

# City of Kelowna

## Regular Council Meeting

### AGENDA



Monday, September 14, 2015

1:30 pm

Council Chamber

City Hall, 1435 Water Street

Pages

#### 1. Call to Order

This meeting is open to the public and all representations to Council form part of the public record. A live audio feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

#### 2. Confirmation of Minutes

6 - 12

Regular PM Meeting - August 24, 2015

#### 3. Development Application Reports & Related Bylaws

##### 3.1 1090 McKenzie Road, FH15-0001 - GP Sandher Holdings Ltd.

13 - 32

**Mayor to invite the Applicants or Applicants' Representative to come forward.**

To consider a staff recommendation NOT to consider a request for a farm help permit for proposed residences to accommodate 80 temporary agricultural workers, in addition to accommodations for 48 temporary agricultural workers already approved for the property.

##### 3.2 TA15-0007 - Micro Suite Text Amendment

33 - 38

To amend the Zoning Bylaw by establishing regulations dealing with sub-312 sq. ft. micro-suite housing.

##### 3.3 BL11131 (TA15-0007) - Micro Suite Housing Amendments to Zoning Bylaw No. 8000

39 - 40

To give Bylaw No. 11131 first reading in order to amend the City of Kelowna's Zoning Bylaw by establishing regulations dealing with sub-312 sq. ft. micro-suite housing.

##### 3.4 1981 Cross Road, Z15-0030 - Lorne Pearson

41 - 57

To rezone the subject property to facilitate a 12 lot subdivision in a form consistent with the Official Community Plan.

<b>3.5</b>	<b>1981 Cross Road, BL11134 (Z15-0030) - Lorne Pearson</b>	<b>58 - 58</b>
	To give Bylaw No. 11134 first reading in order to rezone the subject property to facilitate a 12 lot subdivision in a form consistent with the Official Community Plan.	
<b>3.6</b>	<b>4619 Gordon Drive, Z15-0036 - Dwight Schreiner &amp; Cheryl Hank</b>	<b>59 - 69</b>
	To rezone the subject property to facilitate the development of a carriage house.	
<b>3.7</b>	<b>4619 Gordon Drive, BL11135 (Z15-0036) - Dwight Schreiner &amp; Cheryl Hank</b>	<b>70 - 70</b>
	To give Bylaw No. 11135 first reading in order to rezone the subject property to facilitate development of a carriage house.	
<b>3.8</b>	<b>4077 Lakeshore Road, OCP15-0011 &amp; Z15-0031 - Greencorp. Ventures Inc.</b>	<b>71 - 97</b>
	To amend the Official Community Plan designation and Zoning of the subject property to facilitate a four unit residential development.	
<b>3.9</b>	<b>4077 Lakeshore Road, BL11136 (OCP15-0011) - Greencorp Ventures Inc.</b>	<b>98 - 98</b>
	<b>Requires a majority of all members of Council (5).</b>	
	To give Bylaw No. 11136 first reading in order to change the future land use designation of the subject property in order to facilitate a four unit residential development.	
<b>3.10</b>	<b>4077 Lakeshore Road, BL11137 (Z15-0031) - Greencorp Ventures Inc.</b>	<b>99 - 99</b>
	To give Bylaw No. 11137 first reading in order to rezone the subject property in order to facilitate a four unit residential development.	
<b>3.11</b>	<b>5305 and 5315 Main Street, TA15-0009 Zoning Bylaw Text Amendment</b>	<b>100 - 106</b>
	To allow for a retail liquor store on a site specific basis within the Kettle Valley Village Centre.	
<b>3.12</b>	<b>5305 and 5315 Main Street, BL11138 (TA15-0009) - Anthony and Susan Overton</b>	<b>107 - 107</b>
	To give Bylaw No. 11138 first reading in order to allow for a retail liquor store on the subject property.	
<b>3.13</b>	<b>TA14-0022 - Housekeeping Text Amendments</b>	<b>108 - 131</b>
	To seek approval for housekeeping text amendments to Zoning Bylaw 8000	
<b>3.14</b>	<b>BL11139 (TA14-0022) - Housekeeping Text Amendments to Zoning Bylaw No. 8000</b>	<b>132 - 135</b>
	To give Bylaw No. 11139 first reading in order to amend City of Kelowna Zoning Bylaw No. 8000.	



<b>3.15</b>	<b>BL11140 (TA14-0022) - Housekeeping Text Amendments to Zoning Bylaw No. 8000</b>	<b>136 - 145</b>
	To give Bylaw No. 11140 first reading in order to amend City of Kelowna Zoning Bylaw No. 8000.	
<b>3.16</b>	<b>BL11141 (TA14-0022) - Housekeeping Text Amendments to Zoning Bylaw No. 8000</b>	<b>146 - 152</b>
	To give Bylaw No. 11141 first reading in order to amend City of Kelowna Zoning Bylaw No. 8000.	
<b>3.17</b>	<b>605 Stirling Road, Z15-0024 - 1009440 BC Ltd.</b>	<b>153 - 167</b>
	To rezone the subject property to facilitate the development of a semi-detached dwelling on the subject property.	
<b>3.18</b>	<b>605 Stirling Road, BL11142 (Z15-0024) - 1009440 BC Ltd.</b>	<b>168 - 168</b>
	To give Bylaw No. 11142 first reading in order to rezone the subject property to facilitate the development of a semi-detached dwelling.	
<b>3.19</b>	<b>(South of) Academy Way, Z15-0006 - Watermark Development Ltd. &amp; City of Kelowna</b>	<b>169 - 191</b>
	To rezone portions of the subject properties in order to accommodate the development of a single family subdivision.	
<b>3.20</b>	<b>(S of) Academy Way, BL11143 (Z15-0006) - Watermark Development Ltd. &amp; City of Kelowna</b>	<b>192 - 194</b>
	To give Bylaw No. 11143 first reading in order to rezone portions of the subject property to accommodate the development of a single family subdivision.	
<b>3.21</b>	<b>1225 Lund Road, OCP14-0010 &amp; Z14-0020 - Melcor Lakeside Ltd.</b>	<b>195 - 198</b>
	To rescind all three readings given to Official Community Plan Bylaw No. 10992 and Rezoning Bylaw No. 10993 and direct Staff to close the files.	
<b>3.22</b>	<b>1225 Lund Road, BL10992 (OCP14-0010) - Melcor Lakeside Inc.</b>	<b>199 - 199</b>
	<b>Requires a majority of all members of Council (5).</b> To rescind Bylaw No. 10992 and close the file.	
<b>3.23</b>	<b>1225 Lund Road, BL10993 (Z14-0020) - Melcor Lakeside Inc.</b>	<b>200 - 200</b>
	To rescind Bylaw No. 10993 and close the file.	

#### **4. Bylaws for Adoption (Development Related)**

- 4.1 1924 and (Part of) Henkel Road, BL10940 (OCP14-0007) - Surinder Gosal and City of Kelowna** 201 - 203

**Requires a majority of all members of Council (5).**

To adopt Bylaw No. 10940 in order to change the future land use designation of the subject properties to accommodate the development of a 6 lot single family subdivision.

- 4.2 1908, 1924 and (Part of) Henkel Road, BL10941 (Z14-0002) - Surinder Gosal & City of Kelowna** 204 - 206

To adopt Bylaw No. 10941 in order to rezone the subject properties to accommodate the development of a 6 lot single family subdivision.

- 4.3 4975 Buckhaven Court, BL11072 (OCP15-0003) - Vincent & Pamela Blaskovich** 207 - 208

**Requires a majority of all members of Council (5).**

To adopt Bylaw NO. 11072 in order to change the future land use designation of the subject property to facilitate the development of a single family residential subdivision.

- 4.4 4975 Buckhaven Court, BL11073 (Z14-0057) - Vincent & Pamela Blaskovich** 209 - 210

To adopt Bylaw No. 11073 in order to rezone portions of the subject property to facilitate the development of a single family residential subdivision.

- 4.5 1285 Graham Road, BL11126 (Z15-0029) - W-Ten Development Ltd.** 211 - 211

To adopt Bylaw No. 11126 in order to rezone the subject property to construct a semi-detached dwelling.

#### **5. Non-Development Reports & Related Bylaws**

- 5.1 Policy and Regulation relating to Night Club/Bar Closing Times** 212 - 219

To amend Council Policy No. 359, Liquor Licensing Policy & Procedures, with regard to night club/bar closing times.

- 5.2 2015 Creative City Summit and Culture Days** 220 - 242

To provide an update regarding the 2015 Creative City Summit in Kelowna, and annual Culture Days activities.

- 5.3 Kelowna Memorial Park Cemetery Master Plan** 243 - 412

To endorse the Kelowna Memorial Park Cemetery Master Plan as a guide for future development of the Cemetery.

#### **6. Mayor and Councillor Items**

## 7. Termination



## City of Kelowna

### Regular Council Meeting

### Minutes

Date: Monday, August 24, 2015  
 Location: Council Chamber  
 City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Gail Given\*, Tracy Gray, Charlie Hodge, Brad Sieben, Mohini Singh and Luke Stack

Staff Present City Manager, Ron Mattiussi; City Clerk, Stephen Fleming; Cultural Services Manager, Sandra Kochan\*; Suburban & Rural Planning Manager, Todd Cashin\*; Community Planning Supervisor, Lindsey Ganczar\*; Building Inspections Supervisor, Terry Kowal\*; Financial Services Director, Genelle Davidson\*; Divisional Director, Corporate & Protective Services, Rob Mayne\*; Property Management Manager, Mike Olson\*; Real Estate Director, Derek Edstrom\*

(\* denotes partial attendance)

#### 1. Call to Order

Mayor Basran called the meeting to order at 1:32 p.m.

Mayor Basran advised that the meeting is open to the public and all representations to Council form part of the public record. A live audio feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

Councillor Given joined the meeting at 1:35 p.m.

#### 2. Confirmation of Minutes

Moved By Councillor Stack/Seconded By Councillor Hodge

R639/15/08/24 THAT the Minutes of the Regular Meetings of August 10, 2015 be confirmed as circulated.

Carried

#### 3. Public in Attendance

##### 3.1 Kelowna-Kasugai Sister City Association

Sandra Kochan, Cultural Services Manager

- Introduced Kelowna-Kasugai Sister City Association President, Cathy Jennens and Website Committee Chair, Ken Fix

Cathy Jennens, President, Ken Fix, Website Committee Chair, Kelowna-Kasugai Sister City Association

- Provided a PowerPoint Presentation summarizing the annual report highlights and responded to questions from Council.

#### 4. Development Application Reports & Related Bylaws

##### 4.1 1838 Heimlich Road, A15-0004 - Don & Diane Hickey

Staff:

- Displayed a PowerPoint presentation summarizing the application, reasons for staff's non-support and responded to questions from Council.

Don Hickey, Applicant

- Clarified that the property is 2 acres and not 6 acres.
- Confirmed he obtained permits and inspections for the office/suite space.
- Confirmed that there is a gas stove in the space.
- This is a good example of first class affordable housing. Confirmed the space has not been rented and that he is the only person that has lived in the suite.
- Confirmed he does not have farm status.
- Responded to questions from Council.

Moved By Councillor Stack/Seconded By Councillor Sieben

**R640/15/08/24** THAT Agricultural Land Reserve Appeal Application No. A15-0004 for *Lot 4 Section 8 TWP 26 ODYD Plan 22958*, located at *1838 Heimlich Road* for 'Non-Farm Use', pursuant to Section 20 of the *Agricultural Land Commission Act*, NOT be supported by Municipal Council;

AND THAT the Municipal Council directs staff to forward the subject application to the Agricultural Land Commission for consideration.

Carried

##### 4.2 1629-1649 KLO Road, A15-0006 - Western Global Enterprises Inc.

Staff:

- Displayed a PowerPoint presentation summarizing the application and responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor Hodge

**R641/15/08/24** THAT Agricultural Land Reserve Appeal Application No. A15-0006 for *Block 57 District Lot 131 ODYD Plan 186, Except Parcels C and D Plan B1813 and Plan KAP78678*, located at *1629 - 1649 KLO Road*, for a Non-Farm Use of agricultural land in the Agricultural Land Reserve, pursuant to Section 20(3) of the *Agricultural Land Commission Act*, be supported by Municipal Council;

AND THAT the Municipal Council directs staff to forward the subject application to the Agricultural Land Commission for consideration.

Carried

##### 4.3 285 Sadler Road, Z15-0032 - Thorsten Tropf

Staff:

- Provided a PowerPoint Presentation summarizing the application.



Moved By Councillor Donn/Seconded By Councillor DeHart

R642/15/08/24 THAT Rezoning Application No. Z15-0032 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 1, Section 26, Township 26, ODYD

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated August 24, 2015;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the requirements of the Ministry of Transportation and Infrastructure being completed to their satisfaction;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered subsequent to the requirements of Rutland Waterworks District being completed to their satisfaction.

Carried

#### 4.4 285 Sadler Road, BL11132 (Z15-0032) - Thorsten Tropf

Moved By Councillor Gray/Seconded By Councillor Hodge

R643/15/08/24 THAT Bylaw No. 11132 be read a first time.

Carried

#### 4.5 540 Osprey Avenue, Z15-0005 - 0958123 BC Ltd.

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Given/Seconded By Councillor Sieben

R644/15/08/24 THAT Rezoning Application No. Z15-0005 to amend City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot A District Lot 14 ODYD Plan EPP14200, located at 540 Osprey Avenue, Kelowna, BC from the RU6 - Two Dwelling Housing zone to the C4 - Urban Centre Commercial zone be, considered by Council.

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration.

AND THAT the final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning department dated August 24, 2015;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject property.

Carried

**4.6 540 Osprey Avenue, BL11133 (Z15-0005) - 958123 BC Ltd.**

Moved By Councillor Hodge/Seconded By Councillor Gray

R645/15/08/24 THAT Bylaw No. 11133 be read a first time.

Carried

**5. Bylaws for Adoption (Development Related)**

**5.1 BL11100 (TA14-0021) - New CD25 Light Industrial-Residential Mixed Use Zone**

Moved By Councillor Donn/Seconded By Councillor Hodge

R646/15/08/24 THAT Bylaw No. 11100 be adopted.

Carried

**5.2 205 Lougheed Road, BL11101 (OCP14-0023) Watermark Ventures Ltd.**

Moved By Councillor Donn/Seconded By Councillor Gray

R647/15/08/24 THAT Bylaw No. 11101 be adopted.

Carried

**5.3 205 Lougheed Road, BL11102 (Z14-0048) - Watermark Ventures Ltd.**

Moved By Councillor Donn/Seconded By Councillor Gray

R648/15/08/24 THAT Bylaw No. 11102 be adopted.

Carried

**5.4 3699 Highway 97 North, BL11111 (Z15-0028) - University Business Park Ltd.**

Moved By Councillor DeHart/Seconded By Councillor Singh

R649/15/08/24 THAT Bylaw No. 11111 be adopted.

Carried

**5.5 BL11114 (TA15-0006) - New C3rIs - Community Commercial (Retail Liquor Sales) and C3Ip - Community Commercial (Liquor Primary)**

Moved By Councillor DeHart/Seconded By Councillor Singh

R650/15/08/24 THAT Bylaw No. 11114 be adopted.

Carried

**5.6 2124 Pandosy Street, BL11124 (HRA15-0001) - F. Devillier Medical Prof. Corp. et al**

Moved By Councillor Hodge/Seconded By Councillor Donn

R651/15/08/24 THAT Bylaw No. 11124 be amended at third reading.

Carried  
Councillor Gray - Opposed



Moved By Councillor Hodge/Seconded By Councillor Donn

R652/15/08/24 THAT Bylaw No. 11124 as amended be adopted.

Carried  
Councillor Gray - Opposed

## 6. Non-Development Reports & Related Bylaws

### 6.1 Principles and Strategies for Financial Strength & Stability

Staff:

- Provided a summary of the principles and strategies for financial strength and stability; displayed a one page "Strategy" document and responded to questions from Council.

Moved By Councillor Given/Seconded By Councillor Gray

R653/15/08/24 THAT Council approve and endorse the City of Kelowna Principles & Strategies for Financial Strength & Stability documents as outlined in the Report from the Financial Services Director dated August 24, 2015.

Carried

### 6.2 155 Gray Road, Rutland Health Unit - Lease to Interior Health Authority

Staff:

- Provided a PowerPoint presentation summarizing the Interior Health Authority Lease.

Moved By Councillor Stack/Seconded By Councillor Sieben

R654/15/08/24 THAT Council approves the City entering into a five (5) year Lease Agreement, with Interior Health Authority, for the Rutland Health Unit, with the option to renew for an additional two (2) year terms of five (5) years each, in the form attached to the Report of the Manager, Property Management, dated August 19, 2015;

AND THAT the Mayor and City Clerk be authorized to execute the Lease Agreement.

Carried

### 6.3 1659 - 1683 Ethel Street -Proposed Road Closure and Land Exchange

Moved By Councillor Gray/Seconded By Councillor DeHart

R655/15/08/ THAT Council receives, for information, the Report from the Manager, Real Estate Services dated August 10, 2015, recommending that Council adopt the proposed road closure of a portion of lane adjacent to 1659 - 1683 Ethel Street;

AND THAT Bylaw No. 11130, being proposed road closure of a portion of land adjacent to 1659 - 1683 Ethel Street, be given reading consideration.

Carried

### 6.4 1659-1683 Ethel Street (Portion of), BL11130 - Road Closure Bylaw

Moved By Councillor Singh/Seconded By Councillor Hodge

R656/15/08/24 THAT Bylaw No. 11130 be given first, second and third reading.

Carried



## 7. Bylaws for Adoption (Non-Development Related)

### 7.1 BL11116 - Amendment No. 1 to Fire and Life Safety Bylaw No. 10760

Moved By Councillor Singh/Seconded By Councillor Sieben

R657/15/08/24 THAT Bylaw No. 11116 be adopted.

Carried

### 7.2 BL11117 - Amendment No. 11 to Bylaw Enforcement Bylaw No. 10475

Moved By Councillor Stack/Seconded By Councillor DeHart

R658/15/08/24 THAT Bylaw No. 11117 be adopted.

Carried

### 7.3 BL11125 - Amendment No. 1 to Sanitary Sewer Specified Area No. 18 Bylaw No. 7724 (Caramillo)

Moved By Councillor Stack/Seconded By Councillor DeHart

R659/15/08/24 THAT Bylaw No. 11125 be adopted.

Carried

### 7.4 1525 Dickson Avenue, BL11127, Housing Agreement Authorization Bylaw - Dickson Avenue Holdings Ltd.

Moved By Councillor Donn/Seconded By Councillor Gray

R660/15/08/24 THAT Bylaw No. 11127 be adopted.

Carried

### 7.5 2127 Ethel Street, BL11128, Housing Agreement Authorization Bylaw - Simple Pursuits Inc.

Moved By Councillor Donn/Seconded By Councillor Hodge

R661/15/08/24 THAT Bylaw No. 11128 be adopted.

Carried

## 8. Mayor and Councillor Items

Councillor Sieben:

- Spoke to his attendance at the Uptown Rutland Classic Car Show on August 16th and gave kudos to the event organizers.

Councillor Gray:

- Noted the Car Show at the Okanagan Sikh Temple on Saturday, August 29th at 10:00 a.m.

Mayor Basran:

- Spoke to his attendance at the Celebration of Life for Rene Bourgault last week.

9. Termination

This meeting was declared terminated at 3:06 p.m.

\_\_\_\_\_  
Mayor

/scf/acm

\_\_\_\_\_  
City Clerk

DRAFT

# REPORT TO COUNCIL



**Date:** July 13, 2015  
**RIM No.** 1210-24  
**To:** City Manager  
**From:** Community Planning Department (MS)  
**Application:** FH15-0001  
**Owner:** GP Sandher Holdings Ltd.  
**Address:** 1090 McKenzie Road  
**Applicant:** Biri Sandher  
Sukhwinderjit Sandher  
**Subject:** Farm Help Permit  
**Existing OCP Designation:** Resource Protection Area  
**Existing Zone:** A1 - Agriculture 1

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## 1.0 Recommendation

THAT Council NOT authorize the issuance of Development Permit No. FH15-0001 for *Lot 2 Section 25 TWP 26 ODYD Plan 486 Except (1) Parcel A Plan B7112 (2) Plans 19263 and 20308* for 1090 McKenzie Road, Kelowna, BC.

## 2.0 Purpose

To consider a staff recommendation NOT to consider a request for a farm help permit for proposed residences to accommodate 80 temporary agricultural workers, in addition to accommodations for 48 temporary agricultural workers already approved for the property.

## 3.0 Community Planning Department

Staff do not support the proposal to build a permanent structure to house 80 additional temporary farm workers, for a total of 128 farm workers, at 1090 McKenzie Road.

Staff from the Agricultural Land Commission has advised that a Non-Farm Use Application should be required to house temporary farm workers in permanent structures, unless the structures exist on the property.

Ministry of Agriculture guidelines for *Regulating Temporary Farm Worker Housing (TFWH) in the ALR*<sup>1</sup> states that a local government can regulate the maximum number of 40 workers per farm for orchards and vineyards.

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<sup>1</sup> Min. Of Ag., 2009. Regulating Temporary Farm Worker Housing in the ALR – Discussion Paper and Standards, Sustainable Agriculture Management Branch.

Other municipalities have bylaws that restrict the number temporary farm workers, or the area of the TFWH, or both on a single parcel. These include the Regional District of the Central Okanagan (RDCO), Abbotsford, Delta, Langley Township, Maple Ridge, Pitt Meadows and Richmond (see attached).

The RDCO regulates the size of TFWH to a maximum floor area of 186 m<sup>2</sup> for a minimum parcel size of 3.8 ha (9.4 acres) or a maximum of 250 m<sup>2</sup> where the farm operation is at least 40 ha (98.8 acres). In addition, the TFWH must be only a building or manufactured home placed on a temporary foundation or footings with no basement (see attached).

Council should consider:

- Potential impacts of RDCO policy that restricts the gross floor area of Temporary Agricultural Worker Dwellings (to 299 m<sup>2</sup>), neighbouring a lack regulation in Kelowna;
- The impacts of 128 people accommodated on a single property;
- The impacts of permanent structures on foundations on the land;
- Regulations of other municipalities for comparable conditions;
- Potential to house workers in existing dwellings on other owned properties;
- Potential impacts to neighbours (e.g. noise);
- Precedent for other operations; and
- Challenge of structure reuse, should the land be sold and the structures no longer required for farm worker housing to support multiple farms.

#### 4.0 Proposal

##### 4.1 Background

Staff do not support the proposal to build a permanent structure to house 80 additional temporary farm workers, for a total of 128 farm workers, at 1090 McKenzie Road.

In 2014, Council approved the renovations / addition for an existing dwelling to accommodate up to 48 temporary farm workers at 1090 McKenzie Road. The applicants own / operate themselves or in partnership with family, 22 orchards within the Central Okanagan. Their requirements for temporary farm workers will over the next few years as their crops mature. The property currently has a Section 219 Restrictive Covenant on the property permitting a maximum of 48 temporary farm workers. The floor area of the existing TFWH is 395 m<sup>2</sup> (4250 sq. ft) in size.

##### 4.2 Project Description

To meet the needs of their operation, the applicants are proposing to build housing to accommodate an additional 80 temporary farm workers on 1090 McKenzie Road, for a total of 128 to be housed in permanent structures on the property.

The applicants own (partially or wholly) other orchards with dwellings on it. However, they see the efficiency in housing many workers on one site, in terms of transportation for their operation, as opposed to having them housed on multiple sites.

Staff understands that some of their other holdings house temporary workers. In 2014, Council approved a Farm Help Housing Permit to house 21 temporary workers at 1240 Latta Road. In 2007, staff approved a fourplex for farm worker housing at 2775 Dunster Road.

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[http://www2.gov.bc.ca/gov/DownloadAsset?assetId=5351C7B431F4418985DFC0C6036E1128&filename=800221-1\\_temp\\_farm\\_worker\\_housing\\_mar09.pdf](http://www2.gov.bc.ca/gov/DownloadAsset?assetId=5351C7B431F4418985DFC0C6036E1128&filename=800221-1_temp_farm_worker_housing_mar09.pdf)

#### 4.3 Legislative Context and Agricultural Land Commission

According to Section 18 of the Agricultural Land Commission Act (2002)<sup>2</sup>, a local government may not approve more than one residence on a parcel within the ALR unless the additional residences are necessary for farm use.

Staff at the Agricultural Land Commission was consulted, and their suggestion was that temporary farm workers should be housed in temporary or reused housing, but not permanent structures. ALC provided the direction that permanent structures would require a non-farm use application to the Agricultural Land Commission. (See attached email).

#### 4.4 Foreign Farm Workers in Canada

The SAWP Program, together with the BC Agriculture Council, establishes standards for housing foreign farm workers. The housing is required to be inspected twice per year by an accredited inspector for the SAWP program, once prior to arrival of the workers, and once during the season. A condition of this Farm Help Permit is that the housing complies with SAWP / BC Agriculture Council standards.

#### 4.5 Ministry of Agriculture - Regulating Temporary Farm Worker Housing in the ALR<sup>3</sup>

The Ministry of Agriculture - Regulating Temporary Farm Worker Housing in the ALR - Discussion Paper and Standards<sup>4</sup> indicates that a municipality is able to limit the number of temporary farm workers on a single site to 40 workers.

Other municipalities within the province regulate the number of farm workers per farm operation, maximum floor area of Temporary Farm Worker Housing (TFWH), minimum farm size, minimum lot size, minimum setbacks, time occupancy limits, and a combination of these regulations. For example, Delta stipulates a minimum lot size of 4.0 ha, (10 acres), a maximum of 42 workers per lot, and a maximum area of 420 m<sup>2</sup>. Langley has a maximum of 10 workers/4 ha, to a maximum of 40 persons on site, and a maximum of 400m<sup>2</sup>, from April 1<sup>st</sup> to November 30<sup>th</sup>. Richmond regulates TFWH to a minimum lot size of 8.09 ha (20 acres), 30 workers maximum and a maximum of 300 m<sup>2</sup> floor area. Abbotsford limits floor area to a maximum of 200 m<sup>2</sup> if the farm is less than 40 ha (98.8 acres), and 300 if the farm is greater than 40 ha (98.8 acres). The existing TFWH at 1090 McKenzie Road is 395 m<sup>2</sup> (4250 sq. ft) in size and has a maximum of 48 temporary farm workers.

According to the Summary of Local Government Regulations for TFWH, the municipalities of Abbotsford, Delta, Langley Township, Maple Ridge, Pitt Meadows and Richmond regulate either the number of farm workers on a single site, have a maximum floor area, have a minimum lot and farm operation size, or a combination of these regulations (Table attached).

<sup>2</sup> RSBC, 2002. Agricultural Land Commission Act, 2002, Section 18.

<sup>3</sup> Min. Of Ag., 2009. Regulating Temporary Farm Worker Housing in the ALR – Discussion Paper and Standards, Sustainable Agriculture Management Branch. [http://www2.gov.bc.ca/gov/DownloadAsset?assetId=5351C7B431F4418985DFC0C6036E1128&filename=800221-1\\_temp\\_farm\\_worker\\_housing\\_mar09.pdf](http://www2.gov.bc.ca/gov/DownloadAsset?assetId=5351C7B431F4418985DFC0C6036E1128&filename=800221-1_temp_farm_worker_housing_mar09.pdf)

<sup>4</sup> Min. Of Ag., 2009. Regulating Temporary Farm Worker Housing in the ALR – Discussion Paper and Standards, Sustainable Agriculture Management Branch. [http://www2.gov.bc.ca/gov/DownloadAsset?assetId=5351C7B431F4418985DFC0C6036E1128&filename=800221-1\\_temp\\_farm\\_worker\\_housing\\_mar09.pdf](http://www2.gov.bc.ca/gov/DownloadAsset?assetId=5351C7B431F4418985DFC0C6036E1128&filename=800221-1_temp_farm_worker_housing_mar09.pdf)



#### 4.6 Site Context

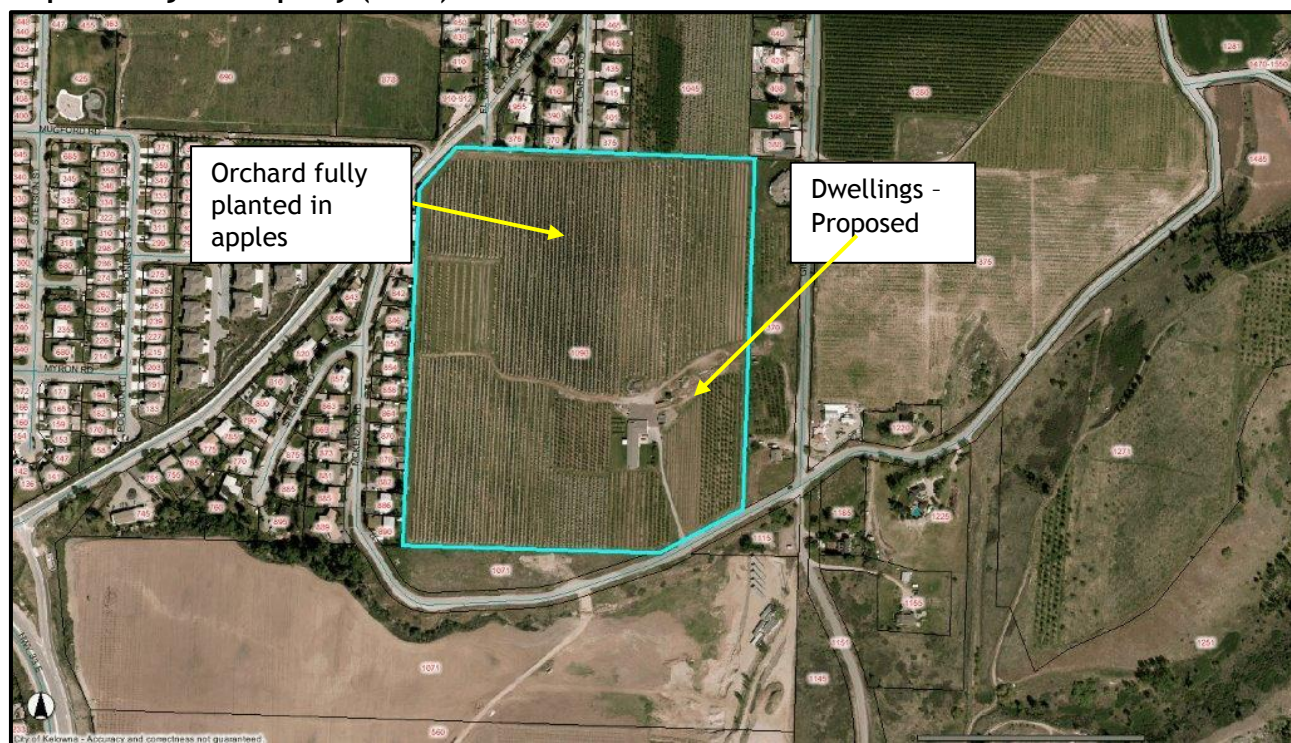
The subject property is an agricultural property of approximately 12.9 hectares (31.8 acres) in the Rutland Bench Sector and is in the Agricultural Land Reserve (ALR). The subject property is one of over 93 hectares (230 acres) farmed by the applicant in the Kelowna area. The subject property is fully planted in apples.

The subject property zoning and land uses are shown in table and maps below.

**Table 1: Zoning and Land Use of Adjacent Property**

Direction	Zoning Designation	Land Use	ALR
North	A1 - Agriculture 1 / RU6 - Two Dwelling Housing	Agricultural / Residential	Yes / No
West	A1 - Agriculture 1 / RU1 - Residential / RU4 Low Density Cluster Housing	Rural Residential / Residential	No
South	A1 - Agriculture 1	Agricultural / Public Service Utilities	Yes
East	A1 - Agriculture 1	Agricultural	Yes

**Map 1 - Subject Property (2012)**





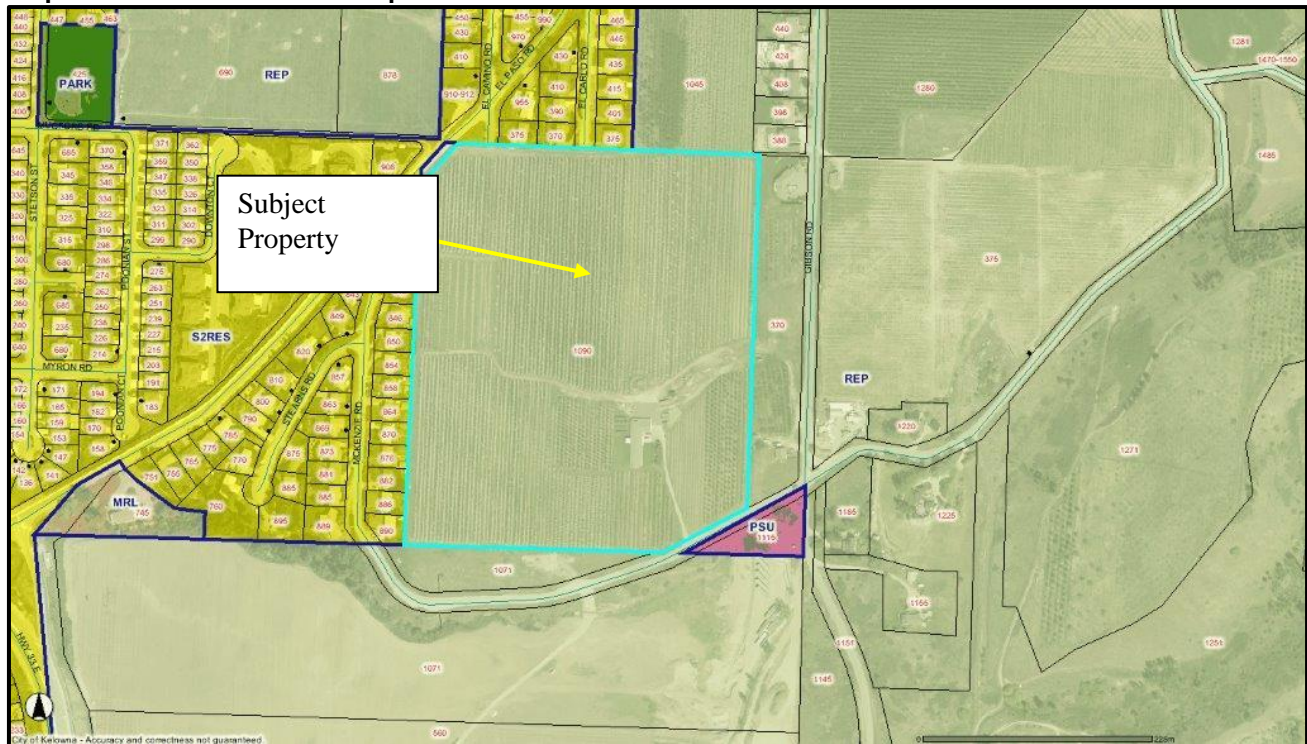
Map 2 - ALR Map



Map 3 - Neighbourhood Context



Map 4 - Future Land Use Map



## 5.0 Application Chronology

Date of Application Received:	February 6, 2015
Date of Referral Comments Received:	March 6, 2015
Date Council Approved AAC:	April 13, 2015
Agricultural Advisory Committee	June 11, 2015

The above noted application was reviewed by the Agricultural Advisory Committee at the meeting held on @ and the following recommendations were passed:

### MOVED BY Keith Duhaime/SECONDED By Ed Schiller

THAT the Agricultural Advisory Committee recommends that Council support an application to the Agricultural Land Commission for a Farm Help Permit for proposed residences to accommodate 80 temporary agricultural workers in addition to accommodations for 48 temporary agricultural workers already approved for the property located at 1090 McKenzie Road.

**CARRIED**

### ANECTDOTAL COMMENT:

The Agricultural Advisory Committee supported the application for a Farm Help Permit for proposed residences as this format centralizes sewer and water in one area and will accommodate many workers in one place. Will provide for better planning resources.



## 6.0 Alternate Recommendation

THAT Council authorizes the issuance of Development Permit No. FH14-0001 for *Lot 2 Section 25 TWP 26 ODYD Plan 4586 Except (1) Parcel A Plan B7112 (2) Plans 19263 and 20308*, located on *1090 McKenzie Road*, Kelowna, BC subject to the following:

1. Approval from the Agricultural Land Commission through a Non-Farm Use Application.
2. Restrictive Covenant specifying the use to be restricted to Temporary Farm Workers only, and requiring the removal of the structure if not used for the intended use for a continuous period of two years.

**Report prepared by:**

---

Melanie Steppuhn

**Reviewed by:**

☐

Todd Cashin, Suburban and Rural Planning Manager

**Approved for Inclusion:**

☐

Doug Gilchrist, Divisional Director, Community Planning & Real Estate

### Attachments:

Attachment A - Policies

Attachment B - Technical Comments

Agricultural Land Commission Email (M. Collins, April, 2015)

RDCO Bylaw 871 Section 3.25

Table 2 - Summary of Local Government Regulations for TFHW<sup>5</sup>

Subject Property Map

Site Plans and Elevations

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<sup>5</sup> Min. Of Ag., 2009. Regulating Temporary Farm Worker Housing in the ALR – Discussion Paper and Standards, Sustainable Agriculture Management Branch.  
[http://www2.gov.bc.ca/gov/DownloadAsset?assetId=5351C7B431F4418985DFC0C6036E1128&filename=800221-1\\_temp\\_farm\\_worker\\_housing\\_mar09.pdf](http://www2.gov.bc.ca/gov/DownloadAsset?assetId=5351C7B431F4418985DFC0C6036E1128&filename=800221-1_temp_farm_worker_housing_mar09.pdf)

# SCHEDULE A - Policies



**Subject:** 1090 McKenzie Rd - Farm Help Housing

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## **1.1 Ministry of Agriculture - Temporary Foreign Worker Housing<sup>1</sup>**

### **Purpose & Goals**

The purpose of establishing the criteria is to meet the agriculture industry's need for temporary farm worker housing in a manner that minimizes the loss of agricultural land and addresses local government concerns. These criteria will:

- meet the needs of the agriculture industry;
- minimize the residential impact of TFWH in the agricultural area;
- minimize loss and/or fragmentation of agricultural land due to TFWH; and
- minimize the risk of TFWH being used for non-farm purposes.

### **Minimum Farm Unit Size**

The minimum farm unit size on which *TFWH* can be located is 4 hectares.

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<sup>1</sup> Min. Of Ag., 2009. Regulating Temporary Farm Worker Housing in the ALR - Discussion Paper and Standards, Sustainable Agriculture Management Branch. [http://www2.gov.bc.ca/gov/DownloadAsset?assetId=5351C7B431F4418985DFC0C6036E1128&filename=800221-1\\_temp\\_farm\\_worker\\_housing\\_mar09.pdf](http://www2.gov.bc.ca/gov/DownloadAsset?assetId=5351C7B431F4418985DFC0C6036E1128&filename=800221-1_temp_farm_worker_housing_mar09.pdf)

# SCHEDULE B - Technical Comments



**Subject:** 1090 McKenzie Rd - Farm Help Housing

---

## 1.1 Agricultural Land Commission (ALC)

ALC staff recommend that temporary farm workers should be housed in temporary or existing housing, but not new permanent structures. Their direction was that permanent structures would require a Non-Farm Use Application to the ALC. (Email attached).

## 1.2 Building & Permitting Department

Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this structure(s).

Spatial calculations are required at time of permit application to ensure that the unprotected opening between the two buildings meet minimum code requirements.

## 1.3 Development Engineering Department

The Development Engineering comments regarding this application to permit additional accommodations to ultimately house 128 seasonal workers on the subject property are as follows:

### General

This application does not trigger any off-site infrastructure upgrades.

### Wastewater

The on-site treatment and disposal of wastewater is under the jurisdiction of the Public Health Officer.

A gravity wastewater connection to the Municipal Sewer collection system appears to be physically possible with a potential service off El Paso Road. The El Paso frontage is estimated at 450 m across the property from the proposed accommodations.

A connection to the Municipal Sewer collection system would be subject to the cost of installing a service to the property line on El Paso and the cost of the connection area #21 (McKenzie Bench) charge which would have to be determined based on the potential load generated by the development.

## 1.4 RCMP

The RCMP's only concern with this application is safe pedestrian accessibility to and from local amenities to this location given the large numbers of farm workers expected to reside at this property.

## **1.5 Fire Department**

The following will be required:

- A fire alarm shall be installed, as per BCBC 2012 Division B section 3.2.4.1(j) in a residential occupancy with sleeping accommodation for more than 10 persons. Requirements of Section 9.10.19 - Smoke Alarms of the BCBC 2012 are to be met in smaller trailers accommodating 8 people each.
- Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required.
- Engineered Fire Flow calculations are required to determine Fire Hydrant requirements as per the City of Kelowna Subdivision Bylaw #7900. Should a hydrant be required on this property, it shall be private.
- A visible address must be posted as per City of Kelowna By-Laws.
- A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD or DVD to facilitate Fire Department pre-planning for this structure. The fire safety plan should clearly detail the unique requirements for this structure, including turn around/radius.
- All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met.
- Contact Fire Prevention Branch for fire extinguisher requirements and placement.

## **1.6 Fortis BC Inc. Electric**

There are primary distribution facilities within McKenzie Road. There is currently an overhead extension within the boundaries of the subject property providing service to the existing structures, however these facilities are not presently protected by adequate land rights.

The applicant is responsible for costs associated with any change to the existing service, if any, as well as the provision of appropriate land rights where required. Otherwise, FortisBC Inc. (Electric) has no concerns with this circulation.

In order to initiate the design process, the customer must call 1-866-4FORTIS (1-866-436-7847). It should be noted that additional land rights issues may arise from the design process but can be dealt with at that time, prior to construction.

## Melanie Steppuhn

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**From:** Collins, Martin J ALC:EX [Martin.Collins@gov.bc.ca]  
**Sent:** Wednesday, March 11, 2015 9:41 AM  
**To:** Melanie Steppuhn  
**Subject:** RE: 1090 McKenzie Road - Farm Help Dwelling

Melanie

This is to confirm that the ALC does not support the development of two 40 unit structures at 1090 Makenzie Road for temporary farm worker housing.

Although the farm workers may be employed on the "larger farm" consisting of multiple parcels, it is suggested that other parcel(s) be considered for this facility. The reason why the ALC does not support the proposal is because there is no certainty that the "larger farm", as it is currently configured (comprising multiple parcels) will continue to be owned by a single entity, and that the farm worker housing will be necessary in the future on the subject parcel. In addition, potentially cultivable land will be utilized on the property, reducing its agricultural potential.

As suggested it may be more appropriate that another parcel of the "larger farm" accommodate the farm worker housing, preferably on a portion of a property which is already debilitated for agriculture. If the applicant believes that there are no other viable options for a farm worker housing facility, the City might explore other options that limit housing on other parcels comprising the "larger farm", or which seek to bind titles (by covenant) or consolidate properties to ensure that the "larger farm" entity is retained in its current configuration.

Finally, if the City is uncertain about the necessity of the farm worker housing units, then a non-farm use application may be submitted to the ALC for its review.

Regards,

**Martin Collins**  
Regional Planner  
Agricultural Land Commission  
#133 4940 Canada Way  
Burnaby, BC, V5G 4K6  
[martin.collins@gov.bc.ca](mailto:martin.collins@gov.bc.ca)  
604-660-7021

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**From:** Melanie Steppuhn [<mailto:MSteppuhn@kelowna.ca>]  
**Sent:** Tuesday, March 10, 2015 4:08 PM  
**To:** Collins, Martin J ALC:EX  
**Subject:** 1090 McKenzie Road - Farm Help Dwelling

Hi Martin,

A few weeks ago in a phone call you gave me some feedback regarding a request for temporary farm worker housing for 80 people, on top of an additional permanent dwellings for 48 workers, already approved by Council last year.

## Regional District of the Central Okanagan - Zoning Bylaw 871

### 3.25 Temporary Agricultural Worker Dwellings and Accommodation

*Temporary Agricultural Worker Dwellings and Accommodation* are subject to the following regulations:

1. A minimum *parcel* size of 3.8 ha (9.4 acres) is required to permit a *Temporary Agricultural Worker Dwellings and Accommodation*.
2. The *Temporary Agricultural Worker Dwellings and Accommodation* shall be limited to a maximum *building gross floor area* of 186 m<sup>2</sup> (2002.1 sq. ft.), except that where the owner of a farm operation can document by ownership records or copies of leases registered in the Land Title Office that the farm operation is at least 40 ha (98.8 acres) in size, a maximum *building gross floor area* of 250 m<sup>2</sup> (2,691.0 sq. ft.) for *Temporary Agricultural Worker Dwellings and Accommodation* per farm operation shall be permitted.
3. The *Temporary Agricultural Worker Dwellings and Accommodation* shall be used for the temporary accommodation of seasonal agricultural workers who are employed by the owner of the *parcel* to work in the owner's agricultural operation.
4. The *parcel* upon which the accommodation is located is classified as a "farm" under the Assessment Act.

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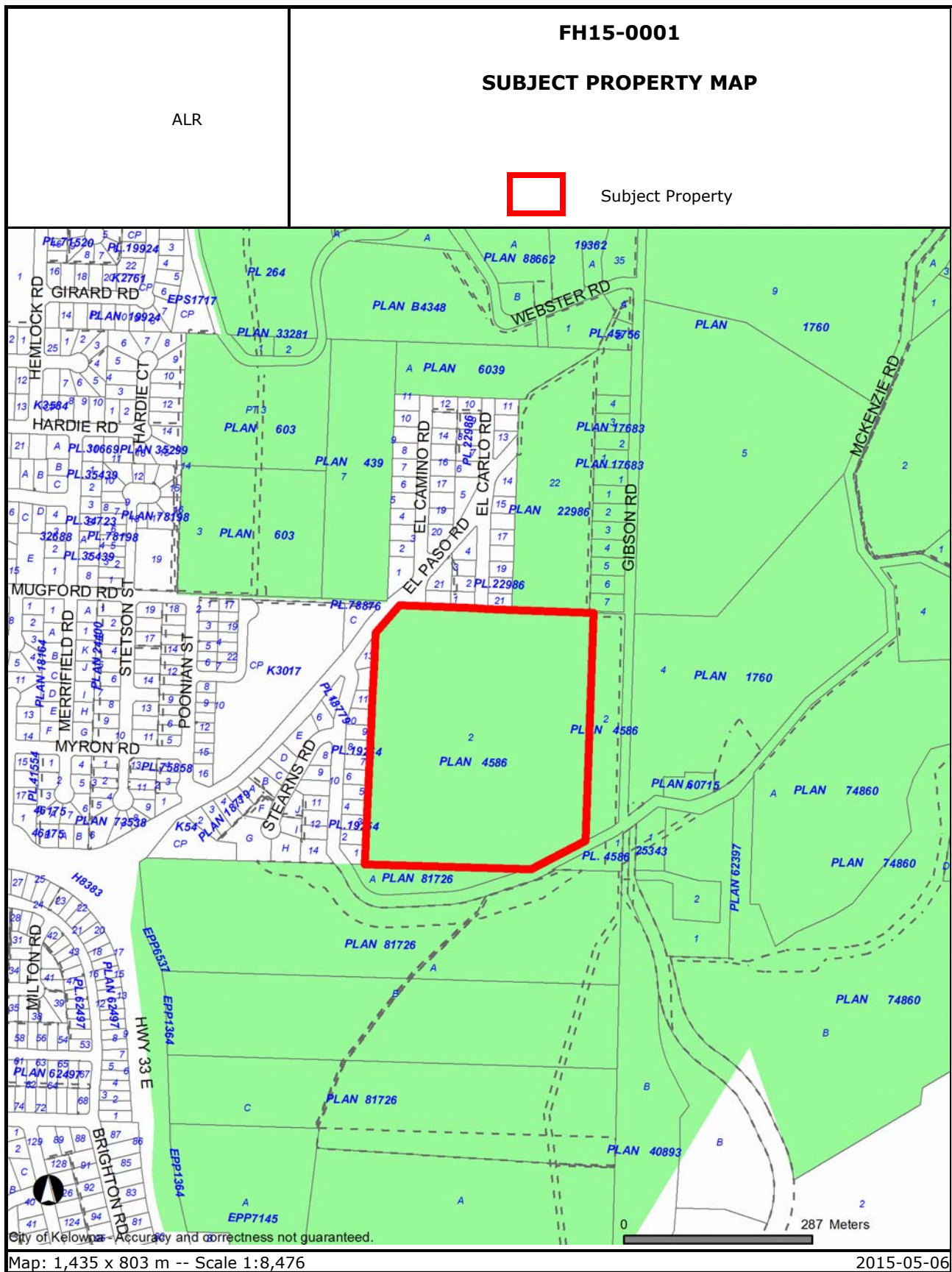
REGIONAL DISTRICT OF CENTRAL OKANAGAN

ZONING BYLAW #871

5. A *Temporary Agricultural Worker Dwellings and Accommodation* is a *building or manufactured home* placed on a temporary foundation or footings with no basement.
6. The required minimum *setback* of a *Temporary Agricultural Worker Dwellings and Accommodation building* from any *parcel line* is 15.0 m (49.2 sq. ft.).
7. The required maximum *setback* of a *Temporary Agricultural Worker Dwellings and Accommodation building* from a principal residence is 15.0 m (49.2 ft.).
8. One parking space for every 30.0 m<sup>2</sup> (322.9 sq. ft.) of *gross floor area* of a *Temporary Agricultural Worker Dwellings and Accommodation* is required in addition to those required for the principal dwelling.
9. The owner of the *parcel* shall enter into a restrictive covenant, under the Land Title Act, with the Regional District of Central Okanagan, that states:
  - 9.1 A statutory declaration shall be filled out with local government annually stating the *building* will only be used for *Temporary Agricultural Worker Dwellings and Accommodation* for a specified period of time;
  - 9.2 only used by temporary farm workers and that the owner will remove or decommission the housing if vacant for two consecutive years;
  - 9.3 the *Temporary Agricultural Worker Dwellings and Accommodation* applies to farms registered with a Federal and/or Provincial seasonal agricultural workers program or is for the accommodation of workers employed by those farms.

**TABLE 2: Summary of Local Government Regulations for TFWH**

Local Government	Minimum Farm Size	Minimum Lot Size	Maximum Workers per Farm Operation	Maximum Floor Area per Farm Operation	Minimum Setbacks	Occupancy Time Limits	Other Conditions
Abbotsford Zoning Bylaw S.210.10 <i>Accessory Seasonal Employee Residential Use</i>	3.8 ha = A1 8 ha = A2	3.8 ha	Not specified	200 m <sup>2</sup> (2153 ft <sup>2</sup> ) if farm <40 ha  300 m <sup>2</sup> (3,229 ft <sup>2</sup> ) if farm >40 ha	9 m from exterior II 3 m from interior II  15 m from watercourse	Specified on statutory declaration	<ul style="list-style-type: none"> <li>Lot classified as “farm” under <i>B.C. Assessment Act</i></li> <li>Berry or vegetable only</li> <li>TFWH must be on same lot as owner’s home</li> <li>Adult member of owner’s immediate family works full-time on the farm</li> <li>Remove if no longer needed</li> </ul>
Delta Zoning Bylaw, 2750 Ap. 2008 <i>(Migrant Farm Worker Housing)</i> Bylaw No. 6600 S.501-510	8 ha	4 ha	42 max	420 m <sup>2</sup>	6 m from front & ext lot lines  15 m from other lot lines 30 m from dwelling on adjacent lot	Specified on statutory declaration	<ul style="list-style-type: none"> <li>Lot classified as “farm” under <i>B.C. Assessment Act</i></li> <li>Workers must be hired through HRSDC foreign worker program</li> <li>Restrictive covenant</li> <li>Homeplate</li> </ul>
Langley Township Zoning Bylaw 2500 S.201.3 <i>Temporary Farm Accommodation</i>	4 ha	4 ha	10 persons /4 ha 40 max	400 m <sup>2</sup>		April 1 – Nov. 30	<ul style="list-style-type: none"> <li>Lot is operated as a bona fide farm</li> <li>Must be occupied by an employee of the owner</li> </ul>
Maple Ridge <i>Accessory Employee Residential Use</i>	1.7 – 2 ha	1.7 – 2 ha	Not specified	279 m <sup>2</sup> or 10% lot area, whichever is less	3 m from any residence	Not specified	<ul style="list-style-type: none"> <li>Restrictive covenant</li> </ul>
Pitt Meadows Zoning Bylaw 1250 S. 7.1.14 <i>Seasonal Farm Accommodation</i>	2 ha	2 ha	10 persons/4 ha 40 workers max	400 m <sup>2</sup> (10 m <sup>2</sup> per employee)	30 m from residences on adjacent lots <sup>1</sup>	April 1 – Nov. 30	<ul style="list-style-type: none"> <li>Lot classified as “farm” under <i>B.C. Assessment Act</i></li> </ul>
<i>Accessory Seasonal Employee Residential Use</i>	8 ha based (cumulative area of all lots provided lots are contiguous)	4.05 ha	10 persons/4 ha 40 workers max’ up to 40 ha 150 workers max on agl holding of 40.5+ ha 250 workers max on agl holding of 405+ ha 60 persons max per building 1 building / lot	400 m <sup>2</sup> (13.01 m <sup>2</sup> per employee)	500 m from any other TFWH	Specified on statutory declaration	<ul style="list-style-type: none"> <li>Lot classified as “farm” under <i>B.C. Assessment Act</i></li> <li>Berry or horticulture only</li> <li>Restrictive covenant</li> <li>\$25,000 deposit</li> <li>TFWH on same lot as owner’s home and a member of the owner’s immediate family is employed full time on farm</li> <li>Owner enters into housing agreement with PM</li> </ul>
Richmond OCP Bylaw 7100 & Zoning Bylaw 5300 <i>Seasonal Farm Labour Accommodation</i>	8.09 ha (20 ac)	8.09 ha (20 ac)	30 max	300 m <sup>2</sup> (3,229 ft <sup>2</sup> )	Same as other farm dwellings	10 months in any 12 month period	<ul style="list-style-type: none"> <li>Lot classified as ‘farm’ under <i>BC Assessment Act</i></li> <li>Rezoning required</li> <li>1 building/ farm operation</li> <li>Manufactured dwelling only, remove if not needed</li> </ul>

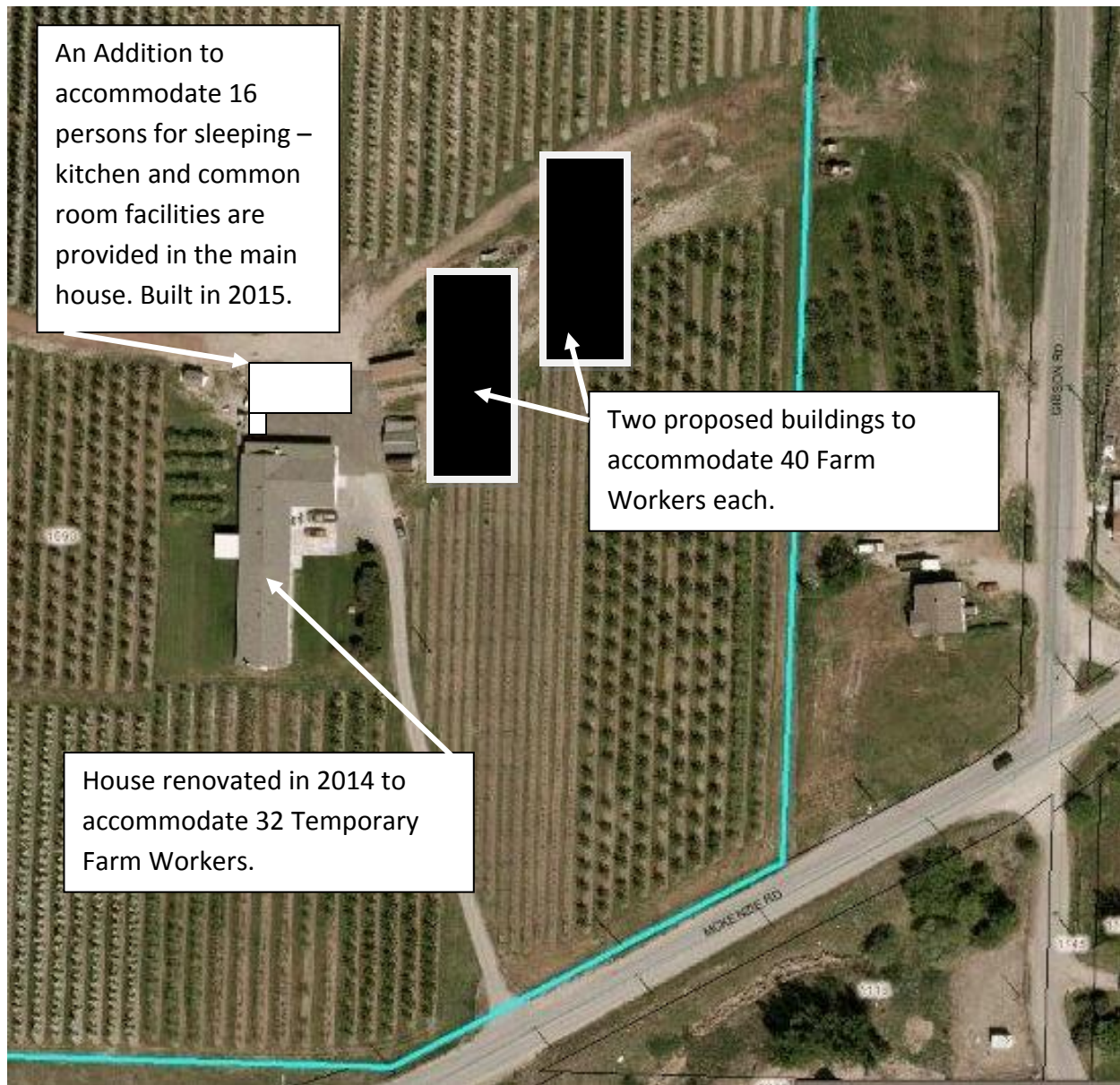


Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.



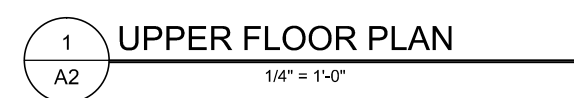
## 1090 McKenzie Road - Proposed Farm Worker Housing FH15-0001

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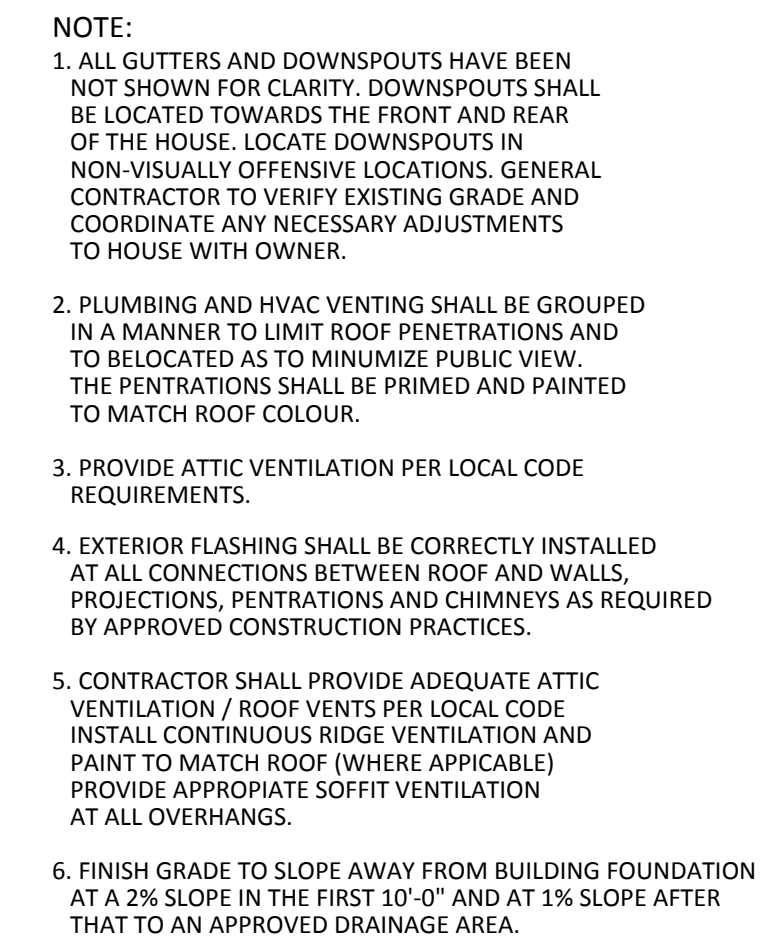
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DRAWN	RAH	SHEET NO.
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SCALE	1/4"=1'-0"	
DATE	02.20.2015	


A2

Rev. 0

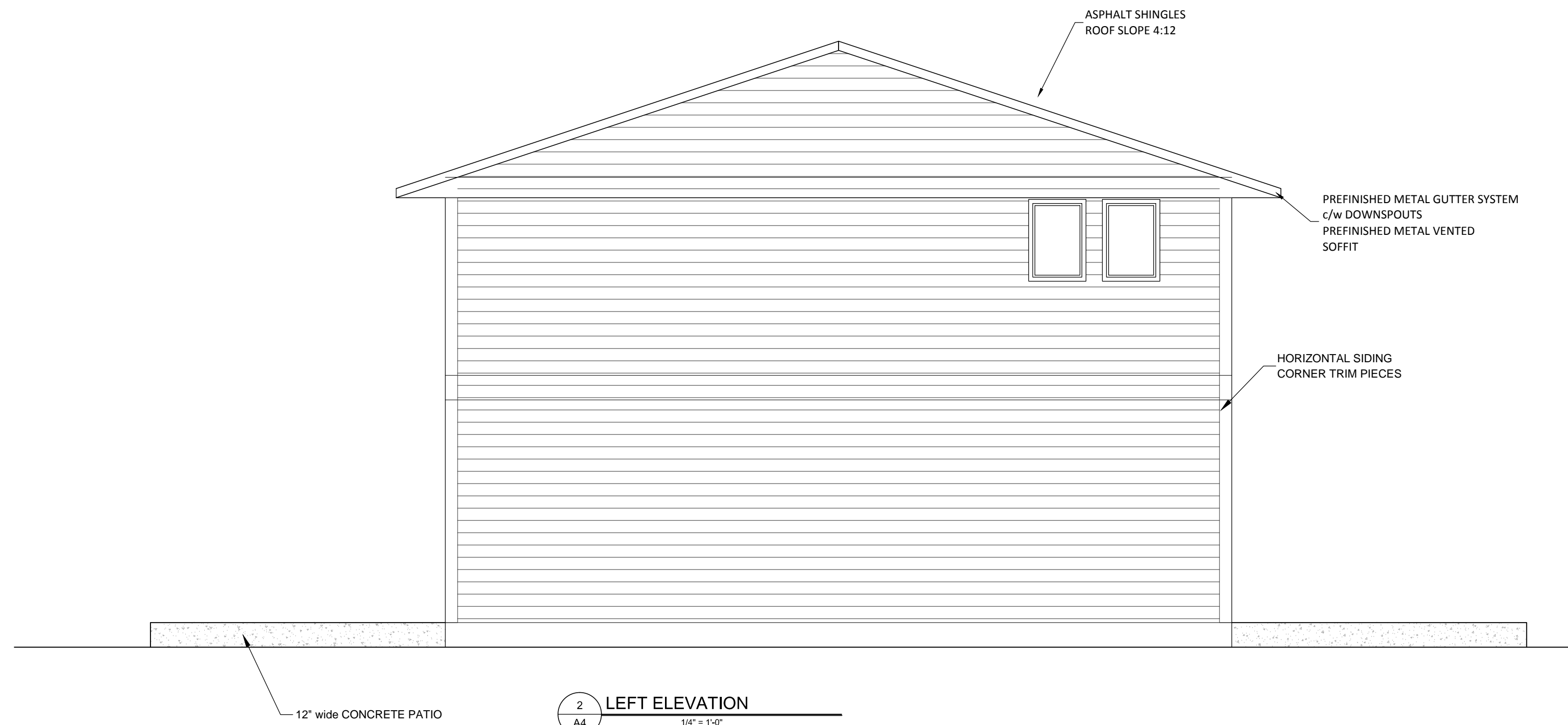


2 RIGHT ELEVATION  
A3  $1/4" = 1'-0"$



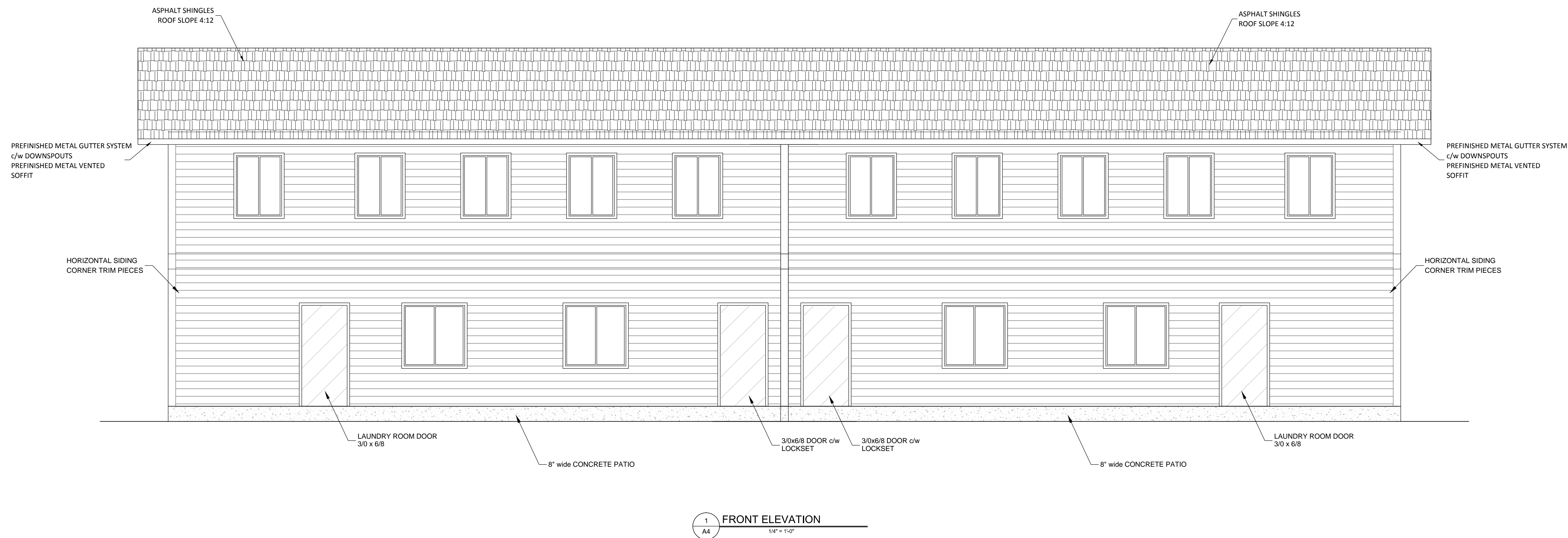
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<div style="text-align:center;"><p>HOLDEN'S DRAUGHTING &amp; DESIGN</p><p>832 SALICIER AVENUE KEOLWNA, B.C. VYV-6A3</p><p><b>H.D.D.</b></p><p>Phone: 250.868.0862 Fax: 250.868.0862 Email: r-holden@shaw.ca</p></div>				
PROJECT				
<div style="text-align:center;"><p>J.P.SANDHERS 1090 MCKENZIE ROAD KEOLWNA, B.C.</p></div>				
SHEET TITLE				
<div style="text-align:center;">ELEVATIONS</div>				
DRAWN	RAH		SHEET NO.	
CHECKED	J.P.S.		A3	
SCALE	1/4"=1'-0"			
DATE	02.20.2015		Rev. 0	





- NOTE:
1. ALL GUTTERS AND DOWNSPOUTS HAVE BEEN NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. GENERAL CONTRACTOR TO VERIFY EXISTING GRADE AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.
  2. PLUMBING AND HVAC VENTING SHALL BE GROUPED IN A MANNER TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AS TO MINIMIZE PUBLIC VIEW. THE PENETRATIONS SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOUR.
  3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
  4. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOF AND WALLS, PROJECTIONS, PENETRATIONS AND CHIMNEYS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
  5. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATION / ROOF VENTS PER LOCAL CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF (WHERE APPLICABLE). PROVIDE APPROPRIATE SOFFIT VENTILATION AT ALL OVERHANGS.
  6. FINISH GRADE TO SLOPE AWAY FROM BUILDING FOUNDATION AT A 2% SLOPE IN THE FIRST 10'-0" AND AT 1% SLOPE AFTER THAT TO AN APPROVED DRAINAGE AREA.

NOTE:  
ALL DOORS AND WINDOWS SHOWN  
ON THE ELEVATIONS ARE FOR  
SUGGESTION ONLY.  
EXACT DOORS ARE TO BE SELECTED  
BY THE OWNER.



DATE	NO.	BY	REVISION
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<b>HOLDEN'S DRAUGHTING &amp; DESIGN</b> 832 SAUCIER AVENUE KELOWNA, B.C. V1Y-6A3 Phone: 250.868.0962 Fax: 250.868.0962 Email: r-holden@shaw.ca H.D.D.			
PROJECT <b>J.P.SANDHERS</b> 1090 MCKENZIE ROAD KELOWNA, B.C.			
SHEET TITLE <b>ELEVATIONS</b>			
DRAWN <b>RAH</b>	SHEET NO. <b>A4</b>		
CHECKED <b>J.P.S.</b>	Rev. 0		
SCALE <b>1/4"=1'-0"</b>			
DATE <b>02.20.2015</b>			

## 32

Zoning Bylaw No. _____			
No.	Section	Proposed	Explanatory Note
1.	<b>2.3.3</b> Add definition of Micro Suite Housing	<b>MICRO SUITE HOUSING</b> means multiple housing where individual dwelling units are less than 29 sq. m in area.	Adds definition of Micro Suite Housing
2.	<b>9.11</b> Add Section for Micro Suites	<p>9.11 MICRO SUITE HOUSING</p> <p>9.11.1 Micro-suite housing is only permitted on lots where the use is permitted in the zone, in the following areas:  Urban Centers as defined in the Official Community Plan  The University South Village Center as defined in the Official Community Plan</p> <p>9.11.2 Micro-Suite Housing must be located within 400 m of a bus stop or transit station.</p>	Adds Specific Use Section for Micro-Suites
3.	<b>13.10 RM4</b> Transitional Low Density Housing Add Micro-suite use	<p>Add as a principal use to 13.10.2 Principal Uses:</p> <p>Micro-Suite Housing</p>	Adds Micro-Suite Housing use
4.	<b>13.11 - RM5</b> Medium Density Housing Add Micro-suite use	<p>Add as a principal use to 13.11.2 Principal Uses:</p> <p>Micro-Suite Housing</p>	Adds Micro-Suite Housing use

5.	<b>13.12 - RM6 High Rise Apartment Housing</b> Add Micro-suite use	Add as a principal use to 13.12.2 Principal Uses: Micro-Suite Housing	Adds Micro-Suite Housing use
6.	<b>14.4 C4 - Urban Centre Commercial</b> Add Micro-suite use	Add as a principal use to 14.4.2 Principal Uses: Micro-Suite Housing	Adds Micro-Suite Housing use
7.	<b>14.7 C7 - Central Business Commercial</b> Add Micro-suite use	Add as a principal use to 14.4.2 Principal Uses: Micro-Suite Housing	Adds Micro-Suite Housing use
7.	<b>Section 19 CD20</b> Add Micro-suite use	Add as a principal use to Section 19.1.2 Principal Uses: 1.2 Principal Uses: Micro-Suite Housing	Adds Micro-Suite Housing use
7.	<b>Section 19 CD22 - Schedule 7 CD22 Sub Areas A &amp; B</b> Add Micro-suite use	Add as a principal use to Section 19, CD22 Schedule 7 7.2 Principal Uses: Micro-Suite Housing	Adds Micro-Suite Housing use



# REPORT TO COUNCIL



**Date:** August 24, 2015  
**RIM No.** 1250-04  
**To:** City Manager  
**From:** Community Planning, Community Planning & Real Estate  
**File Number:** TA15-0007  
**Subject:** Micro Suite Text Amendment

---

## **1.0 Recommendation**

THAT Zoning Bylaw Text Amendment Application No. TA15-0007 to amend City of Kelowna Zoning Bylaw No. 8000 as described in Attachment A to the Report from the Community Planning Department dated August 24, 2015 be considered by Council;

AND THAT the Zoning Bylaw Text Amending Bylaw be forwarded to a Public Hearing for further consideration.

## **2.0 Purpose**

To amend the Zoning Bylaw by establishing regulations dealing with sub-312 sq. ft. micro-suite housing.

## **3.0 Community Planning**

Micro-suites are an innovative niche form of housing that have the potential to serve a function in Kelowna's housing mix. They are presently treated as any other form of multi-family housing, rather than being recognized as a unique form of housing. The proposed bylaw amendments will address that and regulate micro-suites separately from traditional multi-family development.

The bylaw amendments will direct micro-suite development to the urban centers and near the university, where this form of housing is most likely to succeed in the long term. Allowing micro-suite housing in lower density areas without easy access to amenities and concentrated transportation options would likely lead to future challenges, as residents would pressure Council to provide those amenities and services.

## **4.0 Proposal**

### **4.1 Background**

In 2008 the Province updated the *Local Government Act* legislation pertaining to Development Cost Charges. This update included a DCC payment exemption for new residential units with sizes

less than 29m<sup>2</sup> (312 sq. ft). The intent at the time was to support the creation of small affordable housing units.

Initially, there was no developer interest in the smaller suites. However, in late 2014 several applications for micro-suite projects were submitted to the City.

In May of this year, Council directed staff to develop Zoning Bylaw Amendments to restrict micro-suite housing to areas of the city where there are sufficient amenities and transit options to support micro-suite housing.

## 4.2 Bylaw Amendments

The proposed bylaw amendments are intended to distinguish micro-suite housing from other forms of multi-family housing. Because micro-suite housing will always be very small, staff anticipate that residents in micro-suites will take advantage of amenities outside of the home, such as parks, shopping and recreational activities. The proposed bylaw amendments would restrict micro-suite housing to identified Urban Centers or the University area, where there are more amenities available than in suburban neighbourhoods.

The bylaw also defines Micro-Suite Housing and restricts the form of housing to certain higher-density residential and mixed use zones. The zones where the Micro-Suites would be permitted are:

- RM4 - Transitional Low Density Housing
- RM5 - Medium Density Multiple Housing
- RM6 - High Rise Apartment Housing
- C4 - Urban Centre Commercial
- C7 - Central Business Commercial
- CD20 - Comprehensive University Development
- CD22 - Central Green Comprehensive Development

The bylaw will also require that any new Micro-Suite housing be within 400 m, or approximately a ¼ of a mile, of a transit stop. This is not expected to be an issue in any of the Urban Centres, where transit is readily available.

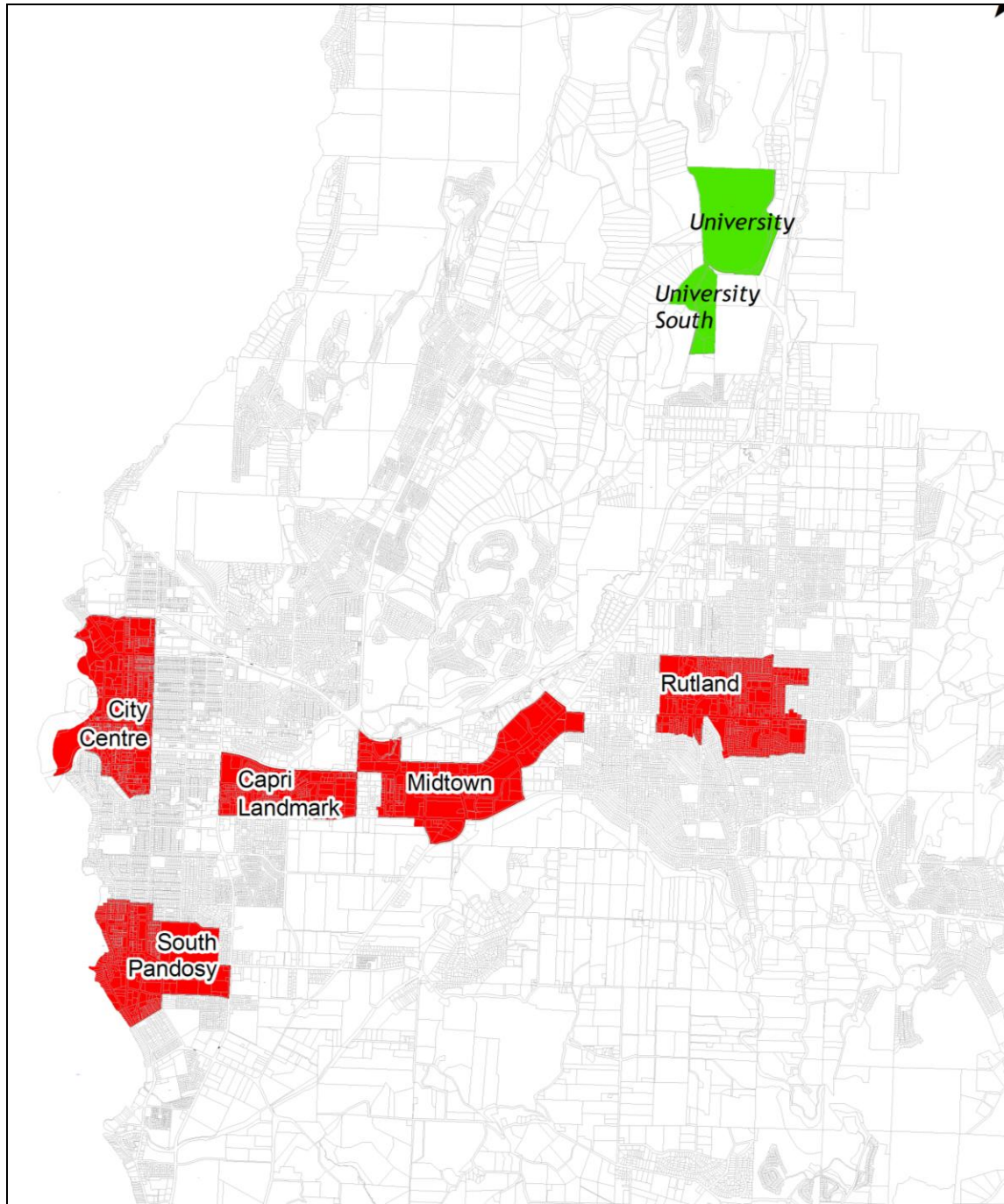


Figure 1 - Urban Centres and University South

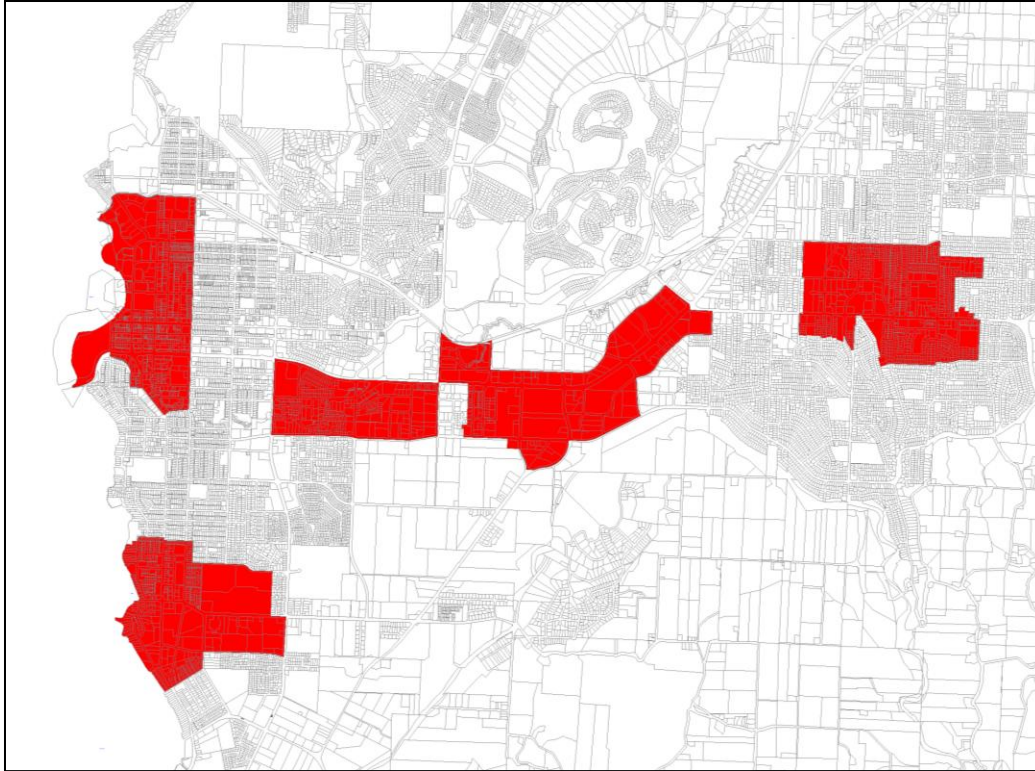


Figure 2 Urban Centers

## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Compact Urban Form.** Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Complete Communities.** Support the development of complete communities with a minimum intensity of approximately 35 - 40 people and/or jobs per hectare to support basic transit service - a bus every 30 minutes.

Report prepared by:

Ryan Roycroft, Planner

Approved for Inclusion:



Ryan Smith, Community Planning Department Manager

**Attachments:**

Bylaw Amendments

**CITY OF KELOWNA**  
**BYLAW NO. 11131**  
**TA15-0007 - Micro Suite Housing Amendments to the Zoning**  
**Bylaw No. 8000**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended as follows:

- a) **Section 2 - Interpretation, 2.3 General Definitions, 2.3.3** be amended by adding a new definition for **MICRO SUITE HOUSING** in its appropriate location that reads as follows:

**"MICRO SUITE HOUSING** means **multiple housing** where individual dwelling units are less than 29 sq. m in area."

- b) **Section 9 - Specific Use Regulations** be amended by adding a new **9.11 MICRO SUITE HOUSING** section that reads:

**"9.11 MICRO SUITE HOUSING**

9.11.1 Micro-suite housing is only permitted on lots where the use is permitted in the zone, in the following areas:

- Urban Centers as defined in the Official Community Plan
- The University South Village Center as defined in the Official Community Plan

9.11.2 Micro-Suite Housing must be located within 400 m of a bus stop or transit station."

- c) **Section 13-Urban Residential Zones, 13.10 RM4 - Transitional Low Density Housing, 13.10.2 Principal Uses** be amended by adding in its appropriate location a new principal use, **"Micro-Suite Housing"** and renumbering subsequent subparagraphs.
- d) **Section 13-Urban Residential Zones, 13.11 RM5 - Medium Density Multiple Housing, 13.11.2 Principal Uses** be amended by adding in its appropriate location a new principal use, **"Micro-Suite Housing"** and renumbering subsequent subparagraphs.
- e) **Section 13-Urban Residential Zones, 13.12 RM6 - High Rise Apartment Housing, 13.12.2 Principal Uses** be amended by adding in its appropriate location a new principal use, **"Micro-Suite Housing"** and renumbering subsequent subparagraphs.

- f) **Section 14 - Commercial Zones, 14.4 C4 - Urban Centre Commercial/C4rls - Urban Centre Commercial (Retail Liquor Sales)/C4lps - Urban Centre Commercial (Liquor Primary)/C4lp/rls - Urban Centre Commercial (Liquor Primary/Retail Liquor Sales), 14.4.2 Principal Uses** be amended by adding in its appropriate location a new principal use, **"Micro-Suite Housing"** and renumbering subsequent subparagraphs.
- g) **Section 14 - Commercial Zones, 14.7 C7 - Central Business Commercial/C7rls - Central Business Commercial (Retail Liquor Sales)/C7lps - Central Business Commercial (Liquor Primary)/C7lp/rls - Central Business Commercial (Liquor Primary/Retail Liquor Sales), 14.7.2 Principal Uses** be amended by adding in its appropriate location a new principal use, **"Micro-Suite Housing"** and renumbering subsequent subparagraphs.
- h) **Schedule "B" - Comprehensive Development Zones, CD20 - Comprehensive University Development Zone, 1.2 Principal Uses**, be amended by adding in its appropriate location a new principal use, **"Micro-Suite Housing"** and renumbering subsequent subparagraphs.
- i) **Schedule "B" - Comprehensive Development Zones, CD22 - Central Green Comprehensive Development Zone, Schedule 7 - CD22 Sub-Areas A&B Zoning, 7.2 Principal Uses**, be amended by adding in its appropriate location a new principal use, **"Micro-Suite Housing"** and renumbering subsequent subparagraphs.
- j) This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act

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(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# REPORT TO COUNCIL



**Date:** September 14, 2015

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (TY)

**Application:** Z15-0030

**Owner:** Lorne Pearson

**Address:** 1981 Cross Road

**Applicant:** Aplin Martin Consultants Ltd

**Subject:** Rezoning Bylaw

**Existing OCP Designation:** S2RES - Single/Two Unit Residential

**Existing Zone:** A1 - Agriculture 1

**Proposed Zone:** RU2 - Medium Lot Housing

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## 1.0 Recommendation

THAT Rezoning Application No. Z15-0030 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 2 Section 4 Township 23 ODYD Plan 10134 Except Plan H8323, located at 1981 Cross Road, Kelowna, BC from the A1 - Agricultural 1 zone to the RU2 - Medium Lot Housing zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the conditions of approval as outlined in Schedule (A) attached to the Report from the Community Planning Department dated September 14, 2015;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the requirements of the Glenmore-Ellison Improvement District being completed to their satisfaction as outlined in Schedule (B) attached to the Report from the Community Planning Department dated September 14, 2015 ;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the issuance of a Preliminary Layout Review Letter by the Approving Officer;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject property.

## 2.0 Purpose



To rezone the subject property to facilitate a 12 lot subdivision in a form consistent with the Official Community Plan.

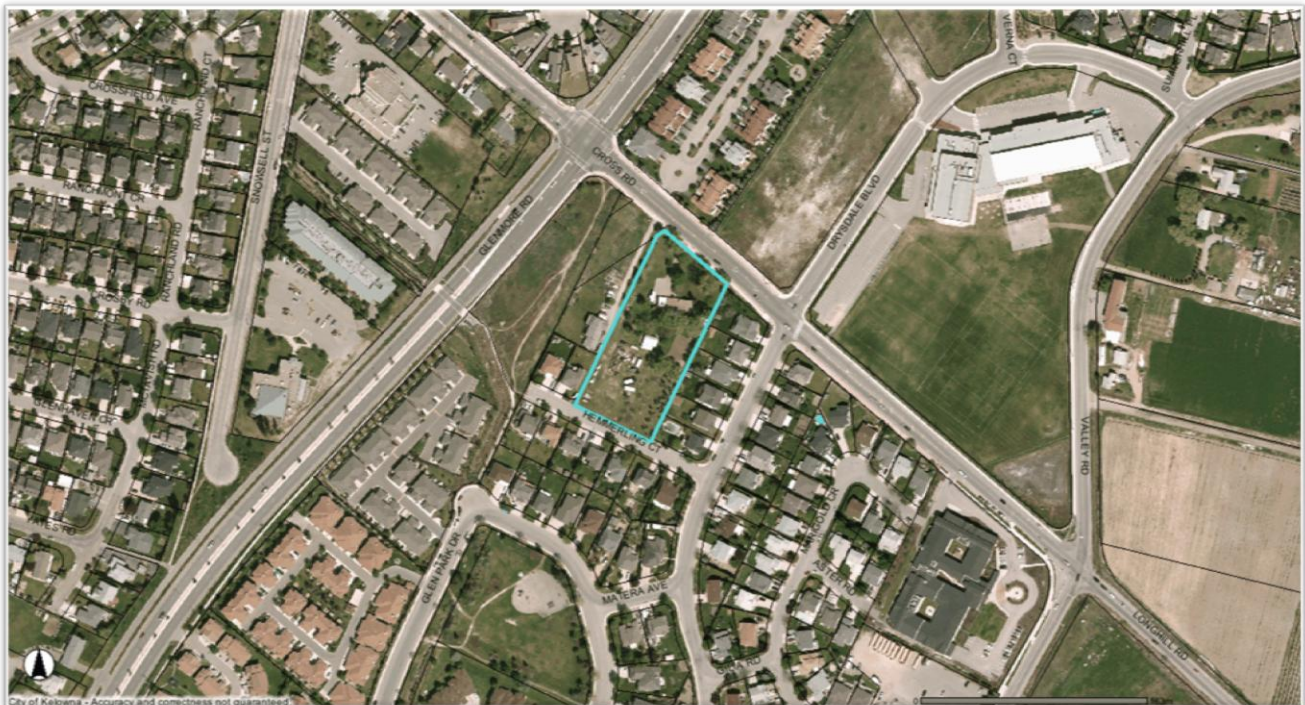
### 3.0 Community Planning

Community Planning Staff supports the proposed rezoning application on the subject property as the RU2 - Medium Lot Housing zone meets the Future Land Use Designation as set out in Kelowna's Official Community Plan of S2RES - Single/Two Unit Residential. The OCP also speaks to creating different housing opportunities with regards to affordability and style for Kelowna residents. The applicant has designed 12 residential lots that meet the RU2 subdivision regulations, with three lots requiring a variance for lot depth. These lots are accessed by a City standard road that connects to an adjacent parcel to the north. The proposed RU2 zone will increase the affordability of each single family dwelling as the size of lot and dwelling is less than the RU1 - Large Lot Housing zone that would also meet the future land use of the subject property.

Although currently zoned A1, the subject property is not in the Agricultural Land Reserve. Neighbouring properties are zoned RU1 - Large Lot Housing and RM2 - Low Density Row Housing, and have future land uses of S2RES and MRL. The RU2 zone allows for a transition between the two styles of residential housing. The proposed zone speaks to density that is appropriate to the surrounding neighbourhood as many single family dwellings in the area are zoned RU2.

The applicant proposes a City standard street through the subject property that connects to the adjacent property to the north-west. This will eliminate the need for vehicle access off of Cross Road for the adjacent parcel. Public pedestrian access is also incorporated in the design to allow pedestrian movement from Cross Road through the new road, connecting pedestrian and bicycle traffic with the proposed lots as well as existing homes along Hemmerling Court.

**Subject Property Map: 1981 Cross Road**





## 4.0 Proposal

### 4.1 Project Description

The subject property currently contains one single family dwelling. The applicant is proposing to demolish the existing house and create 12 RU2 residential lots, accessed by a 15.0 m wide City standard right-of-way road. This road begins at Hemmerling Court and ends on the northwest end of the subject property. It will serve as the future access to the adjacent property to the north to eliminate the need for the adjacent property to gain access from Cross Road. Three of the RU2 residential lots require a variance for lot depth as shown in the Zoning Analysis Table in this report.

Lots adjacent to Hemmerling Court are oriented with the front yards facing Hemmerling Court to continue the streetscape established with the existing single family homes. A 3.0 m wide asphalt pathway will be constructed and dedicated between lots 9 and 10. A 1.2 m high black vinyl chain link fence will be installed by the applicant 15cm inside each private property line.

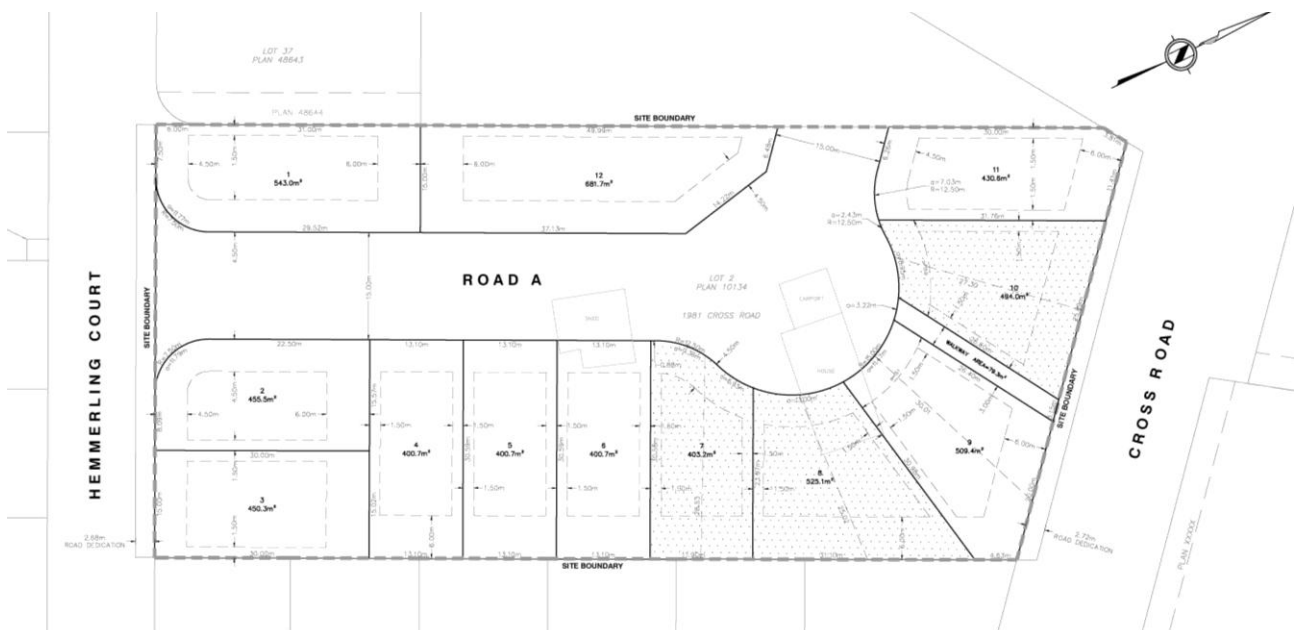
### 4.2 Site Context

The subject property is located between Cross Road and Hemmerling Court in the Glenmore - Dillowrth - Clifton Sector of Kelowna. The property is currently zoned A1 - Agriculture 1, identified in Kelowna's OCP as S2RES - Single/Two Unit Residential, and is within the Permanent Growth Boundary.

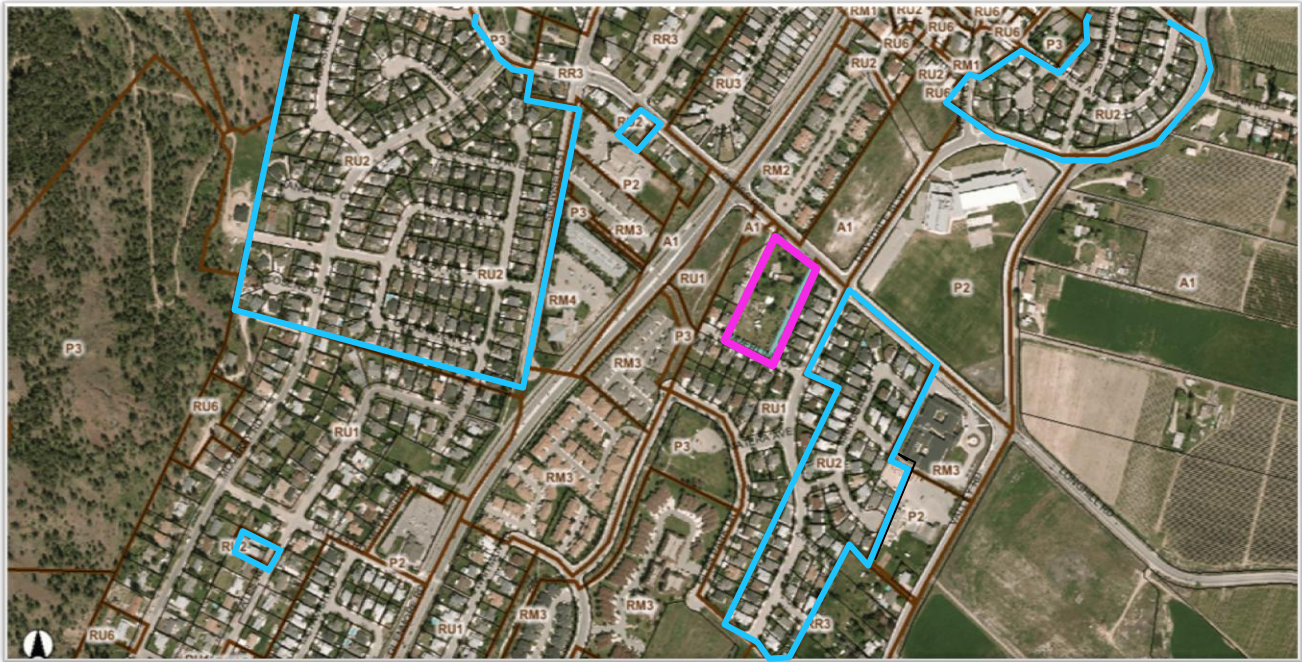
Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RM2 A1	Multiple Family Row Housing Vacant Lot
East	RU1	Single Family Dwellings
South	RU1	Single Family Dwellings
West	RU1 A1	Single Family Dwellings Single Family Dwelling

### Proposed Lot Layout: 1981 Cross Road



## RU2 Zoning Map



## 4.3 Zoning Analysis Table

Zoning Analysis Table RU2 ZONE REQUIREMENTS			
CRITERIA			
SUBDIVISION REGULATIONS			
Minimum Lot Area	400 m <sup>2</sup>		
Minimum Lot Width	13.0 m 15.0 m (Corner Lot)		
Minimum Lot Depth	30.0 m		
Minimum Road Right of Way	15.0 m		
PROPOSED			
	Lot Area	Lot Width	Lot Depth
Exisitng Lot	8,094.0 m <sup>2</sup>	60.1 m	120.6 m
Proposed Lot 1 (corner lot)	543.0 m <sup>2</sup>	15.0 m	31.0 m
Proposed Lot 2 (corner lot)	455.5 m <sup>2</sup>	15.6 m	30.0 m
Proposed Lot 3	450.3 m <sup>2</sup>	15.0 m	30.0 m
Proposed Lot 4	400.7 m <sup>2</sup>	13.1 m	30.6 m
Proposed Lot 5	400.7 m <sup>2</sup>	13.1 m	30.6 m
Proposed Lot 6	400.7 m <sup>2</sup>	13.1 m	30.6 m
Proposed Lot 7	403.2 m <sup>2</sup>	16.2 m	28.5 m ❶
Proposed Lot 8	525.1 m <sup>2</sup>	16.6 m	25.0 m ❷
Proposed Lot 9	509.4 m <sup>2</sup>	13.1 m	30.0 m
Proposed Lot 10	494.0 m <sup>2</sup>	13.9 m	27.3 m ❸
Proposed Lot 11	430.6 m <sup>2</sup>	13.3 m	31.76 m
Proposed Lot 12 (corner lot)	681.7 m <sup>2</sup>	15.0 m	37.1 m
Minimum Road Right of Way	15.0 m		
Variance Review			
❶ ❷ ❸ Indicates requested variance to Minimum Lot Depth for an RU2 Lot.			

## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Housing.**<sup>1</sup> From a housing perspective the City of Kelowna projects the need for approximately 20,100 units by the year 2030 to accommodate the projected growth within the City. Those housing units encompass a range of housing options from low density traditional single detached neighbourhoods to secondary suites/carriage houses, attached homes, town housing as infill and apartments from traditional 4 storey walk-ups to high rise condominiums, including mixed use commercial - residential development in urban centres.

**Complete Suburbs.**<sup>2</sup> Support a mix of uses within Kelowna's suburbs (see Map 5.1 - Urban Core Area), in accordance with "Smart Growth" principles to ensure complete communities. Uses that should be present in all areas of the City (consistent with Map 4.1 - Future Land Use Map), at appropriate locations, include: commercial, institutional, and all types of residential uses (including affordable and special needs housing) at densities appropriate to their context. Building heights in excess of four storeys will not be supported within the suburban areas, unless provided for by zoning existing prior to adoption of OCP Bylaw 10500.

**Maximize Pedestrian / Cycling Connectivity.**<sup>3</sup> Require that pedestrian and cyclist movement and infrastructure be addressed in the review and approval of all City and private sector developments, including provision of sidewalks and trails and recognition of frequently used connections and informal pedestrian routes. With new developments, require dedication of on-site walking and cycling paths where necessary to provide links to adjacent parks, schools, transit stops, recreation facilities, employment nodes, cul-de-sacs and large activity areas.

## 6.0 Technical Comments

### 6.1 Development Engineering Department

See attached Schedule (A), Development Engineering Department Memorandum dated July 8, 2015.

### 6.2 Fortis BC Inc Electric

There are primary distribution facilities within Cross Road and Hemmerling Court. However, extension work will be required in order to service the proposed lots. To date, no arrangements have been made in this regard.

The applicant is responsible for costs associated with any change to the proposed lots' existing service, if any, as well as the provision of appropriate land rights where required.

### 6.3 Glenmore-Ellison Improvement District

See attached Schedule (B), GEID Conditions of water service Memorandum dated July 13, 2015.

## 7.0 Application Chronology

Date of Application Received:	June 1, 2016
Date Public Consultation Completed:	August 14, 2015

<sup>1</sup> City of Kelowna Official Community Plan (Regional Context Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>3</sup> City of Kelowna Official Community Plan, Policy 5.10.1 (Development Process Chapter).

