

**City of Kelowna**  
**Regular Council Meeting**  
**AGENDA**



Monday, January 8, 2024  
1:30 pm  
Council Chamber  
City Hall, 1435 Water Street

**Pages**

**1. Call to Order**

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca.

**2. Confirmation of Minutes**

4 - 9

PM Meeting - December 4, 2023

**3. Development Application Reports & Related Bylaws**

**3.1 Bernard Ave 1660, 1670 - Z23-0017 (BL12607) - Sole Bernard Developments Ltd., Inc.No. BC1371339**

10 - 23

To rezone the subject properties from the RU4 – Duplex Housing zone to the MF3 – Apartment Housing zone to facilitate the development of apartment housing.

**3.2 Centennial Cr 1132 - Z23-0068 (BL12608) - Mohammed Maizal Munif**

24 - 37

To rezone the subject property from the RU4 – Duplex Housing zone to the MF1 – Infill Housing zone to allow for a small-scale infill development.

**3.3 Rezoning Bylaws Supplemental Report to Council**

38 - 39

To receive a summary of notice of first reading for Rezoning Bylaws No. 12601, 12602, 12605 and 12606 and to give the bylaws further reading consideration.

**3.4 Rezoning Applications**

To give first, second and third reading to rezoning applications.

The following bylaws will be read together unless Council wants to separate one of the bylaws.

<b>3.4.1</b>	<b>Francis Ave 615 - BL12601 (Z23-0041) - 1324270 B.C. Ltd., Inc.No. BC1324270</b>	40 - 40
	To give Bylaw No. 12601 first, second and third reading in order to rezone the subject property from the MF2 – Townhouse Housing zone to the MF1 – Infill Housing zone.	
<b>3.4.2</b>	<b>Radant Rd 569 - BL12602 (Z22-0072) - John Thomas Hodges</b>	41 - 42
	To give Bylaw No. 12602 first, second and third reading in order to rezone portions of the subject property from the RU1 – Large Lot Housing zone to the MF1 – Infill Housing zone and the P3 – Parks and Open Space zone.	
<b>3.4.3</b>	<b>Appaloosa Rd 3226 - BL12606 (Z23-0025) - Astria Academy Nominee Ltd., Inc.No. BC1396329</b>	43 - 43
	To give Bylaw No. 12606 first, second and third reading in order to RR2 - Small Lot Rural Residential zone to the I2 – General Industrial zone.	
<b>3.5</b>	<b>Rezoning Applications</b>	
	To give first, second and third reading and adopt rezoning applications.	
<b>3.5.1</b>	<b>Lakeshore Rd 4456 - BL12605 (Z23-0066) - Luoya Yang</b>	44 - 44
	To give Bylaw No. 12605 first, second and third reading and adopt in order to rezone the subject property from the RU1 – Large Lot Housing zone to the Ru1cc - Large Lot Housing with Child Care Centre, Major zone.	
<b>3.6</b>	<b>Gordon Dr 1864 - DP22-0109 - Gav Enterprises Limited, Inc.No. BC0976750</b>	45 - 114
	To issue a Development Permit for the form and character of a mixed use residential commercial building.	
<b>3.7</b>	<b>Appaloosa Rd 3256 - BL12592 (Z23-0024) - Astria Hollywood Nominee Ltd., Inc.No. BC1363016</b>	115 - 115
	To adopt Bylaw No. 12592 in order to rezone the subject property from the A2 – Agriculture / Rural Residential zone to the I2 – General Industrial zone.	
<b>3.8</b>	<b>Appaloosa Rd 3256 - DP23-0078 - Astria Hollywood Nominee Ltd., Inc.No. BC1363016</b>	116 - 151
	To issue a Development Permit for the form and character of a new industrial building.	

#### **4. Bylaws for Adoption (Development Related)**



- 4.1 Amendments to Multiple Sections of Zoning Bylaw - BL12594 (TA23-0010) - City of Kelowna** 152 - 161

To adopt Bylaw No. 12594 in order to amend sections of the Zoning Bylaw.

- 4.2 Mugford Rd 593 - BL12599 (Z23-0045) - Corey Knorr Construction Ltd., Inc.No. BC0380398** 162 - 162

To adopt Bylaw No. 12599 in order to rezone the subject property from the RU1 – Large Lot Housing zone to the RU4 – Duplex Housing zone.

**5. Non-Development Reports & Related Bylaws**

- 5.1 Planning and Development Stats for 2023** 163 - 174

To update Council on building and development Statistics for 2023.

**6. Mayor and Councillor Items**

**7. Termination**



**City of Kelowna  
Regular Council Meeting  
Minutes**

Date:	Monday, December 4, 2023
Location:	Council Chamber City Hall, 1435 Water Street
Members Present	Mayor Tom Dyas, Councillors Ron Cannan, Maxine DeHart, Charlie Hodge, Gord Lovegrove, Mohini Singh, Luke Stack, Rick Webber and Loyal Woodridge
Staff Present	City Manager, Doug Gilchrist; City Clerk, Stephen Fleming; Event Development Supervisor, Chris Babcock*; Divisional Director, Financial Services, Joe Sass*; Financial Planning Manager, Melanie Antunes*; Divisional Director, Planning, Climate Action & Development Services, Ryan Smith*; Urban Planning Manager, Jocelyn Black*; Real Estate Development Manager, Johannes Saufferer*; Development Engineering Manager, Nelson Chapman*; Asset Management & Capital Planning Manager, Joel Shaw*; Asset Planning Manager, Joline McFarlane*; Fire Chief, Travis Whiting*; Development Services Clerk, Anita Gruendel
Staff Participating Remotely	Director, Finance and Corporate Services, Shayne Dyrdal*; Legislative Coordinator (Confidential), Arlene McClelland

(\* Denotes partial attendance)

**1. Call to Order**

Mayor Dyas called the meeting to order at 1:30 p.m.

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca and a delayed broadcast is shown on Shaw Cable.

**2. Confirmation of Minutes**

Moved By Councillor Wooldridge/Seconded By Councillor Hodge

THAT the Minutes of the Regular Meetings of November 27, 2023 be confirmed as circulated.

Carried

### 3. Reports

#### 3.1 2023 GFOA Budget Award Recipient Report

Staff:

- Presented Mayor Dyas with the 2023 Government Finance Officers Association Distinguished Budget Award and posed for a photograph with Council.

### 4. Committee Reports

#### 4.1 49th Civic Awards Nomination Period

Staff:

- Displayed a PowerPoint Presentation announcing the nomination period for the 49th Annual Civic & Community Awards and identified Civic Award categories.

Moved By Councillor Lovegrove/Seconded By Councillor Hodge

THAT Council receives, for information, the report from Sport & Event Services, dated December 4, 2023, that announces the opening of the nomination period for the 49<sup>th</sup> Annual Civic & Community Awards, including an outline of award categories for the program.

Carried

### 5. Reconsideration Application

#### 5.1 Lakeshore Rd 3593 Z23-0036 - Immortal Homes Ltd. Inc. No. A0101356-

City Clerk:

- Introduced the item and informed Council that sending the application to a public hearing is no longer an option due to Bill 44 receiving Royal Assent November 30, 2023.

Staff:

- Displayed a PowerPoint Presentation summarizing the application and addressing previous concerns raised and responded to questions from Council.

#### 5.2 Lakeshore Rd 3593 - BL12593 (Z23-0036) - Immortal Homes Ltd., Inc. No. A0101356

Moved By Councillor Hodge/Seconded By Councillor Singh

THAT Bylaw No. 12593 be read a first, second and third time.

Carried

Councillors Cannan, Hodge and Webber - Opposed

### 6. Development Application Reports & Related Bylaws

#### 6.1 Rezoning Bylaws Supplemental Report to Council

City Clerk:

- Confirmed no correspondence received for the rezoning application on Mugford Road. One piece of correspondence was received for the rezoning on Elm Street. The two rezoning bylaws may be read together unless Council wishes to separate the bylaws.

#### 6.2 Rezoning Applications

##### 6.2.1 Mugford Rd 593 - BL12599 (Z23-0045) - Corey Knorr Construction Ltd., Inc. No. BC0380398



**6.2.2 Elm St 1447 and Elm Street East 1580 and 1590 - BL12600 (Z23-0055) - Various Owners**

Moved By Councillor Cannan/Seconded By Councillor Singh

THAT Bylaw Nos. 12599 and 12600 each be read a first, second and third time.

**Carried**

**6.3 Dougall Rd N 465, 475, 485, 495 - DP23-0140 - Burton Dougall Road GP Ltd., Inc. No. BC1361493**

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor Cannan

THAT Council authorizes the issuance of Development Permit No. DP23-0140 for:

- Lot 4 Section 26 Township 26 ODYD Plan 4739 located at 465 Dougall Rd N, Kelowna, BC,
- Lot 5 Section 26 Township 26 ODYD Plan 4739 located at 475 Dougall Rd N, Kelowna, BC,
- Lot 6 Section 26 Township 26 ODYD Plan 4739 located at 485 Dougall Rd N, Kelowna, BC, and
- Lot 7 Section 26 Township 26 ODYD Plan 4739, located at 495 Dougall Rd N, Kelowna, BC

subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;
5. The applicant be required to make payment into the Public Amenity & Streetscape Capital Reserve Fund as established by Bylaw No. 12386 in accordance with Table 6.8.a in Zoning Bylaw No. 12375;
6. The applicant be required to provide Payment-in-Lieu of Parking for three stalls in accordance with Bylaw No. 8125;

AND THAT the applicant be required to complete the above-noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND THAT the Development Permit be issued subsequent to the consolidation of the four subject lots into one registered lot;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

**Carried**

Councillor Hodge - Opposed

**6.4 West Ave 439 - DP23-0196 - Simple Pursuits Inc., Inc. No. BC1206854**

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Moved By Councillor Hodge/Seconded By Councillor Lovegrove

THAT Council authorizes the issuance of Development Permit No. DP23-0196 for Lot 9 Block 1 District Lot 14 ODYD Plan 4743, located at 439 West Ave, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect.

AND THAT this Development Permit is valid for (2) years from the date of Council approval, with no opportunity to extend.

Carried

## 7. Bylaws for Adoption (Development Related)

### 7.1 Hollydell Rd 875 - BL12543 (Z23-0026) - Manpreet Dhial and Inderjit Dhial

Moved By Councillor Stack/Seconded By Councillor DeHart

THAT Bylaw No. 12543 be adopted.

Carried

## 8. Non-Development Reports & Related Bylaws

### 8.1 Kelowna International Airport 10-Year Capital Plan

Staff:

- Participating remotely, shared a PowerPoint Presentation summarizing the Kelowna International Airport 10-Year Capital Plan and responded to questions from Council.

Moved By Councillor DeHart/Seconded By Councillor Singh

THAT Council receives for information the report from Kelowna International Airport (the Airport) dated December 4, 2023, with respect to the Airport's 10-Year Capital Plan;

AND THAT Council adopt the Airport's 10-Year Capital Plan.

Carried

### 8.2 2024 Financial Plan - Preliminary Budget Volume Overview

Staff:

- Displayed a PowerPoint Presentation providing an overview of the 2024 Financial Plan, Capital Plan and implementation of a new Service Based Budget approach and responded to questions from Council.



Moved By Councillor Stack/Seconded By Councillor DeHart

THAT Council receives for information, the presentation from the Financial Services Division dated December 4, 2023 with respect to the 2024 Financial Plan – Preliminary Budget Volume.

**Carried**

**8.3 Next Generation 9-1-1 Funding Transition**

Staff:

- Provided comment on a recommended financial plan amendment pertaining to Kelowna Fire Dispatch services.

Moved By Councillor Wooldridge/Seconded By Councillor DeHart

THAT Council receives, for information, the financial funds for transitioning Kelowna Fire Dispatch to Next Generation 9-1-1 (NG9-1-1) with respect to the Union of BC Municipalities (UBCM) letter date August 4, 2023;

AND THAT the 2023 Financial Plan be amended to include grant funding of \$3,045,000 received from the Union of BC Municipalities to be used towards the NG 9-1-1 transition project.

**Carried**

**9. Resolutions**

**9.1 Draft Resolution - Abbott Street and Marshall Street Heritage Conservation Areas Land Use Designation**

Councillor Lovegrove:

- Withdrew his Abbott Street & Marshall Street Heritage Conservation Areas Land Use Designation Notice of Motion as the recent amendments to the Local Government Act make the resolution moot, and to a perceived conflict of interest due to owning property within the Area.

The meeting recessed at 3:35 p.m.

The meeting reconvened at 3:40 p.m.

**10. Bylaws for Adoption (Non-Development Related)**

**10.1 BL12597 - Amendment No. 41 to Airport Fees and Charges Bylaw No. 7982**

Moved By Councillor Wooldridge/Seconded By Councillor Lovegrove

THAT Bylaw No. 12597 be adopted.

**Carried**

**11. Mayor and Councillor Items**

Councillor Singh:

- Spoke to their attendance at a Filipino-Canadian dinner event.

Councillor Wooldridge:

- Provided a shout out to the RCMP Detachment and Salvation Army for their Toy Drive.
- Made comment regarding the Parade with a Purpose Fundraiser in Kettle Valley where over \$105,000 had been raised by the event that will be donated to The Bridge Youth & Family Services campaign.

## Councillor Stack:

- Thanked Mayor Dyas and Councillor DeHart for representing Council at the Parade with a Purpose Fundraiser and thanked all those that put the event together.

## Councillor DeHart:

- Spoke to their attendance at the Chamber of Commerce Board meeting.
- Spoke to their attendance at the RCMP Toy Drive and Tiny Tim Toy Drive.
- Spoke to their attendance at the MLA Christmas Party.
- Spoke to their attendance at the tree light up and the Parade with a Purpose Fundraiser.
- Provided holiday greetings.

## Councillor Hodge:

- Spoke to their attendance at the Okanagan Basin Water Board meeting.
- Provided holiday greetings.

## Councillor Lovegrove:

- Provided holiday greetings.

## Councillor Cannan:

- Thanked those involved in the Parade with a Purpose Fundraiser.
- Provided holiday greetings.

## Councillor Webber:

- Shout out to the Downtown Kelowna Association for organizing the Tree Light Up event.

## Mayor Dyas:

- Encouraged citizens to purchase gifts locally.
- Provided holiday greetings.

**12. Termination**

This meeting was declared terminated at 3:50 p.m.

---

Mayor Dyas

sf/acm




---

City Clerk

# REPORT TO COUNCIL REZONING



**Date:** January 8, 2024  
**To:** Council  
**From:** City Manager  
**Address:** 1660 and 1670 Bernard Avenue  
**File No.:** Z23-0017

	Existing	Proposed
<b>OCP Future Land Use:</b>	C-NHD – Core Area Neighbourhood	C-NHD – Core Area Neighbourhood
<b>Zone:</b>	RU <sub>4</sub> – Duplex Housing	MF <sub>3</sub> – Apartment Housing

## 1.0 Recommendation

THAT Rezoning Application No. Z23-0017 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot 2 Section 20 Township 26 ODYD Plan 12275, located at 1660 Bernard Avenue, Kelowna, BC and Lot 3 Section 20 Township 26 ODYD Plan 12275, located at 1670 Bernard Avenue, Kelowna, BC from the RU<sub>4</sub> – Duplex Housing zone to the MF<sub>3</sub> – Apartment Housing zone, be considered by Council;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Attachment “A” attached to the Report from the Development Planning Department dated January 8, 2024;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council’s consideration of a Development Permit and Development Variance Permit for the subject properties.

## 2.0 Purpose

To rezone the subject properties from the RU<sub>4</sub> – Duplex Housing zone to the MF<sub>3</sub> – Apartment Housing zone to facilitate the development of apartment housing.

## 3.0 Development Planning

Staff support the proposed rezoning from the RU<sub>4</sub> – Duplex Housing zone to the MF<sub>3</sub> – Apartment Housing zone. The proposed rezoning will facilitate the development of apartment housing which aligns with the Official Community Plan (OCP) Future Land Use Designation of C-NHD – Core Area Neighbourhood. OCP Policy supports increased density and height, up to 6 storey apartment buildings, where properties directly abut Transit Supportive Corridors.

The applicant is required to dedicate 3.0 m of road along the Bernard Ave frontage, 1.5 m along Cherry Crescent, and a 5.0 m x 5.0 m corner cut at the intersection of Bernard Ave and Cherry Crescent. Existing driveway access onto Bernard Ave will be removed and access to the new development will be provided from Cherry Crescent.



Lot Area	Proposed (m <sup>2</sup> )
Gross Site Area	3240 m <sup>2</sup>
Road Dedication	~237 m <sup>2</sup>
Undevelopable Area	N/A
Net Site Area	~3003 m <sup>2</sup>

4.0 Site Context & Background

Orientation	Zoning	Land Use
North	RU <sub>4</sub> – Duplex Housing	Single Detached Housing
East	RU <sub>4</sub> – Duplex Housing	Single Detached Housing
South	P <sub>2</sub> – Education and Minor Institutional	Parkinson Recreation Park
West	RU <sub>4</sub> – Duplex Housing	Duplex Housing & Single Detached Housing

Subject Property Map: 1660 & 1670 Bernard Avenue



The subject properties are located on Bernard Avenue near the intersection with Burtch Road. Bernard Ave and Burtch Road are both Transit Supportive Corridors, with transit stops located immediately adjacent to the development site. Parkinson Recreation Park, including sports fields, courts, and fitness & recreation facilities is located immediately south.

## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

<b>Objective 5.2 Focus residential density along Transit Supportive Corridors (Chapter 5: The Core Area)</b>	
Policy 5.2.1 Transit Supportive Corridor Densities	Encourage development that works toward a long-term population density of between 50 – 100 people per hectare within 200 metres of each corridor to achieve densities that support improved transit service and local services and amenities. Discourage underdevelopment of properties along Transit Supportive Corridors. <i>The project is on Bernard Avenue, which is a Transit Supportive Corridor. The proposed zone would allow increased population density along the corridor.</i>
Policy 5.2.2 Building Height	Encourage low rise apartments and stacked townhouses up to six storeys in height in Core Area Neighbourhoods that front or directly abut Transit Supportive Corridors. Consider lower heights for such projects where adjacent neighbourhoods are not anticipated to experience significant infill and redevelopment. Consider buildings above six storeys where the project is adjacent to higher capacity transit along Highway 97, a major intersection, or near an Urban Centre, with due consideration for the context of the surrounding neighbourhood. <i>The MF3 zone would facilitate apartment housing up to six storeys in height.</i>
Policy 5.2.5 Corridor Access and Consolidation	Encourage consolidation of properties and location of automobile accesses from lanes or side streets to reduce or eliminate the number of accesses directly onto Transit Supportive Corridors. <i>Vehicular access to the site is from Cherry Crescent W at the east side of the development site. Existing driveways on Bernard Ave will be removed.</i>

## 6.0 Application Chronology

Application Accepted:	March 22, 2023
Public Information Session:	November 21, 2023
Neighbourhood Notification Summary Received:	November 24, 2023

<b>Report prepared by:</b>	Mark Tanner, Planner II
<b>Reviewed by:</b>	Lydia Korolchuk, Acting Planning Supervisor
<b>Reviewed by:</b>	Jocelyn Black, Urban Planning Manager
<b>Approved for Inclusion:</b>	Ryan Smith, Divisional Director, Planning & Development Services

### **Attachments:**

Attachment A: Development Engineering Memo

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).

---

**CITY OF KELOWNA**  
**MEMORANDUM**

---

**Date:** November 29, 2023 (Revision 2)  
**File No.:** Z23-0017  
**To:** Urban Planning (LK)  
**From:** Development Engineering Manager (NC)  
**Subject:** 1660-1670 Bernard Ave



RU4 to MF3

---

The Development Engineering Branch has the following requirements associated with this Rezoning application to rezone the subject properties from the RU4 - Duplex Housing zone to the MF3 - Apartment Housing zone to facilitate the development of apartment housing.

Directly attributable servicing requirements have been assessed in the memo under file DP23-0188 and will be required as a condition of Building Permit issuance.

The Development Engineering Technician for this file is Sarah Kelly (skelly@kelowna.ca).

**1. GENERAL**

- a. The following comments and requirements are valid for a period of one (1) year from the reference date of this memo, or until the application has been closed, whichever occurs first. The City of Kelowna reserves the rights to modify some or all items in this memo if the zone amendment bylaw is not adopted within this time.
- b. Comments and requirements contained herein assume the subject properties will be consolidated into a single lot.

**2. PROPERTY-RELATED REQUIREMENTS**

- a. A Transportation Assessment is required of this development to assess connectivity with and impacts to the surrounding transportation network. The results of this assessment may inform additional or modified requirements. Please contact the development technician for this file to obtain terms of reference for completing the analysis.
- b. A road dedication of 3.0 m along the entire Bernard Ave frontage is required to achieve a ½ ROW width of 15 m in accordance with typical section XS-R89 (former SS-R9) for a Core Area Major Arterial (Multi-Lane) Classification, modified for an ultimate 30.0 m ROW width + supporting fill slope in accordance with the DCC Project design.
- c. A road dedication of 1.5 m along the Cherry Cr W frontage is required to achieve a ROW width of 18 m in accordance with typical section XS-R27 for a Core Area Local Classification.
- d. A 5 x 5 m corner cut road dedication at Bernard Ave and Cherry Cr W is required.

  
\_\_\_\_\_  
Nelson Chapman, P.Eng.  
Development Engineering Manager

SK

**CITY OF KELOWNA**  
**BYLAW NO. 12607**  
**Z23-0017**  
**1660 and 1670 Bernard Avenue**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of:
  - a. Lot 2 Section 20 Township 26 ODYD Plan 12275, located on Bernard Avenue, Kelowna, BC;
  - b. Lot 3 Section 20 Township 26 ODYD Plan 12275, located on Bernard Avenue, Kelowna, BC;from the RU<sub>4</sub> – Duplex Housing zone to the MF<sub>3</sub> – Apartment Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Approved under the Transportation Act this

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk





City of  
**Kelowna**

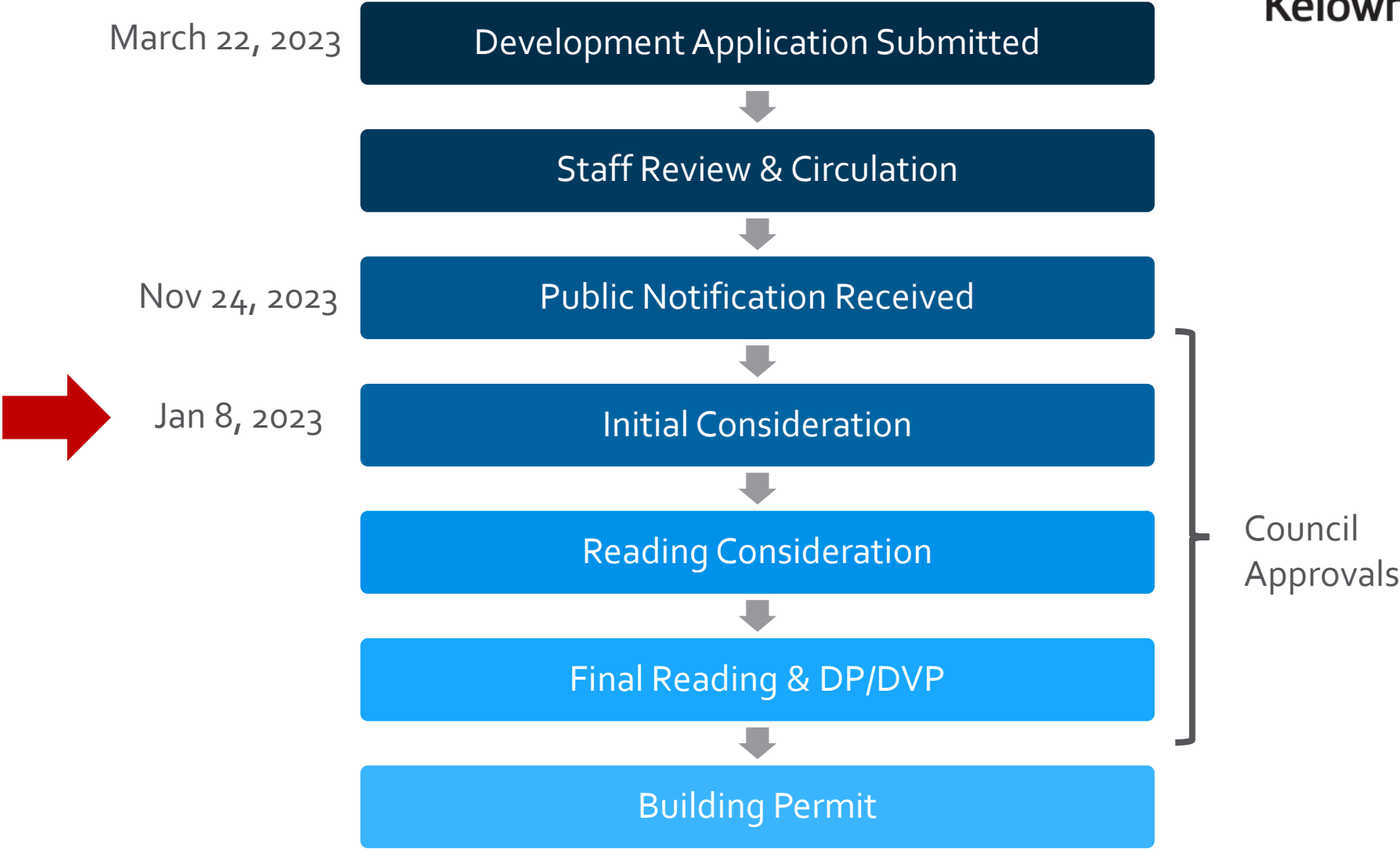
# Z23-0017 1660 & 1670 Bernard

Rezoning Application

# Purpose

- ▶ To rezone the subject properties from the RU<sub>4</sub> – Duplex Housing zone to the MF<sub>3</sub> – Apartment Housing zone to facilitate the development of apartment housing.

# Development Process





# Context Map



Walk Score  
**69**

Transit Score  
**53**

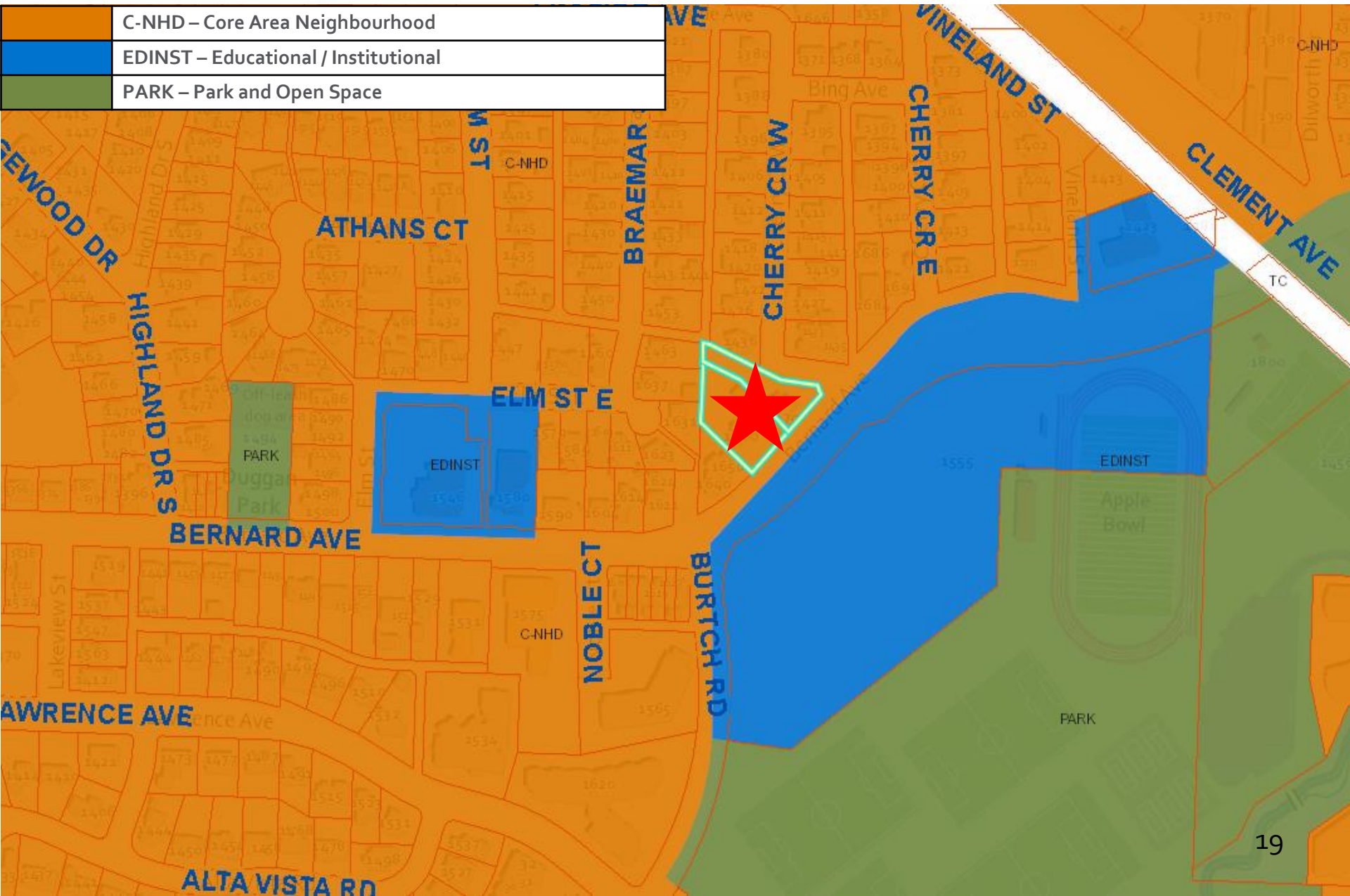
Bike Score  
**94**



# OCP Future Land Use



	C-NHD – Core Area Neighbourhood
	EDINST – Educational / Institutional
	PARK – Park and Open Space





# Subject Property Map



# Project Details

- ▶ RU<sub>4</sub> – Duplex Housing to MF<sub>3</sub> – Apartment Housing
  - ▶ Facilitate the construction of Apartment Housing
  - ▶ Vehicle access from Cherry Crescent
  - ▶ Fronting a Transit Supportive Corridor

# OCP Objectives & Policies

- ▶ Policy 5.2.1 Transit Supportive Corridor Densities
  - ▶ Encourage minimum densities along Transit Supportive Corridors
- ▶ Policy 5.2.2 Building Height
  - ▶ Encourage apartments up to six storeys in Core Area Neighbourhoods that directly abut Transit Supportive Corridors
- ▶ Policy 5.2.5 Corridor Access and Consolidation
  - ▶ Encourage consolidation of lots and eliminate the number of vehicle accesses directly onto Transit Supportive Corridors



# Staff Recommendation

- ▶ Staff recommend **support** for the proposed Rezoning as it is consistent with:
  - ▶ OCP Future Land Use: C-NHD – Core Area Neighbourhood
  - ▶ OCP Policies:
    - ▶ Transit Supported Corridor Densities
    - ▶ Building Height
    - ▶ Corridor Access and Consolidation
  - ▶ Development Permit to follow

# REPORT TO COUNCIL REZONING



**Date:** January 8, 2024  
**To:** Council  
**From:** City Manager  
**Address:** 1132 Centennial Cr  
**File No.:** Z23-0068

	Existing	Proposed
<b>OCP Future Land Use:</b>	C-NHD – Core Area Neighbourhood	C-NHD – Core Area Neighbourhood
<b>Zone:</b>	RU <sub>4</sub> – Duplex Housing	MF <sub>1</sub> – Infill Housing

## 1.0 Recommendation

THAT Rezoning Application No. Z23-0068 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of LOT 13 DISTRICT LOT 137 ODYD PLAN 8890, located at 1132 Centennial Cr, Kelowna, BC from the RU<sub>4</sub> – Duplex Housing zone to the MF<sub>1</sub> – Infill Housing zone, be considered by Council;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Attachment “A” attached to the Report from the Development Planning Department dated January 8, 2024;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council’s consideration of a Development Variance Permit for the subject property.

## 2.0 Purpose

To rezone the subject property from the RU<sub>4</sub> – Duplex Housing zone to the MF<sub>1</sub> – Infill Housing zone to allow for a small-scale infill development.

## 3.0 Development Planning

Staff support the proposed rezoning from the RU<sub>4</sub> – Duplex Housing zone to the MF<sub>1</sub> – Infill Housing zone for the subject property. The MF<sub>1</sub> zone aligns with the Official Community Plan (OCP) Future Land Use Designation of C-NHD – Core Area Neighbourhood. This Future Land Use is intended to accommodate a range of small-scale infill uses, such as ground-oriented multi-unit residential up to two (2) storeys.

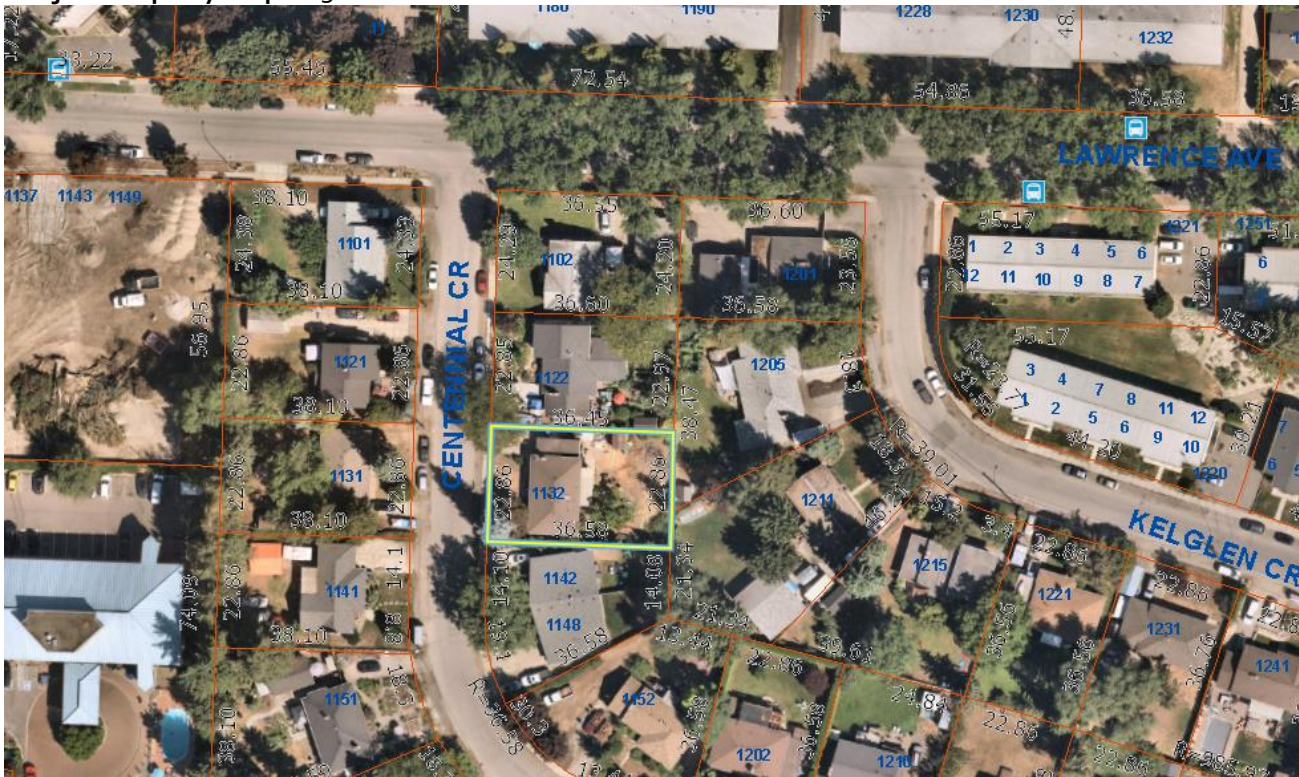
This proposed rezoning aligns with the new Provincial legislation regarding Small Scale Multi-Unit Housing.

Lot Area	Proposed (m <sup>2</sup> )
Gross Site Area	836.13 m <sup>2</sup>
Road Dedication	34.29 m <sup>2</sup>
Undevelopable Area	45.72 m <sup>2</sup>
Net Site Area	756.12 m <sup>2</sup>

4.0 Site Context & Background

Orientation	Zoning	Land Use
North	RU <sub>4</sub> – Duplex Housing	Single Dwelling House
East	RU <sub>4</sub> – Duplex Housing	Single Dwelling House
South	RU <sub>4</sub> – Duplex Housing	Duplex Housing
West	RU <sub>4</sub> – Duplex Housing	Single Dwelling House

Subject Property Map: 1132 Centennial Cr



The subject property is located along Centennial Cr near the intersection of Centennial Cr and Lawrence Ave. The applicant is proposing to keep the single-detached home and build a duplex on the east side of the property (rear yard). The surrounding land uses are single dwelling homes and duplexes. Townhouse housing, apartment housing and commercial uses are located nearby along Lawrence Ave and Gordon Drive. Transit stops are located along Lawrence Ave within 150 m of the property.

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Objective 5.3 Design residential infill to be sensitive to neighbourhood context	
Policy 5.3.1. Ground Oriented Infill	Encourage gentle densification in the form of ground-oriented residential uses such as house-plexes, townhouses and narrow lot housing to approximately 2 storeys, maintaining residential uses and setbacks that reflect the existing development pattern.  <i>The proposed rezoning to MF1 – Infill Housing zone would allow for sensitive infill up to 2-storeys.</i>

<b>Objective 5.11. Increase the diversity of housing forms and tenure to create an inclusive, affordable and complete Core Area.</b>	
Policy 5.11.1. Diverse Housing Forms	Ensure a diverse mix of low and medium density housing forms in the Core Area to support a variety of household types and sizes, income levels and life stages. <i>The application proposes to add housing options in the Core Area.</i>

**6.o Application Chronology**

Application Accepted: October 10, 2023  
 Neighbourhood Notification Summary Received: October 28, 2023

**Report prepared by:** Alissa Cook, Planner I  
**Reviewed by:** Dean Strachan, Community Planning & Development Manager  
**Reviewed by:** Nola Kilmartin, Development Planning Department Manager  
**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning & Development Services

**Attachments:**

Attachment A: Development Engineering Memo

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).



**ATTACHMENT** **A**

This forms part of application  
# Z23-0068

Planner Initials **AC**

City of Kelowna  
COMMUNITY PLANNING

**CITY OF KELOWNA**

**MEMORANDUM**

**Date:** November 7, 2023

**File No.:** Z23-0068

**To:** Urban Planning (AC)

**From:** Development Engineering Manager (NC)

**Subject:** 1132 Centennial Cr RU4 to MF1

The Development Engineering Department has the following comments associated with this application to rezone the subject properties rezone the subject property from RU4 - Duplex Housing to MF1 - Infill Housing to facilitate an addition of duplex development.

Works and Services attributable at time of Building Permit are contained in the Development Engineering memo under file DP23-0181.


The Development Engineering Technologist for this file is Sarah Kelly (skelly@kelowna.ca).

**1. PROPERTY-RELATED REQUIREMENTS**

- a. Approximately 1.5 m road dedication along the entire frontage of Centennial Cr is required to achieve a ROW width of 18 m in accordance with OCP Functional Road Classification objectives.
- b. A 2.0 m Statutory Right of Way must be registered along entire east property line to provide minimum utility right-of-way width as per Bylaw 7900, Schedule 4, Section 0.4.

**2. DOMESTIC WATER AND FIRE PROTECTION**

- a. The City estimates that the minimum fire flow of 90 L/s for Medium-Density Residential, in accordance with Bylaw 7900 standards, is available from the watermain fronting the subject property, given our modelling assumptions. The Developer's Consulting Engineer should contact the development technician for this file to confirm the City's modeling assumptions are suitable for this proposed development.

  
Nelson Chapman, P.Eng.  
Development Engineering Manager  
SK

**CITY OF KELOWNA**  
**BYLAW NO. 12608**  
**Z23-0068**  
**1132 Centennial Crescent**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 13 District Lot 137 ODYD Plan 8890 located on Centennial Crescent, Kelowna, BC from the RU<sub>4</sub> – Duplex Housing zone to the MF<sub>1</sub> – Infill Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Approved under the Transportation Act this

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



City of  
**Kelowna**

# Z23-0068 1132 Centennial Cr

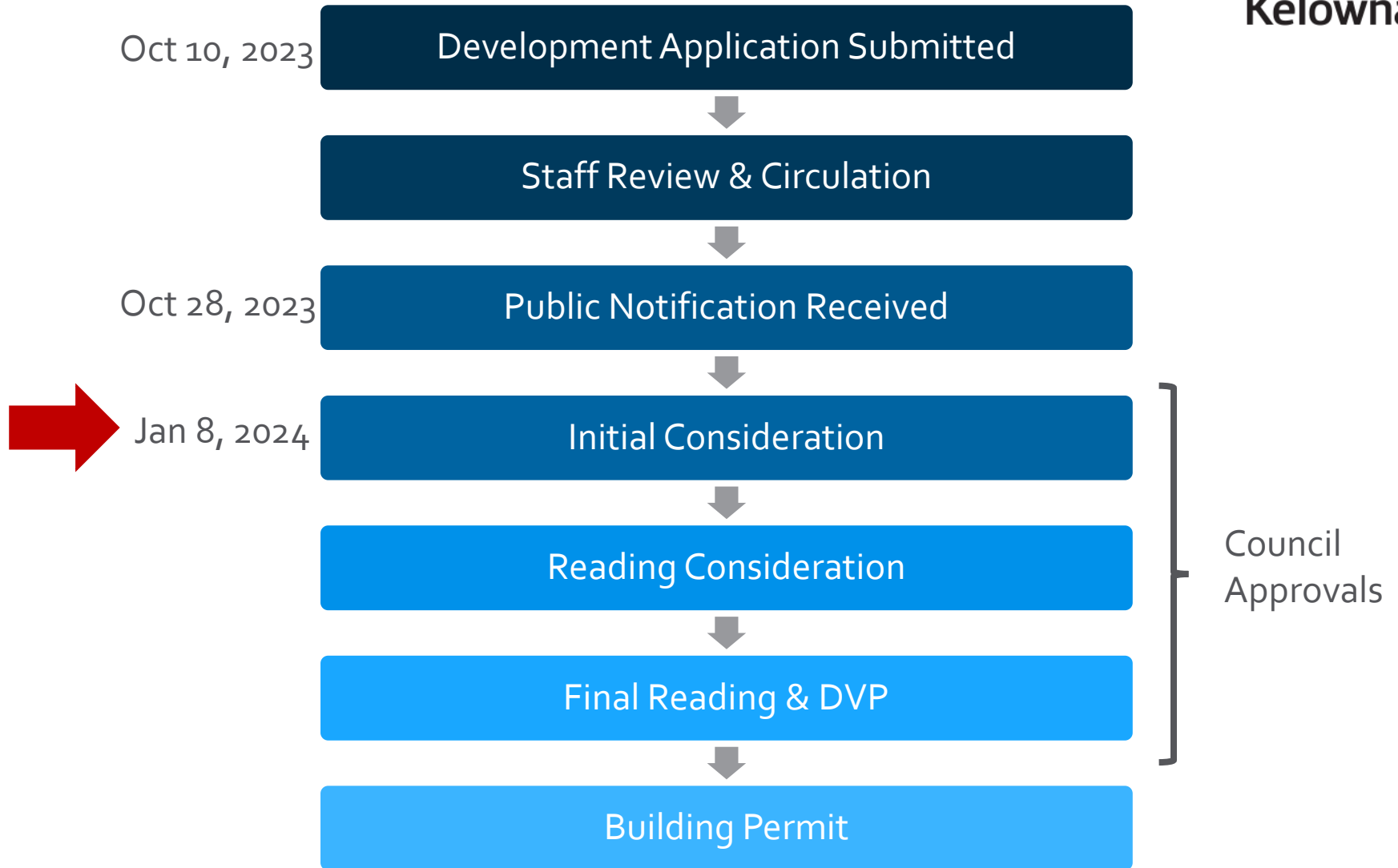
Rezoning Application

# Purpose

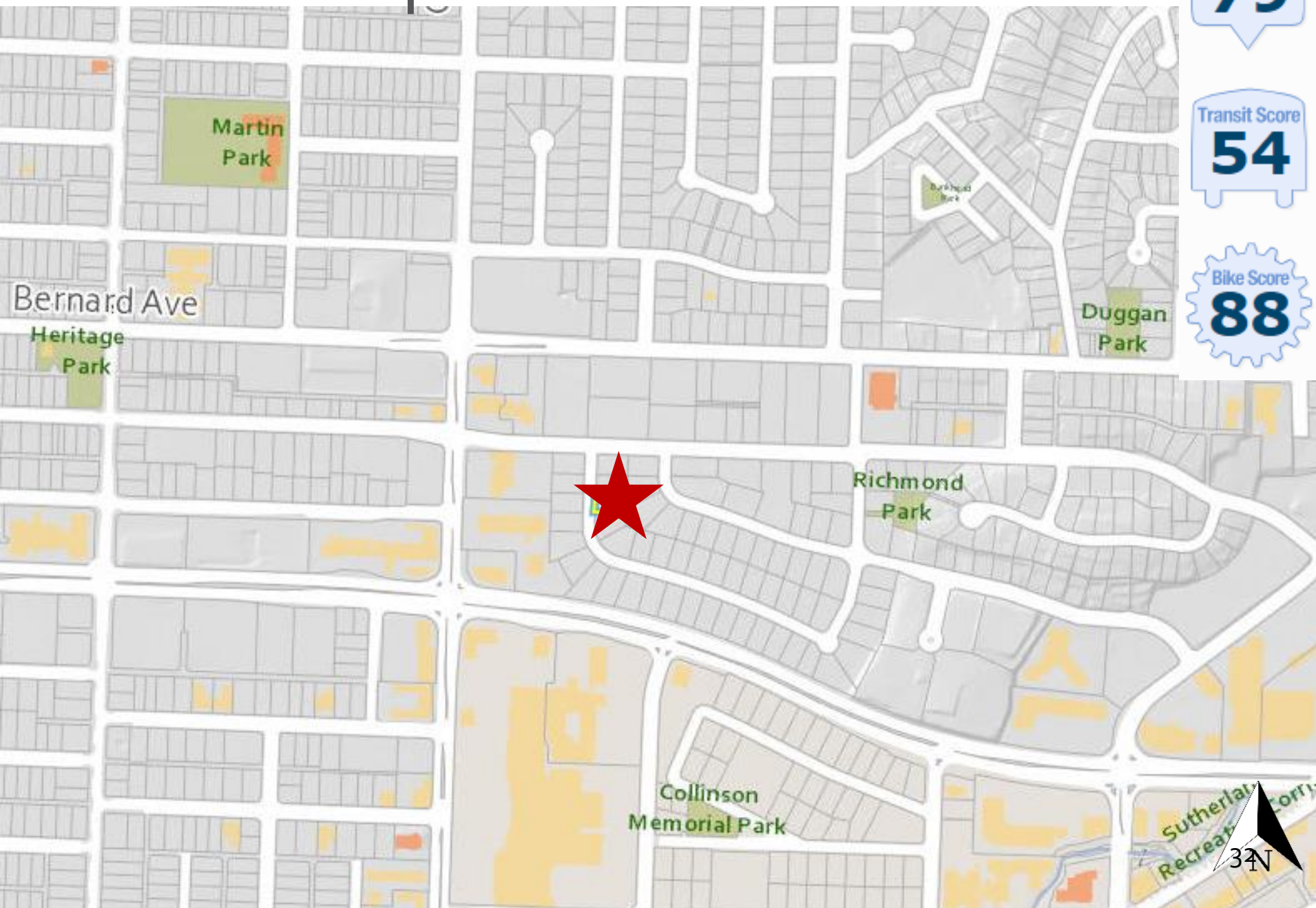
- ▶ To rezone the subject property from the RU<sub>4</sub> – Duplex Housing zone to the MF<sub>1</sub> – Infill Housing zone to allow for a small-scale infill development.



# Development Process



# Context Map



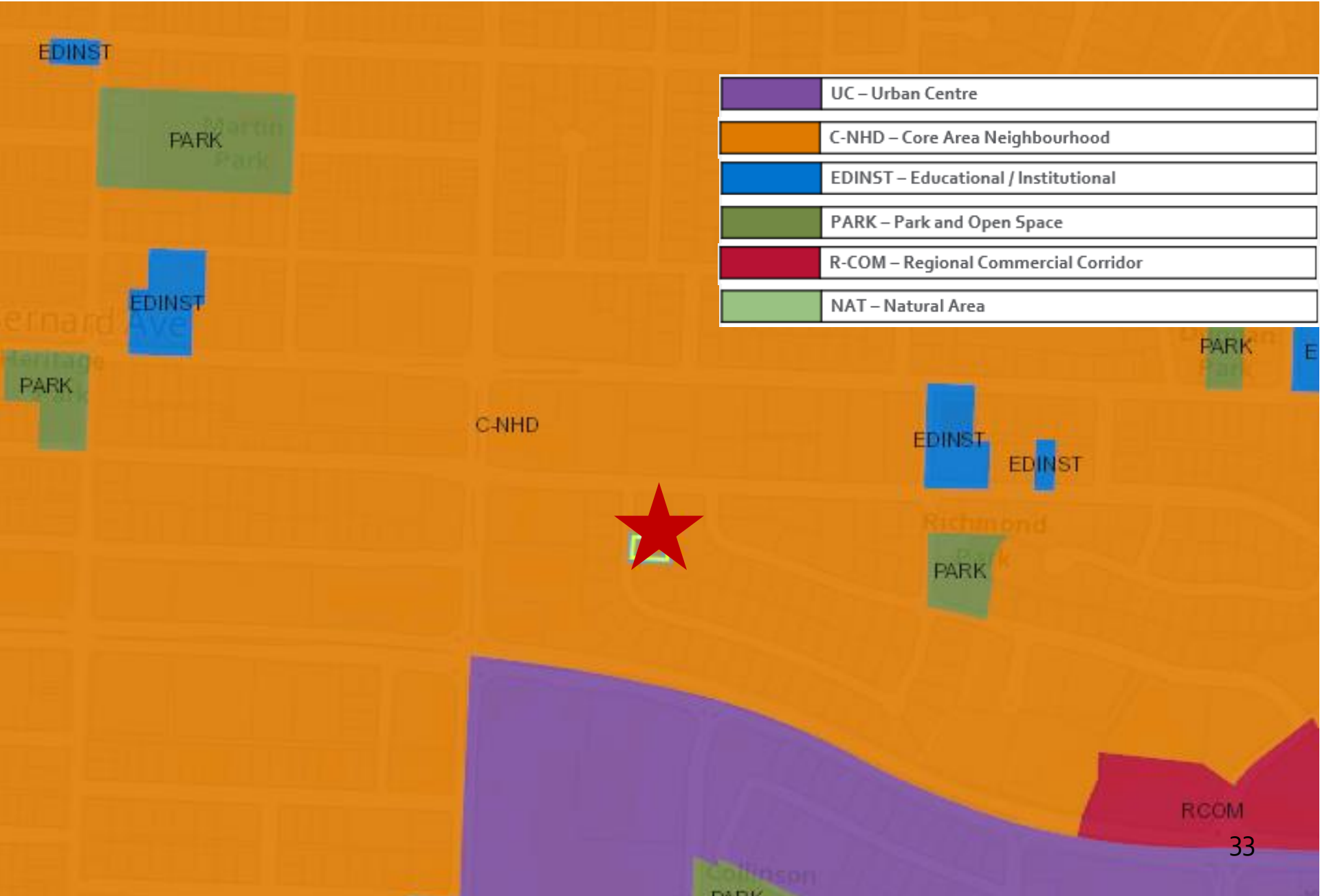
Walk Score  
**79**

Transit Score  
**54**

Bike Score  
**88**



# OCP Future Land Use





# Subject Property Map





# Project Details

- ▶ C-NHD – Core Area Neighbourhood
- ▶ MF<sub>1</sub> – Infill Housing
  - ▶ Allows ground-oriented multi-unit infill development
  - ▶ 2 storey maximum height
- ▶ Transit within 150 m along Lawrence Ave

# OCP Objectives & Policies

- ▶ Policy 5.3.1: Ground Oriented Infill
  - ▶ Encourage gentle densification such as house-plexes
- ▶ Policy 5.11.1. Diverse Housing Forms
  - ▶ Encourage low and medium density housing in Core Area

# Staff Recommendation

- ▶ Staff recommend **support** for the proposed rezoning as it is consistent with:
  - ▶ OCP Future Land Use C-NHD
  - ▶ OCP Objectives in Chapter 5 Core Area
    - ▶ Ground Oriented Infill
    - ▶ Housing Diversity
  - ▶ Aligns with new Provincial legislation
  - ▶ Development Variance Permit to follow



# Report to Council



**Date:** January 8, 2024  
**To:** Council  
**From:** City Manager  
**Department:** Office of the City Clerk  
**Subject:** Rezoning Bylaws Supplemental Report to Council

---

**Recommendation:**

THAT Council receives, for information, the report from the Office of the City Clerk dated January 8, 2024 with respect to four rezoning applications;

AND THAT Rezoning Bylaws No. 12601, 12602, 12605 and 12606 be forwarded for further reading consideration.

