

**City of Kelowna**  
**Regular Council Meeting**  
**AGENDA**



Tuesday, July 23, 2024  
4:00 pm  
Council Chamber  
City Hall, 1435 Water Street

Pages

**1. Call to Order**

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This evening, Council will hold a Regular Meeting.

Council has been provided with the information, correspondence, petitions or reports that have been received concerning the subject bylaws. This information is available to the public online at Kelowna.ca/council or by request to the Office of the City Clerk.

For those participating this evening, or who have already submitted letters to Council, a reminder that the Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca.

**2. Reaffirmation of Oath of Office**

The Oath of Office will be read by Councillor Webber.

**3. Confirmation of Minutes**

1 - 7

Tuesday Meeting - June 18, 2024

**4. Call to order the Regular Meeting**

**5. Liquor License Application Reports**

City Clerk to invite anyone participating online or in the public gallery who deems themselves affected by the liquor license application to come forward.

**5.1 START TIME 4:00 PM - Ellis St 1250, 1250-1298 - LL24-0006 - Whitworth Holdings Ltd., Inc.No. 1059455**

8 - 26

To seek Council's support for a structural change and permanent change of hours to an existing Liquor Primary License.

**6. Development Permit and Development Variance Permit Reports**

**City Clerk to invite anyone participating online or in the public gallery who deems themselves affected by the required variance(s) to come forward for each item.**

**6.1 START TIME 4:00 PM - Hilltop Cr 1870 - DP22-0186 DVP24-0089 - AP3240 Developments Ltd., Inc.No. BC1338385 27 - 100**

To issue a Development Permit for the form and character of apartment housing and a Development Variance Permit to vary the minimum amount of habitable space within any exposed storey.

**6.2 START TIME 4:00 PM - Cara Glen Ct 1402 - DP23-0214 DVP23-0215 - Prime Clifton Homes Inc., Inc.No. A0116073 101 - 163**

To issue a Development Permit for the form and character of apartment housing and a Development Variance Permit to vary the maximum height and the required setback from a front yard and a flanking side yard.

**7. Termination**

## 8. Procedure on each Bylaw Submission

- a) Brief description of the application by City Staff (Development Planning);
- (b) The applicant has up to 15 minutes to make representations to Council regarding the project.
- (c) The Chair will call for representation from the public participating in person and online as follows:
  - (i) Any person wishing to make representations during the Hearing will have the opportunity to do so.
  - (ii) Speakers have up to 5 minutes to share their remarks.
- (d) Final calls for representation (ask three times). Unless Council directs that the Public Hearing on the bylaw in questions be held open, the Chair shall state to participants the the Public Hearing on the Bylaw is closed.
- (e) Once the public has had an opportunity to comment, the applicant is given up to 10 minutes to respond to any questions raised.
- (f) Questions of staff by members of Council must be asked before the Public Hearing is closed and not during debate of the bylaw at the Regular Meeting, unless for clarification.

Note: Any applicant or member of the public may use electronic visual aids to assist in their presentation or questions. Online participants must be able to share their screen to display the item.



## City of Kelowna Regular Council Meeting Minutes

Date: Tuesday, June 18, 2024  
Location: Council Chamber  
City Hall, 1435 Water Street

Members Present Mayor Tom Dyas, Ron Cannan, Maxine DeHart, Charlie Hodge, Gord Lovegrove, Mohini Singh\*, Luke Stack and Rick Webber

Members Absent Councillor Loyal Wooldridge

Staff Present City Manager, Doug Gilchrist; Deputy City Clerk, Michael Jud; City Clerk, Laura Bentley; Divisional Director, Planning, Climate Sustainability and Development Services, Ryan Smith; Development Planning Department Manager, Nola Kilmartin; Community Planning & Development Manager, Dean Strachan\*; Planner Specialist, Adam Cseke

Staff Participating Remotely Legislative Coordinator (Confidential), Clint McKenzie

(\* Denotes partial attendance)

- 1. Call to Order**  
Mayor Dyas called the meeting to order at 4:01 p.m.
- 2. Reaffirmation of Oath of Office**  
The Oath of Office was read by Councillor Stack.

**3. Confirmation of Minutes**

Moved By Councillor DeHart/Seconded By Councillor Cannan

THAT the Minutes of the Public Hearing and Regular Meeting of May 14, 2024 be confirmed as circulated.

Carried

- 4. Call to Order the Public Hearing**  
Mayor Dyas called the Hearing to order at 4:03 p.m.

Councillor Singh joined the meeting at 4:04 p.m.

**5. Individual Bylaw Submissions**

**5.1 START TIME 4:00 PM - Bennett Rd 1602, 1855 - OCP23-0008 (BL12664) Z23-0047 (BL12665) - Lakeside Communities Inc.**

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

PJ Prescott, Melcor Developments, Applicant Representative

- Available for questions.

Deputy City Clerk invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one On-line or in the Gallery came forward.

Staff:

- Responded to questions from Council.

There were no further comments.

**6. Termination**

The Hearing was declared terminated at 4:18 p.m.

**7. Call to Order the Regular Meeting**

Mayor Dyas called the meeting to order at 4:18 p.m.

**8. Bylaws Considered at Public Hearing**

**8.1 START TIME 4:00 PM - Bennett Rd 1602, 1855 - BL12664 (OCP23-0008) - Lakeside Communities Inc.**

Moved By Councillor Webber/Seconded By Councillor DeHart

THAT Bylaw No. 12664 be read a second and third time.

Carried

**8.2 START TIME 4:00 PM - Bennett Rd 1602, 1855 - BL12665 (Z23-0047) - Lakeside Communities Inc.**

Moved By Councillor Webber/Seconded By Councillor Stack

THAT Bylaw No. 12665 be read a second and third time.

Carried

**9. Termination**

The meeting was declared terminated at 4:22 p.m.

**10. Call to Order the Public Hearing**

Mayor Dyas called the Hearing to order at 4:22 p.m.

**11. Individual Bylaw Submissions**

**11.1 START TIME 4:00 PM - Water St 1570-1580 - TA24-0006 (BL12668) - Mark Anthony Group Inc., Inc.No. BC1202243**

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Slava Korshunov, Water St., Mark Anthony Group Inc., Applicant Representative

- Displayed a PowerPoint presentation providing future details of the proposed development.
- Spoke to the intended uses of the development.
- Displayed renderings of the facade elements and spoke to how the development will fit into the heritage of the neighbourhood.
- Displayed preliminary drawings of each floor and spoke to the amenities.

Deputy City Clerk invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

Gallery:

Dennis Hildebrand, Kelowna business owner

- Kelowna business owner.
- Concerned that the rentals will be short term rental leases versus long term rentals.

Applicant:

- Confirmed rental units will be for sale or long-term rentals with a minimum of a one year lease.

Staff:

- Responded to questions from Council.

Applicant:

- Responded to questions from Council.

There were no further comments.

**12. Termination**

The Hearing was declared terminated at 4:39 p.m.

**13. Call to Order the Regular Meeting**

Mayor Dyas called the meeting to order at 4:39 p.m.

**14. Bylaws Considered at Public Hearing**

**14.1 START TIME 4:00 PM - Water St 1570-1580 - BL12668 (TA24-0006) - Mark Anthony Group Inc., Inc.No. BC1202243**

Moved By Councillor Webber/Seconded By Councillor Stack

THAT Bylaw No. 12668 be read a second and third time.

Carried

The meeting recessed at 4:43 p.m.

The meeting reconvened at 4:45 p.m.

**15. Liquor License Application Reports**

**15.1 START TIME 4:45 PM - Ellis St 1559 - LL24-0004 - 612385 B.C. Ltd., Inc.No. 612385**

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Karyn Mackenzie, DunnEnzies Pizza Co., Applicant

- Available for questions.

Deputy City Clerk invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

Gallery:

Jeff Marsh, Ellis St

- Spoke to concerns with patrons spilling out onto the street after close as they live downtown.
- Suggested a compromise to reduce hours of operation down to 11 p.m.

Applicant:

- Reduced hours to close at midnight a couple of years ago.
- No intent to go back to 3 a.m. closing time.

Deputy City Clerk:

- Noted that the application, if successful, will not result in a change to the existing hours of sale.

There were no further comments.

Moved By Councillor Singh/Seconded By Councillor Lovegrove

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with 'Division 9 (71)' of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

1. Council recommends support of an application from Karyn Mackenzie for a Patron Participation Entertainment Endorsement to an existing Food Primary license for Lot 12 District Lot 139 ODYD PLAN 1347, located at 1559 Ellis St, Kelowna, BC for the following reasons:
  - o The Patron Participation Entertainment Endorsement is perceived to have minimal impact on the community and surrounding properties.
2. Council's comments on LCRB's prescribed considerations are as follows:  
Criteria for new food primary with Patron Participation Entertainment Endorsement:
  - o The potential for noise if the application is approved:The potential impact for noise is minimal as the Patron Participation Entertainment Endorsement would be limited to the existing hours of operation and be located indoors.
  - o The impact on the community if the application is approved:The potential for negative impact on the community is considered minimal as it is an existing establishment.
  - o If the amendment may result in the establishment being operated in a manner that is contrary to its primary purpose:The operations would be consistent with the primary purpose of food primary establishment.
3. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures."

Carried

**15.2 START TIME 4:45 PM - Lakeshore Rd 4638 - LL24-0005 - 1188283 B.C. Ltd., Inc.No. BC1188283**

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Karyn Mackenzie, DunnEnzies Pizza Co., Applicant Representative

- Spoke to the application process starting one and a half years ago with issues with the online submission portal.

- Spoke to the high cost of the application and the cumbersome application for a simple change to the liquor licence.
- No capacity being requested or extension of hours should allow a simpler process.
- Requested a more straightforward process for simple liquor changes for those moving forward with applications in the future.

Deputy City Clerk invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one On-line or in the Gallery came forward.

Staff:

- Responded to questions from Council.

Applicant:

- Responded to questions from Council.

Deputy City Clerk:

- Noted that the application, if successful, will not result in a change to the existing hours of sale.

There were no further comments.

Moved By Councillor Hodge/Seconded By Councillor Lovegrove

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with 'Division 9 (71)' of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

1. Council recommends support of an application from Karyn Mackenzie for a Patron Participation Entertainment Endorsement to an existing Food Primary license for Lot 1 Section 25 Township 28 SDYD PLAN EPP68343, located at 4638 Lakeshore Rd, Kelowna, BC for the following reasons:
  - o The Patron Participation Entertainment Endorsement is perceived to have minimal impact on the community and surrounding properties.
2. Council's comments on LCRB's prescribed considerations are as follows:
 

Criteria for new food primary with Patron Participation Entertainment Endorsement:

  - o The potential for noise if the application is approved:The potential impact for noise is minimal as hours of the Patron Participation Entertainment Endorsement would be limited to 11:00 PM on the outdoor patio which is consistent with other licensed patioed areas in the City and compatible with adjacent land uses.
  - o The impact on the community if the application is approved:The potential for negative impact on the community is considered minimal as it is an existing establishment.
  - o If the amendment may result in the establishment being operated in a manner that is contrary to its primary purpose:The operations would be consistent with the primary purpose of food primary establishment.
3. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures."

Carried



**16. Development Permit and Development Variance Permit Reports**

**16.1 START TIME 4:45 PM - Belaire Ave 1330, 1340, 1350 -1352 - DP23-0141 DVP23-0243 - Resurrection Recovery Resources Society, Inc.No. 50045391**

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Tom Smithwick, Applicant Representative

- Available for questions.

Deputy City Clerk invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one On-line or in the Gallery came forward.

There were no further comments.

Moved By Councillor Lovegrove Seconded By Councillor Singh

THAT Council authorizes the issuance of Development Permit No. DP23-0141 for:

- Lot 31 District Lot 137 ODYD Plan 10011 located at 1330 Belaire Ave, Kelowna, BC;
- Lot 32 District Lot 137 ODYD Plan 10011 located at 1340 Belaire Ave, Kelowna, BC; and
- Lot 33 District Lot 137 ODYD Plan 10011 located at 1350-1352 Belaire Ave, Kelowna, BC;

subject to the following:

1. The dimensions and siting of the buildings to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of Phase 1 building to be constructed on the land be in accordance with Schedule "B";

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP23-0243 for:

- Lot 31 District Lot 137 ODYD Plan 10011 located at 1330 Belaire Ave, Kelowna, BC;
- Lot 32 District Lot 137 ODYD Plan 10011 located at 1340 Belaire Ave, Kelowna, BC; and
- Lot 33 District Lot 137 ODYD Plan 10011 located at 1350-1352 Belaire Ave, Kelowna, BC;

AND THAT variance to the following section of the Zoning Bylaw No. 12375 be granted:

**Section 6.4.1 – General Development Regulations, Setback from Provincial Highways**

To vary the required distance to any lot line abutting the highway for all buildings and structures on lots abutting Highway 97 or Highway 33 from 4.5 m required to 3.0 m proposed.

AND FURTHER THAT this Development Permit and Development Variance Permit are valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

**17. Development Variance Permit and Liquor License Application Reports**

**17.1 START TIME 5:00 PM - Richter St 1080-1090 - DVP24-0087 LL23-0007 - Bromaxx Property Group Ltd., Inc.No. BC1021305**

The Deputy City Clerk advised the item is deferred to a future Tuesday regular meeting.

**18. Termination**

The meeting was declared terminated at 5:18 p.m.

\_\_\_\_\_  
Mayor Dyas

mj/cm

*m. J. G.*

\_\_\_\_\_  
Deputy City Clerk

DRAFT

# REPORT TO COUNCIL

## LIQUOR LICENSE



**Date:** July 23, 2024  
**To:** Council  
**From:** City Manager  
**Address:** 1250, 1250-1298 Ellis St  
**File No.:** LL24-0006

	Existing	Proposed
<b>OCP Future Land Use:</b>	UC – Urban Centre	UC – Urban Centre
<b>Zone:</b>	UC1 – Downtown Urban Centre	UC1 – Downtown Urban Centre

### 1.0 Recommendation

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with 'Division 9 (71)' of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

1. Council recommends support of an application from BNA Hospitality Inc. for a licence amendment for Lot 1 District Lot 139 ODYD Plan 660, located at 1250 – 1298 Ellis St, Kelowna, BC for the following reasons:
  - The proposed structural change and increased hours for a portion of the liquor area are compliant with Council Policy 359.
2. Council’s comments on LCLB’s prescribed considerations are as follows:
  - a. The potential for noise if the application is approved:  
 The potential for noise is minimal as the proposed addition will have different proposed hours of closing and a separate exit than the rest of the business.
  - b. The impact on the community if the application is approved:  
 The potential for negative impacts is minimal as the hours are consistent with other establishments in the Downtown Urban Centre and the capacity is not exceeding 500 patrons.
3. Council’s comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 “Liquor Licensing Policy and Procedures.”

### 2.0 Purpose

To seek Council’s support for a structural change and permanent change of hours to an existing Liquor Primary Licence.

### 3.0 Development Planning

Staff support the request for the change of hours and structural change to the existing Liquor Primary Licence for BNA. The applicant is seeking to expand the liquor service area by adding a new room on the second floor, named Hello Darlin', with a maximum capacity of 125 persons. The proposed operating hours of this space 2:00 am closure, while the existing licensed area will remain at the current 1:00 am closing. The proposed addition would only operate on Thursday, Friday, and Saturday evenings and will have its own separate exit allowing for an easy egress when the rest of the establishment is closed.

In order to facilitate the expanded area while still complying with Council Policy 359, the applicant is proposing to adjust its capacity by reducing the occupancy in the primary area and relocating a portion of the occupancy to the expanded space. This is being done to ensure the overall capacity of the licence does not exceed 500 persons. The impact on the surrounding community is anticipated to be minimal and noise is not an anticipated issue due to a combination of factors including:

- Having separate areas of the licence that will close at different times;
- Expanded area only operating 3 days a week;
- Separate exit for the expanded area; and
- Occupancy is compliant with Council’s policy of maximum 500 persons.

### 4.0 Project Details

#### Existing Hours of Sale:

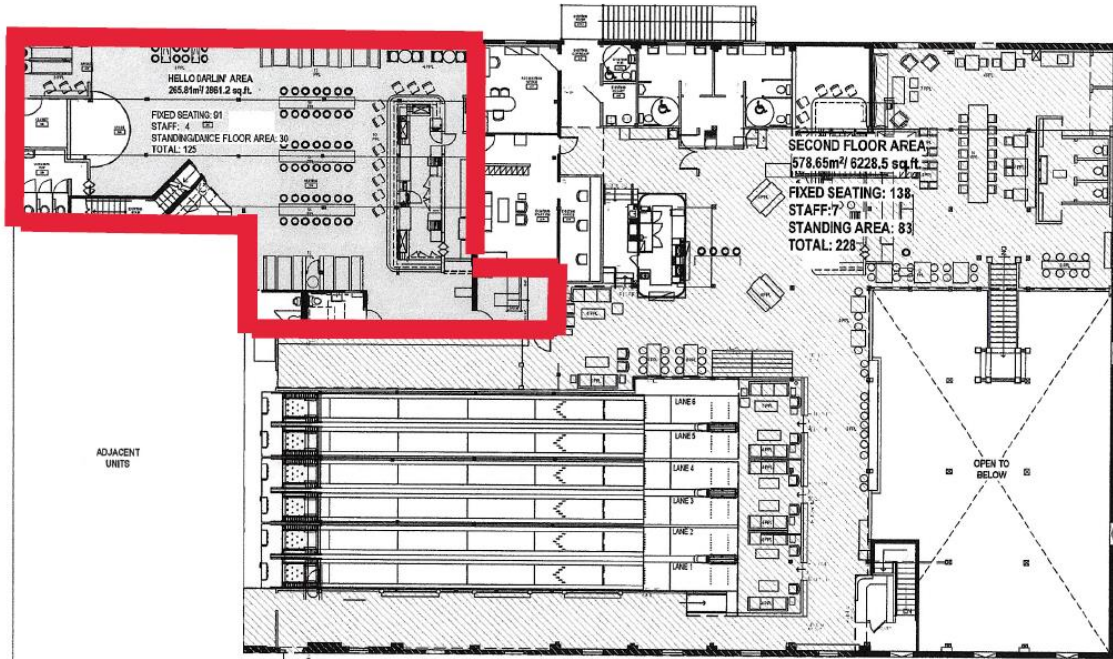
	Sun	Mon	Tues	Wed	Thurs	Fri	Sat
<b>Open</b>	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM
<b>Close</b>	Indoor	12:00 AM	12:00 AM	12:00 AM	12:00 AM	1:00 AM	1:00 AM
	Patio	11:00 PM	11:00 PM	11:00 PM	11:00 PM	11:00 PM	11:00 PM

#### Proposed Hours of Sale for New Area:

	Sun	Mon	Tues	Wed	Thurs	Fri	Sat
<b>Open</b>	NA	NA	NA	NA	9:00 AM	9:00 AM	9:00 AM
<b>Close</b>	NA	NA	NA	NA	2:00 AM	2:00 AM	2:00 AM

#### Occupant Load:

	Existing	Proposed
<b>Indoor</b>	415	500



Red highlighted area indicating new expanded area on second floor

5.0 Site Context & Background

Orientation	Zoning	Land Use
North	UC1 – Downtown Urban Centre	Apartment Housing
East	UC1 – Downtown Urban Centre	General Industrial
South	UC1 – Downtown Urban Centre	Exhibition and Convention Facilities
West	UC1a – Downtown Urban Centre (Arena)	Arena

Subject Property Map: 1250 Ellis St



**6.0 Current Development Policies**

6.1 Council Policy #359 – Liquor Licensing Policy and Procedures

- No establishment with a person capacity greater than 500 persons should be permitted.
- Large Establishments should only be located within Urban Centres.

**7.0 Technical Comments**

7.1 R.C.M.P.

No comment

**8.0 Application Chronology**

Application Accepted: May 3, 2024  
Public Notification Received: May 17, 2024

**Report prepared by:** Jason Issler, Planner II  
**Reviewed by:** Jocelyn Black, Urban Planning Manager  
**Reviewed by:** Nola Kilmartin, Development Planning Department Manager  
**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

**Attachments:**

Attachment A: Letter of Rationale  
Attachment B: Floor Plan/Site Plan/Occupant

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).

BNA Hospitality Inc.  
1250 Ellis Street, Kelowna, BC  
V1Y 1Z4

April 24, 2024

**HAND DELIVERED**

City of Kelowna  
1435 Water Street  
Kelowna, BC V1Y 1J4

Attention: Development Services Department

Dear Sir or Madam:

RE: Liquor Primary ("LP") Licence #306443  
Structural Change Application and Hours Change Application  
Establishment/Licence Name: BNA Brewing Co. & Eatery  
Location: 1250 Ellis Street, Kelowna, BC

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BNA Hospitality Inc. is seeking to provide additional offerings at its existing LP licensed establishment called BNA Brewing Co. & Eatery, located at 1250 Ellis Street, Kelowna.

What currently operates at this address is a restaurant-style lounge with an eclectic food menu and featuring local wines, handcrafted cocktails and our own craft beers. This establishment opens daily at 5:00 pm, closing at 12:00 midnight Sunday through Wednesday, and 1:00 am Thursday through Saturday. The kitchen is open until 10:00 pm seven days/week. This establishment welcomes families, couples, young professionals, students and everyone in between. In addition to our food and beverage program, guests have access to our boutique bowling lanes, new and vintage arcade games, bocce court, shuffleboard and more. It's a social setting that encourages gathering with loved ones and meeting new friends. The demand for the nightlife aspect of this business has increased in recent years and we believe that adding some space and diversifying our amenities will enrich the options for Kelowna residents and visitors, while alleviating some of the pressure of the ongoing level of interest.

Our proposed expansion of this LP licensed establishment would include an area within the same building, but distinct from the rest of the space in terms of




atmosphere, and it will be known as "Hello Darlin'". This new room on the second floor would be accessed through a "secret" door in the existing licensed area, but would have a separate exit. We envision Hello Darlin' as a saloon-style speakeasy, open from 8:00 pm to 2:00 am Thursday through Saturday, with private group rentals available as well. The food would be casual fare, prepared using our existing kitchen, and served until midnight. We are hoping to be able to welcome a maximum of 125 people in the Hello Darlin' room, which we believe will help manage the flow of people and dispersal of late night patrons. We are reducing the capacity of the other interior licensed areas and patio to accommodate this new room and to keep the total overall capacity at 500.

We think this additional space within our licensed establishment will improve upon our current offerings. It will give locals and tourists alike another reason to visit us, it will keep things dynamic for our staff and help us continue to enhance the food and beverage landscape in Kelowna.

We respectfully thank you for your consideration of our structural change and hours change applications.

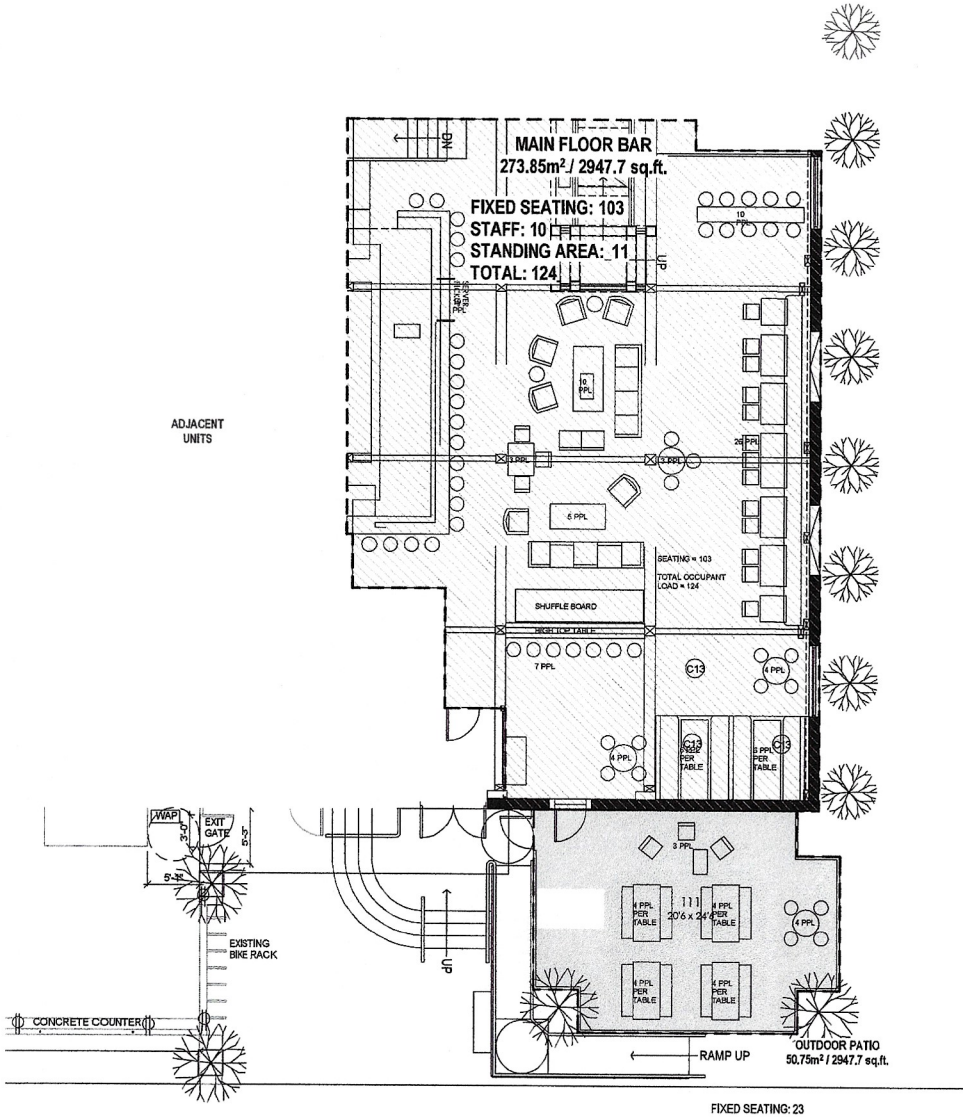
BNA Hospitality Inc.

Per:

  
\_\_\_\_\_  
Kyle Nixon

<b>ATTACHMENT</b>	<b>A</b>
This forms part of application # LL24-0006	
Planner Initials	<input type="text" value="JI"/>
 City of <b>Kelowna</b> DEVELOPMENT PLANNING	





1 LIQUOR CALCULATIONS - MAIN FLOOR  
42.10 316 - 117

**ATTACHMENT B**

This forms part of application  
# LL24-0006

Planner Initials **JJ**



**LIQUOR OCCUPANCY CALCULATIONS**

**MAIN FLOOR**

INTERIOR BAR AREA: 124 PERSONS  
 EXTERIOR PATIO: 23 PERSONS  
 SUB TOTAL: 147 PERSONS ON MAIN FLOOR

**TOTAL OCCUPANT LOAD: 600 PERSONS**

**SECOND FLOOR**

BNA SECOND FLOOR BAR AREA: 228 PERSONS  
 HELLO DARLING BAR AREA: 125 PERSONS  
 SUB TOTAL: 353 PERSONS ON SECOND FLOOR

Notes:  
 1. If any part of the design is not approved, the property owner shall be responsible for the design and construction.  
 2. All drawings shall be in accordance with the current British Columbia Building Code (BCBC) and all applicable regulations.  
 3. The design shall be in accordance with the current British Columbia Building Code (BCBC) and all applicable regulations.  
 4. The design shall be in accordance with the current British Columbia Building Code (BCBC) and all applicable regulations.  
 5. The design shall be in accordance with the current British Columbia Building Code (BCBC) and all applicable regulations.  
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 9. The design shall be in accordance with the current British Columbia Building Code (BCBC) and all applicable regulations.  
 10. The design shall be in accordance with the current British Columbia Building Code (BCBC) and all applicable regulations.

2024-03-27

THIS DOCUMENT IS:

- NOT CONTROLLED. Revisions may be made without notice.
- A CONTROLLED document. Revisions will be advised.
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- A complete revision. Remove previous issues from use.
- A partial revision. Remove previous issues of corresponding sheets / pages from use.
- Not for Construction.

The document has been digitally certified with digital certificates and signature technology, authorized by the Association of Architects and Engineers and the Engineers and Geoscientists BC. The authenticity of the original has been confirmed by the digital signature. Any printed version can be related to the original as a true copy of the original document by the professional seal and digital signature, or when printed from the electronic file provided by the architect.

2024-03-27 10:40:25 2024-03-27 10:40:25

No. Date Description

Revision

**NOVATION**  
ARCHITECTURE LTD.  
302 - 2237 LECHE ROAD  
KELOWNA BC V1Y 6T5

Project Title: **BNA BAR EXPANSION**

1560 BLISS ST, KELOWNA, BC V1Y 1Z4

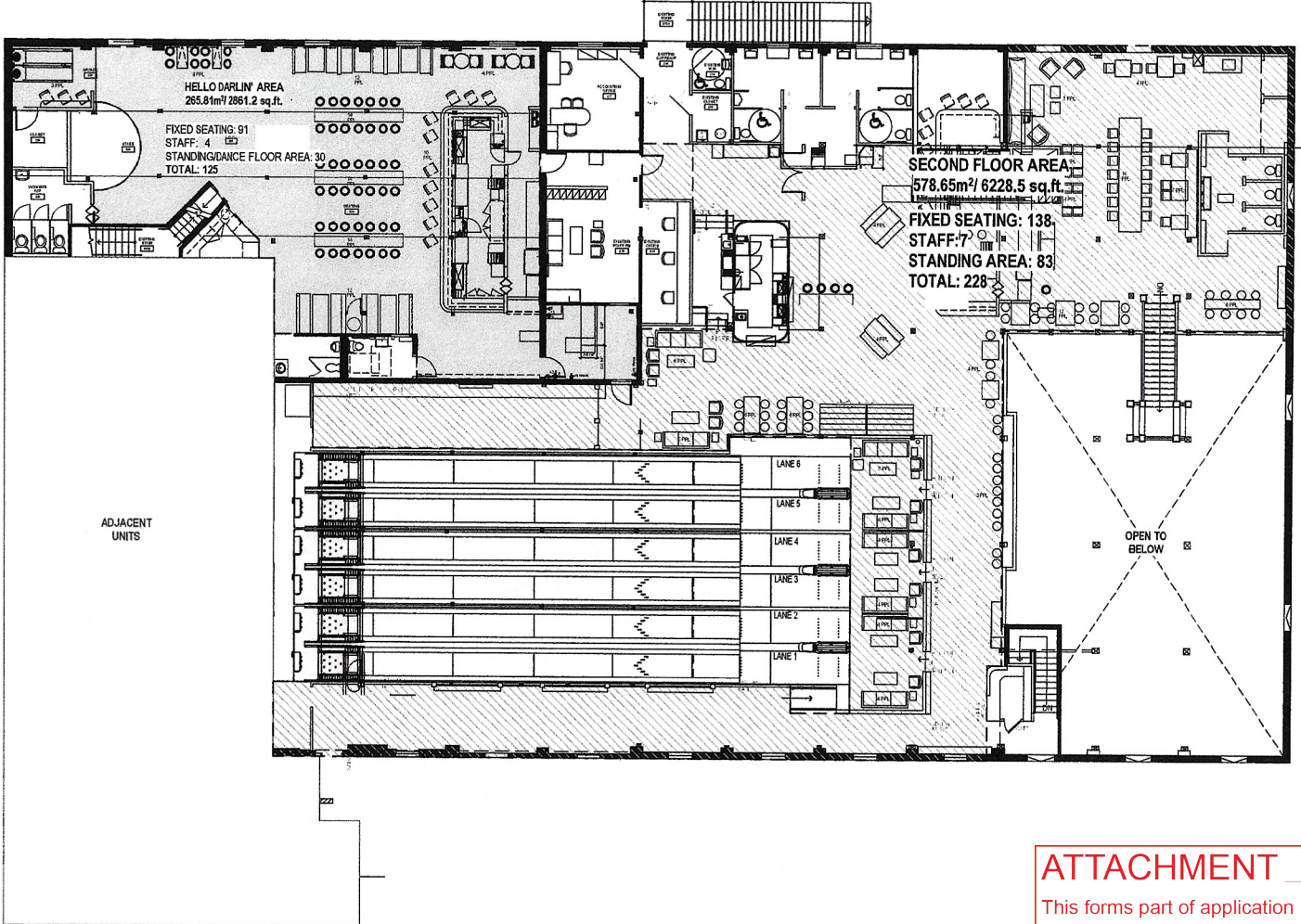
Project No.: 23057

Drawing Title: **LIQUOR OCCUPANCY CALCULATIONS - MAIN FLOOR**

Author: PS  
 Drawn: KA/MC  
 Checked: PS

Project No.: **A2.10**

Sheet No.: 316-117-024



LIQUOR CALCULATIONS - SECOND FLOOR  
1/8" = 1'-0"

**LIQUOR OCCUPANCY CALCULATIONS**

**MAIN FLOOR**  
 INTERIOR BAR AREA: 124 PERSONS  
 EXTERIOR PATIO: 23 PERSONS  
 SUB TOTAL: 147 PERSONS ON MAIN FLOOR  
**TOTAL OCCUPANT LOAD: 500 PERSONS**

**SECOND FLOOR**  
 BNA SECOND FLOOR BAR AREA: 228 PERSONS  
 HELLO DARLING BAR AREA: 125 PERSONS  
 SUB TOTAL: 353 PERSONS ON SECOND FLOOR

**ATTACHMENT B**

This forms part of application  
 # LL24-0006

Planner Initials **JL**

**City of Kelowna**  
 DEVELOPMENT PLANNING

© Copyright Reserved. This drawing is for the use of the client only. It is not to be used for any other purpose without the written consent of the architect.  
 All work shall be carried out in accordance with the Ontario Building Code, and all other applicable laws and regulations.  
 The architect's liability is limited to the design and construction of the building.  
 This drawing is not to be used for any other purpose without the written consent of the architect.  
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- NOT FOR CONSTRUCTION**
- NOT FOR CONSTRUCTION. Revisions may be made without notice.
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  - The first issue of the document.
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  - A partial revision. Remove previous issues of corresponding sheets / pages from use.
  - Not for Construction.

Date	Description	Revised By
2024-03-25	REVISED FOR 12/25 PERMITS	



Project Title:	BNA BAR EXPANSION
Address:	1250 ELLIS ST. KELOWNA, BC V1Y 1Z4
Project No.:	23057
Drawings With:	LIQUOR OCCUPANCY CALCULATIONS - SECOND FLOOR
Project:	PS As Indicated
From:	KAMC
Checked:	PS
Project No.:	A2.11
Sheet:	20240325B-02-24-01

Project File Name and Location: I:\SERVER\Novation\Novation Architecture LTD\Projects\2025\_Hello Darling (BNA)\Working Drawings\Revit\BNA\_F1.rvt



City of  
**Kelowna**



LL24-0006  
1250 Ellis St  
Liquor License Application

# Purpose

- ▶ To seek Council's support for a structural change and permanent change of hours to an existing Liquor Primary Licence.

# Development Process



May 3, 2024

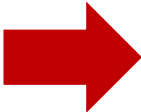
Development Application Submitted



Staff Review & Circulation



Jul 23, 2024



Tuesday Council Meeting



Council Consideration



Recommendation Forwarded to LCRB

# Context Map



# Subject Property Map



# Hours of Sale

## Existing:

		Sun	Mon	Tues	Wed	Thurs	Fri	Sat
<b>Open</b>		9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM
<b>Close</b>	Indoor	12:00 AM	12:00 AM	12:00 AM	12:00 AM	1:00 AM	1:00 AM	1:00 AM
	Outdoor	11:00 PM	11:00 PM	11:00 PM	11:00 PM	11:00 PM	11:00 PM	11:00 PM

## Proposed Hours of new area:

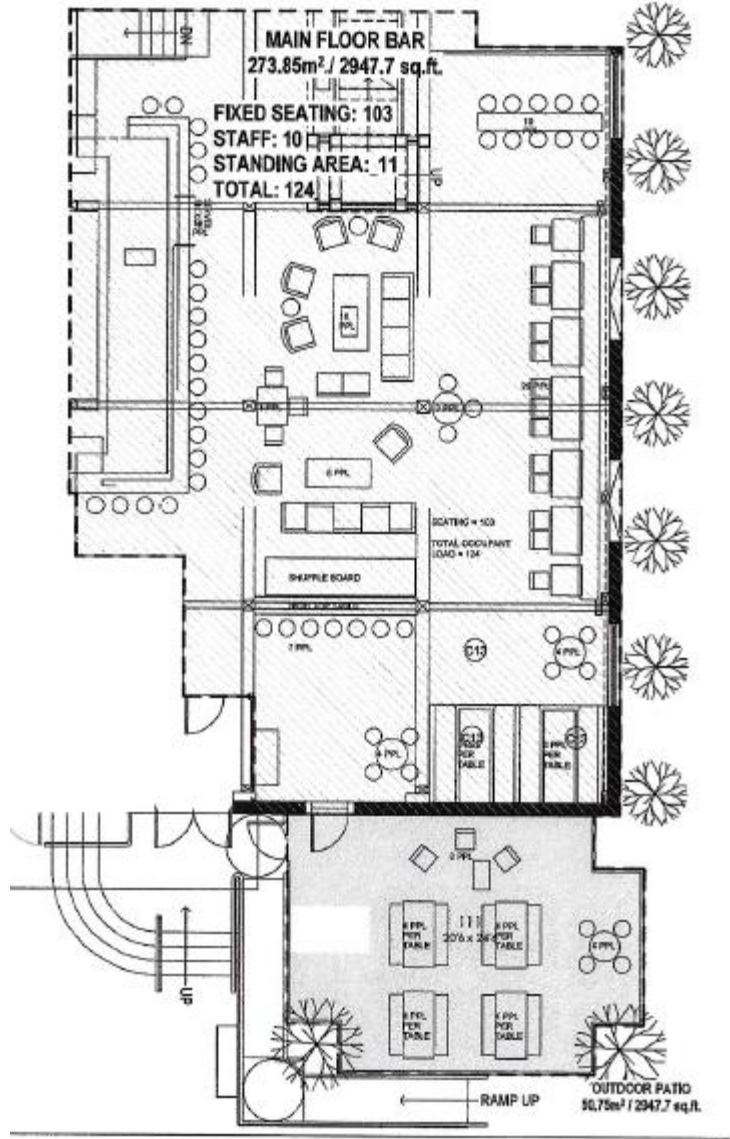
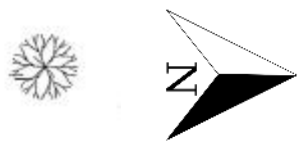
		Sun	Mon	Tues	Wed	Thurs	Fri	Sat
<b>Open</b>		NA	NA	NA	NA	9:00 AM	9:00 AM	9:00 AM
<b>Close</b>	Indoor	NA	NA	NA	NA	2:00 AM	2:00 AM	2:00 AM



# Occupant Load

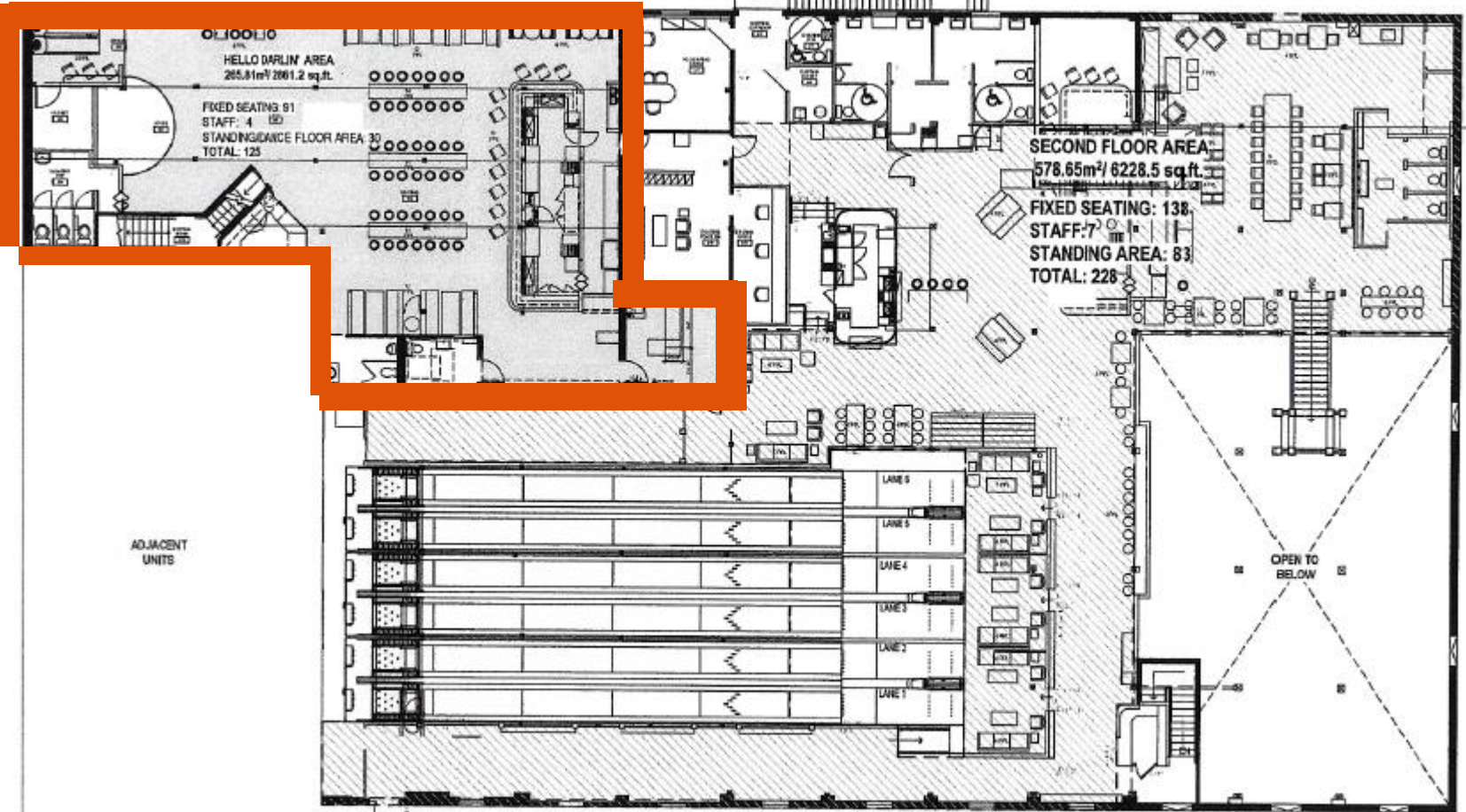
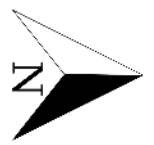
	Existing	Proposed
Indoor	377	462
Outdoor	38	38

# First Floor Plan



FIXED SEATING: 23

# Second Floor Plan



 Proposed Expansion Area

# Council Policy #359

- ▶ No establishment with a person capacity greater than 500 persons should be permitted.
- ▶ Large Establishments should only be located within Urban Centres.

# Staff Recommendation

- ▶ Staff recommend **support** for the proposed liquor license as it is consistent with:
  - ▶ Council Policy #359
- ▶ That Council directs Staff to forward a resolution of support to the LCRB.

# REPORT TO COUNCIL DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT



**Date:** July 23, 2024  
**To:** Council  
**From:** City Manager  
**Address:** 1870 Hilltop Crescent  
**File No.:** DP22-0186 DVP24-008g  
**Zone:** CD18 – McKinley Beach Resort

---

## 1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP22-0186 and Development Variance Permit No. DVP24-008g for Lot 8 Section 28 Township 23 ODYD PLAN EPP76020, located at 1870 Hilltop Crescent, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount off 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect.

AND THAT variances to the following section of Zoning Bylaw No. 12375 be granted:

**Section 15.4.5.[3]: Comprehensive Development Zones, CD18 McKinley Beach, CD18 Development Regulations**

To vary the minimum amount of habitable space within an exposed storey from 60% required to 0% proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## 2.0 Purpose

To issue a Development Permit for the form and character of apartment housing and a Development Variance Permit to vary the minimum amount of habitable space within any exposed storey.

## 3.0 Development Planning

Staff support the proposed Development Permit for the form and character of an 83-unit, 6-storey apartment housing development. The proposal generally conforms to the Official Community Plan (OCP)

Form and Character Guidelines for Low and Mid-Rise Residential & Mixed-Use Developments. Key guidelines that are met include:

- Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows and adding awnings and canopies;
- Design shared amenity spaces (such as outdoor recreation space and rooftop gardens on top of a parkade) to be accessible to residents and to ensure a balance of amenity and privacy;
- Vehicular access is provided from a secondary street, and impacts on pedestrians and the streetscape is minimized; and
- On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.

### 3.1 Form and Character Development Permit

The proposal creates a strong pedestrian-oriented interface with Hilltop Crescent and Hilltown Drive through corner-site prominence, landscaping, and ground-oriented units. The primary pedestrian entrance is located in the northeast corner of the site, equipped with an accessible ramp that leads to the main lobby of the building. To provide a ground-oriented development, the vehicular entrance is located at the NW corner accessed from Hilltop Crescent into an underground common 2-storey parkade. The building consists of 83 units, with a mix of 1, 2, and 3-bedrooms. Due to the topography of the site, the height of the building varies; however, the residential component of the building is 6 storeys in height.

The proposed development provides a human-scaled experience along the street by articulating the façade with materials and colour variation, stepping back the building mass from the street, repeating window patterns, and providing access to ground-oriented units and amenity spaces. Exterior building materials include white and wood-like aluminum soffits, birch hardie board lap siding, cobblestone and midnight black hardie panels, masonry veneer, and glass guard rails.

The proposal meets the number of required parking and bicycle parking, including 12 visitors and 4 accessible stalls. Proposed amenities include: a rooftop terrace, pool terrace, firepit and seating area, indoor communal lounge and fitness gym. An extensive landscaping plan is proposed which includes 80 new trees and 346 ornamental grasses and shrubs. The existing boulevard trees along Hilltown Drive will be protected during construction, and 3 new boulevard trees will be planted along Hilltop Crescent.

### 3.2 Development Variance Permit

The development proposes a variance to the minimum amount of habitable space within the exposed parkade storeys from 60% required to 0% proposed. The purpose of this regulation is to ensure a high-quality building elevation interface with the downslope of Hilltop Crescent from Hilltown Drive. The McKinley development area permits larger apartment buildings typically associated with parkades, which may result in challenging building design with the hillside. The regulation is to ensure that these larger buildings on the downhill slope side limit the amount of blank walls and provide an aesthetically attractive elevation from key public views such as the lake, sidewalks, roads, trails, existing buildings, and other common amenity areas.

Hilltown Drive has a gradual downhill slope and is considered to be “at grade” or ground level. To minimize vehicular components such as ramps and parking, the parkade was located “below grade” and occupies the North-West hillside of the site. The exposed parkade levels serve as a retained foundation base for the development, which could not accommodate habitable space and thus triggers the necessity for the variance. The parkade exposure is up to a maximum height of 5.7 m at the rear of the development (along

the northwest property line). In this case, the exposed downslope parkade and foundation wall is interfacing with the existing L’Aquila development (3375 Lavendar Lane) to the west of the site. The proposal includes several mitigative measures to soften the portions of the parkade wall including high-quality architectural treatment (ex. masonry veneer and hardie panel) and extensive landscaping.

**4.0 Subject Property & Background**

**4.1 Subject Property Map**



The property is within the Area I Village Centre, of the CD18 – McKinley Beach Resort Comprehensive Development Area. The property is on the corner of Hilltown Drive and Hilltop Cresnet. To the northeast is Arrowleaf Pond and a townhouse development (3425 Hilltown Drive) that is currently under construction. The property is in close proximity to the future McKinley Beach Amenity Centre (ex. tennis and pickleball courts, playground, gym, community garden).

**5.0 Zoning Bylaw Regulations Summary**

AREA & UNIT STATISTICS	
Gross Lot Area	3, 197.65 m <sup>2</sup>
<b>Total Number of Units</b>	<b>83</b>
1-bed	46
2-bed	29
3-bed	8

**DEVELOPMENT REGULATIONS**



CRITERIA	CD18 ZONE	PROPOSAL
<b>Total Maximum Floor Area Ratio</b>	N/A	<b>2.5 FAR</b>
Max. Site Coverage (buildings)	N/A	41 %
Max. Site Coverage (buildings, parking, driveways)	N/A	72 %
<b>Max. Height</b>	38.25 m or 9 storeys	18.80 m or 6 storeys
Min. Amount of Habitable Space within Exposed Storey	60%	0% <b>①</b>
<b>Setbacks</b>		
Min. Front Yard (North)	0.0 m	> 1.21 m
Min. Flanking Side Yard (East)	0.0 m	> 10.97 m
Min. Side Yard (West)	0.0 m	> 1.92 m
Min. Rear Yard (South)	0.0 m	> 1.71 m
<b>Amenity Space</b>		
<b>Total Required Amenity Space</b>	<b>1,765 m<sup>2</sup></b>	<b>2,633 m<sup>2</sup></b>
Common	150 m <sup>2</sup>	1,224 m <sup>2</sup>
Private	1,615 m <sup>2</sup>	1,409 m <sup>2</sup>
<b>Landscaping</b>		
Min. Number of Trees	N/A	38 trees
<b>① Indicates a requested variance to the minimum amount of habitable space within any exposed storey where parking is provided within the building from 60% required to 0% proposed.</b>		

PARKING REGULATIONS		
CRITERIA	CD18 ZONE REQUIREMENTS	PROPOSAL
<b>Total Required Vehicle Parking</b>	<b>129 stalls</b>	<b>132 stalls</b>
Residential	117	120
Visitor	12	12
Accessible	4 (1 van accessible)	4 (1 van accessible)
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	50 % Regular 50 % Small
Bicycle Stalls Short-Term	6 stalls	6 stalls
Bicycle Stalls Long-Term	65 stalls	75 stalls
End of Trip Facilities	N/A	No
Bike Wash & Repair	N/A	Yes

**6.o Application Chronology**

Application Accepted: September 23, 2022  
 Neighbour Notification Received: May 31, 2024

**Report prepared by:** Sara Skabowski, Planner I  
**Reviewed by:** Jocelyn Black, Urban Planning Manager  
**Reviewed by:** Nola Kilmartin, Development Planning Department Manager  
**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

**Attachments:**

Attachment A: Draft Development Permit DP22-0186 & DVP24-0089  
 Schedule A: Site Plan & Floor Plans

Schedule B: Elevations & Sections

Schedule C: Landscape Plan

Attachment B: OCP Form and Character Development Permit Guidelines

Attachment C: Applicant Rationale

Attachment D: Neighbour Notification Package

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).

# Development Permit & Development Variance Permit

## DP22-0186 & DVP24-0089



This permit relates to land in the City of Kelowna municipally known as

**1870 Hiltop Crescent**

and legally known as

**Lot 8 Section 28 Township 23 ODYD PLAN EPP76020**

and permits the land to be used for the following development:

### Apartment Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

**Date of Council Approval:** July 23<sup>rd</sup>, 2024

Development Permit Area: Form and Character

Existing Zone: CD18 – McKinley Beach Resort

Future Land Use Designation: S-RES – Suburban Residential

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

### **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

### **NOTICE**

This permit does not relieve the owner or the owner’s authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: AP3240 Developments LTD., INC. NO. BC1338385

Applicant: Davignon Martin Architecture + Interior Design

\_\_\_\_\_  
Nola Kilmartin  
Development Planning Department Manager  
Planning & Development Services

\_\_\_\_\_  
Date of Issuance

**ATTACHMENT A**

This forms part of application  
# **DP22-0186 DVP24-0089**

Planner Initials SS

  
**City of Kelowna**  
COMMUNITY PLANNING

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP22-0186 and Development Variance Permit No. DVP24-0089 for Lot 8 Section 28 Township 23 ODYD PLAN EPP76020 located at 1870 Hilltop Crescent, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect.

AND THAT variances to the following section[s] of Zoning Bylaw No. 12375 be granted:

**Section 15.4.5[.3]: Comprehensive Development Zones, CD18 McKinley Beach, CD18 Development Regulations**

To vary the minimum amount of habitable space within an exposed storey from 60% required to 0% proposed.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Manager approval, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$109,520.00**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

<b>ATTACHMENT A</b>	
This forms part of application # DP22-0186 DVP24-0089	
Planner Initials	SS
 City of <b>Kelowna</b> COMMUNITY PLANNING	

DP22-0186 DVP24-0089

Page 2 of 3

33

The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.

