <ul style="list-style-type: none"> • Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets); • The street wall does not include upper storeys that are setback from the primary frontage; and • A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys. 						✓
2.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.						✓
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.						✓
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> • Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and • Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice. 					✓	

ATTACHMENT B

This forms part of application # DP24-0016

Planner Initials **JJ**



City of Kelowna
DEVELOPMENT PLANNING

2.1.3 Site Planning	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.	✓					
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						✓
c. Limit the maximum grades on development sites to 30% (3:1)	✓					
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; Incorporating terracing to create usable open spaces around the building Using the slope for under-building parking and to screen service and utility areas; Design buildings to access key views; and Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped). 	✓					
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						✓
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.					✓	
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.					✓	
2.1.4 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						✓
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						✓
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> Underground (where the high water table allows) Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage); 						✓

ATTACHMENT B

This forms part of application
DP24-0016

Planner Initials JI



City of Kelowna
DEVELOPMENT PLANNING

<ul style="list-style-type: none"> Garages or at-grade parking integrated into the building (located at the rear of the building); and Surface parking at the rear, with access from the lane or secondary street wherever possible. 						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.					✓	
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> Landscaping; Trellises; Grillwork with climbing vines; or Other attractive screening with some visual permeability. 						✓
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> Covered short-term parking in highly visible locations, such as near primary building entrances; and Secure long-term parking within the building or vehicular parking area. 					✓	
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						✓
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.						✓
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.						✓
2.1.5 Streetscapes, Landscapes, and Public Realm Design	N/A	1	2	3	4	5
a. Site buildings to protect mature trees, significant vegetation, and ecological features.				✓		
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.	✓					
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						✓
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> Locating outdoor spaces where they will receive ample sunlight throughout the year; Using materials and colors that minimize heat absorption; Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and Using building mass, trees and planting to buffer wind. 						✓
f. Use landscaping materials that soften development and enhance the public realm.						✓

ATTACHMENT B

This forms part of application
DP24-0016

Planner Initials JI



City of Kelowna
DEVELOPMENT PLANNING

g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.						✓
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.	✓					
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> • Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and • Using recycled water irrigation systems. 	✓					
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	✓					
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.	✓					
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> • Minimizing light trespass onto adjacent properties; • Using full cut-off lighting fixtures to minimize light pollution; and • Maintaining lighting levels necessary for safety and visibility. 					✓	
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.						✓
2.1.6 Building Articulation, Features and Materials	N/A	1	2	3	4	5
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> • Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; • Repeating window patterns on each step-back and extension interval; • Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval. 						✓
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs. <p>Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters;</p>						✓

ATTACHMENT

This forms part of application
DP24-0016

Planner Initials JI



City of Kelowna
DEVELOPMENT PLANNING

179

ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.						✓
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.					✓	
f. Provide weather protection such as awnings and canopies at primary building entries.						✓
g. Place weather protection to reflect the building's architecture.						✓
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						✓
i. Provide visible signage identifying building addresses at all entrances.				✓		

SECTION 4.0: TOWNHOUSES & INFILL						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
3.1 Townhouses & Infill						
3.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Design primary unit entrances to provide: <ul style="list-style-type: none"> A clearly visible front door directly accessible from a public street or publicly accessible pathway via a walkway, porch and/or stoop; Architectural entrance features such as stoops, porches, shared landings, patios, recessed entries, and canopies; A sense of transition from the public to the private realm by utilizing strategies such as changes in grade, decorative railings, and planters; and Punctuation, articulation, and rhythm along the street 						✓
b. A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways or stoops. Exceptions can be made in cases where the water table requires this to be higher.						✓
c. In the case of shared landings that provide access to multiple units, avoid having more than two doors in a row facing outward.	✓					
d. For buildings oriented perpendicularly to the street (e.g. shotgun townhomes), ensure that the end unit facing the street is a custom street-oriented unit with primary entry directly accessible from the fronting street and primary living space at grade.	✓					
e. For large townhouse projects (e.g. master planned communities with internal circulation pattern), Guidelines 3.1.1.a-d apply for					✓	

ATTACHMENT **B**

This forms part of application
DP24-0016

Planner
Initials

JI



City of
Kelowna
DEVELOPMENT PLANNING

units facing strata roads as well as those units fronting onto public streets.						
3.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Wherever possible, reflect the positive attributes of adjacent housing while integrating new higher density forms of housing as envisioned in the OCP.						✓
b. Scale and site buildings to establish consistent rhythm along the street by, for example, articulating individual units through integration of recessed entries, balconies, a change in materials and slight projection/recess in the façade.						✓
c. Limit the number of connected townhouse units to a maximum of 6 units before splitting into multiple buildings. • In larger townhouse developments (e.g., master planned communities with internal circulation pattern), integrate a large proportion of 4 unit townhouse buildings to create a finer gran of development and limit visual impacts.						✓
3.1.3 Site Planning	N/A	1	2	3	4	5
a. Gated or walled communities are not supported.						✓
b. For large townhouse projects, consider including communal amenity buildings.	✓					
Connectivity						
c. Provide pedestrian pathways on site to connect: • Main building entrances to public sidewalks and open spaces; • Visitor parking areas to building entrances; • From the site to adjacent pedestrian/trail/cycling networks (where applicable).					✓	
d. When pedestrian connections are provided on site, frame them with an active edge – with entrances and windows facing the path or lane.					✓	
e. For large townhouse projects (e.g. master planned communities with internal circulation pattern): • Design the internal circulation pattern to be integrated with and connected to the existing and planned public street network.	✓					
Facing Distances and Setbacks						
f. Locate and design buildings to maintain access to sunlight, and reduce overlook between buildings and neighbouring properties.						✓
g. Separate facing buildings on site a minimum of 10 – 12 m to provide ample spatial separation and access to sunlight.			✓			
h. Limit building element projections, such as balconies, into setback areas, streets, and amenity areas to protect solar access.						✓
i. Front yard setbacks on internal roads should respond to the height of townhouses, with taller townhouses (e.g. 3 storeys) having greater setbacks to improve liveability and solar access.						✓
3.1.4 Open Spaces						
a. Design all units to have easy access to useable private or semi-private outdoor amenity space.					✓	

ATTACHMENT B

This forms part of application
DP24-0016

Planner Initials

City of Kelowna
DEVELOPMENT PLANNING



181

b. Design front yards to include a path from the fronting street to the primary entry, landscaping, and semi-private outdoor amenity space.						✓
c. Avoid a 'rear yard' condition with undeveloped frontages along streets and open spaces.						✓
d. Design private outdoor amenity spaces to: <ul style="list-style-type: none"> • Have access to sunlight; • Have railing and/or fencing to help increase privacy; and • Have landscaped areas to soften the interface with the street or open spaces/ 				✓		
e. Design front patios to: <ul style="list-style-type: none"> • Provide an entrance to the unit; and • Be raised a minimum of 0.6 m and a maximum of 1.2 m to create a semi-private transition zone. 						✓
f. Design rooftop patios to: <ul style="list-style-type: none"> • Have parapets with railings; • Minimize direct sight lines into nearby units; and • Have access away from primary facades. 						✓
g. Design balconies to be inset or partially inset to offer privacy and shelter, reduce building bulk, and minimize shadowing. <ul style="list-style-type: none"> • Consider using balcony strategies to reduce the significant potential for heat loss through thermal bridge connections which could impact energy performance. 	✓					
h. Provide a minimum of 10% of the total site area to common outdoor amenity spaces that: <ul style="list-style-type: none"> • Incorporate landscaping, seating, play space, and other elements that encourage gathering or recreation; and • Avoid isolated, irregularly shaped areas or areas impacted by parking, mechanical equipment, or servicing areas. 				✓		
i. For large townhouse projects, provide generous shared outdoor amenity spaces integrating play spaces, gardening, storm water and other ecological features, pedestrian circulation, communal amenity buildings, and other communal uses.					✓	
j. Design internal roadways to serve as additional shared space (e.g. vehicle access, pedestrian access, open space) using strategies such as: <ul style="list-style-type: none"> • High quality pavement materials (e.g. permeable pavers); and • Providing useable spaces for sitting, gathering and playing. 					✓	
3.1.5 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Provide landscaping in strategic locations throughout to frame building entrances, soften edges, screen parking garages, and break up long facades.					✓	
Site Servicing						
b. Exceptions for locating waste collection out of public view can be made for well-designed waste collection systems such as Molok bins.						✓
Parking	ATTACHMENT B					

This forms part of application
DP24-0016

Planner Initials JI



c. Rear-access garage or integrated tuck under parking is preferred in townhouses, in general, and is required for townhouses facing public streets.						✓
d. Centralized parking areas that eliminate the need to integrate parking into individual units are supported.						✓
e. Front garages and driveway parking are acceptable in townhouses facing internal strata roads, with the following considerations: <ul style="list-style-type: none"> • Architecturally integrate the parking into the building and provide weather protection to building entries; and • Design garage doors to limit visual impact, using strategies such as recessing the garage from the rest of the façade. 					✓	
f. Provide visitor parking in accessible locations throughout the site and provide pedestrian connections from visitor parking to townhouse units. Acceptable locations include: <ul style="list-style-type: none"> • Distributed through the site adjacent to townhouse blocks; and • Centralized parking, including integration with shared outdoor amenity space 						✓
Access						
g. Ensure that internal circulation for vehicles is designed to accommodate necessary turning radii and provides for logical and safe access and egress.						✓
h. For large townhouse projects (e.g. master planned communities with internal circulation pattern), a minimum of two access/egress points to the site is desired.						✓
i. Locate access points to minimize impacts of headlights on building interiors.						✓
j. Design the internal circulation pattern and pedestrian open space network to be integrated with and connected to the existing and planned public street and open space network.					✓	
3.1.6 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
a. Design facades to articulate the individual units while reflecting positive attributes of neighbourhood character. Strategies for achieving this include: <ul style="list-style-type: none"> • Recessing or projecting facades to highlight the identity of individual units; and • Using entrance features, roofline features, or other architectural elements. 						✓
b. To maximize integration with the existing neighbourhood, design infill townhouses to: <ul style="list-style-type: none"> • Incorporate design elements, proportions, and other characteristics found within the neighbourhood; and • Use durable, quality materials similar or complementary to those found within the neighbourhood. 					✓	
c. Maintain privacy of units on site and on adjacent properties by minimizing overlook and direct sight lines from the building using strategies such as:						✓

ATTACHMENT B

This forms part of application
DP24-0016



Planner Initials

City of Kelowna
DEVELOPMENT PLANNING

<ul style="list-style-type: none"> • Off-setting the location of windows in facing walls and locating doors and patios to minimize privacy concerns from direct sight lines; • Use of clerestory windows; • Use of landscaping or screening; and • Use of setbacks and articulation of the building. 						
<p>d. In larger townhouse developments (e.g. master planned communities with internal circulation pattern), provide modest variation between different blocks of townhouse units, such as change in colour, materiality, building, and roof form.</p>						✓

ATTACHMENT B

This forms part of application
DP24-0016

Planner
Initials

JI



City of
Kelowna
DEVELOPMENT PLANNING

CITY OF KELOWNA
BYLAW NO. 12732
Z24-0042
2160 Wilkinson Street

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 8 Section 19 Township 26 ODYD Plan 10906, located on Wilkinson Street, Kelowna, BC from the MF1 – Infill Housing zone to the MF3r – Apartment Housing Rental Only zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 13th day of January, 2025.

Approved under the Transportation Act this 28th day of January, 2025.

Damian Kusiak

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL DEVELOPMENT PERMIT



Date: February 10, 2025
To: Council
From: City Manager
Address: 2160 Wilkinson St
File No.: DP24-0150
Zone: MF3r – Apartment Housing Rental Only

1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 12732 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP24-0150 for Lot 8 Section 19 Township 26 ODYD Plan 10906, located at 2160 Wilkinson Street, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permit to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Permit for the form and character of a four-storey rental supportive housing apartment development.

3.0 Development Planning

Staff support the proposed form and character Development Permit for a rental supportive housing apartment building. The proposal conforms with a majority of the Official Community Plan (OCP) Form and Character Development Permit Design Guidelines for Low & Mid-Rise Residential Development. Key guidelines that are met include:

- Ensure main building entries are clearly visible with direct sight lines from the fronting street;
- Incorporating a range of architectural features and details into building facades to create visual interest, and breaking up the building with an integrated, consistent range of materials and colours that provide variety; and
- Design shared rooftop amenity spaces and rooftop gardens to be accessible to residents and to ensure a balance of amenity and privacy.

The building is four storeys including three floors of residential above a parkade. The development proposes a total of 29 dwelling units which includes 17 one-bedroom and 12 two-bedroom units. Vehicle access to the site in the absence of a lane will be from Wilkinson Street. The development includes 18 parking stalls located in a partially underground parkade. The parkade entrance has been setback further from Wilkinson Street than a majority of the front facade to reduce the visual impact of the parkade on the streetscape. The building is four storeys in height but will appear as three storeys from the street with the parkade being located fully below grade at the front building elevation. The parkade will be partially exposed along the side yards and fully exposed towards the rear yard. The property naturally grades downward from the front of the site adjacent to Wilkinson Street and toward the rear yard which is why the building will appear less tall adjacent to the roadway.

Each residential unit has its own private balcony. The common amenity spaces include an indoor amenity room, an outdoor amenity space located between the building and street, raised garden planter boxes, and a rooftop patio. Exterior building materials include hardie board, hardie shakes, lap siding, hardie panel, clay brick, wood and block veneer.

The proposed development will be operated by NOW Canada Society who currently manages a number of other supportive housing developments located in the City of Kelowna. This building is intended to be exclusively for female residents, some of whom will have children. Prospective tenants will undergo a thorough vetting process conducted by NOW Canada to ensure suitability and readiness for this supportive environment.

4.0 Subject Property & Background

4.1 Subject Property Map



The subject property is located mid-block on the west side of the street nearest to the intersection of Springfield Road and Wilkinson Street. The property is located adjacent to Stillingfleet Park to the south. Transit stops are located along both sides of Springfield Road and are within a 5-minute walk from the site.

5.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
Gross Lot Area	1,497 m ²
Total Number of Units	29
1-bed	17
2-bed	12

DEVELOPMENT REGULATIONS		
CRITERIA	MF _{3r} ZONE	PROPOSAL
Total Maximum Floor Area Ratio	1.3	1.18
Base FAR	1.3	
Max. Site Coverage (buildings)	65%	58%
Max. Site Coverage (buildings, parking, driveways)	85%	70%
Max. Height	4 storeys / 18.0 m	4 storeys / 13.7 m
Setbacks		
Min. Front Yard (east)	3.0 m / 6.0 m to garage	7.0 m / 12.0 m to garage
Min. Side Yard (north)	3.0 m	3.0 m
Min. Side Yard (south)	3.0 m	3.0 m
Min. Rear Yard (west)	4.5 m	4.5 m
Amenity Space		

Total Required Amenity Space	555 m²	578 m²
Common	116 m ²	381 m ²
Private		197 m ²
Landscaping		
Min. Number of Trees	5 trees	5 trees
Min. Large Trees	3 trees	3 trees

PARKING REGULATIONS		
CRITERIA	MF3r ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	17 stalls	18 stalls
Residential	14 stalls	
Visitor	3 stalls	
Bonus Bike Parking	-5 stalls	
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	77% Regular 23% Small
Bicycle Stalls Short-Term	6 stalls	6 stalls
Bicycle Stalls Long-Term	39 stalls	39 stalls
Bonus Stalls Provided for Parking Reduction	y	y
End of Trip Facilities	n	n
Bike Wash & Repair	y	y

6.o Application Chronology

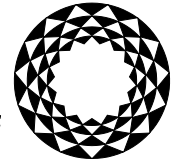
Application Accepted: August 16, 2024
 Adoption of Zone Amending Bylaw: February 10, 2025

Report prepared by: Andrew Ferguson, Planner II
Reviewed by: Adam Cseke, Central Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Sustainability & Development Services

Attachments:

- Attachment A: Draft Development Permit DP24-0150
 - Schedule A: Site Plan & Floor Plans
 - Schedule B: Elevations, Renderings & Materials
 - Schedule C: Landscape Plan
- Attachment B: OCP Form and Character Development Permit Guidelines Checklist
- Attachment C: Applicant’s Letter of Rationale

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.



Development Permit

DP24-0150

This permit relates to land in the City of Kelowna municipally known as

2160 Wilkinson St

and legally known as

Lot 8 Section 19 Township 26 ODYD Plan 10906

and permits the land to be used for the following development:

Apartment Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval: February 10, 2025

Development Permit Area: Form and Character

Existing Zone: MF3r – Apartment Housing Rental Only

Future Land Use Designation: C-NHD – Core Area Neighbourhood

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Wilkinson St Holdings Ltd., Inc. No 1321697

Applicant: Tengri Architecture Ltd – Roman Yamchshikov

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP24-0150 for Lot 8 Section 19 Township 26 ODYD Plan 10906 located at 765 Badke Rd, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$182,767.00**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
 Security shall ONLY be returned to the signatory of the
 Landscape Agreement or their designates.**

PROJECT DESCRIPTION

ADDRESS:
2160 WILKINSON STREET, KELOWNA, V1Y 3Z8, BRITISH COLUMBIA, CANADA

LEGAL ADDRESS:
Plan: KAP10906 Lot: 8

GRADES:
EXISTING: APPROX 2M DROP ACROSS PROPOSED: NO MAJOR CHANGE

NUMBER OF BUILDINGS:
1 MULTI-FAMILY BUILDING (29 UNITS)

ZONING ANALYSIS

EXISTING: MF1 - INFILL HOUSING **PROPOSED:** MF3r - APARTMENT HOUSING RENTAL ONLY

FUTURE LAND USE (2040 OCP) C-NHD

TRANSIT SUPPORTED CORRIDOR N

ADJACENT LAND USES:	ZONE	USE
NORTH	MF1	MAX 2 DWELLINGS
SOUTH	MF1, P3	MAX 2 DWELLINGS; PUBL.PARK
EAST	STREET, MF1	MAX 2 DWELLINGS
WEST	MF1	MAX 2 DWELLINGS

MF3r ZONING REQUIREMENTS

REQUIRED:	PROPOSED:
SITE AREA (m²)	1497 m²
MAXIMUM SITE COVERAGE OF BUILDINGS (%) 65%	58%
MAXIMUM SITE COVERAGE OF BUILDINGS & IMPERM.SURF (%) 85%	70%
MAXIMUM SITE COVERAGE OF IMPERMEABLE SURFACES (%) 20%	11%
VEHICULAR ACCESS FROM LANE OR LOWER CLASSED ROAD Y	N
MINIMUM DENSITY (TRANSIT CORRIDOR ONLY) N/A	N/A

DEVELOPMENT REQUIREMENTS

REQUIRED:	PROPOSED:
TOTAL NUMBER & TYPES OF UNITS: N/A	29 UNITS
FLOOR AREA RATIO:	
BASE	1.3
STREETScape BONUS	N/A
RENT/AFFORD BONUS	0.3
UNDERGROUND PARKING	0.25
BUILDING HEIGHT (m):	
MF3r ZONE	18m (4 STOREYS)
MAX. ST-SCAPE BONUS	N/A
MAX. CONTINUOUS FRONTAGE:	
	100m
SETBACKS (m):	
FRONT (EAST)	3.0m (6.0m TO GARAGE DOOR)
SIDE A (NORTH)	3.0m
SIDE B (SOUTH)	3.0m
BACK (WEST)	4.5m
REAR SETBACK TO ACCESSORY BUILDINGS	1.5m
AMENITY SPACE (m²):	
COMMON AREA	(4.0m² x 29) = 116.0m²
PRIVATE AREA	N/A
PER UNIT BREAKDOWN:	
1-BED (QTY)	17 x 15m²
2-BED (QTY)	12 x 25m²
TOTAL:	555m²
PARKING STALLS: BASED ON "SUPPORTIVE HOUSING" PROGRAM	
PER SLEEPING UNIT	0.35 x 41 = 14.35
STAFF	3
VISITOR PER UNIT	0.14 x 29 = 4.06
ACCESSIBLE	1
VAN ACCESSIBLE	N/R
TOTAL	18
RENTAL REDUCTION SHARE REDUCTION	N/A
BIKE BONUS REDUCTION	N/A
TOTAL (INC. REDUCTIONS)	17
EV-READY	7
DRIVE AISLE (WIDTH)	6.5m
DRIVE AISLE GRADE	4%
REGULAR STALL RATIO	50%
SMALL STALL RATIO	50%
LOADING	N/R
BIKE STALLS (PER DWELLING UNIT):	
SHORT TERM - 0.5	6
LONG TERM - 1.5	39
TOTAL	45
END OF TRIP FACILITY	N
WASH & REPAIR STATION	Y

BUILDING INFORMATION:

BUILDING AREA:
840.8 m²

Gross Floor Areas:

GROSS BUILDABLE AREA		
Name	Area SF	Area m2
L1 GROSS AREA	8001 SF	743.4 m²
L2 GROSS AREA	8613 SF	800.1 m²
L3 GROSS AREA	8511 SF	790.7 m²
PARKADE GROSS AREA	8218 SF	763.5 m²
ROOF ELEVATOR	216 SF	20.1 m²
ROOF STAIR	381 SF	35.4 m²
	33940 SF	3153.2 m²

UNIT TYPES & COUNT			
Name	Count	Area SF	Area m2
1 BR	16	533.69 SF ... 559.69 SF	533.69 SF ... 559.69 SF
1 BR ACCESS	1	549.81 SF	549.81 SF
2 BR	6	729.98 SF ... 747.33 SF	729.98 SF ... 747.33 SF
2 BR + D	5	840.08 SF ... 847.04 SF	840.08 SF ... 847.04 SF
2 BR + D ACCESS	1	846.07 SF	846.07 SF
29			

PRIVATE OPEN SPACE PROVIDED			
Name	Count	Area SF	Area m2
AMENITY ROOM	1	670 SF	62.2 m²
BALCONY	29	2121 SF	197 m²
FRONT LANDSCAPED PUBLIC AREA	1	411 SF	38.2 m²
REAR LANDSCAPED PUBLIC AREA	1	1280 SF	118.9 m²
ROOFTOP PATIO	1	1862 SF	173 m²
		6343 SF	589.3 m²



LAND USE CONTEXT PLAN



AERIAL VIEW OF THE PROPERTY - LOOKING SOUTH



GOOGLE STREET VIEW #1 - FROM WILKINSON ST LOOKING WEST



GOOGLE STREET VIEW #2 - FROM WILKINSON ST LOOKING SOUTH-WEST



GOOGLE STREET VIEW #3 - FROM WILKINSON ST LOOKING NORTH-WEST

SCHEDULE A

This forms part of application # DP24-0150

Planner Initials: AF City of Kelowna COMMUNITY PLANNING

5	2024-12-19	RE-ISSUED FOR DP
3	2024-11-12	RE-ISSUED FOR DP
2	2024-10-03	RE-ISSUED FOR DP
1	2024-09-01	ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	BY DESCRIPTION
		REVISIONS + ISSUE

SEAL



ISSUED FOR DEVELOPMENT PERMIT

PROJECT

NOW CANADA

2160 WILKINSON ST., KELOWNA, BC

SHEET TITLE

ZONING & BYLAW ANALYSIS

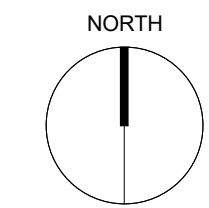
A1.01D

DESIGNED: Designer DRAWN: Author

SCALE: 1:10 FILE: TA24-24

DESIGN + DEVELOPMENT CONSULTING

TENGRİ ARCHITECTURE



18 PLAN 33903
SITE CONTEXT

19 ADJACENT PROPERTY
PLAN 33903

20 ADJACENT PROPERTY
PLAN 33903

1 PLAN KAP44182

A PLAN 35197

SCHEDULE A
This forms part of application # DP24-0150
City of Kelowna
Planner Initials: AF

3	2024-11-12	RE-ISSUED FOR DP
2	2024-10-03	RE-ISSUED FOR DP
1	2024-08-01	ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	BY	DESCRIPTION
			REVISIONS + ISSUE



ISSUED FOR DEVELOPMENT PERMIT

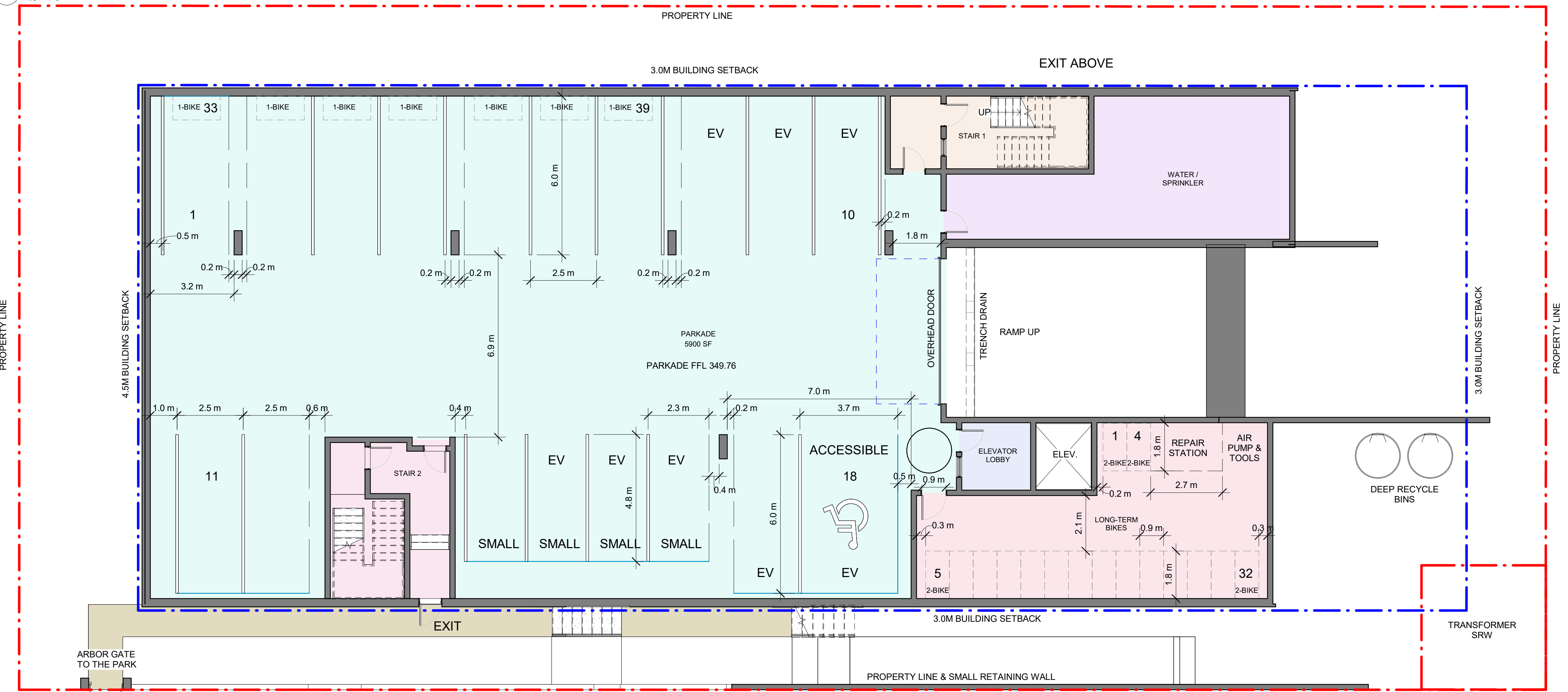
PROJECT
NOW CANADA
2160 WILKINSON ST., KELOWNA, BC
SHEET TITLE
SITE PLAN

A2.01D

DESIGNED: Designer DRAWN: Author
SCALE: As indicated FILE: TA24-24



2 LEVEL 1
1/8" = 1'-0"

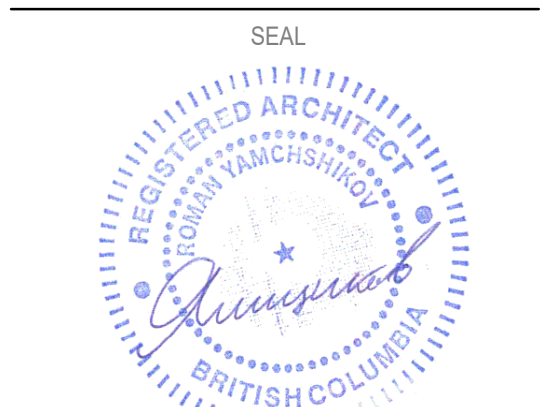


1 PARKADE
1/8" = 1'-0"

THIS DRAWING MUST NOT BE SCALED • VERIFY ALL DIMENSIONS AND DATAS PRIOR TO COMMENCEMENT OF WORK • REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT • VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT • THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT • ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT • REPORT ANY ALL CONFLICTING INSTRUCTIONS TO THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION

SCHEDULE A			
This forms part of application # DP24-0150			
Planner	Initials	City of Kelowna COMMUNITY PLANNING	
8	2024-12-19	RE-ISSUED FOR DP	
4	2024-12-05	RE-ISSUED FOR DP	
3	2024-11-12	RE-ISSUED FOR DP	
2	2024-10-03	RE-ISSUED FOR DP	
1	2024-09-01	ISSUED FOR DEVELOPMENT PERMIT	

NO.	DATE	BY	DESCRIPTION
			REVISIONS + ISSUE



ISSUED FOR DEVELOPMENT PERMIT

PROJECT

NOW CANADA

2160 WILKINSON ST., KELLOWNA, BC

SHEET TITLE

LEVEL 1 & PARKADE FLOOR PLANS

A3.01D

DESIGNED: Designer DRAWN: Author
SCALE: 1/8" = 1'-0" FILE: TA24-24



SCHEDULE A
This forms part of application # DP24-0150
City of Kelowna
COMMUNITY PLANNING

3	2024-11-12	RE-ISSUED FOR DP
2	2024-10-03	RE-ISSUED FOR DP
1	2024-09-01	ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	BY	DESCRIPTION
			REVISIONS + ISSUE



ISSUED FOR DEVELOPMENT PERMIT

PROJECT

NOW CANADA

2160 WILKINSON ST., KELOWNA, BC

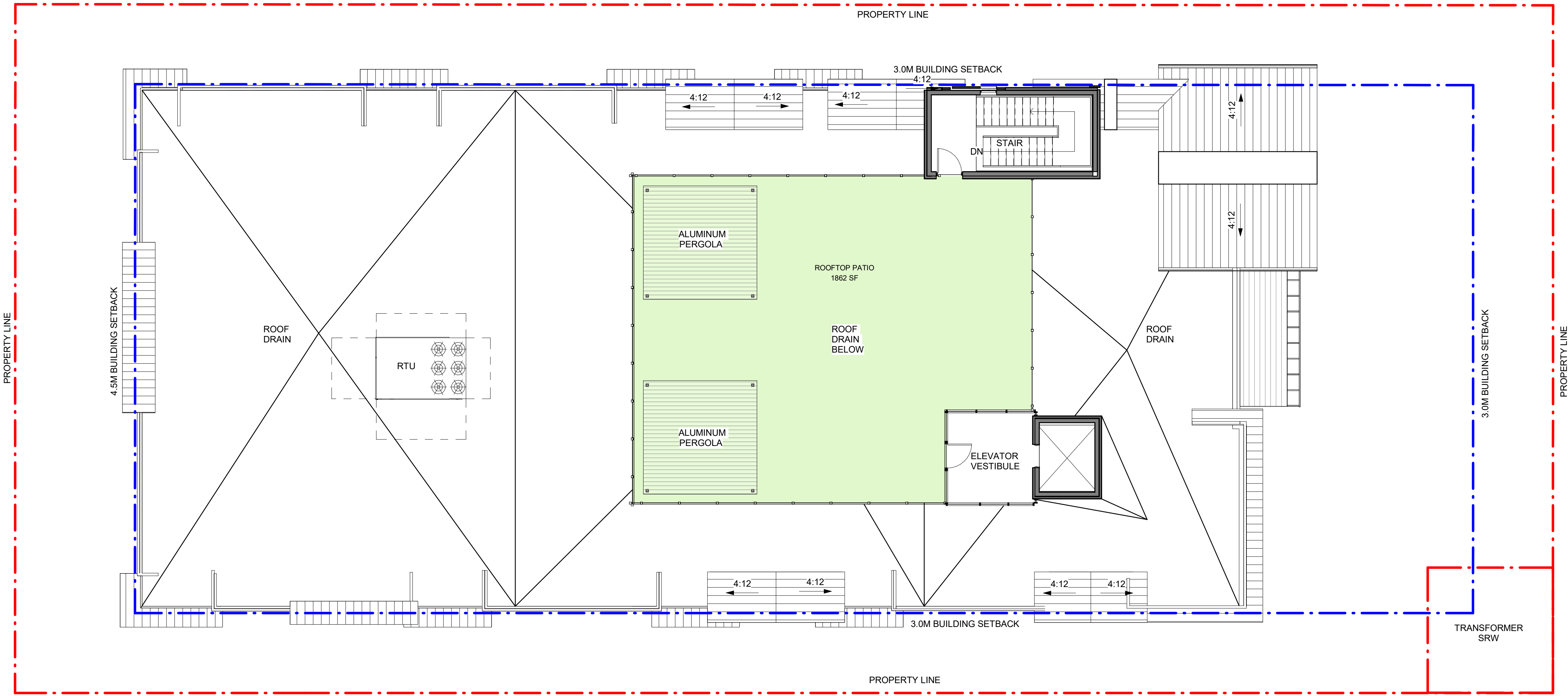
SHEET TITLE

LEVELS 2 & 3 FLOOR PLANS

A3.03D

DESIGNED: Designer DRAWN: Author
SCALE: 1/8" = 1'-0" FILE: TA24-24

TENGRİ ARCHITECTURE DESIGN + DEVELOPMENT CONSULTING



1 ROOF PLAN
1/8" = 1'-0"

Rentable Area Legend

ROOFTOP PATIO

SCHEDULE A
This forms part of application
DP24-0150
City of Kelowna
COMMUNITY PLANNING
Planner Initials: AF

3	2024-11-12	RE-ISSUED FOR DP
2	2024-10-03	RE-ISSUED FOR DP
1	2024-08-01	ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	BY	DESCRIPTION
REVISIONS + ISSUE			



ISSUED FOR DEVELOPMENT PERMIT

PROJECT

NOW CANADA

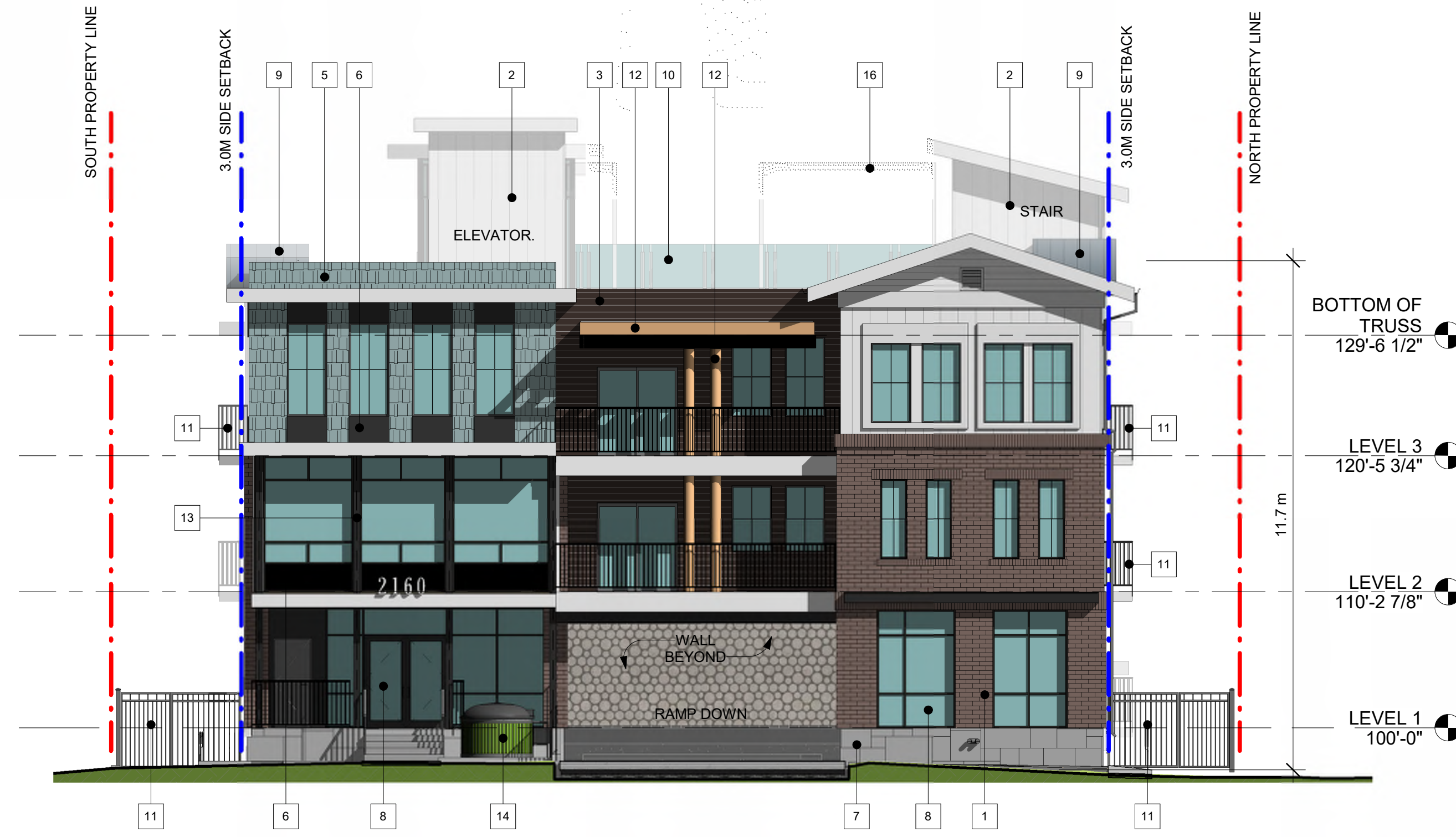
2160 WILKINSON ST., KELOWNA, BC

SHEET TITLE

ROOF PLAN

A3.04D

DESIGNED: Designer DRAWN: Author
SCALE: 1/8" = 1'-0" FILE: TA24-24



MATERIAL LEGEND

1. FACE BRICK, GENERIC TERRACOTA
2. BOARD & BATTEN, WHITE
3. BOARD & BATTEN, BROWN
4. LAP SIDING, DARK BROWN
5. SHAKE SIDING, OFF-BLUE
6. PLAIN CEMENTITIOUS PANEL, GRAPHITE COLOR
7. IMITATED ASHLAR BLOCK, GREY
8. ALUMINUM STOREFRONT, DARK BROWN FRAME, CLEAR GLASS
9. STANDING SEAM ROOF, GREY CHARCOAL
10. GLASS RAILING
11. PICKET RAILING, BLACK
12. TIMBER STRUCTURE, TRANSPARENT STAIN
13. STEEL STRUCTURE, BLACK
14. RECYCLE BINS, MOLOK OR EARTH BINS
15. EXTERIOR TILE, ORIENTAL ORNAMENTAL SERIES
16. PRE-FABRICATED SUNSHADE

1 MAIN ELEVATION (EAST)
1/8" = 1'-0"



2 SIDE ELEVATION (NORTH)
1/8" = 1'-0"

SCHEDULE B
This forms part of application # DP24-0150
City of Kelowna
Planner Initials: AF

NO.	DATE	DESCRIPTION
3	2024-11-12	RE-ISSUED FOR DP
2	2024-10-03	RE-ISSUED FOR DP
1	2024-09-01	ISSUED FOR DEVELOPMENT PERMIT

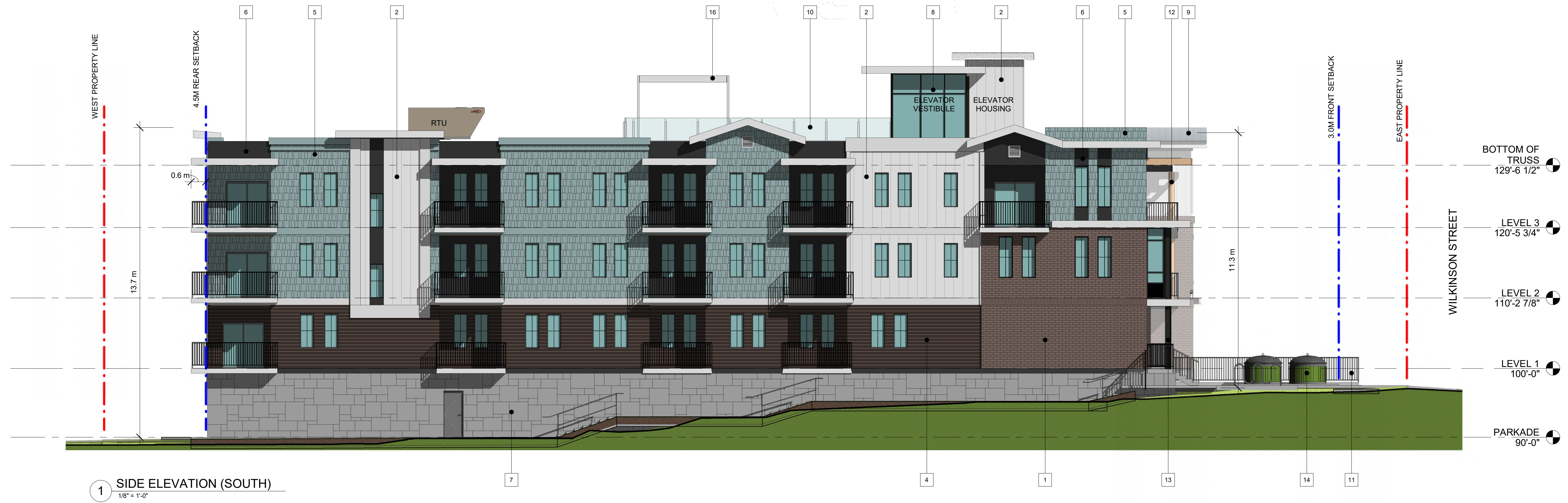
NO.	DATE	BY	DESCRIPTION
			REVISIONS + ISSUE



ISSUED FOR DEVELOPMENT PERMIT

PROJECT
NOW CANADA
2160 WILKINSON ST., KELOWNA, BC
SHEET TITLE
BUILDING ELEVATIONS

A4.01D
DESIGNED: Designer DRAWN: Author
SCALE: As indicated FILE: TA24-24



1 SIDE ELEVATION (SOUTH)
1/8" = 1'-0"



2 REAR ELEVATION (WEST)
1/8" = 1'-0"

MATERIAL LEGEND

1. FACE BRICK, GENERIC TERRACOTA
2. BOARD & BATTEN, WHITE
3. BOARD & BATTEN, BROWN
4. LAP SIDING, DARK BROWN
5. SHAKE SIDING, OFF-BLUE
6. PLAIN CEMENTITIOUS PANEL, GRAPHITE COLOR
7. IMITATED ASHLAR BLOCK, GREY
8. ALUMINUM STOREFRONT, DARK BROWN FRAME, CLEAR GLASS
9. STANDING SEAM ROOF, GREY CHARCOAL
10. GLASS RAILING
11. PICKET RAILING, BLACK
12. TIMBER STRUCTURE, TRANSPARENT STAIN
13. STEEL STRUCTURE, BLACK
14. RECYCLE BINS, MOLOK OR EARTH BINS
15. EXTERIOR TILE, ORIENTAL ORNAMENTAL SERIES
16. PRE-FABRICATED SUNSHADE

