

City of Kelowna
Regular Council Meeting
AGENDA



Monday, January 20, 2025
1:30 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca.

2. Confirmation of Minutes

3 - 8

PM Meeting - January 13, 2025

3. Development Application Reports & Related Bylaws

3.1 Valley Road N 212 - TA24-0014 (BL12741) - City of Kelowna

9 - 26

To amend the Zoning Bylaw to allow 'Temporary Shelter Services' as a principal use on the subject property.

3.2 Content Changes - TA24-0021 (BL12742) - City of Kelowna

27 - 58

To amend Zoning Bylaw No. 12375 by updating the following sections: Section 5 - Definitions & Interpretations, Section 6 – General Development Regulations, Section 7 – Site Layout, Section 10 – Agriculture & Rural Residential Zones, Section 12 – Mobile Home and Camping Zones, Section 13 – Multi-Dwelling Zones, and Section 14 – Core Area & Other Zones.

3.3 Saucier Rd 2555 - LL24-0021 - Sawin, Darren and Jane

59 - 84

To seek Council's support for a lounge endorsement on an existing manufacturing licence.

3.4 Bernard Ave 571 - LL24-0020 - MKK Property Corp., Inc.No. BC1307626

85 - 104

To seek Council's support for a change of hours to an existing food primary licence.

3.5	Drysdale Blvd 305 - DP24-0110 - Will McKay and Co. Ltd., Inc.No. BCo306923	105 - 165
	To issue a Development Permit for the form and character of rental apartment housing.	
4.	Non-Development Reports & Related Bylaws	
4.1	Short Term Rental Accommodations - Provincial Alignment	166 - 183
	To review the available data regarding local Short-Term Rentals, and to direct Staff to align local regulations with provincial short-term rental legislation.	
4.2	2024 Grant Summary Update	184 - 218
	To provide Council a summary of the 2024 Grants Management Program.	
4.3	Maintenance of Boulevards - Update	219 - 238
	To approve bylaw amendments that promote improved street tree care and protect boulevard landscaping as critical infrastructure.	
4.4	BL12744 - Maintenance of Boulevards	239 - 242
	To give Bylaw No. 12744 first, second and third reading.	
4.5	BL12745 - Amendment No. 38 to Bylaw Notice Enforcement Bylaw No. 10475	243 - 244
	To give Bylaw No. 12745 first, second and third reading.	
4.6	Development Cost Charge Update	245 - 264
	To update the Development Cost Charge (DCC) rates to account for rising infrastructure construction costs.	
4.7	BL12746 - Amendment No. 1 to Development Cost Charge Bylaw No. 12420	265 - 266
	To give Bylaw No. 12746 first, second and third reading.	

5. Mayor and Councillor Items

6. Termination



**City of Kelowna
Regular Council Meeting
Minutes**

Date:	Monday, January 13, 2025
Location:	Council Chamber City Hall, 1435 Water Street
Members Present	Deputy Mayor Luke Stack, Councillors Ron Cannan, Gord Lovegrove*, Mohini Singh, Rick Webber and Loyal Wooldridge
Members Participating Remotely	Councillor Charlie Hodge
Members Absent	Mayor Tom Dyas and Councillor Maxine DeHart
Staff Present	City Manager, Doug Gilchrist; City Clerk, Laura Bentley; Divisional Director, Planning, Climate Action and Development Services, Ryan Smith*; Development Planning Department Manager, Nola Kilmartin*; Development Planning Manager, Dean Strachan*; Planner Specialist, Tyler Caswell*; Acting Development Planning Manager, Adam Cseke*; Planner Specialist, Kimberly Brunet*; Long Range Planning Manager, Robert Miles*; Deputy City Clerk, Michael Jud*; Legal and Administrative Coordinator, Lisa Schell
Staff Participating Remotely	Legislative Coordinator (Confidential), Arlene McClelland

(* Denotes partial attendance)

1. Call to Order

Deputy Mayor Stack called the meeting to order at 1:30 p.m.

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca.

2. Confirmation of Minutes

Moved By Councillor Lovegrove/Seconded By Councillor Wooldridge

THAT the Minutes of the Regular Meetings of December 9, 2024 be confirmed as circulated.

Carried

3. Development Application Reports & Related Bylaws

3.1 Saucier Rd 2360 - A24-0013 FH24-0002 - Catspaw Management Co. Ltd., Inc. No. 155100

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor Wooldridge

THAT Agricultural Land Reserve Application No. A24-0013 for Lot 2 District Lot 359 ODYD Plan 17157 Except Plan 39252 located at 2360 Saucier Rd, Kelowna, BC for a Non-Adhering Residential Use Permit pursuant to Section 25 of the Agricultural Land Commission Act, be supported by Council;

AND THAT the Council directs Staff to forward the subject application to the Agricultural Land Commission for consideration;

AND THAT Council authorizes the issuance of Temporary Farm Worker Housing Permit No. FH24-0002 for Lot 2 District Lot 359 ODYD Plan 17157 Except Plan 39252, located at 2360 Saucier Rd, Kelowna, BC subject to the following:

1. Approval by the Agricultural Land Commission of Non-Adhering Residential Use Permit Application No. A24-0013;
2. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
3. A vegetated buffer is provided for screening adjacent property lines and between the temporary farm worker housing and active farming areas in accordance with Schedule "B";
4. The applicant is required to post the City a Landscape Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscape buffer, as determined by a professional landscaper;
5. Registration of a Section 219 Restrictive Covenant on the Title that states:
 - a. The dwellings will be used for temporary farm workers only;
 - b. The owner will remove the dwellings if the farm operation changes such that if they are no longer required;
 - c. The dwellings will only be used for farm workers for a maximum of ten (10) months of the year;
 - d. The maximum number of accommodations permitted on this farm unit within this City sector is 60 workers; and,
 - e. The temporary farm worker housing building footprint is a maximum of 0.3 ha.

AND FURTHER THAT this Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

3.2 Wardlaw Ave 667, 681 - Z24-0039 (BL12736) - 15017807 Canada Inc., Inc. No. A0127722

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Cannan/Seconded By Councillor Lovegrove

THAT Rezoning Application No. Z24-0039 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of:

- a. Lot 1 District Lot 14 ODYD Plan 3769, located at 681 Wardlaw Ave, Kelowna, BC; and
- b. Lot 2 District Lot 14 ODYD Plan 3769, located at 667 Wardlaw Ave, Kelowna, BC

from the UC5 – Pandosy Urban Centre zone to the UC5r – Pandosy Urban Centre Rental Only zone, be considered by Council.

Carried

3.3 Brookside Ave 1230 - Z24-0054 (BL12737) - City of Kelowna

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Moved By Councillor Wooldridge/Seconded By Councillor Singh

THAT Rezoning Application No. Z24-0054 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot 1 District Lot 137 ODYD Plan 4386, located at 1230 Brookside Ave, Kelowna, BC from the UC2 – Capri-Landmark Urban Centre zone to the UC2r – Capri-Landmark Urban Centre Rental Only zone, be considered by Council;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure.

Carried

3.4 Enterprise Way 2009 - Z24-0052 (BL12738) - WGP-241 Holdings Ltd., Inc. No. 665182

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Wooldridge/Seconded By Councillor Singh

THAT Rezoning Application No. Z24-0052 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot 1 District Lot 140 ODYD Plan 27785, located at 2009 Enterprise Way, Kelowna, BC from the CA1 – Core Area Mixed Use zone to the CA1rcs – Core Area Mixed Use Retail Cannabis Sales zone, be considered by Council;

AND THAT if the Rezoning Bylaw is adopted, Council direct Staff to send a recommendation to the Provincial Liquor and Cannabis Regulation Branch that they support issuance of a non-medical cannabis retail store license for this legal lot with the following comments:

- The proposed store location meets local government bylaw requirements and as such, no negative impact is anticipated;
- The views of the residents were captured through the public notification process for the rezoning of the property and provided to Council for consideration; and
- Local government recommends that the application be approved because of the compliance with local regulations and policies.

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure.

Carried

3.5 Rutland Rd N 920 - TA24-0011 (BL12739) - Amarjit Kaur Dhani and Sukhbir Singh Dhani

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor Cannan

THAT Zoning Bylaw Text Amendment Application No. TA24-0011 to amend the City of Kelowna Zoning Bylaw No. 12375 as outlined in Schedule "A" attached to the Report from the Development Planning Department dated January 13, 2025 for Lot 7 Section 26 Township 26 ODYD Plan KAP44228 located at 920 Rutland Rd N, Kelowna, BC be considered by Council.

Carried

3.6 Rezoning Bylaws Supplemental Report to Council

Staff:

- Commented on notice of first reading and correspondence received and responded to questions from Council.

3.7 Rezoning Applications

3.7.1 Wilkinson St 2160 - BL12732 (Z24-0042) - Wilkinson St Holdings Ltd., Inc. No. BC1321697

3.7.2 Cadder Ave 789, 809 - BL12735 (Z24-0045) - Multiple Owners

Moved By Councillor Singh/Seconded By Councillor Lovegrove

THAT Bylaw No. 12732 and Bylaw No. 12735 each be read a first, second and third time.

Carried

3.8 Lynrick Rd 1702 - OCP23-0011 Z22-0028 - Extension Request

Staff:

- Responded to questions from Council.

Moved By Councillor Cannan/Seconded By Councillor Wooldridge

THAT in accordance with Development Application and Heritage Procedures Bylaw No. 12310, the deadline for the adoption of the Official Community Plan Amending Bylaw No. 12603 and Rezoning Bylaw No. 12604, be extended from January 16, 2025, to January 16, 2026;

AND THAT Council direct Staff to not accept any further extension requests.

Carried

4. Bylaws for Adoption (Development Related)

4.1 St. Paul St 1428 - BL12691 (Z24-0025) - City of Kelowna

Moved By Councillor Singh/Seconded By Councillor Lovegrove

THAT Bylaw No. 12691 be adopted.

Carried

4.2 Osprey Ave 459 - BL12717 (Z24-0034) - 1347431 B.C. Ltd., Inc. No. BC1347431

Moved By Councillor Singh/Seconded By Councillor Lovegrove

THAT Bylaw No. 12717 be adopted.

Carried

4.3 Houghton Rd 1028-1030 - BL12729 (Z23-0008) - Helene L. M. Letnick

Moved By Councillor Cannan/Seconded By Councillor Webber

THAT Bylaw No. 12729 be adopted.

Carried

5. Non-Development Reports & Related Bylaws

5.1 Draft Heritage Conservation Area Development Guidelines

Councillor Lovegrove declared a conflict of interest as they own property in the Abbott Street Heritage Conservation Area and departed the meeting at 2:12 p.m.

Staff:

- Displayed a PowerPoint Presentation providing an overview of the draft Heritage Conservation Area Development Guidelines with next steps and responded to questions from Council.

Moved By Councillor Hodge/Seconded By Councillor Wooldridge

THAT Council receives, for information, the report from the Long Range Planning Department, dated January 13, 2025, outlining the draft Heritage Conservation Area Guidelines;

AND THAT Council direct Staff to proceed with refinements to the draft Heritage Conservation Area Guidelines.

Carried

Councillor Lovegrove returned to the meeting at 2:35 p.m.

5.2 Updates to Council Policy No. 390 - Lobbyist Registry

Staff:

- Displayed a PowerPoint Presentation outlining the amendments to the Lobbyist Registry Council Policy and responded to questions from Council.

Moved By Councillor Webber/Seconded By Councillor Wooldridge

THAT Council receive, for information, the report from the Office of the City Clerk dated January 13, 2025, regarding amendments to Council Policy No. 390 – Lobbyist Registry;

AND THAT Council Policy No. 390 – Lobbyist Registry be amended as set out in the report from the Office of the City Clerk dated January 13, 2025.

Carried

6. Bylaws for Adoption (Non-Development Related)

6.1 BL12730 - Security Alarm Systems Bylaw

Moved By Councillor Cannan/Seconded By Councillor Webber

THAT Bylaw No. 12730 be adopted.

Carried

7. Mayor and Councillor Items

Councillor Cannan:

- Spoke to their attendance and success of the Parade with a Purpose event and thanked the community and staff for their support.

- Commented on the fundraising for the Salvation Army and the community's support.
- Spoke to their participation in a school tour of Council Chambers.
- Commented on those affected by the fires near Los Angeles, California.

Councillor Singh:

- Spoke to their attendance at the Parade with a Purpose event.
- Spoke to their attendance at the Sharry Mann concert that provided a donation to the Starbright Children's Development Centre.

Councillor Hodge:

- Spoke to their attendance at The Bridge Youth and Family Services event.

Deputy Mayor Stack:

- Commented on the immense public use of Stuart Park ice rink.

8. Termination

This meeting was declared terminated at 2:55 p.m.

Deputy Mayor Stack

lb/acm



City Clerk

DRAFT

REPORT TO COUNCIL

ZONING BYLAW TEXT AMENDMENT



NDate: January 20, 2025
To: Council
From: City Manager
Address: 212 Valley Road N
File No.: TA24-0014

	Existing	Proposed
OCP Future Land Use:	R-AGR – Rural – Agricultural and Resource	R-AGR – Rural – Agricultural and Resource
Zone:	A2 – Agricultural/Rural Residential	A2 – Agricultural/Rural Residential

1.0 Recommendation

THAT Zoning Bylaw Text Amendment Application No. TA24-0014 to amend City of Kelowna Zoning Bylaw No. 12375 as outlined in Schedule “A” attached to the Report from the Development Planning Department dated January 20, 2025 for that part of Lot 13 Block 5 Section 4 Township 23, ODYD Plan 896 shown as Okanagan Hwy (proposed) and two parts as 50 ft Access Road all of which are dedicated as road on Plan 11656, located at 212 Valley Road, Kelowna, BC, be considered by Council;

2.0 Purpose

To amend the Zoning Bylaw to allow ‘Temporary Shelter Services’ as a principal use on the subject property.

3.0 Development Planning

Staff are recommending support for the proposed text amendment as it would allow for the development of a youth recovery center on the subject property. The proposal aligns with Council priorities related to Crime and Safety. Council 2023-2026 priorities include the advancement of the implementation of the Mayor’s Task Force on Crime Reduction recommendations. Specifically, the Task Force recommendations include partnering with regional and provincial government and non-government organizations to establish youth and adult sobering and assessment centres.

The City’s Official Community Plan includes objectives to develop diverse partnerships to advance complex social planning issues and increase community wellbeing and includes specific policy related to collaborating with community organizations to support mental health, social and addiction services.

If approved the text amendment would allow the non-profit organization, The Bridge Youth and Family Services, to proceed with detailed planning for the use of the site as a youth recovery centre. Subsequently, Development Permit approvals for the form and character of the proposed buildings and environmental protection as well as site-servicing and issuance of a building permit would be required prior to construction of the facility.

4.0 Site Context & Background

Orientation	Zoning	Land Use
North	A1 – Agriculture	Agriculture
East	A2 – Agriculture/Rural Residential	Agriculture/Residential
South	A1 – Agriculture	Residential
West	A1 – Agriculture	Residential

Subject Property Map:



The subject property is a vacant 3-acre city-owned lot located in the North Glenmore neighborhood. The property is located outside of the Permanent Growth Boundary and is designated R-AGR – Rural – Agricultural & Resource in the Official Community Plan. The property is zoned A2 – Agricultural/Rural Residential. The property is not located within the Agricultural Land Reserve (ALR) but is located adjacent to land within the ALR. A tributary of Brandt Creek runs through the middle of the property.

4.1 Background

The Bridge Youth and Family Services Society has expressed interest in this location as it meets the Society’s specific needs to create a friendly and welcoming campus of care for youth experiencing substance use disorders. Specifically, the land has an urban setting close to city services (bus routes, schools, emergency services, police services and shopping) while also having a rural/agricultural setting for land-based learning and animal-assisted therapy.

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Objective 9.3. Develop diverse partnerships to advance complex social planning issues and increase community wellbeing.		
Policy	9.3.5	Collaborate with all levels of government and community organizations to support integrated planning and coordination of a continuum of health and wellness amenities, recreation programs and facilities, mental health, social and addiction services and care.
		<i>The proposal is meant to be an important part of an integrated system of health care that offers comprehensive patient care to youth.</i>

6.0 Application Chronology

Application Accepted: September 12th 2024
 Neighbourhood Notification Summary Received: November 26th 2024

Report prepared by: Alex Kondor, Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

Attachments:

- Schedule A: Text Amendment Table
- Attachment A: The Bridge Youth and Family Services Society Letter of Rational

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.



Schedule A – Proposed Text Amendments

Section	Current Wording	Proposed Wording			Reason for Change	
Section 10 – Agriculture & Rural Residential Zones, Section 10.7 – Site Specific Regulations	N/A		Legal Description	Civic Address	Regulation	This text amendment is a site specific text amendment to allow the use of 'Temporary Shelter Services' as a Principal Use on the subject property located 212 Valley Road N, Kelowna, BC.
		5	That Part of Lot 13 Block 5 Section 4 Township 23 Osoyoos Division Yale District Plan 896 Shown as Okanagan Hwy (Proposed) And Two Parts As 50 Ft Access Road All of Which Are Dedicated As Road On Plan 11656	212 Valley Road N	To allow for Temporary Shelter Services as a Principal Use on the subject property	

August 14, 2024

City of Kelowna
Development Services
1435 Water Street
Kelowna, BC V1Y 1J4
250-469-8960

**Re: The Bridge Youth & Family Services Society– Youth Recovery Centre
Valley Road North**

Hello,

MQN Architects have been engaged by the Hall Family Foundation for the Bridge Youth & Family Services Society to develop a new Youth Recovery Centre.

The greater Kelowna area is experiencing an ever-increasing number of youth who are dealing with serious substance use challenges. At the same time, Kelowna has very limited capability to help these youth access withdrawal and treatment services.

The Bridge Youth & Family Services and The Hall Family Foundation have partnered to help ameliorate this situation in our community. Our concept is to create a friendly and welcoming campus of care for youth, experiencing substance use disorders, who want to turn their lives around.

The campus of care will feature four key components:

- Withdrawal management services (detox)
- Treatment and recovery services
- Aftercare & Transitional housing
- Agriculture (care farming) and animal assisted therapy working with distressed animals.

For this campus of care to function optimally, the project requires an urban setting with rural components. This would include features such as being close to city services; (bus routes, schools, emergency services, police services and shopping) while also having an agricultural setting for land based learning and the animal assisted therapy operation.

Brian F. Quiring
Architect AIBC, MAA, M.Arch

Vicki A. Topping
Architect AIBC, M.Arch. LEED AP+

Roger B. Green
Architect AIBC, MRAIC, M.Arch

Finding the appropriate site was a challenge, but with the help of the City of Kelowna Property Services Department, we were able to identify a city owned property that met the required criteria. When the City learned of our intentions and that this project is to be entirely funded with charitable donations, the city looked at ways to assist. We now understand the City may be prepared to support this charitable undertaking by granting us a rent free 99 year lease for this City of Kelowna owned parcel of land.

ATTACHMENT A	
This forms part of application # TA24-0014	
Planner Initials	ak
 City of Kelowna DEVELOPMENT PLANNING	

Design Concept

The proposed architectural design is for a Youth Recovery Centre on Valley Road North in Kelowna (KAP 896 Lot 13 Block 5). This project includes the development of five buildings: three cottages, a centre learning hub and a barn building. These buildings are designed as one and two storey buildings with a scale consistent with the size of other buildings in this semi-rural setting.

The 2.9 acre project site is located in the Glenmore neighbourhood. The Valley Road North area consists of a number of single family houses and small farm operations. The site for this proposed project has been subdivided off an existing farm property which shares access through the project property and is a residual parcel from a planned road alignment many years ago. Topography includes a rolling site with natural wetlands to the Northeast. Previous use of this property has been for agricultural purposes.

This site is currently zoned A2 Agricultural / Rural Residential and is outside the Agricultural Land Reserve. For this project the City of Kelowna Planning department has recommended a text amendment to the A2 zone to allow for this project under the Temporary Shelter Services use. The proposed project design does not anticipate any zoning variances.

The Youth Recovery Centre has been designed as a campus model. Youth who are using this facility will be staying in one of three cottage buildings which are further divided into a total of six houses. These houses include five bedrooms and associated living spaces. One of the houses has been developed with additional spaces to be able to function as a detoxification centre to address youth with higher medical needs. In addition to the housing, there is a centralized Learning Hub building which is designed to provide meals, recreation and learning within a common location. The Learning Hub also contains office space for staff as well as cooking and central laundry areas. The final building proposed in this project is a barn this space is planned as a part of the farming operation around this site to provide youth with an opportunity learn skills and interact with farm operations through an animal assisted treatment therapy program. By providing services through a number of small buildings, this project deinstitutionalizes the treatment process, providing youth with a safe space to receive help to put their lives back together.

Brian F. Quiring
Architect AIBC, MAA, M.Arch

Vicki A. Topping
Architect AIBC, M.Arch. LEED AP+

Roger B. Green
Architect AIBC, MRAIC, M.Arch

Working with the existing site topography, required setbacks from ALR lands and zoning setback requirements, the project is designed following the property alignment from southwest to northeast. The project is situated primarily to the southwest of the site to avoid the existing natural drainage wetland area as identified by Okanagan Environmental Health & Safety.

The form and character of the proposed buildings have been developed to fit into the existing North Glenmore neighbourhood and all buildings are 1 to 2 stories and have their mass broken up into components consistent with the scale and character of the neighbourhood. The buildings are proposed with residential style cladding and roofing to blend in with the existing neighbourhood.

Thank-you for your assistance in making this project a reality as we believe that this is an important facility for addressing the needs of our community.

Regards

Roger Green, Architect AIBC, Partner
MQN Architects



ATTACHMENT **A**

This forms part of application
TA24-0014

Planner Initials

City of Kelowna
DEVELOPMENT PLANNING

The logo for the City of Kelowna, featuring a colorful, circular geometric pattern to the right of the text 'City of Kelowna' and 'DEVELOPMENT PLANNING'.

Brian F. Quiring
Architect AIBC, MAA, M.Arch

Vicki A. Topping
Architect AIBC, M.Arch. LEED AP+

Roger B. Green
Architect AIBC, MRAIC, M.Arch

CITY OF KELOWNA

BYLAW NO. 12741

TA24-0014

212 Valley Road N

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375, **Section 10 – Agriculture & Rural Residential Zones, Section 10.7 – Site Specific Regulations** be amended by adding the following in its appropriate location:

“

That Part of Lot 13 Block 5 Section 4 Township 23 ODYD Plan 896 Shown as Okanagan Hwy (Proposed) and Two Parts as 50 ft Access Road all of Which are Dedicated as Road on Plan 11656	212 Valley Road N	To allow for Temporary Shelter Services as a Principal Use on the subject property.
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”

2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



City of
Kelowna

TA24-0014
212 Valley Road
Zoning Bylaw Text Amendment Application

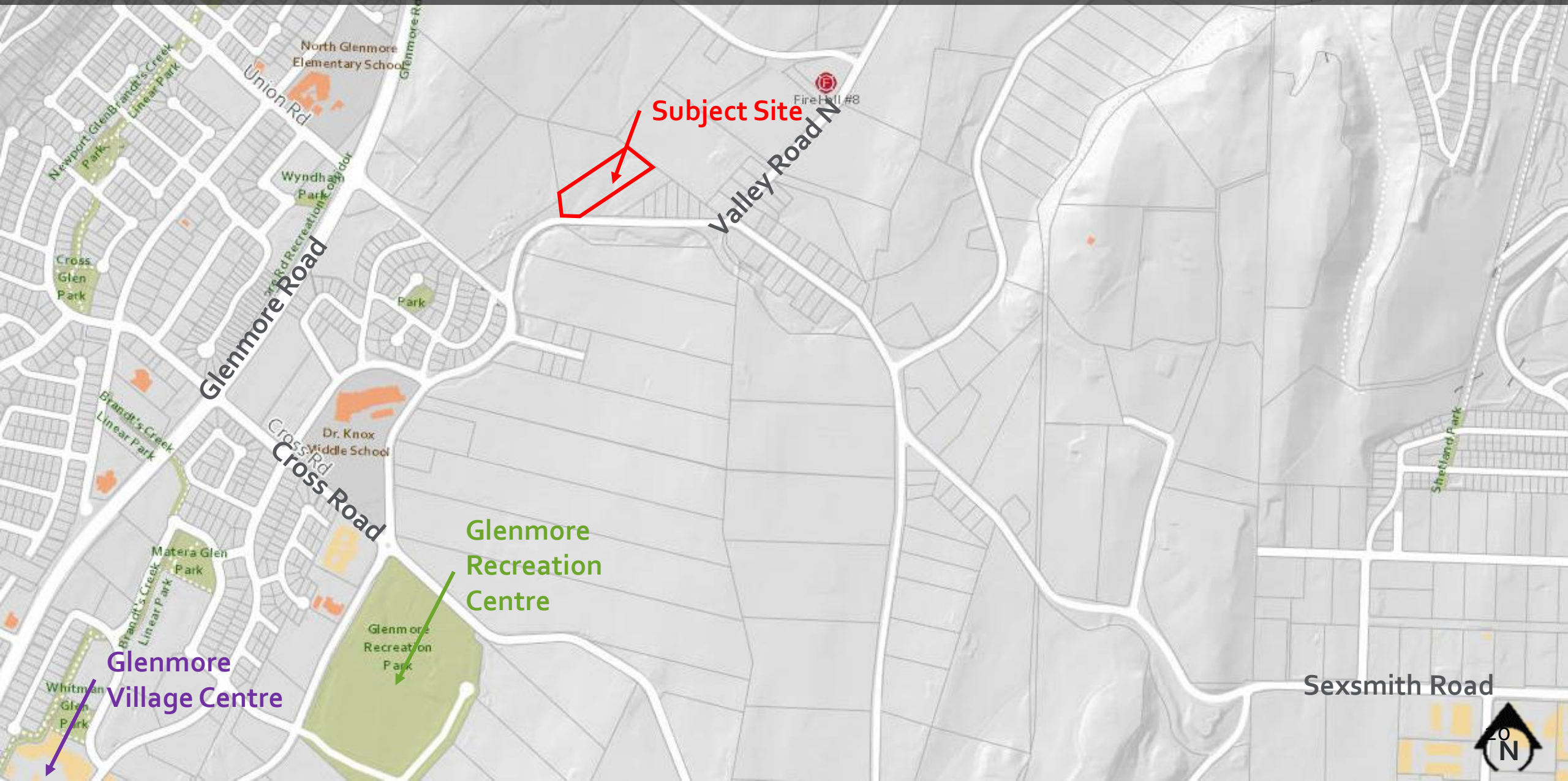
Purpose

- ▶ To amend the Zoning Bylaw to allow 'Temporary Shelter Services' as a principal use on the subject property.

Development Process



Context Map



Subject Site

Fire Hall #8

Glenmore Rd

Valley Road N

Cross Rd

Glenmore Recreation Centre

Glenmore Village Centre

Sexsmith Road



Background

The Bridge Youth and Family Services Society is requesting help to find a location that meets their unique needs:

- ▶ Private/discrete location to create a campus of care for youth, recovering from substance abuse.
- ▶ Urban setting close to city services; (bus routes, schools, emergency services, police services and shopping)
- ▶ Rural/agricultural setting for land-based learning and animal assisted therapy.

Subject Site



Official Community Plan Map



	C-NHD - Core Area Neighbourhood
	R-RES - Rural Residential
	R-AGR - Rural - Agricultural & Resource
	EDINST - Education / Institutional
	PARK - Park and Open Space

Zoning Bylaw Map



OCP Objectives & Policies

- ▶ **Objective 9.3.** Develop diverse partnerships to advance complex social planning issues and increase community wellbeing.
 - ▶ **Policy 9.3.5** Collaborate with all levels of government and community organizations to support integrated planning and coordination of a continuum of health and wellness amenities, recreation programs and facilities, mental health, social and addiction services and care.

Staff Recommendation:

Support:

- ▶ Aligns council's priorities and OCP Policy.
- ▶ Provides a unique opportunity to support a local non-profit society.

REPORT TO COUNCIL

ZONING



Date: January 20, 2025
To: Council
From: City Manager
Address: N/A
File No.: TA24-0021

1.0 Recommendation

THAT Zoning Bylaw Text Amendment Application No. TA24-0021 to amend City of Kelowna Zoning Bylaw No. 12375 as outlined in Schedule “A” attached to the Report from the Development Planning Department dated January 20th 2025, be considered by Council;

AND THAT final adoption of the Zoning Bylaw Text Amending Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure.

2.0 Purpose

To amend Zoning Bylaw No. 12375 by updating the following sections: Section 5 - Definitions & Interpretations, Section 6 – General Development Regulations, Section 7 – Site Layout, Section 10 – Agriculture & Rural Residential Zones, Section 12 – Mobile Home and Camping Zones, Section 13 – Multi-Dwelling Zones, and Section 14 – Core Area & Other Zones.

3.0 Development Planning

Staff have committed to continual improvements to the Zoning Bylaw as issues arise and priorities change. Staff are presenting a series of minor amendments for Council’s review.

In this report, several recommended content changes are proposed to the Zoning Bylaw. For a detailed list of changes, rationale and recommendation, see the attached Schedule ‘A’. Table 3.1 below provides an Executive Summary of the changes. The Executive Summary is organized into 10 categories.

Table 3.1 Executive Summary of Schedule ‘A’ Recommended Content Changes			
No.	Section	Area of Change	Additional Detail
1.	Section 5 Definitions & Interpretations & Section 9.11 Specific Uses – Tall Building Regulations	Updates to the visual example of a corner lot setback when the lot line is rounded.	Update to where the diagrams are displayed within the Zoning Bylaw
2.	Section 5 Definitions & Interpretations	Updates the maximum weight of a vehicle from 4,100 kg to 5,500 kg to	Update the definitions of <i>Automotive and Equipment</i> and <i>Automotive and Equipment, Industrial</i> . Update the home-based business

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No.	Section	Area of Change	Additional Detail
	& Section 9.2 Home Based Business Regulations	coordinate the maximum vehicle weight of storing vehicles on a residential lot with the land use that permits the sale / rental of new / used non-industrial vehicles.	restrictions to coordinate the vehicle weight amount.
3.	Section 6 – General Development Regulations (Projections)	Updates to rear yard projections to ensure single-family character lots contain similar projection regulations.	The current term "Single & Two Dwelling Zones" is no longer relevant after the SSMUH provincial legislation was adopted.
4.	Section 7 – Site Layout	Updates to grading requirements for landscaped areas. Update to yard waste storage requirements.	This change is recommended to modernize regulations and harmonize with national standards. Adding yard waste ensures all bin types are accounted for regarding storage locations onsite.
5.	Section 10.5 – Agriculture & Rural Residential Zones	Updates to fix the error in the bylaw for maximum gross floor area can be increased for carriage houses within A1 zoned ALR lots from 40,000 m ² to 400,000 m ²	The ALC allows an increase to the size of a secondary dwelling if the property is 40 ha (400,000 m ²) or greater. This amendment aligns with the ALC legislation for residences in the ALR.
6.	Section 12.2 – Mobile Home and Camping Zones & Section 14.15 – Core Area & Other Zones - Site Specific Regulations	Update the Mobile Home zone to exclude campsites as a permitted use and to limit campsites specifically to 735 Weddell Place.	This update is recommended to protect mobile home residents and protect affordable housing. This is key because camping includes RVs which could put in jeopardy long term residents for short term rentals. Further, Staff confirmed all the properties currently zoned MH1 do not have campsites.
7.	Section 13.5 Multi-Dwelling Zones & Section 14.11 – Core Area & Other Zones	Amend the indoor amenity space requirement to only apply to apartment buildings with 25 or more dwelling units.	Amend the indoor amenity space requirement to exclude small apartment buildings. A single access staircase apartment building is permitted a maximum of 24 units, therefore, the threshold was set at 25 units. Add the same indoor amenity requirements to all apartment buildings.

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No.	Section	Area of Change	Additional Detail
8.	Section 13.5 Multi-Dwelling Zones	Add Stacked Townhomes as a permitted land use within the MF3 zone. Change the development regulations for 2 and 3 storey apartment buildings in the MF4 zone.	Stacked townhouses are typically four storeys which have similar density, form, and massing to four storey apartment buildings, thus, it is appropriate to allow this housing form within the MF3 zone. This change is to ensure all apartment style developments have consistent setbacks, site coverage, and similar regulations.
9.	Section 14.11 – Core Area & Other Zones – Development Regulations	Add side yard setback to cul-de-sac roads in Pandosy Urban Centre Zone.	This is to ensure more sensitive apartment style developments on dead end cul-de-sac roads.
10.	Section 14.14 Core Area & Other Zones – Density & Height	Add additional density and height for P2 zoned lots within urban centres	This change will facilitate compliance with the provincial transit oriented areas legislation and to align with the Official Community Plan's building height maps for each urban centre.

Report prepared by: Adam Cseke, Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion by: Ryan Smith, Divisional Director, Planning, Climate Sustainability & Development Services

Attachments:

Schedule 'A': Proposed Text Amendments to Zoning Bylaw No. 12375

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.


Content Changes to Zoning Bylaw No. 12375

No.	Section	Current Wording	Proposed Wording	Reason for Change
1.	Section 5.3 – Definitions & Interpretations – General Definitions	See Chart A	See Chart B	Add a visual example of a corner lot setback when the lot line is rounded.
2.	Section 5.3 – Definitions & Interpretations – General Definitions – Automotive and Equipment	AUTOMOTIVE AND EQUIPMENT means the retail sale, rental, servicing, washing, installation, detailing, painting, and repair of new or used automobiles, motorcycles, bicycles, snowmobiles, tent trailers, boats, travel trailers, recreational vehicles, and similar vehicles. This includes any accessory land use related to automotive and equipment vehicles including land uses like insurance services as well as the sale, installation, or servicing of related accessories and parts. This includes but is not limited to automobile dealerships, transmission shops, muffler shops, tire shops, automotive glass shops, autobody repair, paint shops, and upholstery shops. This land use is restricted to: the sale or rental of new or used vehicles with gross vehicle weight less than 4100 kilograms, motorhomes with a length less than 6.7 metres, or motorhomes with a gross vehicle weight less than 5500 kilograms.	AUTOMOTIVE AND EQUIPMENT means the retail sale, rental, servicing, washing, installation, detailing, painting, and repair of new or used automobiles, motorcycles, bicycles, snowmobiles, tent trailers, boats, travel trailers, recreational vehicles, and similar vehicles. This includes any accessory land use related to automotive and equipment vehicles including land uses like insurance services as well as the sale, installation, or servicing of related accessories and parts. This includes but is not limited to automobile dealerships, transmission shops, muffler shops, tire shops, automotive glass shops, autobody repair, paint shops, and upholstery shops. This land use is restricted to: the sale or rental of new or used vehicles with gross vehicle weight less than <u>5,500 kilograms and any motorhome shall be less than 6.7 metres in length.</u>	To coordinate the maximum vehicle weight of storing vehicles on a residential lot with the land use that permit the sale / rental of new / used non-industrial vehicles.
3.	Section 5.3 – Definitions & Interpretations – General Definitions – Automotive and Equipment, Industrial	AUTOMOTIVE AND EQUIPMENT, INDUSTRIAL means the sale, rental, service, or repair of heavy vehicles, machinery or mechanical equipment typically used in building, roadway, pipeline, oil field and mining construction, manufacturing, assembling operations, processing operations and agricultural production. This land use does not include standard truck and mobile sales/rentals. This land use includes: the sale or rental of new or used vehicles with gross vehicle weight more than 4100 kilograms, motorhomes with a length of more than 6.7 metres, or motorhomes with a gross vehicle weight of more than 5500 kilograms.	AUTOMOTIVE AND EQUIPMENT, INDUSTRIAL means the sale, rental, service, or repair of heavy vehicles, machinery or mechanical equipment typically used in building, roadway, pipeline, oil field and mining construction, manufacturing, assembling operations, processing operations and agricultural production. This land use does not include standard truck and mobile sales/rentals. This land use includes: the sale or rental of new or used vehicles with gross vehicle weight more than <u>5,500 kilograms including motorhomes with a length greater than 6.7 metres.</u>	To coordinate the maximum vehicle weight of storing vehicles on a residential lot with the land use that permit the sale / rental of new / used non-industrial vehicles.
4.	Section 6.2.2 – General Development Regulations – Projections Into Yards	Unenclosed or enclosed steps, eaves, awnings, decks, canopies, balconies, and porches shall not project more than 0.6 metres into a required setback area. Except, unenclosed or enclosed steps, eaves, awnings, decks, canopies, balconies, and porches may project up to 2.5 metres into a required rear yard for all Agricultural zones, Rural Residential zones, and Single & Two Dwelling Zones.	Unenclosed or enclosed steps, eaves, awnings, decks, canopies, balconies, and porches shall not project more than 0.6 metres into a required setback area. Except, unenclosed or enclosed steps, eaves, awnings, decks, canopies, balconies, and porches may project up to 2.5 metres into a required rear yard for all Agricultural zones, Rural Residential zones, <u>Suburban Residential zones containing two or less dwelling units, and any residential Core Area lot containing two or less dwelling units.</u>	Ensure all single-family character lots contain similar projection regulations.
5.	Section 7.2.7 – Site Layout – Landscaping Standards	All landscape areas will be graded to meet the following criteria: a) maximum 1:3 slope (33%) for lawn areas; b) maximum 1:2 slope (50%) for shrub or ground cover area; c) minimum 1:50 slope (2%) for cross slope for any landscape area; d) all areas in which the existing slope exceeds 30% are to be identified; e) all areas developed and adjacent lands impacted by development with slopes greater than 30% shall be rehabilitated using indigenous vegetation common to the site.	Unless part of a Natural Hazard or Environmentally Sensitive Area (as defined by the OCP), landscape areas will be graded to maintain safe access according to the Canadian Landscape Standards (CLS), for efficient maintenance, and to collect storm water for plant watering where City stormwater regulations allow.	Modernize regulations and harmonize with national standards.

SCHEDULE A

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City of Kelowna
DEVELOPMENT PLANNING

No.	Section	Current Wording	Proposed Wording	Reason for Change								
6.	Section 7.3.3 – Site Layout – Landscaping Standards – Public Collection	All garbage and recycling containers must be stored within a building, enclosure, or a garage. The space allocated per bin must meet the dimensions shown in Table 7.3.3 Minimum Refuse and Recycling Bin Space.	All garbage, <u>yard waste</u> , and recycling containers must be stored within a building, enclosure, or a garage. The space allocated per bin must meet the dimensions shown in Table 7.3.3 Minimum Refuse and Recycling Bin Space.	Ensure all bin types are accounted for regarding storage locations onsite.								
7.	Section 9.2 Home Based Business Regulations – Commercial Vehicle Restriction	Parking on-site of commercial vehicles larger than 4,100 kilograms gross vehicle weight is not permitted.	Parking on-site of commercial vehicles larger than <u>5,500</u> kilograms gross vehicle weight is not permitted.	To coordinate the maximum vehicle weight of storing vehicles on a residential lot with the commercial home based business restrictions.								
8.	Section 9.11 – Specific Uses – Tall Building Regulations	There shall be a triangular setback 4.5 m long abutting along the lot lines that meet at each corner of an intersection. Within the volumetric 4.5 m triangular setback there shall be no buildings or structural columns are permitted. See visual example figure 9.11.1.	There shall be a triangular setback 4.5 m long abutting along the lot lines that meet at each corner of an intersection. Within the volumetric 4.5 m triangular setback there shall be no buildings or structural columns are permitted. See visual example of <u>Corner Lot Setback (figure 9.11.1)</u> .	Add title of the figure and then link to the definition section for visual example.								
9.	Section 9.11 – Specific Uses – Tall Building Regulations	See Chart C	Delete	Reorganized visual examples into the definition section.								
10.	Section 10.5 – Agriculture & Rural Residential Zones - A1 Agricultural and Development Regulations – Footnote ¹	¹ For any lot 8,000 m ² or greater in lot area, a residential footprint must be registered on title for any residential development triggered by a Farm Protection Development Permit. The maximum residential footprint is 2,000 m ² . A second residential footprint up to 1,000 m ² may be registered for carriage houses. The maximum gross floor area for a carriage house on any lot 40,000m ² or larger is 186 m ² .	¹ For any lot 8,000 m ² or greater in lot area, a residential footprint must be registered on title for any residential development triggered by a Farm Protection Development Permit. The maximum residential footprint is 2,000 m ² . A second residential footprint up to 1,000 m ² may be registered for carriage houses. The maximum gross floor area for a carriage house on any lot <u>400,000</u> m ² or larger is 186 m ² .	Footnote .1 in Section 10.5 incorrectly identifies the lot size for a large secondary residence within the ALR. The bylaw states the maximum gross floor area for a carriage house on any lot 40,000 m ² or larger is 186 m ² , however the ALC allows an increase to the size of a secondary dwelling if the property is 40 ha (400,000 m ²) or greater. This amendment is align with the ALC legislation for residences in the ALR.								
11.	Section 12 – Mobile Home and Camping Zones	Section 12 - Mobile Home and Camping Zones	Section 12 - Mobile Home Zones	Change Section header to reflect eliminating camping as a permitted use from the zone.								
12.	Section 12.1 – Mobile Home and Camping Zones – Zone Purposes	<table border="1"> <thead> <tr> <th>Zones</th> <th>Purpose</th> </tr> </thead> <tbody> <tr> <td>MH1 – Mobile Home and Camping</td> <td>The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting and for campsites.</td> </tr> </tbody> </table>	Zones	Purpose	MH1 – Mobile Home and Camping	The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting and for campsites.	<table border="1"> <thead> <tr> <th>Zones</th> <th>Purpose</th> </tr> </thead> <tbody> <tr> <td>MH1 – Mobile Home</td> <td>The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting.</td> </tr> </tbody> </table>	Zones	Purpose	MH1 – Mobile Home	The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting.	Change the purpose to reflect eliminating camping as a permitted use from the zone.
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DEVELOPMENT PLANNING

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18.	Section 14.11 – Core Area & Other Zones – Commercial and Urban Centre Zone	⁻³ Except it is 3.0 m when abutting a Core Area Neighbourhood (C-NHD), Suburban -Residential (S-RES), Suburban - Multiple Unit (S-MU), or an Education / Institutional (EDINST) future land use designation as outlined in the Official Community Plan.	⁻³ Except it is 3.0 m when <u>the lot is on Conlin Ct, Lowe Ct, or Bouvette St. The side yard setback is 3.0 metres when the lot is abutting a Core Area Neighbourhood (C-NHD), Suburban - Residential (S-RES), Suburban - Multiple Unit (S-MU), or an Education / Institutional (EDINST) future land use designation as outlined in the Official Community Plan.</u>	This is to ensure side yard setbacks are implemented in these urban centre cul-de-sac situations.																																																	

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22.	Section 14.15 – Core Area & Other Zones - Site Specific Regulations	n/a	Add Row 15: <table border="1"> <thead> <tr> <th colspan="4">Section 14.15 - Site Specific Regulations</th> </tr> <tr> <th colspan="4">Uses and regulations apply on a site-specific basis as follows:</th> </tr> <tr> <th></th> <th>Legal Description</th> <th>Civic Address</th> <th>Regulation</th> </tr> </thead> <tbody> <tr> <td>15.</td> <td>Plan KAP5452 Section 3024- Township 26 PT Of Blk 8 As Shown On CNR Lease RP 1684</td> <td>735 Weddell PI</td> <td>To permit campsites as a permitted use in addition to those land uses permitted in Section 14.9</td> </tr> </tbody> </table>	Section 14.15 - Site Specific Regulations				Uses and regulations apply on a site-specific basis as follows:					Legal Description	Civic Address	Regulation	15.	Plan KAP5452 Section 3024- Township 26 PT Of Blk 8 As Shown On CNR Lease RP 1684	735 Weddell PI	To permit campsites as a permitted use in addition to those land uses permitted in Section 14.9	To reflect the current land use of the property which effectively prevents camping throughout the rest of the City.																																
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Planner Initials **AC**





Chart A

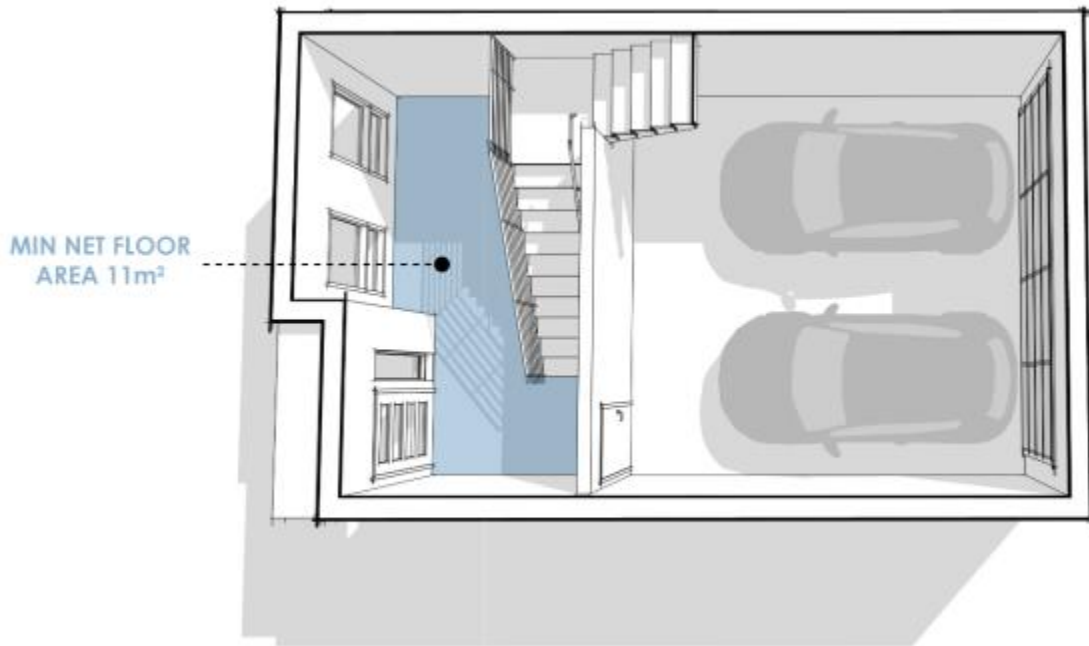
Original – Section 5.3 – Definitions & Interpretations – General Definitions

VISUAL EXAMPLE OF MAX FLOOR HEIGHT FOR REDUCED GROUND ORIENTED HOUSING SETBACK (Figure 5.12) means the following figure:



SCHEDULE	A
This forms part of application # TA24-0021	
Planner Initials	AC
 City of Kelowna DEVELOPMENT PLANNING	

VISUAL EXAMPLE OF MIN NET FLOOR AREA ON FIRST FLOOR FOR REDUCED GROUNDORIENTED HOUSING SETBACK (Figure 5.13) means the following figure:




SCHEDULE	A
This forms part of application # TA24-0021	
Planner Initials	AC
 City of Kelowna DEVELOPMENT PLANNING	

Chart B

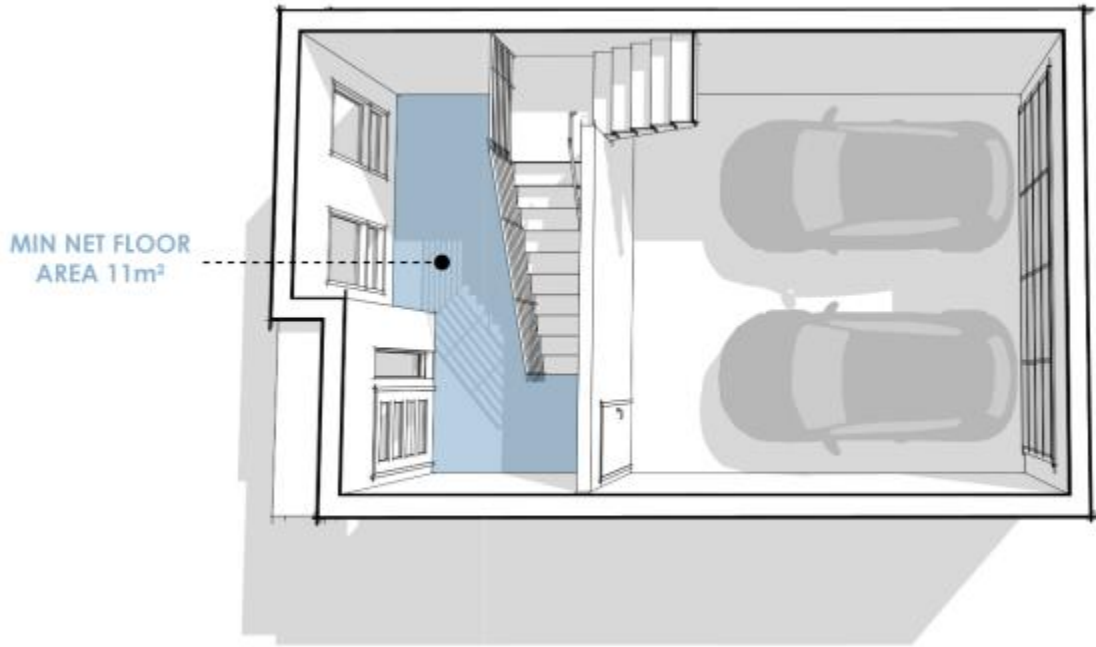
Proposed – Section 5.3 – Definitions & Interpretations – General Definitions

