

City of Kelowna
Regular Council Meeting
AGENDA



Monday, October 16, 2023
1:30 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

This Meeting is open to the public and all representations to Council form part of the public record. A live audio-video feed is being broadcast and recorded on kelowna.ca.

2. Confirmation of Minutes

4 - 11

PM Meeting - September 25, 2023

3. Development Application Reports & Related Bylaws

3.1 Ellis St 1175-1177 - HRA22-0001 (BL12588) - Kelowna Train Station Inc., Inc.No. BC0847922

12 - 129

To enter into a Heritage Revitalization Agreement for the subject property.

3.2 Ellis St 1175-1155 - BL12588 (HRA22-0001) - Kelowna Train Station Inc., Inc.No. BC0847922

130 - 138

To give Bylaw No. 12588 first reading.

3.3 Taylor Cr 2435 - Z23-0034 (BL12583) - 10088 Investments Ltd., Inc.No. A0127481

139 - 156

To rezone the subject property from the RU1 – Large Lot Housing zone to the RU4 – Duplex Housing zone to facilitate two dwelling housing.

3.4 Rezoning Bylaws Supplemental Report to Council

157 - 158

To receive a summary of notice of first reading for Rezoning Bylaw No. 12572 and to give the bylaw further reading consideration.

3.5	Bernard Ave 1181-1191 - BL12572 (Z22-0070) - SKJJ Bernard Land Holdings Ltd., Inc.No. BC1242190	159 - 159
	To give Bylaw No. 12572 first, second and third reading in order to rezone the subject property from the MF2 – Townhouse Housing zone to the MF3 – Apartment Housing zone.	
4.	Bylaws for Adoption (Development Related)	
4.1	Lakeshore Rd 4371 - BL12469 (Z22-0062) - Yong Zhang	160 - 160
	To adopt Bylaw No. 12469 in order to rezone the subject property from the RU1 – Large Lot Housing zone to the RU4 – Duplex Housing zone.	
4.2	Graham Rd 1385 - BL12485 (Z22-0074) - Gurmit Singh Mann	161 - 161
	To adopt Bylaw No. 12485 in order to rezone the subject property from the RU1 – Large Lot Housing zone to the RU4 – Duplex Housing zone.	
4.3	Amendments to Secondary Residences in the ALR - BL12560 (TA23-0006) - City of Kelowna	162 - 163
	To adopt Bylaw No. 12560 in order to change regulations for secondary residences within the Agricultural Land Reserve.	
5.	Non-Development Reports & Related Bylaws	
5.1	Sufficiency Report - Recreation and Activity Centres Loan Authorization Bylaw	164 - 167
	To receive the Sufficiency Report for the Recreation and Activity Centres Project and to advance the accompanying loan authorization bylaw for adoption consideration.	
5.2	BL12540 - Recreation and Activity Centres Loan Authorization Bylaw	168 - 169
	To adopt Bylaw No. 12540.	
5.3	Progress Report on Council Priorities 2023 - 2026	170 - 200
	To update Council on the progress of 22 Council priority actions identified in the 2023 – 2026 Council priorities document.	
5.4	2023 Growing Communities Fund Grant and Council Strategic Initiatives Funds Allocation	201 - 211
	To amend the 2023 Financial Plan to include \$13,654,300 of Council Priority Projects funded from the Growing Communities Fund grant funds and Council Strategic Initiatives funds.	

5.5	Downtown Kelowna Business Improvement Area 2024 -2028 Bylaw	212 - 214
	To submit the Certificate of Sufficiency for the Downtown Kelowna Business Improvement Area and to advance Bylaw No. 12575 for adoption.	
5.6	BL12575 - Downtown Kelowna Business Improvement Area 2024 -2028 Bylaw	215 - 233
	To adopt Bylaw No. 12575 for the renewal of the Downtown Kelowna Business Improvement Area 2024 - 2028.	
6.	Resolutions	
6.1	Draft Resolution - Council Climate Crisis Declaration	234 - 234
7.	Bylaws for Adoption (Non-Development Related)	
7.1	BL12579 - 2024 Permissive Tax Exemption Bylaw	235 - 249
	To adopt Bylaw No. 12579.	
8.	Mayor and Councillor Items	
9.	Termination	



City of Kelowna Regular Council Meeting Minutes

Date:	Monday, September 25, 2023
Location:	Council Chamber City Hall, 1435 Water Street
Members Present	Mayor Tom Dyas, Councillors Maxine DeHart, Gord Lovegrove, Mohini Singh, Luke Stack, Rick Webber and Loyal Wooldridge
Members Participating Remotely	Councillors Ron Cannan and Charlie Hodge
Staff Present	Acting City Manager, Mac Logan; Deputy City Clerk, Laura Bentley; Policy and Planning Department Manager, Danielle Noble-Brandt*; Community Planning & Development Manager, Dean Strachan*; Climate Action & Environment Manager, Chris Ray*; Community Energy Specialist, Todd Brunner*; Planner Specialist, Adam Cseke*; Infill Housing Planning Manager, James Moore*; Transit & Programs Manager, Mike Kittmer*; Strategic Transportation Planning Manager, Mariah VanZerr*; Transportation Planner, Jennifer Hostland*; Utility Services Manager, Kevin Van Vliet*; Design Technician, Jim Hagar*; Revenue Supervisor, Patrick Gramiak*; Legislative Technician, Natasha Beauchamp
Staff Participating Remotely	Legislative Coordinator (Confidential), Arlene McClelland
Guests	Dan Walsh*, Holar Developments; Joost Bakker*, Dialog Design, Peter Joyce*, Bunt & Associates Engineering; Mary Lapointe*, Communication Consultant; Nancy Hill*, Municipal Infrastructure Engineer, AECOM
Guests Participating Remotely	Anna Gore* and Sydney Cape*, Alta Planning + Design

(* Denotes partial attendance)

1. Call to Order

Mayor Dyas called the meeting to order at 1:32 p.m.

I would like to acknowledge that we are gathered today on the traditional, ancestral, unceded territory of the syilx/Okanagan people.

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2. Confirmation of Minutes

Moved By Councillor Wooldridge/Seconded By Councillor Lovegrove

THAT the Minutes of the Regular Meetings of September 11, 2023 be confirmed as circulated.

Carried

3. Development Application Reports & Related Bylaws

3.1 Supplemental Report - Rose Rd 3455 - FH23-0001 - Nirmal Singh Dhaliwal and Rimplejeet Kaur Dhaliwal

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor Wooldridge

THAT Council authorizes the issuance of Temporary Farm Worker Housing Permit No. FH23-0001 for Lot 4 Section 10 Township 26 ODYD Plan 355 located at 3455 Rose Road, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. A vegetated buffer is provided for screening adjacent property lines and between the temporary farm worker housing and active farming areas in accordance with Schedule B;
3. The applicant be required to post the City a Landscape Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscape buffer, as determined by a professional landscaper;
4. Registration of a Section 219 restrictive covenant on the Title that states;
 - a. The dwellings will be used for temporary farm workers only;
 - b. The owner will remove the dwellings if the farm operation changes such that if they are no longer required;
 - c. The dwellings will only be used for farm workers for a maximum of ten (10) months of the year;
 - d. The maximum number of accommodations permitted on this farm unit within this City sector is 60 workers; and,
 - e. The temporary farm worker housing building footprint is a maximum of 0.3ha.

AND THAT this Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

3.2 Amendments Regarding Electric Vehicle Readiness Requirements - TA23-0009 (BL12582) - City of Kelowna

Staff:

- Displayed a PowerPoint Presentation summarizing the bylaw amendments and responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor Wooldridge

THAT Zoning Bylaw Text Amendment Application No. TA23-0009 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing Section 8 – Parking and Loading as identified in Schedule "A" and outlined in the Report from Development Planning and Climate Action and Environmental Stewardship Departments dated September 25th, 2023, be considered by Council;

AND THAT the Zoning Bylaw Text Amending Bylaw be forwarded to a Public Hearing for further consideration;

AND FURTHER THAT final adoption of the Zoning Bylaw Text Amending Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure.

Carried

Mayor Dyas – Opposed

3.3 BL12582 – TA23-0009 Electric Vehicle Readiness Requirements – City of Kelowna

Moved By Councillor Webber/Seconded By Councillor Wooldridge

THAT Bylaw No. 12582 be read a first time.

Carried

Mayor Dyas - Opposed

3.4 Bernard Ave 1181-1191 - Z22-0070 - BL12572 - SKJJ Bernard Land Holdings Ltd., Inc. No. BC1242190

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Lovegrove/Seconded By Councillor Singh

THAT Rezoning Application No. Z22-0070 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot 1 District Lot 137 ODYD Plan 16997, located at 1181-1191 Bernard Ave, Kelowna, BC from the MF2 – Townhouse Housing zone to the MF3 – Apartment Housing zone, be considered by Council;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Attachment "A" attached to the Report from the Development Planning Department dated September 25, 2023;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the approval of the Ministry of Transportation and Infrastructure;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit for the subject property.

Carried

3.5 Rezoning Bylaws Supplemental Report to Council

Deputy City Clerk:

- Commented on the notice of first reading and advised no correspondence was received.

3.6 Wallace Rd 122 - BL12581 (Z23-0044) - Dhanbir Singh Nain and Gurdeep Kaur Patara

Moved By Councillor Wooldridge/Seconded By Councillor Webber

THAT Bylaw No. 12581 be read a first, second and third time.

Carried

3.7 Sutherland Ave 1280, DP23-0084 - Collinson Rise Development Inc.

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Wooldridge/Seconded By Councillor Lovegrove

THAT Council authorizes the issuance of Development Permit No. DP23-0084 for Lot A District Lot 137 Osoyoos Division Yale District Plan EPP129507, located at 1280 Sutherland Ave, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND THAT the applicant be required to make a payment into Housing Opportunities Reserve Fund as established by Bylaw No. 8593 in accordance with Table 6.8.b. in Zoning Bylaw No. 12375; prior to the issuance of any building permits;

AND THAT the applicant be required to enter into a Car-Share Agreement for a minimum of two years from the date of Building Occupancy as set out in Attachment D attached to the Report from the Development Planning Department September 25, 2023;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

Councillor Cannan - Opposed

4. Bylaws for Adoption (Development Related)

4.1 Holland Rd 3010 - BL12554 (Z23-0006) - Fryer Holdings Inc. and Lipkovits Holdings Ltd.

Moved By Councillor Webber/Seconded By Councillor Wooldridge

THAT Bylaw No. 12554 be adopted.

Carried

4.2 Mayfair Rd 870-872 - BL12569 (Z23-0032) - Brian Banman and Megan Banman

Moved By Councillor Wooldridge/Seconded By Councillor DeHart

THAT Bylaw No. 12569 be adopted.

Carried

4.3 Horak Rd 4519 - BL12570 (Z23-0030) - 2457853 Alberta Ltd.

Moved By Councillor Lovegrove/Seconded By Councillor Singh

THAT Bylaw No. 12570 be adopted.

Carried

4.4 Holbrook Rd E 350 - BL12576 (Z23-0028) - Mariia Myts and Pavlo Myts

Moved By Councillor Hodge/Seconded By Councillor Wooldridge

THAT Bylaw No. 12576 be adopted.

Carried

The meeting adjourned at 2:44 p.m.

The meeting reconvened at 2:53 p.m.

5. Non-Development Reports & Related Bylaws

5.1 Mill Site Area Redevelopment Plan - Concept Plans

Staff:

- Introduced the presentation and commented on the progress of the Mill Site Area Redevelopment Plan and next steps along with the North End Plan.
- Introduced the Mill Site Area Redevelopment Applicant team who will share concept plans for the site.

Dan Walsh, Holar Developments, Joost Bakker DIALOG Design

- Provided background and experience with master plans on major sites and the intent for this site.
- Displayed a PowerPoint Presentation.
- Spoke to the transition of this large industrial site to a four-season inclusive community.
- Provided an outline of the project process, timelines and engagement to date.
- Presented each of the three concepts for the Mill Site.
- Commented on next steps for community engagement and ongoing feedback.
- Responded to questions from Council.

Peter Joyce, Bunt & Associates Engineering and Mary Lapointe, Communication Consultant

- Responded to questions from Council.

Staff:

- Responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor Lovegrove

THAT Council receives, for information, the report from the Policy & Planning Department dated September 25, 2023, with respect to concept plans for the Mill Site Area Redevelopment Plan.

Carried
Councillor Wooldridge - Opposed

5.2 Transit Expansion Initiatives – 3 Year Outlook

Staff:

- Displayed a PowerPoint Presentation.
- Outlined the 3-year transit expansion initiatives.
- Summarized the 1-year Memorandum of Understanding and responded to questions from Council.

Moved By Councillor Lovegrove/Seconded By Councillor Stack

THAT Council receives for information, the report from Integrated Transportation dated September 25, 2023, with respect to the Transit Improvement Program 3-year expansion initiatives;

AND THAT Council approves the City entering into the Memorandum of Understanding with BC Transit attached to the report from Integrated Transportation, dated September 25, 2023, setting out the City's intention to proceed with the service expansions detailed in Year-1 (2024/25);

AND THAT the Mayor and City Clerk be authorized to execute the Memorandum of Understanding.

Carried

5.3 Employer Commute Trip Reduction Program

Staff:

- Displayed a PowerPoint Presentation introducing the Trip Reduction Program initiative.
- Introduced Alta Planning + Design Consultant team.
- Responded to questions from Council.

Anna Gore, Senior Programs Associate, Alta Planning + Design

- Continued sharing the PowerPoint Presentation remotely.
- Reviewed current and past Transportation Demand Management programs at the City as well as commute travel data and existing policy.
- Interviewed major employers and presented key take-aways.
- Presented 5 Program recommendations and highlighted the goal and rationale for each.
- Responded to questions from Council.

Moved By Councillor Lovegrove/Seconded By Councillor Hodge

THAT Council receives, for information, the report from Integrated Transportation dated September 25, 2023, with regards to a new program, the Kelowna Employer Commute Trip Reduction Program.

Carried

5.4 Stormwater Funding Business Case and Implementation Plan - Phase 1

Staff:

- Displayed a PowerPoint Presentation.
- Provided background on the water system and stormwater utility initiative.
- Introduced Consultant Nancy Hill from AECOM.
- Responded to questions from Council.

Nancy Hill, Municipal Infrastructure Engineer at AECOM

- Continued to share the PowerPoint Presentation identifying drivers for the new stormwater funding model.
- Presented stormwater funding options.

Moved By Councillor Lovegrove/Seconded By Councillor DeHart

THAT Council receives for information, the report from Utility Services dated September 25, 2023, regarding Stormwater Funding Business Case and Implementation Plan – Phase 1: Blueprint for a predictable future;

AND THAT, future public engagement on a potential stormwater utility be based on rate structure options 4 and 5 as presented in this report.

Carried

5.5 2024 Permissive Tax Exemption Bylaw

Staff:

- Displayed a PowerPoint Presentation outlining proposed amendments to the 2024 Permissive Tax Exemption Bylaw.

Moved By Councillor Wooldridge/Seconded By Councillor Stack

THAT Council receives, for information, the Report from the Revenue Supervisor dated September 25, 2023 with respect to the 2024 Permissive Tax Exemption Bylaw;

AND THAT Bylaw No. 12579, being the Permissive Tax Exemption Bylaw be forwarded for reading consideration.

Carried

5.6 BL12579 - 2024 Permissive Tax Exemption Bylaw

Moved By Councillor Singh/Seconded By Councillor Lovegrove

THAT Bylaw No. 12579 receive first, second and third reading.

Carried

6. Bylaws for Adoption (Non-Development Related)

6.1 BL12553 - Amendment No. 43 to Traffic Bylaw No. 8120

Moved By Councillor Lovegrove/Seconded By Councillor Singh

THAT Bylaw No. 12553 be adopted.

Carried

7. Mayor and Councillor Items

Councillor DeHart:

- Spoke to their attendance at UBCM and noted the benefits of the Conference.

Councillor Wooldridge:

- Spoke to their attendance at the UBCM Conference.
- Spoke to their attendance at the Vendemmia Grape Stomp.
- Acknowledged the Motionball Kelowna Annual Fundraiser for Special Olympic athletes.

Councillor Lovegrove:

- Acknowledged National Truth and Reconciliation Day and recognition through September.
- Spoke to their attendance at the UBCM Conference and the Okanagan Basin Water Board meeting with Minister Cullen.

Councillor Hodge:

- Commented on the value of the UBCM Conference.
- Encouraged family time over Thanksgiving.

Councillor Singh:

- Spoke to their attendance at the UBCM Conference.
- Acknowledged National Truth and Reconciliation Day and the Ki-Low-Na Friendship Society hosting a public event to raise awareness.

Councillor Webber:

- Provided greetings from the Kasugai Sister City Association; hosted delegation from Japan this summer.
- Spoke to their attendance at the Society for Learning and Retirement meeting.
- The Downtown Kelowna Association relayed the impacts on businesses due to the wildfires.

Councillor Cannan:

- Spoke to their attendance at the UBCM Conference.
- Commented on decriminalization of drugs and looked forward to the work to be done on the Mayor's Crime and Reduction Task Force.
- Expressed condolences to the family of the Ridge Meadows RCMP constable that was killed in the line of duty.

8. Termination

This meeting was declared terminated at 5:40 p.m.

Mayor Dyas

lb/acm



Deputy City Clerk

REPORT TO COUNCIL

HERITAGE REVITALIZATION AGREEMENT

Date: October 16, 2023
To: Council
From: City Manager
Address: 1175-1177 Ellis St.
File No: HRA22-0001
OCP Future Land Use: UC – Urban Centre
Zone: UC1 – Downtown Urban Centre



1.0 Recommendation

THAT Council consider Bylaw No. 12588 which would authorize the City of Kelowna to enter into a Heritage Revitalization Agreement for the property legally known as Lot A, District Lot 139, Osoyoos Division, Yale District, Plan KAP68238, located at 1175-1177 Ellis St, Kelowna, BC in the form attached as Schedule "A" to the Report from the Development Planning Department dated October 16, 2023;

AND THAT the Heritage Revitalization Agreement Authorization Bylaw No. 12588 be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Heritage Revitalization Agreement Authorization Bylaw be considered subsequent to the outstanding conditions of approval as set out in Attachment "D" attached to the Report from the Development Planning Department dated October 16, 2023.

AND FURTHER THAT final adoption of the Heritage Revitalization Agreement Authorization Bylaw be considered subsequent to the registration on the subject property of a Section 219 Tree Protection Covenant to ensure the ongoing preservation and protection of the Ginkgo Tree located on the subject property.

2.0 Purpose

To enter into a Heritage Revitalization Agreement for the subject property.

3.0 Development Planning

Staff support the proposed Heritage Revitalization Agreement (HRA) for the subject property. An HRA is a powerful and unique tool that is afforded to municipalities under the Local Government Act (LGA) to suit unique properties and situations. It is a voluntary, formal, and written agreement negotiated between the City and the owner of a heritage property regarding the property's land use regulations. The terms of the agreement will supersede the Zoning Bylaw and propose specific use, density, and siting regulations (e.g. landscaping and parking) for mutual benefit between the property owner and the City. In exchange for the supplemental provisions, the property owner agrees to steps that will protect and/or enhance a heritage register property.

The Official Community Plan (OCP) encourages use of HRAs to conserve and protect historic sites. The OCP further encourages the use of HRAs to provide greater flexibility for redevelopment proposals of historic buildings in the Downtown for projects that protect and conserve heritage value of buildings in a manner that is consistent with the National Standards and Guidelines for Historic Conservation. The applicant is

proposing the long-term maintenance and protection of the CN Station, the Heritage Garden and Plaza, along with the preservation and protection of an existing mature Gingko tree.

Additionally, the OCP supports large office developments in the Urban Centres with emphasis on Downtown as a preferred destination. It further promotes a sensitive transition between Urban Centres and adjacent industrial or service commercial uses to reduce the impacts of nuisances from those lands, such as offices, retail, and professional and personal services. The applicant is proposing a new 5-storey mixed use building with retail uses at the ground floor and office use located above. This building has an important role in the transition of height from the existing single-story buildings on the site to the nearby high-rise developments in the neighbourhood.

The land use and development regulations for the HRA were developed by Staff in collaboration with the applicant. The applicant engaged and closely collaborated with a Registered Heritage Consultant to create a site proposal and design that positively contributes to the continued growth and development of the site while preserving and enhancing the character and quality both of the site and its surrounding area.

4.0 Background

Constructed in 1926, the property is the site of the CN Train Station (heritage asset). The building is of high historic and architectural value. Historically, it represents the final stage in the transformation of Kelowna's economy from water-based to land-based access, connecting the City directly to the national rail system with the arrival of the CN Railway. Architecturally, it represents an example of the CN Railway Architectural Division's modest interwar station designs. The property is listed on the Kelowna Heritage Register, and in 2009, the heritage asset and the land received municipal heritage designation bylaw (BL10268), which will ensure long-term protection of the heritage asset and the heritage land. Prior to receiving the heritage designation, the CN Station building had already been identified by the Historic Sites and Monuments Board of Canada in the early 1990's as one of over 100 Heritage Railway Station across Canada, protected through the Federal Heritage Railway Stations Protection Act CN Station.

As part of the rehabilitation process of the heritage asset, in 2010, the property owner and the City entered into an HRA agreement (HRA10-0001 – "the original HRA"). The following was the development scope and agreement under the original HRA:

1. Rehabilitate, restore, and convert the heritage asset into a pub and restaurant (*completed in 2012*);
2. Construct a Heritage Railway Garden and Plaza at the corner of Ellis St and Clement Ave (*completed in 2012*); and,
3. Construct three new commercial buildings located along the northern and eastern perimeters of the property (*partially completed*).

Since 2010, only one of the proposed buildings was constructed – a single storey liquor store building (currently Metro Liquor). As the original HRA is over 12 years old, the originally proposed new constructions' form and character, land use provisions and the content of the agreement are deemed to be outdated. To address the gas ad deficiencies of the original agreement (HRA10-0001), staff recommend a new agreement (HRA22-0001) replaces it. As a note, since the heritage asset is protected by designation, the owner must obtain a Heritage Alteration Permit (HAP) to make any exterior alterations in the future to the existing buildings and/or the proposed new buildings. This is to acknowledge that some changes to the protected heritage site will be inevitable over time as heritage buildings must be maintained and upkeep.

5.0 Project Description

The subject property is bound by three streets - Ellis St to the west, Clement Ave to the south and St. Paul St to the east. A parking lot and an indoor sporting facility are located to the north. The property fronts on to a Mixed Street, as per the OCP's UC1 – Downtown Urban Centre Street Character map.

The applicant provided a letter of rational outlining how the proposed development integrates with the existing heritage asset and site. Under the new HRA agreement (HRA22-0001) the applicant proposes the following project objectives:

1. Conservation and maintenance of the existing heritage asset, the CN Station (Schedule A);
2. Conservation and maintenance of the existing heritage garden and plaza (Schedule A);
3. Preservation and protection of an existing mature Ginkgo tree (Schedule A);
4. Expansion of the existing liquor store building (Schedule B - Building A);
5. Development of a 5-storey mixed use building (Schedule B - Building B), and;
6. Development of a single-storey commercial building (Schedule C - Building C).

In exchange for the long-term maintenance and protection of the heritage asset, the heritage garden and plaza, as well the preservation and protection of the mature Ginkgo tree, the applicant is proposing an HRA, a formal written agreement with the City regarding the subject property's land use regulations and development of two new infill buildings (Building A and B) and an addition to Building A.

Building A - Existing Liquor Store

The applicant is proposing a 197 m² addition to Building A to expand the existing liquor store.

Building B – A 5-Storey Mixed Use Building

The project proposes a new 5-storey mixed use development with at-grade retail units and office on floors 2-5. The uppermost level is setback from the lower floors which helps to mitigate the mass of the building. Building B's western edge (Ellis St) has been setback from the curb to allow for a public sidewalk with planting and potential bistro seating for the ground floor commercial unit.

Building C – A Single-Storey Commercial Building

A proposed new single-storey commercial building, approximately 220 m², is located at the north-east corner of the subject property.

Both Buildings B and C are designed with their front doors facing towards the heritage asset and both flank the Ginkgo tree, as a result, the proposed site design supports pedestrian connectivity between buildings, the heritage garden and plaza, the Ginkgo tree courtyard as well as to the surrounding streets. As part of the new HRA, the applicant has agreed to preserve the mature Ginkgo tree through a tree preservation plan prior, during and post construction, as well to register a Section 219 Tree Protection Covenant to protect the tree for the long-term.

The applicant retained the services of and collaborated with a Registered Heritage Consultant to review and develop the form and character of the new buildings (Attachment B). The Consultant identified that the proposal meets several key Heritage Conservation Area Guidelines and is generally in keeping with the Standards and Guidelines for the Conservation of Historic Places in Canada.

According to the Consultant, Buildings A and C are compatible with the CN Station in height, scale and the use of stucco and brick cladding. Building B pays homage to the heritage asset through "a design emphasis

on the ground floor with references to the CN Station design and composition including a similar ground floor height, vertical brick columns, and southwest canopy cables that emulate the angle of the CN Station hip roof." Additionally, with their simpler exterior finishing, new buildings leave the "heritage asset as the central, most intricate feature on site." Finally, as the heritage garden and the Ginkgo tree also contribute to the heritage value of the site, "the developments' retention and highlighting of these two assets as focal points, and the development's overall pedestrian-focused approach, help to improve public engagement and animation of this important historic place."

In summary, Staff agree with the Heritage Consultant's professional opinion, that the proposal represents a "good model of conservation and evolution for a historic site. The protected building is not being altered in any way, and ample space is being left between it and the infill buildings. This proposed cohesive development of the site completes a revitalization intent initiated in 2010 and represents thoughtful, sensitive change at a high visibility intersection in Kelowna with high heritage value. The proposal as a whole respect and reflects the heritage values of the property, follows the national Standards for additions to historic places, and meets the objectives articulated in Kelowna's OCP Chapter 11 - Heritage."

Lot Area	Proposed (m ²)
Gross Site Area	5,220 m ²
Road Dedication	N/A
Undevelopable Area	N/A
Net Site Area	Approx 2,245 m ²

6.0 Site Context

Orientation	Zoning	Land Use
North	UC1 – Downtown Urban Centre	UC - Urban Centre
East	P1 – Major Institutional I2 – General Industrial UC1 – Downtown Urban Centre	EDINST - Education / Institutional IND – Industrial UC - Urban Centre
South	UC1 – Downtown Urban Centre	UC - Urban Centre
West	UC1 – Downtown Urban Centre	UC - Urban Centre

Subject Property Map: 1175-1177 Ellis St.



7.0 Current Development Policies

7.1 Kelowna Official Community Plan (OCP)

Objective 4.1 Strengthen the Urban Centre as Kelowna's primary hubs of activity.	
Policy 4.1.4 Office Development	<p>Direct large office developments to Urban Centres first, with emphasis on Downtown as a preferred destination. Within Urban Centres, encourage office development near the Frequent Transit Network, transit stations and exchanges or as guided by an Urban Centre Plan.</p> <p><i>Proposed new Building B is 5-stories with retail uses at the ground floor and office use located above.</i></p>
Objective 4.4 Reinforce Downtown as the Urban Centre with the greatest diversity and intensity of uses in the City.	
Policy 4.4.6 Downtown Heritage Revitalization Agreements	<p>Consider the use of Heritage Revitalization Agreements to provide greater flexibility for redevelopment proposals of historic buildings in the Downtown for projects that protect and conserve heritage value of buildings in a manner that is consistent with the National Standards and Guidelines for Historic Conservation, as amended.</p> <p><i>The long-term maintenance and protection of the CN Station (heritage asset), the Heritage Garden and Plaza, as well the preservation and protection of an existing mature Gingko tree.</i></p>
Objective 4.9 Transition sensitively to adjacent neighbourhoods and public spaces	
Policy 4.9.1 Transitioning to Industrial and Service Commercial Uses	<p>Provide transitions between Urban Centres and adjacent industrial or service commercial uses to reduce the impacts of nuisances from those lands and to protect them from speculation for residential and commercial development. Transition approaches may include, but are not limited to:</p> <ul style="list-style-type: none"> • Introducing transitional uses that reduce compatibility concerns, such as offices, and professional and personal services; • Strategically orienting residential and retail commercial uses on the site away from the adjacent industrial and service commercial uses; and • Transitioning to lower densities and heights towards the edge of Urban Centres. <p><i>Proposed new 5-storey building plays a role in the transition of height from the other single-story buildings on the site to the nearby high-rise developments in the neighbourhood.</i></p>

Objective 11.2 Identify, conserve and protect historic places	
Policy 11.2.5 Protection of Historic Places	<p>Prioritize the legal protection of historic places using the tools identified in the Local Government Act:</p> <ul style="list-style-type: none"> • Heritage Designation Bylaws; • Heritage Revitalization Agreements; and • Heritage Covenants <p><i>An HRA is a tool that is afforded to municipalities under the Local Government Act to suit unique properties and situations. Through an HRA the heritage asset, heritage garden and plaza, the mature Gingko tree and the future exterior alterations are protected for long-term.</i></p>

8.o Application Chronology

Application Accepted: October 21, 2022
Additional Reports Received January 10, 2023, February 24, 2023, and September 25, 2023
Neighbourhood Notification Received: August 11, 2023

Report prepared by: Barbara B. Crawford, Planner II
Reviewed by: Lydia Korolchuk, Acting Planning Supervisor
Reviewed by: Jocelyn Black, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Schedule A: Draft Heritage Revitalization Agreement
Schedule B: Rationale Letter and Architectural Drawing Set
Schedule C: Landscape Drawing Set and Cost Estimate Letter
Schedule D: Heritage Building (CN Station) Original Intent HRA10-0001
Schedule E: Heritage Garden Original Intent HRA10-0001
Attachment A: Heritage Building (CN Station) Assessment Report
Attachment B: Heritage Garden Assessment Report
Attachment C: Tree Preservation Plan
Attachment D: Development Engineering Memorandum
Attachment E: Heritage Consultant Review

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments

SCHEDULE "A"
HERITAGE REVITALIZATION AGREEMENT

THIS AGREEMENT dated as of the _____ day of _____, 2023

BETWEEN:

City of Kelowna, a Municipal Corporation having offices at 1435 Water Street, Kelowna, British Columbia V1Y 1J4

(herein called the "CITY")

OF THE FIRST PART

AND: Kelowna Train Station Inc., Inc. No. BCo847922 of
5711 1st Street SE
Calgary, Alberta
T2H 1H9

(herein called the "OWNER")

OF THE SECOND PART

WHEREAS a local government may, by bylaw, enter into a Heritage Revitalization Agreement ("Agreement") with the Owner of property identified as having heritage value, pursuant to Section 610 of the *Local Government Act*;

AND WHEREAS the Owner owns certain real property on which is situated a building of heritage value, known as the "Train Station Pub" a.k.a Heritage Building, pursuant to the City's Heritage Register, which property and building are located at 1175-1177 Ellis Street, Kelowna, BC and legally described as:

Parcel Identifier: 024-929-409
Lot A, District Lot 139, Osoyoos Division Yale District, Plan KAP68238

(herein called the "Subject Property")

AND WHEREAS the Owner has presented to the City a proposal for the use, development and preservation of the Subject Property and has voluntarily and without any requirement by the City, entered into this Agreement pursuant to Section 610 of the *Local Government Act*;

AND WHEREAS a local government must hold a Public Hearing on the matter before entering into, or amending, a Heritage Revitalization Agreement if the Agreement or amendment would permit a change to the use or density of use that is not otherwise authorized by the applicable zoning of the Subject Property and for these purposes Section 464 through 470 of the *Local Government Act* apply;

AND WHEREAS within thirty days after entering into, or amending, a Heritage Revitalization Agreement the local government must file a notice in the Land Title Office in accordance with Section 594 of the *Local Government Act* and give notice to the Minister responsible for the *Heritage Conservation Act* in accordance with Section 595 of the *Local Government Act*;

NOW THEREFORE in consideration of the mutual promises contained in this Agreement and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1.0 Heritage Revitalization Agreement

- 1.1 The parties agree that the Subject Property located at 1175-1177 Ellis Street have heritage value, deserving of protection and conservation.
- 1.2 The Owner specifically agrees to maintain, preserve, and protect the heritage character of buildings located on the Subject Property in accordance with Schedule B (Architectural Drawing Set) and Schedule C (Landscape Drawing Set).
- 1.3 All buildings (existing and proposed) as well as the existing Heritage Garden and Plaza located on the Subject Property, which are referenced within this Agreement, are illustrated in Schedule B - Site Plan, drawing A-101.
- 1.4 The parties agree that the Subject Property may, notwithstanding Zoning Bylaw No. 12375 including the provisions identified in the UC1 – Downtown Urban Centre zoning, be developed under the following regulations:

Table 1: HRA22-0001 regulations as per Zoning Bylaw No. 12375

HRA22-0001 Regulations			
CRITERIA		PARAMETER	
Permitted Uses			
<u>Building A</u>			
Principal Uses	Offices		
	Retail		
<u>Building B</u>			
Principal Uses	Offices		
	Retail		
<u>Building C</u>			
Principal Uses	Offices		
	Retail		
<u>Train Station Pub</u> – Existing Heritage Building			
Principal Uses	Liquor Primary		
	Retail		
Development Regulations (UC1)			
Permitted		Proposed	
Max Height = 6 storeys (22.0m)		Building A = 2 storeys (6.84 m) Building B = 5 storeys (21.0 m) Building C = 1 storey (6.6 m)	
Max FAR = 1.0		0.58	
Max Site Coverage of all Buildings = 100%		28.8%	
Parking Regulations (UC1)			
Permitted		Proposed	
Minimum: 0.9 spaces / 100m ² GFA		48 stalls	
Maximum: 3.0 spaces / 100m ² GFA			
	Min		Max
Building A	4.7		15.5
Building B	17.7		59.1
Building C	2.0		6.6
Existing Heritage Pub	3.2		10.7
<i>Total</i>	<i>27.6</i>	<i>91.9</i>	

- 1.5 All other permitted land uses under UC1 – Downtown Urban Centre zone as per Zoning Bylaw No. 12375 may be considered on the Subject Property, pending a change of land use review and analysis which prove out the development regulations associated with the additional land use(s). Any change to land use is pursuant to an amendment to this Agreement.
- 1.6 The parties agree that, except as varied or supplemented by the provisions of this Agreement, all bylaws and regulations of the City and all laws of any authority having jurisdiction shall apply to the property and commercial business.
- 1.7 Bylaw No. 12420 Development Cost Charges will not apply to the existing Heritage Building but will apply to new buildings, specifically Building B, Building C, and to the new addition (expansion) to Building A only, permitted through this Agreement.

2.0 Conservation and Maintenance of Existing Heritage Building (Train Station Pub)

- 2.1 The existing Heritage Building located on the Subject Property is illustrated on Schedule B - Site Plan, drawing A-101.
- 2.2 The Heritage Building was designated as a heritage site under a Heritage Designation (HD) bylaw (BL10268) in 2009.
- 2.3 As per HD bylaw BL10268, the Owner agrees not to alter the exterior through renovation, addition, and/or tenant improvement of the Heritage Building except pursuant to a Heritage Alteration Permit issued by the City.
- 2.4 The Owner shall maintain the Heritage Building to ensure the integrity and preservation of existing heritage elements as per the original intent (Schedule D) through regular maintenance and repair to prevent deterioration of the Heritage Building.
- 2.5 The Owner agrees to maintain and/or repair the exterior of the Heritage Building in accordance with the condition assessment report titled "Heritage Element and Structural Visual Assessment" prepared by RJC Engineering, dated December 23, 2022, attached hereto as Attachment A. The interior layout of the heritage buildings will be determined by the Owner, subject to BC Building Code requirements.
- 2.6 A historical plaque summarizing the heritage value of the Heritage Building and the works completed on the Subject Property shall be installed and maintained at the expense of the applicant, subject to approval by the City of Kelowna.

3.0 Conservation and Maintenance of Existing Heritage Garden and Plaza

- 3.1 The existing Heritage Garden and Plaza located on the Subject Property is illustrated on Schedule B – Site Plan, drawing A-101.
- 3.2 The Owner shall maintain the Heritage Garden and Plaza to ensure the integrity and preservation of existing heritage elements as per the original intent (Schedule E) through regular maintenance and repair to prevent deterioration of the Heritage Garden and Plaza.
- 3.3 The Owner agrees to maintain, replace and/or repair items in accordance with the Heritage Garden and Plaza assessment report titled "Railway Garden and Plaza Heritage Assessment" prepared by VDZ + A, dated February 2023, attached hereto as Attachment B.

4.0 Preservation and Protection of the Ginkgo Tree

- 4.1 An existing mature Ginkgo tree located on the Subject Property is illustrated on Schedule B – Site Plan, drawing A-101.
- 4.2 The Owner agrees to preserve and protect the mature Ginkgo tree prior to, during, and post development in accordance with the "Tree Preservation Plan" prepared by Bartlett Tree Experts, dated February 24, 2023, attached hereto as Attachment C.
- 4.3 The Owner agrees to register a Section 219 Tree Protection Covenant to protect the mature Ginkgo tree as per the term and conditions of the Covenant.

5.0 Proposed New Development:

- 5.1 The Owner agrees that the construction of new buildings on the property to allow commercial development as a permitted use, provided that:
 - i. The use is in conformance with the Heritage Revitalization Agreement Bylaw No. 12588, as outlined in Table 1;
 - ii. The dimensions and the siting of the new buildings to be constructed on the Subject Property be in general accordance with Schedule B;
 - iii. The exterior design and finish of the new buildings to be constructed on the Subject Property be in general accordance with Schedule B.

- 5.2 The Owner agrees not to alter the exterior through a renovation, addition and/or tenant improvement of the new buildings except pursuant to a Heritage Alteration Permit issued by the City, and in accordance with this Agreement.
- 5.3 No additional buildings will be permitted between the South façade of the Heritage Building and Clement Avenue, nor between the West façade and Ellis Street.
- 5.4 The Owner agrees that the site planning and landscaping on the Subject Property, provided that:
- i. Surface parking stalls and a designated area for bike racks shall be provided as per Schedule B;
 - ii. The Owner agrees to install and maintain landscaping on the Subject Property in general accordance with the attached landscape plans, Schedule C;
 - iii. The Owner agrees to post a Landscape Performance Security bond with the City in the form of a "Letter of Credit" or cash in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper, as outlined in Schedule C.
- 5.5 The Owner agrees to prove and pay for all servicing required by the proposed development of the subject property and to provide required bonding for same, including, but not limited to: domestic water and fire protection, sanitary sewer, storm drainage, road improvements, power and telecommunication services and street lights, as per Development Engineering Memorandum, dated June 15, 2023, Attachment D).

