

# City of Kelowna

## Regular Council Meeting

### AGENDA



Tuesday, August 13, 2024  
4:00 pm  
Council Chamber  
City Hall, 1435 Water Street

Pages

#### 1. Call to Order

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This evening, Council will hold both a Public Hearing and a Regular Meeting.

The purpose of the Hearing is to hear from the public on matters contained in the various bylaws which, if adopted, will amend Zoning Bylaw No. 12375.

After the close of the Public Hearing, Council will then debate and vote on the proposed bylaw at the Regular Meeting that follows.

Council has been provided with the information, correspondence, petitions or reports that have been received concerning the subject bylaw. This information is available to the public online at [Kelowna.ca/council](http://Kelowna.ca/council) or by request to the Office of the City Clerk.

For those participating this evening, or who have already submitted letters to Council, a reminder that this Hearing and the Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on [kelowna.ca](http://kelowna.ca).

Following the close of the Public Hearing, no further information from the applicant or members of the public will be accepted by Council.

#### 2. Reaffirmation of Oath of Office

The Oath of Office will be read by Loyal Wooldridge.

#### 3. Confirmation of Minutes

July 23, 2024

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#### 4. Call to Order the Public Hearing

#### 5. Individual Bylaw Submissions

5.1	<b>START TIME 4:00 PM - Updates to Various Sections - TA24-0009 (BL12682) - City of Kelowna</b>	6 - 44
	To amend the following sections of Zoning Bylaw No. 12375: Section 5 - Definitions & Interpretations, Section 5 - Definitions - Short-Term Rental Accommodation, Section 6 – General Development Regulations, Section 7 – Site Layout, Section 8 – Parking & Loading, Section 10 – Agriculture & Rural Residential Zones, Section 13 – Multi-Dwelling Zones, and Section 14 – Core Area & Other Zones.	
6.	<b>Termination</b>	
7.	<b>Call to Order the Regular Meeting</b>	
8.	<b>Bylaws Considered at Public Hearing</b>	
8.1	<b>START TIME 4:00 PM - Updates to Various Sections - BL12682 (TA24-0009) - City of Kelowna</b>	45 - 56
	To give Bylaw No. 12682 second and third reading in order to amend the following sections of Zoning Bylaw No. 12375: Section 5 - Definitions & Interpretations, Section 5 - Definitions - Short-Term Rental Accommodation, Section 6 – General Development Regulations, Section 7 – Site Layout, Section 8 – Parking & Loading, Section 10 – Agriculture & Rural Residential Zones, Section 13 – Multi-Dwelling Zones, and Section 14 – Core Area & Other Zones.	
9.	<b>Development Permit and Development Variance Permit Reports</b>	
	<b>City Clerk to invite anyone participating online or in the public gallery who deems themselves affected by the required variance(s) to come forward for each item.</b>	
9.1	<b>START TIME 4:00 PM - Bertram St 1451 - DP23-0203 DVP23-0204 - Provincial Rental Housing Corporation, Inc.No. BC0052129</b>	57 - 161
	To issue a Development Permit for the form and character of rental apartment housing and a Development Variance Permit to vary the minimum number of parking spaces, maximum floor plate, maximum podium height, minimum upper floor setback, minimum building stepback, maximum parkade exposure, and maximum height.	
9.2	<b>START TIME 4:00 PM - Sadler Rd 210 - BL12627 (Z23-0084) - Dominion (Sadler) Inc., Inc.No. A0128728</b>	162 - 162
	To amend and adopt Bylaw No. 12627 in order to rezone the subject properties from the UC4 – Rutland Urban Centre zone to the UC4r – Rutland Urban Centre Rental Only zone.	

- 9.3**      **START TIME 4:00 PM - Sadler Rd 210 - DP23-0228 DVP24-0052 - Dominion (Sadler) Inc., Inc.No. A0128728**      163 - 228

To issue a Development Permit for the form and character of apartment housing and a Development Variance Permit to vary the minimum front yard building setback from 3.0 m required to 0.0 m proposed.

**10.      Development Variance Permit and Liquor License Application Reports**

City Clerk to invite anyone participating online or in the public gallery who deems themselves affected by the required variance(s) to come forward for each item.

- 10.1**      **START TIME 4:45 PM - Richter St 1080-1090 - DVP24-0087 - LL23-0007 - Bromaxx Property Group Ltd., Inc.No. BC1021305**      229 - 253

To issue a Development Variance Permit to vary required parking to 0 (zero) stalls for a maximum of 30 individual single day events per calendar year to facilitate additional events on site with a maximum event capacity of 900-persons. To seek Council's support for a permanent change to the liquor licence to add a special event area endorsement, increase the event capacity and to change the opening time from 12:00 PM to 9:00 AM seven days a week.

**11.      Termination**

**12. Procedure on each Bylaw Submission**

- a) Brief description of the application by City Staff (Development Planning);
- (b) The applicant has up to 15 minutes to make representations to Council regarding the project.
- (c) The Chair will call for representation from the public participating in person and online as follows:
  - (i) Any person wishing to make representations during the Hearing will have the opportunity to do so.
  - (ii) Speakers have up to 5 minutes to share their remarks.
- (d) Final calls for representation (ask three times). Unless Council directs that the Public Hearing on the bylaw in questions be held open, the Chair shall state to participants the the Public Hearing on the Bylaw is closed.
- (e) Once the public has had an opportunity to comment, the applicant is given up to 10 minutes to respond to any questions raised.
- (f) Questions of staff by members of Council must be asked before the Public Hearing is closed and not during debate of the bylaw at the Regular Meeting, unless for clarification.

Note: Any applicant or member of the public may use electronic visual aids to assist in their presentation or questions. Online participants must be able to share their screen to display the item.



## City of Kelowna Regular Council Meeting Minutes

Date: Tuesday, July 23, 2024  
Location: Council Chamber  
City Hall, 1435 Water Street

Members Present Mayor Tom Dyas, Councillors Ron Cannan, Maxine DeHart, Charlie Hodge, Gord Lovegrove, Mohini Singh, Luke Stack, Rick Webber and Loyal Wooldridge

Staff Present City Manager, Doug Gilchrist; Deputy City Clerk, Michael Jud; City Clerk, Laura Bentley; Divisional Director, Planning, Climate Sustainability and Development Services, Ryan Smith; Development Planning Department Manager, Nola Kilmartin; Community Planning & Development Manager, Dean Strachan; Planner II, Jason Issler\*

Staff Participating Remotely Legislative Coordinator (Confidential), Clint McKenzie

(\* Denotes partial attendance)

**1. Call to Order**

Mayor Dyas called the meeting to order at 4:00 p.m.

**2. Reaffirmation of Oath of Office**

The Oath of Office was read by Councillor Webber.

**3. Confirmation of Minutes**

Moved By Councillor Hodge/Seconded By Councillor Wooldridge

THAT the Minutes of the Public Hearing and Regular Meeting of June 18, 2024 be confirmed as circulated.

Carried

**4. Call to order the Regular Meeting**

Mayor Dyas called the meeting to order at 4:02 p.m.

**5. Liquor License Application Reports**

**5.1 START TIME 4:00 PM - Ellis St 1250, 1250-1298 - LL24-0006 - Whitworth Holdings Ltd., Inc.No. 1059455**

Staff:  
— Displayed a PowerPoint Presentation summarizing the application.

- Responded to questions from Council.
- Brad Sieben, Gordon Dr, Kyle Nixon, Applicants
- Displayed a PowerPoint presentation summarizing the application.
- Spoke to the history of the location on Ellis St. including a cigar factory and former cannery.
- Spoke to the concept for Hello Darlin.
- Reviewed the capacity and number of employees of the facility
- Spoke to taxi and ride sharing.
- Spoke to demand for a variety of entertainment options more options including late-night venues in a growing community.
- Spoke to concerns raised via public correspondence.
- Spoke to garbage collection and coordination of pick-up time being considered.

Deputy City Clerk invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one came forward from the Gallery or online.

Staff:

- Responded to questions from Council.

Applicant:

- Responded to questions from Council.
- There were no further comments.

Moved By Councillor Wooldridge/Seconded By Councillor Singh

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with 'Division 9 (71)' of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

1. Council recommends support of an application from BNA Hospitality Inc. for a licence amendment for Lot 1 District Lot 139 ODYD Plan 660, located at 1250 – 1298 Ellis St, Kelowna, BC for the following reasons:
  - o The proposed structural change and increased hours for a portion of the liquor area are compliant with Council Policy 359.
2. Council's comments on LCLB's prescribed considerations are as follows:
  - o The potential for noise if the application is approved:

The potential for noise is minimal as the proposed addition will have different proposed hours of closing and a separate exit than the rest of the business.

b. The impact on the community if the application is approved:

The potential for negative impacts is minimal as the hours are consistent with other establishments in the Downtown Urban Centre and the capacity is not exceeding 500 patrons.

3. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures."

Carried

## 6. Development Permit and Development Variance Permit Reports

6.1 STARTTIME 4:00 PM - Hilltop Cr 1870 - DP22-0186 DVP24-0089 - AP3240  
Developments Ltd., Inc.No. BC1338385

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Japleen Bhander, Applicant Representative

- Displayed a PowerPoint presentation.
- Provided an overview of the proposed development.
- Spoke to siting and context, materials and the landscape plan.
- Principles of the development were reviewed.
- Discussed the variances being requested.
- Spoke to efforts made to ensure the building fits into the surrounding neighbourhood.

Deputy City Clerk invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one came forward from the Gallery or online.

Staff:

- Responded to questions from Council.

Applicant:

- Responded to questions from Council.

There were no further comments.

Moved By Councillor Wooldridge/Seconded By Councillor Singh

THAT Council authorizes the issuance of Development Permit No. DP22-0186 and Development Variance Permit No. DVP24-0089 for Lot 8 Section 28 Township 23 ODYD PLAN EPP76020, located at 1870 Hilltop Crescent, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect.

AND THAT variances to the following section of Zoning Bylaw No. 12375 be granted:

**Section 15.4.5.[.3]: Comprehensive Development Zones, CD18 McKinley Beach, CD18 Development Regulations**

To vary the minimum amount of habitable space within an exposed storey from 60% required to 0% proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

**Carried**  
Councillor Cannan - Opposed

**6.2 START TIME 4:00 PM - Cara Glen Ct 1402 - DP23-0214 DVP23-0215 - Prime Clifton Homes Inc., Inc.No. A0116073**

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Joshua Lunn, Vernon, Applicant Representative

- Available to respond to any questions.

Deputy City Clerk invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

Gallery:

Devon Paisley, Cara Glen Court

- Concerned with overcrowding of residential development in the area with almost no public parking.
- Concerned with wildfire risks and traffic congestion in the area.

Kari Daniels, Cara Glen Way

- Opposed to the application.
- Concerned that the variances requested will set a dangerous precedent.
- Concerned the variances do not benefit the community.
- Discussed specific concerns regarding building massing and other design elements.
- Concern regarding the shadowing effect of the building.

Applicant Representative:

- Responded to questions from the public.
- Stated that improved pedestrian facilities would be constructed.
- Discussed the rationale for the building height.

Staff:

- Responded to questions from Council.

Applicant:

- Responded to questions from Council.

There were no further comments.

Moved By Councillor Lovegrove/Seconded By Councillor Stack

THAT Council authorizes the issuance of Development Permit No. DP23-0214 for Lot 1 Section 31 Township 26 ODYD Plan EPP100150, located at 1402 Cara Glen Ct, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP23-0215 for Lot 1 Section 31 Township 26 ODYD Plan EPP100150, located at 1402 Cara Glen Ct, Kelowna, BC;

AND THAT variances to the following sections of the Zoning Bylaw No. 12375 be granted as shown on Schedule "B":

**Section 13.5 – Multi-Dwelling Zones – Development Regulations**

To vary the minimum building setback from a flanking side yard from 3.0 m required to 0.0 m proposed.

**Section 13.5 – Multi-Dwelling Zones – Development Regulations**

To vary the minimum building setback from a front yard from 3.0 m required to 0.0 m proposed.

**Section 13.6 – Multi-Dwelling Zones – Density and Height Development Regulations**

To vary the maximum allowable height from 4 storeys permitted to 5 storeys proposed.

AND THAT the applicant be required to complete the above noted condition of Council's approval of the Development Permit and Development Variance Permit Applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit are valid for two (2) years from the date of Council approval, with no opportunity to extend.

**Carried**

Councillor Cannan - Opposed

**7. Termination**

Staff provided a brief update on planned revisions to the Council Liquor Licensing Policy.

The meeting was declared terminated at 5:36 p.m.

\_\_\_\_\_  
Mayor Dyas

mj/cm

*Michael J. J.*  
\_\_\_\_\_  
Deputy City Clerk

# REPORT TO COUNCIL TEXT AMENDMENTS



**Date:** July 22<sup>nd</sup>, 2024  
**To:** Council  
**From:** City Manager  
**Address:** n/a  
**File No.:** TA24-0009

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## **1.0 Recommendation**

THAT Zoning Bylaw Text Amendment Application No. TA24-0009 to amend City of Kelowna Zoning Bylaw No. 12375 as outlined in Schedule "A" attached to the Report from the Development Planning Department dated July 22<sup>nd</sup> 2024, be considered by Council;

AND THAT the Zoning Bylaw Text Amending Bylaw be forwarded to a Public Hearing for further consideration;

AND FURTHER THAT final adoption of the Zoning Bylaw Text Amending Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure.

## **2.0 Purpose**

To amend the following sections of Zoning Bylaw No. 12375: Section 5 - Definitions & Interpretations, Section 5 - Definitions - Short-Term Rental Accommodation, Section 6 – General Development Regulations, Section 7 – Site Layout, Section 8 – Parking & Loading, Section 10 – Agriculture & Rural Residential Zones, Section 13 – Multi-Dwelling Zones, and Section 14 – Core Area & Other Zones.

## **3.0 Development Planning**

Staff have committed to continual improvements to the Zoning Bylaw as priorities evolve and challenges arise. Staff are presenting a series of minor amendments for Council's review. Concurrently, Staff are working on two other Zoning Bylaw amendment projects. The first project is a Section 8 Parking review. Council's priority of increasing affordable housing supply, the requirements of the federal Housing Accelerator Fund (HAF), and adoption of the provincial Transit Oriented Areas (TOA) legislation have necessitated a review of our parking bylaw. For example, the application of the current cash-in-lieu parking policy acts as a financial disincentive for multi-family housing in Urban Centres where the OCP directs increased residential density to support transit nodes and corridors. The second project is a more comprehensive landscape section review, to be implemented as an outcome from the City's Sustainable Urban Forest Strategy. This will improve coordination of on-site landscaping requirements with updated off-site landscape provisions within the Subdivision and Servicing Bylaw 7900 updates.

In this report, several recommended content changes are proposed to the Zoning Bylaw. For a detailed list of changes and the reasons for recommending these changes please see the attached Schedule 'A'. Table 3.1 below provides an executive summary of the changes. The executive summary is organized into eight categories.

**Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes**

No.		Area of Change	Additional Detail
1.	Section 5 Definitions & Interpretations	Updates to: a) Front Lot Line b) Stepback c) Building Envelope Area d) Common & Private Amenity Space e) Short-Term Rental Accommodation	a) Alter Front Lot Line definition to apply to bareland strata lots. b) Amend Stepback definition to allow eaves to project within the area. c) Update Building Envelope Area definition to capture all legal restrictions such as easements & rights-of-way. d) Amend the definition of Common & Private Amenity Space to exclude lobbies. e) Change Short-Term Rental Accommodation definition to align with provincial legislation of less than 90 consecutive days.
2.	Section 6 – General Development Regulations	Updates to: a) Swimming Pool Regulations	a) Amend location and setback swimming pool regulations to add the term flanking side yards to capture corner lot situations.
3.	Section 7 – Site Layout (Landscaping)	Updates to: a) Definitions b) Soil Volumes c) Reorganize table d) Overhead power lines e) Add MF <sub>4</sub> to Landscape Regulation table f) Adjust setback from tree to building	a) Replace 'Growing Medium' definition with 'Soil Volume' definition. Replace 'Growing Medium Area' definition with 'Soft Landscaping' definition. Add definition of infill housing to allocate landscape requirements to that specific development form. b) Adjust soil volumes to fit better in tight urban environments while maintaining adequate volumes for healthy trees. c) Reorganize the table format for increased clarity and fewer footnotes. d) Expand the overhead power lines provision to all development. e) Clarify which landscape requirements apply to various MF <sub>4</sub> developments. f) Adjust the setback above the second storey to remove the step forward as this will allow for full canopy growth and light exposure over time.
4.	Section 7 – Site Layout (Fencing and Retaining Walls)	Updates to: a) Formatting b) Fences on top of or beside retaining walls c) Retaining walls	a) Simplify and reorganize section into two separate sections (Fencing & Retaining Walls). b) Clarify the intended height of a fence on top of or beside a retaining wall or steep slope. c) Rewrite retaining wall section for increased clarity of maximum retaining wall height and clarify when a professional engineer is required.

**Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes**

No.		Area of Change	Additional Detail
5.	Section 8 – Parking & Loading	Updates to: a) Drive Aisles b) Universal Accessible Parking c) Tandem Parking d) Rutland Transit Oriented Area	d) Clarify the one-way drive aisle width is 5.5 metres when adjacent parking is 60 degrees <u>or greater</u> . e) Clarify that universal accessible parking is to be triggered with MF2, not MF1 developments. f) Clarify that tandem parking is not to be used between principal dwelling units and to allow tandem parking for Child Care Centre, Major with the principal dwelling. g) The original Transit Oriented Area map missed one property (165 Dougall Rd S).
6.	Section 10 – Agriculture & Rural Residential Zones	Updates to: a) Mobile Home in A1 b) Single Detached Dwelling in A1, A2, RR1, & RR2 c) Bed & Breakfast	a) Clarify the footnote that only 1 mobile home is permitted per lot within the A1 zone. b) Add a footnote to ensure only one single detached dwelling is permitted per lot with the A1, A2, RR1, & RR2 zones. c) Amend footnote to provide consistent bed & breakfast regulations across zones that allow bed & breakfast homes only if one unit exists on the lot.
7.	Section 13 – Multi-Dwelling Zones	Updates to: a) Child Care Centre, Major b) MF1 Side Yard Setbacks c) Parkade entrance / exit height exclusion	a) Change Child Care Centre, Major from Secondary use to Principal use to be consistent with childcare regulations throughout the City. b) Change MF1 side setback from 1.8m to 1.2m for garages or carports to help accommodate necessary parking onsite. c) Add an exclusion for parkade entrances / exits as the overall height regulation will remain intact.
8.	Section 14 – Core Area & Other Zones	Updates to: a) Office & Apartment use in the C1 & C2 zone b) Urban Centre side yard setbacks c) Lots with Parks designation with a Transit Oriented Area d) Parkade entrance / exit height exclusion	a) Clarify the definition that these uses cannot occur on the ground floor but can occur on floors above the ground floor. b) Add Suburban Future Land Use designations to the list of adjacent lots. c) Comply with the provincial Transit Oriented Areas legislation with regards to height and density on designated lots, including lots with a park designation d) Add an exclusion for parkade entrances / exits as the overall height regulation will remain intact.

Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes			
No.		Area of Change	Additional Detail

**Report prepared by:** Adam Cseke, Planner Specialist  
**Reviewed by:** Jocelyn Black, Urban Planning Manager  
**Reviewed by:** Nola Kilmartin, Development Planning Department Manager  
**Approved for Inclusion by:** Ryan Smith, Divisional Director, Planning, Climate Sustainability & Development Services

**Attachments:**

Schedule 'A': Proposed Text Amendments to Zoning Bylaw No. 12375

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).

## Content Changes to Zoning Bylaw No. 12375

No.	Section	Current Wording	Proposed Wording	Reason for Change
1.	Section 5 – Definitions & Interpretations – Building Envelope Area	BUILDING ENVELOPE AREA means the remainder area of a lot after excluding the setbacks areas and all areas of the lot that have a 'no build' restrictive covenant or a 'no disturb' restrictive covenant for any environmental or geotechnical purposes. (See Figure 5.2).	BUILDING ENVELOPE AREA means the remainder area of a lot after excluding the setbacks areas and all areas of the lot that have a 'no build' restrictive covenant or a 'no disturb' restrictive covenant for any environmental or geotechnical purposes, <u>or easements &amp; statutory rights-of-way</u> . (See Figure 5.2).	Ensure any legal restriction on a lot is captured in the definition.
2.	Section 5 – Definitions & Interpretations – Common and Private Amenity Space.	COMMON AND PRIVATE AMENITY SPACE means a useable open space area, exclusive of parking spaces, which is developed for the recreational use of the residents and includes: indoor common amenity space, outdoor common space, common terraces, common rooftop spaces, private decks, level landscaped recreation areas, and balconies. Landscaped areas required in Section 7 cannot be counted towards common and private amenity space.	COMMON AND PRIVATE AMENITY SPACE means a useable open space area, exclusive of parking spaces, which is developed <u>exclusively</u> for the recreational use of the residents and includes: indoor common amenity space, outdoor common space, common terraces, common rooftop spaces, private decks, level landscaped recreation areas, and balconies. Landscaped areas required in Section 7 cannot be counted towards common and private amenity space.	To clarify areas such as lobbies are excluded from the common and private amenity space calculations.
3.	Section 5 - Definitions & Interpretations – Growing Medium	GROWING MEDIUM means the material that plants grow in. Growing medium shall follow the standards identified in the Canadian Landscape Standard (CLS).	delete	Replace the term Growing Medium with Soil Volume to clarify the intended meaning.
4.	Section 5 - Definitions & Interpretations – Infill Housing	n/a	INFILL HOUSING means any form of development on a lot within the C-NHD - Core Area Neighbourhood or the S-RES – Suburban Residential future land use designation outlined within the OCP that contains or will contain three to six dwelling units and / or any form of development on a MF1, MF4, RU1, RU2, or RU3 zoned lot that contains or will contain three to six dwelling units.	Clarify meaning of infill housing to be able to quote landscape regulations for infill housing developments.
5.	Section 5 – Definitions & Interpretations – Lot Line, Front – Urban and Rural Residential	LOT LINE, FRONT – URBAN AND RURAL RESIDENTIAL means, in the case of an interior lot, a lot line separating the lot from the street; or in the case of a corner lot, a line separating the narrowest street frontage of the lot from the street not including a corner rounding or corner cut; or for a lot configuration that is not otherwise described in this definition, front lot line as approved by the Director of Planning & Development Services	LOT LINE, FRONT – URBAN AND RURAL RESIDENTIAL means, in the case of an interior lot, a lot line separating the lot from the street <u>or bareland strata road</u> ; or in the case of a corner lot, a line separating the narrowest street frontage of the lot from the street not including a corner rounding or corner cut; or for a lot configuration that is not otherwise described in this definition, front lot line as approved by the Director of Planning & Development Services	Specifying that front lot lines apply to Bareland Strata roads
6.	Section 5 - Definitions & Interpretations – Short-Term Rental Accommodation	SHORT-TERM RENTAL ACCOMMODATION means the use of a dwelling unit or one or more sleeping units within a dwelling unit for temporary overnight accommodation for a period of 29 days or less. This use excludes hotels and motels. Short-term rental accommodations shall not be permitted to operate within a boarding or lodging house, a carriage house, a group home, or within a secondary suite.  See Section 9.10 for Short Term Rental Accommodation Specific Regulations.	SHORT-TERM RENTAL ACCOMMODATION means the use of a dwelling unit or one or more sleeping units within a dwelling unit for temporary overnight accommodation for a period of <u>time of less than 90 consecutive days</u> . This use excludes hotels and motels. Short-term rental accommodations shall not be permitted to operate within a boarding or lodging house, a carriage house, a group home, or within a secondary suite.  See Section 9.10 for Short Term Rental Accommodation Specific Regulations.	The provincial Short-Term Rental Accommodations Act defines short-term rental as a period of time of less than 90 consecutive days. This change will ensure the City's Zoning Bylaw definition of a Short-Term Rental is consistent with provincial legislation to avoid any possible discrepancies.
7.	Section 5 - Definitions & Interpretations – Soft Landscaping	n/a	SOFT LANDSCAPING means soil-based groundcover within the landscape area, including landscaping with a minimum 150mm of growing medium and plants including natural turf, ground covers such as perennials and grasses, shrubs and trees. Soft landscaping does not include areas without growing medium and plant materials such as areas that are predominately rock, artificial turf, rubberized surfacing or hard surfacing such as but not limited to pavers.	Replace the term Growing Medium Area with Soft Landscaping to clarify the intended meaning of the regulation.

No.	Section	Current Wording	Proposed Wording	Reason for Change
8.	Section 5 - Definitions & Interpretations – Soil Volume	n/a	SOIL VOLUME means the growing medium material that plants grow in. The growing medium shall follow the standards identified in the Canadian Landscape Standard (CLS).	Replace the term Growing Medium with Soil Volume to clarify the intended meaning.
9.	Section 5 – Definitions & Interpretations – Stepback	STEPBACK means the horizontal recessing of the building facade above a specified storey. Common stairwells, elevators, and the associated common floor areas that access the stairwells and elevators are exempt from requiring to meet the stepback. See illustrative figures for visual representation below:	STEPBACK means the horizontal recessing of the building façade, <u>measured from the face of the building wall</u> , above a specified storey. Common stairwells, elevators, and the associated common floor areas that access the stairwells and elevators are exempt from requiring to meet the stepback. <u>Eaves can project into the stepback no greater than 0.6 meters</u> . See illustrative figures for visual representation below:	Eaves can be permitted in stepback area and clarify where the setback is measured from.
10.	Section 6 – General Development Regulations – 6.1 – Swimming Pools – 6.1.1	Swimming pools shall not be located in a required front yard setback.	Swimming pools shall not be located in a required front yard <u>or flanking side yard</u> setback.	Capture corner lots
11.	Section 6 – General Development Regulations – 6.1 – Swimming Pools – 6.1.3	At grade swimming pools shall be located at a minimum of 0.9 metres from side lot line and rear lot line and 1.5 metres from any street, except for a required front yard.	At grade swimming pools shall be located at a minimum of 0.9 metres from side lot line and rear lot line and 1.5 metres from any street, except for a required front <u>or flanking side yard</u> .	Capture corner lots
12.	Table 7.2 – Tree & Landscaping Planting Requirements	<a href="#">See Chart A</a>	<a href="#">See Chart B</a>	Adjust the minimum soil volume per tree based on feedback from Landscape Architects. Expand the overhead power line provision to all developments. Clarify which category of landscape requirements MF <sub>4</sub> developments are assigned. Adjust the setback from trees to buildings above the second storey. Reorganize the table to have less footnotes.
13.	Section 7.5 Site Layout – Fencing and Retaining Walls	<a href="#">See Chart C</a>	<a href="#">See Chart D</a>	
14.	Section 8 – Parking & Loading - Table 8.2.7.a Dimensions of Parking Spaces and Drive Aisles – Drive Aisles:	One way drive aisles (60 degree parking)	One way drive aisles (60-degree parking <u>or greater</u> )	To specify drive-aisle requirements for parking greater than 60 degrees.

No.	Section	Current Wording	Proposed Wording	Reason for Change
15.	Section 8 – Parking & Loading – Table 8.2.17 Amount of Accessible Parking Spaces	<a href="#">See Chart E</a>	<a href="#">See Chart F</a>	To ensure Universal Accessible spaces are not triggered with MF1 developments and only begin with MF2 developments.
16.	Section 8.2.6 Off-Street Parking Regulations – Tandem Parking	Tandem parking spaces are permitted only for: (a) developments with 6 or less dwelling units but only one tandem parking space is permitted in front of any garage or carport; or (b) townhouses with 7 or more dwelling units where the lot is located within the Core Area. Visitor parking stalls cannot be configured in tandem.”;	Tandem parking spaces are permitted only for: (a) developments with 6 or less dwelling units <u>and</u> : i. <u>only one tandem parking space is permitted in front of any garage or carport;</u> ii. <u>a tandem space cannot be used for different principal dwelling units;</u> iii. <u>parking spaces for secondary suites, carriage houses, and Child Care Centre, Major can be in tandem with the principal dwelling unit(s).</u> (b) townhouses with 7 or more dwelling units where the lot is located within the Core Area <u>and</u> : i. <u>visitor parking stalls cannot be configured in tandem;</u> ii. <u>a tandem space cannot be used for different principal dwelling units.</u>	Add tandem parking for Child Care Centre, Major as predominantly the use is for pickups and drop offs. Permitting a tandem configuration will provide more opportunity for Child Care in residential neighbourhoods. Clarifying tandem parking is not to be used between principal dwelling units.
17.	Table 8.3 – Required Residential Off-Street Parking Requirements – Footnote 12	Except secondary suites and carriage houses only require 1.0 space per dwelling unit. The parking spaces for the secondary suites and carriage houses can be located in the driveway and in tandem with the single detached dwelling parking as long as two additional off-street parking spaces are provided for the principal dwelling. Notwithstanding Section 8.1.4, parking for secondary suites or carriage houses can be surfaced with a dust-free material.	Except secondary suites and carriage houses only require 1.0 space per dwelling unit.	This footnote only refers to agricultural and rural residential lots, therefore the tandem provisions were reallocated into Section 8.2.6 Tandem Parking.
18.	Residential Parking Exemptions Map 8.3.d Rutland Exchange	<a href="#">See Chart G</a>	<a href="#">See Chart H</a>	The original map missed one property (165 Dougall Rd S) that is within the Transit Oriented Area.
19.	Section 10 – Agriculture & Rural Residential Zones - 10.3 – Permitted Land Uses – footnote .6	.6 Maximum one single detached dwelling or mobile home per lot, unless another residence is permitted within the Agriculture Land Reserve as described in the Agricultural Land Commission Act (and related regulation and policy).	.6 Maximum one mobile home per lot.	To ensure only one mobile home per lot.
20.	Section 10 – Agriculture & Rural Residential Zones - 10.3 – Permitted Land Uses – footnote .13	NA	.13 Maximum of one Single Detached Dwelling unit is permitted per lot, except on A1 zoned ALR land when another residence is permitted within the Agriculture Land Reserve as described in the Agricultural Land Commission Act (and related regulation and policy).	To ensure only one Single Detached Dwelling per lot.

No.	Section	Current Wording					Proposed Wording					Reason for Change
21.	Section 10 – Agriculture & Rural Residential Zones - 10.3 – Permitted Land Uses – Single Detached Dwelling		A1	A2	RR1	RR2		A1	A2	RR1	RR2	Add required footnote beside the principal use in each zone to footnote .13.
		Single Detached Dwelling	P <sup>.6</sup>	P	P	P		Single Detached Dwelling	P <sup>.13</sup>	P <sup>.13</sup>	P <sup>.13</sup>	
22.	Section 10 – Agriculture & Rural Zones – 10.3 Permitted Land Uses – Footnotes .12	.12 [Deleted]					.12 A bed & breakfast can only occur if there is only one dwelling unit on the lot.					Addition of a regulation that was removed in error, and mirrors the wording of bed & breakfast regulations in the RU1, RU2 and RU3 zones.
23.	Section 13 – Multi-Dwelling Zones - Section 13.3 Multi-Dwelling Zones Permitted Land Uses – MF1 – Child Care Centre, Major		MF1	MF2	MF3	MF4		MF1	MF2	MF3	MF4	During the transition from RU1 to MF1 in the Core Area it was missed that Child Care Centre, Major was intended to be a permitted principal use.
		Child Care Centre, Major	S	S	S	S		Child Care Centre, Major	P <sup>.3</sup>	S	S	
24.	Section 13 – Multi-Dwelling Zones -Section 13.3 Multi-Dwelling Zones Permitted Land Uses – Footnote .3	.3 [Deleted]					.3 The lot must have a child care sub-zone 'cc' on the property for a child care centre, major to be permitted.					During the transition from RU1 to MF1 in the Core Area it was missed that Child Care Centre, Major was intended to be a permitted principal use.
25.	Section 13.5 Multi-Dwelling Zones – Development Regulations – Footnote .2	.2 Side yards are not required for semi-detached housing or townhouses on a lot line that has a party wall agreement.					.2 Side yards are not required for semi-detached housing or townhouses on a lot line that has a party wall agreement. For MF1 lots garages and carports can have a side yard setback of 1.2 metres when the lot has access to a rear or side lane. Any residential space on those MF1 lots above the garage or carport must meet the 1.8 m side yard setback.					To help accommodate similar parking setbacks to existing fourplexes for lots with lanes.
26.	Section 13.5 Multi-Dwelling Zones – Development Regulations – Footnote .9	.9 A minimum of 4.0 m² per dwelling unit of the common and private amenity space shall be configured as common area that is accessible to all residents and must not be located within the required setback areas. Common amenity space is not required for fee simple townhouses.					.9 A minimum of 4.0 m² per dwelling unit of the common and private amenity space shall be configured as a common area that is accessible to all residents and must not be located within the required setback areas. Common amenity space is not required for fee simple townhouses. For all apartment buildings, at least 75 m² of the required portion of common area shall be configured indoors.					To add an indoor amenity requirement area to help facilitate strata meetings and promote other common apartment communal living opportunities.

No.	Section	Current Wording	Proposed Wording	Reason for Change
27.	Section 13 – Multi-Dwelling Zones - 13.6 – Density and Height Development Regulations – Footnote .1	The base height is 18.0 m & 4 storeys except the maximum base height is 22.0 m / 6 storeys if the subject property is fronting onto a Transit Supportive Corridor.	If a parkade entrance / exit has a lower finished grade than the surrounding area then this portion of the parkade can be excluded from height calculations. The base height is 18.0 m & 4 storeys except the maximum base height is 22.0 m / 6 storeys if the subject property is fronting onto a Transit Supportive Corridor.	To add an exclusion for parkade entrances as the overall height regulation will remain intact.
28.	Section 14 – Core Area & Other Zones - Section 14.9 – Principal and Secondary Land Uses – footnote .6	Offices are intended to be a minor component within the zone. Offices and Apartment Housing are limited to the uppermost floor within a building. Offices and Apartment Housing cannot occur on the ground floor	Offices are intended to be a minor component within the zone. Offices and Apartment Housing are limited to above the first floor. Offices and Apartment Housing cannot occur on the ground floor.	Provides clarity within the C1 – Local & Neighbourhood Commercial zone and the C2 – Vehicle Oriented Commercial zone for buildings proposed to be taller than two storeys.
29.	Section 14 – Core Area & Other Zones - 14.11 – Development Regulations – footnote .3	Except it is 3.0 m when abutting a core area neighbourhood (C-NHD) or an education / institutional (EDINST) future land use designation as outlined in the Official Community Plan.	Except it is 3.0 m when abutting a Core Area Neighbourhood (C-NHD), Suburban -Residential (S-RES), Suburban - Multiple Unit (S-MU), or an Education / Institutional (EDINST) future land use designation as outlined in the Official Community Plan.	Ensure setbacks to additional future land uses.
30.	Section 14 – Core Area & Other Zones - 14.14 – Density and Height – footnote .13	<sup>-13</sup> Lots identified in a Transit Oriented Area identified by Map 8.3.b , Map 8.3.c, or Map 8.3.d have the base FAR for the 6-storey category increased from 1.8 FAR to 2.5 FAR. Developments that use this base density cannot apply the Underground Parking Base FAR Adjustment referenced in footnote <sup>-12</sup> .	<sup>-13</sup> Lots that have a 6 storey Building Height category and are within a Transit Oriented Area as identified by Map 8.3.b , Map 8.3.c, or Map 8.3.d then have their density increased from 1.8 base FAR to 2.5 base FAR. Developments that use this base density cannot apply the Underground Parking Base FAR Adjustment referenced in footnote <sup>-12</sup> .	Re-word to clarify meaning.
31.	Section 14 – Core Area & Other Zones - 14.14 – Density and Height – footnote .15	NA	<sup>-15</sup> If a lot has a Park Building Height category and is within a Transit Oriented Area as identified by Map 8.3.b , Map 8.3.c, or Map 8.3.d then: if the lot is within 200 metres of the Transit Exchange the lot can be developed in accordance with the 12 storey base height and density category and if the lot is between 200 and 400 metres of the Transit Exchange the lot can be developed in accordance with the 6 storey the base height and density category.	To capture some designated park lots that occur within the Transit Oriented Areas.
32.	Section 14 – Core Area & Other Zones - 14.14 – Density and Height - UC1 (Downtown), UC2 (Capri/Landmark), UC3 (Midtown), UC4 (Rutland), UC5 (Pandosy)	Min. Density (if applicable) & Max. Base Density FAR <sup>-1, -7</sup>  For areas identified as PARK = 0.5 FAR <sup>-9</sup>	Min. Density (if applicable) & Max. Base Density FAR <sup>-1, -7</sup>  For areas identified as PARK = 0.5 FAR <sup>-9, -15</sup>	To capture some designated park lots that occur within the Transit Oriented Areas.

No.	Section	Current Wording	Proposed Wording	Reason for Change
33.	Section 14 – Core Area & Other Zones - Section 14.14 – Density and Height - Max. Base Height.	Max. Base Height . <sup>1, 7</sup>	Max. Base Height . <sup>1, 7, 14</sup>	To apply footnote 14, as referenced below, to the Base Heights in Section 14.
34.	Section 14 – Core Area & Other Zones - 14.14 – Density and Height – Footnotes .14	NA	<sup>14</sup> <u>If a parkade entrance / exit has a lower finished grade than the surrounding area then this portion of the parkade can be excluded from height calculations.</u>	To add an exclusion for parkade entrances situations as the overall height regulation will remain intact.

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## Chart A

Original – Section 7 – Site Layout

<b>Table 7.2 – Tree &amp; Landscaping Planting Requirements</b> cm =centimetres / m = metres / m <sup>2</sup> = square metres			
Criteria	Any MF1, RU1, RU2, or RU3 zone for which the lot contains 3 or more dwelling units.	MF2 zone, MF3 zones, Core Area Zone, Village Centre Zone, Health District Zones, and Institutional Zones	Urban Centre Zones, Commercial Zones, Industrial Zones, & Comprehensive Development Zones
Minimum Number of Trees within Landscape Areas <sup>.2</sup>	1 tree per 10 linear metres of landscape area <sup>.2, .7, .10, .11</sup>	1 tree per 10 linear metres of landscape area <sup>.2</sup>	1 tree per 10 linear metres of landscape area <sup>.2, .6</sup>
Minimum Growing Medium Area <sup>.4</sup>	75% soil-based landscaping groundcover in landscape areas <sup>.9, .11</sup> See Visual Example Figure 7.2.1	75% soil-based landscaping groundcover in landscape areas <sup>.9</sup> See Visual Example Figure 7.2.1	75% soil-based landscaping groundcover in landscape areas <sup>.6, .9</sup> See Visual Example Figure 7.2.1
Minimum Landscaping for any surface parking lot over 15 vehicles <sup>.5</sup>	(a) Notwithstanding Section 7.2.3, if a parking lot over 15 vehicles abuts a street, that interface must have at least a minimum 1.5 metres landscape area (the setback landscaping area might be larger). See Figure 7.2.10; (b) landscaped islands are required at the end of each parking aisle; (c) the maximum number of parking spaces in a consecutive row is 14 with a landscaped island or drive aisle separating the next 14 spaces; (d) landscaped islands are not to be longer than the adjacent parking space; (e) landscaped islands shall be clearly delineated as separate and in addition to required parking and loading spaces; (f) locate landscaped islands such that loading and unloading vehicles can gain access without undue interference; and (g) a minimum of one tree must be included in a landscaped island.		
Minimum / Maximum Tree Spacing	Minimum tree spacing is based on site requirements for sightlines or accessibility along with standard planting practices for the tree species. Trees may be planted closer together as needed and additional trees are highly encouraged. Spacing is not dictated by requirements for the number of trees required in the Landscape Area.		
Minimum Setback from buildings, raised patios, and balconies to on-site trees	Large: 3 m radius from centre of tree up to the second storey of the building Medium: 2 m radius from centre of tree up the second storey of the building Small: 1 m radius from centre of tree up to the second storey of the building  Any underground parkade, underground building, underground structure (such as a stormwater detention tank) must be setback at least 1 metre volumetrically		

Table 7.2 – Tree & Landscaping Planting Requirements				
cm =centimetres / m = metres / m² = square metres				
Criteria	Any MF1, RU1, RU2, or RU3 zone for which the lot contains 3 or more dwelling units.	MF2 zone, MF3 zones, Core Area Zone, Village Centre Zone, Health District Zones, and Institutional Zones	Urban Centre Zones, Commercial Zones, Industrial Zones, & Comprehensive Development Zones	
	measured from the centre of the tree at finished grade (trunk flare).			
Minimum Deciduous Tree Planting Stock Caliper <sup>.1</sup>	Large: 5 cm Medium: 4 cm Small: 3 cm			
Minimum Coniferous Tree Planting Stock Height	250 cm			
Minimum Ratio between Tree size <sup>.3</sup>	Large: Min 50% Medium: No min or max Small: Max 25%			
Minimum Growing Medium Volumes per Tree <sup>.4, .8</sup>		Single Tree	Pair	Shared
	Large Tree	30 m³	20 m³	15 m³
	Medium Tree	20 m³	15 m³	12 m³
	Small Tree	15 m³	12 m³	10 m³

FOOTNOTES (Section 7.2):

<sup>.1</sup> All deciduous trees shall have a minimum clear stem height of 1.5 m.

<sup>.2</sup> The linear metre calculation is used to determine a minimum number of trees that is to be planted within the landscape area (not the minimum spacing). At least one tree per landscape area is required.

<sup>.3</sup> Tree size will be defined in the City of Kelowna’s Urban Tree Guide, if only one tree is required, it must be a large tree or conifer. All columnar trees shall be considered a medium or small tree for determination of the tree size ratio. However, these trees require the equivalent Large Tree Growing Medium Volume. All trees onsite including the trees within the landscape area and the trees within parking lot landscape islands must meet this ratio.

<sup>.4</sup> Minimum growing medium may be shared through the landscape area (tree, turf, and shrub). Electrical transformers and driveways within the landscape areas can be excluded from the minimum percentage of growing medium area.

<sup>.5</sup> The minimum number of trees within landscape areas and within parking islands are separate calculations and cannot be double counted to meet minimum numbers. However, trees in adjacent parking landscape islands may share growing medium with the Landscape Area to meet trenched/shared growing medium minimum amounts.

<sup>.6</sup> The minimum number of trees in the front yard or flanking yard landscape area can be planted outside the front yard or flanking yard landscape areas if the abutting boulevard contains an irrigated boulevard with planted street trees. If the minimum number of trees is planted outside the front yard

**Table 7.2 – Tree & Landscaping Planting Requirements**

cm =centimetres / m = metres / m<sup>2</sup> = square metres

Criteria	Any MF1, RU1, RU2, or RU3 zone for which the lot contains 3 or more dwelling units.	MF2 zone, MF3 zones, Core Area Zone, Village Centre Zone, Health District Zones, and Institutional Zones	Urban Centre Zones, Commercial Zones, Industrial Zones, & Comprehensive Development Zones
<p>or flanking yard landscape area then there is no minimum growing medium area required in the front yard or flanking yard landscape area.</p> <p><sup>.7</sup> The minimum landscaping and number of trees required are only required when a lot contains three or more dwelling units.</p> <p><sup>.8</sup> For growing medium volume calculation, any continuous growing medium the roots can reach on the subject property to a depth of 1 metre can be applied. The boulevard can be used for growing medium volume if the growing medium volume does not interfere with the necessary growing medium volume for street trees. If this growing medium area is covered by sidewalk or other impervious surface, soil cells will be required to achieve the minimum growing medium requirement. If the overall soil volumes cannot be met but soil cells are installed, then there is no minimum growing medium volume requirement.</p> <p><sup>.9</sup> There is no minimum growing medium area required in front yard or flanking yard landscape area if soil cells are installed to accommodate the minimum on-site trees within the front yard or flanking yard landscape area.</p> <p><sup>.10</sup> The minimum number of trees in the front yard or flanking yard landscape area can be planted outside the front yard or flanking yard landscape areas if the abutting boulevard contains overhead electrical power lines that would interfere with the growth of the trees.</p> <p><sup>.11</sup> There is no minimum number of trees onsite and no minimum growing medium area within the front yard or flanking yard landscape area if adequately sized large trees are planted within the boulevard utilizing soil cells and the boulevard contains a sidewalk or a sidewalk is installed.</p>			

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## Chart B

Proposed – Table 7.2 Tree & Landscaping Planting Requirements


Table 7.2 – Tree & Landscaping Planting Requirements			
cm =centimetres / m = metres / m² = square metres / m³ = metres cubed			
Criteria	Regulations		
Standard Requirements for Minimum Trees, Soft landscaping, and Soil Volume for all Developments <sup>-1</sup>			
Minimum Number of Trees within Landscape Areas <sup>-1</sup>	1 tree per 10 linear metres of landscape area		
Minimum Soft Landscaping Area <sup>-2</sup> See Visual Example Figure 7.2.1	75% of the landscape area shall be soft landscaping		
Minimum Soil Volume per Tree <sup>-3</sup>		Single Tree	Shared
	Large Tree	20 m³	15 m³
	Medium Tree	18 m³	12 m³
	Small Tree	15 m³	10 m³
Area specific modification to Trees, Soft landscaping, and Soil Volume Requirements			
Overhead Power Lines for any zone	The minimum number of trees in the front yard or flanking yard landscape area can be planted outside the front yard or flanking yard landscape areas if the abutting: boulevard, front yard and / or flanking yard contains overhead electrical power lines that would interfere with the growth of the trees.		
Landscape Areas and Boulevards for Infill Housing	There is no minimum number of trees onsite and no minimum soft landscaping within the front yard or flanking yard landscape area if large trees are planted within the boulevard and the boulevard contains a sidewalk or a sidewalk is installed.		
Landscape Areas and Boulevards for any: MF2, M3, MF4 <sup>-4</sup> zone or any zone within Section 14 Core Area and Other Zones	The minimum number of trees can be planted outside of the front yard or flanking yard landscape areas if the abutting boulevard is irrigated and contains a sidewalk or a sidewalk will be installed. There is no minimum soft landscaping required within the front yard or flanking yard landscape area if the minimum number of trees is planted outside the front yard or flanking yard landscape area.		
Universal Landscape Requirements			
Minimum Landscaping for any surface parking lot over 15 vehicles <sup>-5</sup>	(a) If a surface parking lot contains 15 vehicles or greater and abuts a street, then the interface area with the street must have a minimum 1.5 metres landscape area. (b) landscaped islands are required at the end of each parking aisle; (c) the maximum number of parking spaces in a consecutive row is 14 with a		

<b>Table 7.2 – Tree &amp; Landscaping Planting Requirements</b> cm =centimetres / m = metres / m <sup>2</sup> = square metres / m <sup>3</sup> = metres cubed	
Criteria	Regulations
	landscaped island or drive aisle separating the next 14 spaces; (d) landscaped islands are not to be longer than the adjacent parking space; (e) landscaped islands shall be clearly delineated as separate and in addition to required parking and loading spaces; (f) locate landscaped islands such that loading and unloading vehicles can gain access without undue interference; (g) a minimum of one tree must be included in a landscaped island; and (h) landscape islands must have a minimum 75% soft landscaping or soil cells.
Minimum / Maximum Tree Spacing	Minimum tree spacing is based on site requirements for sightlines or accessibility along with standard planting practices for the tree species. Trees may be planted closer together as needed and additional trees are highly encouraged. Spacing is not dictated by requirements for the number of trees required in the Landscape Area.
Minimum Setback from buildings, raised patios, and balconies to on-site trees	Large: 3 m radius from centre of tree to the building Medium: 2 m radius from centre of tree to the building Small: 1 m radius from centre of tree to the building  Any underground parkade, underground building, underground structure (such as a stormwater detention tank) must be setback at least 1 metre volumetrically measured from the centre of the tree at finished grade (trunk flare).
Minimum Deciduous Tree Planting Stock Caliper <sup>·6</sup>	Large: 5 cm Medium: 4 cm Small: 3 cm
Minimum Coniferous Tree Planting Stock Height	250 cm
Minimum Ratio between Tree size <sup>·7</sup>	Large: Min 50% Medium: No min or max Small: Max 25%
<b>FOOTNOTES (Section 7.2):</b> <sup>·1</sup> The linear metre calculation is used to determine the minimum number of trees to be planted within the landscape area (not the minimum spacing). At least one tree per landscape area is required, unless there is an area specific modification. The minimum landscaping and number of trees is required for all developments, except, for residential developments that contains two or less dwelling units per lot. <sup>·2</sup> Electrical transformers and driveways within the landscape areas can be excluded from the minimum	

**Table 7.2 – Tree & Landscaping Planting Requirements**

cm =centimetres / m = metres / m<sup>2</sup> = square metres / m<sup>3</sup> = metres cubed

Criteria	Regulations
	<p>percentage of <a href="#">soft landscaping</a> area. If soil cells are installed for all the required trees in the <a href="#">front yard or flanking yard landscape area</a>, then there is no minimum <a href="#">soft landscaping</a> requirement.</p> <p><sup>3</sup> <a href="#">Soil volume</a> may be shared through the <a href="#">landscape area</a> (tree, turf, and shrub). For the <a href="#">soil volume</a> calculation, any continuous growing medium the roots can reach on the subject property to a maximum depth of 1 metre can be applied. The boulevard can be partially used for <a href="#">soil volume</a> calculation only when the landscaped portion of the boulevard is directly abutting the property line and the <a href="#">soil volumes</a> do not interfere with any subsurface utility infrastructure.</p> <p><sup>4</sup> This category applies to any MF4 development with 7 or more dwelling units or if the development is primarily commercial.</p> <p><sup>5</sup> The minimum number of trees within <a href="#">landscape areas</a> and within parking islands are separate calculations and cannot be double counted to meet minimum numbers. Trees in adjacent parking landscape islands may share <a href="#">soil volume</a> with the adjacent <a href="#">landscape area</a> to meet the minimum trenched/shared <a href="#">soil volume</a> amounts.</p> <p><sup>6</sup> All deciduous trees shall have a minimum clear stem height of 1.5 m.</p> <p><sup>7</sup> Tree size will be defined in the <a href="#">City of Kelowna's Urban Tree Guide</a>, if only one tree is required, it must be a large tree or conifer. All columnar trees shall be considered a medium or small tree for determination of the tree size ratio. These columnar trees require the equivalent large tree <a href="#">soil volume</a>. All trees onsite including the trees within the <a href="#">landscape area</a> and the trees within parking lot landscape islands must meet this ratio.</p>

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## Chart C

Original – Section 7.5.10 Site Layout – Fencing and Retaining Walls

### 7.5 Fencing and Retaining Walls

7.5.1 Screening **fences** shall be consistent with the quality of building design and materials of the principal building.

7.5.2 Screening **fences** shall be opaque double-sided construction. Where screening **fences** are allowed or required by this Bylaw, they shall be of an opaque or a combination of opaque and lattice design.

7.5.3 The maximum height for **fences** constructed from **natural grade** shall be:

- (a) 2.0 metres in **rural residential zoned** properties except; where abutting an **agricultural, industrial, or commercial zone** commercial zone, then the maximum height shall be 2.4 metres.
- (b) 2.4 metres in **commercial or industrial zoned** properties.
- (c) 2.0 metres in **single & two dwelling, multi-dwelling, village centre, or urban centre zoned lots** except; that it shall not exceed 1.2 metres in **height** within the minimum **front yard or flanking yard** setbacks.

7.5.4 No **fence** in a **commercial, public and institutional or industrial zone** shall exceed 2.4 metres in height.

7.5.5 **Lots** in **industrial zones** are to have an opaque 2.4 metres high **fence** around all storage yards, along all **lot lines abutting non-industrial zones** and around **wrecking yards** that are visible from a **street abutting the lot**.

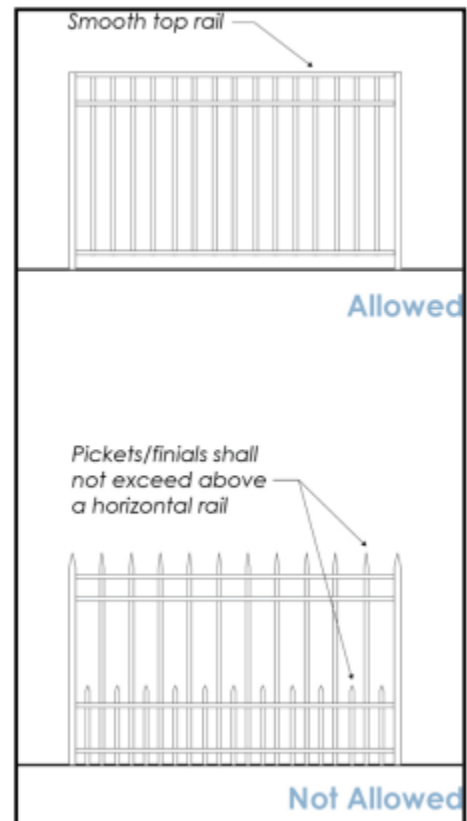
7.5.6 No metal **fence** shall constructed or erected that have the ends of **fence** pickets or finials to extend above a horizontal rail (see Figure 7.5.6).

7.5.7 No barbed wire fencing shall be constructed or erected in any **rural residential, single & two dwelling, multi-dwelling, or core area & other zone**, except in the P1 zone where the site is used for **detention and correction services**.


7.5.8 No razor wire **fences** shall be constructed or erected in any zone except were associated with penitentiaries, jails, or places of incarceration.

7.5.9 No **fencing** shall be constructed or erected at or below the high-water mark (geodetic elevation of 343 metres) of Okanagan Lake.

**Figure 7.5.6 – Fencing Types**



- 7.5.10 **Retaining Walls** on all **lots**, except those required as a condition of **subdivision** approval, must not exceed a height of 1.2 metres measured from **natural grade** on the lower side, and must be constructed so that any **retaining walls** are spaced to provide a 1.2 metres horizontal separation between tiers. The maximum number of tiers that may be constructed without a professional design by a qualified professional engineer is two. The maximum total height of any retaining wall system that may be constructed without a professional design by a qualified professional engineer is 2.4 metres.
- (a) a **retaining wall** may be higher than 1.2 metres, measured from **finished grade**, where the **natural grade** of the subject lot is lower than the abutting property.
  - (b) the combined height of a **fence** on top of a **retaining wall** at the **lot line** or within 1.2 metres of the **lot line** shall not exceed 2.0 metres, measured from **natural grade** at the **abutting** higher property.
  - (c) where an affected property remains at **natural grade** and the subject property constructs a **retaining wall** and a **fence** within 1.2 metres of the **lot line**, the maximum height for a **fence** on the affected property shall be no greater than 1.8 metres above the height of the **retaining wall** or 3.0 metres, whichever is less.
- 7.5.11 In the case of a **retaining wall**, the maximum height of a **fence**, or portion of **retaining wall** extending above the **natural grade** of the abutting higher property, or combination thereof, shall be 2.0 metres, measured from the **natural grade** of the abutting higher property.

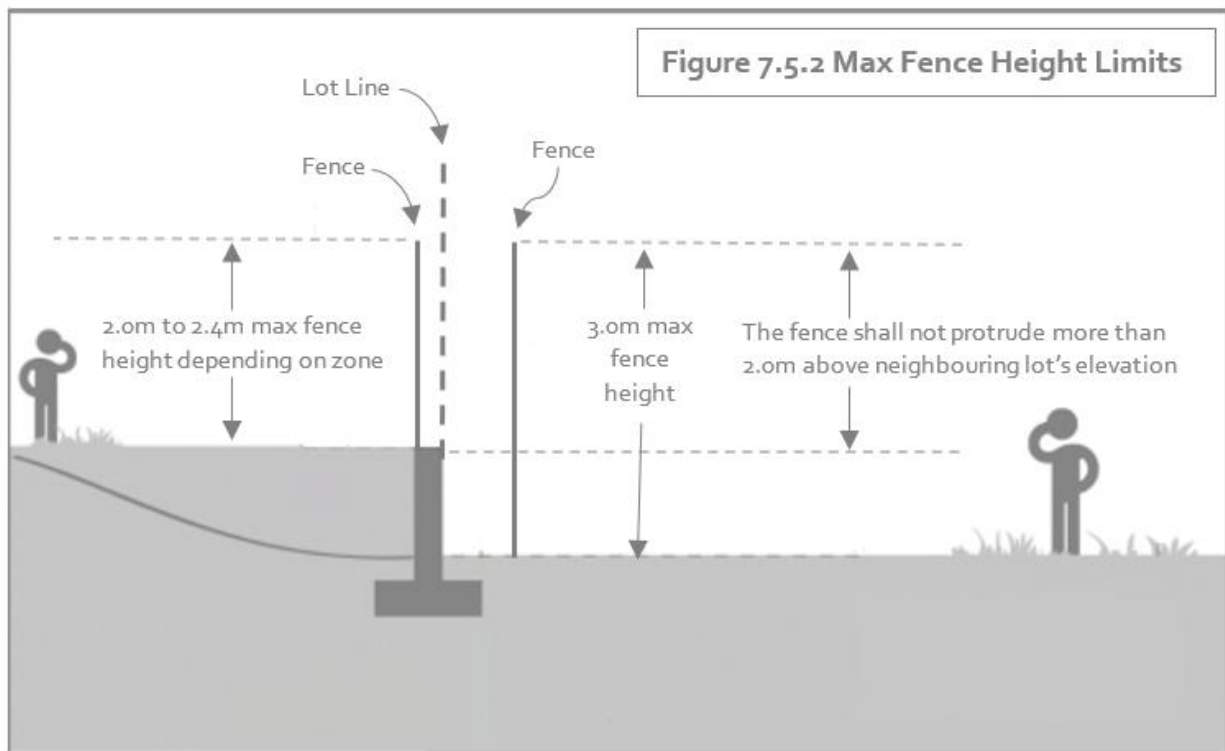
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## Chart D

Proposed – Section 7.5.10 Site Layout – Fencing and Retaining Walls

### 7.5 Fencing

- 7.5.1 Screening fences shall be opaque double-sided construction. Where screening fences are allowed or required by this Bylaw, they shall be of an opaque or a combination of opaque and lattice design.
- 7.5.2 The maximum height for fences constructed from natural grade shall be:
- 2.0 metres in rural residential zoned properties except; where abutting an agricultural, industrial, or commercial zone commercial zone, then the maximum height shall be 2.4 metres.
  - 2.0 metres in suburban residential, multi-dwelling, village centre, or urban centre zoned lots except; that it shall not exceed 1.2 metres in height within the minimum front yard or flanking yard setbacks.
  - 2.4 metres in commercial, public and institutional, or industrial zoned properties.
  - Notwithstanding S.7.5.2 (a), (b), & (c); the maximum height of a fence that abuts a neighbouring lot which is higher in elevation and is erected on the low side is 3.0 metres, as long as, the fence does not protrude more than 2.0 metres above the elevation of the neighbouring lot (see Figure 7.5.2)



## SCHEDULE

A

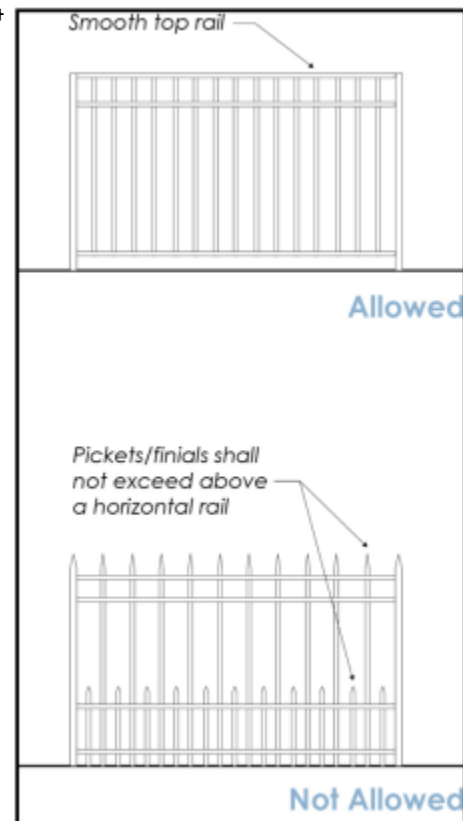
This forms part of application  
# TA24-0009

Planner  
Initials

AC

- 7.5.3 Lots in industrial zones are to have an opaque 2.4 metres high fence around all storage yards, along all lot lines abutting non-industrial zones and around wrecking yards that are visible from a street abutting the lot.
- 7.5.4 No metal fence shall be constructed or erected that have the ends of the fence pickets or finials extend above a horizontal rail (see Figure 7.5.4).
- 7.5.5 No barbed wire fencing shall be constructed or erected in any rural residential, suburban residential, multi-dwelling, or core area & other zone, except in the P1 zone where the site is used for detention and correction services.
- 7.5.6 No razor wire fences shall be constructed or erected in any zone except were associated with penitentiaries, jails, or places of incarceration.
- 7.5.7 No fencing shall be constructed or erected at or below the high-water mark (geodetic elevation of 343 metres) of Okanagan Lake.

**FIGURE 7.5.4 – Fencing Types**




## 7.6 Retaining Walls

- 7.6.1 No individual retaining wall shall exceed a height of 1.2 metres measured from grade on the lower side.
- (a) Except, where the grade of the subject lot is lower than the abutting property then any retaining walls must not exceed a height of 3.0 metres measured from grade on the lower side.
- (b) Except, retaining walls can be any height subject to condition of subdivision approval.
- 7.6.2 Notwithstanding S.7.6.1; any individual retaining wall greater than 1.2 metres in height must be constructed with a professional design by a qualified professional engineer.
- 7.6.3 Notwithstanding S.7.6.1; any tiered retaining walls must be spaced horizontally a minimum of 1.2 metres between tiers. The maximum number of tiers that may be constructed without a professional design by a qualified professional engineer is two. The maximum total height of any retaining wall system that may be constructed without a professional design by a qualified professional engineer is 2.4 metres.

## Chart E

Original – Table 8.2.17 Amount of Accessible Parking Spaces


Table 8.2.17 Amount of Accessible Parking Spaces		
Total Number of Parking Spaces Onsite.	Min. Number of Required Accessible Parking Spaces	Min. Number of Required Van-Accessible Parking Spaces
1 – 4 spaces	0 spaces	0 spaces
5 – 36 spaces	1 space	0 spaces
37 – 68 spaces	2 spaces	1 space
69 – 100 spaces	3 spaces	1 space
101-150 spaces	4 spaces	1 space
151-200 spaces	5 spaces	1 space
201-300 spaces	6 spaces	2 spaces
301-400 spaces	7 spaces	2 spaces
401-500 spaces	8 spaces	2 spaces
Over 500 spaces	2% of the total spaces	2 spaces
Note: The number of van-accessible parking spaces is included in the minimum required accessible parking spaces. For example: if six (6) accessible parking spaces are required and two (2) van accessible parking spaces are required the total number of accessible parking spaces is six (6) and two (2) of which must be van accessible.		