**Purpose:**

To receive a summary of notice of first reading for Rezoning Bylaws No. 12601, 12602, 12605 and 12606 and to give the bylaws further reading consideration.

**Background:**

A public hearing cannot be held for zoning bylaws for residential development that are consistent with the OCP. A public hearing is not required for all other zoning bylaws that are consistent with the OCP. Public notice is given before first reading with signage on the subject property, newspaper advertisements, and mailouts in accordance with the Local Government Act and Development Application & Heritage Procedures Bylaw No. 12310.

**Discussion:**

The four Rezoning Applications were brought forward to Council for initial consideration on November 27, 2023. Notice of first reading was completed as outlined above.

Correspondence was received as per the following table:

Address	Application	Bylaw	Public Hearing Option	Recommended Readings	Correspondence Received
<a href="#">615 Francis Rd</a>	Z23-0041	12601	No	1 <sup>st</sup> , 2 <sup>nd</sup> , 3 <sup>rd</sup>	0
<a href="#">569 Radant Rd</a>	Z22-0072	12602	No	1 <sup>st</sup> , 2 <sup>nd</sup> , 3 <sup>rd</sup>	1
<a href="#">4456 Lakeshore Rd</a>	Z23-0066	12605	No	1 <sup>st</sup> , 2 <sup>nd</sup> , 3 <sup>rd</sup> , adopt	0
<a href="#">3226 Appaloosa Rd</a>	Z23-0025	12606	Yes	1 <sup>st</sup> , 2 <sup>nd</sup> , 3 <sup>rd</sup>	0

These applications were brought forward with a recommendation of support from the Development Planning Department. Staff are recommending Council proceed with further readings of the Bylaws.

**Conclusion:**

Following notice of first reading, staff are recommending that Council give Rezoning Bylaws No. 12601, 12602, 12605 and 12606 further reading consideration.

**Considerations applicable to this report:**

**Legal/Statutory Authority:**

*Local Government Act s. 464(2)*

**Legal/Statutory Procedural Requirements:**

Following the notification period under s. 467 of the Local Government Act, Council may choose to:

- give a bylaw reading consideration,
- defeat the bylaw, or
- for non-residential bylaws, give a bylaw first reading and advance the bylaw to a Public Hearing.

**Considerations not applicable to this report:**

**Existing Policy:**

**Financial/Budgetary Considerations:**

**External Agency/Public Comments:**

**Communications Comments:**

Submitted by: L Klaamas, Legislative Technician

Approved for inclusion: S Fleming, City Clerk

cc: Development Planning

**CITY OF KELOWNA**

**BYLAW NO. 12601**

**Z23-0041**

**615 Francis Avenue**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 15 District Lot 14 ODYD Plan 1141 located on Francis Avenue Kelowna, BC from the MF2 – Townhouse Housing zone to the MF1 – Infill Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



**CITY OF KELOWNA**

**BYLAW NO. 12602**

**Z22-0072**

**569 Radant Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of portions of Lot 2 Section 1 Township 25 ODYD Plan 6491 located on Radant Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the MF1 – Infill Housing zone and the P3 – Parks and Open Space zone as shown on Map "A" attached to and forming part of this bylaw.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

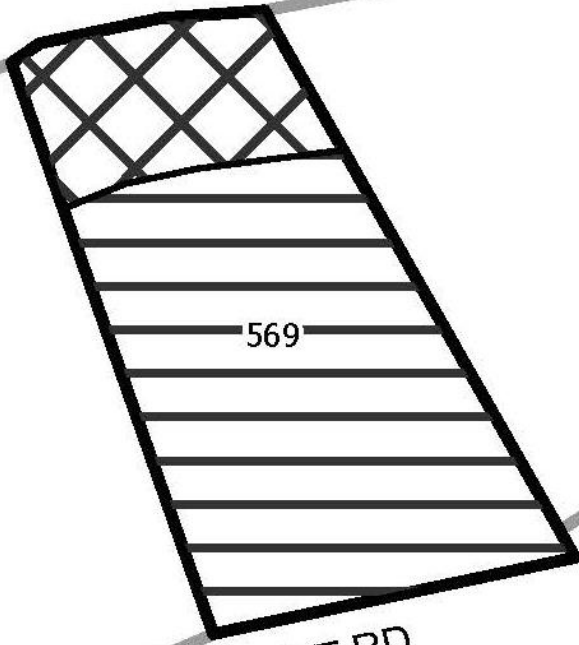
Adopted by the Municipal Council of the City of Kelowna this

---




Mayor

---

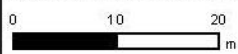
City Clerk



**MAP "A" ZONING AMENDMENT  
Z22-0072**

-  RU1 - Large Lot Housing to P3 - Parks and Open Space
-  RU1 - Large Lot Housing to MF1 - Infill Housing
-  Subject Property

This map is for general information only.  
The City of Kelowna does not guarantee its  
accuracy. All information should be verified.



Rev. Thursday, November 9, 2023



**CITY OF KELOWNA**  
**BYLAW NO. 12606**  
**Z23-0025**  
**3226 Appaloosa Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 15 Section 2 Township 23 ODYD Plan 18861 located on Appaloosa Road, Kelowna, BC from the RR2 - Small Lot Rural Residential zone to the I2 – General Industrial zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Approved under the Transportation Act this

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



**CITY OF KELOWNA**  
**BYLAW NO. 12605**  
**Z23-0066**  
**4456 Lakeshore Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 2 District Lot 167 ODYD Plan 36692 located on Lakeshore Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU1cc – Large Lot Housing with Child Care Centre, Major zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

# REPORT TO COUNCIL DEVELOPMENT PERMIT



**Date:** January 8, 2024  
**To:** Council  
**From:** City Manager  
**Address:** 1864 Gordon Dr  
**File No.:** DP22-0109  
**Zone:** CA1 – Core Area Mixed Use

---

## 1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP22-0109 for Lot B District Lot 138 ODYD Plan 42637, located at 1864 Gordon Dr, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## 2.0 Purpose

To issue a Development Permit for the form and character of a mixed use residential commercial building.

## 3.0 Development Planning

Staff support the proposed Development Permit for the form and character of a 6-storey mixed use (residential / commercial) building with ground-oriented townhomes and commercial at grade. The proposal aligns with the Official Community Plan (OCP) Form and Character design Guidelines for Low & Mid-Rise Residential & Mixed Use Development. Key Guidelines that are met include:

- Orienting building facades and entries to the fronting streets and incorporating individual entrances;
- Breaking up the perceived mass of the building by incorporating visual breaks in the façade and stepping back the upper storeys;
- Incorporating frequent entrances for at grade commercial to create punctuation, rhythm and visual interest;
- Locating parking beneath grade to maximize soil volumes for in-ground plantings;
- Designing usable open spaces that balance privacy and access.

Proposed building materials include brick cladding, weathered metal and grey cement panels, faux wood pattern and light grey vertical metal siding. The development provides generous common and private

amenities that are accommodated through private balconies, indoor amenity rooms including a gym and conference room, rooftop outdoor amenity area, and private patios for the ground-oriented units along Lequime St. Site landscaping is robust and is anticipated to complement the development well including at grade and above grade tree plantings proposed to help screen the building.

**4.0 Subject Property & Background**

**4.1 Subject Property Map**



The subject property is located west of the Capri-Landmark Urban Centre boundary which ends on the east side of Gordon Dr. Gordon Drive is designated a Transit Supportive Corridor (TSC) and a Retail Street in the 2040 OCP.

**5.0 Zoning Bylaw Regulations Summary**

AREA & UNIT STATISTICS	
Gross Lot Area	3620.45 m <sup>2</sup>
Road Dedication	-204 m <sup>2</sup>
<b>Total Number of Units</b>	<b>71</b>
1-bed	38
2-bed	29
3-bed	4
Net Commercial Floor Area	387.65 m <sup>2</sup>

<b>DEVELOPMENT REGULATIONS</b>		
<b>CRITERIA</b>	<b>CA1 ZONE</b>	<b>PROPOSAL</b>
<b>Total Maximum Floor Area Ratio</b>	<b>1.8</b>	<b>1.48</b>
Max. Site Coverage (buildings)	75%	73.99%
Max. Site Coverage (buildings, parking, driveways)	85%	79.8%
<b>Max. Height</b>	<b>6 storeys &amp; 22.0 m</b>	<b>6 storeys &amp; 21.97 m</b>
<b>Setbacks</b>		
Min. Front Yard (east)	2.0 m	6.24 m
Min. Front Yard (west)	3.0 m	5.5 m
Min. Side Yard (north)	3.0 m	3.07 m
Min. Side Yard (south)	3.0 m	3.0 m
<b>Step backs</b>		
Min. Fronting Street (east)	3.0 m	3.3 m
Min. Fronting Street (west)	3.0 m	4.01 m
<b>Amenity Space</b>		
<b>Total Required Amenity Space</b>	<b>1,395 m<sup>2</sup></b>	<b>1,599 m<sup>2</sup></b>
Common	284 m <sup>2</sup>	400 m <sup>2</sup>
Private		1,199 m <sup>2</sup>
<b>Landscaping</b>		
Min. Number of Trees	9 trees	11 trees
Min. Large Trees	5 trees	5 trees

<b>PARKING REGULATIONS</b>		
<b>CRITERIA</b>	<b>CA1 ZONE REQUIREMENTS</b>	<b>PROPOSAL</b>
<b>Total Required Vehicle Parking</b>	<b>85 stalls</b>	<b>88 stalls</b>
Residential	75	78
Commercial	10	10
Visitor	10* (overlaps with commercial stalls)	10* (overlaps with commercial stalls)
Ratio of Regular to Small Stalls	Min. 50% Regular Max. 50% Small	50% Regular 50% Small
Min. Loading Stalls	1 stall	1 stall
Bicycle Stalls Short-Term	14 stalls	14 stalls
Bicycle Stalls Long-Term	54 stalls	58 stalls
Bike Wash & Repair	y	y

## 6.0 Application Chronology

Application Accepted: May 2, 2022

**Report prepared by:** Andrew Ferguson, Planner II  
**Reviewed by:** Jocelyn Black, Urban Planning Manager  
**Reviewed by:** Nola Kilmartin, Development Planning Department Manager  
**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning & Development Services

### Attachments:

Attachment A: Draft Development Permit DP22-0109



Schedule A: Site Plan & Floor Plans

Schedule B: Elevations, Sections & Renderings

Schedule C: Landscape Plan

Attachment B: OCP Form and Character Development Permit Guidelines

Attachment C: Applicant's letter of rationale

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).

# Development Permit

DP22-0109



This permit relates to land in the City of Kelowna municipally known as

**1864 Gordon Dr**

and legally known as

**Lot B District Lot 138 ODYD Plan 42637**

and permits the land to be used for the following development:

**Apartment Housing / Commercial**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

**Date of Council Approval: January 8, 2024**

Development Permit Area: Form and Character

Existing Zone: CA1 – Core Area Mixed Use

Future Land Use Designation: C-NHD – Core Area Neighbourhood

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Gav Enterprises Limited, Inc. No. BCo976750

Applicant: JY Architecture Inc.

---

Jocelyn Black  
Urban Planning Manager  
Planning & Development Services

---

Date of Issuance

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP22-0109 for Lot B District Lot 138 ODYD Plan 42637 located at 1864 Gordon Dr, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT this Development Permit is valid for two (2) years from the date of Manager approval, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$170,841.00**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

**PROJECT DATA**

**Address** 1864 Gordon Drive Kelowna BC  
**Legal Description** PLAN KAP42637 LOT B DISTRICT LOT 138  
**Current Zoning** CA1

**Site Area** 3,620.45 m2 before land dedication

<b>SCHEDULE A</b>	
This forms part of application # DP22-0109	
Planner Initials	AF
City of Kelowna COMMUNITY PLANNING	

FLOOR AREA RATIO	
ALLOWED 1.8	PROPOSED 1.48

LOT COVERAGE	
ALLOWED 75%	PROPOSED 64.3%

FLOOR AREA SUMMARY (NET AREA)						
Floor Level	Residential	Commercial	Indoor Common Amenity	Outdoor Common Amenity	Private Amenity	Gross Floor Area
L1	215.52m2	387.66m2	0m2	0m2	64.71m2	2,954.23m2
L2	935.76m2	0m2	193.27m2	207.04m2	197.09m2	2,275.17m2
L3	958.1m2	0m2	0m2	0m2	234.28m2	1,399.46m2
L4	958.1m2	0m2	0m2	0m2	234.28m2	1,196.57m2
L5	958.1m2	0m2	0m2	0m2	234.28m2	1,196.57m2
L6	958.1m2	0m2	0m2	0m2	234.28m2	1,196.57m2
<b>Total</b>	<b>4,983.68 m2</b>	<b>387.66m2</b>	<b>193.27m2</b>	<b>207.04m2</b>	<b>1,198.92m2</b>	<b>10,218.57m2</b>

COMMON AND PRIVATE AMENITY SPACE		
	MIN. REQUIRED	PROPOSED
COMMON & PRIVATE AMENITY SPACE	1,395m2	1,599.23m2
DEDICATED COMMON AMENITY SPACE	284m2	400.31m2

UNIT SUMMARY				
Floor	1 BED	2 BED	3 BED	Total
L1	0	5	0	5
L2	6	4	0	10
L3	8	5	1	14
L4	8	5	1	14
L5	8	5	1	14
L6	8	5	1	14
<b>Total</b>	<b>38</b>	<b>29</b>	<b>4</b>	<b>71</b>
%	54%	41%	6%	100%

**PARKING / LOADING / BICYCLE**

OFF-STREET PARKING & LOADING		
	REQ.	PROV.
<b>RESIDENTIAL</b>		
0.9 space / unit (Studio)	0.0	69 @P1
1 space / unit (1 bed)	38.0	9 @L1
1.1 space / unit (2 bed)	31.9	
1.4 space / unit (3 bed)	5.6	
0.14 visitor space / unit	9.9	10 @L1
<b>Total</b>	<b>85.4</b>	<b>88</b>
<b>COMMERCIAL</b>		
2.5 space / 100 m2	9.7	10
<b>Grand Total</b>	<b>95.1</b>	<b>98</b>
Accessible Parking Spaces incl. Van accessible stalls	3	3 (1 van space included)
Small car space ratio	50%	50% (38 spaces)
Commercial Loading (1 per 1,900 m2)	1	1

BICYCLE PARKING		
	REQ.	PROV.
<b>Residential</b>		
-Apartment		
Short-Term (6 per entrance)	6	6
Long-Term (0.75 per 2 Bed or less / 1 per 3 Bed or more)	54.25	58 P1 LEVEL
<b>Commercial</b>		
Short-Term (2 per entrance)	8	8
Long-Term (0.2 per 100m2)	1	1 LEVEL 1



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

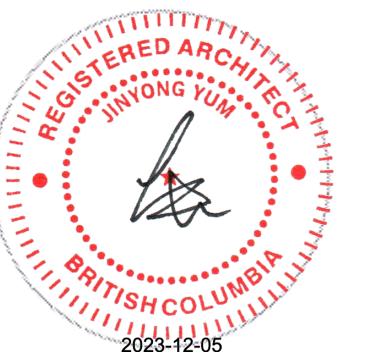
The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.

**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC

Project No.



Address

**JY ARCHITECTURE INC.**

2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9

Consultant

CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Scale AS NOTED Drawn By

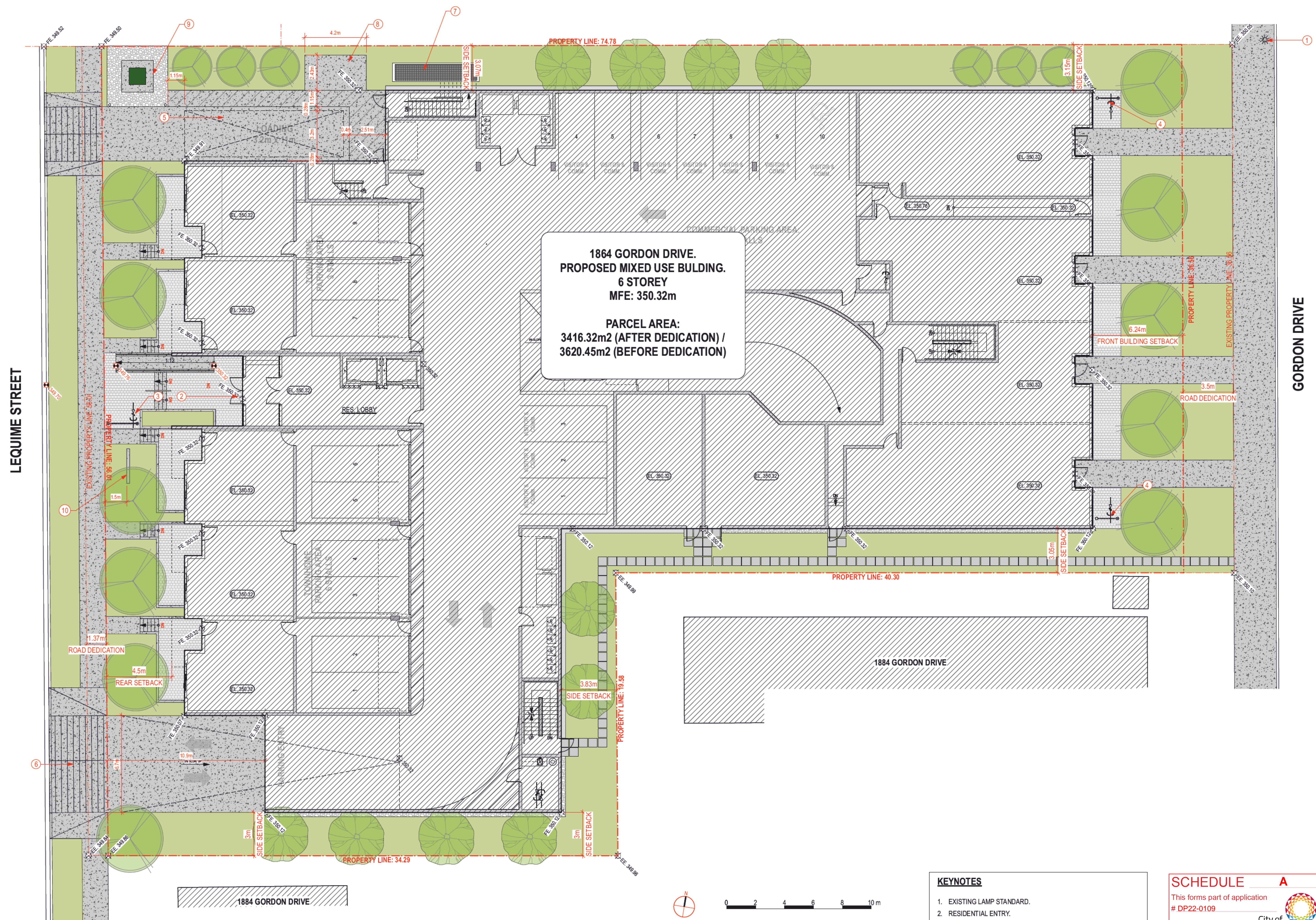
Date 2023-11-21 Revised By JY

Project ID 211210

Sheet No.

**SITE PLAN**

**A102**



**1864 GORDON DRIVE.  
PROPOSED MIXED USE BUILDING.  
6 STOREY  
MFE: 350.32m**

**PARCEL AREA:  
3416.32m<sup>2</sup> (AFTER DEDICATION) /  
3620.45m<sup>2</sup> (BEFORE DEDICATION)**

- KEYNOTES**
- EXISTING LAMP STANDARD.
  - RESIDENTIAL ENTRY.
  - RESIDENTIAL SHORT TERM BICYCLE PARKING. 6 SPACES.
  - COMMERCIAL SHORT TERM BICYCLE PARKING. 4 SPACES.
  - LOADING SPACE. 3.2m x 11m.
  - PROPOSED LETDOWN FOR PARKING ENTRY.
  - PARKING AIR EXHAUST GRATES.
  - GARBAGE STAGING AREA
  - PMT
  - RESIDENTIAL ENTRY SIGNAGE. SEE 3/A701

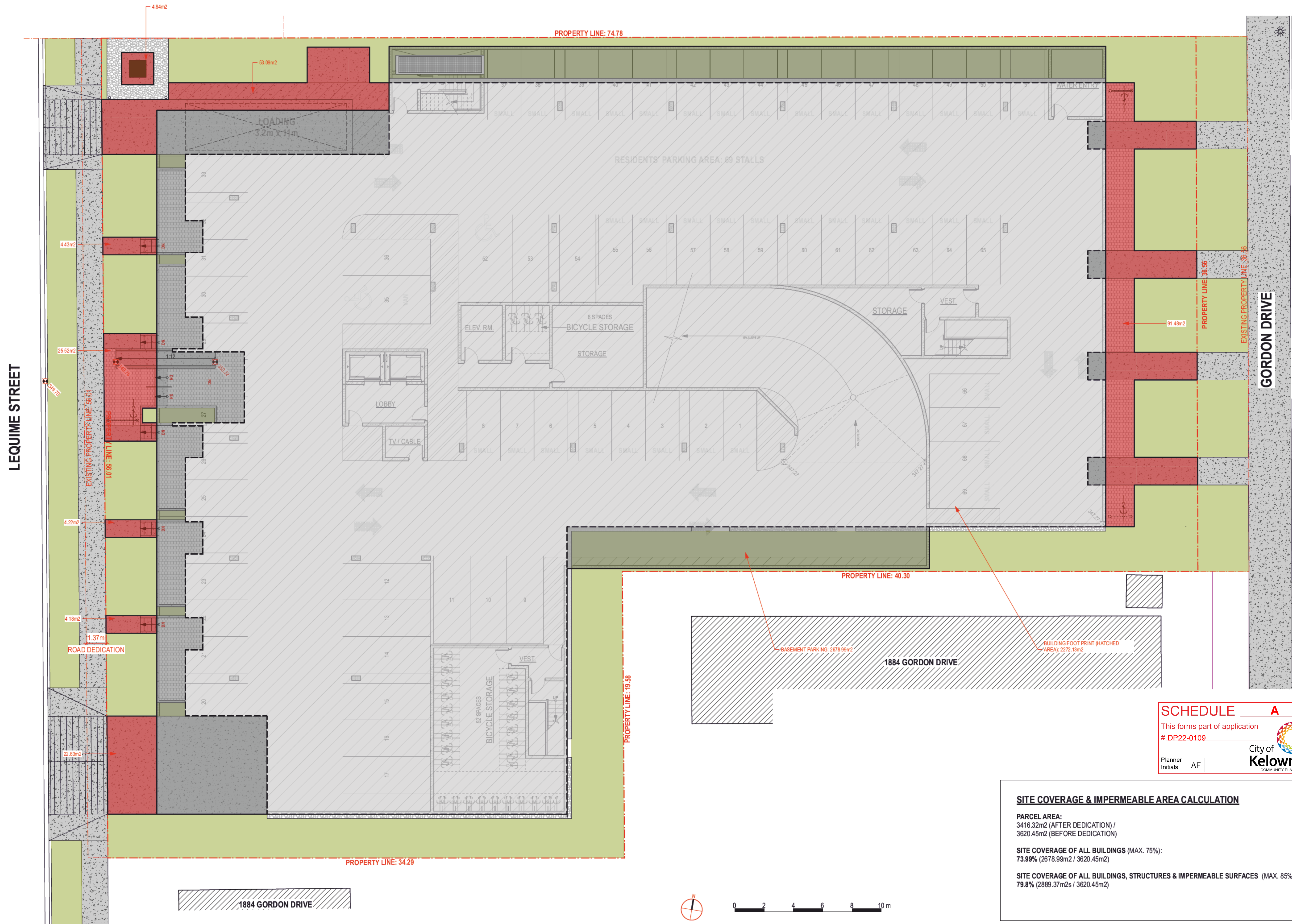
**SCHEDULE A**

This forms part of application # DP22-0109

Planner Initials AF

**1 SITE PLAN**  
Scale: 1:120





LEQUIME STREET

GORDON DRIVE



1 SITE COVERAGE & IMPERMEABLE AREA CALCULATION  
Scale: 1:120

**SCHEDULE A**  
This forms part of application  
# DP22-0109  
Planner Initials: AF  
City of Kelowna  
COMMUNITY PLANNING

**SITE COVERAGE & IMPERMEABLE AREA CALCULATION**

PARCEL AREA:  
3416.32m<sup>2</sup> (AFTER DEDICATION) /  
3620.45m<sup>2</sup> (BEFORE DEDICATION)

SITE COVERAGE OF ALL BUILDINGS (MAX. 75%):  
73.99% (2678.99m<sup>2</sup> / 3620.45m<sup>2</sup>)

SITE COVERAGE OF ALL BUILDINGS, STRUCTURES & IMPERMEABLE SURFACES (MAX. 85%):  
79.8% (2889.37m<sup>2</sup>s / 3620.45m<sup>2</sup>)

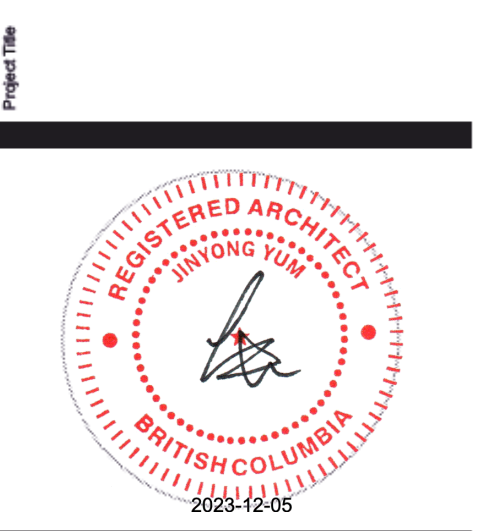
Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.

**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC



Abstract  
**JY ARCHITECTURE INC.**  
2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9  
Consultant  
CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project ID: 211210

**SITE COVERAGE & IMPERMEABLE AREA CALCULATION**

Sheet No.

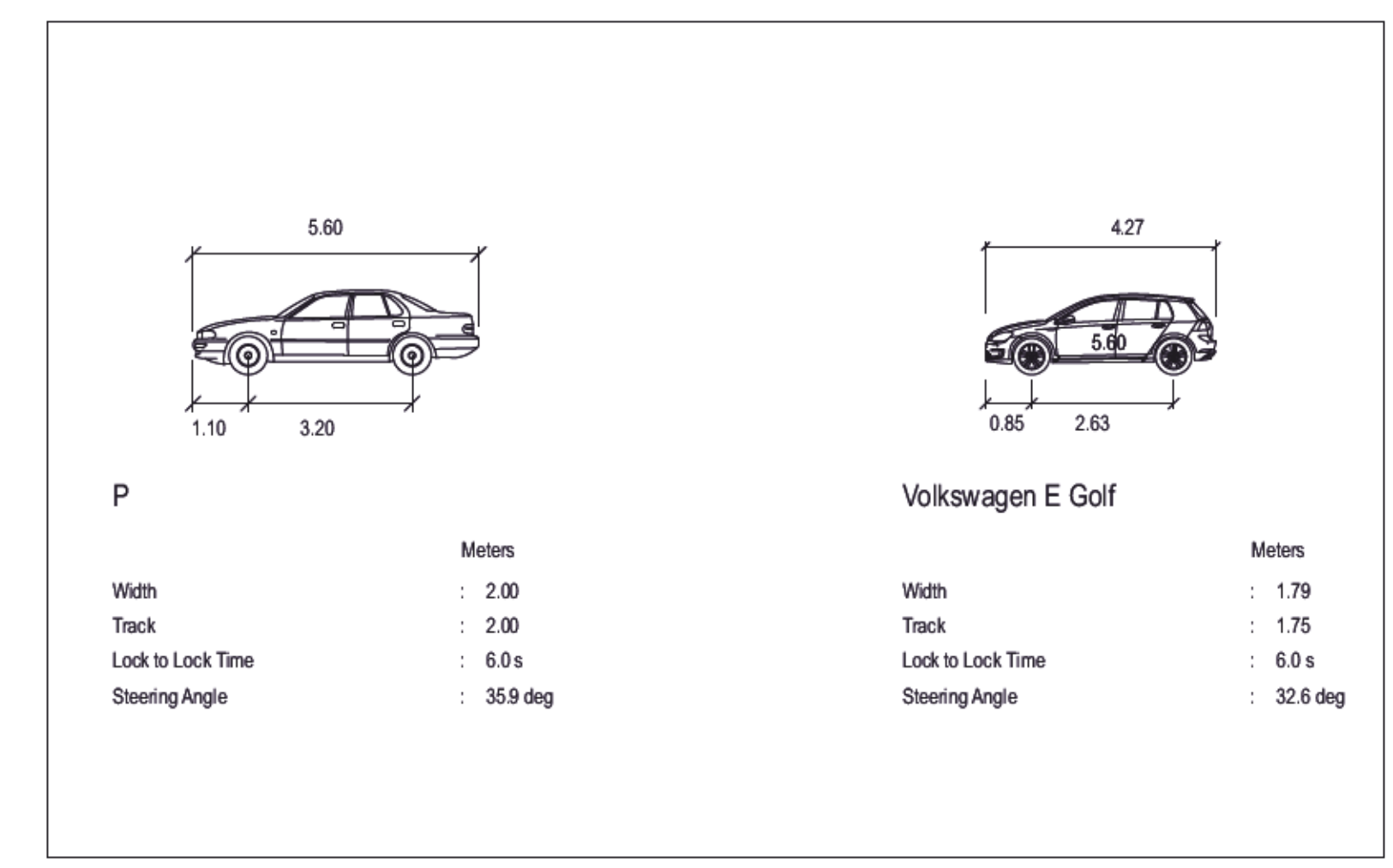
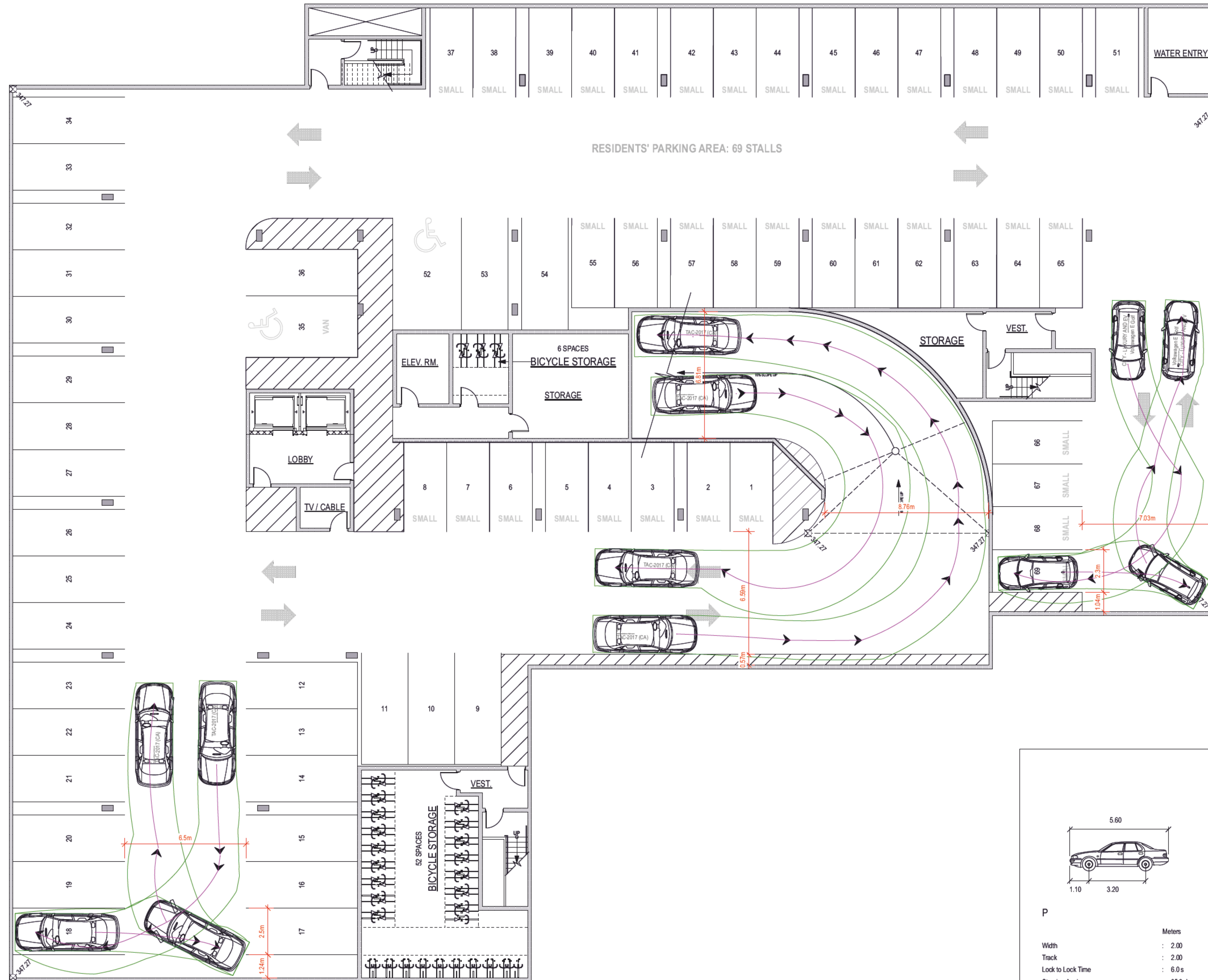
**A103**



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



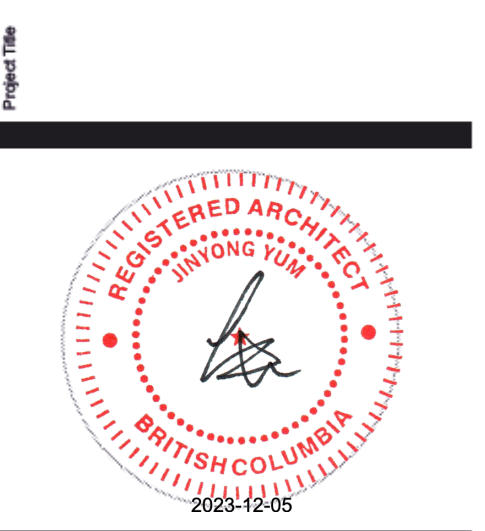
1 SWEPT PATH DIAGRAM- LEVEL P1  
Scale: 1:120

**SCHEDULE A**  
This forms part of application  
# DP22-0109

Planner Initials: AF

City of Kelowna  
COMMUNITY PLANNING

**MIXED USE APARTMENT**  
1864 GORDON DRIVE, KELOWNA, BC



Abstract  
**JY ARCHITECTURE INC.**  
2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9  
Consultant  
CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Scale: AS NOTED  
Date: 2023-11-21  
Project ID: 211210

SHEET TITLE  
**SWEPT PATH DIAGRAM- LEVEL P1**

SHEET NO.  
**A104**



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

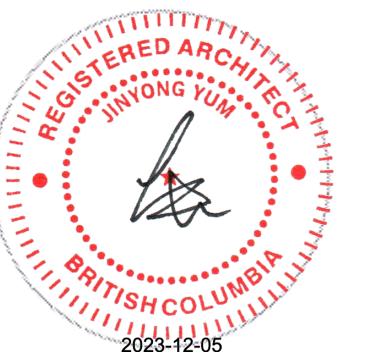
The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.

**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC

Project No.



**JY ARCHITECTURE INC.**

2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9

Consultant NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

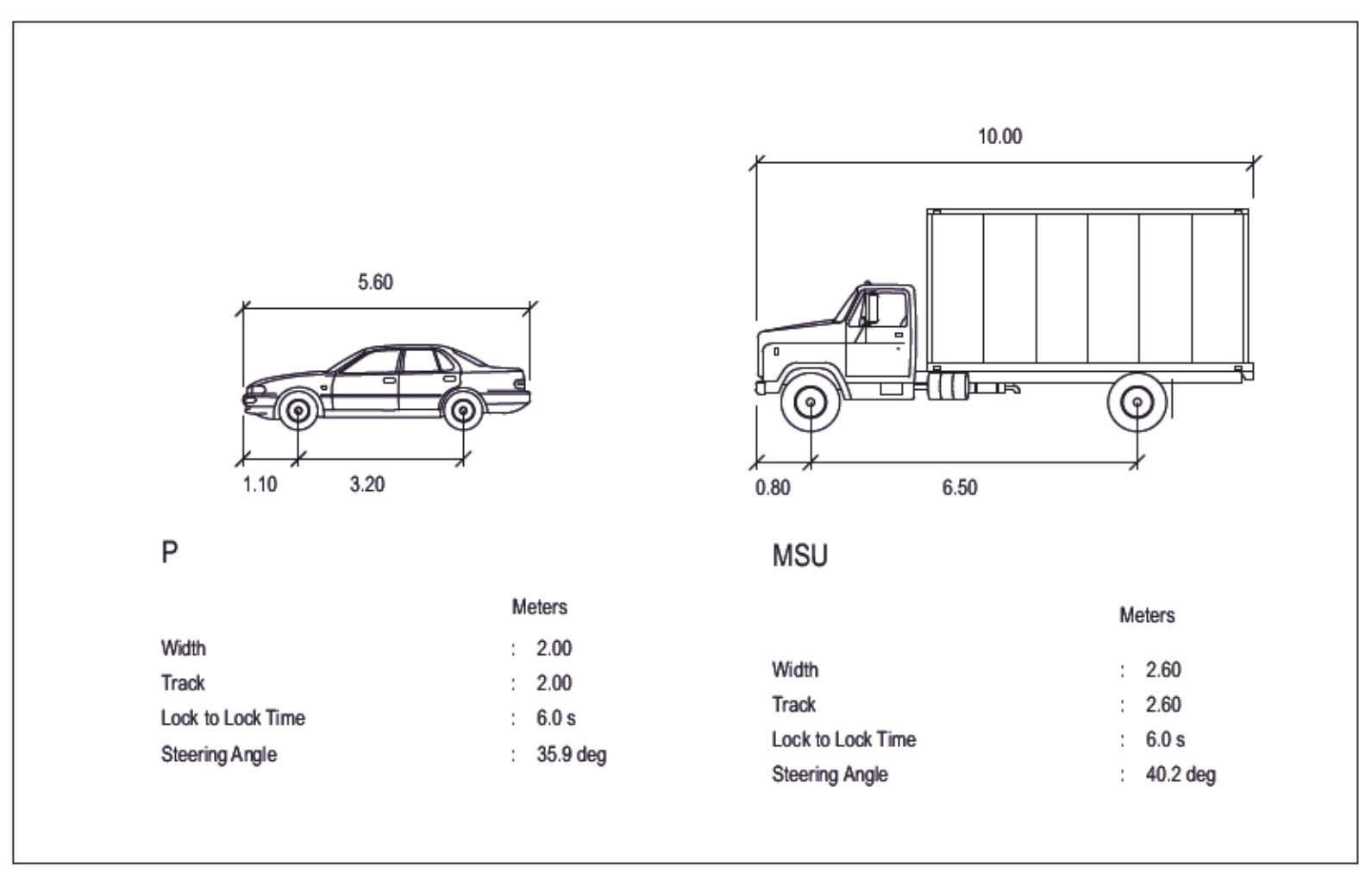
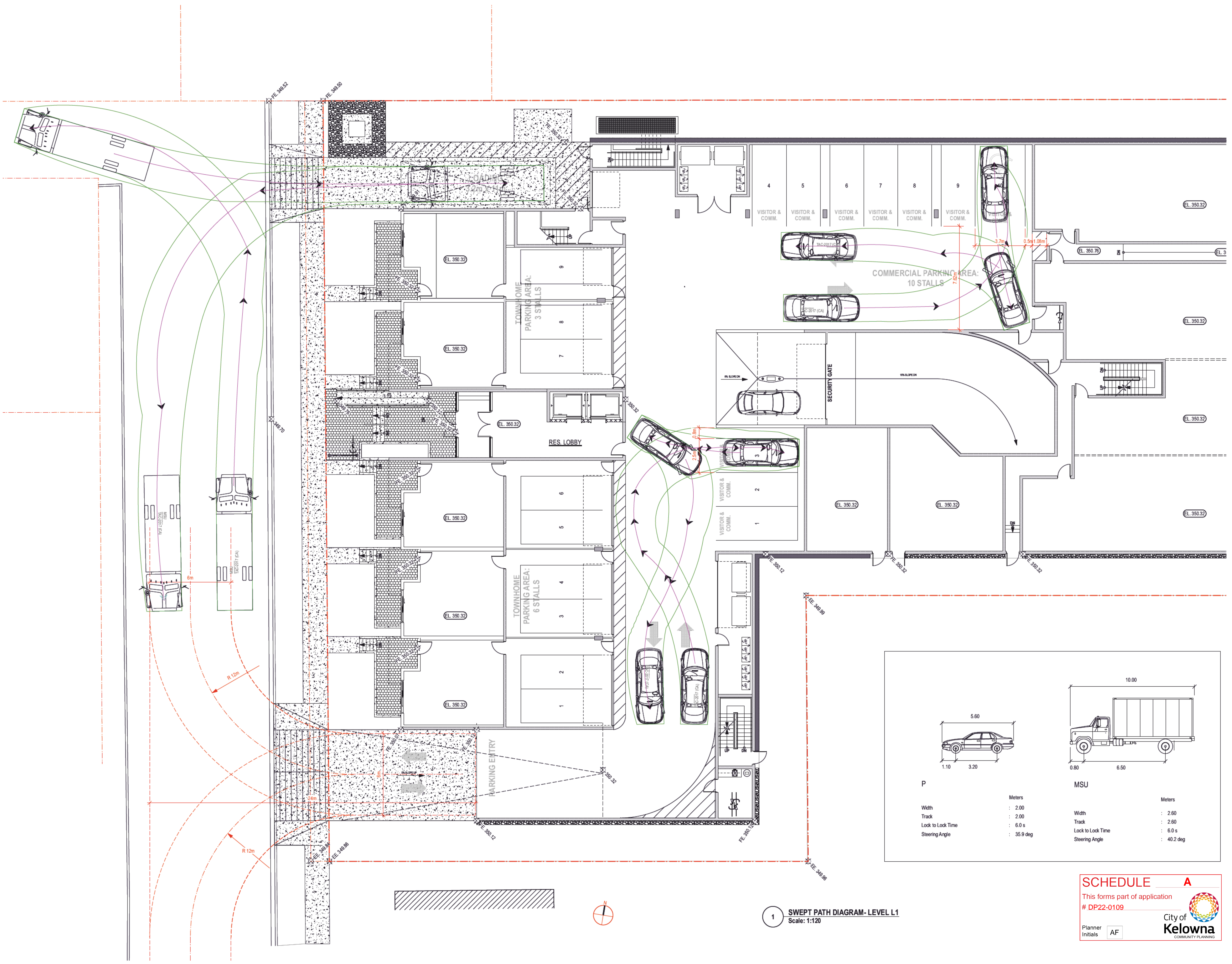
Scale	AS NOTED	Drawn By
Date	2023-11-21	Reviewed By
		JY
Project ID	211210	

Sheet Title

**SWEPT PATH DIAGRAM- LEVEL L1**

Sheet No.

**A105**



**1 SWEPT PATH DIAGRAM- LEVEL L1**  
Scale: 1:120

**SCHEDULE A**  
This forms part of application  
# DP22-0109

Planner Initials: **AF**

City of Kelowna  
COMMUNITY PLANNING



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.

**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC

Project Title

Architect

**JY ARCHITECTURE INC.**

2nd Floor, 8661 201 STREET, LANGLEY BC V2Y 0G9

Consultant

CONSULTANT NAME

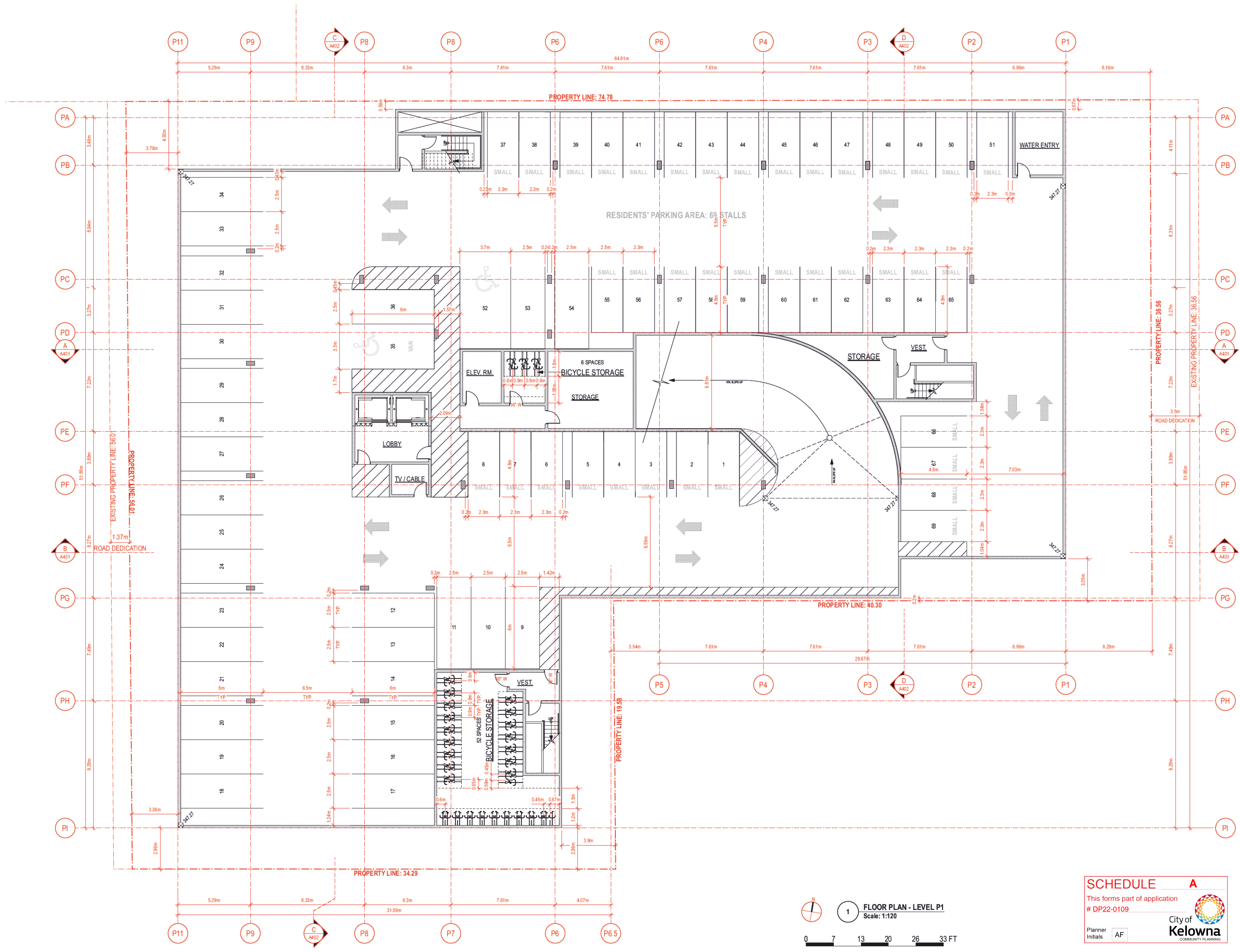
REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

FLOOR PLAN\_LEVEL P1

Sheet No.

**A201**



**1 FLOOR PLAN - LEVEL P1**  
Scale: 1:120

0 7 13 20 26 33 FT

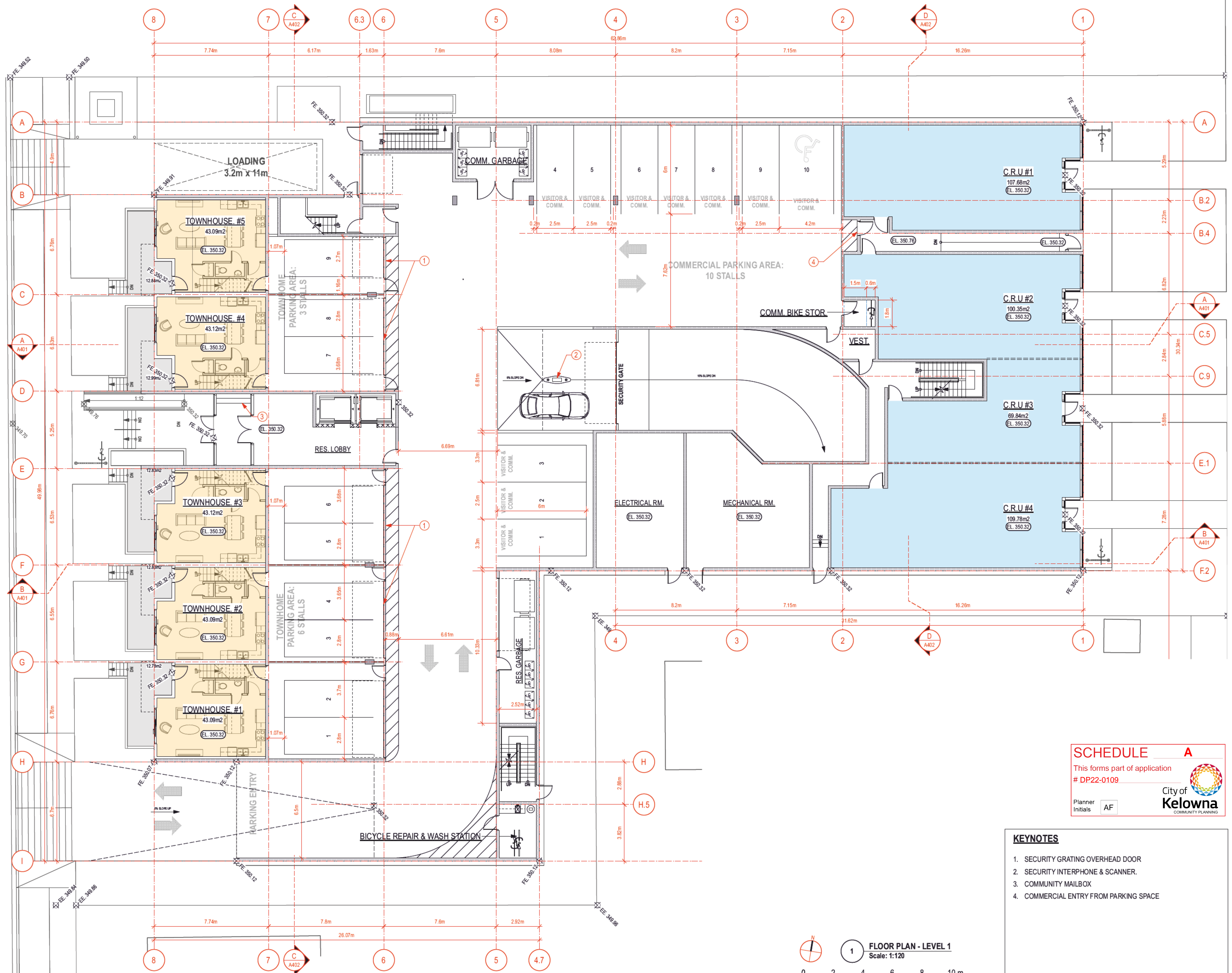
**SCHEDULE A**

This forms part of application  
# DP22-0109

City of Kelowna  
COMMUNITY PLANNING

Planner Initials AF





Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.

**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC

Project Title

Architect

**JY ARCHITECTURE INC.**

2nd Floor, 8661 201 STREET, LANGLEY BC V2Y 0G9

Consultant

CONSULTANT NAME

REV. DATE DESCRIPTION

NO. DATE ISSUE NOTE

Scale AS NOTED

Date 2023-11-21

Project ID 211210

Sheet Title

FLOOR PLAN\_LEVEL 1

Sheet No.