VISUAL EXAMPLE OF MAX FLOOR HEIGHT FOR REDUCED GROUND ORIENTED HOUSING SETBACK (Figure 5.12) means the following figure:



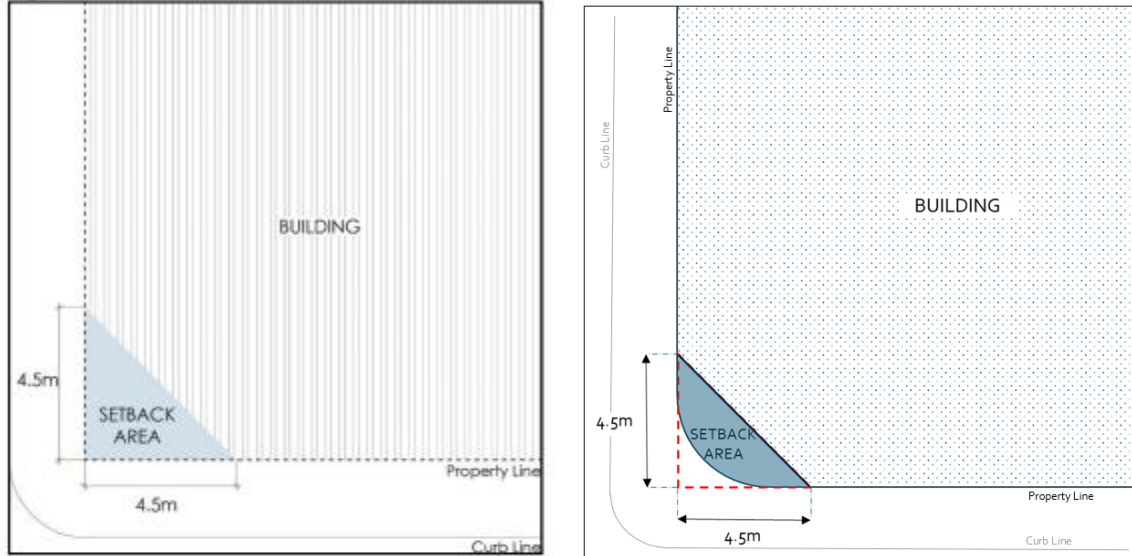
SCHEDULE		A
This forms part of application # TA24-0021		
Planner Initials	AC	 City of Kelowna DEVELOPMENT PLANNING

VISUAL EXAMPLE OF MIN NET FLOOR AREA ON FIRST FLOOR FOR REDUCED GROUND ORIENTED HOUSING SETBACK (Figure 5.13) means the following figure:



VISUAL EXAMPLES OF CORNER LOT SETBACK (Figure 9.11.1) means the following figures:

Figure 9.11.1 - Visual Examples of Corner Lot Setback



SCHEDULE **A**

This forms part of application
TA24-0021

Planner Initials **AC**

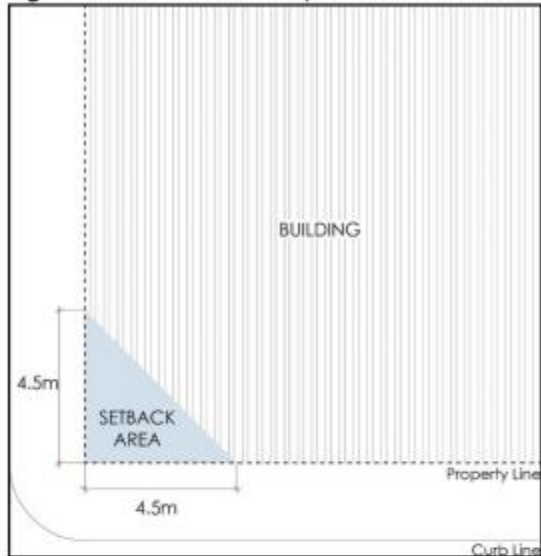



City of Kelowna
DEVELOPMENT PLANNING

Chart C

Original – Section 9.11 – Specific Uses – Tall buildings Regulations

Figure 9.11.1 - Visual Examples of Corner Lot Setback



SCHEDULE		A
This forms part of application # TA24-0021		
Planner Initials	AC	 City of Kelowna DEVELOPMENT PLANNING

CITY OF KELOWNA
BYLAW NO. 12742
TA24-0021 – Content Changes

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that City of Kelowna Zoning Bylaw No. 12375 be amended as follows:

1. THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions, AUTOMOTIVE AND EQUIPMENT** be amended by deleting "4100 kilograms, motorhomes with a length less than 6.7 metres, or motorhomes with a gross vehicle weight less than 5500 kilograms." and replacing it with "5,500 kilograms and any motorhome shall be less than 6.7 metres in length.";
2. AND THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions, AUTOMOTIVE AND EQUIPMENT, INDUSTRIAL** be amended by deleting "4100 kilograms, motorhomes with a length of more than 6.7 metres, or motorhomes with a gross vehicle weight of more than 5500 kilograms." and replacing it with "5,500 kilograms including motorhomes with a length greater than 6.7 metres.";
3. AND THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions** be amended by adding **VISUAL EXAMPLES OF CORNER LOT SETBACK (Figure 9.11.1)** outlined **Schedule A** as attached to and forming part of this bylaw in its appropriate location;
4. AND THAT **Section 6 – General Development Regulations, 6.2 – Projections Into Yards, 6.2.2** be amended by deleting "and Single & Two Dwelling Zones." and replacing it with "Suburban Residential zones containing two or less dwelling units, and any residential Core Area lot containing two or less dwelling units.";
5. AND THAT **Section 7 – Site Layout, 7.2 – Landscaping Standards** be amended by deleting subsection 7.2.7 in its entirety and replacing it with the following new subsection 7.2.7:

"7.2.7 Unless part of a Natural Hazard or Environmentally Sensitive Area (as defined by the OCP), landscape areas will be graded to maintain safe access according to the Canadian Landscape Standards (CLS), for efficient maintenance, and to collect storm water for plant watering where City stormwater regulations allow.";
6. AND THAT **Section 7 – Site Layout, 7.3 – Refuse and Recycling Bins, 7.3.3** be amended by adding ", yard waste," after "All garbage";
7. AND THAT **Section 9 – Specific Use Regulations, 9.2 – Home-Based Business, Section 9.2 - Home Based Business Regulations** be amended by deleting "4,100" in the "Commercial Vehicle Restriction" row and replacing it with "5,500";

8. AND THAT **Section 9 – Specific Use Regulations, 9.11 – Tall Building Regulations, Table 9.11 – Tall Building Regulations** be amended by deleting “See visual example figure 9.11.1.” under the “Regulation” column and replacing it with “See visual example of Corner Lot Setback (figure 9.11.1).”;
9. AND THAT **Section 9 – Specific Use Regulations, 9.11 – Tall Building Regulations, Figure 9.11.1 - Visual Examples of Corner Lot Setback** be deleted in its entirety;
10. AND THAT **Section 10 – Agriculture & Rural Residential Zones, Section 10.5 – A1 Agricultural and Development Regulations, FOOTNOTES, ¹** be amended by deleting “40,000m²” and replacing it with “400,000m²”;
11. AND THAT **Section 12 – Mobile Home and Camping Zones, Section 12.1 – Zone Purposes** be amended by:
 - a) Deleting “MH1 – Mobile Home and Camping” under the “Zones” column and replacing it with “MH1 – Mobile Home”; and
 - b) Deleting “The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting and for campsites.” under the “Purpose” column and replacing it with “The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting.”;
12. AND THAT **Section 12 – Mobile Home and Camping Zones, Section 12.2 – Permitted Land Uses** be amended by deleting the “Campsites” row in its entirety;
13. AND THAT all references throughout the bylaw of “Section 12 – Mobile Home and Camping Zones” be deleted and replaced with “Section 12 – Mobile Home Zones”;
14. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.3 – Permitted Land Uses** be amended by deleting “4” under the “MF3” column in the “Stacked Townhouses” row;
15. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.3 – Permitted Land Uses, FOOTNOTES, ⁴** be amended by deleting “and/or stacked townhouses”;
16. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.5 – Development Regulations, FOOTNOTES, ⁹** be amended by deleting “For all apartment buildings, at least 75 m² of the required portion of common area shall be configured indoors.” and replacing it with “Any apartment building with 25 or more dwelling units must have at least 75 m² of the required common area configured indoors.”;
17. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.5 – Development Regulations, FOOTNOTES, ¹¹** be amended by adding “However, any lot greater than 2,000 m² that is building an apartment building shall develop using the MF3 Development Regulations.” after “MF3 Development Regulations apply.”;

18. AND THAT **Section 14 – Core Area & Other Zones, Section 14.11 – Commercial and Urban Centre Zone Development Regulations, FOOTNOTES**, ³ be deleted in its entirety and replaced with “³ Except it is 3.0 m when the lot is on Conlin Ct, Lowe Ct, or Bouvette St. The side yard setback is 3.0 metres when the lot is abutting a Core Area Neighbourhood (C-NHD), Suburban - Residential (S-RES), Suburban - Multiple Unit (S-MU), or an Education / Institutional (EDINST) future land use designation as outlined in the Official Community Plan”;
19. AND THAT **Section 14 – Core Area & Other Zones, Section 14.11 – Commercial and Urban Centre Zone Development Regulations, FOOTNOTES**, ¹¹ be amended by adding “Any apartment building with 25 or more dwelling units must have at least 75 m² of the required common area configured indoors.” after “50% of the total space required.”;
20. AND THAT **Section 14 – Core Area & Other Zones, Section 14.14 – Density and Height** be amended by:
- a) Adding “¹⁶” after “1.0 FAR” in the “P2” row, under the “Min. Density (if applicable) & Max. Base Density FAR ^{1,7}” column; and
 - b) Adding “¹⁶” after “3 storeys & 13.5 m” in the “P2” row, under the “Max. Base Height ^{1,7,14}” column;
21. AND THAT **Section 14 – Core Area & Other Zones, Section 14.14 – Density and Height, FOOTNOTES** be amended by adding the following footnote in its appropriate location:
- “¹⁶ Any P2 zoned lot within an Urban Centre shall use that Urban Centre zone’s maximum base density and maximum base height.”;
22. AND FURTHER THAT **Section 14 – Core Area & Other Zones, Section 14.15 – Site Specific Regulations** be amended by adding the following row in its appropriate location:
- “
- | | | |
|---|----------------|---|
| Plan KAP5452
Section 3024-
Township 26 PT
Of Blk 8 As
Shown On CNR
Lease RP 1684 | 735 Weddell Pl | To permit campsites as a permitted use in addition to those land uses permitted in Section 14.9 |
|---|----------------|---|
- ”.
23. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

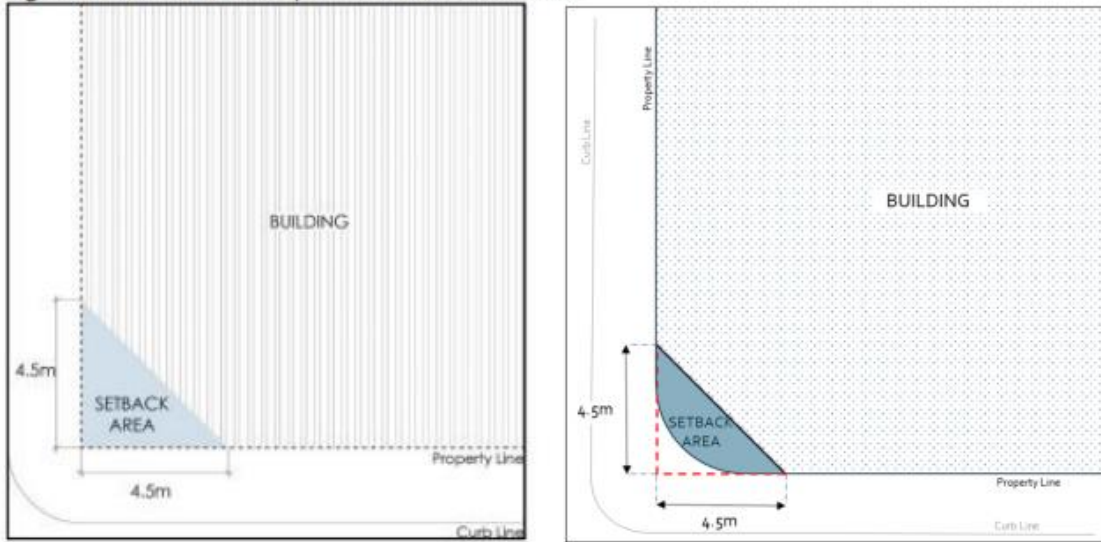
Mayor

City Clerk

Schedule A

VISUAL EXAMPLES OF CORNER LOT SETBACK (Figure 9.11.1) means the following figures:

Figure 9.11.1 - Visual Examples of Corner Lot Setback





City of
Kelowna

TA24-0021

General Improvements to Zoning Bylaw

Text Amendments

Purpose

- ▶ The purpose of the text amendment is to make improvements to following sections of Zoning Bylaw No. 12375:
 - ▶ Section 5 - Definitions & Interpretations,
 - ▶ Section 6 – General Development Regulations
 - ▶ Section 7 – Site Layout,
 - ▶ Section 10 – Agriculture & Rural Residential Zones,
 - ▶ Section 12 – Mobile Home and Camping Zones
 - ▶ Section 13 – Multi-Dwelling Zones, and
 - ▶ Section 14 – Core Area & Other Zones

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No	Section	Area of Change	Additional Detail
1.	Section 5 Definitions & Interpretations & Section 9.11 Specific Uses – Tall Building Regulations	Updates to the visual example of a corner lot setback when the lot line is rounded.	Update to where the diagrams are displayed within the Zoning Bylaw

Visual Examples of Corner Lot Setback

Figure 9.11.1 - Visual Examples of Corner Lot Setback

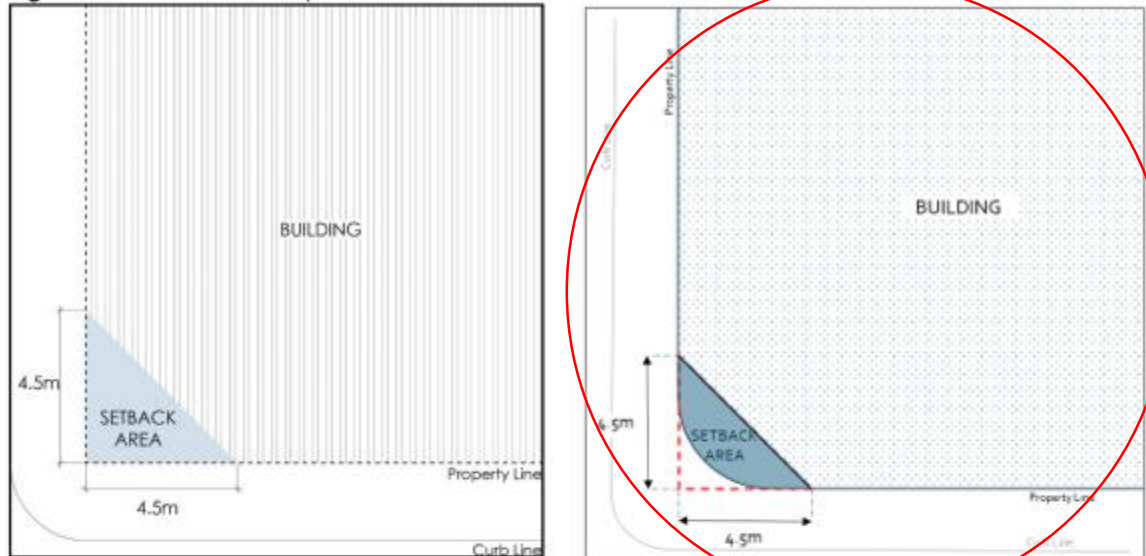


Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No	Section	Area of Change	Additional Detail
2.	Section 5 Definitions & Interpretations & Section 9.2 Home Based Business Regulations	Updates the maximum weight of a vehicle from 4,100 kg to 5,500 kg to coordinate the maximum vehicle weight of storing vehicles on a residential lot with the land use that permits the sale / rental of new / used non-industrial vehicles.	Update the definitions of <i>Automotive and Equipment</i> and <i>Automotive and Equipment, Industrial</i> . Update the home-based business restrictions to coordinate the vehicle weight amount.

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No	Section	Area of Change	Additional Detail
3.	Section 6 – General Development Regulations (Projections)	Updates to rear yard projections to ensure single- family character lots contain similar projection regulations.	The current term “Single & Two Dwelling Zones” is no longer relevant after the SSMUH provincial legislation was adopted.

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No	Section	Area of Change	Additional Detail
4.	Section 7 – Site Layout	Updates to grading requirements for landscaped areas. Update to yard waste storage requirements.	This change is recommended to modernize regulations and harmonize with national standards. Adding yard waste ensures all bin types are accounted for regarding storage locations onsite.

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No	Section	Area of Change	Additional Detail
5.	Section 10.5 – Agriculture & Rural Residential Zones	Updates to fix the error in the bylaw for maximum gross floor area can be increased for carriage houses within A1 zoned ALR lots from 40,000 m ² to 400,000 m ²	The ALC allows an increase to the size of a secondary dwelling if the property is 40 ha (400,000 m ²) or greater. This amendment aligns with the ALC legislation for residences in the ALR.

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No	Section	Area of Change	Additional Detail
6.	Section 12.2 – Mobile Home and Camping Zones & Section 14.15 – Core Area & Other Zones - Site Specific Regulations	Update the Mobile Home zone to exclude campsites as a permitted use and to limit campsites specifically to 735 Weddell Place.	This update is recommended to protect mobile home residents and protect affordable housing. This is key because camping includes RVs which could put in jeopardy long term residents for short term rentals. Further, Staff confirmed all the properties currently zoned MH1 do not have campsites.

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No	Section	Area of Change	Additional Detail
7.	Section 13.5 Multi-Dwelling Zones & Section 14.11 – Core Area & Other Zones	Amend the indoor amenity space requirement to only apply to apartment buildings with 25 or more dwelling units.	Amend the indoor amenity space requirement to exclude small apartment buildings. A single access staircase apartment building is permitted a maximum of 24 units, therefore, the threshold was set at 25 units. Add the same indoor amenity requirements to all apartment buildings.

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No	Section	Area of Change	Additional Detail
8.	Section 13.5 Multi-Dwelling Zones	<p>Add Stacked Townhomes as a permitted land use within the MF₃ zone.</p> <p>Change the development regulations for 2 and 3 storey apartment buildings in the MF₄ zone.</p>	<p>Stacked townhouses are typically four storeys which have similar density, form, and massing to four storey apartment buildings, thus, it is appropriate to allow this housing form within the MF₃ zone.</p> <p>This change is to ensure all apartment style developments have consistent setbacks, site coverage, and similar regulations.</p>

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No	Section	Area of Change	Additional Detail
9.	Section 14.11 – Core Area & Other Zones – Development Regulations	Add side yard setback to cul-de-sac roads in Pandosy Urban Centre Zone.	This is to ensure more sensitive apartment style developments on dead end cul-de-sac roads.

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No	Section	Area of Change	Additional Detail
10.	Section 14.14 Core Area & Other Zones – Density & Height	Add additional density and height for P2 zoned lots within urban centres	This change will facilitate compliance with the provincial transit oriented areas legislation and to align with the Official Community Plan's building height maps for each urban centre.

Staff Recommendation

- ▶ Staff recommend **support** for the proposed Text Amendments
 - ▶ Improvements to Zoning Bylaw to increase functionality and applicability
 - ▶ Conform to provincial legislation

REPORT TO COUNCIL

LIQUOR LICENSE



Date: January 20, 2025
To: Council
From: City Manager
Address: 2555 Saucier Rd
File No.: LL24-0021

	Existing	Proposed
OCP Future Land Use:	R-AGR – Rural – Agriculture and Resource	R-AGR – Rural – Agriculture and Resource
Zone:	A1 - Agriculture	A1 - Agriculture

1.0 Recommendation

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with Division 9 (71) of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

1. Council recommends support of an application from Priest Creek Family Estate Winery Inc. for a lounge endorsement for Lot C Section 4 Township 26 ODYD Plan 42820, located at 2555 Saucier Rd, Kelowna, BC for the following reasons:
 - The proposed lounge endorsement is consistent with regulations of the Liquor and Cannabis Regulation Branch, Agriculture Land Commission, and Council Policy 359.
2. Council’s comments on LCRB’s prescribed considerations are as follows:
 - a. The location of the winery/special event area:
 As part of the manufacturing licence, the tasting room, picnic area endorsement, and temporary expanded service area (TESA), have been operating in its current location for several years. The proposed lounge endorsement is located to minimize the impact on agricultural productivity.
 - b. The proximity of the winery/special event area to other social or recreational facilities and public buildings:
 The winery is located over 300 m from South Kelowna Elementary School. The proximity is not anticipated to be a concern.
 - c. The person capacity of the winery lounge:
 The person capacity is acceptable as it aligns with Council Policy 359 which recommends that the liquor establishment capacity outside of the Central Area not exceed 250 persons.
 - d. Traffic, noise, parking and zoning:
 Traffic, parking, and zoning are not anticipated to be a concern. and the applicant has taken actions to minimize the potential noise impact to adjacent property owners by constructing fencing, reducing the size of the lounge endorsement area and having reduced patio hours.

e. The impact on the community if the application is approved:

The application is not anticipated to have significant impact on the community.

3. The views of residents are summarized in the Staff report for the subject application. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures".

2.0 Purpose

To seek Council’s support for a lounge endorsement on an existing manufacturing licence.

3.0 Development Planning

Staff support the request for a Lounge Endorsement on the existing manufacturing licence. The winery is located on agricultural land surrounded by other agricultural properties that are actively being farmed. The proposed Lounge Endorsement will be located inside the existing winery and a small patio adjacent to the winery building. The current patio and inside area have been operating in a similar manor to a Lounge Endorsement under the provincial Temporary Expanded Service Area (TESA) program, which came to an end December 31, 2024.

The proposed lounge endorsement meets the recommendations of Council Policy 359. The proposed capacity of the lounge endorsement will not exceed 100 persons and the outdoor hours will not exceed 9:00pm.

The subject property is located within the Agricultural Land Reserve (ALR). The use of a winery with a Lounge Endorsement is a permitted farm use, that may not be prohibited by local government, provided that the size of the lounge is no larger than 125 m² inside and 125 m² outside.

The applicant has worked to address a noise concern raised by a nearby resident by recently constructing a 7 ft tall fence to buffer potential noise. The applicant has reduced the size of the proposed outdoor patio to 67 m² from the 125 m² permitted. Additionally, the applicant is willing to limit the outdoor patio hours to 9:00 pm.

4.0 Project Details

Hours on Licence:

		Sun	Mon	Tues	Wed	Thurs	Fri	Sat
Open		10:00 AM	10:00 AM	10:00 AM	10:00 AM	10:00 AM	10:00 AM	10:00 AM
Close	Indoor	9:00 PM	9:00 PM	9:00 PM	9:00 PM	9:00 PM	9:00 PM	9:00 PM
	Patio	9:00 PM	9:00 PM	9:00 PM	9:00 PM	9:00 PM	9:00 PM	9:00 PM

Occupant Load:

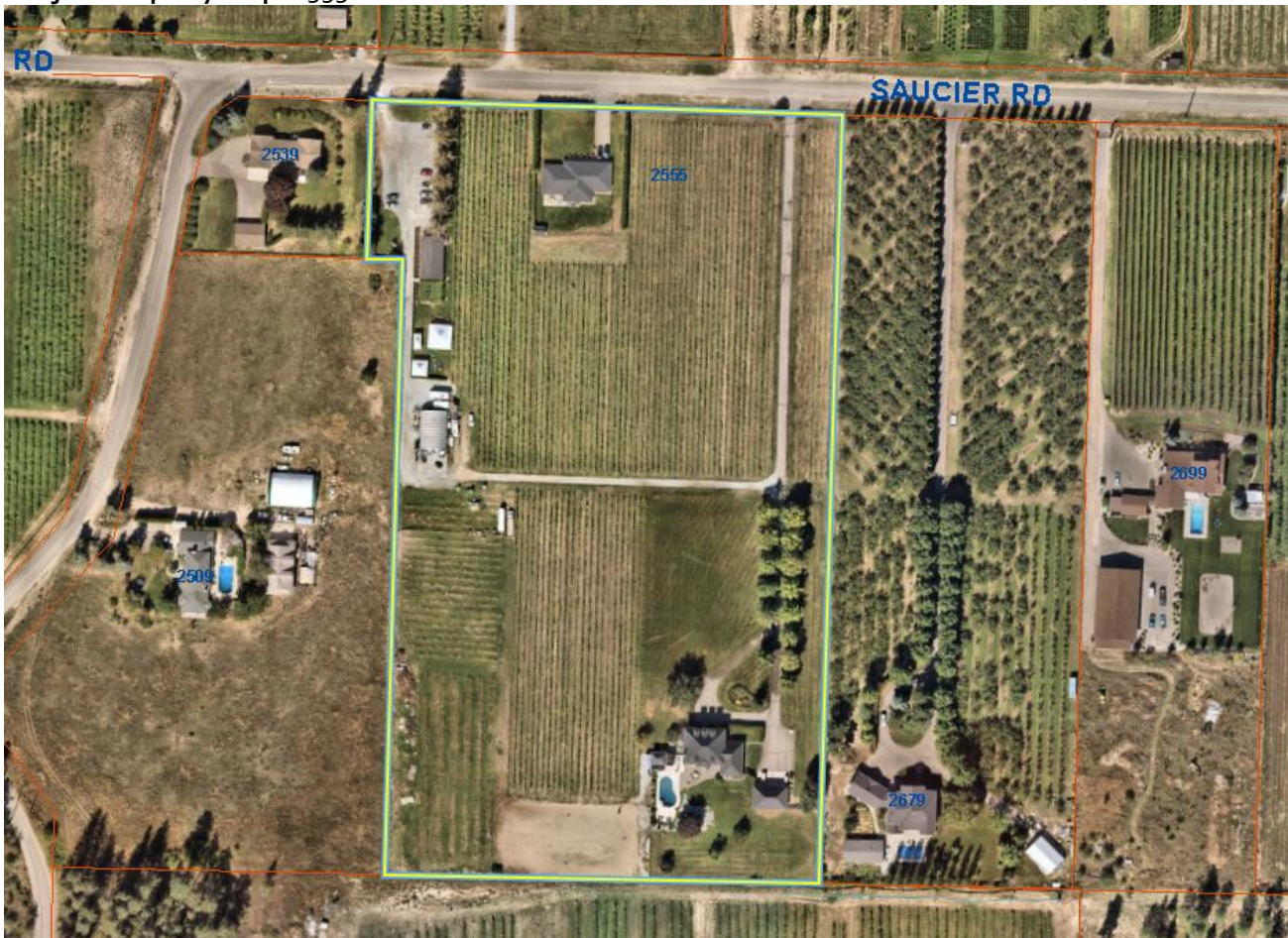
	Existing	Proposed
Indoor	N/A	57
Outdoor	N/A	87
Total	100*	100*

* The total cannot exceed 100 persons at any given time.

5.0 Site Context & Background

Orientation	Zoning	Land Use
North	A1 - Agriculture	Agriculture
East	A1 - Agriculture	Agriculture
South	A1 - Agriculture	Agriculture
West	A1 - Agriculture	Agriculture / Single Detached Home

Subject Property Map: 2555 Saucier Rd



The subject property is located on Saucier Road near the intersection with Grantham Road. The surrounding area is primarily agriculture.

6.0 Public Input Received

Neighbour notification was conducted in accordance with Council Policy #359:

- Notices were delivered to properties within a 300 m radius of the subject property by a combination of hand delivery or mail by December 3, 2024; and
- Signage was erected on the subject property on December 14, 2024.

Notification provided an opportunity for affected residents to comment on the proposal. As of January 6, 2025, one individual from the public provided input. A property owner, who lives in close proximity to the subject property, expressed their concerns about the noise over the past several years because of the music.

7.0 Official Community Plan Policies

- 8.1.1 - Protect agricultural land - a winery, including a lounge, is a permitted farm use under the ALR, and may not be prohibited by local government. Support for a winery ensures that the primary use of agricultural land is agriculture.
- 8.1.5 - Agri-tourism, Alcohol Production Facilities, Farm Retail Sale - Support agri-tourism uses that are directly associated with and supportive of established farm operations as a primary use. Permit alcohol production facilities and farm retail sales on ALR lands where consistent with ALC policies and regulations.

8.0 Council Policy #359 – Liquor Licensing Policy and Procedures

The following sections of Policy #359 are applicable to this application:

- A licensed establishment located on parcels within the Agricultural Land Reserve (ALR) will only be permitted in accordance with the Agricultural Land Commission Act (ALCA) and ALR and Regulations. If not regulated by the ALCA or ALR regulations, liquor establishments on agricultural land must comply with all sections of this Policy.
- For a licensed establishment outside of the Central Area, liquor service may only be permitted between the hours of 9:00 AM and 12:00 AM.
- Outside of the Central Area, an outdoor patio at a licensed establishment may not operate later than 12:00 AM. If the property, or any adjacent or abutting property, is designated or zoned for residential uses the patio must not operate later than 11:00 PM.
- For a licensed establishment outside of the Central Area, the capacity may not exceed 250 persons.

9.0 Technical Comments

9.1 R.C.M.P.

No comment

10.0 Application Chronology

Application Accepted: November 6, 2024

Report prepared by: Jason Issler, Planner II
Reviewed by: Dean Strachan, Development Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

Attachments:

Attachment A: Floor Plan/Site Plan/Occupant Load

Attachment B: Letter of Rationale

Attachment C: Neighbourhood Summary

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

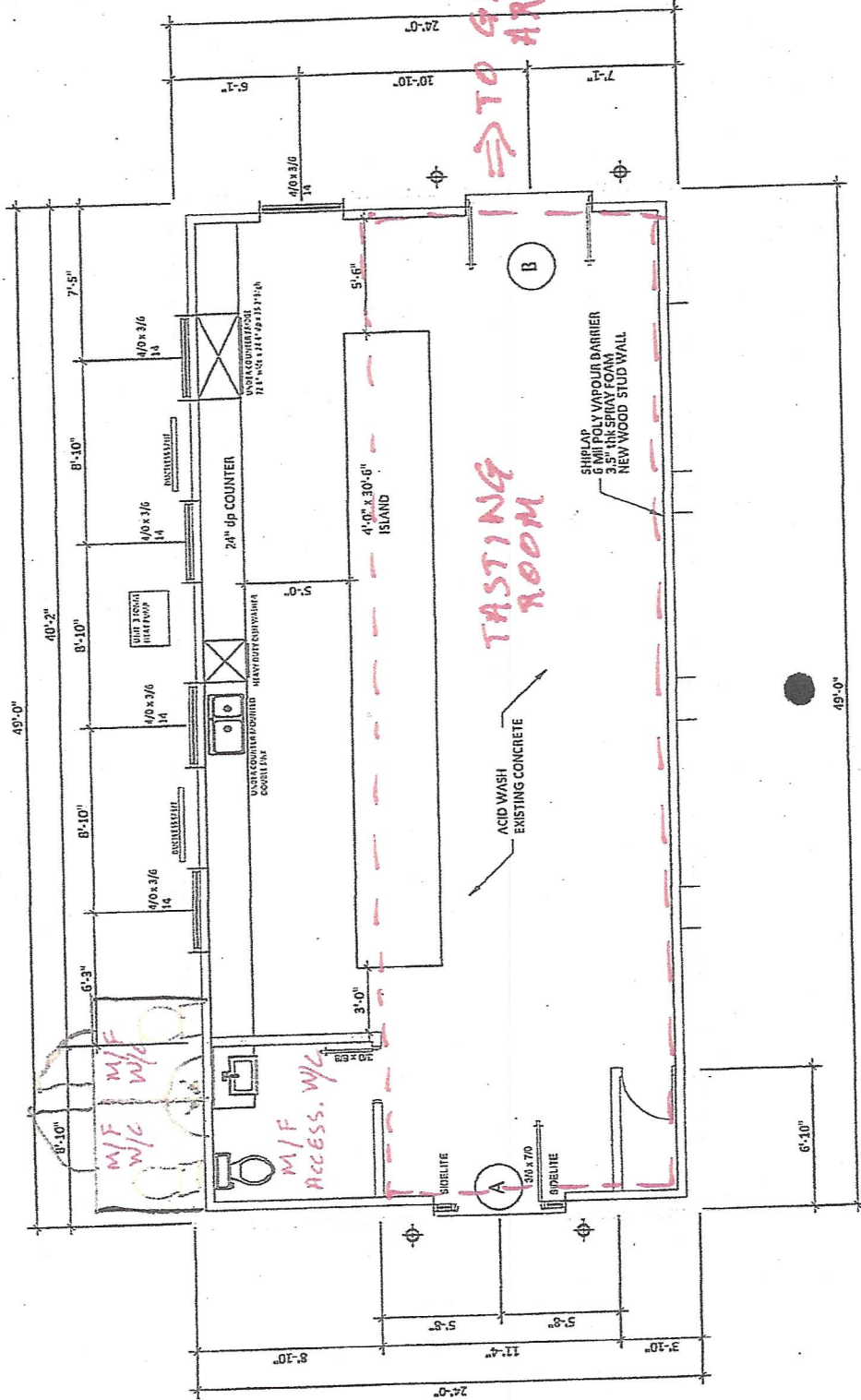
The TASTING ROOM

has a net floor area of 68 m². The maximum occupant load shall be 57 persons, based on 1.2 m²/person

57 persons, based on 1.2 m²/person



GP 15575
Reviewed
By City of Kelowna
2023/9/8/25
[Signature]



WINE TASTING
FLOOR PLAN
210' x 150'

1
A.3

NO.	DATE	DESCRIPTION

DOUGLAS GROUP ARCHITECTS LTD.	
1420 HASTINGS ST. WEST	
VANCOUVER, B.C. V6Z 2R7	
PH: 604.273.8888	
PROJECT NO. 23-0021	
DATE: 08/20/23	
DRAWING NO. 100	
DRAWN BY: JLI	
CHECKED BY: JLI	
DATE: 08/20/23	
PROJECT: WINE TASTING ROOM	
SHEET NO. 100	
REV. 0	
A 3	

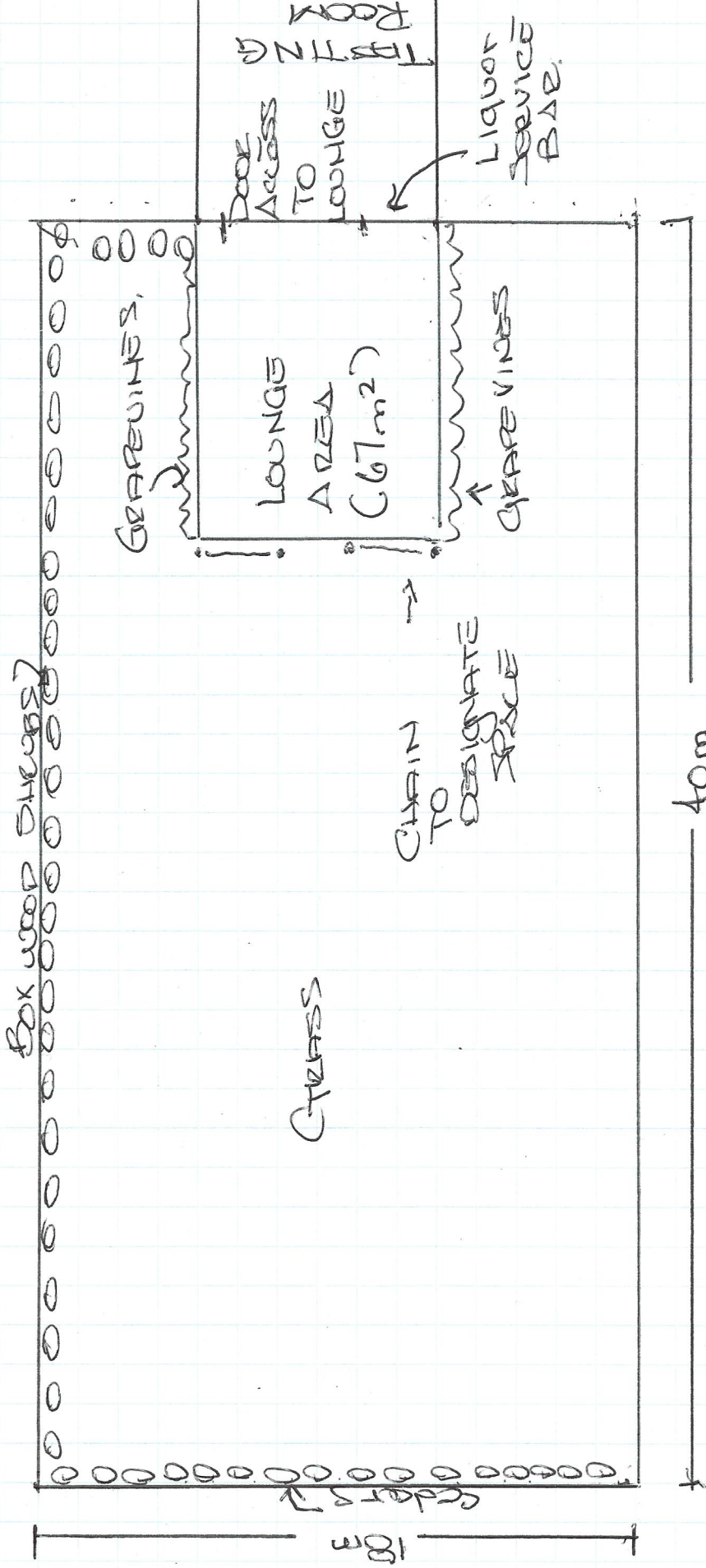
ATTACHMENT A

This forms part of application # LL24-0021

City of Kelowna
DEVELOPMENT PLANNING

Planner: JLI
Initials: JLI

Fence & Grapevines



ATTACHMENT A
 This forms part of application
 # LL24-0021
 Planner Initials JI
 City of Kelowna
 DEVELOPMENT PLANNING

PRIEST CREEK FAMILY ESTATE WINERY

N.T.S.



ATTACHMENT B
This forms part of application
LL24-0021

City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials

Project Rationale for Lounge Endorsement Application

Project Overview: Priest Creek Family Estate Winery is seeking to enhance our existing liquor license by adding a lounge endorsement. This strategic move aims to elevate the visitor experience at our winery, providing a welcoming space for both community members and tourism guests to gather, socialize, and enjoy our wines in a relaxed setting.

Objectives:

1. **Enhance Visitor Experience:** The addition of a lounge will create an inviting atmosphere where guests can enjoy wine service, wine tastings, engage in social activities, and connect with our local community.
2. **Complementary Food Service:** By allowing us to serve food alongside our wine offerings, we can create a more holistic dining experience that encourages longer visits and enhances guest satisfaction.
3. **Regulatory Compliance:** The lounge endorsement will enable us to operate within the guidelines of Agricultural Land Reserve (ALR) regulations, ensuring that our offerings align with local policies.

Community Impact:

- **Social Gathering Space:** The lounge endorsement will serve as a venue for community events, gatherings, and social interactions, fostering a sense of belonging and community spirit.
- **Tourism Growth:** By providing a unique and enhanced experience, we can attract more visitors to the winery, contributing to local tourism and the local economy.
- **Support Local Agriculture:** Offering food that highlights local produce will further promote our commitment to supporting local farmers and the agricultural community.

Business Benefits:

- **Stronger Brand Positioning:** A lounge will position Priest Creek Family Estate Winery as a destination for both wine lovers and food enthusiasts, enhancing our brand visibility and appeal.
- **Customer Loyalty:** A comfortable and enjoyable environment will encourage repeat visits and foster customer loyalty, leading to future long-term success.

Conclusion: The addition of a lounge endorsement to our liquor license is a vital step in advancing Priest Creek Family Estate Winery's mission to provide exceptional experiences for our guests while adhering to local regulations. This project promises to enrich our community, bolster local tourism, and enhance our business viability, ultimately contributing to the vibrant fabric of our region.

2555 Saucier Road, Kelowna, BC V1W 4B7 250-862-1010 info@priestcreekwinery.com



ATTACHMENT C

This forms part of application
LL24-0021

Planner Initials

City of Kelowna
DEVELOPMENT PLANNING

Summary of Notification
Lounge Endorsement –Priest Creek Family Estate Winery

a) Date mail outs or face to face notification was completed

Due to the recent Canada Post mail strike, local Kelowna addresses on the list received were hand-delivered on December 2nd and 3rd. The neighbors with mailing addresses outside of Kelowna were mailed on Dec 17th.

b) Methods of notification

- For the majority of deliveries, we were able to deliver the items face to face to our neighbors.
- For those who were not home, we left the letter at their main door after attempting a delivery.
- Addresses outside of Kelowna were mailed on December 17th, following the resumption of Canada Post services.

c) List of all address notified

Per the list provided by Jason Issler with The City of Kelowna, the following addresses were notified:

2410 GRANTHAM RD
KELOWNA BC V1W 4B7
2430 GRANTHAM RD
KELOWNA BC V1W 4B7
3110 MATHEWS RD
KELOWNA BC V1W 4C4
101-1223 WATER ST
KELOWNA BC V1Y 9V1
2550 GRANTHAM RD
KELOWNA BC V1W 4B7
4324 JUNE SPRINGS RD
KELOWNA BC V1W 4C8
2675 HEWLETT RD
KELOWNA BC V1W 4B4
2675 HEWLETT RD
KELOWNA BC V1W 4B4
2450 SAUCIER RD
KELOWNA BC V1W 4B8
16420 118 AVE NW

2555 Saucier Road, Kelowna, BC V1W 4B7 250-862-1010 info@priestcreekwinery.com



ATTACHMENT C

This forms part of application
LL24-0021

Planner
Initials **JJ**



EDMONTON AB T5V 1C8
2500 SAUCIER RD
KELOWNA BC V1W 4B7
45511 CONCORD AVE
CHILLIWACK BC V2R 2N7
2539 SAUCIER RD
KELOWNA BC V1W 4B7
2-2555 SAUCIER RD
KELOWNA BC V1W 4B7
2570 SAUCIER RD
KELOWNA BC V1W 4B7
2679 SAUCIER RD
KELOWNA BC V1W 4B6
2699 SAUCIER RD
KELOWNA BC V1W 4B6
PO BOX 103
KALEDEN BC V0H 1K0
639 BUCK RD
KELOWNA BC V1W 1N6
2781 SAUCIER RD
KELOWNA BC V1W 4B6
354 LUPINE LANE
OLIVER BC V0H 1T1
4102 SPIERS RD
KELOWNA BC V1W 4B5
3521 WATER RD
KELOWNA BC V1W 4G4
4120 SPIERS RD
KELOWNA BC V1W 4B5
1935 COLUMBIA AVE
CASTLEGAR BC V1N 2W8
16420 118 AVE NW
EDMONTON AB T5V 1C8
4220 WALLACE HILL RD
KELOWNA BC V1W 4B6
4220 WALLACE HILL RD
KELOWNA BC V1W 4B6
4250 WALLACE HILL RD
KELOWNA BC V1W 4B6
4250 WALLACE HILL RD



ATTACHMENT C
 This forms part of application
 # LL24-0021

Planner Initials

City of **Kelowna**
 DEVELOPMENT PLANNING

KELOWNA BC V1W 4B6
4290 WALLACE HILL RD
KELOWNA BC V1W 4B6
16420 118 AVE NW
EDMONTON AB T5V 1C8

d) Details of the types of information provided

Following review approval from Jason Issler with The City of Kelowna, the below letters delivered to the above address as requested.
 November 15, 2024

Dear Neighbor,

To enhance yours and our other guests experience we are applying for our Lounge Endorsement. **The main purpose for this is to have regular food service be allowed at the winery.**

Project Rationale for Lounge Endorsement Application

Project Overview: Priest Creek Family Estate Winery is seeking to enhance our existing liquor license by adding a lounge endorsement. This strategic move aims to elevate the visitor experience at our winery, providing a welcoming space for both community members and tourism guests to gather, socialize, and enjoy our wines in a relaxed setting.

Objectives:

- 1. Enhance Visitor Experience:** The addition of a lounge will create an inviting atmosphere where guests can enjoy wine service, wine tastings, engage in social activities, and connect with our local community.
- 2. Complementary Food Service:** By allowing us to serve food alongside our wine offerings, we can create a more holistic dining experience that encourages longer visits and enhances guest satisfaction.
- 3. Regulatory Compliance:** The lounge endorsement will enable us to operate within the guidelines of Agricultural Land Reserve (ALR) regulations, ensuring that our offerings align with local policies.

Community Impact:

- Social Gathering Space:** The lounge endorsement will serve as a venue for community events, gatherings, and social interactions, fostering a sense of belonging and community spirit.
- Tourism Growth:** By providing a unique and enhanced experience, we can attract more visitors to the winery, contributing to local tourism and the local economy.

2555 Saucier Road, Kelowna, BC V1W 4B7 250-862-1010 info@priestcreekwinery.com



- **Support Local Agriculture:** Offering food that highlights local produce will further promote our commitment to supporting local farmers and the agricultural community.
- **Business Benefits:**
- **Stronger Brand Positioning:** A lounge will position Priest Creek Family Estate Winery as a destination for both wine lovers and food enthusiasts, enhancing our brand visibility and appeal.

- **Customer Loyalty:** A comfortable and enjoyable environment will encourage repeat visits and foster customer loyalty, leading to future long-term success.

Conclusion: The addition of a lounge endorsement to our liquor license is a vital step in advancing Priest Creek Family Estate Winery’s mission to provide exceptional experiences for our guests while adhering to local regulations. This project promises to enrich our community, bolster local tourism, and enhance our business viability, ultimately contributing to the vibrant fabric of our region.

We trust you are in support of our growth in this way and should you have any issues or concerns I ask you to email both myself at jane@priestcreekwinery.com and Jason Issler of The City of Kelowna at jissler@kelowna.ca.

Thank you for your time with this matter.

Warmest regards,

Jane Sawin

Priest Creek Family Estate Winery
 2555 Saucier Road
 Kelowna, BC V1W 4B7

e) Any feedback or key issues received from the neighbors

The neighbors I spoke to were very supportive of our application for our lounge license when we explained the main purpose of this application is by request of the ALR in order to maintain having a regular food truck on site in order provide food services during business hours to our patrons and neighbors. In addition, as our hours aren’t changing, there really is no change to our operations. Comments received were:

- We are so happy with what you have built in our community
- The winery has become a wonderful addition to our neighborhood
- We love being able to walk over and enjoy the winery
- Will it be the same food truck, as they do an amazing job

2555 Saucier Road, Kelowna, BC V1W 4B7 250-862-1010 info@priestcreekwinery.com



- We think it is great to have food on site for your guests and for us as neighbor to come for lunch and enjoy
- Priest Creek is doing a great at providing great service and being a good neighbor
- The atmosphere at the winery is so inviting, we would have no issue with you having a lounge endorsement
- I think this is great and am excited to see what the future holds for Priest Creek
- I think having a neighborhood food truck is a welcome addition
- Its great to have a place like this to gather with friends, and I can be close to home and not have to clean my house
- We love supporting our neighborhood businesses like yours.
- We are so glad to have a winery like Priest Creek in our community
- We have no issues with what you are doing and think you are doing a great job, very impressed
- I am okay with this as long as hours of operation aren't late at night

f) Outline any changes to the project resulting from neighbor notifications

No there are no changes to the project, The footprint of the current space isn't changing with the addition of this endorsement.



City of
Kelowna

SALT & BRICK

MOO-LIX
PREMIUM ICE CREAM

Jicks

LL24-0021
2555 Saucier Rd
Liquor License Application

Purpose

- ▶ To seek Council's support for a Lounge Endorsement to an existing Manufacturing Licence.