**Report prepared by:**

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Tracey Yuzik, Planner

**Reviewed by:**

☐

Lindsey Ganczar, Planning Supervisor

**Approved for Inclusion:**

☐

Ryan Smith, Community Planning Department Manager

**Attachments:**

Subject Property Map

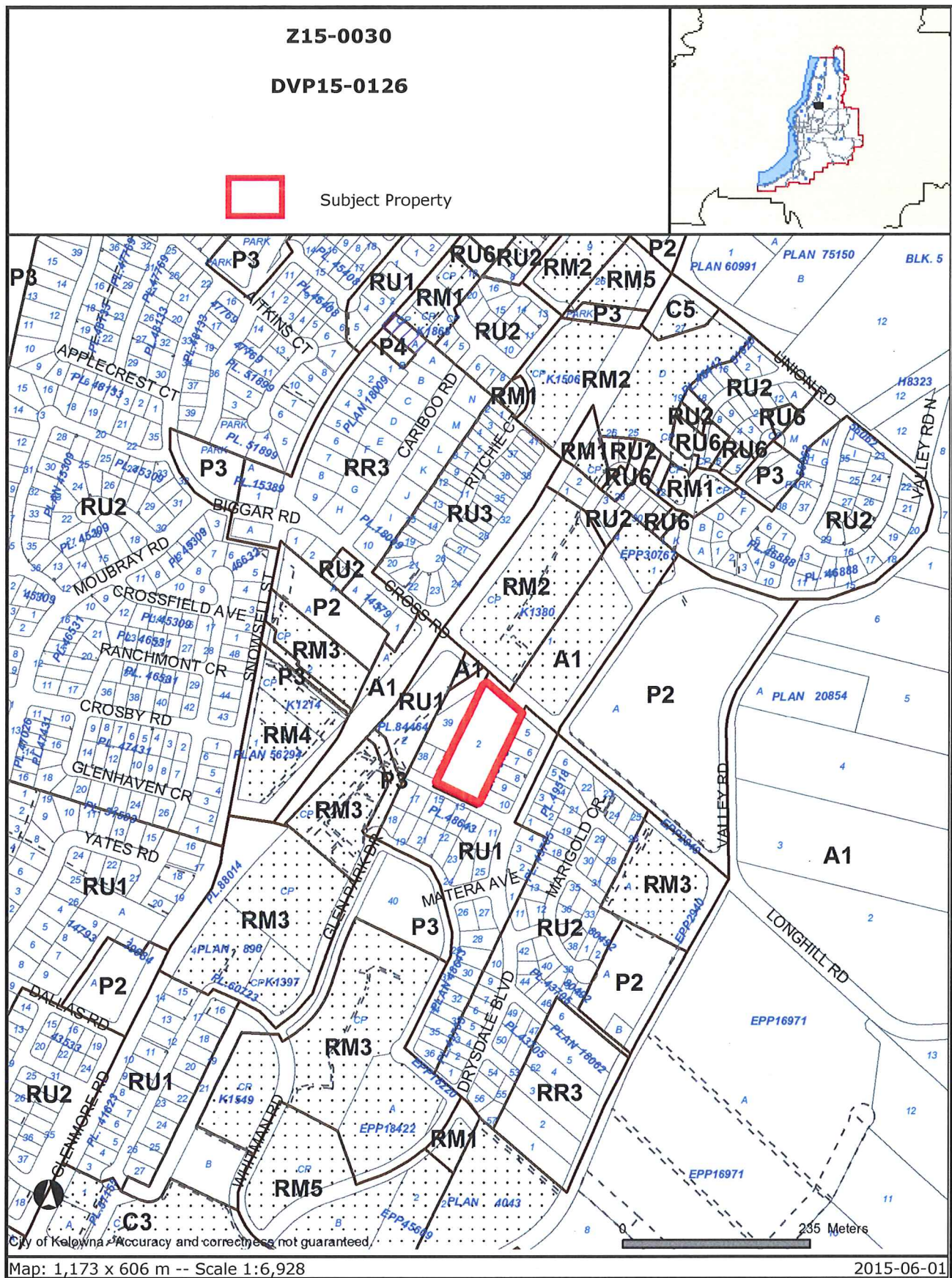
Generalized Zoning Map

Conceptual Site Plan - Lot Layout

Schedule (A) Development Engineering Memorandum

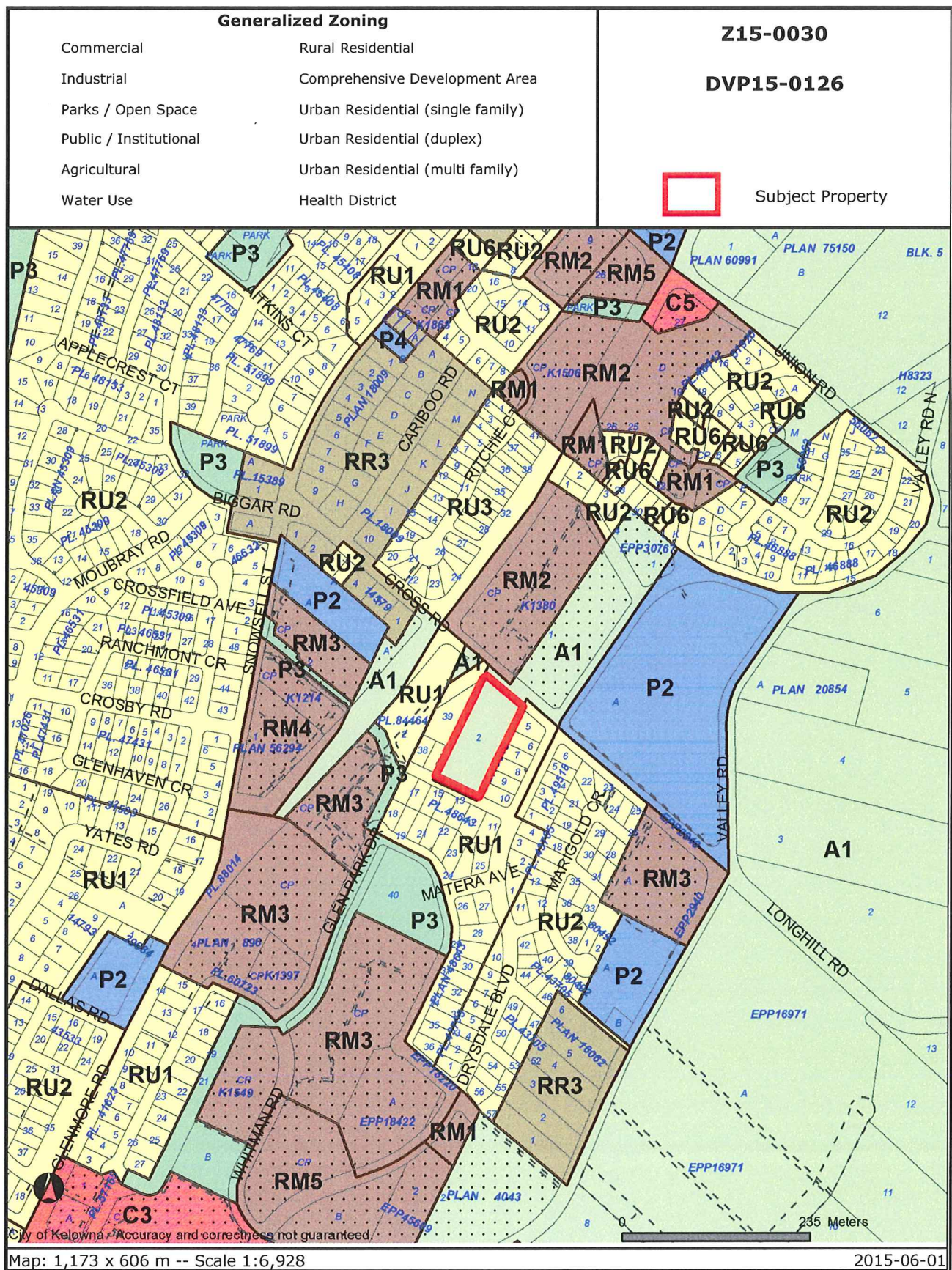
Schedule (B) GEID Memorandum





Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.





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**CITY OF KELOWNA**  
**MEMORANDUM**

**Date:** July 8, 2015  
**File No.:** Z15-0030  
**To:** Community Planning Department (TY)  
**From:** Development Engineering Manager  
**Subject:** 1981 Cross Rd Hemmerling Ct Plan 10134 Lot 2. Sec 4 TP 23 ODYD

Development Engineering has the following comments and requirements associated with this application to rezone from A-1 to RU2  
The road and utility upgrading requirements outlined in this report will be a requirement of this application.

The Development Engineering Technologist for this project is John Filipenko. AScT

**.1) General**

- a) The postal authorities must be contacted to determine whether or not a "community mailbox" will be utilized, and if so, its location should be determined and the proposed location shown on the construction plans. Please contact the Canadian Post Corporation, Delivery Services, P.O. Box 2110, Vancouver, B.C. V6B 4Z3 (604) 662-1381 in this regard.

**.2) Geotechnical Report**

- b) Prior to initial consideration, provide a Geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the following:
  - (i) Confirm that each development node (neighbourhood) is suitable for the proposed land use.
  - (ii) Identify lands that should not be developed such as environmentally sensitive or hazardous conditions areas.
  - (iii) Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
  - (iv) Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
  - (v) Any special requirements for construction of roads, utilities and building structures.

- (vi) Suitability of on-site disposal of storm water, including effects upon adjoining lands.
- (vii) Identify slopes greater than 30%.
- (viii) Recommendations for items that should be included in a Restrictive Covenant.
- (ix) Any special requirements that the proposed subdivision should undertake so that it will not impact adjacent properties.

**.3) Water**

- a) The property is located within the Glenmore Ellison Irrigation District (GEID) service area. The developer is required to make satisfactory arrangements with the GEID for these items. All charges for service connection and upgrading costs are to be paid directly to the GEID.
- b) Provide an adequately sized domestic water and fire protection system. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. Provide water calculations for this development to confirm this. Ensure every building site is located at an elevation that ensures water pressure is within the bylaw pressure limits. Note: Private pumps are not acceptable for addressing marginal pressure.

**.4) Sanitary Sewer**

- a) Provide an adequately sized sanitary sewer system.
- b) Provide sanitary routing design complete with calculations ensuring the downstream infrastructure is capable of supporting this rezoning

**.5) Drainage**

- a) Provide an adequately sized drainage system. The Subdivision, Development and Servicing Bylaw require that each lot be provided with an individual connection.
- b) Provide the following drawings:
  - i) A detailed Lot Grading Plan (indicate on the Lot Grading Plan any areas that have greater than 1.0 m of fill);
  - ii) A detailed Stormwater Management Plan for this rezoning; and,
  - iii) An Erosion and Sediment Control Plan.
- c) Show details of dedications, rights-of-way, setbacks and non-disturbance areas on the lot Grading Plan.

**.6) Roads**

- a) The Cross Road frontage is urbanized. Removal of the existing driveway and curb letdown is required. Construction will require curb, gutter, sidewalk removal and reconstruction. Boulevard treatment shall match the existing materials and stamped pattern. Also included is the relocation and / or removal of the existing utilities (poles) as may be required.
- b) Hemmerling Court fronting this development is to be constructed to a SS-R4 Standard including fillet pavement, a rollover concrete curb and gutter, monolithic sidewalk, storm drainage system including manholes and catchbasins.
- c) Road A is to be constructed to a Local – Class 2 standard (SS-R4) complete with concrete sidewalk. Provide a coseptual design for the extension of Road A beyond this development
- d) The proposed lot layout will be further reviewed at the PLR stage.
- e) Provide traffic control and street name signs where required. The City will install all signs and traffic control devices at the developer's expense.

**.7) Power and Telecommunication Services and Street Lights**

- a) All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground
- b) Street lights must be installed on all roads.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.

**.8) Design and Construction**

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Branch. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.



**.9) Servicing Agreements for Works and Services**

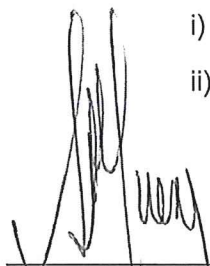
- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

**.10) Other Engineering Comments**

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- b) Dedicate 2.72m road widening along the full frontage of Cross Road.
- c) Dedicate 2.66m road widening along the full frontage of Hemmerling Court.
- d) In order to promote pedestrian connectivity in this neighbourhood between proposed Proposed Road A and the existing concrete sidewalk on Cross Road, construction of a 3 metre wide asphalt pathway between lots 9 and 10 is requested. To delineate both sides of the pedestrian pathway a 1.2m high black vinyl coated chain link fence to City of Kelowna standards should be installed by the developer 15 cm inside both private property lines.
- e) Provide a sidewalk connection on Hemmerling Court by extending the existing sidewalk on Drysdale Boulevard to the new sidewalk fronting this development.

**.11) Charges and Fees**

- a) Development Cost Charges (DCC's) are payable
- b) Fees per the "Development Application Fees Bylaw" include:
  - i) Street/Traffic Sign Fees: at cost if required (to be determined after design).
  - ii) Engineering and Inspection Fee: 3% of construction value (plus GST).



---

Steve Muenz, P.Eng.  
Development Engineering Manager  
JF





Phone: 250-763-6506

**Glenmore-Ellison Improvement District**  
445 Glenmore Road  
Kelowna, BC V1V 1Z6

Email: glenmore.ellison@shaw.ca  
Website: www.glenmoreellison.com

Fax: 250-763-5688

**SCHEDULE B**  
This forms part of development  
# Z15-0030

OUR FILE No.: 0127  
CITY OF KELOWNA FILE No.: DVP15-0126 / Z15-0030  
FOLIO: 217-03285.000

July 13, 2015

City of Kelowna  
Development Services  
1435 Water Street  
Kelowna, B.C. V1Y 1J4

Attention: Damien Burggraeve (via email to: [dburggraeve@kelowna.ca](mailto:dburggraeve@kelowna.ca))

**Re: Conditions of water service for proposed subdivision (12 lots) located at 1981 Cross Rd., Lot 2, Section 4, Plan 10134, City of Kelowna**

In response to the above referenced application, the following information is required for water service prior to Subdivision Approval.

1. All water supplies are subject to Glenmore-Ellison Improvement District (GEID) Water bylaws, rules and regulations, and the City of Kelowna Bylaw #7900. Copies of all GEID bylaws are available at the GEID office and on the GEID website at [www.glenmoreellison.com](http://www.glenmoreellison.com).
2. There is an existing 6-inch water service available on the Hemmerling Road Frontage. The applicant may connect to the 6-inch watermain on Hemmerling Court and install a new adequately sized watermain on the proposed Road A through the development. If this service is not utilized for this development, the service must be physically removed and replaced with a C900 spool piece complete with C900 double bell couplers.

Two existing services on the Cross Road Frontage must be deactivated by turning off the corporation stops and cut off. The applicant's engineer is to complete inspections during construction in accordance with GEID's inspection policy.

3. The Kelowna Fire Department shall review the existing and proposed fire hydrant spacing. The applicant must acquire written confirmation from the Fire Department confirming the existing and proposed hydrant spacing has been approved. It is the applicant's responsibility to ensure the hydrant spacing is approved by the City of Kelowna.
4. Prior to water service approval, a servicing feasibility study is required to be completed by GEID's Engineer to determine if a waterworks upgrade is required and/or if the development can be serviced from the GEID waterworks system. The cost for this study will be the actual costs of the engineering services plus disbursements and administration.

The cost of the feasibility study is estimated at \$900.00, and a deposit of this amount is required. Following payment of this amount, please allow approximately 3-4 weeks for the study to be completed. The final amount invoiced to the applicant will be the actual cost of the work, plus disbursements at a charge rate of \$110.00 per hour.

5. All metallic joints and fittings shall be protected by Denso paste and tape and/or protected by sacrificial anodes, as determined by a corrosion specialist. The applicant must complete a soil resistivity study to confirm if a higher or alternative level of corrosion control is required.
6. The GEID Waterworks Crew shall witness and inspect all connections from the existing water main fronting the site. The operation of any utility valves or curb stops must be performed by the GEID Waterworks Crew unless authorized in writing by the GEID. Current bylaw rates apply. Please notify GEID Staff at least two weeks prior to the preferred connection date to schedule GEID crews to witness the inspection.
7. The applicant will be required to engage a professional engineer to design the required works and services. The applicant must submit engineering plans for all servicing within and to the proposed development prior to construction of any water works.
8. The applicant's engineer should consult with GEID Staff prior to commencement of detailed engineering design. Construction on any waterworks portion of the project shall not commence unless authorized by the GEID. The engineer shall provide a construction schedule and notification of start of construction 48 hours before construction begins on the waterworks portion of the project. All waterworks construction shall proceed in compliance with GEID standard inspection policy.
9. The applicants must submit detailed engineering drawings to the Public Health Engineer of the Interior Health Authority (IH). An IH Waterworks Construction Permit shall be submitted to the GEID prior to construction of any water system. No construction shall commence until the GEID and the IH have accepted the engineering drawings.

### **Project Fees**

The applicants engineer shall submit an estimate of the construction costs of the waterworks to be used for calculation of fees owing. The estimate shall include an additional 10% for engineering and inspection services during construction. If the submitted project cost estimate is lower than expected, the GEID is not bound to accept the estimate. In this case, a revised cost estimate will be issued by the GEID and forwarded to the applicant's engineer. As part of the cost estimate submission, the applicant's engineer shall identify and propose for GEID review, the proportion of costs of providing water facilities that can be considered excess or extended service pursuant to section 747.2 of the *Local Government Act*.

The following application, review and inspection fees are required prior to construction approval.

Fee Description	Rate	Payable Prior to...	Total
Development Application Fee	\$150 per subdivision	Application Review	\$150.00 (paid)
Engineering and Inspection Fee	3% of the estimated construction cost of water portion of project.	Issuance of Water Letter <u>or</u> Commencement of Works	To Be Determined



The following **Performance Bond** payment is required prior to GEID approval to construct waterworks on public land or to subdivide. The Performance Bond shall be in the form of an automatically renewable, irrevocable, standby letter of credit written in favor of the GEID. Upon Substantial Completion of the works to the satisfaction of the GEID, registration of all water required SRW's and assumption of the works by GEID, the applicant may apply to have the Performance Bond replaced with a Maintenance Bond. The one-year Maintenance Bond period will not commence until all works have been approved and connected to the GEID community water system and GEID has assumed ownership.

The **Maintenance Bond** will be held for a minimum period of one year, and will only be released following satisfactory final inspection and submission of signed and stamped as-built drawings, digital as-built drawings in a format acceptable to GEID, and completion of all water works in accordance with GEID standards, including satisfactory inspection by GEID and amendment of all deficiencies and submission of all other documentation as required by the GEID.

In the event that works are not completed to the satisfaction of GEID, the works may not be accepted and an extended maintenance bonding period may be required following any re-construction or repairs.

The Capital Expenditure Charge for all proposed single family lots must be paid in full prior to Subdividing. All Capital Expenditure Charges will be assessed in accordance with the GEID Bylaw that governs at the time of payment.

Payment of the Capital Expenditure Charges will not be accepted until all other subdivision requirements have been fulfilled and the City of Kelowna Approving Officer is prepared to issue final subdivision approval.

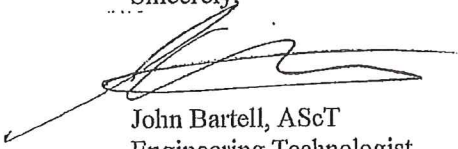
Fee Description	Rate	Payable Prior to...	Total
Performance Bond	125% of estimated construction cost of the water system works (for proposed waterworks located on public land) (capital costs shall include 10% engineering and 15% contingency).	Working on GEID property, working on public road, or Issuance of Water Letter	<b>To Be Determined</b>
Maintenance Bond	50% of estimated construction cost of the water system works (for proposed waterworks located on public land) (capital costs shall include 10% engineering).	Return of Performance Bond	<b>To Be Determined</b>
Capital Expenditure Charge	Rate per single family lot as per current GEID Capital Expenditure Charge Bylaw in effect at the time of subdivision. Current Rate \$5,300.00 per lot (12 lots proposed).	Subdivision Approval or issuance of GEID Water Letter	<b>\$63,600.00</b>
New account set-up	\$20.00 for each newly developed unit to be registered in the Land Titles Office (12 units proposed).	Subdivision Approval or issuance of GEID Water Letter	<b>\$240.00</b>
Connection-Disconnection Inspection Fee	\$500.00 per inspection of a water service connection sized greater than 50mm. \$100.00 per inspection for services sized 50mm or less (2 disconnections required). (\$500.00 + \$100.00 + \$100.00)	Inspection or issuance of Water Letter.	<b>\$700.00</b>

Further details regarding GEID Fees, conditions and development policies are available at the GEID office.

This review is valid for **ONE (1) YEAR** from the date of this letter provided that there are no changes in legislation, regulations, or bylaws in which case alterations to this review may be required to comply with the new legislation, regulations, or bylaws. It is now the applicant's responsibility to fulfill the conditions of this review.

If you have any questions regarding the above fees and conditions, please feel free to contact our office at 250-763-6506. Please reference our file number on all correspondence.

Sincerely,

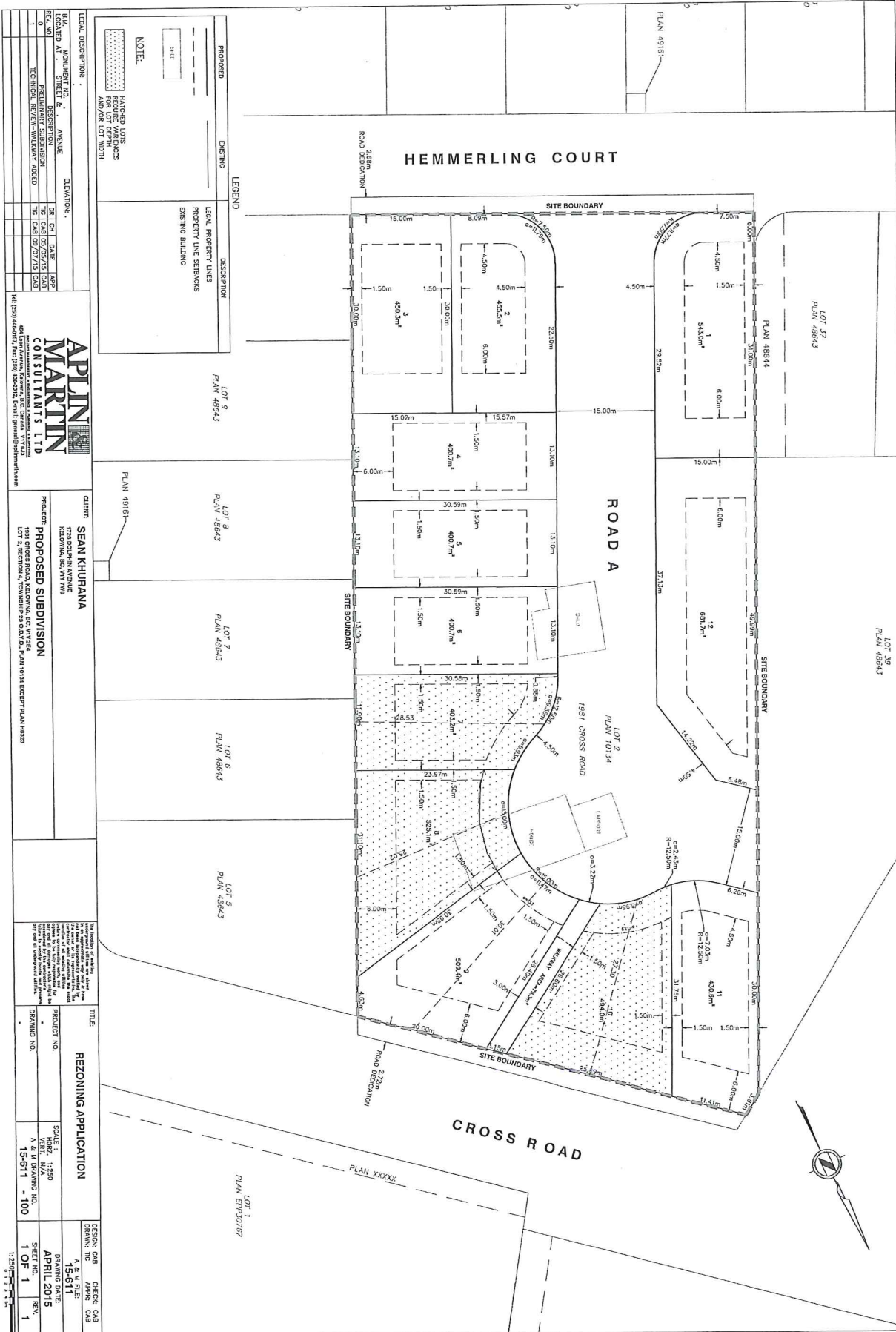


John Bartell, ASCT  
Engineering Technologist

sv/jb

cc: Applicant: Aplin & Martin Consultants Ltd. Attn: Cory Barker (via email: [cbarker@aplinmartin.com](mailto:cbarker@aplinmartin.com)) on behalf of  
Sean Khurana  
Owner: Lorne Pearson, 1981 Cross Road, Kelowna, B.C. V1V 2B4

Attach: GEID Inspection Requirements and Construction Standards





**CITY OF KELOWNA**  
**BYLAW NO. 11134**  
**Z15-0030 - Lorne Pearson**  
**1981 Cross Road**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 2, Section 4, Township 23, ODYD, Plan 10134, Except Plan H8323 located on Cross Road, Kelowna, B.C., from the A1 - Agriculture 1 zone to the RU2 - Medium Lot Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# REPORT TO COUNCIL



**Date:** September 14, 2015

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (LK)

**Application:** Z15-0036 **Owner:** Dwight Schreiner & Cheryl Hank

**Address:** 4619 Gordon Drive **Applicant:** Dwight Schreiner & Cheryl Hank

**Subject:** Rezoning Application

**Existing OCP Designation:** S2RES - Single / Two Unit Residential

**Existing Zone:** RU1 - Large Lot Housing

**Proposed Zone:** RU1c - Large Lot Housing with Carriage House

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## 1.0 Recommendation

THAT Rezoning Application No. Z15-0036 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 2 District Lot 357 ODYD Plan KAP46269, located at 4619 Gordon Drive, Kelowna, BC from RU1 - Large Lot Housing zone to RU1c - Large Lot Housing with Carriage House zone, be considered by Council,

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration.

## 2.0 Purpose

To rezone the subject property to facilitate the development of a carriage house.

## 3.0 Community Planning

Community Planning staff supports the proposal to convert an existing accessory building to a carriage house. The subject parcel is within the Permanent Growth Boundary and has a Future Land Use designation of S2RES - Single / Two Unit Residential; therefore the application to rezone the parcel to RU1c meets the guidelines of the OCP. The OCP supports the densification of neighbourhoods through appropriate infill development and utilization of existing infrastructure.

## 4.0 Proposal

### 4.1 Background

The home owner applied for Building Permit #10543 to construct a double car garage in 1992. In 2007, the garage was converted to a Carriage House to provide accommodation for the homeowner's parent to reside. City approval was not obtained at that time. The home owner is now pursuing the proper approvals to ensure the Carriage House conforms to the City of Kelowna's zoning and building code requirements. Though Staff does not encourage development that follows this process, the parcel can easily accommodate a Carriage House without variances.

### 4.2 Project Description

The subject parcel is located within the Permanent Growth Boundary on the east side of Gordon Drive, south of McClure Road. The parcel has panhandle driveway access from Gordon Drive with the parcel being tucked behind 4623 Gordon Drive. Buildings are not visible from the roadway due to the curved driveway and the placement of trees and shrubs.

When the building was converted to a Carriage House, the existing garage door was removed and replaced with a man-door and window. The building is finished to match the existing primary dwelling and has been thoughtfully landscaped. The building is located at the rear of the parcel with private outdoor space provided beside the carriage house. Required parking for the primary dwelling is provided in a double attached garage. The parcel has a large paved area to accommodate the required Carriage House parking stall, and provide a turn-around area for vehicles which will eliminate the need to back out onto Gordon Drive.

### 4.3 Site Context

The subject property is located on the east side of Gordon Drive in the North Mission - Crawford area of Kelowna.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 - Large Lot Housing RU1c - Large Lot Housing with Carriage House	Single Detached Housing Single Detached Housing
East	RU1 - Large Lot Housing	Single Detached Housing
South	RU1 - Large Lot Housing	Single Detached Housing
West	RU1 - Large Lot Housing	Single Detached Housing

Subject Property Map: 4619 Gordon Drive



Subject Property Carriage House Elevation: 4619 Gordon Drive



#### 4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU1c ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Min. Lot Area	550 m <sup>2</sup>	2306 m <sup>2</sup>
Min. Lot Width	16.5 m	39.7 m
Min. Lot Depth	30 m	43.27 m
Development Regulations		
Site Coverage	40%	16.9%
Site Coverage: accessory buildings or structures and carriage house (one storey)	20%	5.20%
Floor area of carriage house (footprint)	100 m <sup>2</sup>	96.61 m <sup>2</sup>
Max. area of carriage house (total building area)	130 m <sup>2</sup>	96.61 m <sup>2</sup>
Max. net floor area of carriage house to total net floor area of principal building	75%	49.91%
Height (mid point of roof)	4.8 m	4.13 m
Setback from Principal Dwelling	3.0 m	4.57 m
Carriage House Regulations		
Max. Height	4.8 m	3.66m
Min. Side Yard (north)	2.0 m	2.15m
Min. Rear Yard (west)	0.9 m	2.11m
Height (carriage house shall not be higher than existing primary dwelling unit)	2 storey ex. House	1 storey Carriage house
Other Regulations		
Min. Parking Requirements	3 stalls	+3 stalls provided
Min. Private Open Space	30 m <sup>2</sup>	+30 m <sup>2</sup>

### 5.0 Current Development Policies

#### 5.1 Kelowna Official Community Plan (OCP)

##### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill**<sup>2</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighborhood with respect to building design, height and siting.

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).



## 6.0 Technical Comments

- Building & Permitting Department

- 1) Architect may be required to determine the upgrade requirements to meet current code for this change of use.
- 2) Plumbing and Heating Permits will be required along with the Building permit for change of use.
- 3) Requirements of the current code apply so retrofit of the existing structure may be required at time of Building permit.

- Development Engineering Department

See attached Memorandum dated July 10, 2015.

## 7.0 Application Chronology

Date of Application Received: June 25, 2015  
Date Public Consultation Completed: August 10, 2015

Report prepared by:

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Lydia Korolchuk, Planner

Reviewed by:



Lindsey Ganczar, Planning Supervisor

Approved for Inclusion:



Ryan Smith, Community Planning Department Manager

### Attachments:

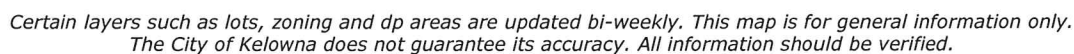
Site Context Map

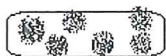
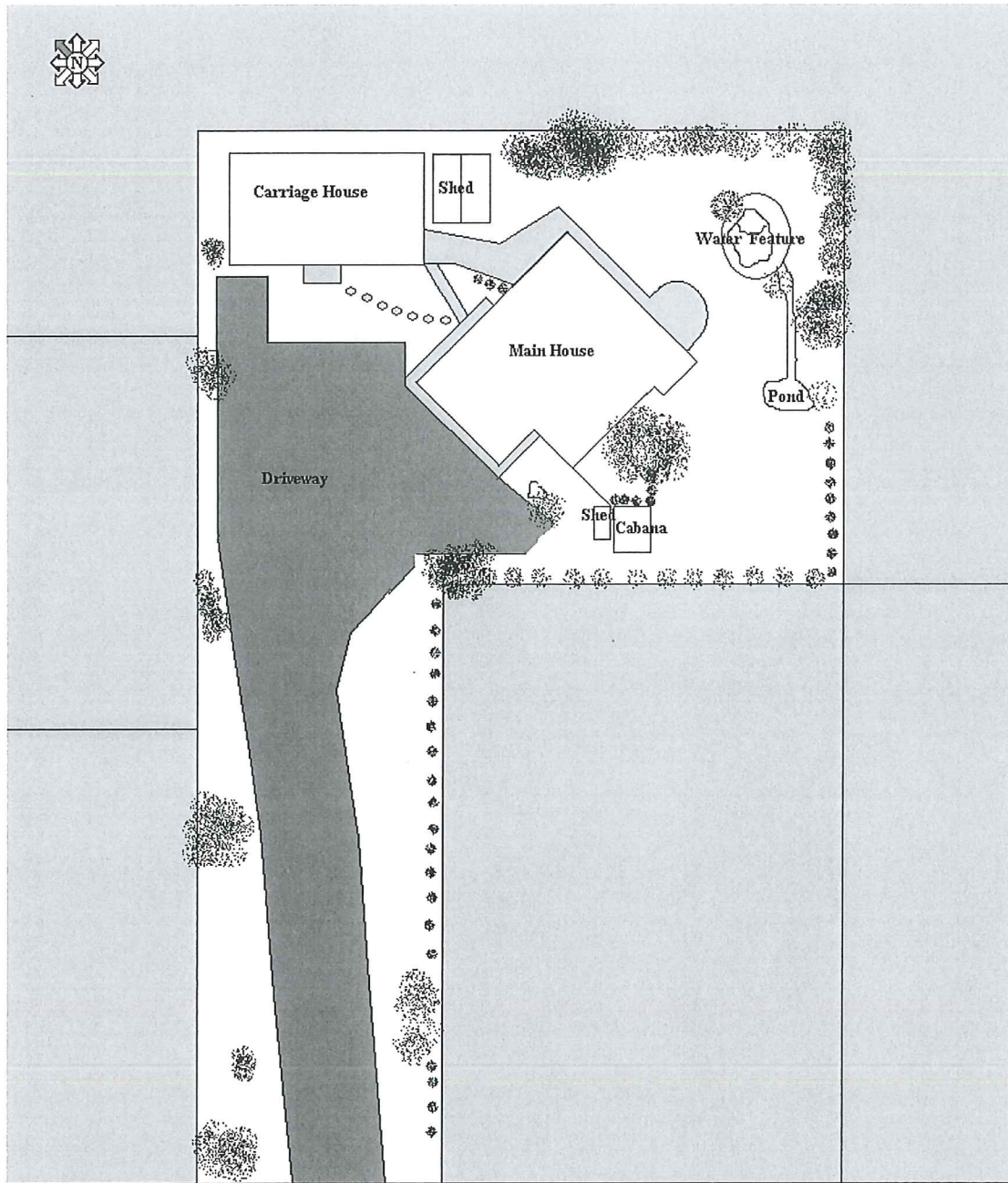
Site Plan

Conceptual Elevations

Landscape Plan

Development Engineering Memorandum

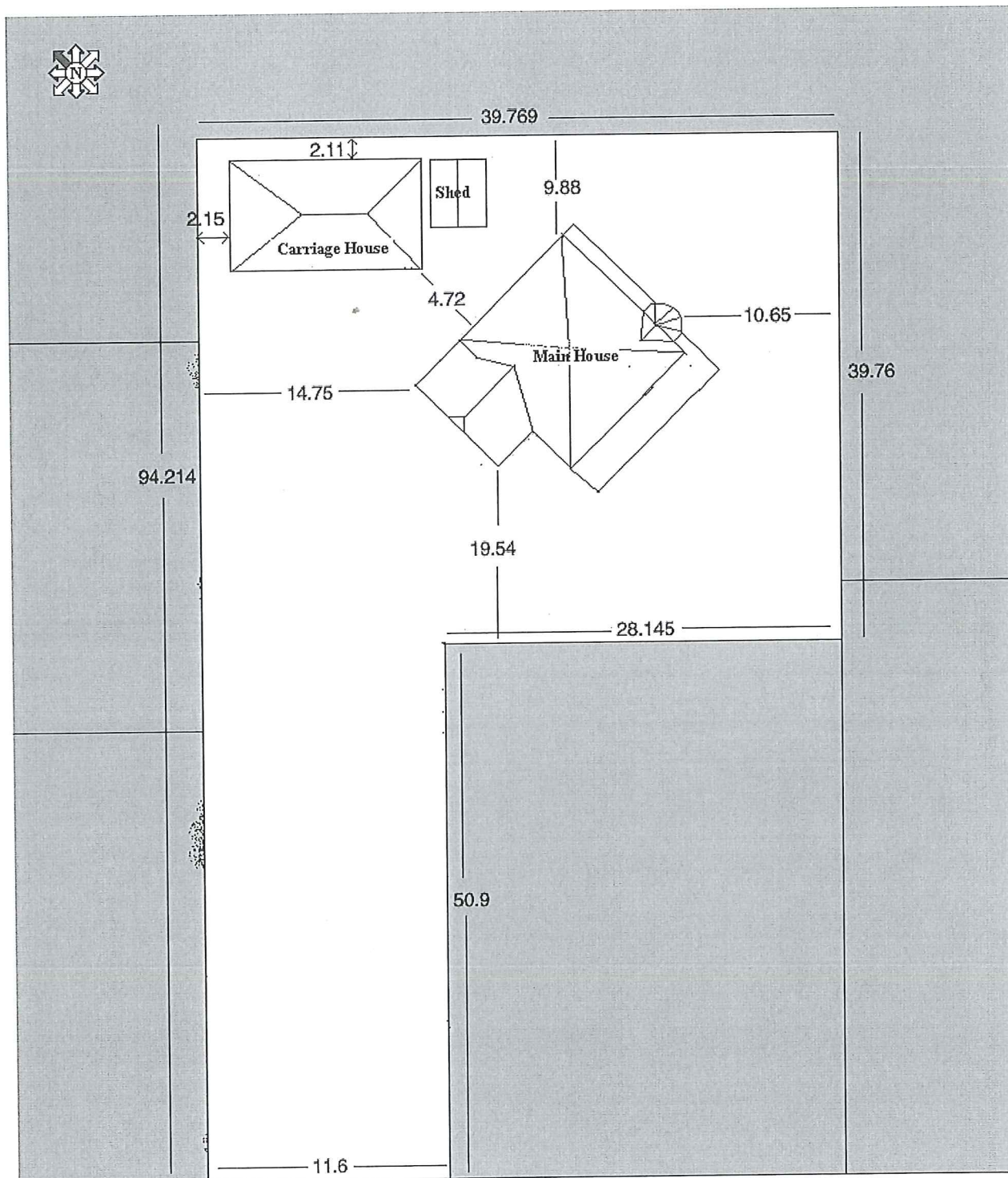




GORDON DRIVE

4619 GORDON DRIVE KELOWNA BC – LOT LAYOUT

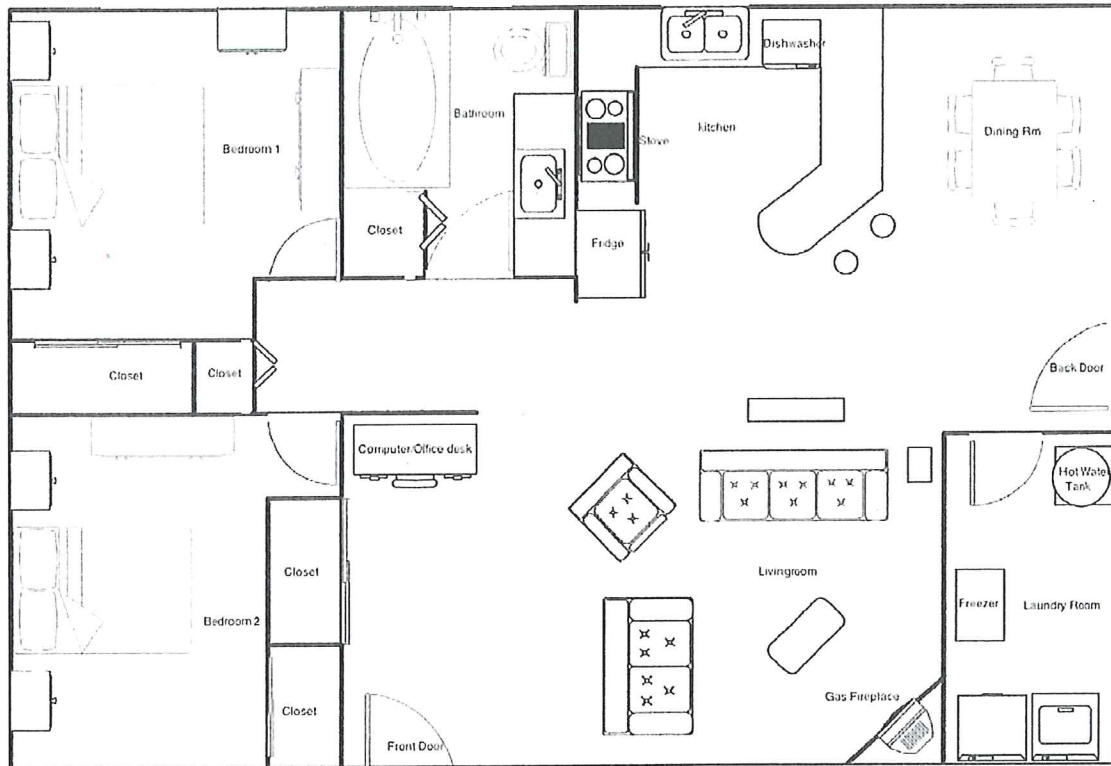




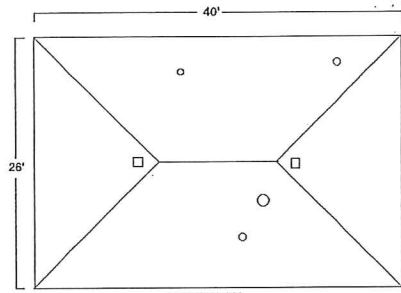
GORDON DRIVE



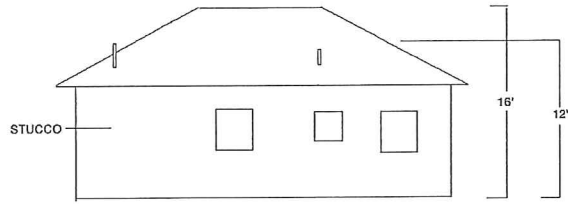
## CARRIAGE HOUSE FLOOR PLAN



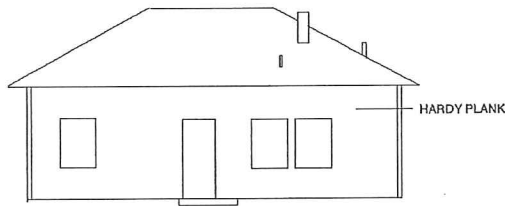
# 4619 Gordon Drive



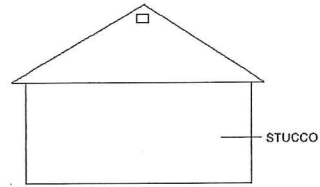
ROOF PLAN



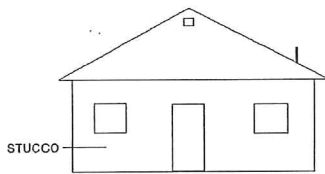
EAST ELEVATION  
Carriage House



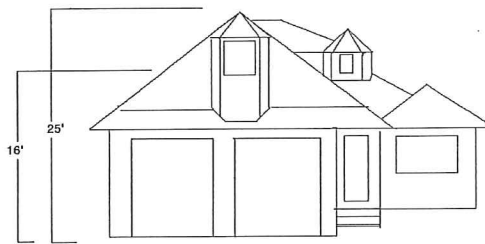
WEST ELEVATION  
Carriage House



NORTH ELEVATION  
Carriage House



SOUTH ELEVATION  
Carriage House



Front Elevation  
Main House

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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** July 10, 2015  
**File No.:** Z15-0036

**To:** Community Planning (LK)

**From:** Development Engineering Manager

**Subject:** 4619 Gordon Drive

RU1c

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Development Engineering has the following comments and requirements associated with this application to rezone from RU1 to RU1c.

1. Domestic Water and Fire Protection

Our records indicate this property is currently serviced with a 19mm-diameter water service. The service is adequate for the proposed application.

2. Sanitary Sewer

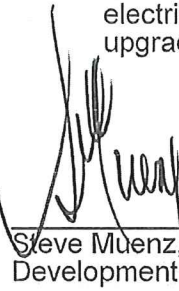
Our records indicate that this property is serviced with a 100mm-diameter sanitary sewer service complete with inspection chamber. The service is adequate for the proposed application.

3. Development Permit and Site Related Issues

Direct the roof drains into on-site rock pits.

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.



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Steve Muenz, P. Eng.  
Development Engineering Manager

SS

**CITY OF KELOWNA**  
**BYLAW NO. 11135**  
**Z15-0036 - Dwight Schreiner & Cheryl Hank**  
**4619 Gordon Drive**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 2, District Lot 357, ODYD, Plan KAP46269 located on Gordon Drive, Kelowna, B.C., from the RU1 - Large Lot Housing zone to the RU1c - Large Lot Housing with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk



# REPORT TO COUNCIL



**Date:** September 10, 2015

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (TY)

**Application:** OCP15-0011  
Z15-0031

**Owner:** Greencorp Ventures Inc.,  
Inc. No. BC0987730

**Address:** 4077 Lakeshore Avenue

**Applicant:** Worman Homes /  
Commercial

**Subject:** Official Community Plan Amendment & Rezoning Bylaw

**Existing OCP Designation:** S2RES - Single/Two Unit Residential

**Proposed OCP Designation:** MRL - Multiple Unit Residential (Low Density)

**Existing Zone:** RU1 - Large Lot Housing

**Proposed Zone:** RM3 - Low Density Multiple Housing

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## 1.0 Recommendation

THAT Official Community Plan Map Amendment Application No. OCP15-0011 to amend Map 4.1 in the Kelowna 2030 - Official Community Plan Bylaw No. 10500 by changing the Future Land Use designation of Lot B Section 6 Township 26 ODYD Plan 10613, located at 4077 Lakeshore Avenue, Kelowna, BC from the S2RES - Single/Two Unit Residential designation to the MRL - Multiple Unit Residential (Low Density) designation, be considered by Council;

AND THAT Rezoning Application No. Z15-0031 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot B Section 6 Township 26 ODYD Plan 10613, located at 4077 Lakeshore Avenue, Kelowna, BC from the RU1 - Large Lot Housing zone to the RM3 - Low Density Multiple Housing zone, be considered by Council;

AND THAT the Official Community Plan Map Amending Bylaw and Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Official Community Plan Map Amending Bylaw and Rezoning Bylaw be considered subsequent to the conditions of approval as outlined in Schedule "A" attached to the Report from the Community Planning Department dated September 14, 2015;

AND FURTHER THAT final adoption of the Official Community Plan Map Amending Bylaw and Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject property.

## 2.0 Purpose

To amend the Official Community Plan designation and Zoning of the subject property to facilitate a four unit residential development.

## 3.0 Community Planning

Community Planning Staff supports the proposed OCP amendment and rezoning application to facilitate four dwelling units on the subject property. The applicant is proposing to rezone the property from RU1 to RM3 in order to achieve the four units. Although currently zoned RU1, the subject property size of 1,357 m<sup>2</sup> exceeds the size requirements of an RU1 lot (550 m<sup>2</sup>). The subject property size meets the minimum lot area for RM1, RM2, RM3 and RM4 multiple unit zones.

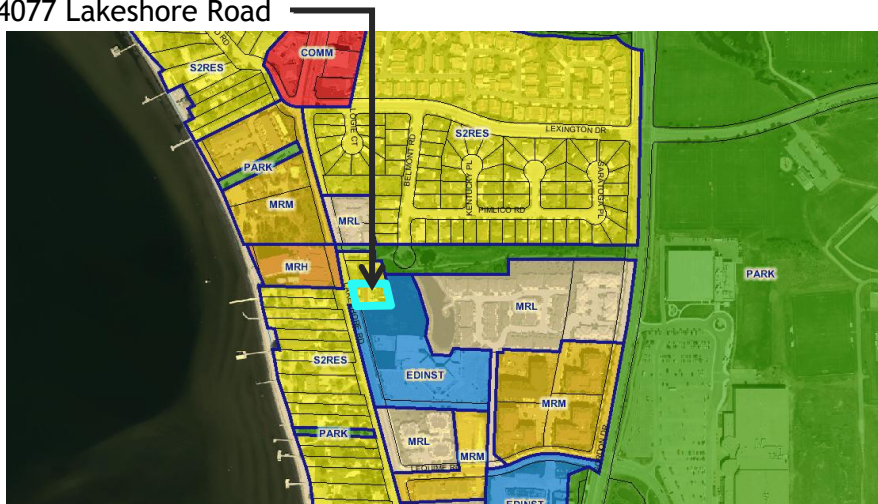
The OCP amendment from the S2RES to the MRL land use designation is similar to properties within the area. Within a 60 m radius of the subject property, land use includes the S2RES - Single/Two Unit Residential, EDINST - Educational/Major Institutional, PARK - Major Park, Open Space public and MRL - Multiple Unit Residential (Low Density) designations.

Infrastructure to support the proposed increase in density includes BC Transit stops on Lakeshore Road within 118m of the subject property. Bike lanes also currently exist on both sides of Lakeshore Road in the area. A dedication of 5.17 m of frontage of the subject property is required as part of this application to continue the City of Kelowna active transportation (cycling / walking) corridor construction along Lakeshore Road. Within walking distance of the proposed four dwellings are community commercial amenities, the H2O Centre and the City of Kelowna Mission playing fields.

The applicant proposes two buildings with two units in each building. The design requires two variances. A side yard setback variance is required to accommodate architectural projections for each of the buildings along the south elevation, and the siting of one building requires a variance to the rear yard setback.

The single driveway and modern broad horizontal lines of a flat roof building design is in keeping with newly constructed residential dwellings in the neighbourhood. Designing a front door facing Lakeshore Road speaks to Kelowna's OCP goals of achieving ground oriented housing for multiple family developments. The applicant has included architectural features on the south side of each building facing the adjacent First Lutheran Church park as it is visible from Lakeshore Road. Privacy concerns for the residential property to the north are addressed by proposing the driveway along the north side of the subject property which orientates the residential buildings on the south side of the property, with windows facing into the adjacent park.

Land Use Map: 4077 Lakeshore Road



## 4.0 Proposal

### 4.1 Project Description

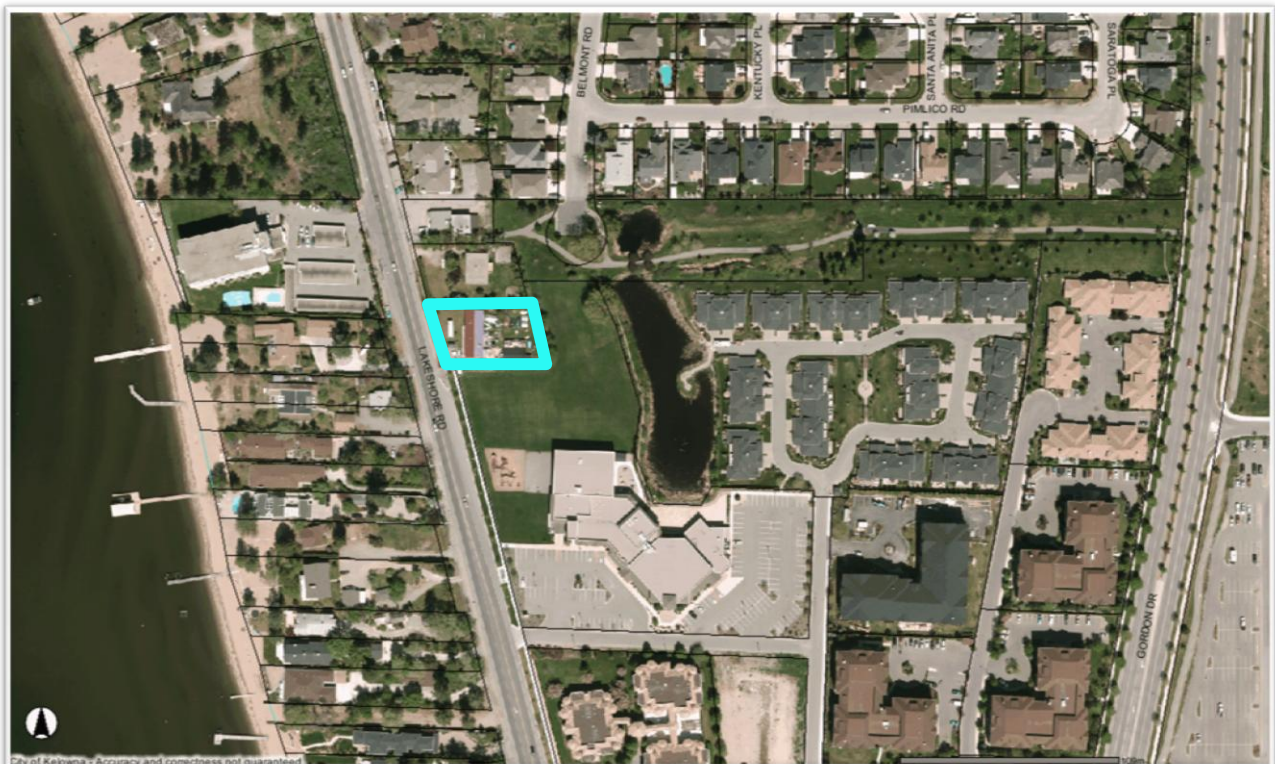
The subject property is currently vacant as demolition of the existing building was carried out in 2014. The applicant has designed four dwelling units in the form of two buildings, three storeys in height, each with rooftop patios. A single driveway runs along the north of the property, designed in a manner that allows for permeability of rainfall. A front yard setback incentive exists in Zoning Bylaw No. 8000, RM3 zone regulations which permits a 1.5 m setback for a multiple family development with front doors facing a street. The applicant has designed a front door facing the street and has set the building 3.6 m from the front property line.

The proposed building facing Lakeshore Road ("Building Two" as shown on the conceptual plans) is three storeys with rooftop stairwell access creating a two storey streetscape along Lakeshore Road. "Building One" on the interior of the property is a three storey building with the third storey set back on all elevations from the storey below to reduce the appearance of a 10.0 m high dwelling. Each storey is articulated with varying setbacks from the storey below on all sides of each building.

A rear yard setback variance from 7.5 m required to 4.0 m is being proposed in order to allow for a larger setback in the front of the property to achieve privacy and noise control from Lakeshore Road. Architectural projections are permitted as per Zoning Bylaw No. 8000 to project into a required yard up to a maximum of 0.6 m. The applicant is proposing a projection of 1.2 m to accommodate visual interest along the south facade of the buildings.

A two vehicle attached garage is designed for each dwelling along with outdoor patio space accommodated at grade and on the rooftop. Landscaping will include low retaining walls, fencing and privacy planting. The City boulevard will be landscaped and irrigated with street trees approved by City Staff.

#### Subject Property Map: 4077 Lakeshore Road



## 4.2 Site Context

The subject property is located on the east side of Lakeshore Road, between Lexington Drive and Lequime Road in the North Mission - Crawford sector of Kelowna. The property is currently zoned RU1, identified in Kelowna's OCP as S2RES, in a Comprehensive Development Permit area and is within the Permanent Growth Boundary.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1	Single Family Dwelling
East	P2	Single Family Dwellings
South	P2	Church grounds (open field)
West	RU2	Church grounds (open field)

## 4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM3 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Minimum Lot Area	900 m <sup>2</sup>	(1,520.0 m <sup>2</sup> - 162.5 m <sup>2</sup> ) = 1,357.5 m <sup>2</sup>
Minimum Lot Width	30.0 m	31.5 m
Minimum Lot Depth	30.0 m	49.8 m
Development Regulations		
Maximum Floor Area Ratio	0.8	
Maximum Site Coverage (buildings)	50%	528.8 m <sup>2</sup> = 39%
Maximum Site Coverage (buildings, driveways and parking)	65% (with permeable driveway)	778.7 m <sup>2</sup> = 57%
Maximum Height	3 storeys or 10.0 m	3 storeys, 10.0 m
Minimum Front Yard	1.5 m	3.6 m
Minimum Side Yard (south)	4.0 m	4.0 m
Architectural Projection from a building into a required yard (south)	0.6 m	1.22 m (2.8 m from prop line) ❶
Minimum Side Yard (north)	4.0 m	8.0 m
Minimum Rear Yard	7.5 m	4.0 m ❷
Minimum distance between buildings	3.0 m	4.2 m
Other Regulations		
Minimum Parking Requirements	2 per dwelling unit	2 per dwelling unit
Minimum Visitor Parking Space	n/a	1
Minimum Private Open Space	25.0 m <sup>2</sup>	
Unit a Unit b Unit c Unit d		40.0 m <sup>2</sup> rooftop patio 30.2 m <sup>2</sup> rooftop patio + 30.5 m <sup>2</sup> at grade 9.3 m <sup>2</sup> rooftop patio + 20.8 m <sup>2</sup> at grade 9.3 m <sup>2</sup> rooftop patio + 29.1 m <sup>2</sup> at grade
❶ Indicates a requested variance to the rear yard setback.		
❷ Indicates a requested variance to the side yard (south) projection.		



## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Ground-Oriented Housing.**<sup>2</sup> Encourage all multiple-unit residential buildings in neighbourhoods with schools and parks to contain ground-oriented units with 2 or more bedrooms so as to provide a family housing choice within the multi-unit rental or ownership markets. High density residential projects in the Downtown area are encouraged to include a ground-oriented housing component, especially where such can be provided on non-arterial and non-collector streets.

**Building Height.**<sup>3</sup> In determining appropriate building height, theCity will take into account such factors as: Contextual fit into the surrounding urban fabric; Shadowing of the public realm; View impacts; Overlook and privacy impacts on neighbouring buildings; Impacts on the overall skyline;

## 6.0 Technical Comments

### 6.1 Building and Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s)
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this structure.

### 6.2 Development Engineering Department

- See attached City of Kelowna Memorandum dated June 23, 2015.

#### Application Chronology

Date of Application Received:	June 5, 2015
Date Public Consultation Completed:	June 25, 2015

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.2.1 (Development Process Chapter).

<sup>3</sup> City of Kelowna Official Community Plan, Policy 5.5.1 (Development Process Chapter).

**Report prepared by:**

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Tracey Yuzik, Planner

**Reviewed by:**

☐

Lindsey Ganczar, Planning Supervisor

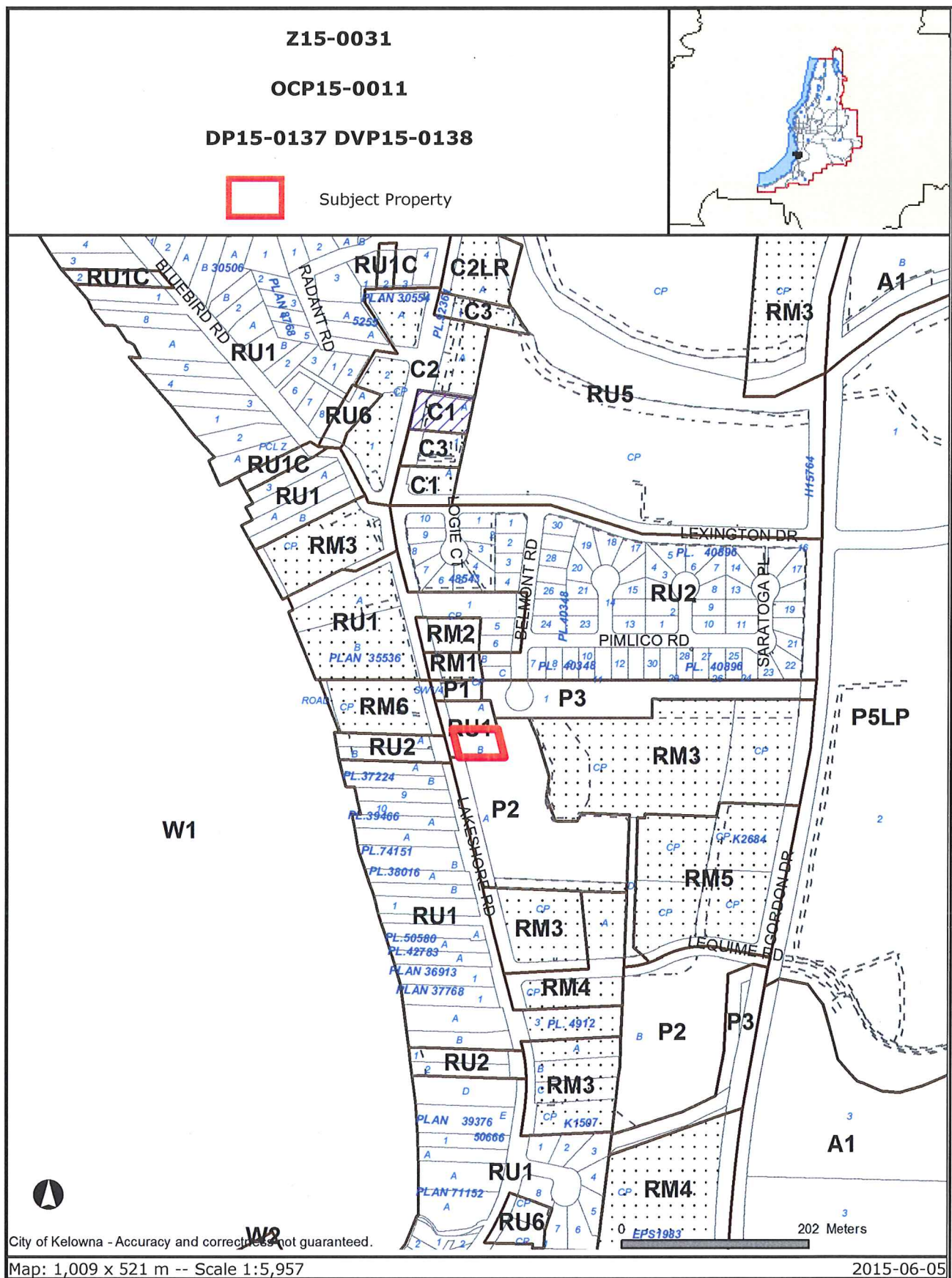
**Approved for Inclusion:**

☐

Ryan Smith, Community Planning Department Manager

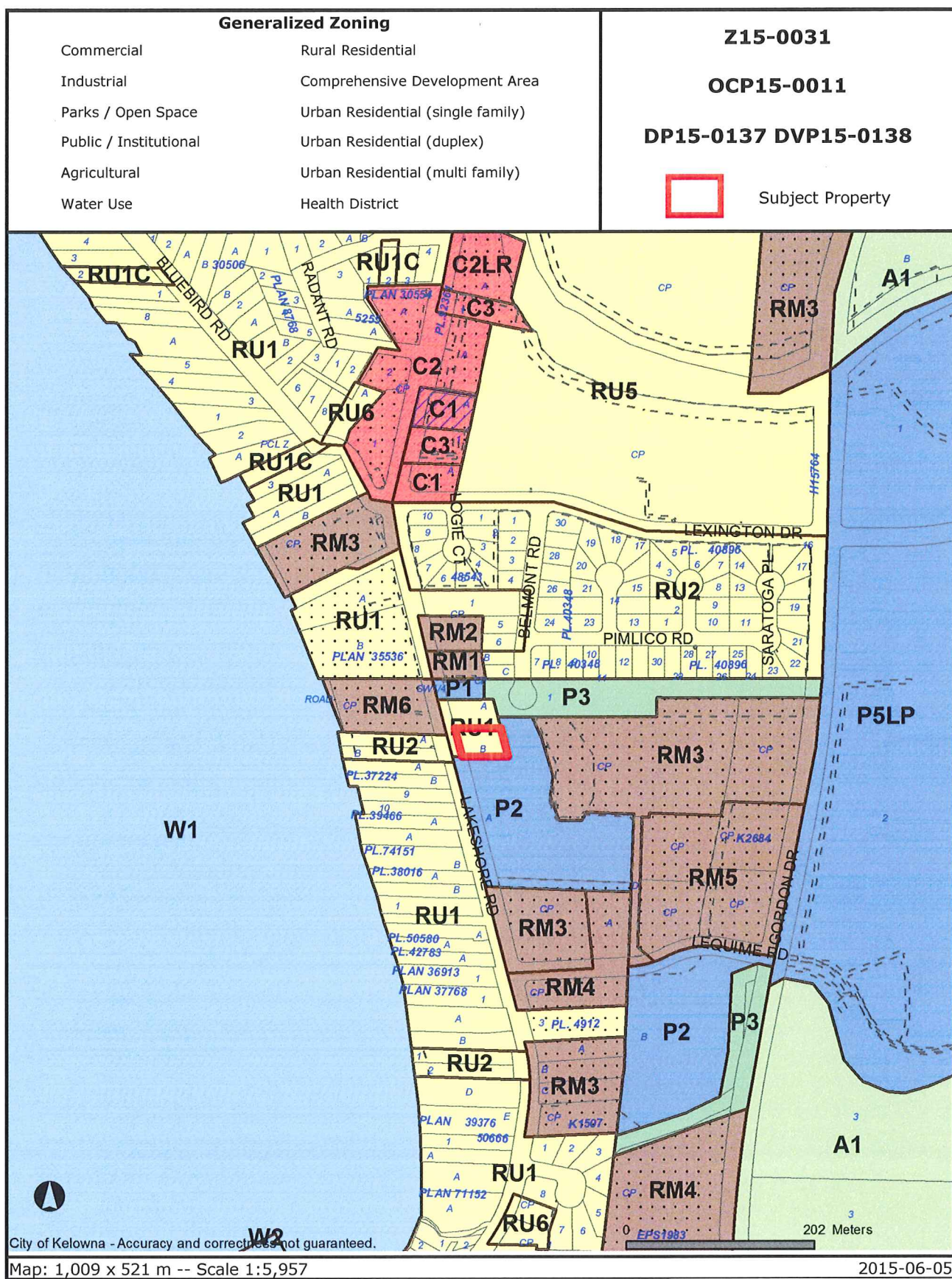
**Attachments:**

Subject Property Map  
Generalized Zoning Map  
Schedule "A" City of Kelowna Memorandum  
Conceptual Site Plan  
Conceptual Elevations  
Conceptual Landscape Plan



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
 The City of Kelowna does not guarantee its accuracy. All information should be verified.





Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** June 23, 2015  
**File No.:** Z15-0031

**To:** Urban Planning (TY)

**From:** Development Engineering Manager

**Subject:** 4077 Lakeshore Rd

RU1 to RM3

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Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Sergio Sartori

1. Domestic Water and Fire Protection

- (a) The existing lot is serviced with 19mm diameter water service. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs. The estimated cost of this construction for bonding purposes is **\$10,000.00**
- (b) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures. The City of Kelowna water meter contractor must salvage existing water meters, prior to building demolition. If water meters are not salvaged, the developer will be invoiced for the meters.

2. Sanitary Sewer

- (a) The existing lot is serviced with a 100mm diameter sanitary service. The developer's consulting mechanical engineer will determine the requirements of this proposed development and establish the required size and preferred location of the new service. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal of the existing small diameter service and the installation of a new larger service. The estimated cost of this construction for bonding purposes is **\$10,000.00**

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.

- (b) Only one service will be permitted for this development. The applicant, at his cost, will arrange for the installation of one new overflow service. The estimated cost of this construction for bonding purposes is **\$5,000.00**

4. Road Improvements

- (a) Lakeshore Rd must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk, landscaped boulevard complete with street trees drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The estimated cost of this construction for bonding purposes is **\$20,000.00**

6. Subdivision

- (a) Grant Statutory Rights Of Way if required for utility services.
- (b) Dedicate ~5.16m width along the full frontage of Lakeshore Rd.
- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

7. Electric Power and Telecommunication Services

- a) All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground.
- b) Streetlights must be installed on Lakeshore Rd if needed.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- d) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

8. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the city engineering department for review and marked "issued for construction" by the city engineer before construction may begin.

12. Bonding and Levy Summary(a) Bonding

Water service upgrades	\$ 10,000
Sanitary sewer service upgrades	\$ 10,000
Storm overflow services	\$ 5,000
Lakeshore Rd frontage improvements	\$ 20,000
<b>Total Bonding</b>	<b>\$45,000.00</b>


NOTE: The bonding amount shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided and may be in the form of cash or an irrevocable letter of credit, in an approved format.

The owner must also enter into a servicing agreement in a form provided by the City.

13. Development Permit and Site Related Issues

## Access and Manoeuvrability

- (i) *Furthermore, it is advised that in the future, access and egress to and from the site may be restricted to right-in and right-out due to a future median.*
- (ii) Indicate on the site, the locations of loading bays as well as the garbage and recycle bins.

  
\_\_\_\_\_  
Steve Muenz, P. Eng.  
Development Engineering Manager  
SS



9. Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

11. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.



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**CITY OF KELOWNA**

**MEMORANDUM**

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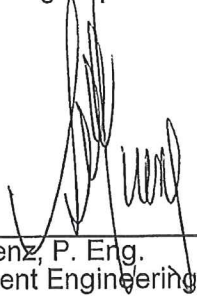
**Date:** June 23, 2015  
**File No.:** OCP15-0011  
**To:** Urban Planning (TY)  
**From:** Development Engineer Manager (SM)  
**Subject:** 4077 Lakeshore Rd

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The Development Engineering comments and requirements regarding this OCP amendment application are as follows:

**1. General.**

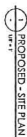
- a) All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z15-0031.



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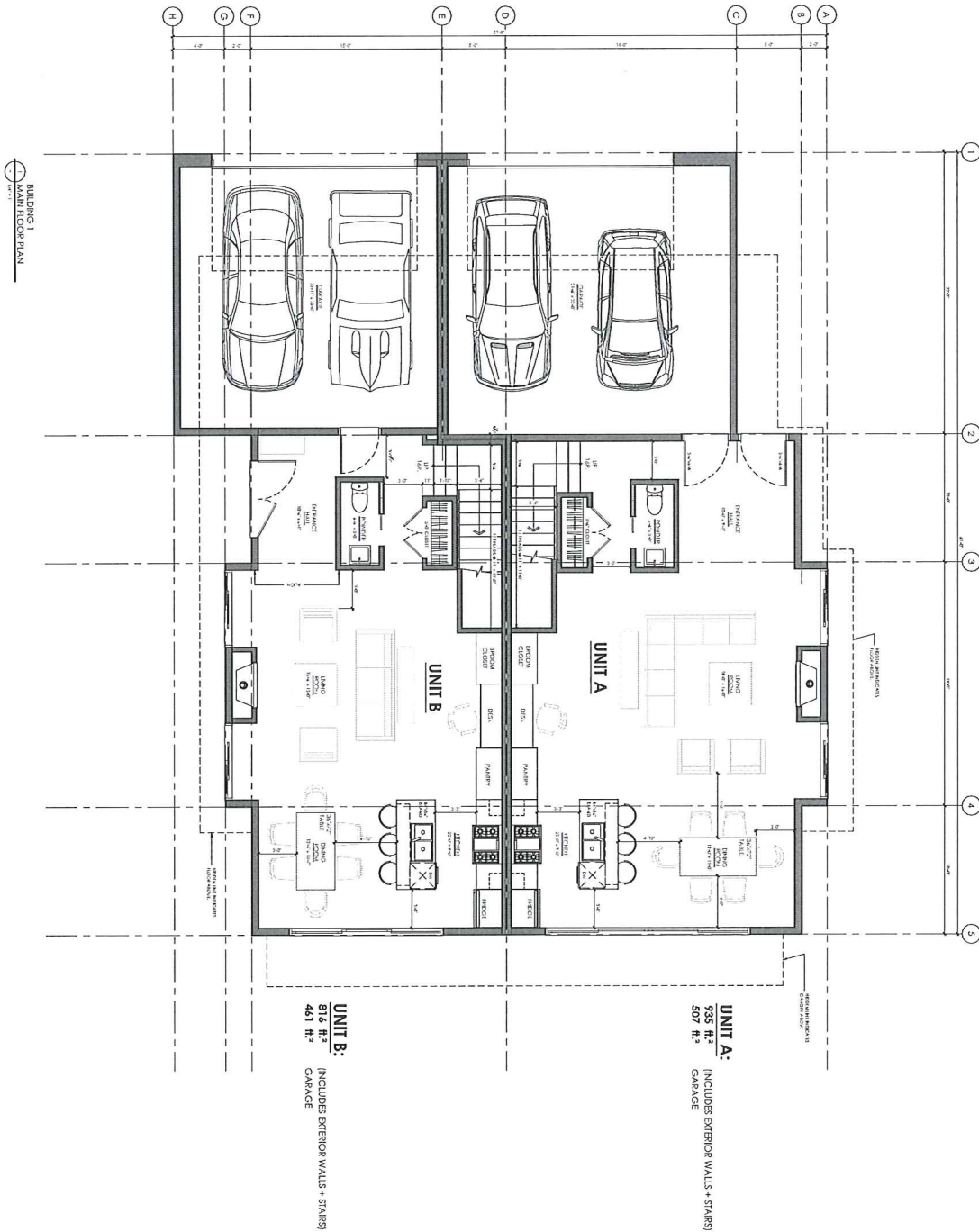
Steve Muenz, P. Eng.  
Development Engineering Manager

SS

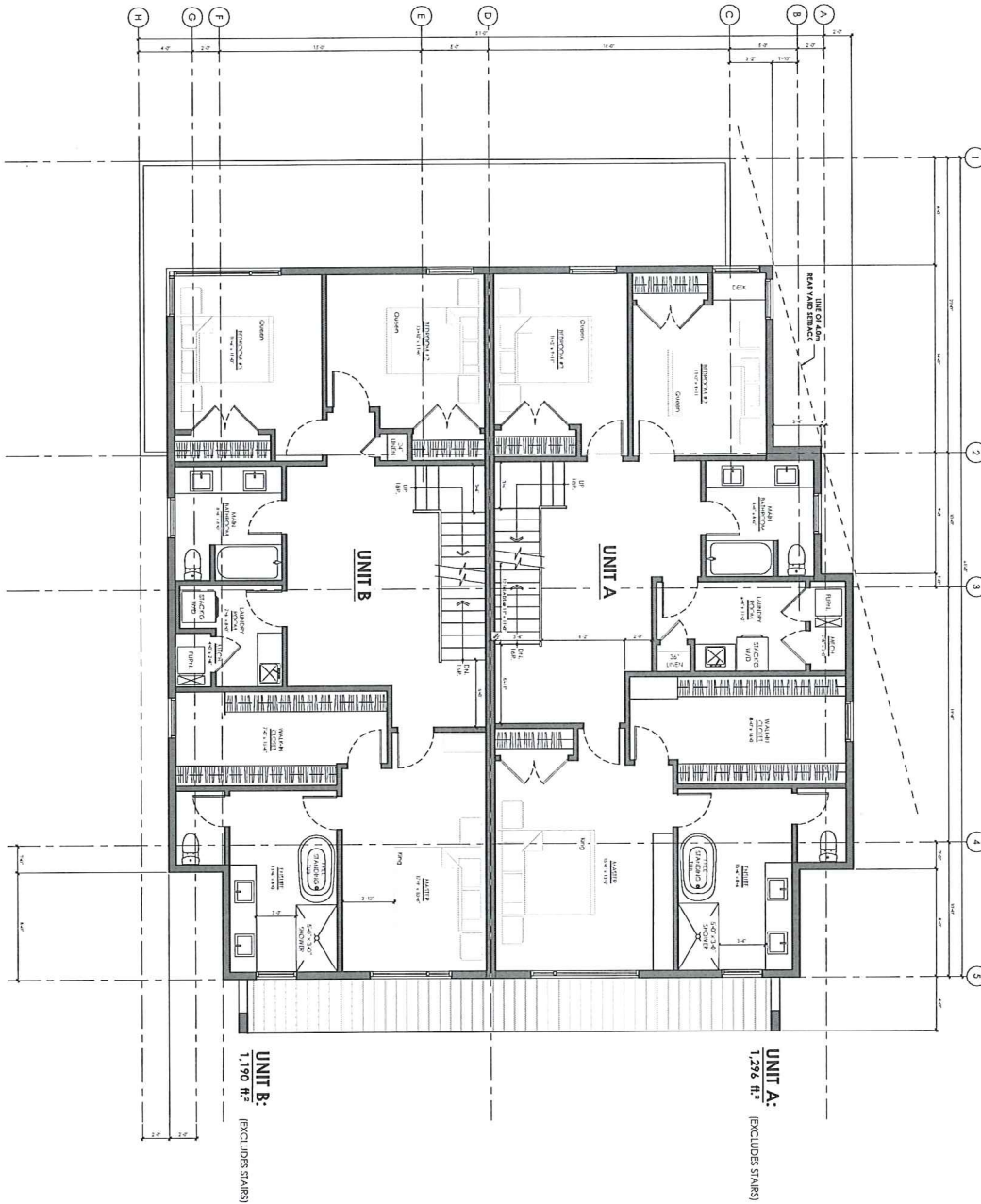
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PROJECT: **LAKESHORE SEMI-DETACHED RESIDENCES**  
ADDRESS: **4077 LAKESHORE DRIVE, KELOWNA, BC** LOT: B, PLAN: 10613  
ISSUED FOR: **RE-ISSUED FOR DP - R15 (JULY-23-2015)**





REISSUED 1  
SECOND LOOP PLAN



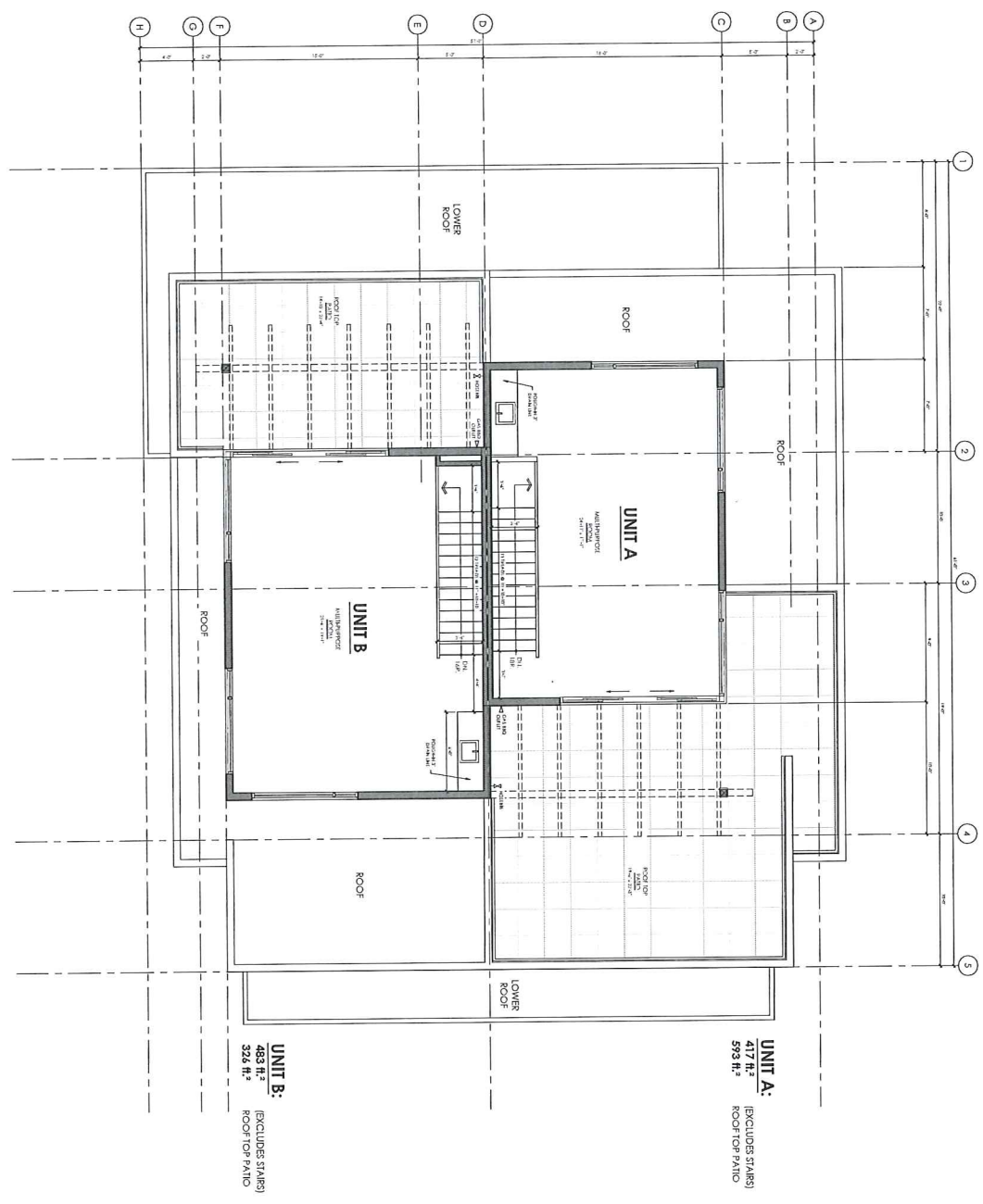
RE-ISSUED for DP

PROJECT: LAKESHORE SEMI-DETACHED RESIDENCES  
ADDRESS: 4077 LAKESHORE DRIVE, KELOWNA, BC LOT: B, PLAN: 10613  
ISSUED FOR: RE-ISSUED FOR DP - R14 (MAY-28-2015)



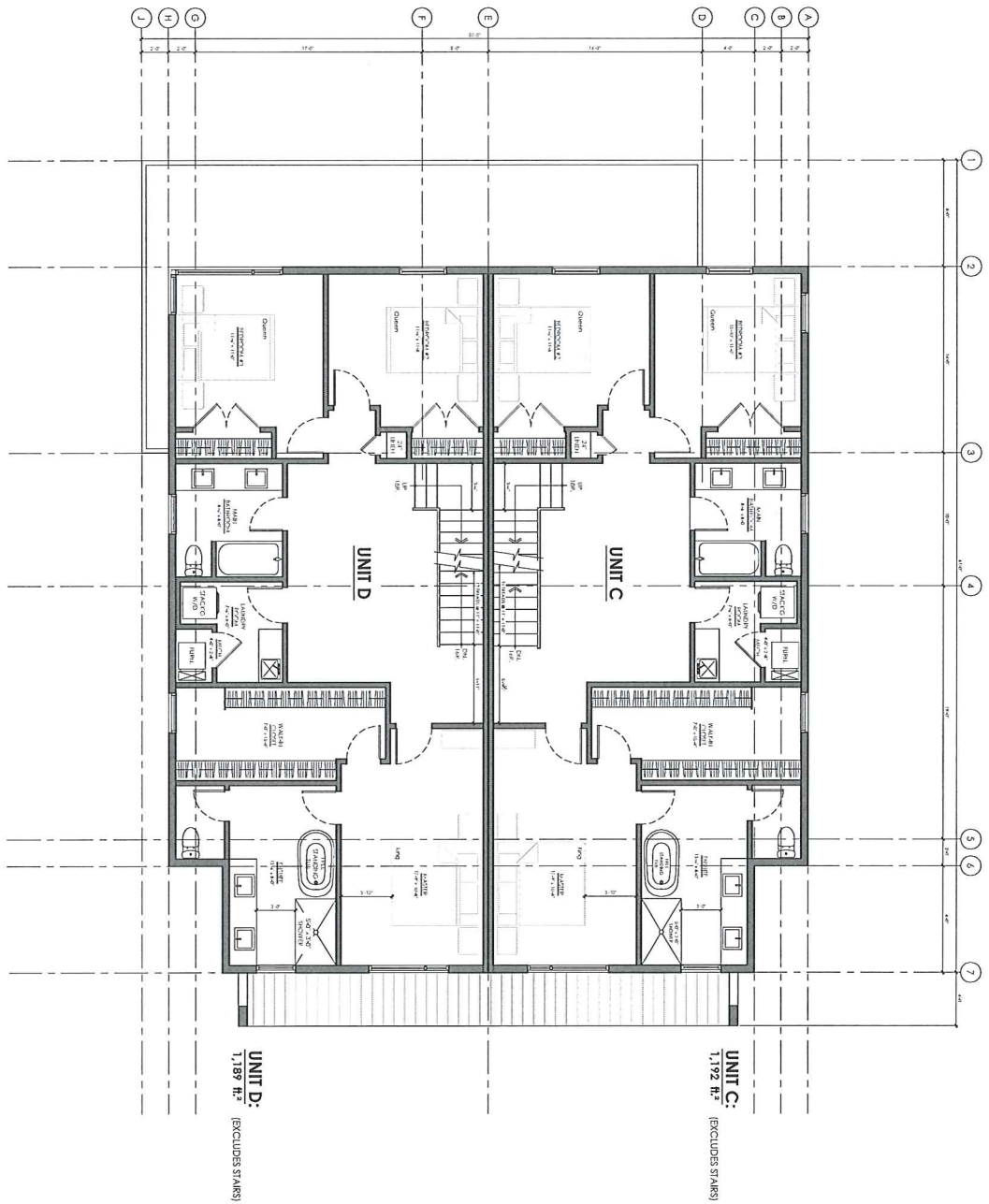


BUILDING 1  
THIRD FLOOR PLAN

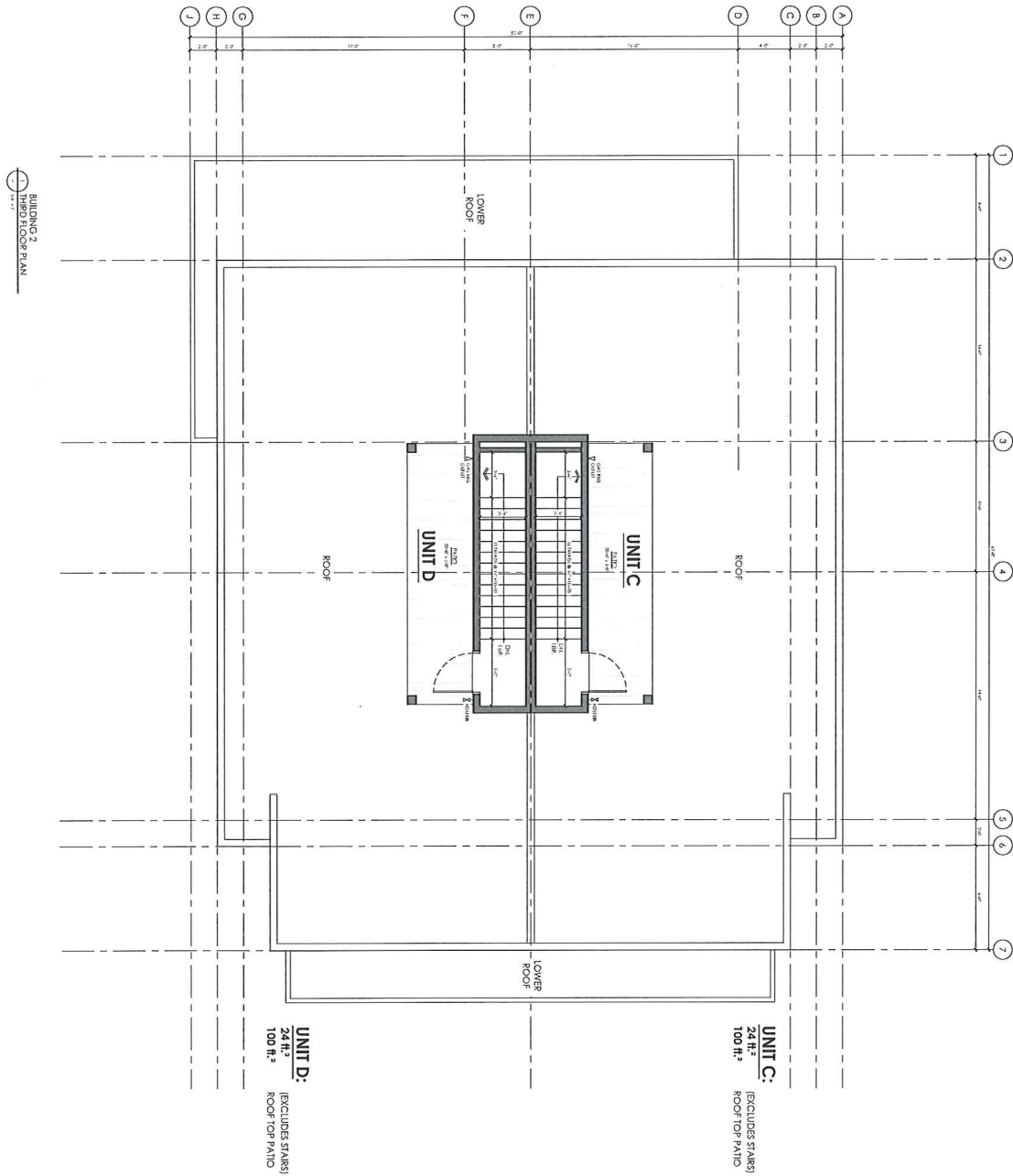


RE-ISSUED for DP





RE-ISSUED for DP



RE-ISSUED for DP

PROJECT: LAKESHORE SEMI-DETACHED RESIDENCES  
 ADDRESS: 4077 LAKESHORE DRIVE, KELOWNA, BC LOT: B, PLAN: 10613  
 ISSUED FOR: RE-ISSUED FOR DP - R14 (MAY-28-2015)







**WORMAN**  
WORMAN HOMES | WORMAN COMMERCIAL

ILLUSTRATION / THE ARTS ALIVE

PEP

4077 LAKESHORE ROAD | Kelowna, BC

Worman Homes | Worman Commercial



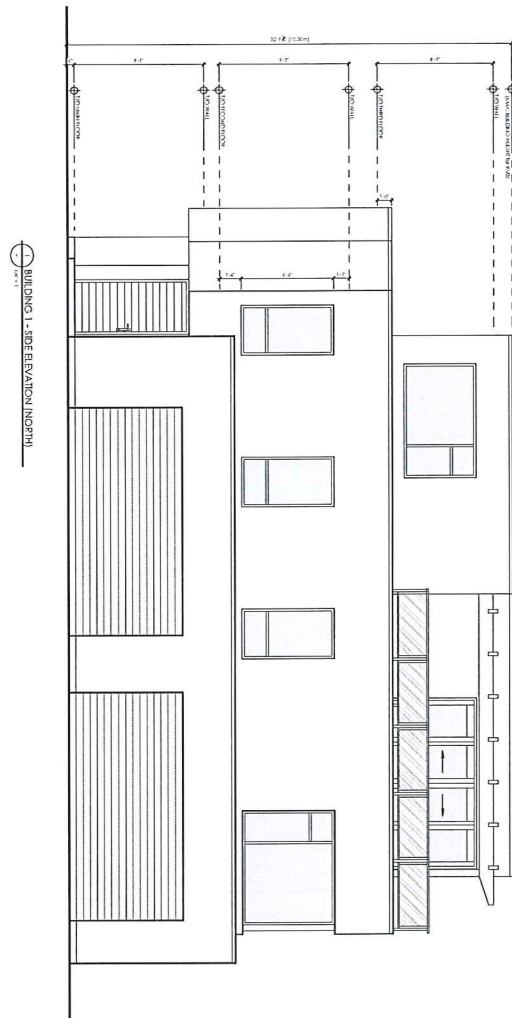


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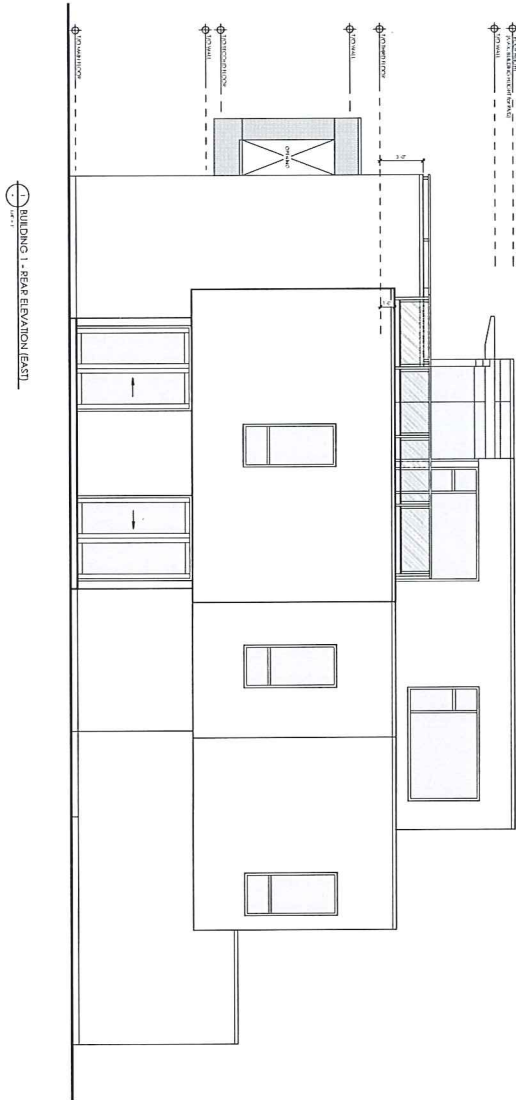
4077 LAKESHORE ROAD | Kelowna, BC

Worman Homes | Worman Commercial





1. BUILDING 1 - SIDE ELEVATION NORTH



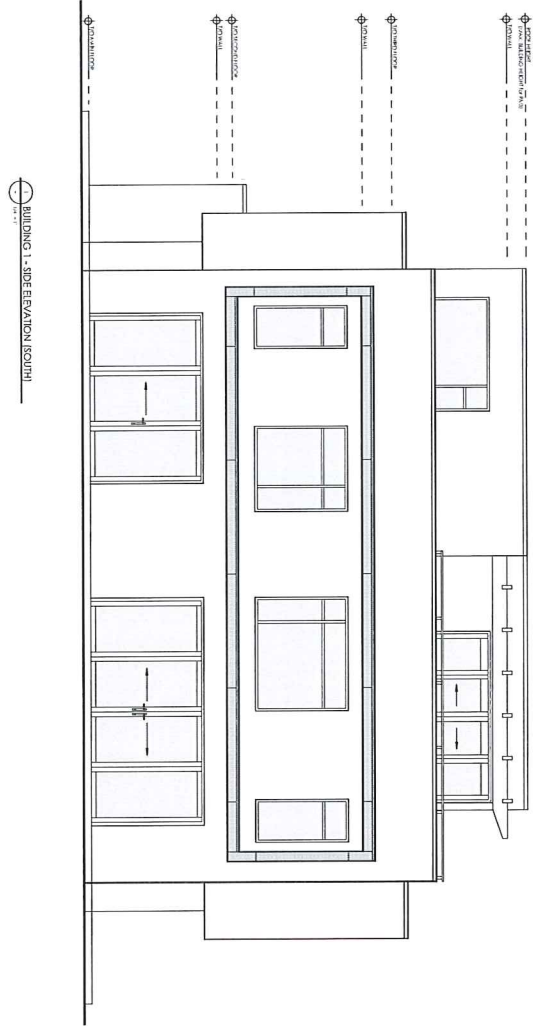
2. BUILDING 1 - REAR ELEVATION EAST

RE-ISSUED for DP

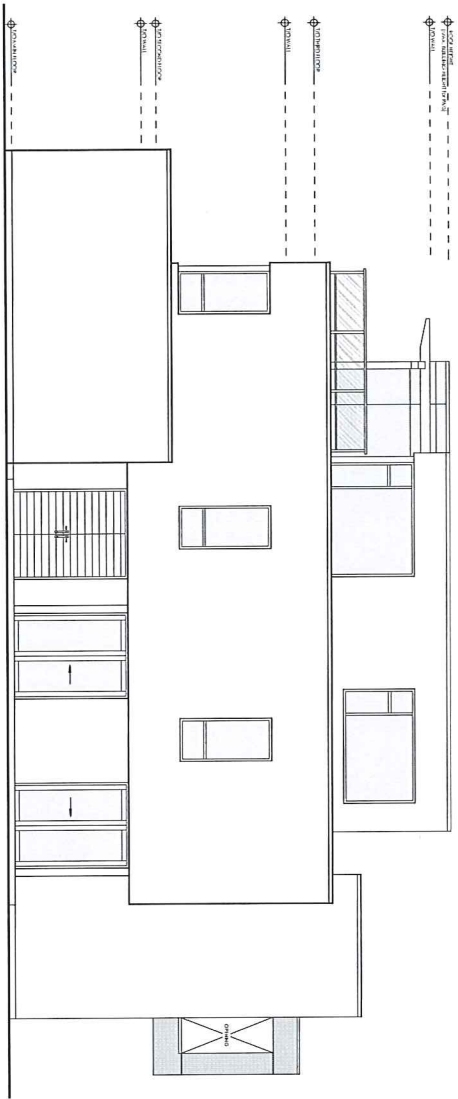
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PROJECT: LAKESHORE SEMI-DETACHED RESIDENCES  
 ADDRESS: 4077 LAKESHORE DRIVE, KELOWNA, BC LOT: B, PLAN: 10613  
 ISSUED FOR: RE-ISSUED FOR DP - R14 (MAY-28-2015)





BUILDING 1 - SIDE ELEVATION (SOUTH)



BUILDING 1 - FRONT ELEVATION (WEST)

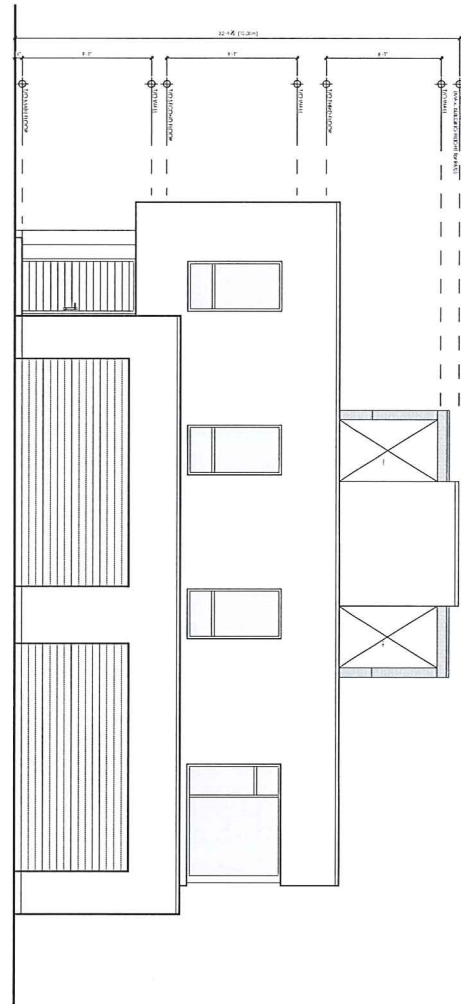
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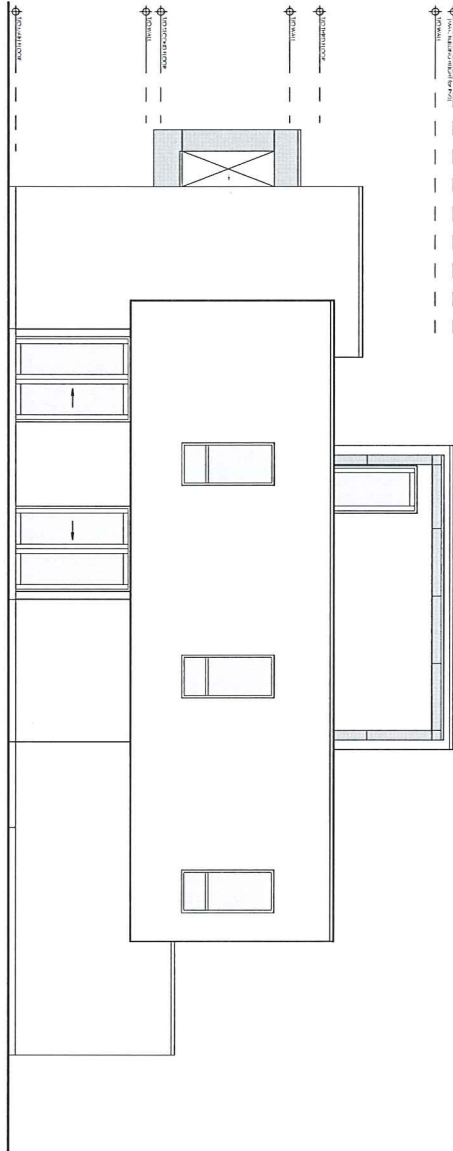
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 ADDRESS: 4077 LAKESHORE DRIVE, KELOWNA, BC LOT: B, PLAN: 10613  
 ISSUED FOR: RE-ISSUED FOR DP - R14 (MAY-28-2015)







BUILDING 2 - SIDE ELEVATION (NORTH)



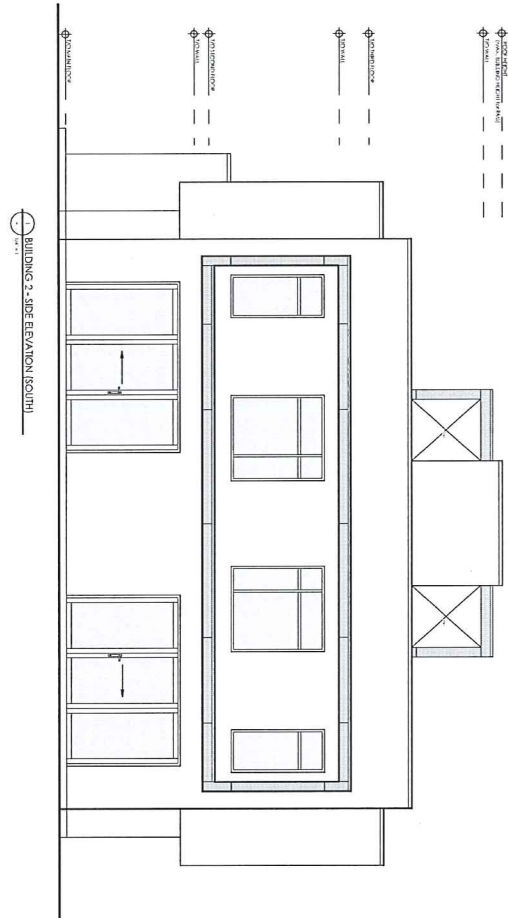
BUILDING 2 - REAR ELEVATION (EAST)

RE-ISSUED for DP

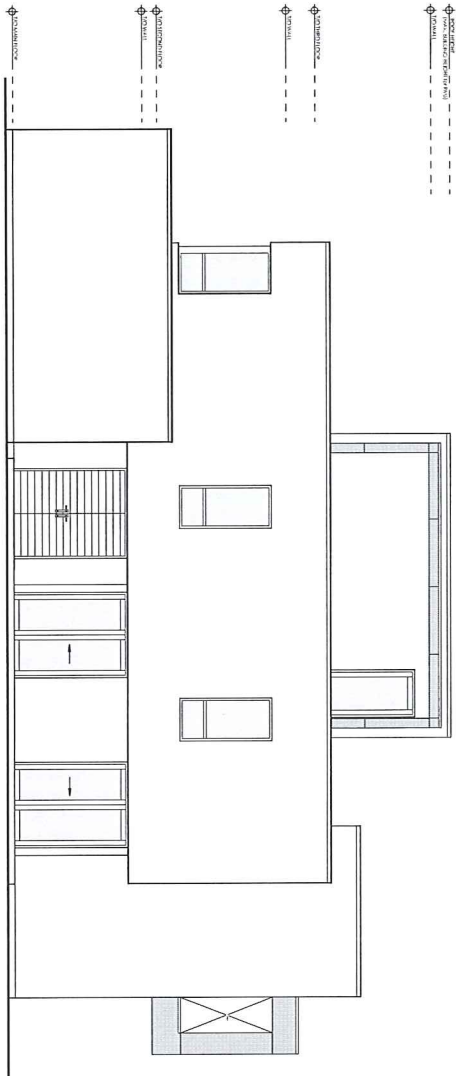
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 ISSUED FOR: RE-ISSUED FOR DP - R14 (MAY-28-2015)





BUILDING 2, SIDE ELEVATION (NORTH)



BUILDING 2, FRONT ELEVATION (WEST)

RE-ISSUED for DP

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN WHOLE OR IN PART IS FORBIDDEN WITHOUT WRITTEN PERMISSION OF: WORMAN HOMES

PROJECT: LAKESHORE SEMI-DETACHED RESIDENCES  
 ADDRESS: 4077 LAKESHORE DRIVE, KELOWNA, BC LOT: B, PLAN: 10613  
 ISSUED FOR: RE-ISSUED FOR DP - R14 (MAY-28-2015)



206 - 1889 Spall Road  
Kelowna, BC V1Y 4R2  
T (250) 868-9270  
[www.outlanddesign.ca](http://www.outlanddesign.ca)

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### DURING THE

## CONCEPTUAL LANDSCAPE PLAN

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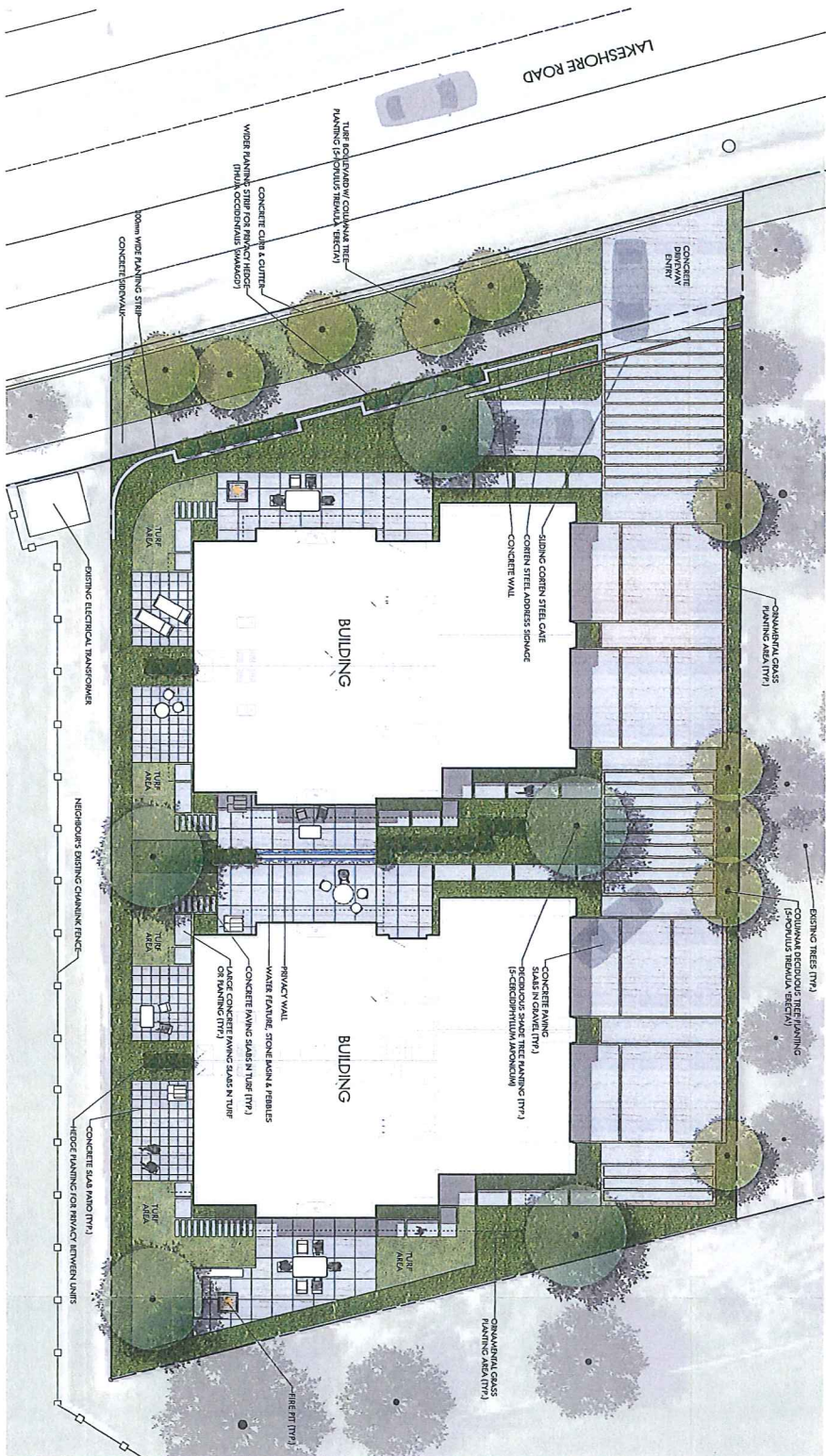
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DRAWING NEWWIRE

ISSUED FOR REVIEW ONLY

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## PLANT LIST

COMMON NAME	QTY	SIZE/ SPECIES & REMARKS	BOTANICAL NAME
AVAILABLE TREE	5	6cm DIA.	NEERUS INDICA
SWAMPY AREAS	10	60 CM. / 1.20 C. SPECIES	NEERUS INDICA
BROAD LEAFED GRASS	31	60 CM. / 1.20 C. SPECIES	PORETTA OCCIDENTALIS
COOL PLANTED NAME GRASS	25	60 CM. / 1.20 C. SPECIES	PORETTA OCCIDENTALIS
MAJOR GRASS	35	60 CM. / 1.20 C. SPECIES	PORETTA OCCIDENTALIS
TALL MOOR GRASS	25	60 CM. / 1.20 C. SPECIES	PORETTA OCCIDENTALIS
RED FLOWERING GRASS	25	60 CM. / 1.20 C. SPECIES	PORETTA OCCIDENTALIS
COOL SWAMPY GRASS	22	60 CM. / 1.20 C. SPECIES	PORETTA OCCIDENTALIS

## NOTES

1. PLANT MATERIAL AND CONTRIBUTION MATERIALS SHALL MEET OR EXCEED BEST PRACTICES AND CURRENTLY APPLICABLE ILLINOIS AND FEDERAL BEST PRACTICES STANDARDS.
2. ALL SOIL LANDSCAPE AREAS SHALL BE WATERED BY A UTILITY AUTOMATIC TWO-OR-THREE TIMES PER WEEK DURING THE GROWING SEASON.
3. TREES AND SHRUB BEDS TO BE DISSEMINATED WITHIN ONE YEAR SHALL BE PLANTED WITHIN 100% OF THE BEDS.
4. TREES AND SHRUB BEDS TO RECEIVE ANNUAL 300mm+ DEPTH TOPDRESSING SHALL BE PLANTED WITHIN 100% OF THE BEDS.
5. TREE AREAS SHALL BE WATERED BY A UTILITY AUTOMATIC TWO-OR-THREE TIMES PER WEEK DURING THE GROWING SEASON.
6. TREE AREAS SHALL BE MULCHED WITHIN 100% OF THE BEDS.
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# CITY OF KELOWNA

## BYLAW NO. 11136

### Official Community Plan Amendment No. OCP15-0011 Greencorp Ventures Inc., Inc. No. BC0987730 4077 Lakeshore Road

---

A bylaw to amend the "*Kelowna 2030* - Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* - Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of Lot B, Section 6, Township 26, ODYD, Plan 10613, located on Lakeshore Road, Kelowna, B.C., from the S2RES - Single / Two Unit Residential designation to the MRL - Multiple Unit Residential (Low Density) designation;
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



**CITY OF KELOWNA**  
**BYLAW NO. 11137**  
**Z15-0031 - Greencorp Ventures Inc., Inc. No. BC0987730**  
**4077 Lakeshore Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot B, Section 6, Township 26, ODYD, Plan 10613 located on Lakeshore Road, Kelowna, B.C., from the RU1 - Large Lot Housing zone to the RM3 - Low Density Multiple Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# REPORT TO COUNCIL



**Date:** September 14, 2015  
**RIM No.** 1210-20  
**To:** City Manager  
**From:** Community Planning Department(AC)  
**Application:** TA15-0009  
**Address:** 5305-5315 Main Street  
**Subject:** Zoning Bylaw Text Amendment

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## 1.0 Recommendation

THAT Zoning Bylaw Text Amendment No. TA15-0009 to amend the City of Kelowna Zoning Bylaw No. 8000 by adding "Retail Liquor Sales Establishment - applicable only to Lot 1, District Lot 23, Township 28, SDYD, Plan KAP91191 (5305-5315 Main Street)" to Section 1.2 Principal Uses in the CD2 - Kettle Valley Comprehensive Residential Development zone be considered by Council;

AND THAT the Zoning Bylaw Text Amending Bylaw be forwarded to a Public Hearing for further consideration.