**A202**

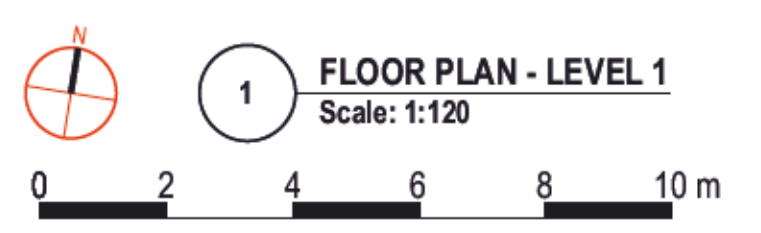
**SCHEDULE A**

This forms part of application # DP22-0109

City of Kelowna COMMUNITY PLANNING

Planner Initials AF

- KEYNOTES**
1. SECURITY GRATING OVERHEAD DOOR
  2. SECURITY INTERPHONE & SCANNER.
  3. COMMUNITY MAILBOX
  4. COMMERCIAL ENTRY FROM PARKING SPACE





Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



**KEYNOTES**

- PERFORATED METAL SCREEN FOR MECHANICAL UNITS.
- GLASS CANOPY BELOW

**SCHEDULE A**

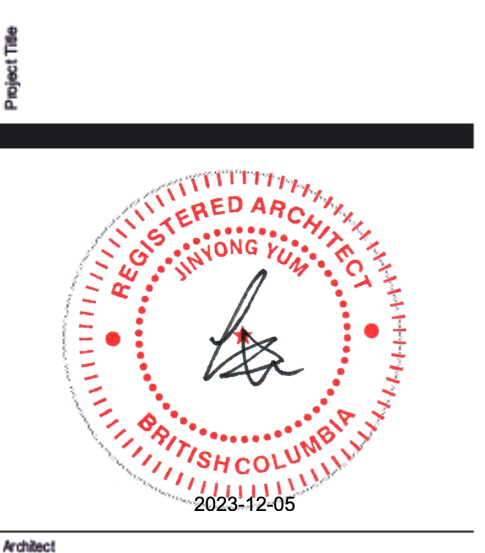
This forms part of application # DP22-0109

Planner Initials: AF

City of Kelowna  
COMMUNITY PLANNING

**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC



Architect  
**JY ARCHITECTURE INC.**  
2nd Floor, 8661 201 STREET, LANGLEY BC V2Y 0G9  
Consultant  
CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

FLOOR PLAN\_LEVEL L2

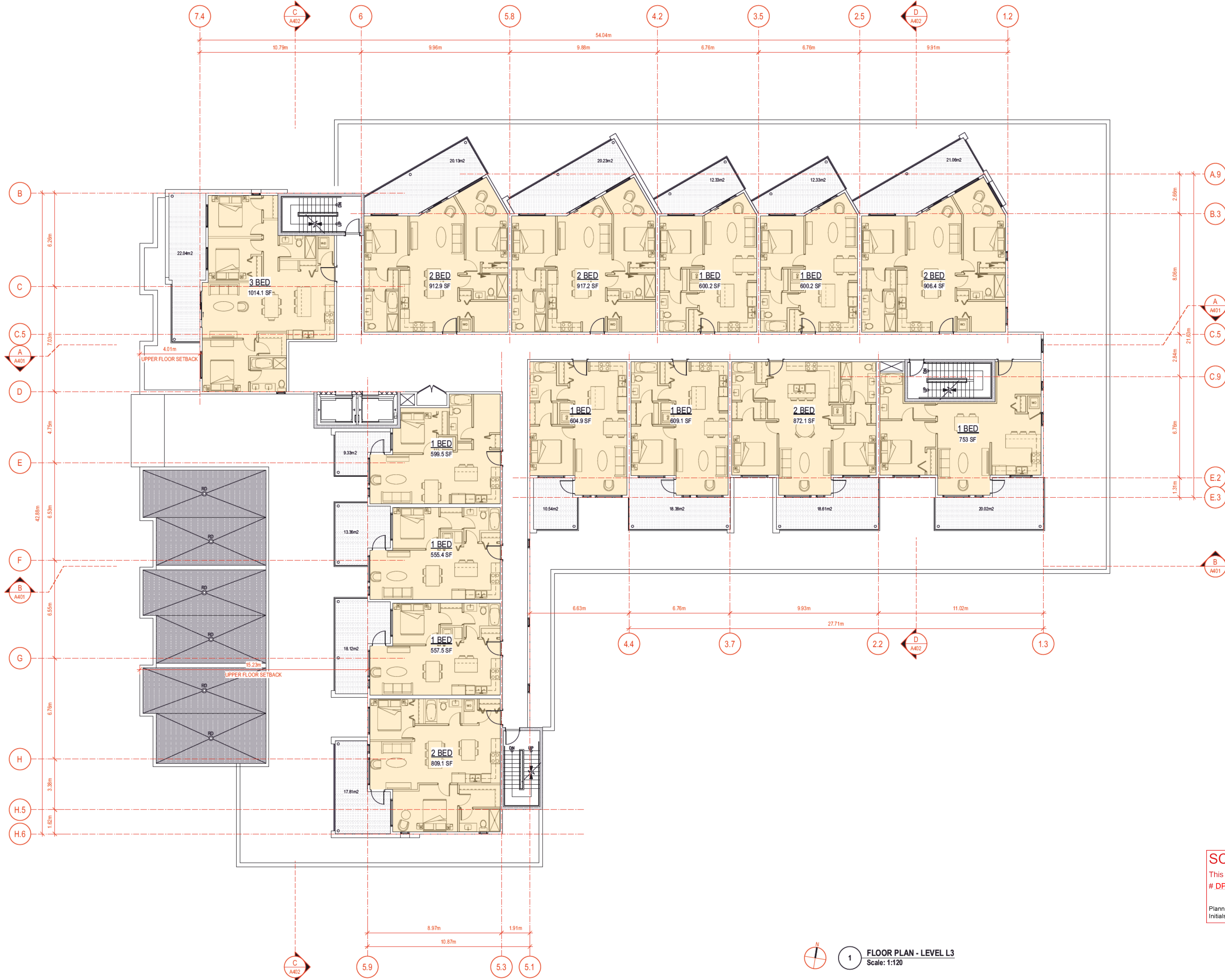
Sheet No.  
**A203**



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

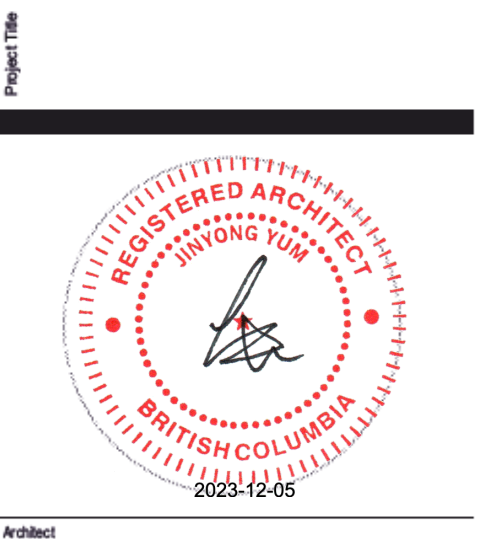
The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC



Architect  
**JY ARCHITECTURE INC.**  
 2nd Floor, 8661 201 STREET, LANGLEY BC V2Y 0G9  
 Consultant

CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

**SCHEDULE A**

This forms part of application  
 # DP22-0109

City of Kelowna  
 COMMUNITY PLANNING

Planner Initials: AF

**FLOOR PLAN - LEVEL L3**  
 Scale: 1:120

FLOOR PLAN\_LEVEL L3

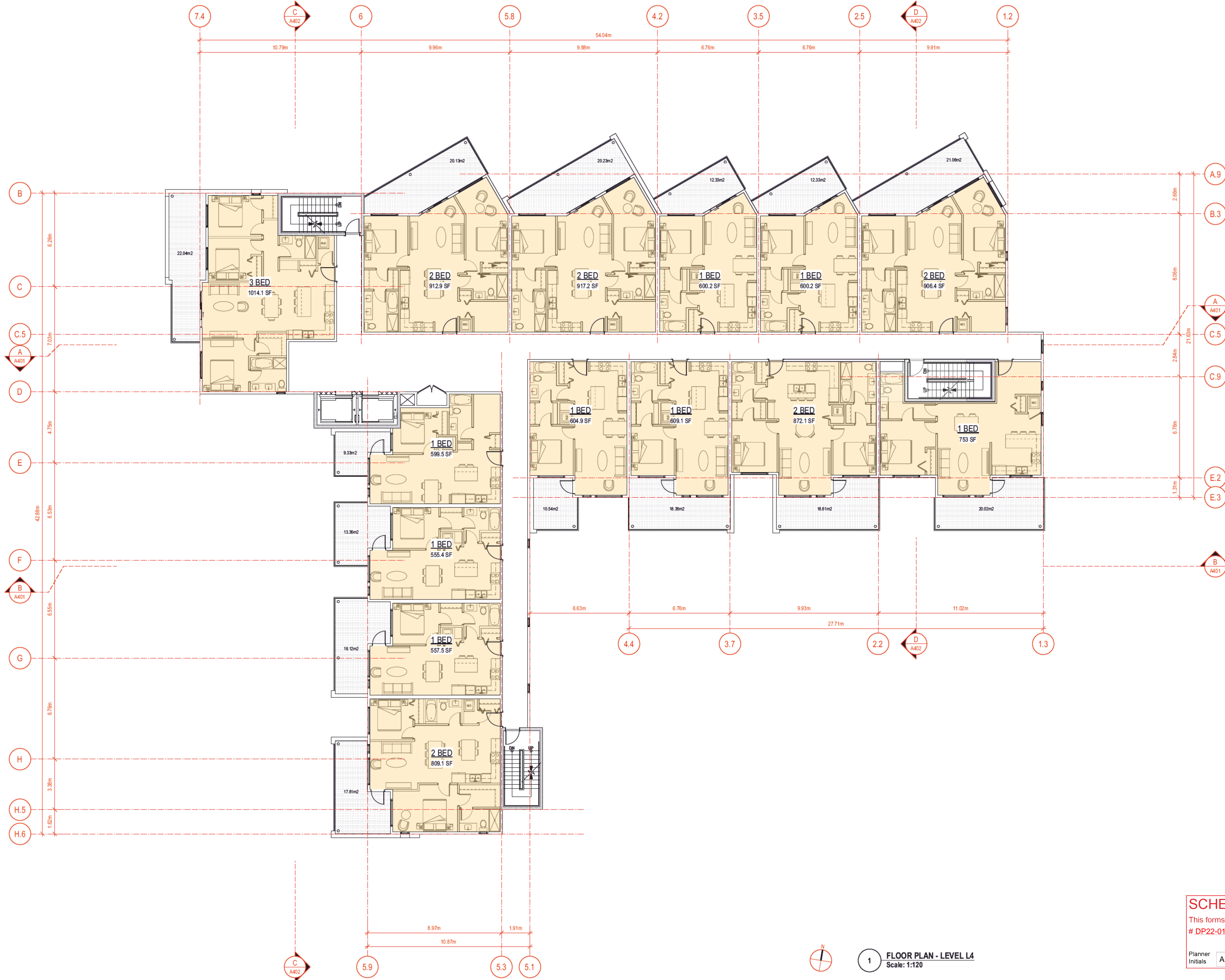
Sheet No.  
**A204**



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



1 FLOOR PLAN - LEVEL L4  
 Scale: 1:120

SCHEDULE A

This forms part of application # DP22-0109

Planner Initials AF

MIXED USE APARTMENT

1864 GORDON DRIVE, KELOWNA, BC



Architect

JY ARCHITECTURE INC.

2nd Floor, 8661 201 STREET, LANGLEY BC V2Y 0G9

Consultant

CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

FLOOR PLAN\_LEVEL L4

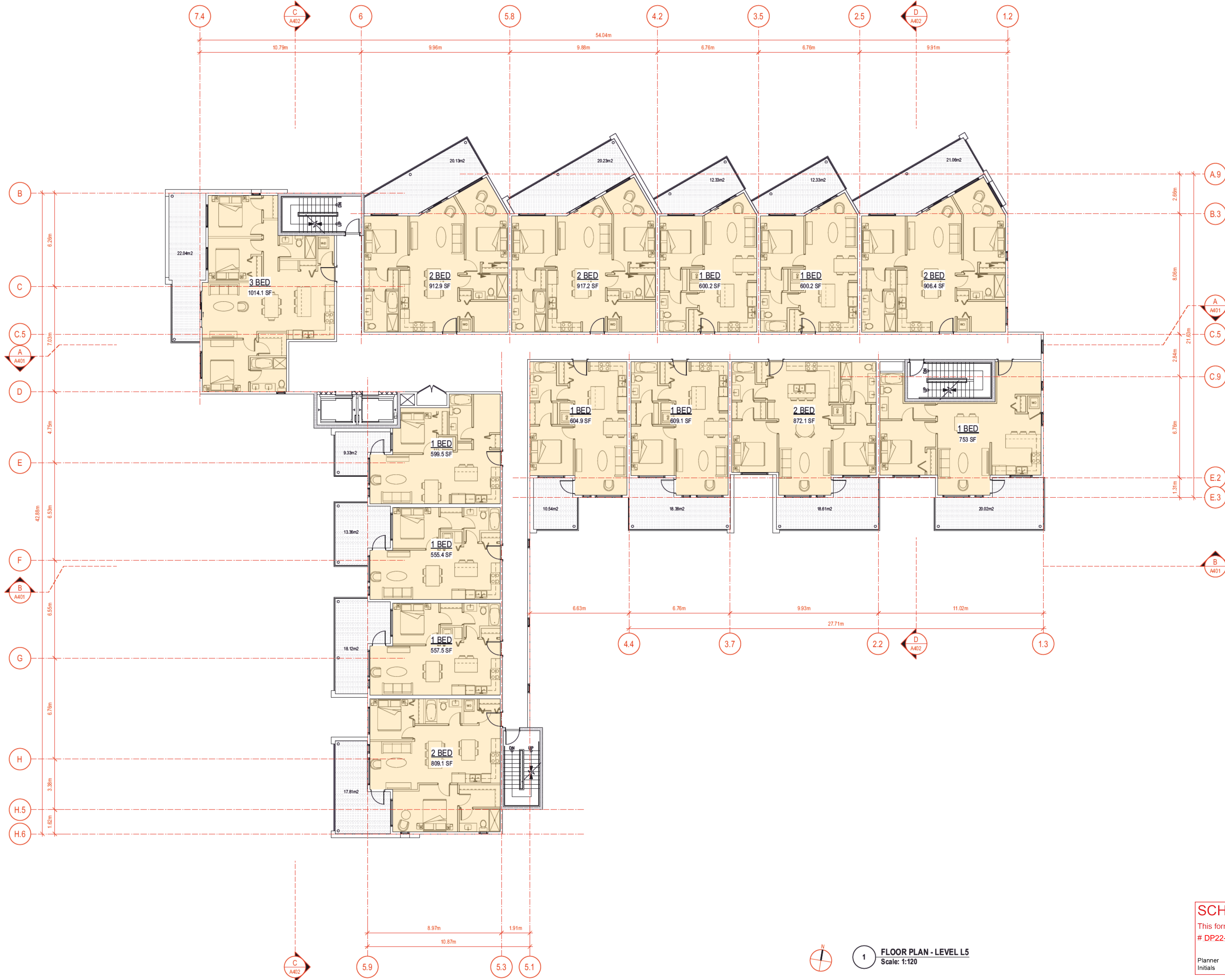
A205



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



**1 FLOOR PLAN - LEVEL L5**  
Scale: 1:120

**SCHEDULE A**

This forms part of application # DP22-0109

City of Kelowna  
COMMUNITY PLANNING

Planner Initials AF

**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC



Architect  
**JY ARCHITECTURE INC.**  
2nd Floor, 8661 201 STREET, LANGLEY BC V2Y 0G9  
Consultant  
CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

FLOOR PLAN\_LEVEL L5

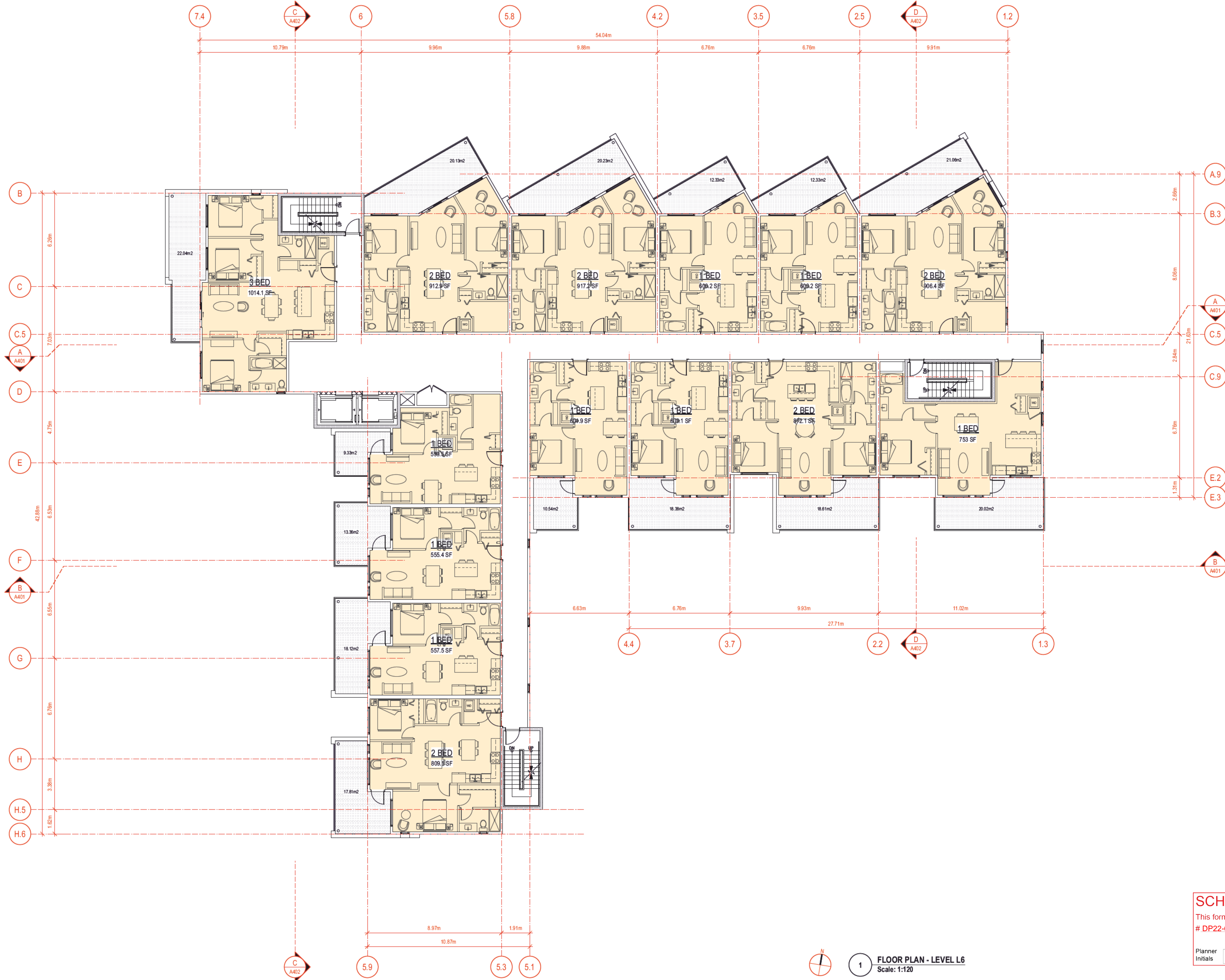
Sheet No. **A206**



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

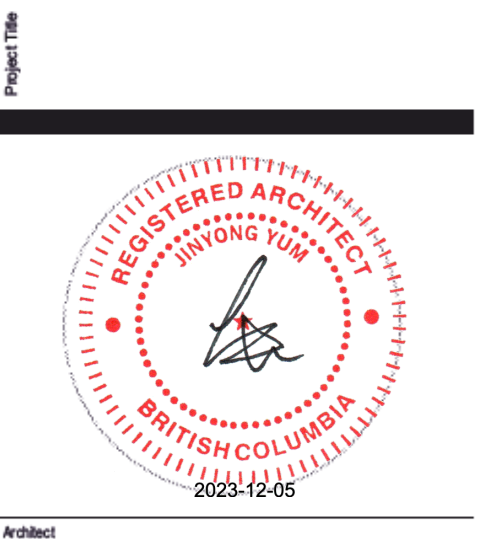
The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC



Architect  
**JY ARCHITECTURE INC.**  
 2nd Floor, 8661 201 STREET, LANGLEY BC V2Y 0G9  
 Consultant

CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

211210  
 Sheet Title

FLOOR PLAN\_LEVEL L6

Sheet No.

**SCHEDULE A**  
 This forms part of application  
 # DP22-0109  
 City of Kelowna  
 COMMUNITY PLANNING  
 Planner Initials AF

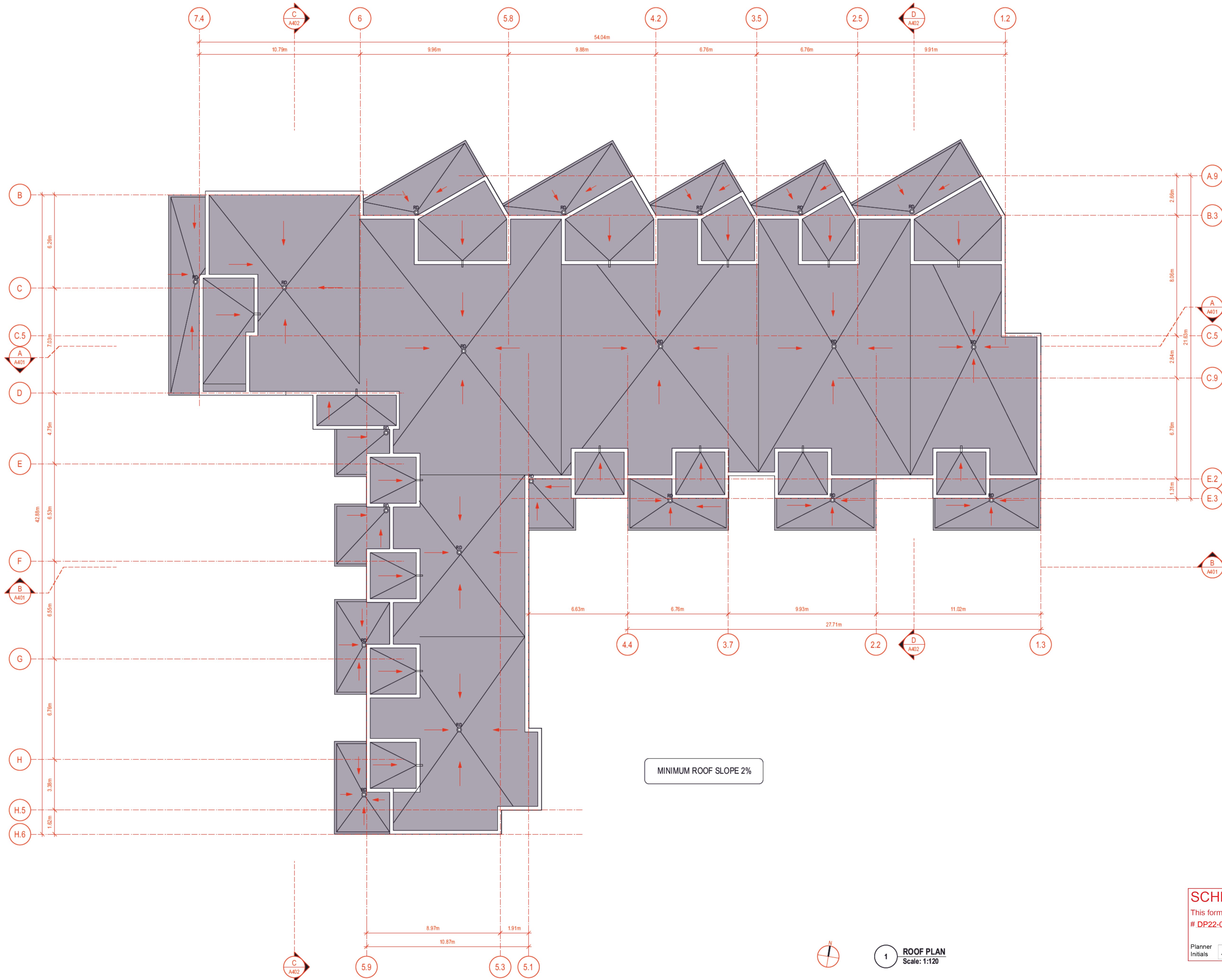
**1 FLOOR PLAN - LEVEL L6**  
 Scale: 1:120  
 0 2 4 6 8 10m



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

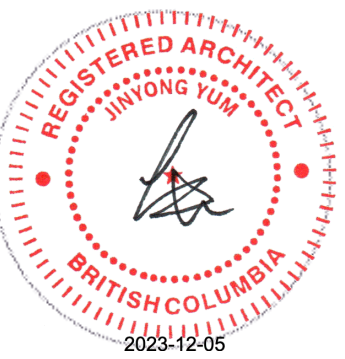
JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC

Project Title



Architect

**JY ARCHITECTURE INC.**

2nd Floor, 8661 201 STREET, LANGLEY BC V2Y 0G9

Consultant

CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Drawn By	
----------	--

AS NOTED	
----------	--

Date	2023-11-21	Reviewed By	JY
------	------------	-------------	----

Project ID	211210
------------	--------

Sheet Title

**ROOF PLAN**

Sheet No.

**A208**

**SCHEDULE A**

This forms part of application  
# DP22-0109

Planner Initials AF



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



1 BUILDING ELEVATION - WEST  
Scale: 1:120

- ### KEYNOTES
1. BRICK CLADDING.
  2. WEATHERED METAL PANEL.
  3. CEMENTITIOUS FASCIA BOARD.
  4. CEMENTITIOUS PANEL CLADDING.
  5. PRE-CAST CONCRETE WINDOW SILL.
  6. STANDING SEAM METAL CLADDING.
  7. 6" DIA. STEEL COLUMN.
  8. GLASS & METAL GUARD.
  9. DOUBLE GLAZED VINYL WINDOW.
  10. CONCRETE COLUMN.
  11. TOWNHOME ENTRY DOOR WITH GLAZING.
  12. PRE-FINISHED METAL OVERHEAD LOADING DOOR.
  13. GLAZED RESIDENTIAL MAIN ENTRY.
  14. WOOD PATTERNED METAL SIDING.
  15. PRE-CAST CONCRETE CAP.
  16. SINGLE STOREY WORSHIP BUILDING
  17. CAST-IN-PLACE CONCRETE WALL.
  18. WALL SCENE LIGHT FIXTURE.
  19. SINGLE STOREY RESIDENTIAL BUILDING
  20. PERFORATED METAL SCREEN FOR ROOFTOP UNITS, 5FT HIGH.
  21. PAINTED STEEL C-CHANNEL
  22. ARCHITECTURAL REVEAL, 1.5" X 1"

**SCHEDULE B**

This forms part of application # DP22-0109

Planner Initials: AF

City of Kelowna  
COMMUNITY PLANNING

**MIXED USE APARTMENT**  
 1864 GORDON DRIVE, KELOWNA, BC



Abstract

**JY ARCHITECTURE INC.**

2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9

Consultant

CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Scale: AS NOTED

Date: 2023-11-21

Project ID: 211210

**BUILDING ELEVATIONS**

Sheet No.

**A301**



2 BUILDING ELEVATION - SOUTH  
Scale: 1:120



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



1 BUILDING ELEVATION - EAST  
Scale: 1:120

- KEYNOTES**
1. STOREFRONT GLAZING.
  2. WEATHERED METAL PANEL.
  3. 6" DIA. STEEL COLUMN.
  4. STANDING SEAM METAL CLADDING.
  5. WOOD PATTERNED METAL SIDING.
  6. BRICK CLADDING.
  7. GLASS & METAL GUARD.
  8. ARCHITECTURAL CONCRETE BASE.
  9. GLASS & STEEL CANOPY.
  10. WALL SCONE LIGHT FIXTURE.
  11. SINGLE STOREY WORSHIP BUILDING
  12. CEMENTITIOUS FASCIA BOARD.
  13. DOUBLE GLAZED VINYL WINDOW.
  14. CEMENTITIOUS PANEL CLADDING.
  15. PRE-CAST CONCRETE CAP.
  16. CAST-IN-PLACE CONCRETE WALL.
  17. EXISTING DOUBLE STOREY MOTEL BUILDING
  18. ARCHITECTURAL REVEAL, 1.5" X 1"
  19. PAINTED STEEL C-CHANNEL

**SCHEDULE B**

This forms part of application  
# DP22-0109

Planner Initials AF

City of Kelowna  
COMMUNITY PLANNING

**MIXED USE APARTMENT**  
 1864 GORDON DRIVE, KELOWNA, BC



**JY ARCHITECTURE INC.**  
2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9  
Consultant

CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Scale: AS NOTED  
Date: 2023-11-21  
Project ID: 211210



2 BUILDING ELEVATION - NORTH  
Scale: 1:120

**BUILDING ELEVATIONS**

Sheet No. **A302**



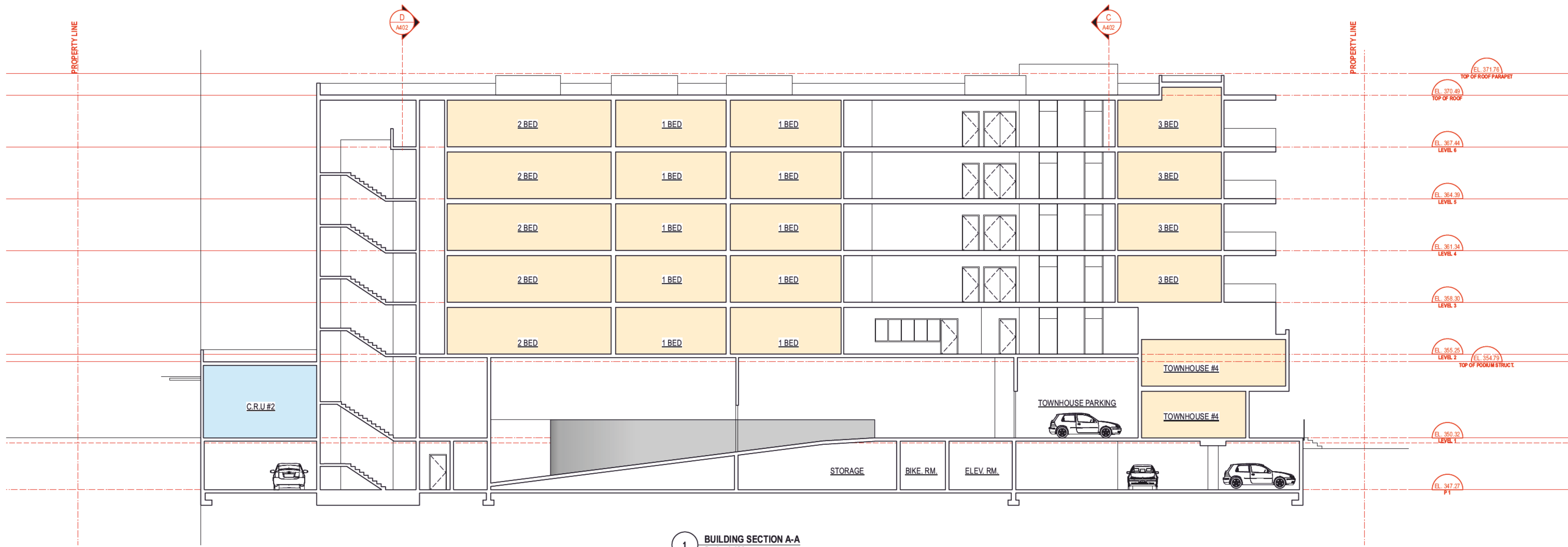
Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.

**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC



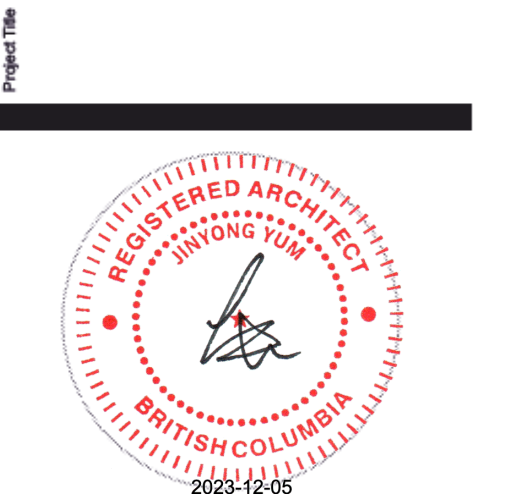
1 BUILDING SECTION A-A  
Scale: 1:120

**SCHEDULE B**

This forms part of application # DP22-0109

Planner Initials AF

City of Kelowna  
COMMUNITY PLANNING



Abstract  
**JY ARCHITECTURE INC.**  
2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9  
Consultant  
CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE
Scale	AS NOTED	Drawn By
Date	2023-11-21	Reviewed By JY
Project ID	211210	

**BUILDING SECTIONS**

Sheet No.

**A401**



2 BUILDING SECTION B-B  
Scale: 1:120





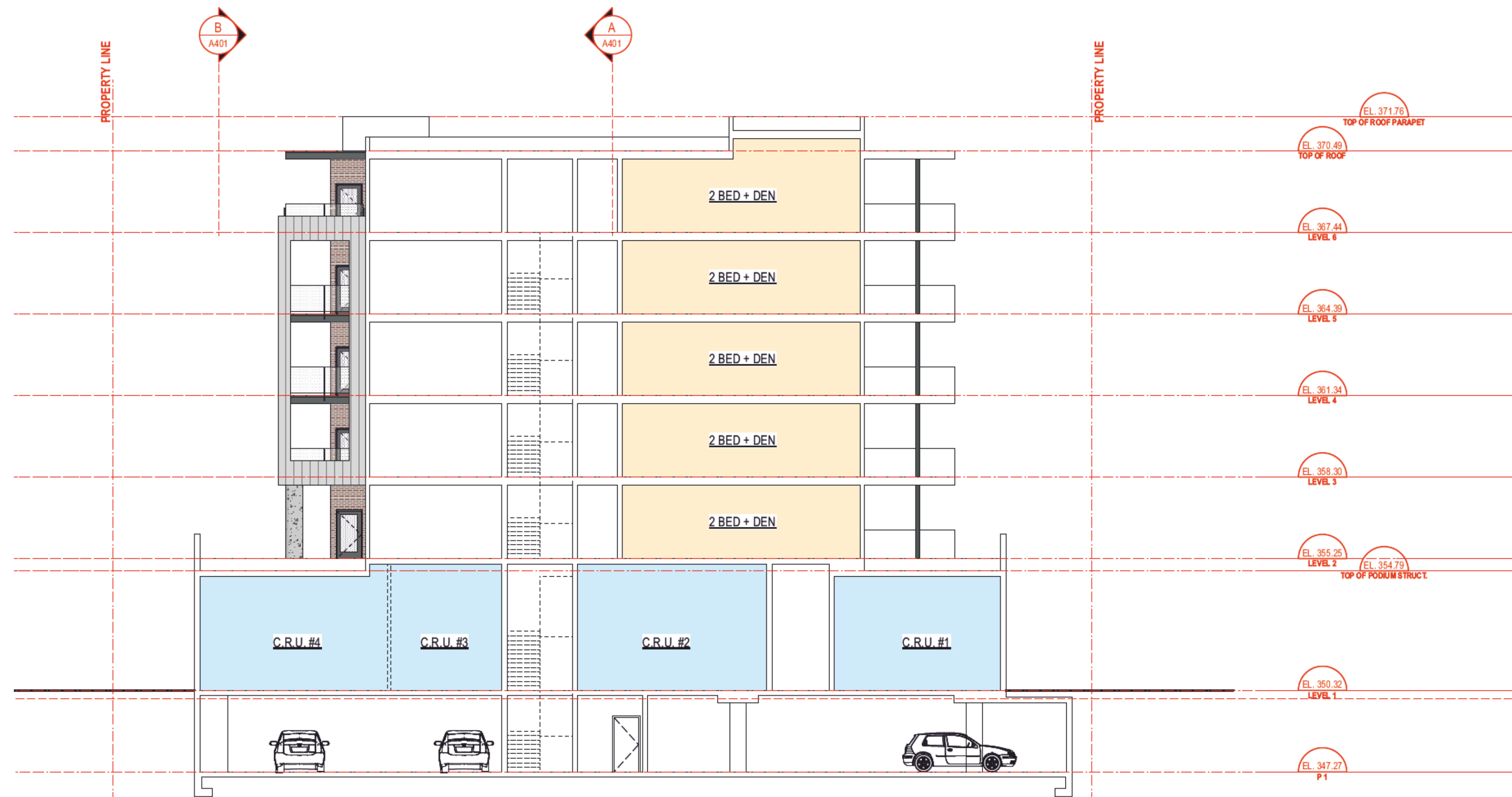
1 BUILDING SECTION C-C  
Scale: 1:120

**SCHEDULE B**

This forms part of application  
# DP22-0109

Planner Initials AF

City of Kelowna  
COMMUNITY PLANNING



2 BUILDING SECTION D-D  
Scale: 1:120

Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.

**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC



**JY ARCHITECTURE INC.**

2nd Floor, 8661 201 STREET, LANGLEY BC V2Y 0G9

Consultant  
CONSULTANT NAME

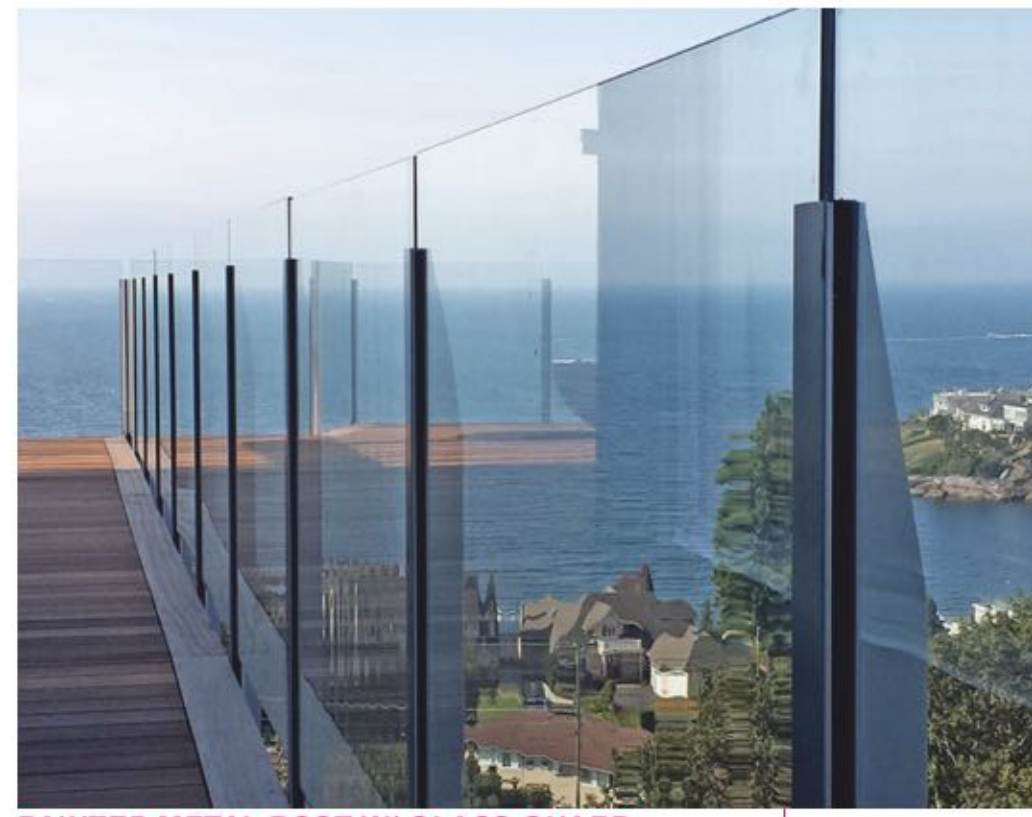
REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE
AS NOTED		
2023-11-21		JY
Project ID	211210	

**BUILDING SECTIONS**

**A402**



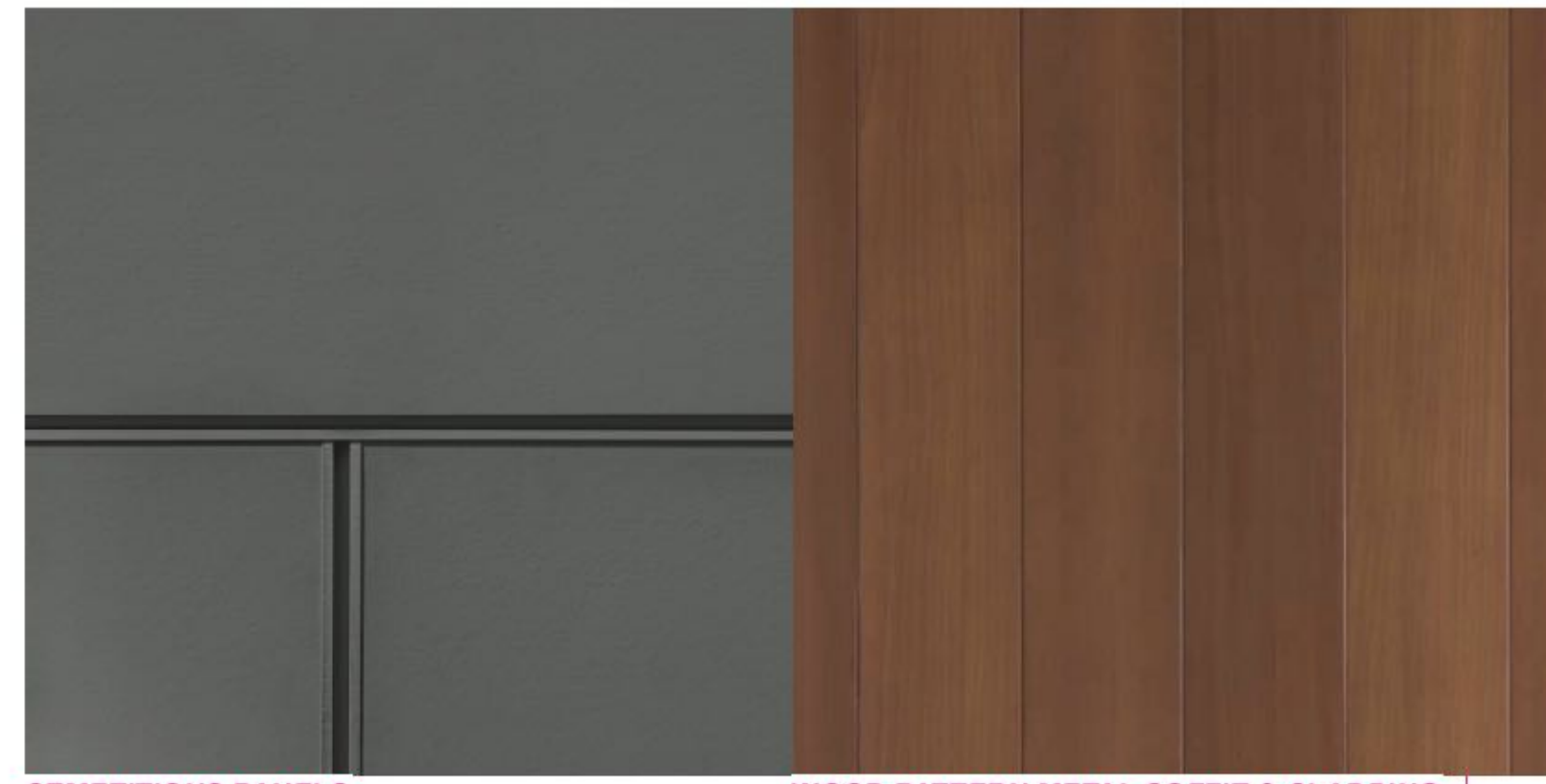


PAINTED METAL POST W/ GLASS GUARD



BRICK CLADDING

WEATHERED METAL PANELS



CEMENTITIOUS PANELS

WOOD PATTERN METAL SOFFIT & CLADDING



STANDING SEAM METAL CLADDING

**SCHEDULE B**  
 This forms part of application  
 # DP22-0109

Planner Initials AF

City of Kelowna  
COMMUNITY PLANNING



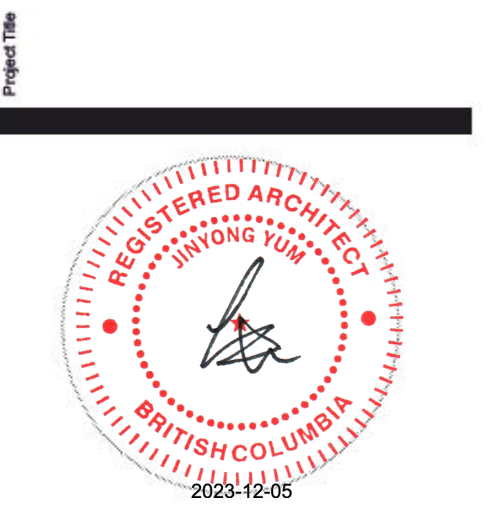
Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.

**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC



Abstract  
**JY ARCHITECTURE INC.**  
 2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9  
 Consultant  
 CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE
Scale	AS NOTED	Drawn By
Date	2023-11-21	Reviewed By JY
Project ID	211210	

**EXTERIOR MATERIALS**

Sheet No.  
**A501**



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.


The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.

**SCHEDULE B**

This forms part of application  
# DP22-0109

Planner Initials **AF**




**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC

Project No.



Abstract

**JY ARCHITECTURE INC.**

2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9

Consultant

CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE
Scale	AS NOTED	Drawn By
Date	2023-11-21	Reviewed By JY
Project ID	211210	

Sheet Title

**3D VIEWS**

Sheet No.

**A502**



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.

**SCHEDULE B**

This forms part of application  
# DP22-0109

Planner Initials **AF**

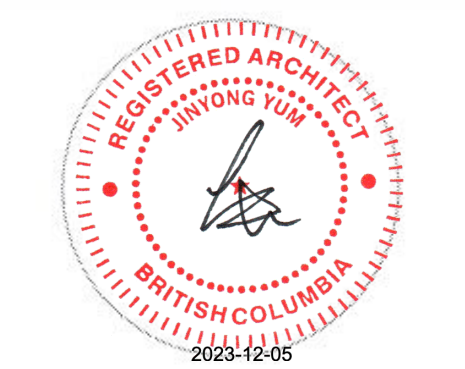
**City of Kelowna**  
COMMUNITY PLANNING



**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC

Project No.



Architect  
**JY ARCHITECTURE INC.**

2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9

Consultant  
CONSULTANT NAME

--	--

REV.	DATE	DESCRIPTION

--	--

NO.	DATE	ISSUE NOTE

Scale	AS NOTED	Drawn By	
Date	2023-11-21	Reviewed By	JY

Project ID: 211210

Sheet Title

3D VIEWS

Sheet No.

**A503**



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.

**SCHEDULE B**

This forms part of application  
# DP22-0109

Planner Initials **AF**



City of Kelowna  
COMMUNITY PLANNING



**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC

Project No.



Abstract  
**JY ARCHITECTURE INC.**

2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9

Consultant  
CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Scale  
AS NOTED

Date  
2023-11-21

Project ID  
211210

Sheet Title

**3D VIEWS**

Sheet No.

**A504**



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC



Abstract  
**JY ARCHITECTURE INC.**  
 2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9  
 Consultant  
 CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE
Scale	AS NOTED	Drawn By
Date	2023-11-21	Reviewed By JY
Project ID	211210	



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC

Project No.



Abstract  
**JY ARCHITECTURE INC.**  
 2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9  
 Consultant  
 CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE
Scale	AS NOTED	Drawn By
Date	2023-11-21	Reviewed By JY
Project ID	211210	

Sheet Title

**3D VIEWS**

Sheet No.  
**A506**



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC



Abstract  
**JY ARCHITECTURE INC.**  
 2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9  
 Consultant  
 CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE
Scale	AS NOTED	Drawn By
Date	2023-11-21	Reviewed By JY
Project ID	211210	

Sheet Title

**3D VIEWS**

Sheet No.  
**A507**



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.

**SCHEDULE B**  
 This forms part of application  
 # DP22-0109  
 Planner Initials AF  
 City of Kelowna  
 COMMUNITY PLANNING



**MIXED USE APARTMENT**

1864 GORDON DRIVE, KELOWNA, BC

Project No.



Abstract  
**JY ARCHITECTURE INC.**  
 2nd Floor 8661 201 STREET, LANGLEY BC V2Y 0G9  
 Consultant  
 CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE
Scale	AS NOTED	Drawn By
Date	2023-11-21	Reviewed By JY
Project ID	211210	

Sheet Title  
**3D VIEWS**

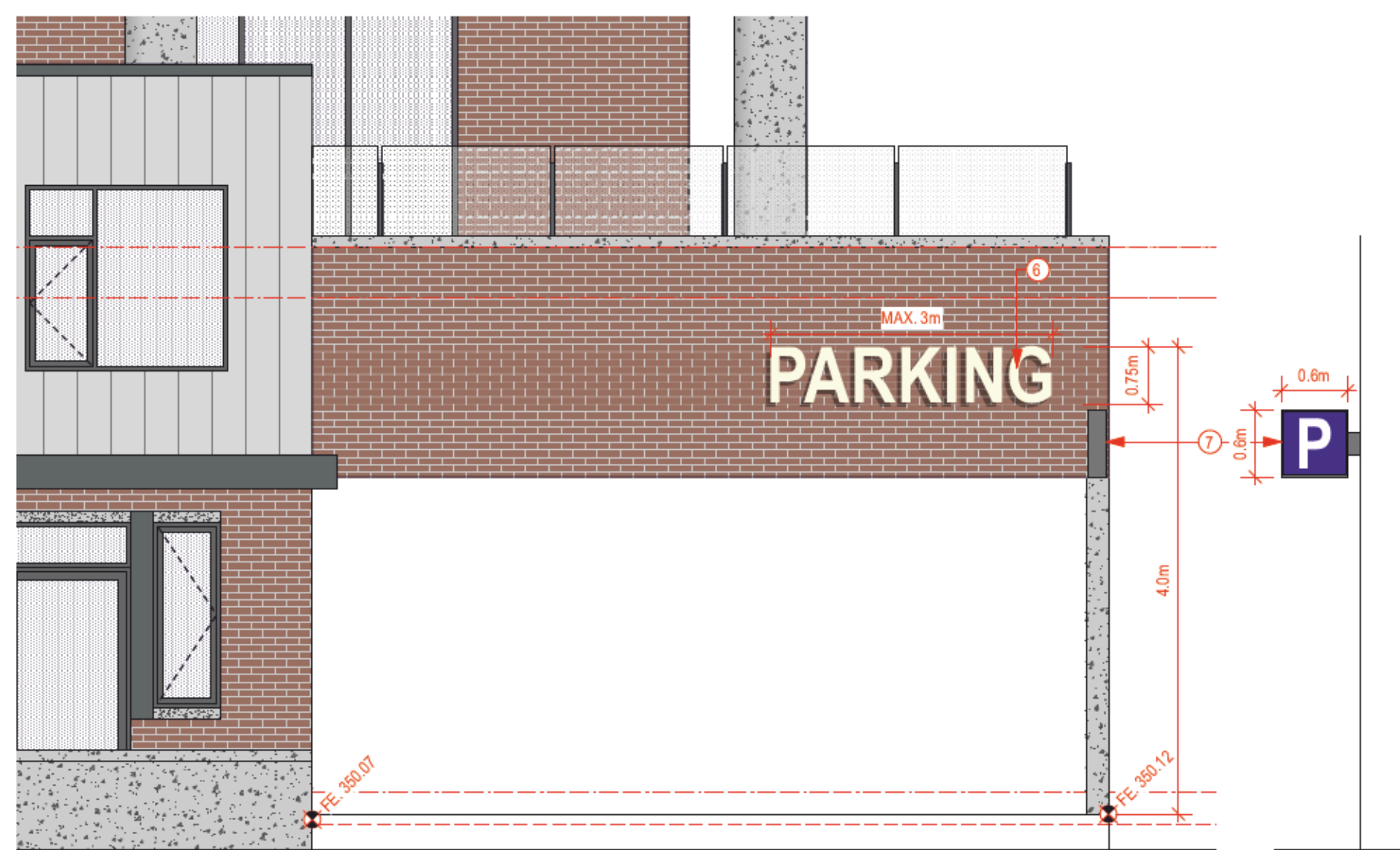
Sheet No.  
**A508**



Copyright reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of JY ARCHITECTURE INC. (JYA) and may not be reproduced without the express written consent of JYA. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and shall not be used otherwise without the express written consent of JYA.

The Contractor shall verify and be responsible for all dimensions on site and shall inform JYA of any variations from the dimensions and conditions shown on the documents. Shop drawings shall be submitted to JYA for review and approval prior to fabrication.

JYA do not warrant that the drawings are produced to scale. Dimensions may not be scaled from the documents.



PROPOSED SIGNAGE AREA: FACIA SIGANE - 2.25m<sup>2</sup> / HANGING SIGNAGE - 0.36m<sup>2</sup>

**2** PARKING ENTRY SIGNAGE  
Scale: 1:50



MAXIMUM ALLOWED SIGNAGE AREA: 6.9m<sup>2</sup> (1m<sup>2</sup> LINEAR METRE OF FRONTAGE)  
PROPOSED SIGNAGE AREA: FACIA SIGANE - 3.75m<sup>2</sup> / HANGING SIGNAGE - 0.45m<sup>2</sup>

**1** TYPICAL C.M.U. SIGNAGE  
Scale: 1:50

**KEYNOTES**

1. PAINTED STEEL BRACKETS FOR SIGNAGE INSTALLATION
2. CORTEN STEEL BACK PLANE
3. STEEL FLOATING SIGNAGE LETTERS. ILLUMINATE FROM LANDSCAPE LIGHTING.
4. C.M.U. UNIT ADDRESS LAMINATED ON STORE FRONT GLAZING
5. HANGING CANOPY SIGNAGE
6. SELF ILLUMINATED FLOATING FACIA SIGNAGE
7. SELF ILLUMINATED HANGING SIGNAGE
8. FREE STANDING CONCRETE PONY WALL

**SCHEDULE B**

This forms part of application # DP22-0109

Planner Initials AF



PROPOSED SIGNAGE AREA: FREE STANDING SIGN - 2.16m<sup>2</sup>, PROVIDE MIN. 1.5M LOT SETBACK

**3** RESIDENTIAL ENTRY SIGNAGE  
Scale: 1:50

MIXED USE APARTMENT

1864 GORDON DRIVE, KELOWNA, BC

Project No.