<b>ATTACHMENT</b> <u>  A  </u>	
This forms part of application # <u>DP22-0186 DVP24-0089</u>	
Planner Initials	<input type="text" value="SS"/>
 City of <b>Kelowna</b> <small>COMMUNITY PLANNING</small>	

DRAFT

ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	200119
2	ISSUED FOR DP APPLICATION	200504
3	ISSUED FOR DP APPLICATION	200525
4	ISSUED FOR DP APPLICATION	200614
5	ISSUED FOR DP APPLICATION	200725
6	ISSUED FOR DP APPLICATION	200814
7	ISSUED FOR DP APPLICATION	201123
8	ISSUED FOR DP APPLICATION	201127
9	ISSUED FOR DP APPLICATION	200319
10	ISSUED FOR CLIENT REVIEW	200905
11	ISSUED FOR CLIENT REVIEW	200929
12	ISSUED FOR CLIENT REVIEW	201013
13	ISSUED FOR DP APPLICATION	201102
14	ISSUED FOR DP APPLICATION	200110
15	ISSUED FOR DP APPLICATION	200114

**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**

City of Kelowna COMMUNITY PLANNING

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
McKinley Beach  
Lot 8

DATE  
2024.05.16  
SCALE  
N/A

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Dist, Plan EPPP76020

SHEET TITLE  
Title Sheet

SHEET NUMBER

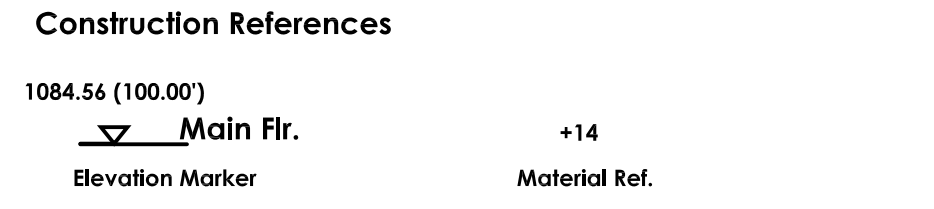
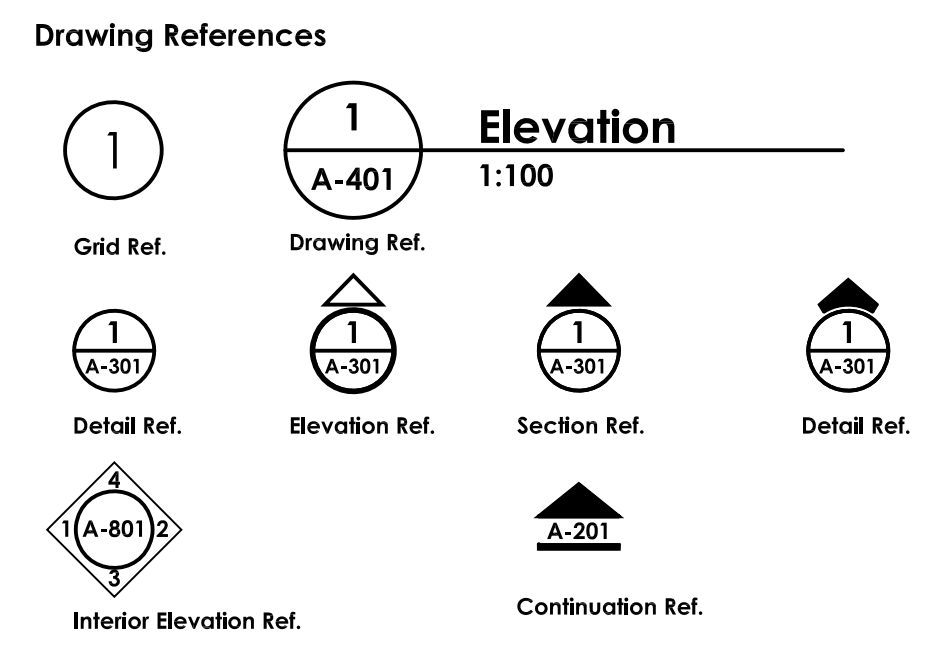
# General References

## Architectural

### Annotation Legend

A.C.T.	Acoustical Ceiling Tiles
A.F.F.	Above Finished Floor
Alum.	Aluminum
Approx.	Approximate
B.D.	Board
Blkg.	Blocking
Btm.	Bottom
Cg.	Ceiling
Cl.	Centerline
Ctr.	Clear
C.M.U.	Concrete Masonry Unit
Col.	Column
Conc.	Concrete
C.T.F.	Cut to Fit
C/W	Completed With
Dwgs.	Drawings
Eq.	Each
Elec.	Electrical
Eq.	Equal
Equip.	Equipment
Ex.	Existing
Ext.	Exterior
F.F.	Face of Finish
F.O.	Finished Opening
F.S.	Face of Stud
Fin.	Finish
Fl.	Floor
F.R.T.	Fire Retardant Treated
Ga.	Gauge
Galv.	Galvanized
G.C.	General Contractor
G.W.B.	Gypsum Wall Board
Hc.	Handicapped
Hgt.	Height
H.M.	Hollow Metal
Horiz.	Horizontal
Int.	Interior
Jt.	Joint
K.D.	Knock Down
LL.	Lease Line
Max.	Maximum
Mdf.	Medium Density Fiberboard
Mfg.	Manufacturer
Mech.	Mechanical
Min.	Minimum
Misc.	Miscellaneous
Mtd.	Mounted
Mtl.	Metal
N.I.A.	Not In Contract
N.T.S.	Not To Scale
O.C.	On Centre
O.F.C.I.	Owner Furnished, Contractor Installed
O.F.O.I.	Owner Furnished, Owner Installed
Plng.	Plumbing
P.M.	Project Manager
Pwd.	Plywood
Prefab.	Prefabricated
Rad.	Radius
R.C.P.	Reflected Ceiling Plan
Req'd	Required
R.O.	Rough opening
Ref.	Reference
Sim.	Similar
Stl.	Steel
Struct.	Structural
Susp.	Suspended
Temp.	Temporary
T.B.D.	To Be Determined
Typ.	Typical
U.N.O.	Unless Noted Otherwise
V.I.F.	Vegety In Field
W/	With
W/O	Without
Wd.	Wood

### Symbol Legend



**Reference Legend**

Wall Type	Symbol	Description
Ew	Ew	Exterior wood wall
Es	Es	Exterior steel stud wall
Em	Em	Exterior masonry unit wall
Pw	Pw	Partition interior wood wall
Ps	Ps	Partition interior steel stud wall
Pm	Pm	Partition interior masonry unit wall
1.0	1.0	Fire rating requirement
1	1	Main Assembly Type reference
a	a	Sub-Assembly Type reference
5	5	Exterior Finish reference

Window Type	Symbol	Description
w	w	Window
25	25	Window number

Door Type	Symbol	Description
d1	d1	Door Number
45	45	Fire rating requirement

Specification Tag	Symbol	Description
001	001	Specification reference
AP	AP	Appliances & equipment
AW	AW	Artwork
FF	FF	Floor Finish
FT	FT	Furniture specification
GL	GL	Glass Specification
LF	LF	Lighting fixture
MF	MF	Mechanical fixtures
MT	MT	Metal Specification
MW	MW	Millwork specification
OH	OH	Other hardware
PF	PF	Plumbing fixtures
PT	PT	Paint Finish
SI	SI	Specially Items
SW	SW	Smallware
TF	TF	Structures Wiring
TF	TF	Tile Finish

Room Number	Symbol	Description
001	001	Room reference
24 x 12	24x12	Size
Office	Office	Use / type

# General Information

## Architectural

### Project Address

**MUNICIPAL ADDRESS:**  
Hilltop Drive

**LEGAL ADDRESS:**  
Lot 8 / EPP76020 / 030-601-711  
LOT 8 SECTION 28 TOWNSHIP 23  
OSOYOOS DIVISION YALE DISTRICT PLAN EPP76020

### Project Classification

National Building Code - BC Edition  
City of Kelowna Zoning Bylaw

Zoning:  
CD18 - Comprehensive Mixed Use Development  
Area 1 - Village Centre

**SITE AREA**

sq.m.	sq.ft.
3,197.65	34,419.22

**LOT COVERAGE** 0.41

**PROJECT SUMMARY**

Building	sq.m.	sq.ft.	#units
TOTAL	1,320.91	14,218.16	83

**PARKING SUMMARY**

SMALL STALLS	58
REGULAR STALLS	70
ACCESSIBLE STALLS	4
<b>TOTAL STALLS</b>	<b>132</b>

BIKE STALLS	75+3	P1
	6	ON SITE
	84	TOTAL

# Consultants

## Architectural

### Contact Information

Davignon Martin Architecture  
Suite 420, 237 8 Avenue SE  
Calgary, Alberta, T2G 5C3  
Richard Davignon  
t 403.282.6082  
e richard@davignonmartin.ca

## Structural

### Contact Information

## Mechanical

### Contact Information

## Electrical

### Contact Information

## Other

### Contact Information

Deron Miller  
Scatliff Miller Murray [SMM] Landscape  
Suite 604 - 815 1st Street SW  
Calgary, Alberta T2P 1N3  
E: dmiller@scatliff.ca

David Paul  
Protech Consulting Ltd.  
300 - 3275 Lakeshore Road  
Kelowna, BC V1W 3S9  
E: djames@protech-consulting.com

# Key / Site Plan Google Map

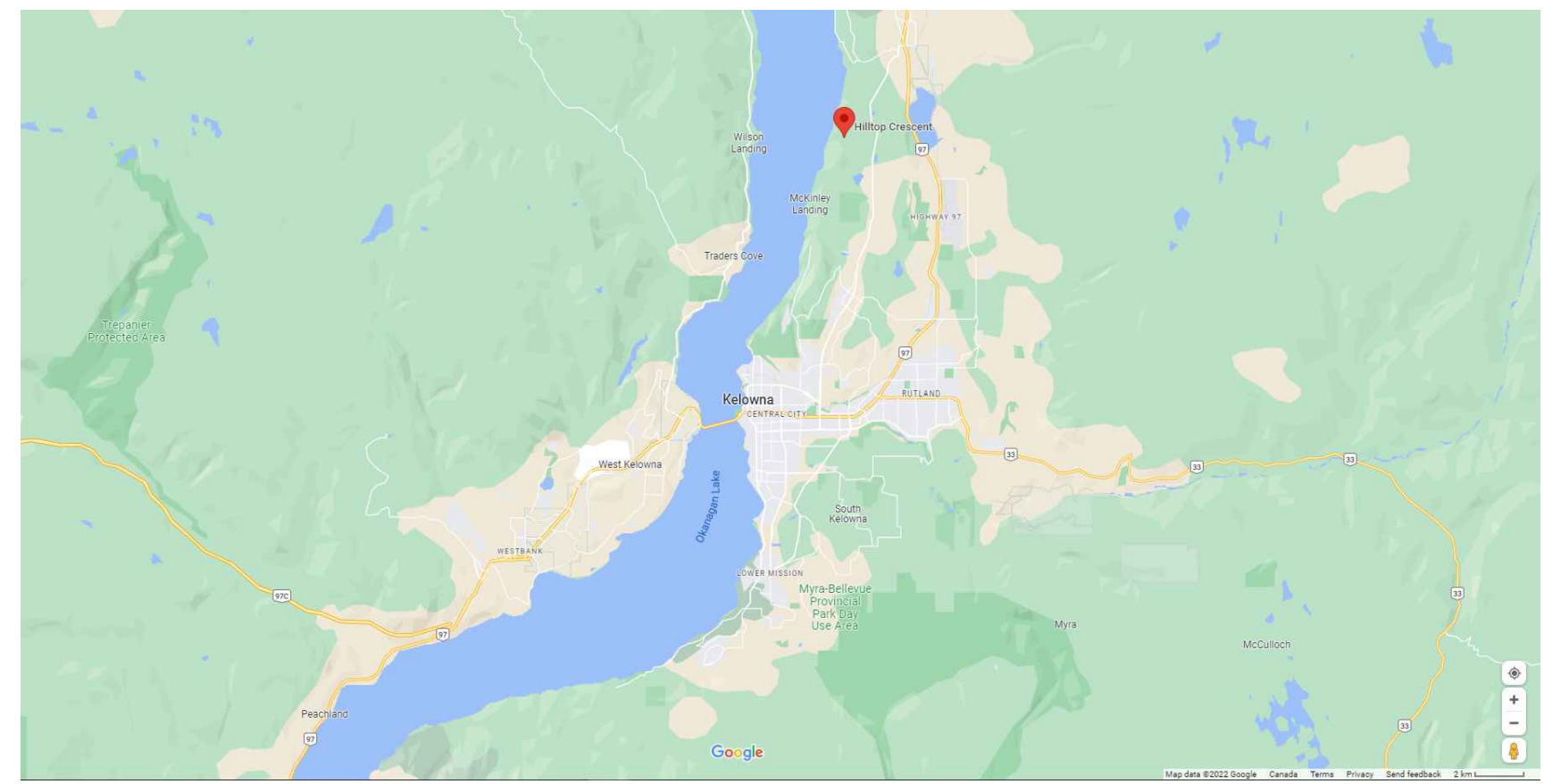


# Project Images

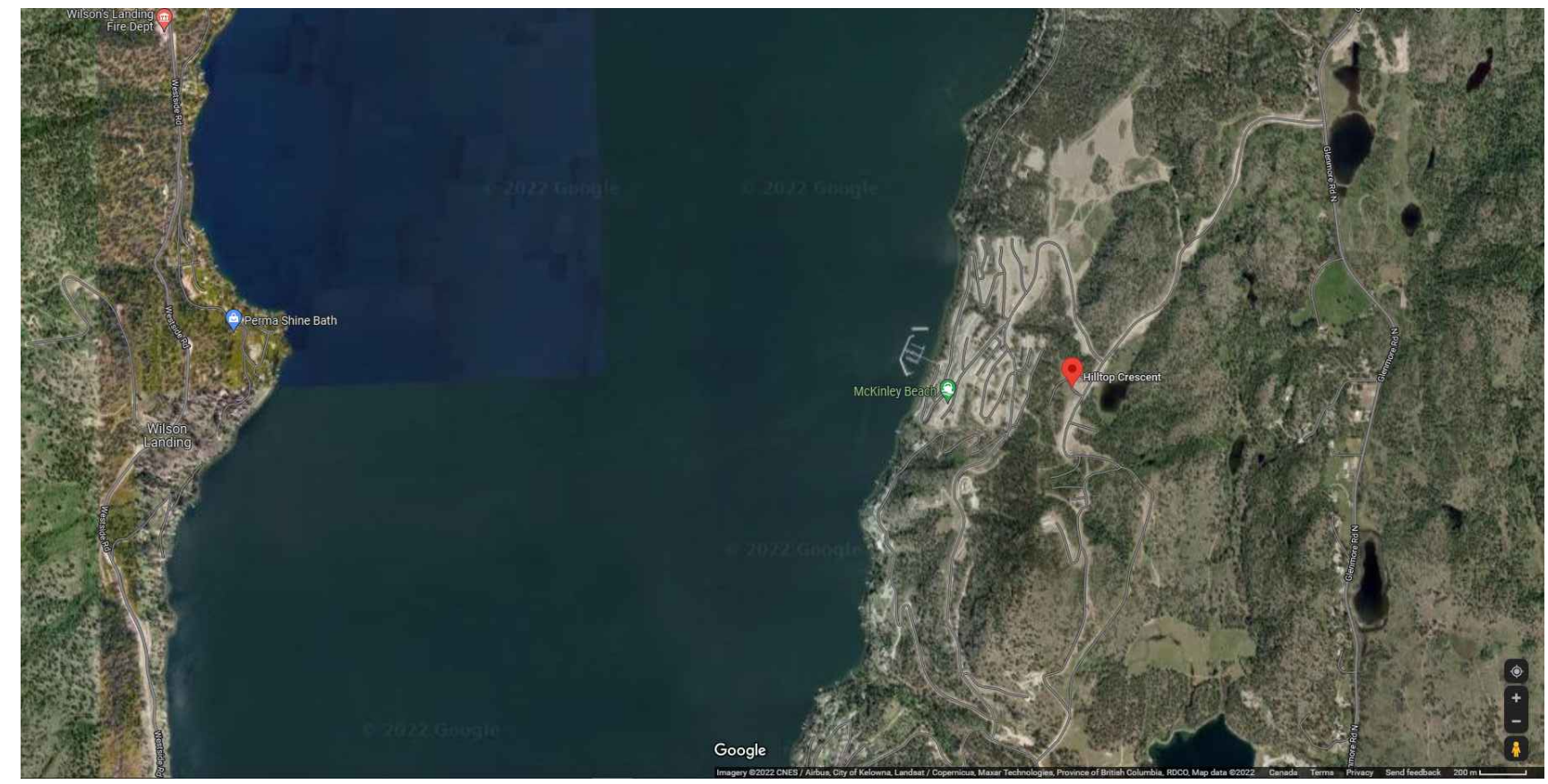




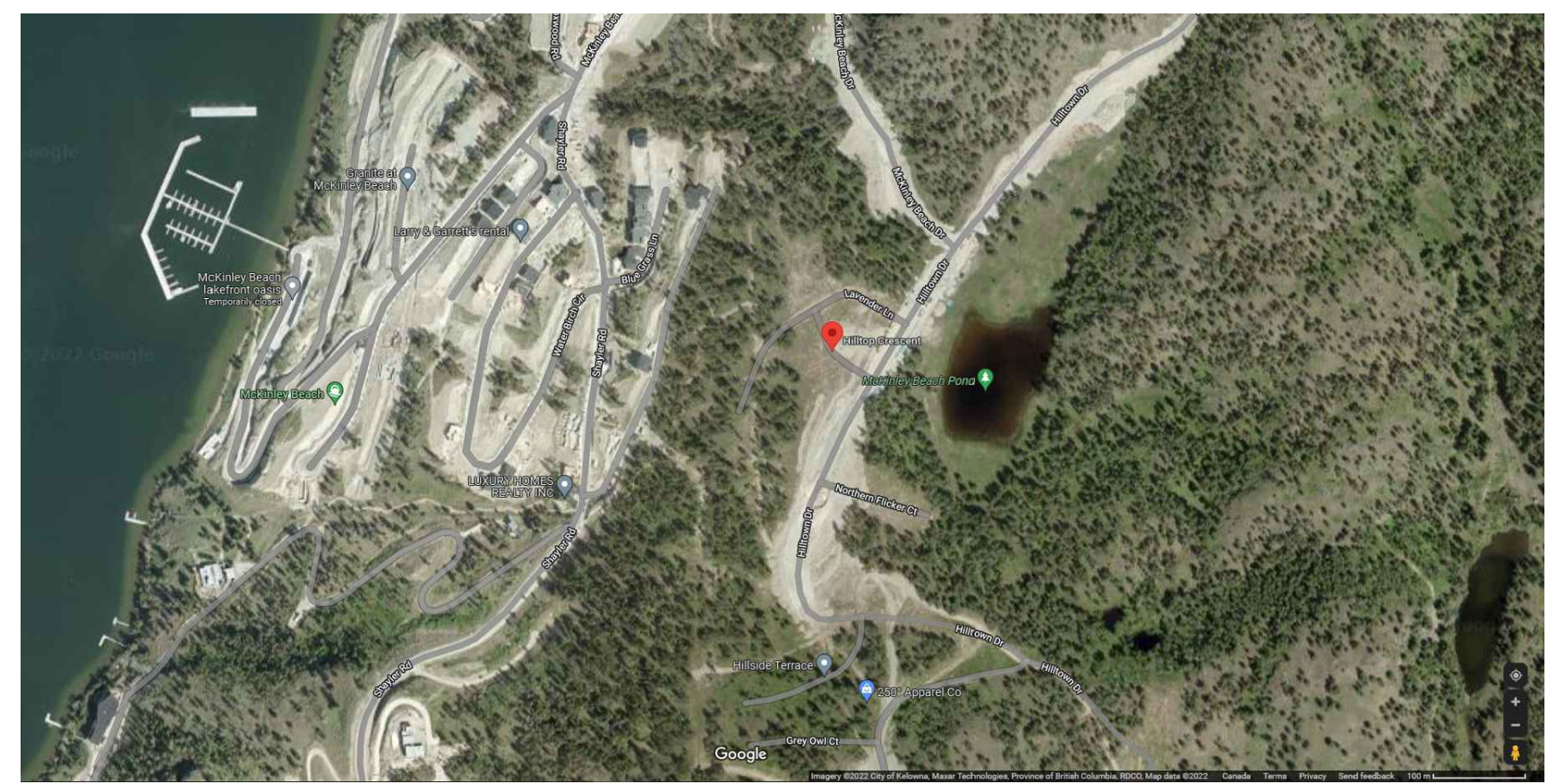
**1 CONTEXTUAL SITE PLAN**  
1:500



**SITE CONTEXT**



**SITE CONTEXT**



**SITE CONTEXT**



**VIEW OF LAKE**

2021//20

**DAVIGNON MARTIN**  
ARCHITECTURE

suite 420, 237 8 avenue se  
calgary, alberta canada  
T2G 5C3  
403 / 282 6082  
david@nonmartin.ca

Copyright: Plans, sketches, graphic representations and specifications are instruments of service, whether the project is executed or not shall remain the property of Davignon Martin Architecture. You may retain copies, including reproducible copies, of plans, sketches, drawings, graphic representations and specifications for information and reference in connection with your use and occupancy of the project. Except for reference purposes, the plans, sketches, drawings, graphic representations and specifications shall not be used for additions or alterations to the project or any other project. All parts of these drawings shall not be reproduced or used without the permission of the Davignon Martin Architecture.

The contractor shall verify all dimensions and specifications before and during the construction project. Any errors, omissions and misunderstanding must be reported to the Architect.

ISSUE	No.	DATE
REVISION		
1 ISSUED FOR REVIEW		2011/9
2 ISSUED FOR DP APPLICATION		2015/4
3 RE-ISSUED FOR DP APPLICATION		2016/4
4 ISSUED FOR DP APPLICATION		2017/5
5 RE-ISSUED FOR DP APPLICATION		2018/4
6 RE-ISSUED FOR DP APPLICATION		2019/12
7 RE-ISSUED FOR DP APPLICATION		2020/12
8 RE-ISSUED FOR DP APPLICATION		2021/3
9 ISSUED FOR CLIENT REVIEW		2020/5
10 ISSUED FOR CLIENT REVIEW		2022/5
11 ISSUED FOR CLIENT REVIEW		2022/9
12 ISSUED FOR CLIENT REVIEW		2023/3
13 RE-ISSUED FOR DP APPLICATION		2023/10
14 RE-ISSUED FOR DP APPLICATION		2023/10
15 RE-ISSUED FOR DP APPLICATION		2024/4

**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT

McKinley Beach  
Lot 8

DATE

2024.05.16

SCALE

1:200

PROJECT LOCATION

1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Ososyoos  
Div, Yale Dist, Plan EPPP76020

SHEET TITLE

SITE CONTEXT PLAN  
AND PHOTOS

SHEET NUMBER

**A///001**

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ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	200119
2	ISSUED FOR DP APPLICATION	200504
3	RE-ISSUED FOR DP APPLICATION	200644
4	ISSUED FOR DP APPLICATION	200725
5	RE-ISSUED FOR DP APPLICATION	200814
6	ISSUED FOR DP APPLICATION	201123
7	RE-ISSUED FOR DP APPLICATION	201217
8	ISSUED FOR DP APPLICATION	200319
9	ISSUED FOR CLIENT REVIEW	200905
10	ISSUED FOR CLIENT REVIEW	200905
11	ISSUED FOR CLIENT REVIEW	200909
12	ISSUED FOR CLIENT REVIEW	201015
13	RE-ISSUED FOR DP APPLICATION	201102
14	RE-ISSUED FOR DP APPLICATION	201010
15	RE-ISSUED FOR DP APPLICATION	201014

### SCHEDULE A

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**



PROFESSIONAL SEAL(S)  
CONSULTANTS

#### NOTES

PROJECT  
McKinley Beach  
Lot 8

DATE  
2024.05.16

SCALE  
1:200

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Distc, Plan EPPP76020

SHEET TITLE  
SITE PLAN

SHEET NUMBER

### PROJECT ADDRESS:

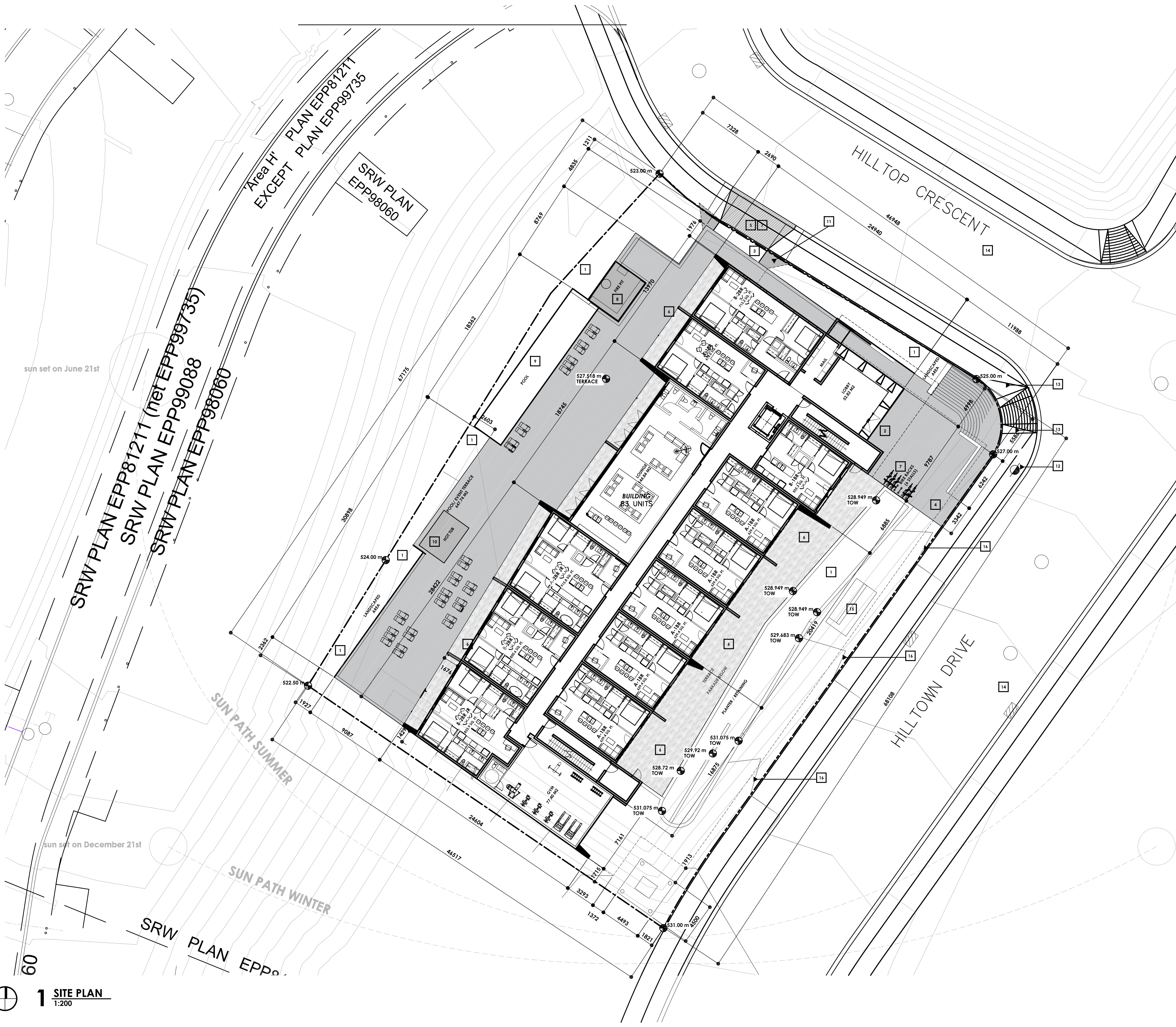
MUNICIPAL ADDRESS:  
HILLTOP DRIVE  
LEGAL ADDRESS:  
LOT 8 / EPP76020 / 030-401-711  
LOT 8 SECTION 28 TOWNSHIP 23  
OSOYOOS DIVISION YALE DISTRICT PLAN EPP76020  
PARCEL AREA: 3197.87 M2  
LEVEL 1 AREA: 1200.07 M2  
TOTAL SITE COVERAGE: 37.52%

### LEGEND:

- 1 PLANTER / LANDSCAPED AREA
- 2 MAIN ENTRANCE
- 3 WASTE AND RECYCLING PICK UP
- 4 NEW ACCESSIBLE ENTRANCE
- 5 PARKADE ENTRANCE
- 6 NEW VINYL DECKING
- 7 BIKE STORAGE ENTRANCE
- 8 FIRE PIT
- 9 POOL
- 10 HOT TUB
- 11 VISIBILITY TRIANGLE
- 12 FIRE HYDRANT - REFER TO CIVIL / DSSP
- 13 PROPOSED SIDEWALK AND CURB CUT
- 14 ASPHALT ROAD
- 15 PROPOSED SIGNAGE LOCATION
- 16 PROPOSED SITE GRADING

### SYMBOL LEGEND:

- SITE PROPERTY LINE
- BUILDING SETBACK LINE
- LINE OF BUILDING PROJECTION ABOVE
- EXISTING U/G GAS
- EXISTING U/G WATER
- EXISTING U/G STORM
- EXISTING U/G SANITARY
- EXISTING O/H ELECTRICAL
- UR UTILITY ROOM
- CB CATCH BASIN
- FIRE HYDRANT - REFER TO CIVIL / DSSP
- XXXX.XX FG FINISH GRADE AT BUILDING
- XXXX.XX BOW FINISH GRADE AT BACK OF WALK
- XXXX.XX BC FINISH GRADE AT BACK OF CURB
- XXXX.XX BOS FINISH GRADE AT BACK OF SLAB
- XXXX.XX TOR FINISH GRADE AT TOP OF BASEMENT



1 SITE PLAN  
1:200



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ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	2019
2	ISSUED FOR DP APPLICATION	2019
3	RE-ISSUED FOR DP APPLICATION	2019
4	ISSUED FOR DP APPLICATION	2019
5	RE-ISSUED FOR DP APPLICATION	2019
6	RE-ISSUED FOR DP APPLICATION	2019
7	RE-ISSUED FOR DP APPLICATION	2019
8	RE-ISSUED FOR DP APPLICATION	2019
9	ISSUED FOR CLIENT REVIEW	2019
10	ISSUED FOR CLIENT REVIEW	2019
11	ISSUED FOR CLIENT REVIEW	2019
12	ISSUED FOR DP APPLICATION	2019
13	RE-ISSUED FOR DP APPLICATION	2019
14	RE-ISSUED FOR DP APPLICATION	2019
15	RE-ISSUED FOR DP APPLICATION	2019

**SCHEDULE A**

This forms part of application  
 # DP22-0186 DVP24-0089

City of Kelowna  
 COMMUNITY PLANNING

Planner  
 SS

PROFESSIONAL SEAL(S)  
 CONSULTANTS

NOTES

PROJECT  
 McKinley Beach  
 Lot 8

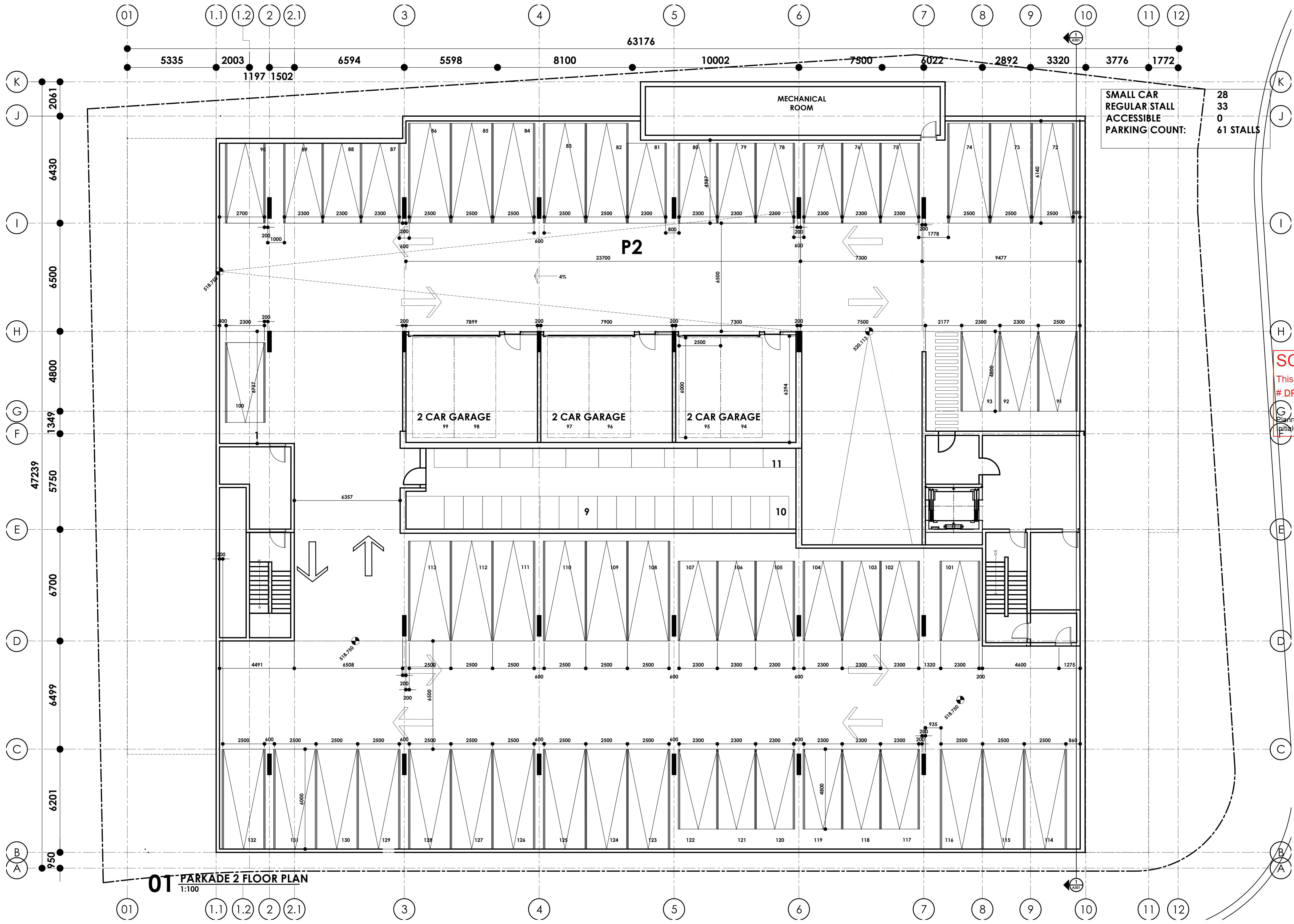
DATE  
 2024.05.16

SCALE  
 1:100

PROJECT LOCATION  
 1870 Hilltop C., Kelowna, BC  
 Lot 8, Sec 28, Township 23, Osoyoos  
 Div, Yale Dist., Plan EPPP76020

SHEET TITLE  
 LEVEL P2

SHEET NUMBER



SMALL CAR  
 REGULAR STALL  
 ACCESSIBLE  
 PARKING COUNT:  
 28  
 33  
 0  
 61 STALLS

01 PARKADE 2 FLOOR PLAN  
 1:100

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ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	200119
2	ISSUED FOR DP APPLICATION	200124
3	RE-ISSUED FOR DP APPLICATION	200124
4	ISSUED FOR DP APPLICATION	200125
5	RE-ISSUED FOR DP APPLICATION	200125
6	ISSUED FOR DP APPLICATION	200125
7	RE-ISSUED FOR DP APPLICATION	200125
8	ISSUED FOR DP APPLICATION	200125
9	ISSUED FOR CLIENT REVIEW	200125
10	ISSUED FOR CLIENT REVIEW	200125
11	ISSUED FOR CLIENT REVIEW	200125
12	ISSUED FOR DP APPLICATION	200125
13	RE-ISSUED FOR DP APPLICATION	200125
14	ISSUED FOR DP APPLICATION	200125
15	RE-ISSUED FOR DP APPLICATION	200125

**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

City of Kelowna  
COMMUNITY PLANNING

Planner  
SS

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
McKinley Beach  
Lot 8

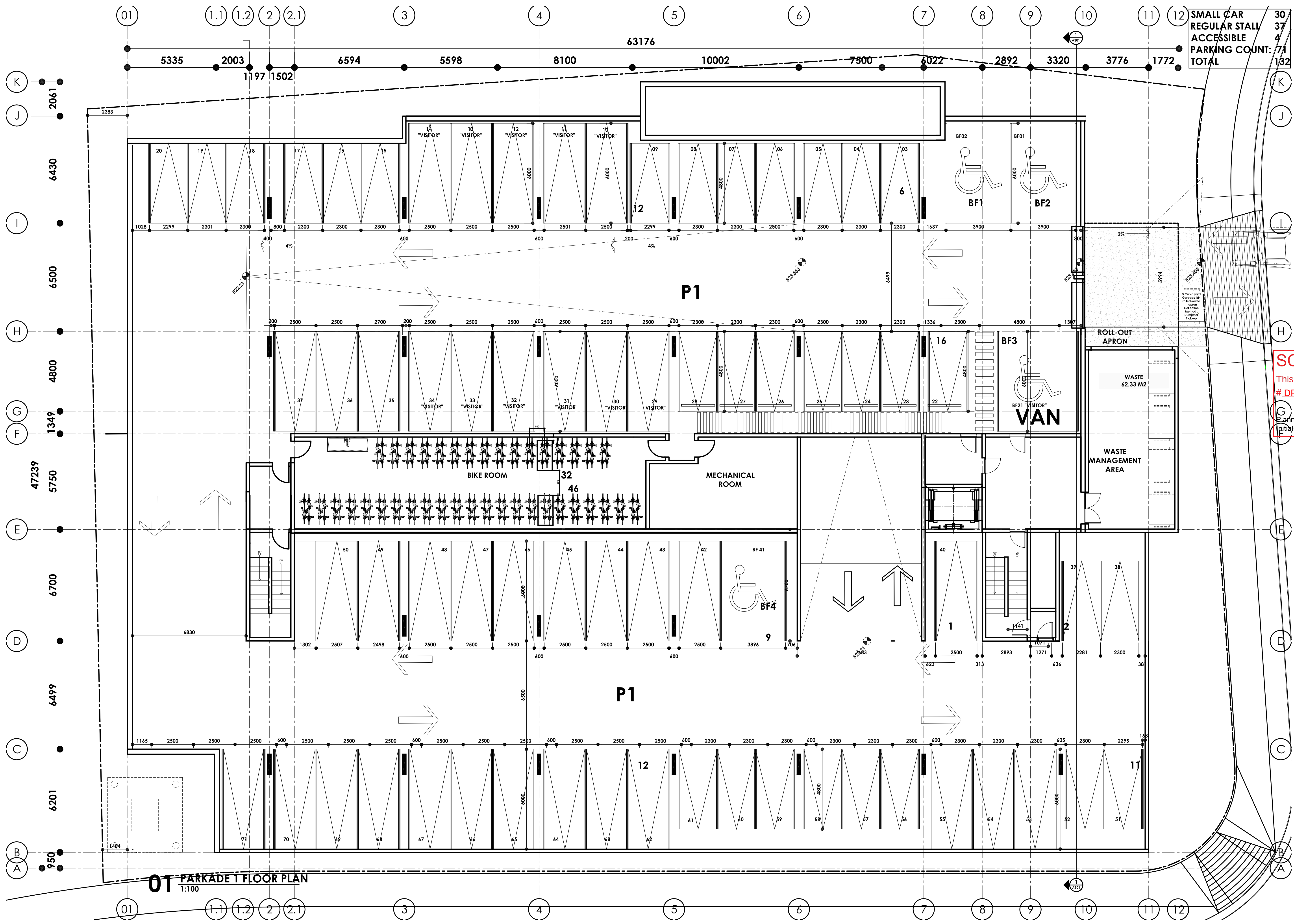
DATE  
2024.05.16

SCALE  
1:100

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Ososoyos  
Div, Yale Dist, Plan EPPP76020

SHEET TITLE  
LEVEL P1

SHEET NUMBER



**01 PARKADE 1 FLOOR PLAN**  
1:100

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ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	200119
2	ISSUED FOR DP APPLICATION	200504
3	RE-ISSUED FOR DP APPLICATION	200624
4	ISSUED FOR DP APPLICATION	200725
5	RE-ISSUED FOR DP APPLICATION	200814
6	RE-ISSUED FOR DP APPLICATION	201123
7	RE-ISSUED FOR DP APPLICATION	201217
8	RE-ISSUED FOR DP APPLICATION	200313
9	ISSUED FOR CLIENT REVIEW	200925
10	ISSUED FOR CLIENT REVIEW	200925
11	ISSUED FOR CLIENT REVIEW	200929
12	ISSUED FOR CLIENT REVIEW	201013
13	RE-ISSUED FOR DP APPLICATION	201102
14	RE-ISSUED FOR DP APPLICATION	201110
15	RE-ISSUED FOR DP APPLICATION	201110
16	RE-ISSUED FOR DP APPLICATION	201514

**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**



City of Kelowna  
COMMUNITY PLANNING

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
McKinley Beach

Lot 8

DATE  
2024.05.16

SCALE  
1:100

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Dist, Plan EEP76020

SHEET TITLE  
LEVEL 01

SHEET NUMBER

**AMENITY SPACE BUILDING:**

PRIVATE AMENITY SPACE (BALCONIES)	346.16	M2
OUTDOOR AMENITY (POOL / EVENT)	583.50	M2
GYM	77.40	M2
LOBBY/MAIL	52.82	M2
LOUNGE	144.84	M2



**01 MAIN FLOOR PLAN**  
1:100

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ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	2011/9
2	ISSUED FOR DP APPLICATION	2015/4
3	RE-ISSUED FOR DP APPLICATION	2016/4
4	ISSUED FOR DP APPLICATION	2017/5
5	RE-ISSUED FOR DP APPLICATION	2018/4
6	RE-ISSUED FOR DP APPLICATION	2017/5
7	RE-ISSUED FOR DP APPLICATION	2017/12
8	RE-ISSUED FOR DP APPLICATION	2017/12
9	ISSUED FOR CLIENT REVIEW	2018/5
10	ISSUED FOR CLIENT REVIEW	2019/2
11	ISSUED FOR CLIENT REVIEW	2019/9
12	ISSUED FOR CLIENT REVIEW	2019/3
13	RE-ISSUED FOR DP APPLICATION	2017/10
14	RE-ISSUED FOR DP APPLICATION	2017/10
15	RE-ISSUED FOR DP APPLICATION	2017/10
16	RE-ISSUED FOR DP APPLICATION	2017/10

**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**



City of Kelowna  
COMMUNITY PLANNING

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
McKinley Beach

Lot 8

DATE  
2024.05.16

SCALE  
1:100

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Dist, Plan EEP76020

SHEET TITLE  
LEVEL L2

SHEET NUMBER



**01 SECOND FLOOR PLAN**  
1:100

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ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	2001/9
2	ISSUED FOR DP APPLICATION	2004/4
3	RE-ISSUED FOR DP APPLICATION	2007/5
4	ISSUED FOR DP APPLICATION	2008/4
5	RE-ISSUED FOR DP APPLICATION	2011/3
6	RE-ISSUED FOR DP APPLICATION	2012/7
7	RE-ISSUED FOR DP APPLICATION	2013/3
8	RE-ISSUED FOR DP APPLICATION	2013/9
9	ISSUED FOR CLIENT REVIEW	2016/2
10	ISSUED FOR CLIENT REVIEW	2016/2
11	ISSUED FOR CLIENT REVIEW	2016/9
12	ISSUED FOR CLIENT REVIEW	2016/3
13	RE-ISSUED FOR DP APPLICATION	2017/10
14	RE-ISSUED FOR DP APPLICATION	2018/10
15	RE-ISSUED FOR DP APPLICATION	2019/4

**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
McKinley Beach  
Lot 8

DATE  
2024.05.16  
SCALE  
1:100

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Dist, Plan EPPP76020

SHEET TITLE  
LEVEL L3

SHEET NUMBER



**01** TYPICAL FLOOR PLAN  
1:100

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ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	2011/9
2	ISSUED FOR DP APPLICATION	2015/4
3	RE-ISSUED FOR DP APPLICATION	2017/5
4	ISSUED FOR DP APPLICATION	2018/4
5	RE-ISSUED FOR DP APPLICATION	2017/5
6	RE-ISSUED FOR DP APPLICATION	2017/5
7	RE-ISSUED FOR DP APPLICATION	2017/7
8	RE-ISSUED FOR DP APPLICATION	2017/12
9	ISSUED FOR CLIENT REVIEW	2018/5
10	ISSUED FOR CLIENT REVIEW	2018/5
11	ISSUED FOR CLIENT REVIEW	2018/9
12	ISSUED FOR CLIENT REVIEW	2018/3
13	RE-ISSUED FOR DP APPLICATION	2017/10
14	RE-ISSUED FOR DP APPLICATION	2017/10
15	RE-ISSUED FOR DP APPLICATION	2017/10

**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**



City of Kelowna  
COMMUNITY PLANNING

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
McKinley Beach

Lot 8

DATE  
2024.05.16

SCALE  
1:100

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Disc, Plan EEP76020

SHEET TITLE  
LEVEL L4

SHEET NUMBER



**01 FOURTH FLOOR PLAN**  
1:100

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ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	2011/9
2	ISSUED FOR DP APPLICATION	2015/4
3	RE-ISSUED FOR DP APPLICATION	2017/5
4	ISSUED FOR DP APPLICATION	2018/4
5	RE-ISSUED FOR DP APPLICATION	2017/5
6	RE-ISSUED FOR DP APPLICATION	2017/12
7	RE-ISSUED FOR DP APPLICATION	2017/12
8	RE-ISSUED FOR DP APPLICATION	2018/1
9	ISSUED FOR CLIENT REVIEW	2018/5
10	ISSUED FOR CLIENT REVIEW	2018/5
11	ISSUED FOR CLIENT REVIEW	2018/9
12	ISSUED FOR DP APPLICATION	2018/10
13	RE-ISSUED FOR DP APPLICATION	2018/10
14	RE-ISSUED FOR DP APPLICATION	2018/10
15	RE-ISSUED FOR DP APPLICATION	2018/10

**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**



City of Kelowna  
COMMUNITY PLANNING

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
McKinley Beach

Lot 8

DATE  
2024.05.16

SCALE  
1:100

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Ososyoos  
Div, Yale Dist, Plan EEP76020

SHEET TITLE  
LEVEL L5

SHEET NUMBER

H  
G  
F  
E  
D  
C  
B  
A

**AMENITY SPACE BUILDING:**  
PRIVATE AMENITY SPACE (BALCONIES) 212.7 M2

Area: 1309 M2

**01 FIFTH FLOOR PLAN**  
1:100



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ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	2011/9
2	ISSUED FOR DP APPLICATION	2015/4
3	ISSUED FOR DP APPLICATION	2015/4
4	ISSUED FOR DP APPLICATION	2017/5
5	ISSUED FOR DP APPLICATION	2018/4
6	ISSUED FOR DP APPLICATION	2017/5
7	ISSUED FOR DP APPLICATION	2017/7
8	ISSUED FOR DP APPLICATION	2017/12
9	ISSUED FOR CLIENT REVIEW	2018/3
10	ISSUED FOR CLIENT REVIEW	2018/5
11	ISSUED FOR CLIENT REVIEW	2018/9
12	ISSUED FOR CLIENT REVIEW	2018/9
13	ISSUED FOR DP APPLICATION	2018/10
14	ISSUED FOR DP APPLICATION	2018/10
15	ISSUED FOR DP APPLICATION	2018/10
16	ISSUED FOR DP APPLICATION	2018/10

**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
McKinley Beach  
Lot 8

DATE  
2024.05.16

SCALE  
1:100

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Dist, Plan EEP76020

SHEET TITLE  
LEVEL L6

SHEET NUMBER





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ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	2011/9
2	ISSUED FOR DP APPLICATION	2015/4
3	RE-ISSUED FOR DP APPLICATION	2016/4
4	ISSUED FOR DP APPLICATION	2017/5
5	RE-ISSUED FOR DP APPLICATION	2018/4
6	RE-ISSUED FOR DP APPLICATION	2011/3
7	RE-ISSUED FOR DP APPLICATION	2011/7
8	RE-ISSUED FOR DP APPLICATION	2013/3
9	ISSUED FOR CLIENT REVIEW	2016/5
10	ISSUED FOR CLIENT REVIEW	2016/5
11	ISSUED FOR CLIENT REVIEW	2019/9
12	ISSUED FOR CLIENT REVIEW	2019/3
13	RE-ISSUED FOR DP APPLICATION	2011/2
14	RE-ISSUED FOR DP APPLICATION	2011/10
15	RE-ISSUED FOR DP APPLICATION	2011/10

**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
McKinley Beach

Lot 8

DATE  
2024.05.16

SCALE  
1:100

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Disc, Plan EEP76020

SHEET TITLE  
MEZZANINE LEVEL

SHEET NUMBER

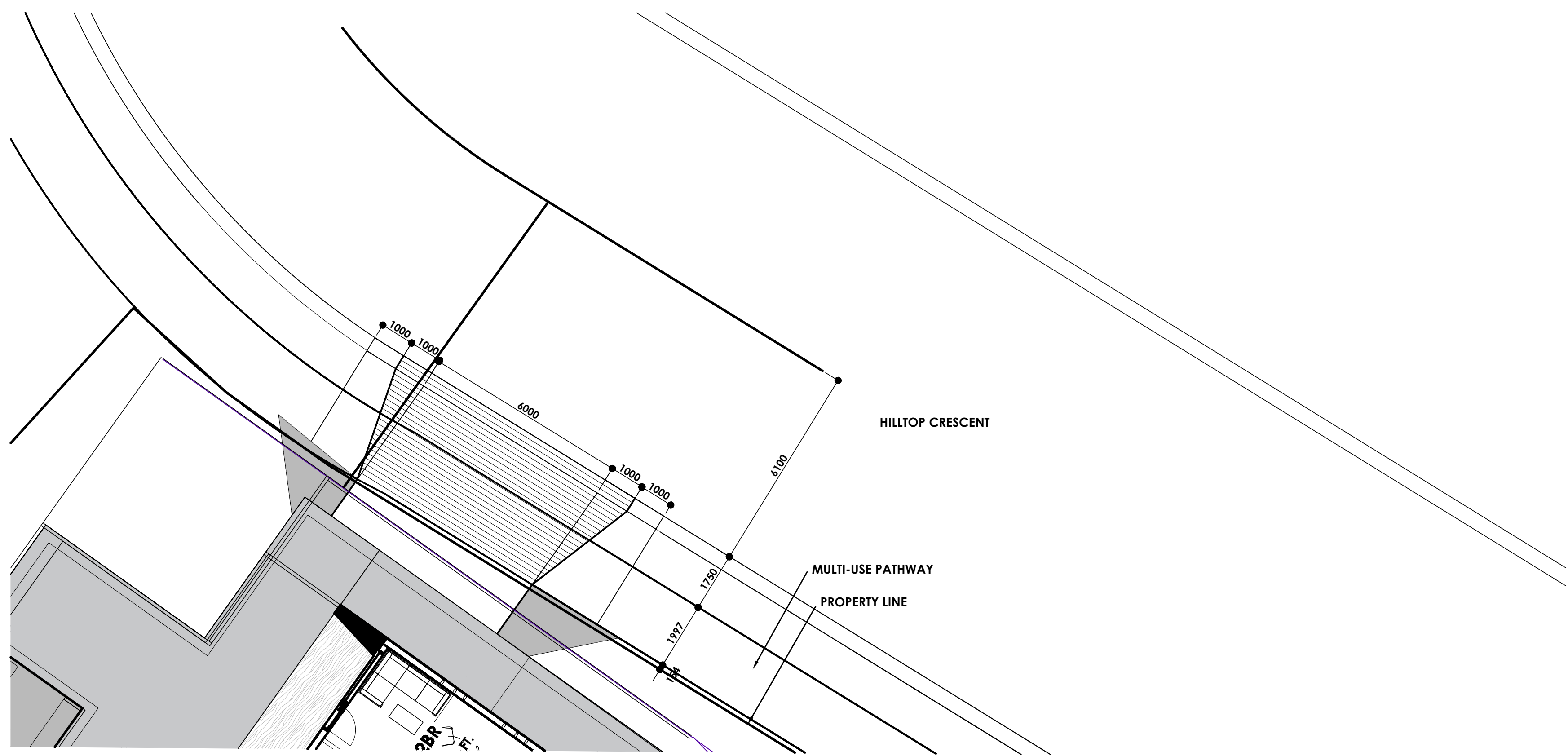


**01 ROOF FLOOR PLAN**  
1:100

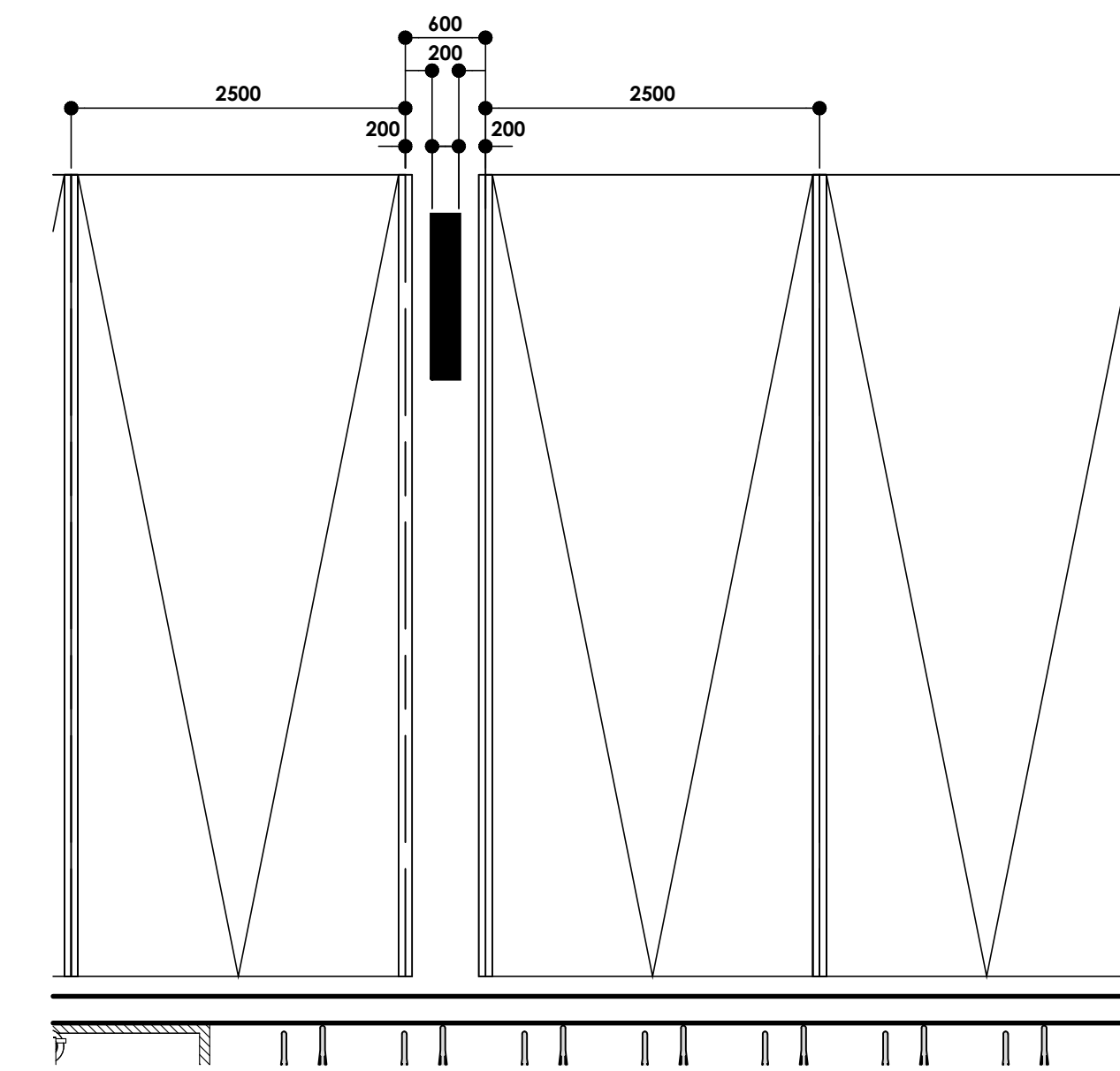
Copyright Plans, sketches, graphic representations and specifications are instruments of service, whether the project is executed or not shall remain the property of Davignon Martin Architecture. You may retain copies, including reproducible copies, of plans, sketches, drawings, graphic representations and specifications for information and reference in connection with your use and occupancy of the project. Except for reference purposes, the plans, sketches, drawings, graphic representations and specifications shall not be used for additions or alterations to the project or any other project. All parts of these drawings shall not be reproduced or used without the permission of the Davignon Martin Architecture.

