

City of Kelowna
Regular Council Meeting
AGENDA



Monday, April 8, 2024
1:30 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca.

2. Confirmation of Minutes

4 - 8

PM Meeting - March 25, 2024

3. Development Application Reports & Related Bylaws

3.1 Hiram Walker Ct 270 - Z23-0019 (BL12648) - 270 HWC GP Inc., Inc.No. A0124511

9 - 21

To rezone the subject property from the I3 – Heavy Industrial zone to the I2 – General Industrial zone to facilitate an industrial development.

3.2 Rezoning Bylaws Supplemental Report to Council

22 - 23

To receive a summary of notice of first reading for Rezoning Bylaws No. 12635 and 12636 and to give the bylaws further reading consideration.

3.3 Rezoning Applications

To give first, second and third reading to rezoning applications.

The following bylaws will be read together unless Council wants to separate one of the bylaws.

3.3.1 Laurier Ave 925 - BL12635 (Z23-0082) - Amarjit and Sarbjit Gill

24 - 24

To give Bylaw No. 12635 first, second and third reading in order to rezone the subject property from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone.

3.3.2	Clifton Rd N 491 - BL12636 (Z23-0048) - Michael Georg Anton Holzhey	25 - 26
	To give Bylaw No. 12636 first, second and third reading in order to rezone a portion of the subject property from the RR1 – Large Lot Rural Residential zone to the RU1 – Large Lot Housing zone.	
3.4	Bernard Ave 1181-1191 - BL12572 (Z22-0070) - SKJJ Bernard Land Holdings Ltd., Inc.No. BC1242190	27 - 27
	To adopt Bylaw No. 12572 in order to rezone the subject property from the MF2 – Townhouse Housing zone to the MF3 – Apartment Housing zone.	
3.5	Bernard Ave 1181-1191 - DP23-0202 - SKJJ Bernard Land Holdings Ltd., Inc.No. BC1242190	28 - 70
	To issue a Development Permit for the form and character of apartment housing.	
3.6	Lakeshore Rd 3593 - BL12593 (Z23-0036) - Immortal Homes Ltd., Inc.No. A0101356	71 - 71
	To adopt Bylaw No. 12593 in order to rezone the subject property from the RU1 – Large Lot Housing zone to the MF3 – Apartment Housing zone.	
3.7	Lakeshore Rd 3593 - DP23-0115 - Immortal Homes Ltd., Inc.No. A0101356	72 - 109
	To issue a Development Permit for the form and character of an apartment housing development.	
3.8	Homer Rd 250, 270, 280 - BL12630 (Z23-0077) - 1376686 B.C. Ltd., Inc.No. BC1376686	110 - 110
	To amend and adopt Bylaw No. 12630 in order to rezone the subject properties from the MF1 - Infill Housing zone to the MF2 – Townhouse Housing zone.	
3.9	Homer 250, 270, 280 - DP23-0212 - 1376686 B.C. Ltd., Inc. No. BC1376686	111 - 167
	To issue a Development Permit for the form and character of townhouse housing.	
3.10	Frost Rd 940-1070 - DP24-0019 - 0954654 B.C. Ltd., Inc.No. BC0954654	168 - 197
	To issue a Development Permit for the form and character of a commercial development.	

4. Non-Development Reports & Related Bylaws

4.1	Downtown Kelowna Association - 2024 Budget	198 - 218
	To authorize the 2024 levy on Class 5 light industry and Class 6 business/other properties located within the Kelowna Downtown Business Improvement Area.	

- | | | |
|------------|---|-----------|
| 4.2 | Uptown Rutland Business Association - 2024 Budget | 219 - 235 |
| | To authorize the 2024 levy on Class 5 light industry and Class 6 business/other properties located within the Uptown Rutland Business Improvement Area. | |
| 4.3 | Amendment to Council Remuneration Bylaw | 236 - 242 |
| | To amend annual remuneration amounts and adjustments in Council Remuneration and Expense Bylaw No. 7547. | |
| 4.4 | BL12650 - Amendment No. 12 to Council Remuneration and Expense Bylaw No. 7547 | 243 - 244 |
| | To give Bylaw No. 12650 first, second and third reading. | |
| 4.5 | 4710 Lakeshore Rd Road Closure | 245 - 247 |
| | To close a 0.42 acre portion of excess road for consolidation with the adjacent parcel at 4710 Lakeshore Road. | |
| 4.6 | BL12557 - Road Closure Bylaw - Adjacent to 4710 Lakeshore Road | 248 - 249 |
| | To give Bylaw No. 12557 first, second and third reading. | |
| 5. | Mayor and Councillor Items | |
| 6. | Termination | |



City of Kelowna Regular Council Meeting Minutes

Date:	Monday, March 25, 2024
Location:	Council Chamber City Hall, 1435 Water Street
Members Present	Mayor Tom Dyas, Councillors Ron Cannan, Maxine DeHart, Charlie Hodge, Gord Lovegrove, Luke Stack and Rick Webber
Members Participating Remotely	Councillor Mohini Singh
Members Absent	Councillor Loyal Wooldridge
Staff Present	City Manager, Doug Gilchrist; City Clerk, Laura Bentley; Event Development Supervisor, Chris Babcock*; Divisional Director, Planning, Climate Action & Development Services, Ryan Smith*; Urban Planning Manager, Jocelyn Black*; Planner Specialist, Wesley Miles*; Corporate Strategy & Performance Department Manager, Mike McGreer*; Business Planning & Results Managers, Sigrun Geirsdottir*; Planner Specialist, Tracy Guidi*; Deputy City Clerk, Stephen Fleming*; Utility Services Manager, Kevin Van Vliet*; Transportation Engineering Manager, Gordon Foy*; General Manager, Infrastructure, Mac Logan*; Budget Supervisor, Jay Jean*; Legal & Administrative Coordinator, Lisa Schell
Staff Participating Remotely	Legislative Coordinator (Confidential), Arlene McClelland
Guest	Wayne Moore*, Civic & Community Awards Steering Committee, Vice Chair

(* Denotes partial attendance)

1. Call to Order

Mayor Dyas called the meeting to order at 1:31 p.m.

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca.

2. Confirmation of Minutes

Moved By Councillor DeHart/Seconded By Councillor Hodge

THAT the Minutes of the Regular Meetings of March 18, 2024 be confirmed as circulated.

Carried

3. Committee Reports

3.1 49th Annual Civic and Community Awards Finalist Announcement

Staff:

- Thanked members of the Civic Awards Committee and volunteers involved in the process.
- Introduced the presentation and Wayne Moore, Civic & Community Awards Steering Committee Vice Chair.

Wayne Moore, Civic & Community Awards Steering Committee Vice Chair

- Thanked the Chair Ellen Boelcke who will be stepping down.
- Displayed a PowerPoint Presentation.
- Identified the Civic & Community Award finalists in each category.

Moved By Councillor DeHart/Seconded By Councillor Stack

THAT Council receives for information, the report from Sport & Event Services, dated March 25, 2024 announcing the finalists for the 49th Annual Civic & Community Awards.

Carried

4. Development Application Reports & Related Bylaws

4.1 Laurier Ave 925 - Z23-0082 (BL12635) - Amarjit and Sarbjit Gill

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Cannan/Seconded By Councillor Lovegrove

THAT Rezoning Application No. Z23-0082 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot B DL 138 ODYD PLAN 2255, located at 925 Laurier Ave, Kelowna, BC from the MF₁ – Infill Housing zone to the MF₂ – Townhouse Housing zone, be considered by Council;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Attachment "A" attached to the Report from the Development Planning Department dated March 25th, 2024;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit for the subject property.

Carried

4.2 Clifton Rd N 491 - Z23-0048 (BL12636) - Michael Georg Anton Holzhey

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Moved By Councillor Stack/Seconded By Councillor Webber

THAT Rezoning Application No. Z23-0048 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of a portion of Lot 1 Section 8 Township 23 ODYD Plan 29568 located at 491 Clifton Road North, Kelowna, BC from the RR1 – Large Lot Rural Residential zone to the Ru1 – Large Lot Housing zone as shown on Map "A" attached to the Report from the Development Planning Department dated March 25, 2024, be considered by Council;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the issuance of a Preliminary Layout Review Letter by the Approving Officer.

Carried

4.3 Rezoning Bylaws Supplemental Report to Council

Staff:

- Commented on notice of first reading and advised that no correspondence was received.

4.4 Leathead Rd 165 - BL12632 (Z23-0072) - Nor-Van Vliet Properties Ltd., Inc. No. BC1063426

Moved By Councillor DeHart/Seconded By Councillor Webber

THAT Bylaw No. 12632 be read a first, second and third time.

Carried

5. Bylaws for Adoption (Development Related)

5.1 Lakeshore Rd 4529 - BL12556 (Z23-0027) - Chunshuang Liu

Moved By Councillor Webber/Seconded By Councillor DeHart

THAT Bylaw No. 12556 be adopted.

Carried

5.2 Clifton Rd N 159 - BL12625 (OCP23-0007) - Ashley and Todd Ramsay

Moved By Councillor DeHart/Seconded By Councillor Webber

THAT Bylaw No. 12625 be adopted.

Carried

5.3 Clifton Rd N 159 - BL12626 (Z23-0046) - Ashley and Todd Ramsay

Moved By Councillor Webber/Seconded By Councillor DeHart

THAT Bylaw No. 12626 be adopted.

Carried

6. Non-Development Reports & Related Bylaws

6.1 Council Priorities 2023-2026

Staff:

- Displayed a PowerPoint Presentation summarizing the progress report results on the 2023-2026 Council priorities and displayed the progress report webpage and dashboard.

Moved By Councillor Stack/Seconded By Councillor DeHart

THAT Council receive the report from the Corporate Strategy & Performance dated March 25, 2024 with respect to reporting progress on Council Priorities 2023-2026;

AND THAT Council direct staff to report back on progress on Council priority actions in fall 2024 and progress on Council Priorities measures in spring 2025.

Carried

6.2 Council Remuneration Update

Staff:

- Displayed a PowerPoint Presentation outlining Council remuneration as compared with other municipalities in BC along with recommendations and responded to questions from Council.

Moved By Councillor Lovegrove/Seconded By Councillor Cannan

THAT Council receives, for information, the report from Office of the City Clerk dated March 25, 2024 regarding Council Remuneration Update;

AND THAT Council direct staff to bring forward amendments to Council Remuneration and Expense Bylaw No. 7547 for Council consideration.

Carried

Councillors Lovegrove, Singh and Webber - Opposed

6.3 GEID Transition - Water services outside of City of Kelowna

Staff:

- Commented on water services provided by Glenmore Ellison Irrigation District in the Regional District and spoke to consent that is required from the Regional District for the City to provide service within the Regional District.

Moved By Councillor Cannan/Seconded By Councillor Lovegrove

THAT Council receives, for information, the report from the Utility Services Department, dated March 25, 2024, with respect to providing water service outside of the Kelowna boundary within the current Glenmore Ellison Improvement District service area;

AND THAT Council directs staff to request consent from the Board of the Regional District of Central Okanagan (RDCO) for the City of Kelowna to provide water service to those properties within RDCO East Electoral Area that are serviced by the Glenmore Ellison Improvement District (GEID) as their Letters Patent existed at the time of GEID dissolution.

Carried

6.4 Glenmore 4 Active Transportation Corridor - Budget Amendment

Staff:

- Displayed a PowerPoint Presentation providing rationale to amend the 2024 Financial Plan for the Glenmore 4 Active Transportation Corridor project and responded to questions from Council.

Moved By Councillor Lovegrove/Seconded By Councillor Stack

THAT Council receives the report from the Integrated Transportation Department dated March 25, 2024, with regards to budget amendments to the Glenmore 4 (Dallas to Yates) Active Transportation Corridor project;

AND THAT Council directs staff to fund the current budget shortfall of \$541k from reserves;

AND FURTHER THAT Council support staff to manage tasks to amend the 2024 Financial Plan for these changes.

Carried

7. Mayor and Councillor Items

Councillor DeHart:

- Spoke to their attendance at the Chamber of Commerce ConneX networking event on March 21, 2024 at Genesis Kelowna.
- Provided comment on the reception for the opening of the new Olympia Tavern in the Rutland Community.
- Spoke to their attendance at the 58th Annual Kelowna Canadian Italian Dinner and Dance Gala.
- Provided comment on the BC Dragoons event last week.

Councillor Lovegrove:

- Provided Easter greetings.
- Commented on the upcoming Hockey Helps the Homeless Pro-Am Game.

Councillor Cannan:

- Spoke to their attendance at the BC Wildlife Federation meeting regarding zebra mussels.
- Made comments regarding bylaw amendments with respect to EV ready charging infrastructure.

Councillor Hodge:

- Spoke to the upcoming Regional District Board meeting regarding federal funding for invasive mussels.

Councillor Stack:

- Made comment on concerns raised regarding the cost of EV readiness.

Mayor Dyas:

- Spoke to the Hockey Helps the Homeless Organization that puts on annual pro-am Hockey Tournaments across the country to raise money and awareness to help combat issues of homelessness; a number of groups will be playing at the MNP Place next month.

Councillor Cannan:

- Made a Notice of Motion regarding costs and implementation of electric vehicle readiness.

8. Termination

This meeting was declared terminated at 3:26 p.m.

Mayor Dyas

lb/acm



City Clerk

REPORT TO COUNCIL REZONING



Date: April 8, 2024
To: Council
From: City Manager
Address: 270 Hiram Walker Ct
File No.: Z23-0019

	Existing	Proposed
OCP Future Land Use:	IND - Industrial	IND – Industrial
Zone:	I3 – Heavy Industrial	I2 – General Industrial

1.0 Recommendation

THAT Rezoning Application No. Z23-0019 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot 3 Section 2 Township 20 ODYD Plan EPP98124, located at 270 Hiram Walker Ct, Kelowna, BC from the I3 – Heavy Industrial zone to the I2 – General Industrial zone be considered by Council;

AND THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council’s consideration of a Development Permit for the subject property.

2.0 Purpose

To rezone the subject property from the I3 – Heavy Industrial zone to the I2 – General Industrial zone to facilitate an industrial development.

3.0 Development Planning

Staff support the proposed rezoning from the I3 – Heavy Industrial zone to the I2 – General Industrial zone for the subject property. The I2 zone aligns with the Official Community Plan (OCP) Future Land Use Designation of IND – Industrial. This Future Land Use is intended to accommodate industrial uses including manufacturing, repair, processing, storage and distribution as well as accessory retail and office space. The applicant is seeking a the I2 zone to accommodate a greater diversity of industrial uses.

Lot Area	Proposed (m ²)
Gross Site Area	16,098 m ²
Road Dedication	N/A
Undevelopable Area	1,286 m ²
Net Site Area	14.812 m ²

4.0 Site Context & Background

Orientation	Zoning	Land Use
North	I3 – Heavy Industrial	IND – Industrial
East	I3 – Heavy Industrial	IND – Industrial
South	I3 – Heavy Industrial	IND – Industrial
West	I2 – General Industrial	IND – Industrial

Subject Property Map: 270 Hiram Walker Ct



The subject property is located on Hiram Walker Ct near the intersection with Jim Bailey Rd. The applicant is proposing to rezone the property from the the I3 – Heavy Industrial zone to the I2 – General Industrial zone to facilitate an industrial development. The surrounding land uses are a mix of I2 and I3 with Future Land Use of IND – Industrial.

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Objective 6.4 Support the continued development of industrial lands.		
Policy	6.4.7	Support development of industrial lands in the Gateway, recognizing the important role that industrial activities play in meeting employment and service needs of the city and region.
Industrial Employment		<i>The proposed rezoning would support diversity in industrial uses within the gateway</i>

6.0 Application Chronology

Application Accepted: April 6, 2023
 Neighbourhood Notification Summary Received: February 9, 2024

Report prepared by: Graham Allison, Planner II
Reviewed by: Dean Strachan, Community Planning & Development Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

CITY OF KELOWNA
BYLAW NO. 12648
Z23-0019
270 Hiram Walker Court

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 3 Section 2 Township 20 ODYD Plan EPP98124 located on Hiram Walker Court, Kelowna, BC from the I3 – Heavy Industrial zone to the I2 – General Industrial zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



City of
Kelowna

Z23-0019 270 Hiram Walker Ct.

Rezoning Application

Purpose

- ▶ To rezone the subject property from the I3 – Heavy Industrial zone to the I2 – General Industrial zone to facilitate an industrial development.

Development Process



Apr. 6, 2023

Development Application Submitted



Staff Review & Circulation



Feb. 9, 2024

Public Notification Received



Apr. 8, 2024

Initial Consideration



Reading Consideration or Public Hearing

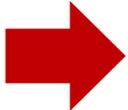


Final Reading & DP

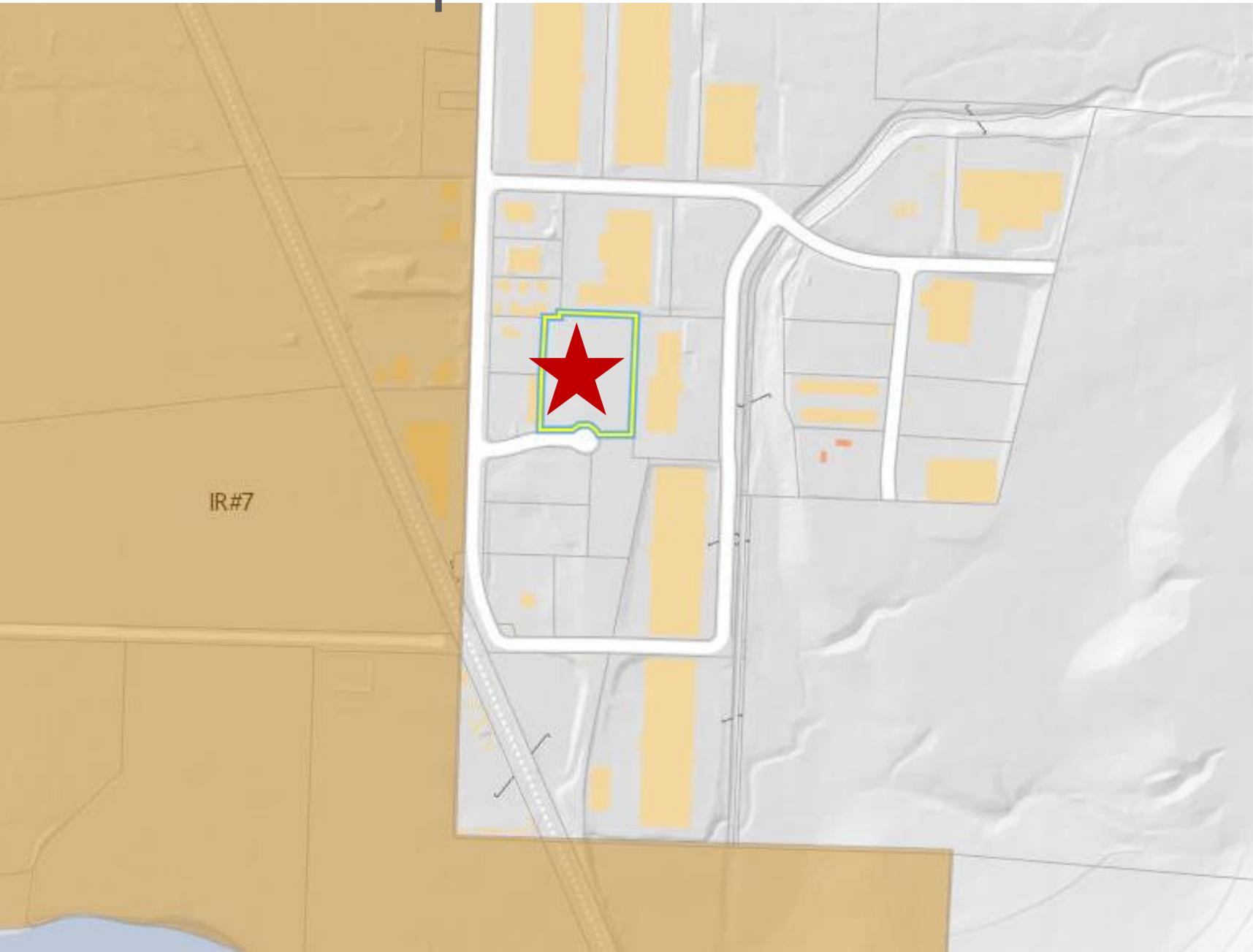


Building Permit

Council Approvals



Context Map



IR#7

Walk Score
20

Transit Score
25

Bike Score
32



OCP Future Land Use



	IND - Industrial
	R-AGR - Rural Agricultural & Resource

Subject Property Map



Project Details

- ▶ IND – Industrial
 - ▶ Surrounding zones a mix of I2 and I3
- ▶ I2 – General Industrial
 - ▶ General industrial uses
 - ▶ Located on Hiram Walker Ct. near the Intersection with Jim Bailey Rd.

OCP Objectives & Policies

- ▶ Policy 6.4.7 Industrial Employment
 - ▶ Support development of industrial lands in the Gateway, recognizing the important role that industrial activities play in meeting employment and service needs of the city and region.

Staff Recommendation

- ▶ Staff recommend **support** for the proposed rezoning as it is consistent with:
 - ▶ OCP Future Land Use IND
 - ▶ OCP Objectives in Chapter 6 – The Gateway
 - ▶ Development of the industrial lands in the vicinity of Jim Bailey Road and Beaver Lake Road
 - ▶ Development Permit to follow

Report to Council



Date: April 8, 2024
To: Council
From: City Manager
Department: Office of the City Clerk
Subject: Rezoning Bylaws Supplemental Report to Council

Recommendation:

THAT Council receives, for information, the report from the Office of the City Clerk dated April 8, 2024 with respect to two rezoning applications;

AND THAT Rezoning Bylaws No. 12635 and 12636 be forwarded for further reading consideration.

Purpose:

To receive a summary of notice of first reading for Rezoning Bylaws No. 12635 and 12636 and to give the bylaws further reading consideration.

Background:

A public hearing cannot be held for zoning bylaws for residential development that are consistent with the OCP. A public hearing is not required for all other zoning bylaws that are consistent with the OCP. Public notice is given before first reading with signage on the subject property, newspaper advertisements, and mailouts in accordance with the Local Government Act and Development Application & Heritage Procedures Bylaw No. 12310.

Discussion:

The two Rezoning Applications were brought forward to Council for initial consideration on March 25, 2024. Notice of first reading was completed as outlined above.

Correspondence was received as per the following table:

Address	Application	Bylaw	Public Hearing Option	Recommended Readings	Correspondence Received
925 Laurier Ave	Z23-0082	12635	No	1 st , 2 nd , 3 rd	0
491 Clifton Rd N	Z23-0048	12636	No	1 st , 2 nd , 3 rd	0

These applications were brought forward with a recommendation of support from the Development Planning Department. Staff are recommending Council proceed with further readings of the Bylaws.

Conclusion:

Following notice of first reading, staff are recommending that Council give Rezoning Bylaws No. 12635 and 12636 further reading consideration.

Considerations applicable to this report:

Legal/Statutory Authority:

Local Government Act s. 464(2)

Legal/Statutory Procedural Requirements:

Following the notification period under s. 467 of the Local Government Act, Council may choose to:

- give a bylaw reading consideration,
- defeat the bylaw, or
- for non-residential bylaws, give a bylaw first reading and advance the bylaw to a Public Hearing.

Considerations not applicable to this report:

Existing Policy:

Financial/Budgetary Considerations:

External Agency/Public Comments:

Communications Comments:

Submitted by: N Beauchamp, Legislative Technician

Approved for inclusion: L Bentley, City Clerk

cc: Development Planning

CITY OF KELOWNA

BYLAW NO. 12635

Z23-0082

925 Laurier Avenue

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot B District Lot 138 ODYD Plan 2255 located on Laurier Avenue Kelowna, BC from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 12636
Z23-0048
491 Clifton Road North

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

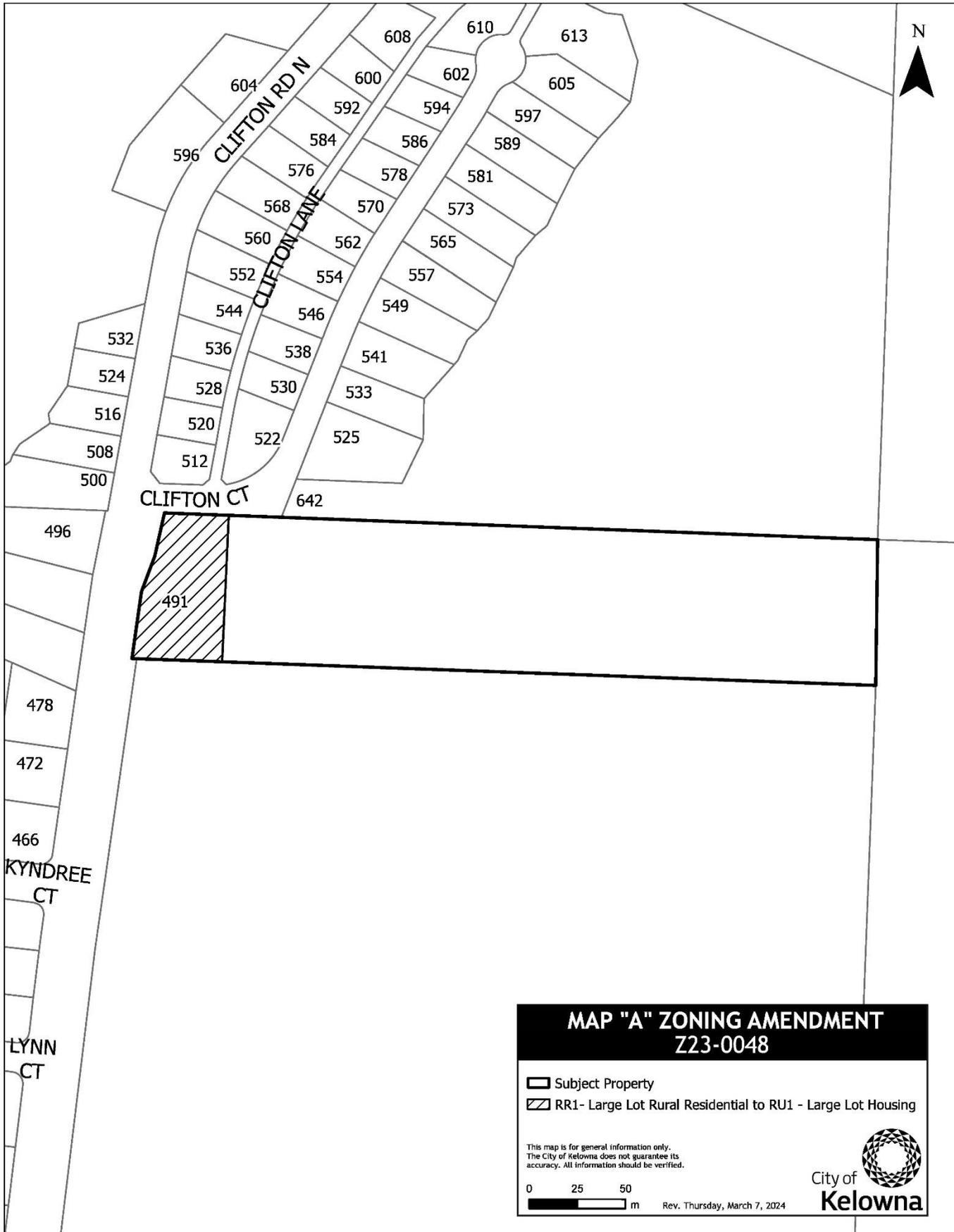
1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of a portion of Lot 1 Section 8 Township 23 ODYD Plan 29568 located on Clifton Road North, Kelowna, BC from the RR1 – Large Lot Rural Residential zone to the Ru1 – Large Lot Housing zone as shown on Map "A" attached to and forming part of this bylaw.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



CITY OF KELOWNA
BYLAW NO. 12572
Z22-0070
1181-1191 Bernard Avenue

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 1 District Lot 137 ODYD Plan 16997, located on Bernard Avenue, Kelowna, BC from the MF2 – Townhouse Housing zone to the MF3 – Apartment Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 16th day of October, 2023.

Approved under the Transportation Act this 17th day of October, 2023.

Audrie Henry

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL DEVELOPMENT PERMIT



Date: April 8, 2024
To: Council
From: City Manager
Address: 1181-1191 Bernard Ave
File No.: DP22-0202
Zone: MF3 – Apartment Housing

1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 12572 be considered by Council;

THAT Council authorizes the issuance of Development Permit No. DP22-0202 for Lot 1 District Lot 137 ODYD Plan 16997, located at 1181-1191 Bernard Ave, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT Council's consideration of this Development Permit be considered subsequent to the outstanding conditions of approval as set out in Attachment "A" attached to the Report from the Development Planning Department dated March 25, 2024;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Permit for the form and character of apartment housing.

3.0 Development Planning

Development Planning recommends support for the Development Permit to facilitate a 53 unit apartment building. The proposal is consistent with key form and character design guidelines in the 2040 Official Community Plan (OCP) and Core Area Neighbourhood, including:

- Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians;
- Ensure buildings contribute positively to the neighbourhood context and provide a sensitive transition in scale to existing and future buildings, parks, and open spaces; and

- Locating off-street parking, garbage collection, utilities, and parking access from public view, with primarily underground parking.

This proposal is for a five-storey apartment building containing 53 units. The development fronts Bernard Avenue with a single access. Required parking is met through underground parking with some parking located at grade. Common and private open space requirements are met on-site through a tenant multi-use space on the fifth floor and a seating area with benches at grade. Each unit has either an at grade patio area or balcony for private use. The primary building finish includes red brick and a variety of hardie panel colours.

4.0 Subject Property & Background

4.1 Subject Property Map



The subject property is located between Gordon Dr and Richmond St, on the south side of Bernard Ave. The surrounding area is predominantly apartment housing with a variety of forms which range from a 16 storey tower, apartment housing, and townhomes. Bernard Ave is a Transit Supportive Corridor with direct access to transit.

5.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
Gross Lot Area	3,321 m ²
Total Number of Units	53
Bachelor	3
1-bed	13
2-bed	37

DEVELOPMENT REGULATIONS		
CRITERIA	MF ₃ ZONE	PROPOSAL
Total Maximum Floor Area Ratio		
Base FAR	1.8	0.85
Max. Site Coverage (buildings)	65%	28.4%
Max. Site Coverage (buildings, parking, driveways)	85%	69.5%
Max. Height	22 m & 6 Storeys	18.6 m & 5 Storeys
Setbacks		
Min. Front Yard (North)	2 m	6 m
Min. Side Yard (West)	3 m	6 m
Min. Side Yard (East)	3 m	19.9 m
Min. Rear Yard (South)	4.5 m	16.3 m
Step backs		
Min. Fronting Street (North)	3 m	3 m
Amenity Space		
Total Required Amenity Space	1,142.5 m²	1,650 m²
Common	212 m ²	985 m ²
Private		667 m ²
Landscaping		
Min. Number of Trees	14 trees	17 trees
Min. Large Trees	7 trees	15 trees

PARKING REGULATIONS		
CRITERIA	MF ₃ ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	64 stalls	72 stalls
Residential	56.4 stalls	65 stalls
Visitor	7.4 stalls	7 stalls
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	78% Regular 22% Small
Bicycle Stalls Short-Term	6 stalls	8 stalls
Bicycle Stalls Long-Term	40 stalls	40 stalls
Bike Wash & Repair	Y	Y

6.o Application Chronology

Application Accepted: October 17, 2022
Public Information Session: August 30, 2023
Neighbourhood Notification Summary Received: August 15, 2023

Report prepared by: Jason Issler, Planner I
Reviewed by: Jocelyn Black, Urban Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Permit DP22-0202

Schedule A: Site Plan & Floor Plans

Schedule B: Elevations & Sections

Schedule C: Landscape Plan

Attachment B: Project Rendering

Attachment C: OCP Form and Character Development Permit Guidelines

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

Development Permit

DP22-0202



This permit relates to land in the City of Kelowna municipally known as

1181-1191 Bernard Ave

and legally known as

Lot 1 District Lot 137 ODYD Plan 16997

and permits the land to be used for the following development:

Apartment Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

ATTACHMENT A

This forms part of application
DP22-0202

Planner Initials JI



City of Kelowna
DEVELOPMENT PLANNING

Date of Council Approval: **April 8, 2024**

Development Permit Area: Form and Character

Existing Zone: MF3 – Apartment Housing

Future Land Use Designation: C-NHD – Core Area Neighbourhood

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner’s authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: SKJJ Bernard Land Holdings Ltd., Inc. No. BC1242190

Applicant: Premier Building Solutions Ltd

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP22-0202 for Lot 1 District Lot 137 ODYD Plan 16997 located at 1181 – 1191 Bernard Ave, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$98,494.03**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the**

Landscape Agreement or their designates.

ATTACHMENT A

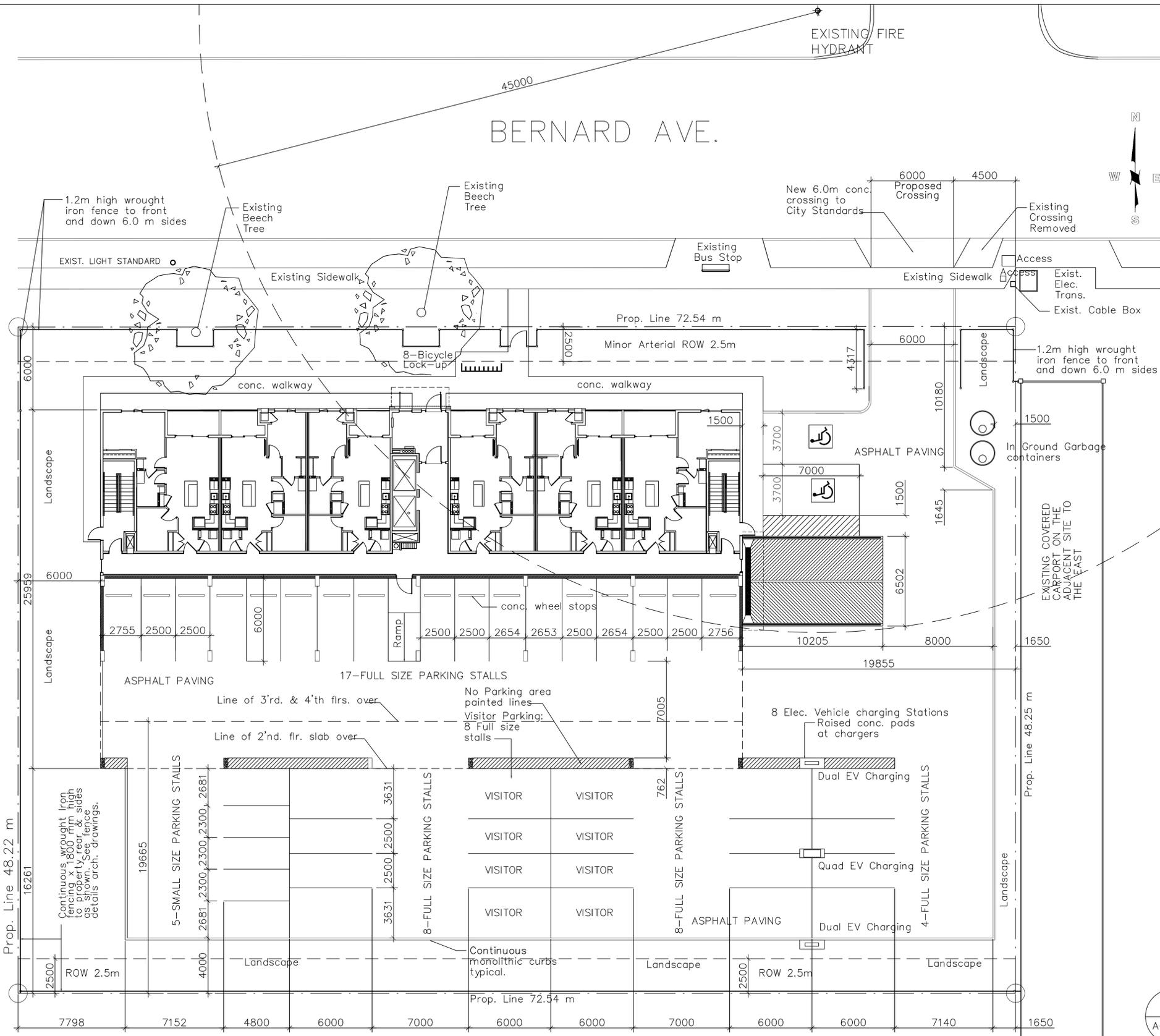
This forms part of application
DP22-0202

Planner Initials JI



City of
Kelowna
DEVELOPMENT PLANNING

DRAFT



PROPOSED: 53 Unit – 5 Storey – Apartment Building

Site Area = 3,498.96 m² (37,663 sq. ft.)
 Legal: Lot 1, Plan 16997, District Lot 137
 Osoyoos Division of Yale District
 Current Municipal: 1181 & 1191 Bernard Ave, Kelowna B.C.
 Current Zoning: MF2
 Proposed Zoning: MF3 Apartment Housing
 LANDSCAPING AREA PROVIDED = 985m² (10,600 sq. ft.)

APARTMENT TYPES:
 3 – BACHELOR UNITS
 13 – 1 BEDROOM UNITS
 37 – 2 BEDROOM UNITS (8 Den size bed rooms)
 53 – UNITS TOTAL

PARKING REQUIREMENTS
 SEE METRICS DRAWING A-104
 TOTAL PARKING STALLS REQUIRED = 65 STALLS REQ'D.
 TOTAL PARKING STALLS PROVIDED = 72 STALLS
 U/G PARKING FOR 28 CARS
 SURFACE PK'G FOR 44 CARS
 TOTAL PARKING FOR 72 CARS
 (INCLUDES 8 FULL SIZE VISITOR STALLS)
 (INCLUDES 8 FULL SIZE EV CHARGING ST'NS.)
 PARKING STALL SIZES:
 REGULAR SIZE STALLS = 56
 SMALL SIZE STALLS = 16
 SMALL SIZE STALLS = 28.5% OF TOTAL STALLS

SCHEDULE A

This forms part of application
 # DP22-0202

Planner Initials **JJ**

1 SITE PLAN – Surface Level
 A-101 1:150

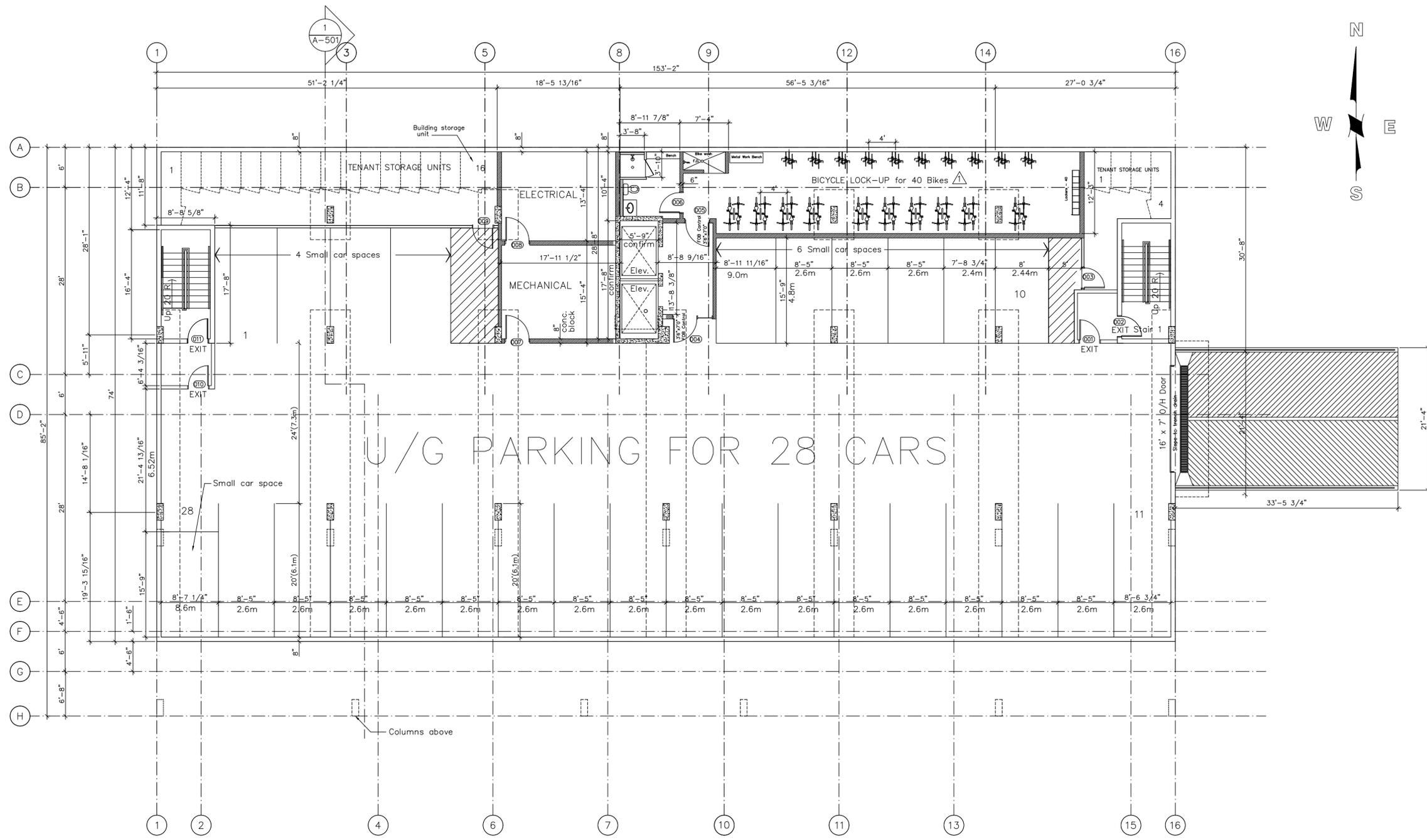
R. W. SCHEIDT DESIGN
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 PHONE: (250) 860-5061
 E MAIL: RSCHEIDTDESIGN@GMAIL.COM



MCDUGALL ARCHITECT
 SUITE 904, 330 - 26 TH AVENUE S.W.
 CALGARY, ALBERTA T2S 2T3
 PHONE: (250) 860-5061 1 (403) 265-3300

REVISIONS:
 REV. Nov 07 – Relocate bike rack, add walkway as/Landscape Dwg.

PROJECT NAME		BERNARD LAND HOLDINGS LTD.	
PROJECT ADDRESS		1195 BERNARD AVENUE Kelowna, B.C.	
DRAWING TITLE		SITE PLAN – Main Floor Plan	
DESIGN	DRAW	SCALE	DATE
		1:150	NOV 07 2023
			SHEET A-101



1 U/G Parking Level
A-201 1/8" = 1'-0"

AREA Parking Level: 11,335 sq. ft. (1,053 m2)

SCHEDULE A

This forms part of application
DP22-0202

Planner Initials **JJ**



City of Kelowna
DEVELOPMENT PLANNING

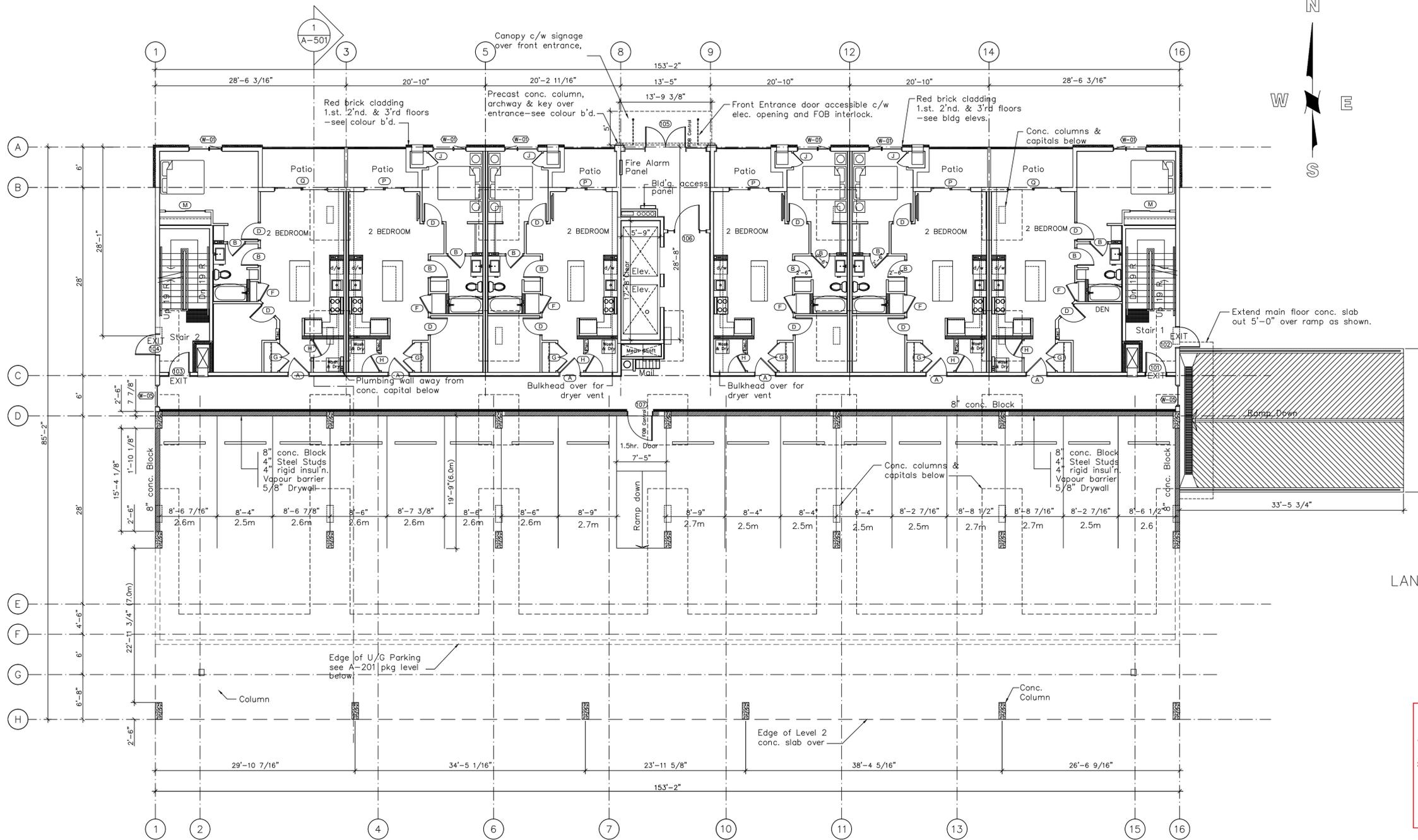
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SUITE 904, 330 - 26 TH AVENUE S.W.
CALGARY, ALBERTA T2S 2T3
PHONE: (250) 860-5061 1(403) 265-3300

REVISIONS:
1 Nov 20 2023 - Revise Bike Area

PROJECT NAME		BERNARD LAND HOLDINGS LTD.	
PROJECT ADDRESS		1195 BERNARD AVE. KELOWNA, B.C.	
DRAWING TITLE		U/G Parking Level	
DESIGN	DRAW	SCALE	DATE
		1/8" = 1'-0"	NOV 20 2023
			SHEET: A-201



PROJECT DATA:
 PROVINCE: B.C.
 USING: B.C. BUILDING CODE 2018
 GROUP C - 3.2.2.51
 5 - STORIES
 COMBUSTIBLE OR NON COMBUSTIBLE CONSTRUCTION
 FULLY SPRINKLERED.
 FLOOR ASSEMBLIES-FIRE SEPARATION WITH 1 hour
 FIRE RESISTANCE RATING.
 LOADBEARING WALLS & COLUMNS 1 HOUR FIRE RESISTANCE RATING.