Development Process



Nov 6, 2024

Development Application Submitted



Staff Review & Circulation



Jan 20, 2025

Tuesday Council Meeting

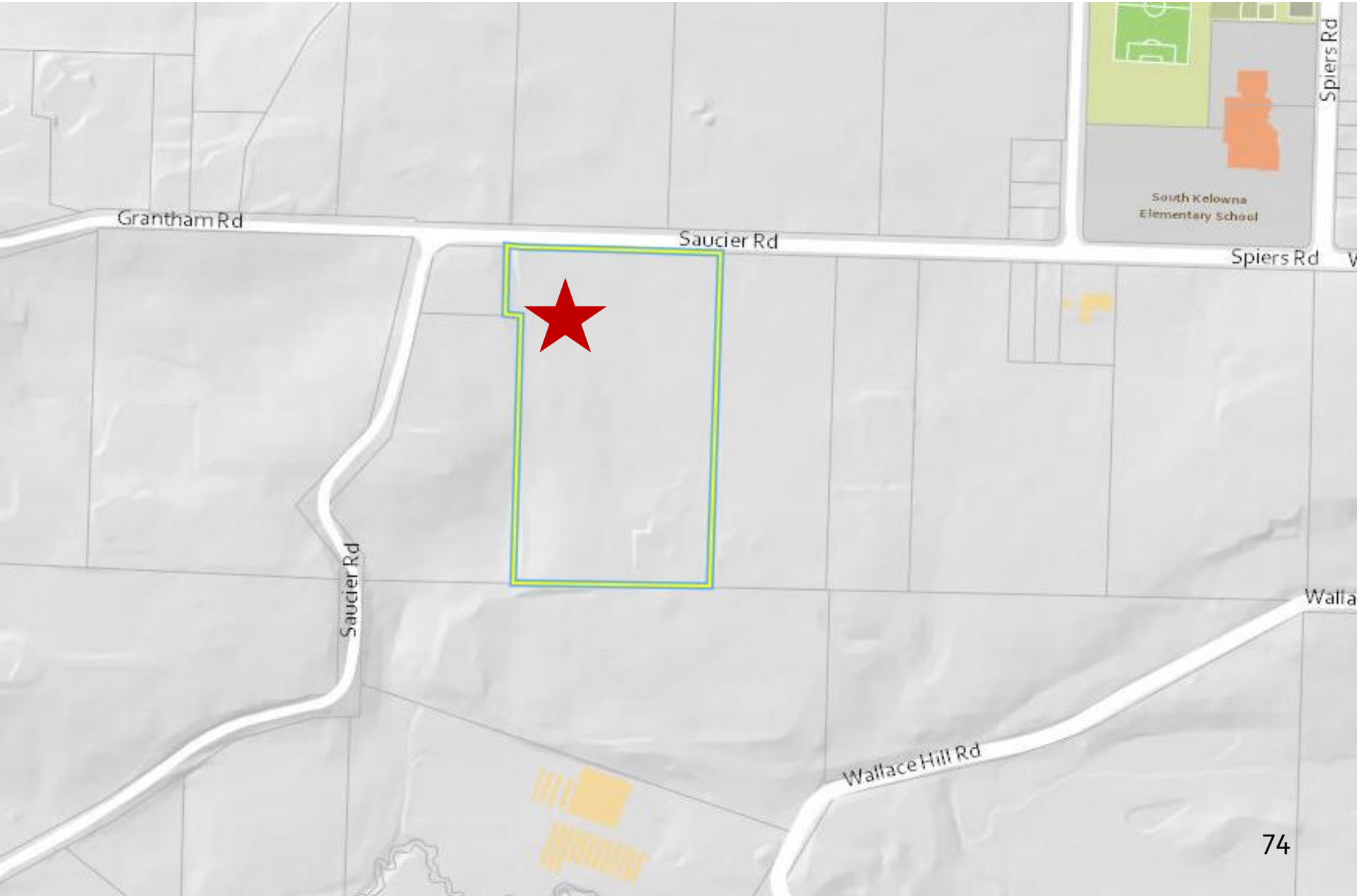


Council Consideration



Recommendation Forwarded to LCRB

Context Map



Subject Property Map



Subject Property Map



Hours of Sale

Proposed:

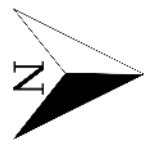
		Sun	Mon	Tues	Wed	Thurs	Fri	Sat
Open		10:00 AM	10:00 AM	10:00 AM	10:00 AM	10:00 AM	10:00 AM	10:00 AM
Close	Indoor	9:00 PM	9:00 PM	9:00 PM	9:00 PM	9:00 PM	9:00 PM	9:00 PM
	Outdoor	9:00 PM	9:00 PM	9:00 PM	9:00 PM	9:00 PM	9:00 PM	9:00 PM

Occupant Load

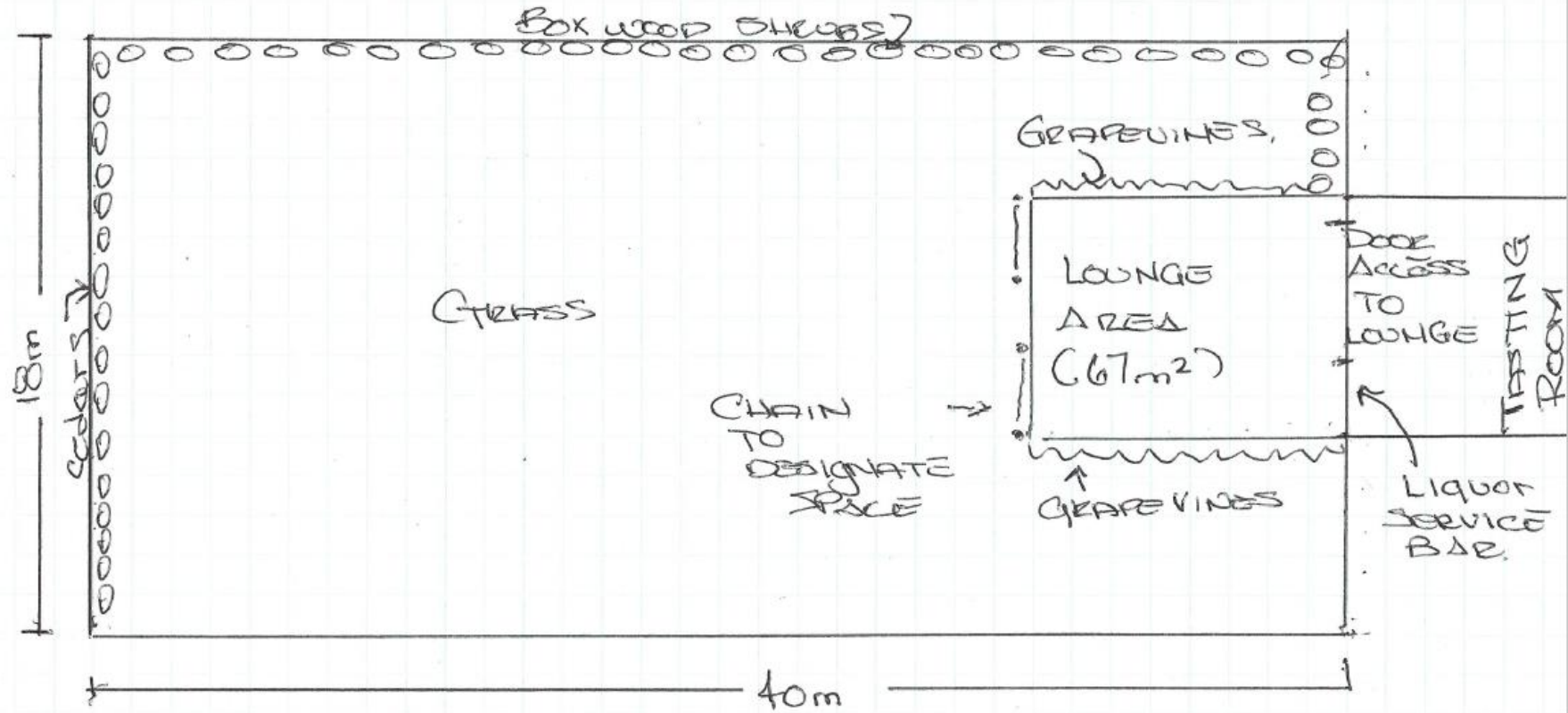
	Existing	Proposed
Indoor	N/A	57
Outdoor	N/A	87

* The total on-site will not exceed 100 persons at any given time

Floor Plan Existing



FENCE & Grapevines



Public Input

- ▶ Signage and letters were used to notify neighbourhood
- ▶ 1 neighbour reached out
 - ▶ Concerns about noise of current and future operations
- ▶ Applicant Response:
 - ▶ Reduced outdoor hours to 9pm
 - ▶ Reduced outdoor area from 125 m² to 67 m²
 - ▶ Constructed fencing to help buffer sound

OCP Policy

- ▶ Project Agricultural land
 - ▶ The vineyard and winery will continue to be the primary use of the site with the lounge endorsement as a secondary component.
- ▶ Support Agri-Tourism
 - ▶ The lounge endorsement supports to primary use of agriculture on the site.

Council Policy 359

- ▶ Must follow regulations of the ALR
- ▶ Indoor & Outdoor hours no later than midnight
- ▶ Capacity does not exceed 250 persons

Staff Recommendation

- ▶ Staff recommend **support** for the proposed liquor license as it is consistent with:
 - ▶ Council Policy #359
 - ▶ Official Community Plan
 - ▶ Addressed Neighbour Concerns
- ▶ That Council directs Staff to forward a resolution of support to the LCRB.

REPORT TO COUNCIL

LIQUOR LICENSE



Date: January 20, 2025
To: Council
From: City Manager
Address: 571 Bernard Ave
File No.: LL24-0020

	Existing	Proposed
OCP Future Land Use:	Urban Centre	Urban Centre
Zone:	UC1 – Downtown Urban Centre	UC1 – Downtown Urban Centre

1.0 Recommendation

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with Division 9 (71) of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

1. Council recommends support of an application from Raj Chandi for a food primary license amendment for Lot 2 District Lot 139 ODYD Plan 4512, located at 571 Bernard Avenue, Kelowna, BC for the following reasons:
 - Council Policy 359 recommends supporting hours of operations no later than 2:00am within the Central Area when the capacity does not exceed 500 persons;
2. Council’s comments on LCRB’s prescribed considerations are as follows:

Criteria for license amendment:

 - a. The potential for noise if the application is approved:
The potential for noise is anticipated to be minimal as the liquor area is located indoors.
 - b. The impact on the community if the application is approved:
The potential for negative impacts is minimal.
 - c. In the case of a food primary license amendment, if the amendment may result in the establishment being operated in a manner that is contrary to its primary purpose:
The food primary establishment will continue to operate under all LCRB requirements of a food primary licence which includes having their kitchen open during all business hours.
3. The views of residents are summarized in the Staff report for the subject application. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures".

2.0 Purpose

To seek Council’s support for a change of hours to an existing food primary licence.

3.0 Development Planning

Staff support the request for the amendment to the food primary licence for the business known as Midnight Kings Hookah Lounge Grill. The Downtown Urban Centre is home to significant apartment housing and commercial uses, which will complement the proposed amendment. The impact on the surrounding community will be minimal and noise is not an anticipated issue due to a combination of factors including:

- Indoor occupancy of 107 persons
- Compatible with surrounding land uses
- Hours consistent with Council Policy 359 Liquor Licensing Policy & Procedures

The proposed hours of the food primary establishment will not exceed 2:00 AM and the capacity is less than 500 persons which is consistent with Council Policy 359 Liquor Licensing Policy & Procedures. The applicant has worked to address noise concerns raised by a nearby resident. An outdoor speaker was recently removed to address the concern from the neighbour.

4.0 Project Details

Existing Hours:

	Sun	Mon	Tues	Wed	Thurs	Fri	Sat
Open	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM
Close	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM

Proposed Hours:

	Sun	Mon	Tues	Wed	Thurs	Fri	Sat
Open	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM
Close	2:00 AM	2:00 AM	2:00 AM	2:00 AM	2:00 AM	2:00 AM	2:00 AM

Occupant Load:

	Existing	Proposed
Indoor	107	107

5.0 Site Context & Background

Orientation	Zoning	Land Use
North	UC1 – Downtown Urban Centre	Apartment Housing / Office / Retail
East	UC1 – Downtown Urban Centre	Retail
South	UC1 – Downtown Urban Centre	Retail
West	UC1 – Downtown Urban Centre	Retail

Subject Property Map: 571 Bernard Ave



The subject property is located within the Downtown Urban Centre and is near a variety of commercial shopping areas, employment options, apartment housing, and transit stops. The area has seen significant redevelopment with high density apartments and office building recently completed.

Public Input Received

Neighbour notification was conducted in accordance with Council Policy 359 Liquor Licensing Policy & Procedures:

- Notices were delivered to properties within a 50 m radius of the subject property on November 4, 2024; and
- Signage was erected on the subject property on December 19, 2024.

Notification provided an opportunity for affected residents to comment on the proposal. A summary of neighbour notification efforts was submitted by the applicant on November 4, 2024. A property owner, who lives in close proximity to the subject property, expressed their concerns about the noise of the establishment.

6.0 Current Development Policies

6.1 Council Policy #359 – Liquor Licensing Policy and Procedures

The following sections of Policy #359 are applicable to this application:

- Liquor service for a licensed establishment within the Central Area may be permitted between the hours of 9:00 AM and 2:00 AM.

7.0 Technical Comments

7.1 R.C.M.P.

No comment

8.0 Application Chronology

Application Accepted: October 21, 2024

Report prepared by: Jason Issler, Planner II

Reviewed by: Adam Cseke, Development Planning Manager

Reviewed by: Nola Kilmartin, Development Planning Department Manager

Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

Attachments:

Attachment A: Floor Plan/Site Plan/Occupant Load

Attachment B: Letter of Rationale

Attachment C: Summary of Neighbourhood Notification

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

MIDNIGHT KINGS
571 BERNARD AVE.
KELOWNA (BC) V1Y6N9

BP71000

PROPOSED BUILDING SYNOPSIS:

1. PROPOSED BLD. DSIG. CRITERIA:

TOTAL TENANCY AREA: 3673 SQFT (340.34 SQ.M.)
BUILDING HEIGHT: ONE STOREY
BUILDING FACE: ONE STREET
SPRINKLING: YES - ASPA
INTENDED BLD. OCCUPANCY: RESTAURANT
OCCUPANCY AS (BORG TABLE 3.1.2.1)

2. PROPOSED BUILDING COMPLIES WITH FOLLOWING ARTICLES AS PER BORG 2018:
GROUP AS, UP TO 3 STOREYS, UNSPRINKLERED - 3.2.2.2

3. PROPOSED CONSTRUCTION:
NON-COMBUSTIBLE & COMBUSTIBLE
1ST STOREY

4. OCCUPANCY FIRE SEPARATIONS, TABLE 3.1.3.1

REQUIRED: NONE BETWEEN A2 & A2
PROVIDED: 45min FRM EXISTING WALL (FRM)
REQUIRED: NONE
PROVIDED: 45min FRM EXISTING FLOOR (FRM EXISTING)
PROPOSED BUILDING CODE SYNOPSIS:

4. THE OCCUPANT LOAD ANALYSIS WAS COMPLETED (AS PER BORG 3.1.17.1 REQUIREMENTS) ON THE ABOVE PROJECT TO REVIEW EXIT WIDTHS, TRAVEL DISTANCE AND ADEQUACY OF EXISTING WASHROOM FACILITIES TO ACCOMMODATE THE OCCUPANT LOAD. THE REVIEW IS BASED ON THE FOLLOWING:

BASED ON "ASSEMBLY USES":

A. PROPOSED RESTAURANT SPACE
135.79 SQFT (127.89 SQM) / 1.30 SQM PER PERSON = 106.31 107 PERSONS
MAXIMUM SITTING PROVIDED = 104 PERSONS @ 55WFT, 30 PA/ROW @

B. PROPOSED KITCHEN SPACE
545.39 SQFT (50.66 SQM) / 5.00 SQM PER PERSON = 109.14 PERSONS

5. PLUMBING FACILITIES REQUIRED:
AS/BORG 2018 TABLE 3.7.2.2 A
REQUIRED: MALE - 3 / FEMALE'S
PROVIDED: MALE - 1 + 2 URINALS / FEMALE'S
AS/BORG 2018 3.8.2.8 - ONE UNIVERSAL WASHROOM IN ACCORDANCE TO BORG 2018 3.8.3

6. TRAVEL DISTANCE TO CORRIDOR:
ALLOWED: 30.0 M
PROVIDED: 18.21M AND 19.38 M AS SHOWN ON MAIN FLOOR PLAN

7. EXITS:
AS/BORG 2018 TABLE 3.2.1.5 (1)(B) & TABLE 3.2.1.5-B
NO. OF EXITS REQUIRED: 2 (RESTAURANT)
NO. OF EXITS PROVIDED: 2 (RESTAURANT)

8. EMERGENCY LIGHTS: BORG 2018 3.2.7.4. (1) (B) (i)
REQUIRED: 30 MINS

LCRB OFFICIAL PLAN
MUST BE KEPT WITH LIQUOR LICENCE AND AVAILABLE FOR INSPECTION AT ALL TIME

Date Issued: **2024-04-26**
Licence #: **311685**
General Manager

LIQUOR AND CANNABIS REGULATION BRANCH
APPROVAL IN PRINCIPLE

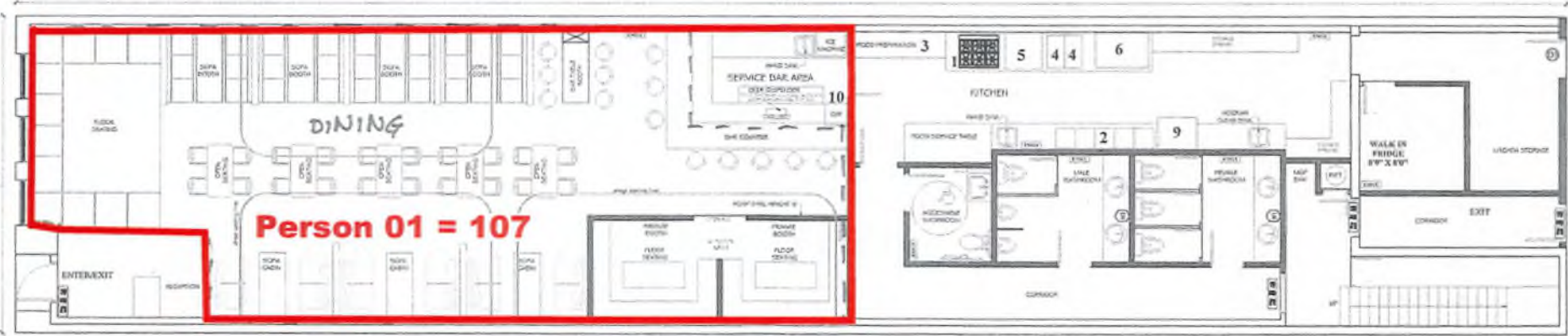
Subject to the terms and/or conditions specified in the approval in principle letter(s) dated: **2024-04-04**

Job #: **087488** Max Person Capacity: **107**

Authority: **CS**

EQUIPMENT LIST

NO.	NAME	SIZE	MODEL	COMPANY
1.	Stove 4 Burner	24w X 33d X 57h	SR-4-24	Sierra range
2.	18" Sink 2 Drain board	90w X 18d X 18d X 44h	56000-019	Zanduco
3.	Food/Salad Prep Table	48w X 24d X 34h	---	Custom
4.	Deep Fryers	16w X 30d X 47h	LG300	Vulcan
5.	Natural Gas Combi. Oven	34w X 34d X 42h	LM100DG-N	Vortex
6.	Countertop Griddle	36w X 32d X 17h	SRMG-36	Sierra range
7.	Fridge Walk In	60w X 96d		Custom
8.	Freezer Walk In	72w X 60d		Custom
9.	Commercial Dish Washer	30w X 36d X 57h	CD-GR-1500	Omcan
10.	Glass Dish Washer	19" w X 20" d X 31" h	DSP3	Lamber



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"
Midnight Kings Hookah Lounge Grill

The DINING has a net floor area of 128 m². The maximum occupant load shall be 107 persons, based on 1.2 m²/person

GP16090
Reviewed
by City of Kelowna
Inspection Services
2023/11/17

ATTACHMENT A

This forms part of application
LL24-0020

Planner Initials **J1**

City of Kelowna
DEVELOPMENT PLANNING

Project Rationale for Extending Liquor Service Hours to 2:00 AM at Midnight Kings Hookah Lounge Grill

Introduction: The Midnight Kings Hookah Lounge Grill is a popular venue that combines a unique blend of dining, socializing, and entertainment. With the demand for late-night activities on the rise in Kelowna, we are seeking to extend our liquor service hours to 2:00 AM every night. This proposal is driven by both customer feedback and our desire to contribute more effectively to the local economy and the city's growing nightlife. This extension aligns with our commitment to providing a safe, enjoyable, and responsible venue for the community while stimulating positive social and economic impacts.

Rationale:

1. **Meeting Customer Demand and Supporting the Local Economy:** Kelowna is experiencing an increasing demand for high-quality late-night venues that provide both entertainment and dining options. Extending our liquor service hours will allow us to meet this growing demand, accommodate more patrons, and enhance the customer experience. By staying open later, we anticipate increased foot traffic, leading to higher revenue not just for our business but for the surrounding local businesses, such as transportation services, late-night food vendors, and retail. This will contribute to job creation and retention within our community.
2. **Strengthening Kelowna's Nightlife:** Kelowna's nightlife is an important part of its appeal to tourists and locals alike. A diverse array of late-night venues enhances the city's image as a vibrant, dynamic place to live, work, and visit. Extending our hours will align Midnight Kings with other local businesses and entertainment venues that already cater to late-night crowds, thus creating a more cohesive and attractive nightlife district. We aim to offer a premium social experience that enhances the city's overall cultural and recreational environment.
3. **Supporting Responsible and Safe Socializing:** We understand the community's concerns regarding public safety and responsible alcohol consumption. Midnight Kings Hookah Lounge Grill is committed to maintaining strict adherence to all provincial liquor laws and regulations. Our staff is well-trained in serving alcohol responsibly, and we have implemented policies to prevent overconsumption and to promote a safe, controlled environment. Additionally, extending our service hours can help alleviate the issue of patrons crowding the streets at closing time by staggering the exit of individuals from the venue.

Potential Community Impact:

1. **Economic Benefits:**
 - o Extended hours will increase customer engagement and spending, generating additional revenue for both the business and the local economy.
 - o Local suppliers, transportation services, and other small businesses will benefit from the extended operating hours, leading to a more vibrant local economy.
2. **Social and Cultural Enhancement:**

ATTACHMENT	B
This forms part of application # LL24-0020	
Planner Initials	Jl
 City of Kelowna DEVELOPMENT PLANNING	

Project Rationale for Extending Liquor Service Hours to 2:00 AM at Midnight Kings Hookah Lounge Grill

- The extension will further establish Kelowna as a hub for tourism and entertainment, attracting more visitors and enhancing the city's cultural offerings.
 - It provides an inclusive space where adults can continue to socialize responsibly in a relaxed and secure environment.
- 3. Safety Considerations:**
- Midnight Kings will continue to uphold strict safety protocols, such as staff certification in Serving It Right, preventing intoxicated driving, and working closely with local law enforcement to ensure public safety.
 - The extended hours will allow for a more gradual dispersal of patrons, easing the demand on public transportation and reducing instances of late-night disturbances caused by crowd surges.

Conclusion: Extending the liquor service hours at Midnight Kings Hookah Lounge Grill to 2:00 AM is a strategic decision aimed at improving the customer experience, supporting the local economy, and contributing positively to Kelowna's growing reputation as an entertainment destination. We are confident that this extension will bring meaningful benefits to both our patrons and the wider community while ensuring continued compliance with all safety and regulatory standards.

ATTACHMENT	B
This forms part of application # LL24-0020	
Planner Initials	JI
 City of Kelowna DEVELOPMENT PLANNING	

October 25, 2024

Re: Proposed Extension of Liquor Service Hours at Midnight Kings Hookah Lounge and Grill

Dear Property Owner,

We are writing to inform you about our proposal to extend the liquor service hours at Midnight Kings Hookah Lounge Grill, located at 571 Bernard Avenue, from the current closing time to 2:00 AM every night. This proposed extension aligns with our commitment to creating a vibrant, welcoming, and safe environment for our patrons while positively contributing to Kelowna's nightlife and local economy.

As a valued member of the community, we want to ensure you have the opportunity to share any feedback, thoughts, or concerns you may have regarding this proposed change. Midnight Kings is committed to maintaining the high standards of service and safety that our patrons and community expect. This includes ongoing compliance with all provincial and municipal regulations and prioritizing a safe, respectful experience for our customers and neighbors alike.

Key Points of the Proposal:

- **Extended Service Hours:** The proposed change would extend our liquor service hours until 2:00 AM nightly.
- **Safety and Community Commitment:** Midnight Kings will continue to enforce strict policies around responsible alcohol service, including staff training and proactive security measures.
- **Economic and Social Benefits:** The extended hours aim to support local tourism, create additional revenue for local businesses, and meet the increasing demand for safe, late-night entertainment in Kelowna.

We appreciate your input as we consider the potential impacts of this extension on the neighborhood. If you have any questions or would like to discuss this proposal further, please feel free to contact us at 2508998252 or email us at midnightkingskelowna@gmail.com. Additionally, you are welcome to share your feedback with the City of Kelowna's Planning and Development Department, who will review this proposal.

Thank you for your time and consideration.

Sincerely,
Rajwinder Chandi
Owner
Midnight Kings Hookah Lounge Grill

ATTACHMENT _____ C	
This forms part of application # LL24-0020	
Planner Initials	<input type="text" value="JI"/>
 City of Kelowna DEVELOPMENT PLANNING	

Summary of Neighbour Notification: Midnight Kings Hookah Lounge and Grill - Proposed Extension of Liquor Service Hours

a) Date of Notification:

- Notifications were sent on October 31, 2024 to all neighboring property owners within the designated radius.

b) Methods of Notification:

- Notification was completed via a formal mail-out to all property owners within proximity to Midnight Kings Hookah Lounge and Grill.
- A contact email address and phone number for the applicant and the city staff, were provided for further inquiries.

c) List of Addresses Notified:

- Notifications were sent to the following addresses:
 - 565 Bernard Ave V1Y6N9
 - 567 Bernard Ave V1Y6N9
 - 571 Bernard Ave V1Y6N9
 - 575 Bernard Ave V1Y6N9
 - 108 591 Bernard Ave V1Y6N9
 - 200 591 Bernard Ave V1Y6N9
 - 597 Bernard Ave V1Y6N9
 - 578 Lawrence Ave V1Y6L8
 - 586 Lawrence Ave V1Y6L8
 - 596 Lawrence Ave V1Y6L8
 - 1499 St Paul St

d) Information Provided to Neighbors:

- Neighbors were provided with:
 - An overview of the proposed extension of liquor service hours to 2:00 AM every night.
 - Details on the rationale for the extension, including economic and social benefits, as well as measures to ensure community safety and responsible service.
 - Contact information for submitting feedback or scheduling further discussions.

ATTACHMENT C

This forms part of application
LL24-0020

Planner Initials **JJ**

City of **Kelowna**
DEVELOPMENT PLANNING





City of
Kelowna



LL24-0020
571 Bernard Ave
Liquor License Application

Purpose

- ▶ To seek Council's support for a change of hours to an existing Food Primary License.

Development Process



Oct 21, 2024

Development Application Submitted



Staff Review & Circulation



Jan 20, 2025

Tuesday Council Meeting

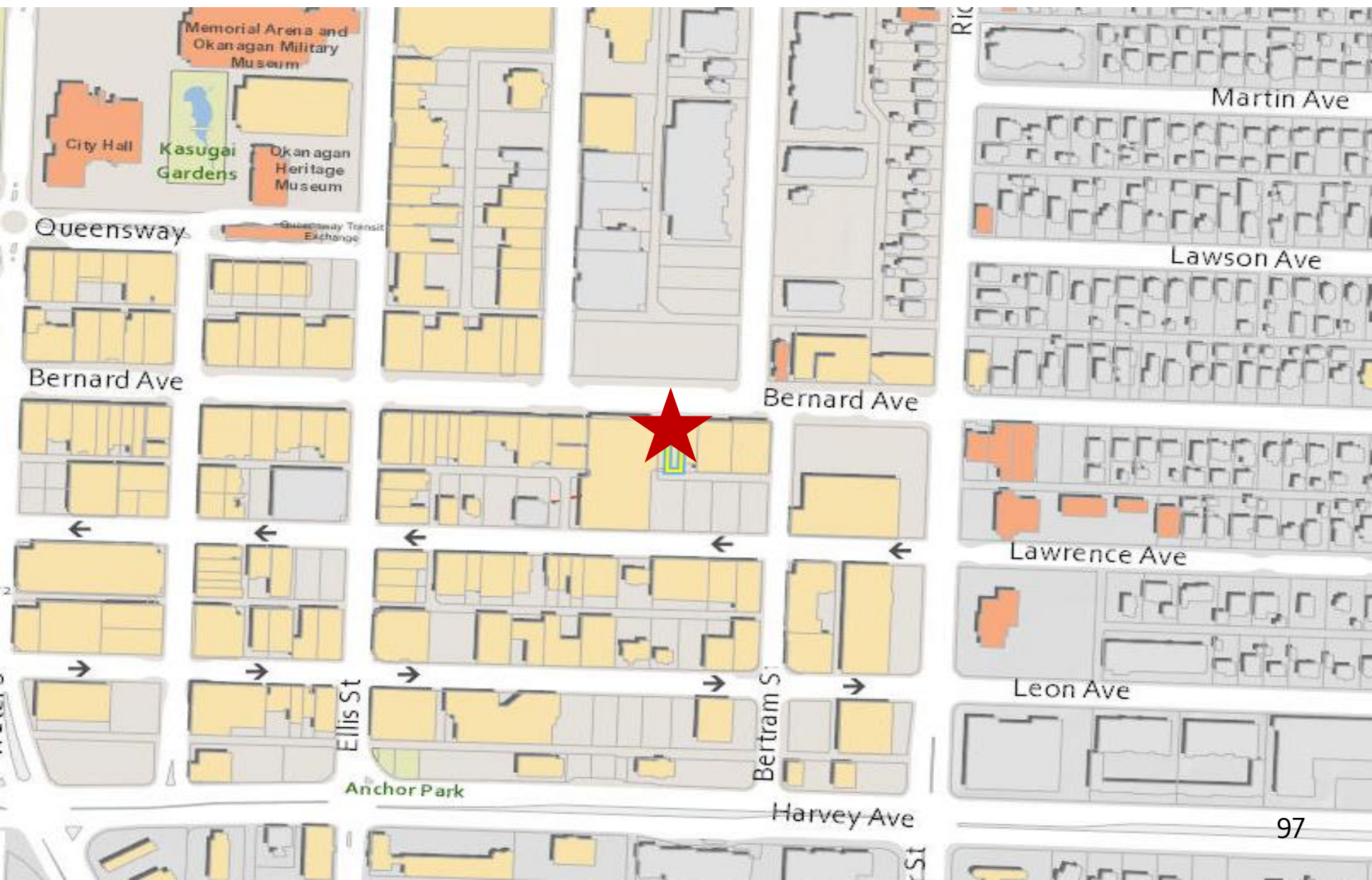


Council Consideration



Recommendation Forwarded to LCRB

Context Map



Subject Property Map



Hours of Sale

Existing:

	Sun	Mon	Tues	Wed	Thurs	Fri	Sat
Open	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM
Close	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM

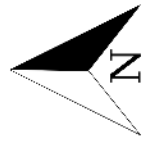
Proposed:

	Sun	Mon	Tues	Wed	Thurs	Fri	Sat
Open	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM
Close	2:00 AM	2:00 AM	2:00 AM	2:00 AM	2:00 AM	2:00 AM	2:00 AM

Occupant Load

	Existing	Proposed
Indoor	107	N/A

Floor Plan Existing



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

Midnight Kings Hookah Lounge Grill

The DINING
has a net floor area of
128 m². The maximum
occupant load shall be
107 persons, based on
1.2 m²/person

GP 16090
Reviewed
by City of Kelowna
Inspection Services
2023/11/17
[Signature]

Public Input

- ▶ Signage and letters were used to notify neighbourhood
- ▶ 1 neighbour reached out
 - ▶ Concerns about noise from outdoor speaker
- ▶ Applicant Response:
 - ▶ Speaker has been removed

Council Policy 359

- ▶ Liquor service for a licensed establishment within the Central Area may be permitted between the hours of 9:00 AM and 2:00 AM.

Staff Recommendation

- ▶ Staff recommend **support** for the proposed liquor license as it is consistent with:
 - ▶ Council Policy #359
- ▶ That Council directs Staff to forward a resolution of support to the LCRB.

REPORT TO COUNCIL DEVELOPMENT PERMIT



Date: January 20, 2025
To: Council
From: City Manager
Address: 305 Drysdale Blvd
File No.: DP24-0110
Zone: VC1r – Village Centre Rental Only zone

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP24-0110 for Parcel A (Being A Consolidation of Lots 4 and 5, see CA9869654) Section 33 Township 26 ODYD Plan EPP48909, located at 305 Drysdale Blvd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect.

AND THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Permit for the form and character of rental apartment housing.

3.0 Development Planning

Staff support the proposed Development Permit for the form and character of a six-storey apartment building. The project contains 66 purpose-built rental units in a variety of sizes from studios to three-bedroom units. The proposal conforms with several objectives within the Official Community Plan (OCP) Form and Character Design Guidelines for Low & Mid-Rise Residential Development. Key guidelines that are met include:

- On corner sites, orient building facades and entries to both fronting streets;
- Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view; and
- Use landscaping materials that soften development and enhance the public realm.

Vehicle access is provided from Drysdale Boulevard which leads to two levels of below grade parking. Common amenity space is provided via an indoor amenity room on the main level of the building, as well as

a generous outdoor area at-grade which includes community gardens, outdoor kitchen, lounge seating, Barrel Sauna, and a dog run area.

Subject Property & Background

3.1 Subject Property Map



The subject property is located within the Glenmore Village Centre and is near a variety of commercial shopping areas and parks. The property is currently vacant and is adjacent to multi-dwelling housing and apartment housing.

3.2 Background

On September 20, 2022, Council supported a Development Permit for a 6 storey, 37-unit housing development. The Development Permit has since expired and a proposal for a new Development Permit in accordance with the Village Centre Rental Only zone is currently under consideration.

4.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
Gross Lot Area	1,764 m ²
Total Number of Units	66
Studio	10
1-bed	27
2-bed	23
3-bed	1
Street Facing Townhome	5

DEVELOPMENT REGULATIONS		
CRITERIA	VC1 r ZONE	PROPOSAL
Total Maximum Floor Area Ratio	2.35	2.1
Base FAR	2.05	
Bonus FAR (Rental)	0.3	
Max. Site Coverage (buildings)	75 %	44 %
Max. Site Coverage (buildings, parking, driveways)	85%	84%
Max. Height	6 Storeys / 22.0 m	6 Storeys / 20.5 m
Setbacks		
Min. Front Yard (North)	3.0 m	3.0 m
Min. Flanking Side Yard (West)	3.0 m	3.0 m
Min. Side Yard (East)	3.0 m	3.0 m
Min. Rear Yard (South)	4.5 m	7.7 m
Step backs		
Min. Fronting Street (North)	3.0 m	3.0 m
Min. Flanking Street (West)	3.0 m	3.0 m
Amenity Space		
Total Required Amenity Space	1,195 m²	1,818 m²
Common	264 m ²	355 m ²
Private		1,463 m ²
Landscaping		
Min. Number of Trees	12 trees	13 trees
Min. Large Trees	6 trees	6 trees

PARKING REGULATIONS		
CRITERIA	VC1 r ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	65 stalls	65 stalls
Residential	68	56
Visitor	9	9
"r" Subzone Reduction	-8	
Bicycle Bonus	-5	
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	52% Regular 48% Small
Bicycle Stalls Short-Term	6 stalls	6 stalls
Bicycle Stalls Long-Term	90 stalls	90 stalls
Bonus Stalls Provided for Parking Reduction	y	y
Bike Wash & Repair	y	y

5.0 Application Chronology

Application Accepted: June 7, 2024

Report prepared by: Jason Issler, Planner II
 Reviewed by: Alex Kondor, Development Planning Manager
 Reviewed by: Nola Kilmartin, Development Planning Department Manager

Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

Attachments:

Attachment A: Draft Development Permit DP24-0110

Schedule A: Site Plan & Floor Plans

Schedule B: Elevations & Sections

Schedule C: Landscape Plan

Attachment B: OCP Form and Character Development Permit Guidelines

Attachment C: Applicant's letter of rationale

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

Development Permit

DP24-0110



This permit relates to land in the City of Kelowna municipally known as

305 Drysdale Blvd

and legally known as

Parcel A (Being a Consolidation of Lots 4 and 5, See CA9869654) Section 33 Township 26 ODYD Plan EPP48909

and permits the land to be used for the following development:

Apartment Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval: **January 20, 2025**

Development Permit Area: Form and Character

Existing Zone: VC1r – Village Centre Rental Only

Future Land Use Designation: Village Centre

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Will Mckay and Co. Ltd., Inc. No. BC0306923

Applicant: Jeff Nishimura

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

ATTACHMENT **A**

This forms part of application
DP24-0110

Planner Initials JI


City of Kelowna
DEVELOPMENT PLANNING

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP24-0110 for Parcel A (Being a Consolidation of Lots 4 and 5, See CA9869654) Section 33 Township 26 ODYD Plan EPP48909 located at 305 Drysdale Blvd, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$292,420.13**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.


4. INDEMNIFICATION

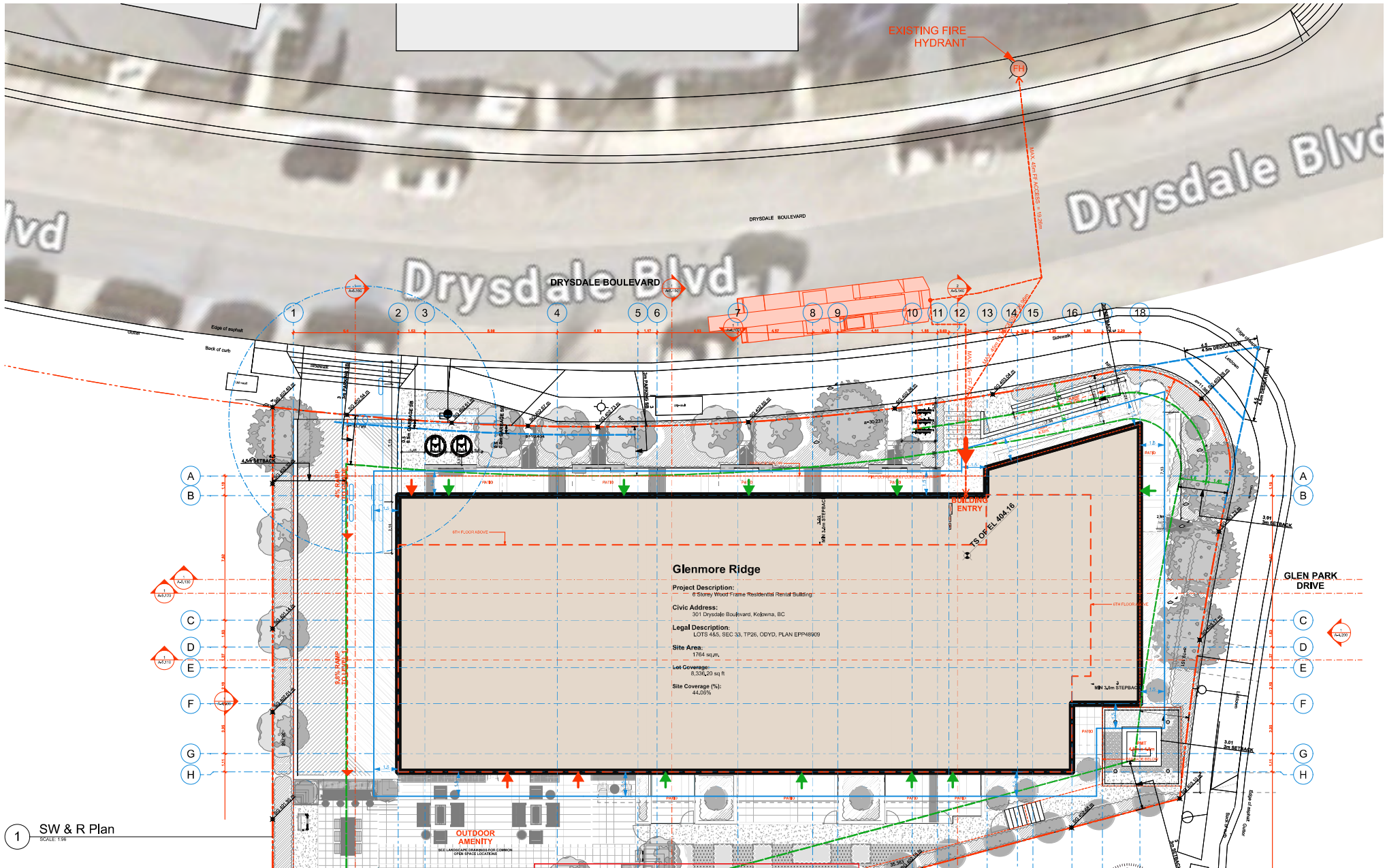
Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.

ATTACHMENT	A
This forms part of application	
# DP24-0110	
Planner Initials	JL
 City of Kelowna DEVELOPMENT PLANNING	



Glenmore Ridge

Project Description:
6 Storey Wood Frame Residential Rental Building

Civic Address:
301 Drysdale Boulevard, Kelowna, BC

Legal Description:
LOTS 455, SEC 33, TP26, ODVD, PLAN EPP46909

Site Area:
1764 sq.ft.

Lot Coverage:
8,336,20 sq ft

Site Coverage (%):
44.20%

1 SW & R Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

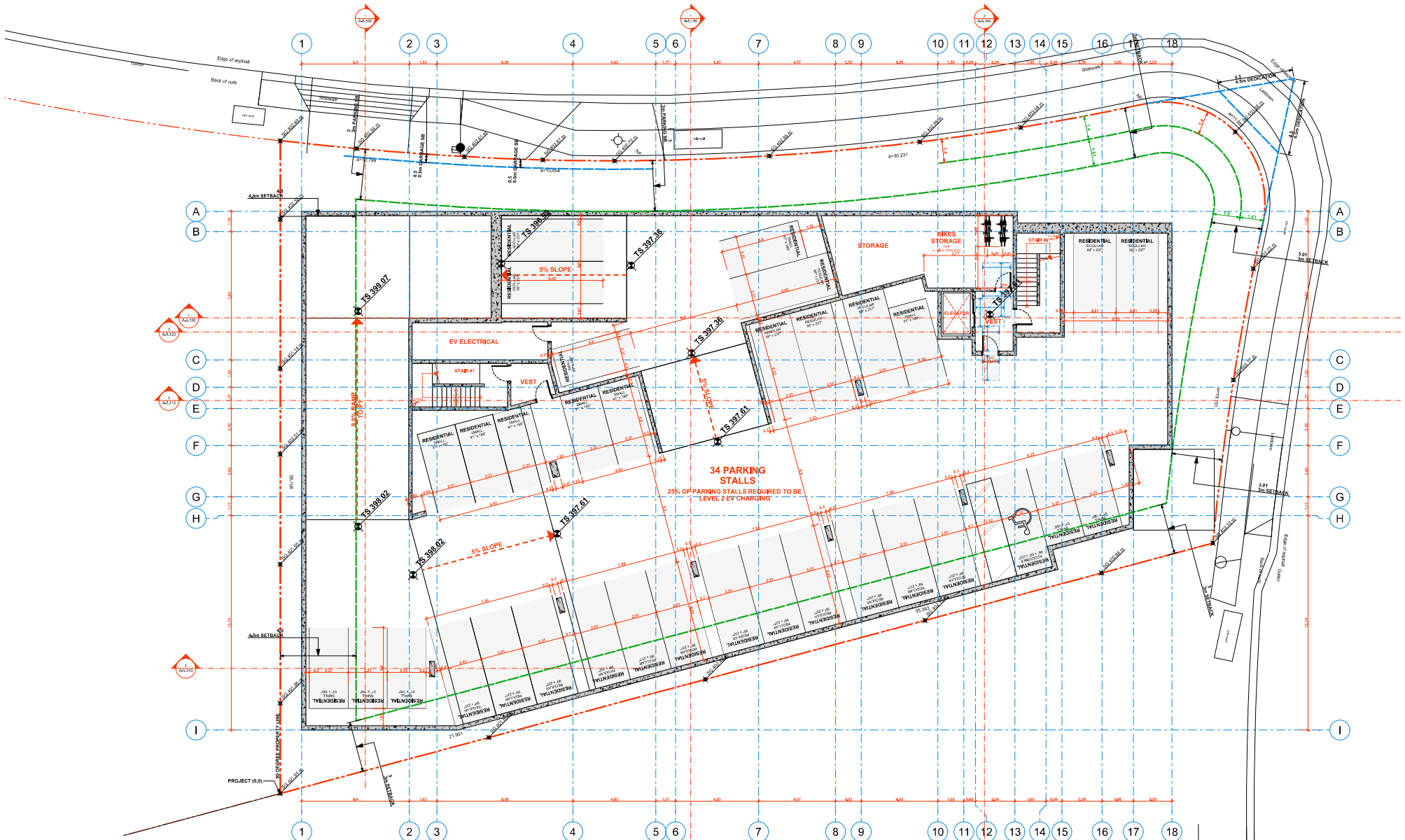
This forms part of application
DP24-0110