## 2.0 Purpose

To allow for a retail liquor store on a site specific basis within the Kettle Valley Village Centre.

## 3.0 Community Planning

Staff supports the text amendment (TA15-0009) to allow retail liquor sales at the Kettle Valley Neighbourhood Centre. The purpose of Neighbourhood Centres, as identified within the OCP, is to provide goods and services for the convenience needs of nearby residents. Therefore, the use of a retail liquor sales establishment is consistent with the policies identified within the OCP. Other zones, such as C4 or C7 require a minor rezoning to add the 'rls' (retail liquor store) designation. The CD2 - Kettle Valley Comprehensive Residential Development Zone does not have an 'rls' designation, and the site-specific text amendment is necessary to allow the use.

The applicant has completed their neighbour consultation as per Council Policy No. 367 (public consultation) by individually contacting the adjacent neighbours as described in the attached *Schedule 'A'*. No major issues were identified.

## 4.0 Proposal

### 4.1 Site Context

Adjacent land uses are all zoned CD2 - Kettle Valley Comprehensive Development Zone. The specific land uses are as follows:



at densities appropriate to their context. Building heights in excess of four storeys will not be supported within the suburban areas, unless provided for by zoning existing prior to adoption of OCP Bylaw 10500.

## **6.0 Technical Comments**

### **6.1 Building & Permitting Department**

No comment

### **6.2 Development Engineering Department**

No comment

### **6.3 Ministry of Transportation and Infrastructure**

Thank you for the above-noted referral. The Ministry has no concerns or objections as it is beyond our jurisdiction.

## **7.0 Application Chronology**

Date of Application Received: August 6<sup>th</sup> 2015

Date Public Consultation Completed: August 18<sup>th</sup> 2015

**Report prepared by:**

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Adam Cseke Planner 2

**Reviewed by:**



Lindsey Ganczar, Planning Supervisor

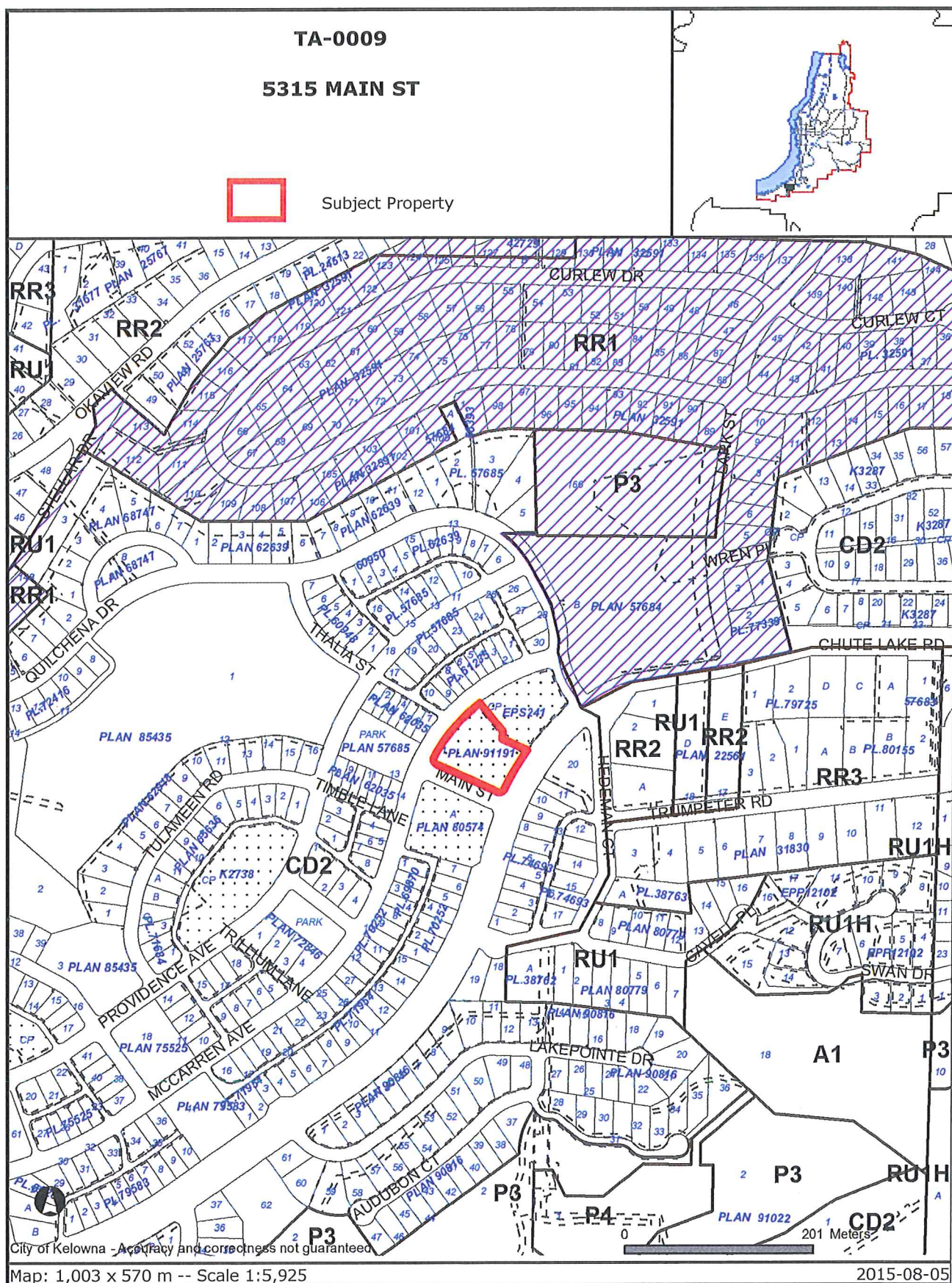
## **Attachments:**

Site Plan

Applicant Rationale

Neighbourhood Consultation





Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.

To City of Kelowna Rezoning

From Tony Overton & Susan Overton

24<sup>th</sup> July 2015

We are the registered owners of the Village Centre, lot 1, section 23, township 28, SDYD, planKAP91191, PID 028-291-827

In 2011 we built an additional commercial building to enlarge the Village Centre from approx. 17,000 sq ft to almost 30,000 sq ft. We now have 19 businesses operating from the Village Centre, but 2,000 sq ft remains unoccupied and "unfinished space"

An offer has been made to lease and finish the remaining 2,000 sq ft of space, but this is subject to obtaining either a "text amendment" or rezoning to allow a liquor store. There is not a liquor store in the Upper Mission and residents have requested that this service is offered from the Village Centre. Convenience is one reason but safety is also another, as many people do not want to drive down into the Lower Mission in the Winter months, as this can be very challenging due to the steep hills which link the Upper and Lower Mission area.

Liquor licenses are very expensive and very hard to come by, so it would be very much appreciated if this was reviewed and approved as quickly as possible.

Thank you



Tony & Susan Overton



Neighbour Consultation Form  
(Council Policy No.367)



A summary of neighborhood consultation efforts, feedback and response must be provided to City staff, identifying how the efforts meet the objectives of this Policy. This form must be filled out and submitted to the File Manager a minimum of 20 days prior to initial consideration by Council.

I, Anthony Overton, the applicant for Application No. TA15-0009

for Text amendment to CR zone  
(brief description of proposal)

at 5315 Main Street, Kelowna have conducted the required neighbour  
(address)  
consultation in accordance with Council Policy No. 367.

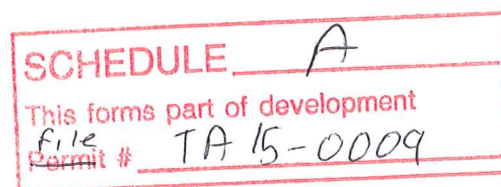
- My parcel is located outside of the Permanent Growth Boundary and I have consulted all owners & occupants within a 300m radius
- ☒ My parcel is located inside of the Permanent Growth Boundary and I have consulted all owners & occupants within a 50m radius

I have consulted property owners and occupants by doing the following: I have placed  
a letter at the front door of each property  
within 50 meters of the Village centre

Please initial the following to confirm it has been included as part of the neighbour consultation:

- ☒ Location of the proposal;
- ☒ Detailed description of the proposal, including the specific changes proposed;
- ☒ Visual rendering and/or site plan of the proposal;
- ☒ Contact information for the applicant or authorized agent;
- ☒ Contact information for the appropriate City department;
- ☒ Identification of available methods for feedback.

Please return this form, along with any feedback, comments, or signatures to the File Manager 20 days prior to the anticipated initial consideration by Council date. On the back of this form please list those addresses that were consulted.



City of Kelowna  
1435 Water Street  
Kelowna, BC V1Y 1J4  
TEL 250 469-8600  
FAX 250 862-3330  
kelowna.ca

	Address	Spoke with Owner & Occupant	Left Package with Owner & Occupant	Date
1	Turn lane McCowan Ave	✓	✓	16 <sup>th</sup> August 2015
2	" "	✓	✓	"
3	" "		✓	"
4	" "		✓	"
5	" "		✓	"
6	" "	✓	✓	"
7	" "	✓	✓	"
8	" " Quilchena Dr	✓	✓	"
9	" "	✓	✓	"
10	" "		✓	"
11	" "		✓	"
12	" "		✓	"
13	" "		✓	"
14	" " Charlotte Rd	✓	✓	"
15	" "	✓	✓	"
16	" "		✓	"
17	" "		✓	18 <sup>th</sup> Aug 15
18	" "		✓	"
19	" "		✓	"
20	" "		✓	"
21	" "		✓	"
432	McCowan Ave	✓	✓	"
430	" "		✓	"
428	" "		✓	"
426	" "		✓	"
424	" "		✓	"
422	" "		✓	"
420	" "		✓	"
418	" "	✓	✓	"
5296	" "	✓	✓	"
5321	Charlotte Rd	✓	✓	"
5327	" "		✓	"
5329	" "	✓	✓	"
5333	" "	✓	✓	"

SCHEDULE A  
 This forms part of development  
 File  
 Permit # TA15-0009



**CITY OF KELOWNA**  
**BYLAW NO. 11138**  
**TA15-0009 - Anthony and Susan Overton -**  
**Retail Liquor Sales Establishment for**  
**5305 - 5315 Main Street**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by adding to **Schedule 'B' - Comprehensive Development Zones - CD2 - Kettle Valley Comprehensive Residential Development, 1.2 Principal Uses**, in its proper location and renumbering subsequent sub-paragraphs the following:  
  
    **"retail liquor sales establishment - applicable only to Lot 1, District Lot 23, Township 28, SDYD, Plan KAP91191 (5305-5315 Main Street)"**
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# Report to Council



**Date:** September 15, 2015  
**Rim No.** 1250-04  
**To:** City Manager  
**From:** Ryan Roycroft, Planner  
**Subject:** Housekeeping Text Amendments for the Zoning Bylaw 8000

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## **Recommendation:**

THAT Zoning Bylaw Text Amendment No. TA14-0022 to amend City of Kelowna Zoning Bylaw No. 8000 by amending the text found in "Schedule A" of the Report of the Urban Planning Department dated March 18, 2015, be considered by Council;

AND THAT Bylaw No. 11139 – Housekeeping Text Amendments to Zoning Bylaw No. 8000 be forwarded for reading consideration;

AND THAT Bylaw No. 11140 – Housekeeping Text Amendments to Zoning Bylaw No. 8000 be forwarded for reading consideration;

AND THAT Bylaw No. 11141 – Housekeeping Text Amendments to Zoning Bylaw No. 8000 be forwarded for reading consideration;

AND THAT the Text Amendment bylaws be forwarded to Public Hearing for further consideration.

AND FURTHER THAT final adoption of the Zone Amending Bylaws be considered subsequent to a review by the Ministry of Transportation & Infrastructure being completed to their satisfaction.

## **Purpose:**

To seek approval for housekeeping text amendments to Zoning Bylaw 8000

## **Background:**

City staff has identified amendments to the Zoning Bylaw which seek to improve the implementation and readability of the rules found within the document. Schedule "A" lists these proposed changes.

Text amendments include:

- Removing definitions which were redundant or otherwise no longer utilized

- Removing development guidelines rules for secondary suites and carriage homes from the RU1 and RU2 zoning and placing them all under the Specific Use Regulations Section for ease of recall
- Without altering parking regulations, changing Parking Schedule table format and removing some erroneous text which were repeated in other Sections
- Fixing incorrect text (typos) and inconsistent terms

A detailed explanation of all text amendments can be found in Schedule "B."

None of the proposed amendments significantly increase regulation surrounding the development of land and thus staff have provided a copy of the amendments to the Urban Development Institute as a courtesy but have not sought feedback.

Staff from several City Departments collaborated on the amendments including the City's Urban Planning Branch, Building and Permitting Branch, Subdivision, Agriculture and Environment Branch and the Policy and Planning Branch.

#### **Internal Circulation:**

**Development Engineering:** No concerns with proposed Zoning Bylaw amendments

**Policy and Planning:** Policy and Planning has no concerns with the proposed amendments.

**Building and Permitting Branch:** No concerns with proposed Zoning Bylaw amendments.

**Subdivision, Agriculture & Environment Branch:** No concerns with the proposed amendments.

#### **Considerations not applicable to this report:**

**Legal/Statutory Authority:**

**Legal/Statutory Procedural Requirements:**

**Financial/Budgetary Considerations:**

**Personnel Implications:**

**External Agency/Public Comments:**

**Communications Comments:**

**Alternate Recommendation:**

Submitted by:

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Ryan Roycroft, Planner

**Attachments:**

Schedule "A" - Summary Table of Proposed Text Amendments with Explanation



## Zoning Bylaw No. 8000

No.	Section	Existing Text	Proposed Text	Explanation of change
<b>SECTIONS 1 &amp; 2</b>				
1	1 - General Administration 1.3.4 Zoning Map	(a) An "s" notation shown on Schedule "A" as part of the identified <b>zone</b> classification indicates that a secondary use in the form of a <b>secondary suite</b> is permitted on the properties so designated, subject to meeting the conditions of use of the <b>zone</b> . An "s" zoning classification on a property shall be established by rezoning the subject property to the "s" version of the parent <b>zone</b> .	(a) a "c" notation shown on Schedule "A" as part of the identified <b>zone</b> classification indicates that a <b>secondary use</b> in the form of a <b>carriage house</b> is permitted on the properties so designated, subject to meeting the conditions of <b>use</b> of the <b>zone</b> . A "c" zoning classification on a property shall be established by rezoning the subject property to the "c" sub-zone of the parent <b>zone</b> .	<i>Switched the "s" modifier sub zone with the "c" modifier as the "s" was removed and "c" denotes a zone permitting a carriage house</i>
2	1 - General Administration 1.3 Zoning Map	RH1 Hillside Large Lot Residential/ RH1s Hillside Large Lot Residential with <b>Secondary suite</b>	RH1 Hillside Large Lot Residential	<i>Removed the "s" modifier sub zone as the "s" was removed from the Zoning Bylaw, as zones may permit a secondary suite without rezoning if it is a listed secondary use</i>
3	1 - General Administration 1.3 Zoning Map	Section 13  RM1 Four-plex Housing	Section 13  RM1 Four dwelling Housing	<i>A typing error. A four-plex housing type does not exist in the Zoning Bylaw.</i>
4	1 - General Administration  1.7 Non-Conforming Uses	1.7.1 Non-conforming agricultural, residential, or rural residential lots less than 0.2 ha., which existed prior to August 10, 1976, shall be developed in	1.7.1 Non-conforming Agricultural, Urban Residential, or Rural Residential lots less than 0.2 ha., which existed prior to August 10, 1976, shall be developed in	<i>Switched the "s" modifier sub zone with the "c" modifier as the "s" was removed and "c" denotes a zone permitting carriage</i>

		accordance with the provisions and regulations of the RU1, RU1(s), or RU1(h) zones.	accordance with the provisions and regulations of the RU1, RU1c, RU1h, RU1hc zones.	<i>homes.</i>
5	1- General Administration  1.8 Under Sized Lots	1.8.4 A lot having less than the required minimum lot size in a zone may be rezoned to add the "s" notation to the zone classification to permit a secondary suite as a secondary use, provided the lot was created before adoption of City of Kelowna Zoning Bylaw No. 8000 and the development otherwise complies with all regulations of the Zoning Bylaw.	1.8.4 Deleted	<i>Removed this regulation as the "s" sub zone no longer exists.</i>
6	2 - Interpretation 2.3 General Definitions	<b>BALCONY</b> means a platform, attached to and projecting from the face of a <b>building</b> with or without a supporting <b>structure</b> above the <b>first storey</b> , normally surrounded by a balustrade or railing and <b>used</b> as an outdoor <b>porch</b> or sun-deck with access only from within the <b>building</b> .	<b>BALCONY</b> means an uncovered platform, attached to and projecting from the face of a <b>building</b> , above the first <b>storey</b> , which is only accessed from within a <b>building</b> .	<i>Removed wording ("surrounded by a balustrade or railing and used as an outdoor porch or sundeck") which was implicit of and limiting to the definition of a balcony.</i>
7	2 - Interpretation 2.3.3 General Definitions	<b>BEDROOM</b> means a room containing a window, located in a <b>dwelling</b> , which due to its design or location in the <b>dwelling</b> , is or may be <b>used</b> primarily for sleeping. It includes dens, lofts, studies, and libraries.	<b>BEDROOM</b> means a room located within a <b>dwelling</b> and where the primary function is for sleeping. It may include, but is not limited to: dens, lofts, studies and libraries.	<i>Amending the definition of bedroom so that development staff (planners, plan checkers, bylaw enforcement) has more discretion on when to consider a room a bedroom.</i>

8	2 - Interpretation 2.3 General Definitions	<b>DECK</b> means a <b>structure</b> more than 0.6 m above grade without a roof or walls, except for visual partitions and railings, for <b>use</b> as an outdoor amenity area.	<b>DECK</b> means an uncovered, platform without a roof or walls, which may include visual partitions and railings, and has a surface height greater than 0.6 m above <b>grade</b> .	<i>Amended definition to read “uncovered” and to specify that height is measured from the deck surface.</i>
11	2 - Interpretation 2.3.3 General Definitions	<b>LOT COVERAGE</b> (see <b>SITE COVERAGE</b> ).	Deleted	<i>Removed definition of “lot coverage” as the definition referred to “site coverage” and was not defined on its own.</i>  <i>Replaced all instances of “lot coverage” with “site coverage” in the Zoning Bylaw.</i>
12	2-Interpretation 2.3 General Definitions	<b>MULTIPLE DWELLING HOUSING</b> means housing on a single lot other than a strata lot that contains three or more dwelling units	<b>MULTIPLE DWELLING HOUSING</b> means housing on a single lot other than a <b>bareland strata</b> lot that contains five or more <b>dwelling</b> units.	<i>Definition was too broad and captured other types of dwellings when it should only refer to denser housing types</i>
13	2-Interpretation 2.3.3 General Definitions	<b>PARKING SPACE</b> means an off- <b>street</b> space of the size and dimensions to park one <b>vehicle</b> in conformance with Section 8 of this Bylaw exclusive of driveways, aisles, ramps, or obstructions.	<b>PARKING SPACE</b> means an off- <b>street</b> space of the size and dimensions to park one <b>vehicle</b> , exclusive of driveways, aisles or ramps, which complies with Section 8 of this Bylaw.	<i>Removed “obstructions” from the parking space definition.</i>  <i>Another amendment clarifies what is considered an obstruction.</i>

14	2 - Interpretation 2.3.3 General Definitions	None	<b>PATIO</b> means a platform, which may or may not be attached and projecting from the face of a <b>building</b> , with a surface height that does not exceed 0.6 m from <b>grade</b> at any point.	<i>No definition of PATIO exists yet the Zoning Bylaw refers to an “uncovered patio.”</i>  <i>Creating a definition solidifies the difference between a deck and a patio.</i>
15	2 - Interpretation 2.3.3 General Definitions	<b>PRIVATE OPEN SPACE</b> means a useable open space area exclusive of required building setbacks and parking areas (common or individual) which is developed for the recreational use of the residents or a residential dwelling unit, and may include balconies, indoor common amenity space, terraces, decks and level landscaped recreation areas.	<b>PRIVATE OPEN SPACE</b> means a useable open space area, exclusive of <b>parking spaces</b> , which is developed for the recreational use of the residents of a residential <b>dwelling</b> unit, and may include <b>balconies</b> , indoor common amenity space, terraces, <b>decks</b> and level <b>landscaped</b> recreation areas.	<i>Removed “exclusive of required building setbacks” because homes which had minimum required yards could not develop secondary dwellings.</i>  <i>Parcels still shall provide the minimum 30m<sup>2</sup> of private open space per dwelling on the parcel.</i>
16	2 - Interpretation 2.3.3 General Definitions	None	<b>ROW HOUSE</b> means three or more <b>dwelling</b> units, which each have a direct entrance at <b>grade</b> , and where no <b>dwelling</b> is located wholly or partially above another <b>dwelling</b> unit.	<i>No definition for Row House yet Zoning Bylaw refers to this housing type.</i>
17	2 - Interpretation 2.3.3 General Definitions	<b>SITE COVERAGE</b> means the percentage of the total horizontal area of a <b>lot</b> or <b>lots</b> that may be built upon including accessory <b>buildings</b> or <b>structures</b> (including <b>carports</b> , a covered patio larger than 23 m <sup>2</sup> , and <b>decks</b> over 0.6 m in <b>height</b> ) excluding steps, eaves, cornices, cantilevered balconies	<b>SITE COVERAGE</b> means the percentage of the total horizontal area of a <b>lot</b> or <b>lots</b> that may be built upon including accessory <b>buildings</b> or <b>structures</b> (including <b>carports</b> , a covered <b>patio</b> which is 23m <sup>2</sup> or larger, and <b>decks</b> ) except it does not include steps, eaves, cornices, cantilevered <b>balconies</b> ,	<i>Amended definition wording to be more consistent with similar rules within the Zoning Bylaw.</i>



		and similar projections permitted by this Bylaw, breezeways, and open courtyards.	pergolas, courtyards garden plots or similar projections permitted by this Bylaw	
19	2 - Interpretation 2.3 General Definitions	None	<b>TEMPORARY PARKING LOT</b> means a surface parking lot which has been granted temporary approval, for up to 3 years, for the temporary parking of vehicles and shall incorporate a <b>dust free surface</b> .	<i>Will capture the fact that the parking lots are temporary (up to 3 years).</i>  <i>Amended to require the surface be a dust free surface, which includes asphalt or other paving materials in the definition for "dust free surface."</i>
20	2 - Interpretation 2.3 General Definitions	<b>YARD</b> means an area created by setback measured 0.5 m above grade.	<b>YARD</b> means an area created by a building setback from a property line.	<i>Removed the "0.5m" as this measurement is used in other definitions where it fits the context of the regulation better. For example "patios."</i>
21	2 .3 General Definitions	Incorrect alphabetical order		<i>Definitions are not in alphabetical order.</i>
<b>SECTION 6 through 8</b>				
22	6 - General Development Guidelines  6.4 Projections	6.4.2 Unenclosed steps, eaves, awnings, decks, canopies, balconies, or porches may project into a required yard provided such projections do not exceed 0.6 m in	6.4.2 Unenclosed steps, eaves, awnings, decks, canopies, balconies, and porches shall not project more than 0.6 m into a required yard except they may	<i>Cleaned up wording as all setback requirements, other than the rear yard exception, were 0.6m.</i>

	Into Yards	the case of a front or <b>side yard</b> on a <b>flanking street</b> , 0.6 m in the case of an interior <b>side yard</b> , and 2.5 m in the case of a <b>rear yard</b> greater than 6.0 m.	project 2.5m into a required rear yard.	<i>Removed that a projection could project 2.5m into a rear yard which was greater than 6.0m because rule could be easily misinterpreted.</i>
23	6 - General Development Regulations  6.14 Riparian Management Areas Setbacks	6.14.3 When new <b>lots</b> are created abutting a <b>watercourse</b> where a <b>Riparian Management Area</b> setback is required; the land within the <b>RMA</b> may be used for calculating the minimum <b>lot</b> area and for the determination of permitted <b>density</b> and <b>lot coverage</b> .	6.14.3 When new <b>lots</b> are created abutting a <b>watercourse</b> where a <b>Riparian Management Area</b> setback is required, the land within the <b>RMA</b> may be used for calculating the minimum <b>lot</b> area and for the determination of permitted <b>density</b> and <b>site coverage</b> .	<i>Replaced all instances of “lot coverage” with “site coverage” as lot coverage is not properly defined in the Zoning Bylaw.</i>
24	7 - Landscaping and Screening  7.5 Fencing and Retaining Walls	7.5.4 No <b>fence</b> in a commercial or industrial <b>zone</b> shall exceed 2.4 m.	7.5.4 No <b>fence</b> in a Commercial, Public and Institutional or Industrial <b>zone</b> shall exceed 2.4 m.	<i>The Public and Institutional Zone were not listed in this rule and so was added.</i>
25	7 - Landscaping and Screening  7.6 Minimum Landscape Buffers	7.6.9 In addition to the minimum landscape buffer treatment levels above: (a) all lands adjacent to Highways 33 and 97, except those in agricultural zones and within Urban Centres, are required to have Level 4 landscape buffer treatment unless super-ceded by development permit guidelines; (b) all internal lot lines on a site being comprehensively developed are exempt from	7.6.9 In addition to the minimum landscape buffer treatment levels above: (a) all lands adjacent to Highways 33 and 97, except those in agricultural zones and within Urban Centres, are required to have Level 4 landscape buffer treatment unless superseded by development permit guidelines; (b) -deleted (b) all industrial zone properties shall have a Level 3 buffer zone when adjacent to non-industrial	<i>Deleted (b) and (j) as they were erroneous.</i>

		<p>side yard buffer zones;</p> <p>(c) all industrial zone properties shall have a Level 3 buffer zone when adjacent to non-industrial zone properties;</p> <p>(d) CD zones shall specify the buffer treatment levels for the CD site;</p> <p>(e) all non-accessory surface parking lots in an urban centre shall have a level 2 buffer zone;</p> <p>(f) required landscape islands in parking areas shall have the same level of landscaping as a Level 2 buffer zone; and</p> <p>(g) recreational vehicle parking compounds in residential zones shall have a Level 5 buffer zone;</p> <p>(h) on corner lots, front yard landscape buffers shall apply to all street frontages; for development in industrial zones with parking located in front of the building, level 4 buffers shall apply for the front yard, and in the case of a corner lot, for the front yard and the flanking side yard; and</p> <p>(j) all properties abutting Highways 97 and 33 require a level 4 buff along the highway frontage.</p>	<p>zone properties;</p> <p>(d) CD zones shall specify the buffer treatment levels for the CD site;</p> <p>(e) all non-accessory surface parking lots in an urban centre shall have a level 2 buffer zone;</p> <p>(f) required landscape islands in parking areas shall have the same level of landscaping as a Level 2 buffer zone; and Level 5 buffer zone; and</p> <p>(h) on corner lots, front yard landscape buffers shall apply to all street frontages; or</p> <p>(i) for development in industrial zones with parking located in front of the building, Level 4 buffers shall apply for the front yard, and in the case of a corner lot, for the front yard and the flanking side yard; and</p> <p>(j) deleted</p>	
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26	8 - Parking and Loading 8.1.2 Off -Street Parking	None	(b) <b>parking spaces</b> for <b>secondary uses</b> shall be provided in addition to the required <b>parking spaces</b> for the principal use on a site.	<i>Removes need for extensive wording within 8.1 parking schedule.</i>
27	8 - Parking and Loading 8.1.9 - Off Street Parking	None	(d) all <b>parking spaces</b> shall be hard surfaced in Residential zones and be a <b>dust free surface</b> in all other zones.	<i>Discourages vehicles being parked on surfaces not intended for them.</i>
28	8 - Parking and Loading Table 8.1.11 Size and Ratio	(l) where the use of a parking space is limited on both sides by a wall or a column 3.0m (unobstructed with from face to face of column) (m) where the use of a parking space is limited on one side by a wall or column 2.7m (or 3.0m if a door opens into that one side) (n) where a building door opens into the parking space on its long side. 3.3m (unobstructed width)	8.1.12b Where a <b>parking space</b> abuts an obstruction (including but not limited to columns, property lines, curbs, walls and fences) the <b>parking space</b> shall:  i. be an additional 0.2 m wider where the <b>parking space</b> abuts an obstruction on one side; ii. be an additional 0.5 m wider where the <b>parking space</b> abuts an obstruction on both sides; and iii. be an additional 0.8 m wider where the <b>parking space</b> abuts a door way; and iv. shall be measured to the edge of the obstruction closest to the <b>parking space</b>	<i>Amended parking space width requirements to be in width increments relating to the location of an obstruction instead of requiring one standard size for a parking space abutting an obstruction.</i>
29	8 - Parking and Loading Table 8.1.11 Size and Ratio	*Note: Length, width and height measurements shall be clear of obstructions (access aisles, ramps, columns). Spacing measurements shall be taken from the inside to inside of columns."	8.1.12a Length, width and height measurements shall be clear of obstructions (including but not limited to columns, <b>property lines</b> , curbs, walls and fences). Spacing measurements shall be taken from the inside to inside of obstructions	<i>Amended to add "note" as a rule in the Zoning Bylaw for ease of enforcement and to clarify what is meant by "obstructions."</i>



30	8 - Parking and Loading 8.3 Bicycle Parking Schedule	<p><b>*BICYCLE PARKING, CLASS I</b> means bicycle parking that is provided for residents, students, or employees of a <b>development</b>. It is intended for the long term secure parking of bicycles and includes bicycle lockers, compounds or rooms specifically provided and equipped for bicycle storage, and individual garages or <b>carports</b> for each <b>dwelling</b> unit.</p> <p><b>*BICYCLE PARKING, CLASS II</b> means bicycle parking that is provided for patrons or visitors of a <b>development</b>. It is intended for the short term parking of bicycles and includes racks, lockers, or other structurally sound devices designed to secure one or more bicycles in an orderly fashion.</p>	<p><b>8.3.1 Bicycle parking, CLASS I</b> means bicycle parking that is provided for residents, students, or employees of a <b>development</b>. It is intended for the long term secure parking of bicycles and includes bicycle lockers, compounds or rooms specifically provided and equipped for bicycle storage.</p> <p><b>8.3.2 Bicycle parking, CLASS II</b> means bicycle parking that is provided for patrons or visitors of a <b>development</b>. It is intended for the short term parking of bicycles and includes racks, lockers, or other structurally sound devices designed to secure one or more bicycles in an orderly fashion.</p>	Amended “note” to read as a rule for ease of enforcement.
31	8 - Parking and Loading Table 8.1 Parking Schedule Residential	(g)	<p><b>Table 8.1 Parking Schedule</b></p> <p>(a) <b>Apartment Hotels:</b> 1.0 spaces per <b>sleeping unit</b>; 1.0 spaces per 7 <b>dwelling</b> units which shall be designated as visitor <b>parking spaces</b></p> <p>(b) <b>Apartment Housing:</b> 1.0 spaces per <b>bachelor dwelling</b> unit; 1.0 spaces per 7 <b>dwelling</b> units which shall be designated as visitor <b>parking spaces</b></p> <p>(c) <b>Row Housing:</b> 1.25 spaces per 1 <b>bedroom dwelling</b> unit;</p>	<p>Remove table format. Cleaned up wording which referenced words which had no definitions.</p> <p>Deleted Special Needs Housing from parking schedule as the Section the parking schedule referred to had been deleted and Special Needs Housing use is not listed in any zone but is captured under the definition of Supportive Housing Major and Minor.</p>

			<p>1.0 spaces per 7 <b>dwelling</b> units which shall be designated as visitor <b>parking spaces</b></p> <p>(d) <b>Stacked Row Housing:</b>  1.5 spaces per 2 <b>bedroom dwelling</b> unit;  2.0 spaces per 3 <b>bedroom dwelling</b> units;  1.0 space per <b>dwelling</b> unit in the C4 and C7 <b>commercial zones</b>; and  1.0 spaces per 7 <b>dwelling</b> units which shall be designated as visitor <b>parking spaces</b></p> <p>(e) <b>Bed and Breakfast Homes:</b>  1.0 space</p> <p>(f) <b>Boarding or Lodging Houses:</b>  1.0 space per 2 <b>sleeping rooms</b>;</p> <p>(g) <b>Group Homes, Major:</b>  1.0 space per 3 beds</p> <p>(h) <b>Carriage House:</b>  1.0 space</p> <p>(i) <b>Group Homes, Minor:</b>  1.0 space per principal <b>dwelling</b> unit;  1.0 space per 3 beds</p> <p>(j) <b>Temporary Shelter Services:</b>  1.0 space per principal <b>dwelling</b>;  1.0 space per 3 beds</p> <p>(k) <b>Congregate Housing:</b>  1.0 space per principal <b>dwelling</b>;  1.0 space per 3 beds; and  3.0 spaces or 1.0 space per resident staff member whichever is greater</p> <p>(l) <b>Home Based Business, Major:</b></p>	
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			<p>1.0 space</p> <p>(m) <b>Home Based Business, Minor:</b> No spaces required</p> <p>(n) <b>Home Based Business, Rural:</b> 1.0 space</p> <p>o) <b>Mobile Homes</b> in RM7 zone: 2.0 spaces per <b>dwelling</b> unit; 1.0 spaces per 7 <b>dwelling</b> units which shall be designated as visitor parking spaces</p> <p>(o) <b>Secondary Suites:</b> 1.0 space (see section 9.5a.10)</p> <p>(p) <b>Single Detached Housing:</b> 2.0 spaces per <b>dwelling</b> unit;</p> <p>(q) <b>Semi-Detached Housing</b> 2.0 spaces per <b>dwelling</b> unit;</p> <p>(r) All <b>Bareland Strata</b> lot developments: 3.0 spaces per <b>dwelling</b> unit; 1.0 space per 7 <b>dwelling</b> units, included in required parking and which shall be designated as visitor parking</p> <p>(s) <b>Duplex Housing</b> 2.0 spaces per <b>dwelling</b> unit;</p> <p>(t) <b>Residential Security/Operator Unit</b> 1.0 space per <b>dwelling</b> unit</p> <p>v) <b>Supportive Housing</b> 1.0 space per 3 <b>dwelling</b> units</p>	
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32	8 - Parking and Loading Table 8.1 Parking Schedule Commercial	Gas Bars 1 per 2 employees on duty, plus 2 per service bay, plus additional required spaces for other associated <b>uses</b> (e.g. convenience retail)	Gas Bars 1.0 space per two on site employees, plus 2.0 per service bay	<i>No need to indicate that other uses on site require parking spaces as this is already clarified in Section 8.</i>
34	8 - Parking and Loading 8.1.9 Off Street Vehicle Parking	(e) no required parking shall be in the form of a parallel parking stall adjacent to a lane or alley way unless the parallel parking site is accessed by a driveway and is screened from the lane way.	(e) no required parking shall be provided parallel to and flanking a <b>lane</b> unless the <b>parking area</b> is accessible by a driveway and is screened from the <b>lane</b> by a physical barrier	<i>Removed “alley way” as it is not defined in the Zoning Bylaw and has the same meaning as “lane.”</i>
35	8- Parking and Loading 8.2.11	Table  (b) Multi-Family Town house/Row House 50% Minimum 50% Maximum 0%  Multi-family Residential 50% 40% 10%	Table (a) Ground oriented multiple housing 50% Minimum, 50% Maximum, 0%  Apartment Housing (including any units which may be ground oriented) 50% 40% 10%	<i>Aligned with the intent of the use and the definitions in section 2.3</i>
36	8 - Parking and Loading Table 8.2 - Loading Schedule	<b>Food Primary Establishment</b> 1 per 2,800 m² GFA <b>Hotels</b> <b>Motels</b> 1 per 2,800 m² GFA <b>Liquor Primary Establishment, Minor and Major</b> 1 per 2,800 m² GFA	<b>Food Primary Establishment</b> 1 per 2800 m² <b>GFA</b> <b>Hotels</b> <b>Motels</b> 1 per 2800 m² <b>GFA</b> <b>Liquor Primary Establishment, Minor and Major</b> 1 per 2800 m² <b>GFA</b>	<i>Removed “,” from 2800 for consistency.</i>



37	8- Bicycle Parking Schedule Table 8.3	<p><b>Type of Development (Use)</b></p> <p><b>Apartment Housing</b>  <b>Row Housing</b> (3 or more dwelling units)</p> <p><b>Required Parking Spaces</b>  Class I: 0.5 per dwelling unit  Class II: 0.1 per dwelling unit</p>	<p><b>Type of Development (Use)</b></p> <p><b>Apartment Housing</b></p> <p><b>Required Parking Spaces</b>  Class I: 0.5 per dwelling unit  Class II: 0.1 per dwelling unit</p>	<i>Removed “Row Housing” from the bicycle parking requirement as row houses (town homes) do not typically have internal common space and do typically have areas for storage and garages as part of their individual units.</i>
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## SECTION 9

38	<p>9 - Specific Use Regulations</p> <p>9.2 Home Based Businesses, Minor</p>	<p>9.2.1 All minor home based businesses shall be secondary uses and shall comply with the following:</p> <p>(a) a minor home based business shall only be conducted within a principal dwelling unit or secondary suite and no exterior storage or operation of the minor home based business shall be permitted</p>	<p>9.2.1 All <b>minor home based businesses</b> shall be <b>secondary uses</b> and shall comply with the following:</p> <p>(a) a <b>minor home based business</b> shall only be conducted within a principal <b>dwelling unit</b> and no exterior storage or exterior operation of the <b>minor home based business</b> shall be permitted</p>	<i>Amended text which allowed a minor home based business to be located within a secondary suite as this contradicted other rules (9.2.2) which said that minor home based business could not be conducted by anyone else other than the residents of the primary dwelling.</i>
39	<p>9 - Specific Use Regulations</p> <p>9.3.8 Home Based Business, Major</p>	<p>9.2.7 A food catering <b>business</b> operating lawfully within a <b>dwelling</b> may establish one additional kitchen provided that its installation is required by the Health Authority and that the kitchen shall be removed should that <b>home based business, major</b> use cease. The additional kitchen is not permitted to be utilized to establish an additional <b>dwelling</b>.</p>	<p>9.2.7A food catering <b>business</b> shall contain one additional <b>kitchen</b>, provided it is required by the <b>Health Services</b>, which shall be removed should that <b>home based business, major</b> use cease. The additional <b>kitchen</b> is not permitted to be utilized to service an additional <b>dwelling</b> unit.</p>	<i>Removed the word “lawfully inside” as this should be implicit as otherwise it is not permitted.</i>

40	9 - Specific Use Regulations  9.5a Secondary Suite Regulations	9.5a.6 In all urban and rural residential zones, a secondary suite is not permitted in conjunction with a boarding and lodging house, a bed and breakfast accommodation or a group home.	9.5a.6a A <b>secondary suite</b> shall not be permitted on a parcel which also has a <b>bed and breakfast</b> , a <b>boarding or lodging house</b> or a <b>group home</b> , major/minor.	<i>Clarified rules to limit confusion regarding the use of secondary suites for purposes other than as dwelling units.</i>
44	9 - Specific Use Regulations 9.5a Secondary Suite Regulations	9.5a.8 Where a <b>secondary suite</b> is permitted, a minimum area of 30m <sup>2</sup> of private open space shall be provided per <b>dwelling</b> unit. The <b>private open space</b> shall have a direct connection to the habitable space and be defined and screened through the use of landscaping such as: plantings, architectural elements such as a trellis, low fences or planters and changes in grade or elevation.	9.5a.8 Where a <b>secondary suite</b> is permitted, a minimum area of 30 m <sup>2</sup> of private open space shall be provided per <b>dwelling</b> unit  The <b>private open space</b> shall:  i. Have a direct connection to a <b>secondary suite</b> entrance; and ii. Be defined from other <b>private open space</b> and yard with the use of <b>landscaping</b>	<i>Re-wrote in table format.  Removed list of acceptable landscaping material as these are already listed in the definition of landscaping.</i>
42	9 - Specific Use Regulations  9.5a Secondary Suite Regulations	Table 8.1 Secondary Suites - 1 of the required <b>parking spaces</b> for a principal dwelling shall be designated to the <b>secondary suite</b> . The space may not be located within an attached garage providing direct access to the principal dwelling or in a tandem configuration.	9.5a.10 1.0 additional parking space for a <b>secondary suite</b> is required which shall:  i. be designated as being solely for the <b>use</b> of the <b>secondary suite</b> ; ii. not be located within a private garage which is attached to and provides direct access to the principal <b>dwelling</b> ;	<i>Rule was previously in parking and loading table, removed and put rule under specific use regulations to reduce amount of text found in Table 8.1</i>

43	<p>9 - Specific Use Regulations</p> <p>9.5b Carriage House Regulations</p>	None	<p>9.5b.17 A <b>carriage house</b> shall not be permitted on a <b>parcel</b> which also has a <b>bed and breakfast home</b>, a <b>boarding or lodging house</b> and/or a <b>group home</b>, major/minor.</p>	<p><i>Clarified rules to limit confusion regarding the use of carriage houses for purposes other than as dwelling units.</i></p>
44	<p>9 - Specific Use Regulations</p> <p>9.6 Bed and Breakfast Homes</p>	<p>9.6.1 Bed and breakfast homes shall comply with the following regulations:</p> <p>(a) The bed and breakfast home shall be operated as a secondary use only within a principal dwelling, with a maximum 4 sleeping units with accommodation for a maximum of two guests per sleeping unit, of a minimum area of 11 m<sup>2</sup> each; and</p> <p>(b) Bed and breakfast homes shall not change the principal dwelling character or external appearance of the dwelling involved.</p> <p>(c) The licensed operator or a bed and breakfast home shall reside in the dwelling in which the bed and breakfast operation is located.</p>	<p>9.6.1 Bed and breakfast homes shall comply with the following regulations:</p> <p>(a) The <b>bed and breakfast home</b> shall be operated as a <b>secondary use</b> only within a principal dwelling.</p> <p>(b) A <b>bed and breakfast home</b> shall have a maximum of 4 sleeping units with accommodation for a maximum of two guests per sleeping unit. Each sleeping unit shall only have a minimum area of 11 m<sup>2</sup> each.</p> <p>(c) <b>Bed and breakfast homes</b> shall not change the principal dwelling character or external appearance of the dwelling involved.</p> <p>(d) The licensed operator of a <b>bed and breakfast home</b> shall reside in the dwelling in which the bed and breakfast operation is located.</p> <p>(e) A <b>bed and breakfast home</b></p>	<p><i>Clarified that bed and breakfast homes are not allowed in dwellings which also have a secondary suite or a carriage house on the parcel.</i></p>

			shall not operate on the same <b>parcel</b> where a <b>carriage house</b> or <b>secondary suite</b> is located.	
45	9 - Specific Use Regulations 9.10.1 Agriculture, Urban	(b) <b>greenhouses</b> or <b>accessory structures</b> associated with urban agriculture shall conform to the applicable zoning requirements for <b>accessory buildings</b> or <b>structures</b> and the relevant zone. A <b>greenhouse</b> is not included in the calculation of lot coverage for <b>accessory buildings</b> or <b>structures</b> ;	(g) <b>greenhouses, accessory buildings or structures</b> associated with urban agriculture shall conform to the applicable zoning requirements for <b>accessory buildings or structures</b> and the relevant zone. A <b>greenhouse</b> is not included in the calculation of <b>site coverage</b> for <b>accessory buildings or structures</b>	<i>Replaced “lot coverage” with “site coverage” as the definition of lot coverage has been removed from the Zoning Bylaw.</i>
46	9 - Specific Use Regulations 9.10.2 Agriculture, Urban	(b) <b>greenhouses</b> are not included in the calculation of lot coverage for <b>accessory buildings</b> or <b>structures</b> ;	(b) <b>greenhouses</b> are not included in the calculation of <b>site coverage</b> for <b>accessory buildings or structures</b> ;	

## ***SECTION 13 through 19***

47	13 -Urban Residential Zones 13.1.7 Other Regulations	(d) Where the <b>development</b> has access to a rear <b>lane</b> , vehicular access to the <b>development</b> is only permitted from the rear <b>lane</b> , except for developments in <b>hillside areas</b> where the topography would require the slope of such access to exceed 15%.	(d) where a <b>development</b> has access to a <b>lane</b> , vehicular access to the <b>development</b> is only permitted from the <b>lane</b> , except for <b>developments</b> in <b>hillside areas</b> where the topography would require the slope of such access to exceed 15%.	<i>Replaced all instances of “rear lanes” with “lanes” so as not limit access options when a lane is provided regardless of where it is on the lot.</i>
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48	13 - Urban Residential Zones 13.2.6 Development Regulations	(c) In RU2 and RU2c zones, the minimum front yard is 4.5 metres except that it is 6.0 metres from a garage or carport having vehicular entry from the front. In RU2h and RU2hc zones, the minimum front yard is 3.0 metres, except it is 6.0 metres measured from the back of the curb or sidewalk, whichever is closest, to a garage or carport having vehicular entry at the front. In a <b>hillside area</b> , where access is required through, and is limited to, a <b>lane</b> , the yard abutting the <b>lane</b> may be considered the <b>front yard</b> . <b>Walkout basements</b> are not exempt from the <b>height</b> regulations of Section 6.6 in this situation.	(c) in RU2 and RU2c zones, the minimum <b>front yard</b> shall be: <ul style="list-style-type: none"> <li>i. 4.5 m, or</li> <li>ii. 3.0m in the RU2h and RU2hc zones; or</li> <li>iii. 6.0 m from a garage or <b>carport</b> having vehicular access from a <b>street</b>; or</li> <li>iv. 6.0 m measured from the back of the curb or sidewalk, whichever is closest, to a garage or <b>carport</b> having vehicular access from a <b>street</b></li> </ul>	<i>Added rules for RU2h under sub section (c) which lists development guidelines for certain zones for ease of recall.</i>
49	13 - Urban Residential Zones 13.2.6 Development Regulations	(e) The minimum <b>rear yard</b> is 6.0 m for a 1 or 1½ <b>storey</b> portion of a <b>building</b> and 7.5 m for a 2 or 2½ <b>storey</b> portion of a <b>building</b> , except it is 1.5 m for accessory <b>buildings</b> . Where the <b>lot width</b> exceeds the <b>lot depth</b> , the minimum <b>rear yard</b> is 4.5 m provided that one <b>side yard</b> shall have a minimum width of 4.5 m.	(e) the minimum <b>rear yard</b> shall be: <ul style="list-style-type: none"> <li>i. 6.0 m for a 1 or 1½ <b>storey</b> portion of a <b>building</b>; or</li> <li>ii. 7.5 m for a 2 or 2½ <b>storey</b> portion of a <b>building</b>; and</li> <li>iii. 1.5 m for accessory <b>buildings</b>.</li> <li>iv. 4.5 m where the <b>lot width</b> exceeds the <b>lot depth</b> provided that one <b>side yard</b> shall have a minimum width of 4.5 m.</li> <li>v. in a <b>hillside area</b> where access is required through, and is limited to a <b>lane</b>, the minimum <b>rear yard</b> setback is 3.0 m.</li> </ul>	<i>Removed regulations pertaining to RU2h in subsection (c) and placed them under the development regulation rules which listed rules pertaining specifically to certain zones.</i>

50	13 - Urban Residential Zones 13.2.7 Other Regulations	(b) Where the <b>development</b> has access to a rear lane, vehicular access to the <b>development</b> is only permitted from the rear <b>lane</b> , except for developments in hillside areas where the topography would require the slope of such access to exceed 15%.	(b) where a <b>development</b> has access to a <b>lane</b> , vehicular access to the <b>development</b> is only permitted from the <b>lane</b> , except for <b>developments in hillside areas</b> where the topography would require the slope of such access to exceed 15%	<i>Replaced all instances of “rear lanes” with “lanes” so as not limit access options when a lane is provided regardless of where it is on the lot.</i>
51	13 - Urban Residential Zones 13.3.7 Other Regulations	(b) Where the <b>development</b> has access to a rear lane, vehicular access to the <b>development</b> is only permitted from the rear lane, except for <b>developments</b> in hillside areas where the topography would require the slope of such access to exceed 15%.	(b) where the <b>development</b> has access to a <b>lane</b> , vehicular access to the <b>development</b> is only permitted from the <b>lane</b> , except for <b>developments in hillside areas</b> where the topography would require the slope of such access to exceed 15%	<i>Replaced all instances of “rear lanes” with “lanes” so as not limit access options when a lane is provided regardless of where it is on the lot.</i>
53	13 - Urban Residential Zones 13.5.6 Development Regulates	(b) Bareland <b>strata lot coverage</b> by principal and accessory <b>buildings</b> shall not exceed 50%.	(b) bareland <b>strata lot site coverage</b> by principal and <b>accessory buildings or structures</b> shall not exceed 50%.	<i>Replaced “lot coverage” with “site coverage” as the definition of site coverage has been removed with these amendments.</i>
54	13 - Urban Residential Zones 13.6.7 Other Regulations	(f) Where the <b>development</b> has access to a rear lane, vehicular access to the <b>development</b> is only permitted from the rear <b>lane</b> , except for developments in hillside areas where the topography would require the slope of such access to exceed 15%.	(f) where the <b>development</b> has access to a <b>lane</b> , vehicular access to the <b>development</b> is only permitted from the <b>lane</b> , except for <b>developments in hillside areas</b> where the topography would require the slope of such access to exceed 15%	<i>Replaced all instances of “rear lanes” with “lanes” so as not limit access options when a lane is provided regardless of where it is on the lot.</i>

55	13 - Urban Residential  13.8 RM2 - Low Density Row Housing	13.8.2 Principal Uses  The principal uses in this zone are: (a) single dwelling housing (b) two dwelling housing (c) multiple dwelling housing	13.8.2 Principal Uses  The principal uses in this zone are:  (d) <b>three dwelling housing</b> (e) <b>four dwelling housing</b>	<i>Added that three and four dwelling housing types are also allowed in this zone.</i>
58	13 - Urban Residential zones 13.8 RM2 and RM2h Low Density Row Housing and Low Density Row Hillside Housing	13.8.4 Buildings and Structures Permitted (a) duplex housing (b) row housing (c) semi-detached housing (d) single detached housing (e) permitted accessory buildings and structures	13.8.4 Buildings and Structures Permitted (a) duplex housing (b) row housing (c) semi-detached housing (d) deleted (e) permitted accessory buildings and structures	<i>Deleted single detached homes as permitted buildings within this zone. Single family housing is permitted in the form of attached housing</i>
59	13 - Urban Residential 13.14 RH1 - Residential Hillside Large Lot RH1s - Residential Hillside Large Lot with Secondary Suite	RH1 - Hillside Large Lot Residential RH1s - Hillside Large Lot Residential with Secondary Suite	RH1 - Hillside Large Lot Residential	<i>Removed the sub zone “RH1s Hillside Large Lot Residential with Secondary Suite.” Secondary suites do not require a rezoning to a sub zone to be developed so the sub zone is irrelevant.</i>
60	13 - Urban Residential 13.14.4 Secondary Uses	(f) <b>secondary suite</b> (RH1s only)	(f) <b>secondary suite</b>	<i>Removed the sub zone in RH1 as this zone no longer requires rezoning to a sub zone to accommodate a secondary suite.</i>
61	13 - Urban Residential 13.14.5 Buildings and Structures Permitted	(a) <b>one single detached house</b> (which may contain a <b>secondary suite</b> in the RH1s zone)	(a) <b>one single detached house</b> (which may contain a <b>secondary suite</b> )	<i>Removed the mention of RH1 with a sub zone in this instance, as this zone no longer requires a sub zone to accommodate a secondary suite.</i>

62	14 - Commercial Zones		Add " <b>Residential security/operator unit</b> " to all commercial zones which list "apartment dwelling" as a secondary use.	<i>Allows for this use type where it is already deemed appropriate as apartment dwellings are allowed.</i>
63	14 - Commercial Zones 14.1.5 Development Regulations	(a) The maximum <b>lot coverage</b> is 35%.	(a) the maximum <b>site coverage</b> is 35%.	<i>The Replaced "lot coverage" with "site coverage" as the definition of site coverage has been removed with these amendments.</i>
64	16 - Public & Institutional Zones	Section 16 Public & Institutional Zones	Section 16 Public and Institutional Zones	<i>Removed ampersand from heading as it was inconsistent with other zoning titles.</i>
65	CD3 - Comprehensive Development 3 1.4 Development Regulations	(c) The maximum lot coverage for all principal and accessory buildings combined in this zone shall be 40%. Not more than 60% of the surface of the land in the zone shall be covered with buildings, parking areas and driveways.	(c) The maximum <b>site coverage</b> is 40% and together with driveways and parking areas, shall not exceed 60%.	<i>Replaced "lot coverage" with "site coverage" and tailored rule more like those found within the RU zones.</i>
66	CD4 - Comprehensive Small Lot Residential 1.5 Development Regulations	(b) The maximum lot coverage by principal buildings and accessory buildings is 55% for each bareland strata lot.	(b) the maximum combined <b>site coverage</b> for principal <b>buildings</b> and all <b>accessory buildings or structures</b> is 55% for each bareland strata lot.	<i>Replaced "lot coverage" with "site coverage" as the definition of site coverage has been removed with these amendments.</i>



67	All Zones which list "non-accessory parking" under the primary uses	None	Temporary parking lot	<i>Created new definition for Temporary Parking lot to capture instances where parking needs to be provided on a temporary basis as a result of development and/or lack of parking spaces.</i>
	All Zones	<i>All text should be in the same font, and definitions found within regulations should be <b>bolded</b>.</i>		

# CITY OF KELOWNA

## BYLAW NO. 11139

### Housekeeping Text Amendments to Zoning Bylaw No. 8000

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing in **Section 1 - General Administration:**

- a) **Section 1.3 Zoning Map, 1.3.1 Table, under Section 13 - Urban Residential Zone** deleting "RM1 - Four-plex Housing" and replacing it with "RM1 - Four Dwelling Housing"
- b) **Section 1.3 Zoning Map, 1.3.1 Table, under Section 13 - Urban Residential Zone** deleting "RH1 Hillside Large Lot Residential/RH1s Hillside Large Lot Residential with Secondary suite" and replacing it with "Hillside Large Lot Residential";
- c) **Section 1.3 Zoning Map, 1.3.4 (a)** be deleted that reads:

"(a) An "s" notation shown on Schedule "A" as part of the identified **zone** classification indicates that a secondary use in the form of a **secondary suite** is permitted on the properties so designated, subject to meeting the conditions of use of the **zone**. An "s" zoning classification on a property shall be established by rezoning the subject property to the "s" version of the parent **zone**."

And replace it with:

"(a) A "c" notation shown on Schedule "A" as part of the identified **zone** classification indicates that a **secondary use** in the form of a **carriage house** is permitted on the properties so designated, subject to meeting the conditions of **use** of the **zone**. A "c" zoning classification on a property shall be established by rezoning the subject property to the "c" sub-zone of the parent **zone**."

d) **Section 1.7 Non-Conforming Uses, 1.7.1** be deleted that reads:

"1.7.1 Non-conforming agricultural, residential, or rural residential lots less than 0.2 ha., which existed prior to August 10, 1976, shall be developed in accordance with the provisions and regulations of the RU1, RU1(s), or RU1(h) zones."

And replace it with:

"1.7.1 Non-conforming Agricultural, Urban Residential, or Rural Residential lots less than 0.2 ha., which existed prior to August 10, 1976, shall be developed in accordance with the provisions and regulations of the RU1, RU1(c), or RU1(h) zones."

- e) **Section 1.8 Undersized Lots**, 1.8.4 be deleted in its entirety that reads:

"1.8.4 A lot having less than the required minimum lot size in a zone may be rezoned to add the "s" notation to the zone classification to permit a **secondary suite** as a **secondary use**, provided the lot was created before adoption of City of Kelowna Zoning Bylaw No. 8000 and the development otherwise complies with all regulations of the Zoning Bylaw."

2. AND THAT **Section 2 - Interpretation** be amended by:

- a) Deleting the definition for **BALCONY** from **Section 2.3 General Definition, 2.3.3** that reads:

"**BALCONY** means a platform, attached to and projecting from the face of a **building** with or without a supporting **structure** above the **first storey**, normally surrounded by a balustrade or railing and used as an outdoor porch or sun-deck with access only from within the **building**."

And replacing it with:

"**BALCONY** means an uncovered platform, attached to and projecting from the face of a **building**, above the **first storey**, which is only accessed from within a **building**."

- b) Deleting the definition for **BEDROOM** from **Section 2.3 General Definition, 2.3.3** that reads:

"**BEDROOM** means a room containing a window, located in a **dwelling**, which due to its design or location in the **dwelling**, is or may be used primarily for sleeping. It includes dens, lofts, studies, and libraries."

And replacing it with:

"**BEDROOM** means a room located within a **dwelling** and where the primary function is for sleeping. It may include, but is not limited to: dens, lofts, studies and libraries."

- c) Deleting the definition for **DECK** from **Section 2.3 General Definition, 2.3.3** that reads:

"**DECK** means a **structure** more than 0.6 m above grade without a roof or walls, except for visual partitions and railings, for use as an outdoor amenity area."

And replacing it with:

"**DECK** means an uncovered, platform without a roof or walls, which may include visual partitions and railings, and has a surface height greater than 0.6 m above grade."

- d) Deleting the definition for **LOT COVERAGE** (see **SITE COVERAGE**) from **Section 2.3 General Definition, 2.3.3** in its entirety.

- e) Deleting the definition for **MULTIPLE DWELLING HOUSING** from **Section 2.3 General Definition, 2.3.3** that reads:

**“MULTIPLE DWELLING HOUSING** means housing on a single lot other than a strata lot that contains three or more dwelling units.”

And replacing it with:

**“MULTIPLE DWELLING HOUSING** means housing on a single lot other than a bareland strata lot that contains five or more dwelling units.

- f) Deleting the definition for **PARKING SPACE** from Section 2.3 General Definition, 2.3.3 that reads:

**“PARKING SPACE** means an off-street space of the size and dimensions to park one vehicle in conformance with Section 8 of this Bylaw exclusive of driveways, aisles, ramps, or obstructions.”

And replacing it with:

**“PARKING SPACE** means an off-street space of the size and dimensions to park one vehicle, exclusive of driveways, aisles or ramps, which complies with Section 8 of this Bylaw.”

- g) Adding the definition for **PATIO** to Section 2.3 General Definition, 2.3.3 that reads in its appropriate location:

**“PATIO** means a platform, which may or may not be attached and projecting from the face of a building, with a surface height that does not exceed 0.6 m from grade at any point.”

- h) Deleting the definition for **PRIVATE OPEN SPACE** from Section 2.3 General Definition, 2.3.3 that reads:

**“PRIVATE OPEN SPACE** means a useable open space area exclusive of required building setbacks and parking areas (common or individual) which is developed for the recreational use of the residents or a residential dwelling unit, and may include balconies, indoor common amenity space, terraces, decks and level landscaped recreation areas.”

And replacing it with:

**“PRIVATE OPEN SPACE** means a useable open space area, exclusive of parking spaces, which is developed for the recreational use of the residents of a residential dwelling unit, and may include balconies, indoor common amenity space, terraces, decks and level landscaped recreation areas.”

- i) Adding the definition for **ROW HOUSE** from Section 2.3 General Definition, 2.3.3 that reads in its appropriate location:

**“ROW HOUSE** means three or more dwelling units, which each have a direct entrance at grade, and where no dwelling is located wholly or partially above another dwelling unit.”

- j) Deleting the definition for **SITE COVERAGE** from Section 2.3 General Definition, 2.3.3 that reads:

**“SITE COVERAGE** means the percentage of the total horizontal area of a lot or lots that may be built upon including accessory buildings or structures (including carports, a covered patio larger than 23 m<sup>2</sup>, and decks over 0.6 m in height)



excluding steps, eaves, cornices, cantilevered balconies and similar projections permitted by this Bylaw, breezeways, and open courtyards.”

And replacing it with:

“**SITE COVERAGE** means the percentage of the total horizontal area of a lot or lots that may be built upon including accessory buildings or structures (including carports, a covered patio which is 23m<sup>2</sup> or larger, and decks) except it does not include steps, eaves, cornices, cantilevered balconies, pergolas, courtyards garden plots or similar projections permitted by this Bylaw.”

- k) Adding the definition for **TEMPORARY PARKING LOT** to Section 2.3 General Definition, 2.3.3 that reads in its appropriate location:

“**TEMPORARY PARKING LOT** means a surface parking lot which has been granted temporary approval, for up to 3 years, for the temporary parking of vehicles and shall incorporate a dust free surface.”

- l) Deleting the definition for **YARD** from Section 2.3 General Definition, 2.3.3 that reads:

“**YARD** means an area created by setback measured 0.5 m above grade.”

And replacing it with:

“**YARD** means an area created by a building setback from a property line.”

3. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act

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(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11140**  
**Housekeeping Text Amendments to Zoning Bylaw No. 8000**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing **Section 6 - General Development Regulations** by:

- a) Deleting in **Section 6.4 Projection into Yards, 6.4.2** that reads:

"6.4.2 Unenclosed steps, eaves, **awnings, decks, canopies**, balconies, or **porches** may project into a required **yard** provided such projections do not exceed 0.6 m in the case of a front or **side yard** on a **flanking street**, 0.6 m in the case of an interior **side yard**, and 2.5 m in the case of a **rear yard** greater than 6.0 m."

And replacing it with:

"6.4.2 Unenclosed steps, eaves, **awnings, decks, canopies, balconies, and porches** shall not project more than 0.6 m into a required **yard** except they may project 2.5m into a required rear yard."

- b) Deleting in **Section 6.14 Riparian Management Area (RMA) Setbacks, 6.5.14** that reads:

"6.14.3 When new **lots** are created abutting a **watercourse** where a **Riparian Management Area** setback is required; the land within the **RMA** may be used for calculating the minimum **lot** area and for the determination of permitted **density** and **lot coverage**."

And replacing it with:

"6.14.3 When new **lots** are created abutting a **watercourse** where a **Riparian Management Area** setback is required, the land within the **RMA** may be used for calculating the minimum **lot** area and for the determination of permitted **density** and **site coverage**."

2. AND THAT **Section 7 - Landscaping and Screening** be amended by:

- a) Deleting in **Section 7.5 Fencing and Retaining Walls, 7.5.4** the following that reads:

"7.5.4 No **fence** in a commercial or industrial **zone** shall exceed 2.4 m."

And replacing it with:

"7.5.4 No **fence** in a Commercial, Public and Institutional or Industrial **zone** shall exceed 2.4 m."

- b) Deleting in **Section 7.6 Minimum Landscape Buffers, 7.6.9** the following that reads:

"7.6.9 In addition to the minimum landscape buffer treatment levels above:

- (a) all lands adjacent to Highways 33 and 97, except those in agricultural zones and within Urban Centres, are required to have Level 4 landscape buffer treatment unless superseded by development permit guidelines;
- (b) all internal lot lines on a site being comprehensively developed are exempt from side yard buffer zones;
- (c) all industrial zone properties shall have a Level 3 buffer zone when adjacent to non-industrial zone properties;
- (d) CD zones shall specify the buffer treatment levels for the CD site;
- (e) all non-accessory surface parking lots in an urban centre shall have a level 2 buffer zone;
- (f) required landscape islands in parking areas shall have the same level of landscaping as a Level 2 buffer zone; and
- (g) recreational vehicle parking compounds in residential zones shall have a Level 5 buffer zone;
- (h) on corner lots, front yard landscape buffers shall apply to all street frontages;
- (i) for development in industrial zones with parking located in front of the building, level 4 buffers shall apply for the front yard, and in the case of a corner lot, for the front yard and the flanking side yard; and
- (j) all properties abutting Highways 97 and 33 require a level 4 buff along the highway frontage."

And replacing it with:

"7.6.9 In addition to the minimum landscape buffer treatment levels above:

- (a) all lands adjacent to Highways 33 and 97, except those in agricultural zones and within Urban Centres, are required to have Level 4 landscape buffer treatment unless superseded by development permit guidelines;
- (b) all industrial zone properties shall have a Level 3 buffer zone when adjacent to non-industrial zone properties;
- (c) CD zones shall specify the buffer treatment levels for the CD site;
- (d) all non-accessory surface parking lots in an urban centre shall have a level 2 buffer zone;
- (e) required landscape islands in parking areas shall have the same level of landscaping as a Level 2 buffer zone; and Level 5 buffer zone; and
- (f) on corner lots, front yard landscape buffers shall apply to all street frontages; or
- (g) for development in industrial zones with parking located in front of the building, Level 4 buffers shall apply for the front yard, and in the case of a corner lot, for the front yard and the flanking side yard."

3. AND THAT **Section 8 - Parking and Loading** be amended by:

- a) Adding to the end of the paragraph in **Section 8.1 Off-Street Vehicle Parking, 8.1.2 Number of Spaces**, the following new paragraph:

"Parking spaces for secondary uses shall be provided in addition to the required parking spaces for the principal use on a site."

- b) Deleting sub-paragraph (e) from **Section 8.1 Off-Street Vehicle Parking, 8.1.9** that reads:

“(e) no required parking shall be in the form of a parallel parking stall adjacent to a lane or alley way unless the parallel parking site is accessed by a driveway and is screened from the lane way.”

And replacing it with:

“(e) no required parking shall be provided parallel to and flanking a **lane** unless the **parking area** is accessible by a driveway and is screened from the **lane** by a physical barrier.”

c) Adding a new sub-paragraph (f) to **Section 8.1 Off-Street Vehicle Parking, 8.1.9 Location** that reads:

“(f) All **parking spaces** shall be hard surfaced in Residential zones and be a **dust free surface** in all other zones.”

d) Deleting from **Section 8.1 Off-Street Vehicle Parking, 8.1.11(a) Size and Ratio Table** the following:

l) Where the use of a parking space is limited on both sides by a wall or a column		3.0m (unobstructed with from face to face of column)	2.0m
m) Where the use of a parking space is limited on one side by a wall or column		2.7m (or 3.0m if a door opens into that one side)	2.0m
n) Where a building door opens into the parking space on its long side.		3.3m (unobstructed width)	2.0m

And replacing it with:

8.1.12 Where a <b>parking space</b> abuts an obstruction (including but not limited to columns, property lines, curbs, walls and fences) the <b>parking space</b> shall:		be an additional 0.2 m wider where the parking space abuts an obstruction on one side	2.0m
		be an additional 0.5 m wider where the parking space abuts an obstruction on both sides	2.0m
		be an additional 0.8 m wider where the parking space abuts a door way	2.0m

		shall be measured to the edge of the obstruction closest to the parking space	2.0m
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- e) Deleting the \*NOTE from **Section 8.1 Off-Street Vehicle Parking, 8.1.11(a) Size and Ratio Table** in its entirety that reads:

“\*Note: Length, width and height measurements shall be clear of obstructions (access aisles, ramps, columns). Spacing measurements shall be taken from the inside to inside of columns.”

- f) Deleting the following from **Section 8.1 Off-Street Vehicle Parking, 8.1.11(b) Size and Ratio Table**:

Multi-Family Town house/Row House	50% Minimum	50% Maximum	0%
Multi-family Residential	50%	40%	10%

And replace with:

Ground oriented multiple housing	50% Minimum	50% Maximum	0%
Apartment Housing (including any units which may be ground oriented)	50%	40%	10%

- g) Adding to the beginning of **Section 8.1 Off-Street Vehicle Parking, 8.1.12** the following new paragraph that reads:

“8.1.12 Length, width and height measurements shall be clear of obstructions (including but not limited to columns, **property lines**, curbs, walls and fences). Spacing measurements shall be taken from the inside to inside of obstructions.”



- h) Deleting Section 8.1 Off-Street Vehicle Parking, Table 8.1 - Parking Schedule, Residential and Residential Related Section in its entirety that reads:

<b>Table 8.1 – Parking Schedule</b>	
*NOTE: GFA = <b>Gross Floor Area</b> *NOTE: GLA = <b>Gross Leasable Floor Area</b>	
<b>Type of Development (Use)</b>	<b>Required Parking Spaces</b>
<b>Residential and Residential Related</b>	
<b>Apartment Hotels</b>	1 per <b>sleeping unit</b>
<b>Apartment Housing</b> <b>Row Housing</b> <b>Stacked Row Housing</b>	1 per <b>bachelor dwelling</b> unit, plus 1.25 per 1- <b>bedroom dwelling</b> unit, plus 1.5 per 2- <b>bedroom dwelling</b> unit, plus 2 per 3-or-more <b>bedroom dwelling</b> unit 1 per <b>dwelling unit</b> in the C4 and C7 zone Of the total required spaces above, 1 <b>parking space</b> shall be designated visitor parking for every 7 <b>dwelling</b> units
<b>Bed and Breakfast Homes</b>	1 per sleeping unit, plus spaces required for the corresponding principal <b>dwelling unit</b>
<b>Boarding or Lodging Houses</b> <b>Group Homes, Major</b>	1 per 2 sleeping rooms, plus spaces required for the corresponding principal <b>dwelling unit</b> 1 per 3 beds
<b>Carriage House</b>	1 additional <b>parking space</b> , plus the required <b>parking spaces</b> for the corresponding principal <b>dwelling unit</b> .
<b>Group Homes, Minor</b> <b>Temporary Shelter Services</b> <b>Congregate Housing</b>	1 per principal <b>dwelling</b> , plus 1 stall per three bed spaces and 1 per resident staff member, minimum total of not less than 3 spaces
<b>Home Based Business, Major</b>	1 in addition to that required for the principal <b>dwelling</b>
<b>Home Based Business, Minor</b>	None in addition to that required for the principal <b>dwelling</b>
<b>Home Based Business, Rural</b>	1 in addition to that required for the principal <b>dwelling</b>
<b>Mobile Homes in RM7 zone</b>	2 per <b>dwelling</b> unit, plus 1 space per 7 <b>dwelling</b> units as designated visitor parking
<b>Secondary Suites</b>	1 of the required <b>parking spaces</b> for a principal dwelling must be designated to the <b>secondary suite</b> . The space may not be located within an attached garage providing direct access to the principal dwelling or in a tandem configuration.
<b>Special Needs Housing</b>	Pursuant to Section 6.9
<b>Single Detached Housing</b> <b>Semi-Detached Housing</b> <b>Single Detached Housing in a Bareland Strata</b> <b>Duplex Housing</b> <b>Mobile Homes in RU6 zone</b> <b>Residential Security/Operator Unit</b>	2 per <b>dwelling</b> unit  Of the required spaces, 1 per 7 <b>dwelling</b> units to be designated visitor parking (included in the total number of spaces to be provided) for bareland strata and strata <b>developments</b>
<b>Supportive Housing</b>	1 per 3 <b>dwelling</b> units

And replace it with:

<b>Table 8.1 – Parking Schedule</b>	
*NOTE: GFA = <b>Gross Floor Area</b> *NOTE: GLA = <b>Gross Leasable Floor Area</b>	
<b>Type of Development (Use)</b>	<b>Required Parking Spaces</b>
<b>Residential and Residential Related</b>	
<b>Apartment Hotels</b>	1.0 spaces per sleeping unit; 1.0 spaces per 7 dwelling units which shall be designated as visitor parking spaces
<b>Apartment Housing</b> <b>Row Housing</b> <b>Stacked Row Housing</b>	<b>Apartment Housing:</b> 1.0 spaces per bachelor dwelling unit; 1.0 spaces per 7 dwelling units which shall be designated as visitor parking spaces <b>Row Housing:</b> 1.25 spaces per 1 bedroom dwelling unit; 1.0 spaces per 7 dwelling units which shall be designated as visitor parking spaces <b>Stacked Row Housing:</b> 1.5 spaces per 2 bedroom dwelling unit; 2.0 spaces per 3 bedroom dwelling units; 1.0 space per dwelling unit in the C4 and C7 commercial zones; and 1.0 spaces per 7 dwelling units which shall be designated as visitor parking spaces
<b>Bed and Breakfast Homes</b>	<b>Bed and Breakfast Homes:</b> 1.0 space
<b>Boarding or Lodging Houses</b>	<b>Boarding or Lodging Houses:</b> 1.0 space per 2 sleeping rooms;
<b>Group Homes, Major</b>	<b>Group Homes, Major:</b> 1.0 space per 3 beds
<b>Carriage House</b>	1.0 space
<b>Group Homes, Minor</b> <b>Temporary Shelter Services</b> <b>Congregate Housing</b>	<b>Group Homes, Minor:</b> 1.0 space per principal dwelling unit; 1.0 space per 3 beds <b>Temporary Shelter Services:</b> 1.0 space per principal dwelling; 1.0 space per 3 beds <b>Congregate Housing:</b> 1.0 space per principal dwelling; 1.0 space per 3 beds; and 3.0 spaces or 1.0 space per resident staff member whichever is greater
<b>Home Based Business, Major</b>	1.0 space
<b>Home Based Business, Minor</b>	No spaces required
<b>Home Based Business, Rural</b>	1.0 space
<b>Mobile Homes in RM7 zone</b>	2.0 spaces per dwelling unit; 1.0 spaces per 7 dwelling units which shall be designated as visitor parking spaces
<b>Secondary Suites</b>	1.0 space (see section 9.5a.10)
<b>Special Needs Housing</b>	Pursuant to Section 6.9

<b>Single Detached Housing</b> <b>Semi-Detached Housing</b> <b>Single Detached Housing</b> in a Bareland Strata <b>Duplex Housing</b> <b>Mobile Homes</b> in RU6 zone <b>Residential Security/Operator Unit</b>	<b>Single Detached Housing:</b> 2.0 spaces per dwelling unit; <b>Semi-Detached Housing</b> 2.0 spaces per dwelling unit; <b>All Bareland Strata lot developments:</b> 3.0 spaces per dwelling unit; 1.0 space per 7 dwelling units, included in required parking and which shall be designated as visitor parking <b>Duplex Housing</b> 2.0 spaces per dwelling unit; <b>Residential Security/Operator Unit</b> 1.0 space per dwelling unit
<b>Supportive Housing</b>	1.0 space per 3 dwelling units

- i) Deleting **Section 8.1 Off-Street Vehicle Parking, Table 8.1 - Parking Schedule, Commercial** the following that reads:

<b>Gas Bars</b>	1 per 2 employees on duty, plus 2 per service bay, plus additional required spaces for other associated uses (e.g. convenience retail)
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and

<b>Health Services, Major and Minor</b> (a) HD2 zone (b) Lot area of 1800m <sup>2</sup> or more, exclusive of the HD2 zone (c) Lot area of less than 1800m <sup>2</sup> , exclusive of the HD2 zone	2.5 per 100m <sup>2</sup> GFA 4.0 per 100m <sup>2</sup> GFA 3.0 per 100m <sup>2</sup> GFA
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And replace it with:

<b>Gas Bars</b>	1.0 space per two on site employees, plus 2.0 per service bay
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And

<b>Health Services, Major and Minor</b>	<b>Health Services, Major and Minor</b> <b>Minor</b> 5.0 spaces per 100 m <sup>2</sup> gross floor area, except for parcels less than 1000 m <sup>2</sup> the required parking spaces shall be 4.0 spaces.
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- j) Deleting **Section 8.1 Off-Street Vehicle Parking, Table 8.3 - Parking Schedule, Bicycle Parking Schedule** the following:

<b>Apartment Housing</b> <b>Row Housing</b> (3 or more dwelling units)	<b>Class I:</b> 0.5 per dwelling unit <b>Class II:</b> 0.1 per dwelling unit
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And replacing it with:

<b>Apartment Housing</b>	<b>Required Parking Spaces</b> <b>Class I:</b> 0.5 per dwelling unit <b>Class II:</b> 0.1 per dwelling unit
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- k) Deleting definitions for Bicycle Parking, Class I and II in **Section 8.1 Off-Street Vehicle Parking, Table 8.3 - Bicycle Parking Schedule** in its entirety that reads:

**\*\*BICYCLE PARKING, CLASS I** means bicycle parking that is provided for residents, students, or employees of a **development**. It is intended for the long term secure parking of bicycles and includes bicycle lockers, compounds or rooms specifically provided and equipped for bicycle storage, and individual garages or **carports** for each **dwelling** unit.

**\*BICYCLE PARKING, CLASS II** means bicycle parking that is provided for patrons or visitors of a **development**. It is intended for the short term parking of bicycles and includes racks, lockers, or other structurally sound devices designed to secure one or more bicycles in an orderly fashion.”

And replacing it with:

**“8.3.1 Bicycle parking, CLASS I** means bicycle parking that is provided for residents, students, or employees of a **development**. It is intended for the long term secure parking of bicycles and includes bicycle lockers, compounds or rooms specifically provided and equipped for bicycle storage.

**8.3.2 Bicycle parking, CLASS II** means bicycle parking that is provided for patrons or visitors of a **development**. It is intended for the short term parking of bicycles and includes racks, lockers, or other structurally sound devices designed to secure one or more bicycles in an orderly fashion.”

4. AND THAT **Section 9 - Specific Use Regulation** be amended by:

- a) Deleting from **Section 9.2 Home Based Businesses, Minor, 9.2.1 (a)** the following:

“9.2.1 All **minor home based businesses** shall be **secondary uses** and shall comply with the following:

- (a) a **minor home based business** shall only be conducted within a principal dwelling unit or secondary suite and no exterior storage or operation of the **minor home based business** shall be permitted.”

And replaced with:

“9.2.1 All **minor home based businesses** shall be **secondary uses** and shall comply with the following:

- (a) a **minor home based business** shall only be conducted within a principal **dwelling unit** and no exterior storage or exterior operation of the **minor home based business** shall be permitted”

- b) Deleting from **Section 9.3 Home Based Businesses, Major, 9.3.8** the following:

“9.3.8 A food catering **business** operating lawfully within a **dwelling** may establish one additional kitchen provided that its installation is required by the Health Authority and that the kitchen shall be removed should that **home based business, major** use cease. The additional kitchen is not permitted to be utilized to establish an additional **dwelling**.”

And replace it with:

"9.3.8 A food catering **business** shall contain one additional **kitchen**, provided it is required by the **Health Services**, which shall be removed should that **home based business, major** use cease. The additional **kitchen** is not permitted to be utilized to service an additional **dwelling unit**."

- c) deleting **Section 9.5 Secondary Suite and Carriage House, 9.5a Secondary Suite Regulations, 9.5a.6** as follows:

"9.5a.6 In all urban and rural residential zones, a secondary suite is not permitted in conjunction with a boarding and lodging house, a bed and breakfast accommodation or a group home."

And replacing it with:

"9.5a.6 A **bed and breakfast home, a boarding or lodging house and/or group home minor/major** shall not be permitted to operate within a **secondary suite**."

9.5a.6a A **secondary suite** shall not be permitted on a parcel which also has a **bed and breakfast, a boarding or lodging house or a group home, major/minor**."

- d) Deleting from **Section 9.5 Secondary Suite and Carriage House, 9.5a Secondary Suite Regulations, 9.5a.8** the following:

"9.5a.8 Where a **secondary suite** is permitted, a minimum area of 30m<sup>2</sup> of private open space shall be provided per **dwelling unit**. The **private open space** shall have a direct connection to the habitable space and be defined and screened through the use of landscaping such as: plantings, architectural elements such as a trellis, low fences or planters and changes in grade or elevation."

And replacing it with:

"9.5a.8 Where a **secondary suite** is permitted, a minimum area of 30 m<sup>2</sup> of private open space shall be provided per **dwelling unit**."

The **private open space** shall:

- i. have a direct connection to a **secondary suite** entrance; and
- ii. be defined from other **private open space** and yard with the use of **landscaping**."

- e) Adding to **Section 9.5 Secondary Suite and Carriage House, 9.5a Secondary Suite Regulations**, a new 9.5a.10 as follows:

"9.5a.10 1.0 additional parking space for a **secondary suite** is required which shall:

- i. be designated as being solely for the use of the **secondary suite**
- ii. not be located within a private garage which is attached to and provides direct access to the principal **dwelling**;
- iii. not be provided in a tandem configuration;



- iv. be located within the required **front yard** setback area if the **parking space** does not block access to a required **parking space** utilized by the principal **dwelling** unit.”
- f) Deleting **Section 9.5 Secondary Suite and Carriage House, 9.5b Carriage House Regulations, 9.5b.1** in its entirety that reads:
- g) Deleting **Section 9.10 Agriculture, Urban, 9.10.1(b)** in its entirety that reads:  
“9.10.1 b) **greenhouses** or **accessory structures** associated with urban agriculture shall conform to the applicable zoning requirements for **accessory buildings** or **structures** and the relevant zone. A **greenhouse** is not included in the calculation of lot coverage for **accessory buildings** or **structures**.”

And replacing it with:

- “9.10.1 b) **greenhouses, accessory buildings or structures** associated with urban agriculture shall conform to the applicable zoning requirements for **accessory buildings** or **structures** and the relevant **zone**. A **greenhouse** is not included in the calculation of **site coverage** for **accessory buildings or structures**.”
- h) Deleting **Section 9.10 Agriculture, Urban, 9.10.2(b)** in its entirety that reads:  
“9.10.2 b) **greenhouses** are not included in the calculation of lot coverage for **accessory buildings or structures**;

And replacing it with:

- “9.10.2 b) **greenhouses** are not included in the calculation of **site coverage** for **accessory buildings or structures**;
5. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act

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(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11141**  
**Housekeeping Text Amendments to Zoning Bylaw No. 8000**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing **Section 13 - Urban Residential Zones** be amended by:

- a) Deleting from Section 13.1.6 **Development Regulations** (a) and (b) that reads:

“(a)The maximum **site coverage** is 40% and together with driveways and parking areas, shall not exceed 50%.

For all accessory buildings or structures and carriage houses:

- The maximum combined lot coverage of all accessory **buildings** or **structures** and **carriage houses** shall not exceed 14%.
  - The maximum combined area of all accessory **buildings** / **structures** and **carriage houses** (e.g. footprint size) shall not exceed 90 m<sup>2</sup>.
  - The maximum net floor area of a carriage house shall not exceed 90 m<sup>2</sup>.
  - The maximum net floor area of all carriage houses (including 1 storey carriage houses) shall not exceed 75% of the total net floor area of the principal building.
  - If a development contains a carriage house and if the height of all the accessory buildings / structures, and carriage house are limited to one (1) storey then the following bonus applies:
    - The maximum combined lot coverage of all accessory **buildings** / **structures** and **carriage houses** may be increased to a maximum of 20%
    - The maximum combined area of all accessory **buildings** / **structures** and **carriage houses** (e.g. footprint size) may be increased to a maximum of 130 m<sup>2</sup> subject to:
      - The maximum area (e.g. footprint size) of a carriage house shall not exceed 100 m<sup>2</sup>.
      - The maximum area (e.g. footprint size) of all accessory buildings / structures (including garages) shall not exceed 50 m<sup>2</sup>.
- (a) The maximum height for principal buildings is the lesser of 9.5m or 2 ½ storeys. The maximum height for accessory buildings / structures is 4.5m. The maximum height for carriage houses is 4.8m. For the RU1h zone the maximum **height** is 2 ½ storeys and the maximum **height** of any vertical wall element facing a front, **flanking street** or rear yard (including walkout

basements) is the lesser of 6.5m or 2 **storeys**, above which the **building** must be stepped back at least 1.2m.”

And replacing it with:

- “(a) the maximum **site coverage** is 40% and together with driveways and parking areas, shall not exceed 50%
- (b) the maximum height for principal **buildings** shall be:
  - i. 9.5 m or 2 ½ **storeys** whichever is the lesser; or
  - ii. 2 ½ storeys in the RU1h zone and where any vertical wall element facing a front, flanking **street** or **rear yard** (including **walkout basements**) is the lesser of 6.5 m or 2 **storeys**, above which the **building** shall be stepped back at least 1.2 m; and
  - iii. 4.5m for **accessory buildings or structures.**”

b) Deleting from Section 13.1.7 **Other Regulations** (d) that reads:

- “(d) Where the **development** has access to a rear **lane**, vehicular access to the **development** is only permitted from the rear **lane**, except for developments in **hillside areas** where the topography would require the slope of such access to exceed 15%.”

And replacing it with:

- “(d) Where a **development** has access to a **lane**, vehicular access to the **development** is only permitted from the **lane**, except for **developments** in **hillside areas** where the topography would require the slope of such access to exceed 15%.”

c) Deleting from Section 13.2.6 **Development Regulations** (a), (b), (c), and (e) in their entirety that reads:

- “(a) The maximum **site coverage** is 40% and together with driveways and parking areas, shall not exceed 50%.

For all accessory buildings or structures and carriage houses:

- The maximum combined lot coverage of all accessory **buildings** or **structures** and **carriage houses** shall not exceed 14%.
- The maximum combined area of all accessory **buildings** / **structures** and **carriage houses** (e.g. footprint size) shall not exceed 90 m<sup>2</sup>.
- The maximum net floor area of a carriage house shall not exceed 90 m<sup>2</sup>.
- The maximum net floor area of all carriage houses (including 1 storey carriage houses) shall not exceed 75% of the total net floor area of the principal building.
- If a development contains a carriage house and if the height of all the accessory buildings / structures, and carriage house are limited to one (1) storey then the following bonus applies:
  - The maximum combined lot coverage of all accessory **buildings** / **structures** and **carriage houses** may be increased to a maximum of 20%

- The maximum combined area of all accessory **buildings / structures** and **carriage houses** (e.g. footprint size) may be increased to a maximum of 130 m<sup>2</sup> subject to:
  - The maximum area (e.g. footprint size) of a carriage house shall not exceed 100 m<sup>2</sup>.
  - The maximum area (e.g. footprint size) of all accessory buildings / structures (including garages) shall not exceed 50 m<sup>2</sup>.
- (b) The maximum height for principal buildings is the lesser of 9.5m or 2 ½ storeys. The maximum height for accessory buildings / structures is 4.5m. The maximum height for carriage houses is 4.8m. For the RU2h and RU2hc zones the maximum **height** of any vertical wall element facing a front, **flanking street** or rear yard (including walkout basements) is the lesser of 6.5m or 2 **storeys**, above which the **building** must be stepped back at least 1.2m.
- (c) In RU2 and RU2c zones, the minimum front yard is 4.5 metres except that it is 6.0 metres from a garage or carport having vehicular entry from the front. In RU2h and RU2hc zones, the minimum front yard is 3.0 metres, except it is 6.0 metres measured from the back of the curb or sidewalk, whichever is closest, to a garage or carport having vehicular entry at the front. In a **hillside area**, where access is required through, and is limited to, a **lane**, the yard abutting the **lane** may be considered the **front yard**. **Walkout basements** are not exempt from the **height** regulations of Section 6.6 in this situation.
- d) The minimum **rear yard** is 6.0 m for a 1 or 1½ **storey** portion of a **building** and 7.5 m for a 2 or 2½ **storey** portion of a **building**, except it is 1.5 m for accessory **buildings**. Where the **lot width** exceeds the **lot depth**, the minimum **rear yard** is 4.5 m provided that one **side yard** shall have a minimum width of 4.5 m.”

And replacing it with:

“(a)the maximum **site coverage** is 40% and together with driveways and **parking areas**, shall not exceed 50%;

(b)the maximum height for principal **buildings** shall be:

- 9.5 m or 2 ½ **storeys** whichever is lesser; or
- 2 ½ storeys in the RU2h zone and any vertical wall element facing a front, **flanking street** or **rear yard** (including **walkout basements**) is the lesser of 6.5 m or 2 **storeys**, above which the **building** shall be stepped back at least
- 1.2 m; and
- 4.5 m for **accessory buildings or structures**
- i. in RU2 and RU2c zones, the minimum **front yard** shall be:
  - 4.5m; or
  - 3.0m in the RU2h and RU2hc Zones; or
  - 6.0 m from a garage or **carport** which has vehicular access to a **street**
- ii. the minimum **rear yard setback** shall be:

- 6.0 m for a 1 or 1½ **storey** portion of a **building**; or
- 7.5 m for a 2 or 2½ **storey** portion of a **building**; and
- 1.5 m for accessory **buildings**.
- 4.5m where the **lot width** exceeds the **lot depth**, provided that one **side yard** shall have a minimum width of 4.5 m; or
- 3.0m in a **hillside area** where access is required from, and is limited to a **lane**.

(c) in RU2 and RU2c zones, the minimum **front yard** shall be:

- 4.5 m, or
- 3.0m in the RU2h and RU2hc zones; or
- 6.0 m from a garage or **carport** having vehicular access from a **street**;  
or
- 6.0 m measured from the back of the curb or sidewalk, whichever is closest, to a garage or **carport** having vehicular access from a **street**

(e) the minimum **rear yard** shall be:

- 6.0 m for a 1 or 1½ **storey** portion of a **building**; or
- 7.5 m for a 2 or 2½ **storey** portion of a **building**; and
- 1.5 m for accessory **buildings**.
- 4.5 m where the **lot width** exceeds the **lot depth** provided that one **side yard** shall have a minimum width of 4.5 m.
- in a **hillside area** where access is required through, and is limited to a **lane**, the minimum **rear yard** setback is 3.0 m.

e) Deleting from Section 13.2.7 **Other Regulations** (b) that reads:

“(b) Where the **development** has access to a rear lane, vehicular access to the **development** is only permitted from the rear **lane**, except for developments in hillside areas where the topography would require the slope of such access to exceed 15%.

And replacing it with:

“(b) Where a **development** has access to a **lane**, vehicular access to the **development** is only permitted from the **lane**, except for **developments** in **hillside areas** where the topography would require the slope of such access to exceed 15%.

f) Deleting from Section 13.5.6 **Development Regulations** (b) that reads:

“(b) Bareland **strata lot coverage** by principal and accessory **buildings** shall not exceed 50%.”

And replace it with:

“(b) **bareland strata lot site coverage** by principal and **accessory buildings or structures** shall not exceed 50%.”

g) Deleting from Section 13.6.7 **Other Regulations** (f) that reads:

“(f) Where the **development** has access to a rear lane, vehicular access to the **development** is only permitted from the rear **lane**, except for developments in hillside areas where the topography would require the slope of such access to exceed 15%.”



And replacing it with:

- “(f) where the **development** has access to a **lane**, vehicular access to the development is only permitted from the **lane**, except for **developments** in **hillside areas** where the topography would require the slope of such access to exceed 15%.”;
- h) Adding to Section 13.7.3 **Secondary Uses** new sub-paragraphs for “**carriage house**” and “**secondary suite**” in their appropriate locations and re-numbering subsequent paragraphs;
- i) Adding to Section 13.7.4 **Buildings and Structures Permitted** be amended by:
  - i) Adding “**carriage house**” in its appropriate location, and re-numbering subsequent paragraphs;
  - ii) Deleting the reference “**single detached housing**” and replacing it with “**single detached house** (which may contain a secondary suite)”;
- j) Adding to Section 13.8.2 **Principal Uses** new sub-paragraphs for “**three dwelling housing**” and “**four dwelling housing**” in their appropriate locations and re-numbering subsequent paragraphs;
- k) Deleting from Section 13.8.4 **Buildings and Structures Permitted** sub-paragraph “(d) **single detached housing**”;
- l) Deleting the reference “**RH1s - Hillside Large Lot Residential with Secondary Suite**” from the title in the 13.14 RH1 - Hillside Large Lot Residential/ RH1s - Hillside Large Lot Residential with Secondary Suite;
- m) Deleting the words “(RH1s only) from 13.14.1 **Secondary Suites**, sub-paragraph (f) **secondary suite** (RH1s only);
- n) Deleting from 13.14.5 **Buildings and Structures Permitted**, sub-paragraph (a) that reads:
  - “(a) one **single detached house** (which may contain a **secondary suite** in the RH1s zone)”

And replacing it with;

“(a) one **single detached house** (which may contain a **secondary suite**)”

2. AND THAT Section 14 - **Commercial Zones** be amended by:

- a) Adding “**Residential security/operator unit**” in its appropriate location, to Section 14.1.3 **Secondary Suites** and re-numbering subsequent paragraphs;
- b) Deleting from Section 14.1.5 **Development Regulations** subparagraph (a) that reads:
  - “(a) The maximum **lot coverage** is 35%.”