<b>SCHEDULE</b>		<b>A</b>
This forms part of application		
# TA24-0009		
Planner Initials	AC	 City of <b>Kelowna</b> <small>DEVELOPMENT PLANNING</small>

## Chart F

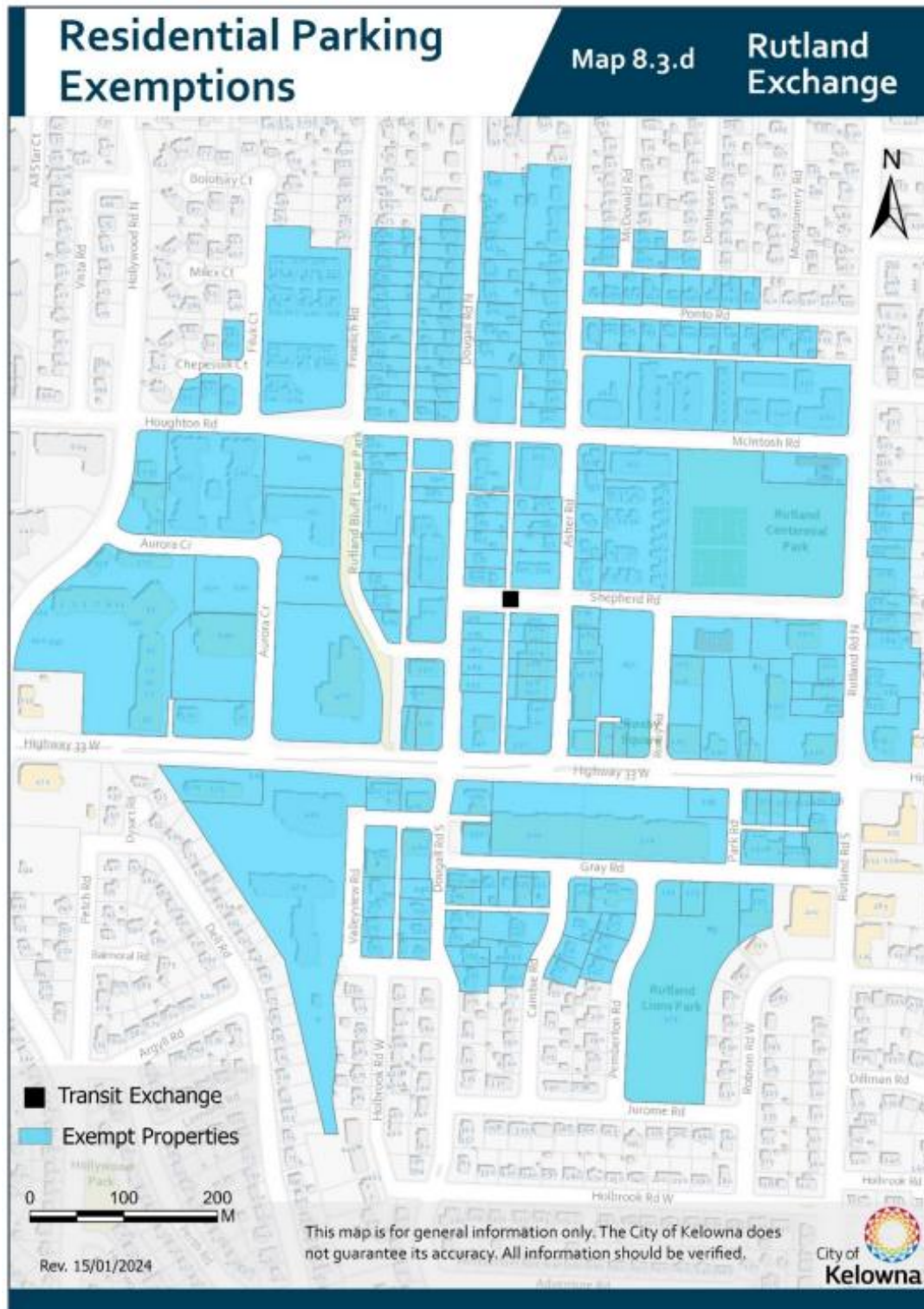
Proposed – Table 8.2.17 Amount of Accessible Parking Spaces

Table 8.2.17 Amount of Accessible Parking Spaces		
Total Number of Parking Spaces Onsite.	Min. Number of Required Accessible Parking Spaces	Min. Number of Required Van-Accessible Parking Spaces
1 – 6 spaces	0 spaces	0 spaces
7 – 36 spaces	1 space	0 spaces
37 – 68 spaces	2 spaces	1 space
69 – 100 spaces	3 spaces	1 space
101-150 spaces	4 spaces	1 space
151-200 spaces	5 spaces	1 space
201-300 spaces	6 spaces	2 spaces
301-400 spaces	7 spaces	2 spaces
401-500 spaces	8 spaces	2 spaces
Over 500 spaces	2% of the total spaces	2 spaces
Note: The number of van-accessible parking spaces is included in the minimum required accessible parking spaces. For example: if six (6) accessible parking spaces are required and two (2) van accessible parking spaces are required the total number of accessible parking spaces is six (6) and two (2) of which must be van accessible.		

<b>SCHEDULE</b>		<b>A</b>
This forms part of application		
# TA24-0009		
Planner Initials	AC	 City of <b>Kelowna</b> DEVELOPMENT PLANNING

## Chart G

Original – Residential Parking Exemptions Map 8.3.d Rutland Exchange



## SCHEDULE

A

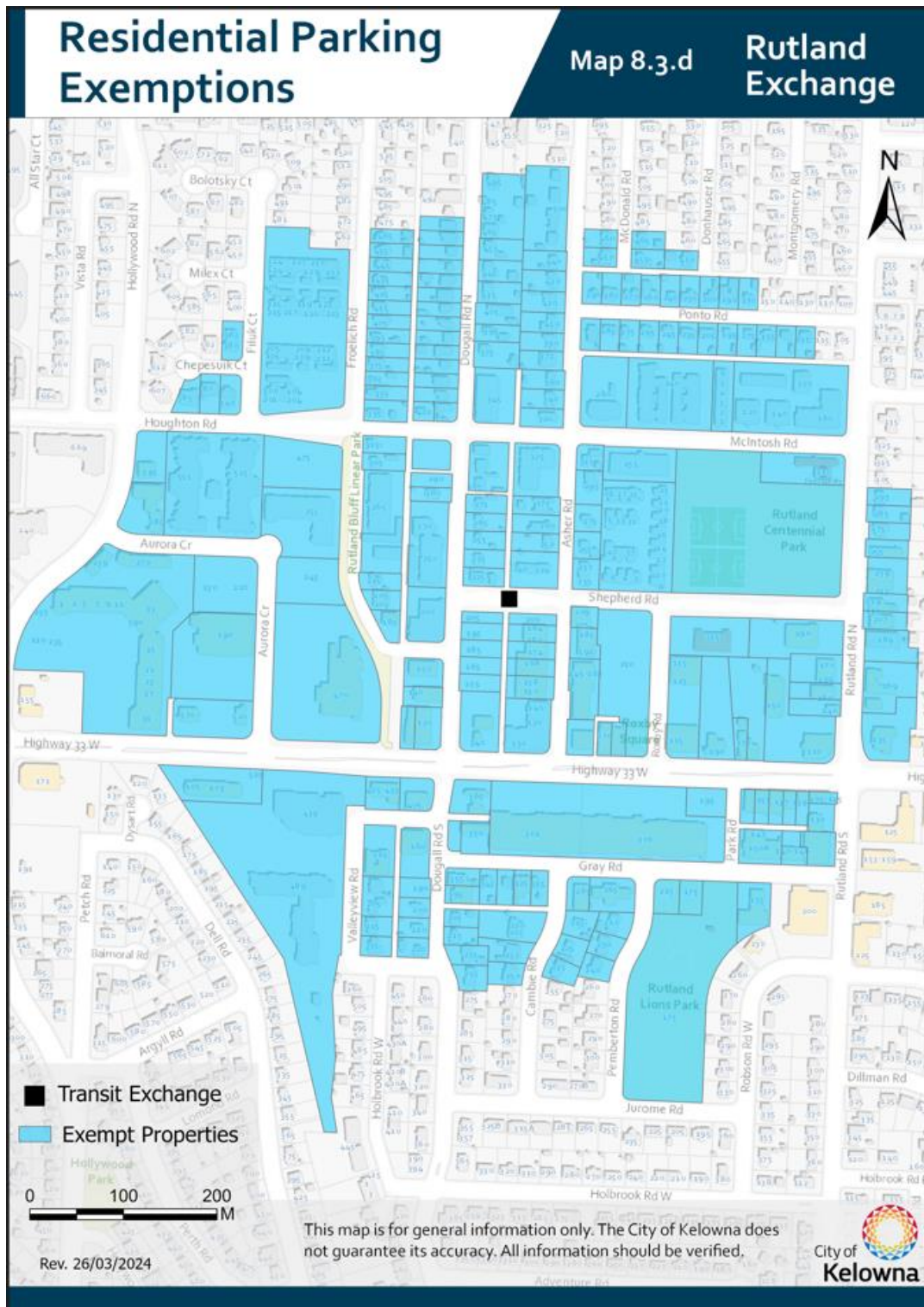
This forms part of application  
# TA24-0009

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## Chart H

Proposed – Residential Parking Exemptions Map 8.3.d Rutland Exchange



### SCHEDULE

A

This forms part of application  
# TA24-0009

Planner  
Initials AC

# TA24-0009

## General Improvements to Zoning Bylaw

Text Amendments

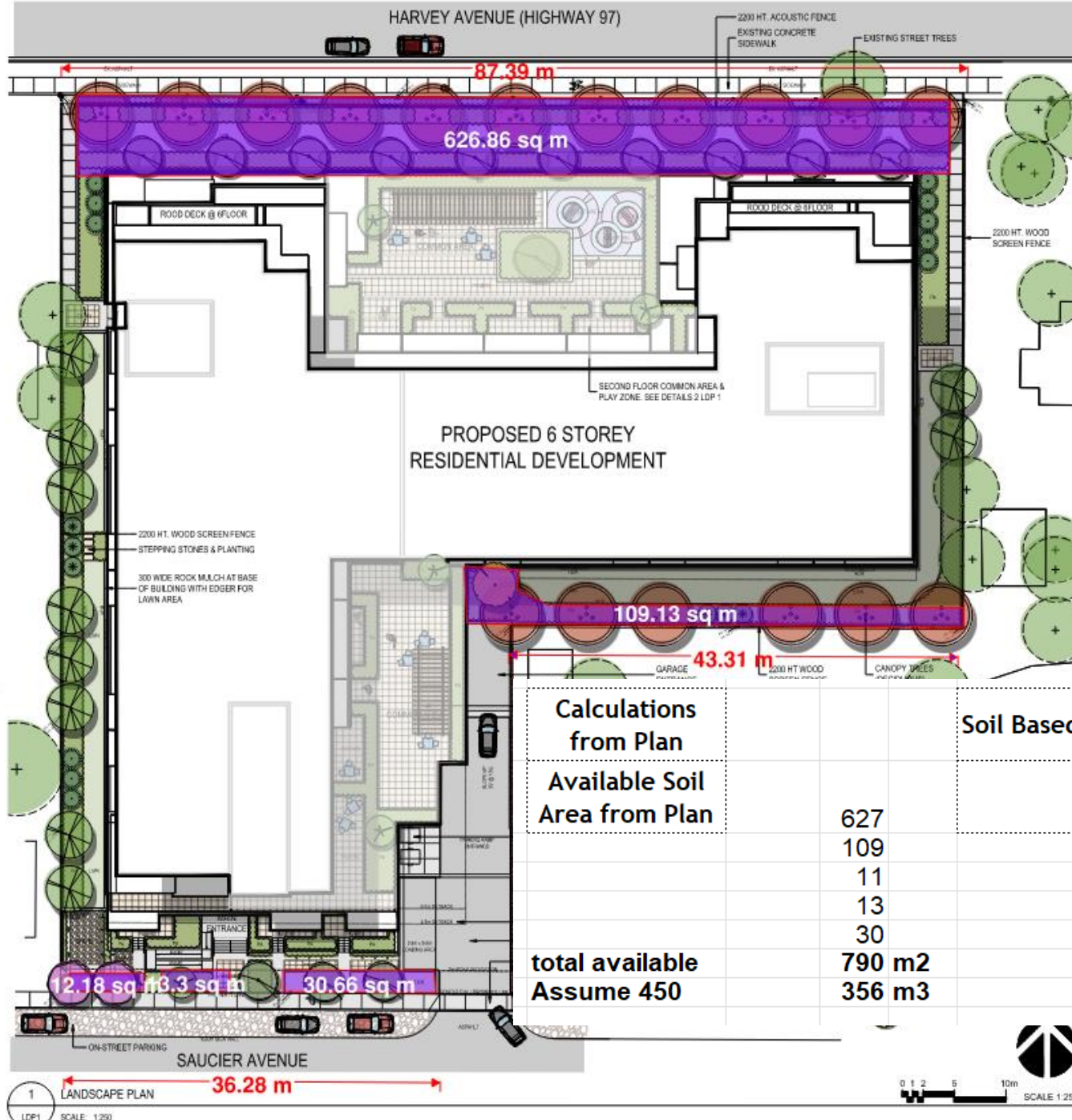
# Purpose

- ▶ The purpose of the text amendment is to make improvements to following sections of Zoning Bylaw No. 12375:
  - ▶ Section 5 - Definitions & Interpretations,
  - ▶ Section 6 – General Development Regulations
  - ▶ Section 7 – Site Layout,
  - ▶ Section 8 – Parking & Loading,
  - ▶ Section 10 – Agriculture & Rural Residential Zones,
  - ▶ Section 13 – Multi-Dwelling Zones, and
  - ▶ Section 14 – Core Area & Other Zones

# Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

No.	Area of Change		Additional Detail
1.	Section 5 Definitions & Interpretations	Updates to: a) Front Lot Line b) Stepback c) Building Envelope Area d) Common & Private Amenity Space e) Short-Term Rental Accommodation	a) Alter Front Lot Line definition to apply to bareland strata lots. b) Amend Stepback definition to allow eaves to project within the area. c) Update Building Envelope Area definition to capture all legal restrictions such as easements & rights-of-way. d) Amend the definition of Common & Private Amenity Space to exclude lobbies. e) Change Short-Term Rental Accommodation definition to align with provincial legislation of less than 90 consecutive days.
2.	Section 6 – General Development Regulations	Updates to: a) Swimming Pool Regulations	a) Amend location and setback swimming pool regulations to add the term flanking side yards to capture corner lot situations.
3.	Section 7 – Site Layout (Landscaping)	Updates to: a) Definitions b) Soil Volumes c) Reorganize table d) Overhead power lines e) Add MF <sub>4</sub> to Landscape Regulation table f) Adjust setback from tree to building	a) Replace 'Growing Medium' definition with 'Soil Volume' definition . Replace 'Growing Medium Area' definition with 'Soft Landscaping' definition. Add definition of infill housing to allocate landscape requirements to that specific development form. b) Adjust soil volumes to fit better in tight urban environments while maintaining adequate volumes for healthy trees. c) Reorganized the table format for increased clarity and less footnotes. d) Expand the overhead power lines provision to all development. e) Clarify which landscape requirements apply to various MF <sub>4</sub> developments. f) Adjust the setback above the second storey to remove the step forward as this will allow for full canopy growth and light exposure over time.

# Saucier Example



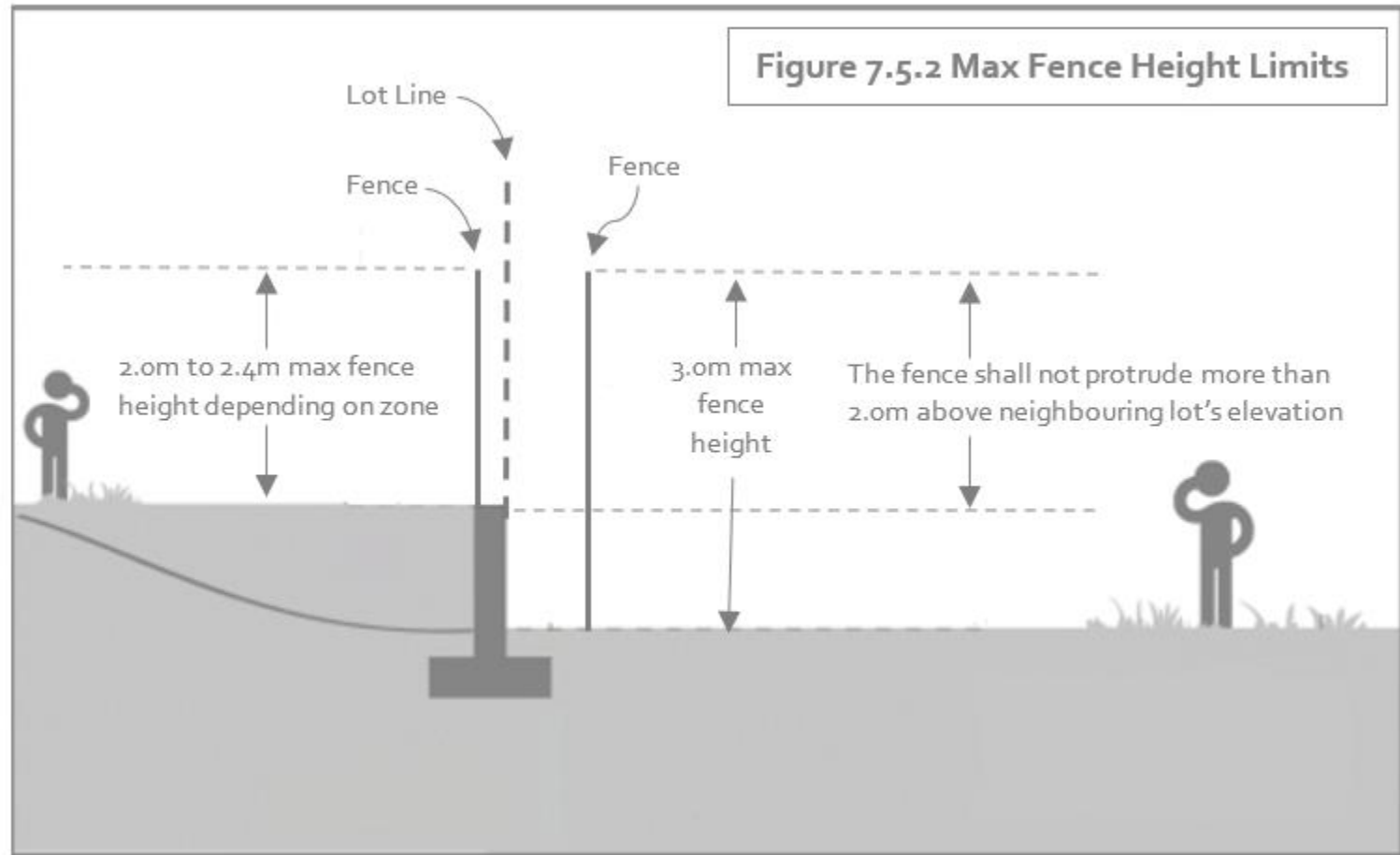
# Landscape Calculator

Landscape Calculator	Site Calculations			Soil Calculations							Input from Development Application
Required	Linear Length	Width (m)	Area (m2)	Large (Single = 20	Large Trees (Shared-	Medium (Single =	Medium (Shared -	Small (Single =	Proposed Small	Soil Required	Formula Embedded
Front Setback	87	3	261								
Rear Setback	78	3	234								
Industrial Side	0	0	0								
Total Landscape Area	165	6	495								
Soil Based 'Soft' (75%)			371								
Total Trees Required	17										
Large Trees (50%)	9	11		If single then 20m3 ea.	135					135	
Medium (25%)	4	8				If single then 18m3	50			50	
# Small (Rest)	4	3						If single then 15m ea	41	41	
Required Soil Volume (m3)		226								226	
Actual Soil (m3)		356									
Adequate / Deficient(e.g. negative) Soil		130									

# Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

No.	Area of Change		Additional Detail
4.	Section 7 – Site Layout (Fencing and Retaining Walls)	Updates to: a) Formatting b) Fences on top of or beside retaining walls c) Retaining walls	a) Simplify and reorganize section into two separate sections (Fencing & Retaining Walls). b) Clarify the intended height of a fence on top of or beside a retaining wall or steep slope. c) Rewrite retaining wall section for increased clarity of maximum retaining wall height and when a professional engineer is required.

# Fencing & Retaining Walls



# Fencing & Retaining Walls

## 7.6 Retaining Walls

- 7.6.1 No individual [retaining wall](#) shall exceed a height of 1.2 metres measured from grade on the lower side.
- (a) Except, where the grade of the subject [lot](#) is lower than the [abutting](#) property then any [retaining walls](#) must not exceed a height of 3.0 metres measured from grade on the lower side.
- (b) Except, [retaining walls](#) can be any height subject to condition of [subdivision](#) approval.
- 7.6.2 Notwithstanding S.7.6.1; any individual [retaining wall](#) greater than 1.2 metres in height must be constructed with a professional design by a qualified professional engineer.
- 7.6.3 Notwithstanding S.7.6.1; any tiered [retaining walls](#) must be spaced horizontally a minimum of 1.2 metres between tiers. The maximum number of [tiers](#) that may be constructed without a professional design by a qualified professional engineer is two. The maximum total height of any retaining wall system that may be constructed without a professional design by a qualified professional engineer is 2.4 metres.

# Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

No.	Area of Change		Additional Detail
5.	Section 8 – Parking & Loading	Updates to: a) Drive Aisles b) Universal Accessible Parking c) Tandem Parking d) Rutland Transit Oriented Area	a) Clarify the one-way drive aisle width is 5.5 metres when adjacent parking is 60 degrees <u>or greater</u> . b) Clarify that universal accessible parking is to be triggered with MF2, not MF1 developments. c) Clarify that tandem parking is not to be used between principal dwelling units and to allow tandem parking for Child Care Centre, Major with the principal dwelling. d) The original Transit Oriented Area map missed one property (165 Dougall Rd S).

# Universal Accessible Parking

## Chart A

Original – Table 8.2.17 Amount of Accessible Parking Spaces

Table 8.2.17 Amount of Accessible Parking Spaces		
Total Number of <b>Parking Spaces</b> Onsite.	Min. Number of Required Accessible <b>Parking Spaces</b>	Min. Number of Required Van-Accessible <b>Parking Spaces</b>
1 – 4 <b>spaces</b>	0 <b>spaces</b>	0 <b>spaces</b>
5 – 36 <b>spaces</b>	1 <b>space</b>	0 <b>spaces</b>
37 – 68 <b>spaces</b>	2 <b>spaces</b>	1 <b>space</b>
69 – 100 <b>spaces</b>	3 <b>spaces</b>	1 <b>space</b>
101-150 <b>spaces</b>	4 <b>spaces</b>	1 <b>space</b>
151-200 <b>spaces</b>	5 <b>spaces</b>	1 <b>space</b>
201-300 <b>spaces</b>	6 <b>spaces</b>	2 <b>spaces</b>
301-400 <b>spaces</b>	7 <b>spaces</b>	2 <b>spaces</b>
401-500 <b>spaces</b>	8 <b>spaces</b>	2 <b>spaces</b>
Over 500 <b>spaces</b>	2% of the total <b>spaces</b>	2 <b>spaces</b>

Note: The number of van-accessible parking spaces is included in the minimum required accessible parking spaces. For example: if six (6) accessible parking spaces are required and two (2) van accessible parking spaces are required the total number of accessible parking spaces is six (6) and two (2) of which must be van accessible.

## Chart B

Proposed – Table 8.2.17 Amount of Accessible Parking Spaces

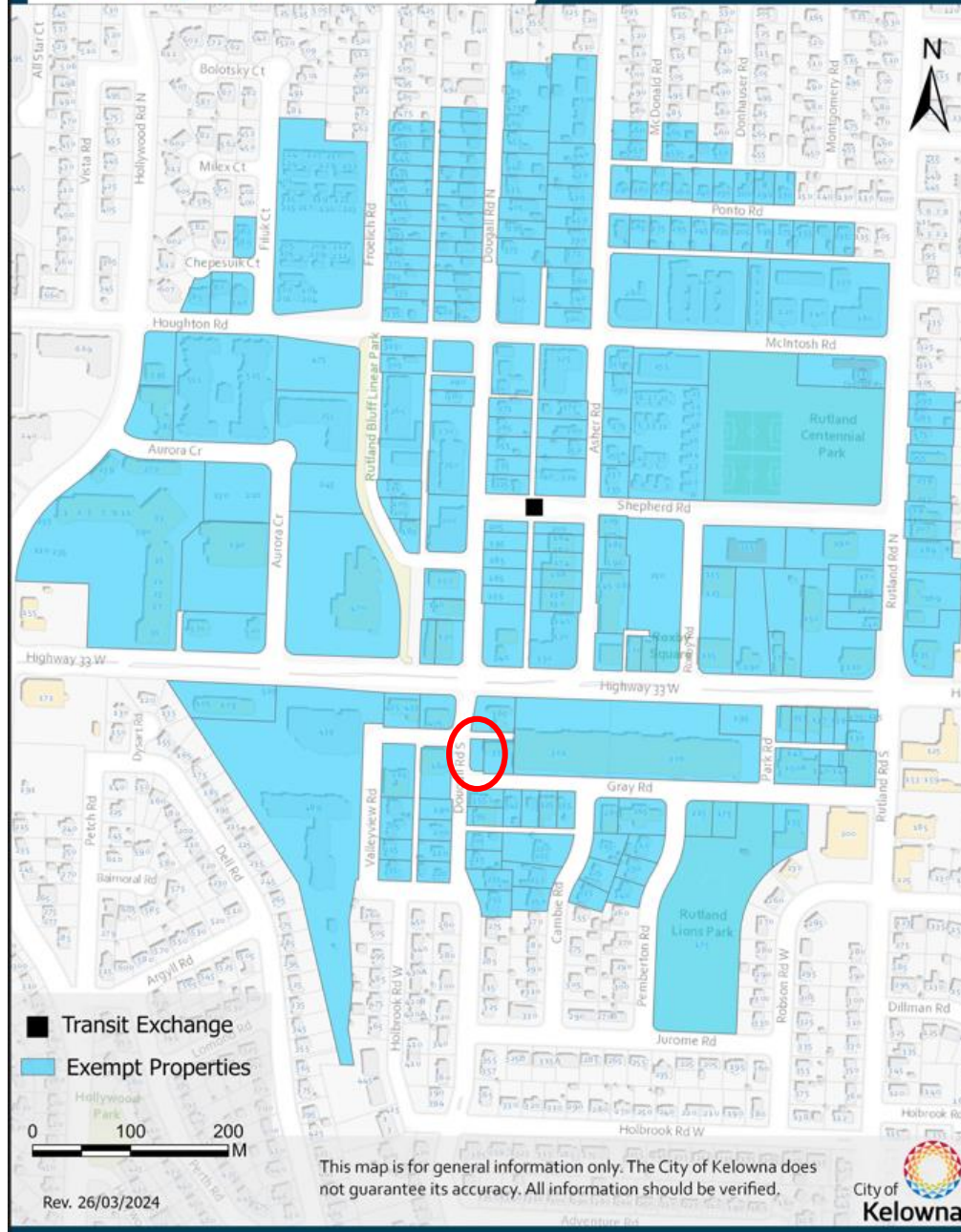
Table 8.2.17 Amount of Accessible Parking Spaces		
Total Number of <b>Parking Spaces</b> Onsite.	Min. Number of Required Accessible <b>Parking Spaces</b>	Min. Number of Required Van-Accessible <b>Parking Spaces</b>
1 – 6 <b>spaces</b>	0 <b>spaces</b>	0 <b>spaces</b>
7 – 36 <b>spaces</b>	1 <b>space</b>	0 <b>spaces</b>
37 – 68 <b>spaces</b>	2 <b>spaces</b>	1 <b>space</b>
69 – 100 <b>spaces</b>	3 <b>spaces</b>	1 <b>space</b>
101-150 <b>spaces</b>	4 <b>spaces</b>	1 <b>space</b>
151-200 <b>spaces</b>	5 <b>spaces</b>	1 <b>space</b>
201-300 <b>spaces</b>	6 <b>spaces</b>	2 <b>spaces</b>
301-400 <b>spaces</b>	7 <b>spaces</b>	2 <b>spaces</b>
401-500 <b>spaces</b>	8 <b>spaces</b>	2 <b>spaces</b>
Over 500 <b>spaces</b>	2% of the total <b>spaces</b>	2 <b>spaces</b>

Note: The number of van-accessible parking spaces is included in the minimum required accessible parking spaces. For example: if six (6) accessible parking spaces are required and two (2) van accessible parking spaces are required the total number of accessible parking spaces is six (6) and two (2) of which must be van accessible.

# Residential Parking Exemptions

Map 8.3.d

Rutland Exchange



# Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

No.	Area of Change		Additional Detail
6.	Section 10 – Agriculture & Rural Residential Zones	Updates to: a) Mobile Home in A1 b) Single Detached Dwelling in A1, A2, RR1, & RR2 c) Bed & Breakfast	a) Clarify the footnote that only 1 mobile home is permitted per lot within the A1 zone. b) Add a footnote to ensure only one single detached dwelling is permitted per lot with the A1, A2, RR1, & RR2 zones. c) Amend footnote to provide consistent bed & breakfast regulations across zones that allows bed & breakfast homes only if one unit exists on the lot.

# Table 3.1 Executive Summary of Schedule 'A' Recommended Content Changes

No.	Area of Change		Additional Detail
7.	Section 13 – Multi-Dwelling Zones	Updates to: a) Child Care Centre, Major b) MF1 Side Yard Setbacks c) Change Composition of Indoor Amenity Requirement d) Parkade entrance / exit height exclusion	a) Change Child Care Centre, Major from Secondary use to Principal use to be consistent with childcare regulations throughout the City. b) Change MF1 side setback from 1.8m to 1.2m for garages or carports to help accommodate the necessary parking onsite. c) Add a new requirement for all apartment buildings that at least 75 m <sup>2</sup> of the required portion of common area shall be configured indoors. d) Add an exclusion for parkade entrances / exits as the overall height regulation will remain intact.
8.	Section 14 – Core Area & Other Zones	Updates to: a) Office & Apartment use in the C1 & C2 zone b) Urban Centre side yard setbacks c) Lots with Parks designation with a Transit Oriented Area d) Parkade entrance / exit height exclusion	a) Clarify the definition that these uses cannot occur on the ground floor but can occur on floors above the ground floor. b) Add Suburban Future Land Use designations to the list of adjacent lots. c) All lots, including lots with a park designation, must comply with the provincial Transit Oriented Areas legislation with regards to height and density. d) Add an exclusion for parkade entrances / exits as the overall height regulation will remain intact.

# Exclusion for Parkade Entrances / Exits



# Staff Recommendation

- ▶ Staff recommend **support** for the proposed Text Amendments
  - ▶ Improvements to Zoning Bylaw to increase functionality and applicability
  - ▶ Conform to provincial transit-oriented areas and short-term rental legislation

**CITY OF KELOWNA**  
**BYLAW NO. 12682**  
**TA24-0009 – Updates to Various Sections**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that City of Kelowna Zoning Bylaw No. 12375 be amended as follows:

1. THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions, BUILDING ENVELOPE AREA** be amended by adding ", or easements & statutory rights-of-way" after "or geotechnical purposes";
2. AND THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions, COMMON AND PRIVATE AMENITY SPACE** be amended by adding "exclusively" before "for the recreational use of the residents";
3. AND THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions, GROWING MEDIUM** be deleted in its entirety;
4. AND THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions** be amended by adding the following in its appropriate location:

"INfill HOUSING means any form of development on a lot within the C-NHD - Core Area Neighbourhood or the S-RES – Suburban Residential future land use designation outlined within the OCP that contains or will contain three to six dwelling units and / or any form of development on a MF1, MF4, RU1, RU2, or RU3 zoned lot that contains or will contain three to six dwelling units.";
5. AND THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions, LOT LINE, FRONT – URBAN AND RURAL RESIDENTIAL** be amended by adding "or bareland strata road" after "a lot line separating the lot from the street";
6. AND THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions, SHORT-TERM RENTAL ACCOMMODATION** be amended by deleting "29 days or less" and replacing it with "time of less than 90 consecutive days";
7. AND THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions** be amended by adding the following in its appropriate location:

"SOFT LANDSCAPING means soil-based groundcover within the landscape area, including landscaping with a minimum 150mm of growing medium and plants including natural turf, ground covers such as perennials and grasses, shrubs and trees. Soft landscaping does not

include areas without growing medium and plant materials such as areas that are predominately rock, artificial turf, rubberized surfacing or hard surfacing such as but not limited to pavers.”;

8. AND THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions** be amended by adding the following in its appropriate location:

“**SOIL VOLUME** means the growing medium material that plants grow in. The growing medium shall follow the standards identified in the Canadian Landscape Standard (CLS).”;

9. AND THAT **Section 5 – Definitions & Interpretations, 5.3 – General Definitions, STEPBACK** be amended as follows:

- a) By adding “, measured from the face of the building wall,” after “recessing of the building façade”, and
- b) By adding “Eaves can project into the stepback no greater than 0.6 meters.” after “requiring to meet the stepback.”;

10. AND THAT **Section 6 – General Development Regulations, 6.1 – Swimming Pools, 6.1.1** be amended by adding “or flanking side yard” after “a required front yard”;

11. AND THAT **Section 6 – General Development Regulations, 6.1 – Swimming Pools, 6.1.3** be amended by adding “or flanking side yard” after “a required front yard”;

12. AND THAT **Section 7 – Site Layout, 7.2 – Landscaping Standards, Table 7.2 – Tree & Landscaping Planting Requirements** be deleted in its entirety and replaced with **Table 7.2** outlined in **Schedule A** as attached to and forming part of this bylaw;

13. AND THAT **Section 7 – Site Layout, 7.5 – Fencing and Retaining Walls** be deleted in its entirety and replaced with **7.5 – Fencing** and **7.6 – Retaining Walls** outlined in **Schedule B** as attached to and forming part of this bylaw;

14. AND THAT **Section 8 – Parking and Loading, 8.2 – Off Street Parking Regulations, Tandem Parking, 8.2.6** be deleted in its entirety and replaced with the following

“8.2.6 Tandem parking spaces are permitted only for:

(a) developments with 6 or less dwelling units and:

- i. only one tandem parking space is permitted in front of any garage or carport;
- ii. a tandem space cannot be used for different principal dwelling units;
- iii. parking spaces for secondary suites, carriage houses, and Child Care Centre, Major can be in tandem with the principal dwelling unit(s).

(b) townhouses with 7 or more dwelling units where the lot is located within the Core Area and:

- i. visitor parking stalls cannot be configured in tandem;
- ii. a tandem space cannot be used for different principal dwelling units.”;

15. AND THAT **Section 8 – Parking and Loading, 8.2 – Off Street Parking Regulations, Table 8.2.7.a Dimensions of Parking Spaces and Drive Aisles**: be amended by adding “or greater” after “One way drive aisles (60 degree parking”;
16. AND THAT **Section 8 – Parking and Loading, 8.2 – Off Street Parking Regulations, Table 8.2.17 Amount of Accessible Parking Spaces** be deleted in its entirety and replaced with **Table 8.2.17** outlined in **Schedule C** as attached to and forming part of this bylaw;
17. AND THAT **Section 8 – Parking and Loading, 8.3 – Required Off-Street Parking Requirements, Table 8.3 – Required Residential Off-Street Parking Requirements, FOOTNOTE <sup>12</sup>** be amended by deleting “The parking spaces for the secondary suites and carriage houses can be located in the driveway and in tandem with the single detached dwelling parking as long as two additional off-street parking spaces are provided for the principal dwelling. Notwithstanding Section 8.1.4, parking for secondary suites or carriage houses can be surfaced with a dust-free material.”;
18. AND THAT **Section 8 – Parking and Loading, 8.3 – Required Off-Street Parking Requirements, Residential Parking Exemptions Map 8.3.d Rutland Exchange** be deleted in its entirety and replaced with **Map 8.3.d** outlined in **Schedule D** as attached to and forming part of this bylaw;
19. AND THAT **Section 10 – Agriculture & Rural Residential Zones, Section 10.3 – Permitted Land Uses, Single Detached Dwelling** be amended as follows:
  - a) By deleting “<sup>6</sup>” under “A1”, and
  - b) By adding “<sup>13</sup>” under “A1”, “A2”, “RR1”, and “RR2”;
20. AND THAT **Section 10 – Agriculture & Rural Residential Zones, 10.3 – Permitted Land Uses, FOOTNOTES, <sup>6</sup>** be amended by deleting “, unless another residence is permitted within the Agriculture Land Reserve as described in the Agricultural Land Commission Act (and related regulation and policy)”;
21. AND THAT **Section 10 – Agriculture & Rural Residential Zones, 10.3 – Permitted Land Uses, FOOTNOTES, <sup>12</sup>** be amended by deleting “[Deleted]” and replacing it with “A bed & breakfast can only occur if there is only one dwelling unit on the lot.”;
22. AND THAT **Section 10 – Agriculture & Rural Residential Zones, 10.3 – Permitted Land Uses, FOOTNOTES** be amended by adding the following in its appropriate location:

“<sup>13</sup> Maximum of one Single Detached Dwelling unit is permitted per lot, except on A1 zoned ALR land when another residence is permitted within the Agriculture Land Reserve as described in the Agricultural Land Commission Act (and related regulation and policy).”;

23. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.3 – Permitted Land Uses, Child Care Centre, Major** be amended by deleting “S” under “MF1” and replacing it with “P<sup>3</sup>”;
24. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.3 – Permitted Land Uses, FOOTNOTES**, <sup>3</sup> be amended by deleting “[Deleted]” and replacing it with “The lot must have a child care sub-zone ‘cc’ on the property for a child care centre, major to be permitted.”;
25. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.5 – Development Regulations, FOOTNOTES**, <sup>2</sup> be amended by adding the following after “party wall agreement.”:  
  
“For MF1 lots garages and carports can have a side yard setback of 1.2 metres when the lot has access to a rear or side lane. Any residential space on those MF1 lots above the garage or carport must meet the 1.8 m side yard setback.”;
26. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.5 – Development Regulations, FOOTNOTES**, <sup>9</sup> be amended by adding “For all apartment buildings, at least 75 m<sup>2</sup> of the required portion of common area shall be configured indoors.” after “fee simple townhouses.”;
27. AND THAT **Section 13 – Multi-Dwelling Zones, Section 13.6 – Density and Height Development Regulations, FOOTNOTES**, <sup>1</sup> be amended by adding “If a parkade entrance / exit has a lower finished grade than the surrounding area then this portion of the parkade can be excluded from height calculations.” before “The base height”;
28. AND THAT **Section 14 – Core Area & Other Zones, Section 14.9 – Principal and Secondary Land Uses, FOOTNOTES**, <sup>6</sup> be amended by deleting “the uppermost floor within a building” and replacing it with “above the first floor”;
29. AND THAT **Section 14 – Core Area & Other Zones, Section 14.11 – Commercial and Urban Centre Zone Development Regulations, FOOTNOTES**, <sup>3</sup> be amended by deleting “core area neighbourhood (C-NHD) or an education / institutional” and replacing it with “Core Area Neighbourhood (C-NHD), Suburban -Residential (S-RES), Suburban - Multiple Unit (S-MU), or an Education / Institutional”;
30. AND THAT **Section 14 – Core Area & Other Zones, Section 14.14 – Density and Height** be amended by adding “<sup>15</sup>” after “For areas identified as PARK = 0.5 FAR <sup>9</sup>” under the “Min. Density (if applicable) & Max. Base Density FAR <sup>1, 7</sup>” column in the “UC1 (Downtown)” row, the “UC2 (Capri / Landmark)” row, the “UC3 (Midtown)” row, the “UC4 (Rutland)” row, and the “UC5 (Pandosy)” row;
31. AND THAT **Section 14 – Core Area & Other Zones, Section 14.14 – Density and Height, Max. Base Height** be amended by adding “<sup>14</sup>” after “Max. Base Height <sup>1, 7</sup>”;
32. AND THAT **Section 14 – Core Area & Other Zones, Section 14.14 – Density and Height, FOOTNOTES**, <sup>13</sup> be amended by deleting “Lots identified in a Transit Oriented Area identified by Map 8.3.b, Map 8.3.c, or Map 8.3.d have the base FAR for the 6-storey category increased

from 1.8 FAR to 2.5 FAR.” and replacing it with “Lots that have a 6 storey Building Height category and are within a Transit Oriented Area as identified by Map 8.3.b , Map 8.3.c, or Map 8.3.d then have their density increased from 1.8 base FAR to 2.5 base FAR.”;

33. AND THAT **Section 14 – Core Area & Other Zones, Section 14.14 – Density and Height, FOOTNOTES** be amended by adding the following in its appropriate location:

“<sup>14</sup> If a parkade entrance / exit has a lower finished grade than the surrounding area then this portion of the parkade can be excluded from height calculations.”;

34. AND FURTHER THAT **Section 14 – Core Area & Other Zones, Section 14.14 – Density and Height, FOOTNOTES** be amended by adding the following in its appropriate location:

“<sup>15</sup> If a lot has a Park Building Height category and is within a Transit Oriented Area as identified by Map 8.3.b , Map 8.3.c, or Map 8.3.d then: if the lot is within 200 metres of the Transit Exchange the lot can be developed in accordance with the 12 storey base height and density category and if the lot is between 200 and 400 metres of the Transit Exchange the lot can be developed in accordance with the 6 storey the base height and density category.”;

35. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 22<sup>nd</sup> day of July, 2024.

Considered at a Public Hearing on this

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

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(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

## Schedule A

Table 7.2 – Tree & Landscaping Planting Requirements			
cm =centimetres / m = metres / m² = square metres / m³ = metres cubed			
Criteria	Regulations		
Standard Requirements for Minimum Trees, Soft landscaping, and Soil Volume for all Developments <sup>.1</sup>			
Minimum Number of Trees within Landscape Areas <sup>.1</sup>	1 tree per 10 linear metres of landscape area		
Minimum Soft Landscaping Area <sup>.2</sup> See Visual Example Figure 7.2.1	75% of the landscape area shall be soft landscaping		
Minimum Soil Volume per Tree <sup>.3</sup>		Single Tree	Shared
	Large Tree	20 m³	15 m³
	Medium Tree	18 m³	12 m³
	Small Tree	15 m³	10 m³
Area specific modification to Trees, Soft landscaping, and Soil Volume Requirements			
Overhead Power Lines for any zone	The minimum number of trees in the front yard or flanking yard landscape area can be planted outside the front yard or flanking yard landscape areas if the abutting: boulevard, front yard and / or flanking yard contains overhead electrical power lines that would interfere with the growth of the trees.		
Landscape Areas and Boulevards for Infill Housing	There is no minimum number of trees onsite and no minimum soft landscaping within the front yard or flanking yard landscape area if large trees are planted within the boulevard and the boulevard contains a sidewalk or a sidewalk is installed.		
Landscape Areas and Boulevards for any: MF2, MF3, MF4 <sup>.4</sup> zone or any zone within Section 14 Core Area and Other Zones	The minimum number of trees can be planted outside of the front yard or flanking yard landscape areas if the abutting boulevard is irrigated and contains a sidewalk or a sidewalk will be installed. There is no minimum soft landscaping required within the front yard or flanking yard landscape area if the minimum number of trees is planted outside the front yard or flanking yard landscape area.		
Universal Landscape Requirements			
Minimum Landscaping for any surface parking lot over 15 vehicles <sup>.5</sup>	(a) If a surface parking lot contains 15 vehicles or greater and abuts a street, then the interface area with the street must have a minimum 1.5 metres landscape area. (b) landscaped islands are required at the end of each parking aisle; (c) the maximum number of parking spaces in a consecutive row is 14 with a landscaped island or drive aisle separating the next 14 spaces; (d) landscaped islands are not to be longer than the adjacent parking space;		

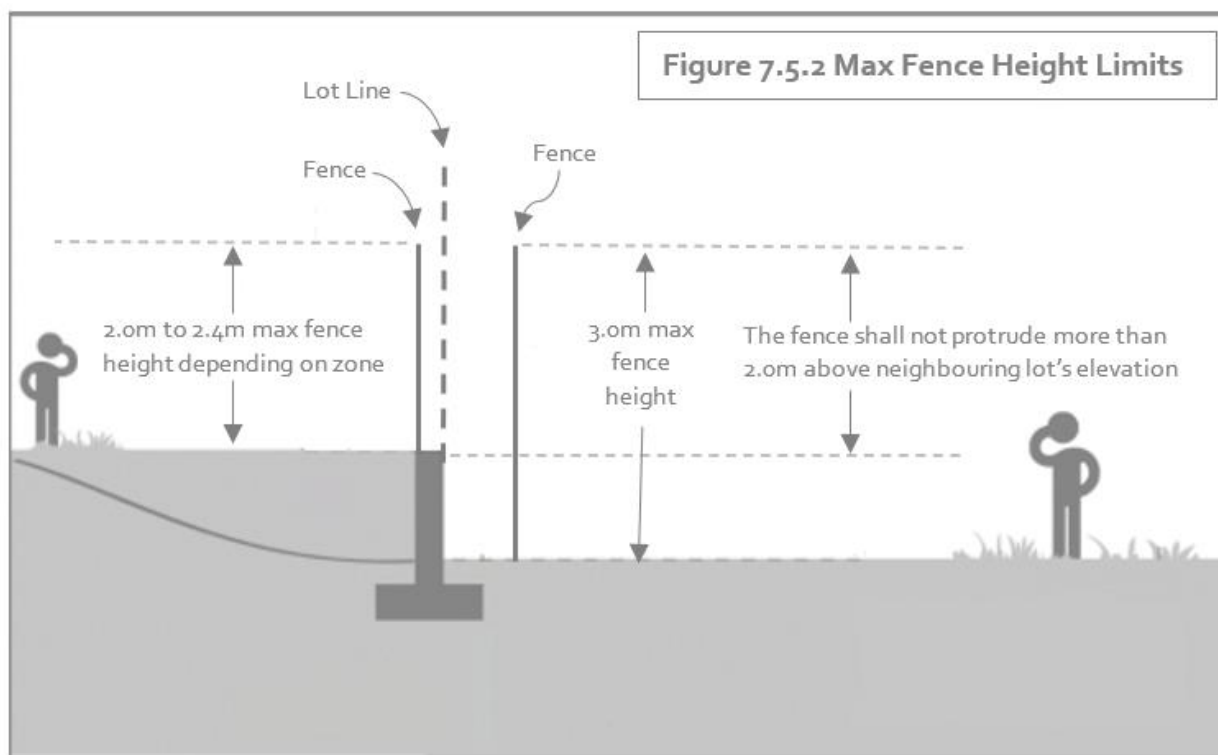
<b>Table 7.2 – Tree &amp; Landscaping Planting Requirements</b> cm =centimetres / m = metres / m <sup>2</sup> = square metres / m <sup>3</sup> = metres cubed	
Criteria	Regulations
	(e) landscaped islands shall be clearly delineated as separate and in addition to required parking and <a href="#">loading spaces</a> ; (f) locate landscaped islands such that loading and unloading vehicles can gain access without undue interference; (g) a minimum of one tree must be included in a landscaped island; and (h) landscape islands must have a minimum 75% <a href="#">soft landscaping</a> or soil cells.
Minimum / Maximum Tree Spacing	Minimum tree spacing is based on site requirements for sightlines or accessibility along with standard planting practices for the tree species. Trees may be planted closer together as needed and additional trees are highly encouraged. Spacing is not dictated by requirements for the number of trees required in the Landscape Area.
Minimum Setback from buildings, raised patios, and balconies to on-site trees	Large: 3 m radius from centre of tree to the building Medium: 2 m radius from centre of tree to the building Small: 1 m radius from centre of tree to the building  Any underground parkade, underground building, underground structure (such as a stormwater detention tank) must be setback at least 1 metre volumetrically measured from the centre of the tree at finished grade (trunk flare).
Minimum Deciduous Tree Planting Stock Caliper <sup>·6</sup>	Large: 5 cm Medium: 4 cm Small: 3 cm
Minimum Coniferous Tree Planting Stock Height	250 cm
Minimum Ratio between Tree size <sup>·7</sup>	Large: Min 50% Medium: No min or max Small: Max 25%
<b>FOOTNOTES (Section 7.2):</b> <sup>·1</sup> The linear metre calculation is used to determine the minimum number of trees to be planted within the <a href="#">landscape area</a> (not the minimum spacing). At least one tree per <a href="#">landscape area</a> is required, unless there is an area specific modification. The minimum landscaping and number of trees is required for all developments, except, for residential developments that contains two or less <a href="#">dwelling units</a> per lot. <sup>·2</sup> Electrical transformers and driveways within the landscape areas can be excluded from the minimum percentage of <a href="#">soft landscaping</a> area. If soil cells are installed for all the required trees in the <a href="#">front yard or flanking yard landscape area</a> , then there is no minimum <a href="#">soft landscaping</a> requirement. <sup>·3</sup> <a href="#">Soil volume</a> may be shared through the <a href="#">landscape area</a> (tree, turf, and shrub). For the <a href="#">soil volume</a> calculation, any continuous growing medium the roots can reach on the subject property to a	

<b>Table 7.2 – Tree &amp; Landscaping Planting Requirements</b> cm =centimetres / m = metres / m <sup>2</sup> = square metres / m <sup>3</sup> = metres cubed	
Criteria	Regulations
	<p>maximum depth of 1 metre can be applied. The boulevard can be partially used for <a href="#">soil volume</a> calculation only when the landscaped portion of the boulevard is directly abutting the property line and the <a href="#">soil volumes</a> do not interfere with any subsurface utility infrastructure.</p> <p><sup>4</sup> This category applies to any MF<sub>4</sub> development with 7 or more dwelling units or if the development is primarily commercial.</p> <p><sup>5</sup> The minimum number of trees within <a href="#">landscape areas</a> and within parking islands are separate calculations and cannot be double counted to meet minimum numbers. Trees in adjacent parking landscape islands may share <a href="#">soil volume</a> with the adjacent <a href="#">landscape area</a> to meet the minimum trenched/shared <a href="#">soil volume</a> amounts.</p> <p><sup>6</sup> All deciduous trees shall have a minimum clear stem height of 1.5 m.</p> <p><sup>7</sup> Tree size will be defined in the <a href="#">City of Kelowna's Urban Tree Guide</a>, if only one tree is required, it must be a large tree or conifer. All columnar trees shall be considered a medium or small tree for determination of the tree size ratio. These columnar trees require the equivalent large tree <a href="#">soil volume</a>. All trees onsite including the trees within the <a href="#">landscape area</a> and the trees within parking lot landscape islands must meet this ratio.</p>

## Schedule B

### 7.5 Fencing

- 7.5.1 Screening fences shall be opaque double-sided construction. Where screening fences are allowed or required by this Bylaw, they shall be of an opaque or a combination of opaque and lattice design.
- 7.5.2 The maximum height for fences constructed from natural grade shall be:
- (a) 2.0 metres in rural residential zoned properties except; where abutting an agricultural, industrial, or commercial zone commercial zone, then the maximum height shall be 2.4 metres.
  - (b) 2.0 metres in suburban residential, multi-dwelling, village centre, or urban centre zoned lots except; that it shall not exceed 1.2 metres in height within the minimum front yard or flanking yard setbacks.
  - (c) 2.4 metres in commercial, public and institutional, or industrial zoned properties.
  - (d) Notwithstanding S.7.5.2 (a), (b), & (c); the maximum height of a fence that abuts a neighbouring lot which is higher in elevation and is erected on the low side is 3.0 metres, as long as, the fence does not protrude more than 2.0 metres above the elevation of the neighbouring lot (see Figure 7.5.2)

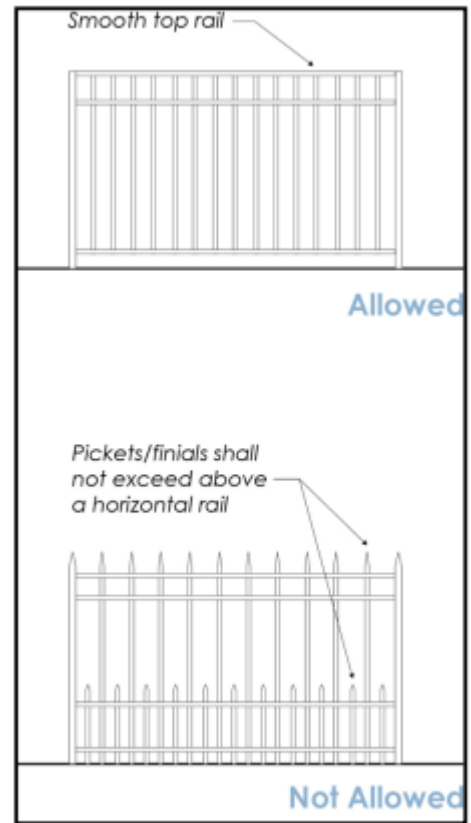


- 7.5.3 Lots in industrial zones are to have an opaque 2.4 metres high fence around all storage yards, along all lot lines abutting non-industrial zones and around wrecking yards that are visible from a street abutting the lot.
- 7.5.4 No metal fence shall be constructed or erected that have the ends of the fence pickets or finials extend above a horizontal rail (see Figure 7.5.4).
- 7.5.5 No barbed wire fencing shall be constructed or erected in any rural residential, suburban residential, multi-dwelling, or core area & other zone, except in the P1 zone where the site is used for detention and correction services.
- 7.5.6 No razor wire fences shall be constructed or erected in any zone except were associated with penitentiaries, jails, or places of incarceration.
- 7.5.7 No fencing shall be constructed or erected at or below the high-water mark (geodetic elevation of 343 metres) of Okanagan Lake.

## 7.6 Retaining Walls

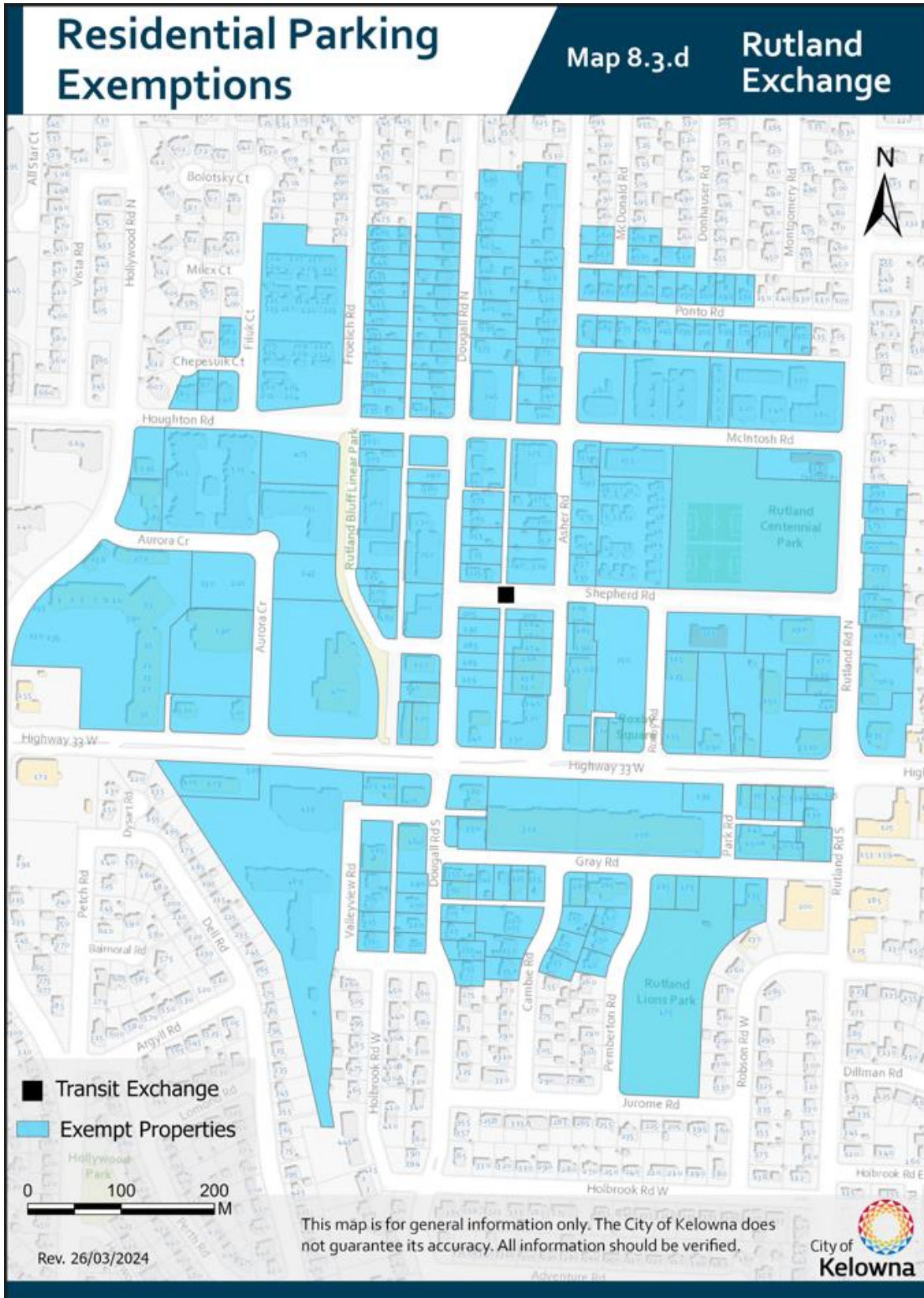
- 7.6.1 No individual retaining wall shall exceed a height of 1.2 metres measured from grade on the lower side.
- (a) Except, where the grade of the subject lot is lower than the abutting property then any retaining walls must not exceed a height of 3.0 metres measured from grade on the lower side.
- (b) Except, retaining walls can be any height subject to condition of subdivision approval.
- 7.6.2 Notwithstanding S.7.6.1; any individual retaining wall greater than 1.2 metres in height must be constructed with a professional design by a qualified professional engineer.
- 7.6.3 Notwithstanding S.7.6.1; any tiered retaining walls must be spaced horizontally a minimum of 1.2 metres between tiers. The maximum number of tiers that may be constructed without a professional design by a qualified professional engineer is two. The maximum total height of any retaining wall system that may be constructed without a professional design by a qualified professional engineer is 2.4 metres.

**FIGURE 7.5.4 – Fencing Types**



## Schedule C

Table 8.2.17 Amount of Accessible Parking Spaces		
Total Number of Parking Spaces Onsite.	Min. Number of Required Accessible Parking Spaces	Min. Number of Required Van-Accessible Parking Spaces
1 – 6 spaces	0 spaces	0 spaces
7 – 36 spaces	1 space	0 spaces
37 – 68 spaces	2 spaces	1 space
69 – 100 spaces	3 spaces	1 space
101-150 spaces	4 spaces	1 space
151-200 spaces	5 spaces	1 space
201-300 spaces	6 spaces	2 spaces
301-400 spaces	7 spaces	2 spaces
401-500 spaces	8 spaces	2 spaces
Over 500 spaces	2% of the total spaces	2 spaces
Note: The number of van-accessible parking spaces is included in the minimum required accessible parking spaces. For example: if six (6) accessible parking spaces are required and two (2) van accessible parking spaces are required the total number of accessible parking spaces is six (6) and two (2) of which must be van accessible.		



# REPORT TO COUNCIL

## DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT



**Date:** August 13, 2024  
**To:** Council  
**From:** City Manager  
**Address:** 1451 Bertram St  
**File No.:** DP23-0203 DVP23-0204  
**Zone:** UC1r – Downtown Urban Centre Rental Only

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### 1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP23-0203 and Development Variance Permit No. DVP23-0204 for Lot 1 District Lot 139 ODYD Plan EPP113832, located at 1451 Bertram St, Kelowna, BC, subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of Zoning Bylaw No. 12375 be granted:

**Table 8.3 - Required Residential Off-Street Parking Requirements**

To vary the minimum number of off-street parking spaces from 154 permitted to 141 proposed.

**Table 9.11 – Tall Building Regulations**

To vary the maximum floor plate above the sixth storey from 750 m<sup>2</sup> permitted to 932 m<sup>2</sup> proposed for the seventh storey.

**Table 9.11 – Tall Building Regulations**

To vary the maximum podium height from 16.0 m permitted to 16.11 m proposed.

**Section 14.11 – Core Area and Other Zones, Commercial and Urban Centre Zone Development Regulations**

To vary the minimum setback for any portion of a building above 16.0 m in height abutting another property from 4.0 m permitted to 3.65 m proposed.

**Section 14.11 – Core Area and Other Zones, Commercial and Urban Centre Zone Development Regulations**

To vary the minimum building setback from 3.0 m permitted to 2.75 m proposed.

**Section 14.11 – Core Area and Other Zones, Commercial and Urban Centre Zone Development Regulations**

To vary the maximum parkade exposure to the primary street from 0% permitted to 7% proposed.

**Section 14.14 – Core Area and Other Zones, Density and Height**

To vary the maximum base height from 12 storeys and 44.0 m permitted to 20 storeys and 63.0 m proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

**2.0 Purpose**

To issue a Development Permit for the form and character of rental apartment housing and a Development Variance Permit to vary the minimum number of parking spaces, maximum floor plate, maximum podium height, minimum upper floor setback, minimum building setback, maximum parkade exposure, and maximum height.

**3.0 Development Planning**

Staff support the proposed Development Permit for the form and character of apartment housing. The proposal generally aligns with the Official Community Plan (OCP) Form and Character Design Guidelines for High-Rise Residential and Mixed-use buildings. Key guidelines that are met include:

- Orienting primary building facades and entries to the fronting street and incorporating active frontages with ground-oriented uses;
- Providing a maximum podium height of 4 storeys, with the tower stepped back above the podium;
- Transitioning between the tower and lower-scale buildings on adjacent lots by setting back the tower from adjacent properties;
- Incorporating screened off-street parking within a structured parking podium wrapped with active uses, and
- Providing high-quality outdoor amenity spaces on site, including shared rooftop amenity spaces.

Proposed materials primarily include grey brick cladding, and white, taupe, terracotta, and grey cementitious panels. Common amenity spaces include a rooftop patio with plantings and outdoor furniture with barbecue area, jungle gym, play area, community garden, and indoor amenity room. A childcare facility is also proposed on the main level which would be available to residents of the building and the public.

**Off-Street Parking Variance**

A variance is proposed to reduce the required number of parking stalls from 154 to 141. As the building will include 114 affordable rental units, it is expected that there will be lower vehicle ownership than a comparable market building. In addition, the location within the Downtown Urban Centre and within walking distance of the City's primary transit exchange provides ample opportunity for residents to use alternative forms of transportation other than personal vehicles. There are 18 dedicated parking stalls shared between residential visitors and the childcare centre.

**Podium Height & Upper Floor Setback**

A variance is proposed for the northern edge of the podium to reduce the minimum setback for portions of a building above 16.0 m in height from 4.0 m to 3.65 m and to increase the maximum podium height from 16.0 m to 16.11 m. Due to a very gradual slope on the subject property, the northern edge of the podium projects slightly above 16.0 m in height. The 0.47 m portion of the structure that is above the 16.0 m height also has a larger setback requirement. As the podium is already setback beyond the minimum setback, a modest 0.35 m setback reduction for that small portion of the podium is required.

### Stepback Variance

A variance is proposed to reduce the minimum stepback for a portion of the front of the building from 3.0 m to 2.75 m. Much of the tower meets the minimum stepback requirement except for a 0.25 m encroachment into the stepback area for a portion of the building between levels 5 & 9. The proposed variance allows for an architectural feature which enhances the articulation of the front of the building, which helps the building to meet the OCP Design Guidelines.

### Parkade Exposure

A variance is proposed to increase the maximum allowable parkade exposure along the front of the building from 0% of the frontage to 7%. The portion of exposed parkade is de-emphasized by being set back from the rest of the building's front façade and screened with appropriate landscaping, materials and glazing.

### Tower Floorplate Variance

A variance is proposed to increase the maximum floorplate of the 7<sup>th</sup> storey from 750 m<sup>2</sup> to 932 m<sup>2</sup>. Level 7 is setback significantly from the adjacent properties (>12 m from the south property line and >26 m from the north property line) and located directly behind the tower. This mitigates the visibility of any extra bulk and limits any impact of additional shadowing on neighbouring properties or the public realm. Storeys 8 to 20 meet the maximum floorplate requirements.

### Height Variance

A variance is proposed to increase the maximum base height from 12 storeys and 44.0 m to 20 storeys and 63.0 m. OCP Policy 4.4.1 Taller Downtown Buildings suggests that heights higher than those outlined in the OCP Building Heights Map can be considered where the proposal contains a significant benefit to Kelowna citizens, such as an affordable, supportive, or rental housing component that further advances Urban Centre housing objectives. As the proposed building is a BC Housing rental housing project, the proposal fulfills a significant objective through the creation of 176 new purpose-built rental units, of which 114 will be below-market. The provision of 41 three-bedroom units also contributes to a diverse variety of household sizes.

## **4.0 Subject Property & Background**

### **4.1 Subject Property Map**



The subject property is located on Bertram St, between Bernard Ave and Doyle Ave in the Downtown Urban Centre. The surrounding neighbourhood includes a mix of apartment housing and single detached dwellings.

#### 4.2 Background

Council approved a Development Permit and Development Variance Permit application for a 20 storey rental tower on the subject property in October 2021. As construction of the proposal did not commence, the permits expired in September 2023.