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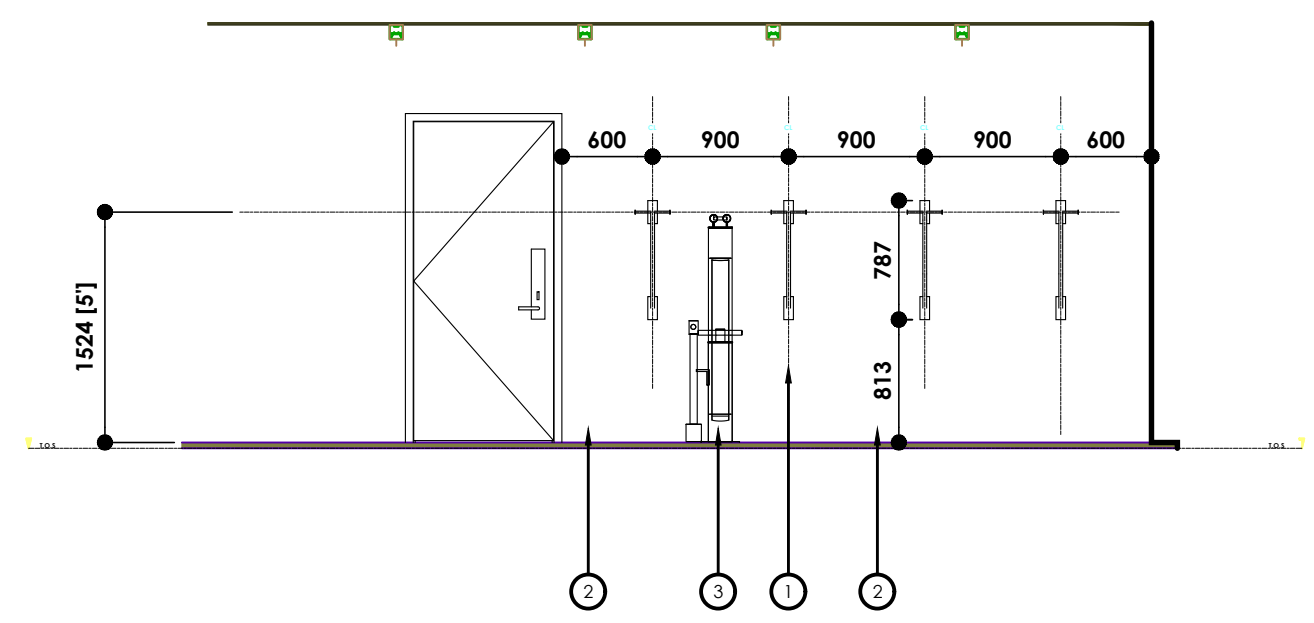
ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	2011/9
2	ISSUED FOR DP APPLICATION	2015/4
3	RE-ISSUED FOR DP APPLICATION	2016/4
4	ISSUED FOR DP APPLICATION	2017/5
5	RE-ISSUED FOR DP APPLICATION	2018/4
6	RE-ISSUED FOR DP APPLICATION	2017/5
7	RE-ISSUED FOR DP APPLICATION	2017/7
8	RE-ISSUED FOR DP APPLICATION	2017/3
9	ISSUED FOR CLIENT REVIEW	2019/5
10	ISSUED FOR CLIENT REVIEW	2019/5
11	ISSUED FOR CLIENT REVIEW	2019/9
12	ISSUED FOR CLIENT REVIEW	2019/3
13	RE-ISSUED FOR DP APPLICATION	2011/2
14	RE-ISSUED FOR DP APPLICATION	2011/10
15	RE-ISSUED FOR DP APPLICATION	2015/4



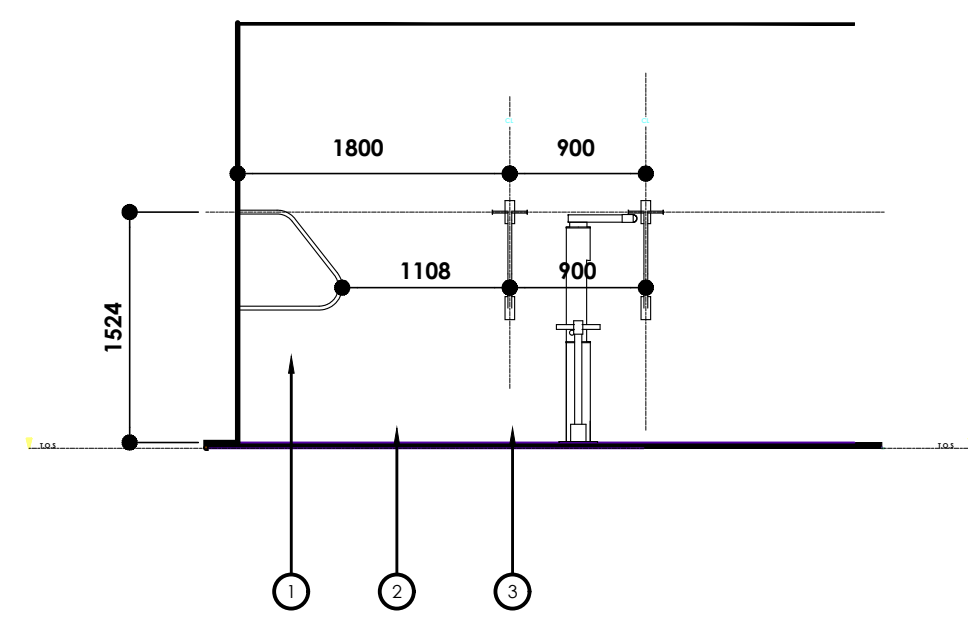
**01 ENLARGED SITE PLAN - PARKADE ENTRY**  
1:100



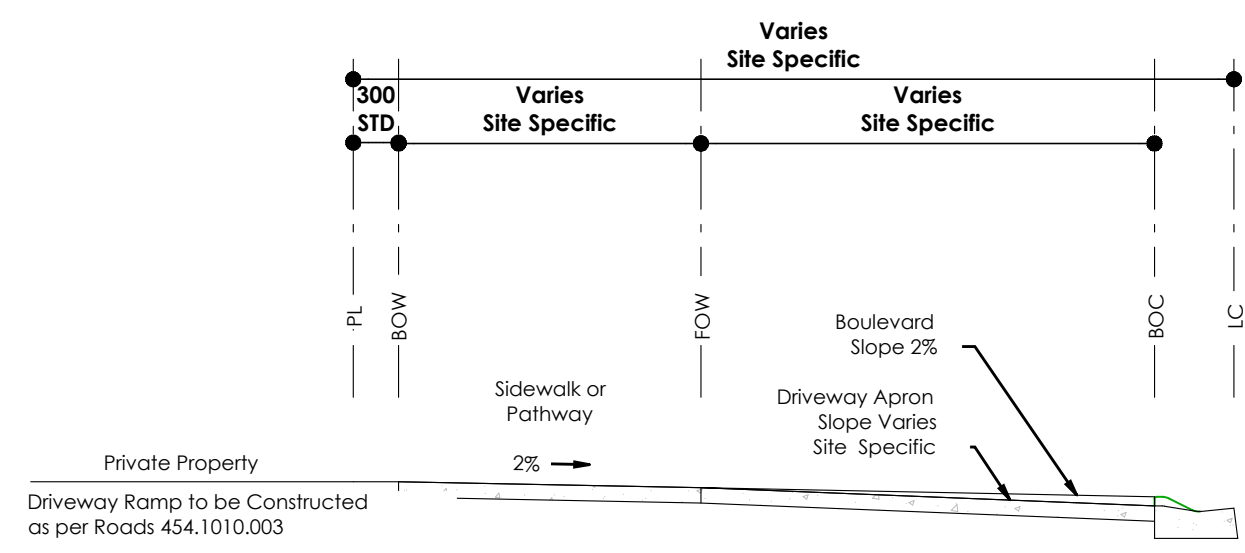
**04 PARKING COLUMN (typ.)**  
1:50



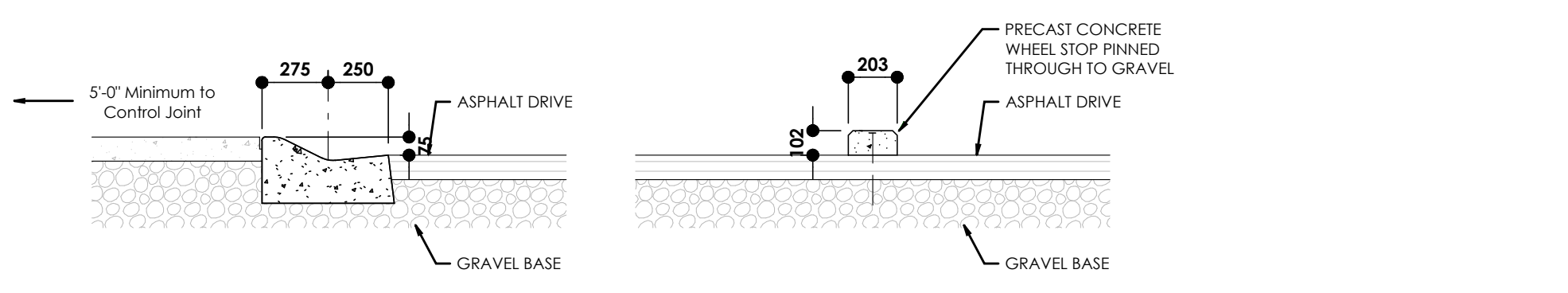
**02 ELEVATION 1 (typ.)**  
1:50



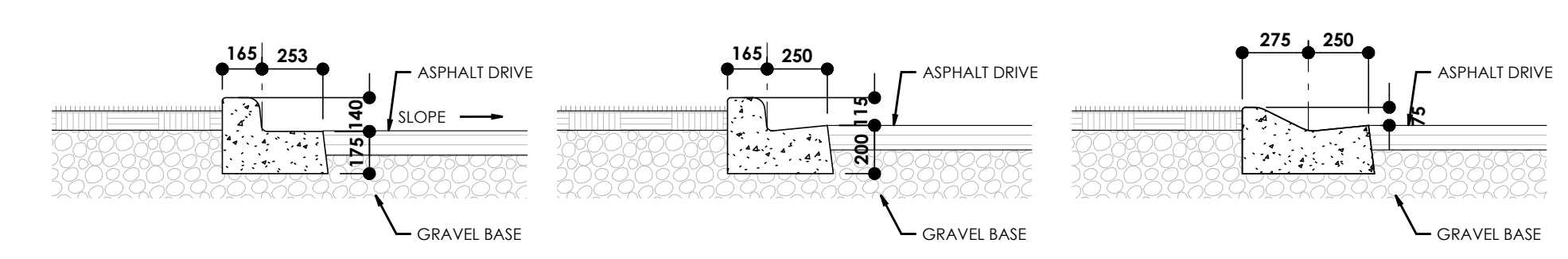
**03 ELEVATION 2 (typ.)**  
1:50



**05 SEPARATE SIDEWALK CROSSING SECTION**  
N/A



WHEEL STOP DETAIL



STANDARD CURB DETAILS

LOW PROFILE CURB DETAILS

**06 CURB DETAILS (typ.)**  
1:25

**LEGEND:**

- ① SQUARED STEEL CHANNEL VERTICAL BIKE STORAGE SYSTEM  
Use Dero Ultra Space Saver Single or Approved Equivalent
- ② POWDER COAT FINISH  
Sandblast & Use Prismatic Thick TGIC Powder Coat System in Black or Approved Equivalent
- ③ BIKE REPAIR STATION W/ INCLUDED REPAIR TOOLS  
Use Dero Fixit w/ Air Kit 3 or Approved Equivalent
- ④ WHEELCHAIR SYMBOL
- ⑤ PRECAST CONCRETE WHEEL STOP
- ⑥ CONCRETE CURB
- ⑦ 'PERMIT REQUIRED' SIGNAGE
- ⑧ CURB RAMP

**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**

**City of Kelowna**  
COMMUNITY PLANNING

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
McKinley Beach  
Lot 8

DATE  
2024.05.16

SCALE  
1:50

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Dist, Plan EPPP76020

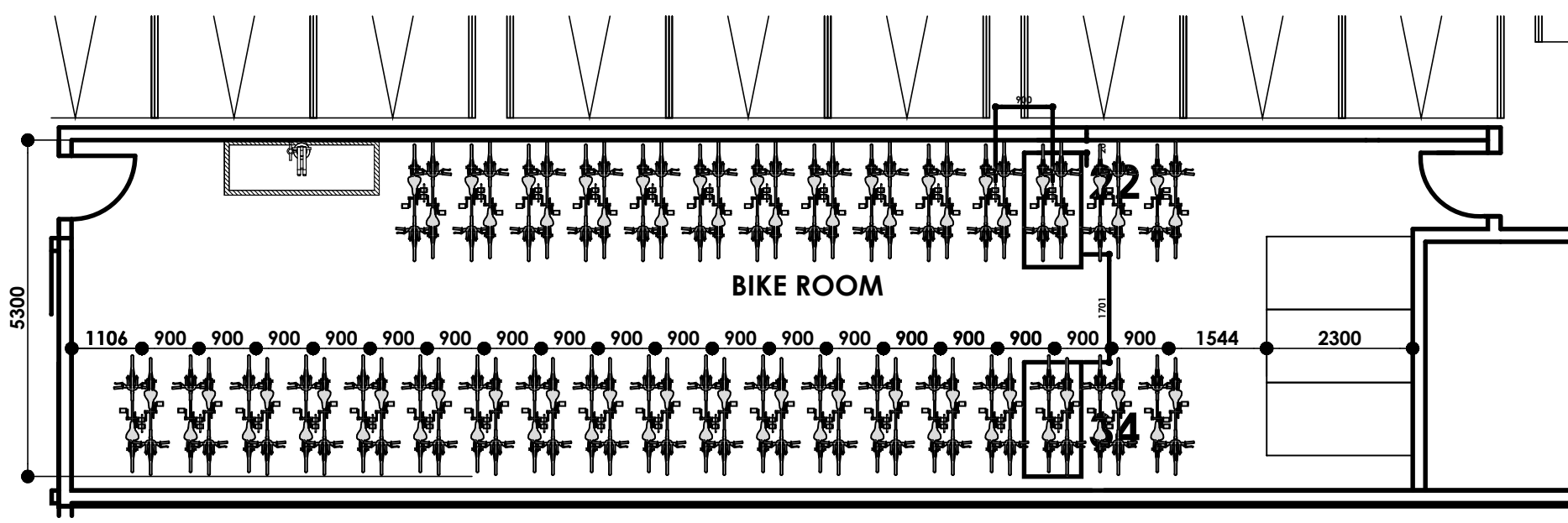
SHEET TITLE  
CALLOUTS, DETAILS

SHEET NUMBER

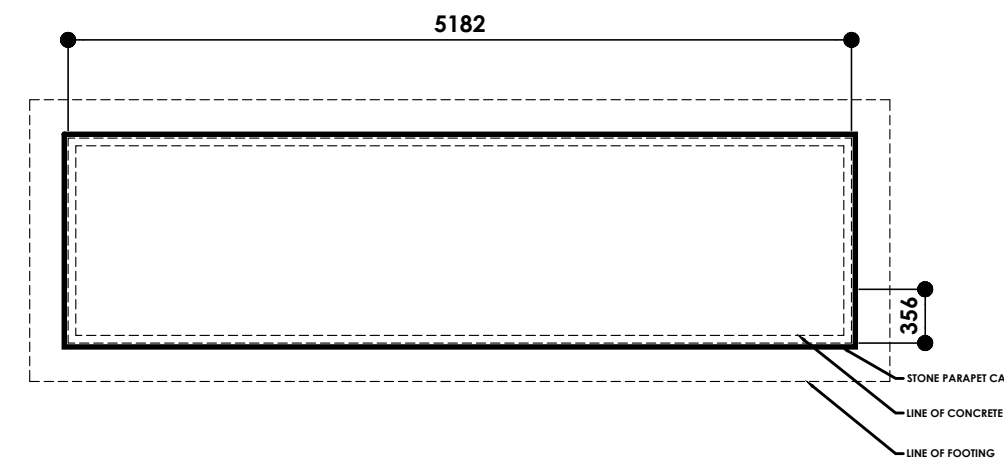
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ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	220119
2	ISSUED FOR DP APPLICATION	220504
3	RE-ISSUED FOR DP APPLICATION	220424
4	ISSUED FOR DP APPLICATION	220725
5	RE-ISSUED FOR DP APPLICATION	220814
6	RE-ISSUED FOR DP APPLICATION	221123
7	RE-ISSUED FOR DP APPLICATION	220127
8	RE-ISSUED FOR DP APPLICATION	220313
9	ISSUED FOR CLIENT REVIEW	220925
10	ISSUED FOR CLIENT REVIEW	220925
11	ISSUED FOR CLIENT REVIEW	220929
12	ISSUED FOR CLIENT REVIEW	221013
13	RE-ISSUED FOR DP APPLICATION	221102
14	RE-ISSUED FOR DP APPLICATION	240110
15	RE-ISSUED FOR DP APPLICATION	240514



**01 BICYCLE ROOM ENLARGED PLAN**  
1:100



**03 PROPOSED SIGNAGE - PLAN**  
1:50

**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**

City of Kelowna  
COMMUNITY PLANNING

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CONSULTANTS

NOTES

PROJECT

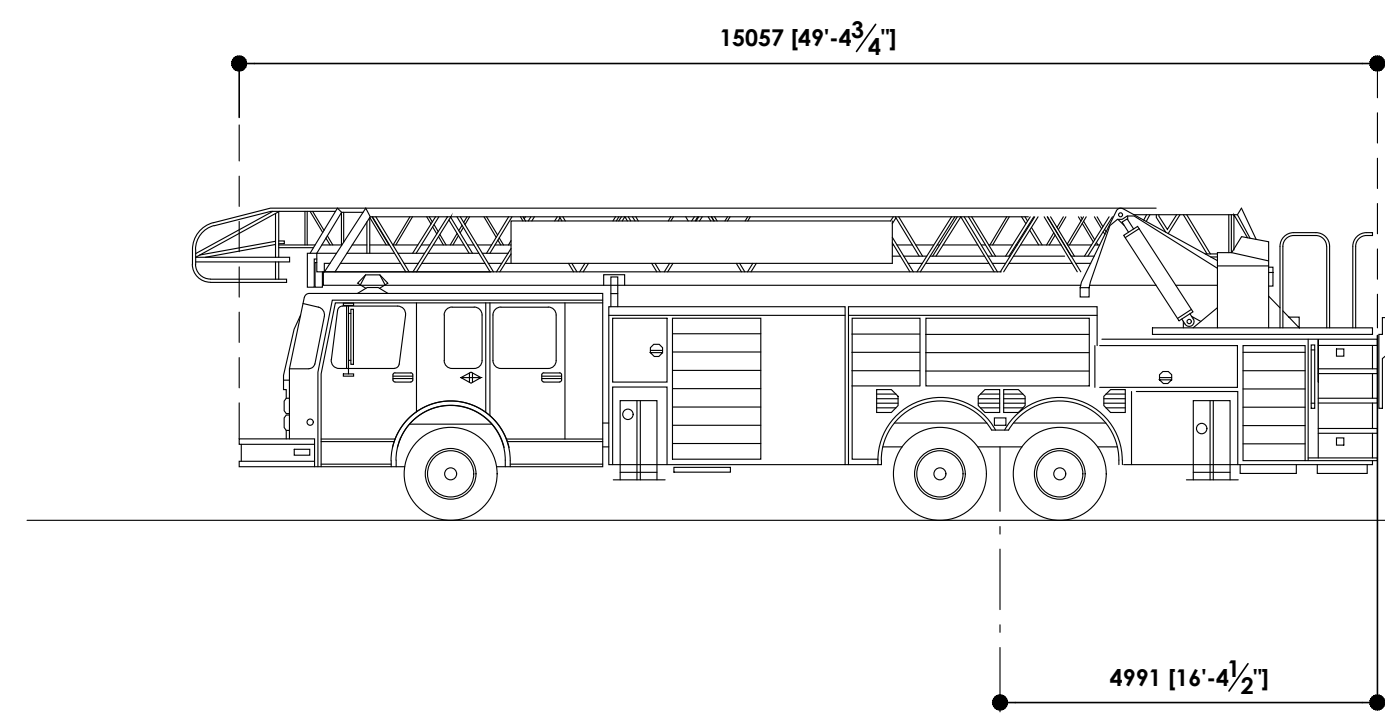
McKinley Beach  
Lot 8

DATE  
2024.05.16  
SCALE  
1:50

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Dist, Plan EPPP76020

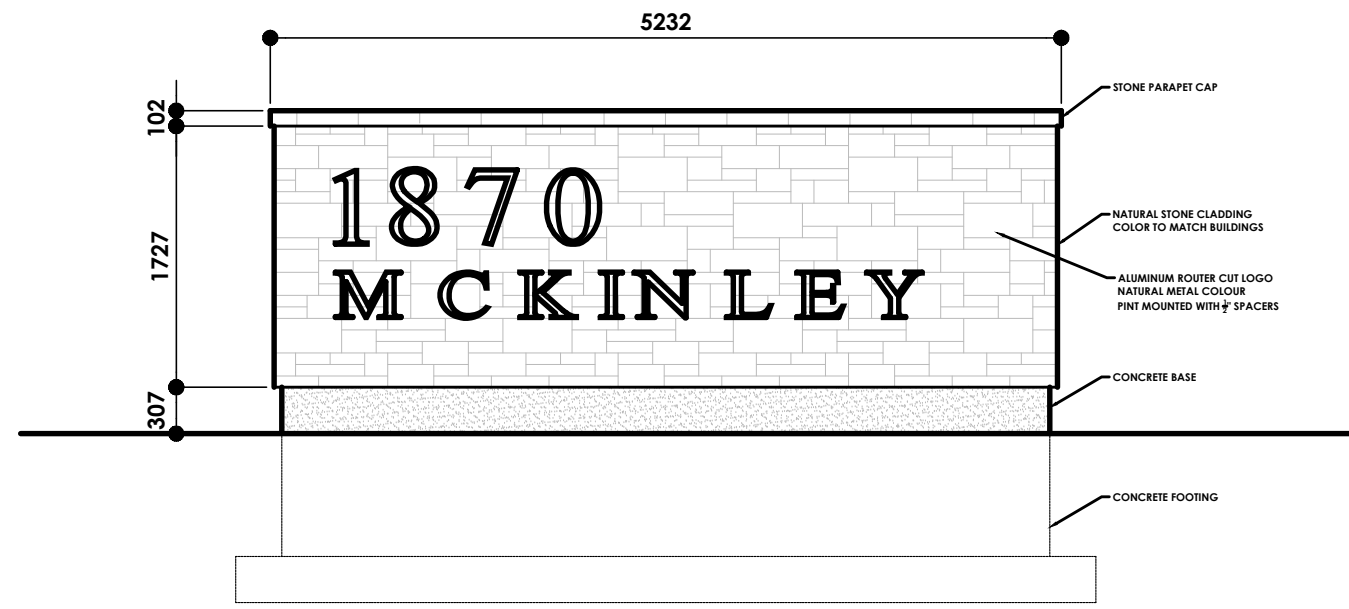
SHEET TITLE  
CALLOUTS, DETAILS

SHEET NUMBER

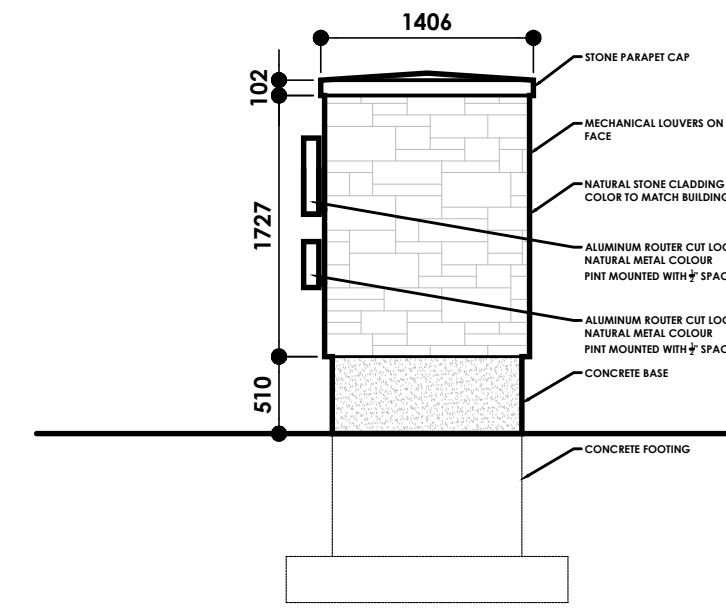


SPARTAN GLADIATOR CLASSIC GA40M  
WIDTH: 2.54M  
TRACK: 2.54M  
TURNING RADIUS CURB TO CURB: 38'8"  
TURNING RADIUS WALL TO WALL: 42'6"

**02 SPARTAN GLADIATOR CLASSIC**  
1:100



**04 PROPOSED SIGNAGE - ELEVATION**  
1:50



**05 PROPOSED SIGNAGE - SIDE ELEVATION**  
1:50

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ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	2019
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3	RE-ISSUED FOR DP APPLICATION	2019
4	ISSUED FOR DP APPLICATION	2019
5	RE-ISSUED FOR DP APPLICATION	2019
6	ISSUED FOR DP APPLICATION	2019
7	RE-ISSUED FOR DP APPLICATION	2019
8	ISSUED FOR DP APPLICATION	2019
9	ISSUED FOR CLIENT REVIEW	2019
10	ISSUED FOR CLIENT REVIEW	2019
11	ISSUED FOR CLIENT REVIEW	2019
12	ISSUED FOR CLIENT REVIEW	2019
13	RE-ISSUED FOR DP APPLICATION	2019
14	RE-ISSUED FOR DP APPLICATION	2019
15	RE-ISSUED FOR DP APPLICATION	2019

**SCHEDULE A**

This forms part of application  
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Planner Initials **SS**

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McKinley Beach

Lot 8

DATE  
2024.05.16

SCALE  
1:100

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1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Dist., Plan EPPP76020

SHEET TITLE  
UNITS LAYOUTS

SHEET NUMBER

**01 LAYOUT TYPE A-2BR**  
1:100

**02 LAYOUT TYPE B-2BR**  
1:100

**03 LAYOUT TYPE A-2BR JR**  
1:100

**04 LAYOUT TYPE C-2BR**  
1:100

**04 LAYOUT TYPE E-1BR**  
1:100

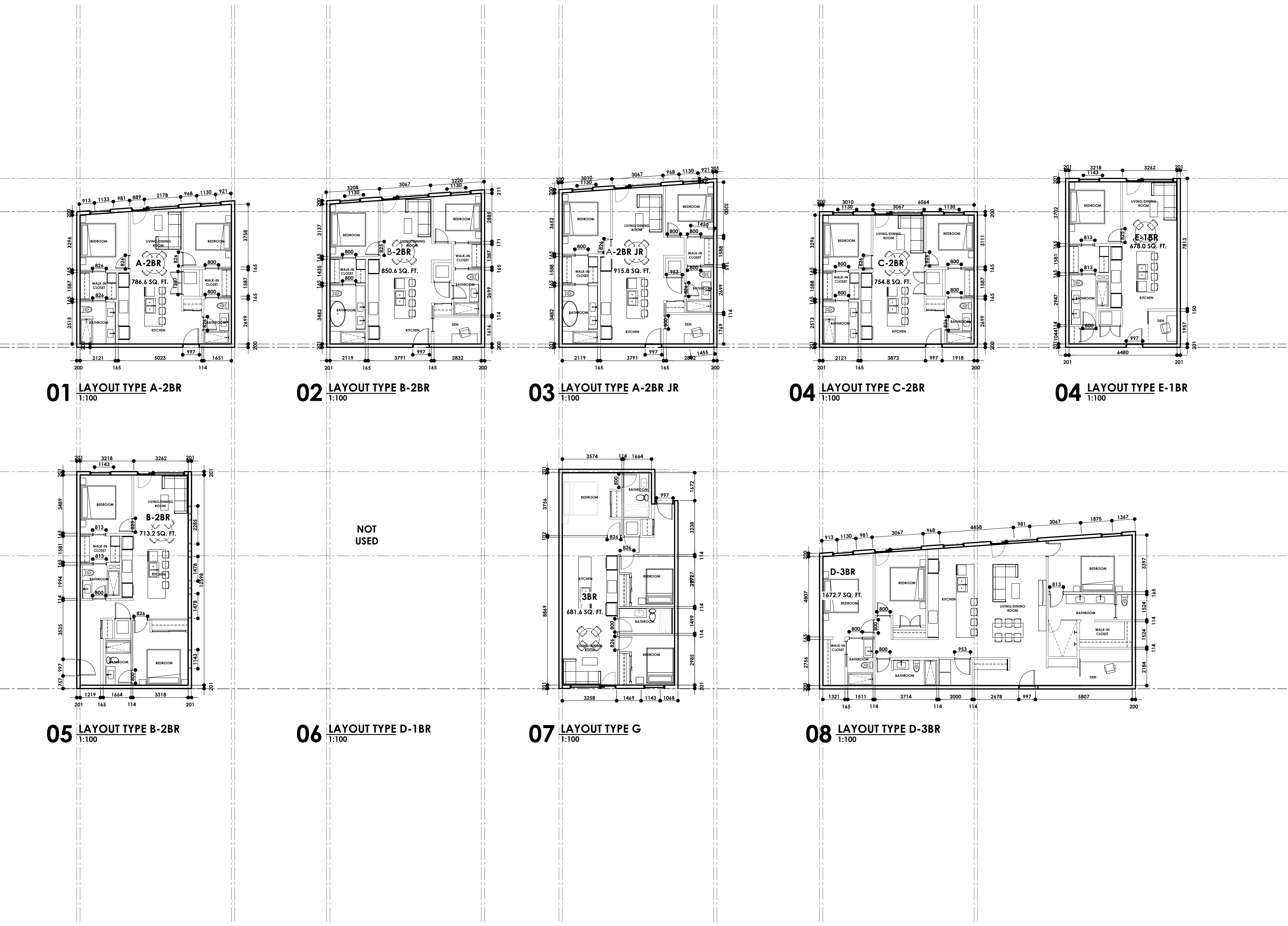
**05 LAYOUT TYPE B-2BR**  
1:100

**06 LAYOUT TYPE D-1BR**  
1:100

**07 LAYOUT TYPE G**  
1:100

**08 LAYOUT TYPE D-3BR**  
1:100

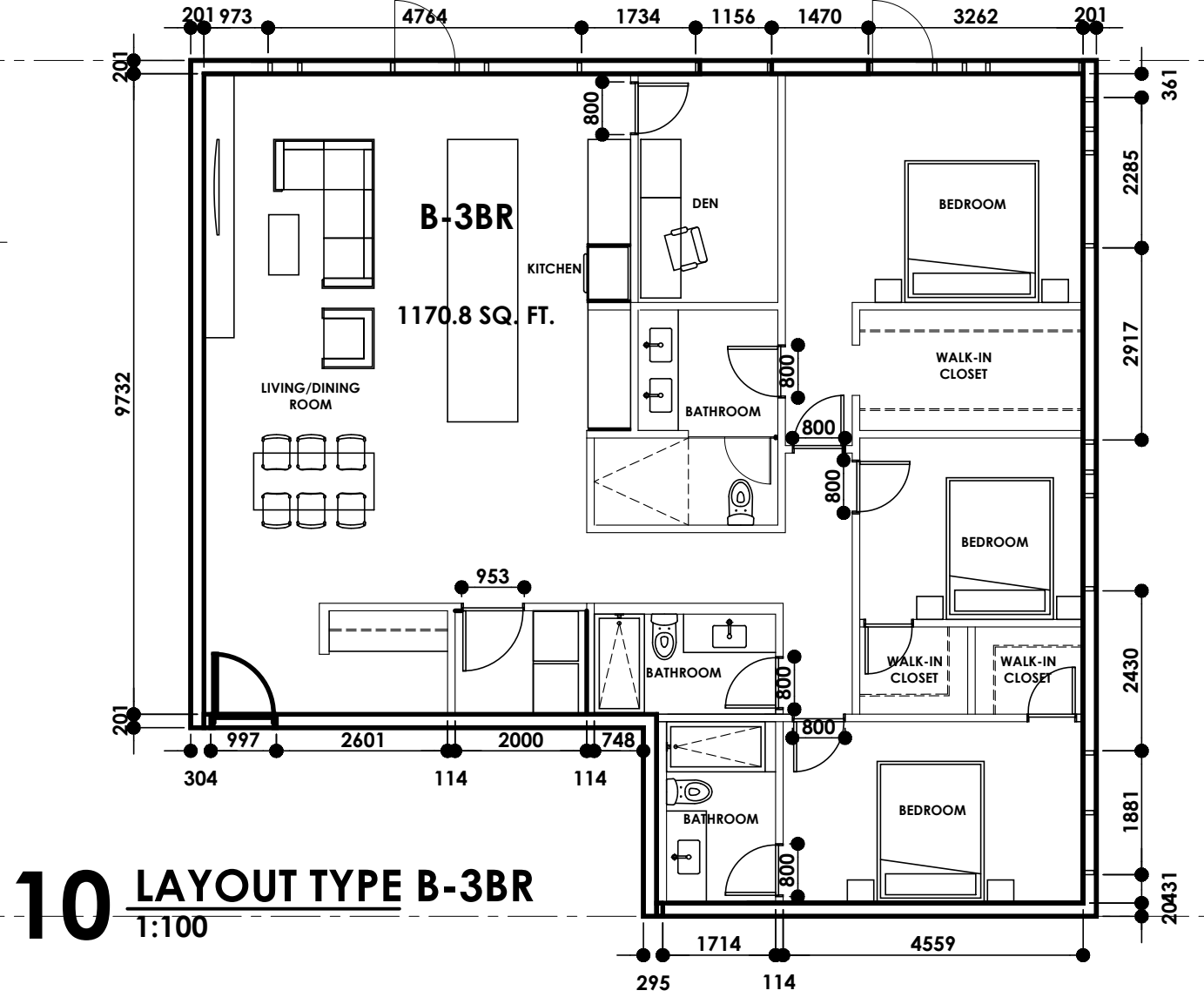
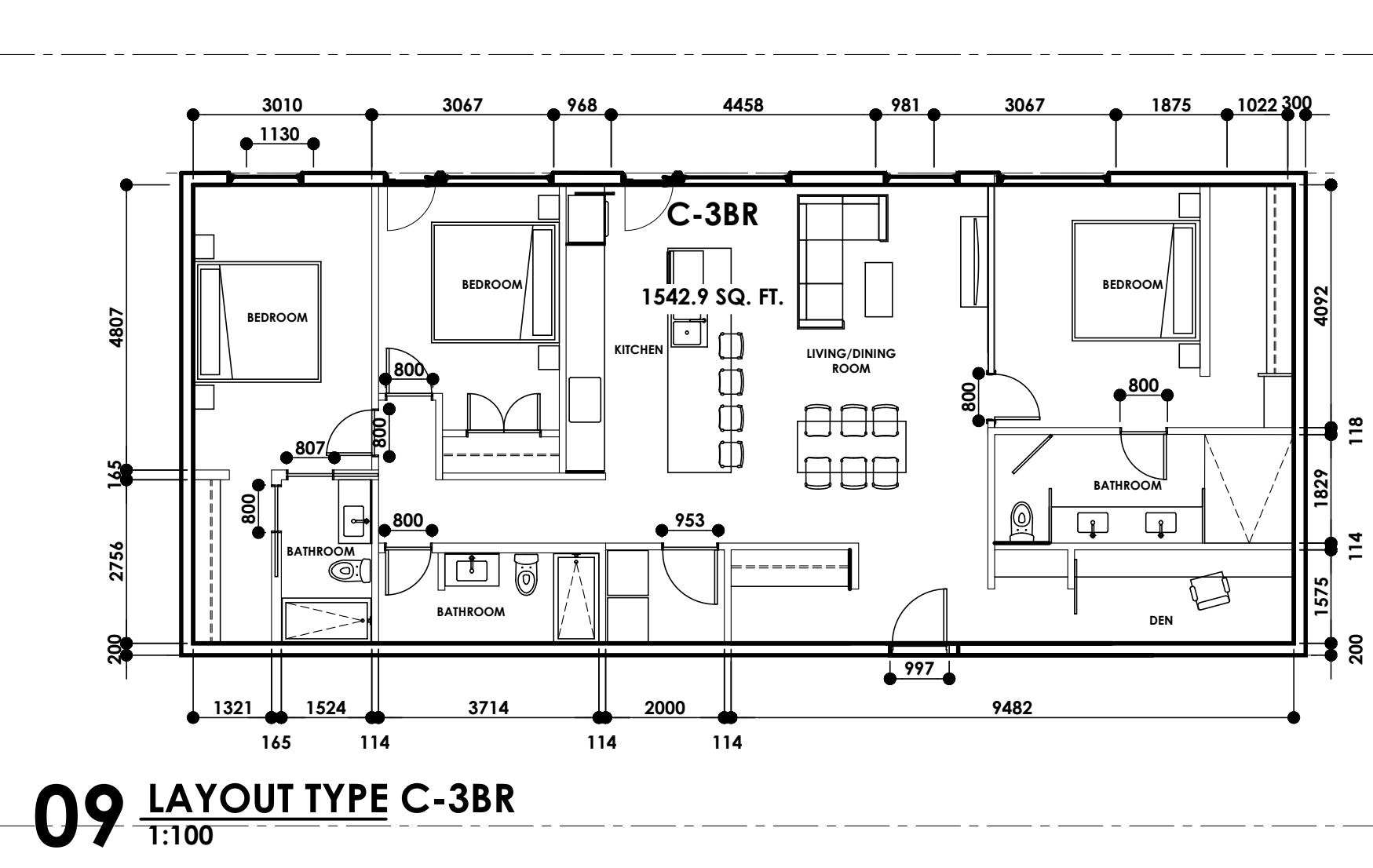
NOT  
USED



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REVISION		
1	ISSUED FOR REVIEW	2011/9
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3	RE-ISSUED FOR DP APPLICATION	2016/4
4	ISSUED FOR DP APPLICATION	2017/5
5	RE-ISSUED FOR DP APPLICATION	2018/4
6	RE-ISSUED FOR DP APPLICATION	2019/3
7	RE-ISSUED FOR DP APPLICATION	2019/7
8	RE-ISSUED FOR DP APPLICATION	2020/3
9	ISSUED FOR CLIENT REVIEW	2020/5
10	ISSUED FOR CLIENT REVIEW	2020/5
11	ISSUED FOR CLIENT REVIEW	2020/9
12	ISSUED FOR CLIENT REVIEW	2021/3
13	RE-ISSUED FOR DP APPLICATION	2021/10
14	RE-ISSUED FOR DP APPLICATION	2021/10
15	RE-ISSUED FOR DP APPLICATION	2021/4



**SCHEDULE A**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**

**City of Kelowna**  
COMMUNITY PLANNING

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT

McKinley Beach  
Lot 8

DATE

2024.05.16

SCALE

1:100

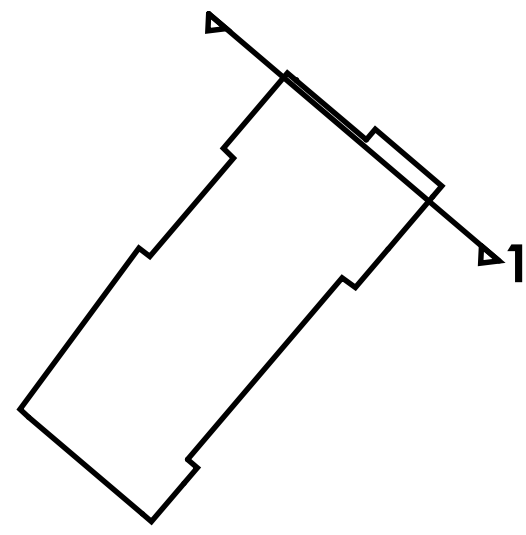
PROJECT LOCATION

1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Dist, Plan EPPP76020

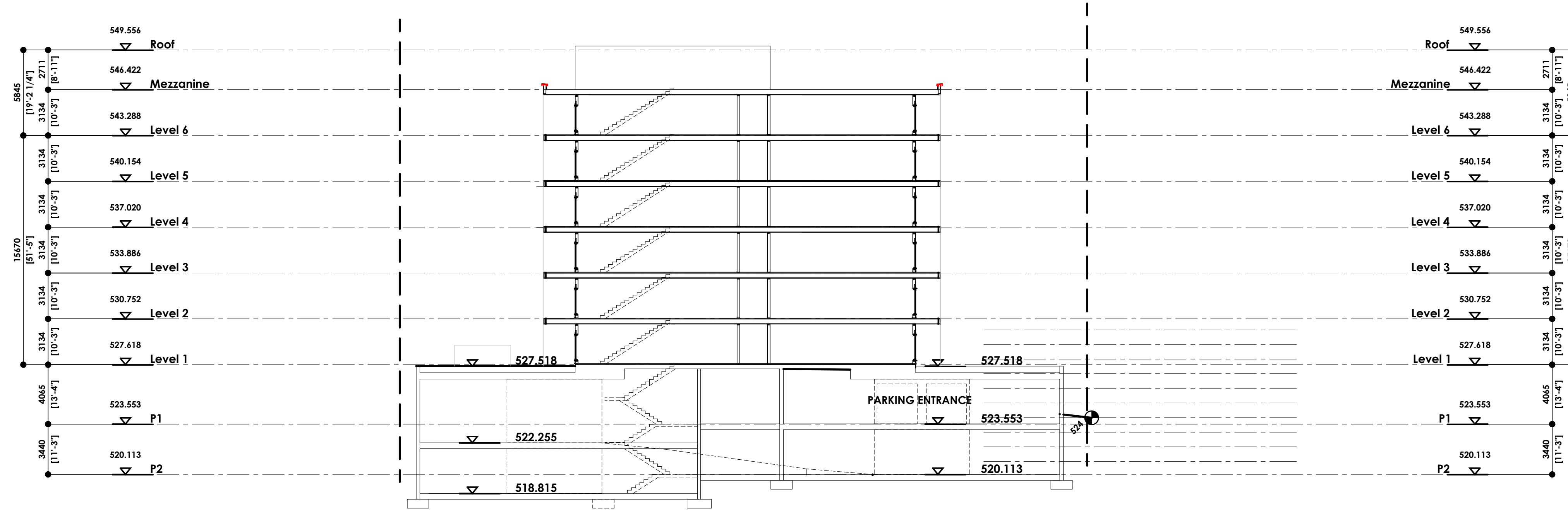
SHEET TITLE

UNITS LAYOUTS

SHEET NUMBER



**01 SECTION 1**  
1:200



**2021///20**

**DAVIGNON MARTIN**  
ARCHITECTURE

suite 420, 237 8 avenue se  
calgary, alberta canada  
T2G 5C3  
403 / 282 6082  
davignonmartin.ca

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1	ISSUED FOR REVIEW	2011/9
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3	RE-ISSUED FOR DP APPLICATION	2016/4
4	ISSUED FOR DP APPLICATION	2017/5
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6	RE-ISSUED FOR DP APPLICATION	2019/5
7	RE-ISSUED FOR DP APPLICATION	2020/7
8	RE-ISSUED FOR DP APPLICATION	2021/3
9	ISSUED FOR CLIENT REVIEW	2022/5
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11	ISSUED FOR CLIENT REVIEW	2022/9
12	ISSUED FOR CLIENT REVIEW	2023/3
13	RE-ISSUED FOR DP APPLICATION	2023/10
14	RE-ISSUED FOR DP APPLICATION	2024/10
15	RE-ISSUED FOR DP APPLICATION	2024/14

**SCHEDULE B**

This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**

City of Kelowna  
COMMUNITY PLANNING

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT

McKinley Beach

Lot 8

DATE

2024.05.16

SCALE

1:200

PROJECT LOCATION

1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Dist, Plan EPPP76020

SHEET TITLE

SECTION 1

SHEET NUMBER

**A///301**

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REVISION	No.	DATE
1 ISSUED FOR REVIEW		220119
2 ISSUED FOR DP APPLICATION		220504
3 RE ISSUED FOR DP APPLICATION		220624
4 ISSUED FOR DP APPLICATION		220725
5 RE ISSUED FOR DP APPLICATION		220814
6 RE ISSUED FOR DP APPLICATION		221123
7 RE ISSUED FOR DP APPLICATION		220127
8 RE ISSUED FOR DP APPLICATION		220313
9 ISSUED FOR CLIENT REVIEW		220625
10 ISSUED FOR CLIENT REVIEW		220625
11 ISSUED FOR CLIENT REVIEW		220929
12 ISSUED FOR CLIENT REVIEW		230103
13 RE ISSUED FOR DP APPLICATION		231102
14 RE ISSUED FOR DP APPLICATION		240110
15 RE ISSUED FOR DP APPLICATION		240114

**SCHEDULE B**  
This forms part of application  
# DP22-0186 DVP24-0089

Planner Initials **SS**



City of Kelowna  
COMMUNITY PLANNING

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
McKinley Beach  
Lot 8

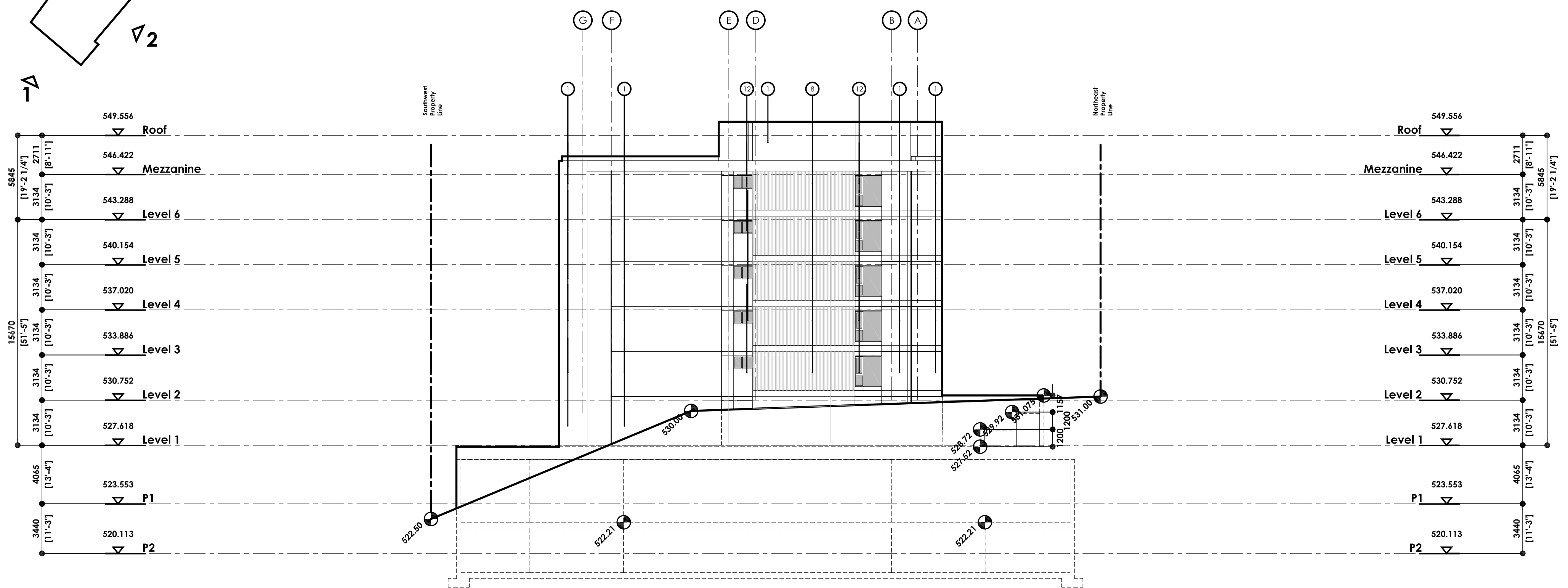
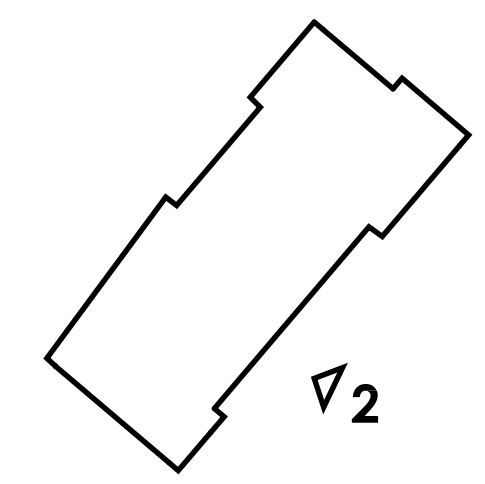
DATE  
2024.05.16

SCALE  
1:200

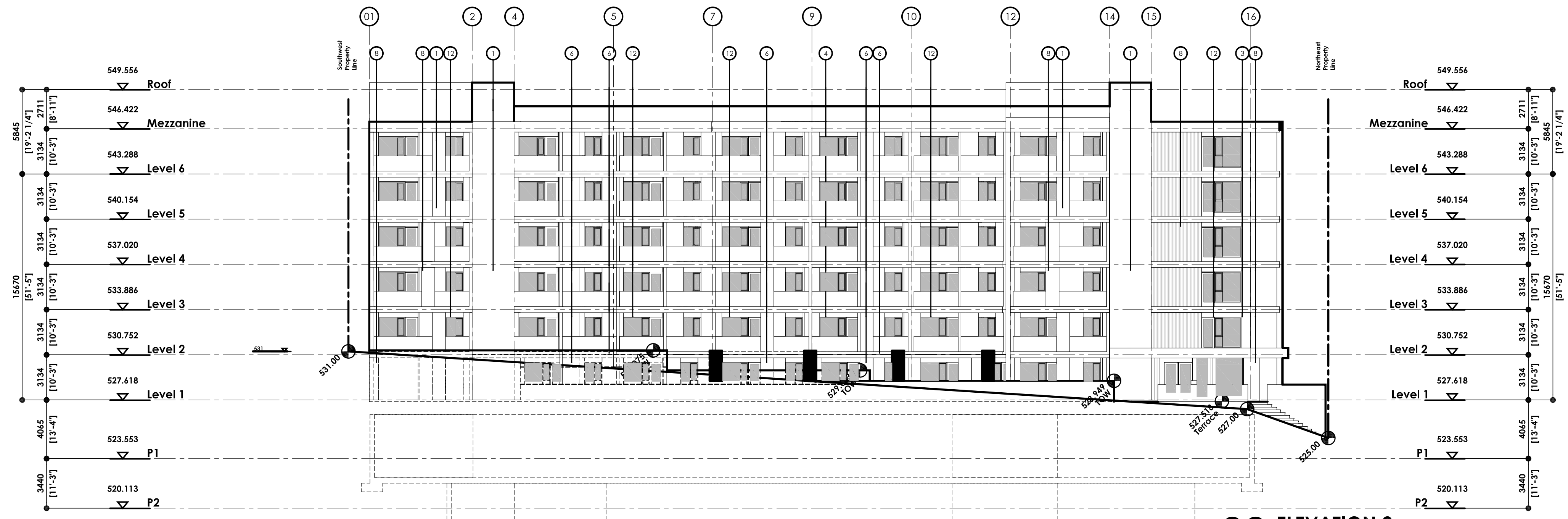
PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Ososoyos  
Div, Yale Dist, Plan EPPP76020

SHEET TITLE  
ELEVATIONS 1,2

SHEET NUMBER



**01 ELEVATION 1**  
1:200  
Variance: 0%



**02 ELEVATION 2**  
1:200  
Variance: 0%

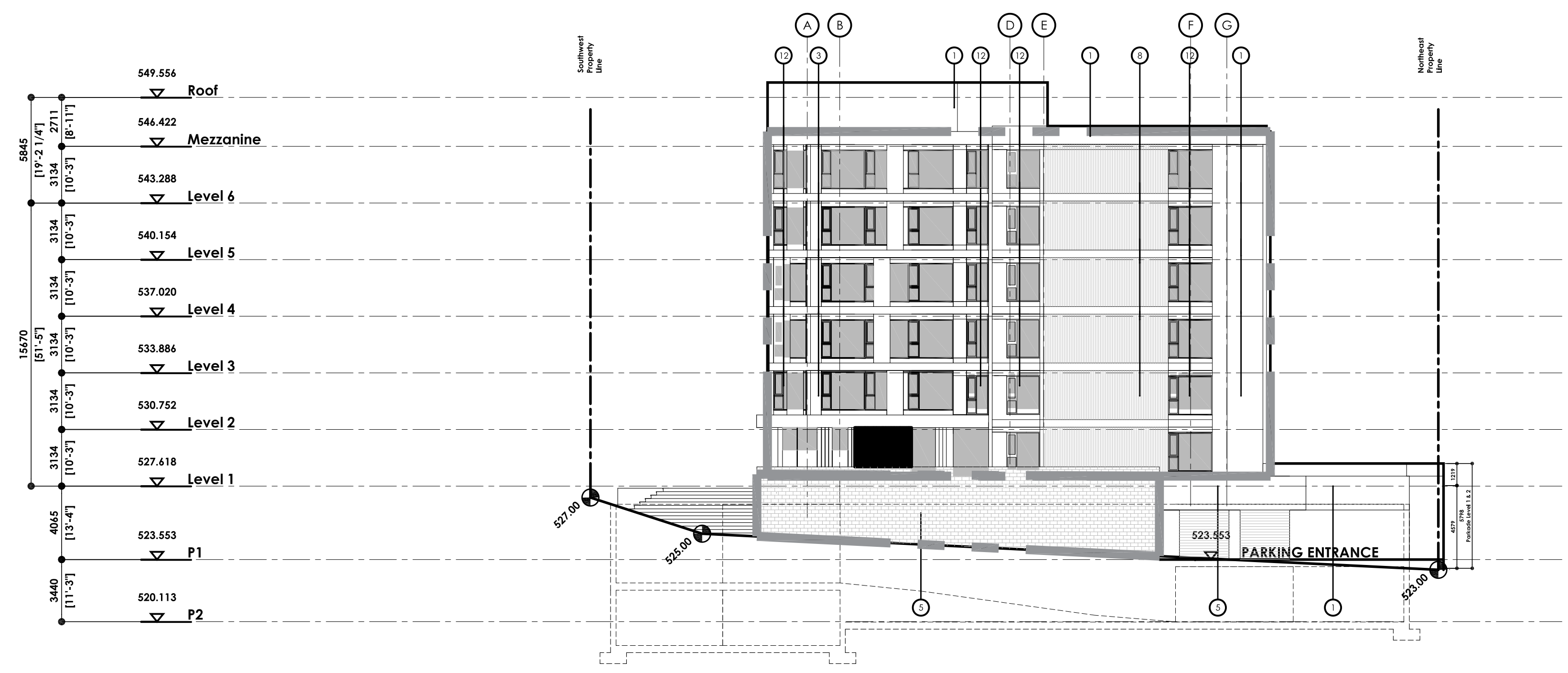
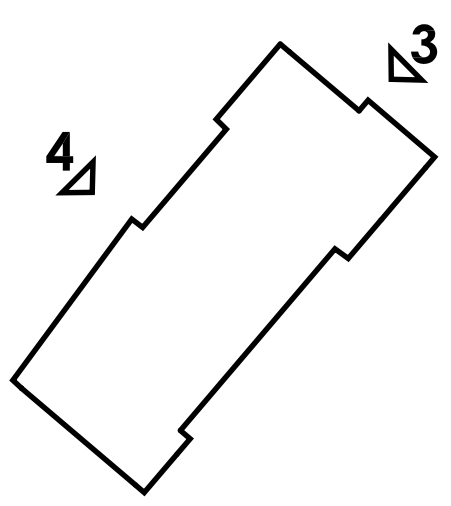
**LEGEND:**

EXTERIOR FINISHES	
Tag	Specification
1	VERTICAL: HARDIE PANEL MIDNIGHT BLACK
2	LAP SIDING: HARDIE BOARD BIRCH TREE HORIZONTAL
3	LAP SIDING: HARDIE BOARD MIDNIGHT SOOT
4	Not In Use
5	Masonry
6	HARDIE PANEL: COBBLE STONE
7	METAL SOFFIT: COLOR CHOCOLATE BROWN
8	SIDING: WOOD LIKE COLOR VERTICAL
9	METAL SOFFIT: COLOR WOLF WHITE
10	NATURAL MATERIAL: Concrete Natural
11	PICTURE FRAME ALUMINUM GLASS RAILING
12	FENESTRATION: Metal Clad PVC

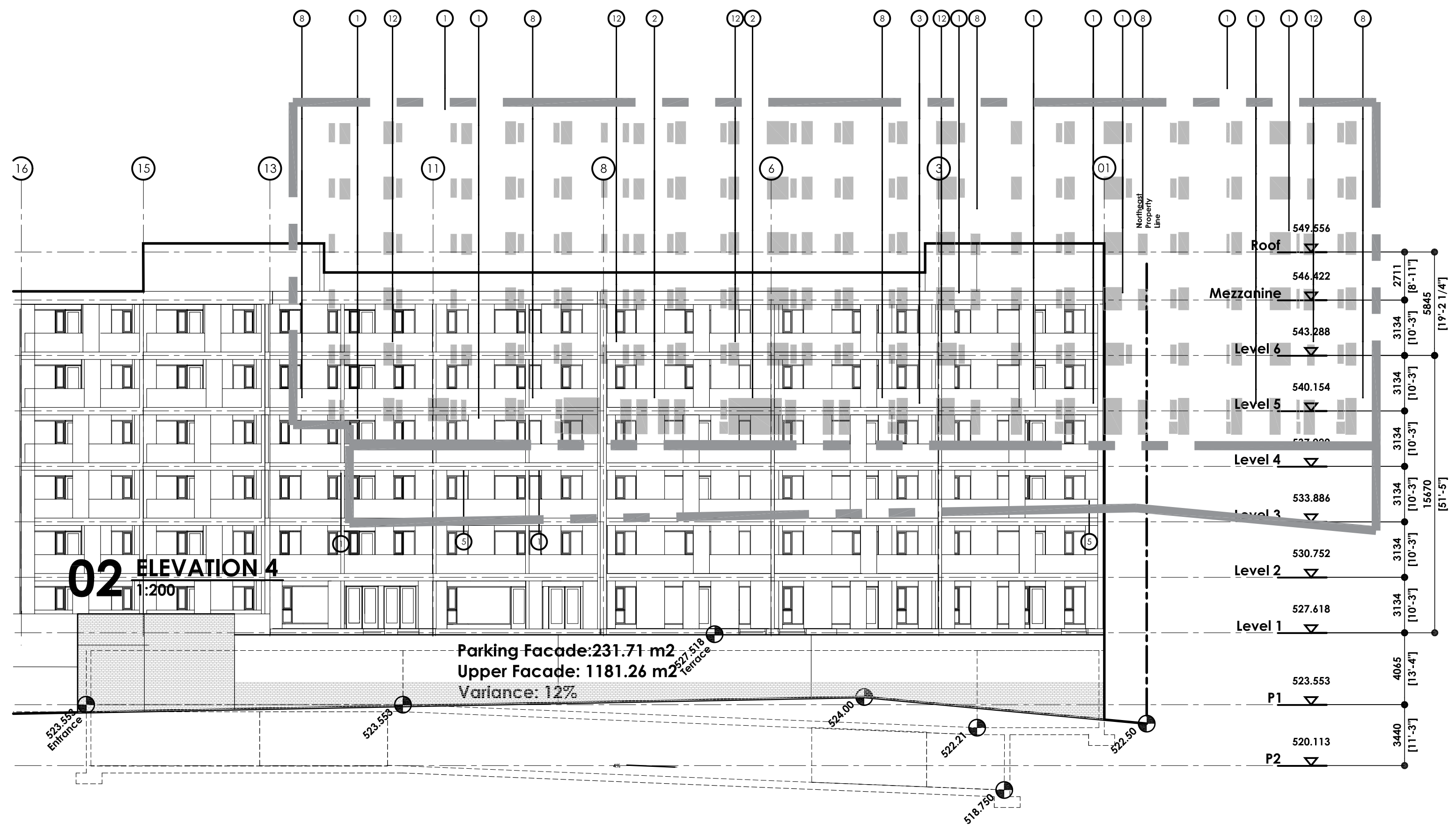
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REVISION		
1 ISSUED FOR REVIEW		220119
2 ISSUED FOR DP APPLICATION		220504
3 RE ISSUED FOR DP APPLICATION		220524
4 ISSUED FOR DP APPLICATION		220725
5 RE ISSUED FOR DP APPLICATION		220814
6 RE ISSUED FOR DP APPLICATION		221123
7 RE ISSUED FOR DP APPLICATION		220127
8 RE ISSUED FOR DP APPLICATION		220313
9 ISSUED FOR CLIENT REVIEW		220625
10 ISSUED FOR CLIENT REVIEW		220625
11 ISSUED FOR CLIENT REVIEW		220929
12 ISSUED FOR CLIENT REVIEW		230103
13 RE ISSUED FOR DP APPLICATION		231102
14 RE ISSUED FOR DP APPLICATION		240110
15 RE ISSUED FOR DP APPLICATION		240114