SCHEDULE B
This forms part of application # DP24-0150
City of Kelowna
COMMUNITY PLANNING

3	2024-11-12	RE-ISSUED FOR DP
2	2024-10-03	RE-ISSUED FOR DP
1	2024-09-01	ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	BY	DESCRIPTION
REVISIONS + ISSUE			



ISSUED FOR DEVELOPMENT PERMIT

PROJECT
NOW CANADA
2160 WILKINSON ST., KELOWNA, BC
SHEET TITLE
BUILDING ELEVATIONS

A4.02D
DESIGNED: Designer DRAWN: Author
SCALE: As indicated FILE: TA24-24

TENGR ARCHITECTURE DESIGN | DEVELOPMENT CONSULTING



STREET PERSPECTIVE VIEW 01

RENDERING FOR ILLUSTRATIVE PURPOSES ONLY



STREET PERSPECTIVE VIEW 02

RENDERING FOR ILLUSTRATIVE PURPOSES ONLY



AERIAL VIEW OF FRONT YARD

RENDERING FOR ILLUSTRATIVE PURPOSES ONLY



BIRD-EYE VIEW FROM SOUTH-EAST SHOWING ROOF TOP AMENITY

RENDERING FOR ILLUSTRATIVE PURPOSES ONLY

SCHEDULE B
This forms part of application
DP24-0150
City of Kelowna
COMMUNITY PLANNING
Planner Initials: AF

3	2024-11-12	RE-ISSUED FOR DP
2	2024-10-03	RE-ISSUED FOR DP
1	2024-08-01	ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	BY	DESCRIPTION
			REVISIONS + ISSUE



ISSUED FOR DEVELOPMENT PERMIT

PROJECT
NOW CANADA
2160 WILKINSON ST., KELOWNA, BC
SHEET TITLE
RENDERINGS
A1.03D

DESIGNED: Designer DRAWN: Author
SCALE: 1 : 10 FILE: TA24-24



VIEW OF FRONTYARD LOOKING SOUTH

RENDERING FOR ILLUSTRATIVE PURPOSES ONLY



NIGHT TIME PERSPECTIVE

RENDERING FOR ILLUSTRATIVE PURPOSES ONLY



AERIAL CONTEXT VIEW FEATURING PARK

RENDERING FOR ILLUSTRATIVE PURPOSES ONLY



AERIAL CONTEXT VIEW FEATURING PARK

RENDERING FOR ILLUSTRATIVE PURPOSES ONLY

SCHEDULE B
This forms part of application # DP24-0150
City of Kelowna COMMUNITY PLANNING
Planner Initials AF

NO.	DATE	DESCRIPTION
4	2024-12-05	RE-ISSUED FOR DP
3	2024-11-12	RE-ISSUED FOR DP
2	2024-10-03	RE-ISSUED FOR DP
1	2024-09-01	ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	DESCRIPTION
		REVISIONS + ISSUE



ISSUED FOR DEVELOPMENT PERMIT

PROJECT

NOW CANADA

2160 WILKINSON ST., KELOWNA, BC

SHEET TITLE

RENDERINGS

A1.04D

DESIGNED: Designer DRAWN: Author
SCALE: 1 : 10 FILE: TA24-24

MANUFACTURER: JAMES HARDIE
 PRODUCT: BOARD & BATTEN
 COLOUR & CODE: WHITE
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER:
 PRODUCT: HARDIE SHAKE
 COLOUR & CODE: BLUE GREY
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER: JAMES HARDIE
 PRODUCT: HARDIE LAP SIDING
 COLOUR & CODE: DARK BROWN
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER: JAMES HARDIE
 PRODUCT: HARDIE PANEL
 COLOUR & CODE: DARK BROWN
 I.D NUMBER:



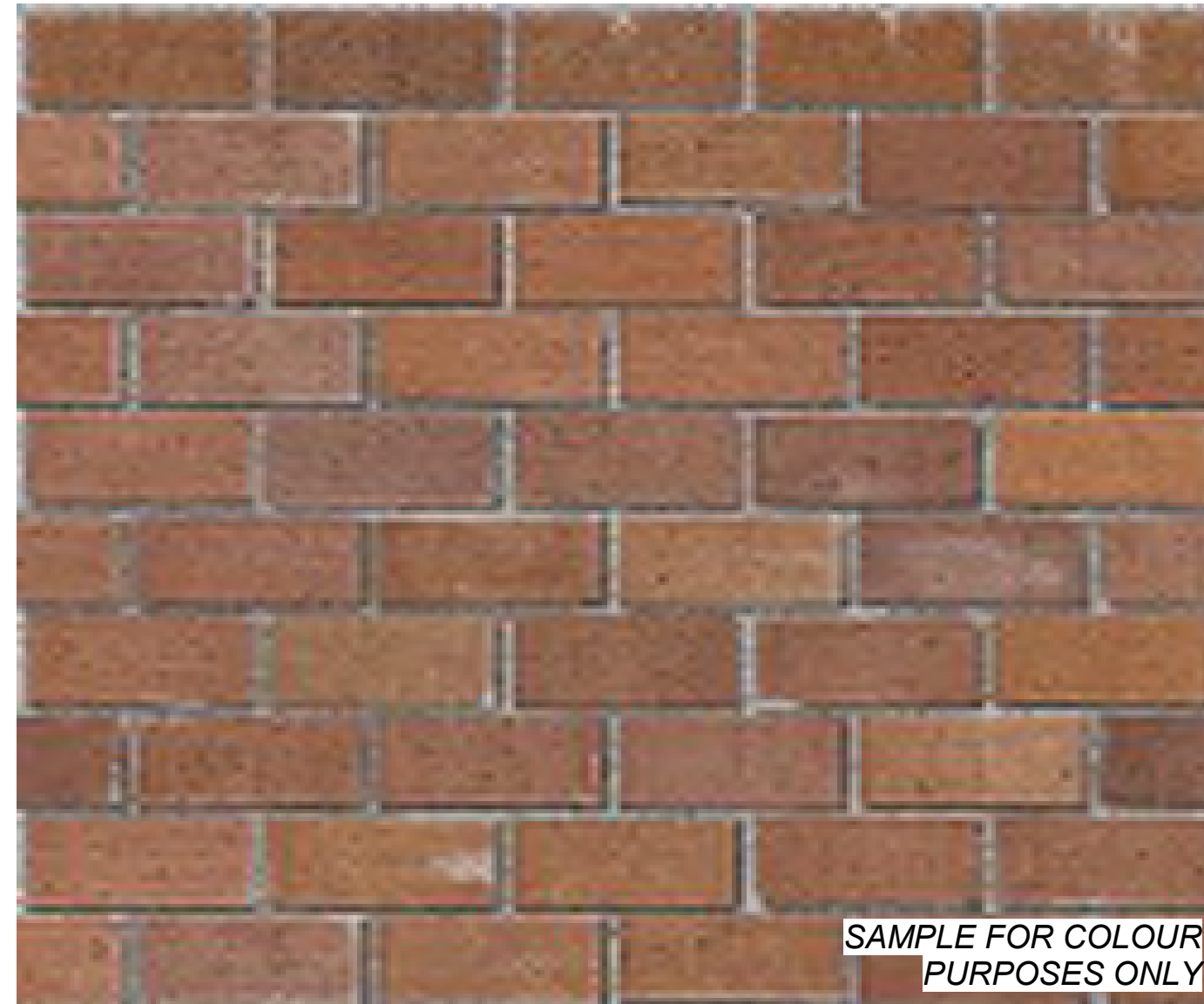
SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER:
 PRODUCT: IMITATED ASHLAR BLOCK
 COLOUR & CODE: GREY
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER:
 PRODUCT: GENERA CLAY BRICK
 COLOUR & CODE: TERRACOTA
 I.D NUMBER:



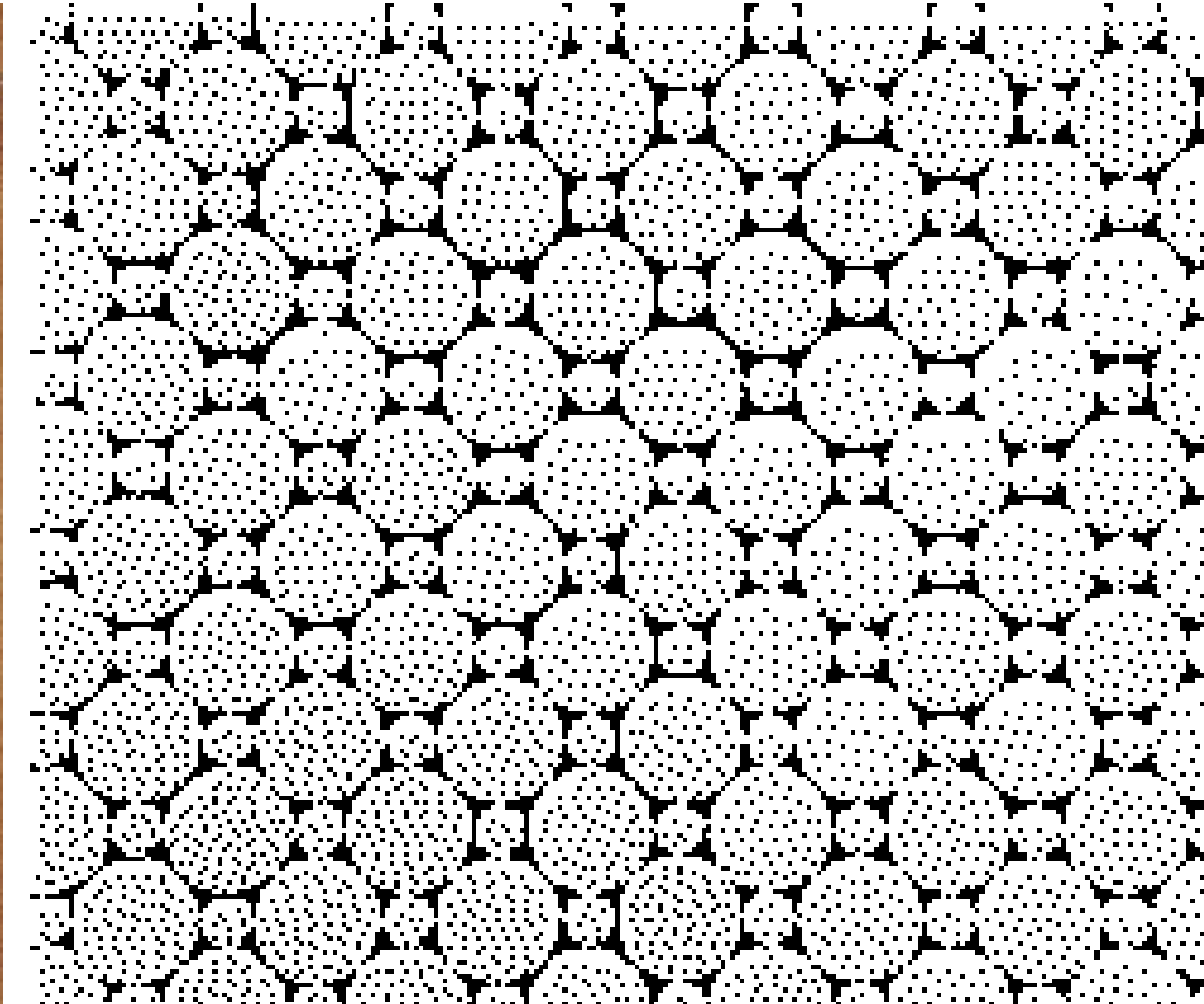
SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER:
 PRODUCT: EXPOSED WOOD STAIN
 COLOUR & CODE: CEDAR
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER:
 PRODUCT: ORNAMENTAL EXTERIOR TILE
 COLOUR & CODE: ORIENTAL SERIES
 I.D NUMBER:



MANUFACTURER:
 PRODUCT: ROOFING: WESTMAN STEEL
 COLOUR & CODE: CHARCOAL
 I.D NUMBER:



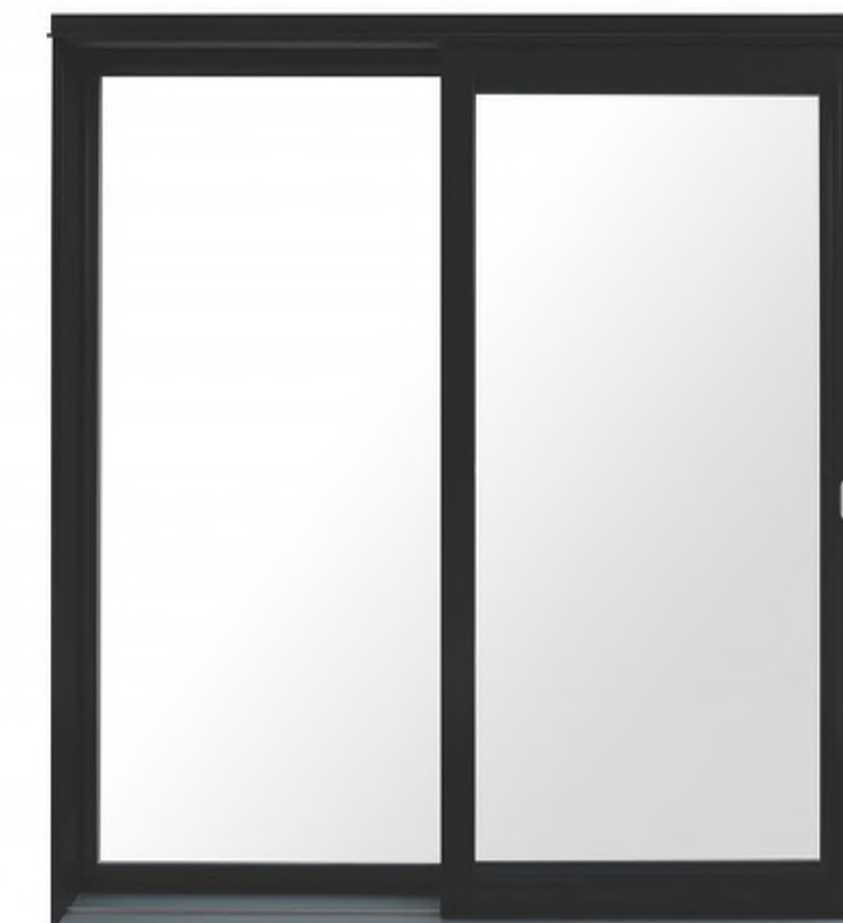
SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER:
 PRODUCT: ALUMINUM PICKET RAILING
 COLOUR & CODE: BLACK
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

MANUFACTURER:
 PRODUCT: WINDOWS, DOOR, STOREFRON FRAMES
 COLOUR & CODE: DARK BROWN
 I.D NUMBER:



SAMPLE FOR COLOUR
PURPOSES ONLY

SCHEDULE B

This forms part of application
 # DP24-0150

Planner
 Initials: AF



3	2024-11-12	RE-ISSUED FOR DP
2	2024-10-03	RE-ISSUED FOR DP
1	2024-09-01	ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	BY	DESCRIPTION
REVISIONS + ISSUE			

SEAL



ISSUED FOR
 DEVELOPMENT
 PERMIT

PROJECT

NOW CANADA

2160 WILKINSON ST., KELOWNA, BC

SHEET TITLE

MATERIALS

A4.00D

DESIGNED: Designer DRAWN: Author
 SCALE: 1 : 10 FILE: TA24-24

DESIGN | DEVELOPMENT CONSULTING

TENGRİ ARCHITECTURE

COPYRIGHTS:
Copyright Reserved. This drawing is the property of CTO Consultants Limited and shall not be reproduced, resold, or tendered without permission.

- NOTES:**
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS SHALL CONFORM WITH CITY OF KELOWNA BYLAW 7900.
 2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm DEPTH WELL COMPOSTED WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH GROWING MEDIUM PLACEMENT. TREES TO RECEIVE A MINIMUM 1.0M DEPTH GROWING MEDIUM PLACEMENT. ALL TREES WITHIN THE LANDSCAPE BUFFER SHALL CONFORM WITH CITY OF KELOWNA LANDSCAPE BYLAW TABLE 7.2 REQUIREMENTS.
 5. TURF AREA FROM SOD SHALL BE NO.1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
 6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

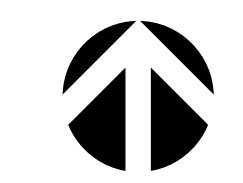
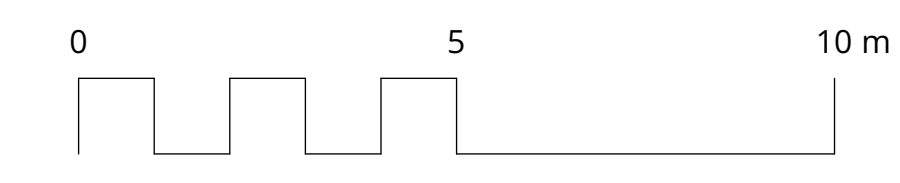
SCHEDULE C
This forms part of application
DP24-0150
Planner Initials: AF
City of Kelowna
COMMUNITY PLANNING



- LEGEND**
- PROPOSED TREES
 - CRUSHER FINES
 - PAVERS
 - WOOD MULCH
 - TURF
 - SHRUB/PERENNIAL/ORNAMENTAL GRASS PLANTING
 - SOIL CELLS



QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
Trees				
2	<i>Acer rubrum 'Armstrong'</i>	Armstrong Red Maple	6cm Cal	B & B
14	<i>Liquidambar styraciflua 'Slender Silhouette'</i>	Slender Silhouette Sweetgum	6cm Cal	B & B
3	<i>Tilia cordata</i>	Littleleaf Linden	6cm Cal	B & B
Shrubs, Perennials, & Grasses				
	<i>Achillea millefolium</i>	Common Yarrow	#01	Potted
	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	#01	Potted
	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Feather Reed Grass	#01	Potted
	<i>Cornus stolonifera</i>	Red Osier Dogwood	#02	Potted
	<i>Hemerocallis 'Ruby Stella'</i>	Ruby Stella Day Lily	#01	Potted
	<i>Miscanthus sinensis 'Morning Light'</i>	Variigated Maiden Grass	#01	Potted
	<i>Philadelphus lewisii 'blizzard'</i>	Blizzard Mockorange	#02	Potted
	<i>Rhus aromatica 'Grow-Low'</i>	Fragrant Sumac	#02	Potted
	<i>Rosa woodsii</i>	Wood's Rose	#02	Potted
	<i>Spiraea japonica 'Anthony Waterer'</i>	Japanese Spirea	#02	Potted
	<i>Taxus x media hicksii</i>	Hick's Yew	#02	Potted



ISSUE	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2024-08-06

CLIENT NAME:
ALIGNED PROPERTIES INC.

PROJECT NAME:
2160 WILKINSON ST - MULTI-FAMILY DEVELOPMENT

DRAWING TITLE:
CONCEPTUAL LANDSCAPE PLAN - ON SITE

DRAWN:	TC	DRAWING NO.:	LDP1
CHECKED:	DJ		
PROJECT NO.:	24075-100		
SCALE:	1:100		

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.	✓					
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.					✓	
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						✓
f. Avoid blank, windowless walls along streets or other public open spaces.						✓
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	✓					
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. <ul style="list-style-type: none"> Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets); The street wall does not include upper storeys that are setback from the primary frontage; and A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys. 						✓
2.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.					✓	
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.						✓
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and 	✓					



<ul style="list-style-type: none"> Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice. 						
2.1.3 Site Planning	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						✓
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						✓
c. Limit the maximum grades on development sites to 30% (3:1)						✓
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; Incorporating terracing to create usable open spaces around the building Using the slope for under-building parking and to screen service and utility areas; Design buildings to access key views; and Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped). 						✓
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						✓
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	✓					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						✓
2.1.4 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						✓
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						✓
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> Underground (where the high water table allows) 						✓



<ul style="list-style-type: none"> • Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage); • Garages or at-grade parking integrated into the building (located at the rear of the building); and • Surface parking at the rear, with access from the lane or secondary street wherever possible. 						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.						✓
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> • Landscaping; • Trellises; • Grillwork with climbing vines; or • Other attractive screening with some visual permeability. 	✓					
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> • Covered short-term parking in highly visible locations, such as near primary building entrances; and • Secure long-term parking within the building or vehicular parking area. 						✓
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						✓
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.						✓
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.						✓
2.1.5 Streetscapes, Landscapes, and Public Realm Design	N/A	1	2	3	4	5
a. Site buildings to protect mature trees, significant vegetation, and ecological features.	✓					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						✓
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						✓
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> • Locating outdoor spaces where they will receive ample sunlight throughout the year; • Using materials and colors that minimize heat absorption; • Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and • Using building mass, trees and planting to buffer wind. 						✓



f. Use landscaping materials that soften development and enhance the public realm.						✓
g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.						✓
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.						✓
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> • Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and • Using recycled water irrigation systems. 	✓					
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	✓					
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.	✓					
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> • Minimizing light trespass onto adjacent properties; • Using full cut-off lighting fixtures to minimize light pollution; and • Maintaining lighting levels necessary for safety and visibility. 	✓					
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.						✓
2.1.6 Building Articulation, Features and Materials	N/A	1	2	3	4	5
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> • Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; • Repeating window patterns on each step-back and extension interval; • Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval. 						✓
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs.						✓



Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters; ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.					✓	
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.						✓
f. Provide weather protection such as awnings and canopies at primary building entries.						✓
g. Place weather protection to reflect the building's architecture.						✓
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						✓
i. Provide visible signage identifying building addresses at all entrances.						✓

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
4.1 Low & mid-rise residential & mixed use guidelines						
4.1.1 Relationship to the Street	N/A	1	2	3	4	5
i. Ensure lobbies and main building entries are clearly visible from the fronting street.						✓
j. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> • Locating enclosed parking garages away from street frontages or public open spaces; • Using ground-oriented units or glazing to avoid creating dead frontages; and • When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting. 						✓
Residential & Mixed Use Buildings						
k. Set back residential buildings on the ground floor between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio. <ul style="list-style-type: none"> • A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways. 					✓	



<ul style="list-style-type: none"> • Exceptions can be made in cases where the water table requires this to be higher. In these cases, provide a larger patio and screen parking with ramps, stairs and landscaping. 						
l. Incorporate individual entrances to ground floor units accessible from the fronting street or public open spaces.	✓					
m. Site and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						✓
4.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.						✓
b. Residential buildings should have a maximum width of 24 m.						✓
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.	✓					
4.1.3 Site Planning	N/A	1	2	3	4	5
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.	✓					
b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> • Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and • Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access. 						✓
c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.	✓					
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	✓					
4.1.4 Site Servicing, Access and Parking	N/A	1	2	3	4	5
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimised; and • There is no more than one curb cut per property. 						✓
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.						✓
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations:	✓					



<ul style="list-style-type: none"> Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized. 						
4.1.5 Publicly-Accessible and Private Open Spaces	N/A	1	2	3	4	5
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	✓					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.	✓					
Rooftop Amenity Spaces						
c. Design shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) to be accessible to residents and to ensure a balance of amenity and privacy by: <ul style="list-style-type: none"> Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units by using fencing, landscaping, or architectural screening. 						✓
d. Reduce the heat island affect by including plants or designing a green roof, with the following considerations: <ul style="list-style-type: none"> Secure trees and tall shrubs to the roof deck; and Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated. 				✓		
4.1.6 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: <ul style="list-style-type: none"> Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade; Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade; Providing a porch, patio, deck, or covered entry for each interval; Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; Changing the materials with the change in building plane; and 						✓



<ul style="list-style-type: none"> • Provide a lighting fixture, trellis, tree or other landscape feature within each interval. 						
b. Break up the building mass by incorporating elements that define a building’s base, middle and top.						✓
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.						✓
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						✓
e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.	✓					
f. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						✓
g. Place and locate awnings and canopies to reflect the building’s architecture and fenestration pattern.						✓
h. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.						✓
i. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓					

PROJECT RATIONALE

For Re-Zoning and Development Permit Application

ATTACHMENT C	
This forms part of application # DP24-0150	
Planner Initials	AF
	



Attention: Planning Department, City of Kelowna

Subject property: 2160 Wilkinson Street, Kelowna

Dear Planning Department,

We are writing to provide the rationale for the Rezoning and Development Permit application for a proposed purpose-built Supportive Housing apartment building, designed for the NOW Canada Society.

PROJECT DESCRIPTION:

This purpose-built supportive housing rental building aims to address the critical need for supportive housing for women and their children in our community. The project will offer 29 units, comprising a mix of one- and two-bedroom suites, catering to the diverse needs of the residents.

This development not only addresses the immediate housing needs but also promotes a safer, more supportive community environment. We believe that this project will be a valuable addition to the neighborhood, fostering a sense of stability and community for vulnerable women and their children.

- *Exclusively Female Residents:* The building will be dedicated to women, some of whom will have children. Prospective tenants will undergo a thorough vetting process conducted by NOW Canada to ensure suitability and readiness for this supportive environment.
- *Proven Track Record:* NOW Canada operates similar successful housing projects at several addresses in Kelowna. These projects have demonstrated the positive impact of supportive housing on the community and the lives of the residents.
- *Indoor Amenity and Support Office:* The building will include an indoor amenity space and a support office to provide residents with the necessary resources and assistance to thrive.
- Letter explaining NOW Canada’s operation is appended to this application.
- *No-variance application:* At the time of the application, no Zoning variances have been identified.
- Proposal is generally compliant with the best practices and policies for site and building designs, per 2040 OCP guidelines.



Artistic rendering gallery

ZONING AND LAND USE:



Context map



The subject site is currently zoned as MF1 (Infill Housing), with the future land use designation as C-NHD (Core Area Neighborhood). The proposal is to rezone the site to MF3r (Apartment Housing, Rentals only) to accommodate this development.

Future Land Use Map

TRANSPORTATION:

Accessibility to Public Transport: The location is conveniently one block away (140m) from the Springfield bus stops, ensuring easy access to public transportation for the residents.

The development features secured underground parkade. It also offers ample secured bicycle parking storage underground.

FORM AND CHARACTER:

The building's design draws inspiration from Kelowna's early 1900s architecture, incorporating contemporary materials to harmoniously blend with the surrounding residential neighborhood.

- Each façade is articulated using classic elements, giving the building the appearance of an urban village. The architectural design's horizontal and vertical breakdowns bring it to a human scale.
- The building is set further back from the street than required by the by-law, creating a comfortable feel through the increased landscaped front yard.
- The proposed development is a four-story building, with a three-story prominence above the sidewalk at the street frontage, due to the sloping terrain.

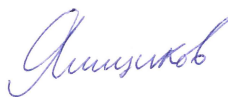
OTHER FEATURES AND BENEFITS:

Proximity to Stillingfleet Park: The property is adjacent to Stillingfleet Park, providing an ideal outdoor space for young mothers with small children. The increased presence of residents will enhance the safety and vibrancy of the park.

Thank you for considering this proposal,

Sincerely,

Roman Yamchshikov, Architect AIBC



August 01, 2024



City of
Kelowna



DP24-0150
2160 Wilkinson St

Development Permit

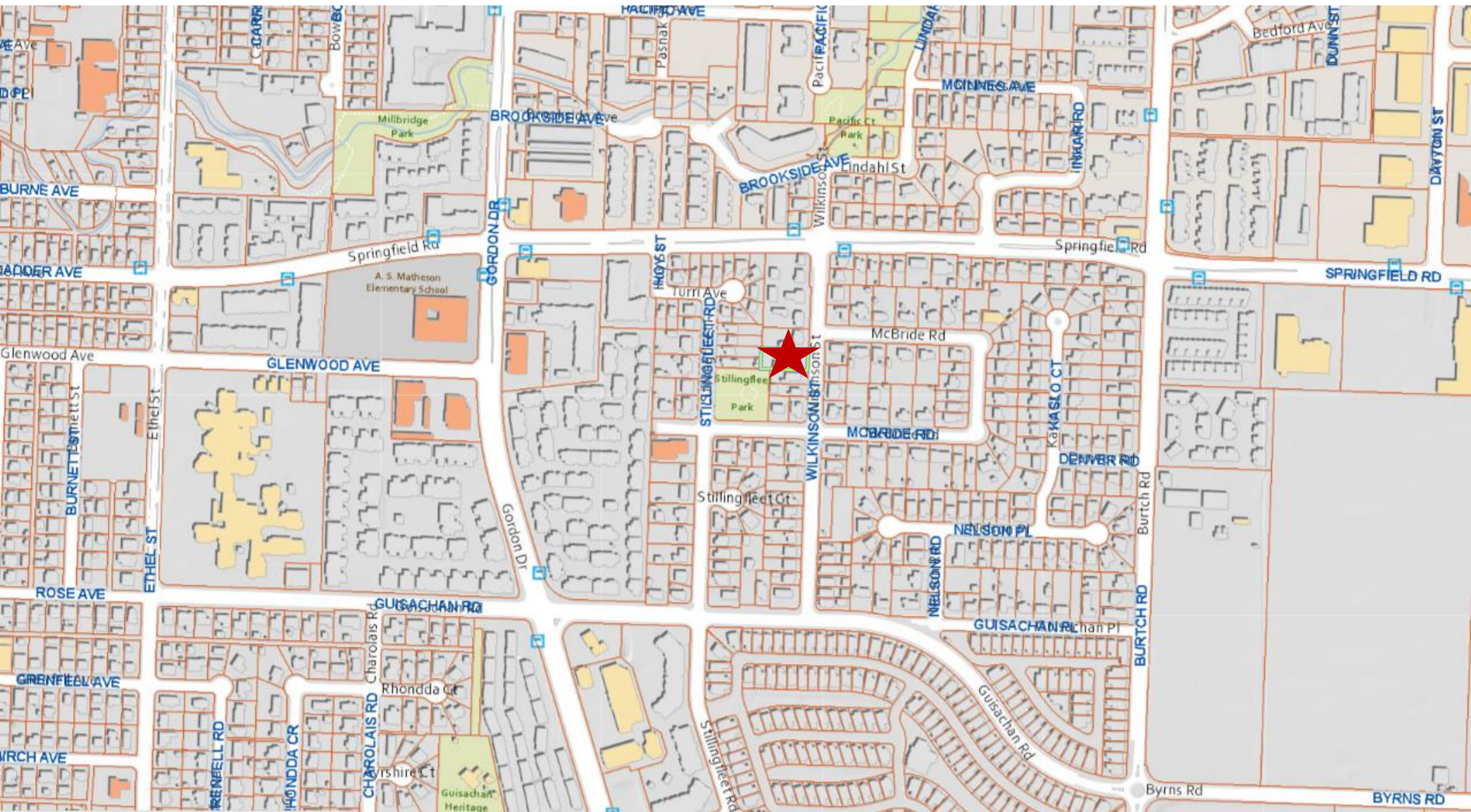
Purpose

- ▶ To issue a Development Permit for the form and character of a four-storey rental supportive housing apartment development.

Development Process



Context Map



Subject Property Map



Site Photos



Technical Details

- ▶ MF3r – Apartment Housing Rental Only
 - ▶ 29 units
 - ▶ 17 One-bedroom
 - ▶ 12 Two-bedroom
 - ▶ 6 storeys in height
 - ▶ 18 Parking Stalls
 - ▶ 45 Bicycle Parking Stalls
 - ▶ 39 long-term stalls
 - ▶ 6 short term stalls
 - ▶ 3 Large Trees

Site Plan



Wilkinson St

Elevation – East



Elevation – North



Wilkinson St

EAST PROPERTY LINE

3.0M FRONT SETBACK

11.6m

STAIR

RTU

4.0M REAR SETBACK

0.6m

11

13.7m

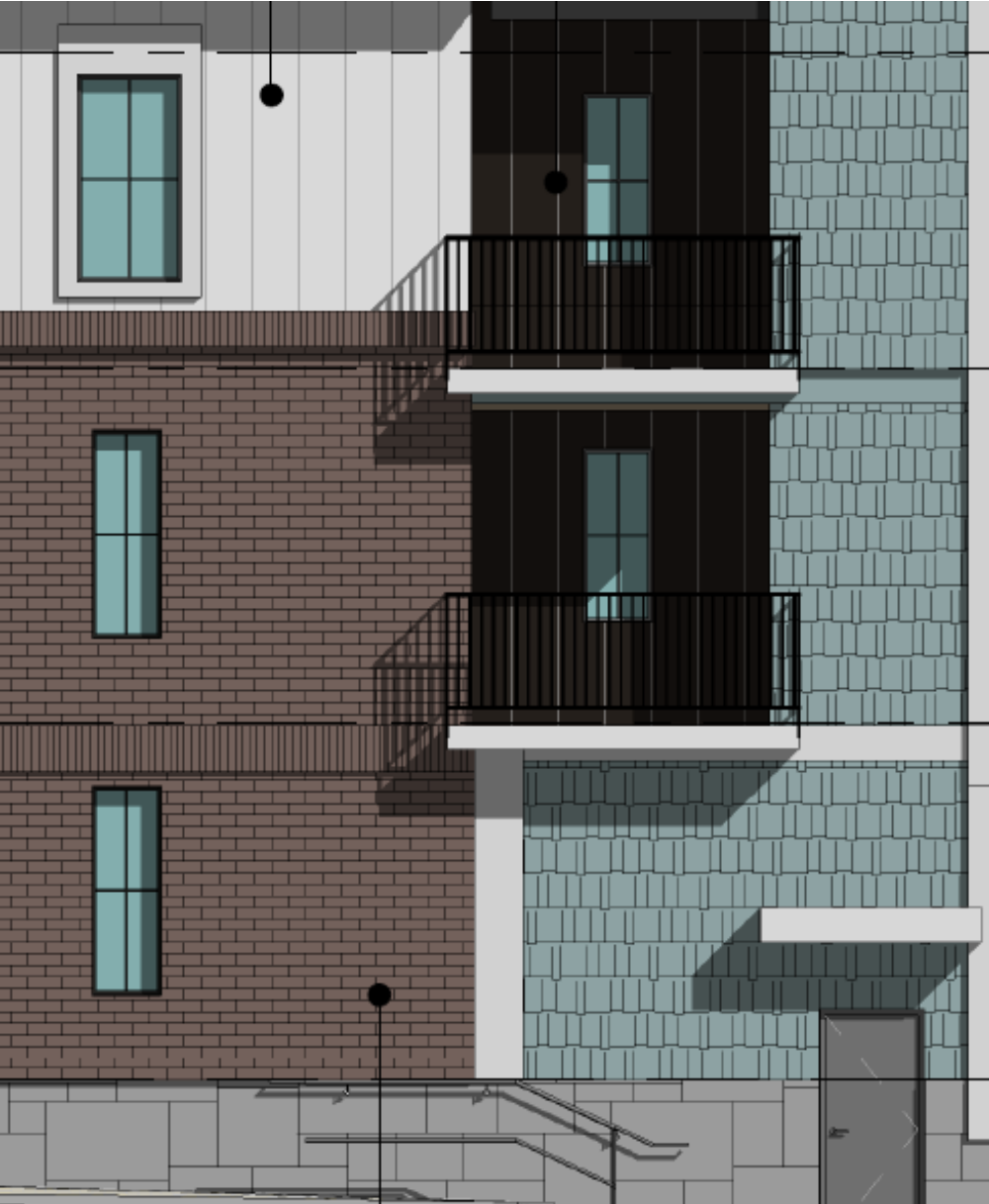
Elevation – South



Elevation – West



Materials Board



White Board & Batten



Blue Grey Hardie Shake



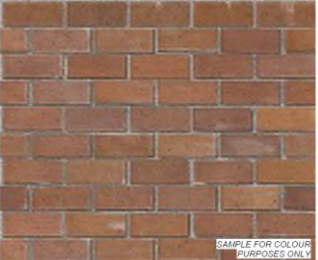
Dark Brown Hardie Lap Siding



Dark Brown Hardie Panel

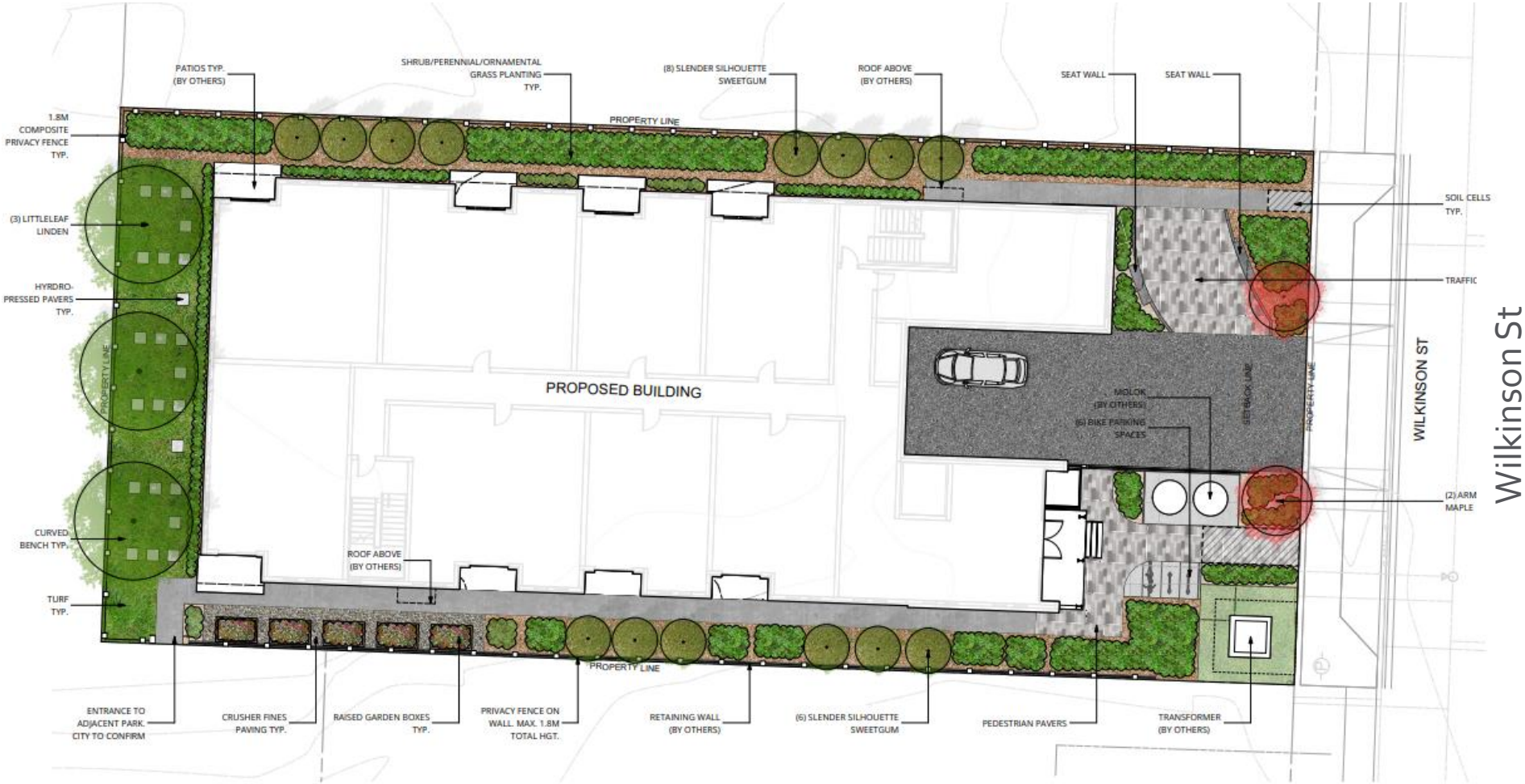


Grey Imitated Ashlar Block



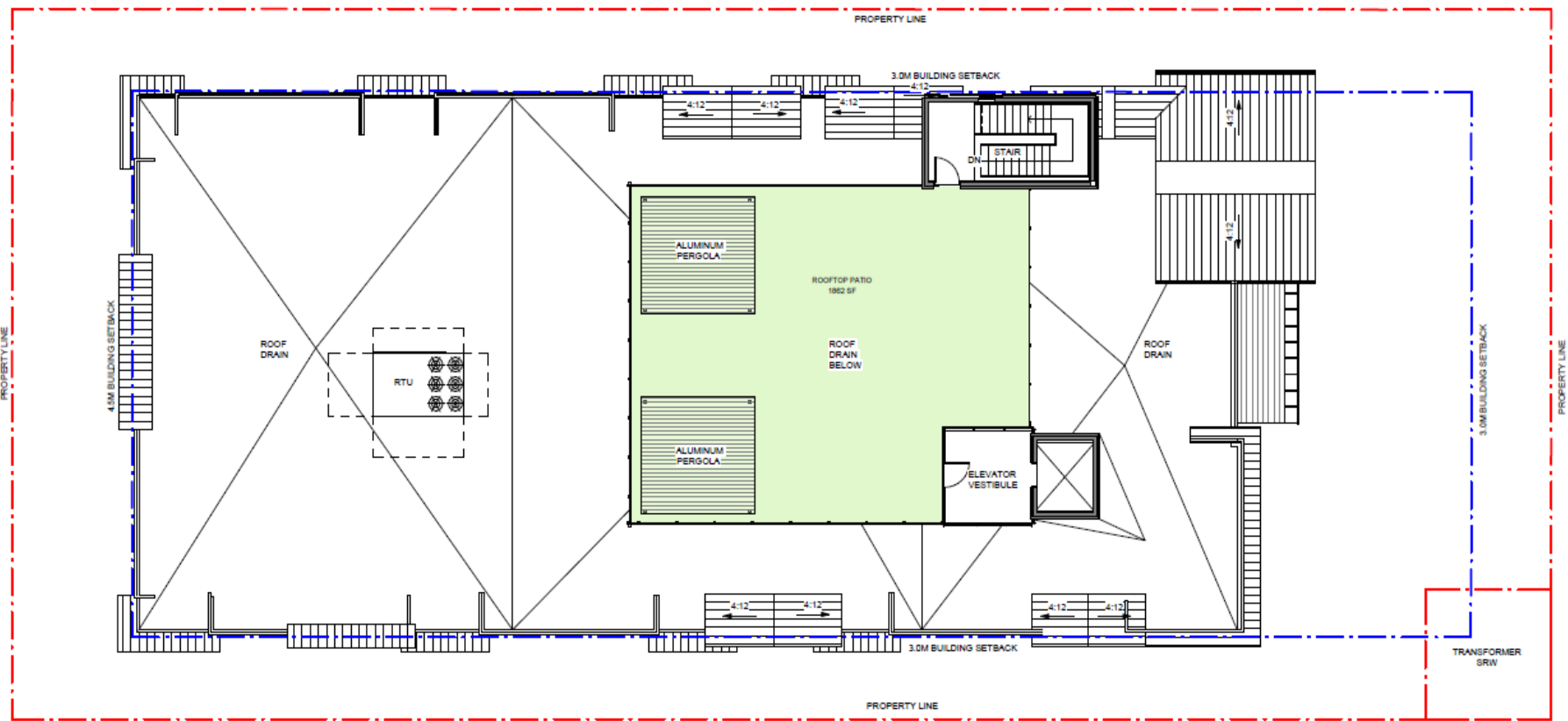
Terracotta Clay Brick

Landscape Plan



WILKINSON ST
Wilkinson St

Rooftop Patio Amenity



Wilkinson St

Rendering – NW



RENDERING FOR
ILLUSTRATIVE
PURPOSES ONLY

Rendering – Amenity Level



RENDERING FOR
ILLUSTRATIVE
PURPOSES ONLY

OCP Design Guidelines

- ▶ Ensure main building entries are clearly visible
- ▶ Use of a range of architectural features and details in the building facade to create visual interest
 - ▶ A consistent range of materials and colours provides variety
- ▶ Design shared rooftop amenity spaces and rooftop gardens to be accessible to residents and to ensure a balance of amenity and privacy
 - ▶ Elevator and stairwell access to amenity space

Staff Recommendation

- ▶ Staff recommend **support** for the proposed development permit as it:
 - ▶ Meets OCP Design Guidelines
 - ▶ Supports Healthy Housing Strategy (Rental Housing, Supportive Housing)
 - ▶ No variances

REPORT TO COUNCIL DEVELOPMENT PERMIT



Date: February 10, 2025
To: Council
From: City Manager
Address: 765 Badke Rd
File No.: DP24-0039
Zone: UC4r – Rutland Urban Centre Rental Only

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP24-0039 for Lot E Section 27 Township 26 ODYD Plan 22268, located at 765 Badke Rd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Permit for the form and character of a rental apartment housing development.