PROJECT TOTAL APARTMENTS:
 53 Apartments
 5 Storey Building
 C/W 1 level U/G Parking

PROJECT ZONING:
 Site to be rezoned to MF3
 (From RM3)

FLOOR AREA RATIO (F.A.R.):
 ALLOWED 1.16 + U/G Parking = 1.2
 PROPOSED F.A.R. = 0.92
 Site Area = 3,500m²
 Total Net Bld'g. Area = 3,212m²

3 - BACHELOR UNITS
 13 - 1 BEDROOM UNITS
 37 - 2 BEDROOM UNITS (8-Den size bed rms)
 53 - UNITS TOTAL

PARKING REQUIREMENTS
 BACHELOR: 3 UNITS X 0.9 = 3 STALLS REQ'D.
 1 BED R'M: 13 UNITS X 1.0 = 13 STALLS REQ'D.
 2 BED R'M: 37 UNITS X 1.1 = 41 STALLS REQ'D.
 GUEST PARKING: 53 X 0.14 = 7 STALLS REQUIRED.
 TOTAL PARKING STALLS REQUIRED = 64 STALLS REQ'D.
 TOTAL PARKING STALLS PROVIDED = 72 STALLS

LANDSCAPING AREA PROVIDED=985m² (10,600 sf)

SCHEDULE A
 This forms part of application
 # DP22-0202
 City of Kelowna
 DEVELOPMENT PLANNING
 Planner Initials: JI

1 MAIN Floor Plan
 A-202 1/8" = 1'-0"

SHEAR WALL CONSTRUCTION: Refer to structural drawings for shear wall locations and plywood thickness and fastening details as an addition to rated wall construction details.

MAIN Floor - 6 Apartments
 MAIN Floor Footprint Area = 6,127 Sq. Ft. (569 m²)
 (Balconies included in area above)
 MAIN Floor Footprint Area = 5,755 Sq. Ft. (535 m²)
 (Balconies NOT included in area above)

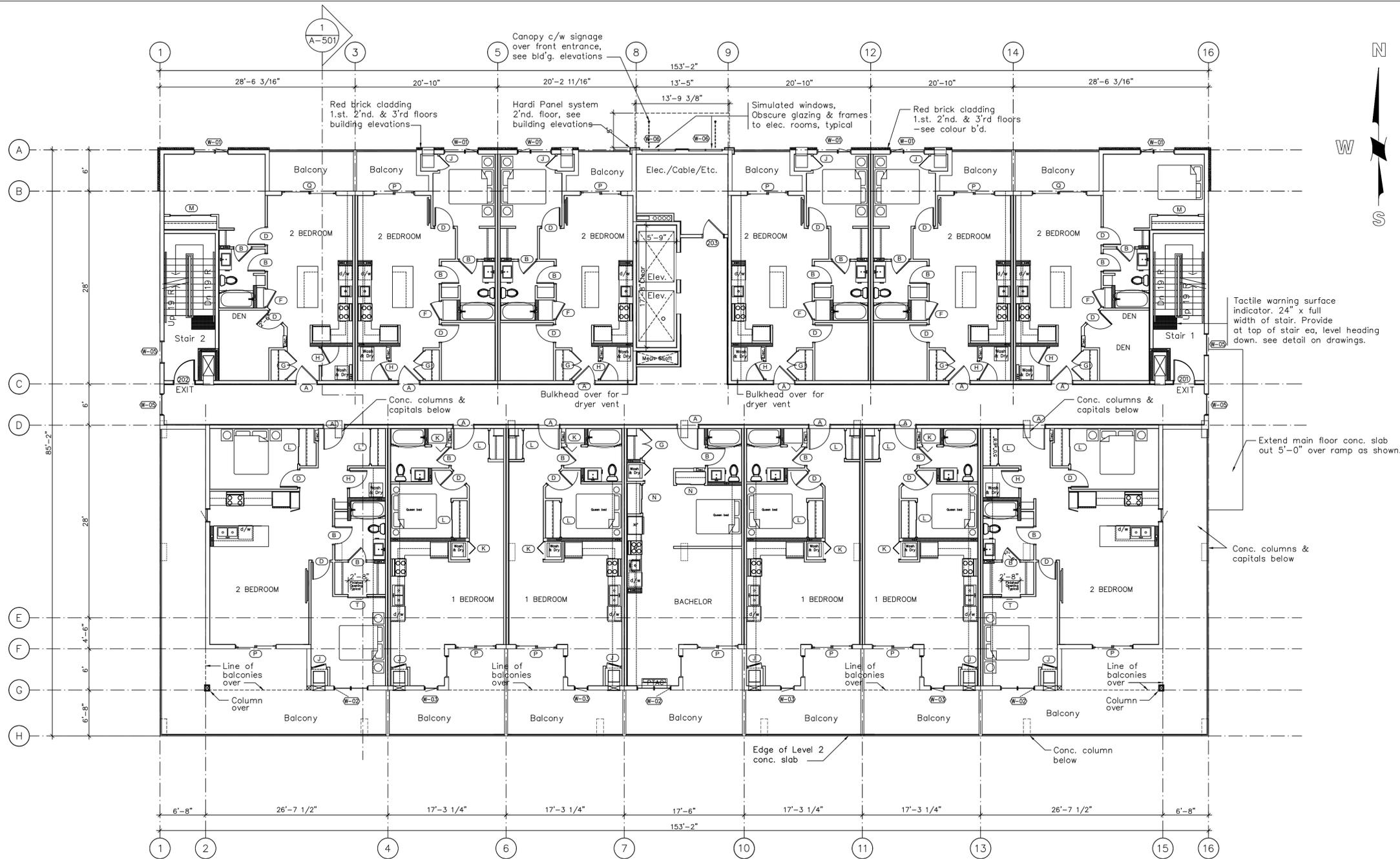
R. W. SCHEIDT DESIGN
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MCDougALL ARCHITECT
 SUITE 904, 330 - 26 TH AVENUE S.W.
 CALGARY, ALBERTA T2S 2T3
 PHONE: (250) 860-5061 1 (403) 265-3300

REVISIONS:

PROJECT NAME				BERNARD LAND HOLDINGS LTD.	
PROJECT ADDRESS				1195 BERNARD AVE. KELOWNA, B.C.	
DRAWING TITLE				Main Floor Plan	
DESIGN	DRAW	SCALE	DATE	SHEET:	
		1/8" = 1'-0"	NOV 04 2023	A-202	



SHEAR WALL CONSTRUCTION: Refer to structural drawings for shear wall locations and plywood thickness and fastening details as an addition to rated wall construction details.

1 SECOND Floor Plan
A-203
1/8" = 1'-0"

SECOND Floor - 13 Apartments
 2'nd Floor Footprint Area = 13,044 Sq. Ft. (1,212 m2)
 (Balconies included in area above)
 2'nd Floor Footprint Area = 10,716 Sq. Ft. (956 m2)
 (Balconies NOT included in area above)

SCHEDULE A
 This forms part of application # DP22-0202
 City of Kelowna DEVELOPMENT PLANNING
 Planner Initials JI

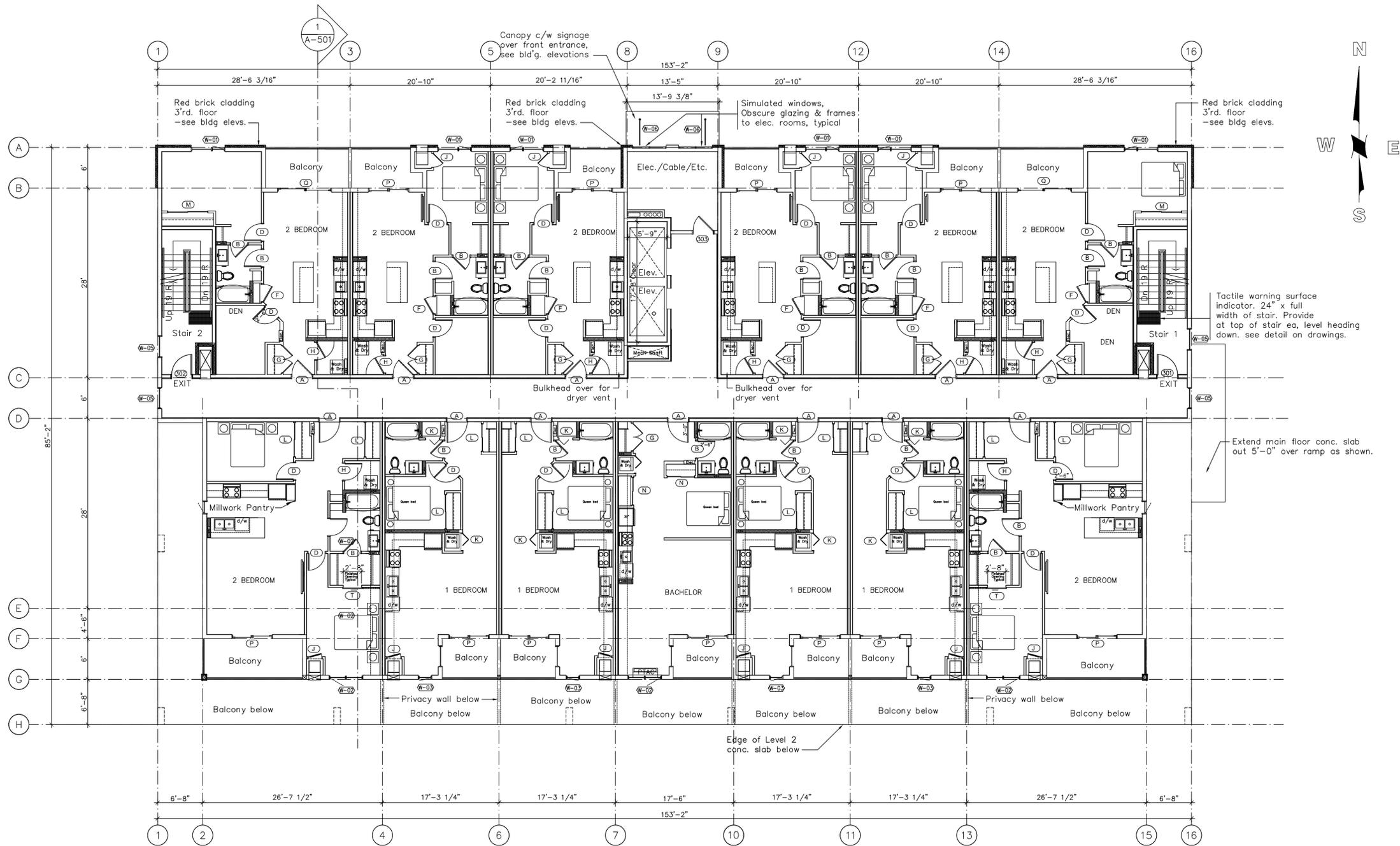
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 SUITE 904, 330 - 26 TH AVENUE S.W.
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REVISIONS:

PROJECT NAME		BERNARD LAND HOLDINGS LTD.	
PROJECT ADDRESS		1195 BERNARD AVE. KELOWNA, B.C.	
DRAWING TITLE		Second Floor Plan	
DESIGN	DRAW	SCALE	DATE
		1/8" = 1'-0"	NOV 04 2023
			SHEET: A-203



SCHEDULE A

This forms part of application
DP22-0202

Planner Initials **JJ**

SHEAR WALL CONSTRUCTION: Refer to structural drawings for shear wall locations and plywood thickness and fastening details as an addition to rated wall construction details.

1 THIRD Floor Plan
A-204 1/8" = 1'-0"

THIRD Floor - 13 Apartments
 THIRD Floor Footprint Area = 11,518 Sq. Ft. (1,070 m²)
 (Balconies included in area above)
 3rd Floor Footprint Area = 10,715 Sq. Ft. (995 m²)
 (Balconies NOT included in area above)

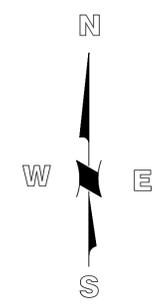
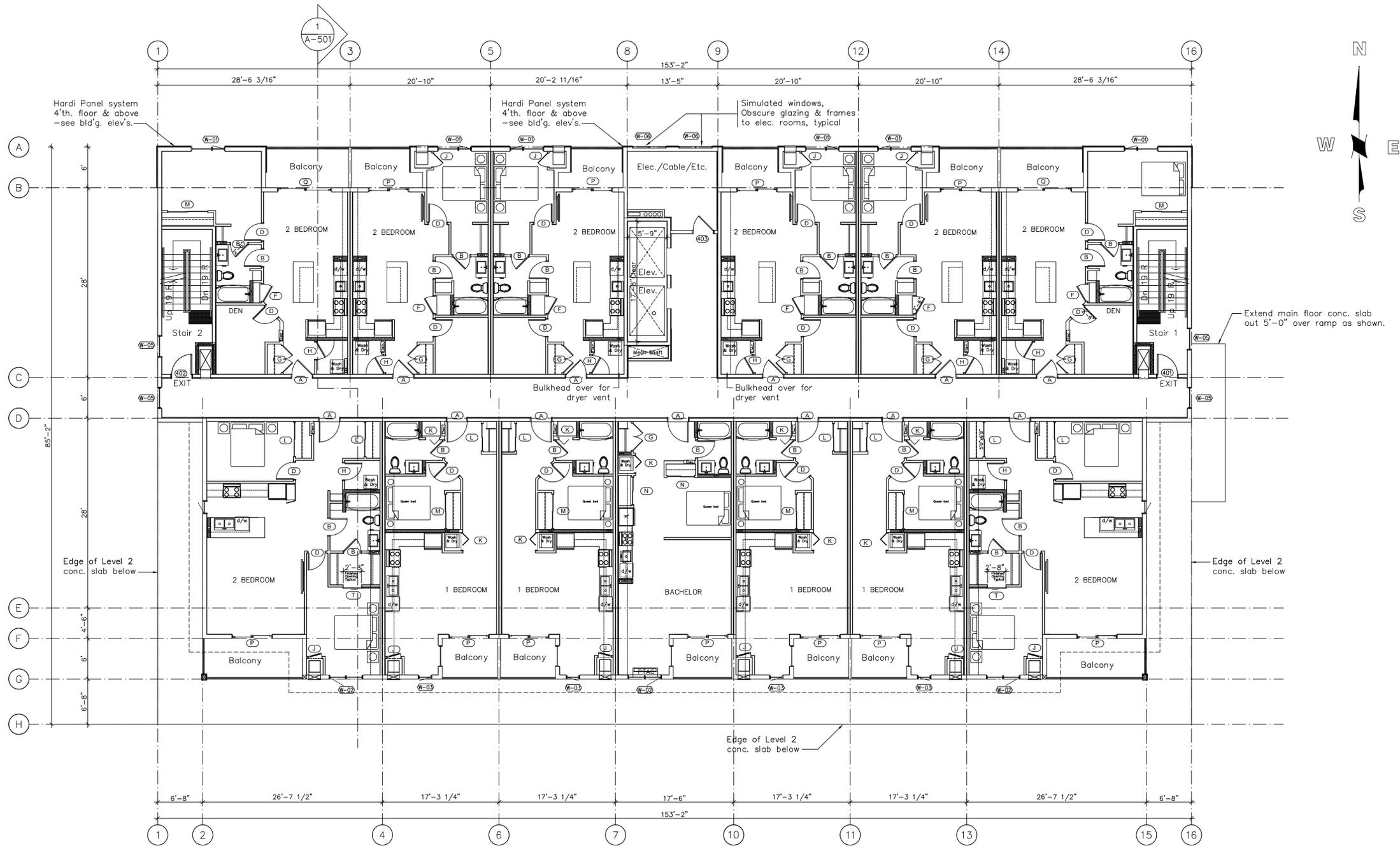
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MCDougALL ARCHITECT
 SUITE 904, 330 - 26 TH AVENUE S.W.
 CALGARY, ALBERTA T2S 2T3
 PHONE: (250) 860-5061 (403) 265-3300

REVISIONS:

PROJECT NAME		BERNARD LAND HOLDINGS LTD.	
PROJECT ADDRESS		1195 BERNARD AVE. KELOWNA, B.C.	
DRAWING TITLE		Third Floor Plan	
DESIGN	DRAW	SCALE	DATE
		1/8" = 1'-0"	NOV 04 2023
			SHEET: A-204



SCHEDULE A

This forms part of application
DP22-0202

Planner Initials **JJ**

1 FOURTH Floor Plan
A-205 1/8" = 1'-0"

SHEAR WALL CONSTRUCTION: Refer to structural drawings for shear wall locations and plywood thickness and fastening details as an addition to rated wall construction details.

FOURTH Floor - 13 Apartments
FOURTH Floor Footprint Area = 11,518 Sq. Ft. (1,070 m2)
(Balconies included in area above)
4th Floor Footprint Area = 10,715 Sq. Ft. (995 m2)
(Balconies NOT included in area above)

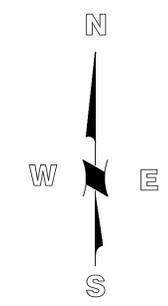
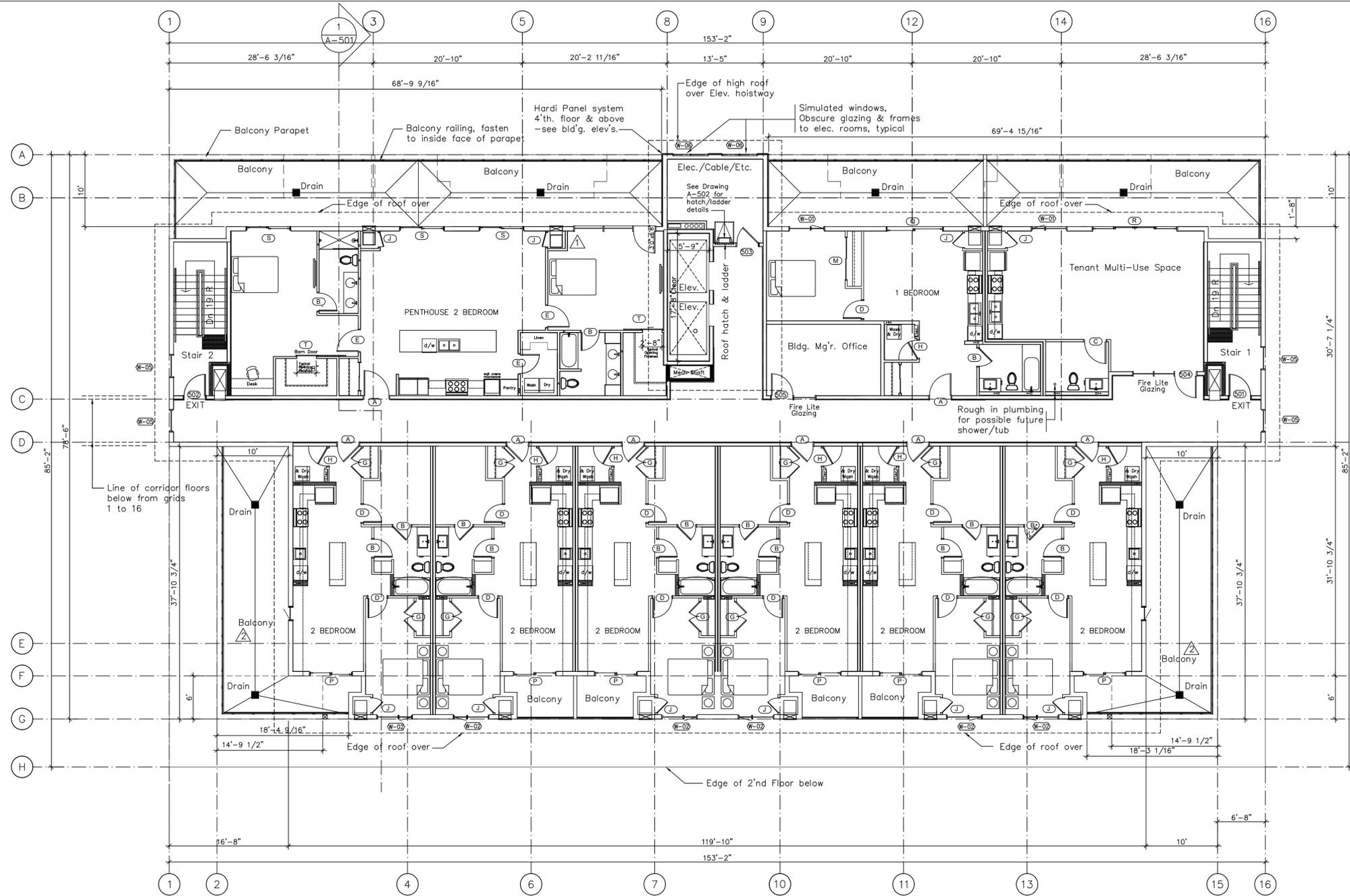
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MCDougALL ARCHITECT
SUITE 904, 330 - 26 TH AVENUE S.W.
CALGARY, ALBERTA T2S 2T3
PHONE: (250) 860-5061 (403) 265-3300

REVISIONS:

PROJECT NAME		BERNARD LAND HOLDINGS LTD.	
PROJECT ADDRESS		1195 BERNARD AVE. KELOWNA, B.C.	
DRAWING TITLE		FOURTH Floor Plan	
DESIGN	DRAW	SCALE	DATE
		1/8" = 1'-0'	NOV 04 2023
			SHEET: A-205



SCHEDULE A

This forms part of application
DP22-0202

Planner Initials **JJ**



City of Kelowna
DEVELOPMENT PLANNING

1 FIFTH Floor Plan
A-206 1/8" = 1'-0"

SHEAR WALL CONSTRUCTION: Refer to structural drawings for shear wall locations and plywood thickness and fastening details as an addition to rated wall construction details.

FIFTH Floor – 8 Apartments

5th FLOOR Footprint Area = 11,518 Sq. Ft. (1,070 m²)
(Balconies included in area above)

5th FLOOR Footprint Area = 9,029 Sq. Ft. (839 m²)
(Balconies NOT included in area above)

- REVISION:
- ▲ Sept 08 2023 – Add rough in plumbing amenity room washroom for future tub/shower. Revise Vert. PTAC access location in Type G penthouse.
 - ▲ Nov 07 2023 – Add dimensions to balconies 5th floor

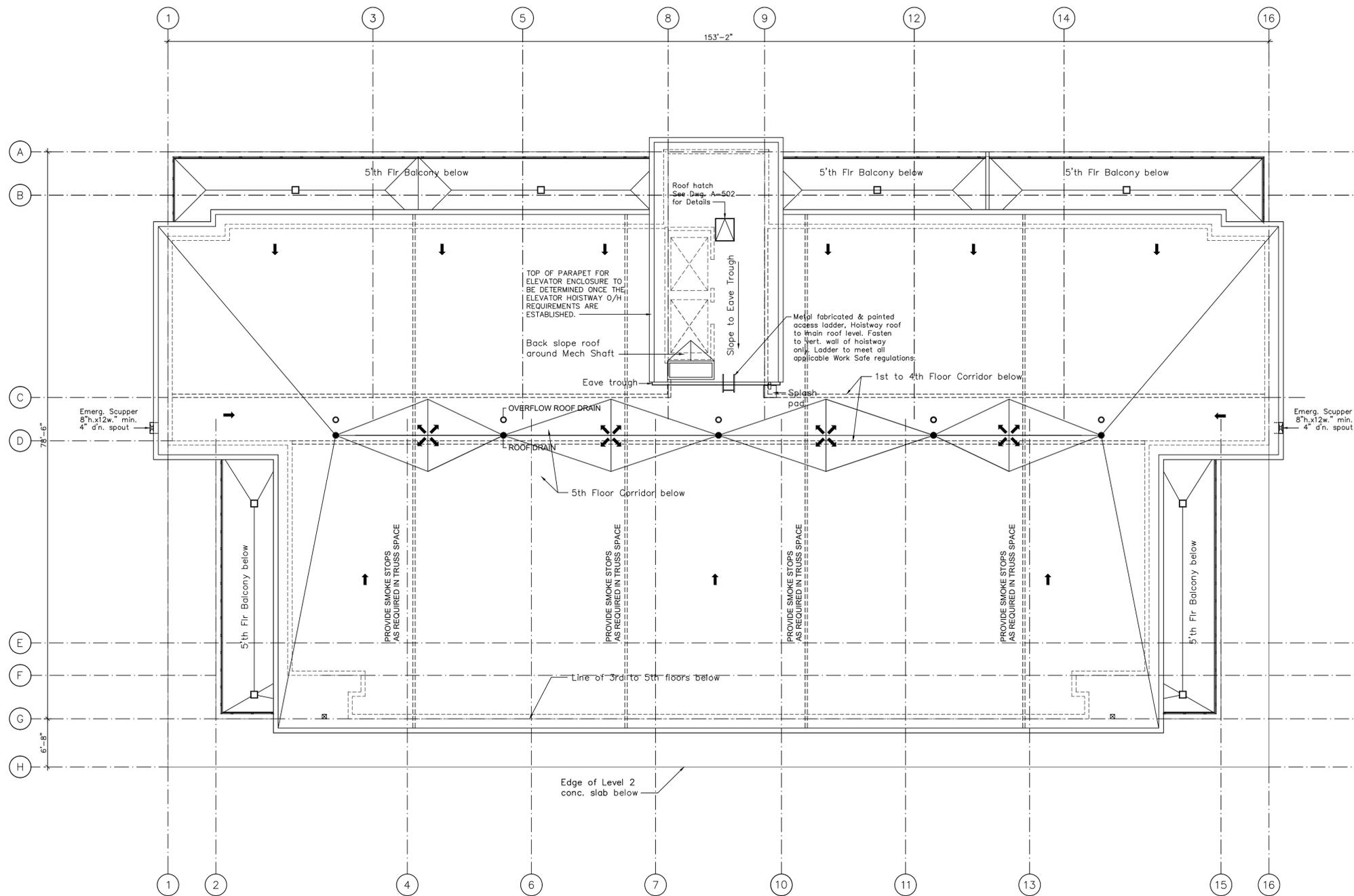
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MCDougall ARCHITECT
SUITE 904, 330 - 26 TH AVENUE S.W.
CALGARY, ALBERTA T2S 2T3
PHONE: (250) 860-5061 1(403) 265-3300

REVISIONS:

PROJECT NAME		BERNARD LAND HOLDINGS LTD.	
PROJECT ADDRESS		1195 BERNARD AVE. KELOWNA, B.C.	
DRAWING TITLE		FIFTH FLOOR Plan	
DESIGN	DRAW	SCALE	DATE
		1/8" = 1'-0"	NOV 07 2023
			SHEET: A-206



SCHEDULE A
 This forms part of application
 # DP22-0202
 Planner Initials **JJ**
 City of Kelowna
 DEVELOPMENT PLANNING

NOTE: ROOF INSULATION: Prior to construction Gen. contractor and energy consultant to review roof insulation with respect to R values, location of insulation & types of insulation to be used through out the building envelope, including roof walls, foundations & floor slab.

SHEAR WALL CONSTRUCTION: Refer to structural drawings for shear wall locations and plywood thickness and fastening details as an addition to rated wall construction details.

FIRE BLOCKS in Roof Truss Space:
 (If open webb trusses are used)
 Provide Fire/Smoke stop to roof space in Accordance Bld'g. Code: 3.1.11.5 - 1 (b) & 3.1.11.7 (4). Max Area 300m2 (3,230 sq. ft.) BC & National Bld'g. Code Use Min. 1/2" phenolic bonded plywood, waferboard or strandboard, with joints supported, one side of truss. Note that all joints of sheathing material must be fully supported. Where the fire block is penetrated by construction elements or service equipment a fire stop shall be used to seal the penetration.

1 ROOF Plan
 A-207 1/8" = 1'-0"

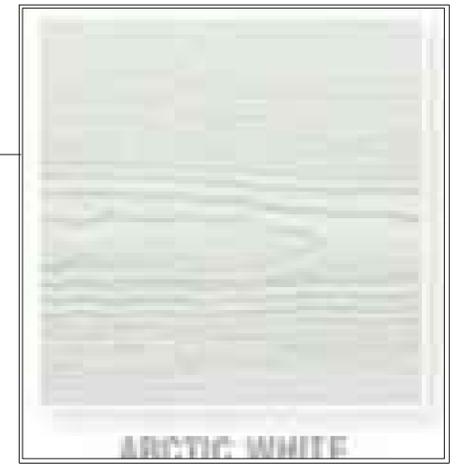
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 PHONE: (250) 860-5061 1(403) 265-3300

REVISIONS:

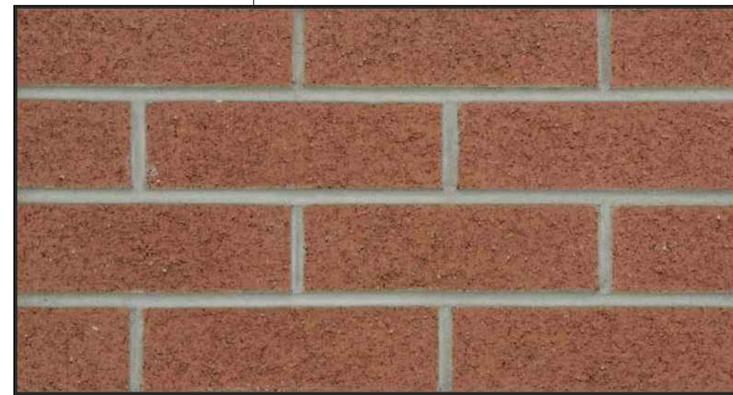
PROJECT NAME		BERNARD LAND HOLDINGS LTD.	
PROJECT ADDRESS		1195 BERNARD AVE. KELOWNA, B.C.	
DRAWING TITLE		ROOF Plan	
DESIGN	DRAW	SCALE	DATE
		1/8" = 1'-0"	NOV 04 2023
			SHEET: A-207



ARCTIC WHITE (F1)



COBBLESTONE



Canada Brick - Riverdale Matt.
Typical Brick



TIMBER BARK (F3)

SCHEDULE B

This forms part of application
DP22-0202

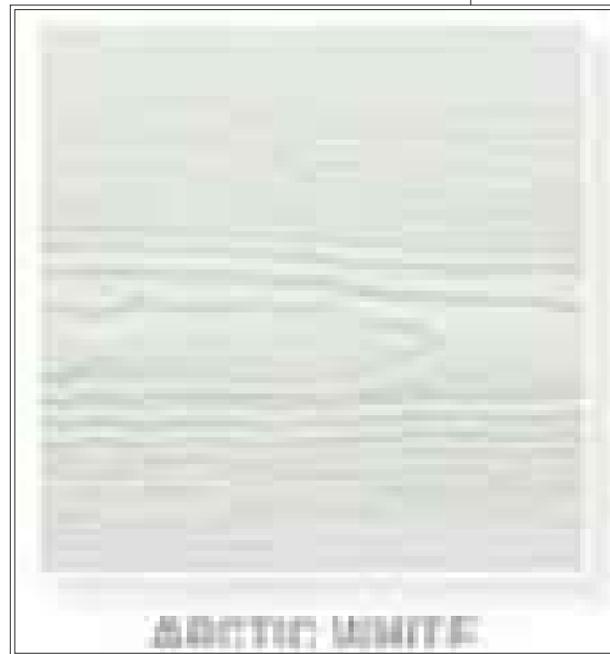
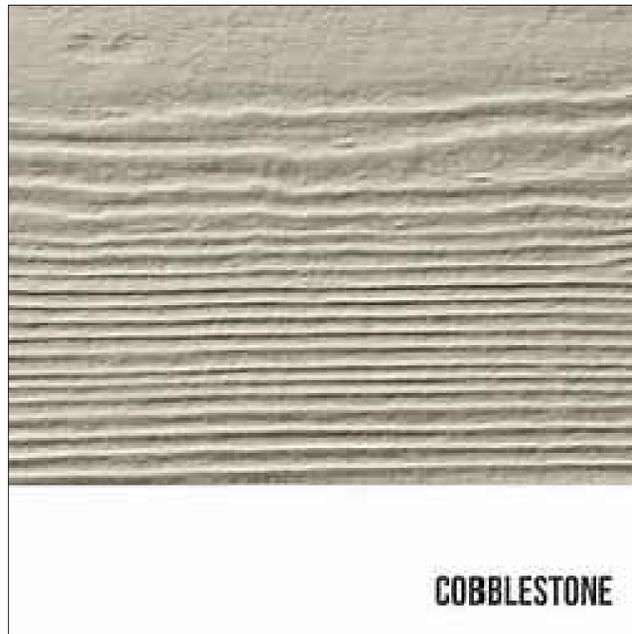
Planner Initials **Jl**

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MCDUGALL ARCHITECT
SUITE 904, 330 - 26 TH AVENUE S.W.
CALGARY, ALBERTA T2S 2T3
PHONE: (250) 860-5061 1(403) 265-3300

PROJECT NAME				BERNARD LAND HOLDINGS LTD.	
PROJECT ADDRESS				1195 BERNARD AVE. KELOWNA, B.C.	
DRAWING TITLE				COLOUR BOARD-Front Elev'n.	
DESIGN	DRAW	SCALE	DATE	SHEET:	
		1/8"=1'-0"	FEB 07 2024	A-105	



SCHEDULE B

This forms part of application
DP22-0202

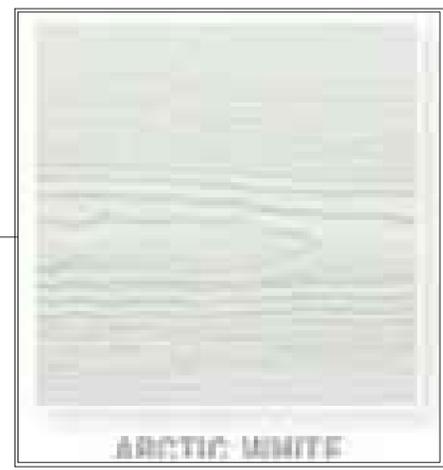
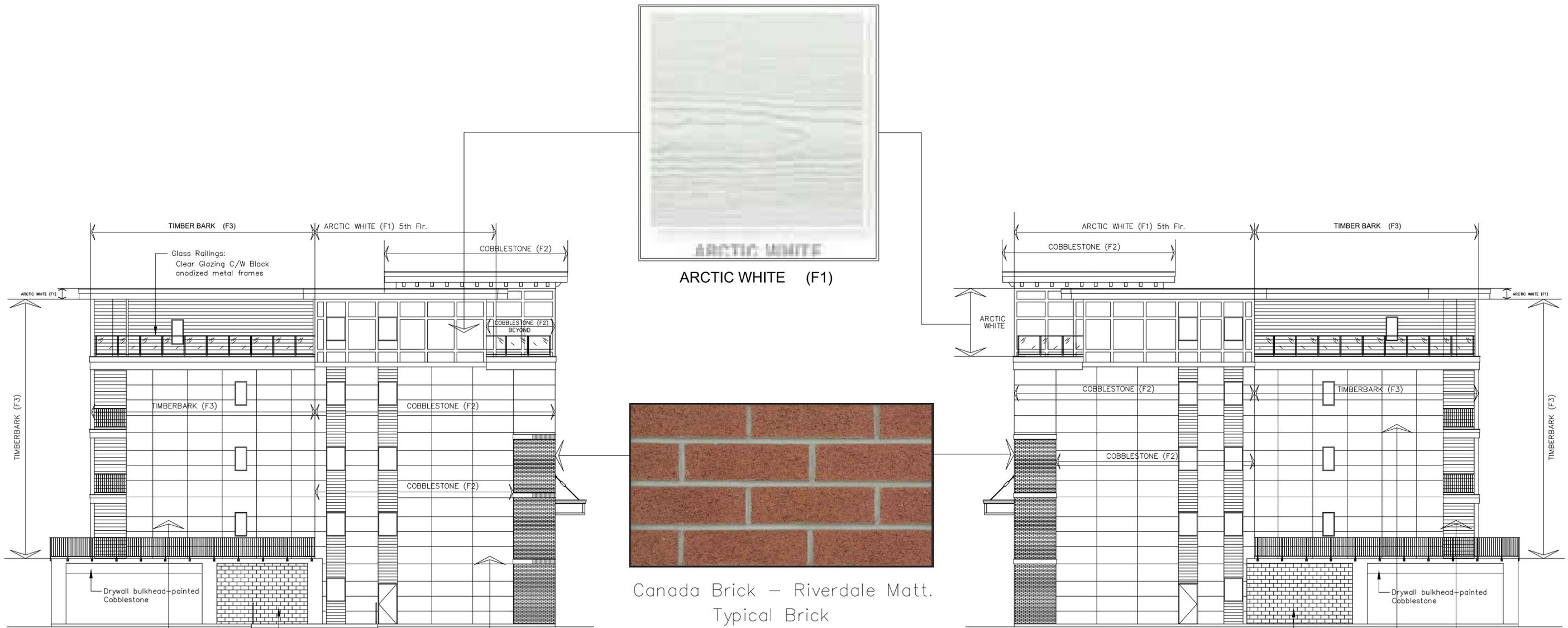
Planner Initials **JJ**



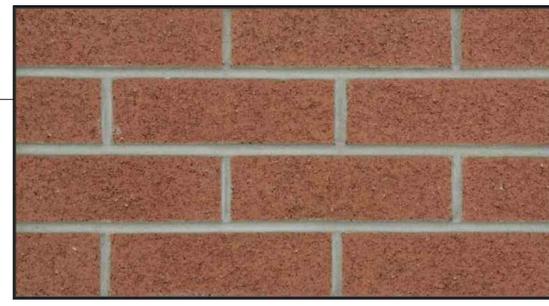
MCDougall ARCHITECT
SUITE 904, 330 - 26 TH AVENUE S.W.
CALGARY, ALBERTA T2S 2T3
PHONE: (250) 860-5061 1(403) 265-3300

PROJECT NAME				BERNARD LAND HOLDINGS LTD.	
PROJECT ADDRESS				1195 BERNARD AVE. KELOWNA, B.C.	
DRAWING TITLE				COLOUR BOARD-Rear Elev'n.	
DESIGN	DRAW	SCALE	DATE	SHEET:	
		1/8"=1'-0"	FEB 07 2024	A-106	

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ARCTIC WHITE (F1)



Canada Brick - Riverdale Matt. Typical Brick



TIMBER BARK (F3)



COBBLESTONE



TIMBER BARK (F3)

SCHEDULE B

This forms part of application # DP22-0202

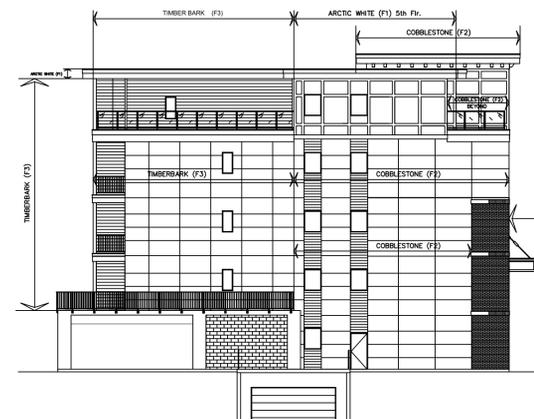
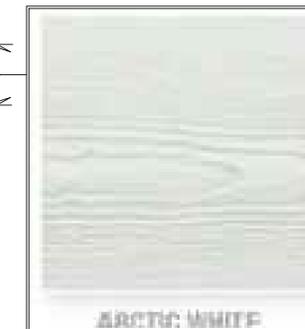
Planner Initials **JL**

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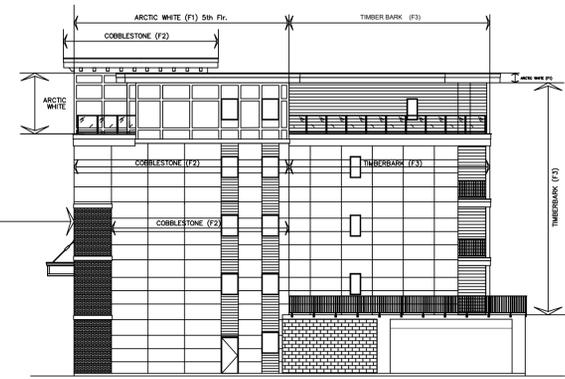


MCDUGALL ARCHITECT
 SUITE 904, 330 - 26 TH AVENUE S.W.
 CALGARY, ALBERTA T2S 2T3
 PHONE: (250) 860-5061 1(403) 265-3300

PROJECT NAME				BERNARD LAND HOLDINGS LTD.	
PROJECT ADDRESS				1195 BERNARD AVE. KELOWNA, B.C.	
DRAWING TITLE				COLOUR BOARD-Sides	
DESIGN	DRAW	SCALE	DATE	SHEET:	
		1/8"=1'-0"	FEB 07 2024	A-107	



EXTERIOR COLOUR LEGEND
 F1 - ARCTIC WHITE - Hardi Panels & Trim
 F2 - COBBLESTONE - Hardi Siding
 F3 - TIMBER BARK - Hardi Siding



SCHEDULE B

This forms part of application # DP22-0202

Planner Initials **JL**

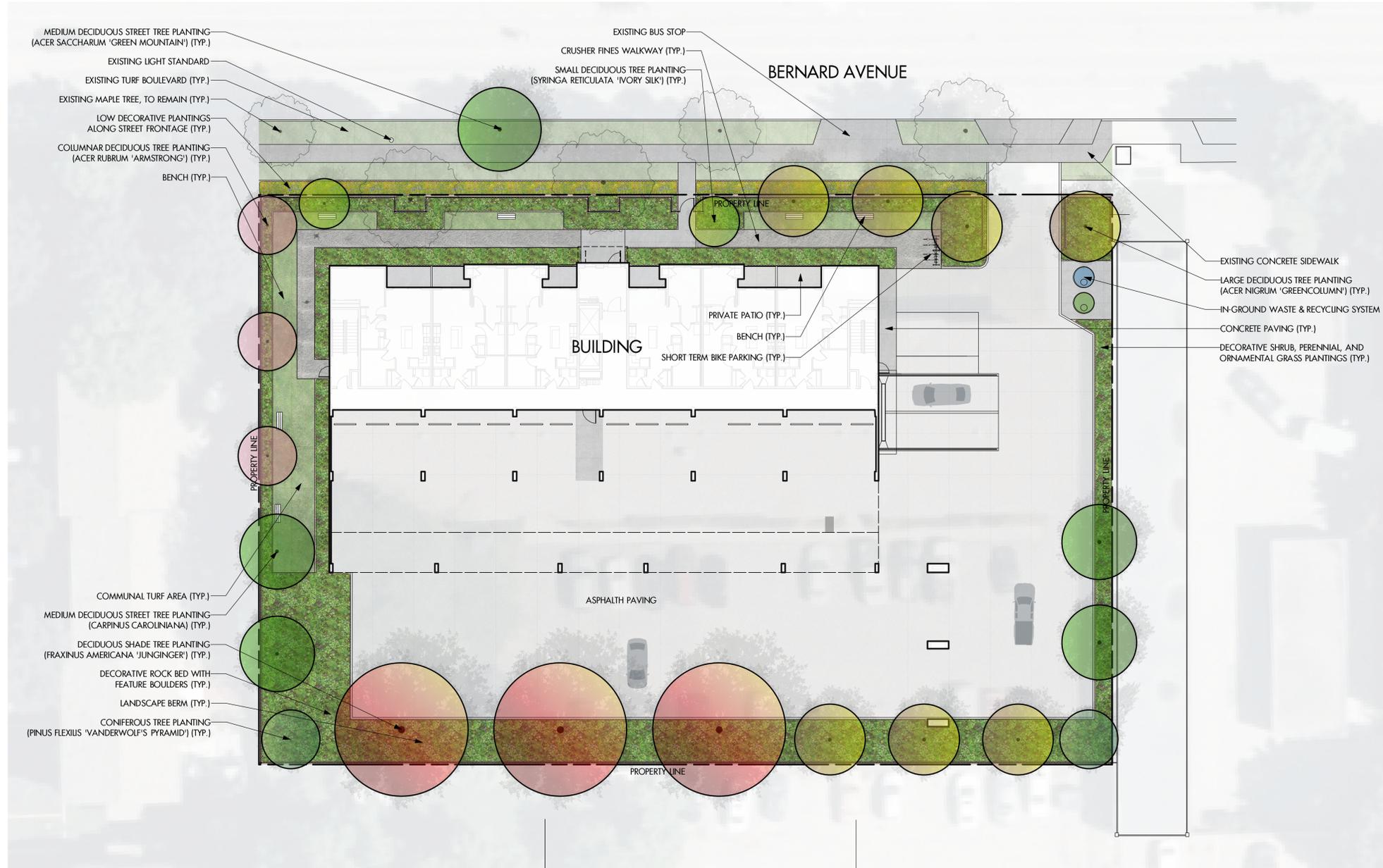
City of Kelowna
DEVELOPMENT PLANNING

R. W. SCHEIDT DESIGN
 1683 BLONDEAUX CR.
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MCDUGALL ARCHITECT
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PROJECT NAME		BERNARD LAND HOLDINGS LTD.	
PROJECT ADDRESS		1195 BERNARD AVE. KELOWNA, B.C.	
DRAWING TITLE		COLOUR BOARD	
DESIGN	DRAW	SCALE	DATE
		1/16"=1'-0"	FEB 06 2024
			SHEET: A-101



PROJECT TITLE

22 BERNARD
 1181 Bernard Avenue

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL
 LANDSCAPE PLAN**

ISSUED FOR / REVISION

1	22.03.31	Review
2	22.11.04	Development Permit
3	23.09.20	Development Permit
4		
5		

PROJECT NO. 22-0224

DESIGN BY FH

DRAWN BY FH

CHECKED BY FB

DATE SEP. 20, 2023

SCALE 1:200

PAGE SIZE 24x36"

SEAL



DRAWING NUMBER

L1/2

NOT FOR CONSTRUCTION

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NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED C.L.N.A. STANDARDS. ALL OFFSITE WORKS TO MEET CITY OF KELOWNA BYLAW 7900.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. EXTEND DEPTH OF TREE BEDS WITHIN LANDSCAPE BUFFER AREAS (FRONT AND REAR) PER BYLAW 12375 TO ACHIEVE REQUIRED GROWING MEDIUM PER TREE.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON OR PRIVATE PROPERTIES.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
TREES			
ACER NIGRUM 'GREENCOLUMN'	GREENCOLUMN MAPLE	7	5cm CAL
ACER RUBRUM 'ARMSTRONG'	ARMSTRONG MAPLE	3	4cm CAL
ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	1	4cm CAL
CARPINUS CAROLINIANA	AMERICAN HORNBEAM	4	5cm CAL
FRAXINUS AMERICANA 'JUNGINGER'	AUTUMN PURPLE ASH	3	5cm CAL
PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID PINE	2	2.5m HT.
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	2	3cm CAL
SHRUBS			
BERBERIS THUNBERGII 'GENTRY'	ROYAL BURGUNDY BARBERRY	38	#02 CONT. /1.5m O.C. SPACING
PHILADELPHUS LEWISII 'WATERTON'	WATERON MOCKORANGE	21	#02 CONT. /2.0m O.C. SPACING
PICEA ABIES 'PUMLA'	NORWAY SPRUCE	21	#02 CONT. /2.0m O.C. SPACING
ROSA WOODSII	WESTERN WILD ROSE	21	#02 CONT. /2.0m O.C. SPACING
SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	38	#02 CONT. /1.5m O.C. SPACING
PERENNIALS & ORNAMENTAL GRASSES			
HELIOPSIS HELIANTHOIDES 'SUMMER SUN'	SUMMER SUN FALSE SUNFLOWER	25	#01 CONT. /1.5m O.C. SPACING
HOSTA 'PATRIOT'	PATRIOT HOSTA	57	#01 CONT. /1.0m O.C. SPACING
NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	35	#01 CONT. /1.5m O.C. SPACING
PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	80	#01 CONT. /1.0m O.C. SPACING
SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT MEADOW SAGE	25	#01 CONT. /1.5m O.C. SPACING
SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	31	#01 CONT. /1.2m O.C. SPACING

SCHEDULE C

This forms part of application
 # DP22-0202

Planner Initials **JJ**

City of Kelowna
 DEVELOPMENT PLANNING

ATTACHMENT B
This forms part of application
DP22-0202
Planner Initials **JL**
City of **Kelowna**
DEVELOPMENT PLANNING



Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.					X	
b. On corner sites, orient building facades and entries to both fronting streets.	X					
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.					X	
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						X
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.					X	
f. Avoid blank, windowless walls along streets or other public open spaces.						X
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	X					
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. <ul style="list-style-type: none"> Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets); The street wall does not include upper storeys that are setback from the primary frontage; and A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys. 						X
2.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.						X
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.						X
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice. 						X

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2.1.3 Site Planning	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						X
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						X
c. Limit the maximum grades on development sites to 30% (3:1)						X
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; Incorporating terracing to create usable open spaces around the building Using the slope for under-building parking and to screen service and utility areas; Design buildings to access key views; and Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped). 	X					
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						X
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	X					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						X
2.1.4 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						X
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						X
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						X
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> Underground (where the high water table allows) Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage); 						X

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<ul style="list-style-type: none"> Garages or at-grade parking integrated into the building (located at the rear of the building); and Surface parking at the rear, with access from the lane or secondary street wherever possible. 						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.				X		
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> Landscaping; Trellises; Grillwork with climbing vines; or Other attractive screening with some visual permeability. 						X
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> Covered short-term parking in highly visible locations, such as near primary building entrances; and Secure long-term parking within the building or vehicular parking area. 						X
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						X
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.	X					
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.						X
2.1.5 Streetscapes, Landscapes, and Public Realm Design	N/A	1	2	3	4	5
a. Site buildings to protect mature trees, significant vegetation, and ecological features.						X
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						X
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						X
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						X
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> Locating outdoor spaces where they will receive ample sunlight throughout the year; Using materials and colors that minimize heat absorption; Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and Using building mass, trees and planting to buffer wind. 						X
f. Use landscaping materials that soften development and enhance the public realm.						X

g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						X
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.						X
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.	X					
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> • Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and • Using recycled water irrigation systems. 	X					
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	X					
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.	X					
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> • Minimizing light trespass onto adjacent properties; • Using full cut-off lighting fixtures to minimize light pollution; and • Maintaining lighting levels necessary for safety and visibility. 	X					
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.	X					
2.1.6 Building Articulation, Features and Materials	N/A	1	2	3	4	5
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> • Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; • Repeating window patterns on each step-back and extension interval; • Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval. 						X
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs. <p>Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters;</p>					X	

ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.						X
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						X
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.					X	
f. Provide weather protection such as awnings and canopies at primary building entries.						X
g. Place weather protection to reflect the building's architecture.					X	
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						X
i. Provide visible signage identifying building addresses at all entrances.						X

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
4.1 Low & mid-rise residential & mixed use guidelines						
4.1.1 Relationship to the Street						
N/A						
i. Ensure lobbies and main building entries are clearly visible from the fronting street.						X
j. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> Locating enclosed parking garages away from street frontages or public open spaces; Using ground-oriented units or glazing to avoid creating dead frontages; and When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting. 						X
Residential & Mixed Use Buildings						
k. Set back residential buildings on the ground floor between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio. <ul style="list-style-type: none"> A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways. Exceptions can be made in cases where the water table requires this to be higher. In these cases, provide a larger patio and screen parking with ramps, stairs and landscaping. 						X

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l. Incorporate individual entrances to ground floor units accessible from the fronting street or public open spaces.					X	
m. Site and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						X
4.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.						X
b. Residential buildings should have a maximum width of 24 m.						X
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.					X	
d. For commercial facades, incorporate a significant break at intervals of approximately 35 m.	X					
4.1.3 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.	X					
b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> • Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and • Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access. 						X
c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.	X					
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	X					
4.1.4 Site Servicing, Access and Parking	N/A	1	2	3	4	5
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimised; and • There is no more than one curb cut per property. 						X
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.						X
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations:	X					

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<ul style="list-style-type: none"> Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized. 						
4.1.5 Publicly-Accessible and Private Open Spaces	N/A	1	2	3	4	5
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	X					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.						X
Outdoor amenity areas						
c. Design plazas and urban parks to: <ul style="list-style-type: none"> Contain 'three edges' (e.g. building frontage on three sides) where possible and be sized to accommodate a variety of activities; Be animated with active uses at the ground level; and Be located in sunny, south facing areas. 					X	
d. Design internal courtyards to: <ul style="list-style-type: none"> Provide amenities such as play areas, barbecues, and outdoor seating where appropriate. Provide a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users. 					X	
e. Design mid-block connections to include active frontages, seating and landscaping.	X					
4.1.6 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: <ul style="list-style-type: none"> Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade; Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade; Providing a porch, patio, deck, or covered entry for each interval; Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; Changing the materials with the change in building plane; and Provide a lighting fixture, trellis, tree or other landscape feature within each interval. 					X	
b. Break up the building mass by incorporating elements that define a building's base, middle and top.					X	

c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.						X
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						X
e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.					X	
f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations: <ul style="list-style-type: none"> • Primary building entrances; • Adjacent to bus zones and street corners where people wait for traffic lights; • Over store fronts and display windows; and • Any other areas where significant waiting or browsing by people occurs. 	X					
g. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.					X	
h. Place and locate awnings and canopies to reflect the building’s architecture and fenestration pattern.					X	
i. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.						X
j. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City’s Sign Bylaw.						X
k. Avoid the following types of signage: <ul style="list-style-type: none"> • Internally lit plastic box signs; • Pylon (stand alone) signs; and • Rooftop signs. 						X
l. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.						X

ATTACHMENT **C**

This forms part of application
DP22-0202

Planner Initials



City of
Kelowna
DEVELOPMENT PLANNING



City of
Kelowna

DP22-0202
1181-1191 Bernard Ave

Development Permit

Purpose

- ▶ To issue a Development Permit for the form and character of apartment housing.