#### 5.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
Gross Lot Area	4131.41 m <sup>2</sup>
Undevelopable Land (lane dedication)	52.9 m <sup>2</sup>
<b>Total Number of Units</b>	<b>176</b>
Bachelor	4
1-bed	73
2-bed	58
3-bed	41
Net Other Uses Floor Area (Child Care)	412.87 m <sup>2</sup>

DEVELOPMENT REGULATIONS		
CRITERIA	UC1r ZONE	PROPOSAL
<b>Total Maximum Floor Area Ratio</b>	<b>4.3</b>	<b>3.93</b>
Base FAR	3.3	
Bonus FAR (rental subzone)	1.0	
Max. Site Coverage (buildings)	100%	73.5%
<b>Max. Height</b>	<b>12 storeys &amp; 44.0 m</b>	<b>20 storeys &amp; 63.0 m<sup>1</sup></b>
Base Height	12 storeys & 44.0 m	
Max. Podium Height	16.0 m	16.11 m <sup>2</sup>
Max. Parkade Exposure	0%	7% <sup>3</sup>
<b>Setbacks</b>		
Min. Front Yard (west)	0.0 m	6.08 m
Min. Side Yard (north)	0.0 m	3.65 m
Min. Side Yard (south)	0.0 m	3.65 m
Min. Rear Yard (east)	0.0 m	0.0 m
<b>Upper Floor Setbacks</b>		
Min. Front Yard (west)	3.0 m	8.929 m
Min. Side Yard (north)	4.0 m	3.65 m <sup>4</sup>
Min. Side Yard (south)	4.0 m	12.67 m
<b>Stepbacks</b>		
Min. Fronting Street (west)	3.0 m	2.75 m <sup>5</sup>
<b>Amenity Space</b>		
<b>Total Required Amenity Space</b>	<b>2029 m<sup>2</sup></b>	<b>2928.5 m<sup>2</sup></b>
Common	704 m <sup>2</sup>	1795 m <sup>2</sup>
<b>Landscaping</b>		
Min. Number of Trees	0 trees	28 trees
Min. Large Trees	0 trees	5 trees

- ❶ Indicates a requested variance to maximum base height from 12 storeys and 44.0 m to 20 storeys and 63.0 m.
- ❷ Indicates a requested variance to maximum podium height from 16.0 m to 16.11 m.
- ❸ Indicates a requested variance to maximum parkade exposure to a primary street from 0% permitted to 7% proposed.
- ❹ Indicates a requested variance to minimum setback for a portion of a building above 16.0 m in height abutting another property from 4.0 m to 3.65 m.
- ❺ Indicates a requested variance to minimum building stepback from 3.0 m to 2.75 m.

PARKING REGULATIONS		
CRITERIA	UC1r ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	154 stalls	141 stalls ⑥
Residential	167.5	123
Visitor/Child Care	24.64	18
“r” Subzone Reduction	-38.43	
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	55% Regular 45% Small
Bicycle Stalls Short-Term	8 stalls	26 stalls
Bicycle Stalls Long-Term	142 stalls	142 stalls
Bonus Stalls Provided for Parking Reduction	n	
Bike Wash & Repair	y	
⑥ Indicates a requested variance to the minimum number of parking spaces from 154 required to 141.		

## 6.0 Application Chronology

Application Accepted: November 6, 2023  
 Neighbour Notification Received: July 11, 2024

**Report prepared by:** Mark Tanner, Planner Specialist  
**Reviewed by:** Jocelyn Black, Urban Planning Manager  
**Reviewed by:** Nola Kilmartin, Development Planning Department Manager  
**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

### Attachments:

Attachment A: Draft Development Permit & Development Variance Permit DP23-0203 DVP23-0204  
 Schedule A: Site Plan & Floor Plans  
 Schedule B: Elevations & Sections  
 Schedule C: Landscape Plan  
 Attachment B: OCP Form and Character Development Permit Guidelines  
 Attachment C: Applicant's Letter of Rationale  
 Attachment D: Renderings

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).

# Development Permit & Development Variance Permit

DP23-0203/DVP23-0204



This permit relates to land in the City of Kelowna municipally known as

**1451 Bertram St**

and legally known as

**Lot 1 District Lot 139 ODYD Plan EPP113832**

and permits the land to be used for the following development:

**Apartment Housing / Child Care Centre, Major**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.



**Date of Council Approval:** **August 13, 2024**

Development Permit Area: Form & Character

Existing Zone: UC1r – Downtown Urban Centre Rental Only

Future Land Use Designation: UC – Urban Centre

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Provincial Rental Housing Corporation, Inc. No. BC0052129

Applicant: S2 Architecture

\_\_\_\_\_  
Nola Kilmartin  
Development Planning Department Manager  
Planning & Development Services

\_\_\_\_\_  
Date of Issuance

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP23-0203 and Development Variance Permit No. DVP23-0204 for Lot 1 District Lot 139 ODYD Plan EPP113832 located at 1451 Bertram St, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of Zoning Bylaw No. 12375 be granted:

**Table 8.3 - Required Residential Off-Street Parking Requirements**

To vary the minimum number of off-street parking spaces from 154 permitted to 141 proposed.

**Table 9.11 – Tall Building Regulations**

To vary the maximum floor plate above the sixth storey from 750 m<sup>2</sup> permitted to 932 m<sup>2</sup> proposed for the seventh storey.

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**Section 14.11 – Core Area and Other Zones, Commercial and Urban Centre Zone Development Regulations**

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**Section 14.11 – Core Area and Other Zones, Commercial and Urban Centre Zone Development Regulations**

To vary the minimum building setback from 3.0 m permitted to 2.75 m proposed.

**Section 14.11 – Core Area and Other Zones, Commercial and Urban Centre Zone Development Regulations**

To vary the maximum parkade exposure to the primary street from 0% permitted to 7% proposed.

**Section 14.14 – Core Area and Other Zones, Density and Height**

To vary the maximum base height from 12 storeys and 44.0 m permitted to 20 storeys and 63.0 m proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work

carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$341,970.00**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

#### 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

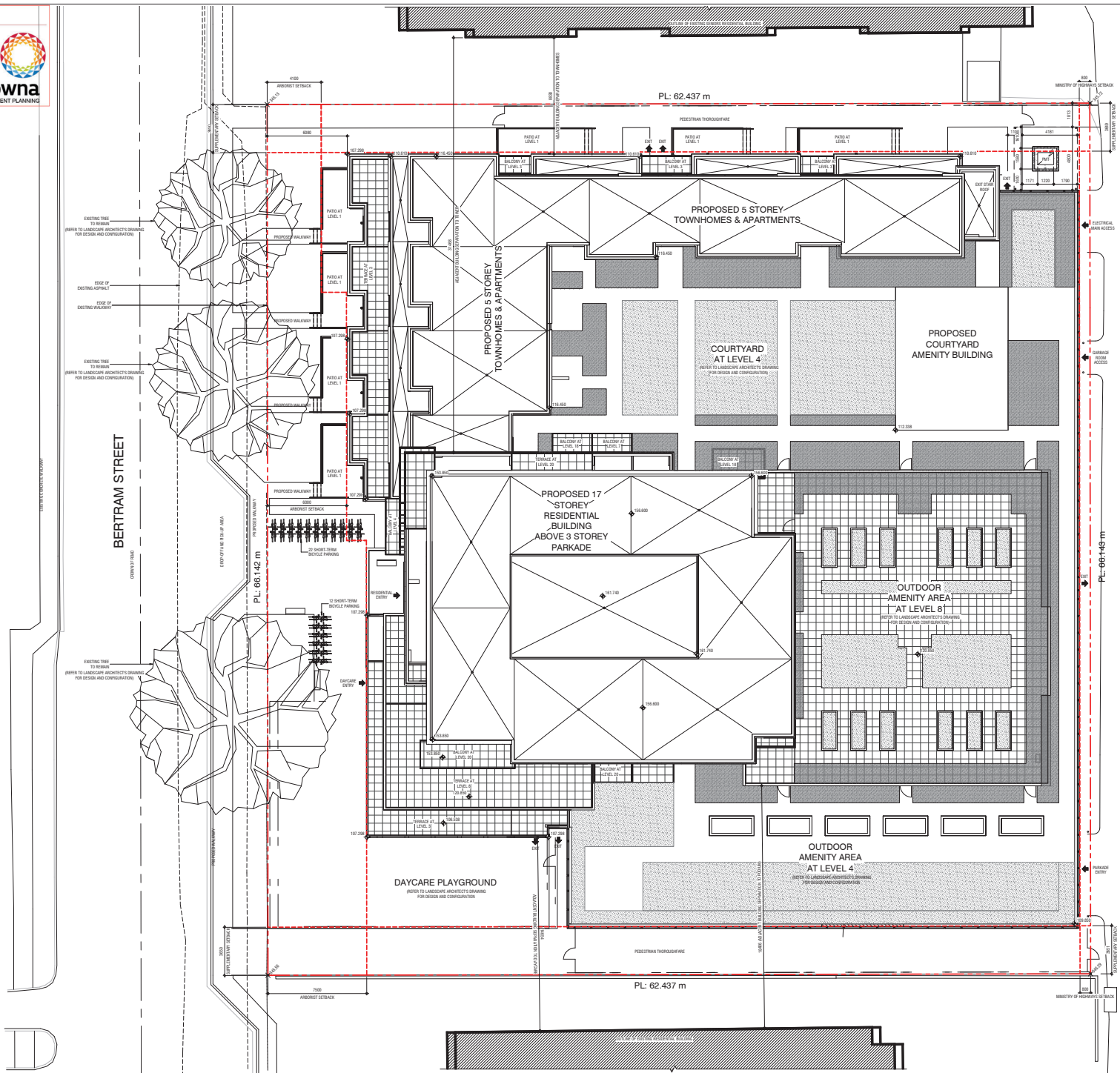
<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# DP23-0203 DVP23-0204		
Planner Initials	MT	 City of <b>Kelowna</b> DEVELOPMENT PLANNING

## A

Planner Initials MT



City of Kelowna  
DEVELOPMENT PLANNING



LANE



## SITE PLAN

BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT  
1451 & 1469 BERTRAM ST., KELOWNA, BC

BC HOUSING



NOT FOR  
CONSTRUCTION

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ISSUED FOR	DATE
1	BCH REVIEW
2	DP SUBMISSION
3	DP RE-SUBMISSION
6	DP RE-SUBMISSION
7	ISSUED FOR THIS RESPONSE
8	THIS RESPONSE   PARKING

SCALE 1 : 100  
DATE 4/5/2024 10:25:02 AM  
DRAWN BY M.D./J.H.  
CHECKED BY S.J.H.

DRAWING NO.

DP1.0

65

65



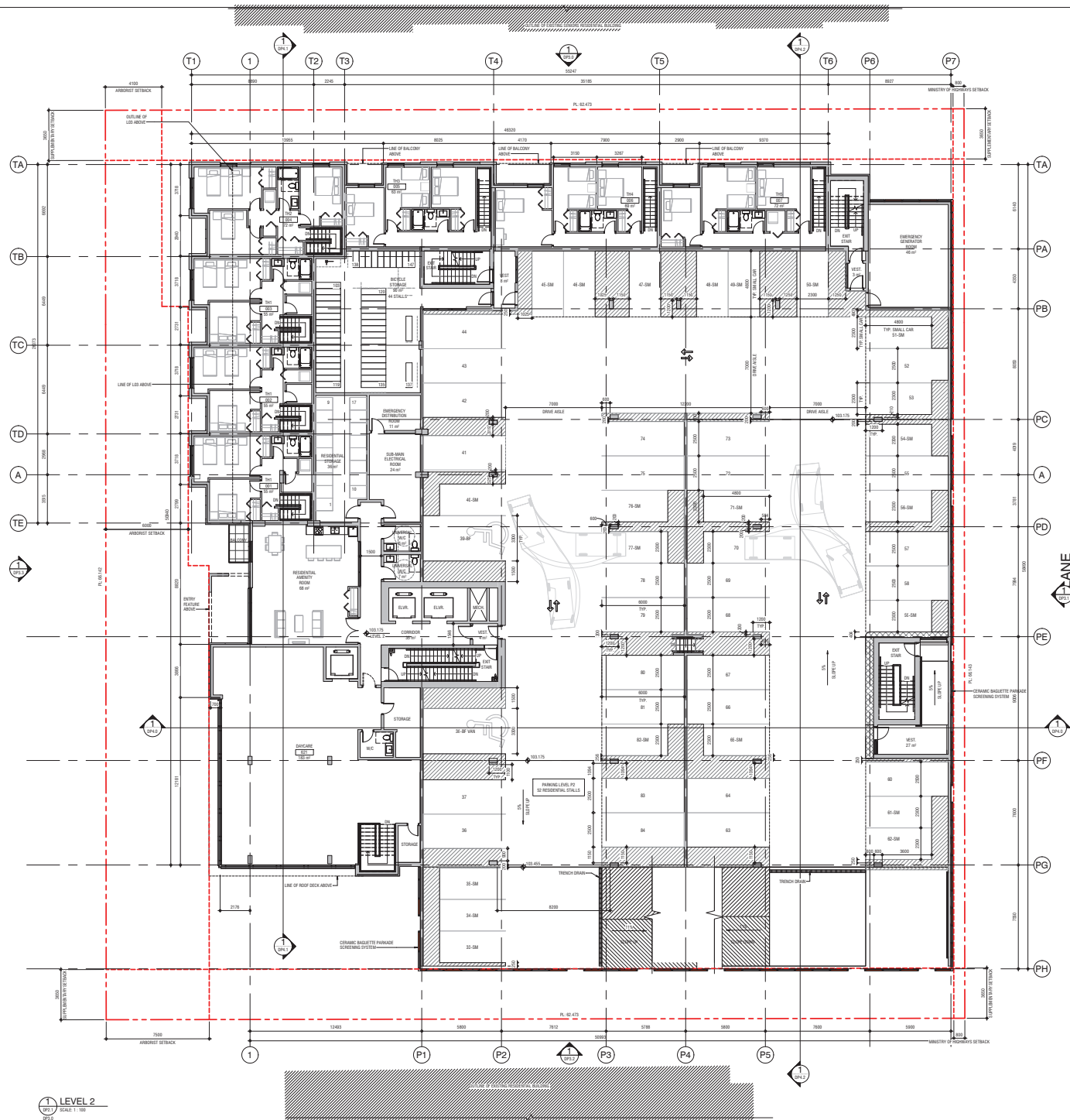
 INDICATES BUILDING OUTLINE ABOVE  
 INDICATES BUILDING OUTLINE BELOW  
 INDICATES PROPOSED COLUMNS  
 INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

CPTD PRINCIPALS
<ul style="list-style-type: none"> <li>-LIGHT COLOURED PAINTED FINISH TO WALLS, COLUMNS</li> <li>-AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED</li> <li>-PROVIDE VISION PANELS IN DOOR LEADING TO PUBLICLY VISIBLE AREAS</li> <li>-PROVIDE GLAZING TO ELEVATOR LOBBY</li> <li>-ENSURE ADEQUATE LIGHTING THROUGHOUT PARKING AREA</li> <li>-INSTALL HARDCORED VEHICLE SURVEILLANCE EQUIPMENT TO PARKING AREAS</li> <li>-PROVIDE ROUGH SURFACE FINISH TO RAMPS TO DETER SKATERS/GARDERS</li> </ul>

This forms part of application  
# DP23-0203 DVP23-0204

Planner Initials MT

City of Kelowna  
DEVELOPMENT PLANNING



1 LEVEL 2  
DP2.1 SCALE: 1 : 100  
DP3.0



LEVEL 2 FLOOR & PARKING PLAN

BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT  
1451 & 1469 BERTRAM ST, KELOWNA, BC



NOT FOR  
CONSTRUCTION

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	ISSUED FOR	DATE
2	DP SUBMISSION	2020-02-06
3	DP RE-SUBMISSION	2021-07-11
5	BCR REVIEW	2023-08-01
6	DP RE-SUBMISSION	2023-10-26
7	ISSUED FOR THE RESPONSE	2024-04-08
8	THE RESPONSE + PENDING	2024-06-03

SCALE	As indicated
DATE	6/5/2024 4:12:19 PM
DRAWN BY	M.D./J.H.
CHECKED BY	S.H.

DRAFTING NO.

DP2.1

 INDICATES BUILDING OUTLINE ABOVE  
 INDICATES BUILDING OUTLINE BELOW  
 INDICATES PROPOSED COLUMNS  
 INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

- LIGHT COLOURED PAINTED FINISH TO WALLS, COLUMNS
- AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED
- PROVIDED VISION PANELS IN DOOR LEADING TO PUBLICLY VISIBLE AREAS
- PROVIDE GLAZING TO ELEVATOR LOBBY
- ENSURE ADEQUATE LIGHTING THROUGHOUT PARKING AREA
- INSTALL HARDWIRED VIDEO SURVEILLANCE EQUIPMENT TO PARKING AREAS
- PROVIDE ROUGH SURFACE FINISH TO RAMPS TO DETR SKATEBOARDERS

Figure 10 illustrates the dimensions for various parking stalls. The top row shows a standard parking stall (6000 x 2500) and a standard parking stall against a wall (6000 x 2500/3000). The middle row shows a small car parking stall (4000 x 2500) and a small car parking stall against a wall (4000 x 2500/3000). The bottom row shows a barrier free van parking stall (6000 x 5700) and a barrier free van parking stall (6000 x 4800/3000).

This forms part of application  
# DP23-0203 DVP23-0204

Planner Initials MT

City of Kelowna

LEVEL 3 FLOOR &amp; PARKING PLAN

BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT  
1451 & 1469 BERTRAM ST, KELOWNA, BC



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	ISSUED FOR	DATE
2	DP SUBMISSION	2020-02-06
3	DP RE-SUBMISSION	2021-07-11
5	BCR REVIEW	2023-08-01
6	DP RE-SUBMISSION	2023-10-20
7	ISSUED FOR THIS RESPONSE	2024-04-04
8	THIS RESPONSE   PARKING	2024-06-28

SCALE	As indicated
DATE	6/5/2024 4:12:20 PM
DRAWN BY	M.D./J.H.
CHECKED BY	S.H.

DRAFTING NO.

DP2.2

**Floor Plan - Symbol Legend**

- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

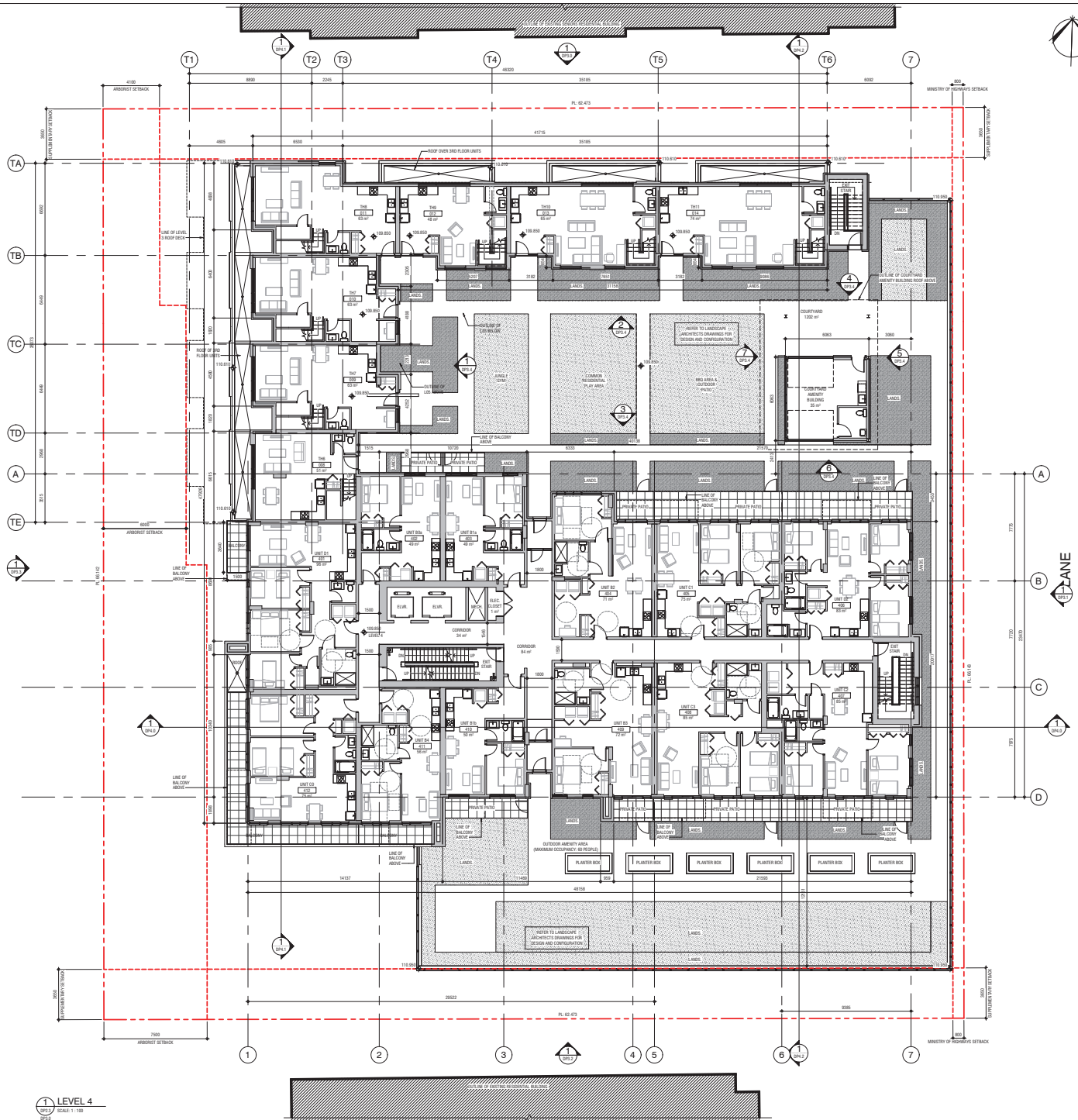
**SCHEDULE A**

This forms part of application  
# DP23-0203 DVP23-0204

Planner Initials **MT**

**City of Kelowna**  
DEVELOPMENT PLANNING

BERTRAM STREET



**LEVEL 4**  
SCALE: 1/8" = 1'-0"



LEVEL 4 FLOOR PLAN (COURTYARD LEVEL)

**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING



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ISSUED FOR	DATE
1. DESIGN REVIEW	2023-12-15
2. DP PRE-CONSTRUCTION	2023-02-01
3. DP PRE-CONSTRUCTION	2023-02-01
4. DP PRE-CONSTRUCTION	2023-02-01
5. ISSUED FOR THIS RESPONSE	2024-04-01
6. THIS RESPONSE / PARAS	2024-06-01

SCALE: AS SHOWN  
DATE: 2024-06-01  
DRAWN BY: WJD, LJA  
CHECKED BY: LJA

PROJECT NO.: DP2.3

99

**Floor Plan - Symbol Legend**

- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

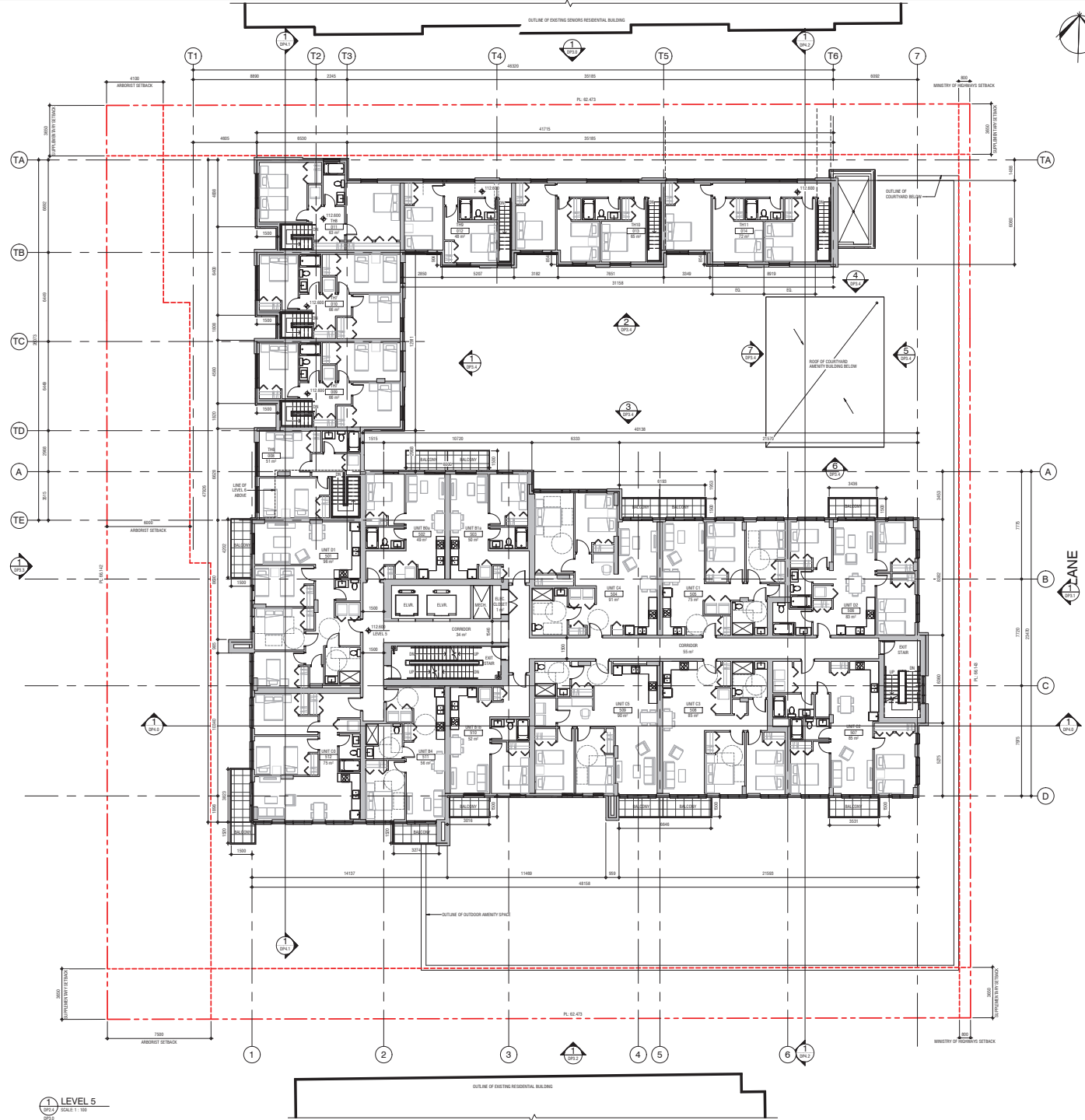
**SCHEDULE A**

This forms part of application  
# DP23-0203 DVP23-0204

Planner Initials **MT**

City of Kelowna  
DEVELOPMENT PLANNING

BERTRAM STREET



**LEVEL 5**  
SCALE: 1" = 16'



**LEVEL 5 FLOOR PLAN**

**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST. KELOWNA, BC  
BC HOUSING



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ISSUES FOR	DATE
1. REVIEW	2023-12-15
2. DP SUBMISSION	2023-02-01
3. DP RE-CORRECTION	2023-02-15
4. DP RE-CORRECTION	2023-10-21
5. REVIEW THIS RESPONSE	2024-04-01
6. THIS RESPONSE / PARAS	2024-06-22

SCALE: As indicated  
DATE: 2023-12-15 10:00 AM  
DRAWN BY: WJL/JKL  
CHECKED BY: JKL

Revised: 10/23/2024

**DP2.4**

**Floor Plan - Symbol Legend**

- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

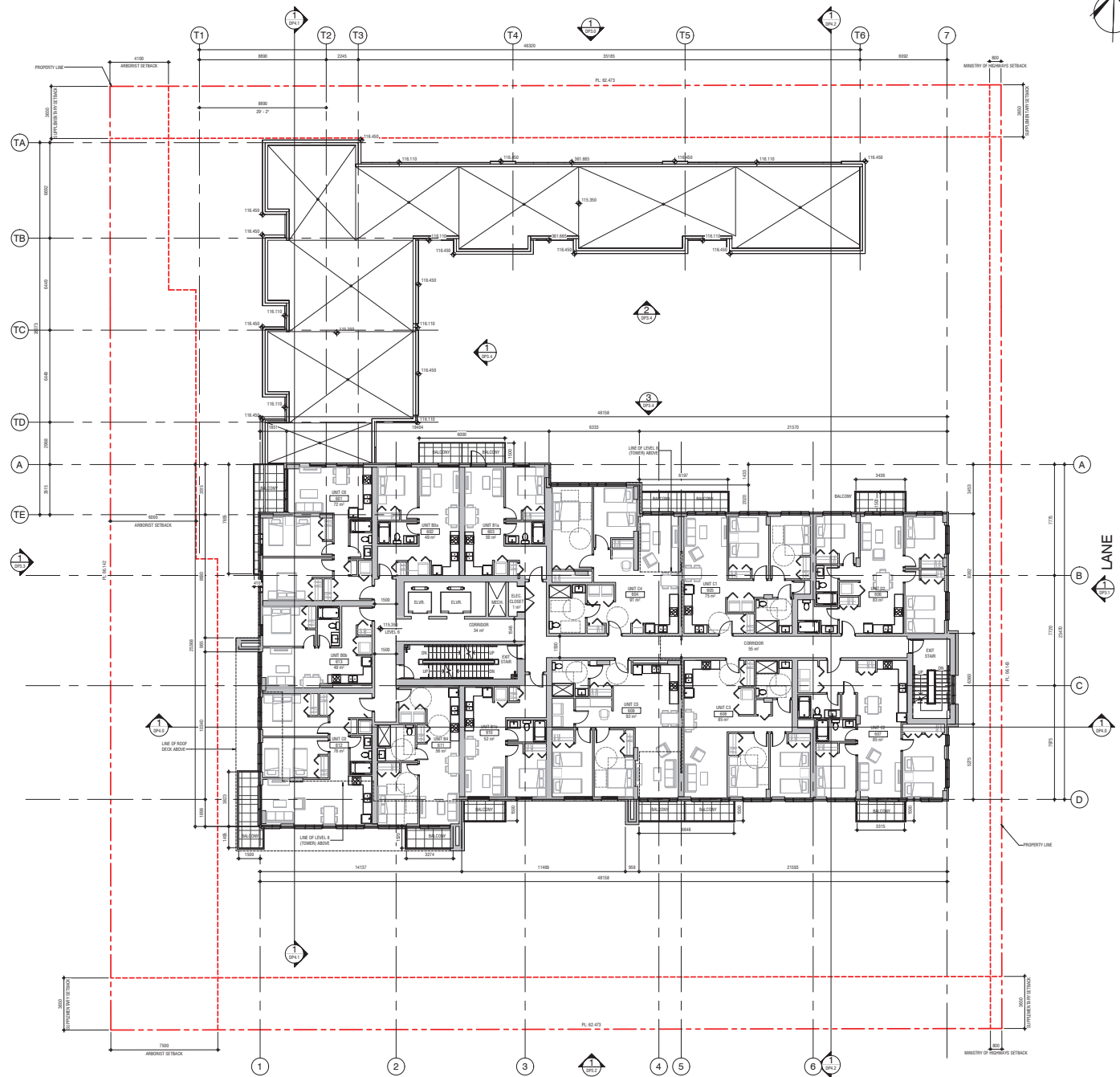
**SCHEDULE A**

This forms part of application  
# DP23-0203 DVP23-0204

Planner Initials **MT**

**City of Kelowna**  
DEVELOPMENT PLANNING

BERTRAM STREET



**LEVELS 6 - 7**



**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST. KELOWNA, BC  
BC HOUSING



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ISSUES FOR	DATE
1. REVIEW	2023-12-15
2. DP SUBMISSION	2023-02-01
3. DP FOR SUBMISSION	2023-02-01
4. DP FOR SUBMISSION	2023-10-21
5. ISSUES FOR THIS RESPONSE	2024-04-01
6. THIS RESPONSE / FINISHED	2024-06-21

SCALE: As indicated  
DATE: 2024-06-21 11:42  
DRAWN BY: WJL/JKL  
CHECKED BY: JKL

Revised: 06/21/24

**DP2.5**

Floor Plan - Symbol Legend	
	INDICATES BUILDING OUTLINE ABOVE
	INDICATES BUILDING OUTLINE BELOW
	INDICATES PROPOSED COLUMNS
	INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

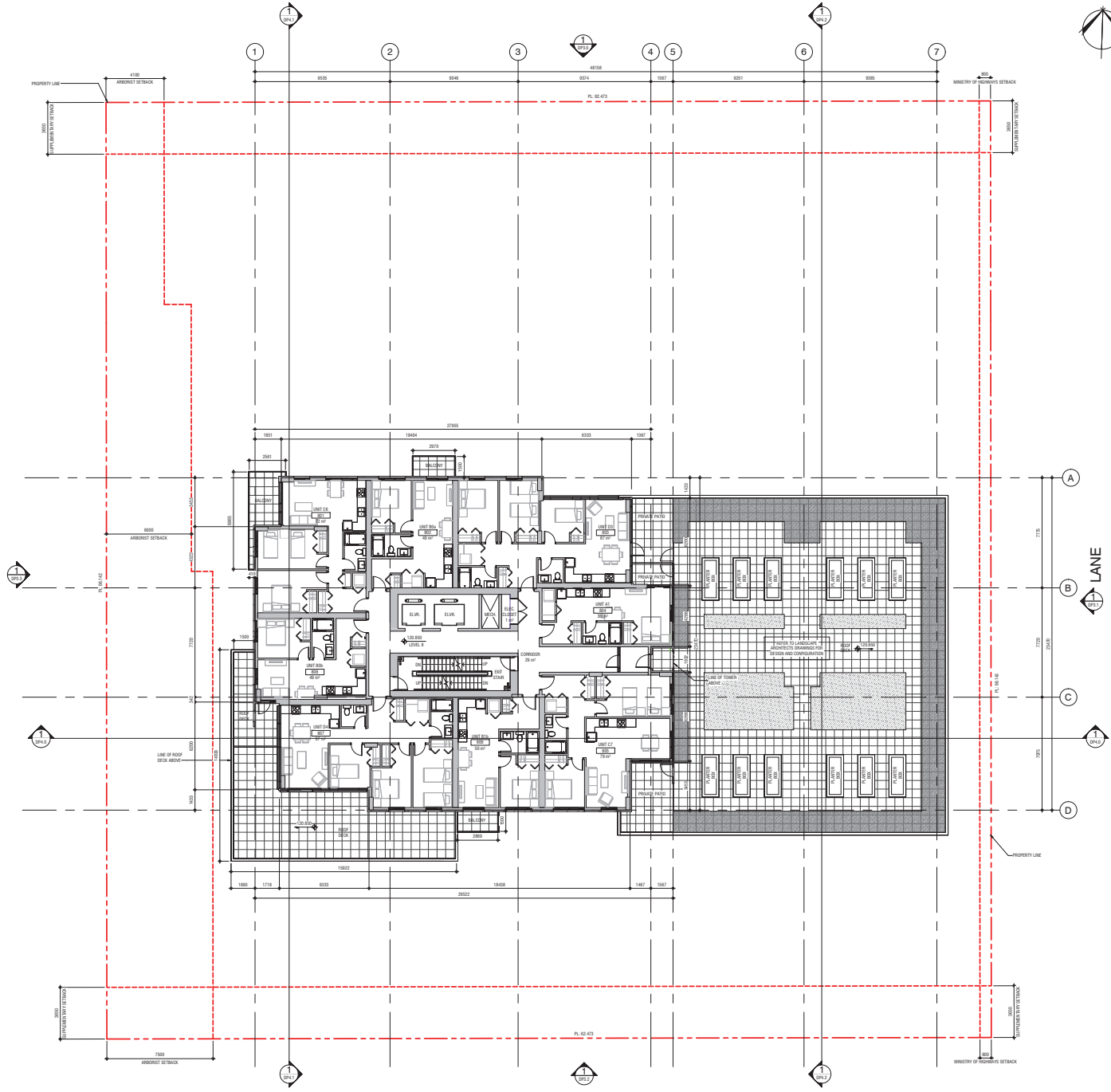
**SCHEDULE A**

This forms part of application  
# DP23-0203 DVP23-0204

Planner Initials **MT**

**City of Kelowna**  
DEVELOPMENT PLANNING

BERTRAM STREET



**LEVEL 8**  
SCALE: 1" = 16'



LEVEL 8 FLOOR PLAN

**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING



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ISSUES FOR	DATE
1. REVIEW	2023-12-15
2. DP SUBMISSION	2023-02-01
3. DP RE-DESIGN	2023-02-15
4. DP RE-DESIGN	2023-02-15
5. DP RE-DESIGN	2023-02-15

SCALE: As indicated  
DATE: 2023-12-15 12:00  
DRAWN BY: WJL/JL  
CHECKED BY: JLA

REVISIONS:

**DP2.6**

 INDICATES BUILDING OUTLINE ABOVE  
 INDICATES BUILDING OUTLINE BELOW  
 INDICATES PROPOSED COLUMNS  
 INDICATES PROPOSED STRUCTURAL SHEAR WALLS & FI PARTITION CORES



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BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT  
1451 & 1469 BERTRAM ST. KELOWNA, BC  
BC HOUSING



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CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

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ISSUED FOR	DATE
1 BCH REVIEW	2006-12-1

2	DP SUBMISSION	2020-02-0
3	DP RE-SUBMISSION	2021-07-1
6	DP RE-SUBMISSION	2023-10-2

8	THE RESPONSE   PARKING	2024-06-2
SCALE	As indicated	
DATE	4/22/2024 9:54:12 AM	
Full name: [redacted]	Age: [redacted]	

DRAWN BY	REL/J.M.
CHECKED BY	S.H.
DRAWING NO.	

DP2.7

73

## SCHEDULE

A

This forms part of application  
# DP23-0203 DVP23-0204

Planner Initials MT

City of Kelowna  
DEVELOPMENT PLANNING

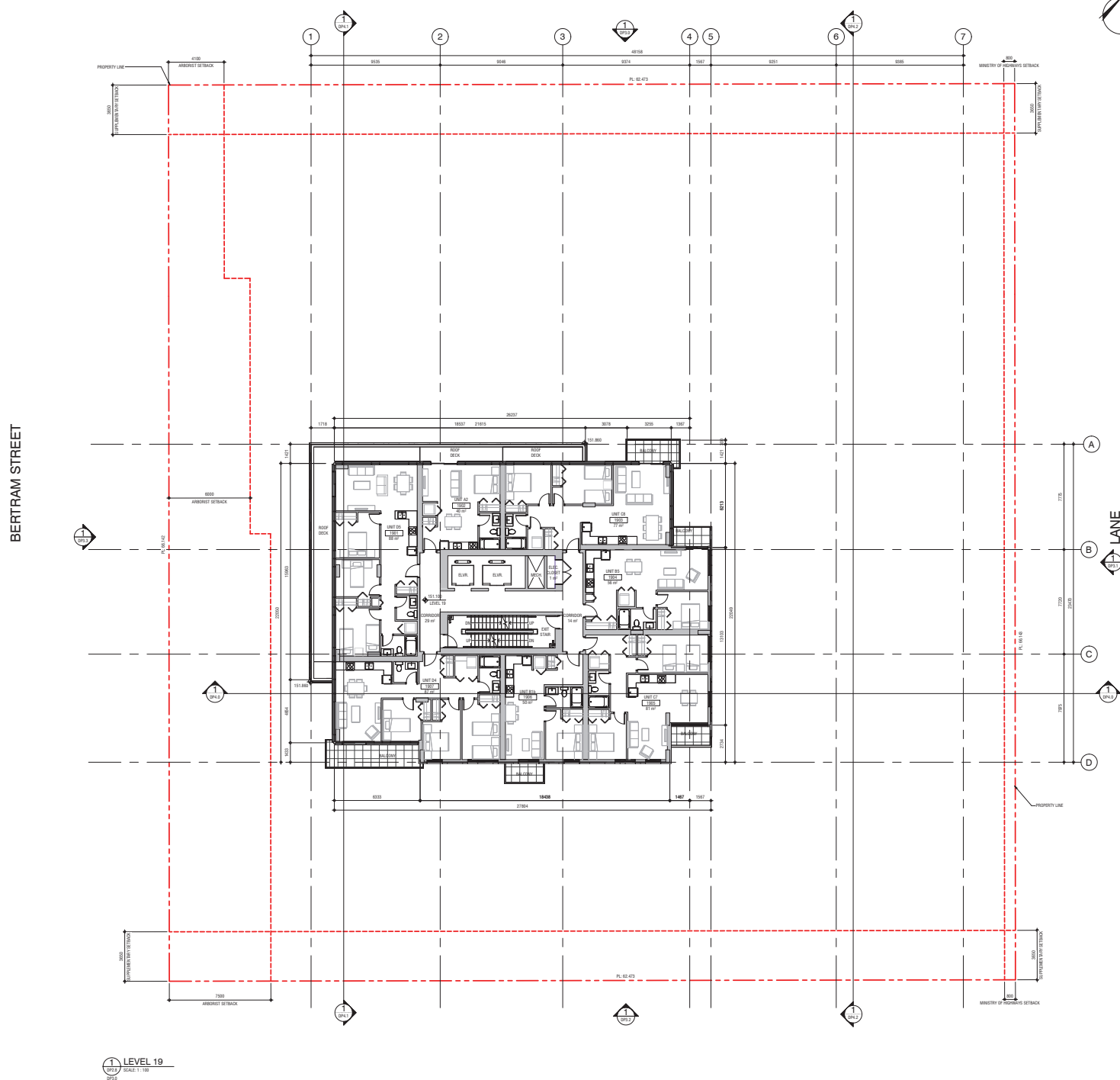
BERTRAM STREET

ANE

1 LEVELS 9 - 18  
DP2.7 SCALE: 1 : 100

CP3.0

 INDICATES BUILDING OUTLINE ABOVE  
 INDICATES BUILDING OUTLINE BELOW  
 INDICATES PROPOSED COLUMNS  
 INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE



## SCHEDULE

A

This forms part of application  
# DP23-0203 DVP23-0204

Planner Initials MT

City of Kelowna

LEVEL 19 FLOOR PLAN

**BBC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST, KELOWNA, BC



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CONSTRUCTION

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ISSUED FOR	DATE
1 SCH REVIEW	2020-12-1
2 DP SUBMISSION	2020-02-0
3 DP RE-SUBMISSION	2021-07-1
6 DP RE-SUBMISSION	2023-10-2

8	TRC RESPONSE    PARKING	2024-08-2
SCALE	As indicated	
DATE	4/22/2024 9:54:13 AM	
DRAWN BY	M.D./J.H.	
CHECKED BY	S.H.	

DRAFTING NO.

DP2.8

**Floor Plan - Symbol Legend**

- INDICATES BUILDING OUTLINE ABOVE
- INDICATES BUILDING OUTLINE BELOW
- INDICATES PROPOSED COLUMNS
- INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE

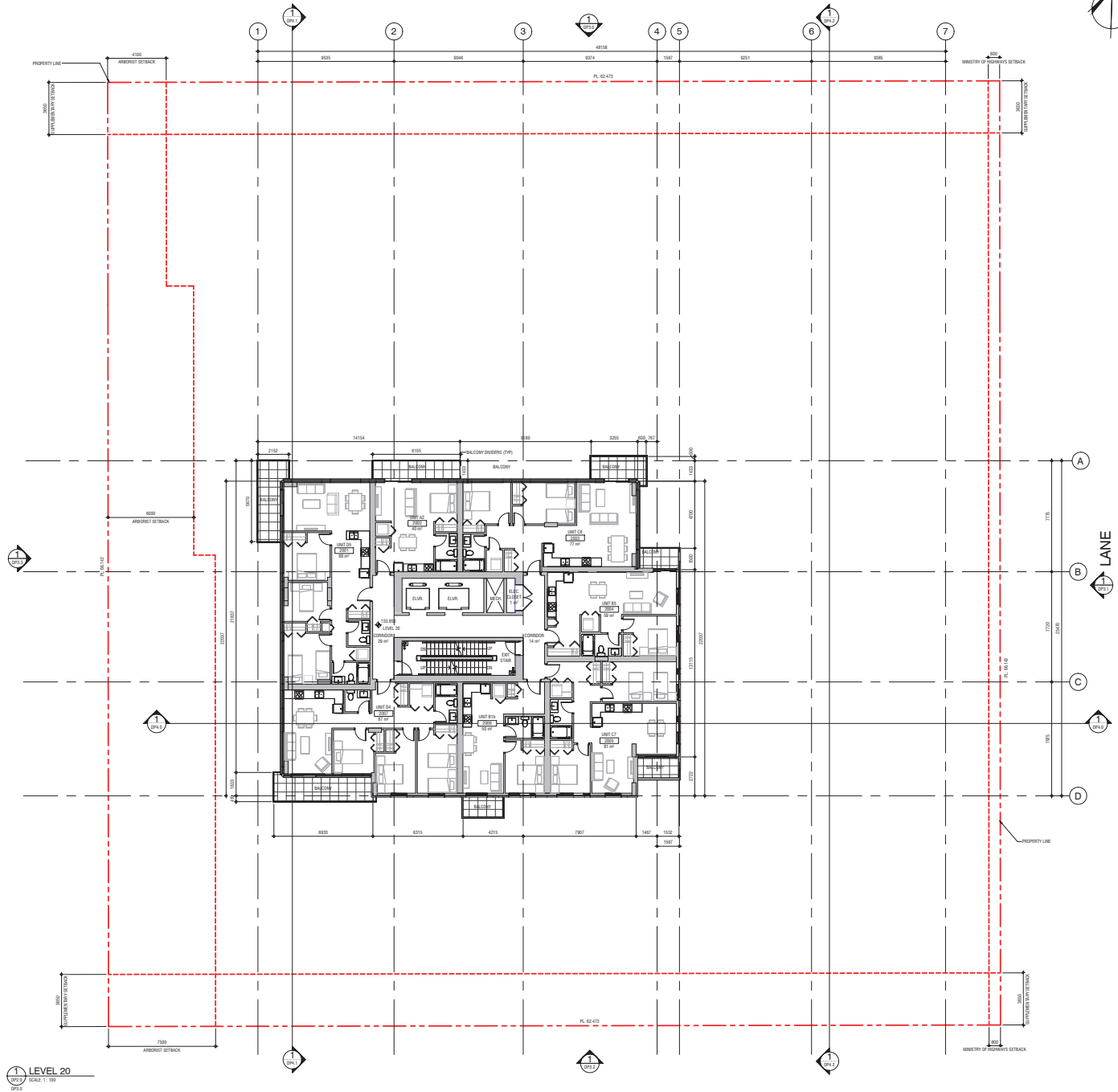
**SCHEDULE A**

This forms part of application  
# DP23-0203 DVP23-0204

Planner Initials **MT**

City of Kelowna  
DEVELOPMENT PLANNING

BERTRAM STREET



LEVEL 20 FLOOR PLAN

**BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING



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ISSUES FOR	DATE
1. NEW REVIEW	2023-10-24
2. DP SUBMISSION	2023-10-24
3. DP REVIEW	2023-10-24
4. DP REVIEW	2023-10-24
5. DP REVIEW	2023-10-24
6. DP REVIEW	2023-10-24

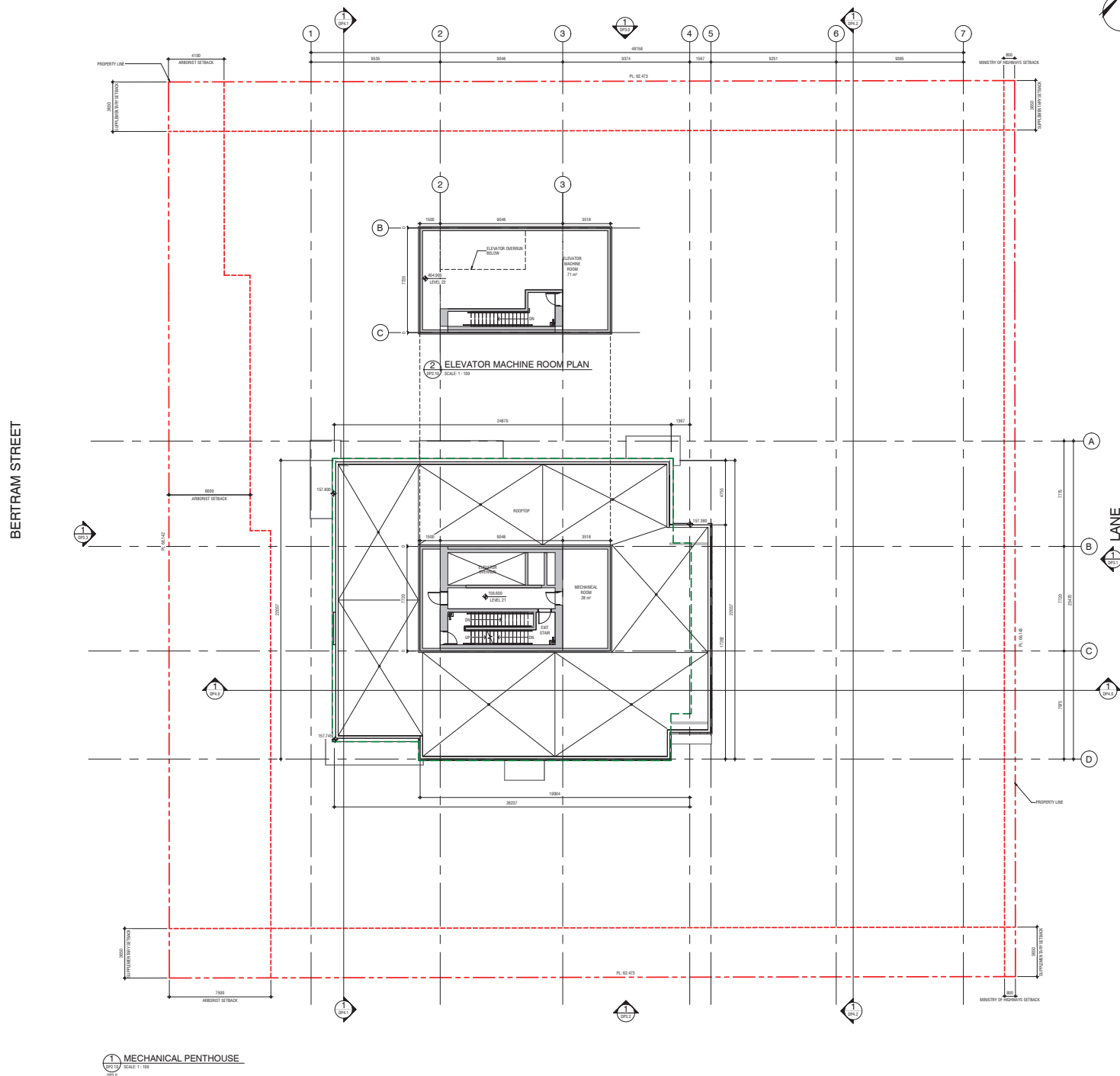
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DESIGNED BY	CHECKED BY
MT	MT

REVISIONS:

DP2.9

	INDICATES BUILDING OUTLINE ABOVE
	INDICATES BUILDING OUTLINE BELOW
	INDICATES PROPOSED COLUMNS
	INDICATES PROPOSED STRUCTURAL SHEAR WALLS & ELEVATOR CORE



A



Planner Initials MT

MECHANICAL PENTHOUSE PLAN

**BBC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT**  
1451 & 1469 BERTRAM ST, KELOWNA, BC



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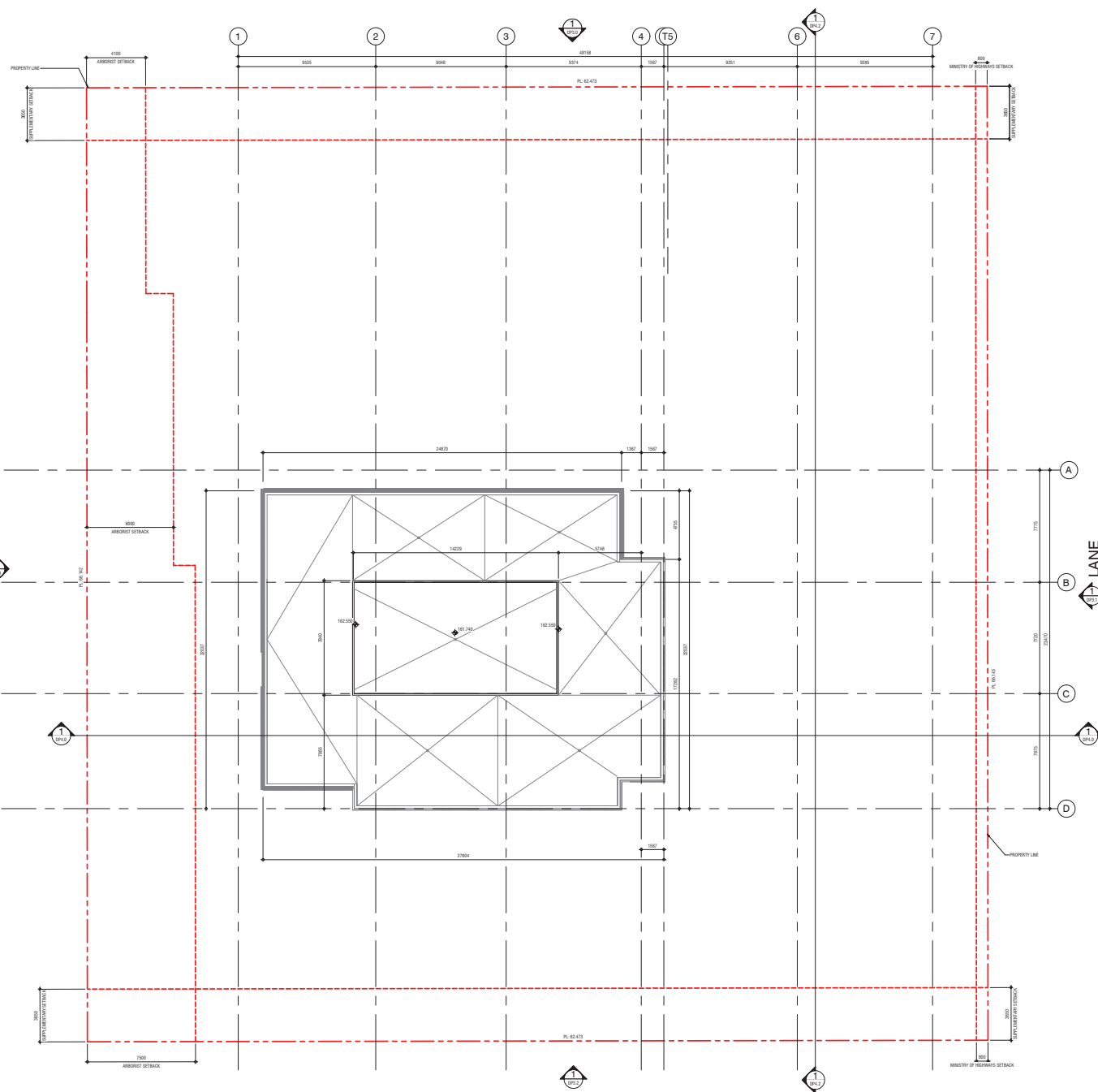
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	ISSUED FOR	DATE
1	BCH REVIEW	2020-12-10
2	DP SUBMISSION	2020-02-04
3	DP RE-SUBMISSION	2021-07-20
4	DP RE-SUBMISSION	2021-07-20

8	TRC RESPONSE   PARKING	2024-06-2
SCALE As indicated		
DATE 4/22/2024 9:54:15 AM		
DRAWN BY M.D./J.H.		
CHECKED BY S.H.		

11

DP2.10



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ation  
-0204  
City of  
**Kelowna**  
DEVELOPMENT PLANNING

SCALE: 1 = 100

DP2.11



BUILDING ELEVATIONS - NORTH

BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING



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ISSUES FOR	DATE
1. DESIGN REVIEW	2024-12-15
2. DP PRE-CONSTRUCTION	2025-01-01
3. DP PRE-CONSTRUCTION	2025-01-01
4. DP PRE-CONSTRUCTION	2025-01-01
5. DP PRE-CONSTRUCTION	2025-01-01
6. DP PRE-CONSTRUCTION	2025-01-01
7. DP PRE-CONSTRUCTION	2025-01-01
8. DP PRE-CONSTRUCTION	2025-01-01
9. DP PRE-CONSTRUCTION	2025-01-01
10. DP PRE-CONSTRUCTION	2025-01-01

SCALE: As indicated  
DATE: 4/11/2024 4:28:38 PM  
DRAWN BY: WJL/JKL  
CHECKED BY: JKL

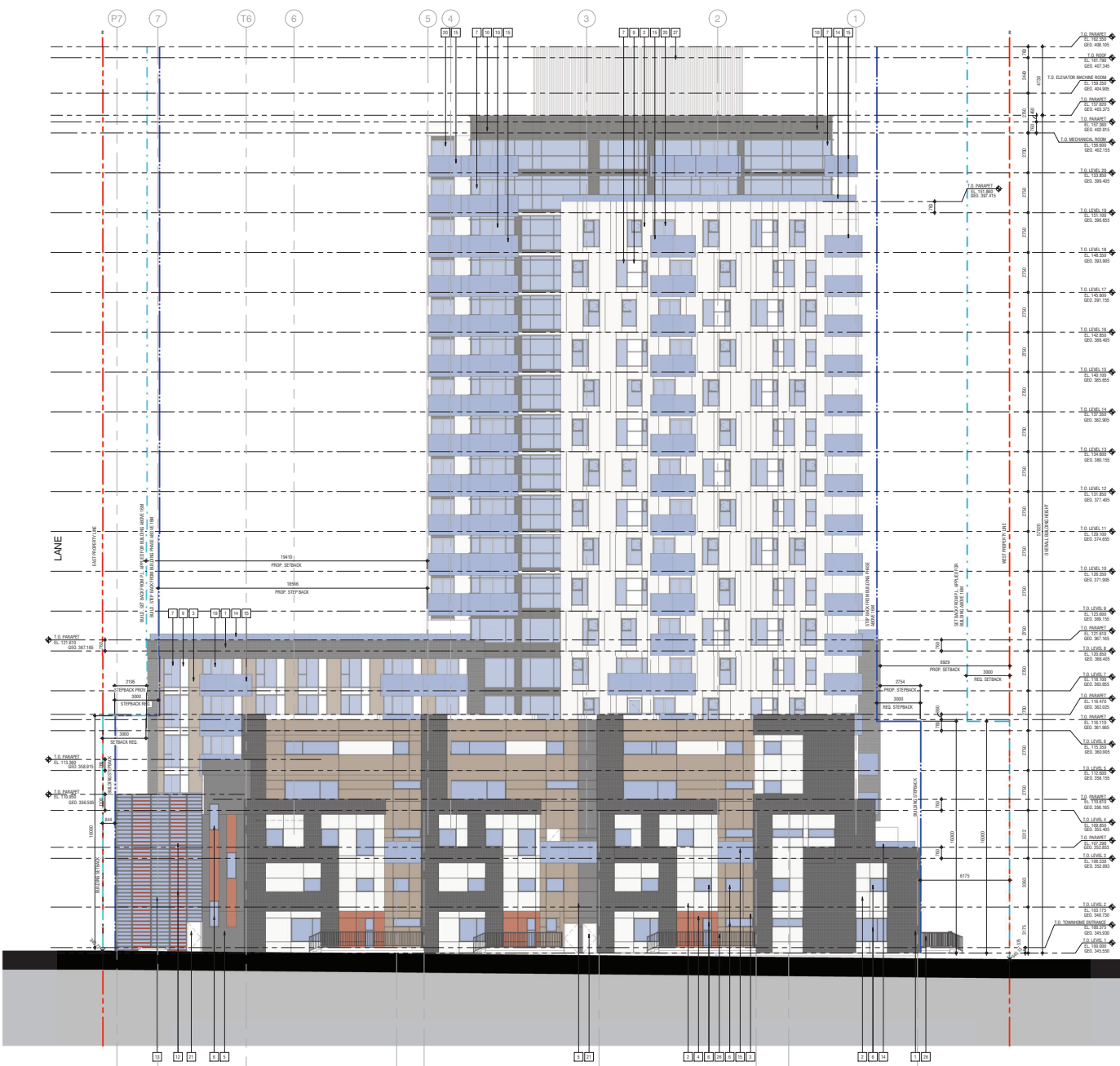
Revised: 4/11/2024 4:28:38 PM

DP3.0

Elevation - Code Legend	
1	STACK BOND BRICK CLADDING - CHAMICAL
2	CONCRETE/STUCCO CLADDING PANEL - WHITE
3	CONCRETE/STUCCO CLADDING PANEL - TAUPE
4	CONCRETE/STUCCO CLADDING PANEL - TERRACOTTA
5	CONCRETE/STUCCO CLADDING PANEL - CHAMICAL
6	VISION GLASS WINDOW C/W PREFINISHED ALUMINUM MULLION - CHAMICAL
7	VISION GLASS WINDOW WALL C/W PREFINISHED ALUMINUM MULLION - CHAMICAL
8	COMMERCIAL COMPONENT GLAZING SYSTEM C/W PREFINISHED ALUMINUM MULLION - CLEAR ANODIZED
9	INSULATED SPANDREL GLASS - WHITE
10	INSULATED SPANDREL GLASS - CHAMICAL
11	INSULATED SPANDREL GLASS - GREY
12	CERAMIC BASARELITE PARANEX SCREENING SYSTEM - TERRACOTTA
13	CERAMIC BASARELITE PARANEX SCREENING SYSTEM - CHAMICAL
14	GLASS GUARD (GLASS) SLAB MOUNTED
15	GLASS GUARD (GLASS) SLAB FACE MOUNTED
16	INSULATED YELLOW METAL DOOR - ORANGE
17	WINDOW WALL DOUBLE SWING DOOR C/W VISION GLASS INSERT
18	WINDOW WALL SWING DOOR C/W VISION GLASS INSERT
19	WINDOW WALL SWING DOOR C/W VISION GLASS INSERT
20	SLIDING DOOR C/W VISION GLASS INSERT
21	INSULATED YELLOW METAL DOOR - GREY
22	INSULATED YELLOW METAL DOOR - CHAMICAL
23	PRE-FINISHED ALUMINUM ACCESS GATE C/W VISION GLASS
24	PRE-FINISHED ALUMINUM PARKING ACCESS GATE
25	PRE-FINISHED ALUMINUM ROLL UP SERVICE DOOR
26	PRE-FINISHED ALUMINUM ROLL UP SERVICE DOOR
27	PRE-FINISHED METAL CLADDING

**SCHEDULE B**  
This forms part of application  
# DP23-0203 DVP23-0204  
City of Kelowna  
DEVELOPMENT PLANNING  
Planner Initials MT

BERTRAM STREET



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



BUILDING ELEVATIONS - EAST (LANE)

BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING



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ISSUES FOR	DATE
1. REVIEW	2020-12-15
2. DP SUBMISSION	2020-02-01
3. DP PRE-CONSTRUCTION	2020-01-01
4. DP PRE-CONSTRUCTION	2020-10-01
5. REVIEW FOR THIS RESPONSE	2020-04-01
6. THIS RESPONSE / COMMENTS	2020-06-01