And replacing it with:

“(a) the maximum **site coverage** is 35%.”

- c) Adding **"Residential security/operator unit"** in its appropriate location, to Section 14.2.3 **Secondary Suites** and re-numbering subsequent paragraphs;
- d) Adding **"Temporary parking lot"** in its appropriate location, to Section 14.3.2 **Principal Uses** and re-numbering subsequent paragraphs;
- e) Adding **"Residential security/operator unit"** in its appropriate location, to Section 14.3.3 **Secondary Suites** and re-numbering subsequent paragraphs;
- f) Adding **"Temporary parking lot"** in its appropriate location, to Section 14.4.2 **Principal Uses** and re-numbering subsequent paragraphs;
- g) Adding **"Residential security/operator unit"** in its appropriate location, to Section 14.5.3 **Secondary Suites** and re-numbering subsequent paragraphs;
- h) Adding **"Temporary parking lot"** in its appropriate location, to Section 14.6.2 **Principal Uses** and re-numbering subsequent paragraphs;
- i) Adding **"Residential security/operator unit"** in its appropriate location, to Section 14.6.3 **Secondary Suites** and re-numbering subsequent paragraphs;
- j) Adding **"Temporary parking lot"** in its appropriate location, to Section 14.7.2 **Principal Uses** and re-numbering subsequent paragraphs;
- k) Adding **"Temporary parking lot"** in its appropriate location, to Section 14.10.2 **Principal Uses** and re-numbering subsequent paragraphs;
- 3. AND THAT **Section 15 - Industrial Zones** be amended by adding **"Temporary parking lot"** in its appropriate location, to Section 15.4.2 **Principal Uses** and re-numbering subsequent paragraphs;
- 4. AND THAT **Section 16 - Public & Institutional Zones** be amended by replacing "&" with "and" in the title;
- 5. AND THAT **Schedule 'B' - Comprehensive Development Zones** be amended by:
  - a) Deleting in **CD4 - Comprehensive Small Lot Residential, 1.5 Development Regulations** (b) that reads:
 

"(b) The maximum lot coverage by principal buildings and accessory buildings is 55% for each bareland strata lot."

And replacing it with:

- "(b) The maximum combined **site coverage** for principal buildings and all accessory buildings or structures is 55% for each bareland strata lot."
  - b) Adding in **CD 15 - Airport Business Park, Section 1.2 Principal Uses** in its appropriate location a new subparagraph **"Temporary parking lot"** and renumbering subsequent paragraphs;
  - c) Adding in **CD 17 - Mixed Use Commercial - High Density, Section 1.1 Principal Uses** in its appropriate location a new subparagraph **"Temporary parking lot"** and renumbering subsequent paragraphs;
  - d) Adding in **CD 18 - McKinley Beach Comprehensive Resort Development, Section 1.2 Principal and Secondary Uses, 1.2a AREA I Village Centre** in its appropriate

location a new subparagraph **"Temporary parking lot"** and renumbering subsequent paragraphs;

6. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act

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(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# REPORT TO COUNCIL



**Date:** September 14, 2015  
**RIM No.** 1250-30  
**To:** City Manager  
**From:** Community Planning Department (LK)  
**Application:** Z15-0024 **Owner:** 1009440 BC Ltd.  
**Address:** 605 Stirling Rd **Applicant:** Novation Design Studio  
**Subject:** Rezoning Application  
**Existing OCP Designation:** S2RES - Single / Two Unit Residential  
**Existing Zone:** RU1 - Large Lot Housing  
**Proposed Zone:** RU6 - Two Dwelling Housing

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## 1.0 Recommendation

THAT Rezoning Application No. Z15-0024 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 9 Section 22 Township 26 ODYD Plan 21786, located at 605 Stirling Road, Kelowna, BC from the RU1 - Large Lot Housing zone to the RU6 - Two Dwelling Housing zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated June 10, 2015;

AND THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit for the subject property;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered subsequent to approval of the Ministry of Transportation and Infrastructure.

## 2.0 Purpose

To rezone the subject property to facilitate the development of a semi-detached dwelling on the subject property.

## 3.0 Community Planning

Community Planning Staff supports the proposal to add a second dwelling to the subject property. The proposed rezoning would allow the construction of a second dwelling on the property in the form of semi-detached housing that will be added to the original single detached

house. The development as proposed meets all of the Zoning Bylaw regulations without any variances required. The subject parcel is within the Permanent Growth Boundary and has a Future Land Use designation of S2RES - Single / Two Unit Residential; therefore the application to rezone the parcel to RU6 meets the guidelines of the Official Community Plan (OCP).

The OCP supports the densification of neighbourhoods through appropriate infill development and utilization of existing infrastructure. The proposal meets this guideline.

#### 4.0 Proposal

##### 4.1 Project Description

The subject parcel is located within the Permanent Growth Boundary at the intersection of Stirling Road and Graham Road. The existing single family dwelling was constructed in the early 1970's. The existing attached garage at the north end of the building will be removed in order to facilitate the addition of the second dwelling to create a semi-detached building. A single stall carport is being added to the existing dwelling at the south end of the building. The new dwelling will have a single car attached garage. Each unit will have a driveway to provide the second required parking stall to meet the Zoning Bylaw requirements for parking.

When an RU6 - Two Dwelling Housing parcel is redeveloped, the usual approach has been to add a second single family dwelling in addition to the existing one or the existing house is removed and replaced by a semi-detached dwelling. With a semi-detached dwelling the typical design would have the two garages sharing a party wall and driveway access, thus eliminating the need for a second driveway.

The proposed development is retaining the existing dwelling with the addition to the north and garages at opposite ends. The required rear setback to the single storey portion of the house is 6.0m and 7.5m to the second storey. The addition meets these requirements along with all other Zoning Bylaw regulations.

Community Planning Staff is supportive of this development as it utilizes the existing building and the new construction does not require any variances. A rear yard setback variance would be required if the addition was constructed with the shared driveway approach. The private open space of both dwellings would be located on the east side of the building and not provide privacy for either residence.

Each unit provides private open space in excess of the Zoning Bylaw requirements with the location of the space maintaining privacy for both. The existing dwelling is a one and a half storey building and the addition is two storeys. The exterior finish will be hardieplank siding and stucco on both the existing building and proposed addition.

##### 4.2 Site Context

The subject property is located at the intersection of Stirling Road and Graham Road in the Rutland area of Kelowna.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 - Large Lot Housing	Single Detached Housing
East	RU1 - Large Lot Housing	Single Detached Housing
South	RU6 - Two Dwelling Housing	Duplex Housing
West	RU1 - Large Lot Housing	Single Detached Housing



## Subject Property Map: 605 Stirling Rd



## 4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU6 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Minimum Lot Area	800 m <sup>2</sup>	815 m <sup>2</sup>
Minimum Lot Width	20.0 m	21.3 m
Minimum Lot Depth	30.0 m	38.3 m
Development Regulations		
Maximum Site Coverage (buildings)	40%	31 %
Maximum Site Coverage (buildings, driveways and parking)	50%	36 %
Maximum Height	9.5 m	6.9 m
Minimum Front Yard	4.5 m	4.6 m
Minimum Side Yard (west)	4.4 m for building 6.0 m for garage / carport	4.5 m for building 6.5 m for garage 8.1 m for carport
Minimum Side Yard (east)	2.0 m for 1.5 storey 2.3 for 2 storey	5.2 m
Minimum Rear Yard	6.0 m for up to 1.5 storey 7.5 m for 2 storey and up	6.0 m for 1 <sup>st</sup> storey 7.5 m for 2 <sup>nd</sup> storey
Other Regulations		
Minimum Parking Requirements	2 spaces per dwelling	2 spaces per dwelling
Minimum Private Open Space	30 m <sup>2</sup> per dwelling	+ 50 m <sup>2</sup> per dwelling

## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill**<sup>2</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighborhood with respect to building design, height and siting.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this structure at time of permit application.

### 6.2 Development Engineering Department

- See attached Schedule "A" dated June 10, 2015.

## 7.0 Application Chronology

Date of Application Received:	May 14, 2015
Date Public Consultation Completed:	June 24, 2015
Date Amended Plans Received:	August 19, 2015

#### Report prepared by:

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Lydia Korolchuk, Planner

Reviewed by:

☐

Lindsey Ganczar, Planning Supervisor

Approved for Inclusion:

☐

Ryan Smith, Community Planning Department Manager

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<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

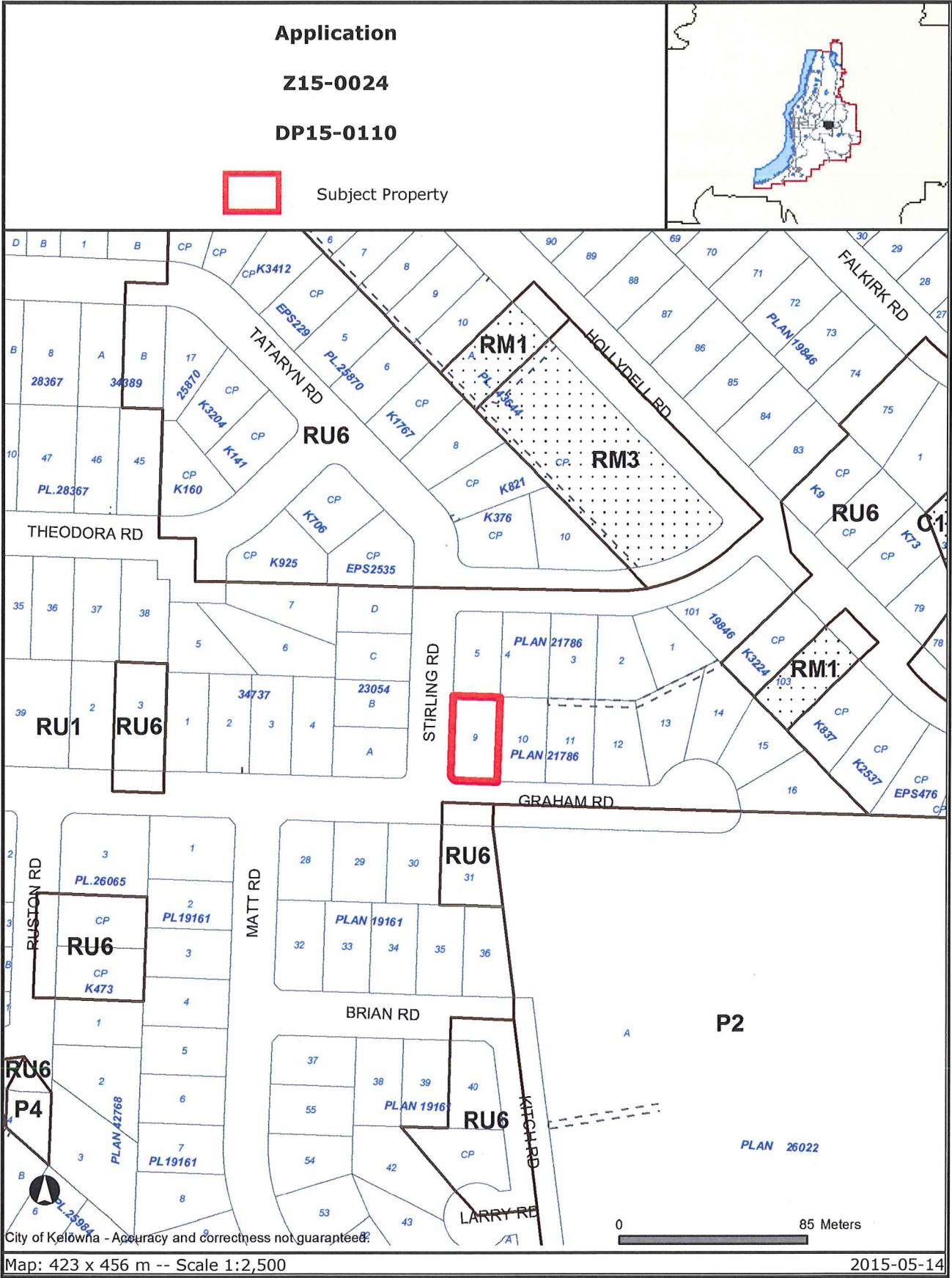
**Attachments:**

Site Context Map

Site Plan

Conceptual Elevations

Schedule "A" - Development Engineering Memorandum



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.



CITY OF KELOWNA

MEMORANDUM

**Date:** June 10, 2015  
**File No.:** Z15-0024  
**To:** Urban Planning Services (TY)  
**From:** Development Engineer Manager (SM)  
**Subject:** 605 Stirling Road – Lot 9, Plan 21786, Sec. 22, Twp. 26, ODYD

The Development Engineering comments and requirements regarding this application to rezone a portion of the property from RU-1 to RU-6 are as follows:

1. General

- a) Provide easements as required

2. Geotechnical Study.

We recommend that a comprehensive geotechnical study be undertaken over the proposed building site. The geotechnical study should be undertaken by a Professional Engineer or a Geoscientist competent in this field. This study should analyse the soil characteristics and suitability for development of the requested zoning. As well, the study should address drainage patterns including the identification of ground water and the presence of any springs and the suitability of the lands for disposal of site generated storm drainage. In addition this study must describe soil sulphate contents, the presence or absence of swelling clays and the recommendation for construction of footing and foundations.

3. Domestic water and fire protection.

- a) This development is within the service area of the Rutland Waterworks District (RWWD). The developer is required to make satisfactory arrangements with the RWWD for these items. All charges for service connection and upgrading costs are to be paid directly to the RWWD. The developer is required to provide a confirmation that the district is capable of supplying fire flow in accordance with current requirements.

- b) Current City policies require two (2) water services for the proposed RU-6 lot

4. Sanitary Sewer.

The property is serviced by the Municipal Wastewater Collection System and is located within Specified Area #1; this application does not trigger any Wastewater connection fees or charges.

.../2



5. Power and Telecommunication Services.

The services to the development are to be installed underground. It is the developer's responsibility to make a servicing application to the respective utility companies. The utility companies are then required to obtain the city's approval before commencing their works.

6. Road improvements.

- a) Stirling Road must be upgraded to a full urban standard (SS-R3) including sidewalk, curb and gutter, piped storm drainage system, fillet pavement, boulevard grading street lights, and adjustment and/or re-location of existing utility appurtenances, if required, to accommodate this construction. The cost of this frontage upgrade is estimated at **\$27,000.00** and is inclusive of a bonding escalation.
- b) Graham Road must be upgraded to a full urban standard (SS-R3) including sidewalk, curb and gutter, piped storm drainage system, fillet pavement, boulevard grading street lights, and adjustment and/or re-location of existing utility appurtenances, if required, to accommodate this construction. The cost of this frontage upgrade is estimated at **\$13,100.00** and is inclusive of a bonding escalation.

7. Engineering.

Design, construction, supervision and inspection of all off-site civil works and site servicing must be performed by a consulting civil Engineer and all such work is subject to the approval of the city engineer.

8. Design and Construction.

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

.../3

9. Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

10. Bonding and Levies Summary.

a) Performance security

Stirling Road frontage upgrade	<b>\$27,000.00</b>
Graham Road frontage upgrade	<b>\$13,100.00</b>
Total frontage upgrades	<b><u>\$40,100.00</u></b>

Note that the applicant is not required to do the construction. The construction can be deferred and the City will initiate the work later at its own construction schedule, the cost would be reduced to **\$28,200.00**. (\$18,500.00 and \$9,700.00 respectively) and the 3% Engineering & Admin. fee would be waived.

b) Levies

3% Engineering & Admin. fee	<b>\$1,008.06 (incl. GST.)</b>
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Steve Muenz, P.Eng.  
Development Engineering Manager

B<sup>2</sup>

SYMBOL LEGEND:

## CONTEXT SITE PLAN:

**Notes**

**a** Copyright licensed. The drawings and designs are, and all the components, the property of Autodesk, Inc., and can be registered and used under various patents.

**b** All drawings used are used in compliance with specifications and consultant details.

**c** All work is done and carried out in accordance with Canadian standard specifications, ULC Building Code 2010 edition and local authority codes and regulations.

**d** Totalled costs are for a full 12 m drawing sheet.

**e** The drawing sheet is not a full D size drawing sheet.

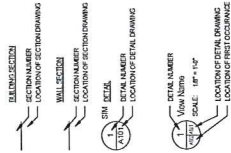
**f** Consultants and/or all drawings prior to commencement of work.

**g** The amounts of disbursements shall be reported to the architect.

**h** See

- [illegible]

SYMBOL LEGEND:



**Door Tags**  
DOOR NUMBER - SEE DOOR SCHEDULE

**Window Tags**  
WINDOW TYPE - SEE WINDOW DETAILS

**Assembly Tags**  
ASSEMBLY TYPE - SEE CONSTRUCTION SCHEDULE

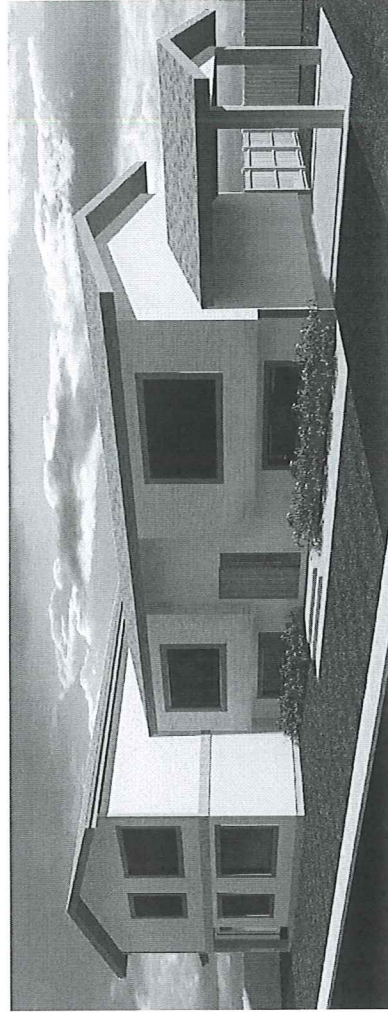


## DRAWING INDEX:

ILLUSTRATION:

**ARCHITECTURAL**  
Innovation Design Studio  
101-1815 Clifton Drive Suite 520  
Melrose, D.C. V1V 8T1  
TEL: (246) 718-1222  
FAX: (246) 960-6002

no.	name
AL00	PROJECT INFORMATION AND DRAWINGS INDEX
AL01	SITE PLAN
AL02	LANDSCAPE PLAN
AL03	FLOOR PLAN
AL04	EXTERIOR ELEVATIONS
AL05	EXTERIOR ELEVATIONS



**NOVATION**  
101-1865 CILWORTH DR. SUITE 520  
SELOWNA BC V1P 9T1

STIRLING RESIDENCE

605 Gairdner Road,  
Kelowna British Columbia

PROJECT INFORMATION  
AND DRAWINGS INDEX

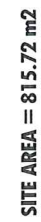
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Designated		

A0.00

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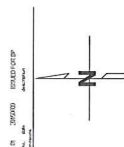
NECESSARY FOR DEVELOPMENT PERMIT





**Project File Name and Location:** WACVATCOPresentation\_Congress\_Study\_Hart\_Constitutional\_Conservatism\_Symposium\_Videos\_1978\_House at N

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<input type="checkbox"/>	A CONTROLLED document. Revisions will be advised.
<input type="checkbox"/>	The first issue of the document.
<input type="checkbox"/>	A complete revision. Remove previous issues from use.
<input type="checkbox"/>	A partial revision. Remove previous issues comprising changes / updates.
<input type="checkbox"/>	Not for Construction.



NOVATION

101-1065 DILWORTH DR. SUITE 520  
KELLOWNA BC V1Y 9T1

STIRLING RESIDENCE

605 Stirling Road,  
Kelowna British Columbia

LANDSCAPE PLAN

Invested	PS	1 : 100
Profit	PS	
Required		

A1.02

6625123.90	100%
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ISSUED FOR DEVELOPMENT PERMIT



<input type="checkbox"/>	<b>NOT</b> controlled. Revisions may be made without notice.
<input type="checkbox"/>	<b>A CONTROLLED</b> document. Revisions <b>will</b> be advised.
<input type="checkbox"/>	The first issue of the document.
<input type="checkbox"/>	<b>A complete</b> revision. Remove previous issues from use.
<input type="checkbox"/>	<b>A partial</b> revision. Remove previous issues of corresponding sheets / pages from use.
<input type="checkbox"/>	Not for Construction.



STRIKING RESIDENCE

465 Stirling Road,  
Kelowna British Columbia

FLOOR PLAN

Weighted	PS	$1/4^* = 1^*Q^*$
Each	PS	
Sum of all		

A2.01

ISSUED FOR DEVELOPMENT PERMIT

See also The Name and Location

<input type="checkbox"/>	<b>NOT</b> enclosed. Revisions may be made without notice.
<input type="checkbox"/>	<b>A CONTROLLED</b> document. Revisions will be advised.
<input type="checkbox"/>	The first issue of the document.
<input type="checkbox"/>	<b>A complete revision.</b> Remove previous issues from use.
<input type="checkbox"/>	<b>A partial revision.</b> Remove previous issues and incorporating changes / pages from use.
<input type="checkbox"/>	<b>Not for Construction.</b>

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12/16/2010	PAYROLL	50.00	101	WELLS FARGO	12/16/2010	PAYROLL	50.00	101	WELLS FARGO
12/17/2010	RENT	200.00	102	WELLS FARGO	12/17/2010	RENT	200.00	102	WELLS FARGO
12/18/2010	UTILITIES	75.00	103	WELLS FARGO	12/18/2010	UTILITIES	75.00	103	WELLS FARGO
12/19/2010	SALES	150.00	104	WELLS FARGO	12/19/2010	SALES	150.00	104	WELLS FARGO
12/20/2010	INVENTORY	30.00	105	WELLS FARGO	12/20/2010	INVENTORY	30.00	105	WELLS FARGO
12/21/2010	ADVERTISING	120.00	106	WELLS FARGO	12/21/2010	ADVERTISING	120.00	106	WELLS FARGO
12/22/2010	TRAVEL	40.00	107	WELLS FARGO	12/22/2010	TRAVEL	40.00	107	WELLS FARGO
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12/31/2010	DEPOSIT	100.00							

**NOVATION**  
101-1565 DRWORTH DR., SUITE 529  
KELOWNA, B.C. V1Y 9T1

STIRLING RESIDENCE

615 Stirling Road,  
Kelowna British Columbia

project no. 1502

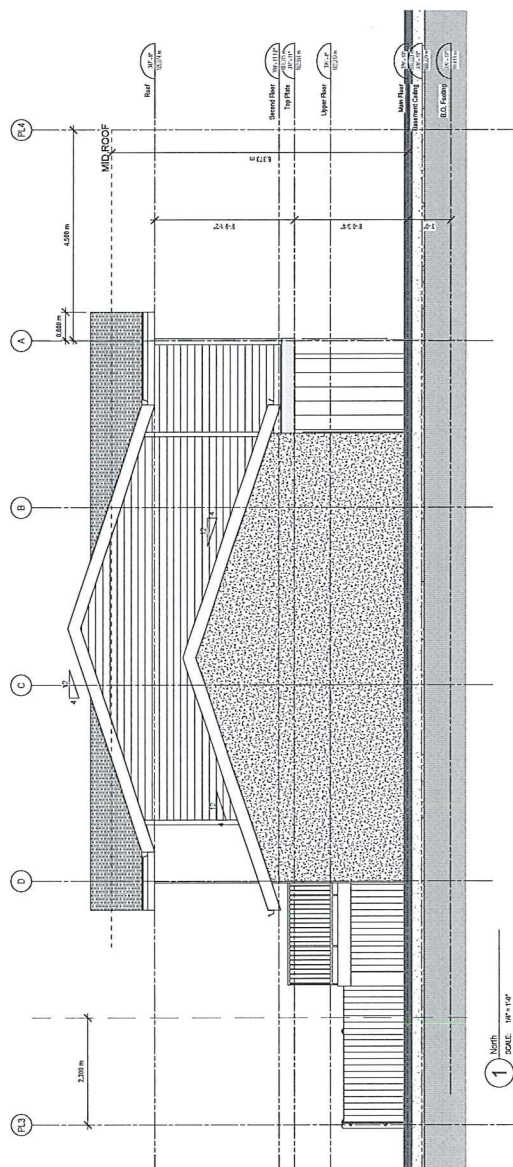
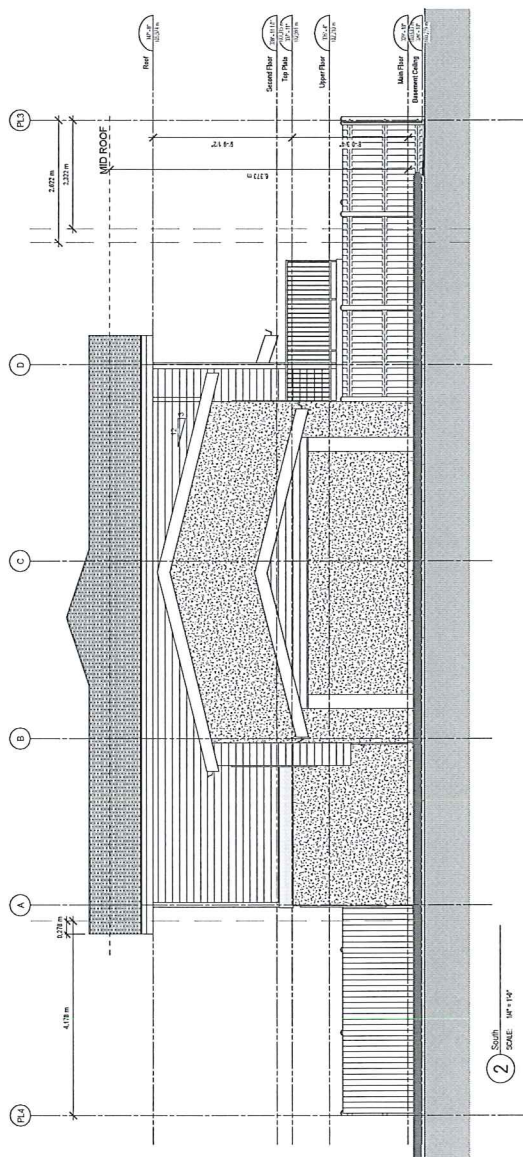
ENJOYING LIFE  
EXTERIOR ELEVATIONS

Assigned	DC	Multi	9/100 - 95/100
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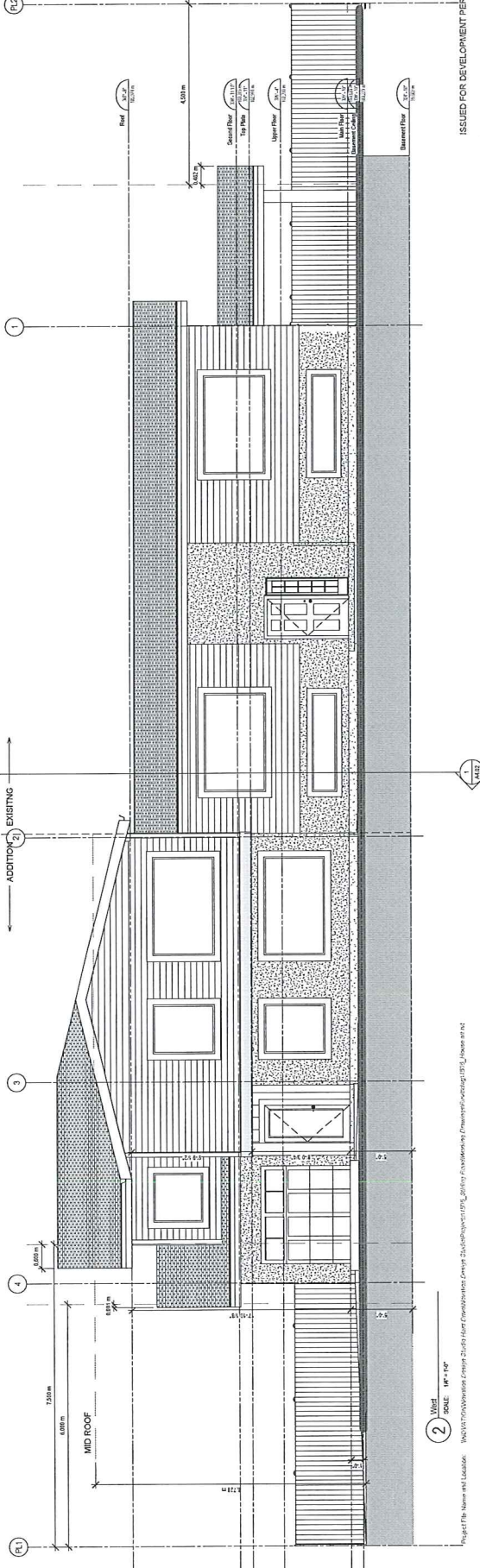
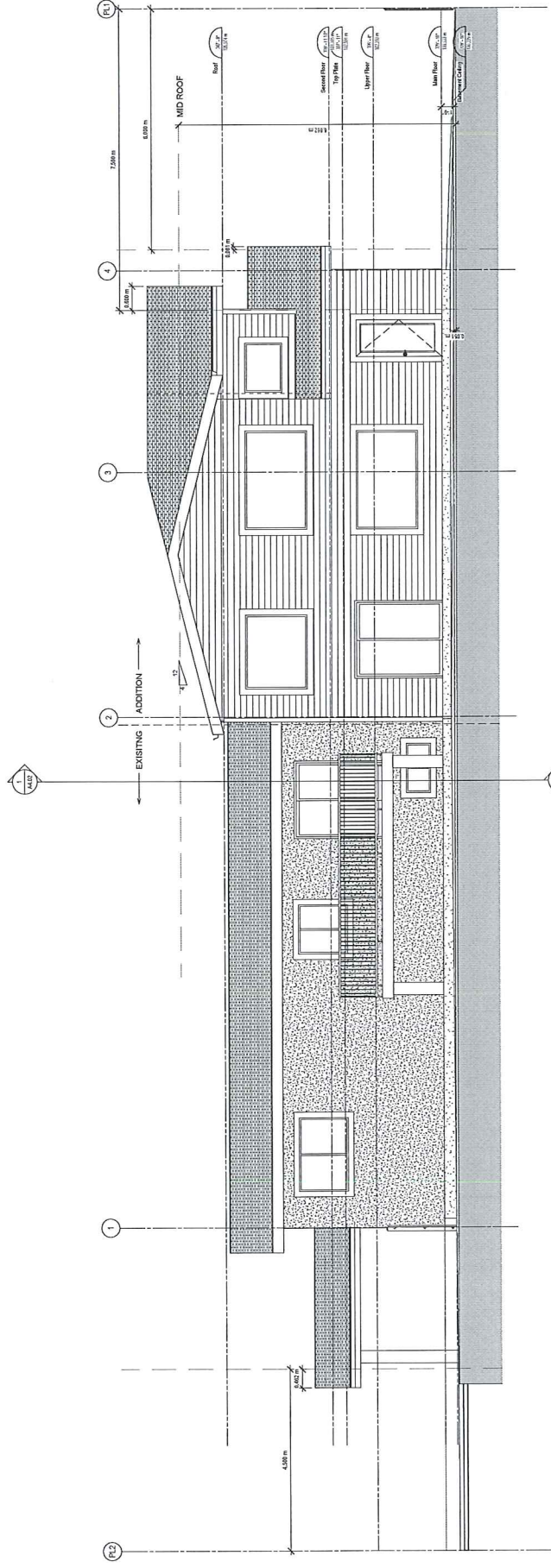
12	13
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A3.01

ISSUED FOR DEVELOPMENT PERMIT



NOTES:  
 1. All drawings are based on the information provided by the client and are not to be used for construction without the approval of the architect.  
 2. All dimensions are in feet and inches, unless otherwise specified.  
 3. All materials and finishes are to be as specified in the schedule of materials.  
 4. All work is to be done in accordance with the current building codes and standards.  
 5. All work is to be done in accordance with the current industry practices and standards.  
 6. All work is to be done in accordance with the current local, state, and federal regulations.  
 7. All work is to be done in accordance with the current best practices and standards.  
 8. All work is to be done in accordance with the current industry standards and practices.  
 9. All work is to be done in accordance with the current local, state, and federal regulations.  
 10. All work is to be done in accordance with the current best practices and standards.



**NOVATION**  
 601-1000 BURGESS DR. SUITE 100  
 KELLOWA, BC V1A 1T1

**STRILING RESIDENCE**  
 433 Striling Road,  
 Kelowna British Columbia  
 Project No. 1550

**EXTERIOR ELEVATIONS**  
 Project No. 1550  
 Scale: 1/4" = 1'-0"

**A3.02**  
 ISSUED FOR DEVELOPMENT PERMIT



**CITY OF KELOWNA**  
**BYLAW NO. 11142**  
**Z15-0024 - 1009440 BC Ltd. Inc. No. 1009440**  
**605 Stirling Road**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 9, Section 22, Township 26, ODYD, Plan 21786 located on Stirling Road, Kelowna, B.C., from the RU1 - Large Lot Housing zone to the RU6 - Two Dwelling Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act

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(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# REPORT TO COUNCIL



**Date:** September 14, 2015

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning (DB)

**Application:** Z15-0006      **Owners:** 1. Watermark Development Ltd. Inc. No. BC0642787  
2. City of Kelowna

**Address:** (S OF Academy Way)      **Applicant:** Beaumont Realty Corporation Inc.

**Subject:** Report Z15-0006

**Existing OCP Designation:** Single / Two Unit Residential - Hillside, Major Park & Open Space

**Proposed OCP Designation:** Single / Two Unit Residential, Major Park & Open Space

**Existing Zones:** A1- Agricultural 1, RM5 - Medium Density Multiple Housing, P3- Parks and Open Spaces

**Proposed Zones:** RU1H - Large Lot Housing Hillside, P3- Parks and Open Spaces, P4 - Utilities

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## 1.0 Recommendation

THAT Rezoning Application No. Z15-0006 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of:

1. Part(s) of Lot C Section 3 Township 23 Osoyoos Division Yale District Plan EPP33993, "see plan as to limited access", located (S of) Academy Way from A1 - Agriculture 1 to RU1h - Large Lot Housing (Hillside Area), from A1 - Agricultural 1 to P3 - Parks and Open Space, from A1 - Agricultural 1 to P4 - Utilities, from RM5 - Medium Density Multiple Housing to RU1h - Large Lot Housing (Hillside Area), and from P3 - Parks and Open Space to RU1h - Large Lot Housing (Hillside Area).
2. Part(s) of Lot 1 Sections 3 and 10 Township 23 Osoyoos Division Yale District Plan EPP45918, located at 800 Academy Way from P3 - Parks and Open Space to RM5 - Medium Density Multiple Housing and from A1 - Agricultural 1 to RM5 - Medium Density Multiple Housing.
3. Part(s) of Lot A Section 3 Township 23 Osoyoos Division Yale District Plan EPP33993 "see plan as to limited access", located (S OF) Academy Way from RM5 - Medium Density Multiple Housing to P3 - Parks and Open Space and from A1 - Agricultural 1 to P3 - Parks and Open Space.



As shown on Map "A" attached to the Report from the Community Planning Department dated September 14, 2015.

AND THAT the Zone Amending Bylaw be forwarded to a Public Hearing for further consideration

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "B" attached to the Report from the Community Planning Department dated September 14, 2015;

AND FURTHER THAT final adoption of the Zone Amending Bylaw be considered subsequent to the issuance of a Preliminary Layout Review by the City of Kelowna's Subdivision Approving Officer.

## **2.0 Purpose**

To rezone portions of the subject properties in order to accommodate the development of a single family subdivision.

## **3.0 Community Planning Comments**

The applicant is proposing to rezone parts of the subject properties to facilitate the development of a single family subdivision. More specifically the applicant is proposing to rezone the bulk of the subject property from the existing A1 - Agricultural 1 zone to the RU1h zone which is consistent with the Official Community Plan Generalized Future Land Use Designation Map 4.1.

It is important to clarify that while the zoning application involves three properties, Lot C, Plan EPP33993 is the primary focus of this application. The two other properties are only involved as part of a minor zoning amendment which will be discussed later in this report. Community Planning staff support the proposal, as it is generally in accordance with the University South Development Plan (2010) which was a refinement of the original high level Area Structure Plan completed in 1997.

Additionally, the applicant is proposing to rezone a 1600 m<sup>2</sup> portion of the subject property located at the centre of the proposed subdivision which will be used as a neighborhood park. The proposed park will be very similar to the existing Hidden Lake Neighborhood Park located in the Wilden neighborhood. The proposed size, location and concept of the park were reviewed and approved in principle by the City's Parks Department.

The developer has agreed to rezone a 20 m wide section of land located at the north end of the property to serve as a maintenance access for the large natural open space located directly west of the subject property. This section of land will be dedicated and consolidated to the open park space as part of the future subdivision application. A roof height restriction will also be imposed for the four proposed residential lots directly west of the proposed park maintenance access to ensure the view corridors from the hilltop area are preserved.

The developer will construct a detention facility for storm water at the east end of the subject property which will eventually be dedicated to the City. The detailed design of this facility will be completed at subdivision stage, but the proposed area requires rezoning from the existing A1 - Agricultural 1 zone to the proposed P4 - Utility zone to reflect the proposed land use.

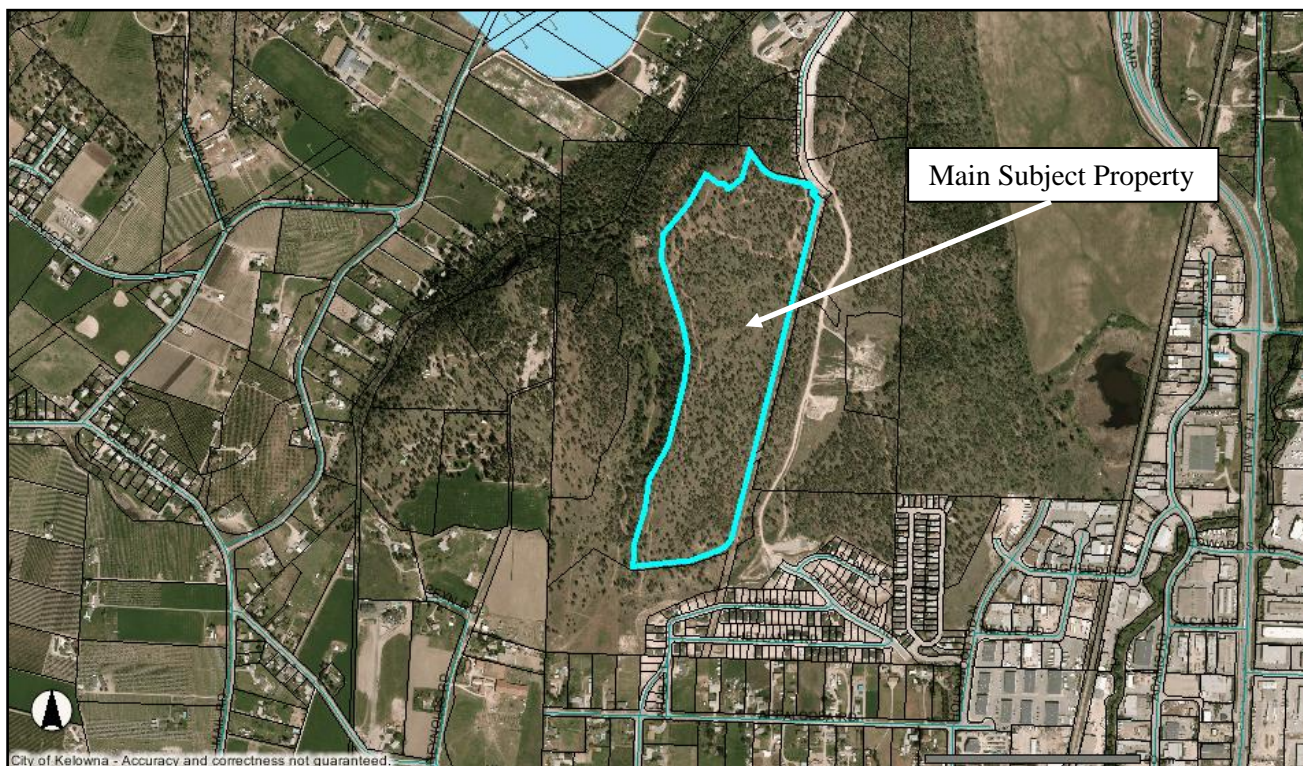
In addition to all abovementioned changes related to the proposed development, there is a need to amend some zoning discrepancies involving the two properties to the north of the subject property. This zoning amendment is an administrative exercise to align the zoning with the property lines and the Generalized Future Land Use Map 4.1 and will have no impact on the proposed and existing land use.

## 4.0 Proposal

### 4.1 Project Description

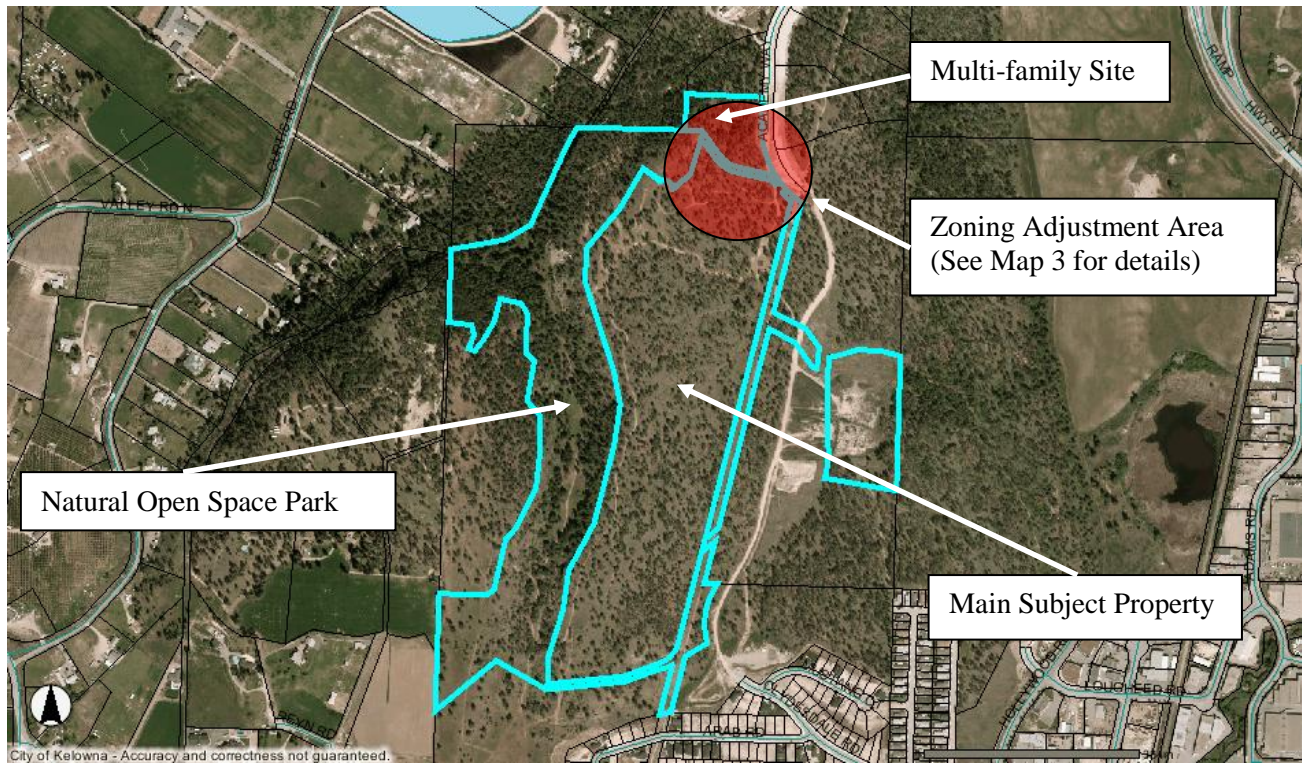
As mentioned above, the applicant is proposing to rezone the main subject property to RU1h to facilitate the placement of a single family residential subdivision. The two other properties are simply involved as part of a minor zoning adjustment as illustrated on Maps 2 and 3.

#### Map 1 - Main Subject Property



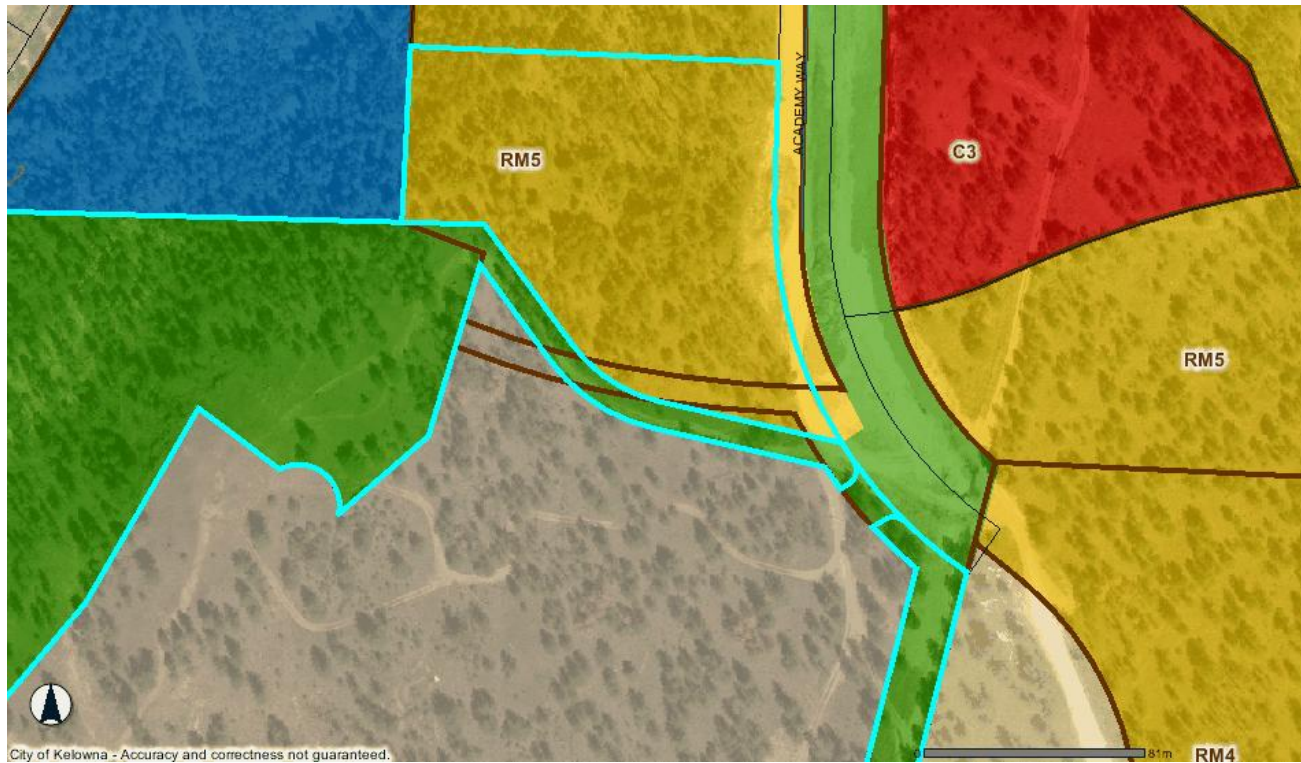


**Map 2 - Subject Properties**



**Map 3 - Zoning Cleanup Area (Area identified in red circle on map 2)**

As discussed above, the zoning (brown lines) do not match the existing property lines shown in blue. Part of this zoning file is to properly align zoning boundaries with the existing property lines and the Generalized Future Land Use Map.

**4.2 Site Context**

The subject property is located at the Northeast of town in the UBCO development area. Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RM5 - Medium Density Multiple Housing	Multiple Unit Residential (Medium Density)
East	RM3 - Low Density Multiple Housing	Multiple Unit Residential (Low Density)
South	A1- Agricultural 1	Single Family Housing Hillside
West	P3 - Parks and Open Space	Major Park and Open Space

### 3.0 Current Development Policies

#### 3.1 Kelowna Official Community Plan (OCP)

##### Future Land Use

**Single/Two Unit Residential (S2RES)**<sup>1</sup>: Single detached homes for occupancy by one family, single detached homes with a secondary suite or carriage house, semi-detached buildings used for two dwelling units, modular homes, bareland strata, and those complementary uses (i.e. minor care centres, minor public services/utilities, convenience facility and neighbourhood parks), which are integral components of urban neighbourhoods. Suitability of non-residential developments within the neighbourhood environment will be determined on a site-specific basis. Nonresidential developments causing increases in traffic, parking demands or noise in excess of what would typically be experienced in a low density neighbourhood would not be considered suitable.

##### Development Process

**Compact Urban Form.**<sup>2</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill.**<sup>3</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighborhood with respect to building design, height and siting.

**Housing Mix.**<sup>4</sup> Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

### 5.0 Technical Comments

#### Development Engineering Department

The Works and Services required from this application are attached to this letter as "Memorandum, dated: March 16, 2015.

Development Engineering Branch will review and issue for construction drawings and provide servicing requirements once a Preliminary Layout Review application is submitted.

#### Infrastructure Planning - Parks & Public Spaces

- At least 20 m of road frontage will be required for the hilltop area park between proposed lots 193 and 194.
- Infrastructure Planning is generally accepting the size and location of the proposed neighborhood park at the intersection of proposed roads A and C; however, the City has concerns about the proposed 5:1 slope, and recommends increasing the

<sup>1</sup> City of Kelowna Official Community Plan - Future Land Use Chapter.

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>3</sup> City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

<sup>4</sup> City of Kelowna Official Community Plan, Policy 5.22.11 (Development Process Chapter).



slope to a maximum of 3:1, or that consideration be given to installation of a retaining wall, in order to maximize flat area for active recreation.

- A fencing plan is required to show where fencing will be installed to delineate the public / private interface. A 1.2 m high black chain link fence to City standard will be located 15 cm inside the private property lines between all natural areas and active (neighbourhood) parkland and between private property and the gas ROW.
- Height restriction will be required for lots 190 through 196 to ensure that view corridors from the hilltop natural area park to the lake and remainder of the City are preserved for the public.

### Application Chronology

Date of Application Received:	January 22, 2015
Public Information Session:	July 24, 2015
Public Notification Received:	July 22, 2015
Complete Information Received:	August 14, 2015

### Report prepared by:

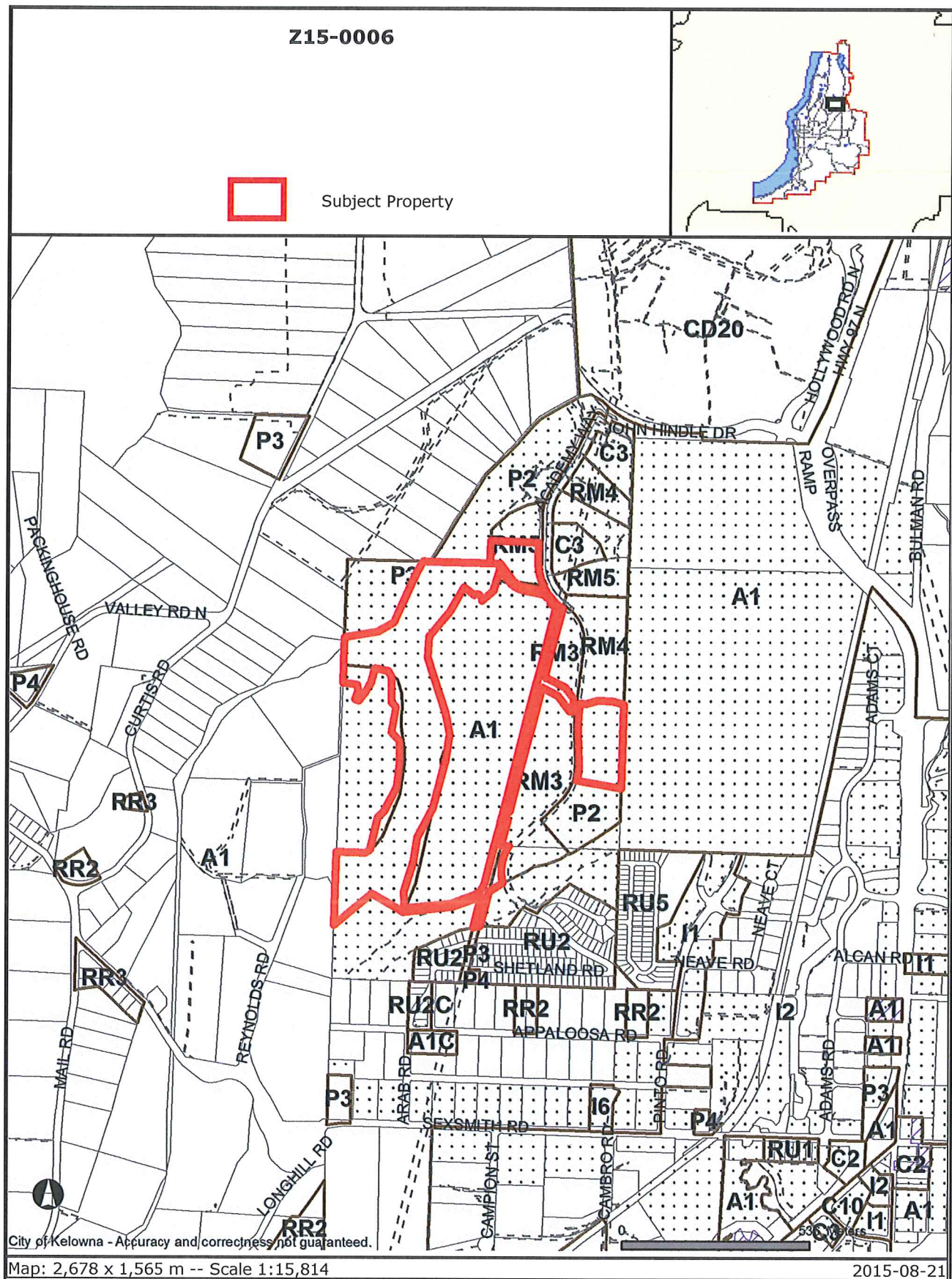
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Damien Burggraeve, Planner

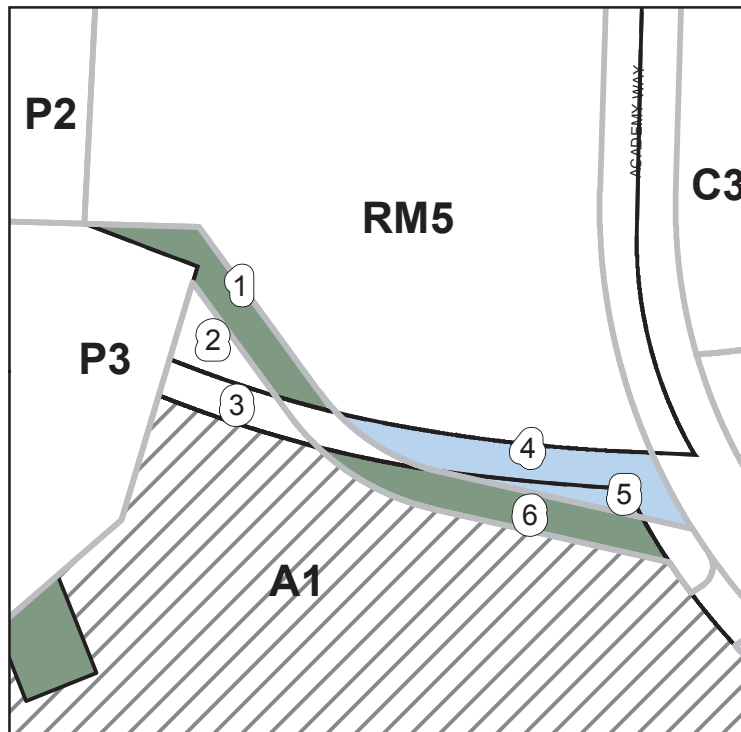
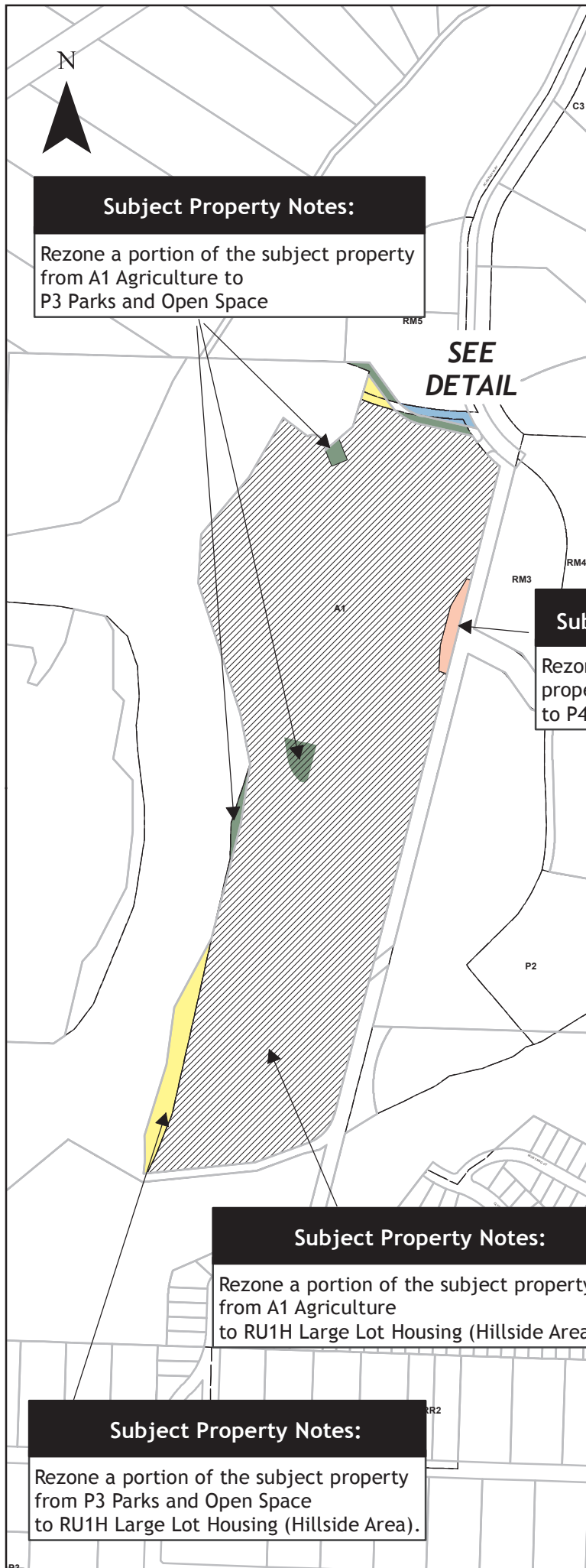
Approved for Inclusion: ☐ Todd Cashin, Community Planning

### Attachments:

Subject Property Map  
Map A - Proposed Zoning  
Schedule A - Subdivision Layout  
Schedule B - Development Engineering Requirements  
Schedule C - Glenmore-Ellison Improvement District Requirements  
Schedule D - Public Consultation



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.



#### DETAIL LEGEND

1. RM5 Medium Density Multiple Family to P3 Park and Open Space
2. RM5 Medium Density Multiple Family to RU1h Large Lot Housing - Hillside
3. P3 Park and Open Space to RU1h Large Lot Housing - Hillside
4. P3 Park and Open Space to RM5 Medium Density Multiple Family
5. A1 Agriculture to RM5 Medium Density Multiple Family
6. A1 Agriculture to P3 Park and Open Space

### MAP "A" PROPOSED ZONING File Z15-0006

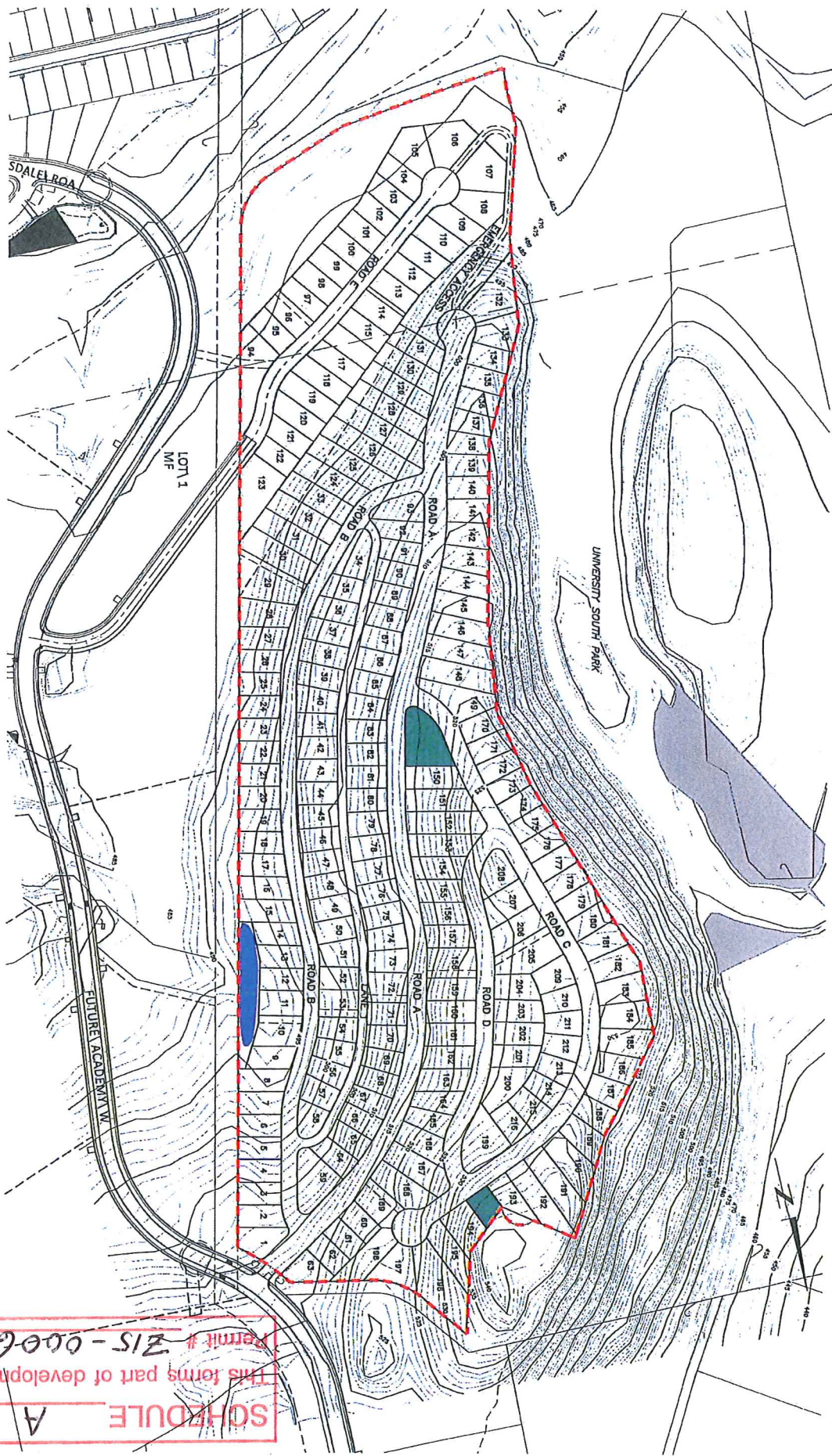
This map is for general information only.  
The City of Kelowna does not guarantee its  
accuracy. All information should be verified.

0 50 100  
Metres



Rev. Wednesday, September 02, 2015





Site Plan  
Lot Layout NTS

# University Heights



**SCHEDULE A**  
This forms part of development  
Permit # Z15-0006



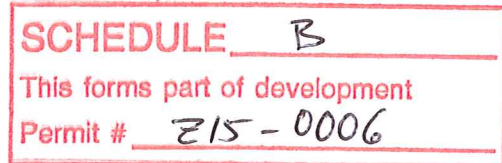
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## CITY OF KELOWNA

# MEMORANDUM

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**Date:** March 16, 2015  
**File No.:** Z15-0006  
**To:** Planning & Development Services (DB)  
**From:** Development Engineering Manager (SM)  
**Subject:** South of Academy Way – Lot C, Plan EPP33993, sec. 3, Twp.23, ODYD



---

**These are The Development Engineering Branch comments and they may be subject to the MOT comments and requirements.**

The Development Services Branch comments and requirements regarding this application to rezone the subject property from A1 to RU1 are as follows:

1. General.

- a) Provide easements and Right of Ways as may be required.
- b) The property cannot be further developed until the extension of Academy Way/Clydesdale Road to Hollywood Road connection has been completed. It is recommended that a covenant to that effect be registered on the subject property until such connection is completed and that all the services have been brought to the property line.

2. Geotechnical Study.

A comprehensive Geotechnical Study is required, which is to be prepared by a Professional Engineer competent in the field of geotechnical engineering, the study is to address the following:

- Overall site suitability for the proposed development.
- Slope analysis (i.e. 0-10 %, 10-20 %, 20-30% and over 30 %).
- Presence of ground water and/or springs.
- Presence of fill areas.
- Presence of swelling clays.
- Presence of sulfates.
- Potential site erosion.
- Provide specific requirements for footings and foundation construction.
- Provide specific construction design sections for roads and utilities over and above the City's current construction standards

.../2



3. Domestic water and fire protection.

- a) This development is located within the service area of the Glenmore-Ellison Improvement District (GEID). The developer is required to make satisfactory arrangements with the GEID to obtain a connection. All charges for service connection and upgrading costs are to be paid directly to the GEID.
- b) Provide an adequately sized domestic water and fire protection system complete with individual lot connections. The water system must be capable of supplying domestic and fire flow demands for the project in accordance with the Subdivision, Development & Servicing Bylaw. Provide water calculations for this subdivision to confirm this. Ensure every building site is located at an elevation that ensures water pressure is within the bylaw pressure limits. Note: Private pumps are not acceptable for addressing marginal pressure.

4. Sanitary Sewer.

- a) The subject property is not currently serviced by the Municipal Wastewater Collection System. The developer is in the process of constructing the wastewater main as a condition of a previous rezoning application under file Z13-0030. The drawings for the wastewater extension have been approved by the City

5. Drainage.

- a) The developer has provided an overall Storm Water Management Plan for the entire parent parcel of land and the storm drainage infrastructure is being constructed as condition of previous applications on the parent parcel. The overall Storm Water Management Plan sets the maximum storm release rate for the subject property and the development of the property will require a Storm Water Management Plan that will respect the maximum release rates.

6. Power and Telecommunication Services.

The services to this development are to be installed underground. It is the developer's responsibility to make a servicing application to the respective utility companies. The utility companies are then required to obtain the city's approval before commencing their works.

7. Street lights.

Street lights must be installed on all fronting roads as per bylaw requirements. Design drawings to include level of illumination plan.

.../3

8. Road improvements.

- a) The offsite road construction within the parent parcel of land is being constructed based upon drawings approved by the City under file Z13-0030.
- b) The connection from Academy Way to the South, through Clydesdale Road to Hollywood Road is a requirement that has been identified from the onset of the UBCO South lands development. The connection to Hollywood Road must be completed prior to fourth reading of the zone amending Bylaw; alternately a Covenant, under Section 219, must be registered on the subject property until the connection has been completed.

9. Design and Construction

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings or reports and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.

.../4

- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

11. Other Engineering Comments

If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) the developer is to obtain the approval of the utility prior to adoption of the rezoning Bylaw. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

12. Bonding and Levies Summary.

a) Performance Bonding

All the offsite performance securities have been provided under previous development files

---

Steve Muenz, P. Eng.  
Development Engineering Manager

B<sup>2</sup>





**Glenmore-Ellison Improvement District**

445 Glenmore Road  
Kelowna, BC V1V 1Z6

Email: [glenmore.ellison@shaw.ca](mailto:glenmore.ellison@shaw.ca)

Website: [www.glenmoreellison.com](http://www.glenmoreellison.com)

Fax: 250-763-5688

Phone: 250-763-6506

February 25, 2015

City of Kelowna  
Community Planning & Real Estate  
Land Use Management Dept.  
1435 Water St.  
Kelowna, BC V1Y 1J4

**SCHEDULE C**  
This forms part of development  
Permit # Z15-0006

**Attention:** Damien Burggraave (via email: [dchampion@kelowna.ca](mailto:dchampion@kelowna.ca))

**Re:** Lot C, Plan EPP33993 – S of Academy Way  
**File:** Rezoning Application Z15-0006 DVP14-0049

Glenmore-Ellison Improvement District (GEID) has received a referral under application Z15-0006 for the rezoning of Lot C, Plan EPP33993 from A1 to RUIH. The property is assessed by GEID with 54.610 acres of "D" grade (dry land).

GEID, Watermark Developments and CTQ Consultants have been in discussions concerning the continuing build-out of this area known as University Village. Both parties are aware that the subject development will exceed GEID's capability of supplying water without further construction to GEID's water system. This construction will include pump station, transmission mains and expansion to the UBCO reservoir, with all costs the responsibility of the developer.

GEID normally expects to issue a water letter at subdivision of a property indicating that all conditions for the development have been met. When GEID receives a referral for the subdivision, GEID will review the file to ensure that the developer has committed to all construction works including those mentioned above.

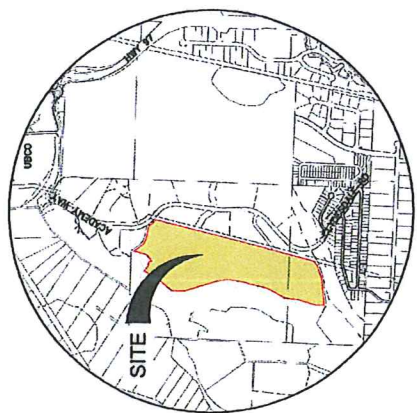
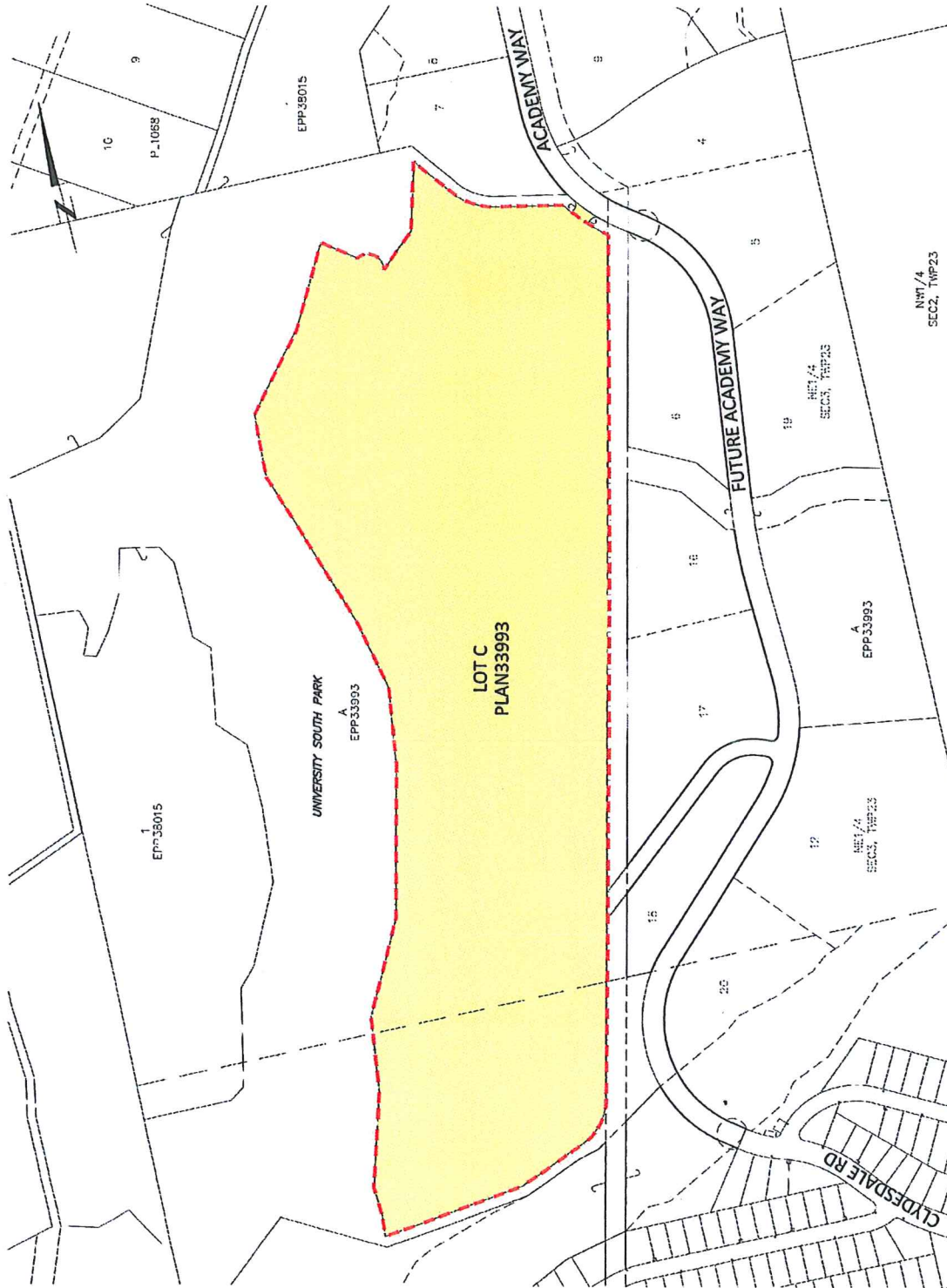
GEID has no further comments with regard to this rezoning application. If you have any questions on this matter, please do not hesitate to contact me at (250) 763-6506.

Sincerely,

**GLENMORE-ELLISON IMPROVEMENT DISTRICT**

Darwyn Kutney, R.E.T., CRM  
General Manager

cc: Robert Bennett, Beaumont Realty Corp. (via email: [bb3@shaw.ca](mailto:bb3@shaw.ca))  
John Hertay, Watermark Development (via email: [johnhertay@highlinerealty.com](mailto:johnhertay@highlinerealty.com))  
Matt Cameron, CTQ Consultants Ltd. (via email: [mcameron@ctqconsultants.ca](mailto:mcameron@ctqconsultants.ca))  
Antonio Faccini, GEID Consulting Engineer (via email: [antonio.faccini@afcltd.ca](mailto:antonio.faccini@afcltd.ca))  
Mike Rojem, GEID Projects Coordinator



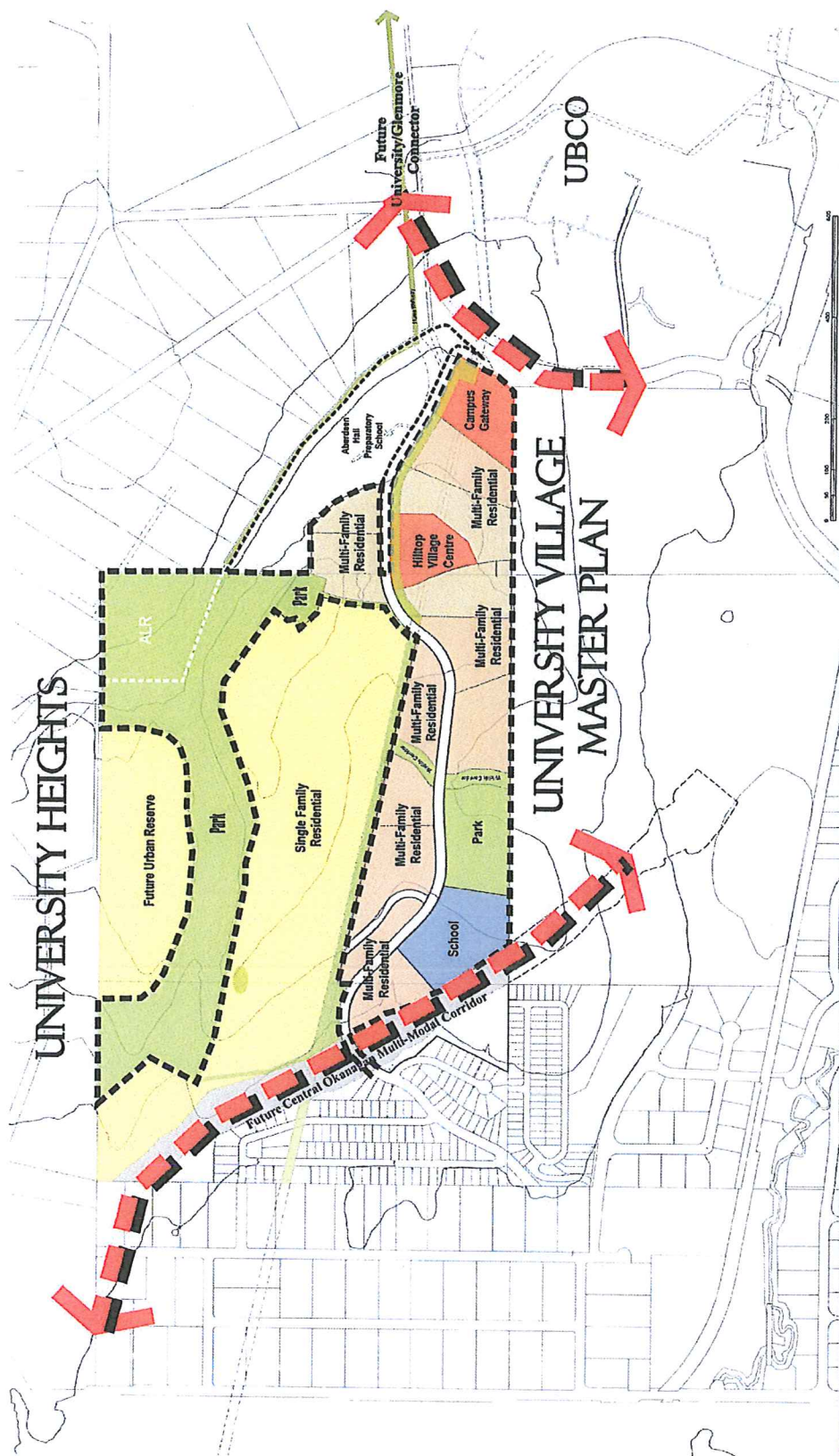
LEGAL DESCRIPTION:  
 LOT C, PLAN 33993, SEC. 3, TWP. 23, O.D.Y.D.  
 SOUTH OF ACADEMY WAY  
 CURRENT ZONE - A1  
 PROPOSED ZONE - RUTH

**SCHEDULE D**  
 This forms part of development  
 Permit # **Z15-0006**

# Re zoning Plan <sup>NTS</sup> University Heights





UNIVERSITY SOUTH  
DEVELOPMENT PLAN

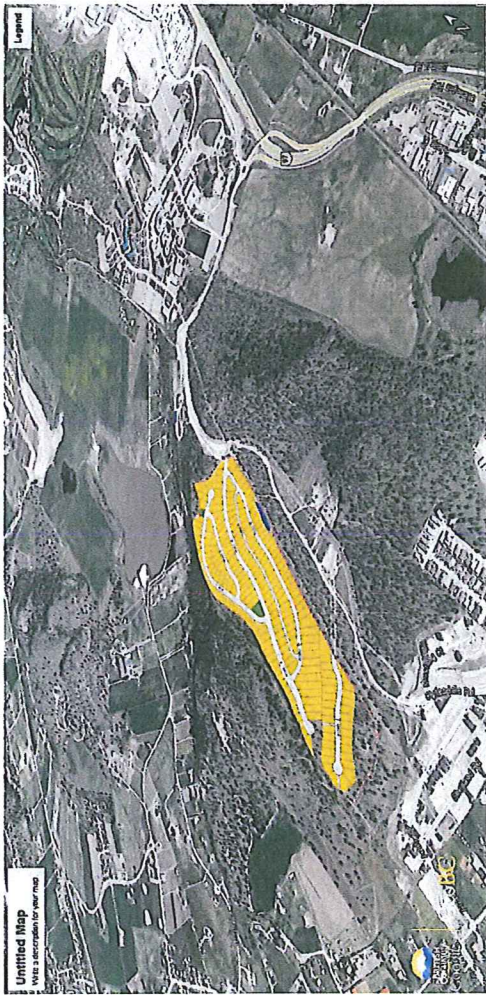
# PROPOSED LAND USE



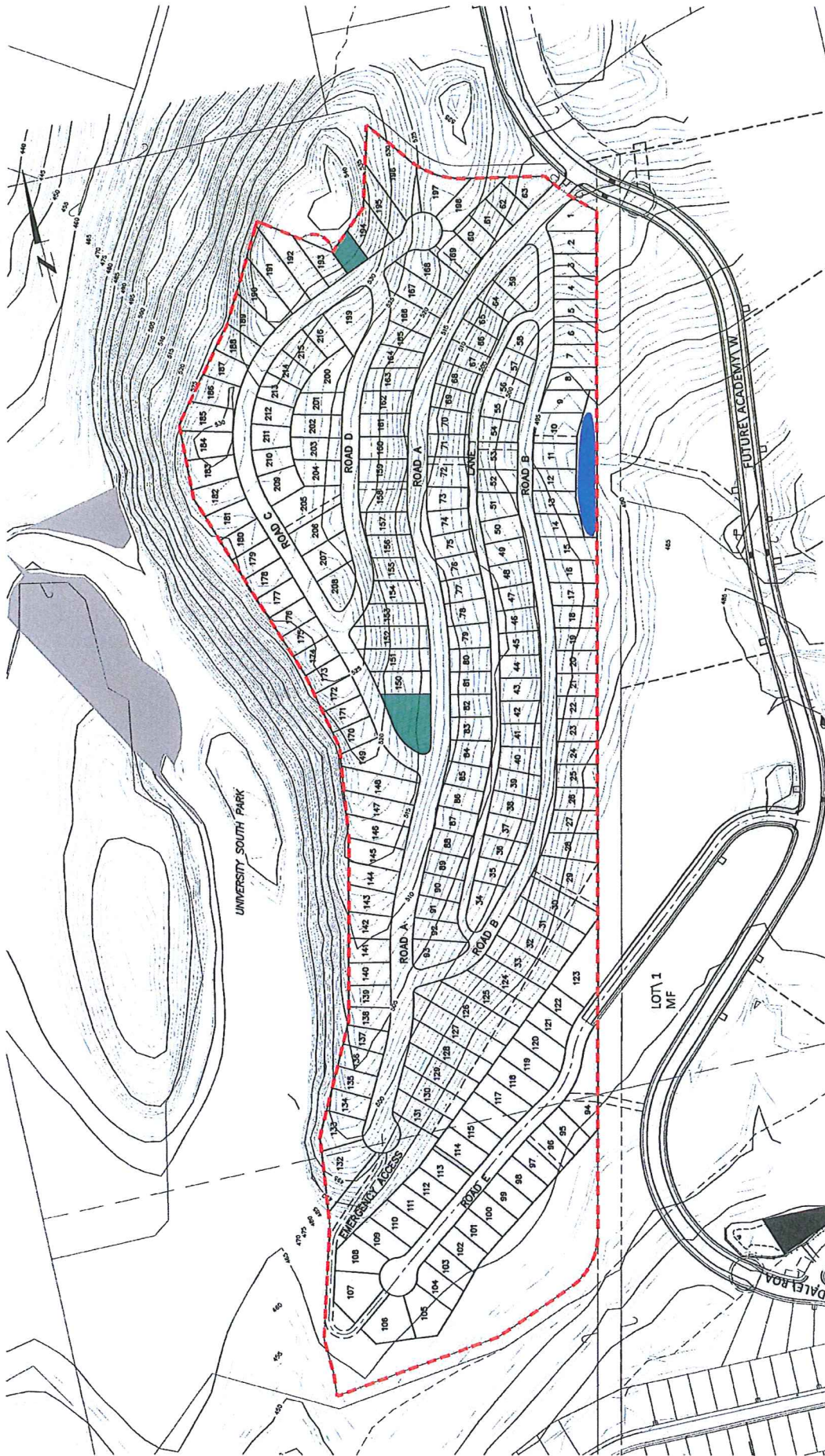
CTQ





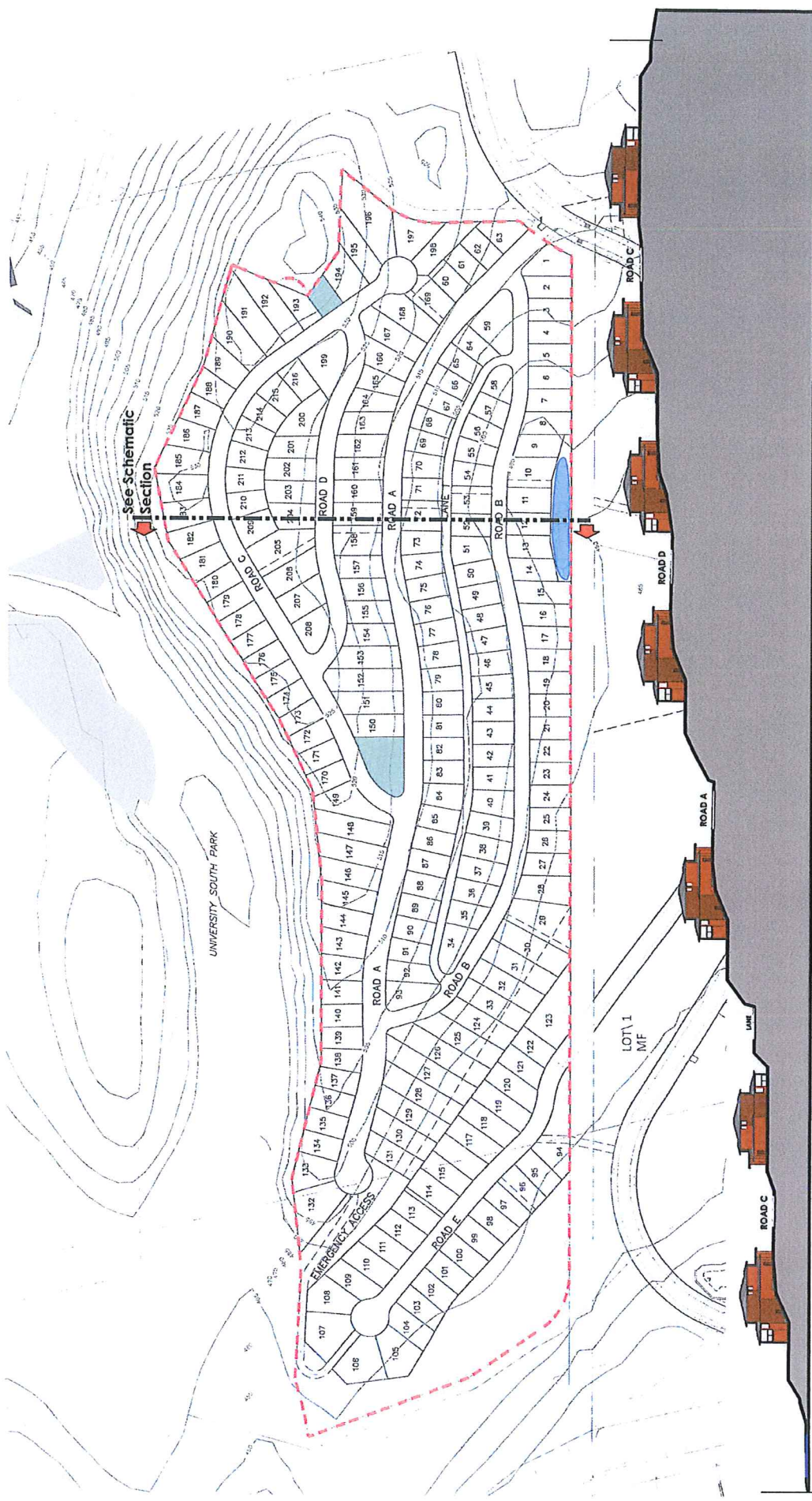






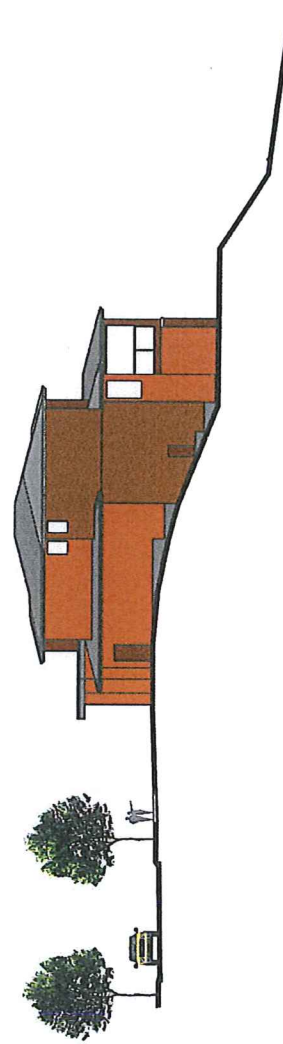
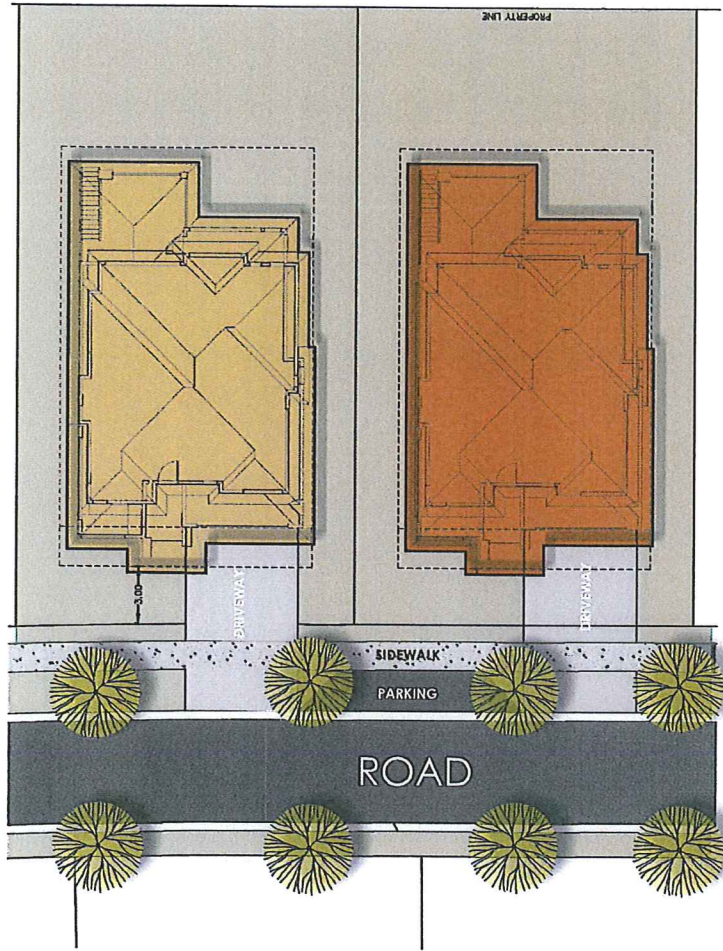
# Site Plan Lot Layout NTS





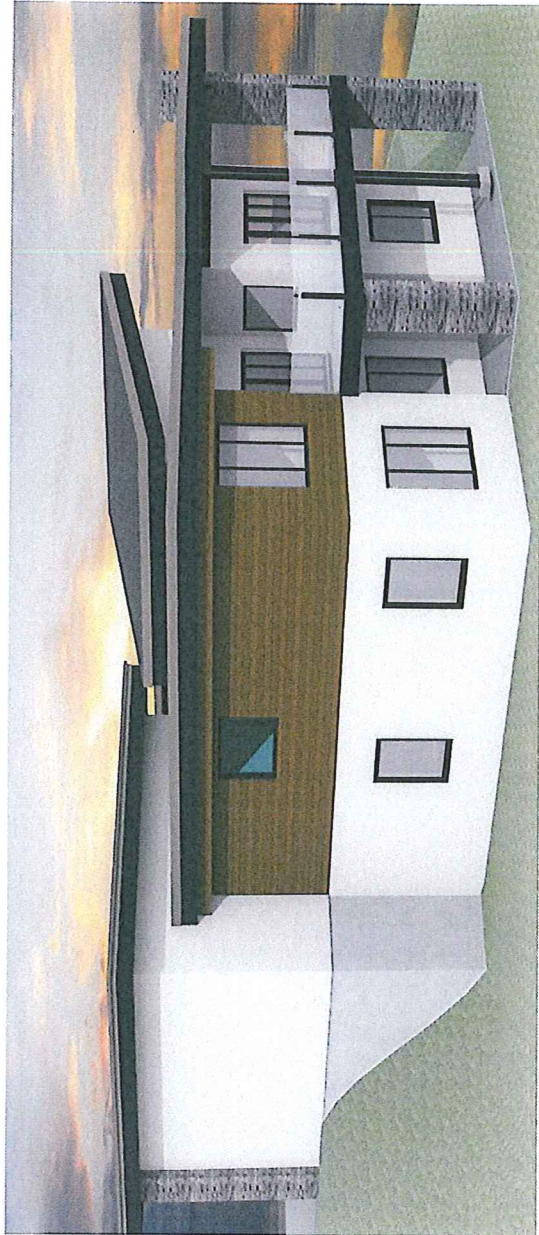
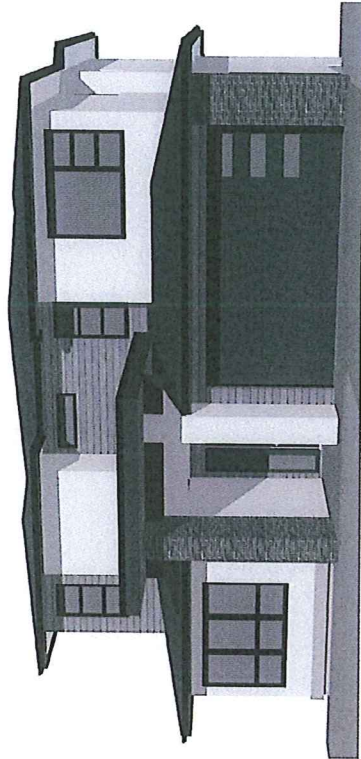
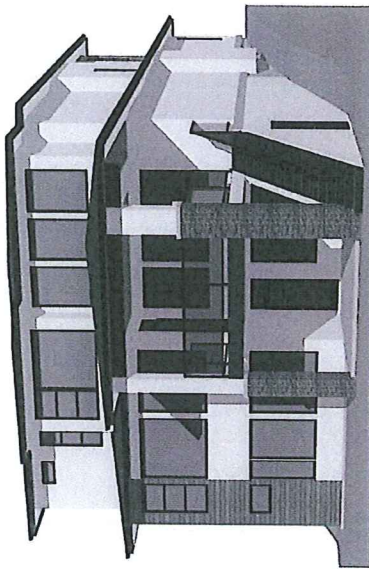
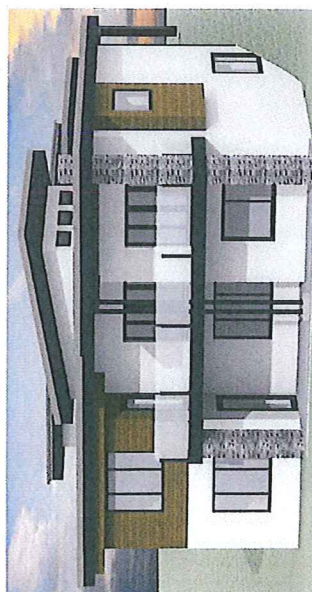
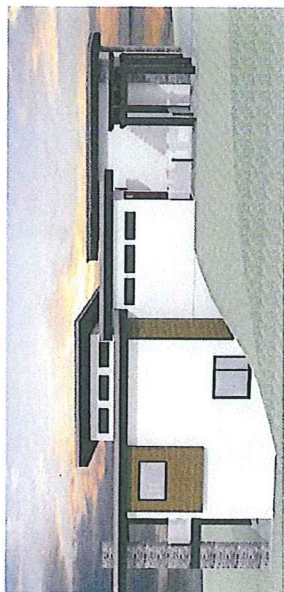
Schematic  
Section NTS

# University Heights



# Lot Site Plan and Section <sup>NTS</sup> University Heights





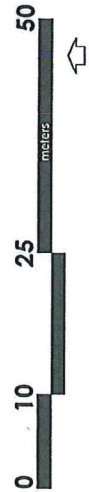
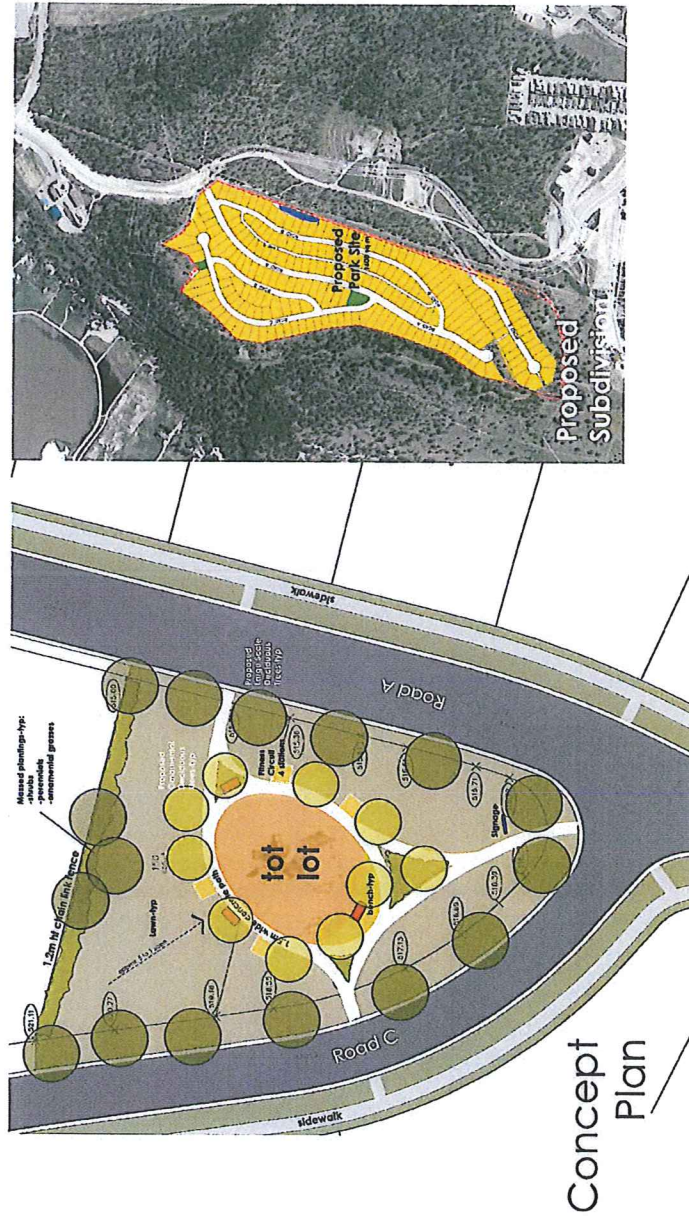
Residential

Character Images

# University Heights







# Proposed Neighbourhood Park University Heights

**CITY OF KELOWNA**  
**BYLAW NO. 11143**  
**Z15-0006 - Watermark Development Ltd. Inc. No. BC0642787**  
**and City of Kelowna**  
**(S OF) Academy Way**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of Lot C, Section 3, Township 23, ODYD, Plan EPP33993 "see plan as to limited access", located on Academy Way, Kelowna, B.C., from the A1 - Agriculture 1 zone to the RU1h - Large Lot Housing (Hillside Area) zone, from the A1 - Agriculture 1 zone to the P3 - Parks and Open Space zone, from the A1 - Agriculture 1 zone to the P4 - Utilities zone, from the RM5 - Medium Density Multiple Housing zone to the RU1h - Large Lot Housing (Hillside Area) zone and from the P3 - Parks and Open Space zone to the RU1h - Large Lot Housing (Hillside Area) zone as per Map "A" attached to and forming part of this bylaw.
2. AND THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of Lot 1, Sections 3 and 10, Township 23, ODYD, Plan EPP45918, located on Academy Way, Kelowna, B.C., from the P3 - Parks and Open Space zone to the RM5 - Medium Density Multiple Housing zone and from the A1 - Agriculture 1 zone to the RM5 - Medium Density Multiple Housing zone as per Map "A" attached to and forming part of this bylaw.
3. AND THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of Lot A, Section 3, Township 23, ODYD, Plan EPP33993 "see plan as to limited access", located on Academy Way, Kelowna, B.C., from the RM5 - Medium Density Multiple Housing zone to the P3 - Parks and Open Space zone and from the A1 - Agriculture 1 zone to the P3 - Parks and Open Space zone as per Map "A" attached to and forming part of this bylaw.
4. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act

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(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

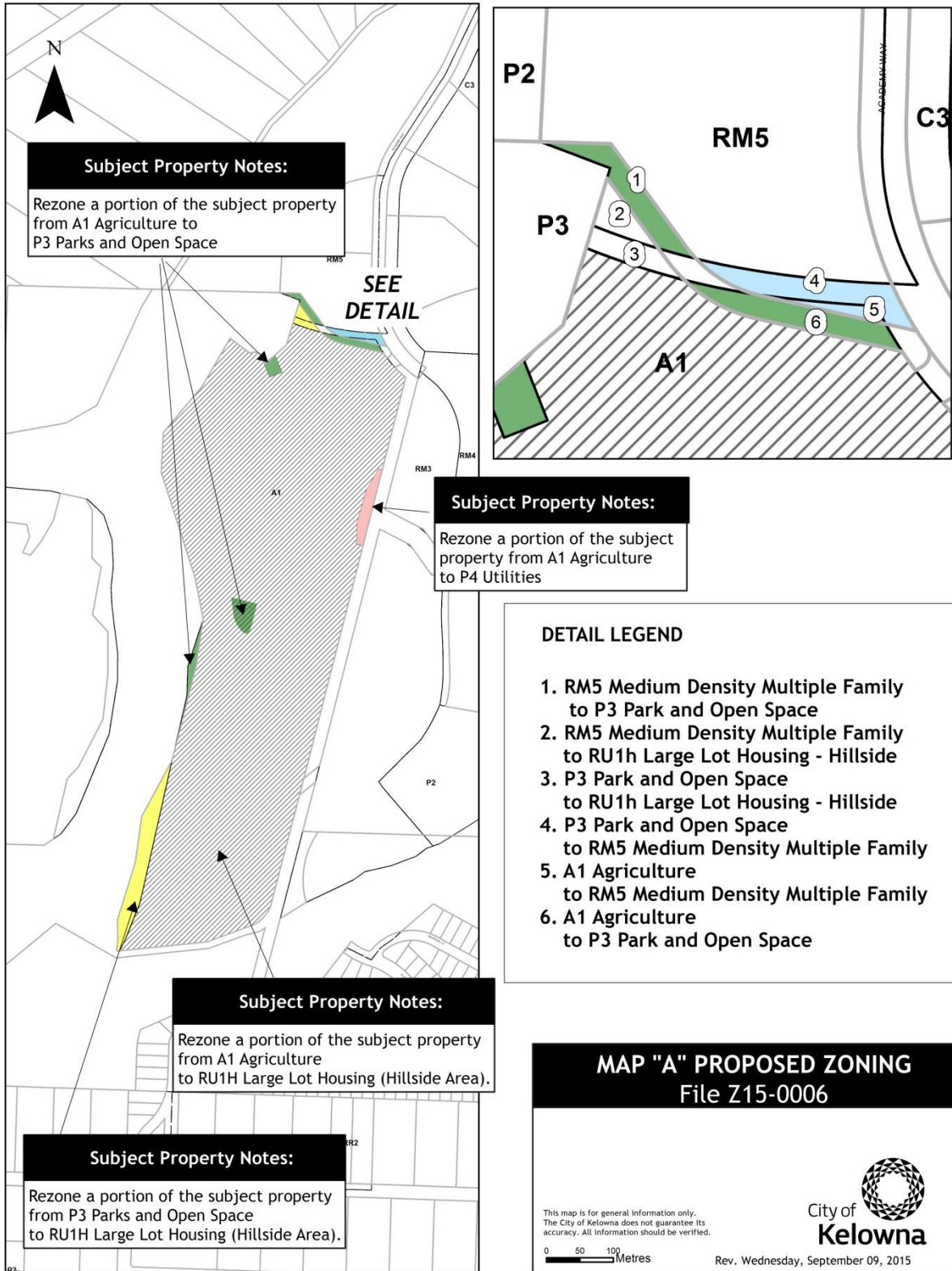
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Mayor

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City Clerk





# REPORT TO COUNCIL



**Date:** September 14, 2015

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning (TY)

**Application:** OCP14-0010 & Z14-0020      **Owner:** Melcor Lakeside Inc.

**Address:** 1225 Lund Road      **Applicant:** Andrew Bruce (Melcor Developments Ltd.)

**Subject:** Official Community Plan and Rezoning Bylaw Rescindment

**Existing OCP Designation:** S2RES - Single / Two Unit Residential

**Proposed OCP Designation:** MRL - Multiple Unit Residential (Low Density)

**Existing Zone:** RU1 - Large Lot Housing

**Proposed Zone:** RM3 - Low Density Multiple Housing

---

## 1.0 Recommendation

THAT Council receives, for information, the Report from the Community Planning Department dated September 14, 2015 with respect to Official Community Plan Application No. OCP14-0010 for the property located at Lot 47, Section18, Township 27, ODYD, Plan KAP82430, located at 1225 Lund Road, Kelowna, BC;

AND THAT Council receives, for information, the Report from the Community Planning Department dated September 14, 2015 with respect to Rezoning Application No. Z14-0020 for the property located at Lot 47, Section18, Township 27, ODYD, Plan KAP82430, located at 1225 Lund Road, Kelowna, BC;

AND THAT Bylaw Nos. 10992 & 10993 be forwarded for rescindment consideration and the files be closed.