Development Process

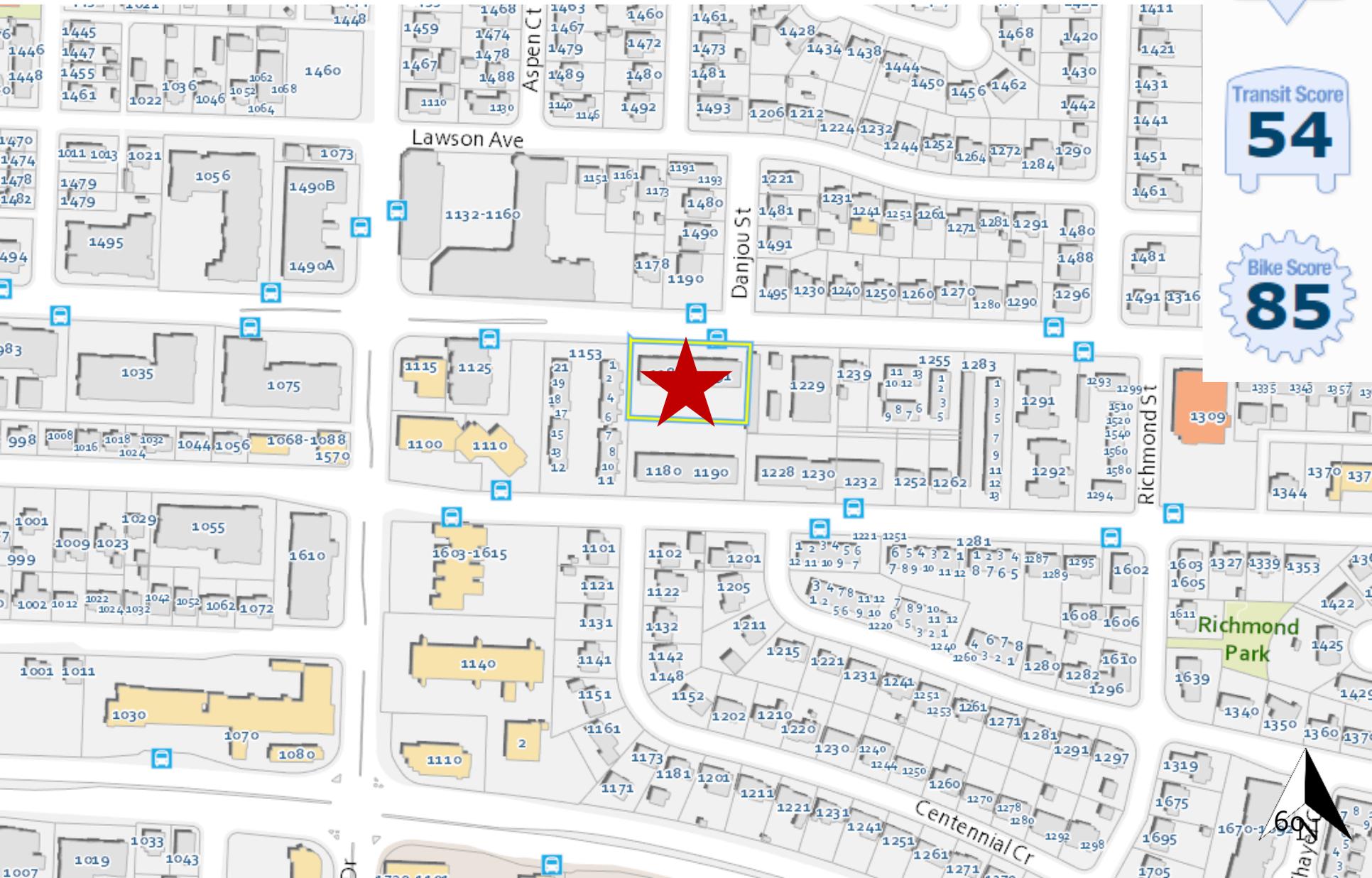


Context Map

Walk Score
83

Transit Score
54

Bike Score
85



692

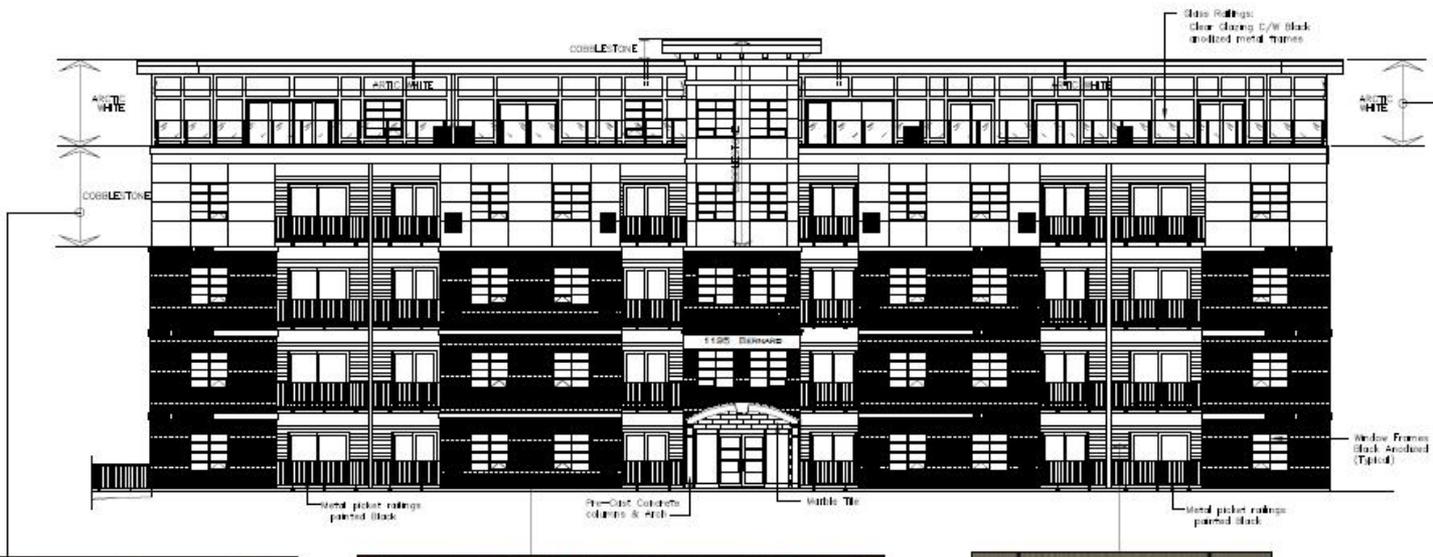
OCP Future Land Use



Technical Details

- ▶ MF3 – Apartment Housing
 - ▶ 53 units
 - ▶ 3 Bachelor
 - ▶ 13 One Bedroom
 - ▶ 37 Two Bedroom
 - ▶ 5 storeys in height
 - ▶ 72 Parking Stalls
 - ▶ 48 Bicycle Parking Stalls
 - ▶ 15 Large Trees

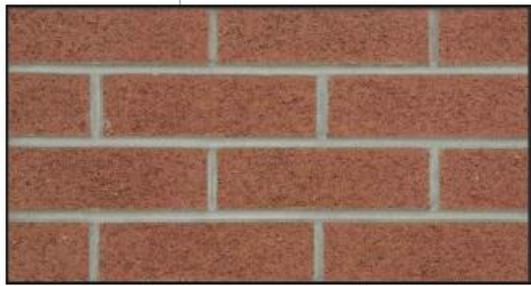
Elevation – North



ARCTIC WHITE (F1)



COBBLESTONE

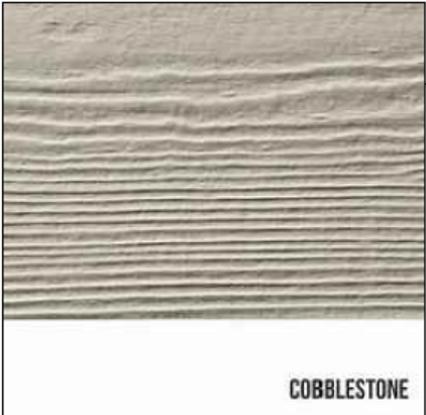


Canada Brick – Riverdale Matt.
Typical Brick



TIMBER BARK (F3)

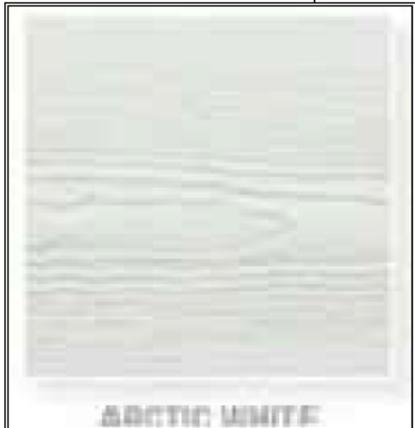
Elevation – South



COBBLESTONE



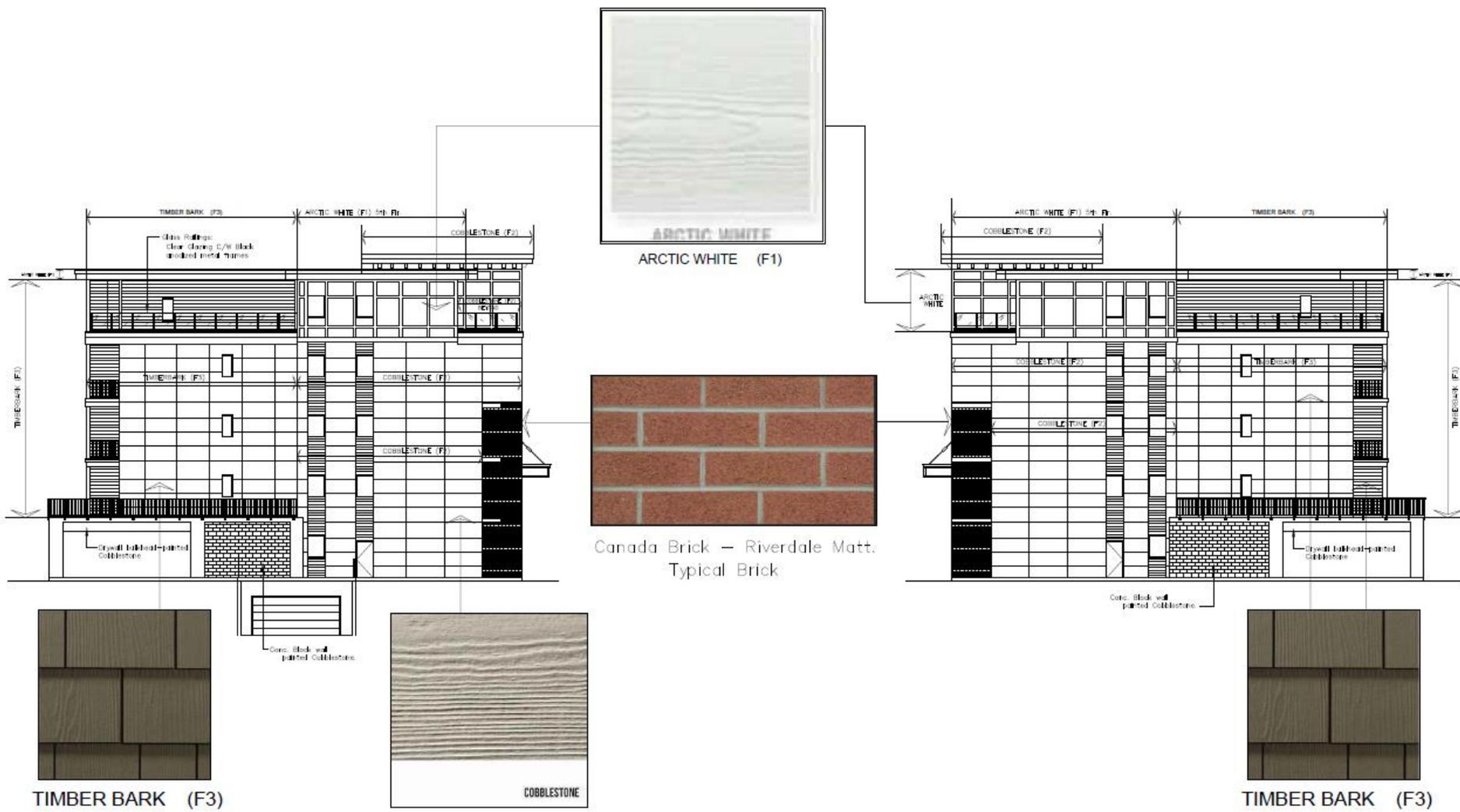
TIMBER BARK (F3)



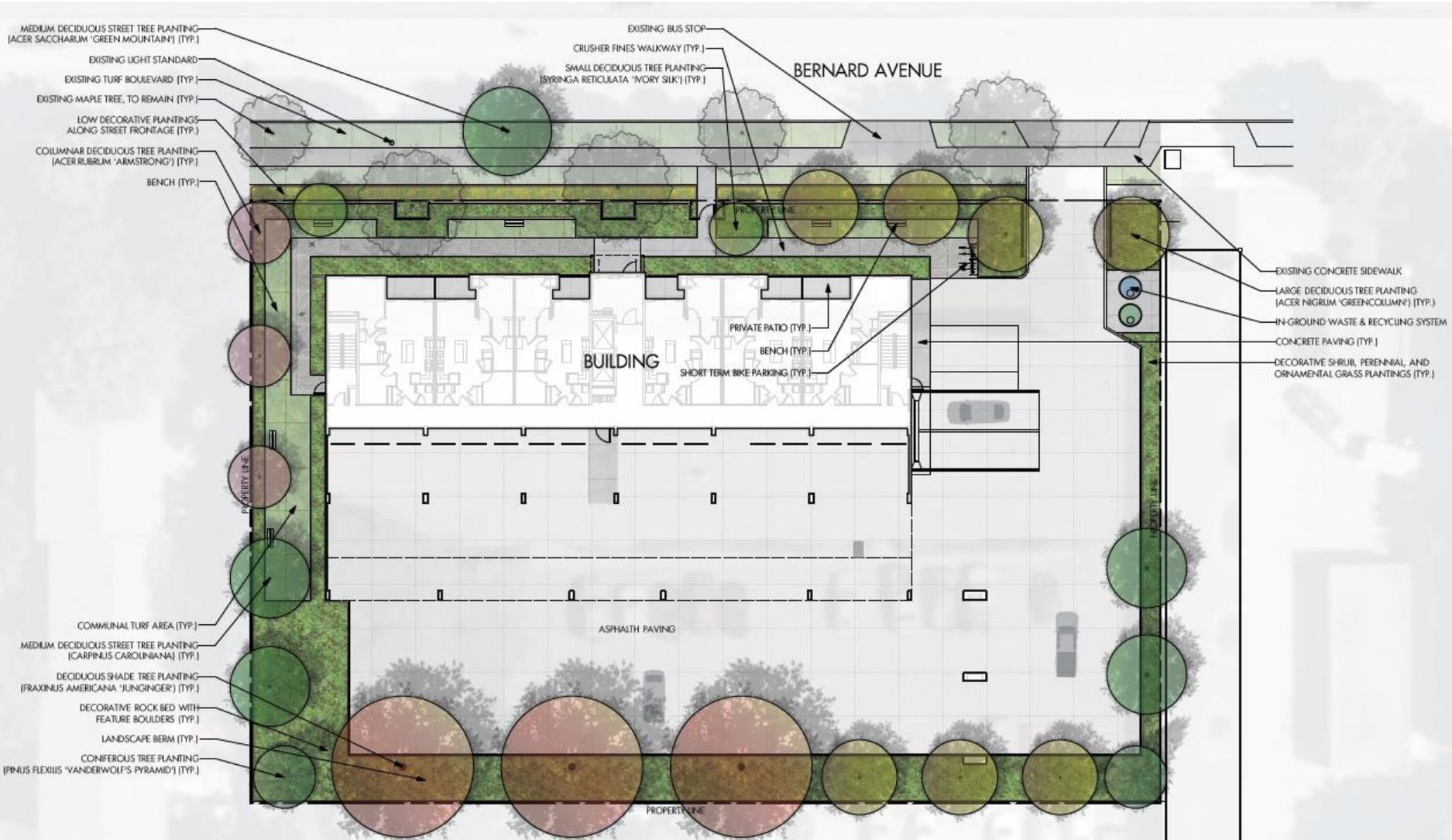
ARCTIC WHITE (F1)

ARCTIC WHITE (F1)

Elevation – East & West



Landscape Plan



Rendering – NE



76.39 x 42.44 in

OCP Design Guidelines

- ▶ Incorporate a range of architectural features.
- ▶ Ensure building contributes positively to neighbourhood context.
- ▶ Locate off-street parking, garbage, and parking access from public view.

Staff Recommendation

- ▶ Staff recommend **support** for the proposed development permit as it:
 - ▶ Meets majority of OCP Design Guidelines

CITY OF KELOWNA
BYLAW NO. 12593
Z23-0036
3593 Lakeshore Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 10 District Lot 134 ODYD Plan 2988, located on Lakeshore Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the MF3 – Apartment Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 4th day of December, 2023.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL DEVELOPMENT PERMIT



Date: April 8, 2024
To: Council
From: City Manager
Address: 3593 Lakeshore Road
File No.: DP23-0115
Zone: MF3 – Apartment Housing

1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 12593 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP23-0115 for Lot 10 District Lot 134 ODYD Plan 2988, located at 3593 Lakeshore Road, Kelowna, BC, subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Permit for the form and character of an apartment housing development.

3.0 Development Planning

Staff support the Development Permit for the form and character of a 20-unit 4-storey apartment housing development. The proposal generally conforms to the Official Community Plan (OCP) Form and Character Development Permit Guidelines for Low & Mid-Rise Residential & Mixed-Use Development. Key guidelines that are met include:

- Orienting building facades and entries to the fronting streets and incorporating an individual entrance;
- Locating balconies and windows on the front building façade to create an active frontage and 'eyes on the street';
- Screening the parking from the public view and avoiding off-street surface parking;
- Proposing trees and shrubs that are drought resistant or native to the local Okanagan climate;

Materials that are proposed include black fascia trim, cultured stone, smoked birch metal cladding and cobblestone, pewter and arctic white hardie panel. Common amenity spaces include multiple seating areas, a dog run, and community garden. The building includes private amenity spaces through private balconies for each unit. Site landscaping includes several species of trees that range in size and are located on the front, rear, and side of the building.

The MF3 zone allows for up to six storeys for properties along Transit Supportive Corridors, however, the proposed four storey apartment adds a gradual increase in scale and massing into the existing neighbourhood. The proposal also meets all regulations of the Zoning Bylaw, and no variances are being requested.

4.0 Subject Property & Background

4.1 Subject Property Map



The subject property is located on Lakeshore Road near the intersection with Bechard Road. Lakeshore Road has been designated as a Transit Supportive Corridor, and there are two bus stops within 200 m of the subject property. The surrounding area is primarily zoned RU1 – Large Lot Housing and RU2 – Medium Lot Housing.

5.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
Gross Lot Area	1,764 m ²
Total Number of Units	20
1-bed	3
2-bed	14
3-bed	2
Townhouse (4-bed)	1

DEVELOPMENT REGULATIONS		
CRITERIA	MF₃ ZONE	PROPOSAL
Total Maximum Floor Area Ratio	1.3	1.24
Max. Site Coverage (buildings)	65%	55%
Max. Site Coverage (buildings, parking, driveways)	85%	85%
Max. Height	22.0m (6 storeys)	13.6 m (4 storeys)
Setbacks		
Min. Front Yard (West)	2.0 m	2.1 m
Min. Side Yard (North)	3.0 m	3.2 m
Min. Side Yard (South)	3.0 m	3.6 m
Min. Rear Yard (East)	4.5 m	4.53 m
Amenity Space		
Total Required Amenity Space	470 m²	544 m²
Common	390 m ²	458.4 m ²
Private	80 m ²	85.6 m ²
Landscaping		
Min. Number of Trees	6 trees	15 trees
Min. Large Trees	3 trees	4 trees
PARKING REGULATIONS		
CRITERIA	MF₃ ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	29 stalls	29 stalls
Residential	26	26
Visitor	3	3
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	59 % Regular 41 % Small
Bicycle Stalls Short-Term	6 stalls	6 stalls
Bicycle Stalls Long-Term	16 stalls	16 stalls

6.0 Application Chronology

Application Accepted: June 2nd, 2023
 Neighbour Notification Received: September 20th, 2023
 Adoption of Zone Amending Bylaw: March 25th, 2024

Report prepared by: Tyler Caswell, Planner II
Reviewed by: Jocelyn Black, Urban Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Permit - DP23-0115
 Schedule A: Site Plan & Floor Plans
 Schedule B: Elevations & Sections
 Schedule C: Landscape Plan
 Attachment B: OCP Form and Character Development Permit Guidelines

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

Development Permit

DP23-0115



This permit relates to land in the City of Kelowna municipally known as

3593 Lakeshore Road

and legally known as

Lot 10 District Lot 134 ODYD Plan 2988

and permits the land to be used for the following development:

Apartment Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval: April 8th, 2024

Development Permit Area: Form and Character DPA

Existing Zone: MF3 – Apartment Housing

Future Land Use Designation: C-NHD – Core Area Neighbourhood

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Immortal Homes Ltd., Inc. No. A0101356

Applicant: Matt Johnston – LIME Architecture

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

ATTACHMENT	A
This forms part of application # DP23-0115	
Planner Initials	TC
City of Kelowna DEVELOPMENT PLANNING	

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP23-0115 and for Lot 10 District Lot 134 ODYD Plan 2988 located at 3593 Lakeshore Road, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$106,401.38**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

ATTACHMENT A

This forms part of application
DP23-0115

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City of **Kelowna**
DEVELOPMENT PLANNING



The **PERMIT HOLDER** is the **CURRENT LAND OWNER**.
Security shall **ONLY** be returned to the signatory of the

Landscape Agreement or their designates.

DRAFT

ATTACHMENT	A
This forms part of application # DP23-0115	
Planner Initials	TC
 City of Kelowna DEVELOPMENT PLANNING	

3593 LAKESHORE RD, KELOWNA BC

PROPERTY DESCRIPTION

CIVIC: 3593 LAKESHORE RD, KELOWNA B.C.
LEGAL: LOT 10, PLAN KAP2988

BC ENERGY STEP CODE COMPLIANCE: STEP 3

ZONING CALCULATIONS:

CURRENT: CITY OF KELOWNA RU1 ZONING
CORE AREA
TRANSIT SUPPORTIVE CORRIDOR

PROPOSED: MF3 ZONING

SITE INFORMATION:

GROSS SITE AREA = 18,989 SF (1764.144 m²)
(NOT INCLUDING ROAD DEDICATION)

	ALLOWED/REQUIRED	PROPOSED
SITE COVERAGE =	65% (12,343 SF)	54% (10,271 SF)
SITE COVERAGE + HARDSCAPING =	85% (16,141 SF)	85% (16,067 SF)
MIN DENSITY: 3.1 UNITS PER 1,000m ² LOT AREA =	6 UNITS	20 UNITS
BASE FAR =	1.3 (24,586 SF)	1.24 (23,589 SF)

PRIVATE AND COMMON AMENITY SPACE

COMMON AMENITY SPACE =	20 UNITS x 4m ² /UNIT = 80m ² (861 SF)	85.6m ² (921 SF)
PRIVATE AMENITY SPACE =		
2+ BEDROOM UNITS	25-4 = 21m ² (226 SF)	226-347 SF PER UNIT (SEE TABLE)
1 BEDROOM UNITS	15-4 = 11m ² (118 SF)	264 SF PER UNIT (SEE TABLE)

SCHEDULE A

This forms part of application
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City of Kelowna
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HEIGHT =

YARD SETBACKS:

FRONT YARD =	4.5M	14.9M
FRONT YARD (GROUND ORIENTED UNIT) =	2.0M	2.1M
FRONT YARD (GARAGE) =	6.0M	8.38M
SIDE YARD =	3.0M	3.2M/3.6M
REAR YARD =	4.5M	4.53M

PARKING CALCULATIONS

1 BEDROOM UNITS =	3 UNITS x 1.0 = 3	
2 BEDROOM UNITS =	14 UNITS x 1.1 = 15.4	
3 AND 4 BEDROOM UNITS =	3 UNITS x 1.4 = 4.2	
TOTAL RESIDENT =	22.6 = 23	23
VISITOR =	20 UNITS x 0.14 = 2.8	3
TOTAL =	26	26
ACCESSIBLE PARKING =	1	1

LONG-TERM BICYCLE STORAGE:

1 BEDROOM =	3 UNITS x 0.75 = 2	
2 BEDROOM =	14 UNITS x 0.75 = 11	
3 AND 4 BEDROOM =	3 UNITS x 1 = 3	
TOTAL =	16	16

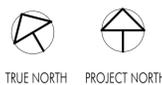
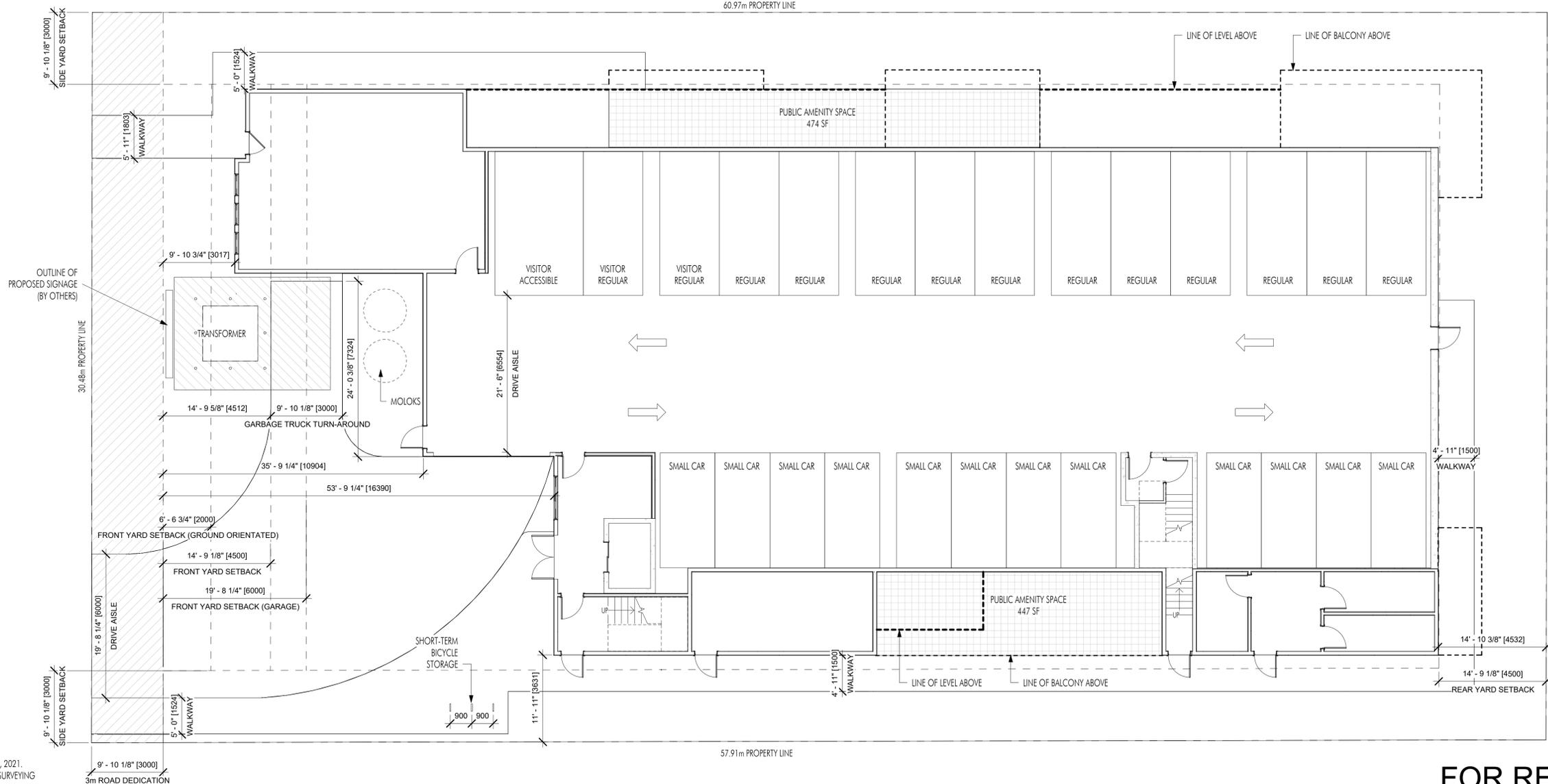
SHORT-TERM BICYCLE STORAGE:

6 PER ENTRANCE =	6	6
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ALLOWED/REQUIRED
18.0M (4 STOREYS)

PROPOSED
13.6M (4 STOREYS)

UNIT AREA CALCULATIONS			
UNIT	# OF BEDROOMS	FLOOR AREA	PRIVATE AMENITY SPACE
101 ENTRY		796 SF	
101 UPPER	4	1015 SF	344 SF
201	1	903 SF	264 SF
202	2	1104 SF	226 SF
203	2	1103 SF	281 SF
204	2	1106 SF	226 SF
205	2	1099 SF	335 SF
206	2	1163 SF	347 SF
301	1	903 SF	264 SF
302	2	1069 SF	302 SF
303	2	1104 SF	226 SF
304	2	1105 SF	329 SF
305	2	1106 SF	226 SF
306	2	1099 SF	335 SF
307	2	1163 SF	347 SF
401	1	903 SF	264 SF
402	2	1208 SF	302 SF
403	3	1709 SF	226 SF
404	2	1106 SF	329 SF
405	3	1665 SF	335 SF
406	2	1163 SF	347 SF
TOTAL UNIT AREAS:		23589 SF	



SITE SURVEY COMPLETED ON MARCH 10, 2021.
SURVEY COMPLETED BY ALLTERRA LAND SURVEYING

FOR REVIEW



PHONE: 250-448-7801

205-1626 Richter Street,
Kelowna, BC V1Y 2M3

www.limearchitecture.com

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Revision No., Date and Description

09.19.22	FOR DISCUSSION
09.29.22	FOR REVIEW
11.24.22	FOR REVIEW
12.14.22	FOR COORDINATION
12.16.22	FOR REVIEW
01.03.23	FOR REVIEW
01.25.23	FOR DISCUSSION
01.26.23	FOR COORDINATION
03.10.23	FOR COORDINATION
07.11.23	FOR REVIEW
08.16.23	FOR REVIEW
08.30.23	NEIGHBOURHOOD CONSULT
09.08.23	ADDENDUM #1
01.12.24	FOR REVIEW
01.16.24	ADDENDUM #2
02.05.24	ADDENDUM #3

Plot Date

02.05.24

PROJECT

3593 LAKESHORE

DRAWING TITLE

PROJECT INFORMATION

Drawing No.

A-003



Revision No., Date and Description

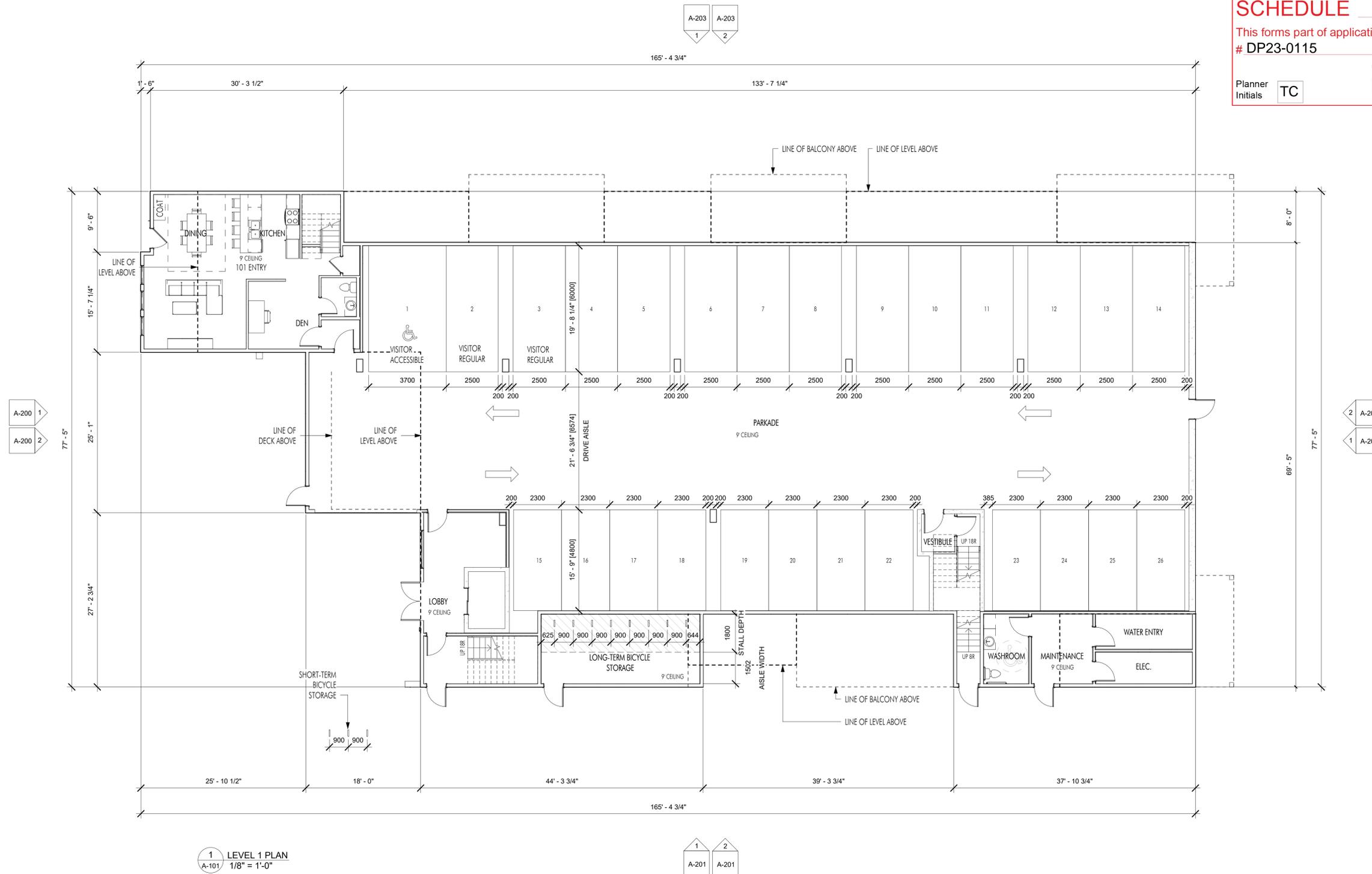
08.04.22	FOR REVIEW
09.29.22	FOR REVIEW
10.31.22	FOR REVIEW
11.24.22	FOR REVIEW
12.16.22	FOR REVIEW
01.03.23	FOR REVIEW
01.26.23	FOR COORDINATION
05.18.23	FOR REZONING/DVP
07.11.23	FOR REVIEW
08.16.23	FOR REVIEW
09.08.23	ADDENDUM #1
01.12.24	FOR REVIEW
01.16.24	ADDENDUM #2
02.05.24	ADDENDUM #3

SCHEDULE A

This forms part of application
DP23-0115

Planner Initials **TC**

City of Kelowna
DEVELOPMENT PLANNING



Plot Date
02.05.24

PROJECT
3593 LAKESHORE

DRAWING TITLE
LEVEL 1 PLAN

Drawing No.
A-101

A-101



FOR REVIEW

Revision No., Date and Description

08.04.22	FOR REVIEW
09.29.22	FOR REVIEW
10.31.22	FOR REVIEW
11.24.22	FOR REVIEW
12.16.22	FOR REVIEW
01.03.23	FOR REVIEW
01.26.23	FOR COORDINATION
05.18.23	FOR REZONING/DVP
07.11.23	FOR REVIEW
08.16.23	FOR REVIEW
09.08.23	ADDENDUM #1
01.12.24	FOR REVIEW
01.16.24	ADDENDUM #2
02.05.24	ADDENDUM #3

SCHEDULE A

This forms part of application
DP23-0115



City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials **TC**

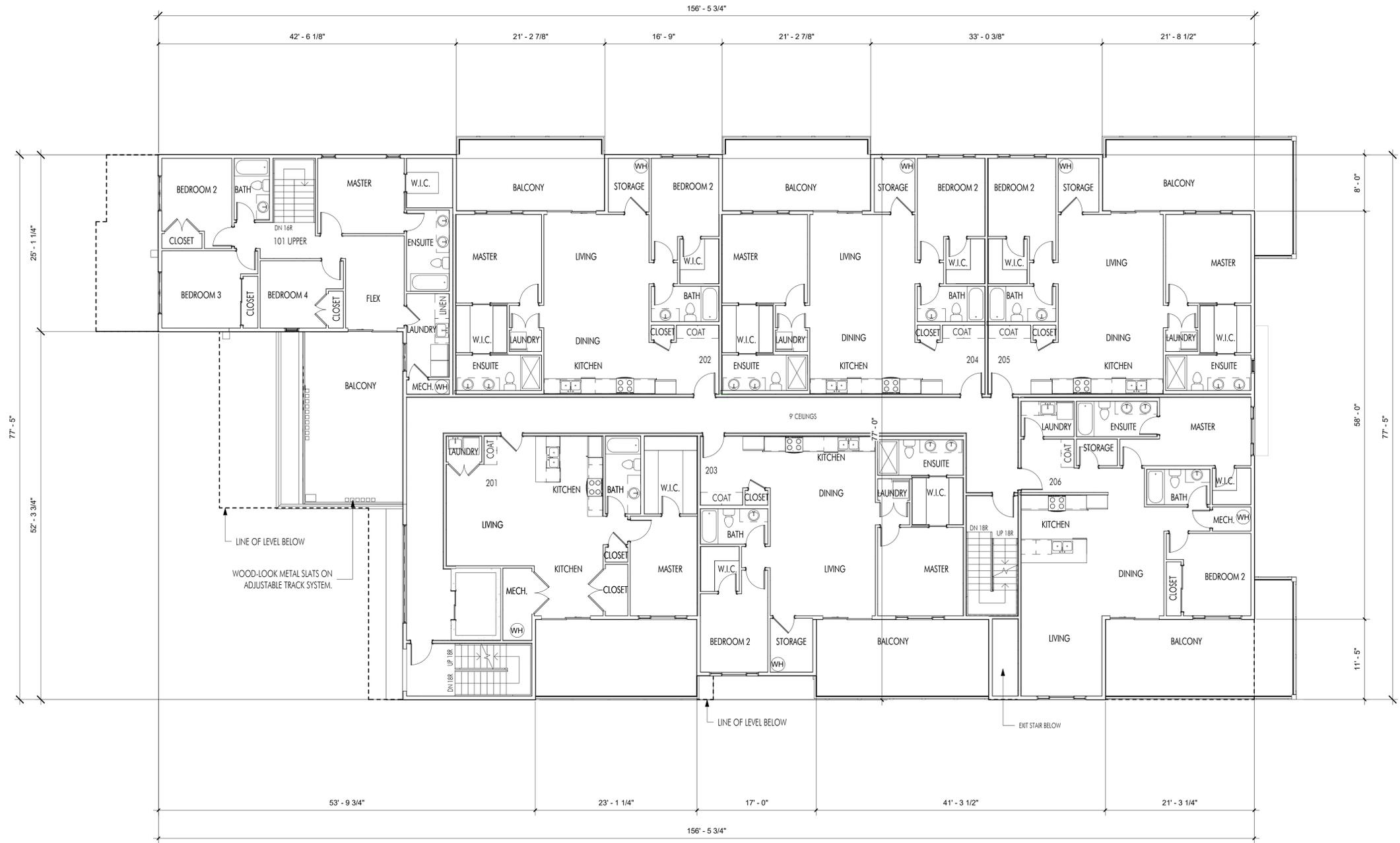
A-203
1 2

A-200
1
A-200
2

2 A-202
1 A-202

1 2
A-201 A-201

1 LEVEL 2 PLAN
A-102 1/8" = 1'-0"



Plot Date
02.05.24

PROJECT
3593 LAKESHORE

DRAWING TITLE
LEVEL 2 PLAN

Drawing No.
A-102



FOR REVIEW

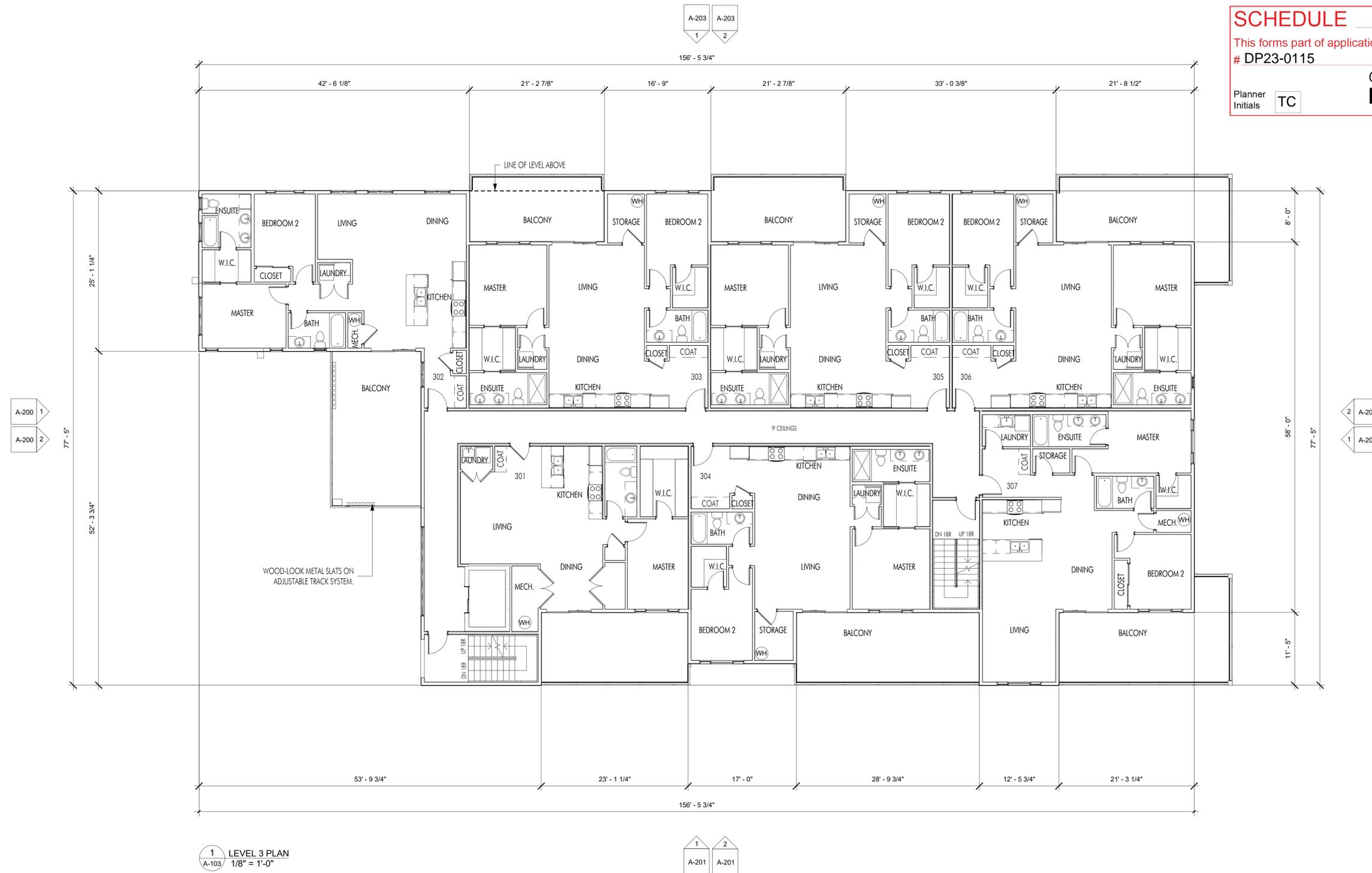
Revision No.	Date	Description
08.04.22	FOR REVIEW	
09.29.22	FOR REVIEW	
10.31.22	FOR REVIEW	
11.24.22	FOR REVIEW	
12.16.22	FOR REVIEW	
01.03.23	FOR REVIEW	
01.26.23	FOR COORDINATION	
05.18.23	FOR REZONING/DVP	
08.16.23	FOR REVIEW	
09.08.23	ADDENDUM #1	
01.12.24	FOR REVIEW	
01.16.24	ADDENDUM #2	
02.05.24	ADDENDUM #3	

SCHEDULE A

This forms part of application
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City of Kelowna
DEVELOPMENT PLANNING



1 LEVEL 3 PLAN
A-103 1/8" = 1'-0"

FOR REVIEW

Plot Date 02.05.24
PROJECT 3593 LAKESHORE
DRAWING TITLE LEVEL 3 PLAN
Drawing No. A-103



Revision No., Date and Description

08.04.22	FOR REVIEW
09.29.22	FOR REVIEW
10.31.22	FOR REVIEW
11.24.22	FOR REVIEW
12.16.22	FOR REVIEW
01.03.23	FOR REVIEW
01.26.23	FOR COORDINATION
05.18.23	FOR REZONING/DVP
08.16.23	FOR REVIEW
09.08.23	ADDENDUM #1
01.12.24	FOR REVIEW
01.16.24	ADDENDUM #2
02.05.24	ADDENDUM #3

SCHEDULE A

This forms part of application
DP23-0115



Planner Initials **TC**

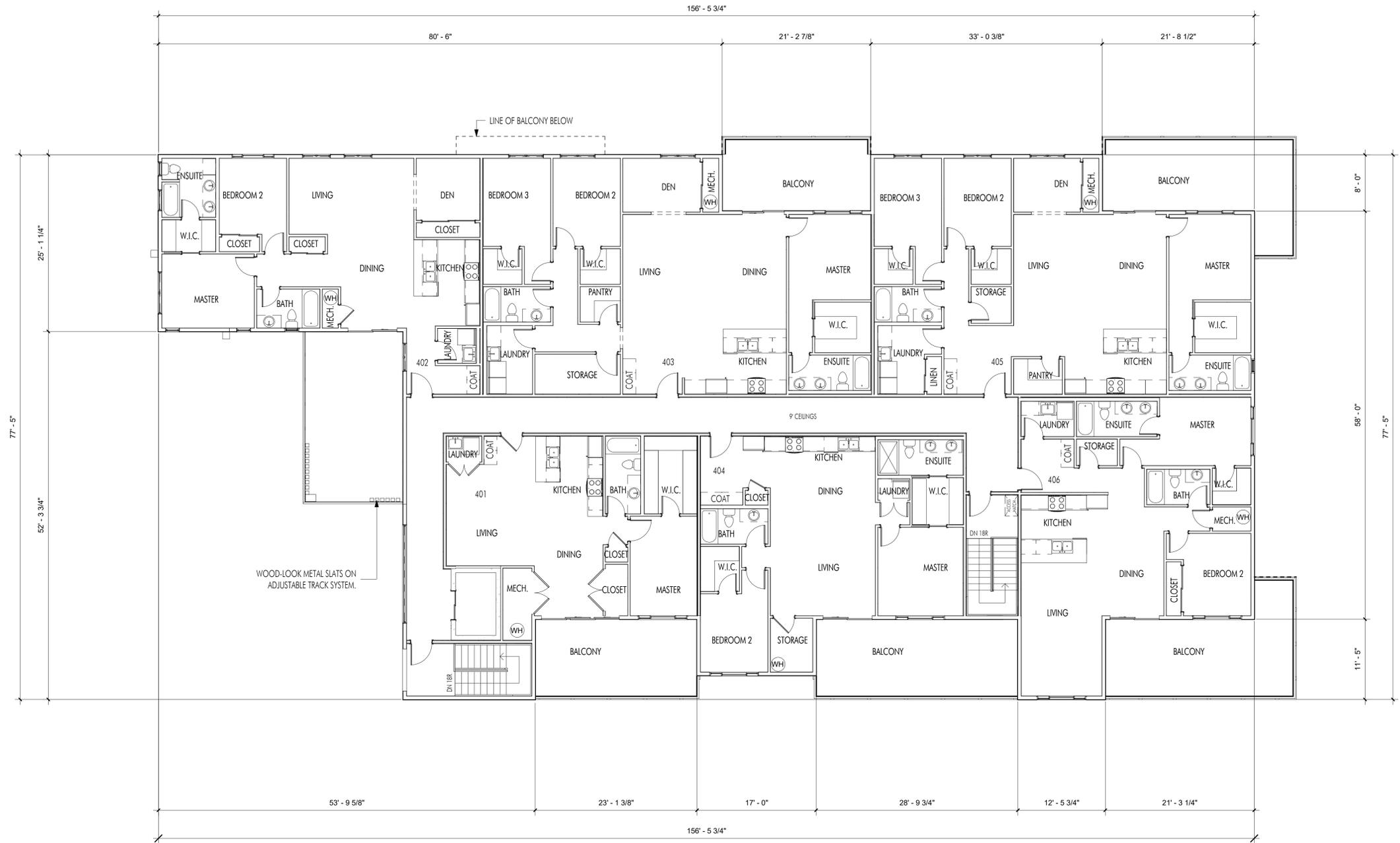
A-203
1 2

A-200
1
A-200
2

2 A-202
1 A-202

1 2
A-201 A-201

1 LEVEL 4 PLAN
A-104 1/8" = 1'-0"



WOOD-LOOK METAL SLATS ON ADJUSTABLE TRACK SYSTEM.