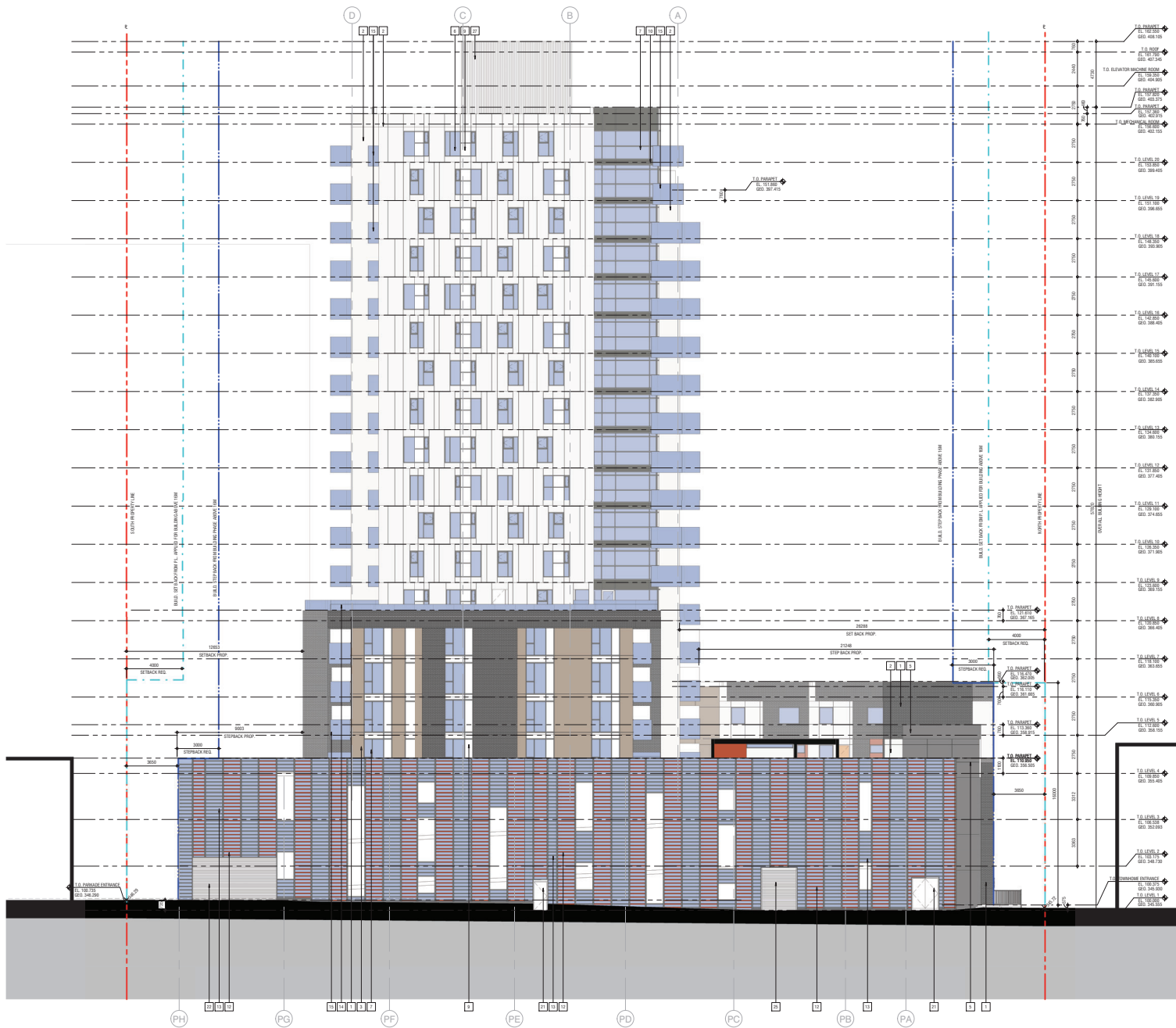
SCALE: As indicated  
DATE: 4/11/2024 4:29:16 PM  
DRAWN BY: MJD, LJA  
CHECKED BY: LJA

Revised: 4/11/2024

DP3.1

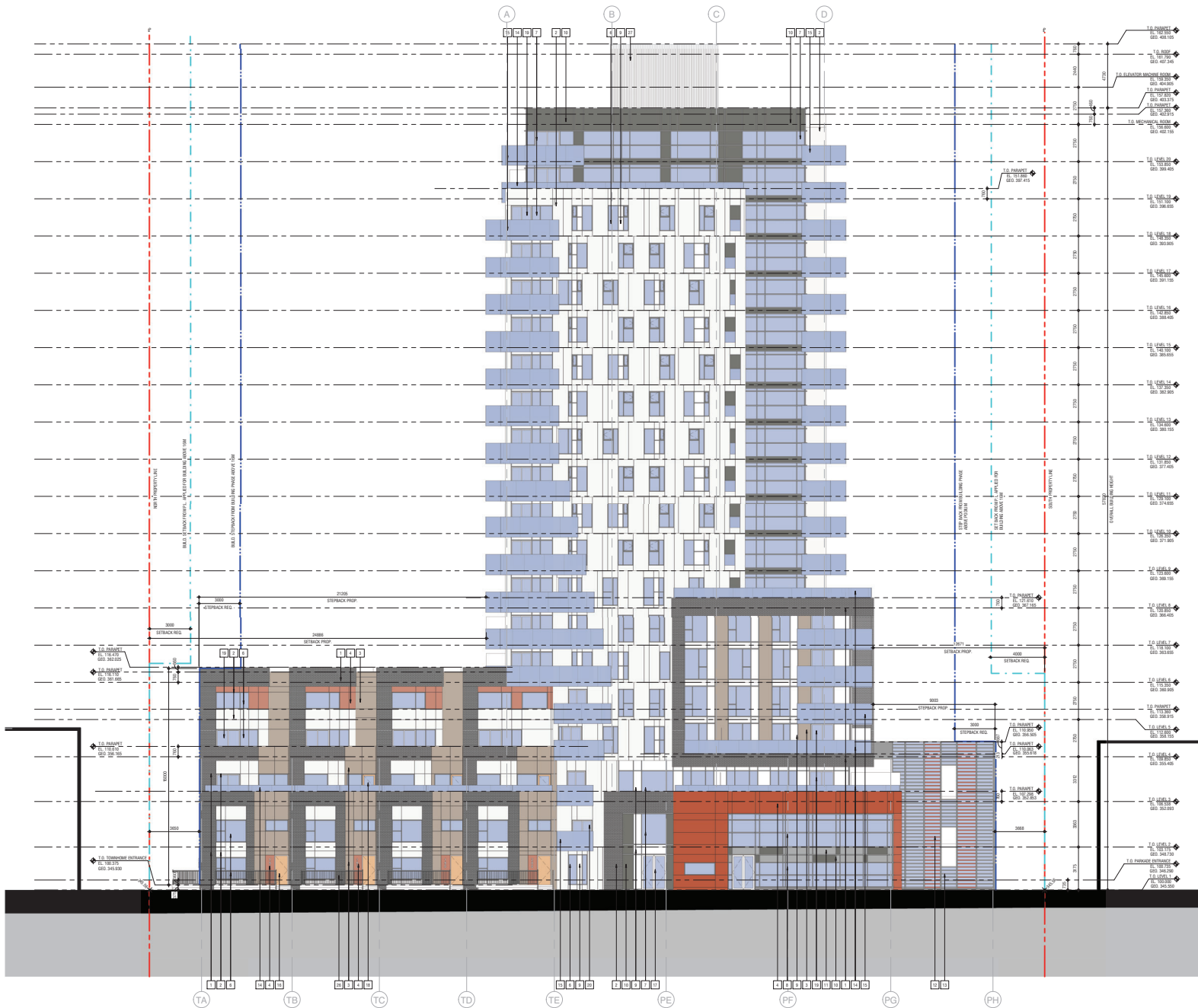
Elevation - Code Legend	
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2	CEMENTITIOUS CLADDING PANEL - WHITE
3	CEMENTITIOUS CLADDING PANEL - TAUP
4	CEMENTITIOUS CLADDING PANEL - TERRACOTTA
5	CEMENTITIOUS CLADDING PANEL - CHAMICAL
6	WOOD GLASS WINDOW C/W PREFINISHED ALUMINUM MILLION - CHAMICAL
7	WOOD GLASS WINDOW C/W PREFINISHED ALUMINUM MILLION - CHAMICAL
8	COMMERCIAL COMPONENT GLAZING SYSTEM C/W PREFINISHED ALUMINUM MILLION - CLASH INSULATED
9	INSULATED SPANDREL GLASS - WHITE
10	INSULATED SPANDREL GLASS - CHAMICAL
11	INSULATED SPANDREL GLASS - GREY
12	CERAMIC BAGUETTE PARANAL SCREENING SYSTEM - TERRACOTTA
13	CERAMIC BAGUETTE PARANAL SCREENING SYSTEM - CHAMICAL
14	GLASS GUARD (GLASS) SLAB MOUNTED
15	GLASS GUARD (GLASS) SLAB FACE MOUNTED
16	WINDOW WALL DOUBLE SLING DOOR C/W VISION GLASS INSERT
17	WINDOW WALL SLING DOOR C/W VISION GLASS INSERT
18	WINDOW WALL SLING DOOR C/W VISION GLASS INSERT
19	SLING DOOR C/W VISION GLASS INSERT
20	INSULATED YELLOW METAL DOOR - GREY
21	INSULATED YELLOW METAL DOOR - CHAMICAL
22	PREFINISHED ALUMINUM ACCESS GATE C/W VISION GLASS
23	PREFINISHED ALUMINUM PARKADE ACCESS GATE
24	PREFINISHED ALUMINUM ROLL UP SERVICE DOOR
25	PREFINISHED ALUMINUM GUARD RAIL
26	PREFINISHED METAL CLADDING

**SCHEDULE B**  
This forms part of application  
# DP23-0203 DVP23-0204  
City of Kelowna  
DEVELOPMENT PLANNING  
Planner initials MT



EAST ELEVATION (FACING LANE)  
SCALE 1:100





1 WEST ELEVATION (BERTRAM STREET ELEVATION)  
07/23/2023 11:10

# Elevation - Code Legend

- 1 STACK BRICK CLADDING - CHARCOAL
- 2 CONCRETE CLADDING PANEL - WHITE
- 3 CONCRETE CLADDING PANEL - TAUP
- 4 CONCRETE CLADDING PANEL - TERRACOTTA
- 5 CONCRETE CLADDING PANEL - CHARCOAL
- 6 VISION GLASS WINDOW C/W PREFINISHED ALUMINUM MULLION - CHARCOAL
- 7 VISION GLASS WINDOW WALL C/W PREFINISHED ALUMINUM MULLION - CHARCOAL
- 8 COMMERCIAL COMPONENT GLAZING SYSTEM C/W PREFINISHED ALUMINUM MULLION - CLEAR INSULATED
- 9 INSULATED SPANDREL GLASS - WHITE
- 10 INSULATED SPANDREL GLASS - GREY
- 11 CERAMIC BASSETTE FRAMEWORK SYSTEM - TERRACOTTA
- 12 CERAMIC BASSETTE FRAMEWORK SYSTEM - CHARCOAL
- 13 GLASS GUARD (GLASS) SLAB MOUNTED
- 14 GLASS GUARD (GLASS) SLAB FACE MOUNTED
- 15 WINDOW WALL DOUBLE SLING DOOR C/W VISION GLASS INSERT
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- 18 SLING DOOR C/W VISION GLASS INSERT
- 19 INSULATED YELLOW METAL DOOR - GREY
- 20 INSULATED YELLOW METAL DOOR - CHARCOAL
- 21 PRE-FINISHED ALUMINUM ACCESS GATE C/W VISION GLASS
- 22 PRE-FINISHED ALUMINUM ACCESS GATE
- 23 PRE-FINISHED ALUMINUM ROLL UP SERVICE DOOR
- 24 PRE-FINISHED ALUMINUM GUARD RAIL
- 25 PREFINISHED METAL CLADDING

## SCHEDULE B

This forms part of application  
# DP23-0203 DVP23-0204

Planner  
initials MT



BUILDING ELEVATIONS - WEST (BERTRAM STREET)

BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT  
1451 & 1469 BERTRAM ST., KELOWNA, BC  
BC HOUSING



NOT FOR CONSTRUCTION

This drawing represents proposed design. Do not build these changes.

Scale of dimensions, elevations and details, and report any changes. Do not alter or delete any dimensions, scale of construction, level of construction, or any other information without the approval of the architect. Any changes must be approved by the architect.

All drawings must be stamped and signed by the architect. These drawings are for the use of the architect only. They are not to be used for any other purpose without the approval of the architect.

ISSUES FOR	DATE
1. REVIEW	2023-12-15
2. DP SUBMISSION	2023-12-15
3. DP SUBMISSION	2023-12-15
4. DP SUBMISSION	2023-12-15
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100. DP SUBMISSION	2023-12-15

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CHECKED BY: JKL

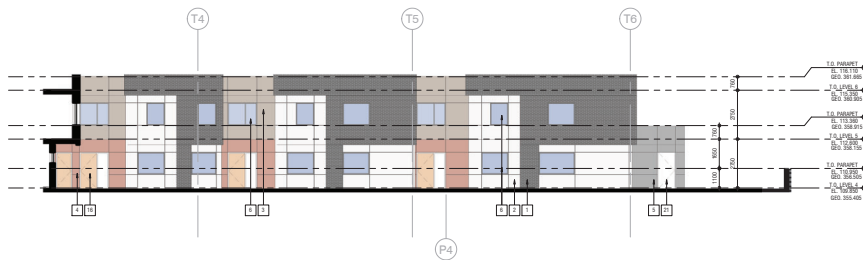
REVISIONS:

DP3.3

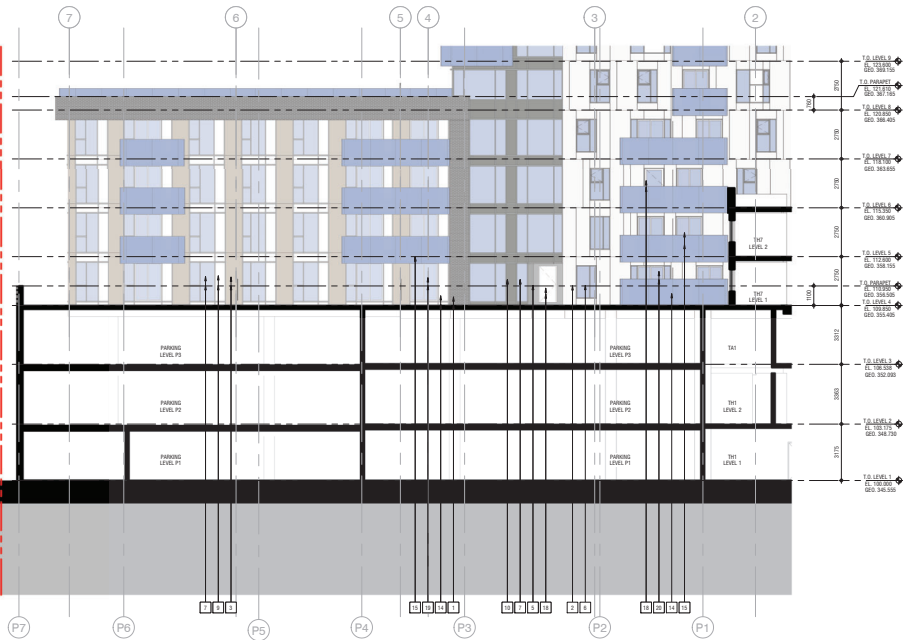
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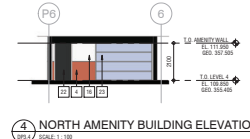
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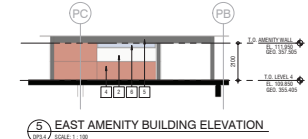
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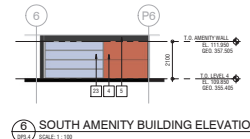
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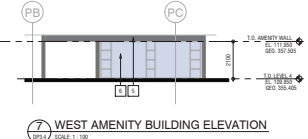
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SCALE: 1:100



5 EAST AMENITY BUILDING ELEVATION  
SCALE: 1:100



6 SOUTH AMENITY BUILDING ELEVATION  
SCALE: 1:100



7 WEST AMENITY BUILDING ELEVATION  
SCALE: 1:100

Elevation - Code Legend	
1	STACK BOND BRICK CLADDING - CHARCOAL
2	CERAMITIC CLADDING PANEL - WHITE
3	CERAMITIC CLADDING PANEL - TAUPE
4	CERAMITIC CLADDING PANEL - TERRACOTTA
5	CERAMITIC CLADDING PANEL - CHARCOAL
6	VISION GLASS WINDOW C/W PREFINISHED ALUMINUM MULLION - CHARCOAL
7	VISION GLASS WINDOW C/W PREFINISHED ALUMINUM MULLION - CHARCOAL
8	COMMERCIAL COMPONENT GLAZING SYSTEM C/W PREFINISHED ALUMINUM MULLION - CLEAR FINISHED
9	INSULATED SPANDREL GLASS - WHITE
10	INSULATED SPANDREL GLASS - CHARCOAL
11	INSULATED SPANDREL GLASS - GREY
12	CERAMIC BASALITE PARAPET SENSING SYSTEM - TERRACOTTA
13	GLASS GUARD (GLASS) SLAB MOUNTED
14	GLASS GUARD (GLASS) SLAB FACE MOUNTED
15	INSULATED YELLOW METAL DOOR - CHARCOAL
16	WINDOW WALL DOUBLE SWING DOOR C/W VISION GLASS INSERT
17	WINDOW WALL SWING DOOR C/W VISION GLASS INSERT
18	WINDOW WALL SWING DOOR C/W VISION GLASS INSERT
19	SLIDING DOOR C/W VISION GLASS INSERT
20	INSULATED YELLOW METAL DOOR - CHARCOAL
21	PREFINISHED ALUMINUM ACCESS GATE C/W VISION GLASS
22	PREFINISHED ALUMINUM PARKADE ACCESS GATE
23	PREFINISHED ALUMINUM ROLL UP SERVICE DOOR
24	PREFINISHED ALUMINUM GUARD RAIL
25	PREFINISHED METAL CLADDING

SCHEDULE

B

This forms part of application

# DP23-0203 DVP23-0204

Planner initials

MT

City of Kelowna

DEVELOPMENT PLANNING

BC HOUSING - BERTRAM STREET AFFORDABLE HOUSING PROJECT

1451 & 1469 BERTRAM ST. KELOWNA, BC

BC HOUSING

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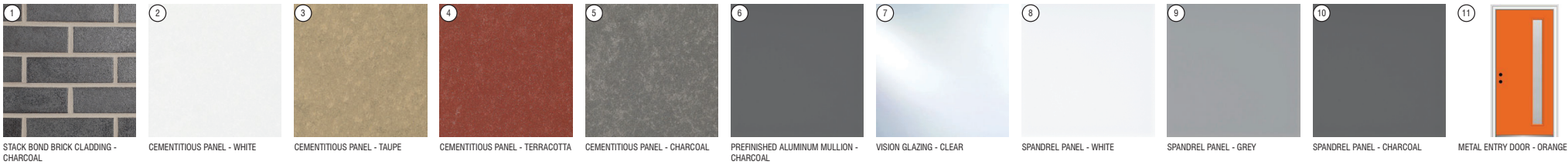
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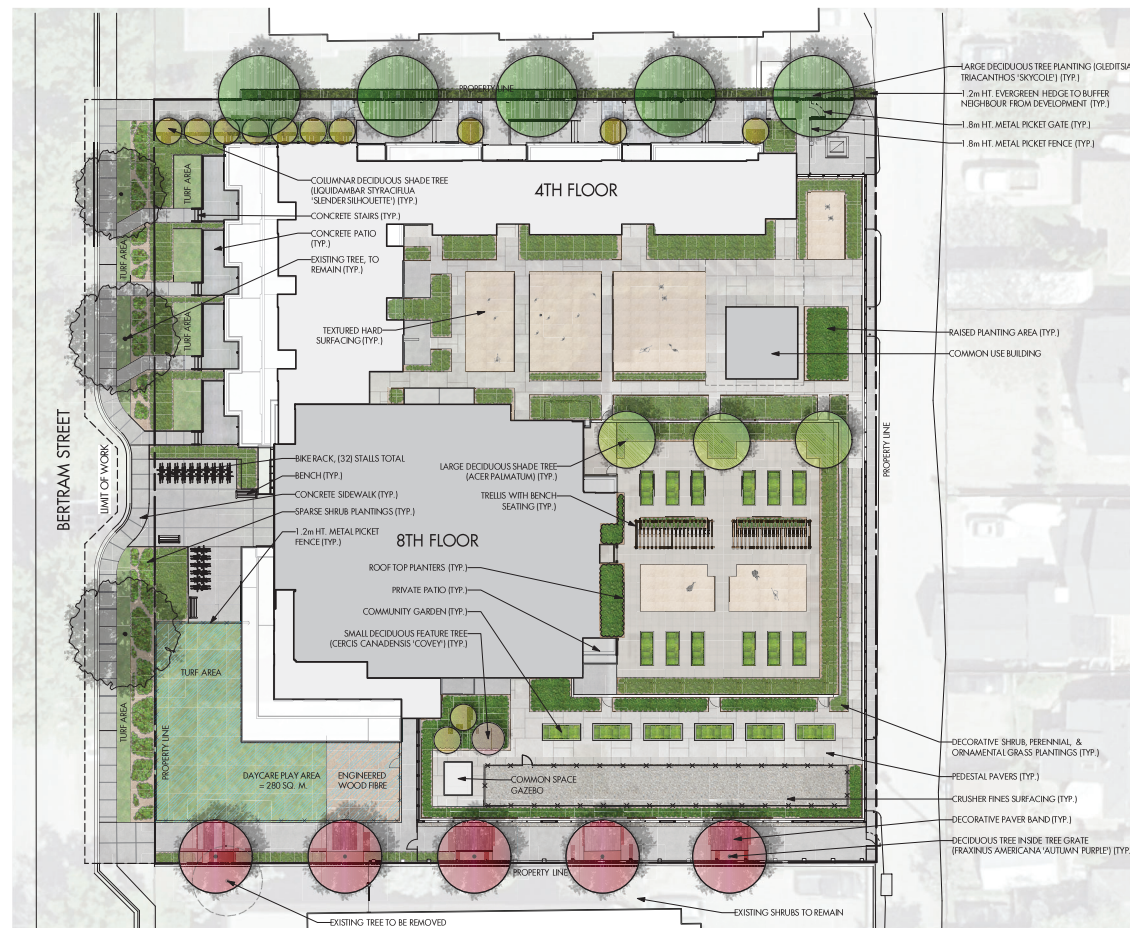
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DP3.4

MATERIAL COLOUR BOARD





**SCHEDULE C**

This forms part of application  
# DP23-0203 DVP23-0204

Planner Initials **MT**

City of Kelowna  
DEVELOPMENT PLANNING

### NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFF-SITE LANDSCAPE WORKS TO MEET CITY OF KELLOWNA BYLAW 1237'S STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TREE BEDS TO RECEIVE A MINIMUM 1000mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREA FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.
7. FOR CONFORMANCE WITH DEVELOPMENT PERMIT LANDSCAPE REQUIREMENTS, THE PRIME CONTRACTOR AND/OR CONSULTANTS RESPONSIBLE FOR SITE SERVING AND UTILITIES SHALL ENSURE THAT ALL BUILDING PERMIT SUBMITTALS ARE COORDINATED WITH LANDSCAPE ARCHITECTURAL SUBMITTALS.

### PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
<b>TREES</b>			
ACER PALMATUM	JAPANESE MAPLE	5	5cm CAL
CERCIS CANADENSIS 'COVEY'	LAVENDER TWIST REDBUD	1	3cm CAL
GLEDITSIA TRIACANTHOS 'SKYCOLE'	SKYLINE HONEYLOCUST	5	5cm CAL
FRAXINUS AMERICANA 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	5	5cm CAL
LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	12	5cm CAL
<b>SHRUBS</b>			
Berberis 'Thunbergii' 'Monom'®	CHERRY BOMB BARBERRY	35	#02 CONT. / 1.2M O.C. SPACING
BURULUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	35	#02 CONT. / 1.2M O.C. SPACING
CORNUS SANGUINEA 'MIDWINTER FIRE'	MIDWINTER FIRE DOGWOOD	23	#02 CONT. / 1.5M O.C. SPACING
EUCENTHUS ALATUS 'SELECT'	FIRE BALL BURNING BUSH	35	#02 CONT. / 1.2M O.C. SPACING
JUNIPERUS 'PYLIMWOOD'	PYLIMWOOD JUNIPER	13	#02 CONT. / 2.0M O.C. SPACING
PINUS SYLVESTRIS 'GLAUCANANA'	DWARF BLUE SCOTCH PINE	16	#02 CONT. / 1.8M O.C. SPACING
ROSA MELANDRA	ROYAL BONICA ROSE	25	#02 CONT. / 1.2M O.C. SPACING
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>			
AQUILEGIA VULGARIS 'BLACK BARLOW'	BLACK BARLOW COLUMBINE	60	#01 CONT. / 0.6M O.C. SPACING
CAULOPACHYSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	39	#01 CONT. / 0.75M O.C. SPACING
DICENTRA SPECTABILIS	PINK BLEEDING HEART	22	#01 CONT. / 0.9M O.C. SPACING
NEPETA X PAJASSINI 'WALKER'S LOW'	WALKER'S LOW CATMINT	15	#01 CONT. / 1.2M O.C. SPACING
PACHYSTANDRA TERMINALIS	JAPANESE SPURGE	39	#01 CONT. / 0.75M O.C. SPACING
PAUSTIMA CANBYI	CLIFF GREEN	39	#01 CONT. / 0.75M O.C. SPACING
POLYNESTRIUM ACROICURIOIDES	FOUNTAIN GRASS	15	#01 CONT. / 1.2M O.C. SPACING
RUDIBECKIA FLUGIDA 'GOLDSTURM'	GOLDSTURM CONERLOWER	39	#01 CONT. / 0.75M O.C. SPACING
SEDUM SPECTABILE 'AUTUMN FIRE'	AUTUMN FIRE STONECROP	60	#01 CONT. / 0.6M O.C. SPACING
<b>VINES</b>			
LONICIBA HECROTII 'GOLDPLANE'	GOLDPLANE HONEYBUCKLE	22	#01 CONT. / SPACING PER PLANS
PARTICOCISSUS QUINQUEFLOIA	VIRGINIA CREEPER	22	#01 CONT. / SPACING PER PLANS



PROJECT TITLE

**BERTRAM BC HOUSING**  
1451 & 1469 BERTRAM STREET

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL**  
**LANDSCAPE PLAN**

REVISIONS / REVIEWS

NO.	DATE	REVISION
1	2023.10.10	Review
2	2023.02.02	Development Permit
3	2023.02.01	Development Permit
4	2023.02.02	Development Permit

PROJECT NO.

10007

DESIGN BY

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DRAWN BY

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CHECKED BY

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DATE

10/10/2023

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## FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

**Chapter 2 - The Design Foundations:** apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

**The General Residential and Mixed Use Guidelines:** provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

### Chapter 2 - Design Foundations

Apply To All Projects

Page 18-8

#### Section 2.1 - General Residential and Mixed Use Design Guidelines

Page 18-9

#### Section 2.2 - Achieving High Performance

Page 18-17

Chapter 3  
Townhouses & Infill

Page 18-19

Chapter 4  
Low & Mid-Rise  
Residential &  
Mixed Use

Page 18-34

Chapter 5  
High-Rise  
Residential &  
Mixed Use

Page 18-42

\*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	N/A	1	2	3	4	5
<b>2.1 General residential &amp; mixed use guidelines</b>						
<b>2.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.	✓					
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.				✓		
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						✓
f. Avoid blank, windowless walls along streets or other public open spaces.					✓	
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	✓					
h. In general, establish a street wall along public street frontages to create a building height to street width ratio of 1:2, with a minimum ratio of 11:3 and a maximum ratio of 1:1.75. <ul style="list-style-type: none"> <li>Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets);</li> <li>The street wall does not include upper storeys that are setback from the primary frontage; and</li> <li>A 1:1 building height to street width ratio is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys.</li> </ul>					✓	
<b>2.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.					✓	
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.						✓
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> <li>Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and</li> <li>Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice.</li> </ul>						✓

<b>2.1.3 Site Planning</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.	✓					
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						✓
c. Limit the maximum grades on development sites to 30% (3:1)	✓					
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> <li>Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible;</li> <li>Incorporating terracing to create usable open spaces around the building</li> <li>Using the slope for under-building parking and to screen service and utility areas;</li> <li>Design buildings to access key views; and</li> <li>Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped).</li> </ul>	✓					
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						✓
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	✓					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						✓
<b>2.1.4 Site Servicing, Access, and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						✓
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						✓
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> <li>Underground (where the high water table allows)</li> <li>Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage);</li> </ul>						✓

<ul style="list-style-type: none"> <li>Garages or at-grade parking integrated into the building (located at the rear of the building); and</li> <li>Surface parking at the rear, with access from the lane or secondary street wherever possible.</li> </ul>						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.	✓					
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> <li>Landscaping;</li> <li>Trellises;</li> <li>Grillwork with climbing vines; or</li> <li>Other attractive screening with some visual permeability.</li> </ul>	✓					
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> <li>Covered short-term parking in highly visible locations, such as near primary building entrances; and</li> <li>Secure long-term parking within the building or vehicular parking area.</li> </ul>						✓
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						✓
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.						✓
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.						✓
<b>2.1.5 Streetscapes, Landscapes, and Public Realm Design</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Site buildings to protect mature trees, significant vegetation, and ecological features.						✓
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						✓
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						✓
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> <li>Locating outdoor spaces where they will receive ample sunlight throughout the year;</li> <li>Using materials and colors that minimize heat absorption;</li> <li>Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and</li> <li>Using building mass, trees and planting to buffer wind.</li> </ul>						✓
f. Use landscaping materials that soften development and enhance the public realm.						✓

g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.						✓
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.	✓					
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> <li>Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and</li> <li>Using recycled water irrigation systems.</li> </ul>	✓					
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	✓					
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.	✓					
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> <li>Minimizing light trespass onto adjacent properties;</li> <li>Using full cut-off lighting fixtures to minimize light pollution; and</li> <li>Maintaining lighting levels necessary for safety and visibility.</li> </ul>	✓					
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.	✓					
<b>2.1.6 Building Articulation, Features and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> <li>Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks;</li> <li>Repeating window patterns on each step-back and extension interval;</li> <li>Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and</li> <li>Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval.</li> </ul>						✓
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs.  Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters;						✓

ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.						✓
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.				✓		
f. Provide weather protection such as awnings and canopies at primary building entries.			✓			
g. Place weather protection to reflect the building's architecture.				✓		
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.	✓					
i. Provide visible signage identifying building addresses at all entrances.	✓					

SECTION 5.0: HIGH-RISE RESIDENTIAL & MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	N/A	1	2	3	4	5
<b>5.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
a. Design podiums to have transparent frontages to promote 'eyes on the street', using strategies such as: <ul style="list-style-type: none"> <li>• Having continuous commercial and retail uses with windows and primary entrances facing the street; and</li> <li>• Having ground-oriented residential units with windows and primary entrances facing the street.</li> </ul>						✓
b. For buildings on corner sites with retail frontages, ensure there are active frontages on both facades by wrapping the primary retail façade to the secondary frontage. The primary façade can be emphasized by using higher quality materials and detailing and creating a more prominent entrance.	✓					
c. For residential podiums with townhouse frontages, refer to Section 3.1 for Guidelines for that portion of the building.						✓
d. Locate private, indoor amenity facilities such as bicycle storage along secondary street frontages as opposed to primary street frontages.	✓					
e. Blank walls over 5 m in length along a commercial frontage are strongly discouraged and should be avoided.	✓					
<b>Building Address and Access</b>						
f. Use architectural and landscape features to create well-defined, clearly visible and universally acceptable primary building entrances. Additionally:					✓	

<ul style="list-style-type: none"> <li>Differentiate between residential and commercial entrances;</li> <li>Design lobby entryways to ensure they are well-defined and visually emphasized in the façade;</li> <li>For retail frontages, provide small format retail storefronts with frequent entrances and a minimum depth of 10 m; and</li> <li>Locate main building entries close to transit stops.</li> </ul>						
<b>Sidewalk Interface</b>						
g. Design the streetscape fronting building to have defined zones as follows: <ul style="list-style-type: none"> <li>Frontage zone next to the building that may include patios, seating or space for pedestrians to access building entrances;</li> <li>Pedestrian zone that accommodates pedestrians walking along the sidewalk;</li> <li>Furnishing/planting zone that provides space for street trees, landscaping, seating, and lighting; and</li> <li>Edge zone that provides a buffer from moving bicycles and vehicles.</li> </ul>						✓
h. Provide a generous sidewalk width and space for streetscape amenities such as street trees, benches & patios.						✓
<b>5.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
<b>Podium</b>						
a. Provide a minimum first floor height of 4.5 metres, measured from grade.						✓
b. Provide a minimum podium height of 2 storeys and a maximum podium height of 4 storeys, and ensure that the total podium height does not exceed 80% of the adjacent street right-of-way width.						✓
c. On corner sites, vary the height and form of the podium to respect and respond to the height and scale of the existing context on adjacent streets.	✓					
d. When adjacent sites are lower in height and are not anticipated to change, provide a transition in the podium height down to lower-scale neighbours. <ul style="list-style-type: none"> <li>When adjacent sites include heritage buildings, design the scale and height of the podium to align with the heritage building height.</li> </ul>						✓
<b>Tower Middle</b>						
e. Orient towers in a north/south direction.					✓	
f. A maximum of four towers should be located within an individual block, with staggered tower spacing.						✓
<b>5.1.3 Site Planning</b>	N/A	1	2	3	4	5
<b>Building Placement</b>						
a. Site podiums parallel to the street and extend the podium along the edges of streets, parks, and open space to establish a consistent street wall.						✓
b. Additional considerations for building placement include:						✓

<ul style="list-style-type: none"> <li>Site towers to be setback from the street wall and closer to the lane</li> <li>Greater setbacks can be provided at strategic points or along the entire frontage for increased architectural interest and improved pedestrian experience, for example to provide space for tree planting, wider sidewalks, plazas and other open spaces.</li> <li>Greater setbacks can be provided along retail streets in order to accommodate street cafes and patios (3 – 4 m).</li> <li>On corner sites with retail frontage, provide a triangular setback 4.5 m in length abutting along the property lines that meet at each corner of the intersection.</li> <li>Wherever possible, retain existing landscaped streetscapes by providing generous setbacks for trees and plantings.</li> </ul>						
<b>Building Separation</b>						
c. Maintain a minimum spacing distance of 25 m between towers, measured from the exterior walls of the buildings, including balconies.						✓
d. Place towers away from streets, parks, open space, and neighbouring properties to reduce visual and physical impacts of the tower.						✓
<b>Fit and Transition</b>						
e. Promote fit and transition in scale between tall buildings and lower-scaled buildings, parks, and open spaces by applying angular planes, minimum horizontal separation distances, and other strategies such as building setbacks and stepbacks to limit shadow and visual impacts.						✓
<b>Solar Access</b>						
f. Orient buildings to maximize solar access to adjacent streets and public spaces, while also considering optimizing for solar orientation to improve energy performance and occupant comfort. Strategies for minimizing impact on solar access include: <ul style="list-style-type: none"> <li>Limiting the scale and height of the podium;</li> <li>Designing slender towers with generous separation distances;</li> <li>Varying the height of towers on sites with multiple towers; and</li> <li>Locating towers on site to minimize shadowing adjacent buildings and open spaces.</li> </ul>						✓
<b>Views from the Public Realm</b>						
g. Site buildings to create, frame, or extend views from the public realm to important natural and human made features (e.g. to Okanagan Lake) by using strategies such as varying setbacks to protect important views.	✓					
<b>5.1.4 Site Servicing, Access, and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Wherever possible, provide access to site servicing and parking at the rear of the building or along a secondary street. Through-lanes are encouraged to minimize the need for vehicle turnarounds on site.						✓

b. When parking cannot be located underground due to the high water table and is to be provided above ground, screen the parking structure from public view as follows: <ul style="list-style-type: none"> <li>On portions of the building that front a retail or main street, line the above ground parking with active retail frontage;</li> <li>On portions of the building that front onto non-retail street, line the above ground parking with active residential frontage, such as ground oriented townhouse units;</li> <li>When active frontages are not able to be accommodated, screen parking structures by using architectural or landscaped screening elements;</li> <li>On corner sites, screen the parking structure from public view on both fronting streets by using the appropriate strategy listed above.</li> </ul>					✓	
c. An additional acceptable strategy for mitigating visual impacts from above ground parking is to create a setback between the ground floor and upper storeys of the podium that can accommodate significant soil volumes for planting trees and other landscaping to screen the parking structure. <ul style="list-style-type: none"> <li>Public art can also be used to mitigate visual impacts from blank walls on upper storey podium levels.</li> </ul>	✓					
d. Minimize the visual impact of garage doors, parking entrances and service openings on the public realm by using strategies such as recessing, screening, and site minimization. <ul style="list-style-type: none"> <li>Avoid split level, raised or sunken parkade entrances.</li> </ul>					✓	
e. Locate drop-off areas into the side or rear of the site and provide pedestrian access to the street frontage.	✓					
f. Provide clearly visible pedestrian access to and from parking areas.						✓
g. Integrate service connections, vents, mechanical rooms and equipment with the architectural treatment of the building, and/or locate to minimize visual impact and screen from view with materials and finishes compatible with the building.						✓
<b>5.1.5 Publicly Accessible and Private Open Spaces</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
<b>Publicly Accessible Open Space</b>						
a. Wherever possible, include publicly accessible open space on-site, such as hard or soft landscaped setbacks, plazas, courtyards, and mid-block pedestrian connections.	✓					
b. Define and animate the edges of open spaces with well-proportioned podiums and active uses at-grade.						✓
c. Locate and design publicly accessible open space to: <ul style="list-style-type: none"> <li>Be directly accessible from the fronting public sidewalk;</li> <li>Maximize access to sunlight and encourage year-round use through the use of landscaping, seating, and weather protection;</li> <li>Where possible, complement and connect with publicly accessible open space on neighbouring properties; and</li> <li>Maximize the safety, comfort, amenity, and accessibility.</li> </ul>	✓					

d. On larger sites, use publicly accessible open space to provide through-block pedestrian connections.	✓					
e. Where provided, tailor furniture elements as appropriate to encourage a range of seating and gathering opportunities, including both fixed and unfixed seating to allow for flexibility of use.	✓					
<b>Private Open Spaces</b>						
f. Provide private outdoor amenity spaces on site, such as balconies, private courtyards, private gardens, and accessible green roofs.						✓
g. Locate and design shared private outdoor amenity space to: <ul style="list-style-type: none"> <li>• Maximize access to sunlight;</li> <li>• Minimize noise, smell and/or visual impacts from site servicing or mechanical equipment;</li> <li>• Provide seating, lighting, trees, shade structures, and weather protection.</li> </ul>						✓
h. Locate private patios and gardens to minimize overlook from neighbours.						✓
i. For shared rooftop amenity spaces (e.g., on top of the podium parkade), ensure a balance of amenity and privacy by: <ul style="list-style-type: none"> <li>• Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and</li> <li>• Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units by using fencing, landscaping, or architectural screening.</li> </ul>						✓
j. Design private balconies to be large enough to provide usable outdoor space.						✓
k. Locate indoor amenity areas adjacent to shared outdoor amenity areas and allow access between the two areas.						✓
<b>5.1.6 Building Articulation, Features &amp; Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Design tall building to have a cohesive architectural look with a distinct podium, tower, and top. Strategies for achieving this includes changes in articulation, materials, and the use of step backs.						✓
<b>Podium</b>						
b. Provide architectural expression in a pattern, scale, and proportion that is in relation to neighbouring building and that differentiates it from the tower. Examples of such design elements include the use of cornice lines, window bays, entrances, canopies, durable building materials, and energy efficient fenestration.						✓
c. Highlight primary retail facades with high quality materials and detailing with particular attention to building entrances.	✓					
d. Avoid blank walls, but if necessary, articulate them with the same materials and design as other active frontages.					✓	
e. Along mixed-use and commercial street frontages, avoid locating balconies (projecting or inset) within the first 2 storeys of the	✓					

podium. Between 3 and 6 storeys, inset balconies behind the streetwall.						
f. Provide weather protection and signage in accordance with Guidelines found in Section 4.1.6 as well as lighting in accordance with Section 2.1.5.				✓		
<b>Tower Middle</b>						
g. On sites with multiple towers, provide variation in the design and articulation of each tower façade to provide visual interest while maintaining a cohesive architecture overall.	✓					
h. Design balconies to limit increases in the visual mass of the building and to become an extension of interior living space, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance. • Consider that inset or partially inset balcony arrangements may offer greater privacy and comfort, particularly on higher floors.					✓	
<b>Tower Top</b>						
i. Design the top of tall buildings to terminate and be distinguishable from the middle building and to make a positive contribution to the skyline. • Design and screening of mechanical rooms, and incorporation of roof top amenity spaces and architectural lighting, can be used to distinguish the tower top.				✓		
j. Setback the upper floors of the tower and incorporate a projecting cornice or other feature to terminate the building and contribute to a varied skyline.				✓		



ATTACHMENT C

This forms part of application  
# D23-0203 DVP23-0204

Planner Initials MT

City of Kelowna  
DEVELOPMENT PLANNING

**S2 ARCHITECTURE**

**Bertram Street Affordable Housing Project**

**Project Planning Report and Design Rationale**

**(Revised 18<sup>th</sup> July 2024)**

## ***Leadership in Affordable Rental Housing for Downtown Kelowna***

*BC Housing – 1451 Bertram Street (Revised July 18<sup>th</sup>, 2024)*

### ***Introduction***

BC Housing's redevelopment initiative for 1451 Bertram Street responds to the urgent need for ***affordable non-market rental housing, affordable market rental housing, accessible housing and childcare services*** in Kelowna's downtown. *This redevelopment will benefit seniors, couples, individuals and families who face significant challenges in meeting their housing and childcare needs.*

In October 2021, City Council approved a form and character Development Permit (DP) on the subject property as well as a Development Variance Permit (DVP) to allow for a building height at 20 storeys and 63 metres. These approvals followed prior approvals including an Official Community Plan future land use amendment, rezoning, lot consolidation, lane dedication and childcare covenant.

In October 2023, BC Housing's DP and DVP expired. Redevelopment of the property, however, remains a high priority, and BC Housing is now resubmitting the permit applications to extend Council's DP and DVP approval. These approvals will allow BC Housing to move forward in 2024 to prepare and submit the subsequent building permit.

Given the urban and architectural design leadership invested in BC Housing's 2021 DP and DVP application, no *exterior building* or site changes were necessary to meet the City's now more rigorous OCP development permit guidelines. *Internal design* changes in the parkade were necessary to attempt to best meet the new zoning requirements. Despite these changes, in addition to the original height variance approved, the project will need a variance to the number of parking stalls, the floorplate of level 7, the maximum podium height, the parkade exposure to Bertram Street, the stepback to Bertram and the north setback above 16 meters.

BC Housing's investment in 162 new apartments and 14 new townhomes in the City Centre will contribute to a more compact, sustainable, and socioeconomically diverse urban form for Kelowna. This affordable purpose build rental development will allow for more efficient use of existing municipal services and infrastructure and will replace aging municipal infrastructure along Bertram Street with new infrastructure, built to today's environmentally progressive standards. The redevelopment will meet the BC Step Code 3 standard for energy efficiency and future residents will benefit from multi-modal transportation options and incentives.

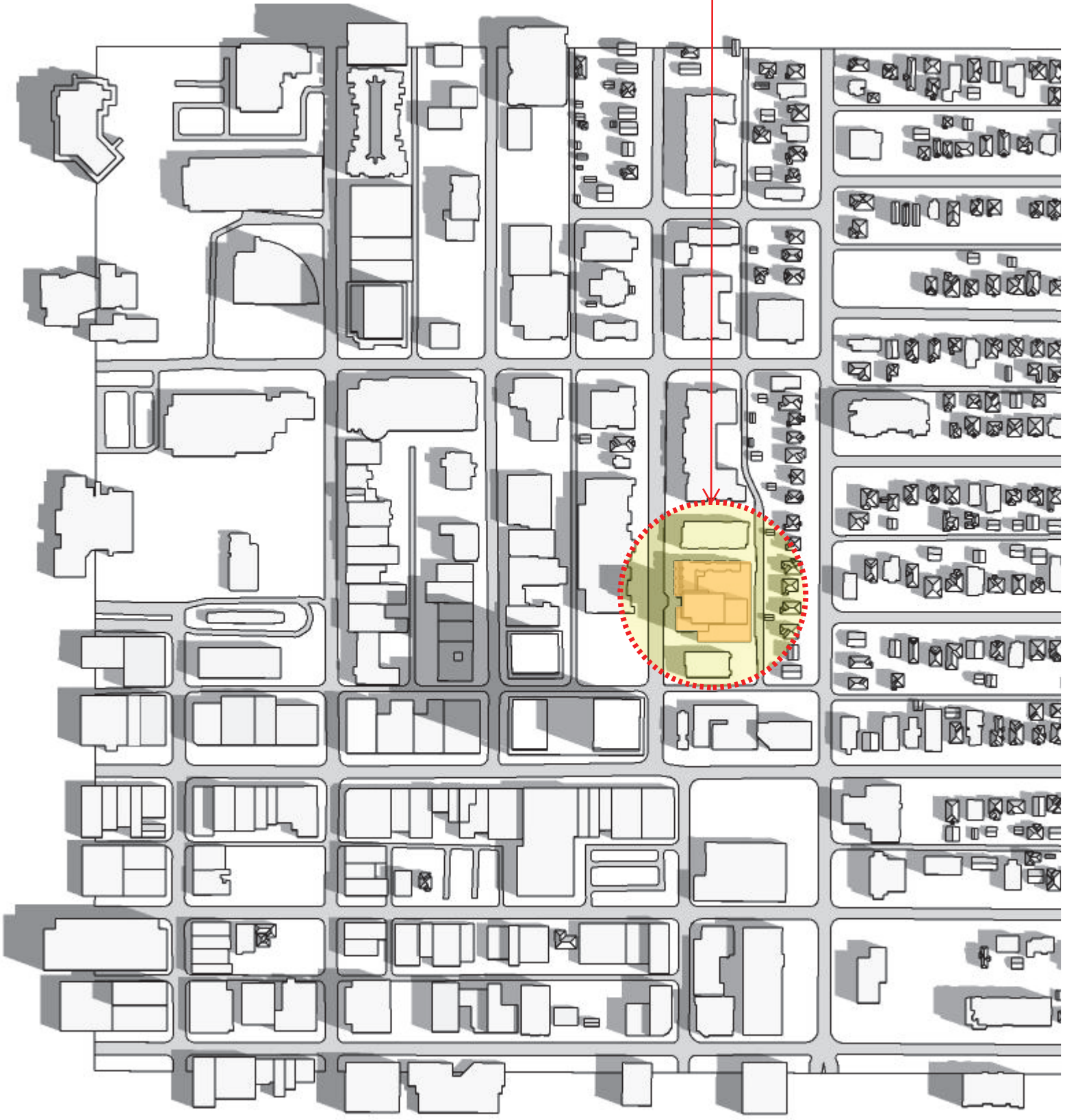
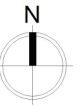
Kelowna's downtown will benefit from the vitality future residents will bring to the area and from the diversity of housing options provided. Special attention is paid to building an *inclusive* community, integrating and connecting families, seniors and youth from disperse socioeconomic backgrounds. Housing will support aging in place and the unique needs of people with disabilities, including the provision for dedicated wheelchair accessible housing. 11% of the units in the project are wheelchair accessible which is twice the minimum 5% BC Housing requirement. An on-site childcare will support local families, by providing childcare options close to work and home for approximately 39 children.

The proposed form and character of the redevelopment delicately balances the importance of remaining sensitive to the existing residential character of the neighbourhood, while creating a

proposal that is compatible with the area's future development context. Overall massing, height transitions, compatible setbacks, facade articulation and other architectural details have been carefully considered to ensure the new development "fits" with and enhances the neighbourhood context, both today and in the future. Integration of these design details reflect an on-going public involvement process that has proactively anticipated neighbourhood concerns and has integrated feedback received directly from neighbours. Significant consultation milestones included BC Housing's outreach on early redevelopment concepts and then another outreach on the draft development application. Special attention has been paid through the engagement process to working directly with adjacent neighbours along shared property lines.

It is notable that the redevelopment will implement key plans and policies established by the City, including realization of the key cornerstones of the *Kelowna's Healthy Housing Strategy* and *Healthy City Strategy* - healthy housing, inclusive communities, healthy neighbourhood design, healthy natural environments, healthy transportation and healthy food systems. BC Housing believes strongly that the Bertram Street redevelopment proposal is respectful of the neighbourhood residents who currently make Bertram Street their home, and that the new development will make a significant and positive difference in people's lives. The proposal will contribute to the health and vibrancy of Bertram Street, Kelowna's downtown and the community as a whole, and will stand out as an initiative that both the City and BC Housing can be proud of.

**PROJECT SITE: 1451 BERTRAM STREET**



## ***Affordable Rental Housing Needs***

The City of Kelowna's Housing Wheelhouse is the foundation for defining housing categories in Kelowna. The Wheelhouse concept recognizes that, like other cities, Kelowna's housing stock needs to reflect the diverse socioeconomic and demographic needs of Kelowna's residents and that housing should not focus exclusively on market housing or home ownership. The Bertram Street redevelopment responds to the need for diverse housing in the Wheelhouse categories of "Rental Housing" and "Subsidized Rental Housing". The housing market in Kelowna continues to have a limited supply and a high demand for purpose-build rentals, and there is a significant and growing demand for subsidized rentals.

The City's Housing Needs Assessment also identifies a significant gap in family-oriented housing, including three-bedroom rental units and housing for the "missing-middle". The Bertram redevelopment proposes a significantly higher proportion of three-bedroom units than would otherwise be developed within a market rental or condominium apartment project; and it proposes a number of townhomes suitable to help address the growing demand for walkable, ground-oriented family urban living.

The proposal directly supports the implementation the City's OCP Housing Availability Policy and the City's vision established by the Healthy Housing Strategy – i.e., to ensure that "housing needs of all Kelowna residents are met through affordable, accessible and diverse housing options." The proposal also directly supports implementation of the City's Imagine Kelowna community vision. Principle 2 (Smarter) of that vision is grounded in the goal to "build healthy neighbourhoods that support a variety of households, income levels and life stages. Everyone in our community should have the ability to find stable and appropriate housing."

## ***Childcare Needs***

There is a clear and important need for high-quality childcare in the Okanagan as a whole and in the Kelowna's downtown neighbourhood in particular. As the downtown is redeveloped, it is important that amenities accompany new housing, and that these amenities support downtown as a viable option for families. High-quality childcare keeps children safe and healthy, and helps children develop important social, emotional and communication skills. Childcare also allows parents, and women in particular, access options for employment and economic security. In 2020, the Central Okanagan childcare assessment (i.e. Community Childcare Planning), identified an *annual* need in Kelowna for an additional 30 childcare spaces for ages 0 to 5 years, and 1103 spaces for those between the ages 6 to 12.

## ***Need for Housing for Diverse Abilities***

The City's *Housing Needs Assessment* has identified a significant and going need for housing that incorporate universal and accessible design. Such housing supports aging in place and people for people with diverse abilities. "As of 2016, one in five Kelowna residents is over the age of 65. By 2040, the number will have increased to one in four. And within the senior demographic, 40% will be over the age of 80. These demographic changes will necessitate changes to housing design as residents encounter mobility challenges. New housing development, however, is responding to this future demographic shift slowly. Recent updates to the BC Building Code have forced some progress, but even simple, inexpensive design features to promote accessibility are rare in new construction. Incorporating universal and accessible design at the time of

construction allows residents to easily, and cost-effectively adapt their home without requiring significant renovations.”

The BC Housing proposal will include 5%, a minimum of 10 units, of wheelchair accessible housing. All homes will be designed based on universal design standards, all common areas will be designed to allow universal access and all outdoor areas will meet the City’s *Guidelines for Accessibility in Outdoor Areas*.

## ***Development Permit and Development Variance Permit Application***

The purpose of BC Housing’s application for 1451 Bertram Street is to pursue the following permits:

Development Permit for the form and character of High-Rise Residential and Mixed Use Developments, and a Development Variance Permits to vary the:

- maximum height from 12 storeys (44.0 m) to 20 storeys (63.0 m)
- minimum north setback by 35cm where the building is above 16.0 m, from 4.0 m to 3.65 m
- minimum stepback of the building, from lower portions of the building (facing Bertram St.) by 25 cm, from 3m to 2.75 m
- maximum parkade exposure to Bertram Street from 0% to 7%
- minimum number of parking spaces from 154 to 141.
- maximum floor plate for the 7th storey from 750 m2 maximum to 932 m2.
- maximum podium height from 16.00 m to 16.11 m

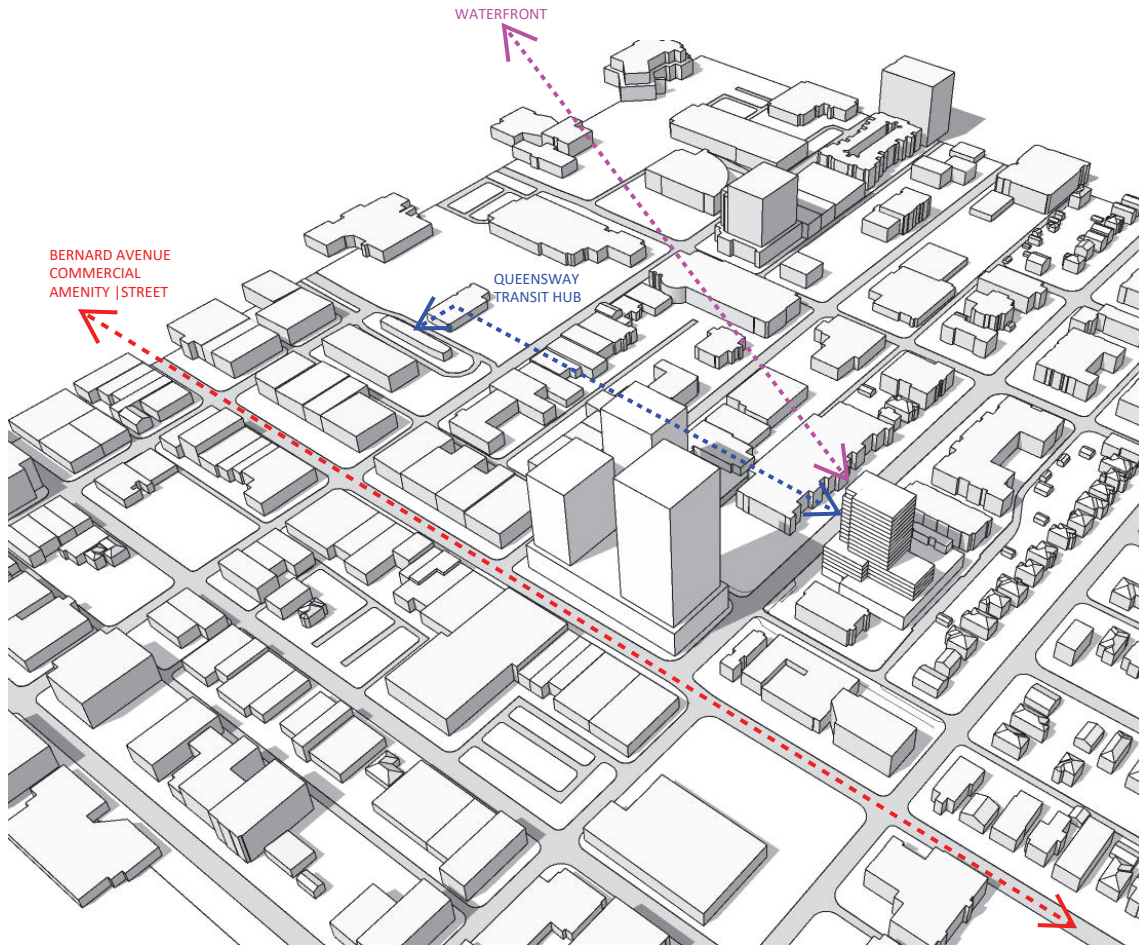
This application is being pursued to facilitate the development of 176 rental housing units and a childcare. 162 apartment units are proposed in a single 17 storey apartment building on a 3 storey parkade. 14 townhomes are also planned to face north and to face west towards Bertram Street as part of the design’s streetscape and “eyes on the street” initiative. The total height of the project will be 20 storeys and 63 metres.

## ***Neighbourhood Context***

The redevelopment site currently consists of one large property at 1451 Bertram Street. The subject property is bounded by Bertram Street on the west and a lane to the east. The north property line is shared with the Evangel Seniors’ Apartments (non-profit rental apartments) and the south property line is shared with the Elkar Apartments (market rental apartments).

Bertram Street is a tree-lined residential street, consisting predominately of three and four storey market and non-market rental apartments, as well as cooperative and market condominiums. A gravel drainage strip runs the length of the property. To the east of the subject property, across the lane, immediate uses are single-detached homes. A four storey apartment is located further along Richter Street. Where Bertram Street meets Bernard Avenue, the street historically transitioned to low-rise commercial uses, however, significant change is underway. A 34 storey condominium tower is now nearing occupancy at Bernard Avenue and Bertram Street along with a 13 storey office building. Adjacent to that, a 26 storey condominium was recently completed fronting on St. Paul Street, and construction is underway nearby on Doyle

Avenue for the future UBCO campus high-rises. With the tallest of the three towers at 43 storeys, the UBCO campus will include the tallest building between Calgary and Metro Vancouver. Further north of the subject property, a new 19 storey building by Mission Group is also approved.



**3 Dimensional View** looking at immediate Urban Adjacencies (view is looking towards a north west direction)

## Planning Context

The subject property is located within the City's Permanent Growth Boundary and the City's Downtown Urban Centre – one of the five Urban Centres planned to accommodate 44% of Kelowna's future growth. This proposal is consistent with the *Regional Growth Strategy* and the *Official Community Plan* (OCP) policies on compact urban form.

The proposed density and land uses are well supported in Kelowna's downtown by nearby community amenities, public transit and commercial, retail, health and personal services. Increasing residential densities in this walkable, mixed-use urban centre through the low vehicle dependent land use proposed (e.g., non-market rental housing and housing for people with diverse abilities), coupled with BC Housing's voluntary commitment to building to the BC Energy Step Code 3 standard, directly supports the implementation of the City's *Community Climate Action Plan*.

The proposed location achieves an exceptional walk-score of 86 and a bicycle score of 95 and provides electric vehicle plug-in and multi-modal incentives including outdoor, parkade and in-suit bicycle parking, as well as a bicycle wash and repair station. Given its location to the immediate shopping, business, recreation facilities, and transit, the site promotes the "15-minute city" approach to urban design, including improvement of the quality of life whereby residents' needs can be accessed within a 15 minute by foot, bicycle, or transit. Additionally, BC Housing will also be looking to pursue car-share opportunities as an additional amenity for the residents of this project. Landscaping on the podium level includes community gardens to support access to healthy food systems and large boulevard trees are retained along Bertram to achieve Kelowna's tree canopy targets.

The City's OCP sets out the guidelines for height as well as the form and character guidelines for High-Rise Residential and Mixed Use Developments. The general intention is to taper heights from taller buildings in the centre of Downtown to lower buildings towards Okanagan Lake and the adjacent Core Area Neighbourhoods. The proposal is consistent with this intention. At 20 storeys BC Housing's proposal provides a transition from the 34 storey development at Bertram and Bernard and is consistent with the area's grouping of tall buildings and evolving development context. The subject property is also located outside the Cultural District, outside the Downtown Heritage Area Boundary and does not impede views to Okanagan Lake.

Map 4.1 of the OCP establishes the majority of Bertram Street for future building heights of 12 storeys, with the exception of properties on Bertram at Bernard, which are set out for a future building height of 26 storeys. The OCP direction also allows for consideration of heights higher than the those outlined in Map 4.1, provided the proposal contains significant benefit to Kelowna citizens." BC Housing's project meets all of the significant community benefits specifically outlined by the OCP, including:

- Affordable rental housing
- A significant public amenity in form of a childcare facility
- Tree canopy protection within the road right of way
- Smaller tower floorplates to mitigate the impact on views and shadowing; and/or
- Outstanding and extraordinary architectural design.

It should also be noted that the project is designed at a density (i.e., 3.93 FAR) that is well within the zone maximum that the rental only density bonus allows (i.e., 4.3 FAR).

In recent years, the City has pursued an ambitious vision for building height in the immediate area. Redevelopment approvals for adjacent market condominiums have granted variances allowing for a 37% increase in some cases to the height set out by the Downtown Building Heights map. The Mission Group's St. Paul Street redevelopment, directly west of the subject property received approval for a height variance from 19 to 26 storeys. The Mission Group's market condominium project at Bertram and Bernard, located southwest of the subject property, received a height variance from 26 to 34 storeys; and further north on Bertram, Mission Group received height variance from 12 to 19 storeys. To the northwest on Doyle, at 43 storeys, the UBCO campus on Doyle will be the tallest building between Calgary and Metro Vancouver.

## Context-Sensitive Form and Character

A thorough review of the City's new OCP Form and Character Guidelines for High-Rise Residential and Mixed Use Development Permit applications was undertaken. The DP Guidelines establish a comprehensive range of design considerations, including: scale and massing, building articulation, features and materials; the building's relationship to the street; site servicing, access and parking; and publicly accessible and private open spaces.

Although these new guidelines are more rigorous than those in place when the project first received Council approval, the project design successfully meets and exceeds these new requirements through its high-quality site and architectural design. In addition, the proposed height, massing and site layout promote a context sensitive design to proactively address the needs and interests of neighbouring residents. Figure 1: Neighbourhood Fit, outlines the design features that will ensure a context sensitive redevelopment.

**Figure 1: "Neighbourhood Fit"**

<b><i>Appropriate Fit with the Downtown Urban Form and Skyline</i></b>	The proposed development will add to a grouping of tall buildings (i.e., 26, 34, and 13 storeys) in this specific area of downtown, is close to Bernard Avenue, outside of the heritage area, and is in a location that does not block lake views. Top floors will step back to add interest with the upper storeys.
<b><i>Appropriate Scale in Relation to the Size of the Property</i></b>	The subject property is a significant size, at 1.008 acres, and can comfortably accommodate a building of this height and massing. The proposed FAR is 3.93 which is well under the 4.3 permitted in the UC1r zone.
<b><i>Appropriate Land Use Transitions from Residential on Bertram to Commercial on Bernard</i></b>	The proposal has intentionally located the townhomes at the north end of the property to reinforce the residential nature of the street. The childcare is located towards the Bernard end of the property, which transitions to the commercial uses only Bernard.
<b><i>No Impact of the Parking Podium to the Quality of the Streetscape</i></b>	<p>Soil and water table conditions dictate an elevated parking podium. Podium height has been kept to a minimum at 10.25 metres and is well below (36% lower) the 16 metre height restriction.</p> <p>The podium façade is well hidden from the Bertram Street view by an active streetscape composed of townhomes and the childcare façade. The north façade is also concealed by townhomes and the west façade will include architectural details to disrupt the massing of the parkade wall.</p> <p>The south façade is broken up by a significant building setback for the childcare component and by architectural detailing of the parkade wall and landscaping between the adjacent properties.</p>

<b><i>Views are Maximized and Shadow Impacts are Minimized</i></b>	<p>The proposed development is designed to maximize view corridors and minimize shadow impacts.</p> <ul style="list-style-type: none"> <li>- The tower portion of the proposed development is located toward the centre of the property.</li> <li>- The separation distance of the proposed tower to the Mission Group tower on St.Paul Street is 44 metres and exceeds the 30 metre separation between towers.</li> <li>- The separation distance to the proposed tower to the Mission Group tower on Bernard at Bertram is 28.0 m and the proposal fully preserves the 40-degree panoramic view for the Mission group tower.</li> <li>- The tower floorplate above level 7 remains narrow at 669 square metres, which is well within (12% smaller) the maximum allowable area of 750 square metres.</li> <li>- Little to no impact on lake views</li> </ul>
<b><i>Effective Height Transitions from Lower to Upper Storeys</i></b>	<p>The overall height of the building effectively transitions and steps back to reduce the overall impact of the building height. Where the lot line of the subject property abuts the apartment to the north, the proposed buildings facing this lot line are stepped back such that there is less than a one storey height difference between the two buildings. To the south, the proposed building height is lower than the existing apartment. To the east, the transition of scale from the existing single-detached housing is achieved through the lane separation, transitioning to the three storey parkade before stepping back to the seven storey and then 20 storey portions of the apartment.</p>
<b><i>Residential Building Setbacks Reinforce the Residential Street Character</i></b>	<p>Setbacks from property lines are designed to reinforce the residential nature of Bertram Street and are similar to properties to the north and south. Although the UC1r zone allows development up to the property line (zero lot line condition), the proposal provides setbacks from a minimum of 4.10 metres up to 7.50 metres, for an average of 5.80 metres along Bertram Street, to protect and retain the existing boulevard tree root system.</p> <p>Additionally, 3.65 metre building setbacks on the north and south property lines has been provided to create appropriate separation from neighbours, reinforce the residential nature of the area, and provide light corridors between buildings.</p>
<b><i>Impacts on Neighbours' Privacy are Mitigated</i></b>	<p>The consultant team has worked with neighbours to ensure landscaping along the north and south property line is designed to encourage privacy for the existing neighbours to the north and to the south. As noted above, the proposal</p>

	is also designed with residential setbacks of 3.65 metres along shared property lines at ground level despite the zone allowing for a “0” setback.
<b><i>Interesting and High-Quality Bertram Streetscape Achieved</i></b>	The Bertram streetscape, from the road centerline to the building frontage has been designed as a high-quality public and semi-public space. Mature boulevard trees are preserved, new trees are planted, residential building setbacks are maintained, and sidewalks, benches, landscaping and bike facilities are carefully designed.
<b><i>Implements Crime Prevention Through Environmental Design Strategies (CPTED)</i></b>	<p>The walkout townhomes facing Bertram, include lower and upper storey windows, contributing to “eyes on street” and the overall safety of this area. Landscaping and fencing along the north and south property lines has been designed to allow natural surveillance of these pedestrian walkways. Gates ensure access control where needed and pedestrian level lighting is strategically located to illuminate potential hiding areas or targets for graffiti.</p> <p>Landscaping, fencing, gates, lighting, and other site design features will support other operational safety and security measures to support and reinforce Crime Prevention Through Environmental Design (CPTED). Detailed design of the parkade interior will reflect a complete CPTED review.</p>
<b><i>Implements Guidelines for Accessibility</i></b>	<p>Apartment housing will include 10 units of wheelchair accessible housing and all units will be designed based on universal design standards. All common areas will be designed to allow universal access and all outdoor areas will meet the City’s <i>Guidelines for Accessibility in Outdoor Areas</i>.</p> <p>The front entrance of the building is at finished grade and the main residential entrance and childcare entrances provide barrier free accessibility to the nearest sidewalk.</p>
<b><i>Downtown Heritage is not Impacted</i></b>	The proposal is outside the downtown heritage area and does not pose any impact on local heritage.
<b><i>Healthy Food Systems</i></b>	The top of the parking podium has been designed and irrigated to incorporate a community garden for residents. This activity will promote urban agriculture and residents’ social interaction and well-being.