6.0 Commencement and Completion

- 6.1 The Owner agrees to commence the proposed development upon adoption of City of Kelowna Heritage Revitalization Agreement Authorization Bylaw No. 12588 and to commence all such works within two (2) years of the adoption of the Heritage Revitalization Agreement.
- 6.2 In the event the Owner has not commenced works within the two (2) years of the adoption of the Heritage Revitalization Agreement, then a Heritage Alteration Permit will be required to assess the form and character of any unconstructed building(s).

7.0 Damage or Destruction

- 7.1 In the event that no more than 75% of the Heritage Building is damaged, the parties agree as follows:
- a) The Owner may repair the Heritage Building in which event the Owner shall forthwith commence the repair work and complete same within one year of the date of damage;
- OR, in the event that the Heritage Building is destroyed,
- b) The City may, by bylaw, and after conducting a Public Hearing in the manner prescribed by Sections 464 through 470 of the *Local Government Act*, cancel this Agreement, whereupon all use and occupation of the Subject Property shall thenceforth be in accordance with the zoning bylaws of the City and in accordance with all other bylaws or regulations of the City or any other laws of authority having jurisdiction.

8.0 Breach

- 8.1 In the event that the Owner is in breach of any term of this Agreement, the City may give the Owner notice in writing of the breach and the Owner shall remedy the breach within 30 days of receipt of the notice. In the event that the Owner fails to remedy the breach within the time allotted by the notice, the City may, by bylaw and after conducting a Public Hearing in the manner prescribed by Sections 464 through 470 of the *Local Government Act*, cancel this

Agreement whereupon all use and occupation of the Subject Property shall thenceforth be in accordance with the zoning bylaws of the City and in accordance with all other bylaws or regulations of the City or any other laws of authority having jurisdiction.

9.0 Amendment to the Heritage Revitalization Agreement

- 9.1 The parties acknowledge and agree that this Agreement may only be amended by one of the following means:
- a) By bylaw with the consent of the parties provided that a Public Hearing shall be held if an amendment would permit a change to use or density of use on site or;
 - b) By Heritage Alteration Permit (HAP), issued pursuant to Section 617 of the *Local Government Act*.

10.0 Representations

- 10.1 It is mutually understood and agreed upon between the parties that the City has made no representations, covenants, warranties, promises or agreements expressed or implied, other than those expressly contained in this Agreement.

11.0 Statutory Functions

- 11.1 Except as expressly varied or supplemented herein, this Agreement shall not prejudice or affect the rights and powers of the City in the exercise of its statutory functions and responsibilities including, but not limited to, the Local Government Act and its rights and powers under any enactments, bylaws, order or regulations, all of which, except as expressly varied or supplemented herein, are applicable to the Subject Property.

12.0 Inurement

- 12.1 This Agreement inures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

13.0 Other Documents

- 13.1 The Owner agrees at the request of the City, to execute and deliver or cause to be executed and delivered all such further agreements, documents and instruments and to do and perform or cause to be done and performed all such acts and things as may be required in the opinion of the City to give full effect to the intent of this Agreement.

14.0 Notices

- 14.1 Any notice required to be given pursuant to this Agreement shall be in writing and shall either be delivered mailed by registered mail as follows:

- (a) To the City:
City of Kelowna
1435 Water Street
Kelowna, B.C. V1Y 1J4

ATTENTION: City Clerk
- (b) To the Owner:
Kelowna Train Station Inc., Inc. No. BCo847922
5711 1st Street SE
Calgary, Alberta
T2H 1H9

Or, to such other address to which a party hereto may from time to time advise in writing.

15.0 No Partnership or Agency

- 15.1 The parties agree that nothing contained herein creates a relationship between the parties of partnership, joint venture or agency.

IN WITNESS WHEREOF this Agreement has been executed by the parties hereto on the day and year first above written.

Attachments:

Schedule A: Draft Heritage Revitalization Agreement

Schedule B: Rationale Letter and Architectural Drawing Set

Schedule C: Landscape Drawing Set and Cost Estimate Letter

Schedule D: Heritage Building (Train Station Pub) Original Intent HRA10-0001

Schedule E: Heritage Garden Original Intent HRA10-0001

Attachment A: Heritage Building (Train Station Pub) Assessment Report

Attachment B: Heritage Garden Assessment Report

Attachment C: Tree Preservation Plan

Attachment D: Development Engineering Memorandum

Attachment E: Heritage Consultant Review

Page 6 of 8

SCHEDULE "A" HRA22-0001

CITY OF KELOWNA
By its authorized signatories

Mayor

City Clerk

Applicant Name

kelowna Train Station Inc.

Date:

10/10/2023

In the presence of:

DocuSigned by:
Jane Ryan
5319EE0F68E44BE
Jane Ryan (Authorized signatory)

Witness (print name)

Witness (Signature)

Address

Occupation

KASIAN
ARCHITECTURE
INTERIOR
DESIGN AND
PLANNING LTD
1011 Ninth Avenue SE,
Suite 450
Calgary, Alberta
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DON W. KASIAN
*Architect AAA, Architect AIBC,
MAA, NLAA, NSAA, NWTAA,
OAA, SAA, FRAIC, Hon. FAIA*

DEAN BENVENUTO
Architect AAA, LEED AP BD + C

AZIZ BOOTWALA
*Architect AAA, Architect AIBC,
MAA, NWTAA, OAA, SAA,
FRAIC, LEED AP*

WOJCIECH BRUS
*Architect AIBC, NWTAA, NSAA,
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SUZANNE CAMPBELL
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OAA, SAA, FRAIC, Hon. FAIA*

WILL CRAIG
*Architect AAA, Architect AIBC,
RIBA Part II*

SANJA DJULEPA
LEED AP BD+C, TSA, MRAIC

CRYSTAL GRAHAM
*Licensed Interior Designer AAA,
ARIDO, RID, IDC, IIDA, LEED AP*

KIM GREEN
DID

ABHISHEK GUPTA
MBEM, LEED AP

DANIEL HAWRELUK
Architect AIBC, RAIC

DOUG JOHNSON
Architect AIBC, Sloan Fellow

JUDITH MACDOUGALL
Architect AAA, LEED AP BD + C

DEAN MATSUMOTO
AOCA

SALLY MILLS
AID, RID

ALAN NAKASKA
Architect AAA, Architect AIBC

DOUGLAS NIWA
BID

SCOTT NORWOOD
MAATO

GOLNAZ RAKHSHAN
*Architect AIBC, Architect NSAA,
LEED AP, MRAIC*

JAMES RICE
OAA, NSAA, MRAIC

KATHERINE ROBINSON
*Architect AAA, Architect AIBC,
NSAA, MRAIC*

WARREN SCHMIDT
*Architect AAA, Architect AIBC,
MRAIC*

IAN SINCLAIR
MHA, CHE

Vancouver
Victoria
Calgary
Edmonton
Toronto



Kasian



Design Rationale Statement – August 8, 2022

Project Overview

The purpose of the application is for a Heritage Revitalization Agreement (HRA) as well as a Development Permit for a site at 520 Clement Avenue whose design has been revised since the original Heritage Revitalization Agreement was made in 2010. The original HRA proposed three commercial buildings located at the perimeter of the property and surrounding the restored CN Station building that received municipal heritage designation in 2009 and serves as a popular pub & restaurant. Since 2010 only one of the proposed buildings was constructed – a single story liquor store at the east side of the site. The current proposal includes an expansion of the liquor store building (Building A) as well as a single-story commercial building (Building C) and a 5 story mixed use building (Building B) to be located on the north side of the site, on either side of the ginkgo tree that is to be protected under the HRA.

Site

The site is located at 520 Clement Avenue just north of downtown Kelowna. It is bounded by Ellis Street on the west, Clement Avenue on the south, and St Paul Street on the east. A liquor store, a railway garden at the south-west corner and a landscaped promenade from Ellis Street to the train station were built in earlier phases of the development when the train station building was restored and converted to a pub style restaurant.

Zoning

As a result of the original HRA, the site was rezoned to C4p/lrs Urban Centre Commercial (Liquor Primary / Retail Liquor Sales) along with a parking relaxation of 10 stalls.

Context

The site is located just north of the downtown district and east of Okanagan Lake, Waterfront Park, and a large residential complex. To the northeast there is a variety of different industrial properties and athletic facilities, including a small baseball diamond and sport club. To the south there is the Prospera Place arena and access to the downtown along with single-family homes to the southeast. The immediate neighbourhood is changing rapidly with the construction of many high-rise residential developments with great density. The proposed site design supports pedestrian connectivity between buildings, the railway garden, and the ginkgo tree courtyard as well as to the surrounding streets. The architectural design of the new buildings has been carefully considered to create a respectful and harmonious relationship with the historic train station building – further details can be found in the Heritage Professional's report.

Form

Building B is a 5-story building with retail uses proposed at the ground floor and office floors located above. The uppermost level is setback from the lower floors which helps to mitigate the mass of the building. This building has an important role in the transition of height from the other single-story buildings on the site to the nearby high-rise developments in the neighbourhood. The height of building B relates very well to the podium height of the One Water Street development to the west. The new buildings proposed are designed with their front doors facing towards the train station building, contributing to placemaking within the site. The west side of the ground floor of building B consists primarily of a commercial unit with a large extent of glazing facing Ellis Street



and allowing for sidewalk activation. This commercial use also builds upon the presence of retail across the street at One Water Street. Buildings B and C flank the ginkgo tree and have glazing that opens on to the area surrounding it. This space is designed as an outdoor room or courtyard, a place for patio seating that supports the commercial units on the ground floor of these buildings and enhances pedestrian oriented design within the site.

The buildings have been designed to be compatible with, subordinate to and distinguishable from the historic train station building and they take their cues from the historic place and the industrial character of the area. For more detail, please reference the Heritage Professional's report prepared by ANCE Building Services Co. Inc.

Public Realm & Landscaping

The site currently includes the Train Station Pub and a station promenade that is furnished with benches, trees and bicycle parking and which has become a pickup point for scooters and e-bikes. To the south of the pub is a railway garden surrounding a memorial statue. This provision of outdoor amenities has extended to other areas of the site for this new phase of development. An outdoor room or courtyard has been designed around the ginkgo tree. It consists of planting, decking and seating against an art wall backdrop on its northern edge. Decorative bollards and light standards with hanging baskets line the edge of a flush sidewalk in front of buildings B and C and delineate a pedestrian zone that connects to the courtyard. Building B's western edge has been setback from the curb by 4.5m to allow for a generous public sidewalk with planting and potential bistro seating for the ground floor commercial unit. Both building B and C have a high degree of transparency at the ground floor and have the ability to open up onto the sidewalks and create an engaging streetscape. This approach to connectivity between buildings and landscape supports the outdoor lifestyle that is prevalent in the region.

All site landscaping will be specific to the Okanagan climate, and plant species have been selected based on low maintenance and compatibility with the local environment. The provision of site lighting and clear sight lines create a welcoming and safe public realm and help mitigate CPTED issues. Through a reduction in the number of grade changes, planter beds and other impediments as well as requirements that all entrance be fully accessible, a healthy and walkable streetscape is ensured.

Materials

The proposed building materials have been selected for a timeless and modern palette throughout the development while their unique arrangement gives each building its own character. At the building bases, durable materials such as concrete, brick, and metal in warm tones provide texture, variation and contribute to visual interest for the pedestrian areas in the project. Materials have been chosen for their ability to endure over time. A consistent use of materials and colours at the lobbies and building entries help orient residents and visitors.

CPTED

To support effective crime prevention through environmental design (CPTED) for this project, several approaches have been employed. Strategies include the use of natural surveillance, territorial reinforcement, natural access control and target hardening.

The project faces onto three public streets; Ellis Street, Clement Avenue and St Paul Street. The location of commercial and building entries as well as extensive glazing



at ground level allows for natural surveillance by having 'eyes' on the street throughout the course of the day. After business hours, street lighting and clear sightlines help to provide safe access to the lobbies and ground floor units. This approach may also help deter vandalism or related activities.

The high level of design and strong focus on a pedestrian oriented environment provides territorial reinforcement and natural access control. Pride of ownership is provided by utilizing durable exterior materials and surfaces. Landscaping provides green areas that require minimal upkeep but provide a natural and welcoming feel. Public areas are clearly identified through distinct retail frontages and signage.

Target hardening measures will be required for the remaining low use areas such as exit stairs, loading areas and service entrances. Security hardware, camera surveillance, and alarm devices will be utilized where necessary.

Accessibility

This project has been designed to support inclusivity for public and tenants alike. Understanding that accessible design should support not only those with impaired mobility but should also support users with other impairments including limited hearing, sight, or other physical abilities. In addition, this project also looks to address common everyday accessibility issues experienced by users carrying large objects, traveling with children, strollers, moving and delivery of goods.

The following is a list of key elements that will support access for all in this project:

- Elevators provide access to the upper floors of building B.
- Barrier free parking stalls have been provided near main entrances to minimize travel distance for the those with limited mobility.
- Materials and their placement in the design help to create a distinction between the different program elements of the project.
- Waste and recycling containers have been provided near building entrances to minimize travel for visitors.

KELOWNA TRAIN STATION SITE - PHASE 2

1177 ELLIS STREET, KELOWNA, BC, CANADA



SCHEDULE B
 This forms part of application
 # HRA22-0001

City of
Kelowna
 DEVELOPMENT PLANNING

Planner
 Initials **BC**

KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. KELOWNA TRAIN STATION SITE

PROJECT NUMBER:
 ISSUED FOR:
 DATE:

230109
 ISSUED FOR DP
 2022.10.20

ARCHITECTURAL



KASIAN ARCHITECTURE INTERIOR DESIGN
 614 AVANLUO LTD.
 800-555-5555
 40138 24E

LANDSCAPE



SCATLIFF + MILLER + MURRAY
 8815 ST SW CALGARY, AB T2P 1N1
 403.265.94

CIVIL



CTO CONSULTANTS LTD.
 1314 ST PAUL STREET, KELOWNA, BC
 250.879.0271

STRUCTURAL



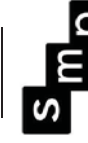
READ LONG CHRISTOPHERS LTD.
 185 FORTY STREET, SUITE 204
 VICTORIA, BC V8W 1Y8
 781.781.9700

MECHANICAL



REINBOLD ENGINEERING GROUP
 3011 866 FORTY STREET
 VICTORIA, BC V8W 1R8
 250.102.1428

ELECTRICAL



SMP ENGINEERING
 4800 WEST BROADWAY
 VICTORIA, BC V8L 4Z7
 78.393.3171



kasian
Kasian Architecture
and Planning Ltd
1671 West 16th St, Suite 102
Kelowna, BC V1Y 9H7
www.kasian.com

SCHEDULE B
This forms part of application
HRA22-0001
Planner
Initials **BC**



DRAWING LIST - ARCHITECTURAL

4007	PROJECT INFO DRAWING LIST
4008	ASSOCIATIONS, GENERAL NOTES AND
4009	PROJECT APPROVALS
4010	SITE PLAN
4011	SITE REGULATION
4012	BUILDING A - MAIN FLOOR AND MEZZANINE PLAN
4013	BUILDING A - MAIN FLOOR AND MEZZANINE PLAN
4014	BUILDING A - MEZZANINE AND BENCHING
4015	BUILDING A - MEZZANINE AND BENCHING
4016	BUILDING A - MEZZANINE AND BENCHING
4017	BUILDING A - MEZZANINE AND BENCHING
4018	BUILDING A - MEZZANINE AND BENCHING
4019	BUILDING A - MEZZANINE AND BENCHING
4020	BUILDING A - MEZZANINE AND BENCHING
4021	BUILDING A - MEZZANINE AND BENCHING
4022	BUILDING A - MEZZANINE AND BENCHING
4023	BUILDING A - MEZZANINE AND BENCHING
4024	BUILDING A - MEZZANINE AND BENCHING
4025	BUILDING A - MEZZANINE AND BENCHING
4026	BUILDING A - MEZZANINE AND BENCHING
4027	BUILDING A - MEZZANINE AND BENCHING
4028	BUILDING A - MEZZANINE AND BENCHING
4029	BUILDING A - MEZZANINE AND BENCHING
4030	BUILDING A - MEZZANINE AND BENCHING
4031	BUILDING A - MEZZANINE AND BENCHING
4032	BUILDING A - MEZZANINE AND BENCHING
4033	BUILDING A - MEZZANINE AND BENCHING



PROPERTY MAP

PROJECT INFORMATION

LEGAL ADDRESS:	LOT 1 A, D.L. 138, ODD; PLAN 1418 66238
MUNICIPAL ADDRESS:	500 CLEMENT AVE.
ZONING:	LC1 - DOWNTOWN URBAN CENTRE
PROPOSED USES:	COMMERCIAL / OFFICE
PROPOSED HEIGHT:	BUILDING A - 5 STOREYS (2.0m) BUILDING C - 3 STOREYS (2.0m)
OVERALL SITE AREA:	1.28 acres (5200 sqm (95,168 SQ FT))
BUILDING AREA:	EXISTING BLDG A (LOUVER STOREY) EXISTING BUILDING A - 101 SQ.M NEW ADDITION - 199 SQ.M MEZZANINE - 511 SQ.M BUILDING C - 511 SQ.M
F.A.R.:	MAX = 1.0 PROPOSED = 0.68
SITE COVERAGE:	MAX = 100% PROPOSED = 26.8%
VEHICLE PARKING:	6.9 PER 100m² & 3.0 PER 100m² PROVIDED = 19 (ALL BUILDINGS) PROPOSED = 48
BICYCLE PARKING:	LONG TERM = 1 STALL PER 500m² OF GFA REQUIRED = 6.12 STALLS (ALL BUILDINGS) PROVIDED = 30 SHORT TERM = 2 STALLS PER ENTRANCE REQUIRED = 18 (ALL BUILDINGS) PROVIDED = 24 (16)
LOADING:	REQUIRED = 1 PER 500m² OF GFA BUILDING A = 1 PER 2000mm OF CLEAR BUILDING B = 1 PER 1000 mm OF GFA BUILDING C = 1 PER 1000mm OF GFA (ALL BUILDINGS) 48 PROVIDED = 1 NEW LOADING SPACE + 1 EXISTING LOADING SPACE

BUILDING CODE SUMMARY - BUILDING A & C

DESIGN & CONSTRUCTION TO BE IN ACCORDANCE WITH:
BRITISH COLUMBIA BUILDING CODE 2018

- MAJOR USE AND OCCUPANCY
BUILDING A (EXPANSION) - GROUP E (MERCANTILE)
BUILDING C - GROUP E (MERCANTILE)
- CODE REFERENCE
BUILDING A - 3-22.09. GROUP E, UP TO 2 STOREYS, SPRINKLERED
BUILDING C - 3-22.09. GROUP E, UP TO 3 STOREYS, SPRINKLERED
- CONSTRUCTION CLASSIFICATION
BUILDING A - COMBUSTIBLE OR NON-COMBUSTIBLE
BUILDING C - COMBUSTIBLE OR NON-COMBUSTIBLE
- SPRINKLERING
BUILDING A (EXPANSION) - SPRINKLERED
BUILDING C - SPRINKLERED
- STORIES OF BUILDING
BUILDING A (EXPANSION) - SINGLE STOREY W/ MEZZANINE
BUILDING C - SINGLE STOREY
- FIRE SEPARATION AND FLOOR OF ASSEMBLIES
BUILDING A (EXPANSION) - MAIN FLOOR ASSEMBLY, SWIM, LOUVERBEARING
WALLS, COLUMNS AND ARCHES SUPPORTING A RATED ASSEMBLY,
COLUMNS AND ARCHES SUPPORTING A RATED ASSEMBLY,
COLUMNS AND ARCHES SUPPORTING A RATED ASSEMBLY.
- OCCUPANT LOADS
BUILDING A (EXPANSION) - 42 PERSONS
BUILDING C - 48 PERSONS
- EXISTING & EGRESS
MAX TRAVEL DISTANCE = 45M
AS PER BCBC: 3.8.4.5
- BARBERS FREE REQUIREMENTS
AS PER BCBC: 3.8.4.5

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR DEVELOPMENT PERMIT	2022-04-08	AUDREY	ANDREW
2	PROJECT INFO & DRAWING LIST			
3	ASSOCIATIONS, GENERAL NOTES AND PROJECT APPROVALS			
4	SITE PLAN			
5	SITE REGULATION			
6	BUILDING A - MAIN FLOOR AND MEZZANINE PLAN			
7	BUILDING A - MAIN FLOOR AND MEZZANINE PLAN			
8	BUILDING A - MEZZANINE AND BENCHING			
9	BUILDING A - MEZZANINE AND BENCHING			
10	BUILDING A - MEZZANINE AND BENCHING			
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17	BUILDING A - MEZZANINE AND BENCHING			
18	BUILDING A - MEZZANINE AND BENCHING			
19	BUILDING A - MEZZANINE AND BENCHING			
20	BUILDING A - MEZZANINE AND BENCHING			

FORMA STAMP

DATE

PROJECT
KELOWNA TRAIN STATION SITE
KELOWNA, BC
FORMA SITE

PROJECT INFO & DRAWING LIST

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.
220109
SCALE
1:50
PROJECT NO.
2022-04-08
DATE
2022-04-08

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	220109	SCALE	1:50	CHECKED	ANDREW
DATE	2022-04-08	DATE	2022-04-08	REVIEWED	ANDREW
PROJECT NO.	220109	SCALE	1:50	CHECKED	ANDREW
DATE	2022-04-08	DATE	2022-04-08	REVIEWED	ANDREW



PROJECT NO:	2022-001	DATE OF THIS DOCUMENT:	18.09.2022
PROJECT NAME:	KELOWNA TRAIN STATION	PROJECT LOCATION:	550 CANTON ST
OWNER:	CITY OF KELOWNA	DATE OF THIS DOCUMENT:	18.09.2022
DESIGNER:	KASIAN ARCHITECTURE AND PLANNING LTD	DATE OF THIS DOCUMENT:	18.09.2022
CITY PLAN NUMBER:			

PROJ. STAMP



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KELOWNA TRAIN STATION SITE

KELOWNA, BC

EXISTING DEMO BUILDING A

DATE OF ISSUE

PROJECT NO:	2022-001	DATE:	18.09.2022
PROJECT NAME:	KELOWNA TRAIN STATION	SCALE:	AS SHOWN
DRAWN BY:	AS SHOWN	REVISED:	
CHECKED BY:		DATE:	
A-200			



- DENOTES WALLS TO BE REMOVED
- DENOTES WALLS TO REMAIN
- DENOTES AREA NOT IN SCOPE

SCHEDULE B
This forms part of application # HRA22-0001
Planner Initials **BC**

City of Kelowna
DEVELOPMENT PLANNING

LEVEL 1 BUILDING A EXISTING
SCALE: 1:75



NO.	REVISION	DATE	BY	CHKD
1	ISSUE FOR PERMIT SUBMITTAL			
2	ISSUE FOR PERMIT			
3	ISSUE FOR CONSTRUCTION			
4	ISSUE FOR AS-BUILT			

PROJECT NAME



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PROJECT: KELOWNA TRAIN STATION SITE

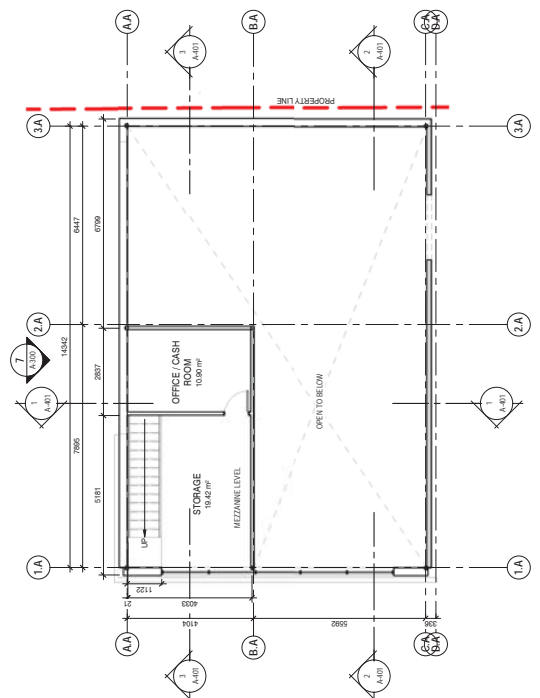
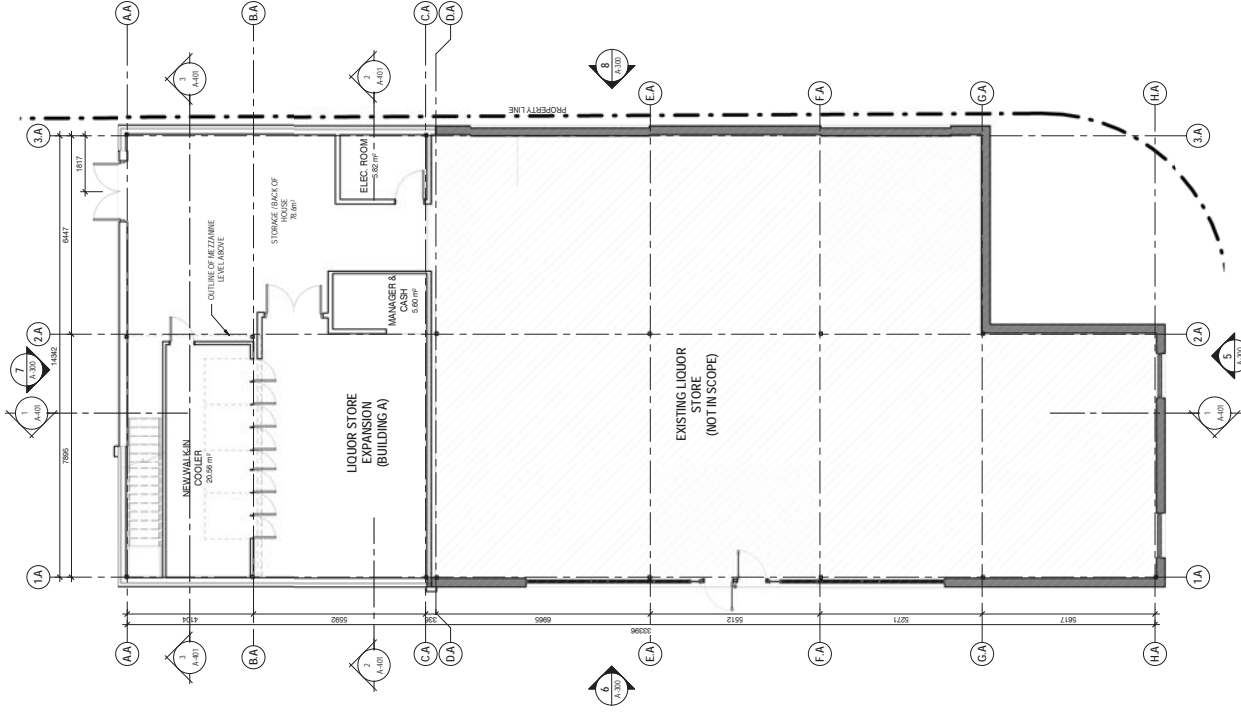
DRAWING TITLE: BUILDING A PLAN & ROOF PLAN

LOCATION: KELOWNA, BC

DRAWING SCALE

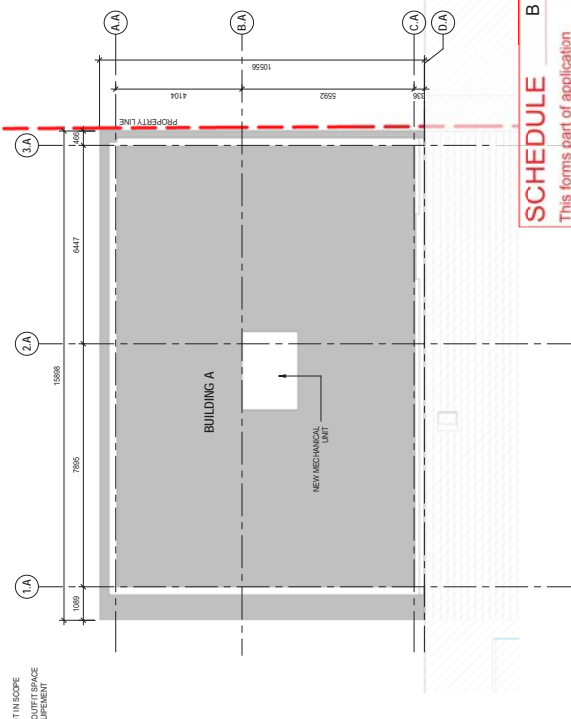
PROJECT NO.	23109	DATE	2022-04-28	DRAWN	AD/ST
SCALE	As Indicated	REVISED		CHKD	AD/ST
DATE		BY		DATE	

A-201



- DENOTES NEW WALLS
- EXISTING WALLS TO REMAIN
- DENOTES AREA NOT IN SCOPE AND REQUIRED EQUIPMENT

3. LEVEL 1 BUILDING A MEZZANINE
SCALE: 1/15



SCHEDULE B

This forms part of application # HRA22-0001

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials: BC



Kasian Architects
and Planning Ltd

111 Havelock St, 4th Fl
CITY OF KELLOWNA BC
V1P 4G6
PH: 250.860.1800
WWW.KASIAN.CO



NO.	REVISION	DATE	BY	CHECKED	APPROVED
1	ISSUED FOR PERMIT	2022-05-28			
2	FOR PERMIT SUBMITTANCE	2022-05-28			
3	FOR PERMIT SUBMITTANCE	2022-05-28			
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49	FOR PERMIT SUBMITTANCE	2022-05-28			
50	FOR PERMIT SUBMITTANCE	2022-05-28			

PROJECT NAME

SCALE



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PROJECT

KELOWNA TRAIN STATION SITE

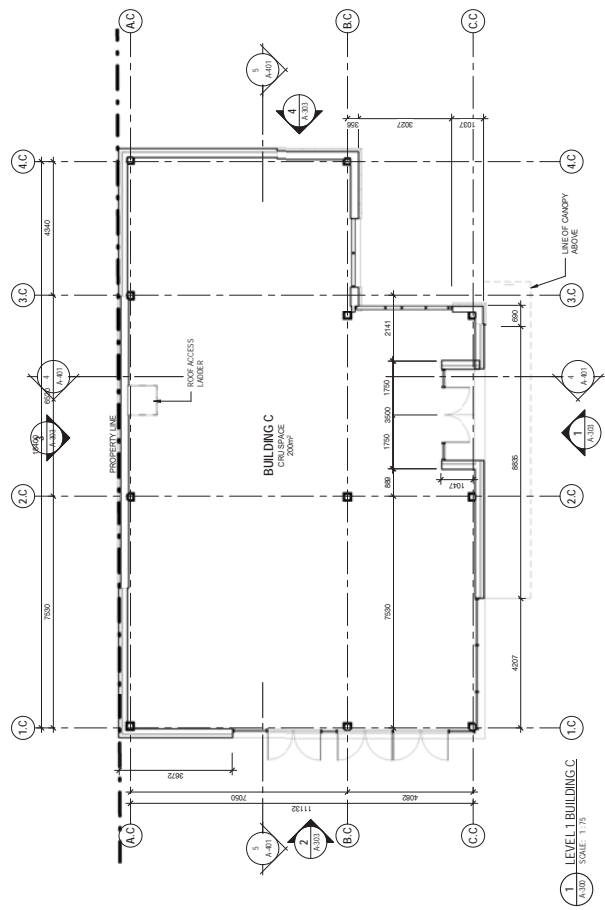
KELOWNA BC

DRAWING TITLE

BUILDING C PLAN & ROOF PLAN

DRAWING SCALE

PROJECT NO.	23109	DATE	2022-05-28	DRAWN	AMW	AUTOCAD
SCALE	1:75	REVISION		CHECKED		
DRAWING NO.	A-202	REVISION		REVISION		



SCHEDULE B
This forms part of application # HRA22-0001
City of Kelowna
DEVELOPMENT PLANNING
Planner Initials BC



Kasian Architecture
and Planning Ltd
1000 West Beaver Creek Road, Suite 100
West Beaver Creek, Ontario L4B 3N2
Tel: (905) 709-8888
www.kasian.com



NO.	REVISION	DATE	BY	CHKD
1	ISSUED FOR PERMIT	2022-06-28	MM	MM
2	FOR COMMENTS	2022-06-28	MM	MM
3	FOR COMMENTS	2022-06-28	MM	MM
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PROJECT NAME



PROJECT NO. 2022-06-28
DATE 2022-06-28
SCALE 1:75
DRAWN BY MM
CHECKED BY MM
PROJECT TITLE

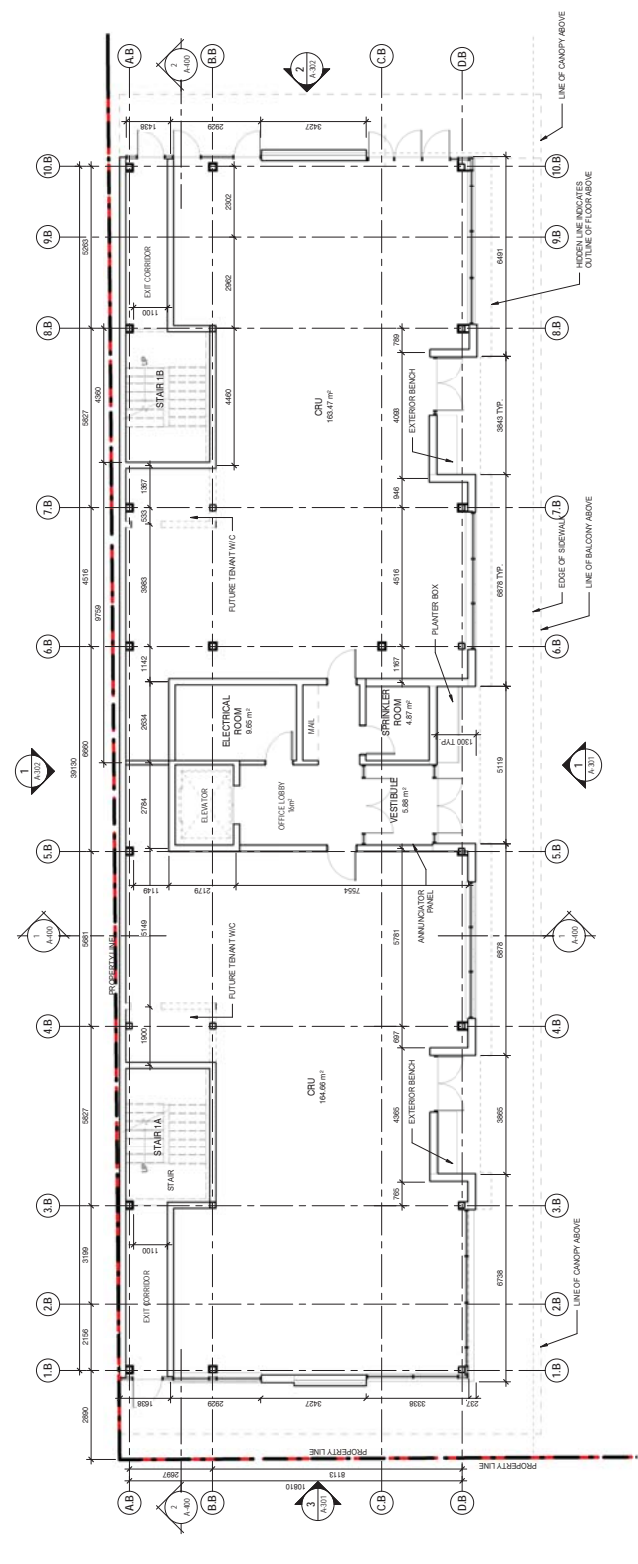
KELOWNA TRAIN STATION SITE

KELOWNA, BC

LEVEL 1 PLAN BUILDING B

DATE

SCHEDULE B
This forms part of application # HRA22-0001
Planner Initials BC
City of Kelowna
SCHEDULE B PLANNING



LEVEL 1 BUILDING B
SCALE: 1:75



Kasian Architects
and Planning Ltd

1000 West Broadway, Suite 1400
Vancouver, BC V6C 3G8
Tel: (604) 681-2726
Fax: (604) 681-2727
www.kasian.com



PROJECT NO.	230109	DATE OF ISSUE	2022-06-28
PROJECT NAME	LEVEL 2 PLAN BUILDING B		
DATE OF PROJECT	2022-06-28		
DRAWING NO.	A-204		
DATE OF DRAWING	2022-06-28		
SCALE	1:75		
PROJECT LOCATION	KELOWNA, BC		

PROJECT: KELOWNA TRAIN STATION SITE

DRAWING TITLE: LEVEL 2 PLAN BUILDING B

DATE: 2022-06-28

SCALE: 1:75

PROJECT NO.: 230109

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PROJECT: KELOWNA TRAIN STATION SITE