FOR REVIEW

Plot Date	02.05.24
PROJECT	3593 LAKESHORE
DRAWING TITLE	LEVEL 4 PLAN
Drawing No.	A-104





1 Front Elevation
A-200 1/8" = 1'-0"



2 Front Elevation (Colour)
A-200 1/8" = 1'-0"

EXTERIOR FINISHES AND COLOURS LEGEND					
#	IMAGE	MATERIAL	#	IMAGE	MATERIAL
1		FASCIA, TRIM, WINDOWS, DOORS RAILINGS: BLACK	4		HARDIE PANEL: AGED PEWTER
2		METAL CLADDING: MAC, SMOKED BIRCH	5		CULTURED STONE: PRO-FIT MODERA LEDGESTONE - VELLUM
3		HARDIE PANEL: COBBLESTONE	6		HARDIE PANEL, COLUMNS: ARCTIC WHITE

SCHEDULE B

This forms part of application
DP23-0115

Planner Initials **TC**

City of Kelowna
DEVELOPMENT PLANNING

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Revision No.	Date	Description
11.24.22	FOR REVIEW	
12.16.22	FOR REVIEW	
01.03.23	FOR REVIEW	
05.18.23	FOR REZONING/DVP	
08.16.23	FOR REVIEW	
09.08.23	ADDENDUM #1	
02.05.24	FOR REVIEW	
02.05.24	ADDENDUM #3	

Plot Date 02.05.24
PROJECT 3593 LAKESHORE
DRAWING TITLE ELEVATIONS
Drawing No. A-200



FOR REVIEW

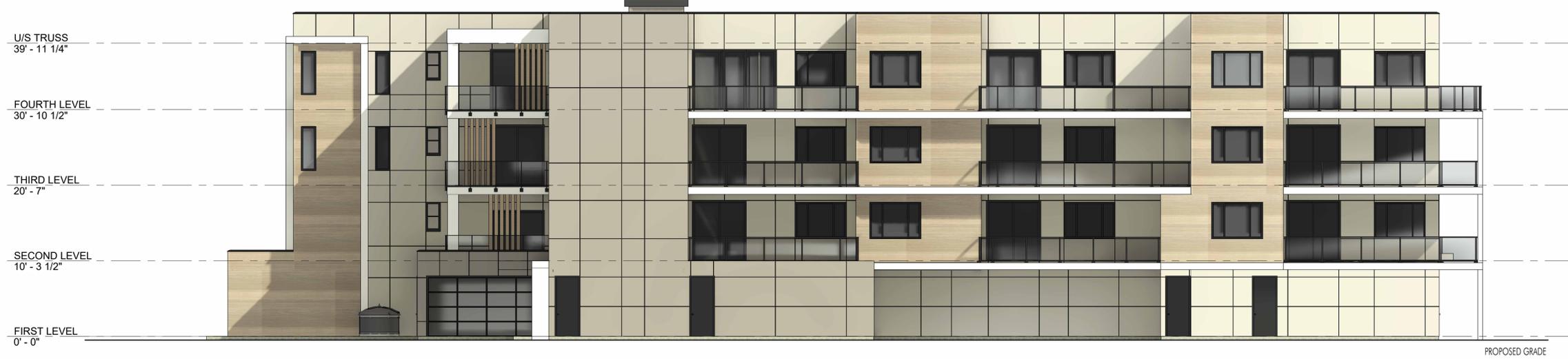
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12.16.22	FOR REVIEW	
01.03.23	FOR REVIEW	
05.18.23	FOR REZONING/DVP	
08.16.23	FOR REVIEW	
09.08.23	ADDENDUM #1	
02.05.24	FOR REVIEW	



1 Right Elevation
A-201 1/8" = 1'-0"



2 Right Elevation (Colour)
A-201 1/8" = 1'-0"

EXTERIOR FINISHES AND COLOURS LEGEND					
#	IMAGE	MATERIAL	#	IMAGE	MATERIAL
1		FASCIA, TRIM, WINDOWS, DOORS RAILINGS: BLACK	4		HARDIE PANEL: AGED PEWTER
2		METAL CLADDING: MAC, SMOKED BIRCH	5		CULTURED STONE: PRO-FIT MODERA LEDGESTONE - VELLUM
3		HARDIE PANEL: COBBLESTONE	6		HARDIE PANEL, COLUMNS: ARCTIC WHITE

SCHEDULE B

This forms part of application
DP23-0115

Planner Initials **TC**

City of Kelowna
DEVELOPMENT PLANNING

Plot Date
02.05.24

PROJECT
3593 LAKESHORE

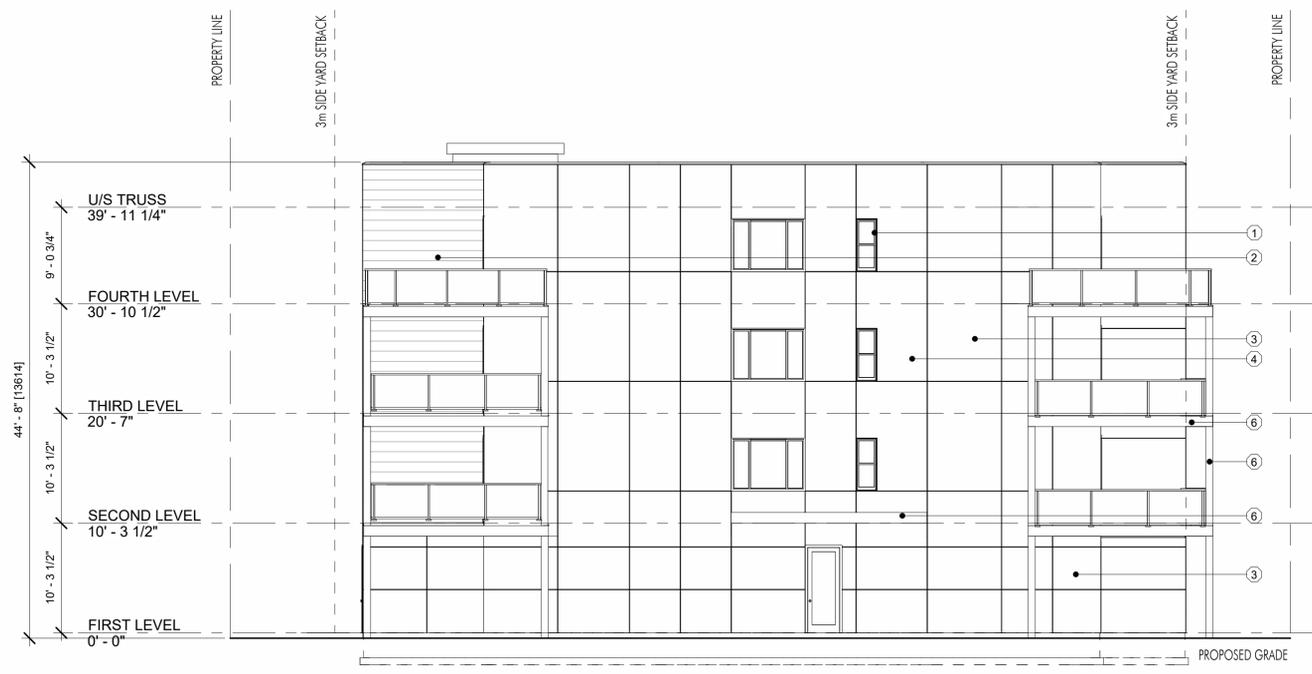
DRAWING TITLE
ELEVATIONS

Drawing No.
A-201

REGISTERED ARCHITECT
MATTHEW GARY JOHNSON
1974 COLUMBIA

FOR REVIEW

Revision No.	Date	Description
11.24.22	FOR REVIEW	
12.16.22	FOR REVIEW	
01.03.23	FOR REVIEW	
05.18.23	FOR REZONING/DVP	
08.16.23	FOR REVIEW	
09.08.23	ADDENDUM #1	
02.05.24	ADDENDUM #3	



1 Back Elevation
A-202 1/8" = 1'-0"



2 Back Elevation (Colour)
A-202 1/8" = 1'-0"

EXTERIOR FINISHES AND COLOURS LEGEND					
#	IMAGE	MATERIAL	#	IMAGE	MATERIAL
1		FASCIA, TRIM, WINDOWS, DOORS RAILINGS: BLACK	4		HARDIE PANEL: AGED PEWTER
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SCHEDULE B

This forms part of application
DP23-0115

Planner Initials **TC**

City of Kelowna
DEVELOPMENT PLANNING

FOR REVIEW

Plot Date
02.05.24

PROJECT
3593 LAKESHORE

DRAWING TITLE
ELEVATIONS

Drawing No.
A-202

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All trades are to execute the work in accordance with the current municipality building by laws and requirements of other local authorities having jurisdiction as well as the British Columbia Building Code - (most recent edition) including all published revisions and addenda. All trades shall assume full responsibility for the locations and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone.

Revision No.	Date	Description
11.24.22	FOR REVIEW	
12.16.22	FOR REVIEW	
01.03.23	FOR REVIEW	
05.18.23	FOR REZONING/DVP	
08.16.23	FOR REVIEW	
09.08.23	ADDENDUM #1	
02.05.24	FOR REVIEW	
02.05.24	ADDENDUM #3	



1 Left Elevation
A-203 1/8" = 1'-0"



2 Left Elevation (Colour)
A-203 1/8" = 1'-0"

EXTERIOR FINISHES AND COLOURS LEGEND					
#	IMAGE	MATERIAL	#	IMAGE	MATERIAL
1		FASCIA, TRIM, WINDOWS, DOORS RAILINGS: BLACK	4		HARDIE PANEL: AGED PEWTER
2		METAL CLADDING: MAC, SMOKED BIRCH	5		CULTURED STONE: PRO-FIT MODERA LEDGESTONE - VELLUM
3		HARDIE PANEL: COBBLESTONE	6		HARDIE PANEL, COLUMNS: ARCTIC WHITE

SCHEDULE B
This forms part of application
DP23-0115

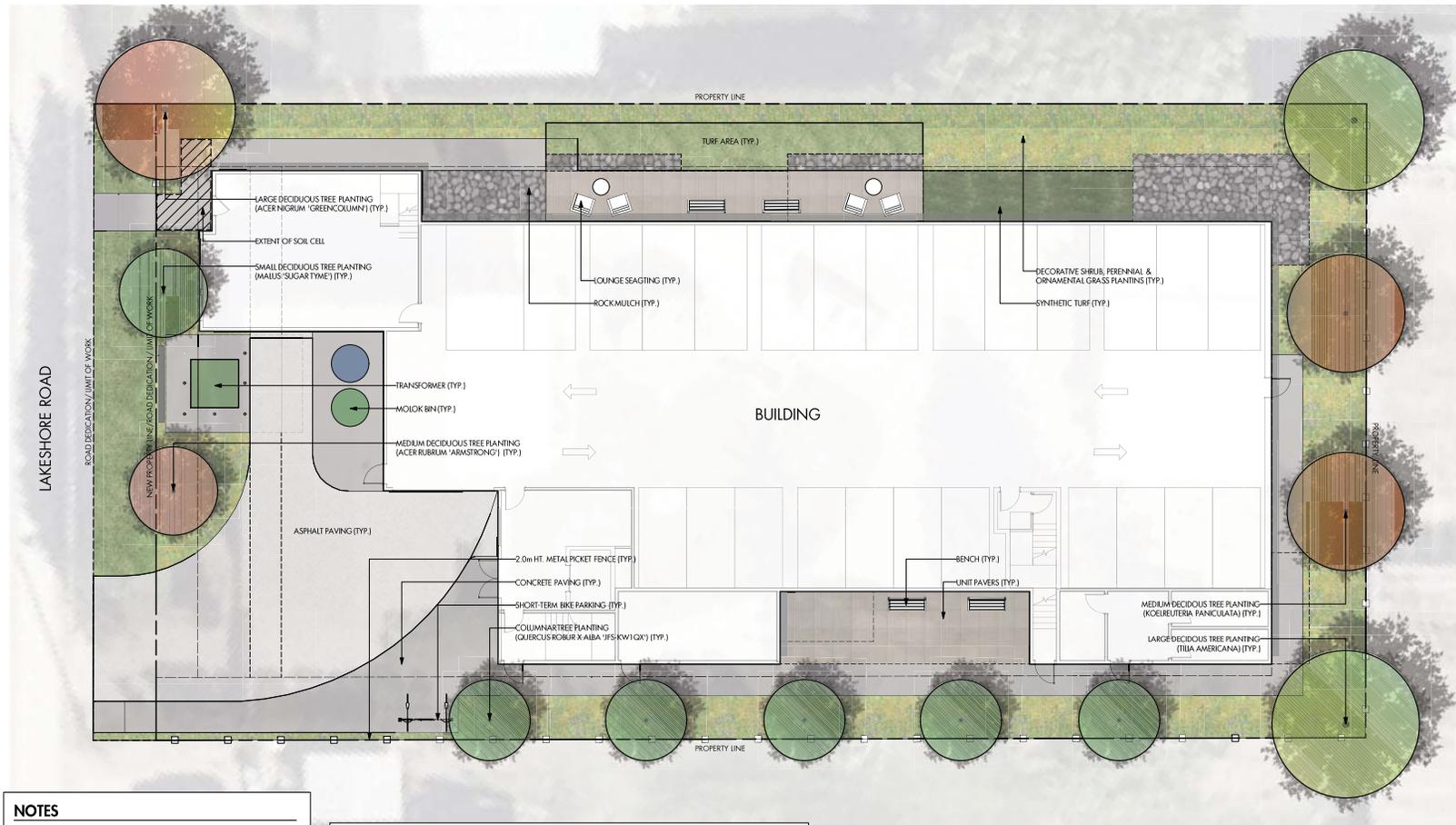
Planner Initials **TC**

City of Kelowna
DEVELOPMENT PLANNING

Plot Date 02.05.24
PROJECT 3593 LAKESHORE
DRAWING TITLE ELEVATIONS
Drawing No. A-203



FOR REVIEW



- NOTES**
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELLOWNA BYLAW 1227'S STANDARDS.
 2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TREE BEDS TO RECEIVE A MINIMUM 1000mm DEPTH TOPSOIL PLACEMENT.
 5. TURF AREA FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
 6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE WEDGMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.
 7. FOR CONFORMANCE WITH DEVELOPMENT PERMIT LANDSCAPE REQUIREMENTS, THE PRIME CONTRACTOR AND/OR CONSULTANTS RESPONSIBLE FOR SITE SERVICING AND UTILITIES SHALL ENSURE THAT ALL BUILDING PERMIT SUBMITTALS ARE COORDINATED WITH LANDSCAPE ARCHITECTURAL SUBMITTALS.

PLANT LIST

*PLANT QUANTITIES ESTIMATED ONLY. NOT FOR PRICING

BOTANICAL NAME	COMMON NAME	QTY*	SIZE / SPACING & REMARKS
TREES			
ACER NIGRUM 'GREENCOLUMN'	GREENCOLUMN MAPLE	1	5m CAL
ACER RUBRUM 'ARMSTRONG'	ARMSTRONG MAPLE	1	4m CAL
MALUS 'SUGAR TUNE'	SUGAR TUNE CRABAPPLE	1	3m CAL
KOEBELTERIA PANICULATA	GOLDENRAIN TREE	2	4m CAL
QUERCUS ROBUR X ALBA 'IFS-KWIG'	STREETSPHERE OAK	5	4m CAL
TILIA AMERICANA	AMERICAN LINDEN	2	5m CAL
SHRUBS			
BERBERIS THUNBERG 'CONCORDE'	CONCORDE BARBERRY	49	#02 CONT. / 1.0m O.C. SPACING
ACER NIGRUM 'GREENCOLUMN'	BLOCKY WIG DOGWOOD	15	#02 CONT. / 1.8m O.C. SPACING
CORNUS SANGUINEA 'WINTER BEAUTY'	DWARF BURNING BUSH	15	#02 CONT. / 1.8m O.C. SPACING
EUCONYMIUS ALIATUS 'COMPACTA'	INCREDIBAIL HYDRANGEA	21	#02 CONT. / 1.5m O.C. SPACING
HYDRANGEA ARBORESCENS 'ABETWO'			
PERENNIALS, GRASSES & VINES			
ACHILLEA 'WOOBISHIRE'	WOCKISHIRE YARROW	33	#01 CONT. / 0.75m O.C. SPACING
ASTER FRIKARTII 'MONICH'	FRIKART'S ASTER	23	#01 CONT. / 0.9m O.C. SPACING
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FOERSTER'S FEATHER REED GRASS	23	#01 CONT. / 0.9m O.C. SPACING
ECHINOPSIS RITRO 'BLUE GLOW'	BLUE GLOW THISTLE	51	#01 CONT. / 0.6m O.C. SPACING
IRIS GERMANICA 'CRANBERRY ICE'	BERRY RED BEARDED IRIS	33	#01 CONT. / 0.75m O.C. SPACING
PEROVSKIA ATRIPICIFOLIA	RUSSIAN SAGE	13	#01 CONT. / 1.2m O.C. SPACING
RUBICEKIA FLUGRA 'GOLDSTURM'	GOLDSTURM CORNFLOWER	33	#01 CONT. / 0.75m O.C. SPACING

LANDSCAPE INFORMATION

SITE AREA:	1764.144 SQ.M
HARDSCAPING AREA:	471.141 SQ.M
TOTAL HARDSCAPING AREA:	471.141/1764.144 = 26.7%

SCHEDULE C

This forms part of application
DP23-0115

Planner Initials **TC**

City of Kelowna
DEVELOPMENT PLANNING

3593 LAKESHORE ROAD

Kelowna, BC

CONCEPTUAL LANDSCAPE PLAN

PROJECT TITLE

DATE: AUG. 28, 2023

SCALE: 1:100

PAGE SIZE: 24x36

DESIGNER: FIONA BARTON

334

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

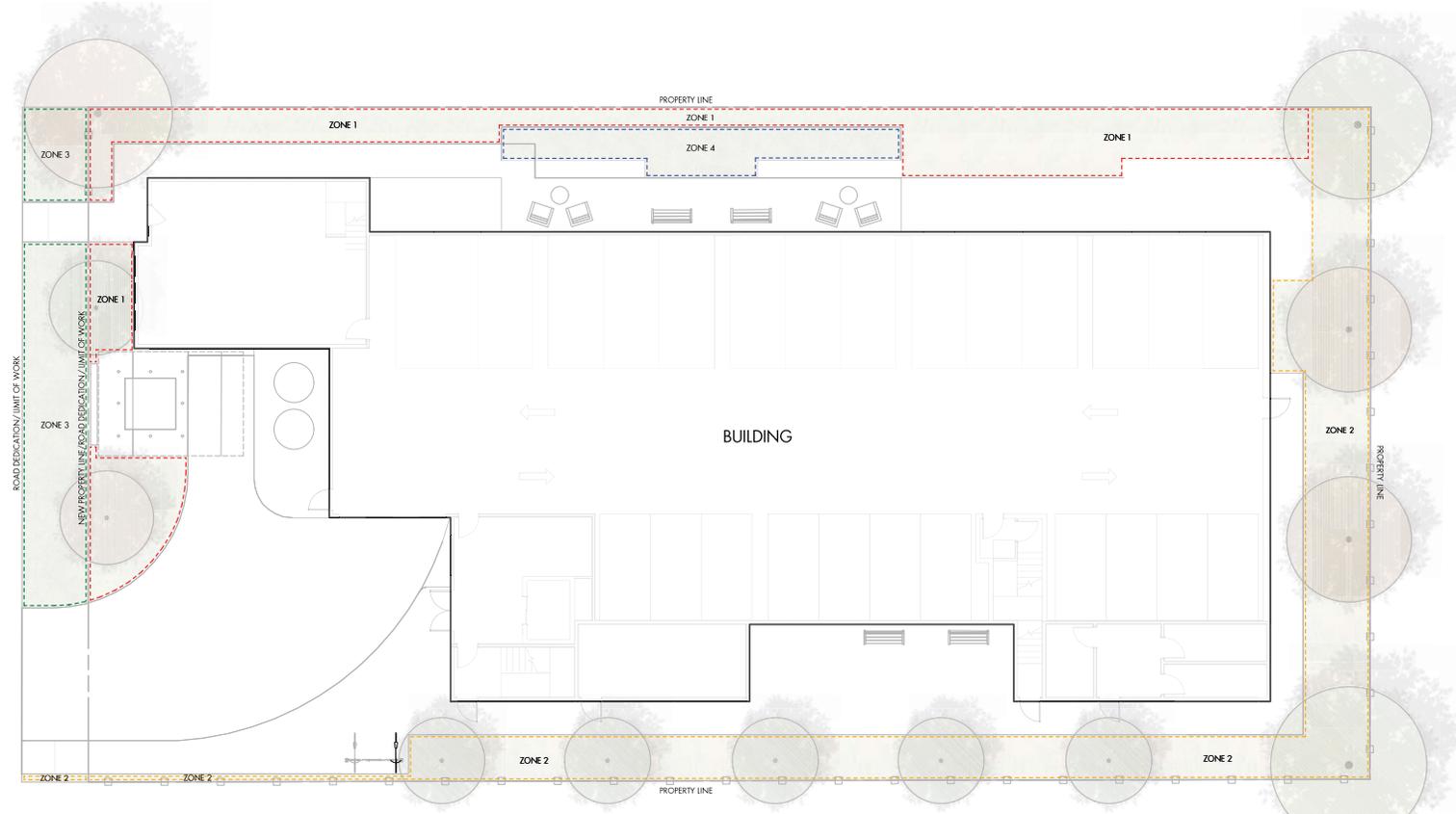
L 1/2

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LAKESHORE ROAD



IRRIGATION LEGEND

- ZONE #1 - HIGH EFFICIENCY SUBSURFACE DRP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 138 sq.m.
 MICROCLIMATE: NORTH WEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
 ESTIMATED ANNUAL WATER USE: 46 cu.m.
- ZONE #2 - HIGH EFFICIENCY SUBSURFACE DRP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 186 sq.m.
 MICROCLIMATE: SOUTH EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING
 ESTIMATED ANNUAL WATER USE: 62 cu.m.
- ZONE #3 - LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 62 sq.m.
 MICROCLIMATE: NORTHWEST EXPOSURE, SHADED BY TREES
 ESTIMATED ANNUAL WATER USE: 53 cu.m.
- ZONE #4 - LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 31 sq.m.
 MICROCLIMATE: NORTHEAST EXPOSURE
 ESTIMATED ANNUAL WATER USE: 27 cu.m.

IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7th / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m³/SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 284 cu.m. / year
 ESTIMATED LANDSCAPE WATER USE (LWU) = 188 cu.m. / year
 WATER BALANCE = 96 cu.m. / year
 *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

SCHEDULE C

This forms part of application
 # DP23-0115

Planner Initials TC

City of Kelowna
 DEVELOPMENT PLANNING



PROJECT TITLE
3593 LAKESHORE ROAD

LOCATION
 Kelowna, BC

DRAWING TITLE
**WATER CONSERVATION/
 IRRIGATION PLAN**

NO.	DATE	REVISION
1	23.05.12	Development Permit
2	23.08.28	Development Permit
3		
4		

PROJECT NO.: 2301-04
 DESIGN BY: TH
 DRAWN BY: TH
 CHECKED BY: TB
 DATE: AUG. 28, 2023
 SCALE: 1:100
 PAGE SIZE: 24x36
 SEAL:



DRAWING NUMBER
L2/2
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Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.	✓					
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.					✓	
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						✓
f. Avoid blank, windowless walls along streets or other public open spaces.				✓		
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	✓					
2.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.					✓	
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.				✓		
2.1.3 Site Planning	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						✓
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						✓
c. Limit the maximum grades on development sites to 30% (3:1)						✓
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; 	✓					

ATTACHMENT B
This forms part of application
DP23-0115

Planner Initials **TC**



City of
Kelowna
DEVELOPMENT PLANNING

<ul style="list-style-type: none"> Incorporating terracing to create usable open spaces around the building Using the slope for under-building parking and to screen service and utility areas; Design buildings to access key views; and Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped). 						
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						✓
2.1.4 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.				✓		
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						✓
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> Underground (where the high water table allows) Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage); Garages or at-grade parking integrated into the building (located at the rear of the building); and Surface parking at the rear, with access from the lane or secondary street wherever possible. 					✓	
e. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> Covered short-term parking in highly visible locations, such as near primary building entrances; and Secure long-term parking within the building or vehicular parking area. 					✓	
f. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						✓
2.1.5 Streetscapes, Landscapes, and Public Realm Design	N/A	1	2	3	4	5
a. Site buildings to protect mature trees, significant vegetation, and ecological features.				✓		
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.	✓					
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.					✓	
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as:					✓	

<ul style="list-style-type: none"> Locating outdoor spaces where they will receive ample sunlight throughout the year; Using materials and colors that minimize heat absorption; Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and Using building mass, trees and planting to buffer wind. 						
f. Use landscaping materials that soften development and enhance the public realm.					✓	
g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site’s specific urban conditions.						✓
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.						✓
2.1.6 Building Articulation, Features and Materials	N/A	1	2	3	4	5
<p>a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include:</p> <ul style="list-style-type: none"> Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; Repeating window patterns on each step-back and extension interval; Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval. 					✓	
<p>b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs.</p> <p>Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters; ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.</p>					✓	
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.				✓		
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.					✓	
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.				✓		

ATTACHMENT B

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DP23-0115



City of
Kelowna
DEVELOPMENT PLANNING

Planner Initials **TC**

91

f. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						✓
g. Provide visible signage identifying building addresses at all entrances.						✓

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
4.1 Low & mid-rise residential & mixed use guidelines						
4.1.1 Relationship to the Street						
h. Ensure lobbies and main building entries are clearly visible from the fronting street.						✓
i. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> • Locating enclosed parking garages away from street frontages or public open spaces; • Using ground-oriented units or glazing to avoid creating dead frontages; and • When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting. 			✓			
Residential & Mixed Use Buildings						
j. Set back residential buildings on the ground floor between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio. <ul style="list-style-type: none"> • A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways. • Exceptions can be made in cases where the water table requires this to be higher. In these cases, provide a larger patio and screen parking with ramps, stairs and landscaping. 					✓	
k. Incorporate individual entrances to ground floor units accessible from the fronting street or public open spaces.						✓
l. Site and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.				✓		
4.1.2 Scale and Massing						
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.					✓	
b. Residential buildings should have a maximum width of 24 m.						✓
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.					✓	
4.1.3 Site Servicing, Access, and Parking						
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.	✓					

b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> • Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and • Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access. 					✓	
c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.	✓					
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	✓					
4.1.4 Site Servicing, Access and Parking	N/A	1	2	3	4	5
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimised; and • There is no more than one curb cut per property. 					✓	
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.					✓	
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: <ul style="list-style-type: none"> • Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and • Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized. 					✓	
4.1.5 Publicly-Accessible and Private Open Spaces	N/A	1	2	3	4	5
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	✓					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.				✓		
4.1.6 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential					✓	

<p>buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include:</p> <ul style="list-style-type: none"> • Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade; • Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade; • Providing a porch, patio, deck, or covered entry for each interval; • Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; • Changing the materials with the change in building plane; and • Provide a lighting fixture, trellis, tree or other landscape feature within each interval. 						
b. Break up the building mass by incorporating elements that define a building’s base, middle and top.					✓	
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.					✓	
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						✓
e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.					✓	
f. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City’s Sign Bylaw.	✓					
g. Avoid the following types of signage: <ul style="list-style-type: none"> • Internally lit plastic box signs; • Pylon (stand alone) signs; and • Rooftop signs. 						✓
h. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.						✓

ATTACHMENT B
This forms part of application
DP23-0115

Planner Initials **TC**



City of **Kelowna**
DEVELOPMENT PLANNING



City of
Kelowna

DP23-0115
3593 Lakeshore Road

Development Permit

Purpose

- ▶ To issue a Development Permit for the form and character of an apartment housing development.

Development Process

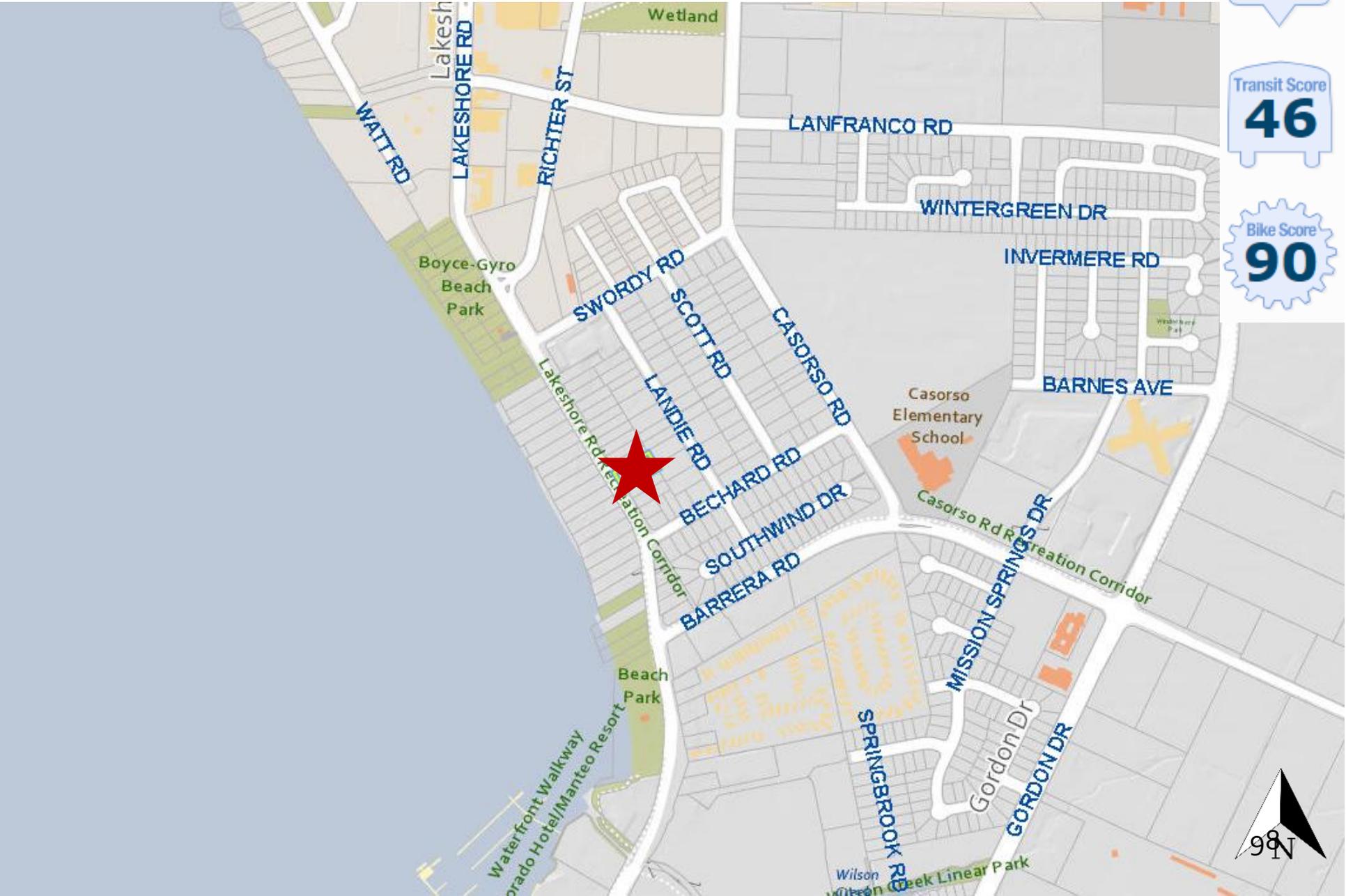


Context Map

Walk Score
62

Transit Score
46

Bike Score
90



Site Photos



1. VIEW FROM LAKESHORE RD LOOKING AT THE NW CORNER OF THE SITE



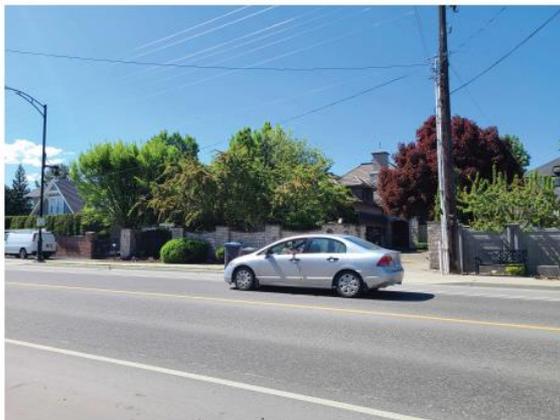
2. VIEW FROM LAKESHORE RD LOOKING AT THE SW CORNER OF THE SITE



3. VIEW FROM NW CORNER OF THE SITE LOOKING NE



4. VIEW FROM SW CORNER OF THE SITE LOOKING NW



5. VIEW FROM CENTRE OF THE SITE LOOKING ACROSS THE STREET

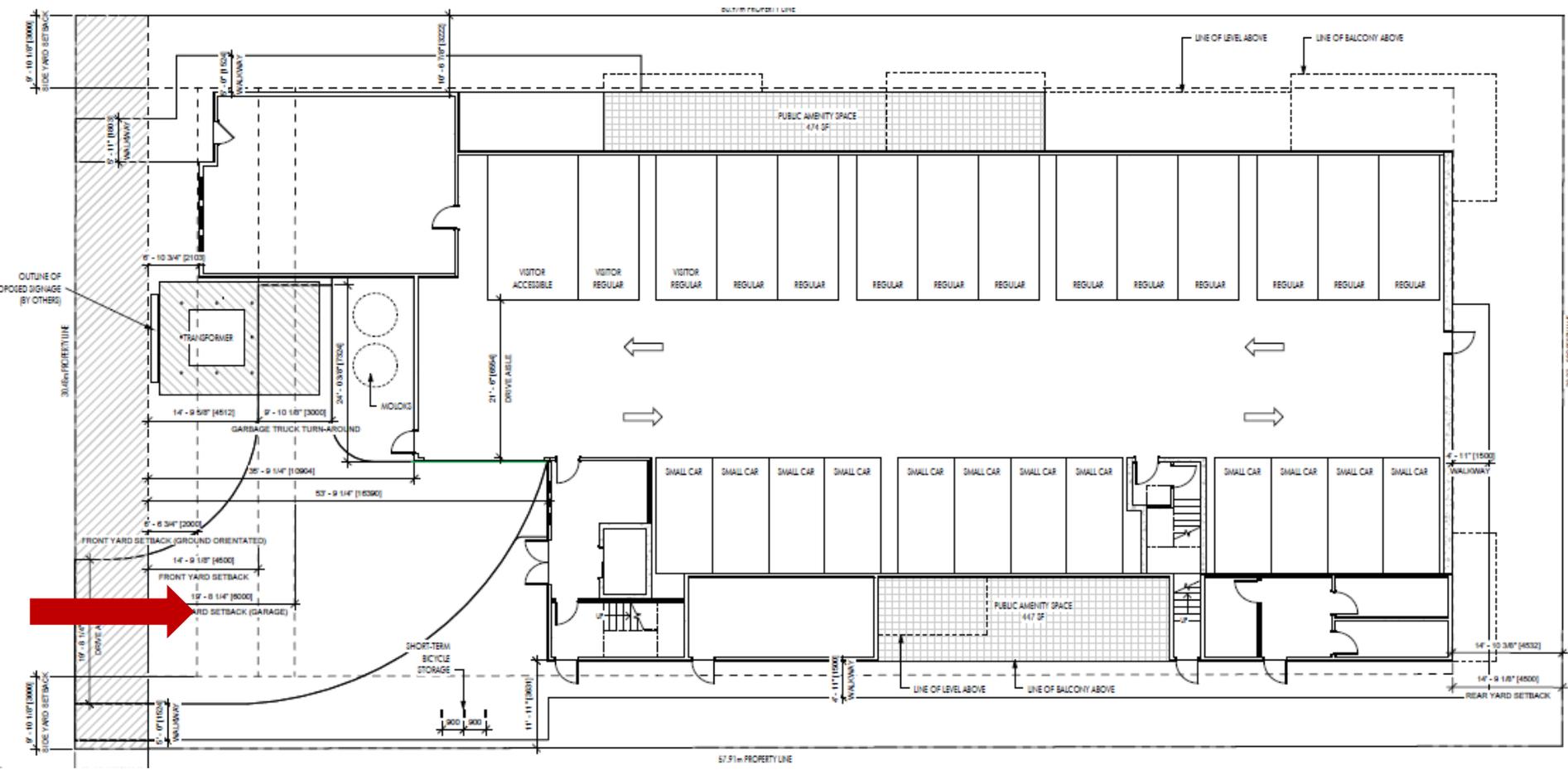


6. VIEW FROM NW CORNER OF THE SITE LOOKING SW

Technical Details

- ▶ Development Permit for a four-storey apartment housing development.
 - ▶ 20 units in total
 - ▶ 3 1-bed
 - ▶ 14 2-bed
 - ▶ 2 3-bed
 - ▶ 1 4-bed townhouse
 - ▶ 29 parking stalls
 - ▶ 26 residential stalls
 - ▶ 3 visitor stalls

Site Plan

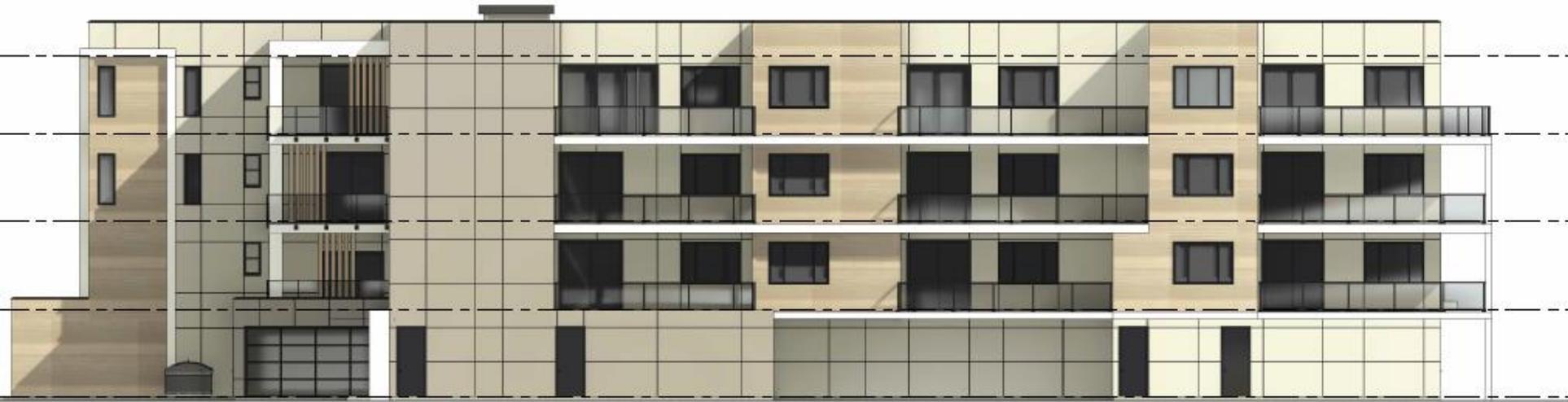


Elevation – Front (West)



EXTERIOR FINISHES AND COLOURS LEGEND					
#	IMAGE	MATERIAL	#	IMAGE	MATERIAL
1		FASCIA, TRIM, WINDOWS, DOORS RAILINGS: BLACK	4		HARDIE PANEL: AGED PEWTER
2		METAL CLADDING: MAC, SMOKED BIRCH	5		CULTURED STONE: PRO-FIT MODERA LEDGESTONE - VELLUM
3		HARDIE PANEL: COBBLESTONE	6		HARDIE PANEL, COLUMNS: ARCTIC WHITE

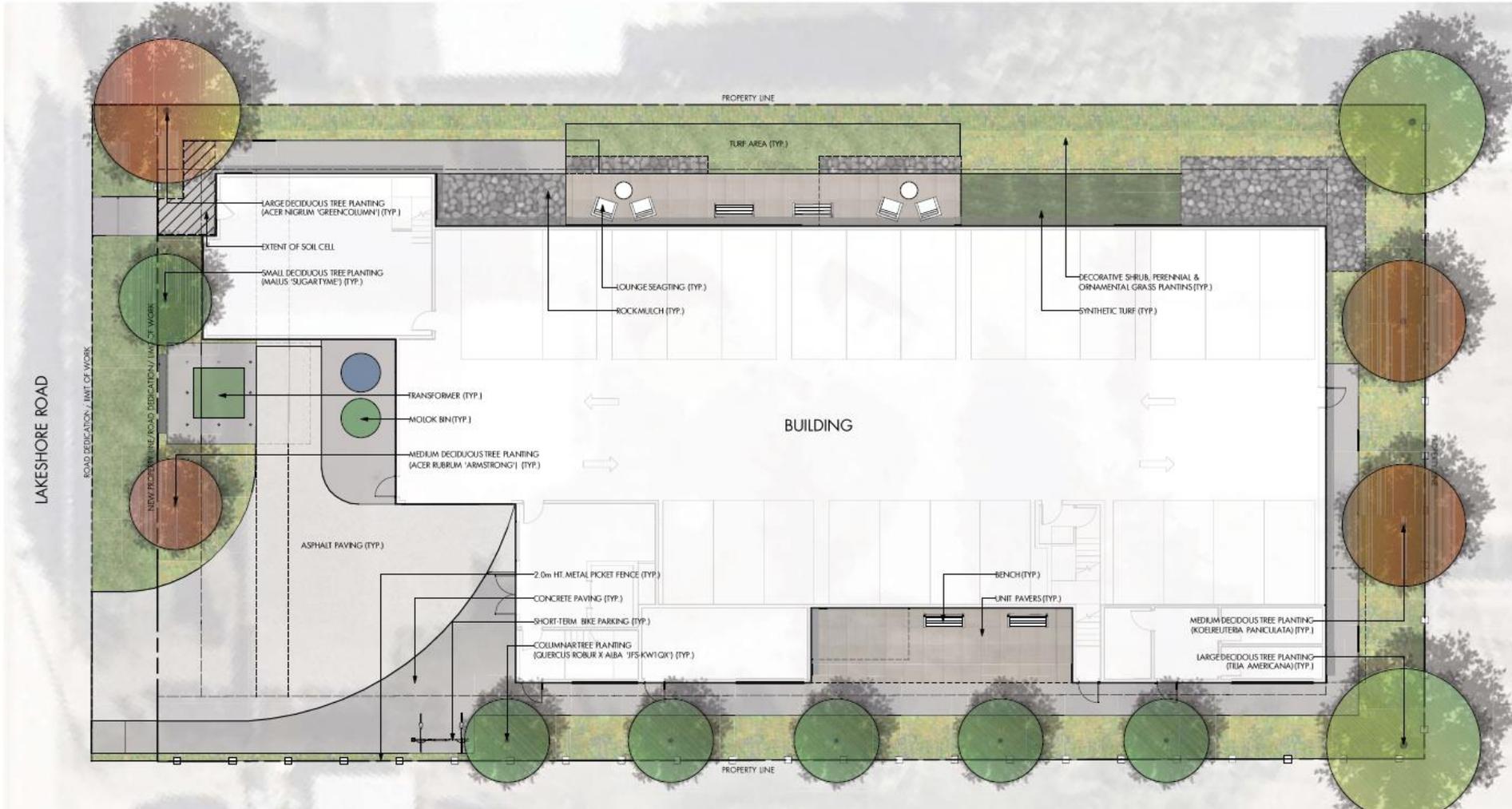
Elevation – Right (South) and Left (North)



Elevation – Rear (East)



Landscape Plan



Rendering – Lakehsore Road



OCP Design Guidelines

- ▶ Providing building façade and entries to be facing Lakeshore Road;
- ▶ Locating balconies and entrances to being oriented towards the frontage to create 'eyes of the street'
- ▶ Screening parking and not providing any surface level parking;
- ▶ Proposing trees that are either drought resistant or native to the local climate.