3.0 Development Planning

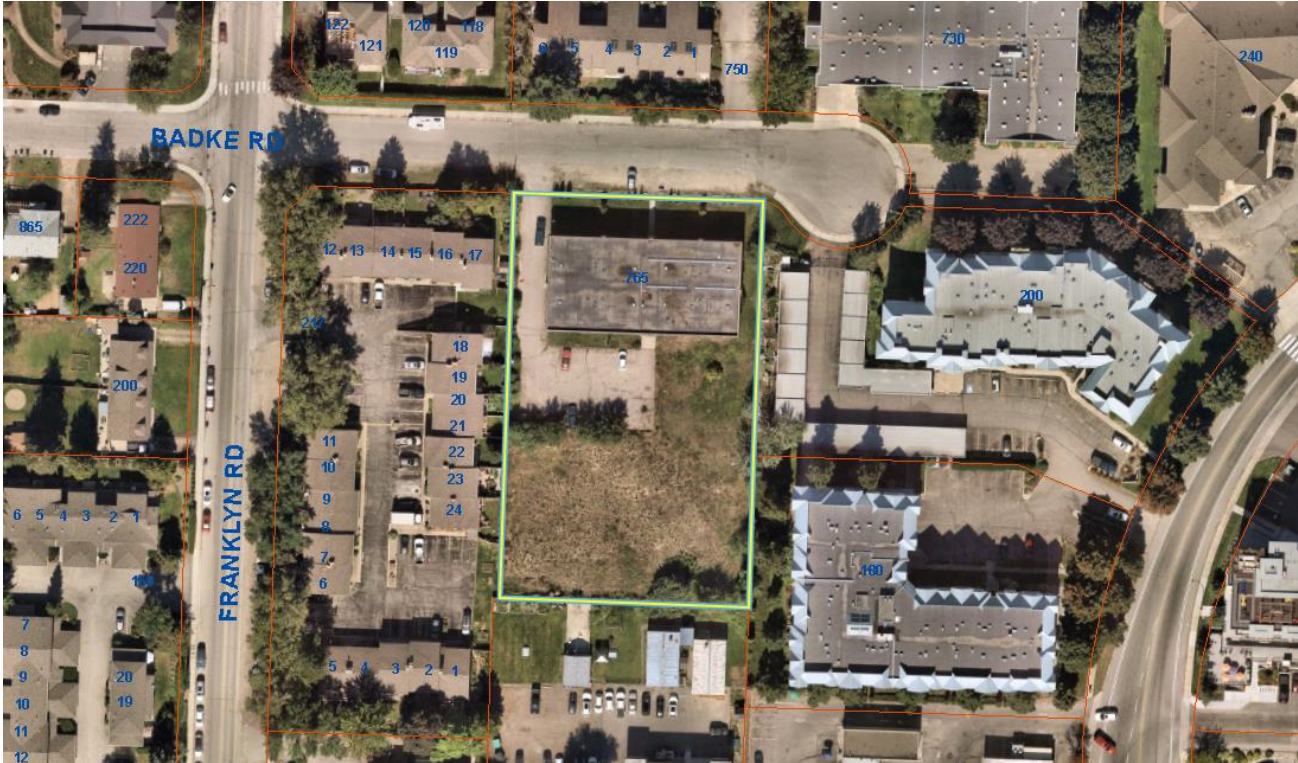
Staff support the Development Permit for the form and character of a 120-unit six-storey apartment building. The proposal generally conforms to the Official Community Plan (OCP) Form and Character Development Permit Guidelines for Low & Mid-Rise Residential & Mixed-Use Developments. Those key guidelines include:

- Orienting primary building facade toward the street to create street edge definition and activity;
- Breaking up building massing by providing simple vertical and horizontal articulation including stepbacks, insets, projections, colour and texture;
- Incorporating a range of architectural features and details into building facades to create visual interest; and
- Locating balconies and windows on the front building facade to create an active frontage and 'eyes on the street'.

Vehicle access is provided from Badke Road with structured parking provided primarily below grade with some surface parking located adjacent to the main apartment entrance. Common amenity spaces include a feature entrance garden area and an outdoor amenity area on top of the parkade. The outdoor amenity area includes a children’s play space, barbeque area, dog run, seating, and complementary landscaping including large trees.

4.0 Subject Property & Background

4.1 Subject Property Map



The subject property is located mid-block near the east end of the cul-de-sac at Badke Road near the major intersection of Highway 33 West and Hollywood Road North. Public transit stops are located nearby along Highway 33. The site is located within walking distance to a variety of commercial retail uses in the immediate area as well as Ben Lee Park.

4.2 Tenant Relocation

The existing low-rise apartment building is two storeys in height, was constructed in 1981, and is nearing the end of the building’s lifecycle due to the age of the structure and need for a new roof. The existing building has a number of significant roof leaks which necessitate a new roof to repair the leaks which is not economically feasible. The applicant has received a demolition permit (BP73039) for the existing building and intends to move forward with redevelopment of the existing site. The existing apartment building comprises a total of 18 dwelling units, only 7 of the existing units are still occupied by tenants.

A Tenant Protection and Relocation Assistance report was brought forward to be received by Council on [October 21, 2024](#). This report was brought forward to explore tenant protection and relocation assistance

options for properties proposing to redevelop with 5 existing rental units being displaced or more. Staff are anticipating a follow-up report returning to Council for future consideration shortly.

However, in the meantime without a formal tenant relocation and assistance program policy, the applicant proposes to compensate the existing tenants by offering to pay 3-months rents for the existing remaining tenants, early return of the damage deposit, provide a moving allowance of \$500, provide weekly rental listings including links to BC Housing programs and designating a Tenant Relocation Coordinator to work with tenants to assist in the relocation process.

Due to the building’s immediate demolition, Staff are recommending acceptance of the proposed tenant relocation plan to accelerate the provision of new housing with this new project.

5.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
Gross Lot Area	5,029 m ²
Undevelopable Land (riparian, 30% slope, etc.)	n/a
Total Number of Units	120
1-bed	30
2-bed	76
3-bed	14

DEVELOPMENT REGULATIONS		
CRITERIA	UC _{4r} ZONE	PROPOSAL
Total Maximum Floor Area Ratio	1.8	1.79
Base FAR	1.8	1.79
Bonus FAR	n/a	n/a
Max. Site Coverage (buildings)	85%	77.3%
Max. Site Coverage (buildings, parking, driveways)	90%	86.7%
Max. Height	22.0 m	21.0 m
Base Height	22.0 m	21.0 m
Bonus Height	n/a	n/a
Setbacks		
Min. Front Yard (north)	3.0 m	3.0 m
Min. Side Yard (east)	4.0 m	4.0 m
Min. Side Yard (west)	4.0 m	2.9 m
Min. Rear Yard (south)	4.0 m	6.0 m
Setbacks (above 16.0 m in building height)		
Min. Front Yard (north)	3.0 m	6.0 m
Min. Side Yard (east)	4.0 m	4.0 m
Min. Side Yard (west)	4.0 m	20.0 m
Min. Rear Yard (south)	6.0 m	6.0 m
Step backs		
Min. Fronting Street (north)	3.0 m	3.0 m
Amenity Space		
Total Required Amenity Space	1,650 m²	1,932 m²
Common	480 m ²	850 m ²

Landscaping		
Min. Number of Trees	11 trees	15 trees
Min. Large Trees	6 trees	7 trees

PARKING REGULATIONS		
CRITERIA	UC4r ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	134 stalls	134 stalls
Residential	117	117
Visitor	17	17
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	93% Regular 7% Small
Bicycle Stalls Short-Term	6 stalls	6 stalls
Bicycle Stalls Long-Term	94 stalls	94 stalls
Bike Wash & Repair	y	y

6.o Application Chronology

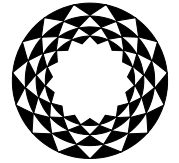
Application Accepted: January 24, 2024
 Adoption of Zone Amending Bylaw: January 27, 2025

Report prepared by: Andrew Ferguson, Planner II
Reviewed by: Adam Cseke, Central Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Sustainability & Development Services

Attachments:

- Attachment A: Draft Development Permit DP24-0039
 - Schedule A: Site Plan & Floor Plans
 - Schedule B: Elevations, Sections, Renderings & Materials
 - Schedule C: Landscape Plan
- Attachment B: OCP Form and Character Development Permit Guidelines
- Attachment C: Applicant’s Letter of Rationale
- Attachment D: Applicant Tenant Relocation and Assistance Program

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.



Development Permit

DP24-0039

This permit relates to land in the City of Kelowna municipally known as

765 Badke Road

and legally known as

Lot E Section 27 Township 26 ODYD Plan 22268

and permits the land to be used for the following development:

Apartment Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval: February 10, 2025

Development Permit Area: Form and Character

Existing Zone: UC4r – Rutland Urban Centre Only

Future Land Use Designation: UC – Urban Centre

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Kerr Properties 002 Ltd., Inc. No. BCo813930

Applicant: Kerr Properties 002 Ltd – Travis Tournier

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP24-0039 for Lot E Section 27 Township 26 ODYD Plan 22268 located at 765 Badke Road, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$160,000.00**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**



Copyright reserved. This drawing, its contents, and its design are and remain all at times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of slab unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work, this includes any errors or omissions.
PERMIT NUMBERS

PROJECT STATUS
Development Permit

PROJECT
KERR Badke Road Multi

765 Badke Rd, Kelowna, BC
Lot E, Plan KAP22268

TITLE
CONTEXT PLAN, PROJECT STATISTICS, SITE PHOTOS

PROJECT NUMBER
22-030
SCALE
1 : 1
DESIGNER
RTA
DP DRAFTERPERSON
RTA / SR
BP DRAFTERPERSON

DRAWING NUMBER
DP1.2
CHECKED
VERSION ISSUE DATE
2024 05 01
BP ISSUE DATE

**LAND USE BYLAW ANALYSIS
BASED ON BYLAW #12375**

SITE AREA
• 5,029.04 m² = 0.53 ha

LAND USE DESIGNATION
• UC4 - Rutland Urban Centre
• Neighbouring Lots' Designations: UC4, EDINST (P1)

8 - PARKING AND LOADING

SECTION 8.2.7.b: Ratio of Parking Spaces
• Min. Regular Size Vehicle parking spaces: 50%*
*(all visitor parking spaces must be regular size vehicle parking spaces)
• Max. Small Size Vehicle parking spaces: 50%

SECTION 8.2.17: Amount of Accessible Parking Spaces
• Min. # of Required Accessible Parking Spaces: 4
• Min. # of Required Van Accessible Spaces: 1

SECTION 8.3.1 Residential Multi-Dwelling Parking Base Parking Requirement (Number of spaces)
Use: Apartment Housing
• Min. 0.9 & Max. 1.25 spaces per 1-Bed unit
• Min. 1.0 & Max. 1.5 spaces per 2- or more Bed unit

Minimum Visitor Parking Requirement
• Min. 0.14 & Max 0.2 spaces per dwelling unit

SECTION 8.4: Off Street Loading
• apartment housing not listed as a use requiring an off-street loading space

SECTION 8.5: Off-Street Bicycle Parking
Minimum Bicycle Parking Required (Number of spaces)
Use: Apartment Housing
• Long-term: 0.75 space per 1- & 2-Bed unit, 1.0 space per 3-Bed unit
• Short-term: 6.0 spaces per entrance

14 - CORE AREA & OTHER ZONES

SECTION 14.3: Urban Centre Zone Purposes
• UC4 - Rutland Urban Centre: a mixed commercial and residential zone for developments within the Rutland Urban Centre

SECTION 14.9: Principal and Secondary Land Uses
• Apartment Housing - Principal Use

SECTION 14.11: Commercial and Urban Centre Zone Development Regulations
• Max Site Coverage of all Buildings: 85%
• Max Site Coverage of all Buildings, Structures, and Impermeable Surfaces: 90%

• Min. Front Yard Setback: 3.0m
• Min. Side Yard Setback: 0.0m*
*(any portion of a building above 16.0m in height must be setback a minimum 4.0m from any lot line abutting another property)

• Min. Rear Yard Setback: 0.0m**
** (except if it is 6.0m when abutting an education / institutional (EDINST) future land use designation)

• Min. Common and Private Amenity Space***: 10.0 m² per 1-Bedroom dwelling unit, 15 m² per dwelling unit with more than 1-bedroom
*** (4.0m² per dwelling unit of the Common and Private Amenity Space shall be configured as common area that is accessible to all residents and must not be located within the required setback areas)

SECTION 14.14: Density and Height
• Max. Base Density FAR: for areas identified as 6 storeys = 1.8 FAR
• Max. Base Height: for areas identified as 6 storeys = 6 storeys & 22.0m

SITE INFORMATION

LAND USE DISTRICT	UC4 - Rutland Urban Centre	
LEGAL DESCRIPTION	Lot E, Plan KAP22268	
MUNICIPAL ADDRESS	765 Badke Rd, Kelowna	
COMMUNITY	Rutland	
SITE AREA	5,029 SM 1.24 AC	54,132 SF 0.503 HA

DEVELOPMENT STATISTICS

PROPOSED USE	Rental Units, 120 Units Total	
UNIT COUNT	1 Bed	30 Units 25.0%
	2 Bed	76 Units 63.3%
	3 Bed	14 Units 11.7%
	TOTAL	120 Units 100.0%

PROJECT GFA	Parkade L1	3,889 SM	41,857 SF
	Main Floor	1,907 SM	20,531 SF
	Level 2	1,879 SM	20,229 SF
	Level 3	1,887 SM	20,316 SF
	Level 4	1,887 SM	20,316 SF
	Level 5	1,887 SM	20,316 SF
	Level 6	1,830 SM	19,894 SF
	TOTAL	15,167 SM	121,401 SF

FAR	Maximum 1.80
	Proposed 1.79 No Bonus Required

PARCEL COVERAGE	Maximum 85.0%
	Proposed 77.3%

AMENITY AREA	Required 1,650 SM	Patios, Balconies, Indoor Amenity, Front Plaza, Rear Amenity
	Proposed 1,962 SM	

BUILDING HEIGHT	Maximum 22 m	8 Storeys
	Proposed 21 m	6 Storeys

VEHICLE PARKING	Required	1 Bed 27 stalls 0.9 stalls / unit min.
		2 Bed 76 stalls 1.0 stalls / unit min.
		3 Bed 14 stalls 1.0 stalls / unit min.
		Visitor 16 stalls 14 stalls / unit min.
		TOTAL 133 stalls Resident + Visitor
	Proposed	63 stalls Regular
		55 stalls Small Vehicle (41%)
		16 stalls Visitor
		TOTAL 134 stalls Resident + Visitor

BICYCLE PARKING	Required Long Term	1- & 2-Bed 80 stalls 0.75 stalls/unit
		3 Bed 14 stalls 1.00 stalls/unit
		Required Short Term 6 stalls
		TOTAL 100 stalls Long + Short Term
	Proposed Long Term	Ground 48 stalls 51%
		Wall 46 stalls 49%
		Short Term 6 stalls
		TOTAL 100 stalls Long + Short Term

GENERAL NOTES
Proposed FAR Calculation based on Floor Area, Net divided by area of the lot as per Bylaw 12375

FAR CALCULATION DETAIL

SITE AREA	5,029 SM	54,132 SF
	1.24 AC	0.503 HA

FLOOR AREA, NET	Main Floor	1,458.4 SM	15,698 SF
	Level 2	1,516.4 SM	16,322 SF
	Level 3	1,524.1 SM	16,405 SF
	Level 4	1,524.1 SM	16,405 SF
	Level 5	1,524.1 SM	16,405 SF
	Level 6	1,474.6 SM	15,872 SF
	TOTAL	9,021.7 SM	97,109 SF

PROPOSED FAR	Maximum 1.80
	Proposed 1.79 No Bonus Required

AREA COMPARISON TO 1.8 FAR (NO BONUS)	Proposed Floor Area, Net	9,021.7 SM	97,109 SF
	1.8 FAR Allowable Area	9,052.3 SM	97,438 SF
	DIFFERENCE	-30.6 SM	-329 SF

AMENITY AREA CALCULATION

OVERALL AMENITY AREA REQUIRED	1 Bed	300 SM	10 SM / Unit
	More than 1 Bed	1,350 SM	15 SM / Unit
	TOTAL	1,650 SM	

COMMON AMENITY AREA REQUIRED	All Units	480 SM	4 SM / Unit
------------------------------	-----------	--------	-------------

OVERALL AMENITY AREAS PROVIDED	AREA	SM	SF
Private	Patios / Balconies	1,099	11,831
Common	Front Plaza	501	5,394
	Rear Amenity	348	3,750
	Indoor	0	0
	COMMON AMENITY PROVIDED	850 SM	9,144 SF
	TOTAL	1,949 SM	5,394 SF

WASTE & RECYCLING	REQUIRED	Waste	Garbage 6,360 L	53.0 L / Unit / Week
			Organics 1,680 L	14.0 L / Unit / Week
			TOTAL 8,040 L	
	PROVIDED	Recycling	Mixed Containers 2,220 L	18.5 L / Unit / Week
			Mixed Papers 1,800 L	15.0 L / Unit / Week
			Cardboard 3,300 L	27.5 L / Unit / Week
			Glass 252 L	2.1 L / Unit / Week
			TOTAL 7,572 L	

PROVIDED	Waste & Organics 2,294 L	1 x 3 yd3 BIN
	Waste & Organics 6,116 L	2 x 4 yd3 BIN
	TOTAL 8,410 L	
	Mixed Recycling 4,588 L	2 x 3 yd3 BIN
	Mixed Recycling 3,058 L	1 x 4 yd3 BIN
	Glass 363 L	1 x 96 gal TOTE
	TOTAL 7,646 L	

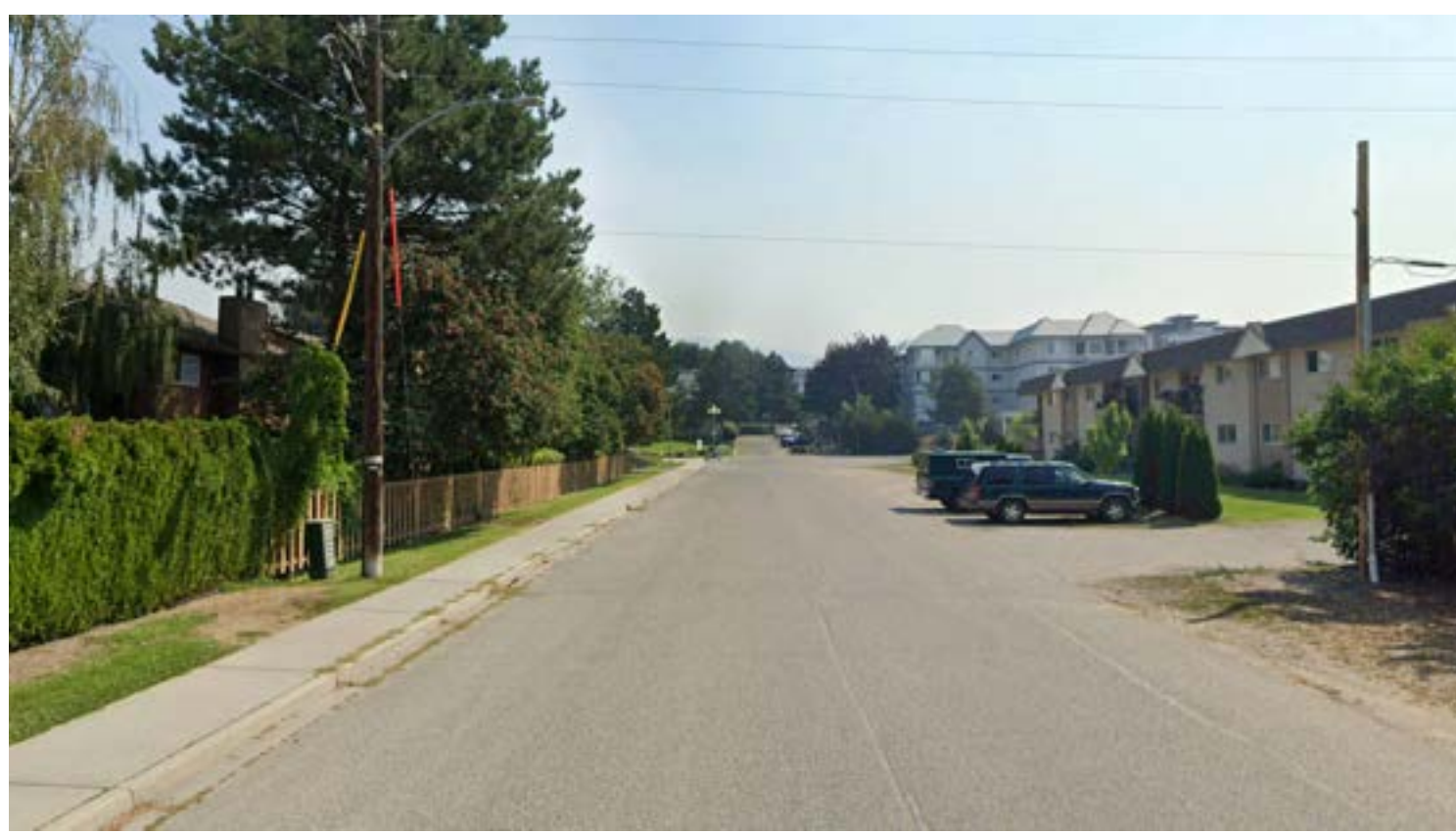
SCHEDULE A
This forms part of application
DP24-0039
City of Kelowna
Planner Initials AF



1 CONTEXT PLAN
SCALE: NTS



2 VICINITY PLAN
SCALE: NTS



1. SITE PHOTO



2. SITE PHOTO



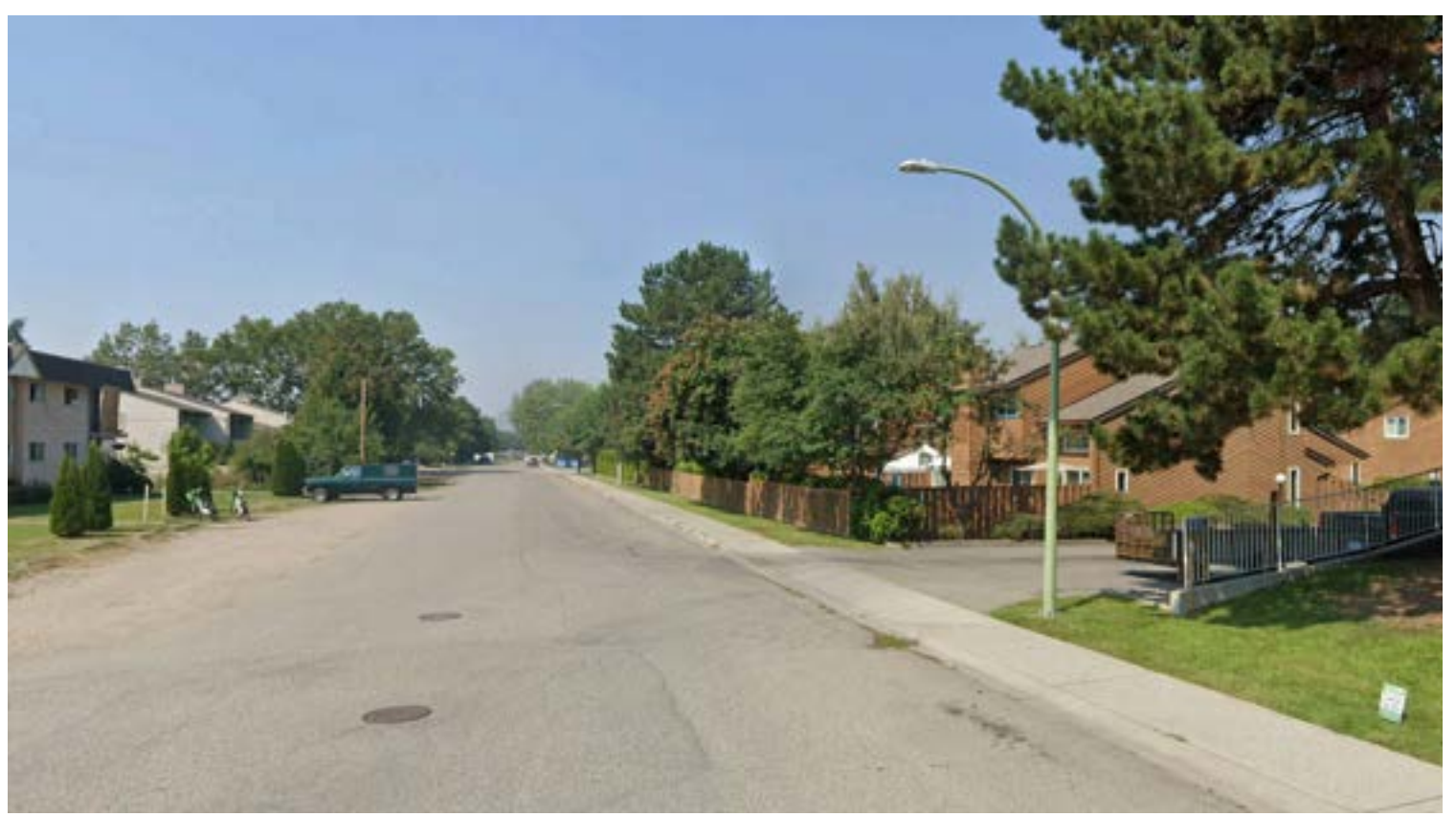
3. SITE PHOTO



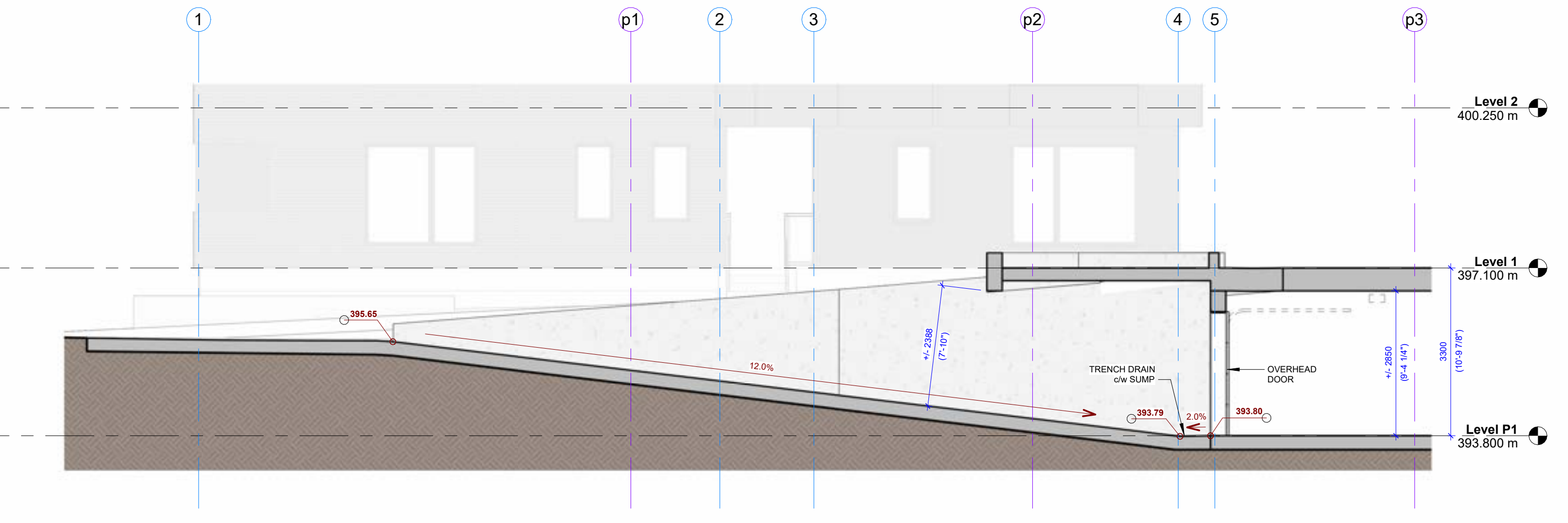
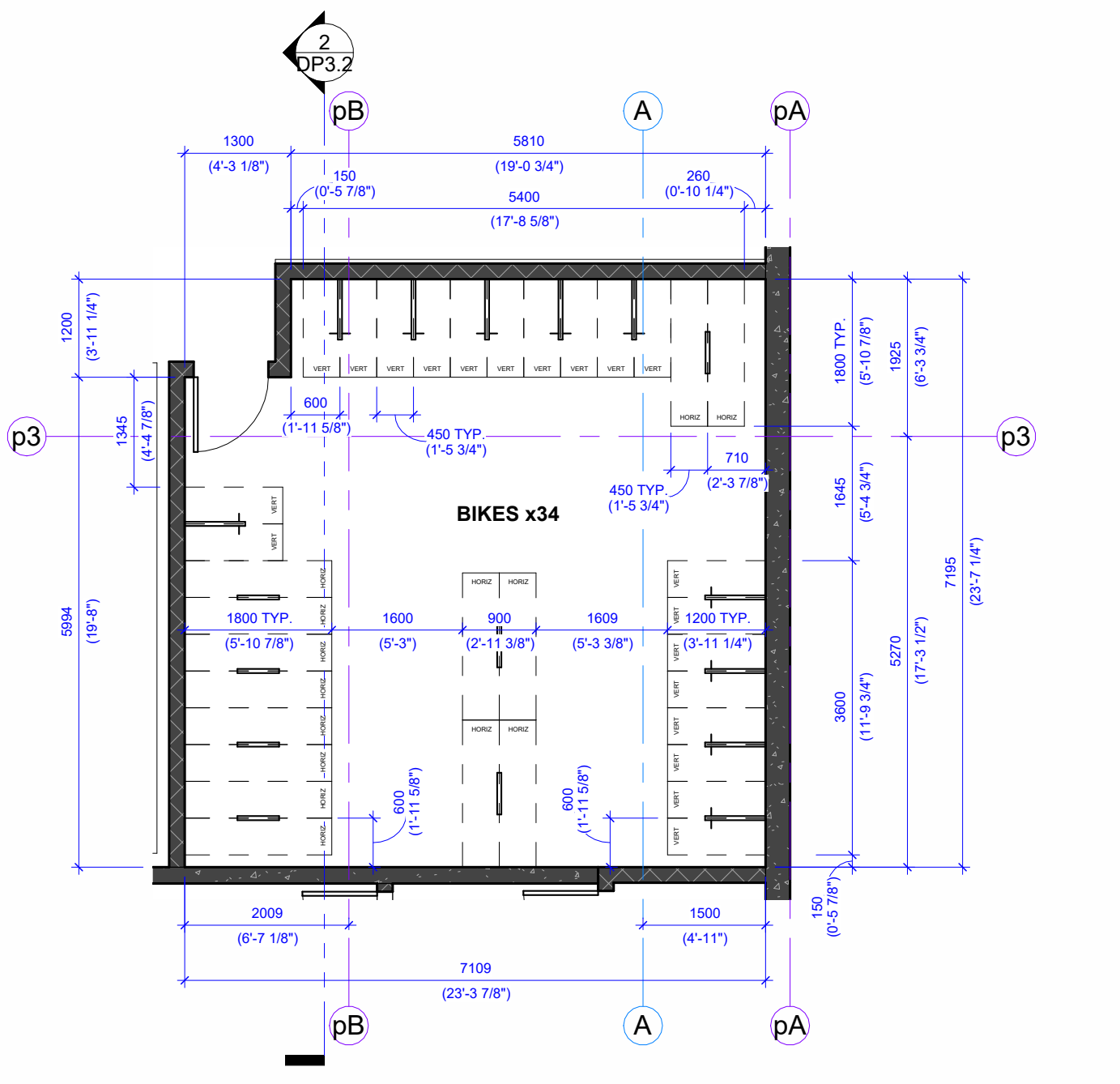
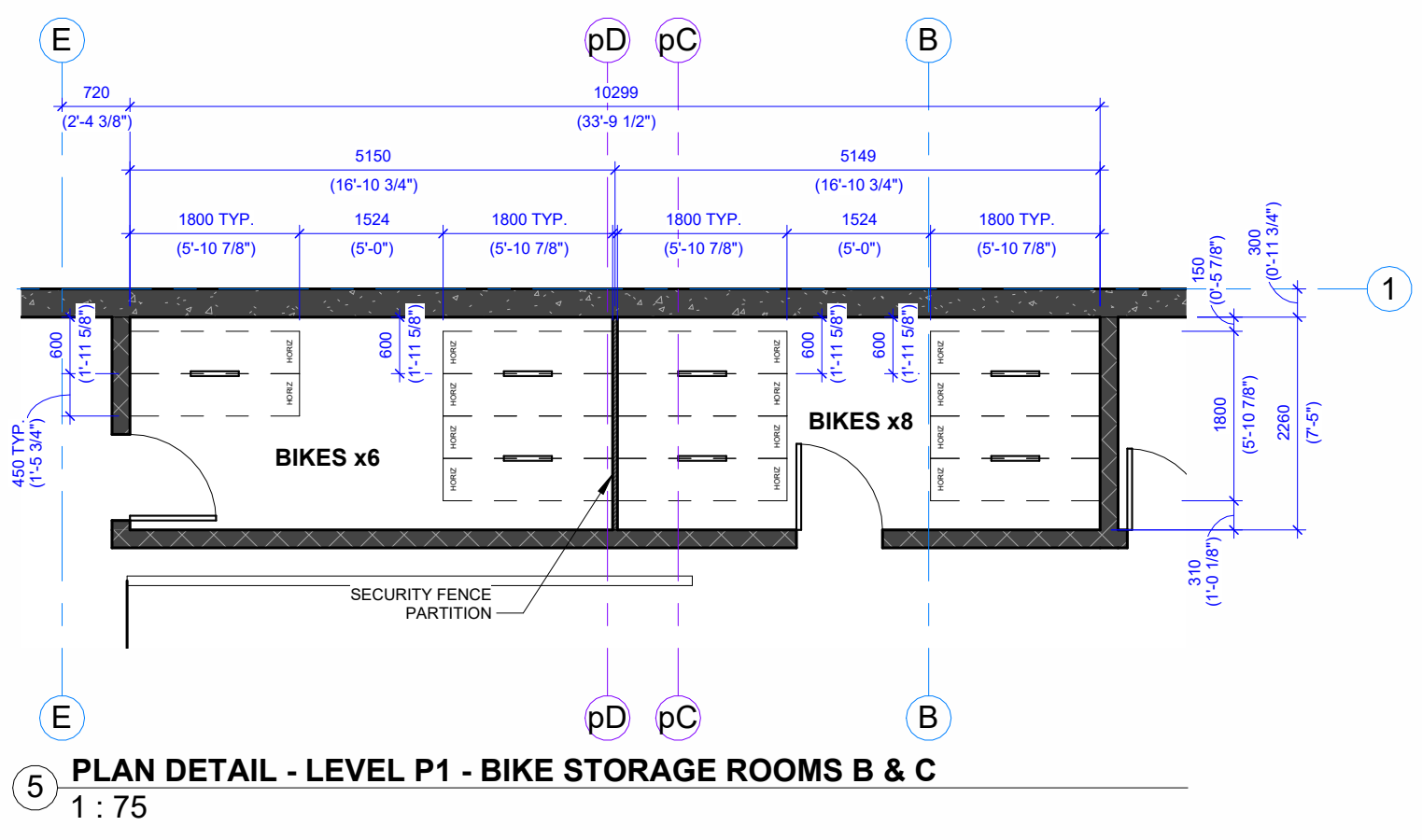
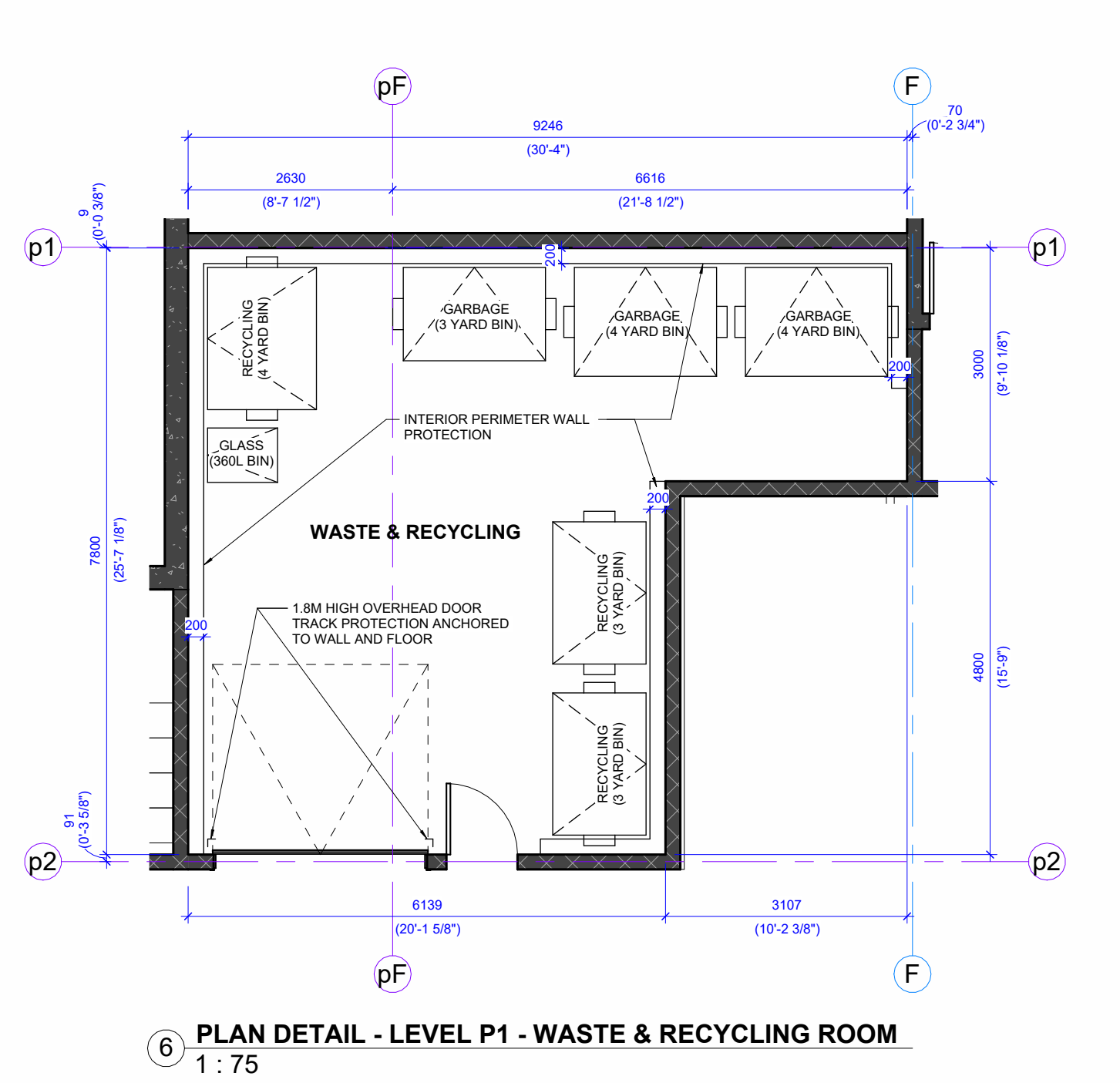
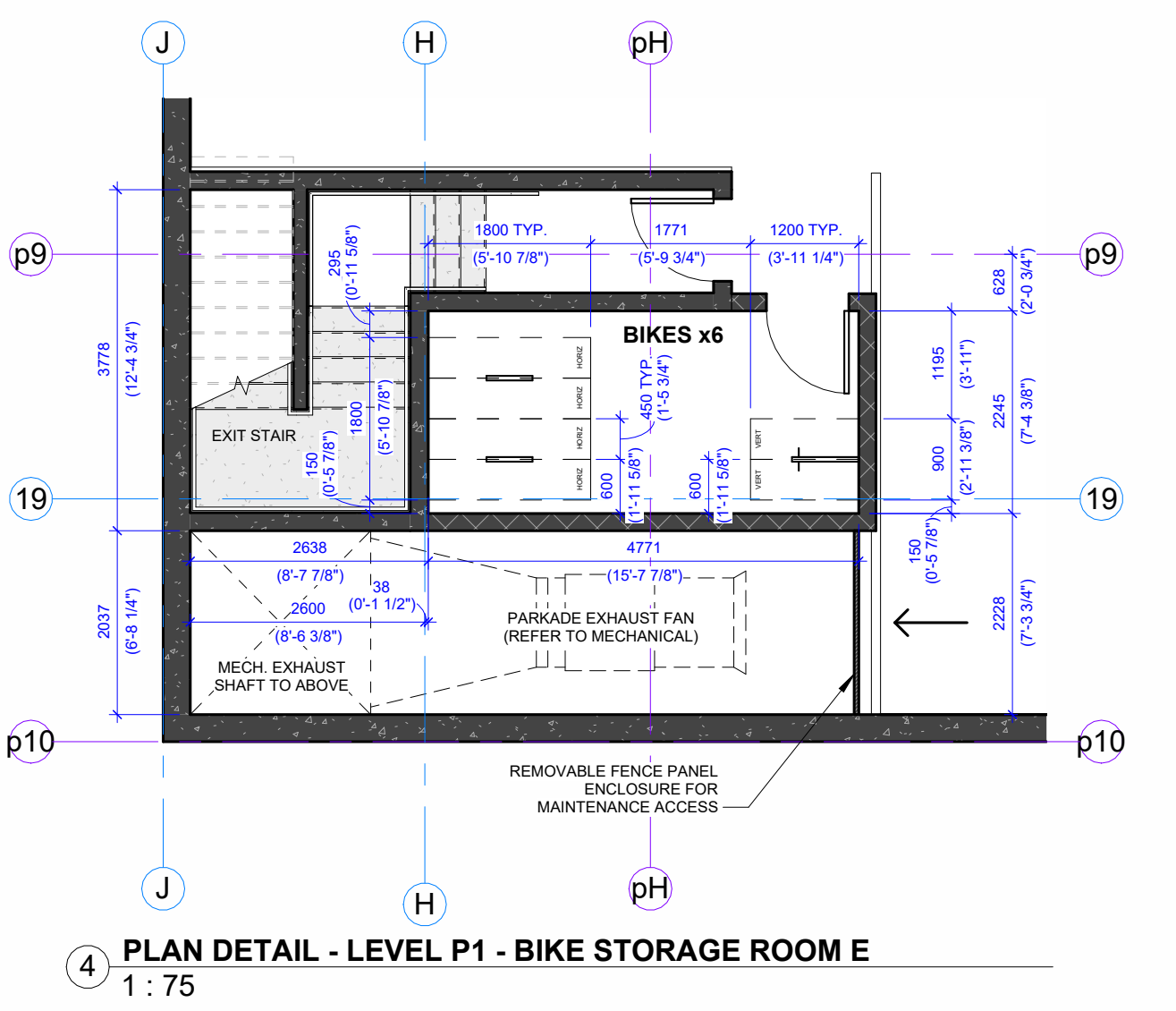
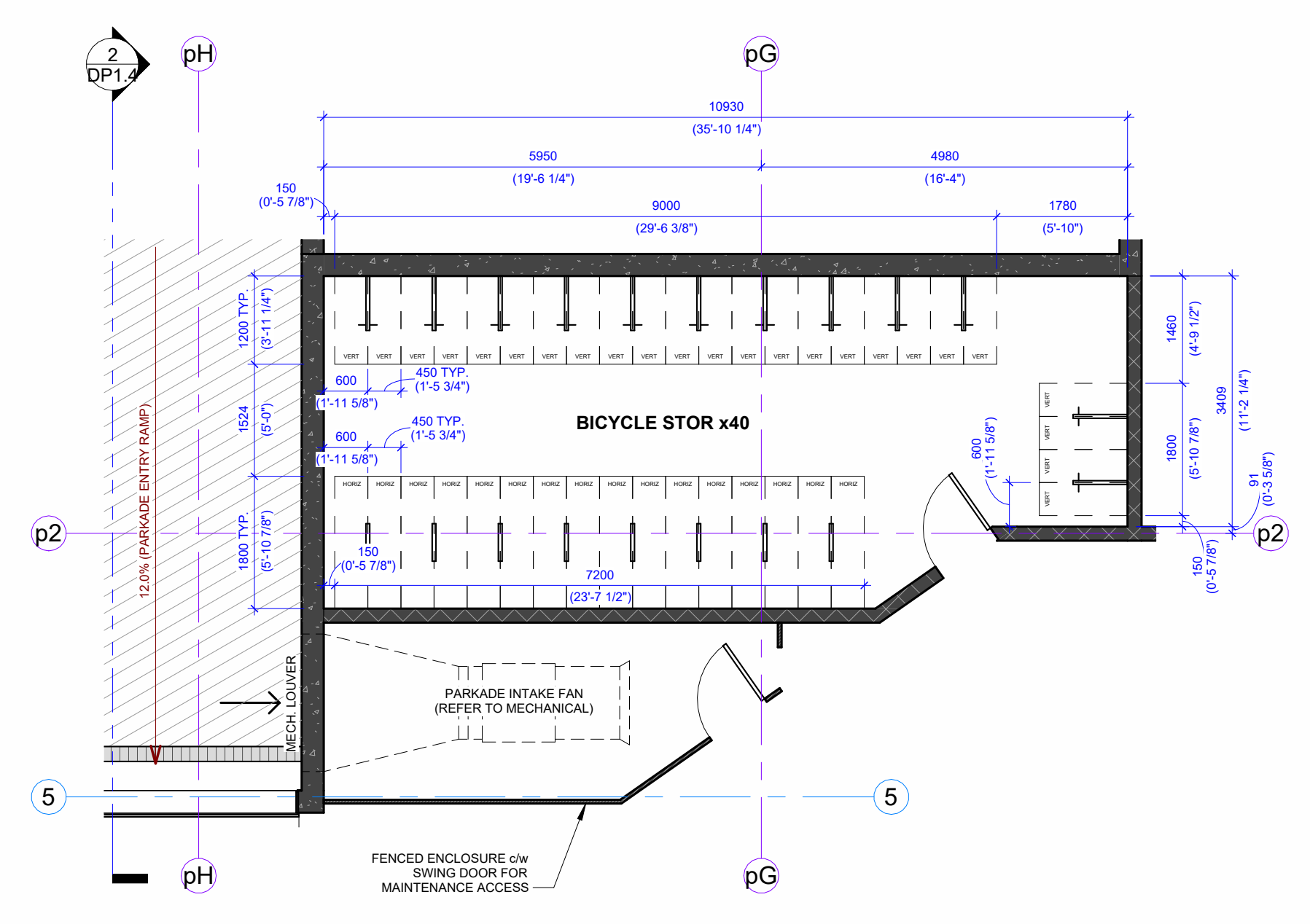
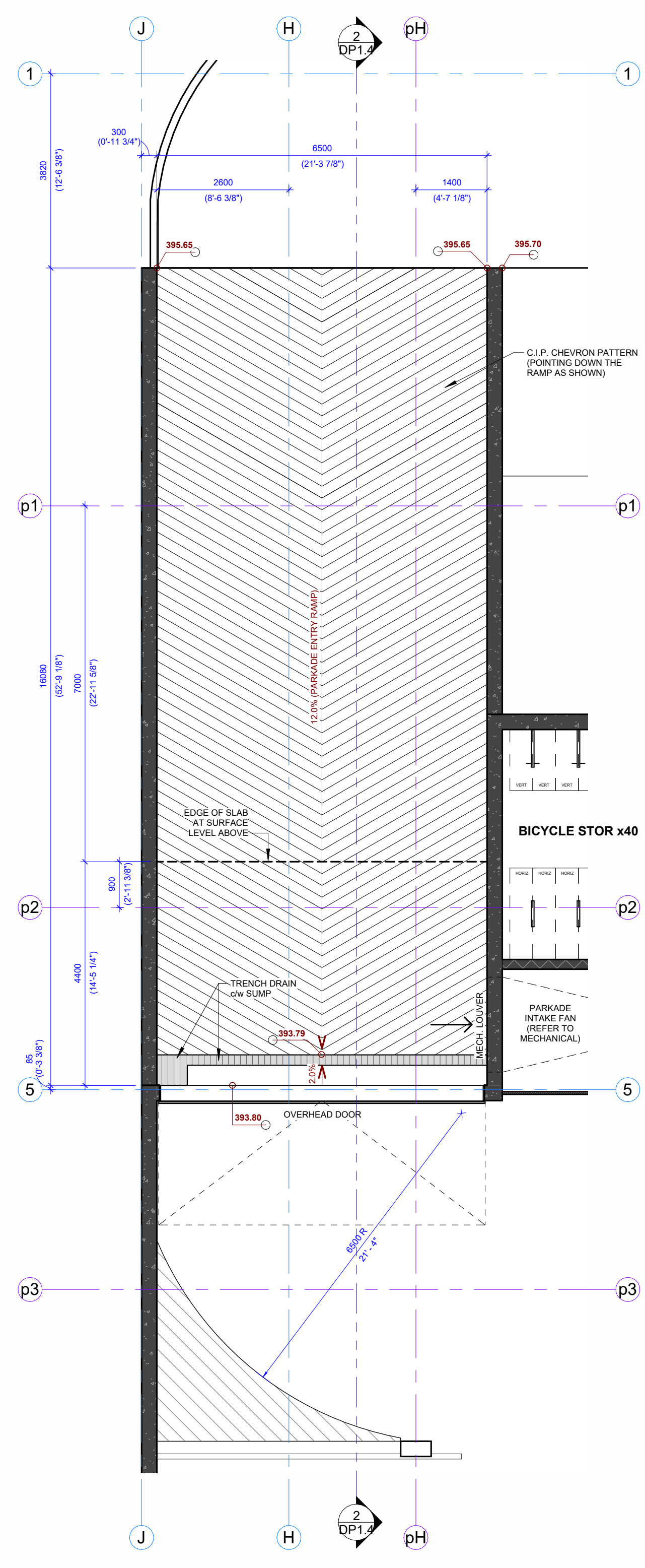
4. SITE PHOTO