**01 ELEVATION 3**  
1:200  
Parking Façade: 87.65 m2  
Upper Façade: 531.28 m2  
Variance: 10%



**02 ELEVATION 4**  
1:200  
Parking Façade: 231.71 m2  
Upper Façade: 1181.26 m2  
Variance: 12%

**LEGEND:**

EXTERIOR FINISHES	
Tag	Specification
1	VERTICAL: HARDIE PANEL MIDNIGHT BLACK
2	LAP SIDING: HARDIE BOARD BIRCH TREE HORIZONTAL
3	LAP SIDING: HARDIE BOARD MIDNIGHT SOOT
4	Not In Use
5	Masonry
6	HARDIE PANEL: COBBLE STONE
7	METAL SOFFIT: COLOR CHOCOLATE BROWN
8	SIDING: WOOD LIKE COLOR VERTICAL
9	METAL SOFFIT: COLOR WOLF WHITE
10	NATURAL MATERIAL: Concrete Natural
11	PICTURE FRAME ALUMINUM GLASS RAILING
12	FENESTRATION: Metal Clad PVC

**ZONING BYLAW REGULATION FOR THE EXPOSED STOREYS**

	1 - A401	2 - A401	1 - A402	2 - A402
Elevation	1	2	3	4
Exposed storey where parking	13.89	0.00	87.65	231.71
% of PARKING level that includes habitable space	0.00	0.00	0.00	0.00
Area of Façade habitable space			531.28	1181.26
Variance	0.00	0.00	52.59	139.03
			10%	12%

**SCHEDULE B**  
This forms part of application  
# DP22-0186 DVP24-0089  
Planner Initials **SS**  
City of Kelowna  
COMMUNITY PLANNING

PROFESSIONAL SEAL(S)  
CONSULTANTS

NOTES

PROJECT  
McKinley Beach  
Lot 8

DATE  
2024.05.16  
SCALE  
1:200

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Ososoyo  
Div, Yale Dist, Plan EEP76020

SHEET TITLE  
ELEVATIONS 3,4

SHEET NUMBER



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REVISION		
1	ISSUED FOR REVIEW	2011/9
2	ISSUED FOR DP PRE-APPLICATION	2015/4
3	RE-ISSUED FOR DP PRE-APPLICATION	2016/4
4	ISSUED FOR DP APPLICATION	2017/5
5	RE-ISSUED FOR DP APPLICATION	2018/4
6	RE-ISSUED FOR DP APPLICATION	2011/23
7	RE-ISSUED FOR DP APPLICATION	2011/27
8	RE-ISSUED FOR DP APPLICATION	2013/3
9	ISSUED FOR CLIENT REVIEW	2019/5
10	ISSUED FOR CLIENT REVIEW	2019/5
11	ISSUED FOR CLIENT REVIEW	2019/9
12	ISSUED FOR CLIENT REVIEW	2019/3
13	RE-ISSUED FOR DP APPLICATION	2011/02
14	RE-ISSUED FOR DP APPLICATION	2011/03
15	RE-ISSUED FOR DP APPLICATION	2015/4

**SCHEDULE B**

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PROJECT  
McKinley Beach  
Lot 8

DATE  
2024.05.16  
SCALE  
NTS

PROJECT LOCATION  
1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos  
Div, Yale Dist, Plan EPPP76020

SHEET TITLE  
Emotive Renders

SHEET NUMBER



**01 SE VIEW**  
NTS



**02 NE VIEW**  
NTS



**03 SW VIEW**  
NTS

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5 RE ISSUED FOR DP APPLICATION		2019
6 ISSUED FOR DP APPLICATION		2019
7 RE ISSUED FOR DP APPLICATION		2019
8 ISSUED FOR DP APPLICATION		2019
9 ISSUED FOR CLIENT REVIEW		2019
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11 ISSUED FOR CLIENT REVIEW		2019
12 ISSUED FOR CLIENT REVIEW		2019
13 RE ISSUED FOR DP APPLICATION		2019
14 RE ISSUED FOR DP APPLICATION		2019
15 RE ISSUED FOR DP APPLICATION		2019



01 NW VIEW  
NTS

**SCHEDULE B**

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# DP22-0186 DVP24-0089

Planner Initials **SS**

City of Kelowna  
COMMUNITY PLANNING

PROFESSIONAL SEAL(S)  
CONSULTANTS

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PROJECT

McKinley Beach  
Lot 8

DATE

2024.05.16

SCALE

NTS

PROJECT LOCATION

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Div, Yale Dist, Plan EPPP76020

SHEET TITLE

Emotive Renders

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4 ISSUED FOR DP APPLICATION		2019
5 RE-ISSUED FOR DP APPLICATION		2019
6 RE-ISSUED FOR DP APPLICATION		2019
7 RE-ISSUED FOR DP APPLICATION		2019
8 RE-ISSUED FOR DP APPLICATION		2019
9 ISSUED FOR CLIENT REVIEW		2019
10 ISSUED FOR CLIENT REVIEW		2019
11 ISSUED FOR CLIENT REVIEW		2019
12 ISSUED FOR CLIENT REVIEW		2019
13 RE-ISSUED FOR DP APPLICATION		2019
14 RE-ISSUED FOR DP APPLICATION		2019
15 RE-ISSUED FOR DP APPLICATION		2019



(9) ALUMINUM SOFFIT: COLOR WOLF WHITE



(12) FENESTRATION: METAL CLAD PVC



(10) CONCRETE NATURAL



(2) LAP SIDING: HARDIE BOARD BIRCH TREE HORIZONTAL



(6) HARDIE PANEL: COBBLE STONE



(1) VERTICAL: HARDIE PANEL MIDNIGHT BLACK



(8) SIDING: WOOD LIKE COLOR VERTICAL



(5) MASONRY VENEER



(7) ALUMINUM SOFFIT: WOOD LIKE COLOR



(3) LAP SIDING: HARDIE BOARD MIDNIGHT SOOT

**SCHEDULE B**  
This forms part of application # DP22-0186 DVP24-0089  
City of Kelowna COMMUNITY PLANNING  
Planner Initials **SS**

PROFESSIONAL SEAL(S) CONSULTANTS

NOTES

PROJECT

McKinley Beach  
Lot 8

DATE

2024.05.16

SCALE

NTS

PROJECT LOCATION

1870 Hilltop C., Kelowna, BC  
Lot 8, Sec 28, Township 23, Osoyoos Div, Yale Dist, Plan EPPP76020

SHEET TITLE

Materials Board

SHEET NUMBER



**1 LANDSCAPE PLAN**  
DPL1 SCALE 1:200

**LANDSCAPE DATA**  
ZONING:  
CD 18 - COMPREHENSIVE MIXED USE DEVELOPMENT  
AREA 1 - VILLAGE CENTRE  
CITY OF KELOWNA CONSOLIDATED BYLAW NO. 8000  
SECTION 7 LANDSCAPING + SCREENING  
7.6.9 (c) CD Zones shall specify the buffer treatment levels for the CD site  
Level 1-No specific guidelines for the design of the landscape buffer

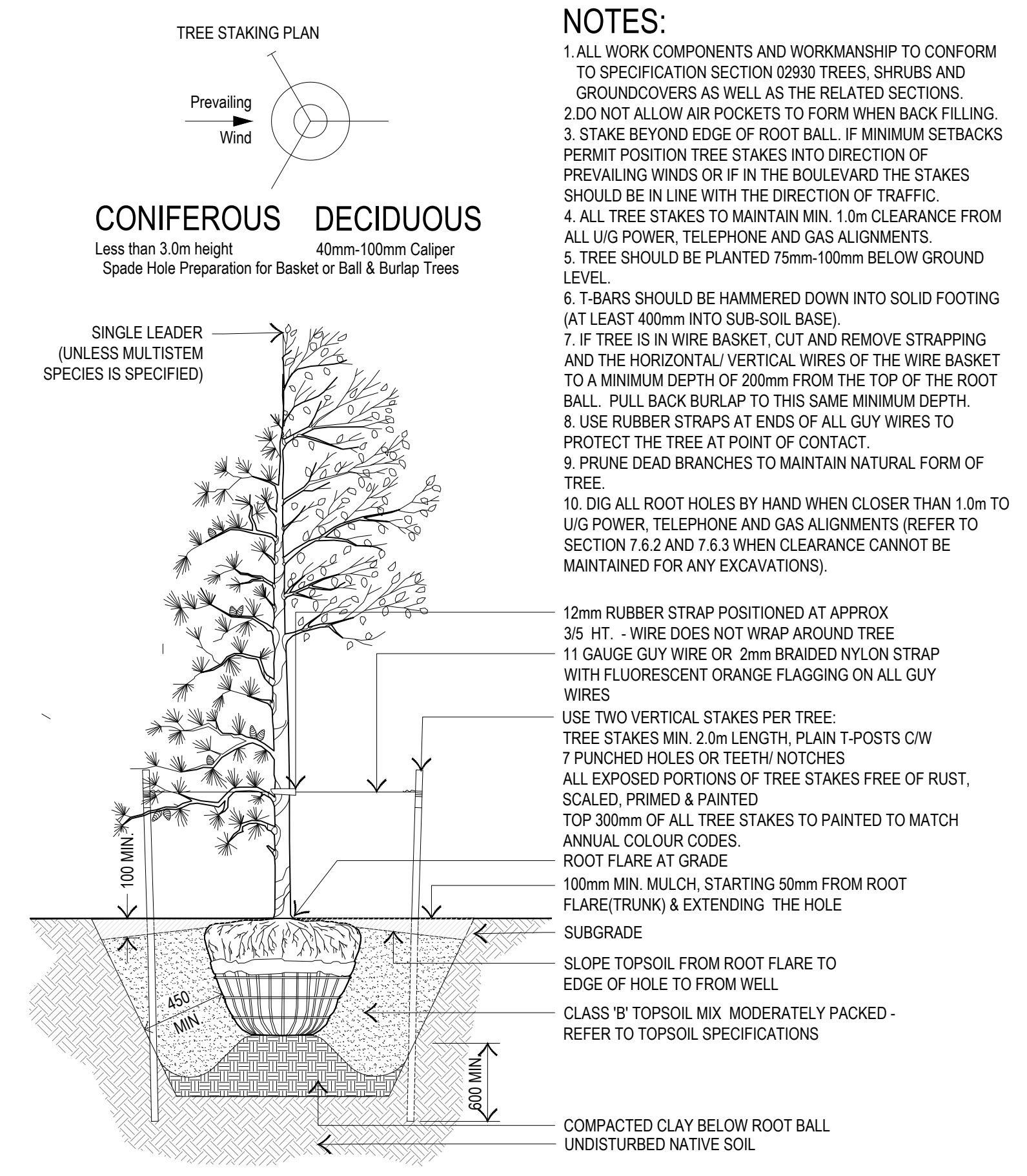
- FEATURE LEGEND**
- N-01 CONCRETE TERRACE
  - N-02 EXISTING CONCRETE WALKWAY W/ 4 STREET TREES
  - N-03 SLOPED LAWN AREA
  - N-04 CONCRETE RETAINING WALL - REFER TO ARCH
  - N-05 POLLINATOR GARDEN - 2:1 SLOPE
  - N-06 BBQ AREA
  - N-07 AMENITY DECK - MOVEABLE PLANTERS + FURNITURE
  - N-08 TIVOLI OVERHEAD LIGHTS
  - N-09 CONCRETE POOL AND EVENT DECK
  - N-10 POLLINATOR GARDEN
  - N-11 PARKADE ENTRANCE
  - N-12 SODDED BOULEVARD W/ STREET TREES
  - N-13 ENTRY PLAZA W/ STAIRS + ACCESSIBLE ENTRY
  - N-14 PROVIDE TREE PROTECTION AS PER BL8042

- PLANTING LEGEND**
- TREES - 38 TOTAL
- LODGEPOLE PINE 9 @ 3.5M HT.
  - LODGEPOLE PINE 8 @ 2.5M HT.
  - EXISTING TREES 4 TOTAL
  - ARMSTRONG MAPLE 3 @ 60MM CAL.
  - COLUMNAR ASPEN 14 @ 60MM CAL.

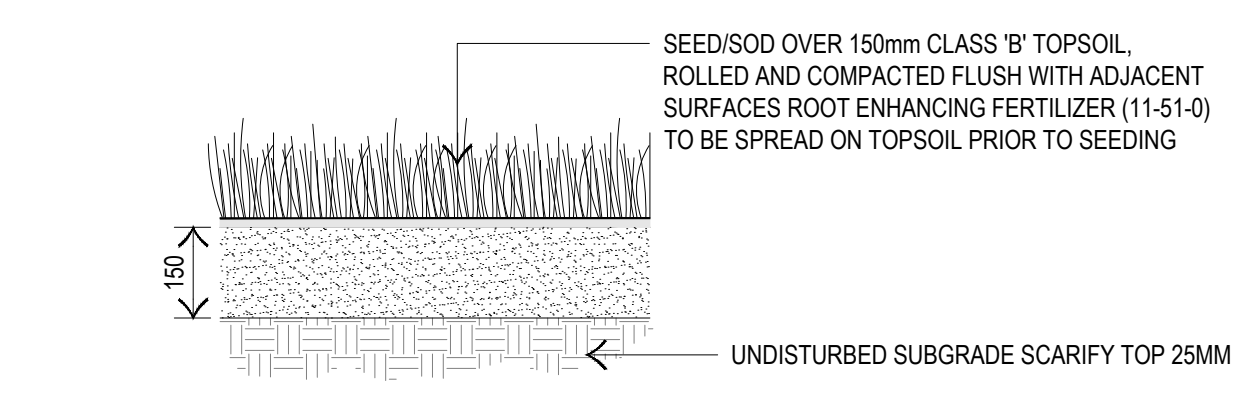
- SHRUBS - 262@600MM HT / SPRD  
ORNAMENTAL GRASSES - 84/100MM POT
- 26 ROCKY MOUNTAIN JUNIPER
  - 41 SNOWBERRY
  - 41 HORIZONTAL JUNIPER
  - 40 ARCTIC FIRE DOGWOOD
  - 27 WILD ROSE
  - 33 SILVERBERRY
  - 31 OREGAN GRAPE
  - 7 OCEAN SPRAY
  - 5 MUGHO PINE
  - 69 KARL FOERSTER GRASS

- SURFACING LEGEND**
- SOD  
LESS WATER SOD ON 150MM DEPTH TOPSOIL
  - SHREDDED BARK MULCH
  - CONCRETE PAVING  
LIGHT SANDBLASTED CONCRETE W/ CALIFORNIA HAND  
TROWELLED JOINTS
  - NATURALIZED POLLINATOR SEED MIX:  
TERRAFIX COIR MAT BIODEGRADABLE EROSION CONTROL MAT OR  
APPROVED EQUAL
- COLOURFUL MISC GRASSLAND MIX (RATE: 40-45KG / HA):
- TUFTED HAIRGRASS 14%
  - BLENDER WHEATGRASS 14%
  - BLUBURBICH (SIANO) FESCUE 14%
  - ROCKY MOUNTAIN FESCUE 14%
  - WESTERN WHEATGRASS 14%
  - FOWL BLUEGRASS 14%
  - ROUGH HAIRGRASS 8%
  - GREEN NEEDLE GRASS 8%
  - CANADA MILKVECH 3%
  - PURPLE PRAIRIE CLOVER 3%
  - BLUE FLAX 3%
  - PHILADELPHIA FLEABANE 1%
  - WHITE CINCIFOL 1%
  - GALLARDIA TRACE
  - WOODY GROMWELL TRACE
  - WILD BERGAMOT TRACE
  - SMOOTH ASTER TRACE

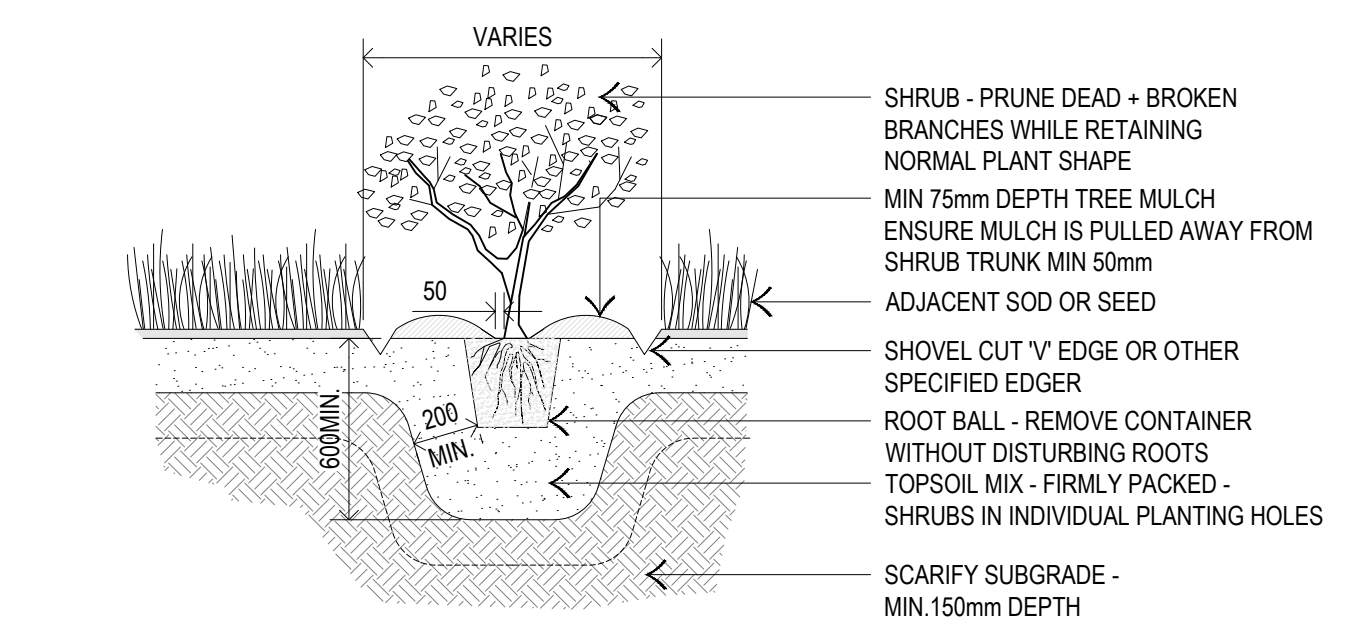
**2 TYPICAL TREE PLANTING DETAIL**  
DPL1 SCALE 1:25



- NOTES:**
1. ALL WORK COMPONENTS AND WORKMANSHIP TO CONFORM TO SPECIFICATION SECTION 02930 TREES, SHRUBS AND GROUNDCOVERS AS WELL AS THE RELATED SECTIONS.
  2. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
  3. STAKE BEYOND EDGE OF ROOT BALL. IF MINIMUM SETBACKS PERMIT POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS OR IF IN THE BOULEVARD THE STAKES SHOULD BE IN LINE WITH THE DIRECTION OF TRAFFIC.
  4. ALL TREE STAKES TO MAINTAIN MIN. 1.0m CLEARANCE FROM ALL U/G POWER, TELEPHONE AND GAS ALIGNMENTS.
  5. TREE SHOULD BE PLANTED 75mm-100mm BELOW GROUND LEVEL.
  6. T-BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (AT LEAST 400mm INTO SUB-SOIL BASE).
  7. IF TREE IS IN WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL VERTICAL WIRES OF THE WIRE BASKET TO A MINIMUM DEPTH OF 200mm FROM THE TOP OF THE ROOT BALL. PULL BACK BURLAP TO THIS SAME MINIMUM DEPTH.
  8. USE RUBBER STRAPS AT ENDS OF ALL GUY WIRES TO PROTECT THE TREE AT POINT OF CONTACT.
  9. PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF TREE.
  10. DIG ALL ROOT HOLES BY HAND WHEN CLOSER THAN 1.0m TO U/G POWER, TELEPHONE AND GAS ALIGNMENTS (REFER TO SECTION 7.5.2 AND 7.5.3 WHEN CLEARANCE CANNOT BE MAINTAINED FOR ANY EXCAVATIONS).



**3 TYPICAL TURF PLANTING DETAIL**  
DPL1 SCALE 1:25



**4 TYPICAL SHRUB PLANTING DETAIL**  
DPL1 SCALE 1:25

**SCHEDULE C**  
This forms part of application  
# DP22-0186 DVP24-0089  
Planner Initials SS  
City of Kelowna  
COMMUNITY PLANNING

**2021//20**  
DAVIGNON MARTIN ARCHITECTURE  
suite #20, 257 8 avenue se  
calgary, alberta canada  
T2C 5C3  
403 / 262 6082  
davignomartin.ca

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The contractor shall verify all dimensions and specifications before and during the construction project. Any errors, omissions and misinterpretation must be reported to the Architect.

ISSUE	No.	DATE
REVISION		
1	ISSUED FOR REVIEW	220119
2	ISSUED FOR DP PRE-APPLICATION	220504
3	ISSUED FOR DP PRE-APPLICATION	220504
4	ISSUED FOR DP APPLICATION	220509
5	ISSUED FOR RESPONSE	240301
6	ISSUED FOR RESPONSE	240301

- GENERAL NOTES**
- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF KELOWNA SPECIFICATIONS OR AS NOTED ON THE DRAWINGS.
  - ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION.
  - ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES ALL PLANT MATERIAL SHALL BE LOCALLY GROWN BRITISH COLUMBIA NURSERY STOCK
  - ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS OR INDIVIDUAL MULCHED TREE WELLS
  - ALL PLANTING BEDS IN NON-NATURALIZED AREAS TO HAVE A MIN. 75mm DEPTH BARK MULCH
  - ALL LANDSCAPE AREAS IN NON-NATURALIZED AREAS TO BE EQUIPPED WITH A LOW-WATER-HIGH EFFICIENCY IRRIGATION SYSTEM.

PROFESSIONAL SEAL(S)  
CONSULTANTS

**[SMM]**  
LANDSCAPE ARCHITECTS

NOTES

PROJECT  
MCKINLEY\_BEACH  
LOT\_8

DATE  
MAY\_31\_24

SCALE  
As Noted

PROJECT LOCATION  
1870-HILLTOP\_C  
KELOWNA\_BC

SHEET TITLE  
LANDSCAPE PLAN  
+ DETAILS

SHEET NUMBER

**DPL1**



City of Kelowna

Planner Initials

SS

# FORM & CHARACTER DEVELOPMENT PERMIT GUIDELINES

COMMUNITY PLANNING

**Chapter 2 - The Design Foundations:** apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

**The General Residential and Mixed Use Guidelines:** provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

## Chapter 2 - Design Foundations

Apply To All Projects

Page 18-8

### Section 2.1 - General Residential and Mixed Use Design Guidelines

Page 18-9

### Section 2.2 - Achieving High Performance

Page 18-17

Chapter 3  
Townhouses & Infill

Page 18-19

Chapter 4  
Low & Mid-Rise  
Residential &  
Mixed Use

Page 18-34

Chapter 5  
High-Rise  
Residential &  
Mixed Use

Page 18-42

\*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

# ATTACHMENT B

This forms part of application

# DP22-0186 DVP23-0089

DP22-0186 DP24-0089

July 23, 2024



City of  
**Kelowna**

Planner  
Initials

SS

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>2.1 General residential &amp; mixed use guidelines</b>						
<b>2.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.						✓
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.						✓
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						✓
f. Avoid blank, windowless walls along streets or other public open spaces.				✓		
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	✓					
h. In general, establish a street wall along public street frontages to create a building height to street width ratio of 1:2, with a minimum ratio of 11:3 and a maximum ratio of 1:1.75. <ul style="list-style-type: none"> <li>Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets);</li> <li>The street wall does not include upper storeys that are setback from the primary frontage; and</li> <li>A 1:1 building height to street width ratio is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys.</li> </ul>						✓
<b>2.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.				✓		
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.						✓
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> <li>Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and</li> <li>Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice.</li> </ul>					✓	

<b>2.1.3 Site Planning</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						✓
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						✓
c. Limit the maximum grades on development sites to 30% (3:1)						✓
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> <li>Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible;</li> <li>Incorporating terracing to create usable open spaces around the building</li> <li>Using the slope for under-building parking and to screen service and utility areas;</li> <li>Design buildings to access key views; and</li> <li>Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped).</li> </ul>						✓
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						✓
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	✓					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						✓
<b>2.1.4 Site Servicing, Access, and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						✓
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						✓
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> <li>Underground (where the high water table allows)</li> <li>Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage);</li> </ul>						✓

<ul style="list-style-type: none"> <li>Garages or at-grade parking integrated into the building (located at the rear of the building); and</li> <li>Surface parking at the rear, with access from the lane or secondary street wherever possible.</li> </ul>						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.					✓	
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> <li>Landscaping;</li> <li>Trellises;</li> <li>Grillwork with climbing vines; or</li> <li>Other attractive screening with some visual permeability.</li> </ul>	✓					
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> <li>Covered short-term parking in highly visible locations, such as near primary building entrances; and</li> <li>Secure long-term parking within the building or vehicular parking area.</li> </ul>					✓	
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.					✓	
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.	✓					
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.						✓
<b>2.1.5 Streetscapes, Landscapes, and Public Realm Design</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Site buildings to protect mature trees, significant vegetation, and ecological features.	✓					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						✓
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						✓
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> <li>Locating outdoor spaces where they will receive ample sunlight throughout the year;</li> <li>Using materials and colors that minimize heat absorption;</li> <li>Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and</li> <li>Using building mass, trees and planting to buffer wind.</li> </ul>						✓
f. Use landscaping materials that soften development and enhance the public realm.						✓



g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.						✓
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.					✓	
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> <li>• Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and</li> <li>• Using recycled water irrigation systems.</li> </ul>					✓	
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.					✓	
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.					✓	
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> <li>• Minimizing light trespass onto adjacent properties;</li> <li>• Using full cut-off lighting fixtures to minimize light pollution; and</li> <li>• Maintaining lighting levels necessary for safety and visibility.</li> </ul>					✓	
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.	✓					
<b>2.1.6 Building Articulation, Features and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> <li>• Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks;</li> <li>• Repeating window patterns on each step-back and extension interval;</li> <li>• Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and</li> <li>• Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval.</li> </ul>						✓
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs.  Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters;						✓

ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.					✓	
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.						✓
f. Provide weather protection such as awnings and canopies at primary building entries.						✓
g. Place weather protection to reflect the building's architecture.						✓
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						✓
i. Provide visible signage identifying building addresses at all entrances.						✓

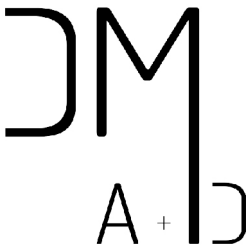
SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>4.1 Low &amp; mid-rise residential &amp; mixed use guidelines</b>						
<b>4.1.1 Relationship to the Street</b>						
N/A						
i. Ensure lobbies and main building entries are clearly visible from the fronting street.						✓
j. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> <li>• Locating enclosed parking garages away from street frontages or public open spaces;</li> <li>• Using ground-oriented units or glazing to avoid creating dead frontages; and</li> <li>• When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting.</li> </ul>						✓
<b>Residential &amp; Mixed Use Buildings</b>						
k. Set back residential buildings on the ground floor between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio. <ul style="list-style-type: none"> <li>• A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways.</li> <li>• Exceptions can be made in cases where the water table requires this to be higher. In these cases, provide a larger patio and screen parking with ramps, stairs and landscaping.</li> </ul>						✓

l. Incorporate individual entrances to ground floor units accessible from the fronting street or public open spaces.						✓
m. Site and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						✓
<b>4.1.2 Scale and Massing</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.						✓
b. Residential buildings should have a maximum width of 24 m.						✓
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.						✓
d. For commercial facades, incorporate a significant break at intervals of approximately 35 m.						✓
<b>Seven to twelve storey buildings</b>						
e. Buildings between seven and twelve storeys should: <ul style="list-style-type: none"> <li>• Incorporate a 2-3 storey podium at the base of the building;</li> <li>• Incorporate a minimum 2 m stepback in upper storeys, and more generous upper storey terraces facing south and west; and</li> <li>• Have a minimum 30 m building separation between primary building facades.</li> </ul>	✓					
f. Courtyards and mid-block connections within building sideyards should be a minimum of 6 m wide.	✓					
g. To support and promote the use of mass timber construction, exceptions to setbacks and podium design guidelines will be considered to accommodate unique design challenges and technical requirements.	✓					
<b>4.1.3 Site Planning</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.						✓
b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> <li>• Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and</li> <li>• Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access.</li> </ul>						✓
c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.						
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	✓					
<b>4.1.4 Site Servicing, Access and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided:						✓

<ul style="list-style-type: none"> <li>• Access is from a secondary street, where possible, or from the long face of the block;</li> <li>• Impacts on pedestrians and the streetscape is minimised; and</li> <li>• There is no more than one curb cut per property.</li> </ul>						
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.	✓					
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: <ul style="list-style-type: none"> <li>• Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and</li> <li>• Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.</li> </ul>						✓
<b>4.1.5 Publicly-Accessible and Private Open Spaces</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.				✓		
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.				✓		
<b>Outdoor amenity areas</b>						
c. Design plazas and urban parks to: <ul style="list-style-type: none"> <li>• Contain 'three edges' (e.g. building frontage on three sides) where possible and be sized to accommodate a variety of activities;</li> <li>• Be animated with active uses at the ground level; and</li> <li>• Be located in sunny, south facing areas.</li> </ul>	✓					
d. Design internal courtyards to: <ul style="list-style-type: none"> <li>• Provide amenities such as play areas, barbecues, and outdoor seating where appropriate.</li> <li>• Provide a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.</li> </ul>						✓
e. Design mid-block connections to include active frontages, seating and landscaping.					✓	
<b>Rooftop Amenity Spaces</b>						
f. Design shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) to be accessible to residents and to ensure a balance of amenity and privacy by: <ul style="list-style-type: none"> <li>• Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and</li> </ul>						✓

<ul style="list-style-type: none"> <li>Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units by using fencing, landscaping, or architectural screening.</li> </ul>						
<p>g. Reduce the heat island affect by including plants or designing a green roof, with the following considerations:</p> <ul style="list-style-type: none"> <li>Secure trees and tall shrubs to the roof deck; and</li> <li>Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated.</li> </ul>	✓					
<b>4.1.6 Building Articulation, Features, and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
<p>a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include:</p> <ul style="list-style-type: none"> <li>Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade;</li> <li>Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade;</li> <li>Providing a porch, patio, deck, or covered entry for each interval;</li> <li>Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance;</li> <li>Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval;</li> <li>Changing the materials with the change in building plane; and</li> <li>Provide a lighting fixture, trellis, tree or other landscape feature within each interval.</li> </ul>						✓
<p>b. Break up the building mass by incorporating elements that define a building’s base, middle and top.</p>						✓
<p>c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.</p>						✓
<p>d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.</p>						✓
<p>e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.</p>						✓
<p>f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations:</p> <ul style="list-style-type: none"> <li>Primary building entrances;,,</li> <li>Adjacent to bus zones and street corners where people wait for traffic lights;</li> <li>Over store fronts and display windows; and</li> </ul>					✓	

<ul style="list-style-type: none"> <li>Any other areas where significant waiting or browsing by people occurs.</li> </ul>						
g. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						✓
h. Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.						✓
i. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.						✓
j. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.	✓					
k. Avoid the following types of signage: <ul style="list-style-type: none"> <li>Internally lit plastic box signs;</li> <li>Pylon (stand alone) signs; and</li> <li>Rooftop signs.</li> </ul>						✓
l. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.						✓



suite 420, 237 8 avenue se  
calgary, alberta T2G 5C3  
403 282 6082  
davignonmartin.ca

**ATTACHMENT C**

This forms part of application  
# **DP22-1086 DVP24-0089**

Planner Initials **SS**



**City of Kelowna**  
COMMUNITY PLANNING

DATE /// 2024.05.08

**TO /// City of Kelowna**

1435 Water Street  
Kelowna, BC V1Y 1J4  
T 250.469.8626

ATTN /// **Planner Specialist City of Kelowna**  
PROJECT /// 2021-20  
FILE REF /// 2.8.2  
PAGES /// 2 (including cover)

**ITEMS /// DESIGN RATIONALE - REVISED**

RE: **Kelowna Lot 8 Development  
1870 Hilltop Crescent  
CD 18 - Comprehensive Mixed Use  
Development**

Please accept the following design rationale for the proposed development submission application file.

Prior to submission, careful consideration was needed to address the market’s feedback and interest in the area. The site boasts proximity to retail and active shopping areas, as well as recreation and supporting facilities on a dynamic and sloping site.

The intent of the unit mix is to provide easier access to market favouring more accessible sized units mixed with larger 3-bedroom units. Units were placed on-site strategically according to their size to complement an affordability strategy that would marry with the site. Units are larger along the Okanagan Lake views and higher levels, while smaller and more affordable units front onto the main roads.

Our consideration of the site and our client’s goals of increased density and marketability as part of this submission was the first step.

Secondly, we worked to achieve a block layout that takes advantage of the pronounced slopes of the terrain. We made this part of the overall design by waterfalling units and amenities toward the views and promoting strong outer and inner pedestrian connectivity.

Thirdly, capitalizing on view sheds toward capturing outstanding views from almost any point of the building. Connectivity of circulation and view sheds are achieved through shared green urban landscapes. The gracious shared amenity space with a stunning pool area at the rear of the building offers a community space for the residents and offers breathtaking views, taking full advantage of the location.

Units are designed to have balconies and patios with a direct connection to the slopes, amenities, or green areas. Each unit is provided with a large space increasing the functional size of the units and connecting the residents to the views and to the site.



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 calgary, alberta T2G 5C3  
 403 282 6082  
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The planning and location of specific units is very important. Design consideration prioritizes our unit type layout to be a gradient throughout the block & site. It is our opinion that all the units in this proposal have a desirable site condition and will provide something for any future homeowner. This functional adaptability will allow the developer to attempt to attract families with children while catering to the current smaller professional, down sizers or retirees’ needs.

Our approach to the architectural design has been to create a design for the block, utilizing textures materials and details that are varied and paired to create visual interest. The elevations work to be attractive from the street but at the same time cohesive with the environment.

The orientation of our floor plans creates either lake view facing, or community /park-oriented dwellings. Large windows create a connection to the site and offer bright, welcoming, well-lit interior spaces. The large balconies/patios further this connection.

Through working with Kelowna we understood there was a strong desire create covered parking for residents and guests by utilizing a parkade below the building and foregoing any site parking. The sloped site allowed for parkade access at the lowest interface between the site and the street. Every effort was made to minimize any impact of the parkade massing on neighbouring properties.

- 1) The footprint was minimized as much as possible while still providing the required parking.
- 2) The height of the exposed parkade wall was diminished by positioning the building as low on the site as functionally possible.
- 3) The exposed wall has been addressed with architectural materials and

- 4) Lush landscaping will act as a buffer between the building and the neighbouring townhomes.

We feel we successfully navigated a unit typology and architecture to get functional / flexible unit types. We have navigated the sloped site to create generous amenity spaces and connect the residents with nearby community, commercial and recreational areas.

Please receive the enclosed transmittal as the design rationale to accompany our application. We hope our reasoning for this site satisfies the planning team, we will stand by for further review / approval of our application.

If you need any additional documentation or further explanation, please contact me so that I can provide you with additional clarification.

Sincerely,

Authorized by ///  
**DAVIGNON MARTIN ARCHITECTURE**



per ///  
**Richard Davignon, Principal Architect, AAA, OAA, AIBC, SAA**





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calgary, alberta T2G 5C3  
403 282 6082  
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**ATTACHMENT C**

This forms part of application  
# **DP22-1086 DVP24-0089**

Planner Initials **SS**



**City of Kelowna**  
COMMUNITY PLANNING

DATE /// 2024.05.13

**TO /// KELOWNA**

Development Planning Department  
Kelowna, BC V1Y 1J4  
T (250) 469-8626

ATTN /// **Sara Skabowski**  
PROJECT /// 2021-20 1870 Hilltop Crescent  
FILE REF /// 2.8.2  
PAGES /// DP submission documents  
(including Detailed TRS Response)

**ITEMS /// PARKADE VARIANCE RATIONALE**

RE: **DP22-0186**  
1870 Hilltop Crescent  
**New: Multi-Residential Development**  
**Land Use: Kelowna Office Community Plan, Zoning Bylaw No.12375**  
**Use Type: Subdivision and Servicing Bylaw No. 7900**

Attn: **Sara Skabowski**

In addition to the rational previously provided.

1. **PARKADE STRUCTURE VARIANCE RATIONAL**

Request for variance for the parkade exposed elevation projection below street level, where 60% of the level must include habitable spaces.

**RATIONAL**

Working with Kelowna on this application as well as the application for McKinley Lot 05, we have received comments and requirements regarding urban form and character for our mid-rise developments. The comments not only encouraged but explicitly mandate the residential form to promote a pedestrian oriented layout and design and eliminates site parking. Kelowna planning department and its urban specialist require all parking and vehicular presence to be located below grade. The idea being that the units and project amenities could take center stage and be part of Hilltown Drive.

The project promotes a ground plan urban activation with street oriented units and elevated living spaces. The proposed plaza amenity for the project is aligned with Hilltown Drive. This pedestrian-oriented design therefore has a direct relationship with Hilltown Drive while minimizing vehicular references such as ramps and parking. What is important to note is that Hilltown Drive is deemed at all times to be “grade” or ground level. We the design team and



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developer agreed with this rationale which meant relocating all parking servicing below the elevation of Hilltown Drive or “below grade.”

The large underground parking requirement results in the vehicular parkade being pushed “below grade” and essentially occupying the entire hillside of the site. The footprint required to house such parking requirements totals two levels, in an area much larger than the footprint of the residential buildings. This helped facilitate the creation of the various desired pedestrian-oriented features of the development. Consequentially, although “below grade”, the steep pitch of the site results not only in the parkade levels projecting on the lower hillside portion of the site, but also requires a retained base to serve as a foundation for the project. If habitable spaces were placed at parkade levels, they would function at best as “basement” suites and would be divorced from pedestrian oriented features of the development. Therefore, the design and development team require a variance for the parkade projections that are at basement level as they do not have any habitable space, yet still above grade to conform with the recommendations of the planning department.

Please receive the enclosed transmittal as part of our application. We hope our rationale satisfies any concerns the planning team has with this variance as part of our proposal.

If you need any additional documentation or further explanation, please contact me so that I can provide you with additional clarification.

Sincerely,

authorized by ///  
**DAVIGNON MARTIN ARCHITECTURE**

per  
 sherry lawrence  
 ARCHITECT /// AAA M.ARCH, B.B.A OLY

///



# 1870 HILLTOP CRESCENT

AQUILA PACIFIC DEVELOPMENTS



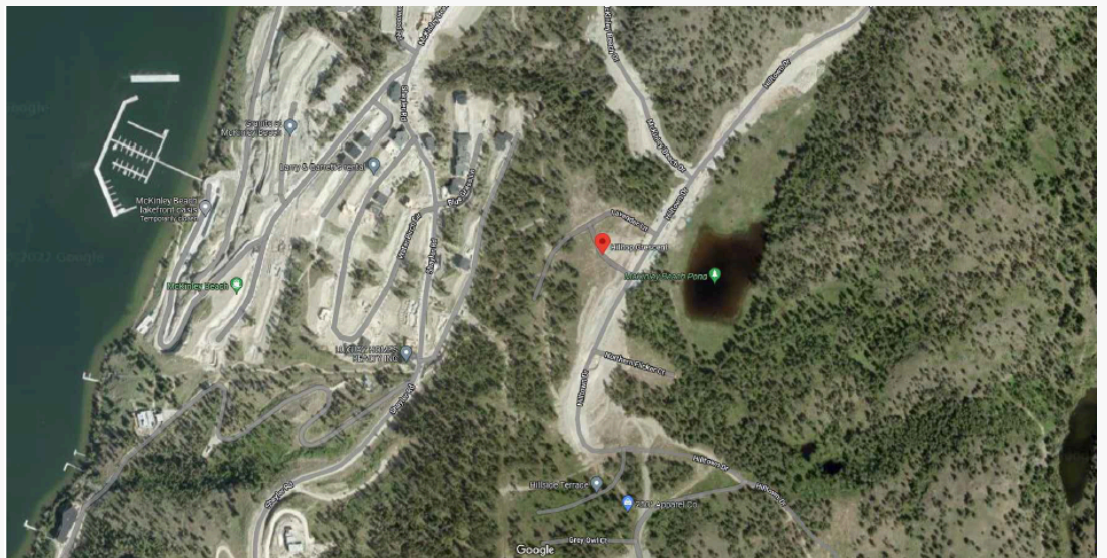
At Aquila Pacific Developments we build better by creating unique spaces with care and precision. Our goal is to deliver well-engineered construction projects that are both beautiful and functional. In doing so, customer satisfaction remains a top priority.

# LOCATION



Discover 1870 Hilltop Crescent, located in the serene community of McKinley Beach.

This visionary project harmoniously blends stunning architecture, captivating landscapes, and sustainable design, setting a new standard in modern living.



# VIEWPOINTS



corner of Hilltop Cres & Hilltown Dr (SE)



Hilltown Dr (SW)



Hilltop Cres (NE)

# PROJECT DESCRIPTION

This exciting new development project comprises a six storey building, offering a total of 83 thoughtfully designed residential units ranging from 1 to 3 bedrooms.

Residents will also have access to an array of amenities and services designed to provide a remarkable living environment. These include a state-of-the-art fitness center, a luxurious lounge, secure underground parking and storage, and a beautifully designed outdoor area with a pool, hot tub, and firepit ideal for relaxation. Residents can unwind on their private balcony or enjoy the shared rooftop terrace, complete with comfortable seating areas and lush landscaping.

This project is designed to align seamlessly with the surrounding community, fostering a sense of cohesion and harmony. The design and architectural elements of the buildings have been carefully planned to complement the aesthetic and character of the McKinley Beach neighborhood.

# DEVELOPMENT VARIANCE

This consultation package is intended to advise the neighborhood of the incoming development and variance being applied for. As per city requirements, a neighborhood consultation is required as part of the application process for a development permit variance.

We have applied for the following variance:

- Zoning Bylaw 12375 - Section 15.4.5 Footnote: Any building or structure in area I that exceed 6 storeys then any exposed storey where parking is provided within the building must include 60% of the exposed area as habitable space.

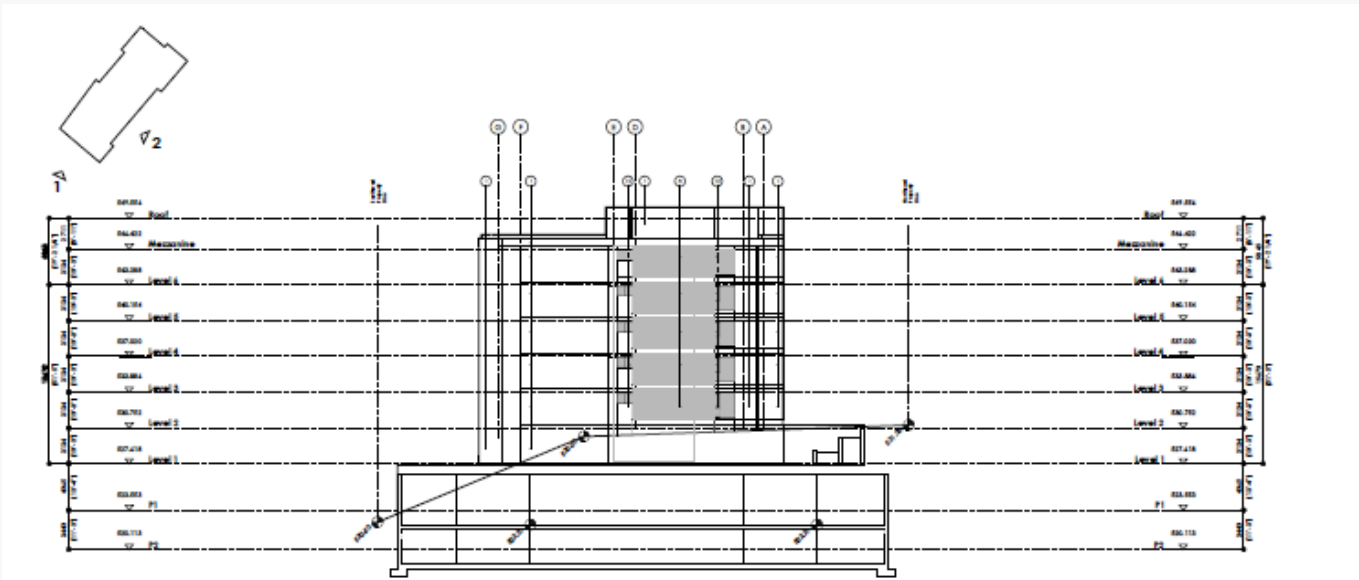
The design of the parkade exposed elevation projections below street level, requires that 60% of the level must include habitable spaces. Would habitable spaces be placed at parkade levels, they would function at best as "basement" suites and would be divorced from pedestrian-oriented features of the development born from the reconfiguration. We have configured the site plan such that all parking and items pertaining to cars ought to be removed from the ground floor level and relocated below grade. The idea being that the units and project amenities could take center stage and promote a pedestrian-oriented layout and design with street-oriented units and elevated living spaces.

Therefore, we have requested variances for the parkade projections that are at the basement level as they do not have any habitable space, yet are still above grade to conform with the recommendations of the planning department and urban specialist for this project.

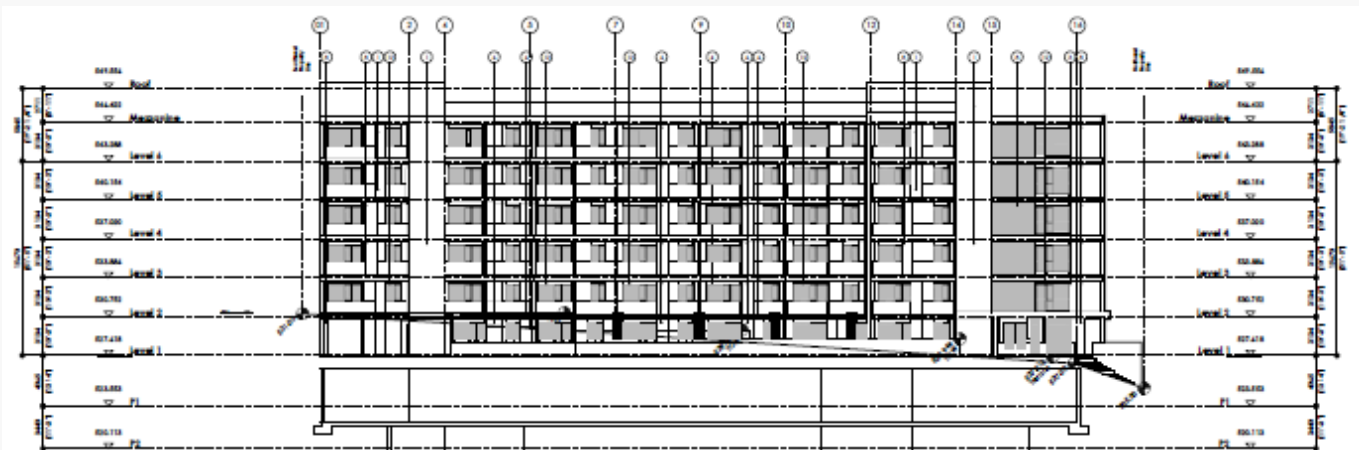
# ELEVATION CUTS WITH VARIANCE

<b>Elevation</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>
	<b>m2</b>	<b>m2</b>	<b>m2</b>	<b>m2</b>
<b>Exposed Storey where Parking</b>	13.89	0	87.65	231.71
<b>% of Parking Level that includes Habitable space</b>	0	0	0	0
<b>Area of Façade Habitable Space</b>	0	0	531.28	1181.26
<b>Variance</b>	0	0	52.59	139.03

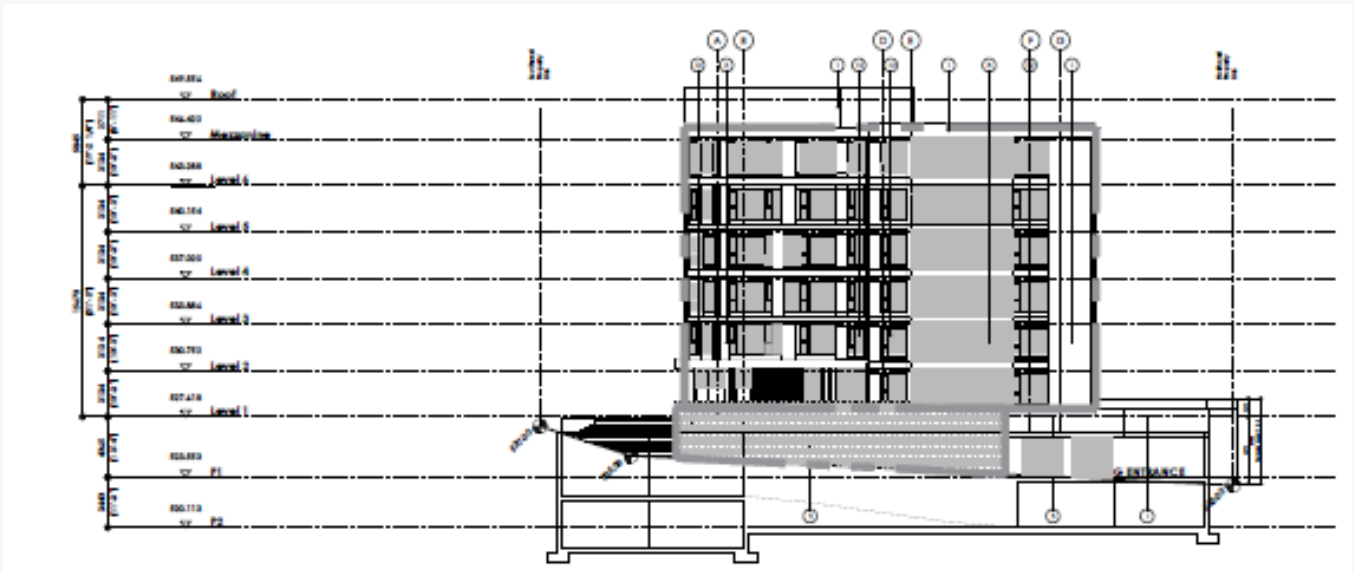




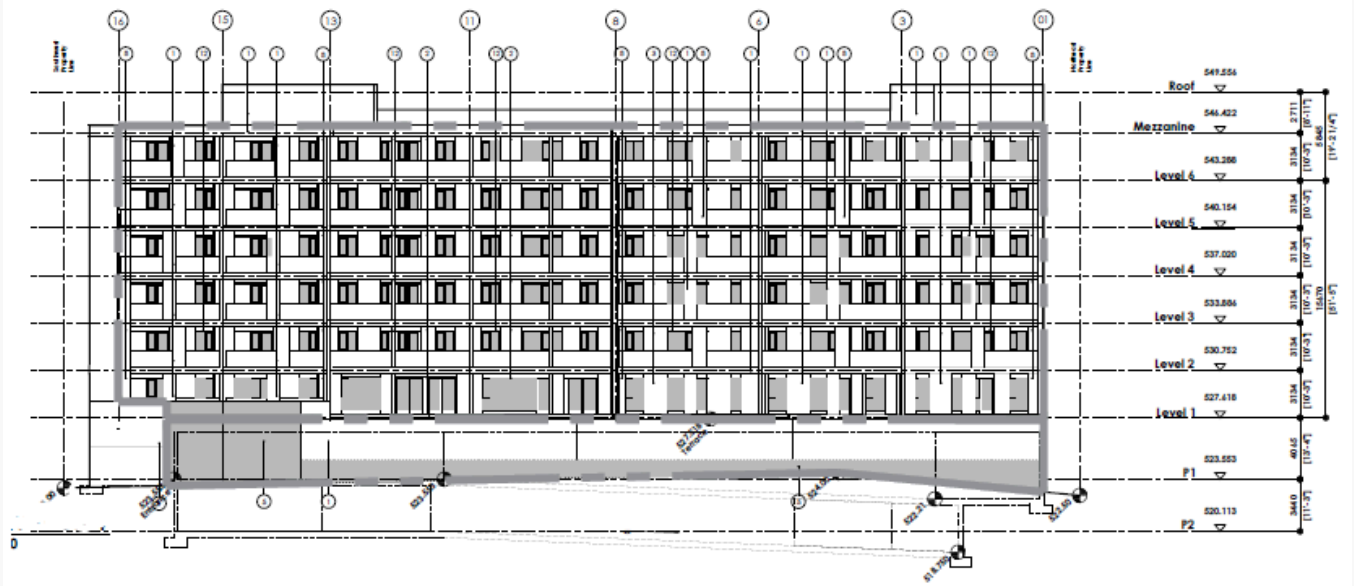
Elevation 1, Variance 0%



Elevation 2, Variance 0%



Elevation 3, Variance 10%



Elevation 4, Variance 19.62%

# THANK YOU



We are committed to working hand in hand with the community. We value your feedback and encourage you to reach out to us with any inquiries, suggestions, or comments you may have.

The variance and development permit will be presented to Council for a Public Hearing as well, providing the community with a chance to participate and be heard. To ensure broad awareness, the Public Hearing will be announced at least 2 weeks prior to the scheduled session. Our dedicated team is here to listen and provide the information you need.

We appreciate your support and trust in us as we work together to create a remarkable living experience in the McKinley Beach neighborhood.



## Get in touch

Aquila Pacific Developments: [planning@eaglecrestconstruction.ca](mailto:planning@eaglecrestconstruction.ca)

City of Kelowna, Development Planning Department:

[Sskabowski@kelowna.ca](mailto:Sskabowski@kelowna.ca) | 250-469-8626



City of  
**Kelowna**

# DP22-0186 & DVP24-0089 1870 Hilltop Crescent

Development Permit & Development Variance Permit

# Purpose

- ▶ To issue a Development Permit for the form and character of apartment housing and a Development Variance Permit to vary the minimum amount of habitable space within any exposed storey.