Planner Initials **JL**



FA & R Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-1.300



1 P2 Parking Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

Planner Initials **JJ**

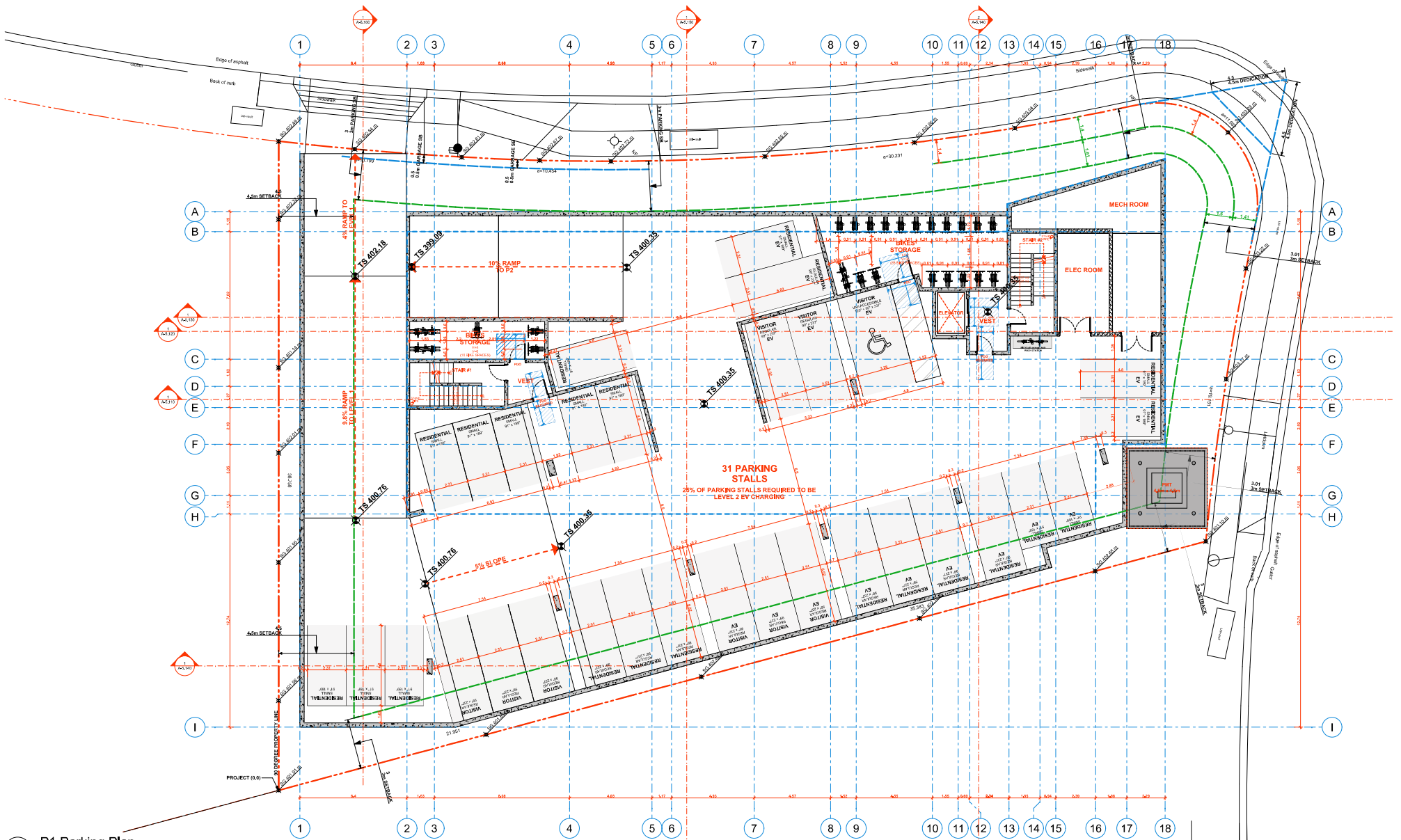


City of
Kelowna
DEVELOPMENT PLANNING



P2 Parking Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.010



1 P1 Parking Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

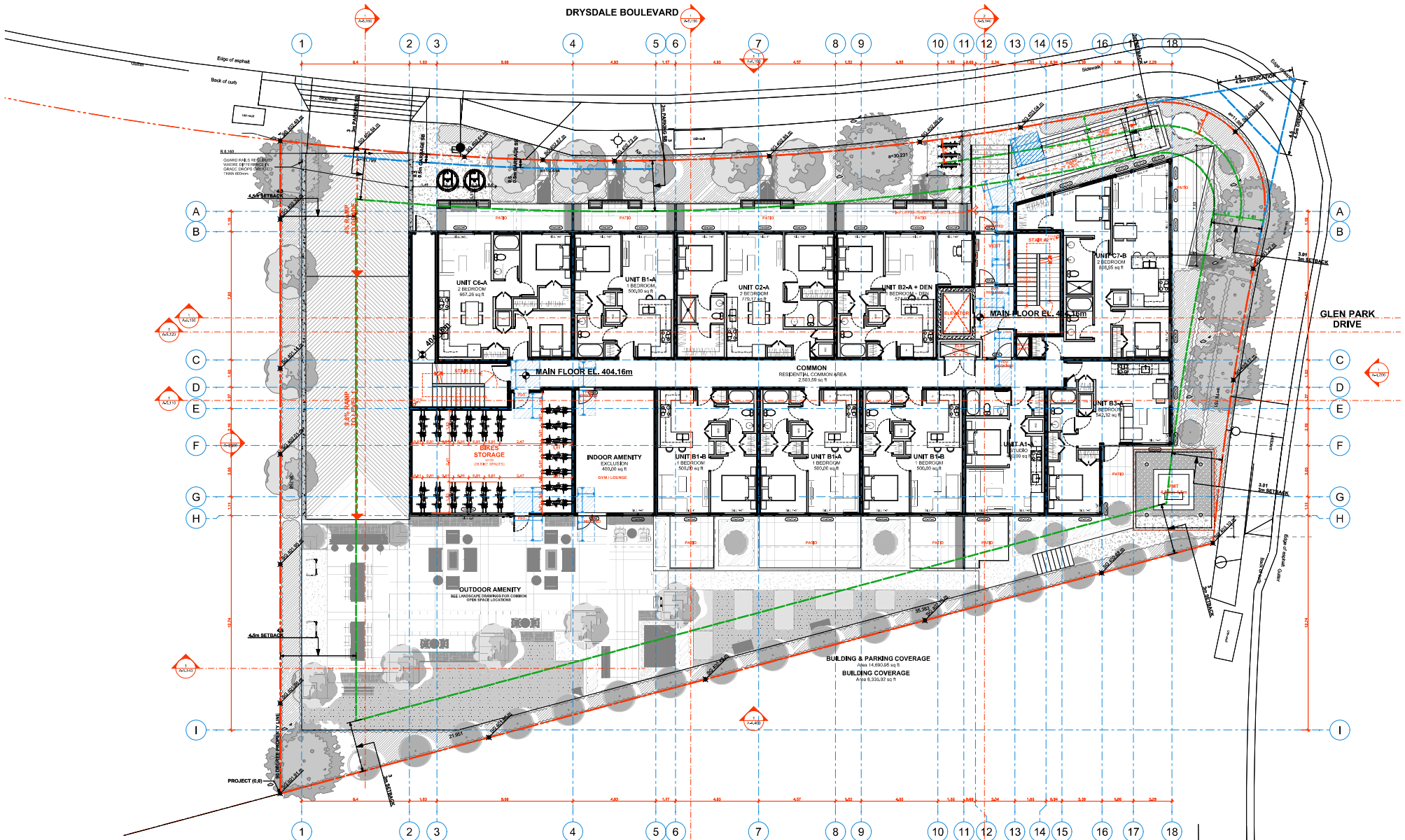
Planner Initials **JJ**

City of **Kelowna**
DEVELOPMENT PLANNING



P1 Level Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.020



1 Level 1 Floor Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

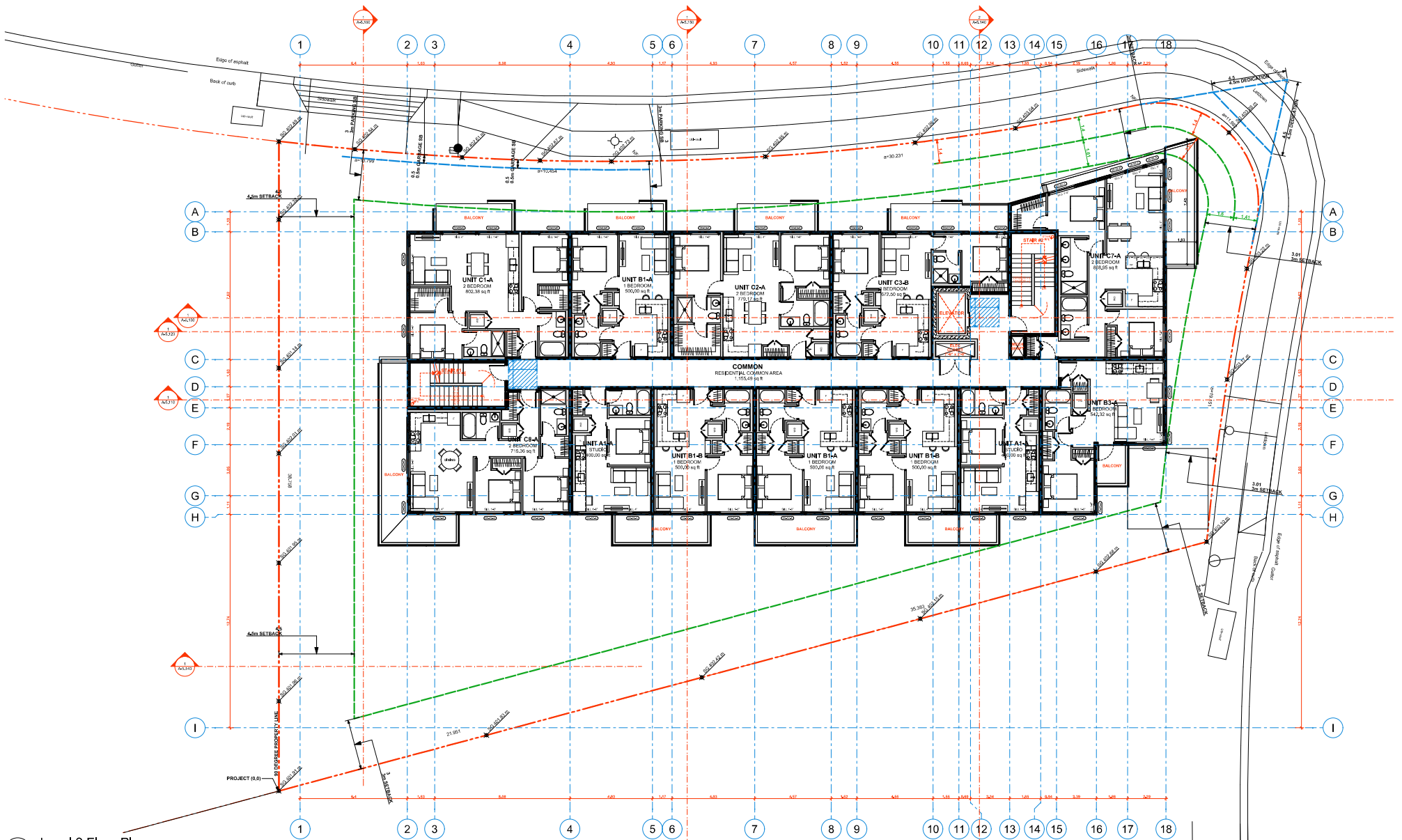
Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING



Level 1 Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.110



1 Level 2 Floor Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

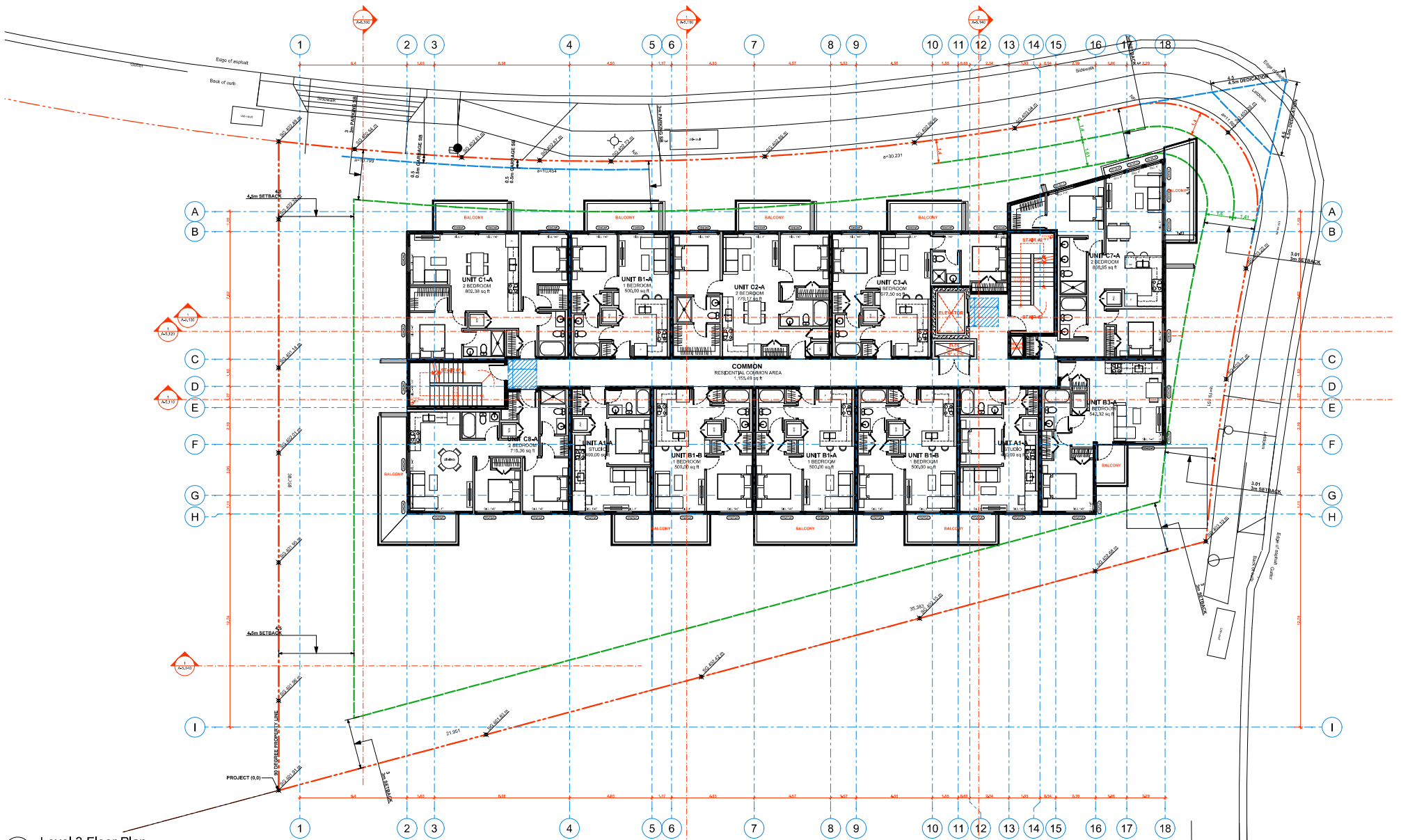
This forms part of application
DP24-0110

Planner
Initials



Level 2 Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.210



1 Level 3 Floor Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

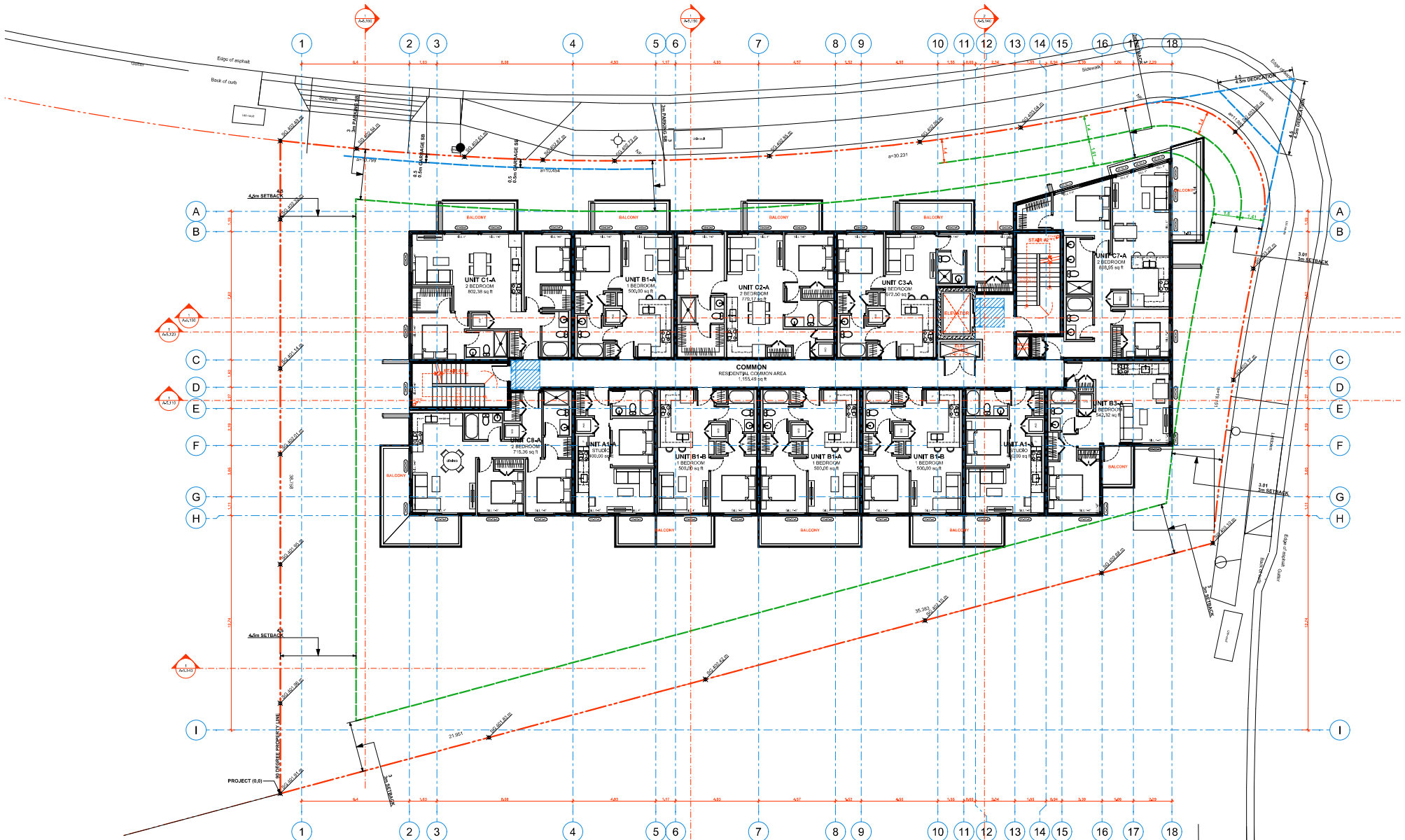
This forms part of application
DP24-0110

Planner
Initials **JL**



Level 3 Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.310



1 Level 4 Floor Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

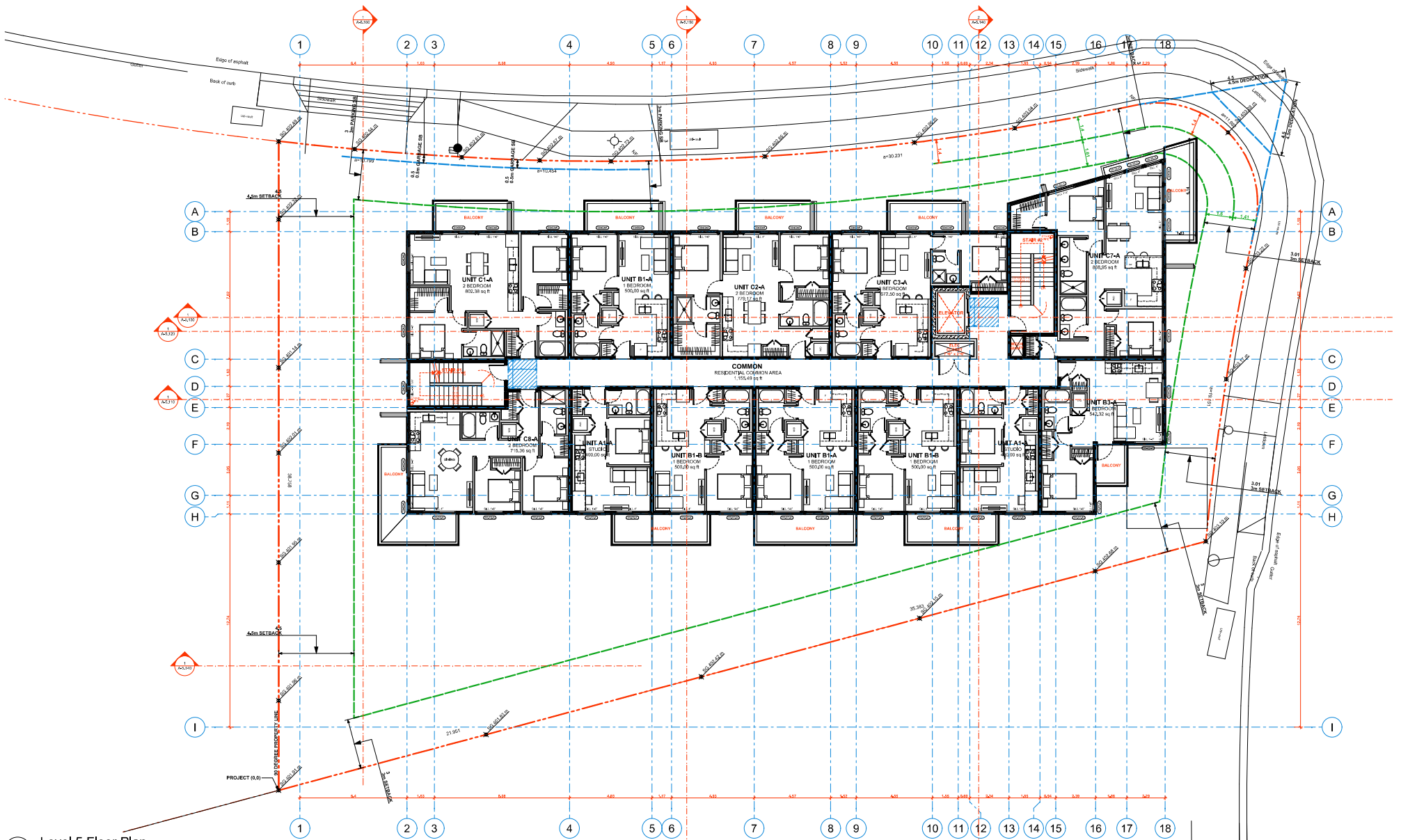
Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING



Level 4 Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.410



1 Level 5 Floor Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

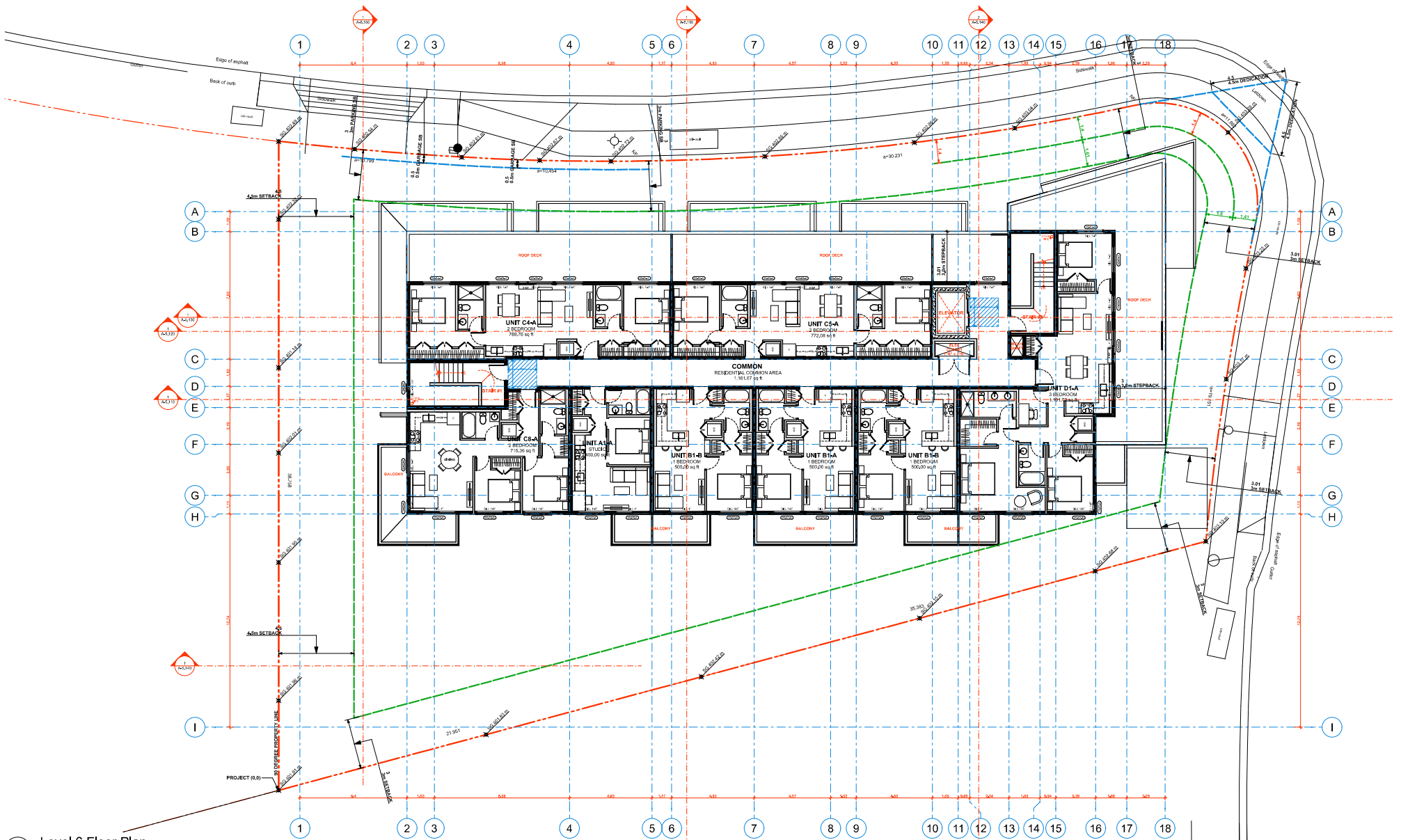
This forms part of application
DP24-0110

Planner Initials **Jl**



Level 5 Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.510



1 Level 6 Floor Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

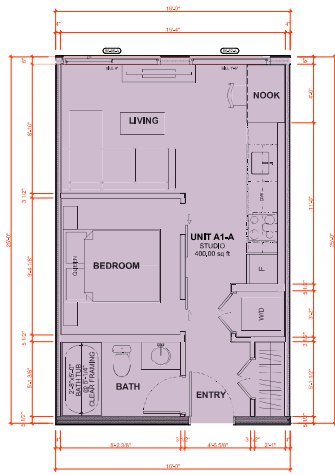
Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

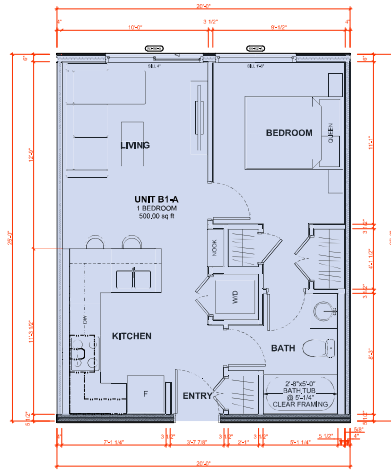



Level 6 Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

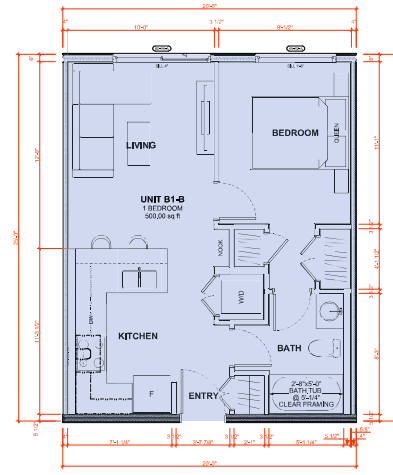
A-2.610



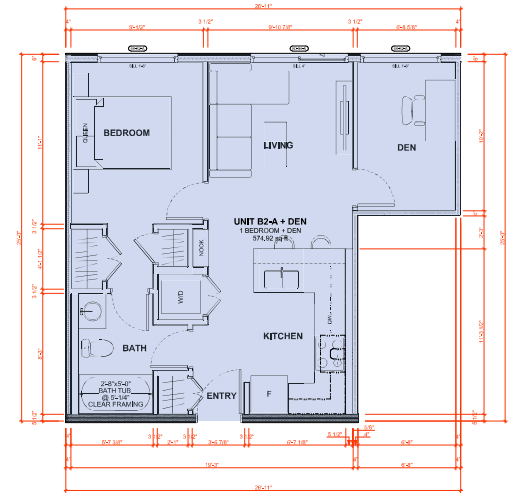
1 Unit A1-A
SCALE 1/4" = 1'-0"



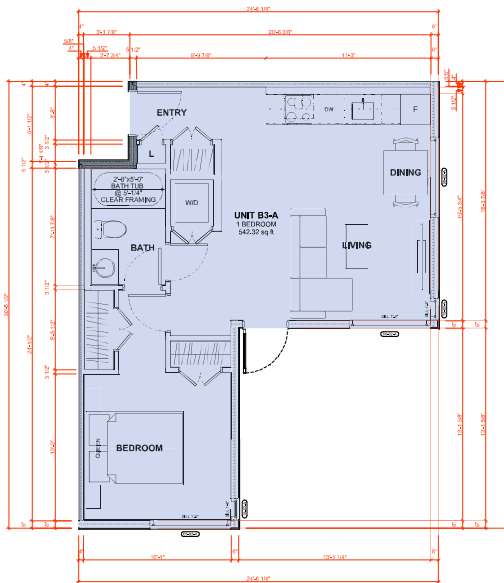
2 Unit B1-A
SCALE 1/4" = 1'-0"



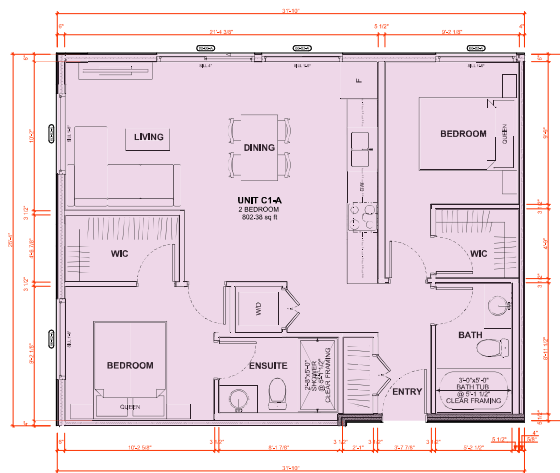
3 Unit B1-B
SCALE 1/4" = 1'-0"



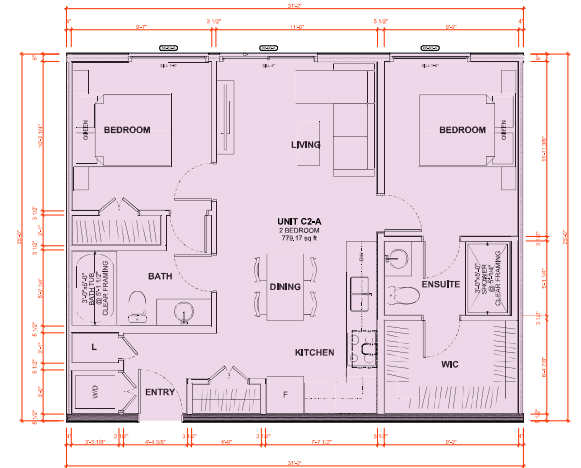
4 Unit B2-A
SCALE 1/4" = 1'-0"



5 Unit B3-A
SCALE 1/4" = 1'-0"



6 Unit C1-A
SCALE 1/4" = 1'-0"



7 Unit C2-A
SCALE 1/4" = 1'-0"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

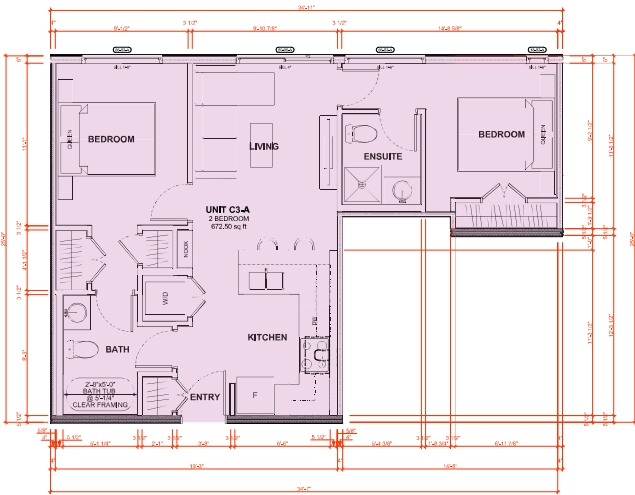
Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

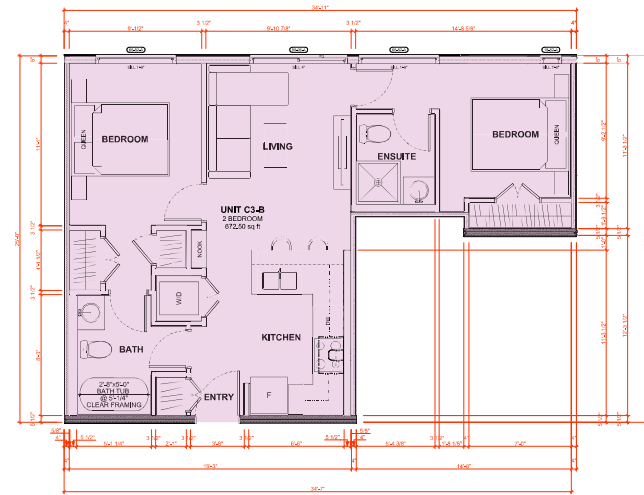


Unit Plans
011
December 23, 2024
Issue 05 - DP Resubmission

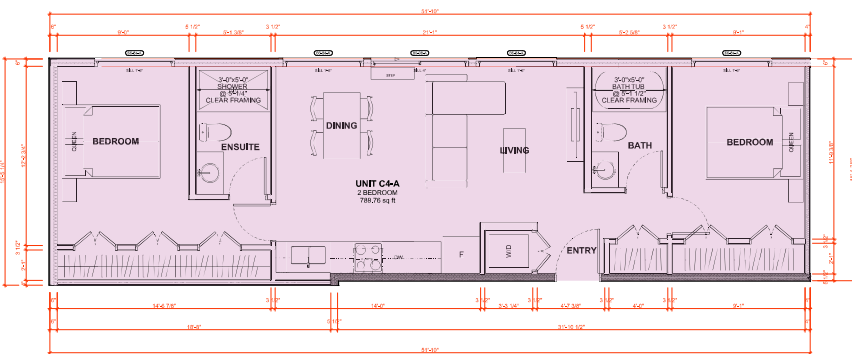
A-3.101



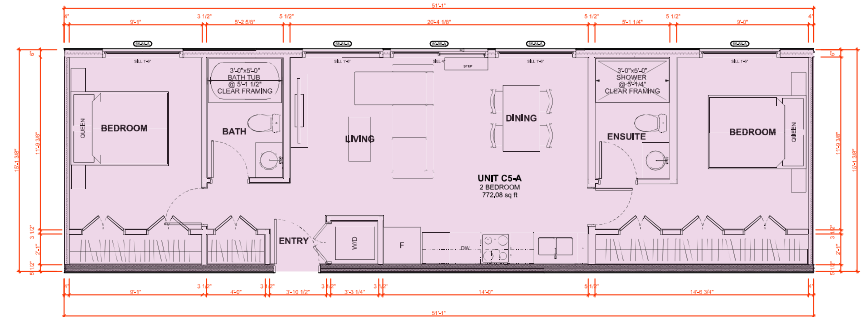
8 Unit C3-A
SCALE 1/4" = 1'-0"



9 Unit C3-B
SCALE 1/4" = 1'-0"



10 Unit C4-A
SCALE 1/4" = 1'-0"



11 Unit C5-A
SCALE 1/4" = 1'-0"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

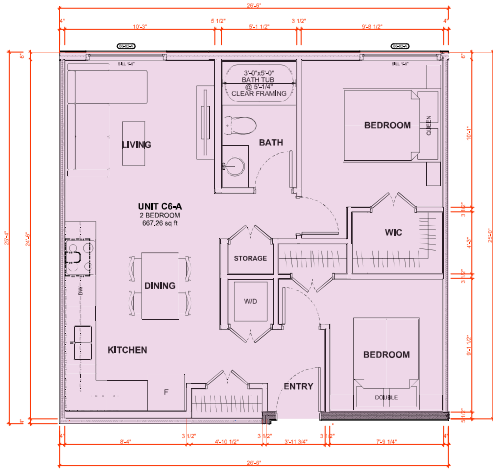
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials **JJ**

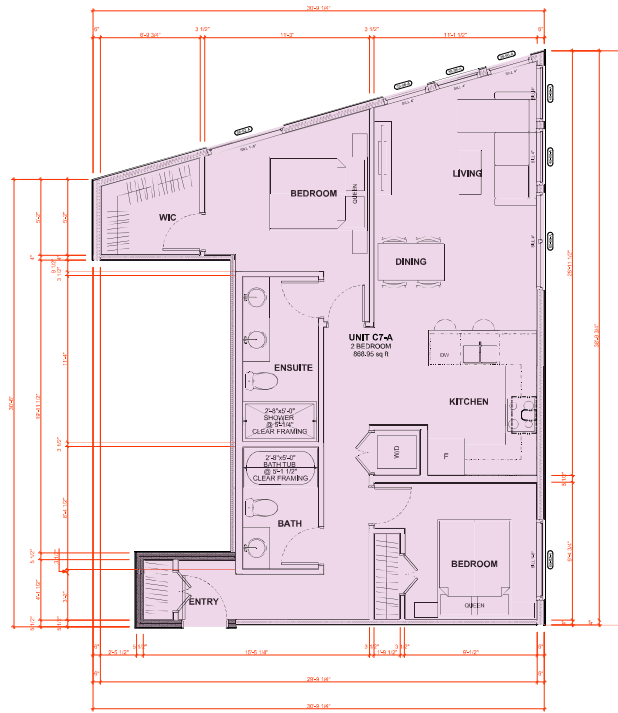


Unit Plans
011
December 23, 2024
Issue 05 - DP Resubmission

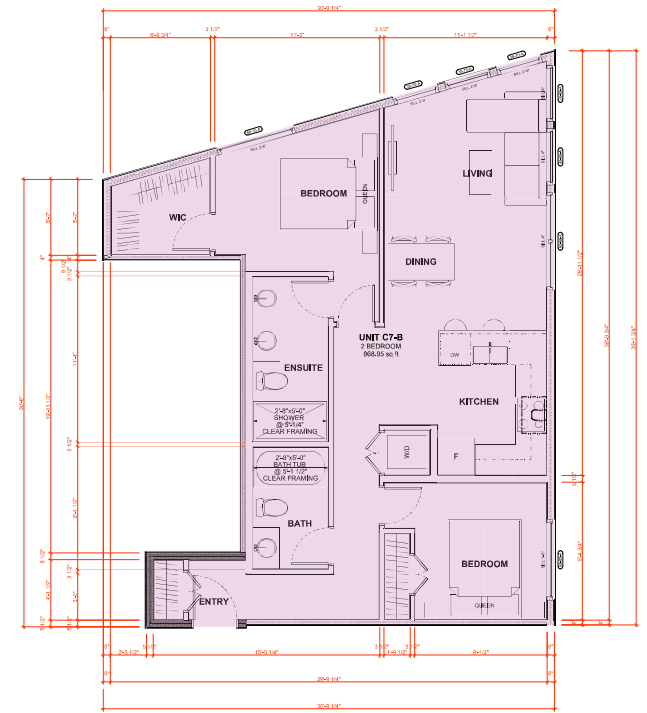
A-3.102



12 Unit C6-A
SCALE: 1/4" = 1'-0"



13 Unit C7-A
SCALE: 1/4" = 1'-0"



14 Unit C7-B
SCALE: 1/4" = 1'-0"

SCHEDULE A

This forms part of application
DP24-0110

Planner Initials **JL**

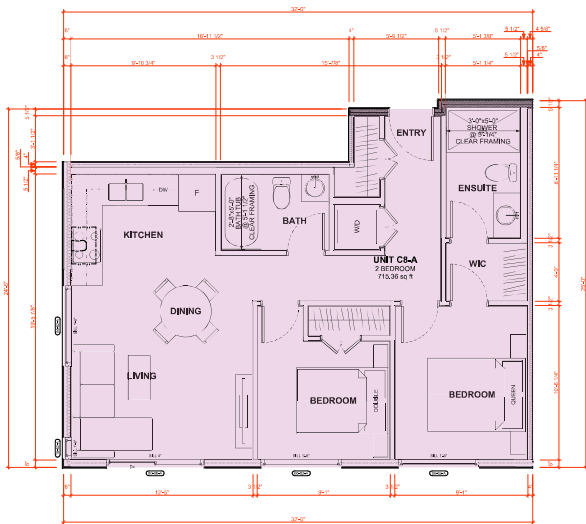
City of Kelowna
DEVELOPMENT PLANNING

SIEGRIST

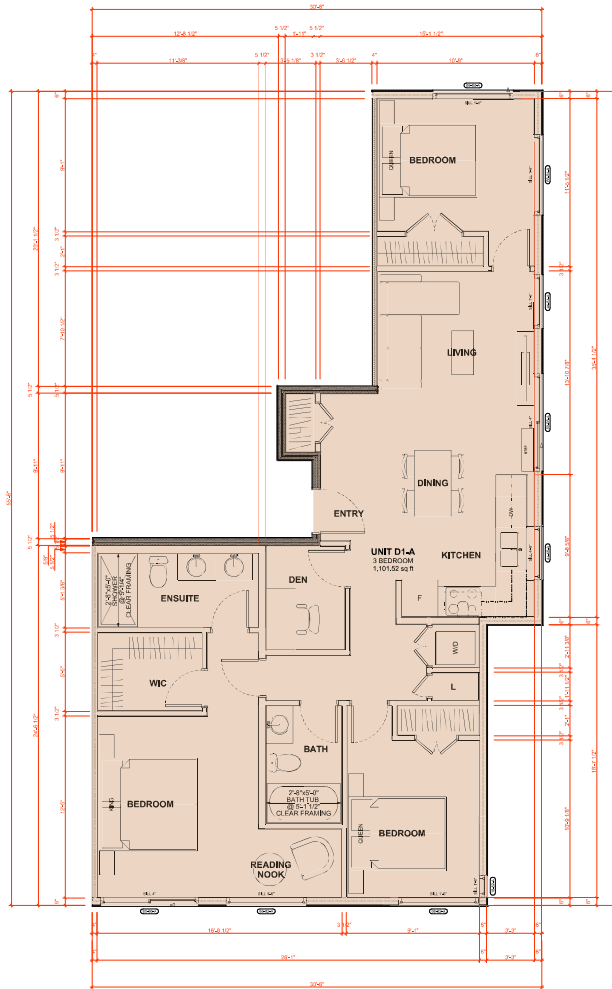


Unit Plans
011
December 23, 2024
Issue 05 - DP Resubmission

A-3.103



15 Unit C8-A
SCALE 1/4" = 1'-0"



16 Unit D1-A
SCALE 1/4" = 1'-0"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

Planner Initials **JJ**

City of **Kelowna**
DEVELOPMENT PLANNING



Unit Plans
011
December 23, 2024
Issue 05 - DP Resubmission

A-3.104

NOTE: BUILDING HEIGHT IS MEASURED FROM FINISHED GRADE TO TOP OF ROOF EXCLUDING ELEVATOR HOUSING, MECHANICAL EQUIPMENT, CHIMNEY STACKS ETC. AS MENTIONED IN ZONING BYLAW 12375.

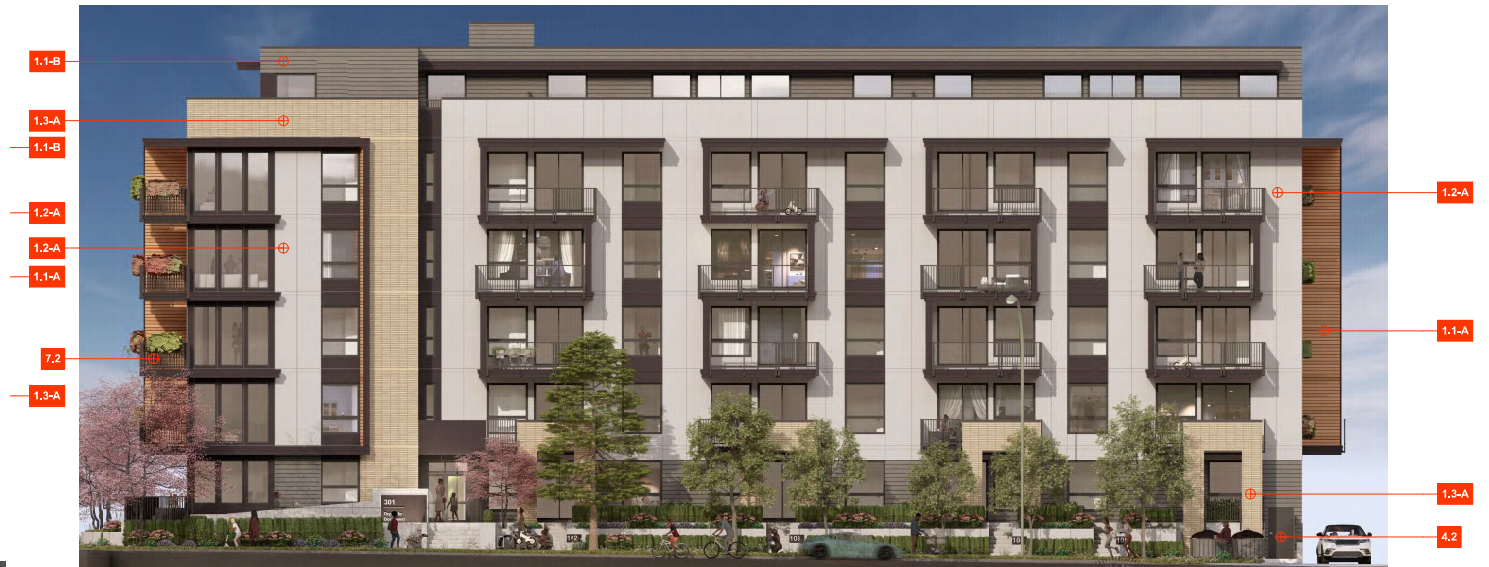
MATERIAL AND COLOUR LEGEND

Note: All Materials and Colours are subject to change during Tender and Pre-qualification of the project. Some limitations and substitutions are indicated by alternate designations.

Code	Material / Product	Manufacturer
1.1 CLADDING		
1.1A	Wood siding	Mountain Cedar
1.1B	Dark Gray	Mountain Cedar
1.2 LABEL SIDING		
1.2A	Light Gray	Painted
1.2B	Black	Painted
1.3 TONGUE OR BRICK SIDING		
1.3A	Light Gray	Painted
2.0 SOFFIT		
2.1	Wood siding	Mountain Cedar
3.0 ROOFS		
3.1	Black	Standard Colour - Black
4.0 DOORS		
4.1	Wood Entry Doors	Wood Grain Look
4.2	Dark Gray	Standard Colour - Black
5.0 WINDOWS		
5.1	Black	Vinyl/Window
6.0 FRIMS FASCIAS		
6.1	Dark Gray	Painted - To Match 1.1B
7.0 RAILINGS		
7.1	Black	Aluminum Guard Railing
7.2	Black	Aluminum Floor Guard Railing
8.0 ACCESSORIES		
8.1	Black / Light Gray	Black / Charcoal or For all finishes above/white Cladding 1.4 Region Gray Windows



1 Building Elevation - West
SCALE 1/8"



SIEGRIST

SCHEDULE B

This forms part of application
DP24-0110

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

West Elevations
011
December 23, 2024
Issue 05 - DP Resubmission

A-4.100

NOTE: BUILDING HEIGHT IS MEASURED FROM FINISHED GRADE TO TOP OF ROOF EXCLUDING ELEVATOR HOUSING, MECHANICAL EQUIPMENT, CHIMNEY STACKS ETC. AS MENTIONED IN ZONING BYLAW 12375.



1 Building Elevation - North
SCALE: 1/8"



MATERIAL AND COLOUR LEGEND

Refer to Material Schedule for Material Schedule and Colour Schedule. Refer to Material Schedule for Material Schedule and Colour Schedule.

Code	Material	Finish/Colour	Manufacturer
1.1-C	LADDING	Aluminum	Aluminum
1.1-D	LAP SIDING	Aluminum	Aluminum
1.1-E	Wood cladding	Weathered Grey	James Hardie / Woodstock
1.1-F	Dark Grey	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-G	Panel Siding	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-H	Light Grey	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-I	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-J	Stone or Brick Siding	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-K	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-L	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-M	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-N	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-O	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-P	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-Q	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-R	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-S	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-T	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-U	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-V	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-W	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-X	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-Y	Dark	Hand-painted Vertical Siding - Smooth	Van Goy
1.1-Z	Dark	Hand-painted Vertical Siding - Smooth	Van Goy

SIEGRIST

SCHEDULE B

This forms part of application # DP24-0110

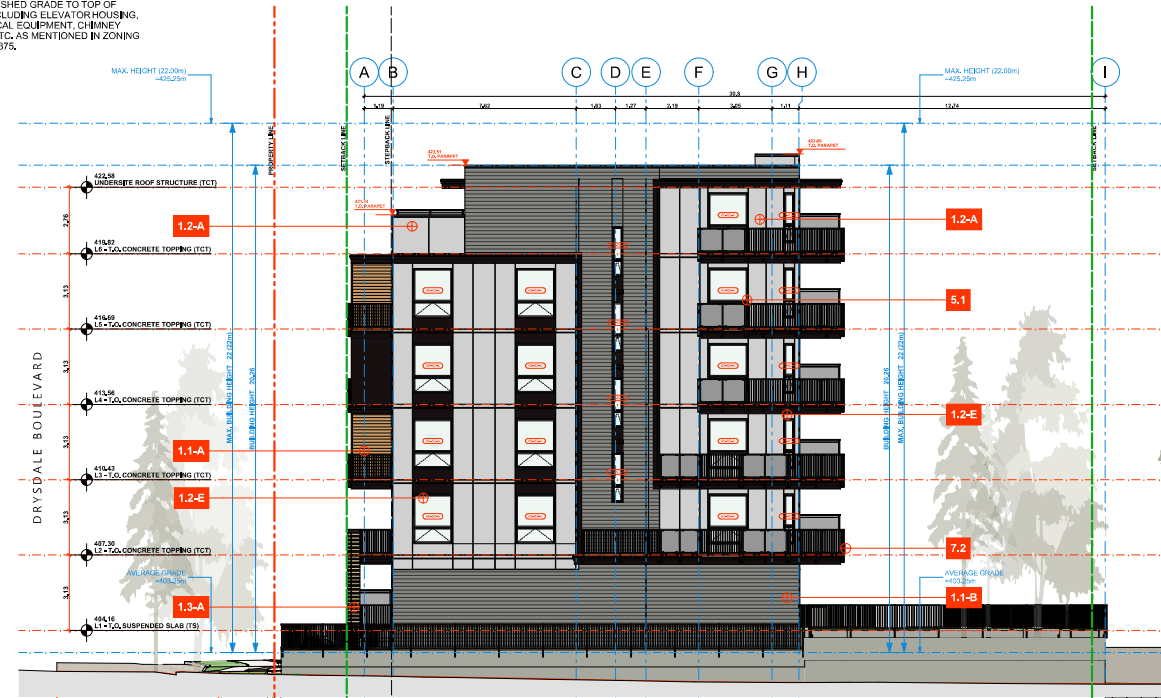
Planner Initials JI



North Elevations
011
December 23, 2024
Issue 05 - DP Resubmission

A-4.200

NOTE: BUILDING HEIGHT IS MEASURED FROM FINISHED GRADE TO TOP OF ROOF EXCLUDING ELEVATOR HOUSING, MECHANICAL EQUIPMENT, CHIMNEY STACKS ETC. AS MENTIONED IN ZONING BYLAW 12375.