DRAWING TITLE: LEVEL 2 PLAN BUILDING B

DATE: 2022-06-28

SCALE: 1:75

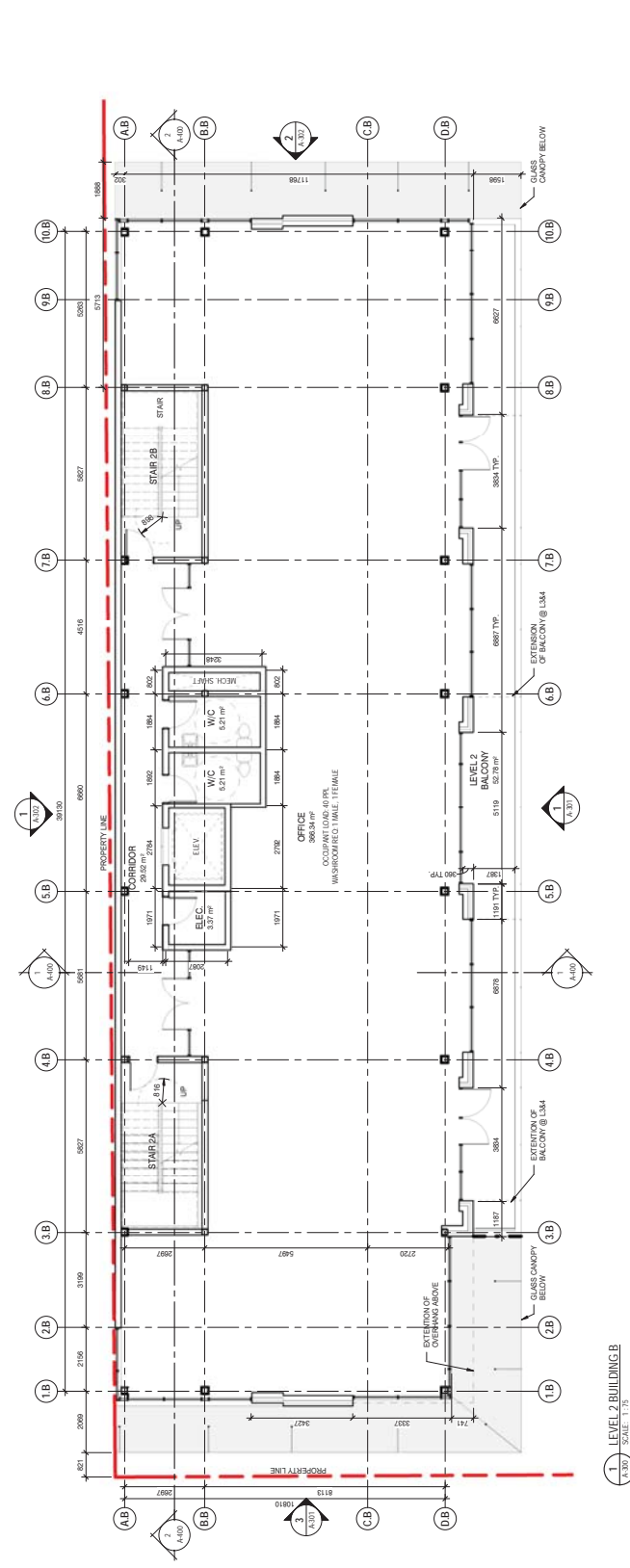
PROJECT NO.: 230109

DATE OF ISSUE: 2022-06-28

DRAWN BY: [Name]

CHECKED BY: [Name]

DATE OF CHECK: [Date]



1 LEVEL 2 BUILDING B
SCALE: 1:75

SCHEDULE B

This forms part of application # HRA22-0001

City of Kelowna
DEVELOPMENT PLANNING

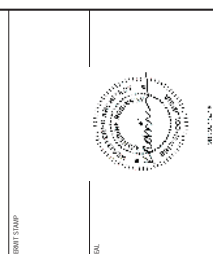
Planner initials: BC



Kasian Architecture
and Planning Ltd



PROJECT NO:	2022-001	DATE OF ISSUE:	15/05/2022
PROJECT NAME:	KELOWNA TRAIN STATION	PROJECT LOCATION:	1110 10TH AVENUE, KELOWNA, BC
CLIENT:	TRANS CANADA RAILWAY	PROJECT TYPE:	ARCHITECTURAL
DESIGNER:	KASIAN ARCHITECTURE AND PLANNING LTD	DATE OF DESIGN:	15/05/2022



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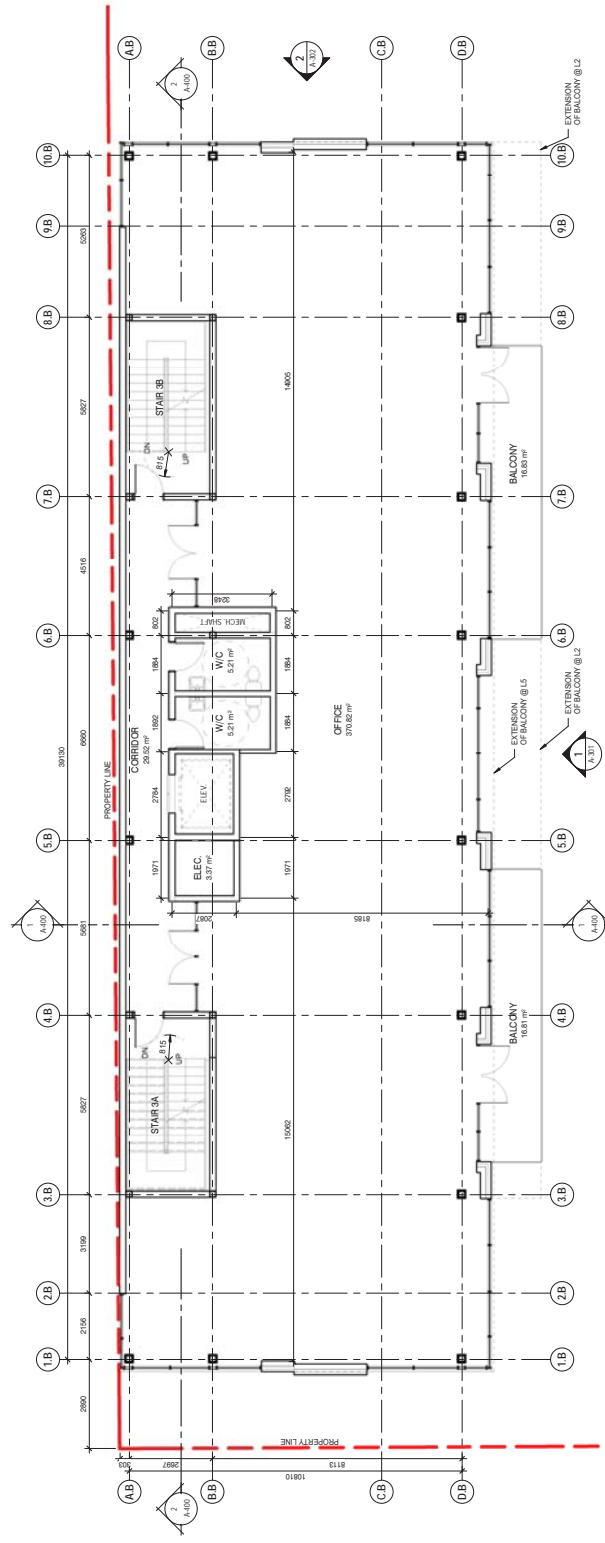
PROJECT: KELOWNA TRAIN STATION SITE

DRAWING TITLE: KELOWNA BC

TYP. LEVEL 3&4 PLAN BUILDING B

PROJECT NO:	231019	DATE:	2022-04-28	DRAWN BY:	AVD/B
SCALE:	1:75	REVISIONS:		CHECKED BY:	
DATE:		APPROVED BY:		DESIGNED BY:	

A-205



1 TYP. LEVEL 3&4 BUILDING B
SCALE: 1:75

SCHEDULE B
This forms part of application # HRA-22-0001
Planner Initials BC
City of Kelowna
DEVELOPMENT PLANNING

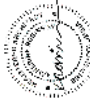


Kasian Architects
and Planning Ltd
100 West Hill Drive, Suite 100
Vancouver, BC V6C 2V6
Tel: (604) 273-3337
www.kasian.ca



DATE	REVISIONS
2022-02-28	ISSUE FOR PERMIT SUBMITTAL
2022-02-28	ISSUE FOR PERMIT SUBMITTAL
2022-02-28	ISSUE FOR PERMIT SUBMITTAL
2022-02-28	ISSUE FOR PERMIT SUBMITTAL
2022-02-28	ISSUE FOR PERMIT SUBMITTAL

PROJECT NAME
KELOWNA TRAIN STATION



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PROJECT
KELOWNA TRAIN STATION SITE

LOCATION
KELOWNA, BC

DATE
2022-02-28

SCALE
1:75

NO.	DATE	ISSUED	BY
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2	2022-02-28	ISSUED	AS/AD

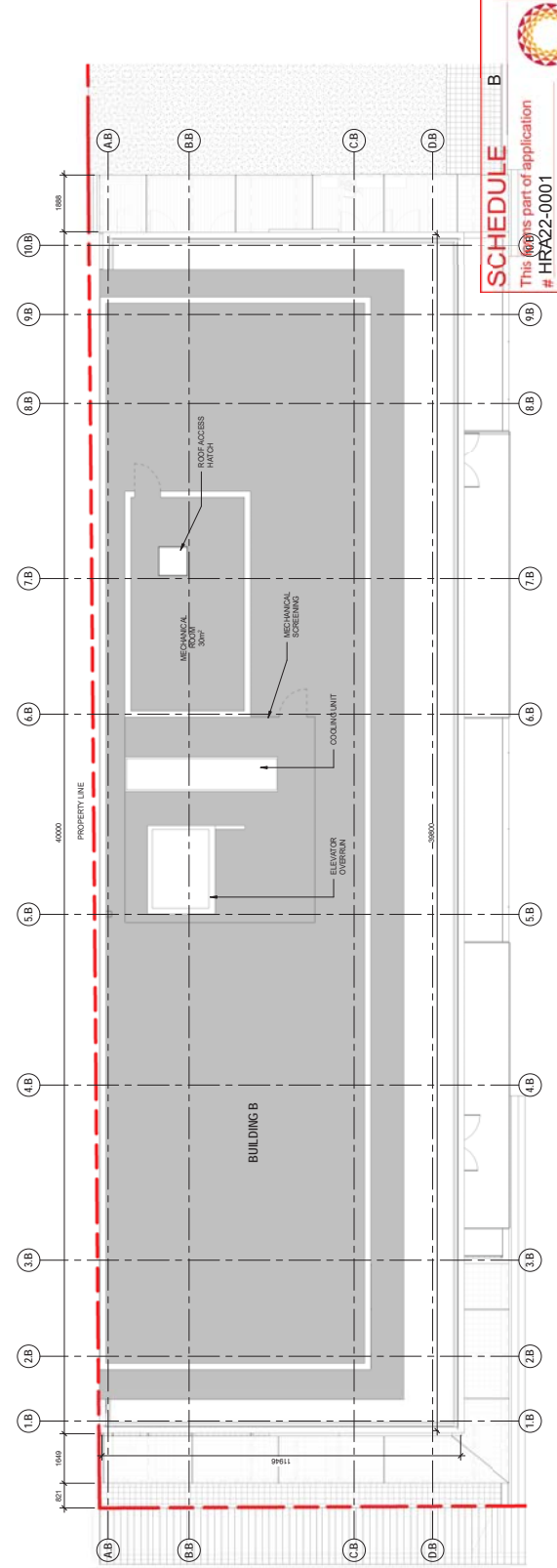
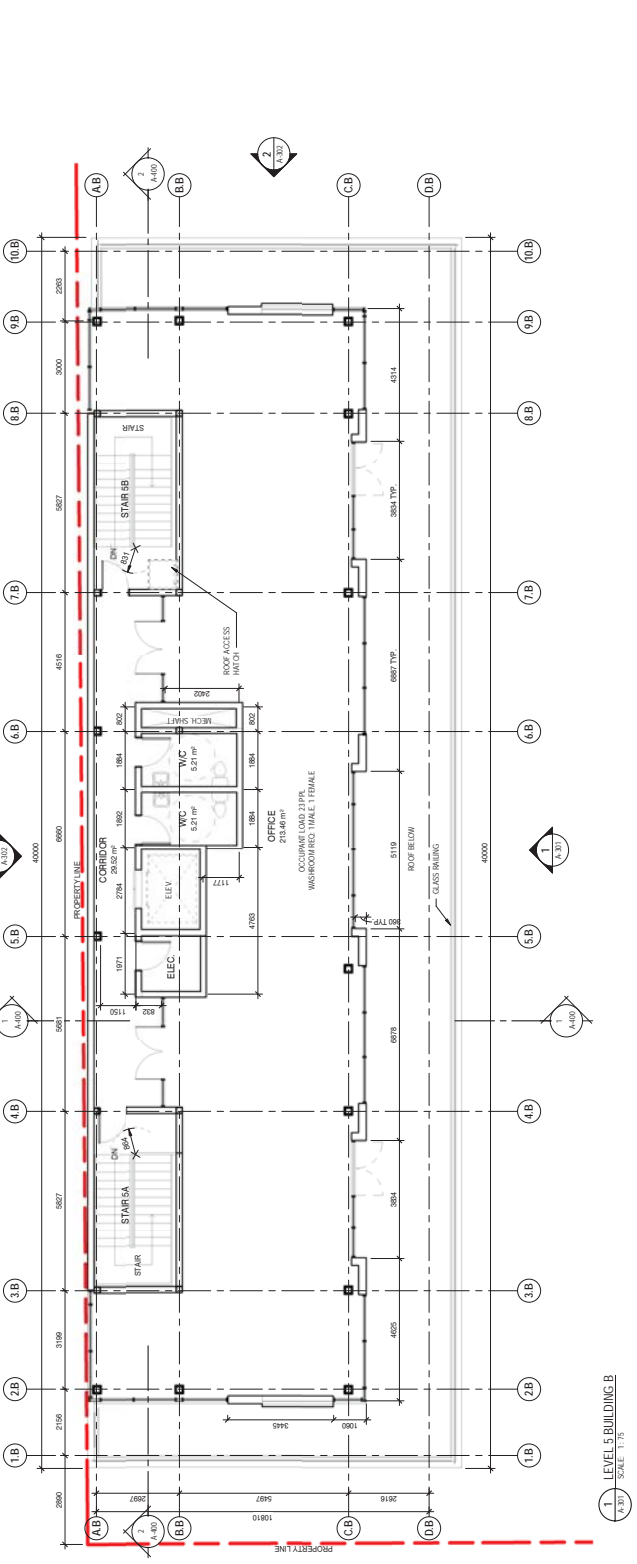
A-206

SCHEDULE B

This is part of application # HRA22-0001

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials BC





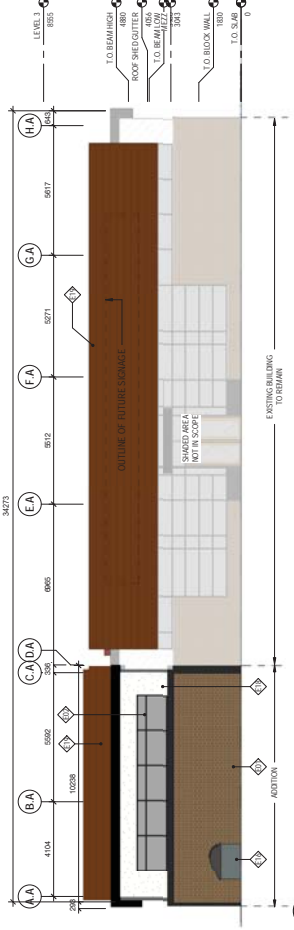
NO.	REVISION	DATE	BY	CHKD.
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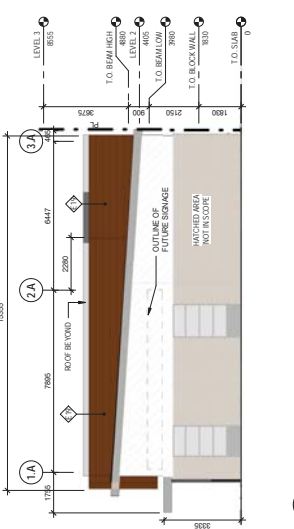
PROFESSIONAL ENGINEER
REGISTERED PROFESSIONAL ENGINEER
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PROFESSIONAL PLANNING
PROFESSIONAL LANDSCAPE ARCHITECTURE
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PROFESSIONAL ELECTRICAL ENGINEERING
PROFESSIONAL MECHANICAL ENGINEERING
PROFESSIONAL CHEMICAL ENGINEERING
PROFESSIONAL INDUSTRIAL ENGINEERING
PROFESSIONAL AERONAUTICAL ENGINEERING
PROFESSIONAL METALLURGICAL ENGINEERING
PROFESSIONAL AGRICULTURAL ENGINEERING
PROFESSIONAL FORESTRY ENGINEERING
PROFESSIONAL SURVEYING ENGINEERING
PROFESSIONAL MINING ENGINEERING
PROFESSIONAL PETROLEUM ENGINEERING
PROFESSIONAL ENVIRONMENTAL ENGINEERING
PROFESSIONAL GEOTECHNICAL ENGINEERING
PROFESSIONAL MARINE ENGINEERING
PROFESSIONAL OCEANOGRAPHY ENGINEERING
PROFESSIONAL POLYMER ENGINEERING
PROFESSIONAL RAILWAY ENGINEERING
PROFESSIONAL TRANSPORTATION ENGINEERING
PROFESSIONAL WATER ENGINEERING
PROFESSIONAL WIND ENGINEERING
PROFESSIONAL YACHT ENGINEERING
PROFESSIONAL ZOOLOGICAL ENGINEERING
PROFESSIONAL AEROSPACE ENGINEERING
PROFESSIONAL BIOMEDICAL ENGINEERING
PROFESSIONAL CHEMICAL ENGINEERING
PROFESSIONAL CIVIL ENGINEERING
PROFESSIONAL ELECTRICAL ENGINEERING
PROFESSIONAL ENVIRONMENTAL ENGINEERING
PROFESSIONAL GEOTECHNICAL ENGINEERING
PROFESSIONAL INDUSTRIAL ENGINEERING
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PROFESSIONAL TRANSPORTATION ENGINEERING
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PROJECT NO: 23109
DATE: 2022-09-28
SCALE: 1:100
DRAWN: [Name]
CHECKED: [Name]
APPROVED: [Name]

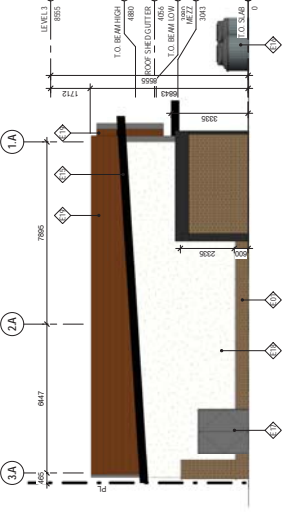
A-300



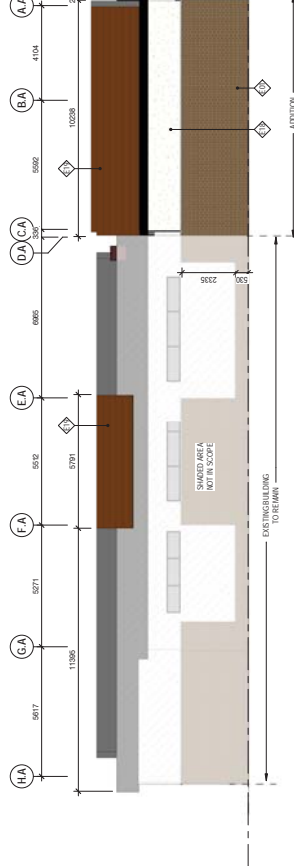
5 BUILDING A ELEVATION 2
SCALE: 1:100



6 BUILDING A ELEVATION 1
SCALE: 1:100



7 BUILDING A ELEVATION 3
SCALE: 1:100



8 BUILDING A ELEVATION 4
SCALE: 1:100

SCHEDULE B
This forms part of application # HRA22-0001
City of Kelowna
DEVELOPMENT PLANNING
Planner Initials: BC



NO.	DATE	DESCRIPTION
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99	2022-10-28	ISSUE FOR PERMITTING
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PROJECT STAMP



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PROJECT
KELOWNA TRAIN STATION SITE
KELOWNA, BC

DRAWING TITLE
EXTERIOR ELEVATIONS BUILDING B

DRAWING SCALE

PROJECT NO.	23109	DATE	2022-08-28
SCALE	1:100	DESIGNED BY	AS/MS
DRAWN BY	AS/MS	CHECKED BY	AS/MS
DATE	2022-08-28	DATE	2022-08-28

A-301



3 BUILDING B ELEVATION 2
SCALE: 1:100

1 BUILDING B ELEVATION 1
SCALE: 1:100

VALUE	DESCRIPTION
08 B1	BRICK VENEER CLADDING
08 B02	GLAZING
B03	SPANDREL PANEL BLACK PAINTED GLASS
B04	SPANDREL PANEL COLOUR WHITE
B05	METAL CANOPY
B06	PERFORATED CORTEN STEEL PANEL
B07	GLASS STOREFRONT ENTRY DOOR
B08	HANGING SIGN
B09	CLEAR GLASS RAILING
E10	STREET LIGHT
E11	CONCRETE FILLED STEEL BOLARDS
E12	MECHANICAL EQUIPMENT
E13	MECHANICAL EQUIPMENT BLACK
E14	WALLOK WASTE COLLECTION
E15	METAL DOOR
E16	STUCCO FINISH
E17	PHENOLIC PANEL DARK WALNUT WOODLOOK
E18	STREET LIGHT
E19	MECHANICAL EQUIPMENT
E20	MECHANICAL DOOR
E21	ROOFTOP MECHANICAL SCREEN
E22	MECHANICAL DOOR
E23	MECHANICAL DOOR
E24	SOLID WALL COLOUR BLACK



SCHEDULE B

This forms part of application # HRA22-0001

Planner Initials BC

City of Kelowna
DEVELOPMENT PLANNING



NO.	REVISION	DATE	BY	CHKD.	DESCRIPTION
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PROJECT NAME



SCALE

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PROJECT

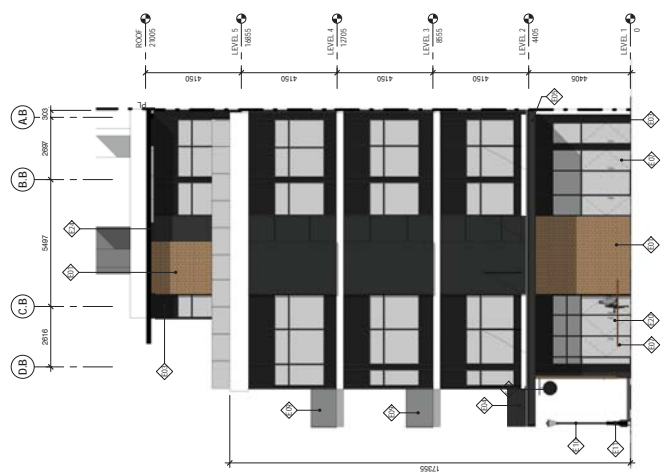
KELOWNA TRAIN STATION SITE
KELOWNA, BC

EXTERIOR ELEVATIONS BUILDING B

DRAWING TITLE

PROJECT NO.	23109	DATE	2022-05-28
SCALE	1:100	DRAWN BY	AS/AS
DATE	2022-05-28	CHECKED BY	AS/AS
SCALE	1:100	APPROVED BY	AS/AS

A-302



4 BUILDING B ELEVATION 4
A:30 SCALE: 1:100

VALUE	DESCRIPTION
08 B1	00 B02
E01	BRICK VENEER CLADDING
E02	GLAZING
E03	SPANDREL PANEL BLACK PAINTED GLASS
E04	SPANDREL PANEL COLOUR WHITE
E05	METAL CANOPY
E06	PERFORATED CORTEN STEEL PANEL
E07	GLASS STOREFRONT ENTRY DOOR
E08	HANGING SIGN
E09	CLEAR GLASS RAILING
E10	STREET LIGHT
E11	CONCRETE FILLED STEEL BOLARDS
E12	MECHANICAL LOUVER IN
E13	MECHANICAL LOUVER IN
E14	MECHANICAL LOUVER IN
E15	MECHANICAL LOUVER IN
E16	MECHANICAL LOUVER IN
E17	METAL DOOR
E18	STUCCO FINISH
E19	PHENOLIC PANEL DARK WALNUT WOODLOOK
E20	STREET LIGHT
E21	MECHANICAL LOUVER
E22	ROOFTOP MECHANICAL SCREEN
E23	MECHANICAL LOUVER
E24	SOLID WALL COLOUR BLACK



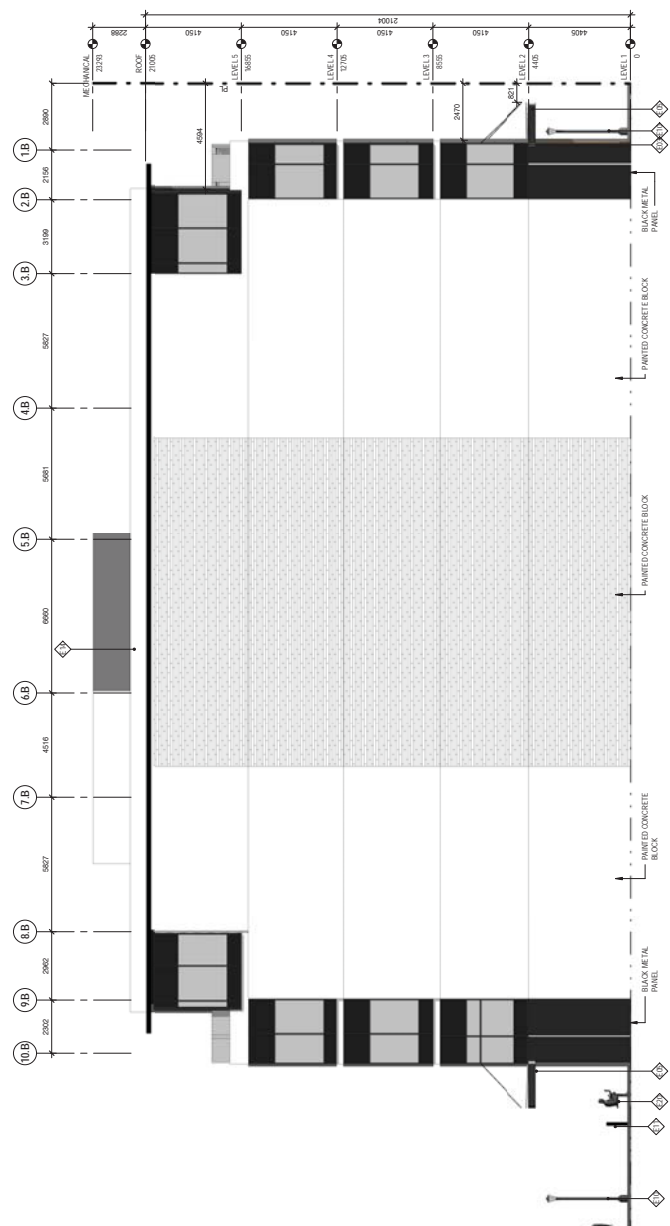
SCHEDULE B

This forms part of application # HRA22-0001

Planner Initials BC

City of Kelowna
DEVELOPMENT PLANNING

3 BUILDING B ELEVATION 3
A:30 SCALE: 1:100





PROJECT NO.	2022-001
PROJECT NAME	KELOWNA TRAIN STATION
DATE	2022-04-28
SCALE	1:100
DESIGNED BY	ARCHITECTURE
DRAWN BY	ARCHITECTURE
CHECKED BY	ARCHITECTURE
APPROVED BY	ARCHITECTURE

PROJECT NO.



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KELOWNA TRAIN STATION SITE

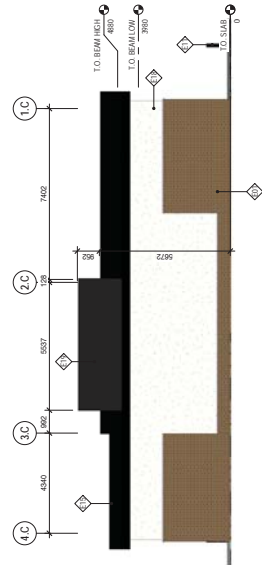
KELOWNA, BC

EXTERIOR ELEVATIONS BUILDING C

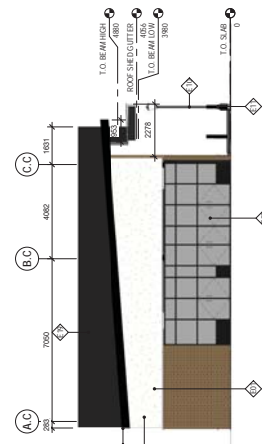
DATE: 2022-04-28

PROJECT NO.	2022-001
SCALE	1:100
DESIGNED BY	ARCHITECTURE
DRAWN BY	ARCHITECTURE
CHECKED BY	ARCHITECTURE
APPROVED BY	ARCHITECTURE

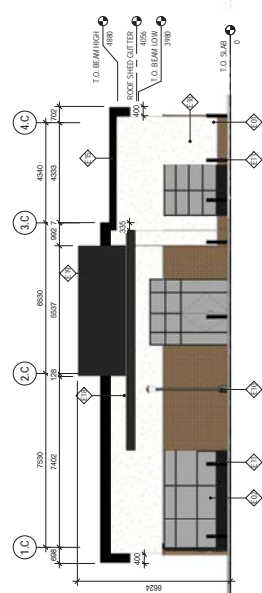
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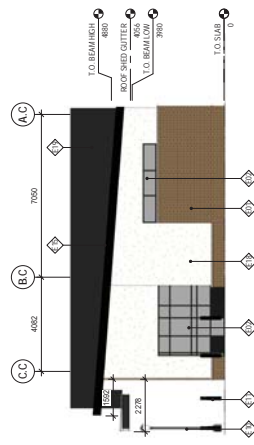
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SCALE: 1:100



2. BUILDING C ELEVATION 2
SCALE: 1:100

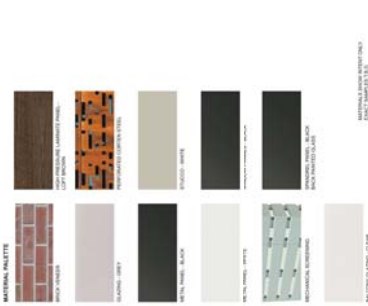


3. BUILDING C ELEVATION 3
SCALE: 1:100



4. BUILDING C ELEVATION 4
SCALE: 1:100

VALUE	DESCRIPTION
E01	BRICK VENEER CLADDING
E02	GLAZING
E03	SPANDREL PANEL BLACK PAINTED GLASS
E04	METAL PANEL COLOUR WHITE
E05	METAL CANOPY
E06	PERFORATED CORTEN STEEL PANEL
E07	PAVING COURSE FRONT ENTRY DOOR
E08	HANGING SIGN
E09	CLEAR GLASS RAILING
E10	STREET LIGHT
E11	CONCRETE FILLED STEEL BOLLARDS
E12	MECHANICAL EQUIPMENT
E13	METAL PANEL COLOUR BLACK
E14	WOLK WASTE COLLECTION
E15	METAL DOOR
E16	PAVING COURSE FRONT ENTRY DOOR
E17	STREET BEZEL
E18	METAL PANEL DARK WALNUT WOOD LOOK
E19	MECHANICAL DOOR
E20	ROOFTOP MECHANICAL SCREEN
E21	MECHANICAL SCREEN
E22	SOLID WALL COLOUR BLACK



SCHEDULE B
This forms part of application # HRA22-0001
Planner initials BC
City of Kelowna
DEVELOPMENT PLANNING



RENDERED VIEW LOOKING NORTH ABOVE CLERMONT AVE



RENDERED VIEW LOOKING NORTH/EAST FROM ELLIS STREET

SCHEDULE B

This forms part of application # HRA22-0001

Planner Initials **BC**

City of Kelowna
DEVELOPMENT PLANNING

1885 Park Road, Kelowna, B.C. V1Y 9H6
Tel: 250-860-7777
www.kasian.ca

Kasian Architects and Planning Ltd



NO.	REVISION/DESCRIPTION	DATE

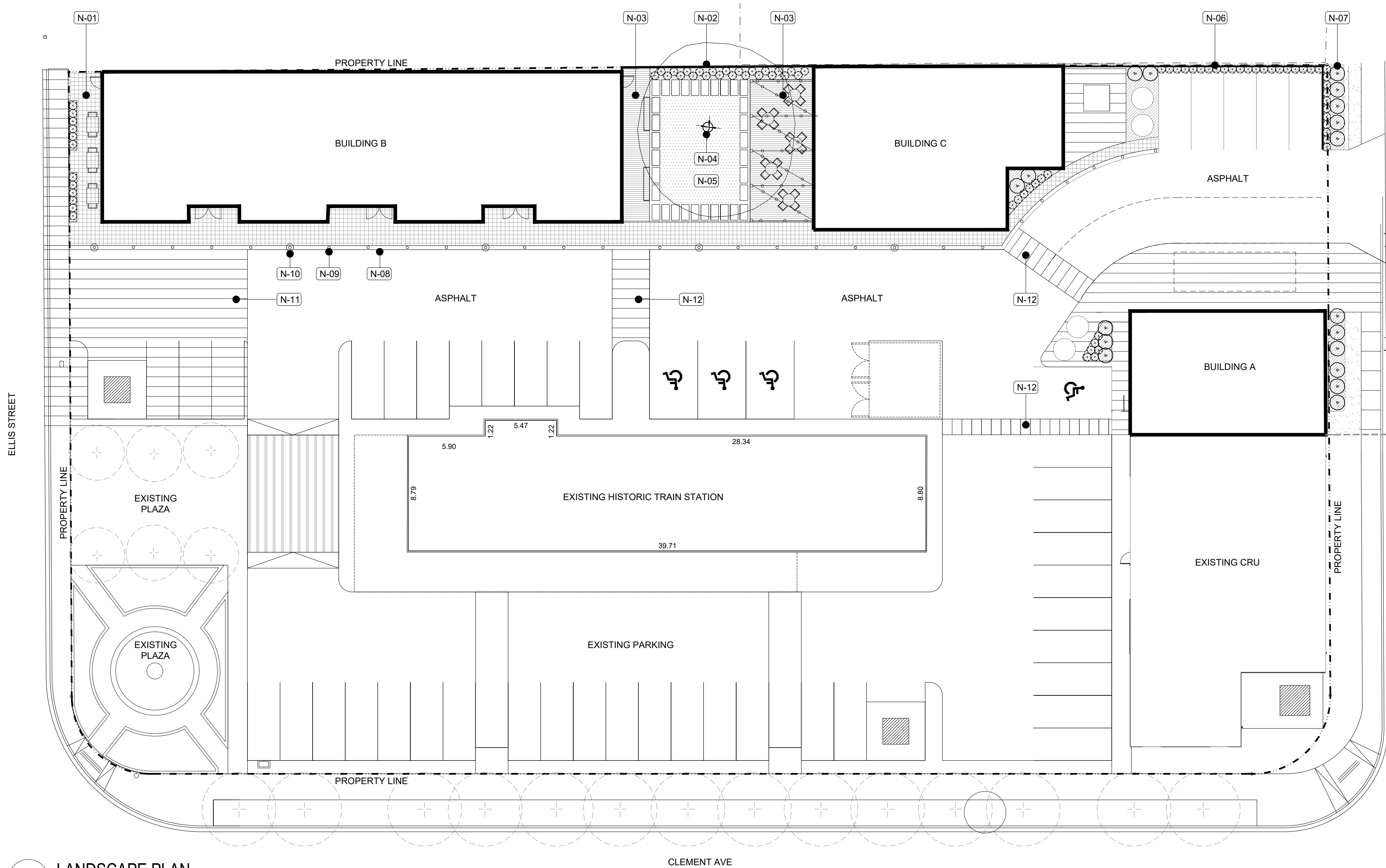
PROJECT: 2022-01-28
DRAWING NO.: 20109
SCALE:
DATE: 2022-04-29

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PROJECT: KELOWNA TRAIN STATION SITE
DRAWING TITLE: KELOWNA, BC
EXTERIOR RENDERERS - SHEET 1

ISSUED BY: [Name]

PROJECT NO.	20109
DRAWING NO.	A-304
DATE	2022-04-29
DRAWN BY	[Name]
CHECKED BY	[Name]
DATE	[Date]



LEGEND

- SYMBOL**
- MEADOW: EAGLE LAKE NATURES TURF MATS
 - SOD: MANDERLEY LESS WATER SOD ON 150mm DEPTH TOPSOIL
 - MULCH: SHREDDED BARK MULCH
 - WOOD DECKING: YELLOW BALAU
 - PERMEABLE PAVERS
 - PRECAST PAVER SLABS
 - CONCRETE TO MATCH EXISTING TRAIN STATION CROSSINGS/ PLAZA
 - TYPICAL BENCH
 - TIVOLI CATENARY LIGHTS

SITE ELEMENTS

- N-01 ENTRY PLAZA W/ BISTRO TABLES
- N-02 ART WALL
- N-03 WOOD PATIO DECK ON SLEEPERS TO MINIMIZE ROOT DISTURBANCE
- N-04 EXISTING GINKGO TREE TO BE PROTECTED
- N-05 MEADOW W/ CONCRETE PAVER SLAB STEPPING STONES
- N-06 LIGHT SCREEN FENCE W/ GRASS HEDGE
- N-07 BOULEVARD PLANTING AREA
- N-08 FLUSH CONCRETE CURB
- N-09 TYPICAL DECORATIVE BOLLARDS TO DEFINE ROAD ENTRY
- N-10 DECORATIVE PEDESTRIAN LIGHT FIXTURE W/ HANGING BASKETS + SPEAKERS
- N-11 ENLARGED CONCRETE CROSSING TO CONTINUE PLAZA WIDTH ACROSS ENTRY
- N-12 FLUSH CONCRETE CROSSINGS TO MATCH EXISTING TRAIN STATION FINISH

PLANT LIST

Deciduous Trees		Common Name	Planting Size	Qty
Symbol	Scientific Name	Swedish Columnar Aspen	75mm CAL. B&B, Min. 900mm WD X 600mm Depth Root Ball.	11
Pte	Populus tremuloides 'Erecta'			
Grasses		Common Name	Planting Size	Qty
Symbol	Scientific Name	Karl Foerster Feather Reed Grass	15cm, #2 pot	84
Kf	Calamagrotis acutifolia 'Karl Foerster'			

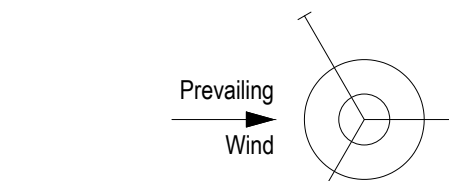
Note:

In case of discrepancy between planting plan and plant list quantities shown on plant list shall take precedence.