Staff Recommendation

- ▶ Staff recommend **support** for the proposed development permit as it:
 - ▶ Meets majority of the OCP Design Guidelines;
 - ▶ Provides density along a designated Transit Supportive Corridor.
 - ▶ No variances are required.

CITY OF KELOWNA
BYLAW NO. 12630
Z23-0077
250, 270, 280 Homer Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of:
 - a) Lot 3 Section 27 Township 26 ODYD Plan 14897 located on Homer Road, Kelowna, BC;
 - b) Lot 4 Section 27 Township 26 ODYD Plan 14897 located on Homer Road, Kelowna, BC; and
 - c) Lot 5 Section 27 Township 26 ODYD Plan 14897 located on Homer Road, Kelowna, BC;from the MF1 – Infill Housing zone to the MF2 – Townhouse Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 18th day of March, 2024.

Approved under the Transportation Act this 19th day of March, 2024.

Damian Kusiak

(Approving Officer – Ministry of Transportation)

Amended at third reading and adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL DEVELOPMENT PERMIT



Date: April 8, 2024
To: Council
From: City Manager
Address: 250, 270, 280 Homer Road
File No.: DP23-0212
Zone: MF2 – Townhouse Housing

1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 12630 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP23-0212 for:

- Lot 3 Section 27 Township 26 ODYD Plan 14897 located at 280 Homer Rd, Kelowna, BC;
- Lot 4 Section 27 Township 26 ODYD Plan 14897 located at 270 Homer Rd, Kelowna, BC; and
- Lot 5 Section 27 Township 26 ODYD Plan 14897 located at 250 Homer Rd, Kelowna, BC;

subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above-noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Permit for the form and character of townhouse housing.

3.0 Development Planning

Staff support the proposed Development Permit for the form and character of a 33-unit townhouse development. The proposal generally conforms to the Official Community Plan (OCP) Form and Character Development Permit Design Guidelines for Townhouse Development. Key guidelines that are met include:

- Orienting primary building facades and entries to the fronting street and minimizing the distance between the building and the sidewalk to create street edge definition, activity, and a sense of enclosure;
- Designing units to have easy access to useable private and semi-private outdoor amenity space; and
- Incorporating a range of architectural features and details into building facades to create visual interest, and breaking up the building with an integrated, consistent range of materials and colours that provide variety.

Through consolidation of three lots, the applicant is proposing to construct six ground-oriented townhouses for a total of 33-units. Each building is 3-storeys in height and each unit consists of three-bedrooms. The onsite amenity space aligns a central walkway with the development entry, leading to a shared playground area, which then wraps around the site in two directions to create a walking loop. The proposed design and landscaping plan mitigates and addresses sensitivity to the immediately surrounding neighbours through the choice of building materials, colour palate and through planting of trees and landscaping along the northern and southern perimeters of the property.

4.0 Subject Property

4.1 Subject Property Map



The surrounding neighbourhood context mostly consists of single detached housing, however, there are also townhouse and apartment housing developments within the area of the proposed development.

The subject properties are located in Rutland, approximately one block west of the Rutland Urban Centre and approximately 200 meters north of Hwy 33 West, which is classified as Transit Supportive Corridor. There are two transit stops located near the intersection of Hwy 33 W and Homer Rd. Additionally, the proposed development site is near a number of parks, including Ben Lee Park, and the Houghton Road Recreation Corridor is located within short walking distance to the north of the site. The location of the proposed

development aligns with the intent of the OCP, allowing residents of Core Area Neighbourhoods easier access to Urban Centres for many of their day-to-day shopping and employment needs while the Transit Supportive and Active Transportation Corridors would make it easier to reach other areas of the city without a car.

5.0 Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
Gross Lot Area	4,357 m ²
Total Number of Units	33
3-bed	33

DEVELOPMENT REGULATIONS		
CRITERIA	MF ₂ ZONE	PROPOSAL
Total Maximum Floor Area Ratio	1.0	0.98
Max. Site Coverage (buildings)	55%	44.7 %
Max. Site Coverage (buildings, parking, driveways)	80%	77.6 %
Max. Height	11.0 m and 3 storeys	10.1 m and 3 storeys
Setbacks		
Min. Front Yard (east)	2.0 m	2.0 m
Min. Side Yard (north)	3.0 m	3.0 m
Min. Side Yard (south)	3.0 m	3.0 m
Min. Rear Yard (west)	4.5 m	6.7 m
Amenity Space		
Total Required Amenity Space	957 m²	1,031.5 m²
Common	132 m ²	204.5 m ²
Private	825 m ²	827 m ²
Landscaping		
Min. Number of Trees	18 trees	18 trees
Min. Large Trees	6 trees	6 trees

PARKING REGULATIONS		
CRITERIA	MF ₂ ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	58 stalls	71 stalls
Residential	53	66
Visitor	5	5
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	58% Regular 42% Small
Bicycle Stalls Short-Term	7 stalls	8 stalls

6.0 Application Chronology

Application Accepted: August 8, 2023
 Adoption of Zone Amending Bylaw: April 8, 2024

Report prepared by: Barbara B. Crawford, Planner II
Reviewed by: Jocelyn Black, Urban Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Permit DP23-0212

Schedule A: Site Plan & Floor Plans

Schedule B: Elevations

Schedule C: Landscape Plan

Attachment B: OCP Form and Character Development Permit Guidelines

Attachment C: Renderings

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

Development Permit

DP23-0212

ATTACHMENT		A
This forms part of application		
# DP23-0212		
Planner Initials	BC	



This permit relates to land in the City of Kelowna municipally known as:

250, 270, 280 Homer Rd

and legally known as:

- Lot 3 Section 27 Township 26 ODYD Plan 14897 located at 280 Homer Rd, Kelowna, BC,
- Lot 4 Section 27 Township 26 ODYD Plan 14897 located at 270 Homer Rd, Kelowna, BC, and,
- Lot 5 Section 27 Township 26 ODYD Plan 14897 located at 250 Homer Rd, Kelowna, BC

and permits the land to be used for the following development:

Townhouse Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval: April 8, 2024
Development Permit Area: Multi-Family Form and Character
Existing Zone: MF2 – Townhouse Housing
Future Land Use Designation: C-NHD – Core Area Neighbourhood

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1376686 B.C., Ltd., Inc. No. BC1376686
Applicant: New Town Architecture and Engineering Inc.

Jocelyn Black
Urban Planning Manager
Planning & Development Services

Date of Issuance

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP23-0212 for:

- Lot 3 Section 27 Township 26 ODYD Plan 14897 located at 280 Homer Rd, Kelowna, BC,
- Lot 4 Section 27 Township 26 ODYD Plan 14897 located at 270 Homer Rd, Kelowna, BC, and,
- Lot 5 Section 27 Township 26 ODYD Plan 14897 located at 250 Homer Rd, Kelowna, BC

subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above-noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$125,556.25**.

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. PAYMENT-IN-LIEU OF PARKING BYLAW NO. 8125

N/A

5. PUBLIC AMENITIES AND STREETScape CAPITAL RESERVE FUND

N/A

6. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

Homer Road Townhomes

RE-ISSUED FOR DP, 2023-09-25

SCHEDULE A

This forms part of application
DP23-0212

Planner Initials **BC**

City of Kelowna
DEVELOPMENT PLANNING



FOR PERMIT ONLY (NOT FOR TENDER)

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA. This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

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Report all errors and omissions to the Architect.

NEW TOWN ARCHITECTURE
ARCHITECTURE
URBAN PLANNING
CIVIL ENGINEERING
www.newtownservices.ca



Revisions

No.	DATE	DESCRIPTION
1	2023-06-09	ISSUED FOR DP
2	2023-09-25	RE-ISSUED FOR DP

ARCHITECTURAL
NEW TOWN ARCHITECTURE & ENGINEERING
200-1464 ST. PAUL STREET
KELOWNA, BC V1Y 2E6
e: roman@newtownservices.net t: (250) 860-8185

CIVIL
NEW TOWN ARCHITECTURE & ENGINEERING
200-1464 ST. PAUL STREET
KELOWNA, BC V1Y 2E6
e: jacob@newtownservices.net t: (250) 215-8312

LANDSCAPE
CTQ Consultants
1334 St Paul St
Kelowna, BC
e: DJohnston@ctqconsultants.ca t: (250) 979-1221

- A0.000 COVER PAGE
- A1.010 ZONING & BYLAW
- A1.020 SITE COVERAGE PLAN
- A2.000 SURVEY
- A2.010 SITE PLAN
- A3.010 LEVEL 1 FLOOR PLAN
- A3.020 LEVEL 2 FLOOR PLAN
- A3.030 LEVEL 3 FLOOR PLAN
- A4.000 MATERIALS
- A4.010 BUILDING (1&2) ELEVATIONS
- A4.020 BUILDING (3-6) ELEVATIONS
- A4.030 STREET ELEVATION - CONTEXT
- A8.010 UNIT PLANS
- A8.020 UNIT PLANS
- A9.010 RENDERINGS
- A9.020 RENDERINGS

project title
Homer Road Townhomes

project address
250, 270, 280 Homer Road,
Kelowna

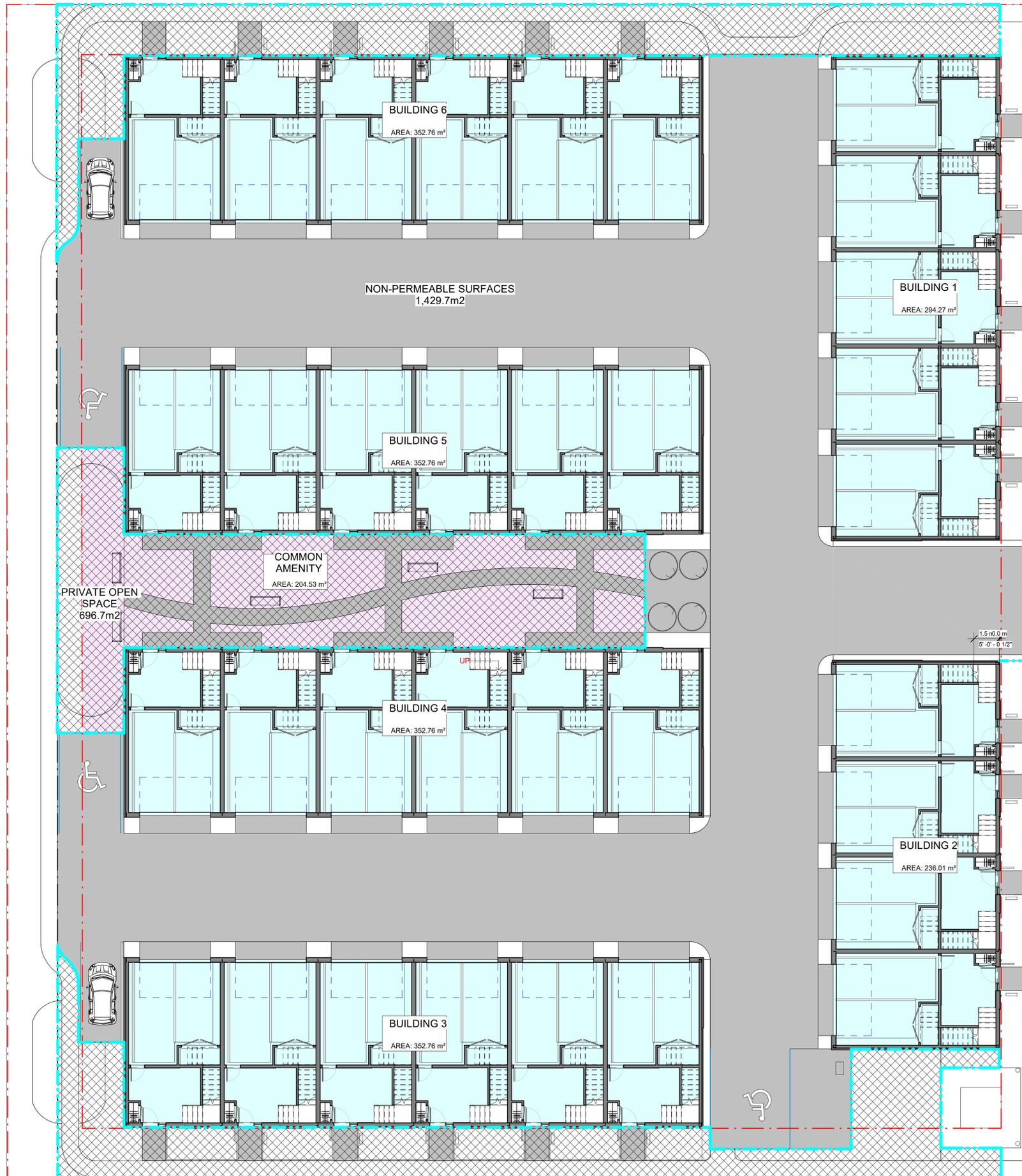
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drawing title
COVER PAGE

designed _____ scale _____
drawn _____ Author _____
checked _____ Checker _____
drawing no. **A0.00D**
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SITE COVERAGE AREA LEGEND

- NON-PERMEABLE SURFACES 1,429.7m²
- BUILDING FOOTPRINT 1,941.4m²
- COMMON AMENITY SPACE 204.53m²
- PRIVATE OPEN SPACE 696.7m²



SCHEDULE A

This forms part of application # DP23-0212

Planner Initials BC



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Revisions

No.	DATE	DESCRIPTION
2	2023-09-25	RE-ISSUED FOR DP

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project title
Homer Road Townhomes

project address
250, 270, 280 Homer Road,
Kelowna

project no. 4212

drawing title
**SITE
COVERAGE
PLAN**

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drawn Designer
checked Author
checked Checker

drawing no. **A1.02D**
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A
PLAN KAP68048

A
PLAN KAP65978

B
PLAN KAP65978

1
PLAN KAP72409



SCHEDULE
This forms part of application
DP23-0212

Planner Initials **BC**

City of Kelowna
DEVELOPMENT PLANNING

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project title
Homer Road Townhomes

project address
250, 270, 280 Homer Road,
Kelowna

project no. 4212

drawing title
SITE PLAN

designed _____ scale 1:150
drawn _____ Author
checked _____ Checker

drawing no. **A2.01D**
plotted 26/09/2023 2:52:03 PM



SCHEDULE A

This forms part of application
DP23-0212

Planner Initials **BC**

City of Kelowna
DEVELOPMENT PLANNING

FOR PERMIT ONLY (NOT FOR TENDER)

NORTH

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA. This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

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project title
Homer Road Townhomes

project address
250, 270, 280 Homer Road,
Kelowna

project no. **4212**

drawing title
**LEVEL 2
FLOOR PLAN**

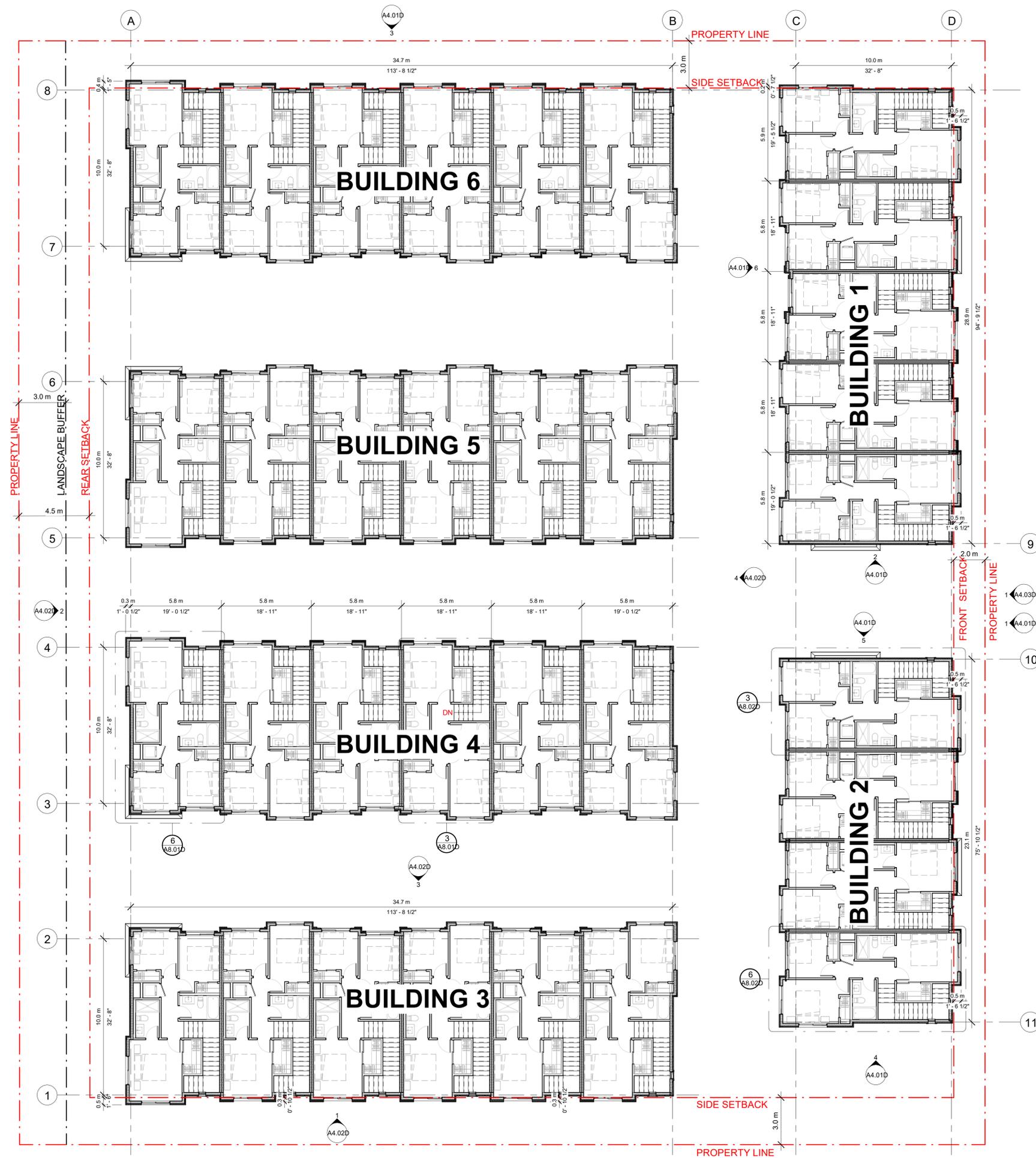
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drawn Author

checked Checker

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SCHEDULE A

This forms part of application
DP23-0212

Planner Initials **BC**

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2	2023-09-25	RE-ISSUED FOR DP

project title
Homer Road Townhomes

project address
250, 270, 280 Homer Road,
Kelowna

project no. **4212**

file no. _____

drawing title
**LEVEL 3
FLOOR PLAN**

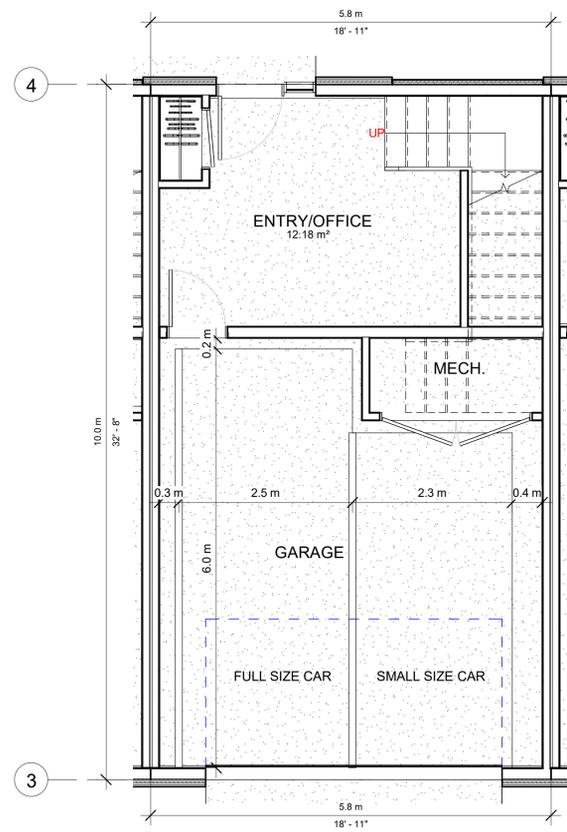
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drawn _____ Author

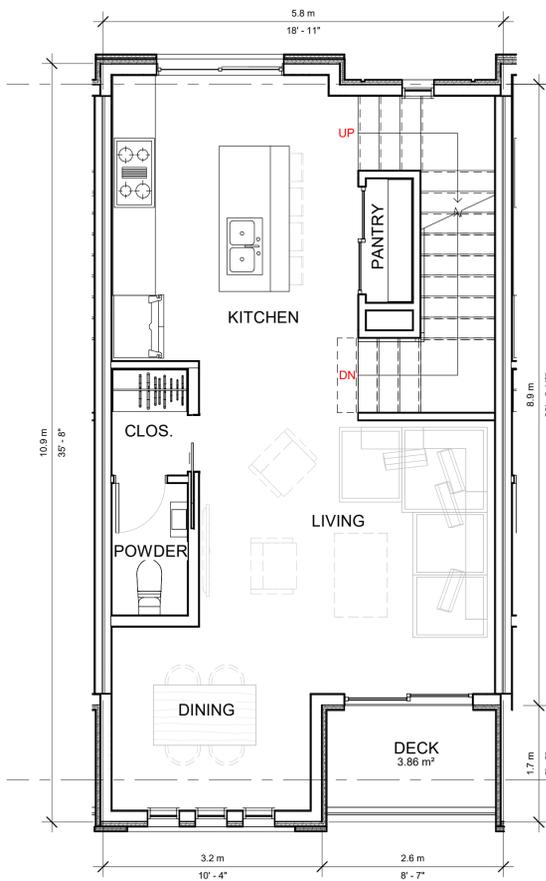
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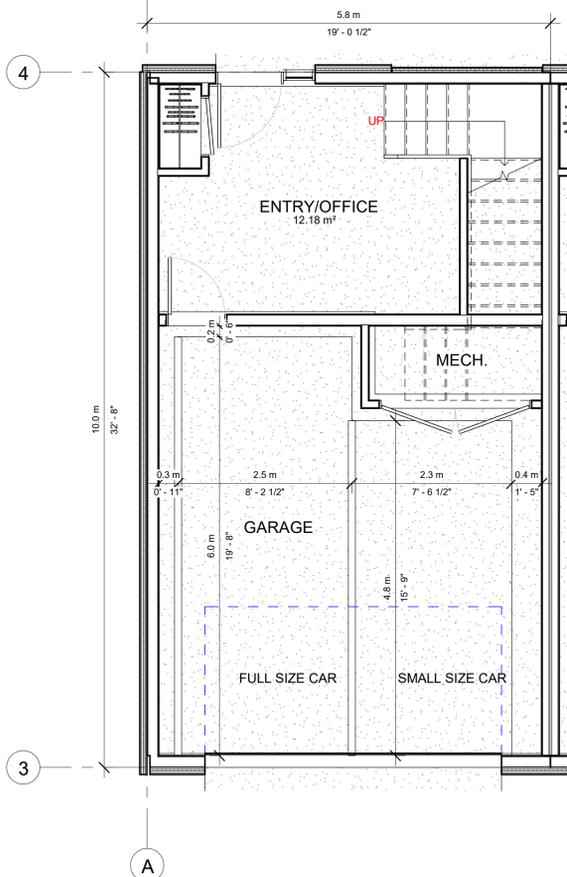
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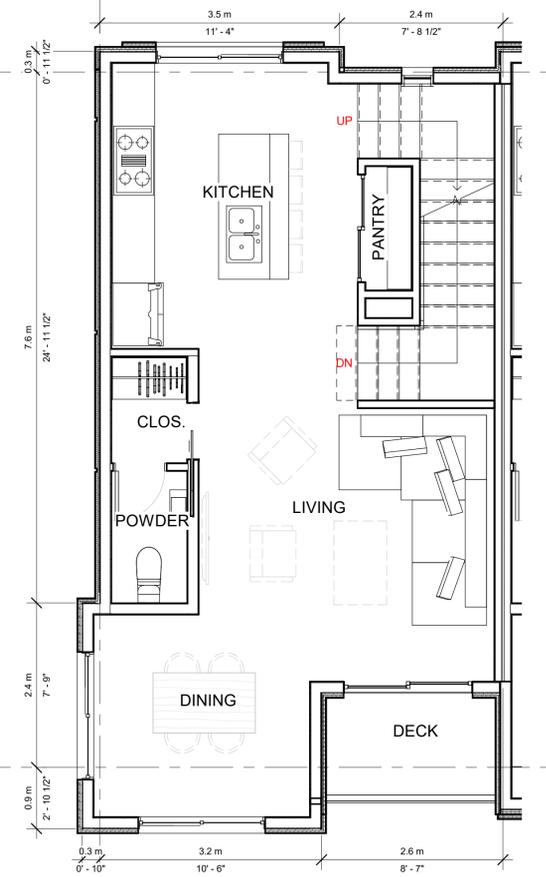
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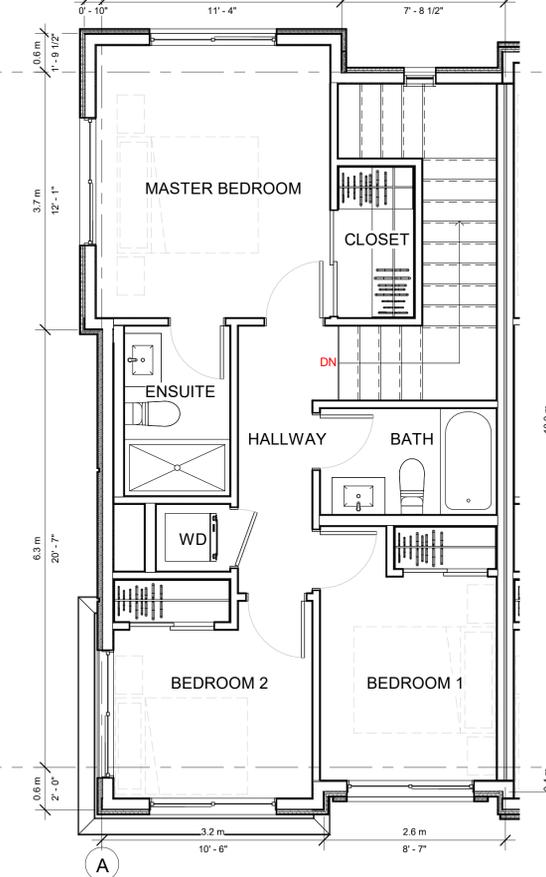
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1/4" = 1'-0"



4 LEVEL 1 (DP) - corner unit 1
1/4" = 1'-0"



5 LEVEL 2 (DP) - corner unit 1
1/4" = 1'-0"



6 LEVEL 3 (DP) - corner unit 1
1/4" = 1'-0"

SCHEDULE A

This forms part of application
DP23-0212

Planner Initials **BC**

City of Kelowna
DEVELOPMENT PLANNING

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Revisions

No.	DATE	DESCRIPTION
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FOR PERMIT ONLY (NOT FOR TENDER)

project title
Homer Road Townhomes

project address
250, 270, 280 Homer Road,
Kelowna

project no. **4212**

drawing title
UNIT PLANS

designed _____ scale 1/4" = 1'-0"
drawn _____ Author
checked _____ Checker
drawing no. **A8.01D**
plotted 20/09/2023 2:53:59 PM

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA
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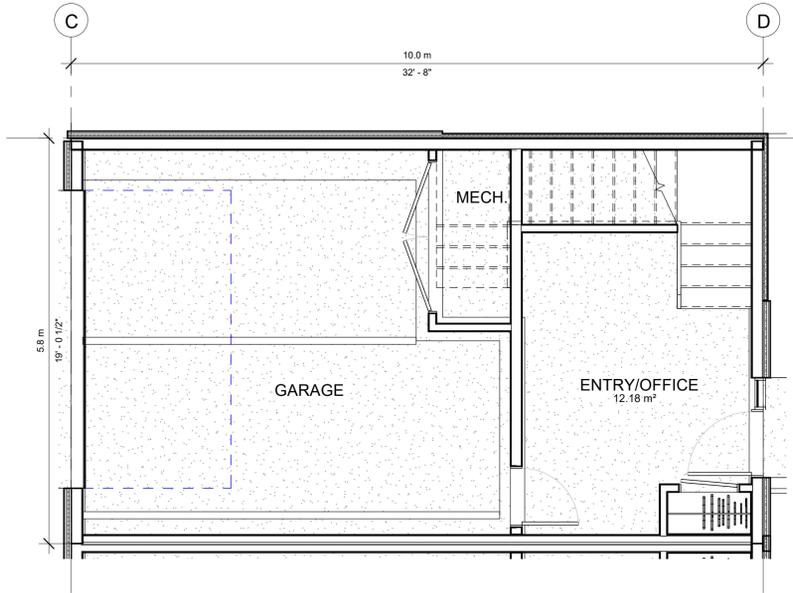


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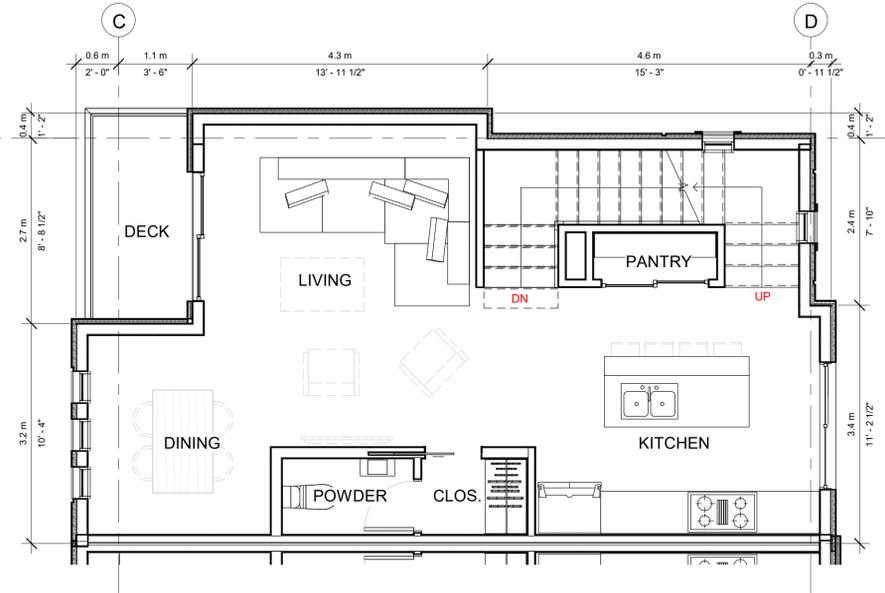


Revisions

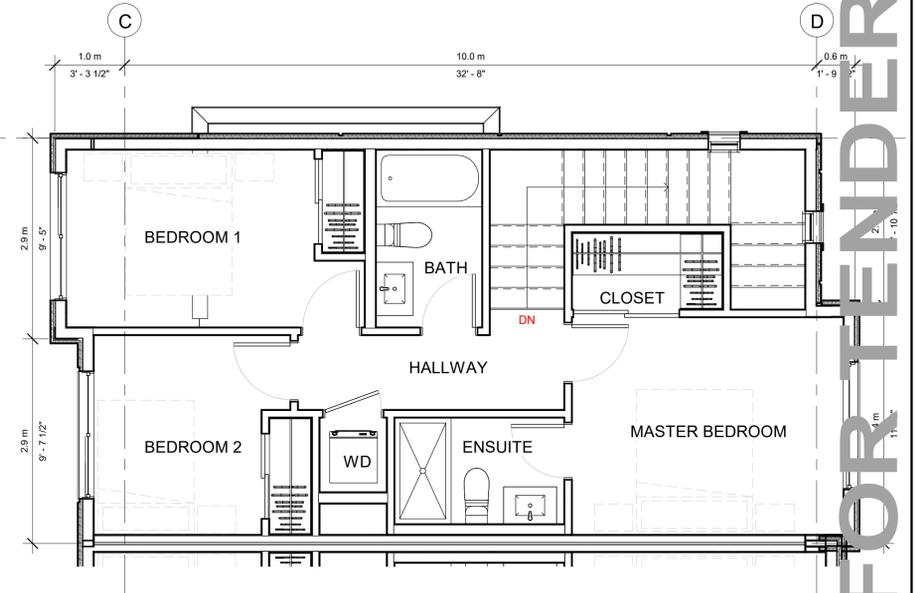
No.	DATE	DESCRIPTION
2	2023-09-25	RE-ISSUED FOR DP



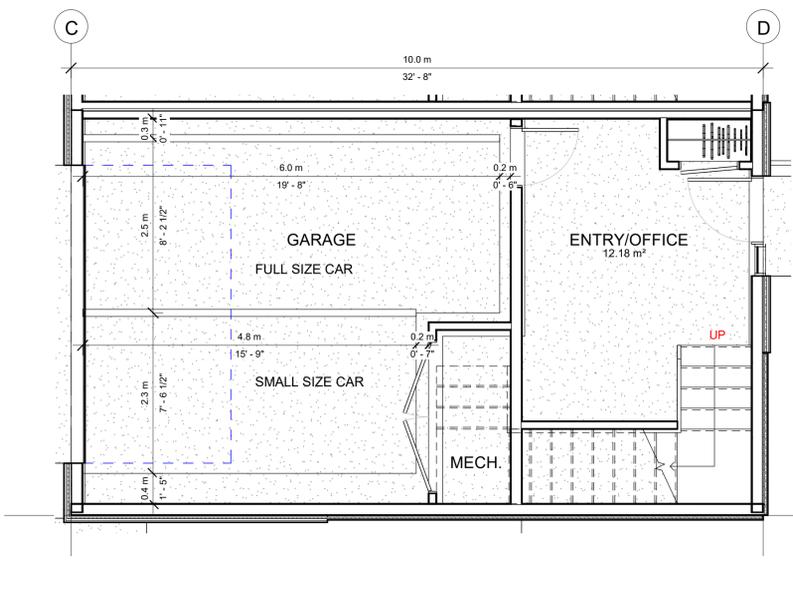
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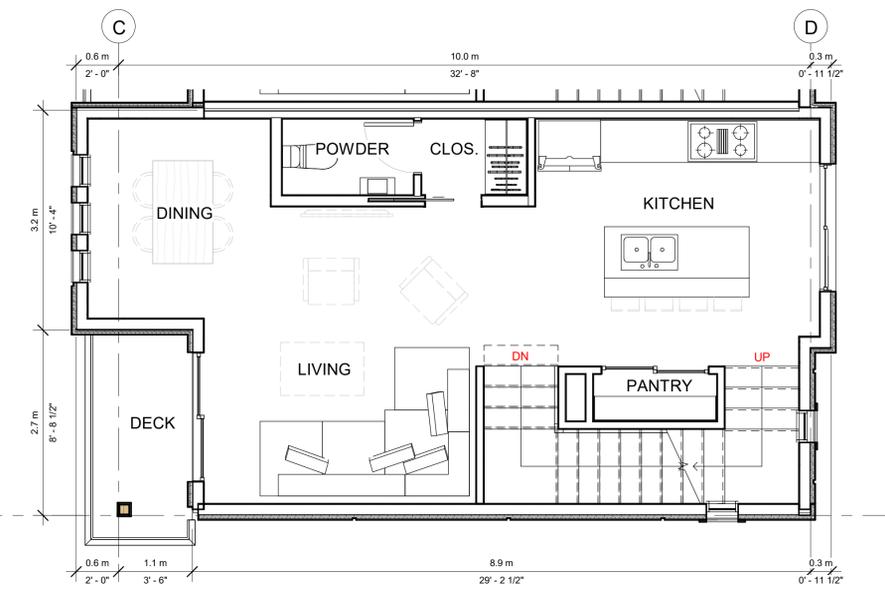
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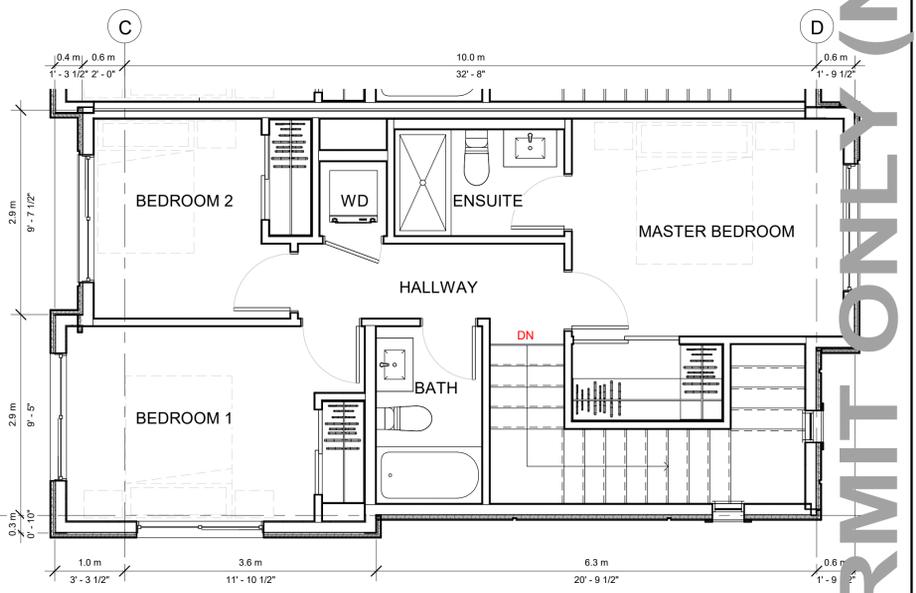
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4 LEVEL 1 (DP) - corner unit 3
 1/4" = 1'-0"



5 LEVEL 2 (DP) - corner unit 3
 1/4" = 1'-0"



6 LEVEL 3 (DP) - corner unit 3
 1/4" = 1'-0"

SCHEDULE A
 This forms part of application
 # DP23-0212

Planner Initials **BC**

FOR PERMIT ONLY (NOT FOR TENDER)

project title
 Homer Road Townhomes

project address
 250, 270, 280 Homer Road,
 Kelowna

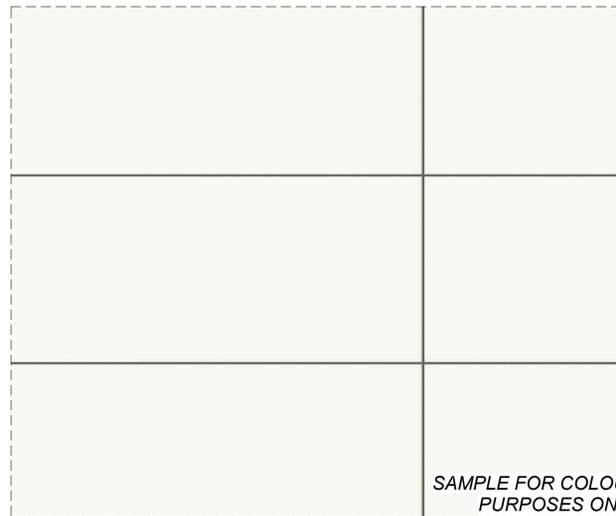
project no. **4212**

drawing title
UNIT PLANS

designed **Designed** scale 1/4" = 1'-0"
 drawn **Author**
 checked **Checker**

drawing no. **A8.02D**
 plotted 26/09/2023 2:54:04 PM

PRODUCT: FIBRE CEMENT SIDING C/W REVEAL
 COLOUR & CODE: WHITE
 I.D NUMBER: 1.



SAMPLE FOR COLOUR PURPOSES ONLY

PRODUCT: FIBRE CEMENT LAP SIDING
 COLOUR & CODE: IMITATION WOOD - BROWN
 I.D NUMBER: 2.

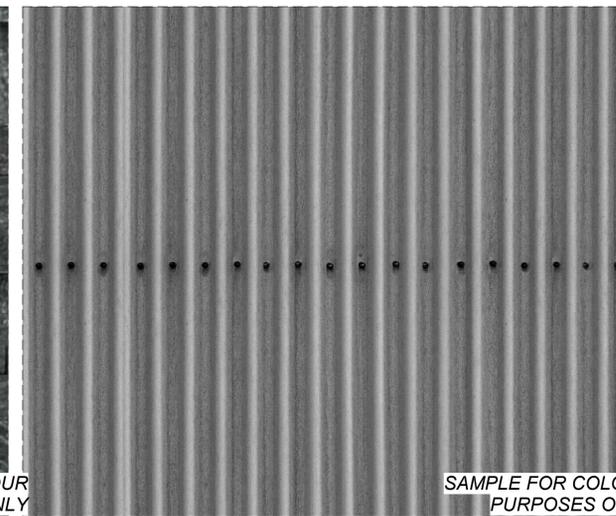


PRODUCT: STONE VENEER - ELDORADO STONE
 COLOUR & CODE: GLACIAL BLACK
 I.D NUMBER: 3.



SAMPLE FOR COLOUR PURPOSES ONLY

PRODUCT: CORRUGATED METAL PANEL
 COLOUR & CODE: SILVER
 I.D NUMBER: 4.



SAMPLE FOR COLOUR PURPOSES ONLY

PRODUCT: FIBRE CEMENT SIDING
 COLOUR & CODE: DARK BROWN
 I.D NUMBER: 5.



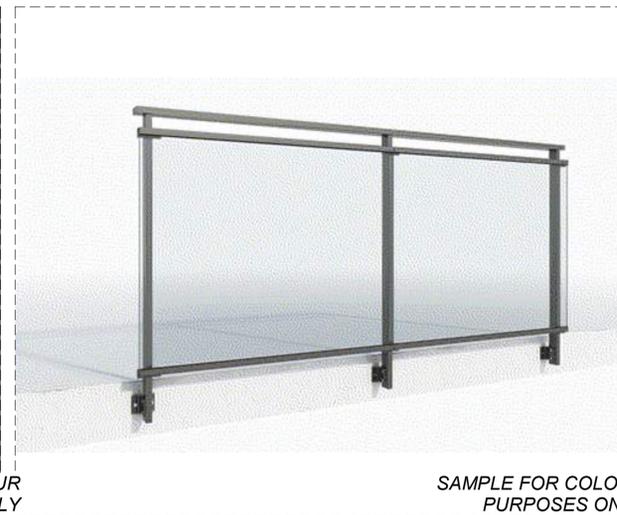
SAMPLE FOR COLOUR PURPOSES ONLY

PRODUCT: FIBRE CEMENT SIDING C/W REVEAL
 COLOUR & CODE: IRON GREY / BLACK
 I.D NUMBER: 6.



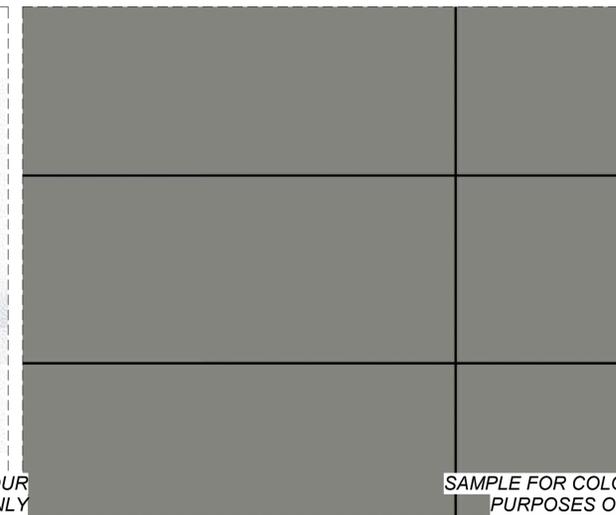
SAMPLE FOR COLOUR PURPOSES ONLY

PRODUCT: GLASS RAILING
 COLOUR & CODE: BLACK GALV. ALU POSTS W/TRANSP. GLASS
 I.D NUMBER: 7.



SAMPLE FOR COLOUR PURPOSES ONLY

PRODUCT: FIBRE CEMENT SIDING C/W REVEAL
 COLOUR & CODE: LIGHT GREY
 I.D NUMBER: 8.



SAMPLE FOR COLOUR PURPOSES ONLY

PRODUCT: VINYL SLIDING DOOR
 COLOUR & CODE: CLEAR GLASS; BLACK FRAME
 I.D NUMBER: 9.



SAMPLE FOR COLOUR PURPOSES ONLY

PRODUCT: VINYL WINDOW
 COLOUR & CODE: CLEAR GLASS; BLACK FRAME
 I.D NUMBER: 10.



SAMPLE FOR COLOUR PURPOSES ONLY

PRODUCT: LOOP - 2 SPACE BIKE RACK
 COLOUR & CODE: BLACK
 I.D NUMBER: 11.



SAMPLE FOR COLOUR PURPOSES ONLY

PRODUCT: MOLOK GARBAGE GARBAGE CONTAINERS
 COLOUR & CODE: AS PER MANUFACTURER
 I.D NUMBER: 12.



SAMPLE FOR COLOUR PURPOSES ONLY

FOR PERMIT ONLY (NOT FOR TENDER)

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA. This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled. Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



NEW TOWN
 ARCHITECTURE
 URBAN PLANNING
 CIVIL ENGINEERING
 www.newtownservices.ca

Seal



Revisions

No.	DATE	DESCRIPTION
1	2023-06-09	ISSUED FOR DP
2	2023-09-25	RE-ISSUED FOR DP

SCHEDULE B

This forms part of application # DP23-0212

Planner Initials BC



project title
 Homer Road Townhomes

project address
 250, 270, 280 Homer Road,
 Kelowna

project no. 4212

file no. C:\Users\ljohnson\Documents\4212\4212.DWG

drawing title
MATERIALS

designed Designer scale 1 : 10

drawn Author

checked Checker

drawing no.