1 Building Elevation - South
SCALE 1/8"



MATERIAL AND COLOUR LEGEND		
Code	Description	Material / Colour
1.0	CLADDING	
1.0-A	LAP SIDING	Horizontal
1.0-B	WOOD SHAKING	Shou-Sugi-Ban
1.0-C	WOOD SHAKING	Shou-Sugi-Ban
1.0-D	WOOD SHAKING	Shou-Sugi-Ban
1.0-E	WOOD SHAKING	Shou-Sugi-Ban
1.0-F	WOOD SHAKING	Shou-Sugi-Ban
1.0-G	WOOD SHAKING	Shou-Sugi-Ban
1.0-H	WOOD SHAKING	Shou-Sugi-Ban
1.0-I	WOOD SHAKING	Shou-Sugi-Ban
1.0-J	WOOD SHAKING	Shou-Sugi-Ban
1.0-K	WOOD SHAKING	Shou-Sugi-Ban
1.0-L	WOOD SHAKING	Shou-Sugi-Ban
1.0-M	WOOD SHAKING	Shou-Sugi-Ban
1.0-N	WOOD SHAKING	Shou-Sugi-Ban
1.0-O	WOOD SHAKING	Shou-Sugi-Ban
1.0-P	WOOD SHAKING	Shou-Sugi-Ban
1.0-Q	WOOD SHAKING	Shou-Sugi-Ban
1.0-R	WOOD SHAKING	Shou-Sugi-Ban
1.0-S	WOOD SHAKING	Shou-Sugi-Ban
1.0-T	WOOD SHAKING	Shou-Sugi-Ban
1.0-U	WOOD SHAKING	Shou-Sugi-Ban
1.0-V	WOOD SHAKING	Shou-Sugi-Ban
1.0-W	WOOD SHAKING	Shou-Sugi-Ban
1.0-X	WOOD SHAKING	Shou-Sugi-Ban
1.0-Y	WOOD SHAKING	Shou-Sugi-Ban
1.0-Z	WOOD SHAKING	Shou-Sugi-Ban
1.1	WOOD SHAKING	Shou-Sugi-Ban
1.2	WOOD SHAKING	Shou-Sugi-Ban
1.3	WOOD SHAKING	Shou-Sugi-Ban
1.4	WOOD SHAKING	Shou-Sugi-Ban
1.5	WOOD SHAKING	Shou-Sugi-Ban
1.6	WOOD SHAKING	Shou-Sugi-Ban
1.7	WOOD SHAKING	Shou-Sugi-Ban
1.8	WOOD SHAKING	Shou-Sugi-Ban
1.9	WOOD SHAKING	Shou-Sugi-Ban
2.0	WOOD SHAKING	Shou-Sugi-Ban
2.1	WOOD SHAKING	Shou-Sugi-Ban
2.2	WOOD SHAKING	Shou-Sugi-Ban
2.3	WOOD SHAKING	Shou-Sugi-Ban
2.4	WOOD SHAKING	Shou-Sugi-Ban
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2.6	WOOD SHAKING	Shou-Sugi-Ban
2.7	WOOD SHAKING	Shou-Sugi-Ban
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2.9	WOOD SHAKING	Shou-Sugi-Ban
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2.11	WOOD SHAKING	Shou-Sugi-Ban
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2.80	WOOD SHAKING	Shou-Sugi-Ban
2.81	WOOD SHAKING	Shou-Sugi-Ban
2.82	WOOD SHAKING	Shou-Sugi-Ban
2.83	WOOD SHAKING	Shou-Sugi-Ban
2.84	WOOD SHAKING	Shou-Sugi-Ban
2.85	WOOD SHAKING	Shou-Sugi-Ban
2.86	WOOD SHAKING	Shou-Sugi-Ban
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2.89	WOOD SHAKING	Shou-Sugi-Ban
2.90	WOOD SHAKING	Shou-Sugi-Ban
2.91	WOOD SHAKING	Shou-Sugi-Ban
2.92	WOOD SHAKING	Shou-Sugi-Ban
2.93	WOOD SHAKING	Shou-Sugi-Ban
2.94	WOOD SHAKING	Shou-Sugi-Ban
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2.97	WOOD SHAKING	Shou-Sugi-Ban
2.98	WOOD SHAKING	Shou-Sugi-Ban
2.99	WOOD SHAKING	Shou-Sugi-Ban
3.00	WOOD SHAKING	Shou-Sugi-Ban

SIEGRIST

SCHEDULE B

This forms part of application
DP24-0110

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

South Elevations
011
December 23, 2024
Issue 05 - DP Resubmission

A-4.300

NOTE: BUILDING HEIGHT IS MEASURED FROM FINISHED GRADE TO TOP OF ROOF EXCLUDING ELEVATOR HOUSING, MECHANICAL EQUIPMENT, CHIMNEY STACKS ETC, AS MENTIONED IN ZONING BYLAW 12375.

MATERIAL AND COLOUR LEGEND

Note: All finishes and colours are subject to change during the design process. The finishes and colours shown are for informational purposes only and are not a guarantee of availability or performance.

Code	Material / Product	Manufacturer
1.1	CLADDING	
1.1A	Wood Siding	Mountain Cedar
1.1B	Dark Grey	Iron Grey
1.2	LABEL SIDING	
1.2A	40" HORIZONTAL VERTICAL SIDING (GROOVE)	Painted Grey
1.2B	40" HORIZONTAL VERTICAL SIDING (GROOVE)	Painted - Bergamo Moss Tufftite Zone 2 (2:1:10)
1.3	STONE OR BRICK SIDING	
1.3A	Stone	Calacatta
2.1	SOFFIT	
2.1	Wood Siding	Mountain Cedar
3.1	ROOFS	
3.1	Black	Standard Colour - Black
4.1	DOORS	
4.1	Wood Entry Doors	Wood Grain Look
4.2	Dark Grey	Standard Colour - Black
5.1	WINDOWS	
5.1	Black	Vinyl Windows
6.1	FRIMS FASCIAS	
6.1	Dark Grey	Painted - To Match 1.2
7.1	RAILINGS	
7.1	Black	Aluminum Guard Railing
7.2	Black	Aluminum Floor Guard Rail
8.1	ACCESSORIES	
8.1	Black / Light Grey	Black / Charcoal or For all finishes above with Cladding 1.4 Region Only Windows



1 Building Elevation - East
SCALE: 1/8"



SIEGRIST

SCHEDULE B

This forms part of application
DP24-0110

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

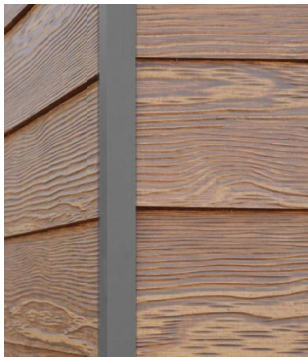
East Elevations
011
December 23, 2024
Issue 05 - DP Resubmission

A-4.400

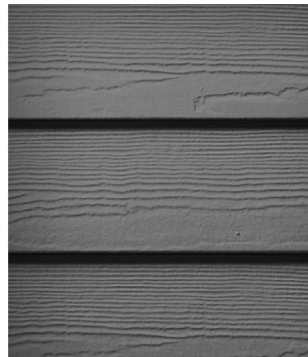
MATERIAL AND COLOUR LEGEND

Note: All Materials and Colours are subject to change during Tender and/or Pricing phase of the project.
Note: Contractor to provide submittals and samples if a product change is proposed.

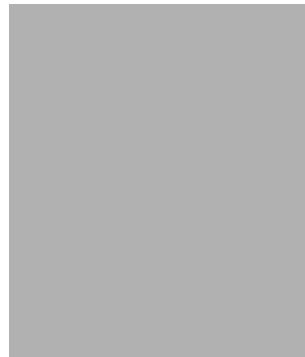
Colour	Product	Finish (to match)	Manufacturer
1.0 CLADDING			
1.1 LAP SIDING			
1.1-A	Wood-appearing JamesHardie™ + Woodstone RusticSeries™ Lap Siding w/ 7" Exposure all panel/joint/transition trims EZ Trim - White all flashings above/within - Black	Mountain Cedar	JamesHardie + Woodstone
1.1-B	Dark Grey HardiePanel® Vertical Siding - Smooth	Iron Gray	JamesHardie
1.2 PANEL SIDING			
1.2-A	Light Grey 4" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel/joint/transition trims EZ Trim - Match 1.2-A Colour all flashings above/within - Match 1.2-A Colour	Pearl Grey	JamesHardie
1.2-E	Black 4" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel/joint/transition trims EZ Trim - Match 1.2-E Colour all flashings above/within - Match 1.2-E Colour	Painted - Benjamin Moore Twilight Zone 2127-10	JamesHardie
1.3 STONE OR BRICK SIDING			
1.3-A	Beige Gridline	Yellow FH7142A	Ceracad
2.0 SOFFIT			
2.1	Wood-appearing JamesHardie™ + Woodstone RusticSeries™ 6.25" Exposure	Mountain Cedar	JamesHardie
3.0 ROOFS			
3.1	Black 2-Layer	Standard Colour - Black	
4.0 DOORS			
4.1	Wood Wood Entry Doors	Wood Grain Look	
4.2	Dark Grey Metal Door	Standard Colour - Black	
5.0 WINDOWS			
5.1	Black Vinyl Windows		
6.0 TRIMS FASCIA S			
6.1	Dark Grey Combifaced Wood all flashings above/within Westform - Charcoal	Painted - To Match 1.5	
7.0 RAILINGS			
7.1	Black Aluminum Guard Railing	Glass	
7.2	Black Aluminum Picket Guard Rails		
8.0 ACCESSORIES			
8.1	Black / Light Grey Flashings	Black / Charcoal or For all Flashings above/within Cladding 1.4 Regent Grey Westform	



1.1-A JamesHardie™
Hardie® Lap Siding Select Cedarmill®



1.1-B JamesHardie™
HardiePanel® Vertical Siding - Smooth
Iron Gray



1.2-A JamesHardie™
HardiePanel® Vertical Siding
Pearl Gray



1.2-E JamesHardie™
Painted - Benjamin Moore Twilight Zone
2127-10



1.3-A Ceracad
Yellow FH7142A

SIEGRIST

SCHEDULE B

This forms part of application
DP24-0110

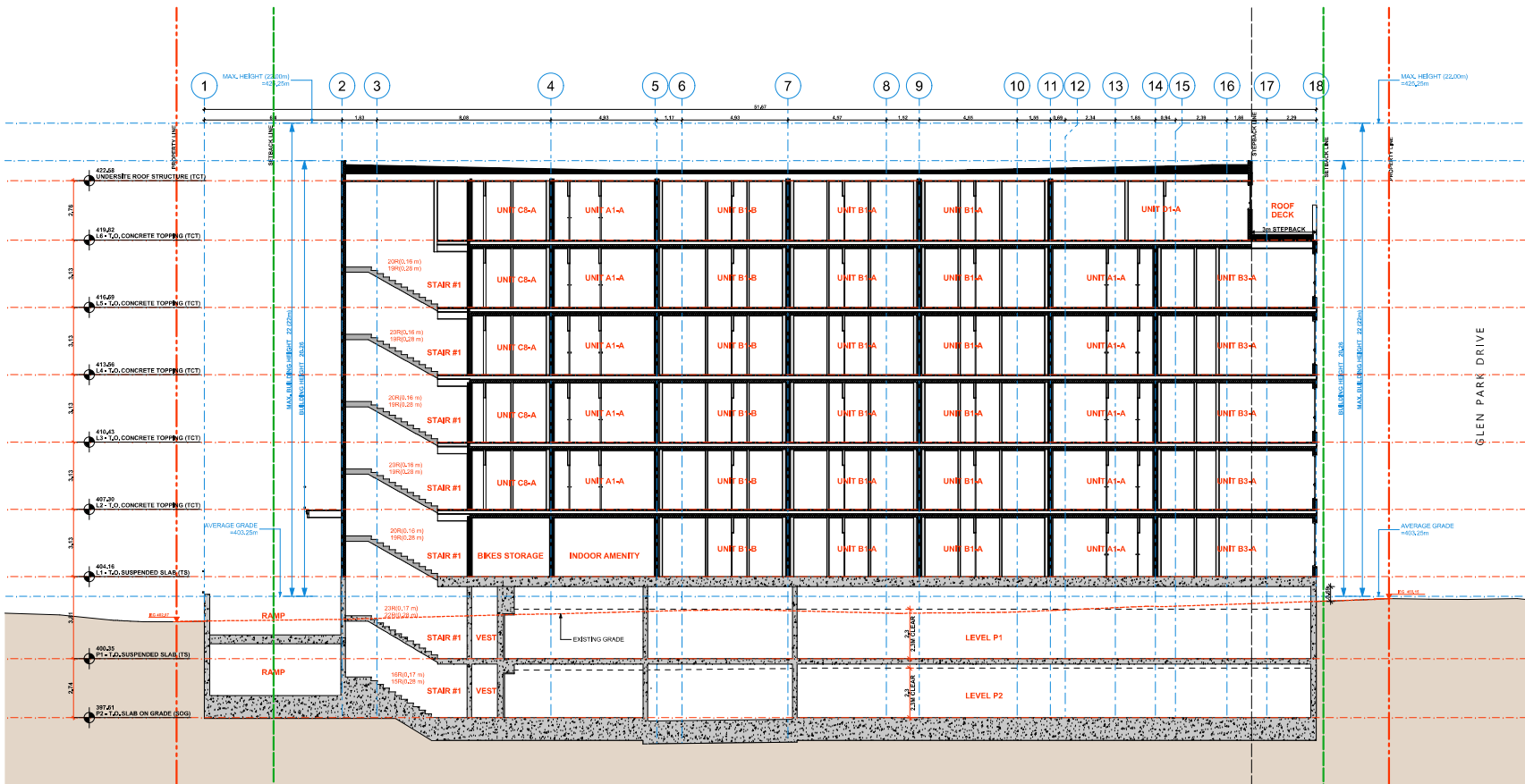
Planner Initials **JJ**

City of **Kelowna**
DEVELOPMENT PLANNING




Material Board
011
December 23, 2024
Issue 05 - DP Resubmission

A-4.500



1 Building Section - North South 01
SCALE: 1/8"

SIEGRIST

SCHEDULE B

This forms part of application
DP24-0110

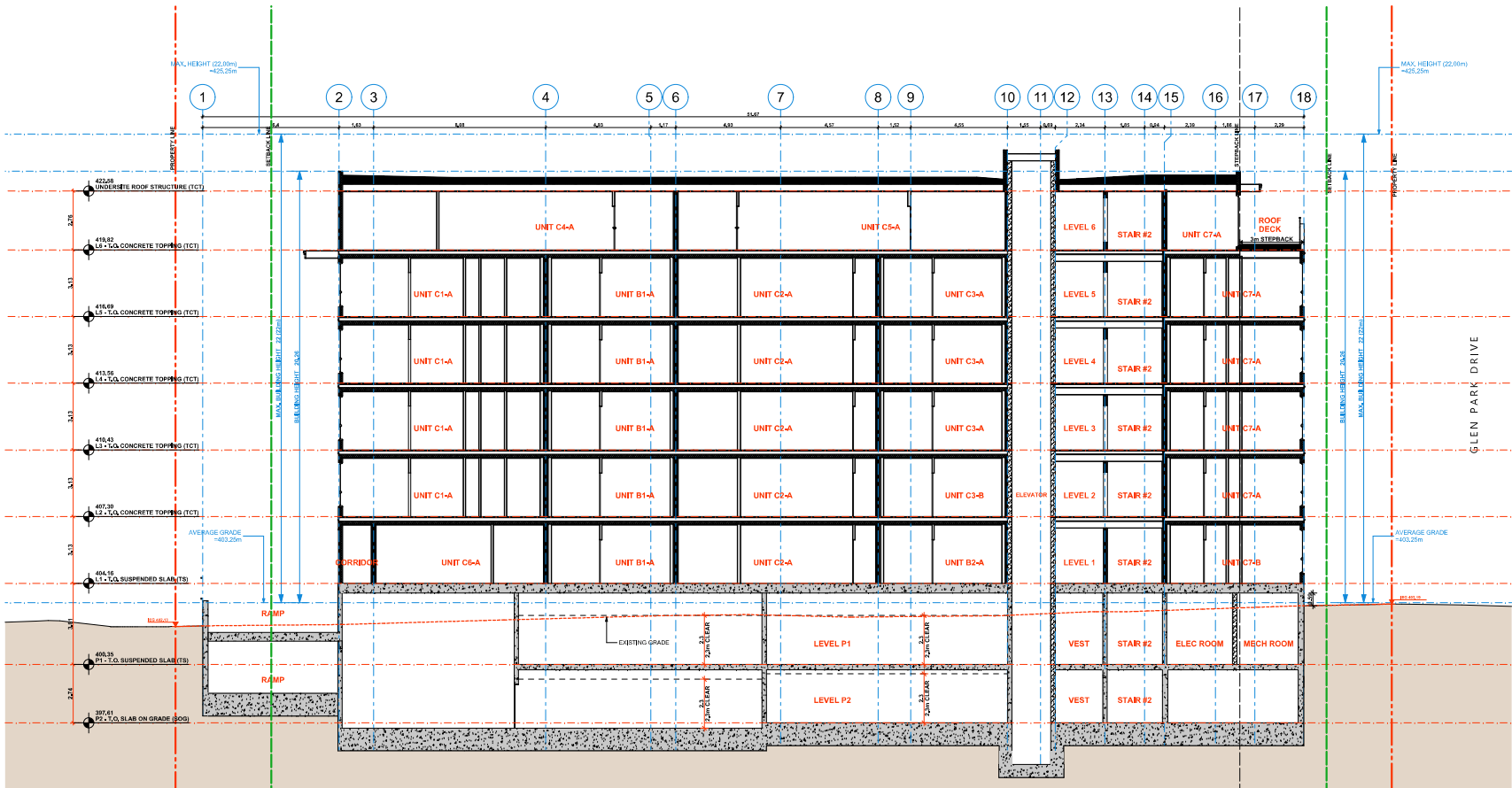
Planner Initials **JL**

City of Kelowna
DEVELOPMENT PLANNING



Building Section - North South 01
011
December 23, 2024
Issue 05 - DP Resubmission

A-5.110



1 Building Section - North South 02
SCALE: 1/8"

SIEGRIST

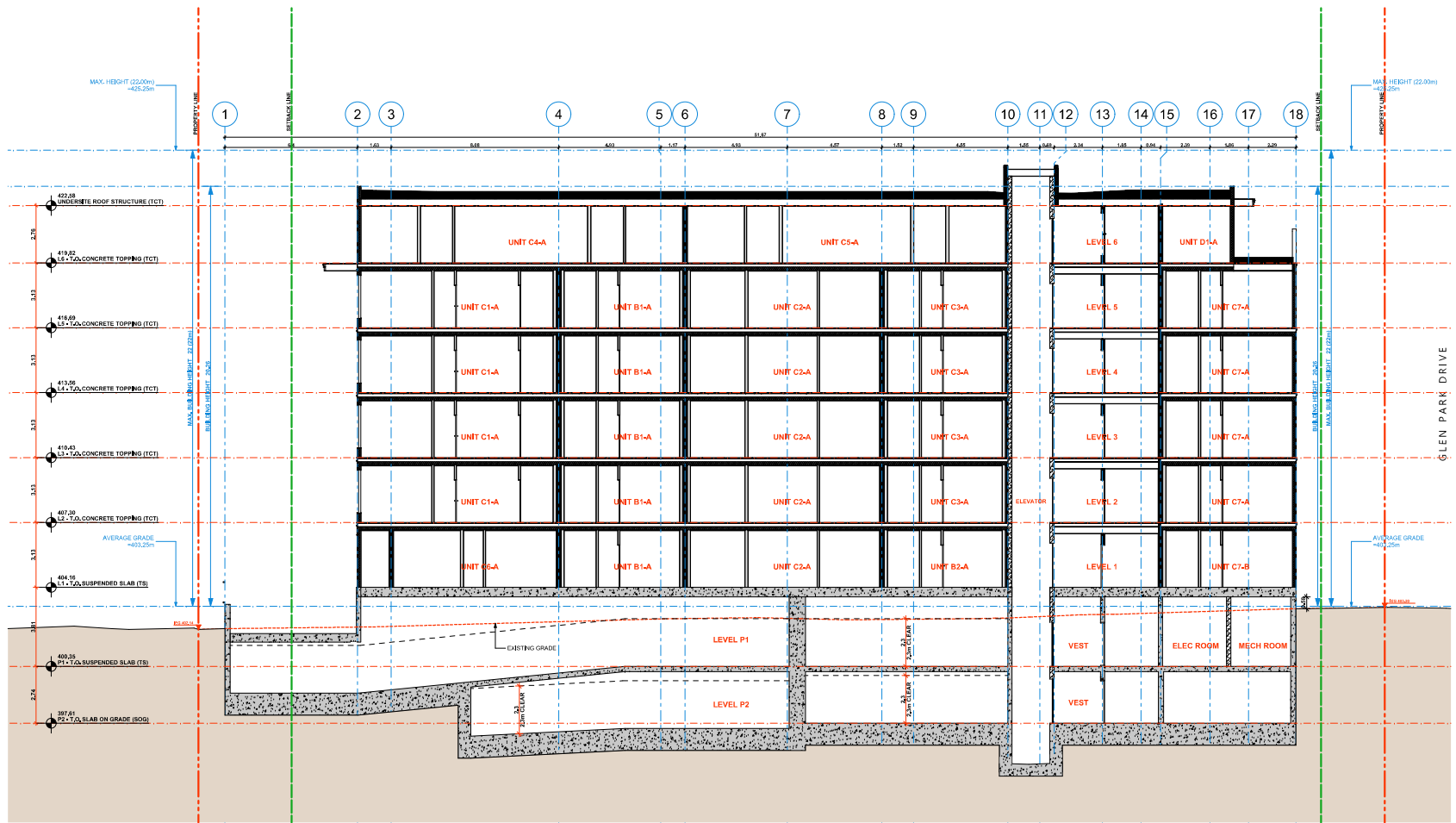
SCHEDULE B

This forms part of application
DP24-0110

Planner Initials **JJ**

Building Section - North South 02
011
December 23, 2024
Issue 05 - DP Resubmission

A-5.120



1 Building Section - North South 04
SCALE 1/32

SCHEDULE B

This forms part of application
DP24-0110

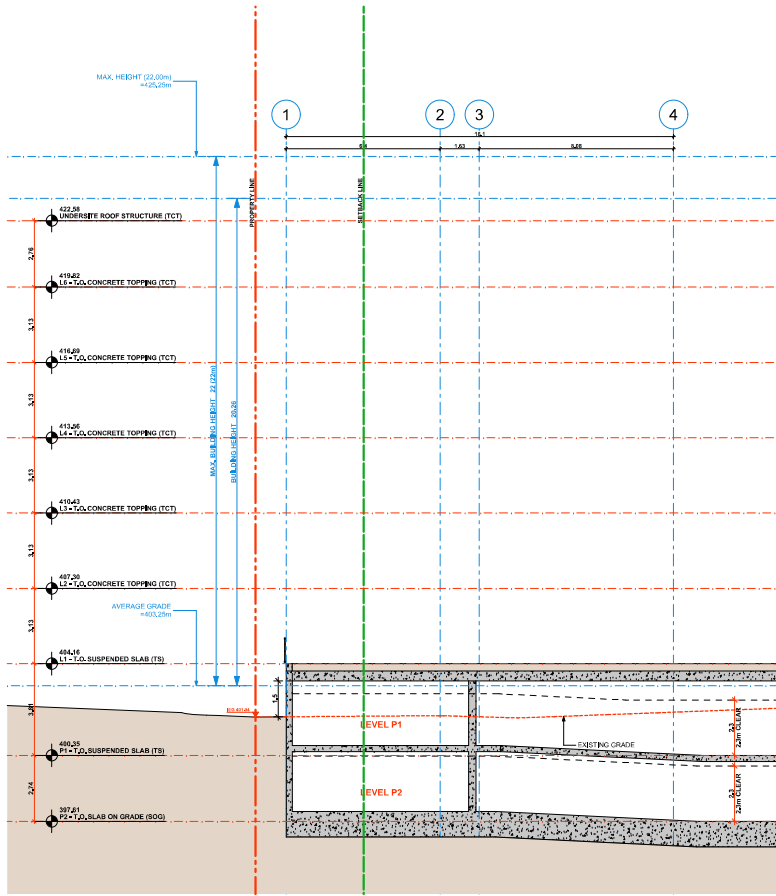
Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

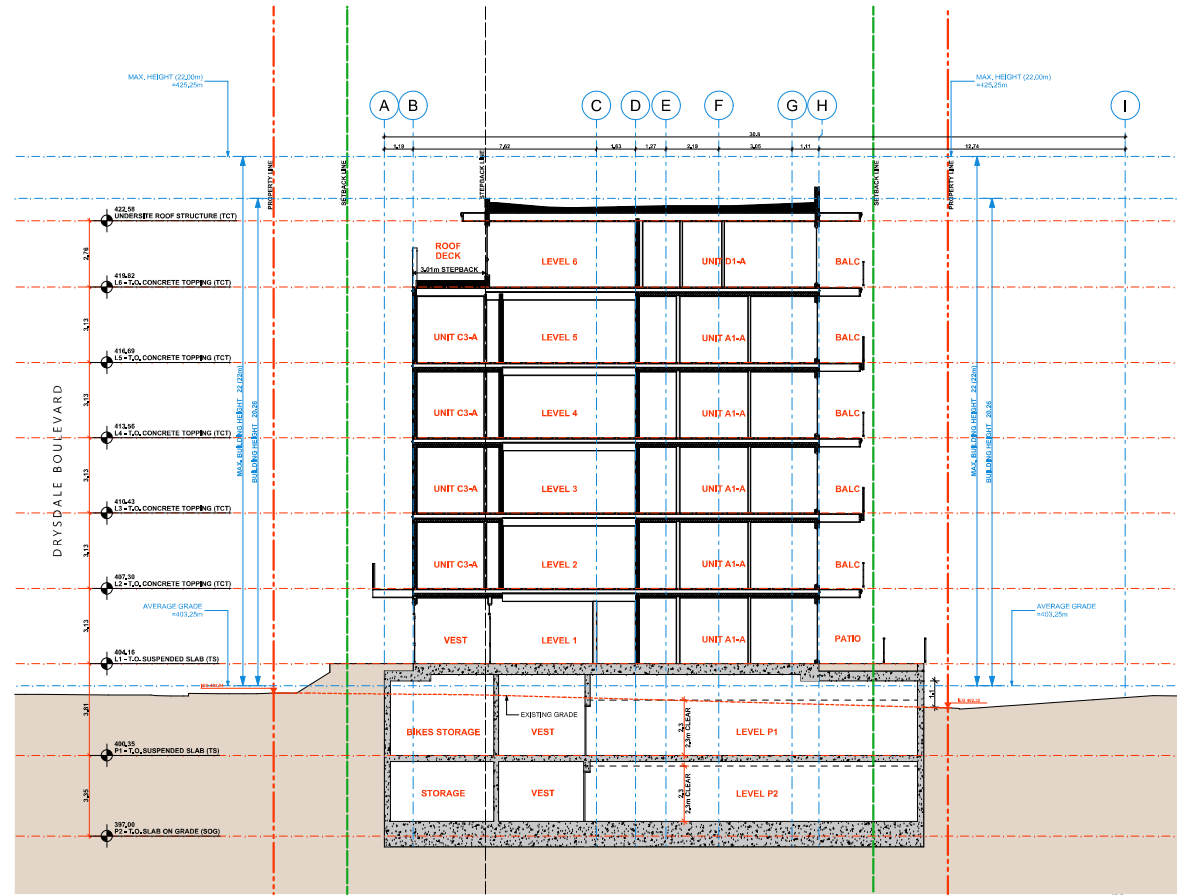
Building Section - North South 03
011
December 23, 2024
Issue 05 - DP Resubmission

A-5.130

SIEGRIST



1 Building Section - North South 03
SCALE: 1/8"



2 Building Section - East West 01
SCALE: 1/8"

SIEGRIST

SCHEDULE B

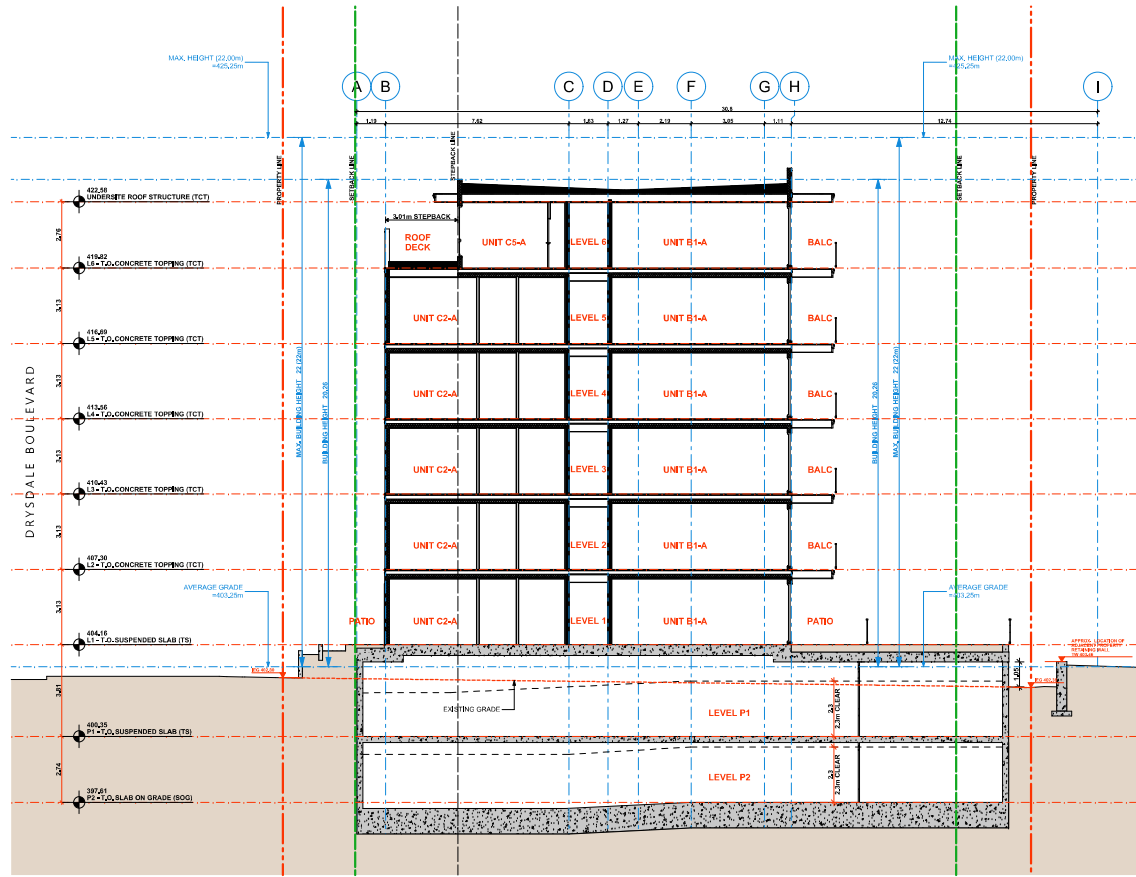
This forms part of application
DP24-0110

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

Building Section - East West 01
011
December 23, 2024
Issue 05 - DP Resubmission

A-5.140



1 Building Section - East West 02
SCALE: 1/8" = 1'-0"

SCHEDULE B

This forms part of application
DP24-0110

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING



HARDSCAPE LEGEND

REF.	DESCRIPTION
1-LD-01	CONCRETE PAVING
2-LD-01	HYDRAPRESSED CONCRETE SLABS
3-LD-01	GRAVEL BED
4-LD-01	COMPACTED CRUSHED GRAVEL
5-LD-01	FLUSHED CONCRETE EDGE
6-LD-01	BLOCK WALL PLANTER (1.2m high Planter Wall)

SOFTSCAPE LEGEND

REF.	DESCRIPTION
1,2-LD-02	TREE PLANTING
3,4-LD-02	SHRUB & GROUND COVER PLANTING
5-LD-02	LAWN - OFF SITE BOULEVARD
6-LD-02	SILVA CELL PIT (SOIL CELLS)

FURNITURE LEGEND

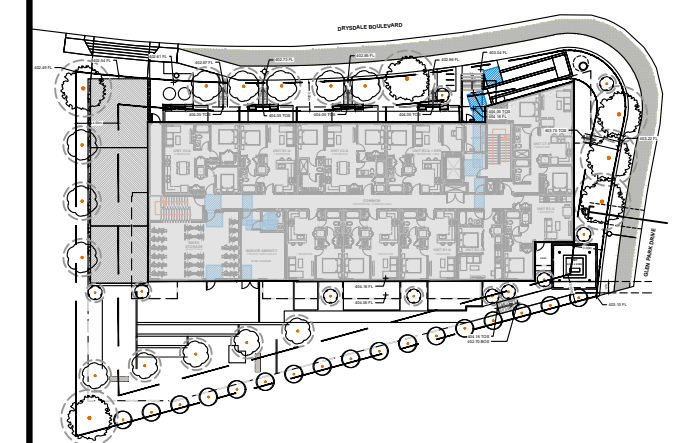
REF.	DESCRIPTION
1-LD-03	BENCH
2-LD-03	COFFEE TABLE AND CHAIR
3-LD-03	RECLINING CHAIR SET
4-LD-03	LOUNGE SOFA SET
5-LD-03	FIRE TABLE
6-LD-03	BUFFET / BAR COUNTER AND BAR STOOL
7-LD-03	DINING TABLE
8-LD-03	BIKE RACK
1-LD-04	PLANTER - RECTANGULAR (TYPE - 1)
2-LD-04	PLANTER - RECTANGULAR (TYPE - 2)
3-LD-04	PLANTER - RECTANGULAR (TYPE - 3 FOR TREES)
4-LD-04	COMMUNITY GARDEN PLANTERS
5-LD-04	POTTING TABLE
6-LD-04	LITTER BIN
7-LD-04	DOG PARK BIN
8-LD-04	BARBEQUE
1-LD-05	PRIVACY SCREEN (1.8m high)
2-LD-05	METAL FENCE WITH GATE (1.2m high)

PLANTING SCHEDULE - TREES

SYMBOL	BOTANICAL / COMMON NAME	NOS.	DESCRIPTION
	Norway Maple <i>Acer Platanoides</i>	6	Large Tree
	Skyline Honey Locust <i>Gleditsia triacanthos var. inermis 'Skycole'</i>	13	Medium Tree
	Eastern redbud <i>Cercis canadensis</i>	10	Small Tree
	Swedish columnar poplar <i>Populus tremula 'erecta'</i>	17	Columnar Tree

SCHEDULE C
 This forms part of application # DP24-0110
 City of Kelowna DEVELOPMENT PLANNING
 Planner Initials: JI

Key Map (NTS)



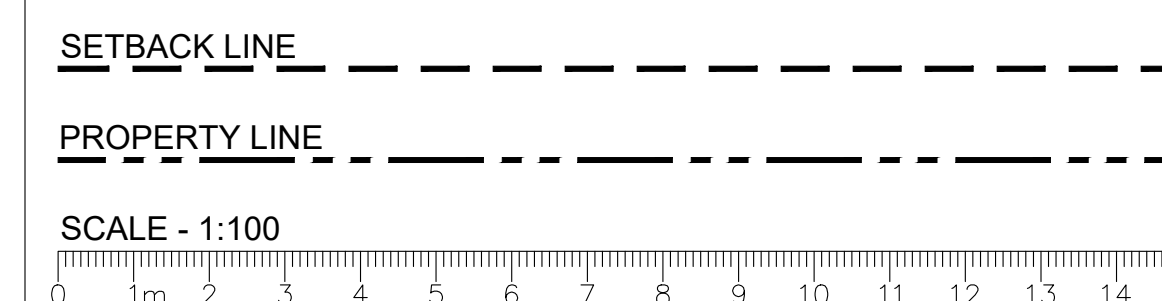
REV.	BY	DESCRIPTION	DATE
3			
2	IM	Issued for DP Resubmission	2024-12-03
1	IM	Issued for Development Permit	2024-06-05

REVISIONS TABLE FOR DRAWINGS
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REV.	BY	DESCRIPTION	DATE
REVISIONS TABLE FOR SHEET			

Project: Glenmore Ridge
 Location: 301 Drysdale Boulevard, Kelowna, B.C.

Drawn: IM Stamp:
 Checked: AM
 Approved: AM Original Sheet Size: 24"x36"
 Scale: 1:100



Drawing Title: **LANDSCAPE SITE PLAN**
 Vdz Project #: **DP2024-14**
 Drawing #: **L-02**

Z:\PROJECTS\DEVELOPMENT PERMIT\DP2024-14 DRYSDALE KELOWNA\DWGS\LANDSCAPE SITE PLAN\DWG



WATER CONSERVATION LEGEND

	<p>ZONE #1 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS (at grade) TOTAL AREA: 155.00 M² MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 70 cu.m.</p>
	<p>ZONE #2 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS (on slab) TOTAL AREA: 56.00 M² MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING ESTIMATED ANNUAL WATER USE: 24 cu.m.</p>
	<p>ZONE #3 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR LOW WATER USE PLANTING AREAS TOTAL AREA: 124.00 M² MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING ESTIMATED ANNUAL WATER USE: 33 cu.m.</p>

WATER CONSERVATION CALCULATIONS

TOTAL LANDSCAPE AREA: 335.00 m²
 LANDSCAPE MAXIMUM WATER BUDGET (WB)= 268 cu.m / year
 ESTIMATED LANDSCAPE WATER USE (WU) = 127 cu.m /year
 WATER BALANCE = 141 cu.m /year
 *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

SCHEDULE C

This forms part of application
 # DP24-0110

Planner Initials **JL**

City of Kelowna
 DEVELOPMENT PLANNING

REV.	BY	DESCRIPTION	DATE
3			
2	IM	Issued for DP Resubmission	2024-12-03
1	IM	Issued for Development Permit	2024-06-05

REVISIONS TABLE FOR DRAWINGS
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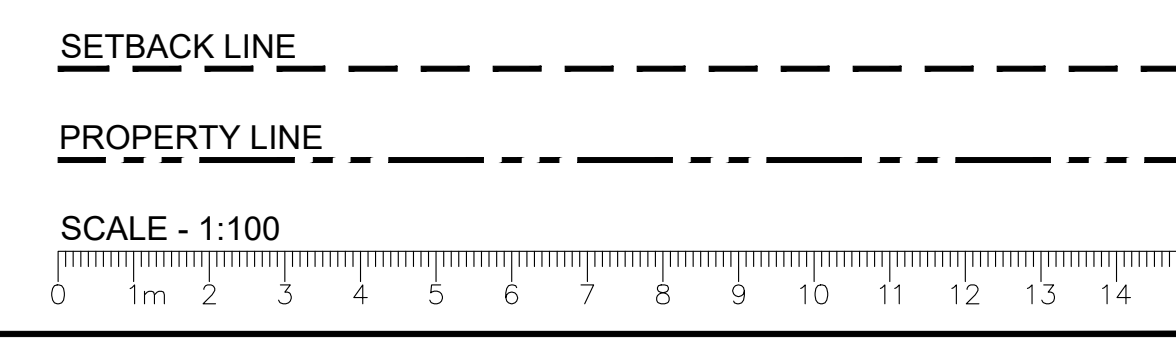
REV.	BY	DESCRIPTION	DATE

Project:
 Glenmore Ridge

Location:
 301 Drysdale Boulevard,
 Kelowna, B.C.

Drawn: IM	Stamp:
Checked: AM	
Approved: AM	Original Sheet Size: 24"x36"

Scale:
 1:100



Drawing Title: WATER CONSERVATION PLAN AND CALCULATIONS

VDZ Project #: DP2024-14

Drawing #: L-04

Z:\PROJECTS\DEVELOPMENT PERMIT\DP2024-14 DRYSDALE KELOWNA\DWG\SHEET\SL-04 WATER CONSERVATION PLAN AND CALCULATION.DWG

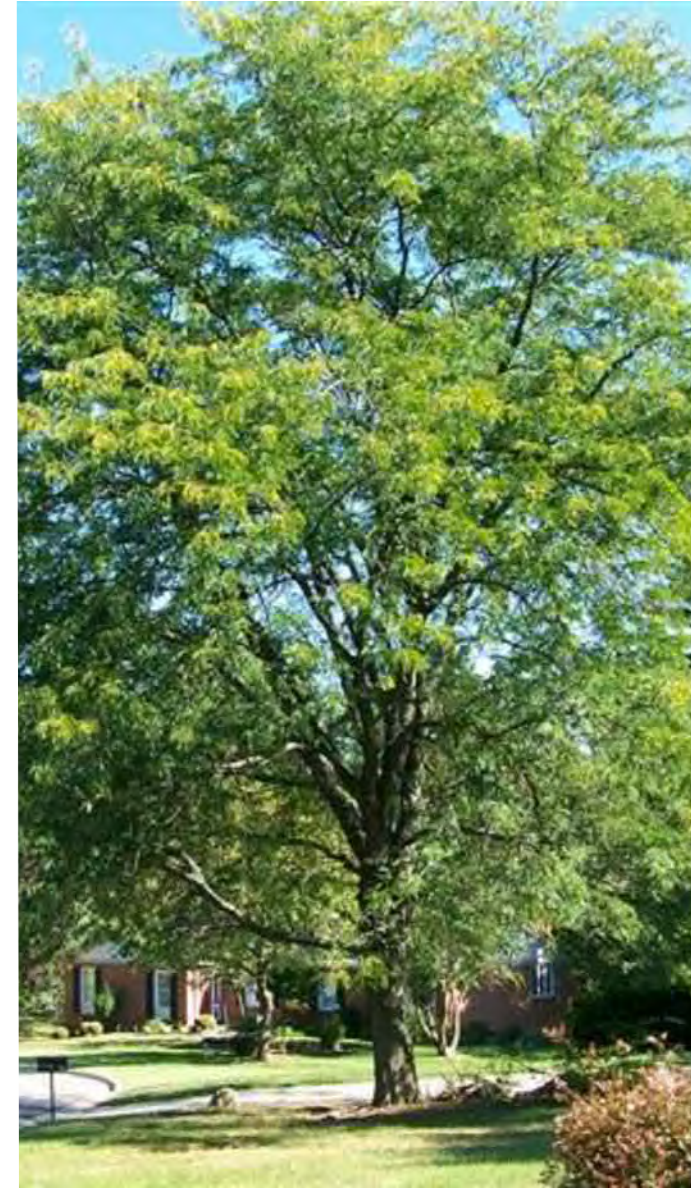
TREES



Acer platanoides



Swedish columnar poplar



Skyline Honey Locust



Cercis canadensis

SHRUBS AND GROUNDCOVER



Perovskia Atriplicifolia



Eryngium Alpinum 'Blue star'



Artemisia Tridentata



Ericameria nauseosa



Juniperous Horizontalis 'Andorra'



Thymus Pseudolanuginosus



Coreopsis 'Moonbeam'



Juniperous Sabina



Arctostaphylos Uva-Ursi



Chasmanthium latifolium



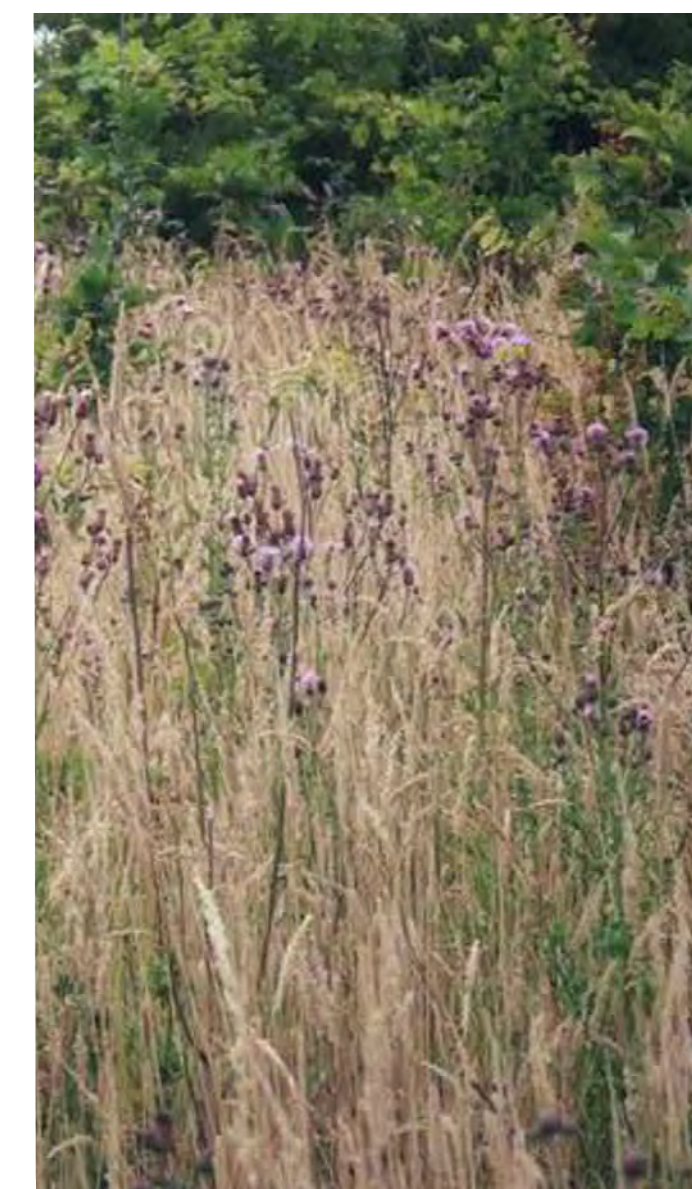
Caryopteris x Clandonensis



Yucca Glauca



Elymus mollis



Dry meadow seed mix



Lychnis



Sedum x 'Thunderhead'

PLANTING SCHEDULE - TREES

SYMBOL	BOTANICAL / COMMON NAME	NOS.	DESCRIPTION
	Norway Maple <i>Acer Platanoides</i>	6	Large Tree
	Skyline Honey Locust <i>Gleditsia triacanthos var. inermis 'Skycole'</i>	13	Medium Tree
	Eastern redbud <i>Cercis canadensis</i>	10	Small Tree
	Swedish columnar poplar <i>Populus tremula 'erecta'</i>	17	Columnar Tree

PLANT SCHEDULE - SHRUBS & GROUNDCOVER

SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING
SHRUBS			
	Artemisia tridentata / Big Sagebrush	#2	
	Caryopteris x clandonensis / Bluebeard	#2	
	Ericameria nauseosa / Rubber Rabbitbrush	#2	
DWARF CONIFERS			
	Juniperus chinensis 'Torulosa' / Hollywood Juniper	#3	
	Juniperus sabina / Savin Juniper	#2	
	Pinus mugo 'Pumilio' / Mugo Pine	#2	
GRASSES			
	Chasmanthium latifolium / Wood Oats	#1	
	Elymus mollis / American Dunegrass	#1	
PERENNIALS			
	Eryngium alpinum 'Blue Star' / Sea Holly	#1	
	Perovskia x 'Little Spire' / Russian Sage	#1	
	Sedum x 'Thunderhead' / Thunderhead Sedum	#1	
	Yucca glauca / Narrowleaf Yucca	#2	
GROUND COVERS			
	Arctostaphylos uva-ursi / Kinnikinnick	#1	300 mm
	Juniperus horizontalis 'Andorra' / Andorra Juniper	#1	600 mm
	Thymus pseudolanuginosus / Woolly Thyme	#1	300 mm

SCHEDULE C

This forms part of application # DP24-0110

Planner Initials JI



REV.	BY	DESCRIPTION	DATE
3			
2	IM	Issued for DP Resubmission	2024-12-03
1	IM	Issued for Development Permit	2024-06-05

REV.	BY	DESCRIPTION	DATE
REVISIONS TABLE FOR SHEET			

Project:
Glenmore Ridge

Location:
301 Drysdale Boulevard,
Kelowna, B.C.

Drawn:
IM

Checked:
AM

Approved:
AM

Original Sheet Size:
24"x36"

Scale:
N.T.S

FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Chapter 2 - The Design Foundations: apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines: provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplemented by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

Chapter 2 - Design Foundations

Apply To All Projects

Page 18-8

Section 2.1 - General Residential and Mixed Use Design Guidelines

Page 18-9

Section 2.2 - Achieving High Performance

Page 18-17

Chapter 3
Townhouses & Infill

Page 18-19

Chapter 4
Low & Mid-Rise
Residential &
Mixed Use

Page 18-34

Chapter 5
High-Rise
Residential &
Mixed Use

Page 18-42

*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

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Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						x
b. On corner sites, orient building facades and entries to both fronting streets.						x
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.					x	
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						x
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.					x	
f. Avoid blank, windowless walls along streets or other public open spaces.						x
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	x					
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. <ul style="list-style-type: none"> Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets); The street wall does not include upper storeys that are setback from the primary frontage; and A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys. 						x
2.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.					x	
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.						x
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice. 						x

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2.1.3 Site Planning	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						x
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						x
c. Limit the maximum grades on development sites to 30% (3:1)						x
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; Incorporating terracing to create usable open spaces around the building Using the slope for under-building parking and to screen service and utility areas; Design buildings to access key views; and Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped). 	x					
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						x
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	x					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						x
2.1.4 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						x
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						x
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						x
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> Underground (where the high water table allows) Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage); 						x

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<ul style="list-style-type: none"> Garages or at-grade parking integrated into the building (located at the rear of the building); and Surface parking at the rear, with access from the lane or secondary street wherever possible. 						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.						x
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> Landscaping; Trellises; Grillwork with climbing vines; or Other attractive screening with some visual permeability. 	x					
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> Covered short-term parking in highly visible locations, such as near primary building entrances; and Secure long-term parking within the building or vehicular parking area. 					x	
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						x
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.						x
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.						x
2.1.5 Streetscapes, Landscapes, and Public Realm Design	N/A	1	2	3	4	5
a. Site buildings to protect mature trees, significant vegetation, and ecological features.	x					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						x
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						x
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						x
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> Locating outdoor spaces where they will receive ample sunlight throughout the year; Using materials and colors that minimize heat absorption; Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and Using building mass, trees and planting to buffer wind. 						x
f. Use landscaping materials that soften development and enhance the public realm.					x	

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g. Plant native and/or drought tolerant trees and plants suitable for the local climate.							X
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.							X
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.							X
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> • Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and • Using recycled water irrigation systems. 	X						
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	X						
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.	X						
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> • Minimizing light trespass onto adjacent properties; • Using full cut-off lighting fixtures to minimize light pollution; and • Maintaining lighting levels necessary for safety and visibility. 							X
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.	X						
2.1.6 Building Articulation, Features and Materials	N/A	1	2	3	4	5	
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> • Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; • Repeating window patterns on each step-back and extension interval; • Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval. 							X
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs. <p>Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters;</p>							X

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ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.					x	
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						x
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.					x	
f. Provide weather protection such as awnings and canopies at primary building entries.					x	
g. Place weather protection to reflect the building's architecture.					x	
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						x
i. Provide visible signage identifying building addresses at all entrances.						x

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
4.1 Low & mid-rise residential & mixed use guidelines						
4.1.1 Relationship to the Street	N/A	1	2	3	4	5
i. Ensure lobbies and main building entries are clearly visible from the fronting street.						x
j. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> Locating enclosed parking garages away from street frontages or public open spaces; Using ground-oriented units or glazing to avoid creating dead frontages; and When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting. 						x
4.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.						x
b. Residential buildings should have a maximum width of 24 m.						x
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.	x					
d. For commercial facades, incorporate a significant break at intervals of approximately 35 m.	x					
4.1.3 Site Planning	N/A	1	2	3	4	5
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.	x					

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b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> • Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and • Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access. 						
c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.	x					
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	x					
4.1.4 Site Servicing, Access and Parking	N/A	1	2	3	4	5
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimised; and • There is no more than one curb cut per property. 						x
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.	x					
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: <ul style="list-style-type: none"> • Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and • Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized. 						x
4.1.6 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: <ul style="list-style-type: none"> • Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade; • Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade; • Providing a porch, patio, deck, or covered entry for each interval; 						x

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<ul style="list-style-type: none"> • Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; • Changing the materials with the change in building plane; and • Provide a lighting fixture, trellis, tree or other landscape feature within each interval. 						
b. Break up the building mass by incorporating elements that define a building's base, middle and top.						x
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.						x
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.					x	
e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.						x
f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations: <ul style="list-style-type: none"> • Primary building entrances; • Adjacent to bus zones and street corners where people wait for traffic lights; • Over store fronts and display windows; and • Any other areas where significant waiting or browsing by people occurs. 					x	
g. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						x
h. Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.						x
i. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.					x	
j. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.						x
k. Avoid the following types of signage: <ul style="list-style-type: none"> • Internally lit plastic box signs; • Pylon (stand alone) signs; and 						x

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• Rooftop signs.						
l. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.						x

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SIEGRIST

GLENMORE RESIDENCES
325 Drysdale Boulevard, Kelowna, BC

011
240605
LETTER DESIGN RATIONALE

We have reviewed the City of Kelowna's development goals and provided this project's design rationale.