Address

**JY ARCHITECTURE INC.**

2nd Floor, 8661 201 STREET, LANGLEY BC V2Y 0G9

Consultant

CONSULTANT NAME

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE
A	2023-10-29	DP_REV01

Scale: AS NOTED

Date: 2023-11-21

Project ID: 211210

Sheet Title

SIGNAGES

Sheet No.

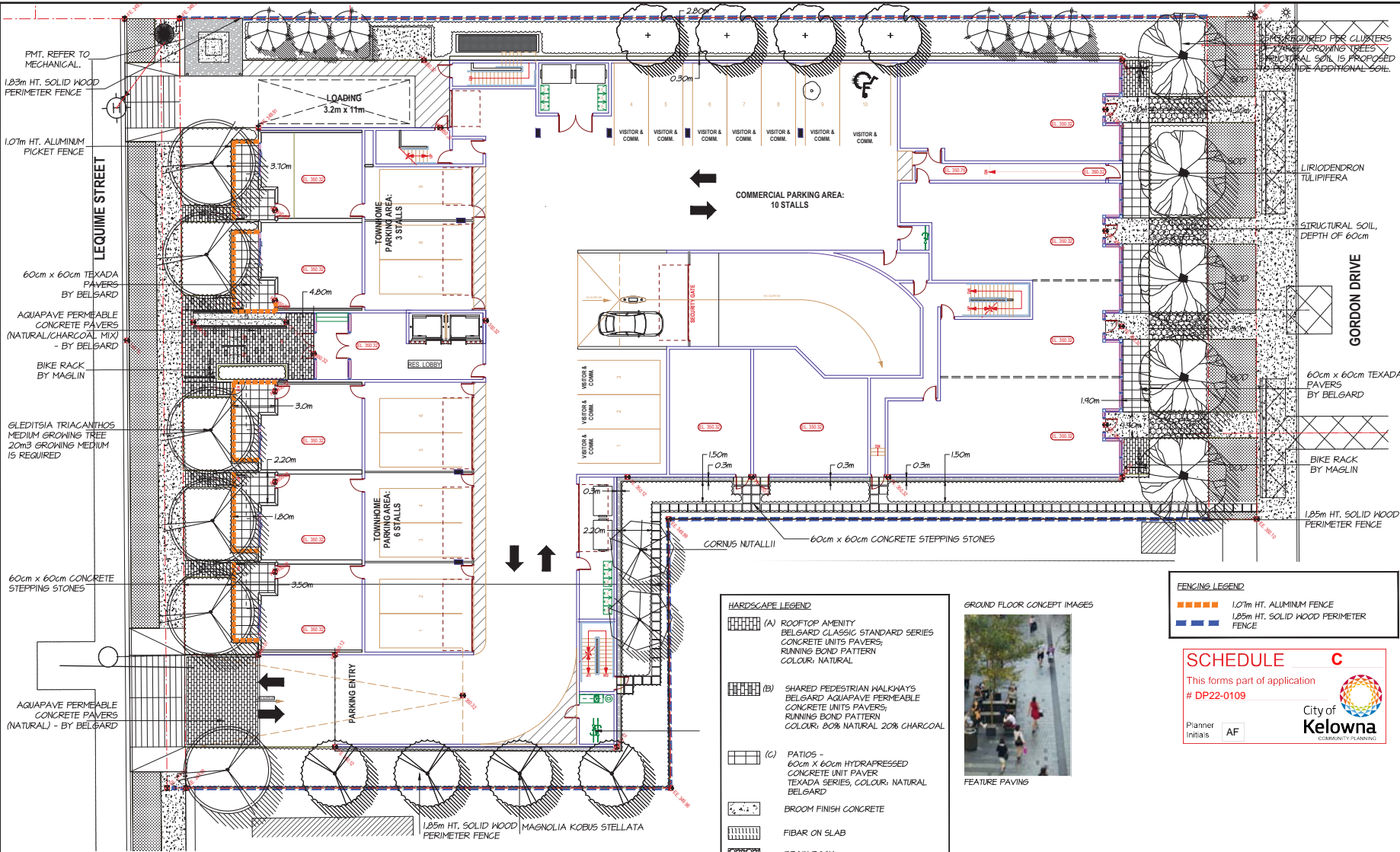
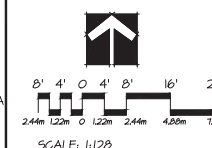
**A701**



©Copyright reserved. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.



#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com



**FENCING LEGEND**

- 1.07m HT. ALUMINUM FENCE
- 1.25m HT. SOLID WOOD PERIMETER FENCE

**SCHEDULE C**  
This forms part of application  
# DP22-0109

Planner Initials: AF

**HARDSCAPE LEGEND**

- (A) ROOFTOP AMENITY  
BELGARD CLASSIC STANDARD SERIES  
CONCRETE UNITS PAVERS;  
RUNNING BOND PATTERN  
COLOUR: NATURAL
- (B) SHARED PEDESTRIAN WALKWAYS  
BELGARD AQUAPAVE PERMEABLE  
CONCRETE UNITS PAVERS;  
RUNNING BOND PATTERN  
COLOUR: 80% NATURAL 20% CHARCOAL
- (C) PATIOS -  
60cm X 60cm HYDRAPRESSED  
CONCRETE UNIT PAVER  
TEXADA SERIES, COLOUR: NATURAL  
BELGARD
- BROOM FINISH CONCRETE
- FIBAR ON SLAB
- DRAIN ROCK
- WOOD DECK



**PLANT SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	MS JOB NUMBER: 22 010	PLANTED SIZE / REMARKS
1	3	LIRODENDRON TULIPIFERA	TULIP TREE		40M CAL; 2H STD; B&B
2	2	CORNUS NUTALLII	PACIFIC DOGWOOD		40M CAL; 1.8M STD; B&B
3	2	GLEDITSIA TRIACANTHOS	THORNLESS HONEY LOCUST		40M CAL; 1.8M STD; B&B
4	4	MAGNOLIA KOBUS STELLATA	STAR MAGNOLIA		50M CAL; 1.8M STD; B&B
5	6	PICEA OROCKA	SERBIAN SPRUCE		25M HT; B&B
6	4	SYTRAUX JAPONICUS	JAPANESE SPINKLELL		50M CAL; 1.8M STD; B&B

NOTE: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANITA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

NO.	DATE	REVISION DESCRIPTION	DR.
1		PRELIMINARY DRAWING	BN
2		REV. AS PER CLIENTS COMMENTS	BN
3		ISSUED FOR ITP	BN
4		ISSUED PER NEW SITE PLAN	BN
5		REV. SITE PLAN CITY COMMENTS	BN
6		REV. PER CITY COMMENTS	PT

SEAL:

PROJECT:  
**1864 GORDON DRIVE,  
KELOWNA, BC**

DRAWING TITLE:  
**GROUND FLOOR  
TREE PLAN**

DATE: 11/FEB/2022 DRAWING NUMBER:  
SCALE: 1:120  
DRAWN: BN  
DESIGN: BN  
CHK'D: MTLM  
M2LA PROJECT NUMBER: 22-010

**L1**

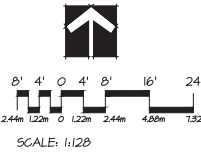
OF 9



©Copyright reserved. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.



#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com



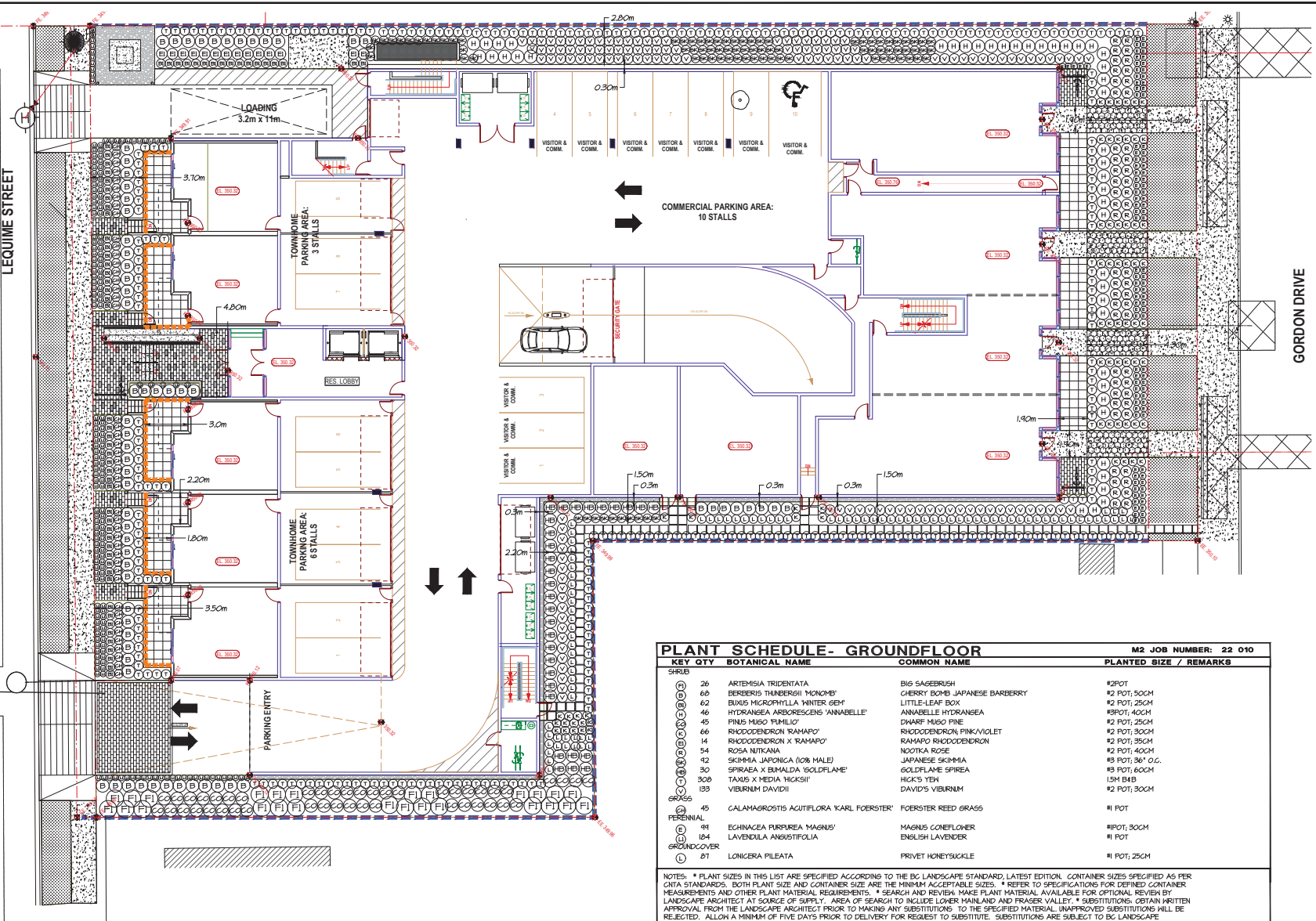
NO.	DATE	REVISION DESCRIPTION	DR.
1		PRELIMINARY DRAWING	BN
2		REV. AS PER CLIENT'S COMMENTS	BN
3		ISSUED FOR I/P	BN
4		ISSUED PER NEW SITE PLAN	BN
5		REV. PER PLAN CITY COMMENTS	BN
6		REV. PER CITY COMMENTS	BN



PROJECT:  
**1864 GORDON DRIVE,  
KELOWNA, BC**

DRAWING TITLE:  
**GROUND FLOOR  
SHRUB PLAN**

DATE: 11/FEB/2022	DRAWING NUMBER:
SCALE: 1:128	<b>L2</b>
DRAWN: BN	
DESIGN: BN	
CHKD: HTLM	OF 9
M2LA PROJECT NUMBER:	22-010-0129



PLANT SCHEDULE - GROUND FLOOR				M2 JOB NUMBER: 22 010
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
<b>SHRUBS</b>				
(D)	26	ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	#2POT
(D)	68	BERBERIS THUNBERGII 'MONOHE'	CHERRY BOMB JAPANESE BARBERRY	#2 POT; 50CM
(D)	62	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM
(D)	46	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#3POT; 40CM
(D)	45	PINUS MUGO 'PUMILIO'	DWARF MUGO PINE	#2 POT; 25CM
(D)	66	RHODODENDRON 'RAMARPO'	RHODODENDRON PINK VAQULET	#2 POT; 30CM
(D)	14	RHODODENDRON X 'RAMARPO'	RAMARPO RHODODENDRON	#2 POT; 35CM
(D)	54	ROSA NITKANA	NOOTKA ROSE	#2 POT; 40CM
(D)	42	SKIMMIA JAPONICA (0% MALE)	JAPANESE SKIMMIA	#3 POT; 36" O.C.
(D)	30	SPIRAEA X 'BAMALDA ISOLDIFLAME'	GOLDFLAME SPIRAEA	#3 POT; 60CM
(D)	328	TAXUS X MEDIA 'HICASHI'	HICKS' YEW	1.5M B&B
(D)	133	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#2 POT; 30CM
<b>GRASSES</b>				
(C)	45	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FOERSTER REED GRASS	#1 POT
<b>PERENNIAL</b>				
(D)	91	EGHINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	#1POT; 30CM
(D)	184	LAVENDULA ANGUSTIFOLIA	ENGLISH LAVENDER	#1 POT
<b>GROUND COVER</b>				
(C)	87	LONICERA PILEATA	PRIVET HONEYSUCKLE	#1 POT; 25CM

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CITA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

**ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.**

**SCHEDULE C**  
This forms part of application  
# DP22-0109

Planner Initials: AF

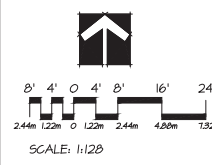
City of Kelowna  
COMMUNITY PLANNING



Copyright reserved. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.



#220 - 26 Lorne Mews  
 New Westminster, British Columbia  
 V3M 3L7  
 Tel: 604.553.0044  
 Fax: 604.553.0045  
 Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
0	2022-02-08	REV. PER CITY COMMENTS	PT
1	2022-02-08	REV. PER CITY COMMENTS	PT
2	2022-02-08	ISSUED FOR PERMITS	BN
3	2022-02-08	ISSUED FOR CIVIL	BN
4	2022-02-08	REV. AS PER CLIENTS COMMENTS	BN
5	2022-02-08	PRELIMINARY DRAWING	BN

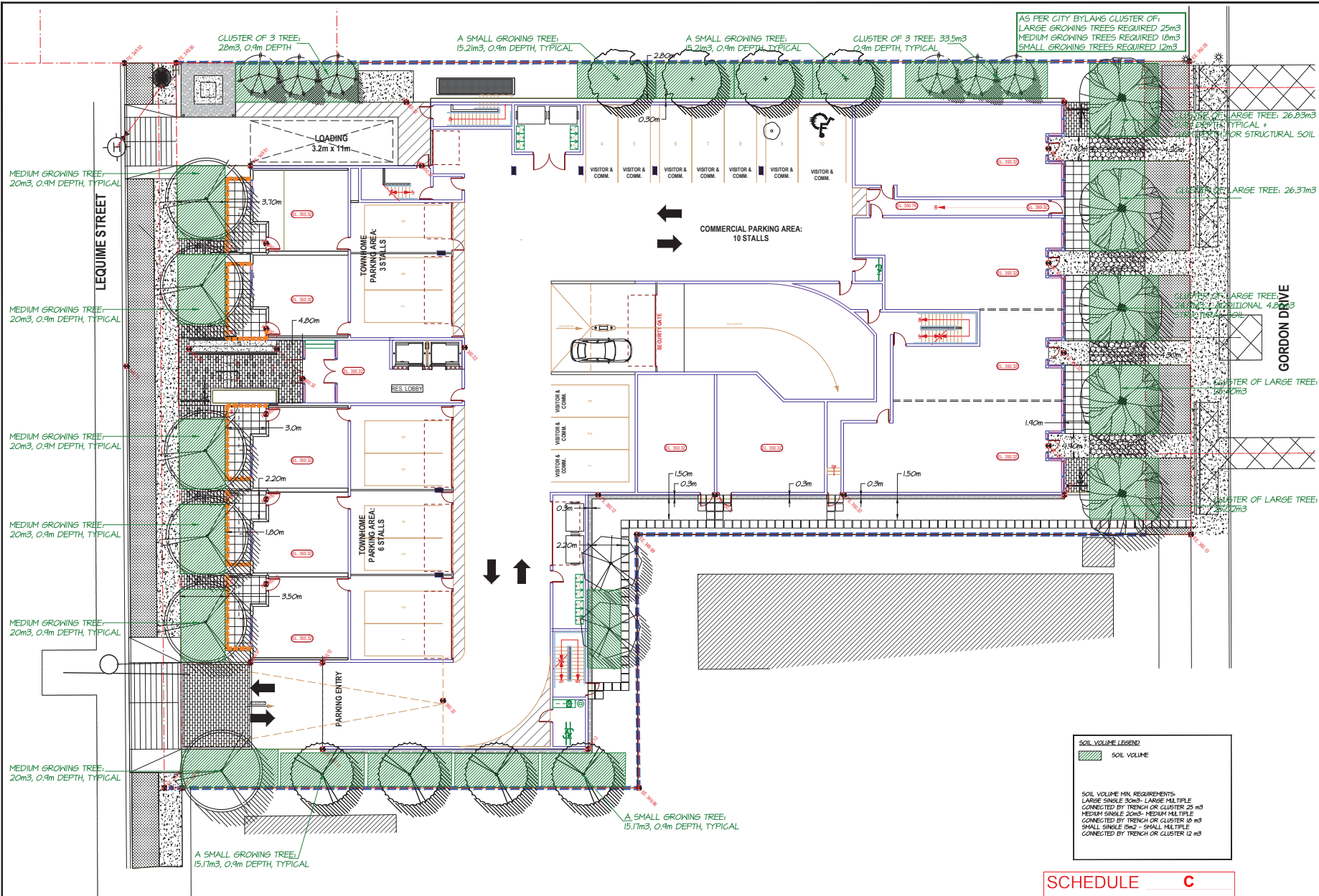


PROJECT:  
**1864 GORDON DRIVE,  
 KELOWNA, BC**

DRAWING TITLE:  
**GROUND FLOOR  
 SOIL VOLUME PLAN**

DATE: 1/FEB/2022	DRAWING NUMBER:
SCALE: 1:120	<b>L3</b>
DRAWN: BN	
DESIGN: BN	
CHKD: MTLM	CF: 9

M2LA PROJECT NUMBER: **22-010-0120**



**SCHEDULE C**

This forms part of application  
 # DP22-0109

City of Kelowna  
 COMMUNITY PLANNING

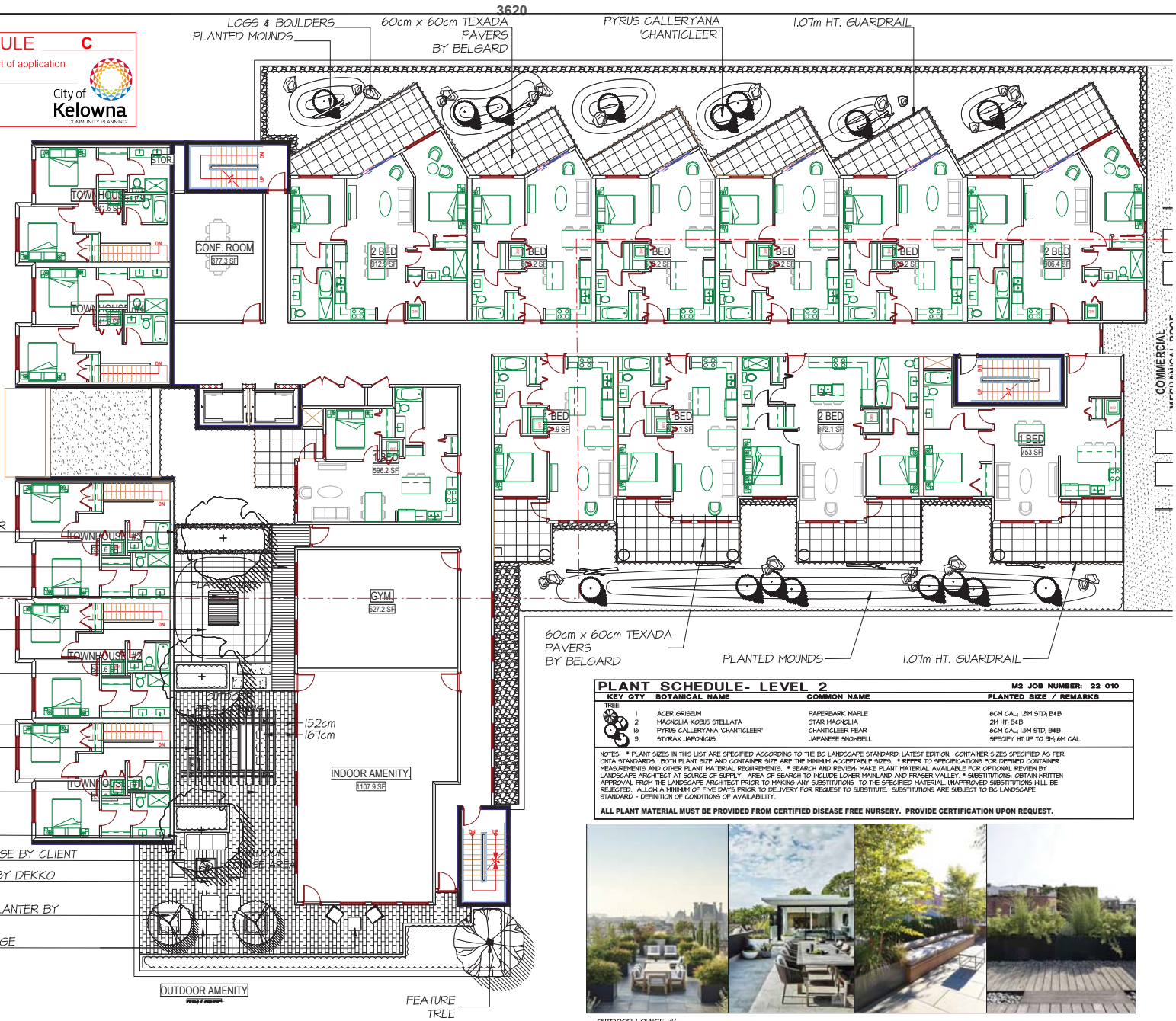
Planner Initials: AF



**SCHEDULE C**  
 This forms part of application  
 # DP22-0109

City of Kelowna  
 COMMUNITY PLANNING

Planner Initials AF



- 90cm TALL CONCRETE PLANTER
- OUTDOOR DECK
- FOREST SHOP NRO401-0022 BY KOMPAN
- PLAYGROUND SURFACE 60CM X 60CM RUBBER
- PLAY TILES: COLOUR TBD
- CIP CONCRETE SLAB
- TRELLIS
- OUTDOOR KITCHEN W/ BBQ
- CONCRETE UNIT PAVERS BY BELGARD
- MODULAR METAL PLANTER BY GREENTHEORY
- OUTDOOR LOUNGE BY CLIENT
- ALEA FIREPIT BY DEKKO
- CUBE METAL PLANTER BY GREENTHEORY
- OUTDOOR LOUNGE BY CLIENT

**PLANT SCHEDULE- LEVEL 2** M2 JOB NUMBER: 22 010

KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	ACER GRISEB	PAPERBARK MAPLE	60M CAL, 1.2M STD, B4B
2	MAGNOLIA KOBUS STELLATA	STAR MAGNOLIA	2M HT, B4B
4	PIRUS GALLERIANA 'CHANTICLEER'	CHANTICLEER PEAR	60M CAL, 1.5M STD, B4B
5	STYRAX JAPONICUS	JAPANESE SNOWBELL	SPECIFY HT UP TO 3M, 6M CAL.

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

**ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.**



OUTDOOR LOUNGE W/ METAL PLANTERS    OUTDOOR DINING    SOFAS WITH PLANTERS    METAL PLANTERS

Copyright reserved. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.

**M2**  
 LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews  
 New Westminster, British Columbia  
 V3M 3L7  
 Tel: 604.553.0044  
 Fax: 604.553.0045  
 Email: office@m2la.com



NO	DATE	REVISION DESCRIPTION	DR.
1	11/FEB/2022	ISSUED FOR PER CITY COMMENTS	BN
2	11/FEB/2022	ISSUED FOR REV SITE PLAN	BN
3	11/FEB/2022	ISSUED FOR DP	BN
4	11/FEB/2022	REV. AS PER CLIENT'S COMMENTS	BN
5	11/FEB/2022	PRELIMINARY DRAWING	BN

SEAL: [Professional Seal]

PROJECT: **1864 GORDON DRIVE, KELOWNA, BC**

DRAWING TITLE: **LEVEL 2 TREE PLAN**

DATE: 11/FEB/2022    DRAWING NUMBER: **L4**

SCALE: 1:40  
 DRAWN: BN  
 DESIGN: MTL  
 CHKD: MTL

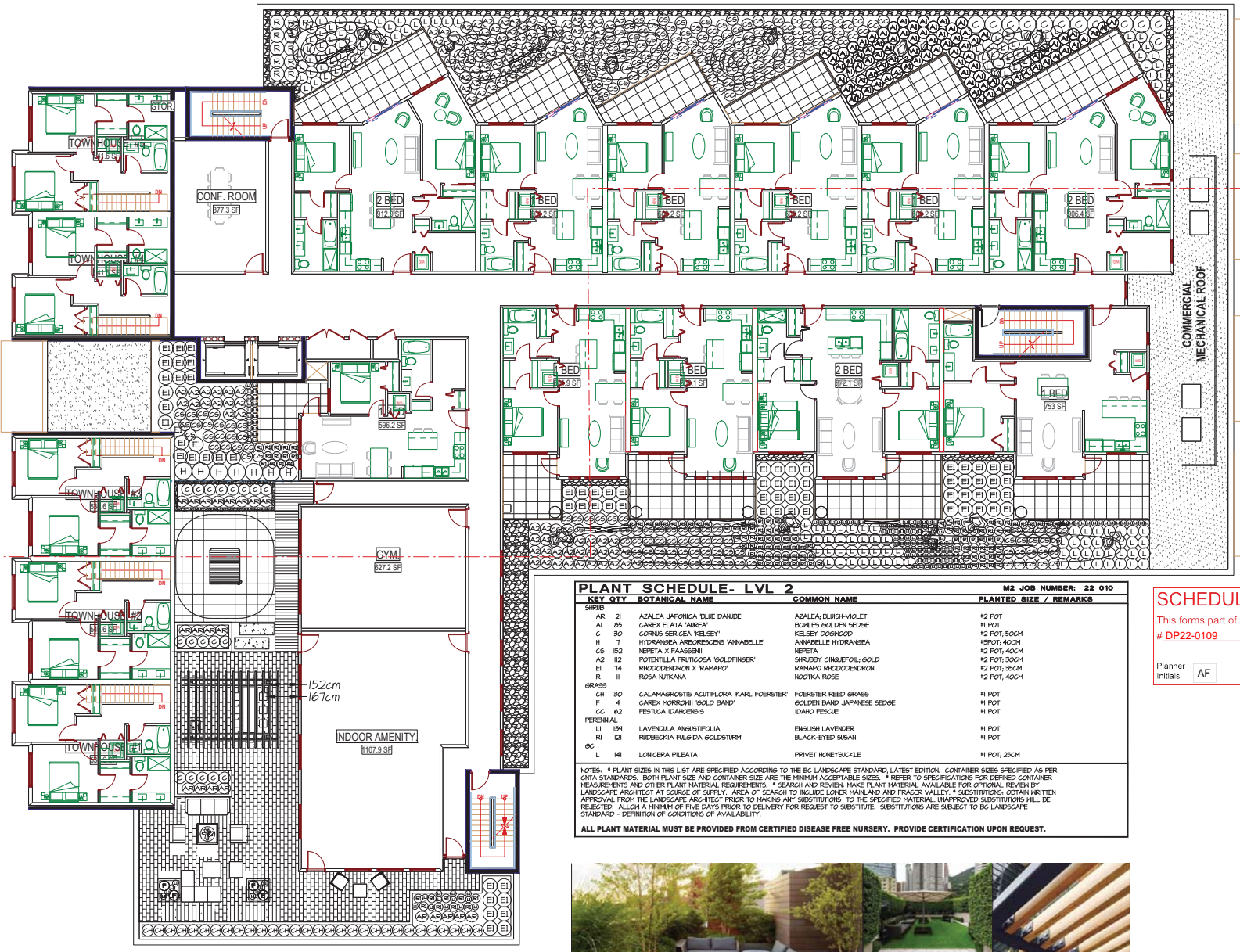
M2LA PROJECT NUMBER: 22-010-0149



© copyright reserved. This drawing and design is the property of M2 landscape architects and may not be reproduced or used for other projects without their permission.



#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com



**PLANT SCHEDULE- LVL 2** M2 JOB NUMBER: 22 010

KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
SHRUB				
AK 21	AZALEA JAPONICA 'BLUE DANUBE'	AZALEA, BLUE-VIOLET	#2 POT	
AI 85	CAREX ELATA 'AUREA'	BOWLES GOLDEN SEDGE	#1 POT	
C 30	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	#2 POT, 50CM	
H 31	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#SPOT, 40CM	
CS 152	NERPETA X FAASGENIS	NERPETA	#2 POT, 40CM	
A2 112	POTENTILLA FRUTICOSA 'GOLDFINGER'	SHRUBBY GINGERFOOL, GOLD	#2 POT, 30CM	
EI 74	RHODOCYDENDRON X 'RANAPPO'	RANAPPO RHODOCYDENDRON	#2 POT, 35CM	
R 11	ROSA NUTKANA	NOOTKA ROSE	#2 POT, 40CM	
GRASS				
GH 30	CALAMAGOSTIS ACUTIFLORA 'KARL FOERSTER'	FOERSTER REED GRASS	#1 POT	
F 4	CAREX MORROCHII 'GOLD BAND'	GOLDEN BAND JAPANESE SEDGE	#1 POT	
CG 62	FESTUCA IDAHOENSIS	IDAHO FESCUE	#1 POT	
PERENNIAL				
LI 194	LAVENDULA ANGISTIFOLIA	ENGLISH LAVENDER	#1 POT	
RI 121	RUBRICKIA FULGIDA 'GOLDFISH'	BLACK-EYED SUSAN	#1 POT	
EC	L 141	LONICERA PILEATA	PRIVET HONEYSUCKLE	#1 POT, 25CM

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CITY STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

**ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.**

**SCHEDULE C**  
This forms part of application  
# DP22-0109

Planner Initials: AF

NO.	DATE	REVISION DESCRIPTION	DR.
0	02/02/2022	REV. PER CITY COMMENTS	PT
1	02/02/2022	NEW SITE PLAN CITY COMMENTS	BN
2	02/02/2022	ISSUED PER NEW SITE PLAN	BN/LJ
3	02/02/2022	ISSUED FOR DP	BN/LJ
4	02/02/2022	REV. AS PER CLIENT'S COMMENTS	BN/LJ
5	02/02/2022	PRELIMINARY DRAWINGS	BN/LJ

SEAL:

PROJECT:  
**1864 GORDON DRIVE,  
KELOWNA, BC**

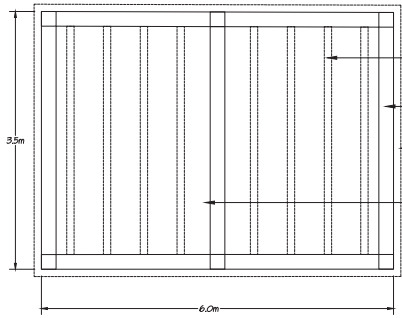


OUTDOOR LOUNGE      SUN DECK      TRELLIS DETAIL

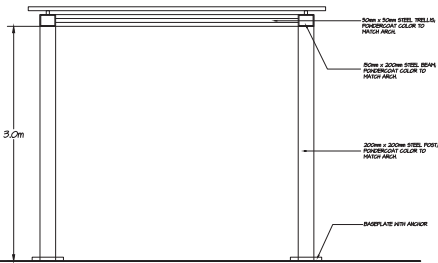
DRAWING TITLE:  
**LEVEL 2  
SHRUB PLAN**

DATE: 11/FEB/2022	DRAWING NUMBER:
SCALE: 1:40	<b>L5</b>
DRAWN: BN	
DESIGN: BN	
CHKD: MTLM	OF 9
M2LA PROJECT NUMBER:	22-010-0149

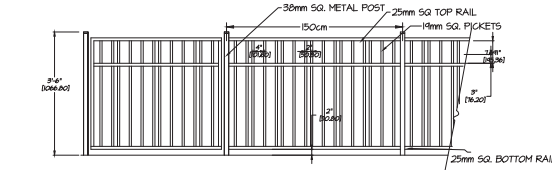




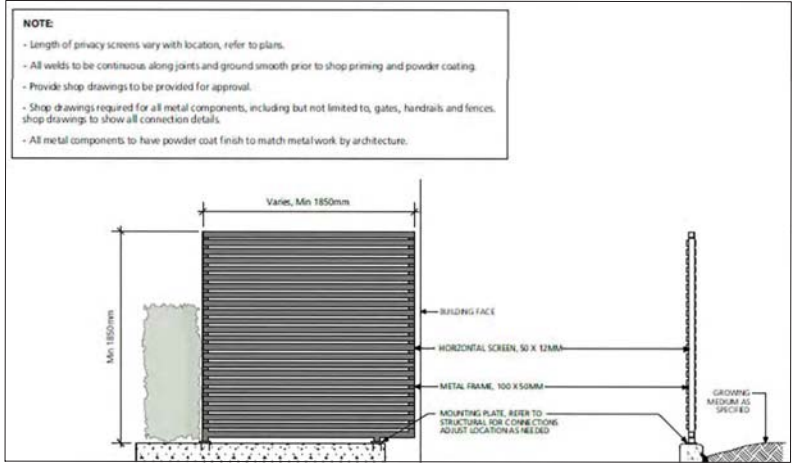
**SCHEDULE C**  
 This forms part of application  
 # DP22-0109  
 Planner Initials: AF  
 City of Kelowna  
 COMMUNITY PLANNING



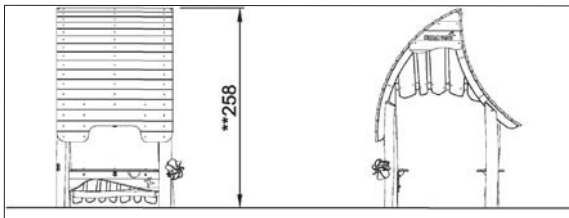
1 TRELLIS DETAIL  
 L6 SCALE: 1:30



2 1.07m HT. ALUMINUM PICKET FENCE  
 L6 SCALE: 1:20



3 1.85m HT. WOOD PERIMETER FENCE  
 L6 SCALE: 1:20

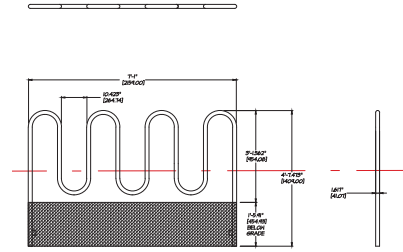


FOREST SHOP NR0407-0022 BY KOMPAN  
<https://www.kompan.com/play/hature-play/robinia-village/forest-shop>  
 6 FOREST SHOP BY KOMPAN  
 L6 SCALE: 1:30



ALEA FIREPIT BY DEKKO  
<https://www.dekko.ca/portofolio-item/alea/>

7 ALEA FIREPIT BY DEKKO  
 L6 SCALE: N.T.S.



4 BIKE RACK  
 L6 SCALE: 1:20



SQUARE METAL PLANTER BY GREENTHEORY  
<https://greentheorydesign.com/join/>

5 SQUARE METAL PLANTER BY GREENTHEORY  
 L6 SCALE: N.T.S.



MODULAR METAL PLANTER BY GREENTHEORY  
<https://greentheorydesign.com/join/>

8 MODULAR METAL PLANTER BY GREENTHEORY  
 L6 SCALE: N.T.S.

Copyright reserved. This drawing and design is the property of M2 landscape architects and may not be reproduced or used for other projects without their permission.



#220 - 26 Lorne Mews  
 New Westminster, British Columbia  
 V3M 3L7  
 Tel: 604.553.0044  
 Fax: 604.553.0045  
 Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
0	02/01/2022	REV. PER CITY COMMENTS	PT
1	02/01/2022	NEW SITE PLAN CITY COMMENTS	BN
2	02/01/2022	ISSUED PER NEW SITE PLAN	BN/L6
3	02/01/2022	ISSUED FOR DP	BN/L6
4	02/01/2022	REV. PER CITY COMMENTS	BN/L6
5	02/01/2022	PRELIMINARY DRAWINGS	BN/L6

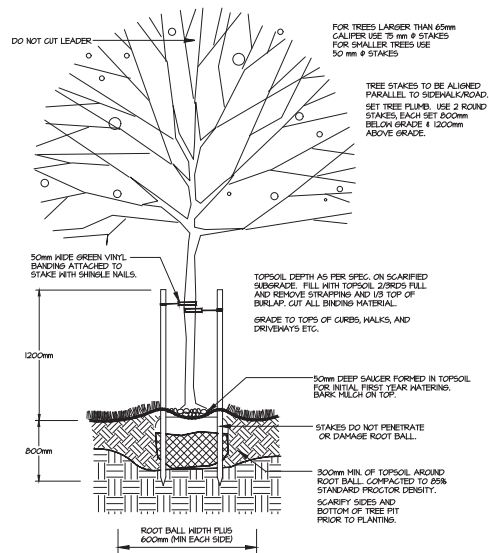


PROJECT:  
 1864 GORDON DRIVE,  
 KELOWNA, BC

DRAWING TITLE:  
 LANDSCAPE  
 DETAILS (1)

DATE: 11/FEB/2022	DRAWING NUMBER:
SCALE: AS SHOWN	L6
DRAWN: BN	
DESIGN: BN	
CHK'D: MTLM	
	OF 9
M2LA PROJECT NUMBER:	22-010-0149





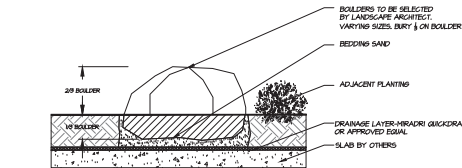
1 TREE PLANTING  
L1 SCALE: N.T.S.

**SCHEDULE C**

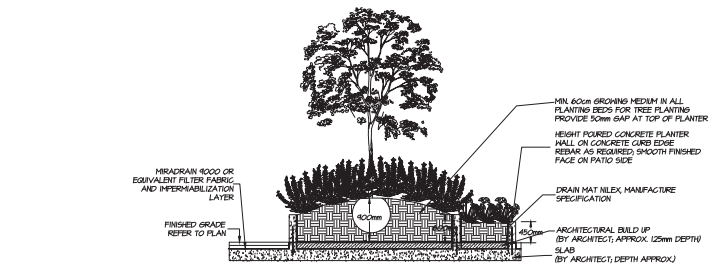
This forms part of application # DP22-0109

Planner initials: AF

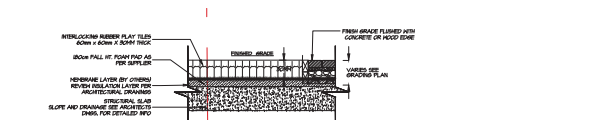
City of Kelowna  
COMMUNITY PLANNING



2 DRIP STRIP AND PLANTING ON SLAB  
L1 SCALE: 1:1.50



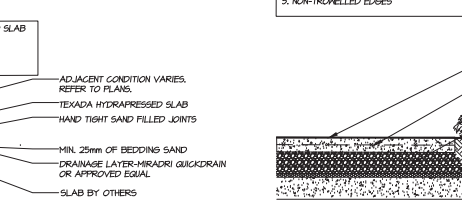
3 PLANTER ON SLAB  
L1 SCALE: 1:1.50



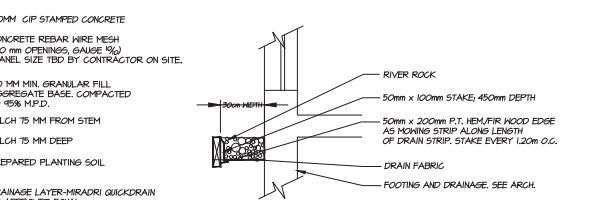
4 PLANTER ON SLAB  
L1 SCALE: 1:1.50



5 SHRUB PLANTING  
L1 SCALE: 1:1.20



6 BOULDER ON SLAB  
L1 SCALE: 1:1.20

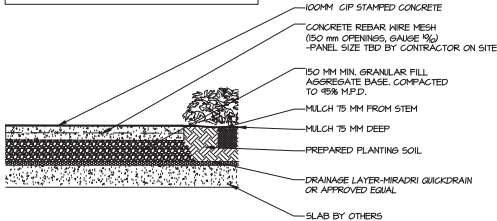


7 RUBBER PLAYTILES ON SLAB  
L1 SCALE: 1:1.20



8 PAVER TYPE A B & C ON SLAB  
L1 SCALE: 1:1.16

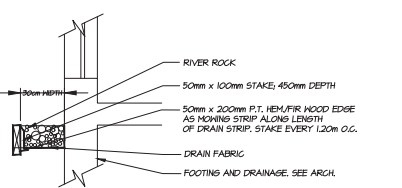
NOTES:  
1. CONTROL JOINT EVERY 0.7m  
2. EXPANSION JOINT EVERY 6.0m W/ FELT LINER  
3. METEORY 6mm SHAN BLADE CUT 25mm DEEP  
4. STRAIGHT CONTINUOUS POUR  
5. NON-TROWELLED EDGES



9 PAVERS TYPE D ON SLAB  
L1 SCALE: 1:1.16



10 PIP CONCRETE ON SLAB  
L6 SCALE: 1:1.16



11 DRIP STRIP  
L1 SCALE: 1:1.16

Copyright reserved. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.



#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
0	02/02/2022	REV. PER CITY COMMENTS	PT
1	02/03/2022	NEW SITE PLAN CITY COMMENTS	BN
2	02/03/2022	ISSUED PER NEW SITE PLAN	BN/LZ
3	02/03/2022	ISSUED FOR DP	BN/LZ
4	02/03/2022	REV. AS PER CLIENT'S COMMENTS	BN/LZ
5	02/03/2022	PRELIMINARY DRAWINGS	BN/LZ



PROJECT: 1864 GORDON DRIVE, KELOWNA, BC

LANDSCAPE DETAILS (2)

DATE: 11/FEB/2022	DRAWING NUMBER:
SCALE: AS SHOWN	
DRAWN: BN	
DESIGN: BN	
CHKD: M2LM	
MLA PROJECT NUMBER:	22-010-0149



Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>2.1 General residential &amp; mixed use guidelines</b>						
<b>2.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.	✓					
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.						✓
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						✓
f. Avoid blank, windowless walls along streets or other public open spaces.						✓
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.						✓
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. <ul style="list-style-type: none"> <li>Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets);</li> <li>The street wall does not include upper storeys that are setback from the primary frontage; and</li> <li>A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys.</li> </ul>						✓
<b>2.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.						✓
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.						✓
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> <li>Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and</li> </ul>						✓



<ul style="list-style-type: none"> <li>Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice.</li> </ul>						
<b>2.1.3 Site Planning</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						✓
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						✓
c. Limit the maximum grades on development sites to 30% (3:1)	✓					
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> <li>Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible;</li> <li>Incorporating terracing to create usable open spaces around the building</li> <li>Using the slope for under-building parking and to screen service and utility areas;</li> <li>Design buildings to access key views; and</li> <li>Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped).</li> </ul>	✓					
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						✓
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	✓					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						✓
<b>2.1.4 Site Servicing, Access, and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						✓
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.					✓	
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						✓
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> <li>Underground (where the high water table allows)</li> </ul>						✓



<ul style="list-style-type: none"> <li>• Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage);</li> <li>• Garages or at-grade parking integrated into the building (located at the rear of the building); and</li> <li>• Surface parking at the rear, with access from the lane or secondary street wherever possible.</li> </ul>						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.	✓					
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> <li>• Landscaping;</li> <li>• Trellises;</li> <li>• Grillwork with climbing vines; or</li> <li>• Other attractive screening with some visual permeability.</li> </ul>	✓					
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> <li>• Covered short-term parking in highly visible locations, such as near primary building entrances; and</li> <li>• Secure long-term parking within the building or vehicular parking area.</li> </ul>						✓
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						✓
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.				✓		
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.						✓
<b>2.1.5 Streetscapes, Landscapes, and Public Realm Design</b>	N/A	1	2	3	4	5
a. Site buildings to protect mature trees, significant vegetation, and ecological features.	✓					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						✓
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						✓
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> <li>• Locating outdoor spaces where they will receive ample sunlight throughout the year;</li> <li>• Using materials and colors that minimize heat absorption;</li> <li>• Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and</li> <li>• Using building mass, trees and planting to buffer wind.</li> </ul>						✓



f. Use landscaping materials that soften development and enhance the public realm.						✓
g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.						✓
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.						✓
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> <li>• Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and</li> <li>• Using recycled water irrigation systems.</li> </ul>	✓					
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	✓					
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.	✓					
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> <li>• Minimizing light trespass onto adjacent properties;</li> <li>• Using full cut-off lighting fixtures to minimize light pollution; and</li> <li>• Maintaining lighting levels necessary for safety and visibility.</li> </ul>						✓
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.						✓
<b>2.1.6 Building Articulation, Features and Materials</b>	N/A	1	2	3	4	5
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> <li>• Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks;</li> <li>• Repeating window patterns on each step-back and extension interval;</li> <li>• Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and</li> <li>• Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval.</li> </ul>						✓
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs.						✓



Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters; ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.						✓
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.						✓
f. Provide weather protection such as awnings and canopies at primary building entries.						✓
g. Place weather protection to reflect the building's architecture.						✓
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						✓
i. Provide visible signage identifying building addresses at all entrances.						✓

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>4.1 Low &amp; mid-rise residential &amp; mixed use guidelines</b>						
<b>4.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
i. Ensure lobbies and main building entries are clearly visible from the fronting street.						✓
j. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> <li>• Locating enclosed parking garages away from street frontages or public open spaces;</li> <li>• Using ground-oriented units or glazing to avoid creating dead frontages; and</li> <li>• When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting.</li> </ul>						✓
<b>Commercial &amp; Mixed Use Buildings</b>						
k. Ensure buildings have a continuous active and transparent retail frontage at grade to provide a visual connection between the public and private realm.						✓
l. Site buildings using common 'build to' line at or near the front property line so that a continuous street frontage is maintained. Some variation (1-3 m maximum) can be accommodated in ground level set backs to support pedestrian and retail activity by,						✓



for example, incorporating recessed entryway, small entry plaza, or sidewalk café.						
m. Incorporate frequent entrances (every 15 m maximum) into commercial and street frontages to create punctuation and rhythm along the street, visual interest and support pedestrian activity.						✓
<b>Residential &amp; Mixed Use Buildings</b>						
n. Set back residential buildings on the ground floor between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio. <ul style="list-style-type: none"> <li>• A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways.</li> <li>• Exceptions can be made in cases where the water table requires this to be higher. In these cases, provide a larger patio and screen parking with ramps, stairs and landscaping.</li> </ul>						✓
o. Incorporate individual entrances to ground floor units accessible from the fronting street or public open spaces.						✓
p. Site and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						✓
<b>4.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.						✓
b. Residential buildings should have a maximum width of 24 m.				✓		
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.						✓
d. For commercial facades, incorporate a significant break at intervals of approximately 35 m.	✓					
<b>4.1.3 Site Servicing, Access, and Parking</b>	N/A	1	2	3	4	5
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.	✓					
b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> <li>• Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and</li> <li>• Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access.</li> </ul>						✓
c. Break up large buildings with mid-block connections which should be publicly accessible wherever possible.	✓					
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	✓					
<b>4.1.4 Site Servicing, Access and Parking</b>	N/A	1	2	3	4	5



a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> <li>• Access is from a secondary street, where possible, or from the long face of the block;</li> <li>• Impacts on pedestrians and the streetscape is minimised; and</li> <li>• There is no more than one curb cut per property.</li> </ul>				✓		
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.						✓
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: <ul style="list-style-type: none"> <li>• Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and</li> <li>• Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.</li> </ul>						✓
<b>4.1.5 Publicly-Accessible and Private Open Spaces</b>	N/A	1	2	3	4	5
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	✓					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.						✓
<b>Outdoor amenity areas</b>						
c. Design plazas and urban parks to: <ul style="list-style-type: none"> <li>• Contain 'three edges' (e.g. building frontage on three sides) where possible and be sized to accommodate a variety of activities;</li> <li>• Be animated with active uses at the ground level; and</li> <li>• Be located in sunny, south facing areas.</li> </ul>	✓					
d. Design internal courtyards to: <ul style="list-style-type: none"> <li>• Provide amenities such as play areas, barbecues, and outdoor seating where appropriate.</li> <li>• Provide a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.</li> </ul>						✓
e. Design mid-block connections to include active frontages, seating and landscaping.	✓					
<b>Rooftop Amenity Spaces</b>						
f. Design shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) to be accessible to residents and to ensure a balance of amenity and privacy by:						✓



<ul style="list-style-type: none"> <li>Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and</li> <li>Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units by using fencing, landscaping, or architectural screening.</li> </ul>						
<p>g. Reduce the heat island affect by including plants or designing a green roof, with the following considerations:</p> <ul style="list-style-type: none"> <li>Secure trees and tall shrubs to the roof deck; and</li> <li>Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated.</li> </ul>					✓	
<b>4.1.6 Building Articulation, Features, and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
<p>a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include:</p> <ul style="list-style-type: none"> <li>Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade;</li> <li>Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade;</li> <li>Providing a porch, patio, deck, or covered entry for each interval;</li> <li>Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance;</li> <li>Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval;</li> <li>Changing the materials with the change in building plane; and</li> <li>Provide a lighting fixture, trellis, tree or other landscape feature within each interval.</li> </ul>						✓
<p>b. Break up the building mass by incorporating elements that define a building’s base, middle and top.</p>						✓
<p>c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.</p>						✓
<p>d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.</p>						✓
<p>e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.</p>	✓					
<p>f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations:</p> <ul style="list-style-type: none"> <li>Primary building entrances;</li> </ul>						✓



<ul style="list-style-type: none"> <li>• Adjacent to bus zones and street corners where people wait for traffic lights;</li> <li>• Over store fronts and display windows; and</li> <li>• Any other areas where significant waiting or browsing by people occurs.</li> </ul>						
g. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						✓
h. Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.						✓
i. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.						✓
j. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.						✓
k. Avoid the following types of signage: <ul style="list-style-type: none"> <li>• Internally lit plastic box signs;</li> <li>• Pylon (stand alone) signs; and</li> <li>• Rooftop signs.</li> </ul>						✓
l. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.				✓		



**JY ARCHITECTURE INC.**  
2nd Floor, 8661 201 St. Langley BC V2Y 0G9  
t: 604 493 2001  
e: [contact@JYarch.com](mailto:contact@JYarch.com)  
[www.JYarch.com](http://www.JYarch.com)

**Jinyong Yum** Principal  
Architect AIBC, LEED BD+C  
t: 604 493 2001 ext.700  
e: [jyum@JYarch.com](mailto:jyum@JYarch.com)

March 22nd, 2022

**Re: Architectural Design Rationale of the proposed Mixed-Use building at 1864 Gordon Drive, Kelowna, BC.**

**1.0 PROJECT DESCRIPTION**

The building site is close to Gordon Drive and Sutherland Avenue, both major traffic arteries. Adjacent existing single-family homes surround the area to the West, Kelowna Buddhist Temple on the North, and Oasis Inn on the South. The project will be a modern esthetic, multi-level apartment-style building form. The units will be creatively expressed within the main structure, evoking a sense of class and style found in the upscale neighbourhoods of many large Canadian cities. The layouts, features, and quality materials will define these units as a positive contribution to the neighbourhood streetscape. The building is six stories in height with a whole basement level parkade floor, commercial units, townhomes and additional parking space on grade. Construction will consist of one level basement floor, and one level podium concrete construction with wood-frame above and will use finish materials and construction techniques appropriate to an upper-end residential offering. The proposed gross floor area is 13,000sf which consists of approximately 9,000sf gross living area making up the 16 residential units, including five ground-oriented townhomes and four commercial units. The basement and ground-level parkade provide private storage and ancillary space. The required parking is satisfied by 18 private parking stalls in the parkade and ten commercial parking stalls. Space has also been provided for long-term bicycle parking and refuse bins located within the property.

The project has abundant space on the podium that provides extensive amenities and landscaped open space. The residents will use the area for private yards and amenity space for all the units. The circulation and surrounding green space garden planting areas will encourage outdoor social interaction.