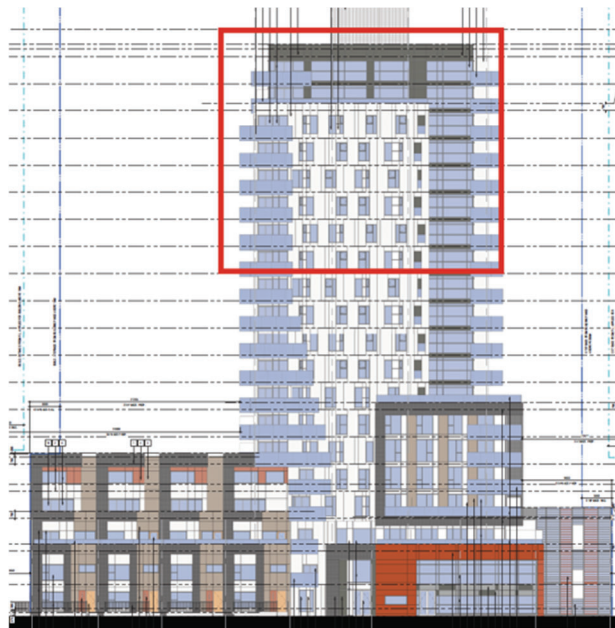
## **Proposed Variances**

The proposed variances are requested based on the application of the new Zoning Bylaw that took affect following the issuance and eventual lapse of the previously approved Development Permit and associated Development Variance Permit.

### **Height Variance (Reference Section 14.14 – Core Areas and Other Zones, Density and Height)**

The proposed project seeks a variance from 12 storeys to 20 storeys per the original application. 20 storeys has been and still is being sought by the applicant / development group based on the following built-form items:

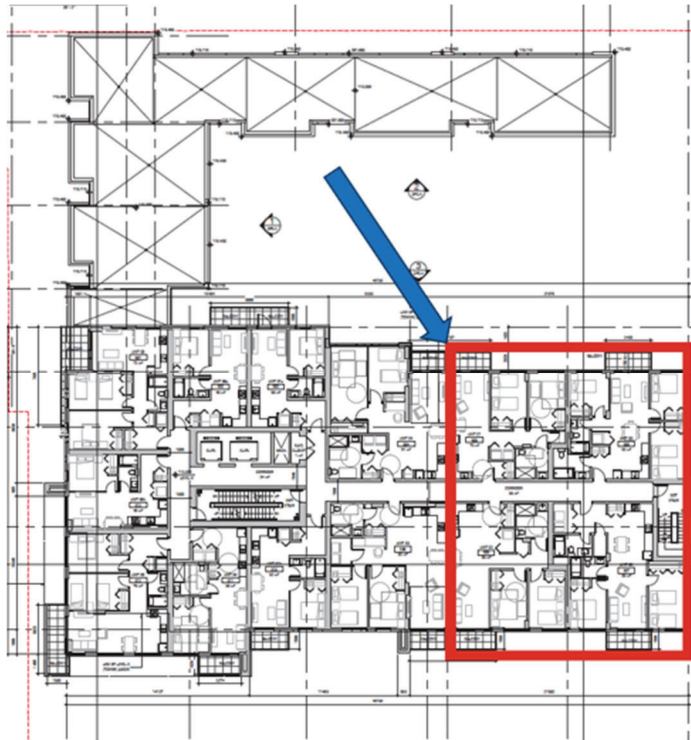
- Based on the balance between the number of affordable housing suites to be provided in combination with the provision of useable amenity space, the unit count at 20 storeys meets the needs brought forth by BC Housing;
- 20 storeys is considered to be a reasonable height transition from Mission Group's 34 storey tower on the west side of Bertram Street to the neighbouring areas to the east of this subject site;
- Providing a different approach with a lower building form spread across the site would be undesirable and would limit the amount of exterior amenity available and could be seen as a 'blocky' form that will close off any view and light access across the site;
- Providing 20 storeys and a more 'dynamic' form allows for the provision of generous and voluntary side yard setbacks to promote urban mews and potential thoroughfares connecting this project to its urban context and amenities; it allows for the careful integration of tree protection, and greater than the minimum required amenity area.
- The height variance allows for an additional 63 purpose built affordable rental units.



### **Floorplate Level 7 – Variance (Reference Table 9.11 – Tall Building Regulations)**

Level 7 is above the 16.0 m threshold for a podium and is 932 s.m. in area which is beyond the allowable 750 sm per the current bylaw. This design formed part of the original approved Development Permit. The larger floorplates for level seven allow for the accommodation of more family-oriented units within the tower with easy / immediate access to the north and south

facing amenity areas. Adding these units provides the opportunity to allow for larger podium areas for amenity and residential use and recreation. 30% more amenity area is provided by this project than is required by the zone. Levels 7 has been set back considerably from both the north and south property lines to ensure that privacy and appropriateness of scale is maintained.



**SET back Variance above 16 Metres – Variance (Reference Section 14 Core Area and Other Zones, Commercial and Urban Centre Zone Development Regulations)**

Because a section of the north facing townhomes is over 16 metres at 16.11 m, the project will require a side yard setback variance, from 4 metres to 3.65 metres.

Although the building above 16 metres encroaches on the setback by 0.35 metres, the applicant believes the intent of the requirement, (i.e., to provide separation from neighbours}, is significantly achieved by providing a voluntary setback of 3.65 metres for the whole of the north side of the building, where no setback is required (below 16 m) in order to create a purposely designed neighbourhood mews, and more neighbourly interior street environment.

The setback variance is necessary to accommodate zoning bylaw changes undertaken by the City since the original design and permit approvals.



**STEP back Variance above 16 Metres (Reference Section 14 Core Area and Other Zones, Commercial and Urban Centre Zone Development Regulations)**

The portion of the building facing west, between 16 and 18 metres requires a stepback of 3.0 metres. The proposed variance is to minimize the building stepback from 3.0 metres to 2.75 m.



The requested stepback variances are necessary to accommodate the zoning bylaw changes undertaken by the City since the original design and subsequent permit approvals.

**Parkade Exposure – Variance (Reference Section 14.11 – Core Area and Other Zones, Commercial and Urban Centre Zone Development Regulations).**

The project requires a variance to address the parkade exposure on the first storey. 7% of the parkade is exposed, where no exposure is permitted; however, it should be kept in mind the parkade is setback 23 metres from the front property line. Exposure will also be obscured by the childcare play area, landscaping, and trees in front of it.

This variance is necessary to accommodate zoning bylaw changes undertaken by the City since the original design and permit approvals.



### **Parking Stall Count -Variance (Reference Table 8.3 Required Residential Off-Street Parking Requirements)**

As referenced in the Development Summary, the project (based on the latest City of Kelowna Off Street Zoning Bylaw (Section 8.2)), the required parking count for the project is 154. For the parking garage design to meet the physical size and clearances for parking spaces and drive aisles, this application is seeking a variance to the amount of parking to be provided to be reduced from 154 to 141. The reduction in parking count ensures that all current parking stall and manoeuvring aisle dimensions are compliant with the existing parking City of Kelowna off-street Zoning Bylaw. Additionally, the rationale for the reduction in parking can be attributed to the following:

- Proximity to the local transit hub / exchange (Queensway);
- Proximity to the Downtown Urban Centre;
- Proximity to commercial and outdoor amenities (Bernard Avenue / commercial businesses / Okanagan Lake and waterfront / Knox Mountain and adjacent parks).

### **Podium Height – Variance (Reference Table 9.11 Tall Building Regulations)**

The project is seeking a variance in the maximum height of the podium from 16.00 m to 16.11 m. The (minimal) addition in height is being requested to provide a parapet design that can technically accommodate the insulation and paver thicknesses.

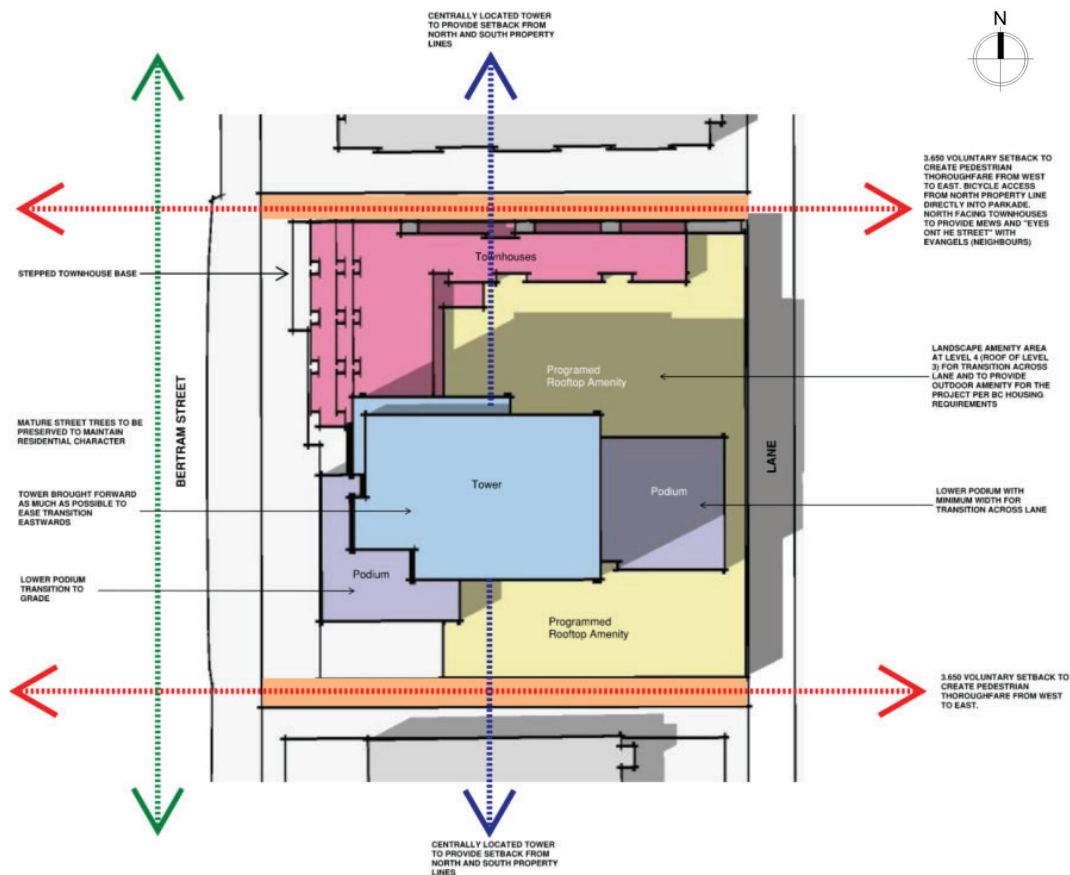


## Architectural Design Approach

### Response to Overall Context and Building Physical Siting

This proposal seeks to integrate new development with existing site conditions and preserve the character amenities of the surrounding areas and promote interesting pedestrian friendly streetscape design and pedestrian linkages. This is achieved as follows:

- Provide pedestrian scale and tactility by using familiar residential exterior materials
- Providing on grade access to define public, semiprivate, and private spaces
- Providing on-grade uses to activate and enhance security and well being via “eyes on the street”
- Apply the appropriate scale of building elements to further enhance the residential uses
- Provide meaningful height transition via townhouses, building base, podium, and tower
- Create visual continuity with neighbouring buildings with base building transition
- Provide building articulation to enhance massing and detail diversity
- Minimise building jogs (specifically at grade) for CPTED concern mitigation
- Use of clear and distinct signage to identify building program components
- Use of low maintenance and high quality cladding reflective of the downtown Kelowna context.

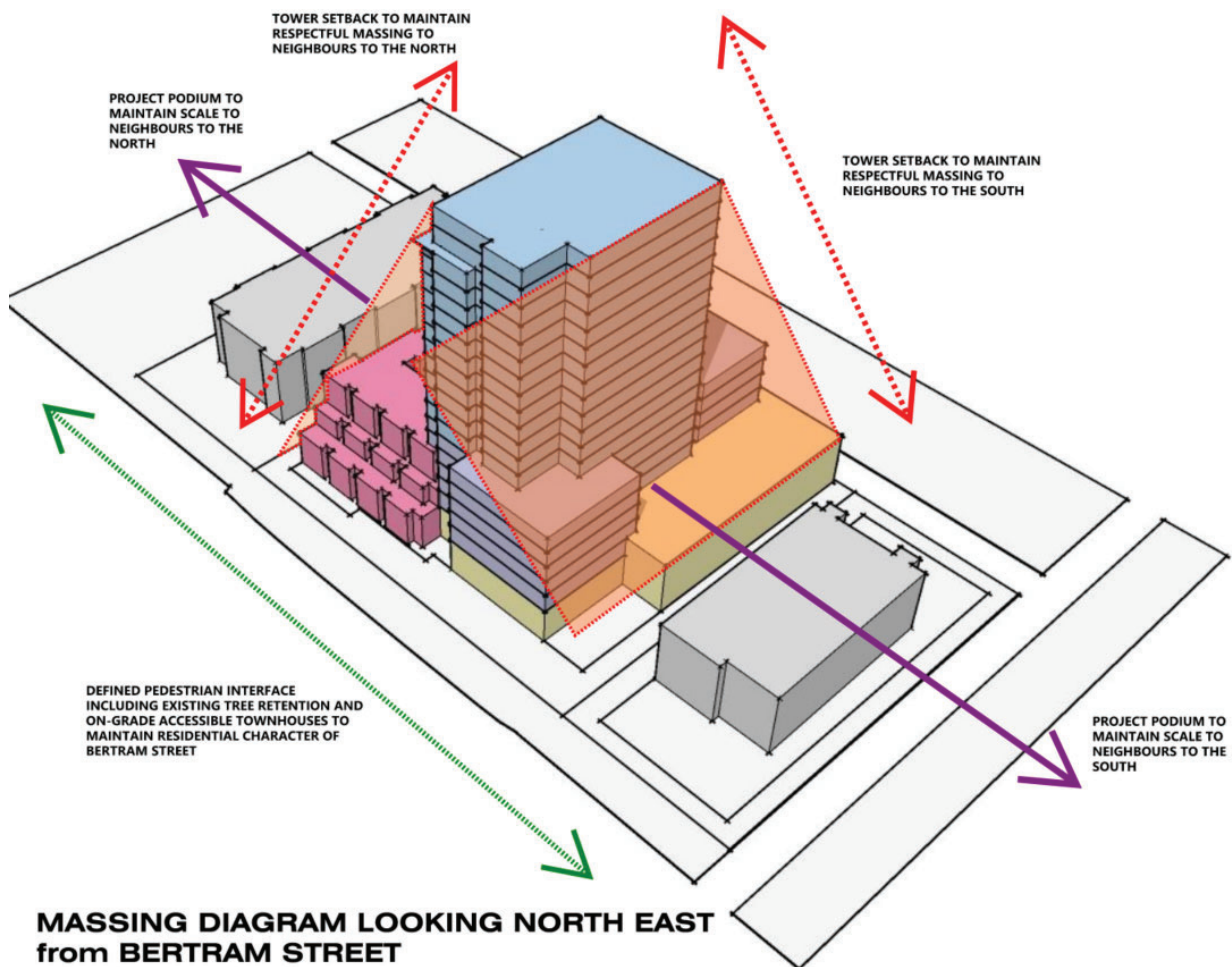


PLAN | BUILDING ARRANGEMENT | CONCEPT & APPROACH

## Building Height and Massing

The project has been designed to ensure that the massing maintains the residential scale and context of the existing neighbourhood. Our approach is as follows:

- Voluntary 3.65 metre setback (0.00 metre from the North and South Properties to provide visual break and the opportunity to provide urban mews
- On-grade townhouses with opportunities for private garden / patios
- On grade townhouses facing the North property line to transition towards the established residential area northward
- Using the townhouses' design to create visual continuity with neighbouring buildings
- Locating the childcare to the southwest corner of the site to provide eclecticism within the streetscape
- Sensitive design of the parkade to orient vehicles without any light pollution to the neighbours
- Providing intermediate podiums to “step back” appropriately from the neighbours
- Providing a defined building base, middle, and top.



### **Architectural Components and Materials**

Architectural components and materials have been included in the design of the project to enhance the design of the project to add a layer of visual interest as follows:

- Designing townhouses / townhouse base to provide rhythm and visual interest for residents and pedestrians alike along Bertram Street
- Use of projections, building indentations, materials and textures to enhance the project's visual interest and articulation
- Specification of building materials /cladding that is durable and low maintenance
- Providing building "elements" to create recognisable and defined massing
- Prominent and recognizable entrances with residential patios provide meaningful transition from the street to the landscape amenity podium.

### **Direct Relationship to Street**

All townhouse units facing Bertram Street and the north property line will have direct access to grade via the application of integrated stairs and gates to define public, semipublic, semiprivate, and private areas. This approach not only provides residential continuity to the streetscape but most importantly promotes human scale, proportion, and tactility.

The main entry points to the townhouses will also include integrated lights which will be used as a means of wayfinding and to provide animation to the street and mews during the evening hours.

### **Additional Ancillary Design Approach and CPTED Mitigation**

The project has been designed to provide integration into the residential nature of the immediate area and with the focus of servicing the residents of the project and providing a feeling of increasing the neighbourhood approach to design. A major focus for the project is to also create a feeling of a “*community within a community*”

- Provide security, residential and public safety by defining public, private and private open spaces
- Provide the residents’ and visitors experience of transition and movement from the Street and Mews to the project in a familiar and safe environment
- Integration and enhanced programming of resident amenity uses such urban agriculture, children’s play area, outdoor barbeque and picnic areas on the main podium to promote neighbourly interaction
- Provide safe and well-lit bicycle access for the residents of the project
- Maximise “eyes the street” by ensuring occupied areas at pedestrian level
- Ensure full accessible design and integrate accessible design to meet and exceed the Zoning and BC Housing Design Guidelines
- Provide decks, balconies, rooftop and common outdoor amenity space to ensure that all residents have access to the outdoors
- Provide benches outside the main building entry to further promote residential interaction.

### **Amenity Areas – Common Space and Amenity Program**

The proposed project provides 30% more amenity space than the minimum Zoning requirement. The intent of providing more than the minimum was to ensure that all available open space provided on rooftop / podium levels would be used as a mean to promote a sense of community through shared spaces with each space having its’ own unique programmatic function and character. This gives the residents the flexibility to enjoy specific outdoor areas based on their interests within the secure confines of their building and place of residents. It is anticipated that this project is inclusive of all ages, family size and background; as such, this project seeks to provide a safe and positive environment for all of its’ residents.

# Looking South-East

ATTACHMENT

D

This forms part of application

DP23-0203 DVP23-0204

Planner Initials

MT

City of Kelowna

DEVELOPMENT PLANNING



# Looking North-East

ATTACHMENT D

This forms part of application

DP23-0203 DVP23-0204

Planner Initials MT

City of Kelowna

DEVELOPMENT PLANNING



# Looking North-West

ATTACHMENT

D

This forms part of application

DP23-0203 DVP23-0204

Planner  
Initials

MT

City of  
Kelowna

DEVELOPMENT PLANNING



# Looking South-West

ATTACHMENT

D

This forms part of application

DP23-0203 DVP23-0204

Planner  
Initials

MT

City of  
Kelowna

DEVELOPMENT PLANNING









DP23-0203 DVP23-0204  
1451 Bertram St

Development Permit & Development Variance Permit

# Purpose

- ▶ To issue a Development Permit for the form and character of rental apartment housing and a Development Variance Permit to vary the minimum number of parking spaces, maximum floor plate, maximum podium height, minimum upper floor setback, minimum building stepback, maximum parkade exposure, and maximum height.

# Development Process

Nov 6, 2023

Development Application Submitted



Staff Review & Circulation



July 11, 2024

Public Notification Received



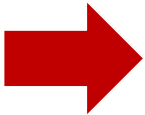
Aug 13, 2024

DP/DVP Consideration



Building Permit

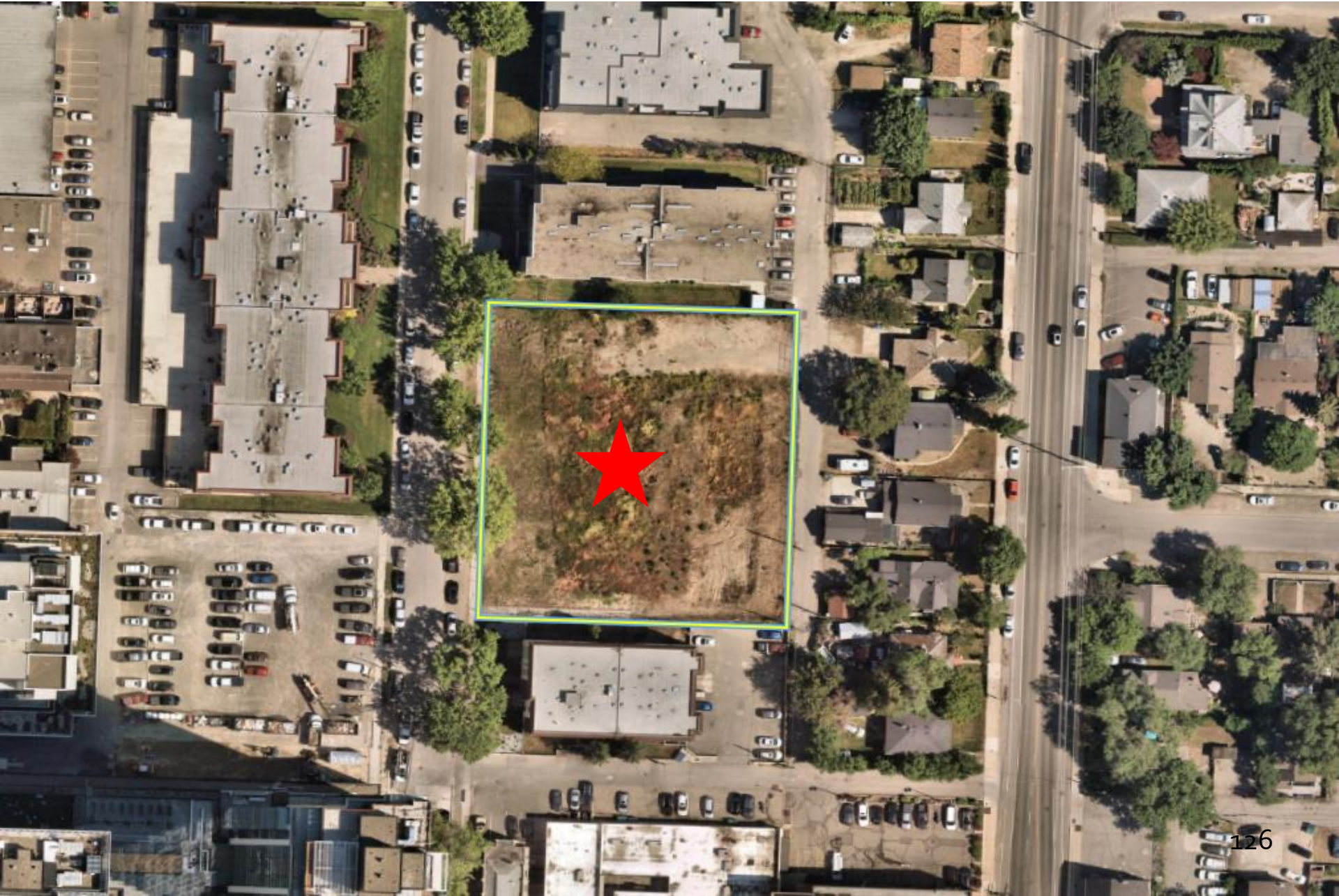
Council  
Approvals



# Context Map



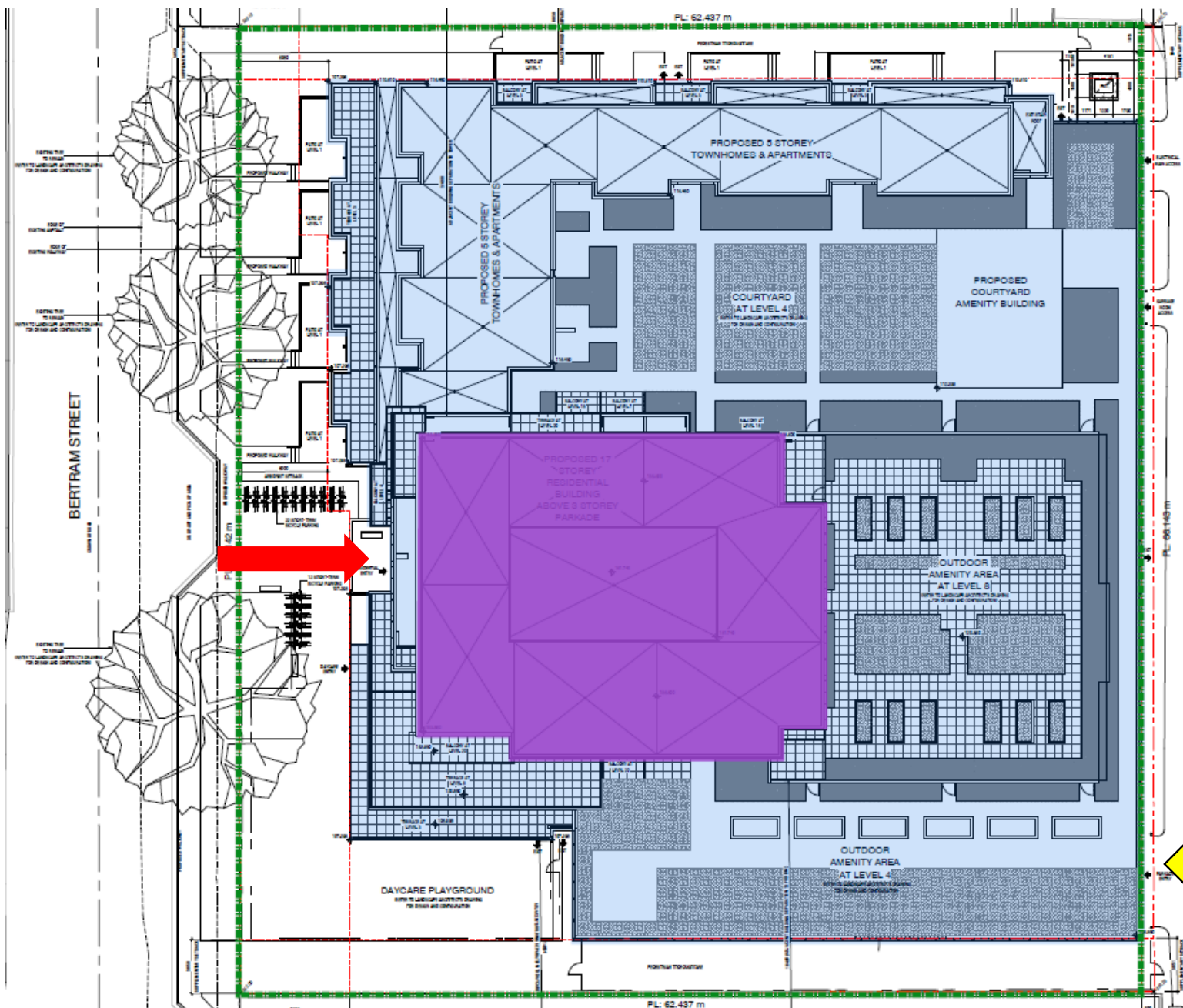
# Subject Property Map



# Technical Details

- ▶ 20-storey, 176 unit rental apartment building
  - ▶ 4 bachelor units
  - ▶ 73 one-bedroom units
  - ▶ 58 two-bedroom units
  - ▶ 41 three-bedroom units
- ▶ 141 parking stalls within structured parking podium
- ▶ 142 long-term bicycle stalls
- ▶ Child care centre (~39 child capacity)
- ▶ Common amenity space
  - ▶ Rooftop patio, plantings, outdoor furniture, jungle gym, play area, community garden, indoor amenity room
- ▶ 28 new trees

# Site Plan



Architectural elevation drawing of a building facade. The drawing shows a grid of windows and structural elements. Dimensions are provided for various sections, including a 1000-unit section and a 2000-unit section. Level markers are indicated at 1000, 2000, and 3000. A north arrow is present in the upper right corner. The facade is divided into sections by vertical lines, with some areas highlighted in blue and others in red. The drawing is labeled "ELEVATION" and "SECTION".

[illegible]



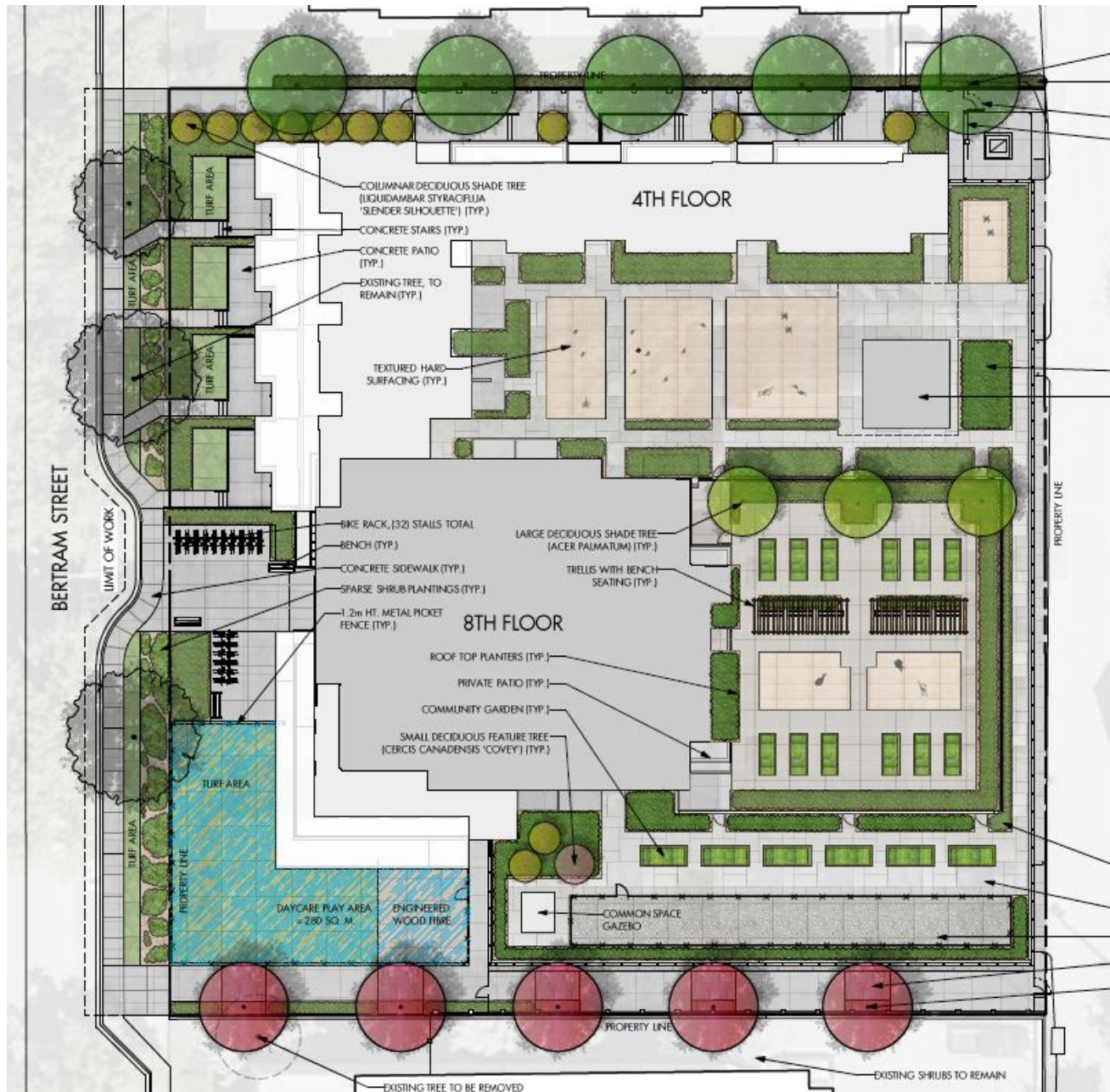
Architectural elevation drawing of a building facade. The drawing shows a grid of windows and structural elements. The facade is divided into sections by vertical and horizontal lines. The central section features a large, multi-story window unit. The drawing includes a grid system with letters A through J and numbers 1 through 10. The facade is detailed with structural lines and annotations.

# Materials Board

## MATERIAL COLOUR BOARD



# Landscape Plan



# Variances

- ▶ Table 8.3: Minimum off-street parking
- ▶ Table 9.11: Maximum floor plate
- ▶ Table 9.11: Maximum podium height
- ▶ Section 14.11: Minimum upper floor setback
- ▶ Section 14.11: Minimum stepback
- ▶ Section 14.11: Maximum parkade exposure
- ▶ Section 14.14: Maximum base height

# Variance – Off-Street Parking

- ▶ 154 stalls required to 141 stalls proposed
- ▶ Affordable housing may have lower vehicle ownership than comparable market building
- ▶ Within the Downtown Urban Centre
  - ▶ Commercial businesses, employment, parks
- ▶ Walking distance to Queensway Transit Exchange (less than 400 m)

# Variance – Podium Height



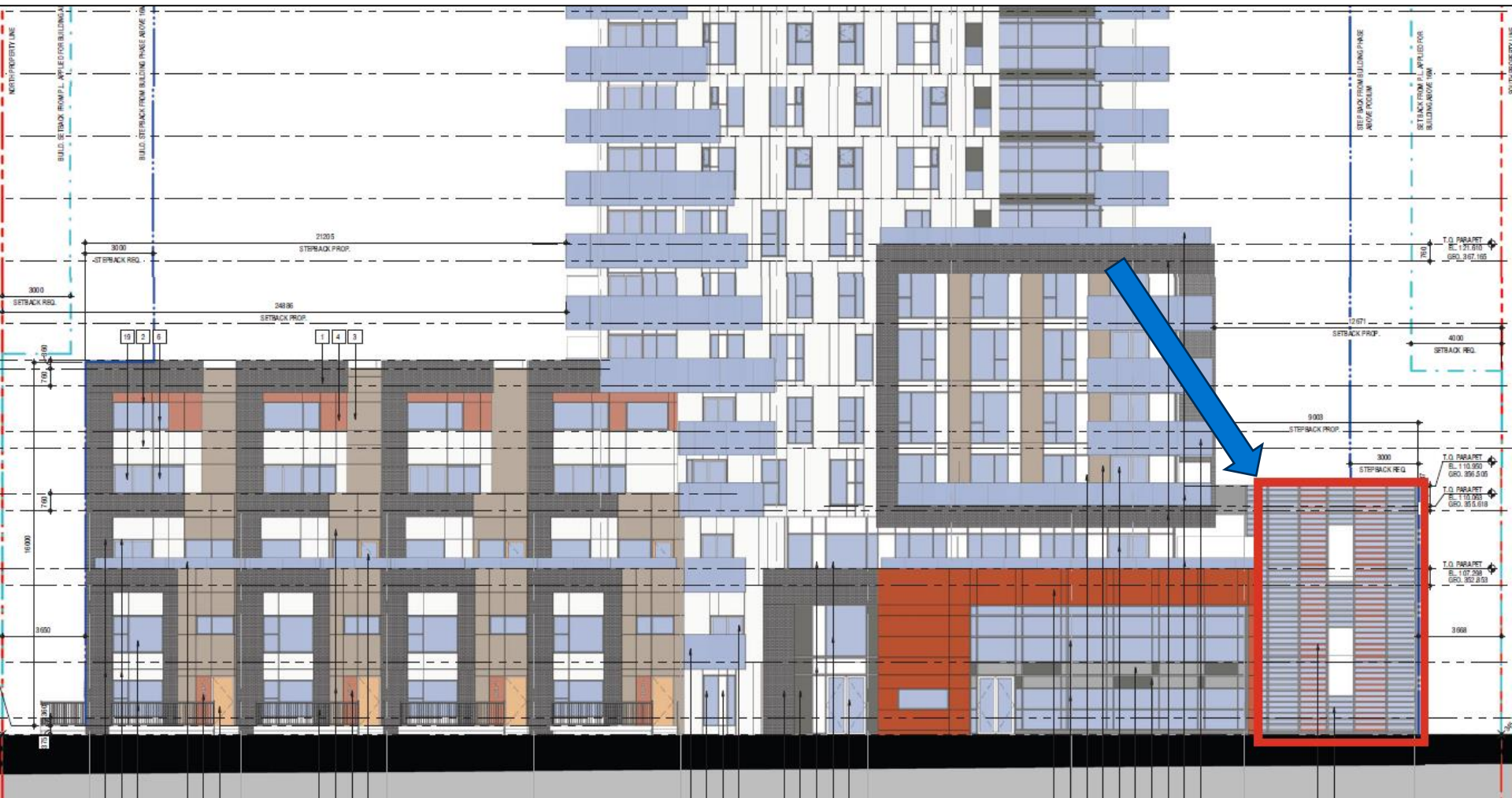
# Variance – Upper Floor Setback



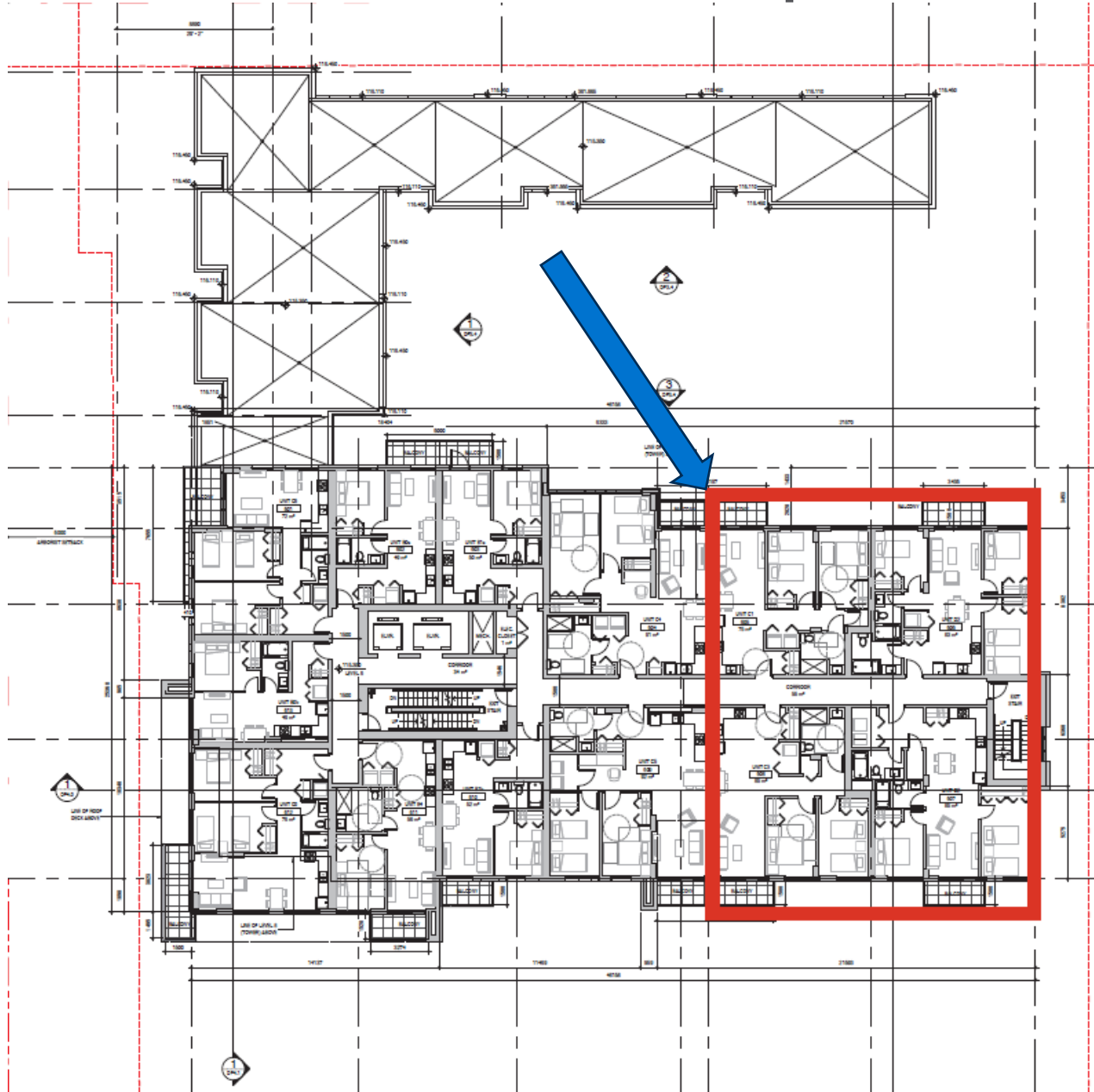
# Variance – Stepback



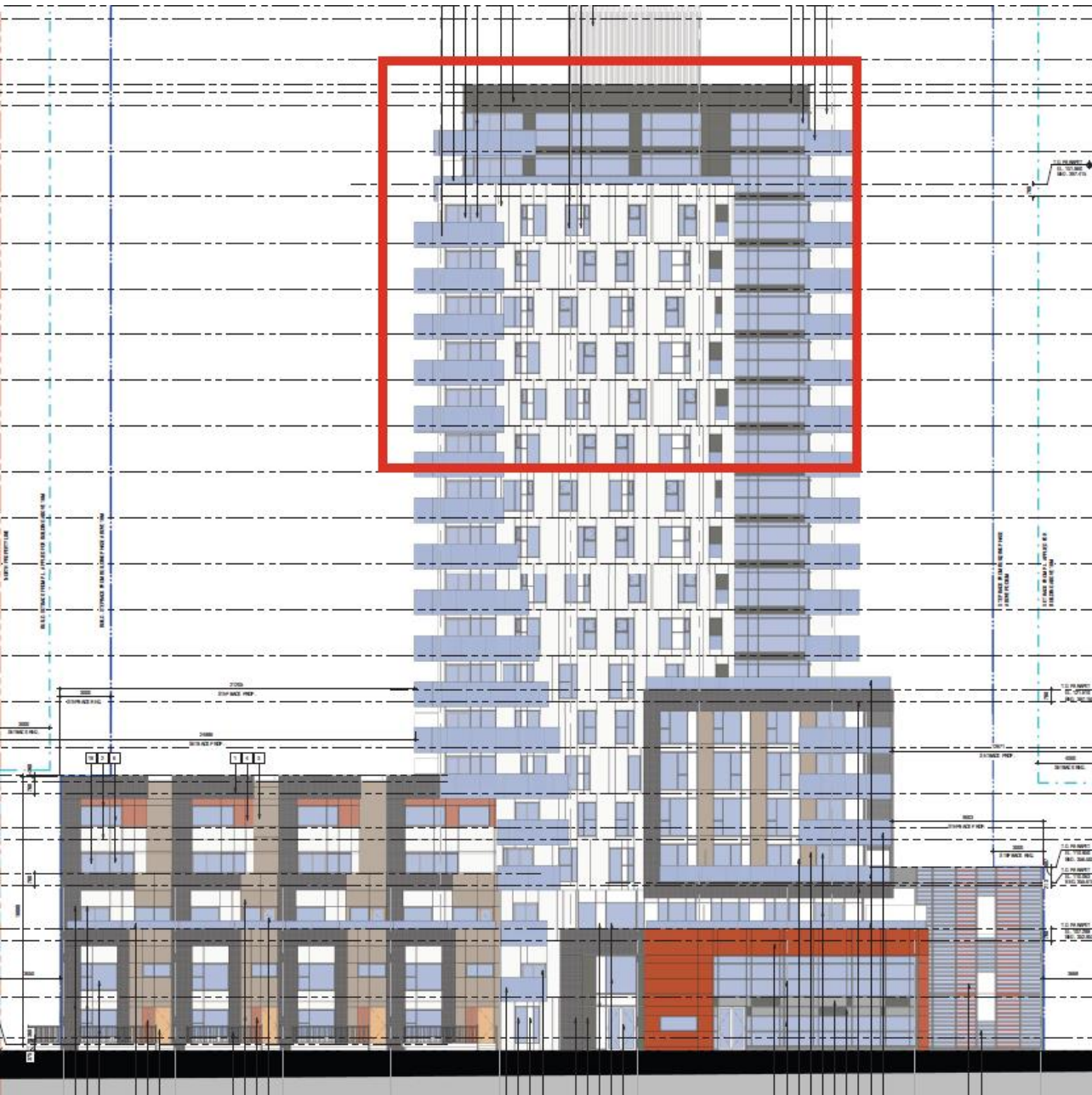
# Variance – Parkade Exposure



# Variance – Tower Floorplate



# Variance – Height



## ***OCP Policy 4.4.3 Taller Downtown Buildings:***

*Consider increased building heights where the proposal contains significant benefit such as an affordable, supportive, and/or rental housing component.*

# Rendering – SW



# Rendering – NW



# Rendering – SE



# Rendering – SE



# Rendering – NE



# OCP Design Guidelines

- ▶ Orienting primary building facades to the fronting street with ground-oriented uses
- ▶ Providing a maximum 4-storey podium, with the tower stepped back from the podium edge
- ▶ Setting back the tower from adjacent properties
- ▶ Incorporating screened off-street parking
- ▶ Providing high-quality outdoor amenity spaces

# Staff Recommendation

- ▶ Staff recommend **support** for the proposed Development Permit & Development Variance Permit as it:
  - ▶ Meets majority of OCP Design Guidelines
  - ▶ Variances are minor, mitigated through design or compliant with relevant OCP Policy

# S2 ARCHITECTURE

BCH Bertram Street Affordable Housing  
1451 Bertram Street, Kelowna, BC  
Council Presentation  
Tuesday 13th August, 2024



**176 Affordable Non-market and Market Rental Units**

- 162 apartment style units
- 34 direct street and podium oriented units
- 1 townhouse units
- 1 Bedroom Units 73(41%)
- 2 Bedroom Units 56 (32%)
- 3 Bedroom Units 43 (24%)
- Accessible Units (BCH Min 22 5%) (12.5%)

**Outdoor Amenities on Levels 4 & 8**

- Large private courtyard on level 4 with common areas, bbq area and amenity building
- Rooftop garden on level 8 with common areas and planter boxes

**Daycare and Outdoor Play Area**

- At grade access on south-west building corner
- Support for young families living in the building and surrounding neighbourhood
- 336sm of indoor daycare space

**Leadership in Climate Change**

- Passive energy and sustainability design principles
- Landscaping to reduce ambient temperature around the building
- Landscaping to minimize water consumption
- Construction waste diversion target of 60%
- 25% of parking supports vehicle charging
- Car share options



1 DP - STREETScape VIEW 01 (LOOKING EAST)  
DP0.2 SCALE: 1:1



2 DP - STREETScape VIEW 02 (LOOKING SOUTH EAST)  
DP0.2 SCALE: 1:1



3 DP - STREETScape VIEW 03 (LOOKING NORTH)  
DP0.2 SCALE: 1:1



4 DP - STREETScape VIEW 04 (LOOKING NORTH-EAST)  
DP0.2 SCALE: 1:1



5 DP - STREETScape VIEW 05 (LOOKING SOUTH EAST)  
DP0.2 SCALE: 1:1



6 DP - STREETScape VIEW 06 (LOOKING NORTH)  
DP0.2 SCALE: 1:1



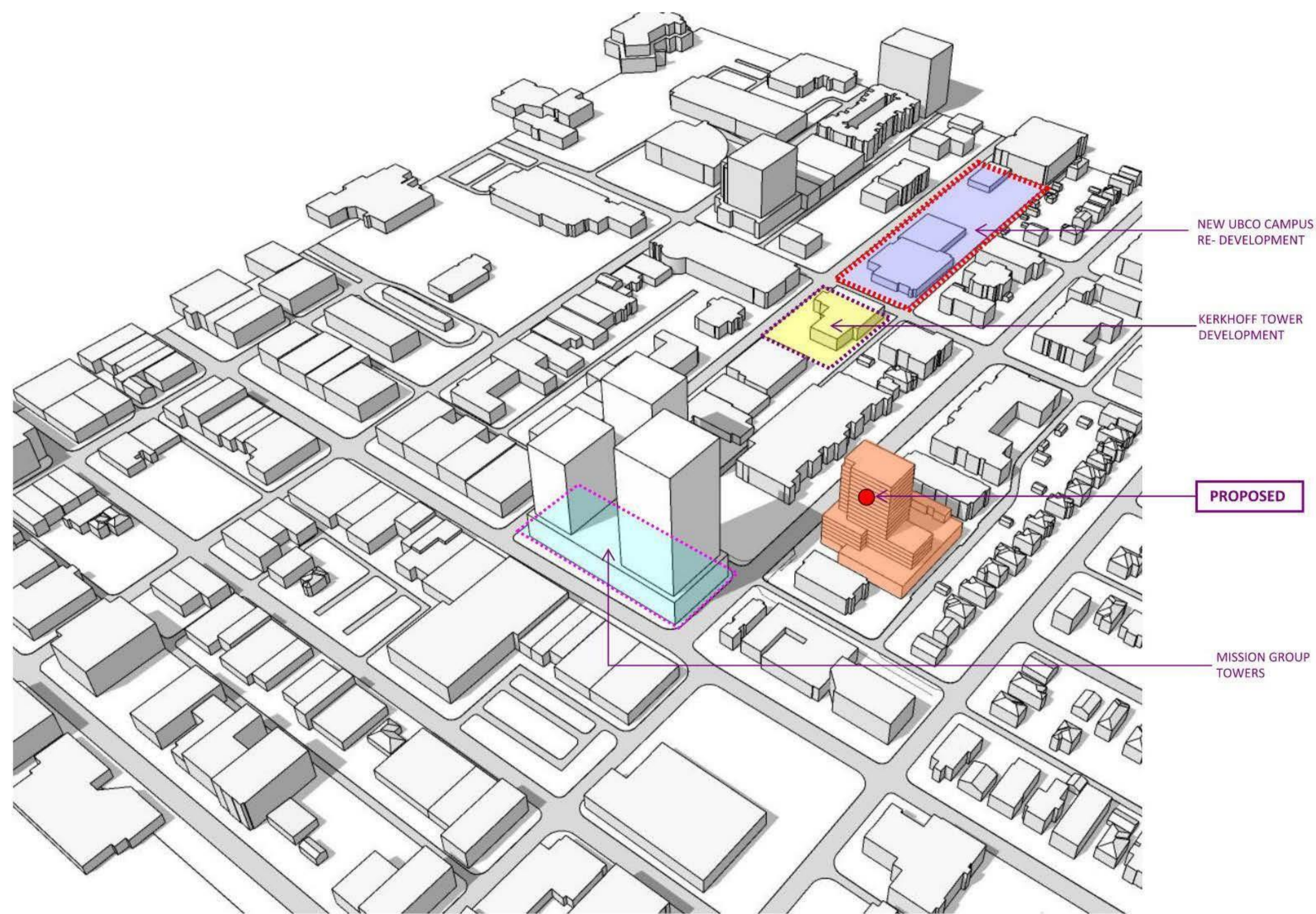
7 DP - STREETScape VIEW 07 (LOOKING NORTH)  
DP0.2 SCALE: 1:1



8 DP - STREETScape VIEW 08 (LOOKING NORTH)  
DP0.2 SCALE: 1:1



9 DP - STREETScape PLAN  
DP0.2 SCALE: 1:100



**Residential Character of Bertram Streetscape is Strengthened**

- Residential setbacks are typical for Bertram Street
- Walkout townhomes reinforce the residential feel
- Mature street trees are preserved and new trees are planted
- Sidewalk and lighting improvements create welcoming and safe spaces
- Parkade is limited to 3 storeys and hidden from Bertram Street

**Proposed Building Heights Setback and Stepback from Neighbours**

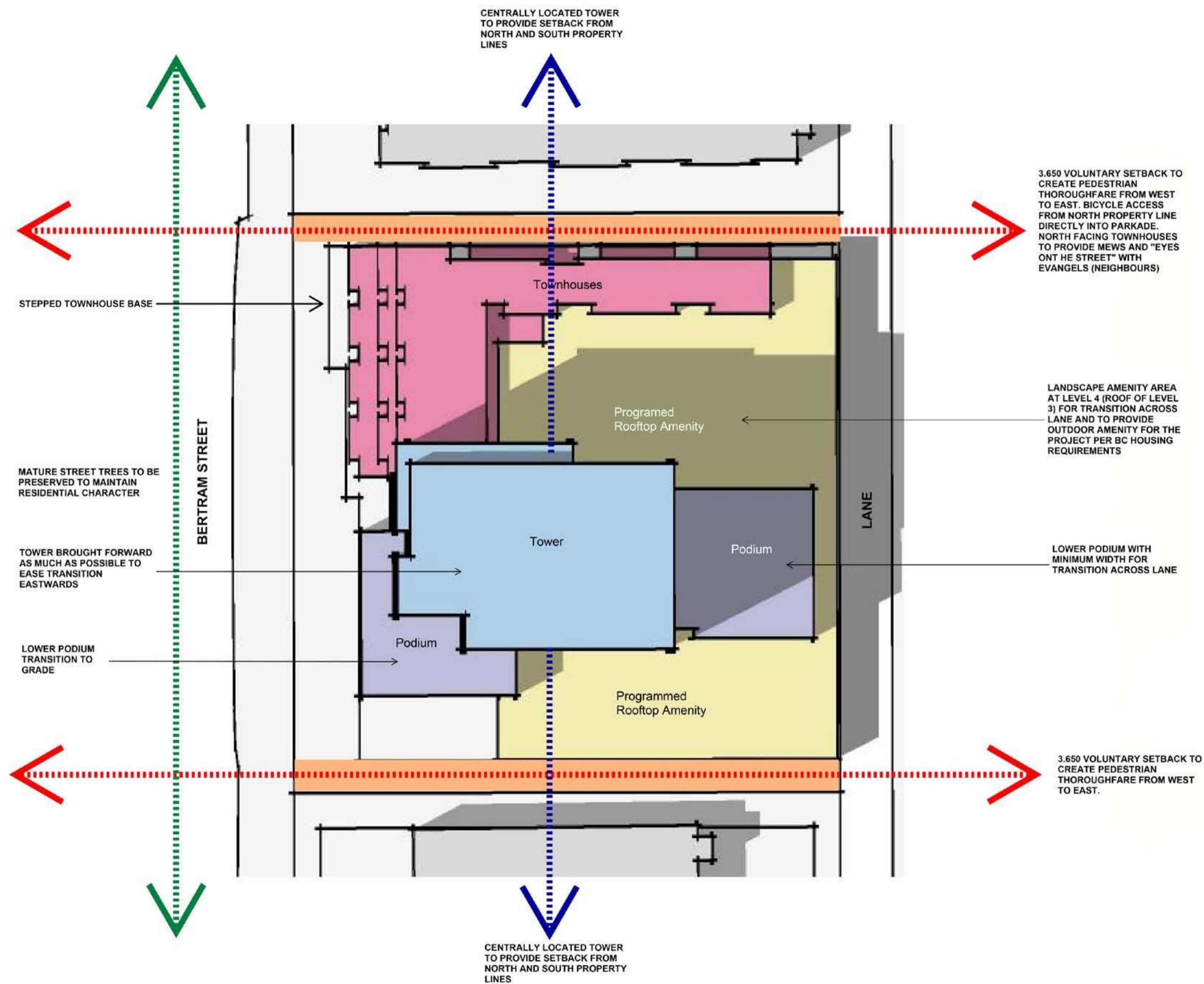
- Building heights are lower or one storey higher than adjacent apartments
- The apartment is set back from neighbours toward the middle of the site
- The narrow form minimizes shadow and maximizes sky view better than a low and wide building

**Garage**

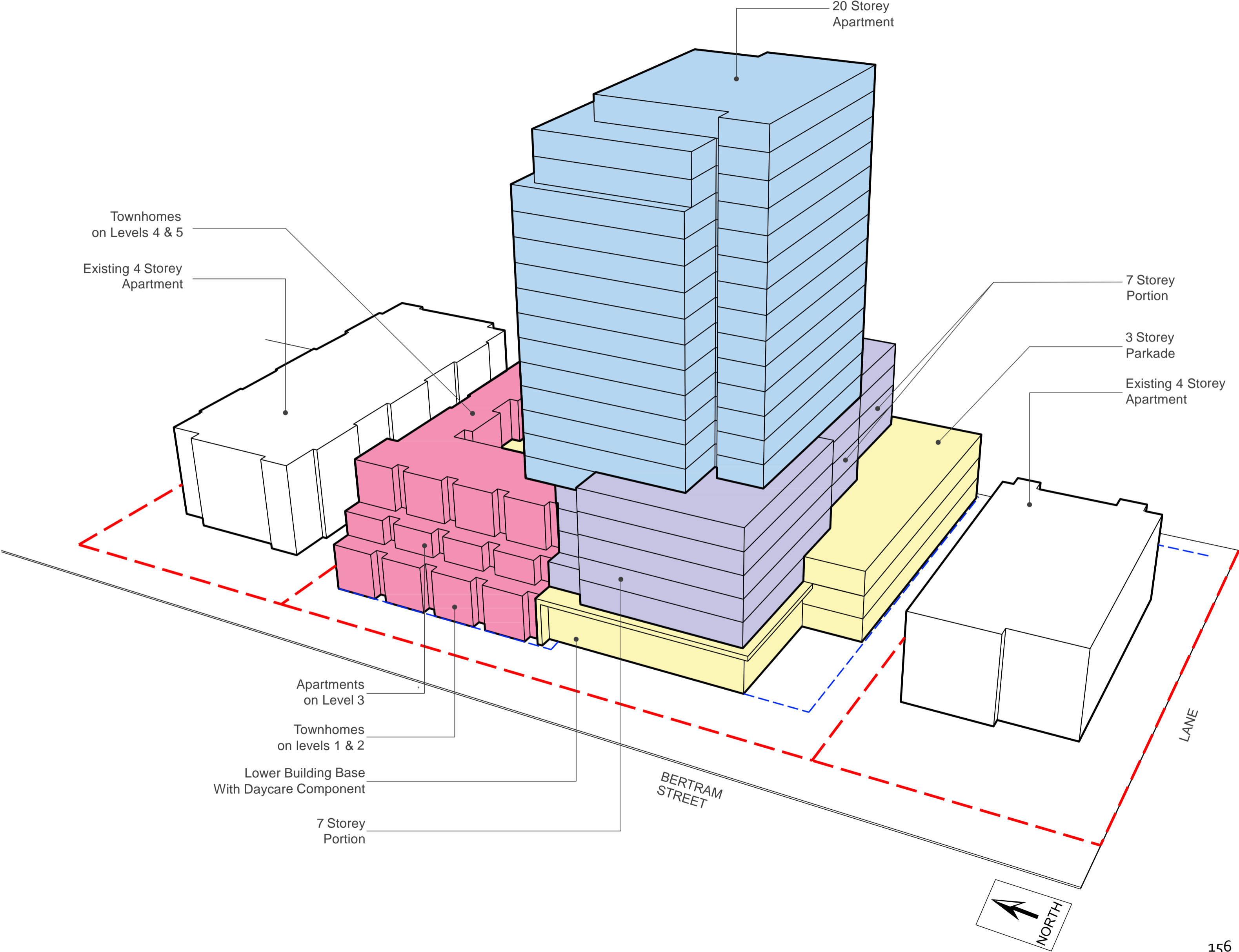
Garage agreement will be pursued with Modo

**Careful Attention to Shared Property Lines**

- Landscaping, paving and fencing along shared property lines has been designed in consultation with neighbours
- Both privacy and CPTED techniques have been considered



# Massing | Arrangement





South - East  
View



North - East  
View  
(Looking at Childcare Area)



North - West View



South - West  
View



# CITY OF KELOWNA

## BYLAW NO. 12627

**Z23-0084**

**210 Sadler Rd**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot A Section 26 Township 26 ODYD Plan EPP137037, located on Sadler Road, Kelowna, BC from the UC<sub>4</sub> – Rutland Urban Centre zone to the UC<sub>4r</sub> – Rutland Urban Centre Rental Only zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 11<sup>th</sup> day of March, 2024.

Approved under the Transportation Act this 12<sup>th</sup> day of March, 2024.

Audrie Henry

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(Approving Officer – Ministry of Transportation)

Amended at third reading and adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# REPORT TO COUNCIL DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT



**Date:** August 13, 2024  
**To:** Council  
**From:** City Manager  
**Address:** 210 Sadler Rd  
**File No.:** DP23-0228 & DVP24-0052  
**Zone:** UC4r – Rutland Urban Centre Rental Only

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## 1.0 Recommendation

THAT Rezoning Bylaw No. 12627 be amended at third reading to revise the legal description of the subject properties from:

- a) That Part of Lot 3 Lying East of a Line Drawn Parallel To And 155.1 Feet Distant from the Westerly Boundary of Said Lot; Section 26 Township 26 ODYD Plan 2773, located at 200 Sadler Rd, Kelowna BC;
- b) The East ½ of Lot 4 Section 26 Township 26 ODYD Plan 2773 Except Plan 5971, located at 210 Sadler Rd, Kelowna BC; and
- c) Lot B Section 26 Township 26 ODYD Plan 12323, located at 230 Sadler Rd, Kelowna BC;  
to lot A Section 26 Township 26 ODYD Plan EPP137037, located at 210 Sadler Rd, Kelowna BC;

AND THAT final adoption of Rezoning Bylaw No. 12627 be considered by Council

AND THAT Council authorizes the issuance of Development Permit No. DP23-0228 and Development Variance Permit No. DVP24-0052 for Lot A Section 26 Township 26 ODYD Plan EPP137037, located at 210 Sadler Rd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;
5. The applicant be required to make a payment into the Public Amenity & Streetscape Capital Reserve Fund as established by Bylaw No. 12386 in accordance with Table 6.8.a. in Zoning Bylaw No. 12375;

AND THAT variances to the following section of Zoning Bylaw No. 12375 be granted:

**Section 14.11: Commercial and Urban Centre Zone Development Regulations**

To vary the minimum front yard stepback from 3.0 m required to 0.0 m proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Applications in order for the permits to be issued.