## 2.0 Purpose

To rescind all three readings given to Official Community Plan Bylaw No. 10992 and rezoning Bylaw No. 10993 and direct Staff to close the files.

### 3.0 Community Planning

The applicant has spent the last year marketing the lot at 1225 Lund Road with no success. The applicant will not be going forward with the Official Community Plan and Rezoning applications, and has now made application for a two lot subdivision to facilitate a two lot single family dwelling.

**Report prepared by:**

\_\_\_\_\_  
Tracey Yuzik, Planner

**Reviewed By:**

☐

Lindsey Ganczar, Planning Supervisor

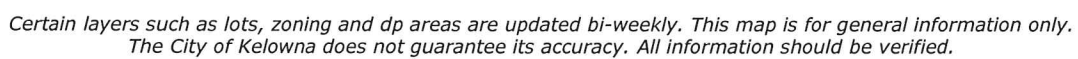
**Approved for Inclusion:**

☐

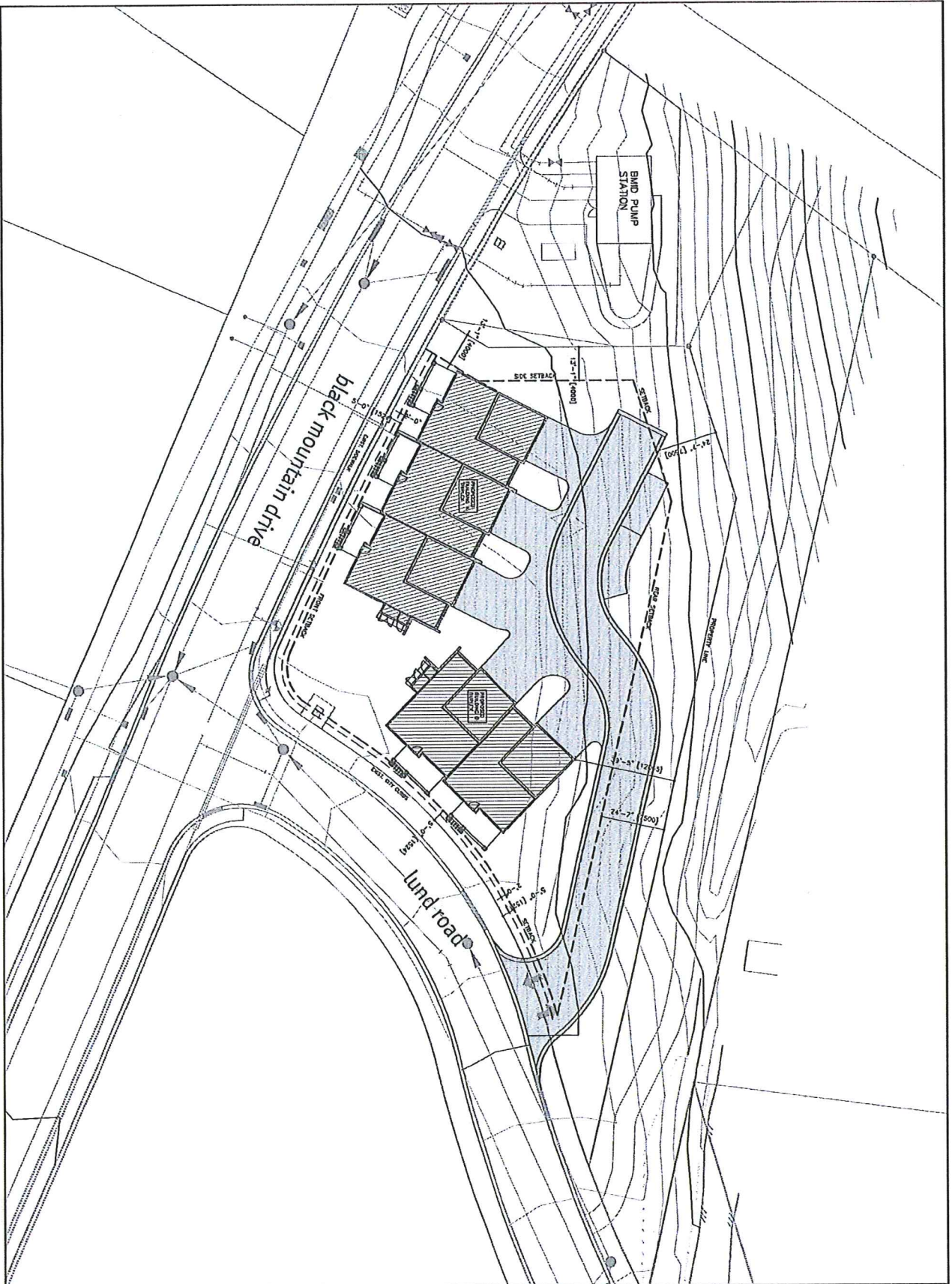
Todd Cashin, Suburban and Rural Planning Manager

**Attachments:**

Site Plan







**Project Title**  
BLACK MOUNTAIN  
5 UNIT  
TOWNHOUSES  
1225 LUND ROAD ELEVING

**Overall**  
SITE PLAN

scale: 1/16"=1'-0"

**A2.01**

DATE: 2014-04-23  
BY: [signature]  
CHECKED: [signature]  
APPROVED: [signature]

**MELCOR**  
2014-04-23  
issued for DP

**w+m**  
MEIKLEJOHN ARCHITECTS INC.

211 JEFFERSON AVE.  
SUITE 200  
NASHVILLE, TN 37203  
TEL: 615.259.2343  
FAX: 615.259.2344  
WWW.W+MAA.COM

# CITY OF KELOWNA

## BYLAW NO. 10992

### Official Community Plan Amendment No. OCP14-0010 Melcor Lakeside Inc., Inc.No. A0065181 1225 Lund Road

---

A bylaw to amend the "*Kelowna 2030* - Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* - Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of Lot 47, Section 18, Township 27, ODYD, Plan KAP82430, located on 1225 Lund Road, Kelowna, B.C., from the S2RES - Single / Two Unit Residential designation to the MRL - Multiple Unit Residential (Low Density) designation;
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 11<sup>th</sup> day of August, 2014.

Considered at a Public Hearing on the 26<sup>th</sup> day of August, 2014.

Read a second and third time by the Municipal Council this 26<sup>th</sup> day of August, 2014.

Rescinded by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 10993**  
**Z14-0020 - Melcor Lakeside Inc., Inc.No. A0065181**  
**1225 Lund Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 47, Section 18, Township 27, ODYD, Plan KAP82430 located on 1225 Lund Road, Kelowna, B.C., from the RU1 - Large Lot Housing zone to the RM3 - Low Density Multiple Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 11<sup>th</sup> day of August, 2014.

Considered at a Public Hearing on the 26<sup>th</sup> day of August, 2014.

Read a second and third time by the Municipal Council this 26<sup>th</sup> day of August, 2014.

Approved under the Transportation Act

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(Approving Officer-Ministry of Transportation)

Rescinded by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# CITY OF KELOWNA

## BYLAW NO. 10940

### Official Community Plan Amendment No. OCP14-0007 Surinder Gosal and City of Kelowna 1924 Henkel Road and part of Henkel Road Closure Area

---

A bylaw to amend the "*Kelowna 2030* - Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* - Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of part of Lot A, Section 4, Township 23, ODYD, Plan 34105, Except Plan KAP61643, located on 1924 Henkel Road, Kelowna, B.C., from the REP - Resource Protection Area designation to the S2RES - Single Two Unit Residential designation and part of Henkel Road Closure Area from the EDINST - Education/Major Institutional Area designation to the S2RES - Single Two Unit Residential designation, as per Map "A" attached to and forming part of this bylaw.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 31<sup>st</sup> day of March, 2014.

Considered at a Public Hearing on the 15<sup>th</sup> day of April, 2014.

Read a second and third time by the Municipal Council this 15<sup>th</sup> day of April, 2014.

Adopted by the Municipal Council of the City of Kelowna this

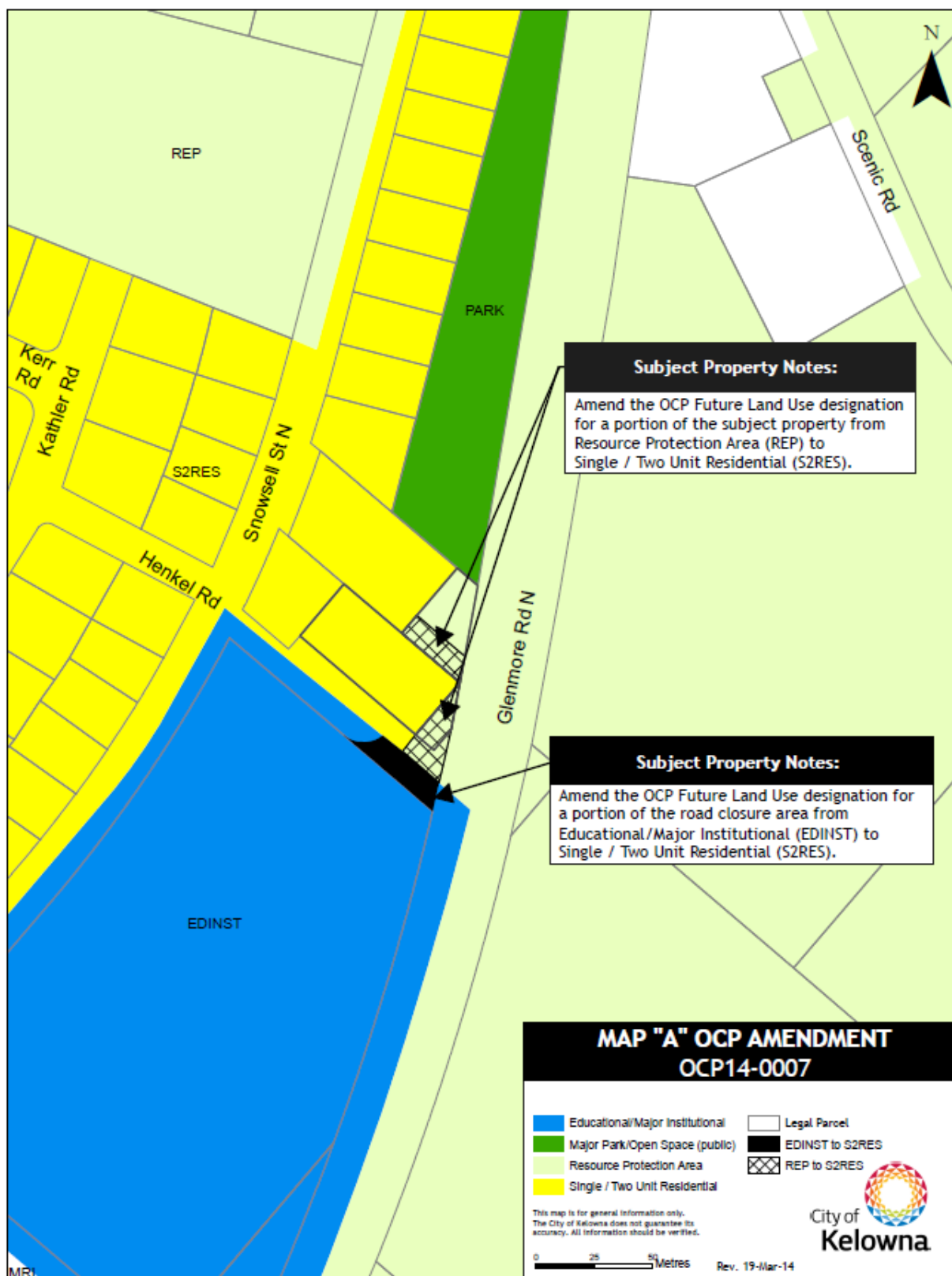
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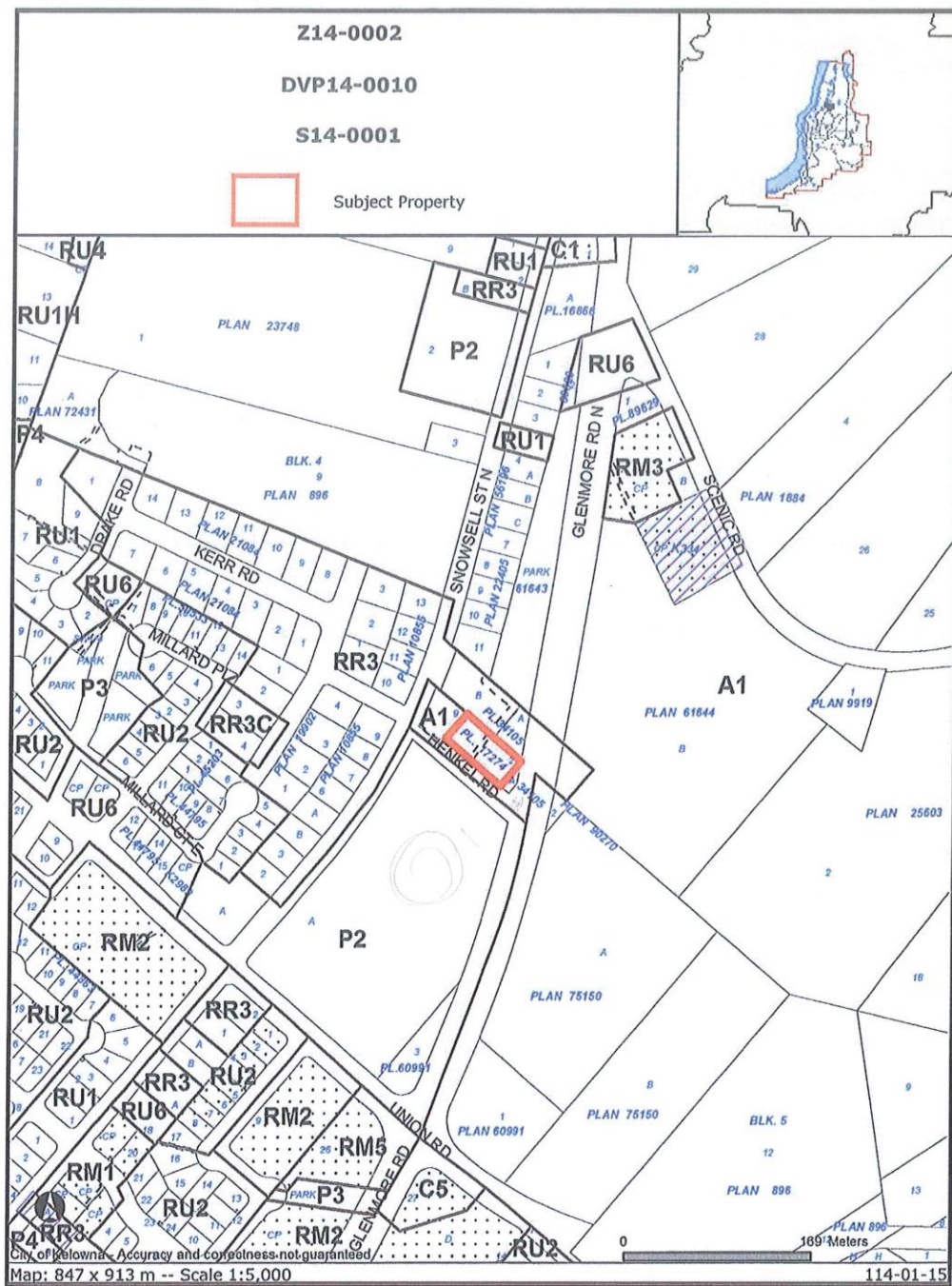
Mayor

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City Clerk







*Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.*

# **CITY OF KELOWNA**

## **BYLAW NO. 10941**

### **Z14-0002 - Surinder Gosal and City of Kelowna 1908 Henkel Road, 1924 Henkel Road and part of Henkel Road Closure**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of part of Lot A, Section 4, Township 23, ODYD, Plan 34105, Except Plan KAP61643 located on 1924 Henkel Road, Kelowna, B.C. and Lot 2, Section 4, Township 23, ODYD, Plan 17274, Located at 1908 Henkel Road, Kelowna, B.C., from the RR3 - Rural Residential 3 zone to the RU2 - Medium Lot Housing zone, and part of the Henkel Road Closure Area from the P2 - Educational and Minor Institutional zone to the RU2 - Medium Lot Housing zone, as per Map "B" attached to and forming part of this bylaw.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 31<sup>st</sup> day of March, 2014.

Considered at a Public Hearing on the 15<sup>th</sup> of April, 2014.

Read a second and third time by the Municipal Council this 15<sup>th</sup> of April, 2014.

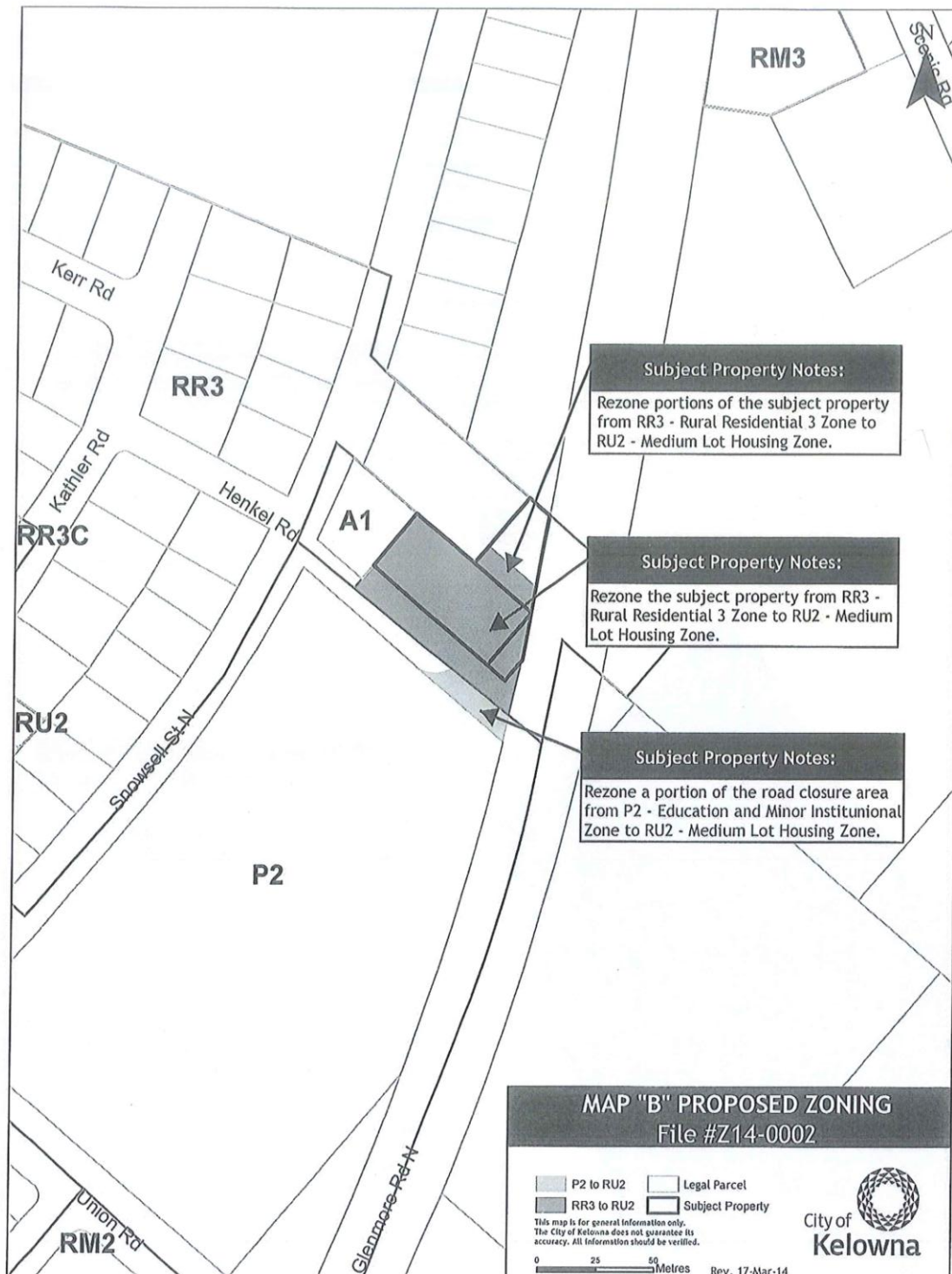
Adopted by the Municipal Council of the City of Kelowna this

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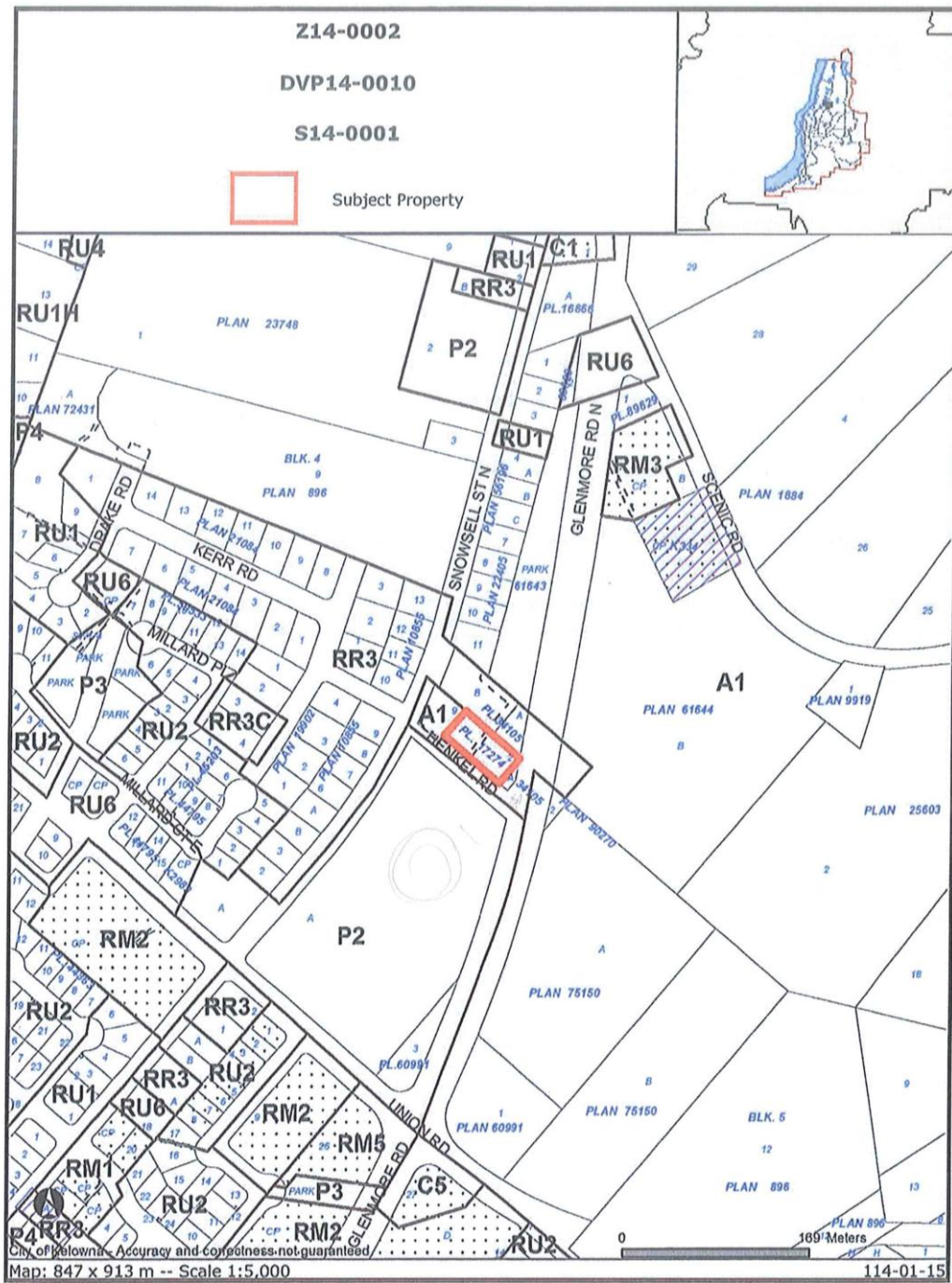
Mayor

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City Clerk







Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.

# CITY OF KELOWNA

## BYLAW NO. 11072

### Official Community Plan Amendment No. OCP15-0003 - Vincent and Pamela Blaskovich 4975 Buckhaven Court

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A bylaw to amend the "*Kelowna 2030* - Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* - Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of portions of Lot A, Sections 20 and 29, Township 29, SDYD, Plan KAP44335, Except Plans KAP92565, EPP23066 and EPP31364, located on Buckhaven Court, Kelowna, B.C., from the MRC - Multiple Unit Residential - Cluster Housing designation to the PARK - Major Park/Open Space designation, the PSU - Public Services/Utilities designation and the S2RES - Single/Two Unit Residential designation, from the S2RES - Single/Two Unit Residential designation to the PARK - Major Park/Open Space designation and the PSU - Public Services/Utilities designation and from the S2RESH - Single/Two Unit Residential - Hillside designation to the PARK - Major Park/Open Space designation and S2RES - Single/Two Unit Residential designation as per Map "A" attached to and forming part of this bylaw;
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 30<sup>th</sup> day of March, 2015.

Considered at a Public Hearing on the 14<sup>th</sup> day of April, 2015.

Read a second and third time by the Municipal Council this 14<sup>th</sup> day of April, 2015.

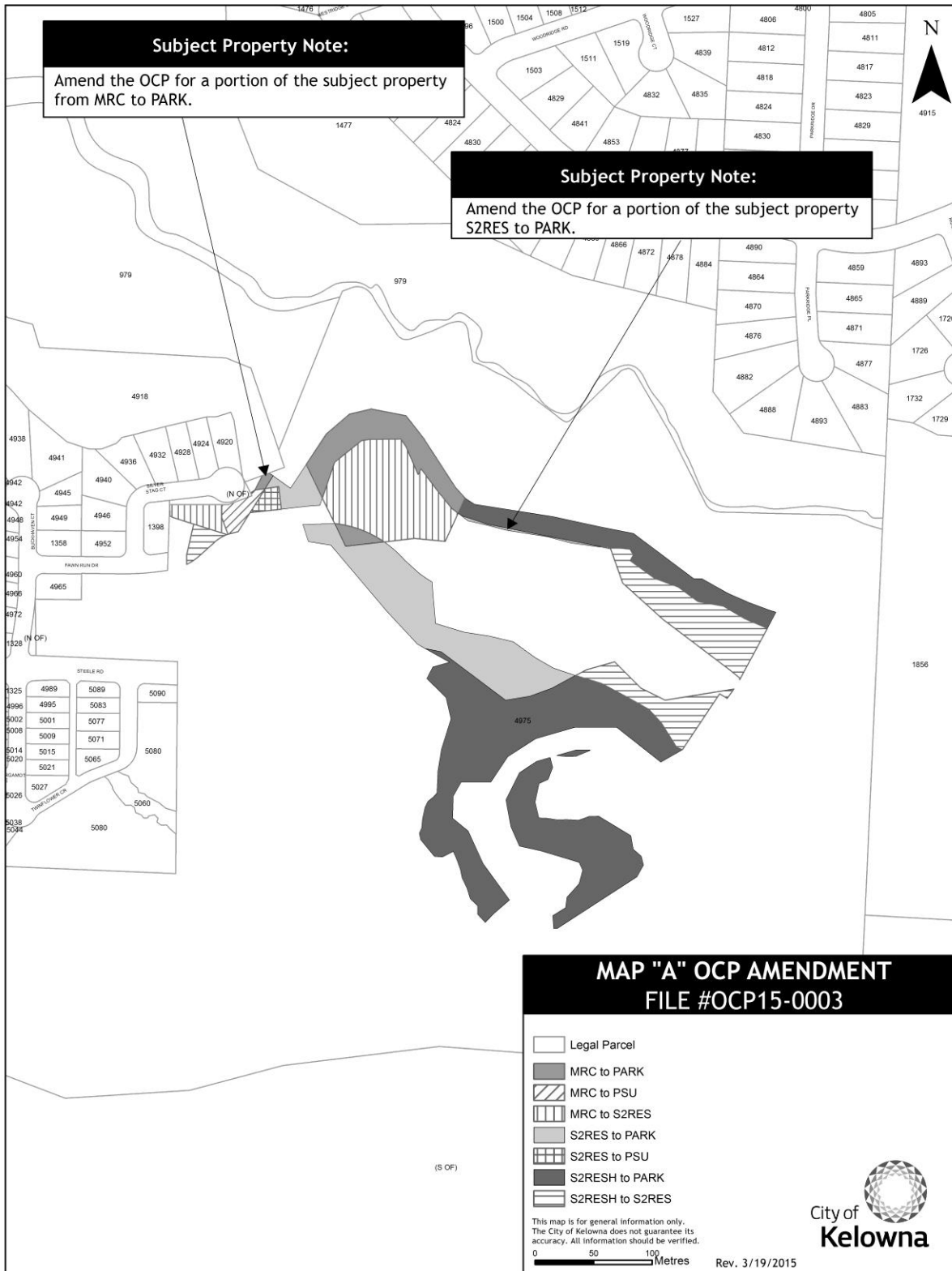
Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk



**CITY OF KELOWNA**  
**BYLAW NO. 11073**  
**Z14-0057 - Vincent and Pamela Blaskovich**  
**4975 Buckhaven Court**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of Lot A, Sections 20 and 29, Township 29, SDYD, Plan KAP44335, Except Plans KAP92565, EPP23066 and EPP31364, located on Buckhaven Court, Kelowna, B.C., from the A1 - Agriculture 1 zone to the P3 - Parks and Open Space zone, the P4 - Utilities zone and the RU1 - Large Lot Housing zone as per Map "B" attached to and forming part of this bylaw.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 30<sup>th</sup> day of March, 2015.

Considered at a Public Hearing on the 14<sup>th</sup> day of April, 2015.

Read a second and third time by the Municipal Council this 14<sup>th</sup> day of April, 2015.

Adopted by the Municipal Council of the City of Kelowna this

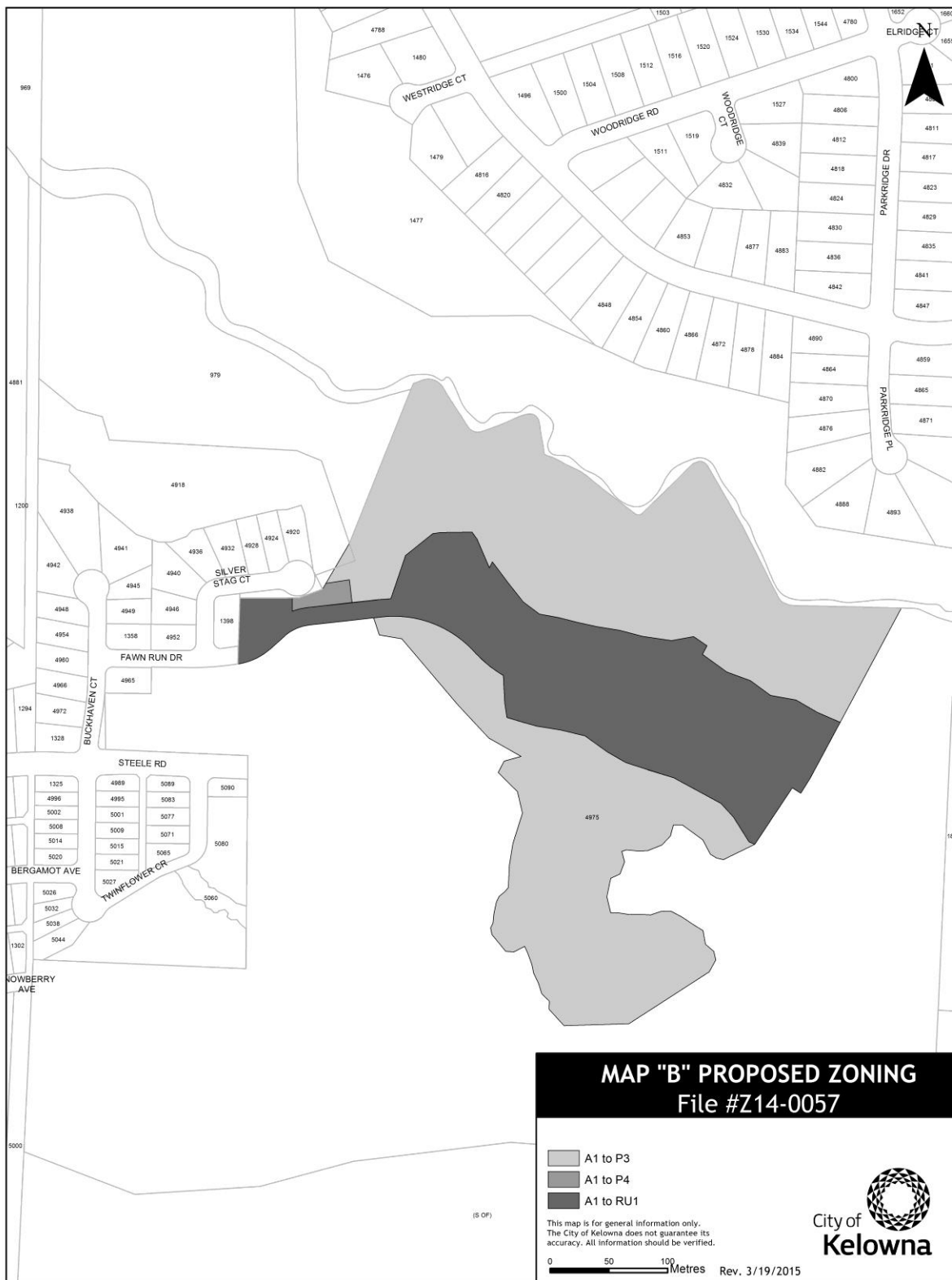
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Mayor

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City Clerk





**CITY OF KELOWNA**  
**BYLAW NO. 11126**  
**Z15-0029 - W-Ten Development Ltd., Inc. No. BC0720702**  
**1285 Graham Road**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 78, Section 22, Township 26, ODYD, Plan 19162 located on Graham Road, Kelowna, B.C., from the RU1 - Large Lot Housing zone to the RU6 - Two Dwelling Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 10<sup>th</sup> day of August, 2015.

Considered at a Public Hearing on the 25<sup>th</sup> day of August, 2015.

Read a second and third time by the Municipal Council this 25<sup>th</sup> day of August, 2015.

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# Report to Council



**Date:** August 24, 2015  
**File:** 0930-50  
**To:** City Manager  
**From:** Ryan Smith, Community Planning Department Manager  
**Subject:** Policy and Regulation relating to Night Club/Bar Closing Times

---

## **Recommendation:**

THAT Council receives, for information, the Report from the Community Planning Department Manager dated August 24, 2015 entitled "Policy and Regulation relating to the Night Club/Bar Closing Times";

AND THAT Council Policy No. 359, being Liquor Licensing Policy & Procedures, be revised as set out in Schedule "A" of the Report from the Community Planning Department Manager dated August 24, 2015.

## **Purpose:**

To amend Council Policy No. 359, Liquor Licensing Policy & Procedures, with regard to night club/bar closing times.

## **Background:**

During recent discussion between the "Standard" nightclub/bar operators industry group, the RCMP and City staff, the request was made for additional hours of operation

There have been two liquor licensing policy reviews in Kelowna over the last 12 years, the Mayors Entertaining District Task for - 2003 and the 2011 Liquor Policy Review. Both presented similar findings with regard to late closings and the expansion of downtown nightclubs. The following summarize key findings of both of those policy documents.

### **Mayors Entertainment District Task Force 2003**

The Mayor's Entertainment Task Force review in 2003 was the City's most comprehensive liquor policy review to date. It studied many aspects of the liquor and late night

entertainment industry in Kelowna. The following are several excerpts from that report which were foundational in the City's approach to late night liquor service.

*There is clearly a desire by the nightclub owners and some members of the community to extend the actual hours of liquor service as well. The City of Nanaimo, recently prepared a Liquor Control Strategy. The problems facing the City of Nanaimo parallel those found in Kelowna. They were concerned about recent changes to the liquor legislation and the impact the changes would have on the downtown core. In particular, the City of Nanaimo also has a problem with a concentration of nightclubs in one area of the downtown, creating problems with rowdiness and vandalism. They are also concerned about livability issues. As part of the City of Nanaimo's strategy, Consultant Allan Neilson-Welch conducted extensive research regarding the issue of "extending hours". In Nanaimo, as in Kelowna, the RCMP expressed concern about extending the hours of liquor service and made these observations:*

- *The mass exodus that presently occurs at 2:00 a.m. on weekends would simply be deferred until 4:00 a.m.*
- *The requirement for police to be on-hand in significant numbers would wreak havoc on RCMP scheduling which, in turn, would result in significant overtime costs.*
- *The binge drinking that occurs at 1:45 a.m. could just as easily occur at 3:45 a.m.*
- *The risks to the community resulting from a change in hours are not warranted in order to satisfy the demand of a very small portion of the population.*

*One of the key reasons behind the changes was the belief—shared by the BC government—that the extension of hours would, in itself, serve to reduce disorder on the streets by facilitating the dispersal of patrons over a longer period of time. Research uncovered no evidence to support this theory. Indeed, the only evidence that was found suggests that the extension of hours tends to exacerbate the degree of public disorder."*

Ultimately, the MEDTF passed the following recommendation as part of their final report:

***The Task Force does not support the extension of hours within the City of Kelowna at this time, although the focus of concern is the "yellow area" of the Downtown Plan.*** (The "Yellow Zone" refers to a 3 block stretch of Lawrence and Leon Avenues)

\*Note: The MEDTF also recommended a full hour of dispersal/cool down time whereas nightclubs typically only provided 1/2hr for patron dispersal/cool down. This was tested by several nightclubs but did not catch up because of the additional costs on the business owners related to longer opening without the ability to generate revenue.

### **Liquor Policy Review 2011**



The 2011 Liquor Policy Review echoed many of the findings of the 2003 review. While the review did not support later hours of liquor service, it echoed previous recommendations for extended “cool down/dispersal” periods as part of a larger strategy. The review also reinforced the need for a local industry association focused on maintaining a high standard of compliance to bar/nightclub best operating practices.

While the “cool down/dispersal” period has never been permanently integrated into the operating practices of the local bars/nightclubs, an industry group called “The Standard” regularly meets with the RCMP, LCLB and City staff to discuss and resolve issues.

## **Discussion**

The downtown nightclubs are represented by an industry group known as the “Standard”. This group began regular meetings with the RCMP in early 2014. City of Kelowna planning staff began receiving regular invitations later in 2014 and have since been able to provide additional policy background and research to these meetings. The group has developed a “Good Neighbor Agreement” and Code of Conduct for downtown nightclubs.

The “Standard” has asked that the RCMP, LCLB and City consider support a permanent change to the hours of operation for the downtown nightclubs to 2:30am. Staff does not support a permanent extension of downtown nightclub hours to 2:30am. This extension would be contradictory to the findings and recommendations of the City’s past liquor policy reviews. Staff has reviewed current research and cannot find any new information to show that previous liquor policy review recommendations are incorrect or invalid today. Staff are also concerned that a permanent extension to operating hours would trigger additional policy costs and workload burden that the RCMP are not currently equipped to handle. Furthermore, in the context of the vision communicated by the Downtown Plan and Official Community Plan for a vibrant, mixed use downtown late bar openings may trigger future conflicts over noise in close proximity to future residential condo development. Staff would prefer to take a more cautious approach (as detailed below) that would provide some support for later openings, while not allowing them outright.

At the present time, Council policy allows for each downtown nightclub to apply for 3 late closings (3am) per year (temporary license change), with an additional late closing granted for New Years eve celebrations. Staff would be willing to consider the expansion of this model to allow an additional 3 late closings (until 4am) in a performance model for those who maintain safe and compliant operations in the opinion of the RCMP and Liquor Control and Licensing Branch. This model also requires that nightclubs pay the additional policing costs of the late closing - a cost neutral model for the City/RCMP. Staff would monitor the success of this model through regular meetings with the RCMP, The Standard and LCLB. Nightclubs/bars that abuse the privilege of the late close or trigger concerns for the RCMP would lose half their late closings on the first concern and the remainder with any subsequent issues. The Standard has expressed a desire for additional late openings; however, the Liquor Control and Licensing Branch reports that this is not possible as their regulations limit the maximum number of temporary license changes in a calendar year to 6 (+ New Years Eve).

A “soft close” model was supported in the past liquor policy reviews. This was tested but many of the businesses using the model found that it increased their operating costs while providing little benefit. Staff would be open to working with nightclub/bar owners, to revisit this if it was felt there would be benefits to the dispersal of patrons from liquor primary establishments downtown.

**Internal Circulation:**

RCMP

While originally supportive of an additional, 1.5hrs of liquor service, the RCMP formulated this position without the benefit of considering past policy work on the topic. Since additional review with staff, this position has been re-considered and the RCMP no longer supports the additional 1/2hr of liquor service.

The RCMP would be willing to support an expansion of the temporary late opening model provided that nightclubs remain responsible for the payment of the additional policing costs.

**Legal/Statutory Authority:**

BC Liquor Control and Licensing Act

**Legal/Statutory Procedural Requirements:**

**Existing Policy:**

Council Policy 359 - Liquor Licensing Policy and Procedures

**Financial/Budgetary Considerations:**

No budget impact provided that nightclubs remain responsible for the additional costs of the late closings.

**External Agency/Public Comments:**

Liquor Control and Licensing Branch (LCLB:

A maximum of 6 temporary license changes is permitted in a calendar year.

**Considerations not applicable to this report:**

Communications Comments:

Alternate Recommendation:

Personnel Implications:

Submitted by:

R.Smith, Community Planning Manager

Approved for inclusion:



Doug Gilchrist

Divisional Director of Community Planning and Real Estate

cc: Nick Romanchuck (Kelowna RCMP)  
Doug Huffsmith (Liquor Control and Licensing Branch - Kelowna)  
David Habib (The Standard/Liquid Zoo)



City of Kelowna  
1435 Water Street  
Kelowna, BC V1Y 1J4  
250 469-8500  
kelowna.ca

# Council Policy

## Liquor Licensing Policy & Procedures

APPROVED February 21, 2011

RESOLUTION: R170/11/02/21  
REPLACING: Council Policy No. 315  
DATE OF LAST REVIEW: August 2015

### A. BACKGROUND

The Provincial Liquor Control and Licensing Branch (LCLB) regulates the licensing of all liquor establishments and the retail sale of alcohol in British Columbia. City of Kelowna Municipal Council is referred on a number of these applications, including Liquor Primary applications, and other license endorsements. Local government comment is a key component of the LCLB's licensing decisions.

Council recognizes the importance of public entertainment venues, including liquor establishments, as a component of all vibrant cities. Managing the priorities of all community stakeholders is a delicate balance. As part of Council's on-going interest in establishing vibrant, livable Urban Centres, a 2003 report from the Mayor's Entertainment District Task Force was endorsed, relating to liquor licensing policy. The relevant policy from this 2003 report was adopted in former Council Policy #315 – "Liquor Licensing Procedures Liquor Primary (lp) and Retail Liquor Sales (rls)". At Council's request, a new review was completed by City staff in 2010. This new policy summarizes the pertinent policies endorsed in the Liquor Policy Review (2010), and is intended to guide future liquor license applications – including Provincial referral requests and rezoning applications on a City-wide basis.

### B. LIQUOR PRIMARY (LP) ESTABLISHMENTS

In consideration of new, expanded or relocated Liquor Primary Establishments (cabarets/nightclubs, pubs, lounges), the following guidelines should be considered (see table below):

#### 1. Siting/Density Guidelines:

- a) No establishment with a person capacity greater than 500 persons should be permitted.
- b) Large establishments (with person capacity greater than 249 persons):
  - i) Should only be located within an Urban Centre.
  - ii) Should be located a minimum of 250m from another Large establishment.
  - iii) Should be located a minimum of 100m from a Medium establishment.
  - iv) Should not be located beside a Small establishment.
- c) Medium establishments (with person capacity between 100-249 persons):
  - i) Should only be located within an Urban or Village Centre.
  - ii) Should be located a minimum of 100m from a Large or Medium establishment.
  - iii) Should not be located beside a Small establishment.
- d) Small establishments (with person capacity less than 100 persons):
  - i) Should not be located beside another liquor primary establishment.

The above siting guidelines are summarized in the following table:

Establishment Type	Siting requirements from:			Location
	Small (<100 persons)	Medium (100-249 persons)	Large (250+ persons)	
Small (<100 persons)	Not beside.	Not beside	Not beside	City-wide
Medium (100-249 persons)	Not beside	Minimum 100m separation	Minimum 100m separation	Urban or Village Centre
Large (250+ persons)	Not beside	Minimum 100m separation	Minimum 250m separation	Only Urban Centre



For the purposes of determining proximity, shortest walking distance (door-to-door) will be applied. These distances are meant to guide staff in their recommendations for particular applications, however, a number of other factors should be considered, including (but not limited to):

- a) Pertinent input from the RCMP;
- b) Vehicular and pedestrian traffic patterns for area and current zoning;
- c) Availability of on-site and off-site parking; proximity of playgrounds, schools, and other social facilities;
- d) Surrounding land-uses, and general impact on the local neighbourhood;
- e) Correspondence received from abutting property owners;
- f) Past licensee compliance and performance issues as may be provided by the LCLB.

## **2. Other Policies:**

- a) New patios associated with liquor establishments should be located and designed to limit potential impacts on surrounding property owners.
- b) Where appropriate, support alternative entertainment options, and/or establishments which are less focused on alcohol consumption (including event-driven establishments, and Food Primary establishments with the Patron Participation Entertainment Endorsement) to add a mix of entertainment options in Urban Centres. Consider limiting potential community impacts via license terms and conditions (hours, capacity, etc)

## **C. RETAIL LIQUOR SALES (RLS)**

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The following considerations should be made for the location of liquor stores/retail liquor sales (RLS):

- a) Continue to require new or relocated RLS establishments to apply for a rezoning application to allow for "Retail Liquor Sales" in applicable zones.
- b) No Retail Liquor Sales shall be approved for (in conjunction with) Liquor Primary Establishments with person capacity that exceed 150 persons.
- c) Any new or relocated Retail Liquor Sales establishment shall not be located within 300 m of an existing Liquor Primary establishment with a person capacity greater than 350 persons.

## **D. NEW LICENSES AND PERMANENT LICENSE CHANGES**

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Permanent License Changes requiring local government comment (new, expanded or amended Liquor Primary licenses, Food Primary licenses operating later than midnight, Patron Participation Entertainment endorsement, winery lounge/special event area endorsements, etc):

### **1. Application & Submission Requirements:**

- a) Applicants are encouraged to conduct a pre-application meeting with the Community Planning Department to discuss application process and submission requirements.
- b) Applicant must submit a City of Kelowna Liquor License Application in order to receive Council resolution.
- c) Applicant must show proof of application to the LCLB prior to municipal consideration.
- d) If approval is required by the Agricultural Land Commission, this must be addressed prior to City application.
- e) Proof of consultation with pertinent Business Improvement Association, Industry Association, and/or Resident's Association is required.
- f) It is suggested that applicants consider hosting a neighbourhood information meeting to provide an informal opportunity to discuss and resolve any potential neighbourhood concerns with the proposal prior to Council consideration.
- g) Amendments to submission requirements are at the discretion of the Community Planning Manager (or designate).

### **2. Municipal Review Process:**

- a) Upon submission, staff will circulate the application to pertinent departments and agencies, prior to a staff report being presented to Council.
- b) Applications will be subject to a public meeting (or a Public Hearing where the application is being considered concurrently with a rezoning application). The applicant is responsible to the costs of advertising for the public meeting (see notification requirements below).
- c) The Community Planning Department shall make a recommendation to Municipal Council regarding the proposal. Council shall make its decision based on this recommendation as well as the information received at the Public Hearing or Public Meeting.

- d) The resolution from Municipal Council is then forwarded to the LCLB by the Community Planning Department for their final review.

### **3. Notification Requirements:**

- a) Notification requirements are as per Development Application Procedures Bylaw.
- b) The applicant will be required to place notification signage on the property at least ten days prior to the public meeting date. Signs are to be purchased at City Hall.
- c) Notification is sent to property owners within a distance of 100 metres in Urban Centres and 400 metres in all other areas. This notification is coordinated by the Office of the City Clerk.
- d) Newspaper advertisements must take place in a least two consecutive issues, with the last publication to appear not less than three and not more than ten days before the Public Hearing or Public Meeting. Municipal Staff shall be responsible for the placement of the notification with the appropriate papers.
- e) Public notification and newspaper advertisement shall be completed at the applicant's expense.

## **E. TEMPORARY LICENSE CHANGES**

Temporary license changes may be considered by the Community Planning Manager or designate. Temporary Changes will only be considered by Council should the applicant wish to appeal the decision of the Community Planning Manager.

Where appropriate, temporary changes are reviewed with the RCMP, Fire Department, Building and Permitting Department, and the local liquor inspector.

Staff may consider up to six temporary license changes per calendar year for Liquor Primary establishments that are members in good standing of the bar owners association known as "The Standard", including late closing requests. These requests will be considered on a case-by-case basis, and will be subject to additional policing costs being paid prior to the event (for example, 4:00am closings). Any establishment that generates concerns or complaints as a result of the use of temporary changes or through general operations of their establishment will have their temporary changes reduced to 3 for the first incident and 0 for any subsequent incidents at the discretion of the RCMP and Liquor Licensing Inspector.

## **F. SPECIAL OCCASION LICENSE**

The following considerations should be applied to Special Occasion License requests:

- a) SOL requests that require RCMP/Local Government consideration will be evaluated on a case-by-case basis.
- b) Review of SOL requests will include review of a number of factors, including (but not limited to) location, capacity, hours of operation, previous compliance, and impact on surrounding neighbours.
- c) SOL requests are intended to be for infrequent events, and are not to be used as a substitute for a permanent liquor license at a venue. Attention will be given to the number of SOL requests made in a given time period at one property.
- d) The RCMP have the authority to place additional restrictions on SOL's should they have public safety concerns associated with the event.
- e) No SOL's are to be granted where the proposed event is intended to cater to youth or where youth (under the age of 19) will be present.
- f) SOL licensees are to retain qualified private security personnel to monitor access to and from licensed events, where requested.
- g) All SOL events must respect the City of Kelowna Noise Bylaw.

### **REASON FOR POLICY**

To establish revised policy and procedures for processing liquor license applications.

### **LEGISLATIVE AUTHORITY**

Liquor Control & Licensing Act

### **PROCEDURE FOR IMPLEMENTATION**

As outlined in the Liquor Policy Review Final Report.

# Report to Council



**Date:** September 14, 2015  
**File:** 0135-01  
**To:** City Manager  
**From:** Sandra Kochan, Cultural Services Manager  
**Subject:** 2015 Creative City Summit and Culture Days

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## **Recommendation:**

THAT COUNCIL receives for information the report of the Cultural Services Manager dated September 14, 2015 regarding the 2015 Creative City Summit and Culture Days.

## **Purpose:**

To provide an update regarding the 2015 Creative City Summit in Kelowna, and annual Culture Days activities.

## **Background:**

### **2015 Creative City Summit October 27-29**

The Creative City Summit is an initiative of the [Creative City Network of Canada](#), a national community of practice for cultural development professionals. Over 100 Canadian municipalities are members of the Network, and the work of these members impacts over 16 million Canadians. The City of Kelowna has been a member of the Network since its launch in 2002.

The City of Kelowna was awarded hosting of the 2015 Summit through a competitive bidding process. As host community, Kelowna is primarily responsible for the Welcome Reception, local Study Tours and artistic animation throughout the event.

Summit program highlights are provided with this report. Organizers expect over 150 delegates to attend. The primary venue is the Delta Grand Okanagan.

The Summit showcases the community through a number of features:

- Welcome Reception - Rotary Centre for the Arts - Oct. 27 - performances, displays, hands on activities in resident artist studios, and a food and wine festival atmosphere.
- Seven different walking tours for delegates - Bernard Avenue, Abbott Street Heritage Conservation Area, Laurel Packinghouse, Outdoor Event Spaces, Active by Nature, Happy City Site Audit and North End.

- Local artists - will be performing at the Welcome Reception and participating in both the Public Art Pre-Conference sessions and local study tours. In addition, as a unique feature for the Kelowna Summit, a team of four local artists selected through the Okanagan Art Review ([www.okanaganartreview.com](http://www.okanaganartreview.com)) will have access to Summit sessions as 'embedded' reporters, generating opinions, commentary and ideas on what they hear, and engaging delegates through social media.
- Local tour guides and peer-to-peer presenters - community experts are assisting with study tours and providing presentations to delegates about their work.
- City staff expertise - staff from multiple departments are involved in study tours, the pre-conference, and peer-to-peer presentations.
- Extended stay - wine tour packages at a preferred rate have been offered to delegates to encourage them to extend their stay.
- Local favourites - City staff have, for the last four months, contributed to a list of 'staff picks' which will encourage delegates to explore more of Kelowna during their stay.

A noteworthy highlight for the 2015 Summit is a keynote address and workshop by Charles Montgomery, author of [\*Happy City: Transforming Our Lives Through Urban Design\*](#). The keynote address will be delivered at 5 p.m. on Thursday, October 29 at the Rotary Centre for the Arts, with a reception and book signing to follow. In a rare departure from the typical Summit format, the presentation will be open to both Summit delegates and public ticketholders. This is an opportunity to hear from a dynamic thinker who, through behavioural science research, human experience and urban history, offers up ideas and solutions for better cities and a happier population.

There are 160 tickets for the Charles Montgomery presentation available to the public at \$25 each through the Rotary Centre for the Arts box office or online at [www.selectyourtickets.com](http://www.selectyourtickets.com) starting September 14. A limited number of student tickets at \$15 are also available.

The ongoing assistance of Tourism Kelowna, and sponsorships from Urban Systems, CTQ Consultants and Outland Design for the Charles Montgomery presentation are gratefully acknowledged.

### **2015 Culture Days**

Culture Days was officially launched in 2010. Through an annual three-day national celebration on the last weekend in September, thousands of artists and cultural organizations in hundreds of cities and towns come together and invite Canadians to participate in free arts, culture and heritage activities.

National survey results from 2014 indicate that Culture Days is meeting its objective to build cultural awareness and participation:

- 70 per cent of attendees participated in an activity hosted by an organization they had not been involved with before; and
- 59 per cent attended more arts and cultural events in 2014 as a result of having attended Culture Days in 2013.



Kelowna has been actively involved in national Culture Days since 2011. Over the last four years, local participation in Culture Days has steadily increased. In 2014 there were 45 registered events and over 3,000 participants and attendees in Kelowna.

Anyone can create an activity, register it on the national website at [www.culturedays.ca](http://www.culturedays.ca), and invite the public to be part of a free, interactive experience. Each year, Cultural Services assists by encouraging individuals and organizations to host activities, providing resources to assist event organizers, and promoting Culture Days to the public. Caroline Ivey from Cultural Services also serves on the 14-member Culture Days Provincial Task Force. This year's 'I Heart Culture' promotions will include:

- Transit shelter posters
- Advertisements in local buses
- Handbills posted at multiple locations
- Printed Schedule-at-a-Glance for distribution through venues and organizers
- City website, social media and news releases
- Back page of Fall 2015 Active Living & Culture Activity Guide

Local events are still being added. A few highlights from this year's schedule are listed below. All of these events are free. More information is available at [www.culturedays.ca](http://www.culturedays.ca):

September 25 to 27:

- 'New Canadians Perspectives of Kelowna' photo exhibition at the Okanagan Regional Library, Kelowna Branch - unusual and new views about our community from new Canadians as seen through the camera lens.
- First Nations Art Exhibition, Rotary Centre for the Arts

Friday, September 25:

- City Staff Cultural Potluck Lunch
- Culture Days Launch, 4:30 to 5:30 p.m., Rotary Centre for the Arts
- Guided Cultural Crawls, 6 to 9 p.m. (also Saturday, 2 to 5 p.m.)
- Kelowna Art Gallery - Exhibition Opening and Artist Talk (Elizabeth D'Agostino) 7 to 9 p.m.

Saturday, September 26:

- Ki-Low-Na Friendship Centre - tipis, storytelling, films, dance and games on the Rotary Arts Common and at the Centre
- Nuit Blanche - French Cultural Centre - art screen projections, tour
- Moon Festival - Laurel Packinghouse 6 to 9 p.m. - stage performance, moon gazing and moon cakes and dumplings are all part of this annual celebration organized by the Okanagan Chinese Canadian Association

**Internal Circulation:**

Communications Advisor

**Existing Policy:**

Cultural Policy 274

**Considerations not applicable to this report:**

Legal/Statutory Authority

Legal/Statutory Procedural Requirements  
Financial/Budgetary Considerations  
Personnel Implications  
External Agency/Public Comments  
Communications Comments  
Alternate Recommendation

Submitted by:  
S. Kochan, Cultural Services Manager

**Approved for inclusion:** J. Gabriel, Division Director, Active Living & Culture

cc:  
Communications Advisor



Photo Credits, City of Kelowna and Tourism Kelowna

## Let's Cultivate Culture! Nurture, Grow, Celebrate Culture in Your Community

The 2015 Creative City Summit will be held at the Delta Grand Okanagan from **October 27th to 29th, 2015.**

Join us in Kelowna for this year's Summit that will highlight the different stages of cultural development in communities across Canada. Learn from inspirational speakers and nurture new ideas while networking with your peers.

### 10 reasons for YOU to attend!

- 1 **Only national conference of its kind** that focuses on municipalities and culture!
- 2 **Public Art programming** features diverse topics and engaging discussions beginning with a dynamic, pre-conference round table.
- 3 Fresh and innovative ideas from **Canadian and International Speakers**: Jordan Coble, Simon Brault, Cath Brunner and Charles Montgomery.
- 4 **P2P Peer-to-Peer sessions** - Choose from topical and interactive sessions on Economic Development, Cultural Tourism, Community Engagement and more.
- 5 **Profile your municipality** by sharing your best practices and innovative initiatives with other delegates.
- 6 **Study Tours** - explore Kelowna's revitalized Bernard Avenue, Historic Laurel Packinghouse, Abbott Street Heritage Conservation Area and much more.
- 7 Discover **local chefs and winemakers** while exploring the Rotary Centre for the Arts at the Welcome Reception.
- 8 Meet the Creative City Network Board and Staff and learn about the **services and resources** we offer.
- 9 **Network with more than 150 delegates** from across the country. Come away feeling energized, engaged and connected!
- 10 Collect **ideas, resources and tools** to implement in your community. "It's a WIN-WIN for you and your community!"

*Did we mention the wine? There are 123 wineries in the Okanagan Valley ready to welcome you...*

**Creative City Network would like to thank the following for their generous support of the 2015 Creative City Summit in Kelowna**

Host Municipality



Host Venues



Sponsors



Funders



# Summit Program Highlights

## Keynote Speakers



Jordan Coble



Simon Brault



Cath Brunner



Charles Montgomery

**Jordan Coble**, Sncəwips Heritage Museum  
Westbank First Nation, BC

Jordan will provide a traditional welcome on behalf of the Westbank First Nation and the Okanagan/syilx Nation, to acknowledge the lands that we will be gathering on as the unceded territory of the syilx/Okanagan people. He will share the history of his people living with the land in this area and how the traditional ways of being are incorporated into a contemporary context.

**Simon Brault**

Canada Council for the Arts, Ottawa, ON  
*Engaging Citizens in the Arts: Think Global, Act Local*  
Nurturing culture and engaging local citizens creates communities worth celebrating. Start the Summit on an inspiring note with a keynote address from Simon Brault, and learn how you can impact and support your work as you make the case for cultivating culture in your community.

**Cath Brunner**

Public Art 4Culture, Seattle, WA  
*Beyond the Object: Art for Civic Sake*

In addition to the works they make, artists' thinking and unique perspectives bring extraordinary value to civic life. Cath Brunner asks how can we cultivate public art programs to ensure that artists are offered opportunity and adequate resources to influence public realm design and to address important issues of civic life?

**Charles Montgomery**, Happy City, Vancouver, BC  
*Happy City: Your City, Your Life*

Can the shape of your city affect how happy you are? Yes, says Charles Montgomery, who explores the intersection of urban design and the new science of happiness. In psychology, neuroscience, and behavioral economics, he finds the link between the ways we think about risk and reward and the ways we design our cities.



Bear, by Brower Hatcher, Stuart Park Photo: City of Kelowna

## Public Art Pre-Conference

**Tuesday, 1:00-5:00pm**

A panel discussion from three perspectives: the artist, the curator and the municipal planner. Join Crystal Przybille, artist; Sue Belton, Curator, UBC Okanagan Public Art Collection; and Patrick McCormick, Public Art Planner, City of Kelowna, to discuss how you can nurture, grow and celebrate public art in your community.

## Local Arts and Culture Study Tours

**Wednesday and Thursday afternoon**

Step out for our 100% walkable study tours exploring a revitalized Bernard Avenue, sipping the legacy of a century's worth of agricultural innovation, visiting key outdoor event spaces, being part of a Happy City Neighbourhood Audit and much more!

## Evening Keynote and Reception

**Thursday, 5:00-7:00pm, Rotary Centre for the Arts**

We are thrilled to be presenting award-winning author and urban experimentalist Charles Montgomery as a part of our Summit. This public presentation will be followed by a Happy City Reception.

*Your delegate registration reserves a seat for you!*





## Make the P2P Connection

Through Peer-to-Peer presentations, the Summit will take a behind the scenes look at how people work with and within local governments, and explore how to cultivate culture in their communities.

### 16 P2P Presentations

#### Economic Development & Cultural Tourism

##### *Small: Adaptive Reuse of Canada's Rural Communities*

Philip Evans, ERA Architects, Toronto, ON

##### *Making a Case for Culture: The Power of Data*

Carly Frey, Nordicity, Vancouver, BC

##### *Unleashing Yukon's Potential: Making the case for strengthening cultural tourism*

Inga Petri, Strategic Moves, Ottawa, ON

##### *Pop-Up Places – Temporary Culture Hubs*

Dauna Kennedy-Grant, Cleo Corbett and Tannis Nelson, Vernon Public Art Gallery, Vernon, BC and Teresa Byrne, City of Calgary, AB

#### Cultural Planning & Mapping

##### *Cultivating a Creative Ecology from the Artists' Perspective: Evidence from Saskatoon*

Mary Blackstone, Sam Hage and Ian McWilliams,

The Saskatchewan Partnership for Arts Research, Saskatoon, SK

##### *No Budget? No Time? Build Beautiful and Effective Apps for Your City*

Jessey Chudiak, City of Kelowna, BC

##### *Developing Greater Vernon's Culture Plan: A Partnership Approach*

Tannis Nelson, Regional District of North Okanagan, BC

##### *Sustainable People Places*

Lynne Werker, Lynne Werker Architecture, Vancouver, BC

#### Public Art & Creative Placemaking

##### *The Dig Your Neighbourhood Project – A Presentation and Interactive Activity about a Community-Specific Art Project*

Nancy Holmes and Denise Kenney, UBC Okanagan, Kelowna, BC

##### *History and Innovation in Kingston: The Other Distillery District*

Colin Wiginton, City of Kingston, ON

##### *Citizen Led Placemaking: Making the Arts a Part of How We Talk to Our Neighbours*

Kate MacLennan, Halifax Regional Municipality, NS

##### *CityPlace: A New Toronto Neighbourhood*

Jane Perdue, City of Toronto, ON

#### Community Engagement & Capacity Building

##### *The Hoi Poloi of SWAC: Working Together to Create Cultural Identity*

Julia Trops, District of West Kelowna, BC and Tracy Satin, Westbank First Nation, BC

##### *Building Non-Profit Capacity with the Community Using a Lifecycle Approach*

Cherryl Masters, City of Vancouver, BC

##### *Cultivating Youth Engagement in the Arts*

Kent Gallie, City of Surrey, BC

##### *Happy City Neighbourhood Audit*

Charles Montgomery and Ali Grant, Happy City, Vancouver, BC

*This unique workshop opportunity will combine a P2P presentation and a study tour.*

How can ideas from the creative sector and cultural planning help shape better cities? Join Happy City's Charles Montgomery and Ali Grant for a fun, fast-paced audit of a key cultural site in Kelowna. Participants will be introduced to a new framework for incorporating human happiness into urban design and cultural planning. Then, together, we'll develop big ideas for this site in transition.

*\* This 4-hour workshop takes place on Wednesday afternoon.*

#### CCNC in Your Community: Shaping Impact



CCNC values your feedback and wants to hear what you have to say! We welcome back Inga Petri, of Strategic Moves, for an engaging interactive session that will create an opportunity

for participants to learn from each other, as well as identify opportunities to enhance the effectiveness of CCNC in their local communities!

# Schedule at a Glance

## TUESDAY, OCTOBER 27, 2015

### CREATIVE CITY SUMMIT PRE-CONFERENCE **Delta Grand Okanagan, 1310 Water Street**

12:00pm	Registration
1:00–5:00pm	Public Art Round Table

### CREATIVE CITY SUMMIT EVENING EVENT **Rotary Centre for the Arts, 421 Cawston Avenue**

6:30–7:00pm	Registration and New Delegate Orientation
7:00–9:00pm	Welcome Reception

## WEDNESDAY, OCTOBER 28, 2015 **Delta Grand Okanagan, 1310 Water Street**

7:30am	Registration and Continental Breakfast
8:30am	Welcome: CCNC & City of Kelowna
<b>8:45am</b>	<b>Welcome: Jordan Coble, Curatorial &amp; Heritage Researcher, Sncəwips Heritage Museum</b>
<b>9:15am</b>	<b>Keynote: Simon Brault, Director &amp; CEO, Canada Council for the Arts</b>
10:00am	Networking Break
10:30am	P2P Presentation Breakouts: Economic Development & Cultural Tourism; Cultural Planning & Mapping; Public Art & Creative Placemaking; Community Engagement & Capacity Building
<b>11:30am</b>	<b>Keynote: Cath Brunner, Director Public Art, 4Culture</b>
12:15pm	Lunch
1:15pm	P2P Presentation Breakouts: Economic Development & Cultural Tourism; Cultural Planning & Mapping; Public Art & Creative Placemaking; Community Engagement & Capacity Building
2:15pm	Networking Break
2:45–5:15pm	Local Arts and Culture Study Tours
5:15–6:00pm	Networking Lounge - Delta Grand Okanagan

## THURSDAY, OCTOBER 29, 2015 **Delta Grand Okanagan, 1310 Water Street**

8:00am	Registration and Continental Breakfast
8:30am	Creative City Network of Canada Annual General Meeting/Awards Program Launch
<b>9:15am</b>	<b>CCNC in Your Community Session - Inga Petri, Strategic Moves</b>
10:15am	Networking Break
10:45am	P2P Presentation Breakouts: Economic Development & Cultural Tourism; Cultural Planning & Mapping; Public Art & Creative Placemaking; Community Engagement & Capacity Building
11:45am	Public Art in Canada: A Year in Review
12:30pm	Lunch - 2016 Creative City Summit Sneak Peek
1:30pm	P2P Presentation Breakouts: Economic Development & Cultural Tourism; Cultural Planning & Mapping; Public Art & Creative Placemaking; Community Engagement & Capacity Building
2:30pm	Networking Break
2:45–5:00pm	Local Arts and Culture Study Tours
<b>5:00–6:00pm</b>	<b>Evening Keynote: Charles Montgomery, Author, Happy City - Rotary Centre for the Arts</b>
6:00–7:00pm	Happy City Reception to follow - Rotary Centre for the Arts

# CREATIVE CITY SUMMIT & CULTURE DAYS UPDATE

September 14, 2015





- ▶ 150+ delegates from across Canada
- ▶ 2.5 days of sessions
- ▶ Four keynote speakers
- ▶ 16 Peer-to-Peer presentations
- ▶ Seven Study Tours



## LOCAL STUDY TOURS

- ▶ All walkable
- ▶ Led by City staff and local experts
- ▶ Interactive elements
- ▶ Heritage, urban design and revitalization, wayfinding, outdoor events, cultural tourism

1. Bernard Avenue
2. Abbott Street
3. Laurel Packinghouse
4. Active by Nature
5. Outdoor Event Spaces
6. Fruit & Wine Industry
7. Happy City Site Audit

# KEYNOTE SPEAKERS

**Jordan  
Coble**



**Cath  
Brunner**



**Simon  
Brault**



**Charles  
Montgomery**



To register for the Summit:

- ▶ [www.creativecity.ca](http://www.creativecity.ca)
- ▶ Single day and student/artist rates are available

Tickets for Charles Montgomery:

- ▶ \$25/\$15 students
- ▶ in person at the RCA box office;
- ▶ 250-717-5304 x111; or
- ▶ [www.selectyourtickets.com](http://www.selectyourtickets.com)

# culture days



**CREATE, PARTICIPATE & SHARE**  
**September 25, 26, 27, 2015**



## ABOUT CULTURE DAYS

- ▶ Launched in 2010
- ▶ National annual celebration on the last weekend of September
- ▶ Hundreds of communities and thousands of artists and organizations
- ▶ Thousands of free activities and events
- ▶ [www.culturedays.ca](http://www.culturedays.ca)

## CULTURE DAYS VIDEO



## EVENT PARTICIPATION IN 2014

2 MILLION  
CANADIANS

ACROSS  
CANADA

7,643  
ACTIVITIES

900  
CITIES & TOWNS

89%



OF ATTENDEES SAY  
THAT **CULTURE DAYS** IS  
AN **IMPORTANT EVENT**  
IN THEIR COMMUNITY

**I ♥ CULTURE!**

- 2014 Culture Days in Kelowna:**
- 45 events
  - 3,000+ participants





7,500+ free activities  
900 cities & towns  
one weekend

culture days  
September 25, 26, 27, 2015

## TOP 4 REASONS TO ORGANIZE A CULTURE DAYS ACTIVITY



Develop new audiences



Do something you believe in



Receive support from a  
municipality/arts or community group



Be part of a positive experience

I ♥ CULTURE!

7,500+ free activities  
900 cities & towns  
one weekend

culture days  
September 25, 26, 27, 2015

## WHAT DO PAST ACTIVITY ORGANIZERS HAVE TO SAY ABOUT THEIR CULTURE DAYS EVENT?

88%



OF ALL ACTIVITY ORGANIZERS  
REPORT THEIR EVENT **WAS SUCCESSFUL**

80%



BELIEVE CULTURE DAYS IS HAVING  
AN IMPACT ON **INTEREST AND SUPPORT**  
**FOR THE ARTS** IN THE COMMUNITY

I ♥ CULTURE!



## MAIN REASONS FOR ATTENDING CULTURE DAYS ACTIVITIES



I WAS **CURIOUS**  
ABOUT THE ACTIVITY

I WANTED TO INTRODUCE OTHERS  
TO AN **ARTIST, ORGANIZATION**  
OR ACTIVITY THAT I ENJOY



I WANTED TO EXPERIENCE  
A **NEW AND UNFAMILIAR**  
ARTS OR CULTURE ACTIVITY

**98% WERE SATISFIED WITH**  
THEIR CULTURE DAYS EXPERIENCE

98%



I ♥ CULTURE!

## BECAUSE OF THEIR PAST PARTICIPATION IN CULTURE DAYS, ATTENDEES SAID THEY:



PARTICIPATED IN MORE  
ARTS AND CULTURAL EVENTS  
THROUGHOUT THE YEAR



BECAME INTERESTED IN  
OR SUPPORTED AN ARTIST  
OR ARTS ORGANIZATION



VISITED MORE  
ART GALLERIES  
OR CRAFT STUDIOS



UNDERTOOK MORE VOLUNTEER  
WORK WITH AN ARTS OR  
CULTURAL ORGANIZATION



TOOK CLASSES  
RELATED TO AN ARTS OR  
CULTURAL ORGANIZATION



TOOK UP AN ART  
FORM OF SOME KIND



DONATED MORE  
TO ARTS OR CULTURAL  
ORGANIZATIONS



BOUGHT MORE  
ART WORK

I ♥ CULTURE!

## 2015 CULTURE DAYS IN KELOWNA

- ▶ Guided Cultural Crawls
- ▶ First Nations Art Exhibition, Film Festival & Tipi Raising
- ▶ Nuit Blanche
- ▶ Drawing, Sketching & Painting
- ▶ Moon Festival
- ▶ Tea Ceremony
- ▶ Symphony at the Library

- ▶ To register a Culture Days activity, or get information about events:

[www.culturedays.ca](http://www.culturedays.ca)

Events are being added daily!

Thank you





# Report to Council



**Date:** August 24, 2015  
**File:** 1815-01  
**To:** City Manager  
**From:** David Gatzke, Cemetery Manager  
**Subject:** Kelowna Memorial Park Cemetery Master Plan

---

## **Recommendation:**

THAT Council receives, for information, the Report of the Cemetery Manager dated August 24, 2015 with respect to the Kelowna Memorial Park Cemetery Master Plan;

AND THAT Council endorses the Kelowna Memorial Park Cemetery Master Plan as attached to the Report of the Cemetery Manager dated August 24, 2015 as a guide for future Cemetery business development.

## **Purpose:**

To endorse the Kelowna Memorial Park Cemetery Master Plan as a guide for future development of the Cemetery.

## **Background:**

KMPC has been owned and operated by the City since 1911. Located off Spall Road, the Cemetery's property spans approximately 52 acres and includes services such as full casket burials, burial of cremated remains and niche interment of cremated remains (above ground placement of cremated remains into sealed structures).

With the expectation of growing demand for a limited inventory of interment spaces at KMPC, Civic Operations determined that a master plan was necessary to guide the cemetery's immediate and future development.

In May 2014, Park Services commissioned Lees and Associates to produce a master plan for KMPC. The plan was developed with input from community stakeholders, funeral home directors, and staff from various departments including Finance, Civic Operations, Design & Construction and Planning.

The plan summarizes the background research, consultation, and financial analysis. It presents a series of key findings and recommendations for action. Attached is a copy of the full plan, with key findings summarized in the Executive Summary.

Staff are recommending that the plan be adopted as a guideline for the future development of the KMPC. Adopting the plan as a guideline will allow additional flexibility for staff and future Councils to adapt to changing trends and priorities.

**Internal Circulation:**

Finance  
Communications  
Infrastructure

**Financial/Budgetary Considerations:**

Any items that require funding will be brought forward to Council during the normal annual budget process. The Cemetery operates on a model of self-sufficiency, therefore it is expected that most future requests will be funded from revenues through the Cemetery reserves.

**Considerations not applicable to this report:**

**Legal/Statutory Authority:**

**Legal/Statutory Procedural Requirements:**

**Existing Policy:**

**Personnel Implications:**

**External Agency/Public Comments:**

**Communications Comments:**

**Alternate Recommendation:**

Submitted by:



David Gatzke, Cemetery Manager

Approved for inclusion:



Joe Creron, Divisional Director, Civic Operations

cc:

Ian Wilson, Parks Services Manager

Karla Norman, Financial Analyst

Maria Lee, Communications Advisor

Terry Barton, Park and Building Planning Manager

Andrew Gibbs, Sr. Project Manager, Infrastructure Delivery

Attachments:





Final Report Submitted to City of Kelowna on March 24, 2015

Submitted by:



Submitted to:







E . L e e s   &   A s s o c i a t e s   C o n s u l t i n g   L t d .

509-318 Homer St **Vancouver** BC Canada V6B 2V2 | p: 604.899.3806 | f: 604.899.3805  
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[info@elac.ca](mailto:info@elac.ca) | [www.elac.ca](http://www.elac.ca)

## ACKNOWLEDGEMENTS

We would like to thank those who contributed to the creation of this Cemetery Master Plan:

### CITY OF KELOWNA STAFF

*Joe Creron, Civic Operations Divisional Director;*  
*Ian Wilson, Park Services Manager;*  
*David Gatzke, Cemetery Manager;*  
*Norm Ryder, Former Cemetery Manager;*  
*Terry Barton, Parks and Building Planning Manager;*  
*Sandra Kochan, Cultural Services Manager;*  
*Karla Norman, Financial Analyst;*  
*Anja Gertenaar, Cemetery Services Clerk;*  
*Martina Stewart (former) Cemetery Services Clerk;*  
*Lisa Houle, Marketing & Communications Advisor;*  
*Gary Stephen, Long Range Planning Manager;*  
*Brian Butchart, Systems Development Manager;*  
*Graham March, Planner Specialist, and*  
*Cathi Youl, Receptionist.*

### COMMUNITY PARTNERS

*Bob Hayes, Vice President, Okanagan Historical Society;*  
*S. Campbell, Cemetery Recording Committee Chair, Kelowna and District Genealogical Society;*  
*Linda Digby, Executive Director, Kelowna Museum Society;*  
*Sydney Pratt, Veterans Association, Canadian Legion;*  
*Captain Howard Hisdal, BC Dragoons;*  
*Glen and Linda Woods, Compassionate Friends, Kelowna Chapter;*  
*Susan Steen, Executive Director, Central Okanagan Hospice Society;*  
*Khalid Arriani, President, Kelowna Islamic Centre;*  
*Fr. Sebastian Puthenpura, Immaculate Conception Church;*  
*Rabbi Shmuly Hecht, Chabad-Lubavitch of Kelowna;*  
*Jordan Coble, Curatorial and Heritage Researcher, Westbank First Nation;*  
*David Henseleit, Service Manager, Springfield Funeral Home;*  
*Jason Everden, General Manager & Funeral Director, Everden Rust Funeral Services and*  
*Crematorium, and*  
*Terance Coderre, Assistant Manager First Memorial Funeral Services (Dignity).*

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*Jennifer Thibert, CPA, CMA, Associate, Business Manager, and*

*Michelle Pante, MBA, Associate.*

**GOLDER ASSOCIATES**

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*Roger Therrien, AScT, Associate, Golder Associates.*

**JOB NUMBER: 14571**

**STATUS: FINAL REPORT**

**REVISION: 01**

**DATE: MARCH 24, 2015**

**APPROVED: ERIK LEES**

A handwritten signature in black ink, appearing to read 'Erik Lees', with a long horizontal stroke extending to the right.

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# 1 EXECUTIVE SUMMARY

Kelowna Memorial Park Cemetery (KMPC) is approaching an important threshold. Much of the current interment and memorialization inventory at the Cemetery is in limited supply, while Kelowna is expected to continue as one of the fastest growing Cities in the Okanagan. It is expected that KMPC will experience increasing demand for cemetery services and increasing numbers of interments over the next 25 years and beyond.

The City of Kelowna has commissioned this Cemetery Master Plan to guide the development of KMPC to ensure that there will be appropriate inventory and cemetery services to serve the needs of Kelowna and area residents in the short and long term, and to ensure the long term financial sustainability of the Cemetery.

## KEY FINDINGS

### PROJECTED DEMOGRAPHIC TRENDS, RATES OF INTERMENT AND MARKET SHARE

In the upcoming 25 year period:

- KMPC can expect an average of approximately **512** interments per year. It is estimated that out of those interments, approximately:
  - **144** (28%) will be traditional in-ground burial (casket) interments, and
  - **368** (72%) will be interments of cremated remains.

### CEMETERY LAND NEEDS ANALYSIS

Key findings from the land needs analysis include:

- There is less than **5 years** of inventory remaining for traditional in-ground burials;
- In approximately **8 years** all remaining in-ground cremation inventory will have been sold;
- It is estimated that there is less than **2 years** of inventory remaining for columbaria cremation niche interments, and
- There is approximately **2 years** inventory remaining for private family estates.

### ADDITIONAL INVENTORY REQUIRED TO MEET FUTURE NEED

The additional interment inventory required to meet projected need for the next 25 years is:

- 2,845 Traditional in-ground burial lots;
- 125 Above-ground crypts (full body burial);
- 23 Private family estates (full body burial);
- 4,259 In-ground cremation lots, and
- 2,976 Columbaria niches (cremation interment).

#### **EXPANSION OF INTERMENT INVENTORY AT KMPC**

- There is enough space within the existing Cemetery to develop additional inventory to meet demand for the range of existing interment types for the next 25 years and beyond.

#### **SITE ANALYSIS**

- Key opportunities to expand interment inventory are in the southwest corner of the Cemetery, around the Bennett Memorial, Section E4, and infilling with lots in paths in developed areas of the Cemetery;
- The Cemetery Manager's office needs to be replaced with an appropriate facility in which to receive pre-need customers or bereaved families. The operation team's portable cabin is inadequate and another facility needs to be found, and
- The advent of the proposed Highway 33 Extension will have a major adverse impact on the southwest corner of the Cemetery.

#### **FINANCIAL REVIEW**

- From 2009, the Cemetery's total net loss steadily decreased to \$30,000 in 2013. In 2014, the Cemetery nearly broke-even with a total net loss of only \$1,500, and
- The Care and Maintenance Fund is not growing fast enough to generate sufficient interest income to cover the costs of care and maintenance when the Cemetery becomes inactive.

### **SUMMARY OF RECOMMENDATIONS**

#### **PRODUCT AND SERVICES REVIEW**

- Continue to provide and broaden the range of interment and memorialization products and services, especially cremation products and services;
- Continue to implement the Marketing Plan (2010) with an emphasis on promoting KMPC through appropriate media, and
- Align prices for products and services with benchmark communities, charge non-residents 25% more (than residents) for all opening and closing services, and cease the practice of selling opening and closing services to pre-need customers.

#### **FINANCIAL PLAN**

To move the Cemetery towards a more financially sustainable position it is recommended that the City adopt Financial Scenario 2 to guide decision-making:

- In 2016, implement one-time price increases to fees identified in the Product and Service Review;
- From 2017, increase all fees by 5% per year for 10 years. From 2027, decrease this annual rate to 2%;
- Increase the investment in marketing and community engagement to 3% of forecast revenue;

- Move to a proprietary cemetery sales, revenue and records management software system;
- Set up new revenue accounts in the Chart of Accounts to effectively track sales data;
- Identify new investment opportunities that optimize growth potential and interest returns for the Care and Maintenance Fund, Replacement Fund and Reserve Fund, and
- Continue to contribute 50% of the base fee from lot sales, 15-25% of the base fee from columbaria sales and 20% of the base fee from mausolea sales to the Care and Maintenance Fund.

#### DEVELOPMENT PLAN RECOMMENDATIONS

It is recommended that the construction of additional inventory be focused at the following locations:

- Legacy Gardens (containing the Bennett Memorial);
- The southwest corner of the Cemetery;
- Section E4 at the eastern edge of the Cemetery, and
- Infilling with traditional in-ground burial lots and in-ground cremation lots in developed sections of the Cemetery.

Recommendations for cemetery-wide physical enhancements include:

- A Way-finding and Signage Strategy, an Irrigation Upgrade Strategy, and a Landscape Management Strategy;
- A new Parkland Walk; upgrades to the main entries and to existing children's burial sections; establishment of the main avenue of trees along Bernard Avenue, and
- Landscape improvements to enhance access to and increase the prominence of the Pavilion of Eternal Rest.

#### FUTURE BURIAL EXPANSION

It is recommended that the City begin investigating the potential for future cemetery development at the City Yard, BC Transit Yard, and an alternative site within the City.

#### PHASING PLAN

It is recommended that new burial areas and cemetery-wide improvements are delivered in phases over the next 15 year period. A phasing plan in Section 8 of this report details the key recommended site changes in priority order.

#### ESTIMATED CAPITAL COSTS

The estimated order of capital costs for proposed new burial areas and cemetery wide physical enhancements is presented in Section 9 of this report. A detailed breakdown of the estimated costs is presented in **Appendix I**. The priority capital project for 2015/2016 is:

- Legacy Gardens Columbaria and Cremation Garden- Phase 1: **\$617,000.00**

The total cost of all recommendations in the Development Plan is:

- **Total Cost (excluding taxes):** **\$11,035,050.00**

## 2 INTRODUCTION

The City of Kelowna commissioned LEES+Associates to prepare a Cemetery Master Plan for Kelowna Memorial Park Cemetery (KMPC). The objective of this plan is to provide the City with a vision to guide the development and operation of the Cemetery property and serve the needs of Kelowna and area residents. This plan provides a functional, aesthetic, operational, and financial vision for the Cemetery that is sustainable over the short and long term. The master plan was developed through continued collaboration and consultation with key Staff and stakeholders over the duration of the project. The plan outlines a framework for the City to continue to provide quality cemetery services to its residents, while achieving its financial objectives over the next 25 years.

The City has owned and operated Kelowna Memorial Park Cemetery since 1911. Centrally located on Spall Road, the Cemetery property is comprised of approximately 52 acres of land, bounded by the Kelowna Golf and Country Club and Dilworth Mountain Park to the north, and the City Works yards to the south. A steep cliff bounds the Cemetery to the south and north east corner.



*Figure 1: Kelowna Memorial Park Cemetery, Source: City of Kelowna.*

Key issues addressed in this Master Plan include:

- The delivery of much needed new burial inventory;
- Providing an overall vision for the Cemetery including recommendations for site improvements;
- Ensuring products, services, interment and memorialization options are aligned with emerging disposition trends and family preferences;
- Building on the success of the Promontory Green, with the goal of continuing to accommodate the growing and diversifying cremation market;
- Establishing strategies to operate the Cemetery in a financially sustainable “business-like” manner;



- Assessing capacity and future land need, including options for future expansion;
- Improving the visibility of the cemetery, and raising its profile as a focal point of the community's cultural and open space system, and
- Establishing a "road map" to guide future capital budgets.

This master plan report summarizes the background research, consultation, financial analysis, and presents a series of clear key findings and recommendations for action. The master plan is organized under the following headings:

- **Demographic and Trends Analysis**
- **Cemetery Land Needs Analysis**
- **Product and Services Review**
- **Financial Plan**
- **Development Plan**
- **Estimated Capital Costs**
- **Conclusion**
- **Appendices**

By implementing the recommendations within this Master Plan, the City of Kelowna will continue to improve service delivery, progress towards financial self-sufficiency, build a healthy Care and Maintenance Fund, and Replacement Fund, and reaffirm the City's commitment to KMPC as a valued community resource.

## 3 DEMOGRAPHICS AND TRENDS ANALYSIS

This section identifies relevant death and burial trends that will guide recommendations in relation to burial capacity and the range of interment options to be provided at KMPC.

### 3.1 DEMOGRAPHIC CHARACTERISTICS

#### BRITISH COLUMBIA POPULATION AGE DISTRIBUTION (2011)

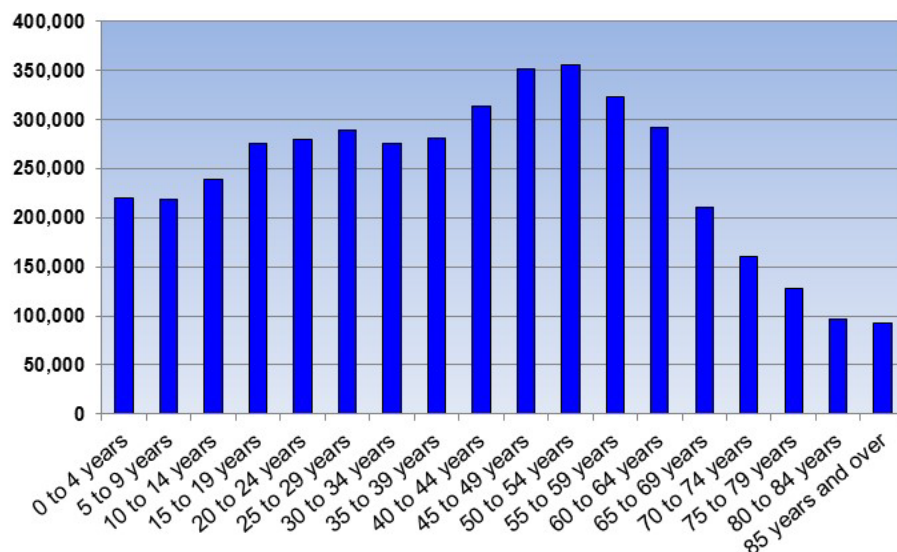


Figure 2: Age Distribution in British Columbia as of 2011, Source: Statistics Canada Census.

- The largest age group cohort in British Columbia are the **45 to 55 year olds**.

#### CITY OF KELOWNA POPULATION AGE DISTRIBUTION (2011)

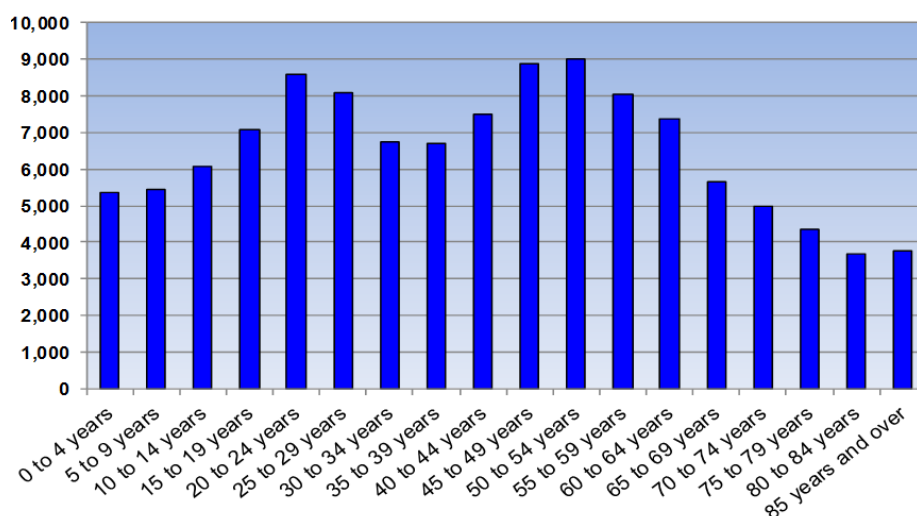


Figure 3: Age Distribution in the City of Kelowna as of 2011, Source: Statistics Canada Census.

- The largest age groups in Kelowna are the **20 to 29 year olds**, and **45 to 59 year olds**.

## 3.2 HISTORIC POPULATION GROWTH

### CITY OF KELOWNA POPULATION GROWTH RATES (2004 - 2013)

The table below shows the population growth rates in Kelowna compared to the Central Okanagan Local Health Area (LHA) and British Columbia over the 10 year period 2004 to 2013:

Population	2004	2006	2011	2013	Average Change	10 Year Change
<b>Kelowna</b>	105, 621	122,775	121,846	128,848	<b>2.03%</b>	<b>22.0%</b>
<b>Central Okanagan Local Health Area (LHA) 023</b>	162,555	170,045	187,092	194,068	<b>1.84%</b>	<b>19.4%</b>
<b>British Columbia</b>	4,155,170	4,243,580	4,576,577	4,622,573	<b>1.34%</b>	<b>11.3%</b>

*Table 1: Kelowna and Central Okanagan Local Health Area (LHA) 023 Population Growth, Source: BC Vital Statistics Annual Reports, BC Statistics Projections and LEES+Associates.*

Over the last 10 year period the average **annual growth** for Kelowna has been **2.03%** per year. This is much **faster** than the Central Okanagan LHA as a whole, and one and one-half times as fast as British Columbia as a whole.

This affects cemetery planning in that Kelowna can expect to see a more rapid growth in its cemetery market from general population increases if this trend continues. Subsequently, from this population growth KMPC can also expect increasing demand for cemetery services and the numbers of interments at the Cemetery in the future.

### 3.3 HISTORIC DEATH RATES

#### KELOWNA POPULATION DEATH RATES (2004 - 2013)

The table below shows the death rates in Kelowna compared to the Central Okanagan Local Health Area (LHA 023) and British Columbia over the 10 year period 2004-2013:

Deaths	2004	2006	2011	2013	Average Number per Year	10 Yr. Total
<b>Kelowna</b>	1,052	1,084	1,083	1,124	<b>1,077</b>	<b>10,774</b>
<b>Central Okanagan LHA 023</b>	1,438	1,468	1,530	1,572	<b>1,503</b>	<b>15,028</b>
<b>British Columbia</b>	29,159	30,102	31,151	32,839	<b>7</b>	<b>276,735</b>

*Table 2: Kelowna and Central Okanagan Local Health Area Death Rates, Source: BC Vital Statistics Projections and LEES+Associates.*

The table below shows the **average death rate per 1,000 of population** in Kelowna compared to Penticton, the Central Okanagan Local Health Area (LHA 023) and British Columbia over the 10 year period 2004-2013:

Deaths per 1000 of population	2004	2006	2011	2013	Average Annual Deaths Per 1,000 of Population
<b>Kelowna</b>	9.96	9.61	8.89	8.89	<b>9.40</b>
<b>Penticton</b>	13.9	13.3	14.0	13.8	<b>13.75</b>
<b>Central Okanagan LHA 023</b>	8.85	8.63	8.18	8.21	<b>8.43</b>
<b>British Columbia</b>	7.02	7.09	6.81	6.87	<b>7.00</b>

*Table 3: Kelowna, Penticton, Central Okanagan LHA and BC Death Rates per 1,000 Population, Source: BC Vital Statistics Projections and LEES+Associates.*

Kelowna's annual death rate is **9.4 deaths per year per 1,000 population**. The larger proportion of younger people making up the City's population means the death rate is much lower than the death rate for the City of Penticton. Over the last 10 year period Kelowna's annual death rate has declined. However it is still higher than the average annual death rates for the Central Okanagan LHA (8.43), and British Columbia as a whole (7.00).

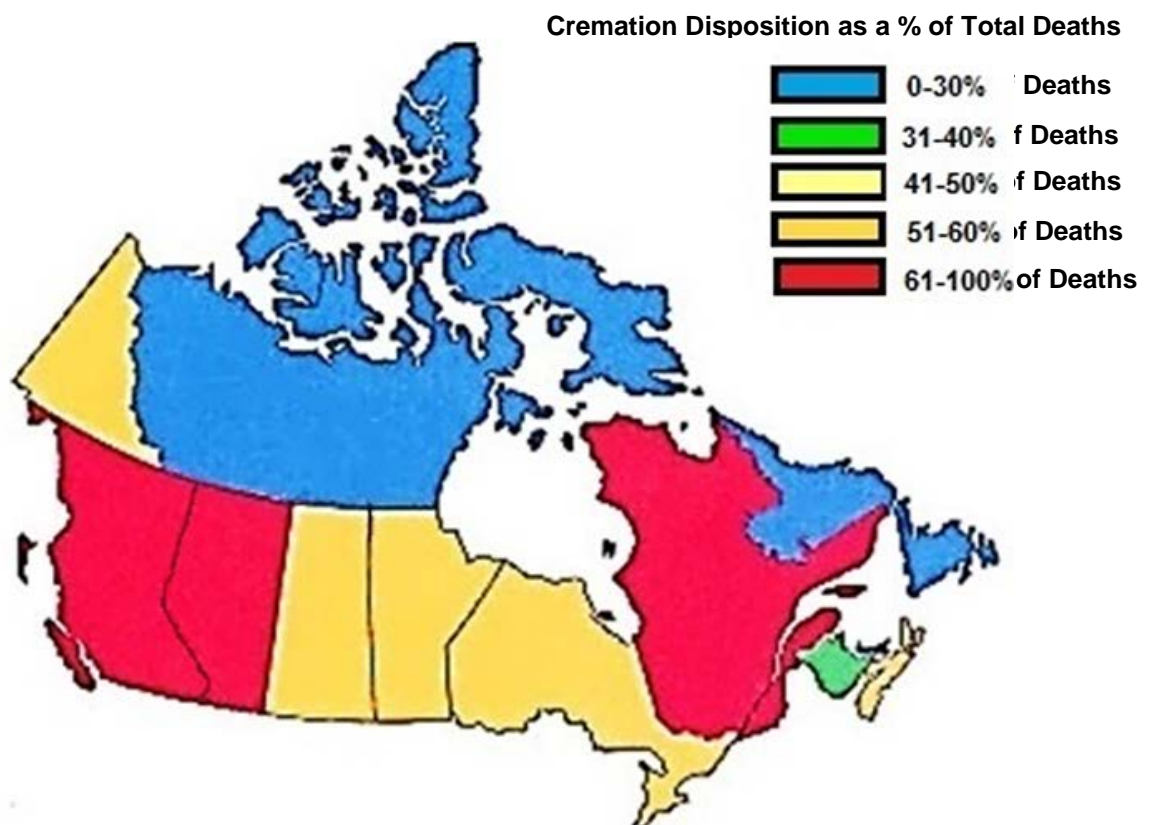
This affects cemetery planning in that Kelowna can continue to expect growth in its cemetery market from this above average death rate affecting an increasing larger population. Subsequently from this high death rate, KMPC can also expect increasing demand for cemetery services and the numbers of interments at the Cemetery in the future.