HOW THE PROJECT RESPONDS TO THE NEIGHBORHOOD PLAN

copied from the current OCP:

Policy 5.1.6 Glenmore Village Centre – support development in the Glenmore area to serve citizens in the neighbourhood in North Kelowna, such as Glenmore, Wicken, and McKinley. Development in the Glenmore Village Centre should share the following characteristics:

- commercial uses located east of Glenmore Road – not applicable
- permit buildings up to 6 storeys
- orientation of buildings along Brandt's Creek towards the creek and trail system – not applicable

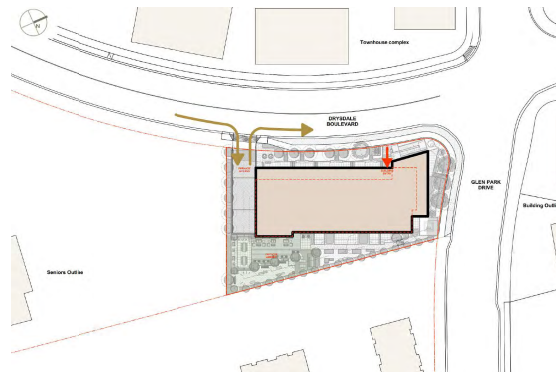


OCP plan for Glenmore Village Centre

This project provides a mix of rental housing types to develop residential areas close to transit and public amenities as a walkable community of commercial and residential uses in the Glenmore area of Kelowna. This newly created residential area has a mix of housing types, including townhomes, apartments, and mixed-use buildings, with adjacent single-family homes. The project has been designed to appear unique and meet measurable sustainability targets.

URBAN CONTEXT / NEIGHBOURHOOD RESPONSE

This project is bordered by residential multifamily dwellings of varying forms. The building is situated on the site to respond directly to the street. The remaining rear areas create a rear landscape amenity in a quieter location overlooked by adjacent residential developments. The parking and garbage use entry was located adjacent to the existing parking lot to the south, as it is away from traffic on the corner to provide safe vehicle and loading activity adjacent to the existing at-grade surface parking for the southern senior's development. Locating the access at this location provides minimal noise interruptions for loading and garbage collection to the neighbourhood. The building's location does not impede or create any view blockages / view corridors or make any negative overlook conditions.

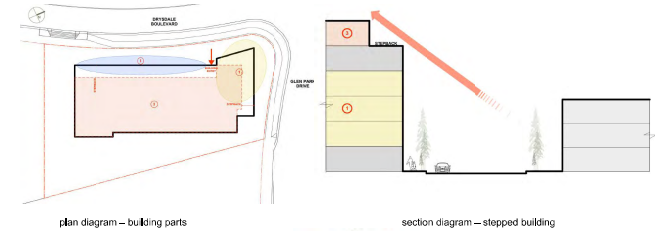


BUILDING FORM

The building is raised on a flat site to respond to the local groundwater heights but maintains building code compliance for the first-level entries. Raising the building slightly creates a semi-private environment, with the patios having good views and not located directly on the street, where they would be subject to noise from the road. This level form with trebeated entries and individual landscape walkway connections creates a smaller scale. The building has also been stepped back on the street side on the top floor to reduce the scale further. The shape of the building being differentiated as an angle at the northwest corner also reduces the dominance of the façade. It provides a sense of change as the project responds to a different building form seen further northward. The upper floors will offer significant views in all directions.

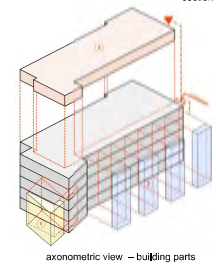
The building is broken down into three parts:

- 1 – the corner element
- 2 – the public side that celebrates being on the street that is not too repetitive has a reduced scale and a stepped building and appears more intimate and street-scaled
- 3 – an upper floor that is recessed substitute does not appear dominant, facing the street

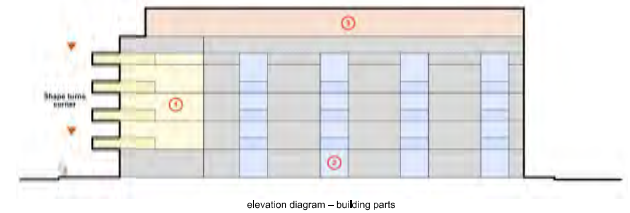


plan diagram – building parts

section diagram – stepped building



axonometric view – building parts



elevation diagram – building parts

SIEGRIST

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Design Rationale
011
December 23, 2024
Issue 05 – DP Resubmission

A-0.301

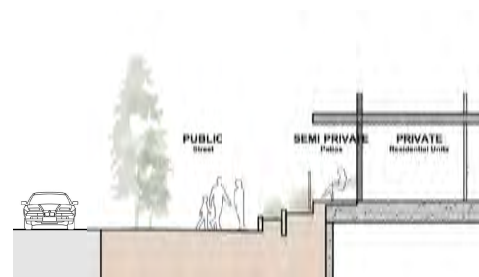
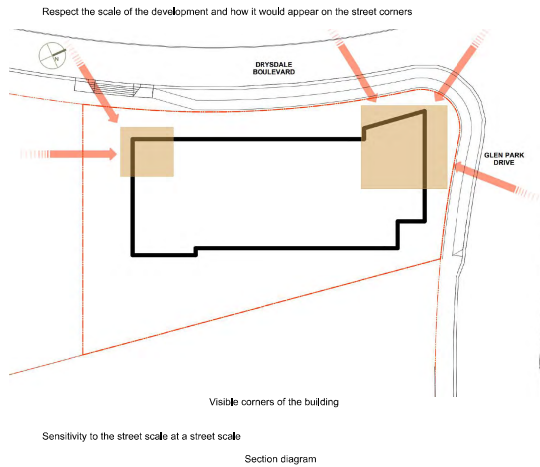
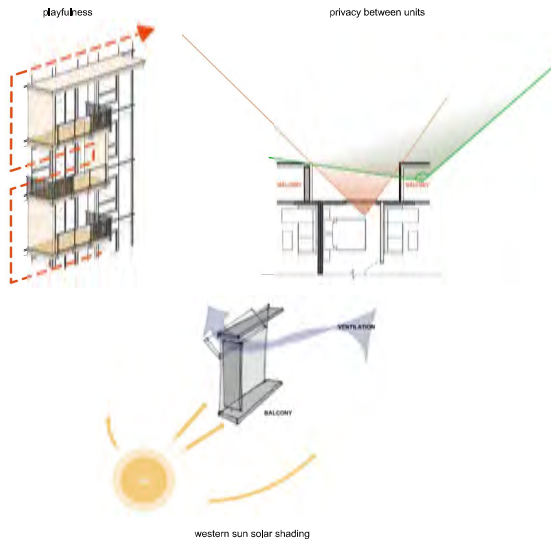
DESIGN ELEMENTS FEATURES

This stepping back helps to reduce the apparent massing from the pedestrian perspective. Feature roof elements at the southeast corner and wall cladding with wood-textured lap siding panels add interest to this elevation along the main driveway entrance. The residential façade incorporates a palette of warm-toned stone and off-white and grey fiber-cement lap siding. Warm-toned stone is used at the building base as a continuous datum line accentuating the pedestrian level. Highly visible from the pedestrian level, soffits will also incorporate warm, light-coloured wood tones.

The use of overhangs provides sun shading and, at the same time, acts as a building feature responding to the heat generated from both the south and western solar exposures.

Various landscape elements, such as seating areas, wooden benches, and planting, have been carefully placed to act as added in the amenity areas to promote outdoor use.

Several design elements have been designed and arranged for this project to respond and be visually interesting yet practical.



Smaller building forms

Metal picket guardrails mixed with glazing



MATERIALS AND COLOUR

The materials and colours chosen are all residential to complement housing and are selected to appear friendly. This is characterized by the stained wood soffits and horizontal lapped siding. The materials longevity and maintenance were also considered when they were selected. We used a flatter panel to emphasize the building form and its parts, which suits the appearance of the building. The use of brick creates a solid appearance, anchors the building at the street-level entrances, and solidifies and frames the northwest as a feature to give prominence to the corner. The placement of windows and their surrounding enclosures (balconies) are done to unify the building and let light in where it is deserved, but oriented to be mindful of avoiding overheating. The colours chosen are common to the neighbourhood and used in the BC interior but are selected to be unique. They add another colour palette that is slightly different but not overpowering, adding diversity to this residential neighbourhood.

SUSTAINABILITY

Several measures were undertaken in the design, including:

- Passive shading
- Urban recycling and
- Promoting the growth of landscape trees at the street boulevards
- Energy wall performance to ratings to reduce thermal bridging
- EV charging vehicle locations
- Bike storage

ADAPTABILITY

The development provides different housing types and sizes for a diverse population to meet affordable market housing. The unit variety will allow:

- Flexibility in the unit layouts to allow for remote working, having spaces within the units for desks
- Different unit types to accommodate families at different stages of aging
- The ability to utilize indoor and outdoor amenity space



City of
Kelowna

DP24-0110
305 Drysdale Blvd

Development Permit

Purpose

- ▶ To issue a Development Permit for the form and character of rental apartment housing.

Development Process



Jun 7, 2024

Development Application Submitted



Staff Review & Circulation



Jan 20, 2025

DP Consideration

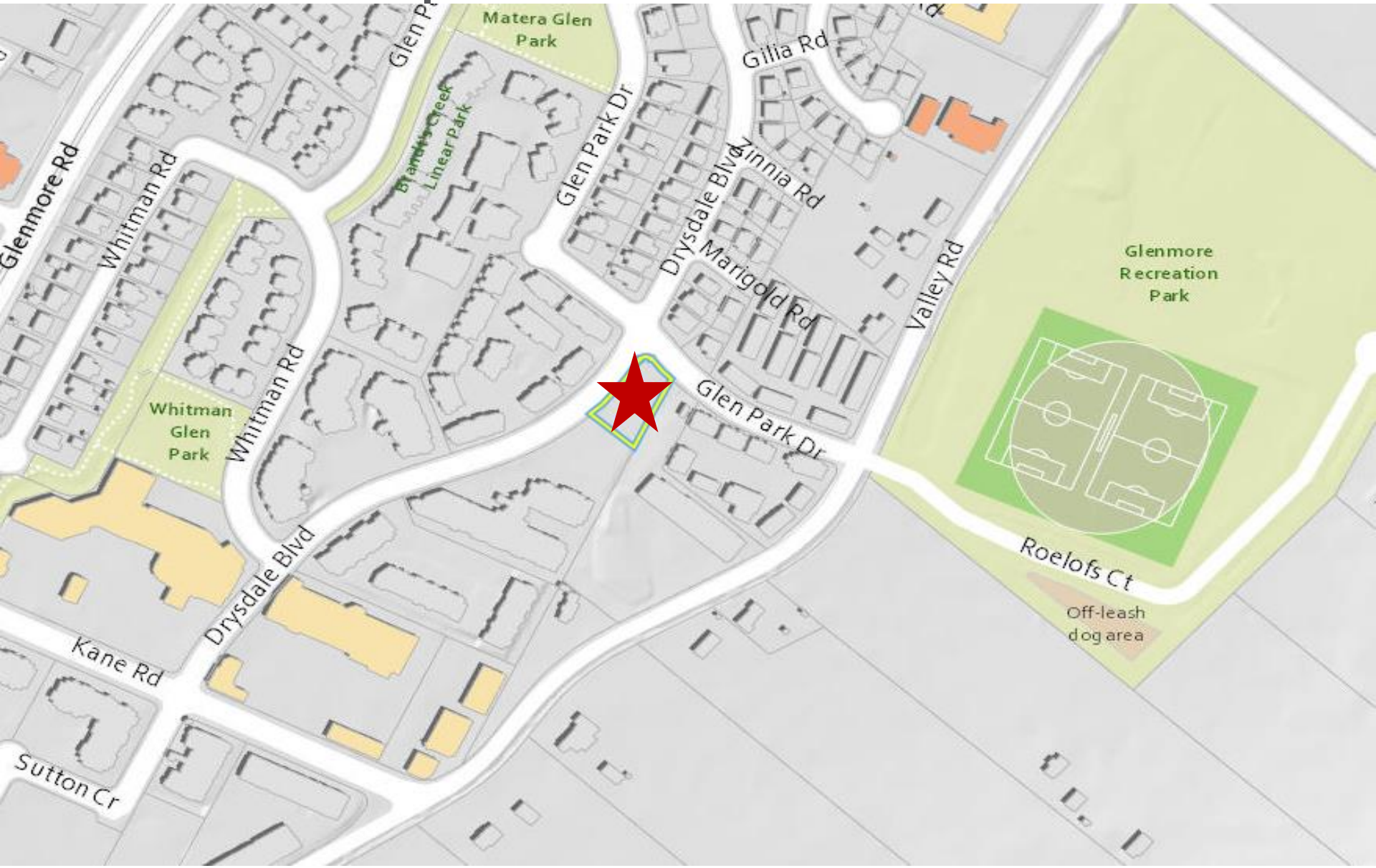


Council Approvals

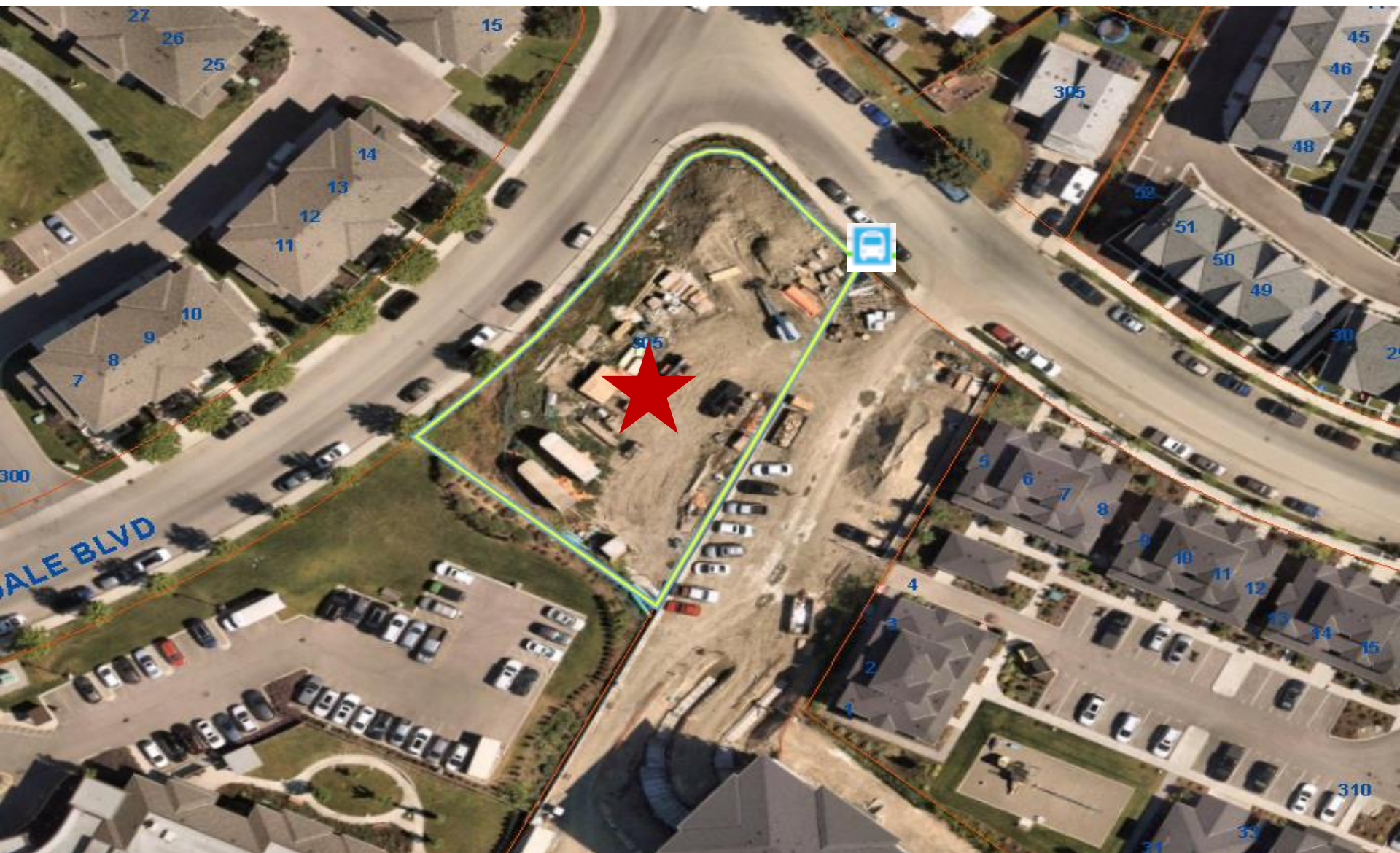


Building Permit

Context Map



Subject Property Map



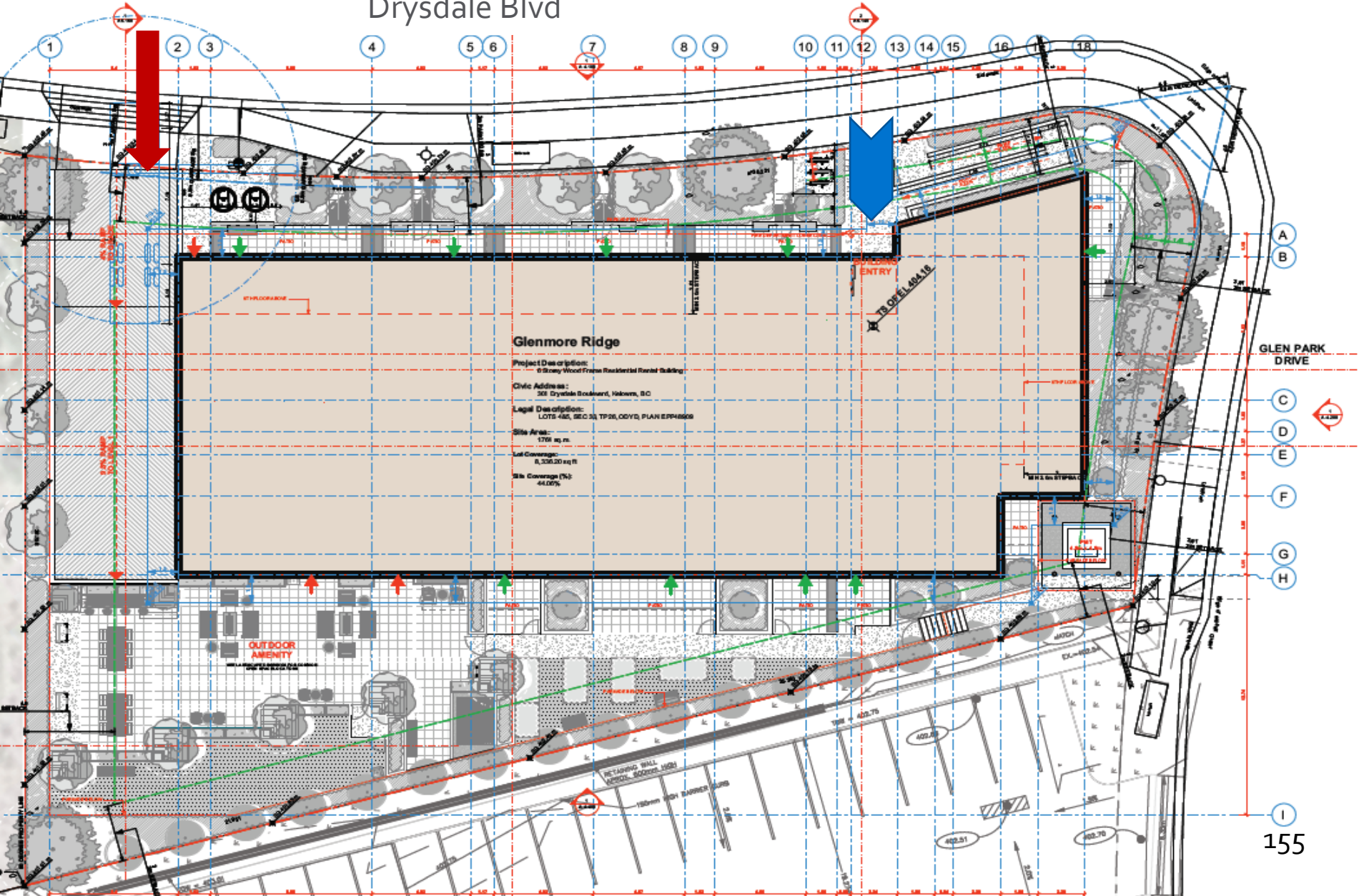
Technical Details

- ▶ VC1r – Village Centre Rental Only
 - ▶ 66 units
 - ▶ 10 Studio
 - ▶ 27 One-Bedroom
 - ▶ 23 Two-Bedroom
 - ▶ 1 Three-Bedroom
 - ▶ 6 storeys in height
 - ▶ 65 Parking Stalls
 - ▶ 96 Bicycle Parking Stalls
 - ▶ 6 Large Trees

Site Plan

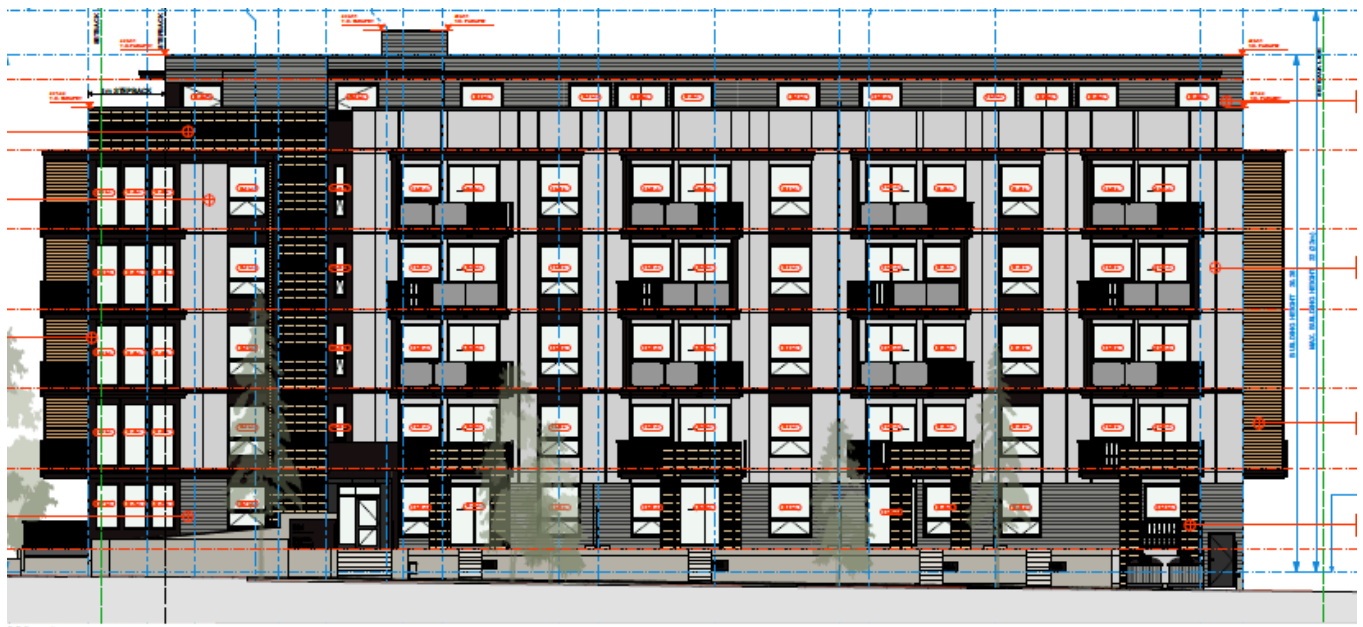


Drysdale Blvd

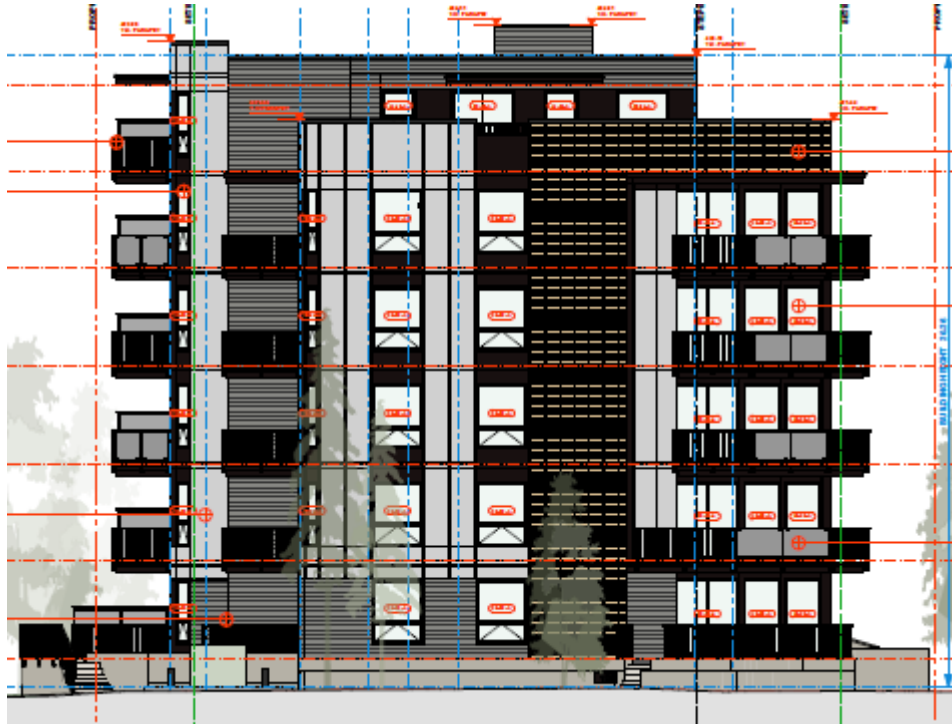


Glenmore Ridge
Project Description:
6 Storey Wood Frame Residential Rental Building
Civic Address:
300 Drysdale Boulevard, Vancouver, BC
Legal Description:
LOTS 485, SEC 33, T256, QCYQ, PLAN 6188585
Site Area:
1706 sq.m.
Lot Coverage:
8,326.20 sq.ft.
Site Coverage (%):
48.00%

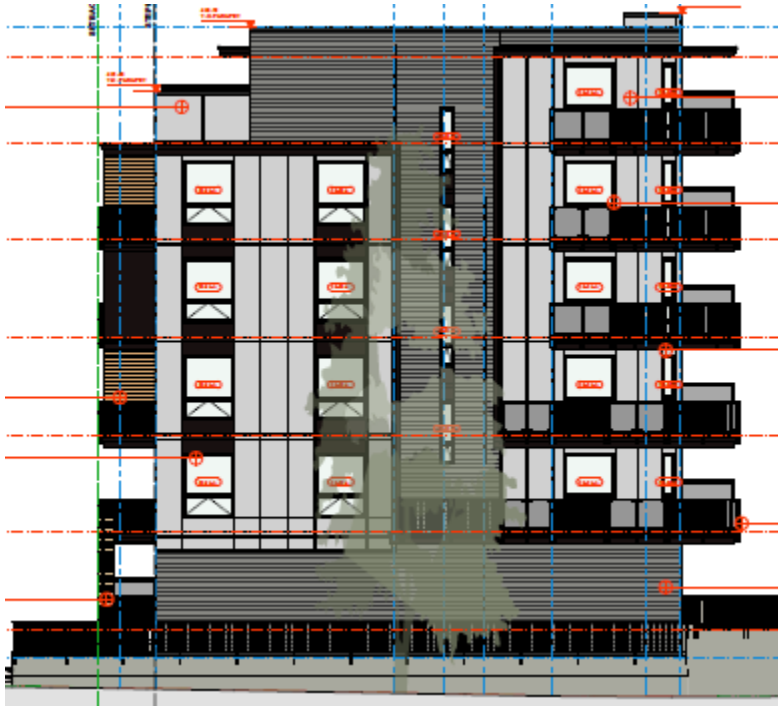
Elevation – West



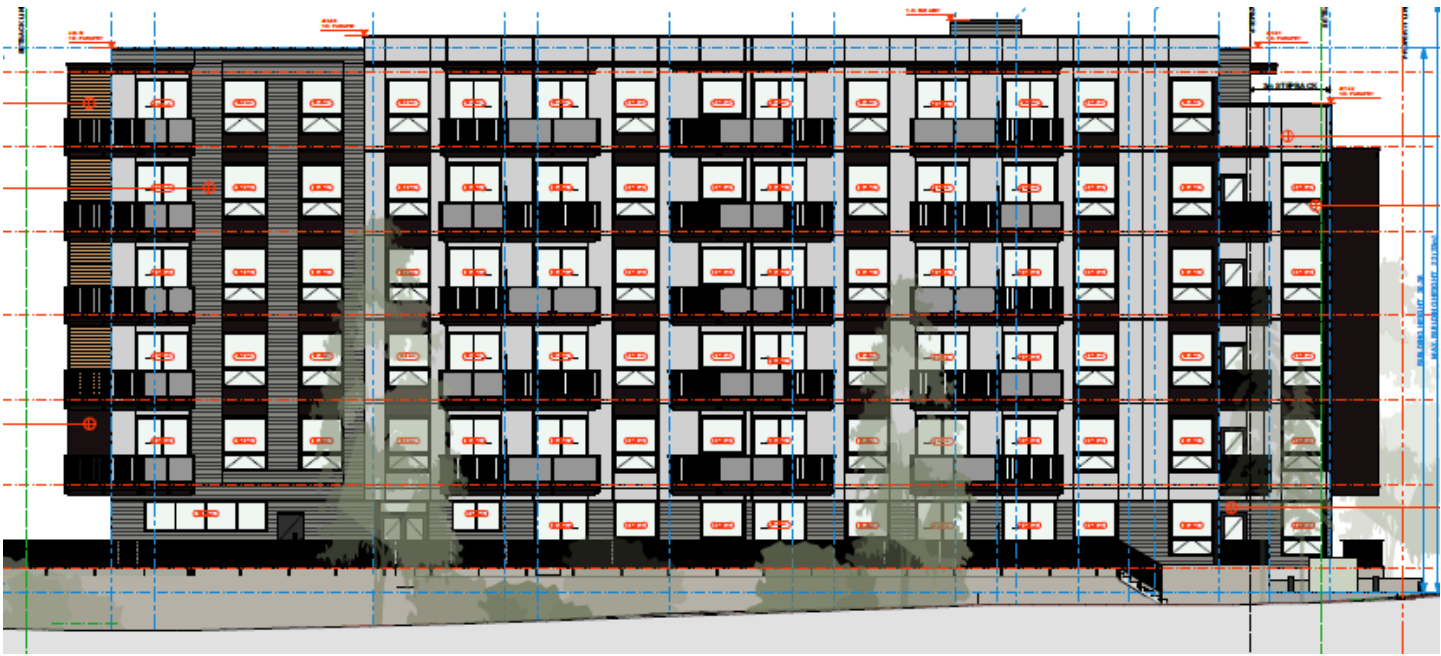
Elevation – North



Elevation – South



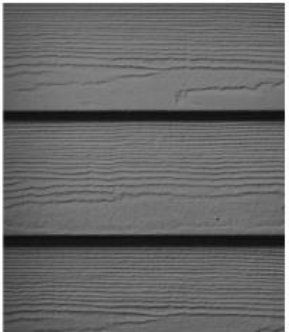
Elevation – East



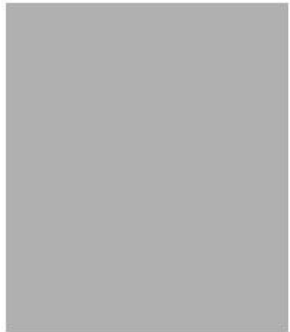
Materials Board



1.1-A JamesHardie™ Hardie® Lap Siding Select Cedamill®



1.1-B JamesHardie™ HardiePanel® Vertical Siding - Smooth



1.2-A JamesHardie™ HardiePanel® Vertical Siding

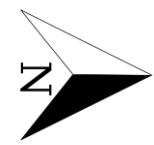


1.2-B JamesHardie™ Painted - Benjamin Moore Twilight Zone



1.3-A Ceraclad Yellow FH7142A

Landscape Plan



PLANTING SCHEDULE - TREES

SYMBOL	BOTANICAL / COMMON NAME	NOS.	DESCRIPTION
	Norway Maple <i>Acer Platanoides</i>	6	Large Tree
	Skyline Honey Locust <i>Gleditsia triacanthos var. inermis 'Skycole'</i>	13	Medium Tree
	Eastern redbud <i>Cercis canadensis</i>	10	Small Tree
	Swedish columnar poplar <i>Populus tremula 'erecta'</i>	17	Columnar Tree

Rendering – SW



Rendering – NW



OCP Design Guidelines

- ▶ On corner sites, orient building facades and entries to both fronting streets;
- ▶ Locate off-street parking and other 'back-of-house' uses away from public view;
- ▶ Use landscaping materials that soften development and enhance the public realm.

Staff Recommendation

- ▶ Staff recommend **support** for the proposed development permit as it:
 - ▶ Meets majority of OCP Design Guidelines
 - ▶ No variances

Report to Council



Date: January 20, 2025
To: Council
From: City Manager
Subject: Update on the Short-Term Rental Accommodation Program & Provincial Alignment
Department: Development Planning Department

Recommendation:

THAT Council receives the report from the Development Planning Department, dated January 20, 2025, regarding Short-Term Rental accommodation;

AND THAT Council directs staff to bring forward draft bylaws to align local regulations with provincial standards.

Purpose:

To review the available data regarding local Short-Term Rentals, and to direct Staff to align local regulations with provincial short-term rental legislation.

Council Priority Alignment:

Affordable Housing
Economic Development

Development Planning:

In early 2024, the City of Kelowna adopted short-term rental (STR) regulations that were more restrictive than the province’s Bill 35 STR legislation. Part of the underlying rationale for the City’s current STR restrictions was the protection of long-term rentals, the challenges and lack of resources to enforce complex STR regulations, and the demands on the Bylaw Services Department.

Short-term rentals regulations have drawn strong criticism from local businesses and the development community as a core reason for a decline in the local economy. In response, Staff have reviewed and summarized the available data on STRs as it relates to housing and tourism. The data indicates that fluctuations in the local economy are the result of several factors and cannot be directly attributed to City of Kelowna STR bylaws. New information released over the course of 2024 indicates several

reasons for the City to align our STR regulations with the province. This includes eligibility for a federal STR grant that would support enforcement efforts, and consistency with the province's new Compliance and Enforcement Unit. Easing the secondary use restrictions on STRs in Kelowna would remove some of the perceived negative impact of these restrictions on the local economy. Additionally, this revision should reduce confusion about STRs in Kelowna in relation to other surrounding municipalities and support a more positive narrative regarding tourism and accommodation choice in Kelowna. With Kelowna's vacancy rates trending upward and ample new purpose-built rental supply in-stream, Staff recommend alignment of our local regulations with the province.

Background:

Short-term rental accommodations are defined as full or partial units made available for rent through online platforms in short-term intervals, typically between 1 and 90 days. STRs blend the traditional definitions of housing and tourist accommodation. Their rapid rise over the course of the last decade from a small segment of the economy to one almost equal in scale to the local hotel industry has had impacts – both positive and negative – on the housing and tourism markets. However, following COVID, housing and tourism have been in a period of intense pressure and market fluctuation. The impacts of local and provincial STR regulations have been the subject of many public discussions in Kelowna over the course of 2024. Anecdotal evidence has been frequently shared in local news and on social media attempting to highlight different perspectives on the impacts of the City of Kelowna's new restrictions.

As the STR restrictions are very recent, we may not see their full impact reflected in data for some time. Accurate and reliable data for the City of Kelowna, as opposed to the Central Okanagan or region, is in short supply when it comes to providing detailed local analysis of STR impacts. Within that complex context, it is challenging to define the role and impacts of STRs, given the multifactorial nature of housing and tourism. Nevertheless, this report will provide an overview of available data about the potential impacts of STR regulations.

Current City of Kelowna STR Regulations

On January 22, 2024, Council approved regulations that had the effect of eliminating new secondary use STRs in Kelowna. Only existing secondary use short-term rentals with a valid business license could continue to operate after May 1, 2024. The aim of these regulations is to balance the interest in having short-term rentals in our community with measures that protect long-term rentals and limit impacts on neighboring properties and uses.

Prior to Council's decision, STR listings in Kelowna had significantly increased. In 2023, there were 1,217 licensed short-term rentals, a 93% rise since 2020 (see Table 1). Additionally, an estimated 1,200 illegal STRs operated between 2023 and 2024. In July 2024, Minister Ravi Kahlon shared that the province was aware of approximately 2,200 STR listings, surpassing licenses issued. Listings do not represent STR units, as one unit may be listed on multiple platforms. The City of Kelowna does not have the resources

available to manage the volume of unlicensed operators and neighbourhood complaints generated by both licensed and unlicensed STRs.

Year	Approved STR as a Principal Use	Approved STR as a Secondary Use	Total Approved STR
2020	378	252	630
2021	477	333	810
2022	666	466	1,132
2023	701	516	1,217
2024	0 - Eliminated by provincial <i>STR Accommodation Act</i>	427	427

Table 1 - Number of approved short-term rental (STR) business licenses per year since 2020

As of December 2024, there were 427 licensed STR properties authorized to continue operations under legal non-conforming use rights. Over time, the number of these licenses is expected to decrease as some operators choose to cease operations and lose non-conforming rights, and no new applications for secondary use short-term rentals would be accepted.

Provincial STR Regulations

On May 1, 2024, new Provincial legislation under *Bill 35 – Short-Term Rental Accommodations Act* came into effect. Under the Act, to have a Short-Term Rental, there are several requirements and regulations that need to be met. At the time of the new legislation, the provincial rules for larger communities over 10,000 people with a vacancy rate under 3%, and are as follows:

1. **Licensing and Registration:**

- Property owners must obtain a business license from the municipality where the STR is located
- The property must be registered with the province once registration is open (early 2025)

2. **Principal Residence Requirement:**

- The STR must be within your primary or principal residence - this means the property should be the usual dwelling unit where you live, make your home, and conduct your daily affairs
- Plus, one secondary suite or one accessory dwelling on the same property (not to exceed two short-term rentals per property)

Under Bill 35, larger communities (population of 10,000 people or more) with a principal residence requirement, and have a vacancy rate above 3% for two consecutive years can request to opt out of the principal residence requirement. This is likely to be an option available to the City of Kelowna in 2026, based on the trajectory of Kelowna's rental vacancy rate.

The province has launched the Compliance and Enforcement Unit (CEU), which is part of the Ministry of Housing's Short-Term Rental Branch in B.C. that enforces the province's short-term rules. The CEU's responsibilities include tracking compliance, issuing compliance orders, administering penalties for violations, and investigating hosts or platforms that may not be following the provincial rules.

Discussion:

From 2017 to 2023, staff engaged with the community and stakeholders to address enforcement challenges, neighbourhood concerns, and protect long-term rentals. Consequently, Kelowna's regulations are more restrictive than those in Bill 35.

Aligning Kelowna's STR regulations with the province should support enforcement efforts in the coming year. In addition to provincial enforcement, the City is applying for a federal grant. If awarded, the fully funded grant would allow for the creation of a new enforcement team for up to three years. Aligning our municipal regulations with provincial standards would strengthen our grant application. The application is due January 24th 2025 and approval would align with our peak tourism season.

Short-Term Rental Listings & Reservations

The number of short-term rental properties in Kelowna and the Central Okanagan decreased by 32.5%, in Quarter 3 (July to September) 2024 compared with the same period in 2023, from 4,079 to 2,752. Another source estimated a high of 4,300 listings in July 2023, and approximately 2,910 listings as a peak in the summer of 2024. Despite local and provincial restrictions coming into force, there remained a sufficient supply of STRs to meet tourism demand in the summer of 2024, however, demand appears to have been down.

The total number of reservations from July to September in Kelowna and the Central Okanagan decreased an estimated 27.3% or by 13,200 reservations from 2023 to 2024. In addition to the provincial legislation changes and the City of Kelowna's STR restrictions, factors related to inflation, economic conditions, and extreme weather events may have contributed further to the decrease in reservations.

Tourism

Tourism Kelowna has compiled available research data from multiple sources to produce their initial 2024 key indicators.

The volume of passengers through Kelowna International Airport (YLW) continues to increase, surpassing passenger numbers in 2023 with over 2 million passengers in 2024. In June 2024, airline strikes resulted in more than 400 flight cancellations, which carried over into July.

Hotels saw slight improvements from July to September 2024, with occupancy up 2.2%, average daily rates rising 4.4%, and RevPAR (revenue per available room) showing minor gains. Despite these

increases, demand did not rise significantly compared to previous years. Visitor spending decreased overall by 1.7%, with a notable 14% drop in July due to a two-week heat warning. The January cold snap also negatively affected visitor spending with freezing temperatures limiting outdoor recreation and damaging Okanagan orchards and vineyards.

Kelowna's STR regulations have faced criticism from local businesses and developers. Wineries, restaurants, tour operators, construction firms, plumbing services, and home furnishing stores have claimed that a shortage of short-term rentals has hurt their summer business. Intense wildfire seasons have also impacted western Canada's tourism, with visitors avoiding peak summer due to wildfires, smoky skies, flight cancellations, and road closures. Health and safety concerns, financial risks, and inconvenience are reducing travel confidence.

Housing

One of the primary motivations behind the introduction of STR regulations locally and provincially was to address the impacts that STRs were having on local housing affordability. Following the introduction of STR restrictions, there are some potential positive indications for their impact on the housing market.

Overall, early indications suggest that affordability in the local housing market appears to be improving. Rents, which have been increasing consistently in recent years, have levelled out or are decreasing. Much like tourism, the causes of this respite could be a result of macro-economic conditions or from an increase in the supply of new rental housing coming to market.

Canada Mortgage and Housing Corporation reported in December 2024 that Kelowna's vacancy rate went from 1.3 % in 2023 up to 3.8 % in 2024. This is a level not seen in 20 years. In 2017, the vacancy rate was 0.2 per cent, and 0.6 in 2021. In 2024, the City of Kelowna has steadily been approving rezoning and development permits for rental-only buildings, so the actual increase in vacancy will be seen potentially in late 2025 and in 2026. The Bank of Canada reduced the policy rate by 50 basis points at the end of October and again in December. This is leading to more optimism in the building sector and housing market for 2025.

Statistics Canada released a study in July 2024 to assess the widespread notion that STRs limit the availability of long-term housing. Empirical analysis of their impacts produced mixed results across Canada. According to 2021 census data, of an estimated 4,596 short-term rentals in Kelowna, 1,376 could be potentially used as long-term dwellings, representing only 1.44% of total housing units available. The analysis focused on the subset of STRs, referred to as potential long-term dwellings (PLTD), to capture STR units that are not serving as anyone's primary residence, but could function as long-term housing as owner-occupied or rental units. This subset includes entire units listed for more than 180 days a year, excluding vacation-type properties. Some properties are rented as STRs but would not be available for long-term housing. Examples include vacation homes, seasonal cottages, boats, and others not suited for permanent residence. Other STR units serve primarily as long-term housing but temporarily become STRs, like student housing in the summer or snowbirds' homes in the

winter. In these cases, STRs do not reduce the supply of long-term housing but add unique rental opportunities.

On the ownership market, STR regulations could have contributed to an increase in condominium listings, in concert with market conditions. In Kelowna, listings were up across the board by 40.3-48.9% over the same time last year. Condo listings increased by the largest percentage. While the number of 2024 condominium listings increased in Kelowna, the actual number of listings that sold in 2024 were significantly lower than 2021 and 2022 sales, and generally less than half the 10-year average of listing that sold. This means that the market shifted from being good for sellers to being good for buyers, yet the purchase transactions did not follow. Increased supply and choice for housing consumers has meant that prices have begun to decline in the ownership market. Benchmark prices for all housing types were down by between 4.4 per cent and 7.8 per cent compared to the same time last year.

Summary

The data does not provide clear results. Both tourism and housing markets are complex, with STR regulations being only one factor. It is unclear if these restrictions improved housing affordability or impacted tourism. The rise in rental vacancy rates stems from more purpose-built rentals in larger developments, not an increase in secondary suites converting from STRs to long-term rentals. Economic factors and extreme weather have affected tourism in western Canada, creating uncertainty. While STR restrictions may have played a role, we cannot confirm this. Increased resources and support for STR bylaw enforcement from provincial and federal governments present an opportunity for the City to leverage.

Internal Circulation:

Development Services & Business Licensing
Policy Planning

Submitted by: Nola Kilmartin, Development Planning Department Manager

Approved for inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

cc:

J. Moore, Housing Policy and Programs Manager
G. March, Licensing and Systems Improvement Supervisor



City of
Kelowna

Short-Term Rental Update

January, 20 2025

Purpose

- ▶ To review the available data regarding Short-term Rentals, and to direct Staff to align local regulations with provincial short-term rental legislation.