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## **2.0 Purpose**

To issue a Development Permit for the form and character of apartment housing and a Development Variance Permit to vary the minimum front yard building setback from 3.0 m required to 0.0 m proposed.

## **3.0 Development Planning**

Staff support the proposed Development Permit for the form and character of a 115-unit 6-storey apartment housing development. The proposal generally conforms to the Official Community Plan (OCP) Form and Character Development Permit Guidelines for Low & Mid-Rise Residential & Mixed Use Developments. Key guidelines that are met include:

- Orienting building facades and entries to the fronting street and incorporating individual entrances;
- Locating balconies and windows on the front building façade to create an active frontage and 'eyes on the street';
- Screening parking from public view and avoiding off-street surface parking; and
- Articulating the front façade facing the street and utilizing a consistent range of materials and colours that provide variety.

The proposed exterior building materials include a mix of white, light grey and dark grey cement panels with faux wood accents and dark grey brick along the ground floor resulting in a modern looking building with an emphasized ground level. Common amenities include an indoor gym, shared kitchen area / conference room, and an outdoor common area located on top of the parking podium. The exterior common amenity area will include a mix of passive seating (table and chairs, picnic table), barbeque kitchen area, saunas, community garden plots, dog run and play areas. Site landscaping includes a mix of small, medium and large deciduous trees in front of the building with perimeter landscaping around the sides and rear of the building with access pathways, gardens, small trees and complimentary landscaping. All access to the site will be from the fronting street as there is no opportunity for lane access.

### Variance

This application includes a variance to the minimum building front yard (Sadler Rd) setback from 3.0 m required to 0.0 m proposed. The project had already been designed and was in-stream when the building setback regulation was introduced to Urban Centre Zones in the Zoning Bylaw (Bylaw No. 12594, adopted January 8, 2024). If the applicant were to redesign the project to meet the new regulations, this would result in additional time, added costs, and potentially delay construction timelines. While meeting the building setback regulation would have resulted in the building scoring slightly higher on scale and massing Form and Character Development Permit Design Guidelines, Development Planning is still supportive of the overall project and achieving a major rental building in the Rutland Urban Centre.

## **4.0 Subject Property & Background**

### **4.1 Subject Property Map**



The subject property is located mid-block on the west side of Sadler Rd and northeast of the Hwy 33 / Rutland Rd intersection. Public transit stops are located nearby along Hwy 33 to the south and Rutland Rd to the west. The site is located within walking distance to a variety of commercial retail uses largely located adjacent to Highway 33 and Rutland Centennial Park which is located on the west side of Rutland Rd N.

## 5.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
<b>Total Number of Units</b>	<b>115</b>
Bachelor	11**
1-bed	24
2-bed	69
3-bed	11
** 11 Bachelor units are considered micro-suites as they are less than 29 m <sup>2</sup> in total unit area.	

DEVELOPMENT REGULATIONS		
CRITERIA	UC <sub>4r</sub> ZONE	PROPOSAL
Total Maximum Floor Area Ratio	2.6	2.48

Base FAR	1.8	1.8
Bonus FAR	0.3 (rental designation) 0.5 (public amenity & streetscape)	0.68
Max. Site Coverage (buildings)	85%	68%
Max. Site Coverage (buildings, parking, driveways)	90%	79%
<b>Max. Height</b>	<b>22.0 m / 6 storeys</b>	<b>22.0 m / 6 storeys</b>
Base Height	22.0 m / 6 storeys	22.0 m / 6 storeys
Bonus Height	n/a	n/a
<b>Setbacks</b>		
Min. Front Yard (east)	3.0 m	3.4 m
Min. Side Yard (north)	0.0 m	1.2 m
Min. Side Yard (south)	0.0 m	4.2 m
Min. Rear Yard	0.0 m	4.0 m
<b>Setbacks (above 16.0 m in height)</b>		
Min. Front Yard (east)	3.0 m	3.4 m
Min. Side Yard (north)	4.0 m	4.2 m
Min. Side Yard (south)	4.0 m	4.2 m
Min. Rear Yard	4.0 m	4.0 m
<b>Stepbacks</b>		
Min. Fronting Street (east)	3.0 m	0.0 m ❶
<b>Amenity Space</b>		
<b>Total Required Amenity Space</b>	<b>1,506 m<sup>2</sup></b>	<b>1,736.3 m<sup>2</sup></b>
Common	460 m <sup>2</sup>	481.8 m <sup>2</sup>
Private	m <sup>2</sup>	1,254.5 m <sup>2</sup>
<b>Landscaping</b>		
Min. Number of Trees	6 trees	6 trees
Min. Large Trees	3 trees	3 trees
❶ Indicates a requested variance to the minimum front yard stepback from 3.0 m required to 0.0 m proposed.		

PARKING REGULATIONS		
CRITERIA	UC4r ZONE REQUIREMENTS	PROPOSAL
<b>Total Required Vehicle Parking</b>	<b>102 stalls</b>	<b>100 stalls**</b>
Residential	111 stalls	
Visitor	16 stalls	
"r" Subzone Reduction	- 25 stalls	
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	52% Regular 48% Small
Bicycle Stalls Short-Term	6 stalls	6 stalls
Bicycle Stalls Long-Term	89 stalls	96 stalls
Bike Wash & Repair	y	y
** 2 stalls cash-in-lieu of parking (102 stalls required, 100 stalls proposed including 2 stalls of cash-in-lieu)		

## 6.0 Application Chronology

Application Accepted: December 7, 2023  
 Neighbour Notification Received: May 28, 2024

**Report prepared by:** Andrew Ferguson, Planner II  
**Reviewed by:** Jocelyn Black, Urban Planning Manager  
**Reviewed by:** Nola Kilmartin, Development Planning Department Manager  
**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

**Attachments:**

Attachment A: Draft Development Permit DP23-0228 DVP24-0052

Schedule A: Site Plan & Floor Plans

Schedule B: Elevations & Sections

Schedule C: Landscape Plan

Attachment B: OCP Form and Character Development Permit Guidelines

Attachment C: Applicant's letter of rationale

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).

# Development Permit & Development Variance Permit

DP23-0228 / DVP24-0052



This permit relates to land in the City of Kelowna municipally known as

**210 Sadler Road**

and legally known as

**Lot A Section 26 Township 26 ODYD Plan EPP137037**

and permits the land to be used for the following development:

**Apartment Housing**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

**Date of Council Approval:** **August 13, 2024**

Development Permit Area: Form and Character

Existing Zone: UC4r – Rutland Urban Centre Rental Only

Future Land Use Designation: UC – Urban Centre

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

**This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Dominion (Sadler) Inc., Inc. No. A0128728

Applicant: Greenstone Developments Ltd.

\_\_\_\_\_  
 Nola Kilmartin  
 Development Planning Department Manager  
 Planning & Development Services

\_\_\_\_\_  
 Date of Issuance

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP23-0228 and Development Variance Permit No. DVP24-0052 for Lot A Section 26 Township 26 ODYD Plan EPP137037 located at 210 Sadler Rd, Kelowna, BC, subject to the following:

- The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- Landscaping to be provided on the land be in accordance with Schedule "C";
- The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;
- The applicant be required to make a payment into the Public Amenity & Streetscape Capital Reserve Fund as established by Bylaw No. 12386 in accordance with Table 6.8.a. in Zoning Bylaw No. 12375;

AND THAT variances to the following section of Zoning Bylaw No. 12375 be granted:

**Section 14.11: Commercial and Urban Centre Zone Development Regulations**

To vary the minimum front yard setback from 3.0 m required to 0.0 m proposed.

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Manager approval, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$215,390.00**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 4. PARKING CASH-IN-LIEU BYLAW

Parking Cash-in-Lieu in the amount of **\$19,000.00** required for 2 stalls as part of the proposed development within the Rutland Urban Centre

## 5. PUBLIC AMENITY & STREETSCAPE CAPITAL RESERVE FUND

Public Amenity & Streetscape Capital Reserve Fund Payment in the amount of **\$53,315.00** required for 2,613.4 m<sup>2</sup> lot area as part of the proposed development.

## 6. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

SCHEDULE

A

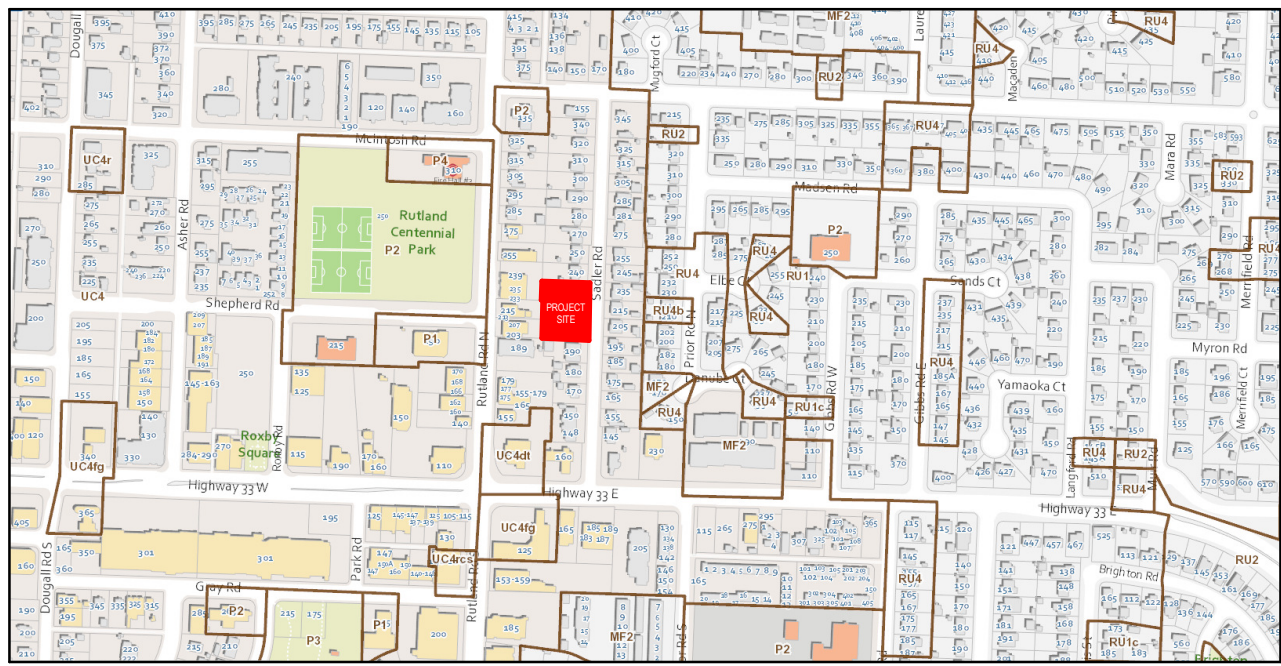
This forms part of application

# DP23-0228  
DVP24-0052

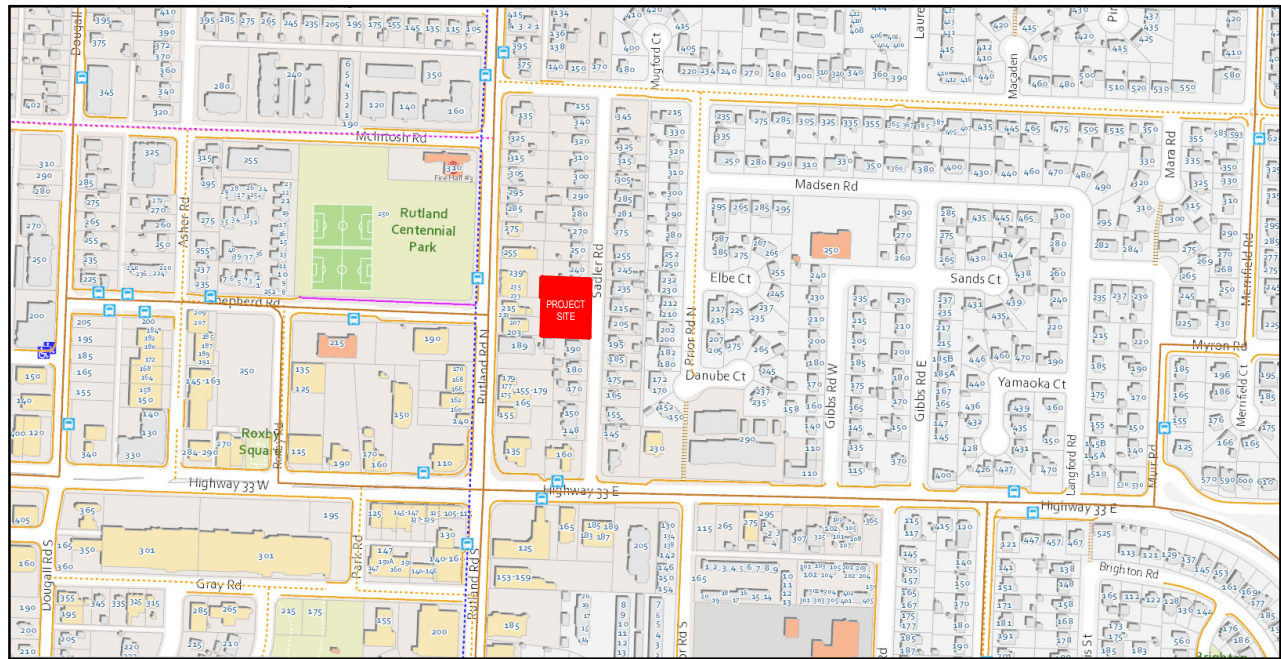
Planner Initials AF

City of Kelowna

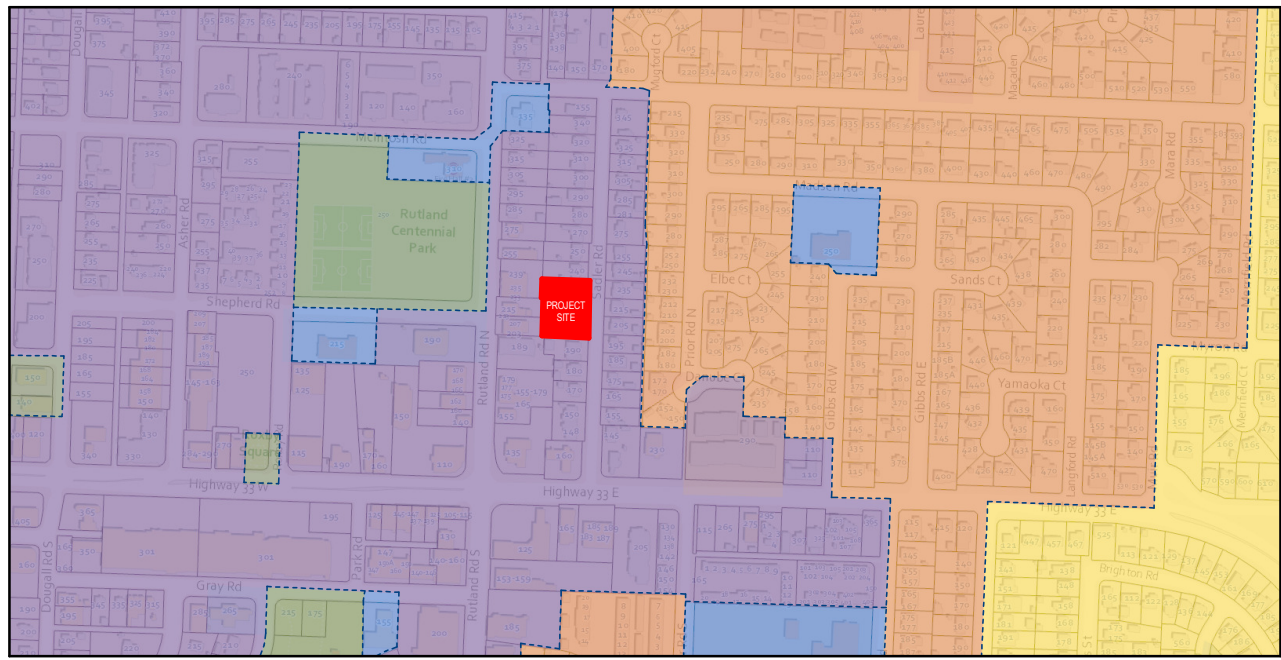
COMMUNITY PLANNING

1 CURRENT ZONING PLAN  
A1.01 1:5000

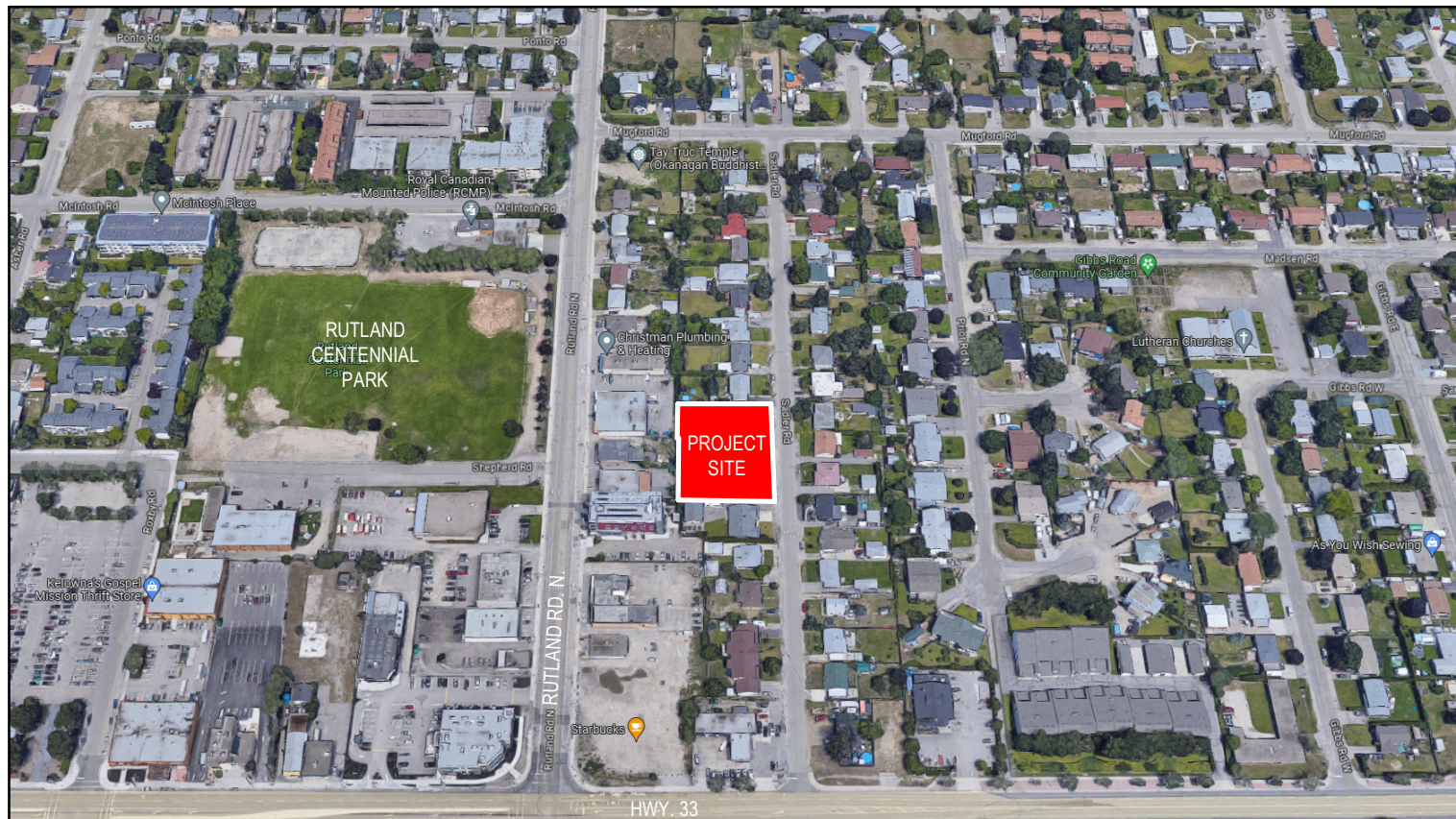
SOURCE: CITY OF KELOWNA MAP VIEWER

2 CURRENT & FUTURE TRANSPORTATION PLAN  
A1.01 1:5000

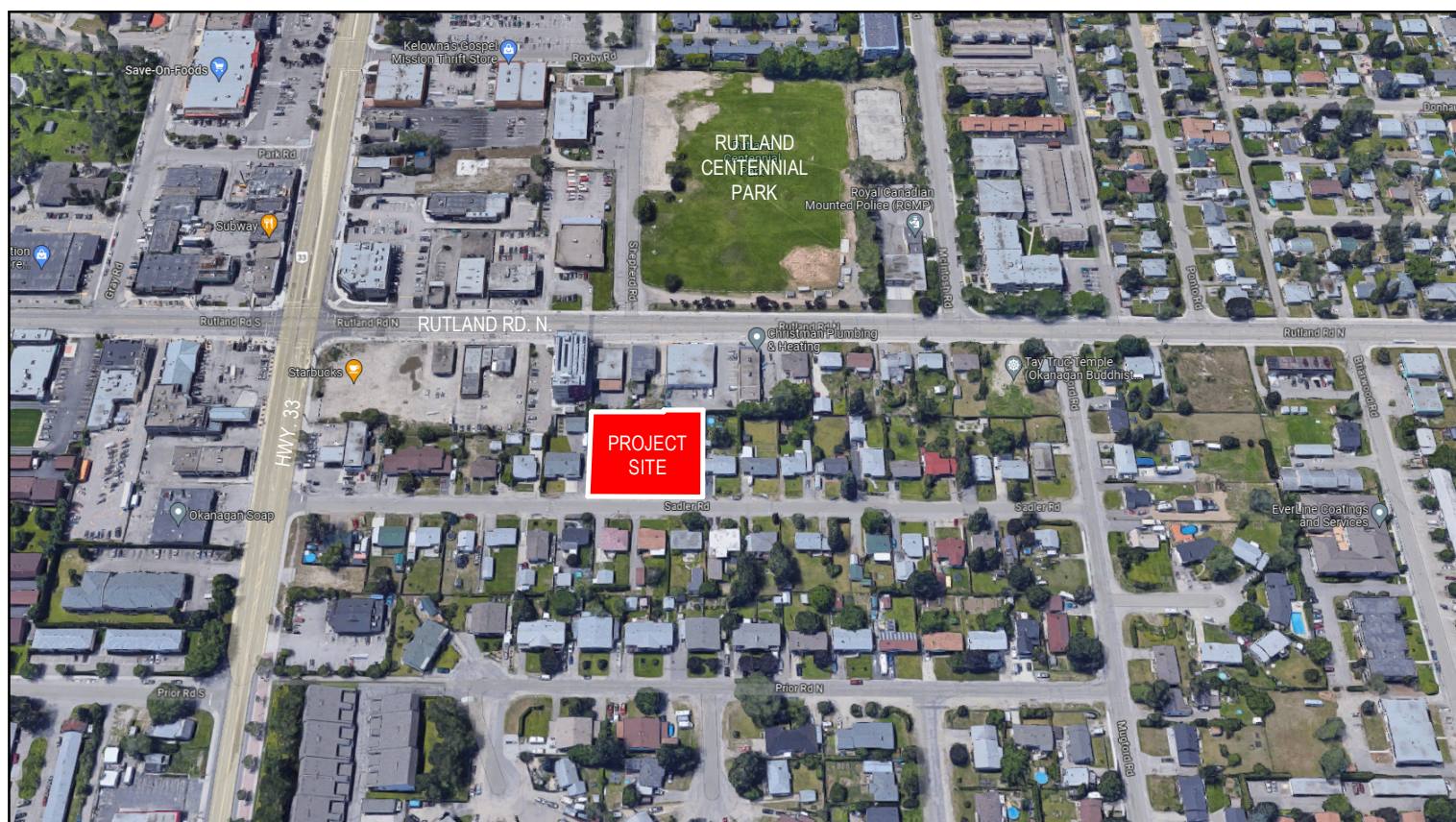
SOURCE: CITY OF KELOWNA MAP VIEWER

3 FUTURE LAND USE PLAN (OFFICIAL COMMUNITY PLAN)  
A1.01 1:5000

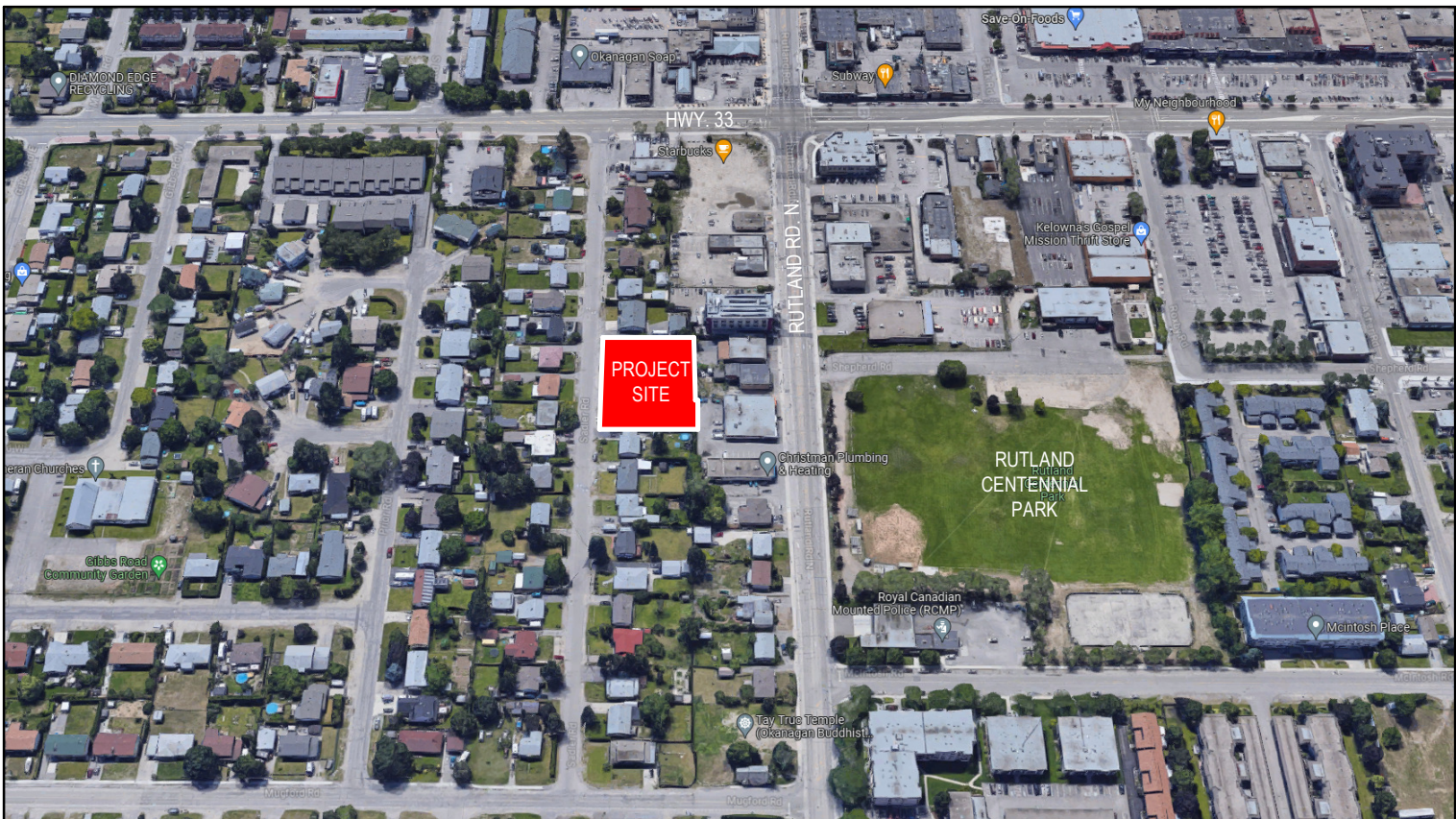
SOURCE: CITY OF KELOWNA MAP VIEWER

4 3D VIEW LOOKING NORTH  
A1.01 N.T.S.

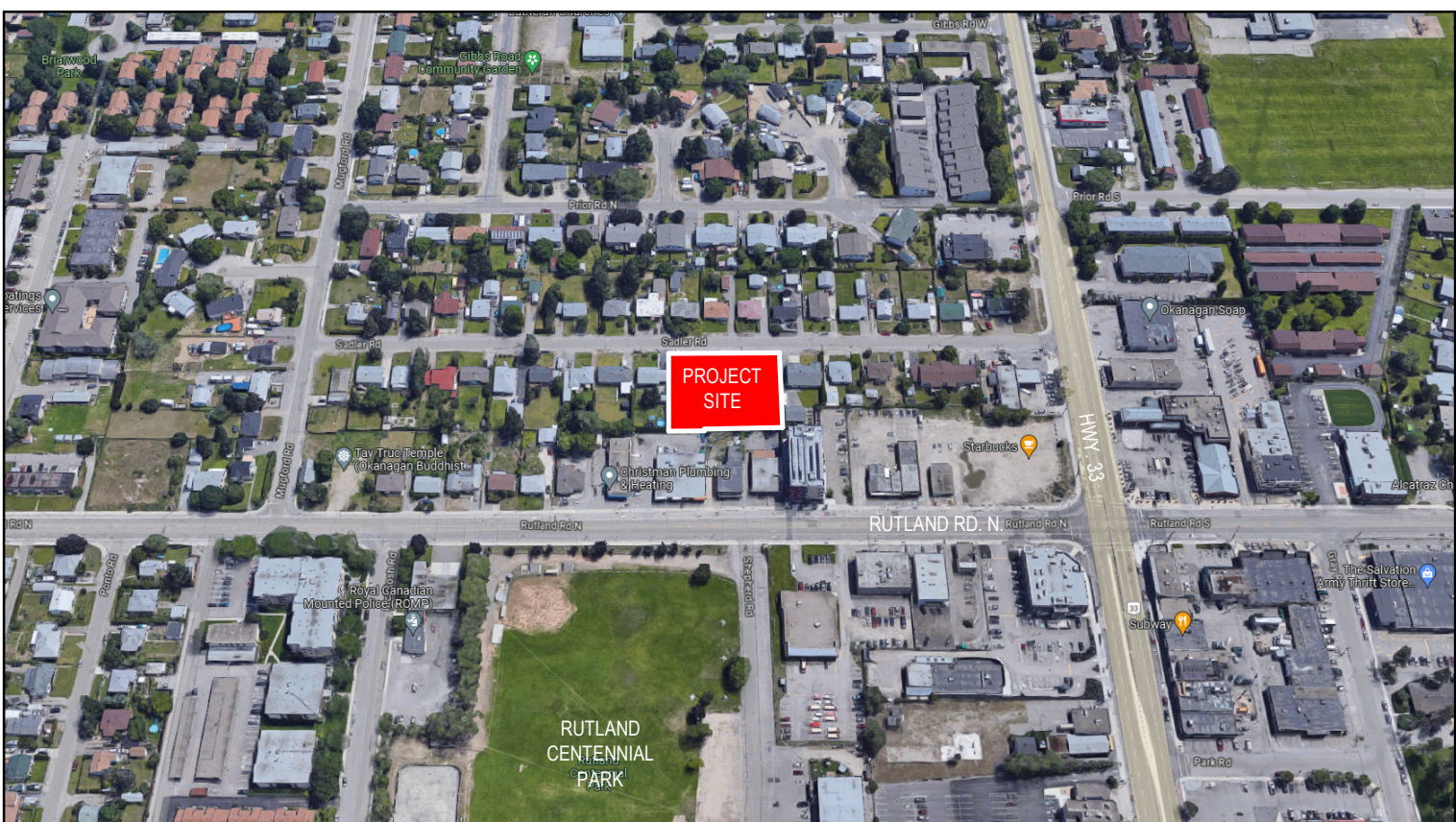
SOURCE: GOOGLE MAPS

6 3D VIEW LOOKING SOUTH  
A1.01 N.T.S.

SOURCE: GOOGLE MAPS

5 3D VIEW LOOKING SOUTH  
A1.01 N.T.S.

SOURCE: GOOGLE MAPS

7 3D VIEW LOOKING WEST  
A1.01 N.T.S.

SOURCE: GOOGLE MAPS

1. PROJECT DATA			
EXISTING CIVIC ADDRESSES	200, 210, 230 SADLER ROAD KELOWNA, BC		
PROPOSED CIVIC ADDRESSES	TBD (PENDING SUBDIVISION)		
LEGAL DESCRIPTIONS	TBD		
EXISTING ZONING	UC4		
PROPOSED PRINCIPAL USE(S)	APARTMENT HOUSING		
OCF 2040 FUTURE LAND USE	UC4 (RUTLAND URBAN CENTRE) - MAP 3.1		
OCF 2040 STREET TYPE	RESIDENTIAL - MAP 4.8		
ZONING BYLAW(S)	2022 KELOWNA ZONING BYLAW - BY LAW NUMBER #12375		

2. SITE SUMMARY					
SITE DIMENSIONS		ZONING REQUIREMENTS		PROPOSED	
SITE AREA (PRE DEDICATION)		900.0 sm <sup>2</sup> min.	9,688 sf min.	2,708.2 sm	29,150 sf
SITE AREA (POST DEDICATION)		900.0 sm <sup>2</sup> min.	9,688 sf min.	2,613.4 sm	28,131 sf
LOT WIDTH (SIDE TO SIDE)		40	131.2 ft min.	42.9 m	140.9 ft
LOT DEPTH (FRONT TO REAR)		30	98.4 ft min.	57.8 m	189.5 ft
SITE COVERAGE		BLDGs BY AREA		BLDGs BY AREA	
SITE COVERAGE - BLDGS BY AREA		2,301.9 sm <sup>2</sup> max.	24,778 sf max.	1,838.9 sm	19,793 sf
SITE COVERAGE - BLDGS BY %		85% MAX		68%	
SITE COVERAGE - BLDGS & SURFACES BY AREA		2,437.3 sm <sup>2</sup> max.	26,235 sf max.	2,130.6 sm	22,933 sf
SITE COVERAGE - BLDGS & SURFACES BY %		90% MAX		79%	
HEIGHT		HEIGHT OF BUILDINGS (m)		HEIGHT (# OF STOREYS)	
HEIGHT OF BUILDINGS (m)		22.0 m max.	72.2 ft max.	22.0 m	72.1 ft
HEIGHT (# OF STOREYS)		6 STOREYS		6 STOREYS	
SETBACKS		FRONT YARD (EAST)		FRONT YARD (EAST)	
FRONT YARD (EAST)		3.0 m min.	9.8 ft min.	3.4 m	11.2 ft
SIDE YARD (SOUTH) BELOW 16m		0.0 m min.	0.0 ft min.	4.2 m	13.8 ft
SIDE YARD (SOUTH) ABOVE 16m		4.0 m min.	13.1 ft min.	4.2 m	13.8 ft
SIDE YARD (NORTH) BELOW 16m		0.0 m min.	0.0 ft min.	4.2 m	13.8 ft
SIDE YARD (NORTH) ABOVE 16m		4.0 m min.	13.1 ft min.	4.2 m	13.8 ft
REAR YARD (WEST) BELOW 16m		0.0 m min.	0.0 ft min.	4.0 m	13.3 ft
REAR YARD (WEST) ABOVE 16m		4.0 m min.	13.1 ft min.	4.0 m	13.3 ft

3. FLOOR AREA RATIO (FAR) SUMMARY					
BASE FAR: MAX 1.8 (PRE)		VALUE	APPLICABLE	AREA	
BONUS FAR FOR 6 STOREY (ID: 0.5) (PRE)		1.8 FAR	YES	4,874.7 sm	52,471 sf
BONUS FAR FOR RENTAL: 0.3 (PRE)		0.50 FAR	YES	1,354.1 sm	14,575 sf
TOTAL MAXIMUM FLOOR AREA (FAR) BY AREA		0.30 FAR	YES	784.0 sm	8,745 sf
TOTAL MAXIMUM FLOOR AREA (FAR) BY AREA		2.60 FAR		7,041.2 sm	75,791 sf
TOTAL FLOOR AREA (FAR) BY %		ZONING MAXIMUM	2.60 FAR	PROPOSED	2.48 FAR

4. FLOOR AREA SUMMARY					
		GROSS AREA		NET AREA	
LEVEL 1 APARTMENTS (EXCLUDES DECKS)		1,339.2 sm	14,415 sf	911.7 sm	9,813 sf
LEVEL 2 APARTMENTS (EXCLUDES DECKS)		1,445.7 sm	15,561 sf	1,160.6 sm	12,493 sf
LEVEL 3 APARTMENTS (EXCLUDES DECKS)		1,445.7 sm	15,561 sf	1,160.6 sm	12,493 sf
LEVEL 4 APARTMENTS (EXCLUDES DECKS)		1,445.7 sm	15,561 sf	1,160.6 sm	12,493 sf
LEVEL 5 APARTMENTS (EXCLUDES DECKS)		1,445.7 sm	15,561 sf	1,160.6 sm	12,493 sf
LEVEL 6 APARTMENTS (EXCLUDES DECKS)		1,445.7 sm	15,561 sf	1,160.6 sm	12,493 sf
TOTAL PROPOSED FLOOR AREA (FAR)		8,567.5 sm	92,220 sf	6,714.8 sm	72,278 sf
LEVEL P1 - PARKADE (INCLUDES RAMPS)		1,838.9 sm	19,793 sf		
LEVEL P2 - PARKADE (INCLUDES RAMPS)		1,838.9 sm	19,793 sf		
TOTAL PROPOSED PARKADE AREAS		3,677.7 sm	39,586 sf		

5. UNIT AREA SUMMARY				
		UNIT NET AREA		UNIT BALCONY AREA
STUDIO UNIT A		28.9 sm	311 sf	7.5 sm
STUDIO UNIT B		29.0 sm	312 sf	0.0 sm
1 BED UNIT A		44.2 sm	476 sf	12.6 sm
1 BED UNIT B		50.5 sm	544 sf	12.1 sm
JR. 2 BED UNIT A		50.9 sm	548 sf	6.5 sm
JR. 2 BED UNIT B		54.6 sm	588 sf	8.1 sm
2 BED UNIT A		67.6 sm	728 sf	11.9 sm
2 BED UNIT B		64.0 sm	689 sf	9.5 sm
2 BED & DEN UNIT A		71.4 sm	769 sf	7.2 sm
3 BED UNIT A		80.4 sm	865 sf	9.9 sm
3 BED UNIT B		80.4 sm	865 sf	12.0 sm
TOTAL # OF UNITS				

6. UNIT MIX SUMMARY					
		FLOOR LEVELS			
		LEVEL 1	LEVEL 2	LEVEL 3-4	LEVEL 5-6
STUDIO UNIT A		1	1	2	2
STUDIO UNIT B		0	1	2	2
1 BED UNIT A		2	2	4	4
1 BED UNIT B		2	2	4	4
JR. 2 BED UNIT A		2	2	4	4
JR. 2 BED UNIT B		2	2	4	4
2 BED UNIT A		2	4	8	8
2 BED UNIT B		1	2	4	4
2 BED & DEN UNIT A		2	2	4	4
3 BED UNIT A		1	1	2	2
3 BED UNIT B		0	1	2	2
TOTAL # OF UNITS		15	20	40	40

7. PRIVATE AND COMMON AMENITY SPACE SUMMARY					
REQUIRED AREA SUMMARY		AREA PER UNIT	# OF UNITS	SUBTOTAL (sm)	SUBTOTAL (sf)
STUDIO UNITS		6.0 sm	11	66	710 sf
1 BEDROOM UNITS		10.0 sm	24	240	2,583 sf
2 OR 3 BEDROOM UNITS		15.0 sm	80	1200	12,917 sf
TOTAL PRIVATE & COMMON AMENITY SPACE REQUIRED				1,506.0 sm	16,210 sf

PROVIDED AREA SUMMARY		SUBTOTAL (sm)		SUBTOTAL (sf)	
LEVELS 2-6 DECKS/BALCONIES					
STUDIO UNITS				37.6 sm	405 sf
1 BED UNITS				247.1 sm	2,660 sf
2 BED UNITS				550.9 sm	5,930 sf
3 BED UNITS				1,180.6 sm	1,180 sf
LEVEL 23.5 LARGER BALCONY AREA TOTAL				133.9 sm	1,441 sf
LEVEL 1 PATIOS (NOT INCLUDING AMENITY PATIO)				175.3 sm	1,887 sf
TOTAL PRIVATE AMENITY SPACE PROVIDED				1,254.5 sm	13,503 sf
INDOOR SPACES: LEVEL 1 AMENITY ROOMS & PET WASH				82.9 sm	892 sf
OUTDOOR SPACES: LEVEL 1 AMENITY PATIO & DOG RUN, PLAY AREA & GARDEN BEDS				398.9 sm	4,294 sf
TOTAL PRIVATE & COMMON AMENITY SPACE PROVIDED				1,736.3 sm	18,689 sf
TOTAL AMENITY SPACE REQUIRED TO BE ACCESSIBLE TO ALL RESIDENTS (4sm PER UNIT)				460.0 sm	4,951 sf
TOTAL AMENITY SPACE PROVIDED THAT IS ACCESSIBLE TO ALL RESIDENTS				481.8 sm	5,186 sf

8. VEHICLE PARKING SUMMARY					
		STUDIO UNITS	1 BED UNITS	2&3 BED UNITS	BYLAW #
		11 units total	24 units total	80 units total	
		0.8 per unit min.	0.9 per unit min.	1.0 per unit min.	
REQUIRED SPACES SUMMARY		9	22	111	Table 8.3.1
APARTMENTS (UNITS)		9	22	111	
APARTMENT (VISITORS)		MIN. 0.14 SPACE PER DWELLING UNIT		16	
TOTAL SPACES REQUIRED PRE REDUCTION				127	
RENTAL SUBZONE & URBAN CENTRE REDUCTION		20% REDUCTION WITHIN OF URBAN CENTRE		25	8.2.11(a)
TOTAL SPACES REQUIRED				102	
ACCESSIBLE SPACES REQUIRED		PROVIDED AS PART OF THE TOTAL SPACES REQUIRED		3	Table 8.2.17
ACCESSIBLE VAN SPACES REQUIRED		PROVIDED AS PAR...		1	Table 8.2.17
TOTAL VISITOR STALLS REQUIRED		POST RENTAL REDUCTION - REGULAR STALLS REQUIRED		13	Table 8.2.7b
PROVIDED SPACES SUMMARY		REGULAR SPACE	SMALL CAR SPACE	ACCESSIBLE...	
LEVEL P1 PARKADE		24	20	3	47
LEVEL P2 PARKADE		31	22	0	53
TOTAL PROVIDED (BY SPACE TYPE)		55	42	3	100
% OF SMALL CAR STALLS PROVIDED FOR UNITS			48% (MAX. 50%)		Table 8.2.7.b
TOTAL SPACES PROVIDED				100	4

9. BICYCLE PARKING SUMMARY						
REQUIRED LONG TERM SPACES SUMMARY		# OF UNITS	SPACE PER UNIT	TOTAL REQUIRED	BYLAW #	NOTES
2 BED UNITS OR LESS		104	0.75 per unit	78	TABLE 8.5	
3 BEDS		11	1.00 per unit	11		
<b>TOTAL LONG TERM SPACES REQUIRED</b>				<b>89</b>		
PROVIDED LONG TERM SPACES SUMMARY		FLOOR RACKS (FR)	WALL RACKS (WR)	PROPOSED		
ALL BIKE STORAGE ROOMS		58	38	40% (MAX. 50% WR)	96	8.5.6.(c)
BIKE STALLS LOCATED ON L1, P1, & L2		31	38	78% (MIN. 75%)		8.5.6.(d)
<b>TOTAL LONG TERM SPACES PROVIDED</b>				<b>96</b>		
SHORT TERM SPACE SUMMARY		6 PER ENTRANCE ...				8.54
NUMBER OF SHORT TERM SPACES REQUIRED		1 ENTRANCE			6	TABLE 8.5
SHORT TERM SPACES PROVIDED		REFER TO LANDSCAPE FOR BIKE RACK TYPES & LOCATIONS			6	





1 DAY: MARCH 21  
DP-A1.03 TIME: 9:00AM



2 DAY: MARCH 21  
DP-A1.03 TIME: 12:00PM



3 DAY: MARCH 21  
DP-A1.03 TIME: 3:00PM

SCHEDULE

A

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# DP23-0228

DVP24-0052

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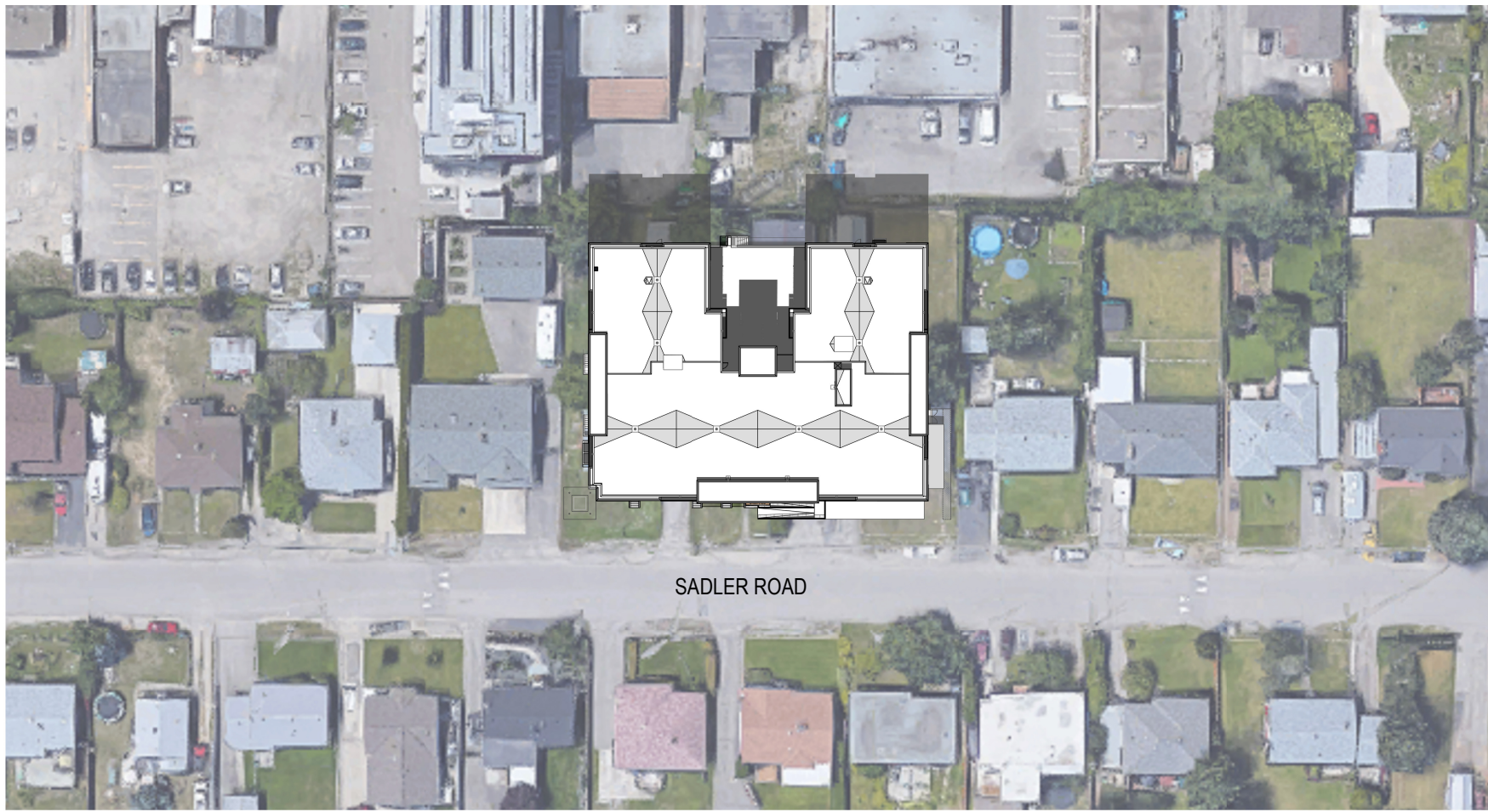
City of

Kelowna

COMMUNITY PLANNING



4 DAY: JUNE 21  
DP-A1.03 TIME: 9:00AM



5 DAY: JUNE 21  
DP-A1.03 TIME: 12:00PM



6 DAY: JUNE 21  
DP-A1.03 TIME: 3:00PM



7 DAY: DEC. 21  
DP-A1.03 TIME: 9:00AM



8 DAY: DEC. 21  
DP-A1.03 TIME: 12:00PM

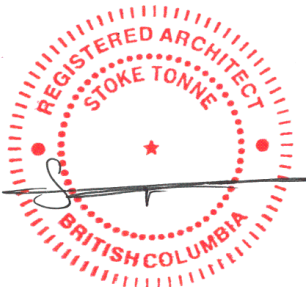


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DP-A1.03 TIME: 3:00PM

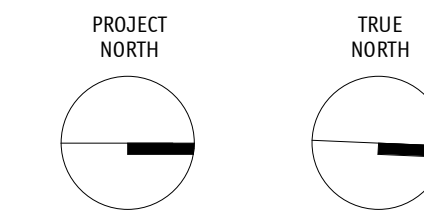
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Revision		
No.	Date	Revision

Project Title  
**SADLER ROAD  
RENTAL PROJECT**

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

Drawing Number Revision

**DP-A1.03**

Drawing Title

**SHADOW STUDY**

Job No.	1983
Scale	1" = 80'-0"
Drawn	T.R.
Checked	S.T.

SCHEDULE

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DVP24-0052

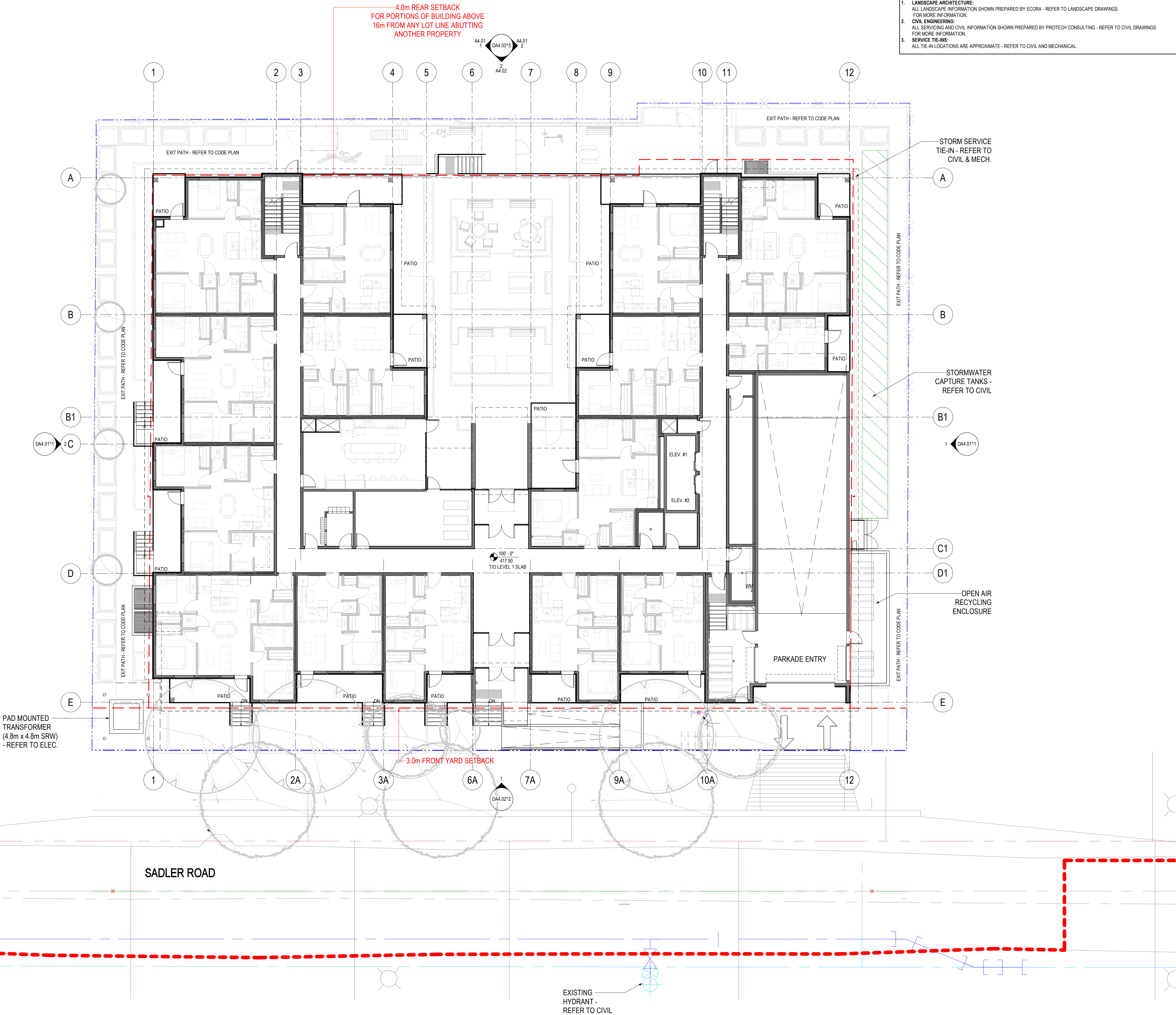
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- SITE PLAN CONSTRUCTION NOTES:
1. LANDSCAPE ARCHITECTURE:  
ALL LANDSCAPE INFORMATION SHOWN PREPARED BY ECORA - REFER TO LANDSCAPE DRAWINGS  
FOR MORE INFORMATION.

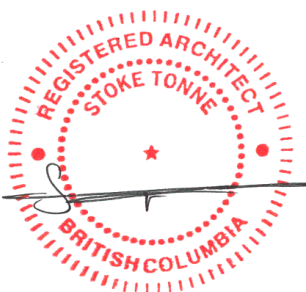
2. CIVIL ENGINEERING:  
ALL SERVING AND CIVIL INFORMATION SHOWN PREPARED BY PROTECH CONSULTING - REFER TO CIVIL DRAWINGS  
FOR MORE INFORMATION.

3. SERVICE TIE-INS:  
ALL TIE-IN LOCATIONS ARE APPROXIMATE - REFER TO CIVIL AND MECHANICAL.

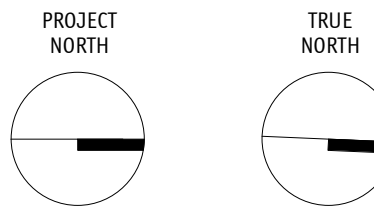
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RENTAL PROJECT**

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

Drawing Number Revision

**DP-A2.02**

Drawing Title

**SITE PLAN**

Job No.	1983
Scale	3/32" = 1'-0"
Drawn	T.R.
Checked	S.T.

SCHEDULE

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# DP23-0228

DVP24-0052

Planner

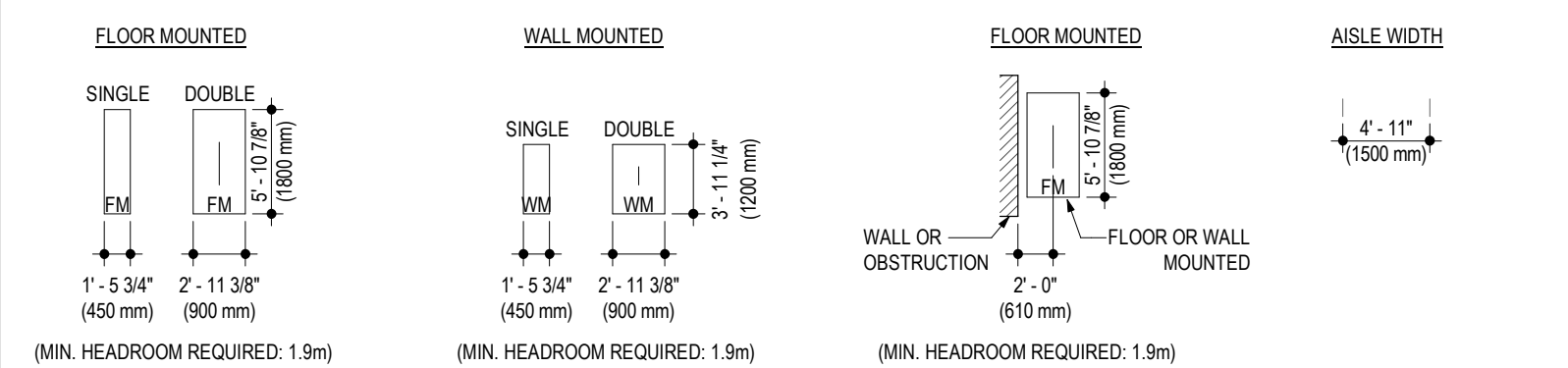
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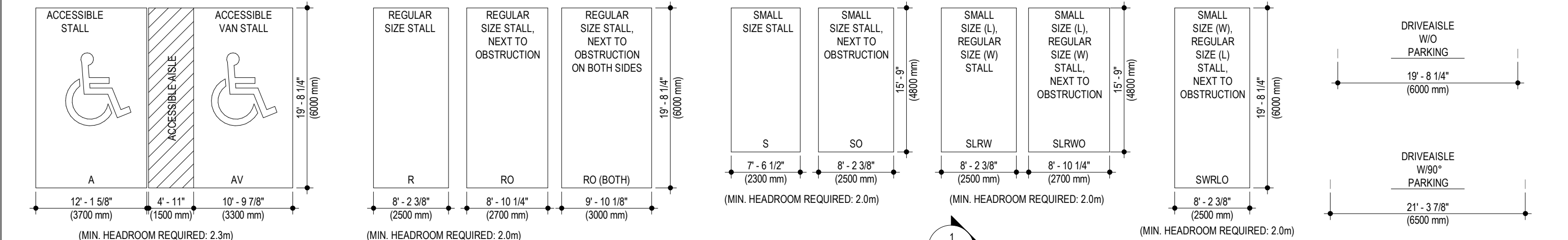
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CITY OF KELOWNA BICYCLE STALL & AISLE SIZE TABLE: MIN SIZES SHOWN

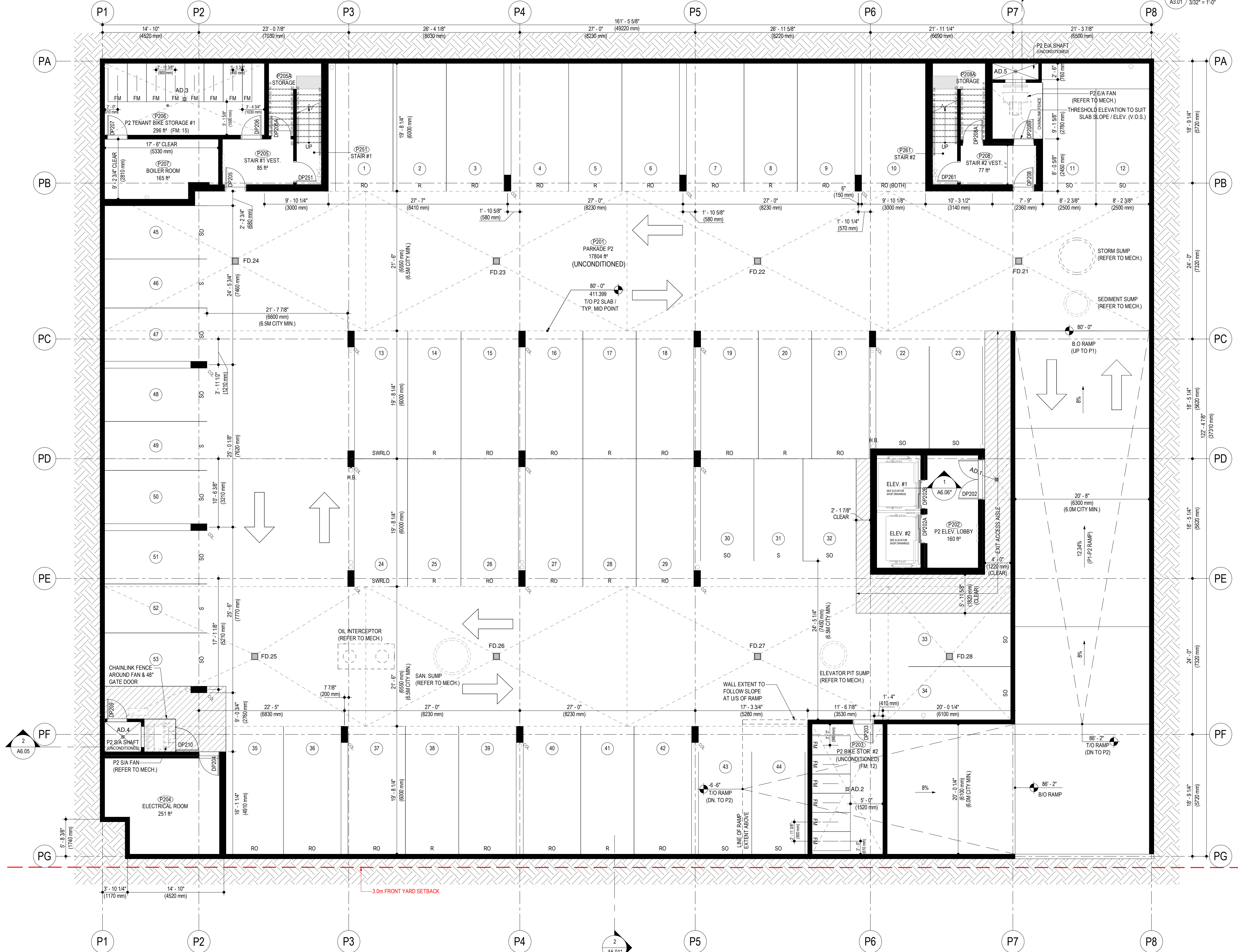


2 CITY OF KELOWNA BICYCLE PARKING STALL & DRIVEAISLE SIZE TABLE  
A3.01 3/32" = 1'-0"

CITY OF KELOWNA PARKING STALL & DRIVEAISLE SIZE TABLE: MIN SIZES SHOWN



3 CITY OF KELOWNA CAR PARKING STALL & DRIVEAISLE SIZE TABLE  
A3.01 3/32" = 1'-0"



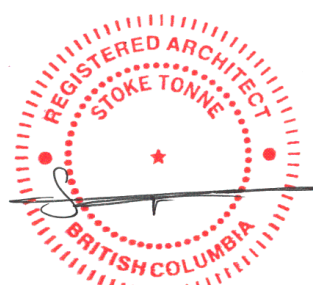
1 LEVEL P2 FLOOR PLAN  
DP-A3.01 1/8" = 1'-0"

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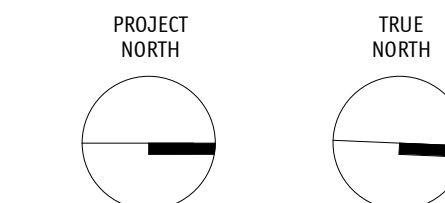
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RENTAL PROJECT**

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KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

Drawing Number Revision

**DP-A3.01**

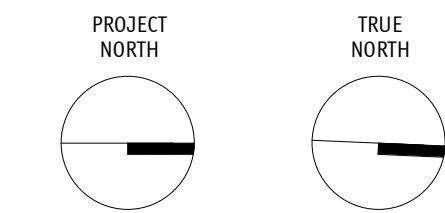
Drawing Title

**LEVEL P2 PARKADE PLAN**

Job No. 1983  
Scale AS SHOWN  
Drawn T.R.  
Checked S.T.