### 3.4 DISPOSITION TRENDS

#### RATES OF DISPOSITION ACROSS CANADA

Disposition is defined as the way in which human remains are transformed after the event of death, in preparation for any formal viewing or visitation, ritual, rite, service or ceremony. Final disposition in this analysis means the full casket burial or interment of the cremated remains.

Canadian trends in disposition indicate that cremation is becoming the preferred option nationwide. The average rate of cremation for Canada has increased from **48.5%** in 2002 to **68.5%** in 2012. The rate of cremation in the majority of provinces is expected to continue to rise.



*Figure 4: National Rates of Cremation, Source: The Cremationist of North America 2013, published by the Cremation Association of North America.*

Over the last decade British Columbia's cremation rate has been the highest in Canada and is expected to remain the highest in the coming years.



#### RATES OF DISPOSITION IN BRITISH COLUMBIA

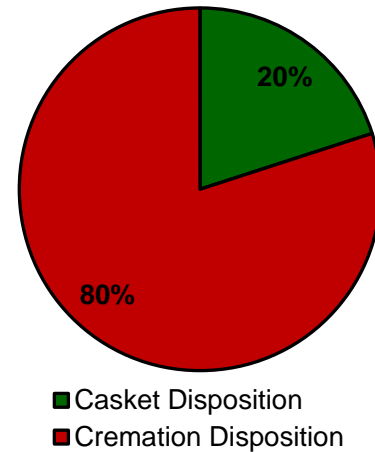
The pie chart in Figure 5 shows the average rates of disposition in British Columbia during the 10 year period 2004-2013.

The average annual rate of cremation in BC was:

- **72.5%** during the 26 year period 1986-2011;
- **80%** during the 10 year period 2004-2013, and
- **82.1%** in 2012.

The average annual rate of cremation in BC is expected to rise to **83.8% by 2016**, according to the Cremation Association of North America. It is expected that the rate of cremation in BC will reach approximately 92% by 2038 but is unlikely to increase further.

**Disposition Preferences - British Columbia, Canada**



*Figure 5: Average Disposition Preferences (2004-2013) in British Columbia, Source: BC Vital Statistics, LEES+Associates.*

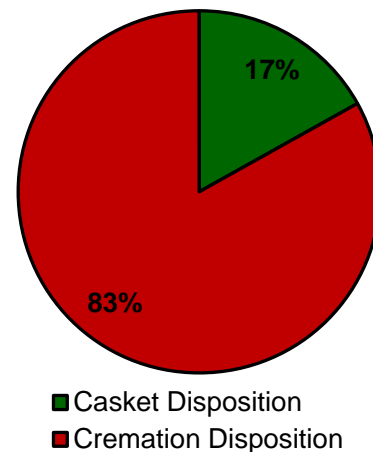
#### RATE OF DISPOSITION IN THE LOCAL HEALTH AREA AND KELOWNA

The average annual rate of cremation in Kelowna was estimated to be **83%** during the period 2004-2013, according to the Cremation Association of North America.

This represents 83% of total deaths that occurred in Kelowna and is **3% higher** than the BC average. The average annual rate of in-ground burial in Kelowna was estimated to be **17%** during the same period.

The average annual number of traditional casket dispositions recorded in Kelowna during the period 2004- 2013 was **181**. The annual average number of cremation dispositions recorded in Kelowna over the past 10 years was **894**.

**Disposition Preferences - Kelowna + Local Health Area**



*Figure 6: Average Disposition Preferences (2004-2013) in the LHA and Kelowna Source: BC Vital Statistics, LEES+Associates.*

### 3.5 HISTORIC INTERMENTS

#### HISTORY OF INTERMENT AT KELOWNA MEMORIAL PARK CEMETERY

The table below sets out a summary of the average annual number of interments that have taken place at KMPC over the last 10 year period (a detailed breakdown is presented in “**Appendix A: History of Interment at Kelowna Memorial Park Cemetery.**”

Type of Interment	10 year Average (2004-2013)	
	Number of Interments	Percentage of Total Interments
Traditional Casket Burial (in-ground casket interment)	139	37%
Above Ground Mausolea Crypts (above-ground casket interment)	3	1%
Cremation Urn Burial (in-ground cremation interment)	142	37%
Columbaria Niche (above ground cremation interment)	82	21%
Scattering Garden	17	4%
<b>Subtotal of Cremation Interments</b>	<b>241</b>	<b>63%</b>
<b>Subtotal of Traditional Casket Interments</b>	<b>142</b>	<b>37%</b>
<b>Total Interments</b>	<b>384</b>	<b>100%</b>

*Table 4: 10 Year Average Annual Rate of Interment by Type at KMPC, Source: City of Kelowna.*

Over the last 10 year period:

- The average total annual number of interments was **384**;
- The average annual number of interments of cremated remains was **241**, and
- The average annual number of traditional, casket interments was **142** (including traditional in-ground burial and above-ground crypt burials).

### 3.6 HISTORIC MARKET SHARE

Market share is the number of interments that actually take place in a cemetery each year as a proportion of the number of deaths that take place within a community in that same year. The graph below sets out the annual average market share of interments that occurred at KMPC as a proportion of the total average number of deaths in Kelowna.

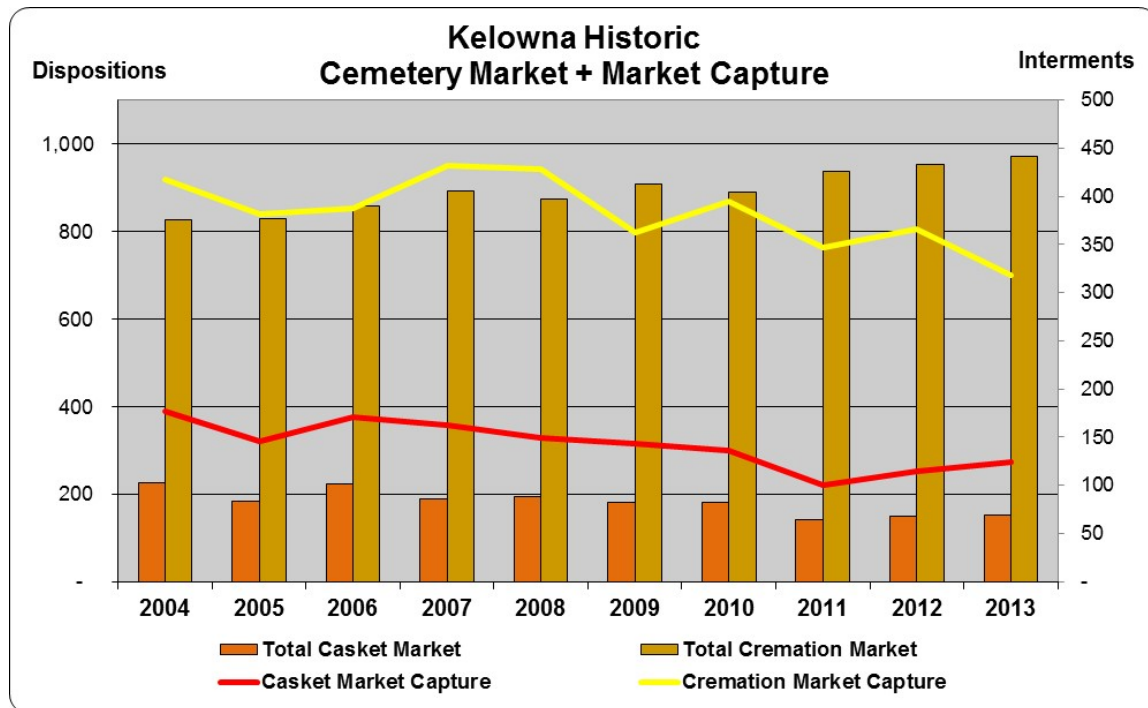


Figure 7: KMPC Market Capture of the Kelowna Cemetery Market, Source: LEES+Associates.

The market capture rates reflect the number of people choosing interment at KMPC. Over the last 10 year period:

- The total cremation market has increased. Correspondingly, the total casket market has decreased as the disposition trend has moved towards cremation;
- The market capture of traditional in-ground burial at KMPC was **78%** of the total market;
- The market capture of cremated remains at KMPC was **27%** of the total market;
- The overall market capture rate was **36%**, and
- The market capture rate for cremated remains has been decreasing while the total cremation market has been increasing.

Municipal cemeteries across BC typically expect to serve approximately 20% of those families that choose cremation. The market share at the KMPC was on average **7% above** the typical municipal market capture rate for interment of cremated remains and an average **11% below** the typical municipal market capture rate for traditional in-ground burials.

### 3.7 PROJECTED CEMETERY MARKET

Population death rate projections for the Central Okanagan Local Health Area and Kelowna are identified in the sections below:

#### CENTRAL OKANAGAN LOCAL HEALTH AREA (LHA 023) PREDICTED CEMETERY MARKET & MARKET SHARE – DEATHS, CASKETS AND CREMATIONS (2014-2038)

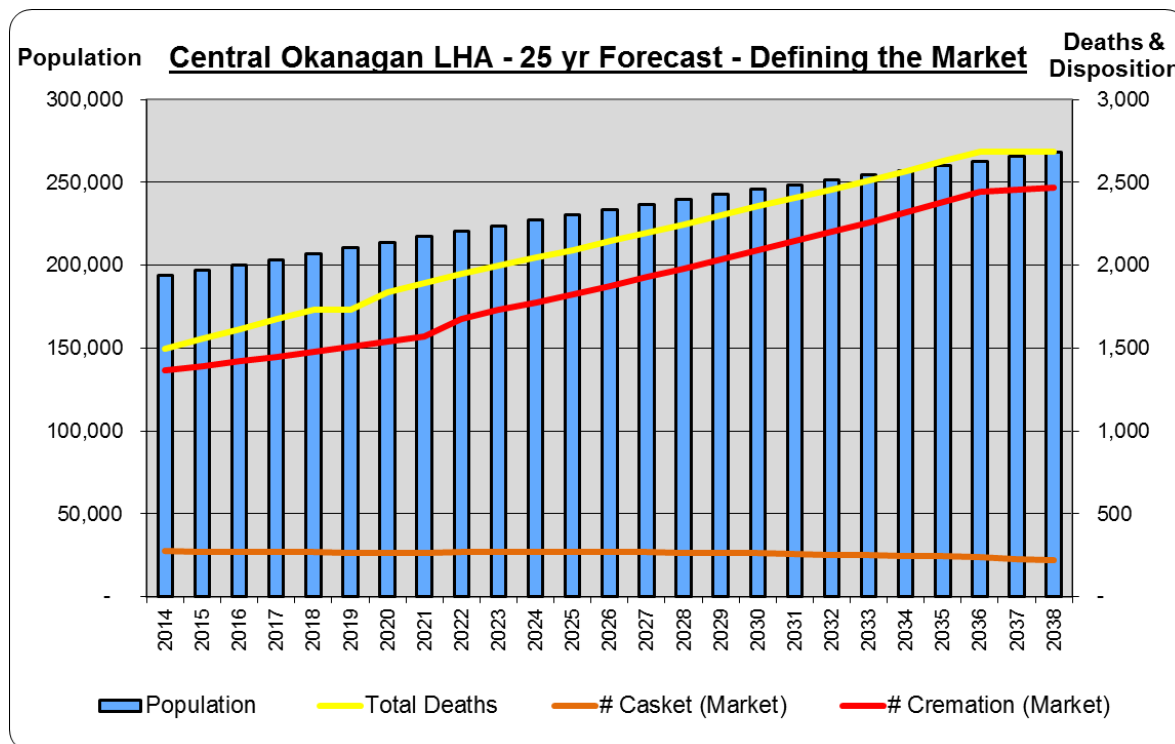


Figure 8: 25 Year Forecast of Population Growth and Death Rate for the LHA,  
Source: LEES+Associates.

In the upcoming 25 year period:

- The total number of deaths in the LHA is projected to be **53,495**;
- The average number of deaths per year is projected to be **2,140**;
- The average death rate is projected to be **9.1 per 1,000** people, and
- The average population growth is projected to be **1.43%** per year.

### KELOWNA PREDICTED CEMETERY MARKET – DEATHS, CASKETS AND CREMATIONS (2014-2038)

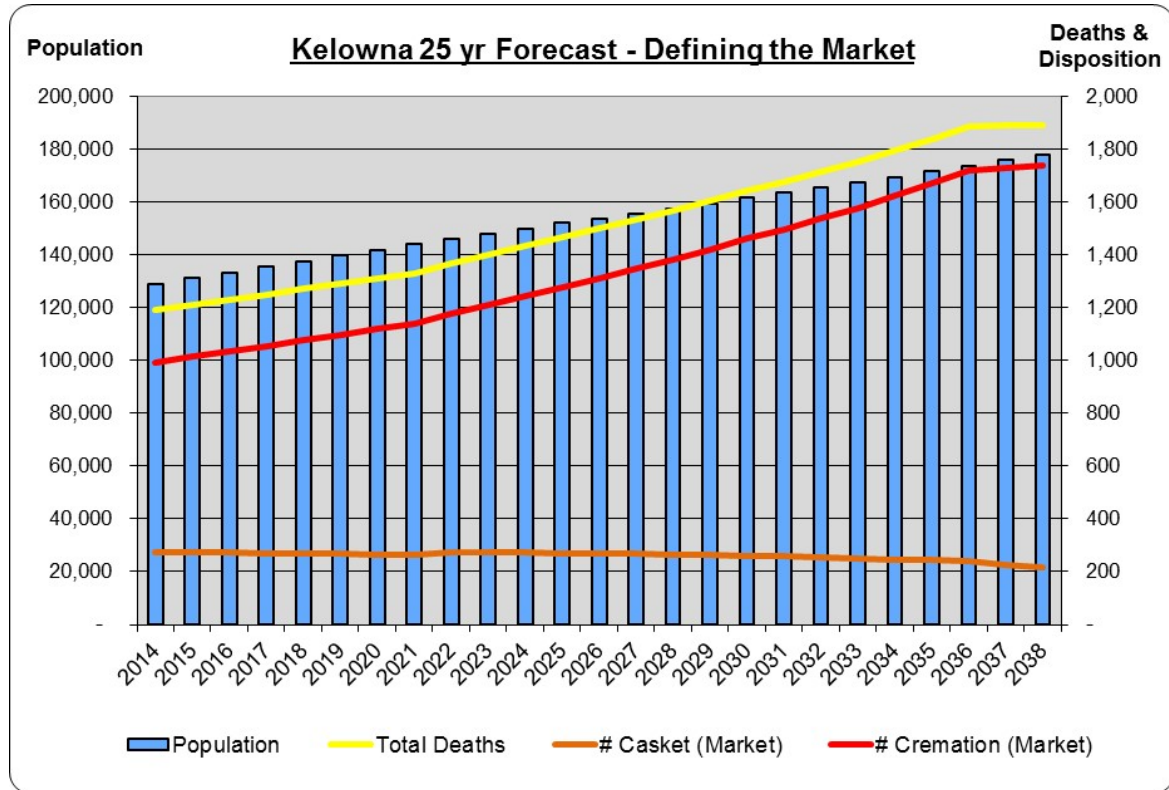


Figure 9: 25 Year Forecast of Population Growth and Death Rate for Kelowna, Source: LEES+Associates.

In the upcoming 25 year period:

- The total number of deaths in the City is projected to be **38,064**;
- The average number of deaths per year is projected to be **1,523**;
- The average death rate is projected to be **9.9 per 1,000** people, and
- The average population growth is projected to be **1.38%** per year.

The predicted average annual number of deaths is expected to rise from **1,077** to **1,523** in the upcoming 25 year period. The average annual death rate is estimated to increase from **9.4** to **9.9 per 1,000 people** during this period, due to the higher number of deaths emerging from the passing of the Baby Boomer Generation.

The population age cohort between the ages of 49 to 69 are known as the “Baby Boomers”. In 2025, the oldest people in this group will reach the age of 80. Demand for death related goods and services is expected to increase starting around 2020 and the demand for cemetery services is expected to remain high from 2020 to 2035. The number of deaths is then expected to decrease again from 2036 to 2045, as the youngest of this generation turns 80.



### 3.8 PROJECTED MARKET SHARE

The graph below shows the projected market share of dispositions that KMPC is likely to receive in the upcoming 25 year period from 2014 to 2038 based on the historic trends.

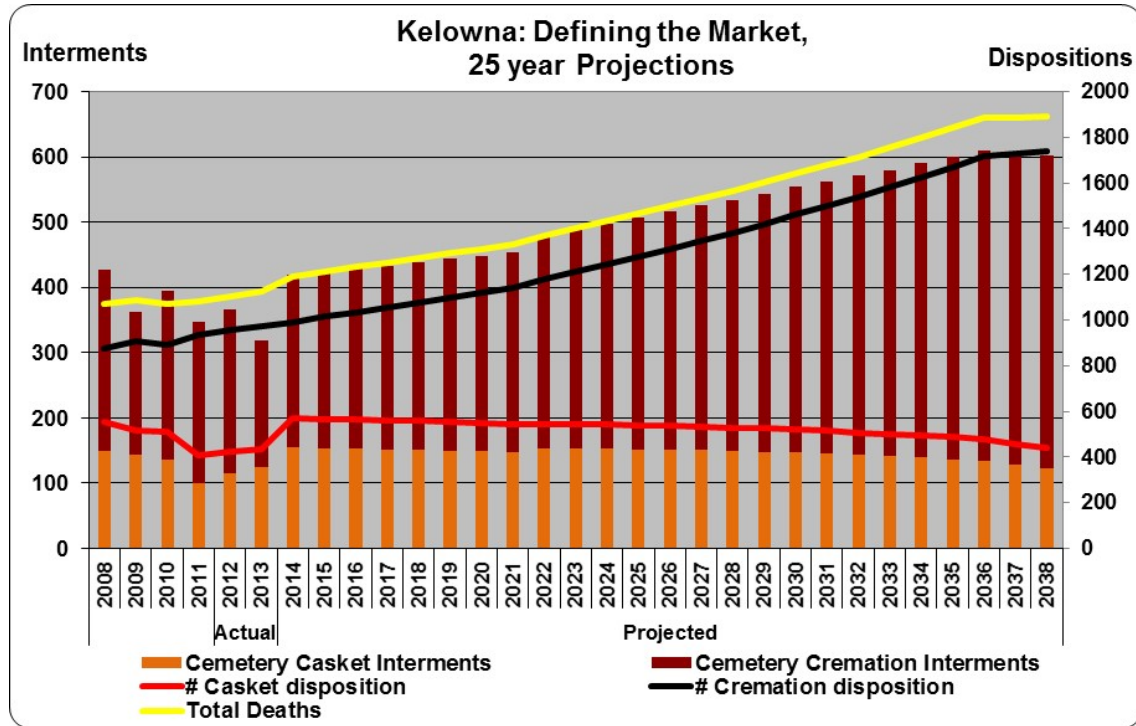


Figure 10: Projected Market Share for KMPC, Source: LEES+Associates.

In the upcoming 25 year period, KMPC can expect:

- To receive approximately **12,800** interments (based on the average market capture for the years 2004 to 2013);
- An average of approximately **512** interments per year, from 2014 to 2063. It is estimated that of the interred, approximately:
  - **144** (28%) will be traditional casket interments, of which
    - 139 will be traditional in-ground burials, and
    - 5 will be interred in above-ground crypts (pending new inventory).
  - **368** (72%) will be interments of cremated remains, of which:
    - 217 will be interments of cremated remains in-ground urns;
    - 125 will be interments of cremated remains in columbaria niches, and
    - 26 will be interments of cremated remains in scattering gardens.

### 3.9 KEY FINDINGS – DEMOGRAPHICS AND TRENDS

#### HISTORIC DEMOGRAPHIC TRENDS, RATES OF INTERMENT AND MARKET SHARE

In the last 10 year period (2004-2013):

- Kelowna has experienced much **faster** growth than the Central Okanagan LHA as a whole, and almost twice as fast as British Columbia as a whole;
- Kelowna's death rate is historically lower than Penticton. However it is higher than the death rate for the Central Okanagan LHA, and British Columbia as a whole;
- The average age of people in Kelowna is **43**, compared to the BC average at **42**. The higher average age profile is one contributing factor in the City's higher death rate;
- The total number of deaths that historically occurred in Kelowna during this period was **10,774**, averaging **1,077** deaths per year;
- **83%** of deaths resulted in cremation. This is 3% higher than the BC average;
- Overall, KMPC has a market share of **36%** of deaths;
- KMPC serves approximately **78%** of Kelowna families that choose traditional full-body casket burial and **27%** of families that choose cremation, and
- KMPC captured an average of **384** interments per year. Of these:
  - **139** (37%) interments were traditional in-ground burials;
  - **3** (1%) were full body burials in the crypts at Promontory Green;
  - **142** (37%) burials were interments of in-ground cremated remains;
  - **82** (21%) were interments of cremated remains in columbaria niches, and
  - **17** (4%) interments of cremated remains took place in the scattering garden.

#### PROJECTED DEMOGRAPHIC TRENDS, RATES OF INTERMENT AND MARKET SHARE

In the upcoming 25 year period (2014-2038):

- The total number of deaths projected to occur in the City is **38,064**;
- KMPC can expect approximately **12,800** interments (based on historic trends);
- KMPC can expect an average of approximately **512** interments per year. It is estimated that out of those annual interments, approximately:
  - **144** (28%) will be traditional, casket interments, of which
    - 139 will be traditional in-ground burials, and
    - 5 will be interred in above-ground crypts (pending new inventory);
  - **368** (72%) will be interments of cremated remains, of which:
    - 217 will be interments of cremated remains urns in-ground;
    - 125 will be interments of cremated remains in columbaria niches, and
    - 26 will be interments of cremated remains in scattering gardens.

These findings inform the Business Plan, and the Recommendations of this Master Plan.

## 4 CEMETERY LAND NEEDS ANALYSIS

The City of Kelowna intends to ensure that it meets local demand for interment and memorialization products and services over the next 25 years. The key issues that need to be considered in meeting this objective are:

- What is the existing inventory available for sale at KMPC?
- What is the future demand for the different types of inventory in the upcoming 25 year period?
- How long will this remaining inventory serve demand?
- How much additional inventory is needed to meet expected demand for each interment type over the next 25 years?
- How much additional inventory can be developed on existing cemetery land?
- By developing additional inventory, how long can the KMPC continue to provide the range of interment options currently offered?

### 4.1 ALLOCATION OF ALL INTERMENT INVENTORY

The pie chart below illustrates the current allocation of all interment inventory at KMPC:

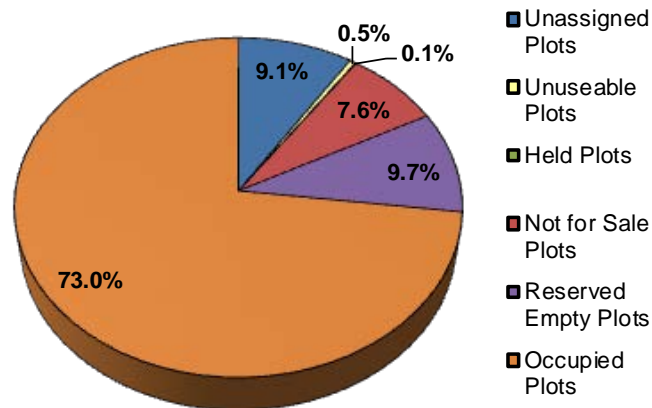


Figure 11: Kelowna Memorial Park Total Cemetery Plot Inventory, Source: Plot Inventory by Status Report - City of Kelowna.

Of approximately 21,000 lots:

- Only 1,922 lots (9.1%) of total interment inventory remains “**Unassigned**” and available for sale;
- **73%** of all lot inventory (all graves, crypts and niches) are occupied;
- **9.7%** of lot inventory is unoccupied, but sold. Of this, 2,038 lots are “**Reserved**” in-ground cremation lots;
- **0.1%** (14 lots) are “**Held**,” meaning they are paid for but have special circumstances attached;

- **0.5%** of lots are deemed “**Unusable**,” and
- **7.6%** of lots are identified as “**Not for Sale**.”

The lots deemed “Unusable” include 100 in-ground cremation lots. These are mainly deemed unusable due to the presence of tree roots.

The majority of lots identified as “Not for Sale” are traditional in-ground burial lots in Sections E3 and E4. These were laid out and recorded in the City’s cemetery mapping and sales system. Several interments took place, but because of the steepness of the slopes and challenges experienced during opening and closing due to underlying ground conditions the City decided to stop conducting traditional in ground burials in these sections pending further assessment.

## 4.2 EXISTING INVENTORY

The table below provides a breakdown of the types of inventory that make up the remaining 1,922 lots, which are “**Unassigned**” and available for sale, and the estimated time before each interment type is expected to be exhausted.

Type of Inventory	Inventory Code used by Kelowna’s Cemetery Records Management	Existing Inventory (Number of Lots/Niches)	Average Annual Interments in last 10 years (2004-2013)	Estimated Number of Years of Inventory Remaining	Inventory will be Exhausted by
Traditional In-ground Burial	L; S; LCF; LCU;	605	139	4.3	2019
Above-ground Crypts (full body burial)	PGE1; PGE2; PGE3	0	3	0	
Private Family Estate and Semi Private Estate (Full body burial)	G7PE; G7SPE	2	1	2.0	2017
In-ground Cremation	A; AC; AF; PGAC; PGAF;	1,166	142	8.2	2023
Columbaria Niche (Cremation)	BCNC1; BCNC2; BCNC3; BCNR1; BCNR2; PGN1; PGN2	149	82	1.8	2017
Scattering Garden	PGSG; PGSG2	N/A	17	At least 25 years	2040+
<b>TOTAL</b>		<b>1,922</b>	<b>384</b>		

Table 5: Existing Interment Inventory, Source: Unassigned Lots 2014, City of Kelowna.



*Figure 12: Columbaria Niches at the Bennett Memorial*



*Figure 13: Above Ground Crypt and Columbaria Niches, Promontory Green*

The existing inventory for above-ground crypts at Promontory Green has already been sold. A limited amount of columbaria niche inventory remains available at the Promontory Green and the Bennett Memorial. Based on the average annual number of interments recorded over the last 15 year period (1999-2013) there is:

- Less than **5 years** of inventory remaining for traditional in-ground burials;
- Approximately **8 years** of inventory remaining for in-ground cremation;
- Less than **2 years** of inventory remaining for columbaria cremation niche interment;
- Approximately **2 years** inventory remaining for Private Family Estates, and
- 25 years or more inventory remaining in the scattering garden and associated ossuary in Promontory Green.

In addition to the existing scattering garden at Promontory Green, a nature walk for scattering cremated remains has been developed through the steeper sections at the eastern end of the Cemetery below the base of Dilworth Mountain. The nature walk will soon be registered by the City with BC Consumer Protection so scattering within this area can take place legally.

As KMPC is the primary municipal cemetery serving Kelowna and area residents, the development of additional capacity for traditional in-ground burial, in-ground cremation, above ground crypt and columbaria niche interment types is urgently needed.



### 4.3 FUTURE INTERMENT NEED

Based on the Demographic and Trends analysis in Section 3, Kelowna can expect approximately **12,800** interments in the next 25 years. This equates to an average of **512** interments every year. Anticipated need for the next 25 years, by interment type, is set out in the table below.

Type of Interment	Average Annual Interments (2014-2038)	Estimated Total Interment Need (2014 to 2038)
Traditional In-ground Burial	138	3,450
Above-ground Crypts (full body burial)	5	125
Private Family Estate and Semi Private Estate (full body burial)	1	25
In-ground Cremation	217	5,425
Columbaria Niche (cremation inurnment)	125	3,125
Scattering Garden (cremation)	26	650
<b>TOTAL</b>	<b>512</b>	<b>12,800</b>

Table 6: Future Interment Need by Type of Interment 2014-2038, Source: LEES+Associates.

### 4.4 ADDED INVENTORY REQUIRED TO MEET FUTURE NEED

The added interment inventory required to meet anticipated need for the next 25 years is shown in the table below:

Type of Interment	Existing Inventory	Estimated Interment Need (2014 to 2038)	Estimated Additional Inventory Required
Traditional In-ground Burial	605	3,450	<b>2,845</b>
Above-ground Crypts (full body burial)	0	125	<b>125</b>
Private Family Estate and Semi Private Estate (full body burial)	2	25	<b>23</b>
In-ground Cremation	1,166	5,425	<b>4,259</b>
Columbaria Niche (cremation inurnment)	149	3,125	<b>2,976</b>
Scattering Garden (Promontory Green)	0	650	<b>650</b>
<b>TOTAL</b>	<b>1,922</b>	<b>12,800</b>	<b>10,878</b>

Table 7: Estimated Additional Inventory Required 2014-2038, Source: LEES+Associates.

## 4.5 EXPANSION OF INTERMENT INVENTORY AT KMPC

There are several areas in the Cemetery in which it would be straightforward to develop additional inventory to meet projected demand in the upcoming 25 year period. These areas include:

- Infilling around the Bennett Memorial;
- The Southwest Corner of the Cemetery, and
- Section E4.

Transforming the road to the Bennett Memorial into a premium cremation precinct would allow the development of columbaria niche inventory to meet a substantial proportion of the projected demand. If, in the future, the Hardy family wished to sell some of the area within the Hardy family private cemetery to the City, additional inventory could be added to KMPC. Further to this, a significant amount of additional inventory can be leveraged by developing an infill strategy between rows of existing graves, and along paths and roadways in Sections A, B, C, D and E. The table below sets out the estimated amount of inventory, by type, that could be accommodated within each Section.

Location	Traditional In-ground burial lots	Private Family Estates	In-ground cremation lots (Standard 2ft x2ft)	Columbaria Niches	Scattering Areas
Section A Infill	2,772				
Section B Infill	1,846				
Section C Infill	527				
Section D Infill	714				
Section E Infill	210				
Section E4	867				
Section G1			462		
Section G7	874				
Section G7 South		24			
Bennett Memorial				2,700	
Hardy Private Cemetery	390				
Promontory Green					650
Nature Walk					Unlimited
<b>TOTAL</b>	<b>8,200</b>	<b>24</b>	<b>462</b>	<b>2,700</b>	<b>Unlimited</b>

*Table 8: Estimated amount of inventory, by type, that could be accommodated within each section of KMPC. Sources: City of Kelowna Inventory Reports and Staff Feedback.*

There is enough space within the existing cemetery to develop additional inventory to meet demand for the range of existing interment types for at least the next 25 years. Priority should be given to the development of additional traditional in-ground casket burial, columbaria niche and in-ground cremation inventory as part of the physical site plan update.

- The development of approximately 8,200 traditional in-ground burial lots would provide an estimated additional **58** years of inventory in addition to the 5 years of existing inventory. This would allow the Cemetery to provide traditional in-ground burial until approximately **2073**;
- The development of approximately 24 family estates would provide an additional **24** years of inventory in addition to the 2 years of existing inventory. This would allow the Cemetery to provide family estate interment until approximately **2041**;
- The development of approximately **462** in-ground cremation lots would provide a further 2 years of inventory in addition to the 8 years of existing inventory. In-ground cremation inventory would then be exhausted in approximately **10 years**. However, it is likely that a proportion of all new burial areas shown in the physical master plan such as Section E4 will include in-ground cremation to meet demand in the upcoming 25 year period;
- The infilling of the road to and around the Bennett Memorial with premium cremation inventory would allow the development of approximately **2,700** columbaria niches. This would provide a further **21** years of inventory in addition to the remaining 2 years of existing inventory, and would serve the needs of the community until approximately **2037**;
- All existing above-ground (mausolea) crypt inventory has been exhausted. Approximately **40** new above ground crypts could be developed as part of the as part of upgrades around the Bennett Memorial area. There is the potential for at least **200** above ground crypts as part of the development of Section E4. The combined total would provide approximately **50** years of above-ground (mausolea) crypt inventory;
- There is no immediate requirement to develop additional scattering garden capacity. The existing scattering garden in Promontory Green is capable of accommodating the **650** interments projected over the next 25 years. In addition, it is anticipated that scattering will be permitted along the nature walk along the eastern edge of the Cemetery pending approval from the cemetery regulators at BC Consumer Protection, and
- Undeveloped land in the Southwest Corner of the Cemetery would leverage additional burial inventory.

## 4.6 KEY FINDINGS – CEMETERY LAND NEEDS ANALYSIS

The key findings from this section of the report are:

- There is enough space in the existing cemetery to develop additional inventory to meet demand for the range of existing interment types for at least the next 25 years, and
- Providing sufficient additional traditional in-ground casket burial, columbaria niche and in-ground cremation inventory should be considered priorities.

## 5 SITE ANALYSIS

On June 18 2014, LEES+Associates and members of the City's Project Team visited KMPC. The purpose of the site visit was to identify opportunities and constraints for the development and enhancement of the Cemetery. This section of the report summarizes the site analysis under the following headings:

- Overview of the Cemetery, and
- Site Opportunities and Constraints.

The Site Analysis Plan accompanying this chapter is located in **Appendix B**.

### 5.1 OVERVIEW OF THE CEMETERY

#### LOCATION

KMPC is situated in the centre of Kelowna on Bernard Avenue, a roadway that forms a shared access with Kelowna Golf and Country Club. The Cemetery is sited on a plateau of land above the City's Civic Operations Yard to the south, Spall Road to the west, the golf course to the north and Dilworth Mountain to the east. A plan of the existing Cemetery is shown below for ease of reference. (A larger version of this plan is found in **Appendix B**).



Figure 14: Plan of the Existing Cemetery, Source: City of Kelowna.



## LANDSCAPE CHARACTER

The Cemetery comprises a series of traditional lawn burial sections and 'dry landscape' burial sections, including a Pioneer section and a Historic Asian Section. The developed grass and dry burial sections are relatively flat with a significant number of mature evergreen and deciduous trees providing spatial definition across the Cemetery. The burial sections are accessed by a network of asphalt roads.



*Figure 16: KMPC Dry Cemetery Section.*



*Figure 15: KMPC Lawn Section G7.*

## 5.2 SITE OPPORTUNITIES AND CONSTRAINTS

### INTERMENT AND MEMORIALIZATION OPTIONS

Upright markers are a feature of the dry landscape, Pioneer and Historic Asian Sections, whereas flat markers characterize the lawn sections of the Cemetery.



*Figure 17: KMPC Dry Section, looking south.*



*Figure 18: KMPC Section D, looking north.*

Promontory Green containing columbaria niches, above-ground crypts and a scattering garden was opened in 2001 at the south western end of the Cemetery. The Bennett Memorial comprising of columbaria niches was opened in 1997.





*Figure 19: Promontory Green.*



*Figure 20: Bennett Memorial.*

Currently the children's and infant sections throughout the Cemetery are not distinguished from the adult burial sections. There is a great opportunity to create a more meaningful and appropriate landscape setting for the children's and infant sections.

The Compassionate Friends' Brevity Memorial in memory of children is separated by a service road on the west side of Promontory Green. There is an opportunity to integrate the Brevity Memorial more sensitively into the overall landscape of the Cemetery.

The Pavilion in the Historic Asian Section benefited from significant restoration about 10 years ago. However, it remains an underutilized feature in the Cemetery and is tucked away at the back of the Historic Asian Section. It would benefit from an improved landscape setting and a clearer, more logical processional route to further integrate it into the Cemetery. These changes would encourage and increase programmatic use.



*Figure 21: The Brevity Memorial,  
Source: City of Kelowna.*



*Figure 22: The Pavilion of Eternal Rest*

## BURIAL CAPACITY

There is a significant opportunity to extend the operational life of the Cemetery through the process of **infilling**. This is a process used by cemeteries across Canada whereby additional burial lots are created in-between the established rows of graves, or by converting redundant roads into burial

plots. Opportunities for infilling are present in all developed sections of the Cemetery (details on how this should occur are set out in Section 8.0 Development Plan). Prime opportunities for infilling include the road to the Bennett Memorial, and virtually all of the developed traditional lawn burial sections and 'dry landscape' burial sections. There are also opportunities to establish **new burial sections** at the following locations, including but not limited to:

- The area south of Section G7 (by the Cemetery Manager's office);
- The small section of land to the south east of Promontory Green;
- Land south of sections E2 and E3, and
- Section E4.

### MATERIALS STORAGE AREA

The existing material storage area is vast, and could be much smaller to serve the operational needs of the Cemetery. It is also uncomfortably close to, and can be seen from, the premium interment and memorialization options offered within Promontory Green. It is recommended that the materials



*Figure 23: Materials Storage Area.*

storage area be reduced in size, screened from view, and possibly relocated away from premium interment options as part of any reconfiguration of the Cemetery.

### VIEWS

Views out across the City, particularly from Section E4 are spectacular and are a major asset for the Cemetery. Views could be optimised by ensuring that existing windows through the vegetation on the top of the embankment remain clear of trees and scrub. However the existing trees and scrub are reducing the risk of ground movement along the top of this bank by absorbing water, and should only be removed following geotechnical advice.



*Figure 25: South west views from KMPC Section E4 across the City to Okanagan Lake.*



*Figure 24: KMPC's view north east to Dilworth Mountain.*



## TOPOGRAPHY

The Cemetery is generally flat with the exception of those areas close to the base of Dilworth Mountain. These include:

- Land in Section E4;
- The Nature Walk Scattering Area, and
- The Historic Asian Section.

### Land in Section E4

Section E4 is located at the eastern end of the Cemetery. The grades range between 6% and 15%. Several interments were carried out in this burial area, but anecdotal evidence suggested opening and closing was difficult due to the shallow nature of the shale rock base of Dilworth Mountain. Interments in this area were suspended pending further analysis of the ground as part of this master plan. The results of a geotechnical study and test grave digs carried out by Staff in Section E4 in the Fall of 2014 are described in the Ground Conditions Section below.



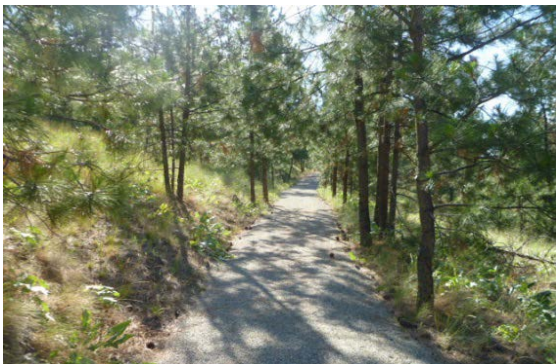
*Figure 26: Sloping ground of Section E4.*

### The Nature Walk Scattering Area

The land on either side of the gravel path has an average grade of between 35% and 50%. This precludes most forms of interment, with the exception of scattering cremated remains.

### The Historic Asian Section

The Historic Asian Section is located below the nature walk scattering area with an average grade of about 6%. Additional burial capacity could be developed by infilling this section.



*Figure 27: Steep sloping ground of the Nature Walk Scattering Area.*



*Figure 28: Sloping ground in the Historic Asian Section.*

## ACCESS AND CIRCULATION

Access and circulation around the Cemetery for both cars and pedestrians is good. The asphalt surfaces of the service roads are generally in reasonable condition. Dry sections of the Cemetery have gravel paths and roads to allow water to penetrate and reach the roots of the trees.

There is an unpaved emergency access route from Section D of the Cemetery down the embankment into the City's Operations yard. The potential opportunity for this route to provide access to the land below should be explored as part of a review of the suitability of the land within City's Civic Operations Yard for use as future burial space.



*Figure 30: Gravel Paths in Section A.*



*Figure 29: Emergency Access Route.*

The extensive network of asphalt service roads provides adequate parking provision for visitors and during peak times when funerals are attended by families and friends.

### Officially Designated Commuter Cycle Route

An officially designated commuter cycle route runs through the Cemetery and connects the neighbourhoods of Dilworth Mountain to the Downtown area. This route is also popular with pedestrians and runners, and forms an important trail connection that could be further integrated into the Rails with Trails network.

There is a 4 kilometre loop from the Rails with Trails intersection with Dilworth Road, over through Omineca Place, carrying on through KMPC and returning to the Rails for Trail at Spall Road. There is an opportunity to provide wayfinding and historic interpretation signage to this audience as part of an overall Cemetery signage strategy.

## GROUND CONDITIONS

Several areas of the Cemetery are being monitored as ground movement has been observed over the last few years including the:

- Zone adjacent to the top of bank forming the southern boundary of the Cemetery, and
- The embankment to Spall Road.

### Top of Bank Forming the Southern Boundary of the Cemetery

Anecdotal evidence and monitoring of specific locations suggests that the zone immediately adjacent to the top of bank forming the southern boundary of the Cemetery has suffered from ground movement or is at potential risk of subsidence.

Ground movement has buckled the road forming the southern boundary of Section B. The top of bank to land south of Section E4 has suffered some subsidence and is being monitored. Land slips have occurred to the bank bounding the south sides of sections B, C, D and E, but the Cemetery has not yet suffered as a result.



*Figure 31: Ground movement has buckled the road forming the southern boundary of KMPC.*

### The Embankment to Spall Road

Geotechnical engineers are currently monitoring movement detected on the embankment along Spall Road.

#### Section E4

Anecdotal evidence regarding past difficulties opening and closing graves in Section E4 prompted the need to further investigate the suitability of this area for development of traditional in-ground burial.

In the Fall of 2014, Geotechnical Engineers reviewed previous studies and borehole investigations undertaken in the eastern half Section E4, and concluded that the ground conditions were suitable for burial purposes (with some caveats). This conclusion was further supported by a series of test grave digs across the western part of Section E4 undertaken by City Staff. The Geotechnical Assessment by Golder Associates, and the Section E4 Test Grave Dig Report by City Staff can be found in Appendix H.



*Figure 32: Cemetery Embankment to Spall Road, Source: City of Kelowna.*

## INFRASTRUCTURE

### Buildings

There are several buildings and structures within the Cemetery. These include:

- The Cemetery Manager's Office;
- The Operations Team portable cabin and storage shed, and
- The tool shed by the Bennett Memorial containing the irrigation controls.



### Manager's Office

The Cemetery Manager's Office forms the central service hub for the Cemetery. It functions as the administrative headquarters, as well as the place where pre-need customers or bereaved families are received to discuss the options for burial. While the building remains adequate for Staff to perform their roles, it no longer provides an acceptable environment in which to receive pre-need customers or bereaved families, and it should be replaced.



*Figure 33: KMPC Cemetery Manager's Office.*

### Operation Team Cabin and Storage Shed

The operations team portable cabin is unsightly, dirty, and poorly maintained. It does not have its own washroom facility for the operations team to use. It needs to be replaced with a facility that meets the operational needs of the maintenance crews and complies with current workplace standards and health regulations.



*Figure 35: KMPC Operations Cabin.*



*Figure 34: KMPC Storage Shed.*

### Tool Shed

The tool shed by the Bennett Memorial containing the irrigation controls was scheduled for demolition, but was retained temporarily due to budget constraints.

It is an old and unsightly building which, combined with the parking area greatly detracts from the pleasant beauty of the Bennett Memorial and ambience of the surrounding lawn burial sections. It is recommended that this building be removed and coordinated as part of a suite of physical upgrades to KMPC.



*Figure 36: The Tool Shed by the Bennett Memorial*

## Irrigation

The existing irrigation system at KMPC is old, inefficient and susceptible to breakage. The City is undertaking an extensive upgrade of the irrigation system to ensure that:

- All lawn areas receive adequate and consistent quantities water, without saturating the ground and inadvertently initiating subsidence;
- Automatic water shut-off valves are in place to stop the possibility of triggering subsidence should a break occur, and
- Adequate water pressure is provided for the irrigation system to function efficiently.



*Figure 37: Ponding of water due to a break in an irrigation line by the Bennett Memorial.*

## GATES AND FENCING

There are two main types of fencing used at the Cemetery:

- Chain-link fencing around the perimeter, and
- A low black metal railing to the Cemetery boundary along Bernard Avenue.

The chain-link fence along Bernard Avenue to the north of Promontory Green is an inappropriate treatment for the approach to the main entry to KMPC. The fence should be replaced as part of a package of physical upgrades to enhance the arrival experience for visitors.



*Figure 38: Chain-link Fence along the Approach to KMPC Main Entry.*

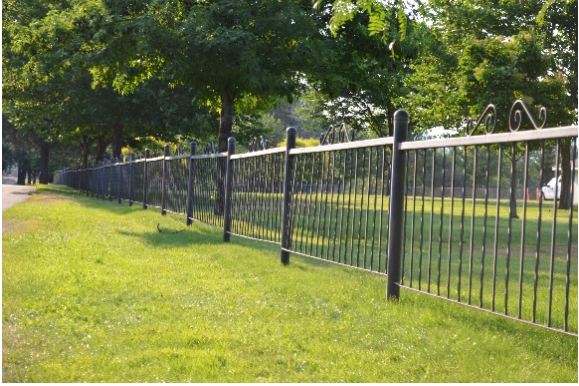
The main entry gates shown in the adjacent photo serve to control access to both KMPC and the works yard to the golf course. They do not celebrate the Cemetery or provide the appropriate arrival experience for visitors.

The low black metal railing and brick piers running along the boundary with Bernard Avenue are not needed, detract from beautiful views across the Cemetery, and should be removed.



*Figure 39: KMPC Main Entry Gates.*





*Figure 40: KMPC Railings along the Boundary of Bernard Ave.*



*Figure 41: Railings and Brick Piers along the Boundary of Bernard Ave.*

### SIGNAGE

The entry, wayfinding and information signage at KMPC is inconsistent in form, municipal in character, out of date, and poorly located. The signage and information provided lacks hierarchy and is inadequate to properly serve the needs of visitors. A wayfinding strategy is needed to upgrade the signage in a holistic and coordinated manner.



*Figure 42: KMPC's Primary Main Entry Sign.*



*Figure 43: KMPC Secondary Entry Sign Immediately Before Cemetery Gates.*

A new monolithic entry sign was recently installed on top of the embankment at the entry to KMPC from Spall Road. Its main audience is drivers approaching from the north along Spall Road or from the west side of the road junction opposite the Cemetery. However it does not relate to those travelling to the south, and given that it is perched above the eye-line of drivers, it is easily missed. The aesthetics of this sign are also not well suited to the character of the Cemetery.

### SITE FURNITURE

Generally the garbage receptacles and benches at the Cemetery are in reasonable condition, and relatively consistent in style. Consideration should be given to the locations of these elements in relation to where visitors need them now and following enhancements to the Cemetery as a result of recommendations that come forward from this master plan.



*Figure 44: Typical Garbage Receptacle at KMPC.*



*Figure 45: Typical Benches at KMPC.*

#### EFFECTS OF THE FUTURE HIGHWAY 33 EXTENSION

The development of the Highway 33 Extension poses the most significant threat to the long term prosperity and success of the Cemetery. The western part the Cemetery along Spall Road is already adversely affected by traffic noise. The advent of the proposed Highway 33 Extension will have a major adverse impact on this part of the Cemetery. The proposed road design will utilize a large portion of land on the southwest corner of the Cemetery. Key impacts of the development of this road in its current alignment include but are not limited to:

- The sterilisation of the western part of the Cemetery for new burial sections due to unattractive views and noise from the Highway 33 extension, and
- An estimated cost of \$3,000,000 incurred by the Cemetery in lost revenue and pro-rata cemetery land replacement costs. This figure represents the potential lost revenue arising from being unable to develop the southwest corner of the property for lots as it will become an embankment to the new road. It also includes the cost of buying new land and developing it for lots equivalent to the land area and number of lots lost to accommodate this road extension.

It is recommended that consideration be given to redesigning the alignment of the Highway 33 Extension to respect and acknowledge the City's cemetery business and the value and service it brings to the community.

#### SUMMARY

The site opportunities and constraints are identified above, summarized in the Site Analysis Plan (found in **Appendix B**) and addressed as part of the recommendations brought forward in the Development Plan Section of this document.

## 6 PRODUCT AND SERVICES REVIEW

This chapter includes an assessment of current cemetery product and service offerings at Kelowna Memorial Park Cemetery (KMPC), their price points and opportunities in which an enhanced suite of services could better serve the community. This section of the Master Plan provides an overview of short and long term improvement strategies, with a focus on providing a community service that is accessible to all residents. Questions addressed in this section include:

1. What are the KMPC's current product and service offerings, and how does the **variety** of offerings compare with neighbouring communities in the Province?
2. What new **opportunities** are available to enhance KMPC product and service offerings that would help to differentiate KMPC from its competitors?
3. What is KMPC's current marketing strategy, and how can the City continue to increase awareness and public perception of KMPC?
4. What is KMPC's current **pricing strategy**?
  - o Does KMPC offer resident/non-resident pricing?
  - o When were the last price increases and have increases covered the impact of inflation?
5. How do the **prices** of KMPC product and service offerings compare with neighbouring communities?
6. What prices for proposed new offerings should KMPC consider?

### 6.1 CURRENT OFFERINGS

#### PRODUCT AND SERVICE VARIETY

Kelowna Memorial Park Cemetery has historically offered rights of interment and interment permits for full casket burial and cremated burial lots, lawn crypts, family estates, columbarium niches, memorial walls, scattering gardens, ossuaries and mausolea crypts.

KMPC also offers canopy services, vases, grave liners, double depth burial, pallbearer service, certain types of monument markers, memorial trees and benches. KMPC currently also provides lowering devices for interments included in the price of interment. Cemetery products and services provided by other Canadian municipal cemeteries that are **not currently offered** at Kelowna Memorial Park Cemetery include:

- Green burial;
- Areas with specific interment requirements;
- Separate in-ground burial lots and interment areas dedicated to Veterans;
- Chapel or graveside value-added services (for diverse religious groups);
- Family vessels and community vessels (large garden-style urns);
- Cremation scattering ponds, and
- A wider variety of styles for accessory products and memorial options, including wreathes, framed pictures, keepsake jewellery, burial containers and plaques.



KMPC no longer offers mausolea crypts for sale at Promontory Green, as all existing inventory has been sold. A limited number of cremation niches remain for sale in Promontory Green and at the Bennett Memorial columbarium. A very limited number of Family Estate plots also remain for sale.

Currently, the range of options for interment (openings and closings in plots, crypts and niches) within KMPC are **above average** compared to other private and public cemeteries in Canada. Diversifying offerings, potentially in partnership with local distributors of funeral products, will assist the Cemetery in continuing to meet this growing need. Broadening the range of options for disposition of cremated remains will help to serve customers as cremation continues to increase. It will also create an attractive spectrum of price points providing greater access to these services for families with different budgets.

Consumers in 2014, including Baby Boomers, are accustomed to having an array of choices for all types of products and services. This demand for choice extends to cemeteries as well. Convenience, ease of decision making and the ability to make necessary arrangements at one location are important considerations for families making funeral and cemetery arrangements.

## MARKETING AND PROMOTION

Marketing at the Kelowna Memorial Park Cemetery is currently guided by a Marketing Plan completed in 2010. The City has also engaged in some partnerships to promote the Cemetery, including initiatives with local cultural associations to restore the historic portion of the Cemetery known as “Section A,” and a partnership with “Friends of the Pioneer Cemetery” to mark unmarked graves in the pioneer section.

## BENCHMARK COMMUNITY COMPARISON

Currently, KMPC offerings provide comparable diversity offered by most competing cemeteries analyzed in this report’s benchmarking study. Exceptions to this include:

- **Lakeview Memorial Gardens** (the private cemetery in Kelowna) – This cemetery offers a wider variety of styles for cemetery products such as burial containers, vaults, plaques, vases, pictures, etc.
- **Lawn Crypts** – KMPC is unique in that it offers lawn crypts. This is not offered by any other regional municipal cemetery, although this option is also offered by Lakeview Memorial.
- **Mausolea** – KMPC no longer has above-ground crypt inventory to sell. Crypts are currently sold by Lakeview Memorial Gardens, the District of West Kelowna, Prince George, Kamloops and Penticton, and
- **Family Estates** – KMPC has a very limited number of family estate plots left to sell. Estates are currently sold by Lakeview Memorial Gardens and the District of West Kelowna. A summary of primary services offered by similar communities for comparison to services offered at KMPC can be found in “**Appendix C: Cemetery Offerings Comparison.**”

## 6.2 CURRENT OPPORTUNITIES

### FAMILY VESSELS

As discussed in the Needs Analysis, the growing trend in the cremation market segment represents a prime opportunity for KMPC. Family vessels provide another opportunity to diversify cremated remains offerings. Family vessels are large, secure containers fixed securely to a stone plinth. They are designed to hold several smaller individual urns that contain the remains of members of one family, or co-mingled remains. Family vessels are a relatively new cremated remains interment option in Canada and will require an allocation of marketing effort to increase the awareness of this new option.

Best practice would suggest that family vessels inventory be implemented in phases, responding to demand, with small numbers of inventory on hand to show to customers. Family vessels can be strategically located at attractive positions adjacent to scattering gardens, columbaria and paths.



*Figure 46: Family Vessel, Royal Oak Burial Park, Victoria BC.*

### COLUMBARIA NICHE

KMPC can further leverage the growing cremation market, by adding additional high quality columbaria on site. The Promontory Green cremated remains interment options have historically experienced significant success with niches selling quickly, driving the cemetery's market capture of cremated remains above average for the industry. Continuing to offer a variety of high quality niche offerings is recommended.

### GREEN BURIAL

In addition to standard services provided by BC cemetery operators, "green burial" (also known as "natural burial," "country burial" and "woodland burial") is an emerging as a new, full body interment option that KMPC may wish to consider. While green burial represents a small portion of the overall market in Canada, trends indicate demand is increasing. The recently established Green Burial Society of Canada (GBSC) has a growing membership participating in the Green Burial Council certification system.

Generally, green burial is defined as traditional earth burial incorporating at least two of the following elements:

- Does not include embalming;
- Use of a simple casket or shroud;
- Does not include use of concrete grave liners;
- Simple memorialization, and
- Some aspect of habitat or ecosystems enhancement.

It is important to recognize that the principles of green burial can be applied to a diverse range of landscapes. For example, Lakeview Cemetery in Penticton, BC is developing a green burial section within an existing ponderosa pine and grassland habitat indigenous to the Okanagan. Additional information on green burial is summarized in “**Appendix G – Green Burial**”.



*Figure 47: Green Burial Section-Royal Oak Burial Park, Victoria, BC.*



*Figure 48: Precedent image of an Okanagan landscape for Green Burial.*

## MAUSOLEA AND SPECIALIZED INTERMENT AREAS

There is demand from within the community in Kelowna for interment options that require some burial areas to have specific characteristics and amenities not currently available at KMPC. Often these burial areas need to facilitate and respect particular interment practices.

The provision of specialized interment areas will enable KMPC to expand the variety of interment options it is able to offer families. This will allow KMPC to further serve the needs of a broader spectrum of the community with various cultural preferences. Mausolea are example of a product that will continue to meet the needs of those in the community with a preference for above-ground casket interment.



*Figure 50: Precedent Image Mausolea, Lakeview Cemetery.*



*Figure 49 Mausolea, Promontory Green, KMPC.*

## MARKETING, PROMOTIONS AND PROGRAMMING

There is an opportunity to improve the Cemetery's market share by investing in marketing initiatives and community engagement programs. This would serve to increase awareness of the cemetery, strengthen relationships with the community and partner organizations, and attract more families to choose KPMC.

There are several methods used successfully at other Canadian cemeteries to advertise their presence that could be employed at KPMC. Building on the Marketing Plan, these initiatives include:

- Promoting the Cemetery through appropriate media (enhanced website, brochures, and press releases);
- Developing programs to host community, religious, cultural and historic events at the Cemetery;
- Providing enhanced education and interpretation opportunities linked to school curriculums, and
- Connecting with community partners to develop programs that utilize the Cemetery for its natural and wildlife value with opportunities to see indigenous species, especially birds.



*Figure 51: The Pioneer Cemetery Section*



*Figure 52: Precedent Image: Cemetery Tour, Source: American Cemetery and Cremation.*



*Figure 53: Wildlife in KPMC, Source: City of Kelowna.*

## 6.3 PRICING STRATEGY

### KEY FINDINGS - RESIDENT VERSUS NON-RESIDENT

In 2014, KMPC began recording, reporting and tracking the proportion of customers who are resident in the City of Kelowna, and those who are non-residents. According to the City of Kelowna Cemetery Bylaw 8807:

- **“Non-resident”** shall mean any person who has not resided or owned property within the boundaries of Kelowna for a period of **twelve (12) months** preceding the purchase of a right of interment in a cemetery plot.

Current pricing policies require non-resident customers to pay an additional 25% to all base fees, for plots, niches and scatterings. However, KMPC does not currently differentiate between **opening and closing services** for residents and non-residents.

Canadian cemeteries that offer differential pricing often also do so for services, as well as lots, niches and crypts. For example, the cemetery operators at Castlegar, Creston and the District of West Kelowna all charge higher rates for non-resident interments (with extra fees ranging from \$75 to \$200 higher than the resident rate).

KMPC currently includes the fee for opening and closing when selling certain products to a pre-need customer (a customer who buys their plot well in advance of requiring it). However, this practice will create a growing liability for KMPC as the cost of opening and closing in perhaps 20 or 30 years' time is unlikely to be covered by the price paid by the pre-need customer.

### KEY FINDINGS - PRICING STRATEGY

Cemetery fees remained static between 2009 and 2011. Fees were increased in 2012 by 5%, and again in 2013. Currently, fee increases have been approved at 2% per year for the period 2014-2016. The majority of Canadian municipal cemeteries include annual price increases of a minimum of 2% to cover the effect of the average annual increase in the cost of living.

Municipal cemeteries are increasingly choosing to raise prices from 3-5% annually in an effort to move towards increased long term sustainability. For example, both Prince George and Kamloops anticipate price increases of 5% per year in the upcoming years. The City of Penticton raised its prices significantly in 2014, and anticipates price increases of 3% per year over the coming years.

## 6.4 PRICING BENCHMARKING

### KEY FINDINGS – KMPC PRICES COMPARED TO BENCHMARK COMMUNITIES

This fee review compares KMPC cemetery fees to those in the surrounding communities, as well as communities of similar size and competitive environments in BC. A summary of prices for all primary offerings at benchmark communities is in **“Appendix C: Cemetery Offerings Comparison.”**

The pricing benchmark study and market review confirms that KMPC's cemetery rates listed in the Cemetery By-law are:



- **Comparable** to benchmark communities for the majority of **adult traditional plots** rates, except for KMPC's Cemetery Sections A and B. The rates in these sections are below average, but lots here are currently sold out. Kelowna's plot rates are generally lower than Lakeview Memorial (the private cemetery in Kelowna) and Prince George, but less expensive than all other cemeteries reviewed.
- **Below average** for **child and infant plots** rates, by 60% for child plots and by 40% for infant plots. Kelowna's child plot rates are lower than all other cemeteries reviewed. The reason for this is that the City views the interment of children and infants as a service to the community as part of the spectrum of interment and memorialization options provided by KMPC.
- **Below average** for its lowest priced **cremation plots** rates by 46% compared with benchmark communities, for plots in Sections C and D,
- **Comparable** to highest priced family **cremation plots** rates in benchmark communities.
- **Comparable** to benchmark communities for the majority of **mausolea crypts** historically sold. However, Lakeview Memorial (the private cemetery in Kelowna), and Prince George both offer **high end offerings rate up to 64%** higher than Kelowna's most expensive crypt. Kamloops and Vernon do not currently sell mausolea crypts.
- **Comparable** to lowest cost **columbaria niches** in benchmark communities. However, Lakeview Memorial, Kamloops and Prince George both offer **high end offerings with rates up to 125%** higher than Kelowna's most expensive niche.
- **Comparable**, but slightly lower **traditional burial (opening/closing)** prices than those in benchmark communities. Kelowna's traditional interment rates are lower than Lakeview Memorial (the private cemetery in Kelowna), Kamloops and Prince George, but more expensive than all other cemeteries reviewed.
- **Comparable** for **cremated remains burial (opening/closing)** prices in benchmark communities. Kelowna's cremated remains interment rates are lower than Lakeview Memorial (the private cemetery in Kelowna), but more expensive than all other cemeteries reviewed.
- **Comparable** for **mausolea crypt entombment (opening/closing)** prices in benchmark communities. Kelowna's entombment rates are lower than Lakeview Memorial (the private cemetery in Kelowna) and Prince George, but more expensive than other cemeteries reviewed, and
- **Comparable** for **niche inurnment (opening/closing)** prices in benchmark communities. Kelowna's inurnment rates are lower than Lakeview Memorial (the private cemetery in Kelowna), and Kamloops, but more expensive than all other cemeteries reviewed.

KMPC is unusual and **above average in best practices** with respect to its handling of **scattering gardens**. Most cemeteries, offer a single rate for the scattering of ashes in gardens. In contrast, KMPC offers a high end interment garden, ossuary option with name plate for \$550, and plans to offer a lower end scattering trail and/or Promontory Green garden scattering for \$150. Both of these rates include a contribution to the Replacement and Maintenance funds. The majority of industry cemeteries do not allocate a portion of scatter garden sales to these Funds.

## 6.5 RECOMMENDATIONS – PRODUCTS AND SERVICES REVIEW

To align Kelowna with best practices in cemetery services and communicate KMPC's commitment to delivering enhanced value to the community, it is recommended that KMPC:

### INCREASE PRODUCT AND SERVICE DIVERSITY

- Continue to offer above average **product and service diversity** comparable to other regional cemeteries. Given the site's characteristics, standard regional offerings, and current market trends, KMPC should prioritize developing and adding:
  - Additional columbaria niches;
  - Additional above ground (mausolea) crypts;
  - Additional In-ground cremation lots;
  - Additional traditional burial lots;
  - Family vessels;
  - Burial areas to serve specific interment requirements;
  - Green burial;
  - Additional separate in-ground full burial lots and in-ground cremation lots dedicated to infants and children, and
  - A wider variety of styles for accessory products and memorial options, including wreathes, framed pictures, keepsake jewellery, burial containers and plaques.

### INCREASE MARKETING AND PROMOTION

Continue to implement the Marketing Plan (2010) with an emphasis on the following actions.

- Promote KMPC through appropriate **media**:
  - Enhance the KMPC **webpage** to include: a listing of upcoming events, and links to hospice, bereavement and memorialization sites;
  - Create a professional **brochure**, that includes information concerning the history of the Cemetery, and
  - Issue **press releases**, when for example, new services or products are instituted, new employees are brought on to the team and as new burial areas or feature areas are opened.
- Engage the community by hosting community, religious and historic **events** at KMPC:
  - For example, work with school children and the "No Stone Left Alone Memorial Foundation" to decorate all veteran's graves in the week leading up to Remembrance Day (November 11<sup>th</sup>). Father's and Mother's Day are also opportunities for regular events.

- Increase **education and interpretation** opportunities:
  - Establish and promote a guided and non-guided walking tour, with:
    - A **self-guided cemetery map**, and
    - A **historical brochure** about the history of the Cemetery site, their notable gravesites, natural and cultural histories.
  - Enlist the aid of students/cooperative programs, and integrate student tours as history class field trips;
  - Enlist the aid of local volunteers interested in genealogy and decedents being buried near to ancestors, and
  - Develop partnerships with genealogical societies, historical societies, schools and others to assist in the development and delivery of the materials and tours.

#### **ADOPT A ONE TIME PRICE INCREASE TO ALIGN WITH BENCHMARK COMMUNITY CEMETERY PRICES**

- In 2016, align KMPC's prices with neighbouring communities by:
  1. Increasing the lowest cost cremation plot rate to **\$500** for Residents + 25% for Non-Residents;
  2. Offer Child Plots at a rate of **\$500** for Residents + 25% for Non-Residents;
  3. Offer Infant Plots at a rate of **\$375** for Residents + 25% for Non-Residents;
  4. Offer Child Opening/Closing at a rate of **\$400** for Residents + 25% for Non-Residents;
  5. Offer Infant Opening/Closing at a rate of **\$300** for Residents + 25% for Non-Residents;
  6. Offer Green Burial Opening/Closing at the similar rates to those charged for similarly-sized traditional casket graves at KMPC;
  7. Offer a wider variety of high quality columbaria niches options and price points. KMPC could offer high-end premium niches valued as high as **\$6,000-8,000 per niche**;
  8. Offer Family Vessels (**\$9,500** for large - 6 remains per vessel, **\$7,500** for medium – 4 remains per vessel, and **\$6,000** for small – 2 remains per vessel), and
  9. Offer Family Vessels Opening/Closing at a rate of **\$200** for Residents + 25% for Non-Residents.

#### **IMPROVE THE PRICING STRATEGY MOVING FORWARD**

- Differentiate all prices for opening and closing, by residents and non-residents by 25%;
- Cease the practice of selling the cost of opening and closing of lots to pre-need customers, and

- From 2017 forward, increase all prices annually, at minimum by the rate of inflation up to as high as 5% per year. (This recommendation is refined in the financial plan where the optimal rate is identified to achieve long term sustainability. This ensures cost recovery of equipment, materials and employee time to deliver services, as well as administration and supporting overhead.)

It is important to note that raising prices risks decreasing revenue due to lost market capture, particularly from pre-need sales. The effect on sales can be mitigated by enhanced customer service and community engagement.

The recommended price increases outlined in this section are a demonstration of the type of increases that are necessary to meet the financial goals of KMPC. Guided by these recommendations, the City will be well placed to set actual prices that will lead KMPC towards long term financial sustainability.

## 7 FINANCIAL PLAN

This section includes an assessment of KMPC's financial bottom line, maintenance and operations costs, with a focus on generating a financially sustainable cemetery operation that limits, if not eliminates the load on the tax base. This section of the Master Plan includes a sensitivity analyses generated by LEES+Associates' Cemetery Business Case Analysis Tool (CBCAT) and establishes a 'road map' so that Staff can effectively set realistic timeframes for cost recovery and planning of capital budgets. Questions addressed in this section include:

1. What is KMPC's current operating financial position (operating revenue minus operating expenses)? What is the average annual net profit/loss and/or tax subsidy?
2. What are KMPC's revenue and expense drivers? How does this compare to other cemeteries?
3. What are the KMPC current records management and performance measurement policies and practices?
4. What is the profit and loss projection under **status quo** conditions, assuming no changes to practices and market capture? Will KMPC break even and when will this take place?
5. What changes to KMPC will most effectively improve KMPC's financial position and meet the expected demand from the community?
6. What is the profit/loss projection under an **alternate strategy**, after changes are made to prices, practices and expenses? Will KMPC break even? When will this happen?

In summary, the following flow chart summarizes the process involved in this financial plan:



Figure 54: Financial Plan Processes Flow Chart, Source: LEES+Associates.

### HISTORIC FINANCIAL PERFORMANCE

From 2009 to 2014, at KMPC:

- **Total revenue** (including investment interest) annually averaged **\$512,000**.
- **Total expenses** annually averaged **\$584,000**.
- Revenue has historically covered **88%** of expenses.
- **Total net loss** (total revenue minus total expenses) annually averaged was **\$72,500**.

From 2009 to 2014, KMPC maintained three Reserve Funds which earn interest:

- The Care and Maintenance Fund;
- The Replacement Fund, and
- The Cemetery Operating Reserve Fund.



The **Care and Maintenance Fund** and the **Replacement Fund** receive annual contributions from the sale of cemetery plots, niches, crypts and scattering of cremated remains. Care and Maintenance Fund contributions are required by provincial law to be transferred to the reserve.

While contributing to the Replacement Fund is not a legal requirement, it represents best practice, and is a prudent and more financially sustainable method of saving and paying for capital development projects in the Cemetery than for example, borrowing funds from a financial institution or utilizing tax payer dollars.

Contributions to the **Cemetery Operating Reserve** fund come from any annual excess of revenue over expenses. It is KMPC's policy that in any year where expenses are higher than revenue, the balance is appropriated from this reserve (rather than from tax subsidies). In most years to date, however revenue has not exceeded expenses and this reserve has not had adequate funds to make up the revenue gap in leaner years. The balance as of January 2015 is \$2,402.93.

The following graph is a "snap-shot", summarizing KMPC's operating financial position from 2009 to 2014.

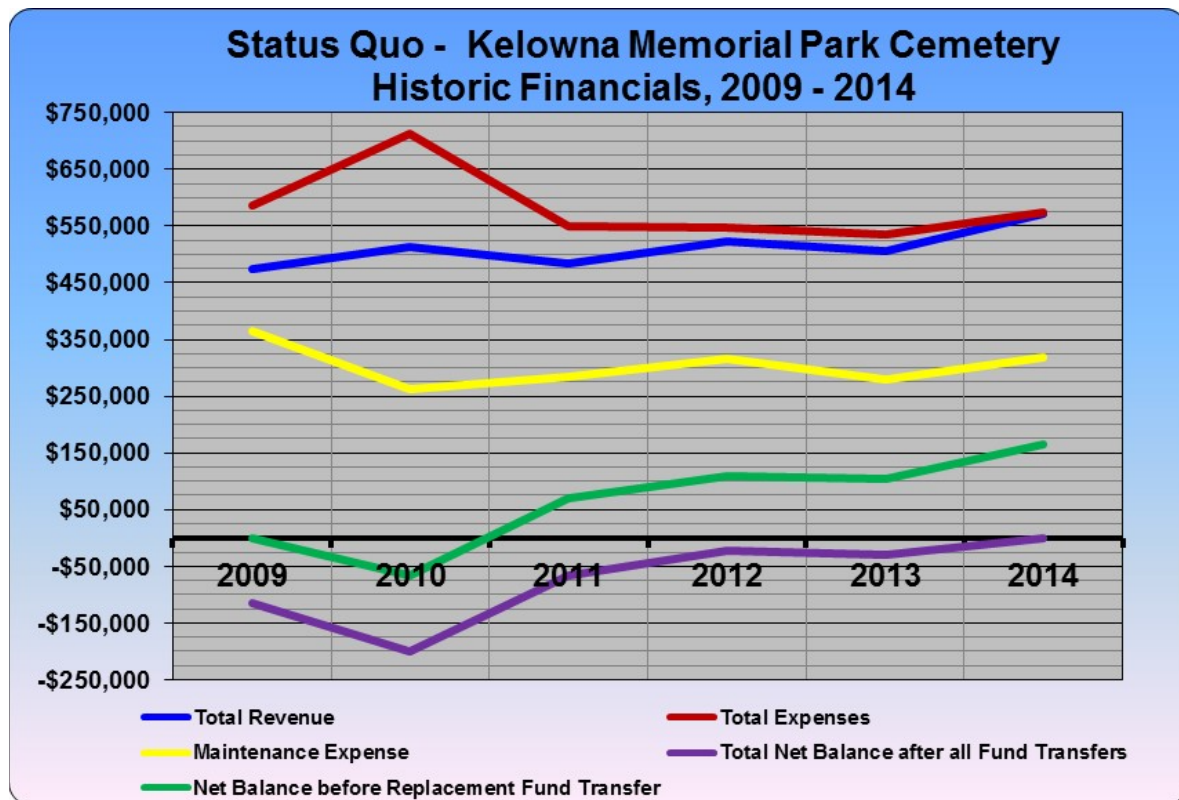


Figure 55: Status Quo Financial Summary, 2009-2014.

This "snap-shot" only includes revenue and expenses that affect the Cemetery's General Operating Fund. Capital development costs have been historically reported against the Cemetery Replacement Fund and are therefore excluded from the historical "snap-shot."

In 2010, the 'peak' in Total Expenses was due to the remaining portion of the loan for Promontory Green becoming due. This had the effect of increasing costs and decreasing the Total Net Balance.

#### REVENUE + EXPENSE PERFORMANCE DRIVERS

From 2009 to 2013, the Cemetery's total net loss steadily decreased by 74%, to \$30,000 in 2013. Measured over the period 2009 to 2014, KMPC's revenue increased **21%** and expenses decreased **9%**. Total net loss decreased by **99%**, to only **\$1,500 in 2014**.

The improvements in the financial position of the Cemetery can largely be attributed to the work of Staff who had identified the need and had taken some initial steps to increase revenue and reduce costs prior to this report. Staff have continued a policy of early adoption of many of the recommendations in this report which has brought the Cemetery to the brink of breaking even.

If the measure of financial performance was taken before contributions to the Replacement Fund were transferred, KMPC would have posted an annual average profit of \$63,000 over the last six years.

Reductions in expenses were achieved in various ways over the past six years. Valley Maintenance was the external contractor that historically provided maintenance at KMPC. It lowered its fees in 2009 due to increased competition. Also in 2013, 1.5 clerical staff was reduced to 1 clerical position for the cemetery.

Maintenance historically composed **52%** of expenses. This is lower than the industry average for Canadian municipal cemeteries which often experience **60-70%** of their total costs for cemetery site maintenance. Contracted services at KMPC include security, weed control, marmot control and fountain cleaning at the Cemetery site.

Marketing has historically been **2%** of revenue. This is above average for Canadian municipal cemeteries which often invest less than **1%** in marketing. High-end cemeteries competing on premium quality and product diversity, often invest **3-5%** of gross revenue in marketing and community engagement.

Revenue came from the following sources: **17%** from burial permits, **65%** from plot sales (after Care and Maintenance Fund and Replacement Fund contributions) **3%** from Care and Maintenance Fund interest and **15%** from other sources (e.g. the sale of liners, plaques, disinterments, weekend/holiday and late fees).

Cemetery revenue can be further allocated by the form of disposition. Cemetery expenses can be further allocated by internal and external labour, material cost of sales, marketing and other expenditures.

These historic revenue allocations are as follows:

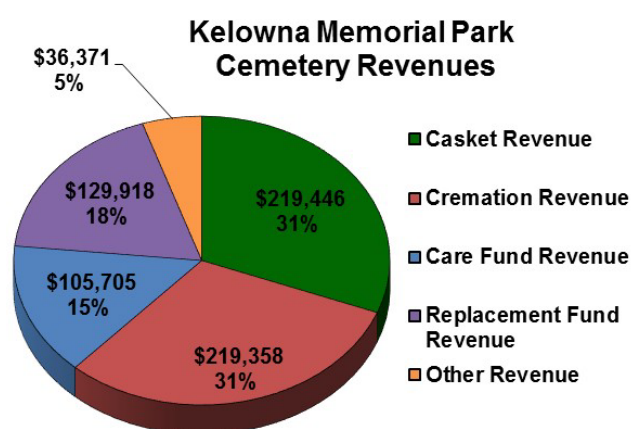


Figure 57: Historic Annual Revenue for KMPC 2009 - 2014, Source: City of Kelowna.

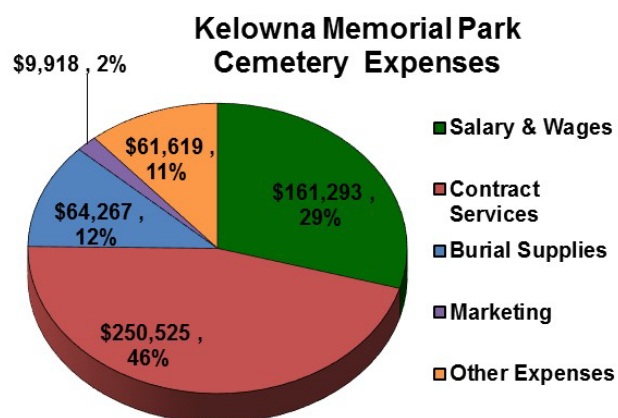


Figure 56: Historic Annual Expenses for KMPC 2009 - 2014, Source: City of Kelowna.

The following table summarizes the 2014 prices, direct costs and net margin achieved from delivering interment (opening and closing) services at KPMC.

Interment Service	2014 Open & Close Price	Direct Costs to Deliver	Net Margin
Full Sized Plot Interment	\$800	\$456	\$344
Cremated Remains Plot Interment	\$350	\$76	\$274
Columbaria Niche Inurnment	\$350	\$38	\$318

Table 9: Cost per Interment, Source: City of Kelowna.

**Net Margin** is the price per unit of sale minus the direct operating cost to deliver the service or product.

**Direct operating costs include** average cost of staff time, equipment and fuel costs for each type of interment. Full sized plot interments entail 2 staff (at \$31.00 per hour) and equipment (at \$45.00 per hour) for 3 hours. Cremated remains interments entail 1 staff and equipment for 1 hour, at the same rates. Columbaria niche inurnments entail 1 staff and equipment for half an hour, at the same rates.

The Net Margin on interment services achieved by KMPC is above average when compared with the majority of Canadian municipal cemeteries. The Net Margin is put towards financing the indirect costs of operations including care and maintenance of the cemetery, supplies, and administrative overheads. Increasing the Net Margin further to ensure adequate resources are available to provide quality service and site presentation is a best practice.

## PERFORMANCE DRIVERS – RECORDS MANAGEMENT + MEASUREMENT

### Financial Reporting

The City currently utilizes a custom cemetery management software system that has been developed in-house. There is an immediate opportunity to enhance the City's **Chart of Accounts** and financial reporting for the purpose of performance measurement by updating existing, or creating new revenue and expense accounts that enable the generation of reports that more easily inform Staff of trends (e.g. changes in demand) and which cemetery offerings are the most profitable (e.g. profitability may seasonally decrease in the winter when more time is required for burials or contract changes in labour rates). Ideally, City Staff should be able to use the Chart of Accounts to produce reports that easily and separately identify:

- **Expenses** such as cemetery maintenance costs, cost of sales (expenses to deliver each type of service) and marketing costs;
- **Revenue** such as burial permits and interment rights by interment type (casket burial, cremation burial, niche, etc.), residency, at-need and pre-need categories, and
- **Inventory** categorized by the number of lots for inventory sold and occupied, as well as for those sold and still awaiting interment.

A sample, enhanced accounting system infrastructure can be found in **Appendix D** to guide development of an enhanced chart of accounts.

### Operational Reporting

The City's current cemetery software management system can be challenging for to Staff use. Some cemetery records information is known to be inaccurate due to the information being entered into the system incorrectly. This has sometimes undermined the reliability of reports generated for Staff with which to manage the Cemetery. Currently, KPMC gravesites are not mapped "live" (available via mobile platforms), and records are not linked by GIS to the lot layout of the site.

We recommend that within the next 5 years that KMPC move to a Canadian proprietary cemetery sales, revenue and records management software system such as **Stone Orchard Software** that would better serve the needs of cemetery management team to optimize the financial and customer service performance of KMPC. Stone Orchard Software does not generate operational or capital expense information but it is able to link to most municipal accounting systems.

Stone Orchard Software is easy to use and works with the specific legislation requirements of BC, and it has Canadian terminology. It offers quick and easily delivered information and customized, cemetery-specific reports matching industry best practices.

It is a custom solution for Staff that simplifies record keeping, retrieval, access and updates, and greatly simplifies responding to customer questions and requests. It connects to MS Word so that documents are as fully customizable as possible. It has a Kiosk component where visitors can conduct searches, and where Memorial Displays can be posted. It also has a Tablet and Mapping component that links to cemetery maps reporting its interment status in real-time. Finally, Stone Orchard Software is compatible with iCemetery (Smartphone App) and GIS cemetery mapping.

iCemetery is a mobile application (app) designed by Stone Orchard Software to provide an easy, convenient tool for grave location and records management. iCemetery is a valuable app to assist families searching for the graves of relatives or conducting genealogy research. GPS and GIS maps are accessed through the iCemetery tool, facilitating cemetery operations and administrators ability to locate a grave or headstone.

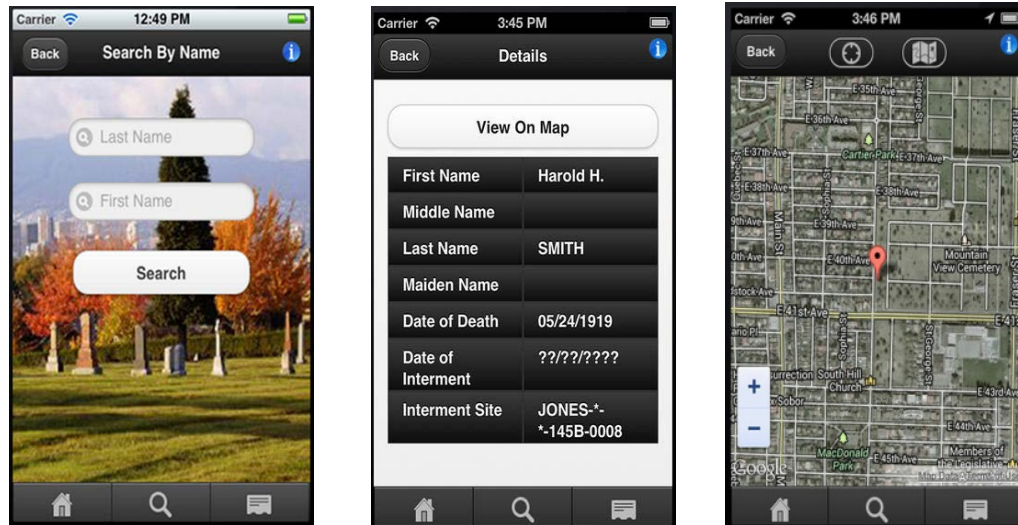


Figure 58: iCemetery iPhone Screenshots, Source: LEES+Associates.

## 7.1 FINANCIAL SCENARIOS – SENSITIVITY ANALYSIS

A sensitivity analysis (testing the effects of different variables on performance) was undertaken for financial scenarios prepared in this plan. LEES+Associates utilized the Cemetery Business Case Analysis Tool (CBCAT™), an integrated planning tool developed specifically for tracking municipal interment trends, population changes and cemetery services. The CBCAT incorporates baseline data, current revenue, projected revenue and costs in a template used for planning.

Two financial scenarios were prepared from the Needs Analysis projections, historic data from the City, and trends observed in similar municipalities. These include:

1. **Status Quo Scenario:** Financial projections resulting from continuing with current practices, and a
2. **5 Year Cost Recovery Scenario:** Financial projections after changing current practices by increasing fees, expanding services and implementing a marketing plan.

The following **assumptions** are incorporated into all scenarios reviewed in this Master Plan:

- Annual cost increases are driven by the estimated, future **inflation rate of 2.0%**;
- **Maintenance expenses** include commitments KMPC would be obligated to cover if the Cemetery became inactive – assuming the same level of care was retained. This includes a projection of annual maintenance cost based on an average annual increase of 2% from 2016, additional costs such as the City gardener (to maintain flower beds), the City arborist as needed, and an Irrigation technician;



- KMPC will have sufficient capacity to meet the projected demand, and will develop additional inventory as needed. This cemetery will remain active over the next 50 years, and
- **Extraordinary items** and capital costs are excluded from all financial scenarios. Therefore, “Total Expenses” reported for each scenario only include the expected operating costs for KMPC.

#### KEY FINDINGS - SCENARIO 1 - MAINTAINING THE STATUS QUO

Scenario 1 examines the outcome of Cemetery operations in the case where all of the City's practices continue as-is, with only the external environment (demographic and industry trends) expected to change. In this scenario, KMPC does not initiate any internal operation changes, prices continue to increase at **2% per year** (matching the expected cost of inflation), and the assumed inflation and market capture rates remain constant.

The following graph highlights changes to revenue, expenses and net balance under Scenario 1.

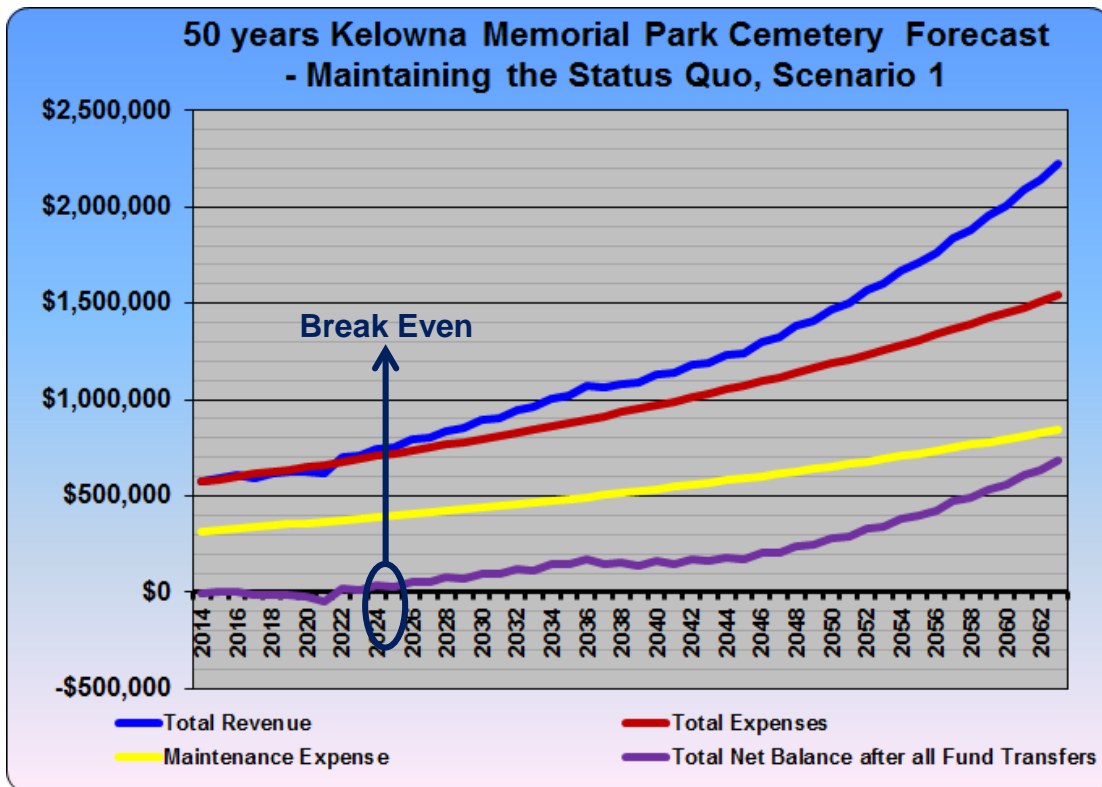


Figure 59: Financial Scenario 1- Maintain Status Quo, 50 Year Financial Forecast.

Overall, KMPC's current financial position is strong. Canadian municipal cemeteries of similar size traditionally operate at a much more substantial loss, subsidizing operations with tax dollars.

In Financial Scenario 1, KMPC will consistently break even in about **10 years**, due to growth in demand from the Baby Boomer market.

Revenue is driven by demand and even with minimal price increases, sales are expected to outpace the growth of expenses driven by the **slower rate of inflation**. In 25 years, KMPC could expect profits to grow to **\$65,000** per year (after transferring contributions to the Care and Maintenance Fund and Replacement Fund).

#### KEY FINDINGS - SCENARIO 2 – 5 YEAR COST RECOVERY

Scenario 2 examines the outcomes of swiftly moving the Cemetery system towards full cost recovery and eliminating the need for subsidies drawn down from the Replacement Fund. In this scenario, a new strategy was generated to identify the changes required to achieve full operating cost recovery within 5 years.

On the revenue side of the equation, this scenario increases investment in marketing and community engagement and subsequently increases KMPC's market capture and sales by a minimum of **3% over the next 3 years** (averaging a 1% increase per year). Sales growth will also be enhanced by the one-time **price adjustment in 2016** (proposed in the Product and Services Review), a **5% annual price increase** for 10 years and annual increases of 2% from 2027 forward.

On the expense side, additions to this scenario include new **marketing** costs, equal to **3% of forecast revenue** (higher than the historic 2% of revenue). It also includes budgeted increases for contract services and inflation. The following graph highlights changes to revenue, expenses and net balance under Scenario 2.

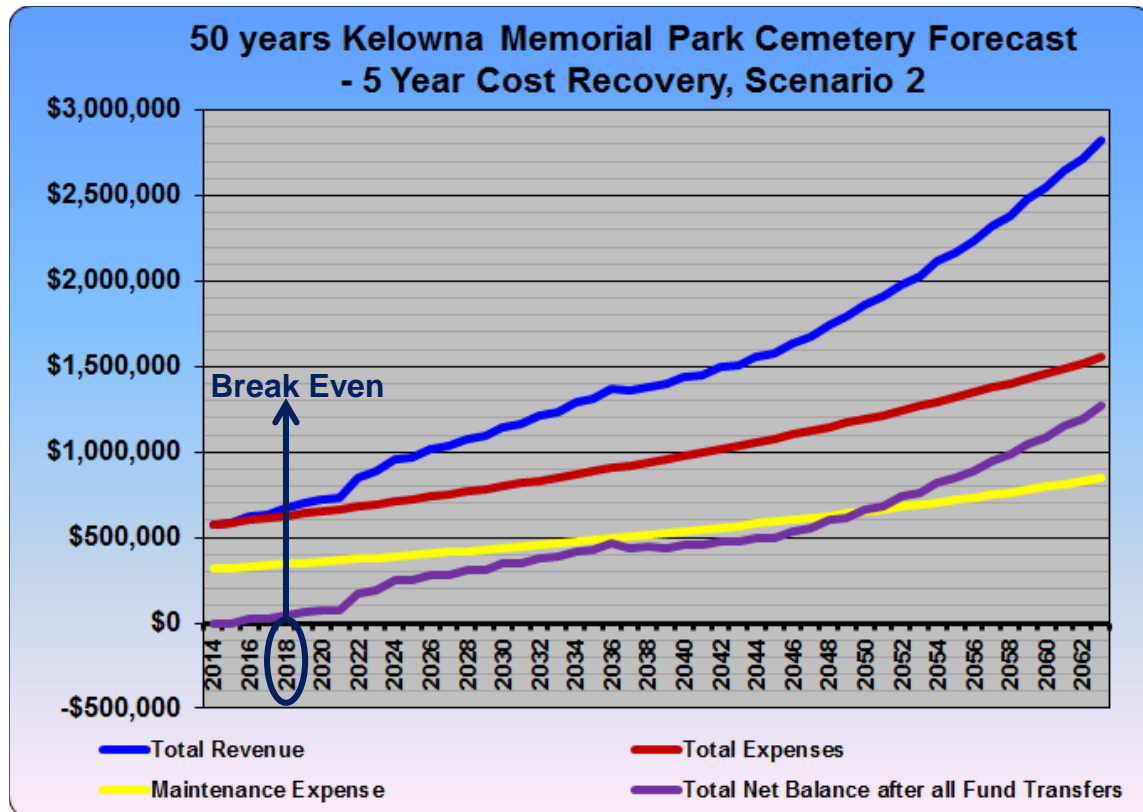


Figure 60: Scenario 2, Five Year Cost Recovery, 50 Year Financial Forecast.

In this scenario, KPMC is projected to consistently break even within **5 years**. In 25 years, annual profits could grow as high as \$440,000. These profits should be transferred into the Care and Maintenance Fund and the Replacement Fund.

If KPMC experiences a similar level of success at the proposed Legacy Gardens premium cremation precinct (see the Development Plan in Section 8.0) as at Promontory Green then it is likely KPMC will break-even before 2020, and annual profits will be higher than projected in this scenario.

## 7.2 CARE AND MAINTENANCE FUND AND REPLACEMENT FUND

This section of the financial plan includes a detailed assessment of KPMC's Care and Maintenance Fund. It also includes a review of KPMC's Replacement Fund used for developing cemetery infrastructure and new interment and memorialization inventory. The adequacy of these funds is a key sustainability measure for this municipal business unit. Questions addressed in this section include:

1. What is the current status of the Care and Maintenance Fund and the Replacement Fund?
2. What are the current investment policies, historic contributions and rates of return, and how do these compare with other cemeteries in the industry and provincial regulations?
3. How will KPMC's Care and Maintenance Fund and Replacement Fund balances change under status quo conditions in the future?
4. Under status quo conditions, what gap will there be between interest income and the cost of care and maintenance in 50 years, assuming KPMC becomes inactive at that point?
5. What policy changes are required to close this gap and secure long term sustainability, and
6. How will KPMC's Care and Maintenance Fund and Replacement Fund balances change under alternative Financial Scenario 2?

### CARE AND MAINTENANCE FUND - BEST PRACTICES + LEGAL REQUIREMENTS

A key factor in cemetery viability is the adequacy of its Care and Maintenance Fund (C&MF). British Columbia cemeteries are required by law to maintain a Care and Maintenance Fund, which is created by depositing a percentage of revenue from products and services sold. Details concerning BC legislation can be found in “**Appendix E: Care and Maintenance Fund Legislative Requirements.**”

The purpose of the Care and Maintenance Fund is to provide a future source of income generated from interest earned on the principal sum, which would cover future maintenance costs after the Cemetery is no longer generating revenue from selling lots and interments. The aim is to ensure that the annual interest income covers the full cost of care and maintenance in perpetuity, eliminating the need for annual subsidies from the City utilizing tax dollars.

While a cemetery is active and generating revenues, only the interest on the principal sum may be withdrawn. However cemeteries that are the most financially sustainable in the long term leave the interest within the fund to **compound** over time.

Fortunately, maintenance standards are normally reduced when a cemetery becomes inactive and the cost of care and maintenance decreases by **approximately 50%**.

Best practices for the strategic planning of a Care and Maintenance Fund include:

1. Charging the appropriate **percentage contributions from sales** and transferring them to the Fund. The most financially sustainable cemeteries often choose to contribute more than the minimum percentage required by law;
2. Effective investment practices to maximize **interest returns**. The benchmark interest rate for Canadian municipalities currently ranges from **2%** to **5%**. The most financially sustainable cemeteries retain annual interest within the Fund, rather than withdraw it annually to cover current costs, and
3. Tracking **maintenance costs** for each site, which can then be projected into the future, based on the expected rate of inflation and then reduced by 50%. Identifying non-maintenance expenses such as sales and opening/closings costs is important as these will no longer be incurred once a cemetery becomes reliant on the Care and Maintenance Fund interest income.

## CARE AND MAINTENANCE FUND - CURRENT STATUS

### Contributions from Sales

It is worth noting that KMPC's Care and Maintenance Fund contribution practices **are above industry standard**. Many municipalities choose to only contribute the minimum percentage required by provincial legislation. In BC, this minimum is 25% of plot sales, 10% of columbaria and 10% of mausolea sales.

However, the price benchmarking review in "**Appendix C: Cemetery Offerings Comparison**" reports an average of sample BC community benchmarks contribution rate as being higher than the provincial minimum - at 30% of plot sales, 20% of columbaria and 15% of mausolea sales.

This trend is supported by several other BC price benchmarking surveys performed by LEES+Associates in the past two years. KMPC contribution practices exceed even these high standards (but are not excessive in the current low interest rate climate), at 50% of the plot, 15-25% of columbaria and 20% of mausolea base prices.

### Interest Income

Historically, KMPC has withdrawn the interest generated by its Care and Maintenance Fund annually, and has used it to offset current costs. Therefore the only source of growth for Care and Maintenance Fund comes from the annual contributions from plot and niche sales.

The interest rate earned by KMPC's Care and Maintenance Fund has been lower than other Canadian municipal cemeteries. The average annual interest from 2009 to 2014 for KMPC was

approximately **1.0%**. The Care and Maintenance Fund is currently retained in the KMPC bank account, with monthly interest terms of 1.25%.

In contrast, the historic interest earned by Canadian municipal cemeteries over this same period ranged from **2% to 5%**. In addition, further evidence that KMPC has an opportunity to earn higher returns by investing is demonstrated by the success of KMPC's Replacement Fund which earned approximately **3%** in interest from 2009 to 2013.

#### Projected Maintenance Costs

KMPC is incurring \$300,000 annually in maintenance costs at its current standard of care. In 50 years, it is estimated that the annual maintenance cost at the current level of care will be **\$845,000** due to inflation. This could be as low as **\$423,000** under inactive status. Therefore, \$423,000 is the projected minimum amount of interest income needed to maintain the cemetery in 50 years. If the City is prepared to subsidize this cost through the foreseeable future then the Care and Maintenance Fund balance is not a major issue. If, however, the City wants to reduce that liability, a strategy to increase the Care and Maintenance Fund balance (and interest generated) is required.

#### Historic Growth and Balance Size

From 2009 to 2014, KMPC's Care and Maintenance Fund increased **41%**, to the current balance of **\$2,325,000**. However it remains significantly underfunded. If sales were to cease today, there would be insufficient income at the historic rate of return (only \$23,250 per year) to cover the cost of care and maintenance.

The following graph is a "snap-shot", summarizing KMPC's Care and Maintenance Fund position from 2009 to 2014.

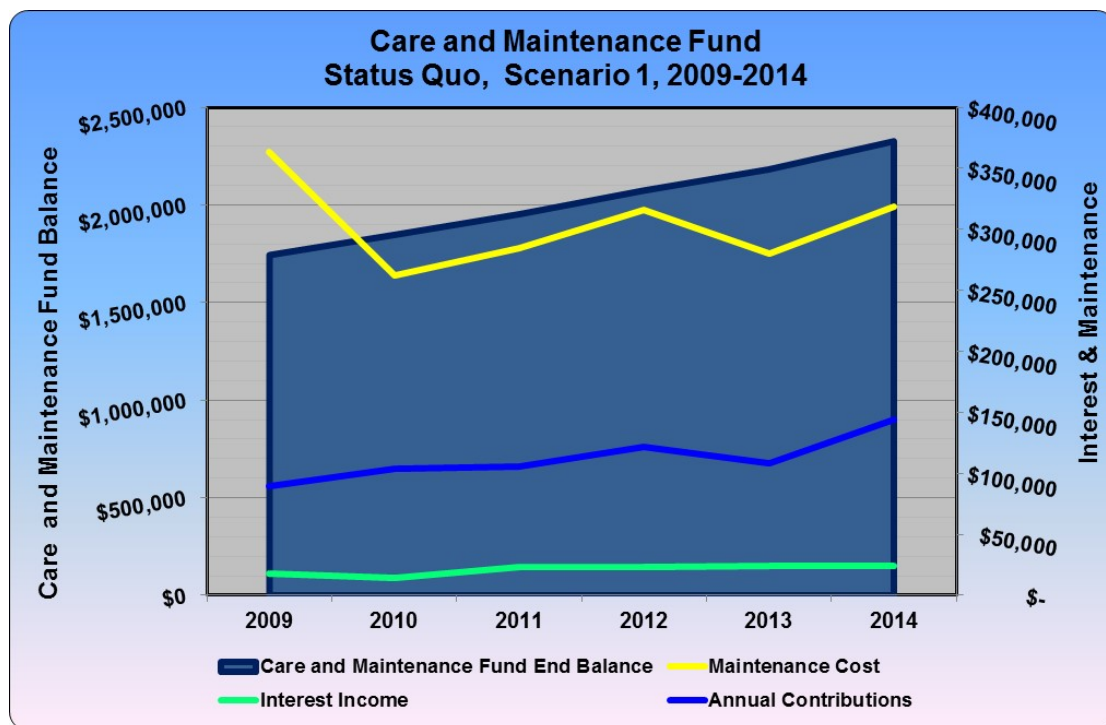


Figure 61: KMPC Care and Maintenance Fund, 2009-2014.

LEES+Associates



In addition to the assumptions listed under the Financial Plan, the following additional assumptions have been applied to the analysis of the Care and Maintenance Fund:

- 2014 Care and Maintenance Fund contribution rates for lot, niche and crypt sales do not change over the next 50 years, and
- Once the Cemetery becomes inactive in 50 years the cost of annual care and maintenance will reduce by 50%.

#### KEY FINDINGS – SCENARIO 1 CARE AND MAINTENANCE FUND - MAINTAINING THE STATUS QUO

Scenario 1 examines the results of KMPC's operations, with all Care and Maintenance Fund policies, operating conditions, contributions and interest practices remaining the same, and only the external market environment forecast to change. The following graph summarizes the projected Fund balance, interest income and maintenance costs for KMPC over the next 50 years.

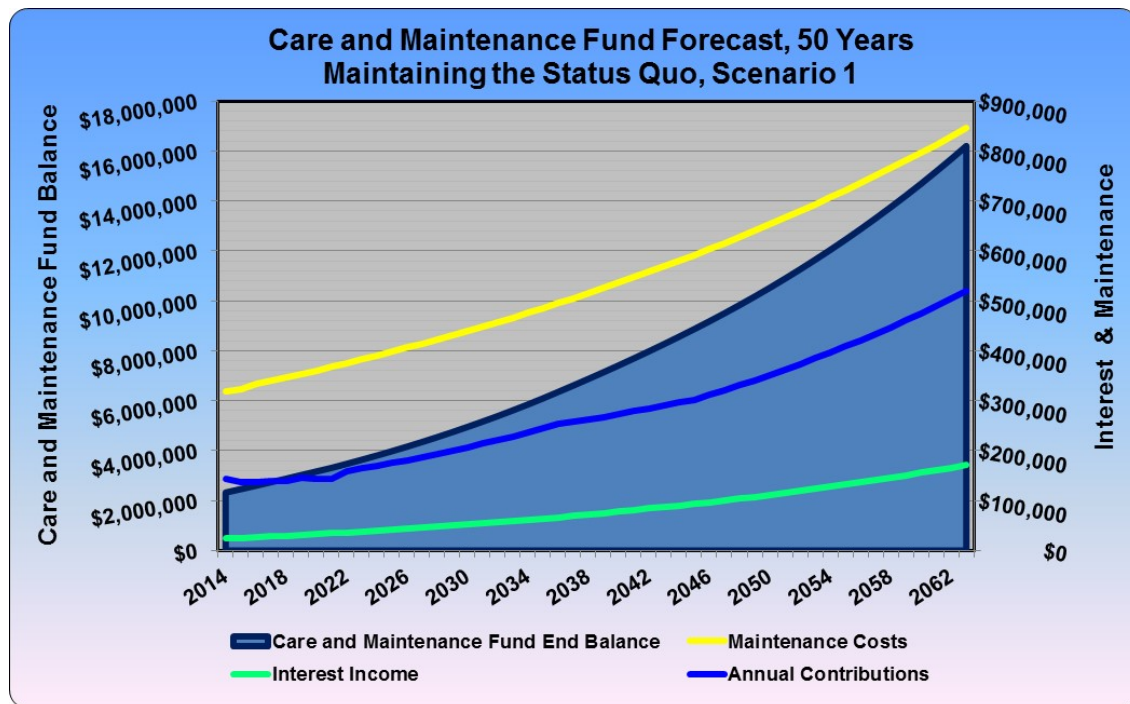


Figure 62: Scenario 1- Care and Maintenance Fund, Status Quo, 50 Year Forecast.