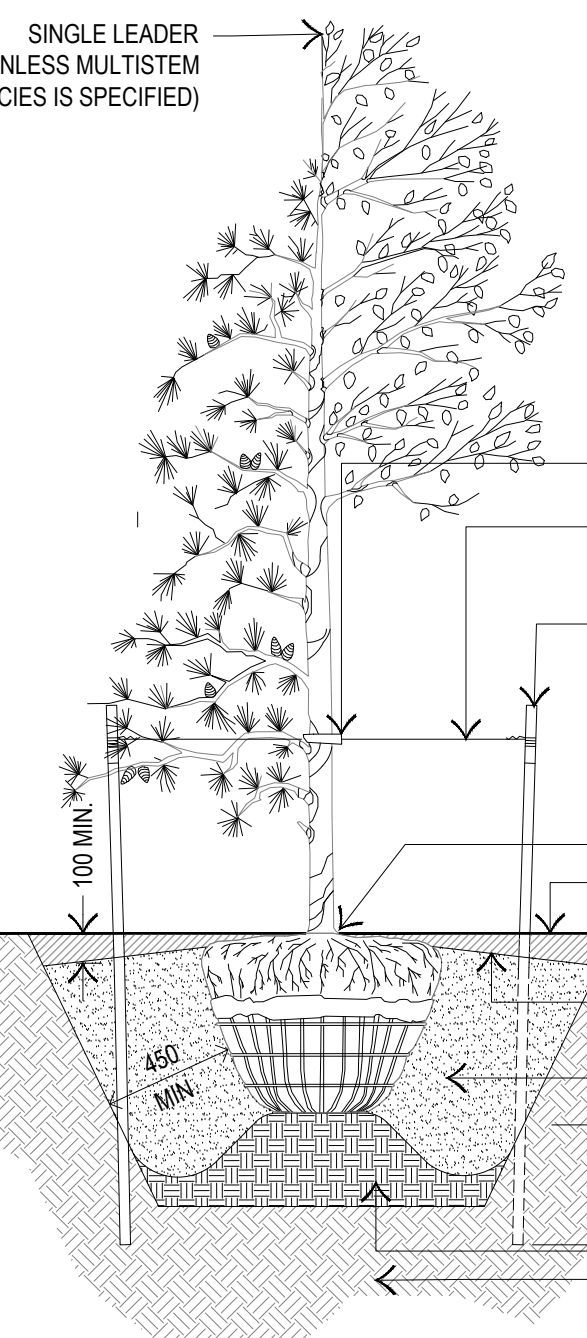
GENERAL NOTES

- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF KELOWNA SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
- ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK
- ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS OR INDIVIDUAL MULCHED TREE WELLS
- ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH
- ALL LANDSCAPE AREAS TO BE EQUIPPED WITH AN AUTOMATIC LOW-WATER HIGH EFFICIENCY IRRIGATION SYSTEM.

TREE STAKING PLAN



CONIFEROUS
Less than 3.0m height
40mm-100mm Caliper
Spade Hole Preparation for Basket or Ball & Burlap Trees



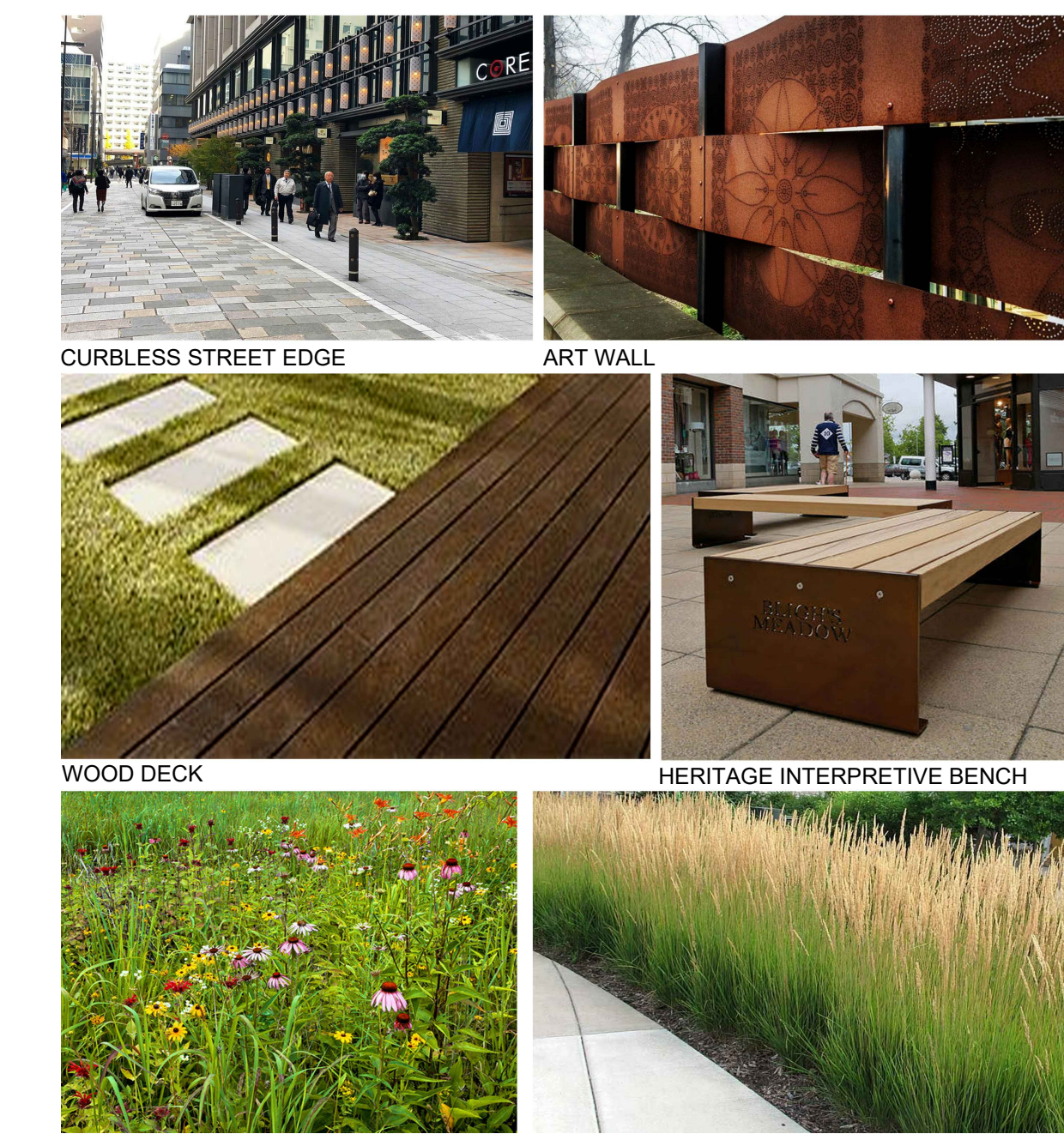
NOTES:

- ALL WORK COMPONENTS AND WORKMANSHIP TO CONFORM TO SPECIFICATION SECTION 02930 TREES, SHRUBS AND GROUNDCOVERS AS WELL AS THE RELATED SECTIONS.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- STAKE BEYOND EDGE OF ROOT BALL. IF MINIMUM SETBACKS PERMIT POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS OR IF IN THE BOULEVARD THE STAKES SHOULD BE IN LINE WITH THE DIRECTION OF TRAFFIC.
- ALL TREE STAKES TO MAINTAIN MIN. 1.0m CLEARANCE FROM ALL UG POWER, TELEPHONE AND GAS ALIGNMENTS.
- TREE SHOULD BE PLANTED 75mm-100mm BELOW GROUND LEVEL.
- T-BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (AT LEAST 400mm INTO SUB-SOIL BASE).
- IF TREE IS IN WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL VERTICAL WIRES OF THE WIRE BASKET TO A MINIMUM DEPTH OF 200mm FROM THE TOP OF THE ROOT BALL. PULL BACK BURLAP TO THIS SAME MINIMUM DEPTH.
- USE RUBBER STRAPS AT ENDS OF ALL GUY WIRES TO PROTECT THE TREE AT POINT OF CONTACT.
- PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF TREE.
- DIG ALL ROOT HOLES BY HAND WHEN CLOSER THAN 1.0m TO UG POWER, TELEPHONE AND GAS ALIGNMENTS (REFER TO SECTION 7.6.2 AND 7.6.3 WHEN CLEARANCE CANNOT BE MAINTAINED FOR ANY EXCAVATIONS).

- 12mm RUBBER STRAP POSITIONED AT APPROX 3/5 HT. - WIRE DOES NOT WRAP AROUND TREE
- 11 GAUGE GUY WIRE OR 2mm BRAIDED NYLON STRAP WITH FLUORESCENT ORANGE FLAGGING ON ALL GUY WIRES
- USE TWO VERTICAL STAKES PER TREE: TREE STAKES MIN. 2.0m LENGTH, PLAIN T-POSTS C/W 7 FURCHED HOLES OR TEETH NOTCHES
- ALL EXPOSED PORTIONS OF TREE STAKES FREE OF RUST, SCALED, PRIMED & PAINTED
- TOP 300mm OF ALL TREE STAKES TO PAINTED TO MATCH ANNUAL COLOUR CODES.
- ROOT FLARE AT GRADE
- 100mm MIN. MULCH, STARTING 50mm FROM ROOT FLARE (TRUNK) & EXTENDING THE HOLE SUBGRADE
- SLOPE TOPSOIL FROM ROOT FLARE TO EDGE OF HOLE TO FORM WELL
- CLASS 'B' TOPSOIL MIX MODERATELY PACKED - REFER TO TOPSOIL SPECIFICATIONS
- COMPACTED CLAY BELOW ROOT BALL
- UNDISTURBED NATIVE SOIL

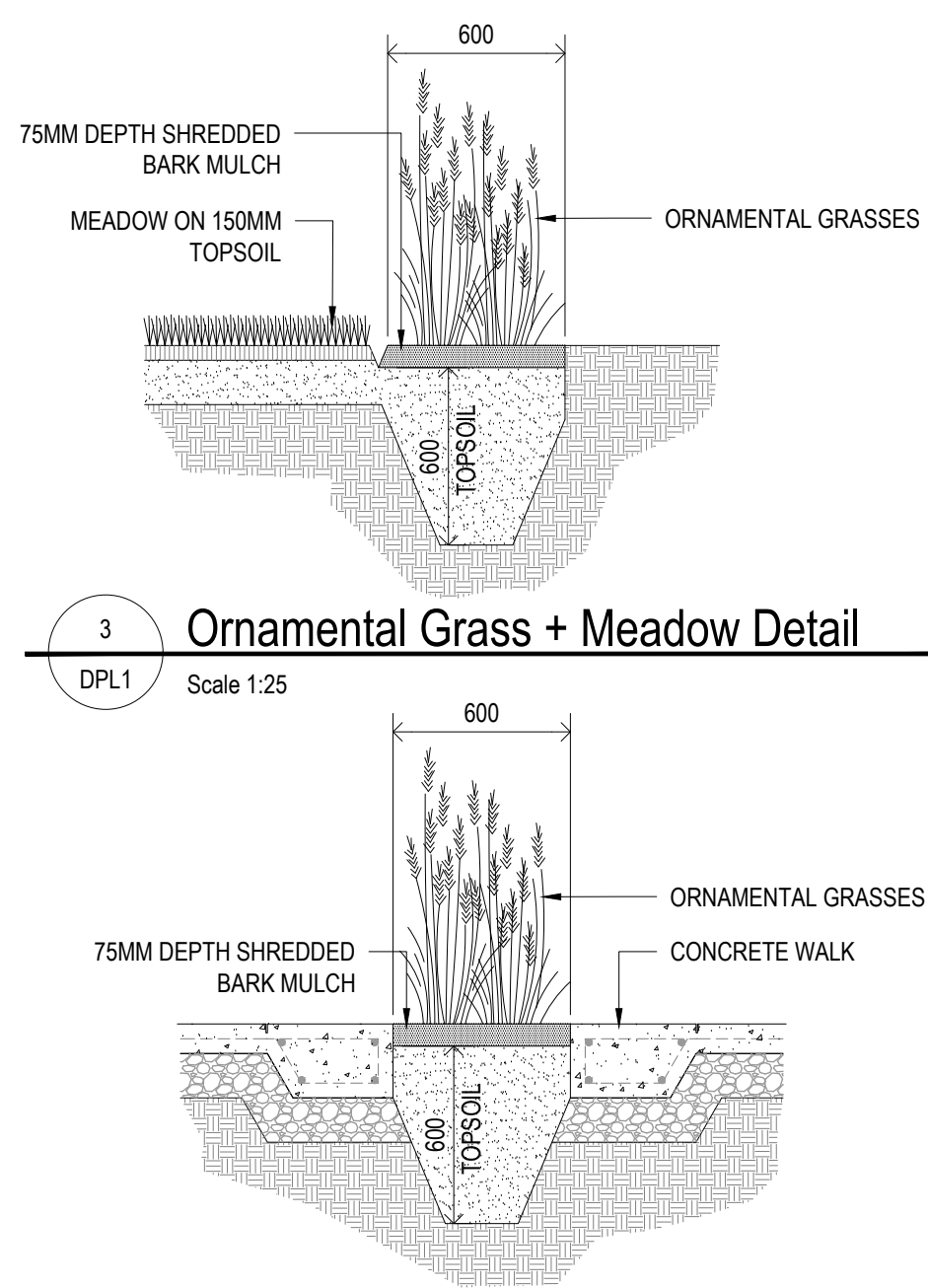
1 LANDSCAPE PLAN

DPL1 Scale 1:200



2 Design Precedents + Material Language

DPL1 Scale 1:25

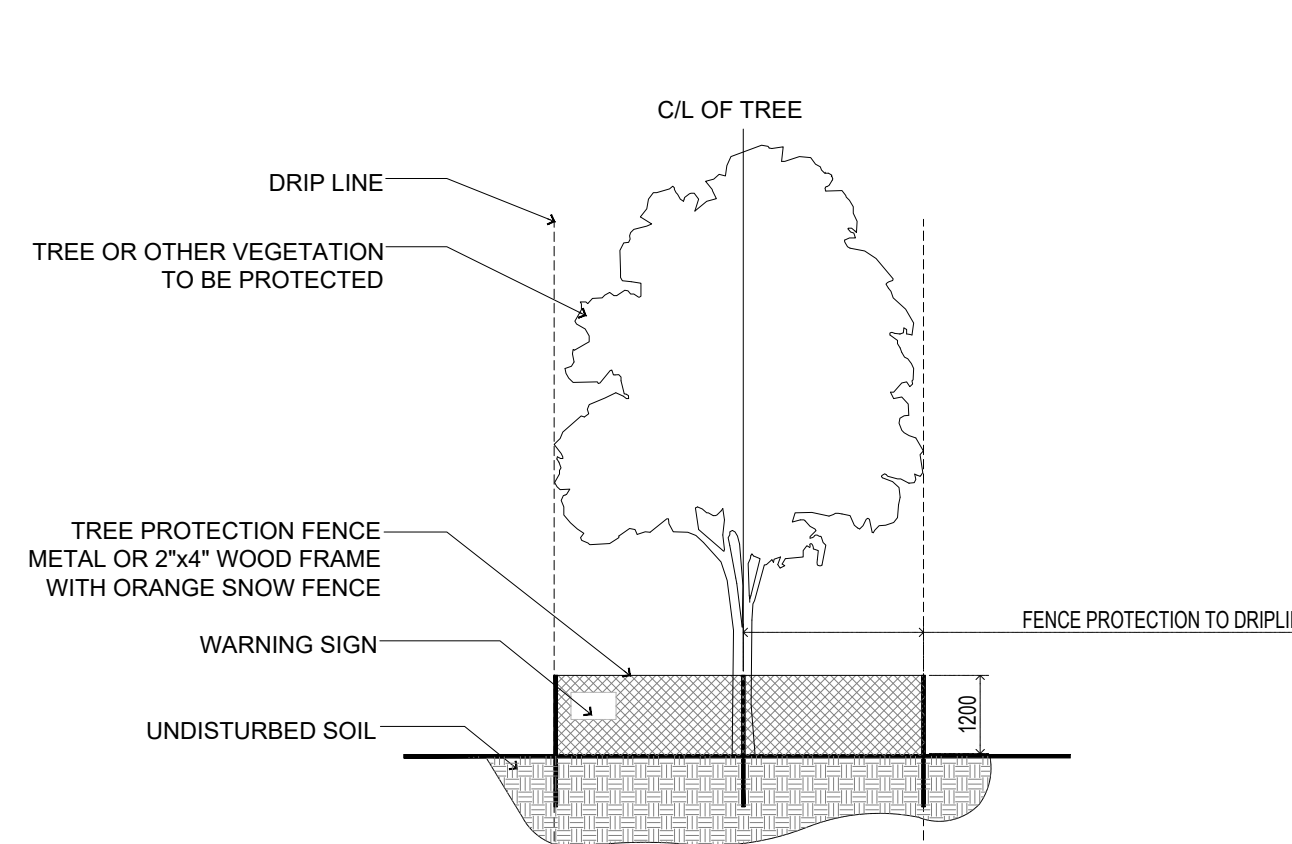


3 Ornamental Grass + Meadow Detail

DPL1 Scale 1:25

4 Ornamental Grass Planter

DPL1 Scale 1:25



TREE PROTECTION NOTES:

- THE FENCING OR BARRIER MATERIAL SHALL BE DURABLE, AND A BRIGHT, CONTRASTING COLOUR.
- FENCE POSTS SHALL BE COMPARABLE TO METAL T-POSTS OR HEAVIER.
- FENCE WILL BE MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF THE PROJECT.
- A WARNING SIGN WILL BE DISPLAYED ON EACH FENCE OR BARRIER.
- THE WARNING SIGN SHALL BE A MINIMUM OF 30.5 X 40.5 AND CLEARLY STATE "WARNING - TREE PROTECTION ZONE"
- STORAGE OF BUILDING MATERIALS AND SOIL IS PROHIBITED IN THE TREE PROTECTION ZONE.
- CONSTRUCTION DISTURBANCE NOT TO OCCUR WITHIN 4 METERS OF TREE TRUNK AND TO A SOIL DEPTH OF 1.5 METERS. THE TREE CANOPY IS PROTECTED TO THE DRIFLINE.
- ALL TREES TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION.

5 Tree Protection Detail

DPL1 NTS

6 Typical Tree Planting Detail

DPL1 1:25



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Vancouver, BC Canada V6G 2Z6
T 604 683 4145 F 604 683 2827
www.kasian.com

SCHEDULE C

This forms part of application
HRA22-0001

Planner Initials **BC**



REV	YYYY-MM-DD	ISSUED FOR DP	REVISION / DRAWING ISSUE	REVIEW
1	2022.10.18	ISSUED FOR DP		

CONSULTANT	PERMIT STAMP	SEAL



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18 OCT 18 2022

KELOWNA TRAIN STATION
KELOWNA, BC

LANDSCAPE PLAN

ISSUED FOR DP

PROJECT NO.	PLOT DATE	2022-04-28	DRAWN	Author
230109	SCALE		REVIEWED	Checker
DRAWING NO.	DPL-1			REVISION
				1

[SMM]

SCHEDULE		C
This forms part of application		
# HRA22-0001		
Planner Initials	BC	 City of Kelowna <small>DEVELOPMENT PLANNING</small>

Kelowna Train Station 1175+1177 Ellis Street | Budget Cost Estimate: On Site Landscape Works

Date: September 25, 2023

Project Name: Kelowna Train Station

Prepared by: Scatliff+ Miller+ Murray inc. [SMM]

1.0 Softscape

Item	Description	Qty	Unit	Unit Cost	Total Estimated Cost
1.1	Deciduous Trees - 75mm caliper	11	ea	\$700.00	\$7,700.00
1.2	Ornamental Grasses	84	ea	\$25.00	\$2,100.00
1.3	Sod	24	m2	\$9.00	\$216.00
1.4	Meadow	52	m2	\$90.00	\$4,680.00
1.5	Wood Bark Mulch	66	m2	\$35.00	\$2,310.00
1.6	Topsoil	40	m3	\$50.00	\$2,000.00
1.7	Irrigation	1	ls	\$25000.00	\$25,000.00

Softscape Sub-total: \$44,006.00

2.0 Hardscape

Item	Description	Qty	Unit	Unit Cost	Total Estimated Cost
2.1	Wood Decking	79	m2	\$300.00	\$23,700.00
2.2	Precast Pavers	32	ea	\$150.00	\$4,800.00
2.3	Permeable Pavers	166	m2	\$235.00	\$39,010.00

Hardscape Sub-total: \$67,510.00

3.0 Site Furnishings

Item	Description	Qty	Unit	Unit Cost	Total Estimated Cost
3.1	Benches	2	ea	\$3000.00	\$6,000.00
3.2	Bike Racks	3	ea	\$1500.00	\$4,500.00
3.3	Landscape Lighting	1	ls	\$15000.00	\$15,000.00

Site Furnishings Sub-total: \$25,500.00

TOTAL ON SITE LANDSCAPE WORKS: \$137,016.00
25% of total value \$34,254.00

GRAND TOTAL ON SITE LANDSCAPE WORKS: \$171,270.00

[SMM]

SCHEDULE		C
This forms part of application		
# HRA22-0001		
Planner Initials	BC	 City of Kelowna DEVELOPMENT PLANNING

We trust you will find the above in order.

Sincerely,

SCATLIFF+MILLER+MURRAY landscape architects



Deron Miller Principal BES MLArch BCSLA AALA CSLA


KELOWNA HERITAGE TRAIN STATION

- R ROOF:**
 - R1 - ASPHALT SHINGLES to be replaced with a synthetic cedar shake tile. (ie. Ecostar - Seneca Cedar Shake Tiles)
 - COLOUR to be red
 - R2 - GABLES on the hipped roof to be rehabilitated.
 - R3 - CHIMNEY is generally intact. The top exposed row of brick to be repointed.
 - STUCCO to be repainted colour to match existing.
 - R4 - SWEPT EYEBROW WINDOWS to have the boarding removed and the sash & frames rehabilitated.
- S STUCCO:**
 - S1 - Minor repairs required
 - REPAINTED with breathable masonry paint to match existing for reasons of consistency
 - S2 - SOFFIT to be rehabilitated. Finish to match S1.
- B BRICK:**
 - B1 - PAINT to be removed to expose the original brick surface. (Initial testing is required to review feasibility)
 - or
 - REPAINTED with breathable masonry paint to match existing for reasons of consistency
- F FIELD STONE:**
 - F1 - PAINT to be removed to expose the original stone surface.
- SC STONE COPING:**
 - SC1 - PAINT to be removed to expose the original stone surface.
- W WINDOWS:**
 - W1 - Where window sashes have been previously removed/replaced; in these locations the pattern of the original sash (ie. Double hung window with transom above) will be re-established, but with a modern window which would include a clear sealed glazing unit; this will provide the thermal performance desired.
 - W2 - Existing original wood windows at the 'bump out' on the north side, all of the west side, and, a few along the south side. At these locations the wood frames and sash are to be rehabilitated, and, a clear sealed unit be installed on the interior face. The cavity between the old single glazing and the new sealed unit will be vented in order to create a rain screen; install two drilled screens/vents on the top and bottom rails.
- RE REINSTATED**
 - RE - Window and/or Doors
- D DOORS:**
 - D1 - Original wood doors appear to be in reasonable condition. Doors are to be stripped, refinished and reused. Hardware will likely need to be replaced.
- ML MECHANICAL LOUVERS:**
 - ML - Potential locations of mechanical louvers. (Intake & Backdraft)
- G GUTTERS/EAVESTROUGH:**
 - G - New gutter/eavestrough system to be installed

PATIO SCREEN (Design and installation by tenant, approval by landlord)

- 1** WROUGHT IRON SCREENING FENCE
- 2** CULTURED STONE
- 3** PATIO HEATER

SCHEDULE	D
This forms part of application # HRA22-0001	
Planner Initials	BC
 City of Kelowna <small>DEVELOPMENT PLANNING</small>	

	PROJECT	KELOWNA HERITAGE TRAIN STATION - PHASE I	ISSUED FOR:	HERITAGE ALTERATION PERMIT SUBMISSION	PROJECT NO.	9635	DWG REF	N/A
	DWG TITLE	BUILDING ASSESSMENT NOTES		ISSUE DATE	09-10-01	SCALE	N/A	DWG NO.
					DRAWN	AC		
					REVIEW	GG		

SCHEDULE D

This forms part of application
HRA22-0001

Planner Initials **BC**



City of **Kelowna**
DEVELOPMENT PLANNING

DEVELOPMENT INFORMATION:

- 1) HERITAGE ALTERATION PERMIT #
- TBD (THE CITY OF KELOWNA)
- 2) HERITAGE ALTERATION PERMIT SUBMISSION IS IN ACCORDANCE WITH THE FOLLOWING DOCUMENTS AS PROVIDED BY THE CITY OF KELOWNA:
 - PRE-APPLICATION MEETINGS WITH THE CITY OF KELOWNA
 - HERITAGE REVITALIZATION AGREEMENT
 - NORTH AREA STRUCTURE PLAN
 - CITY OF KELOWNA CONSOLIDATED ZONING BYLAW NO. 8000
- 3) LEGAL ADDRESS:
- LOT A, D.L. 139, ODYD, PLAN KAP 68238
- 4) MUNICIPAL ADDRESS:
- 520 CLEMENT AVENUE, KELOWNA, B.C.
- 5) ZONING:
- I-2 GENERAL INDUSTRIAL
(TBD - REZONING TO C4lp TOWN CENTRE COMMERCIAL)
- 6) OVERALL SITE AREA
- 5,218 SQ.M. (56,166 SQ.FT.) OR 1.29 ACRES
- 7) PHASE I - DEVELOPED SITE AREA
- 1.29 ACRES
- 8) TOTAL EXISTING TREES ON SITE
- 1 (HERITAGE TREE)

BUILDING CODE SUMMARY:

- 1) DESIGN & CONSTRUCTION TO BE IN ACCORDANCE WITH:
 - BRITISH COLUMBIA BUILDING CODE 2006
 - DIVISION A (APPENDIX A - HERITAGE BUILDINGS)
- 2) USE AND OCCUPANCY:
 - SINGLE OCCUPANCY
 - GROUP A (ASSEMBLY)
 - DIVISION 2
- 3) OCCUPANT LOAD:
 - 130 PERSONS (DINNING & BEVERAGE)
- 4) FULLY SPRINKLERED:
 - REFER TO DIVISION A (APPENDIX A - HERITAGE BUILDINGS)
- 5) ONE STOREY BUILDING:
- 6) BASIC CONSTRUCTION REQUIREMENTS
 - NONCOMBUSTIBLE CONSTRUCTION
 - ROOF MAY BE OF COMBUSTIBLE CONSTRUCTION (PROVIDED THE BUILDING IS SPRINKLERED)
- 7) FIRE SEPARATIONS:
 - 1HR FIRE SEPARATION IS ACCEPTABLE (PROVIDED THE BUILDING IS SPRINKLERED)
- 8) EXITING & EGRESS:
 - MAXIMUM TRAVEL DISTANCE TO EXIT - 45M (PROVIDED THE BUILDING IS SPRINKLERED)
- 9) BARRIER FREE REQUIREMENTS:
 - AS PER BCBC 3.8.4.5.


DRAWING LIST:

ARCHITECTURAL:

- A0-00 - COVER SHEET
- A0-01 - PROJECT DATA
- A0-02 - SITE PHOTOS
- A0-03 - SITE SURVEY
- A1-01 - SITE PLAN
- A2-01 - FLOOR PLAN
- A4-01 - ELEVATIONS
- A4-01.1 - GENERAL NOTES
- AR-01 - PERSPECTIVE VIEW - SW CORNER
- AR-02 - PERSPECTIVE VIEW - SE CORNER
- AR-03 - PERSPECTIVE VIEW - NE CORNER
- AR-04 - PERSPECTIVE VIEW - NW CORNER
- AR-05 - PERSPECTIVE VIEW - SW CORNER VIGNETTE HERITAGE GARDEN AND TRAIN STATION

LANDSCAPE:

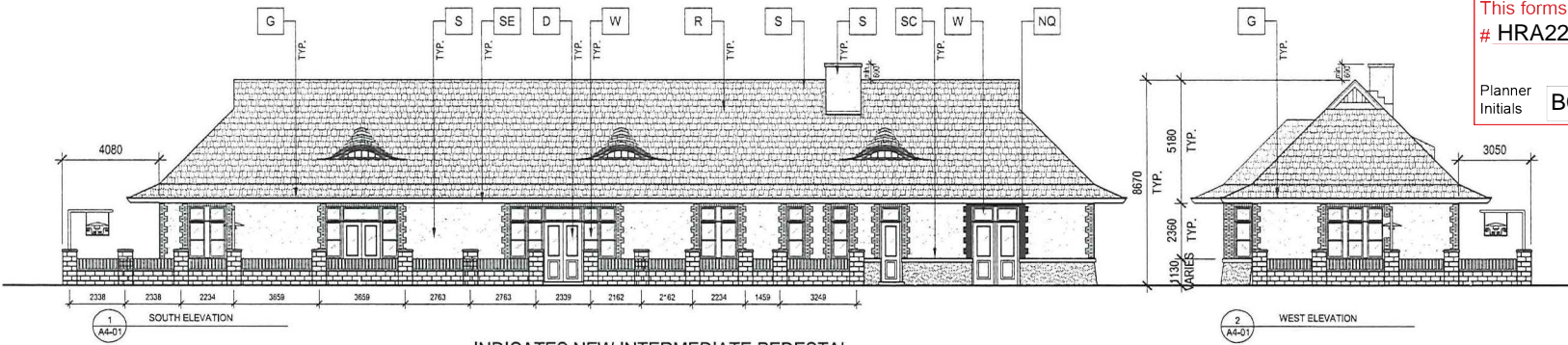
- L-0 - LANDSCAPE PLAN RENDERING
- L-1 - LANDSCAPE CONCEPT PLAN
- L-2 - HERITAGE GARDEN (PLANT SPECIES)
- L-3 - PRECEDENT IMAGES

	PROJECT	KELOWNA HERITAGE TRAIN STATION - PHASE I	ISSUED FOR:	HERITAGE ALTERATION PERMIT SUBMISSION	PROJECT NO.	9635	DWG REF	N/A
	DWG TITLE	PROJECT DATA		SCALE	N/A	ISSUE DATE	09-10-01	DWG NO.
					GRAPH	AC		
					REVIEW	GG		

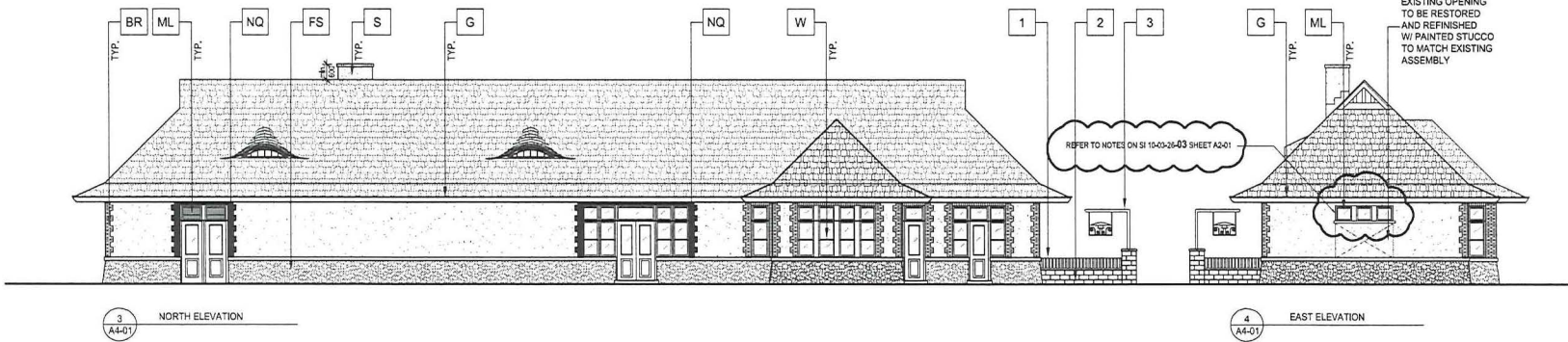
SCHEDULE D

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Planner Initials BC

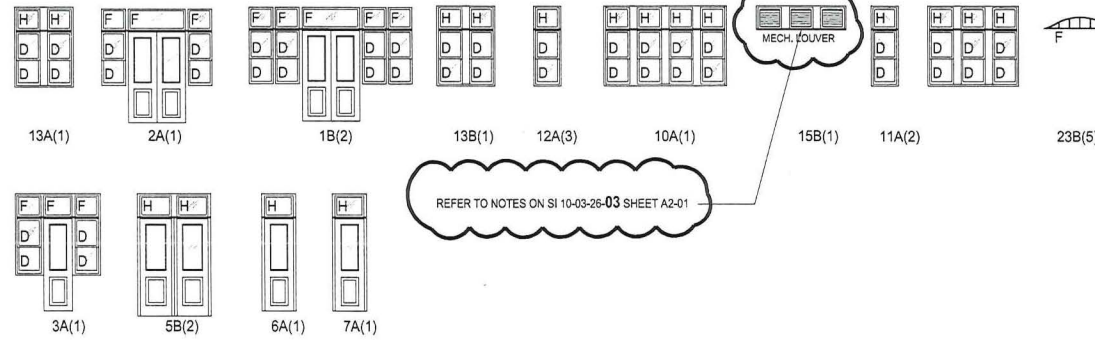


INDICATES NEW INTERMEDIATE PEDESTAL



LEGEND

- R EXISTING ASPHALT SHINGLES TO BE REMOVED & REPLACED WITH NEW SYNTHETIC ROOF TILES
 - S STUCCO
 - SE STUCCO AT SOFFIT
 - BR BRICK
 - FS FIELD STONE
 - SC STONE COPING
 - W WINDOWS (REFER TO WINDOW & DOOR SCHEDULE)
 - D DOORS (REFER TO WINDOW & DOOR SCHEDULE)
 - ML MECHANICAL LOUVERS
 - G GUTTERS EAVESTROUGH & FASCIA
 - NQ NEW BRICK QUONING
- PATIO SCREEN (Design and installation by tenant; approval by landlord)
 - 1 WROUGHT IRON SCREENING FENCE
 - 2 CULTURED STONE
 - 3 PATIO HEATER



WINDOW ASSEMBLY AND DOOR SCHEDULE

- LEGEND**
- F= FIXED
 - H= HOPPER
 - D= DOUBLE HUNG
 - A= ORIGINAL FRAME TO BE REUSED
 - B= NEW FRAMING TO BE PROVIDED

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PROJECT	
KELOWNA HERITAGE TRAIN STATION	
PHASE 1-B	
DRAWING TITLE	
ELEVATIONS	
DRAWING ISSUES	
KHTS 1b SI 10-03-26-03	
PROJECT NO. 9635	PLF. DATE 2010-03-26
SCALE 1:100	
DRAWING NO. A4-01	REVISION

LEGEND

SITE AREA
 APPROXIMATELY 5.210 SQ.M. (56,166 SQ.FT.) OR 1.29 ACRES

CITY OF KELOWNA
 CONSOLIDATED ZONING BYLAW NO. 8200

GENERAL NOTES:
 (REFER TO DOCUMENT FOR DETAILS/EXCEPTIONS)

C4b - URBAN CENTRE COMMERCIAL

F.A.R. = 1.0 (COMMERCIAL DEVELOPMENT ONLY)
 F.A.R. = 1.3 (MIXED-USED DEVELOPMENT) = 6,783 SQ.M.