5. SITE PHOTO



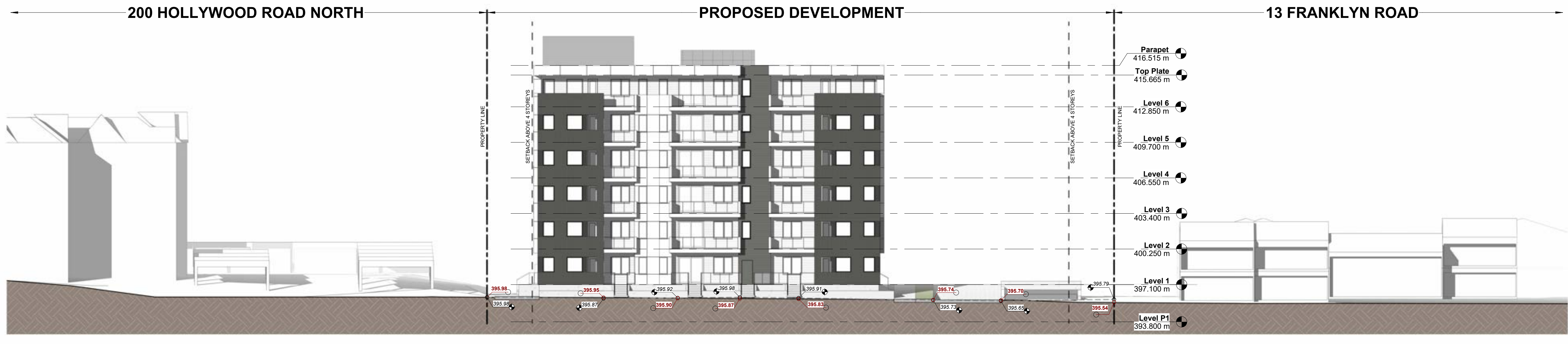
6. SITE PHOTO



SPOT ELEVATION / GEODETICS

▲ 55.55	Existing Grade
○ 55.55	Proposed Grade

SCHEDULE A
 This forms part of application # DP24-0039
 City of Kelowna
 Planner Initials: AF



GRAVITY ARCHITECTURE
 CONTACT: Jay Wiwchar, permits@gravityarchitecture.ca, P-1 (403) 243 4030
 #405, 999 - 8 ST SW, Calgary AB Canada, T2R 1L5, gravityarchitecture.com



Copyright reserved. This drawing, its contents, and its design are and remain all at all times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of slab unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work; this includes any errors or omissions.

PERMIT NUMBERS

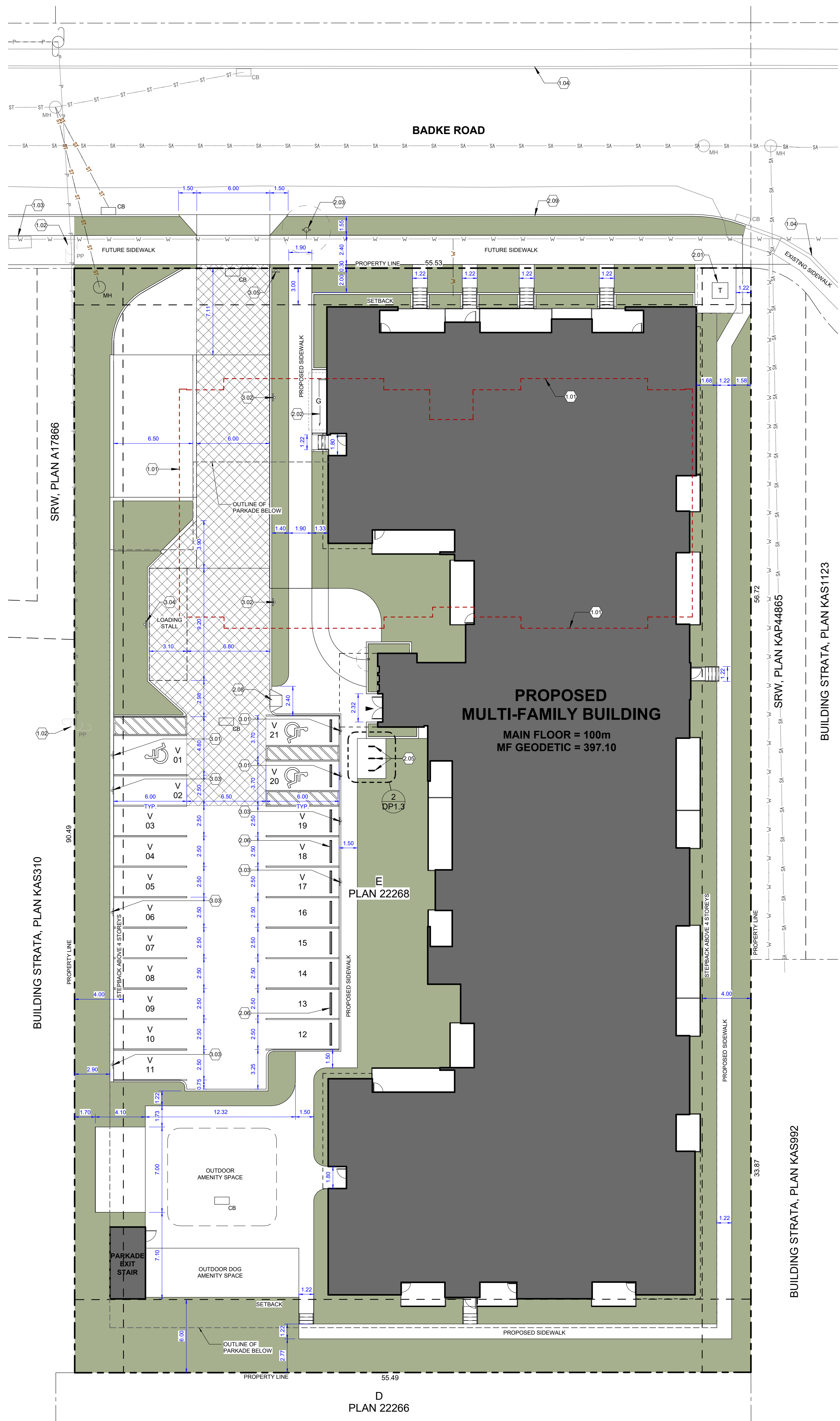
PROJECT STATUS: Development Permit
 PROJECT: KERR Badke Road Multi

765 Badke Rd, Kelowna, BC
 Lot E, Plan KAP22268

TITLE: SITE & PARKING LEVEL DETAILS, STREETSCAPE ELEVATION

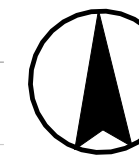
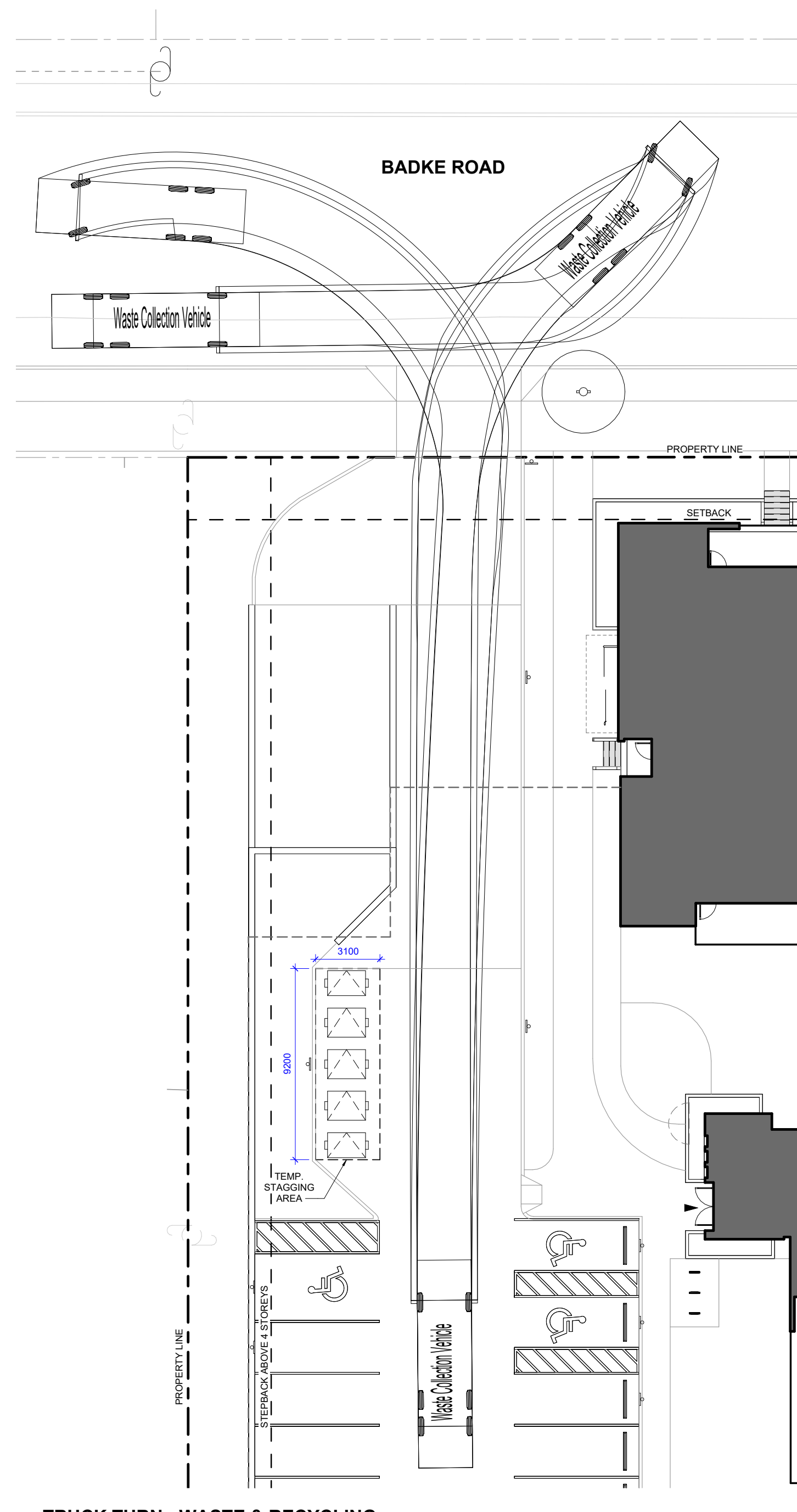
PROJECT NUMBER: 22-030
 DRAWING NUMBER: DP1.4
 SCALE: As indicated
 DESIGNER: RTA
 DP DRAFTSPERSON: RTA / SR
 BP DRAFTSPERSON: RTA / SR

VERSION ISSUE DATE: 2024 05 01
 BP ISSUE DATE:

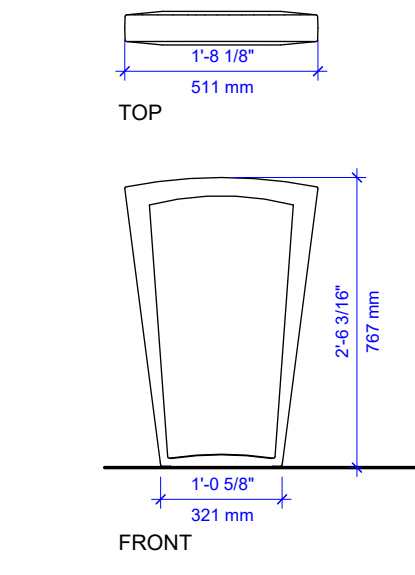


HARD / NON-PERMEABLE LANDSCAPING			
[Pattern]	Concrete (Sidewalks/Patios)		
NON-LANDSCAPED AREAS			
[Pattern]	Building Footprint		
[Pattern]	Asphalt (Roads & Lanes)		
[Pattern]	Heavy Duty Concrete (Capable of supporting minimum fire truck load, as determined by the City of Kelowna)		
LANDSCAPED AREAS			
[Pattern]	Extent of Soft Landscaping		
LINE TYPES			
[Line Style]	Subject Property Lines		
[Line Style]	Adjacent Property Lines		
[Line Style]	Cantilevers / Projections		
[Line Style]	Eaves / Canopies		
UTILITY LINE TYPES			
[Symbol]	W - Water	[Symbol]	T - Telecom
[Symbol]	SA - Sanitary Sewer	[Symbol]	P - Power
[Symbol]	ST - Storm Sewer	[Symbol]	OH - Overhead
[Symbol]	G - Gas	[Symbol]	(Misc.)
SPOT ELEVATION / GEODETICS			
[Symbol]	55.55 Existing Grade	[Symbol]	55.55 Proposed Grade
SITE LEGEND			
[Symbol]	Site Light	[Symbol]	Site Light Bollard
[Symbol]	Fire Hydrant	[Symbol]	Power Pole
[Symbol]	Manhole	[Symbol]	Catch Basin
[Symbol]	Site Sign	[Symbol]	Primary Entrance

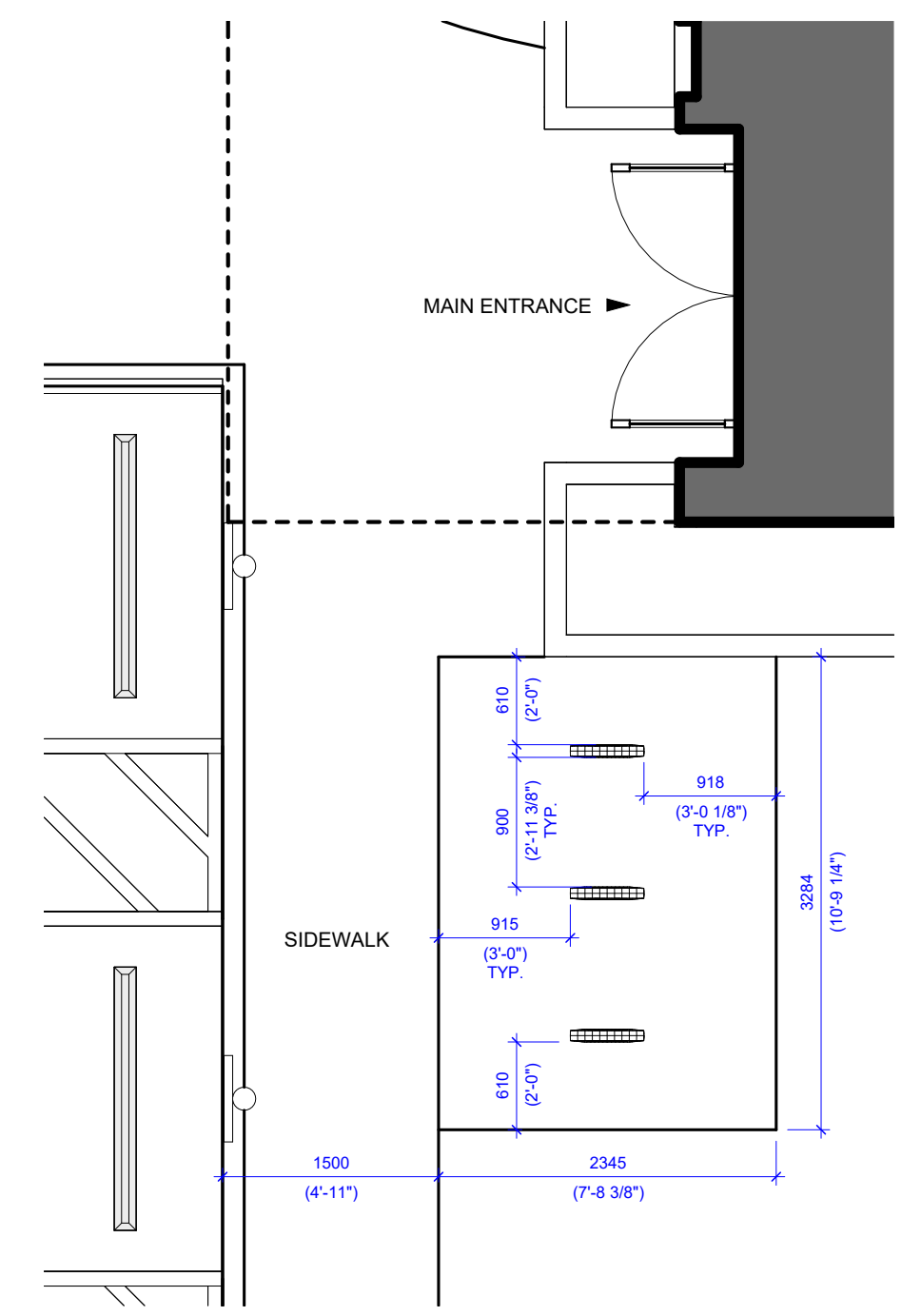
Keynote Legend	
#	Keynote Text
1.01	EXISTING BUILDING TO BE REMOVED
1.02	EXISTING POWER POLE TO BE REMOVED
1.03	EXISTING ELECTRICAL VAULT TO REMAIN
1.04	EXISTING CURB TO REMAIN
2.01	PROPOSED ELECTRICAL TRANSFORMER
2.02	PROPOSED GAS METER LOCATION
2.03	PROPOSED FIRE HYDRANT
2.05	PROPOSED SHORT-TERM BIKE RACK, SEE DETAIL 3/ DP1.3
2.06	PROPOSED WHEEL STOP, TYP.
2.08	PROPOSED BARRIER FREE CURB CUT
2.09	PROPOSED NEW CURB TO ALIGN WITH PROVIDED ROAD PROFILE
3.01	PROPOSED "BARRIER FREE PARKING" SIGN
3.02	PROPOSED "NO PARKING, FIRE LANE" SIGN
3.03	PROPOSED "VISITOR PARKING" SIGN
3.04	PROPOSED "LOADING ZONE, NO PARKING" SIGN
3.05	PROPOSED "STOP" SIGN
GENERAL NOTES:	
1.	REFER TO CIVIL DRAWINGS FOR PROPOSED SITE SERVING AND GRADES.
2.	REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS ON HARD AND SOFT LANDSCAPING, PROPOSED PLANTING, SITE FURNITURE.
3.	REFER TO ELECTRICAL DRAWING FOR SITE LIGHTING LAYOUT.



4 TRUCK TURN - WASTE & RECYCLING
1 : 200



3 BIKE RACK DETAIL
1 : 20



2 PLAN DETAIL - BIKE PARKING
1 : 50

SURVEY INFORMATION
MUNICIPAL ADDRESS:
 765 Badke Rd, Kelowna, BC
LEGAL ADDRESS:
 Lot E, Plan KAP22268
LAND USE DESIGNATION: UC4 - Rutland Urban Centre
COMMUNITY: Rutland
INFILL: Yes
 Survey completed by:
 Ferguson Land Surveying & Geomatics
 404 - 1630 Pandosy Street
 Kelowna, B.C. V1Y 1P7
 Phone: (250) 763-3115
 Dated: 2019 06 03
 Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey.
 Positions of spot elevations are approximate. Distances are in metres and decimals thereof.

SCHEDULE A
 This forms part of application # DP24-0039
 Planner Initials: AF

REVISIONS	DATE	DESCRIPTION
1	2024 01 17	DP Issued to City
1	2024 05 08	DP Comment Response

GRAVITY ARCHITECTURE
 CONTACT:
 Jay Wivchar
 permits@gravityarchitecture.ca
 P-1 (403) 243 4030
 #405, 999 - 8 ST SW
 Calgary AB Canada
 T2R 1L5
 gravityarchitecture.com

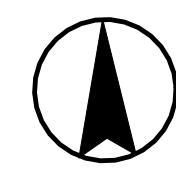


Copyright reserved. This drawing, its contents, and its design are and remain at all times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of stud unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work; this includes any errors or omissions.

PERMIT NUMBERS
 PROJECT STATUS
 Development Permit
 PROJECT
KERR Badke Road Multi
 765 Badke Rd, Kelowna, BC
 Lot E, Plan KAP22268
 TITLE
PROPOSED SITE PLAN, SITE DETAILS
 PROJECT NUMBER: 22-030
 DRAWING NUMBER: DP1.3
 SCALE: As indicated
 DESIGNER: RTA
 DP DRAFTSPERSON: RTA / SR
 BP DRAFTSPERSON: BP
 CHECKED: RTA
 VERSION ISSUE DATE: 2024 05 01
 BP ISSUE DATE:

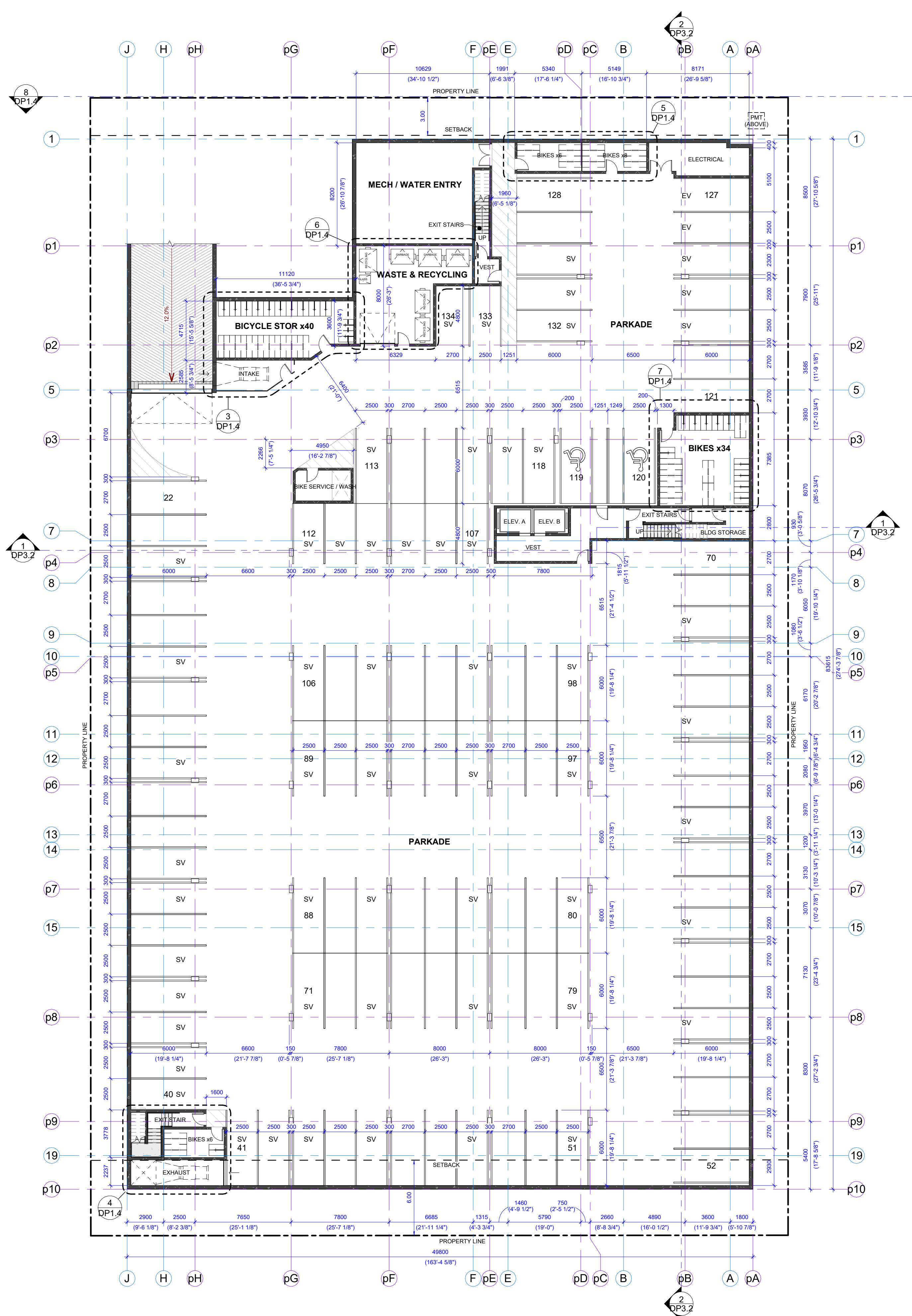
PRELIMINARY, NOT FOR CONSTRUCTION

1 PROPOSED SITE PLAN
1 : 200

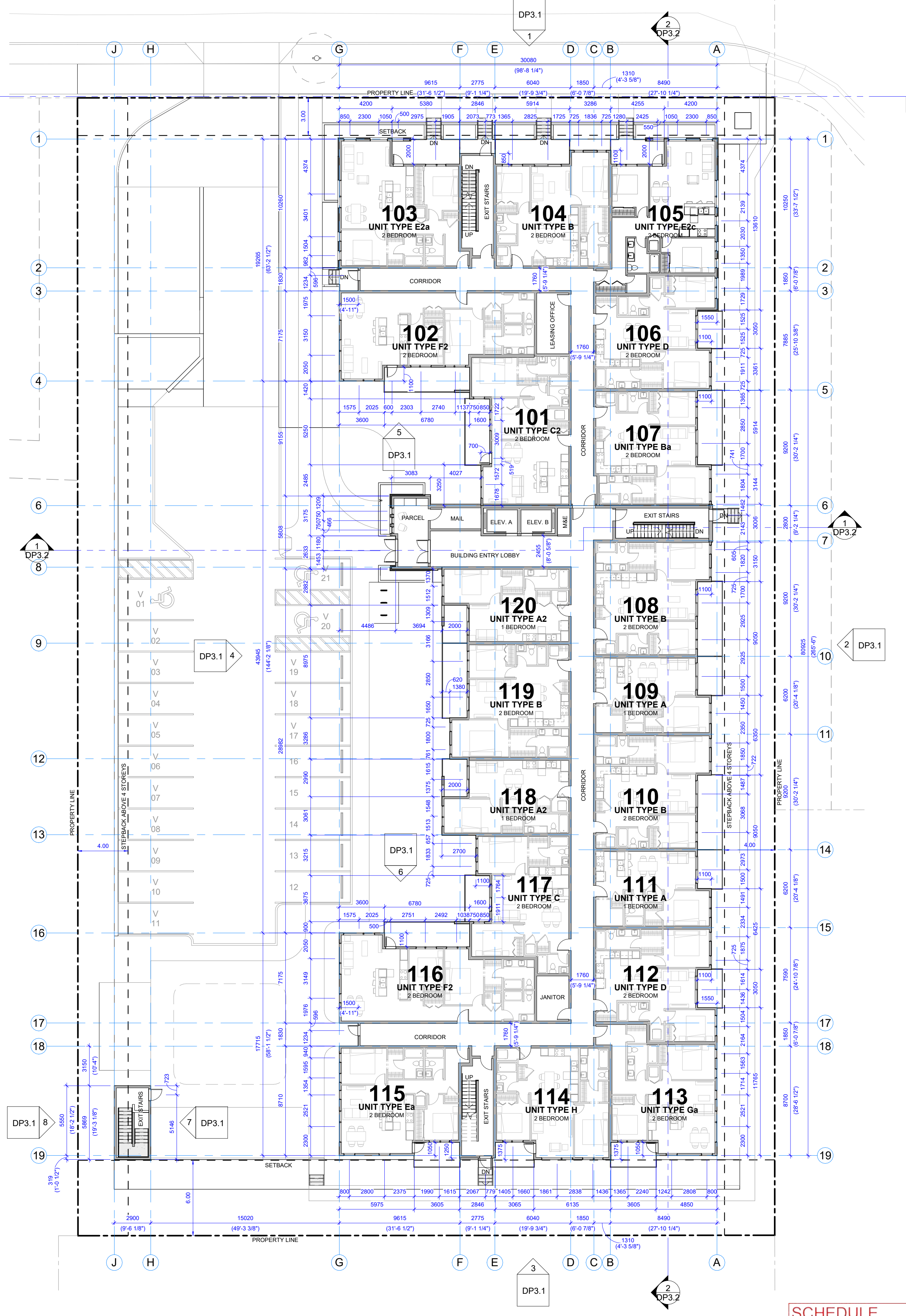


REVISIONS
 # DATE DESCRIPTION
 2024 01 17 DP Issued to City
 2024 05 08 DP Comment Response

PRELIMINARY, NOT FOR CONSTRUCTION



1 Level P1 - DP
 1 : 200



2 Level 1 - DP
 1 : 200

SCHEDULE A
 This forms part of application
 # DP24-0039
 Planner Initials: AF
 City of Kelowna
 COMMUNITY PLANNING

GRAVITY ARCHITECTURE
 CONTACT
 Jay Wivchar
 permits@gravityarch.ca
 P-1 (403) 243 4030
 #405, 999 - 8 ST SW
 Calgary AB Canada
 T2R 1L5
 gravityarchitecture.com



Copyright reserved. This drawing, its contents, and its design are and remain all at all times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of stud unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work, this includes any errors or omissions.

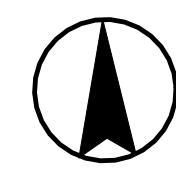
PERMIT NUMBERS
 PROJECT STATUS
 Development Permit
 PROJECT
KERR Badke Road Multi

765 Badke Rd, Kelowna, BC
 Lot E, Plan KAP22268

TITLE
FLOOR PLANS - LEVEL P1 & LEVEL 1

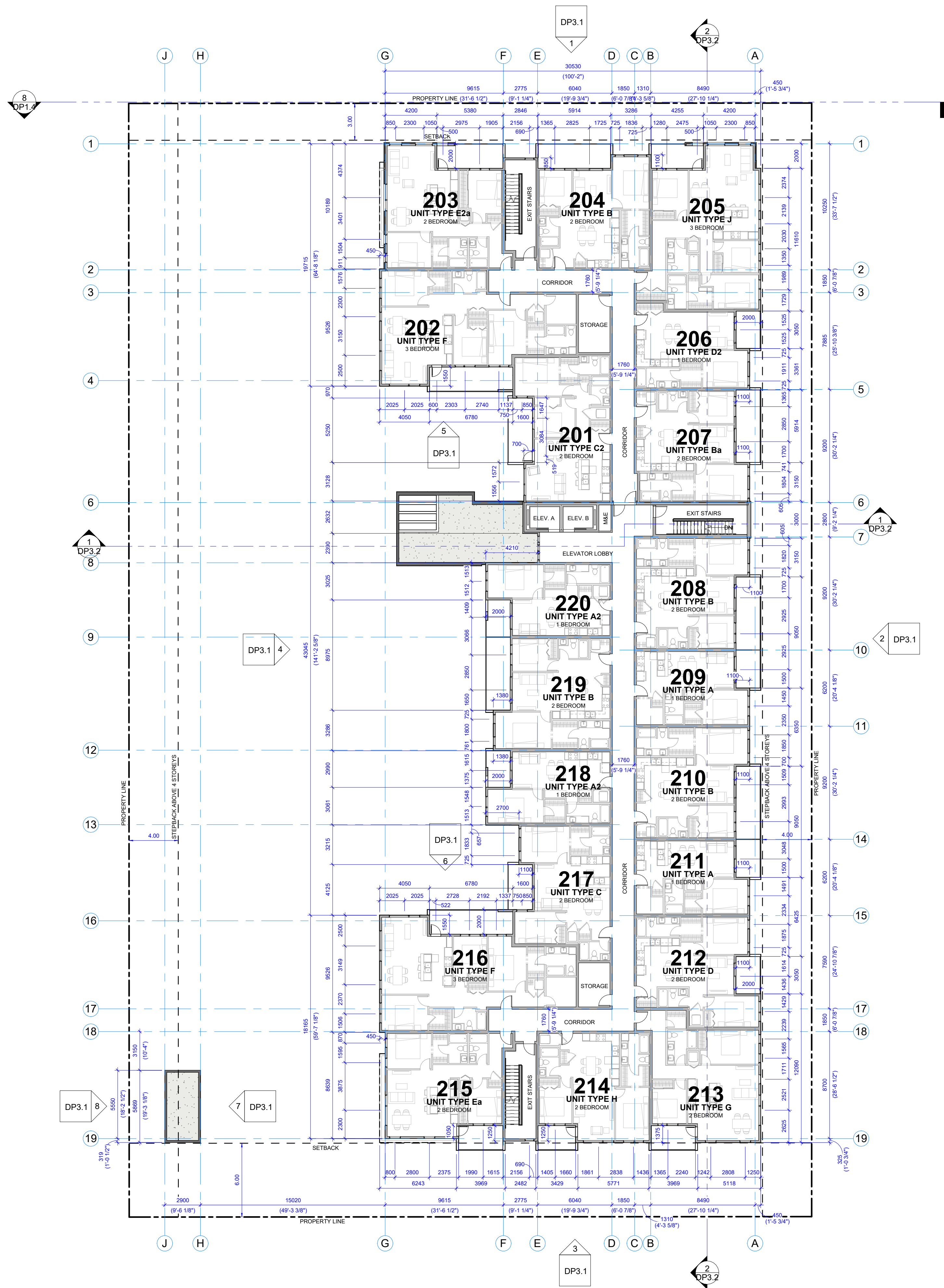
PROJECT NUMBER
22-030
 SCALE
1 : 200
 DESIGNER
 RTA
 DP DRAFTERPERSON
 RTA / SR
 BP DRAFTERPERSON

DRAWING NUMBER
DP2.1
 CHECKED
 VERSION ISSUE DATE
 2024 05 01
 BP ISSUE DATE

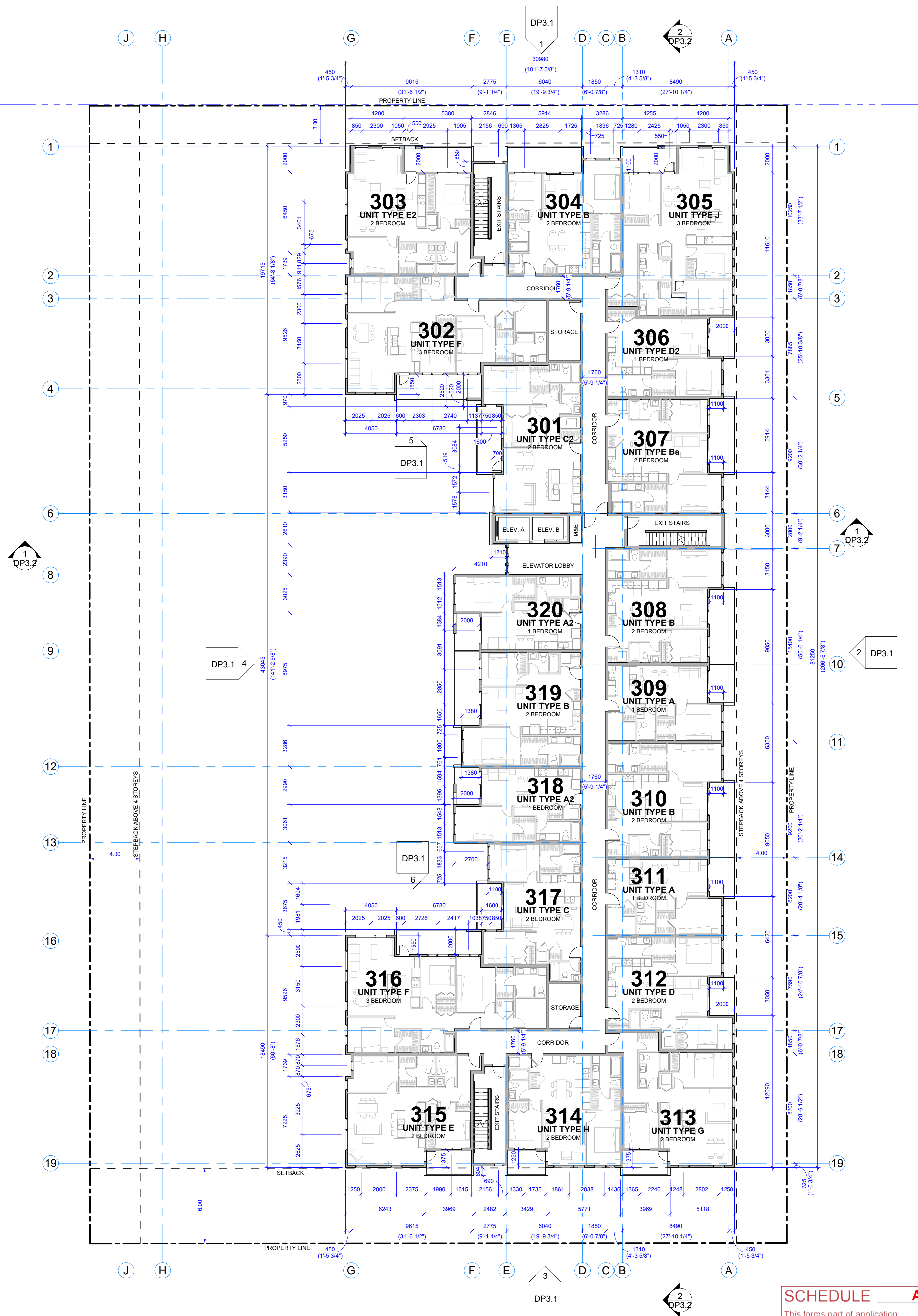


REVISIONS
 # DATE DESCRIPTION
 1 2024 01 17 DP Issued to City
 2 2024 05 08 DP Comment Response

PRELIMINARY, NOT FOR CONSTRUCTION



1 Level 2 - DP
1 : 200



2 Level 3-5 - DP
1 : 200

SCHEDULE A
 This forms part of application
 # DP24-0039
 City of Kelowna
 Planner Initials AF

GRAVITY ARCHITECTURE
 CONTACT
 Jay Wivchar
 permits@gravityarch.ca
 P-1 (403) 243 4030
 #405, 999 - 8 ST SW
 Calgary AB Canada
 T2R 1L5
 gravityarchitecture.com



Copyright reserved. This drawing, its contents, and its design are and remain at all times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of stud unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work; this includes any errors or omissions.