At the historic rate of 1.0%, KMPC would require **\$42,300,000** in the Care and Maintenance Fund to ensure an annual interest of **\$423,000** to cover the basic maintenance forecast for the care of KMPC in 50 years.

In 50 years, under Scenario 1 status quo conditions, KMPC will not be able to cover basic maintenance costs through the interest generated by the Care and Maintenance Fund. Even at an improved rate of 2.0%, KMPC would require approximately **\$21,150,000** in the Care and Maintenance Fund to ensure this same amount of interest income. However, given that interest is withdrawn rather than left in the fund to compound, KMPC's Care and Maintenance Fund is only projected to reach **\$16,200,000** in 50 years.

The historic rate of 1.0% will only generate **\$162,000** in future interest, leaving a maintenance cost coverage gap of **\$261,000** per year in the worst case return scenario. An improved interest rate of 2% would still only generate **\$324,000** future interest, leaving a maintenance cost coverage gap of **\$99,000 per year**.

#### KEY FINDINGS – SCENARIO 2 CARE AND MAINTENANCE FUND – 5 YEAR COST RECOVERY

Scenario 2 assumes the same criteria for changes to prices and marketing, as proposed earlier under Scenario 2 in the Financial Plan.

In addition to these changes, this scenario also assumes that KMPC will:

- Change its investment policies to leverage the opportunity of **compounding** by retaining interest earned within the Fund, and
- Be able to acquire a minimum **average interest rate of 2%** from 2015 forward.

The following graph summarizes the projected Fund balance, interest income and maintenance costs for KMPC over the next 50 years.

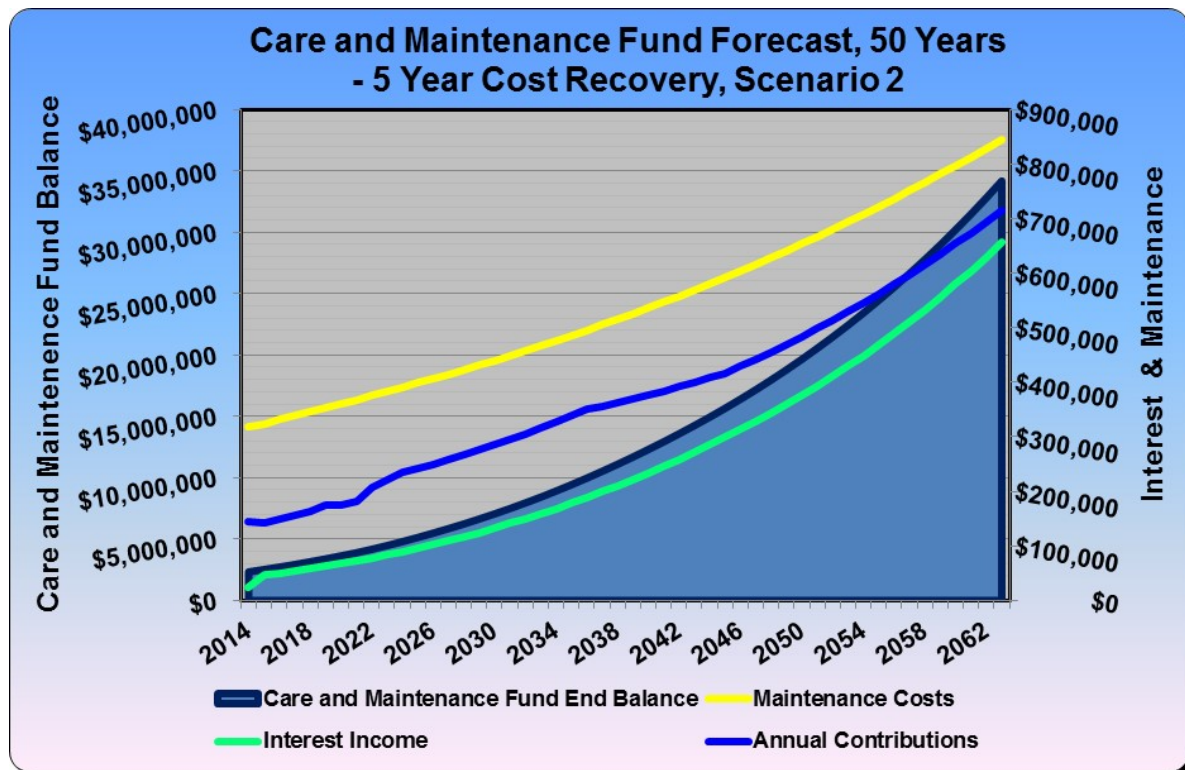


Figure 63: Scenario 2 Care and Maintenance Fund, – 5 Year Cost Recovery, 50 Year Forecast.

In Scenario 2, the balance of the Care and Maintenance fund in 50 years is projected to be **\$34,200,000**. This is achieved through the combined effect of increased prices, increased market share, increased community demand and the effect of compounded interest retained within the Fund.

The balance of the Care and Maintenance Fund would generate an annual interest income of **\$644,000** in 50 years assuming an interest rate of 2%. This would achieve **complete cost coverage** of the basic cemetery maintenance costs expected in the future, currently forecast to be \$423,000 under inactive status.

If KMPC finds that maintenance costs are increasing at a rate higher than the projected rate of inflation, or if it plans to maintain the Cemetery indefinitely at a higher standard, then annual price increases should continue at 5% beyond 2027 to ensure a higher annual interest income to cover higher care and maintenance costs.

#### REPLACEMENT FUND BALANCE STATUS

The KPMC Replacement Fund is administered as a reserve fund in accordance with the Kelowna Community Charter. The principal and interest in this fund is used for **development or replacement of Cemetery infrastructure and inventory**, or for the purchase and development of land for cemetery purposes in the future.

Historically, the Replacement Fund has also been used and drawn down to cover operating costs when revenues have been insufficient. However, this strategy is not viable in the long term as significant Replacement Fund growth will cease (except for interest earned) when all inventory has been sold.

Despite occasional draw downs, the Replacement Fund has grown by **81%** from 2009 to 2014 (twice as fast as the Care and Maintenance Fund). During this period the Replacement Fund averaged approximately **3% interest**.

Historically, KMPC has not withdrawn all of the interest generated by the Replacement Fund - leveraging the benefit of compound interest, which averaged **\$20,000 per year**.

Finally, contributions to the Replacement Fund during this period have historically amounted to approximately **28%** of plot sales. The current replacement fund balance is approximately **\$1,200,000**.

The following table summarizes the Replacement Fund activity from 2009 to 2014:

Replacement Fund	2009	2010	2011	2012	2013	2014
Starting Balance	\$657,848	\$470,107	\$585,898	\$742,606	\$896,903	\$1,038,531
Appropriation From	-\$315,439	-\$31,621	\$0.00	-\$820	-\$19,160	-\$44,689
Contributions	\$113,380	\$133,329	\$135,252	\$132,714	\$134,915	\$165,672
Interest (Retained)	\$14,317	\$14,084	\$21,454	\$22,403	\$25,872	\$38,285
<b>Ending Balance</b>	<b>\$470,107</b>	<b>\$585,898</b>	<b>\$742,606</b>	<b>\$896,903</b>	<b>\$1,038,531</b>	<b>\$1,189,799</b>
<b>Rate of Return</b>	<b>2.18%</b>	<b>3.00%</b>	<b>3.66%</b>	<b>3.02%</b>	<b>2.88%</b>	<b>2.92%</b>

Table 10: Replacement Fund Account Activity, 2008 to 2014, Source: City of Kelowna.

## 7.3 RECOMMENDATIONS – FINANCIAL PLAN

### OPERATING FINANCIALS

In order to move the Cemetery system **towards cost recovery** and meet current cemetery management **best practices**, it is recommended that KMPC:

- Adopt **Financial Scenario 2** to guide decision-making. This option best aligns pricing with neighbouring communities, while moving KMPC toward cost recovery over a reasonable period;
- Install new service offerings e.g. columbaria, and family vessels – funded by the Cemetery Replacement Fund;
- Implement **one-time price increases** to fees identified in the Product and Service Review in **2016** and add differential pricing for resident and non-resident interments;
- From 2017, increase all fees by **5% per year for 10 years**. From 2027, decrease this annual rate to **2%**, and
- Increase the investment in **marketing and community engagement to 3%** of forecast revenue. Promotion is necessary to communicate with the public about upcoming changes. This will mitigate potential market losses from increasing prices and drive growth in sales.

### RECORDS MANAGEMENT + PERFORMANCE MEASUREMENT

It is recommended KMPC strive to enhance its financial data tracking and performance measurement. To that end, it is recommended that KMPC:

- Move to a Canadian proprietary cemetery sales, revenue and records management software system such as **Stone Orchard Software** within the next 5 years;
- Prepare financial methodology notes as part of an **internal procedures document**. This document should summarize KMPC financial policies, procedures and accounting methodologies concerning items such as price increases, depreciation, investment practices (Reserve Fund), and overhead allocation per interment type used in its pricing strategy;
- Set up new **expense accounts** in the Chart of Accounts to identify and group all cemetery site maintenance costs, as well as marketing/community engagement costs. These expenses should be clearly distinguishable on financial reports of profit and loss, and
- Set up new **revenue accounts** in the Chart of Accounts to effectively track sales data, including:
  - Revenue by Interment Type (casket, cremation burial, mausolea or niches);
  - Revenue by At-Need and Pre-Need contracts, and
  - Revenue by Resident and Non-Resident (for interments and lots/niches/crypts).

- This new information will enhance transparency, clarity and understanding of cemetery operations and the community it serves. It will also improve forecasting, future planning and decision-making.

#### CARE AND MAINTENANCE FUND AND REPLACEMENT RESERVE FUND

The following strategies are recommended for KMPC to achieve long term sustainability and cover the future financial liability of care and maintenance in perpetuity:

- Adopt price increases, marketing budget increases and reserve fund policy changes as proposed in **Care Fund Scenario 2**;
- Consult with the City of Kelowna Finance Team concerning new investment opportunities and optimizing interest returns for the Care and Maintenance Fund, Replacement Fund and Reserve Fund;
- Leverage **compound interest** by retaining all the interest in the respective Funds. This will enable KMPC to attain maximum growth, with greater amounts of interest income being generated over time than if a fund was drawn upon for other purposes, and
- Continue to contribute 50% of the base fee from lot sales, 15-25% of the base fee from columbaria sales and 20% of the base fee from mausolea sales to the Care and Maintenance Fund.

Implementing these recommendations and adopting the terms of Financial Scenario 2 presented in this plan will significantly strengthen the Cemetery system's financial position and move KMPC towards long term self-sufficiency.

The following table summarizes the projected outcome of Financial Scenario 2.

Scenario	# of Years to reach Break Even	Forecast Net Profit in Year 25	C&MF Balance in 50 Years	Annual Interest in 50 Years at a rate of 2%
2	5 years	\$440,000	\$34.2 million	\$648,000

*Table 11: Summary of Financial Scenario 2's, and Care and Maintenance Fund Scenario 2's Projected Outcomes, Source: LEES+Associates*



## 8 DEVELOPMENT PLAN

### INTRODUCTION

#### KEY PRINCIPLES

The Development Plan for the KMPC has been created primarily in response to the need to:

- Provide additional interment inventory via:
  - Development of new burial areas, and
  - Maximization of additional interment inventory through an infill strategy.

The recommendations and proposals set out in this section and previous sections are incorporated in the new KMPC master plan illustrated in the figure below and in **Appendix B**. This chapter of the report is organized under the following headings:

- New Burial Areas;
- Infill Strategy;
- Future Burial Expansion, and;
- Cemetery Wide Improvements.



Figure 64: KMPC Landscape Concept Plan (Appendix B).

## NEW BURIAL AREAS

There is very limited undeveloped space remaining at KMPC. It is recommended that the construction of additional inventory be focused at the following locations:

- Legacy Gardens (containing the Bennett Memorial);
- The southwest corner of the Cemetery, and
- Section E4 at the eastern edge of the Cemetery.

## LEGACY GARDENS

The proposed creation of Legacy Gardens is in direct response to:

- The immediate need to provide additional cremated remains interment options as the existing supply is expected to be exhausted within two years, and
- Projected community demand for a range of cremated remains interment options in the next 25 years.

An Interment and Memorialization Plan showing proposed additional types of interment inventory, along with the corresponding Landscape Concept Plan is located in **Appendix B**.

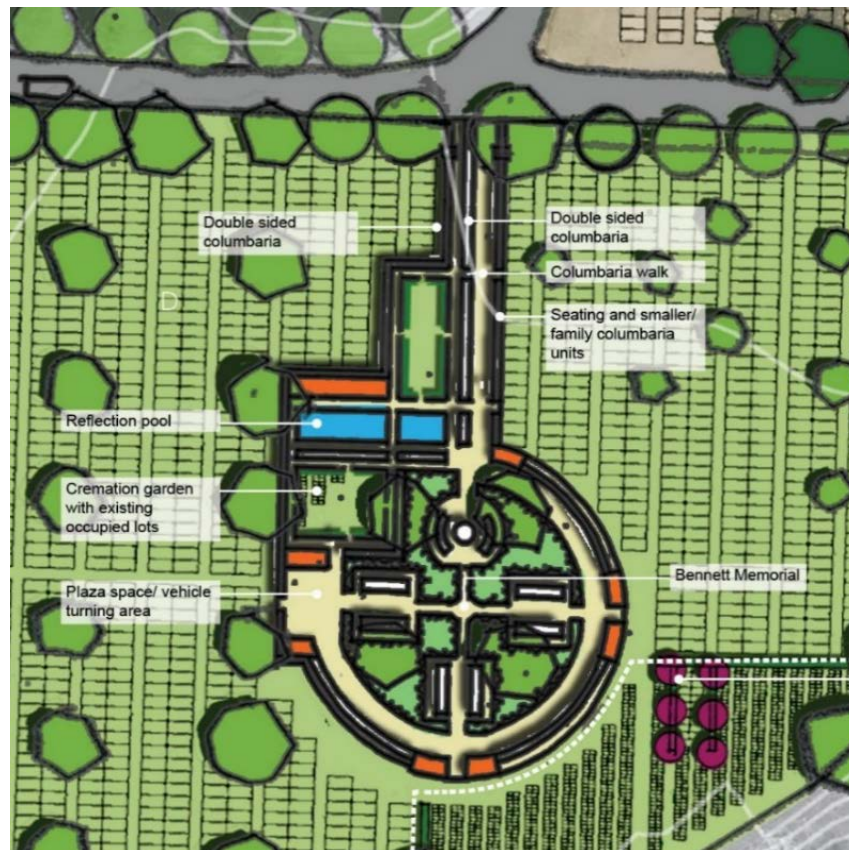


Figure 65: Legacy Gardens Landscape Concept Plan- Southwest Corner (Appendix B).



## DESIGN CONCEPT

The concept for Legacy Gardens is to create a premium cremation garden precinct integrated into the wider cemetery landscape by building on, and incorporating, the Bennett Memorial and existing columbaria.

The design proposes that the existing asphalt roadways are converted into cremation walks, with vehicle access limited to cemetery operations and funeral processions.

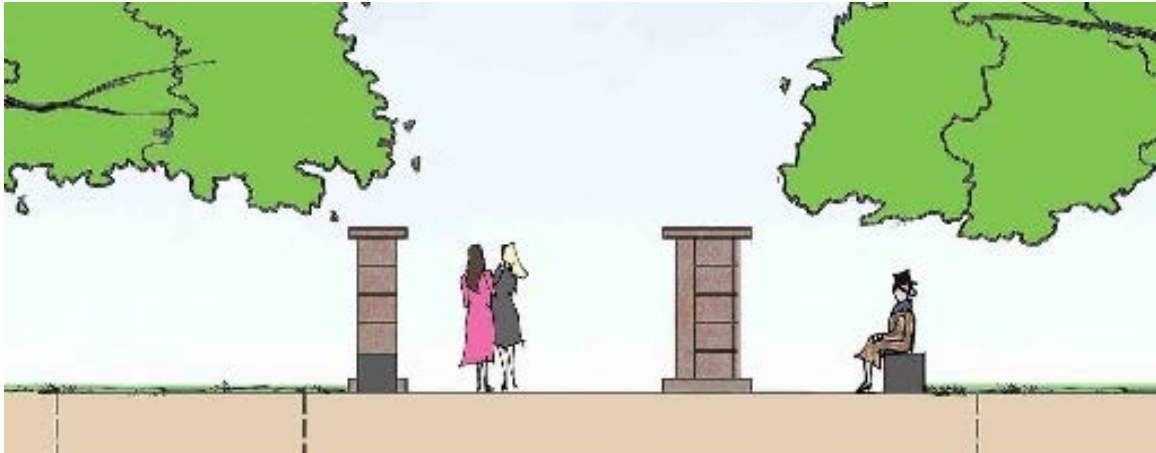


Figure 66: Proposed Cross-section of Cremation Walk at Legacy Gardens (Appendix B).

The cremation walkways are framed by a series of double sided columbaria walls to create intimate yet permeable cremation courtyard and garden spaces connected physically and visually to the wider cemetery landscape. Seating and spaces for contemplation and reflection are prevalent throughout the design. Above-ground mausolea frame the entries into the Legacy Gardens and act as “book-ends” to the columbaria walls.



Figure 67: Columbaria used as garden walls, Mountain View Cemetery, Vancouver, BC.

Cremation Gardens containing flowering plants and trees incorporate a variety of interment options including family estate lots, in-ground cremation lots, family vessels, and a scattering garden. The walks, gardens and reflecting pool combine to create a place of sanctity and peace where one can remember and reflect.



*Figure 68: Reflection pool, Mountain View Cemetery, Vancouver, BC.*

The design of Legacy Gardens requires removal of the existing tool shed, and relocation of the irrigation controls as part of the separate cemetery irrigation project underway by the City. Legacy Gardens should be included in the overall irrigation supply for the Cemetery.

#### INTERMENT AND MEMORIALIZATION

The range of new interment and memorialization options proposed in the Legacy Gardens includes:

- Premium community columbaria niches;
- Family columbaria niches;
- Above-ground mausolea, and
- Premium cremation gardens (incorporating family estate lots, family and individual columbaria, in-ground cremation lots, family vessels, and a scattering garden interment options).

The concept plan incorporates:

- The Bennett Memorial;
- Existing columbaria, and
- An existing section of in-ground cremation lots that is already occupied or reserved.

The development of Legacy Gardens to deliver additional columbaria niche (cremation) inventory is needed now. Design and construction of the initial phases should be considered a high priority in 2015.

## THE SOUTHWEST CORNER OF THE CEMETERY

The creation of new burial areas in the southwest corner of the Cemetery is in direct response to:

- The immediate need to provide additional traditional in-ground casket burial inventory as the existing supply is expected to be sold out in less than 5 years;
- Projected community demand for a range of existing and new interment and memorialization options in the upcoming 25 years, and beyond;
- The limited amount of undeveloped areas elsewhere in the Cemetery suitable for the delivery of these interment types, and
- The expected land use required by the future development of the Highway 33 Extension and Spall Road fly-over.

An Interment and Memorialization Plan showing proposed additional types of interment inventory, along with the corresponding Landscape Concept Plan is located in **Appendix B**.



Figure 69: Southwest Corner Landscape Concept Plan (Appendix B).



## DESIGN CONCEPT

The concept for the southwest corner of the Cemetery is to maximize the capacity of the remaining undeveloped lands with a mix of interment and memorialization options in each new burial area that are integrated into the wider existing memorial park landscape.

The landscape design of the traditional in-ground burial areas and specialized interment areas replicate the existing lawn burial areas of the Cemetery overlaid with a canopy of parkland trees. A simple pattern of accessible pathways for ceremonial and processional purposes connects each burial area with the new Memorial Parkland Walk that runs along the perimeter of the southwest corner of the cemetery.

The design concept includes:

- A traditional in-ground casket burial area with lawn crypts south of Section G7;
- A traditional in-ground casket burial area (to the west of the new cemetery customer service building);
- Family Estate Gardens south of Section G7;
- Premium cremation gardens (adjacent to the new cemetery customer service building);
- Cremation gardens to the northwest side of Promontory Green;
- A Children's Burial Area in Section G6 (to the west of Promontory Green);
- Specialized Interment area;
- A Green Burial area;
- A cemetery customer service building;
- Conversion of the existing Cemetery Manager's Office into the operations base, and
- In-ground cremation lots in Section G1, (southeast of Promontory Green).

### Family Estate Gardens

The design for the new Family Estate Gardens comprise of a series of small lawn garden spaces containing two traditional in-ground burial lots, and opportunities for in-ground cremation lots. Each garden is surrounded by a border of flowering plants, trees and is defined by metal railings.



*Figure 70: Existing Family Estate Lots, KMPC,  
Source: City of Kelowna.*

### Premium Cremation Gardens

It is recommended that the Premium Cremation Gardens incorporate a mix of the following interment and memorialization options including but not limited to:

- In-ground cremation family estate lots;
- Individual in-ground cremation lots;
- Family vessels and garden urns;
- Family and individual columbaria;
- Scattering gardens;
- Memorial walls, and
- Ceremonial amenities including:
  - A flower table;
  - Seating and benches, and
  - A water feature.

The proposed cremation gardens are located adjacent to the proposed location of the new cemetery customer service building. They are framed by a combined structure of pathways, lawn, hedges, flowering plants and trees to create intimate gardens in which to reflect and remember. These cremation gardens are directly connected to the new cemetery customer service building.



*Figure 71: Example of Cremation Gardens.*

The development of the cremation gardens to the northwest side of Promontory Green is an infill strategy. It is intended to provide additional interment sites and to integrate the northwest side of the Promontory Green into the wider landscape. The concept calls for a reduction of the width of the existing roadway and its transformation into a shared surface as part of the cremation garden walk.



*Figure 74: Individual Garden Urn*



*Figure 72: Cremation Gardens at De Nieuwe Ooster Amsterdam Netherlands.*



*Figure 73: Family Vessel.*

### Children's Burial Area

A new children's section is proposed with an updated layout of lots in the northern part of Section G6. It is proposed that the children's section be defined by a path connecting into the Brevity Memorial and a low hedge containing a line of parkland trees.

### Specialized Interment Areas

Some members of the community have specific burial requirements. In order to be inclusive and responsive to the community's needs, KPMC is encouraged to consider requests that require some adaptations to the existing lot layouts.



*Figure 75: Example of a Specialized Interment Area, Royal Oak Burial Park, Victoria, BC.*



## Green Burial Area

In contrast with the manicured lawn burial areas, the Green Burial area will have a distinct and beautiful native landscape character complying with the key principles of Green Burial (described in Chapter 6 and **Appendix G**). The Green Burial area will tie into the native landscape of plants and trees expected to be established on the bank of the future Highway 33 Extension. A simple communal marker records the names of those buried in the Green Burial area.



Figure 77: Green Burial Area, Royal Oak Cemetery, Victoria, BC.



Figure 76: Landscape precedent for KMPC Green Burial Area

## New Cemetery Customer Service Building

A new cemetery customer service building is required to replace the existing Cemetery Manager's Office. The new building will:

- Provide an acceptable environment in which to receive pre-need customers and bereaved families, and
- Serve as the administrative headquarters of the Cemetery system for many years to come.



Figure 78: Extract of Landscape Concept Plan- Southwest Corner: New Cemetery Customer Service Building.



*Figure 79: Precedent Image: Cemetery Customer Service Building, Mountain View Cemetery, Vancouver, BC.*

### **New Operations Base**

With completion of the new cemetery service building, the existing Cemetery Manager's Office will be repurposed as the base for Operational and Maintenance Staff.

Adequate space will be created to serve as the new materials storage area following the removal of the existing portable.



*Figure 80: Extract of Landscape Concept Plan- Southwest Corner: Operations Building and Materials Store.*



### PROCESSION, CEREMONY AND AMENITY

A simple pattern of accessible pathways for funeral procession and ceremonial purposes will connect new burial areas with the new Memorial Parkland Walk that runs along the perimeter of the southwest corner of the cemetery.

It is vital that families have the opportunity to remember and enhance the burial process through ceremony. The design of burial areas will include but not be limited to:

- Flower tables with access to water where families can prepare cut flowers for placement on a grave;
- Reliquary tables and memorial walls for families to:
  - Light candles;
  - Leave a memento, or
  - Write a message.

Included as part of the amenity of new burial areas there should be:

- Seating and benches, and
- Opportunities for appropriate public art and sculpture.

### PHASED IMPLEMENTATION OF NEW BURIAL AREAS

Given the uncertainties regarding the final design and timeline for the construction of the Highway 33 Extension, it is recommended that new burial areas in the southwest corner of the Cemetery are developed by phase in the following priority order:

Phase	Southwest Corner Burial Areas
<b>Phase 1</b>	<ul style="list-style-type: none"> <li>▪ Traditional in-ground casket burial area south of Section G7;</li> <li>▪ Family estate gardens south of Section G7;</li> <li>▪ In-ground cremation lots in Section G1, southeast of Promontory Green, and</li> <li>▪ New Children's Burial Area;</li> </ul>
<b>Phase 2</b>	<ul style="list-style-type: none"> <li>▪ Traditional in-ground casket burial area;</li> <li>▪ New cemetery customer service building;</li> <li>▪ Premium cremation gardens (adjacent to the new cemetery customer service building);</li> <li>▪ Specialized interment area, and</li> <li>▪ Green burial area;</li> </ul>
<b>Phase 3</b>	<ul style="list-style-type: none"> <li>▪ Cremation gardens to the northwest side of Promontory Green.</li> </ul>

Table 12: Phased Implementation Plan, Source: LEES+Associates.

## PHASE 2 BURIAL AREAS - DEVELOPMENT OPTIONS

Imported fill material will be required to raise the grades and make the land suitable for development of the Phase 2 burial areas. If the Highway 33 Extension were to be developed in the next 5 years, the preferred scenario would be to utilize suitable fill material arising from its development.

Under this scenario, it is recommended that construction of the Phase 2 burial areas forms part of the Highway 33 Extension project costs as it is anticipated that:

- The costs to the Highway 33 Extension project of removing fill material arising from the development would be reduced, and
- The cost of construction of the Phase 2 burial areas would be reduced due to the efficiencies of the fill and grading coming under the main contract for the Highway 33 Extension development.

The motivation for transferring the cost of Phase 2 burial area development as part of the Highway 33 Extension is the need for:

- Compensation for the lost opportunity of utilizing existing land and associated cemetery sales revenue due to the extension estimated to be in the order of \$3 million, and
- The need to mitigate adverse visual and noise effects of the Highway 33 Extension on the southwest corner of the cemetery.

Further exploration is required to determine the costs, efficiencies and risks associated of having the fill material portion of the Phase 2 burial areas constructed as part of the Highway 33 Extension.

## SECTION E4

The proposed creation of new burial areas in Section E4 of the Cemetery is in direct response to:

- Projected community demand for a range of existing and new interment and memorialization options in the upcoming 25 years;
- The continuing need to provide:
  - Additional traditional in-ground casket burial inventory;
  - Additional premium above-ground mausolea and columbaria niche options, and
- The limited amount of undeveloped areas elsewhere in the Cemetery suitable for the delivery of these interment types.

An Interment and Memorialization Plan showing proposed additional types of interment inventory, along with the corresponding Landscape Concept Plan is located in **Appendix B**.



Figure 81: Landscape Concept Plan-Section E4 (Appendix B).

## INTERMENT AND MEMORIALIZATION

The range of new interment and memorialization options proposed in Section E4 includes:

- Premium above-ground mausolea inventory;
- Family Mausolea inventory;
- Premium columbaria niche inventory;
- Premium cremation gardens (incorporating family estate lots, family and individual columbaria, in-ground cremation lots, family vessels, and a scattering garden interment options);
- Traditional in-ground casket burial areas, and
- In-ground cremation.

## DESIGN CONCEPT

The concept for cemetery Section E4 is to maximize the capacity of the remaining undeveloped lands with a mix of premium and standard interment and memorialization options, integrated into the wider existing KMPC landscape.

### Traditional In-ground Burial Areas

The landscape design of the traditional in-ground burial area proposes to replicate the existing lawn burial areas of the Cemetery, and maintain the spectacular views over the City and towards Okanagan Lake. Areas of traditional in-ground burial lots will incorporate a mix of in-ground cremation lots to optimize choice for families.

### Premium Above-ground Mausolea and Cremation Niches

The premium above ground mausolea are proposed for the steeper parts of Section E4 and will take advantage of the commanding views across the Cemetery out over the City towards Okanagan Lake. The individual mausolea crypts are part of a continuous natural stone faced “wall” mixed with sections of cremation niches, all accessed from a pathway leading across the slope.



Figure 82: Section through Proposed Above-Ground Crypt and Cremation Niche Wall.



### Premium Cremation Gardens

It is proposed that the premium cremation gardens will be built out over the top of mausolea crypts. The gardens will be accessed from the upper roadway converted to create a shared walkway uniting the cremation gardens with the family mausolea. The cremation gardens incorporate:

- Family estate lots;
- Family and individual columbaria;
- In-ground cremation lots;
- Family vessels, and
- Scattering gardens.

### Family Mausolea

Building footprints indicative of future family mausolea will run along the edge of the shared walkway opposite the cremation gardens. It is recommended that the City develop a series of standard mausolea designs for pre-sale to families prior to installation. It is also recommended that Staff work with those families preferring a custom mausoleum design to help them to realize their wishes.



*Figure 83: Examples of Family Mausolea on a hillside, Mountain View Cemetery, Oakland CA.*

### Existing Graves

There are a number of occupied and reserved traditional in-ground burial lots that are accommodated within the design concept for Section E4. One occupied grave is within the area proposed for the above-ground mausolea development. The affected family will need to be consulted prior to any changes occurring on or near their gravesite.



## INFILL STRATEGY

It is recommended that the following sections of the Cemetery are in-filled with **traditional in-ground burial lots** in order to meet projected community need as part of a phased program:

Dry Sections of the Cemetery, including:

- Section A;
- Section B, and
- The Historic Asian Section.

Lawn Sections of the Cemetery, including:

- Section C;
- Section D;
- Section E2, and
- Section E3.

### Infilling with Crypts

The paths between rows of graves in the dry sections of the Cemetery are generally 5ft (1.5m) wide. However, many graves have grave covers and upright headstones making access for opening and closing potentially challenging. For these reasons it is recommended that **crypts** are installed in the pathways to make it easier to open and close graves.

The paths between rows of graves in lawn sections C, D, E2 and E3 are also generally 5ft (1.5m) wide. The lateral lines of the irrigation system run in these paths. As part of the upgrades to the Cemetery irrigation system being undertaken by the City, it is recommended that the lateral lines are placed as close to one side of the path as possible in order to allow 4ft wide infill lots to be created.

### Memorialization

In dry sections of the Cemetery flat or upright markers consistent with memorialization options already offered in the dry sections of the Cemetery can be installed on an as need basis.

In lawn sections of the Cemetery it is recommended that families are only permitted to memorialize with flat markers on infill lots for ease of care and maintenance of the lawn, and consistent with this memorialization option currently offered in the lawn sections of the cemetery.

## FUTURE BURIAL EXPANSION

It is recommended that the City continue to provide a cemetery service to the community beyond the point at which all inventory delivered as part of the new burial areas and infilling strategy has been sold. To this end it is recommended that the City begin investigating the potential for future cemetery development at the following locations:

- The City Yard and BC Transit Yard, and
- An alternative site within the City.

The process of beginning the search for new cemetery land to the point at which a new cemetery site is ready to receive its first interments can take many years, often as many as 5-10 years.

The City Yard and BC Transit Yard are identified on the Site Analysis Plan in **Appendix B**.

### THE CITY YARD AND BC TRANSIT YARD

With the prospect of the Highway 33 Extension being constructed in the future, the City would need to relocate City Yards. It is recommended that Staff continue their investigations into the potential of this site for cemetery use as a priority.

### AN ALTERNATIVE SITE WITHIN THE CITY

It is recommended that an alternative site suitable for cemetery development purposes is purchased if one or more of the following factors preclude the development of the City Yard:

- Availability of land;
- Suitability of land for cemetery development;
- Unreasonable development costs, and
- Sufficient time to develop new cemetery inventory to meet community demand.

### CRITERIA FOR FUTURE SITE SELECTION

As part of the due diligence process for all sites being considered it will be important to assess the following criteria including but not limited to:

- Access for:
  - Visitors and families;
  - Funeral Procession, and
  - Operations Staff.
- Ground conditions, including:
  - Soils, and side wall integrity of graves when opening and closing and;
  - Water table, and
  - Suitability for e.g. roadway, columbaria and mausolea development.



*Figure 84: Example photo of test grave to determine suitability of the ground*

Determination of the ground conditions may influence the extent of suitable areas for burial, the yield of lots for sale, and the viability of development of certain types of interment and memorialization options.

## CEMETERY WIDE IMPROVEMENTS

Through the course of the site analysis described in Section 5, a number of cemetery wide improvements have been identified. It is recommended that the Cemetery wide improvements include:

- A Wayfinding and Signage Strategy;
- An Irrigation Upgrade Strategy;
- A Landscape Management Strategy;
- A Physical Enhancements Program including but not limited to:
  - A new Parkland Walk;
  - Upgrades to the main entries;
  - Upgrades to existing Children's Burial Sections;
  - Establishment of the main avenue of trees along Bernard Avenue, and
  - Landscape improvements to enhance access to and increase the prominence of the Pavilion of Eternal Rest.

### A WAYFINDING AND SIGNAGE STRATEGY

In order to improve the experience of visitors to the Cemetery, and to assist others including Operations Staff and Funeral Directors to undertake their duties more easily, it is recommended that a wayfinding and signage strategy is developed. The wayfinding and signage strategy should include but not be limited to the installation of Information Signs, and Historic Interpretation Panels.

## Information Signs

Information signs should be placed at the main entries and other key junctures within the Cemetery. At a minimum, the information signs should enable visitors to:

- Easily navigate the Cemetery;
- Find burial areas and key amenities such as the Cemetery Customer Service Building and designated walks for passive recreation;
- Identify the officially designated commuter cycle route through the Cemetery, and
- Provide key contact details for Cemetery sales and funeral arrangement purposes, and other operational information such as opening and closing times.



Figure 85: Precedent Image of the Information Sign at Royal Oak Burial Park, Victoria BC

## Historic Interpretation Panels

KMPC is historically and culturally significant in the evolution of Kelowna. As part of the City's desire to promote KMPC as a community asset, it is recommended that additional historic interpretation panels are installed to highlight the Pioneer section, notable graves and the history of the Cemetery. The information to be conveyed should tie into broader cultural, historic and educational programs supported by the City, and programs and events specifically organized by KMPC Staff.

## Signage for Officially Designated Trails

It is recommended that KMPC seek full participation in the Recreation and Culture Services Department's Wayfinding Strategy with regard to the officially designated commuter cycle route that runs through the Cemetery and connections to the Rails with Trails network.

## **IRRIGATION UPGRADE STRATEGY**

A program of significant upgrades to the Cemetery's irrigation is being developed by City Staff. It is recommended that all physical upgrades proposed in this report are coordinated with the irrigation strategy to avoid abortive work and expense.

## **LANDSCAPE MANAGEMENT STRATEGY**

One of the strongest assets of KMPC is the beauty of the dry and lawn cemetery landscapes. It is recommended that a landscape management strategy is developed specifically tailored for KMPC to ensure that the quality of the landscape, and thus the experience enjoyed by families and visitors is maintained, enhanced and secured for generations to come.

The landscape management strategy should be aligned with the vision set out for KMPC through this Master Plan document, and existing strategies such as the restoration work to the Pioneer sections of the Cemetery.

The landscape management strategy should include but not be limited to:

- A holistic tree management, replacement and new planting plan;
- A key views strategy integrated with the tree management and planting plan;
- A plant and lawn management and maintenance plan;
- Guidance for site furniture and signage to ensure overall coordination of the style across the cemetery, and
- Standards of care, and approved methods of maintenance and operation.

The Landscape Management Strategy should look to build on the recommendation from the previous master plan report<sup>1</sup> to establish an avenue of parkland trees along Bernard Avenue that forms the backbone of the Cemetery.

## **PHYSICAL ENHANCEMENT PROGRAM**

### **Parkland Walk**

It is recommended that a pedestrian Parkland Walk is developed along the southern perimeter of the Cemetery from Promontory Green east to Section E4 as part of the initiatives to further encourage active use for recreation purposes by residents in adjacent communities.

### **Upgrades to the Main Entries**

The main entries should be enhanced with better quality gates and railings that celebrate the Cemetery in an appropriate style.

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<sup>1</sup> Cemetery Plan March 1998



### **Existing Children's Burial Sections**

Children's burial areas are not currently denoted and are very difficult to identify within burial areas of adult graves. It is recommended that all children's areas receive an enhanced landscape treatment to create the appropriate sense of scale and intimacy in which to remember.

### **Pavilion of Eternal Rest**

Building upon the work to restore the Pavilion, it is recommended that the landscape setting and approaches to the Pavilion are enhanced in coordination with programming to encourage greater use of this amenity by the community.

PHASING PLAN

It is recommended that new burial areas and cemetery wide improvements are delivered in phases. The key recommended site changes are prioritized below and identified as High, Medium and Low Priorities with associated approximate timeframes.

The proposed phasing reflects the need to balance:

- Upcoming demand for particular interment types;
- Spreading the cost of development, and
- Optimizing the period of time between phases where there is no construction activity disturbing the cemetery.

	High Priority Short Term 1-5 years	Medium Priority Medium Term 5-10 years	Low Priority Long Term 10-15+ years
Legacy Gardens			
Phase 1			
The Southern Section	*		
Phase 2			
The Central Section		*	
Phase 3			
The Northern Section			*

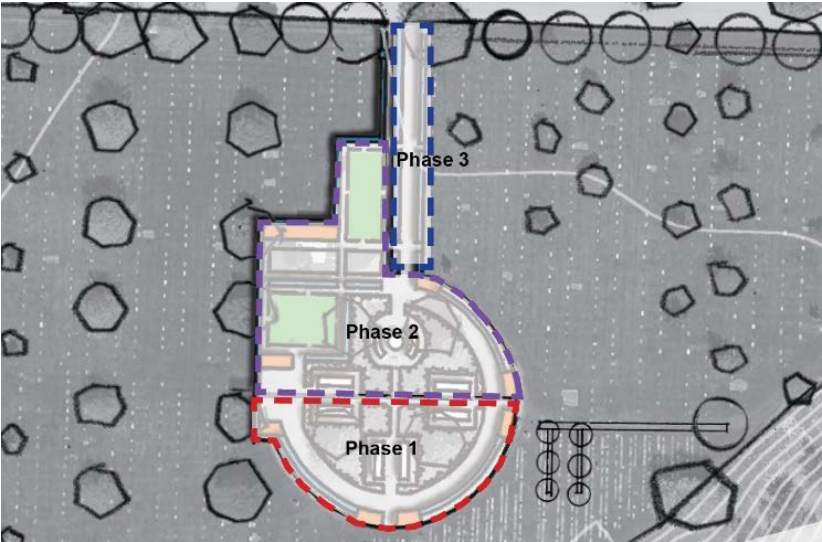


Figure 86: Legacy Gardens Phasing Plan

	<b>High Priority Short Term 1-5 years</b>	<b>Medium Priority Medium Term 5-10 years</b>	<b>Low Priority Long Term 10-15+ years</b>
<b>Southwest Corner of the Cemetery</b>			
<b>Phase 1</b>			
New Traditional In-ground burial area with lawn crypts (south of Section G7)	*		
New Family Estate Plots (south of Section G7)	*		
New In-ground cremation area (southeast of by Promontory Green Section G1)	*		
New Children's Burial Area (adjacent to the Brevity Memorial)	*		
<b>Phase 2</b>			
New Traditional In-ground burial area (west of the proposed new cemetery customer service building)		*	
New Cemetery Service Customer Service Building, parking and garden		*	
New Cemetery Operations Base via the conversion of the Cemetery Managers Office		*	
New Premium Cremation Gardens (adjacent to the proposed new cemetery customer service building)		*	
The specialized interment area		*	
The Green Burial Area		*	
<b>Phase 3</b>			
New Premium Cremation to the northwest side of Promontory Green)			*

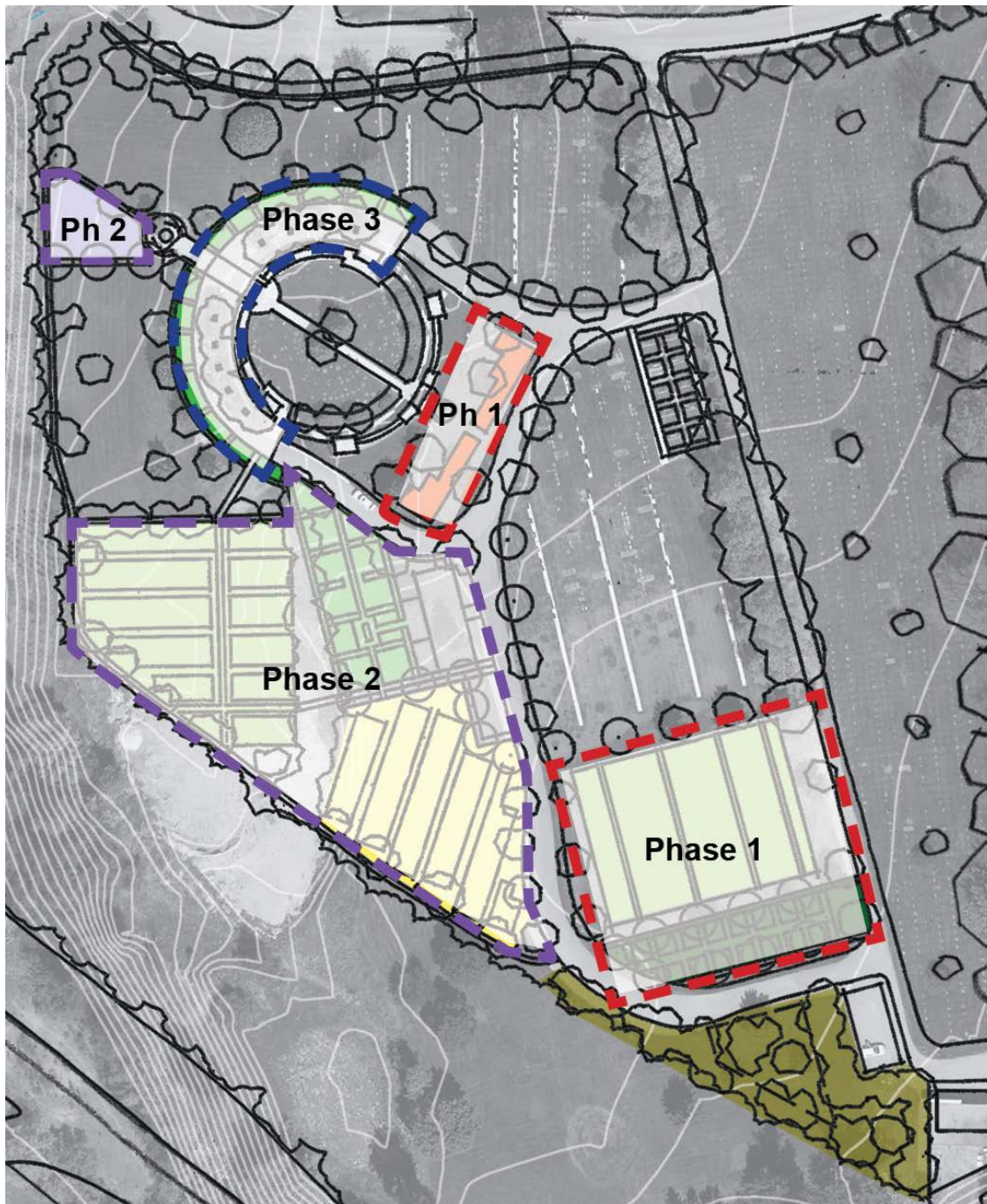


Figure 87: Southwest Corner Phasing Plan



	High Priority Short Term 1-5 years	Medium Priority Medium Term 5-10 years	Low Priority Long Term 10-15+ years
<b>Section E4</b>			
<b>Phase 1</b>			
New Traditional In-ground burial area	*		
<b>Phase 2</b>			
New Premium Mausolea and Cremation Gardens			*

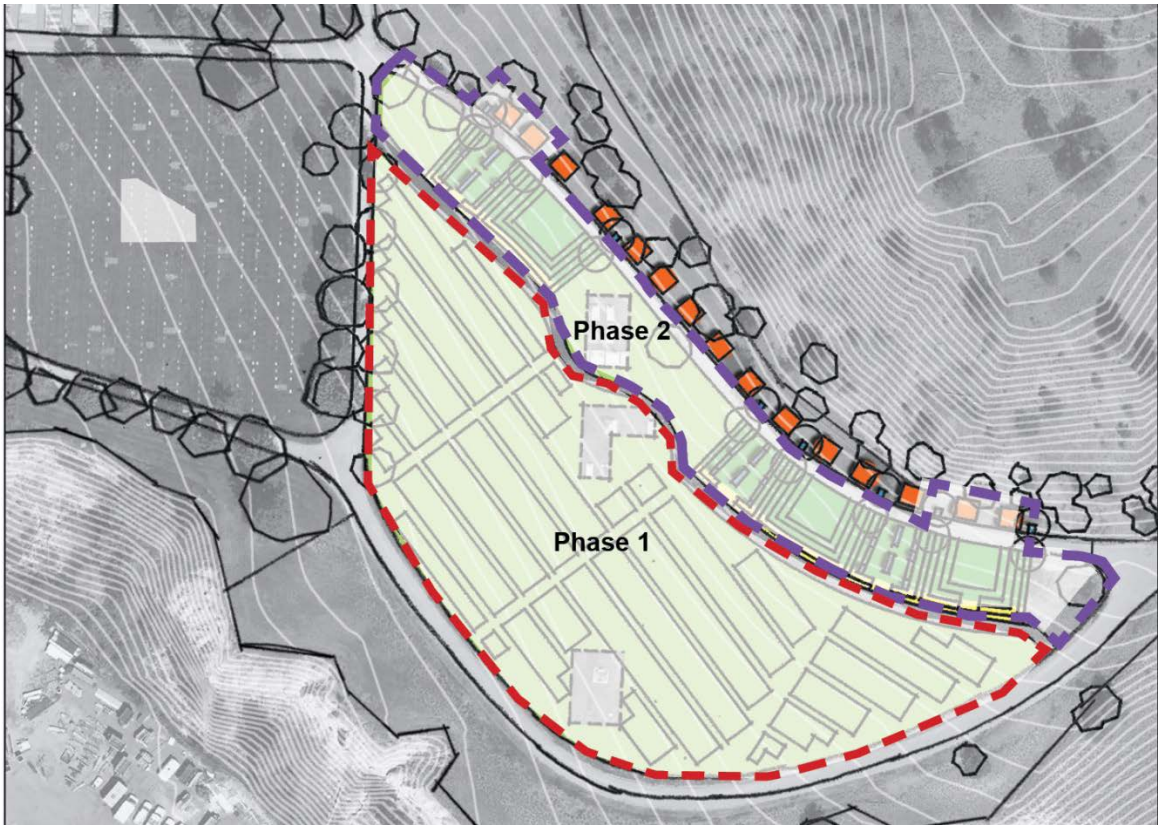


Figure 88: Section E4 Phasing Plan



	<b>High Priority Short Term 1-5 years</b>	<b>Medium Priority Medium Term 5-10 years</b>	<b>Low Priority Long Term 10-15+ years</b>
<b>Cemetery-wide Improvements</b>			
Irrigation Upgrade Strategy	*		
Landscape Management Strategy	*		
Wayfinding Strategy		*	
<b>Physical Enhancements Program:</b>			
New Parkland Walk		*	
Tree Avenue		*	
Upgrades to the main entries			*
Landscape setting and paths to the Pavilion of Eternal Rest			*

## 9 ESTIMATED CAPITAL COSTS

A summary of the estimated order of capital costs for proposed new burial areas and cemetery wide physical enhancements is presented in the table below.

	Short Term	Medium Term	Long Term
	1-5 years	5-10 years	10-15 years
<b>Legacy Gardens</b>			
Phase 1	\$616,803		
Phase 2		\$1,772,049	
Phase 3			\$655,834
<b>South West Corner</b>			
Phase 2	\$1,427,554		
Phase 2		\$2,596,185	
Phase 3			\$339,988
<b>Section E4</b>			
Phase 1	\$201,434		
Phase 2			\$2,912,806
Phase 3			
<b>Cemetery Wide Improvements</b>			
		\$256,197	\$256,197
<b>Total (excluding taxes)</b>	<b>\$2,245,792</b>	<b>\$4,624,431</b>	<b>\$4,164,826</b>
<b>Grand Total (excluding taxes)</b>			<b>\$11,035,050</b>

Table 13: Summary of Estimated Capital Costs

The estimated order of capital costs includes:

- Construction costs;
- Landscape maintenance costs;
- General requirements;
- Soft costs, and
- Contingencies.

A more detailed breakdown of the cost estimates can be found in **Appendix I – Cost Estimates**.

## 10 CONCLUSION

This Cemetery Master Plan provides the City of Kelowna with a roadmap to guide cemetery policy, operations, and site development over the next 25 years. The development of the Master Plan included:

- An analysis of community demographics; and cemetery land needs;
- A site analysis of KMPC highlighting opportunities and constraints;
- A review of and recommendations for cemetery products and services offered by KMPC;
- A review of and recommendations for the financial, administrative and operational management of KMPC, and
- The creation of a Development Plan to guide the evolution of the Cemetery to serve the needs of the community.

The master planning process engaged a spectrum of stakeholders including City Staff, Council, local funeral home operators, cemetery customers and area residents.

The Master Plan has been built on a rigorous review of demographic and industry trends and projections. In combination with financial analysis, this review determined that KMPC can move forward towards the objective of cost recovery and long term financial sustainability, and that this would be best accomplished by following Financial Scenario 2 of the Financial Plan. This financial scenario includes the following key recommendations:

- Increase all fees 5% per year for 10 years, and at 2% thereafter;
- Improve growth and interest returns on investments for the Care and Maintenance Fund, Cemetery Replacement Fund and Reserve Fund,
- Continue to contribute into the Care and Maintenance Fund at a rate necessary to generate sufficient interest income to pay for the upkeep of the cemetery when it ceases to be active, and
- Ensure sustained levels of revenue from sales of cemetery inventory and services are transferred into the Cemetery Replacement Fund to pay for projects recommended in the Development Plan section of this report.

Key highlights from the Development Plan include recommendations for cemetery-wide physical enhancements, a phased program of construction of new burial areas and additional inventory at Legacy Gardens, the southwest corner of the Cemetery, Section E4, and the implementation of an infill strategy (with new lots) in developed sections of the Cemetery. These proposals are accompanied by an estimate of capital costs. The priority capital project for 2015 is development of the first phase of Legacy Gardens with new cremation niche inventory.

This Master Plan Report presents a suite of information and recommendations that, in combination, equips the City of Kelowna with a road map for the development of KMPC to ensure that there will be appropriate inventory and cemetery services to serve the needs of Kelowna and area residents in the short and long term, and to ensure the long term financial sustainability of the Cemetery.

APPENDIX A: HISTORY OF INTERMENT AT KELOWNA MEMORIAL PARK CEMETERY

INTERMENTS		1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	5 Year Average Annual Interments	10 Year Average Annual Interments
In Ground Cremation	Code																	
In Ground Cremation	2	176	164	140	146	151	149	152	131	149	164	132	154	129	148	116	136	142
Scattering Garden	PGSG	0	0	0	9	5	13	19	13	22	18	13	14	16	18	23	17	17
Cremation Niche (Promontory Green)	PGN1, PGN2, PGN3, PGN4	0	0	0	34	58	75	57	64	83	70	57	65	63	52	36	55	62
Cremation Niche (Bennett Memorial)	n	3	21	31	21	15	4	8	9	16	27	17	26	39	33	19	27	20
Total Cremations		179	185	171	210	229	241	236	217	270	279	219	259	247	251	194	235	241
Total Niches		3	21	31	55	73	79	65	73	99	97	74	91	102	85	55	81	82
Total Cremations without Niches		176	164	140	155	156	162	171	144	171	182	145	168	145	166	139	154	159
In-Ground Burial	Code																	
4 foot burial lot	4	1	2	1	1	1	1	1	2	2	1	0	1	1	1	1	1	1
6 foot burial lot	6	126	4	51	44	42	31	33	33	42	38	40	39	25	31	40	35	35
6 foot lawn crypt	6c	0	0	0	0	0	0	1	0	1	2	3	4	5	7	7	5	3
8 foot burial lot	8	55	54	92	119	111	123	94	114	94	78	71	54	27	32	39	45	73
8 foot lawn crypt	8c	0	0	0	9	7	11	10	14	21	30	28	38	42	44	37	38	28
In-ground burial		182	60	144	173	161	166	139	163	160	149	142	136	100	115	124	124	140
Above-ground Crypt (Promontory Green)	PGE1, PGE2, PGE3, PGC	0	0	0	8	4	11	7	8	2	0	1	0	0	0	0	0	3
Total Full Body Burial		182	60	144	181	165	177	146	171	162	149	143	136	100	115	124	124	143
Total Full Body w/o Above-ground		182	60	144	173	161	166	139	163	160	149	142	136	100	115	124	124	140
Total Interments		361	245	315	391	394	418	382	388	432	428	361	395	347	366	318	359	384

Table 14: History of Interment at Kelowna Memorial Park Cemetery, Source: LEES+Associates and City of Kelowna Interment Records.

## **APPENDIX B: SITE AND DEVELOPMENT PLANS**





# LEGEND

- E4 Section number
- Undeveloped area
- Emergency access
- Building
- Pedestrian pathway
- Cemetery operational boundary
- Land parcel not in cemetery ownership
- Rails with Trails - Phase 2
- Officially desingated commuter bike route



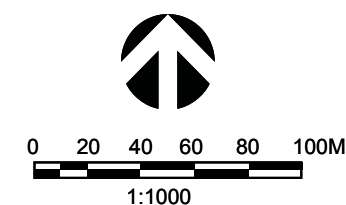
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# LEGEND

- Opportunity for new traditional in-ground burial
- Opportunity to infill with traditional in-ground burial
- Opportunity for new cremation burial sections
- Opportunity for future cemetery expansion
- Opportunity for new children's section
- Need to improve the character of the existing children's section
- Primary vehicle route
- Secondary vehicle route
- Potential opportunity for future vehicle access
- Proposed Highway 33 extension
- Pedestrian pathway
- Cemetery operational boundary
- Land parcel not in cemetery ownership
- Need to buffer cemetery from road noise and poor views
- Steep bank
- Need for new signage
- Good views out
- Rails with Trails - Phase 2
- Officially desingated commuter bike route







## LEGEND

- New way finding and information signage
- Trees
- Ornamental trees
- New hedges
- New shrubs
- Green burial
- Cremation gardens
- Existing roads
- New hard surfacing
- New paths
- Potential cemetery expansion areas
- Route of new Parkland Walk
- Cemetery operational boundary
- Rails with Trails - Phase 2
- Officially desingated commuter bike route

**General Notes:**  
 1. Infill existing developed sections of the cemetery with traditional in-ground casket burial lots.








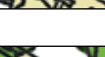
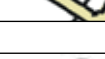



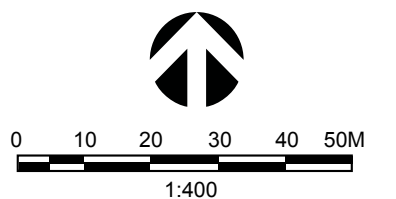
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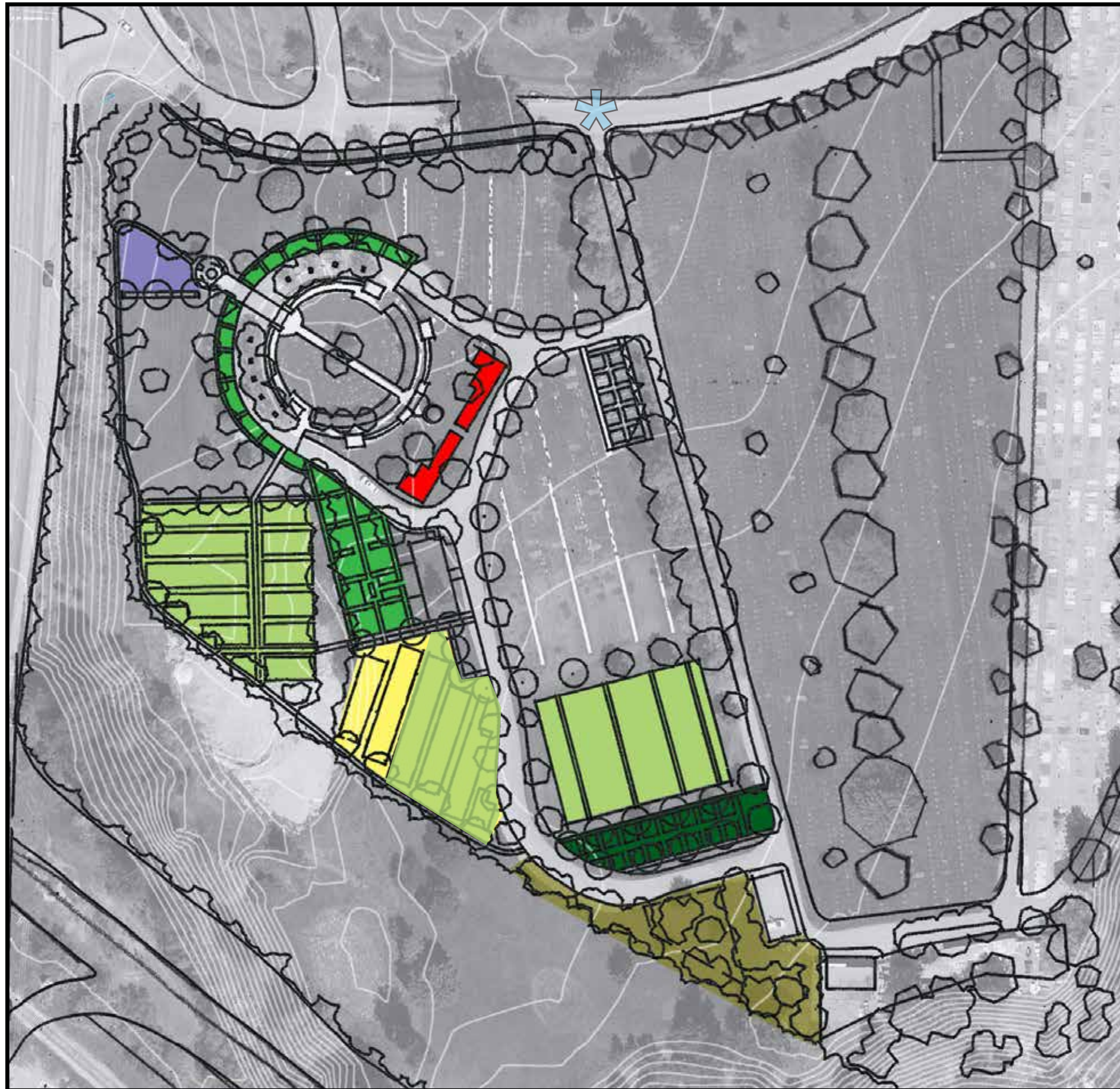


## LEGEND

-  New way finding and information signage
-  New green burial
-  Cremation gardens
-  Existing lawn burial
-  New lawn burial
-  Existing roads
-  New hard surfacing
-  New paths
-  Ornamental trees
-  Section number

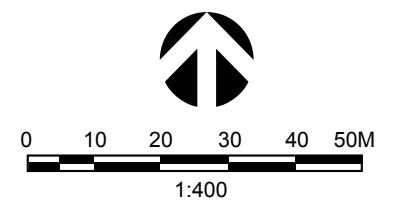




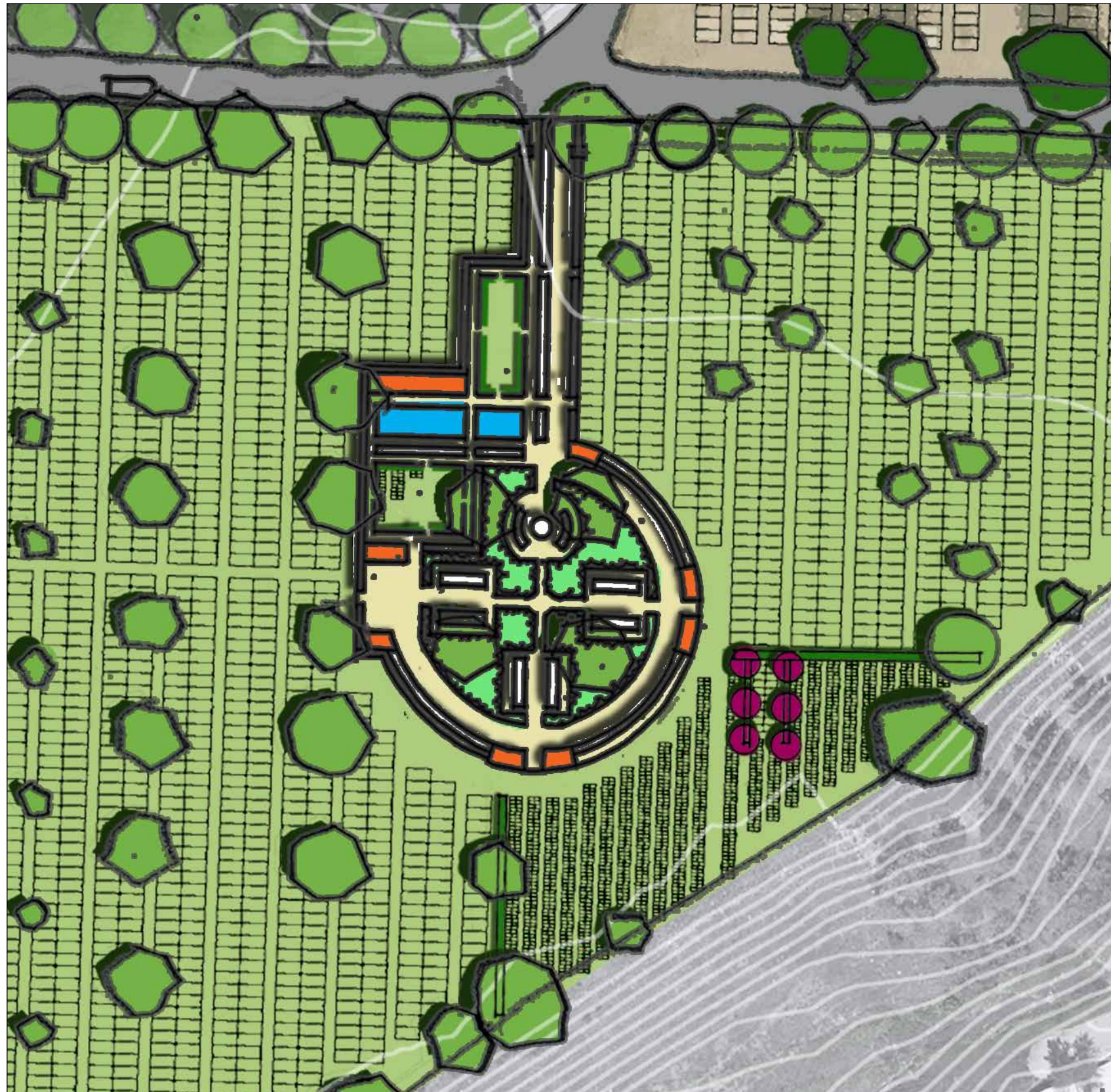


# **LEGEND**

- New traditional in-ground burial
- New in-ground cremation lots
- Specialized Interment Area
- New green burial
- New cremation gardens
- New family estate lots
- New children's section

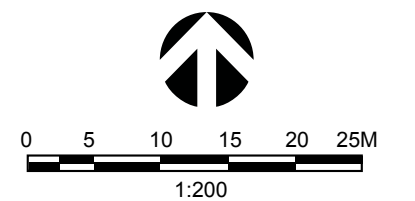




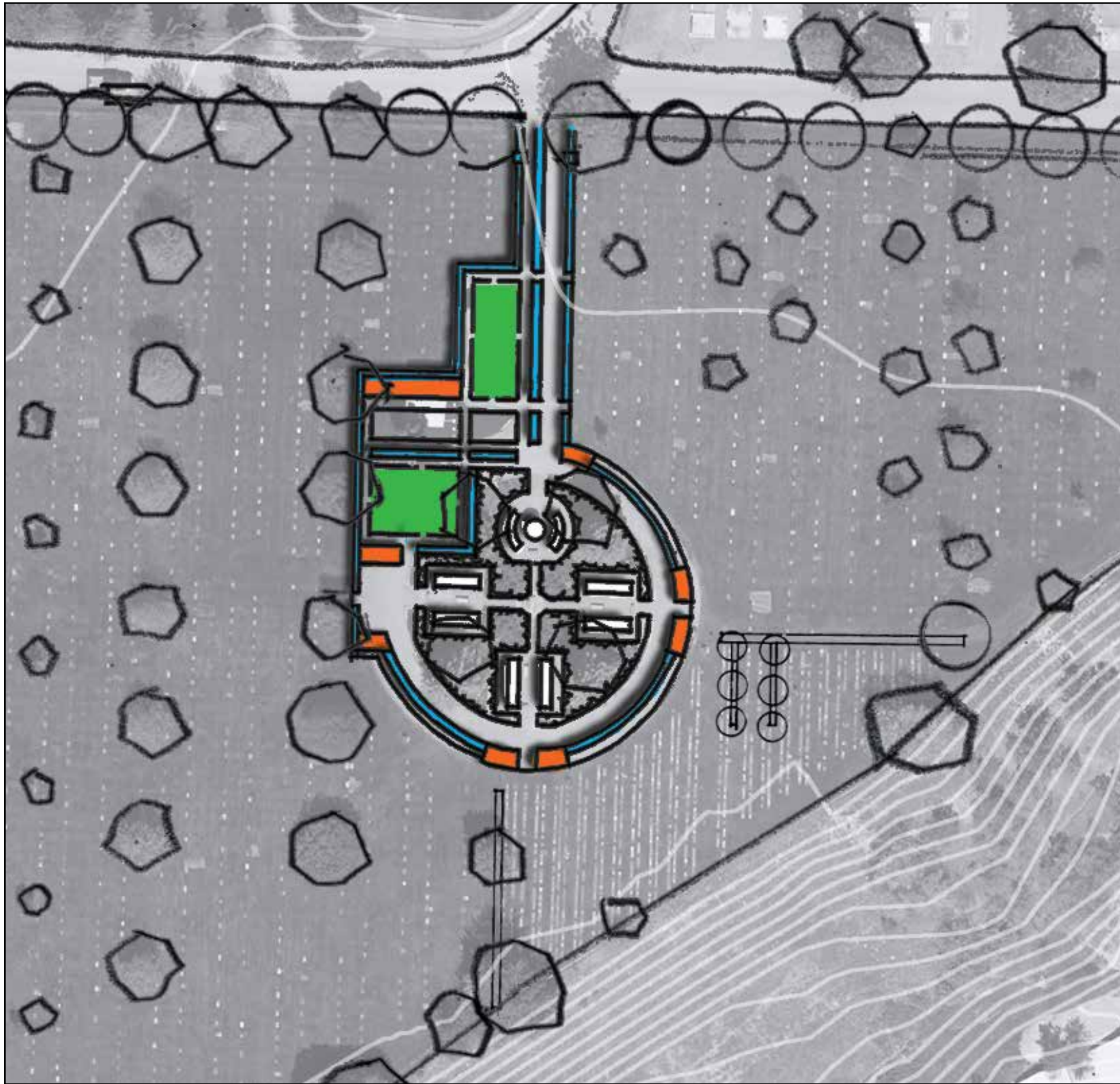


# LEGEND

-  New way finding and information signage
-  Existing lawn burial
-  Cremation gardens
-  Existing roads
-  New hard surfacing
-  New paths
-  Ornamental trees
-  Section number
-  Route of new Parkland Walk

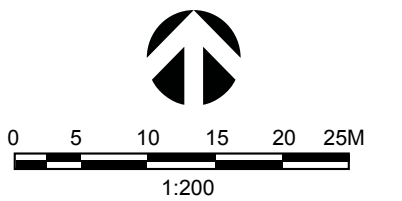






**LEGEND**



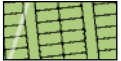

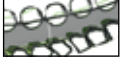




- New columbaria
- New mausolea
- New cremation gardens

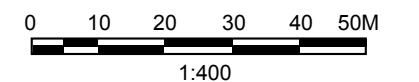






# LEGEND

-  New way finding and information signage
-  New premium cremation gardens
-  Existing traditional in-ground burial
-  New traditional in-ground burial
-  Existing roads
-  New hard surfacing
-  New paths
-  New ornamental trees
-  Section number

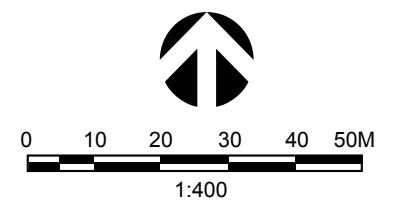




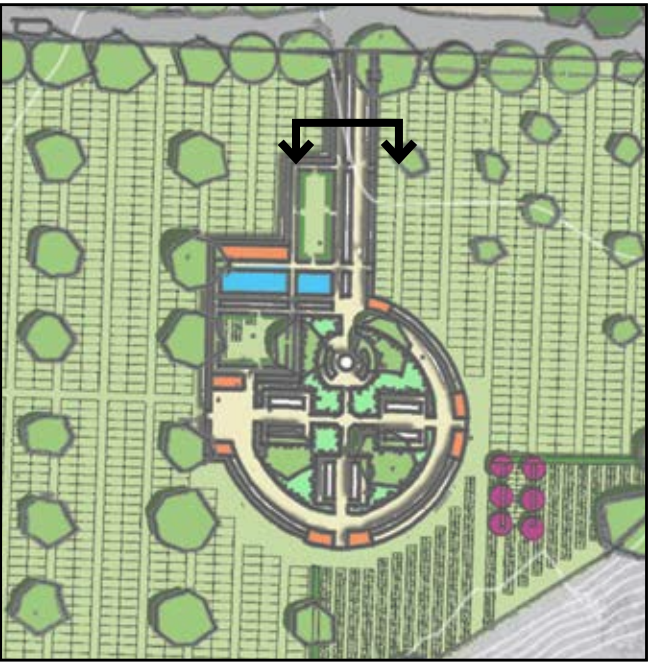
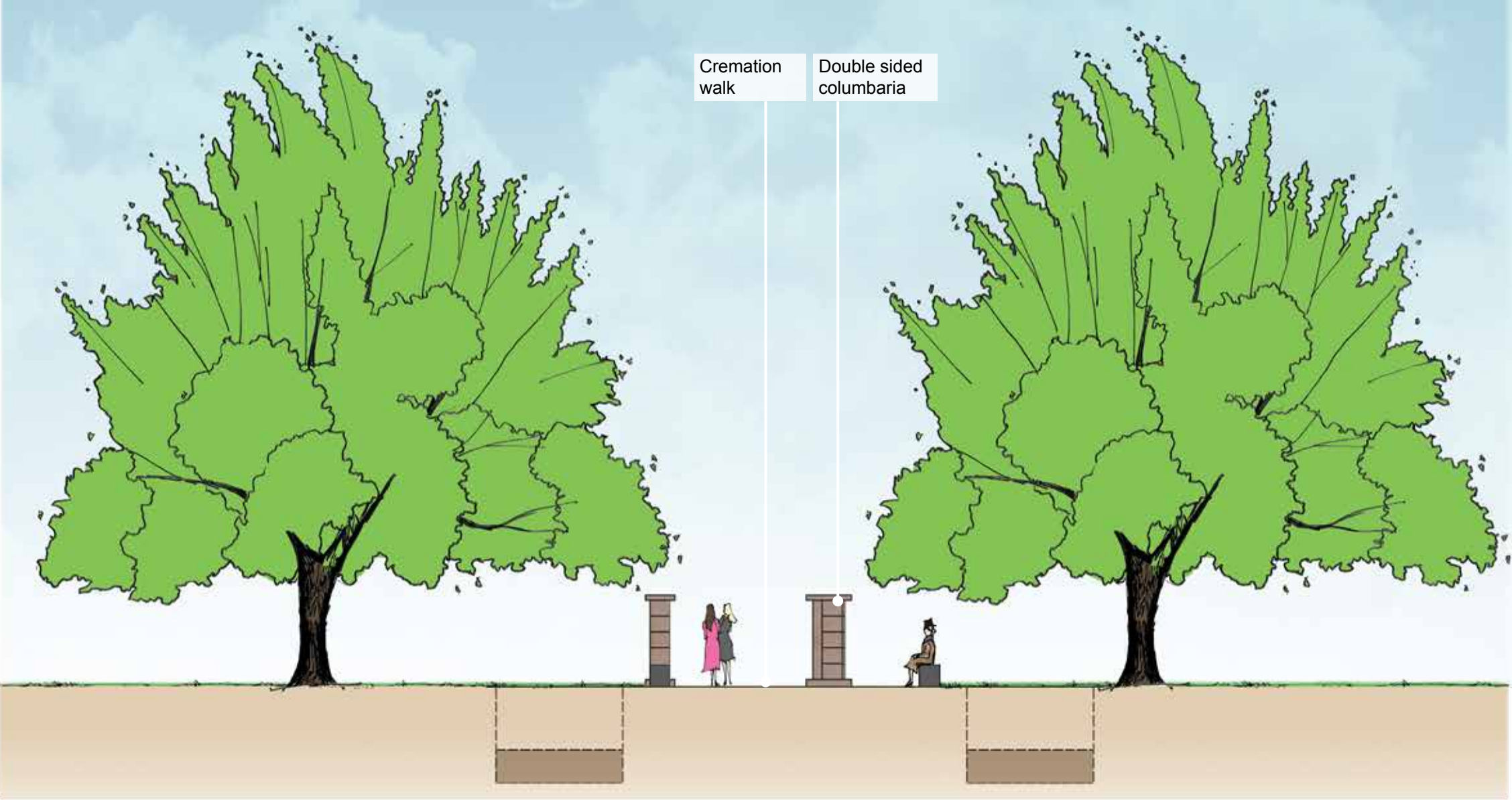


# **LEGEND**

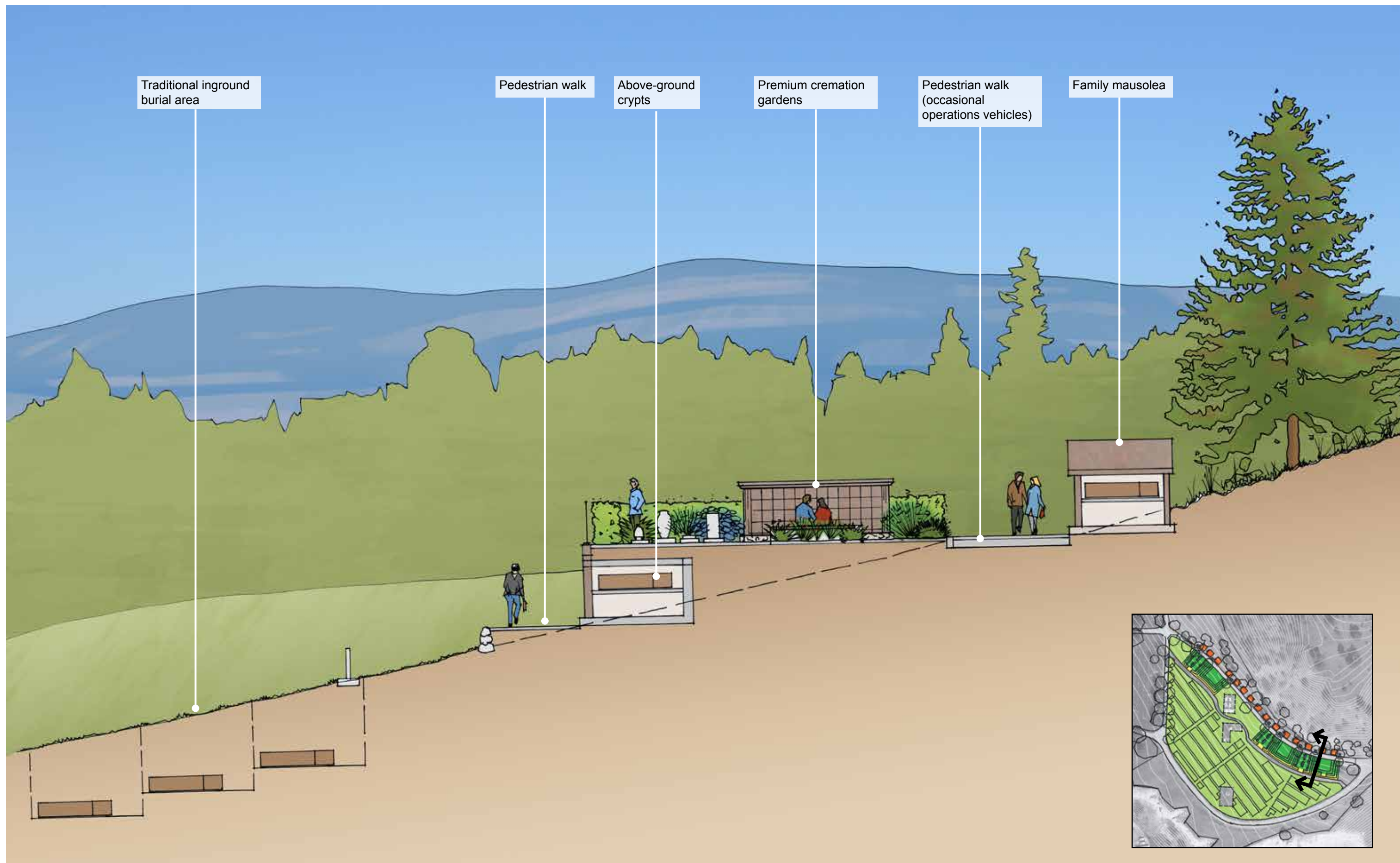
- New traditional in-ground burial
- New columbaria
- New mausolea footprints
- New premium cremation gardens
- New above ground crypts



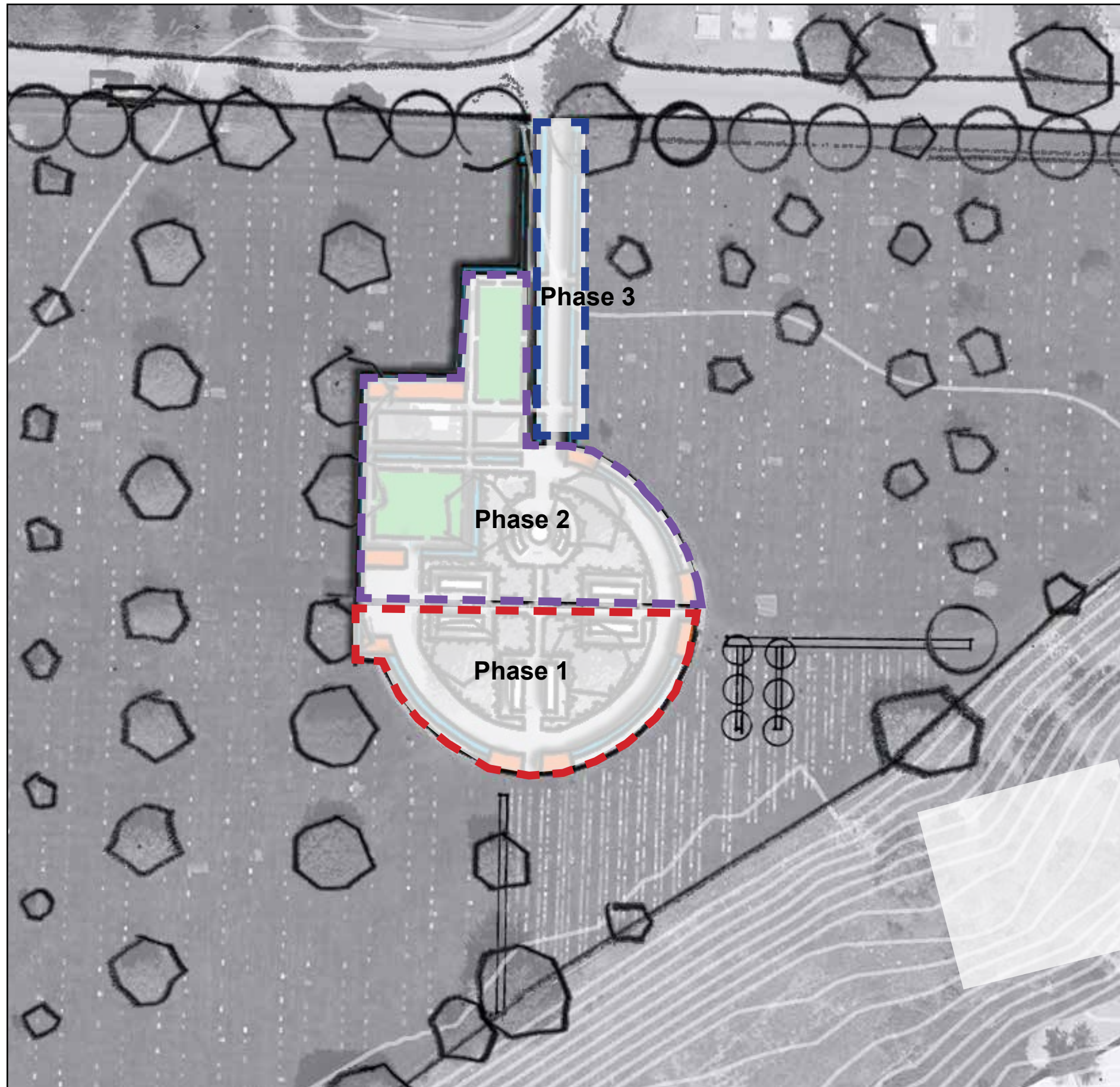




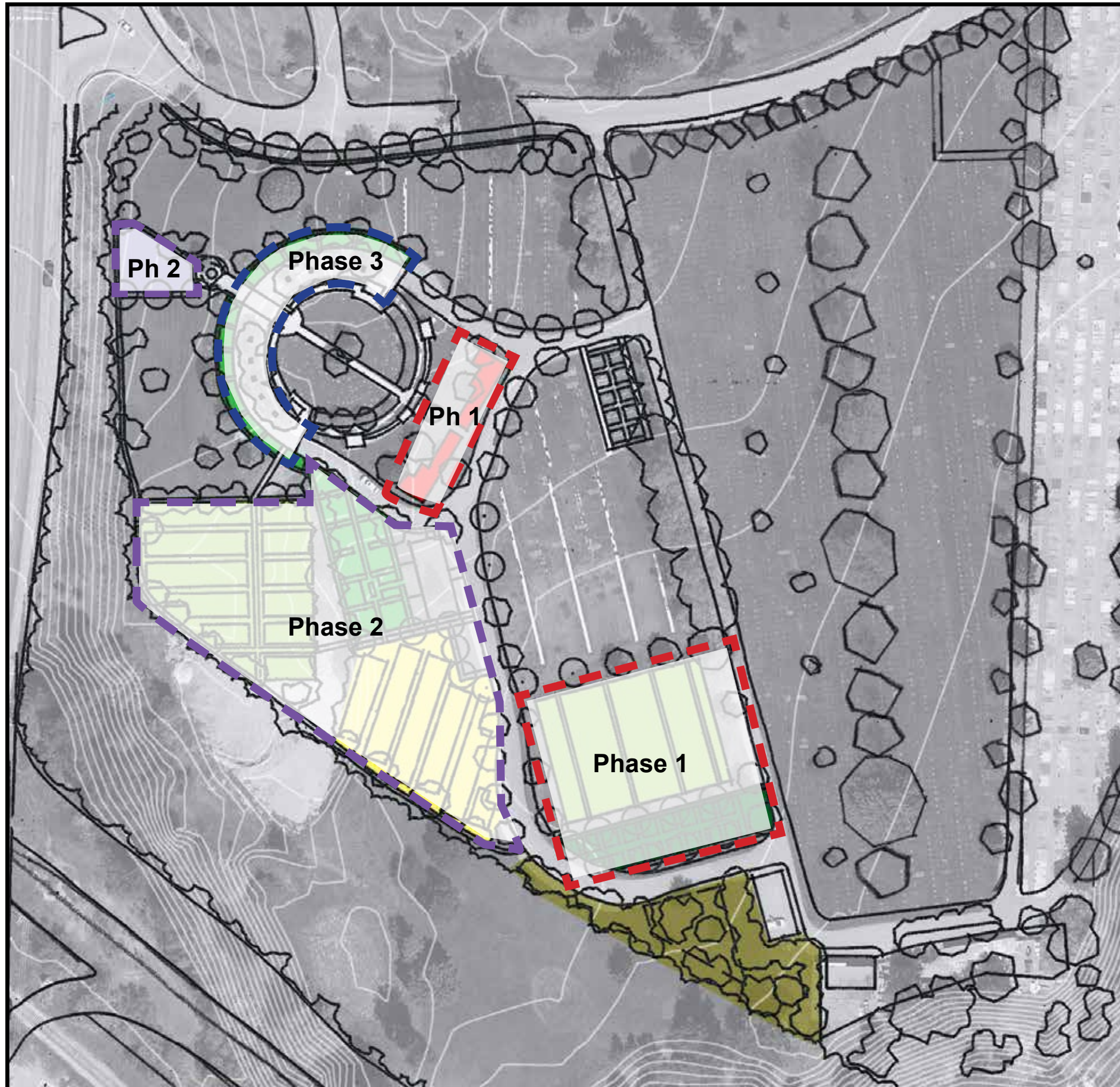




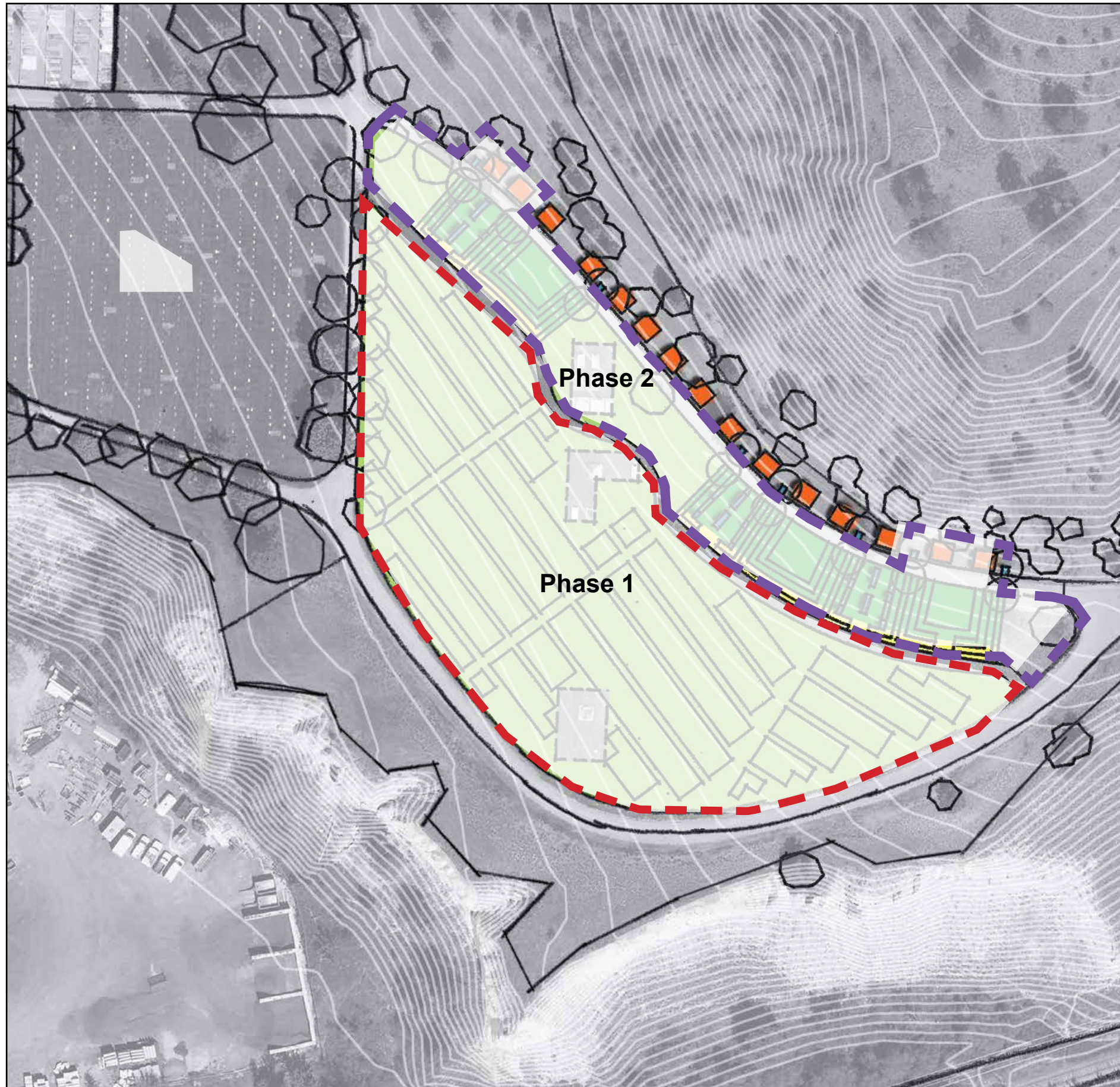














APPENDIX C: CEMETERY OFFERINGS COMPARISON

The following comparison tables are to be used as a high level guide for the purpose of assisting the City in determining its pricing policies. It is important to recognize that there are differences between these benchmark community cemeteries and KMPC in terms of demographics, financial and governance models, and the preferences of the local community in relation to the demand for various interment and memorialization services. It is not appropriate make direct comparisons between the price of a type of interment offered by one benchmark community cemetery, and conclude that KMPC should match that price.

Kelowna - 2014 Rates Comparison - Resident																
Casket Cemetery Mausolea Crypt Price Comparison																
Item	Kelowna : Kelowna Memorial Park Resident	Kelowna : Kelowna Memorial Park Non- Resident	Kamloops: Hillside + Pleasant Street Cemetery. Resident	Kamloops: Hillside + Pleasant Street Cemetery Non-Resident	Prince George: Memorial Park Cemetery Resident	Prince George: Memorial Park Cemetery Non-Resident	Lakeview Memorial Gardens Cemetery - Resident SCI	Lakeview Memorial Gardens Cemetery - Non-Resident SCI	West Kelowna: Westbank Cemetery Resident	West Kelowna: Westbank Cemetery Non- Resident	Vernon: Pleasant Valley Cemetery Resident	Vernon: Pleasant Valley Cemetery Non- Resident	Penticton: Fairview + Lakeview Cemetery Resident	Penticton Fairview + Lakeview Cemetery Non- Resident	Average Resident	Average Non- Resident
Population - Census 2011	117,312		85,678		71,273		n/a		30,892		40,000		32,877			
Mausoleum Crypt Single - MIN	\$ 6,176	\$ 7,720	n/a	n/a	\$ 7,916	\$ 9,540	\$ 8,095	\$ 8,095	\$ 12,760	\$ 15,393	n/a	n/a	\$ 16,380	\$ 22,395	\$10,265	\$ 12,629
Mausoleum Crypt - PCF	\$ 1,236	\$ 1,545	n/a	n/a	\$ 1,200	\$ 1,400	\$ 810	\$ 810	\$ 1,160	\$ 1,450	n/a	n/a	\$ 1,600	\$ 2,200	\$ 1,201	\$ 1,481
Mausoleum Crypt - Other Fund	\$ 4,942	\$ 6,178	n/a	n/a	\$ -	\$ -	\$ -	\$ -	\$ 580	\$ 580	n/a	n/a	\$ -		\$ 1,104	\$ 1,689
Mauseoleum Crypt Single MIN	\$ 12,354	\$ 15,443	n/a	n/a	\$ 9,116	\$ 10,940	\$ 8,905	\$ 8,905	\$ 14,500	\$ 17,423	n/a	n/a	\$ 17,980	\$ 24,595	\$12,571	\$ 15,461
PCF %	20%	20%	n/a	n/a	15%	15%	10%	10%	9%	9%	n/a	n/a	10%	10%	12%	12%
Mausoleum Crypt Single - MAX	\$ 7,411	\$ 9,264	n/a	n/a	\$ 14,188	\$ 17,045	\$ 17,095	\$ 17,095	\$ 14,089	\$ 17,096	n/a	n/a	\$ 17,700	\$ 23,765	\$14,097	\$ 16,853
Mausoleum Crypt - PCF	\$ 1,482	\$ 1,853	n/a	n/a	\$ 2,100	\$ 2,500	\$ 1,710	\$ 1,710	\$ 1,280	\$ 1,500	n/a	n/a	\$ 1,750	\$ 2,300	\$ 1,664	\$ 1,973
Mausoleum Crypt - Other Fund	\$ 5,929	\$ 7,411	n/a	n/a	\$ -	\$ -	\$ -	\$ -	\$ 640	\$ 640	n/a	n/a	\$ -	\$ -	\$ 1,314	\$ 1,610
Mauseoleum Crypt Single MAX	\$ 14,822	\$ 18,528	n/a	n/a	\$ 16,288	\$ 19,545	\$ 18,805	\$ 18,805	\$ 16,009	\$ 19,236	n/a	n/a	\$ 19,450	\$ 26,065	\$17,075	\$ 20,436
PCF %	20%	20%	n/a	n/a	15%	15%	10%	10%	9%	9%	n/a	n/a	10%	10%	12%	12%
Mausoleum Crypt Double - MIN	\$ 10,289	\$ 12,861	n/a	n/a	\$ 24,114	\$ 28,856	\$ 11,095	\$ 11,095	n/a	n/a	n/a	n/a	n/a	n/a	\$15,166	\$ 17,604
Mausoleum Crypt - PCF	\$ 2,057	\$ 2,571	n/a	n/a	\$ 3,600	\$ 4,400	\$ 1,110	\$ 1,110	n/a	n/a	n/a	n/a	n/a	n/a	\$ 2,256	\$ 2,694
Mausoleum Crypt - Other Fund	\$ 8,232	\$ 10,290	n/a	n/a	\$ -		\$ -	\$ -	n/a	n/a	n/a	n/a	n/a	n/a	\$ 2,744	\$ 5,145
Mauseoleum Crypt Double MIN	\$ 20,578	\$ 25,723	n/a	n/a	\$ 27,714	\$ 33,256	\$ 12,205	\$ 12,205	n/a	n/a	n/a	n/a	n/a	n/a	\$20,166	\$ 23,728
PCF %	20%	20%	n/a	n/a	15%	15%	10%	10%	n/a	n/a	n/a	n/a	n/a	n/a	15%	15%
Mausoleum Crypt Double - MAX	n/a	n/a	n/a	n/a	\$ 30,750	\$ 36,800	\$ 23,095	\$ 23,095	n/a	n/a	n/a	n/a	n/a	n/a	\$26,923	\$ 29,948
Mausoleum Crypt - PCF	n/a	n/a	n/a	n/a	\$ 4,500	\$ 5,500	\$ 2,310	\$ 2,310	n/a	n/a	n/a	n/a	n/a	n/a	\$ 3,405	\$ 3,905
Mausoleum Crypt - Other Fund	n/a	n/a	n/a	n/a	\$ -	\$ -	\$ -	\$ -	n/a	n/a	n/a	n/a	n/a	n/a	\$ -	\$ -
Mauseoleum Crypt Double MAX	n/a	n/a	n/a	n/a	\$ 35,250	\$ 42,300	\$ 25,405	\$ 25,405	n/a	n/a	n/a	n/a	n/a	n/a	\$30,328	\$ 33,853
PCF %	n/a	n/a	n/a	n/a	15%	15%	10%	10%	n/a	n/a	n/a	n/a	n/a	n/a	13%	13%

Table 15: 2014 Casket Cemetery Mausolea Crypt Price Regional Benchmark Comparison, Source: LEES+Associates, Municipal By-Laws + Cemetery Websites.

Kelowna - 2014 Rates Comparison - Resident																
Casket Cemetery Plot Price Comparison																
Item	Kelowna : Kelowna Memorial Park Resident	Kelowna : Kelowna Memorial Park Non- Resident	Kamloops: Hillside + Pleasant Street Cemetery. Resident	Kamloops: Hillside + Pleasant Street Cemetery Non-Resident	Prince George: Memorial Park Cemetery Resident	Prince George: Memorial Park Cemetery Non-Resident	Lakeview Memorial Gardens Cemetery - Resident SCI	Lakeview Memorial Gardens Cemetery - Non-Resident SCI	West Kelowna: Westbank Cemetery Resident	West Kelowna: Westbank Cemetery Non- Resident	Vernon: Pleasant Valley Cemetery Resident	Vernon: Pleasant Valley Cemetery Non- Resident	Penticton: Fairview + Lakeview Cemetery Resident	Penticton Fairview + Lakeview Cemetery Non- Resident	Average Resident	Average Non- Resident
Population - Census 2011	117,312		85,678		71,273		n/a		30,892		40,000		32,877			
Sale of Cemetery Lots																
Adult Plot - Base MIN	\$ 255	\$ 319	\$ 856	\$ 1,055	\$ 1,760	\$ 1,978	\$ 2,000	\$ 2,000	\$ 596	\$ 702	\$ 728	\$ 960	\$ 779	\$ 1,032	\$ 996	\$ 1,149
Adult - PCF	\$ 126	\$ 158	\$ 455	\$ 555	\$ 445	\$ 500	\$ 495	\$ 495	\$ 149	\$ 177	\$ 243	\$ 320	\$ 192	\$ 254	\$ 301	\$ 351
Adult - Other Fund	\$ 126	\$ 158	\$ -	\$ 420	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 18	\$ 83
Adult Plot MIN	\$ 507	\$ 634	\$ 1,311	\$ 1,610	\$ 2,205	\$ 2,478	\$ 2,495	\$ 2,495	\$ 745	\$ 879	\$ 970	\$ 1,280	\$ 971	\$ 1,286	\$ 1,315	\$ 1,523
PCF %	49%	49%	53%	53%	25%	25%	25%	25%	25%	25%	33%	33%	25%	25%	30%	31%
Adult Plot - Base MAX	\$ 1,017	\$ 1,271	\$ 1,071	\$ 1,305	\$ 3,084	\$ 3,535	\$ 6,320	\$ 6,320	\$ 596	\$ 702	\$ 728	\$ 960	\$ 780	\$ 1,032	\$ 1,942	\$ 2,161
Adult Plot - PCF	\$ 509	\$ 636	\$ 570	\$ 690	\$ 775	\$ 875	\$ 1,580	\$ 1,580	\$ 149	\$ 177	\$ 243	\$ 320	\$ 192	\$ 254	\$ 574	\$ 647
Adult Plot - Other Fund	\$ 509	\$ 636	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 73	\$ 91
Adult Plot MAX	\$ 2,035	\$ 2,544	\$ 1,641	\$ 1,995	\$ 3,859	\$ 4,410	\$ 7,900	\$ 7,900	\$ 745	\$ 879	\$ 971	\$ 1,280	\$ 972	\$ 1,286	\$ 2,589	\$ 2,899
PCF %	50%	50%	53%	53%	25%	25%	25%	25%	25%	25%	33%	33%	25%	25%	30%	30%
Adult Lawn Crypt - Base MIN	\$ 1,513	\$ 1,891	\$ 1,305	\$ 1,305	n/a	n/a	\$ 3,070	\$ 3,070	n/a	n/a	n/a	n/a	n/a	n/a	\$ 1,963	\$ 2,089
Adult Lawn Crypt - PCF	\$ 757	\$ 946	\$ 690	\$ 690	n/a	n/a	\$ 430	\$ 430	n/a	n/a	n/a	n/a	n/a	n/a	\$ 626	\$ 689
Adult Lawn Crypt - Other Fund	\$ 757	\$ 946	\$ -	\$ -	n/a	n/a	\$ -	\$ -	n/a	n/a	n/a	n/a	n/a	n/a	\$ 252	\$ 315
Adult Lawn Crypt - MIN	\$ 3,027	\$ 3,784	\$ 1,995	\$ 1,995	n/a	n/a	\$ 3,500	\$ 3,500	n/a	n/a	n/a	n/a	n/a	n/a	\$ 2,841	\$ 3,093
PCF %	50%	50%	53%	53%	n/a	n/a	14%	14%	n/a	n/a	n/a	n/a	n/a	n/a	32%	33%
Adult Lawn Crypt - Base MAX	\$ 2,100	\$ 2,625	\$ 1,305	\$ 1,305	n/a	n/a	\$ 9,810	\$ 9,810	n/a	n/a	n/a	n/a	n/a	n/a	\$ 4,405	\$ 4,580
Adult Lawn Crypt - PCF	\$ 1,050	\$ 1,313	\$ 690	\$ 690	n/a	n/a	\$ 430	\$ 430	n/a	n/a	n/a	n/a	n/a	n/a	\$ 723	\$ 811
Adult Lawn Crypt - Other Fund	\$ 1,050	\$ 1,313	\$ -	\$ -	n/a	n/a	\$ -	\$ -	n/a	n/a	n/a	n/a	n/a	n/a	\$ 350	\$ 438
Adult Lawn Crypt - MAX	\$ 4,200	\$ 5,250	\$ 1,995	\$ 1,995	n/a	n/a	\$ 10,240	\$ 10,240	n/a	n/a	n/a	n/a	n/a	n/a	\$ 5,478	\$ 5,828
PCF %	50%	50%	53%	53%	n/a	n/a	4%	4%	n/a	n/a	n/a	n/a	n/a	n/a	16%	18%
# Casket Price Point Choices	11		4		13		7		1		1		1			
Child Plot - Base	\$ 148	\$ 185	\$ 458	\$ 561	\$ 464	\$ 601	\$ 396	\$ 396	\$ 300	\$ 354	\$ 353	\$ 518	\$ 267	\$ 505	\$ 341	\$ 446
Child - PCF	\$ 75	\$ 94	\$ 245	\$ 300	\$ 155	\$ 200	\$ 99	\$ 99	\$ 75	\$ 89	\$ 118	\$ 173	\$ 66	\$ 125	\$ 119	\$ 154
Child - Other Fund	\$ 75	\$ 94	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -		\$ 11	\$ 16
Child Plot	\$ 298	\$ 373	\$ 703	\$ 861	\$ 619	\$ 801	\$ 495	\$ 495	\$ 375	\$ 443	\$ 470	\$ 690	\$ 333	\$ 630	\$ 470	\$ 613
PCF %	51%	51%	53%	53%	33%	33%	25%	25%	25%	25%	33%	33%	25%	25%	35%	35%
Infant Plot - Base	\$ 148	\$ 185	\$ 458	\$ 561	\$ 331	\$ 410	\$ 396	\$ 396	\$ 300	\$ 354	\$ 218	\$ 323	\$ 267	\$ 505	\$ 302	\$ 390
Infant - PCF	\$ 75	\$ 94	\$ 245	\$ 300	\$ 110	\$ 137	\$ 99	\$ 99	\$ 75	\$ 89	\$ 73	\$ 108	\$ 66	\$ 125	\$ 106	\$ 136
Infant - Other Fund	\$ 75	\$ 94	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -		\$ 11	\$ 16
Infant Plot	\$ 298	\$ 373	\$ 703	\$ 861	\$ 441	\$ 546	\$ 495	\$ 495	\$ 375	\$ 443	\$ 290	\$ 430	\$ 333	\$ 630	\$ 419	\$ 540
PCF %	51%	51%	53%	53%	33%	33%	25%	25%	25%	25%	33%	33%	25%	25%	35%	35%

Table 16: 2014 Casket Cemetery Plot Price Regional Benchmark Comparison, Source: LEES+Associates, Municipal By-Laws + Cemetery Websites.