Our project proposes to address the transition from high-density developments on the East side of Gordon Drive to C-NHD (Core Area Neighbourhood) designation for the West side of the property. This project manages the challenge of an abrupt to the higher density Capri Landmark Urban Centre. The single-storey podium and residential massing setback above allow the building form and character to adjust to the future development of the Capri Landmark Urban Centre. It enables a smooth transition to the existing single residential neighbourhood while maximizing the opportunity for architectural quality.

With pedestrian-friendly ground-oriented units placed along Lequime Street, the project also responds to the scale of the surrounding houses and any future projects that the C2 zoning allows and encourages.

Beyond the benefits of the improved streetscape, the ground-oriented units form was designed to appeal to a local demographic that is underserved with housing options, and commercial units embrace retail streets along Gordon Drive.

The full basement parking structure ground-oriented residential and commercial units activate the streetscape and allow the building to engage with pedestrians. It creates a gentle transition from the one or two-storey massing across the street and provides a pedestrian-friendly interface. The parking access ramp and loading bay face Lequime Street, and utility and refuse areas are located within the ground floor to minimize the blank facade to the facing street.

Utilizing the rooftop area of the podium for amenity and green space provides ample opportunity for soft landscaping. The growing medium for the grass and planters will retain significant amounts of rainwater. Once situated, the potential of on-site storage tanks will further reduce the infiltration rate into municipal storm drains. Exterior flatwork (drive lanes, sidewalks) potentially will be of permeable construction to accelerate absorption into the natural grade and further softens the landscape.

The rear yard at Lequime Street is primarily service-oriented, providing access to the parkade, access to refuse, and bicycle parking. Our proposed setback takes the distance usually intended as a minimum rear yard and shifts it to the green spaces to provide a more desirable outdoor living space.



## 2.0 SITE and parking ACCESS

Most residential parking is located at the basement level, and commercial and townhome parking is at ground level in a covered and secured parkade. The parkade is accessed by a ramp located off Equine Street, and there are several accessible parking stalls located in the underground parkade. The elevator and central stair core facilitate access from the private garage to the building.

Access to the electrical/mechanical room and refuse and bicycle areas are provided off the rear and side of the building. The rear facade along Lequime Street has ground-oriented access to the townhomes and the main residential entry lobby. All condo unit residents have access to the indoor and outdoor amenities on the second level providing accessible walkways and elevators.

## 3.0 URBAN CONNECTIVITY

The project is located close to Downtown and the Capri Landmark Urban Centre, allowing pedestrians and cyclists easy access to all the shopping, recreational opportunities and cultural events. Gordon Drive will always be a significant Corridor for pedestrians, cycling & automobiles to downtown and the City's south end. Transit is available on Sutherland Avenue and Gordon Drive. When going further from the immediate area, and a car is the only option, Sutherland Avenue & Gordon Drive offer excellent connectivity to the rest of the City and the region.

## 4.0 SUSTAINABILITY

South and west-facing windows will be specified to have appropriate shading and glazing coefficients to utilize the summer sun by blocking the heat while still allowing the winter sun to penetrate, reducing cooling and heating loads in the summer and winter seasons. Providing windows in all occupied spaces lets natural daylighting and views reduce the energy consumption required for illumination.

Other sustainable measures will include drought-resistant landscaping. Eco-friendly waste receptacles and electric charging stations will be incorporated into the parking structure and lane development.

## 5.0 CRIME PREVENTION

The intentions of CPTED have been addressed with well-maintained entrances and frontage and reduced setback increasing the presence of the building. The sight-lines of the occupants from balconies and windows will discourage vandalism and crime.

Site lighting along Gordon Drive and Lequime Street and pathways will be balanced to provide enough illumination to ensure no high contrast that could conceal potential offenders, but not so much that the site is excessively contributing to local light pollution.

## 6.0 LANDSCAPING

The owner has selected M2 Landscape Architects to create an exciting and aesthetically pleasing landscape solution that responds to the project's architectural style. It will also complement the character of the surrounding neighbourhood. A number of annual and perennial shrubs have been selected for along the planters throughout the site and in unique groupings in the podium rooftop amenity.



**JY ARCHITECTURE INC.**

2nd Floor, 8661 201 St. Langley BC V2Y 0G9

t: 604 493 2001

e: [contact@JYarch.com](mailto:contact@JYarch.com)

[www.JYarch.com](http://www.JYarch.com)

**Jinyong Yum** Principal

Architect AIBC, LEED BD+C

t: 604 493 2001 ext.700

e: [jyum@JYarch.com](mailto:jyum@JYarch.com)

Trees will be planted in the front and rear yard and the podium rooftop spaces. Given enough time to mature, the trees will help the project blend with the existing neighbourhoods' numerous established and mature trees lining Lawson Avenue and in back yards.

The landscape concept for the setback areas will provide a visually exciting and high volume of green space. Please refer to the attached design rationale letter from the landscape architect.

**7.0 SUMMARY**

JY Architecture design team feels that combining a modern design esthetic coupled with pedestrian-friendly landscape features and contemporary building materials will provide a very active and highly desirable residential neighbourhood project.

By massing and density transition from the Capri Landmark Urban Centre, we intend that this project will set a precedent for future development in the area to follow a similar form.

We look forward to your support for all this project brings to our community and this unique opportunity to create a better future.

Sincerely,

**JY Architecture Inc.**

Per:

**Jinyong Yum**, Architect-AIBC, LEED BD+C  
Principal





City of  
**Kelowna**



DP22-0109  
1864 Gordon Dr

Development Permit



# Purpose

- ▶ To issue a Development Permit for the form and character of a mixed use residential commercial building.



# Development Process



May 2, 2022

Development Application Submitted



Staff Review & Circulation



Jan 8, 2024

Development Permit



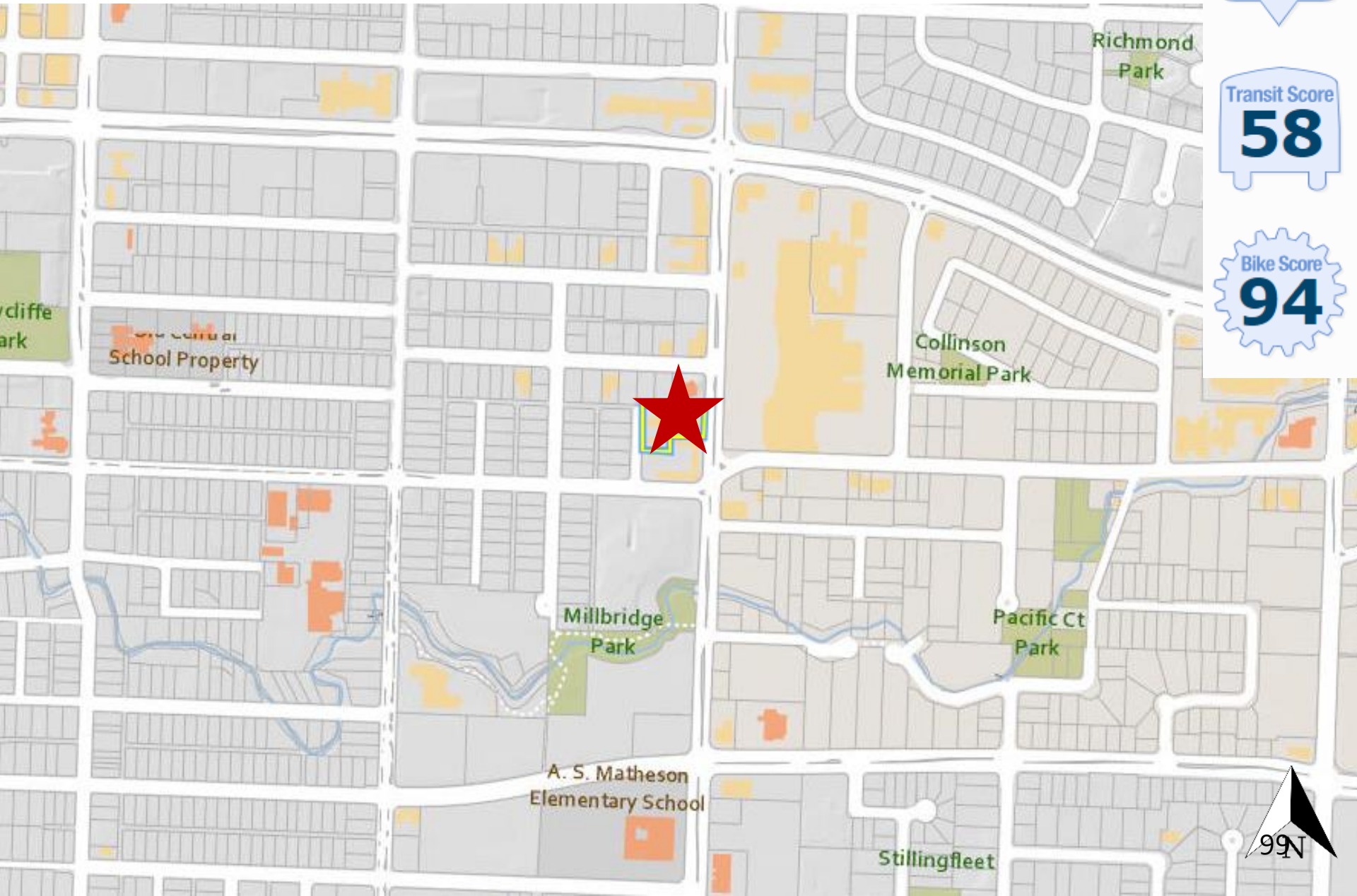
Council Approvals



Building Permit



# Context Map



Walk Score  
**85**

Transit Score  
**58**

Bike Score  
**94**





# Subject Property Map





# Technical Details

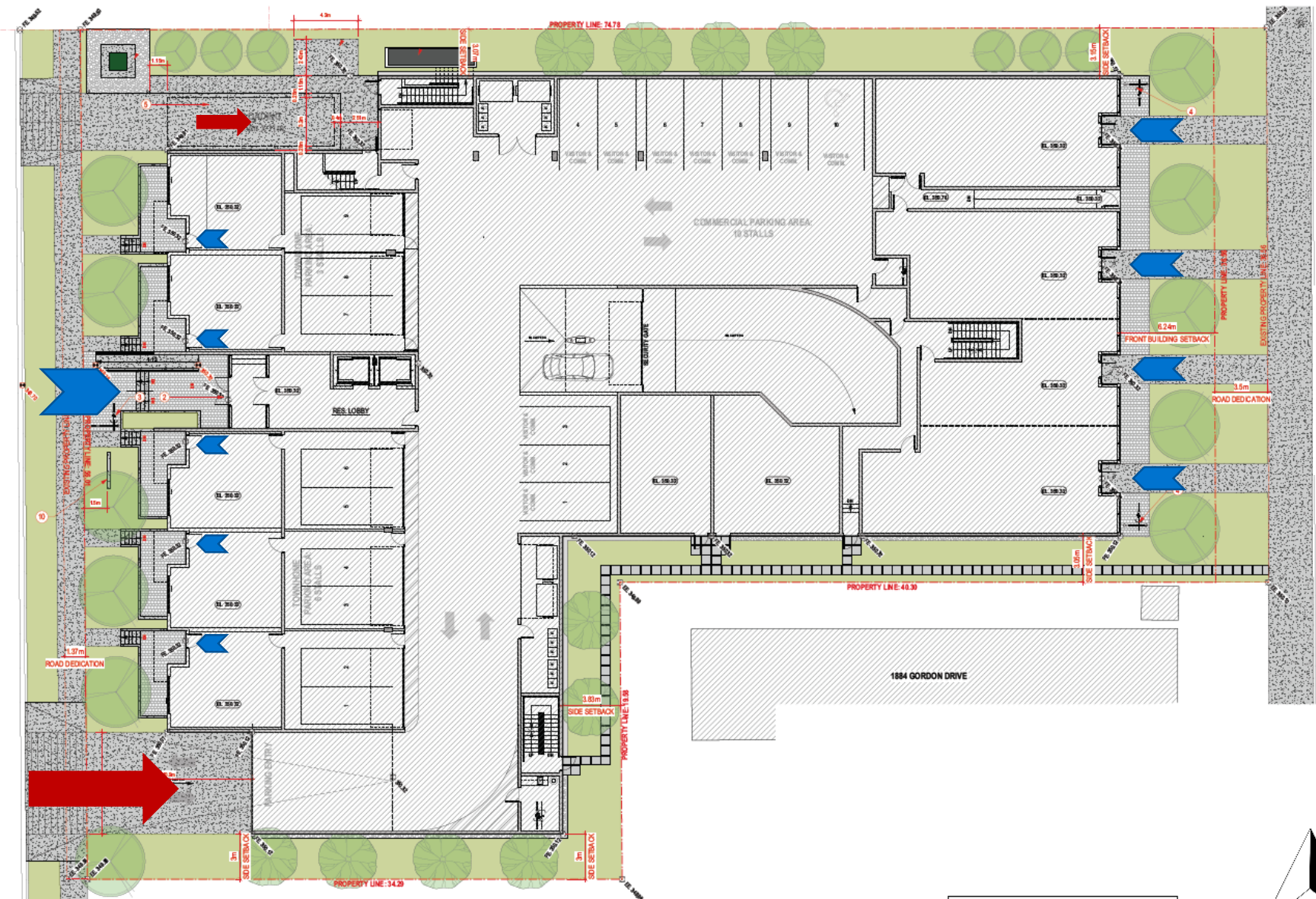
- ▶ CA1 – Mixed Use Commercial Building with townhomes and at-grade commercial
  - ▶ 71 units
    - ▶ 38 one-bed
    - ▶ 29 two-bed
      - ▶ Including five townhome units
    - ▶ 4 three-bed
    - ▶ 6 storey building height
  - ▶ 88 Parking Stalls
    - ▶ Including 10 dedicated commercial / visitor stalls
  - ▶ 72 Bicycle Parking Stalls
    - ▶ 58 long-term
    - ▶ 14 short-term



# Site Plan

Lequime St

Gordon Dr





# Elevation – West

PROPERTY LINE



PROPERTY LINE



# Elevation – East





# Elevation – North





# Elevation – South



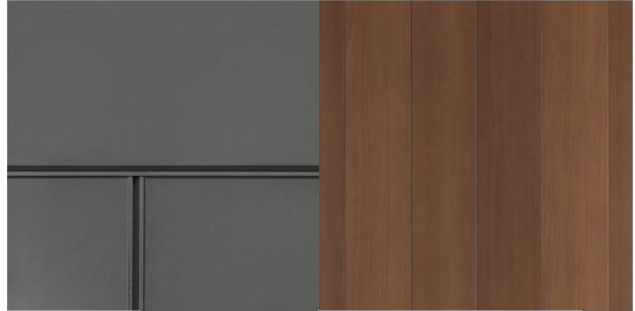


# Materials Board



BRICK CLADDING

WEATHERED METAL PANELS



CEMENTITIOUS PANELS

WOOD PATTERN METAL SOFFIT & CLADDING



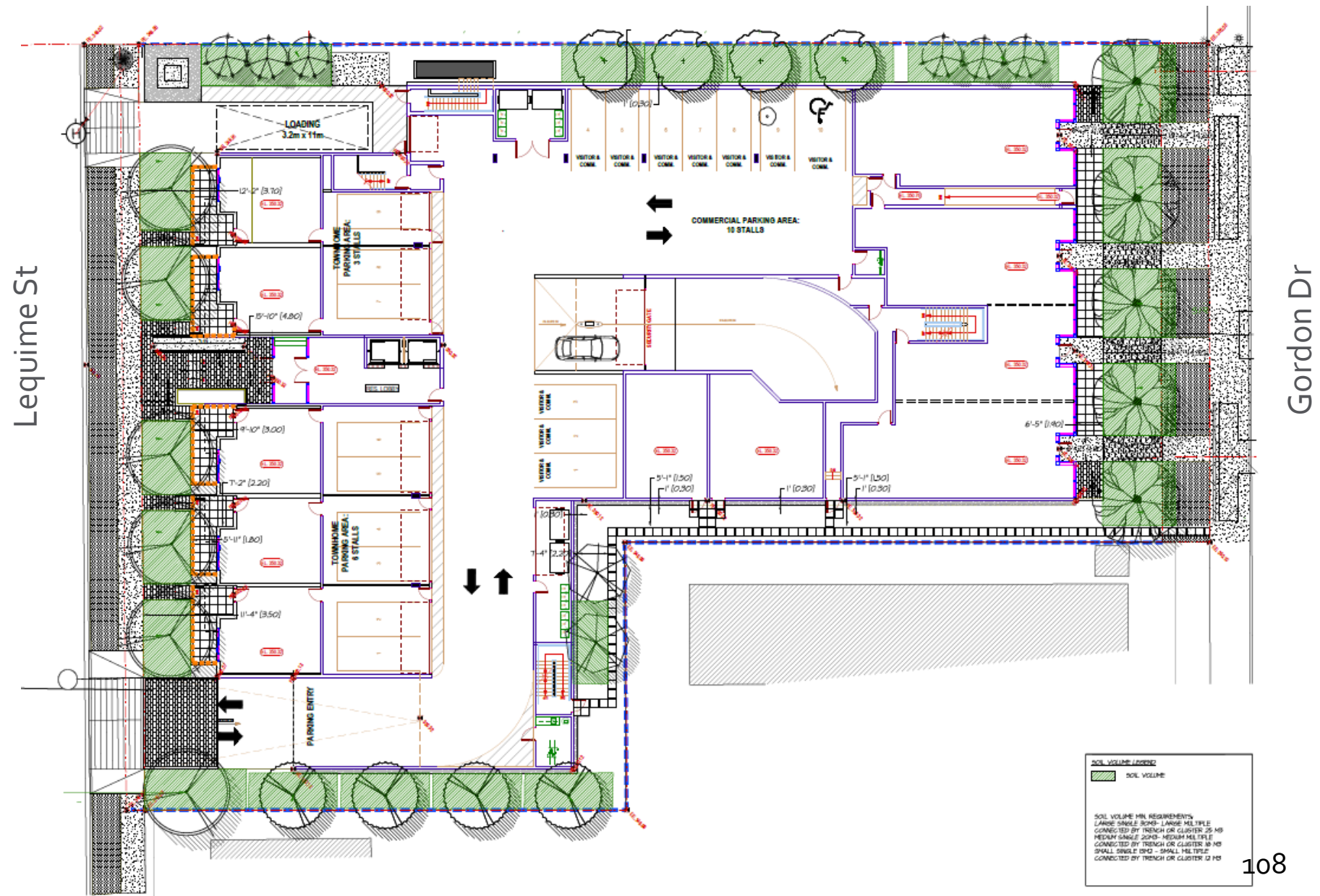
STANDING SEAM METAL CLADDING



PAINTED METAL POST W/ GLASS GUARD



# Landscape Plan

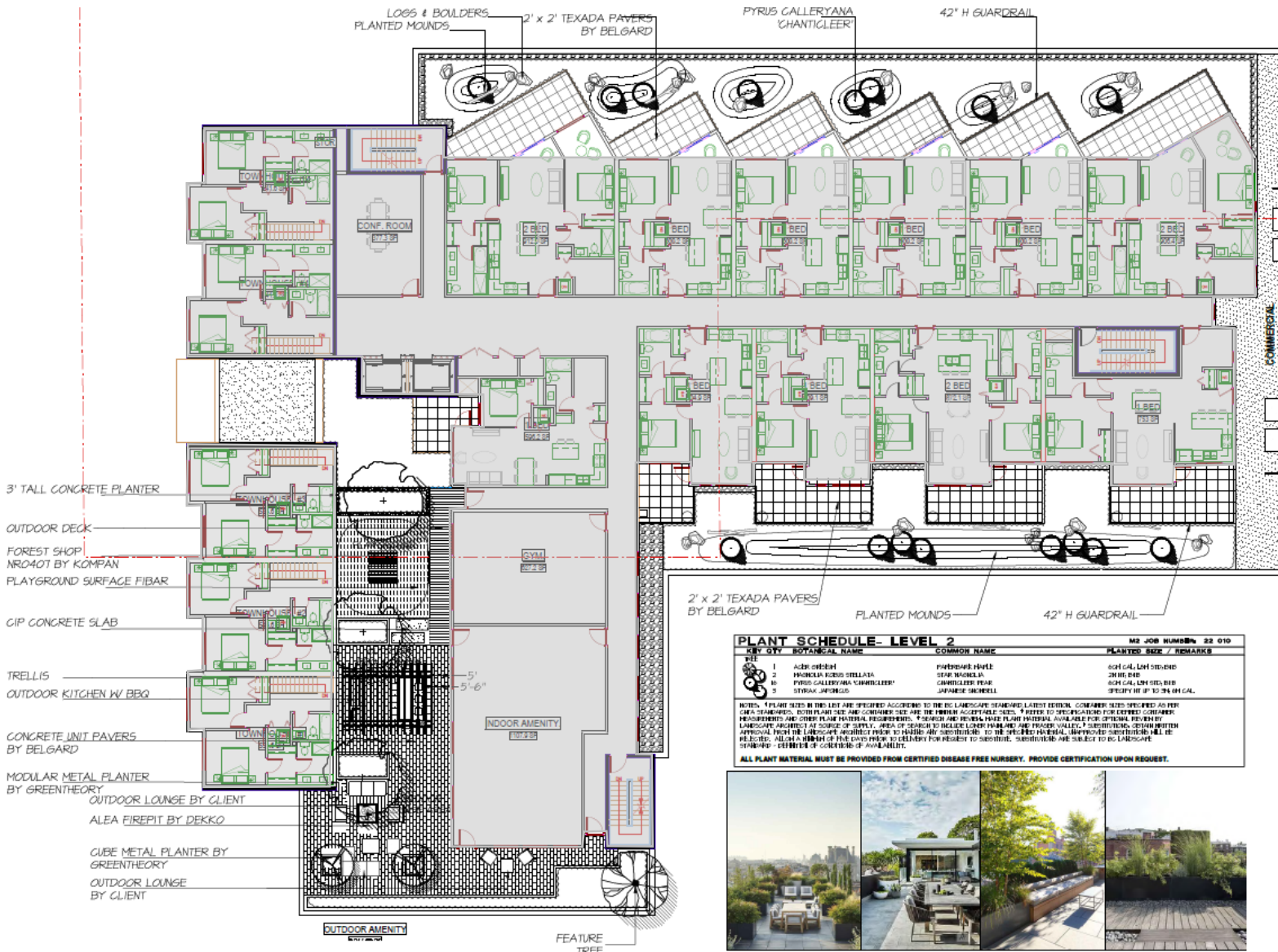




# Landscape Plan

Lequime St

Gordon Dr



**PLANT SCHEDULE- LEVEL 2**

PLANT	QTY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER 22 010
1	1	ACER ORIENT	ORIENTAL MAPLE	80H CAL, LHM STD 80H
2	10	FRAXELA ROBIS STELLATA	STAR MAGNOLIA	20H BR 80H
3	10	PYRUS GALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	80H CAL, LHM STD 80H
4	3	SYRIZA JAPONICA	JAPANESE SPICEBUSH	SPECIFY HT UP TO 3M ON CAL.

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE IBC LANDSCAPE FRAMEWORK LATEST EDITION. CONSUMER SIZES SPECIFIED AS PER IBC STANDARDS. POTENTIAL SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR EXTENDED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW PLANT MATERIAL AVAILABLE FOR OPTIMAL PERFORM BY LANDSCAPE ARCHITECT FOR NUMBER OF SUPPLY. AREA OF SEARCH TO INCLUDE LOCAL PLANTERS AND PRODUCE WALKERS. \* ALL PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASE. ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL, UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST. \* STANDARD - CERTIFICATE OF COMPLETION OF AVAILABILITY.

**ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.**



OUTDOOR LOUNGE W/ METAL PLANTERS      OUTDOOR DINING      SOFAS WITH PLANTERS      METAL PLANTERS



# Rendering – SW





# Rendering – East





# Rendering – Rooftop Amenity





# OCP Design Guidelines

- ▶ Orienting building facades and entries to the fronting street or open space and incorporating individual entrances to ground floor units
- ▶ Breaking up the perceived mass of large buildings by incorporating visual breaks in the façade
- ▶ Stepping back the upper storeys of buildings
- ▶ Designing usable open spaces that balance privacy and access



# Staff Recommendation

- ▶ Staff recommend **support** for the proposed development permit as it:
  - ▶ Aligns with the OCP Guidelines for Low & Mid-Rise Residential & Mixed Use Development
  - ▶ No variances are proposed



**CITY OF KELOWNA**  
**BYLAW NO. 12592**  
**Z23-0024**  
**3256 Appaloosa Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 16 Section 2 Township 23 ODYD Plan 18861, located on Appaloosa Road, Kelowna, BC from the the A2 – Agriculture / Rural Residential zone to the I2 – General Industrial zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 20<sup>th</sup> day of November, 2023.

Approved under the Transportation Act this 21<sup>st</sup> day of November, 2023.

Audrie Henry

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



# REPORT TO COUNCIL DEVELOPMENT PERMIT



**Date:** January 8, 2024  
**To:** Council  
**From:** City Manager  
**Address:** 3256 Appaloosa Road  
**File No.:** DP23-0078  
**Zone:** I2 – General Industrial

---

## 1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP23-0078 for Lot 16, Section 2, Township 23, ODYD, Plan 18861, located at 3256 Appaloosa Road, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permit to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## 2.0 Purpose

To issue a Development Permit for the form and character of a new industrial building.

## 3.0 Development Planning

Staff support the proposed form and character, Development Permit for a new single-storey industrial building on the subject property. The development proposal conforms with policies for The Gateway District by supporting the development of industrial lands, providing low-impact industrial when adjacent to residential and adding employment. It also is in substantial compliance with the Official Community Plan (OCP) Form and Character Guidelines for Industrial and Service Commercial Development. The applicant is concurrently developing the subject property and the adjacent property to the west; in terms of form and character, both projects are designed to fit within the context of one another and to complement each other.



Key design guidelines that are met for the project include:

- Articulating the façade facing the road through a variation of colour, plantings, and glazing;
- Provide direct, safe, continuous, and clearly defined pedestrian access from public sidewalks, parking areas, and transit stops to building entrances;
- Where parking areas are visible from the street, screen them using strategies such as tree planting, berming, low walls, decorative fencing and/or hedging.

Additionally, although Zoning Bylaw No. 12375 does not regulate electrical vehicle (EV) charge station requirement in industrial zones, the applicant is proposing six level-2 EV charge stations at the site as part of this development project.

Proposed materials include concrete tilt up walls that are painted white and accented with dark grey and blue, with a simple reveal pattern, creating a modern design. Storefront glazing features highlight the corner along Hollywood Rd N., contrasted by the blue painted panels and slit windows adjacent to it. The north and west façades use reveals and paint to maintain visual interest on the sides with less visibility. The canopy over the entrance and loading is painted white, adding colour into the design as well tying into the windows on the east façade.

Finally, the proposed landscaping is evenly distributed along all three of the site's frontages, including the northern side which interfaces with a residential development. As part of off-site requirements, the applicant will be responsible for full upgrade along Hollywood Rd N. and partial frontage improvements along the Appaloosa Rd cul-de-sac as part of the proposed development. To increase the walkability of the neighbourhood, the applicant will install a sidewalk along Hollywood Rd N. frontage. On- and off-site pedestrian connectivity will be achieved with a stairway that will be complete with a bicycle ramp connecting Hollywood Rd N. with the site.

Should Council support this Development Permit, the applicant may proceed with a Building Permit.

#### **4.0 Subject Property & Background**

##### **4.1 Subject Property Map**





The subject property is a corner lot located at Appaloosa Rd and Hollywood Rd N, is within an industrial area of The Gateway District with many industrial services and is in close proximity to Highway 97. Located within the permanent growth boundary, the 2040 Official Community Plan (OCP) designates the subject property as IND – Industrial, which supports the continued development of industrial lands under this designation. The development pattern in the surrounding area varies between rural residential, industrial, and single dwelling housing.

**5.0 Zoning Bylaw Regulations Summary**

AREA & UNIT STATISTICS	
Gross Lot Area	8,035m <sup>2</sup>
Net Industrial Floor Area	7,833m <sup>2</sup>

DEVELOPMENT REGULATIONS		
CRITERIA	I2 ZONE	PROPOSAL
Total Maximum Floor Area Ratio	1.5	0.38
Max. Site Coverage (buildings)	60%	38%
Max. Site Coverage (buildings, parking, driveways)	90%	90%
Max. Height	16.0m	9.6m
<b>Setbacks</b>		
Min. Front Yard (South)	2.0m	69.86m
Min. Flanking Side Yard (East)	2.0m	2.0m
Min. Side Yard (West)	0m	0.30m
Min. Rear Yard (North)	0m	4.5m
<b>Landscaping</b>		
Min. Number of Trees	25 trees	25 trees

PARKING REGULATIONS		
CRITERIA	I2 ZONE REQUIREMENTS	PROPOSAL
Total Required Vehicle Parking	36 stalls	58 stalls



Electric Vehicle Charging Station	None required	6 stalls
Total Loading Stalls	2 stalls	6 stalls
Bicycle Stalls Long-Term	2 stalls	2 stalls

**6.o Application Chronology**

Application Accepted: April 21, 2023  
 Adoption of Zoning Amendment Bylaw: January 8, 2024

**Report prepared by:** Barbara B. Crawford, Planner II  
**Reviewed by:** Dean Strachan, Community Planning & Development Manager  
**Reviewed by:** Nola Kilmartin, Development Planning Department Manager  
**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning & Development Services

**Attachments:**

Attachment A: Draft Development Permit DP23-0078  
     Schedule A: Site Plan & Floor Plans  
     Schedule B: Elevations & Sections  
     Schedule C: Landscape Plan  
 Attachment B: OCP Form and Character Development Permit Guidelines

For additional information, please visit our Current Developments online at [www.kelowna.ca/currentdevelopments](http://www.kelowna.ca/currentdevelopments).



# Development Permit

## DP23-0078



This permit relates to land in the City of Kelowna municipally known as

**3256 Appaloosa Road**

and legally known as

**Lot 16, Section 2, Township 23, ODYD, Plan 18861**

and permits the land to be used for the following development:

### **General Industrial**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

**Date of Council Approval: January 8, 2024**

Development Permit Area: Form and Character

Existing Zone: I2 – General Industrial

Future Land Use Designation: IND - Industrial

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

### **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

### **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Astria Hollywood Nominee Ltd., Inc.No. BC1363016

Applicant: Jack Priestley – Orion Commercial Construction Ltd.

---

Dean Strachan  
Community Planning and Development Manager  
Planning & Development Services

---

Date of Issuance



## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP23-0078 for Lot 16, Section 2, Township 23, ODYD, Plan 18861 located at at 3256 Appaloosa Road, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Manager approval, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$90,306.25**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**



**SCHEDULE** A

This forms part of application  
# DP23-0078

Planner  
Initials **BC**



**PROPOSED INDUSTRIAL BUILDING FOR:**



**ASTRIA HOLLYWOOD**

**ADDRESS : 3256 APPALOOSA RD, KELOWNA, BC**



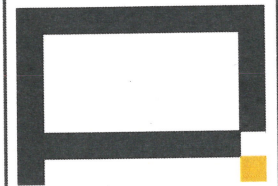
**PERSPECTIVE VIEW OF FRONT (SOUTH FACING)**



**PERSPECTIVE VIEW OF SOUTHEAST CORNER ALONG HOLLYWOOD ROAD NORTH**

**ARCHITECTURAL DRAWING LIST**

COVER SHEET	A-0.0
SITE CONTEXT	A-0.1
OVERALL SITE PLAN	A-1.0
SITE DETAILS	A-1.1
STREET ELEVATION	A-1.2
FLOOR PLANS	A-2.0
ROOF PLAN	A-3.0
ELEVATIONS	A-4.0
ELEVATIONS	A-4.1

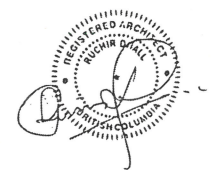


**ARCHITECTURE PANEL INC.**  
ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN  
UNIT 206 - 1493 FOSTER STREET, WHITE ROCK, BC, V4B 0C4  
604.783.1450 | RICHIE@ARCHITECTUREPANEL.COM

IN ASSOCIATION WITH

**D.FORCE DESIGN INC.**  
2825A ALLIANCE STREET, ABBOTSFORD, B.C., V2G 2J9  
TEL: (604) 807-5033 | EMAIL: DAREY@DFORCE.CA

THESE DRAWINGS AND THE DESIGN ARE AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF ARCHITECTURE PANEL INC. AND CANNOT BE USED WITHOUT THE ARCHITECT'S WRITTEN CONSENT. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, ELEVATIONS, AND OTHER DATA ON DRAWINGS. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. ANY CHANGES MADE WITHOUT THE ARCHITECT'S WRITTEN CONSENT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.



25		
24		
23		
22		
21		
20		
19		
18		
17		
16		
15		
14		
13		
12		
11		
10		
9		
8		
7	AUG 25 23	RE-DP PER CITY COMMENTS
6	JUL 14 23	RE-ISSUED FOR DP
5	JUL 06 23	RE-ISSUED FOR DP
4	MAY 16 23	RE-ISSUED FOR DP
3	MAR 07 23	ISSUE FOR DEVELOPMENT PERMIT
2	FEB 24 23	CLIENT REVIEW
1	FEB 17 23	CLIENT REVIEW
NO.	DATE	DESCRIPTION

PROJECT MANAGERS / CONTRACTORS:  
**ORION CONSTRUCTION**  
UNIT 105 19923 80A AVE  
LANGLEY, BC V2Y 0E2  
PHONE: (604) 362-2994

DEVELOPER:  
**ASTRIA PROPERTIES**  
UNIT 105 19923 80A AVE  
LANGLEY, BC V2Y 0E2

PROJECT:  
PROPOSED:  
**ASTRIA HOLLYWOOD INDUSTRIAL BUILDINGS**  
ADDRESS: 3256 APPALOOSA RD, KELOWNA, BC

**COVER SHEET**

SEAL	JOB NO. 23-040	DRAWN df
DESIGNED		
CHECKED	R.D.	
PLOT DATE	AUG 25 23	

PROJECT - DRAWING NUMBER **A-0** REV **122**



# SCHEDULE A

This forms part of application  
# DP23-0078

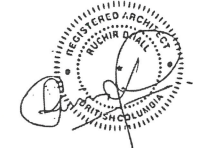
Planner Initials **BC**



**ARCHITECTURE PANEL INC.**  
ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN  
UNIT 206, 1493 FOSTER STREET, WHITE ROCK, BC, V4B 1C4  
604.785.1456 | INFO@ARCHITECTUREPANEL.COM

IN ASSOCIATION WITH  
**D.FORGE DESIGN INC.**  
2625A ALLIANCE STREET, ABBOTSFORD, B.C., V2S 3J9  
TEL: 604.857.3855 | EMAIL: DANY@DFORGE.CA

THESE DRAWINGS AND THE DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF ARCHITECTURE PANEL INC. AND CANNOT BE REPRODUCED OR USED WITHOUT THE ARCHITECT'S WRITTEN CONSENT. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, ELEVATIONS AND OTHER DATA ON DRAWINGS. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. ANY CHANGES MADE WITHOUT THE ARCHITECT'S WRITTEN CONSENT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.



NO.	DATE	DESCRIPTION
25		
24		
23		
22		
21		
20		
19		
18		
17		
16		
15		
14		
13		
12	ALR 11.23	RE-DB PER CITY COMMENTS
11	JUL 14.23	RE-ISSUED FOR CP
10	JUL 08.23	RE-ISSUED FOR CP
9	JUN 25.23	RE-ISSUED FOR CP
8	JUN 08.23	CLIENT REVIEW
7	MAY 31.23	CLIENT REVIEW
6	MAY 16.23	RE ISSUED FOR CP
5	MAY 30.23	ISSUED FOR CONSULTANT USE
4	APR 28.22	PLANNING RESPONSE
3	MAR 30.23	REV'D CUL DE SAC
2	MAR 30.23	ISSUED FOR DEVELOPMENT PERMIT
1	JAN 18.23	ISSUED FOR CONSULTANT USE

PROJECT MANAGERS / CONTRACTORS:  
**ORION CONSTRUCTION**  
UNIT 105 19923 80A AVE  
LANGLEY, BC V2Y 0E2  
PHONE: (604) 362-2994

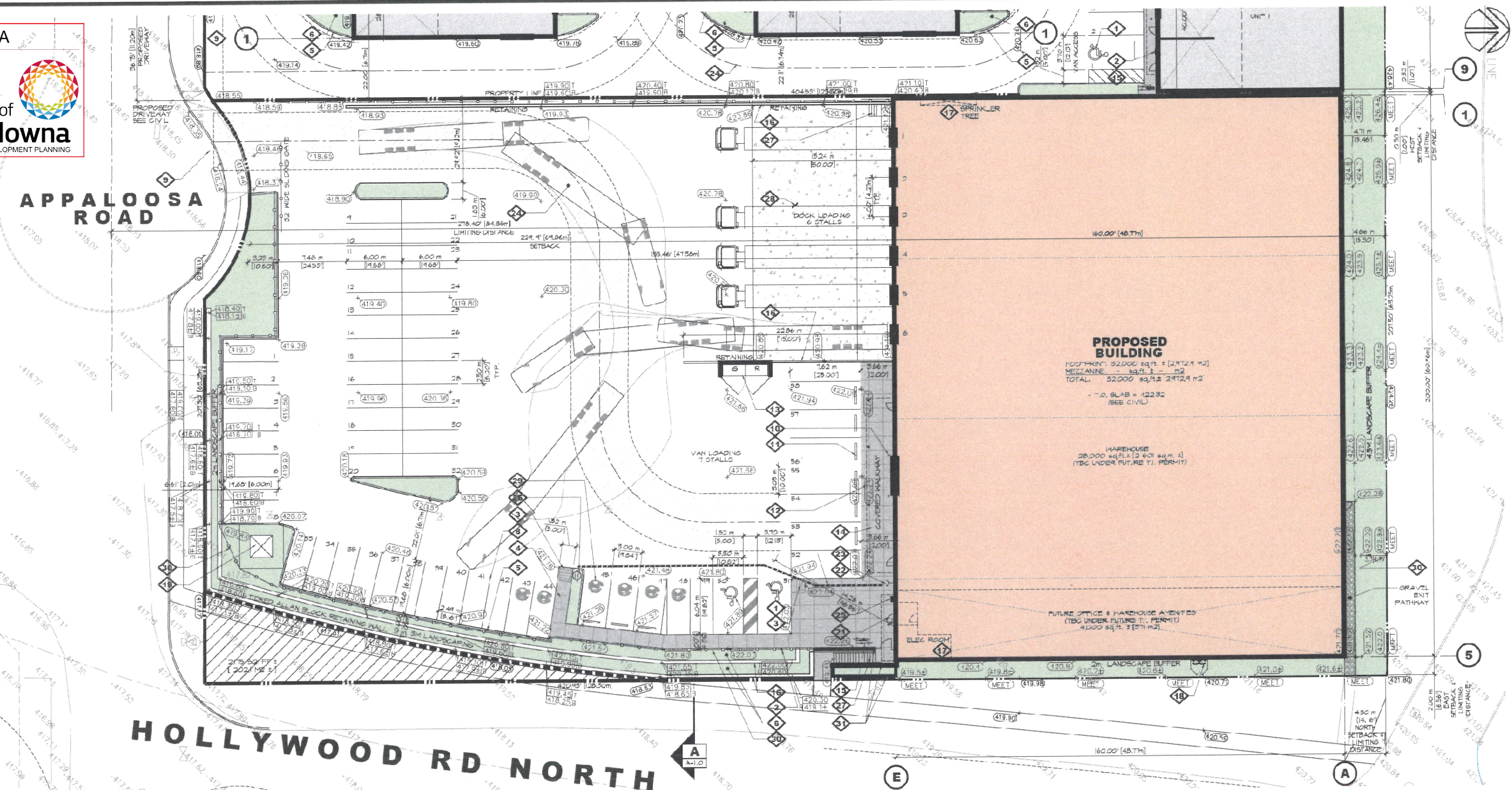
DEVELOPER:  
**ASTRIA PROPERTIES**  
UNIT 105 19923 80A AVE  
LANGLEY, BC V2Y 0E2

PROJECT:  
PROPOSED:  
**ASTRIA HOLLYWOOD INDUSTRIAL BUILDINGS**

ADDRESS: 3225 APPALOOSA RD, KELOWNA, BC

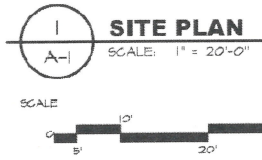
SEAL	JOB NO.	DRAWN
	23-048	DF/oc
	DESIGNED	
	CHECKED	R.D.
	PLOT DATE	AUG 31.23

PROJECT - DRAWING NUMBER  
**A-1.0 123**

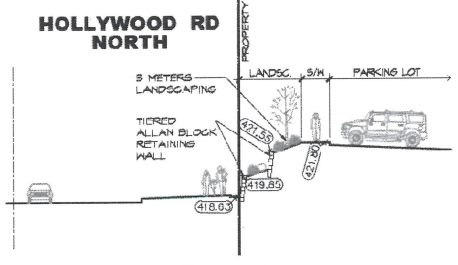


### KEYED SITE PLAN NOTES

1	INTERNATIONAL SYMBOL OF ACCESS PAINTED ON ASPHALT PER DETAIL 3/A-1.	17	ELECTRICAL & OR MECHANICAL ROOMS / EQUIPMENT
2	POST MOUNTED H.C. SIGN PER DETAIL 2/A-1.	18	GAS METERS PER MECHANICAL DRAWINGS WITH FENCE AND PROTECTION AS REQUIRED BY GAS PROVIDER AND MUNICIPALITY. SEE DETAIL 5/A-1.
3	5'x3' SIDEWALK LEDDOWN PROVIDED MINIMUM 5'x0' CLEAR AT TOP OF LEDDOWN. SEE DETAIL 1/A-1.	19	ELECTRICAL K.O.S.K. PER ELEC. DRAWINGS. SEE DETAIL 5/A-1.
4	CONCRETE SIDEWALK 6" ABOVE ADJACENT ASPHALT LIGHT BRDN FINISH.	20	FREE STANDING SIGNAGE. SEE ELEVATIONS FOR DETAILS.
5	6"x6" EXTRUDED CONCRETE CURB TYPICAL AT EDGE OF LANDSCAPING. PER DETAIL 9/A-1.	21	TYPICAL ACCESSIBLE ENTRANCE.
6	LANDSCAPING PER LANDSCAPE ARCHITECTS DRAWINGS.	22	FIRE DEPARTMENT CONNECTION. SEE MECHANICAL DRAWINGS.
7	PAINT ON ASPHALT.	23	TRAVEL DISTANCE FROM HYDRANT TO FDG - 110' [33.3m] (147' [45m] MAX. CONFORM ON SITE PRIOR TO INSTALL.)
8	4" PAINT STRIPS, TYPICAL.	24	HATCHED AREA INDICATES FIRE TRUCK ACCESS ROUTE. DESIGN REQUIREMENTS PER BELOW: - HAVE A CLEAR WIDTH NOT LESS THAN 6m - HAVE A CENTER-LINE RADIUS NOT LESS THAN 12m - HAVE AN OVERHEAD CLEARANCE NOT MORE THAN 5m - HAVE A CHANGE OF GRADE NOT MORE THAN 1 IN 25 - OVER A MINIMUM DISTANCE OF 15m - ASPHALT MUST BE DESIGNED TO CARRY FIRETRUCK LOADING OF 74,000 LBS GVWR - HAVE TURNAROUND FACILITIES FOR ANY DEAD-END PORTION OF THE ACCESS ROUTE MORE THAN 30m LONG - BE CONNECTED WITH A PUBLIC THROUGHFARE.
9	ASPHALT CROSSING TO MUNICIPAL SPECS.	25	AVIATOR PANEL. SEE ELECTRICAL DRAWINGS.
10	6" x 1/4" THICK CONCRETE FILLED STEEL BOLLARD PAINTED BRIGHT YELLOW OR EQUIVALENT AT EACH SIDE OF GRADE LEVEL. DOOR TYPICAL AT ALL GRADE DOORS. PER DETAIL 8/A-1.	26	PROPOSED HYDRANT. PER CIVIL DRAWINGS.
11	0.5m [16"] HIGH WHEEL STOP. INSTALLED 0.3m [12.5"] FROM EDGE OF STALL. PER C.O.S. STANDARD. SEE DETAIL 10/A-1.	27	EXTERIOR CONCRETE STAIRS COMPLETE WITH BIKE TROUGH OR TRACK CAST IN PLACE WITH 5" AIRS.
12	LINE OF GANTRY ABOVE. SEE PLANS AND DETAILS FOR MORE INFORMATION.	28	CONCRETE DOLLY PAD. SEE STRUCT FOR THICKNESS AND REINFORCING.
13	EXTERIOR GARBAGE ENCLOSURE. PER DETAIL 4/A-1.	29	LEVEL 2 ELECTRICAL CAR CHARGES.
14	CONCRETE SIDEWALK FLUSH WITH ADJACENT ASPHALT LIGHT BRDN FINISH.	30	6" HIGH BLACK VINYL WRAP CHAINLINK FENCE.
15	BICYCLE PARKING, MIN. 1.8m DEPTH. SEE DETAIL 1/A-1.	31	CAST IN PLACE CONCRETE RETAINING WALL PAINTED TO MATCH BUILDING.
16	TIERED ALLAN BLOCK RETAINING WALL PER CIVIL & GEOTECHNICAL DINGS.		



**LEGEND**  
EXISTING GRADE: X 0.55  
PROPOSED GRADE: 11.10  
SELECT GRADES SHOWN REFER TO CIVIL PLANS AND TOPOGRAPHY PLAN FOR GRADES.



**SITE SECTION A-A**  
SCALE: 1/16" = 1'-0"

**SITE DATA**

3225 APPALOOSA RD, KELOWNA BC  
CIVIC ADDRESS:  
LEGAL DESCRIPTION: LOT 16, SECTION 2, TOWNSHIP 28, OSOYOOS DIVISION, YALE DISTRICT, PLAN KARI8861  
EXISTING ZONING: I-2  
PROPOSED ZONING: I-2  
GROSS LOT AREA: 8 039 m<sup>2</sup> / 0.18 ha [20,485 sq.ft. / 1.94 Ac.]  
NET LOT AREA: 7 033 m<sup>2</sup> / 0.16 ha [24,334 sq.ft. / 1.94 Ac.]  
PROPOSED BUILDING AREA (FOOTPRINT): 2 475 m<sup>2</sup> [52,000 sq.ft.]  
SITE COVERAGE (NET): 60% MAX. 32,000 / 84,334 = 38%  
F.A.R. 1.5 MAX. 32,000 + 0 / 84,334 = 0.38

SETBACKS:	MIN.	PROPOSED
FRONT (SOUTH)	2.0m [6.56']	6.86m [22.49']
SIDE @ STREET (EAST)	3.0m [9.84']	3.2m [10.50']
SIDE (WEST)	3.0m [9.84']	3.30m [10.83']
REAR (NORTH)	4.5m [14.76']	4.5m [14.76']

HEIGHT:  
PROPOSED: 18.0m [59.1'] MAX. 1.60m [5.25']

PARKING REQUIRED:  
INDUSTRIAL: 1 STALLS PER 1,076 sq.m. (1 PER 100 sq.m.)  
OFFICE: 1 STALLS PER 431 sq.m. (1 PER 40 sq.m.)

INDUSTRIAL: 25,000 / 1,076 = 26  
OFFICE: FUTURE (BC UNDER T. PERMIT) 4,000 / 431 = 9  
TOTAL REQUIRED: 36 (35.3)

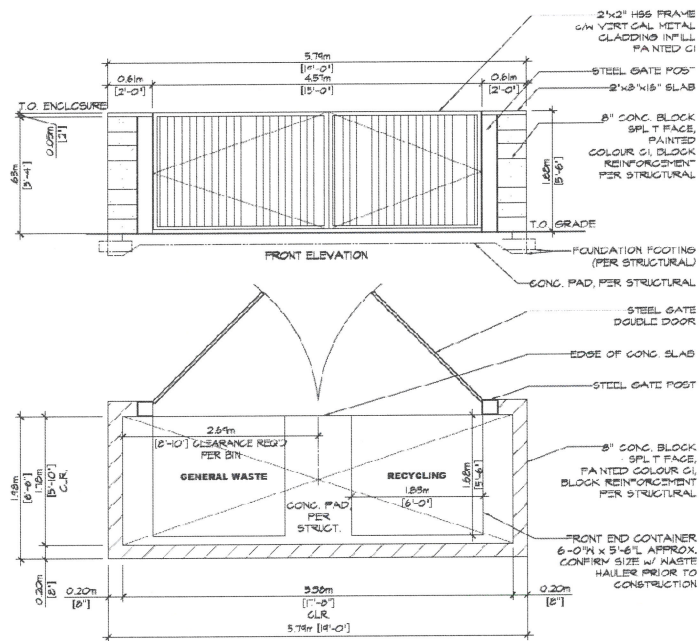
PARKING PROVIDED: 58  
SMALL CAR STALLS ALLOWED: 30% OF PROVIDED OR 16.5 STALLS  
SMALL CAR PARKING PROVIDED: 0

BICYCLE PARKING: 1 PER 2,152 sq.m. [2,000 sq.m.] 32,000 / 2,152 = 14.9  
2 SPACES PROVIDED

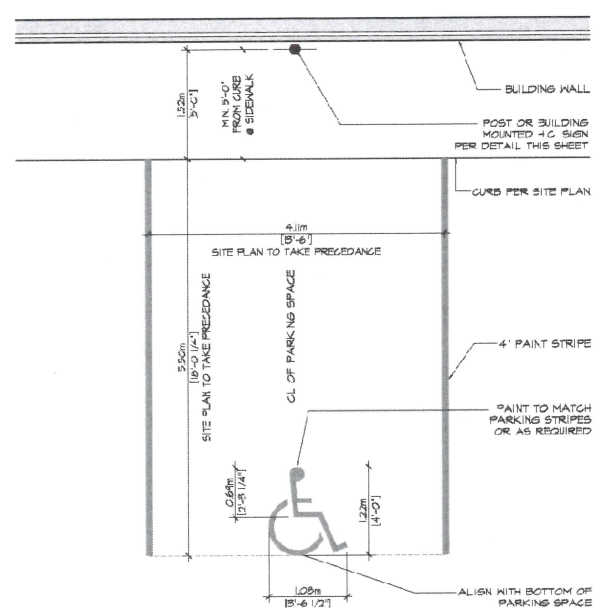
LOADING STALLS: 1 PER 20,481 sq.m. [1,900 sq.m.] 32,000 / 20,481 = 1.56  
6 SPACES PROVIDED

LANDSCAPE AREA REQUIRED: 10% OR 741 m<sup>2</sup> [2,523 sq.ft.]  
LANDSCAPE AREA PROVIDED: 762 m<sup>2</sup> [2,525 sq.ft.]