PERMIT NUMBERS
 PROJECT STATUS
 Development Permit

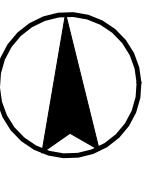
PROJECT
KERR Badke Road Multi

765 Badke Rd, Kelowna, BC
 Lot E, Plan KAP22268

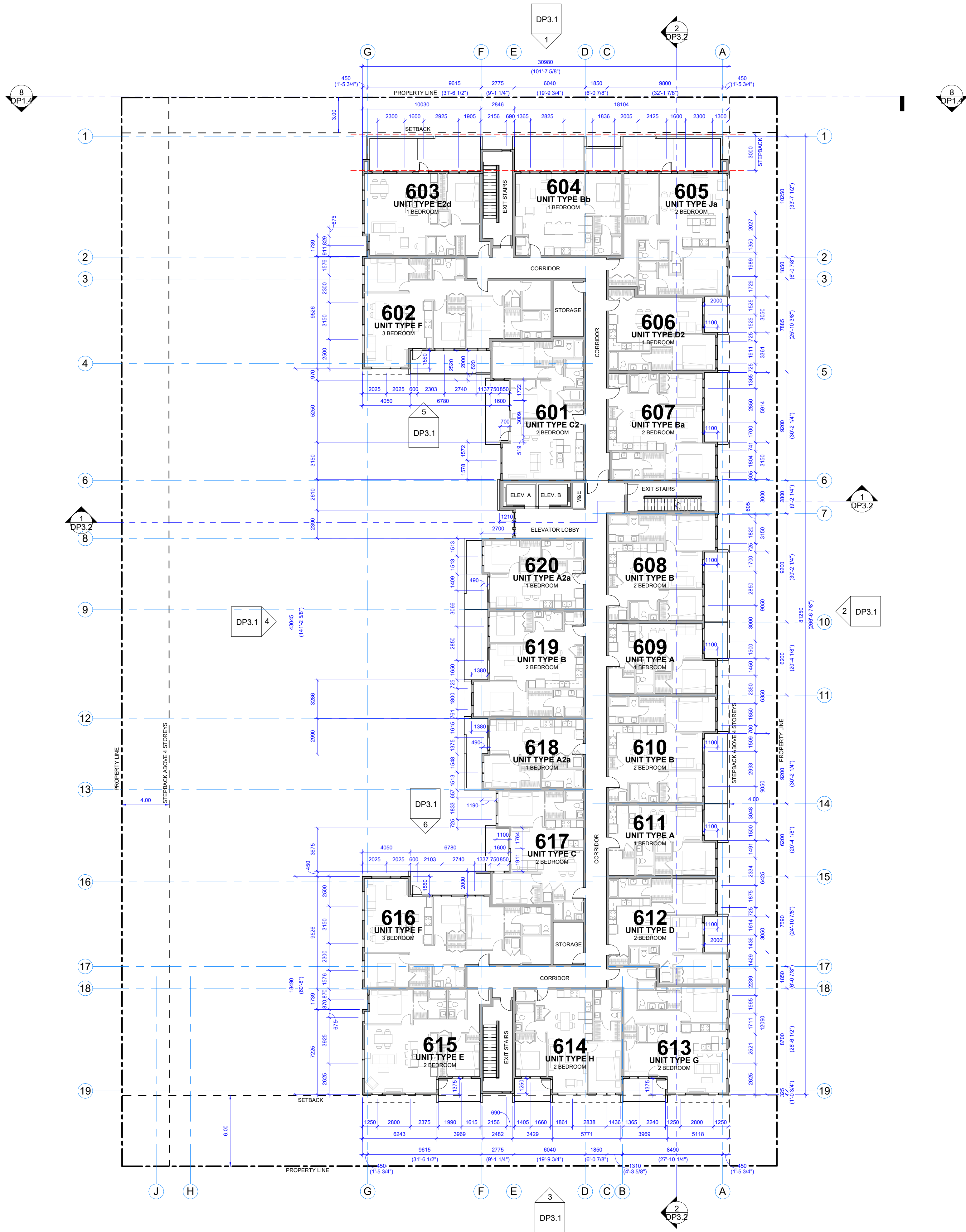
TITLE
FLOOR PLANS - LEVEL 2 & LEVELS 3-5

PROJECT NUMBER
22-030
 SCALE
1 : 200
 DESIGNER
 RTA
 DP DRAFTSPERSON
 RTA / SR
 BP DRAFTSPERSON

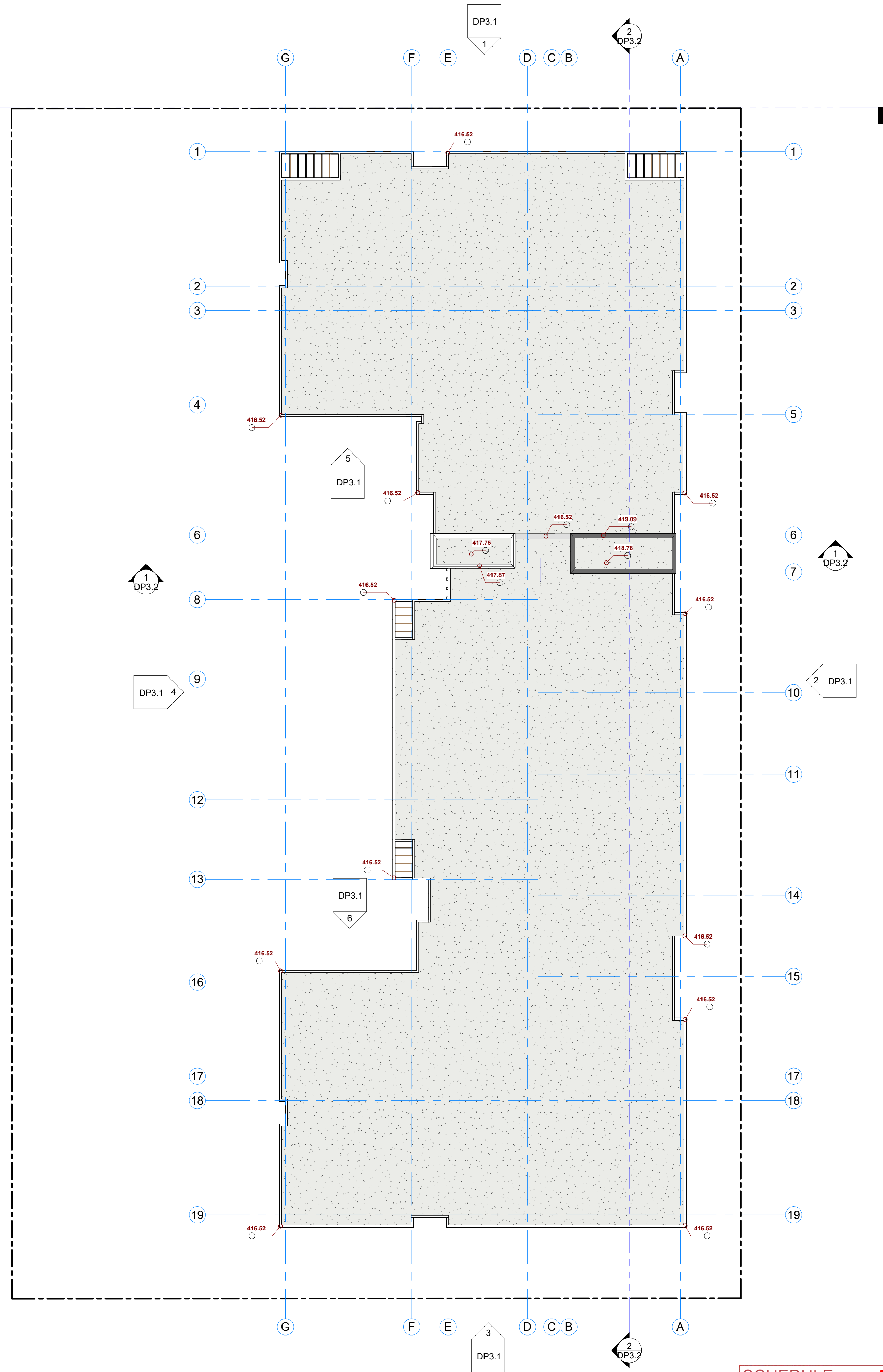
DRAWING NUMBER
DP2.2
 CHECKED
 VERSION ISSUE DATE
 2024 05 01
 BP ISSUE DATE



REVISIONS
 # DATE DESCRIPTION
 2024 01 17 DP Issued to City
 1 2024 05 08 DP Comment Response



1 Level 6 - DP
 1 : 200



2 Roof - DP
 1 : 200

PRELIMINARY, NOT FOR CONSTRUCTION

GRAVITY ARCHITECTURE

CONTACT
 Jay Wivchar
 permits@gravityarchitecture.ca
 P-1 (403) 243 4030
 #405, 999 - 8 ST SW
 Calgary AB Canada
 T2R 1L5
 gravityarchitecture.com

SEAL



Copyright reserved. This drawing, its contents, and its design are and remain at all times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of stud unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work; this includes any errors or omissions.

PERMIT NUMBERS

PROJECT STATUS

Development Permit

PROJECT

KERR Badke Road Multi

765 Badke Rd, Kelowna, BC
 Lot E, Plan KAP22268

TITLE
FLOOR PLANS - LEVEL 6 & ROOF PLAN

PROJECT NUMBER

22-030

SCALE

1 : 200

DESIGNER

RTA

DP DRAFTSPERSON

RTA / SR

BP DRAFTSPERSON

DRAWING NUMBER

DP2.3

CHECKED

VERSION

2024 05 01

BP ISSUE DATE

BP ISSUE DATE

SCHEDULE A
 This forms part of application
 # DP24-0039
 City of Kelowna
 COMMUNITY PLANNING
 Planner Initials AF

GRAVITY ARCHITECTURE
 CONTACT
 Jay Wivchar
 permits@gravityarchitecture.ca
 P-1 (403) 243 4030
 #405, 999 - 8 ST SW
 Calgary AB Canada
 T2R 1J5
 gravityarchitecture.com



Copyright reserved. This drawing, its contents, and its design are and remain at all times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of stud unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work; this includes any errors or omissions.
 PERMIT NUMBERS

PROJECT STATUS
 Development Permit
 PROJECT
KERR Badke Road Multi
 765 Badke Rd, Kelowna, BC
 Lot E, Plan KAP22268

TITLE
**BUILDING ELEVATIONS,
 EXTERIOR MATERIAL BOARD**

PROJECT NUMBER
22-030
 DRAWING NUMBER
DP3.1
 As indicated
 DESIGNER
 RTA
 DP DRAFTERPERSON
 RTA / SR
 BP DRAFTERPERSON

VERSION
 2024 05 01
 ISSUE DATE



1 North - DP
1 : 200



2 East - DP
1 : 200



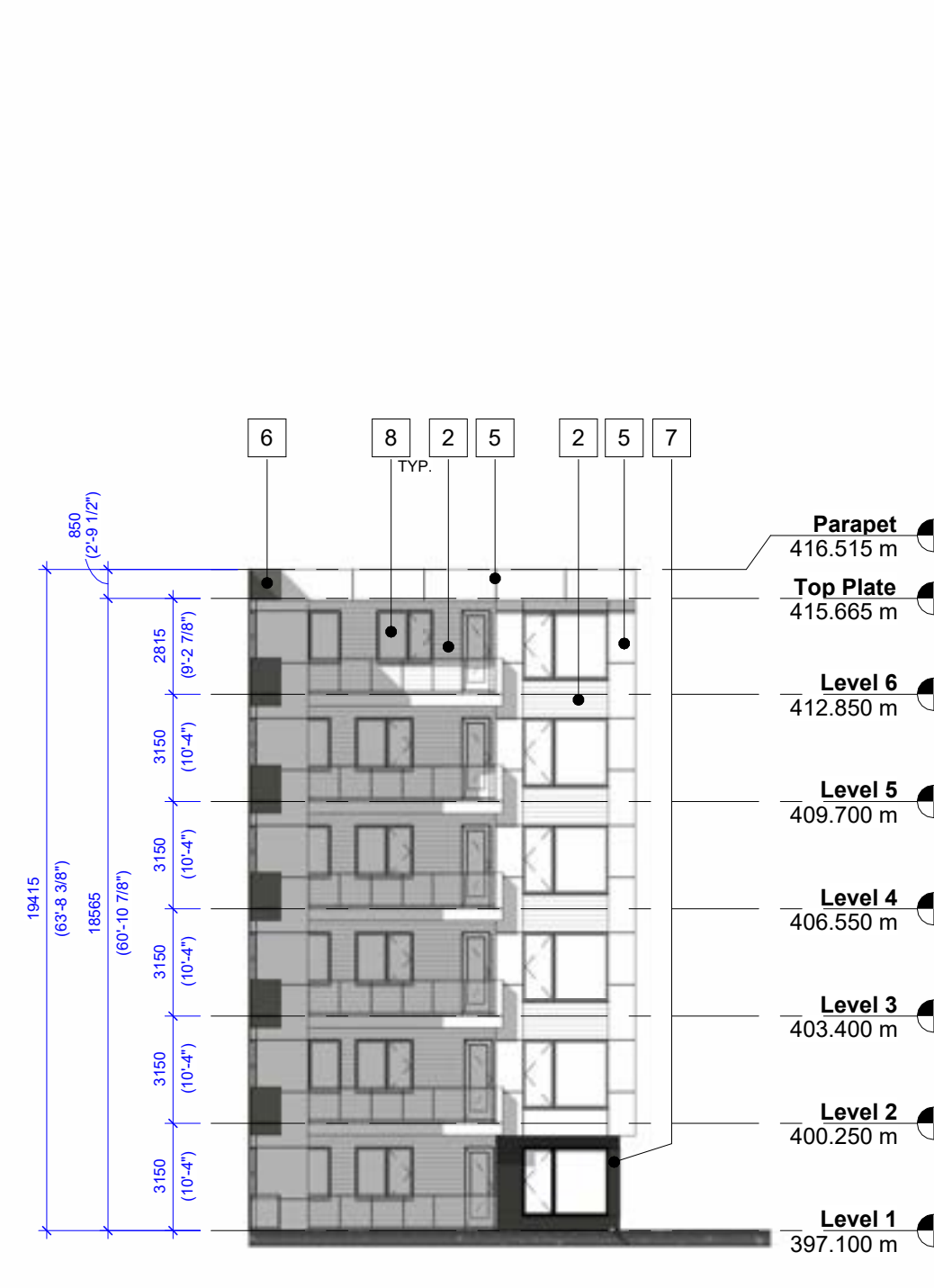
3 South - DP
1 : 200



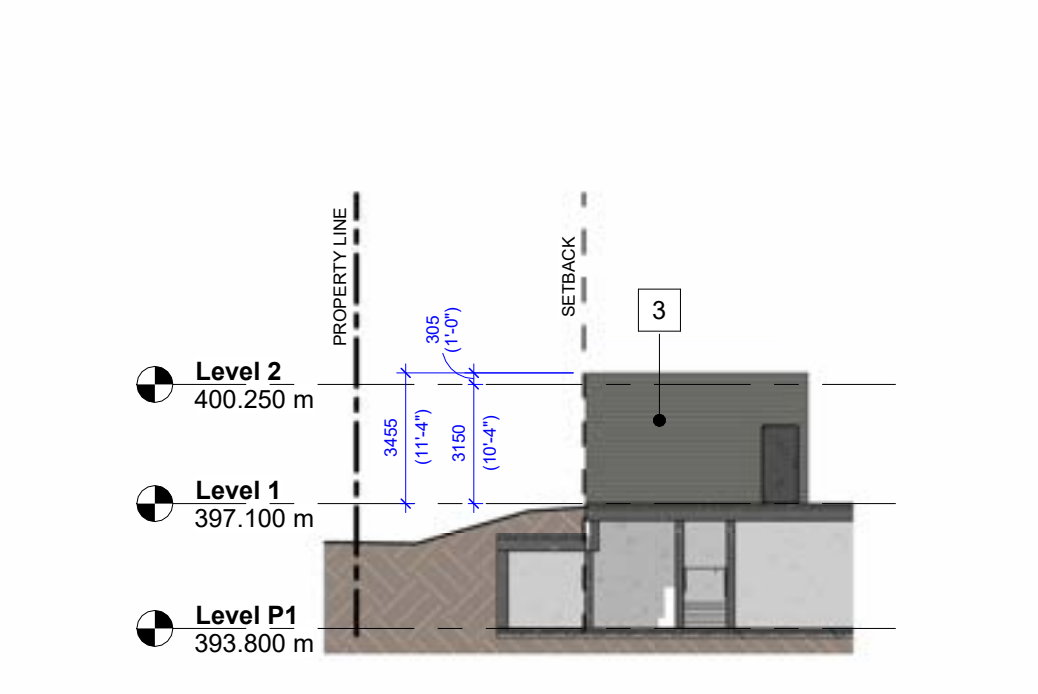
4 West - DP
1 : 200



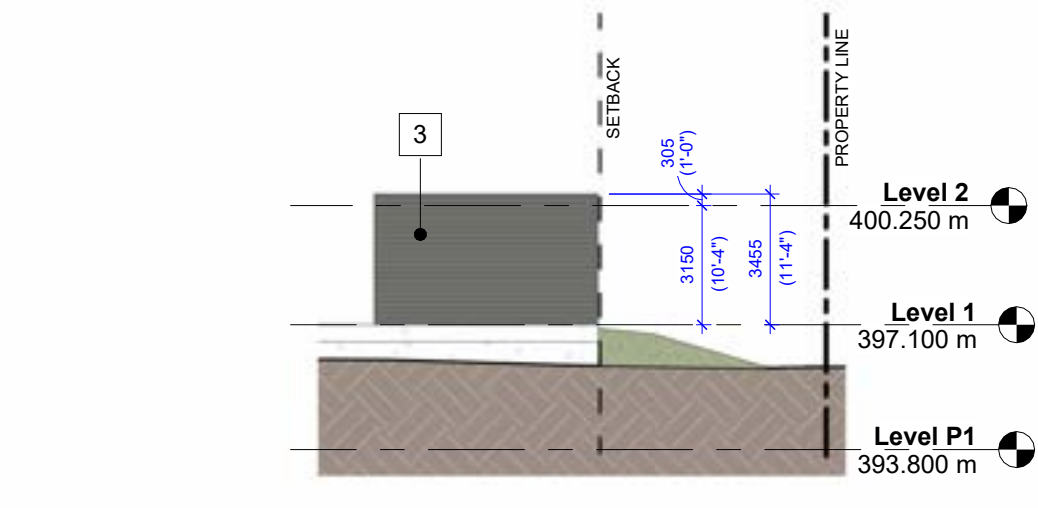
5 South (Return Wall North of Bldg Entry) - DP
1 : 200



6 North (Return Wall South of Bldg Entry) - DP
1 : 200



7 East (Parkade Stair Core Projection) - DP
1 : 200



8 West (Parkade Stair Core Projection) - DP
1 : 200

Exterior Materials		
#	Description	Colour
1	Brick	Charcoal
2	Cementitious Plank Siding	White
3	Cementitious Plank Siding	Mid Gray
4	Cementitious Plank Siding	Charcoal
5	Cementitious Panel	White
6	Cementitious Panel	Mid Gray
7	Cementitious Panel	Charcoal
8	Residential Windows & Doors	TBD
9	Metal Plank	Wood-look

2. Cementitious Panel, White

3. Cementitious Panel, Mid Gray

4. Cementitious Panel, Charcoal

5a. Metal Flashing, Window Frames, White

5b. Metal Flashing, Window Frames, Railings, Black

1. Brick Veneer, Charcoal

5. Cementitious Plank, White

6. Cementitious Plank, Mid Gray

7. Cementitious Plank, Charcoal

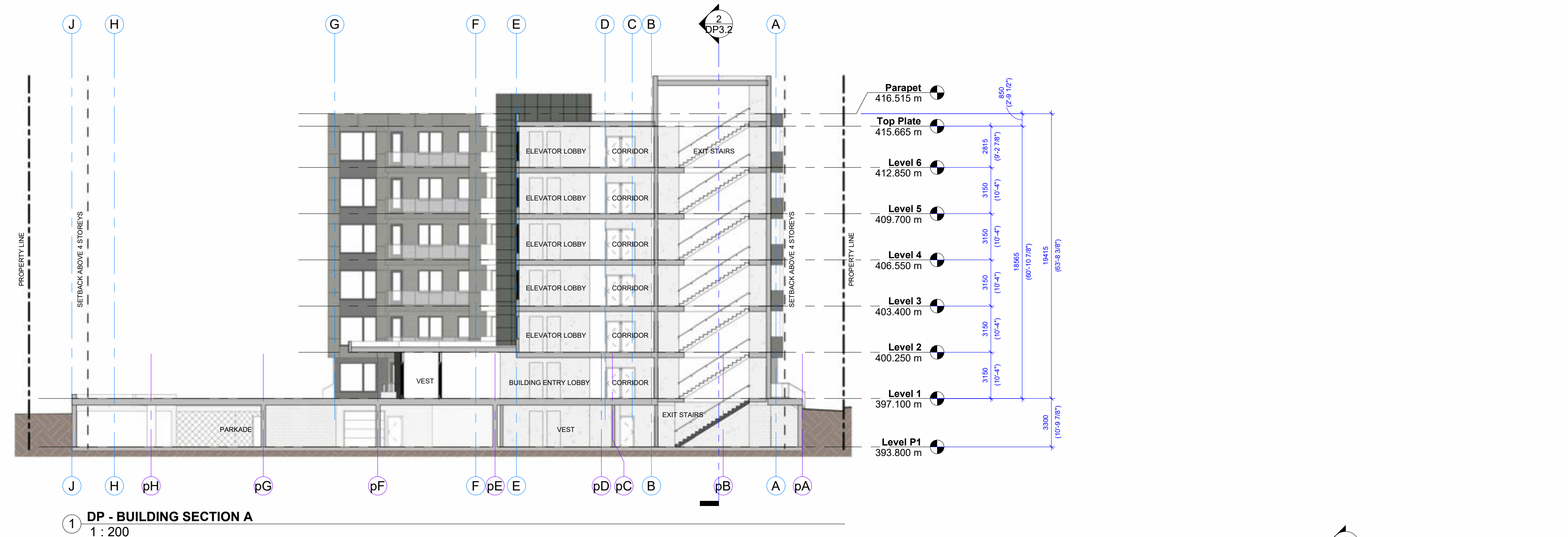
9. Wood-look Plank, Cedar

9 EXTERIOR MATERIAL BOARD

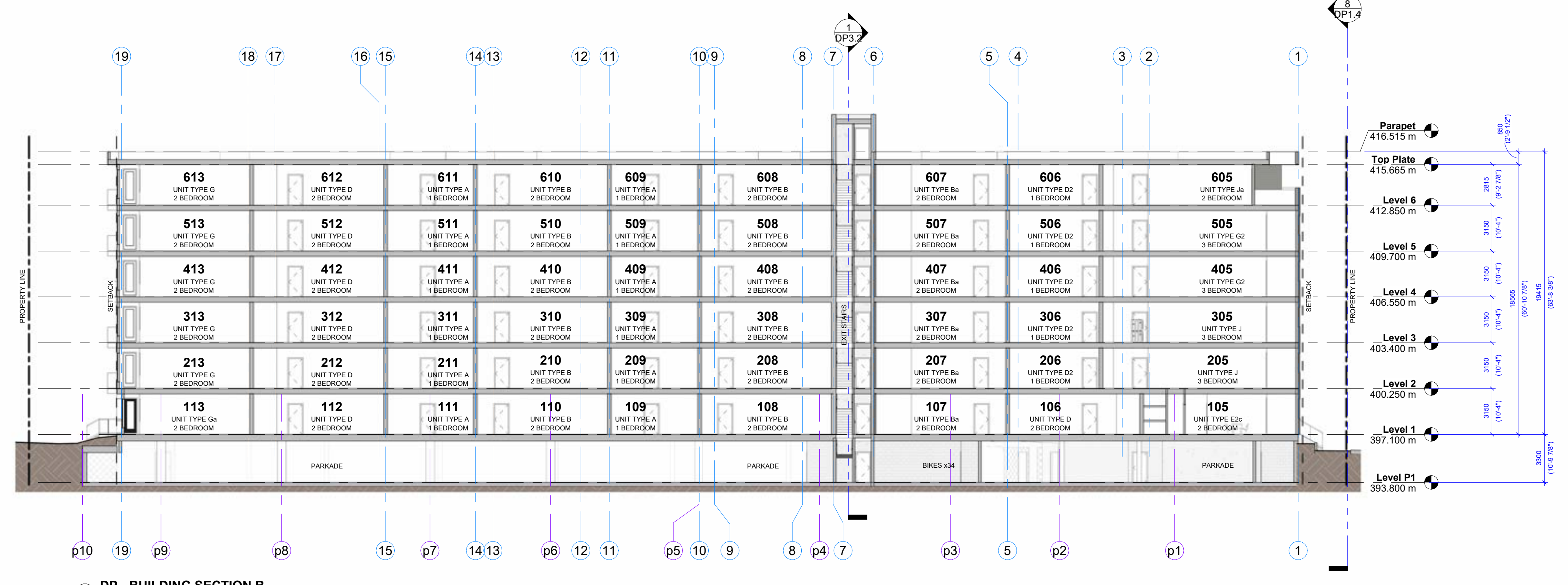
SCHEDULE B
 This forms part of application
 # DP24-0039
 Planner Initials AF
 City of Kelowna
 COMMUNITY PLANNING

REVISIONS	DATE	DESCRIPTION
1	2024 01 17	DP Issued to City
2	2024 05 08	DP Comment Response

PRELIMINARY, NOT FOR CONSTRUCTION



1 DP - BUILDING SECTION A
1 : 200



2 DP - BUILDING SECTION B
1 : 200

SCHEDULE B
This forms part of application
DP24-0039

Planner Initials: AF

City of Kelowna
CIVILIANITY PLANNING

GRAVITY ARCHITECTURE

CONTACT
Jay Wivchar
permits@gravityarchitecture.ca
P-1 (403) 243 4030

#405, 999 - 8 ST SW
Calgary AB Canada
T2R 1L5
gravityarchitecture.com



Copyright reserved. This drawing, its contents, and its design are and remain at all times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of stud unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work; this includes any errors or omissions.

PERMIT NUMBERS

PROJECT STATUS
Development Permit

PROJECT
KERR Badke Road Multi

765 Badke Rd, Kelowna, BC
Lot E, Plan KAP22268

PROJECT NUMBER	DRAWING NUMBER
22-030	DP3.2
SCALE 1 : 200	
DESIGNER RTA	CHECKED
DP DRAFTSPERSON RTA / SR	VERSION ISSUE DATE 2024 05 01
BP DRAFTSPERSON	BP ISSUE DATE



ARTIST RENDERING FOR REFERENCE ONLY.

① PROJECT RENDERING - STREET VIEW
1:1



ARTIST RENDERING FOR REFERENCE ONLY.

② PROJECT RENDERING - MAIN ENTRANCE
1:1

SCHEDULE B
This forms part of application
DP24-0039

Planner Initials AF

City of Kelowna
COMMUNITY PLANNING

#	DATE	DESCRIPTION
2024 01 17	DP Issued to City	
1	2024 05 08	DP Comment Response

GRAVITY ARCHITECTURE

CONTACT
Jay Wivchar
permits@gravityarchitecture.ca
P-1 (403) 243 4030

#405, 999 - 8 ST SW
Calgary AB Canada
T2R 1J5
gravityarchitecture.com



Copyright reserved. This drawing, its contents, and its design are and remain at all times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of stud unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work, this includes any errors or omissions.

PERMIT NUMBERS

PROJECT STATUS
Development Permit

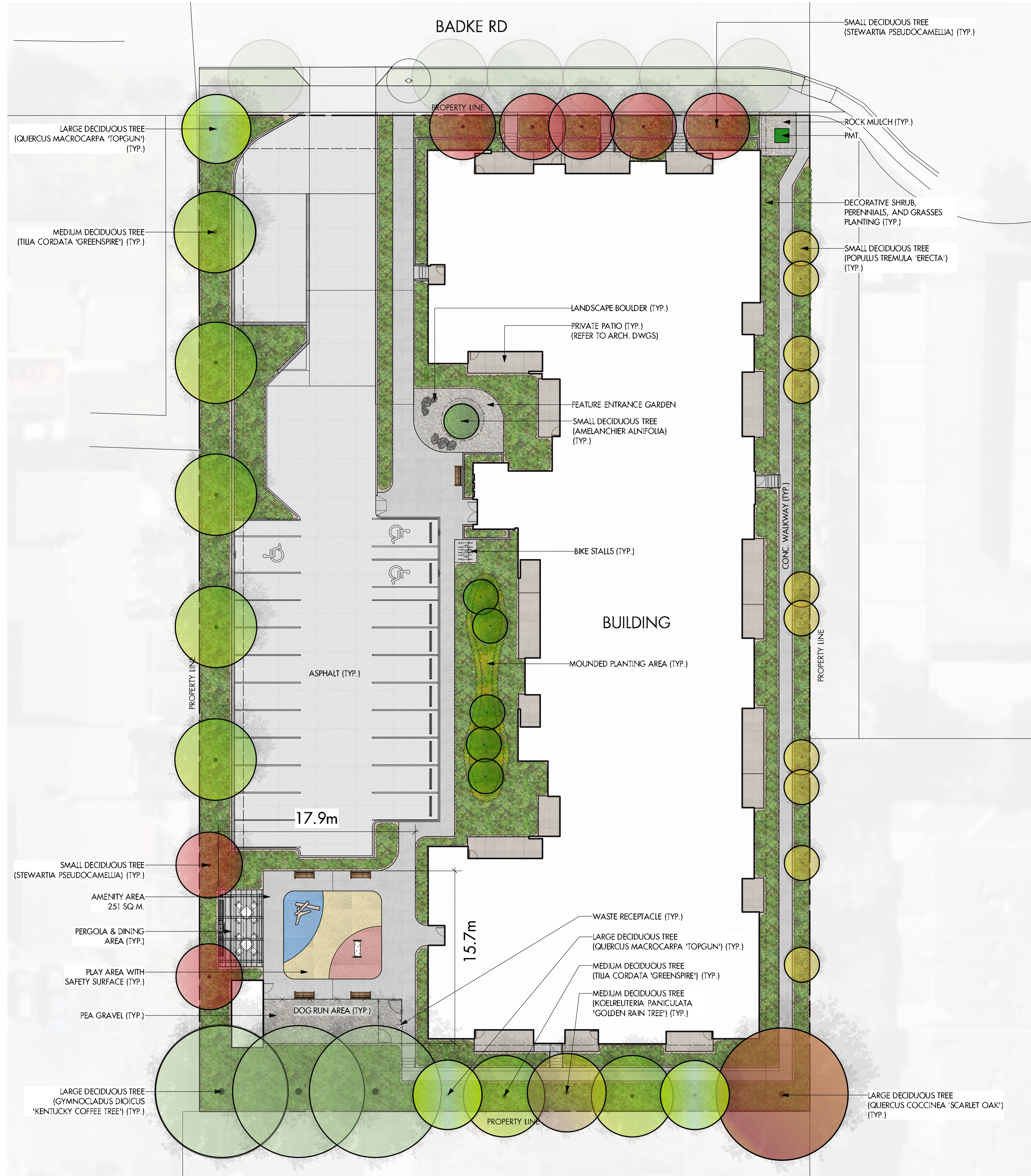
PROJECT
KERR Badke Road Multi

765 Badke Rd, Kelowna, BC
Lot E, Plan KAP22268

TITLE
PROJECT RENDERINGS

PROJECT NUMBER	DRAWING NUMBER
22-030	DP1.1
SCALE 1:1	CHECKED
DESIGNER RTA	VERSION ISSUE DATE 2024 05 01
DP DRAFTSPERSON RTA / SR	BP ISSUE DATE
BP DRAFTSPERSON	

0 5 10 15 20 25 M

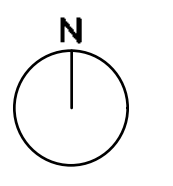


SCHEDULE C
 This forms part of application
 # DP24-0039
 Planner Initials AF
 City of Kelowna
 COMMUNITY PLANNING

ecora
 200-2045 Enterprise Way
 Kelowna, BC V1Y 9T5
 T (250) 469-9757
 www.ecora.ca

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 12375 STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TREE BEDS TO RECEIVE A MINIMUM 1000mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREA FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.
7. FOR CONFORMANCE WITH DEVELOPMENT PERMIT LANDSCAPE REQUIREMENTS, THE PRIME CONTRACTOR AND/OR CONSULTANTS RESPONSIBLE FOR SITE SERVICING AND UTILITIES SHALL ENSURE THAT ALL BUILDING PERMIT SUBMITTALS ARE COORDINATED WITH LANDSCAPE ARCHITECTURAL SUBMITTALS.



765 Badke Road

Kelowna, BC

CONCEPTUAL LANDSCAPE PLAN

NO.	DATE	DESCRIPTION
1	2024-08-12	PRELIMINARY
2	2024-08-12	CONCEPTUAL
3	2024-08-12	CONCEPTUAL
4		
5		

PLANT LIST

QUANTITIES ESTIMATED ONLY. NOT FOR PRICING

BOTANICAL NAME	COMMON NAME	QTY*	SIZE/SPACING & REMARKS
TREES			
AMELANCHIER ALNIFOLIA	SASKATOON SERVICEBERRY	6	3m CAL
GYMNOCALADUS DIOICUS	KENTUCKY COFFEE TREE	3	5m CAL
KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	1	4m CAL
POPULUS TREMULA 'ERECTA'	SWEDISH COLUMNAR ASPEN	10	3m CAL
QUERCUS COCCINEA	SCARLET OAK	1	5m CAL
QUERCUS MARCOCARPA	TOP GUN BUR OAK	3	5m CAL
STEWARTIA PSEUDOCAMILLA	JAPANESE STEWARTIA	7	3m CAL
TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	7	4m CAL
SHRUBS			
CORNUS ALBA 'SIBIRICA VARIEGATA'	SIBERIAN VARIEGATED DOGWOOD	18	#02 CONT. /2.5M O.C. SPACING
ERICAMERIA NAUSEOSA	RABBITBRUSH	28	#02 CONT. /2.0M O.C. SPACING
EUNYMIUS ALATUS COMPACTA	DWARF BURNING BUSH	49	#02 CONT. /1.5M O.C. SPACING
MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY	49	#02 CONT. /1.5M O.C. SPACING
PICEA PUNGENS 'GLOBOSA'	GLOBE BLUE SPRUCE	28	#02 CONT. /2.0M O.C. SPACING
SPRAEA TRILOBATA 'FAIRY QUEEN'	FAIRY QUEEN SPIREA	77	#02 CONT. /1.2M O.C. SPACING
SYMPHORICARPOS ALBUS	SNOWBERRY	77	#02 CONT. /1.2M O.C. SPACING
PERENNIALS, GRASSES & GROUNDCOVERS			
ACHILLEA FILIPENDULINA 'MOONSHINE'	MOONSHINE YARROW	80	#01 CONT. /0.9M O.C. SPACING
ANDROPOGON GERADII	BIG BLUESTEM	45	#01 CONT. /1.2M O.C. SPACING
CALAMAGROSIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	65	#01 CONT. /1.0M O.C. SPACING
HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	65	#01 CONT. /1.0M O.C. SPACING
MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	45	#01 CONT. /1.2M O.C. SPACING
NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	29	#01 CONT. /1.5M O.C. SPACING
PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE FOUNTAIN GRASS	29	#01 CONT. /1.5M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	29	#01 CONT. /1.5M O.C. SPACING



LS-101

NOT FOR CONSTRUCTION

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.					✓	
b. On corner sites, orient building facades and entries to both fronting streets.	✓					
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.						✓
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.					✓	
f. Avoid blank, windowless walls along streets or other public open spaces.						✓
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	✓					
h. In general, establish a street wall along public street frontages to create a building height to street width ratio of 1:2, with a minimum ratio of 11:3 and a maximum ratio of 1:1.75. <ul style="list-style-type: none"> Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets); The street wall does not include upper storeys that are setback from the primary frontage; and A 1:1 building height to street width ratio is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys. 						✓
2.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.	✓					
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.						✓
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice. 						✓



2.1.3 Site Planning	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.	✓					
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						✓
c. Limit the maximum grades on development sites to 30% (3:1)						✓
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; Incorporating terracing to create usable open spaces around the building Using the slope for under-building parking and to screen service and utility areas; Design buildings to access key views; and Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped). 	✓					
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						✓
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	✓					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						✓
2.1.4 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						✓
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						✓
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> Underground (where the high water table allows) Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage); 					✓	

<ul style="list-style-type: none"> Garages or at-grade parking integrated into the building (located at the rear of the building); and Surface parking at the rear, with access from the lane or secondary street wherever possible. 						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.	✓					
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> Landscaping; Trellises; Grillwork with climbing vines; or Other attractive screening with some visual permeability. 					✓	
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> Covered short-term parking in highly visible locations, such as near primary building entrances; and Secure long-term parking within the building or vehicular parking area. 						✓
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						✓
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.						✓
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.					✓	
2.1.5 Streetscapes, Landscapes, and Public Realm Design	N/A	1	2	3	4	5
a. Site buildings to protect mature trees, significant vegetation, and ecological features.	✓					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						✓
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						✓
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> Locating outdoor spaces where they will receive ample sunlight throughout the year; Using materials and colors that minimize heat absorption; Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and Using building mass, trees and planting to buffer wind. 						✓
f. Use landscaping materials that soften development and enhance the public realm.						✓



g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.						✓
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.	✓					
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> • Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and • Using recycled water irrigation systems. 	✓					
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	✓					
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.	✓					
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> • Minimizing light trespass onto adjacent properties; • Using full cut-off lighting fixtures to minimize light pollution; and • Maintaining lighting levels necessary for safety and visibility. 	✓					
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.						✓
2.1.6 Building Articulation, Features and Materials	N/A	1	2	3	4	5
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> • Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; • Repeating window patterns on each step-back and extension interval; • Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval. 						✓
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs. <p>Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters;</p>						✓



ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.						✓
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.						✓
f. Provide weather protection such as awnings and canopies at primary building entries.						✓
g. Place weather protection to reflect the building's architecture.						✓
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.	✓					
i. Provide visible signage identifying building addresses at all entrances.	✓					

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
4.1 Low & mid-rise residential & mixed use guidelines						
4.1.1 Relationship to the Street						
i. Ensure lobbies and main building entries are clearly visible from the fronting street.					✓	
j. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> • Locating enclosed parking garages away from street frontages or public open spaces; • Using ground-oriented units or glazing to avoid creating dead frontages; and • When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting. 						✓
Residential & Mixed Use Buildings						
k. Set back residential buildings on the ground floor between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio. <ul style="list-style-type: none"> • A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways. • Exceptions can be made in cases where the water table requires this to be higher. In these cases, provide a larger patio and screen parking with ramps, stairs and landscaping. 						✓



l. Incorporate individual entrances to ground floor units accessible from the fronting street or public open spaces.						✓
m. Site and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						✓
4.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.						✓
b. Residential buildings should have a maximum width of 24 m.						✓
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.						✓
4.1.3 Site Planning	N/A	1	2	3	4	5
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.	✓					
b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> • Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and • Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access. 						✓
c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.	✓					
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	✓					
4.1.4 Site Servicing, Access and Parking	N/A	1	2	3	4	5
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimised; and • There is no more than one curb cut per property. 					✓	
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.	✓					
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: <ul style="list-style-type: none"> • Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and 						✓



<ul style="list-style-type: none"> Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized. 						
4.1.5 Publicly-Accessible and Private Open Spaces	N/A	1	2	3	4	5
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	✓					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.						✓
Outdoor amenity areas						
c. Design plazas and urban parks to: <ul style="list-style-type: none"> Contain 'three edges' (e.g. building frontage on three sides) where possible and be sized to accommodate a variety of activities; Be animated with active uses at the ground level; and Be located in sunny, south facing areas. 						✓
d. Design internal courtyards to: <ul style="list-style-type: none"> Provide amenities such as play areas, barbecues, and outdoor seating where appropriate. Provide a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users. 						✓
4.1.6 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: <ul style="list-style-type: none"> Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade; Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade; Providing a porch, patio, deck, or covered entry for each interval; Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; Changing the materials with the change in building plane; and Provide a lighting fixture, trellis, tree or other landscape feature within each interval. 						✓
b. Break up the building mass by incorporating elements that define a building's base, middle and top.						✓
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.						✓
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create						✓



depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.					
e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.	✓				
f. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.					✓
g. Avoid the following types of signage: • Internally lit plastic box signs; • Pylon (stand alone) signs; and • Rooftop signs.	✓				
h. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓				



January 19, 2024

City of Kelowna
Development Planning
1435 Water Street
Kelowna, BC V1Y 1J4

Attn: To Whom It May Concern

RE: DP Application for multi-family development located at 765 Badke Road

Applicant's Design Rationale Statement

The purpose of this statement is to:

- provide an explanation of the proposal/project and how it fits with the surrounding context,
- identify and provide rationale for any variation from the relevant City of Kelowna policies, and
- identify and provide rationale for any proposed relaxations to the Zoning Bylaw.