# Development Process

Sept 23, 2022

Development Application Submitted

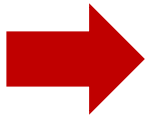


Staff Review & Circulation



May 31, 2024

Public Notification



July 23, 2024

DP/DVP Consideration

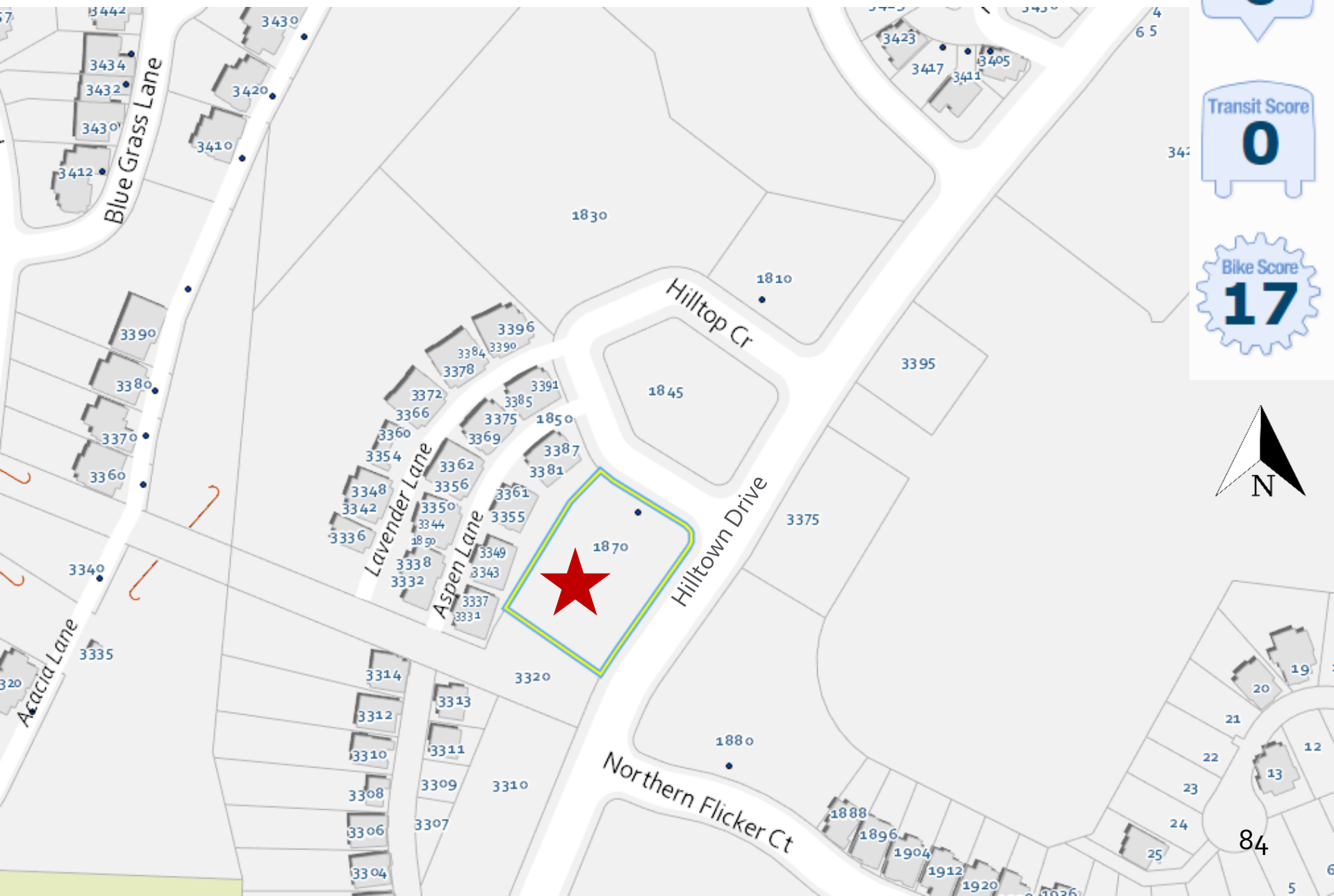


Council  
Approvals



Building Permit

# Context Map



Walk Score  
**0**

Transit Score  
**0**

Bike Score  
**17**



# Future Land Use Map





# Subject Property Map

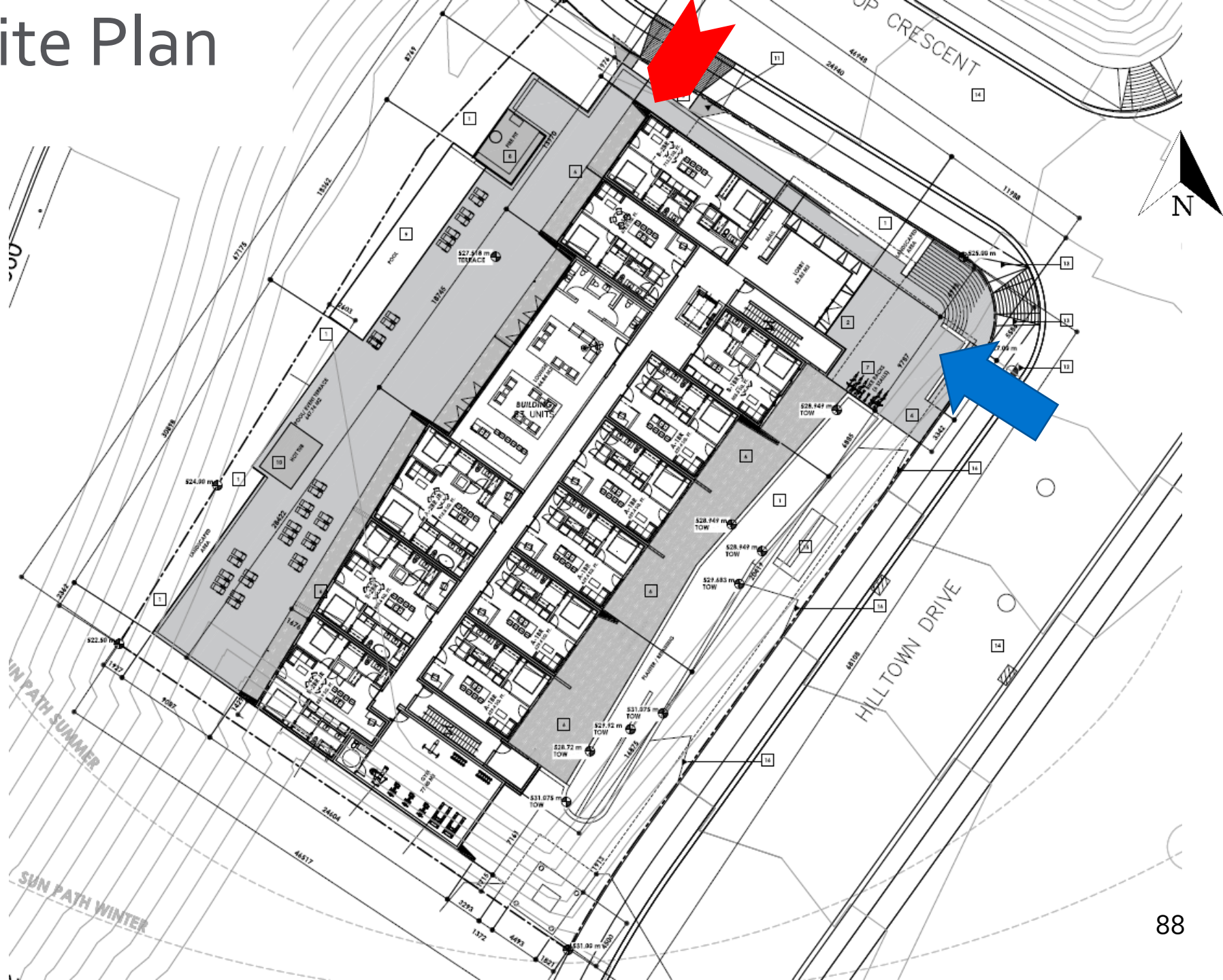


Subject Property

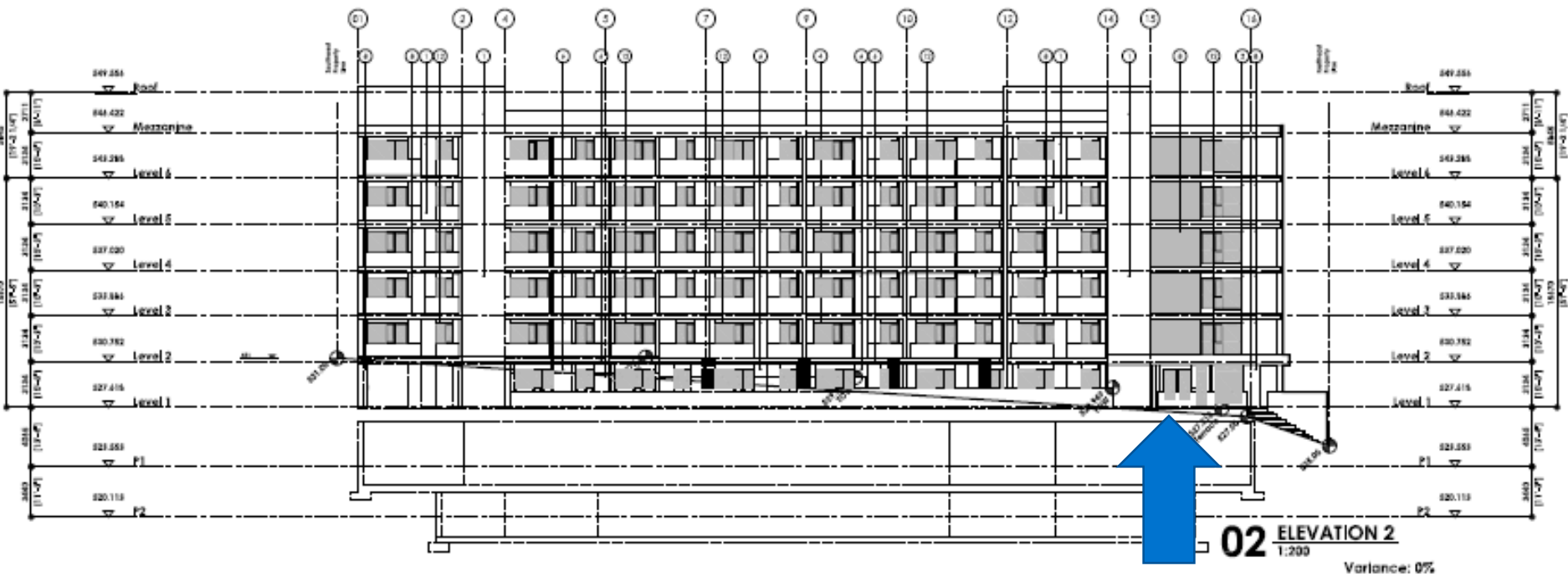
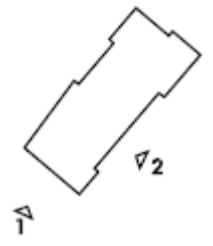
# Technical Details

- ▶ 1 apartment building, 83 units
  - ▶ 6 storeys residential
  - ▶ 46 1-bedroom units
  - ▶ 29 2-bedroom units
  - ▶ 8 3-bedroom units
- ▶ 132 parking stalls
  - ▶ 2-storey underground/exposed parkade
  - ▶ 120 residential stalls
  - ▶ 12 visitor stalls
  - ▶ 4 accessible stalls (1 van accessible)
  - ▶ 75 long-term bike stalls and bike wash/repair station
  - ▶ 6 short-term bike stalls
- ▶ Amenities:
  - ▶ Private balconies, rooftop terrace, pool terrace
  - ▶ Outdoor firepit area, indoor lounge, fitness gym
  - ▶ Adjacent to park trails, playground, and future McKinley amenity building

# Site Plan

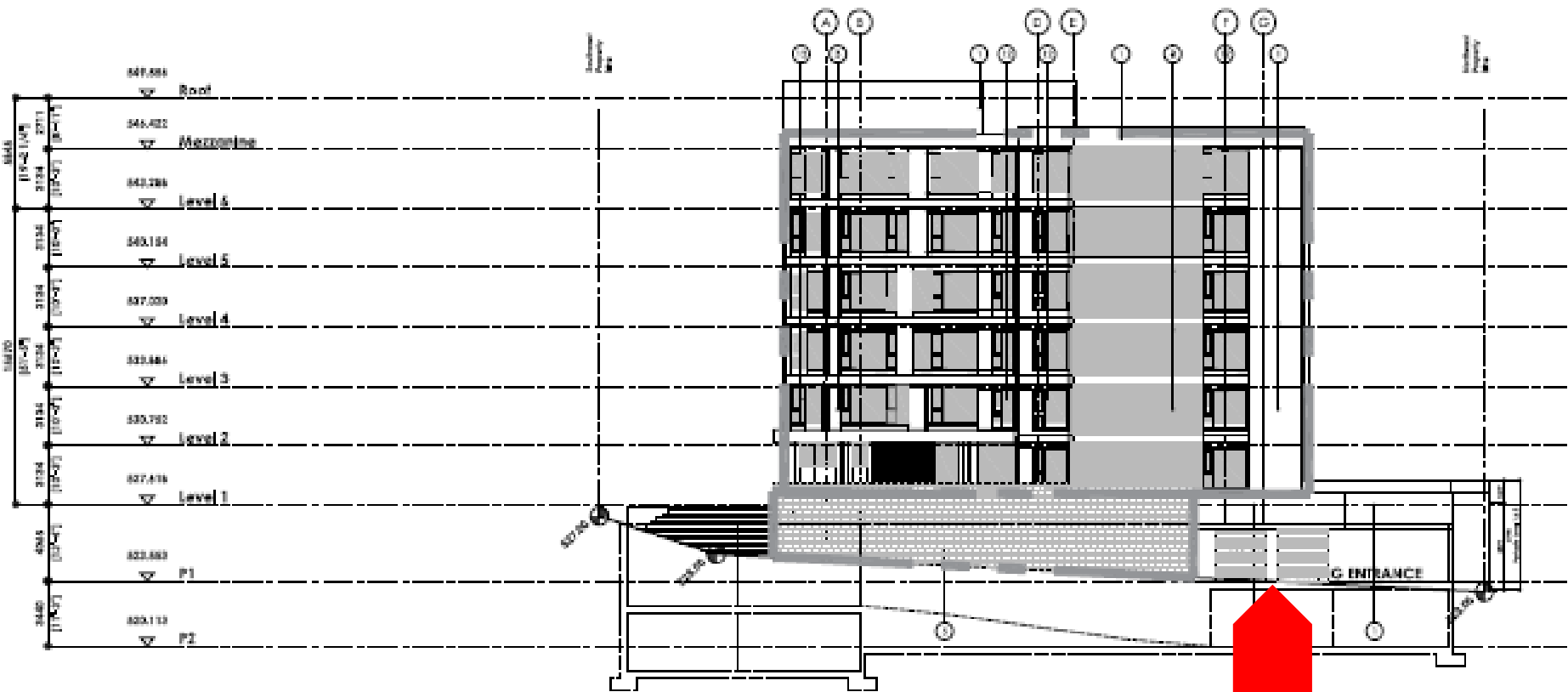


# Elevation – fronting Hilltown Drive



Lobby Entrance

# Elevation – Hilltop Crescent



**01** ELEVATION 3  
1:200

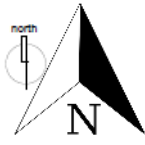
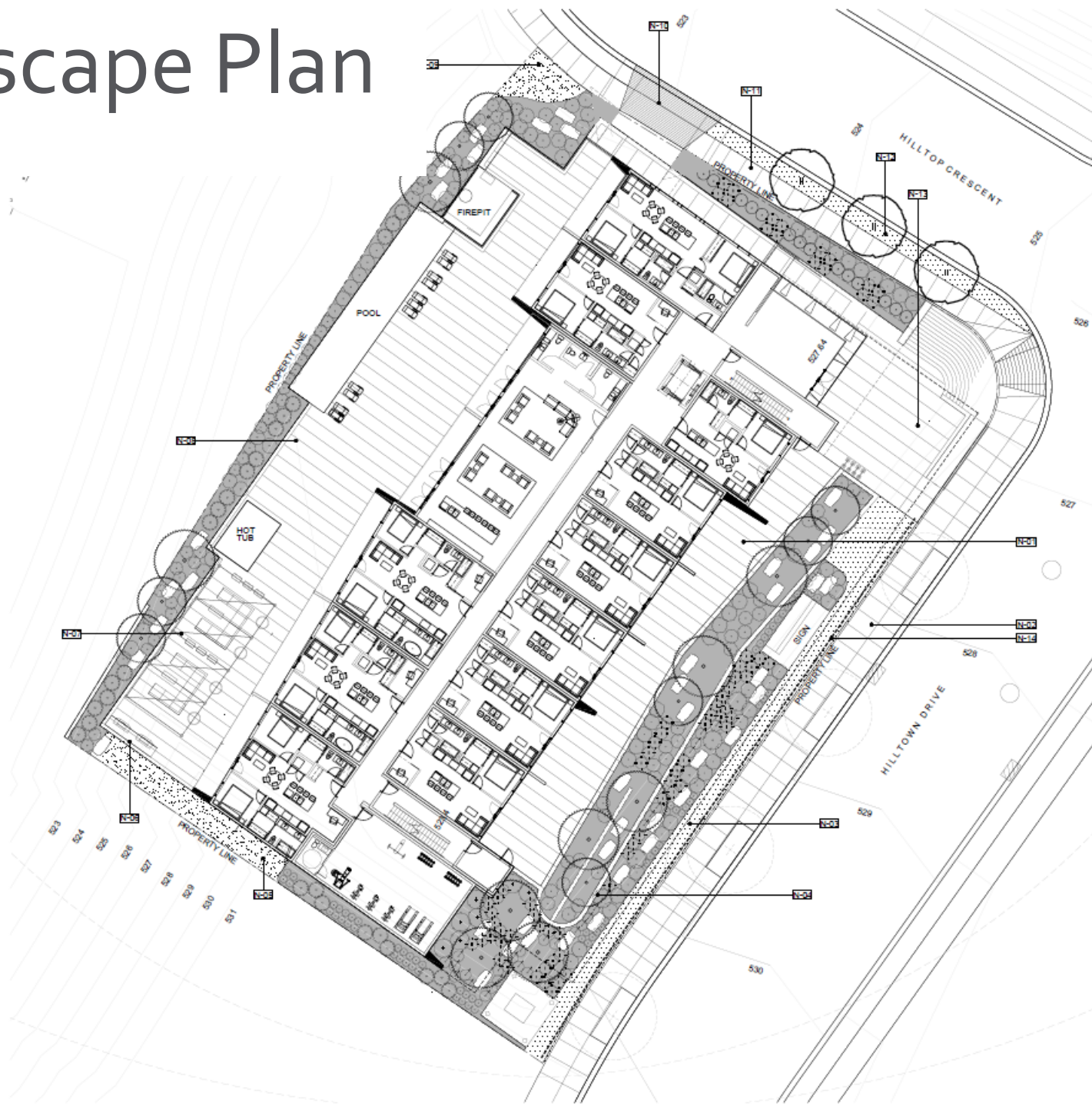
Parking Facade: 87.45 m<sup>2</sup>  
Upper Facade: 531.28 m<sup>2</sup>

Parkade Entrance

# Materials Board



# Landscape Plan



# Rendering



NE Elevation – corner of Hilltown Drive and Hilltop Crescent



# Rendering

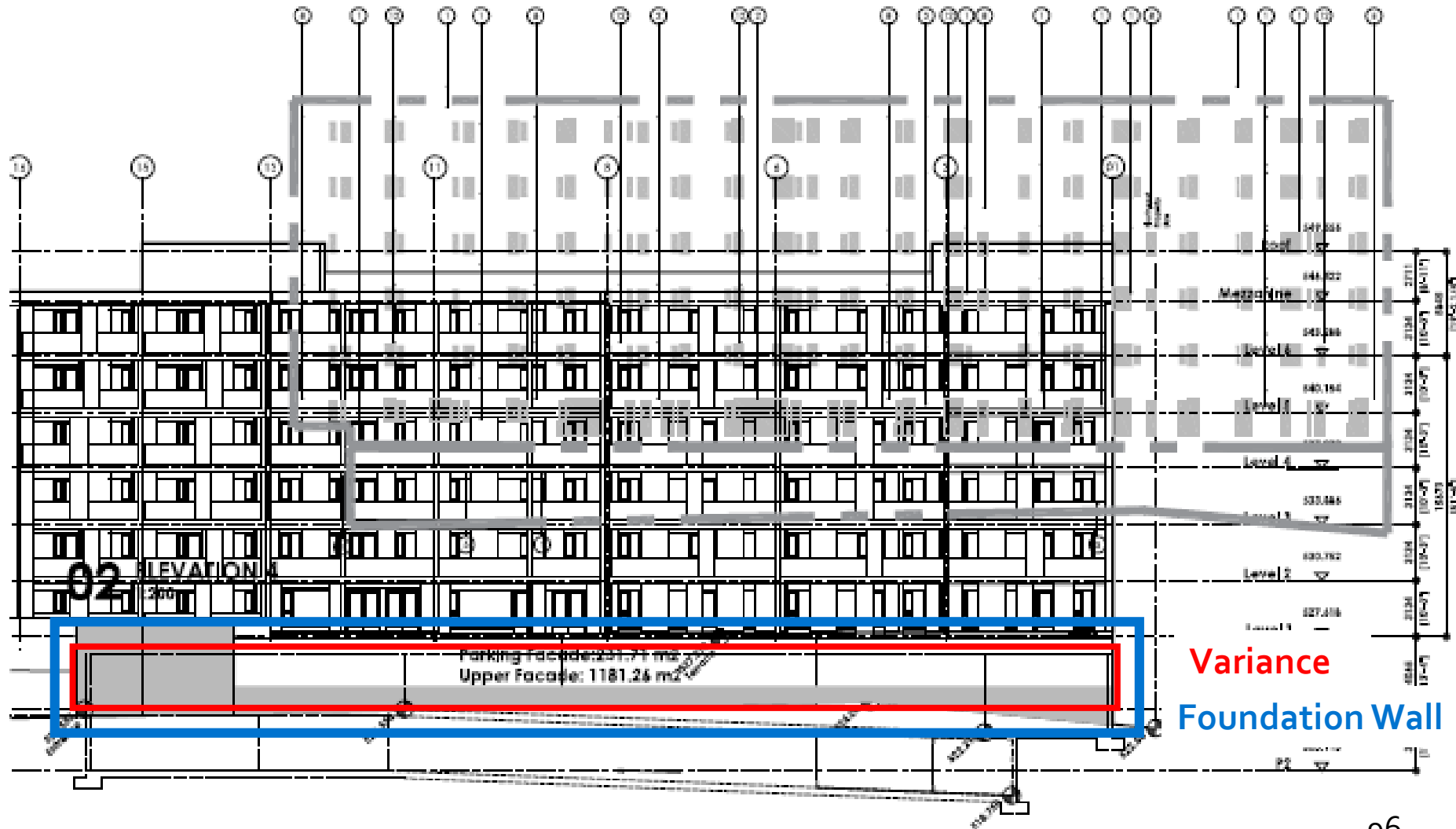


SW Elevation – fronting  
Hilltown Drive

# Variance

- ▶ To vary the minimum amount of habitable space within any exposed storey from 60% required to 0% proposed.
- ▶ Exposed 2-storey parkade cannot accommodate habitable space
  - ▶ Exposed foundation wall to reach up to 5.7 m in height
  - ▶ Only viable location for vehicular entrance
  - ▶ Screened wall with mature landscaping
  - ▶ Material treatment to the wall

# Variance – exposed storey



Variance  
Foundation Wall

# Variance – exposed storey



Rear of site (NW property line)

2 storey underground parkade,  
up to a maximum height of 5.7 m

# Variance – exposed storey



NE Elevation – fronting Hilltop Crescent

# OCP Design Guidelines

- ▶ Ground-oriented entrances, corner prominence
- ▶ Variety of amenity spaces
- ▶ Architectural treatment of the building/ exposed wall
- ▶ Variation in building façade, increased number of windows and balconies and materials
- ▶ Located parking underground, accessed from secondary street (Hilltop Cr)

# Staff Recommendation

- ▶ Staff recommend **support** for the proposed Development Permit and Development Variance Permit as it:
  - ▶ Aligns with the OCP Form and Character Design Guidelines for Low and Mid-Rise Development
  - ▶ Variance has been mitigated through extensive landscaping and exposed wall treatment

# REPORT TO COUNCIL DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT



**Date:** July 23, 2024  
**To:** Council  
**From:** City Manager  
**Address:** 1402 Cara Glen Ct  
**File No.:** DP23-0214 / DVP23-0215  
**Zone:** MF3r – Apartment Housing Rental Only

---

## 1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP23-0214 for Lot 1 Section 31 Township 26 ODYD Plan EPP100150, located at 1402 Cara Glen Ct, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP23-0215 for Lot 1 Section 31 Township 26 ODYD Plan EPP100150, located at 1402 Cara Glen Ct, Kelowna, BC;

AND THAT variances to the following sections of the Zoning Bylaw No. 12375 be granted as shown on Schedule "B":

### **Section 13.5 – Multi-Dwelling Zones – Development Regulations**

To vary the minimum building setback from a flanking side yard from 3.0 m required to 0.0 m proposed.

### **Section 13.5 – Multi-Dwelling Zones – Development Regulations**

To vary the minimum building setback from a front yard from 3.0 m required to 0.0 m proposed.

### **Section 13.6 – Multi-Dwelling Zones – Density and Height Development Regulations**

To vary the maximum allowable height from 4 storeys permitted to 5 storeys proposed.

AND THAT the applicant be required to complete the above noted condition of Council's approval of the Development Permit and Development Variance Permit Applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit are valid for two (2) years from the date of Council approval, with no opportunity to extend.



## 2.0 Purpose

To issue a Development Permit for the form and character of apartment housing and a Development Variance Permit to vary the maximum height from 4 storeys permitted to 5 storeys proposed and to vary the required stepback from 3.0 m to 0.0 m on the front yard and flanking side yard.

## 3.0 Development Planning

Staff support the proposed Development Permit for the form and character of apartment housing. The proposed project generally aligns with the Official Community Plan (OCP) Form and Character Design Guidelines for Low & Mid-Rise Residential Development. Key guidelines that are met include:

- Vehicle access is provided from the Statutory Right of Way (SRW) along the side of the property, and not directly off the fronting or flanking streets;
- The underground parking does not exceed 1.2 m above grade to limit visual impacts;
- A range of high-quality materials and designs that features several colours of fiber cement paneling, metal flashing and wood brackets; and
- High-quality outdoor amenity space including a playground and turf area.

Materials that are proposed include arctic white, evening blue, rich espresso fibre cement siding, pre-finished metal lashing, decorative wood brackets, vinyl windows and doors, and vertical wood style metal siding. Common amenity spaces include an outdoor playground and seating area, outdoor turf area and an indoor gym and amenity space.

A variance is being requested to increase the building height of the apartment building from 4 storeys permitted to 5 storeys proposed. The proposed building includes two levels of parking situated below natural grade, with only the vehicle access and residential lobby entrance exposed on these levels. While vehicle access is exempt from the storey count, the lobby entrance is not. Due to the lobby entrance ceiling being 2.0 m above natural grade, it necessitates counting towards the fifth storey.

Additionally, any building that is 5 storeys or taller requires a minimum 3.0 m building stepback on the front and flanking side yards, applicable to any portion of the building above the second storey. Since the majority of this building exposes only four storeys, staff support the proposed variance to the height and stepbacks because the overall massing of the building does not resemble that of a typical 5-storey structure. The lobby entrance constitutes only a small portion of the building, and overall, the building is well articulated in accordance with the OCP Design Guidelines, and the proposed variances do not compromise the buildings architectural integrity.

4.0 Subject Property & Background

4.1 Subject Property Map



The subject property is located on the corner of Cara Glen Ct and Clifton Rd and is located inside the Core Area. The surrounding area is a mix of single detached dwellings, apartment housing and townhouses. The property is in close proximity to Knox Mountain Park.

5.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS		
Gross Lot Area		6,823 m <sup>2</sup>
<b>Total Number of Units</b>		<b>112</b>
1-bed		73
2-bed		39
DEVELOPMENT REGULATIONS		
CRITERIA	MF3r ZONE	PROPOSAL
<b>Total Maximum Floor Area Ratio</b>	<b>1.3</b>	<b>1.0</b>
Max. Site Coverage (buildings)	65%	33%
Max. Site Coverage (buildings, parking, driveways)	85%	60%
<b>Max. Height</b>	<b>18.0 m / 4 storeys</b>	<b>17.9m / 5 storey<sup>1</sup></b>
Setbacks		
Min. Front Yard (South)	3.0 m	4.8 m
Min. Flanking Side Yard (East)	3.0 m	6.4 m
Min. Side Yard (West)	3.0 m	6.4 m
Min. Rear Yard (North)	4.5 m	10.5 m
Step backs		
Min. Fronting Street (South)	3.0 m	0.0 m <sup>2</sup>

Min. Flanking Side Yard (East)	3.0 m	0.0 m <sup>3</sup>
<b>Amenity Space</b>		
<b>Total Required Amenity Space</b>	<b>2,070 m<sup>2</sup></b>	<b>2,081 m<sup>2</sup></b>
Common	448 m <sup>2</sup>	726 m <sup>2</sup>
Private	n/a	1,355 m <sup>2</sup>
<b>Landscaping</b>		
Min. Number of Trees	24 trees	27 trees
Min. Large Trees	12 trees	20 trees
<p><sup>1</sup> Indicates requested variance to the maximum building height in Section 13.6.  <sup>2</sup> Indicates requested variance to the minimum required stepback in Section 13.5.  <sup>3</sup> Indicates requested variance to the minimum required stepback in Section 13.5.</p>		
<b>PARKING REGULATIONS</b>		
CRITERIA	MF3r ZONE REQUIREMENTS	PROPOSAL
<b>Total Required Vehicle Parking</b>	<b>158 stalls</b>	<b>138 stalls</b>
Rental Reduction	-16 (10%)	-16
Bicycle Parking Incentive	-5	-5
Total Resident Parking	124	<b>124 stalls</b>
Visitor	16	<b>14 stalls</b>
Visitor stall (Reduction)	-2	
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	67.4% Regular 32.6% Small
Bicycle Stalls Short-Term	12 stalls	12 stalls
Bicycle Stalls Long-Term	150 stalls	162 stalls
Bonus Stalls Provided for Parking Reduction	y	y
Bike Wash & Repair	y	y

**6.o Application Chronology**

Application Accepted: November 23, 2023  
 Public Information Session: March 27, 2024  
 Neighbour Notification Received: March 28, 2024  
 Adoption of Zone Amending Bylaw: June 17, 2024

**Report prepared by:** Tyler Caswell, Planner II  
**Reviewed by:** Jocelyn Black, Urban Planning Manager  
**Reviewed by:** Nola Kilmartin, Development Planning Department Manager  
**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning & Development Services

**Attachments:**

Attachment A: Draft Development Permit - DP23-0214 / Development Variance Permit – DVP23-0215  
     Schedule A: Site Plan & Floor Plans  
     Schedule B: Elevations & Sections  
     Schedule C: Landscape Plan  
 Attachment B: OCP Form and Character Development Permit Guidelines

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).

# Development Permit & Development Variance Permit

## DP23-0214 / DVP23-0215



This permit relates to land in the City of Kelowna municipally known as

**1402 Cara Glen Ct**

and legally known as

**Lot 1 Section 31 Township 26 ODYD Plan EPP100150**

and permits the land to be used for the following development:

### Apartment Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

**Date of Council Approval: July 23, 2024**

Development Permit Area: Form and Character DPA

Existing Zone: MF3r – Apartment Housing Rental Only

Future Land Use Designation: C-NHD – Core Area Neighbourhood

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

### **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

### **NOTICE**

This permit does not relieve the owner or the owner’s authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Prime Clifton Homes Inc., Inc.No. A0116073

Applicant: Bluegreen Architecture Inc.

\_\_\_\_\_  
Nola Kilmartin  
Development Planning Department Manager  
Planning & Development Services

\_\_\_\_\_  
Date of Issuance

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# DP23-0214 DVP23-0215		
Planner Initials	<b>TC</b>	 <b>City of Kelowna</b> <small>DEVELOPMENT PLANNING</small>

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP23-0214 and Development Variance Permit No. DVP23-0215 for Lot 1 Section 31 Township 26 ODYD Plan EPP100150 located at 1402 Cara Glen Ct, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT variances to the following section[s] of Zoning Bylaw No. 12375 be granted:

### Section 13.6 – Density and Height Development Regulations

To vary the maximum allowable height from 4 storeys permitted to 5 storeys proposed.

### Section 13.5 – Development Regulations

To vary the minimum building setback from a flanking side yard from 3.0 m required to 0.0 m proposed.

### Section 13.5 – Development Regulations

To vary the minimum building setback from the front yard 3.0 m required to 0.0 m proposed.

AND FURTHER THAT this Development Permit and Development Variance Permit are valid for two (2) years from the date of Manager approval, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$530,621.25**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

DRAFT

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# DP23-0214 DVP23-0215		
Planner Initials	TC	 City of <b>Kelowna</b> DEVELOPMENT PLANNING

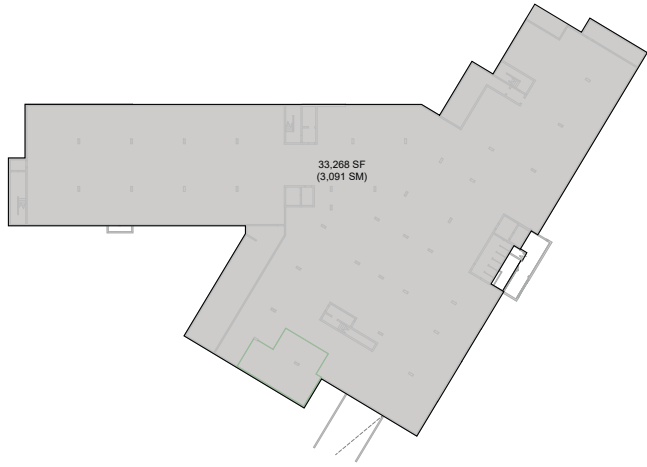


**SCHEDULE A**

This forms part of application  
 # DP23-0214 DVP23-0215

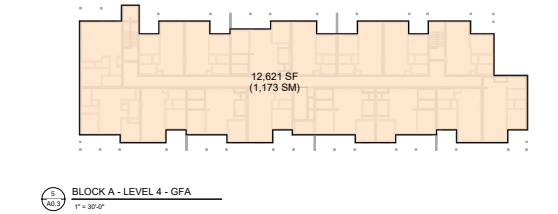
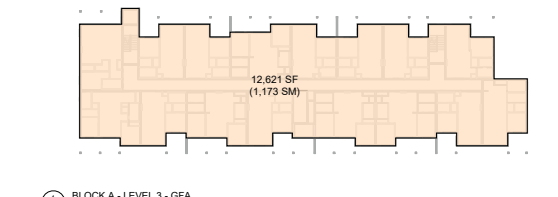
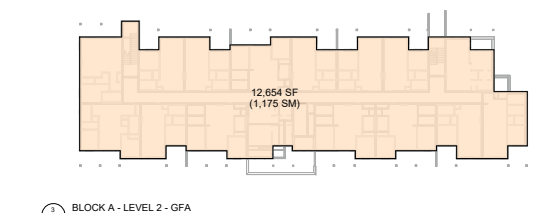
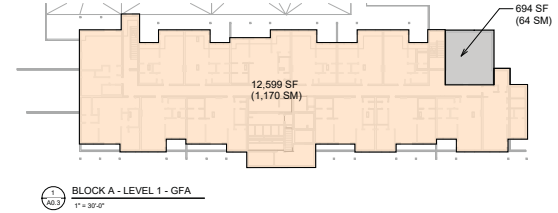
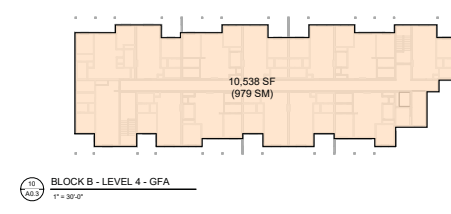
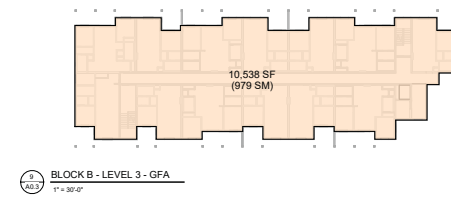
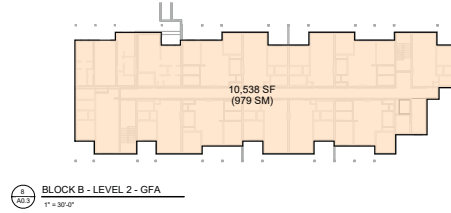
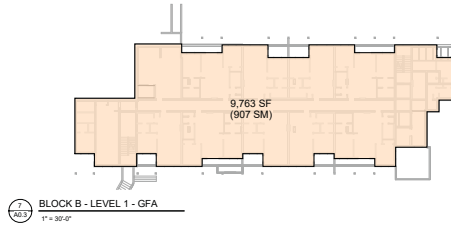
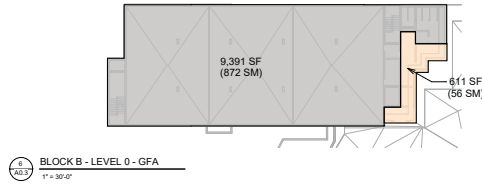
Planner Initials **TC**

City of **Kelowna**  
 DEVELOPMENT PLANNING



2 LEVEL P1 - GFA  
 1" = 30'-0"

	GFA (SF) - NIC	GFA (SM) - NIC...	NET (SF)	NET (SM)	UNFINISHED (SF)	UNFINISHED (SM)	EFFICIENCY
LEVEL 0					33,268	3,091	
<b>BLOCK A</b>							
LEVEL 1	12,599	1,170	9,347	868	694	64	74%
LEVEL 2	12,654	1,175	11,047	1,026	0	0	87%
LEVEL 3	12,621	1,173	11,047	1,026	0	0	88%
LEVEL 4	12,621	1,173	11,047	1,026	0	0	88%
SUB-TOTAL	50,495	4,691	42,488	3,947	694	64	84%
<b>BLOCK B</b>							
LEVEL P0	611	56			9391	872	0%
LEVEL 1	9,763	907	7,208	670	0	0	74%
LEVEL 2	10,538	979	8,558	795	0	0	81%
LEVEL 3	10,538	979	8,558	795	0	0	81%
LEVEL 4	10,538	979	8,558	795	0	0	81%
SUB-TOTAL	41,988	3,900	32,882	3,055	9,391	872	78%
<b>TOTAL</b>	<b>92,483</b>	<b>8,591</b>	<b>75,370</b>	<b>7,002</b>	<b>43,353</b>	<b>4,027</b>	<b>81%</b>



**BLUEGREEN**

2004 - 20th Street  
 Kelowna, BC V1Y 5A7  
 P: 778.556.4507  
 www.bluegreenbc.ca

**ISSUED FOR REZONING & DEVELOPMENT PERMIT**

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**RECORD OF ISSUES**

NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMIT
2	2023-08-01	RF COORDINATION
3	2023-07-05	CLIENT REVIEW
4	2023-06-29	PREPARED FOR DEVELOPMENT PERMIT
5	2024-01-15	ISSUED FOR SIGN REVIEW
6	2023-07-19	ISSUED FOR REVIEW
7	2024-01-14	ISSUED FOR BUILDING PERMIT
8	2024-04-16	ISSUED FOR SIGN REVIEW
9	2024-05-22	ISSUED FOR REVISIONS

**RECORD OF REVISIONS**

NO.	DATE	DESCRIPTION
1	2024-05-22	ISSUED FOR REVISIONS

Project: **CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS: 1402 CARA GLEN CT, KELOWNA, BC (BUILDING A); 1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title: **GROSS FLOOR AREA**

Job Number: 22-1085  
 Date: 2024-03-05  
 Scale: 1" = 30'-0"  
 Revision Number: A  
 Drawing Number: A0.3



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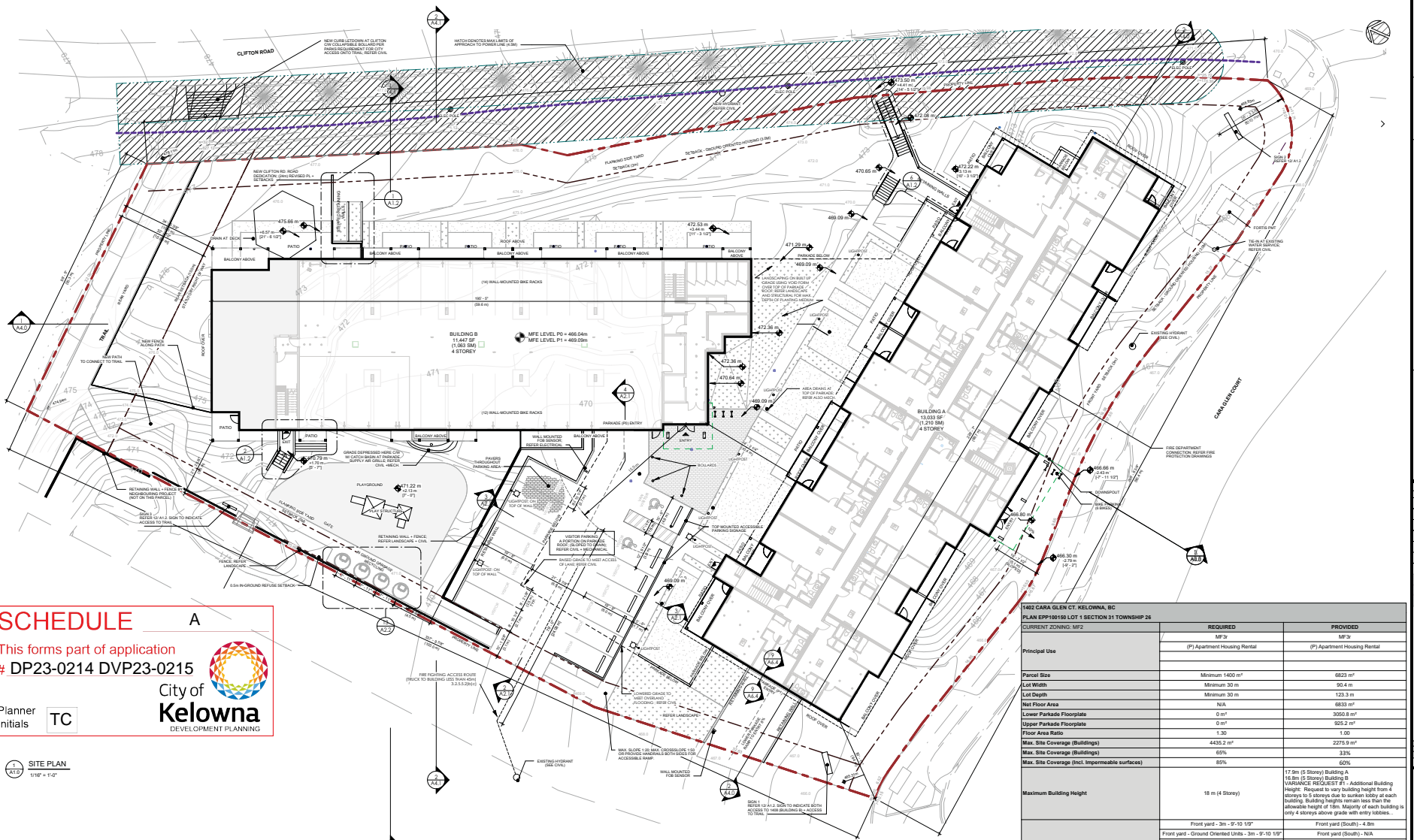
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**SCHEDULE A**

This forms part of application  
 # DP23-0214 DVP23-0215

Planner Initials **TC**

City of Kelowna  
 DEVELOPMENT PLANNING

**1 SITE PLAN**  
 1/8" = 1'-0"

**2 SITE PLAN - AREA**  
 1" = 160'-0"

**3 SITE COVERAGE**  
 1" = 160'-0"

**4 SITE COVERAGE - IMPERMEABLE**  
 1" = 160'-0"

**5 PARKADE AREA 1**  
 1" = 160'-0"

**6 PARKADE AREA 2**  
 1" = 160'-0"

**1402 CARA GLEN CT. KELOWNA, BC  
 PLAN EPP190180 LOT 1 SECTION 31 TOWNSHIP 28  
 CURRENT ZONING: MFR2**

Principal Use	REQUIRED	PROVIDED
	MFR2	MFR2
(P) Apartment Housing Rental	(P) Apartment Housing Rental	(P) Apartment Housing Rental
Parcel Size	Minimum 1400 m <sup>2</sup>	9233 m <sup>2</sup>
Lot Width	Minimum 30 m	92.4 m
Lot Depth	Minimum 30 m	123.3 m
Net Floor Area	N/A	6833 m <sup>2</sup>
Lower Parkade Floorplate	0 m <sup>2</sup>	3056.8 m <sup>2</sup>
Upper Parkade Floorplate	0 m <sup>2</sup>	325.2 m <sup>2</sup>
Floor Area Ratio	1.30	1.00
Max. Site Coverage (Buildings)	4435.2 m <sup>2</sup>	2275.9 m <sup>2</sup>
Max. Site Coverage (Buildings)	65%	33%
Max. Site Coverage (incl. Impervious surfaces)	85%	60%
Maximum Building Height	18 m (4 Storey)	17.8m (5 Storey) Building A 16.8m (5 Storey) Building B VARIANCE REQUEST #1: Additional Building Height. Request to vary building height from 4 storeys to 5 storeys due to sunken lobby at each building. Building heights remain less than the allowable height or floor. Height of each building is only 4 storeys above grade with entry lobbies.
Setbacks	Front yard - 3m - 9'-10 1/2"	Front yard (South) - 4.8m
	Front yard - Stepback - 3m - 9'-10 1/2"	Front yard (South) - N/A
	Flanking Side yard - 3m - 9'-10 1/2"	Flanking Side yard (East) - 6.4m
	Flanking Side yard - Stepback - 3m - 9'-10 1/2"	N/A
	Rear yard - 4.5m - 14'-9 1/2"	Rear yard (North) - 10.5m
Stepbacks required for	5 Storeys (3m stepback)	(on stepback) VARIANCE REQUEST #2 (to vary the required stepback above 4 storeys to have on stepback in consideration that as part of variance request 1, number of storeys is due to sunken lobbies only.
	Building Separation	N/A
Max. Building Frontage	100 m	69.7 m
Common & Private Amenity Space	Bachelor dwelling - 7.5 m <sup>2</sup>	1 bedroom dwelling - 15 m <sup>2</sup>
	More than 1 bedroom dwelling - 25 m <sup>2</sup>	Refer to unit and amenity calculations. Provided
On a Transit Supportive Corridor?	No	No
Property in RU Zone?	Yes (RU1, RR1)	Yes (RU1, RR1)
Min. 80% of Parking below grade?	Yes (89.9%)	Yes (89.9%)
Within the Core Area?	Yes	Yes
Rental Property?	Yes	Yes

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

Project  
**CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS  
 1402 CARA GLEN CT. KELOWNA, BC (BUILDING A)  
 1408 CARA GLEN CT. KELOWNA, BC (BUILDING B)

Sheet Title  
**SITE PLAN**

Job Number 22 1085  
 Date 2024-03-05  
 Scale As Indicated  
 Revision Number A  
 Drawing Number  
**A1.0**

**ISSUED FOR  
 REZONING &  
 DEVELOPMENT  
 PERMIT**

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 NO SEAL REQUIRED

**RECORD OF ISSUES**

NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMITS
2	2023-08-01	SP COORDINATION
3	2023-07-28	CLIENT REVIEW
4	2023-08-29	PERMISSION DEVELOPMENT PERMIT
5	2024-01-15	ISSUED FOR DEN REVIEW
6	2024-01-16	PERMISSION DEVELOPMENT PERMIT
7	2024-01-16	ISSUED FOR BUILDING PERMIT
8	2024-01-16	PERMISSION BUILDING PERMIT
9	2024-01-16	ISSUED FOR PERMITS

**RECORD OF REVISIONS**

NO.	DATE	DESCRIPTION
1	2024-01-16	ISSUED FOR PERMITS

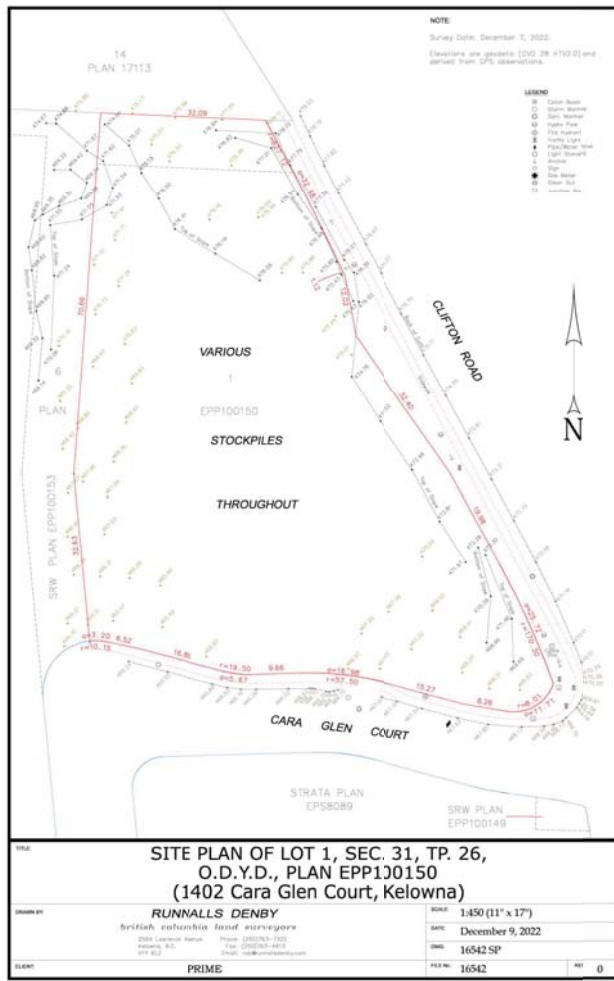
Project  
**CLIFTON  
 MULTIFAMILY  
 RENTAL**

CIVIC ADDRESS  
 1402 CARA GLEN CT, KELOWNA,  
 BC (BUILDING A)  
 1408 CARA GLEN CT, KELOWNA,  
 BC (BUILDING B)

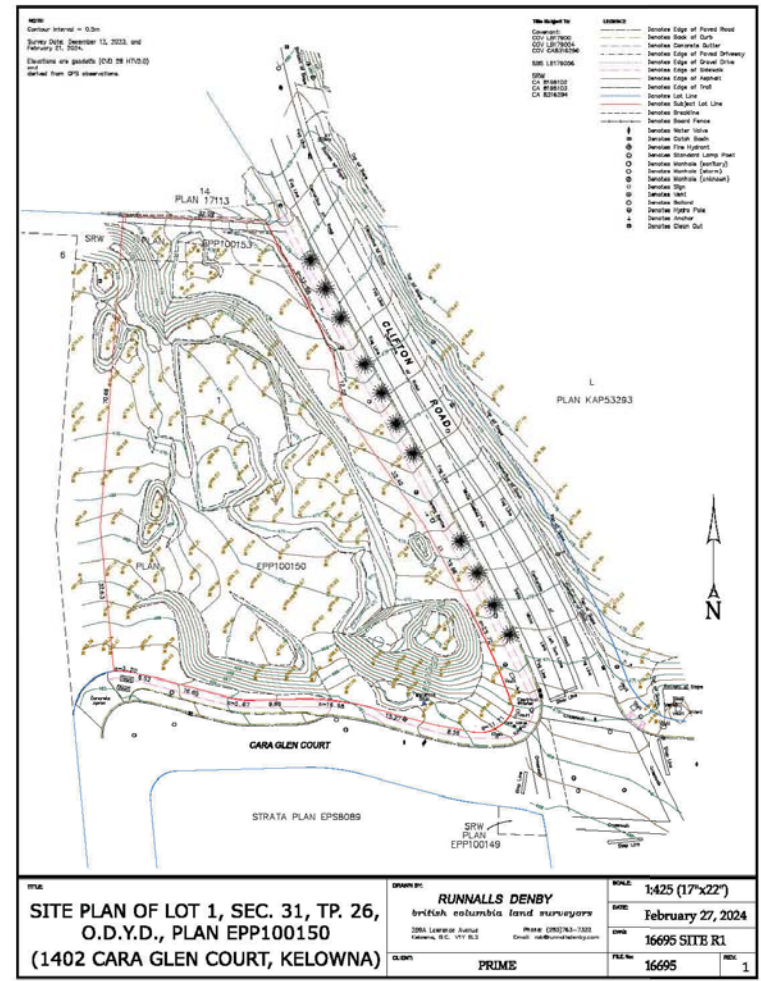
Sheet Title  
**SURVEY**

Job Number 22 1085  
 Date 2024-03-05  
 Scale  
 Revision Number A  
 Drawing Number

**A1.1**



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**SCHEDULE A**

This forms part of application  
 # DP23-0214 DVP23-0215

City of Kelowna  
 DEVELOPMENT PLANNING

Planner Initials **TC**



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Record of Issues

NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMIT
2	2023-07-27	SP COORDINATION
3	2023-07-27	CLIENT REVIEW
4	2023-07-27	DEVELOPMENT PERMIT
5	2024-01-15	ISSUED FOR 5th REV
6	2024-01-15	ISSUED FOR 5th REV
7	2024-01-15	ISSUED FOR 5th REV
8	2024-01-15	ISSUED FOR 5th REV
9	2024-01-15	ISSUED FOR 5th REV
10	2024-01-15	ISSUED FOR 5th REV

Record of Revisions

NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMIT
2	2023-07-27	SP COORDINATION
3	2023-07-27	CLIENT REVIEW
4	2023-07-27	DEVELOPMENT PERMIT
5	2024-01-15	ISSUED FOR 5th REV
6	2024-01-15	ISSUED FOR 5th REV
7	2024-01-15	ISSUED FOR 5th REV
8	2024-01-15	ISSUED FOR 5th REV
9	2024-01-15	ISSUED FOR 5th REV
10	2024-01-15	ISSUED FOR 5th REV

Record of Revisions

NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMIT
2	2023-07-27	SP COORDINATION
3	2023-07-27	CLIENT REVIEW
4	2023-07-27	DEVELOPMENT PERMIT
5	2024-01-15	ISSUED FOR 5th REV
6	2024-01-15	ISSUED FOR 5th REV
7	2024-01-15	ISSUED FOR 5th REV
8	2024-01-15	ISSUED FOR 5th REV
9	2024-01-15	ISSUED FOR 5th REV
10	2024-01-15	ISSUED FOR 5th REV

Project  
**CLIFTON  
 MULTIFAMILY  
 RENTAL**

CIVIC ADDRESS  
 1402 CARL GLEN CT, KELOWNA,  
 BC (BUILDING A)  
 1408 CARL GLEN CT, KELOWNA,  
 BC (BUILDING B)

Sheet Title  
**LEVEL P1 - BASEMENT  
 PARKEADE**

Job Number: 22-1085

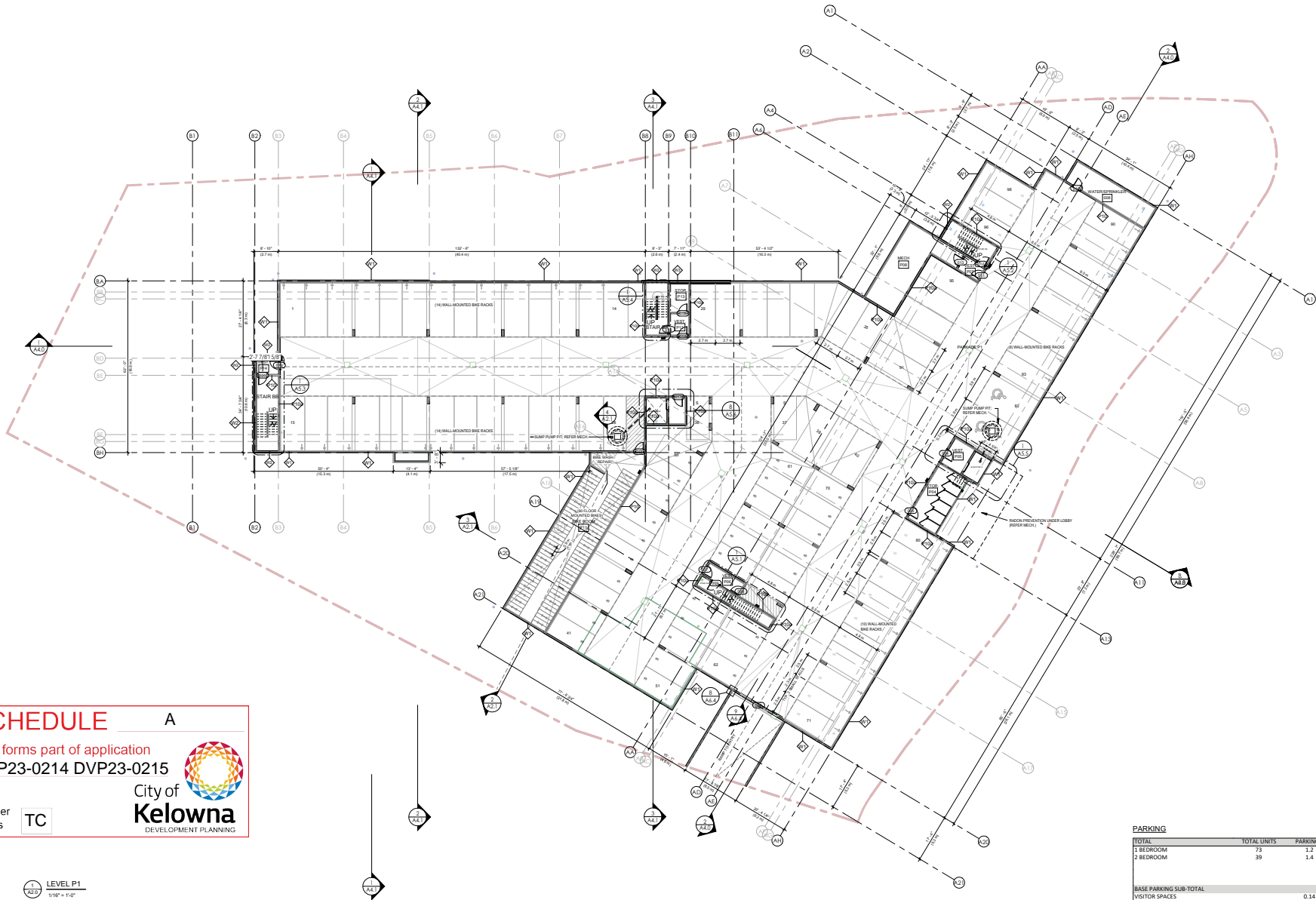
Date: 2024-03-05

Scale: 1/8" = 1'-0"