MAXIMUM SITE COVERAGE = 75%
 MAXIMUM HEIGHT = LESSER OF 15.0M OR 4 STOREYS

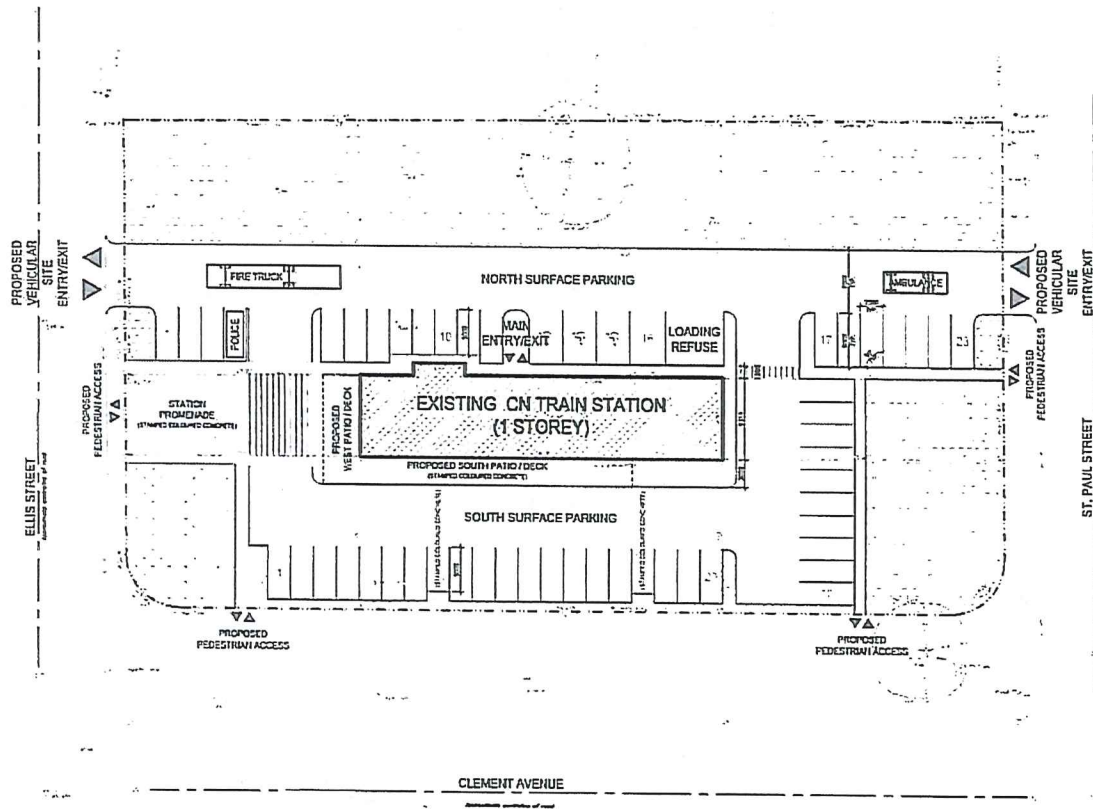
PARKING = 1.75 PARKING STALLS / 100 SQ.M. GFA
 = 4 PARKING STALLS REQUIRED

SUMMARY (AS REFLECTED IN THIS CONCEPT SKETCH)
 TOTAL G.F.A. = 356.0 SQ.M. (3,832 SQ.FT.)
 F.A.R. = .668
 SITE COVERAGE 6.6%

PARKING & LOADING


SURFACE
 24 STALLS (NORTH)
 03 STALLS DISABLED (NORTH)
 26 STALLS (SOUTH)
 53 STALLS TOTAL

-  EXISTING CN TRAIN STATION FOOTPRINT 356.0 SQ.M. (3,832 SQ.FT)
-  RESERVED FOR HERITAGE GARDEN (REFER TO LANDSCAPE DRAWINGS)
-  LANDSCAPED AREAS (REFER TO LANDSCAPE DRAWINGS)



ALL DIMENSIONS TO BE
 CONFIRMED ON SITE




	PROJECT	KELOWNA HERITAGE TRAIN STATION - PHASE I	ISSUED FOR: HERITAGE ALTERATION PERMIT SUBMISSION	PROJECT NO.	9635	DWG REF	N/A
	DWG TITLE	SITE PLAN		ISSUE DATE	09-10-01	SCALE	1:500
				DRAWN	AC		
				REVIEW	GG		



SCHEDULE D

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HRA22-0001

Planner Initials BC



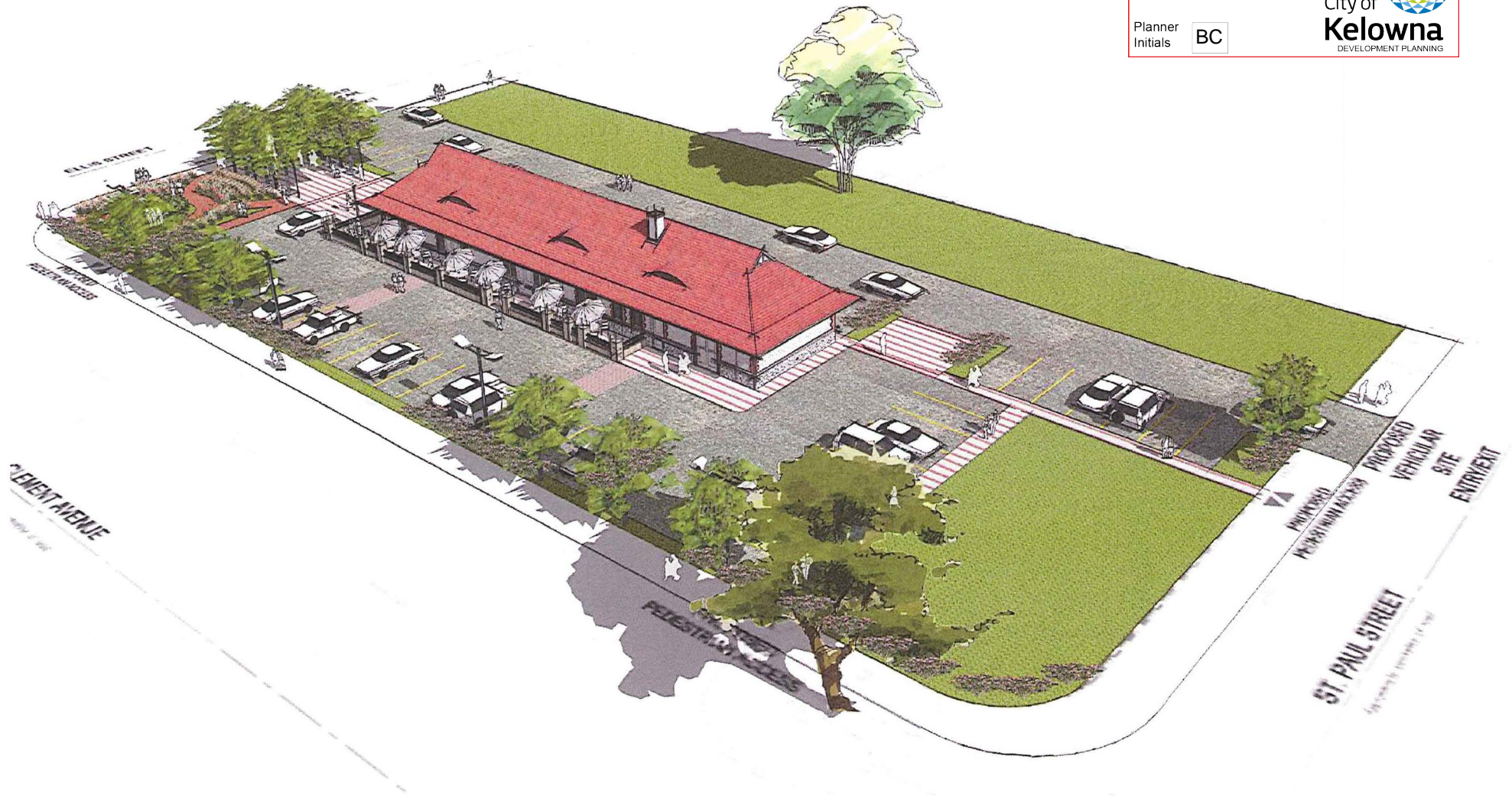
City of
Kelowna
DEVELOPMENT PLANNING



PROJECT	KELOWNA HERITAGE TRAIN STATION - PHASE I
DWG TITLE	VIEW OF SOUTHWEST CORNER VIGNETTE - HERITAGE GARDEN AND TRAIN STATION

ISSUED FOR: HERITAGE ALTERATION PERMIT SUBMISSION	PROJECT NO.	9635	DWG REF	N/A
	ISSUE DATE	09-11-03	SCALE	N/A
	DRAWN	AC	DWG NO.	AR-05
	REVIEW	GG		

SCHEDULE		D
This forms part of application # HRA22-0001		
Planner Initials	BC	 City of Kelowna DEVELOPMENT PLANNING



PROJECT	KELOWNA HERITAGE TRAIN STATION - PHASE I
DWG TITLE	VIEW OF SOUTHEAST CORNER

ISSUED FOR:	HERITAGE ALTERATION PERMIT SUBMISSION	PROJECT NO.	9635	DWG REF	N/A
		ISSUE DATE	09-11-03		
		SCALE	N/A	DWG NO.	AR-02
		DRAWN	AC		
		REVIEW	GG		

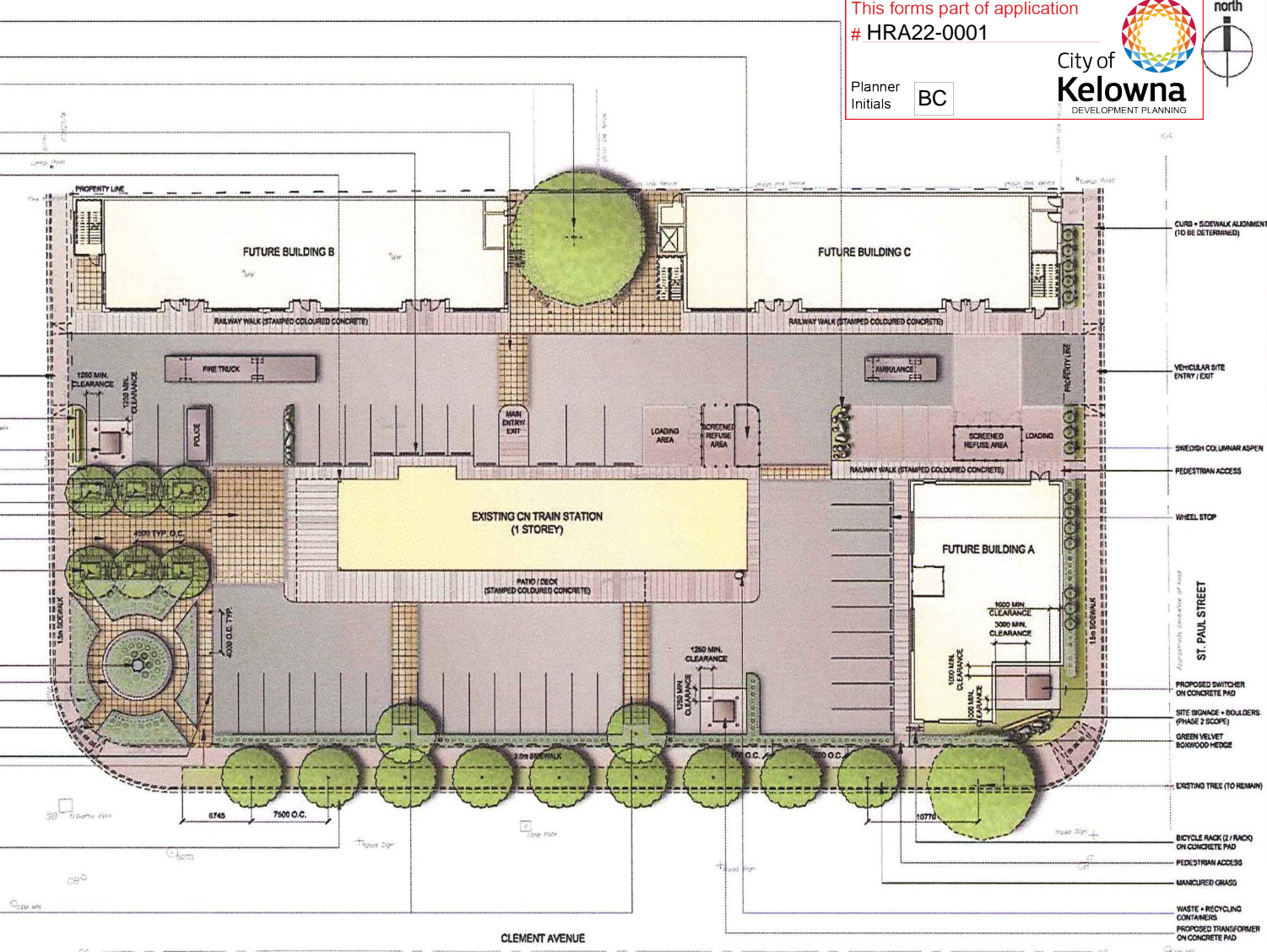
SCHEDULE E

This forms part of application
HRA22-0001

Planner Initials **BC**



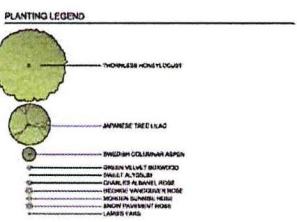
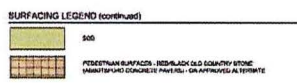
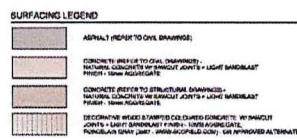
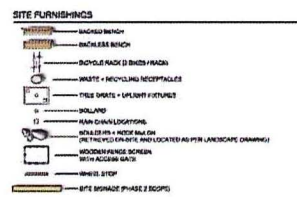
- BOULDERS + ROCK MULCH (BOULDERS TO BE RETRIEVED ON-SITE + LOCATED AS PER LANDSCAPE DRAWING)
- PROPOSED PHASE 1 CONDENSER UNIT ON CONCRETE PAD + WOODEN FENCE SCREEN
- EXISTING GINKGO TREE (TO REMAIN)
- SPEED BUMP (CONCRETE PAVEMENT)
- WHEEL STOP
- RAIN CHAIN LOCATIONS (2)
- VEHICULAR SITE ENTRY / EXIT
- SITE SIGNAGE (PHASE 2 SCOPE)
- PROPOSED TRANSFORMER ON CONCRETE PAD
- JAPANESE TREE LILAC
- BICYCLE RACK (2 / RACK)
- BACKED BENCH
- ELEVATED PEDESTRIAN CROSSWALK (CONCRETE PAVEMENT)
- PEDESTRIAN ACCESS (CONCRETE PAVEMENT)
- TREE GRATE (1225 X 1830) AT TREE TRENCH + UPPLANTS
- ELLIS STREET
- SCULPTURAL ELEMENT (SCULPTURE: TENGCKED DEPARTMENT)
- CONCRETE BENCH/PLANTER WALL
- HERITAGE GARDEN
- CONCRETE PAVEMENT PATHWAY (1.5M) + CONCRETE EDGER (180MM)
- BOLLARD
- PEDESTRIAN ACCESS
- THORNLESS HONEYLOCUST BOULEVARD TREES
- SPEED BUMP (CONCRETE PAVEMENT)



- CURB + SIDEWALK ALIGNMENT (TO BE DETERMINED)
- VEHICULAR SITE ENTRY / EXIT
- SWEDISH COLUMNAR ASPEN
- PEDESTRIAN ACCESS
- WHEEL STOP
- ST. PAUL STREET
- PROPOSED SWITCHER ON CONCRETE PAD
- SITE SIGNAGE + BOLLARDS (PHASE 2 SCOPE)
- GREEN VELVET BOARDWALK HEDGE
- EXISTING TREE (TO REMAIN)
- BICYCLE RACK (2 / RACK) ON CONCRETE PAD
- PEDESTRIAN ACCESS
- MANICURED GRASS
- WASTE + RECYCLING CONTAINERS
- PROPOSED TRANSFORMER ON CONCRETE PAD

GENERAL NOTES

- 1. ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN HERITAGE TRADES ASSOCIATION AND BE FINED TO TYPE AND SPECIES.
- 2. ALL PLANT MATERIAL SHALL BE LOCALLY SOURCED FROM AN ON-SITE STOCK.



NO.	DATE	DESCRIPTION	BY	CHKD
3	10-07-01	HRA RE-SUBMISSION #1	MS	MS
2	10-04-02	HRA SUBMISSION REVISION #1	MS	MS
1	10-02-12	ISSUED FOR CP	MS	MS
REV	11-08-02	REVISION / DRAWING ISSUE	DMHM	REVISOR



PROJECT STAMP

SAL

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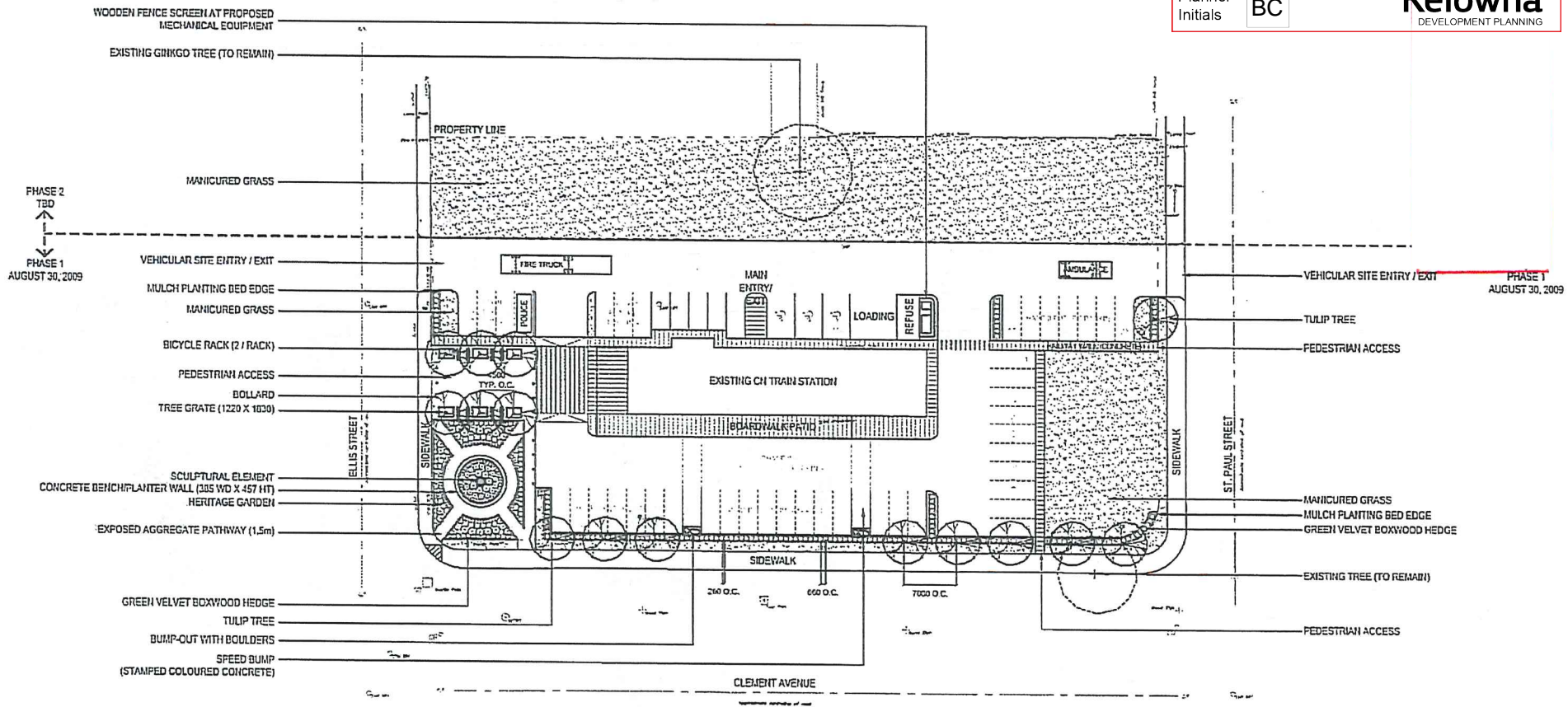
PROJECT
KELOWNA HERITAGE TRAIN STATION
PHASE 2-A


DRAWING TITLE

LANDSCAPE RENDERING

DRAWING ISSUED
HERITAGE REVITALIZATION AGREEMENT
SUBMISSION REVISION #1

PROJECT NO. 9636	ISSUE DATE 2010-02-12
DRAWING NO. L-2	REVISION



	PROJECT	KELOWNA HERITAGE TRAIN STATION - PHASE 1	ISSUED FOR:	HERITAGE ALTERATION PERMIT SUBMISSION	PROJECT NO.	C396	DEC REF	N/A
	DWG TITLE	LANDSCAPE CONCEPT			ISSUE DATE	11/13/2009	DWG NO.	L1
					SCALE	1:500		
					DRAWN	MCO		
					REVIEW			

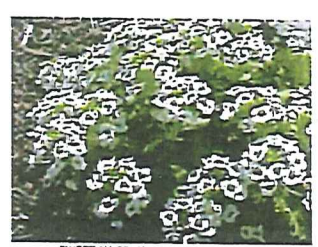




1
L2
NTS
GREEN VELVET BOXWOOD
(Buxus 'Green Velvet')



2
L2
NTS
TULIP TREE
(Liliodendron tulipifera)



3
L2
NTS
SWEET ALYSSUM
(Lobelia maritima)



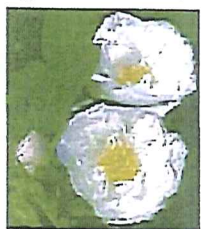
4
L2
NTS
CHARLES ALBANSEL ROSE
(Rosa 'Charles Albanel')



5
L2
NTS
GEORGE VANCOUVER ROSE
(Rosa 'George Vancouver')



6
L2
NTS
MORDEN SUNRISE ROSE
(Rosa 'Morden Sunrise')



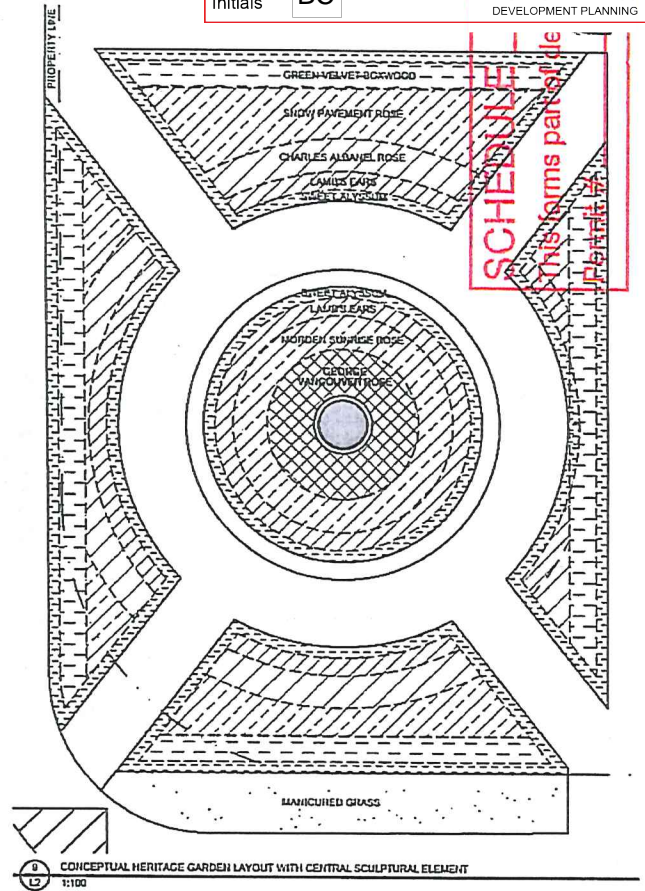
7
L2
NTS
SHOW PAVEMENT ROSE
(Rosa 'Schneekoppe')



8
L2
NTS
LAMB'S EARS
(Stachys byzantina)

PLANT LIST

Key	Scientific Name	Common Name	Planting Size	Mature Size, Approx.	Qty.
11	Liliodendron tulipifera	Tulip Tree	30cm CAL, 8.0m, 100cm WD & 600mm Depth Root Ball	24 HT x 8cm WD	13
Deciduous Shrubs					
16	Rosa 'Green Velvet'	Green Velvet Rose	Min. 300x400mm Hx, 100cm, 4 major basal stems, Plant Spread 200cm, - 62 cm	1.25 HT x 1.00m WD	239
17	Lobelia maritima	Sweet Alyssum (White)	Min. 10cm	250-300mm HT	1,341
18	Rosa 'Charles Albanel'	Charles Albanel Rose	Min. 400x400mm Hx, 100cm, 4 major basal stems, Plant Spread 200cm, - 62 cm	0.60 HT x 0.70m WD	28
19	Rosa 'George Vancouver'	George Vancouver Rose	Min. 400x400mm Hx, 100cm, 4 major basal stems, Plant Spread 200cm, - 62 cm	0.60 HT x 1.00m WD	24
20	Rosa 'Morden Sunrise'	Morden Sunrise Rose	Min. 400x400mm Hx, 100cm, 4 major basal stems, Plant Spread 200cm, - 62 cm	0.70 HT x 0.70m WD	15
21	Rosa 'Schneekoppe'	Show Pavement Rose	Min. 400x400mm Hx, 100cm, 4 major basal stems, Plant Spread 200cm, - 62 cm	1.00 HT x 1.00m WD	7
22	Stachys byzantina	Lamb's Ears	Min. 10cm	300mm HT	94



	PROJECT	KELOWNA HERITAGE TRAIN STATION - PHASE 1	ISSUED FOR	HERITAGE ALTERATION PERMIT SUBMISSION	PROJECT NO.	C396	DRG REF	N/A
	DRG TITLE	HERITAGE GARDEN	ISSUE DATE	11/13/2009	SCALE	NTS	DRG NO.	L2
			DRAWN	MCO	REVIEW			

December 23, 2022



Engineers

Perry Freeman
Kelowna Train Station Inc.
c/o INC. NO. BC 0847922
5711 1st Street SE
Calgary, AB T2H 1H9
perry@commercialrealty.ca

Dear Perry Freeman,

**RE: Heritage Element and Structural Visual Assessment
Kelowna Train Station Pub
1177 Ellis Street, Kelowna, BC**

RJC No. KEL.104377.0006

Introduction

RJC has been commissioned by Kelowna Train Station Inc. as part of a City of Kelowna request to complete a condition assessment of the building structure and select heritage components of the Train Station Pub located at 1177 Ellis St in Kelowna, BC. The purpose of our work is to assess the building to form an opinion of the general condition of the various building components included in the scope of work, evaluate the associated level of maintenance and identify items of concern or factors which may affect building systems maintenance and renewal budgets. RJC's scope of work consisted of the following:

- Review the available building drawings and reports.
- Attend the site to complete a visual review of the building. RJC's site visit was completed by Bret Depner and Michael Blackman on December 13, 2022.
- Discuss the site conditions and any existing areas of concern with the site staff.
- Prepare a condition assessment report detailing observations, conclusions and recommendations.

General photos and observations have been included in Appendix A. Limits of Commission regarding our scope is provided in Appendix B.

Building History

The Train Station Pub is a one-storey, wood-frame building on a concrete foundation located in the downtown core of Kelowna, BC (Photo 1 and 2). The original date of construction is circa 1926. Wall superstructure is



understood to be conventional wood framing. The main floor over the crawl space is wood-framed with steel upgrade elements. The roof consists of a timber truss system with members of unknown size and configuration. The structure is supported on concrete perimeter stem walls and interior concrete columns, which are presumed to bear on strip and pad footings.

Exterior cladding includes stucco upper walls and stone lower walls with brick features at corners and doors. The roof is covered with shingles.

The building has heritage designation. The heritage items are identified in the Heritage Character and Elements report provided to RJC and are labelled as follows for this letter:

- Roof
- Windows and Doors
- Façade (including stucco, brick masonry and stone veneers)
- Landscape (not in RJC's review scope)

The City also requested a review of the subject building with regard to heritage values and past significance of the site and existing buildings but this is outside of our current scope of engagement.

From discussions with staff on site, there was a recent roof leak from a fastener penetration. RJC has been advised by staff on site that this has been repaired by a local contractor.

Observation of the Structure

RJC was granted access to the crawlspace to review the foundation and floor structural assembly. The majority of the superstructure, including wall and roof framing, is covered by finishes and cannot be directly observed. Following are RJC's observations from the accessible areas of the building foundation and superstructure:

- Foundation
 - The building foundation wall consists of concrete of unknown thickness with a 2x6 wood build out on the interior side of the wall. The build out is located at the east end of the crawlspace and is not continuous around the entire foundation wall (Photo 3).
 - There is a mud slab of unknown thickness in the crawlspace. The crawlspace mud slab contained minor cracks (Photo 4). RJC is of the opinion that these cracks are not structurally significant.



- Main Floor
 - The floor system consists of 2x10 floor joists spaced at 16" o/c. Some floor joists were sistered with additional 2x10 joists (Photo 5), presumably during prior renovation work. The floor joists are embedded into the concrete foundation wall at one end and are bearing on 8" wide x 11" deep rough-sawn timber beams at the other end. The beams are bearing on concrete columns (Photo 6).
 - Structural steel C-channels have been fastened to most of the timber beams supporting the floor. It appears that these have been installed after original construction to increase the load capacity of these members (Photo 7).
 - There are localized signs of moisture staining and deterioration on the joists and beams below the bathroom at the north end of the building (Photo 8) and the bar (Photo 9). There is a vent and a drain located at the bar and bathroom, respectively. Floor framing at both locations does not appear to be deteriorated to a point of structural concern. Plans should be developed to monitor and maintain these locations.
- Superstructure
 - Visible portions of the existing roof trusses appeared to be in good condition (Photo 10).
 - The wall systems appeared to consist of 2x studs at unknown spacing. No exploratory recesses were performed to confirm the size or spacing of the studs, however the wall appeared to be in good condition.
 - Based on review of interior and exterior finishes RJC found no indication of structural distress or deterioration in the existing building superstructure.

Observations of the Heritage Items

As noted above the reviewed heritage items consisted of the roof, window and doors, and the facade (stucco, brick, stone veneer). A summary of our findings are below:

- The roof appeared to be in good condition other than minor curling of the shingles (Photo 11).
- The windows and doors appeared to be in good condition other than chips and peeling of the paint on the units and the trim (Photo 12). Trim had become detached at one window in the room that accesses the crawlspace (Photo 13). These are maintenance items and should be included in future maintenance plans.
- The exterior stucco is generally in good condition other than minor marks and staining (Photo 14).



Recommendations

As noted in our observations, RJC found no indications of distress in the existing base-building structure. In general, recommendations are for maintenance purposes and are summarized as follows:

- Periodic monitoring of the progression of the water damage in the crawlspace below the bar vent and the north bathroom drain.
- Paint touch-ups and/or trim repairs at multiple doors and windows.
- Replacement of curling roof shingles.
- General cleaning of the stucco to remove the dirt and stains.

Closing

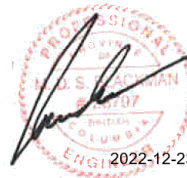
This report was prepared for Kelowna Train Station Inc. It is not for the use or benefit of, nor may it be relied upon, by any other person or entity, without written permission of RJC. Refer to Appendix B for additional Limits of Commission.

We trust the information contained within this report satisfies your current requirements. Should you have any comments, questions or concerns, please contact the undersigned. We remain available to review and discuss findings and future action.

Yours truly,

READ JONES CHRISTOFFERSEN LTD.

Bret Depner, EIT
Design Engineer



EGBC Permit to Practice number: 1002503
Michael Blackman, B.A.Sc., P.Eng., LEED® AP BD+C, FEC
Principal

BJD/vml



Appendix A – Photos and Observations
Appendix B – Limits of Commission



Engineers

APPENDIX A

PHOTOS AND OBSERVATIONS

PHOTOS	
Description	Photo
<p>December 13, 2022</p> <p>General overview of western end of the north elevation.</p>	 <p style="text-align: center;">Photo 1</p>
<p>December 13, 2022</p> <p>General overview of eastern end of the north elevation.</p>	 <p style="text-align: center;">Photo 2</p>



December 13, 2022

2x6 stud wall build out on the interior of the concrete foundation wall.



Photo 3

December 13, 2022

Crack in the mud slab.

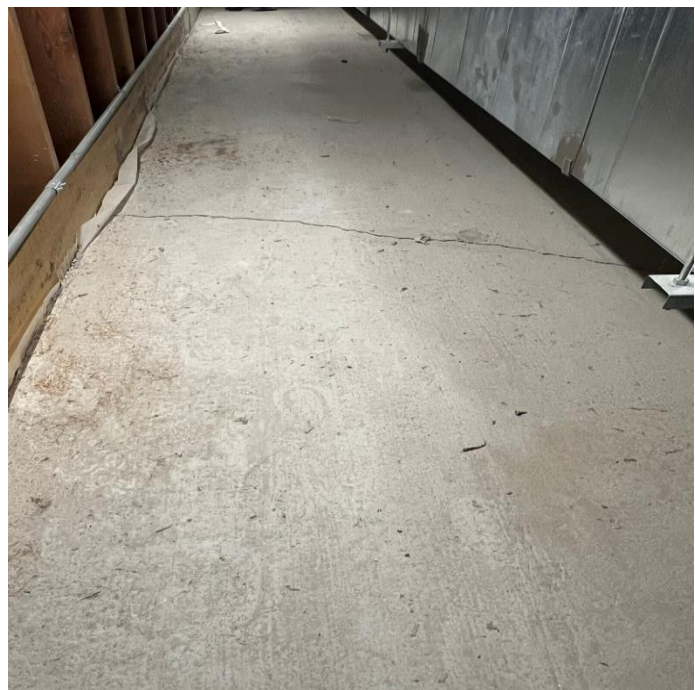


Photo 4

December 13, 2022

Overview of the original 2x10 joists sistered with additional 2x10 joists.



Photo 5

December 13, 2022

Overview of the beams bearing on concrete columns.

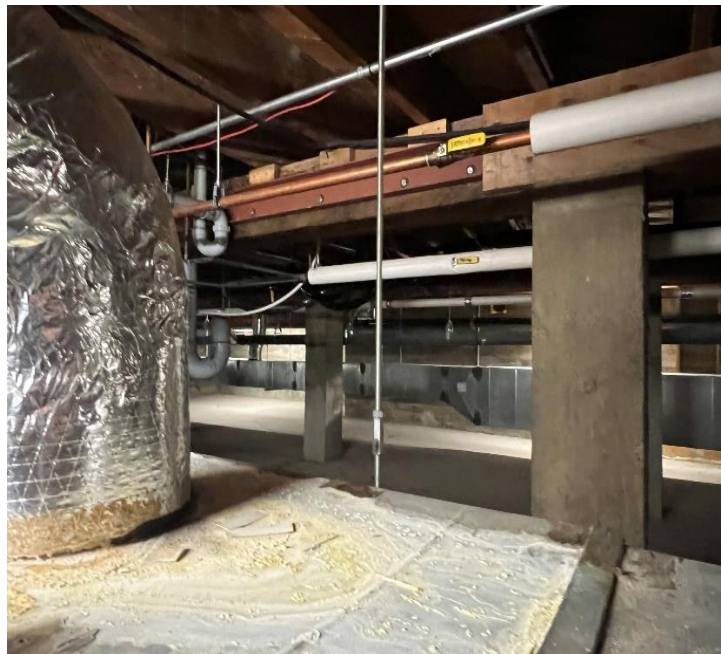


Photo 6



December 13, 2022

Metal C-channel installed after original construction.



Photo 7

December 13, 2022

Moisture staining in floor joists below washroom. Concrete cut-out in original foundation wall.

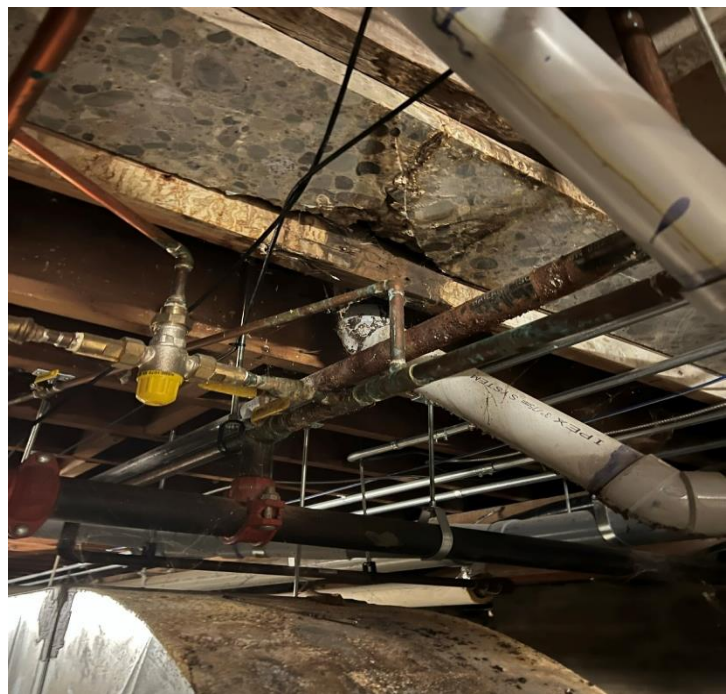


Photo 8

December 13, 2022

Moisture staining in joists and floorboard near vent location below the bar.



Photo 9

December 13, 2022

Overview of exposed roof trusses.



Photo 10



December 13, 2022

Curling shingles on the east end of the south elevation.



Photo 11

December 13, 2022

Peeling of paint and chips in the door on the south elevation.



Photo 12

December 13, 2022

Detachment of the window trim on the interior of the window in the room that accesses the crawlspace.



Photo 13

December 13, 2022

Dirt and staining on the stucco.



Photo 14

ATTACHMENT A
This forms part of application
HRA22-0001
Planner Initials BC
City of Kelowna
DEVELOPMENT PLANNING



Engineers

APPENDIX B

LIMITS OF COMMISSION



Kelowna Trains Station Inc. recognizes that special risks occur whenever engineering or related disciplines are applied to identify hidden elements or portions of a building. Even a comprehensive sampling and testing program, implemented with the appropriate equipment and experienced personnel under the direction of a trained professional who functions in accordance with a professional standard of practice may fail to detect certain conditions, because they are hidden and therefore cannot be considered in development of a repair program. For similar reasons actual conditions that the design professional properly inferred to exist between examined conditions may differ significantly from those that actually exist.

Kelowna Trains Station Inc. realizes that nothing can be done to eliminate these risks altogether. As a result, we cannot guarantee the accuracy of opinions of probable cost and shall assume no liability where the probable costs are exceeded.

Kelowna Trains Station Inc. recognizes that RJC does not have expertise in the identification of, or health risks associated with, mould, mildew or other fungi and therefore cannot provide an opinion as to the extent to which these substances exist in the building or the associated potential health risks to building occupants. Neither RJC, nor any company with which it is affiliated, nor any of their respective directors, employees, agents, servants or representatives shall in any way be liable for any claim, whether in contract or in tort including negligence, arising out of or relating in any way to mould, mildew or other fungus, or other hazardous materials, including the actual, alleged or threatened existence, effects, ingestion, inhalation, abatement, testing, monitoring, remediation, enclosure, decontamination, repair, or removal, or the actual or alleged failure to detect mould, mildew or other fungus, or other hazardous materials.

This report has been prepared in accordance with generally accepted engineering practices. No other warranties, expressed or implied, are made as to the professional services provided under the terms of our contract and included in this report. A detailed review of the structural system, including seismic restraint, was not included in the scope of work.

Review of mechanical, electrical, and fire safety systems, and means of egress were also beyond RJC's scope of work.

Services performed and outlined in this report were based, in part, upon visual observations of the site and attendant structure. Our opinion cannot be extended to portions of the site that were not reviewed or situations reasonably beyond the control of RJC. If unexpected conditions are encountered at the site, RJC must be notified in order that we may determine if modifications to the conclusions presented her are necessary. Any conclusions, recommendations, or opinions of probable cost presented in this report were determined from the limited information available from random testing and visual inspections.

Heritage Element and Structural Visual Assessment

Kelowna Train Station Pub

1177 Ellis Street, Kelowna, BC

ATTACHMENT A

This forms part of application
HRA22-0001

Planner
Initials **BC**

City of
Kelowna
DEVELOPMENT PLANNING



RJC prepared this report for the use of Kelowna Trains Station Inc. who will share the report with City of Kelowna. The material in it reflects RJC's judgement in light of information available to RJC at the time of preparation. Any use that a third party makes of this report, or any reliance or decisions to be based on it, is the responsibility of such third party as a result of decisions made or actions based on this report.

Canadian National Railways Station Railway Garden and Plaza Heritage Assessment

1177 Ellis Street, Kelowna BC

February 2023



Cover Photo courtesy of Team Construction Management Limited

Prepared by:

VDZ + A
Landscape Architecture | Civil Engineering | Urban Forestry

Vancouver | Fort Langley | Kelowna

302-1150 Sunset Drive
Kelowna, BC V1Y 9Z5

TABLE OF CONTENTS

ATTACHMENT B

This forms part of application
HRA22-0001

Planner Initials BC

City of Kelowna
DEVELOPMENT PLANNING



SECTION 1: INTRODUCTION & HISTORY	3
SECTION 2: ASSESSMENT AND IMAGERY OF THE GARDEN	6
SECTION 3: ASSESSMENT AND IMAGERY OF THE PLAZA	11
SECTION 4: RECOMMENDATIONS	15

INTRODUCTION & HISTORY

ATTACHMENT B

This forms part of application
HRA22-0001

Planner Initials BC



City of Kelowna
DEVELOPMENT PLANNING

Introduction

The purpose of this report is to document the existing condition of the landscape heritage assets at the Canadian National Railways Station property, located at 1177 Ellis Street in Kelowna, BC. This report, alongside a report for the existing heritage building (Train Station Pub, formerly CN Station) and a Gingko Tree, record the condition of the heritage assets of this site. This will be included with a Development Permit submission for the redevelopment of the site.