Site and Land Use

The proposed site use is permitted under the UC4 - Rutland Urban Centre zone and, therefore, does not require Land Use amendment.

Adjacent developments and boundary conditions include:

- Badke Road to the north
- UC4 zoned, 4-storey multi-family development to the east
- Pathways Abilities Society, P1 zone (EDINST), to the south
- UC4 zoned, 2-storey townhouse development to the west



GRAVITY ARCHITECTURE

Stephen Barnecut Architect, AAA AIBC MArch MRAIC, Principal
Trent Letwiniuk AT, Principal Jim Vasto Architect AIBC BArch LEED AP, Principal

Site Layout

The proposed development includes one 6-storey multi-family residential building with a total of 120 dwelling units.

The building is positioned on the site to maximize density, minimize shadowing on adjacent multi-family developments, capitalize on the Badke Road street edge adjacency, and address limited vehicle access and common resident amenity opportunities.

A wide sidewalk leading up into the inner courtyard and main entrance area provides clear and direct access for pedestrians and cyclists from the public sidewalk along Badke Road. Additionally, individual sidewalk access is provided for the street-oriented units along Badke Road.

We feel that the current configuration effectively balances these considerations and provides a clearly accessible, user-friendly, and safe environment for both future residents and visitors.

Vehicle Access and Loading

Primary vehicle access is proposed at the northwest corner of the site from Badke Road. All vehicles accessing the site will enter from Badke Rd and all will need to exit from the same location. This includes fire truck access to within 15 metres of the front entrance.

Visitor and some resident parking is proposed at-grade with the remainder of resident parking proposed underground on one-level of parkade. Barrier-free stalls are located both at-grade and on the parkade level.

The developer has agreed to provide two (2) EV charging stalls in the parkade.

Short-term bicycle parking is provided at the main entrance and all long-term stalls are in the parkade.

Landscape Design

The landscape design for the site provides clearly defined connections to the building while also linking strategically located amenity spaces. These spaces have been located to optimize sun exposure and offer opportunities for social gathering. Pattern, form and texture, and colour create attractive spaces along the green areas. Architecture articulation, sidewalks, and planting combine to clearly define a series of key areas around the building.

Planting proposed for the site will provide sustainable design solutions which will enhance the residential environment and contribute to local biodiversity potential.



Building Design

The exterior design concept for the development evokes a contemporary, warm, and inviting multi-residential architectural aesthetic.

This large multi-family building has been resolved into smaller, interlocking architectural volumes that are strategically clad with distinct colours and materials. These volumes are cleverly articulated to add visual interest to the architecture and incorporate building elements such as balcony and roof overhangs.

A protruding volume with a strong canopy reaches out towards the at-grade parking to effectively announce the main pedestrian access to the building. This architectural gesture works with the landscaping to provide a clearly marked and welcoming entrance condition.

A special height step-back feature has been incorporated into the top floor of the north and west facades to reduce the perceived overall height of the building along Badke Rd and in the inner courtyard entrance area. Please note: Special consideration has been given to neighbouring properties by maintaining the 4-metre step back below 16 metres along the side property lines.

The exterior finishes will be durable low-maintenance quality materials. Brick and horizontally oriented cementitious plank is proposed to provide texture, interest, and human scale to the facades. Additional materials proposed include complimentary cementitious panels as well as wood-look soffits to add warmth to the balcony and roof overhangs. The contemporary aesthetic is further reinforced with both black and white window frames coordinated with the varying colour and material of the respective architectural volumes.

Policies (and Variations)

2040 Official Community Plan (OCP)

The proposed project fundamentally meets the goals of 2040 Official Community Plan with specific attention given to the Chapter 18 section outlining urban design guidelines for low and midrise buildings.

Urban Centres Roadmap

The project team has reviewed and considered the Urban Centres Roadmap in the development of the site.

GRAVITY ARCHITECTURE

Stephen Barnecut Architect, AAA AIBC MArch MRAIC, Principal
Trent Letwiniuk AT, Principal Jim Vasto Architect AIBC BArch LEED AP, Principal



Bylaw (and Relaxations)

The project team has strived to propose a development that meets the current zoning bylaw and, therefore, does not request any bylaw relaxations at this time.

Engagement

Our engagement included ongoing bylaw compliance correspondence with Andrew Ferguson, Planner II, with the City of Kelowna.

A pre-application meeting was held on April 24, 2023. The pre-application comments have been carefully reviewed and considered in the preparation of this development permit application.

If you wish to contact me regarding this application, please reach me at richard@architecture.ca or by telephone at 1 (403) 618-1105.

Best regards,

Richard Anderson
Project Architect
Gravity Architecture Corporation

Tenant Relocation and Assistance Program

765 Badke Rd, Kelowna BC



Program Summary Table

The table below summarizes the compensation and assistance Kerr Properties 002 Ltd is offering through this program and how it compares to what Tenants are entitled to through the Residential Tenancy Act.

Compensation & Assistance	Kerr Properties 002 Ltd.	Residential Tenancy Act
Notice Period	4 Months	4 Months
Compensation	3 Months' rent	1 Month rent
Damage Deposit Returned early	✓	X
Moving Allowance (\$500)	✓	X
Weekly Rental Listings	✓	X
Tenant Relocation Coordinator	✓	X
Link to BC Housing Programs	✓	X

1. Development Summary

Following approval by the City of Kelowna, the Redevelopment of 765 Badke Rd will replace the existing 53-year-old, 18-unit apartment building at the end of its economic life with a new six storey, 117-unit purpose built rental building complete with 1 bed, 2 bed, and 3 bedroom units, underground parking, children’s play area, dog run, and built to modern BC Building code standards.

The existing building is currently home to seven (7) tenants with eleven (11) vacant units and will be demolished following Tenant relocation in accordance with this program.

2. Purpose

This program has been specifically designed for the tenants of 765 Badke Rd, Kelowna BC and was created to assist Tenant’s in finding alternative housing and to help mitigate the challenges Tenants experience when facing relocation.

Kerr Properties 002 Ltd, hoped to wait until the City of Kelowna implemented a Tenant Relocation Policy before issuing this Notice to End Tenancy, however, due to the delays in this policy being adopted by City Council and the fact that the building is well beyond its economic life, and no longer sustainable, Kerr Properties is forced to serve notice to end tenancy for demolition now, and in accordance with the Residential Tenancy Act.

FOR TENANTS

All tenants should understand their rights under the British Columbia Residential Tenancy Act. British Columbia’s Residential Tenancy Act (RTA) regulates all tenancies in residential units across the province. It is essential for both landlords and tenants to understand their rights and responsibilities under the RTA.

The Tenant Relocation and Assistance Program does not replace requirements set out in the RTA. Instead, this program is intended to supplement the RTA to support Tenants impacted by redevelopment. For more information on the RTA, please refer to the [Residential Tenancy Branch's website](#).

3. Residential Tenancy Act Legislation

Section 49 of the Residential Tenancy Act outlines the requirements of a Landlord when serving Tenants with a Notice to End Tenancy for the Landlord’s use of property / Demolition of a Rental Unit. These requirements are as follows:

1. The Landlord must intend in good faith to accomplish the purpose for ending your tenancy.
2. Prior to a landlord serving Form #RTB-29 “Four Month Notice to End Tenancy for Demolition of a Rental Unit”, the Landlord must have all permits and approvals required by law for the Demolition of the Building.
3. The Landlord must provide you with a minimum of four months’ notice to move out.
4. The Landlord must compensate you with an amount equal to one (1) month’s rent.

Please see #RTB-29 “Four Month Notice to End Tenancy for Demolition or Conversion of a Rental Unit and Section 49 of the Residential Tenancy Act for more information.

4. Additional Compensation from Kerr Properties 002 Ltd.

In addition to the requirements set out by the Residential Tenancy Act as outlined above, Kerr Properties understands the impacts of eviction and the difficulties tenants will face with relocating and endeavor to mitigate these challenges by providing tenants with additional compensation as follows:

1. Return of your Damage Deposit early to help you secure new housing – Provided one (1) month after notice to end tenancy.
2. One-time \$500 moving allowance payment – Provided one (1) month after notice to end tenancy and confirmation by the Tenant of new housing being secured.
3. An additional two (2) months rental compensation – Paid upon move out on or before the Effective Date of Notice. *See important notes on the next page**

** All tenants are eligible to receive the additional compensation only if the Tenant continues to adhere to all obligations of their Rental Agreement and Residential Tenancy Act including but not limited to the following:*

- 1. Continued and on time payment of rent each month except for the fourth and final month of your tenancy.*
- 2. Full and peaceable vacant possession of the Rental Unit on or before the effective date of the notice.*

The additional compensation being offered is not payable if Kerr Properties 002 Ltd is forced to defend the Notice to End Tenancy through any dispute resolution proceeding, civil claim, or human rights claim brought forth by the tenant, or if Kerr Properties is forced to seek a Writ of Possession through the Supreme court and use of a Bailiff to re-take possession of the rental unit.

Tenants are still eligible to receive the additional compensation even if they elect to move out earlier than the effective date of the notice.

5. Additional Tenant Assistance

In addition to all other assistance provided to Tenants through this program and the Residential Tenancy Act, Kerr Properties has designated a staff member as our Tenant Relocation Coordinator with extensive experience and knowledge of the local rental housing market, Provincial housing programs, and working with Tenants who are vulnerable or who may have complex needs.

The Tenant Relocation Coordinator will be the single point of contact for all Tenants and will be responsible for implementation of this program in addition to providing assistance to Tenants including but not limited to the following:

- Weekly listing of market rentals via email and posting on the building's bulletin board
- Provide reference letters as appropriate.
- Link Tenants to BC Housing programs where appropriate.
- Keep Tenants informed as the process progresses.

All communications and queries shall be directed in writing to the Kerr Properties Relocation Coordinator.

Relocation Coordinator: Jessica Tindall

Mailing Address: BLDG A – 5350 272nd Street, Langley BC, V4W 1S3

Email: jessica.tindall@kerrproperties.ca

Phone: 250-258-2800

6. Additional Resources

a. Market Housing Websites

Castanet - <https://www.castanet.net/>

Facebook Marketplace - <https://www.facebook.com/login/?next=%2Fmarketplace%2F>

Kijiji - <https://www.kijiji.ca/>

Craigslist - <https://kelowna.craigslist.org/>

Home Finders - <https://www.homefinders.rentals/>

b. Market Housing with Subsidy Websites

BC Housing - <https://www.bchousing.org/>

Now Canada - <https://www.nowcanada.ca/>

CMHA Kelowna - <https://cmhakelowna.com/>

Foundry - <https://foundrybc.ca/kelowna/>

Ki-Low-Na Friendship Society - <http://www.kfs.bc.ca/>

BC Housing SAFER Program- <https://www.bchousing.org/housing-assistance/rental-assistance-programs/SAFER>

BC Housing RAP Program - <https://www.bchousing.org/housing-assistance/rental-assistance-programs/RAP>

c. Local Moving Companies

Packrat Movers Kelowna – 250-869-7479

Two Small Men with Big Hearts – 250-861-5030

Brett and Buddies – 250-469-4550

Great little Moving Company – 250-317-9916

2 burley Men Moving Ltd – 250-859-8362



Building & Permitting
 1435 Water Street
 Kelowna BC V1Y 1J4
 Tel 250 469-8960
 Fax 250 862-3314

Permit Number: BP 73039

ATTACHMENT D	
This forms part of application	
# DP24-0039	
Planner Initials	AF
	

Building Permit

Authorizing
Demolition

765 Badke Rd

Lot E Plan KAP2226

DEMOLITION 18 UNIT APARTMENT

Customer Type: Applicant Contractor Contractor Type: Licenced Owner

Name: King Hoe Excavating Ltd (MBL 61933 WK 24)
 2423 Apollo Rd
 West Kelowna, BC
 V4T1P7

Contact: Jason Magnus

Permit Conditions:

- 1 a) Final inspection required.
- b) Ensure all utilities are disconnected and capped off prior to demolition.
- c) Mixed loads of demolition and construction waste are subject to additional fees as per Solid Waste Management Regulation Bylaw #10106. Please contact the Glenmore Landfill at 469-8961 for further information.
- d) Ensure conformance to Part 8 of the current BC Building Code and the maintenance of public safety. A hoarding/road usage permit will be required should public safety be compromised. Contact Yards at 469-8931 to obtain the road usage permit.
- e) Site to be left in a neat and tidy condition.
- f) All work to be completed to the satisfaction of the Building Inspector. A written statement indicating the abatement was conducted to WCB regulations and any other governing bodies is required at final inspection. The address, contractor and and description of work shall be addressed in the statement.

Issued By: Tammy Fowlow

Issue Date: 2024-05-31

Building Bylaw No. 7245

This permit is issued under the provisions of the City of Kelowna Bylaw and amendments thereto and is in accordance with the Application on file in this office.

The granting of this permit does not relieve the applicant, occupier or owner from conforming to all requirements of every pertinent bylaw and regulation enforced within the City of Kelowna and the approval of any plans or specifications in support of an application for this permit likewise does not excuse the applicant, occupier or owner from conforming to every bylaw and regulation.

All water meters are the property of the Water Purveyor. Failure to recover the water meter prior to demolition will result in extra charges to the property owner for the unrecovered water meter.

CUSTOMER'S COPY

Mark Facca Building Inspector 250-469-8633

Owners or agents are required to request an inspection 24 hours in advance of the inspection date.

Call For Inspection: 250 469-8977 or Book Online at www.kelowna.ca



City of
Kelowna

DP24-0039
765 Badke Rd

Development Permit

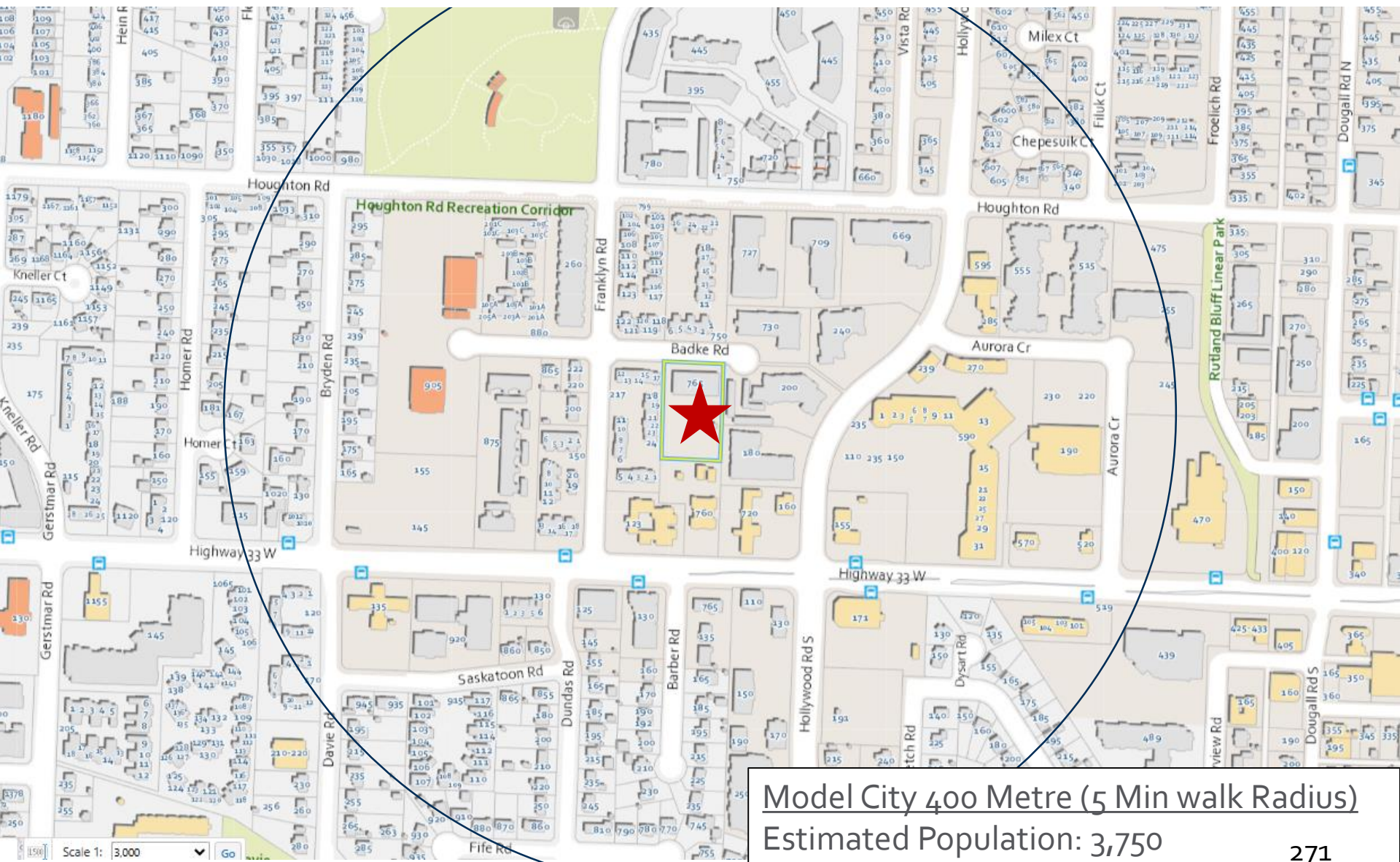
Purpose

- ▶ To issue a Development Permit for the form and character of a rental apartment housing development.

Development Process

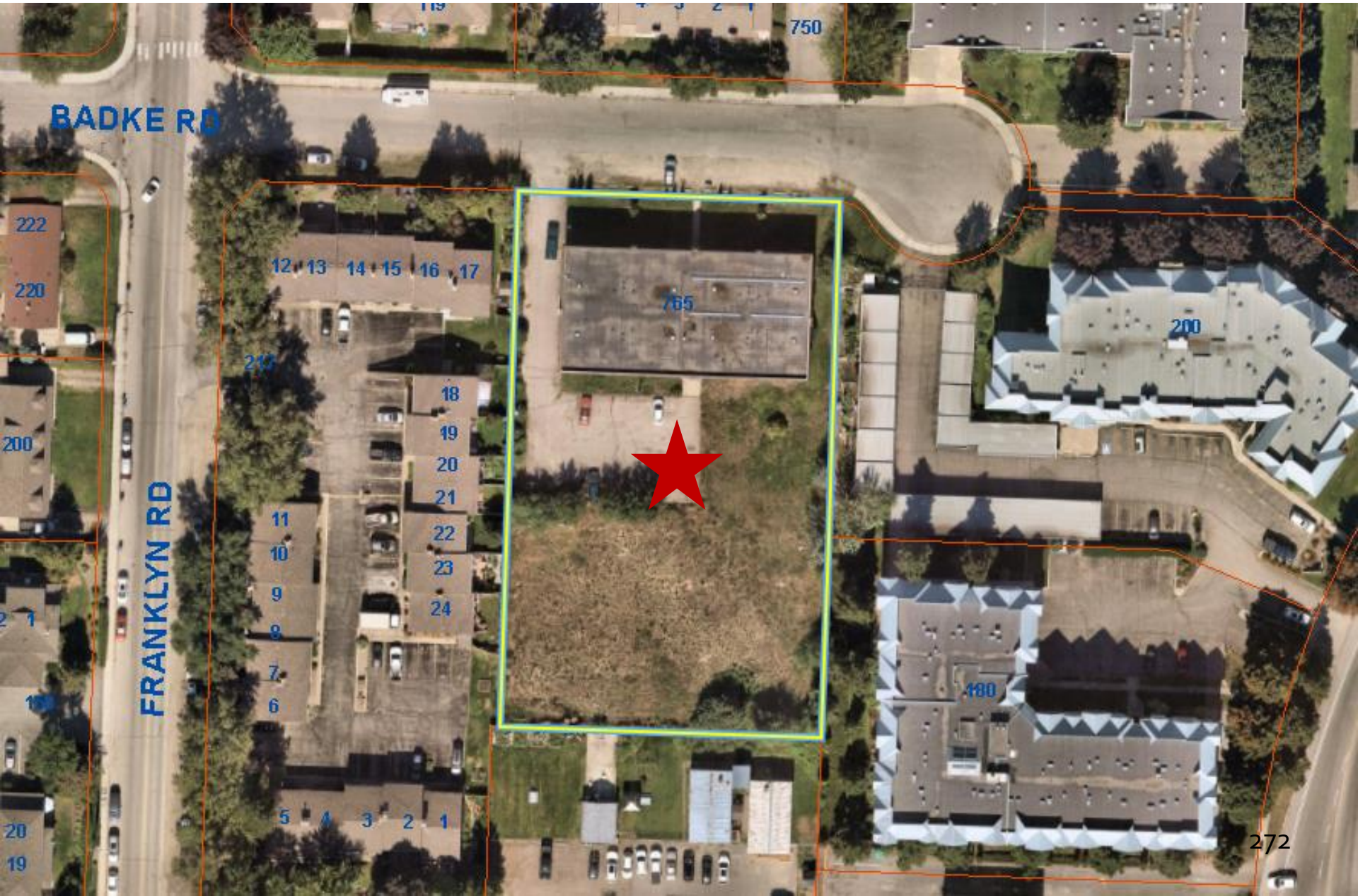


Context Map



Model City 400 Metre (5 Min walk Radius)
Estimated Population: 3,750
Estimated Jobs: 1,452

Subject Property Map



Site Photos

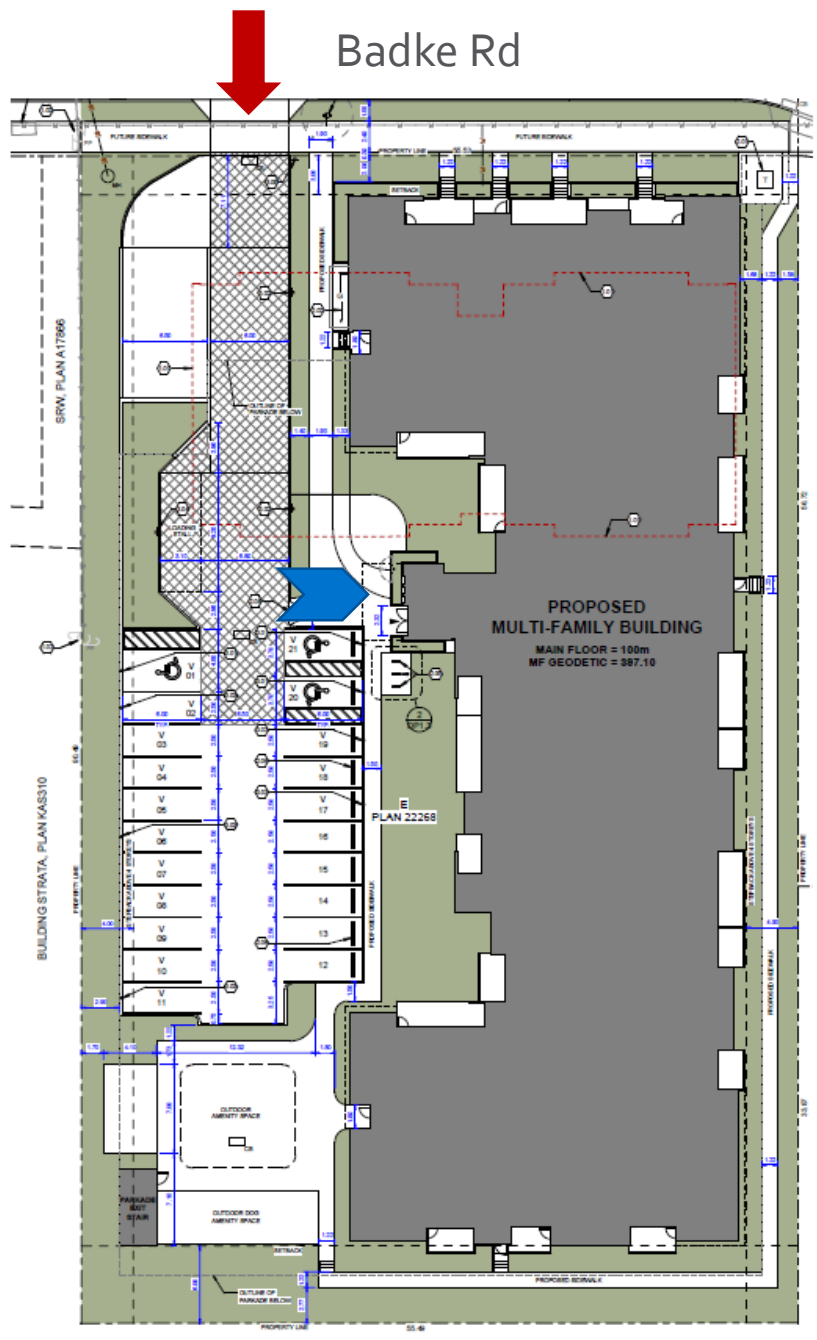


Technical Details

UC_{4r} – Rutland Urban Centre Rental Only

- ▶ 120 units
 - ▶ 30 One-bedroom
 - ▶ 76 Two-bedroom
 - ▶ 14 Three-bedroom
- ▶ 6 storeys in height
- ▶ 134 Parking Stalls
- ▶ 100 Bicycle Parking Stalls

Site Plan



Elevation – North

Adjacent property



Adjacent property

Elevation – West

Badke Rd



Elevation – East



Badke Rd

Elevation – North

Adjacent property



Adjacent property

Materials Board



Cementitious Panel, White



Cementitious Panel, Mid Gray



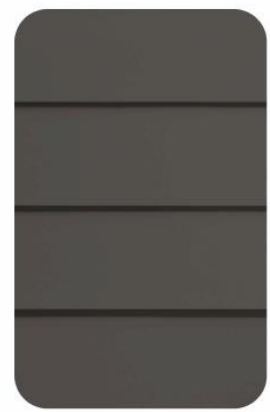
Cementitious Panel, Charcoal



Cementitious Plank, White



Cementitious Plank, Mid Gray



Cementitious Plank, Charcoal



Brick Veneer, Charcoal

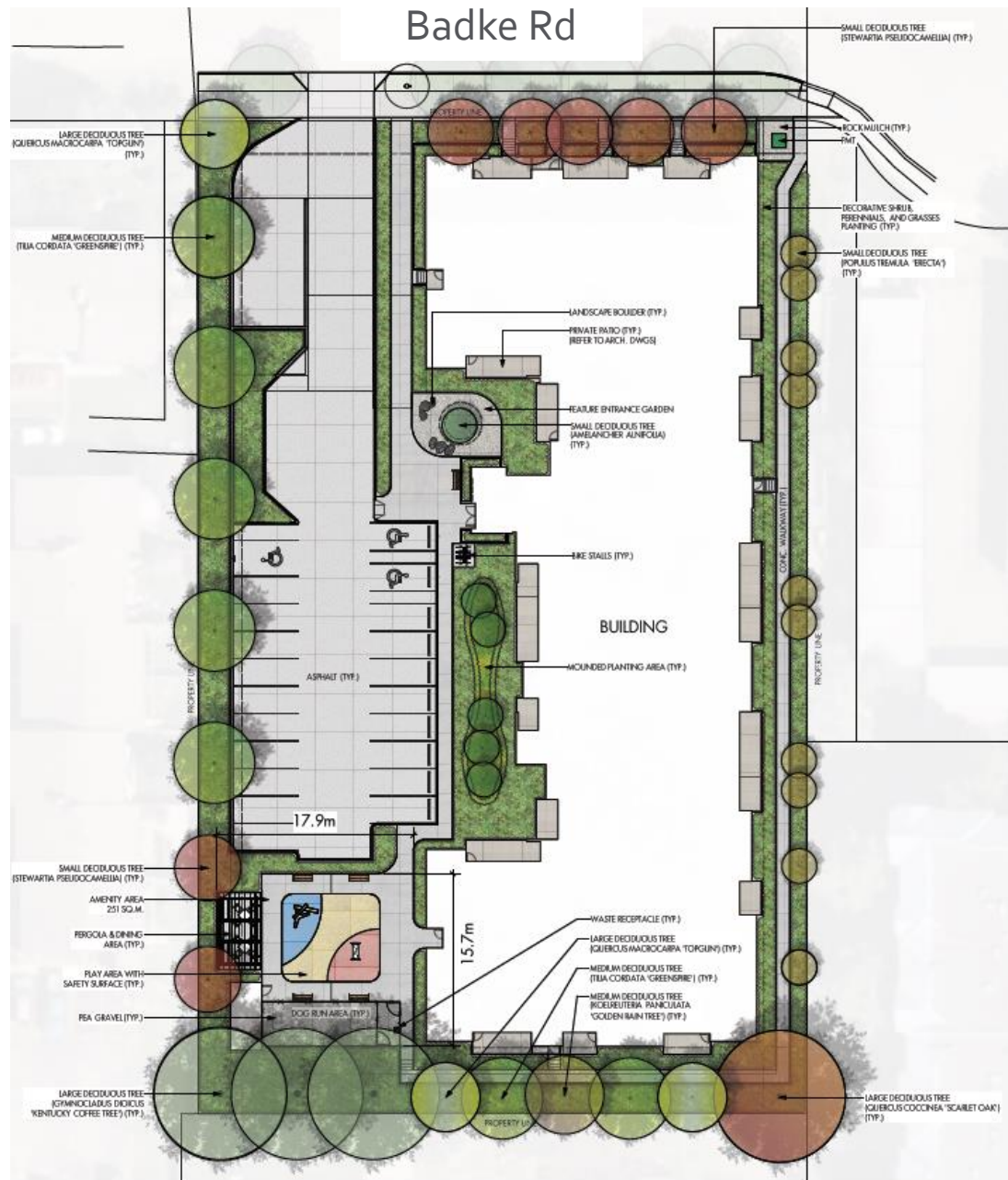


Metal Flashing, Window Frames, Railings, Black



Wood-look Plank, Cedar

Landscape Plan



Rendering – Southeast View



Rendering – Apartment Entry



Applicant Tenant Relocation & Assistance Program

Compensation & Assistance	Kerr Properties 002 Ltd.	Residential Tenancy Act
Notice Period	4 Months	4 Months
Compensation	3 Months' rent	1 Month rent
Damage Deposit Returned early	✓	X
Moving Allowance (\$500)	✓	X
Weekly Rental Listings	✓	X
Tenant Relocation Coordinator	✓	X
Link to BC Housing Programs	✓	X

OCP Design Guidelines

- ▶ Orienting primary building facade toward the street to create street edge definition and activity
- ▶ Breaking up building massing by providing simple vertical and horizontal articulation
 - ▶ including stepbacks, insets, projections, colour and texture
- ▶ Locating balconies and windows on the front building facade to create an active frontage and 'eyes on the street'

Staff Recommendation

- ▶ Staff recommend **support** for the proposed development permit as it:
 - ▶ Meets majority of OCP Design Guidelines
 - ▶ Supports Healthy Housing Strategy (Rental Housing)
 - ▶ No variances

REPORT TO COUNCIL EXTENSION



Date: February 10, 2025
To: Council
From: City Manager
Address: 673 Hollywood Rd N & 595 McWilliams Rd
File No.: Z23-0083

	Existing	Proposed
OCP Future Land Use:	C-NHD – Core Area Neighbourhood	C-NHD – Core Area Neighbourhood
Zone:	MF1 – Infill Housing	MF2 – Townhouse Housing

1.0 Recommendation

THAT in accordance with Development Application and Heritage Procedures Bylaw No. 12310, the deadline for the adoption of Rezoning Bylaw No. 12628, be extended from March 18, 2025, to March 18, 2026.
 AND THAT Council direct Staff to not accept any further extension requests.

2.0 Purpose

To extend the deadline for adoption of Rezoning Bylaw No. 12628 to March 18, 2026.

3.0 Discussion

Rezoning Bylaw No. 12628 received first, second and third readings at a Regular Meeting of Council on March 18, 2024. Final adoption of the rezoning bylaw is subject to the applicant meeting the requirements of the Attachment "A": Development Engineering Memorandum. The applicant has requested additional time to complete the outstanding requirements. Staff are recommending that Council supports extending the deadline for the adoption for the Rezoning Bylaw No. 12628 by one year to March 18, 2026, with no further extension requests granted.

Subject Property Map: 673 Hollywood Rd N & 595 McWilliams Rd



4.0 Application Chronology

Application Accepted: December 4, 2023
Reading Consideration: March 18, 2024
Date of Extension Application Received: January 15, 2025

Report prepared by: Kimberly Brunet, Planner Specialist
Reviewed by: Dean Strachan, Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

CITY OF KELOWNA
BYLAW NO. 12708
Z24-0029
1256, 1260, 1270 Glenmore Drive

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of:
 - a. Lot B Section 29 Township 26 ODYD Plan KAP47536, located on Glenmore Drive, Kelowna, BC;
 - b. Lot 2 Section 29 Township 26 ODYD Plan 26500, located on Glenmore Drive, Kelowna, BC; and
 - c. Lot 1 Section 29 Township 26 ODYD Plan 26500, located on Glenmore Drive, Kelowna, BC

from the MF1 – Infill Housing zone to the MF3 – Apartment Housing zone.

2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 28th day of October, 2024.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 12737
Z24-0054
1230 Brookside Avenue

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 1 District Lot 137 ODYD Plan 4386, located on Brookside Avenue, Kelowna, BC from the UC2 – Capri-Landmark Urban Centre zone to the UC2r – Capri-Landmark Urban Centre Rental Only zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 27th day of January, 2025.

Approved under the Transportation Act this 28th day of January, 2025.

Damian Kusiak

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA

BYLAW NO. 12738

Z24-0052

2009 Enterprise Way

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 1 District Lot 140 ODYD Plan 27785, located on Enterprise Way, Kelowna, BC from the CA1 – Core Area Mixed Use zone to the CA1rcs – Core Area Mixed Use Retail Cannabis Sales zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 27th day of January, 2025.

Approved under the Transportation Act this 28th day of January, 2025.

Damian Kusiak

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Report to Council



Date: February 10, 2025
To: Council
From: City Manager
Subject: Proposed Renaming of a Section of Frost Road to Frost Crescent
Department: Development Planning

Recommendation:

THAT Council receive, for information, the report from the Development Planning Department dated February 10, 2025 recommending the renaming of a section of Frost Road as shown on "Attachment A" attached to this report;

AND THAT staff be directed to provide notice of the proposed road name change to affected property owners in accordance with Council Policy No. 363 – Naming, Street Naming, Address Changes and Compensation;

AND FURTHER THAT staff be directed to bring forward the necessary Road Name Change Bylaw for further consideration.

Purpose:

To rename a portion of Frost Road to Frost Crescent to ensure continuity in the City's addressing grid.

Background:

The construction of a new Frost Road connection to Chute Lake Road is a transportation project identified in the Official Community Plan (OCP) and Transportation Master Plan (TMP). This project is already underway and will be completed in the fall of this year. The road construction will result in a change in the existing road structure, severing the northern loop of Frost Road from what will become the main road going west directly to Chute Lake Road.

Two properties with three addresses are impacted by the proposed new road naming change: 4895, 4915 & 4923 Frost Road. These three addresses will change under the proposal to 4895, 4915 & 4923 Frost Crescent. In accordance with Council Policy No. 363, the affected property owners will be notified of the proposed road name change and will have an opportunity to submit written comments to Council before the road name change bylaw is brought forward for reading consideration.

The road name change is necessary to ensure continuity in the City's addressing grid which in turn serves to help emergency service responses and public wayfinding.

The Development Planning Department is in full support of the name change as it is a change to the suffix, from Road to Crescent, and does not alter the name itself.

Internal Circulation:

Addressing Clerk

City Clerk

Infrastructure Delivery Department

Data Services

Analytics Department

Existing Policy:

Council Policy 363 Naming, Street Naming, Address Changes and Compensation

Financial/Budgetary Considerations:

Costs Associated with this road name change are budgeted for the Frost Road Extension construction project.

External Agency/Public Comments:

Circulation to Canada Post is required prior to change occurring.

Communications Considerations:

Communication to impacted property owners by registered mail will be undertaken.

Submitted by:

D. Strachan, Development Planning Manager

Approved for inclusion:

R. Smith, Divisional Director, Planning, Climate Action & Development Services

Attachments:

Attachment A: Map

cc:

Derek Corning, Project Manager, Infrastructure Delivery Department

Attachment A



Road Section to be renamed to Frost Crescent

New Road Section to be built



City of
Kelowna

Street Re-Naming

Frost Road Re-Alignment 2025

Frost Road Re-Alignment Project Triggers Road Name Changes

- New Frost Road alignment complete in fall 2025
- Alignment triggers street naming change
 - Change Frost Road Alignment
 - Add new Frost Ct.
- 3 steps
 - Council Direction to proceed
 - Impacted property owner notification
 - Road names changed with bylaw approval by Council



Frost Rd

Chute Lake Rd

Gowen Pl

Treadgold Ct

Killdeer Rd

France Ct

Bunting Ct

Frost Rd

Powerline Park

Lefevere Ave

Seon Cr

Weiss

Chute Lake Cr

Hawes

Quartz Cr

Staff Recommendation

- Staff recommend support for the street name change

Report to Council



Date: February 10, 2025
To: Council
From: City Manager
Subject: 2024 Review Planning & Development Statistics
Department: Planning, Climate Action, and Development Services

Recommendation:

That Council receives, for information, the report from the Planning, Climate Action and Development Services department dated February 10, 2025, with information relating to Planning and Development Statistics for 2024.

Purpose:

This report updates Council on building and development Statistics for 2024.

Background:

To keep Council current with local development and construction trends, the Divisional Director of Planning, Climate Sustainability, and Development Services will bring quarterly reports forward for Council’s information. As the structure of this report continues to develop, the goal is to improve the connection between Council’s consideration of development applications on a weekly basis and the larger picture of development and housing goals in the Official Community Plan (“OCP”). Further it also provides staff an opportunity to provide regular updates to Council on significant initiatives such as Housing Accelerator Fund progress.

Discussion:

Planning and Building Application Intake Statistics – 2024

The provincial legislation changes related to housing (occurring in 2024) saw more change in the span of a year than the previous 30 years. The staff that were tasked with collaborating to implement the legislative changes through changes to various bylaws and policies including

- Kelowna 2040 – Official Community Plan Bylaw No.12300
- Zoning Bylaw No. 12375

- Subdivision and Development Servicing Bylaw No.7900
- Development Application Procedures Bylaw No. 12310
- Development Application Fees Bylaw No. 12552
- Neighbor Notification & Information for Development Applications - Council Policy #367

Beyond the bylaw text updates required to implement the legislation, the rezoning of more the 28,000 properties in Kelowna was necessary to bring their zoning into compliance.

While staff were able to implement the change in a timely manner the downstream (process) related impacts of all the changes remain a work in progress. Staff hope to have many of challenges triggered ironed out over the year ahead to deliver the “consistent” development process that Kelowna is known for.

In terms of development activity, the following three high level measures are generally tracked in relation to this report:

- Building Permit \$ value (Total declared value of construction permits issued)
 - Total building permit value was down in 2024 (from a record year in 2023) and finished the year at \$646 million (below the 10-year average - \$900 Million)
- Building Permit Application Volume (total number of building permits reviewed)
 - Total number of building permits reviewed has declined for a 3rd year in a row and is also below the 10-year average.
- Development Application Volume (total number of development applications reviewed by the Planning Department)
 - Development application volume is down below the 10-year average.
 - In the past this measure was a leading indicator in terms of times of rapid growth or recession.
 - Because of all the legislative and zoning changes this is no longer a reliable indicator on its own.
 - Fewer rezoning applications received because of pre-zoned land.
 - A more reliable indicator moving forward is the number of Development Permit applications annually.
 - The five-year average number of Development Permit applications is 263. The 2024 volume was only slightly below this number at 239.

Strong Building Permit numbers from 2022 and 2023 (homes under BP application) led to strong new home occupancy numbers in 2024. However, the City issued Building Permits for only 1603 units in 2024 (BP's for 4,000 housing units issued in 2003). This is likely an early indicator that occupancies in 2026 and 2027 will be down.

Kelowna's Housing Needs Assessment identifies a need of approximately 1870 – 2650 new homes/year. Because construction occurs on a variety of timelines depending on building type; 2024 permit volumes may pose challenges in 2026 and possibly 2027.

In 2024 both the type and location of housing under construction remained consistent with OCP goals of placing the majority of new density in the City's Core/Urban area in a multi-family format.

Housing Accelerator Fund (Government of Canada Grant)

As identified in the Report to Council on November 27, 2023, the City of Kelowna was successful in receiving up to \$31.5M under the federal Housing Accelerator Fund. The City identified seven HAF Initiatives as listed below:

1. Implementing the infill housing options program (complete).
2. Adjusting regulations to incentivize private sector housing development.
3. Transit Supportive Corridor planning.
4. Affordable housing on City-owned land.
5. Establishing new housing partnerships and affordable housing delivery.
6. Investing in infrastructure to unlock housing.
7. Leveraging new technology to improve processing and data management.

The HAF Initiatives have been segmented into milestones and tasks; as of Q4/24, 70% of HAF tasks have been completed. HAF-related highlights from Q4/24 include completing all work for HAF Initiative 1: Infill, finalizing a development incentives review, bringing information regarding Transit Supportive Corridors to Council, receiving the final submissions for the first Middle Income Housing Partnership (MIHP) program intake, and completing infrastructure projects to support new housing. Towards the end of Q4/24 staff completed Year 1 HAF reporting and secured the second allotment of HAF funding.

In terms of budget, the initial \$7.9M allotment of HAF funding has been spent, and the second \$7.9M has been allocated to further work items in alignment with the HAF Grant Agreement. The largest portion of the budget has been allocated to land acquisition for affordable housing, and the remainder has been allocated to resourcing (staffing and consulting) and infrastructure projects. Upcoming expenses include:

- Additional land acquisition to support affordable housing through the MIHP program
- Resourcing (staffing, consulting)
- Infrastructure investments (water upgrades, sewer upgrades, stormwater study)

Budget amendments will be addressed in quarterly reports from the Financial Planning Department.

Overall, to meet the goals of the Housing Accelerator Fund, the City of Kelowna's target is to issue Building Permits (BP) for 7,430 residential units by 2026. In terms of BP issuance as of October 31, 2024, the level of residential units issued BPs is below the level that, on average, would be adequate to achieve the City's HAF targets (156 per month vs. 210 per month). BP issuance will be monitored in an ongoing manner.