Revision Number: A

Drawing Number:

**A2.0**



**SCHEDULE A**

This forms part of application  
 # DP23-0214 DVP23-0215

Planner Initials **TC**

City of Kelowna  
 DEVELOPMENT PLANNING

LEVEL P1  
 1/8" = 1'-0"

**BICYCLE PARKING**

	NO. OF UNITS	MULTIPLIER	REQ'D	PROVIDED
BONUS LONG-TERM PARKING	STUDIO/1	73	1.25	91.25
	2 BEDROOM	39	1.5	58.5
	3 BEDROOM	0	2	0
REQ'D SHORT-TERM			6.0 PER ENTRANCE	12
LONG-TERM TOTAL				150
SHORT-TERM TOTAL				12
GROUND-ANCHORED	75 (50%)			90 (55.6%)
WALL-MOUNTED	75 (50%)			72 (44.4%)
TOTAL				162

**PARKING**

	TOTAL UNITS	PARKING...	PARKING REQ'D
TOTAL			
1 BEDROOM	73	1.2	87.6
2 BEDROOM	39	1.4	54.6
BASE PARKING SUB-TOTAL			142.2
VISITOR SPACES		0.14	15.68
SUB-TOTAL	112	3% REDUCTION	157.88
BIKE PARKING INCENTIVE		0% REDUCTION	-5
CAR SHARE PROGRAM PROVIDED		10% REDUCTION	-15.8
RENTAL HOUSING INCENTIVE			137
TOTAL			137
SPACE REQUIREMENTS		REQ'D	PROVIDED
REGULAR SIZE PARKING FOR...	65 (41.4%)		89 (54.5%)
SMALL SIZE PARKING FOR...	68 (49.6%)		45 (27.6%)
ACCESSIBLE PARKING	3 (2.2%)		3 (2.2%)
VAN ACCESSIBLE PARKING	1 (0.7%)		1 (0.7%)
TOTAL			137



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NO.	DATE	DESCRIPTION
1	2024-03-05	ISSUED FOR PERMIT
2	2024-03-05	REVISIONS

NO.	DATE	DESCRIPTION
1	2024-03-05	ISSUED FOR PERMIT
2	2024-03-05	REVISIONS

NO.	DATE	DESCRIPTION
1	2024-03-05	ISSUED FOR PERMIT
2	2024-03-05	REVISIONS

NO.	DATE	DESCRIPTION
1	2024-03-05	ISSUED FOR PERMIT
2	2024-03-05	REVISIONS

Project

CLIFTON  
MULTIFAMILY  
RENTAL

CIVIC ADDRESS  
1402 CARA GLEN CT, KELOWNA,  
BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA,  
BC (BUILDING B)

Sheet Title  
BLOCK A - LEVEL 1 -  
FLOOR PLAN

Job Number 22 1085

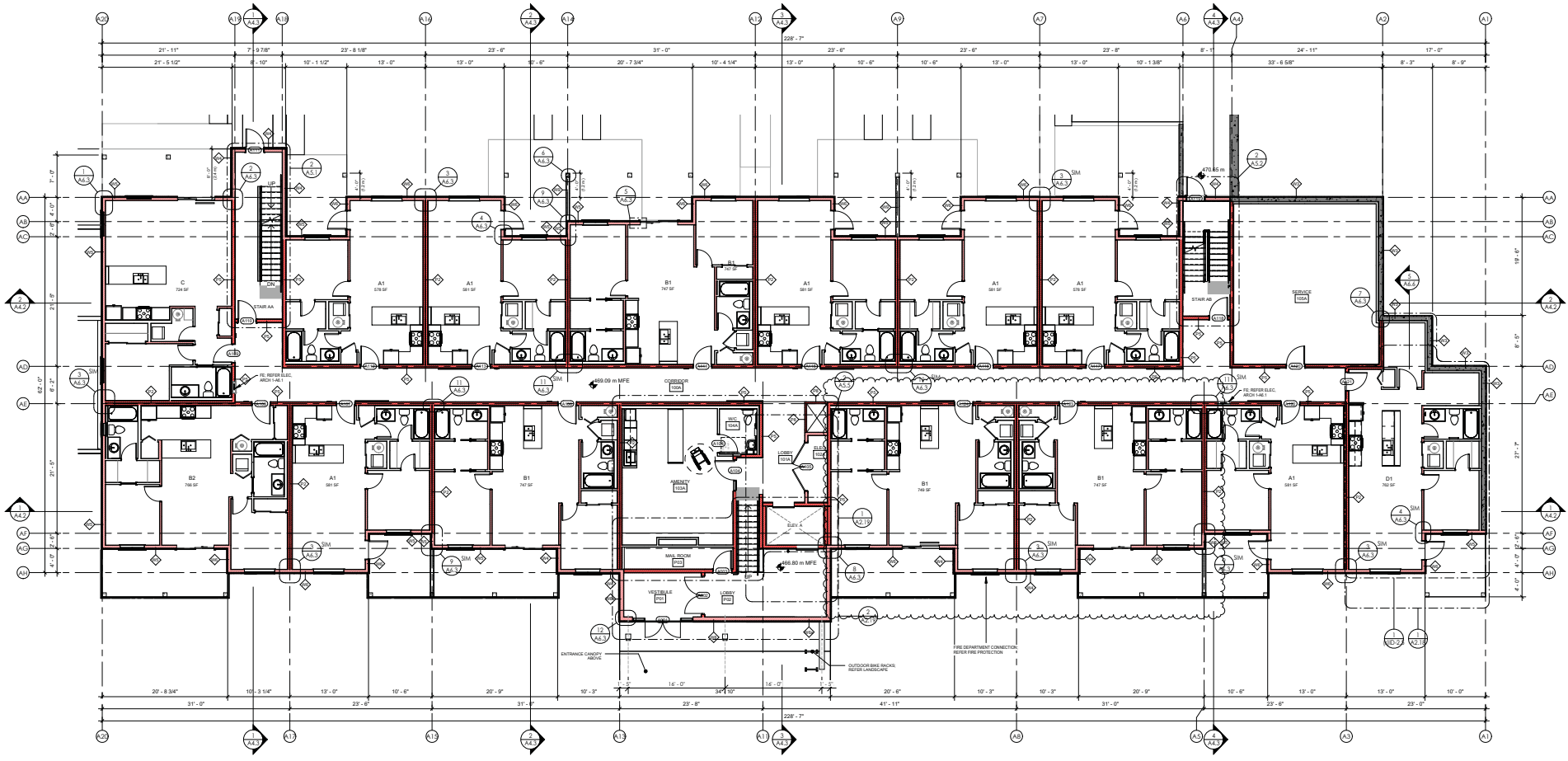
Date 2024-03-05

Scale 1/8" = 1'-0"

Revision Number A

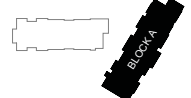
Drawing Number

A2.3



1/8" = 1'-0"  
BLOCK A - LEVEL 1

FLOOR WALLS  
LOAD BEARING WOOD FRAME  
WALLS REFER STRUCTURE



**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**

City of  
**Kelowna**  
DEVELOPMENT PLANNING



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RECORD OF ISSUES

NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMIT
2	2023-08-01	REVISION FOR PERMIT
3	2023-08-01	CLIENT REVIEW
4	2023-08-01	CLIENT REVIEW
5	2024-01-15	ISSUED FOR PERMIT
6	2024-01-15	REVISION FOR PERMIT
7	2024-01-15	REVISION FOR PERMIT
8	2024-01-15	REVISION FOR PERMIT
9	2024-01-15	REVISION FOR PERMIT
10	2024-01-15	REVISION FOR PERMIT

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
1	2024-03-05	ISSUED FOR PERMIT
2	2024-03-05	REVISION FOR PERMIT
3	2024-03-05	REVISION FOR PERMIT
4	2024-03-05	REVISION FOR PERMIT
5	2024-03-05	REVISION FOR PERMIT
6	2024-03-05	REVISION FOR PERMIT
7	2024-03-05	REVISION FOR PERMIT
8	2024-03-05	REVISION FOR PERMIT
9	2024-03-05	REVISION FOR PERMIT
10	2024-03-05	REVISION FOR PERMIT

Project

CLIFTON  
MULTIFAMILY  
RENTAL

CIVIC ADDRESS  
1402 CARA GLEN CT, KELOWNA,  
BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA,  
BC (BUILDING B)

Sheet Title

BLOCK A - LEVEL 2 -  
FLOOR PLAN

Job Number

22 1085

Date

2024-03-05

Scale

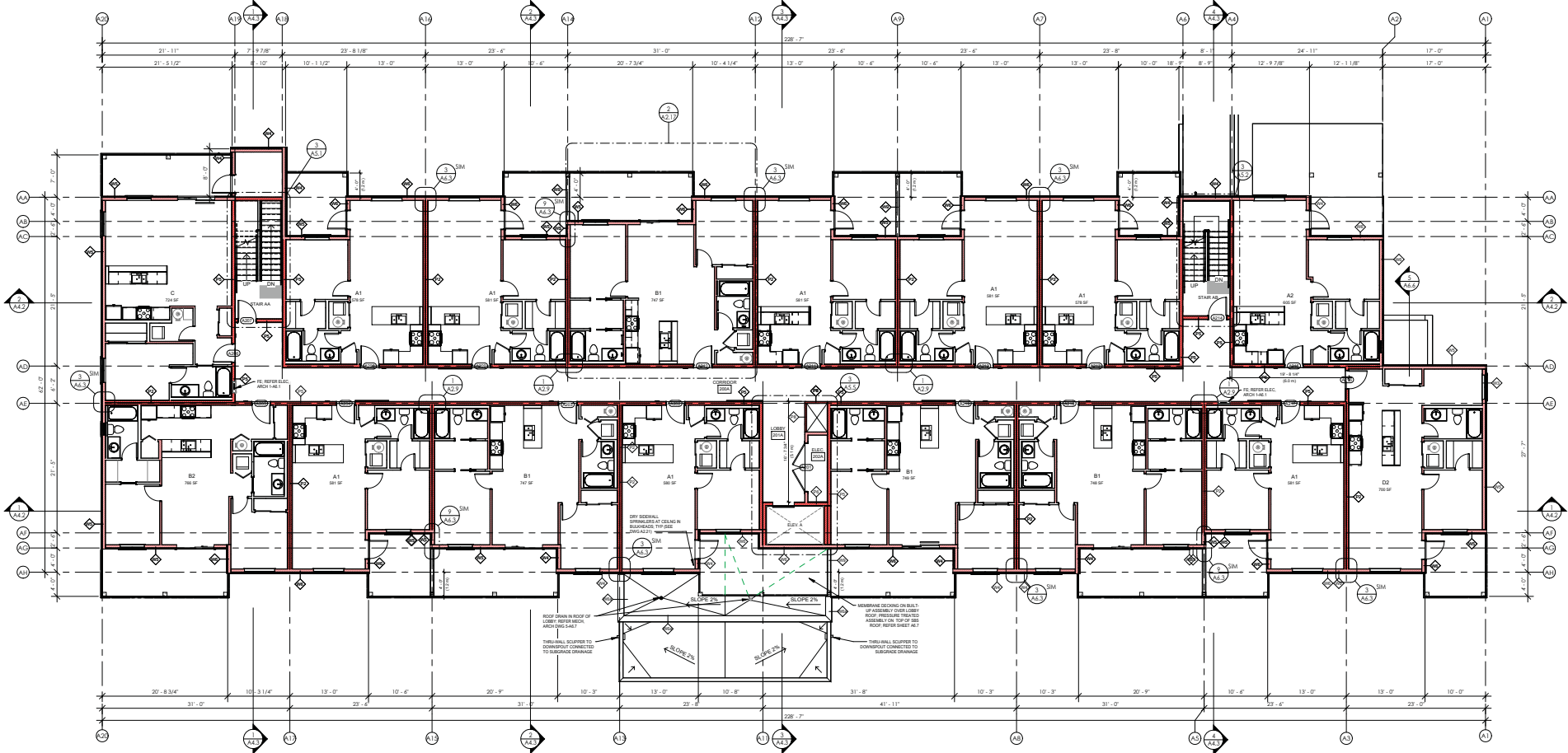
1/8" = 1'-0"

Revision Number

A

Drawing Number

A2.4



BLOCK A - LEVEL 2  
1/8" = 1'-0"

**SCHEDULE** A

This forms part of application  
# DP23-0214 DVP23-0215

City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner Initials **TC**



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Scale

**RECORD OF ISSUES**

NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMIT
2	2023-08-01	SP-CORRECTION
3	2023-08-05	CLIENT REVIEW
4	2023-08-29	DEVELOPMENT PERMIT
5	2024-01-15	ISSUED FOR SIGN REVIEW
6	2024-03-19	ISSUED FOR DEVELOPMENT PERMIT
7	2024-03-19	ISSUED FOR BUILDING PERMIT
8	2024-04-18	ISSUED FOR SIGN REVIEW
9	2024-04-22	SP-CORRECTION

**RECORD OF REVISIONS**

NO.	DATE	DESCRIPTION
1	2024-03-19	ISSUED FOR BUILDING PERMIT

**RECORD OF REVISIONS**

Project

**CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS

1402 CARA GLEN CT, KELOWNA, BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title

**BLOCK A - LEVEL 3 - FLOOR PLAN**

Job Number

22-1085

Date

2024-03-05

Scale

1/8" = 1'-0"

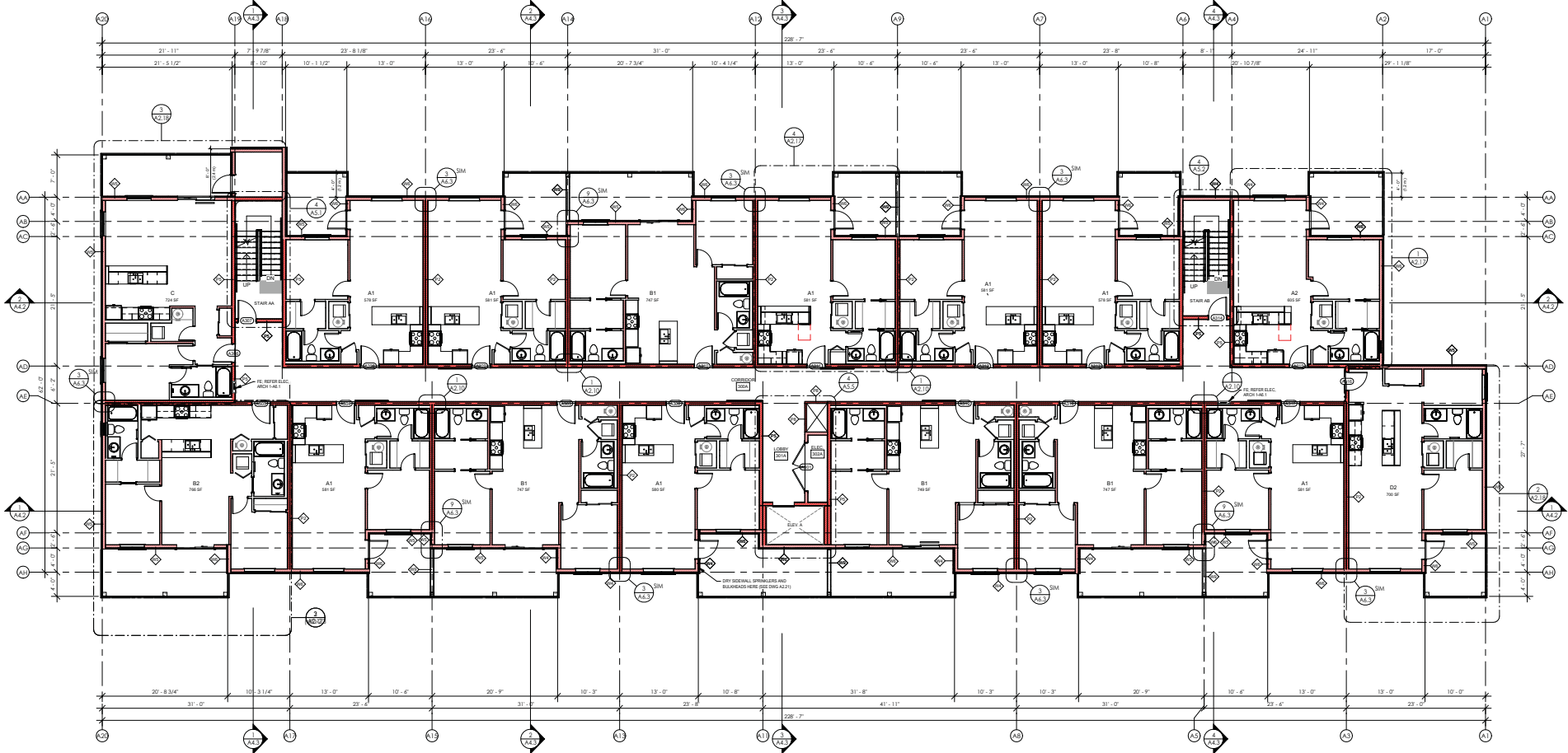
Revision Number

A

Drawing Number

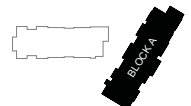
A2.5

2024-03-05 10:35 AM



**BLOCK A - LEVEL 3**  
1/8" = 1'-0"

**FLOOR WALLS**  
LOAD BEARING WOOD FRAME  
WALLS REFER STRUCTURE



**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials **TC**



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Scale

RECORD OF ISSUES

NO.	DATE	DESCRIPTION
1	2024.02.27	ISSUED FOR PERMIT
2	2024.03.01	SP-CORRECTION PERMITTED
3	2024.03.05	CLIENT REVIEW
4	2024.03.29	DEVELOPING PERMIT
5	2024.04.05	ISSUED FOR SIGN REVIEW
6	2024.04.09	REVISIONS FOR PERMIT
7	2024.04.14	ISSUED FOR BUILDING PERMIT
8	2024.04.16	ISSUED FOR SIGN REVIEW
9	2024.04.22	SP-CORRECTION

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
1	2024.03.05	CLIENT REVIEW

Project

CLIFTON  
MULTIFAMILY  
RENTAL

CIVIC ADDRESS  
1402 CARA GLEN CT, KELOWNA,  
BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA,  
BC (BUILDING B)

Sheet Title

BLOCK A - LEVEL 4 -  
FLOOR PLAN

Job Number 22-1085

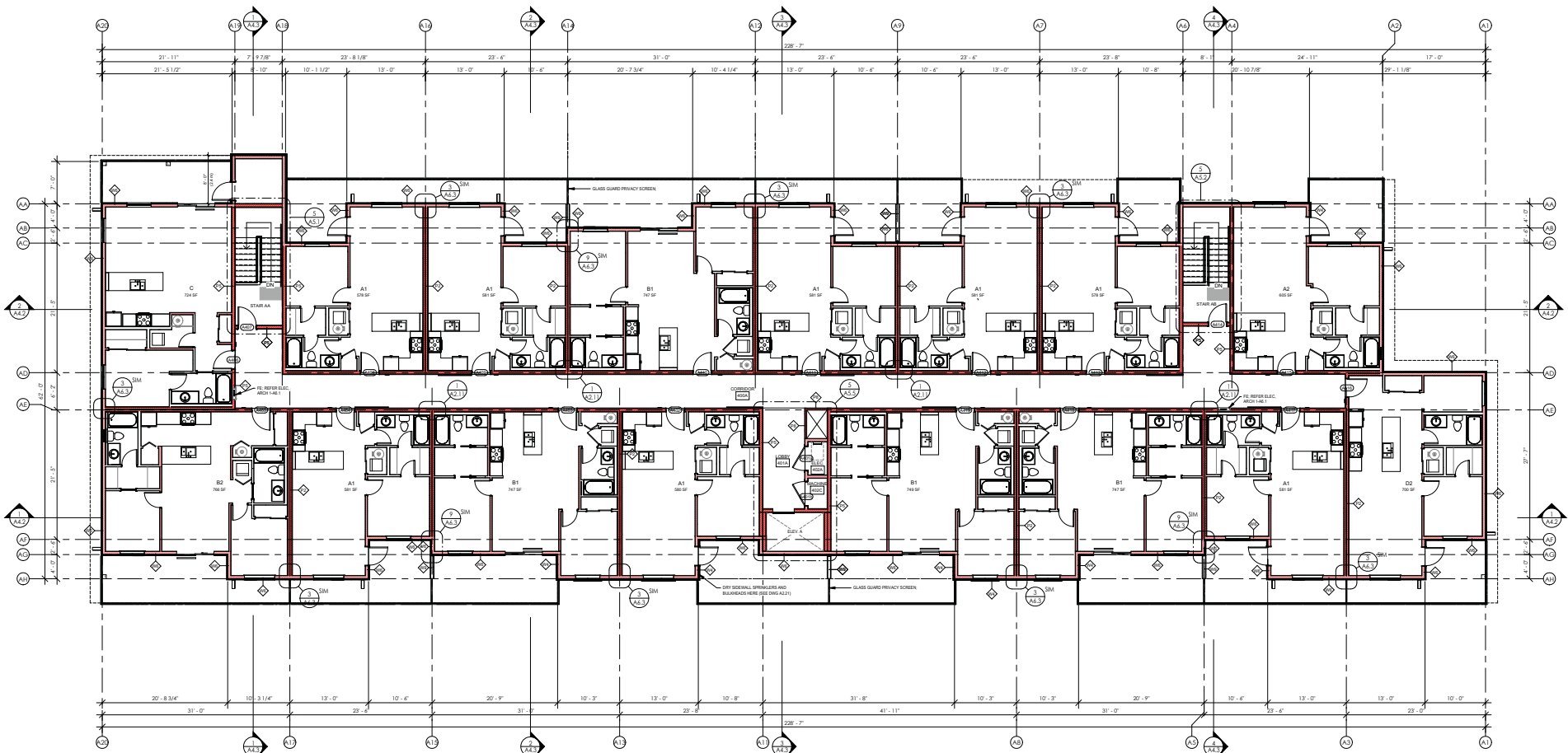
Date 2024-03-05

Scale 1/8" = 1'-0"

Revision Number A

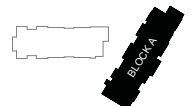
Drawing Number

A2.6



BLOCK A - LEVEL 4  
1/8" = 1'-0"

FLOOR FINISHES  
LOAD BEARING WOOD FRAME  
WALLS REFER STRUCTURAL



**SCHEDULE A**

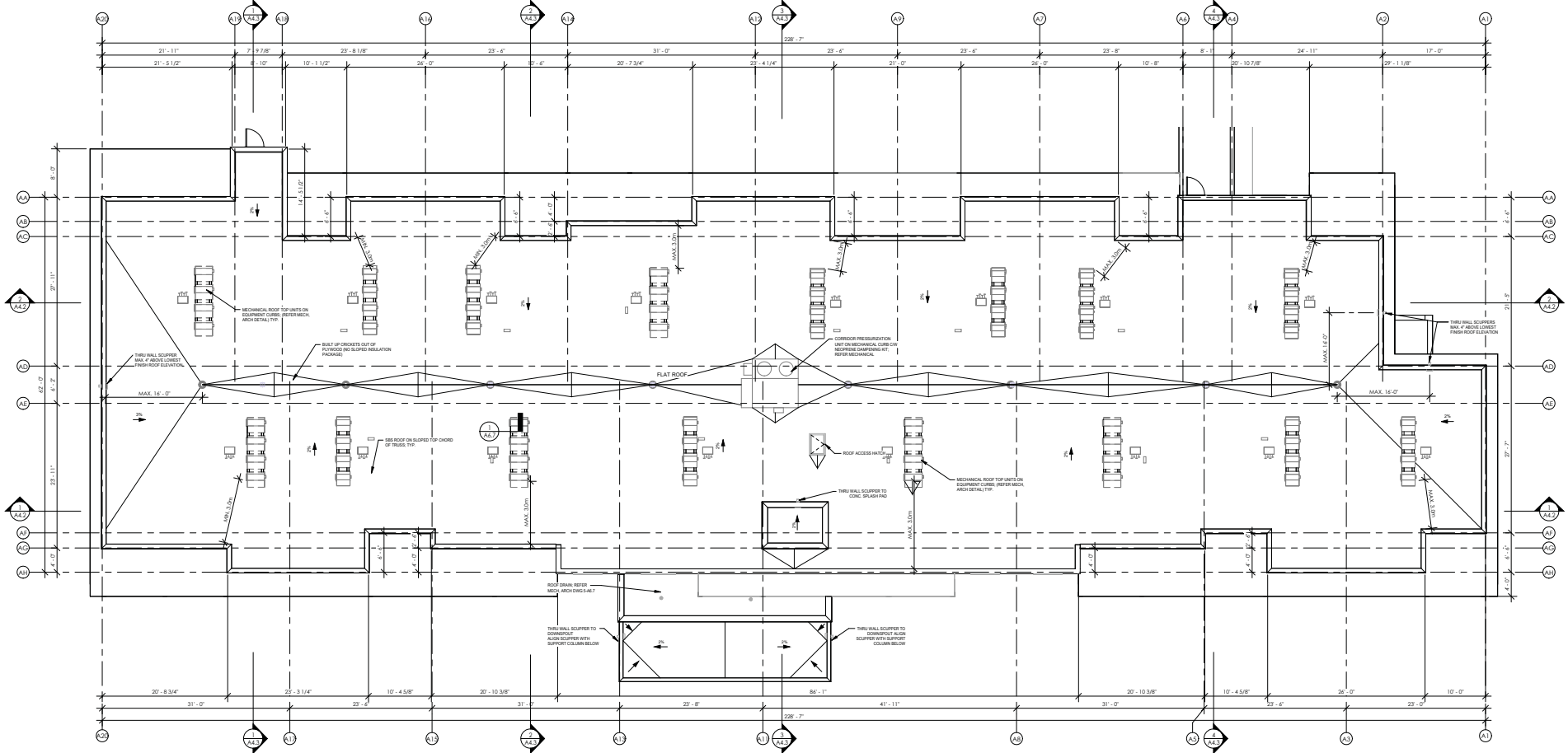
This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**

City of Kelowna  
DEVELOPMENT PLANNING



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**BLOCK A - ROOF PLAN**  
 1/8" = 1'-0"

**RECORD OF ISSUES**

NO.	DATE	DESCRIPTION
1	2024-01-27	ISSUED FOR PERMITS
2	2024-01-27	ISSUED FOR PERMITS
3	2024-01-27	ISSUED FOR PERMITS
4	2024-01-27	ISSUED FOR PERMITS
5	2024-01-27	ISSUED FOR PERMITS
6	2024-01-27	ISSUED FOR PERMITS
7	2024-01-27	ISSUED FOR PERMITS
8	2024-01-27	ISSUED FOR PERMITS
9	2024-01-27	ISSUED FOR PERMITS
10	2024-01-27	ISSUED FOR PERMITS
11	2024-01-27	ISSUED FOR PERMITS
12	2024-01-27	ISSUED FOR PERMITS
13	2024-01-27	ISSUED FOR PERMITS
14	2024-01-27	ISSUED FOR PERMITS
15	2024-01-27	ISSUED FOR PERMITS
16	2024-01-27	ISSUED FOR PERMITS
17	2024-01-27	ISSUED FOR PERMITS
18	2024-01-27	ISSUED FOR PERMITS
19	2024-01-27	ISSUED FOR PERMITS
20	2024-01-27	ISSUED FOR PERMITS

**RECORD OF REVISIONS**

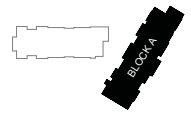
NO.	DATE	DESCRIPTION
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2	2024-01-27	ISSUED FOR PERMITS
3	2024-01-27	ISSUED FOR PERMITS
4	2024-01-27	ISSUED FOR PERMITS
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18	2024-01-27	ISSUED FOR PERMITS
19	2024-01-27	ISSUED FOR PERMITS
20	2024-01-27	ISSUED FOR PERMITS

Project  
**CLIFTON MULTIFAMILY RENTAL**  
 CIVIC ADDRESS  
 1402 CAROL GLEN CT, KELOWNA, BC (BUILDING A)  
 1408 CAROL GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title  
**BLOCK A - ROOF PLAN**

Job Number: 22-1085  
 Date: 2024-03-05  
 Scale: 1/8" = 1'-0"  
 Revision Number: A  
 Drawing Number: A2.7

**SCHEDULE A**  
 This forms part of application  
 # DP23-0214 DVP23-0215  
 City of Kelowna DEVELOPMENT PLANNING  
 Planner Initials: TC







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Record of Issues

NO.	DATE	DESCRIPTION
1	2023/01/27	ISSUED FOR PERMIT
2	2023/01/27	ISSUED FOR PERMIT
3	2023/01/27	ISSUED FOR PERMIT
4	2023/01/27	ISSUED FOR PERMIT
5	2024/01/05	ISSUED FOR PERMIT
6	2024/01/05	ISSUED FOR PERMIT
7	2024/01/05	ISSUED FOR PERMIT
8	2024/01/05	ISSUED FOR PERMIT
9	2024/01/05	ISSUED FOR PERMIT
10	2024/01/05	ISSUED FOR PERMIT

Record of Revisions

NO.	DATE	DESCRIPTION
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8	2024/01/05	ISSUED FOR PERMIT
9	2024/01/05	ISSUED FOR PERMIT
10	2024/01/05	ISSUED FOR PERMIT

Project

CLIFTON MULTIFAMILY RENTAL

CIVIC ADDRESS  
1402 CARA GLEN CT, KELOWNA, BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title  
BLOCK B - LEVEL 0 - PARKADE PLAN

Job Number: 22-1085

Date: 2024-03-05

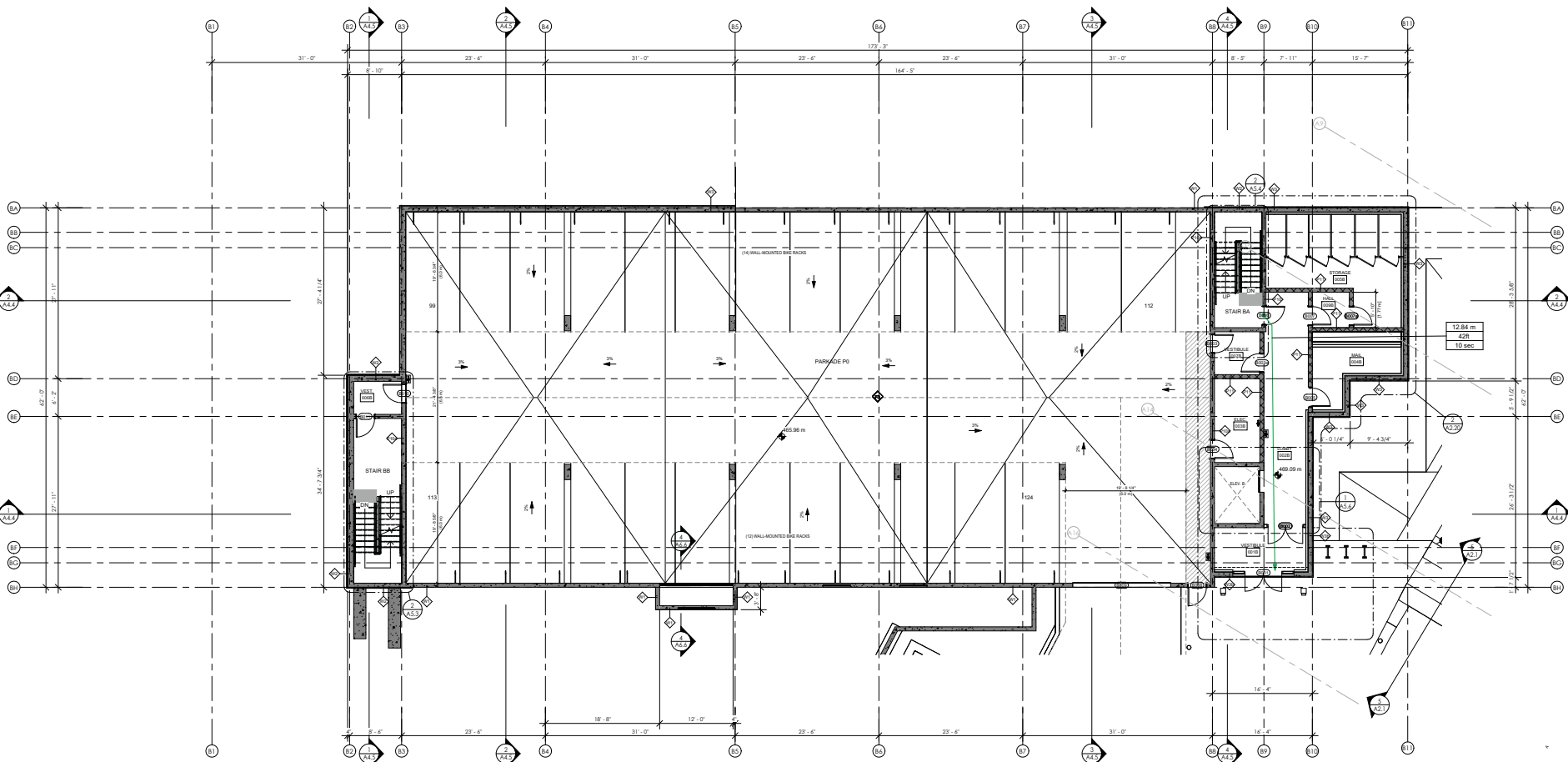
Scale: 1/8" = 1'-0"

Revision Number: A

Drawing Number

2024-03-05 10:35 AM

A2.8



BLOCK B - LEVEL 0  
1/8" = 1'-0"

BICYCLE PARKING

	NO. OF UNITS	MULTIPLIER	REQ'D	PROVIDED
BONUS LONG-TERM PARKING	STUDIO/1...	73	1.25	91.25
	2 BEDROOM	39	1.5	58.5
	3 BEDROOM	0	2	0
REQ'D SHORT-TERM			6.0 PER ENTRANCE	12
LONG-TERM TOTAL			150	162
SHORT-TERM TOTAL			12	12
GROUND-ANCHORED	75 (50%)		90 (55.6%)	
WALL-MOUNTED	75 (50%)		72 (44.4%)	
TOTAL	150		162	

PARKING

	TOTAL UNITS	PARKING...	PARKING REQ'D
1 BEDROOM	73	1.2	87.6
2 BEDROOM	39	1.4	54.6
BASE PARKING SUB-TOTAL			142.2
VISITOR SPACES		0.14	15.68
SUB-TOTAL	112		157.88
BIKE PARKING INCENTIVE		3% REDUCTION	-5
CAR SHARE PROGRAM PROVIDED		0% REDUCTION	-15.8
RENTAL HOUSING INCENTIVE		10% REDUCTION	-13.7
TOTAL			123.3
SPACE REQUIREMENTS	REQ'D	PROVIDED	
REGULAR SIZE PARKING FOR...	65 (47.4%)	80 (64.5%)	
SMALL SIZE PARKING FOR...	68 (49.6%)	45 (32.6%)	
ACCESSIBLE PARKING	3 (2.2%)	3 (2.2%)	
VAN ACCESSIBLE PARKING	1 (0.7%)	1 (0.7%)	
TOTAL	137	138	

**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials: TC





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2	2023-08-01	REVISION FOR PERMITS
3	2023-08-01	CLIENT REVIEW
4	2023-08-01	DEVELOPMENT PERMIT
5	2024-01-05	ISSUED FOR SIGN REVIEW
6	2024-01-05	REVISION FOR SIGN REVIEW
7	2024-01-05	REVISION FOR SIGN REVIEW
8	2024-04-16	ISSUED FOR BUILDING PERMIT
9	2024-04-16	REVISION FOR BLDG
10	2024-05-02	REVISION FOR BLDG

NO.	DATE	DESCRIPTION
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Project  
**CLIFTON  
MULTIFAMILY  
RENTAL**

CIVIC ADDRESS  
1402 CARA GLEN CT, KELOWNA,  
BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA,  
BC (BUILDING B)

Sheet Title  
**BLOCK B - LEVEL 1 -  
FLOOR PLAN**

Job Number 22 1085

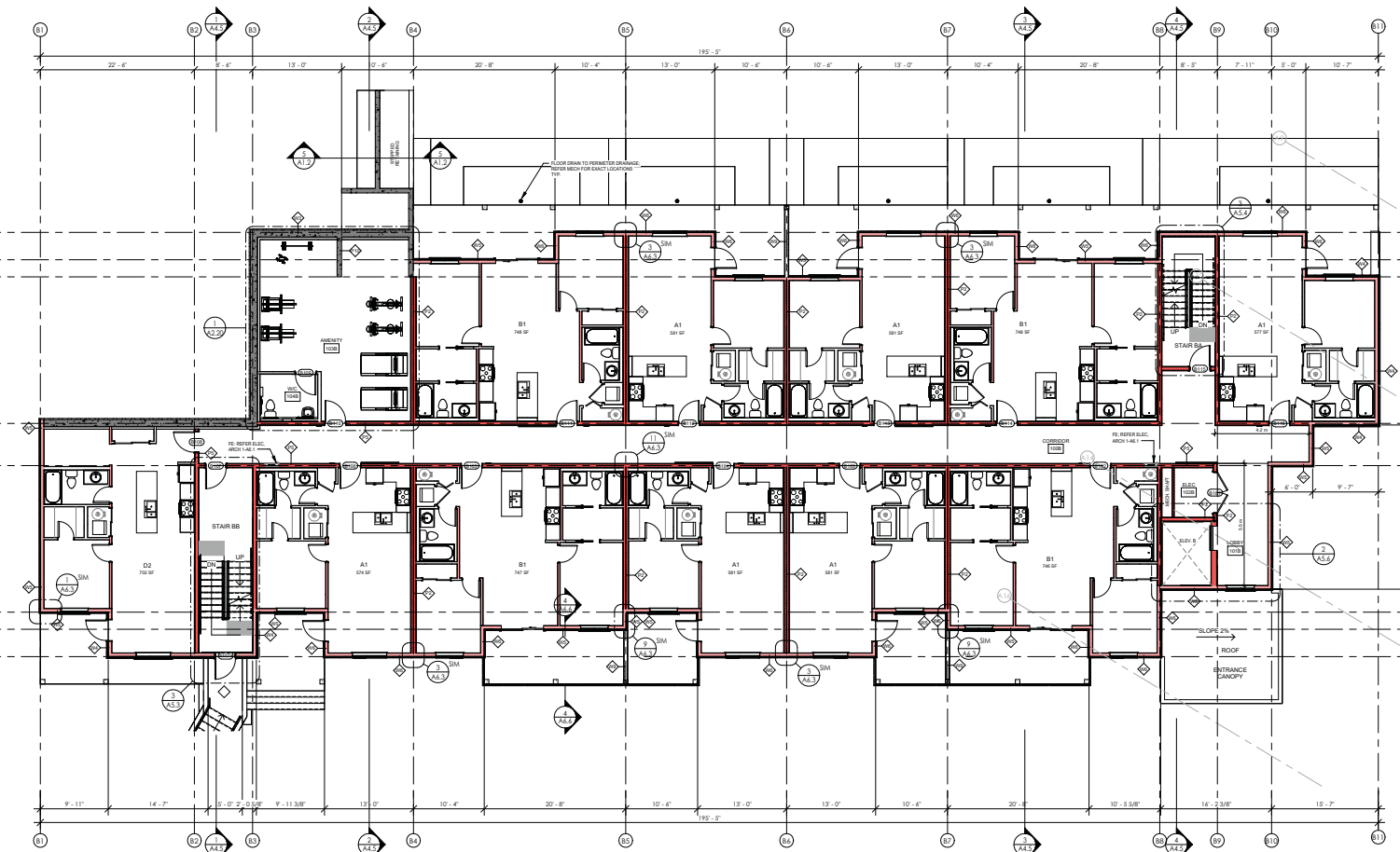
Date 2024-03-05

Scale 1/8" = 1'-0"

Revision Number A

Drawing Number

**A2.9**



**BLOCK B - LEVEL 1**  
1/8" = 1'-0"

FLOOR WALL LINE  
LOAD BEARING WOOD FRAME  
WALLS REFER STRUCTURE

**BLOCK B**

**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**

City of Kelowna  
DEVELOPMENT PLANNING



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2	2024-03-07	SP-CORRECTION
3	2024-03-07	CLIENT REVIEW
4	2024-03-07	DEVELOPMENT PERMIT
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8	2024-03-07	ISSUED FOR PERMIT
9	2024-03-07	ISSUED FOR PERMIT
10	2024-03-07	ISSUED FOR PERMIT

Project  
**CLIFTON  
MULTIFAMILY  
RENTAL**

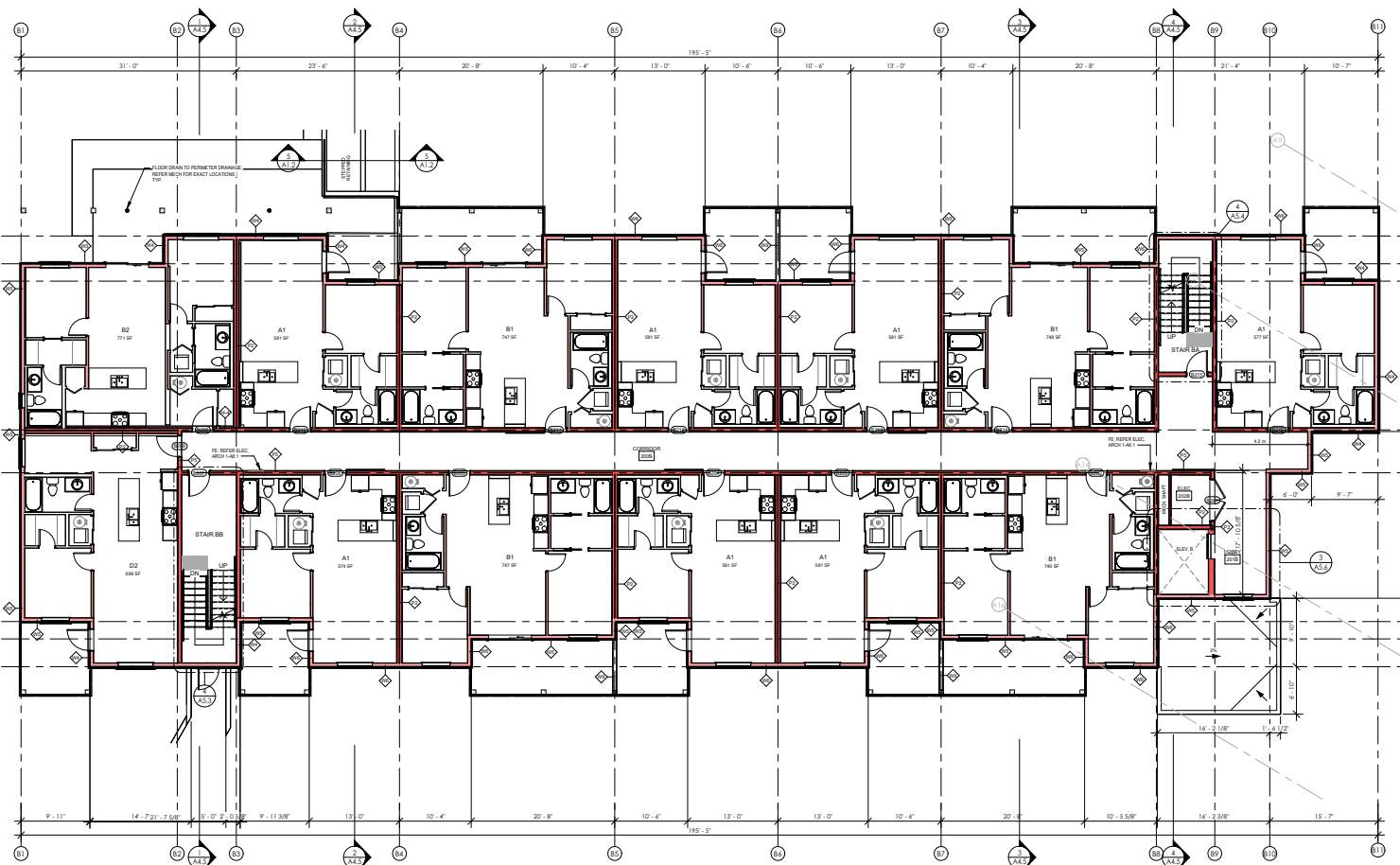
CIVIC ADDRESS  
1402 CARA GLEN CT, KELOWNA,  
BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA,  
BC (BUILDING B)

Sheet Title  
**BLOCK B - LEVEL 2 -  
FLOOR PLAN**

Job Number 22 1085  
Date 2024-03-05  
Scale 1/8" = 1'-0"

Revision Number A  
Drawing Number

**A2.10**



**BLOCK B - LEVEL 2**  
1/8" = 1'-0"

**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials **TC**



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Scale

RECORD OF ISSUES

NO.	DATE	DESCRIPTION
1	2023-01-27	ISSUED FOR PERMITS
2	2023-01-27	SP-CORRECTION PERMITS
3	2023-01-27	CLIENT REVIEW
4	2023-01-27	DEVELOPMENT PERMIT
5	2024-01-05	ISSUED FOR SIGN REVIEW
6	2024-01-05	ISSUED FOR PERMITS
7	2024-01-18	BUILDING PERMIT
8	2024-01-18	TRAILER FOR USE
9	2024-01-22	SP-CORRECTION

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
1	2024-03-05	REVISIONS

Project

CLIFTON  
MULTIFAMILY  
RENTAL

CIVIC ADDRESS:  
1402 CARA GLEN CT, KELOWNA,  
BC (BUILDING A),  
1408 CARA GLEN CT, KELOWNA,  
BC (BUILDING B)

Sheet Title  
BLOCK B - LEVEL 3 -  
FLOOR PLAN

Job Number: 22-1085

Date: 2024-03-05

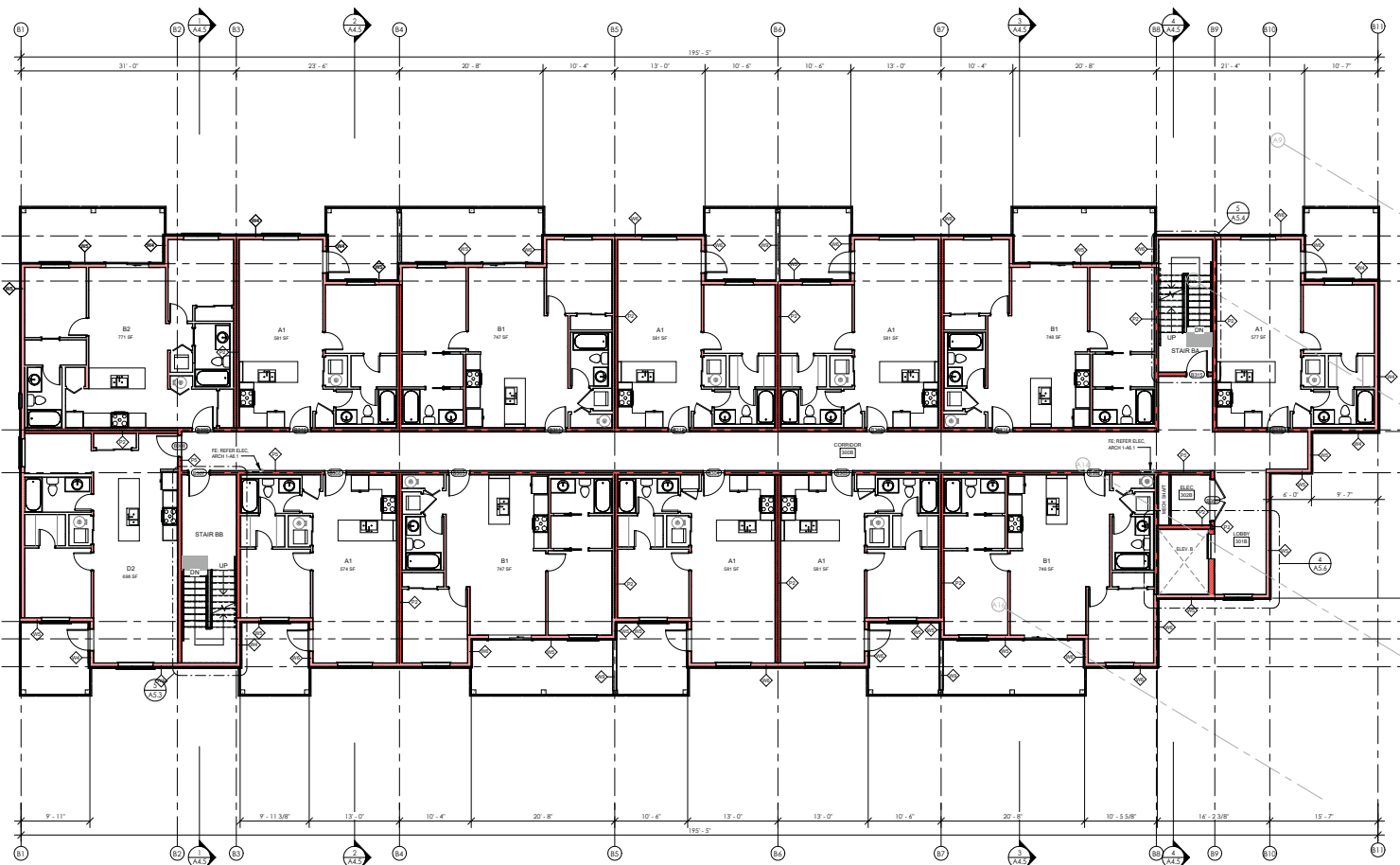
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Revision Number: A

Drawing Number:

A2.11

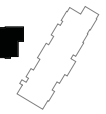
2024-03-23 10:35:05 AM



BLOCK B - LEVEL 3  
1/8" = 1'-0"

FLOOR WALLS  
LOAD BEARING WOOD FRAME  
WALLS REFER STRUCTURE

BLOCK B



**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

City of  
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DEVELOPMENT PLANNING

Planner Initials **TC**



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3	2024-03-05	DEVELOPMENT PERMIT
4	2024-03-05	ISSUED FOR PERMIT
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10	2024-03-05	ISSUED FOR PERMIT

Record of Revisions

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8	2024-03-05	ISSUED FOR PERMIT
9	2024-03-05	ISSUED FOR PERMIT
10	2024-03-05	ISSUED FOR PERMIT

Project

**CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS  
1402 CAROLAN CT, KELOWNA, BC (BUILDING A)  
1408 CAROLAN CT, KELOWNA, BC (BUILDING B)

Sheet Title  
**BLOCK B - LEVEL 4 - FLOOR PLAN**

Job Number: 22-1085

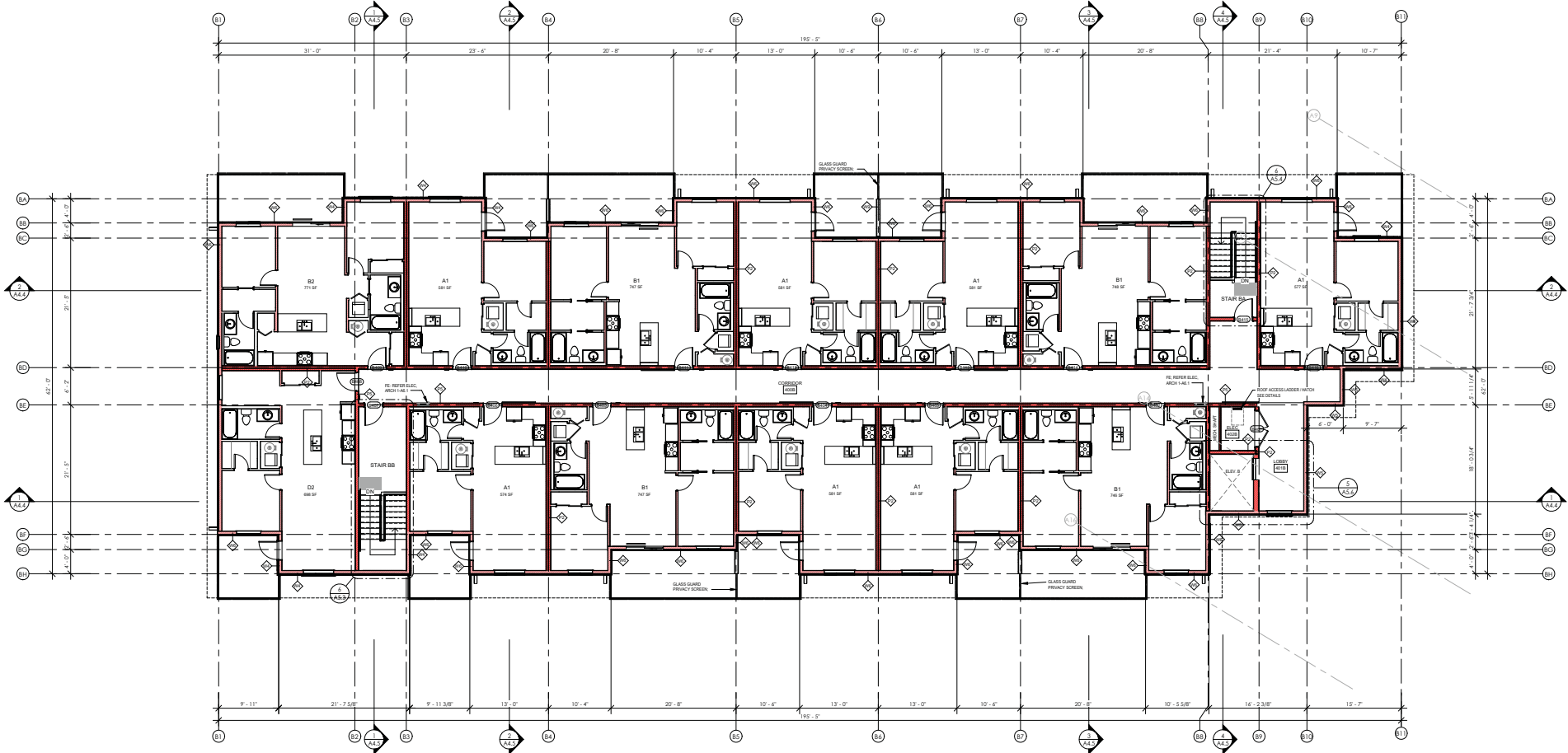
Date: 2024-03-05

Scale: 1/8" = 1'-0"

Revision Number: A

Drawing Number: **A2.12**

108-2024-03-05-02-PM



1 BLOCK B - LEVEL 4  
1/8" = 1'-0"

FLOOR PLAN LEGEND  
 LOAD BEARING WOOD FRAME  
 MULLS, STAIR STRUCTURE

**BLOCK B**

**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials **TC**



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**RECORD OF ISSUES**

NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMIT
2	2023-08-01	SP COORDINATION REVIEW
3	2023-07-05	CLIENT REVIEW
4	2023-06-29	DEVELOPMENT PERMIT
5	2024-01-05	ISSUED FOR SEN REV
6	2023-07-19	ISSUED FOR SEN REV
7	2023-07-14	ISSUED FOR PERMIT
8	2023-04-18	BUILDING PERMIT
9	2023-04-18	BUILDING PERMIT
10	2023-01-22	SP CONTRACT