This report will include a brief description of the history of the Station, garden and plaza; photographically document the current condition of the landscape elements, and provide recommendations for repair and protection during the course of construction.

History

The Canadian National Railways Station (CN Station) represents the first and only rail link that integrated Kelowna into the provincial and national rail transportation networks. It is one of only two buildings from the original Canadian Pacific rail yards that remains today.

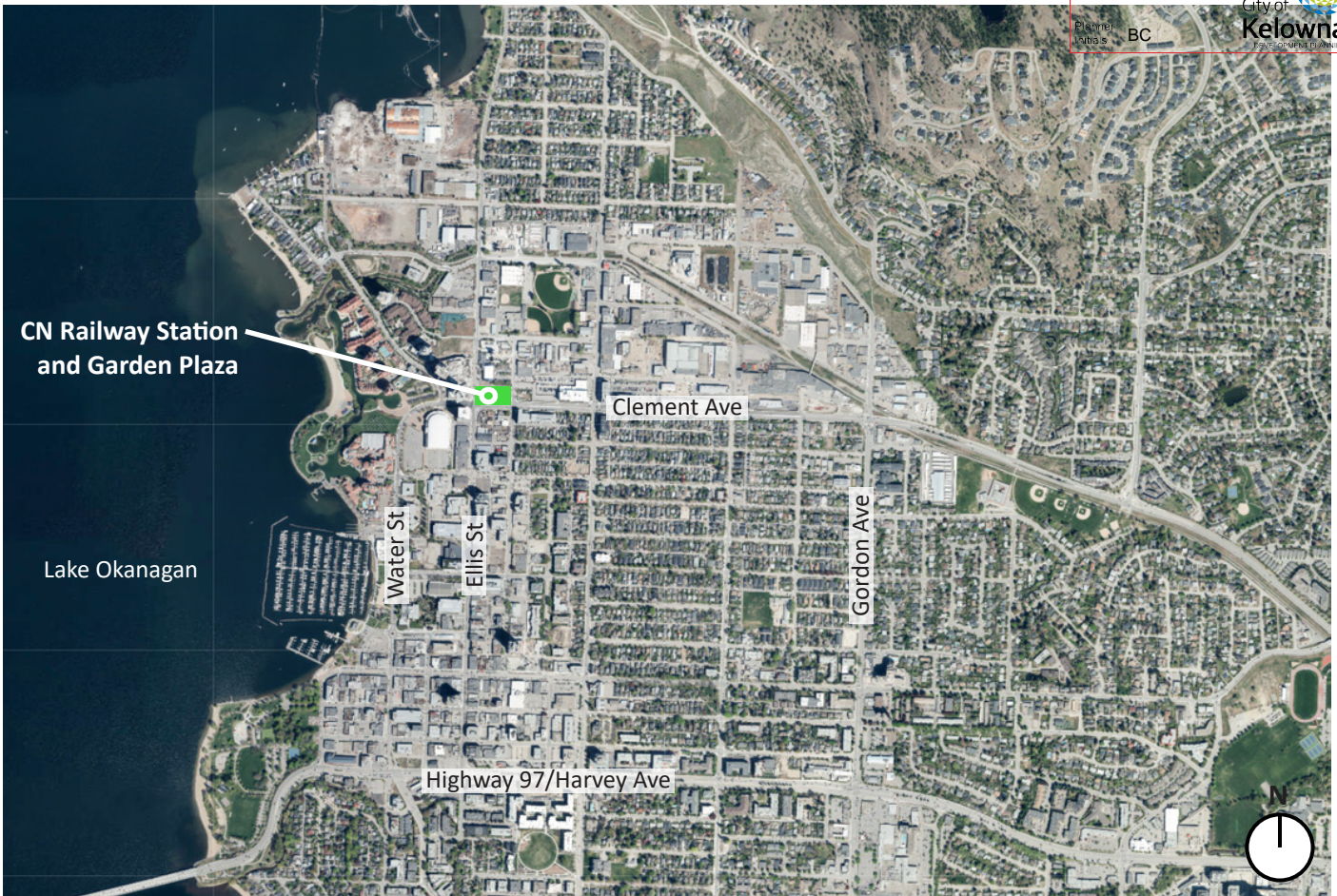
The station was built in 1926 of stucco and fieldstone and was a key element in the switch from Kelowna's economy being through water-based to land-based access.

In 2012, the station was renovated and revitalized, turning into the popular Train Station Pub. At this time, a small garden and public plaza was built at the Southwest corner of the site, which included a sculpture named The Conductor, by Ken Curley, to commemorate the role of the railway in the economic development of Kelowna.

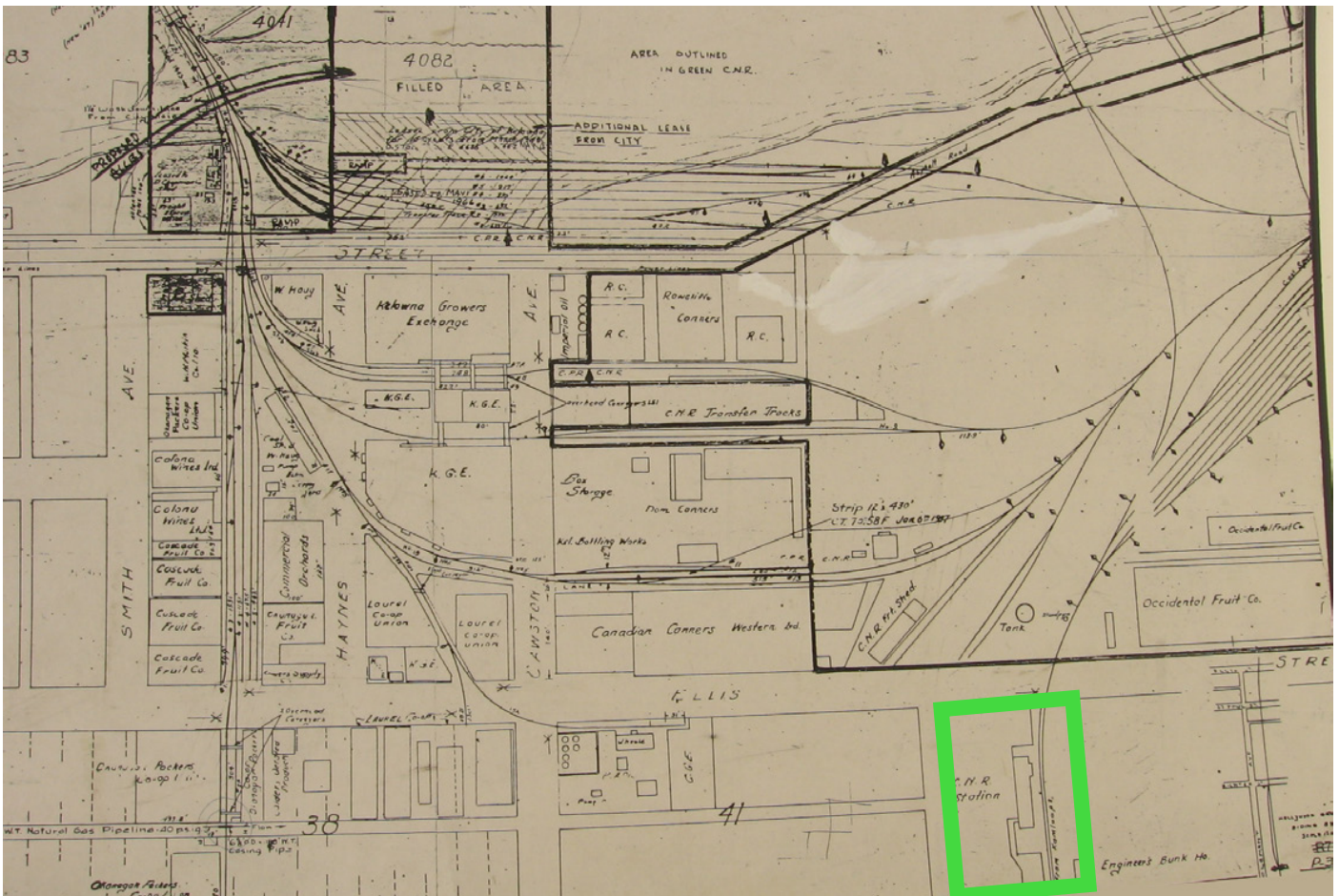
The garden includes evergreen, decorative shrub and perennial plantings, centered around a raised planter with the sculpture. The plaza includes seating with small tree plantings and bicycle racks, incorporating stamped concrete paving emulating the brick utilized on the building itself.



Aerial photograph of the rail yards in 1957. The CN station can be seen at the right side of the image, near the bottom, courtesy of Jim and Jeremy Spurway via okanagan.net



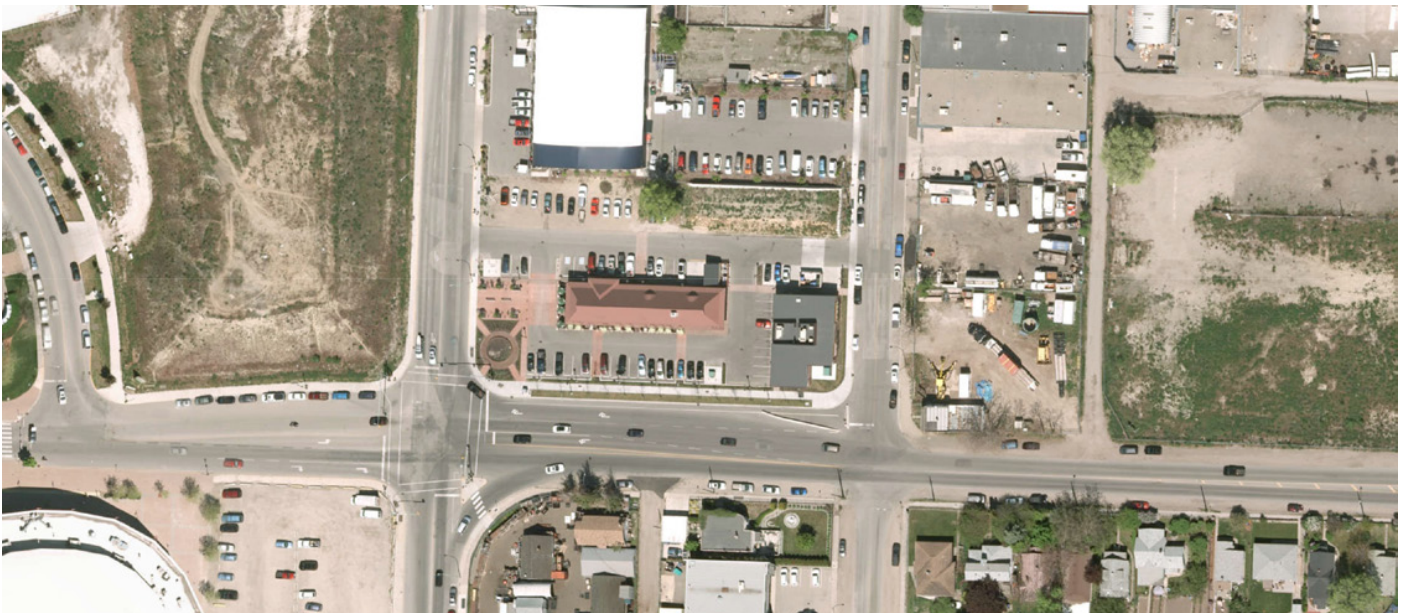
Context and Location Map, aerial courtesy of City of Kelowna



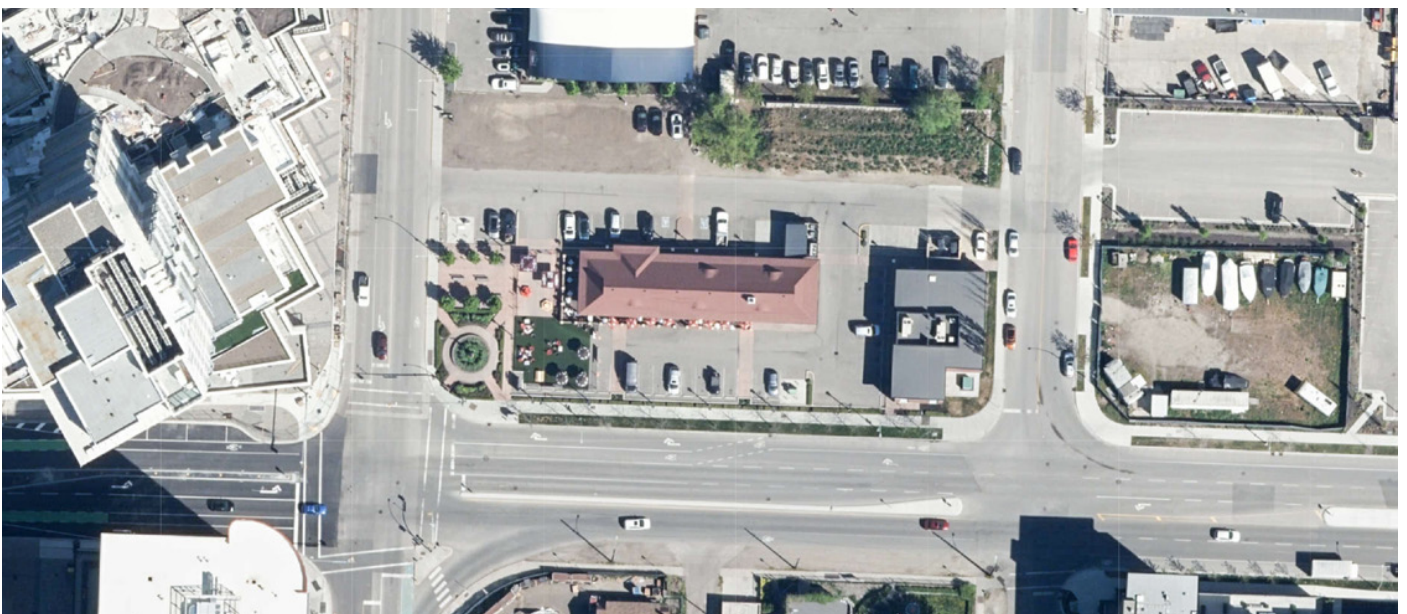
Map of the Canadian Pacific Rail Yard in 1960 with CN Railway Station at bottom right, courtesy of Jim and Jeremy Spurway via okanagan.net



Aerial photograph of the site in 2000, courtesy of City of Kelowna



Aerial photograph of the site in 2012, courtesy of City of Kelowna



Aerial photograph of the site in 2021, courtesy of City of Kelowna

ASSESSMENT & IMAGERY OF THE GARDEN

ATTACHMENT B
This forms part of application
HRA22-0001
City of Kelowna
DEVELOPMENT PLANNING
Planner Initials BC

Assessment

The garden sits at the corner of Clement Avenue and Ellis Street (figure 1) and includes perennial and shrub plantings, feature boulders, a circular raised concrete planter with a sculpture feature of The Conductor (figure 2), four stamped concrete access walkways, and a textured concrete circular path. There are feature boulders within the planting areas and uprights for the sculpture.

Generally, the garden appears to be in good condition. At the time of the site visit (mid-February, 2023), some foliage was visible on the perennial Lamb's Ear plantings (figure 5), and decorative rose hips were visible on both types of roses (figure 3). The boxwood looked green and healthy (figure 3). Plant density appeared good, with only a few small gaps in the boxwood hedge along the perimeter (figure 4 & 6).

Some irrigation lines were visible, exposed above the soil, and there appeared to be no mulch remaining within the planting beds (figure 8 & 9). A few of the irrigation valve boxes were missing lids and a substantial amount of garbage was noted within the planting beds at the time of inspection (figure 10).

The circular raised planter was in fair condition, with some minor cracking, scratches, and cone tie holes from normal aging of the plaza (figures 11-13). Some graffiti was noticeable on the edges of the planter (figure 14).

The sculpture appeared to be good condition with uprights visible and working in the early morning.

The stamped concrete paving has a red brick finish to complement that found on the station building. Only a couple tiny cracks were visible, likely from expansion and contraction of the material through the winter seasons, but do not pose structural or public safety hazards (figures 14 & 15). Some salt damage was visible at the East side of the garden, where a pathways connects North-South from Clement Avenue to the Train Station pub, next to an asphalt parking area (figure 16). Some fading of the red colour has occurred over the years due to sun exposure.

The textured circular concrete path around the raised planter/sculpture feature appeared in excellent condition, with a single surface crack visible.

Comparison with Original Plans

The constructed plaza is very similar to the original plans.

There are a few changes, noted below:

- Some plantings appear to be missing, notably the perennial groundcover plantings of Sweet Alyssum.
- There are two types of stamped, coloured concrete paving in the garden, where the plans showed only a single type.
- Feature boulders have been incorporated into the garden space, where none were shown on the plans.

Context Map

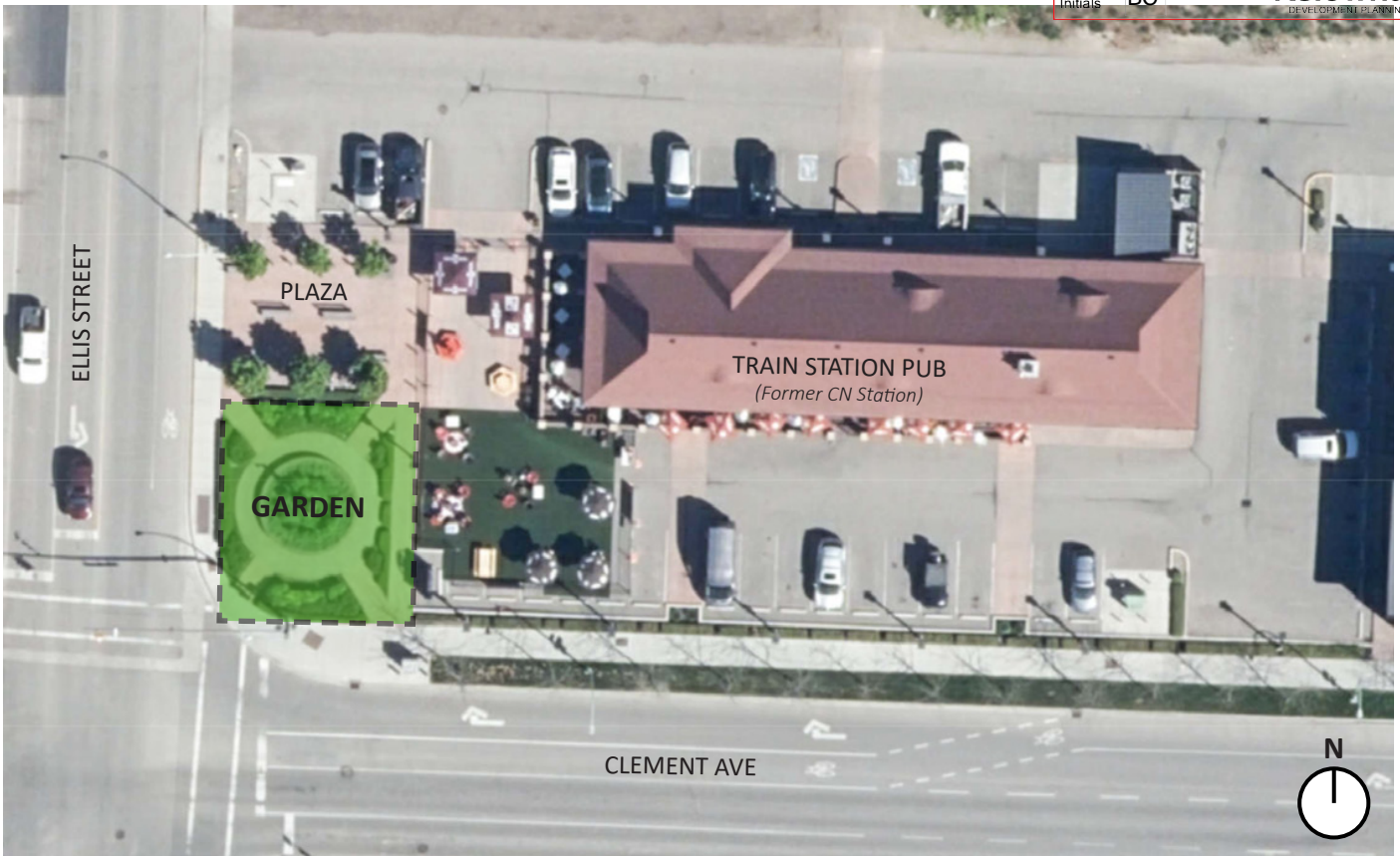


Figure 1: Aerial View of Garden space, courtesy of City of Kelowna

Imagery



Figure 2: View of the garden area from the corner entrance at the intersection of Clement Avenue & Ellis Street



Figure 3: Decorative rose hips visible on rose plantings



Figure 4: Healthy green boxwood hedge and dense rose plantings



Figure 5: Dense cover of perennial Lamb's Ear plantings at base of roses in raised planter feature



Figure 6: Small gaps in Boxwood hedge at eastern edge of garden



Figure 7: Feature boulder in landscape bed.



Figure 8: Exposed irrigation lines visible in planting bed at Northwest corner.



Figure 9: Exposed irrigation line visible in raised planter near uplight.



Figure 10: Irrigation valve box missing lid and garbage behind roses in North planting bed. Another valve box was missing a lid in the southwest planting bed.



Figure 11: Cracking and scratches along top edge of raised planter



Figure 12: Holes in wall of raised planter



Figure 13: Additional cracking along wall of raised planter

Figure 14: Graffiti on raised planter



Figure 15: Cracking of stamped concrete paving along edge of municipal sidewalk at Southeast corner of garden, off Clement Avenue



Figure 16: Small crack in surface of stamped concrete paving

Figure 17: Salt damage along East pathway bordering asphalt parking area

ASSESSMENT & IMAGERY OF THE PLAZA



Assessment

Site Inspection Summary

The plaza is sited North of the garden along the West side of the property and connects Ellis Street to the Train Station building (figure 18). It includes a variety of site furnishings, light standards, bicycle racks, benches, bollards, a waste receptacle, and tree plantings with tree grates. The surface is constructed of the same stamped red brick concrete paving as the garden, with a timber boardwalk stamp along the far North end of the plaza, along the parking stalls (figure 19).

Generally, the plaza appears to be in good condition. At the time of the site visit (mid-February, 2023), no foliage was visible on the tree plantings. Some moss was visible on the tree trunk, but the trees appeared healthy with no visible broken or cracked branches. The tree grates were in excellent condition.

The site furnishings were in good condition and were firmly bolted to the concrete surfacing. There were some signs of wear and damage on the timber slats of the benches, such as small chips in the wood and minor checking (figure 20 - 22).

The bicycle racks and bollards had some signs of weathering of the recycled plastic components. There were some minor scuffs and other aesthetic impurities, but otherwise were in good condition (figure 23 & 24).

Light standards were all in good condition and working at the time of inspection.

The waste receptacle has some chipping of the powdercoat surfacing along the inner rim and top surface, from normal use. It was otherwise in good condition (figure 25).

The stamped red brick concrete paving was in good condition, with some fade in colour over the years due to weather and sun exposure, similar to that of the garden area. There still appeared to be positive drainage across the plaza, with no visible low spots (figure 26). There was some additional wear of the surface near the Northeast most tree planting, where the surface was darkened (figure 27). Minor cracks were visible in a few places, but do not pose structural or public safety hazards (figure 28).

The stamped timber boardwalk concrete paving was in good condition.

Comparison with Original Plans

The constructed plaza is very similar to the original plans.

There are a few changes, noted below:

- Additional bicycle racks from what was shown in the plans; sixteen installed compared to eight on the plans
- The benches are in a slightly different layout, with two located in the centre of the plaza, but the overall quantity is the same
- The stamped concrete was noted on the plans to be a grey tone, but is red. The installed colour matches nicely with the materials of the building.
- The bollards along the east side of the plaza are in a slightly different layout than the plans, which may have been a result of revised barrier curb locations.

Context Map



Figure 18: Aerial View of Plaza space, courtesy of City of Kelowna

Imagery



Figure 19: View of the plaza area from Ellis Street



Figure 20: Chip damage on timber backrest top slat of bench



Figure 21: Chip damage on front of timber bench slat



Figure 22: Timber checking on rear bench slat



Figure 23: Scuffing and wear on bike rack posts



Figure 24: Chipping of powdercoat along rim of waste receptacle



Figure 25: Positive drainage on plaza surface with no visible low points



Figure 26: Darkening on stamped concrete paving



Figure 27: Small crack in surface of stamped concrete paving



Figure 28: Salt damage along East side of plaza



Figure 29: Plaza tree plantings which appear to be in good condition

RECOMMENDATIONS

Recommendations for Repair and/or Replacement

Soft Landscape Elements

Based on a review of the original plans for the garden, some plant material, most specifically the Sweet Alyssum plantings appear to be missing. While there are noticeable empty areas in the planting beds along the perimeter of hardscapes, the existing shrubbery may grow into this space in the summer months. Additional groundcover plantings could be incorporated, however, these may compete with the existing rose plantings. It is recommended that at a minimum, all planting beds be cleaned up through a top dressing of 25-50mm depth of wood mulch.

Exposed irrigation lines should be re-buried and additional stakes added to hold these in place. Mulch, as noted above, should then be added to the planting areas. Locking lids should be replaced for the two irrigation valve boxes which do not have these. Consider adding lockable lids for remaining valve boxes, as required.

General site cleanup, such as removal of garbage and leaf debris should occur prior to additional wood mulch being placed.

Raised Planter

The visible linear cracking within the walls of the raised planter may be a result of the rebar spacing and lack of control joints installed during construction. There is little that can likely be done to fix this.

Regarding the various cracking and/or holes where cone ties were used in construction of the planter, there are two possible recommendations for the treatment of these. The first would be to remove cracked concrete and patch with new concrete. It is likely that patches may result in similar cracking in the future. Another option would be to break out all concrete from the cone ties locations and re-finish the entire planter wall with a sand blast. This will create a consistent look across the planter, but may come with a higher cost. Either option would be an acceptable sand blast the entire planter wall.

Graffiti on the raised planter walls should be removed. Consider applying an anti-graffiti stain to the wall.

Hardscape Elements

The cracking of the stamped brick finish concrete paving is superficial and does not require attention.

The fading of the stamped brick finish concrete paving is

a normal result of weathering and could be considered to reflect the rustic and heritage style of the property. If desired, a stain or acid wash, with a top could be applied to the surface to renew the colour.

It is recommended that the entire stamped plaza and garden pathway system be pressure washed to remove dirt and darkened spots and restore consistency in the colour. This should occur in Spring once there is less sand and salt around.

Regarding the salt damage or spalling, a densifying sealer could be applied to preserve the stamped surface and increase longevity. A contractor would need to be hired to specify and apply an appropriate sealer for this particular application.

Site Furnishings

All items of note for the site furnishings are a result of normal wear and tear in this type of public application. These are aesthetic items only which do not affect the function or structure of the furnishings.

Recommendations are listed below:

- An overcoat or paint could be applied to the waste receptacle where powdercoating has chipped. A paint contractor would need to be hired to specify and apply the appropriate product for re-coating.
- Bench boards could be replaced with an IPE wood, which may grey to a similar colour over time.
- Pressure washing or general cleaning of the bicycle racks could remove scuffs and other stains.

Protection During Construction

All elements of the garden and plaza should be protected during the course of construction of any new developments on the site. Temporary construction fencing should be installed along the perimeter of the heritage assets along the interface of construction. No construction materials should be stored within these areas.

If any existing site elements are damaged during construction, these should be repaired to their condition prior to the start of construction.



Tree Preservation Plan

Site:

The Train Station Pub
1177 Ellis Street
Kelowna, BC V1Y 1Z5

Prepared for:

Okanagan Commercial Realty Corp.
106-546 Leon Avenue
Kelowna, BC V1Y 6J6

Prepared by:

Adela Parlesak
Associate Consulting Arborist
ISA Board Certified Master Arborist #PN-8202BT
ISA Tree Risk Assessment Qualified
ISA Certified Tree Worker Specialist



Bartlett Tree Experts
Burnaby Office
3081 Norland Avenue
Burnaby, BC V5B 3A9
604-322-1375
www.bartlett.com



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Background

In December 2022, Okanagan Commercial Realty Corp (OCRC) contacted Bartlett Tree Experts (Bartlett or BTE) regarding the condition of a heritage tree and the measures required to protect the tree during a proposed redevelopment project. The proposed scope of work includes the following:

- Construction of a new building ‘A’ to the north of the existing Metro Liquor Train station building
- Construction of a new building ‘B’ at the northwest corner of the lot, west of the heritage tree
- Construction of a new building ‘C’ at the north side of the lot, east of the heritage tree
- Installation of ‘wood patio deck of sleepers’
- Installation of an art wall to the north of the tree
- Installation of a ‘meadow with concrete paver slab stepping stones’ within the drip line of the tree
- Resurfacing of the existing parking lot

The City of Kelowna (City or COK) requires the contractor to consult with an arborist in order to carry out the necessary development. Arborist Representative Mike Parsons visited the site on February 01, 2023 to assess the tree. Associate Consulting Arborist Adela Parlesak prepared this report.

Purpose

The intended purpose of this report is to provide information on the condition of the tree, its suitability for retention and the measures required to protect any retained trees during the proposed construction project.

Limits of the Assignment

Information regarding the trees included in this report was obtained from:

- the physical inventory conducted by BTE
- an email from OCRC:
 - KTS DP DRAWING SET-LANDSCAPE SET.pdf

A visual inspection was performed of the single heritage tree identified as tee #1.

Data collected in the field included species, diameter at breast height (DBH measured at 1.4m), approximate height, canopy radius, and the overall tree condition. The Critical Root Zone (CRZ) radii was determined using the *Best Management Practices* and the Tree Protection Distance Table in Appendix IV.

The weather conditions were overcast with a light dusting of snow at the time of the assessment. This tree inventory was not a tree risk assessment. As such, no trees were assessed for risk in accordance with industry standards, nor are there any tree risk ratings or risk mitigation recommendations provided within this preservation plan.

All recommendations made in this report are based on our interpretation of the plans provided and our email communication with the client. **A review of the project and the management recommendations of the trees may need to be modified if the scope of work and/or project details are revised.**

Tree Protection and Management

A single heritage ginkgo (*Ginkgo biloba*) tree located at the north side of the property was included in this inventory. The tree is to be protected during the proposed construction project. Overall the tree is in good condition. There are some structural issues which can be addressed through pruning, such as removing stubs from previously failed limbs, and reducing end weight of over-extended branches.

The species has a relatively good tolerance to construction activities. The City of Kelowna establishes a critical root zone as diameter at breast height (DBH) divided by 166. This would be $660\text{mm} / 166 = 3.98\text{m}$. The *Best Management Practices* guidelines recommend a Tree Protection Zone (TPZ) multiplication factor of 8 for a mature tree, with high tolerance. This would work out to $66\text{cm} \times 8 = 528\text{cm}$ or 5.28m .

The minimum required protection distance is 3.98m , while the recommended protection distance is 5.28m from the centre of stem radially to minimize negative impacts which can be incurred during the proposed construction project.

Effects of construction on trees

Tree root systems are generally confined to the uppermost meter of the soil profile. Construction activities can cause profound changes to the area surrounding a tree's root system. Access traffic, storage of materials, grading, and trenching can result in soil compaction, crushing or severing of roots, injury to aboveground portions (trunk and branches), and drainage changes.

Cutting of roots reduces a tree's ability to supply itself with water and nutrients necessary to produce the sugars and carbohydrates necessary for sustaining life. Compaction of the soil reduces air pockets in the soil and makes it more difficult for roots to grow through it. It also slows or even prevents drainage of irrigation or storm water, which can result in excessively wet conditions, leading to root rot. Breakage and injury to a tree's trunk and



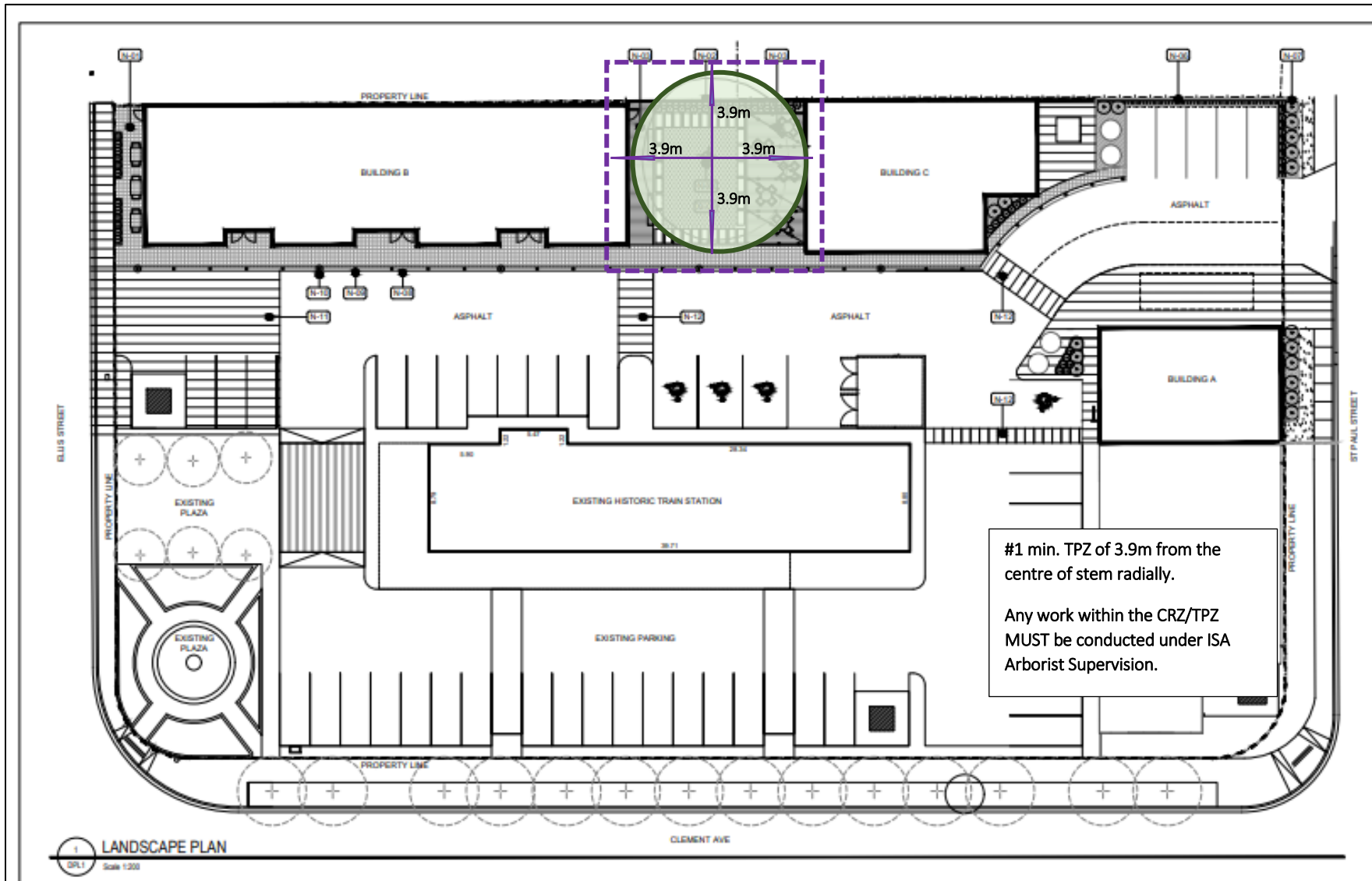
branches reduce its aesthetic value, but more importantly, can leave entry points for pests and diseases.

The issues above often do not appear immediately after the area surrounding a tree has been disturbed. It can be years after the project has been completed that stress signs become apparent. Reduced growth, changes in color or leaf size, branch dieback, or even tree death can follow large disturbances.