Housing Supply Act (Province of BC)

In addition to measuring new housing created for the Housing Accelerator Fund grant, the BC Government has included Kelowna as a community regulated under the provincial Housing Supply Act. Staff provided Council with an overview of the implications of this in June of 2024. The next reporting milestone related to the Housing Supply Act will be an interim report due to the Ministry of Housing in January of 2025.

Considerations not applicable to this report:

February 10, 2024

Page 4 of 4

Budgetary Considerations:

Legal/Statutory Authority:

Legal/Statutory Procedural Requirements:

Existing Policy:

Financial/Budgetary Considerations:

External Agency/Public Comments:

Communications Comments:

Submitted by: Ryan Smith, Divisional Director, Planning & Development Services

Approved for inclusion: Doug Gilchrist, City Manager

Schedules: Schedule A – Power Point



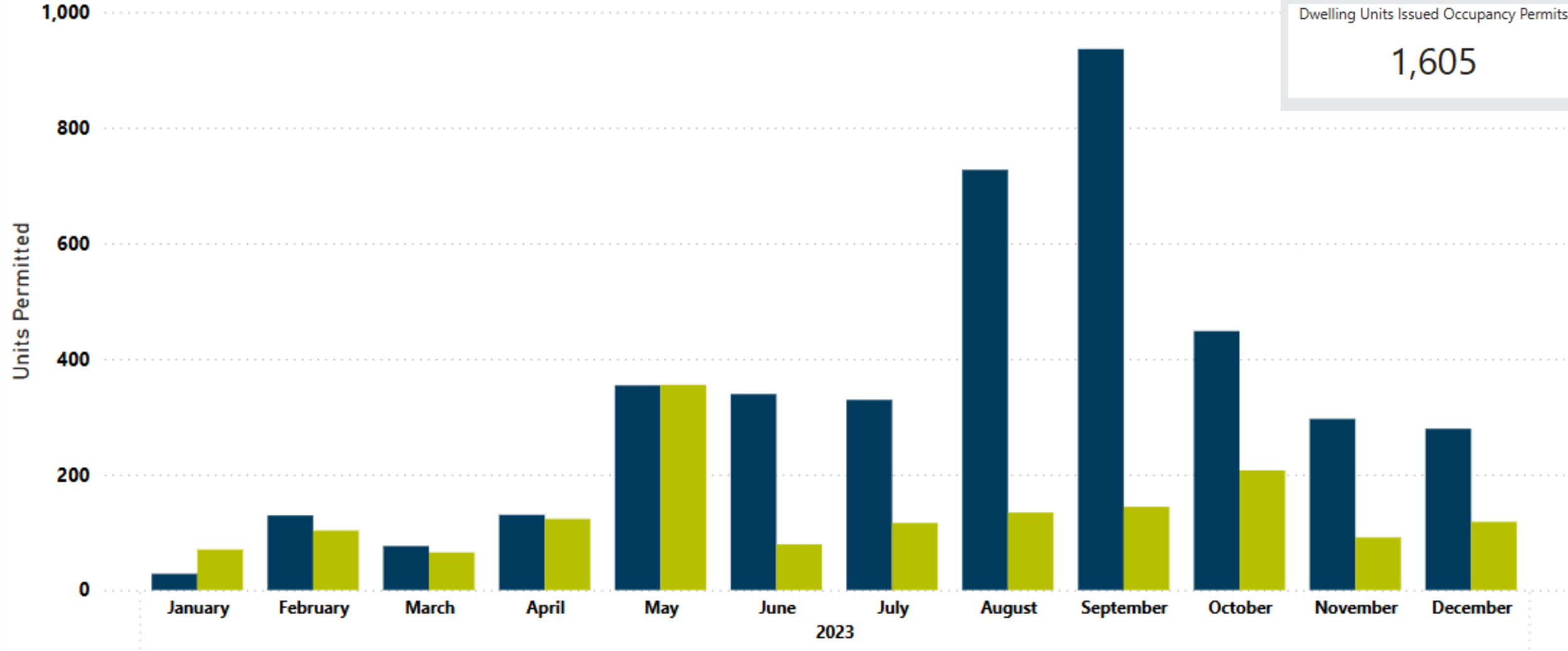
City of
Kelowna

2024 Planning Development Statistics Review

February 10, 2025

New Homes Issued Building Permits and Occupancy Permits (monthly)

● Building Permits ● Occupancy Permits

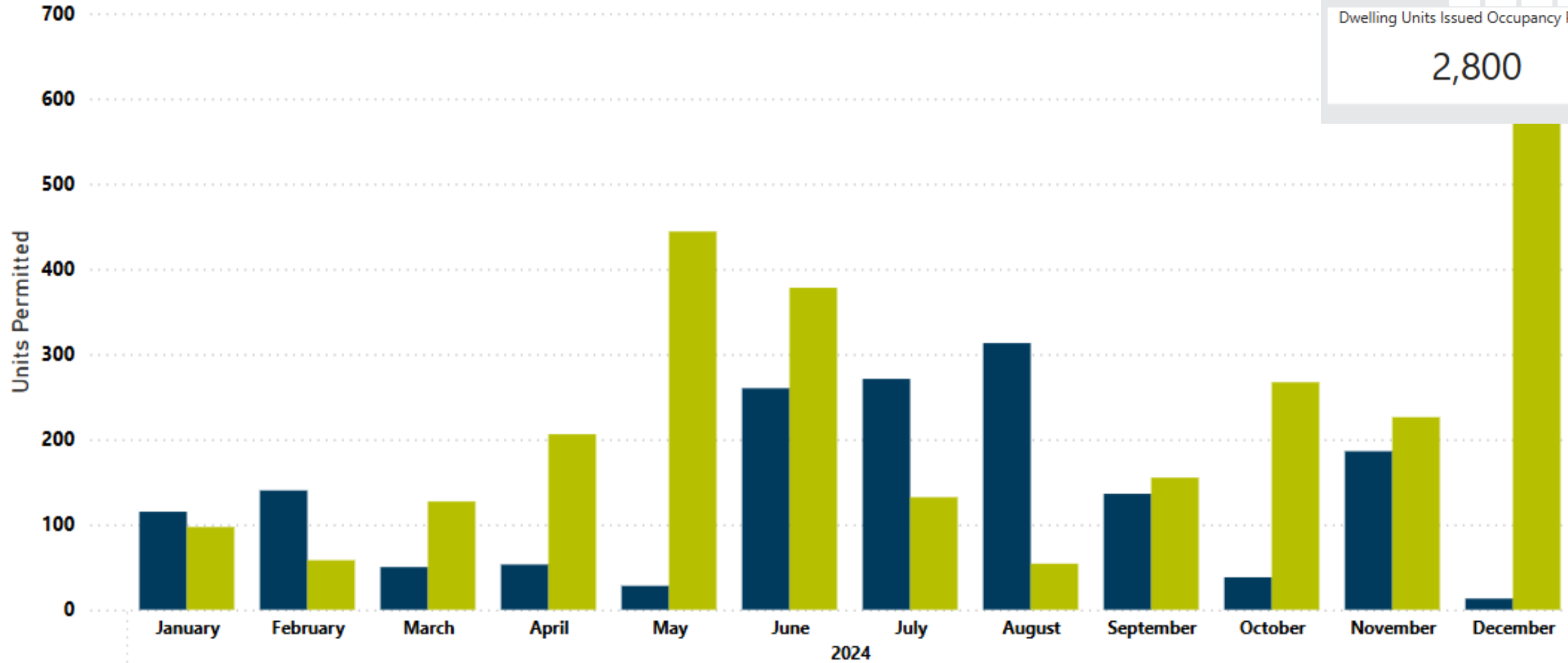


Dwelling Units Issued Building Permits
4,071

Dwelling Units Issued Occupancy Permits
1,605

New Homes Issued Building Permits and Occupancy Permits (monthly)

● Building Permits ● Occupancy Permits



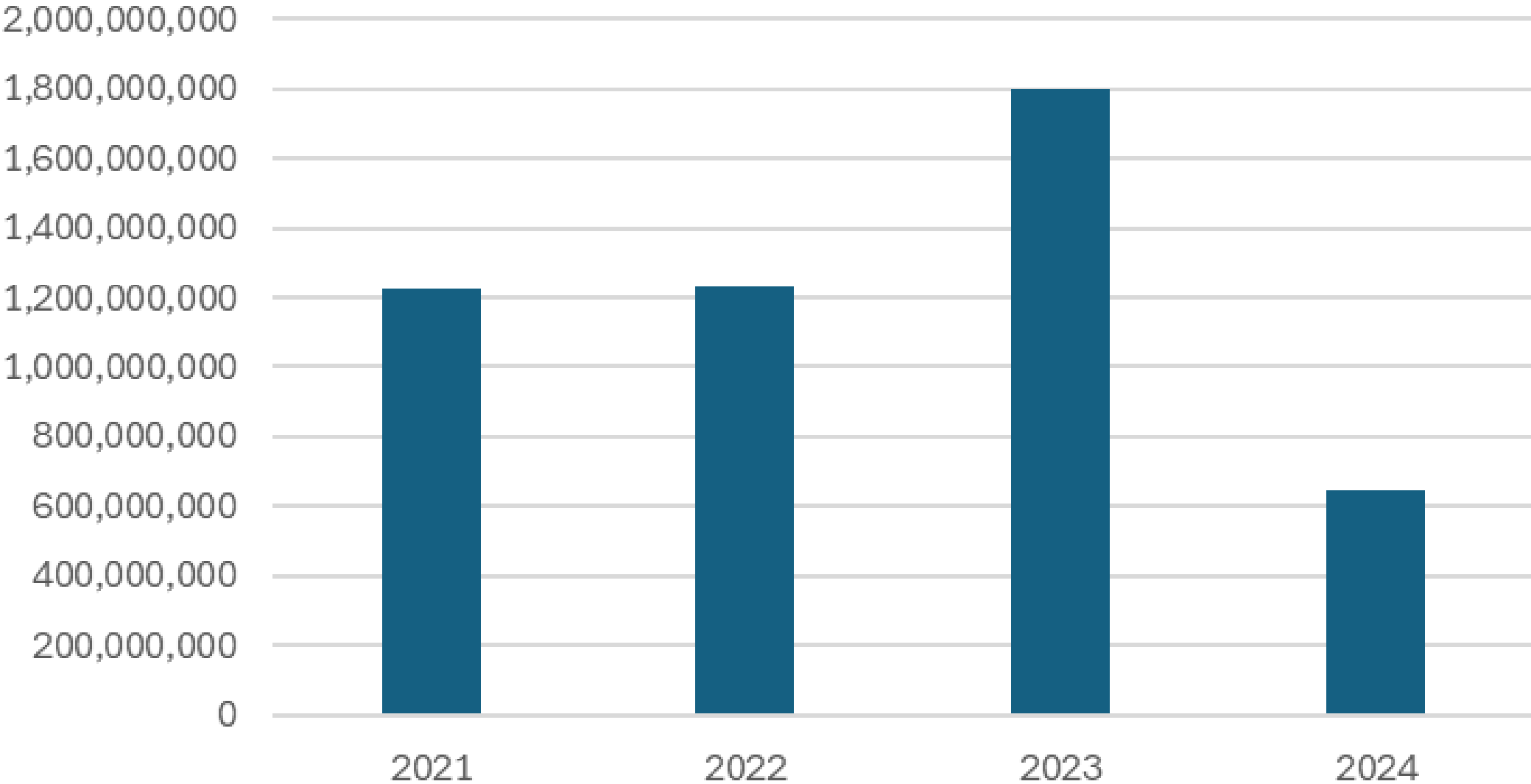
Dwelling Units Issued Building Permits

1,603

Dwelling Units Issued Occupancy Permits

2,800

Building Permit Value - Trends



Building Permit Volume 2023-2024

- ▶ 2023 Permit Volume: 1932
- ▶ 2024 Permit Volume : 1629 (16% decrease)

Historic Planning and Development Application Volumes



What does this mean?

- ▶ Slight decline in development permit applications are going through the City's planning process
- ▶ Fewer large size housing developments are taking out and acting on Building Permits
 - This could present challenges meeting housing supply targets in lat2027 and 2028.
- ▶ Housing that is going through the building permit is well aligned in type and location with the OCP
- ▶ Indications that historically low vacancy rates may be easing (lots of new rental supply being added to market)
 - CMHC reporting, local observations/experiences
 - Substantial amount of rental housing remains to be occupied this year and early next year.

Development Variance Permits - Staff Delegation

- ▶ 42 delegated variance files processed
- ▶ Total number of variance applications 68
- ▶ Reduced minor variances to Council by > 62%
 - File processing times for delegated applications improved
 - Reduced costs for applicants

Looking forward..

- ▶ Short Term Rental regulation updates
- ▶ Parking workshop follow-up
- ▶ Parking podiums
- ▶ Urban Centres Framework
- ▶ Energy Step Code
- ▶ Tenant Protection
- ▶ Micro-suites
- ▶ OCP fine tuning
- ▶ North End Plan and Mill Site Plan
- ▶ Density Bonus program review
- ▶ Development Servicing Bylaw – consistency updates

Looking forward...

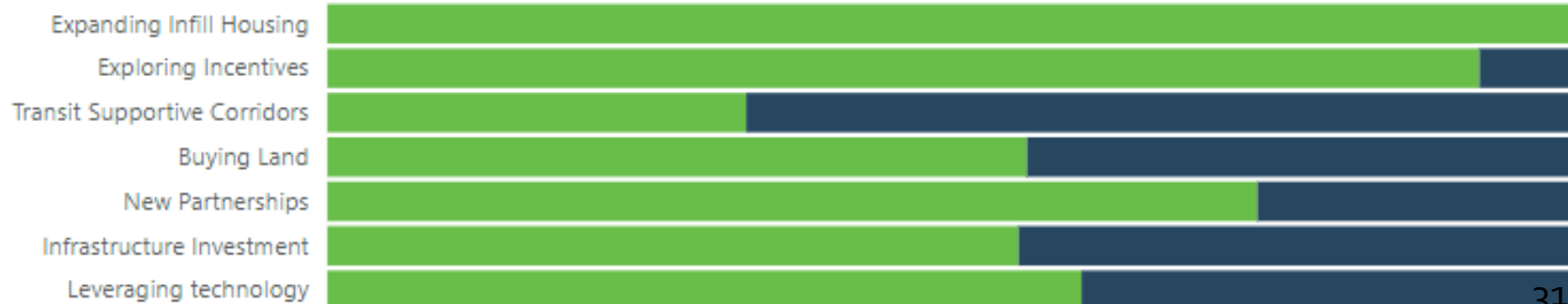
- ▶ Housing Accelerator Fund (Gov Canada)
- ▶ HAF Dashboard
- ▶ Housing Supply Act interim reporting (Gov BC)
- ▶ Annual Reporting
- ▶ Housing Dashboard

Q4 HAF Highlights

- ▶ Initiative 1: Infill completed
- ▶ Development incentives review finalized
- ▶ Council feedback on TSCs received
- ▶ MIHP final submissions received
- ▶ Infrastructure projects completed
- ▶ Year 1 reporting completed; year 2 funding secured



Initiative Progress



HAF Building Permit Targets

Housing Type	Target Units	Building Permits Issued
Missing Middle Housing Units	2,771	440
Other Multi-Unit Housing Units	4,180	1,471
Affordable Housing Units	416	0



What's next for HAF?

- ▶ Ongoing work on all outstanding Initiatives including Infrastructure, Transit Supportive Corridors, and Development Incentives in alignment with other City work
- ▶ Awarding first MIHP project

Other Fall 2024 Projects/Initiatives



- ▶ Short Term Rentals / local tourist accommodations update
- ▶ Kelowna Climate Resiliency Plan
- ▶ North End Plan
- ▶ Tolko site design – Council check-in
- ▶ Parking regulations workshop
- ▶ Tenant Protection options



Questions?

For more information, visit kelowna.ca.

Report to Council



Date: February 10, 2025
To: Council
From: City Manager
Subject: Interim Provincial Housing Targets Report
Department: Housing Policy & Programs

Recommendation:

THAT Council receives for information the report from the Housing Policy and Programs Department, dated February 10, 2025, regarding the interim Provincial housing targets;

AND THAT Council directs staff to submit a copy of this report to the Provincial Minister of Housing and Municipal Affairs, as described in the report from the Housing Policy and Programs Department, dated February 10, 2025.

Purpose:

To receive the Interim Housing Targets Report to fulfill legislative requirements.

Council Priority Alignment:
Affordable Housing

Background:

As of May 31, 2023, the B.C. government has the authority to set housing targets in municipalities with the greatest need and highest projected population growth. A total of 30 municipalities have now received housing target orders.

Kelowna received a housing target order on June 25, 2024. This order establishes a five-year housing target for the City of Kelowna of 8,774 net new completed housing units. The order specifies five annual progress reporting periods, as well as one initial interim report, produced by the City. Council must receive the progress reports by resolution within 45 days of the end of each reporting period. This report covers the interim reporting period from July 1 to December 31, 2024.

The annual cumulative number of net new housing units will be measured as follows:

Reporting Period	Year 1	Year 2	Year 3	Year 4	Year 5
Unit Target (Cumulative)	1,363	2,856	4,545	6,496	8,774

Discussion:

The city has surpassed its Year 1 target of 1,363 net new units during the initial interim reporting period, with a net increase of 1,501 units since July 1st (see *Table 1*). A detailed breakdown of the available data is provided in *Attachment A*.

Table 1. Net New Units

	Completions (Reporting Period)	Demolitions (Reporting Period)	Net New Units (Reporting Period)	Net New Units (Since HTO Effective Date)
Total	1592	91	1501	1501

In addition to the mandated target, staff have provided a breakdown of the completed units by tenure and affordability as shown in *Table 2*. These categories offer additional information about the variety of housing options approved by the City based on recommendations from the Ministry of Housing. These are not part of the official housing target order.

Table 2. Units by Tenure and Affordability

Units by Tenure				
Rental Units – Total	778	14	764	764
Owned Units	814	77	737	737
Units by Rental Affordability				
Market	658	14	644	644
Below Market – Total	120	0	120	120

The City has also provided data on the number of units that received a development or building permit within the six-month reporting period as shown in *Table 3*. These numbers provide insight into the expected completions for future reporting periods. It should be noted that these figures do not encompass all the units that have been approved or are under construction in the city, but only those that were approved for a Development or Building Permit within the interim reporting period.

Table 3. Development Permits and Building Permits

	Rezoning	Development Permit	Building Permit	Total
Applications	N/A	31	114	145
New Units	N/A	2015	939	2954

The number of building permits issued during the reporting period is below the 5-year average, which could impact completion numbers in the 4th or 5th year of housing target reporting. Staff will need to continue their efforts to promote housing supply and meet the overall 5-year target of 8,774 units. This

work has already begun, and during and prior to the initial reporting period, staff have either implemented or made progress on multiple housing-related initiatives. These initiatives include:

- Becoming the first municipality in the province to update bylaws in response to recent legislative changes (Bills 44 & 47), and;
- Introducing a Housing Action Plan which outlines 26 actions to be implemented over the next 5 years with the goal of ensuring residents have access to suitable housing options.

Conclusion:

The City of Kelowna has met its Year 1 Housing Target in the first interim reporting period and is on track to nearly double this target. Overall, this is a positive step towards achieving a healthier housing system and complying with the provincial housing targets. Staff continue to undertake actions that will encourage the supply of diverse housing types and tenures to ensure that the City continues to meet the Housing Targets in future reporting periods.

These ongoing efforts highlight Kelowna's commitment to addressing housing needs and fostering a community where all residents have access to suitable housing.

Internal Circulation:

Partnerships Department
 Development Planning Department
 Building and Business Services
 Communications Department
 Long Range Planning Department

Considerations applicable to this report:

Legal/Statutory Authority:

Housing Supply Act Part 3 – Housing Target Progress Report

Submitted by: G. Allison – Planner II

Approved for inclusion: J. Moore, Housing Policy & Programs Department Manager
 R. Smith, Divisional Director, Planning, Climate Action & Development Services

Attachments:

Attachment A - BC Housing Targets Progress Report Form - Reporting Period 1.1: July 1, 2024 – December 31, 2024

Attachment B – Ministerial Order No. M205



HOUSING TARGET PROGRESS REPORT FORM

Housing Targets Branch

BC Ministry of Housing and Municipal Affairs

PURPOSE

Municipalities will use this form to complete the requirements for progress reporting under the [Housing Supply Act](#) (Act). The information provided will be evaluated to determine whether targets have been met or satisfactory progress has been made toward meeting targets.

REPORT REQUIREMENTS

The report must contain information about progress and actions taken by a municipality to meet housing targets as identified in the Housing Target Order (HTO).

The progress report must be received in a meeting that is open to the public and by Council resolution within 45 days after the end of the reporting period.

Municipalities must submit this report to the minister and post it to their municipal website as soon as practicable after it is approved by Council resolution.

ASSESSMENT

The Housing Targets Branch evaluates information provided in the progress report based on Schedule B - Performance Indicators in the HTO. If targets have not been met and satisfactory progress has not been made, the Minister may initiate compliance action as set out in the Act.

REPORT SUBMISSION

Please complete the attached housing target progress report form and submit to the Minister of Housing at Housing.Targets@gov.bc.ca as soon as practicable after Council resolution.

Do not submit the form directly to the Minister's Office.



HOUSING TARGET PROGRESS REPORT FORM

Housing Targets Branch
BC Ministry of Housing and Municipal Affairs

Section 1: MUNICIPAL INFORMATION	
Municipality	Kelowna
Housing Target Order Date	June 25, 2024
Reporting Period	July 1, 2024 – December 31, 2024
Date Received by Council Resolution	February 10, 2025
Date Submitted to Ministry	February 10, 2025
Municipal Website of Published Report	
Report Prepared By	<input checked="" type="checkbox"/> Municipal Staff <input type="checkbox"/> Contractor/External
Municipal Contact Info	<i>James Moore, Housing Policy & Programs Manager</i> Jmoore@kelowna.ca , 250-469-8959
Contractor Contact Info	<input checked="" type="checkbox"/> N/A (<i>name, position/title, email, phone</i>)

Section 2: NUMBER OF NET NEW UNITS				
Record the number of net new housing units delivered during the reporting period, and cumulatively since the effective date of the HTO. Net new units are calculated as completions (occupancy permits issued) minus demolitions. <u>Legalizing existing unpermitted secondary suites or other housing types does not count toward completions.</u>				
Section 8 must be completed if a housing target has not been met for the reporting period.				
	Completions (Reporting Period)	Demolitions (Reporting Period)	Net New Units (Reporting Period)	Net New Units (Since HTO Effective Date)
Total	1592	91	1501	1501

Section 3: NUMBER OF HOUSING UNITS BY CATEGORY AND TYPE (Unit Breakdown Guidelines)				
Record the number of housing units in each category below for the reporting period and cumulatively since the effective date of the HTO. Definitions are provided in the endnote.				
	Completions (Reporting Period)	Demolitions (Reporting Period)	Net New Units (Reporting Period)	Net New Units (Since Effective HTO Date)
Units by Size¹				
Studio	N/A	N/A	N/A	N/A
One Bedroom	N/A	N/A	N/A	N/A
Two Bedroom	N/A	N/A	N/A	N/A
Three Bedroom	N/A	N/A	N/A	N/A
Four or More Bedroom ¹	N/A	N/A	N/A	N/A

Units by Tenure				
Rental Units ² – Total	778	14	764	764
Rental – Purpose Built	659	0	659	659
Rental – Secondary Suite	111	14	97	97
Rental – Accessory Dwelling	8	0	8	8
Rental – Co-op	0	0	0	0
Owned Units	814	77	737	737
Units by Rental Affordability				
Market	658	14	644	644
Below Market ³ - Total	120	0	120	120
Below Market - Rental Units with On-Site Supports ⁴	0	0	0	0

Section 4: MUNICIPAL ACTIONS AND PARTNERSHIPS TO ENABLE MORE HOUSING SUPPLY

A) Describe applicable actions taken in the last 12 months to achieve housing targets, in line with the Performance Indicators in the HTO. Each entry should include a description of how the action aligns with achieving the housing target, the date of completion, and links to any publicly available information. For example:

- Streamlined development approvals policies, processes or systems.
- Updated land use planning documents (e.g., Official Community Plan, zoning bylaws).
- Updated Housing Needs Report.
- Innovative approaches and/or pilot projects.
- Partnerships (e.g., BC Housing, CMHC, or non-profit housing organizations except First Nations – see Section 4 B).
- Other housing supply related actions.

1. [2024 Planning Legislation Changes](#) - On March 18, 2024, Kelowna became the first municipality in the province to update bylaws in response to recent legislative changes (Bills 44 & 47). The intent of the regulatory updates is to fulfill the Homes for People plan priorities to aggressively close the gap between housing supply and demand in BC. Housing need reports help local governments, and the B.C. government better understand and respond to housing needs in communities
2. [Housing Need Report](#) – On November 25, 2024, the City updated the housing needs assessment to comply with legislative requirements and to provide a clearer understanding of its current and future housing needs. The updated Housing Needs Report can be found [here](#).

3. **Housing Accelerator Fund**- Successfully applied for funding under the federal Housing Accelerator Fund to facilitate housing of diverse forms and tenures, in locations that contribute to a complete and compact community. A summary of actions being undertaken under HAF can be found [here](#).
4. **Infill Fast Track** -Launched the Infill Fast Track Program, which introduced pre-approved designs between four and six units, and significantly shortened the approval process and time on new infill projects.
5. **Rental Housing Grants** – The Expansion the City’s Program Rental Housing Grant Program has supported the development of 314 new affordable housing units in Kelowna. This program promotes the creation of non-market rental housing by providing funding for eligible projects, with grants applied against Development Cost Charge (DCC) fees. Council Policy #335 outlines the eligibility criteria for the program. At the Regular Council Meetings of May 27, 2024, and August 12, 2024, Council approved temporary enhancements to the program for 2024/2025, including an increased funding pool, higher maximum grant amounts, and expanded eligible areas within the City. On September 9, 2024, council approved six rental housing grants as part of the enhanced Rental Housing Grants Program for 2024/2025.
6. **Middle Income Housing Partnership** – The Middle-Income Housing Partnership was established to address the housing needs of middle-income households in the city by partnering with different levels of government and housing organizations and acquiring land for future affordable housing projects. The city has identified two city-owned pieces of property and began accepting applications from private builders and non-profit organizations between July 1 and December 4, 2024.
7. **Leveraging New Technology** – Advanced work in AI Digital permitting to make it easier and faster for building permits to be approved. This includes introducing AI chatbots to assist with planning and building inquiries, and digital systems and increasing data analytics capacity to improve tracking and reporting and compare trends over time.
8. **Housing Action Plan** - Introduced a new Housing Action Plan which outlines 26 actions to be implemented over the next 5 years with the goals of ensuring residents have access to suitable housing options.

Report the number of approved applications issued by type since the effective date of the HTO. Each project should only be recorded once for the **most current** application type. Provide the estimated number of net new housing units to be delivered for each application category.

NOTE: units issued occupancy permits should be recorded in Section 2.

	Rezoning ²	Development Permit	Building Permit	Total
Applications	N/A	31	114	145
New Units	N/A	2015	939	2954
Unit Breakdown				
Units by Size				
Studio	N/A	196	210	406
One Bedroom	N/A	788	309	1097
Two Bedroom	N/A	822	277	1099
Three Bedroom	N/A	187	144	331
Four or More Bedroom ¹	N/A	22	N/A	22
Units by Tenure				
Rental Units ² – Total ²	N/A	1380	350	1730
Rental – Purpose Built	N/A	1380	286	1666
Rental – Secondary Suite	N/A	0	60	60
Rental – Accessory Dwelling	N/A	0	4	4
Rental – Co-op	N/A	0	0	0
Owned Units	N/A	631	589	1220
Units by Rental Affordability				
Market	N/A	1833	939	2772
Below Market ³ - Total	N/A	182	0	182
Below Market - Rental Units with On-Site Supports ⁴	N/A	0	0	0

Section 6: WITHDRAWN OR NOT APPROVED HOUSING DEVELOPMENT APPLICATIONS

A) Indicate the number of applications and the estimated number of proposed units withdrawn by applicants, and /or not approved by staff or Council during this reporting period. Please include rezoning applications, development permits, and building permits.

	Applications Withdrawn	Applications Not Approved
Applications	1	0
Proposed Units	2	0

B) Provide a description of each application (e.g., rezoning, development permit, building permit) and brief summary of why each project was withdrawn or not approved.

DP24-0157 - A Development Permit for the form and character of two secondary suites in an existing duplex. Application was withdrawn as Development Permits are no longer required for secondary suites created through renovation.

Section 7: OTHER INFORMATION

Provide any other information not presented above that may be relevant to the municipality's effort and progress toward achieving the housing target.

1. City staff were unable to verify exact bedroom information for some projects during this reporting period due to a transition from a legacy permitting system. Bedroom counts for this period will be included as part of the cumulative total after the Year 1 reporting period.
2. All approved rezonings during this reporting period were accompanied by an associated Development Permit (DP). Rezonings are formally adopted upon the approval of a DP.



HOUSING TARGET PROGRESS REPORT FORM

Housing Targets Branch

BC Ministry of Housing and Municipal Affairs

¹ If needed due to data gaps, it is acceptable to report "Three Bedroom" and "Four or More Bedroom" as one figure in the "Three Bedroom" row.

² **Rental Units** include purpose built rental, certain secondary rentals (secondary suites, accessory dwellings) and co-op.

³ **Below Market Units** are units rented at or below 30% of the local Housing Income Limits (HIL) per unit size.

⁴ **Below Market Rental Units with On-Site Supports** are units rented at the Income Assistance Shelter rate providing permanent housing and on-site supports for people to transition out of homelessness.

PROVINCE OF BRITISH COLUMBIA

ORDER OF THE MINISTER OF HOUSING

Housing Supply Act

Ministerial Order No. M205

WHEREAS

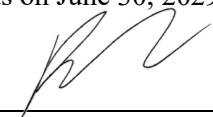
- A. The minister has, prior to making this Housing Target Order, considered the information set out in section 3 (1) *Housing Supply Act*, SBC 2022, c.38, in relation to the City of Kelowna.
- B. In accordance with section 3(2) and (3) *Housing Supply Act*, SBC 2022, c. 38, the minister has consulted with the City of Kelowna regarding this housing target order.
- C. The minister has:
 - i. provided a description of the proposed Housing Target Order to the City of Kelowna.
 - ii. in accordance with section 4(1), Housing Supply Regulation, B.C. Reg. 133/2023, provided the City of Kelowna an opportunity to provide written comments to the minister.
- D. An extension to the consultation period, if any, granted by the minister to the City of Kelowna, pursuant to section 4(2), Housing Supply Regulation, Reg. 133/2023, has elapsed.

NOW THEREFORE Pursuant to section 2, *Housing Supply Act*, SBC 2022, c. 38, the Minister of Housing orders as follows:

- 1. A housing target order is made for the City of Kelowna, effective July 1, 2024 (the “**Effective Date**”).
- 2. The housing targets for the City of Kelowna under this housing target order are set out in the attached **Schedule A** (*Housing Targets*).
- 3. The performance indicators by which progress by the City of Kelowna toward meeting each housing target is to be assessed are described in the attached **Schedule B** (*Performance Indicators*).
- 4. This Housing Target Order begins on the Effective Date and ends on June 30, 2029 (the “**End Date**”).

June 25, 2024

Date



Minister of Housing

(This part is for administrative purposes only and is not part of the Order.)

Authority under which Order is made:

Act and section: *Housing Supply Act*, S.B.C. 2022, c. 38, s 2

Other: Housing Supply Regulation, B.C. Reg. 133/2023

5. The City of Kelowna must prepare and submit a housing target progress report at the intervals set out in the attached **Schedule C** (*Housing Targets Progress Reporting*).

SCHEDULE A
Housing Targets

1. The five-year housing target for City of Kelowna is **8,774 units**, which is the total minimum number of net new completed housing units required to comply with this Provincial Housing Target Order.
2. The above housing targets reflect 75% of the total Provincial Housing Needs Estimate for City of Kelowna.
3. For each Progress Reporting Period as set out in Schedule C, the annual cumulative number of net new housing units will be measured as follows:
 - a. Year 1: 1,363
 - b. Year 2: 2,856
 - c. Year 3: 4,545
 - d. Year 4: 6,496
 - e. Year 5: 8,774

SCHEDULE B
Performance Indicators

1. The performance indicators to measure annual progress toward achieving the housing target are set out in Table 1 and are based on:
 - a. Progress toward achieving the annual cumulative housing target; and
 - b. Actions taken by the municipality toward meeting the annual housing target.

Table 1 - Performance Indicators

Category	Performance Indicator	Data to Measure
Annual cumulative housing target	Satisfactory progress to meet annual cumulative housing target, measured by completed net new housing units.	Total number of net new housing units (completions minus demolitions) during the reporting period.
Actions taken by the municipality toward meeting the annual cumulative housing target	<p>Satisfactory progress demonstrated by:</p> <ol style="list-style-type: none"> 1. Update of land use planning documents to align with housing targets; 2. Adoption of policies and initiatives to meet housing targets; and 3. Residential approvals complete and/or in progress that met or will meet housing targets. 	<ol style="list-style-type: none"> 1. Relevant information about updates to land use planning documents such as the Official Community Plan, Zoning Bylaw, Housing Needs Report, Housing Action Plan/Strategy (other documents, e.g., Strategic Plan) including date of last update, and related polices that align with achieving annual housing targets. 2. Description of new/amended bylaws and policies, innovative approaches, and pilot projects undertaken to achieve housing targets. 3. The number of applications received and permits issued in relation to residential development such as development, building and rezonings.

SCHEDULE C
Housing Targets Progress Reporting

The City of Kelowna must receive the progress report by resolution within 45 days of the end of the reporting period:

Reporting Period 1.1: July 1, 2024 – December 31, 2024

Reporting Period 1.2: July 1, 2024 – June 30, 2025

Reporting Period 2: July 1, 2025 – June 30, 2026

Reporting Period 3: July 1, 2026 – June 30, 2027

Reporting Period 4: July 1, 2027 - June 30, 2028

Reporting Period 5: July 1, 2028 – June 30, 2029

Progress Report Forms must be posted to the municipal website and submitted to the Minister as soon as practicable after being received.



City of
Kelowna

Provincial Housing Targets Report Reporting Period 1.1

January 2025

Purpose



To review the interim Provincial Housing Target Progress Report.



To direct staff to submit a copy of the report to the Provincial Minister of Housing

Background and Context

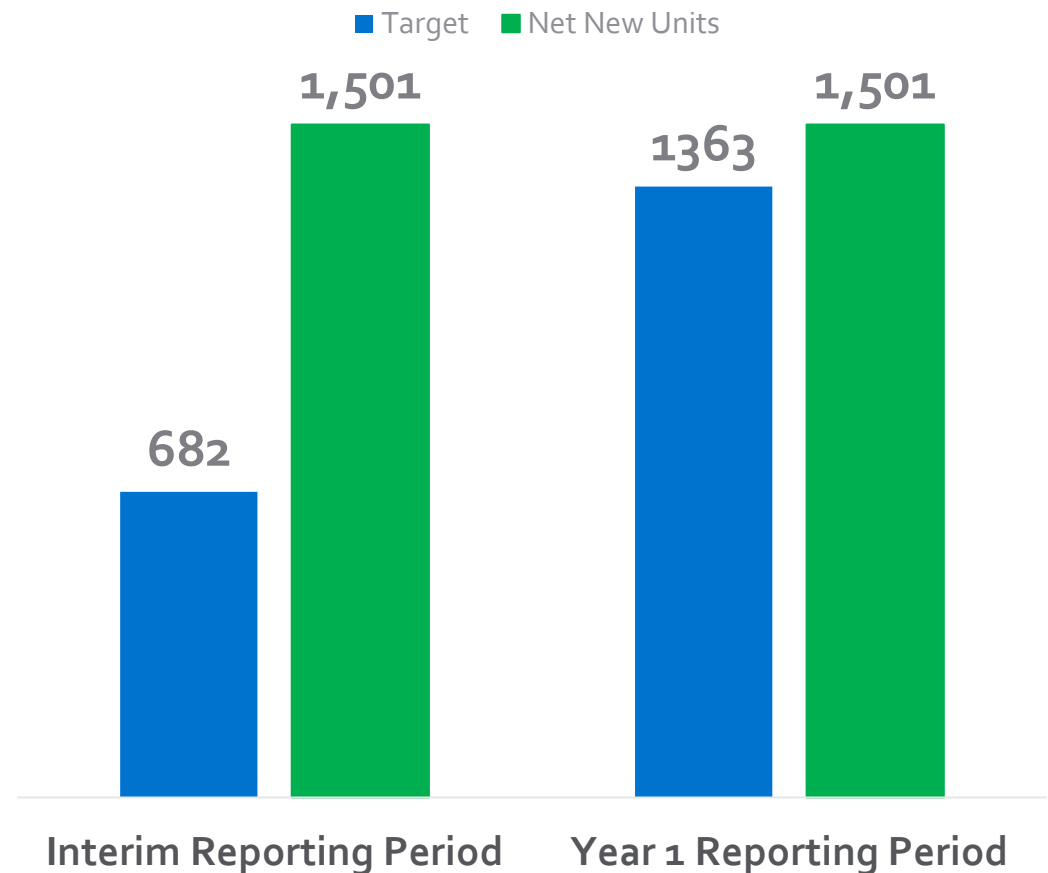


Unit Targets

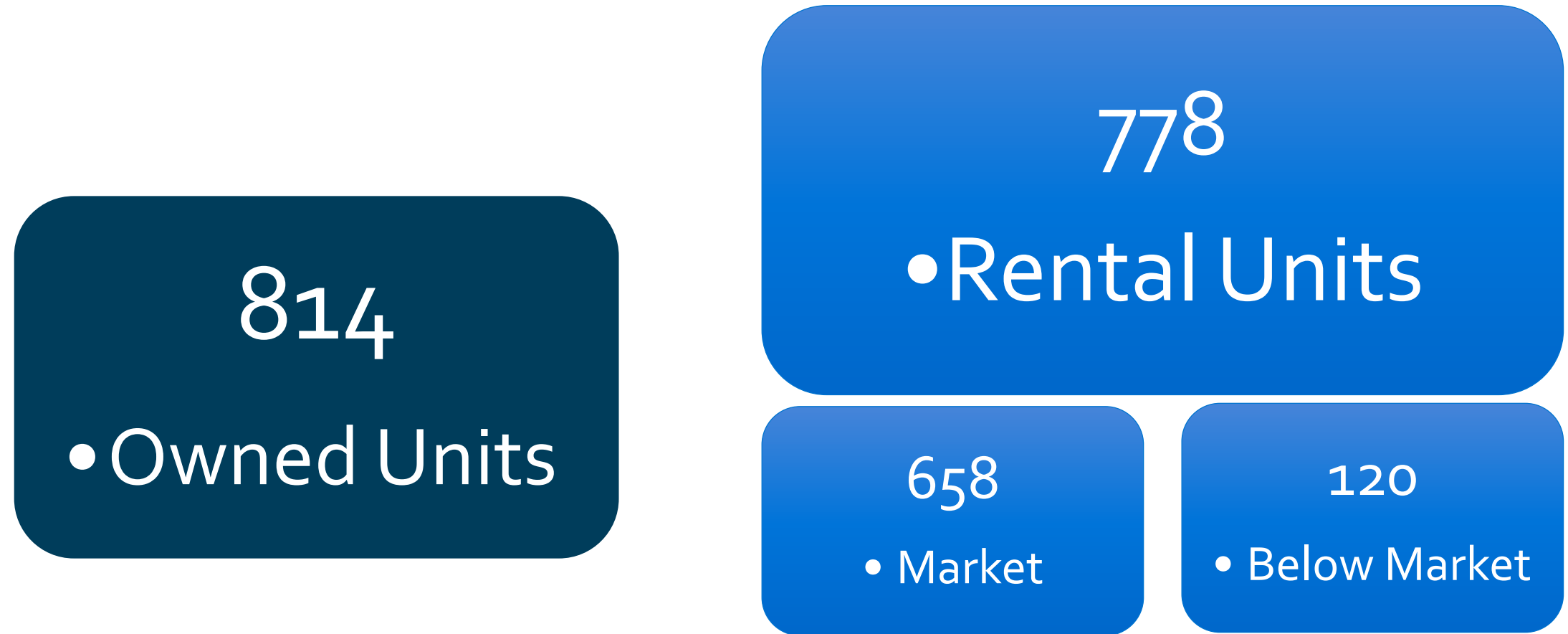
Reporting Period	Cumulative Unit Target
Year 1	1,363
Year 2	2,856
Year 3	4,545
Year 4	6,496
Year 5	8,774

Unit Targets

- ▶ The City has surpassed its Year 1 target of 1,363 net new units during the initial interim reporting period
- ▶ Net increase of 1,501 units since July 1st



Unit Breakdown



In-Stream Units

- Data provided on the number of units that received a development or building permit within the six-month reporting period.
- Figures do not encompass all approved or under construction units in the city

	Rezoning	Development Permit	Building Permit	Total
Applications	N/A	31	114	145
New Units	N/A	2015	939	2954

Enabling More Housing



Provincial Planning Legislation



Housing Action Plan



Leveraging New Technology

Next Steps

- ▶ Should Council receive the report from the Housing Policy and Programs Department, Staff will:



Submit a copy of this report to the Provincial Minister of Housing



Continue to gather and report on housing targets to fulfill legislative requirements



Update to Council annually on Housing Target Reporting.



Questions?

For more information, visit kelowna.ca.

Report to Council



Date: February 10, 2025
To: Council
From: City Manager
Subject: Delegation of Authority - Property Management 2024
Department: Real Estate

Recommendation:

THAT Council receive, for information, the report from the Real Estate Department dated February 10, 2025 with respect to the use of the Delegation of Authority to Enter into Leases and Licenses of Occupation (Bylaw No. 11250) in 2024.

Purpose:

To update Council on the use of the Delegation of Authority to Enter into Leases and Licenses of Occupation in 2024.

Background:

In July 2016, Council approved Bylaw No. 11250, Delegation of Authority to Enter into Leases and Licenses of Occupation, in an effort to increase efficiency and enhance the lease development process. The delegation of authority allows staff to, within the established parameters, approve transactions for leases and licenses of occupation over lands and buildings owned or vested by the City of Kelowna (the "City"), in addition to buildings and land to be leased by the City as required for municipal undertakings.

The Property Management Manager is authorized to negotiate and execute on behalf of the City, transactions of up to a maximum fair market value of \$60,000 per year for a lease or license of occupation (up to a maximum term of 15 years, inclusive of renewals). This amount allows the Property Management Manager to approve most concession leases, licenses of occupation, farm leases, and residential leases, in addition to most minor commercial leases.

Discussion:

In 2024, staff executed 67 agreements utilizing the Delegation of Authority. The agreements range from commercial leases to concession agreements to residential tenancy agreements and are summarized in Figure 1. A detailed summary of the executed agreements is provided in Schedule A.