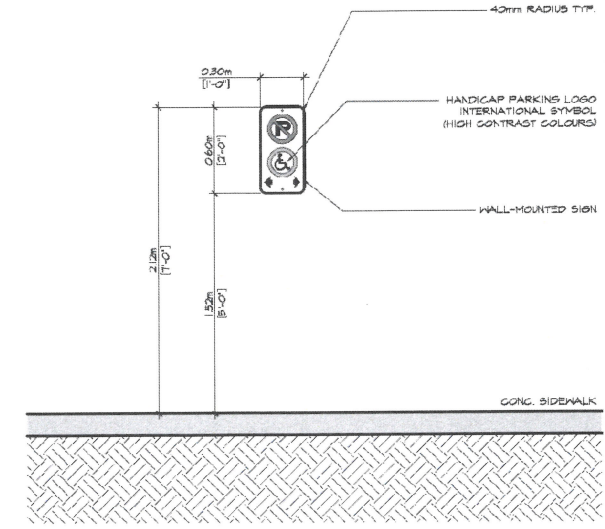




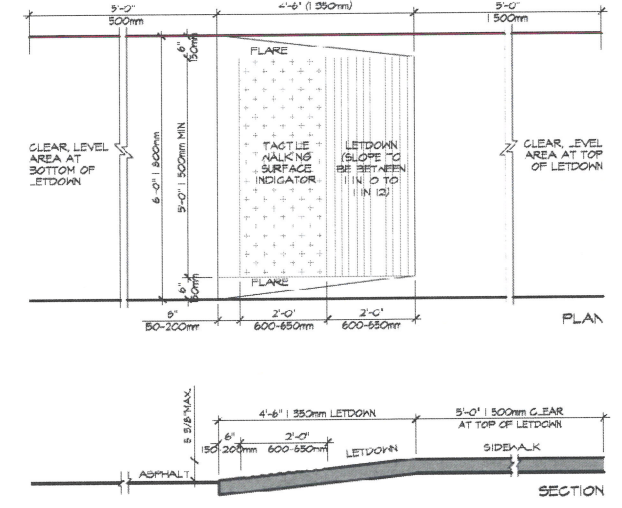
**4 GARBAGE ENCLOSURE DETAIL**  
SCALE: 1/4" = 1'-0"



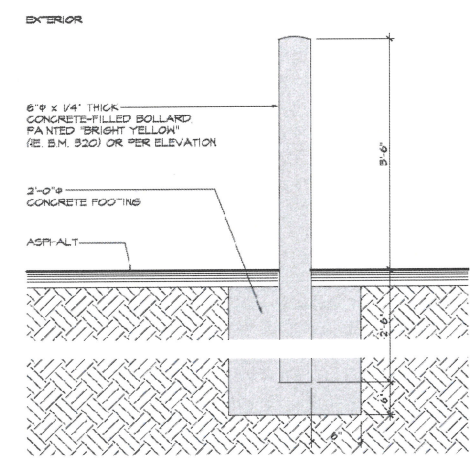
**3 HANDICAP PARKING STALL DETAIL**  
SCALE: 1/4" = 1'-0"



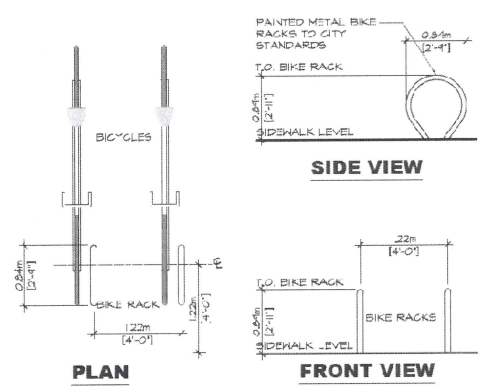
**2 HANDICAP PARKING SIGN DETAIL**  
SCALE: 1/2" = 1'-0"



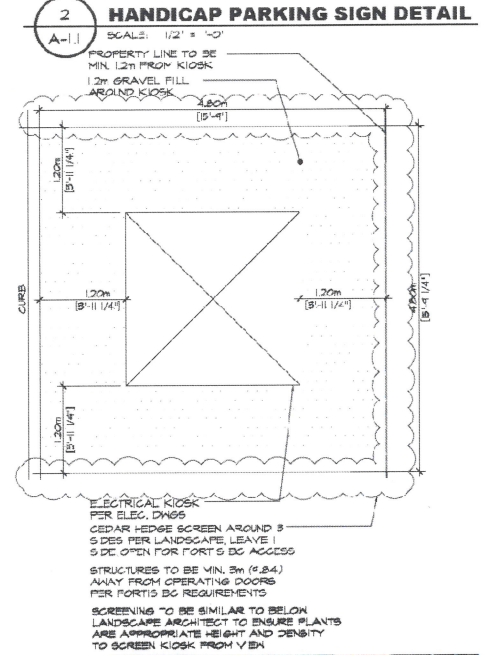
**1 LETDOWN DETAIL**  
SCALE: 1/2" = 1'-0"



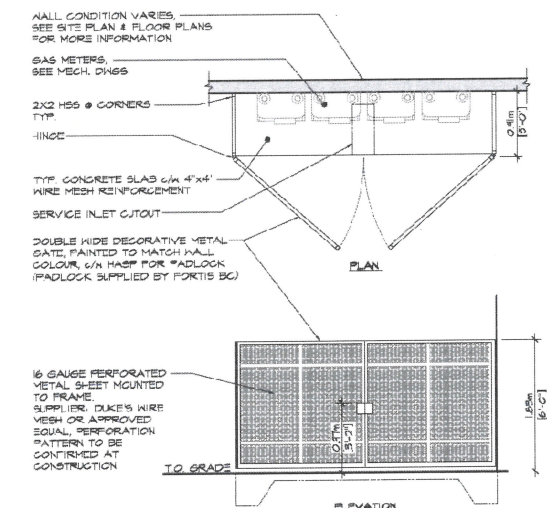
**8 BOLLARD DETAIL**  
SCALE: 1/2" = 1'-0"



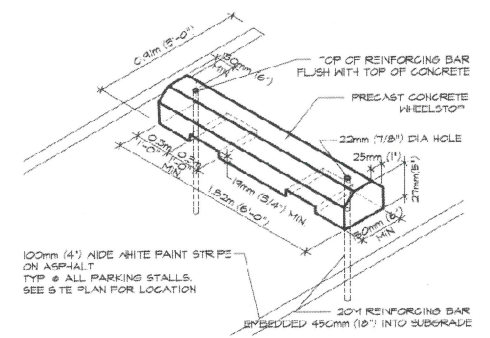
**7 BIKE RACK DETAIL**  
SCALE: 1/4" = 1'-0"



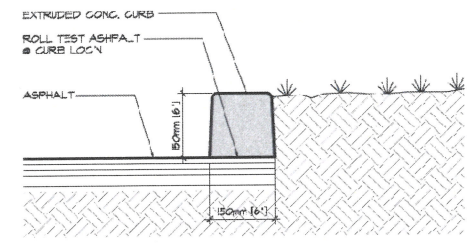
**6 ELECTRICAL KIOSK DETAIL**  
SCALE: 1/4" = 1'-0"



**5 GAS METER DETAIL**  
SCALE: 1/4" = 1'-0"



**10 WHEELSTOP DETAIL**  
SCALE: 1/4" = 1'-0"



**9 CURB DETAIL**  
SCALE: 1/2" = 1'-0"

**SCHEDULE A**  
This forms part of application  
# DP23-0078  
Planner Initials **BC**  
City of **Kelowna**  
DEVELOPMENT PLANNING

**ARCHITECTURE PANEL INC.**  
ARCHITECTURE LANDSCAPE ARCHITECTURE URBAN DESIGN  
UNIT 206 - 1493 FOSTER STREET, WHITE ROCK, BC, V4B 0C4  
604 783 1456 | 800-888-ARCHITECTUREPANEL.COM

**D.FORCE DESIGN INC.**  
2625A ALLIANCE STREET, ABOTSFORD, B.C. V2S 7J9  
TEL: (504) 807-9935 EMAIL: UANL1@DFORCEDESIGN.COM

THESE DRAWINGS AND THE DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF ARCHITECTURE PANEL INC. AND CANNOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF ARCHITECTURE PANEL INC. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS IN PLANS AND OTHER DATA ON DRAWINGS. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. ANY CHANGES MADE WITHOUT THE ARCHITECT'S WRITTEN CONSENT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.



25		
24		
23		
22		
21		
20		
19		
18		
17		
16		
15		
14		
13		
12		
11		
10		
9		
8		
7		
6		
5		
4	AUG.25.23	RE-DF PER CITY COMMENTS
3	JUL.06.23	RE-ISSUED FOR DP
2	MAY.16.23	RE-ISSUED FOR DP
1	MAR.07.23	ISSUE FOR DEVELOPMENT PERMIT
NO.	DATE	DESCRIPTION

**ORION CONSTRUCTION**  
UNIT 105 19923 80A AVE  
LANGLEY, BC V2Y 0E2  
PHONE: (604) 367-2994

**ASTRIA PROPERTIES**  
UNIT 105 19923 80A AVE  
LANGLEY, BC V2Y 0E2

PROJECT PROPOSED  
**ASTRIA HOLLYWOOD**  
INDUSTRIAL BUILDINGS  
ADDRESS: 3225 APPALOOSA RD, KELOWNA, BC  
DRAWING

**SITE DETAILS**

SCALE	JOB NO. 23-048	DRAWN VCF
	DESIGNED	
	CHECKED	H.U.
	PLOT DATE	AUG.23.23
PROJECT - DRAWING NUMBER		REV.
<b>A-1.1</b>		<b>124</b>



**SCHEDULE A**

This forms part of application  
# DP23-0078

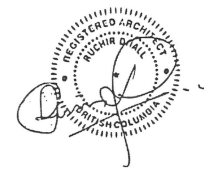
Planner Initials BC



**ARCHITECTURE PANEL INC.**  
ARCHITECTURE LANDSCAPE ARCHITECTURE URBAN DESIGN  
UNIT 205 - 1493 FOSTER STREET, WHITE ROCK, BC, V4B 0G4  
604 783 1454 | RUCHE@ARCHITECTUREPANEL.COM

IN ASSOCIATION WITH  
**D.FORGE DESIGN INC.**  
2625A ALLIANCE STREET, ABEDSFORD, B.C., V2S 3U9  
TEL: 1041 607-9835 EMAIL: DAN@DFORGEDESIGN.COM

THESE DRAWINGS AND THE DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF ARCHITECTURE PANEL INC. AND CANNOT BE USED WITHOUT THE ARCHITECT'S WRITTEN CONSENT. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, RELATIONS AND OTHER DATA ON DRAWINGS. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. ANY CHANGES MADE WITHOUT THE ARCHITECT'S WRITTEN CONSENT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.



25		
24		
23		
22		
21		
20		
19		
18		
17		
16		
15		
14		
13		
12		
11		
10		
9		
8		
7	AUG 22 23	RE-OP PER CITY COMMENTS
6	AUG 16 23	ISSUED FOR CONSULTANT JSE
5	JUL 06 23	RE-ISSUED FOR DP
4	MAY 16 23	RE-ISSUED FOR DP
3	APR 28 23	PLANNING RESPONSE
2	MAR 02 23	ISSUE FOR DEVELOPMENT PERMIT
1	FEB 23 23	ISSUED FOR CLIENT REVIEW

PROJECT MANAGERS / CONTRACTORS  
**ORION CONSTRUCTION**  
UNIT 105 19923 80A AVE  
LANGLEY, BC V2Y 0E2  
PHONE: (604) 367-2994

DEVELOPER  
**ASTRIA PROPERTIES**  
UNIT 105 19923 80A AVE  
LANGLEY, BC V2Y 0E2

PROJECT PROPOSED:  
**ASTRIA HOLLYWOOD INDUSTRIAL BUILDING**  
ADDRESS: 3225 APPALOOSA RD, KELOWNA, BC

**FLOOR PLANS**

SEAL	JOB NO. 23-040	DRAWN JA
DESIGNED		
CHECKED	K.U.	
PLOT DATE	AUG 25 23	
PROJECT - DRAWING NUMBER	A-2.0	REV 125

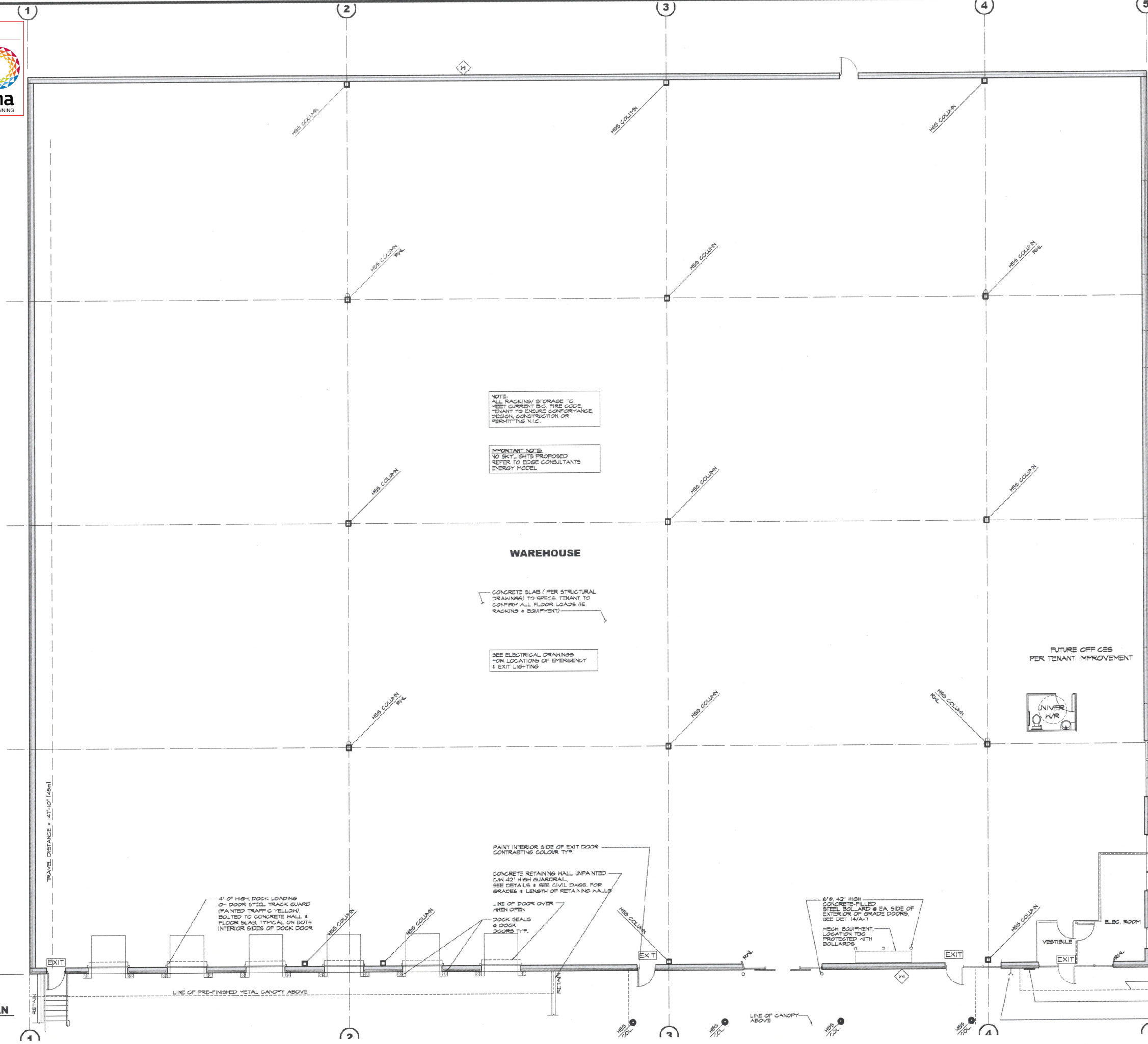
**GENERAL LEGEND**

- DK = DISHWASHER (NG)
- F = FRIIDGE (NG)
- FD = FLOOR DRAIN
- GB = GRAB BAR
- HC = HANDICAP TOILET
- R = RANGE W/ HOOD
- TP = METAL TOILET PARTITIONS
- WD = WALL DRAIN

**GENERAL NOTES**

- SEE MECH DRGS FOR FLOOR DRAINS, WALL DRAINS & HOSE BIBBS
- SEE STRUCT DRGS FOR FLOOR SLOPES WHERE APPLICABLE
- APPLIANCES, WORK STATIONS, RECEPTION DESK ETC. NOT INCLUDED
- ADD PRIME PAINT TWO (2) COATS WAREHOUSE CONCRETE WALLS
- ADD PRIME PAINT TWO (2) COATS WAREHOUSE DRYWALL WALLS
- DELETE INTERIOR WAREHOUSE WALL
- PLAYHOOD SUPPLY - STEEL PLATE BY OWNER
- ALL CONSTRUCTION TRADES TO REFER TO INTERIOR DESIGNER DRGS. FOR ALL INTERIOR FINISHES.

**GROUND FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**NOTE:**  
ALL RACKING/STORAGE TO MEET CURRENT B.C. FIRE CODE. TENANT TO ENSURE CONFORMANCE, DESIGN, CONSTRUCTION OR PERMITTING N.I.C.

**IMPORTANT NOTE:**  
NO SKY LIGHTS PROPOSED. REFER TO EDGE CONSULTANTS ENERGY MODEL.

**WAREHOUSE**

CONCRETE SLAB (PER STRUCTURAL DRAWINGS) TO SPEC. TENANT TO CONFIRM ALL FLOOR LOADS (IE RACKING & EQUIPMENT)

SEE ELECTRICAL DRAWINGS FOR LOCATIONS OF EMERGENCY & EXIT LIGHTING

FUTURE OFF CES PER TENANT IMPROVEMENT



PAINT INTERIOR SIDE OF EXIT DOOR CONTRASTING COLOUR TYPE

CONCRETE RETAINING WALL UNPAINTED C/W 4'-0" HIGH GUARDRAIL. SEE DETAILS & SEE CIVIL DRGS. FOR GRADES & LENGTH OF RETAINING WALLS

LINE OF DOOR OVER WHEN OPEN  
DOCK SEALS @ DOOR ZONES TYP.

6'-8" 42" HIGH CONCRETE-FILLED STEEL BOLLARD @ EA. SIDE OF EXTERIOR OF GRADE DOORS. SEE DET. 14/A-7

MECH EQUIPMENT, LOCATION TBC PROTECTED WITH BOLLARDS

4'-0" HIGH 4" DOCK LOADING DOOR STEEL TRACK GUARD (PAINTED TRAFFIC YELLOW) BOLTED TO CONCRETE WALL & FLOOR SLAB. TYPICAL ON BOTH INTERIOR SIDES OF DOCK DOOR

TRAVEL DISTANCE = 147'-10" (45m)

LINE OF PRE-FINISHED METAL CANOPY ABOVE

LINE OF CANOPY ABOVE

LINE OF CANOPY ABOVE

ANNUNCIATOR PANEL PER ELECTRICAL DRAWINGS

FIRE DEPARTMENT CONNECTION PER MECH DRGS



THESE DRAWINGS AND THE DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF ARCHITECTURE PANEL INC. ANY LANDSCAPE DESIGN WITHOUT THE ARCHITECT'S WRITTEN CONSENT. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, ELEVATIONS AND OTHER DATA ON DRAWINGS. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. ANY CHANGES MADE IN THIS DESIGN WITHOUT WRITTEN CONSENT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.



25	
24	
23	
22	
21	
20	
19	
18	
17	
16	
15	
14	
13	
12	
11	
10	
9	
8	
7	
6	
5	
4	
3	
2	
1	

NO.	DATE	DESCRIPTION
3	AUG 25 23	ISSUED FOR CONSULTANT USE
3	AUG 18 23	ISSUED FOR CONSULTANT USE
4	JUL 06 23	RE-ISSUED FOR DP
3	MAY 16 23	RE-ISSUED FOR DP
2	MAR 02 23	ISSUE FOR DEVELOPMENT PERMIT
1	FEB 22 23	ISSUED FOR REVIEW

PROJECT MANAGERS / CONTRACTORS:  
**ORION CONSTRUCTION**  
 UNIT 105 19923 80A AVE  
 LANGLEY, BC V2Y 0E2  
 PHONE: (604) 362-9944

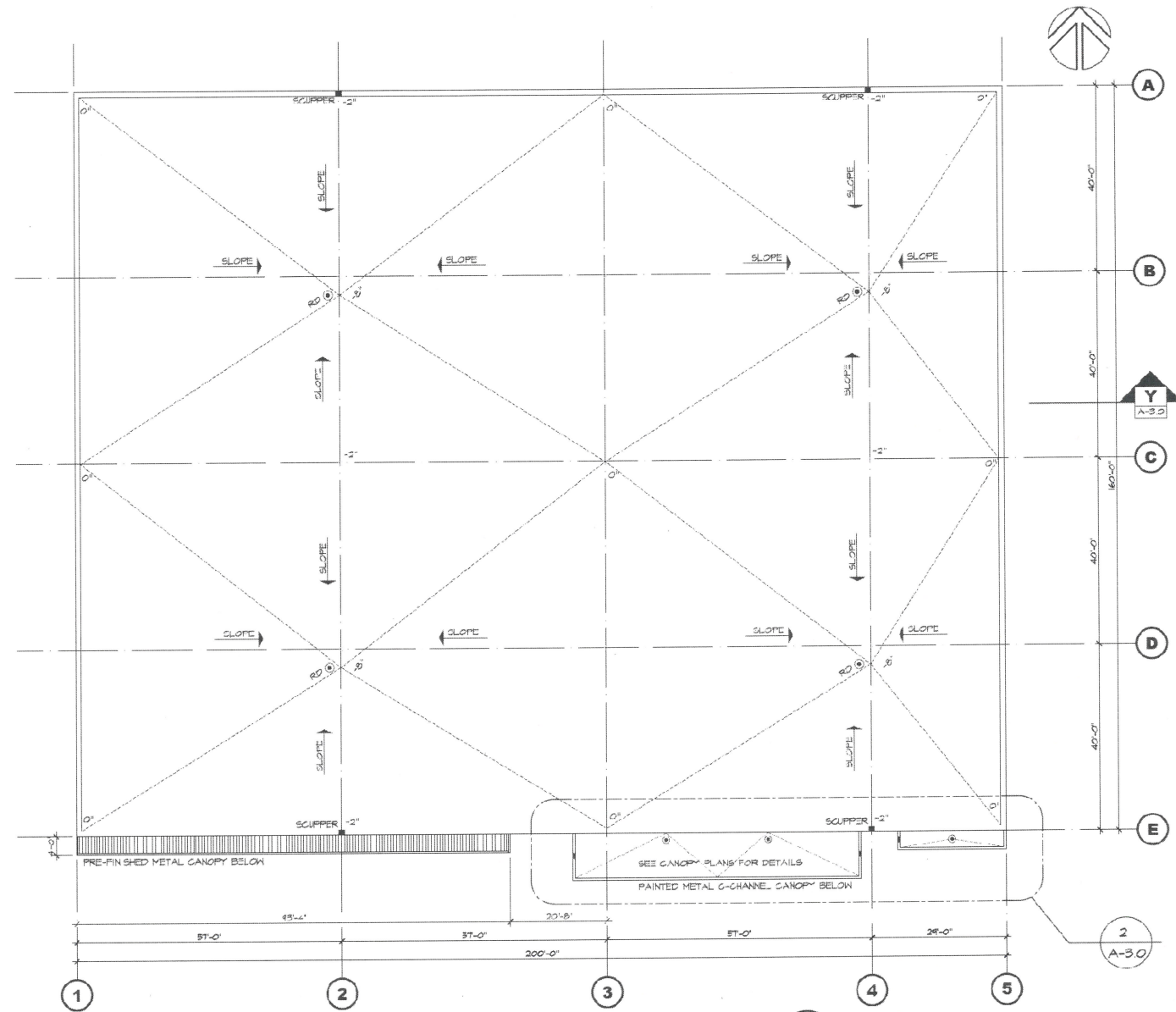
DEVELOPER:  
**ASTRIA PROPERTIES**  
 UNIT 105 19923 80A AVE  
 LANGLEY, BC V2Y 0E2

PROJECT:  
**ASTRIA HOLLYWOOD INDUSTRIAL BUILDING**

ADDRESS: 3225 APPALOOSA RD, KELOWNA, BC  
 DRAWING

SCALE	JOB NO. 23-040	DRAWN DC
	DESIGNED	
	CHECKED K.L.	
	PLAT DATE AUG. 25 23	

PROJECT - DRAWING NUMBER  
**A-3.0 126**



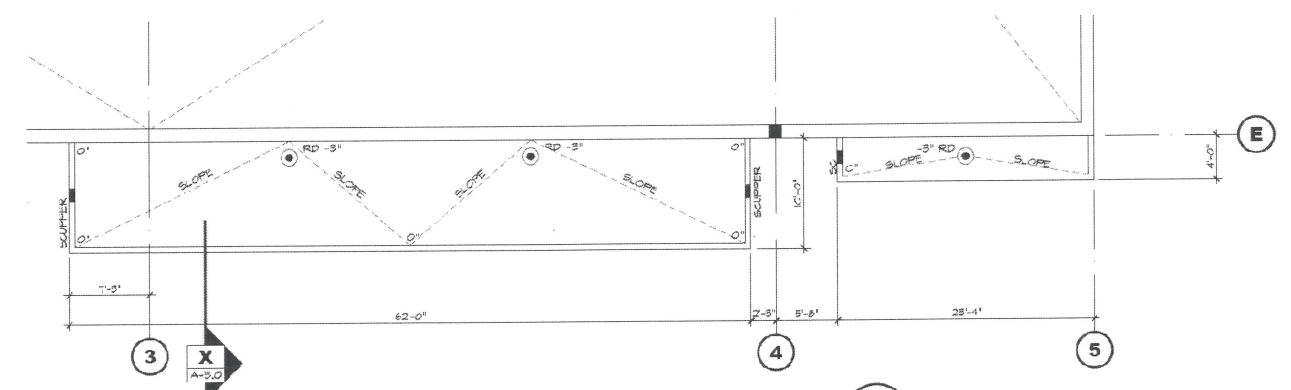
**1 ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

**ROOF NOTES**

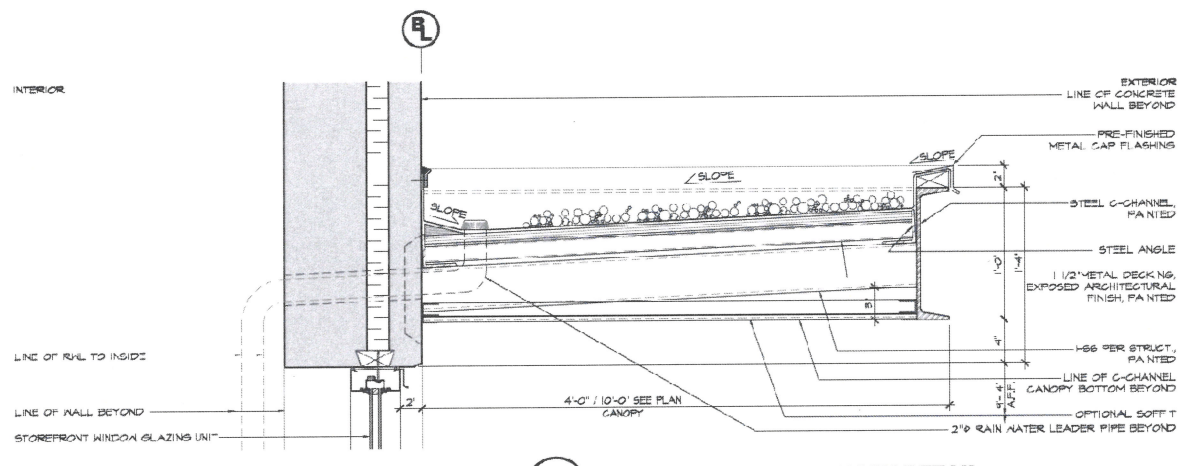
- SEE STRUCTURAL SHEETS FOR FINAL STEEL ELEVATIONS
- ALL ASPECTS OF ROOF DESIGN INCLUDING DETAILS TO BE REVIEWED BY QUALIFIED ROOFING INSPECTOR TO ENSURE COMPLIANCE W/ MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION
- PROVIDE 20 YEAR MEMBRANE GUARANTEE & 5 YEAR SYSTEMS GUARANTEE
- EPDM ROOF MEMBRANE
- R-40 MIN TYPE EPS RIGID INSULATION
- BALLAST TO BE LOOSE Laid LIGHT GREY GRAVEL

**IMPORTANT NOTES:**

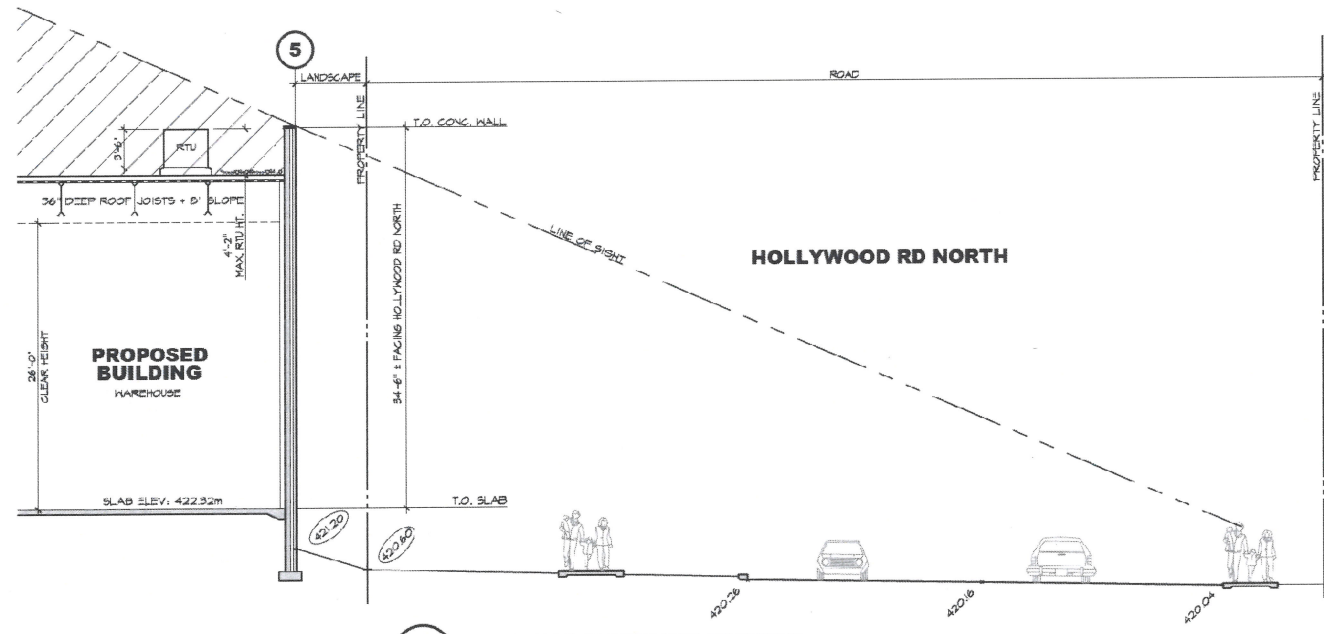
- ROOF INSULATION & SKYLIGHTS (IF APPLICABLE) TO FULLY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF ASHRAE 90.1 2016 PRESCRIPTIVE METHOD OR ENERGY MODEL, COMPLIANT FOR CONDITION SPACE
- ROOF & SKYLIGHT (IF APPLICABLE) TO BE COMPLIANT TO ALL APPLICABLE REQUIREMENTS FOR NON-COMFORTIBLE CONSTRUCTION PER B.C.B.C.



**2 CANOPY PLAN**  
 SCALE: 1/8" = 1'-0"

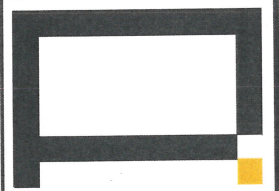


**X STEEL C CHANNEL CANOPY DETAIL**  
 SCALE: 1 1/2" = 1'-0"



**Y ROOF TOP SIGHTLINE SECTION**  
 SCALE: 1/8" = 1'-0"



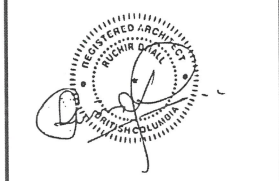


**ARCHITECTURE PANEL INC.**  
 ARCHITECTURE, LANDSCAPE AND INTERIOR URBAN DESIGN  
 UNIT 106 - 1493 GERTZ STREET, WHITE ROCK, BC, V4B 0G4  
 TEL: (604) 607-9055 EMAIL: GARY@APANEL.COM

IN ASSOCIATION WITH  
**D.FORGE DESIGN INC.**

2625A ALLIANCE STREET, ANIMATORS, B.C., V2E 2J9  
 TEL: (604) 607-9055 EMAIL: GARY@DFORGE.CA

THESE DRAWINGS AND THE DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF ARCHITECTURE PANEL INC. AND CANNOT BE REPRODUCED OR USED WITHOUT THE ARCHITECT'S WRITTEN CONSENT. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, AND OTHER DATA ON DRAWINGS. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. ANY CHANGES MADE WITHOUT THE ARCHITECT'S WRITTEN CONSENT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.



NO.	DATE	DESCRIPTION
1	FEB.23.23	ISSUED FOR CLIENT REVIEW
2	MAR.22.23	ISSUE FOR DEVELOPMENT PERMIT
3	APR.28.23	PLANNING REVISIONS
4	MAY.16.23	REISSUED FOR DP
5	JUL.06.23	REISSUED FOR DP
6	AUG.18.23	ISSUED FOR CONSULTANT USE
7	AUG.31.21	RF-OP PER CITY COMMENTS

PROJECT MANAGERS / CONTRACTORS:  
**ORION CONSTRUCTION**  
 UNIT 105 19923 80A AVE  
 I ANGLI FY, BC V2Y 0E7  
 PHONE: (604) 382-2594

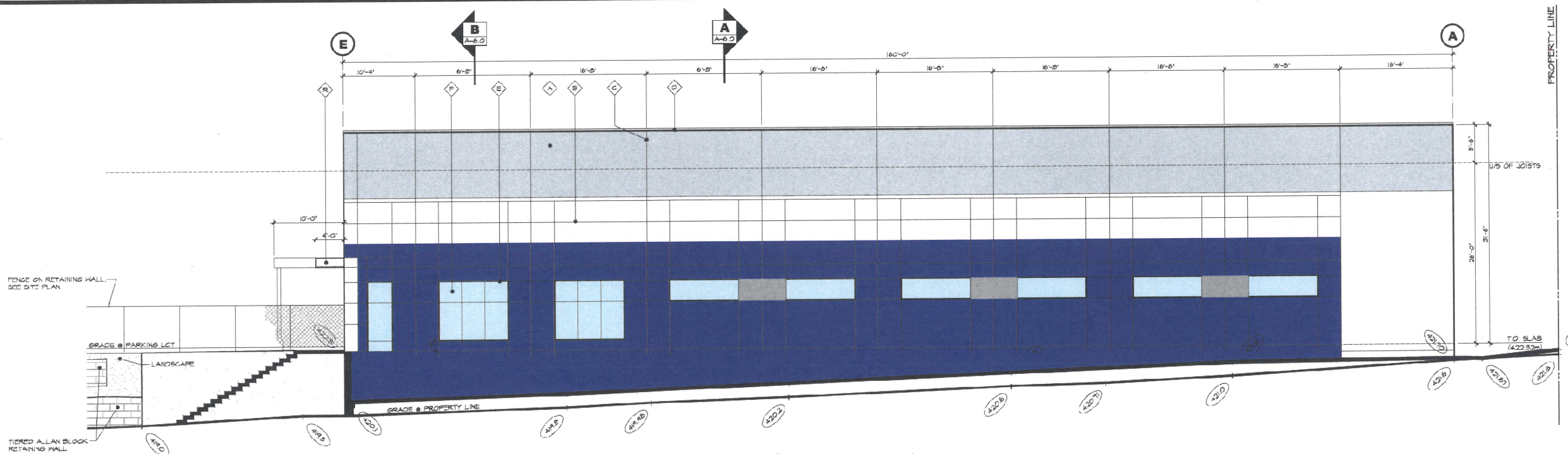
DEVELOPER:  
**ASTRIA PROPERTIES**  
 UNIT 105 19923 80A AVE  
 LANGLEY, BC V2Y 0E2

PROPOSED:  
**ASTRIA HOLLYWOOD INDUSTRIAL BUILDING**

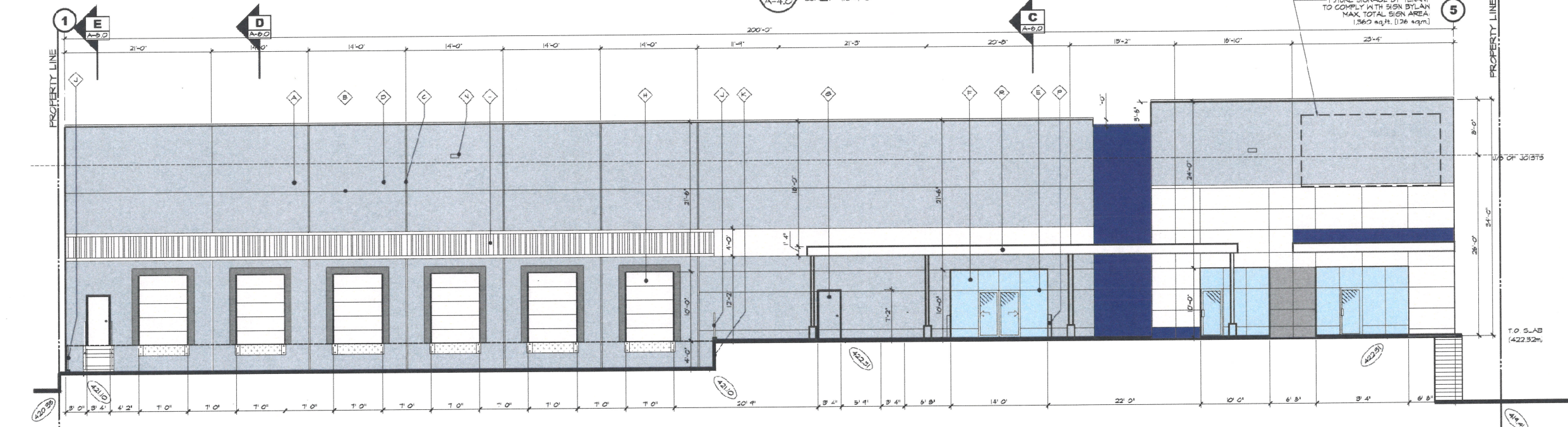
ADDRESS: 1276 APPALOOSA RD, KFI CWANA, BC

DRAWING

ELEVATIONS			
SEAL	JOB NO. 23-040	DRAWN JA	
DESIGNED			
CHECKED		R.D.	
PLOT DATE		AUG.31.23	
PROJECT - DRAWING NUMBER		REV	
	<b>A-4.0</b>	<b>127</b>	



**EAST ELEVATION (FRONTING HOLLYWOOD ROAD)**  
 SCALE: 1/8"=1'-0"



**SOUTH ELEVATION (FRONTING APPALOOSA ROAD)**  
 SCALE: 1/8"=1'-0"

**MATERIAL LEGEND**

- ◆ CONCRETE TILT-UP WALL TYP. - PAINTED
- ◆ REVEAL IN CONCRETE - PAINTED
- ◆ PANEL JOINT
- ◆ PRE-FINISHED METAL CAP FLASHING
- ◆ STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
- ◆ STOREFRONT GLASS - CLEAR
- ◆ STEEL HANDDOORS - PAINTED
- ◆ STEEL SECTIONAL OVERHEAD DOORS - PAINTED
- ◆ STEEL GUARDRAILS - PAINTED
- ◆ CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
- ◆ LIGHT FIXTURE - SEE ELECTRICAL DIAGS
- ◆ SPANDREL GLAZING (OBSCURE TO MATCH VISION GLASS)
- ◆ SCUPPER
- ◆ STEEL BOLLARD - PAINTED
- ◆ CONCRETE CURB UNDER - PAINTED
- ◆ STEEL CHANNEL CANOPY - PAINTED
- ◆ CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
- ◆ CURTAIN WALL GLASS - CLEAR

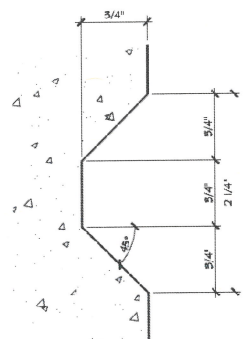
NOTE:  
 - NOT ALL MATERIALS ARE APPLICABLE  
 ◆ SPANDREL GLAZING

**PROJECT COLOURS**

- ALL COLOURS TO BE SHERWIN WILLIAMS
- ① MAIN FIELD COLOUR I: ARCADE WHITE (SW 700)
  - ② FIELD ACCENT COLOUR I: COLOUR MATCH TO PAINTS PMS 200 C
  - ③ FIELD ACCENT COLOUR II: MORNING FOG (SW 6295)
  - ④ CANOPY ACCENT COLOUR I: MOONLIT GRCHID (SW 1153)
  - ALUMINUM STOREFRONT MULLIONS: CLEAR ANODIZED ALUMINUM
  - TYPICAL GLAZING: CLEAR LOW E ANL / CLR. ASHRAE 301 2016 COMPLIANT, LIGHT GREY
  - SP - TYPICAL SPANDREL GLAZING COLOUR: NESTFORM METALS WHITE WHITE METAL CAP FLASHING @ 22 PANELS, NESTFORM METALS CHARCOAL GREY

**LEGEND**

- PROPOSED GRADE
- EXISTING GRADE



**TYPICAL REVEAL**  
 SCALE: FULL SCALE

**SCHEDULE B**

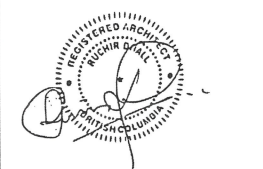
This forms part of application  
 # DP23-0078

Planner Initials **BC**

City of Kelowna  
 DEVELOPMENT PLANNING



THESE DRAWINGS AND THE DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF ARCHITECTURE PANEL INC. AND CANNOT BE USED WITHOUT THE ARCHITECT'S WRITTEN CONSENT. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, ELEVATIONS, AND OTHER DATA ON DRAWINGS. ANY DISCREPANCIES, OMISSIONS OR INADEQUACIES TO THE ARCHITECT, ANY CHANGES MADE WITHOUT THE ARCHITECT'S WRITTEN CONSENT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.



25		
24		
23		
22		
21		
20		
19		
18		
17		
16		
15		
14		
13		
12		
11		
10		
9		
8		
7		
6	AUG.25.23	RE-UP PER CITY COMMENTS
5	AUG.18.23	ISSUED FOR CONSULTANT USE
4	JUL.06.23	RE-ISSUED FOR DP
3	MAY.16.23	RE-ISSUED FOR DP
2	MAR.02.23	ISSUE FOR DEVELOPMENT PERMIT
1	FEB.23.23	ISSUED FOR CLIENT REVIEW
NO.	DATE	DESCRIPTION

PROJECT MANAGERS / CONTRACTORS:  
**ORION CONSTRUCTION**  
 UNIT 105 19923 80A AVE  
 LANGLEY, BC V2Y 0E2  
 PHONE: (604) 362-2994

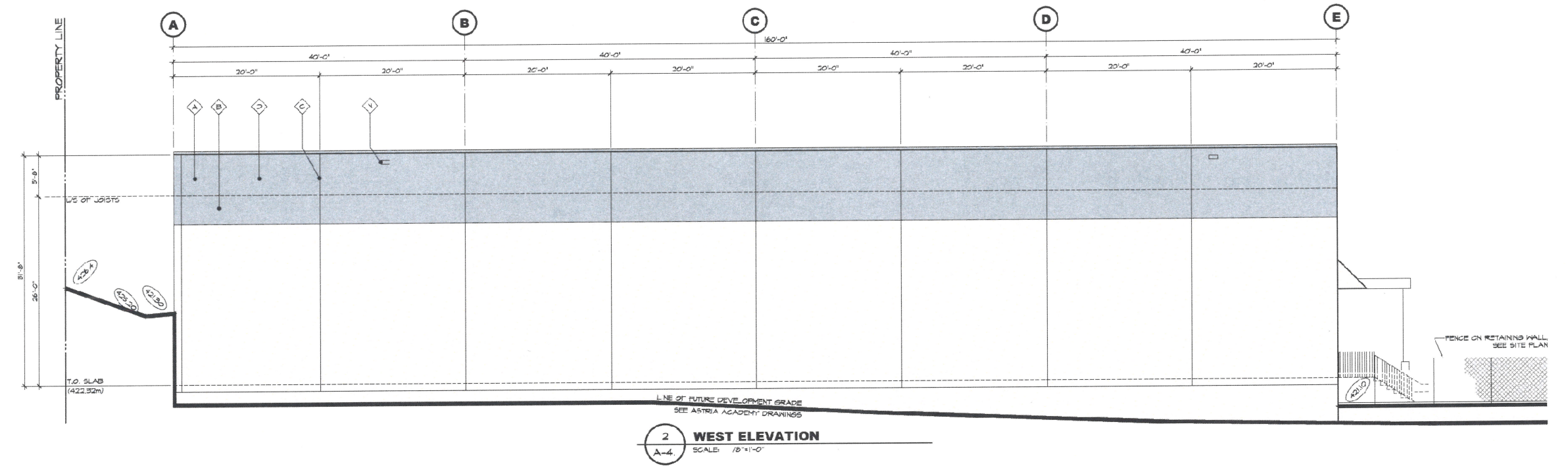
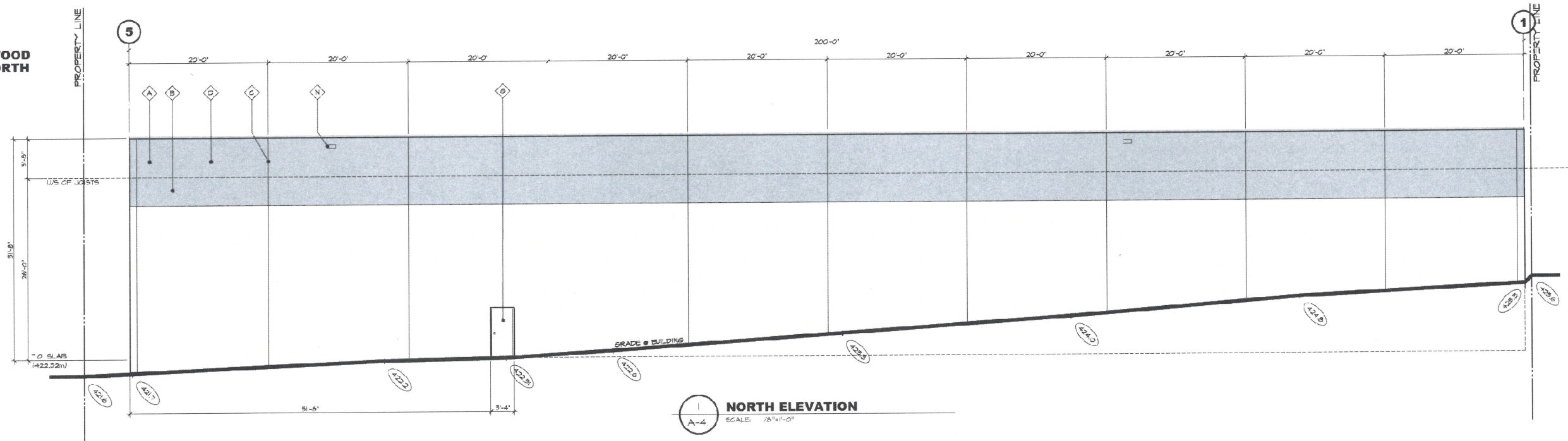
DEVELOPER:  
**ASTRIA PROPERTIES**  
 UNIT 105 19923 80A AVE  
 LANGLEY, BC V2Y 0E2

PROJECT PROPOSED:  
**ASTRIA HOLLYWOOD INDUSTRIAL BUILDING**  
 ADDRESS: 3225 APF ALGOSA RD, KLOWNA, BC  
 DRAWING

**ELEVATIONS**

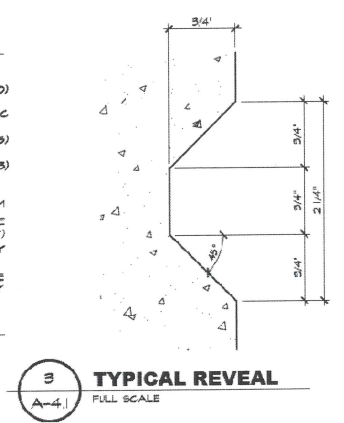
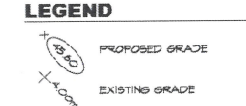
SEAL	JOB NO. 23 040	DRAWN JA
	DESIGNED	
	CHECKED K.L.	
	PLOT DATE AUG.25.23	
PROJECT - DRAWING NUMBER	REV.	
<b>A-4.1</b>	<b>128</b>	

**HOLLYWOOD ROAD NORTH**



- MATERIAL LEGEND**
- ◊ → CONCRETE "ILT-UP" WALL TYP. - PAINTED
  - ◊ → REVEAL IN CONCRETE - PAINTED
  - ◊ → PANEL JOINT
  - ◊ → PRE-FINISHED METAL CAP FLASHING
  - ◊ → STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
  - ◊ → STOREFRONT GLASS - CLEAR
  - ◊ → STEEL HANDDOORS - PAINTED
  - ◊ → STEEL SECTIONAL OVERHEAD DOORS - PAINTED
  - ◊ → STEEL GUARDRAILS - PAINTED
  - ◊ → CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
  - ◊ → LIGHT FIXTURE - SEE ELECTRICAL DWGS
  - ◊ → SPANDREL GLAZING (OBSCURE, TO MATCH VISION GLASS)
  - ◊ → SCUPPER
  - ◊ → STEEL BOLLARD - PAINTED
  - ◊ → CONCRETE CURB UNDER - PAINTED
  - ◊ → STEEL CHANNEL CANOPY - PAINTED
  - ◊ → CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
  - ◊ → CURTAIN WALL GLASS - CLEAR
- NOTE:**  
 - NOT ALL MATERIALS ARE APPLICABLE  
 ◊ → SPANDREL GLAZING

- PROJECT COLOURS**  
 ALL COLOURS TO BE SHERWIN WILLIAMS:
- ◊ (C1) MAIN FIELD COLOUR 1: ARCADE WHITE (SW 7100)
  - ◊ (C2) FIELD ACCENT COLOUR 1: COLOUR MATCH TO PANTONE PMS 280 C
  - ◊ (C3) FIELD ACCENT COLOUR 1: MORNING FOG (SW 0299)
  - ◊ (C4) CANOPY ACCENT COLOUR 1: NOONLIT ORCHID (SW 4195)
- ALUMINUM STOREFRONT MULLIONS: CLEAR ANODIZED ALUMINUM  
 TYPICAL GLAZING: CLEAR (LOW E AND / OR ACHRAC 10.1 2016 COMPLIANT)  
 SP. TYPICAL SPANDREL GLAZING COLOUR: LIGHT GREY  
 TYPICAL METAL CAP FLASHING: WESTFORM METALS WHITE WHITE  
 METAL CAP FLASHING @ C2 PANELS: WESTFORM METALS CHARCOAL GREY



**SCHEDULE B**

This forms part of application  
 # DP23-0078

Planner Initials **BC**



# MATERIAL & COLOUR BOARD

PROJECT  
**INDUSTRIAL BUILDINGS FOR**  
  
**ASTRIA**  
 PROPERTIES  
**HOLLYWOOD**

PROJECT MANAGERS / CONTRACTORS:  
  
 ORION CONSTRUCTION  
 UNIT 105 19923 80A AVE  
 LANGLEY, BC V2Y 0E2  
 PHONE: (604) 362-2994

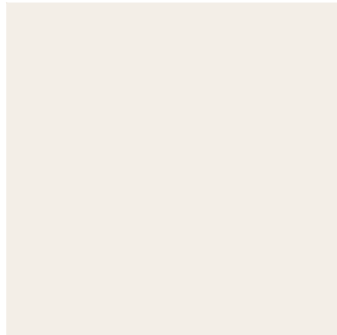
CIVIC ADDRESS: 3256 APPALOOSA RD, KELOWNA, BC  
 LEGAL ADDRESS: LOT 16, SECTION 2, TOWNSHIP 23, OSOYOOS  
 DIVISION YALE DISTRICT, PLAN KAP18861



ARCHITECTURE PANEL INC.  
 ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN  
 206 - 1493 FORTER STREET, WHITE ROCK, BC, V4B 0C4  
 (604) 385 3600 | RUCHR@ARCHITECTUREPANEL.COM

IN ASSOCIATION WITH  
**D.FORCE** DESIGN INC.  
 2625A ALLIANCE STREET, ABBOTSFORD, B.C., V2S 3J9  
 TEL: (604) 607-5655 EMAIL: DARC@DFORCE.CA

MAIN FIELD COLOUR  
 ARCADE WHITE (SW 7100)



ACCENT COLOUR  
 COLOUR MATCH TO  
 PANTONE PMS 280 C



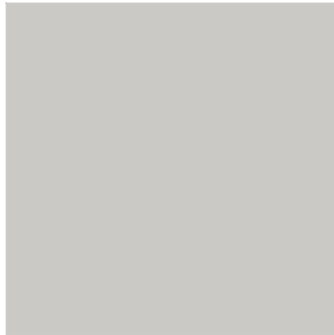
ACCENT COLOUR  
 MORNING FOG (SW 6255)



ACCENT COLOUR  
 MOONLIT ORCHID (SW 9153)