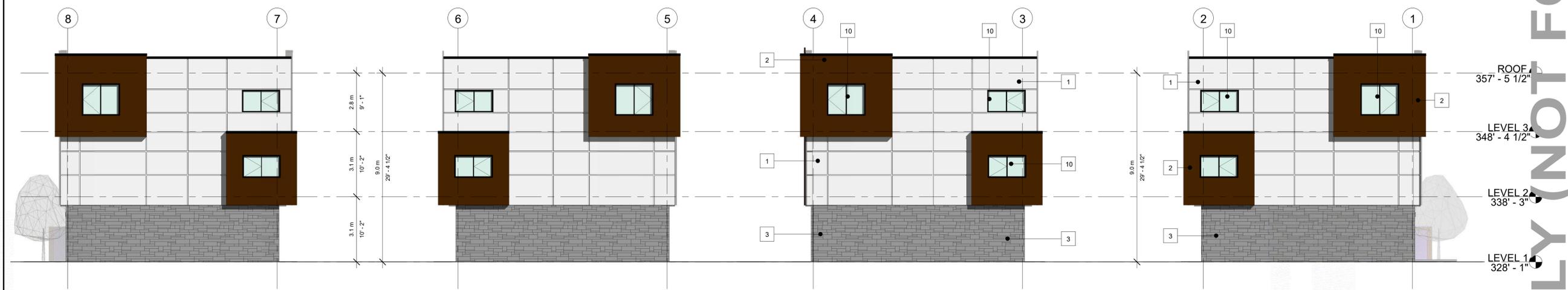
A4.00D

plotted 26/09/2023 2:52:43 PM



1 SOUTH ELEVATION - BUILDING 3 & 5 / NORTH ELEVATION - BLDG 4 & 6
1/8" = 1'-0"

3 NORTH ELEVATION - BUILDING 3 & 5 / SOUTH ELEVATION-BLDG 4 & 6
1/8" = 1'-0"



2 WEST ELEVATION - BUILDING 3-6
1/8" = 1'-0"

4 EAST ELEVATION - BUILDING 3-6
1/8" = 1'-0"

SCHEDULE B
This forms part of application
DP23-0212

Planner Initials **BC**

City of Kelowna
DEVELOPMENT PLANNING

- MATERIAL LEGEND**
- FIBRE CEMENT SIDING C/W REVEAL - WHITE
 - FIBRE CEMENT LAP SIDING - IMITATION WOOD - BROWN
 - STONE VENEER - ELDORADO STONE - GLACIAL BLACK
 - METAL PANEL - CORRUGATED
 - FIBRE CEMENT SIDING C/W REVEAL - DARK BROWN
 - FIBRE CEMENT SIDING C/W REVEAL - IRON GREY/BLACK
 - GLASS RAILING - BLACK GALV. ALU POSTS W/TRANSP. GLASS PANELS
 - FIBRE CEMENT SIDING C/W REVEAL - LIGHT GREY
 - VINYL SLIDING DOOR - CLEAR GLASS; BLACK FRAME
 - VINYL WINDOW - CLEAR GLASS; BLACK FRAME
 - LOOP - 2 SPACE BIKE RACK - BLACK
 - MOLOK GARBAGE CONTAINERS

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA. This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled. Verify all dimensions and datums prior to commencement of work. Report all errors and omissions to the Architect.



Revisions

No.	DATE	DESCRIPTION
1	2023-06-09	ISSUED FOR DP
2	2023-09-25	RE-ISSUED FOR DP

project title
Homer Road Townhomes

project address
250, 270, 280 Homer Road,
Kelowna

project no. **4212**

drawing title
**BUILDING (3-6)
ELEVATIONS**

designed scale As indicated
drawn Author
checked Checker

drawing no. **A4.02D**
plotted 26/09/2023 2:53:35 PM

FOR PERMIT ONLY (NOT FOR TENDER)

1376686 BC LTD.

250, 270, & 280 HOMER ROAD TOWNHOMES

LANDSCAPE WORKS - DEVELOPMENT PERMIT

SEPTEMBER 14, 2023

LIST OF DRAWINGS

- LDP 1 : COVER SHEET
- LDP 2.1: LANDSCAPE PLAN - ON SITE
- LDP 2.2: LANDSCAPE PLAN - OFF SITE
- LDP 3 : LANDSCAPE PLAN - WATER CONSERVATION
- LDP 4 : LANDSCAPE DETAILS

Zoning Bylaw 12375- Landscaping Summary

Municipal Address: 250 Homer Road, Kelowna, BC

Drawing Reference: LDP2 Landscape Plan On Site (CTQ Project No. 23026-100)

Criteria: **MF2 – TOWNHOUSE HOUSING**

One tree per 50m² of landscape area or 1 tree per 12 linear meters of landscape area, whichever is more.

Landscape Area Calculations Based On:

- **Front Yard** (East) = 2.0m
- Side Yard A (North)= n/a
- Side Yard B (South)= n/a
- **Rear Yard** = 4.5m (3.0m)

Total Landscape Areas = 386m² or 131 linear meters

Required trees = 386m²/50 = 7.7 (8) or 131 lm/12 = 10.9 (11) **11 trees required within the landscape areas**

Landscaping Standards (7.2)	Zone	Proposed
Min. tree amount	11	11
Min. deciduous tree caliper	Large: 5 cm Medium: 4 cm Small: 3 cm	Large: 6 cm Medium: 6 cm Small: 6 cm
Min. coniferous tree height	250 cm	n/a
Min. ratio between tree size	Large: 50% minimum Medium: no min. or max. Small: 25% maximum	Large: 50% = 6 Medium: = 2 Small: 25% = 3
Min. growing medium area	75% soil-based landscaping groundcover in landscape areas	Exceeds 75% soil-based landscaping groundcover in landscape areas
Min. growing medium volumes per tree	Large: 30 m ³ or 25 cu.m. if connected by trench or cluster Medium: 20 cu.m. or 18 cu.m. if connected by trench or cluster Small: 15 cu.m. or 12 cu.m. if connected by trench or cluster	Large: 30 cu.m. or 25 cu.m. if connected by trench or cluster Medium: 20 cu.m. or 18 cu.m. if connected by trench or cluster Small: 15 cu.m. or 12 cu.m. if connected by trench or cluster
Landscape graded area (7.2.7)	Max. 1:3 (33%) lawn areas Max. 1:2 (50%) planting areas Min. 1:50 (2%) cross slopes	Max. 1:3 (33%) lawn areas Max. 1:2 (50%) planting areas Min. 1:50 (2%) cross slopes
Fence Height	Front/ flanking yards: 1.2m Side/ rear yards 2.0m	(refer Architect)
Riparian Management area?	y/n	n
Retention of trees on site?	y/n	n
Surface parking lot (7.2.10)?	y/n	y
Refuse & recycle bins screened?	y/n	y (inside building)
Other:	x	x

SCHEDULE C

This forms part of application
DP23-0212

Planner Initials BC

City of Kelowna
DEVELOPMENT PLANNING





LEGEND:

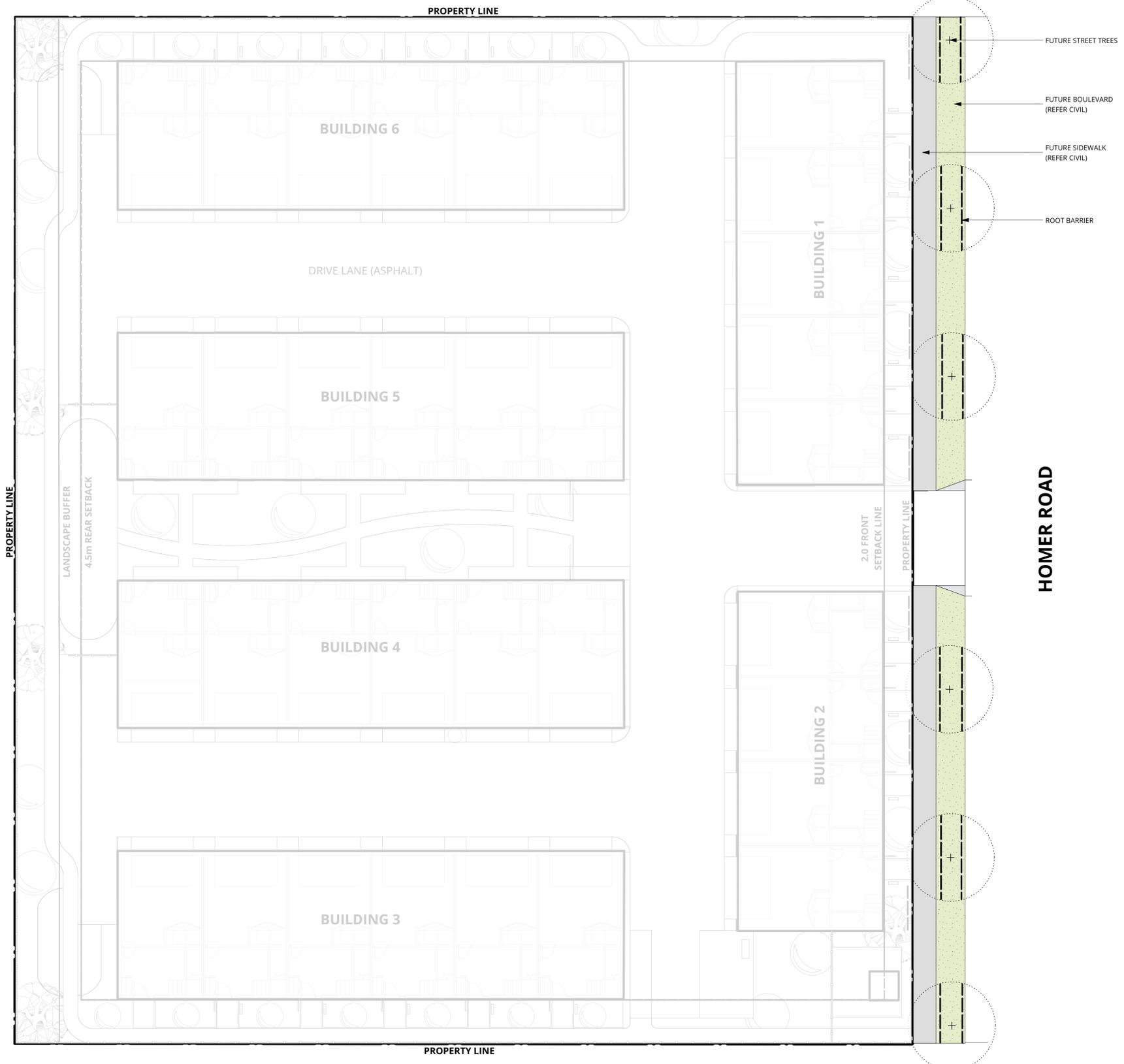
- PROPOSED TREES
- PROPERTY LINE
- WOODEN SCREEN FENCE
- ROOT BARRIER
- ASPHALT (REFER CIVIL)
- CONCRETE
- DECORATIVE ROCK MULCH
- COMPOSTED BARK MULCH
- PLAY AREA SAFETY MATERIAL
- ORNAMENTAL GRASSES/ PERENNIAL PLANTING
- SHRUB PLANTING
- SOD AREA



PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plant Size (Ht.xWd.)
Trees					
2	<i>Acer rubrum</i> 'Frank Jr.'	Redpointe Maple	6cm Cal	B&B	5.00 x 2.00m
2	<i>Cercis canadensis</i>	Eastern Redbud	6cm Cal	B&B	6.00 x 6.00m
4	<i>Cornus kousa</i> 'Satomi'	Kousa Dogwood	6cm Cal	B&B	6.00 x 6.00m
6	<i>Fraxinus americana</i> 'Autumn Purple'	Autumn Purple White Ash	6cm Cal	B&B	24.0 x 24.0m
4	<i>Syringa reticulata</i>	Ivory Silk Tree Lilac	6cm Cal	B&B	7.50 x 4.50m
Shrubs					
10	<i>Amelanchier x grandiflora</i> 'Ballerina'	Ballerina Serviceberry	#02	Potted	4.00 x 6.00m
	<i>Buxus</i> 'Green Gem'	Green Gem Boxwood	#02	Potted	1.20 x 0.90m
	<i>Cornus alba</i> 'Baibala'	Ivory Halo Dogwood	#02	Potted	1.50 x 1.50m
	<i>Cornus stolonifera</i> 'Arctic Fire'	Red-Osier Dogwood	#01	Potted	0.60 x 0.90m
	<i>Hydrangea paniculata</i> 'Pinky Winky'	Panicle Hydrangea	#02	Potted	2.40m x 2.40m
	<i>Hydrangea serrata</i> 'Blue Bird'	Mountain Hydrangea	#02	Potted	7.50 x 7.50m
	<i>Magnolia x soulangeana</i>	Saucer Magnolia	#02	Potted	7.50 x 7.50m
	<i>Physocarpus opulifolius</i> 'Dart's Gold'	Ninebark	#02	Potted	1.50 x 1.50m
	<i>Rosa</i> 'Morden Blush'	Morden Blush Rose	#02	Potted	0.90 x 0.90m
	<i>Syringa meyeri</i> 'Miss Kim'	Miss Kim Lilac	#02	Potted	1.80 x 1.50m
7	<i>Syringa vulgaris</i> 'Charles Joly'	Charles Joly Lilac	#02	Potted	2.50 x 1.80m
	<i>Taxus media</i> 'Tauntonii'	Tauntonii Yew	#02	Potted	1.20 x 1.50m
Ornamental Grasses					
	<i>Calamagrostis x acutiflora</i> 'Overdam'	Feather Reed Grass	#01	Potted	1.50 x 0.60m
	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	#01	Potted	1.50 x 0.60m
	<i>Pennisetum alopecuroides</i> 'Little Bunny'	Little Bunny Fountain Grass	#01	Potted	0.60 x 0.60m
Perennials					
	<i>Eupatorium maculatum</i> 'Gateway'	Joe-Pye Weed	#01	Potted	1.80 x 0.90m
	<i>Geranium</i> 'Rozanne'	Rozanne geranium	#01	Potted	0.45 x 0.90m
	<i>Nepeta foassenii</i> 'Walker's Low'	Walker's Low Catmint	#01	Potted	0.60 x 0.90m
	<i>Rudbeckia fulgida</i> 'Goldstrum'	Black-Eyed Susan	#01	Potted	0.90 x 0.60m
	<i>Salvia nemorosa</i> 'Caradonna'	Caradonna Sage	#01	Potted	0.60 x 0.60m

- NOTES:**
- THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.
 - ALL PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE MINIMUM STANDARDS SET OUT IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
 - ALL PLANTING BEDS SHALL TO RECEIVE 50mm OF COMPOSTED BARK MULCH UNLESS OTHERWISE NOTED.
 - ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
 - SOIL DEPTH TO BE AS FOLLOWS:
LAWN AREAS 150mm MIN
SHRUB AREAS 300mm MIN
TREES 1000mm MIN UNLESS OTHERWISE NOTED.
 - CoK TREE BYLAW REQUIREMENTS:
129 lm HOMER RD.
REQUIRES (1) TREES:
(6) LARGE, (2) MEDIUM & (3) SMALL.
LARGE TREE: *Fraxinus americana* 'Autumn Purple'
MEDIUM TREE: *Acer rubrum* 'Frank Jr.'
SMALL TREE: *Syringa reticulata*
 - CoK BYLAW SOIL REQUIREMENTS FOR BYLAW TREES:
LARGE TREES: 30m³, OR 25m³ SHARED
MEDIUM TREES: 20m³, OR 18m³ SHARED
SMALL TREES: 15m³, OR 12m³ SHARED
 - CoK BYLAW 75% SOIL-BASED LANDSCAPING GROUND COVER IN SETBACK AREAS.



- LEGEND:**
- PROPOSED TREES
 - PROPERTY LINE
 - WOODEN SCREEN FENCE
 - ROOT BARRIER
 - ASPHALT (REFER CIVIL)
 - CONCRETE
 - DECORATIVE ROCK MULCH
 - COMPOSTED BARK MULCH
 - PLAY AREA SAFETY MATERIAL
 - ORNAMENTAL GRASSES/ PERENNIAL PLANTING
 - SHRUB PLANTING
 - SOD AREA

SCHEDULE C

This forms part of application # DP23-0212

Planner Initials **BC**

SEAL



SCALE: 1 : 150

ISSUED FOR :		
NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-09-14

LANDSCAPE PLAN - OFF SITE

LDP 2.2

PROJECT NO. : 23026-100 DATE : 2023-05-17

LEGEND:

- LOW WATER REQUIREMENTS GRASSES / PERENNIALS
- MEDIUM WATER REQUIREMENTS SHRUBS
- HIGH WATER REQUIREMENTS SOD



SCHEDULE C

This forms part of application # DP23-0212

Planner Initials BC

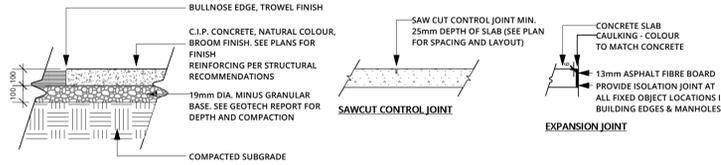
SEAL



SCALE: 1 : 150

ISSUED FOR :		
NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-09-14

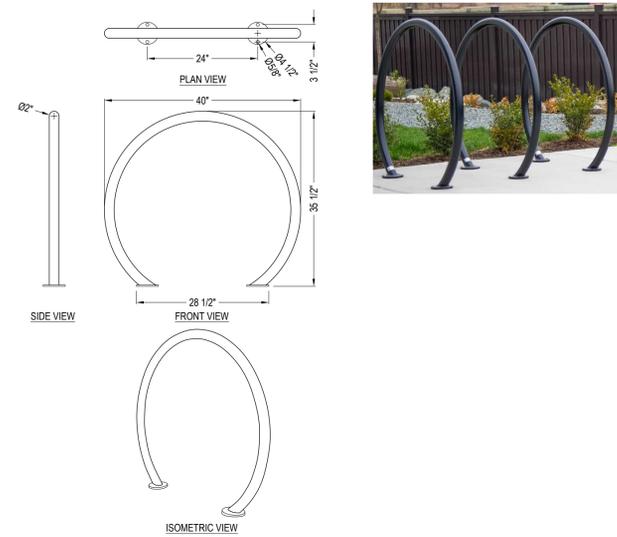
NOTES:
1. PLACE EXPANSION JOINTS AT 9M MAX. INTERVALS IN ACCORDANCE WITH THE CONTROL JOINTS SHOWN ON THE PLAN & AT ALL FIXED OBJECT LOCATIONS SUCH AS BUILDING EDGES & MANHOLES.



1 CONCRETE PAVING
LDP 2 1:20

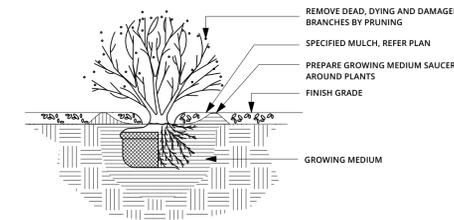
NOTES:

- BIKE RACK TO BE LOOP 2 SPACE BIKE RACK MODEL NUMBER LBRP-1-SS (STAINLESS) COLOUR BLACK
INSTALL PER MANUFACTURER'S SPECIFICATION WITH TAMPER RESISTANT NUTS AVAILABLE FROM WISHBONE SITE FURNISHINGS 866 626 0476

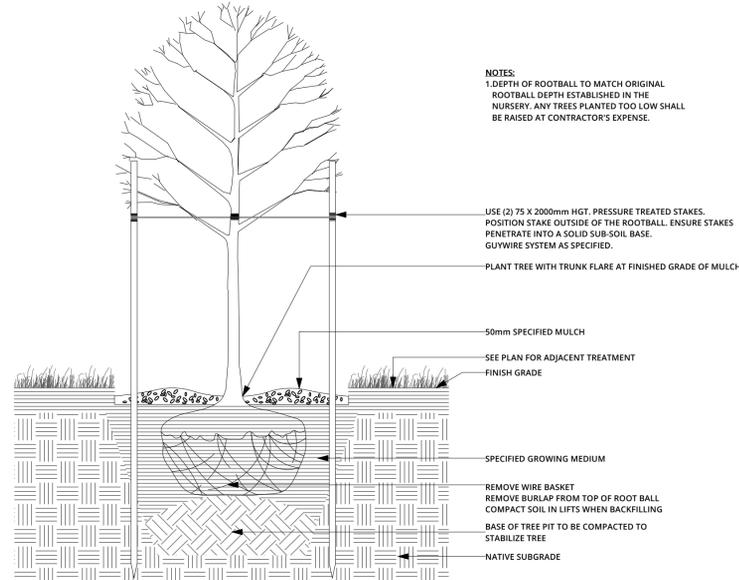


2 BIKE RACK
LDP 2 N.T.S.

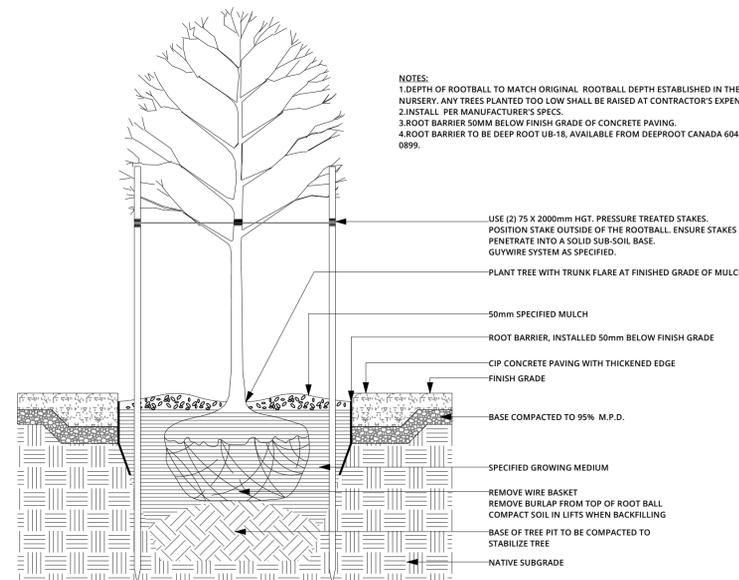
NOTES:
1. REMOVE CONTAINER WITHOUT DISTURBING THE ROOT SYSTEM OF THE PLANT.
2. CONTRACTOR TO ALLOW FOR SETTLEMENT WHEN PLANTING.



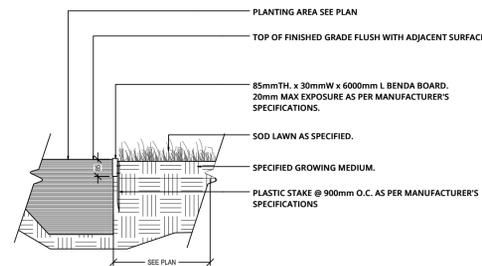
5 SHRUB PLANTING
LDP 2 1:20



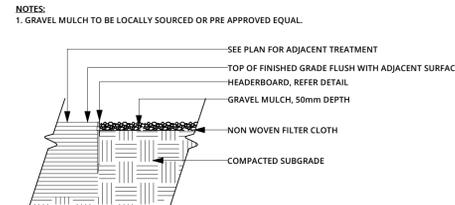
3 TREE PLANTING
LDP 2 1:20



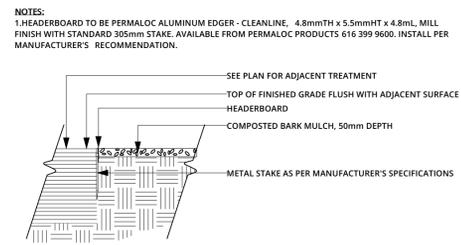
4 TREE PLANTING WITH ROOT BARRIER
LDP 2 1:20



6 SOD PLANTING
LDP # 1:20



7 ROCK MULCH
LDP 2 1:20



8 HEADERBOARD
LDP 2 1:20

BAYVIEW PARK BENCH
Model Number : BV-6

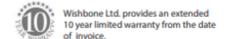


Table is Optional

DESIGNER NOTES

Style and elegance describe the Bayview bench. This "stepped up" design has melded the functionality of a standard bench look with a sleek, single angled leg giving it a very unique appearance. The wide lumber configuration on the backrest accommodates a wide variety of users and makes for an extremely comfortable sitting experience. Also intentional by design, this bench is perfect for a commemorative plaque. This bench is available in a variety of lengths with or without armrests.

AVAILABLE RECYCLED PLASTIC LUMBER COLOURS



Wishbone Site Furnishings | #210-27090 Gloucester Way | Langley, BC CANADA V4W 3Y5

9 BENCH
LDP 2 N.T.S.

Wishbone
site furnishings

PRODUCT SPECIFICATIONS

100% Recycled Plastic Slats
This product will not rot, splinter, or warp reducing maintenance costs over the life of the product.
Colours Available: Black, Grey, Redwood, Sand, Walnut
10 YEAR LIMITED WARRANTY
Durable Powder Coated Aluminum Frame
Standard Colours: Brown Slate, Victor Ridge II, Nordic Lichen, Timeless Rust, Grey Gold, Textured Silver, Precious Sand, Groovy Red, Black Textured, Earth Clay, Noble Bronze, Modern Khaki, Flame Red, Pastel Orange, Signal Violet, Traffic Yellow, Ultramarine Blue, Water Blue, Yellow Green
Long Lasting Stainless Steel Hardware

CUSTOMIZED SOLUTIONS

Custom Powder Coating (Setup Charges May Apply)
Gifting Program (Custom Inset Bronze Plaques)
LED Lighting built into the seat.
With-out arms (BVNA-6)
Optional 30" Table Model #RT-30
Center arm
4 ft and 5 ft Lengths
Skate blocks
Stainless steel bolt down kit

PRODUCT DIMENSIONS

Total Height	33 inches / 838mm
Total Depth	26 inches / 664mm
Seat Height	17.5 inches / 445mm
Seat Depth	18.5 inches / 470mm
Total Length	6 feet / 183cm
Weight	140lbs / 64kg

RECYCLED CONTENT

75% RECYCLED CONTENT BY WEIGHT
100% RECYCLABLE

SEAL

ISSUED FOR :

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-09-14

SCALE : AS SHOWN

LANDSCAPE DETAILS

LDP 4

PROJECT NO. : 23026-100 DATE : 2023-05-17

HOMER ROAD TOWNHOMES

Landscape Works

Estimate of Probable Costs - Reference: LDP1-LDP4

September 14, 2023

Description of Work		Unit	Estimated Amount	Estimated Value	Total Value
1.0	Landscape Works On-Site				
1.1	CoK Bylaw Required Trees (60mm Cal.)	ea.	11	\$750.00	\$8,250.00
1.2	CoK Bylaw Required ameliorated growing medium for CoK Bylaw Required Trees, including surrounding planting areas and sod planting	m ³	232	\$40.00	\$9,280.00
1.3	Deciduous Trees (60mm Cal.)	ea.	6	\$750.00	\$4,500.00
1.4	Ameliorated growing medium for Deciduous Trees (1m3)	m ³	6	\$40.00	\$240.00
1.5	Ameliorated growing medium for remaining planting areas (300mm)	m ³	114	\$40.00	\$4,560.00
1.6	Shrubs (#01)	m ²	72	\$15.00	\$1,080.00
1.7	Shrubs (#02)	m ²	407	\$25.00	\$10,175.00
1.8	Sod Planting	m ²	173	\$10.00	\$1,730.00
1.9	Ameliorated growing medium for remaining sod areas (150mm)	m ³	26	\$40.00	\$1,038.00
1.10	Composted bark mulch (50mm)	m ³	24	\$65.00	\$1,560.00
1.11	Decorative rock mulch with fabric underlay (50mm)	m ²	56	\$12.00	\$672.00
1.12	Play Area Safety Material (300mm)	m ²	57	\$40.00	\$2,280.00
1.13	Wooden Screen Fence	lm	208	\$150.00	\$31,200.00
1.14	Bike Rack	ea.	4	\$750.00	\$3,000.00
1.15	Bench	ea.	5	\$1,500.00	\$7,500.00
1.16	Root Barrier (18" Depth)	lm	21	\$40.00	\$840.00
1.17	Headerboard	lm	56	\$15.00	\$840.00
1.18	High efficiency irrigation system	m ²	650	\$18.00	\$11,700.00
SUBTOTAL					\$100,445.00

EXCLUSIONS: Hardscape, Play equipment

2.0	Landscape Works Off-Site				
2.1	Deciduous Trees (60mm Cal.)	ea.	6	\$750.00	\$4,500.00
2.2	Ameliorated growing medium for Deciduous Trees (4m3)	m ³	24	\$40.00	\$960.00
2.3	Sod Planting	m ²	127	\$10.00	\$1,270.00
2.4	Imported growing medium for sod areas (150mm)	m ³	19	\$65.00	\$1,238.25
2.5	High efficiency irrigation system for planting areas	m ²	127	\$18.00	\$2,286.00
2.6	Root Barrier (18" Depth)	lm	62	\$40.00	\$2,480.00

SUBTOTAL \$12,734.25

ESTIMATED TOTAL LANDSCAPE BUDGET

\$113,179.25

The estimate of costs provided herein is not a guaranteed amount but is to be used for Development Permit bonding purposes only.
 Estimate of costs are based on 2023 contractor pricing and are subject to change.



September 14, 2023

City of Kelowna, Development Services
City Hall
1435 Water Street
Kelowna, BC V1Y 1J4

Attention: Development Services

Re: HOMER ROAD TOWNHOMES, DEVELOPMENT PERMIT

As per our client’s request, CTQ Consultants Ltd., estimates a landscape development cost of On-Site Improvements to be **\$100,445.00** excluding applicable taxes for the above noted property. This price includes landscape materials and installation (trees, shrub and sod planting, mulch, wooden screen fence, bike rack, root barrier, and irrigation).

Per City of Kelowna - Development Permit Requirements, the bonding amount is **125%** of the cost estimate. The bond amount for this is **\$125,556.25**.

Should you require any explanation of this letter, please contact the undersigned.

Sincerely,
CTQ CONSULTANTS LTD.

Byron Douglas, APALA BC SLA CSLA, Partner

SCHEDULE		C
This forms part of application		
# DP23-0212		
Planner Initials	BC	 City of Kelowna <small>DEVELOPMENT PLANNING</small>

FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Chapter 2 - The Design Foundations: apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines: provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

Chapter 2 - Design Foundations

Apply To All Projects

Page 18-8

Section 2.1 - General Residential and Mixed Use Design Guidelines

Page 18-9

Section 2.2 - Achieving High Performance

Page 18-17

Chapter 3
Townhouses & Infill

Page 18-19

Chapter 4
Low & Mid-Rise
Residential &
Mixed Use

Page 18-34

Chapter 5
High-Rise
Residential &
Mixed Use

Page 18-42

*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.	✓					
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.						✓
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.					✓	
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.					✓	
f. Avoid blank, windowless walls along streets or other public open spaces.					✓	
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	✓					
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. <ul style="list-style-type: none"> • Wider streets (e.g. transit corridors) can support greater street wall heights compared to narrower streets (e.g. local streets); • The street wall does not include upper storeys that are setback from the primary frontage; and • A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys. 				✓		
2.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.			✓			
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.				✓		
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> • Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and • Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice. 			✓			

2.1.3 Site Planning	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.	✓					
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.			✓			
c. Limit the maximum grades on development sites to 30% (3:1)	✓					
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> • Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; • Incorporating terracing to create usable open spaces around the building • Using the slope for under-building parking and to screen service and utility areas; • Design buildings to access key views; and • Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped). 	✓					
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.	✓					
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	✓					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.	✓					
2.1.4 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.					✓	
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.				✓		
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.					✓	
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> • Underground (where the high water table allows) • Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage); 					✓	

<ul style="list-style-type: none"> Garages or at-grade parking integrated into the building (located at the rear of the building); and Surface parking at the rear, with access from the lane or secondary street wherever possible. 						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.			✓			
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> Landscaping; Trellises; Grillwork with climbing vines; or Other attractive screening with some visual permeability. 	✓					
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> Covered short-term parking in highly visible locations, such as near primary building entrances; and Secure long-term parking within the building or vehicular parking area. 					✓	
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.					✓	
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.						✓
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.	✓					
2.1.5 Streetscapes, Landscapes, and Public Realm Design	N/A	1	2	3	4	5
a. Site buildings to protect mature trees, significant vegetation, and ecological features.	✓					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.	✓					
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.					✓	
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> Locating outdoor spaces where they will receive ample sunlight throughout the year; Using materials and colors that minimize heat absorption; Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and Using building mass, trees and planting to buffer wind. 	✓					
f. Use landscaping materials that soften development and enhance the public realm.					✓	

g. Plant native and/or drought tolerant trees and plants suitable for the local climate.					✓	
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.					✓	
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.	✓					
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> • Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and • Using recycled water irrigation systems. 	✓					
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	✓					
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.	✓					
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> • Minimizing light trespass onto adjacent properties; • Using full cut-off lighting fixtures to minimize light pollution; and • Maintaining lighting levels necessary for safety and visibility. 	✓					
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.	✓					
2.1.6 Building Articulation, Features and Materials	N/A	1	2	3	4	5
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> • Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; • Repeating window patterns on each step-back and extension interval; • Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval. 						✓
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs. Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters;					✓	

ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.					✓	
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.					✓	
f. Provide weather protection such as awnings and canopies at primary building entries.				✓		
g. Place weather protection to reflect the building's architecture.					✓	
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.	✓					
i. Provide visible signage identifying building addresses at all entrances.					✓	

SECTION 4.0: TOWNHOUSES & INFILL						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	N/A	1	2	3	4	5
3.1 Townhouses & Infill						
3.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Design primary unit entrances to provide: <ul style="list-style-type: none"> • A clearly visible front door directly accessible from a public street or publicly accessible pathway via a walkway, porch and/or stoop; • Architectural entrance features such as stoops, porches, shared landings, patios, recessed entries, and canopies; • A sense of transition from the public to the private realm by utilizing strategies such as changes in grade, decorative railings, and planters; and • Punctuation, articulation, and rhythm along the street 						✓
b. A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways or stoops. Exceptions can be made in cases where the water table requires this to be higher.						✓
c. In the case of shared landings that provide access to multiple units, avoid having more than two doors in a row facing outward.	✓					
d. For buildings oriented perpendicularly to the street (e.g. shotgun townhomes), ensure that the end unit facing the street is a custom street-oriented unit with primary entry directly accessible from the fronting street and primary living space at grade.	✓					
e. For large townhouse projects (e.g. master planned communities with internal circulation pattern), Guidelines 3.1.1.a-d apply for	✓					

units facing strata roads as well as those units fronting onto public streets.						
3.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Wherever possible, reflect the positive attributes of adjacent housing while integrating new higher density forms of housing as envisioned in the OCP.				✓		
b. Scale and site buildings to establish consistent rhythm along the street by, for example, articulating individual units through integration of recessed entries, balconies, a change in materials and slight projection/recess in the façade.				✓		
c. Limit the number of connected townhouse units to a maximum of 6 units before splitting into multiple buildings. <ul style="list-style-type: none"> In larger townhouse developments (e.g., master planned communities with internal circulation pattern), integrate a large proportion of 4 unit townhouse buildings to create a finer gran of development and limit visual impacts. 						✓
3.1.3 Site Planning	N/A	1	2	3	4	5
a. Gated or walled communities are not supported.	✓					
b. For large townhouse projects, consider including communal amenity buildings.	✓					
Connectivity						
c. Provide pedestrian pathways on site to connect: <ul style="list-style-type: none"> Main building entrances to public sidewalks and open spaces; Visitor parking areas to building entrances; From the site to adjacent pedestrian/trail/cycling networks (where applicable). 					✓	
d. When pedestrian connections are provided on site, frame them with an active edge – with entrances and windows facing the path or lane.					✓	
e. For large townhouse projects (e.g. master planned communities with internal circulation pattern): <ul style="list-style-type: none"> Design the internal circulation pattern to be integrated with and connected to the existing and planned public street network. 	✓					
Facing Distances and Setbacks						
f. Locate and design buildings to maintain access to sunlight, and reduce overlook between buildings and neighbouring properties.				✓		
g. Separate facing buildings on site a minimum of 10 – 12 m to provide ample spatial separation and access to sunlight.				✓		
h. Limit building element projections, such as balconies, into setback areas, streets, and amenity areas to protect solar access.	✓					
i. Front yard setbacks on internal roads should respond to the height of townhouses, with taller townhouses (e.g. 3 storeys) having greater setbacks to improve liveability and solar access.				✓		
3.1.4 Open Spaces						
a. Design all units to have easy access to useable private or semi-private outdoor amenity space.						✓

b. Design front yards to include a path from the fronting street to the primary entry, landscaping, and semi-private outdoor amenity space.						✓
c. Avoid a 'rear yard' condition with undeveloped frontages along streets and open spaces.					✓	
d. Design private outdoor amenity spaces to: <ul style="list-style-type: none"> • Have access to sunlight; • Have railing and/or fencing to help increase privacy; and • Have landscaped areas to soften the interface with the street or open spaces/ 						✓
e. Design front patios to: <ul style="list-style-type: none"> • Provide an entrance to the unit; and • Be raised a minimum of 0.6 m and a maximum of 1.2 m to create a semi-private transition zone. 	✓					
f. Design rooftop patios to: <ul style="list-style-type: none"> • Have parapets with railings; • Minimize direct sight lines into nearby units; and • Have access away from primary facades. 	✓					
g. Design balconies to be inset or partially inset to offer privacy and shelter, reduce building bulk, and minimize shadowing. <ul style="list-style-type: none"> • Consider using balcony strategies to reduce the significant potential for heat loss through thermal bridge connections which could impact energy performance. 	✓					
h. Provide a minimum of 10% of the total site area to common outdoor amenity spaces that: <ul style="list-style-type: none"> • Incorporate landscaping, seating, play space, and other elements that encourage gathering or recreation; and • Avoid isolated, irregularly shaped areas or areas impacted by parking, mechanical equipment, or servicing areas. 						✓
i. For large townhouse projects, provide generous shared outdoor amenity spaces integrating play spaces, gardening, storm water and other ecological features, pedestrian circulation, communal amenity buildings, and other communal uses.	✓					
j. Design internal roadways to serve as additional shared space (e.g. vehicle access, pedestrian access, open space) using strategies such as: <ul style="list-style-type: none"> • High quality pavement materials (e.g. permeable pavers); and • Providing useable spaces for sitting, gathering and playing. 	✓					
3.1.5 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Provide landscaping in strategic locations throughout to frame building entrances, soften edges, screen parking garages, and break up long facades.						✓
Site Servicing						
b. Exceptions for locating waste collection out of public view can be made for well-designed waste collection systems such as Molok bins.						✓
Parking						

c. Rear-access garage or integrated tuck under parking is preferred in townhouses, in general, and is required for townhouses facing public streets.						✓
d. Centralized parking areas that eliminate the need to integrate parking into individual units are supported.	✓					
e. Front garages and driveway parking are acceptable in townhouses facing internal strata roads, with the following considerations: <ul style="list-style-type: none"> • Architecturally integrate the parking into the building and provide weather protection to building entries; and • Design garage doors to limit visual impact, using strategies such as recessing the garage from the rest of the façade. 	✓					
f. Provide visitor parking in accessible locations throughout the site and provide pedestrian connections from visitor parking to townhouse units. Acceptable locations include: <ul style="list-style-type: none"> • Distributed through the site adjacent to townhouse blocks; and • Centralized parking, including integration with shared outdoor amenity space 						✓
Access						
g. Ensure that internal circulation for vehicles is designed to accommodate necessary turning radii and provides for logical and safe access and egress.						✓
h. For large townhouse projects (e.g. master planned communities with internal circulation pattern), a minimum of two access/egress points to the site is desired.	✓					
i. Locate access points to minimize impacts of headlights on building interiors.					✓	
j. Design the internal circulation pattern and pedestrian open space network to be integrated with and connected to the existing and planned public street and open space network.					✓	
3.1.6 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
a. Design facades to articulate the individual units while reflecting positive attributes of neighbourhood character. Strategies for achieving this include: <ul style="list-style-type: none"> • Recessing or projecting facades to highlight the identity of individual units; and • Using entrance features, roofline features, or other architectural elements. 						✓
b. To maximize integration with the existing neighbourhood, design infill townhouses to: <ul style="list-style-type: none"> • Incorporate design elements, proportions, and other characteristics found within the neighbourhood; and • Use durable, quality materials similar or complementary to those found within the neighbourhood. 			✓			
c. Maintain privacy of units on site and on adjacent properties by minimizing overlook and direct sight lines from the building using strategies such as:					✓	

<ul style="list-style-type: none"> • Off-setting the location of windows in facing walls and locating doors and patios to minimize privacy concerns from direct sight lines; • Use of clerestory windows; • Use of landscaping or screening; and • Use of setbacks and articulation of the building. 						
<p>d. In larger townhouse developments (e.g. master planned communities with internal circulation pattern), provide modest variation between different blocks of townhouse units, such as change in colour, materiality, building, and roof form.</p>	✓					



#1 - VIEW FROM HOMER ROAD - BUILDING #2

FOR PERMIT ONLY (NOT FOR TENDER)

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA. This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled. Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



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Revisions

No.	DATE	DESCRIPTION
1	2023-06-09	ISSUED FOR DP
2	2023-09-25	RE-ISSUED FOR DP

project title
Homer Road Townhomes

project address
250, 270, 280 Homer Road,
Kelowna

project no. 4212

drawing title
RENDERINGS

designed _____ scale _____
drawn _____ Author _____
checked _____ Checker _____

drawing no. **A9.01D**
plotted 26/09/2023 2:54:05 PM

ATTACHMENT C

This forms part of application
DP23-0212

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials **BC**



#1 - VIEW FROM HOMER ROAD (SW CORNER)



#2 - VIEW INTO PALAYGROUND & AMENITY SPACE



#3 - BUILDING #6 (NW CORNER)



#4 - VIEW FROM HOMER ROAD - BUILDING #1 (NE CORNER)

FOR PERMIT ONLY (NOT FOR TENDER)

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No.	DATE	DESCRIPTION
1	2023-06-09	ISSUED FOR DP
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ATTACHMENT C

This forms part of application # DP23-0212

Planner Initials BC

project title
Homer Road Townhomes

project address
250, 270, 280 Homer Road,
Kelowna

project no. **4212**

drawing title
RENDERINGS

designed Designed scale _____
drawn _____ Author _____
checked _____ Checker _____

drawing no. **A9.02D**
plotted 26/09/2023 2:54:06 PM



City of
Kelowna



DP23-0212
250, 270, 280 Homer Rd

Development Permit

Purpose

- ▶ To issue a Development Permit for the form and character of townhouse housing

Development Process



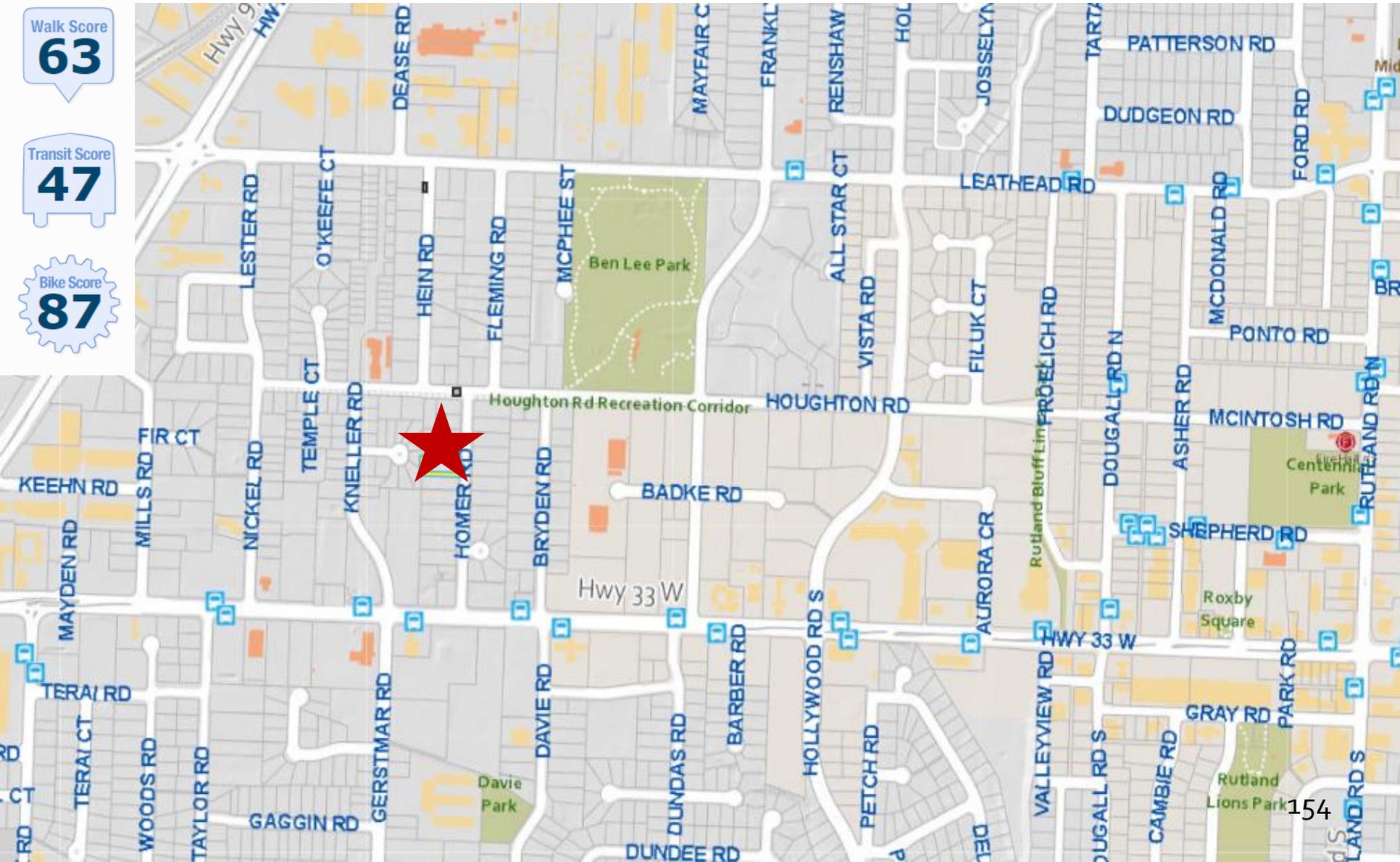
Context Map



Walk Score
63

Transit Score
47

Bike Score
87



Technical Details

- ▶ 6 ground-oriented townhouse buildings
 - ▶ 33 units
 - ▶ 3-bedroom
 - ▶ 71 parking stalls
 - ▶ 66 residential
 - ▶ 5 visitor – 3 accessible stalls
 - ▶ 8 short term bike stalls
- ▶ Common & Private Amenity Space
 - ▶ Playground
 - ▶ Central walkway & sitting area
 - ▶ Wrap-around pathway

Site Plan



Street Elevation Context



240 HOMER RD



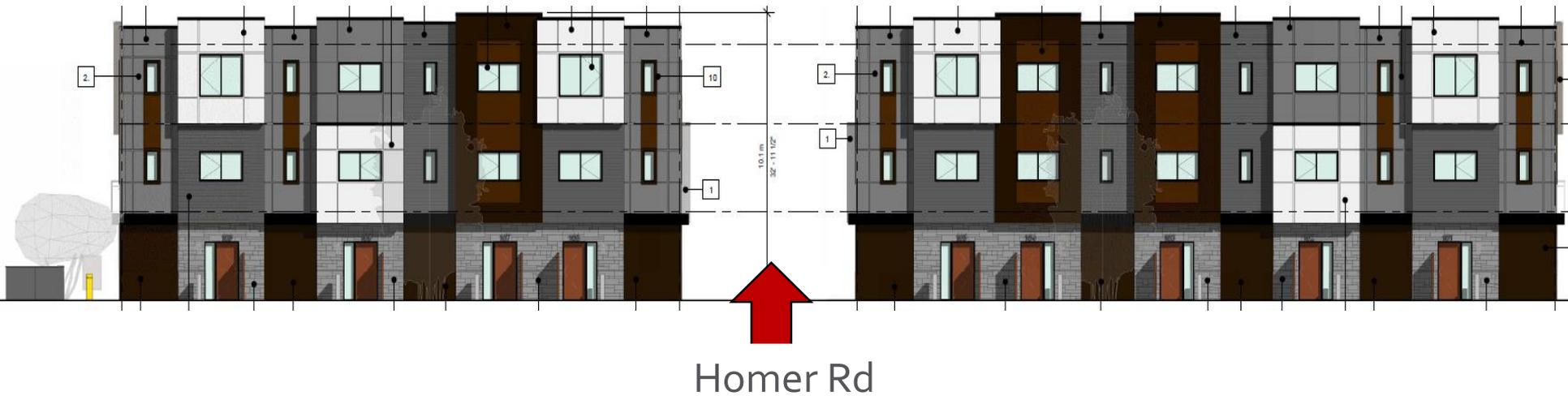
290 HOMER RD



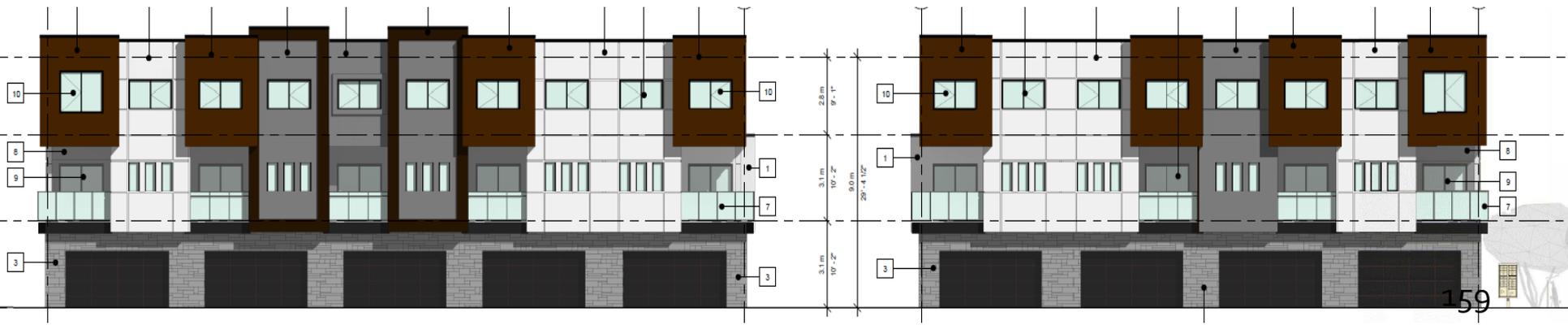
Homer Rd

Elevation – Building 1 & 2

East – Homer Rd



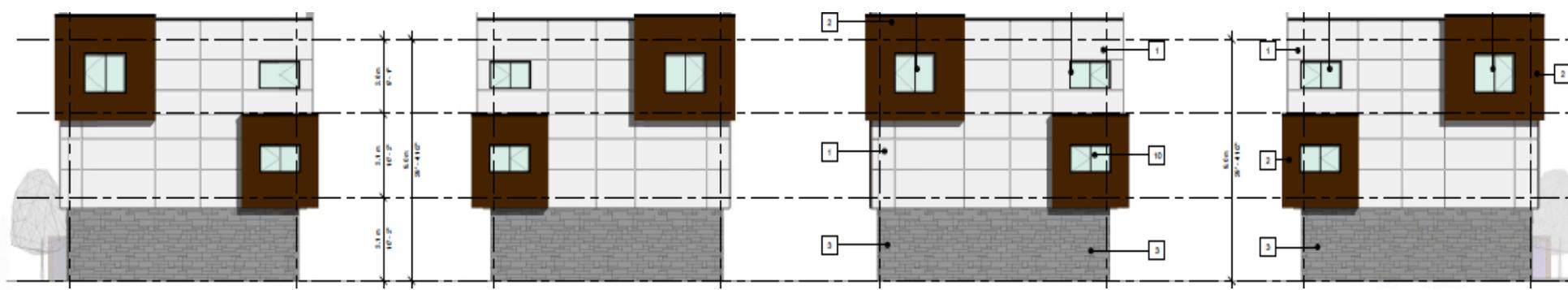
West



Elevation – Buildings 3, 4, 5 & 6



Side Elevations



Materials Board

PRODUCT: FIBRE CEMENT SIDING CW REVEAL
COLOUR & CODE: WHITE
I.D NUMBER: 1.