**RECORD OF REVISIONS**

NO.	DATE	DESCRIPTION
1	2024-03-05	REVISION

**Project**

**CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS:  
1402 CAROLAN CT, KELOWNA, BC (BUILDING A),  
1408 CAROLAN CT, KELOWNA, BC (BUILDING B)

Sheet Title

**BLOCK B - ROOF PLAN**

Job Number: 22-1085

Date: 2024-03-05

Scale: 1/8" = 1'-0"

Revision Number: A

Drawing Number: A2.13

3006-20th Street, Kelowna, BC V1Y 5A7

3006-20th Street, Kelowna, BC V1Y 5A7

3006-20th Street, Kelowna, BC V1Y 5A7

3006-20th Street, Kelowna, BC V1Y 5A7

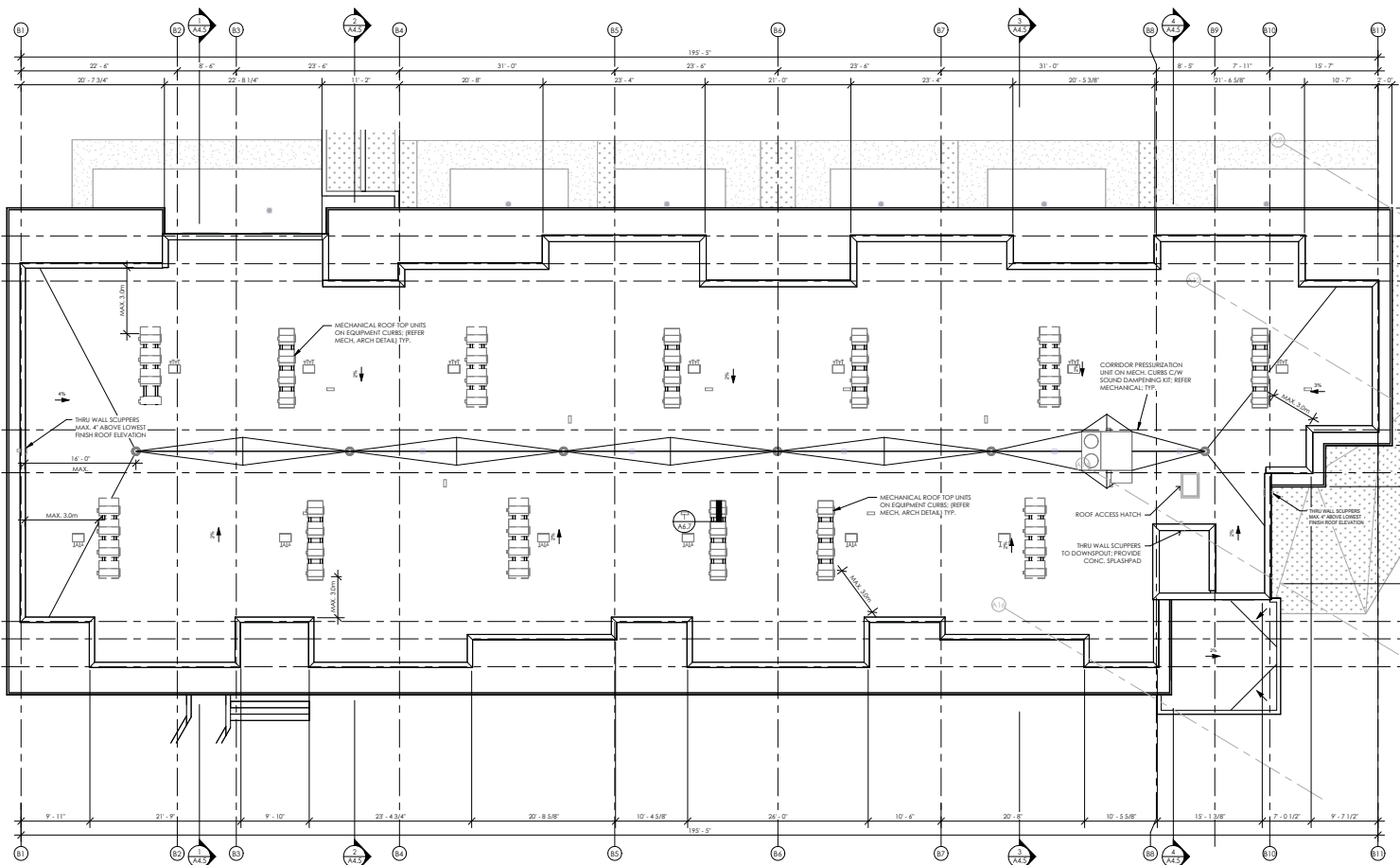
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3006-20th Street, Kelowna, BC V1Y 5A7

3006-20th Street, Kelowna, BC V1Y 5A7

3006-20th Street, Kelowna, BC V1Y 5A7

3006-20th Street, Kelowna, BC V1Y 5A7



**BLOCK B - ROOF PLAN**  
1/8" = 1'-0"

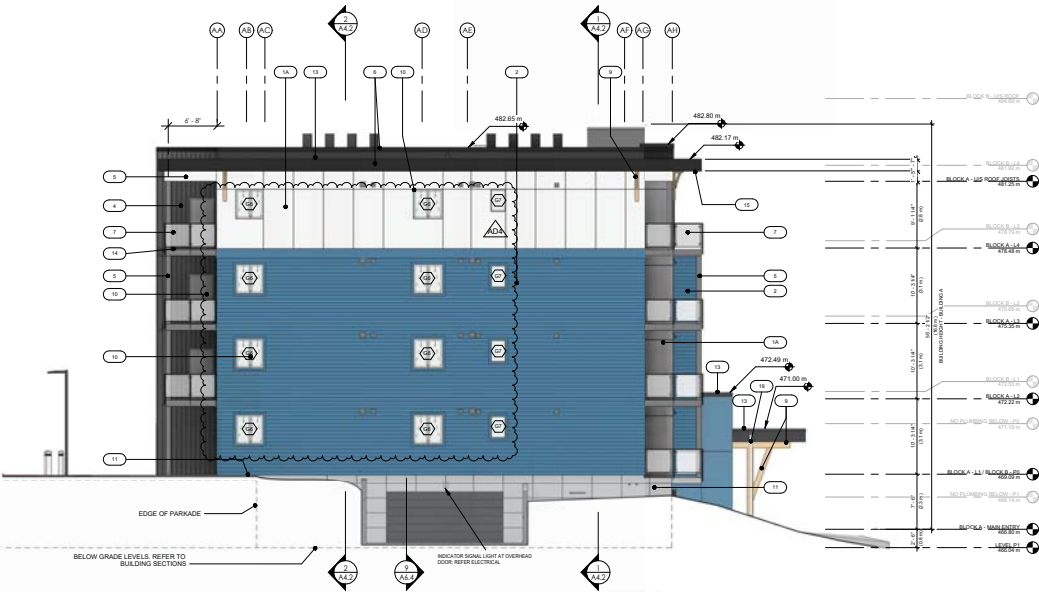
**BLOCK B**

**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials: **TC**



3.1.7 BLOCK A - WEST ELEVATION  
1/8" = 1'-0"



3.1.1 BLOCK A - SOUTH ELEVATION  
1/8" = 1'-0"

**SCHEDULE B**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**

City of Kelowna  
DEVELOPMENT PLANNING

**EXTERIOR FINISH SCHEDULE**

NO.	MATERIAL TYPE COLOUR SELECTION
1	FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE FINISH: WHITE TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
2	FIBRE CEMENT PANEL, SMOOTH COLOUR: BLUE FINISH: BLUE TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
3	FIBRE CEMENT PANEL, SMOOTH COLOUR: GREY FINISH: GREY TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
4	FIBRE CEMENT PANEL, SMOOTH COLOUR: BROWN FINISH: BROWN TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
5	FIBRE CEMENT PANEL, SMOOTH COLOUR: BLACK FINISH: BLACK TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
6	FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE FINISH: WHITE TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
7	FIBRE CEMENT PANEL, SMOOTH COLOUR: BLUE FINISH: BLUE TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
8	FIBRE CEMENT PANEL, SMOOTH COLOUR: GREY FINISH: GREY TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
9	FIBRE CEMENT PANEL, SMOOTH COLOUR: BROWN FINISH: BROWN TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
10	FIBRE CEMENT PANEL, SMOOTH COLOUR: BLACK FINISH: BLACK TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
11	FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE FINISH: WHITE TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
12	FIBRE CEMENT PANEL, SMOOTH COLOUR: BLUE FINISH: BLUE TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
13	FIBRE CEMENT PANEL, SMOOTH COLOUR: GREY FINISH: GREY TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
14	FIBRE CEMENT PANEL, SMOOTH COLOUR: BROWN FINISH: BROWN TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
15	FIBRE CEMENT PANEL, SMOOTH COLOUR: BLACK FINISH: BLACK TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
16	FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE FINISH: WHITE TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
17	FIBRE CEMENT PANEL, SMOOTH COLOUR: BLUE FINISH: BLUE TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
18	FIBRE CEMENT PANEL, SMOOTH COLOUR: GREY FINISH: GREY TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
19	FIBRE CEMENT PANEL, SMOOTH COLOUR: BROWN FINISH: BROWN TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL
20	FIBRE CEMENT PANEL, SMOOTH COLOUR: BLACK FINISH: BLACK TWO FACE SWAP IN BEVEL IN COLOUR TO MATCH PANEL

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**RECORD OF ISSUES**

NO.	DATE	DESCRIPTION
1	2023-02-27	ISSUED FOR P. COORDINATION
2	2023-03-01	RP COORDINATION
3	2023-07-05	CLIENT REVIEW
4	2023-08-29	PREPARED DEVELOPMENT PERMIT
5	2024-01-15	ISSUED FOR SIGN REVIEW
6	2024-01-16	ISSUED FOR DESIGN REVIEW
7	2024-01-16	ISSUED FOR BUILDING PERMIT
8	2024-01-16	ISSUED FOR PERMIT
9	2024-01-16	ISSUED FOR PERMIT
10	2024-01-16	ISSUED FOR PERMIT

**RECORD OF REVISIONS**

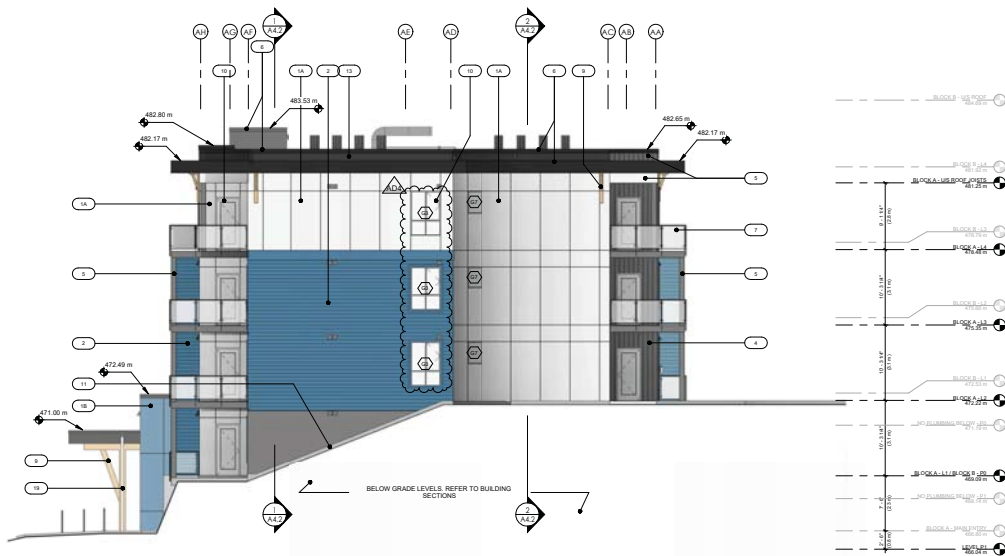
NO.	DATE	DESCRIPTION
1	2024-03-05	As Indicated

Project: **CLIFTON MULTIFAMILY RENTAL**

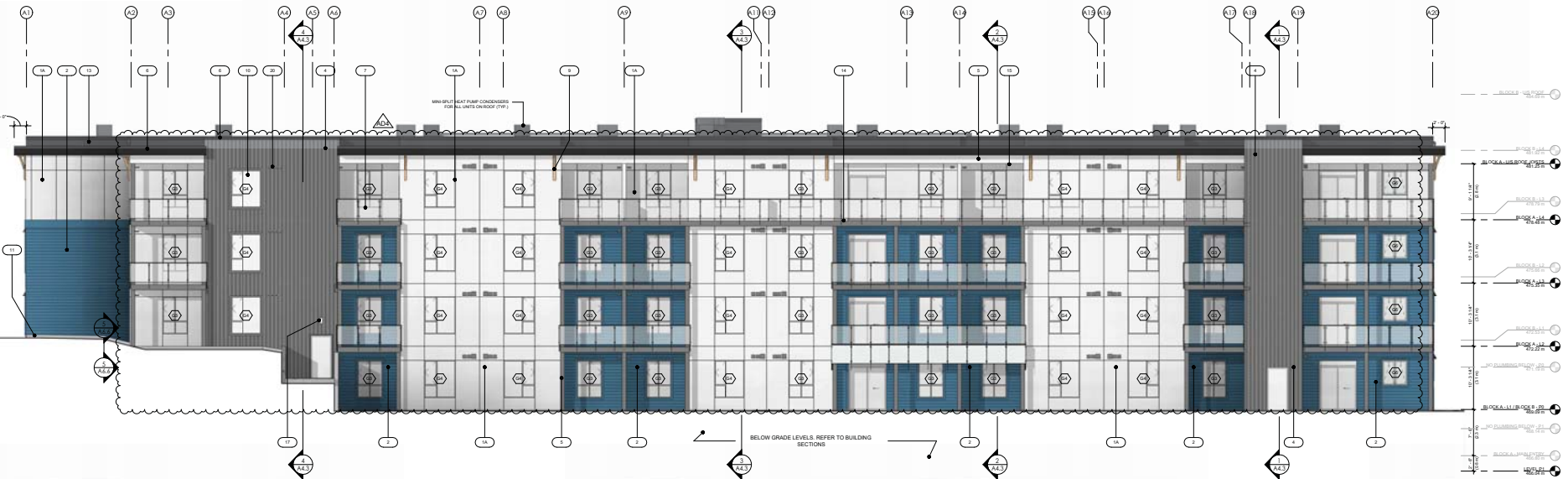
CIVIC ADDRESS: 1402 CAROL GLEN CT, KELOWNA, BC (BUILDING A); 1408 CAROL GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title: **Block A - BUILDING ELEVATIONS**

Job Number: 22 1085  
Date: 2024-03-05  
Scale: As Indicated  
Revision Number: A  
Drawing Number: A3.1



1 BLOCK A - EAST ELEVATION  
1/8" = 1'-0"



2 BLOCK A - NORTH ELEVATION  
1/8" = 1'-0"

## SCHEDULE B

This forms part of application  
# DP23-0214 DVP23-0215

Planner  
Initials

TC

**City of Kelowna**  
DEVELOPMENT PLANNING

### EXTERIOR FINISH SCHEDULE

#	MATERIAL TYPE COLOUR SELECTION
<b>ELEVATION LEGEND:</b>	
1A	FIBRE CEMENT PANEL, SMOOTH COLOUR TYPE: WHITE TWO FACE SWAP IN REGAIN IN COLOUR TO MATCH PANEL
1B	FIBRE CEMENT PANEL, SMOOTH COLOUR TYPE: BROWN BLUE TWO FACE SWAP IN REGAIN IN COLOUR TO MATCH PANEL
1C	FIBRE CEMENT PANEL, SMOOTH COLOUR TYPE: HAZARD OR EQUAL TWO FACE SWAP IN REGAIN IN COLOUR TO MATCH PANEL
2	FIBRE CEMENT BOARD, SMOOTH COLOUR TYPE: BROWN BLUE MANUFACTURE: HAZARD OR EQUAL LAY BEING 3/4" FIBRE CEMENT COLOUR TO MATCH BOARD SMALL LAY BEING
3	FIBRE CEMENT PANEL, SMOOTH COLOUR TYPE: HAZARD OR EQUAL TWO FACE SWAP IN REGAIN IN COLOUR TO MATCH BOARD
4	FIBRE CEMENT PANEL, SMOOTH COLOUR TYPE: HAZARD OR EQUAL TWO FACE SWAP IN REGAIN IN COLOUR TO MATCH BOARD TWO FACE SWAP IN REGAIN IN COLOUR TO MATCH BOARD
5	FIBRE CEMENT TRIM PANEL, CLAD COLUMN (TYP) - BEAM COLOUR: HAZARD OR EQUAL MANUFACTURE: HAZARD OR EQUAL
6	PRE-FINISHED METAL FLASHINGS COLOUR: HAZARD OR EQUAL MATCH ADJACENT CEMENT PANEL
7	GLASS GLAZING PANEL, FRAME MOUNTED COLOUR: BLACK
8	NOT USED
9	ENTRY COLUMN DECORATIVE WOOD BRACKETS MATERIAL: GLENEAGLE ALSO STRUCTURAL
10	WALL FINISHING AND PARTITIONS MATERIAL: WHITE FINISH COLOUR
11	CONCRETE FACED INSULATION PANELS
12	ALUMINUM STOREFRONT WINDOWS - DOORS COLOUR: BLACK
13	BLACK 3/4" X 3/4" JOIST ROOF
14	VINYL COCKING AT BALCONIES
15	VENTED ALUMINUM SOFFITS
16	METAL FINISHED VENTS - COLOUR DARK GREY
17	ARCHITECTURAL WALL SCONCE - REFER ELECTRICAL COLOUR BLACK
18	VERTICAL WOOD STUD METAL BEAMS - COLOUR BLENDING WITH WINDOWS (SEE AT BUILDING A) ENTRY CONSOLE (SEE VENT STUDS)
19	PRE-FINISHED ALUMINUM DOWNPOUT CONNECTED TO SUBSISTANT DRAINAGE NETWORK
20	WALL VENTS REFER ALSO MECHANICAL

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RECORD OF ISSUES	
NO.	DATE / DESCRIPTION
1	2024.01.27 ISSUED FOR PERMIT
2	2024.02.01 RE-CORRECTION
3	2024.02.05 CLIENT REVIEW
4	2024.02.29 DEVELOPMENT PERMIT
5	2024.03.15 ISSUED FOR SIGN REV.
6	2024.03.19 REVISIONS FOR PERMIT
7	2024.03.24 ISSUED FOR BUILDING PERMIT
8	2024.04.18 ISSUED FOR PERMIT
9	2024.05.02 ISSUED FOR PERMIT

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RECORD OF REVISIONS	
NO.	DATE / DESCRIPTION
1	2024.03.15 ISSUED FOR PERMIT
2	2024.03.19 REVISIONS FOR PERMIT
3	2024.03.24 ISSUED FOR BUILDING PERMIT
4	2024.04.18 ISSUED FOR PERMIT
5	2024.05.02 ISSUED FOR PERMIT

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Project: **CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS: 1402 CARL GLEN CT, KELOWNA, BC (BUILDING A), 1408 CARL GLEN CT, KELOWNA, BC (BUILDING B)

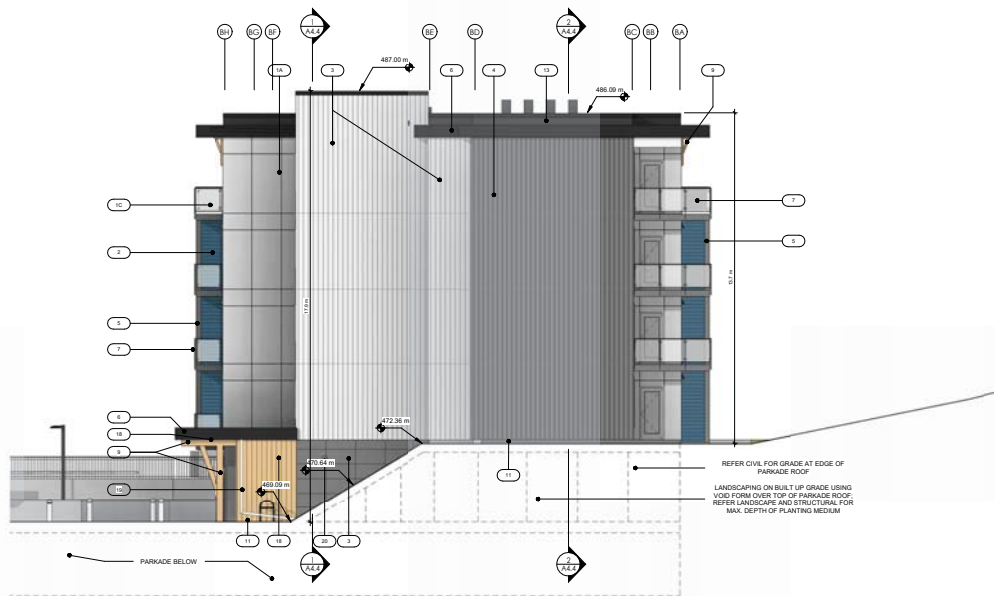
Sheet Title: **BLOCK A - BUILDING ELEVATIONS**

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Job Number: 22 1085	Date: 2024-03-05
Scale: As Indicated	Revision Number: A
Drawn Number:	Check Number:

A3.2





**1** BLOCK B - SOUTH ELEVATION  
1/8" = 1'-0"

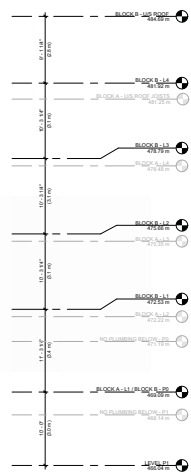
**SCHEDULE B**  
This forms part of application # DP23-0214 DVP23-0215  
City of Kelowna DEVELOPMENT PLANNING  
Planner Initials: TC

**EXTERIOR FINISH SCHEDULE**

**1** MATERIAL TYPE  
COLOUR SELECTION

**ELEVATION LEGEND:**

- 1 FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 2 FIBRE CEMENT PANEL, SMOOTH COLOUR: BLUE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 3 FIBRE CEMENT PANEL, SMOOTH COLOUR: GREY; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 4 FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 5 FIBRE CEMENT PANEL, SMOOTH COLOUR: BLUE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 6 FIBRE CEMENT PANEL, SMOOTH COLOUR: GREY; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 7 FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 8 FIBRE CEMENT PANEL, SMOOTH COLOUR: BLUE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 9 FIBRE CEMENT PANEL, SMOOTH COLOUR: GREY; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 10 FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 11 FIBRE CEMENT PANEL, SMOOTH COLOUR: BLUE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 12 FIBRE CEMENT PANEL, SMOOTH COLOUR: GREY; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 13 FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 14 FIBRE CEMENT PANEL, SMOOTH COLOUR: BLUE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 15 FIBRE CEMENT PANEL, SMOOTH COLOUR: GREY; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 16 FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 17 FIBRE CEMENT PANEL, SMOOTH COLOUR: BLUE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 18 FIBRE CEMENT PANEL, SMOOTH COLOUR: GREY; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 19 FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 20 FIBRE CEMENT PANEL, SMOOTH COLOUR: BLUE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL



**1** BLOCK B - WEST ELEVATION  
1/8" = 1'-0"

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**RECORD OF ISSUES**

NO.	DATE	DESCRIPTION
1	2023-01-27	ISSUED FOR PERMIT
2	2023-01-27	SP-COORDINATION REVISION
3	2023-01-27	CLIENT REVIEW
4	2023-01-27	PERMITTING DEVELOPMENT PERMIT
5	2024-01-15	ISSUED FOR SIGN REVIEW
6	2024-01-15	ISSUED FOR PERMIT REVIEW
7	2024-01-15	ISSUED FOR BUILDING PERMIT
8	2024-01-15	ISSUED FOR PERMIT REVIEW
9	2024-01-15	ISSUED FOR PERMIT REVIEW
10	2024-01-15	ISSUED FOR PERMIT REVIEW

**RECORD OF REVISIONS**

NO.	DATE	DESCRIPTION
1	2024-01-15	ISSUED FOR PERMIT REVIEW

Project: **CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS:  
1402 CAROLAN CT, KELOWNA, BC (BUILDING A)  
1408 CAROLAN CT, KELOWNA, BC (BUILDING B)

Sheet Title: **Block B - BUILDING ELEVATIONS**

Job Number: 22-1085  
Date: 2024-03-05  
Scale: As Indicated  
Revision Number: A  
Drawing Number:

**A3.3**

**SCHEDULE B**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**

**EXTERIOR FINISH SCHEDULE**

**MATERIAL TYPE / COLOUR SELECTION**

**ELEVATION LEGEND:**

- 1A FIBRE CEMENT PANEL SMOOTH COLOUR: WHITE; WHITE TRIM; TWO PACE SWAP IN REAR. IN COLOUR TO MATCH PANEL.
- 1B FIBRE CEMENT PANEL SMOOTH COLOUR: BLUE; EXTERIOR BLUE; WHITE TRIM; TWO PACE SWAP IN REAR. IN COLOUR TO MATCH PANEL.
- 1C FIBRE CEMENT PANEL SMOOTH COLOUR: GREY; GREY; WHITE TRIM; TWO PACE SWAP IN REAR. IN COLOUR TO MATCH PANEL.
- 2 FIBRE CEMENT SIGN SMOOTH COLOUR: BLUE; WHITE TRIM; 1/2" FIBRE CEMENT COLOUR TO MATCH SIGN; 1/2" FIBRE CEMENT COLOUR TO MATCH SIGN.
- 3 FIBRE CEMENT PANEL SMOOTH COLOUR: WHITE; WHITE TRIM; 1/2" FIBRE CEMENT COLOUR TO MATCH SIGN; 1/2" FIBRE CEMENT COLOUR TO MATCH SIGN.
- 4 FIBRE CEMENT PANEL SMOOTH COLOUR: WHITE; WHITE TRIM; 1/2" FIBRE CEMENT COLOUR TO MATCH SIGN; 1/2" FIBRE CEMENT COLOUR TO MATCH SIGN.
- 5 FIBRE CEMENT TRIM PANEL (CLAD COLUMN / TRIM) - BEAM COLOUR: WHITE; WHITE TRIM; 1/2" FIBRE CEMENT COLOUR TO MATCH SIGN.
- 6 FIBRE CEMENT TRIM PANEL (CLAD COLUMN / TRIM) - BEAM COLOUR: WHITE; WHITE TRIM; 1/2" FIBRE CEMENT COLOUR TO MATCH SIGN.
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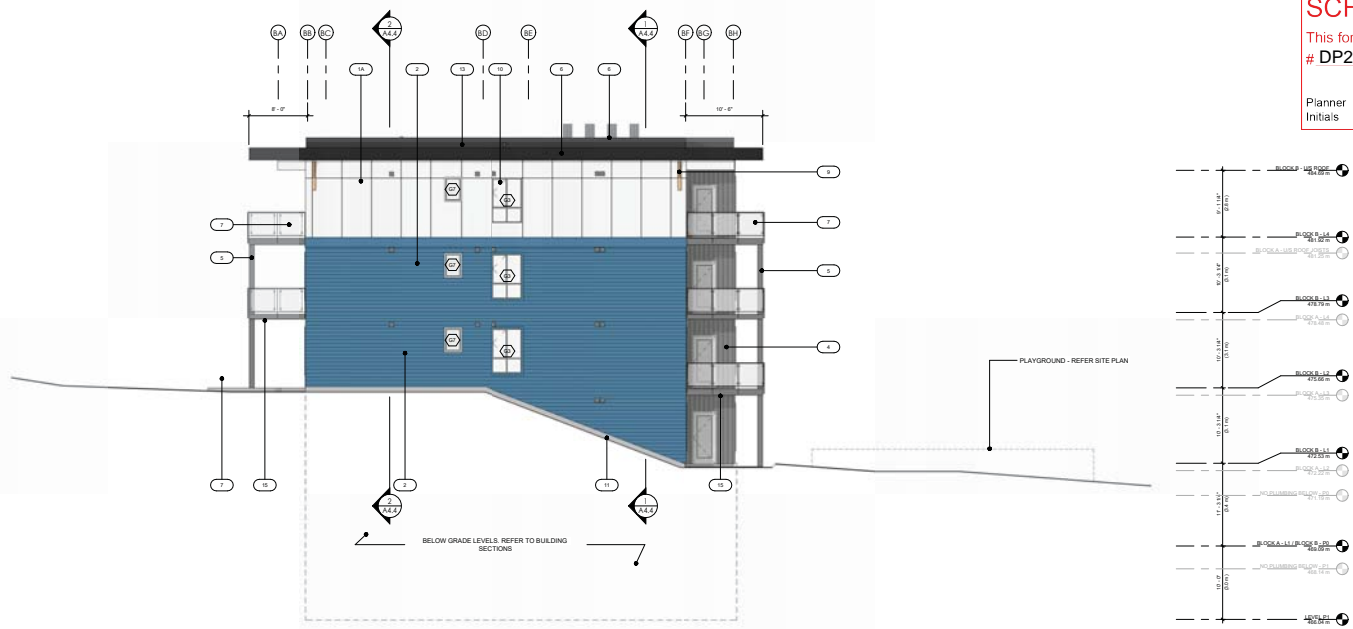
NO.	DATE	DESCRIPTION
1	2023-02-27	ISSUED FOR PERMIT
2	2023-03-01	REVISION
3	2023-03-01	CLIENT REVIEW
4	2023-03-01	CLIENT REVIEW
5	2024-01-15	ISSUED FOR PERMIT
6	2024-01-15	ISSUED FOR PERMIT
7	2024-01-15	ISSUED FOR PERMIT
8	2024-01-15	ISSUED FOR PERMIT
9	2024-01-15	ISSUED FOR PERMIT
10	2024-01-15	ISSUED FOR PERMIT

Project: **CLIFTON MULTIFAMILY RENTAL**

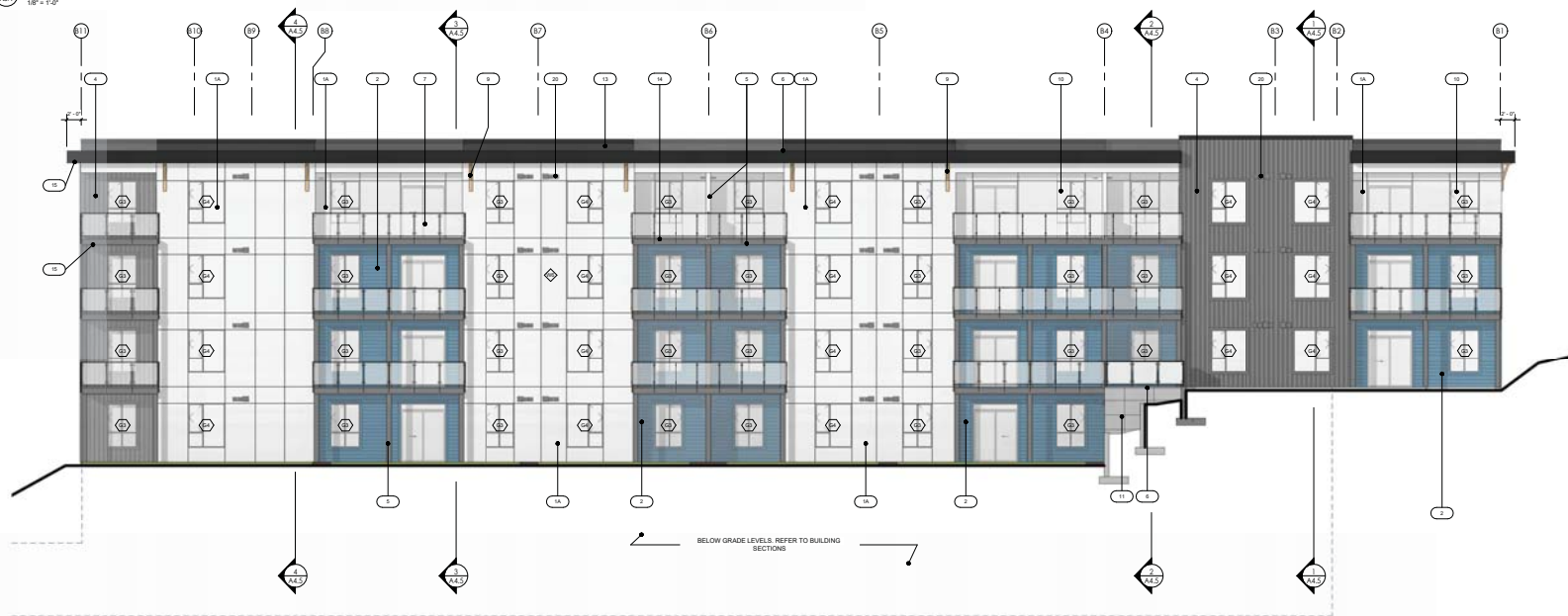
CIVIC ADDRESS: 1402 CARA GLEN CT, KELOWNA, BC (BUILDING A); 1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title: **BLOCK B - BUILDING ELEVATIONS**

Job Number: 22-1085  
Date: 2024-03-05  
Scale: As Indicated  
Revision Number: A  
Drawing Number: A3.4



**2** BLOCK B - NORTH ELEVATION  
1/8" = 1'-0"



**3** BLOCK B - EAST ELEVATION  
1/8" = 1'-0"

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Record of Issues

NO.	DATE	DESCRIPTION
1	2023-01-27	ISSUED FOR PERMITS
2	2023-01-27	RF COORDINATION REVIEW
3	2023-07-05	CLIENT REVIEW
4	2023-08-29	PERMITS DEVELOPMENT PERMIT
5	2024-01-15	ISSUED FOR SIGN REVIEW
6	2024-03-18	ISSUED FOR DEVELOPMENT PERMIT
7	2024-03-18	ISSUED FOR BUILDING PERMIT
8	2024-03-18	ISSUED FOR SIGN
9	2024-03-18	ISSUED FOR SIGN
10	2024-03-22	ISSUED FOR SIGN

Record of Revisions

NO.	DATE	DESCRIPTION
1	2024-03-18	ISSUED FOR SIGN

Project Information

Project: CLIFTON MULTIFAMILY RENTAL

CIVIC ADDRESS: 1402 CAROLAN CT, KELOWNA, BC (BUILDING A); 1408 CAROLAN CT, KELOWNA, BC (BUILDING B)

Sheet Title: BUILDING SECTIONS - SITE

Job Number: 22-1085

Date: 2024-03-05

Scale: As Indicated

Revision Number: A

Drawing Number: A4.0

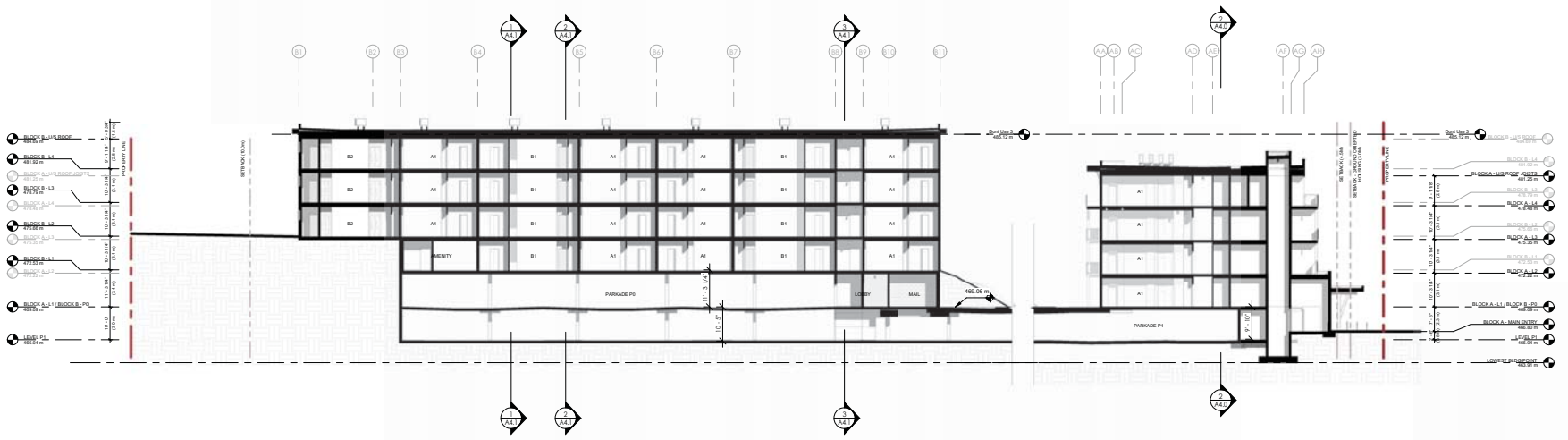
**SCHEDULE B**

This forms part of application # DP23-0214 DVP23-0215

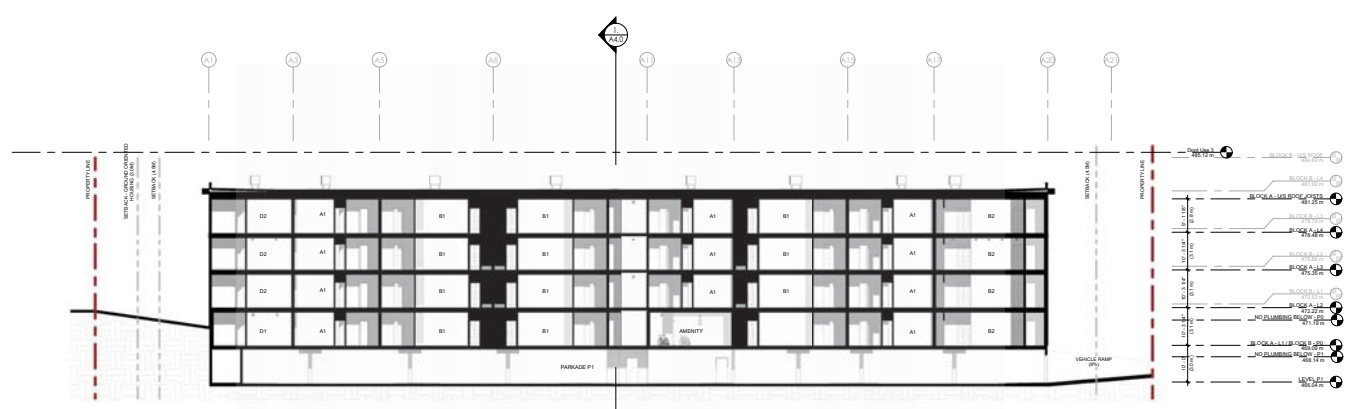
City of Kelowna DEVELOPMENT PLANNING

Planner Initials: TC

NOTE: THESE SITE SECTIONS ARE NOT TO BE USED TO ACCEPT ANY CONSTRUCTION METHODOLOGY AND ARE ONLY FOR THE PURPOSE OF REGULATING THE BUILDING REPORT ON THE SITE.



**1** BLOCK A & B - LONG SECTION  
 1/8" = 1'-0"



**2** BUILDING A - SECTION  
 1/8" = 1'-0"

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Scale

**RECORD OF ISSUES**

NO.	DATE	DESCRIPTION
1	2023.04.27	ISSUED FOR PERMIT COORDINATION
2	2023.05.01	RF COORDINATION RESPONSE
3	2023.07.05	CLIENT REVIEW
4	2023.08.29	PRELIMINARY DEVELOPMENT PERMIT
5	2024.01.05	ISSUED FOR SIGN REVIEW
6	2024.03.07	REVISION FOR REVIEW
7	2024.03.04	NOTES FOR BUILDING PERMIT
8	2024.04.16	ISSUED FOR PERMIT
9	2024.05.22	ISSUED FOR PERMIT

**RECORD OF REVISIONS**

NO.	DATE	DESCRIPTION
1	24.05.19	ISSUED FOR PERMIT

**RECORD OF REVISIONS**

Project
CLIFTON MULTIFAMILY RENTAL

CIVIC ADDRESS  
 1402 CARA GLEN CT, KELOWNA, BC (BUILDING A)  
 1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title  
**BUILDING SECTIONS - SITE**

Job Number  
 22-1085

Date  
 2024-03-05

Scale  
 As Indicated

Revision Number  
 A

Drawing Number  
 A4.1

NOTE  
 THESE SITE SECTIONS ARE NOT TO BE USED TO ACCEPT ANY CONSTRUCTION TECHNOLOGY AND ARE ONLY FOR THE PURPOSE OF RESUBMITTING THE BUILDING PERMIT ON THE SITE.

Planner Initials  
 TC

City of Kelowna  
 DEVELOPMENT PLANNING

SCHEDULE B

This forms part of application # DP23-0214 DVP23-0215

Job Number 22-1085

Date 2024-03-05

Scale As Indicated

Revision Number A

Drawing Number A4.1

NOTE

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Planner Initials TC

City of Kelowna DEVELOPMENT PLANNING

SCHEDULE B

This forms part of application # DP23-0214 DVP23-0215

Job Number 22-1085

Date 2024-03-05

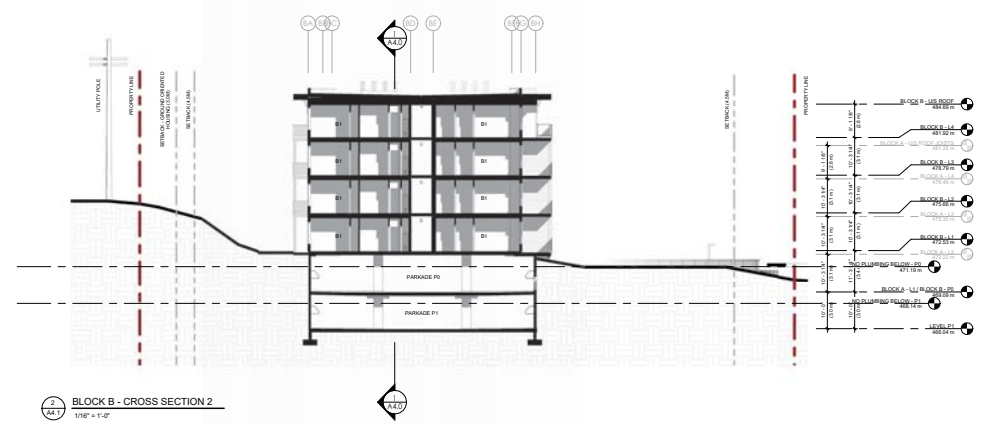
Scale As Indicated

Revision Number A

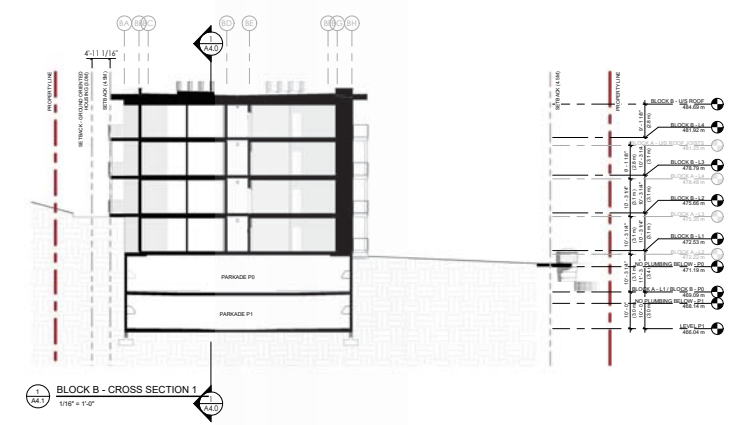
Drawing Number A4.1

NOTE

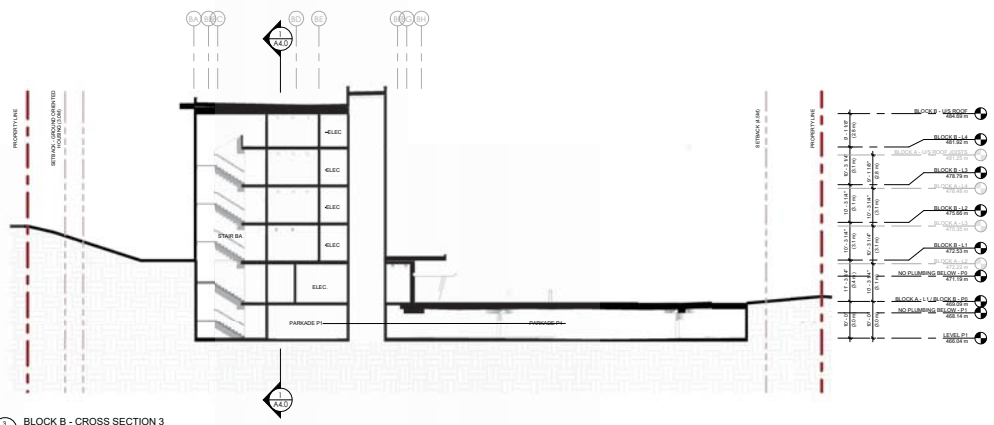
THESE SITE SECTIONS ARE NOT TO BE USED TO ACCEPT ANY CONSTRUCTION TECHNOLOGY AND ARE ONLY FOR THE PURPOSE OF RESUBMITTING THE BUILDING PERMIT ON THE SITE.



2 BLOCK B - CROSS SECTION 2  
 1/8" = 1'-0"



1 BLOCK B - CROSS SECTION 1  
 1/8" = 1'-0"



3 BLOCK B - CROSS SECTION 3  
 1/8" = 1'-0"

**SCHEDULE B**

This forms part of application  
# DP23-0214 DVP23-0215

City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials TC

- NOTE:
- CONFIRM ALL LOAD-BEARING RATED INTERIOR WALLS WITH STRUCTURAL PLANE
  - DROPPED CEILING AND BULKHEADS NOT SHOWN IN SECTION REFER TO ENLARGED NODES
  - DIMENSIONS NOTED INSIDE HOISTWAY ARE FROM FINISHED FACE OF DRYWALL

**FIRE SEPARATION LEGEND**

---	TRAVEL DISTANCE TO FIRE EXIT
---	FIRE SEPARATION WITH 60 MINUTE FIRE RESISTANCE
---	FIRE SEPARATION WITH 90 MINUTE FIRE RATING
---	FIRE SEPARATION WITH 120 MINUTE FIRE RESISTANCE

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p: 778.556.4567  
www.bluegreenbc.com

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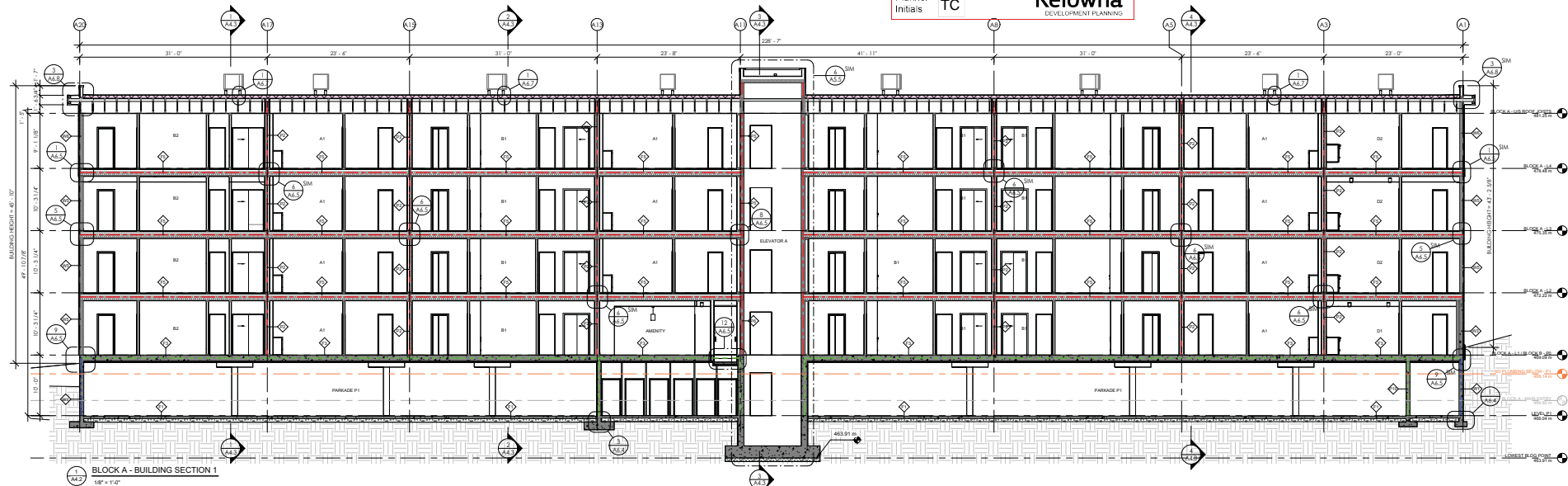
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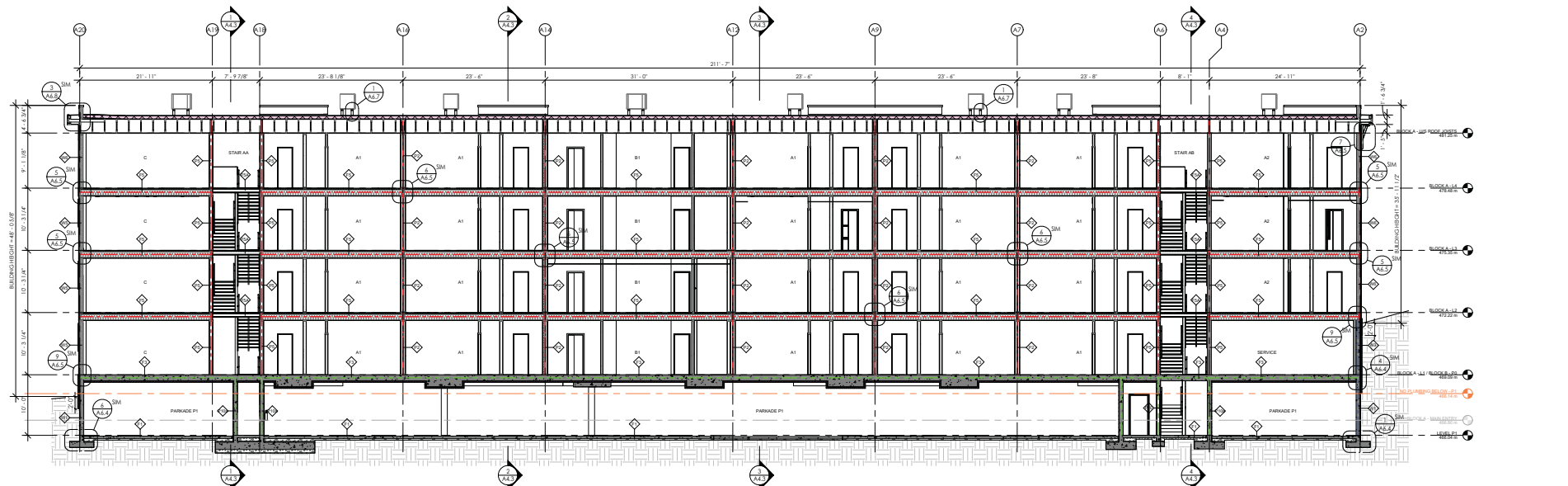
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RECORD OF ISSUES

NO.	DATE	DESCRIPTION
1	2023-04-27	ISSUED FOR PERMIT
2	2023-05-01	REVISION FOR PERMIT
3	2023-05-01	CLIENT REVIEW
4	2023-05-29	DEVELOPMENT PERMIT
5	2024-03-05	ISSUED FOR SIGN REVIEW
6	2024-03-05	REVISION FOR SIGN REVIEW
7	2024-03-05	ISSUED FOR BUILDING PERMIT
8	2024-03-05	REVISION FOR BUILDING PERMIT
9	2024-03-05	ISSUED FOR RECORD
10	2024-03-05	REVISION FOR RECORD



**BLOCK A - BUILDING SECTION 1**  
1/8" = 1'-0"



**BLOCK A - BUILDING SECTION 2**  
1/8" = 1'-0"

**RECORD OF REVISIONS**

NO.	DATE	DESCRIPTION
1	2024-03-05	ISSUED FOR BUILDING PERMIT
2	2024-03-05	REVISION FOR BUILDING PERMIT

Project  
**CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS  
1402 CAROL GLEN CT, KELOWNA, BC (BUILDING A)  
1408 CAROL GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title  
**BUILDING SECTIONS - BLOCK A**

Job Number: 22-1085  
Date: 2024-03-05  
Scale: As Indicated  
Revision Number: A  
Drawing Number:

**A4.2**

**SCHEDULE B**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**

**City of Kelowna**  
DEVELOPMENT PLANNING

- NOTE:
- CONFIRM ALL LOAD-BEARING RATED INTERIOR WALLS WITH STRUCTURAL PLANS
  - DROPPED CEILING AND BULKHEADS NOT SHOWN IN SECTION REFER TO ENLARGED NOTES
  - DIMENSIONS NOTED INSIDE HOISTWAY ARE FROM FINISHED FACE OF DRYWALL

FIRE SEPARATION LEGEND	
---	TRAVEL DISTANCE TO FIRE EXIT
---	FIRE SEPARATION WITH 60 MINUTE FIRE RESISTANCE
---	FIRE SEPARATION WITH 90 MINUTE FIRE RATING
---	FIRE SEPARATION WITH 120 MINUTE FIRE RESISTANCE

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Scale

RECORD OF ISSUES

NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMIT
2	2023-08-01	ISSUED FOR PERMIT
3	2023-08-01	ISSUED FOR PERMIT
4	2023-08-01	ISSUED FOR PERMIT
5	2023-08-01	ISSUED FOR PERMIT
6	2023-08-01	ISSUED FOR PERMIT
7	2023-08-01	ISSUED FOR PERMIT
8	2023-08-01	ISSUED FOR PERMIT
9	2023-08-01	ISSUED FOR PERMIT
10	2023-08-01	ISSUED FOR PERMIT

NO. 241519 - 00000004

RECORD OF REVISIONS

Project  
**CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS  
1402 CAROLAN GLEN CT, KELOWNA, BC (BUILDING A)  
1408 CAROLAN GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title  
**BUILDING CROSS SECTIONS - BLOCK A**