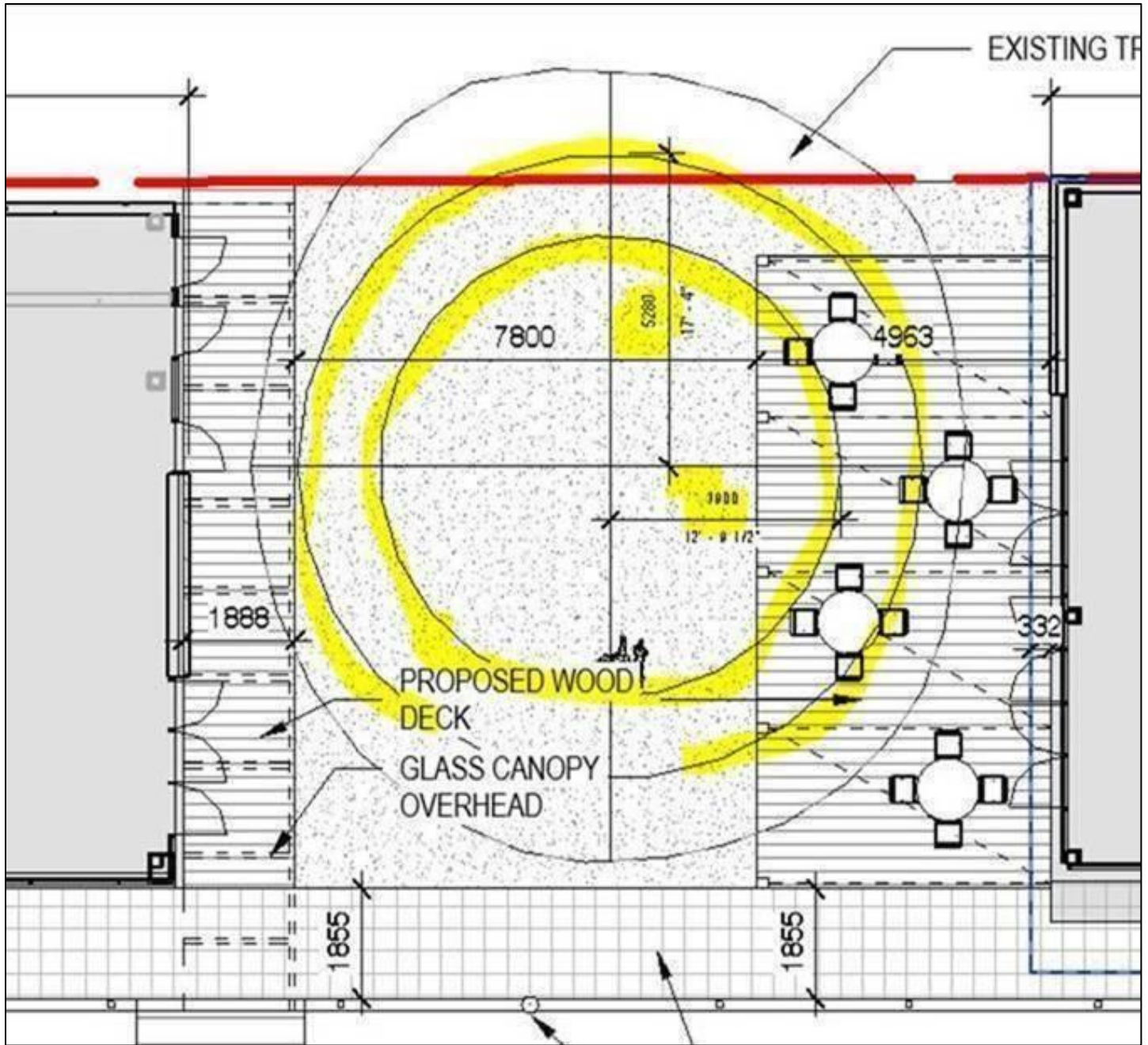
Recommendations

1. Implement a preconstruction soil care regimen to optimize soil condition and help mitigate negative impacts.
2. Prune to reduce end weight of over-extended branches as necessary to avoid breakage
3. Any clearance pruning required to accommodate the new development, and/or during construction shall be conducted by an ISA Certified Arborist (or equivalent) not construction personnel.
4. Coordinate the pruning schedule to take place within a month of the project start date. This will ensure enough clearance is provided prior to tree canopy regrowth.
5. Establish the tree protection fence prior to the start of any construction activities.
6. Any disturbance within the CRZ/TPZ/TPF including but not limited to demolition, construction, grading, trenching, and/or landscaping is to be conducted under ISA Certified Arborist (or equivalent) to monitor the impacts within the critical root zone, and potential root damage.
7. Maintain all scopes of work and construction activities, including landscaping outside of the established critical root zone/ tree protection zone.
8. Implement a post construction soil care such as a root invigoration program to help decompact soil, supplement nutrients, and improve soil porosity to promote root growth.

Appendix I – Site Plans



Proposed scope of work area, approximate tree location, and TPF layout (not to scale)



TPZ layout to scale.

Appendix II – Tree Details

Tree ID	Species	DBH ¹ cm	Height m	Canopy Radius m	Condition Class ²	Relative Tolerance	Observations/ Comments	CRZ/ TPF ³ m	Recommendations
1	Gingko (<i>Gingko biloba</i>)	66	13.3	4	Good	Good- Moderate	Co-dominant stems with an included bark union Wounds from previously failed limbs	3.9	Retain and Protect Prune-clearance Extend the TPF to 5.28m to increase the protection zone. Have an ISA Certified Arborist supervise all work within the CRZ/TPF

¹ DBH- Diameter at Breast Height measured at 1.4m above ground.

² Condition Class:

Dead

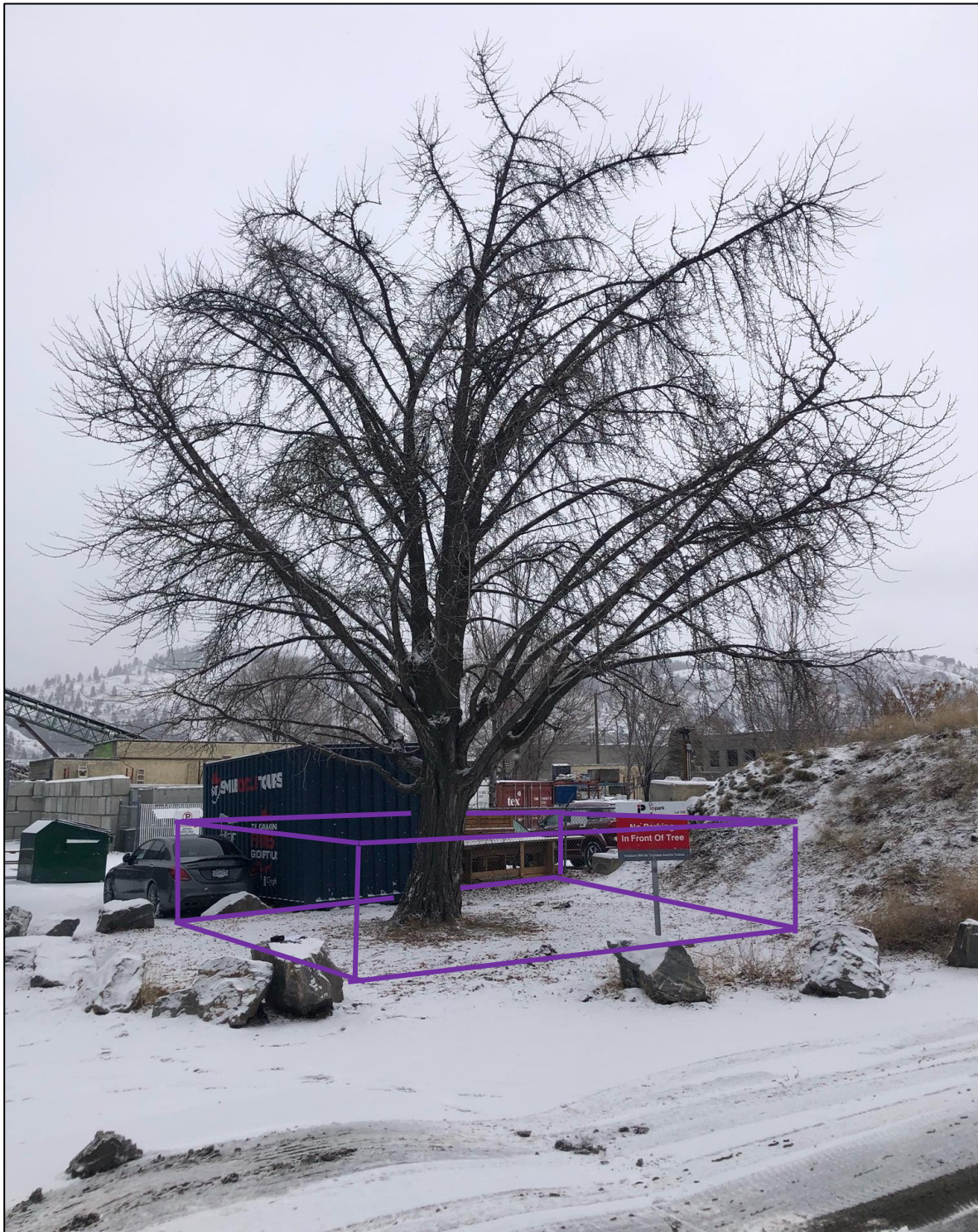
Poor- Most of the canopy displays dieback and undesirable leaf colour, inappropriate leaf size or inadequate new growth.

Fair- Parts of the canopy display undesirable leaf colour, inappropriate leaf size, or inadequate new growth.

Good- Tree health and condition are acceptable.

³ CRZ/TPZ-critical root zone/tree protection zone-tree protection fence distance from the centre of the stem, measurements are based on the *Best Management Practices* and *ANSI A300 Part 5* standards for managing trees during constructions, calculated at 6 to 18 times the DBH relative to species tolerance to construction and maturity.

Appendix III – Photographs



Tree #1 heritage ginkgo to be protected. Approximate layout of the TPF (not to scale), min. 3.9m (5.28m recommended) from the centre of stem radially.



Canopy view, showing stubs from previously failed limbs

Appendix IV – City of Kelowna Tree Protection Bylaw

Bylaw No. 8041

Schedule A SCHEDULE A Tree Protection Zone Installation Standards

PURPOSE

Tree Protection Zones involve barriers placed around trees for the prevention of damage to tree trunks, branches, and roots by any construction activities/operations.

REQUIREMENTS

1. Barriers are to be installed prior to any demolition, excavation, or construction on site.
2. Barriers must remain upright and in place throughout the entire construction process.
3. No incursions inside or against the Tree Protection Zone are to occur, including, but not limited to: garbage/debris storage, material or equipment storage, porta-potties, soil piling, fill or grade changes, surface treatments or excavations of any kind, equipment fueling or chemical mixing, etc.

SPECIFICATIONS FOR CONSTRUCTION

- Barriers should be a maximum of 1.2 m (~4') in height.
- At minimum, 2"x 4" construction lumber to be used for vertical posts, top and bottom rails and cross bracing (in an "X"); round, un-treated vertical posts may be used with a minimum diameter of 9 cm.
- Spacing between vertical posts to be no further apart than 3.7 m (12') on center.
- Structure must be sturdy with vertical posts driven firmly into the ground. • Barrier must be continuous mesh screening (e.g. orange snow fencing).
- The distance of the barrier from the tree trunk must be determined by a qualified person (arborist) based on the drip line and tree diameter, using table below:

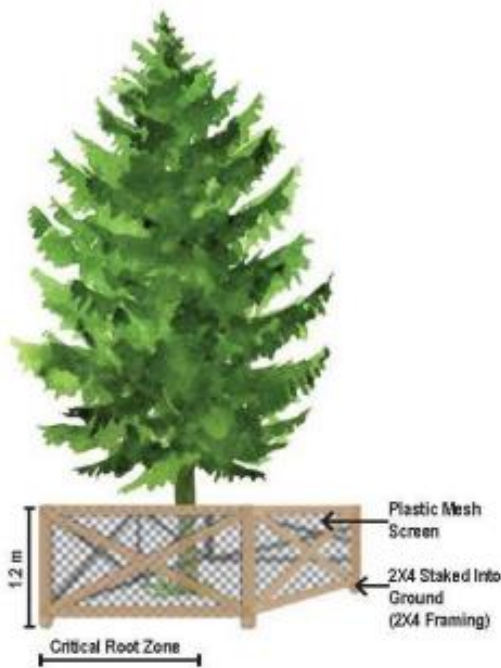
Trunk Diameter (DBH measured in mm or inches)	Critical Root Zone (minimum distance of fence from trunk)
200 mm / 7.9"	1.2 m
250 mm / 9.8"	1.5 m
300 mm / 11.8"	1.8m
350 mm / 13.8"	2.1m
400 mm / 15.7"	2.4m
450 mm / 17.7"	2.7m
500 mm / 19.7"	3.0m
550 mm / 21.7"	3.3m
600 mm / 23.6"	3.6m
750 mm / 29.5"	4.5m
900 mm / 35.4"	5.4m
1000 mm / 39.4"	6.0m
Minimum Critical Root Zone Calculation: divide DBH (mm) by 166 Example: 800 mm divided by 166 = 4.8 m minimum distance from trunk	

Consolidated Bylaw No. 8041 – Page 11.

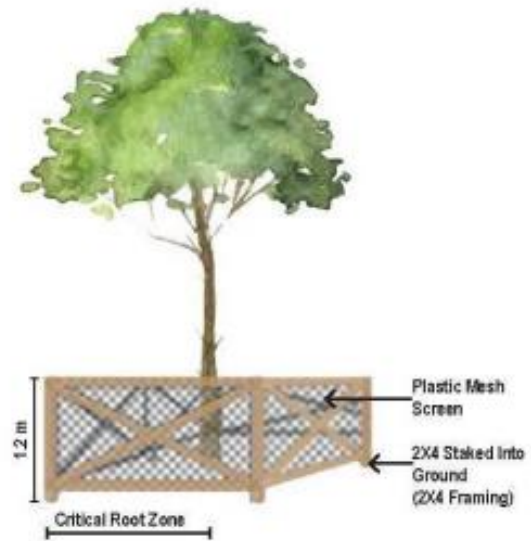
- Visible signage must be posted advising that encroachment inside the protected area is forbidden. Signage to be posted on at least two sides (weather-proof, 11"x17" minimum size). Sign must read:

NO ENTRY
Tree Protection Zone
If barrier has fallen over report immediately for repair
Phone: (xxx) xxx-xxxx

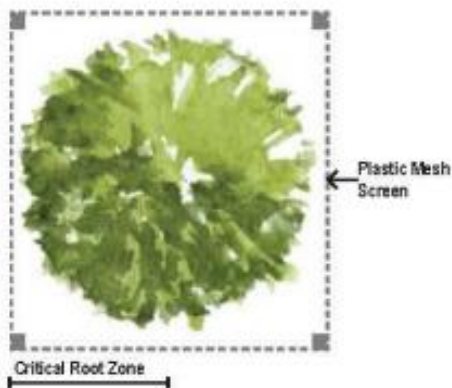
Figure 1 – Standard Tree Protection Zone Barrier Examples



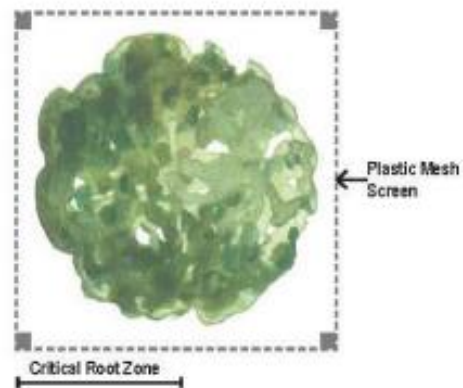
Elevation View



Elevation View



Plan View



Plan View

Appendix V - Assumptions and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles and ownership to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is evaluated as though free and clear, under responsible ownership and competent management.

Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

Loss or alteration of any part of this report invalidates the entire report.

Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the persons to whom it is addressed, without the prior expressed written or verbal consent of the consultant.

This report, or any copy thereof, shall not be conveyed, in whole or in part, by anyone, including the client, to the public via any media type or outlet, without the prior expressed consent of the consultant specifically as to value conclusions, identity of the consultant, or any reference to any professional society or institute or to any initialed designation conferred upon the consultant as stated in his qualification.

This report and values expressed herein represent the opinion of the consultant, and the consultant's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

Illustrations, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.

Information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plans or property in question may not arise in the future.

Appendix VI - Certificate of Performance

I, Adela Parlesak, certify that:

I have no current or prospective interest in the trees on the property, and have no personal interest or bias with respect to the parties involved;

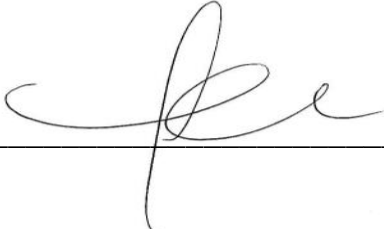
The analysis, opinions and conclusions stated herein are my own and are based on current scientific procedures and facts;

My analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices;

No one provided significant professional assistance to me, except as indicated within this report;

My compensation is not contingent upon the reporting of a predetermined conclusion that factors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.

I further certify that I am an International Society of Arboriculture Board Certified Master Arborist # PN-8202BT, and am tree risk assessment qualified. I am a member in good standing of the International Society of Arboriculture. I have been involved in the field of Arboriculture in a fulltime capacity for a period of nine years.

Signed:  _____ Date: February 24, 2023

CITY OF KELOWNA

MEMORANDUM

Date: June 15, 2023
File No.: HRA22-0001 R1
To: Urban Planning Management (BC)
From: Development Engineering Manager (NC)
Subject: 1175-1177 Ellis St Heritage Revitalization

The Development Engineering Branch has the following comments and requirements associated with this Heritage Revitalization Agreement to develop three commercial buildings located along the perimeter of the subject property, which surrounds the restored and heritage designated CN Train Station building. All requirements will be applicable at time of Building Permit. The Development Engineering Technician for this project will be Sarah Kelly (skelly@kelowna.ca).

1. General

- a. The following requirements are valid for two (2) years from the reference date of this memo, or until the application has been closed, whichever occurs first. The City of Kelowna reserves the right to update/change some or all items in this memo once these time limits have been reached.
- b. This property is located within an area identified by the City of Kelowna as possibly suited for groundwater recharge, increasing the site coverage will require consideration of increased storage capacity for onsite drainage system.

2. Domestic Water and Fire Protection

- a. The subject lot is located within the City of Kelowna water supply area. The existing lot is serviced with a 150mm diameter water service. Only one service is permitted per legal lot. If necessary to service new commercial buildings, the Applicant, will arrange for the removal of the existing service and replacement with one larger, metered, service.
- b. The Bylaw requirement for minimum available fireflow to commercial lots is 150 L/s. If it is determined that upgrades to any existing water distribution system must be made to achieve the necessary fire flows, the applicant must upgrade the existing system at their cost. Please contact the development technician for this file to arrange for formal modelling analysis to be completed.
- c. The Developer's Consulting Engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs. The applicant must demonstrate that both the calculated FUS fireflow demand and the internal building sprinkler demand of the proposed development does not exceed 150 L/s.

3. Sanitary Sewer System

- a. City records indicate that the subject lot is currently serviced with a 150mm diameter sanitary sewer service. The Applicant's Consulting Mechanical Engineer will determine the requirements of the proposed development and establish the service needs. Only one service will be permitted for each legal lot.

4. Storm Drainage

- a. The property is located within an area identified by the City of Kelowna as possibly suited for groundwater recharge. For consideration of on-site disposal of drainage water, safe use of infiltration is to be confirmed with submission of a geotechnical report provided by a Professional Engineer competent in the field of hydro-geotechnical engineering. The Lot Grading Plan must show the design and location of this system.
- b. Provide the following drawings:
 - i. A detailed Lot Grading Plan (indicate on the Lot Grading Plan any slopes that are steeper than 30% and areas that have greater than 1.0 m of fill);
 - ii. A Stormwater Management Plan for the localized area of the site being developed; and,
 - iii. An Erosion and Sediment Control Plan is to be prepared by a Professional Engineer proficient in the field of erosion and sediment control. The plan is to be prepared as per section 3.14 of Schedule 4 of Bylaw 7900. If a line item for ESC is not included in the Engineer's cost estimate for off-site work, then an additional 3% will be added to the performance security based on the total off-site construction estimate.
- c. On-site detention systems are to be compliant with Bylaw 7900, Schedule 4, Section 3.11.1 Detention Storage. SWMP is required to address increase in the site coverage and resulting increased storage capacity necessary for onsite drainage system.
- d. As per Bylaw 7900, Schedule 4, Section 3.1.3 Climate Change, the capacity of storm works will include an additional 15 percent (15%) upward adjustment, and applied to the rainfall intensity curve stage (IDF) in Section 3.7.2.
- e. City records indicate that the subject lot is currently serviced with a 150mm diameter storm service. The Applicant's Consulting Engineer will determine the requirements of the proposed development and establish the service needs. Only one service will be permitted for each legal lot.
- f. Where structures are designed or constructed below the proven high groundwater table, permanent groundwater pumping will not be permitted to discharge to the storm system. The City will approve designs that include provisions for eliminating groundwater penetration into the structure, while addressing buoyancy concerns. These design aspects must be reviewed and approved by the City Engineer.

5. Road Improvements

- a. Relocation of existing driveway access off St Paul St will require removal of existing concrete letdown, depressed curb, and driveway asphalt. New driveway location must be formalized with a concrete letdown, maximum 6m in width. Boulevard to be restored with landscape and irrigation which meets requirements of Bylaw 7900, Schedule 4.

- b. Public sidewalk on Ellis St to remain as concrete sidewalk to match City standard details, replacement with stamped concrete to match onsite Train Station crossings not permitted.
- c. All Landscape and Irrigation plans require design and inspection by a Qualified Professional registered with the BCSLA and the IIABC, are to be included as a line item in the estimate for the Servicing Agreement performance security. Landscape and irrigation plans require approval by the Development Engineering Branch at the same time as other "issued for construction" drawings.

6. Electric Power and Telecommunication Services

- a. The electrical and telecommunication services to this building/property must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone, and cable transmission companies to arrange for these services, which would be at the applicant's cost.
- b. Provide all necessary Statutory Rights-of-Way for any utility corridors as required.

7. Geotechnical Report

- a. Provide a comprehensive geotechnical report, prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below:

NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.

- b. The Geotechnical report must be submitted prior to submission of Engineering drawings or application for subdivision approval.
 - i. Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
 - ii. Site suitability for development.
 - iii. Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
 - iv. Any special requirements for construction of roads, utilities, and building structures.
 - v. Recommendations for items that should be included in a Restrictive Covenant.
 - vi. Recommendations for roof drains and perimeter drains.
 - vii. Recommendations for erosion and sedimentation controls for water and wind.
 - viii. Any items required in other sections of this document.

8. Design and Construction

- a. Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.

- b. Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c. Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (Part 5 and Schedule 3).
- d. A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e. Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

9. Servicing Agreements for Works and Services

- a. A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b. Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

10. Charges and Fees

- a. Development Cost Charges (DCC's) are payable.
- b. Fees per the "Development Application Fees Bylaw" include:
 - i. Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
 - ii. Engineering and Inspection Fee: 3.5% of offsite construction value (plus GST).



Nelson Chapman P.Eng.
Development Engineering Manager

SK

City of Kelowna
Planning Department
1435 Water Street
Kelowna BC, V1Y 1J4

Sep 7, 2022

To whomever it may concern,

RE: Kasian Architecture Infill Proposal at 520 Clement Ave. (aka 1177 Clement St.) - Kelowna

This report is to comment on the appropriateness of two new proposed infill buildings and an extension to the existing liquor store, at the corner of Clement Avenue and Ellis Street, the site of the CN Station, a listed property on the Kelowna Heritage Register which received municipal heritage designation (bylaw 10268) in 2009. The below observations consider the proposal's alignment with *additions to historic places* in the Standards & Guidelines for the Conservation of Historic Places in Canada and with Kelowna's Heritage Objectives as outlined in Chapter 11 of the OCP.



Render of the proposed Building B on the CN Station site. source: Kasian Architecture.

I have worked with the architects to create a site proposal that positively contributes to the evolution of this intersection, and that preserves and celebrates the special character and quality both of the CN Station and the North End industrial district. The overall proposed development does not negatively impact the heritage value of the historic place nor its character defining elements, but rather enhances it. This development proposal represents a thoughtful evolution of what is currently an under-built site (with an unsightly area at the northeast corner) to include higher density, new, relevant and ongoing uses and the further enhancement of the CN Station building. I see this proposal as a general improvement of the site to become a cohesive, complete complex, inspired by and centred around the heritage asset - the CN Station building.

The proposed drawing set in the Kasian Architecture application is a result of our collaboration.

Heritage status

Before the City of Kelowna protected the building with a municipal heritage designation by-law in 2009, the building had already been identified by the Historic Sites and Monuments Board of Canada in the early 1990s as one of over 100 Heritage Railway Station across Canada, protected through the Federal Heritage Railway Stations Protection Act.

Evaluating heritage values and significance

The CN train station's historic heritage value is extremely high. It not only represents the final stage in the transformation of Kelowna's economy from water-based to land-based access, connecting Kelowna directly to a national rail system, but also the significant economic growth for Kelowna and the entire Okanagan region sparked by the arrival of the CNR. The new railway connection created the impetus for the construction of packing houses, canneries and numerous other industrial facilities in the in the North End in late 1920s, shifting Kelowna's main industrial district from the waterfront to this northeast section of the city.

Its architectural value lies in its representation of an example of the CNR Architectural Division's modest interwar station designs. Its practical scale and simple design reflect the small population (approximately 3000 residents) and estimated cargo activity of Kelowna in the mid-1920s. Notwithstanding its modest scale, the combination of masonry materials (stone, brick and stucco), brick quoined corners and trim, elegant wood doors and windows, prominent roof with eyebrow dormers and deep overhang, give it a harmonious and handsome appearance.

Its conversion into a restaurant has returned what was a relatively underused building with limited public access to being a well-loved gathering place, as perhaps it was perceived when it still served as a passenger train station in its first 4 decades. Its social and historic value have been acknowledged through both federal and municipal protection and through its popularity today as the Train Station Pub.

Identification of the character defining elements of the property

The Kelowna Heritage Register Statement of Significance lists the following CDEs:

- Good example of an historic train station, unique in Kelowna
- Characteristic many CN railway stations built between the wars
- Large roof proportions in relation to the building mass
- Steeply pitched hipped roof with small gables cut into the ends, and with deep, bellcast eaves and six eyebrow dormers
- Long, thin building form
- Projecting bay window for the operator on the north side
- Loading doors at the east end
- Red brick quoins at the corners
- Fieldstone lower walls, with battered (tapered) elevation, capped by a string course
- Stucco walls (painted cream) above the fieldstone / string course
- Wood, double-hung one-over-one window sash, brick framed

Given the heritage values articulated in the previous section, it would be appropriate to also include its original corner location on Clement and Ellis, the gateway to the 'new' North End industrial area, as a character defining element, and well as its high visibility and status as a landmark. I'd also clarify the character of the original windows which are mostly large, commercial/industrial assemblies spanning from just below the roof eaves to the stone foundation (the most visible window on the Ellis elevation is a triple assembly). The railway garden and large Ginkgo tree are also considered contributors to the heritage value of the site.

Recommendations and strategies to inform the design of the new development

Thanks to the arrival of the CN Railway in 1926, Kelowna began to grow so rapidly, that the scenario of a lone train station building lasted only a few years, as the initial cohort of late 1920s industrial buildings grew around it, and even more so with the subsequent mid-century buildings added after the loop expansion of the rail lines in 1948. Today, Kelowna's status as the largest city in the Okanagan and the fastest growing in the province, is bringing consistent and rapid change to the built environment, mostly reflected in increases in density and height. The immediate area around the CN train station has been rezoned for higher density and two of the four corners of the subject intersection now house high-rise towers, directly across the street from the CN station.

The proposed infill buildings, Buildings B, C and the extension to Building A, all need to respond to the above mentioned context - that the CN Station is an incredibly significant regional, municipal and local (North End) landmark located at an intersection that may be the fastest and most dramatically transforming intersection in BC. Working with Kasian Architecture we used the following principles to finalize the development proposal:

- The CN Station visibility must not be disrupted

- Its modest scale and design cannot be overshadowed
- The infill buildings represent a transition in height and density between the low and sparsely built industrial area and the high-rise towers
- The infill buildings' design should not be generic, but should take cues from the historic place and the industrial character of the area.

The proposed development incorporates these guidelines through:

- The siting of the new buildings leave ample space around the CN Station building to be visible and remain the feature of the site.
- The largest and most visible of the new buildings, Building B, takes direct cues from the CN Station building by applying a unique treatment to its ground floor and a simplified design and colour scheme for the upper levels, so as to keep passerby's eyes at the street level and on the relationship between Building B and the historic train station, especially on the two prominent elevations - the west and south elevations.
- The infill buildings range from one to five storeys, offering that middle range transition height to higher developments nearby.
- The infill buildings feature references to the historic train station through:
 - Building A and C's modest scale, single storey height, stucco cladding and brick details
 - Building B's unique ground floor design and colour treatment including the use of brick detailing on this first floor only
 - Building B's ground floor Ellis elevation composition mirrors the train station's Ellis elevation by featuring a solid centre with windows on the ends while the train station features a glazed centre with solid ends.
 - All building's industrial-inspired window assemblies with compositions similar to those of the train station's (use of multi assemblies with transoms)

The Standards & Guidelines standard 11 - 'additions to historic places', requires additions to be "physically and visually compatible with, subordinate to and distinguishable from the historic place¹."

Distinguishability - The infill buildings all read as a clearly contemporary structures, which is both honest (it doesn't create confusion about what is historic and what is new) and traditional (architects in the past never imitated traditional design but applied the trending designs of their time, which allows us to easily read and interpret historic and mixed-era streetscapes).

Compatibility - Buildings A and C are compatible with the CN Station in height, scale and the use of stucco and brick cladding. Building B pays homage to the train station through a design emphasis on the ground floor with references to the train station design and composition including a similar ground floor height, vertical brick columns, and southwest canopy cables

¹ Standards and Guidelines for the Conservation of Historic Places in Canada - page 23

that emulate the angle of the station hip roof. All the infill buildings have industrial-inspired window assemblies with compositions similar to those of the train station's. All three buildings read as industrial/commercial buildings as fitting to the historic character of the North End industrial district.

Subordinate - Additions can be large, but they must not 'steal the show' from the historic place. All three infill buildings lack the traditional ornamentation of the CN Station as expressed in its brick quoins and in curved architectural details such as the bellcast roof and eyebrow dormers. These three more simply-finished buildings leave the CN Station as the central, most intricate feature on site. The additional 3.5 storeys on Building B are downplayed through a muted colour scheme and simplified finishes keeping the focus on the ground floor and that level's relationship with the CN Station.

Finally, as the railway garden and large Ginkgo tree are also considered contributors to the heritage value of the site, the developments' retention and highlighting of these two assets as focal points, and the development's overall pedestrian-focused approach, help to improve public engagement and animation of this important historic place.

Summary

It is my professional opinion that the development proposed here by Kasian Architecture is a good model of conservation and evolution for a historic site. Heritage Conservation is a tool for managing change in historic places. Historic properties should be able to thoughtfully change and evolve, especially when these changes include relevant and sustainable uses. In this case, the protected building is not being altered in any way, and ample space is being left between it and the infill buildings. This proposed cohesive development of the site completes a revitalization intent initiated in 2010 and represents thoughtful, sensitive change at a high visibility intersection in Kelowna with high heritage value. The proposal as a whole respects and reflects the heritage values of the property, follows the national Standards for additions to historic places, and meets the objectives articulated in Kelowna's OCP chapter 11 - Heritage.

Yours Truly,



Elana Zysblat, BCAHP
heritage consultant



City of
Kelowna

HRA22-0001 **1175-1177 Ellis St**

Heritage Revitalization Agreement

Purpose

- ▶ To enter into a Heritage Revitalization Agreement for the subject property.

Heritage Revitalization Agreement (HRA)

- ▶ HRAs offer continuing protection of heritage property.
- ▶ An HRA may vary or supplement provisions of various bylaws & permits, including the Zoning Bylaw.
- ▶ Property specific & unique to each application.

Heritage Designation Bylaw

- ▶ Bylaw to protect heritage assets
- ▶ Heritage Alteration Permit (HAP) required for any exterior changes.

Development Process



Oct 21, 2022

Development Application Submitted



Staff Review & Circulation



Aug 11, 2023

Public Notification Received



Initial Consideration



Oct 16, 2023

Public Hearing
Second & Third Readings



Final Reading



Heritage Revitalization Agreement & Building Permit



Council Approvals



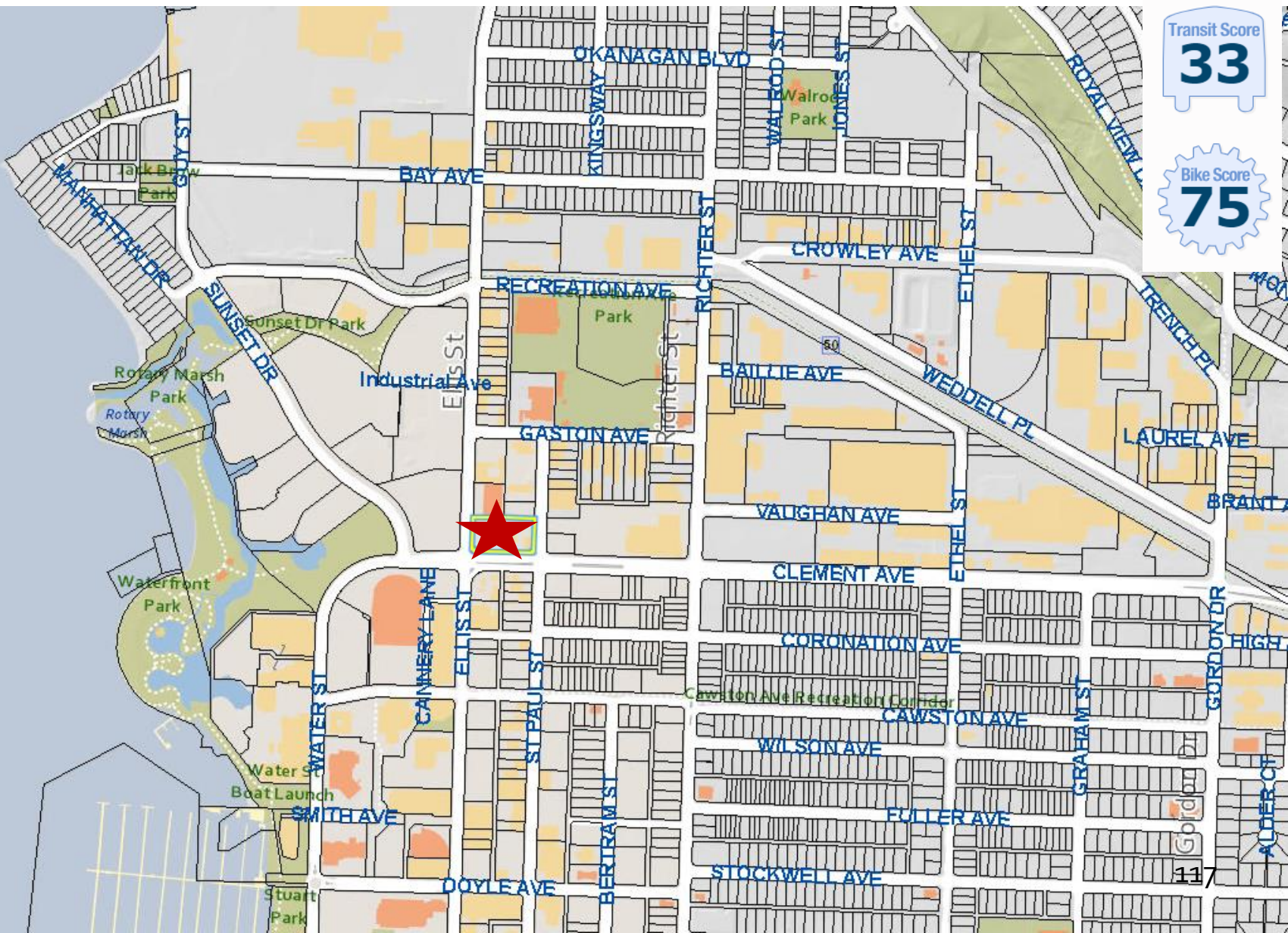
Context Map










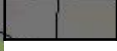

Walk Score
88

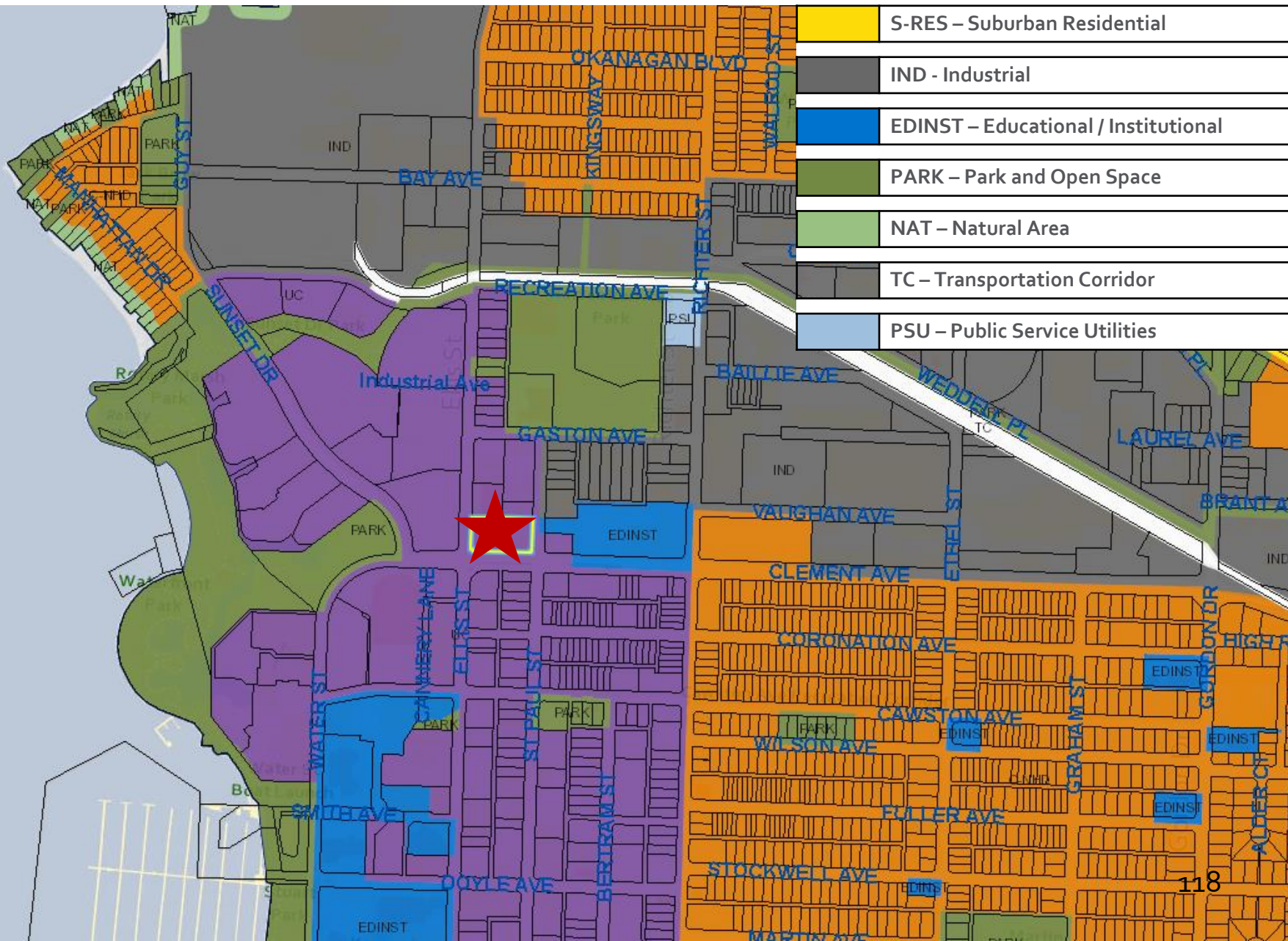
Transit Score
33

Bike Score
75



OCP Future Land Use

	UC – Urban Centre
	C-NHD – Core Area Neighbourhood
	S-RES – Suburban Residential
	IND - Industrial
	EDINST – Educational / Institutional
	PARK – Park and Open Space
	NAT – Natural Area
	TC – Transportation Corridor
	PSU – Public Service Utilities