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RENTAL PROJECT**

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KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

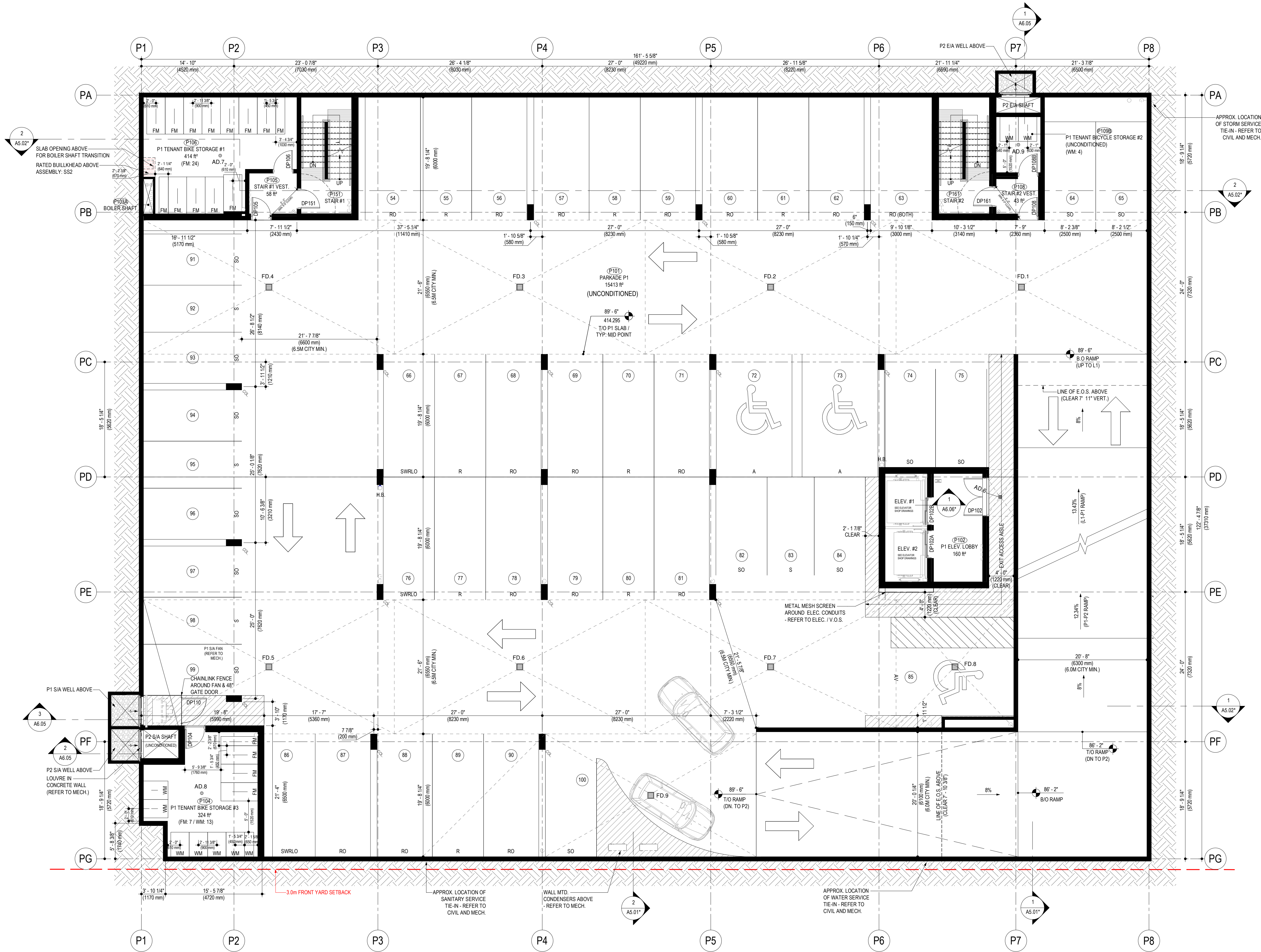
Drawing Number Revision

DP-A3.02

Drawing Title

LEVEL P1 PARKADE PLAN

Job No. 1983  
Scale 1/8" = 1'-0"  
Drawn T.R.  
Checked S.T.



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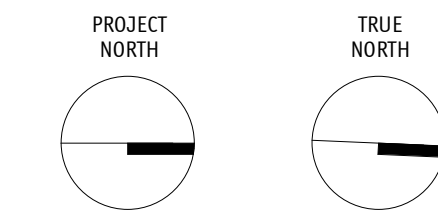
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RENTAL PROJECT**

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

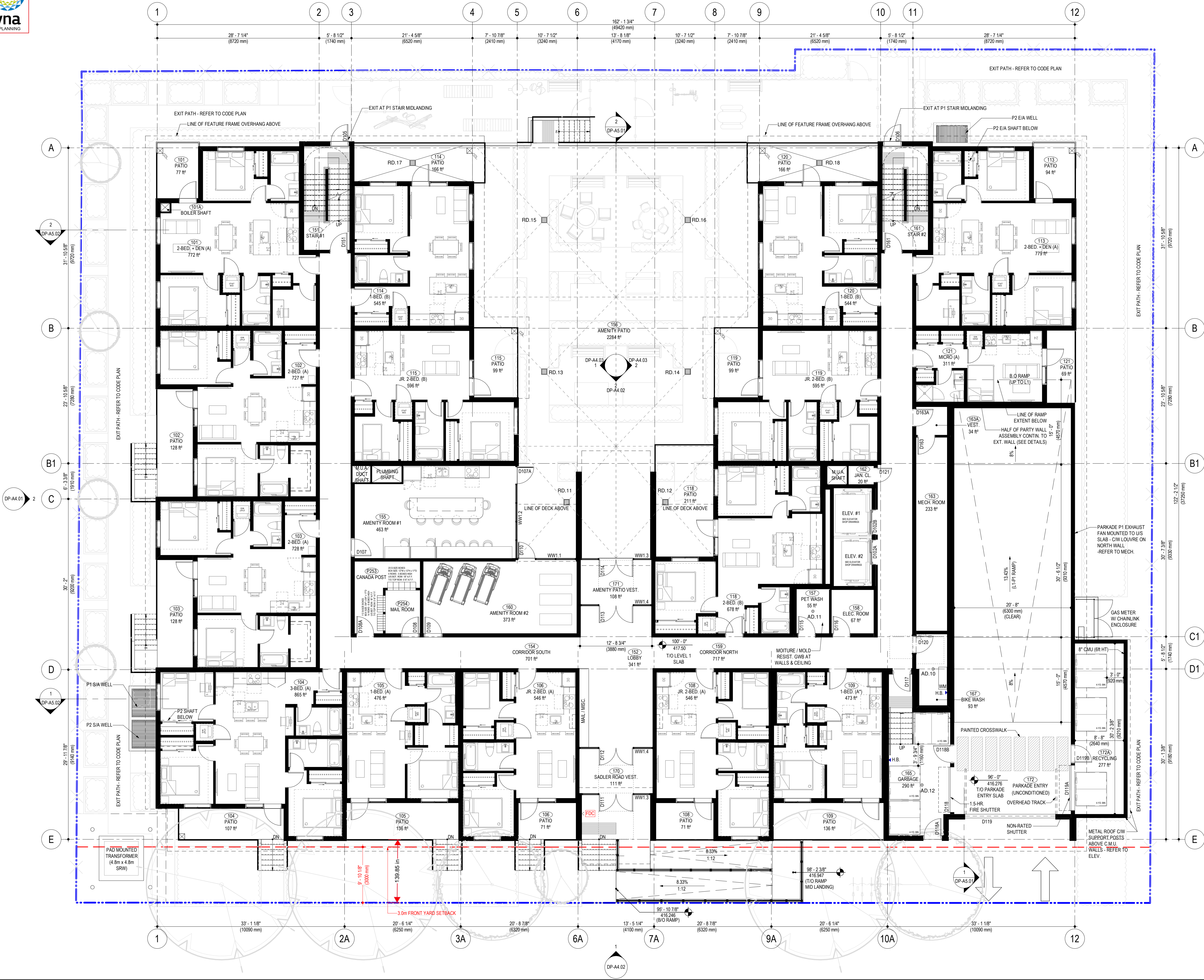
Drawing Number Revision

**DP-A3.03**

Drawing Title

**LEVEL 1 FLOOR PLAN**

Job No. 1983  
Scale 1/8" = 1'-0"  
Drawn T.R.  
Checked S.T.



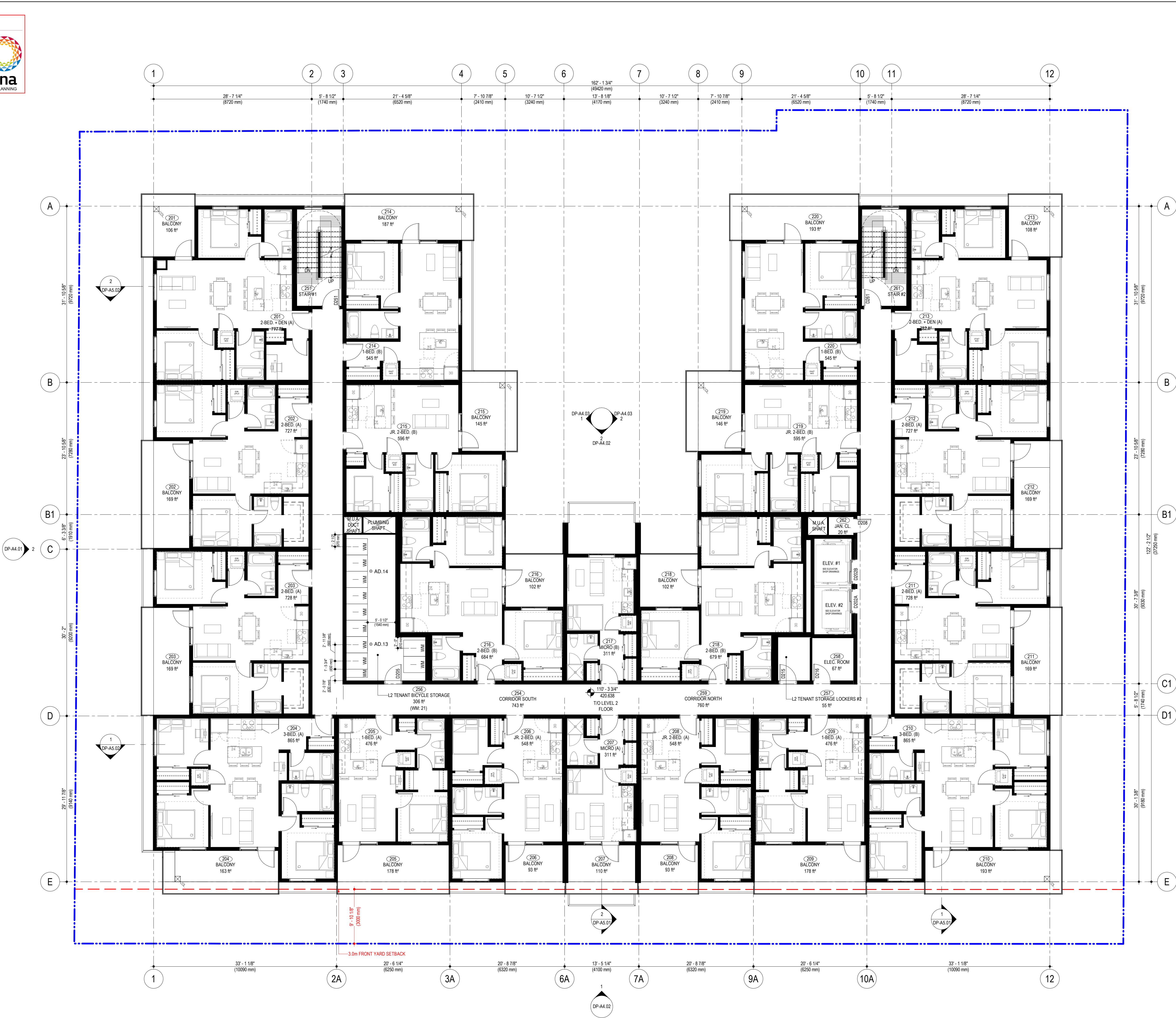
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PROJECT NORTH

TRUE NORTH

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Project Title

SADLER ROAD  
RENTAL PROJECT

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

Drawing Number

Revision

DP-A3.04

Drawing Title

LEVEL 2 FLOOR PLAN

Job No.

1983

Scale

1/8" = 1'-0"

Drawn

T.R.

Checked

S.T.



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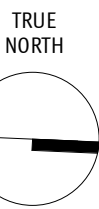
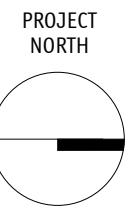
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Project Title  
**SADLER ROAD  
RENTAL PROJECT**

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

Drawing Number Revision

**DP-A3.06**

Drawing Title

**LEVEL 4 FLOOR PLAN**

Job No.	1983
Scale	1/8" = 1'-0"
Drawn	T.R.
Checked	S.T.



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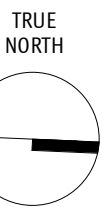
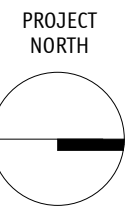
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Project Title  
**SADLER ROAD  
RENTAL PROJECT**

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

Drawing Number Revision

**DP-A3.07**

Drawing Title

**LEVEL 5 FLOOR PLAN**

Job No. 1983  
Scale 1/8" = 1'-0"  
Drawn T.R.  
Checked S.T.



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# DP23-0228  
DVP24-0052

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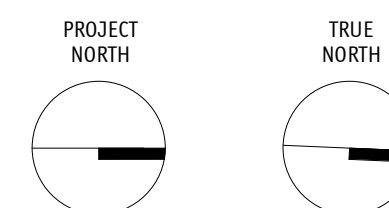


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2.	2024-03-05	ISSUED FOR FOUNDATION PERMIT
3.	2024-06-11	ISSUED FOR DP REVISIONS

Revision		
No.	Date	Revision

Project Title  
**SADLER ROAD  
RENTAL PROJECT**

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 | LOT 3, KAP2773 | LOT 4, & KAP12323 | LOT 5

Drawing Number	Revisio
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DP-A3.08

Drawing Title

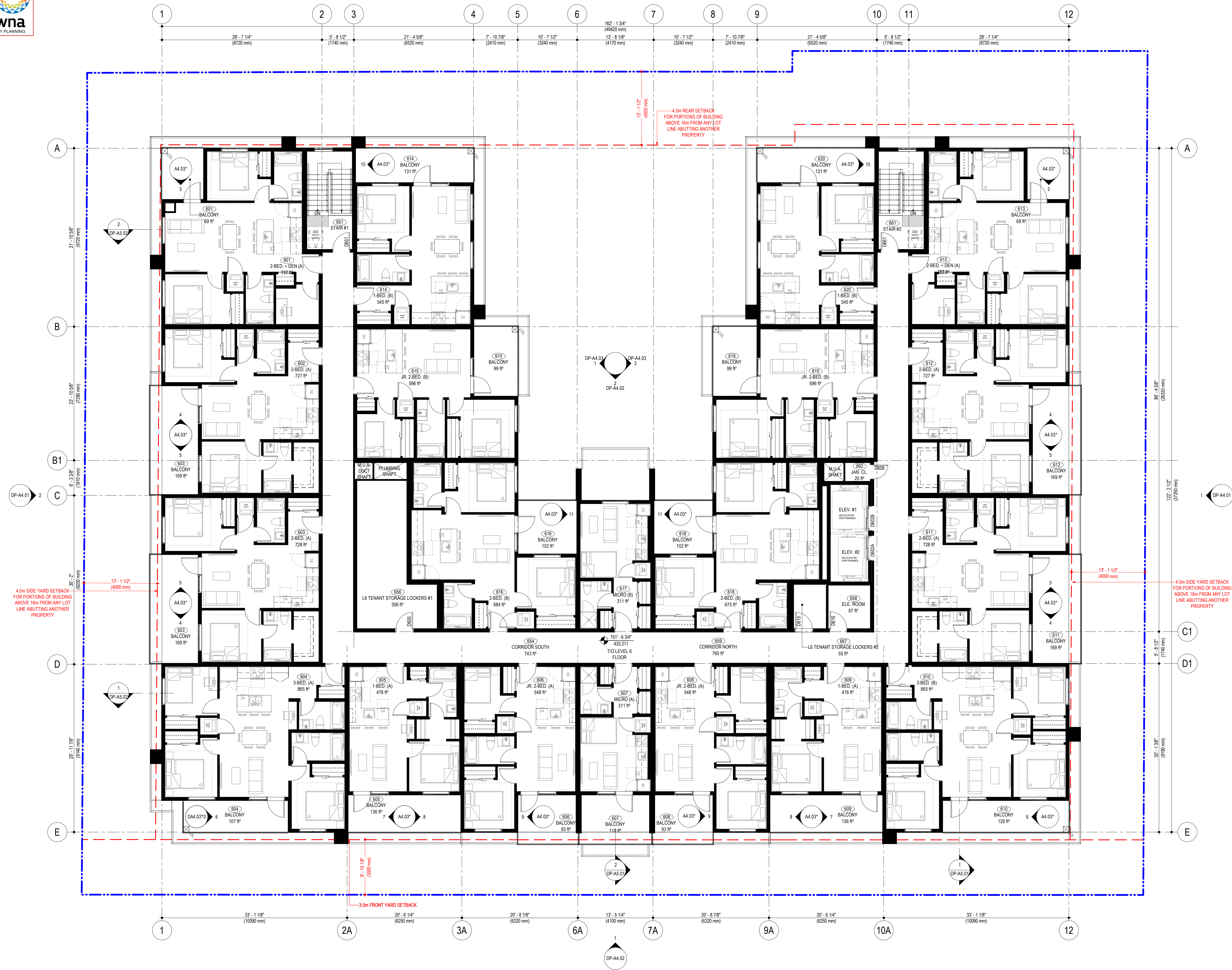
## LEVEL 6 FLOOR PLAN

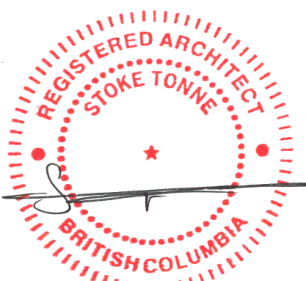
Job No.	1983
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Scale  $1/8" = 1'-0"$

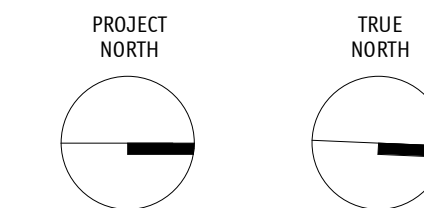
Drawn	T.R.
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Checked	S.1
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2024-06-13



Issued		Issued
No.	Date	
1	2023-11-24	ISSUED FOR DEVELOPMENT PERMIT
2	2024-03-05	ISSUED FOR FOUNDATION PERMIT
3	2024-06-11	ISSUED FOR DP REVISIONS

Revision		
No.	Date	Revision

Project Title  
**SADLER ROAD  
RENTAL PROJECT**

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

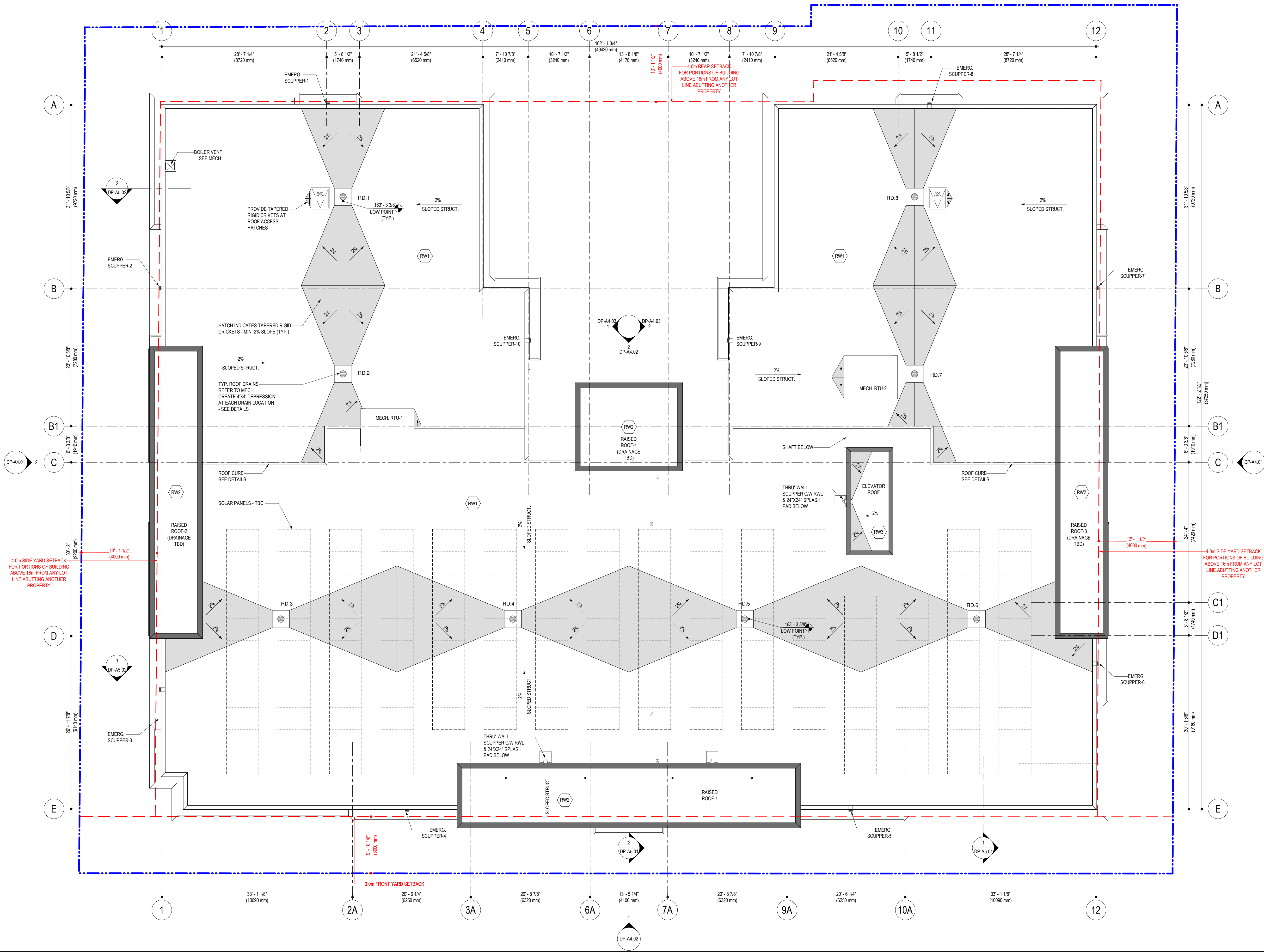
Drawing Number Revision

**DP-A3.09**

Drawing Title

**ROOF PLAN**

Job No. 1983  
Scale 1/8" = 1'-0"  
Drawn T.R.  
Checked S.T.



SCHEDULE

A

This forms part of application

# DP23-0228

DVP24-0052

Planner

Initials

AF

City of Kelowna

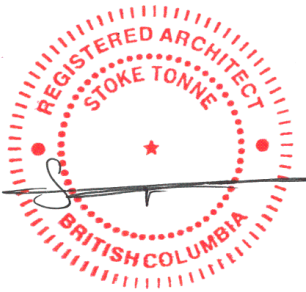
COMMUNITY PLANNING

UNIT PLAN SYMBOL LEGEND:	
SYMBOL	REPRESENTATION
	UNIT ENTRY VIA CORRIDOR

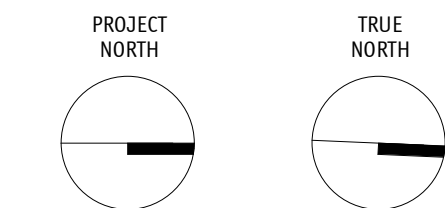
233 BERNARD AVENUE  
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Revision		Revision
No.	Date	

Project Title  
**SADLER ROAD  
RENTAL PROJECT**

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

Drawing Number Revision

**DP-A6.01**

Drawing Title

**UNIT PLANS**

Job No.	1983
Scale	1/8" = 1'-0"
Drawn	T.R.
Checked	S.T.



SCHEDULE

B

This forms part of application

# DP23-0228  
DVP24-0052

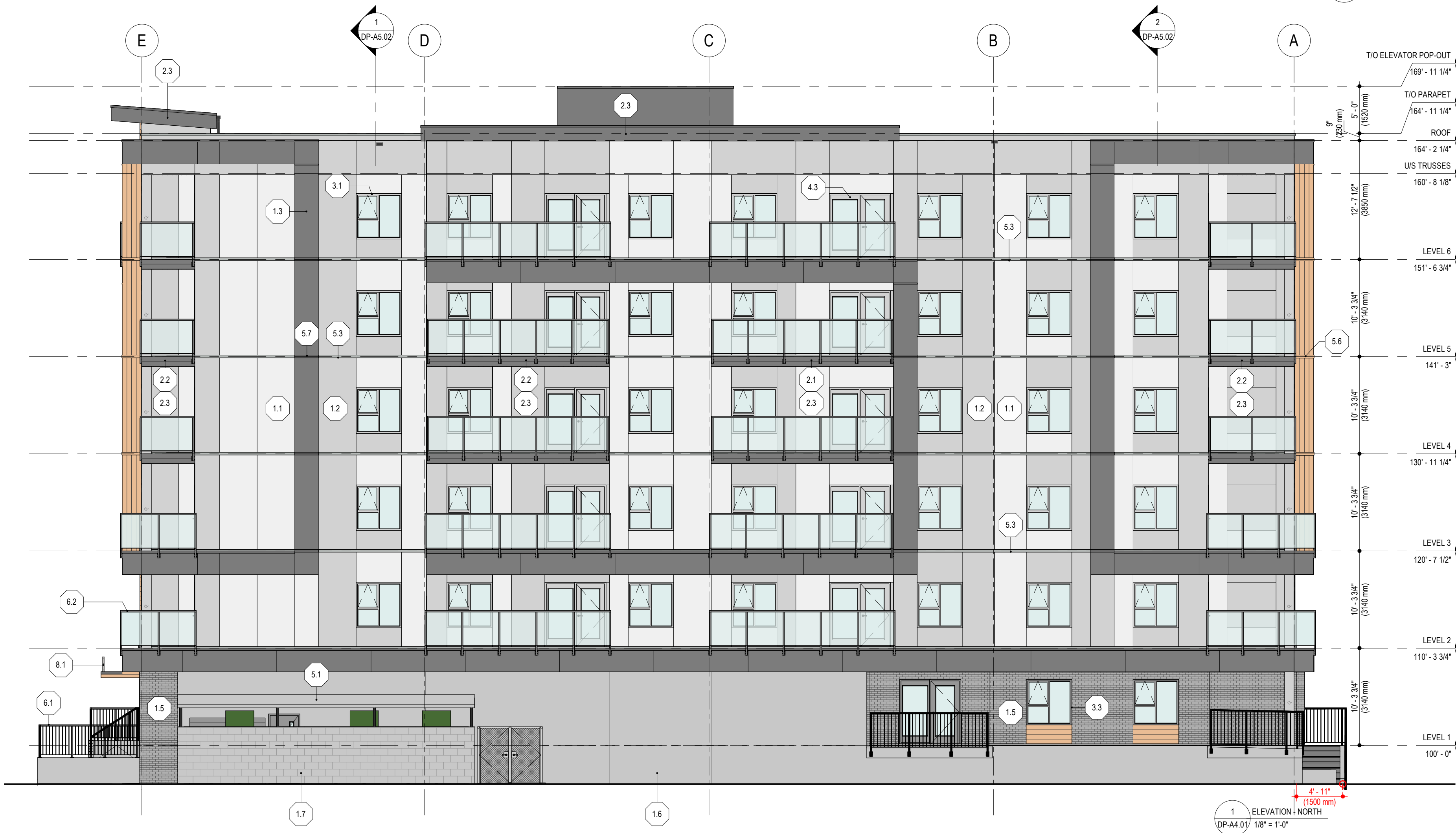
Planner  
Initials AF

City of Kelowna

COMMUNITY PLANNING



BUILDING ELEVATION KEYNOTE SCHEDULE		
	MATERIAL	COLOUR
1.0 CLADDING		
1.1	FIBRE CEMENT PANEL	LIGHT GREY / WHITE
1.2	FIBRE CEMENT PANEL	LIGHT / MEDIUM GREY
1.3	FIBRE CEMENT PANEL	DARK GREY
1.4	METAL PANEL	WOOD LOOK - MEDIUM TONE
1.5	THIN BRICK VENEER	MEDIUM / DARK GREY - TBC
1.6	ARCHITECTURAL CONCRETE	NATURAL / UNPAINTED
1.7	CONCRETE BLOCK	NATURAL / UNPAINTED
2.0 SOFFIT / FACIAS / TRIMS		
2.1	METAL SOFFIT PLANKS	LIGHT GREY
2.2	METAL SOFFIT PLANKS	WOOD LOOK - MEDIUM TONE
2.3	FIBRE CEMENT TRIM BOARDS / FASCIA PANELS	DARK GREY
3.0 WINDOWS		
3.1	VINYL WINDOWS	LIGHT GREY
	VISION GLAZING	CLEAR / NO TINT
3.2	ALUMINUM STOREFRONT GLAZING	CLEAR ANODIZED
	VISION GLAZING	CLEAR / NO TINT
3.3	VINYL WINDOWS	MEDIUM GREY
	VISION GLAZING	CLEAR / NO TINT
4.0 DOORS		
4.1	METAL DOOR	WOOD LOOK - MEDIUM TONE
4.2	METAL DOOR & STEEL FRAME	MATCHING ADJACENT WALL
4.3	VINYL PATIO / BALCONY SWING DOORS	LIGHT GREY
4.4	VINYL PATIO / BALCONY SWING DOORS	MEDIUM GREY
4.5	INSULATED OVERHEAD DOOR	MEDIUM GREY
5.0 ROOFS / FLASHINGS		
5.1	BUILT-UP ROOF MEMBRANE	GRAY / PATTERNED
5.2	BALCONY / DECK MEMBRANE	GRAY / PATTERNED
5.3	THROUGH WALL FLASHINGS	REGENT GREY
5.4	PARAPET CAP FLASHINGS	REGENT GREY
5.5	PARAPET CAP FLASHINGS	CHARCOAL
5.6	THROUGH WALL FLASHINGS	WOOD LOOK - MEDIUM TONE
5.7	THROUGH WALL FLASHINGS	CHARCOAL
6.0 METALS		
6.1	PATIO & RAMP METAL GUARDRAIL	BLACK
6.2	BALCONY METAL GUARDRAIL	DARK GREY
7.0 SCREENS		
7.1	COMPOSITE DECK BOARDS / SLATS	DARK GREY / GREY POSTS
7.2	GLAZED BALCONY PRIVACY SCREEN	DARK GREY
	GLAZING	FROSTED
8.0 SPECIALTIES		
8.1	SIGNAGE	T.B.D.



BUILDING ELEVATION MATERIAL SCHEDULE		
CEMENT PANEL - DARK GREY	CEMENT PANEL - LIGHT/MEDIUM GREY	CEMENT PANEL - LIGHT GREY / WHITE
1.3, 2.3,	1.2,	1.1, 2.1
THIN BRICK VENEER - MEDIUM GREY	ARCHITECTURAL CONCRETE - NATURAL	CONCRETE BLOCK - NATURAL
1.5	1.6	1.7
WOOD-LOOK PANEL	METALS - CHARCOAL	METALS - REGENT GREY
1.4, 2.2, 4.1, 5.6	5.5, 5.7	5.3, 5.4
METALS - MEDIUM GREY	ALUMINUM - CLEAR ANODIZED	ROOF MEMBRANE - MEDIUM GREY
4.4,	3.2	5.1, 5.2

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Revision		
No.	Date	Revision

Project Title  
**SADLER ROAD  
RENTAL PROJECT**

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

Drawing Number  
**DP-A4.01**

Drawing Title  
**BUILDING ELEVATIONS -  
NORTH & SOUTH**

Job No.	1983
Scale	1/8" = 1'-0"
Drawn	T.R.
Checked	S.T.



BUILDING ELEVATION KEYNOTE SCHEDULE		
	MATERIAL	COLOUR
<b>1.0 CLADDING</b>		
1.1	FIBRE CEMENT PANEL	LIGHT GREY / WHITE
1.2	FIBRE CEMENT PANEL	LIGHT / MEDIUM GREY
1.3	FIBRE CEMENT PANEL	DARK GREY
1.4	METAL PANEL	WOOD LOOK - MEDIUM TONE
1.5	THIN BRICK VENEER	MEDIUM / DARK GREY - TBC
1.6	ARCHITECTURAL CONCRETE	NATURAL / UNPAINTED
1.7	CONCRETE BLOCK	NATURAL / UNPAINTED
<b>2.0 SOFFIT / FACIAS / TRIMS</b>		
2.1	METAL SOFFIT PLANKS	LIGHT GREY
2.2	METAL SOFFIT PLANKS	WOOD LOOK - MEDIUM TONE
2.3	FIBRE CEMENT TRIM BOARDS / FASCIA PANELS	DARK GREY
<b>3.0 WINDOWS</b>		
3.1	VINYL WINDOWS	LIGHT GREY
3.2	VISION GLAZING	CLEAR / NO TINT
3.3	ALUMINUM STOREFRONT GLAZING	CLEAR ANODIZED
3.4	VISION GLAZING	CLEAR / NO TINT
3.5	VINYL WINDOWS	MEDIUM GREY
3.6	VISION GLAZING	CLEAR / NO TINT
<b>4.0 DOORS</b>		
4.1	METAL DOOR	WOOD LOOK - MEDIUM TONE
4.2	METAL DOOR & STEEL FRAME	MATCHING ADJACENT WALL
4.3	VINYL PATIO / BALCONY SWING DOORS	LIGHT GREY
4.4	VINYL PATIO / BALCONY SWING DOORS	MEDIUM GREY
4.5	INSULATED OVERHEAD DOOR	MEDIUM GREY
<b>5.0 ROOFS / FLASHINGS</b>		
5.1	BUILT-UP ROOF MEMBRANE	GRAY / PATTERNED
5.2	BALCONY / DECK MEMBRANE	GRAY / PATTERNED
5.3	THROUGH WALL FLASHINGS	REGENT GREY
5.4	PARAPET CAP FLASHINGS	REGENT GREY
5.5	PARAPET CAP FLASHINGS	CHARCOAL
5.6	THROUGH WALL FLASHINGS	WOOD LOOK - MEDIUM TONE
5.7	THROUGH WALL FLASHINGS	CHARCOAL
<b>6.0 METALS</b>		
6.1	PATIO & RAMP METAL GUARDRAIL	BLACK
6.2	BALCONY METAL GUARDRAIL	DARK GREY
<b>7.0 SCREENS</b>		
7.1	COMPOSITE DECK BOARDS / SLATS	DARK GREY / GREY POSTS
7.2	GLAZED BALCONY PRIVACY SCREEN	DARK GREY
7.3	GLAZING	FROSTED
<b>8.0 SPECIALTIES</b>		
8.1	SIGNAGE	T.B.D.

BUILDING ELEVATION MATERIAL SCHEDULE		
CEMENT PANEL - DARK GREY	CEMENT PANEL - LIGHT / MEDIUM GREY	CEMENT PANEL - LIGHT GREY / WHITE
1.3, 2.3,	1.2,	1.1, 2.1
THIN BRICK VENEER - MEDIUM GREY	ARCHITECTURAL CONCRETE - NATURAL	CONCRETE BLOCK - NATURAL
1.5	1.6	1.7
WOOD-LOOK PANEL	METALS - CHARCOAL	METALS - REGENT GREY
1.4, 2.2, 4.1, 5.6	5.5, 5.7	5.3, 5.4
METALS - MEDIUM GREY	ALUMINUM - CLEAR ANODIZED	ROOF MEMBRANE - MEDIUM GREY
4.4,	3.2	5.1, 5.2

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SCHEDULE		B
This forms part of application		
# DP23-0228		
DVP24-0052		
Planner	AF	City of Kelowna COMMUNITY PLANNING

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No.	Date	Issued
1	2023-11-24	ISSUED FOR DEVELOPMENT PERMIT
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3	2024-06-11	ISSUED FOR DP REVISIONS

Revision		
No.	Date	Revision

Project Title  
**SADLER ROAD  
RENTAL PROJECT**

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

Drawing Number  
**DP-A4.02**

Drawing Title  
**BUILDING ELEVATIONS -  
EAST & WEST**

Job No.	1983
Scale	1/8" = 1'-0"
Drawn	T.R.
Checked	S.T.

SCHEDULE

B

This forms part of application

# DP23-0228

DVP24-0052

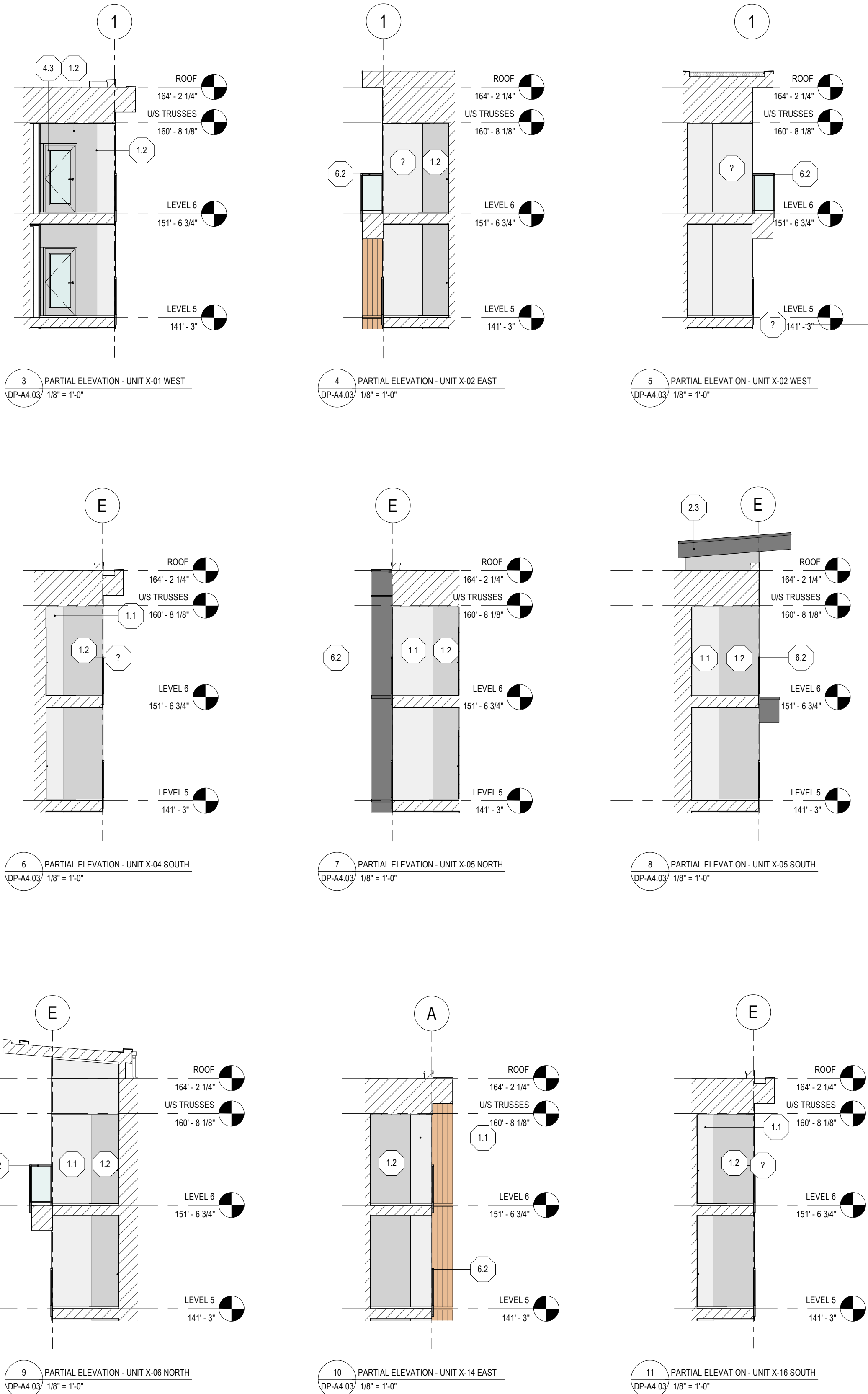
Planner

Initials

AF

City of Kelowna

COMMUNITY PLANNING



BUILDING ELEVATION KEYNOTE SCHEDULE		
	MATERIAL	COLOUR
1.0 CLADDING		
1.1	FIBRE CEMENT PANEL	LIGHT GREY / WHITE
1.2	FIBRE CEMENT PANEL	LIGHT / MEDIUM GREY
1.3	FIBRE CEMENT PANEL	DARK GREY
1.4	METAL PANEL	WOOD LOOK - MEDIUM TONE
1.5	THIN BRICK VENEER	MEDIUM / DARK GREY - TBC
1.6	ARCHITECTURAL CONCRETE	NATURAL / UNPAINTED
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2.0 SOFFIT / FACIAS / TRIMS		
2.1	METAL SOFFIT PLANKS	LIGHT GREY
2.2	METAL SOFFIT PLANKS	WOOD LOOK - MEDIUM TONE
2.3	FIBRE CEMENT TRIM BOARDS / FASCIA PANELS	DARK GREY
3.0 WINDOWS		
3.1	VINYL WINDOWS	LIGHT GREY
3.2	VISION GLAZING	CLEAR / NO TINT
3.3	ALUMINUM STOREFRONT GLAZING	CLEAR ANODIZED
3.4	VISION GLAZING	CLEAR / NO TINT
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4.0 DOORS		
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8.0 SPECIALTIES		
8.1	SIGNAGE	T.B.D.

BUILDING ELEVATION MATERIAL SCHEDULE		
CEMENT PANEL - DARK GREY	CEMENT PANEL - LIGHT / MEDIUM GREY	CEMENT PANEL - LIGHT GREY / WHITE
1.3, 2.3,	1.2,	1.1, 2.1
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1.4, 2.2, 4.1, 5.6	5.5, 5.7	5.3, 5.4
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MEIKLEJOHN ARCHITECTS INC.

REGISTERED ARCHITECT  
SINCE 2006  
BRITISH COLUMBIA

2024-06-13

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No.	Date	Issued
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Revision

No.	Date	Revision

Project Title

SADLER ROAD  
RENTAL PROJECT

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

Drawing Number

Revision

DP-A4.03

Drawing Title

PARTIAL BUILDING  
ELEVATIONS

Job No.

1983

Scale

1/8" = 1'-0"

Drawn

T.R.

Checked

S.T.

187



1 3D VIEW - NE CORNER  
DP-A4.11 N.T.S.



2 3D VIEW - NW CORNER  
DP-A4.11 N.T.S.



3 3D VIEW - SW CORNER  
DP-A4.11 N.T.S.



4 3D VIEW - SE CORNER  
DP-A4.11 N.T.S.

**SCHEDULE**

**B**

This forms part of application

# DP23-0228  
DVP24-0052

Planner Initials

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City of Kelowna

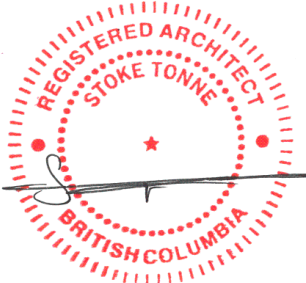
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MEIKLEJOHN ARCHITECTS INC.



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Project Title  
**SADLER ROAD  
RENTAL PROJECT**

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

Drawing Number	Revision
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**DP-A4.11**

Drawing Title

**3D VIEWS**

Job No.	1983
Scale	N=520'-0"
Drawn	T.R.
Checked	S.T.



SCHEDULE

B

This forms part of application

# DP23-0228

DVP24-0052

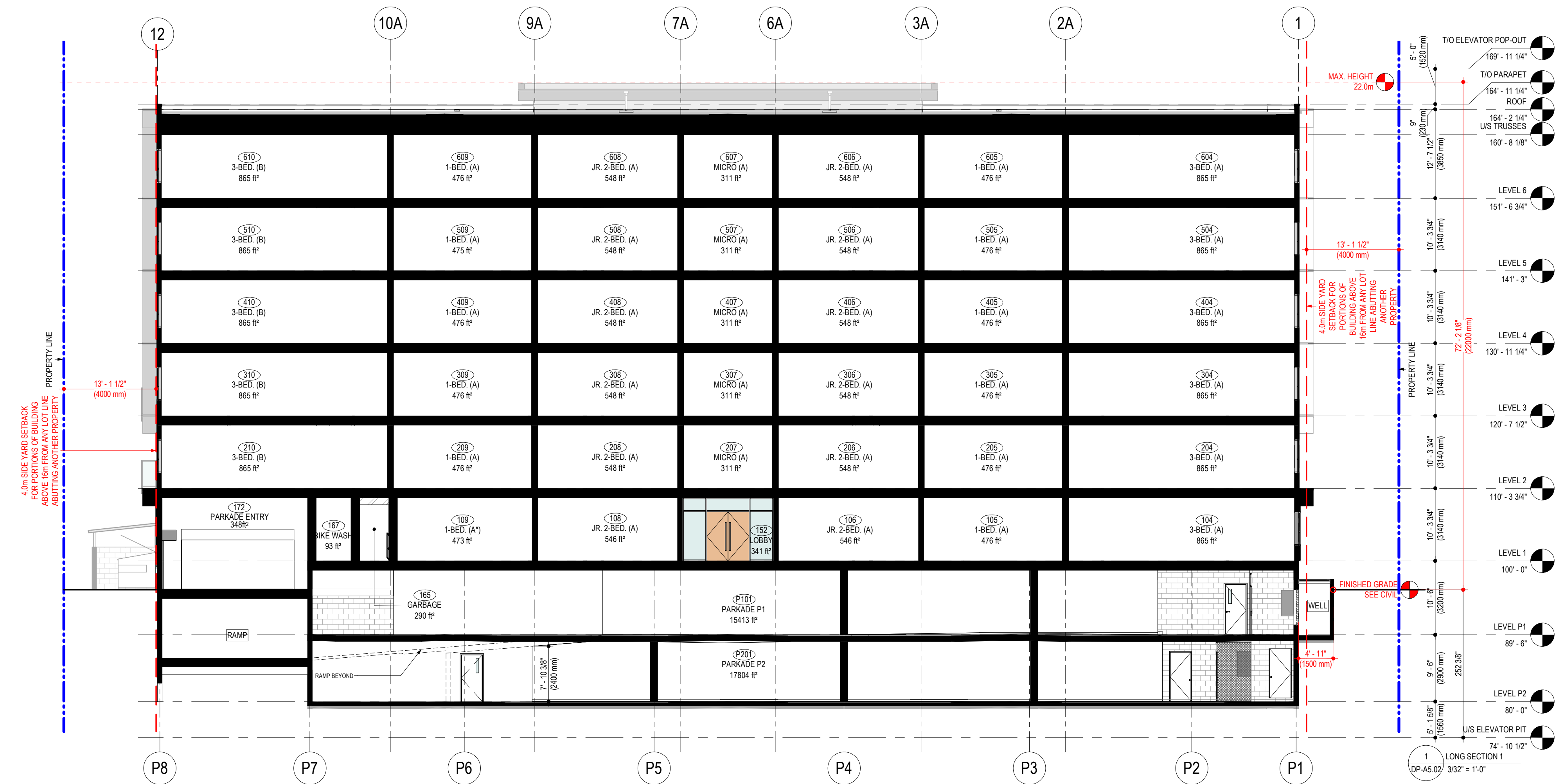
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**SADLER ROAD  
RENTAL PROJECT**

210 SADLER ROAD KELOWNA, BC V1X 2Y7  
KAP2773 LOT 3, KAP2773 LOT 4, & KAP12323 LOT B

Drawing Number      Revision

**DP-A5.02**

Drawing Title

**BUILDING SECTIONS**

Job No.	1983
Scale	3/8"=1'-0"
Drawn	T.R.
Checked	S.T.



SCHEDULE

This forms part of application

# DP23-0228  
DVP24-0052

Planner Initials AF

C

  
City of Kelowna  
COMMUNITY PLANNING

**ecora**  
200-2045 Enterprise Way  
Kelowna, BC V1Y 9T5  
T (250) 469-9757  
www.ecora.ca



### PLANT LIST

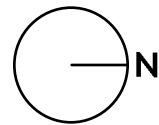
BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
<strong>TREES</strong>			
AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	4	3m CAL
CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2	4m CAL
QUERCUS MACROCARPA	BURR OAK	3	5m CAL
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	1	3m CAL
<strong>SHRUBS</strong>			
ARCTOSTAPHYLOS UVA-URSI	KINNICKINICK	81	#02 CONT. /0.6M O.C. SPACING
BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	20	#02 CONT. /1.2M O.C. SPACING
MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY	20	#02 CONT. /1.3M O.C. SPACING
ROSA 'RADCON'	RAINBOW KNOCKOUT ROSE	29	#02 CONT. /1.0M O.C. SPACING
TAXUS MEDIA 'TAUTONI'	TAUTON YEW	29	#02 CONT. /1.0M O.C. SPACING
VIBURNUM TRILOBUM 'COMPACTUM'	COMPACT CRANBERRY	13	#02 CONT. /1.5M O.C. SPACING
<strong>PERENNIALS, GRASSES &amp; GROUNDCOVERS</strong>			
ACHILLEA MILLEFOLIUM 'TERRACOTTA'	TERRACOTTA YARROW	41	#01 CONT. /0.6M O.C. SPACING
ATHYRIUM FILIX-FEMINA 'LADY IN RED'	LADY IN RED FERN	18	#01 CONT. /0.9M O.C. SPACING
CALAMAGROSIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	15	#01 CONT. /1.0M O.C. SPACING
ECHINACEA PURPUREA 'SOLAR FLARE'	SOLAR FLARE CONEFLOWER	41	#01 CONT. /0.6M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	41	#01 CONT. /0.6M O.C. SPACING
SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY STONECROP	41	#01 CONT. /0.6M O.C. SPACING
SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	15	#01 CONT. /1.0M O.C. SPACING
TIARELLA CORDIFOLIA	FOAMFLOWER	41	#01 CONT. /0.6M O.C. SPACING

### NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 12375 STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TREE BEDS TO RECEIVE A MINIMUM 1000mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREA FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.
7. FOR CONFORMANCE WITH DEVELOPMENT PERMIT LANDSCAPE REQUIREMENTS, THE PRIME CONTRACTOR AND/OR CONSULTANTS RESPONSIBLE FOR SITE SERVICING AND UTILITIES SHALL ENSURE THAT ALL BUILDING PERMIT SUBMITTALS ARE COORDINATED WITH LANDSCAPE ARCHITECTURAL SUBMITTALS.

### LEGEND

-  CONCRETE PAVING
-  CONCRETE PAVERS
-  GARDEN PLANTING
-  SHRUB PLANTING
-  SYNTHETIC TURF
-  SAFETY SURFACING
-  COMPOSITE WOOD
-  GRANULAR ROCK
-  1.25M BLACK CHAIN LINK FENCE
-  2.0M SOLID SCREEN FENCE
-  DECIDUOUS TREE PLANTING



PROJECT TITLE

**SADLER ROAD RENTAL**  
200, 210, 230 SADLER ROAD

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL  
LANDSCAPE PLAN**

ISSUED FOR / REVISION

1	23.11.24	Review
2	24.02.27	DP revisions
3		
4		
5		

PROJECT NO. 230545

DESIGN BY AM

DRAWN BY JN

CHECKED BY GH

DATE FEB. 27, 2024

SCALE 1:150

PAGE SIZE 24x36

SEAL



DRAWING NUMBER

**LS-101**

**NOT FOR CONSTRUCTION**

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Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	N/A	1	2	3	4	5
<b>2.1 General residential &amp; mixed use guidelines</b>						
<b>2.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.	✓					
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.						✓
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						✓
f. Avoid blank, windowless walls along streets or other public open spaces.					✓	
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	✓					
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. <ul style="list-style-type: none"> <li>Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets);</li> <li>The street wall does not include upper storeys that are setback from the primary frontage; and</li> <li>A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys.</li> </ul>						✓
<b>2.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.				✓		
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.					✓	
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> <li>Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and</li> </ul>		✓				

<ul style="list-style-type: none"> <li>Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice.</li> </ul>						
<b>2.1.3 Site Planning</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						✓
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						✓
c. Limit the maximum grades on development sites to 30% (3:1)	✓					
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> <li>Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible;</li> <li>Incorporating terracing to create usable open spaces around the building</li> <li>Using the slope for under-building parking and to screen service and utility areas;</li> <li>Design buildings to access key views; and</li> <li>Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped).</li> </ul>	✓					
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						✓
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	✓					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						✓
<b>2.1.4 Site Servicing, Access, and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						✓
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						✓
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> <li>Underground (where the high water table allows)</li> </ul>						✓

<ul style="list-style-type: none"> <li>• Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage);</li> <li>• Garages or at-grade parking integrated into the building (located at the rear of the building); and</li> <li>• Surface parking at the rear, with access from the lane or secondary street wherever possible.</li> </ul>						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.	✓					
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> <li>• Landscaping;</li> <li>• Trellises;</li> <li>• Grillwork with climbing vines; or</li> <li>• Other attractive screening with some visual permeability.</li> </ul>	✓					
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> <li>• Covered short-term parking in highly visible locations, such as near primary building entrances; and</li> <li>• Secure long-term parking within the building or vehicular parking area.</li> </ul>						✓
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						✓
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.						✓
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.						✓
<b>2.1.5 Streetscapes, Landscapes, and Public Realm Design</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Site buildings to protect mature trees, significant vegetation, and ecological features.	✓					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						✓
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						✓
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> <li>• Locating outdoor spaces where they will receive ample sunlight throughout the year;</li> <li>• Using materials and colors that minimize heat absorption;</li> <li>• Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and</li> <li>• Using building mass, trees and planting to buffer wind.</li> </ul>						✓

f. Use landscaping materials that soften development and enhance the public realm.						✓
g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.						✓
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.						✓
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> <li>• Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and</li> <li>• Using recycled water irrigation systems.</li> </ul>	✓					
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	✓					
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.	✓					
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> <li>• Minimizing light trespass onto adjacent properties;</li> <li>• Using full cut-off lighting fixtures to minimize light pollution; and</li> <li>• Maintaining lighting levels necessary for safety and visibility.</li> </ul>	✓					
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.	✓					
<b>2.1.6 Building Articulation, Features and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> <li>• Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks;</li> <li>• Repeating window patterns on each step-back and extension interval;</li> <li>• Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and</li> <li>• Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval.</li> </ul>					✓	
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs.						✓

Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters; ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.					✓	
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.					✓	
f. Provide weather protection such as awnings and canopies at primary building entries.						✓
g. Place weather protection to reflect the building's architecture.						✓
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						✓
i. Provide visible signage identifying building addresses at all entrances.						✓

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	N/A	1	2	3	4	5
<b>4.1 Low &amp; mid-rise residential &amp; mixed use guidelines</b>						
<b>4.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
i. Ensure lobbies and main building entries are clearly visible from the fronting street.						✓
j. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> <li>Locating enclosed parking garages away from street frontages or public open spaces;</li> <li>Using ground-oriented units or glazing to avoid creating dead frontages; and</li> <li>When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting.</li> </ul>					✓	
<b>Residential &amp; Mixed Use Buildings</b>						
k. Set back residential buildings on the ground floor between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio. <ul style="list-style-type: none"> <li>A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways.</li> </ul>						✓



<ul style="list-style-type: none"> <li>Exceptions can be made in cases where the water table requires this to be higher. In these cases, provide a larger patio and screen parking with ramps, stairs and landscaping.</li> </ul>						
l. Incorporate individual entrances to ground floor units accessible from the fronting street or public open spaces.						✓
m. Site and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.					✓	
<b>4.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.						✓
b. Residential buildings should have a maximum width of 24 m.					✓	
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.						✓
<b>4.1.3 Site Planning</b>	N/A	1	2	3	4	5
a. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> <li>Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and</li> <li>Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access.</li> </ul>						✓
b. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.	✓					
c. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	✓					
<b>4.1.4 Site Servicing, Access and Parking</b>	N/A	1	2	3	4	5
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> <li>Access is from a secondary street, where possible, or from the long face of the block;</li> <li>Impacts on pedestrians and the streetscape is minimised; and</li> <li>There is no more than one curb cut per property.</li> </ul>						✓
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.						✓
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: <ul style="list-style-type: none"> <li>Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and</li> </ul>						✓

<ul style="list-style-type: none"> <li>Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.</li> </ul>						
<b>4.1.5 Publicly-Accessible and Private Open Spaces</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	✓					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.						✓
<b>Outdoor amenity areas</b>						
c. Design internal courtyards to: <ul style="list-style-type: none"> <li>Provide amenities such as play areas, barbecues, and outdoor seating where appropriate.</li> <li>Provide a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.</li> </ul>						✓
d. Design mid-block connections to include active frontages, seating and landscaping.	✓					
<b>4.1.6 Building Articulation, Features, and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: <ul style="list-style-type: none"> <li>Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade;</li> <li>Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade;</li> <li>Providing a porch, patio, deck, or covered entry for each interval;</li> <li>Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance;</li> <li>Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval;</li> <li>Changing the materials with the change in building plane; and</li> <li>Provide a lighting fixture, trellis, tree or other landscape feature within each interval.</li> </ul>					✓	
b. Break up the building mass by incorporating elements that define a building's base, middle and top.						✓
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.						✓
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						✓

e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.	✓					
f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations: <ul style="list-style-type: none"> <li>• Primary building entrances;</li> <li>• Adjacent to bus zones and street corners where people wait for traffic lights;</li> <li>• Over store fronts and display windows; and</li> <li>• Any other areas where significant waiting or browsing by people occurs.</li> </ul>						✓
g. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						✓
h. Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.	✓					
i. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.						✓
j. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.	✓					
k. Avoid the following types of signage: <ul style="list-style-type: none"> <li>• Internally lit plastic box signs;</li> <li>• Pylon (stand alone) signs; and</li> <li>• Rooftop signs.</li> </ul>						✓
l. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓					



<ul style="list-style-type: none"> <li>Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.</li> </ul>						
<b>4.1.5 Publicly-Accessible and Private Open Spaces</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	✓					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.						✓
<b>Outdoor amenity areas</b>						
c. Design internal courtyards to: <ul style="list-style-type: none"> <li>Provide amenities such as play areas, barbecues, and outdoor seating where appropriate.</li> <li>Provide a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.</li> </ul>						✓
d. Design mid-block connections to include active frontages, seating and landscaping.	✓					
<b>4.1.6 Building Articulation, Features, and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: <ul style="list-style-type: none"> <li>Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade;</li> <li>Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade;</li> <li>Providing a porch, patio, deck, or covered entry for each interval;</li> <li>Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance;</li> <li>Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval;</li> <li>Changing the materials with the change in building plane; and</li> <li>Provide a lighting fixture, trellis, tree or other landscape feature within each interval.</li> </ul>					✓	
b. Break up the building mass by incorporating elements that define a building's base, middle and top.						✓
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.						✓
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						✓

e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.	✓					
f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations: <ul style="list-style-type: none"> <li>• Primary building entrances;</li> <li>• Adjacent to bus zones and street corners where people wait for traffic lights;</li> <li>• Over store fronts and display windows; and</li> <li>• Any other areas where significant waiting or browsing by people occurs.</li> </ul>						✓
g. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						✓
h. Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.	✓					
i. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.						✓
j. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.	✓					
k. Avoid the following types of signage: <ul style="list-style-type: none"> <li>• Internally lit plastic box signs;</li> <li>• Pylon (stand alone) signs; and</li> <li>• Rooftop signs.</li> </ul>						✓
l. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓					

Dear City of Kelowna Planning Department,

RE: Rezoning and Development Permit Application regarding 200, 210 & 230 Sadler Road

## Design Rationale

Our proposed 6-storey building is designed to align with the zoning bylaw at the time of submission. As the inaugural development application on the street, its midblock location prompted voluntary side and rear yard, demonstrating a conscientious approach to its unique position.

Mindful of our neighbors, we incorporated ground-oriented units and a resident amenity garden to preserve the neighborhood's "ground-oriented feel" during the transition to higher density. Balconies have been purposefully inset to minimize sightlines into surrounding properties, promoting privacy and reinforcing the ground-oriented ambiance. Pursuing UC4r zoning is our strategic response to Kelowna's housing crisis. Our goal is to offer a diverse unit mix across the 115 units, encompassing micro units and family-oriented 3-bedroom units, aligning with the pressing need for varied rental housing options in Kelowna.

Our commitment to mindful design extends to placing parking below grade, minimizing a visible parkade wall facing adjacent properties. Architectural features such as wood-like elements, a neutral color palette, and targeting Step Code 3 contribute to a welcoming and environmentally conscious development. The project, aligned with the OCP, reflects a community-endorsed planning approach. We believe our design will positively contribute to the Rutland Urban Centre.

A variance for the front yard step back is proposed, necessitated by a recent text amendment adopted in January 2024. The timing of the enforcement compelled us to petition the council for a reconsideration to accommodate applications submitted prior to the date of adoption, as the proposed building would incur substantial redesign costs and project delays to comply with the amended regulation.

Basic building requirements such as an electrical transformer and a parkade entrance have constrained the available landscaping within the front yard setback. As such, we have provided the maximum soil-based landscaping possible. We also believe that street access for ground oriented units enhance the building's pedestrian scale so stairs and private pathways (hard surfaces) have been designed with soil cell to maintain soil volume for trees but reduce our soil based landscaping.

## Proposed Variances

We are proposing 1 variance for the planning department's consideration:

- 14.11 Min. building setback from front yard.  
Required: 3.0m  
Proposed: 0.0m

Additionally, we will also be exercising the payment in lieu of off-street parking for a 2 stall deficit.

- Section 8.3: Required off-Street Parking Requirements  
Required: 102 stalls  
Proposed: 100 stalls

We appreciate your time and consideration and look forward to supportive comments in response to this Rezoning and Development Permit application.