Background

City of Kelowna

- ▶ Jan 22, 2024: New restrictions eliminated new secondary use STRs in Kelowna
 - ▶ Existing secondary use STRs with a valid business license could continue to operate after May 1, 2024
 - ▶ New applications would not be accepted, so operators would continue to decline
 - ▶ STR enforcement challenges
 - ▶ Housing affordability and extremely low vacancy rates

STR Units

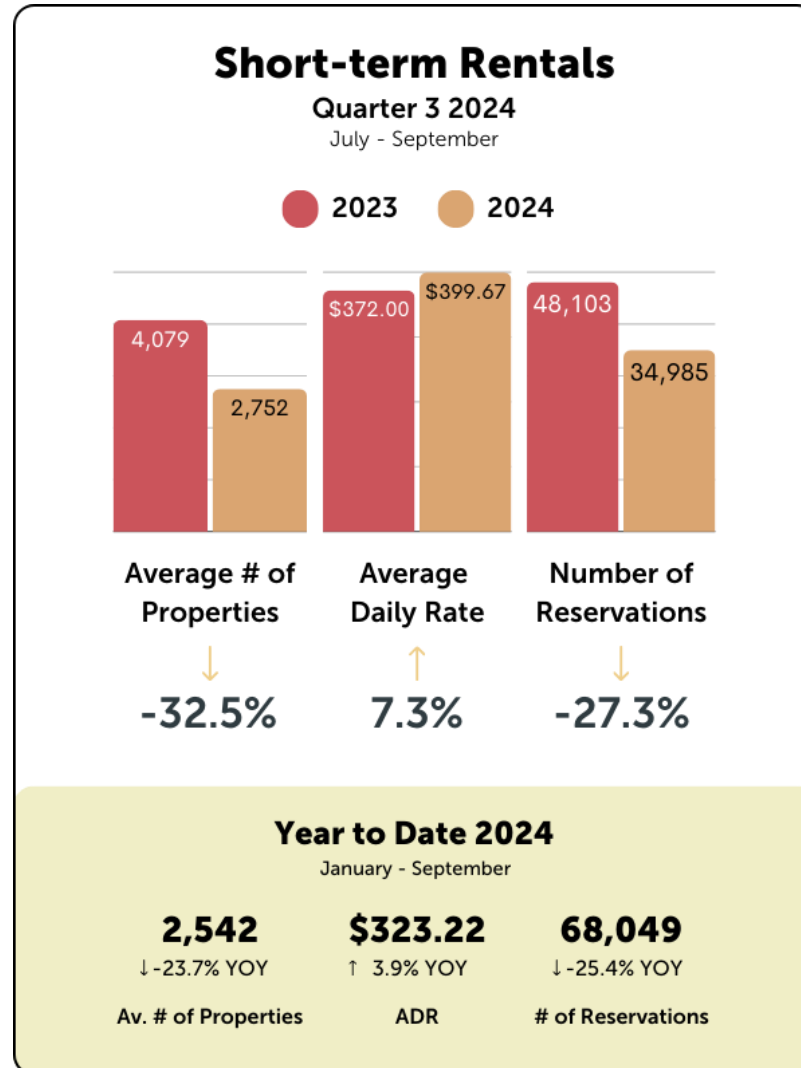
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2021	477	333	810
2022	666	466	1,132
2023	701	516	1,217
2024	0 - Eliminated by provincial STR Accommodation Act	427	427

Background

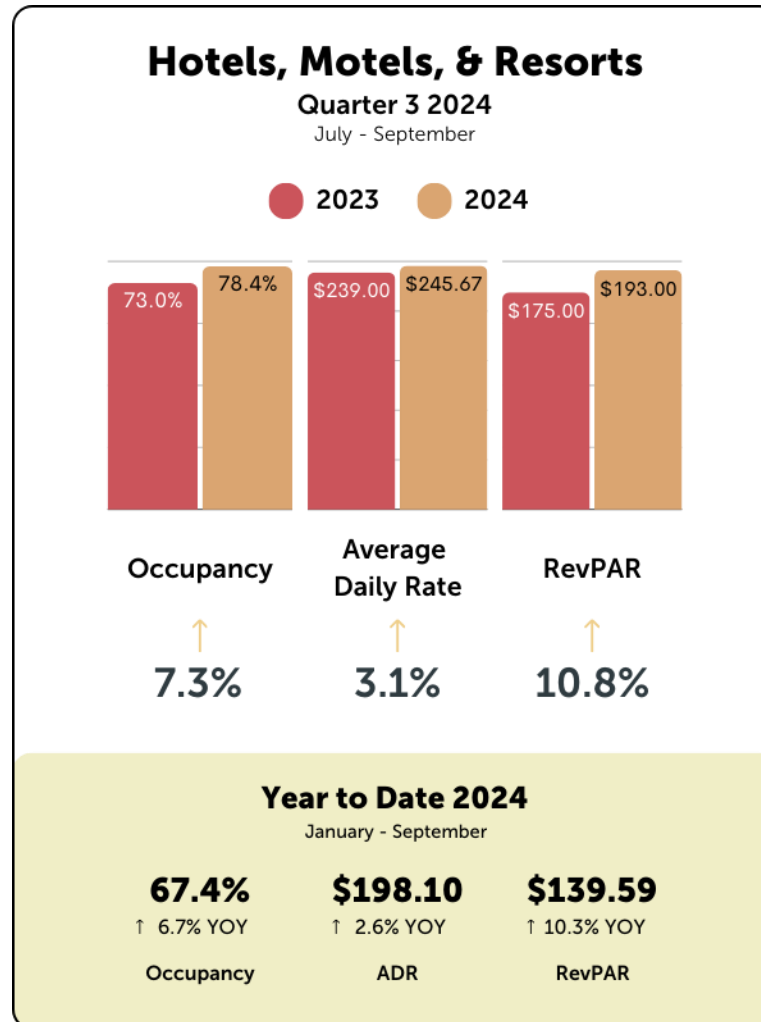
Province of B.C.

- ▶ May 1, 2024: Bill 35 – Short-Term Rental Accommodations Act came into effect
 - ▶ Licensing & Registration requirements
 - ▶ Principal Residence requirement plus secondary or accessory unit on the same property, not to exceed two STRs per property

Quarter 3: STRs



Quarter 3: Hotels



Tourism

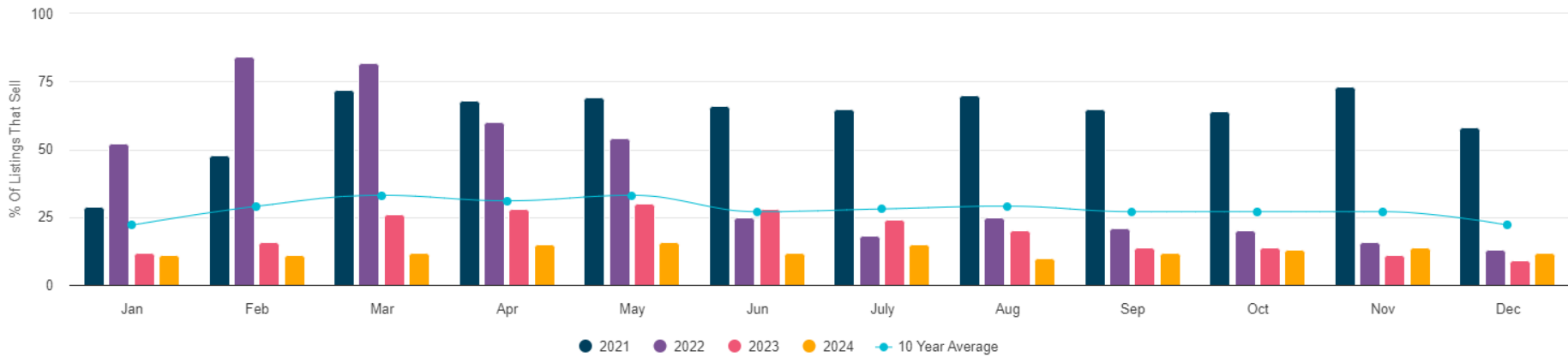
- Local wildfire risk / evacuations
- Regional wildfire smoke and impact on vineyards
- Extreme summer heat events in B.C.
- Extreme cold snap
- Interest rates & cost of travel
- Availability of accommodation
- Confusion about new restrictions
- Airline strikes and 400+ flight cancellations in June 2024 carried into July

Housing Supply and Demand

List to Sell %

condos

% of listings that sold



The Krieg Family - RE/MAX Kelowna

Appendix C: Short-term rental and potential long-term dwelling data, census metropolitan areas, 2021

Census metropolitan area	Short-term rentals	PLTDs	Housing units	PLTD ratio	Population
	Number of units	Number of units	Numbers of units	%	Number of persons
Oshawa	706	92	149,142	0.06	415,311
Victoria	4,987	1,597	178,367	0.90	397,237
Saskatoon	932	216	125,316	0.17	317,480
Regina	702	215	100,430	0.21	249,217
Sherbrooke	1,123	257	104,907	0.24	227,398
Kelowna	4,596	1,376	95,711	1.44	222,162
Barrie	1,029	258	78,798	0.33	212,856
St. John's	1,182	377	90,377	0.42	212,579
Abbotsford–Mission	429	97	67,712	0.14	195,726

Opportunities

- ▶ BC Compliance and Enforcement Unit
- ▶ Federal grant for creation of new enforcement team
- ▶ Rental vacancy trending up from 3.8%
- ▶ Housing costs trending down
- ▶ Reduce regional confusion over STRs
- ▶ Support positive narrative for tourism in Kelowna

Staff Recommendation

- ▶ Council direct Staff to bring forward draft bylaws to align local regulations with provincial standards
 - ▶ New supports and funding for enforcement
 - ▶ Increase in purpose-built rental housing
 - ▶ Low conversion of STRs to long-term rentals
 - ▶ Support local economy

Report to Council



Date: January 20, 2025
To: Council
From: City Manager
Subject: 2024 Grants Summary
Department: Partnerships Office

Recommendation:

THAT Council receives, for information, the report from the Partnerships Office, dated January 20, 2025, with respect to the 2024 Grants Summary;

Purpose:

To provide Council a summary of the 2024 Grants Management Program.

Background:

The City of Kelowna actively pursues alternative revenue through grants. The City receives funds from external providers, with the majority of grants coming from the federal and provincial governments. Grants are aligned with Council, corporate priorities, City master plans, and the 10-Year Capital Plan. This funding leverages City dollars to propel priority capital and operating projects.

Discussion:

The City is in a constant cycle of planning, securing, and managing grants. The Grant Management Policy, Grant Procedure Manual, Grants Database, and Grants Dashboard help to ensure the City has a robust and well managed Grant Management Program.

2024 Grant Summary

In 2024, the City was awarded 18 grants with a total value of \$7.4 million. Table 1 provides the 2024 Grant Summary and Appendix A includes a detailed overview of the 2024 grant activity.

Table 1: 2024 Grant Summary

Grant Status	Definition	Value of Grants
18 Grants Awarded	Refers to the grants that were approved in 2024.	\$7.4 million
45 Grant Contracts Managed	Refers to the grants that were awarded in 2024, as well as multi-year grants managed in 2024.	\$115 million

2024 Grant Highlights

In 2024, the City was awarded \$7.4 million in conditional grants. A few significant grants that were awarded in 2024 are highlighted below:

- **Clean BC Communities Fund:** The City was successfully awarded this grant from the Government of Canada to implement the H₂O Modernization Project to reduce emissions, install solar panels, and install EV chargers (\$2.5M).
- **ChildCareBC New Spaces Fund:** In 2023 and 2024, the City of Kelowna was awarded significant funding through the Province of BC's ChildCareBC New Spaces Fund to enhance childcare facilities. In 2024, the City was awarded a grant for the YLW childcare facility building extension with an additional 24 spaces bringing the centre to 110 childcare spaces overall (\$2.5M).
- **BC Active Transportation Infrastructure Fund:** The Rail Trail to Greenway Active Transportation Corridor was funded in part through the Province of BC's Active Transportation Infrastructure's Grants Program. This project extends Leckie Road ATC, enhancing safety and accessibility with new traffic signals, improved pathways, and better connectivity for pedestrians and cyclists (\$500k).
- **Fairs, Festivals & Events Fund:** The City was successfully awarded this Provincial grant to support Kelowna hosting Canadian Country Music Week in September 2025 (\$200k).
- **ACT Agreement:** City of Kelowna showcased leadership skills through the Housing Accelerator Fund by creating the HAF Dashboard and participating in the Accelerating Housing Knowledge Sharing Series. City of Kelowna staff led 2 of 4 webinar series with 250 attendees across 74 municipalities sharing knowledge and successful initiatives (\$100k).
- **Jay's Care Field of Dreams:** The City of Kelowna, in partnership with the Central Okanagan Minor Baseball Association (COMBA), received a Field of Dreams grant from the Jays Care Foundation, with equal contribution from the City. The project includes several key improvements, installation of a wood backstop with padding to enhance player safety, dugout upgrades to improve accessibility and player safety, fence padding, signage, new dugout benches, grass infield and irrigation upgrades (\$72k).

Grants In Action

There were several multi-year grants in action in 2024 that supported new infrastructure in the community, a few which are highlighted below:

Destination Development Fund

The Island Stage Rejuvenation project was funded in part by a grant in the amount of \$998k from the Destination Development Fund. The Island Stage Rejuvenation is an initiative aimed at revitalizing the aging structure of the Island Stage in Waterfront Park. The project is designed to create more opportunities for events and expand the park area for public enjoyment when events are not taking place. The scope of the project includes upgrading electrical services and installing a new low-maintenance event stage and canopy. The project also involves the demolition of existing stage features, utility upgrades, backfilling the human-made moat to increase stage accessibility and audience capacity, and various upgrades for the stage. The project is scheduled for completion in Spring 2025.

Disaster Mitigation and Adaptation Fund

The Mill Creek Flood Protection project continues to be a significant initiative aimed at enhancing flood protection and improving environmental conditions along Mill Creek in Kelowna. The project's ultimate goal is to safely convey a one-in-200-year flood event through the City. The work includes a number of sub-projects that each provide flood protection on City-owned areas and the industrial corridor. Each

sub-project incorporates a balanced approach that considers localized goals, flood protection needs, water quality improvements, and enhancing fish spawning habitat. Funding for the Mill Creek Flood Protection project comes from multiple sources including a grant from the Disaster Mitigation and Adaptation Fund for \$22 million.

Rick Hansen Foundation

The City received a grant from Rick Hansen for accessibility upgrades at Okanagan Heritage Museum and Parkinson Activity Centre that focused on creating an inclusive environment by breaking down physical barriers to accessibility for people with disabilities affecting their mobility, vision, or hearing. The improvements included the planning and design of the entrance, installation of automatic door openers, handrails, outdoor grips and other accessibility upgrades for a total of \$82k. Rick Hansen Foundation is supported by the Province of BC.

Direct Funding Allocations

In addition to the above grants, the City was also awarded the following funding through direct annual funding allocations from senior levels of government:

- Canada Community-Building Fund: the City was awarded \$6.6 million in 2024 from the Government of Canada to provide predictable funding to local governments for investment in infrastructure and capacity-building.

In addition to the above grants, the City received direct investments from the Province of BC including:

- A new purpose-built complex care facility.
- The HEART and HEARTH program.

Direct funding allocations are supported by the Grants Team, however, are not included in the Grant Management Program totals as per the Grant Management Policy.

Annual Grant Summary

In 2024, the number and dollar value of grants awarded, and contracts managed has decreased in comparison to the previous year, however there are a number of grant applications pending. Table 2 outlines the annual grant summary from 2020-2024.

Table 2: Annual Grant Summary (2020-2024)

Year	Grants Awarded	Contract Managed
2020	\$1.8 million	\$36 million
2021	\$20 million	\$56 million
2022	\$27 million	\$67 million
2023	\$68 million	\$129 million
2024	\$7.4 million	\$115 million

* Note: Table 2 includes conditional grants as per the Grant Management Policy and does not include grants / funding that was directly awarded or annually allocated.

It is important to note that grants are cyclical and competitive. Therefore, there will be years where the City may receive additional funding, and other years where the City receives less grant funding. In 2024, the City was awarded less grant funding than the previous year, however staff continue to manage a significant grant portfolio which included \$115 million in grant contracts.

Conclusion:

Numerous City staff are involved in grant-related projects. These typically include longer-term projects which involve a significant administrative commitment and requires a thorough “one-team” approach to achieve success. Dedication and hard work from many staff across the City has been instrumental in securing, managing and delivering grants for the community.

As a fiscally responsible municipality, external grant funding is an essential component of the City’s alternative revenue generation to support and enhance City capital and operating projects. This funding leverages municipal resources and aids in furthering Council, corporate and community priorities. The City will continue to actively pursue grant opportunities in 2025 that align with Council priorities and the 10-Year Capital Plan.

Internal Circulation:

Partnerships & Investments
 Financial Services
 Infrastructure
 Airport
 Planning, Climate Action & Development Services
 Communications

Considerations not applicable to this report:

Financial/Budgetary Considerations:

Legal/Statutory Authority:

Legal/Statutory Procedural Requirements:

Existing Policy:

Consultation and Engagement:

Communications Comments:

Submitted by:

K. March, Grants & Special Projects Manager

Approved for inclusion: M. Kam, Partnerships Office Director

Attachments:

- Attachment A: 2024 Grant Summary



2024 Grant Summary



Grant Management

Grant applications and contract timelines vary depending on the funding provider. Therefore, the City of Kelowna is in a constant cycle of planning, securing, and managing grants.

2024 Grant Summary

Grant Status	Definition	Value of Grants
18 Grants Awarded	Refers to grants that were approved and awarded in 2024.	\$7,412,693 ¹
45 Grant Contracts Managed	Refers to the grants that were awarded in 2024, as well as multi-year grants managed in 2024.	\$115,139,155

¹Note – This total does not include direct allocations or annually allocated funding the City was awarded.

2024 Grants Awarded

Project Name: YLW ChildCare Expansion
Government: Provincial
Program: ChildCareBC New Spaces Fund
Description: The City of Kelowna is enhancing the childcare facilities at YLW to offer a total of 110 spaces, including 24 additional spots for children under 36 months. This expansion is designed to reduce waitlists and provide childcare support for families working at or near the airport, including those employed by KF Aerospace. The project budget has been increased by \$2.5M to facilitate these improvements.
Amount Awarded: \$2,536,800

Project Name: Kelowna's H2O Adventure + Fitness Centre Energy Modernization Project
Government: Federal-Provincial
Program: CleanBC Communities Fund
Description: This project aims to modernize energy usage at the Kelowna H2O Adventure + Fitness Centre, significantly reducing natural gas consumption by 14,230 GJ annually and cutting greenhouse gas emissions by 700 tonnes per year. It involves installing solar power infrastructure to generate 130,000 kWh annually and adding 10 EV chargers with a capacity for 24 vehicles. These improvements support Kelowna's clean energy initiatives while enhancing an important community facility.
Amount awarded: \$2,460,248

Project Name: Annual ICBC Road Safety Improvement Grants 2024
Government: ICBC
Program: Road Safety Improvement Program
Description: To complete small road improvement upgrades around the community.
Amount awarded: \$601,265

Project Name: Rail Trail to Greenway ATC
Government: Provincial
Program: BC Active Transportation Infrastructure Fund
Description: The project involves the construction of 600 metres of protected bike lanes on Leckie Road. This section will connect the multi-use pathway south of Highway 97 to the Okanagan Rail Trail and Mission Creek Greenway, enhancing connectivity between two of Kelowna's major off-street active transportation corridors.
Amount awarded: \$500,000

Project Name: 2024 FireSmart Program
Government: Provincial
Program: 2024 FireSmart Community Funding & Supports Grant

Description: To conduct ongoing FireSmart activities, initiatives, the annual chipping program and the homeowner rebate program. Additional funding to support impact of the 2023 wildfires will be solely allocated to the Homeowner Rebate program.

Amount awarded: **\$400,000**

Project Name: **Canadian Country Music Week**

Government: Provincial

Program: Fairs, Festivals and Events Fund

Description: Kelowna is set to host the Canadian Country Music Awards in September 2025 for the first time ever. The event will take place at Prospera Place on September 2025, and will celebrate the best in country music. This marks a significant milestone for Kelowna, as it will be the first time the city hosts this prestigious event

Amount awarded: **\$200,000**

Project Name: **City of Kelowna's Safe Mobility Action Plan**

Government: Federal

Program: Enhanced Road Safety Transfer Payment Program (ERSTPP)

Description: The City of Kelowna's Safe Mobility Action Plan focuses on improving road safety and reducing collisions within city limits. The project establishes a clear safety vision and sets measurable collision reduction targets, aiming to enhance overall road safety outcomes.

Amount awarded: **\$137,680**

Project Name: **HAF Dashboard and Kelowna Housing Leadership**

Government: Federal

Program: ACT Agreement

Description: Development of a Housing Accelerator Fund (HAF) dashboard designed to provide real-time access to grant details. The dashboard includes features such as initiative progress tracking, housing target updates, funding allocation summaries, and alert systems to support project management.

Amount awarded: **\$100,000**

Project Name: **2023 City of Kelowna Wildfire Mitigation project (Additional Funds)**

Government: Provincial

Program: FireSmart Community Funding and Supports Program

Description: This project focuses on a variety of wildfire risk reduction initiatives in our community, including our unique FireSmart Community Chipping Program. This helps improve community awareness and knowledge of wildfire mitigation, manage hazardous vegetation in several areas of our community, and overall reduce the risk of wildfire.

Amount awarded: **\$100,000**

Project Name: **Indigenous Engagement Requirements**

Government: Provincial

Program: Emergency Management and Climate Readiness

Description: This project focuses on fostering collaboration in emergency management and preparedness. The work involves ensuring consistent practices and accurate reporting across the City of Kelowna, City of West Kelowna, District of Lake Country, and the Regional District of Central Okanagan.

Amount awarded: **\$82,000**

Project Name: **Edith Gay Park Upgrades**

Government: Foundation

Program: Jays Care Field of Dreams

Description: The Edith Gay Park Upgrade project focuses on enhancing the quality and functionality of two significant baseball fields in Kelowna. These fields support a large number of participants, particularly during critical stages of their long-term athletic development as outlined in the Canadian Sport for Life framework.

Amount awarded: **\$72,500**

Project Name: **Improvement District Conversion Engagement**

Government: Provincial

Program: Restructure Planning Grant

Description: This project focuses on transitioning the Glenmore-Ellison Improvement District (GEID) to join the City of Kelowna's water utility. This initiative includes the development of a communications strategy, public engagement plan, and associated resources to support the initiative.

Amount awarded: **\$60,000**

Project Name: **OHM Washroom and Ramp Retrofits**

Government: Federal

Program: Enabling Accessibility Fund (EAF)

Description: The Okanagan Heritage Museum (OHM) Upgrades involve the installation of grab bars, emergency call buttons, faucet and toilet sensors, interior ramps, lighting, tactile stripping and color contrasting to improve accessibility.

Amount awarded: **\$40,993**

Project Name: **BC Transit Bus Shelters**

Government: Provincial

Program: BC Transit Bus Shelter Program

Description: The project involves the installation of bus shelters at several key locations to enhance public transit infrastructure. The work includes installing new bus shelters, and improving bus shelters.

Amount awarded: **\$31,207**

Project Name: **UBCO/City of Kelowna Accessibility and Disability Justice (ADJ) Competency Training**

Government: University of British Columbia

Program: Community-University Engagement Support (CUES) Fund

Description: This project involves the development and delivery of training to enhance Accessibility and Disability Justice (ADJ) competencies at UBCO and the City of Kelowna. The initiative aligns with the requirements of the Accessible BC Act, focusing on building organizational capacity in ADJ to address identified gaps.

Amount awarded: **\$25,000**

Project Name: **A path to the future: Westbank First Nation and City of Kelowna**

Government: Federal-Provincial

Program: Regional Community to Community Program

Description: This project involves a collaborative effort between Westbank First Nation and the City of Kelowna to engage in a relationship-building initiative titled A Path to the Future. A consultant will facilitate a forum bringing together elected officials and senior staff from both organizations. The forum will focus on strengthening relationships, fostering constructive dialogue, and promoting shared cultural understanding.

Amount awarded: **\$20,000**

Project Name: **Scaling Up Heat Pump Adoption in Kelowna's Climate**

Government: Foundation

Program: Climate Internship Program

Description: This project focuses on promoting heat pumps as a viable low-carbon heating and cooling solution in BC, particularly in regions with colder winters like the Okanagan. It aims to provide accurate data on real-world performance to address misconceptions and build trust in the technology.

Amount awarded: **\$15,000**

Project Name: **Farmland Advantage Partnership**

Government: Provincial

Program: Advance Biodiversity Conservation on Private Lands

Description: This project aims to support riparian enhancements on private agricultural lands through a payment mechanism for ecosystem services. The focus is on improving biodiversity conservation, enhancing carbon sequestration, and supporting Species at Risk habitat in riparian areas, while ensuring the continued productivity of adjacent farmland over the long term.

Amount awarded: **\$15,000**

Project Name: **Drought Resilience Audit Program**

Government: Okanagan Basin Water Board

Program: Water Conservation and Quality Improvement Grants

Description: The project involves conducting irrigation system audits that include visual inspections, catch can collections, soil observations, water pressure tests and discussions with site staff. These audits inform system upgrades aimed at enhancing uniformity, reducing irrigation

timeframes, optimizing water use, and improving overall plant health, contributing to cost efficiencies for the City of Kelowna.

Amount awarded: **\$15,000**

Total Grants Awarded: \$7,412,693

2024 Contracts Managed¹

Project Name: Kelowna's Housing Accelerator Program
Government: Federal (administered by CMHC)
Program: Housing Accelerator Fund
Description: To implement system-changing actions to accelerate housing supply in Kelowna. This funding is to support the development of complete, low-carbon and climate-resilient communities that are affordable, inclusive, equitable and diverse.
Amount awarded: **\$31,558,610**

Project Name: Mill Creek Flood Protection Project
Government: Federal
Program: Disaster Mitigation and Adaptation Fund
Description: This project aims to reduce flooding in Kelowna by upgrading the creek corridor from the airport to Okanagan Lake. It includes a diversion structure to redirect flood flows and completion is expected by winter 2027.
Amount awarded: **\$22,000,000**

Project Name: Parkinson Redevelopment Child Care
Government: Provincial/Federal
Program: ChildCareBC New Spaces Fund
Description: To build 91 childcare spaces at the new Parkinson Redevelopment, including: 12 group spaces (under 36 months), 25 group spaces (30 months to school age), and 54 group spaces (school age).
Amount awarded: **\$9,100,000**

Project Name: Kelowna Septic System Elimination and Sewer Connection Project
Government: Federal/Provincial
Program: Investing in Canada Infrastructure – Environment Quality
Description: To eliminate approximately 600 aging septic fields from Central Rutland, Rio/Rialto and Hall Road, and a creek crossing for servicing of the Hall Rd connection area.
Amount awarded: **\$9,034,256**

¹ 2024 Contracts Managed identifies active grant contracts. Some of the projects may have been completed, however the contractual reporting requirements were still active for the grant in the calendar year.

Project Name: **Glenmore Activity Centre Child Care**
Government: Provincial
Program: ChildCareBC New Spaces Fund
Description: To build 91 childcare spaces at the new Glenmore Activity Centre, including: 12 group spaces (under 36 months), 25 group spaces (30 months to school age), and 54 group spaces (school age).
Amount awarded: **\$8,009,151**

Project Name: **Mission Activity Centre Child Care**
Government: Provincial
Program: ChildCareBC New Spaces Fund
Description: To build 91 childcare spaces at the new Mission Activity Centre, including: 12 group spaces (under 36 months), 25 group spaces (30 months to school age), and 54 group spaces (school age).
Amount awarded: **\$8,003,491**

Project Name: **YLW Combined Operations Building**
Government: Federal
Program: Airport Critical Infrastructure Program
Description: To improve efficiencies in aircraft rescue, firefighting and operational responses to ensure the highest safety standards.
Amount awarded: **\$7,100,000**

Project Name: **Next Generation 911**
Government: Provincial
Program: Next Generation 911 Funding
Description: To support local preparedness for the implementation of Next Generation 911 and the transition of existing 911 services, in compliance with the Canadian-Radio-television and Telecommunications Commission mandate.
Amount awarded: **\$3,045,000**

Project Name: **Next Generation 911**
Government: Provincial
Program: Next Generation 911 Funding
Description: To support local preparedness for the implementation of Next Generation 911 and the transition of existing 911 services, in compliance with the Canadian-Radio-television and Telecommunications Commission mandate.
Amount awarded: **\$3,045,000**

Project Name: **Turtle Lake Dam and Septic Elimination Project**
Government: Provincial
Program: Critical Community Infrastructure Fund
Description: To complete permanent earthworks stabilization on Turtle Lake Dams and install a sewer main and service connections in the Rutland area. The project enhances environmental quality, densification and community safety.

Amount awarded:	\$3,000,000
Project Name:	Kelowna Youth Gang Reduction and Prevention Strategy (Year 2-4)
Government:	Federal
Program:	Building Safer Communities Fund
Description:	To collaborate with Central Okanagan Public Schools to implement a Youth Gang Reduction and Prevention Strategy.
Amount awarded:	\$1,818,860
Project Name:	Kelowna's Outdoor Navigation Strategy
Government:	Federal/Provincial (administered by UBCM)
Program:	Strengthening Communities' Services Program
Description:	To provide critical services and supports for people sheltering outdoors such as the overnight sheltering site, day services, hygiene and personal belonging services.
Amount awarded:	\$1,129,891
Project Name:	Island Stage Rejuvenation
Government:	Provincial
Program:	Destination Development Fund
Description:	To rejuvenate Island Stage, which is currently underutilized due to ageing infrastructure, lack of spectator space, and lack of amenities.
Amount awarded:	\$998,868
Project Name:	Enhance Accessibility and Inclusivity at Kelowna's newest waterfront park on Cedar Avenue
Government:	Federal (PacifiCan)
Program:	Canada Community Revitalization Fund
Description:	To construct accessibility and inclusivity features including an accessible floating dock and kayak launch, accessible wash station, lighting, accessible wayfinding signage, and accessible picnic tables.
Amount awarded:	\$750,000
Project Name:	YLW Mass Timber Demonstration Program
Government:	Provincial (administered through Forestry Innovation Investment)
Program:	Mass Timber Demonstration Program
Description:	To utilize digital twin technology to develop, incorporate, and share new technologies for mass timber construction during YLW's project to expand the Air Terminal Building.
Amount awarded:	\$500,000
Project Name:	Annual ICBC Road Safety Improvement Grants
Government:	ICBC
Program:	Road Safety Improvement Program
Description:	To complete road improvement upgrades around the community.
Amount awarded:	\$364,900

Project Name: PEOPLE Peer Navigators and Capacity Building Program
Government: Federal
Program: Substance Use and Addictions Program
Description: Additional funding to extend the PEOPLE Peer Navigator program to build capacity of people with lived and living experience of past or current substance use through harm reduction or healing.
Amount awarded: \$225,000

Project Name: 2023 City of Kelowna Wildfire Mitigation
Government: Provincial
Program: Firesmart Community Funding & Supports
Description: To support various local FireSmart activities including hazard assessments, outreach activities, curbside removal of vegetation from FireSmart priority zones and a fuel modification project.
Amount awarded: \$180,410

Project Name: North End Plan
Government: Federal (administered through FCM)
Program: Sustainable Neighbourhood Action Plan
Description: The project focuses on sustainable development in Kelowna's North End, addressing land use, transportation, parks, and utilities. It aims to expand housing diversity, improve access to amenities, and retain industrial lands. The plan includes significant redevelopment of industrial sites and enhancing green spaces.
Amount awarded: \$175,000

Project Name: Kelowna Urban Centres Planning Framework
Government: Provincial
Program: Complete Communities Program
Description: To develop an Urban Centres Planning Framework; a unique approach to planning for Kelowna's five urban centres, where half of the rapid growth is anticipated.
Amount awarded: \$149,500

Project Name: Ecological Restoration and Fuel Management in Wildland Urban Interface Environments
Government: Federal
Program: Environment and Climate Change Canada
Description: To promote restoration of key habitats while simultaneously reducing risk of catastrophic wildfire.
Amount awarded: \$132,025

Project Name: City of Kelowna Fleet Level 2 Chargers
Government: Federal
Program: Zero Emission Vehicle Infrastructure Program
Description: To install 12 EV chargers at yards office and 12 EV chargers at wastewater treatment facility to support the expansion of the City's EV fleet.

Amount awarded:	\$120,000
Project Name:	YLW Airfield Lighting and Supporting Infrastructure Design
Government:	Federal
Program:	Airport Critical Infrastructure Program
Description:	This project aims to upgrade airfield lighting systems at YLW. It includes upgrading approach lighting, runway edge lighting, and airfield guidance signs to LED, and improving electrical infrastructure to enhance safety and meet regulatory requirement.
Amount awarded:	\$120,000
Project Name:	Accessibility Ratings and Upgrades – City Buildings
Government:	Provincial (Rick Hansen Foundation)
Program:	RHF BC Grant Program
Description:	To undertake accessibility ratings for the Kelowna Museum, Parkinson Activity Centre, and the Kelowna Community Theatre including various accessibility upgrades.
Amount awarded:	\$82,500
Project Name:	Kelowna Food Innovation Project
Government:	Provincial
Program:	Poverty Reduction Planning & Action Grant
Description:	To improve access to healthy, local food for people with lived and living experience of poverty. It focuses on collective governance, lived experience engagement, and innovative impact initiatives to enhance food security, with the goal of scaling these initiatives across the city.
Amount awarded:	\$50,000
Project Name:	Extreme Cold Weather Operations for People Sheltering Outdoors in Kelowna
Government:	Provincial
Program:	Extreme Temperature Risk Mapping, Assessment and Planning
Description:	To complete an Asset and Resources Systems Map and subsequent Response Plan that will identify local resources and provide guidance to assist those sheltering outside during extreme cold.
Amount awarded:	\$30,000
Project Name:	MCRI Restoration and Effectiveness Monitoring
Government:	Okanagan Basin Water Board
Program:	Water Quality and Conservation Improvement
Description:	This project focuses on assessing the effectiveness of restoration works in Mission Creek. It involves monitoring fish habitat, structural stability, and channel conditions to ensure long-term conservation and restoration.
Amount awarded:	\$25,000
Project Name:	Marinas & Drinking Water on Okanagan Lake
Government:	Okanagan Basin Water Board
Program:	Water Quality and Conservation Improvement

Description: To complete a data-guided assessment of potential effects of a proposed marina in Sutherland Bay on the Poplar Point intake.
Amount awarded: \$24,000

Total Grants Managed: \$115,139,155² (refer to footnote for calculation)

² Grants managed = \$107,726,462 (multi-year grants) + \$7,412,693 (2024 grants awarded)

2024 Grants Summary



Grant Management Program

- ▶ To increase funds to leverage City resources and priority projects
- ▶ Includes a strategic alignment:
 - ▶ Council priorities
 - ▶ Annual budget
 - ▶ 10-Year Capital Plan
 - ▶ Imagine Kelowna, Official Community Plan or other related Master Plans

Grant Management Program

External Grant Approval and
Grant Management Policy

Grants Management System

Grant Procedure Manual

Grants Dashboard

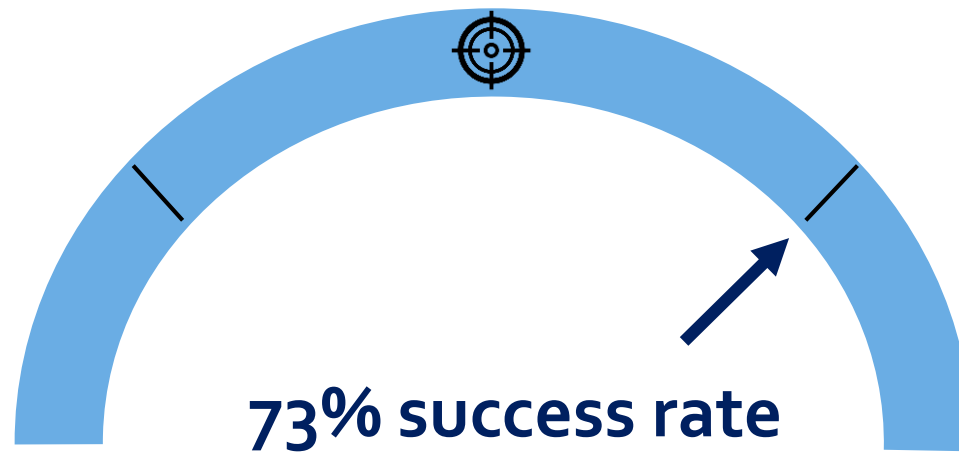


2024 Grants Summary

Grant Status	Value
18 grants awarded	\$7.4 million
45 grant contracts managed	\$115 million

Performance Measure

- ▶ Success rate on grant applications, based on 20 applications submitted per year (*target = 50%*)



Grants Awarded in 2024



Clean BC Communities Fund



H₂O Energy Modernization \$2.5M

- Solar panels
- Reduced natural gas
- Cut greenhouse gas emissions
- 10 Electric Vehicle charging stations

Fairs, Festivals and Events Fund



Canadian Country Music Week \$200k

- Highlights country music nationally
- Incentivizes economic development
 - Boosts tourism

ChildcareBC New Spaces Fund



YLW Childcare Expansion \$2.5M

- Designed to reduce waitlists
- Total of 110 childcare spots

BC Active Transportation Infrastructure Fund

Rail Trail to Greenway ATC \$500k

- Improved safety measures
- Supporting alternate modes of transportation
- Link between Rail Trail and Greenway



ACT Agreement



Kelowna Housing Leadership \$100k

- HAF Dashboard, Infill Housing, and AI Chatbots
 - Knowledge Sharing Webinars

Jay's Care Field of Dreams



Edith Gay Park Upgrades \$72k

- Partnership with Central Okanagan Minor Baseball Association (COMBA)
 - New grass infields and irrigation
- Improved dugout benches, backstops and fencing

2024 Grants in Action



Destination Development Fund



Island Stage Rejuvenation \$999k

- Low-maintenance event stage
 - Upgraded electrical
 - Re-designed space

Disaster Mitigation & Adaptation Fund



Mill Creek Food Protection \$22M

- Improved hydraulics
- Habitat restoration
- Flood protection

Rick Hansen Foundation and the Province of BC

Okanagan Heritage Museum Accessibility Upgrades \$82k

- Handrails
- Outdoor grips
- Automatic door openers



Direct Funding Allocations



Canada Community-Building Fund

▶ \$6.6M

Provincial Government Partnerships

- ▶ New purpose-built complex care facility
- ▶ Heart & Hearth Program



Annual Grant Summary 2020-2024

Year	Grants Awarded	Contracts Managed
2020	\$1.8 million	\$36 million
2021	\$20 million	\$56 million
2022	\$27 million	\$67 million
2023	\$68 million	\$129 million
2024	\$7.4 million	\$115 million



Questions?

For more information, visit kelowna.ca.

Report to Council



Date: January 20, 2024
To: Council
From: City Manager
Subject: Street tree and boulevard maintenance standards
Department: Infrastructure Services and Planning, Climate Action, and Development Services

Recommendation:

THAT Council receives, for information, the report from Infrastructure Services and Planning, Climate Action, and Development Services divisions dated January 20, 2024, with respect to an update to Maintenance of Boulevards by the Owners of Lands Abutting Thereon Bylaw No. 10425;

AND THAT Bylaw No. 12744, being Maintenance of Boulevards, be forwarded for reading consideration;

AND THAT Bylaw No. 12745, being Amendment No. 38 to Bylaw Notice Enforcement Bylaw No. 10475, be forwarded for reading consideration.

Purpose:

To approve bylaw amendments that promote improved street tree care and protect boulevard landscaping as critical infrastructure.

Council Priority Alignment:

Climate & Environment

Background:

As part of the Urban Tree Canopy Enhancement Strategy, Council directed staff to develop tree care standards and bylaw requirements to maintain tree health and support the continued growth of the urban forest. Several City bylaws impact our urban forest; however, this report introduces bylaw requirements specifically relating to the care of street trees, also known as boulevard trees. The Boulevard Maintenance Bylaw No. 10425 currently sets regulations for the care of boulevard areas, the landscaping and drainage public right of ways adjacent to private property which may or may not include a sidewalk. Based on the staff review of this bylaw it is recommended that the current bylaw be repealed and replaced with a new regulation that better addresses tree and plant care and modernizes the bylaw language. These regulatory updates must be undertaken concurrently with amendments to the Bylaw Notice Enforcement Bylaw No.10475 to clarify enforcement options.

Previous Council Resolution

Resolution	Date
<p>THAT Council receives, for information, the report from the Climate Action & Environmental Stewardship Department, dated May 27, 2024, with respect to progress on the City's Urban Tree Canopy Enhancement Strategy.</p> <p>AND THAT Council direct staff to amend Bylaw No. 10425, to align street tree care and boulevard maintenance standards with other City Bylaws, prior to July 2024.</p>	<p>May 27, 2024</p>

Discussion:

The intent of this bylaw update is to address the challenges staff have observed in encouraging the care of boulevard areas by abutting landowners. Public complaints have raised concerns about street trees not being watered, rock mulch obstructing sidewalks and roadways, or flooding due to unauthorized paving.

For example, boulevard areas are often designed to manage stormwater with gravel areas where smaller water volumes soak into the ground (soakaway strips) or depressions (ditches or bioswales) that hold larger water volumes while also allowing water to infiltrate. It is a common misconception that these gravel areas or ditches have no purpose. They have in fact been designed for flood prevention and ground water recharging. Paving, adding the wrong type of gravel, changing the grade, or filling in these areas may cause flooding on adjacent property and roads. Staff have received numerous complaints about filling ditches or paving soakaway strips to create parking spaces or expand driveways. This increase in paving increases the risk of a minor rainstorm becoming a flood for abutting properties as the water has nowhere to soak into.

The following proposed bylaw changes are meant to address those concerns:

- **Update terminology**
 Specific definitions for landscaping materials were added to increase clarity. This also allows residents more options while identifying the necessary limitations on which plants or mulches are suitable in a boulevard considering snow clearing, on-street parking access, and street sweeping activities.
- **Reinforce existing service level**
 The City's current level of service for boulevard maintenance is limited to pruning and replacing street trees. Transferring the responsibility of irrigation, mowing, and trimming to the City is not recommended. These activities are a relatively minor cost to the abutting property owner compared to the potential impact on taxation if a new maintenance service were to be proposed.
- **Clarify abutting owner responsibility for watering/irrigation**

Currently, Bylaw No. 10425 does not specifically identify the need to water boulevard vegetation, despite the implied responsibility of care. This has limited the ability of staff to enforce the bylaw requirements until after a tree has died.

- **Establish ticketing options for enforcement**

Ticketing provisions were added to ensure Bylaw Officers can efficiently act on complaints and hazards. The previous bylaw did not allow ticketing, only a lengthy courts-based enforcement process, limiting the City's ability to act on complaints in a timely manner. Terminology that would be considered vague and difficult to enforce via ticket was also removed from the bylaw.

Another key consideration in this bylaw update was the need to balance the variety of interests in boulevard use. Lawn may not be the best boulevard option for a variety of reasons. Some boulevards may benefit from small shrubs, flowers, or tall grasses to serve as a safety barrier for pedestrians. An ageing population may have limited capacity to mow a lawn, while townhouse owners or retail businesses may have no lawn on their property and are not interested in maintaining high water demand boulevard lawn. A drought-tolerant groundcover (like yarrow and clover) or mulched low growing shrubs and perennial flowers may be a more attractive, biodiverse, drought-tolerant option. Addressing maintenance misconceptions regarding flowers and shrubs is an important consideration as these plants are often easier to maintain in a more attractive state while also providing huge benefits to pollinators and birds.

Conclusion:

Boulevards are important green infrastructure that provide many critical services to the community. A variety of landscaping options must be considered to meet resident and business interests while respecting the maintenance challenges of City Roads and Parks crews. This bylaw update attempts to balance freedom of choice for our citizens with the green infrastructure functions of a boulevard and the necessity of preventing public safety hazards. The responsibility for boulevard care is recommended to remain with the abutting property to make the most efficient use of City resources, support resident landscaping choices in these shared spaces, and minimize cost to taxpayers. While it is often preferred to work with property owners to ensure boulevards are maintained for both their benefit and the community's, bylaw regulations are needed to redress hazards or damage. This bylaw update will help make the enforcement process more efficient and transparent for all involved.

As staff continue to implement the direction of Council to better support our urban forest, work is ongoing to support updates to other bylaws. Climate appropriate landscape regulations are being investigated to help guide the shift in mindset needed for urban plants to be successful under the combined stress of more paving and more heat with less water. Staff are concurrently working on these landscaping and tree standards across multiple bylaws to provide consistent guidance to the community both on public and private lands.

Internal Circulation:

Roadways Operations
 Parks Services
 Parks Planning & Design
 Office of the City Clerk
 Risk Management
 Utility Services

Bylaw Services

Considerations applicable to this report:

Legal/Statutory Authority:

The *Community Charter*, Section 36(1), allows a municipality by bylaw to regulate and prohibit in relation to all uses of or involving a highway or part of a highway.

Existing Policy:

City of Kelowna Sustainable Urban Forest Strategy:

- Strategy 1: Strengthen policy, planning, and implementation to protect, connect, and expand the tree canopy.
- Strategy 5: Transition from reactive to proactive maintenance of City trees.
- Strategy 6: Ensure resourcing is sufficient to deliver levels of service that maximize urban forest benefits.
- Strategy 7: Improve awareness of and participation in urban forest management.

Communications Comments:

Bylaws can also act as a deterrent to activities that damage street trees and stormwater drainage infrastructure. Following Council's decision, staff will investigate options for communicating these changes, focusing on the value of street trees to the community.

Submitted by:

J. Miles, MEdes. – Planner Specialist

Approved for inclusion: M. Logan, Infrastructure GM

cc:

G. Bos – Infrastructure Operations

N. Chapman – Development Engineering

K. England – Bylaw Services



City of
Kelowna

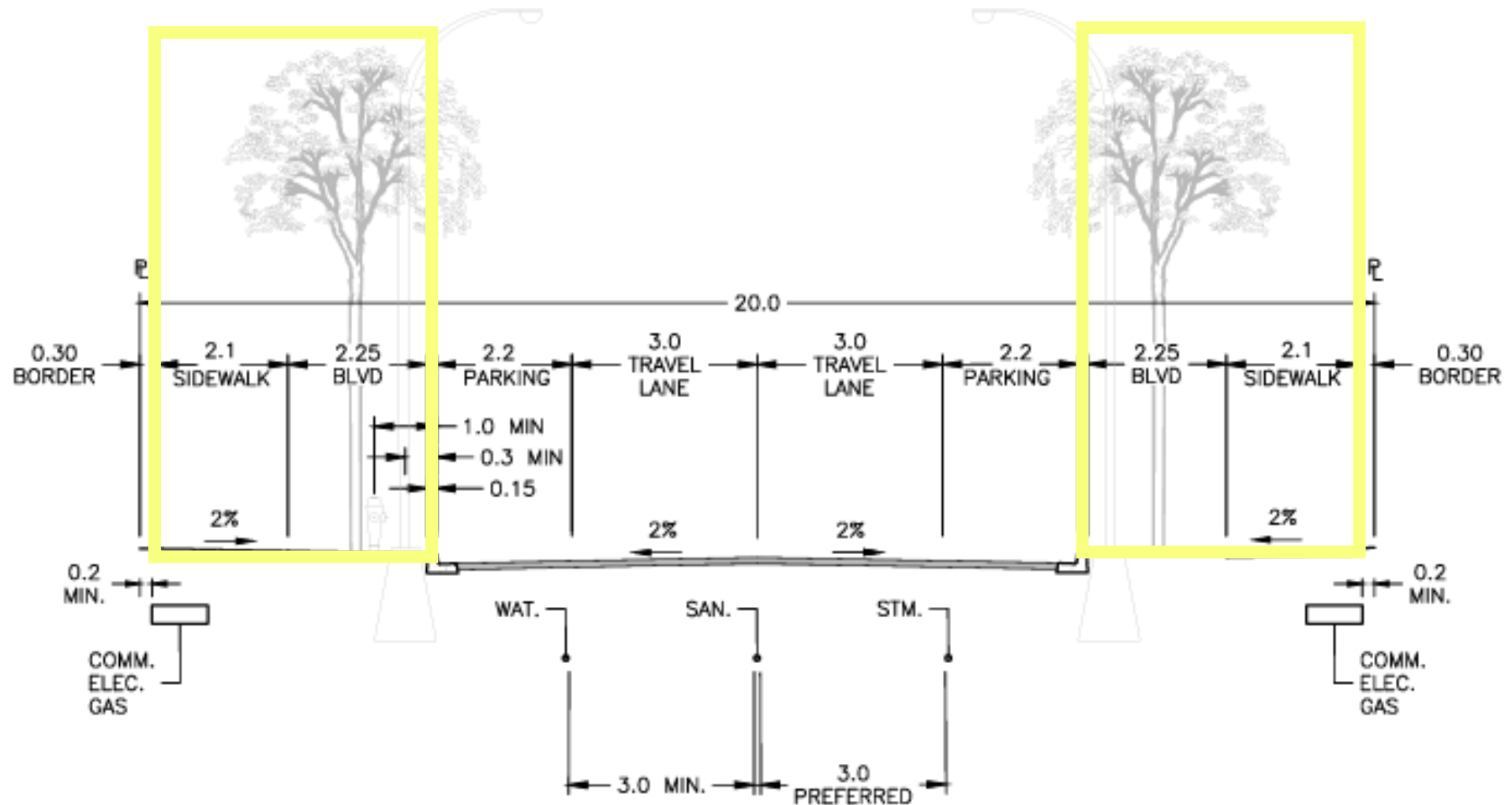
Boulevard Maintenance Bylaw Amendments

January xx, 2025



- ▶ Address the impacts of development on the urban tree canopy and reduce encroachment into natural forests.
- ▶ Use opportunities provided by re-development to plant trees for the benefit of the public realm.
- ▶ Improve urban tree care.
- ▶ Achieve canopy coverage goals set out by the *Sustainable Urban Forest Strategy* and *OCP*.