Kelowna - 2014 Rates Comparison - Resident																
Cremated Remains Plot + Niche Price Comparison																
Item	Kelowna : Kelowna Memorial Park Resident	Kelowna : Kelowna Memorial Park Non- Resident	Kamloops: Hillside + Pleasant Street Cemetery. Resident	Kamloops: Hillside + Pleasant Street Cemetery Non-Resident	Prince George: Memorial Park Cemetery Resident	Prince George: Memorial Park Cemetery Non-Resident	Lakeview Memorial Gardens Cemetery - Resident SCI	Lakeview Memorial Gardens Cemetery - Non-Resident SCI	West Kelowna: Westbank Cemetery Resident	West Kelowna: Westbank Cemetery Non- Resident	Vernon: Pleasant Valley Cemetery Resident	Vernon: Pleasant Valley Cemetery Non- Resident	Penticton: Fairview + Lakeview Cemetery Resident	Penticton: Fairview + Lakeview Cemetery Non- Resident	Average Resident	Average Non- Resident
Population - Census 2011	117,312		85,678		71,273		n/a		30,892		40,000		32,877			
Cremated Remains Plot - Base MIN	\$ 182	\$ 228	\$ 316	\$ 414	\$ 441	\$ 473	\$ 995	\$ 995	\$ 398	\$ 468	\$ 218	\$ 323	\$ 238	\$ 475	\$ 398	\$ 482
Cremated Remains - PCF	\$ 91	\$ 114	\$ 170	\$ 223	\$ 110	\$ 117	\$ 249	\$ 249	\$ 99	\$ 118	\$ 73	\$ 108	\$ 60	\$ 120	\$ 122	\$ 150
Cremated Remains - Other Fund	\$ 91	\$ 114	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 13	\$ 16
Cremated Remains Plot MIN	\$ 364	\$ 455	\$ 486	\$ 637	\$ 551	\$ 590	\$ 1,244	\$ 1,244	\$ 497	\$ 586	\$ 290	\$ 430	\$ 298	\$ 595	\$ 533	\$ 648
PCF %	50%	50%	54%	54%	25%	25%	25%	25%	25%	25%	33%	33%	25%	25%	34%	34%
Cremated Remains Plot - Base MAX	\$ 726	\$ 908	\$ 852	\$ 852	\$ 861	\$ 934	\$ 1,395	\$ 1,395	\$ 398	\$ 468	\$ 218	\$ 323	\$ 238	\$ 475	\$ 670	\$ 765
Cremated Remains - PCF	\$ 363	\$ 454	\$ 460	\$ 460	\$ 218	\$ 229	\$ 349	\$ 349	\$ 99	\$ 118	\$ 73	\$ 108	\$ 60	\$ 120	\$ 232	\$ 262
Cremated Remains - Other Fund	\$ 363	\$ 454	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 52	\$ 65
Cremated Remains Plot MAX	\$ 1,452	\$ 1,815	\$ 1,312	\$ 1,312	\$ 1,079	\$ 1,163	\$ 1,744	\$ 1,744	\$ 497	\$ 586	\$ 290	\$ 430	\$ 298	\$ 595	\$ 953	\$ 1,092
PCF %	50%	50%	54%	54%	25%	25%	25%	25%	25%	25%	33%	33%	n/a	n/a	35%	35%
# Cremation Price Point Choices	5		4		4		11		1		2		1			
Columbarium Niches - Base MIN	\$ 1,369	\$ 1,711	\$ 597	\$ 597	\$ 954	\$ 1,138	\$ 2,495	\$ 2,495	\$ 1,901	\$ 2,309	n/a	n/a	\$ 2,980	\$ 3,930	\$ 1,716	\$ 2,030
Columbarium Niches - PCF	\$ 207	\$ 259	\$ 300	\$ 300	\$ 140	\$ 175	\$ 249	\$ 249	\$ 173	\$ 200	n/a	n/a	\$ 300	\$ 400	\$ 228	\$ 264
Columbarium Niches - Other Fund	\$ 684	\$ 855	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 86	\$ 86	n/a	n/a	\$ -	\$ -	\$ 128	\$ 157
Columbarium Niches MIN	\$ 2,260	\$ 2,825	\$ 897	\$ 897	\$ 1,094	\$ 1,313	\$ 2,744	\$ 2,744	\$ 2,160	\$ 2,595	n/a	n/a	\$ 3,280	\$ 4,330	\$ 2,073	\$ 2,451
PCF %	15%	15%	50%	50%	15%	15%	10%	10%	9%	9%	n/a	n/a	10%	10%	18%	18%
Columbarium Niches - Base MAX	\$ 1,302	\$ 1,627	\$ 4,630	\$ 4,630	\$ 6,028	\$ 7,214	\$ 3,800	\$ 3,800	\$ 2,464	\$ 2,957	n/a	n/a	\$ 3,195	\$ 4,155	\$ 3,570	\$ 4,064
Columbarium Niches - PCF	\$ 330	\$ 412	\$ 2,300	\$ 2,300	\$ 900	\$ 1,100	\$ 380	\$ 380	\$ 224	\$ 295	n/a	n/a	\$ 320	\$ 410	\$ 742	\$ 816
Columbarium Niches - Other Fund	\$ 1,322	\$ 1,652	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 112	\$ 112	n/a	n/a	\$ -	\$ -	\$ 239	\$ 294
Columbarium Niches MAX	\$ 2,953	\$ 3,691	\$ 6,930	\$ 6,930	\$ 6,928	\$ 8,314	\$ 4,180	\$ 4,180	\$ 2,800	\$ 3,364	n/a	n/a	\$ 3,515	\$ 4,565	\$ 4,551	\$ 5,174
PCF %	25%	25%	50%	50%	15%	15%	10%	10%	14%	14%	n/a	n/a	10%	10%	21%	21%
Memorial Wall Base	\$ 274	\$ 343	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$ 274	\$ 343
Memorial Wall Base - PCF	\$ 138	\$ 173	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$ 138	\$ 173
Memorial Wall Base - Other Fund	\$ 138	\$ 173	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$ 138	\$ 173
Memorial Wall	\$ 550	\$ 688	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$ 550	\$ 688
PCF %	50%	50%	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	50%	50%
# Columbiaria Niche Price Choices	6		9		27		5		10		0		3			
Scatter Garden/Ossuary - Base MIN	\$ 74	\$ 93	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$ 74	\$ 93
Scatter Garden/Ossuary - PCF	\$ 38	\$ 48	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$ 38	\$ 48
Scatter Garden/Ossuary - Other Fund	\$ 38	\$ 48	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$ 38	\$ 48
Scatter Garden/Ossuary MIN	\$ 150	\$ 188	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$ 150	\$ 188
PCF %	51%	51%	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	51%	51%
Scatter Garden/Ossuary - MAX	\$ 274	\$ 343	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$ 274	\$ 343
Scatter Garden/Oss. - PCF	\$ 138	\$ 173	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$ 138	\$ 173
Scatter Garden/Ossuary - Other Fund	\$ 138	\$ 173	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$ 138	\$ 173
Scatter Garden/Ossuary MAX	\$ 550	\$ 688	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$ 550	\$ 688
PCF %	50%	50%	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	50%	50%

Table 17: 2014 Cremated Remains Plot + Niche Price Regional Benchmark Comparison, Source: LEES+Associates, Municipal By-Laws + Cemetery Websites.



Kelowna - 2014 Rates Comparison - Resident																
Cemetery Services Price Comparison																
Item	Kelowna : Kelowna Memorial Park Resident	Kelowna : Kelowna Memorial Park Non- Resident	Kamloops: Hillside + Pleasant Street Cemetery. Resident	Kamloops: Hillside + Pleasant Street Cemetery Non-Resident	Prince George: Memorial Park Cemetery Resident	Prince George: Memorial Park Cemetery Non-Resident	Lakeview Memorial Gardens Cemetery Resident SCI	Lakeview Memorial Gardens Cemetery - Non-Resident SCI	West Kelowna: Westbank Cemetery Resident	West Kelowna: Westbank Cemetery Non- Resident	Vernon: Pleasant Valley Cemetery Resident	Vernon: Pleasant Valley Cemetery Non- Resident	Penticton: Fairview + Lakeview Cemetery Resident	Penticton Fairview + Lakeview Cemetery Non- Resident	Average Resident	Average Non- Resident
Population - Census 2011	117,312		85,678		71,273		n/a		30,892		40,000		32,877			
Opening and Closing																
Adult Grave Burial	\$800	\$800	\$1,134	\$1,134	\$883	\$883	\$895	\$895	\$660	\$778	\$730	\$730	\$680	\$680	\$826	\$843
Adult Lawn Crypt Interment	\$800	\$800	n/a	n/a	n/a	n/a	\$1,710	\$1,710	n/a	n/a	n/a	n/a	n/a	n/a	\$1,255	\$1,255
Child Grave Burial	n/a	n/a	\$450	\$450	\$237	\$237	\$325	\$325	\$300	\$354	\$730	\$730	\$338	\$338	\$397	\$406
Infant Grave Burial	n/a	n/a	\$450	\$450	\$156	\$156	\$325	\$325	\$300	\$354	\$220	\$220	\$338	\$338	\$298	\$307
Cremated Remains Burial	\$350	\$350	\$347	\$347	\$262	\$262	\$395	\$395	\$200	\$236	\$220	\$220	\$201	\$201	\$282	\$287
Columbarium Inurnment	\$350	\$350	\$393	\$393	\$262	\$262	\$395	\$395	\$200	\$236	n/a	n/a	\$210	\$210	\$302	\$308
Scattering Ashes Ossuary/Garden	n/a	n/a	\$103	\$103	n/a	n/a	\$245	\$245	n/a	n/a	n/a	n/a	\$331	\$441	\$226	\$263
Mausolea Entombment	\$800	\$800	\$767	\$767	\$883	\$883	\$895	\$895	\$300	\$354	\$730	\$730	\$680	\$680	\$722	\$730
Exhumation - Adult	\$1,211	\$1,211	\$1,349	\$1,349	\$1,150	\$1,150	\$1,360	\$1,360	\$1,225	\$1,446	\$730	\$730	\$1,355	\$1,355	\$1,197	\$1,229
Exhumation - Child/Infant	\$1,211	\$1,211	\$637	\$637	\$650	\$650	\$1,360	\$1,360	\$660	\$779	\$730	\$730	\$545	\$545	\$828	\$845
Exhumation - Extra Deep	\$1,211	\$1,211	n/a	n/a	\$551	\$551	\$630	\$630	\$660	\$779	\$240	\$240	\$315	\$315	\$601	\$621
Exhumation - Cremated Remains	\$303	\$303	\$375	\$375	\$300	\$300	\$415	\$415	\$250	\$295	\$220	\$220	\$287	\$287	\$307	\$314
Exhumation - Columbarium	\$303	\$303	\$393	\$393	\$300	\$300	\$415	\$415	\$250	\$295	\$220	\$220	\$231	\$231	\$302	\$308
Additional Services, Products and Fees																
Extra Deep - Openning & Closing	\$1,211	\$1,211	\$1,265	\$1,265	\$481	\$481	n/a	n/a	\$200	\$236	\$240	\$240	\$315	\$315	\$619	\$625
Burials After Hrs. Weekdays extra	\$450	\$450	\$356	\$356	\$294	\$294	\$350	\$350	\$135	\$159	\$400	\$400	\$305	\$305	\$327	\$331
Burials Weekends & Holidays extra	\$800	\$800	\$1,030	\$1,030	\$563	\$563	\$1,370	\$1,370	\$400	\$472	\$700	\$700	\$680	\$680	\$792	\$802
Cremated Weekends & Holidays	\$800	\$800	\$1,030	\$1,030	\$147	\$147	\$765	\$765	\$400	\$472	\$300	\$300	\$201	\$201	\$520	\$531
Transfer of License	\$61	\$61	\$94	\$94	\$60	\$60	\$60	\$60	\$35	\$35	\$75	\$75	n/a	n/a	\$64	\$64
Memorial Installation (Average)	\$182	\$182	\$353	\$353	\$589	\$589	\$340	\$340	\$150	\$177	\$100	\$100	\$195	\$195	\$273	\$277
Memorial Tree	\$1,100	\$1,100	\$660	\$660	n/a	n/a	\$2,995	\$2,995	n/a	n/a	n/a	n/a	n/a	n/a	\$1,585	\$1,585
Memorial Bench	\$2,500	\$2,500	\$2,977	\$2,977	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	\$2,739	\$2,739

Table 18: 2014 Cemetery Services and Additional Product Regional Benchmark Comparison, Source: LEES+Associates, Municipal By-Laws + Cemetery Websites.

## APPENDIX D: ENHANCED CHART OF ACCOUNTS

This sample chart of accounts assumes the re-numbering of existing accounts, and the creation of new, "account groups" that will summarize a group of four accounts, that track the cost or sale by a common tracking criteria.

### REVENUE ACCOUNTS

There are no proposed changes to the less used revenue codes, Additional Use (S1050), Late Arrivals After 3 PM (S1056), Placing Outside Ash Liners (S1057), and Placing Outside Vaults (S1058). These accounts are used infrequently and are not directly tied to demographic and disposition trends. However, the City should enhance the **functional description** of these accounts, so there is less ambiguity concerning which sales are posted under these categories. The following tables summarize the sales section of an alternate chart of accounts, providing a roadmap to improving the performance measurement of different revenue streams.

Revenue Account # 4150 for Burial Services			
Account Code	Account Group by Interment Type	Sub-Account Codes	Sub- Account Allocations by Residency and At-Need/Pre-Need Sales
S1051A (Formerly S1051)	Ash Burial Permits (Open/Close of Cremation Lots) <b>*Urn Burial</b>	S1051A-1	Urn Burial Permits – Resident – At-Need
		S1051A-2	Urn Burial Permits – Resident – Pre-Need
		S1051A-3	Urn Burial Permits – Non-Resident – At-Need
		S1051A-4	Urn Burial Permits– Non-Resident – Pre-Need
S1051B (Formerly S1052)	Ash Liners <b>*Urn Burial</b>	S1052B-1	Urn Burial Liners – Resident – At-Need
		S1052B-2	Urn Burial Liners – Resident – Pre-Need
		S1052B-3	Urn Burial Liners – Non-Resident – At-Need
		S1052B-4	Urn Burial Liners – Non-Resident – Pre-Need
S1051C (New Account)	Ash Inurnment (Open/Close Columbaria Niche) <b>*Urn Above Ground</b>	S1051C-1	Niche Inurnment – Resident – At-Need Original
		S1051C-2	Niche Inurnment – Resident – Pre-Need Original
		S1051C-3	Niche Inurnment Non-Resident – At-Need Original
		S1051C-4	Niche Inurnment – Non-Resident, Pre-Need Original
S1051D (New Account)	Ash Disinterment <b>*Urns</b>	S1051D-1	Urn Disinter– Resident – At-Need Original
		S1051D-2	Urn Disinter – Resident – Pre-Need Original
		S1051D-3	Urn Disinter– Non-Resident – At-Need Original
		S1051D-4	Urn Disinter– Non-Resident – Pre-Need Original
Account Group S1051			Cremation Interment Revenue Account Group Total

S1052A (Formerly S1053)	Grave Burial Permits (Open/Close of Full- Size Lots) <b>*Casket Burial</b>	S1052A-1	Casket Burial Permits – Resident – At-Need
		S1052A-2	Casket Burial Permits – Resident – Pre-Need
		S1053A-3	Casket Burial Permits – Non-Resident – At-Need
		S1053A-4	Casket Burial Permits – Non Resident – Pre-Need
S1052B (Formerly S1055)	Grave Liners <b>*Casket Burial</b>	S1052B-1	Casket Burial Liners – Resident – At-Need
		S1052B-2	Casket Burial Liners – Resident – Pre-Need
		S1052B-3	Casket Burial Liners – Non-Resident – At-Need
		S1052B-4	Casket Burial Liners – Non-Resident – Pre-Need
S1052C (Formerly S1061)	Entombment - Mausoleum Ancillary <b>*Casket Above Ground</b>	S1052C-1	Mausolea Entombment– Resident – At-Need
		S1052C-2	Mausolea Entombment– Resident – Pre-Need
		S1053C-3	Mausolea Entombment– Non-Resident – At-Need
		S1053C-4	Mausolea Entombment – Non Resident – Pre-Need
S1052C (Formerly S1054)	Grave Disinterment <b>*Caskets</b>	S1052D-1	Casket Disinter– Resident – At-Need Original
		S1052D-2	Casket Disinter – Resident – Pre-Need Original
		S1053D-3	Casket Disinter– Non-Resident – At-Need Original
		S1053D-4	Casket Disinter– Non-Resident – Pre-Need Original
Account Group S1052			Casket Interment Revenue Account Group Total

Table 19: Enhanced Chart of Accounts – Primary Cemetery Services Revenue Line Items,  
Source: LEES+Associates.

Revenue Account # 4150 for Other Burial Services			
S1059	Plaques <b>*Niche and Mausolea</b>	S1059-1	Mausolea Plaque – Resident
		S1059-2	Niche Plaque – Resident
		S1059-3	Mausolea Plaque – Non-Resident
		S1059-4	Niche Plaque – Non-Resident
S1060	Weekend and Holiday Fees <b>*All Interment Services</b>	S1060-1	Urn Burial Permits – Resident
		S1060-2	Urn Burial Permits – Non-Resident
		S1060-3	Niche Inurnment – Resident
		S1060-4	Niche Inurnment Non-Resident
		S1060-5	Casket Burial Permits – Resident
		S1060-6	Casket Burial Permits – Non-Resident
		S1060-7	Mausolea Entombment– Resident
		S1060-8	Mausolea Entombment– Non-Resident

Table 20: Enhanced Chart of Accounts – Supplementary Cemetery Services Revenue Line Items,  
Source: LEES+Associates.

Revenue Account # 4160 for Plot Sales			
Account Code	Account Group by Interment Type	Sub-Account Codes	Sub- Account Allocations by Residency and At-Need/Pre-Need Sales
S1001 <i>(Formerly S1000)</i>	Ash Cremation Lots Sales - Care and Maintenance Fund Portion	S1001-1	Cremation Lots C&MF – Resident – At-Need
		S1001-2	Cremation Lots C&MF – Resident – Pre-Need
		S1001-3	Cremation Lots C&MF – Non-Resident – At-Need
		S1001-4	Cremation Lots C&MF – Non-Resident – Pre-Need
S1101 <i>(Formerly S1100)</i>	Ash Cremation Lots Sales	S1101-1	Cremation Lots – Resident – At-Need
		S1101-2	Cremation Lots – Resident – Pre-Need
		S1101-3	Cremation Lots – Non-Resident – At-Need
		S1101-4	Cremation Lots – Non-Resident – Pre-Need
S1002 <i>(Formerly S1000)</i>	Ash Columbaria Niche - Care and Maintenance Fund Portion	S1002-1	Columbaria Niche C&MF – Resident – At-Need
		S1002-2	Columbaria Niche C&MF– Resident – Pre-Need
		S1002-3	Columbaria Niche C&MF - Non-Resident – At-Need
		S1002-4	Columbaria Niche C&MF – Non-Resident, Pre-Need
S1102 <i>(Formerly S1100)</i>	Ash Columbaria Niche Sales	S1102-1	Columbaria Niche – Resident – At-Need
		S1102-2	Columbaria Niche– Resident – Pre-Need
		S1102-3	Columbaria Niche - Non-Resident – At-Need
		S1102-4	Columbaria Niche – Non-Resident, Pre-Need
Account Group S1000 & S1100			Cremation Plot/Niche Revenue Account Group Total
S1203 <i>(Formerly S1000)</i>	Adult Grave Lots Sales - Care and Maintenance Fund Portion	S1203-1	Adult Grave Lots C&MF – Resident – At-Need
		S1203-2	Adult Grave Lots C&MF – Resident – Pre-Need
		S1203-3	Adult Grave Lots C&MF – Non-Resident – At-Need
		S1203-4	Adult Grave Lots C&MF – Non-Resident – Pre-Need
S1153 <i>(Formerly S1100)</i>	Adult Grave Lots Sales	S1153-1	Adult Grave Lots – Resident – At-Need
		S1153-2	Adult Grave Lots – Resident – Pre-Need
		S1153-3	Adult Grave Lots – Non-Resident – At-Need
		S1153-4	Adult Grave Lots – Non-Resident – Pre-Need
S1204 <i>(Formerly S1000)</i>	Mausolea Crypt Sales - Care and Maintenance Fund Portion	S1204-1	Mausolea Crypt C&MF – Resident – At-Need
		S1204-2	Mausolea Crypt C&MF– Resident – Pre-Need
		S1204-3	Mausolea Crypt C&MF - Non-Resident – At-Need
		S1204-4	Mausolea Crypt C&MF – Non-Resident, Pre-Need
S1154	Mausolea Crypt Sales	S1154-1	Mausolea Crypt – Resident – At-Need
		S1154-2	Mausolea Crypt – Resident – Pre-Need



(Formerly S1100)		S1154-3	Mausolea Crypt - Non-Resident – At-Need
		S1154-4	Mausolea Crypt – Non-Resident, Pre-Need
<b>Account Group S1200 &amp; S1150</b>			<b>Casket Plot/Crypt Revenue Account Group Total</b>

Table 21: Enhanced Chart of Accounts – Primary Cemetery Product (Plots) Revenue Line Items,  
Source: LEES+Associates.

## EXPENSE ACCOUNTS

There are no proposed changes to the less used cost codes; Donations, Cemetery Loan, Contribution to Reserve and Appropriation from Reserve. These accounts are used infrequently and are not directly tied to inflation or demand. However, the City should enhance the **functional description** of these accounts, so there is less ambiguity concerning which costs are posted under these categories. The only recommendation for the Interest Earned account is to track C&MF and Replacement Reserve Fund interest as separate line items. The following table summarizes the expenses section of an alternate chart of accounts, providing a roadmap to improving the effective tracking of different cost drivers.

Expense Accounts			
Account Code	Account Group by Function	Sub-Account Code	Sub- Account Allocations By Expense Type
5100	Cemetery Expenses, <b>Cost of Sales</b>	5110	COS - Salary & Wages, Prorated for Open/Closing Time
		5120	COS - Equipment – Lease Costs, Fuel, etc.
		5130	COS - Burial Supplies - Inventory
		5140	COS - Other Expenses
5200	Cemetery Expenses, <b>Support Costs</b> <i>*Administration, Accounting, etc.</i>	5210	Support - Salary & Wages, Support Staff
		5210	Support – Contract Services
		5230	Support – Office Supplies
		5240	Support – Other Expenses
5300	Cemetery Expenses, <b>Promotion Costs</b> <i>*Sales and Marketing</i>	5310	Sales - Salary & Wages, Promotions Staff
		5320	Sales – Contract Services
		5330	Sales – Marketing & Sales Supplies
		5340	Sales – Other Expenses
5400	Cemetery Expenses, <b>Care and Maintenance</b>	5410	Site Care - Salary & Wages, Prorated for Maintenance Time
		5420	Site Care - Contract Services
		5430	Site Care - Equipment – Lease Costs, Fuel, etc.
		5440	Site Care – Other Expenses

Table 22: Enhanced Chart of Accounts – Operating Expense Line Items,  
Source: LEES+Associates.

## APPENDIX E: CARE AND MAINTENANCE FUND LEGISLATIVE REQUIREMENTS

Cemeteries are unique facilities and landscapes, due in part to their governance by the **British Columbia (BC) Cremation, Interment and Funeral Services Act (2004)**. This Act stipulates that cemetery owners must provide “care and maintenance” of their properties, and that they must do so in perpetuity.

This obligation for maintenance begins at the time a cemetery is established, extends through the period during which they are active and generating revenue, and continues long after they are full and no longer generating revenue.

What exactly qualifies as care and maintenance is not stipulated by legislation, and as a result, the level of care and maintenance provided at cemeteries varies widely. While a cemetery is active, it is in the interests of its owner to maintain it so the site will attract families seeking a pleasant, respectful environment for the interment of their loved ones. Once a site is no longer active, there is understandably less incentive for a cemetery owner to invest in its care and maintenance.

Care and Maintenance Fund legislation in BC dates back to the 1950's, although the implementation of a Care and Maintenance Fund was implemented at some provincial cemeteries by the 1930's. The legislation applies to all cemeteries, public and private, denominational or nonsectarian.

The intent of Care and Maintenance legislation is to ensure that cemeteries will not be abandoned after they are full, or that the burden of paying for their care and maintenance will not fall—at least not entirely—onto the shoulders of tax payers. The legislation confirms society's values that a maintained landscape conveys respect for the people interred there. It also establishes that this obligation belongs to the community rather than to the families of those buried at any given site.

Care and Maintenance legislation ensures that closed cemeteries will receive ongoing maintenance, thereby protecting public health and safety as well as the value of adjacent properties. A closed cemetery that is reasonably maintained is also able to fulfill its role as a repository of local history and heritage. In many instances, such sites can also serve as valuable community open space, and eventually perform a valuable ecological function in the larger landscape.

It is considered to be an industry best practice for a portion of cemetery sales to be allocated to the long term planning of cemetery care and maintenance. Endowment or Care and Maintenance Funds in British Columbia are protected by law and are very conservatively managed. Income from the fund can only be spent on cemetery care and maintenance and the principal of a cemetery care fund is protected by provincial legislation.

In British Columbia, Care Funds must be **managed in accordance** with the **Cremation, Interment and Funeral Services Act, Part 7**.

**Cremation, Interment and Funeral Services Act, Part 7”.**

***Establishment of care fund***

- 28** (1) A director may order an operator of a place of interment to establish a care fund in respect of the place of interment on terms and conditions specified by the director.
- (2) A director may vary, by order, the terms and conditions in an order establishing a care fund.
- (3) Subject to the regulations, if an operator of a place of interment has established a care fund for the place of interment, the operator, and all subsequent operators, must make deposits to the care fund in the prescribed amounts.
- (4) If a director has ordered an operator to establish a care fund, all funds that the operator is required to place in the care fund must be kept separate and apart.
- (5) If a director has ordered an operator of a place of interment to establish a care fund, the operator must establish and administer the care fund
- (a) As a trust account with a savings institution in British Columbia,
- (b) By entering into a trust agreement with the savings institution that includes the types of terms prescribed, and
- (c) In accordance with the regulations.
- (6) Subsection (5) (a) and (b) does not apply to a municipality, a regional district or an improvement district.
- (7) A subsequent operator must maintain the care fund in accordance with this Act, the regulations and the terms and conditions related to the care of the fund imposed, from time to time, by order of a director.

***Requirements on trustee of care funds***

- 29** (1) A savings institution is the trustee of a care fund established with it and must administer the care fund
- (a) In accordance with the regulations, and
- (b) Subject to paragraph (a), in accordance with the terms of a written trust agreement between the savings institution and the operator of the place of interment to which the care fund relates.
- (2) A municipality, a regional district or an improvement district that administers its own care fund is deemed to be the trustee of the care fund established by it and must administer the care fund in accordance with the regulations.
- (3) In addition to any requirements imposed under this Act, the trustee of a care fund must ensure that the care fund established with the trustee is invested and accounted for in accordance with the provisions of the Trustee Act.
- (4) The trustee of a care fund must ensure that no part of the care fund is invested with a person or an organization that owns or operates a place of interment or crematorium, or carries on business as a funeral provider or memorial dealer.
- (5) A trustee of a care fund must ensure that no part of the principal of the care fund is paid to the operator of the place of interment to which the care fund relates without the prior approval of a director.

*(6) A trustee of a care fund may purchase and hold securities on behalf of the care fund only in the name of the care fund.*

**Requirements for audit of care fund and maintenance of relevant records**

**30** *(1) A director may*

*(a) Audit a care fund, or*

*(b) Order an operator of a place of interment to have a care fund audited by a person within a class of persons prescribed by the Lieutenant Governor in Council.*

*(2) An operator of a place of interment must maintain records related to the maintenance of the care fund in a manner that is satisfactory to a director.*

**Transfer of care fund**

**31** *(1) An operator of a place of interment in respect of which a care fund has been established must ensure that the care fund is transferred to the subsequent operator before the subsequent operator takes control of the place of interment.*

*(2) Until the subsequent operator enters into a new trust agreement with a savings institution, a trust agreement between a savings institution and the operator of a place of interment with respect to a care fund applies, without any amendment to the trust agreement, to the subsequent operator, as if the subsequent operator were the operator who entered into the agreement.*

**Use of care funds**

**32** *(1) A savings institution may pay an operator interest and dividend income earned by the care fund, but only for the purpose of paying the operator's liabilities arising out of care and maintenance services provided by any person for the place of interment.*

*(2) An operator must use the funds provided under subsection (1) only for the purpose for which they were paid.*

**Seizure of care funds by creditors**

**33** *Subject to section 32 [use of care funds], but despite any other enactment, a care fund and any money held by an operator for deposit to a care fund*

*(a) Is not available to satisfy the liabilities of the operator of the care fund, and*

*(b) Is not subject to any process of garnishment, attachment, execution or seizure by a creditor.*

**Liability of savings institution for payments from care funds**

**34** *(1) Subject to subsection (2), a savings institution that holds and administers a care fund is not liable with respect to a payment from the care fund if the payment is made*

*(a) In accordance with this Act, the regulations and the terms and conditions of each applicable order referred to in section 28 [establishment of care fund], and*

*(b) In compliance with a statement of expenses of the operator received by the savings institution that shows the amount the operator spent for the care and maintenance of the place of interment to which the fund relates.*

*(2) Subsection (1) does not apply if the savings institution knew, or ought to have known, that the statement referred to in subsection (1) (b) was not accurate or complete.*



**Dealings with care funds if cemeteries abandoned or in financial difficulty**

**35** (1) If a director considers that a place of interment is abandoned or is in financial difficulty, the director, by written notice to the operator and the savings institution holding and administering the care fund that relates to the place of interment, may order the savings institution to administer the care fund, in accordance with the directions of the director until the date the order is rescinded by the director.

(2) On the date that a savings institution receives a written notice under subsection (1), the director becomes the sole operator with respect to the care fund for the place of interment referred to in the order and from that date the director has all the powers, functions and duties of the operator with respect to the care fund.

(3) When an order referred to in subsection (1) is rescinded, the director ceases to have the authority referred in subsection (2) and the operator of the place of interment at the time of rescission has the powers, functions and duties of an operator under this Part.

**Requirements for operators that do not have care fund**

**36** If a director has not issued an order under section 28 [establishment of care fund] with respect to a place of interment, the operator of the place of interment must

(a) Provide a reasonable level of care and maintenance of the place of interment at the operator's own expense, and

(b) If requested by a director, submit to the director, within the time specified by the director, a report containing the information required by the regulations.

The required Care and Maintenance Fund **contributions** are delineated by **Part 2** of the BC Cremation, Interment and Funeral Services Act, Services Regulation, as follows:

**Cremation, Interment and Funeral Services Act, Services Regulation - Part 2 – Item 20**

**Required amount of contribution to care funds**

**20** (1) In subsections (2) and (3), "right of interment" does not include a right of interment of cremated remains or human remains in a columbarium niche or mausoleum crypt.

(2) Except as provided in subsection (3), an operator that has a care fund for a cemetery must, for each right of interment at the cemetery that is sold, make a deposit to that fund of not less than **25% of the selling price of the right of interment**.

(3) An operator of a **place of interment** listed in Column 1 of Schedule 1 to this regulation must, for the type of right of interment set out opposite in Column 2 that is sold by the operator, make a deposit to the care fund of **not less than the percentage of the selling price of the right of interment** set out opposite in Column 3.

(4) Except as provided in subsection (3), an operator that has a care fund for a mausoleum or columbarium must make a deposit to the care fund of **not less than 10% of the selling price for each right of interment related to a mausoleum or columbarium**.

(5) An operator that has a care fund for a place of interment must make a deposit to the care fund of not less than **\$10 for each memorial installed at the place of interment**.

In summary, legislation requires C&MF contributions of **10%** for mausolea and columbaria and **25%** for in-ground graves, and **\$10** for each memorial installed. Some municipalities in BC have chosen to contribute more than this statutory requirement.

## APPENDIX F: GLOSSARY OF CEMETERY TERMS

*Adapted from various sources by LEES+Associates.*

AT-NEED	<ul style="list-style-type: none"><li>▪ At the time of, or immediately following, death.</li><li>▪ Usually refers to the time of purchase of funeral or cemetery services.</li></ul>
BOOK OF MEMORIES	<ul style="list-style-type: none"><li>▪ Plaque with list of names of the deceased who typically are located in areas not readily accessible.</li><li>▪ A type of memorial monument.</li></ul>
BURIAL	<ul style="list-style-type: none"><li>▪ One form of interment.</li><li>▪ The placement of human or cremated remains in a grave.</li></ul>
BURIAL LINER	<ul style="list-style-type: none"><li>▪ Similar to a burial vault, however, unlike a vault it only covers the top and sides of the casket</li></ul>
BURIAL PERMIT	<ul style="list-style-type: none"><li>▪ A legal document issued by a regulatory authority authorizing final disposition of human remains.</li></ul>
BURIAL VAULT	<ul style="list-style-type: none"><li>▪ A protective, sealable outer receptacle, into which a casket or urn is placed, designed to restrict the entrance of gravesite elements into the casket or urn.</li></ul>
BYLAWS	<ul style="list-style-type: none"><li>▪ The written regulations, rules or laws governing the organization, management and operation of a cemetery, mausoleum, columbarium or crematorium.</li></ul>
CARE AND MAINTENANCE FUND	<ul style="list-style-type: none"><li>▪ An irrevocable trust fund established, held and administered in accordance with applicable law, with the income from the fund to be used for the upkeep and repair of a cemetery, mausoleum or columbarium.</li></ul>
CASKET	<ul style="list-style-type: none"><li>▪ A rigid container usually constructed of wood, metal or similar material, ornamented and lined with fabric, designed for the encasement of human remains.</li></ul>
CASKET ENTOMBMENT	<ul style="list-style-type: none"><li>▪ When a casket is interred in a mausoleum.</li></ul>

CEMETERY SERVICES	<ul style="list-style-type: none"> <li>▪ The disposition of human remains by interment or cremation and includes the supply of goods incidental to the provision of such service, but does not include the sale of lots.</li> </ul>
COLUMBARIUM (plural: COLUMBARIA)	<ul style="list-style-type: none"> <li>▪ A structure, building, an area in a structure or building that contains, as an integral part of the structure or building or as a freestanding sections, niches for the inurnment of cremated remains.</li> <li>▪ Can be “Individual”, “Family” or “Community”, based on the number of niches, and how they are sold.</li> </ul>
COMMEMORATION	<ul style="list-style-type: none"> <li>▪ A ceremony, service or symbol of memory for a person/people or event</li> </ul>
COMMINGLING	<ul style="list-style-type: none"> <li>▪ The mixing of the cremated remains of more than one deceased person.</li> </ul>
CONTAINER	<ul style="list-style-type: none"> <li>▪ A self-contained receptacle or enclosure other than a casket, made of rigid cardboard, pressed wood or other similar material that is of sufficient strength to hold and conveniently transport human remains, but does not include a metal or fibre glass casket, or receptacle or enclosure made of plastic or similar substance, or a pouch or bag.</li> </ul>
CREMATED REMAINS	<ul style="list-style-type: none"> <li>▪ The human bone fragments that remain after cremation that may also include the residue of any other materials cremated with the human remains.</li> </ul>
CREMATION	<ul style="list-style-type: none"> <li>▪ The irreversible reduction of human remains to bone fragments through the application of flame and intense heat; in some jurisdictions this may include the repositioning or movement of the body during the process to complete the cremation; and the manual or mechanical reduction of the bone fragments after removal from the cremation chamber.</li> </ul>
CREMATION LOT	<ul style="list-style-type: none"> <li>▪ A space used, or intended to be used, specifically for the interment of cremated remains.</li> <li>▪ Typically, a smaller than full-sized lot.</li> </ul>
CREMATORIUM	<ul style="list-style-type: none"> <li>▪ The building or part of a building that is fitted with approved appliances for the purpose of cremation human remains and includes everything incidental or ancillary to it.</li> </ul>

CRIB GRAVE	<ul style="list-style-type: none"> <li>▪ A grave lot surrounded by a small picket fence.</li> </ul>
CRYPT	<ul style="list-style-type: none"> <li>▪ One kind of lot.</li> <li>▪ Typically, a space in a mausoleum used or intended to be used for the entombment of human remains.</li> </ul>
DEATH CERTIFICATE	<ul style="list-style-type: none"> <li>▪ A legal document certifying the vital statistics pertaining to the life and death of a deceased person.</li> </ul>
DIRECT (or IMMEDIATE) DISPOSITION	<ul style="list-style-type: none"> <li>▪ The final disposition of human remains without any formal viewing or visitation, ritual, rite, service or ceremony.</li> </ul>
DISINTERMENT	<ul style="list-style-type: none"> <li>▪ The removal of human remains, along with the casket or container or any remaining portion of the casket or container holding the remains, from the lot in which the remains had been interred.</li> </ul>
DOUBLE DEPTH LOT	<ul style="list-style-type: none"> <li>▪ A lot dug at extra depth at the time of the interment of the first casket to allow for the accommodation of a second interment at regular depth.</li> </ul>
EASEMENT	<ul style="list-style-type: none"> <li>▪ The right acquired, whether or not supported by a certificate, to interment in a lot.</li> </ul>
ENTOMBMENT	<ul style="list-style-type: none"> <li>▪ One form of interment.</li> <li>▪ The placement of human remains in a mausoleum crypt.</li> </ul>
FAMILY COLUMBARIUM	<ul style="list-style-type: none"> <li>▪ See columbarium</li> </ul>
FAMILY ESTATE LOTS	<ul style="list-style-type: none"> <li>▪ A family estate lot contains 6-12 lots together.</li> </ul>
FAMILY VESSEL	<ul style="list-style-type: none"> <li>▪ A large urn for several cremated remains. Remains may be comingled or may be contained in smaller, individual urns, held within the larger vessel.</li> </ul>
FLAT MARKER	<ul style="list-style-type: none"> <li>▪ A grave marker set flush with the ground.</li> </ul>
FUNERAL SERVICES	<ul style="list-style-type: none"> <li>▪ The arrangements, care and preparation of human remains for interment, cremation or other disposition and includes the supply of goods incidental to the arrangements, care and preparation, but does not include the sale of lots.</li> </ul>
GRAVE	<ul style="list-style-type: none"> <li>▪ One kind of lot.</li> </ul>



	<ul style="list-style-type: none"> <li>▪ A portion of ground in a cemetery, used or intended to be used, for the burial of human remains or cremated remains.</li> </ul>
GRAVE LINER	<ul style="list-style-type: none"> <li>▪ A fibreglass or concrete structure installed over a casket once it has been placed in the grave.</li> </ul>
GRAVE MARKER	<ul style="list-style-type: none"> <li>▪ Can be in-ground (flat) or upright.</li> </ul>
GREEN BURIAL	<ul style="list-style-type: none"> <li>▪ A more environmentally conscious alternative to “traditional burial.” Typically includes:                             <ul style="list-style-type: none"> <li>a. no embalming;</li> <li>b. burial directly in the ground without a grave liner or vault;</li> <li>c. a fully biodegradable burial container (casket or shroud);</li> <li>d. interment sites planted with indigenous ground cover, and</li> <li>e. without individual grave markers.</li> </ul> </li> </ul>
INTERMENT	<ul style="list-style-type: none"> <li>▪ Disposition by:                             <ul style="list-style-type: none"> <li>a. burial of human remains or cremated remains in a grave;</li> <li>b. entombment of human remains in a mausoleum, crypt, or;</li> <li>c. inurnment of cremated remains in a columbarium niche.</li> </ul> </li> </ul>
INURNMENT	<ul style="list-style-type: none"> <li>▪ One form of cremated remains interment.</li> <li>▪ The process of placing cremated remains in a receptacle including, but not limited to, an urn and placing the urn into a niche.</li> </ul>
LAWN CRYPT	<ul style="list-style-type: none"> <li>▪ A concrete or other durable and rigid outer receptacle installed in a grave prior to burial.</li> </ul>
LOT	<ul style="list-style-type: none"> <li>▪ A space used, or intended to be used, for the interment of human remains or cremated remains under a right of interment and includes a grave, crypt, niche or plot.</li> </ul>
LOT HOLDER	<ul style="list-style-type: none"> <li>▪ The person in whose name the right of interment in a lot is registered in the records of a cemetery and, where the</li> </ul>

	interment has taken place, includes the person who has legally acquired ancillary rights to the lot.
MAINTENANCE FUND (also known as CARE FUND or CARE AND MAINTENANCE FUND)	<ul style="list-style-type: none"> <li>▪ A fund established for the upkeep and repair of a cemetery, mausoleum or columbarium.</li> </ul>
MAUSOLEUM (plural: MAUSOLEA)	<ul style="list-style-type: none"> <li>▪ A structure or building that contains interior or exterior crypts designed for the entombment of human remains.</li> </ul>
MAUSOLEUM CRYPT	<ul style="list-style-type: none"> <li>▪ A chamber of a mausoleum or sufficient size for entombment of human remains.</li> </ul>
MEMORIAL	<ul style="list-style-type: none"> <li>▪ A product, meeting the bylaw standard of a cemetery, used or intended to be used to identify a lot or to memorialize a deceased person interred or to be interred in a lot, including but not limited to:                             <ul style="list-style-type: none"> <li>a. a marker, headstone, tombstone monument, plaque, tablet or plate on a lot; or</li> <li>b. a tablet inscription, lettering or ornamentation on a crypt or niche front, or</li> <li>c. a tree, boulder or other feature so identified.</li> </ul> </li> <li>▪ A ceremony, rite or ritual commemorating the life of a deceased individual without the human remains being present.</li> </ul>
NECESSARIUM	<ul style="list-style-type: none"> <li>▪ A necessarium is located in a cemetery for filling vases and disposing of garbage. It often provides watering cans, flower vases, and hand tools. A necessarium should be located within 60m from all graves.</li> </ul>
NICHE	<ul style="list-style-type: none"> <li>▪ One kind of lot.</li> <li>▪ A space, usually within a columbarium, for placing a receptacle containing cremated remains.</li> </ul>
OSSUARY	<ul style="list-style-type: none"> <li>▪ A vessel for the interment of two or more cremated remains.</li> <li>▪ Typically, the cremated remains are commingled</li> </ul>

OUTER CONTAINER	<ul style="list-style-type: none"><li>▪ A receptacle, which is designed for placement in a lot to accept the placement of a casket or urn.</li></ul>
PERPETUAL CARE AND MAINTENANCE FUND	<ul style="list-style-type: none"><li>▪ An irrevocable trust fund established, held and administered in accordance with applicable law, with the income from the fund to be used for the upkeep and repair of a cemetery, mausoleum or columbarium.</li></ul>
PRE-NEED	<ul style="list-style-type: none"><li>▪ Any time prior to death.</li><li>▪ Usually refers to the time of purchase of funeral or cemetery services.</li><li>▪ “Pre-need planning” refers to the process of making arrangements and/or entering into contracts regarding future cemetery services for one or more persons who are still alive at the time.</li></ul>
REGISTRAR	<ul style="list-style-type: none"><li>▪ The person responsible for the administration and enforcement of applicable laws and regulations relating to cemetery and funeral services. In British Columbia or Alberta, this person is known as the “Director of Cemeteries.”</li></ul>
SCATTERING	<ul style="list-style-type: none"><li>▪ The irreversible dispersal of cremated remains over land or water, or commingling in a defined area in a cemetery.</li></ul>
SCATTERING GARDEN	<ul style="list-style-type: none"><li>▪ An area within a cemetery, usually providing an attractive natural or ornamental setting, dedicated to the scattering of cremated remains.</li></ul>
SPIRIT HOUSE	<ul style="list-style-type: none"><li>▪ A wooden shelter over a grave to house the spirit of the dead, typical of First Nations cemeteries.</li></ul>
UPRIGHT MARKER	<ul style="list-style-type: none"><li>▪ A grave marker that is not flush with the ground is mounted on a footing and intended to be visible over the surrounding finished grade.</li></ul>
URN	<ul style="list-style-type: none"><li>▪ A receptacle for containing cremated remains.</li></ul>

## APPENDIX G: GREEN BURIAL

Green burial typically appeals to families who are considering cremation but may have concerns about the carbon footprint imposed by this process. People who wish to make a personal statement about their commitment to the environment are often interested in green burial.

Public interest in this type of interment is growing in Canada. The first and largest green burial site currently operating within a public cemetery in Canada is the Woodlands section at Royal Oak Burial Park near Victoria, BC. This site opened in late 2008 and has since sold over 70 at-need and 100 pre-need lots. Offering green burial is advantageous in terms of its **marketing value**. Print, TV and radio media are very attuned to stories about green burial. Stephen Olson, Executive Director of Royal Oak Burial Park in Victoria, BC attests to the promotional value of the green burial initiative at his cemetery.<sup>2</sup>

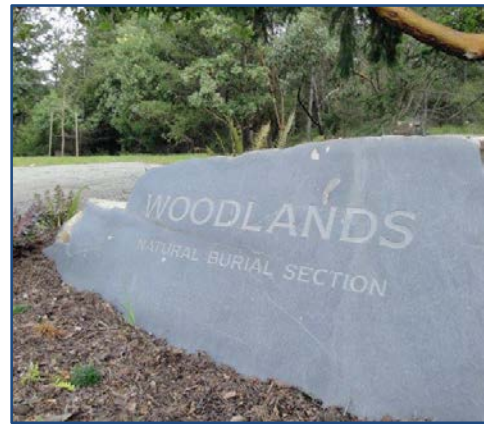
Green burial areas can yield the same capacity, revenue and profit margin per lot as traditional burial grounds. Over the long term, maintenance is less costly since a green burial area is expected to “return to nature,” if not simply appear as more naturalistic and less manicured.

Offering this type of interment is unlikely to require significant capital investment, and could increase the inventory of in-ground burial sites by designating green burial lots as an enhanced use of an edge location or buffer zone in the cemetery.

Since green burial allows for slightly shallower excavations (of about 1.2m/ 4' depth) compared with the 1.8m/6' depth of conventional burials, smaller equipment may be used for grave excavation. Green burial lots do not require the removal of excavated soils or the replanting and maintenance of turf grass. As a result, sites that would otherwise be challenging to develop as conventional graves can be good candidates for green burial.



*Figure 90: Typical Green Burial Service,  
Source: LEES+Associates.*



*Figure 89: Typical green burial communal  
marker, Source: LEES+Associates.*

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<sup>2</sup> CTV News, 'More people opting for 'The Green Goodbye'', February 20, 2013  
(<http://bc.ctvnews.ca/more-people-opting-for-the-green-goodbye-1.1158345>)



It is unlikely that public demand for of green burial will eclipse that of traditional burial over the foreseeable future. There are several factors that the cemetery should consider when evaluating whether to expand interment options to include green burial:

- **Green burial can generate sales revenues comparable to a conventional in-ground burial.**

Many people are willing to pay full price—in some cases even pay a premium—for products that they believe reflect and convey their personal values. Green burial lots can be sold at the same price as conventional lots, typically at a lower development cost and with lower associated maintenance costs.

- **Green burial has been shown to attract families who had previously planned for a cremation—suggesting it attracts customers from the rising cremation market, rather than the traditional casket market.**

Based on his experience at Royal Oak Burial Park's green burial area, Executive Director Stephen Olson noted that 80% of the customers that have chosen burial at the Woodlands site had originally planned for cremation. If this translates to the larger market, offering green burial at a cemetery could have the effect of reclaiming some of the market that is gradually being lost to the cemetery through people choosing cremation and not choosing to inter these remains in a cemetery environment.

- **Green burial requires less maintenance, including less fuel for power equipment.**

Turf is the most labour and energy-intensive component of the traditional cemetery environment. Since green burial sites are not planted with turf grass, they do not require the high level management traditional burial areas require. The impact of removing lawn care from a cemetery budget can be significant, especially over the long term.

- **Green burial attracts public interest.**

Based on the experience of Royal Oak, offering green burial has been proven to be very effective marketing for the cemetery, attracting wide-spread interest and a generally positive response from across North America.

The Okanagan is home to many people that value nature and a rural lifestyle. It is likely that some of this cohort, many of whom are now reaching retirement age would be receptive to the idea of green burial, should it be offered at KMPC.

## **APPENDIX H: GEOTECHNICAL REPORT AND TEST GRAVE DIG REPORT**

December 11, 2014

Reference No. 1404405-001-L-Rev0

Mr. Richard Cook, Associate  
LEES + Associates  
509-318 Homer Street  
Vancouver, BC  
V6B 2V2

**GEOTECHNICAL ASSESSMENT FOR PROPOSED KELOWNA MEMORIAL PARK CEMETERY MASTER PLAN, KELOWNA, BRITISH COLUMBIA**

Dear Mr. Cook,

Further to your signed authorization to proceed received on October 9, 2014, Golder Associates Ltd. (Golder) conducted a geotechnical assessment for the property at the Kelowna Memorial Park Cemetery (cemetery site) located at 1991 Bernard Avenue, immediately east of Spall Road, along the base of Dilworth Mountain and adjacent to the Kelowna Golf and Country Club property. The geotechnical assessment did not include an intrusive investigation but rather it was limited to a desktop review using information from our previous projects carried out at the site for the City of Kelowna.

The purpose of the geotechnical assessment was to review and summarize the various geotechnical conditions previously investigated and identified at the cemetery site and based on those conditions, provide geotechnical comments and recommendations pertaining to the proposed development concepts for use in the development of the Cemetery Master Plan.

It should be noted that the scope of this letter is limited to the geotechnical assessment and does not include any investigations, analytical testing or assessments of possible soil and groundwater contamination, archaeological or biological considerations or sediment control measures.

This letter should be read in conjunction with the LEES + Associates Kelowna Memorial Park Cemetery Master Plan report regarding references made to designated "Section numbers" shown on the plan drawings. Furthermore, this letter should also be read in conjunction with "**Important Information and Limitations of This Report**" which is appended following the text in Appendix A. The reader's attention is specifically drawn to this information, as it is essential for the proper use and interpretation of this letter.



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## 1.0 GEOTECHNICAL BACKGROUND INFORMATION

As part of the desktop assessment, the following geotechnical background information from previous investigations was assembled and reviewed. The following is a list of previous geotechnical investigations conducted directly for the City of Kelowna in chronological order.

- Slope Stabilization, Kelowna Cemetery, June 3, 1993, (932-4059).
- Geotechnical Investigation, Proposed Cemetery Expansion, September 19, 1995, (952-4176).
- Slope Instability, Kelowna Memorial Park Cemetery, January 8, 2004, (031440197).
- Review of Slope Instability, Kelowna Memorial Park Cemetery, March 12, 2004 (031440197).
- Geotechnical Investigation, Proposed Office and Columbarium Building, November 7, 2005, (051440227).
- Slope Instability Review, South End of Section "B", Kelowna Memorial Park Cemetery, July 10, 2009, (0714400039-1020).
- Geotechnical Assessment for Long Term Slope Stabilization Options at Kelowna Memorial Park Cemetery, April 27, 2010, (0714400039-1020).
- Slope Inspection at Spall Road at Memorial Cemetery Site, October 4, 2012, (0714400039-1020).

Using the geotechnical information from the above summarized investigations, pertinent geotechnical conditions considered to be applicable to the cemetery development plan were reviewed with respect to:

- Known instability of the existing steep slopes that borders the southern edge of the cemetery site;
- General subsurface soil and groundwater conditions encountered at the time of the previously conducted investigations;
- Review of old City of Kelowna topographic maps produced from September 1960 aerial photographs and 2012 topographic and aerial photographs to help determine site areas where potential earthworks has been carried out as part of the ongoing cemetery development; and,
- Review of proposed Central Okanagan Multimodal Corridor right-of-way that extends across the southwest corner of the cemetery site near Spall Road.

## 1.1 Geotechnical Conditions

The above mentioned geotechnical conditions are discussed in the proceeding subsections.

### 1.1.1 Slope Instability

Steep slopes exist along the full length of the southern part of the cemetery site with known areas of instability behind the Transit Yard, along Spall Road as well as a previous slide event that occurred behind the City Works Yard in 1993.

The slope instability mechanism generally consists of a combination of loose glacio-lacustrine deposits consisting of layered sand, silt and clay together with a fluctuating groundwater table during periods when higher



water levels occur. Previous monitoring results has shown a correlation of accelerated slope creep movement with a corresponding increase in groundwater level caused either by seasonal freshets, periods of sustained precipitation, uncontrolled surface runoff directed over the slope crest together with other potential sources from over-sprinkling and/or undetected water line leaks.

Along the east portion of the cemetery site, glacio-lacustrine slopes generally consist of fine-grained silt and clay deposits that are considered to be metastable. These metastable slopes are subject to weathering processes that results in blockfall events caused by wetting and drying and/or freeze-thaw cycles. Blockfalls usually occur along pre-defined planes typically along weaker fissures and can fail without warning. Other failure mechanisms consist of concentrated surface runoff that results in steep sided localized erosion gullies, which are quite prominent along the eastern portion of the steep slopes. Sudden slope failures can also occur, especially if the soil is subject to prolonged periods of wetting, which causes a reduction in the effective soil strength to occur. This condition was likely the mechanism that caused the sudden slope failure behind the City Works Yard in 1993 or thereabouts.

Currently, behind the Transit Yard, slope creep movement has been measured at an annualized rate of about 4 to 7 mm per year after the implementation of surface runoff controls. At this location, the overall slope lies at an angle of about 32 degrees. The visible slide scarp extends up from the slope crest into the cemetery for a distance of about 7 to 8 m where it has now encroached onto several burial sites.

Similar creep movements have also been identified along the cut slope portion at the west end of the cemetery site along Spall Road where shallow sloughing has occurred where steeper slope cuts exists that exceed an angle of about 30 degrees. The creep mechanism for the movement above Spall Road appears to be associated with a combination of steeper slope cuts within loose fine-grained deposits and over-sprinkling along the top of the slope.

Other slope creep movement is also evident between the Transit Yard and Works Yard slide areas, particularly above the old access road that traverses the side slope.

### 1.1.2 General Site Conditions

The ground surface within the cemetery site generally slopes down to the south and west towards the steep glacio-lacustrine slopes. A review of the 1960 topographic mapping indicates the presence of three distinct localized depressions located along the older portion of the cemetery alongside the main east-west access road starting near the intersection of the north-south access road that runs along the east side of the golf course. This area is located along the primary vehicle route shown on the Existing Conditions Plan drawing between the Bennett Memorial access and the Hardy Cemetery. These depressions were identified to be about less than 1 m in depth. Current site conditions do not indicate the presence of these former depressions as they probably have been infilled using unknown backfill materials.

The 1960 contours also indicates the presence of several shallow east-west gullies about 1.5 m deep near the west end of the cemetery site above Spall Road that were subsequently infilled with unknown backfill materials as part of the continuing cemetery development in the vicinity of the existing promontory green and columbarium features. Also identified in the 1960 mapping is a prominent depression about 5 m deep that is located immediately along the crest of the slope in the area annotated as the "*Materials Store*" on the Existing Conditions Plan drawing. This depression feature still exists but is not as obvious as the depression appears to have been partially infilled with unknown backfill materials and thickness.

Bedrock exposures have not been identified at the cemetery site, however, it is expected that shallow bedrock probably exists along the base of Dilworth Mountain that borders along the north side of the cemetery.

Upslope of the designated Section A cemetery area (see drawing plans), and below the foot of Dilworth Mountain, steep colluvium slopes exist consisting of slope-wash type materials.

### **1.1.3 Steep Lacustrine Slopes**

As previously discussed in the Slope Instability section, steep slopes form the southern boundary of the cemetery. These slopes generally increase in height from about 18 at the west end to about 40 m at the east end. Generally, higher slopes and steeper overall angles exist for the eastern portion of the cemetery slopes.

A review of the 2012 City of Kelowna topographical information, overall slope angles vary from approximately 30 to 45 degrees. Towards the east end of the cemetery, near vertical faces also exist below the top of the slope where steep sided gully features are incised into the slope. Blockfall occurrences from the near vertical faces are known to occur. The blockfall frequency is generally controlled by different environmental factors such as variations between seasonal climatic conditions, wind induced soil erosion, and precipitation events that all contribute to natural weathering processes.

### **1.1.4 General Subsurface Conditions**

Based on the results of the previous investigations where testholes were put down, the general subsurface deposits encountered across the site are glacio-lacustrine deposits consisting of layered and/or interlayered sand with a varying gravel content, silt, silty clay and clayey silt. In general, the silty clay and clayey silt deposits become thicker going east. Surficial coarser grained deposits overlie the silty clay and clayey silt deposits going west towards Spall Road. These coarser grained deposits vary in thickness from about 5 to 8 m near Spall Road to about 13 m at the slide behind the Transit Yard where these deposits appear to terminate going further to the east across the site.

Based on the results of the 1995 investigation, that investigation area is coincident with the same area designated as E4 on the Existing Conditions Plan (see Appendix B for 1995 site plan and record of borehole information). At the time of that investigation, bedrock was inferred at several testholes at depths of about 4.1 to 4.5 m or at an elevation of about 396 to 397 m. It should be noted that the inferred bedrock is located immediately downslope where a steeper portion of a prominent bedrock point extends down towards the upper secondary vehicle route. At the other testhole locations, bedrock was not encountered down to depths of 6.1 m. The soil overlying the bedrock was described as compact to dense silt with a varying sand and gravel content. However, it is likely that this material behaves more as a "clayey silt" soil with a cohesive property when wetted.

Based on the monitoring results at several piezometers installed along the west portion of the cemetery site, the groundwater level has been found to vary between depths of about 10 to 22 m. It is possible that shallower groundwater conditions may exist caused by localized perched groundwater as a result of shallow silty clay layers that can effectively restrict the infiltration of sprinkling water and/or water from precipitation and/or snowmelt events thus creating a local water mound condition.

## **2.0 GEOTECHNICAL COMMENTS AND RECOMMENDATIONS**

The following presents a summary of our geotechnical comments and recommendations pertaining to the proposed interment and memorialization options presented on the Site Analysis Plan as separate key Section numbers that identify proposed cemetery development areas.

### **2.1 Section E4**

In this area, it is expected that bedrock will be encountered at a depth of about 4 m or shallower as you traverse up the slope towards the base of Dilworth Mountain and towards the secondary vehicle route, as discussed in Section 1.1.4. The material overlying the bedrock typically consists of fine-grained deposits that can be easily excavated. It should be noted that groundwater was not encountered to depths of 6.1 m during the 1995 investigation. It is also understood that this area has not been sprinkled.

It is understood that several shallow test pits were excavated by the City of Kelowna in November, 2014 across the west portion of Section E4 in order to provide additional testhole coverage west of the 1995 investigation area. It is understood the 2014 test pits were excavated to a depth of about 2.5 m using a rubber tired backhoe and that bedrock was not encountered within any of the testholes. The test pit sidewalls were also considered to be stable without side wall sloughing or groundwater seepage being observed.

Considering the fine-grained soil properties of the material encountered in the testholes, water infiltration is expected to be low resulting in the potential for surface runoff to develop during periods of high precipitation or rapid snowmelt events. After this area has been developed, there is a potential for increased runoff conditions to develop depending changes to hard surface coverage areas together with an increase in surface infiltration near grave sites as a result of ground disturbance. Therefore, it is recommended that any potential runoff that develops as a result of the site development not be allowed to be discharged in an uncontrolled manner over the crest of the steep south slopes below Section E4 or to allow potential ponding of water within depressed grave sites because of gradual subsidence.

Furthermore, sprinkling restrictions should also be implemented as the glacio-lacustrine deposits are subject to soil strength loss upon wetting, which will likely increase the risk for landslides to develop in the form of sudden failures or gradual slope creep displacements along the crest of the slope. In order to reduce that potential risk, water restrictions should be reviewed that restricts the sprinkling water volume to the topsoil and plant root zones such that water infiltration into the underlying glacio-lacustrine deposits is not allowed to occur. The installation of a soil moisture monitoring system should be considered. Furthermore, any grave site subsidence should be filled such that water cannot pond within the localized depressions.

### **2.2 Lands South of Section E2, E3, and E4**

It is understood that these proposed lands are located between the south access road and the slope crest and that these areas are being considered to accommodate inground burial plots below Sections E2 and E3 with the scattering and shallow burial of cremation remains below Section E4. In this area, the slope crest currently extends to within about 10 m from the access road.

As discussed in the Slope Instability section, slopes at the cemetery site have experienced several slope failures, either sudden or creep movements. Based on past slide events, slope failures have extended to a

distance of about 8 m up from the slope crest. Based on this information, it is our opinion that the area between the existing south access road and the slope crest is located within a very high risk zone associated with slope instability. Therefore, the City of Kelowna should be made aware of these risks in using these lands for the proposed development concept. It is suggested that these lands not be used for inground burial plots, but rather limited only to the scattering of cremation remains or shallow burial of cremation remains. Under no circumstances should these lands be sprinkled.

## **2.3 Eastern Edge of Golf Course**

Golder is not aware of any previous geotechnical investigations that were carried out in this designated area. However, it is expected that the soil conditions probably consist of interlayered sand and silt sequences with probable coarser colluvium type deposits expected as the area extends closer towards Dilworth Mountain to the northeast. A site specific geotechnical investigation is recommended in order to determine subsurface soil and groundwater conditions to a depth of at least 5 m.

## **2.4 Section D – Infilling at Bennett Memorial**

No testhole information exists within this general area. However, as discussed in Section 1.1.4, this area of the cemetery may be underlain by sequences of sand and glacio-lacustrine deposits. Furthermore, based on old topographic maps, shallow infilled depressions may also exist in the area.

Geotechnical risks in this area are associated with the steep glacio-lacustrine slopes and a previous slide event that occurred immediately south of the Bennett Memorial that was probably water related. As previously discussed under the Slope Instability section, creep movement along the slope crest can extend up to a distance of about 7 to 8 m upslope from the crest. Therefore, it is recommended that infilling not be carried out within a distance of 7 to 8 m from the slope crest.

A review of the existing sprinkling practices is also recommended in order to potentially reduce the amount of irrigation water that is applied. A separate sprinkling control system should be considered to monitor the surficial soil moisture profile so that over-irrigation is not allowed to occur, especially inside the identified potential creep zone along the crest of the slope.

## **2.5 City Yard and BC Transit Yard**

Both of these areas are located on the Mill Creek floodplain where the existing yard grades have been raised using unknown fill materials as well as the infilling of former meandering stream channels. Based on previous testholes in the general area, excluding surficial fill materials, the underlying soil deposits are expected to consist predominantly of loose to compact sand and gravel with cobbles with finer-grained layered deposits of varying thickness and extents. Approaching the toe of the steep slopes to the north, the deposits are expected to become finer and will probably consist mostly of firm to stiff clayey silt/silty clay.

Groundwater levels are expected to vary between 1 to 2 m below the existing ground surface and will fluctuate with the spring freshet or during storm events.



It should be noted that both yard sites have fueling stations. As such, it is possible that soil contamination could exist on these properties.

## **2.6 Proposed Customer Hub Service Building**

It is understood that a new administration building is being considered south of the Promontory Green and west of Section G7 along the existing access route. A review of the testhole information in the general area indicates that the subsurface conditions will probably consist of sand. This area is also located further upslope and away from the crest of the steep slopes and as such should not be at risk to a slope instability hazard. However, it is recommended that any new building foundation be constructed upslope of the crest using a minimum setback distance of 2 horizontal to 1 vertical that is defined by an imaginary line that is projected from the toe of the slope at an angle of 26.6 degrees to where it intersects the ground surface upslope of the crest. This setback should be confirmed by conducting a site specific geotechnical investigation to assess the slope stability by drilling a borehole to determine subsurface soil and groundwater conditions to a depth of at least 3 m below the toe of the steep slope. A detailed geotechnical investigation is also recommended to determine appropriate geotechnical characterization, assessment of soil strength properties, and foundation subgrade preparation requirements for use in the building design.

## **2.7 Proposed Operations Team Office and Materials Store Area**

It is understood that a new materials storage area for the operations team will be located in the same area as the existing building and that no new building is being considered where the manager's site building is presently located.

It should be noted that the area immediately alongside the crest of the slope is considered to be unstable based on past slide events and current creep movements, and therefore is considered to be in a very high risk zone and also within a recommended no-build zone. It is recommended that no new building construction be considered because of the very high risk for future slope failures under existing slope conditions.

The area located along the slope crest can potentially be used for material storage purposes and unoccupied sheds. However, as discussed in the Slope Instability section, slope movement is known to exist along these slopes. As such, the City of Kelowna would have to consider if the risk would be acceptable for using this area for material storage purposes and for the erection of building sheds.

It should be noted that sprinkling is not recommended for the area located between an imaginary 2 horizontal to 1 vertical line drawn from the toe of the slope to where it intersects the existing ground surface and the slope crest.

## **2.8 Land at SW Corner of Cemetery and East of Spall Road**

A review of the City of Kelowna legal plans indicates that the lands at the southwest corner of the site has been designated as a legal right-of-way probably for the construction of the future multi-modal corridor that will tie into Clement Avenue at Spall Road. The extent of the north side of the right-of-way appears to coincide with a slope cut of about 2 horizontal to 1 vertical that is incorporated into the existing slope cut along the east side of Spall Road and along the west end of the cemetery site.

Therefore, any proposed cemetery development in this area should take into consideration a future slope cut and its potential instability along the crest of the cut slope that will also be contingent on specific subsurface conditions along that slope cut. Currently, this area is known to have groundwater seepage conditions that extend to about 1.5 to 2.0 m above the toe of the current slope together with bulrush and water reed growth along the slope toe. These previously observed conditions suggest that this area is likely located within a groundwater seepage discharge area, which could adversely impact the stability of the proposed slope cut resulting in possible creep along the crest of the cut. As such, it is recommended that cemetery development above the crest of any proposed slope cut associated with the multi-modal corridor construction, which appears to be coincident with the existing north right-of-way boundary, be limited to no closer than 3 m from this legal boundary. Slope monitoring after the completion of the multi-modal corridor construction is also recommended to determine the potential for slope creep. Depending on slope monitoring results, consideration for development into the 3 m setback zone could be re-assessed at that time.

Regarding the noted depression feature discussed in the General Site Conditions report section, a portion of this depression extends into the multi-modal corridor slope cut. However, for the remaining portion of the depression that extends into the cemetery site, it is recommended that a site specific geotechnical investigation be carried out to determine the fill thickness, and the quality of the fill material used, especially if this area will be occupied by any foundation elements and/or proposed building structures.

### 3.0 CLOSURE

We trust this provides you with the information that you presently require for your preparation of a master conceptual plan for the Kelowna Cemetery property. If you need any further information, please do not hesitate to contact the undersigned at your earliest convenience.

Yours truly,

**GOLDER ASSOCIATES LTD.**



Roger Therrien, ASCT  
Associate, Senior Geotechnical Technologist



Gerald Imada, P.Eng.  
Principal, Senior Geotechnical Engineer

RT/GI/kv

Attachments: Appendix A – Important Information and Limitations  
Appendix B – 1995 Borehole Location Plan and Record of Borehole Sheets

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# APPENDIX A

## Important Information and Limitations



## IMPORTANT INFORMATION AND LIMITATIONS OF THIS REPORT

**Standard of Care:** Golder Associates Ltd. (Golder) has prepared this report in a manner consistent with that level of care and skill ordinarily exercised by members of the engineering and science professions currently practising under similar conditions in the jurisdiction in which the services are provided, subject to the time limits and physical constraints applicable to this report. No other warranty, expressed or implied is made.

**Basis and Use of the Report:** This report has been prepared for the specific site, design objective, development and purpose described to Golder by the Client. The factual data, interpretations and recommendations pertain to a specific project as described in this report and are not applicable to any other project or site location. Any change of site conditions, purpose, development plans or if the project is not initiated within eighteen months of the date of the report may alter the validity of the report. Golder can not be responsible for use of this report, or portions thereof, unless Golder is requested to review and, if necessary, revise the report.

The information, recommendations and opinions expressed in this report are for the sole benefit of the Client. No other party may use or rely on this report or any portion thereof without Golder's express written consent. If the report was prepared to be included for a specific permit application process, then upon the reasonable request of the client, Golder may authorize in writing the use of this report by the regulatory agency as an Approved User for the specific and identified purpose of the applicable permit review process. Any other use of this report by others is prohibited and is without responsibility to Golder. The report, all plans, data, drawings and other documents as well as all electronic media prepared by Golder are considered its professional work product and shall remain the copyright property of Golder, who authorizes only the Client and Approved Users to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. The Client and Approved Users may not give, lend, sell, or otherwise make available the report or any portion thereof to any other party without the express written permission of Golder. The Client acknowledges that electronic media is susceptible to unauthorized modification, deterioration and incompatibility and therefore the Client can not rely upon the electronic media versions of Golder's report or other work products.

The report is of a summary nature and is not intended to stand alone without reference to the instructions given to Golder by the Client, communications between Golder and the Client, and to any other reports prepared by Golder for the Client relative to the specific site described in the report. In order to properly understand the suggestions, recommendations and opinions expressed in this report, reference must be made to the whole of the report. Golder can not be responsible for use of portions of the report without reference to the entire report.

Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of the Client in the design of the specific project. The extent and detail of investigations, including the number of test holes, necessary to determine all of the relevant conditions which may affect construction costs would normally be greater than has been carried out for design purposes. Contractors bidding on, or undertaking the work, should rely on their own investigations, as well as their own interpretations of the factual data presented in the report, as to how subsurface conditions may affect their work, including but not limited to proposed construction techniques, schedule, safety and equipment capabilities.

**Soil, Rock and Groundwater Conditions:** Classification and identification of soils, rocks, and geologic units have been based on commonly accepted methods employed in the practice of geotechnical engineering and related disciplines. Classification and identification of the type and condition of these materials or units involves judgment, and boundaries between different soil, rock or geologic types or units may be transitional rather than abrupt. Accordingly, Golder does not warrant or guarantee the exactness of the descriptions.





(cont'd)

Special risks occur whenever engineering or related disciplines are applied to identify subsurface conditions and even a comprehensive investigation, sampling and testing program may fail to detect all or certain subsurface conditions. The environmental, geologic, geotechnical, geochemical and hydrogeologic conditions that Golder interprets to exist between and beyond sampling points may differ from those that actually exist. In addition to soil variability, fill of variable physical and chemical composition can be present over portions of the site or on adjacent properties. **The professional services retained for this project include only the geotechnical aspects of the subsurface conditions at the site, unless otherwise specifically stated and identified in the report.** The presence or implication(s) of possible surface and/or subsurface contamination resulting from previous activities or uses of the site and/or resulting from the introduction onto the site of materials from off-site sources are outside the terms of reference for this project and have not been investigated or addressed.

Soil and groundwater conditions shown in the factual data and described in the report are the observed conditions at the time of their determination or measurement. Unless otherwise noted, those conditions form the basis of the recommendations in the report. Groundwater conditions may vary between and beyond reported locations and can be affected by annual, seasonal and meteorological conditions. The condition of the soil, rock and groundwater may be significantly altered by construction activities (traffic, excavation, groundwater level lowering, pile driving, blasting, etc.) on the site or on adjacent sites. Excavation may expose the soils to changes due to wetting, drying or frost. Unless otherwise indicated the soil must be protected from these changes during construction.

**Sample Disposal:** Golder will dispose of all uncontaminated soil and/or rock samples 90 days following issue of this report or, upon written request of the Client, will store uncontaminated samples and materials at the Client's expense. In the event that actual contaminated soils, fills or groundwater are encountered or are inferred to be present, all contaminated samples shall remain the property and responsibility of the Client for proper disposal.

**Follow-Up and Construction Services:** All details of the design were not known at the time of submission of Golder's report. Golder should be retained to review the final design, project plans and documents prior to construction, to confirm that they are consistent with the intent of Golder's report.

During construction, Golder should be retained to perform sufficient and timely observations of encountered conditions to confirm and document that the subsurface conditions do not materially differ from those interpreted conditions considered in the preparation of Golder's report and to confirm and document that construction activities do not adversely affect the suggestions, recommendations and opinions contained in Golder's report. Adequate field review, observation and testing during construction are necessary for Golder to be able to provide letters of assurance, in accordance with the requirements of many regulatory authorities. In cases where this recommendation is not followed, Golder's responsibility is limited to interpreting accurately the information encountered at the borehole locations, at the time of their initial determination or measurement during the preparation of the Report.

**Changed Conditions and Drainage:** Where conditions encountered at the site differ significantly from those anticipated in this report, either due to natural variability of subsurface conditions or construction activities, it is a condition of this report that Golder be notified of any changes and be provided with an opportunity to review or revise the recommendations within this report. Recognition of changed soil and rock conditions requires experience and it is recommended that Golder be employed to visit the site with sufficient frequency to detect if conditions have changed significantly.

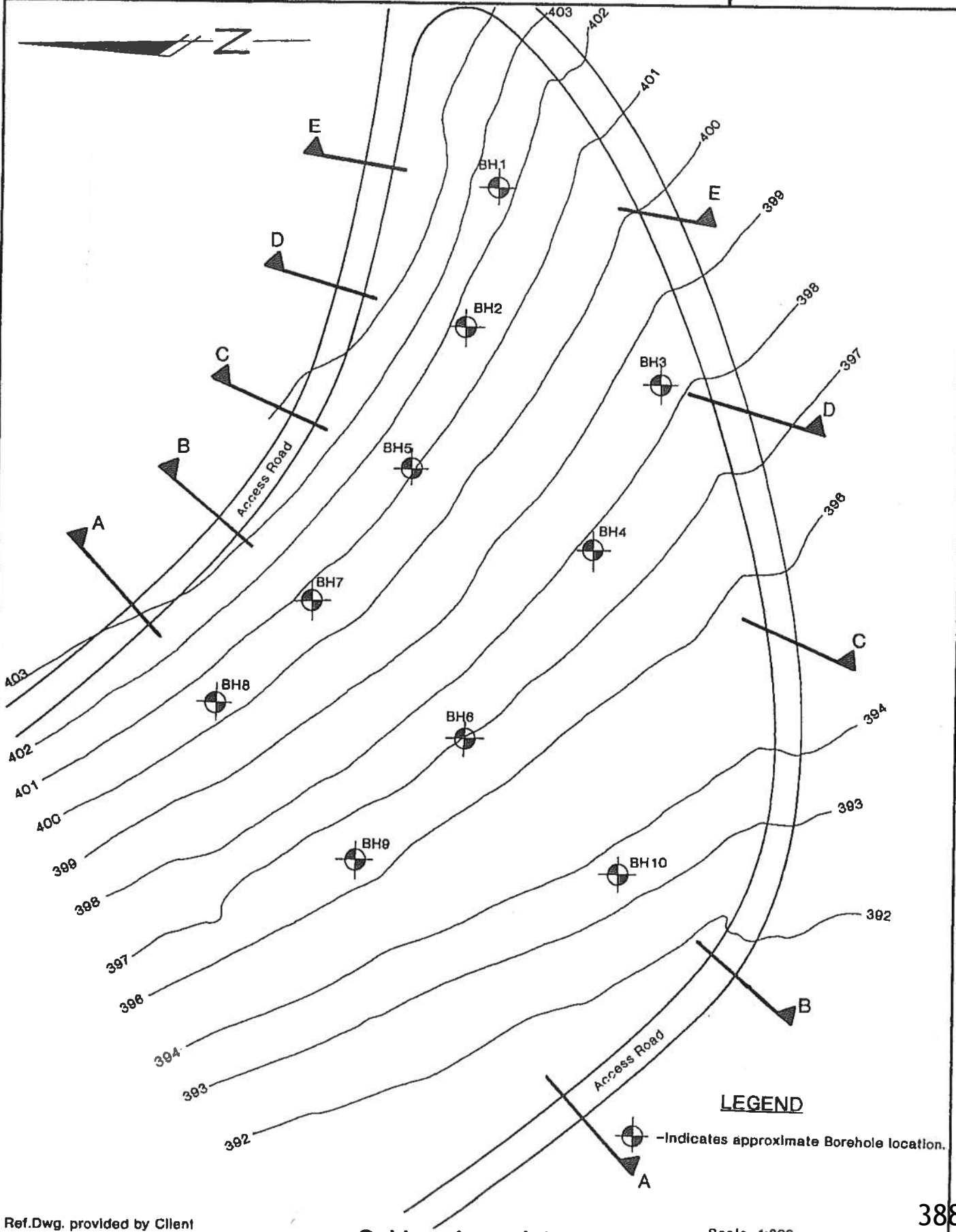
Drainage of subsurface water is commonly required either for temporary or permanent installations for the project. Improper design or construction of drainage or dewatering can have serious consequences. Golder takes no responsibility for the effects of drainage unless specifically involved in the detailed design and construction monitoring of the system.

# **APPENDIX B**

## **1995 Borehole Location Plan and Record of Borehole Sheets**

# SITE PLAN

Figure 1



PROJECT: Terracing

## RECORD OF BOREHOLE BH 1

SHEET: 1 OF 1

PROJECT LOCATION: Kelowna

BORING DATE: Sept.12,1995

DATUM:

PROJECT NUMBER: 952-4176

BORING LOCATION: See Figure 1

BOREHOLE TYPE: Auger

Sampler Hammer: 63.5 kg., Drop 0.76m.



DEPTH SCALE (m)	SOIL PROFILE			SAMPLES					PENETRATION RESISTANCE BLOWS/0.3m				PIEZOMETER OR STANDPIPE INSTALLATION	
	DESCRIPTION	STRATA PLOT	ELEV	NUMBER	TYPE	BLOWS / 0.15m.	N	OTHER TESTS	WATER CONTENT, PERCENT					
			DEPTH						Wp — W — Wi					
0	GROUND SURFACE		402.40 0.00											
	Loose to compact brown SILT, some gravel at the surface.		401.90 0.50											
1	Compact light brown SILT grading to a compact light brown SILT, occasional dark brown clay inclusions.													
2				1	AS									
3	Compact to dense light brown thinly laminated SILT with fine sandy silt layers.		398.50 2.90											
4														
5														
6														
6	END OF BOREHOLE		398.30 6.10											
7														

DRILL RIG: Portable Rig  
 DRILLING CONTRACTOR: Sandwell  
 DRILLER: R.H.

Golder Associates

LOGGED: R.R.  
 CHECKED: G.T.I.  
 DATE: Sept.12,1995

389



PROJECT: Terracing

## RECORD OF BOREHOLE BH 2

SHEET: 1 OF 1

PROJECT LOCATION: Kelowna

BORING DATE: Sept.12,1995

DATUM:

PROJECT NUMBER: 952-4176

BORING LOCATION: See Figure 1

BOREHOLE TYPE: Auger

Sampler Hammer: 63.5 kg., Drop 0.76m.



DEPTH SCALE (m)	SOIL PROFILE			SAMPLES					PENETRATION RESISTANCE BLOWS/0.3m					PIEZOMETER OR STANDPIPE INSTALLATION
	DESCRIPTION	STRATA PLOT	ELEV	NUMBER	TYPE	BLOWS / 0.15m.	N	OTHER TESTS	WATER CONTENT, PERCENT					
			DEPTH						Wp	W	Wi			
0	GROUND SURFACE		401.90 0.00											
	Loose to compact brown SILT, some gravel at the surface.		401.40 0.50											
1	Compact light brown SILT grading to a compact light brown SILT, occasional dark brown clay inclusions.													
2														
3	Compact to dense light brown SILT, trace to some fine sand, trace gravel and cobble.		399.20 2.70											
4				1	AS									
5	Compact to dense light brown silty fine SAND, trace gravel, occasional cobble.		397.00 4.80											
6				2	AS									
	END OF BOREHOLE		395.80 6.10											
7														

DRILL RIG: Portable Rig  
 DRILLING CONTRACTOR: Sandwell  
 DRILLER: R.H.

Golder Associates

LOGGED: R.R.  
 CHECKED: G.T.I.  
 DATE: Sept.12,1995

390

PROJECT: Terracing

## RECORD OF BOREHOLE BH 1

SHEET: 1 OF 1

PROJECT LOCATION: Kelowna

BORING DATE: Sept. 12, 1995

DATUM:


PROJECT NUMBER: 952-4176

BORING LOCATION: See Figure 1

BOREHOLE TYPE: Auger

Sampler Hammer: 63.5 kg., Drop 0.76m.



DEPTH SCALE (m)	SOIL PROFILE			SAMPLES				PENETRATION RESISTANCE BLOWS/0.3m				PIEZOMETER OR STANDPIPE INSTALLATION	
	DESCRIPTION	STRATA PLOT	ELEV	NUMBER	TYPE	BLOWS / 0.15m.	N	OTHER TESTS	WATER CONTENT, PERCENT				
			DEPTH						W <sub>p</sub>	W	W <sub>l</sub>		
0	GROUND SURFACE		398.50										
	Loose to compact brown sandy SILT, trace gravel.		0.00										
			398.00										
			0.50										
1													
2													
3	Compact light brown SILT, trace fine sand with occasional dark brown clay inclusions grading to a dense light brown SILT.												
4				1	AS								
5													
6													
	END OF BOREHOLE		392.40 6.10										
7													

DRILL RIG: Portable Rig  
 DRILLING CONTRACTOR: Sandwell  
 DRILLER: R.H.

Golder Associates

LOGGED: R.R.  
 CHECKED: G.T.I.  
 DATE: Sept. 12, 1995

391

PROJECT: Terracing

## RECORD OF BOREHOLE BH 4

SHEET: 1 OF 1

PROJECT LOCATION: Kelowna

BORING DATE: Sept. 12, 1995

DATUM:

PROJECT NUMBER: 952-4176

BORING LOCATION: See Figure 1

BOREHOLE TYPE: Auger

Sampler Hammer: 63.5 kg., Drop 0.76m.



DEPTH SCALE (m)	SOIL PROFILE		SAMPLES					PENETRATION RESISTANCE BLOWS/0.3m				PIEZOMETER OR STANDPIPE INSTALLATION		
	DESCRIPTION	STRATA PLOT	ELEV	NUMBER	TYPE	BLOWS / 0.15m.	N	OTHER TESTS	WATER CONTENT, PERCENT					
			DEPTH						Wp	W	Wt			
0	GROUND SURFACE		397.10 0.00											
	Compact light brown fine sandy SILT, some gravel, trace cobble.		396.60 0.50											
1														
2	Compact light brown SILT, occasional dark brown clay inclusions.													
3				1	DO	7,12,12	24							
4			393.60 3.50											
5	Dense light brown SILT.													
6				2	AS									
	END OF BOREHOLE		391.00 6.10											
7														

DRILL RIG: Portable Rig  
 DRILLING CONTRACTOR: Sandwell  
 DRILLER: R.H.

Golder Associates

LOGGED: R.R.  
 CHECKED: G.T.I.  
 DATE: Sept. 12, 1995

392

PROJECT: Terracing

## RECORD OF BOREHOLE BH 1

SHEET: 1 OF 1

PROJECT LOCATION: Kelowna

BORING DATE: Sept.12,1995

DATUM:

PROJECT NUMBER: 952-4176

BORING LOCATION: See Figure 1

BOREHOLE TYPE: Auger

Sampler Hammer: 63.5 kg., Drop 0.76m.



DEPTH SCALE (m)	SOIL PROFILE			SAMPLES					PENETRATION RESISTANCE BLOWS/0.3m				PIEZOMETER OR STANDPIPE INSTALLATION
	DESCRIPTION	STRATA PLOT	ELEV	NUMBER	TYPE	BLOWS / 0.15m.	N	OTHER TESTS	WATER CONTENT, PERCENT				
			DEPTH										
									Wp	W	WL		
0	GROUND SURFACE		400.70 0.00										
	Compact light brown SILT, some sand, trace gravel.		400.20 0.50										
1	Compact light brown SILT.												
2													
3													
	Compact to dense light brown SILT, trace fine sand and fine gravel.		397.70 3.00										
4	END OF BOREHOLE (Probable Bedrock)		396.60 4.10	1	AS								
5													
6													
7													

DRILL RIG: Portable Rig  
 DRILLING CONTRACTOR: Sandwell  
 DRILLER: R.H.

Golder Associates

LOGGED: R.R.  
 CHECKED: G.T.I.  
 DATE: Sept.12,1995

393



PROJECT: Terracing

## RECORD OF BOREHOLE BH

SHEET: 1 OF 1

PROJECT LOCATION: Kelowna

BORING DATE: Sept.12,1995

DATUM:

PROJECT NUMBER: 952-4176

BORING LOCATION: See Figure 1

BOREHOLE TYPE: Auger

Sampler Hammer: 63.5 kg., Drop 0.76m.



DEPTH SCALE (m)	SOIL PROFILE		SAMPLES					PENETRATION RESISTANCE BLOWS/0.3m		PIEZOMETER OR STANDPIPE INSTALLATION
	DESCRIPTION	STRATA PLOT	ELEV DEPTH	NUMBER	TYPE	BLOWS / 0.15m.	N	OTHER TESTS	WATER CONTENT, PERCENT Wp ——— W	
0	GROUND SURFACE		397.10 0.00							
1	Compact light brown SILT, trace fine sand, occasional gravel.			1	AS					
2										
3										
4										
5										
6				2	AS					
7	END OF BOREHOLE		391.00 6.10							

DRILL RIG: Portable Rig  
 DRILLING CONTRACTOR: Sandwell  
 DRILLER: R.H.

Golder Associates

LOGGED: R.R.  
 CHECKED: G.T.J.  
 DATE: Sept.12,1995

394

PROJECT: Terracing

## RECORD OF BOREHOLE BH :

SHEET: 1 OF 1

PROJECT LOCATION: Kelowna

BORING DATE: Sept.12,1995

DATUM:

PROJECT NUMBER: 952-4176

BORING LOCATION: See Figure 1

BOREHOLE TYPE: Auger

Sampler Hammer: 63.5 kg., Drop 0.76m.



DEPTH SCALE (m)	SOIL PROFILE			SAMPLES					PENETRATION RESISTANCE BLOWS/0.3m				PIEZOMETER OR STANDPIPE INSTALLATION
	DESCRIPTION	STRATA PLOT	ELEV	NUMBER	TYPE	BLOWS / 0.15m.	N	OTHER TESTS	WATER CONTENT, PERCENT				
			DEPTH						Wp  -----○-----  Wl				
0	GROUND SURFACE		400.80 0.00										
	Compact light brown fine sandy gravelly SILT, occasional cobble.												
			400.30 0.50										
1													
2													
3													
4													
	Compact to dense light brown SILT, trace fine sand and fine gravel grading to a dense light brown SILT.												
			396.40 4.40	1	DO	13,25	38						
5													
	Dense light brown SILT, trace to some gravel and fine sand.												
6			394.70 6.10										
	END OF BOREHOLE												
7													

DRILL RIG: Portable Rig  
 DRILLING CONTRACTOR: Sandwell  
 DRILLER: R.H.

Golder Associates

LOGGED: R.R.  
 CHECKED: G.T.I.  
 DATE: Sept.12,1995

395

PROJECT: Terracing

## RECORD OF BOREHOLE BH 1

SHEET: 1 OF 1

PROJECT LOCATION: Kelowna

BORING DATE: Sept. 12, 1995

DATUM:



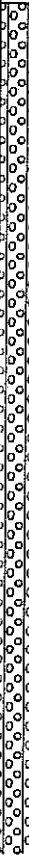
PROJECT NUMBER: 952-4176

BORING LOCATION: See Figure 1

BOREHOLE TYPE: Auger

Sampler Hammer: 63.5 kg., Drop 0.76m.



DEPTH SCALE (m)	SOIL PROFILE			SAMPLES				PENETRATION RESISTANCE BLOWS/0.3m				PIEZOMETER OR STANDPIPE INSTALLATION	
	DESCRIPTION	STRATA PLOT	ELEV	NUMBER	TYPE	BLOWS / 0.15m.	N	OTHER TESTS	WATER CONTENT, PERCENT				
			DEPTH						Wp      Wl				
0	GROUND SURFACE		400.40 0.00										
	Compact light brown fine sandy SILT, some gravel.		399.90 0.50										
1	Compact to dense light brown SILT, trace fine sand and fine gravel grading to a light brown SILT, occasional fine sand and fine gravel.												
2				1	AS								
3													
4													
	END OF BOREHOLE (Probable Bedrock)		395.80 4.50										
5													
6													
7													

DRILL RIG: Portable Rig  
 DRILLING CONTRACTOR: Sandwell  
 DRILLER: R.H.

Golder Associates

LOGGED: R.R.  
 CHECKED: G.T.I.  
 DATE: Sept. 12, 1995

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PROJECT: Terracing

## RECORD OF BOREHOLE BH 1

SHEET: 1 OF 1

PROJECT LOCATION: Kelowna

BORING DATE: Sept 12, 1995

DATUM:

PROJECT NUMBER: 952-4176

BORING LOCATION: See Figure 1

BOREHOLE TYPE: Auger

Sampler Hammer: 63.5 kg., Drop 0.76m.



DEPTH SCALE (m)	SOIL PROFILE			SAMPLES					PENETRATION RESISTANCE BLOWS/0.3m				PIEZOMETER OR STANDPIPE INSTALLATION
	DESCRIPTION	STRATA PLOT	ELEV	NUMBER	TYPE	BLOWS / 0.15m.	N	OTHER TESTS	WATER CONTENT, PERCENT				
			DEPTH						Wp	W	Wl		
0	GROUND SURFACE		398.80 0.00										
	Compact brown silty gravelly SAND.		396.20 0.40										
1	Compact brown SAND and GRAVEL.		395.50 1.10										
2	Compact to dense light brown fine sandy SILT, trace gravel grading to a light brown SILT, some fine sand.			1	AS								
3													
4													
5													
6				2	AS								
	END OF BOREHOLE		390.50 6.10										
7													

DRILL RIG: Portable Rig  
 DRILLING CONTRACTOR: Sandwell  
 DRILLER: R.H.

Golder Associates

LOGGED: R.R.  
 CHECKED: G.T.J.  
 DATE: Sept 12, 1995

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PROJECT: Terracing

## RECORD OF BOREHOLE BH

SHEET: 1 OF 1

PROJECT LOCATION: Kelowna

BORING DATE: Sept.12,1995

DATUM:

PROJECT NUMBER: 952-4176

BORING LOCATION: See Figure 1

BOREHOLE TYPE: Auger

Sampler Hammer: 63.5 kg., Drop 0.76m.



DEPTH SCALE (m)	SOIL PROFILE		SAMPLES					PENETRATION RESISTANCE BLOWS/0.3m		PIEZOMETER OR STANDPIPE INSTALLATION
	DESCRIPTION	STRATA PLOT	ELEV DEPTH	NUMBER	TYPE	BLOWS / 0.15m.	N	OTHER TESTS	WATER CONTENT, PERCENT Wp ——— W ——— Wi	
0	GROUND SURFACE		393.70 0.00							
1	Compact light brown SILT, trace fine sand and fine gravel at the surface.          2.1-2.7m occasional dark brown clay inclusions.          grading to a compact to dense light brown SILT.									
2										
3										
4										
5										
6				1	AS					
	END OF BOREHOLE		387.60 6.10							
7										

DRILL RIG: Portable Rig  
 DRILLING CONTRACTOR: Sandwell  
 DRILLER: R.H.

Golder Associates

LOGGED: R.R.  
 CHECKED: G.T.I.  
 DATE: Sept.12,1995

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## Kelowna Memorial Park Cemetery Test Pits Section E4 2014

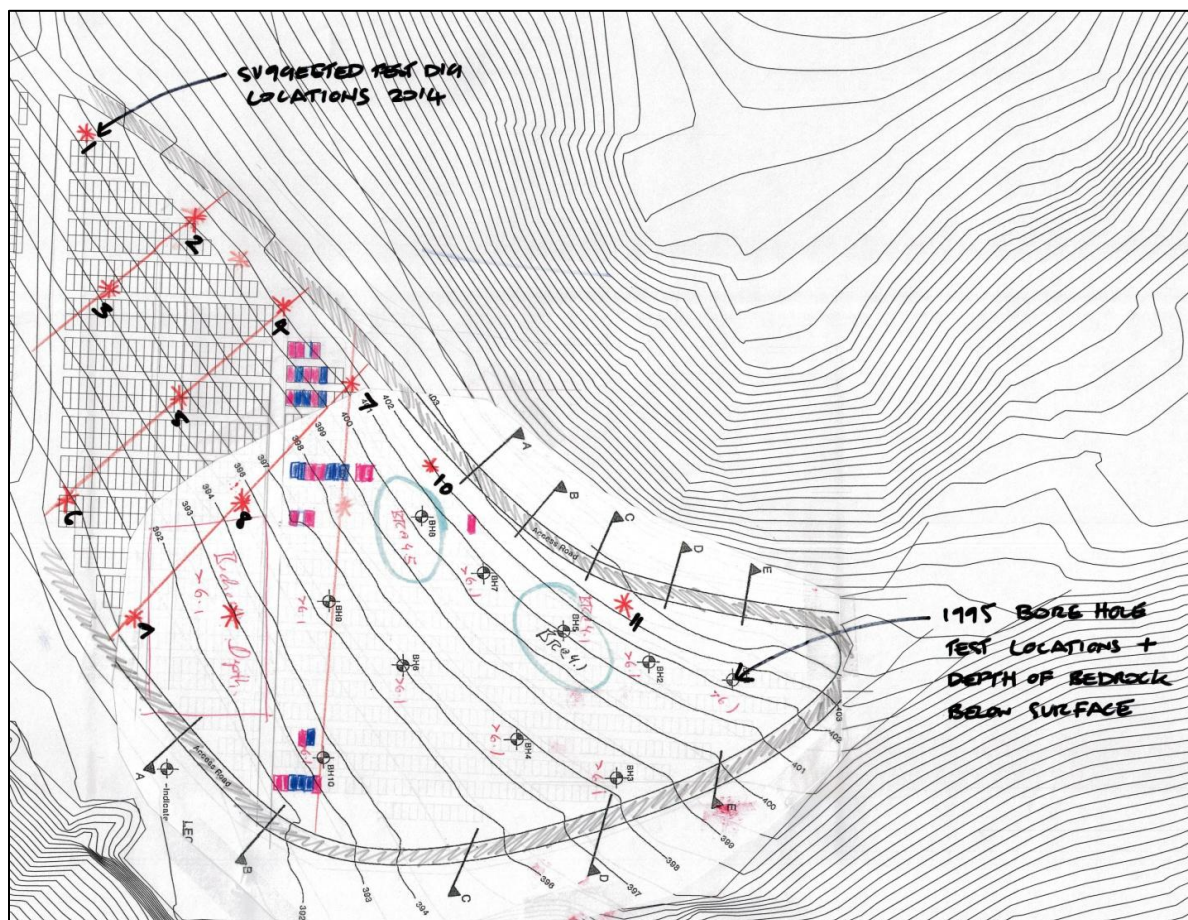
Ten test holes were dug in the E4 section of the cemetery between October 23, 2014 and November 7, 2014. Each hole was dug to a minimum depth of 9 feet. Certain areas of the holes were below 10 feet in depth. Moderate environmental conditions existed on each day of digging.

Most holes were relatively easy to dig (excavate) and presented little difficulty for the operator.

Generally speaking, all the holes had good walls and had layers consisting of topsoil, clay and some hardpan.

Locations of holes are indicated on the following diagram - holes were dug in locations 1-9 and 11.

Prepared by David Gatzke, KMPC Manager – November 2014



**Location One**

1' top soil  
1.5' rock –  
broken/fragmented  
Mostly clay to 9"+





**Location Two**

Turf – 1' top soil  
7 – 8' of mixed sized  
rock and soil  
1' of clay to 9'





**Location Three**

1' Top soil  
Clay remainder of pit  
Good walls



**Location Four**  
1' top soil  
Loose rock at 7'  
Good walls





**Location Five**  
1' Top soil  
Remainder clay  
Good walls



**Location Six**  
Good Walls  
1' Top soil  
Clay to 9'





**Location Seven**

Some rocks – small  
Some small rocks at 6'  
again  
Overall not difficult to  
dig through rocks  
Walls held up, no  
caving in



### Location Eight

Top soil

Mixture of dirt and  
rock all the way to 9'+

Good Walls





**Location Nine**

Top soil

Dirt

Good walls



**Location Eleven**

1' top soil

Clay 9 feet

Rocks

Some large

\*bucket with no teeth  
could break up rocks  
and continue  
excavating. Operator  
mentioned a bucket  
with teeth could have  
made the job even  
easier.

Layer of loose rock at  
approx 6'

Good walls





## **APPENDIX I: COST ESTIMATES**

1ORDER OF COST ESTIMATE

Based on Conceptual Drawings Dec 8, 2014

	Legacy Gardens- Phase 1	Legacy Gardens- Phase 2	Legacy Gardens- Phase 3	South West Corner Phase 1	South West Corner Phase 2	South West Corner Phase 3	Section E4- Phase 1	Section E4- Phase 2	Cemetery Wide Improvements
A: TOTAL CONSTRUCTION COSTS	\$421,720	\$1,215,840	\$448,550	\$975,397	\$1,773,263	\$231,437	\$136,194	\$2,000,000	\$344,040
B: LANDSCAPE MAINTENANCE	\$2,500	\$2,500	\$2,500	\$6,500	\$12,500	\$2,500	\$2,500	\$2,500	\$9,000
C: GENERAL REQUIREMENTS @10%	\$42,172	\$121,584	\$44,855	\$97,540	\$177,326	\$23,144	\$13,619	\$200,000	\$34,404
D: SOFT COSTS/ FEES @15%	\$69,959	\$200,989	\$74,386	\$161,915	\$294,463	\$38,562	\$22,847	\$330,375	\$58,117
E: CONTINGENCY @15%	\$80,453	\$231,137	\$85,544	\$186,203	\$338,633	\$44,346	\$26,274	\$379,931	\$66,834
Subtotals (excluding tax):	\$616,803	\$1,772,049	\$655,834	\$1,427,554	\$2,596,185	\$339,988	\$201,434	\$2,912,806	\$512,394
								TOTAL (excluding taxes):	\$11,035,049.78

2PHASED DEVELOPMENT OF NEW BURIAL AREAS IN PRIORITY ORDER

	Short Term	Medium Term	Long Term
	1-5 years	5-10 years	10-15 years
Legacy Gardens			
Phase 1	\$616,803		
Phase 2		\$1,772,049	
Phase 3			\$655,834
South West Corner			
Phase 2	\$1,427,554		
Phase 2		\$2,596,185	
Phase 3			\$339,988
Section E4			
Phase 1	\$201,434		
Phase 2			\$2,912,806
Phase 3			
Cemetery Wide Improvements			
		\$256,197	\$256,197
Total (excluding taxes)	\$2,245,792	\$4,624,431	\$4,164,826
Grand Total (excluding taxes)			\$11,035,050