SAMPLE FOR COLOUR
PURPOSES ONLY

PRODUCT: FIBRE CEMENT LAP SIDING
COLOUR & CODE: IMITATION WOOD - BROWN
I.D NUMBER: 2.

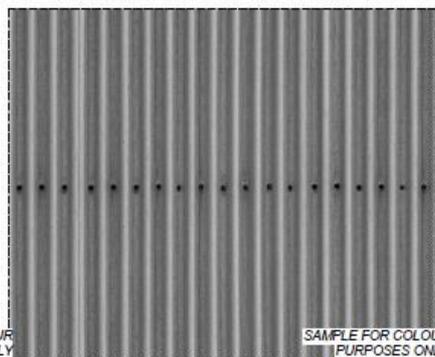


PRODUCT: STONE VENEER - ELDORADO STONE
COLOUR & CODE: GLACIAL BLACK
I.D NUMBER: 3.



SAMPLE FOR COLOUR
PURPOSES ONLY

PRODUCT: CORRUGATED METAL PANEL
COLOUR & CODE: SILVER
I.D NUMBER: 4.



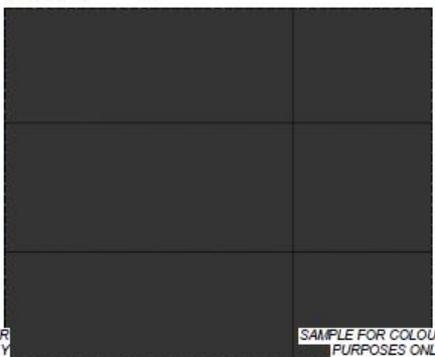
SAMPLE FOR COLOUR
PURPOSES ONLY

PRODUCT: FIBRE CEMENT SIDING
COLOUR & CODE: DARK BROWN
I.D NUMBER: 5.



SAMPLE FOR COLOUR
PURPOSES ONLY

PRODUCT: FIBRE CEMENT SIDING CW REVEAL
COLOUR & CODE: IRON GREY / BLACK
I.D NUMBER: 6.



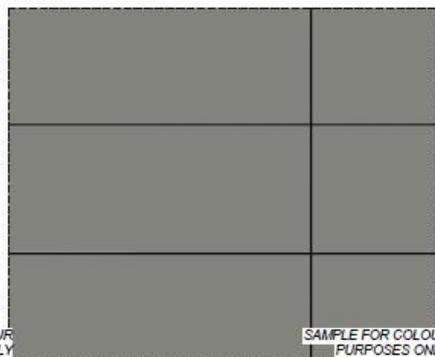
SAMPLE FOR COLOUR
PURPOSES ONLY

PRODUCT: GLASS RAILING
COLOUR & CODE: BLACK GALV. ALU POSTS W/TRANSP. GLASS
I.D NUMBER: 7.



SAMPLE FOR COLOUR
PURPOSES ONLY

PRODUCT: FIBRE CEMENT SIDING CW REVEAL
COLOUR & CODE: LIGHT GREY
I.D NUMBER: 8.



SAMPLE FOR COLOUR
PURPOSES ONLY

PRODUCT: VINYL SLIDING DOOR
COLOUR & CODE: CLEAR GLASS; BLACK FRAME
I.D NUMBER: 9.



SAMPLE FOR COLOUR
PURPOSES ONLY

PRODUCT: VINYL WINDOW
COLOUR & CODE: CLEAR GLASS; BLACK FRAME
I.D NUMBER: 10.



SAMPLE FOR COLOUR
PURPOSES ONLY

PRODUCT: LOOP - 2 SPACE BIKE RACK
COLOUR & CODE: BLACK
I.D NUMBER: 11.



SAMPLE FOR COLOUR
PURPOSES ONLY

PRODUCT: MOLOK GARBAGE GARBAGE CONTAINERS
COLOUR & CODE: AS PER MANUFACTURER
I.D NUMBER: 12.



SAMPLE FOR COLOUR
PURPOSES ONLY

Rendering – East – Homer Rd



Rendering – West - Playground



OCP Design Guidelines

- ▶ Ground oriented units with primary building façades and individual entrances to the street
- ▶ Range of architectural features & varied materials to distinguish between floors
- ▶ Easy access to useable common, semi-private & private outdoor amenity spaces

Staff Recommendation

- ▶ Staff recommend **support** for the proposed development permit as it:
 - ▶ Generally meets OCP Design Guidelines
 - ▶ No variances

REPORT TO COUNCIL DEVELOPMENT PERMIT



Date: April 8, 2024
To: Council
From: City Manager
Address: 940 – 1070 Frost Rd
File No.: DP24-0019
Zone: VC1 – Village Centre

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP24-0019 for Lot A District Lot 579 SDYD Plan EPP127116, located at 940 – 1070 Frost Rd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Permit for the form and character of a commercial development.

3.0 Development Planning

Development Planning recommends support for the Development Permit of a commercial building located in the Ponds Village Centre. The proposal is consistent with key form and character design guidelines in the 2040 Official Community Plan (OCP) and Village Centre, including:

- Design buildings such that their form and architectural character reflect the building's internal function and use;
- Design the façade of buildings with multiple storefronts so that each is defined through individual signage, entrances, canopies and/or materiality; and
- Base new development on an internal circulation pattern that allows logical movement throughout the site and that will accommodate, and not preclude, intensification over time.

This proposal is for phase three of the Ponds Village Centre containing a single commercial building that would contain roughly 513 m² of commercial space. Parking is provided in previous phases which exceeds bylaw requirements for the overall site. The Landscape Plan indicates that there will be three large on-site trees along the public street, complemented by shrubs and grasses. The primary building finish includes a variety of materials and colours honoring the earthy tones of the hillside and the trestles in the area.

4.0 Subject Property & Background

4.1 Subject Property Map



The subject property is part of The Ponds neighbourhood in the Upper Mission. It is located on the north side of Frost Rd between Gordon Dr and Steele Rd. Canyon Falls Middle School is 300 m to the east. Transit stops are located on Gordon Dr approximately 300 m to the west.

Background

On August 22, 2022, Council authorized a Form & Character Development Permit for Phase One of the commercial development on the same parcel. Phase One included 7,773 m² of commercial space. On May 8, 2023, Phase Two was authorized by Council which included an additional 3340 m² of commercial space.

Zoning Bylaw Regulations Summary

AREA & UNIT STATISTICS	
Gross Lot Area	46,160 m ²
Gross Lot Area (Phase 3)	763 m ²
Net Commercial Floor Area (Phase 3)	513 m ²

DEVELOPMENT REGULATIONS		
CRITERIA	VC1 ZONE	PROPOSAL
Maximum Floor Area Ratio	1.5	0.2
Max. Site Coverage (buildings)	75%	31%
Max. Site Coverage (buildings, parking, driveways)	85%	76%
Maximum Height (Phase 3)	18 m	7.6 m
Setbacks		
Min. Front Yard	3.0 m	3.0 m
Min. Side Yard	3.0 m	> 3.0 m
Min. Side Yard	3.0 m	> 3.0 m
Min. Rear Yard	3.0 m	> 3.0 m
Landscaping		
Min. Number of Trees (Phase 3)	3 trees	3 trees
Min. Large Trees (Phase 3)	2 trees	3 trees

PARKING REGULATIONS		
CRITERIA	VC1 ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	271 stalls	342 stalls
Ratio of Regular to Small Stalls	Min. 70% Regular Max. 30% Small	100% Regular 0% Small
Min. Loading Stalls	5 stalls	7 stalls
Bicycle Stalls Short-Term	26 stalls	26 stalls
Bicycle Stalls Long-Term	19 stalls	20 stalls

5.0 Application Chronology

Application Accepted: January 16, 2024

Report prepared by: Jason Issler, Planner I
Reviewed by: Jocelyn Black, Urban Planning Manager
Reviewed by: Nola Kilmartin, Development Planning Department Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning, Climate Action & Development Services

Attachments:

- Attachment A: Draft Development Permit DP24-0019
 - Schedule A: Site Plan & Floor Plans
 - Schedule B: Elevations & Sections
 - Schedule C: Landscape Plan
- Attachment B: OCP Form and Character Development Permit Guidelines
- Attachment C: Applicant’s Letter of Rationale

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

Development Permit

DP24-0019



This permit relates to land in the City of Kelowna municipally known as

940 – 1070 Frost Road

and legally known as

Lot A District Lot 579 SDYD Plan EPP127116

and permits the land to be used for the following development:

Retail

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval: **April 8, 2024**

Development Permit Area: Form & Character

Existing Zone: VC1 – Village Centre

Future Land Use Designation: VC – Village Centre

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 0954654 BC Ltd., Inc. No. BC0954654

Applicant: Callahan Property Group Ltd.

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP24-0019 for Lot A District Lot 579 SDYD Plan EPP127116, located at 940 – 1070 Frost Road, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$23,043.75**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

SCHEDULE A

This forms part of application
DP24-0019



City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials **JJ**

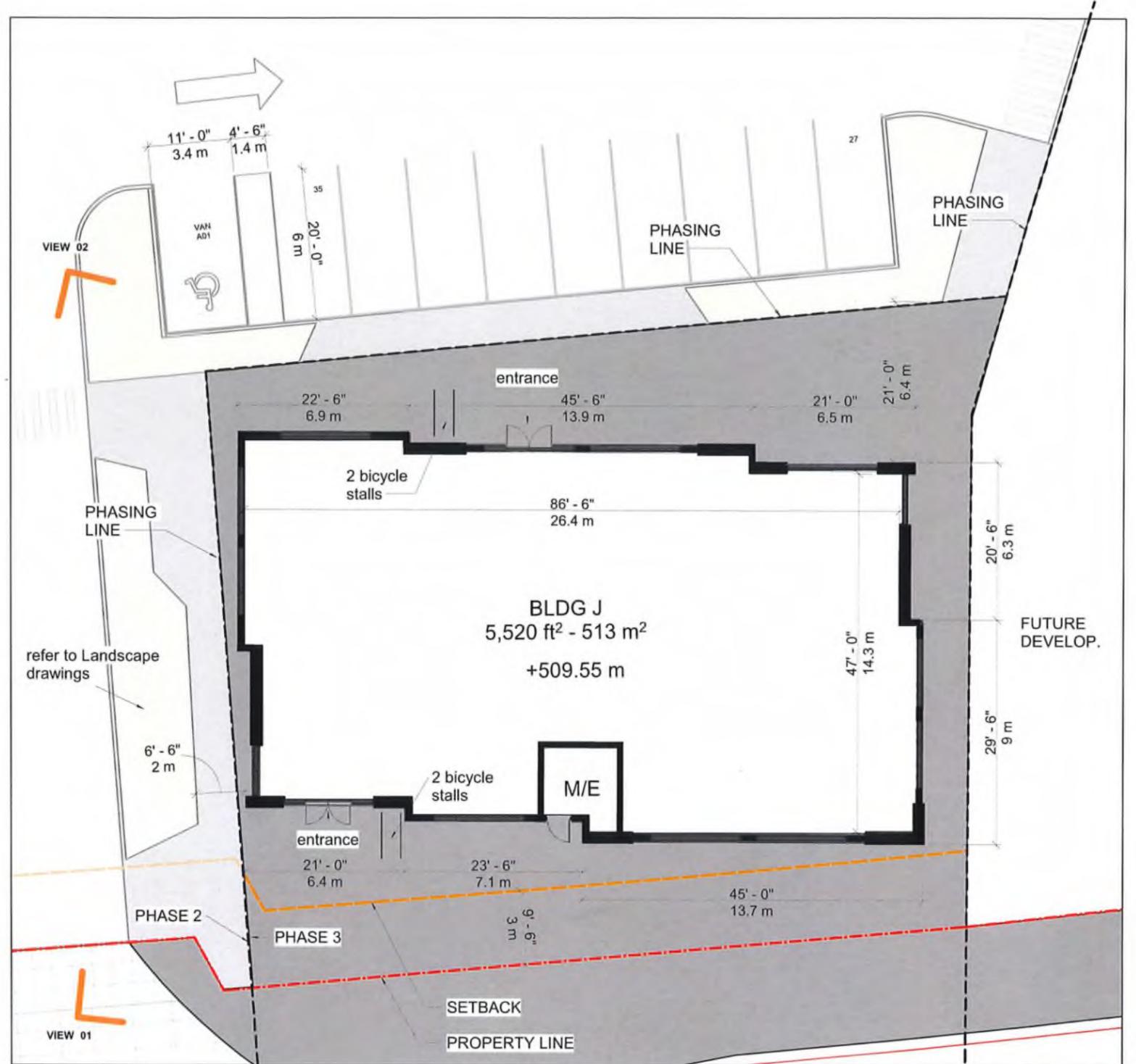




VIEW 01



VIEW 02



BLDG J - FLOOR PLAN
SCALE: 1/8" = 1'-0"

SCHEDULE A

This forms part of application
DP24-0019

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

PRINCIPALS

Christopher Block
M.Arch, Architect AIBC, AIA,
SAA, OAA, LEED AP BD+C

Manuel S. Preskow
CRX, CCP

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• office@cs.ca

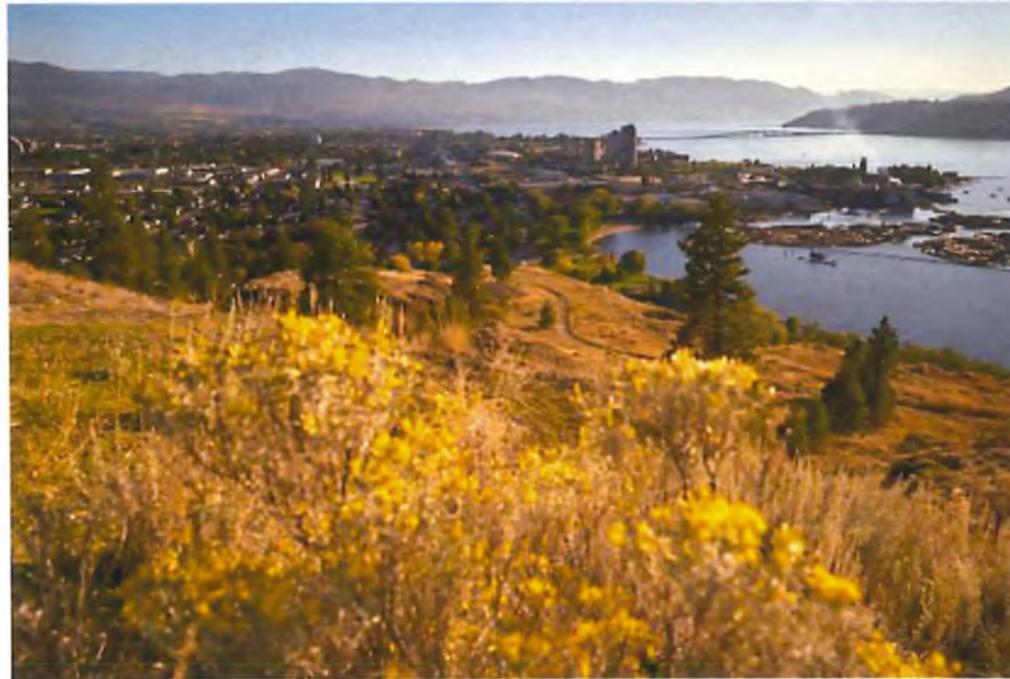
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LOCAL IDENTITY - MATERIALS & CHARACTER

The creation of successful cultural landmarks require recognition of existing natural beauty combined with visionary placemaking.

SCHEDULE B
 This forms part of application
 # DP24-0019
 City of Kelowna
 DEVELOPMENT PLANNING
 Planner Initials **Jl**



OKANAGAN LAKE



MYRA CANYON TRAIL



9c - WEATHERING STEEL - CORTEN



5b - SAND STUCCO GREY



2c - FIBRE CEMENT PANEL SIDING



3a - DRYSTACK STONE



2b - "WOOD" COMPOSITE PLANKS



MAIN ST KELOWNA, 1909



WOOD COMPOSITE PLANKS



WEATHERING STEEL CORTEN



FIBER CEMENT

PRINCIPALS

Christopher Black
 LEED AP, Architect ABC, AAA,
 SAA, OAA, LEED AP BD+C

Marcel S. Prochiv
 CRP, CDP

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COMMERCIAL DEVELOPMENT SITE

088 East Road, Kelowna, BC

MATERIAL BOARD

PROJECT No: 22005
 DATE: JAN 9th, 2024



Keynote Legend - MATERIALS CLADDING	
Key Value	MATERIALS
2b	WOOD LOOK COMPOSITE PLANKS, VERTICAL - NEWTECHWOOD, UH58 BELGIAN CLADDING SILVER GREY
2c	FIBER CEMENT PANEL SIDING, VERTICAL - CONCRETE FOG GREY
3a	NATURAL STONE, DRYSTACK - BEIGE
5b	STUCCO PAINT - BM ASHLEY GREY HC-87
5d	STUCCO PAINT - LIGHT GREY
6a	CMU BLOCK - CHARCOAL (SMOOTH FACE) WITH PRE-CAST CONCRETE CAP/ FLASHING
7a	PRE-FINISHED METAL & GLASS CANOPY, PAINTED - BLACK
7i	WEATHERING STEEL PANELS - CORTEN
8a	CLEAR GLAZING IN ALUMINUM FRAME - CHARCOAL
8c	SPANDREL GLASS - #3-0770 WARM GRAY

SCHEDULE B

This forms part of application # DP24-0019

Planner Initials **JL**

City of Kelowna
DEVELOPMENT PLANNING

PRINCIPALS

Christopher Block
M Arch, Architect ABC, AAA,
SAA, OAA, LEED AP BD+C

Mauro S. Presbitero
CRK, COP

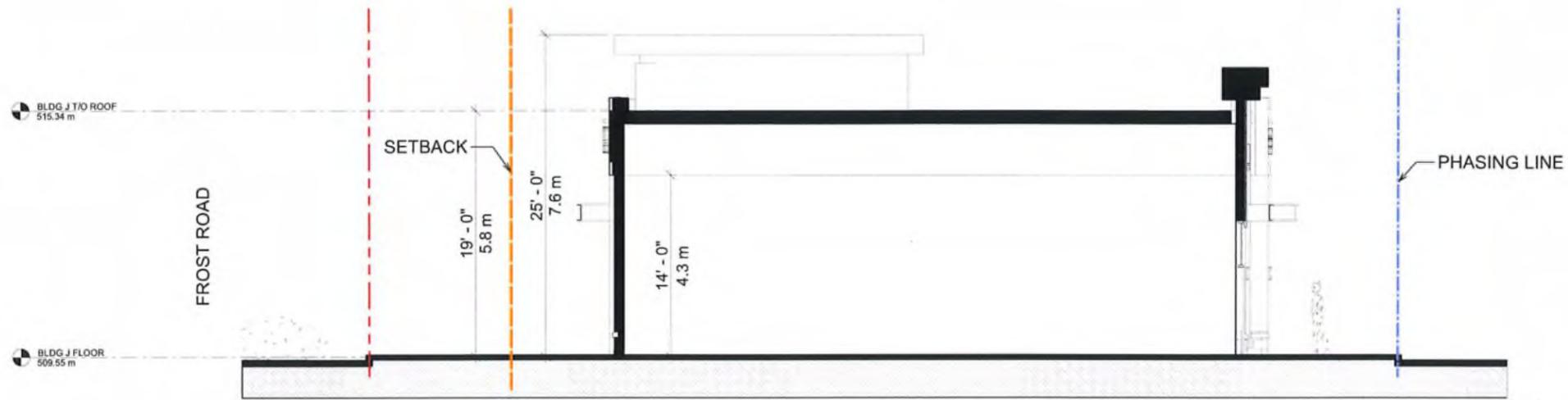
ADDRESS

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Vancouver, BC Canada V6C 2D8

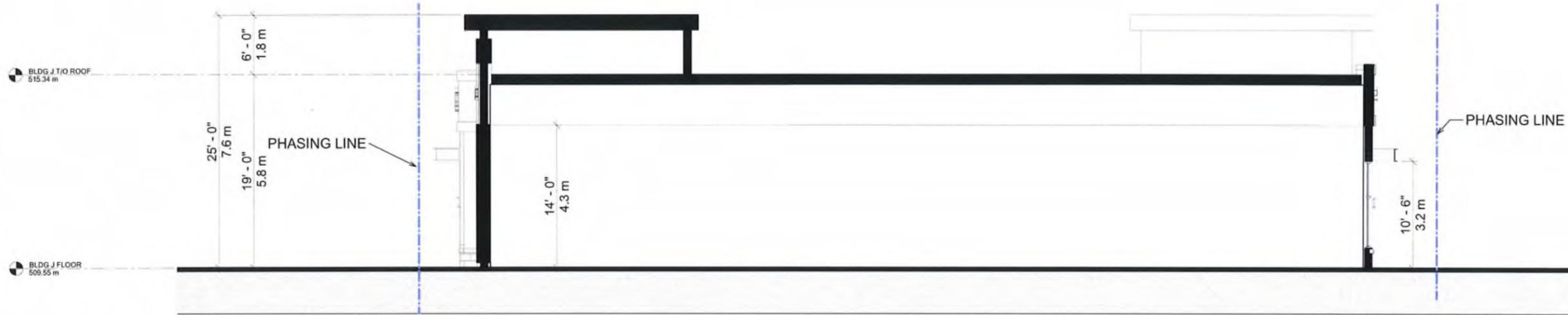
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BLDG J Section 1
SCALE: 3/16" = 1'-0"



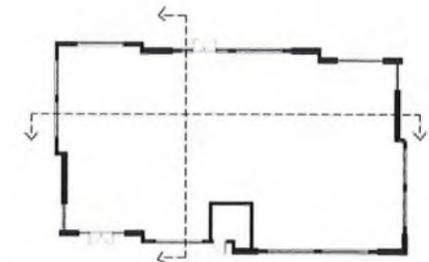
BLDG J Section 2
SCALE: 3/16" = 1'-0"

SCHEDULE B

This forms part of application
DP24-0019

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING



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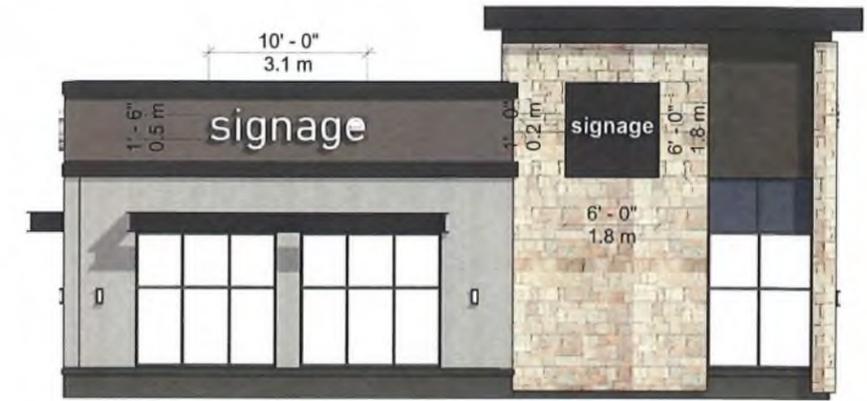
Signage SJ1-SJ2
 Business Frontage = 13.1 m
 Proposed Signage Area: $2.7 \times 0.6 = 1.60\text{m}$, $3.0 \times 0.5 = 1.50 = 3.10 \text{ sqm}$
 Allowed Max: 4.0 sqm

Signage SJ3-SJ4
 Business Frontage = 14.1 m
 Proposed Signage Area: $3.1 \times 0.6 = 1.86$, $3.1 \times 0.5 = 1.55 = 3.41 \text{ sqm}$
 Allowed Max: 4.0 sqm

Signage SJ5-SJ6
 Business Frontage = 15 m
 Proposed Signage Area: $3.1 \times 0.5 = 1.55 = 1.6 \times 0.2 = 0.32 = 1.92 \text{ sqm}$
 Allowed Max: 4.0 sqm



BLDG J - NORTH ELEV
 SCALE: 3/16" = 1'-0"



BLDG J - NORTH SIGNAGE
 SCALE: 3/16" = 1'-0"

SCHEDULE B

This forms part of application
 # DP24-0019

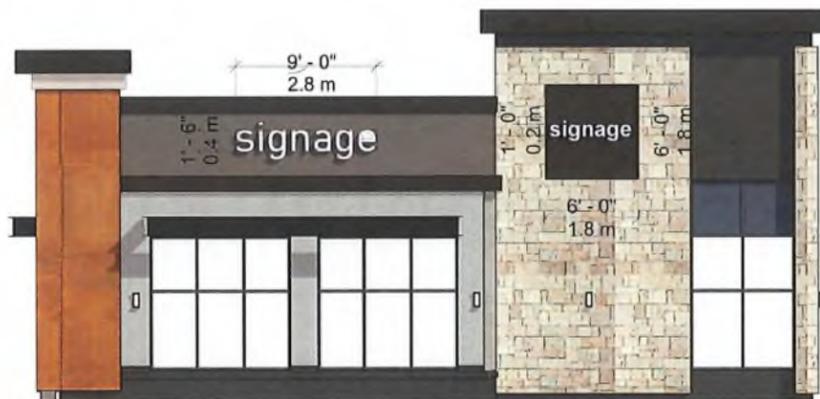
Planner Initials **JL**



Signage SJ7-SJ8
 Business Frontage = 15.2
 Proposed Signage Area: $2.8 \times 0.4 = 1.12$, $1.6 \times 0.3 = 0.48\text{m} = 1.6 \text{ sqm}$
 Allowed Max: 4.0 sqm

Signage SJ9-SJ10
 Business Frontage = 13.6 m
 Proposed Signage Area: $2.3 \times 0.3 = .69$, $3.1 \times 0.5 = 1.55 = 2.24 \text{ sqm}$
 Allowed Max: 4.0 sqm

Signage SJ11-SJ12
 Business Frontage = 13.8 m
 Proposed Signage Area: $3.0 \times 0.4 = 1.2 \times 2 = 2.4 \text{ sqm}$
 Allowed Max: 4.0 sqm



BLDG J - SOUTH SIGNAGE
 SCALE: 3/16" = 1'-0"



BLDG J - WEST SIGNAGE
 SCALE: 3/16" = 1'-0"

PRINCIPALS

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PHASE 2

PHASE 2



LEGEND

- PROPOSED TREES
- PROPERTY LINE
- PHASE LINE
- SETBACK LINE
- CONCRETE PAVING (BY OTHERS)
- COMPACT GRAVEL PATHWAY
- ROCK MULCH
- SHRUB PLANTING
- PERENNIAL & ORNAMENTAL GRASS PLANTING
- ROOT BARRIER
- HDR
- HEADERBOARD

PLANT LIST

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
Trees - Deciduous				
3*	<i>Cercidiphyllum japonicum</i>	Katsura Tree	60m Cal	B&B
Shrubs				
	<i>Cornus alba 'Alba'</i>	White Dogwood	#02	Potted
	<i>Rhus aromatica 'Gro-Low'</i>	Fragrant Sumac	#02	Potted
	<i>Salix purpurea 'Wang'</i>	Purple Willow	#02	Potted
	<i>Syringa meyeri 'Palibin'</i>	Deerf Korean Lilac	#02	Potted
Ornamental Grasses				
	<i>Calamagrostis x acutiflora 'Dorland'</i>	Variagated Reed Grass	#01	Potted
	<i>Helictotrichon sempiternum</i>	Blue Oat Grass	#01	Potted
	<i>Panicum ornamental 'Karley Rose'</i>	Karley Rose Oriental Fountain Grass	#01	Potted
Perennials				
	<i>Aster x hybrid 'Monet'</i>	Friar's Aster	#01	Potted
	<i>Nepeta x 'Fassen's' 'Walker's Line'</i>	Walker's Low Catmint	#01	Potted
	<i>Perovskia atriplicifolia</i>	Russian Sage	#01	Potted

* - Cost Byline for 12075 Required Tree

SCHEDULE C

This forms part of application # DP24-0019

Planner Initials **JL**

- NOTES:**
- THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.
 - ALL PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE MINIMUM STANDARDS SET OUT IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
 - ALL PLANTING BEDS SHALL TO RECEIVE 50mm OF ROCK MULCH UNLESS OTHERWISE NOTED.
 - ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM.
 - SOIL DEPTH TO BE AS FOLLOWS:
LAWN AREAS 150mm MIN
SHRUB AREAS 450mm MIN
TREES 1000mm MIN UNLESS OTHERWISE NOTED.



NORTH

SCALE: 1 : 100

NO.	DESCRIPTION	DATE
0	ISSUED FOR DEVELOPMENT PERMIT	2024-01-11

LEGEND:
 LOW WATER REQUIREMENTS
 MEDIUM WATER REQUIREMENTS



SCHEDULE C

This forms part of application # DP24-0019

Planner Initials **Jl**



City of Kelowna
DEVELOPMENT PLANNING



ISSUED FOR:

NO.	DESCRIPTION	DATE

FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 6.0: RETAIL, COMMERCIAL AND INDUSTRIAL						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
6.1 General Guidelines						
6.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Orient the long side of each building to be parallel to the public street.					✓	
b. Locate entries to be visible and directly accessible from the public street.					✓	
c. For buildings fronting highways, entries can be located away from the street, as long as there is a direct pedestrian connection to the site.	✓					
d. Avoid blank walls adjacent to the highway, streets, walkways, parks, or other amenity spaces.						✓
6.1.2 Site Planning and Landscaping	N/A	1	2	3	4	5
a. Locate buildings to ensure good sight lines for vehicular and pedestrian traffic.						✓
b. Provide direct, safe, continuous, and clearly defined pedestrian access from public sidewalks, parking areas, and transit stops to building entrances.					✓	
c. Use large canopy trees to define the public realm (e.g. at the sidewalk and property edge facing the street)						✓
d. Distribute trees and landscaping throughout the site in order to: <ul style="list-style-type: none"> • Soften property edges facing the street; • Define internal roads, pedestrian routes, and open spaces; • Create pleasant pedestrian conditions; • Screen parking, loading, service, and utility areas; • Manage stormwater on-site; and • Break up large rows of parking by substituting a parking stall with a canopy tree in planter every 8-10 parking stalls; 					✓	
e. Provide on-site bio-retention facilities (e.g. bioswales, rain gardens) to collect, store and filter stormwater from parking areas.	✓					
f. Pedestrian pathways should provide clear sight lines and connect the following: <ul style="list-style-type: none"> • Parking areas to building entrances; • Main building entrances to public sidewalks (where applicable); • Main building entrances to transit stopes (where applicable); • Between buildings on adjacent lots. 						✓
g. Provide separation between vehicular routes (especially truck access/loading) and pedestrian routes on-site to avoid conflict and					✓	

distinguish pedestrian routes from driving surfaces by using varied paving treatments and/or raising walkways to curb level.						
h. Base new development on an internal circulation pattern that allows logical movement throughout the site and that will accommodate, and not preclude, intensification over time.						✓
6.1.3 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Design site accesses to provide the potential for future shared access with neighbours and to minimize curb cuts.						✓
b. Where practical, link access drives and parking lots of adjacent properties in order to allow for circulation of vehicles between sites.						✓
c. The preferred location for main parking areas is at the rear and/or side of the building. Avoid locating large parking areas between the building and the street.						✓
d. Where parking areas are visible from the street, screen them using strategies such as tree planting, berming, low walls, decorative fencing and/or hedging.	✓					
e. Break parking areas into smaller blocks defined by landscaping in order to minimize the amount of paved areas.						✓
f. Locate loading, utilities, mechanical equipment and garbage collection areas away from public view by: <ul style="list-style-type: none"> Integrating these facilities into the footprint of the building; or Screening using fencing, walls, and/or landscaping 						✓
g. Provide areas for temporary snow storage that do not conflict with site circulation, landscaping, and access to utility boxes. For example, by providing access via a lane away from public view.						✓
6.1.4 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
a. Avoid facing unarticulated facades to the street and use projections, recesses, arcades, awnings, color, and texture to improve the pedestrian experience						✓
b. Design primary entrances to face the street, exhibit design emphasis, and provide weather protection by means of canopy or recessed entry.					✓	
c. Design buildings such that their form and architectural character reflect the building's internal function and use (e.g. an industrial building, a large format retail mall).						✓
d. Design signage as an integral element of the building's façade and to be compatible in scale and design with the design, color and material of the building.						✓
e. Allow for brand identification where there are multiple buildings and uses on a site, but avoid individual corporate image, color, and signage back-lit signs from dominating the site.						✓
f. Locate, size and design ground-mounted signs to be oriented to pedestrians as opposed to vehicles.	✓					
g. Provide shielded, down lighting to provide security and ambient lighting while minimizing light pollution and spill over lighting into adjacent properties.	✓					

h. Provide weather protection at building entrances close to transit stops, and in areas with pedestrian amenities.			✓			
i. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.						✓
j. Use an integrated, consistent range of materials and colors and provide variety by, for example, using accent colors.						✓
6.2 Boutique Retail						
6.2.1 Relationship to the Street	N/A	1	2	3	4	5
a. Buildings on a corner parcel should orient frontages towards both streets is possible and included distinct architectural features, such as: <ul style="list-style-type: none"> • Special or decorative canopies; or • Bay windows, balconies, turrets, or articulated roof line features; or • A corner entrance. 	✓					
b. Avoid blank walls adjacent to the highway, streets, lanes, walkways, parks, or other amenity spaces.						✓
6.2.2 Site Planning and Landscaping	N/A	1	2	3	4	5
a. Provide site furnishings, such as seating, bike racks, and shelters at building entrances and amenity areas.						✓
6.2.2 Site Planning and Landscaping	N/A	1	2	3	4	5
a. Provide sheltered bicycle parking in visible and well-lit locations near building entrance and pedestrian walkways.	✓					
6.2.4 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
a. Design the façade of buildings with multiple storefronts so that each is defined through individual signage, entrances, canopies and/or materiality.						✓
b. Create transparent retail frontages with visual access to the interior of retail stores, and avoid the use of: <ul style="list-style-type: none"> • Materials such as black out advertising panels; • Dark and/or reflective glass 						✓

PHASE 3 DESIGN RATIONALE

INTRODUCTION

The proposed Phase 3 development is 763 m² in size and is located east of Phase 2, on Frost Road in the Ponds area of Upper Mission in Kelowna. The development is bounded by Phase 2, currently with an approved Development Permit, to the west and north, Frost Road to the south and by the remaining undeveloped property to the east.

The overall site is designated as a Village Centre and as such is designed to serve the immediate surrounding area, providing basic day to day services for the area and serves as a hub of activity for the surrounding community. The overall site plan offers a number of public spaces and plazas that provide a community amenity, creating small activity hubs and allows residents to travel shorter distances for day-to-day errands.

Strong visual references throughout the development - along the perimeter and within the development are critical in establishing this development as a “place maker” for the neighbourhood. The stylized wood trestle elements are a nod to the iconic train trestles in the outlying areas of Kelowna and have been integrated into the design of the buildings, signage and landscape to create repetitive elements that create a recognizable character for the site. Along with the use of red brick on most buildings, we have layered an historic patina on a modern design aesthetic to create a striking neighbourhood centre.

COLOURS AND MATERIALS

Materials and colours have been selected to create a rich and textured palette. Taking cues from the local environment, the colour palette is rich in natural earth tones from warm greys and blacks, through to ambers, taupes and reds. The materials used inherently provide much of the rendered colours – from the local brick, stone and timbers to coated metal panels and canopies.

PEDESTRIAN ORIENTED / CONNECTIVITY

This third phase of the proposed development continues the incorporation of fundamental qualities and characteristics required for a successful village retail development. The smaller individual retail buildings continue the natural pedestrian flow from the larger retail anchors in Phase 1, drawing patrons across the development from the first phase through to the third phase site. The retail units are designed to activate both the internal circulation system as well as along Frost Road, with ample glazing, a mix of materials and active entrances on all sides of the units. The following principles have been considered in the development that is going to be an extension of the second phase:

- Creation of an internal main pedestrian route, connected through entry points along Frost Road to the village centre where the smaller stores surround a central green space.
- The central green space is one of a series of enhanced “connection points” within the site, designed as areas for the public to meet, connect and rest while shopping or passing through the development.
- Large sidewalks and secondary plazas throughout the site create another level of public gathering areas that act as informal seating areas with benches and also can act as extension of patio areas associated with potential restaurant and café spaces.
- A localized internal vehicle circulation route provides access to all retail storefronts while remaining secondary to pedestrian routes.
- Strong visual connections throughout the site promote shoppers circulating through the development.
- All retail, restaurants and service uses are at grade
- Strategically locating landscape and street trees to maximize the pedestrian comfort

INTEGRATE NATURE

The overall plan integrates landscaping that reflects the surrounding natural environment and integrates an active green space in the centre of the village. Street trees along the perimeter of the site as well as trees within the site create a comfortable, well planted development. The landscape design reflects the natural environment through the use of indigenous trees, shrubs and grasses, along with the use of hard landscaping materials including benches and planters using local aggregate in the mix.

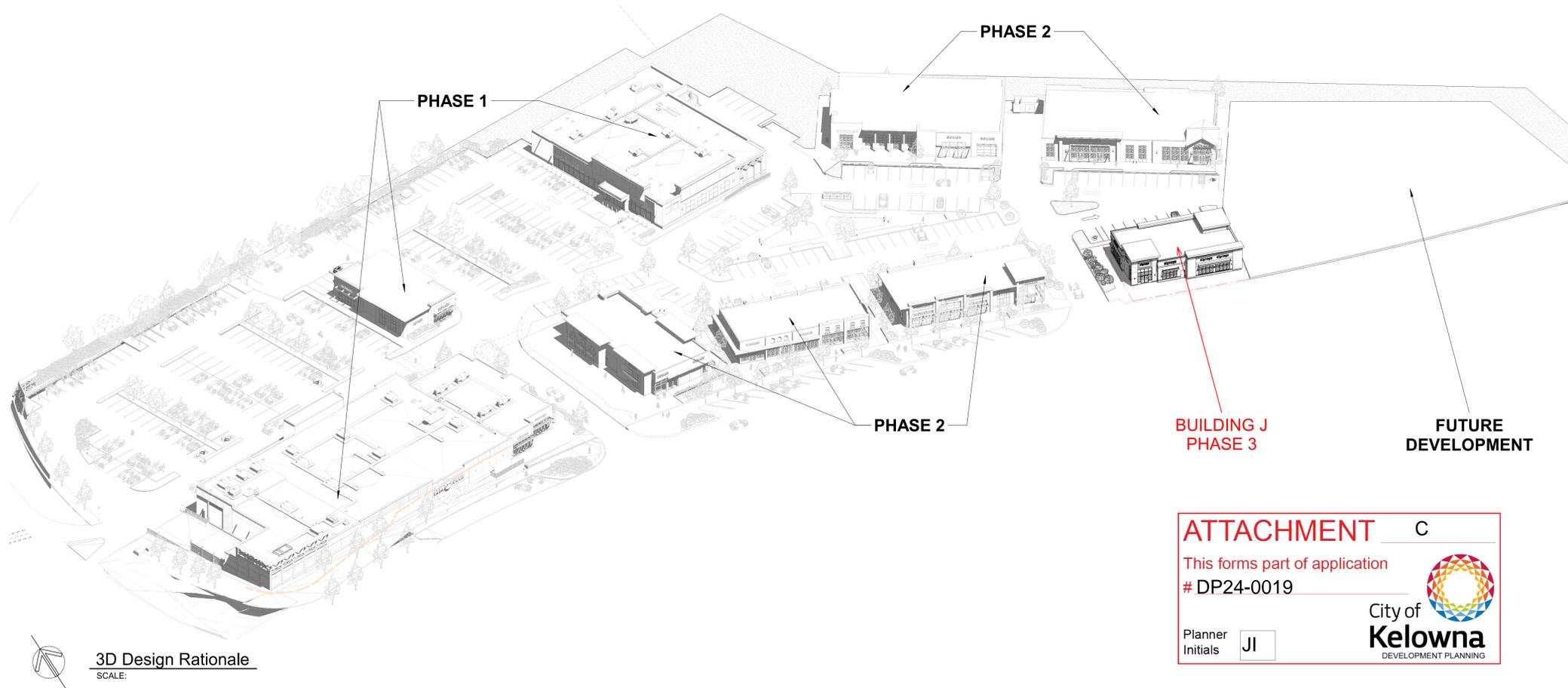
SOCIAL INTERACTION + CULTURAL / ARTISITIC EXPRESSION

The development integrates small-scale spaces where the public can experience and participate in local cultural programs, public events and performances. Opportunities for local art exist within these public spaces.

CPTED

CPTED principles are integrated into the design on all levels of the development from site layout, landscaping, lighting and individual building design. Considerations incorporated into the conceptual design include:

- View corridors throughout the development present long uninterrupted vistas
- Natural surveillance is maximized through visual connections to streets along the perimeter and through the development.
- Pathways with integrated landscaping will come with low plantings and high canopies to provide view corridors with no areas of concealment.
- Lighting levels will be appropriate, balancing security with comfort and ambience.
- Exterior building materials will be impact resistant and come with graffiti resistant finishes (texturing and coating)
- Buffer plantings will include a number of plants to discourage traffic through the buffer areas.
- Landscaping used to screen the parking areas will be designed to allow visibility from the streets offering a good level of surveillance for cars and pedestrians.
- Extensive glazing provides visibility and transparency and opportunities for “eyes on the street”.



3D Design Rationale
SCALE:

PRINCIPALS

Christopher Block
M Arch, Architect AIBC, AAA,
SAA, OAA, LEED AP BD+C

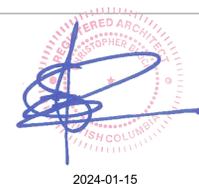
Marcel S. Proskow
CRX, CDP

ADDRESS

a The Marine Building
180, 355 Burrard St.
Vancouver, BC Canada V6C 2G8

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e office@c-8.ca
s www.c-8.ca

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City of
Kelowna

DP24-0019
940 – 1070 Frost Rd

Development Permit

Purpose

- ▶ To issue a Development Permit for the form and character of a commercial development.

Development Process

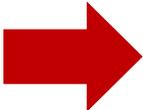


Jan 16, 2024

Development Application Submitted



Staff Review & Circulation



Apr 8, 2024

Development Permit



Council Approvals



Building Permit

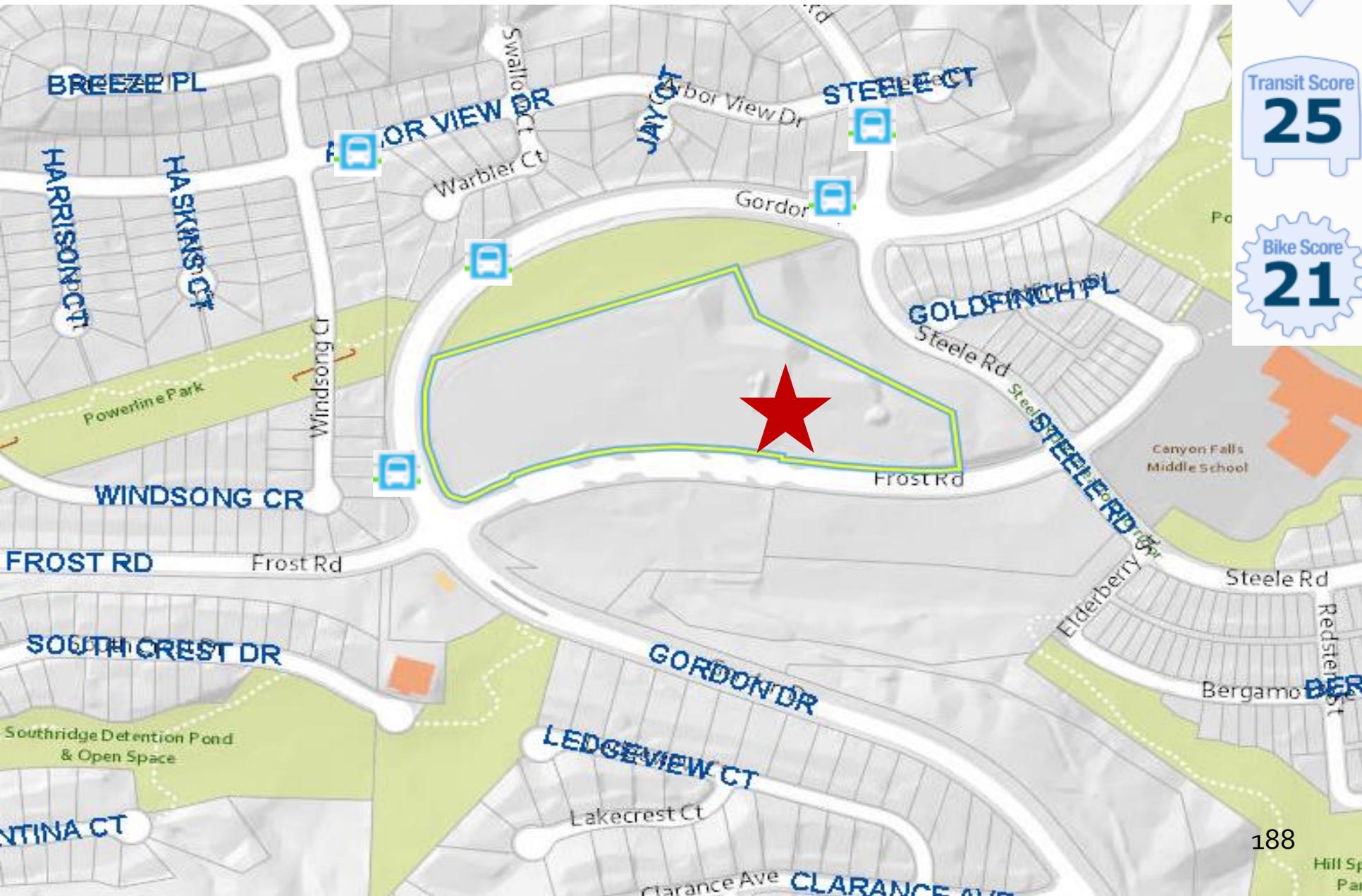
Context Map



Walk Score
7

Transit Score
25

Bike Score
21



188

Hill Sp
Pa

Subject Property Map



Technical Details

- ▶ Phase 3
- ▶ 1 Commercial Building
 - ▶ Single Storey
 - ▶ 513m² of commercial space
- ▶ Surface parking lot
 - ▶ 342 stalls on all three phases
- ▶ 3 Large Trees

Site Plan



Elevations



North Elev.