Type	Quantity
Licenses of Occupation	14
Commercial Leases (incl. extensions & renewals)	19
3rd Party Agreements (Lagoons agreement)	8
Concession Agreements	12
Farm Leases	2
Residential Tenancy Agreements	12
Total	67

Figure 1 – Types of agreements executed under Property Management’s Delegation of Authority in 2024

Below are some highlights of the work completed by staff in 2024:

Esthetic Upgrades – The Property Management department has provided a license of occupation for use of the trellis over top of the art walk to the Arts Council of the Central Okanagan (ARTSCO) for digital art projections along the walkway. The City also provided a license renewal to WFN for a public Indigenous art display along Queensway Avenue.

Public Space Animation – Staff have also sought out meaningful ways to animate parks and public spaces by placing activity and food concessions in suitable places. Two successful examples are the skate sharpening business at Stuart Park and the food truck located in the Rotary Beach parking lot.

Sports Facilities - In 2024, Property Management negotiated the commercial lease of Dodd Road Rutland Arena to a junior A hockey franchise as part of the KIJHL.

Agriculture Agreements – In October, the staff successfully negotiated a third lease renewal with a large cherry farm on East Kelowna Road spanning another 3 year term with 2 lease renewal options.

Existing Policy:

Agreements executed under the Delegation of Authority bylaw are intended to support Council priorities. Specifically, relevant to this report:

- Non-taxation revenues are increasing;
- Animated parks and public spaces; and,
- Services, processes & business activities are transformed.

Considerations not applicable to this report:

Legal/Statutory Authority
 Legal/Statutory Procedural Requirements
 Existing Policy

Council Report
February 10, 2025
Page 3 of 3

Financial/Budgetary Considerations
External Agency/Public Comments
Communications Comments

Submitted by: M. McAfee, Property Management Manager

Approved for inclusion: J. Säufferer, Real Estate Department Manager

Attachments: Schedule A – 2024 Delegation of Authority Summary

2024 Delegation of Authority Summary

Signatory	Organization	Type	Dates	Term	Renewal	Value	Address	Reason
CP	SRX Pharmacy	Lease Renewal	Aug 15 2023 - Aug 14 2028	5 years	1 x 5-years	\$37,700 annually	104-1360 Ellis St.	Commercial lease renewal
CP	Bladez Skate Rentals	Concession Renewal	Dec 1, 2023 - Feb 28, 2024	1 year	1 year	\$800 annually	1430 Water St.	Skate Rentals
CP	Arts Council of the Central Okanagan (Artsco)	Licence of Occupation	Jan 31, 2023 - Jan 31, 2026	3 years	2 year	\$1	205 - 421 Cawston Ave, Kelowna	Digital art projections in existing windows
CP	TNT Comfort Foods	Concession Renewal	Dec 1, 2023 - Feb 28, 2024	1 year	1 year	\$1,050 + 5% gross profits annually	1430 Water St.	Food truck
JS	PJS Holdings Ltd	Licence of Occupation	Feb 28, 2024 - Mar 28, 2024	30 days	30 days	\$1	6100 Lapointe Drive, Kelowna	Removing fill material and re-locating to Lot 2
CP	New Frontier Developments	Lease Renewal	Oct 1, 2024 - Sept 30, 2025	1 year	1 year	\$11,025 annually	4444 Bulman Road	Farm lease renewal
CP	Cornerstone Early Learning	Lease Renewal	Oct 1, 2024 - Sept 30, 2025	1 year	1 year	\$40,080 annually	1920 Dunn St.	Commercial lease renewal
CP	Kerkohoff Construction	Licence of Occupation	March 28, 2024 - July 31, 2024	4 months & 4 days	N/A	\$11,679 deposit for improvements and \$276 monthly	1410 Cara Glen Court, Kelowna	Temporary construction usage
CP	BRIJESH NEGI DBA 1006713 BC LTD	Third Party - Commercial Lease	April 1, 2024 - April 1, 2027	3 years	3 years	\$27,600 over 3 years	1475 Ellis Street, Kelowna Knox Mountain Park, 450 Knox Mountain Drive	Ellis place storage add sea container for storage
CP	Elevation Outdoors	Modification Agreement	April 25 - October 15, 2024			\$10,400 + 5% gross profits annually increases by 2%	Gyro Beach, 3400 Lakeshore Rd	Activity concession
CP	Breezy Beach Rentals	Modification Agreement	May 1 - Oct 15, 2024 & May 1 - Oct 15, 2025	2 seasons		\$9,600 + 5% gross profits annually increases by 2%	Rotary Beach, 3696 Lakeshore Rd	Activity concession
CP	Okanagan Beach Rentals	Modification Agreement	May 1 - Oct 15, 2024 & May 1 - Oct 15, 2025	3 seasons		\$2,000 + 5% gross profits annually	Kelowna's Newest Waterfront Park, 3090 Walnut Street	Activity concession
CP	1343998 BC LTD. dba KONZ PIZZA	Seasonal Mobile Concession Agreement	May 1, 2024 - Oct 15, 2024	1 season	N/A	\$4,000.00 annually	City Park, 1600 Abbott Street	Food concession
CP	Aloha Okanagan	Seasonal Mobile Concession Agreement	May 1, 2024 - Oct 15, 2024	1 season	N/A	\$6,000 annually	City Park, 1600 Abbott Street	Food concession
CP	Kelowna Chiefs Hockey & 1472584 B.C Ltd.	Amend and sublease agreement	April 25, 2024 - July 31, 2024		N/A	\$44,500.00 annually	345 Dodd Road, Kelowna	Sublease
CP	Sweet Cloud Ice Cream	Concession Licence	May 1 - Oct 15, 2024	1 season	N/A	\$3,000 + 5% gross profit annual	Stuart Park	Food truck
CP	Bella & Buona	Concession Licence	May 1 - Oct 15, 2024	1 season	N/A	\$600 + 5% gross profit annual	Ben Lee Park	Food truck
CP	Okanavan	Concession Licence	May 1 - Oct 15, 2024	1 season	N/A	\$6,000 + 5% gross profit annual	City Park, 1600 Abbott Street	Food truck
CP	Fortune Creek	Concession Licence	May 1 - Oct 15, 2024	1 season	N/A	\$4,000 + 5% gross profit annual	City Park, 1600 Abbott Street	Food truck
CP	Filipino Food Express	Concession Licence	May 1 - Oct 15, 2024	1 season	N/A	\$800 + 5% gross profit annual	Ben Lee Park	Food truck
CP	1472584 B.C. LTD c/o DARREN TYMCHYSHYN	Commercial Lease	August 1, 2024 - Aug 1, 2025	1 year	2 x 1 year	\$48,500 annual	Rutland Arena, 645 Dodd Rd	Operation of a Junior "A" hockey franchise as part of the KIJHL.
CP	Arts Council of the Central Okanagan (Artsco)	Licence of Occupation	May 21, 2024 - May 21, 2027	3 years	2 year	\$0 N/A	Art Walk, 1315 Water Street	Digital art projections on existing Art Walk Trellis
CP	Aqua Resort Ltd	Municipal Boating Facilities Commercial License	May 15, 2024 - Dec 31, 2024	1 season	N/A	\$38,000 one time		Commercial use of boat launch
CP	Byrnes Farms Ltd	Modification Agreement	May 31, 2024 - May 31, 2025	1 year	N/A	\$9,300 one time	1639 & 1749 Byrns Road, Kelowna	Agricultural use
CP	Viewcrest Estates Ltd.	Licence of Occupation	May 1, 2024 - April 30, 2027	3 year	1 x 2 year	\$10,500 annual	Laneway between 223 and 227 Bernard Ave	Food concession
CP	Kinnikinnik Management Inc. 1414985 B.C. LTD o/a Primetime Donair and Poutine	Washroom Maintenance & Operations Agreement	April 1, 2024 - April 1, 2029	5 years	N/A			Washroom for public use
CP	Interior Health	Commercial Lease	September 1, 2024 - September 1, 2034	10 years	1 x 5 year			
MM	Westbank First Nation	Mutual Termination of Lease License Renewal	June 21, 2024 - June 20, 2029	5 years	1 x 5 year	\$1 one time	155 Gray Road, Kelowna 238 Queensway Ave, Kelowna	Fire damage to building Public art display
CP	Luxury Lake Tours	Municipal Boating Facilities Commercial License	May 15, 2024 - Dec 31, 2024	1 season	N/A	\$2,000 one time		Commercial use of boat launch
CP	Callahan Construction and 3720 Investments	License of Occupation	June 11, 2024 - June 10, 2034	10 years	1 x 10 year	\$10 one time	Mission Park Shopping Centre - 3151-3155 Lakeshore Road	Maintenance of 2 bus shelters
MM	0983169 BC LTD. dba BLADEZ SKATE RENTAL SHOP	Concession License Renewal	Dec 1, 2024 - Feb 28, 2025	1 season	N/A	\$800 one time	Stuart Park - 1430 Water Street	Ice skate rental concession
MM	Leadon Okanagan Operations & Strata Plan KAS1261, 1436, 2503, 2849	Lagoon System Agreement Renewal	April 1, 2024 - March 31, 2034	10 years	N/A	N/A	1310 Water Street	Operation of lagoon system
MM	UBC Properties Trust	Encroachment Agreement	03-Jul-24	N/A	N/A	\$500	550 Doyle Street	Encroachment on city land
MM	Primex Investments	License of Occupation	June 15, 2024 - June 14, 2039	15 years	N/A	\$1	1960 Underhill Street	Use of laneway
MM	Colin G.M Thomson	Lease of Agricultural Land and Buildings Renewal	August 1, 2024 - July 31, 2029	5 years	1 x 5 year	\$1 one time	4125 Gordon Dr	Farm lease renewal
MM	Cindy & Barry Barnes	Licence of Occupation	September 1, 2024 - September 1, 2025	1 year	N/A	\$1 one time	845 Glenmore	Farming
MM	Okanagan Lifestyle Apparel Inc.	Licence of Occupation	October 1, 2024 - October 1, 2027	3 years	N/A	\$1,773 annual	#100 - 1295 Cannery Lane	Laneway patio
MM	Man + Woman EZ Okanagan-Kootenay Sterile Insect Release Board	Licence of Occupation	October 1, 2024 - October 1, 2027	3 years	N/A	\$864 annual	#135 - 1295 Cannery Lane	Laneway patio
MM	Whitworth Holdings Ltd	Lease Modification and Renewal	Oct 1, 2024 - Sept 30, 2025	1 year	N/A	\$19,000 Pappa Annual	4210 Old Vernon Road Cannery Lane	Lease renewal Laneway patio
MM	Sprout Bread Ltd.	Licence of Occupation	October 1, 2024 - October 1, 2027	3 years	N/A	\$3,672 Annual	#125-130 - 1295 Cannery Lane	Laneway patio
MM	Jealous Fruits Ltd.	Third Lease Renewal	October 1, 2024 - September 30, 2027	3 years	2 x 3 years	\$60,000 Annual	2735 East Kelowna Road	Farm lease renewal, cherry orchard

MM	L. Bobynd MD Inc	Commercial Lease	October 9, 2024 - Sept 30, 2025	11 mnths & 21 days	monthly basis	\$2,000 monthly		230 Robson Road West, Kelowna Chapman Parkade, 345 Lawrence Ave	Dental office lease assumption
MM	Telus Communications Inc.	Licence of Occupation	Sept 1, 2024 - Aug 31, 2029	5 years	2 x 5 years	\$16,000 annual			Cell tower license
MM	TNT Comfort Foods	Concession Agreement Renewal	Dec 1, 2024 - Feb 28, 2025	1 year	1 year	\$1,050 annual		Stuart Park	Food concession
MM	0881373 B.C. LTD c/o Jason Tansem	Municipal Facility Lease - Commercial Lease	Aug 1, 2024 - Aug 1, 2025	1 year	N/A	\$2,100 + 5% gross profits	annual	Rutland Arena, 645 Dodd Rd	Concession and concession storage
MM	0881373 B.C. LTD c/o Jason Tansem	Municipal Facility Lease - Commercial Lease	Aug 1, 2024 - Aug 1, 2025	1 year	N/A	\$1,100 + 5% gross profits	annual	Rutland Arena, 645 Dodd Rd	Skate rental shop
MM	Mission Group	Licence of Occupation	Nov 1, 2024 - Apr 30, 2025	6 months	N/A	\$542.50 monthly		3786 Lakeshore Road	Use of 7 parking stalls in Cook Road Parking Lot
MM	Kelowna Yoga House	Lease Renewal	Oct 23 2024 - July 31 2025	281 days	1 year	\$1 annual		1272 St. Paul St.	yoga studio lease assumption
CP	John Howard Society	License of Occupation	Nov 15 2023 - Mar 31 2028	4 years 4 months	5 years	\$1 annual		425 Leon Ave.	Cornerstone Shelter Alcove Gate
MM	Fortune Marketing	New Lease	Dec. 1/24 - Nov. 30/26	2 years	3 years	\$24,472 + GST annual		305 Lawrence Ave.	End of original lease term
MM	Cornerstone Early Learning	Lease Renewal	Oct. 1/24 - Sept. 30/25	1 year	N/A	\$3,340 monthly		1920 Dunn St.	End of original lease term
MM	Central Okanagan Heritage Society	Lease Renewal	Jan 4/24 - Jan. 3/29	5 years	5 years	\$1.00 annual		1060 Cameron Avenue	End of original lease term



City of
Kelowna

Delegation of Authority Property Management - 2024

February 10, 2025

Delegation of Authority Bylaw No.11250

- ▶ Bylaw No. 11250 was approved in July 2016 to support the efficient management of City-owned or leased real property;
- ▶ It authorizes staff to execute real estate-related agreements, provided the agreements are:
 - ▶ A maximum annual fair market value of \$60,000/year or less; and
 - ▶ A maximum term of 15 years or less, including initial term and any approved renewals.



Types of Executed Agreements

Type	Quantity
Licenses of Occupation	14
Commercial Leases (incl. extensions & renewals)	19
3rd Party Agreements	8
Concession Agreements	12
Farm Leases	2
Residential Tenancy Agreements	12
Total	67





City of
Kelowna

Questions?

Report to Council



Date: February 10, 2025
To: Council
From: City Manager
Subject: Council Policy 300 Update - Neighbourhood Traffic Calming Program
Department: Integrated Transportation

Recommendation:

THAT Council receives, for information, the report from the Integrated Transportation Department, dated February 10, 2025, regarding Council Policy 300, the Neighbourhood Traffic Calming Program Policy;

AND THAT Council adopts the amended Council Policy No. 300, now titled Neighbourhood Traffic Calming Program, as outlined in the Report from Integrated Transportation Department, dated February 10, 2025.

Purpose:

To adopt the updated Council Policy No. 300, retitled Neighbourhood Traffic Calming Program.

Background:

The City has a long-standing commitment to addressing traffic-related neighbourhood issues. In 2001, Council adopted the Neighbourhood Traffic Management Policy (Policy No. 300) in response to increasing community concerns about speeding, traffic congestion, and shortcutting in residential areas. This policy aligned with best practices at the time and laid the groundwork for the City's current Neighbourhood Traffic Calming Program.

Traffic calming encompasses a set of measures designed to mitigate the adverse effects of vehicle traffic on residential streets, resulting in a safer and more comfortable environment for all street users and adjacent residents. Examples of common traffic calming measures include speed humps and cushions, raised crosswalks, traffic circles, and curb extensions. These measures aim to reduce speeding, traffic cutting through local streets, and other related traffic concerns. Traffic calming is a common practice across Canada and the City draws on best practices and guidelines from national organizations to inform design development.

Staff presented proposed [updates](#) to the Neighbourhood Traffic Calming Policy to Council in a workshop format on January 20, 2025.

Previous Council Resolution

Resolution	Date
<p>THAT Council receives, for information, the Report from the Integrated Transportation Department dated January 20, 2025, regarding proposed amendments to Council Policy 300, the Neighbourhood Traffic Calming Program Policy;</p> <p>AND THAT Council directs staff to prepare an amended Council Policy No. 300 for Council consideration, as outlined in the report from the Integrated Transportation Department dated January 20, 2025.</p>	<p>January 20, 2025</p>

Feedback from that workshop was used to form the updated Draft Council Policy, Traffic Calming (Attachment 1).

Discussion:

The City's traffic calming program has evolved over time, creating a need to update the Neighbourhood Traffic Management Policy to align with current practices. This update also provides an opportunity to address key gaps such as clear criteria for eligible streets, prioritization, and reevaluation for the Neighbourhood Traffic Calming Program.

Current Process

The City of Kelowna's Neighbourhood Traffic Calming Program Policy follows the steps below:

1. **Identification:** Traffic calming requests can be submitted via the City's Services and Requests Webpage, through staff identification, or by Council.
2. **Eligibility:** An initial review assesses whether the street is eligible for traffic calming through the Program.
3. **Evaluation:** For qualifying streets, site visits are conducted to observe existing conditions and user behavior. Traffic volume and speed data are typically collected.
4. **Prioritization:** Streets are prioritized for traffic calming based on several criteria including vehicular speeds, vehicular volumes, existing walking and biking infrastructure, pedestrian and cycling activity and the presence of a school.
5. **Delivery:** The scope of traffic calming projects are defined and Staff engage with residents directly impacted.

Updates

Below is a summary of proposed policy refinements:

- **Consistency and transparency:** The revised policy emphasizes a more consistent and transparent approach to traffic calming by refining procedures and eligibility criteria. Clear definitions of key terms are also introduced to help residents understand why streets are eligible

or ineligible for traffic calming. This includes adding clear language noting that traffic calming will not be considered on streets with a Major Arterial or Minor Arterial Road classification.

- **Delivery method:** The previous policy emphasized neighbourhood-wide plans. Most traffic calming requests are at the individual street or block level. The new policy supports both approaches, allowing for solutions that best fit either context.
- **Engagement approach:** While the previous policy included community involvement, the updated policy better defines this process. This standardized engagement approach includes criteria for the use of a community support survey, defines who is consulted in this process, and the threshold of support required for the project to advance.
- **Safety-driven projects:** In situations involving significant safety concerns, such as excessive speeding or a history of collisions, resident feedback will be used to select a preferred traffic calming measure from a set of viable options. The option receiving the most support will be implemented, balancing the need for timely action with meaningful community engagement.
- **Prioritization:** The updated policy maintains consideration of traffic speeds, volumes and the availability of walking infrastructure. In addition, it adds consideration of the level of pedestrian and cyclist activity, availability of cycling infrastructure and proximity to schools. These criteria prioritize areas with higher risks of collisions, promoting safer environments for all users.
- **Re-evaluation:** The updated policy introduces a process for evaluating streets that have previously been evaluated for traffic calming, including a five-year waiting period unless significant development occurs. This approach ensures the program is efficient.
- **Alignment with new plans:** This update brings the policy into alignment with the Official Community Plan (OCP) and updated road classifications, improving communication clarity.

Conclusion:

The proposed updates to Council Policy No. 300 aim to improve traffic safety across Kelowna by establishing transparent criteria and prioritization methods, while maintaining community engagement. This approach allows for efficient resource allocation and promotes a safe transportation network as the city continues to grow.

Internal Circulation:

Development Engineering
Kelowna Fire Department
Infrastructure Operations
Infrastructure Delivery
BC Transit
Communications

Submitted by: A. Wood-Seems, Traffic Technician

Reviewed by: G. Foy, Transportation Engineering Manager
B. Hallam, Integrated Transportation Department Manager

Approved for inclusion: M. Logan, Infrastructure General Manager

Attachments: Attachment 1 - Draft Council Policy, Traffic Calming
Attachment 2 – Existing Neighborhood Traffic Management, Policy 300



City of Kelowna
1435 Water Street
Kelowna, BC V1Y 1J4
250 469-8500
kelowna.ca

Council Policy

Neighbourhood Traffic Calming Program

ESTABLISHED June 18, 2001

Contact Department: Integrated Transportation

Guiding Principle

The 2040 Transportation Master Plan (TMP) sets the direction for a vibrant city where people are conveniently connected by diverse transportation options. The Neighbourhood Traffic Calming Program aligns with the TMP's vision and exists to enhance the safety, livability, and functionality of neighbourhood streets for all road users. It aims to balance the needs of pedestrians, cyclists, motorists, and other stakeholders by addressing concerns related to vehicular speed and short-cutting traffic, contributing to the broader goals of creating safe and connected communities.

Purpose

To establish guidance for the Neighbourhood Traffic Calming Program.

Application

This policy applies to a street with a road classification of Local or Collector except for a street:

1. in an industrial area, or
2. with a grade steeper than 8 per cent.

This policy does not apply to a street with a road classification of Minor Arterial or Major Arterial.

Definitions

"Local" means 'local' as defined in Kelowna 2040 – Transportation Master Plan.

"Collector" means 'collector' as defined in Kelowna 2040 – Transportation Master Plan.

"Minor Arterial" means 'minor arterial' as defined in Kelowna 2040 – Transportation Master Plan.

"Major Arterial" means 'major arterial' as defined in Kelowna 2040 – Transportation Master Plan.

"Directly Impacted" means a unit that is located on the street segment where a traffic calming measure is proposed or a unit that is accessed via a street segment where a traffic calming measure is proposed which has no alternative access route.

"Unit" means 'dwelling unit' or 'commercial unit' as defined in City of Kelowna Zoning Bylaw No. 12375.

"Frequent Transit Network" means 'Frequent Transit Network' as defined in Kelowna 2040 – Official Community Plan Bylaw No. 12300.

"Speed Hump" means elevated road segment designed to reduce vehicle speeds by causing vertical movement. This traffic calming measure has a sinusoidal profile to minimize abrupt impacts while maintaining its traffic-calming function.

"Speed Table" means elevated road segment designed to reduce vehicle speeds by causing vertical movement. This traffic calming measure includes a flat top, providing a smoother transition for vehicles.

"Vertical Measure" means a traffic calming measure that uses elevation changes on the roadway to manage traffic speeds. Examples include speed humps, speed tables, etc.

"Traffic Calming" means various measures aimed at mitigating the adverse effects of vehicular traffic in residential areas. These measures aim to deter speeding, shortcutting, or related issues.

"Industrial Area" means land with a future land use designation of Industrial as defined in Map 3.1 of Kelowna 2040 – Official Community Plan Bylaw No. 12300

"Agricultural Area" means land with a future land use designation of Rural Agricultural and Resources as defined in Map 3.1 of Kelowna 2040 – Official Community Plan Bylaw No. 12300

Policy Statements

1. The objective of the Neighbourhood Traffic Calming Program is to support the creation and retention of vibrant, livable neighbourhoods by enhancing safety for all road users on residential streets.
2. A street will be considered for traffic calming by the following means:
 - a) Issue identification by staff;
 - b) After receiving a request from a member of the public; or
 - c) After receiving a request from City Council.
3. Prioritization of eligible streets will consider the following criteria, listed in order of importance:
 - a) A street with higher recorded vehicle speeds;
 - b) A street with higher recorded vehicle volumes;
 - c) Amount of pedestrians and cyclists;
 - d) Proximity to a school; and
 - e) Existing walking and biking infrastructure.
4. The criteria for determining whether to apply traffic calming at a street level or a neighbourhood-wide level are as follows:
 - a) Traffic calming is focused on one street or block if a change is unlikely to affect a nearby street; or
 - b) A neighbourhood-wide approach will be used when traffic calming on a street will significantly impact nearby streets.
5. A proposed traffic calming concept will include consideration of the impacts on emergency services access .
6. Prior to proceeding with traffic calming measures, the City will consult with residents directly impacted through a survey.
 - a) If the City determines that traffic calming measures are prioritized:
 - i. A community support survey will be conducted.
 - ii. Each directly impacted unit can submit one response.
 - iii. If a directly impacted unit does not respond, their response is considered in favour.
 - iv. Traffic calming measures will not be implemented if 30 per cent or more of surveyed units are opposed.
 - b) Where the City deems that traffic calming is required due to a safety concern such as excessive speeding or a history of collisions:
 - i. Directly impacted units will be provided with two or more traffic calming alternatives.
 - ii. Each surveyed unit can provide one response as to their preferred alternative.
 - iii. The option receiving the most support will be implemented.
7. A street that has been previously evaluated for traffic calming will not be reconsidered until such a point that:
 - a) A minimum of 5 years has passed since a street was previously evaluated;
 - b) The number of dwelling units on the street segment or directly serviced by the street has increased by more than 20 per cent and more than 20 dwelling units; or
 - c) A new street connection has significantly changed travel patterns in the area.
8. Vertical traffic calming measures will not be implemented in agricultural areas with no alternative access routes.
9. A speed hump or speed table will not be implemented on a Frequent Transit Network or a Future Frequent Transit Network.

Amendments

Last Revised:

Replacing: R375/10/04/26; R498/01/06/18



City of Kelowna
 1435 Water Street
 Kelowna, BC V1Y 1J4
 250 469-8500
 kelowna.ca

Council Policy

Neighbourhood Traffic Management

APPROVED June 18, 2001

RESOLUTION: R375/10/04/26
 REPLACING: R498/01/06/18
 DATE OF LAST REVIEW: April 2010

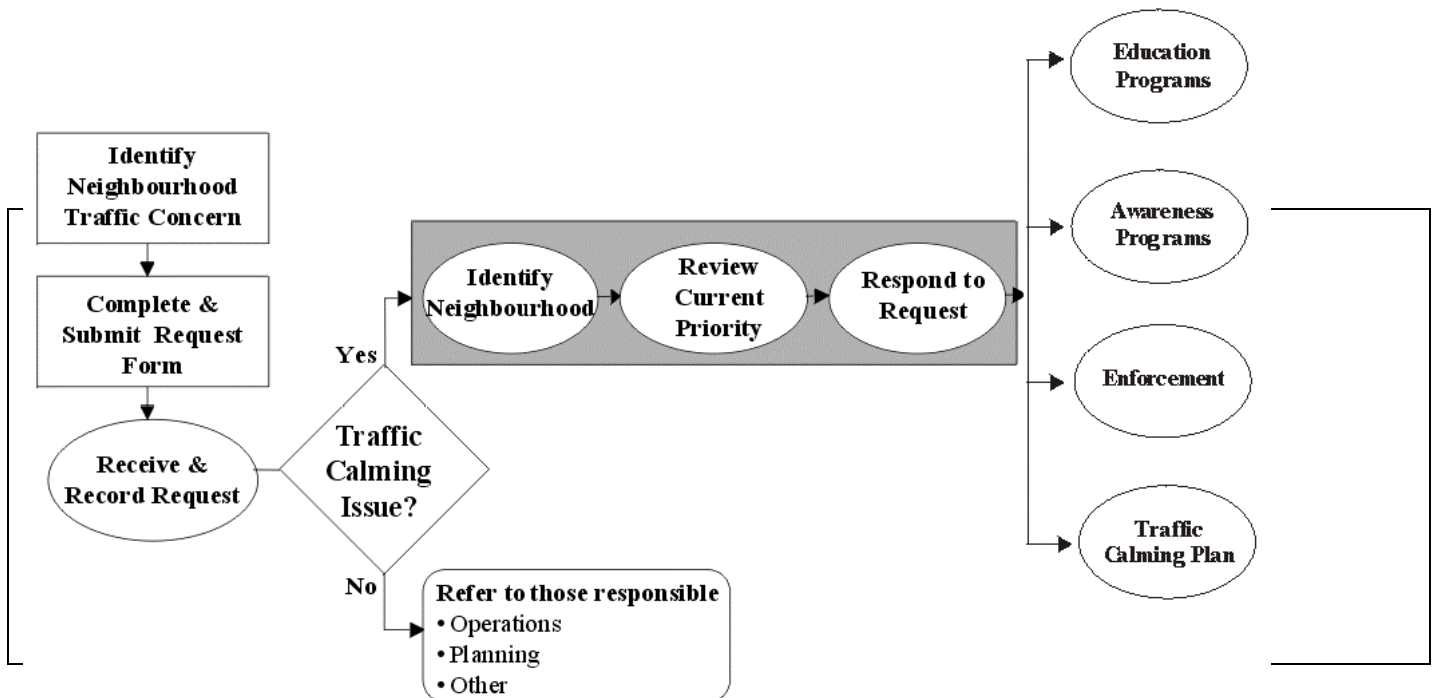
A. BACKGROUND

The City Of Kelowna recognizes that there are a range of neighbourhood traffic related issues that may arise and that many of the current functions within the City administration already address these issues (ie. safety at intersections, pedestrian crossings, etc.). However, issues such as high vehicular traffic volumes, short-cutting and speeding vehicles on residential roadways are not addressed through any current functions of the City Transportation Services Branch and may require a comprehensive approach to develop solutions beyond spot treatments.

The solutions to neighbourhood traffic issues and concerns may include education, awareness and enforcement programs as well as traffic calming measures. These strategies, to be developed for individual neighborhoods, are essentially intended to address concerns by restoring the local residential streets to their intended function by slowing traffic, discouraging short-cutting and reducing conflicts. Due to the requirement for mobility within the community, this policy does not apply to roadways classified as major collectors or arterials.

B. RESPONDING TO PUBLIC REQUESTS

The City will utilize the following customer-friendly process for handling requests for neighbourhood traffic management on an ongoing basis. In general, the process is designed to ensure that all requests in the community and other neighbourhoods are considered in a fair and equitable manner, and that the concerns of all residents and other members of the community are considered together. The process is illustrated and briefly summarized below.



B. RESPONDING TO PUBLIC REQUESTS CON'T

- a. Residents may identify neighbourhood traffic issues to the City Transportation Services Branch in writing, by phone, fax or email.
- b. The City will review comments and requests, which will then be combined with the overall requests for that neighbourhood and/or referred to other related departments for appropriate actions (i.e., Operations, Planning, etc.).
- c. The City will respond to all requests, and, if applicable, inform the resident of the process for considering neighbourhood traffic issues and indicate the City's current priorities.

C. STUDY AREAS

Although measures can be implemented at a single point of concern, the City will develop plans at a neighbourhood level. The experience of other municipalities strongly suggests that the success in developing and implementing neighborhood traffic management plans is influenced by the involvement of the entire community. In general, this approach recognizes the whole system of streets and land uses within the area and treats the road network as a community facility.

- a. The City has established boundaries for approximately 50 neighbourhoods for the purpose of recording community traffic concerns on an ongoing basis. While the boundaries generally follow the arterial and major collector street system as well as other natural features, they are designed to incorporate those areas where the implementation of traffic management measures on a given street may impact residents on adjacent streets within the area.
- b. It is not the City's intent to develop neighbourhood traffic management plans in every neighbourhood. The neighbourhood boundaries outlined in the Policy merely facilitate the collection and monitoring of community concerns as part of the annual review process.
- c. For the purpose of undertaking the development of neighbourhood traffic management plans, the City may combine areas that are in close proximity and / or with similar issues in order to deliver overall economies of scale with the level of effort required to develop the plan.

D. PRIORITIZING STUDIES

Each of the neighbourhoods will be prioritized based on primary and secondary criteria as follows:

- a. The primary criterion is limited to the request for neighbourhood traffic management. In other words, if there are no requests to address such issues the neighbourhood would not be considered. The secondary criteria would be applied to those areas where requests for neighbourhood traffic management measures have been made. The secondary criteria include quantitative and qualitative factors such as:
 - i) *Number of Request Locations.* The number of locations within a community in which traffic calming concerns have been identified. NOTE that what is being referenced is the number of locations or separate issues within a neighbourhood, and not the number of individual requests.
 - ii) *Reported Collisions.* The number of reported collisions within each neighbourhood not including the arterial road system (if data is available).
 - iii) *Availability of Sidewalks in Pedestrian Areas.* The presence, or lack thereof, of sidewalks in key pedestrian zones.
 - iv) *Difficult Road Geometry.* Locations in which neighbourhood traffic issues have been raised and the road geometry is known to be poor.
 - v) *Pending Road Improvements.* Any changes to the major road network that may alleviate some of the neighbourhood concerns and therefore delay (perhaps indefinitely) the need to develop a traffic management plan.
 - vi) *Road Rehabilitation Programs.* Any planned rehabilitation of neighbourhood streets that may accelerate the need to address concerns and combine the implementation of traffic calming measures.

Each secondary criterion will be rated for each neighbourhood on a scale of 1 through 5, where 1 indicates that the criterion is not significant within a particular community, and 5 indicates that it is very significant, and the potential projects will be ranked accordingly.

E. FUNDING

The City of Kelowna will fund neighbourhood traffic issue assessment, neighbourhood plan development, implementation of measures, on-going monitoring, and operations and maintenance of any neighborhood traffic management priorities that have been delivered through the scope of this policy. The activity level in any given year will be dictated by budget limitations.

F. PREPARING PLANS

a). Community Involvement

For a neighbourhood traffic management plan to be successful, the community must be supportive of the plan. The only means of gaining this support is to involve the entire community from the earliest stages of developing the plan. In this regard, a neighbourhood advisory group will be established for each plan being considered. The community involvement strategy is consistent with the Transportation Division's Communication Guidelines.

b). Study Process

Neighbourhood traffic management plans will be developed through a four-step process that is comprised of technical activities as well as the involvement of the community. The four -step process is highlighted as follows:

- i Study Initiation involves the preparatory activities and initiatives to increase awareness of the study as well as commitment from members of the community.
- ii Problem Identification ensures that all issues are identified early in the study process through community involvement. Additionally, data is collected to confirm the actual problems and define patterns and locations as necessary.
- iii Plan Development stage is designed to identify all traffic calming measures throughout the neighbourhood proposed to address traffic management issues. The community and key agencies are involved in identifying candidate measures and developing the preferred plan.
- iv Implementation Strategy involves the phasing and design of traffic calming measures, as well as defining a monitoring program subsequent to the installation of measures.

c) Range of Traffic Calming Measures

The Canadian Guide to Neighbourhood Traffic Calming, published jointly by the Transportation Association of Canada and the Institute of Transportation Engineers in 1998 is the primary reference for this policy where traffic calming measures are being considered. It provides details on the application (suitability and effectiveness) of traffic calming measures as well as guidelines for design. Additionally, as experience continues to develop, this document will be supplemented the City's Transportation Services Branch to provide further information in terms of selecting measures within the City of Kelowna and specific local design treatments.

REASON FOR POLICY

Guide the process of administering traffic management plans and developing and implementing traffic management measures on local and minor collector residential roadways..

LEGISLATIVE AUTHORITY

Council Resolution.

PROCEDURE FOR IMPLEMENTATION

As outlined in policy.



City of
Kelowna

Neighbourhood Traffic Calming Program - Policy 300

February 10, 2025

What is Traffic Calming?

Definition: Traffic calming means various measures aimed at mitigating the adverse effects of vehicular traffic in residential areas, such as speeding and shortcutting.

Goals:

- Enhance safety for all road users.
- Improve the livability of residential streets.
- Support active transportation.



Traffic Calming Program Policy Updates

Policy update is intended to:

- Increase Transparency
- Increase Efficiency
- Enhance Resident Engagement
- Enable the on-going success of the Traffic Calming Program



Updates to the Policy

A. Eligibility Criteria for Traffic Calming

- Apply to Local or Collector streets.
- Exceptions for streets in Industrial Areas and streets with Steep Grades (greater than 8%).
- Other restrictions; Agricultural Areas and the Frequent Transit Network.

Updates to the Policy

B. Prioritization for Traffic Calming

- Specific Metrics
 - Speed, Traffic Volume, and School Proximity.
- Active Transportation
- Collision Data Adjustment
- Data Based Decision Making

Updates to the Policy

C. Community Support Survey

- Engage residents directly impacted by traffic calming proposals
- **Projects will not move forward if more than 30% oppose.**



Updates to the Policy

D. Safety-Driven Projects

- Project is deemed required based on field observations and data collection.
- Directly impacted residents may choose between two or more design alternatives.



Updates to the Policy

E. Re-evaluation Process

- Streets previously evaluated for traffic calming will only be reconsidered if:
 - **Time:** 5 years
 - **Growth:** Significant development (more than 20% and includes at least 20 additional residential units)
 - **Traffic Patterns:** A new street connection

Proposed Updates to the Policy

F. Traffic Calming Approach: Street Level vs Neighbourhood Wide

- **Street-Level:** Applied when a change is unlikely to affect adjacent streets.
- **Neighbourhood-Wide:** Applied to prevent the unintended shift of traffic to nearby streets.

Resolution

THAT Council receives, for information, the report from the Integrated Transportation Department dated February 10, 2025, regarding Council Policy 300, the Neighbourhood Traffic Calming Program Policy;

AND THAT Council adopts the amended Council Policy No. 300, now titled Neighbourhood Traffic Calming Program, as outlined in the Report from Integrated Transportation Department, dated February 10, 2025.



Questions?

For more information, visit kelowna.ca.

Report to Council



Date: February 10, 2025
To: Council
From: City Manager
Subject: UBCM Regional Grant Funding Application - Emergency Support Services Equipment & Training grant
Department: Kelowna Fire Department

Recommendation:

THAT Council receives, for information, a report from the Kelowna Fire Department dated February 10, 2025, with respect to a grant opportunity within the 2025 Union of BC Municipalities (UBCM) Community Emergency Preparedness Fund;

AND THAT Council support a regional application by the Central Okanagan Emergency Management Program to the 2025 Emergency Support Services Equipment and Training grant;

AND FURTHER THAT the Regional District of Central Okanagan (RDCO) be authorized to apply for, receive and manage the grant funding on behalf of the City of Kelowna.

Purpose:

To support the Regional Emergency Management Program to apply for and manage a joint application to the UBCM Community Emergency Preparedness Fund – Emergency Support Services Equipment and Training grant on behalf of the City of Kelowna and other Central Okanagan local jurisdictions.

Background:

Emergency Support Services (ESS) is a provincial program delivered by the Regional Emergency Management Program to meet the basic needs of evacuees throughout the Central Okanagan. The volunteer-based program provides short-term accommodation, food and incidentals to evacuees directly following a disaster.

The Community Emergency Preparedness Fund (CEPF) is a suite of funding programs intended to enhance the resiliency of local governments, First Nations, and communities in responding to emergencies. Funding is provided by the Province of BC and is administered by UBCM. The intent of the Emergency Support Services Equipment and Training stream is to build local ESS capacity by supporting efforts to recruit, retain and train ESS volunteers as well as purchase of equipment to support the modernization of ESS delivery.

In 2024, the Regional Emergency Program received a \$147,500 UBCM Emergency Support Services Equipment and Training grant as the primary applicant. Funds have supported a variety of training, including a live exercise at Royal LePage place, expanded equipment and supplies, public information materials and efforts supporting ESS volunteer recognition and retention.

Discussion:

To support the ongoing success and growth of ESS, the Emergency Management program will apply on behalf of each of the six member jurisdictions participating up to a maximum request of \$240,000 dollars. Each partnering jurisdiction must submit a resolution that states their approval for the primary applicant, to apply for, receive, and manage the grant funding on behalf of the region.

Upon a successful grant application, grant funds will be used to bolster group lodging and muster center equipment throughout the region, purchase equipment to support digital evacuee registration and expand training and resources for our volunteers ESS responders.

100% of the project costs are anticipated to be covered by this grant, which will be managed regionally.

Conclusion:

A successful application and management of the UBCM Community Emergency Preparedness Fund grant will significantly enhance the Emergency Support Services program's capacity to support evacuees in Kelowna throughout the Central Okanagan.

Internal Circulation:

Partnerships & Investments

Considerations not applicable to this report:

Legal/Statutory Authority:

Legal/Statutory Procedural Requirements:

Existing Policy:

Financial/Budgetary Considerations:

Consultation and Engagement:

Submitted by: L. Wilson, ESS Supervisor

Approved for inclusion: S. Leatherdale, General Manager, People & Protective Services

cc:

B. Seibert, Regional Emergency Program Manager

K. March, Grants and Special Projects Manager

Report to Council



Date: February 10, 2025
To: Council
From: City Manager
Subject: Growing Canada’s Community Canopies Grant 2025
Department: Partnerships Office

Recommendation:

THAT Council receives, for information, the report from the Partnerships Office dated February 10, 2025 with respect to the Growing Canada’s Community Canopies Grant;

AND THAT Council directs staff to apply for grant funding to the Growing Canada’s Community Canopies Grant program, administered through the Federation of Canadian Municipalities;

AND THAT Council authorizes staff to execute all documents necessary to complete and manage the grant;

AND FURTHER THAT if that grant application is successful, the Financial Plan be amended to include the receipt of funds.

Purpose:

To inform Council of the Growing Canada’s Community Canopies Grant, and to receive support to apply for the grant funding.

Council Priority Alignment:

Climate & Environment

Background:

The Federation of Canadian Municipalities’ Green Municipal Fund (GMF) is a \$2.4B investment from the Government of Canada in a bundle of funding programs that delivers environmental, economic, and social impact.

Under the GMF, the Growing Canada’s Community Canopies (GCCC) funding program is a \$291M initiative that will support planting of at least 1.2 million trees across the country. The initiative is a part of GMF’s broader approach to nature-based climate solutions, which will achieve significant carbon

sequestration and increase forest and community resilience to climate change. Tree planting funding is for new tree planting projects, supporting communities to grow, manage, and protect their tree canopies.

Previous Council Resolutions

Growing Canada's Community Canopies Grant

Resolution	Date
<p>THAT Council receives, for information, the report from the Partnerships Office dated October 21, 2024 with respect to the Growing Canada's Community Canopies Grant;</p> <p>AND THAT Council directs staff to apply for grant funding to the Growing Canada's Community Canopies Grant program, administered through the Federation of Canadian Municipalities;</p> <p>AND THAT Council authorizes staff to execute all documents necessary to complete and manage the grant;</p> <p>AND FURTHER THAT if that grant application is successful, the Financial Plan be amended to include the receipt of funds.</p>	October 21, 2024

Resolution	Date
<p>THAT Council receives, for information, the report from the Partnerships Office dated July 22, 2024 with respect to the Growing Canada's Community Canopies Grant;</p> <p>AND THAT Council directs staff to apply for grant funding to the Growing Canada's Community Canopies Grant program, administered through the Federation of Canadian Municipalities;</p> <p>AND THAT Council authorizes staff to execute all documents necessary to complete and manage the grant;</p> <p>AND FURTHER THAT if that grant application is successful, the Financial Plan be amended to include the receipt of funds.</p>	July 22, 2024

Discussion:

The City is applying to the GCCC Tree Planting fund for the Glenmore Recreation Park – Tree Canopy Edge Project. The project includes planting over 300 trees and associated shrubs in Glenmore Recreation Park.

The project's plan includes providing soil, mulch, and irrigation to supply the growing conditions trees will need to mature. The added trees will provide increased aesthetics, shade, and comfort for park users and wildlife habitat.

Conclusion:

The City actively pursues grants to reduce municipal taxation and to leverage City funding for infrastructure, services, and programs to support Council, corporate and community priorities.

Funding from the Growing Canada's Community Canopies fund will support initiatives to increase tree canopy throughout Kelowna.

Internal Circulation:

Infrastructure Delivery
Parks Planning & Design
Planning, Climate Action & Development Services
Finance

Considerations applicable to this report:

Legal/Statutory Authority:

Legal/Statutory Procedural Requirements:

Existing Policy:

Financial/Budgetary Considerations:

Consultation and Engagement:

Submitted by: K. March, Grants & Special Projects Manager

Approved for inclusion: M. Kam, Partnerships Office Director

cc:

M. Stephun

A. Johnston

B. Beach

R. Smith

M. Kam