Job Number 22 1085

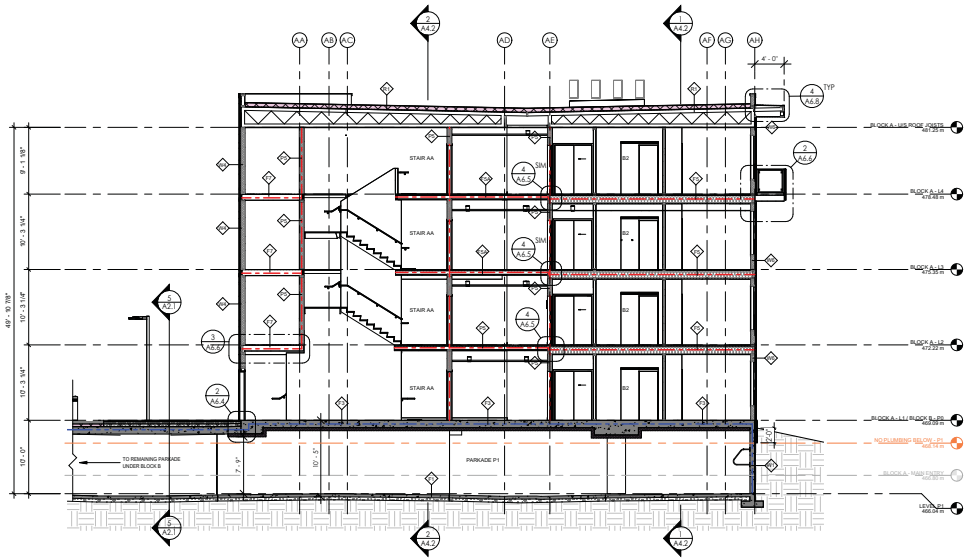
Date 2024-03-05

Scale As Indicated

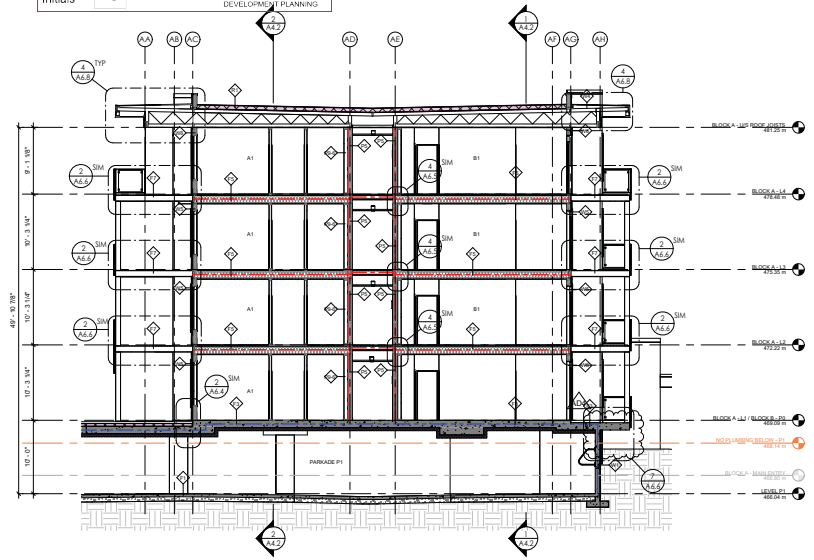
Revision Number A

Drawing Number

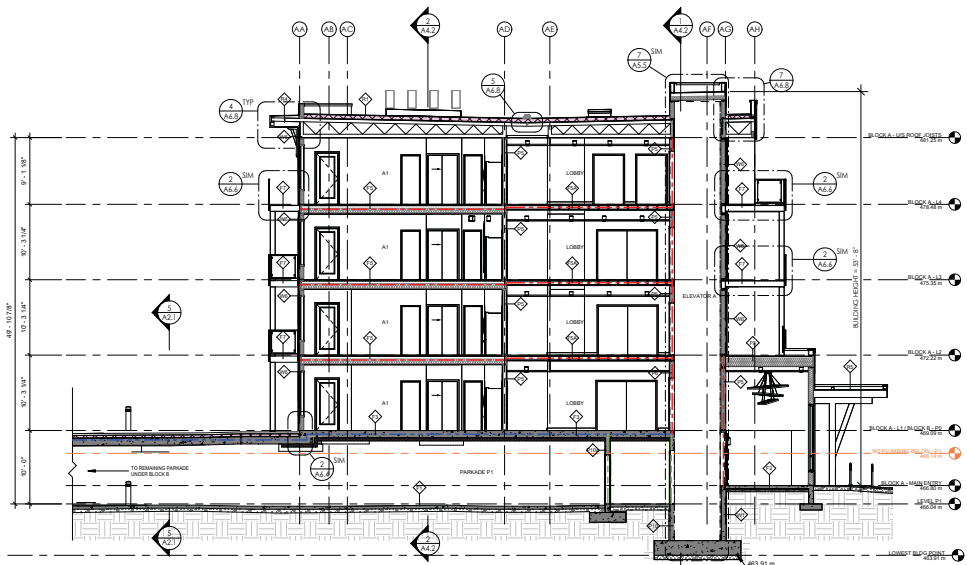
**A4.3**



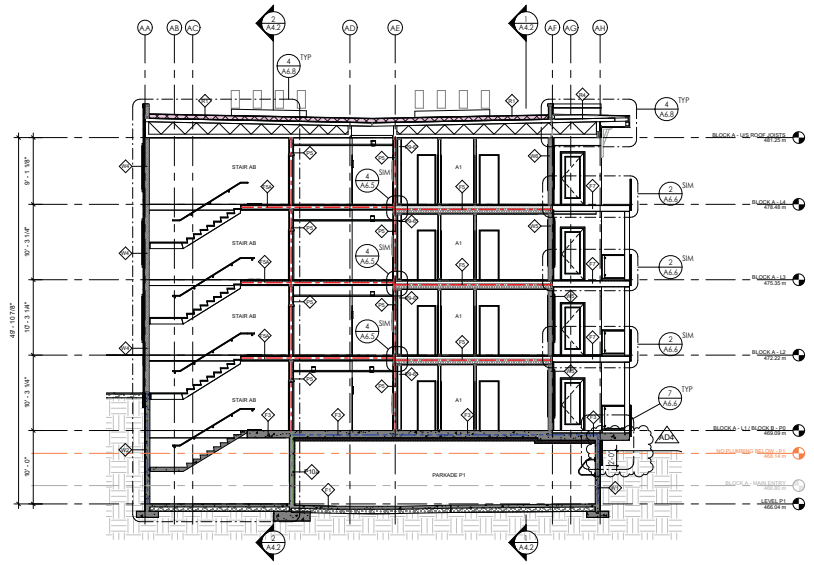
1 BLOCK A - BUILDING CROSS SECTION ONE  
1/8" = 1'-0"



2 BLOCK A - BUILDING CROSS SECTION TWO  
1/8" = 1'-0"



3 BLOCK A - BUILDING CROSS SECTION THREE  
1/8" = 1'-0"



4 BLOCK A - BUILDING CROSS SECTION FOUR  
1/8" = 1'-0"

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Record of Issues

NO.	DATE	DESCRIPTION
1	2023-01-27	ISSUED FOR PERMIT
2	2023-01-27	RF COORDINATION
3	2023-01-27	CLIENT REVIEW
4	2023-01-27	DEVELOPMENT PERMIT
5	2024-01-15	ISSUED FOR PERMIT
6	2024-01-15	RF COORDINATION
7	2024-01-15	CLIENT REVIEW
8	2024-01-15	DEVELOPMENT PERMIT
9	2024-01-15	ISSUED FOR PERMIT
10	2024-01-15	RF COORDINATION
11	2024-01-15	CLIENT REVIEW
12	2024-01-15	DEVELOPMENT PERMIT

Record of Revisions

NO.	DATE	DESCRIPTION
1	2024-03-05	AS INDICATED

Project: **CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS:  
 1402 CAROL GLEN CT, KELOWNA, BC (BUILDING A)  
 1408 CAROL GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title: **BUILDING SECTIONS - BLOCK B**

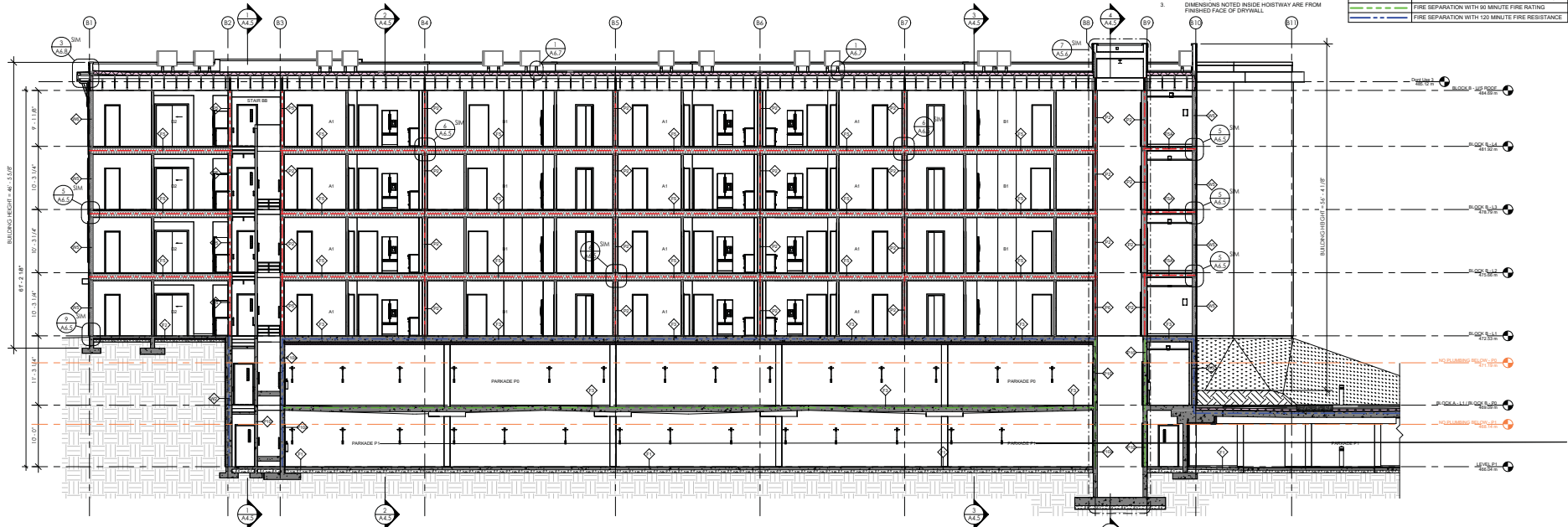
Job Number: 22-1085  
 Date: 2024-03-05  
 Scale: As Indicated  
 Revision Number: A  
 Drawing Number:

**A4.4**

**FIRE SEPARATION LEGEND**

---	TRAVEL DISTANCE TO FIRE EXIT
---	FIRE SEPARATION WITH 60 MINUTE FIRE RESISTANCE
---	FIRE SEPARATION WITH 90 MINUTE FIRE RATING
---	FIRE SEPARATION WITH 120 MINUTE FIRE RESISTANCE

- NOTE:**
- CONFIRM ALL LOAD-BEARING RATED INTERIOR WALLS WITH STRUCTURAL PLANE.
  - DROPPED CEILINGS AND BULKHEADS NOT SHOWN IN SECTION REFER TO ENLARGED RIGS.
  - DIMENSIONS NOTED INSIDE HOISTWAY ARE FROM FINISHED FACE OF DRYWALL.



**BLOCK B - BUILDING SECTION 1**  
 1/8" = 1'-0"

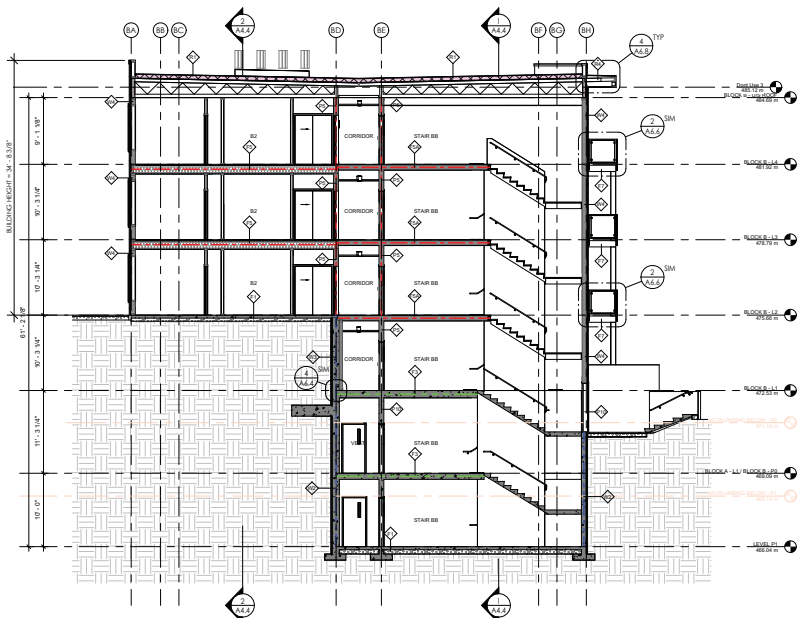


**BLOCK B - BUILDING SECTION 2**  
 1/8" = 1'-0"

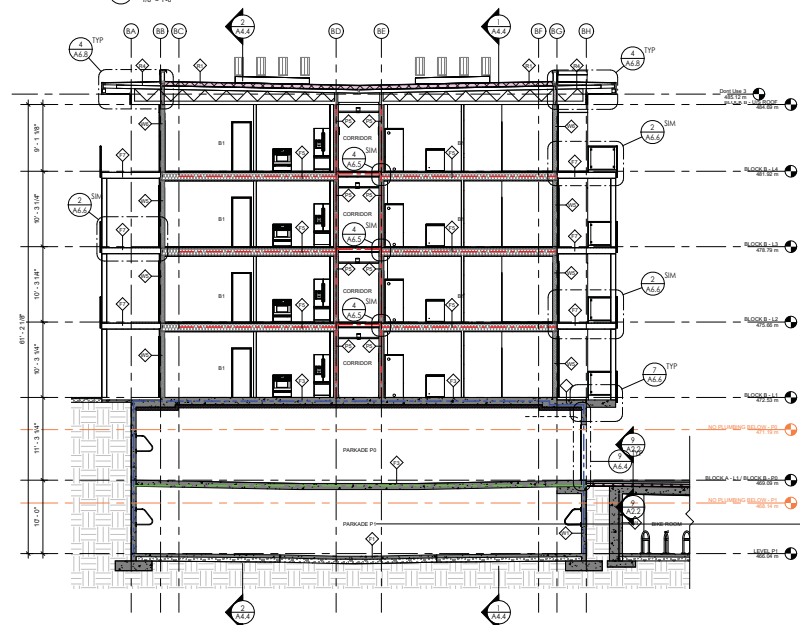
**SCHEDULE B**  
 This forms part of application  
 # DP23-0214 DVP23-0215

City of Kelowna  
 DEVELOPMENT PLANNING

Planner Initials: TC



1 BLOCK B - BUILDING CROSS SECTION 1  
1/8" = 1'-0"



2 BLOCK B - BUILDING CROSS SECTION 2  
1/8" = 1'-0"



3 BLOCK B - BUILDING CROSS SECTION 3  
1/8" = 1'-0"



4 BLOCK B - BUILDING CROSS SECTION 4  
1/8" = 1'-0"

- NOTE:
- CONFIRM ALL LOAD-BEARING RATED INTERIOR WALLS WITH STRUCTURAL PLANE
  - DROPPED CEILING AND BULKHEADS NOT SHOWN IN SECTION REFER TO ENLARGED NODES
  - DIMENSIONS NOTED INSIDE HOISTWAY ARE FROM FINISH FACE OF DIVIDUAL

FIRE SEPARATION LEGEND

---	TRAVEL DISTANCE TO FIRE EXIT
---	FIRE SEPARATION WITH 60 MINUTE FIRE RESISTANCE
---	FIRE SEPARATION WITH 90 MINUTE FIRE RATING
---	FIRE SEPARATION WITH 120 MINUTE FIRE RESISTANCE

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RECORD OF ISSUES

NO.	DATE	DESCRIPTION
1	2024/01/27	ISSUED FOR PERMIT
2	2024/01/27	ISSUED FOR PERMIT
3	2024/01/27	ISSUED FOR PERMIT
4	2024/01/27	ISSUED FOR PERMIT
5	2024/01/27	ISSUED FOR PERMIT
6	2024/01/27	ISSUED FOR PERMIT
7	2024/01/27	ISSUED FOR PERMIT
8	2024/01/27	ISSUED FOR PERMIT
9	2024/01/27	ISSUED FOR PERMIT
10	2024/01/27	ISSUED FOR PERMIT

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
1	2024/01/27	ISSUED FOR PERMIT
2	2024/01/27	ISSUED FOR PERMIT
3	2024/01/27	ISSUED FOR PERMIT
4	2024/01/27	ISSUED FOR PERMIT
5	2024/01/27	ISSUED FOR PERMIT
6	2024/01/27	ISSUED FOR PERMIT
7	2024/01/27	ISSUED FOR PERMIT
8	2024/01/27	ISSUED FOR PERMIT
9	2024/01/27	ISSUED FOR PERMIT
10	2024/01/27	ISSUED FOR PERMIT

Project  
**CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS  
1402 CARA GLEN CT, KELOWNA, BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title  
**BUILDING CROSS SECTIONS - BLOCK B**

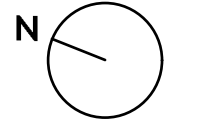
Job Number 22 1085  
Date 2024-03-05  
Scale As Indicated  
Revision Number A  
Drawing Number

**SCHEDULE B**  
This forms part of application # DP23-0214 DVP23-0215  
City of Kelowna  
Partner: In2als TC





\*REFER LS-102 FOR LANDSCAPE NOTES AND PLANT LIST



PROJECT TITLE  
**CARA GLEN COURT**

Kelowna, BC

DRAWING TITLE  
**CONCEPTUAL LANDSCAPE PLAN**

ISSUED FOR / REVISION	DATE	BY
1	23.05.05	Review
2	23.05.12	Development Permit
3	23.09.08	Development Permit
4	24.03.26	Public Consultation
5	24.04.09	Development Permit
6	24.04.16	Development Permit

PROJECT NO	22-1216
DESIGN BY	AM
DRAWN BY	MC
CHECKED BY	AM
DATE	APR. 16, 2024
SCALE	1:200
PAGE SIZE	24"x36"

SEAL



DRAWING NUMBER

**LS-101**

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**SCHEDULE C**

This forms part of application  
# DP23-0214 DVP23-0215

City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials **TC**

\*REFER LS-101 FOR LANDSCAPE PLAN

PLANT LIST		*PLANT QUANTITIES ESTIMATED ONLY. NOT FOR PRICING*	
BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
<b>TREES</b>			
ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	5	5cm CAL
ACER SACCHARINUM 'SILVER CLOUD'	SILVER CLOUD MAPLE	9	5cm CAL
GYMNOCLADUS DIOICUS 'ESPRESSO-JFS'	KENTUCKY COFFEE TREE	11	4cm CAL
POPULUS TREMULOIDES	AMERICAN ASPEN	7	5cm CAL
SYRINGA RETICULATA	JAPANESE TREE LILAC	15	3cm CAL
<b>SHRUBS</b>			
CORNUS SERICEA	RED OSIER DOGWOOD	7	#02 CONT. /3.0M O.C. SPACING
HOLODISCUS DISCOLOR	OCEAN SPRAY	10	#02 CONT. /2.5M O.C. SPACING
MAHONIA AQUIFOLIUM	OREGON GRAPE	26	#02 CONT. /1.5M O.C. SPACING
RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	10	#02 CONT. /2.5M O.C. SPACING
RHUS TYPHINA	STAGHORN SUMAC	15	#02 CONT. /2.0M O.C. SPACING
RIBES ALPINUM	ALPINE CURRANT	10	#02 CONT. /1.5M O.C. SPACING
RIBES HIRTPELLUM	GOOSEBERRY	26	#02 CONT. /1.5M O.C. SPACING
ROSA WOODSII	WOOD'S ROSE	15	#02 CONT. /2.0M O.C. SPACING
SALVIA OFFICINALIS	COMMON SAGE	60	#02 CONT. /1.0M O.C. SPACING
SYMPHORICARPOS ALBUS	SNOWBERRY	26	#02 CONT. /1.5M O.C. SPACING
TAXUS MEDIA 'TAUTONII'	TAUTON YEW	60	#02 CONT. /1.0M O.C. SPACING
<b>PERENNIALS, GRASSES &amp; GROUNDCOVERS</b>			
ACHILLEA MILLEFOLIUM	COMMON YARROW	88	#01 CONT. /0.75M O.C. SPACING
DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	88	#01 CONT. /0.75M O.C. SPACING
ECHINACEA PURPUREA 'ALBA'	WHITE SWAN CONEFLOWER	88	#01 CONT. /0.75M O.C. SPACING
ECHINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	88	#01 CONT. /0.75M O.C. SPACING
LAVANDULA ANGUSTIFOLIA 'HIDCOTE SUPERIOR'	HIDCOTE SUPERIOR LAVENDER	88	#01 CONT. /0.75M O.C. SPACING
NEPETA 'SIX HILLS GIANT'	CATMINT SIX HILLS GIANT	88	#01 CONT. /0.75M O.C. SPACING
PEROVSKIA ATRIPLICIFOLIA LONGIN'	RUSSIAN SAGE LONGIN'	88	#01 CONT. /0.75M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK-EYED SUSAN	88	#01 CONT. /0.75M O.C. SPACING
SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	49	#01 CONT. /1.0M O.C. SPACING

### NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 12375 STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TREE BEDS TO RECEIVE A MINIMUM 1000mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREA FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

### HYDROSEED NOTES

1. HYDROSEEDING DRYLAND SEED AREAS:  

DRYLAND SEED MIXTURE	BY WEIGHT	BY SPECIES
BLUE BUNCH WHEAT GRASS	40%	22%
ROUGH FESCUE	25%	20%
IDAHO FESCUE	15%	19%
PERENNIAL RYEGRASS	10%	7%
SANDBERG BLUEGRASS	5%	13%
JUNE GRASS	4%	18%
CANADA BLUEGRASS	1%	1%

HYDROSEEDING APPLICATION RATE		
NATIVE SEED	DRYLAND SEED MIXTURE	125KG/HECTARE
FERTILIZER	18-18-18-2, 50% SULPHUR COATED UREA	300KG/HECTARE
MULCH	CANFOR ECOFIBRE PLUS TAC	2,800KG/HECTARE
TACKIFIER	GUAR	3% OF MIX

  
 THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND SEED AREA AS SHOWN ON THE DRAWING. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.
2. IRRIGATE FOR ESTABLISHMENT

PROJECT TITLE

**CARA GLEN COURT**

Kelowna, BC

DRAWING TITLE

**NOTES & PLANT LIST PAGE**

ISSUED FOR / REVISION

NO.	DATE	REVISION
1	23.05.05	Review
2	23.05.12	Development Permit
3	23.09.08	Development Permit
4	24.03.26	Public Consultation
5	24.04.09	Development Permit
6	24.04.16	Development Permit

PROJECT NO. 22-1216

DESIGN BY AM

DRAWN BY MC

CHECKED BY AM

DATE APR. 16, 2024

SCALE 1:200

PAGE SIZE 24"x36"

SEAL



DRAWING NUMBER

**LS-102**

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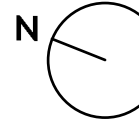
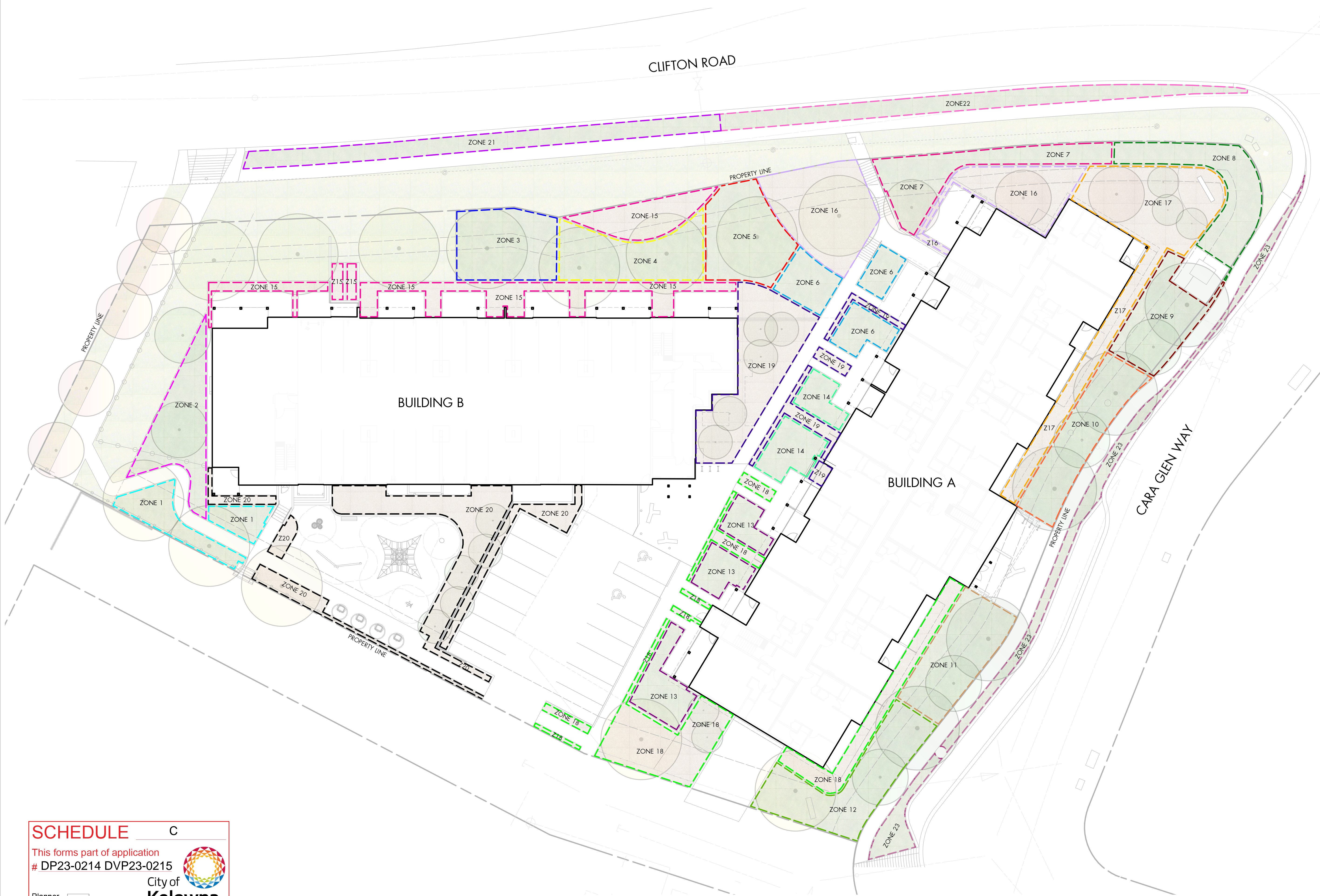
**SCHEDULE C**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**



\*REFER LS-102 FOR NOTES, LEGEND AND ZONE CALCULATIONS



PROJECT TITLE

**CARA GLEN COURT**

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL  
LANDSCAPE PLAN**

ISSUED FOR / REVISION	
1	23.05.05 Review
2	23.05.12 Development Permit
3	23.09.08 Development Permit
4	24.03.26 Public Consultation
5	24.04.09 Development Permit
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PROJECT NO.	22-1216
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**SCHEDULE C**




















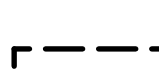



This forms part of application  
# DP23-0214 DVP23-0215

City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials **TC**

\*REFER LS-101 FOR LANDSCAPE PLAN

### IRRIGATION LEGEND

<p> ZONE #1: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 69 sq.m. MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 59 cu.m.</p> <p> ZONE #2: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 94 sq.m. MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 81 cu.m.</p> <p> ZONE #3: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 94 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 81 cu.m.</p> <p> ZONE #4: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 97 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 83 cu.m.</p> <p> ZONE #5: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 97 sq.m. MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 83 cu.m.</p> <p> ZONE #6: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 83 sq.m. MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 71 cu.m.</p> <p> ZONE #7: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 96 sq.m. MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 82 cu.m.</p> <p> ZONE #8: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 80 sq.m. MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 69 cu.m.</p> <p> ZONE #9: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 97 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 83 cu.m.</p> <p> ZONE #10: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 100 sq.m. MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 86 cu.m.</p> <p> ZONE #11: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 101 sq.m. MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 87 cu.m.</p> <p> ZONE #12: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 124 sq.m. MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 106 cu.m.</p>	<p> ZONE #13: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 95 sq.m. MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 81 cu.m.</p> <p> ZONE #14: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 61 sq.m. MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 52 cu.m.</p> <p> ZONE #15: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 182 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 61 cu.m.</p> <p> ZONE #16: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 183 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 61 cu.m.</p> <p> ZONE #17: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 199 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 66 cu.m.</p> <p> ZONE #18: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 201 sq.m. MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 67 cu.m.</p> <p> ZONE #19: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 174 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 58 cu.m.</p> <p> ZONE #20: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 198 sq.m. MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING ESTIMATED ANNUAL WATER USE: 66 cu.m.</p> <p> ZONE #21: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 102 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, NO SHADE ESTIMATED ANNUAL WATER USE: 87 cu.m.</p> <p> ZONE #22: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 101 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, NO SHADE ESTIMATED ANNUAL WATER USE: 87 cu.m.</p> <p> ZONE #23: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 112 sq.m. MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 96 cu.m.</p>
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### IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

### WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WMB) = 2,324 cu.m. / year  
ESTIMATED LANDSCAPE WATER USE (WU) = 1,753 cu.m. / year  
WATER BALANCE = 571 cu.m. / year

\*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

PROJECT TITLE

**CARA GLEN COURT**

Kelowna, BC

DRAWING TITLE

**NOTES & LEGEND PAGE**

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PROJECT NO: 22-1216

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**SCHEDULE C**

This forms part of application  
# DP23-0214 DVP23-0215



City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials **TC**

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>2.1 General residential &amp; mixed use guidelines</b>						
<b>2.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.					✓	
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.				✓		
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						✓
f. Avoid blank, windowless walls along streets or other public open spaces.				✓		
<b>2.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.				✓		
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.					✓	
<b>2.1.3 Site Planning</b>	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						✓
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.					✓	
c. Limit the maximum grades on development sites to 30% (3:1)						✓
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> <li>Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible;</li> <li>Incorporating terracing to create usable open spaces around the building</li> </ul>						✓

<ul style="list-style-type: none"> <li>Using the slope for under-building parking and to screen service and utility areas;</li> <li>Design buildings to access key views; and</li> <li>Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped).</li> </ul>						
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						✓
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.						✓
<b>2.1.4 Site Servicing, Access, and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.				✓		
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.				✓		
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> <li>Underground (where the high water table allows)</li> <li>Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage);</li> <li>Garages or at-grade parking integrated into the building (located at the rear of the building); and</li> <li>Surface parking at the rear, with access from the lane or secondary street wherever possible.</li> </ul>					✓	
e. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> <li>Landscaping;</li> <li>Trellises;</li> <li>Grillwork with climbing vines; or</li> <li>Other attractive screening with some visual permeability.</li> </ul>					✓	
f. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> <li>Covered short-term parking in highly visible locations, such as near primary building entrances; and</li> <li>Secure long-term parking within the building or vehicular parking area.</li> </ul>						✓
g. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						✓
h. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.					✓	
<b>2.1.5 Streetscapes, Landscapes, and Public Realm Design</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>

**ATTACHMENT** B

This forms part of application  
# DP23-0214 DVP23-0215




City of  
**Kelowna**  
DEVELOPMENT PLANNING

Planner Initials **TC**

a. Site buildings to protect mature trees, significant vegetation, and ecological features.	✓					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						✓
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						✓
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> <li>• Locating outdoor spaces where they will receive ample sunlight throughout the year;</li> <li>• Using materials and colors that minimize heat absorption;</li> <li>• Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and</li> <li>• Using building mass, trees and planting to buffer wind.</li> </ul>						✓
f. Use landscaping materials that soften development and enhance the public realm.						✓
g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site’s specific urban conditions.						✓
<b>2.1.6 Building Articulation, Features and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> <li>• Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks;</li> <li>• Repeating window patterns on each step-back and extension interval;</li> <li>• Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and</li> <li>• Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval.</li> </ul>						✓
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs.  Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters; ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.					✓	

**ATTACHMENT B**

This forms part of application  
# DP23-0214 DVP23-0215



City of Kelowna  
DEVELOPMENT PLANNING

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c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.						✓
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.					✓	
f. Provide weather protection such as awnings and canopies at primary building entries.						✓
g. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						✓
h. Provide visible signage identifying building addresses at all entrances.	✓					
<b>SECTION 4.0: LOW &amp; MID-RISE RESIDENTIAL MIXED USE</b>						
<b>RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE</b> <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>4.1 Low &amp; mid-rise residential &amp; mixed use guidelines</b>						
<b>4.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
g. Ensure lobbies and main building entries are clearly visible from the fronting street.						✓
h. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> <li>• Locating enclosed parking garages away from street frontages or public open spaces;</li> <li>• Using ground-oriented units or glazing to avoid creating dead frontages; and</li> <li>• When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting.</li> </ul>					✓	
<b>4.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.				✓		
b. Residential buildings should have a maximum width of 24 m.						✓
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.				✓		
d. For commercial facades, incorporate a significant break at intervals of approximately 35 m.	✓					
<b>4.1.3 Site Planning</b>	N/A	1	2	3	4	5
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.						✓
b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> <li>• Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and</li> </ul>					✓	

**ATTACHMENT B**

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City of  
**Kelowna**  
DEVELOPMENT PLANNING



<ul style="list-style-type: none"> <li>Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access.</li> </ul>						
c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.					✓	
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.						✓
<b>4.1.4 Site Servicing, Access and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> <li>Access is from a secondary street, where possible, or from the long face of the block;</li> <li>Impacts on pedestrians and the streetscape is minimised; and</li> <li>There is no more than one curb cut per property.</li> </ul>						✓
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.					✓	
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: <ul style="list-style-type: none"> <li>Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and</li> <li>Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.</li> </ul>						✓
<b>4.1.5 Publicly-Accessible and Private Open Spaces</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	✓					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.					✓	
<b>4.1.6 Building Articulation, Features, and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: <ul style="list-style-type: none"> <li>Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade;</li> <li>Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade;</li> <li>Providing a porch, patio, deck, or covered entry for each interval;</li> </ul>						✓

**ATTACHMENT B**

This forms part of application  
# DP23-0214 DVP23-0215

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<ul style="list-style-type: none"> <li>• Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance;</li> <li>• Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval;</li> <li>• Changing the materials with the change in building plane; and</li> <li>• Provide a lighting fixture, trellis, tree or other landscape feature within each interval.</li> </ul>						
b. Break up the building mass by incorporating elements that define a building's base, middle and top.					✓	
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.						✓
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						✓
e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.					✓	
f. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.	✓					
g. Avoid the following types of signage: <ul style="list-style-type: none"> <li>• Internally lit plastic box signs;</li> <li>• Pylon (stand alone) signs; and</li> <li>• Rooftop signs.</li> </ul>						✓
h. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.						✓

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City of  
**Kelowna**  
DEVELOPMENT PLANNING



City of  
Kelowna

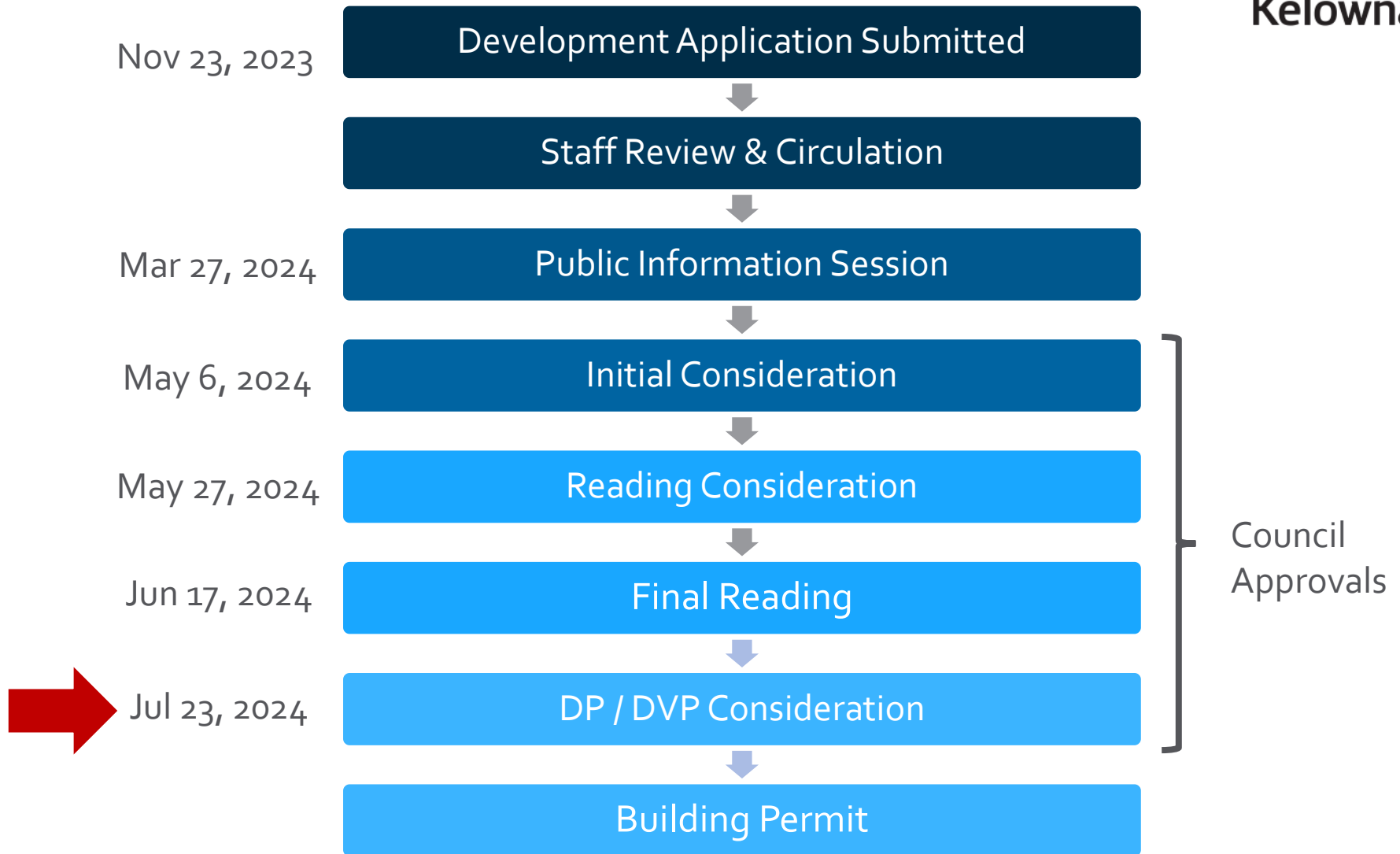
# DP23-0214 / DVP23-0215 1402 Cara Glen Ct

Development Permit & Development Variance Permit

# Purpose

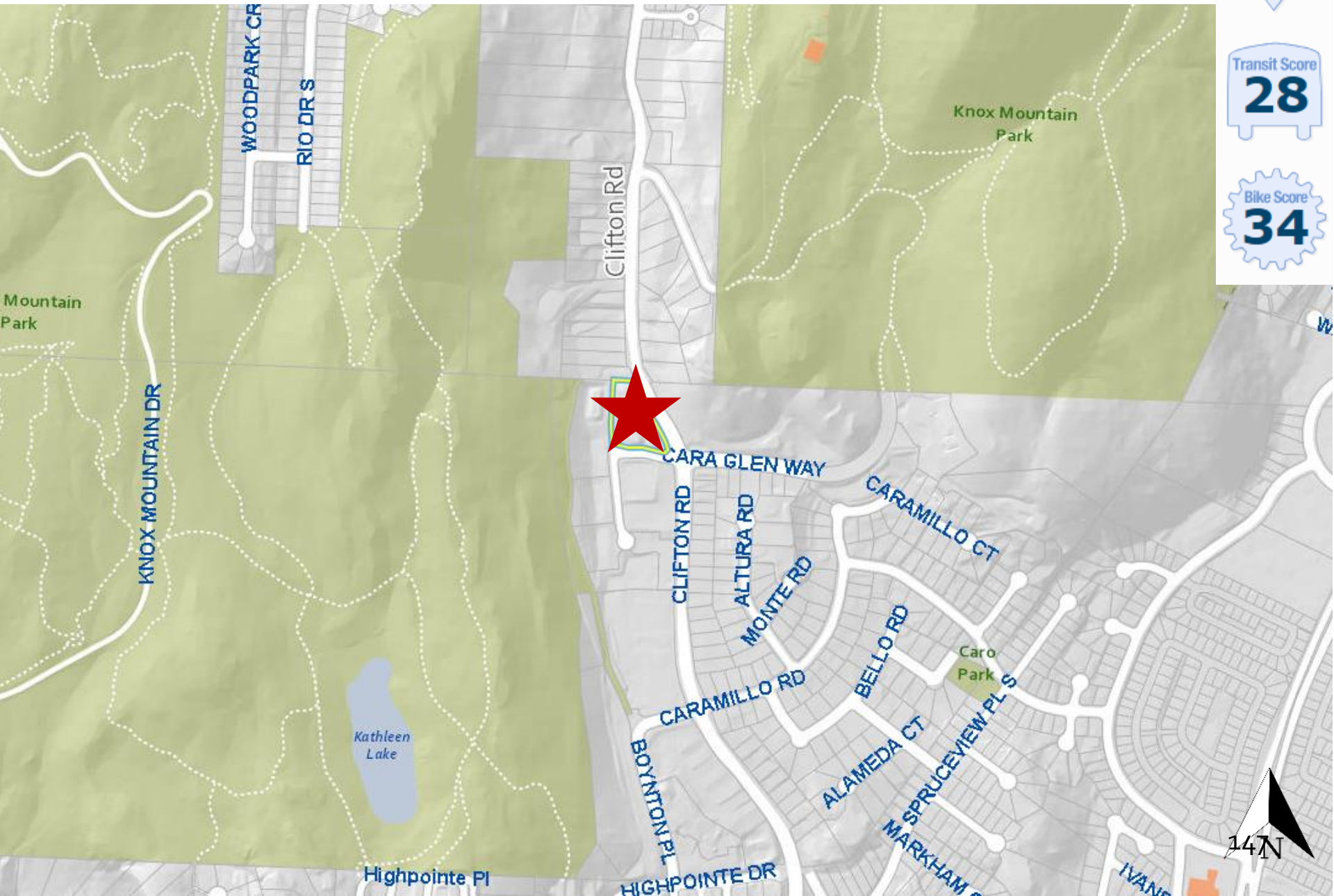
- ▶ To issue a Development Permit for the form and character of apartment housing and a Development Variance Permit to vary the maximum height from 4 storeys permitted to 5 storeys proposed and to vary the required stepback from 3.0 m to 0.0 m on the fronting and flanking side yards.

# Development Process



Council  
Approvals

# Context Map



Walk Score  
**20**

Transit Score  
**28**

Bike Score  
**34**



# Subject Property Map



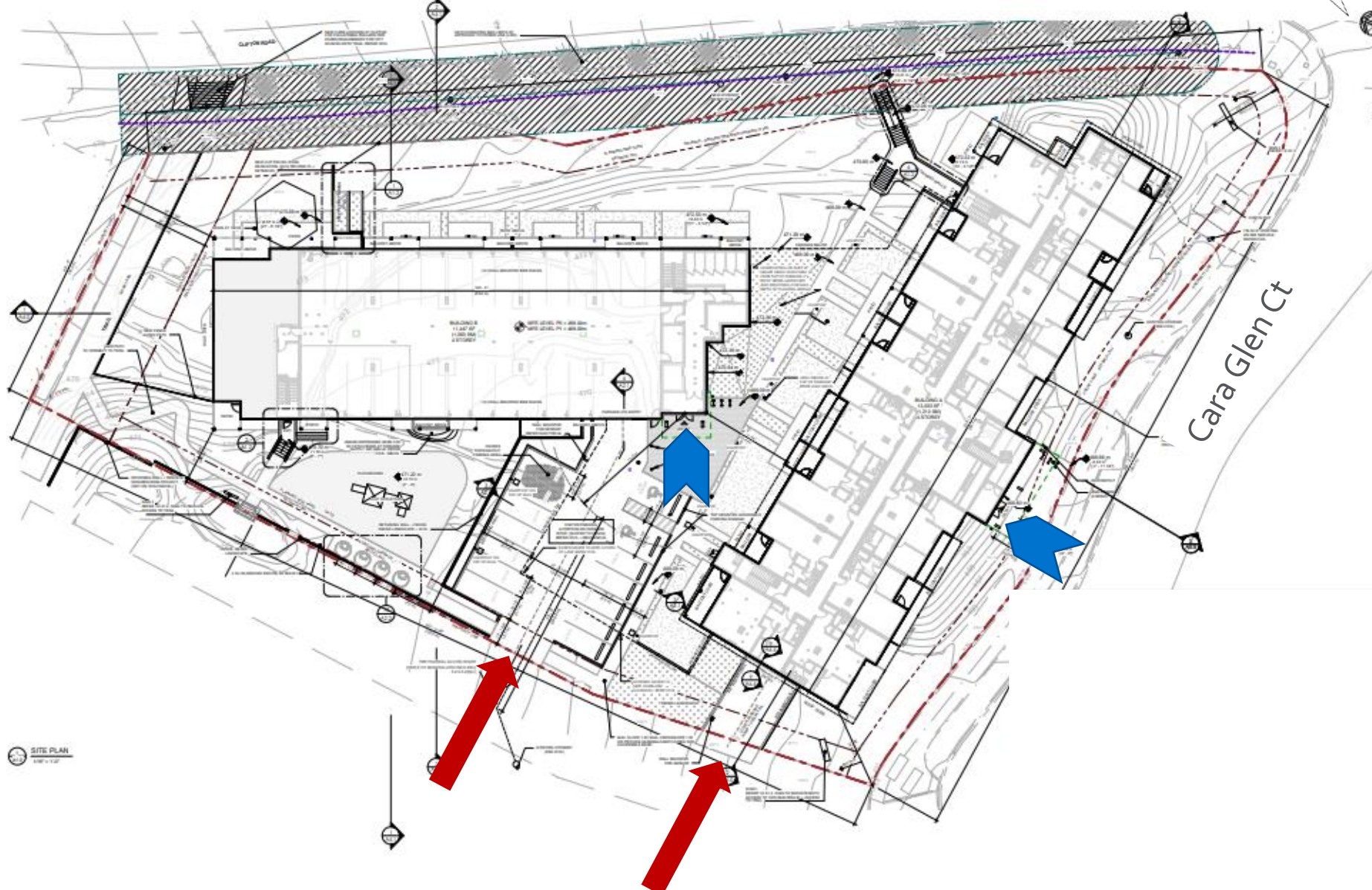
# Technical Details

- ▶ Development Permit for two apartment buildings;
- ▶ MF3r – Apartment Housing Rental Only
  - ▶ 112 units
    - ▶ 73 1-bedroom
    - ▶ 39 2-Bedroom
  - ▶ 5-storey in height;
  - ▶ 138 parking stalls
  - ▶ 162 long-term bicycle parking stalls
  - ▶ 27 Trees
    - ▶ 20 large trees



# Site Plan

Clifton Rd

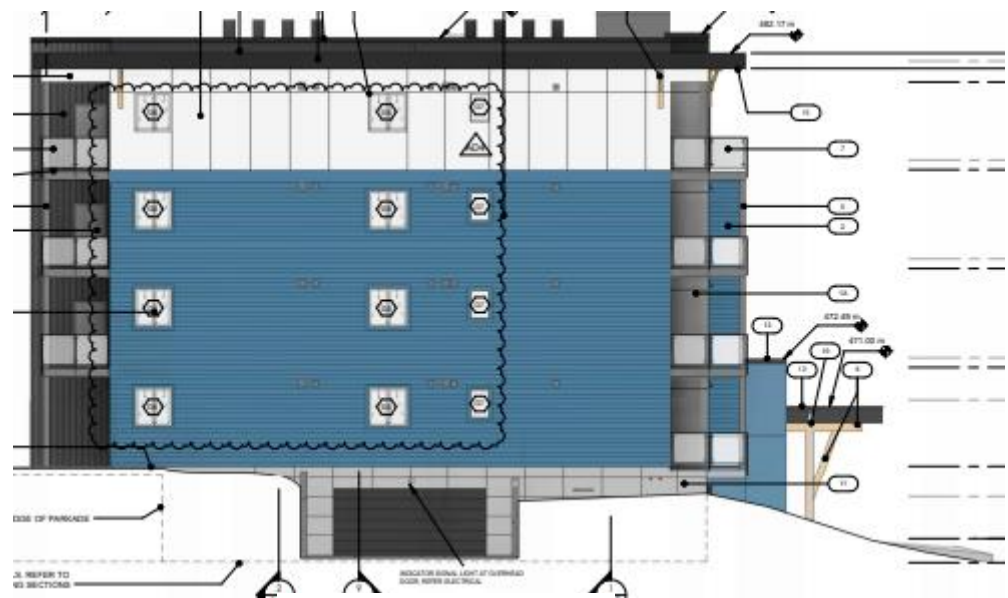


Cara Glen Ct



SITE PLAN  
150 x 150

# Block A – West & South Elevation

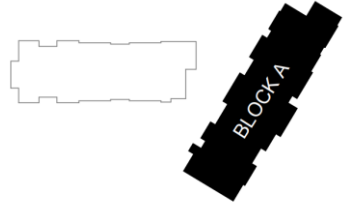
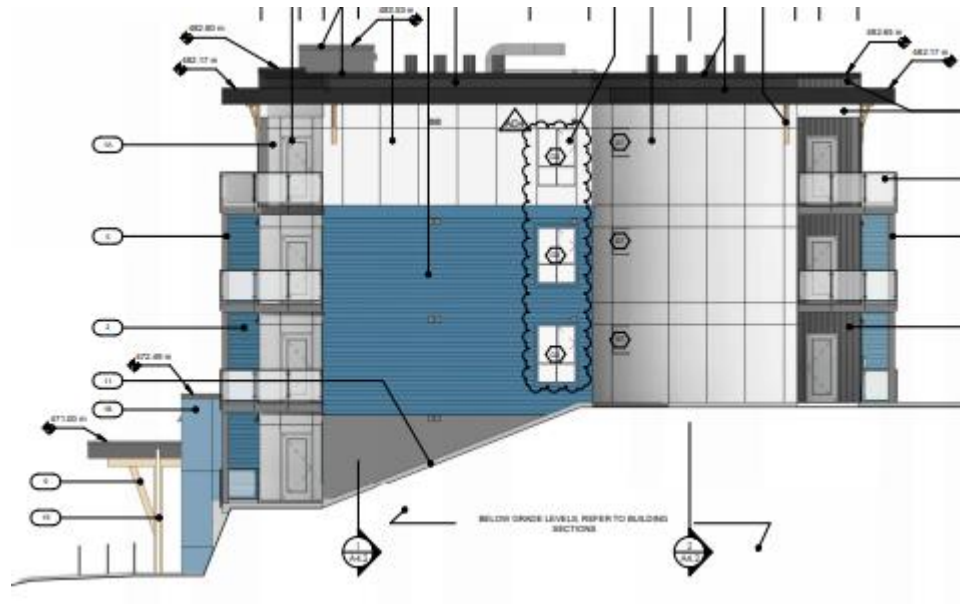


West Elevation



South Elevation

# Block A – East & North Elevation

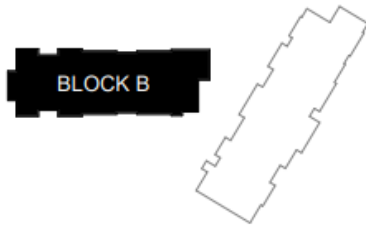
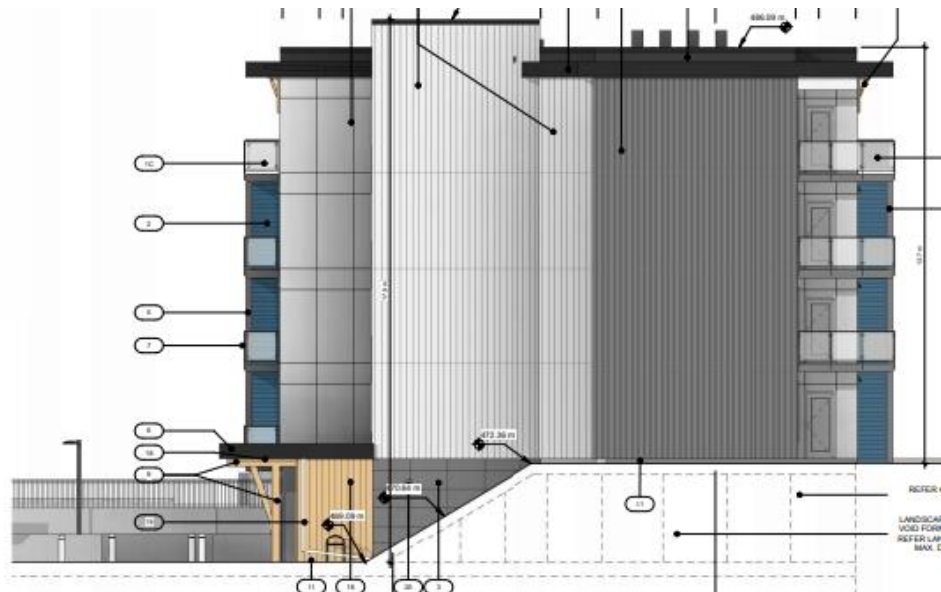


East Elevation



North Elevation

# Block B – South & West Elevation

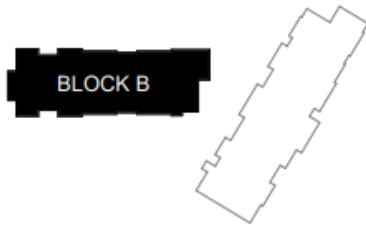


South Elevation



West Elevation

# Block B – South & West Elevation



North Elevation

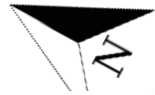


East Elevation

# Materials Board



# Landscape Plan



# Rendering – North from Cara Glen Ct





# Rendering – West from Clifton Rd



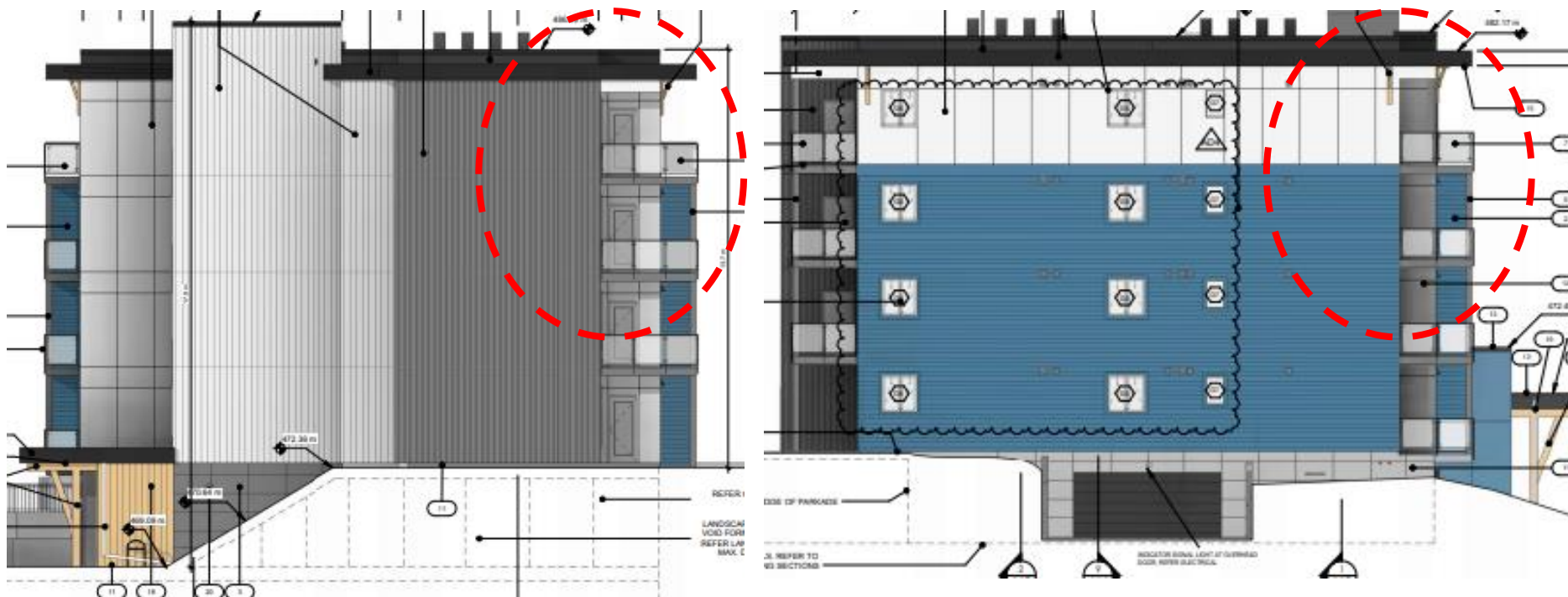
# Variiances

- ▶ The proposal has three variiances in total:
  - ▶ The building height from 4 storeys permitted to 5 storeys proposed;
  - ▶ The required front yard setback from 3.0m required to 0.0m proposed;
  - ▶ The required flanking side yard setback from 3.0m required to 0.0m proposed;

# Variations - Height



# Variiances - Stepback



# OCP Design Guidelines

- Vehicle access is provided from the Statutory Right of Way (SRW) along the side of the property, and not directly off the fronting or flanking streets;
- The underground parking does not exceed 1.2 m above grade to limit visual impacts;
- A range of high-quality materials and designs that features several colours of fiber cement paneling, metal flashing and wood brackets; and
- High-quality outdoor amenity space including a playground and turf area.

# Staff Recommendation

- ▶ Staff recommend **support** for the proposed Development Permit and Development Variance Permit as it:
  - ▶ Aligns with OCP Design Guidelines
  - ▶ Variances are due to the lobby counting towards the height and being classified as a five storey building.
    - ▶ Majority of sides (elevations) only have four storeys exposed;
    - ▶ Frontages limited to four storeys so massing is mitigated;
    - ▶ Strong form and character