East Elev.



South Elev.

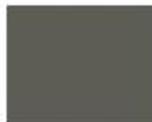


West Elev.

Materials Board



9c - WEATHERING
STEEL - CORTEN



5b - SAND STUCCO GREY



2c - FIBRE CEMENT
PANEL SIDING



3a - DRYSTACK STONE



2b - "WOOD"
COMPOSITE PLANKS

Landscape Plan



Rendering – NW



OCP Design Guidelines

- ▶ Design buildings to reflect internal function.
- ▶ Design façade with multiple storefronts through individual signage, entrances, and canopies.
- ▶ Base new development with logical movements to allow intensification over time.

Staff Recommendation

- ▶ Staff recommend **support** for the proposed development permit as it:
 - ▶ Meets majority of OCP Design Guidelines
 - ▶ Aligns with OCP Policy for the Ponds Village Centre

Report to Council



Date: April 8, 2024
To: Council
From: City Manager
Subject: Downtown Kelowna Association 2024 Budget
Department: Financial Services - Controller

Recommendation:

THAT Council approves the Downtown Kelowna Association 2024 Budget as attached to the report of the Revenue Supervisor dated April 8, 2024.

AND THAT Council approves the 2024 levy of \$1,263,741 on Class 5 and Class 6 properties located within the boundaries of the Kelowna Downtown Business Improvement Area.

Purpose:

To authorize the 2024 levy on Class 5 light industry and Class 6 business/other properties located within the Kelowna Downtown Business Improvement Area.

Background:

On October 16, 2023 Council approved the Kelowna Downtown Business Improvement Area Bylaw No. 12575. Bylaw No. 12575 established the local area (Schedule A) for the purpose of annually funding the activity of the Downtown Kelowna Association for a period of 5 years, 2024 to 2028. In the bylaw Council approved the Downtown Kelowna Association’s 2024 budget request of \$1,263,741 in order for the City to tax the affected properties within the improvement area boundary.

Discussion:

Attached is a copy of the 2023 Financial Statements as reviewed by KPMG LLP Chartered Professional Accountants, the Downtown Kelowna Association’s 2024 Budget, which includes the 2024 levy of \$1,263,741 and a list of the Board of Directors for 2023-2025 (Schedule D)

City of Kelowna staff have not participated in or assisted the Downtown Kelowna Association in preparation of their annual budget.

A representative from the Downtown Kelowna Association will be present at the Council meeting to answer any questions.

Conclusion:

It is recommended that Council approve the 2024 budget of \$1,263,741 as set out in Schedule B to be levied on the Class 5 and 6 properties included on Schedule A.

Considerations applicable to this report:

Legal/Statutory Authority:

Council may, by bylaw, grant money to a corporation or other organization that has, as one of its aims, functions or purposes, the planning and implementation of a business promotion scheme, with the establishment of a Business Improvement Area in accordance with Division 5 Section 215 of the Community Charter.

Kelowna Downtown Business Improvement Area Bylaw No. 12575

Legal/Statutory Procedural Requirements:

Council may, by bylaw, impose a parcel tax in accordance with Division 4 Section 200 of the Community Charter to provide all or part of the funding for a service.

Considerations not applicable to this report:

Existing Policy:

Financial/Budgetary Considerations:

Consultation and Engagement:

Submitted by:

Patrick Gramiak, Revenue Supervisor

Approved for inclusion: Joe Sass, Divisional Director, Financial Services

Attachments:

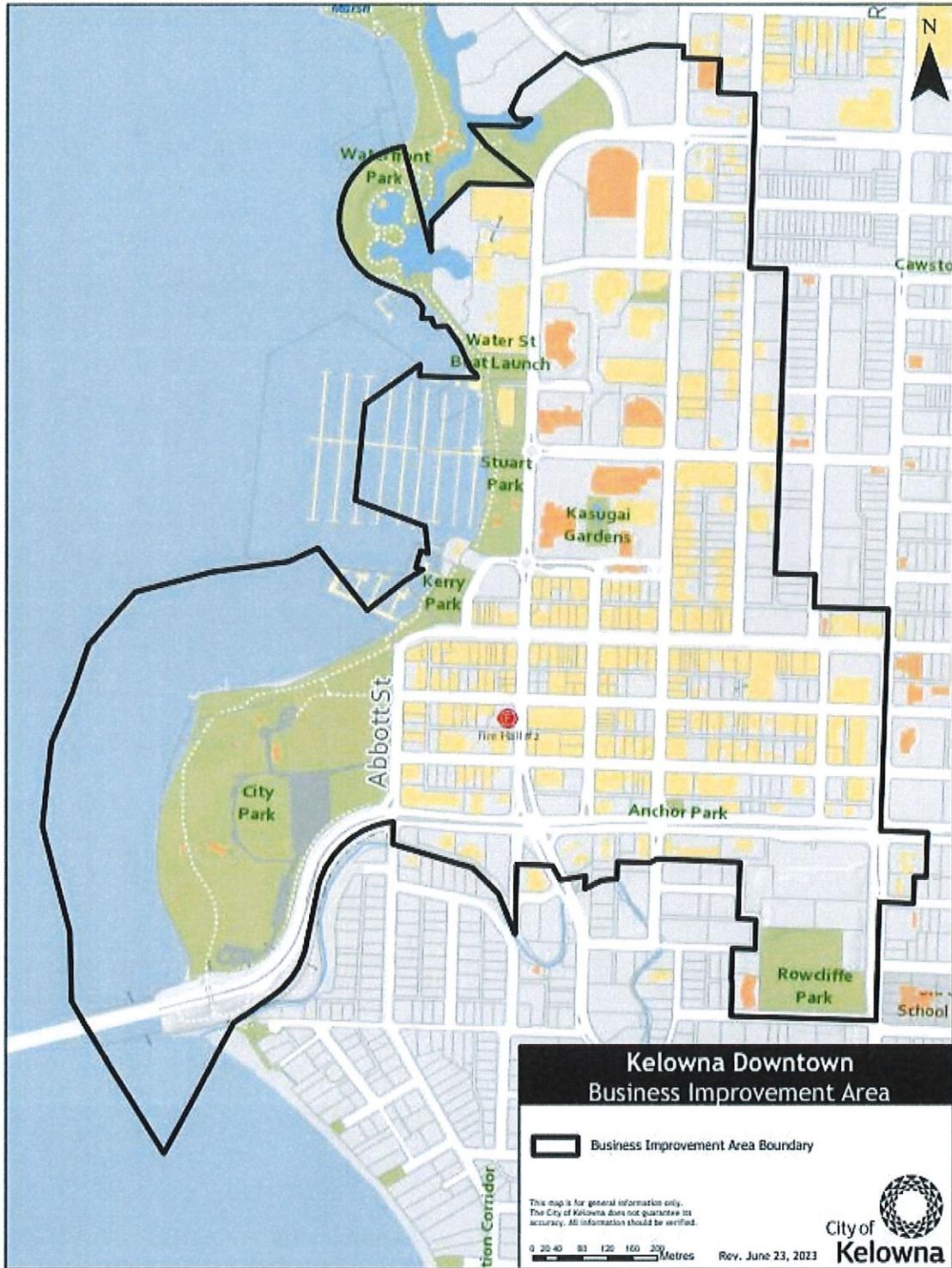
Schedule A – Kelowna Downtown Business Improvement Area Map

Schedule B – Downtown Kelowna Association 2024 Budget

Schedule C - Downtown Kelowna Association 2023 Financial Statements

Schedule D – List of Board of Directors

SCHEDULE A – Map



**DOWNTOWN KELOWNA BUSINESS IMPROVEMENT AREA SOCIETY
2024 BUDGET**

Revenue	2024 Budget	2023 Year End	2023 Budget
Membership Levy	1,263,741	1,148,954	1,148,954
Downtown On Call	100,000	100,000	100,000
Downtown Clean Team	96,000	85,844	96,000
Downtown Summer Team	25,200	20,718	24,800
Events - After 5	27,000	27,011	45,000
Events - Block Party	20,000	16,379	
Events - Winter Street Mkt	13,000	13,739	
Events - Show N' Shine	11,600	11,576	
Events - MMOB	5,000	5,111	
Events - Sunrise Social	-	838	
Recovery	-	348	
Other	-	45,159	-
	1,561,541	1,475,677.01	1,414,754
Expenses	2024 Budget	2023 Year End	2023 Budget
Amortization	-		
Business Recruitment	8,000	6,463	8,000
Clean Team	276,473	247,629	227,388
Communications	7,240	6,421	7,000
Downtown Summer Team	32,380	25,139	32,380
Downtown On Call	507,363	500,607	480,332
Events	153,000	137,484	98,600
Insurance	10,000	9,025	10,000
Interest on long term debt	-		-
Marketing and Promotions	94,895	54,808	79,190
Office and Administration	52,385	49,993	49,712
Professional Development	3,000	2,666	3,000
Professional Fees	20,500	22,755	24,800
Rent	63,300	59,347	51,816
Wages and Benefits	305,375	314,783	362,389
	1,533,911	1,437,121.25	1,434,607
			-
Excess/Loss of revenues over expenses	27,630	38,556	(19,853)
Net assets, beginning of Year	447,583	409,027	409,027
Net assests, end of Year		447,583	

Notes for Internal Use Only - Re: 2023

Levy
City funding for DOC
Funding \$60k, revenue shortfall from garage cleaning not c
Anticipated CSJ funding for 8 weeks
ALL EVENTS were in one category - split for 2024
Sponsorship and Pop Up Vendor fees

ICSC Conference
Over budget with new hire for equip maintenance
Full cost of summer students (5)
2023 DOC now at full staff
Increase in Event costs and Show N Shine
under budget for 2023, money moved to Events
On budget for 2023
BIABC Conference
Under budget for 2023 - 1 less contractor
Scheduled rent increase
Marketing position not replaced as of September

Financial Statements of

**KELOWNA DOWNTOWN BUSINESS
IMPROVEMENT AREA SOCIETY**
(OPERATING AS DOWNTOWN KELOWNA ASSOCIATION)

Year ended December 31, 2023



KPMG LLP
200-3200 Richter Street
Kelowna, BC V1W 5K9
Canada
Telephone (250) 979 7150
Fax (250) 763 0044

INDEPENDENT PRACTITIONER'S REVIEW ENGAGEMENT REPORT

To the Members of Kelowna Downtown Business Improvement Area Society

We have reviewed the accompanying financial statements of Kelowna Downtown Business Improvement Area Society (Operating as Downtown Kelowna Association), which comprise the statement of financial position as at December 31, 2023, the statement of operations, statement of changes in net assets and statement of cash flows for the year then ended, and notes, comprising a summary of significant accounting policies and other explanatory information.

Management's Responsibility for the Financial Statements

Management is responsible for the preparation and fair presentation of these financial statements in accordance with Canadian accounting standards for not-for-profit organizations, and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

Practitioner's Responsibility

Our responsibility is to express a conclusion on the accompanying financial statements based on our review. We conducted our review in accordance with Canadian generally accepted standards for review engagements, which require us to comply with relevant ethical requirements.

A review of financial statements in accordance with Canadian generally accepted standards for review engagements is a limited assurance engagement. The practitioner performs procedures, primarily consisting of making inquiries of management and others within the entity, as appropriate, and applying analytical procedures, and evaluates the evidence obtained.

The procedures performed in a review are substantially less in extent than, and vary in nature from, those performed in an audit conducted in accordance with Canadian generally accepted auditing standards. Accordingly, we do not express an audit opinion on these financial statements.



Page 2

Conclusion

Based on our review, nothing has come to our attention that causes us to believe that the financial statements do not present fairly, in all material respects, the financial position of Kelowna Downtown Business Improvement Area Society as at December 31, 2023, and its results of operations and its cash flows for the year then ended in accordance with Canadian accounting standards for not-for-profit organizations.

Report on other legal and regulatory requirements

As required by Section 117(1)(b) of the Societies Act (British Columbia), we are required to state whether these financial statements are prepared on a basis consistent with the basis on which the financial statements that related to the preceding period were prepared. Based on our review, nothing has come to our attention that causes us to believe that the significant accounting policies applied in preparing these financial statements have not been applied on a basis consistent with that of the preceding year.

KPMG LLP

Chartered Professional Accountants

Kelowna, Canada

February 29, 2024

KELOWNA DOWNTOWN BUSINESS IMPROVEMENT AREA SOCIETY

(OPERATING AS DOWNTOWN KELOWNA ASSOCIATION)

Statement of Financial Position

December 31, 2023, with comparative information for 2022

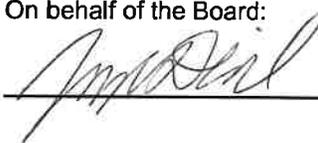
	2023	2022
Assets		
Current assets:		
Cash	\$ 227,419	\$ 187,740
Restricted cash and cash equivalents	44,054	42,910
Accounts receivable	5,943	4,547
Prepaid expenses	7,318	6,865
	<u>284,734</u>	<u>242,062</u>
Capital assets (note 2)	15,013	36,492
	<u>\$ 299,747</u>	<u>\$ 278,554</u>

Liabilities and Net Assets

Current liabilities:		
Accounts payable and accrued liabilities	\$ 50,070	\$ 40,949
Net assets:		
Invested in capital assets	15,013	36,492
Internally restricted	44,054	42,910
Unrestricted	190,610	158,203
	<u>249,677</u>	<u>237,605</u>
Commitments (note 4)		
	<u>\$ 299,747</u>	<u>\$ 278,554</u>

See accompanying notes to financial statements.

On behalf of the Board:



Director



Director

KELOWNA DOWNTOWN BUSINESS IMPROVEMENT AREA SOCIETY

(OPERATING AS DOWNTOWN KELOWNA ASSOCIATION)

Statement of Operations

Year ended December 31, 2023, with comparative information for 2022

	2023	2022
Revenue:		
Membership levy	\$ 1,148,954	\$ 1,137,572
Clean team	85,844	38,973
Downtown concierge	20,718	14,584
Downtown on call	100,000	70,000
Events	74,432	47,682
Other	45,159	1,202
	<u>1,475,107</u>	<u>1,310,013</u>
Expenses:		
Amortization	25,915	34,819
Business recruitment	6,463	8,277
Clean team	247,629	225,594
Communications	6,421	5,509
Downtown concierge	25,139	29,917
Downtown on call	500,607	482,055
Events	137,484	131,149
Insurance	9,025	9,163
Marketing and promotion	54,808	94,617
Office and administration	49,993	58,644
Professional development	2,666	5,774
Professional fees	22,755	19,499
Rent	59,347	49,071
Wages and benefits	314,783	327,317
	<u>1,463,035</u>	<u>1,481,405</u>
Excess (deficiency) of revenue over expenses	\$ 12,072	\$ (171,392)

See accompanying notes to financial statements.

KELOWNA DOWNTOWN BUSINESS IMPROVEMENT AREA SOCIETY

(OPERATING AS DOWNTOWN KELOWNA ASSOCIATION)

Statement of Changes in Net Assets

Year ended December 31, 2023, with comparative information for 2022

December 31, 2023	Invested in capital assets	Internally restricted	Unrestricted	Total
Net assets, beginning of year	\$ 36,492	\$ 42,910	\$ 158,203	\$ 237,605
Excess (deficiency) of revenue over expenses	(25,915)	1,144	36,843	12,072
Purchase of capital assets	4,436	-	(4,436)	-
Net assets, end of year	\$ 15,013	\$ 44,054	\$ 190,610	\$ 249,677

December 31, 2022	Invested in capital assets	Internally restricted	Unrestricted	Total
Net assets, beginning of year	\$ 69,185	\$ 42,637	\$ 297,175	\$ 408,997
Excess (deficiency) of revenue over expenses	(34,819)	273	(136,846)	(171,392)
Purchase of capital assets	2,126	-	(2,126)	-
Net assets, end of year	\$ 36,492	\$ 42,910	\$ 158,203	\$ 237,605

See accompanying notes to financial statements.

KELOWNA DOWNTOWN BUSINESS IMPROVEMENT AREA SOCIETY

(OPERATING AS DOWNTOWN KELOWNA ASSOCIATION)

Statement of Cash Flows

Year ended December 31, 2023, with comparative information for 2022

	2023	2022
Cash provided by (used in):		
Operating activities:		
Cash received from City of Kelowna	\$ 1,328,510	\$ 1,251,496
Cash received from other revenues	145,201	60,868
Cash paid to suppliers and employees	(1,428,452)	(1,452,723)
	45,259	(140,359)
Investing activities:		
Transfer to restricted cash and cash equivalents	(1,144)	(273)
Purchase of capital assets	(4,436)	(2,126)
	(5,580)	(2,399)
Increase (decrease) in cash	39,679	(142,758)
Cash, beginning of year	187,740	330,498
Cash, end of year	\$ 227,419	\$ 187,740

See accompanying notes to financial statements.

KELOWNA DOWNTOWN BUSINESS IMPROVEMENT AREA SOCIETY

(OPERATING AS DOWNTOWN KELOWNA ASSOCIATION)
Notes to Financial Statements

Year ended December 31, 2023

Kelowna Downtown Business Improvement Area Society (operating as Downtown Kelowna Association) (the "Society") is a non-profit association, registered under the Society Act (British Columbia), of businesses and individuals whose purpose is to promote the downtown as a safe and desirable place to conduct business, live, work and play through the cooperative and collective efforts of its members and government. The Society is a non-profit organization under the Income Tax Act and, accordingly, is exempt from income taxes, provided certain requirements of the Income Tax Act are met.

1. Significant accounting policies:

These financial statements are prepared in accordance with Canadian accounting standards for not-for-profit organizations. The Society's significant accounting policies are as follows:

(a) Internally restricted net assets:

Internally restricted net assets consists of a contingency reserve established by the Board for approved expenses. The reserve is fully funded at all times and interest earned is retained within the reserve.

(b) Cash and cash equivalents:

Cash and cash equivalents includes cash and short-term, liquid instruments readily convertible into cash.

(c) Capital assets:

Capital assets are recorded at cost, less accumulated amortization. Contributed assets are recorded at fair value at the date of contribution. When Society's management determines that some or all of its capital assets no longer contribute to the Society's ability to carry out its operations, the carrying amount of the assets are written down to their residual value. Amortization is provided using the straight-line method and the following annual rates, when the asset is available for use:

Asset	Rate
Equipment	30%
Furniture and fixtures	25%
Computer equipment	30%
Website	30%
Leasehold improvements	lesser of remaining lease term and 20%

KELOWNA DOWNTOWN BUSINESS IMPROVEMENT AREA SOCIETY

(OPERATING AS DOWNTOWN KELOWNA ASSOCIATION)
Notes to Financial Statements (continued)

Year ended December 31, 2023

1. Significant accounting policies (continued):

(d) Revenue recognition:

The Society follows the deferral method of accounting for contributions, which include the membership levy, administered by the City of Kelowna, and government grants (including municipal and federal grants for clean team, downtown concierge and downtown on call). Restricted contributions are recognized as revenue in the year in which the related expenses are incurred. Unrestricted contributions are recognized as revenue when received or receivable if the amount can be reasonably estimated and collection is reasonably assured.

(e) Contributed services:

Individuals and organizations contribute numerous volunteer hours each year to assist the Society in carrying out its operations. Because of the difficulty in determining the fair value of the contributed services, they are not recognized in these financial statements.

(f) Use of estimates:

The preparation of the financial statements requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenue and expenses during the year. Items subject to such estimates and assumptions include the useful lives of the Society's capital assets. Actual results could differ from those estimates.

(g) Financial instruments:

Financial instruments are recorded at fair value on initial recognition and subsequently recorded at cost or amortized cost, unless management has elected to carry the instruments at fair value. The Society has not elected to carry any such financial instruments at fair value. Transaction costs incurred on the acquisition of financial instruments measured subsequently at fair value are expensed as incurred. All other financial instruments are adjusted by transaction costs incurred on acquisition and financing costs, which are amortized using the straight-line method.

KELOWNA DOWNTOWN BUSINESS IMPROVEMENT AREA SOCIETY

(OPERATING AS DOWNTOWN KELOWNA ASSOCIATION)

Notes to Financial Statements (continued)

Year ended December 31, 2023

2. Capital assets:

			2023	2022
	Cost	Accumulated amortization	Net book value	Net book value
Equipment	\$ 186,830	\$ 186,830	\$ -	\$ 7,222
Furniture and fixtures	60,768	59,227	1,541	4,079
Computer equipment	26,129	20,688	5,441	5,363
Website	39,325	31,294	8,031	19,828
Leasehold improvements	8,981	8,981	-	-
	\$ 322,033	\$ 307,020	\$ 15,013	\$ 36,492

3. Related party transactions:

During the normal course of its operations, the Society may enter into transactions with Downtown Kelowna businesses, including entities affiliated with its Directors. These transactions are measured at the exchange amount, which is the amount of consideration established and agreed to by the related parties.

4. Commitments:

The Society leases its office space under an operating lease, expiring April 30, 2024. The lease terms provide for base annual rent payments as outlined below plus additional lease costs for common area costs, utilities, property taxes and management fees. Future minimum lease payments to maturity are approximately \$8,600.

KELOWNA DOWNTOWN BUSINESS IMPROVEMENT AREA SOCIETY

(OPERATING AS DOWNTOWN KELOWNA ASSOCIATION)
Notes to Financial Statements (continued)

Year ended December 31, 2023

5. Remuneration paid to directors, employees and contractors:

In accordance with the Societies Act (British Columbia) Section 36.1 and Societies Regulation 9.2(b), the Directors of the Society receive no remuneration for the performance of their responsibilities as Directors.

As required by the Societies Act (British Columbia), the Society paid remuneration, including benefits, of \$75,000 or greater to two employees (2022 - two) for services for total remuneration of \$184,473.

6. Financial risks:

(a) Economic dependence:

The Society receives funding from the City of Kelowna through a member levy charged and collected by the City through its property tax system. The Society also receives other grant funding from the City and from federal and provincial government programs. Future operations of the Society depend on the continuation of funding from the City of Kelowna and renewal of the City's membership levy by-law. The current by-law expires December 31, 2028.

(b) Liquidity risk:

Liquidity risk is the risk that the Society will be unable to fulfill its obligations on a timely basis or at a reasonable cost. The Society manages its liquidity risk by monitoring its operating requirements. The Society prepares budget and cash forecasts to ensure it has sufficient funds to fulfill its obligations. There has been no change to the risk exposures from 2022.

DOWNTOWN KELOWNA

Board of Directors

Executive

Yarden Gershony	Past President	<i>Rush Ihas Hardwick LLP</i>
Renata Mills	President	<i>Festivals Kelowna</i>
Jaspal Dhial	Treasurer	<i>GSL Group</i>
Travis Pye	Vice President	<i>Lakeshore Homestore</i>
Caroline Bye	Secretary	<i>Kelowna Yacht Club</i>

Board

Tina Thygesen	<i>Mission Group</i>
Warren Turner	<i>Turner Group</i>
Craig Shirra	<i>UBC Property Trust</i>
Crystal Dougan	<i>Little Hobo Soup & Sandwich Shop</i>
Thomas Eaves	<i>Pushor Mitchell LLP</i>
Nathan Matis	<i>Sweat Studios</i>
Jillian Povarchook	<i>Olive & Elle Boutique</i>
Councilor Rick Webber	<i>Ex-Officio, City of Kelowna</i>

Downtown Kelowna

Business Improvement Area

2024 Budget

Bylaw No. 12575

- ▶ Council approved Bylaw No. 12575 on October 16, 2023
- ▶ Five-year term of 2024 to 2028
- ▶ Class o5 light industry and o6 business/other

Budget

- ▶ Requesting \$1,263,741 for the first year

Year	Downtown Kelowna Business Improvement Area
2023 (final year of Bylaw 11645)	\$1,148,954
2024	\$1,263,741
2025	\$1,335,860
2026	\$1,390,040
2027	\$1,445,320
2028	\$1,503,075

Levy

- ▶ Based on assessment values totaling approximately \$1.542 billion for class 05 and 06
- ▶ A general levy of approximately \$0.82 per thousand dollars of assessed value
 - ▶ For example: approximately \$82 would be levied on property that is assessed at 100,000



Questions?

For more information, visit kelowna.ca.

Report to Council



Date: April 8, 2024
To: Council
From: City Manager
Subject: Uptown Rutland Business Association 2024 Budget
Department: Financial Services - Controller

Recommendation:

THAT Council approve the Uptown Rutland Business Association (URBA) 2024 Budget as attached to the report of the Revenue Supervisor dated April 8, 2024;

AND THAT Council approve the 2024 levy of \$233,675 on the Class 5 and Class 6 properties located within the boundaries of the Uptown Rutland Business Improvement Area.

Purpose:

To authorize the 2024 levy on Class 5 light industry and Class 6 business/other properties located within the Uptown Rutland Business Improvement Area.

Background:

On September 26, 2022 Council approved the Uptown Rutland Business Improvement Area Bylaw No. 12427. Bylaw No. 12427 established the local area (Schedule A) for the purpose of annually funding the activity of the Uptown Rutland Business Association for a period of 5 years, 2023 to 2027. In the bylaw Council approved the Uptown Rutland Business Association’s 2024 budget request of \$233,675 in order for the city to tax the affected properties within the improvement area boundary.

Discussion:

Attached is a copy of the 2023 Financial Statements as reviewed by BDO Canada LLP, the Uptown Rutland Business Association’s 2024 Budget, which includes the 2024 levy of \$233,675 and a list of Board of Directors for 2024 (Schedule D).

City of Kelowna staff have not participated in or assisted the Uptown Rutland Business Association in preparation of their annual budget.

A representative from the Uptown Rutland Business Association will be present at the Council meeting to answer any questions.

Conclusion:

It is recommended that Council approve the 2024 budget \$233,675 as set out in Schedule B to be levied on the Class 5 and 6 properties included on Schedule A.

Considerations applicable to this report:

Legal/Statutory Authority:

Council may, by bylaw, grant money to a corporation or other organization that has, as one of its aims, functions or purposes, the planning and implementation of a business promotion scheme, with the establishment of a Business Improvement Area in accordance with Division 5 Section 215 of the Community Charter.

Uptown Rutland Business Improvement Area Bylaw No. 12427

Legal/Statutory Procedural Requirements:

Council may, by bylaw, impose a parcel tax in accordance with Division 4 Section 200 of the Community Charter to provide all or part of the funding for a service.

Considerations not applicable to this report:

Existing Policy:

Financial/Budgetary Considerations:

Consultation and Engagement:

Communications Comments:

Submitted by:

Patrick Gramiak, Revenue Supervisor

Approved for inclusion: Joe Sass, Divisional Director, Financial Services

Attachments:

Schedule A – URBA Map

Schedule B – 2024 URBA Budget

Schedule C – 2023 URBA Financials

Schedule D – 2024 URBA Board of Directors



UPTOWN RUTLAND BUSINESS IMPROVEMENT ASSOCIATION		
BUDGET 2024		
REVENUE	2024 BUDGET	2023 BUDGET
Membership Levy	233,675	222,547
Events & Promotions & Grants	51,880	36,848.00
URBA On Call Pilot Project	304,000	
TOTAL REVENUE	589,555	259,395.00
EXPENSES		
Administration & Office Expense	155,494.78	180,641.00
Beautification/Streetscape	42,500	41,000.00
Community Safety	0	3,000.00
Events & Promotions	19,325	8,453.00
Marketing	28,250	38,965.00
URBA On Call Pilot Project	304,000	
TOTAL EXPENSES	549,569.78	272,059
	39,985.22	-12,664.00

**Uptown Rutland Business
Association
Financial Information
For the Year Ended December 31, 2023**

Draft - For Discussion Purposes Only

**Uptown Rutland Business Association
Financial Information
For the Year Ended December 31, 2023**

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Toll-free: 1 800 928 3307
www.bdo.ca

BDO Canada LLP
1631 Dickson Avenue, Suite 500
Kelowna, BC, V1Y 0B5

Compilation Engagement Report

To Management of Uptown Rutland Business Association

On the basis of information provided by management, we have compiled the balance sheet of Uptown Rutland Business Association as at December 31, 2023 and the statements of operations and changes in net assets for the year then ended, and Note 1, which describes the basis of accounting applied in the preparation of the compiled financial information.

Management is responsible for the accompanying financial information, including the accuracy and completeness of the underlying information used to compile it and the selection of the basis of accounting.

We performed this engagement in accordance with Canadian Standard on Related Services (CSRS) 4200, *Compilation Engagements*, which requires us to comply with relevant ethical requirements. Our responsibility is to assist management in the preparation of the financial information.

We did not perform an audit engagement or a review engagement, nor were we required to perform procedures to verify the accuracy or completeness of the information provided by management. Accordingly, we do not express an audit opinion or a review conclusion, or provide any form of assurance on the financial information.

Readers are cautioned that the financial information may not be appropriate for their purposes.

Chartered Professional Accountants

Kelowna, British Columbia
February 22, 2024

**Uptown Rutland Business Association
Balance Sheet**

December 31	2023	2022
Assets		
Current		
Cash	\$ 65,963	\$ 43,230
Temporary investments	10,000	-
Accounts receivable	142	-
Inventories	4,630	1,278
Prepays and deposits	2,126	4,267
	<u>82,861</u>	<u>48,775</u>
Capital assets	2,583	4,882
Intangible assets	785	2,356
	<u>\$ 86,229</u>	<u>\$ 56,013</u>
Liabilities and Net Assets		
Current		
Accounts payable and accrued liabilities	\$ 19,972	\$ 30,286
Net Assets		
Invested in capital assets	2,583	4,882
Unrestricted	63,674	20,845
	<u>66,257</u>	<u>25,727</u>
	<u>\$ 86,229</u>	<u>\$ 56,013</u>

The accompanying note is an integral part of this financial information.

**Uptown Rutland Business Association
Statement of Changes in Net Assets**

For the year ended December 31	Invested in capital assets	Unrestricted	2023	2022
Balance, beginning of the year	\$ 4,882	\$ 20,845	\$ 25,727	\$ 75,529
Excess (deficiency) of revenues over expenses	(2,299)	42,829	40,530	(49,802)
Balance, end of the year	\$ 2,583	\$ 63,674	\$ 66,257	\$ 25,727

The accompanying note is an integral part of this financial information.

Uptown Rutland Business Association Statement of Operations

For the year ended December 31

2023

2022

Revenue

Municipal tax levy	\$	222,547	\$	204,172
Municipal contributions		-		20,000
Special events and sponsorships		21,211		9,104
Mural merchandise sales		5,881		1,996
		249,639		235,272

Operating expenses

Advertising and promotion		34,111		34,086
Amortization on intangible assets		1,570		1,570
Amortization on capital assets		2,299		6,793
Beautification / Streetscape		9,440		81,340
Insurance		2,540		3,306
Interest and bank charges		300		202
Mural merchandise		922		1,955
Office		10,273		12,692
Professional fees		9,285		13,300
Rental		4,047		10,736
Repairs and maintenance		174		217
Salaries and wages		110,668		108,561
Special events		6,552		-
Telephone		4,667		5,882
Training		190		2,882
Travel		12,071		1,552
		209,109		285,074

Excess (deficiency) of revenues over expenses	\$	40,530	\$	(49,802)
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The accompanying note is an integral part of this financial information.

**Uptown Rutland Business Association
Note to Financial Statements**

December 31, 2023

1. Basis of Accounting

The basis of accounting applied in the preparation of the financial information is on the historical cost basis, reflecting cash transactions with the addition of:

- accounts receivable
- prepaid expenses, expensed monthly over the period(s) covered
- property, buildings and equipment amortized over their useful life
- Intangible assets amortized over their useful life
- accounts payable and accrued liabilities

urba
Uptown Rutland
 BUSINESS ASSOCIATION
2024 BOARD OF DIRECTORS

<u>NAME</u>	<u>TITLE</u>	<u>BUSINESS NAME</u>
Navjit Khun Khun	President	Canco Petroleum
Courtney Fedevich	1 st Vice President	Venture Commercial
Justin Bullock	2 nd Vice President	OK Tire & Top Grade Tire
Domenic Rampone	Treasurer	Mara Lumber Home Hardware
Nancy Wells	Past President	KGH Foundation / Rutland Thrift
Brad McNaughton	Director	Lux Quality Homes
Jassie Kakoschke	Director	Valley First Credit Union
Harjit Toora	Director	Manohar Vegetarian Bakery
Diana Solowan	Director	Metis Community Services
Mayor Tom Dyas	Ex-Officio	City of Kelowna
Carmen Rempel	Director (Appointed)	Kelowna Chamber of Commerce
Birte Decloux	Director (Appointed)	Urban Options Planning Corp
Indy Dhial	Director (Appointed)	The Gathering Place Daycare
Karen Beaubier	Executive Director	URBA

Voting Directors = 11 Non Voting Directors = 4 Quorum = 5

Uptown Rutland Business Improvement Area 2024 Budget

Bylaw No. 12427

- ▶ Council approved Bylaw No. 12427 on September 26, 2022
- ▶ Term of 2023 to 2027
- ▶ Class o5 light industry and o6 business/other

Budget

- ▶ Requesting \$233,675 for the second year

Year	Uptown Rutland Business Improvement Area
2023	\$222,547
2024	\$233,675
2025	\$245,359
2026	\$257,627
2027	\$270,508

Levy

- ▶ Based on assessment values totaling approximately \$292 million for class 05 and 06
- ▶ A general levy of approximately \$0.80 per thousand dollars of assessed value
 - ▶ For example: approximately \$80 would be levied on property that is assessed at 100,000



Questions?

For more information, visit kelowna.ca.

Report to Council



Date: April 8, 2024
To: Council
From: City Manager
Subject: Council Remuneration Adjustments
Department: Office of the City Clerk

Recommendation:

THAT Council receives, for information, the report from the Office of the City Clerk dated April 8, 2024 regarding the Council remuneration bylaw amendment;

AND THAT Bylaw No. 12650, being Amendment No. 12 to Council Remuneration and Expense Bylaw No. 7547, be forwarded for reading consideration.

Purpose:

To amend annual remuneration amounts and adjustments in Council Remuneration and Expense Bylaw No. 7547.

Background:

Council considered adjustments to Council remuneration on [March 25, 2024](#) and directed staff to bring forwarded amendments to Council Remuneration and Expense Bylaw No. 7547. The recommended increases are based on comparable BC municipalities and reflect the scope of services the City delivers. The changes bring the Mayor’s remuneration to the 60th percentile of comparable municipalities in BC and increase Councillor remuneration to 40% of the Mayor’s.

Previous Council Resolution

Resolution	Date
THAT Council receives, for information, the report from Office of the City Clerk dated March 25, 2024 regarding Council Remuneration Update; AND THAT Council direct staff to bring forward amendments to Council Remuneration and Expense Bylaw No. 7547 for Council consideration.	March 25, 2024

Discussion:

The amending bylaw phases in increases to annual remuneration with half the increase immediately and the remaining half at the beginning of 2025.

	Mayor	Councillors
Effective Upon Bylaw Adoption	\$135,848.65	\$50,535.57
Effective January 1, 2025	\$145,200.00	\$58,080.00

Following the general local election in 2026, an adjustment will be made twice per Council term to realign the Mayor’s remuneration with the 60th percentile of comparable BC municipalities and Councillors’ remuneration to 40% of the Mayor’s. This will take place in years one and three of the Council term, following annual municipal reports being published at the end of June. Annual adjustments based on the Consumer Price Index (CPI) will no longer be in place since those resulted in Kelowna falling significantly behind similar municipalities.

A current Council member may choose not to receive the increase by informing the City Clerk in writing within 30 days of adoption of this bylaw. They would remain at the pre-adjustment 2024 remuneration for the remainder of this Council term. All members of Council will receive the new remuneration after the 2026 election.

Conclusion:

The increase to Council remuneration aligns with Council’s direction to adjust the Mayor’s remuneration to match the 60th percentile of comparable BC municipalities and to raise Councillor remuneration to 40% of the Mayor’s. Future adjustments will be made twice per Council term, beginning after the 2026 election.

Considerations applicable to this report:

Financial/Budgetary Considerations: The total cost of the above noted recommendation is \$139,413.60 and will be funded from financial savings identified through implementation of the digital transformation strategy. All changes will be in effect as of adoption of the bylaw amendment.

Considerations not applicable to this report:

Legal/Statutory Authority:

Legal/Statutory Procedural Requirements:

Existing Policy:

Consultation and Engagement:

Communications Comments:

Approved for inclusion: L. Bentley, City Clerk

cc:

J. Sass, Divisional Director, Financial Services

M. Antunes, Financial Planning Manager



City of
Kelowna

Council Remuneration Adjustments

April 2024

Background

- ▶ Recommended increase based on comparable BC municipalities, reflects City's scope of services
- ▶ Mayor's remuneration to 60th percentile of comparable municipalities
- ▶ Councillor remuneration to 40% of the Mayor's

Implementation

Timing	Mayor	Councillors
Effective Upon Bylaw Adoption	\$135,848.65	\$50,535.57
Effective January 1, 2025	\$145,200.00	\$58,080.00

Implementation

- ▶ Adjustments twice per Council term starting in 2026-2030 term
 - ▶ Align Mayor remuneration with 60th percentile of comparable BC municipalities
 - ▶ Align Councillor remuneration to 40% of the Mayor's
- ▶ Remove annual CPI adjustment
- ▶ Current Council member may choose not to receive the increase
 - ▶ All members of Council will receive new remuneration after 2026 election



Questions?

For more information, visit kelowna.ca.

CITY OF KELOWNA

Bylaw No. 12650

Amendment No. 12 to Council Remuneration and Expense Bylaw No. 7547

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that the Council Remuneration and Expense Bylaw No. 7547 be amended as follows:

1. That **Section 2 – Mayor’s Indemnity** be amended by deleting in their entirety the following sections:

“2.1 Effective January 1st, 2019, the Mayor shall be paid an annual indemnity of \$107,525.22 until December 31st, 2019.

2.2 Effective January 1st, 2020 and every January 1st thereafter, the Mayor’s Indemnity shall receive an annual adjustment based on the Consumer Price Index (CPI) published by Statistics Canada for Vancouver (2002=100) for the twelve month period January to December of the previous year.”

and replacing with:

“2.1 Effective upon adoption of this bylaw, the Mayor will be paid an annual indemnity of \$135,848.65 until December 31st, 2024.

2.2 Effective January 1st, 2025, the Mayor will be paid an annual indemnity of \$145,200.00.

2.3 Following the 2026 general local election and continuing thereafter, in years one and three of each Council term, the Mayor’s indemnity will be adjusted to match the 60th percentile of Mayor’s indemnity in comparable municipalities in British Columbia for the twelve month period January to December of the previous year.

2.4 The City Clerk and the Divisional Director, Financial Services are delegated the authority to determine comparable municipalities for the purposes of section 2.3, with a minimum of ten municipalities to be referenced.”

2. That **Section 3 – Councillor’s Indemnity** be amended by deleting in their entirety the following sections:

“3.1 (a) Effective January 1st, 2019 a Councillor’s indemnity shall be paid on an annual indemnity of \$36,543.33 until December 31st, 2019.

(b) Effective January 1st,, 2020 and every January 1st thereafter, the Councillor’s Indemnity shall receive an annual adjustment based on the Consumer Price Index (CPI) published by Statistics Canada for Vancouver (2002=100) for the twelve month period January to December of the previous year.”

and replacing with:

“3.1 Effective upon adoption of this bylaw, Councillors will be paid an annual indemnity of \$50,535.57 until December 31st, 2024.

3.2 Effective January 1st, 2025, Councillors will be paid an annual indemnity of \$58,080.00.

3.3 Following the 2026 general local election and continuing thereafter, in years one and three of each Council term, the Councillors' indemnity will be adjusted to match 40% of the Mayor's indemnity, as determined by section 2.3 of this bylaw.

3.4 A member of Council may choose not to receive the annual indemnity adjustment established in sections 2.1 or 3.1 of this bylaw by informing the City Clerk in writing within 30 days of adoption of this bylaw. "

- 3. This bylaw may be cited as "Bylaw No. 12650, being Amendment No. 12 to Council Remuneration and Expense bylaw No. 7547."
- 4. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Report to Council



Date: April 8, 2024
To: Council
From: City Manager
Subject: Road Closure of Excess Municipal Land Adjacent to 4710 Lakeshore Road
Department: Real Estate

Recommendation:

THAT Council receives, for information, the report from the Real Estate department dated April 8, 2024, recommending that Council adopt the proposed closure of excess road adjacent to 4710 Lakeshore Road;

AND FURTHER THAT Bylaw No. 12557 being proposed road closure of a portion of road adjacent to 4710 Lakeshore Road, be given reading consideration.

Purpose:

To close a 0.42 acre portion of excess road for consolidation with the adjacent parcel at 4710 Lakeshore Rd.

Background:

The proposed road closure (shown as "ROAD TO BE CLOSED" on the attached Schedule 'A') will allow for the consolidation of the road closure area with the adjacent property and remove a land locked remainder road dedication.

Legal/Statutory Authority:

Community Charter, SBC 2003, c. 26 s. 26 and s.40

Considerations not applicable to this report:

- Internal Circulation:
- Legal/Statutory Procedural Requirements:
- Existing Policy:
- Financial/Budgetary Considerations:
- External Agency/Public Comments:
- Communications Comments:

Submitted by: Corey Wicks, Property Officer II

Approved for inclusion: J. Säufferer, Real Estate Department Manager

Attachments: Schedule A – Survey Plan

cc: D. Strachan, Community Planning and Development Manager
C. Williams, Senior Transportation Planning Engineer
N. Chapman, Development Engineering Manager

EXPLANATORY PLAN TO ACCOMPANY BYLAW NUMBER ~~####~~, 2023 (CITY OF KELOWNA) TO CLOSE PART OF ROAD DEDICATED ON PLAN 39798, SEC 25, TP 28, SDYD.

PLAN EPP131748

DRAFT

PURSUANT TO SECTION 120 OF THE LAND TITLE ACT AND SECTION 40 OF THE COMMUNITY CHARTER BCGS 82E.083 SCALE 1:500 METRIC

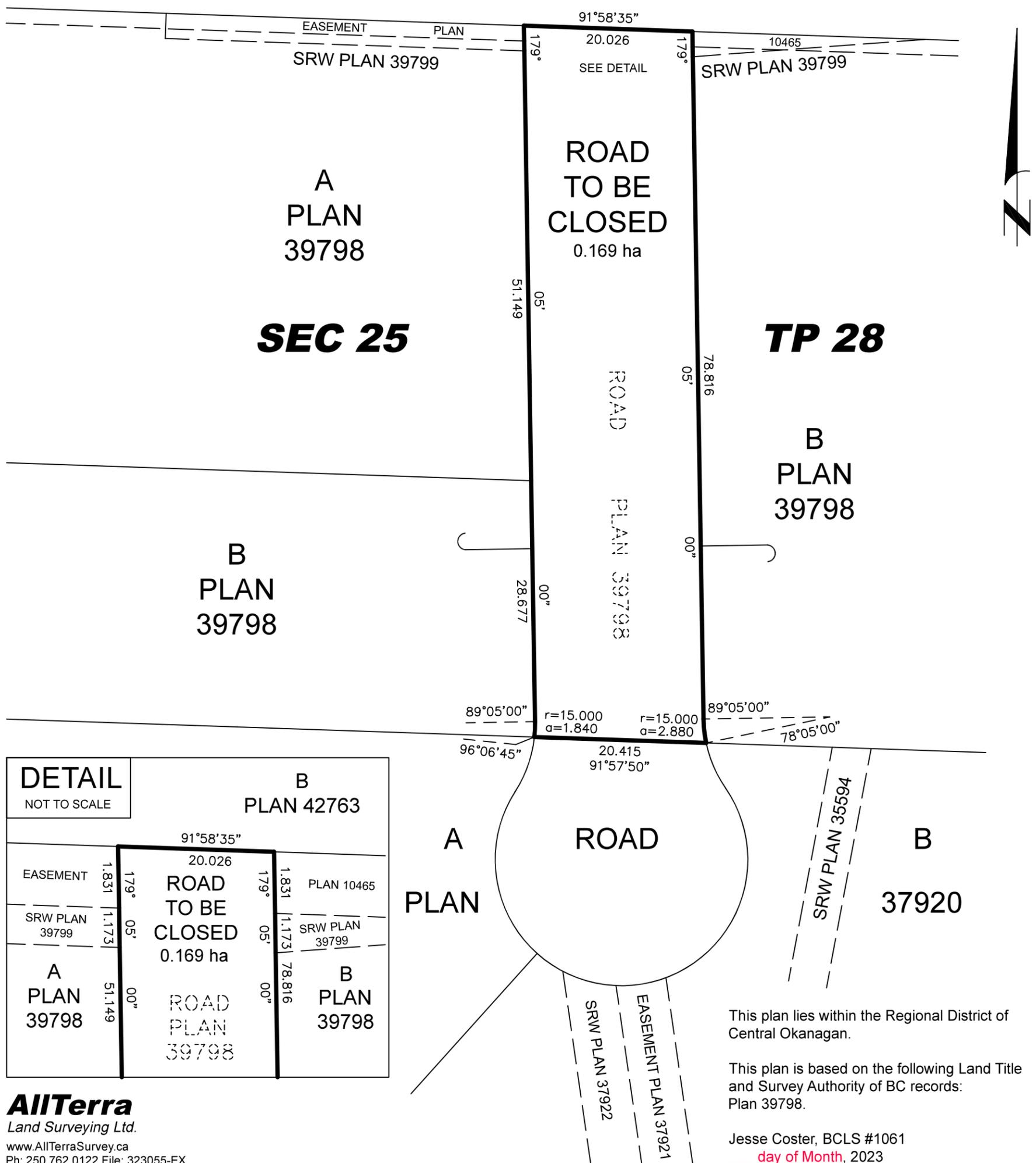


The intended plot size of this plan is 280mm in width by 432mm in height (B-size) when plotted at a scale of 1:500 METRIC.

This plan lies within Integrated Survey Area No. 4, City of Kelowna, NAD83(CSRS) 4.0.0.BC.1.

Bearings are grid derived from Plan 39798.

Distances are horizontal ground level distances unless otherwise noted.



DETAIL		B PLAN 42763	
NOT TO SCALE			
EASEMENT	1.831	20.026	PLAN 10465
SRW PLAN 39799	1.173	ROAD TO BE CLOSED	SRW PLAN 39799
A PLAN 39798	51.149	0.169 ha	B PLAN 39798
		ROAD PLAN 39798	

AllTerra
Land Surveying Ltd.
www.AllTerraSurvey.ca
Ph: 250.762.0122 File: 323055-EX

This plan lies within the Regional District of Central Okanagan.
This plan is based on the following Land Title and Survey Authority of BC records: Plan 39798.
Jesse Coster, BCLS #1061
___ day of Month, 2023

CITY OF KELOWNA

BYLAW NO. 12557

Road Closure and Removal of Highway Dedication Bylaw
(Portion of Road Adjacent to 4710 Lakeshore Road)

A bylaw pursuant to Section 26 and 40 of the Community Charter to authorize the City to permanently close and remove the highway dedication of a portion of highway Adjacent to 4710 Lakeshore Road.

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, hereby enacts as follows:

1. That portion of highway attached as Schedule "A" comprising 0.169 ha shown in bold black as Road to be Closed on the Reference Plan prepared by Jesse Coster, B.C.L.S., is hereby stopped up and closed to traffic and the highway dedication removed.
2. The Mayor and City Clerk of the City of Kelowna are hereby authorized to execute such conveyances, titles, survey plans, forms and other documents on behalf of the said City as may be necessary for the purposes aforesaid.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Schedule "A"