Sincerely,



Jeff Nishimura



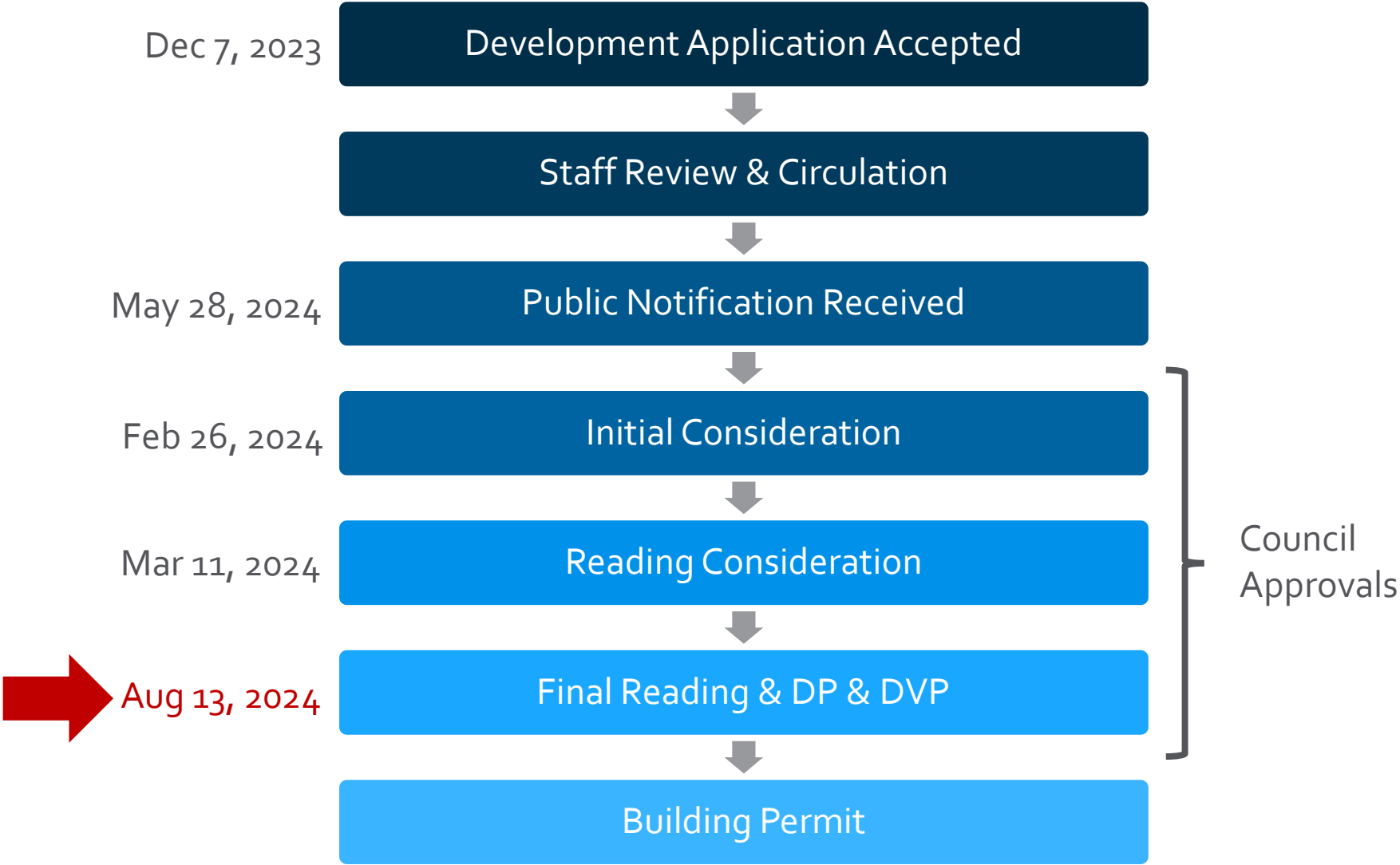
DP23-0228 & DVP24-0052  
210 Sadler Rd

Development Permit & Development Variance Permit

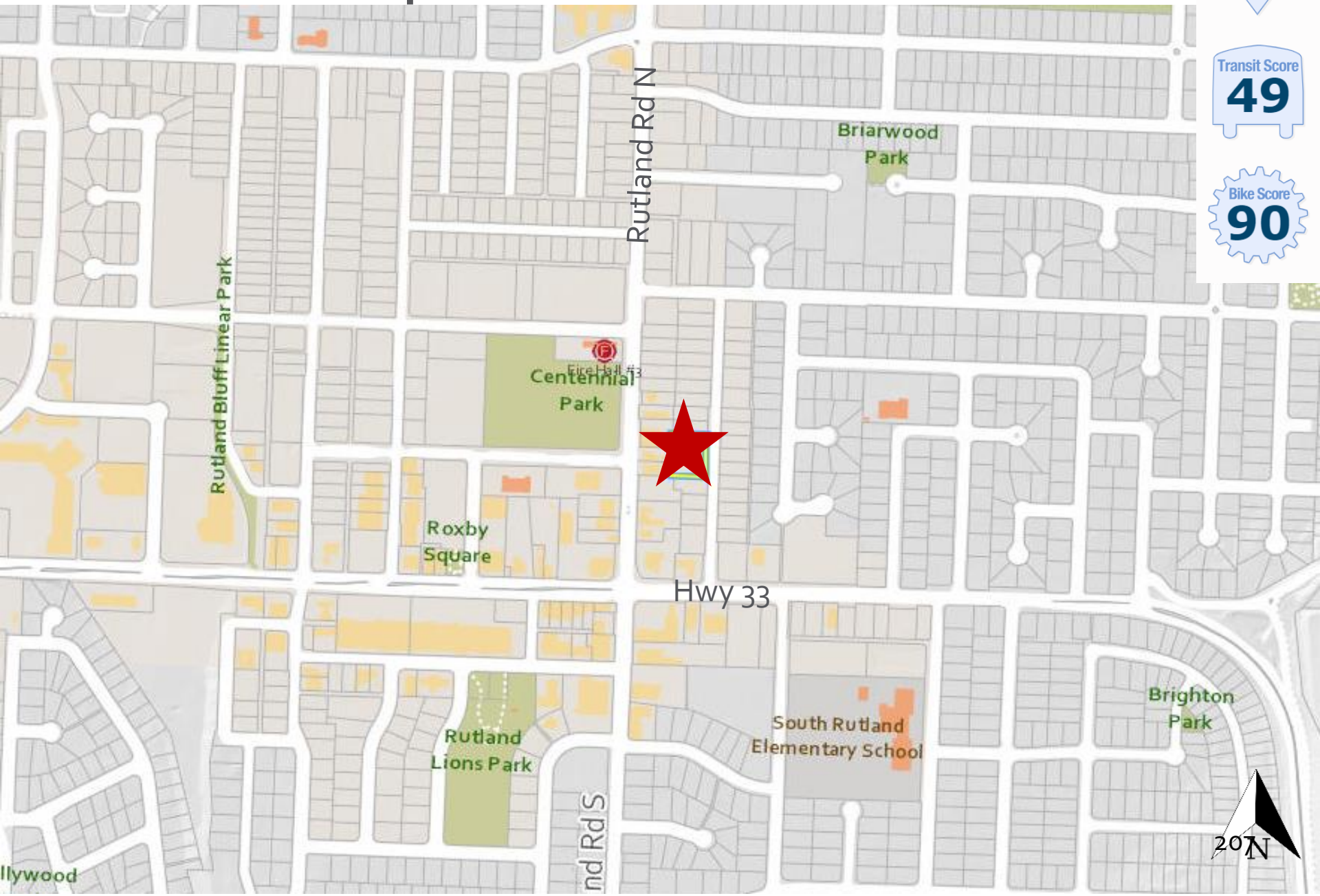
# Purpose

- ▶ To issue a Development Permit for the form and character of apartment housing and a Development Variance Permit to vary the minimum front yard building setback from 3.0 m required to 0.0 m proposed.

# Development Process



# Context Map

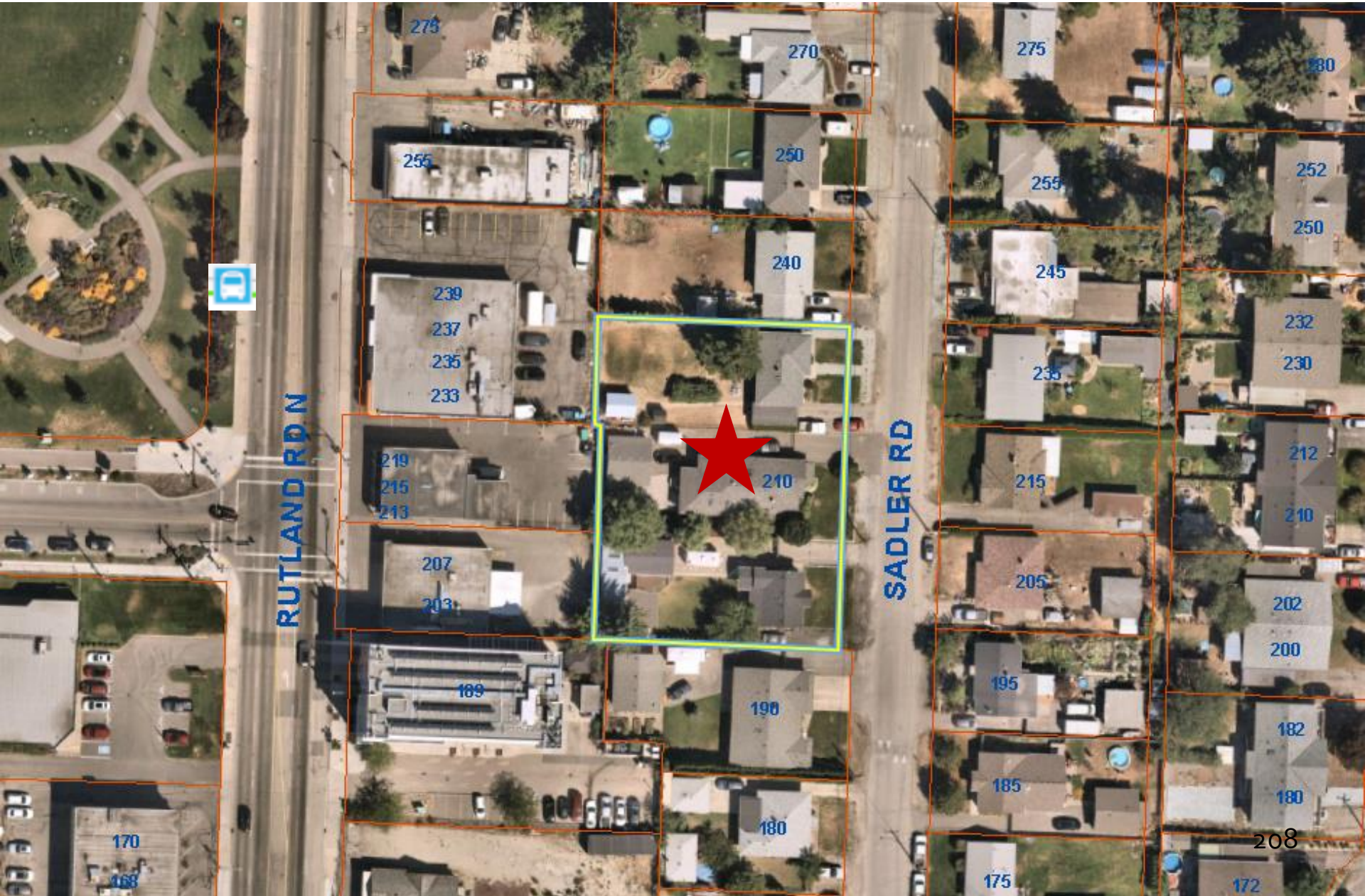


Walk Score  
**87**

Transit Score  
**49**

Bike Score  
**90**

# Subject Property Map



# Technical Details

- ▶ UC<sub>4r</sub> – Rutland Urban Centre Rental Only
  - ▶ 115 units
    - ▶ 11 bachelor (micro-suite)
    - ▶ 24 one-bedroom
    - ▶ 69 two-bedroom
    - ▶ 11 three-bedroom
  - ▶ 6 storeys in height
  - ▶ 100 Parking Stalls
    - ▶ 2 cash-in-lieu of parking stalls
  - ▶ 96 Long-term Bicycle Parking Stalls
  - ▶ 3 Large Trees

# Variances

- ▶ Section 14.11: To vary the minimum stepback from 3.0 m required to 0.0 m proposed.

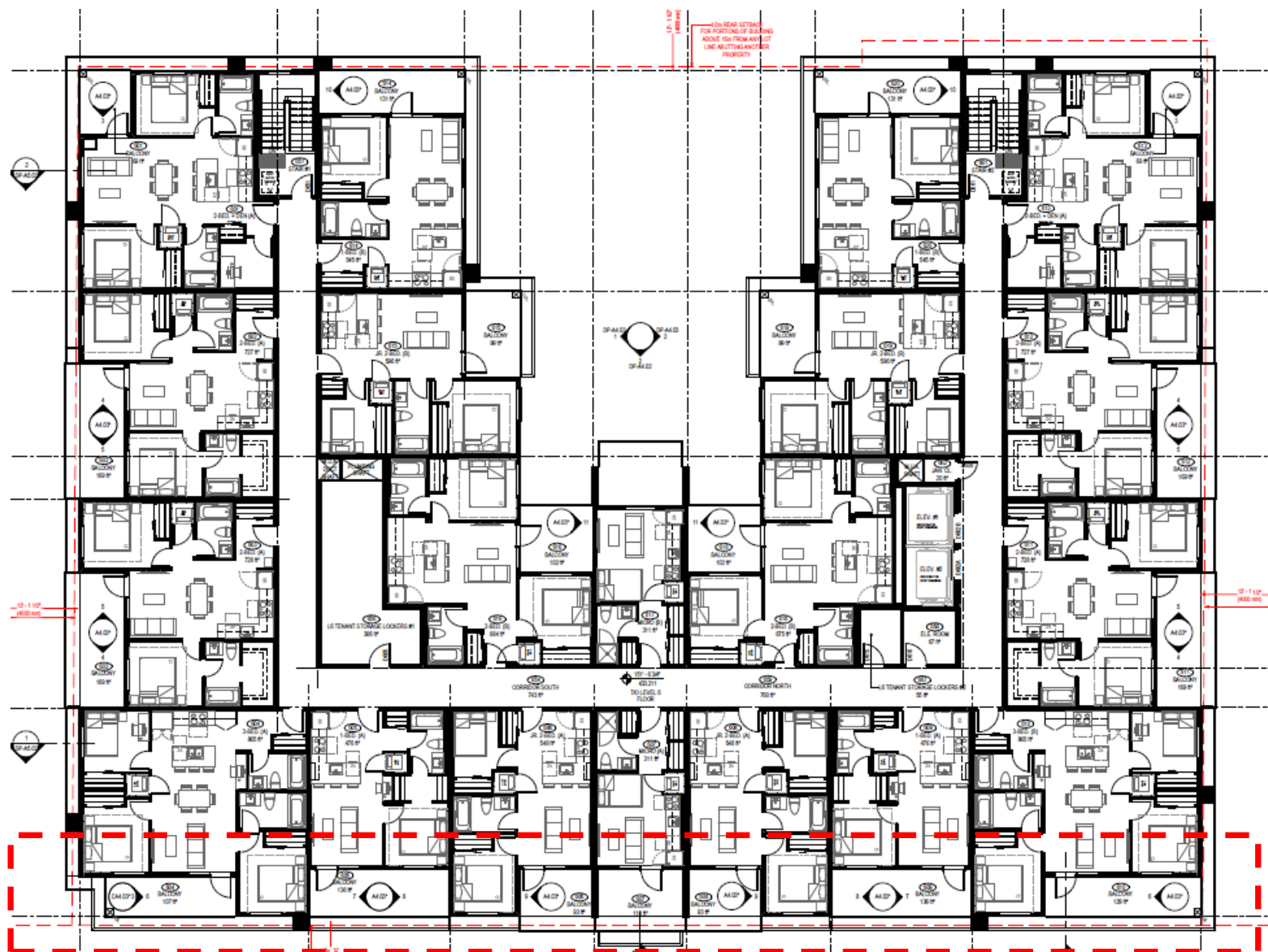
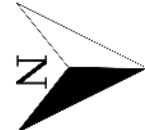


East Elevation  
Facing Sadler Rd



North Elevation  
Facing adjacent property

# Variances – 6<sup>th</sup> Floor Plan





# Elevation – East



Sadler Rd

# Elevation – West



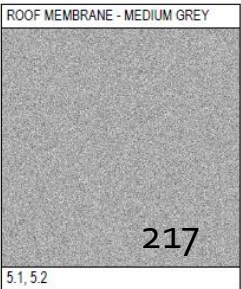
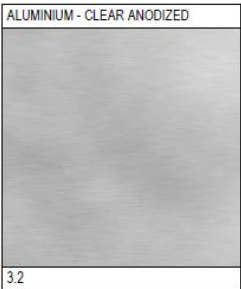
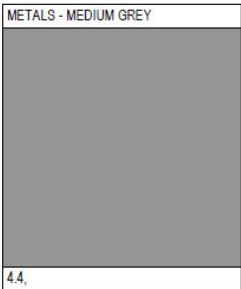
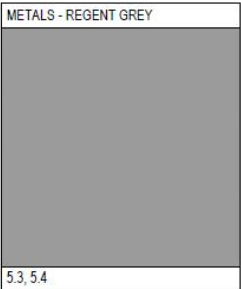
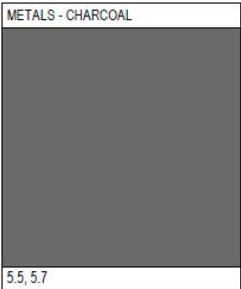
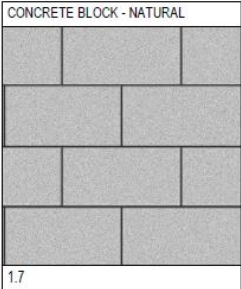
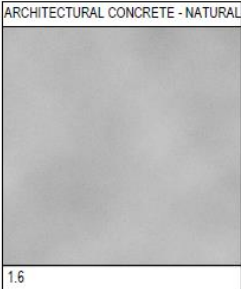
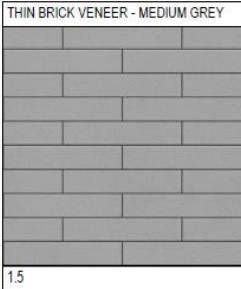
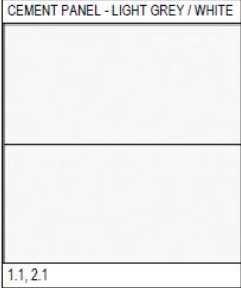
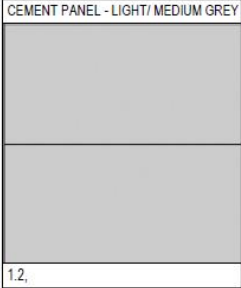
# Elevation – South



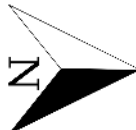
# Elevation – North



# Materials Board



# Landscape Plan



Sadler Rd

# Rendering – NW



# Shadow Study



1) March 21: 9 am



2) March 21: 12 noon



3) March 21: 3 pm



4) December 21: 9 am



5) December 21: 12 noon



6) December 21: 3 pm

# OCP Design Guidelines

- ▶ Orienting the primary building façade and entries to Sadler Rd
  - ▶ Incorporating individual ground floor entrances
- ▶ Locating balconies and windows to create an active frontage with 'eyes on the street'
- ▶ Screening parking from public view
- ▶ Articulating the front building façade and utilizing a consistent range of materials and colours

# Staff Recommendation

- ▶ Staff recommend **support** for the proposed development permit and development variance permit as it:
  - ▶ Meets majority of OCP Design Guidelines
  - ▶ Variances created due to bylaw change when project was already in-stream

Rd

DP and DVP Application  
August 2024



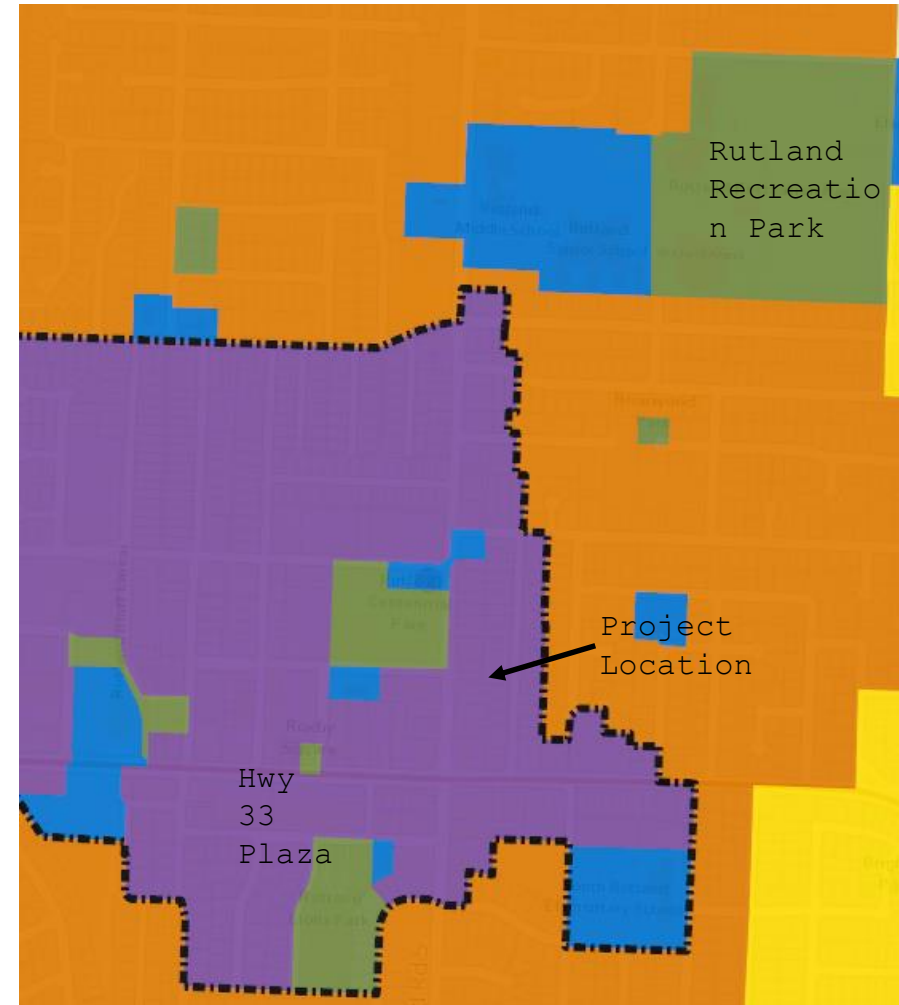
# Property Location

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What's nearby

- Save-On (8 min walk)
- Rutland Recreation Park (14 min walk)
- Rutland Bus Exchange (11 min walk)
- Rutland Centennial Park (6 min walk)

**DOMINIUM** 18 min  
t)



GREENSTONE  
DEVELOPMENTS

# Project Statistics

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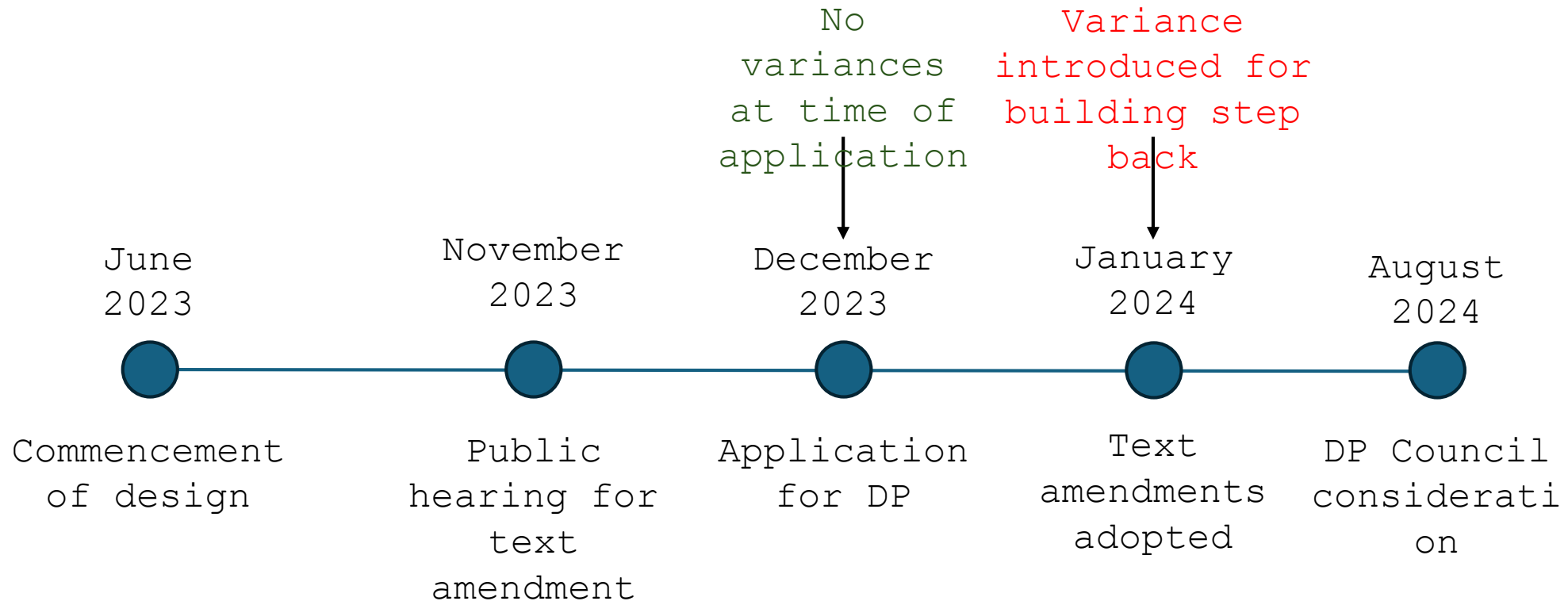
- 115 units
  - 11 micro units (10%)
  - 24 one bed units (21%)
  - 24 one bed & den units (21%)
  - 33 two bed units (29%)
  - 12 two bed and den units (10%)
  - 11 three bed units (10%)
- Parking
  - 100 parking stalls
- provided
  - 96 bike stalls provided
- Landscape Requirements
  - Bylaw compliant
- Amenity space
  - 5,186sf of common amenity space
  - 13,503sf of private amenity space

# Building Setbacks

Setbacks	Zoning Requirements	Proposed
Front Yard (East)	3.0m	3.4m
Side Yard (North)	0.0m	4.2m
Side yard (South)	0.0m	4.2m
Rear Yard (West)	0.0m	4.0m

# Development Timeframe

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Questions?

# REPORT TO COUNCIL

## DEVELOPMENT VARIANCE PERMIT & LIQUOR LICENCE



**Date:** August 13, 2024  
**To:** Council  
**From:** City Manager  
**Address:** 1080-1090 Richter St  
**File No.:** DVP24-0087 & LL23-0007  
**Zone:** I2 – General Industrial  
**OCP Future Land Use:** IND – Industrial

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### 1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP24-0087 for Lot 1 District Lot 139 ODYD Plan 7858, located at 1080-1090 Richter St, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 12375 be granted as shown on Schedule "A":

**Table 8.3.4: Industrial, Parking Requirement**

To vary the required parking from 7 stalls to 0 (zero) stalls proposed for a maximum of 30 individual single day events per calendar year.

AND THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

AND FURTHER THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with 'Division 9 (71)' of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

1. Council recommends support of an application from Red Bird Brewing for a special event area endorsements / license amendment for Lot 1 District Lot 139 ODYD Plan 7858, located at 1080-1090 Richter St, Kelowna, BC for the following reasons:
2. Council's comments on LCLB's prescribed considerations are as follows:
  - a. The location of the special event area:  
The subject property is located in the north end of the City adjacent to Recreation Avenue Park to the west. The applicant is proposing a special event area endorsement that will include the existing rear building, seasonal patio area located between the building and street & surface parking lot area adjacent to Richter St.

b. The proximity of the special event area to other social or recreational facilities and public buildings:

The subject site is located adjacent to Recreation Avenue Park to the west which includes recreational facilities and public buildings. The liquor service area proposed for the site predominantly faces Richter St and the building location and orientation on-site provides a natural buffer to Recreation Avenue Park.

c. The person capacity of the special event area endorsement:

The existing establishment has a maximum capacity of 500-persons including a maximum of 186-persons inside the rear building with the remaining 314-person capacity located in the seasonal outdoor area located between the building and street. The application proposes to increase the maximum site capacity for events to 900-persons. Of the 900-person capacity for events a maximum of 186-persons would be located inside the building with the remaining 714-person capacity located outside the building.

d. Traffic, noise, parking and zoning:

Expanding the existing liquor service for the site to increase the maximum capacity from 500-persons existing to 900-persons will increase the potential conflict for traffic, noise, and parking demand. Should Council support the parking variance, the existing surface parking lot containing seven parking stalls could be converted for event use for a maximum of 30 individual single day events per calendar year. The combination of a capacity increase of 400-persons during events and zero available on-site parking will subsequently create increased competition for street parking in the immediate area, especially when events are being held. This could have a negative impact on street parking availability for other businesses in the area. Additionally, a vast majority of the site's capacity (approximately 80%) would be located outside the building which creates a larger potential for noise conflicts within the neighbourhood, especially with a patio closure time of 12 AM which exceeds the standard 11 PM closure time for outdoor spaces.

e. The impact on the community if the application is approved:

Red Bird Brewing hosts a variety of annual events. The number of hosted events has ranged over the last few years but has typically been between 10-18 individual event days. The increase to host up to 30 individual single day events will increase local traffic demands, parking and potential for noise conflict with other businesses and uses.

3. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures."

## 2.0 Purpose

To issue a Development Variance Permit to vary required parking to 0 (zero) stalls for a maximum of 30 individual single day events per calendar year to facilitate additional events on site with a maximum event capacity of 900-persons. To seek Council's support for a permanent change to the liquor licence to add a special event area endorsement, increase the event capacity and to change the opening time from 12:00 PM to 9:00 AM seven days a week.

### 3.0 Development Planning

#### Variance

Staff support the proposed Development Variance Permit to allow the existing establishment to convert seven existing required parking stalls on-site to event use for a maximum of 30 individual single day events per calendar year.

The existing establishment currently has a maximum capacity of 500-persons including a maximum of 186-persons inside the building with the remaining 314-person capacity located in the seasonal outdoor space between the building and street adjacent to surface parking.

The proposed event capacity of 900 people would allow for a maximum of 186 people inside the building with the remaining 714-person capacity located outside in the existing seasonal outdoor space combined with the surface parking lot area. During events only, the establishment, if approved, would be permitted to increase the capacity. The seven on-site parking stalls would be inaccessible during these events, which is what necessitates the variance to parking.

Breweries are permitted to utilize up to six temporary licence changes per year through the Liquor and Cannabis Regulation Branch (LCRB) to accommodate events. Each temporary licence extension can be for a multi-day event. In 2024, Red Bird Brewing has been approved for six temporary licence extensions this year with an event duration ranging from two-four days. The six licence extensions approved will allow for a total of 19 days this year. The applicant has indicated in the letter of rationale that the intent of the variance application is to facilitate 30 individual single day events to eliminate the need for seeking annual temporary licence changes. Limiting the number of events to 30 individual days per year will ensure that on-site parking is maintained in the long term for use of staff and patrons outside of when events are being hosted.

Parking requirements within the Zoning Bylaw are meant to reflect approximate demand. Traditionally, restaurants, breweries and other liquor serving establishments have excluded outdoor patios from requiring parking as typically those patios were seasonal, limited in size, and ultimately did not significantly increase the amount of parking demand. Required parking is determined based on the total floor area on-site not including seasonal use outdoor space. A majority of the liquor service area proposed would be located exterior to the building and as a result does not technically require any additional parking.

When events are held at the existing establishment, the parking area is typically closed off from the street and is utilized for the event whether it be for merchandise sales, additional seating, food truck service or general event use. During events there is no on-site parking available to employees, patrons and event performers. These events will typically see a higher frequency of patrons on the premises which creates greater competition for available on street parking.

The Official Community Plan (OCP) designates the subject property as Industrial. This designation encourages the protection of industrial lands while recognizing that new, creative ways are required for these lands to maintain economic viability. Liquor Licensing Policy and Procedures (Council Policy No. 359) supports alternative entertainment options for liquor serving establishments which are less focused on alcohol consumption to provide additional entertainment options. In addition to OCP and liquor licence policy, the North End Plan (NEP) is currently being developed and refined to guide development over the next 20 years and beyond for the north end.

The NEP includes a total of three different concepts and is anticipated to move forward for Council consideration and endorsement in Summer of 2024. All three draft concept plans proposed for the north end contemplate designating the subject site and surrounding neighbourhood as “Craft Industrial” with the area being recognized as a craft brewery area with other alcohol production (including wineries, cideries and breweries) businesses residing in the local neighbourhood.

#### Liquor License Changes to Accommodate a Special Event Area Endorsement & Hour Change

Staff support the proposed special event area endorsement, liquor licence capacity increase for events only and change of hours for the existing establishment. The applicant proposes a special event area endorsement for the subject site which would allow the existing surface parking lot containing seven parking stalls to be converted into event space for a maximum of 30 days per calendar year. The site has an existing occupancy of 500 people and converting the existing surface parking lot for events would provide an additional capacity of 400 people for a total site capacity of 900-persons.

In 2021, the existing establishment increased the site capacity from 99 to 500 persons, relocated from the front to the rear building on site, and expanded the seasonal outdoor patio area in between the two buildings. Since this application was approved Planning has been consistently requiring an 11:00 PM closure for all outdoor patios. Approving this application would allow for additional events in a higher frequency, and with a larger outdoor capacity than currently permitted, while maintaining a 12:00 AM patio closure.

Additionally, the applicant is proposing to expand the existing liquor service by changing the opening hours from 12:00 PM to 9:00 AM – 7 days a week to accommodate additional event-based opportunities such yoga sessions or an easter egg hunt as per the applicant’s letter of rationale.

#### 4.0 Project Details

##### Existing Hours of Sale:

		Sun	Mon	Tues	Wed	Thurs	Fri	Sat
Open		12:00 PM	12:00 PM	12:00 PM	12:00 PM	12:00 PM	12:00 PM	12:00 PM
Close	Indoor	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM
	Patio	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM

##### Proposed Hours of Sale :

		Sun	Mon	Tues	Wed	Thurs	Fri	Sat
Open		9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM
Close	Indoor	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM
	Patio	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM

##### Occupant Load:

	Existing	Proposed
Indoor	186 persons	186 persons
Outdoor	314 persons	714 persons**
Total	500 persons	900 persons
**The additional 400-person site capacity will only be permitted when events are being held		

## 5.0 Subject Property & Background

Specifically, adjacent land uses area as follows:

Orientation	Zoning	Land Use
North	I2 – General Industrial	Industrial
East	I2 – General Industrial	Industrial
South	I2 – General Industrial	Industrial
West	P1 – Major Institutional	Park

### Subject Property Map: 1080-1090 Richter St



The subject property is located in the north end industrial area of the City on the west side of Richter St. The majority of the properties within the immediate area are industrial zoned with Recreation Avenue Park being located west of the subject site. The closest residential properties are located approximately 165 m south and 320 m west of the subject site. The rail trail provides a walking and cycling connection approximately 160 m north of the property.

### 5.1 Background

Red Bird Brewing has been operating a brewery on the subject site since 2017. The business has transitioned from a 38-person capacity brewery to a 500-person capacity brewery that hosts a variety of regular events outdoors including music concerts, markets, fundraising events, festivals, and various cultural events.

2017 – Approved as an alcohol manufacturer with a lounge endorsement with a total occupancy of 38 persons.

2020 – Structural change to increase capacity from 38 persons to 79 persons.

2021 – Structural change to increase capacity from 99 persons to 500 persons.

Bylaw Services has received noise complaints from residents regarding amplified music originating from the subject property, particularly during hosted events / live music. The outdoor stage is oriented to the west and amplified music is projected towards the existing and future high density residential to the west.

#### Changes to On-Street Parking

On-street parking located along the west side of Richter St in between Recreation Ave to the north and Vaughan Ave to the south was converted from perpendicular on-street parking (90 degrees from the road) to parallel on-street parking in 2021 through a City of Kelowna interim sidewalk project. This project facilitated a pedestrian sidewalk along the west side of Richter St while reducing the overall on-street parking supply.

Since on-street parking was reconfigured along this portion of Richter St, Parking Services has received a substantial number of Bylaw enforcement requests to enforce the permitted 30 minute and two hour on-street parking zones in the area.

### 6.0 Zoning Bylaw Regulations Summary

PARKING REGULATIONS		
CRITERIA	I2 ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	7 stalls	0 (zero) stalls for 30 days per calendar year <sup>①</sup>
Industrial	7 stalls	0 (zero) stalls
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	86% Regular 14% Small
Min. Loading Stalls	1 stalls	1 stalls
Bicycle Stalls Short-Term	39 stalls	72 stalls
<sup>①</sup> Indicates a requested variance to 0 (zero) stalls proposed for a maximum of 30 individual single day events per calendar year		

### 7.0 Current Development Policies

#### 7.1 Kelowna Official Community Plan (OCP)

Objective 5.8 Encourage employment-intensive industrial uses in the Core Area	
Policy 5.8.1. Protection of Industrial Lands	Discourage the re-designation of industrial lands and ensure their use for industrial purposes to protect employment, production, manufacturing, warehousing, logistics and repair functions in the city. This includes limiting residential and commercial uses within industrial areas that promote speculation and make developing industrial uses challenging. <i>If supported by Council, will allow for the site to be maintained as industrial.</i>
Policy 5.8.3. North End Industrial Lands	Support the growth of industrial development in Kelowna's North End with additional opportunities for specialty retail where it is supportive of the production and manufacturing in the area. Develop more detailed policy guidance through the North End Neighbourhood Plan. <i>This application proposes additional opportunities for specialty retail while maintaining industrial uses.</i>

#### 7.2 Council Policy #359 – Liquor Licensing Policy and Procedures

The following sections of Policy #359 are applicable to this application:

- Where appropriate, support alternative entertainment options, and / or establishments which are less focused on alcohol consumption (including event-driven establishments) to add a mix of entertainment options in Urban Centres. Consider limiting potential community impacts via license terms and conditions (hours, capacity, etc).

## 8.o Application Chronology

Application Accepted: March 8, 2023  
Neighbour Notification Received: March 22, 2024

**Report prepared by:** Andrew Ferguson, Planner II  
**Reviewed by:** Jocelyn Black, Urban Planning Manager  
**Reviewed by:** Nola Kilmartin, Development Planning Department Manager  
**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning, Climate Sustainability & Development Services

### Attachments:

Attachment A: Draft Development Permit DVP24-0087  
Schedule A: Site Plan  
Attachment B: Applicant's Letter of Rationale

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).

# Development Variance Permit

DVP24-0087



This permit relates to land in the City of Kelowna municipally known as

**1080-1090 Richter St**

and legally known as

**Lot 1 District Lot 139 ODYD Plan 7858**

and permits the land to be used for the following development:

**General Industrial**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

**Date of Council Approval:** August 13, 2024

Development Permit Area: N/A

Existing Zone: I2 – General Industrial

Future Land Use Designation: IND – Industrial

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Bromaxx Property Group Ltd., Inc. No. BC1021305

Applicant: Reb Bird Brewing

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Nola Kilmartin  
Development Planning Department Manager  
Planning & Development Services

---

Date of Issuance

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Variance Permit No. DVP24-0087 for Lot 1 District Lot 139 ODYD Plan 7858 located at 1080-1090 Richter St, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

AND THAT variances to the following section of Zoning Bylaw No. 12375 be granted:

**Table 8.3.4: Industrial Parking Regulations**

To vary required parking from 7 stalls to 0 (zero) stalls proposed for a maximum of 30 individual single day events per calendar year.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Manager approval, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

None required.

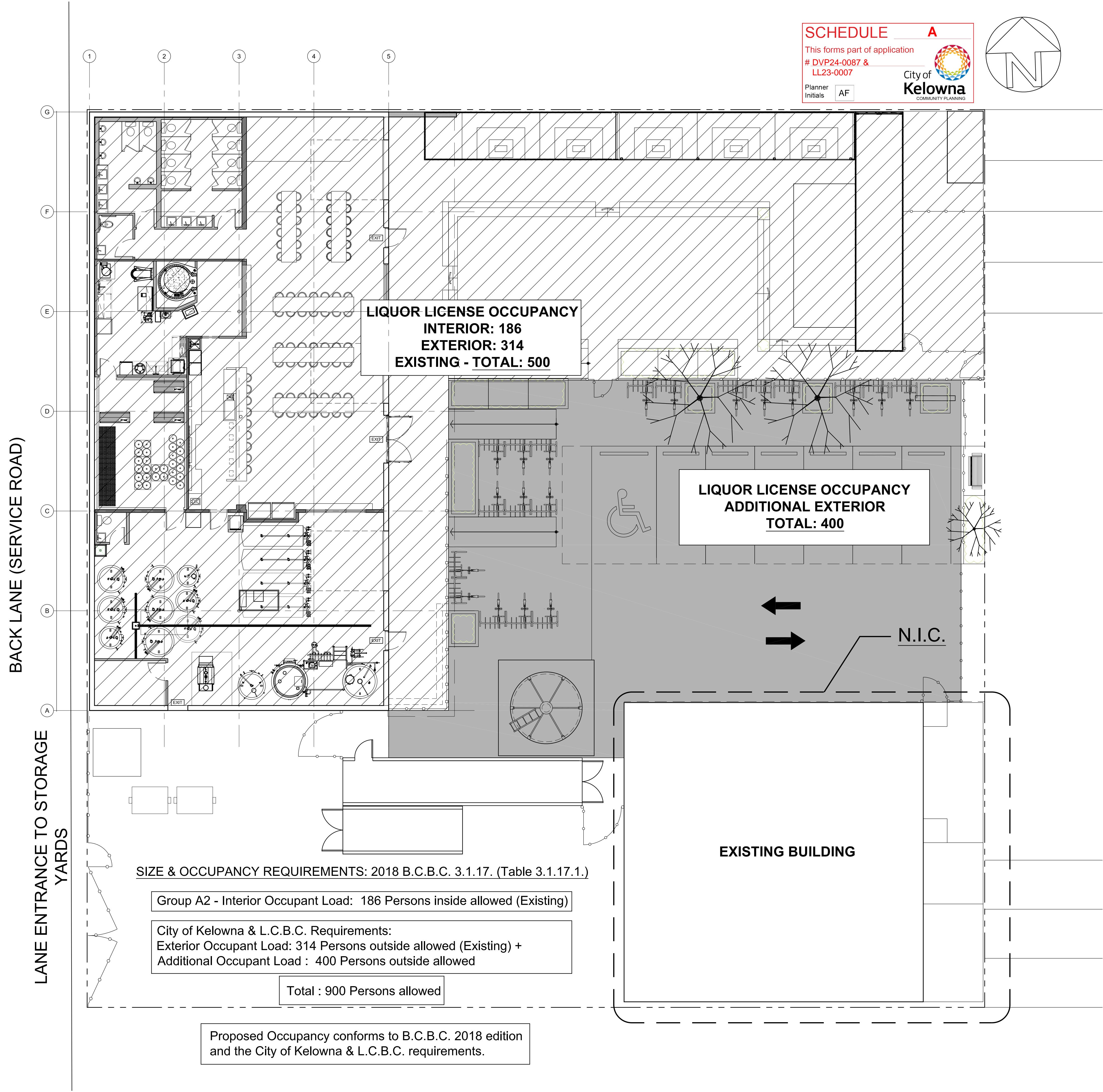
## 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
 Security shall ONLY be returned to the signatory of the  
 Landscape Agreement or their designates.**



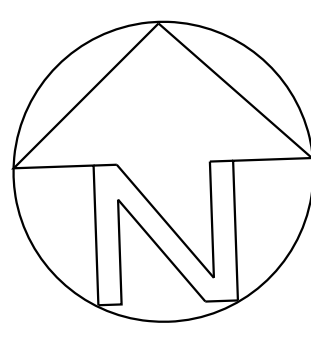
**SCHEDULE**

**A**

This forms part of application  
# DVP24-0087 &  
LL23-0007

Planner  
Initials AF

City of  
**Kelowna**  
COMMUNITY PLANNING



Notes:

© Copyright Reserved. This drawing and design are, and at all times remain, the property of Patrick McCusker Architecture Inc., and can be reproduced only with written consent.

All drawings shall be read in conjunction with specifications and consultant details.

All work shall be carried out in accordance with Canadian standards, specifications, British Columbia Building Code (Current Edition) and local authority bylaws and regulations.

Tabulated scales refer to Arch D size drawing sheet.

This drawing must not be scaled.

Contractors shall verify all dimensions prior to commencement of work.

Any omissions or discrepancies shall be reported to the architect.



No.	Date	Description
11	2202.11.30	Occupancy Update
10	2022.11.14	Occupancy Update
09	2022.04.20	Issued for BP Amendment
08	2022.04.06	Issued As-Built
07	2021.04.08	Updated IFC's
06	2021.04.08	Occupancy Update
05	2021.03.31	Occupancy Update
04	2021.03.05	Issued for Construction
03	2020.06.25	Issued for Building Permit
02	2020.06.25	Re-Issued for Development Permit
01	2019.12.11	Issued for Development Permit

**PM**

PATRICK McCUSKER  
ARCHITECTURE INC.

AAA MAIBC MRAIC

3430 BENOULIN ROAD  
KELOWNA BC V1W 4M5  
~ Phone: 778-484-0223 ~  
pat@pmccarch.com  
www.pmccarch.com

project title	RED BIRD BREWING BREWERY EXPANSION 1080-1090 RICHTER STREET KELOWNA, B.C.
project no.	3394
drawing title	MAIN FLOOR PLAN OUTLINING LICENSED AREAS
designed	scale N.T.S.
drawn	
checked	PMC
drawing no.	



<b>ATTACHMENT B</b>	
This forms part of application	
# DVP24-0087 & LL23-0007	
Planner Initials	AF
City of Kelowna COMMUNITY PLANNING	

Jan 16<sup>th</sup>, 2024

## Community Planning

1435 Water Street  
Kelowna, BC V1Y 1J4

Attention: City of Kelowna  
Project: Red Bird Brewing-Liquor License Revision  
Subject: Project Rationale for Special Event Area (SEA)

We regularly host outdoor events throughout the year in our parking lot area as indicated on the drawing provided. This area can be closed off with a sliding fence gate. Our location in the industrial brewery district of the Kelowna north end, lends itself well to events in this proposed area. The plan is to host events such as the following:

- Music concerts, markets, fundraising events, festivals, cultural events.

Our history of music and other events on site spans 6 years. We schedule events such that we **always** end the amplified, outdoor music portion by 11:00pm.

Currently we are only allowed to host 6 multi-day events per year. Due to the small number of events allowed we have to prioritize and focus on concerts as it is our major revenue driver. We would like to, however, host more events that are community and family focused such as markets, sporting events (youth skatebord competition for example), fundraisers (leaning on our local Falcons, Rockets and some NHL players in the area). We're actually chatting with a mobile petting zoo from the coast to come down and setup for a weekend to give families a truly one-of-a kind experience.

These events really do require the special event area to be not only financially feasible but also to make them a fantastic experience for our guests. A great example is the success we've seen from markets in the previous years when customers are able to carry their beer (or other beverage) with them into the parking lot area while shopping as opposed to not having the space licensed for the day. The sales achieved by the local vendors comparatively is night and day and essentially rules out the possibility to host these markets without the license as the vendors aren't interested in setting up without the potential for higher sales.

This revision to our licesed area will eliminate the need for one-off special event applications throughout the year. We are seeking approval for 30 individual days per calendar year to host licensed events in our parking lot.

Additionally we are asking for an hours change to our liquor license. We are currently licensed from noon until midnight, 7 days a week. We would like to change this to 9am to midnight, 7 days a week. These earlier hours will give us the opportunity to host more family-based events

Attention:  
Subject:  
Page 2 of 2

<b>ATTACHMENT B</b>	
This forms part of application	
# DVP24-0087 & LL23-0007	
Planner Initials	AF
City of <b>Kelowna</b> <small>COMMUNITY PLANNING</small>	



earlier in the day (such as yoga sessions on the weekends, or earlier start times for an easter egg hunt or other family oriented events).

Although we are licensed until midnight everyday, we **always** end the amplified music portion by 11pm. We typically end beverage service around 11:15pm and never later than 11:30pm

If you have questions or require further clarification regarding this submission, please contact Adam Semeniuk on cell at 778-821-0404 or by email at [adam@redbirdbrewing.com](mailto:adam@redbirdbrewing.com)

Prepared By: Adam Semeniuk - Operations Manager



DVP24-0087 & LL23-0007  
1080-1090 Richter St

Development Variance Permit & Liquor Licence Applications

# Purpose

- ▶ To issue a Development Variance Permit to vary required parking to 0 (zero) stalls for a maximum of 30 individual single day events per calendar year to facilitate additional events on site with a maximum event capacity of 900-persons. The applicants are seeking Council's support for a permanent change to the liquor licence to add a special event area endorsement, increase the event capacity and to change the opening time from 12:00 PM to 9:00 AM seven days a week.

# Development Process

Mar 8, 2023

Development Application Submitted

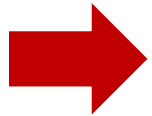


Staff Review & Circulation



Mar 22, 2024

Public Notification Received



Aug 13, 2024

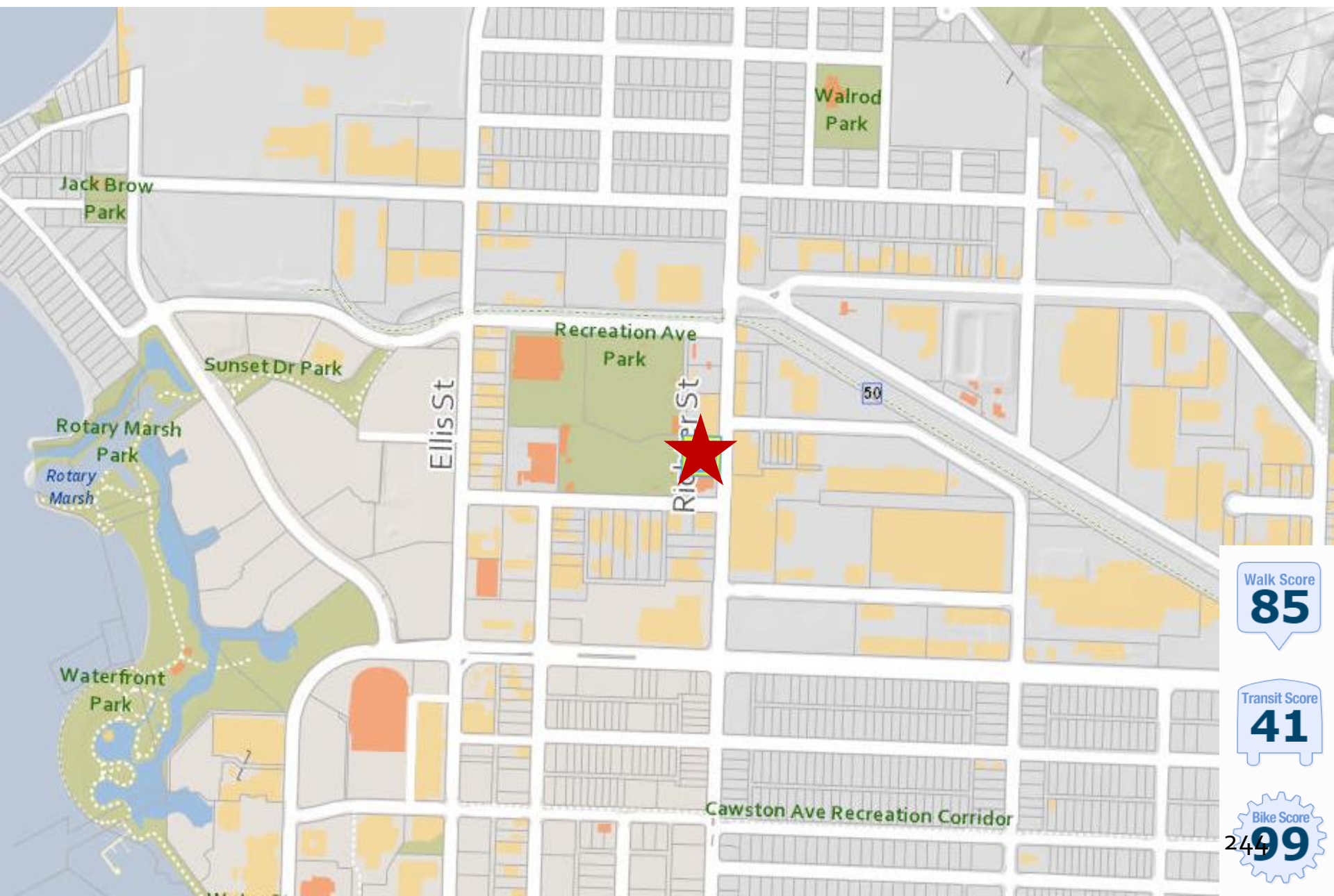
DVP & Liquor License Consideration



Recommendation Forwarded to LCRB

Council  
Approvals

# Context Map

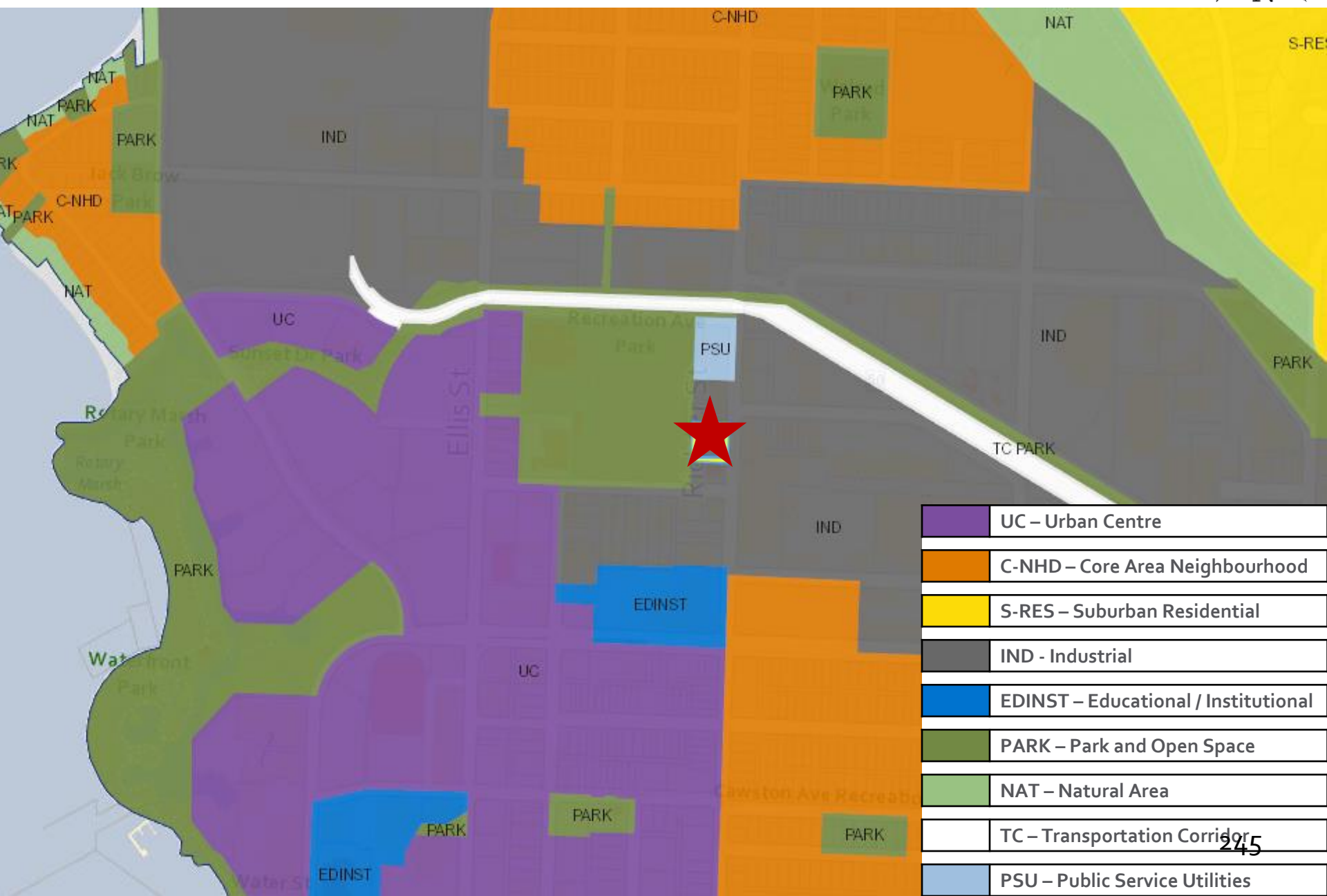


Walk Score  
**85**

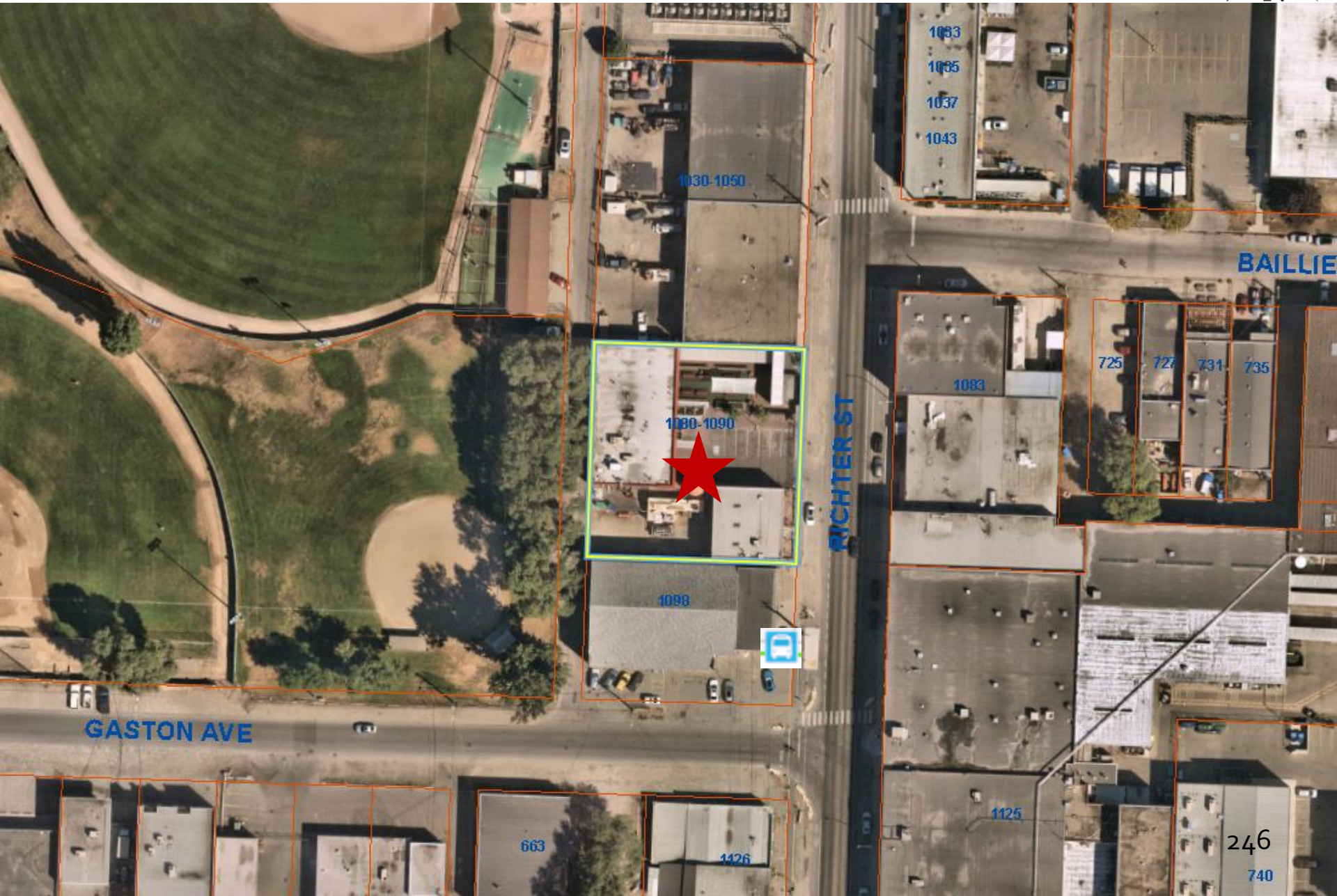
Transit Score  
**41**

Bike Score  
**99**  
244

# OCP Future Land Use



# Subject Property Map



# Hours of Sale

Existing:

		Sun	Mon	Tues	Wed	Thurs	Fri	Sat
Open		12:00 PM	12:00 PM	12:00 PM	12:00 PM	12:00 PM	12:00 PM	12:00 PM
Close	Indoor	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM
	Outdoor	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM

Proposed:

		Sun	Mon	Tues	Wed	Thurs	Fri	Sat
Open		9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM
Close	Indoor	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM
	Outdoor	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM	12:00 AM

# Occupant Load

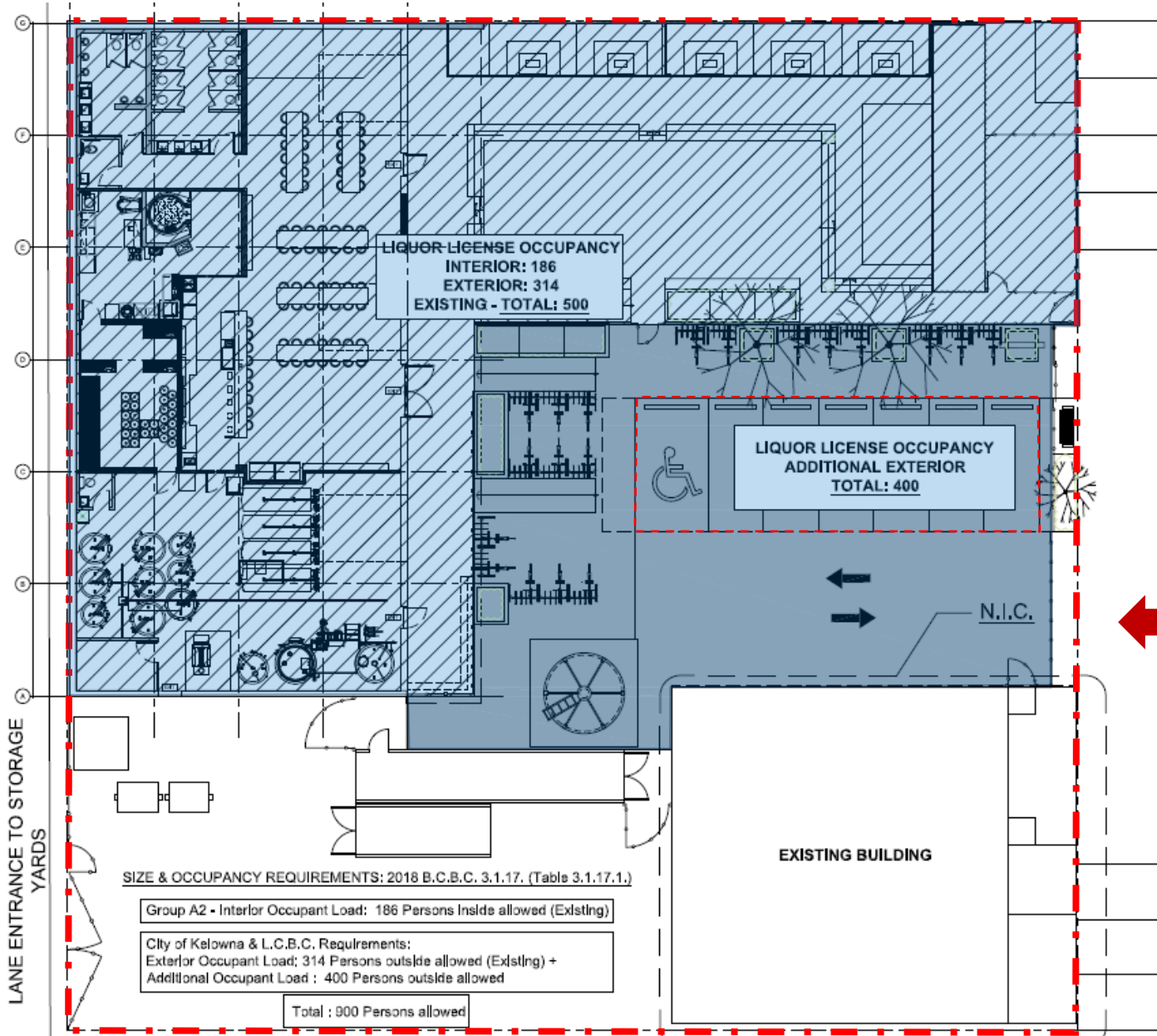
	Existing	Proposed
Indoor	186 persons	186 persons
Outdoor	314 persons	714 persons**
Total	500 persons	900 persons

\*\*The additional 400-person capacity will only be permitted when events are being held (30 event maximum per calendar year).

# Site Plan



Lane



SIZE & OCCUPANCY REQUIREMENTS: 2018 B.C.B.C. 3.1.17. (Table 3.1.17.1.)

Group A2 - Interior Occupant Load: 186 Persons Inside allowed (Existing)

City of Kelowna & L.C.B.C. Requirements:  
Exterior Occupant Load: 314 Persons outside allowed (Existing) +  
Additional Occupant Load : 400 Persons outside allowed

Total : 900 Persons allowed

# Project Details

- ▶ Industrial OCP Designation
- ▶ I2 – General Industrial zone
- ▶ Variance
  - ▶ To convert required parking to event space for a maximum of 30 days per year
    - ▶ 7 on-site parking stalls
  - ▶ Event capacity of 900-persons
- ▶ Special Event Area Endorsement
- ▶ Hour Change
  - ▶ 12 PM to 9 AM seven days a week

# OCP Objectives & Policies

- ▶ Policy 5.8.1: Protection of Industrial Lands
  - ▶ Discourage re-designation of industrial lands to protect employment, production, manufacturing, warehousing, logistics and repair functions.
- ▶ Policy 5.8.3. North End Industrial Lands
  - ▶ Support additional opportunities for specialty retail in the north end industrial area

# Council Policy #359

- ▶ Where appropriate, support alternative entertainment options, and/or establishments which are less focused on alcohol consumption

# Staff Recommendation

- ▶ Staff recommend **support** for the proposed Development Variance Permit and Liquor License applications as both are consistent with:
  - ▶ OCP Future Land Use of Industrial
  - ▶ OCP Objectives in Chapter 5 Core Area
    - ▶ Protection of Industrial Lands
    - ▶ North End Industrial Lands
  - ▶ Liquor Licence Policy #359