TYPICAL METAL CAP FLASHING  
 WESTFORM METALS  
 WHITE WHITE



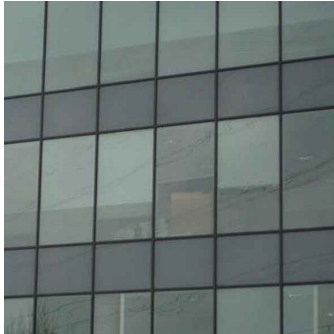
METAL CAP FLASHING @ C2 PANELS  
 WESTFORM METALS  
 CHARCOAL GREY



TYPICAL GLASS:  
 CLEAR



TYPICAL SPANDREL GLASS:  
 LIGHT GREY REFLECTIVE



ALUMINUM STOREFRONT MULLIONS  
 CLEAR ANODIZED ALUMINUM




ROOFING MATERIAL  
 GRAVEL BALLAST



**SCHEDULE** B

This forms part of application  
 # DP23-0078

Planner Initials **BC**



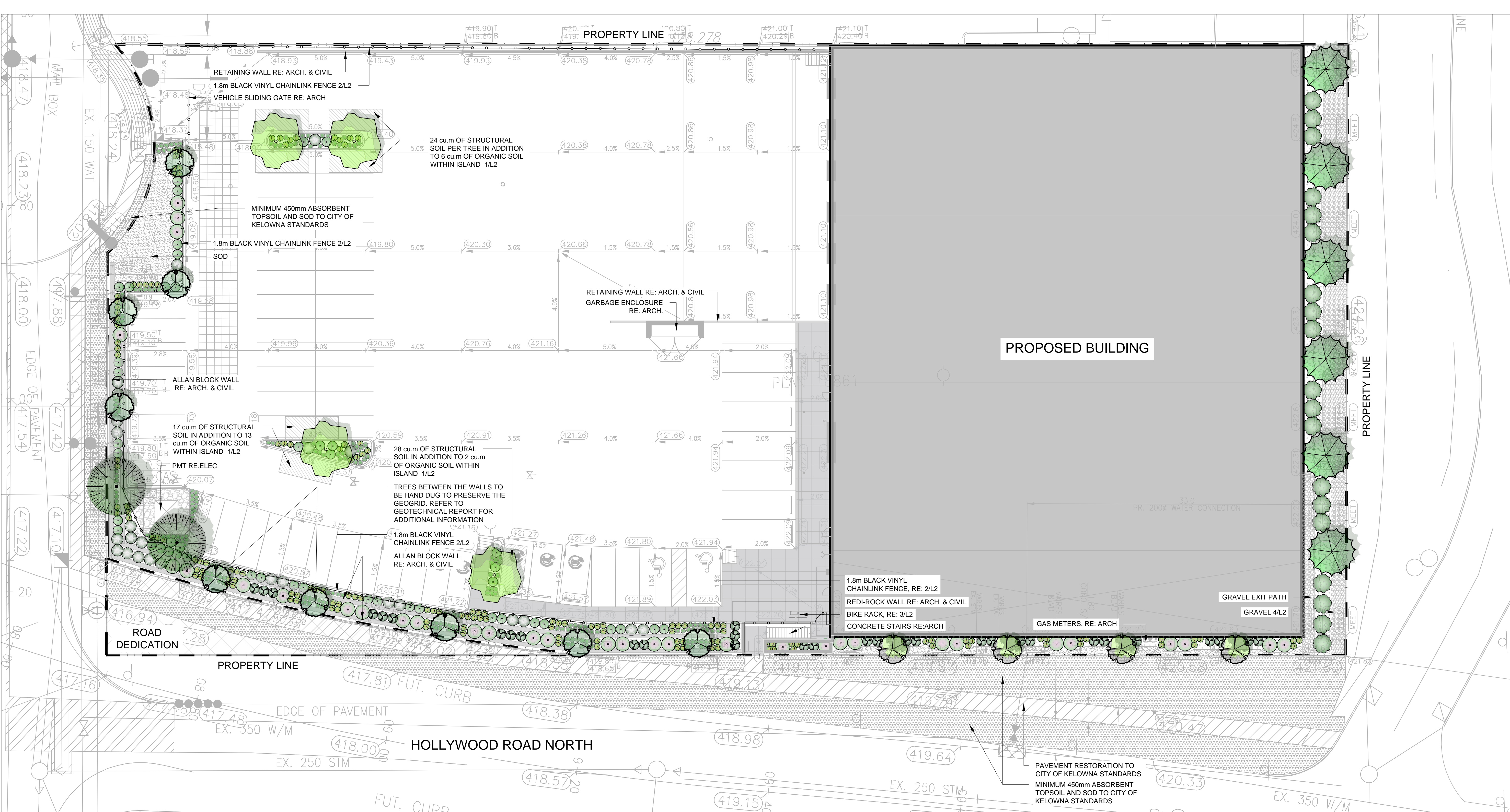
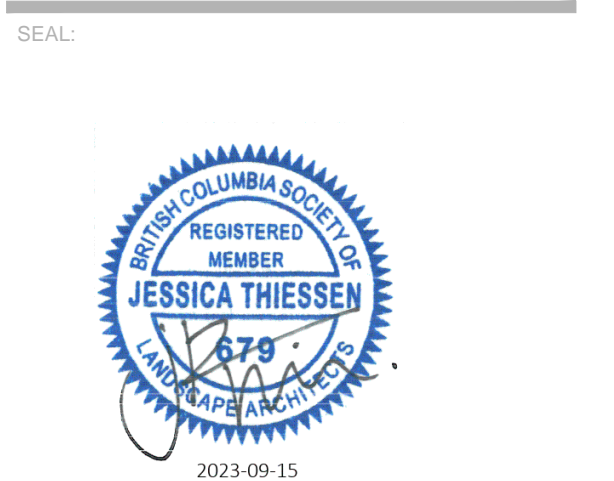


**LEGEND**

- SOD
- GRAVEL
- MINIMUM 450mm ABSORBENT TOPSOIL AND SOD TO CITY OF KELOWNA STANDARDS
- PLANTING MEDIUM
- CONCRETE WALK
- ROAD DEDICATION
- STRUCTURAL SOIL
- RETAINING WALL RE: ARCH & CIVIL
- 1.8m HIGH BLACK VINYL FENCE
- PROPERTY LINE

8	23/09/15	ISSUED FOR RE-DP
7	23/08/15	ISSUED FOR COORDINATION
6	23/06/29	ISSUED FOR RE-DP
5	23/06/22	ISSUED FOR DP RESUBMISSION
4	23/06/19	ISSUED FOR COORDINATION
3	23/05/16	RE-ISSUED FOR DP
2	23/05/09	ISSUED FOR REVIEW
1	23/03/07	ISSUED FOR DP

NO. DATE: (y/m/d) DESCRIPTION:  
ISSUES & REVISIONS:



**SCHEDULE C**  
This forms part of application  
# DP23-0078  
Planner Initials BC  
City of Kelowna  
DEVELOPMENT PLANNING

**LANDSCAPE REQUIREMENTS**

LANDSCAPED AREA: 757 <sup>2</sup>  
1 TREE/10 25 OR 1 TREE/30 25 (3 )  
PROPOSED TREES: 25

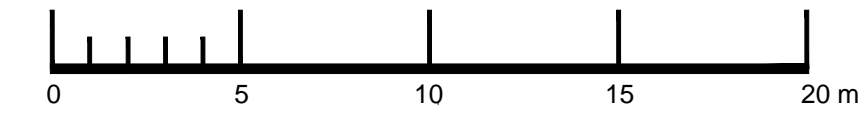
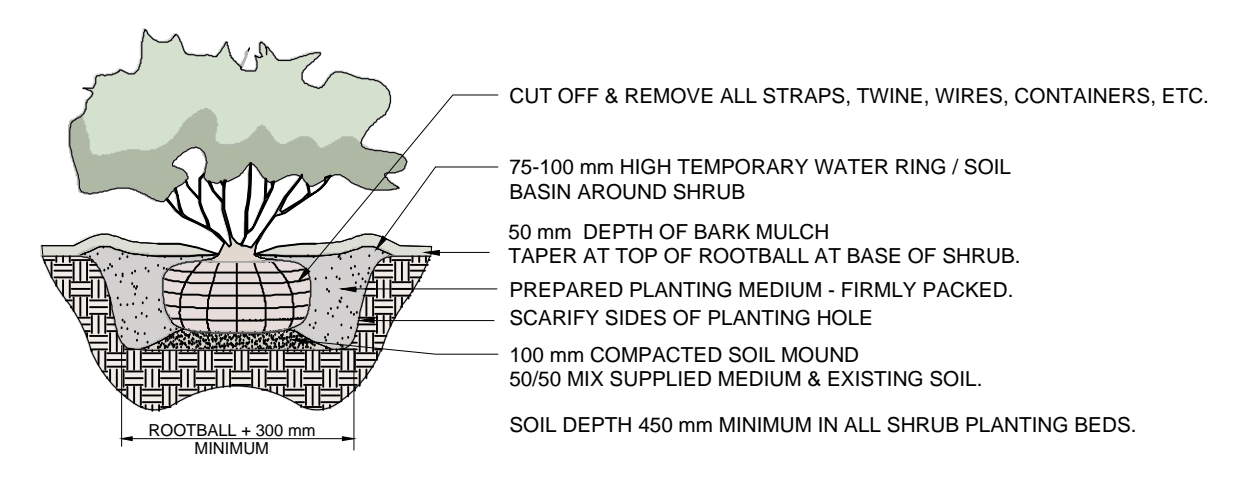
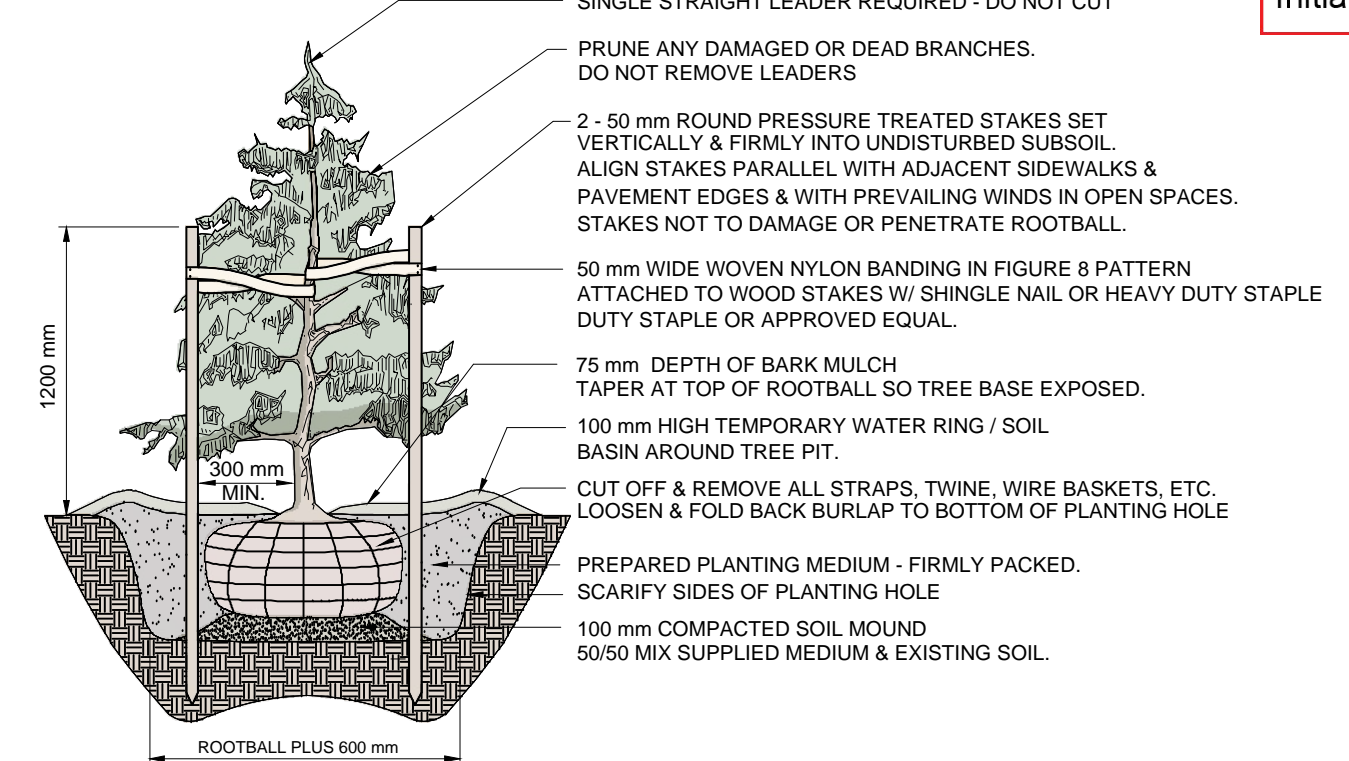
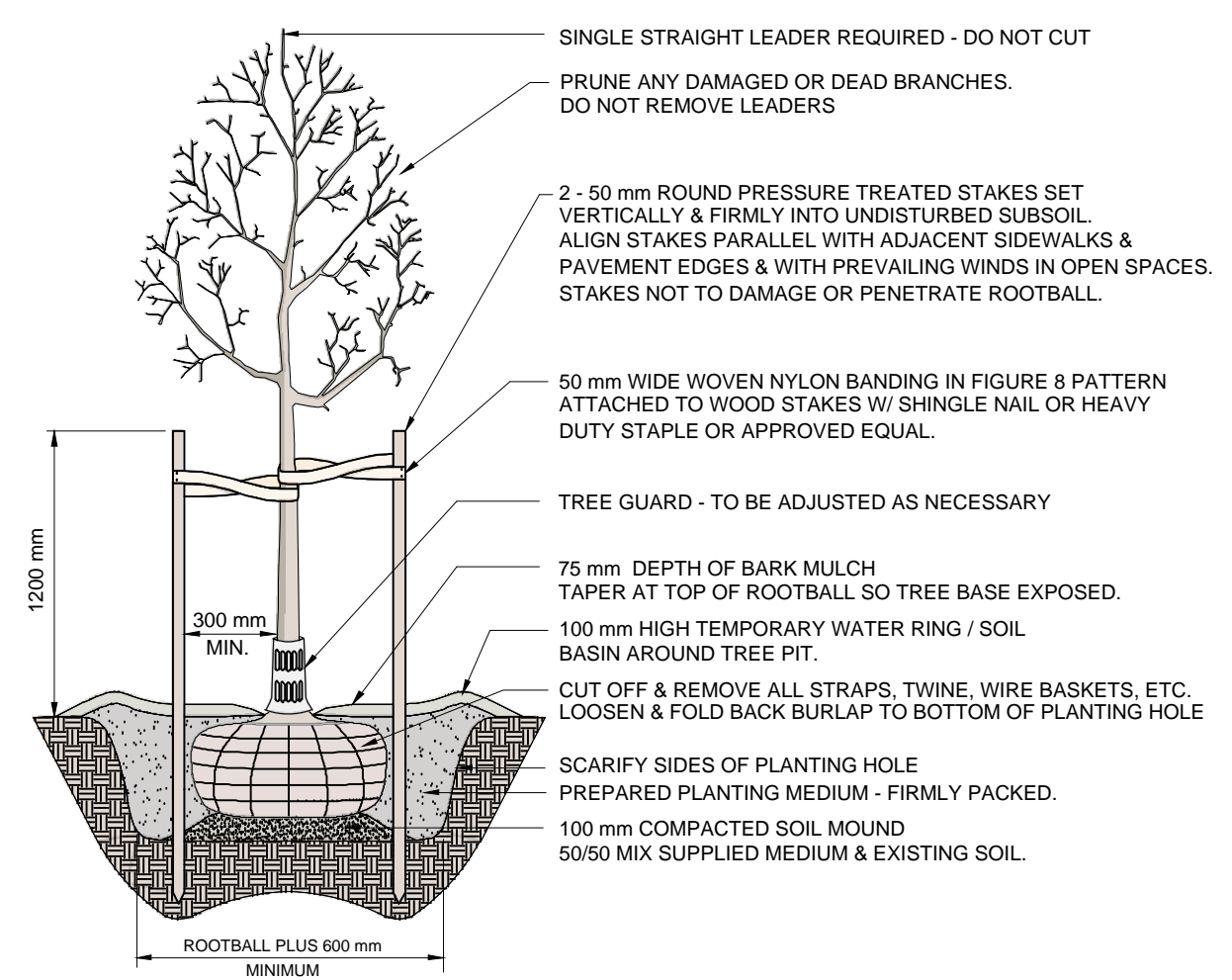
**SOIL BASED QUANTITY**

LANDSCAPED AREA: 703 <sup>2</sup>  
SOIL BASED PLANTING AREA: 524 <sup>2</sup> (75 )

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
<b>DECIDUOUS TREES</b>						
4		Magnolia X 'Susan'	Susan Magnolia	6cm Cal.	As Shown	W.B.
9		Acer Circinatum 'Pacific Fire'	Pacific Fire Vine Maple	2.5m ht.	As Shown	W.B.
4		Acer Buergarianum	Trident Maple	6cm Cal.	As Shown	W.B.
<b>CONIFEROUS TREES</b>						
2		Picea Engelmannii X Glauca	Hybrid White Spruce	4.5m ht.	As Shown	W.B.
6		Abies Grandis	Grand Fir	3.5m ht.	As Shown	W.B.
<b>SHRUBS</b>						
19		Amelanchier Alnifolia	Saskatoon Serviceberry		#5 Pot	
26		Rosa Rugosa 'Alba'	Rugosa Rose		#3 Pot	
33		Physocarpus Opulifolius 'Jefani'	Amber Jubilee Ninebark		#5 Pot	
31		Vaccinium Ovatum	Evergreen Huckleberry		#5 Pot	
149		Berberis Thunbergii 'Monomi'	Cherry Bomb Japanese Barberry		#3 Pot	
<b>PERENNIALS, GROUND COVERS, AND GRASSES</b>						
204		Festuca Glauca 'Elijah Blue'	Blue Fescue		#1 Pot	
46		Potentilla Fruticosa	Shrubby Cinquefoil		#1 Pot	

**TREE PLANTING NOTE:**  
TREES BETWEEN THE WALLS TO BE HAND DUG TO PRESERVE THE GEOGRID. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION



NORTH ARROW:

PROJECT NAME:  
**ASTRIA HOLLYWOOD**

PROJECT ADDRESS:  
**3256 APPALOOSA ROAD  
KELOWNA, BC**

DRAWING TITLE:  
**LANDSCAPE PLAN**

SCALE: 1:200

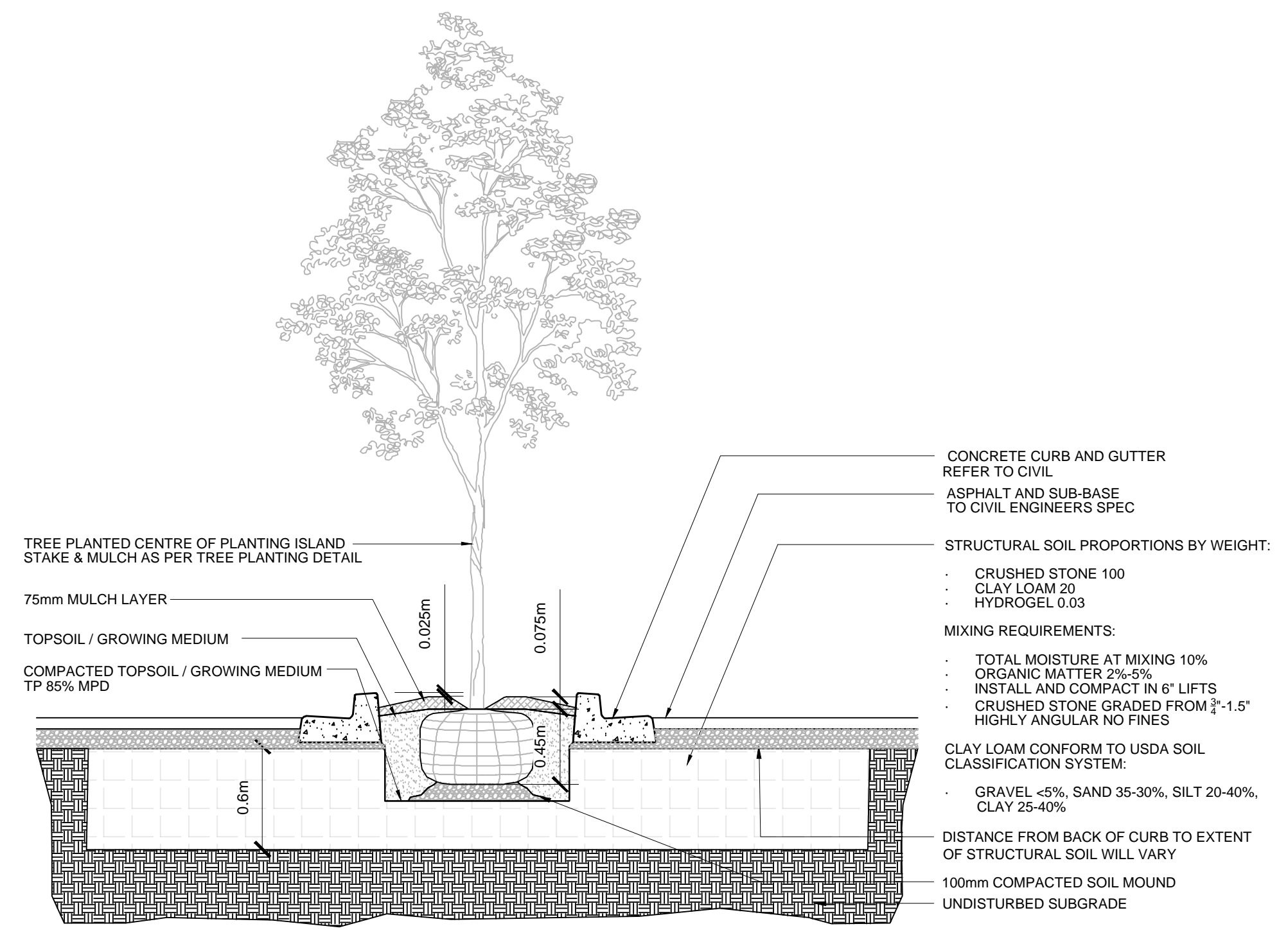
DRAWN: MA

CHECKED: JT

PROJECT NO: 230049-L

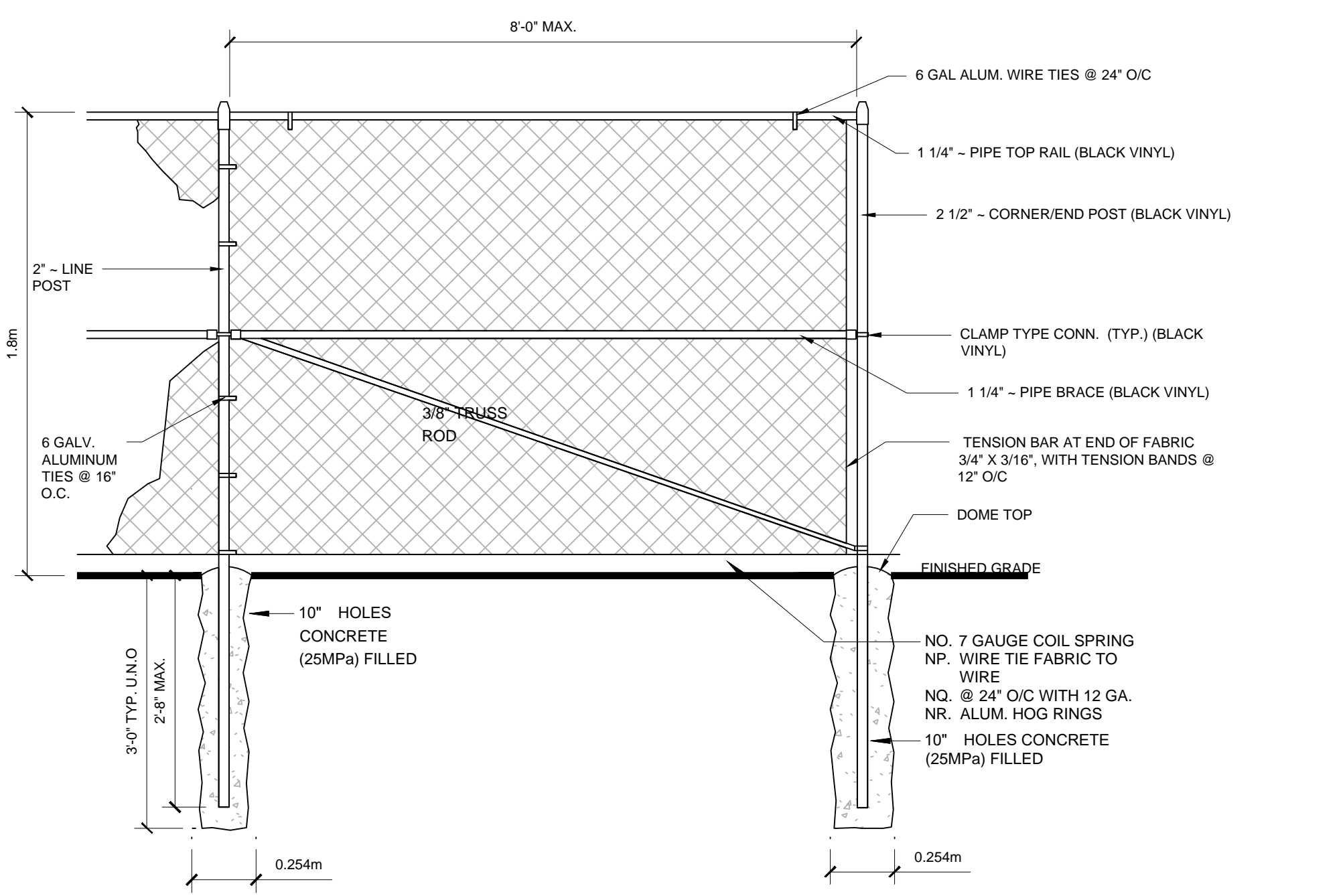
DRAWING NO: **L1**





1 STRUCTURAL SOIL 1:30

NOTES:  
- ALL COMPONENTS GALVANIZED & COATED WITH BLACK VINYL.

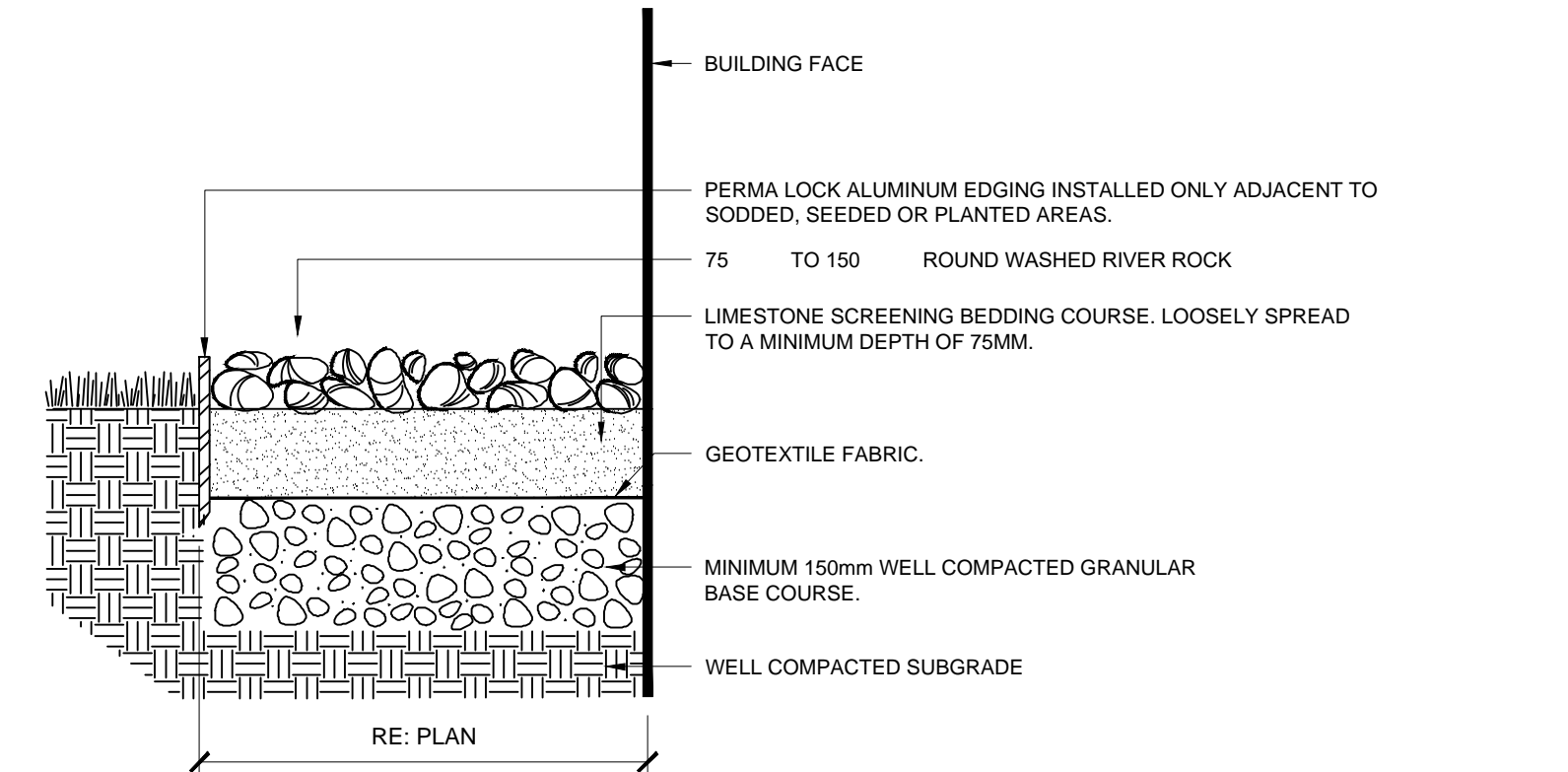


2 1.8m BLACK VINYL CHAINLINK FENCE 1:20



MANUFACTURER: ULINE  
MODEL NUMBER: H-6572  
COLOUR: ORION BLUE  
QUANTITY: 2

3 BIKE RACK N.T.S.



NOTES:  
1. RIVER ROCK SHALL BE FREE FROM CRACKS AND FISSURES AND SHALL BE FREE FROM SAND, CLAY AND OTHER DELETERIOUS MATERIAL.  
2. RIVER ROCK SHALL BE PLACED OVER THE SCREENINGS COURSE SUCH THAT AN OVERALL LEVEL APPEARANCE IS ACHIEVED WITHOUT VOIDS.  
3. RIVER ROCK TO BE LIGHTLY COMPACTED TO EMBED INTO BEDDING COURSES.

4 GRAVEL 1:20

# NOTES

## GENERAL NOTES

- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
- CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
- CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
- OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
- UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

## PLANTING NOTES

- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
- PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
- TREE PROTECTION: PER THE MUNICIPAL DETAIL IF REQUIRED.
- ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
- SOIL DEPTH IN ALL PLANTING AREAS TO BE MINIMUM 450mm
- SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
- ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
- PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
- PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
  - Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
  - Maintenance and additional installation of mulch
  - Weed removal
  - Disease control

## SODDING NOTES

- SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOD, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
  - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
  - 40% CREEPING RED FESCUE
  - 20% PERENNIAL RYEGRASS
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
- AREAS TO BE SODDED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
- LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
- PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
- DELIVER SOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOD FROM DRYING, AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.
- LAY SOD DURING GROWING SEASON. LAY SOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
- WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

## IRRIGATION NOTES

- IRRIGATION TO BE PROVIDED FOR ALL 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
- IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE SUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
- THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
- ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
- USE POP-UP SPRINKLER HEADS.
- DO NOT SPRAY WATER ONTO TREE TRUNKS.

## SEEDING NOTES

- AREAS DESIGNATED FOR SEED WILL FOLLOW THESE GUIDELINES.
- REMOVE ALL DEBRIS INCLUDING BUT NOT LIMITED TO ALL GRANULAR STONE, CONCRETE, WOOD AND METAL. SCARIFY ALL DISTURBED AREAS TO ELIMINATE COMPACTION OF TOPSOIL.
- TO PREPARE AREAS FOR SEEDING, SPREAD, LOOSEN AND FINE GRADE TOPSOIL. GRADE FOR POSITIVE DRAINAGE. DEPTH OF TOPSOIL TO BE MIN. 150MM.
- TO ENSURE ACCEPTANCE OF THE COMPLETED WORK, THE CONTRACTOR SHALL NOT COMMENCE SEEDING UNTIL THE PROJECT MANAGER HAS APPROVED FINE GRADES.
- SEEDING OPERATIONS SHALL BE COMPLETED BETWEEN SPRING THAW AND JUNE 15TH FOR SPRING WORK, OR BETWEEN AUGUST 15TH AND OCTOBER 15TH FOR FALL WORK.
- SEED APPLICATION METHOD: HYDROSEEDING BY APPROVED CONTRACTOR.
- CONTRACTOR TO ENSURE ADEQUATE SEED MIX CATCH. SEEDED AREAS WILL BE ACCEPTED PROVIDED THAT A SUFFICIENT AMOUNT OF THE SEED HAS GERMINATED AND BECOME ESTABLISHED IN THE OPINION OF THE PROJECT MANAGER.
- MAINTENANCE FOR SEEDED AREAS SHALL BEGIN IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE PROJECT MANAGER.

SEED MIX TO BE AS FOLLOWS:  
PREMIER PACIFIC SEEDS COASTAL REVEGETATION MIX AT A SEEDING RATE OF 100 KG/HECTARE OR APPROVED EQUAL AT SEEDING RATE OF 100KG/HECTARE.

## BIOSWALE SOIL SPECIFICATION

COARSE GRAVEL:	0-1%
ALL GRAVEL:	0-5%
SAND:	70-80%
Larger than 0.005mm	
Smaller than 2mm	
SILT:	5-15%
Larger than 0.002mm	
Smaller than 0.05mm	
CLAY:	10-20%
Smaller than 0.002mm	
CLAY AND SILT COMBINED:	MAX 25%
ORGANIC CONTENT (by weight):	15%
Organics not to be derived from food waste	
ACIDITY (pH):	6.0-6.5

## BOULDER NOTES

- BOULDERS bury average of 0.15-0.25m below surface, size at minimum:
- 00 L = LARGE AT 1m l. x 1m w. x 1m ht., 0.75m showing above surface, 2 tonne each
  - 00 M = MEDIUM AT 0.75m l. x 0.75m w. x 0.75m ht., 0.6m showing above surface, 1.2 tonne each
  - 00 S = SMALL AT 0.6m l. x 0.6m w. x 0.6m ht., 0.40-0.45m above surface, 0.6 tonne each
- CONTRACTOR TO PROVIDE SAMPLE FOR CLIENT/PROJECT MANAGER APPROVAL BEFORE PURCHASING AND INSTALLING

SCHEDULE C

This forms part of application  
# DP23-0078

Planner  
Initials

BC

City of Kelowna  
DEVELOPMENT PLANNING

KD Planning  
& DESIGN LTD

ABBOTSFORD OFFICE  
400-34077 GLADYS AVE ABBOTSFORD, BC V2S 2E8  
T: 604.853.8831 F: 604.850.1580 www.krahn.com

VANCOUVER OFFICE  
110-2920 VIRTUAL WAY VANCOUVER, BC V5R 4Y3  
T: 604.294.6662 F: 604.294.6665 www.krahn.com

8	23/09/15	ISSUED FOR RE-DP
7	23/08/15	ISSUED FOR COORDINATION
6	23/06/29	ISSUED FOR RE-DP
5	23/06/22	ISSUED FOR DP RESUBMISSION
4	23/06/19	ISSUED FOR COORDINATION
3	23/05/16	RE-ISSUED FOR DP
2	23/05/09	ISSUED FOR REVIEW
1	23/03/07	ISSUED FOR DP

NO. DATE: (y/m/d) DESCRIPTION:

ISSUES & REVISIONS:

SEAL:

2023-09-15

NORTH ARROW:

PROJECT NAME:

ASTRIA HOLLYWOOD

PROJECT ADDRESS:  
3256 APPALOOSA ROAD  
KELOWNA, BC

DRAWING TITLE:  
DETAILS & NOTES

SCALE: AS NOTED

DRAWN: MA

CHECKED: JT



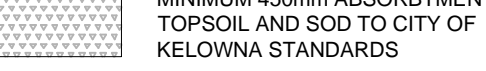



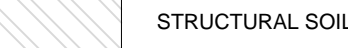



PROJECT NO: 230049-L

DRAWING NO:  
L2

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



**LEGEND**

-  SOD
-  GRAVEL
-  MINIMUM 450mm ABSORBENT TOPSOIL AND SOD TO CITY OF KELOWNA STANDARDS
-  PLANTING MEDIUM
-  CONCRETE WALK
-  ROAD DEDICATION
-  STRUCTURAL SOIL
-  RETAINING WALL RE: ARCH & CIVIL
-  1.8m HIGH BLACK VINYL FENCE
-  PROPERTY LINE

8	23/09/15	ISSUED FOR RE-DP
7	23/08/15	ISSUED FOR COORDINATION
6	23/06/29	ISSUED FOR RE-DP
5	23/06/22	ISSUED FOR DP RESUBMISSION
4	23/06/19	ISSUED FOR COORDINATION
3	23/05/16	RE-ISSUED FOR DP
2	23/05/09	ISSUED FOR REVIEW
1	23/03/07	ISSUED FOR DP

NO. DATE: (y/m/d) DESCRIPTION:  
ISSUES & REVISIONS:

SEAL:



NORTH ARROW:

PROJECT NAME:

**ASTRIA HOLLYWOOD**

PROJECT ADDRESS:

**3256 APPALOOSA ROAD  
KELOWNA, BC**

DRAWING TITLE:

**OFFSITE PLAN**

SCALE: 1:200

DRAWN: MA

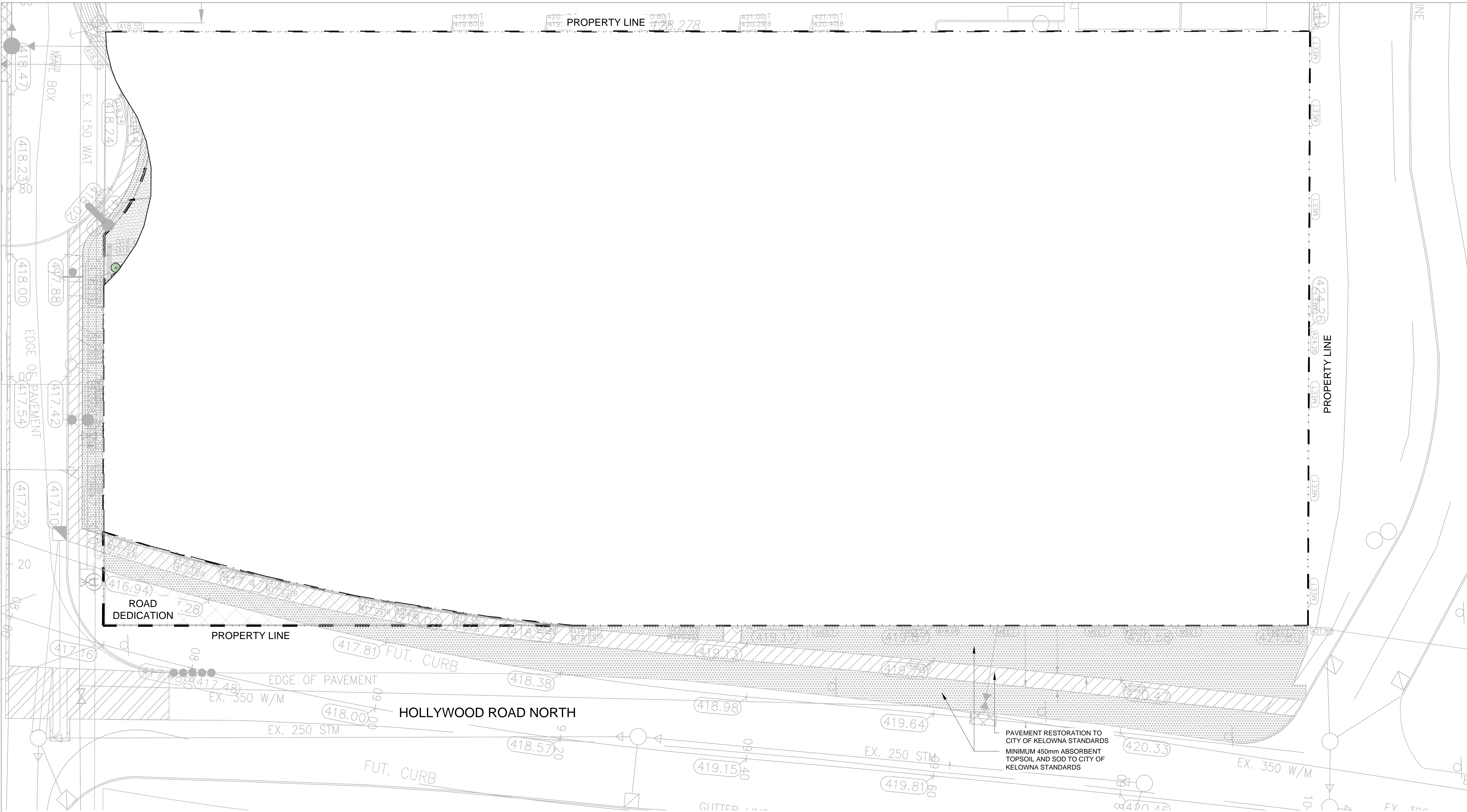
CHECKED: JT

PROJECT NO: 230049-L

DRAWING NO:

**L3**

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT

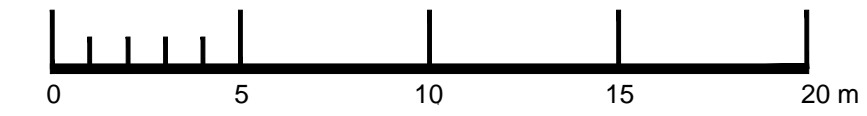


**SCHEDULE C**

This forms part of application # DP23-0078

Planner Initials **BC**

City of Kelowna  
DEVELOPMENT PLANNING



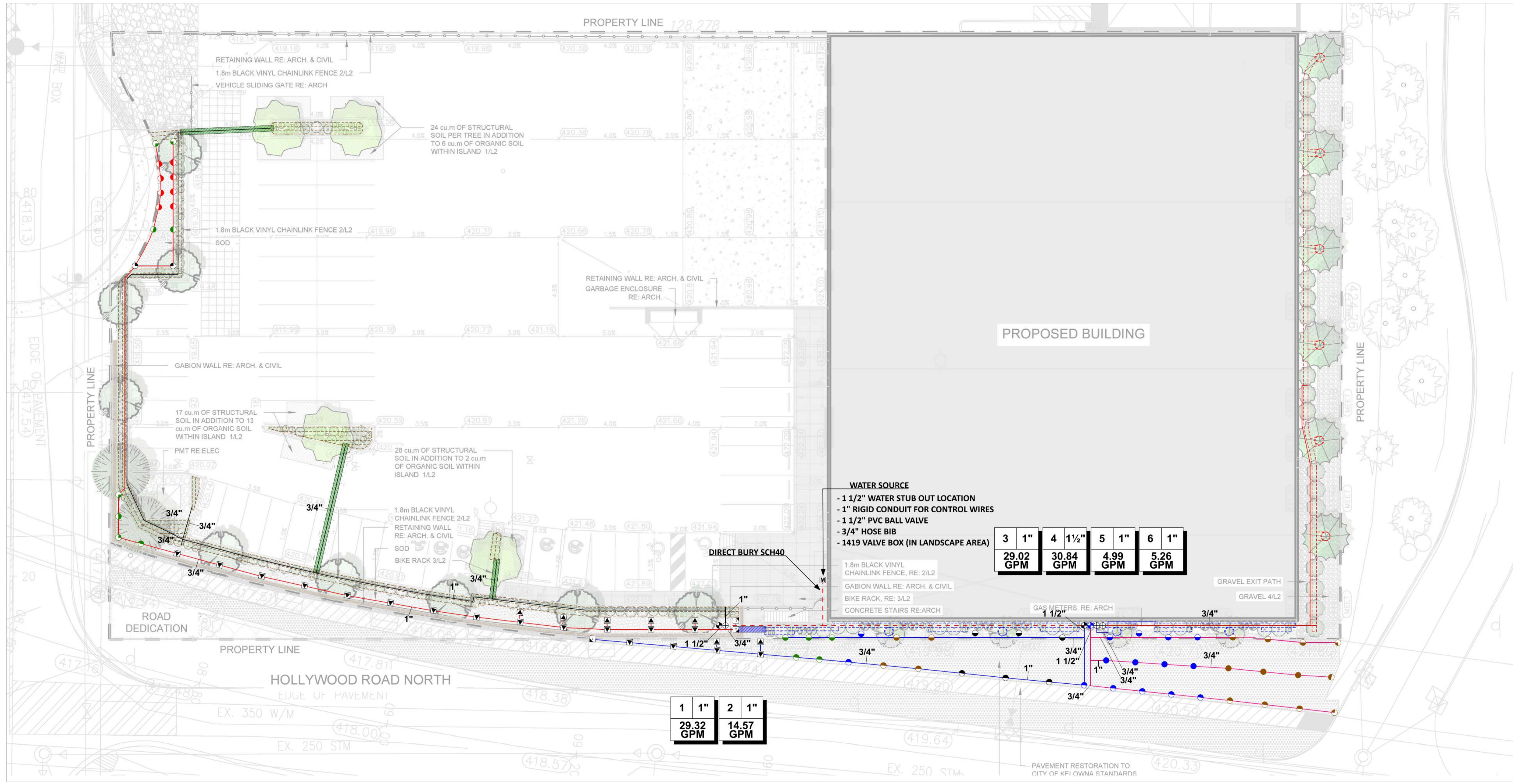
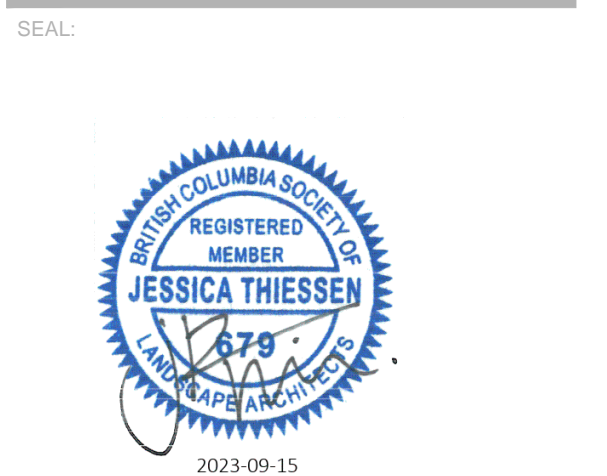


**LEGEND**

- SOD
- GRAVEL
- MINIMUM 450mm ABSORBMENT TOPSOIL AND SOD TO CITY OF KELOWNA STANDARDS
- PLANTING MEDIUM
- CONCRETE WALK
- ROAD DEDICATION
- STRUCTURAL SOIL
- RETAINING WALL RE: ARCH & CIVIL
- 1.8m HIGH BLACK VINYL FENCE
- PROPERTY LINE

8	23/09/15	ISSUED FOR RE-OP
7	23/08/15	ISSUED FOR COORDINATION
6	23/06/29	ISSUED FOR RE-OP
5	23/06/22	ISSUED FOR DP RESUBMISSION
4	23/06/19	ISSUED FOR COORDINATION
3	23/05/16	RE-ISSUED FOR DP
2	23/05/09	ISSUED FOR REVIEW
1	23/03/07	ISSUED FOR DP

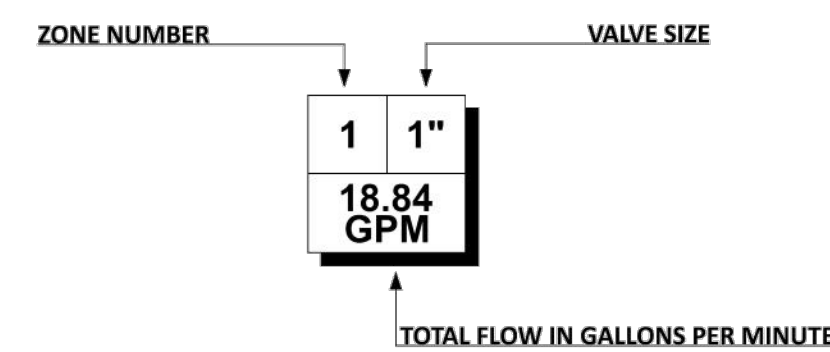
NO: DATE: (y/m/d) DESCRIPTION:  
ISSUES & REVISIONS:



**Irrigation**

Quantity	Symbol	Description	Pressure	Flow	Radius
<b>Sprinklers</b>					
4	●	Rain Bird 10F - 1804	30 psi	1.58 gpm	10 ft
11	●	Rain Bird 10H - 1804	30 psi	0.79 gpm	10 ft
3	●	Rain Bird 12F - 1804	30 psi	2.6 gpm	12 ft
11	●	Rain Bird 12H - 1804	30 psi	1.3 gpm	12 ft
2	●	Rain Bird 12Q - 1804	30 psi	0.65 gpm	12 ft
6	●	Rain Bird 15H - 1804	30 psi	1.85 gpm	15 ft
2	●	Rain Bird 15LCS - 1804	30 psi	0.49 gpm	15 x 3 ft
2	●	Rain Bird 15Q - 1804	30 psi	0.92 gpm	15 ft
1	●	Rain Bird 15RCS - 1804	30 psi	0.49 gpm	15 x 3 ft
24	●	Rain Bird 15SST - 1804	30 psi	1.21 gpm	30 x 4 ft
8	●	Rain Bird 5H - 1804	30 psi	0.2 gpm	5 ft
9	●	Rain Bird 8H - 1804	30 psi	0.52 gpm	8 ft
4	●	Rain Bird 8Q - 1804	30 psi	0.26 gpm	8 ft
<b>Water Source</b>					
1	■	As shown			
<b>Control Valves</b>					
2	●	Rain Bird 100-PGA Globe			
1	●	Rain Bird 150-PGA Globe			
3	●	Rain Bird X CZ-100-PRF			
<b>Lateral Line Pipe</b>					
1176 ft	—	Class 200 3/4"			
364 ft	—	Class 200 1"			
144 ft	—	Class 200 1 1/2"			
<b>Mainline Pipe</b>					
147 ft	—	Class 200 1 1/2"			
<b>Sleeving</b>					
91 ft	—	Schedule 40 2"			
11 ft	—	Schedule 40 4"			
<b>Drip Tubing (coloured to show drip zone separation)</b>					
2527 ft	—	Rain Bird XFS-06-12			

**Zone Diagram**



**IRRIGATION NOTES:**

- SYSTEM TO BE INSTALLED AS PER IIABC STANDARDS
- ALL SPRAY HEADS IN PLANTER AREAS TO BE RAINBIRD 1812 POPUPS SET TO HEIGHT SUITABLE FOR PLANT MATERIAL
- SHRUBS RISERS CAN BE USED BUT MUST CONSIDER VEHICLE OVERHANG
- DRIP TUBING TO BE SPACED AT 18" ON CENTER
- WATER AND ELECTRICAL CONDUIT STUB OUTS TO LANDSCAPE AREA BY OTHERS
- BACKFLOW / PRV INSTALLED BY OTHERS
- SYSTEM DESIGNED FOR 1 1/2" WATER STUB SUPPLYING 35 GPM @ 55 PSI AT WATER STUB OUT LOCATION
- PIPING SHOWN OUTSIDE OF LANDSCAPE AREA IS SCHEMATIC. CONTRACTOR TO ENSURE ALL PIPING IS LOCATED WITHIN LANDSCAPE AREAS
- CONTROLLER TO BE RAINBIRD ESP-ME3 C/W WIRELESS RAIN SENSOR. CONTROLLER TO BE LOCATED IN MECHANICAL ROOM

**SCHEDULE C**

This forms part of application  
# DP23-0078

Planner Initials **BC**

City of Kelowna  
DEVELOPMENT PLANNING

NORTH ARROW:

PROJECT NAME:

**ASTRIA HOLLYWOOD**

PROJECT ADDRESS:  
3256 APPALOOSA ROAD  
KELOWNA, BC

DRAWING TITLE:  
**IRRIGATION PLAN**

SCALE: 1:200  
DRAWN: MA  
CHECKED: JT  
PROJECT NO: 230049-L

DRAWING NO:

**L4**



## LANDSCAPE PROPOSAL OF COSTS

**Astria Hollywood Drive**  
3256 Appaloosa Road Kelowna, BC  
**British Columbia**


NO.	ITEM	QUANTITY	UNIT	UNIT COST	TOTAL COST
<b>Supplied and Installed with 1 year warranty</b>					
<b>Softscape</b>					
1.0	Deciduous trees 60mm cal.	17	each	\$350.00	\$5,950.00
2.0	Coniferous trees 3.5m & 4.5m ht.	8	each	\$400.00	\$3,200.00
3.0	Shrubs #3 pot	184	each	\$30.00	\$5,520.00
4.0	Shrubs #5 pot	81	each	\$30.00	\$2,430.00
5.0	Perennials, Grasses, Groundcovers	263	each	\$15.00	\$3,945.00
				Plant Sub-total	\$21,045.00
6.0	Composted Bark Mulch	39	cub.m.	\$30.00	\$1,170.00
7.0	450mm topsoil	210	cub.m.	\$30.00	\$6,300.00
8.0	200mm topsoil	10	cub.m.	\$18.00	\$180.00
9.0	Structural Soil	121	cub.m.	\$130.00	\$15,730.00
10.0	Gravel	34	cub.m.	\$30.00	\$1,020.00
11.0	Black Vinyl Chainlink Fence 1.8mht.	189	lm.	\$100.00	\$18,900.00
12.0	Irrigation Lump Sum			lump sum	\$7,500.00
<b>Site Furniture</b>					
13.0	Single Bike Rack	1	each	\$400.00	<u>\$400.00</u>