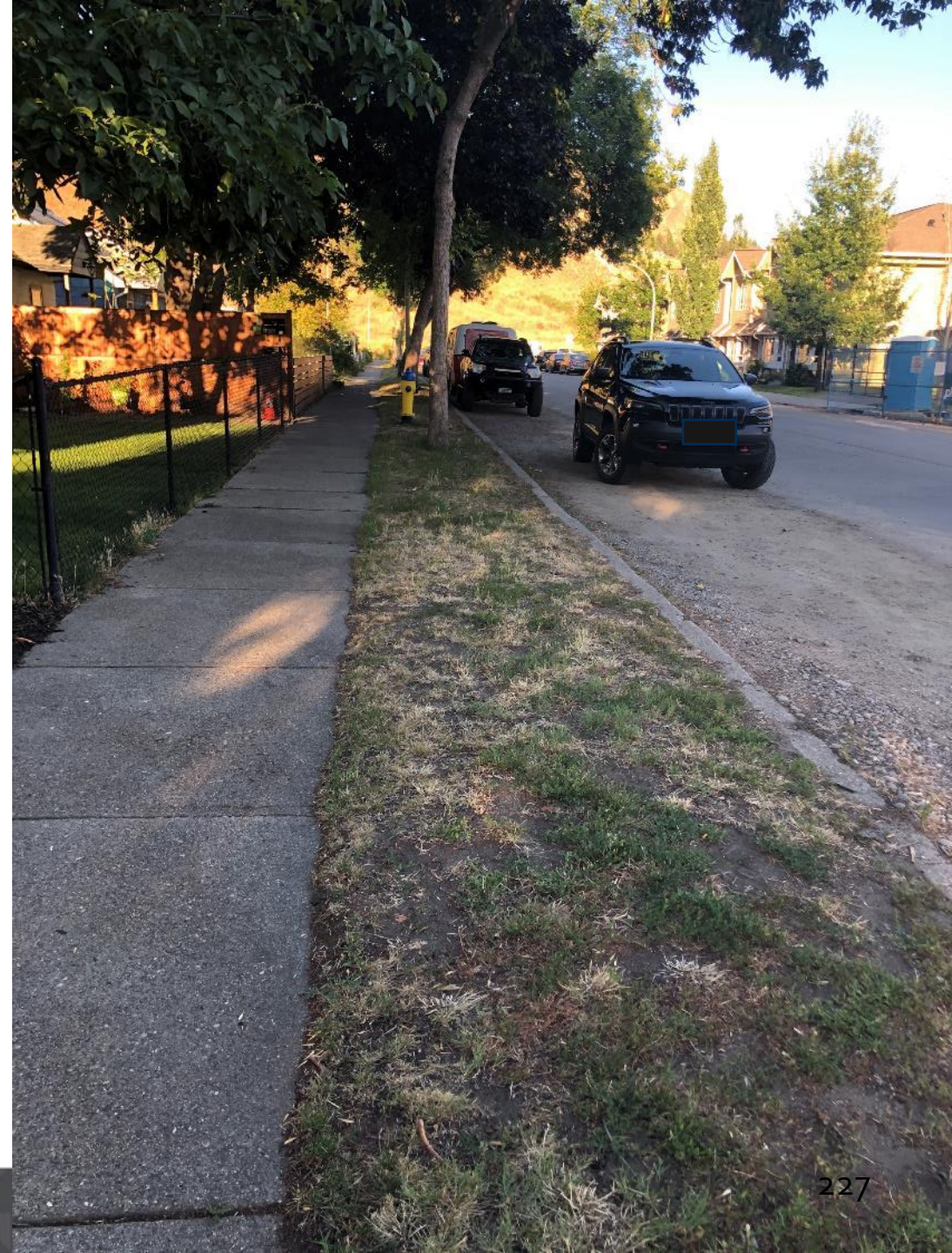
What is a boulevard?





Boulevard Maintenance Challenges

- ▶ Street trees not being watered
- ▶ Kelowna's naturally arid climate makes lawns problematic
- ▶ Rock mulch obstructing sidewalks and roadways, creating safety hazards
- ▶ Flooding due to unauthorized paving on private and public property





TKI
Construction
250-478-1137



25

Stormwater Management



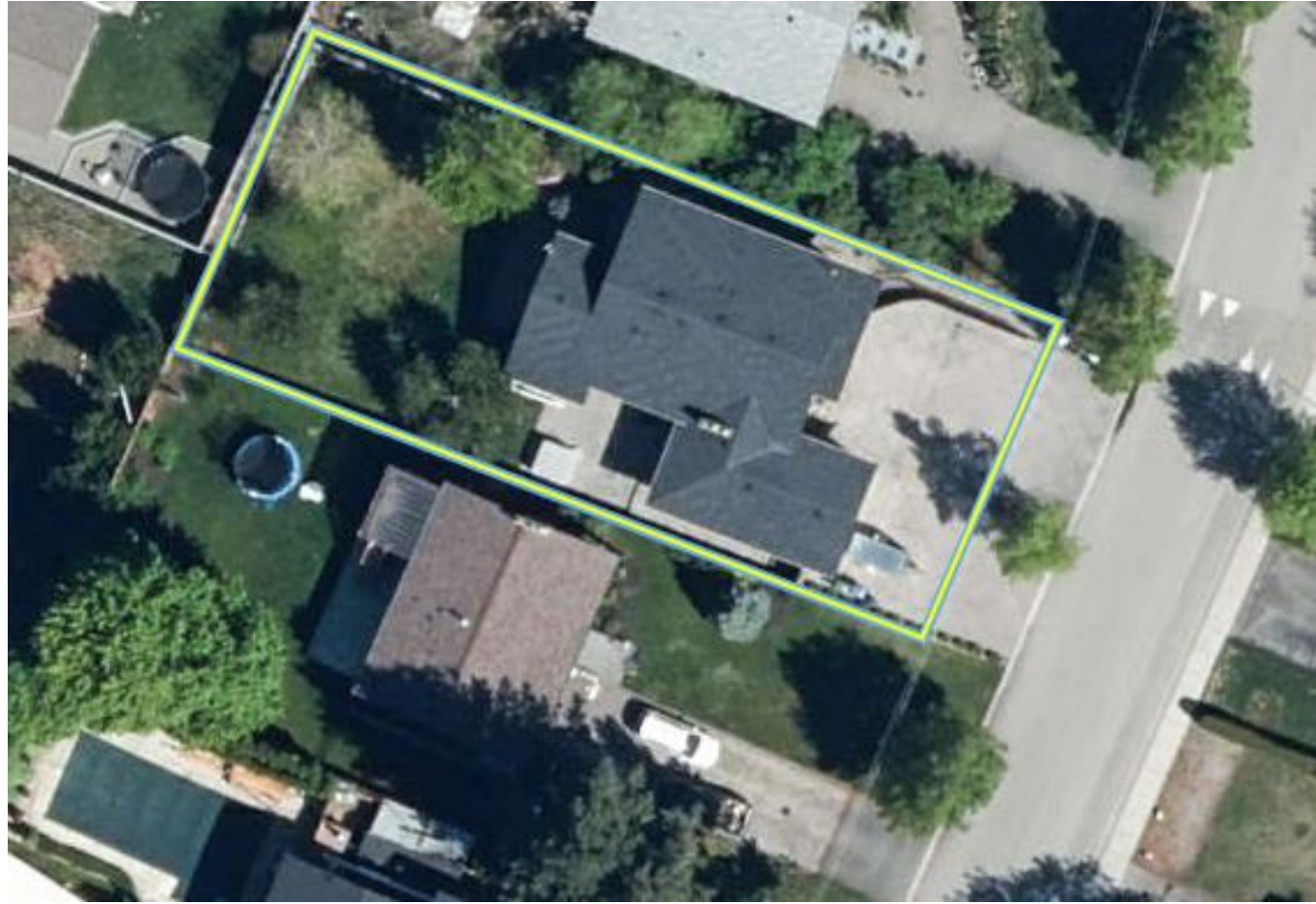
Functional Soakaway Strip

- ▶ even slope/grading, no pooling areas

Poorly functioning Soakaway Strip

- ▶ vegetation growth where water pools due to wrong gravel and poor grading
- ▶ paving encroachments into soakaway strip

Paving – transfers flood risk to neighbours



Rock Hazards



Proposed Bylaw Changes

- ▶ Update terminology for landscaping materials
- ▶ Reinforce existing service level for boulevard maintenance
- ▶ Clarify abutting owner responsibility for watering
- ▶ Establish ticketing options for enforcement

Boulevard Treatments



What's Next?

☐ Communications

- raise awareness of the importance of street tree care
- Street tree incentives

☐ Subdivision and Development Servicing Bylaw No. 7900 update

- climate appropriate boulevard design requirements.



Shrubs provide
year-round
interest and
enhance the
streetscape

City of Kelowna





Staff Recommendation

THAT Council receives, for information, the report from Infrastructure Services and Planning, Climate Action, and Development Services divisions dated January 20, 2024, with respect to an update to Maintenance of Boulevards by the Owners of Lands Abutting Thereon Bylaw No. 10425;

AND THAT Bylaw No. 12744, being Maintenance of Boulevards, be forwarded for reading consideration;

AND THAT Bylaw No. 12745, being Amendment No. 38 to Bylaw Notice Enforcement Bylaw No. 10475, be forwarded for reading consideration.





Questions?

For more information, visit kelowna.ca.

CITY OF KELOWNA

Maintenance of Boulevards Bylaw No. 12744

WHEREAS the *Community Charter*, Section 36(1), allows a municipality by bylaw to regulate and prohibit in relation to all uses of or involving a highway or part of a highway;

NOW THEREFORE the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. Definitions

1.1. In this bylaw:

“Abutting” means immediately contiguous to, or physically touching, and when used with respect to a **highway**.

“Boulevard” means a portion of a **highway** between the curb lines or the edge of a **roadway** and the adjoining property or **roadway**. Includes municipal property such as a curb, sidewalk, planted area, or drainage infrastructure.

“City” means the City of Kelowna.

“City-Approved Landscaping Plan” means a **landscaping plan** that may be part of a Subdivision Application, Development Permit, Building Permit, or other off-site **landscaping plan** approved by the **City** following Subdivision, Development and Servicing Bylaw No. 7900 design standards.

“Damage” means an action that may cause a **tree** to decline in health or die, including ringing or removing bark, poisoning, burning, topping (unless branches are weak/diseased), cutting roots, excavating in a manner that impacts roots, or **excessive pruning**.

“Excessive Pruning” means removing or trimming greater than 25% of live branches of a **tree** within a period of 12 months.

“Highway” means “Highway” as defined in Subdivision, Development and Servicing Bylaw No. 7900.

“Infrastructure Operations Department Manager” means the Infrastructure Operations Department Manager of the **City**.

“Landscaping Plan” means a document that details the visual appearance of an outdoor area which may include the location of items such as a **tree, vegetation, or mulch**.

“Mulch” means a ground cover treatment applied over soil.

“Noxious Weed” means ‘noxious weeds’ as defined in the Noxious Weed and Grass Control Bylaw No. 8133 or the Regional District of Central Okanagan Noxious Weed Control Bylaw No. 1544, 2024. Includes an invasive plant species identified as noxious, invasive, or alien in federal, provincial, or local regulations.

“Roadway” means the portion of the **highway** that is improved, designed, or ordinarily used for vehicular traffic, but does not include the shoulder.

“Shouldering” means the compacted gravel adjacent to the edge of an asphalt **roadway** designed to support and drain the **roadway** structure.

“Tree” means a self-supporting woody plant that is a species of coniferous or deciduous genus.

“Vegetation” means a plant such as a groundcover, perennial, annual, shrub, or other plant excluding a **tree**.

2. General Regulations

- 2.1 A person must not modify or construct works in a **boulevard** except in accordance with this bylaw or another **City** bylaw.

- 2.2 The following is prohibited in a **boulevard**:
 - 2.2.1. A permanent structure, including a retaining wall or fence.
 - 2.2.2. The construction of a parking space or new driveway unless approved by the **City**, in accordance with Subdivision, Development and Servicing Bylaw No. 7900.
 - 2.2.3. Expansion of an existing driveway unless approved by the **City**, in accordance with Subdivision, Development and Servicing Bylaw No. 7900.
 - 2.3. Replacing or maintaining an existing driveway in a state of good repair is permitted in a **boulevard**.
 - 2.4. Plant-based or organic **mulch** such as bark **mulch** or composted **mulch** is permitted in a **boulevard** to protect a **tree** or **vegetation** under the following conditions:
 - (a) Where a sidewalk or curb is present, the **mulch** must not spill into a sidewalk or **roadway**.
 - (b) Where a sidewalk or curb is not present, **mulch** must be located at least 0.6 m away from drainage infrastructure, **shouldering** or the edge of **roadway** asphalt if the **shouldering** area is unclear.
 - 2.5. Rocks, which include boulders, rock **mulch**, or gravel, are not permitted in the **boulevard**, except under the following conditions:
 - 2.5.1. For the purpose of drainage, gravel (25 mm minus) may be placed in accordance with Section 4.
 - 2.5.2. Decorative rock may be placed in accordance with a **City-approved landscaping plan** or in accordance with Subdivision, Development and Servicing Bylaw No. 7900. Decorative rock is prohibited in the **shouldering** area or over drainage infrastructure.
 - 2.5.3. Self-binding gravel or crusher fines (9.5 mm minus) may be placed over the soil as **mulch** within 2 metres of a **tree** trunk.
 - 2.5.4. When rock **mulch**, decorative rock, paving slabs, or flagstone is permitted in a **boulevard** it must meet one of the following conditions:
 - (a) Where a sidewalk or curb is present, the rock material must not spill into a sidewalk or **roadway**.
 - (b) Where a sidewalk or curb is not present, the rock material must be at least 0.6 m away from drainage infrastructure, **shouldering** or the edge of **roadway** asphalt if the **shouldering** area is unclear.
 - 2.6. Rocks permitted in accordance with Section 2.5 may be required to be removed at the cost of the abutting property owner if it creates a hazard to public safety or **City** equipment.
3. Property Owner Responsibilities
 - 3.1. An **abutting** property owner must:
 - 3.1.1. Maintain a **tree** located in a **boulevard** in a manner that
 - (a) achieves standard watering and plant care (as defined by the Canadian Landscape Standard), or as required by a **City-approved landscaping plan**.
 - (b) is in accordance with the Municipal Tree Bylaw No. 8042.
 - (c) protects a **tree** from **damage**.
 - 3.1.2. Maintain **vegetation** or irrigation located in a **boulevard** in a manner that
 - (a) prevents growth over a sidewalk, curb, or **roadway**.
 - (b) allows safe access for a pedestrian.
 - (c) achieves watering and standard plant care as defined by the Canadian Landscape Standard, or as required by a **City-approved landscaping plan**.
 - (d) does not interfere with a utility, ditch, swale, gravel soaker strip, soak away zone, or similar drainage infrastructure.

- (e) aligns with another **City** bylaw that regulate sightlines and unobstructed areas, including parking, intersection, fire hydrant, telecommunication utility pedestal, electrical transformer, or infrastructure regulated by Subdivision, Development and Servicing Bylaw No. 7900.
 - (f) aligns with third-party utility standards.
 - (g) does not permit **vegetation** adjacent to an approved on-street parking space to be greater than 0.2 metres in height within 0.6 metres of a curb.
- 3.1.3. Sections 3.1.1.a and 3.1.2.c do not apply where a water purveyor has restricted or prohibited this type of water usage.
- 3.1.4. Replace a **tree, vegetation**, or a private irrigation component located in a **boulevard** according to a **City-approved landscaping plan** or in accordance with Subdivision, Development and Servicing Bylaw No. 7900.
 - (a) A different species may be used as a replacement if it meets the requirements of Subdivision, Development and Servicing Bylaw No. 7900.
- 3.1.5. Keep a **boulevard** free of a **noxious weed**, litter, or debris.
- 3.1.6. Receive approval from the **City** in accordance with Section 4 prior to modifying drainage infrastructure located in a **boulevard**.
- 3.1.7. Locate a property line or underground utility prior to works adjacent to or in the **boulevard**.
- 3.1.8. Remove or mitigate a public hazard in a **boulevard** identified as per Section 4.
- 3.2. An **abutting** property owner may plant **vegetation** and install private irrigation within an existing vegetated **boulevard**.
- 3.3. An **abutting** property owner is solely liable for a claim regarding injury or hazard that may be due to lack of maintenance of a **boulevard** or works installed that do not follow **City** standards identified within Subdivision, Development and Servicing Bylaw No. 7900.
- 4. **City Authority**
 - 4.1. The **Infrastructure Operations Department Manager** may
 - 4.1.1. deem a **boulevard** condition to be a hazard to public safety or **City** equipment.
 - 4.1.2. approve or deny a request to modify drainage infrastructure.
 - 4.2. A **tree, vegetation**, or rock located in a **boulevard** may be removed by the **City**.
 - 4.2.1. The **City** will attempt to notify the abutting owner prior to the removal, unless the removal is an emergency to rectify a public safety concern.
 - 4.2.2. The **City** will replace **boulevard vegetation**, rock, or a **tree** following the design requirements of Subdivision, Development and Servicing Bylaw No. 7900.
 - 4.3. The **City** is not responsible for **damage** to a **tree** or **vegetation** located in a **boulevard**.
 - 4.4. The **Infrastructure Operations Department Manager** may exempt the owner of an **abutting** property from the requirement to maintain a **boulevard** as set out in Section 3 if:
 - 4.4.1. a slope greater than 10% prohibits safe access to or maintenance of the **boulevard**, or
 - 4.4.2. the size of the **boulevard** is such that the burden of maintenance on the **abutting** property owner would be substantially disproportionate to that of other property owners.
 - 4.5. Section 4.4 does not apply if an **abutting** property owner has altered the site to the detriment of maintenance or access.
- 5. **Penalty**
 - 5.1. Every person who violates a provision of this bylaw commits an offence and is liable on summary conviction to a penalty not exceeding Fifty Thousand Dollars (\$50,000.00) and the costs of prosecution.

- 5.2. Each day a violation of the provision of this bylaw exists or is permitted to exist will constitute a separate offence.
- 5.3. When a person fails to perform an action required by this bylaw, the **City** is authorized to carry out such action through its representative, employee, or agent at the expense of the responsible property owner.
 - 5.3.1. The **City** will invoice the responsible property owner the costs incurred.
 - 5.3.2. The responsible property owner will pay the invoice amount within thirty (30) days of the invoice date.
 - 5.3.3. Pursuant to provisions of the *Community Charter*, a fee required to be paid by this bylaw which remains unpaid after December 31 of the calendar year will be added to and form part of the property taxes in arrears on the **abutting** subject property.
6. Severability
 - 6.1. A portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.
7. This bylaw may be cited as "Maintenance of Boulevards Bylaw No. 12744".
8. Bylaw No. 10425, being "Maintenance of Boulevards by the Owners of Lands Thereon" and all amendments thereto are hereby repealed.
9. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA

Bylaw No. 12745

Amendment No. 38 to Bylaw Notice Enforcement Bylaw No. 10475

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that the Bylaw Notice Enforcement Bylaw No. 10475 be amended as follows:

1. THAT Schedule 'A', be amended by adding in its appropriate location the following new section for Maintenance of Boulevards Bylaw No. 12744:

Bylaw No.	Section	Description	A1 Penalty	A2 Early Payment Penalty	A3 Late Payment Penalty	A4 Compliance Agreement Available (*Maximum 50% Reduction in Penalty Amount Where Compliance Agreement is Shown as "Yes")
Maintenance of Boulevards Bylaw No. 12744						
12744	2.1	Works in a boulevard not in accordance with City bylaw	\$500.00	\$450.00	\$500.00	Yes
12744	2.2.1	Prohibited structure in a boulevard	\$500.00	\$450.00	\$500.00	Yes
12744	2.2.2	Unauthorized parking space or driveway in a boulevard	\$500.00	\$450.00	\$500.00	Yes
12744	2.2.3	Expansion of a driveway without City authorization	\$500.00	\$450.00	\$500.00	Yes
12744	2.4 (a)	Mulch on sidewalk or roadway	\$50.00	\$40.00	\$60.00	Yes
12744	2.4 (b)	Mulch on drainage infrastructure, shouldering, or roadway	\$50.00	\$40.00	\$60.00	Yes
12744	2.5.4(a)	Rock material on sidewalk or roadway	\$100.00	\$90.00	\$110.00	Yes
12744	2.5.4(b)	Rock material on infrastructure, shouldering or edge of roadway	\$100.00	\$90.00	\$110.00	Yes
12744	3.1.1	Failure to maintain a boulevard tree	\$500.00	\$450.00	\$500.00	No
12744	3.1.2 (a)	Failure to remove growth over a sidewalk, curb, or roadway	\$100.00	\$90.00	\$110.00	Yes
12744	3.1.2 (c)	Failure to water or maintain boulevard vegetation	\$100.00	\$90.00	\$110.00	Yes
12744	3.1.2 (d)	Permit vegetation to interfere with drainage infrastructure	\$100.00	\$90.00	\$110.00	Yes

12744	3.1.2 (e)	Permit vegetation to obstruct sightlines or access	\$50.00	\$40.00	\$60.00	Yes
12744	3.1.2 (g)	Permit vegetation to obstruct access to on-street parking	\$50.00	\$40.00	\$60.00	Yes
12744	3.1.4	Failure to replace a tree, vegetation, or irrigation	\$500.00	\$450.00	\$500.00	Yes
12744	3.1.5	Failure to remove a noxious weed, litter, or debris	\$50.00	\$40.00	\$60.00	Yes
12744	3.1.6	Modify drainage infrastructure without authorization	\$500.00	\$450.00	\$500.00	Yes
12744	3.1.8	Failure to remove or mitigate a public hazard in a boulevard	\$500.00	\$450.00	\$500.00	Yes

2. This bylaw may be cited as "Bylaw No. 12745, being Amendment No. 38 to Bylaw Notice Enforcement Bylaw No. 10475".
3. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Report to Council



Date: January 20, 2025
To: Council
From: City Manager
Subject: Development Cost Charge Update
Department: Financial Services

Recommendation:

THAT Council receives, for information, the report from Financial Services dated January 20th, 2025, with respect to the update to the Development Cost Charge Bylaw;

AND THAT Development Cost Charge Bylaw No. 12746 - Amendment No. 1 to Development Cost Charge Bylaw No. 12420, be given reading consideration.

Purpose:

To update the Development Cost Charge (DCC) rates to account for rising infrastructure construction costs.

Background:

DCCs are designed to assist local governments in recovering costs expended on infrastructure that supports growth. The City's DCC program limits infrastructure eligible cost recovery to road, water, sanitary and drainage infrastructure as well as parkland acquisition and development; this is consistent with past provincial legislation, but recent changes (Bill 46) have expanded eligible categories to include firehalls, police facilities, solid-waste facilities and highway interchanges.

The DCC program provides an essential framework to service growth, but there is other infrastructure needs required to satisfy the demands of a growing community such as recreation, cultural and operational facilities that are not supported by DCCs. Furthermore, DCCs only cover the upfront capital investment for the eligible categories and do not support long-term operation, maintenance, or renewal of infrastructure.

Discussion:

The last update to the DCC Bylaw was October 2022 in conjunction with updates to the Official Community Plan (2040 OCP) and the Transportation Master Plan (2040 TMP).

The DCC program is a comprehensive 20-year plan extending until 2040. It encompasses 234 infrastructure and parkland acquisition projects, with a total estimated value of \$1.33 billion. Provincial legislation mandates that DCC revenue is used exclusively for infrastructure projects identified in the

plan. The total program is funded from DCC revenue (65%), City funding from taxation and utility revenue (29%), and grants and other sources (6%). The City sources fund the legislated 'tax assist' required for each project and the non-growth component of projects that benefit existing residents (i.e. new bike lane or sidewalk, replacement of aging infrastructure, sports courts, etc.).

A DCC increase is needed to keep pace with rising infrastructure construction costs. Provincial legislation permits local governments to increase DCC's consistent with the Consumer Price Index (CPI) without requiring provincial approval. The CPI for 2024 was 2.5% and the same is proposed for this DCC increase.

Construction inflation has increased significantly more than CPI in the last two years. The City is sensitive to the impact that DCCs have on housing costs and, as such, has chosen to increase DCCs more modestly. Future increases may need to increase beyond CPI but it is important to have regular incremental increases to avoid large increases in the future.

Consultation and Engagement:

The City met with Okanagan chapters of the Canadian Home Builder's Association (CHBA) and Urban Development Institute (UDI) and informed them of the proposed increase. Their letters in response to the proposed increase are included as Attachment A to this report. Both CHBA and UDI would prefer no increase, but their preference in response to rising construction costs, is smaller more regular DCC increases as opposed to periodic large increases that are difficult to plan for. They have also highlighted that DCCs, when added to other government-imposed fees (i.e. GST and PST), can be significant. They emphasized the importance of a harmonized and equitable strategy across all levels of government to guarantee housing affordability and a just distribution of infrastructure costs incurred by the development industry.

Legal/Statutory Authority:

The DCC Bylaw sets out the charges collected from developers for public roads, water, sewer, drainage and public parkland acquisition and development when subdividing, constructing, altering, or extending a building, pursuant to the Local Government Act.

The new DCC rates will be in effect as of March 1, 2025 after Bylaw adoption by Council. The Local Government Act provides in-stream protection of up to 1-year from changes to DCC rates for subdivision and building permit applications provided the application is complete and all application fees have been paid prior to DCC Bylaw adoption date.

Conclusion:

The City has demonstrated its commitment to achieving a balanced approach for the DCC Program that is sensitive to DCC rates while ensuring that the necessary infrastructure is in place to support growth in Kelowna. While key infrastructure cost drivers (i.e. land and construction costs) are entirely beyond the City's control, the City has contained the size of the DCC program and implemented improvements that reflect the true cost of servicing growth while at the same time ensuring the DCC program is understandable, transparent and aligns with best practice.

Internal Circulation:

Divisional Director, Planning, Climate Action & Development Services
Financial Analyst, Infrastructure
City Clerk
Manager, Building & Business Services
Manager, Development Engineering

Considerations not applicable to this report:

Legal/Statutory Procedural Requirements
Existing Policy
Financial/Budgetary Considerations
Communications Comments

Submitted by:

J. Shaw, Manager, Capital Planning & Asset Management

Approved for inclusion:

J. Sass, General Manager, Corporate Services

Attachments:

Attachment A – Letters from UDI and CHBA

December 16th, 2024

Joel Shaw

Manager, Capital Planning & Asset Management

City of Kelowna

1435 Water Street

Kelowna, BC, V1Y 1J4

Dear Joel Shaw,

Subject: Response to the City of Kelowna's Inflationary Increase in Development Cost Charges (DCCs)

On behalf of the Canadian Home Builders' Association of Central Okanagan (CHBA-CO), we would like to extend our appreciation for your decision to limit the increase in Development Cost Charges (DCCs) to an inflationary adjustment.

DCCs are a significant component of the overall cost of delivering new homes, and as you are aware, these costs are ultimately borne by the end user—the homebuyer. By adopting a strategy of incremental inflationary adjustments, you have taken a pragmatic approach that allows for more predictable and manageable cost planning.

We commend your recognition that large, sporadic increases in DCCs can have a destabilizing effect on housing affordability and the market as a whole. Smaller, steady adjustments not only provide clarity for homebuilders but also help to minimize financial shocks to prospective homeowners, aligning with our shared goal of maintaining attainable housing in the Central Okanagan.

As our region continues to grow, it's important to acknowledge that growth and economic prosperity benefit everyone in the community. The political belief that "growth should pay for growth" does not fully align with the desire for economic growth and the broader benefits it brings. Growth supports vibrant communities, thriving businesses, and better infrastructure, all of which serve the collective good. For this reason, we believe that all residents should contribute to growth, as everyone benefits from a thriving and expanding community.

Looking ahead, with significant changes expected to the DCC programs as announced by the provincial government for 2025, we encourage Council to remain mindful of the impacts that increased DCCs have on the cost of housing. These costs, when added to other government-imposed fees, can become prohibitive for homebuyers. For instance, recent GST reductions from the federal government and ongoing PST considerations from the provincial government are examples of other levels of government working to reduce their impact on the cost of housing. We will note that all three levels of government can collectively account for up to 30% of the cost of a new home depending on the region in BC. This underscores the need for coordination and balance across all levels of government to ensure housing affordability remains a priority.

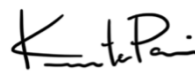
We value the collaboration and open dialogue between our organizations and look forward to continuing to work together in addressing housing challenges in our region. Should there be opportunities to provide further input or engage in discussions on DCC-related matters, we would be happy to participate and thank staff for the engagement we received in this update.

Thank you again for your thoughtful approach to this important issue.

Sincerely,



Cassidy deVeer
Interim Executive Officer
CHBA-CO



Krista Paine
President
CHBA-CO



**URBAN
DEVELOPMENT
INSTITUTE**
OKANAGAN

**SUITE 210
1460 PANDOSY STREET
KELOWNA, BC V1Y 1P3**

January 10, 2025

To: Joel Shaw

Manager, Capital Planning & Asset Management
1435 Water Street
Kelowna, BC, V1Y 1J4

Dear Joel Shaw,

RE: Proposed 2.5% Development Cost Charges (DCC) Inflationary Increase in 2025

On behalf of UDI Okanagan, representing over 200 Developers and thousands of individuals and business owners whose livelihoods depend on the building and real estate industry, we are writing to provide feedback regarding the City of Kelowna's proposed 2.5% increase to Development Cost Charges for 2025.

The development community appreciates the City's commitment to maintaining infrastructure funding that aligns with the region's growth needs. As an organization, we acknowledge the necessity of incremental periodic updates to DCCs to ensure that critical services and infrastructure keep pace with development.

However, increasing DCCs directly impacts the cost of development, which in turn raises the final cost of housing for end users. Additionally, DCC increases have a cascading effect on the price of all housing, as the price of resale homes is indexed to the price of new homes. Therefore, if the cost of new housing rises, so does the cost of existing housing.

We support the proposed 2.5% increase with the objective of providing a balanced approach that allows developers to plan financially while minimizing negative impacts on housing affordability. The caveat in this consideration is to remind Council that the development industry should not bear the responsibility of providing all infrastructure and amenities since the taxpayer reaps the benefit and therefore should bear some of the cost through property taxes.

The adage that 'growth pays for growth' is no longer sustainable and we must emphatically emphasize that DCC increases are challenging as the costs associated with development are skyrocketing and have an exponential impact on the viability of a project.

The development industry understands the partnership with the City of Kelowna in achieving the Provincially mandated housing target. To that end, we implore you to recognize the significant pressures on development costs, including rising construction expenses, labour shortages, and supply chain constraints.

Ultimately, this results in increased housing costs for the end user—a concern that stands in opposition to the shared goal of creating attainable housing options in Kelowna.

We appreciate the City of Kelowna’s efforts to balance infrastructure funding needs with the economic realities of the housing market. UDI Okanagan remains committed to working collaboratively with the City to support sustainable growth and achieve our mutual goal of fostering an inclusive, affordable, and thriving community.

Thank you for considering our feedback. Should you require additional input or wish to discuss this matter further, we welcome the opportunity to engage in dialogue.

Sincerely,



Charlene Thomas
Executive Director
Direct: ((250) 212 4488



City of
Kelowna

Development Cost Charge Update

January 20, 2025

10-Year Infrastructure Investment Forecast



\$2.57 Billion
investment in new,
upgraded & renewed
public infrastructure



73%
Allocated to
Transportation,
Buildings, Parks &
Airport



35%
External Funding
DCCs, partnerships &
grants

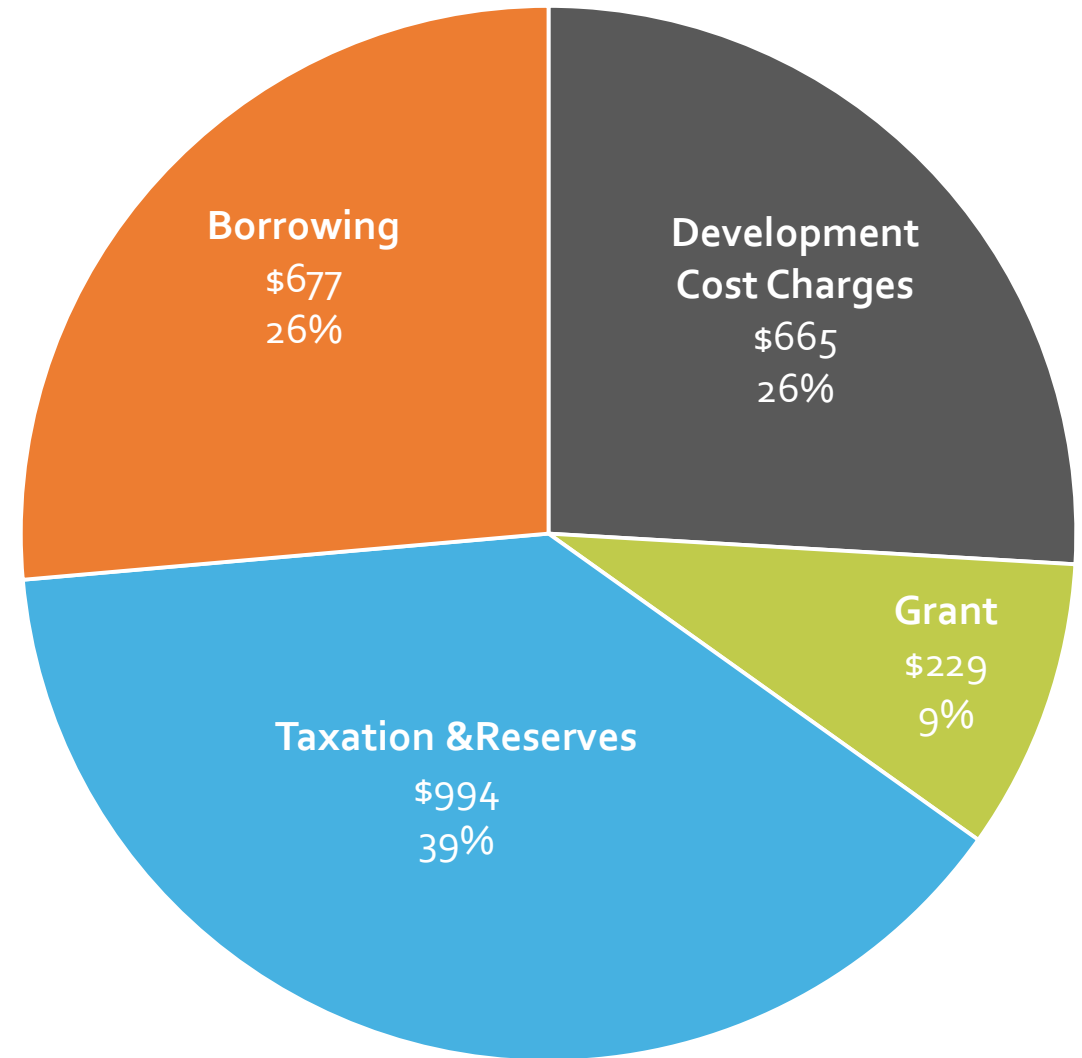


86%
of citizens satisfied in
level & quality of City
services

Capital Cost Centre	Last Capital Plan (\$ million)	This Capital Plan (\$ million)
Transportation	\$ 373	\$ 726
Buildings	\$ 416	\$ 441
Parks	\$ 288	\$ 358
Airport	\$ 371	\$ 342
Water	\$ 147	\$ 201
Wastewater	\$ 211	\$ 194
Stormwater	\$ 44	\$ 86
Real Estate	\$ 46	\$ 80
Vehicles	\$ 53	\$ 55
Solid Waste	\$ 73	\$ 52
Fire	\$ 14	\$ 18
Information Services	\$ 12	\$ 12
TOTAL	\$ 2,048	\$ 2,565

Funding the Capital Plan

- ▶ External funding: 35%
- ▶ General taxation & Reserves: 39%
- ▶ Borrowing: 26%



What Are DCCs?

- ▶ DCCs are fees collected from developers at subdivision or building permit.
- ▶ DCC Program equitably assigns costs to growth and benefit to existing.
- ▶ DCCs facilitate development by providing a method to fund infrastructure related to growth.

DCCs are used exclusively to fund transportation, utility, drainage and park infrastructure to support the demand from growth.

DCC Eligible Infrastructure

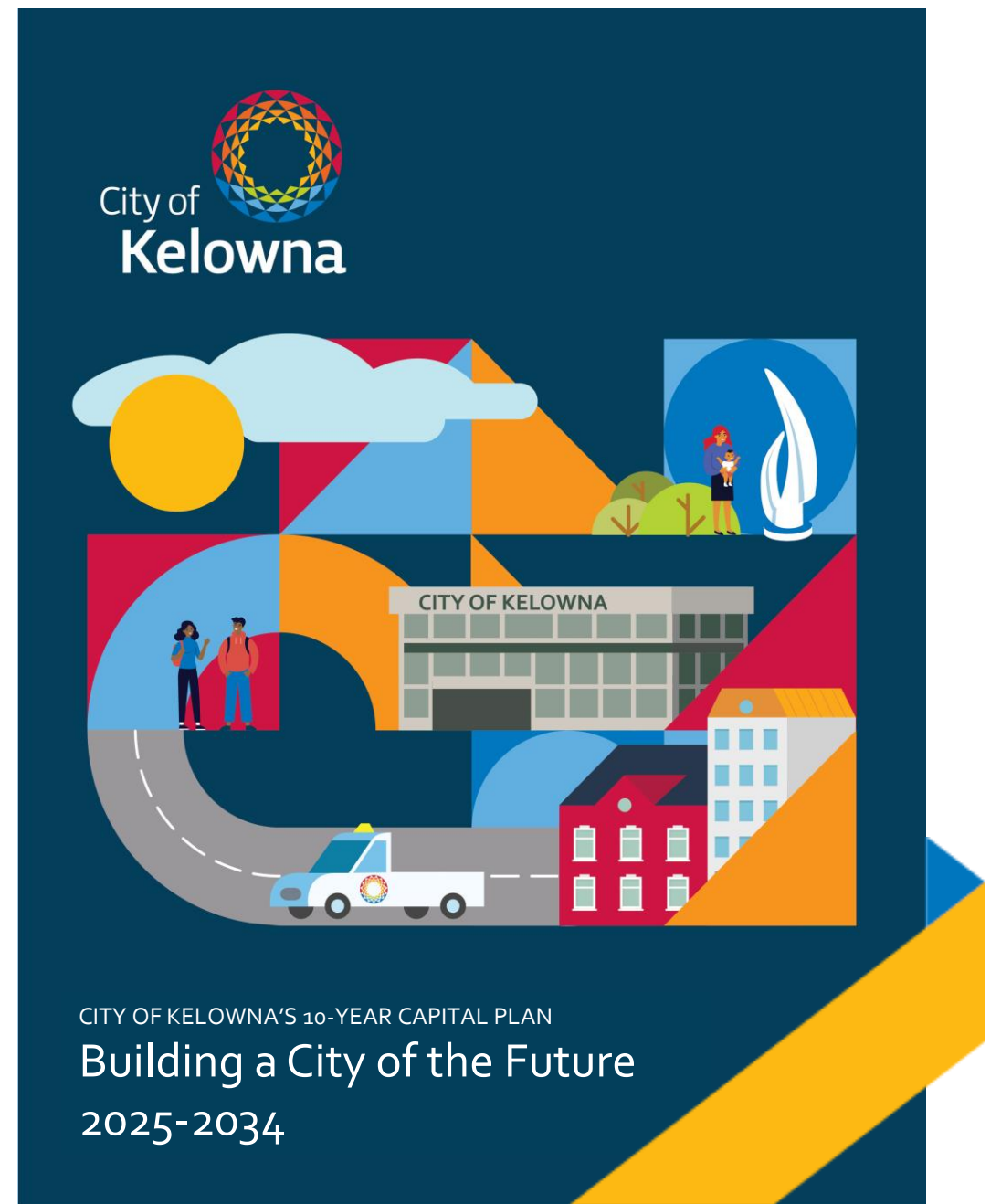
- ▶ Transportation
- ▶ Water
- ▶ Wastewater
- ▶ Drainage
- ▶ Parkland Acquisition & Improvement
- ▶ Firehalls
- ▶ Police Facilities
- ▶ Solid-waste Facilities
- ▶ Highway Interchanges

New eligible categories that are NOT currently in DCC Program.



Common Objective

Infrastructure !



Big Question

Who Pays ?



New
Development
(DCCs)

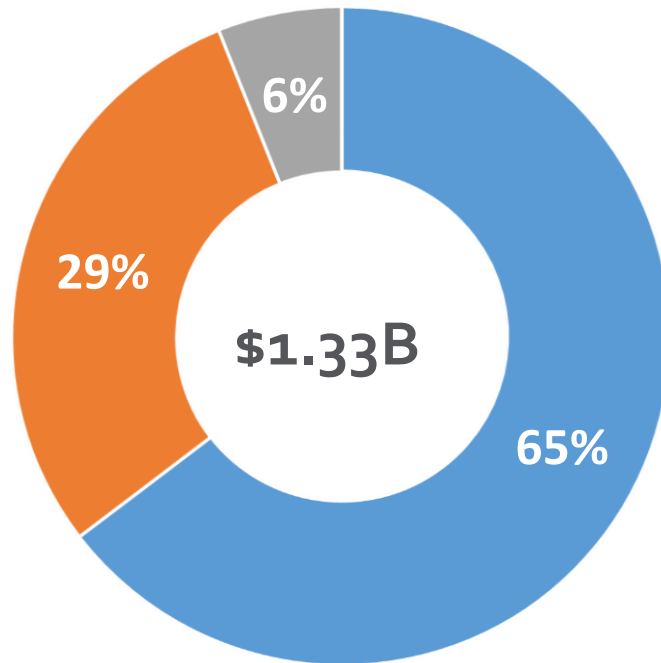


Existing
Residents
(Taxation)



c

DCC Program



- DCC Recoverable
- Municipal Share
- Grant/Other

	Amount (\$ millions)
Total Program	\$1,326
DCC Recoverable	\$857
Municipal Share	\$390
Grant/Other	\$80

Housing and DCCs

- ▶ Infrastructure needed to support housing.
- ▶ Accelerate delivery to meet housing targets.
- ▶ DCC represent 3-6% of residential purchase price.



Why Update the DCC Program?

- ▶ Last DCC Program Update in 2022.
- ▶ Infrastructure construction costs continue to rise.
- ▶ Smaller incremental increases as opposed to larger less frequent increases.



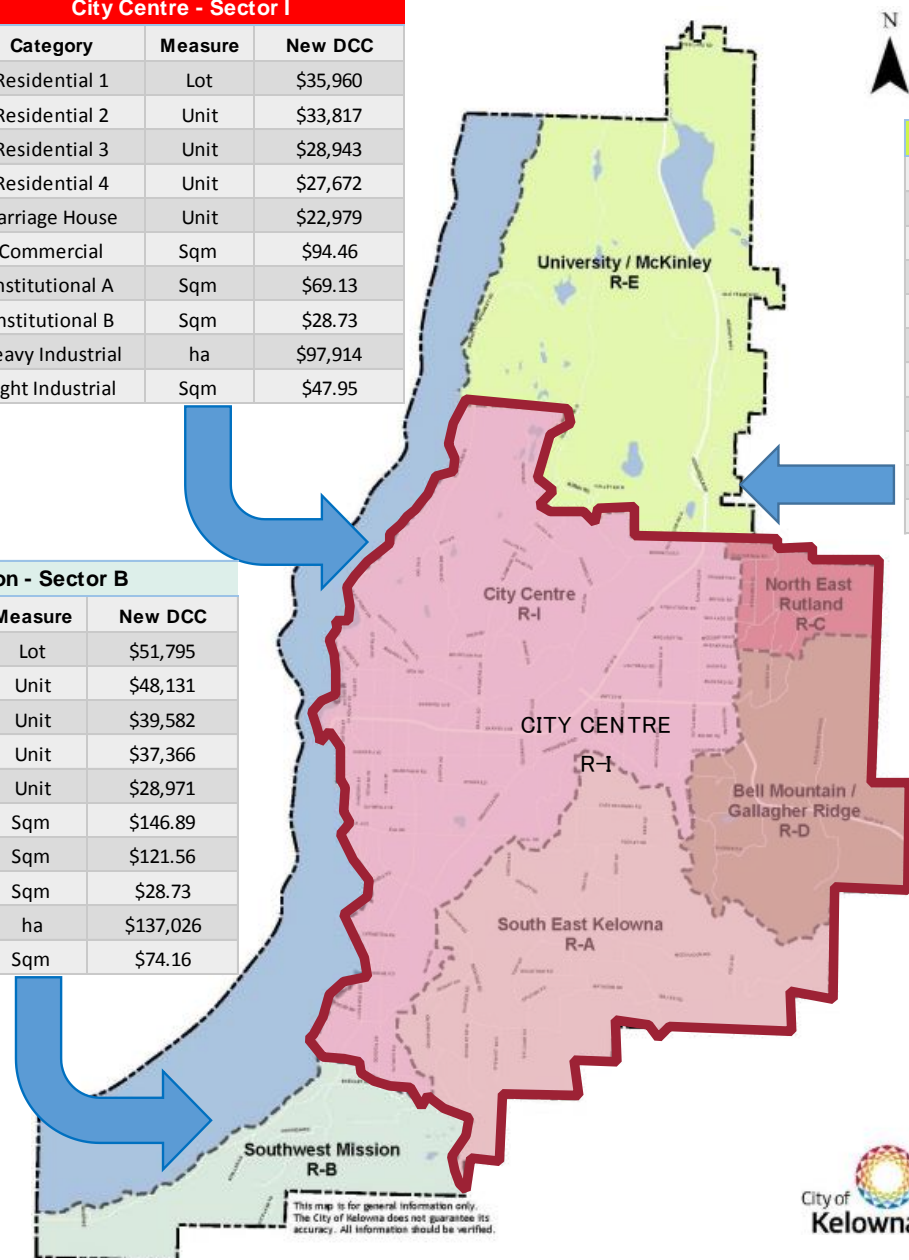
DCC Update

- ▶ 2.5% Inflationary Increase
- ▶ Effective March 1, 2025

City Centre - Sector I		
Category	Measure	New DCC
Residential 1	Lot	\$35,960
Residential 2	Unit	\$33,817
Residential 3	Unit	\$28,943
Residential 4	Unit	\$27,672
Carriage House	Unit	\$22,979
Commercial	Sqm	\$94.46
Institutional A	Sqm	\$69.13
Institutional B	Sqm	\$28.73
Heavy Industrial	ha	\$97,914
Light Industrial	Sqm	\$47.95

North of City Centre - Sector E		
Category	Measure	New DCC
Residential 1	Lot	\$42,845
Residential 2	Unit	\$40,041
Residential 3	Unit	\$33,569
Residential 4	Unit	\$31,887
Carriage House	Unit	\$25,584
Commercial	Sqm	\$117.25
Institutional A	Sqm	\$91.92
Institutional B	Sqm	\$25.34
Heavy Industrial	ha	\$111,774
Light Industrial	Sqm	\$59.35

SW Mission - Sector B		
Category	Measure	New DCC
Residential 1	Lot	\$51,795
Residential 2	Unit	\$48,131
Residential 3	Unit	\$39,582
Residential 4	Unit	\$37,366
Carriage House	Unit	\$28,971
Commercial	Sqm	\$146.89
Institutional A	Sqm	\$121.56
Institutional B	Sqm	\$28.73
Heavy Industrial	ha	\$137,026
Light Industrial	Sqm	\$74.16



This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.



Next steps

- ▶ Implement DCC rate increase by March 1, 2025.
- ▶ In-Stream Protection for 1-Year.
- ▶ 2025 initiate DCC update to consider new growth forecasts and infrastructure demand.



Questions?

For more information, visit kelowna.ca.



CITY OF KELOWNA

BYLAW NO. 12746

Amendment No. 1 to Development Cost Charge Bylaw No. 12420

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that the City of Kelowna Development Cost Charge Bylaw No. 12420 be amended as follows:

1. THAT Development Cost Charge Bylaw No. 12420 be amended by deleting Schedule 'A' and replacing it with Schedule 'A' attached to and forming part of this bylaw.
2. This bylaw may be cited for all purposes as "Bylaw No. 12746, being Amendment No. 1 to Development Cost Charge Bylaw No. 12420."
3. This bylaw shall come into full force and effect and is binding on all persons as of March 1, 2025.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Land Use	Residential 1	Residential 2	Residential 3	Residential 4	Carriage House	Commercial	Light Industrial	Heavy Industrial	Institutional A	Institutional B	Seasonal Agricultural	Seasonal Commercial
	Single-detached Units/Ha <= 15	15 < Units/Ha <= 35	35 < Units/Ha <= 85	85 < Units/Ha	(\$/Unit)	minimum charge 93 sq. mtr. (\$/m ² Floor Area)	minimum charge 93 sq. mtr. (\$/m ² Floor Area)	minimum charge 0.405 hectare (\$/Hectare Site Area)	minimum charge 93 sq. mtr. (\$/m ² Floor Area)	minimum charge 93 sq. mtr. (\$/m ² Floor Area)	minimum charge 0.405 hectare (\$/Hectare Site Area)	minimum charge 93 sq. mtr. (\$/m ² Floor Area)
Sector	(\$/Lot or Unit)	(\$/Lot or Unit)	(\$/Lot or Unit)	(\$/Unit)	(\$/Unit)	(\$/m ² Floor Area)	(\$/m ² Floor Area)	(\$/Hectare Site Area)	(\$/m ² Floor Area)	(\$/m ² Floor Area)	(\$/Hectare Site Area)	(\$/m ² Floor Area)
ROADS												
South Mission	R-B	28,036	25,344	18,837	17,163	10,608	46.42	69,249	92.83	Exempt	34,625	46.42
North of Main City	R-E	20,109	18,178	13,511	12,311	7,609	33.29	49,671	66.59	Exempt	24,836	33.29
Main City/Common	R-I	12,201	11,029	8,198	7,469	4,617	20.20	30,137	40.40	Exempt	15,069	20.20
WATER												
City-Wide	W-A	1,023	925	688	626	387	1.69	5,675	3.39	3.39	2,837	1.69
WASTEWATER TRUNKS												
City-Wide	S-A	1,956	1,768	1,314	1,197	740	3.24	10,844	6.48	6.48	5,422	3.24
WASTEWATER TREATMENT												
City-Wide	T-A	4,892	4,422	3,287	2,995	1,851	8.10	27,125	16.20	16.20	13,563	8.10
DRAINAGE												
City-Wide	D-A	720	504	288	216	216	2.16	5,399	2.66	2.66	2,700	1.44
PARKS												
Parkland Acquisition	P-A	8,545	8,545	8,545	8,545	8,545	7.07	10,554	Exempt	Exempt	5,277	7.07
Park Development	P-D	6,623	6,623	6,623	6,623	6,623	5.48	8,180	Exempt	Exempt	4,090	5.48