**LANDSCAPE PROPOSED TOTAL      \$72,245.00**

SCHEDULE C

This forms part of application  
# DP23-0078

Planner  
Initials BC



City of  
**Kelowna**  
DEVELOPMENT PLANNING



**FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES**

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

<b>SECTION 6.o: RETAIL, COMMERCIAL AND INDUSTRIAL</b>						
<b>RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE</b> <i>(1 is least complying &amp; 5 is highly complying)</i>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
<b>6.1 General Guidelines</b>						
<b>6.1.1 Relationship to the Street</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Orient the long side of each building to be parallel to the public street.					✓	
b. Locate entries to be visible and directly accessible from the public street.					✓	
c. For buildings fronting highways, entries can be located away from the street, as long as there is a direct pedestrian connection to the site.	✓					
d. Avoid blank walls adjacent to the highway, streets, walkways, parks, or other amenity spaces.					✓	
<b>6.1.2 Site Planning and Landscaping</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Locate buildings to ensure good sight lines for vehicular and pedestrian traffic.						✓
b. Provide direct, safe, continuous, and clearly defined pedestrian access from public sidewalks, parking areas, and transit stops to building entrances.						✓
c. Use large canopy trees to define the public realm (e.g. at the sidewalk and property edge facing the street)					✓	
d. Distribute trees and landscaping throughout the site in order to: <ul style="list-style-type: none"> <li>• Soften property edges facing the street;</li> <li>• Define internal roads, pedestrian routes, and open spaces;</li> <li>• Create pleasant pedestrian conditions;</li> <li>• Screen parking, loading, service, and utility areas;</li> <li>• Manage stormwater on-site; and</li> <li>• Break up large rows of parking by substituting a parking stall with a canopy tree in planter every 8-10 parking stalls;</li> </ul>					✓	
e. Provide on-site bio-retention facilities (e.g. bioswales, rain gardens) to collect, store and filter stormwater from parking areas.	✓					
f. Use permeable materials such as paving blocks or permeable concrete in parking areas to maximize rainwater infiltration.	✓					
g. Pedestrian pathways should provide clear sight lines and connect the following: <ul style="list-style-type: none"> <li>• Parking areas to building entrances;</li> <li>• Main building entrances to public sidewalks (where applicable);</li> <li>• Main building entrances to transit stopes (where applicable);</li> <li>• Between buildings on adjacent lots.</li> </ul>						✓
h. Provide separation between vehicular routes (especially truck access/loading) and pedestrian routes on-site to avoid conflict and distinguish pedestrian routes from driving surfaces by using varied paving treatments and/or raising walkways to curb level.				✓		
i. Base new development on an internal circulation pattern that allows logical movement throughout the site and that will accommodate, and not preclude, intensification over time.				✓		
<b>6.1.3 Site Servicing, Access, and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>



a. Design site accesses to provide the potential for future shared access with neighbours and to minimize curb cuts.	✓					
b. Where practical, link access drives and parking lots of adjacent properties in order to allow for circulation of vehicles between sites.	✓					
c. The preferred location for main parking areas is at the rear and/or side of the building. Avoid locating large parking areas between the building and the street.				✓		
d. Where parking areas are visible from the street, screen them using strategies such as tree planting, berming, low walls, decorative fencing and/or hedging.						✓
e. Break parking areas into smaller blocks defined by landscaping in order to minimize the amount of paved areas.					✓	
f. Locate loading, utilities, mechanical equipment and garbage collection areas away from public view by: <ul style="list-style-type: none"> <li>Integrating these facilities into the footprint of the building; or</li> <li>Screening using fencing, walls, and/or landscaping</li> </ul>				✓		
g. Provide areas for temporary snow storage that do not conflict with site circulation, landscaping, and access to utility boxes. For example, by providing access via a lane away from public view.				✓		
<b>6.1.4 Building Articulation, Features, and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Avoid facing unarticulated facades to the street and use projections, recesses, arcades, awnings, color, and texture to improve the pedestrian experience					✓	
b. Design primary entrances to face the street, exhibit design emphasis, and provide weather protection by means of canopy or recessed entry.						✓
c. Design buildings such that their form and architectural character reflect the building's internal function and use (e.g. an industrial building, a large format retail mall).						✓
d. Design signage as an integral element of the building's façade and to be compatible in scale and design with the design, color and material of the building.						✓
e. Allow for brand identification where there are multiple buildings and uses on a site, but avoid individual corporate image, color, and signage back-lit signs from dominating the site.	✓					
f. Locate, size and design ground-mounted signs to be oriented to pedestrians as opposed to vehicles.	✓					
g. Provide shielded, down lighting to provide security and ambient lighting while minimizing light pollution and spill over lighting into adjacent properties.					✓	
h. Provide weather protection at building entrances close to transit stops, and in areas with pedestrian amenities.					✓	
i. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.	✓					
j. Use an integrated, consistent range of materials and colors and provide variety by, for example, using accent colors.						✓
<b>6.4 Industrial and Service Commercial</b>						
<b>6.4.1 Relationship to the Street</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Design primary entries to be clearly visible and accessible from the street.					✓	
b. Site the building's primary façade parallel to the street and close to the minimum setback to establish a defined street edge.					✓	
c. Include glazing, as a major component of street facing facades.					✓	
d. Maintain and enhance street edge definition by preserving or incorporating street trees.						✓



e. Locate the office, reception, or sales component of the building closer to the street than the plant or warehouse component.						✓
f. Do not locate service doors (e.g., an overhead loading door) facing the street.				✓		
<b>6.4.2 Site Planning and Landscaping</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Pedestrian pathways should provide clear sight lines and connect the building to outdoor amenity spaces.						✓
b. Consider providing landscaped green roofs to manage runoff, add visual appeal, improve energy efficiency, reduce heat island effect, and provide amenity value.	✓					
<b>6.4.3 Site Servicing, Access, and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. The preferred location for main parking areas is at the rear and/or side of the building.				✓		
b. Avoid locating large parking areas between the building and street. A single loaded row of visitor parking and passenger drop-off areas may be located between the building and the street.				✓		
c. Where parking areas are visible from the street, screen it using strategies such as tree planting, berming, low walls, decorative fencing and/or hedging.						✓
d. Break parking areas into smaller blocks defined by landscaping in order to minimize the amount of paved areas.					✓	
e. Locate outdoor storage areas within rear yards and/or interior side yards and screened from street view.				✓		
<b>6.4.4 Building Articulation, Features and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Avoid facing unarticulated facades to the street and use projections, recesses, plantings, awnings, color and texture to reduce the visual size of any unglazed walls.						✓
b. Use different exterior materials to distinguish between the plant/warehouse component of a building from the office/sales component.						✓





City of  
**Kelowna**

DP23-0078  
3256 Appaloosa Rd

Development Permit



# Purpose

- ▶ To issue a Development Permit for the form and character of a new industrial building

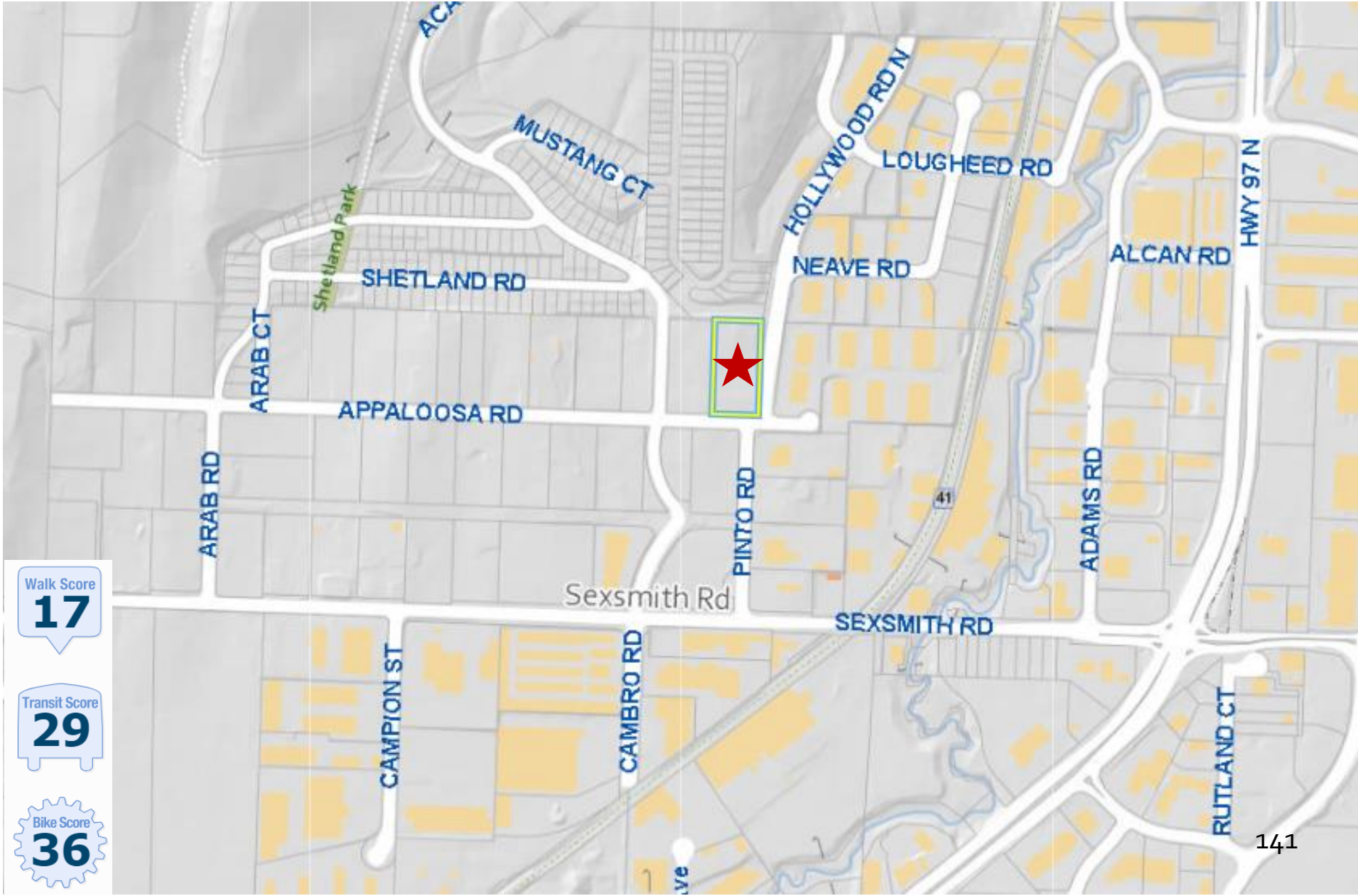


# Development Process





# Context Map



Walk Score  
**17**

Transit Score  
**29**

Bike Score  
**36**



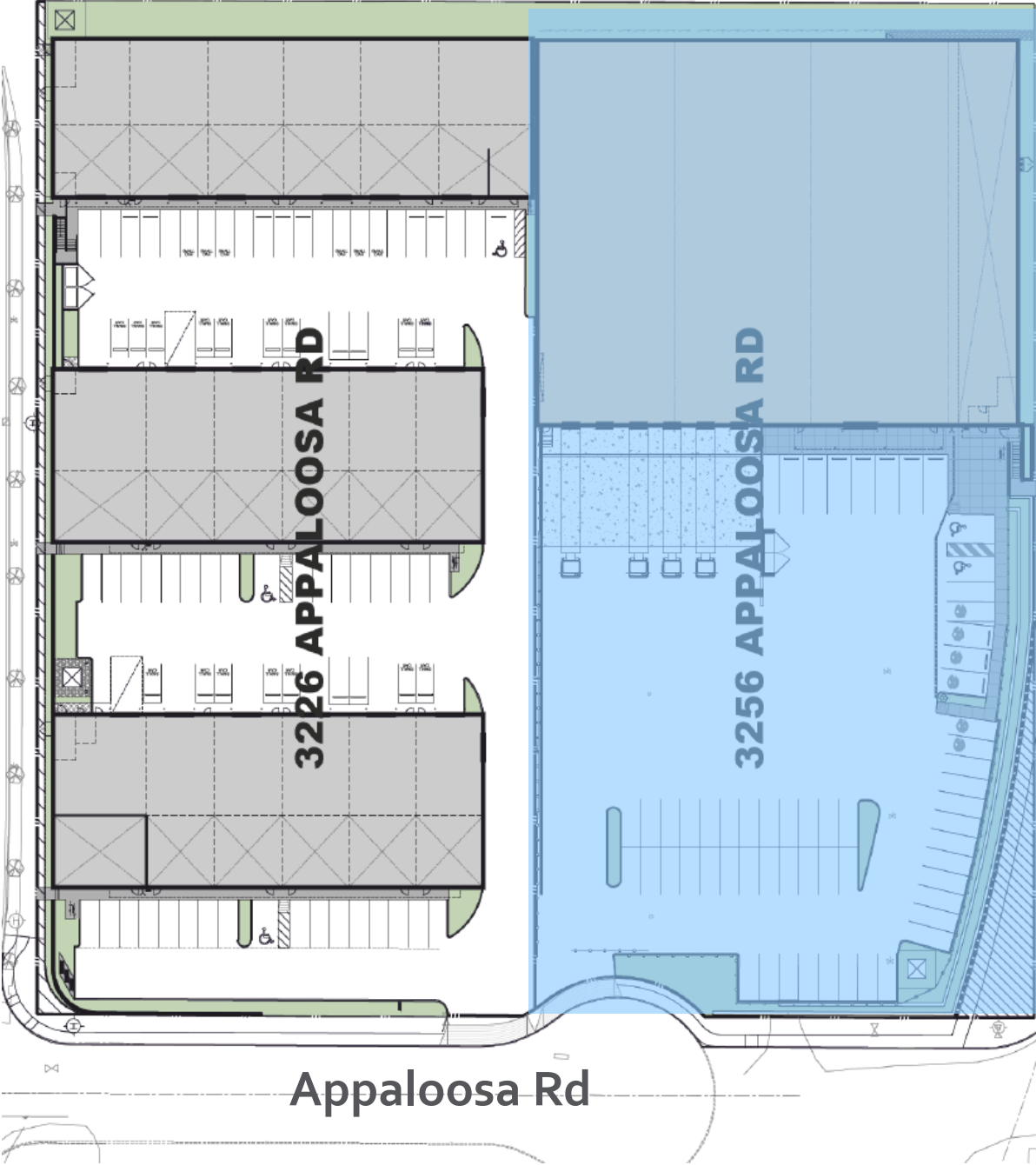
# Subject Property Map





# Site Plan

Academy Way



Appaloosa Rd

Hollywood Rd N





# Technical Details

- ▶ Development Permit for a new industrial building
  - ▶ Single occupant – one unit
  - ▶ 58 parking stalls
    - ▶ 6 level-2 electric vehicle charging stations
  - ▶ Single storey - 9.6m in height
  - ▶ 25 trees

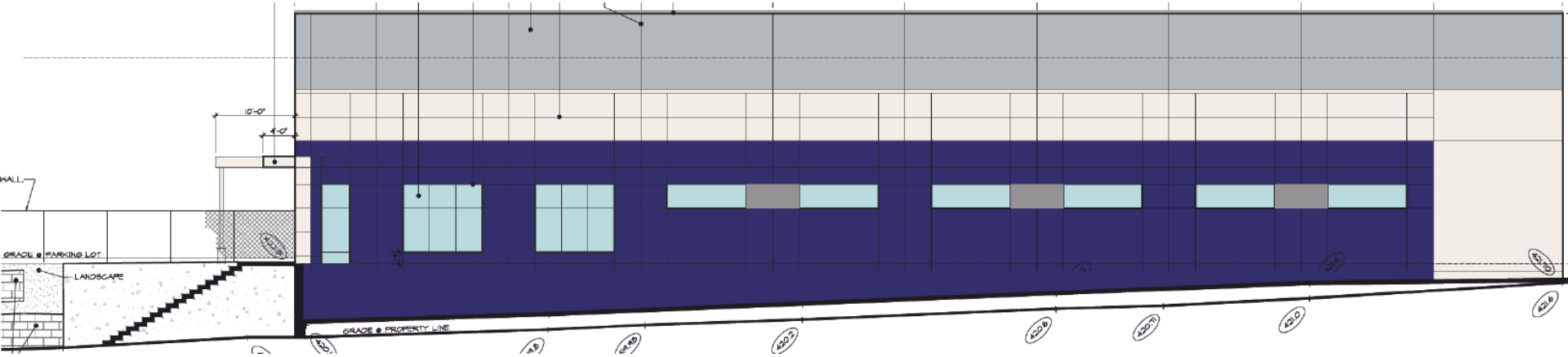




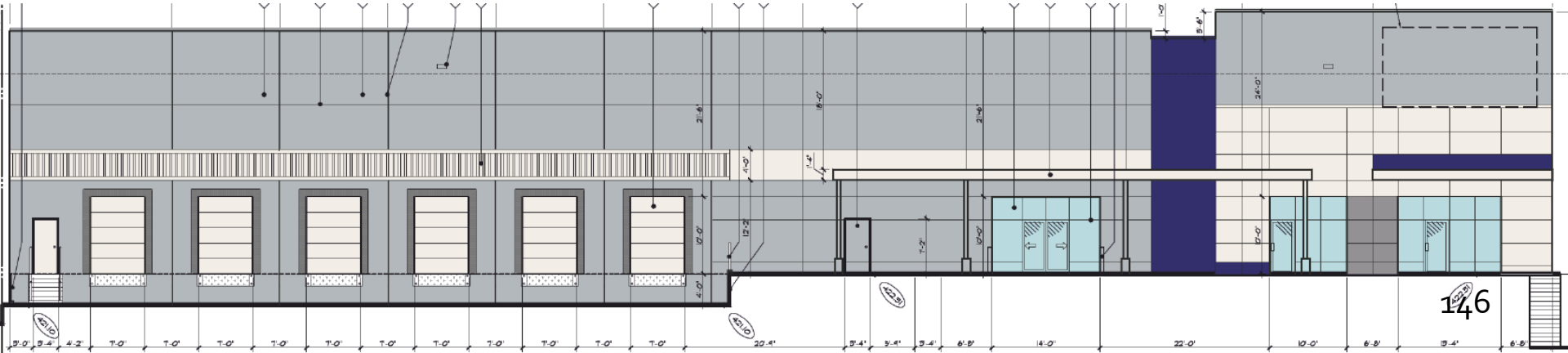


# Elevations

## East - Fronting Hollywood Rd N



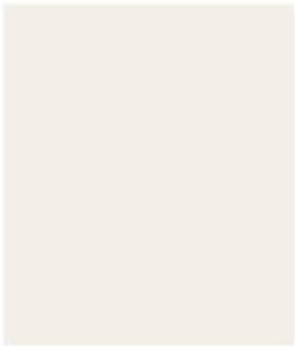
## South - Fronting Appaloosa Rd





# Materials

MAIN FIELD COLOUR  
ARCADE WHITE (SW 7100)



ACCENT COLOUR  
COLOUR MATCH TO  
PANTONE PMS 280 C



ACCENT COLOUR  
MORNING FOG (SW 6255)



ACCENT COLOUR  
MOONLIT ORCHID (SW 9153)



TYPICAL METAL CAP FLASHING  
WESTFORM METALS  
WHITE WHITE



TYPICAL GLASS:  
CLEAR



TYPICAL SPANDREL GLASS:  
LIGHT GREY REFLECTIVE



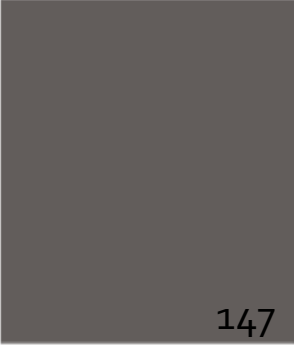
ALUMINUM STOREFRONT MULLIONS  
CLEAR ANODIZED ALUMINUM



ROOFING MATERIAL  
GRAVEL BALLAST

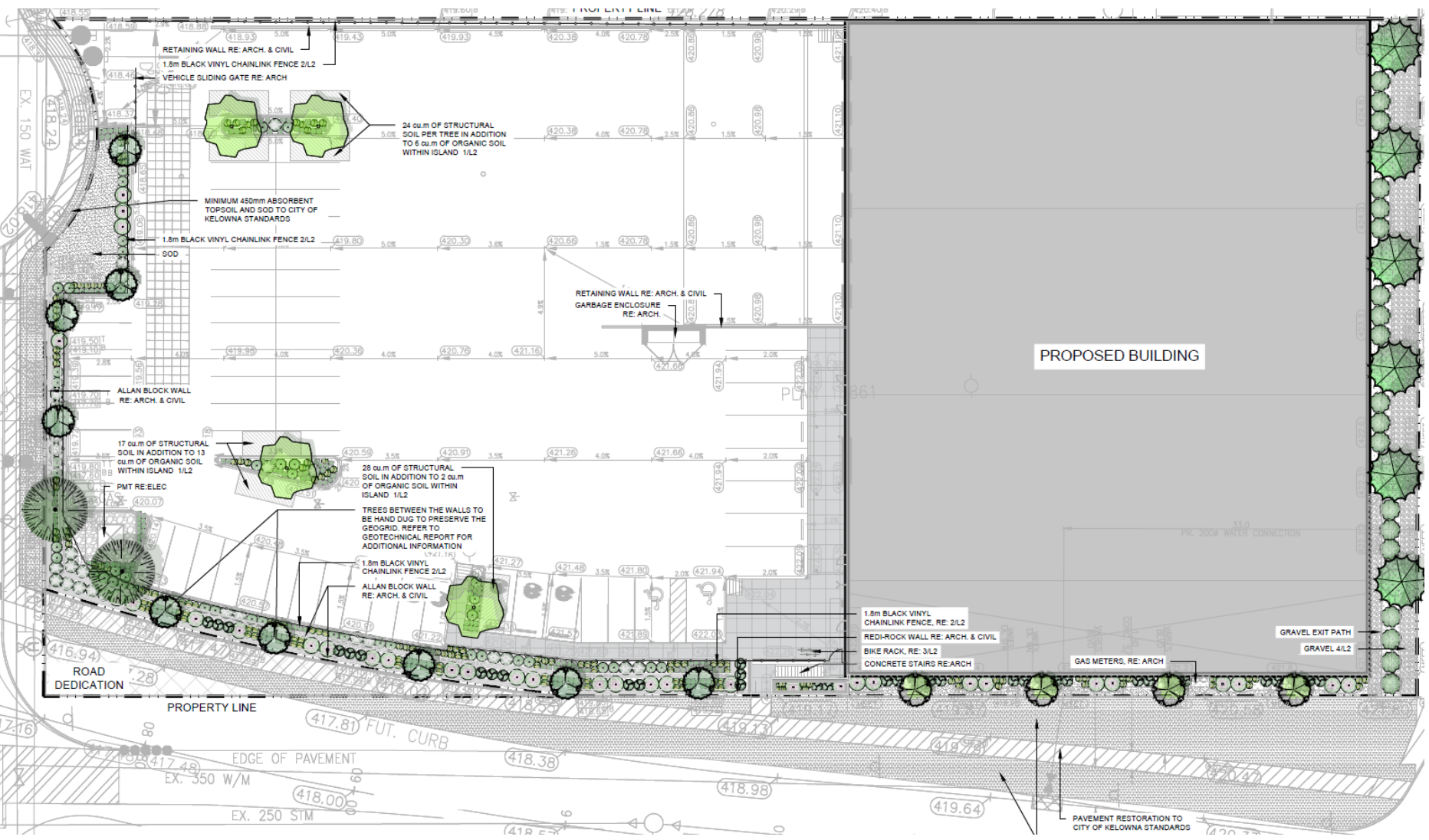
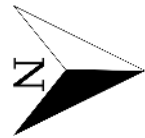


METAL CAP FLASHING @ C2 PANELS  
WESTFORM METALS  
CHARCOAL GREY





# Landscape Plan



Hollywood Rd N



# Rendering – Southeast





# OCP Design Guidelines

- ▶ Articulating the façade facing the road through a variation of colour, plantings, and glazing;
- ▶ Provide direct and clearly defined pedestrian access from public sidewalks, parking areas, and transit stops to building entrances;
- ▶ Where parking areas are visible from the street, screen them with tree planting, berming, low walls, decorative fencing and/or hedging.



# Staff Recommendation

- ▶ Staff recommend **support** for the proposed development permit as it:
  - ▶ Meets OCP Design Guidelines
    - ▶ Material, glazing, landscaping
    - ▶ On and off-site pedestrian connectivity
  - ▶ Provides industrial development in The Gateway District
  - ▶ Provides 6 level-2 EV charge stations



**CITY OF KELOWNA**  
**BYLAW NO. 12594**  
**TA23-0010 – Content Changes**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT **Section 3 – Enforcement, Section 3.3 – Prohibitions, Section 3.3.7** be deleted in its entirety and replaced with Section 3.3.7 outlined in **Schedule A** as attached to and forming part of this bylaw;
2. AND THAT **Section 5 – Definitions & Interpretations, Section 5.3 – General Definitions, DWELLING** be amended by deleting "One **wet bar** is permitted within a dwelling." and replacing it with "Wet bars are permitted.";
3. AND THAT **Section 5 – Definitions & Interpretations, Section 5.3 – General Definitions, FLEET SERVICES** be amended as follows:
  - a) Adding "(three or more)" after "using a fleet of vehicles", and
  - b) Deleting "This does not include moving or cartage firms involving trucks with a gross vehicle weight of more than 3,000 kilograms.";
4. AND THAT **Section 5 – Definitions & Interpretations, Section 5.3 – General Definitions, MOORAGE, TEMPORARY** be amended by deleting "of less than 24 hours." and replacing it with the following:

"while directly engaging in the active recreational use of the boat or other vessel, for a period not exceeding 48 hours.";
5. AND THAT **Section 5 – Definitions & Interpretations, Section 5.3 – General Definitions, SUPPORTIVE HOUSING** be amended by adding the following after "townhouse building form.":

"Supportive Housing can occur within a Single Detached Housing, Duplex Housing, or Semi-Detached Housing provided there are no more than 12 persons who are in care and that the housing is operated by a provincial agency. The layout of the home must remain a single housekeeping group and use a common kitchen.";



6. AND THAT **Section 5 – Definitions & Interpretations, Section 5.3 – General Definitions, TEMPORARY SHELTER SERVICES** be amended by adding the following before “Typical uses include”:

“This use includes an ancillary supportive housing use if the majority of the gross floor area is used for temporary shelter services.”;

7. AND THAT **Section 7 – Site Layout, Section 7.2 – Landscaping Standards, 7.2.5** be amended as follows:

Deleting the following:

“ where **Riparian Management Areas** are required along stream corridors in accordance with the **Official Community Plan**, the land and vegetation shall remain undisturbed. In the case of **Riparian Management Areas** along Okanagan Lake, land is to remain in its natural condition or be landscaped in a manner that either enhances conditions for **fish** and wildlife or maintains conditions equivalent to those that would have existed had no **development** occurred. **Retaining walls** along the Okanagan Lake waterfront are permitted under the terms of a development permit where required to protect lakefront property. All site layout and **landscaping** provisions must be consistent with the riparian requirements outlined in the **Official Community Plan.**”

And replacing it with:

“wherever Environmentally Sensitive Areas (as defined in the OCP) or Natural Hazard Areas (as defined in the OCP) are located, then the land and vegetation shall remain undisturbed or be restored (as described in the OCP). Riparian Management Areas (as defined by the OCP) must remain in its natural condition or be restored in a manner that either enhances conditions for fish and wildlife or maintains conditions equivalent to those that would have existed had no development occurred.”;

8. AND THAT **Section 7 – Site Layout, Section 7.2 – Landscaping Standards, 7.2.6** be amended as follows:

- a) Adding “and protection measures” after “concurrently with erosion control”, and
- b) Adding “, including vegetation” after “siltation of natural areas”;

9. AND THAT **Section 7 – Site Layout, Section 7.2 – Landscaping Standards, 7.2.9** be amended by deleting “native” after “Where the retention of”;

10. AND THAT **Section 7 – Site Layout, Section 7.2 – Landscaping Standards, 7.2.9** be amended as follows:



Deleting the following:

“registered professional landscape architect or registered professional forester”

And replacing it with:

“qualified professional, such as a certified arborist or Landscape Architect,”;

11. AND THAT **Section 8 – Parking and Loading, Section 8.2 – Parking Setbacks, 8.2.7** be amended by deleting “required” before “off-street parking space”;
12. AND THAT **Section 8 – Parking and Loading, Section 8.2 – Parking Setbacks, Table 8.2.7.b Ratio of Parking Space Sizes, FOOTNOTE 4** be amended by deleting the “.” after “abuts a doorway” and replacing it with “or when a surface parking space abuts a lane perpendicularly.”;
13. AND THAT **Section 8 – Parking and Loading, Section 8.3 – Required Off-Street Parking Requirements, Table 8.3.1 Residential Multi-Dwelling Parking, FOOTNOTE 4** be amended as follows:

Deleting the following:

“The parking rate identified above applies to MF1 lots with five dwelling units or more.”

And replacing it with:

“The parking rate for MF1 lots (identified above) applies to the fifth dwelling unit and any more dwelling units.”;

14. AND THAT **Section 8 – Parking and Loading, Section 8.4 – Off-Street Loading, Table 8.4 – Minimum Loading Requirement** be deleted in its entirety and replaced with Table 8.4 outlined in **Schedule B** as attached to and forming part of this bylaw;
15. AND THAT **Section 9 – Specific Use Regulations, Section 9.2 – Home Based Businesses, Section 9.2 – Home Based Business Regulations, Maximum Number of Clients / Visitors, Minor** be amended by deleting “on any given day” and replacing it with “at any given time.”;
16. AND THAT **Section 9 – Specific Use Regulations, Section 9.11 – Tall Building Regulations, Table 9.11 – Tall Building Regulations** be deleted in its entirety and replaced with Table 9.11 outlined in **Schedule C** as attached to and forming part of this bylaw;
17. AND THAT **Section 10 – Agriculture & Rural Zones, Section 10.5 – A1 Agricultural and Development Regulations, Non-Agricultural Accessory Buildings or Structures, Max Gross Floor Area** be amended by adding “per building” after “130 m<sup>2</sup>”;



18. AND THAT **Section 10 – Agriculture & Rural Zones, Section 10.6 – Development Regulations, Criteria** be amended by deleting “**Max. Building Footprint for Accessory Buildings or Structures**” and replacing it with “Max. Building Footprint per Accessory Building or Structure”;

19. AND THAT **Section 11 – Single and Two Dwelling Zones, Section 11.5 – Development Regulations** be amended by deleting “**Max. Building Footprint for Accessory Buildings / Structures**” and replacing it with “Max. Building Footprint per Accessory Building or Structure”;

20. AND THAT **Section 11 – Single and Two Dwelling Zones, Section 11.5 – Development Regulations, FOOTNOTE <sup>7</sup>** be amended as follows:

Deleting the following:

“the Suburban Residential S-RES”

And replacing it with:

“a S-RES - Suburban Residential or a S-MU – Suburban Multiple Unit”;

21. AND THAT **Section 13 – Multi- Dwelling Zones, Section 13.5 – Development Regulations, FOOTNOTE <sup>9</sup>** be amended as follows:

- a) Adding “A minimum of” before “4.0 m<sup>2</sup> per **dwelling unit**”, and
- b) Adding “Common amenity space is not required for fee simple townhouses.” after “required setback areas.”;

22. AND THAT **Section 13 – Multi- Dwelling Zones, Section 13.6 – Density and Height Development Regulations, Max Base Density, MF1** be amended as follows:

Deleting the following:

“0.8 FAR with lane  
0.6 FAR without a lane”

And replacing it with:

“0.8 FAR for double fronting lots and lots with a lane or  
0.6 FAR for lots without a lane”;



23. AND THAT **Section 13 – Multi- Dwelling Zones, Section 13.6 – Density and Height Development Regulations, FOOTNOTE <sup>14</sup>** be amended by adding the following before “The base height is”:

“If a parkade entrance / exit has a lower finished grade than the surrounding area then this portion of the parkade can be excluded from height calculations.”;

24. AND THAT **Section 14 – Core Area & Other Zones, Section 14.9 – Principal and Secondary Land Uses** be amended as follows:

- a) Inserting a row for “Single Detached Housing” under the “Secondary Suite” row,
- b) Adding “P” to the “Single Detached Housing” row under “UC1”, under “UC2”, under “UC3”, under “UC4”, and under “UC5”, and
- c) Adding “-” to the “Single Detached Housing” row under “C1”, under “C2”, under “CA1”, under “VC1”, under “I1”, under “I2”, under “I3”, under “I4”, under “P1”, under “P2”, under “P3”, under “P4”, under “P5”, under “HD1”, under “W1”, and under “W2”;

25. AND THAT **Section 14 – Core Area & Other Zones, Section 14.9 – Principal and Secondary Land Uses, Secondary Suite** be amended by deleting “-” under “UC1”, under “UC2”, under “UC3”, under “UC4”, and under “UC5” and replacing it with “S <sup>15</sup>”;

26. AND THAT **Section 14 – Core Area & Other Zones, Section 14.9 – Principal and Secondary Land Uses, Apartment Housing, Apartment Housing** be amended by deleting “-” under “P1” and under “P2” and replacing it with “S”;

27. AND THAT **Section 14 – Core Area & Other Zones, Section 14.9 – Principal and Secondary Land Uses** be amended by adding the following FOOTNOTE in its appropriate location:

<sup>15</sup> Secondary suites are only permitted within Single Detached Housing.”;

28. AND THAT **Section 14 – Core Area & Other Zones, Section 14.11 – Commercial and Urban Centre Zone Development Regulations, Min. Building Stepback from Front Yard and Flanking Side Yard** be amended by deleting “n/a” under “UC1”, under “UC2”, under “UC3”, under “UC4”, and under “UC5” and replacing it with “30.0 m <sup>14</sup>”;

29. AND THAT **Section 14 – Core Area & Other Zones, Section 14.11 – Commercial and Urban Centre Zone Development Regulations, Corner Lots** be amended by deleting the “.5” after “For any building greater than 18.0 m or 4”;

30. AND THAT **Section 14 – Core Area & Other Zones, Section 14.11 – Commercial and Urban Centre Zone Development Regulations, Urban Plazas** be amended by deleting “1 acre” and replacing it with “4,000 m<sup>2</sup>”;



31. AND THAT **Section 14 – Core Area & Other Zones, Section 14.11 – Commercial and Urban Centre Zone Development Regulations, FOOTNOTE <sup>11</sup>** be amended by adding “A minimum of” before “4.0 m<sup>2</sup> per dwelling unit”;

32. AND THAT **Section 14 – Core Area & Other Zones, Section 14.11 – Commercial and Urban Centre Zone Development Regulations, FOOTNOTE <sup>14</sup>** be amended as follows:

Deleting the following:

“Minimum building setbacks apply only to buildings five (5) storeys and taller.”

And replacing it with:

“Minimum building setbacks apply only to buildings that are at least five (5) storeys and not taller than 12 storeys.”;

33. AND THAT **Section 15 – Comprehensive Development Zones, Section 15.3 – CD17 – High Density Mixed Use Commercial, Section 15.3.5 – CD17 Development Regulations, FOOTNOTE <sup>3</sup>** be amended by adding “A minimum of” before “4.0 m<sup>2</sup> per dwelling unit”;

34. AND THAT **Section 15 – Comprehensive Development Zones, Section 15.4 – CD18 – McKinley Beach Resort, Section 15.4.5 – CD18 Development Regulations** be amended by adding the following FOOTNOTE in its appropriate location:

“<sup>6</sup>A minimum of 4.0 m<sup>2</sup> per dwelling unit of the Common and Private Amenity Space shall be configured as common area that is accessible to all residents and must not be located within the required setback areas.”;

35. AND FURTHER THAT **Section 13 – Multi-Dwelling Zones, Section 13.2 – Sub-Zone Purposes, Sub-Zone** be amended as follows:

- a) Deleting “with” after “MF1r – Infill Housing”,
- b) Deleting “with” after “MF2r – Townhouse Housing”, and
- c) Deleting “with” after “MF3r – Apartment Housing”;

36. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 6<sup>th</sup> day of November 2023.

Considered at a Public Hearing on the 28<sup>th</sup> day of November, 2023.



Read a second and third time by the Municipal Council this 28<sup>th</sup> day of November, 2023.

Approved under the Transportation Act this 30<sup>th</sup> day of November, 2023.

Audrie Henry  
\_\_\_\_\_  
(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk



## Schedule A

3.3.7 No owner, lessee, tenant, or person shall:

- (a) park or store a commercial vehicle or a recreational vehicle in excess of 5,500 kilograms. licensed gross vehicle weight on a lot in a residential zone;
- (b) permit a motor vehicle in a state of disrepair or derelict for more than 30 days on a lot in a residential zone;
- (c) park or store more than two commercial vehicles on a lot in a single & two dwelling zone.
- (d) park or store more than two recreational vehicles outdoors on a lot in a rural residential zone, single & two dwelling zone, or in an agricultural zone;
- (e) place or install a flammable / combustible liquid storage container exceeding 205 litres on a lot in a residential zone;
- (f) fail to deflect lighting away from adjacent property as required by Section 6;
- (g) conduct a use in a zone where the use is not listed as a principal or secondary use in the zone;
- (h) permit occupancy of and / or to occupy a secondary dwelling unit which is not a permitted principal or secondary use in the zone; and
- (i) place or store construction materials on a lot in a residential zone without an active building permit on the lot unless the construction material is limited in scale and is used for personal use.



## Schedule B

**Table 8.4 – Minimum Loading Requirement**

GFA = gross floor area  
m<sup>2</sup> = square metres

Type of <a href="#">Development (Use)</a>	Required <a href="#">Loading Spaces</a>
<a href="#">Commercial Uses</a>	1 per 1,900 m <sup>2</sup> <a href="#">GFA</a>
<a href="#">Hotels / Motels</a>	1 per 2,800 m <sup>2</sup> <a href="#">GFA</a>
Industrial Uses	1 per 1,900 m <sup>2</sup> <a href="#">GFA</a>
Institutional Uses	1 per 2,800 m <sup>2</sup> <a href="#">GFA</a>



## Schedule C

<b>Table 9.11 – Tall Building Regulations</b>	
m = metres / m <sup>2</sup> = square metres	
Criteria	Regulation ( <b>GFA</b> = <b>Gross Floor Area</b> )
Minimum amount of transparent glazing on first floor <b>frontage</b> façade	75% for commercial <b>frontage</b> n/a for residential <b>frontage</b>
Minimum depth of any commercial unit fronting a street	6 m
Minimum setback for each <b>corner lot</b> applied only to the first <b>storey</b>	There shall be a triangular setback 4.5 m long abutting along the <b>lot lines</b> that meet at each corner of an intersection. Within the volumetric 4.5 m triangular setback there shall be no buildings or structural columns are permitted. <b>See visual example figure 9.11.1.</b>
<b>Podium</b> height (maximum)	16 m
<b>Podium</b> rooftop	The rooftop of the podium shall not be used for parking and there shall be no <b>parking spaces</b> within the parkade that do not have an overhead roof for weather protection.
Parking Restriction	No parking is permitted above 16 metres from finished grade.
Minimum <b>tower</b> separation from another <b>tower</b> measured from exterior face of the <b>tower</b> .	30 m
Maximum floor plate above the sixth storey. <sup>.1</sup>	<ul style="list-style-type: none"> <li>a) 750 m<sup>2</sup> <b>GFA</b> for residential use</li> <li>b) 850 m<sup>2</sup> <b>GFA</b> for <b>hotel</b> use</li> <li>c) 930 m<sup>2</sup> <b>GFA</b> for <b>office</b> and/or <b>commercial uses</b></li> </ul>
Minimum <b>stepback</b> above <b>podium</b> (including balconies)	3 m
Barrier free accessibility	Every <b>building</b> shall have front entrance at <b>finished grade</b> on the front and/or flanking street. The main residential entrance and exit shall and all commercial spaces shall provide barrier free accessibility to the nearest sidewalk.
<b>FOOTNOTES (Table 9.11.):</b>	
<sup>.1</sup> The floorplate is the <b>gross floor area</b> per floor of interior space and excludes all exterior spaces such as <b>decks, patios, balconies</b> , etc.)	



# CITY OF KELOWNA

## BYLAW NO. 12599

Z23-0045

593 Mugford Road

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot B Section 26 Township 26 ODYD Plan EPP108428, located on Mugford Road, Kelowna, BC from the RU<sub>1</sub> – Large Lot Housing zone to the RU<sub>4</sub> – Duplex Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 4<sup>th</sup> day of December, 2023.

Approved under the Transportation Act this 6<sup>th</sup> day of December, 2023.

Audrie Henry

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



# Report to Council



**Date:** January 8, 2024  
**To:** Council  
**From:** City Manager  
**Subject:** 2023 Planning & Development Statistics  
**Department:** Planning, Climate Action and Development Services

---

**Recommendation:**

That Council receives, for information, the report from the Planning, Climate Action and Development Services department dated January 8, 2022, with information relating to Planning and Development Statistics for 2023.

**Purpose:**

To update Council on building and development Statistics for 2023.

**Background:**

To keep Council current with local development and construction trends, the Divisional Director of Planning, Climate Action, and Development Services will bring quarterly reports forward for Council’s information. As the structure of this report continues to develop, the goal is to improve the connection between Council’s consideration of development applications on a weekly basis and the larger picture of development and housing goals in the Official Community Plan (“OCP”).

**Discussion:**

**Planning and Building Application Intake Statistics – 2023**

Both construction and development application activity were stronger than forecasted in 2023 (construction above the five-year average and development applications above the 10 year average). Both the type and location of housing projects under construction are consistent with OCP goals of placing the bulk of new density in the City’s Core/Urban area in a multi-family format.

While building permit volumes were less than in 2022; the permits that did move forward were larger in scale which pushed the gross value of permits issued in Kelowna to a record high of \$1.7 Billion.



The trends for pre-cursor Planning applications were also positive. Despite measures to reduce the number of applications required to proceed with development (pre-zoning); planning application volume remained above the 10-year average.

In addition to stronger than expected development activity, significant changes to land use planning legislation in BC will impact the operations of many municipalities during 2024. Staff will bring forward more information about what those changes mean to Kelowna in January of 2024. Further, additional projects initiated by Housing Accelerator grant funding by structured to complement new provincial legislation and the City's Housing Policy direction.

**Considerations not applicable to this report:**

Legal/Statutory Authority:

Legal/Statutory Procedural Requirements:

Existing Policy:

Financial/Budgetary Considerations:

Consultation and Engagement:

Communications Comments:

**Submitted by:** Ryan Smith, Division Director, Planning, Climate Action and Development Services

**Approved for inclusion:** Doug Gilchrist, City Manager

Attachments: 1. PowerPoint





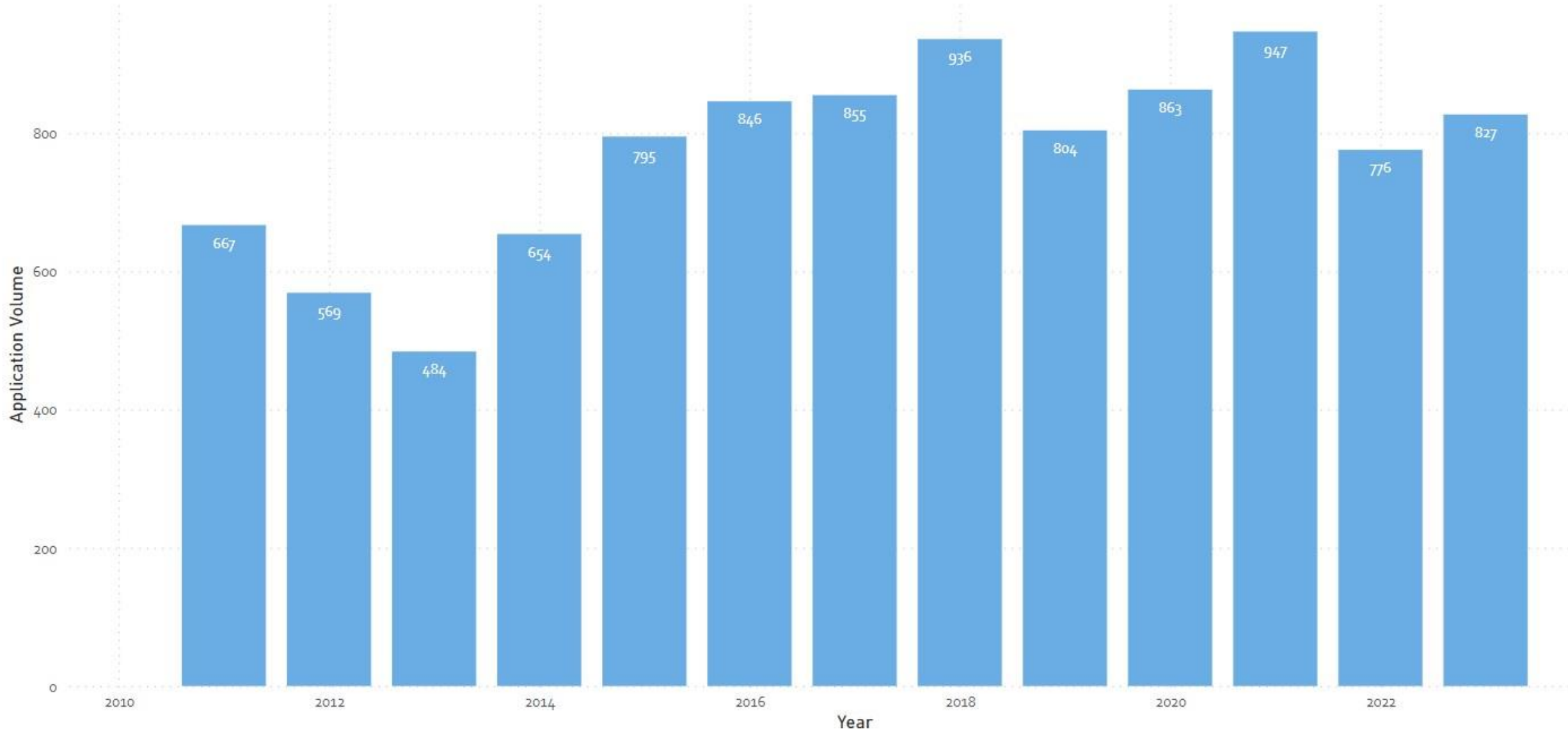
City of  
**Kelowna**

# 2023 Planning Development Statistics Annual Summary

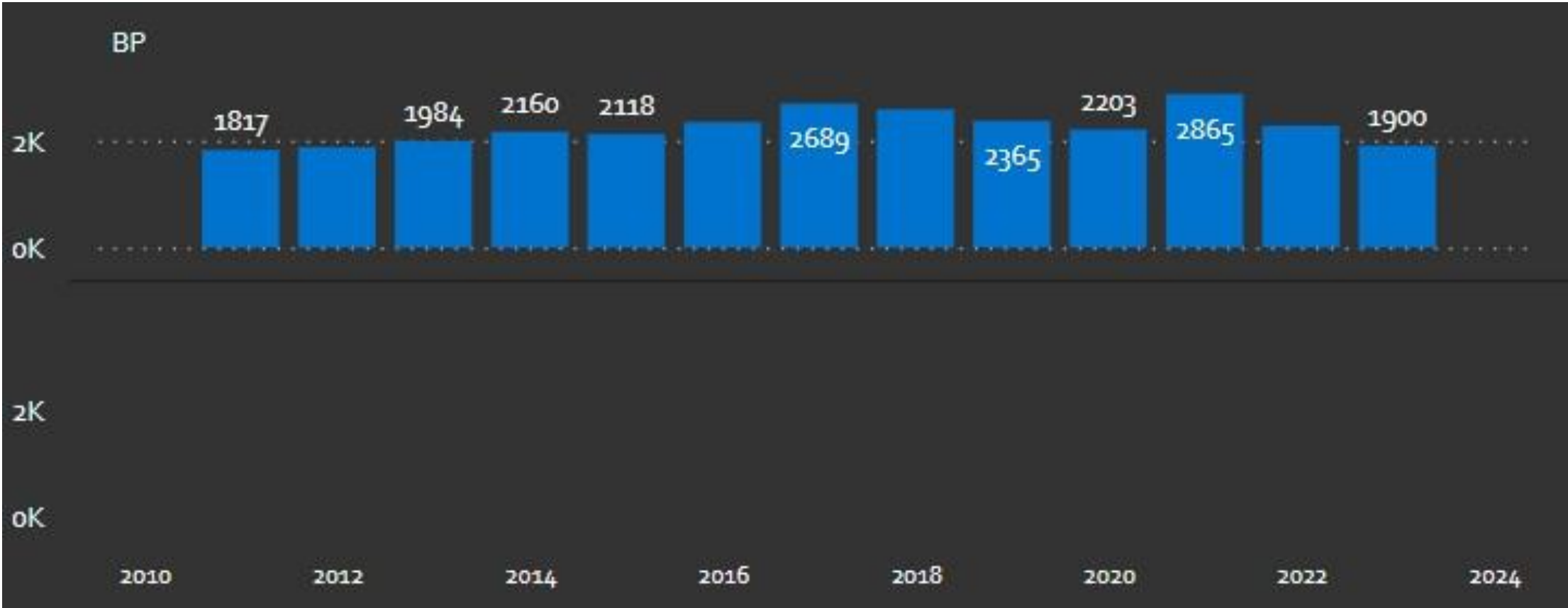
January 2024



### Historic Planning and Development Application Volumes









# Permit Dollar Value



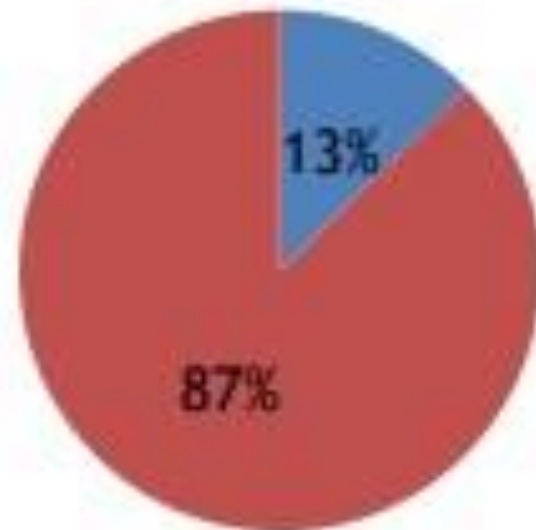


Type	This Years Permits	5 Year Avg	10 Year Avg	2011 (fewest units since 1989)
Single Detached	434	580	580	268
Semi-Detached	45	79	67	9
Secondary Suites	330	369	331	76
Row Housing	133	308	244	90
Mobile Home	4	4	4	4
Carriage House	19	26	26	0
Apartment Units	3299	1512	1104	0
<b>Total</b>	<b>3934</b>	<b>2509</b>	<b>2026</b>	<b>427</b>

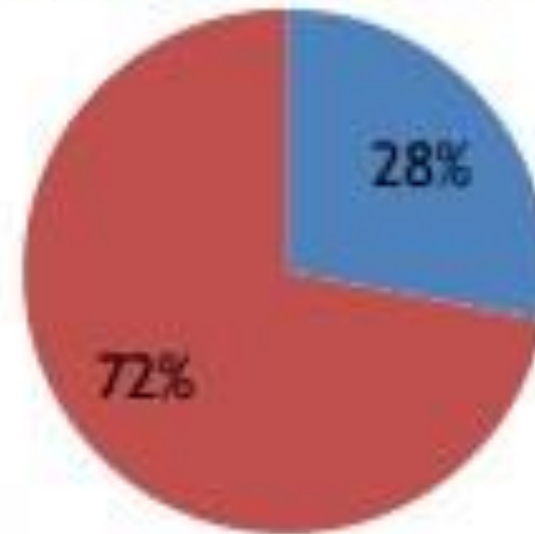


## SINGLE VS. MULTI SPLIT

Q3 YTD (2023)



Q3 YTD (5 Yr. Historical Avg)



MULTI INCLUDES  
APARTMENT AND  
ROW HOUSE UNITS

■ SINGLE FAMILY

■ MULTI-FAMILY



# Looking back..

- ▶ Business License Bylaw Update
- ▶ Zoning Bylaw Maintenance Updates
- ▶ Subdivision and Development Servicing Bylaw Updates
- ▶ EV charging regulations
- ▶ Established dedicated Climate and Environment department
- ▶ Implemented Delegated DVP process
- ▶ Development Application Fees Bylaw Update
- ▶ AI Chatbot introduction
- ▶ Housing Accelerator Fund Application success
- ▶ Housing Needs Assessment
- ▶ Added permitting process for construction noise, vibration, nuisance



# Looking forward to 2024...



- ▶ Small scale multi-unit growth up
- ▶ Few “large-scale” projects requiring moving to construction
- ▶ Wait and see year...BP value down
- ▶ Provincial and Federal programs and incentives may entice some development to move forward that was previously not feasible
- ▶ Government led/supported housing



# Looking forward...



(City of Kelowna)

REAL ESTATE NEWS

## Kelowna Lands \$31.5M Federal Housing Accelerator Fund Deal

The Housing Accelerator Fund money will go towards eliminating barriers to building housing, with the federal government commending the City of Kelowna for its Infill Options Project.

Office of the Premier



## More small-scale, multi-unit homes coming to B.C., zoning barriers removed

Updated Nov. 2, 2023

Translations

繁體中文

Français

ਪੰਜਾਬੀ

Share



News Release

Victoria

Wednesday, November 1, 2023 1:55 PM

New zoning rules will mean more housing options



StrongerBC  
for everyone





*Questions?*

For more information, visit [kelowna.ca](http://kelowna.ca).