Subject Property Map



Subject Property



LOOKING EAST



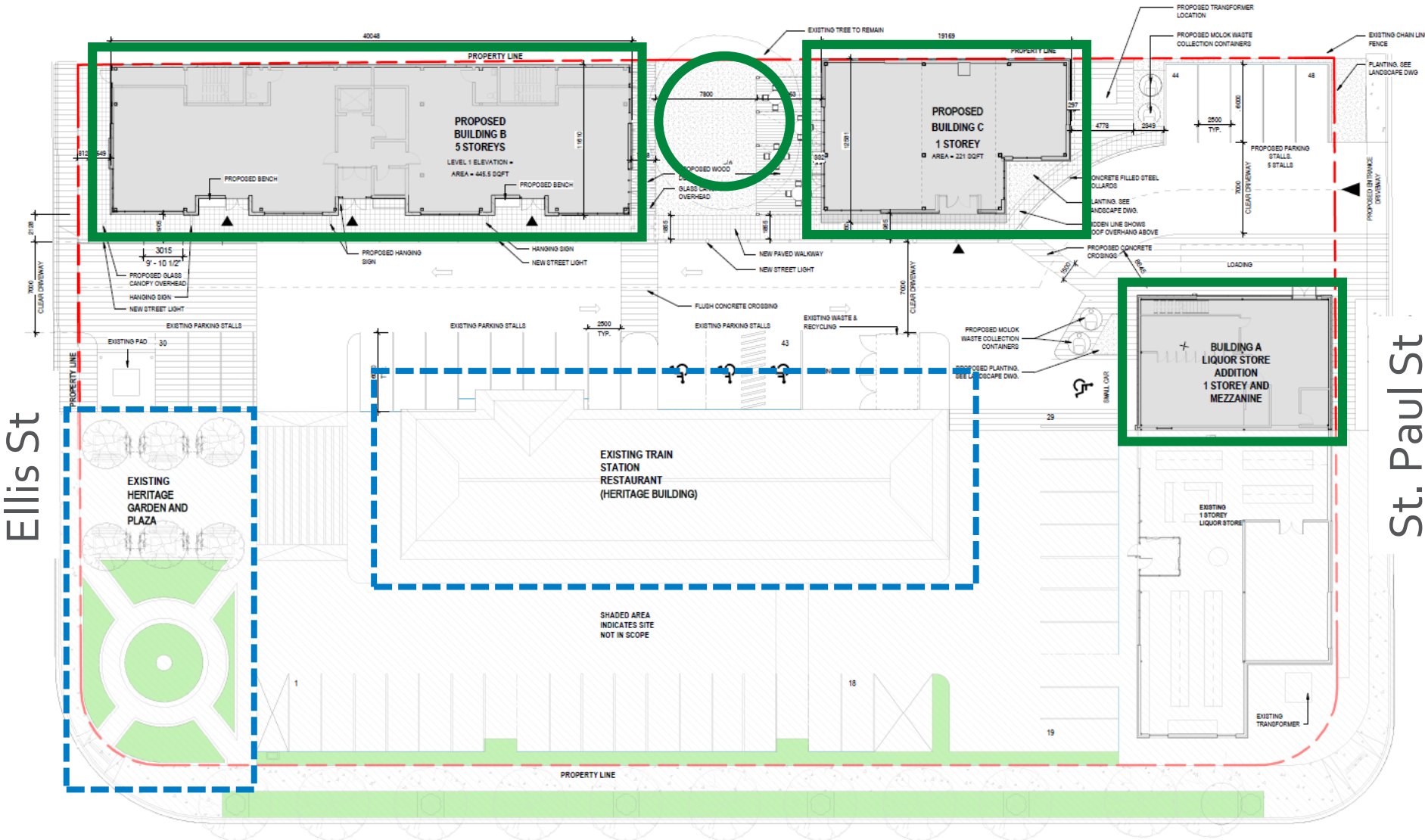
LOOKING NORTH EAST

Background

- ▶ Heritage Register & Heritage Designation
- ▶ 2010 HRA agreement
 - ▶ Restore & convert CN Station - completed in 2012
 - ▶ Construct Heritage Garden & Plaza - completed in 2012
 - ▶ Construct three new commercial buildings - partially completed
- ▶ New (2022) HRA agreement
 - ▶ Evolving surrounding redevelopment
 - ▶ Outdated form & character, land use & agreement



Site Plan & Project Objectives

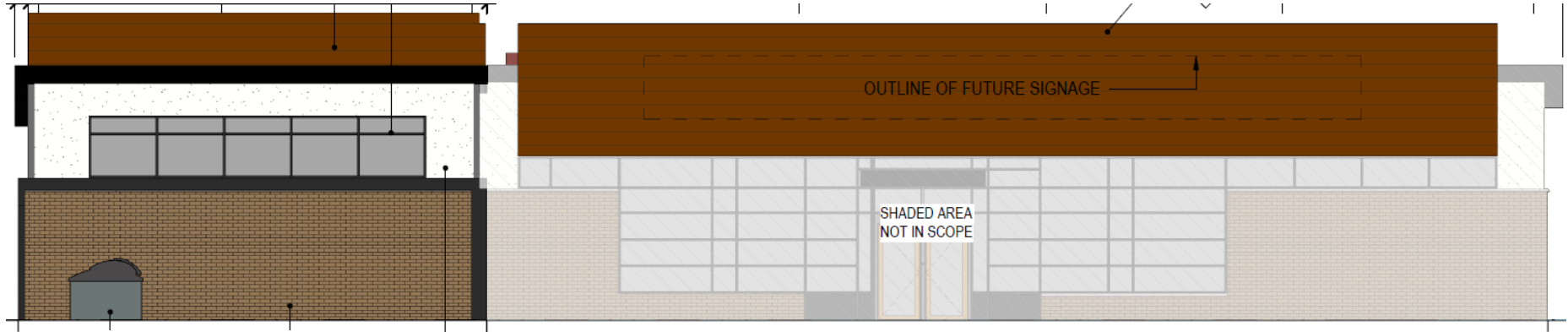


Ellis St

St. Paul St

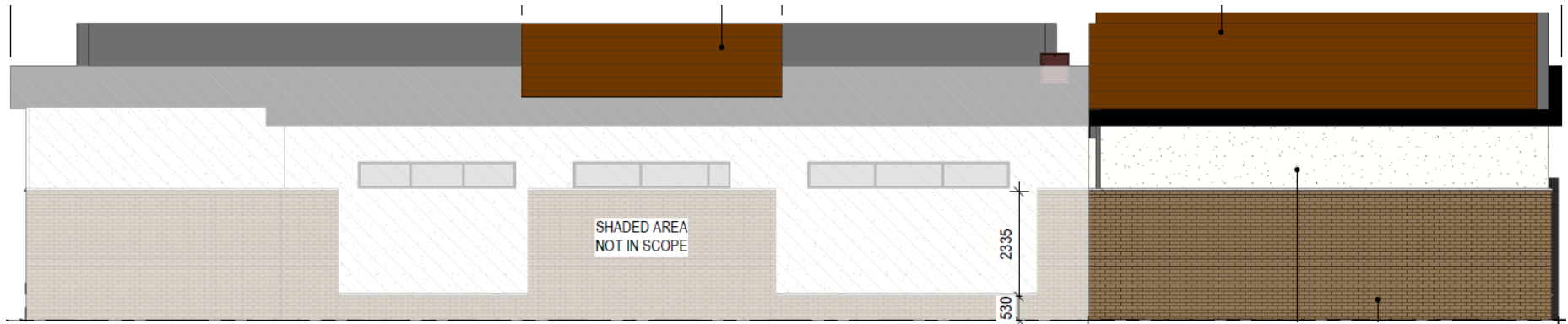
Clement Ave

Project Details – Building A Expansion



Expansion

Onsite Facade



St. Paul St Facade

*Expansion*₁₂₃

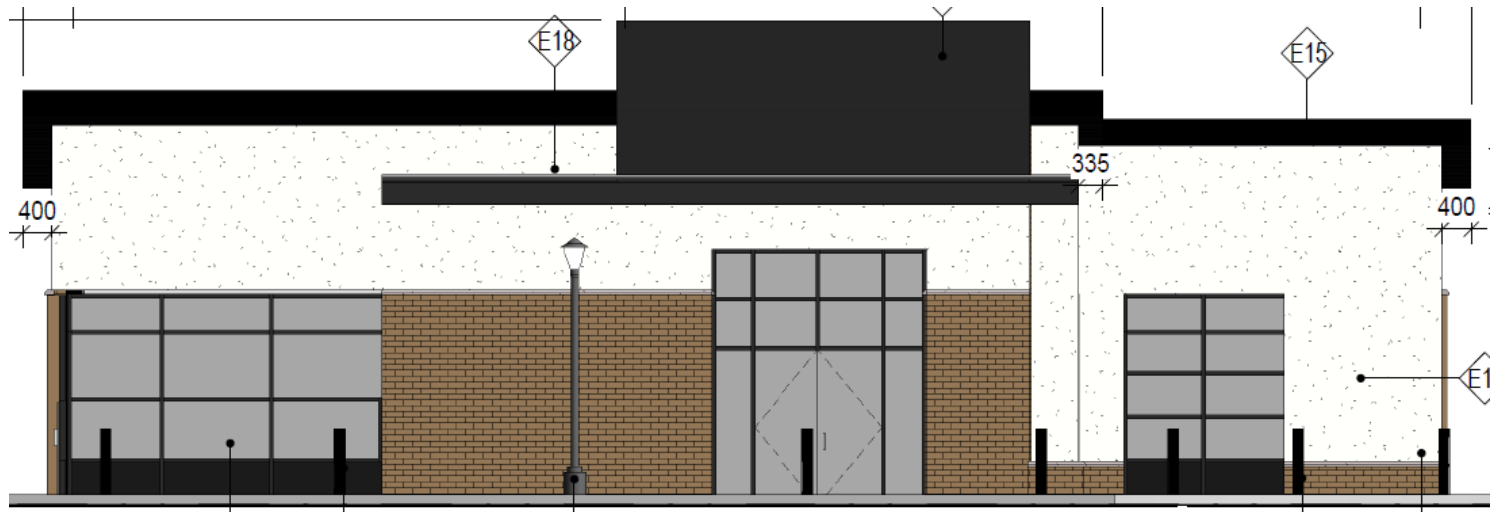
Project Details – Building B



Onsite Facade

Ginkgo Tree
Courtyard

Project Details – Building C



Onsite Facade



Courtyard Facade

Renderings



Ellis St

St. Paul St

Clement Ave

Renderings



OCP Objectives & Policies

- ▶ Policy 4.1.4 Office Development
 - ▶ Direct large office developments to Urban Centres with emphasis on Downtown as a preferred destination.
- ▶ Policy 4.4.6 Downtown Heritage Revitalization Agreements
 - ▶ Consider the use of Heritage Revitalization Agreements to provide greater flexibility for redevelopment proposals of historic buildings in the Downtown
- ▶ Policy 4.9.1 Transitioning to Industrial & Service Commercial Uses
 - ▶ Provide transitions between Urban Centres & adjacent industrial or service commercial uses to reduce the impacts of nuisances from those lands
- ▶ Policy 11.2.5 Protection of Historic Places
 - ▶ Prioritize the legal protection of historic places using the tools identified in the Local Government Act - Heritage Revitalization Agreements

Staff Recommendation

- ▶ Staff recommend **support** for the proposed Heritage Revitalization Agreement as it is consistent with:
 - ▶ OCP Objectives in Chapter 4 Urban Centres
 - ▶ Office Development
 - ▶ Downtown Heritage Revitalization Agreements
 - ▶ Transitioning to Industrial & Service Commercial Uses
 - ▶ OCP Objectives in Chapter 11 Heritage
 - ▶ Protection of Historic Places

CITY OF KELOWNA

BYLAW NO. 12588

Heritage Revitalization Agreement Authorization Bylaw HRA22-0001 – 1175-1177 Ellis Street – Kelowna Train Station Inc., Inc.No. BCo847922

WHEREAS a local government may, by bylaw, enter into a heritage revitalization agreement with the Owner of property which Council deems to be of heritage value pursuant to section 610 of the *Local Government Act*;

AND WHEREAS the Municipal Council of the City of Kelowna is desirous of entering into a Heritage Revitalization Agreement with Kelowna Train Station Inc., Inc.No. BCo847922 for the property located at 1175-1177 Ellis Street;

THEREFORE the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. The Municipal Council of the City of Kelowna hereby authorizes the City of Kelowna to enter into a Heritage Revitalization Agreement with Kelowna Train Station Inc., Inc.No. BCo847922 for the property located at 1175-1177 Ellis Street, Kelowna, B.C., and legally described as:

Lot A, District Lot 139, ODYD, Plan KAP68238

In the form of such Agreement attached to and forming part of this bylaw as Schedule "A".

2. The Mayor and City Clerk are hereby authorized to execute the attached agreement, as well as any conveyances, deeds, receipts, and other documents in connection with the attached agreement, and to affix the corporate seal of the City of Kelowna to same.

AND THAT Bylaw No. 10383 being Heritage Revitalization Agreement Authorization Bylaw HRA10-0001 – 1177 Ellis Street – Kelowna Train Station Inc. and all amendments thereto, are hereby repealed.

Read a first time by the Municipal Council this

Considered at a Public Hearing this

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

SCHEDULE "A"
HERITAGE REVITALIZATION AGREEMENT

THIS AGREEMENT dated as of the _____ day of _____, 2023

BETWEEN:

City of Kelowna, a Municipal Corporation having offices at 1435 Water Street, Kelowna, British Columbia V1Y 1J4

(herein called the "CITY")

OF THE FIRST PART

AND: Kelowna Train Station Inc., Inc. No. BCo847922 of
5711 1st Street SE
Calgary, Alberta
T2H 1H9

(herein called the "OWNER")

OF THE SECOND PART

WHEREAS a local government may, by bylaw, enter into a Heritage Revitalization Agreement ("Agreement") with the Owner of property identified as having heritage value, pursuant to Section 610 of the *Local Government Act*;

AND WHEREAS the Owner owns certain real property on which is situated a building of heritage value, known as the "Train Station Pub" a.k.a Heritage Building, pursuant to the City's Heritage Register, which property and building are located at 1175-1177 Ellis Street, Kelowna, BC and legally described as:

Parcel Identifier: 024-929-409
Lot A, District Lot 139, Osoyoos Division Yale District, Plan KAP68238

(herein called the "Subject Property ")

AND WHEREAS the Owner has presented to the City a proposal for the use, development and preservation of the Subject Property and has voluntarily and without any requirement by the City, entered into this Agreement pursuant to Section 610 of the *Local Government Act*;

AND WHEREAS a local government must hold a Public Hearing on the matter before entering into, or amending, a Heritage Revitalization Agreement if the Agreement or amendment would permit a change to the use or density of use that is not otherwise authorized by the applicable zoning of the Subject Property and for these purposes Section 464 through 470 of the *Local Government Act* apply;

AND WHEREAS within thirty days after entering into, or amending, a Heritage Revitalization Agreement the local government must file a notice in the Land Title Office in accordance with Section 594 of the *Local Government Act* and give notice to the Minister responsible for the *Heritage Conservation Act* in accordance with Section 595 of the *Local Government Act*;

NOW THEREFORE in consideration of the mutual promises contained in this Agreement and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1.0 Heritage Revitalization Agreement

- 1.1 The parties agree that the Subject Property located at 1175-1177 Ellis Street have heritage value, deserving of protection and conservation.
- 1.2 The Owner specifically agrees to maintain, preserve, and protect the heritage character of buildings located on the Subject Property in accordance with Schedule B (Architectural Drawing Set) and Schedule C (Landscape Drawing Set).
- 1.3 All buildings (existing and proposed) as well as the existing Heritage Garden and Plaza located on the Subject Property, which are referenced within this Agreement, are illustrated in Schedule B - Site Plan, drawing A-101.
- 1.4 The parties agree that the Subject Property may, notwithstanding Zoning Bylaw No. 12375 including the provisions identified in the UC1 – Downtown Urban Centre zoning, be developed under the following regulations:

Table 1: HRA22-0001 regulations as per Zoning Bylaw No. 12375

HRA22-0001 Regulations			
CRITERIA	PARAMETER		
Permitted Uses			
<i>Building A</i>			
Principal Uses	Offices		
	Retail		
<i>Building B</i>			
Principal Uses	Offices		
	Retail		
<i>Building C</i>			
Principal Uses	Offices		
	Retail		
<i>Train Station Pub</i> – Existing Heritage Building			
Principal Uses	Liquor Primary		
	Retail		
Development Regulations (UC1)			
Permitted		Proposed	
Max Height = 6 storeys (22.0m)		Building A = 2 storeys (6.84 m) Building B = 5 storeys (21.0 m) Building C = 1 storey (6.6 m)	
Max FAR = 1.0		0.58	
Max Site Coverage of all Buildings = 100%		28.8%	
Parking Regulations (UC1)			
Permitted		Proposed	
Minimum: 0.9 spaces / 100m ² GFA		48 stalls	
Maximum: 3.0 spaces / 100m ² GFA			
	Min		Max
Building A	4.7		15.5
Building B	17.7		59.1
Building C	2.0		6.6
Existing Heritage Pub	3.2		10.7
<i>Total</i>	<i>27.6</i>	<i>91.9</i>	

- 1.5 All other permitted land uses under UC1 – Downtown Urban Centre zone as per Zoning Bylaw No. 12375 may be considered on the Subject Property, pending a change of land use review and analysis which prove out the development regulations associated with the additional land use(s). Any change to land use is pursuant to an amendment to this Agreement.
- 1.6 The parties agree that, except as varied or supplemented by the provisions of this Agreement, all bylaws and regulations of the City and all laws of any authority having jurisdiction shall apply to the property and commercial business.
- 1.7 Bylaw No. 12420 Development Cost Charges will not apply to the existing Heritage Building but will apply to new buildings, specifically Building B, Building C, and to the new addition (expansion) to Building A only, permitted through this Agreement.

2.0 Conservation and Maintenance of Existing Heritage Building (Train Station Pub)

SCHEDULE "A" HRA22-0001

- 2.1 The existing Heritage Building located on the Subject Property is illustrated on Schedule B - Site Plan, drawing A-101.
- 2.2 The Heritage Building was designated as a heritage site under a Heritage Designation (HD) bylaw (BL10268) in 2009.
- 2.3 As per HD bylaw BL10268, the Owner agrees not to alter the exterior through renovation, addition, and/or tenant improvement of the Heritage Building except pursuant to a Heritage Alteration Permit issued by the City.
- 2.4 The Owner shall maintain the Heritage Building to ensure the integrity and preservation of existing heritage elements as per the original intent (Schedule D) through regular maintenance and repair to prevent deterioration of the Heritage Building.
- 2.5 The Owner agrees to maintain and/or repair the exterior of the Heritage Building in accordance with the condition assessment report titled "Heritage Element and Structural Visual Assessment" prepared by RJC Engineering, dated December 23, 2022, attached hereto as Attachment A. The interior layout of the heritage buildings will be determined by the Owner, subject to BC Building Code requirements.
- 2.6 A historical plaque summarizing the heritage value of the Heritage Building and the works completed on the Subject Property shall be installed and maintained at the expense of the applicant, subject to approval by the City of Kelowna.

3.0 Conservation and Maintenance of Existing Heritage Garden and Plaza

- 3.1 The existing Heritage Garden and Plaza located on the Subject Property is illustrated on Schedule B – Site Plan, drawing A-101.
- 3.2 The Owner shall maintain the Heritage Garden and Plaza to ensure the integrity and preservation of existing heritage elements as per the original intent (Schedule E) through regular maintenance and repair to prevent deterioration of the Heritage Garden and Plaza.
- 3.3 The Owner agrees to maintain, replace and/or repair items in accordance with the Heritage Garden and Plaza assessment report titled "Railway Garden and Plaza Heritage Assessment" prepared by VDZ + A, dated February 2023, attached hereto as Attachment B.

4.0 Preservation and Protection of the Ginkgo Tree

- 4.1 An existing mature Ginkgo tree located on the Subject Property is illustrated on Schedule B – Site Plan, drawing A-101.
- 4.2 The Owner agrees to preserve and protect the mature Ginkgo tree prior to, during, and post development in accordance with the "Tree Preservation Plan" prepared by Bartlett Tree Experts, dated February 24, 2023, attached hereto as Attachment C.
- 4.3 The Owner agrees to register a Section 219 Tree Protection Covenant to protect the mature Ginkgo tree as per the term and conditions of the Covenant.

5.0 Proposed New Development:

- 5.1 The Owner agrees that the construction of new buildings on the property to allow commercial development as a permitted use, provided that:
 - i. The use is in conformance with the Heritage Revitalization Agreement Bylaw No. 12588, as outlined in Table 1;
 - ii. The dimensions and the siting of the new buildings to be constructed on the Subject Property be in general accordance with Schedule B;
 - iii. The exterior design and finish of the new buildings to be constructed on the Subject Property be in general accordance with Schedule B.

- 5.2 The Owner agrees not to alter the exterior through a renovation, addition and/or tenant improvement of the new buildings except pursuant to a Heritage Alteration Permit issued by the City, and in accordance with this Agreement.
- 5.3 No additional buildings will be permitted between the South façade of the Heritage Building and Clement Avenue, nor between the West façade and Ellis Street.
- 5.4 The Owner agrees that the site planning and landscaping on the Subject Property, provided that:
 - i. Surface parking stalls and a designated area for bike racks shall be provided as per Schedule B;
 - ii. The Owner agrees to install and maintain landscaping on the Subject Property in general accordance with the attached landscape plans, Schedule C;
 - iii. The Owner agrees to post a Landscape Performance Security bond with the City in the form of a "Letter of Credit" or cash in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper, as outlined in Schedule C.
- 5.5 The Owner agrees to prove and pay for all servicing required by the proposed development of the subject property and to provide required bonding for same, including, but not limited to: domestic water and fire protection, sanitary sewer, storm drainage, road improvements, power and telecommunication services and street lights, as per Development Engineering Memorandum, dated June 15, 2023, Attachment D).

6.0 Commencement and Completion

- 6.1 The Owner agrees to commence the proposed development upon adoption of City of Kelowna Heritage Revitalization Agreement Authorization Bylaw No. 12588 and to commence all such works within two (2) years of the adoption of the Heritage Revitalization Agreement.
- 6.2 In the event the Owner has not commenced works within the two (2) years of the adoption of the Heritage Revitalization Agreement, then a Heritage Alteration Permit will be required to assess the form and character of any unconstructed building(s).

7.0 Damage or Destruction

- 7.1 In the event that no more than 75% of the Heritage Building is damaged, the parties agree as follows:
 - a) The Owner may repair the Heritage Building in which event the Owner shall forthwith commence the repair work and complete same within one year of the date of damage;
 - OR, in the event that the Heritage Building is destroyed,
 - b) The City may, by bylaw, and after conducting a Public Hearing in the manner prescribed by Sections 464 through 470 of the *Local Government Act*, cancel this Agreement, whereupon all use and occupation of the Subject Property shall thenceforth be in accordance with the zoning bylaws of the City and in accordance with all other bylaws or regulations of the City or any other laws of authority having jurisdiction.

8.0 Breach

- 8.1 In the event that the Owner is in breach of any term of this Agreement, the City may give the Owner notice in writing of the breach and the Owner shall remedy the breach within 30 days of receipt of the notice. In the event that the Owner fails to remedy the breach within the time allotted by the notice, the City may, by bylaw and after conducting a Public Hearing in the manner prescribed by Sections 464 through 470 of the *Local Government Act*, cancel this

Agreement whereupon all use and occupation of the Subject Property shall thenceforth be in accordance with the zoning bylaws of the City and in accordance with all other bylaws or regulations of the City or any other laws of authority having jurisdiction.

9.0 Amendment to the Heritage Revitalization Agreement

- 9.1 The parties acknowledge and agree that this Agreement may only be amended by one of the following means:
- a) By bylaw with the consent of the parties provided that a Public Hearing shall be held if an amendment would permit a change to use or density of use on site or;
 - b) By Heritage Alteration Permit (HAP), issued pursuant to Section 617 of the *Local Government Act*.

10.0 Representations

- 10.1 It is mutually understood and agreed upon between the parties that the City has made no representations, covenants, warranties, promises or agreements expressed or implied, other than those expressly contained in this Agreement.

11.0 Statutory Functions

- 11.1 Except as expressly varied or supplemented herein, this Agreement shall not prejudice or affect the rights and powers of the City in the exercise of its statutory functions and responsibilities including, but not limited to, the Local Government Act and its rights and powers under any enactments, bylaws, order or regulations, all of which, except as expressly varied or supplemented herein, are applicable to the Subject Property.

12.0 Inurement

- 12.1 This Agreement inures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

13.0 Other Documents

- 13.1 The Owner agrees at the request of the City, to execute and deliver or cause to be executed and delivered all such further agreements, documents and instruments and to do and perform or cause to be done and performed all such acts and things as may be required in the opinion of the City to give full effect to the intent of this Agreement.

14.0 Notices

- 14.1 Any notice required to be given pursuant to this Agreement shall be in writing and shall either be delivered mailed by registered mail as follows:

- (a) To the City:
City of Kelowna
1435 Water Street
Kelowna, B.C. V1Y 1J4

ATTENTION: City Clerk
- (b) To the Owner:
Kelowna Train Station Inc., Inc. No. BCo847922
5711 1st Street SE
Calgary, Alberta
T2H 1H9

Or, to such other address to which a party hereto may from time to time advise in writing.

15.0 No Partnership or Agency

- 15.1 The parties agree that nothing contained herein creates a relationship between the parties of partnership, joint venture or agency.

IN WITNESS WHEREOF this Agreement has been executed by the parties hereto on the day and year first above written.

Attachments:

- Schedule A: Draft Heritage Revitalization Agreement
- Schedule B: Rationale Letter and Architectural Drawing Set
- Schedule C: Landscape Drawing Set and Cost Estimate Letter
- Schedule D: Heritage Building (Train Station Pub) Original Intent HRA10-0001
- Schedule E: Heritage Garden Original Intent HRA10-0001
- Attachment A: Heritage Building (Train Station Pub) Assessment Report
- Attachment B: Heritage Garden Assessment Report
- Attachment C: Tree Preservation Plan
- Attachment D: Development Engineering Memorandum
- Attachment E: Heritage Consultant Review

Page 6 of 8

SCHEDULE "A" HRA22-0001

CITY OF KELOWNA
By its authorized signatories

Mayor

City Clerk

Applicant Name

Kelowna Train Station Inc.

Date:

10/10/2023

In the presence of:

DocuSigned by:
Jane Ryan
6319E0F08E448E
Jane Ryan (Authorized signatory)

Witness (print name)

Witness (Signature)

Address

Occupation

REPORT TO COUNCIL REZONING



Date: October 16, 2023
To: Council
From: City Manager
Address: 2435 Taylor Cr
File No.: Z23-0034

	Existing	Proposed
OCP Future Land Use:	C-NHD – Core Area Neighbourhood	C-NHD – Core Area Neighbourhood
Zone:	RU1 – Large Lot Housing	RU4 – Duplex Housing

1.0 Recommendation

THAT Rezoning Application No. Z23-0034 to amend the City of Kelowna Zoning Bylaw No. 12375 by changing the zoning classification of Lot 11 District Lot 14 ODYD Plan 7336, located at 2435 Taylor Cr, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU4 – Duplex Housing zone, be considered by Council;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Attachment “A” attached to the Report from the Development Planning Department dated October 16, 2023.

2.0 Purpose

To rezone the subject property from the RU1 – Large Lot Housing zone to the RU4 – Duplex Housing zone to facilitate two dwelling housing.

3.0 Development Planning

Staff support the proposed rezoning application to the RU4 – Duplex Housing zone. The proposal is consistent with the 2040 Official Community Plan (OCP) Future Land Use Designation of C-NHD – Core Area Neighbourhood, which speaks to the accommodation of single and two dwelling growth. The property is connected to City sanitary sewer and is located within the Permanent Growth Boundary (PGB).

Lot Area	Proposed (m ²)
Gross Site Area	809 m ²
Road Dedication	N/A
Undevelopable Area	N/A
Net Site Area	N/A

4.0 Site Context & Background

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single Detached Housing
East	RU1 – Large Lot Housing	Single Detached Housing
South	RU1 – Large Lot Housing	Single Detached Housing
West	RU4 – Duplex Housing	Two Dwelling Housing

Subject Property Map: 2437 Taylor Cr



The surrounding area is primarily zoned RU1 – Large Lot Housing and RU4 – Duplex Housing. This property is located in close proximity to several beach accesses and City parks, Kelowna General Hospital and Pandosy Street which is designated as a transit supportive corridor.

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Objective 5.3 Design residential infill to be sensitive to neighbourhood context.		
Policy	5.3.1	Encourage gentle densification in the form of ground-oriented residential uses such as house-plexes, townhouses and narrow lot housing to approximately 2 storeys, maintaining residential uses and setbacks that reflect the existing development pattern. Consider opportunities for greater height and massing at block ends and along Active Transportation Corridors as outlined in Figure 5.3.
Ground Oriented infill		<i>The application proposes gentle densification to a growing neighbourhood.</i>

6.0 Application Chronology

Application Accepted: May 24, 2023
Neighbourhood Notification Summary Received: September 7, 2023

Report prepared by: Jason Issler, Planner I
Reviewed by: Lydia Korolchuk, Acting Urban Planning Supervisor
Reviewed by: Jocelyn Black, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Development Engineering Memo dated August 30, 2023

For additional information, please visit our Current Developments online at www.kelowna.ca/currentdevelopments.

CITY OF KELOWNA

MEMORANDUM

Date: August 30, 2023
File No.: Z23-0034
To: Community Planning and Development Manager (JI)
From: Development Engineering Manager (NC)
Subject: 2435 Taylor Cr.

ATTACHMENT A
This forms part of application # Z23-0034
Planner Initials <input type="text" value="JI"/>
City of Kelowna DEVELOPMENT PLANNING

RU1 to RU4

The Development Engineering Branch has the following requirements for this Rezoning application for the subject property from RU1 – Large Lot Housing to RU4 – Duplex Housing. The Development Engineering Technician for this project is Aaron Sangster (asangster@kelowna.ca). Additional Works and Services will be a requirement of this development at time of Building Permit.

1. GENERAL

- a. The following requirements are valid for two (2) years from the reference date of this memo, or until the application has been closed, whichever occurs first. The City of Kelowna reserves the rights to update some or all items in this memo if the zone amendment bylaw has not been adopted within this timeframe.

2. REZONING-SPECIFIC REQUIREMENTS

- a. Taylor Cr. must be upgraded to a modified urban Local SS-R3 standard along the full frontage of this proposed development including curb and gutter, sidewalk, road fillet paving, storm drainage system, LED streetlighting, landscaped boulevard c/w irrigation, pavement removal and replacement, and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.
 - i) All Landscape and Irrigation plans require design and inspection by a Qualified Professional registered with the BCSLA and the IIABC, are to be included as a line item in the estimate for the Servicing Agreement performance security. Landscape and irrigation plans require approval by the Development Engineering Branch at the same time as other “issued for construction” drawings.
 - ii) Streetlights must be installed on all public roads. All streetlighting plans are to include photometric calculations demonstrating Bylaw 7900 requirements are met and require approval by the Development Engineering Branch at the same time as other “issued for construction” drawings.
- b. The subject property fronts the intersection of Francis Ave and Taylor Cr, which is currently undergoing partial reconstruction. The Developer must engage a Civil Engineer to prepare a design for the frontage improvements that are compatible with the improvements that are currently underway. Please contact the Development Technician on this file for more information and for assistance in coordinating this work.

- c. The Developer must complete any necessary utility servicing work prior to completion of the frontage improvements. For more information, see additional requirements, applicable at time of Building Permit application, below.
- d. For more information about completing offsite works and services, see Section 9 below.

The following requirements will be applicable at time of Building Permit Application:

3. DEVELOPMENT PERMIT AND SITE-RELATED ISSUES

- a. This proposed development may require the installation of centralized mail delivery equipment. Please contact Arif Bhatia, Delivery Planning Officer, Canada Post Corporation, 530 Gaston Avenue, Kelowna, BC, V1Y 2K0, (250) 859-0198, arif.bhatia@canadapost.ca to obtain further information and to determine suitable location(s) within the development.
- b. All vehicle access to the subject property must be from the lane.
- c. The existing driveways must be removed once the existing building is demolished.

4. DOMESTIC WATER AND FIRE PROTECTION

- a. The subject property is located within the City of Kelowna Water Supply Area. Our records indicate that this property is currently serviced with a 19 mm diameter water service off Taylor Cr. Only one connection will be permitted per lot and each lot must be serviced.
- b. The Developer's Licensed Residential Builder or Plumbing Contractor will determine the domestic water requirements of this development. If the existing service is determined to be too small and needs to be upgraded, the Developer, at their cost, must arrange for the installation of one new larger water service and the full decommissioning of any obsolete services at the main.
- c. In this case, the Developer, can choose to either engage a Consulting Engineer and a qualified Contractor to design and construct the service upgrades or they can choose to have the works completed by City forces at the Developer's expense. If the Developer chooses to have the works completed by City forces, they will be required to sign a Third-Party Work Order and pre-pay for the cost of the work. For estimate inquiries please contact the Development Engineering Technician assigned to the file.
- d. A water meter is mandatory for this development and must be installed inside a building on the water service inlet as required by the City Plumbing Regulation Bylaw 5968-87.

5. SANITARY SEWER SYSTEM

- a. Our records indicate that this property is currently serviced with a 100 mm diameter sanitary service off Taylor Cr. Only one service connection will be permitted per lot and each lot must be serviced. Any obsolete services must be fully decommissioned at the main.
- b. The Developer's Licensed Residential Builder or Plumbing Contractor will determine the sanitary sewer servicing requirements of this development. If upgrades are determined to be necessary to achieve adequate servicing, the Developer must complete any such upgrades

at their cost. New service connections are to be completed as per SS-S7 with an inspection chamber and Brooks Box.

- c. In this case, the Developer, can choose to either engage a Consulting Engineer and a qualified Contractor to design and construct the service upgrades or they can choose to have the works completed by City forces at the Developer’s expense. If the Developer chooses to have the works completed by City forces, they will be required to sign a Third-Party Work Order and pre-pay for the cost of the work. For estimate inquiries please contact the Development Engineering Technician assigned to the file.

6. STORM DRAINAGE

- a. The subject property is located within the City of Kelowna drainage service area. The City Engineer may permit use of individual ground water disposal systems, where soils are suitable. For on-site disposal of drainage water, a hydrogeotechnical report will be required complete with a design for the disposal method (i.e. trench drain / rock pit). The Lot Grading Plan must show the design and location of these systems for each lot.
- b. There is a possibility of a high-water table. Non-basement buildings may be required. This should be considered in the design of the onsite system, lot grading, and minimum basement elevations. Where structures are designed or constructed below the proven high groundwater table, permanent groundwater pumping will not be permitted.
- c. The Developer must engage a Consulting Engineer to provide a combined Lot Grading Plan, Stormwater Management Plan, and Erosion and Sediment Control Plan to meet the requirements of Bylaw 7900. Indicate on the plan the building elevations, finished grade slopes and elevations throughout the site, perimeter grades to match existing grades, overland flow routes, onsite stormwater retention if required, and erosion and sediment control measures.

7. POWER AND TELECOMMUNICATION SERVICES

- a. All proposed distribution and service connections are to be installed underground. It is the developer’s responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant’s cost. The utility companies are required to obtain the City’s approval before commencing construction.
- b. Re-locate existing poles and utilities where necessary. Remove aerial trespass(es).

8. GEOTECHNICAL STUDY

- a. Provide a geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: **NOTE: The City is relying on the Geotechnical Engineer’s report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.**
- b. The Geotechnical reports must be submitted to the Development Services Department (Subdivision Approving officer) for distribution to the Development Engineering Branch and



Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval.

- i. Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
- ii. Site suitability for development.
- iii. Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- iv. Any special requirements for construction of roads, utilities and building structures.
- v. Slope stability, rock fall hazard and slippage including the effects of drainage on the site.
- vi. Top of bank assessment and location including recommendations for property line locations, building setbacks, and ground water disposal locations.
- vii. Recommendations for items that should be included in a Restrictive Covenant.
- viii. Recommendations for erosion and sedimentation controls for water and wind.
- ix. Any items required in other sections of this document.
- x. Recommendations for roof drains and perimeter drains on the site.

9. **DESIGN AND CONSTRUCTION OF OFFSITE WORKS AND SERVICES**

- a. Offsite Works and Services are required of this development as outlined above. The Developer must Design and enter into a Servicing Agreement and provide security for the Construction of the Works prior to adoption of the Zone-Amendment Bylaw or the issuance of Building Permit, as the case may be.
- b. Design of all offsite works and site servicing must be completed in accordance with Subdivision, Development, and Servicing Bylaw No. 7900 and is subject to the approval of the City Engineer prior to construction or execution of a Servicing Agreement.
 - i. See Bylaw 7900 Sections 6.0, 7.0, and 9.0, as well as Schedule 4 for procedural guidance, approval requirements, and design standards.
 - ii. Design must be completed by a suitably qualified and experience Consulting Engineer.
 - iii. Engineering drawing submissions are to be in accordance with *Council Policy 265 – Engineering Drawing Submission Requirements*. Drawings must be submitted digitally in PDF format and sealed in accordance with EGBC Guidelines.
- c. A Servicing Agreement is required for all Works and Services on City lands (Offsite Works).
 - i. The Servicing Agreement must be in the form of Schedule 2 of Bylaw 7900.
 - ii. The Developer's Consulting Engineer, prior to preparation of a Servicing Agreement, must provide adequate drawings and estimates for the Works to the City Engineer.
 - iii. Bylaw 7900, Part 3 – Security for Works and Services, Sections 7.1 - 7.2, describes the Security requirements of an Owner for entering into Servicing Agreements. Security must be in the form of an irrevocable letter-of-credit, bank draft, or certified cheque.
- d. Construction of the required Works and Services must be completed in accordance with Bylaw 7900 requirements and is subject to several approvals prior to work commencing. These include, but are not necessarily limited to, the following:
 - i. Before any construction of the Works commences, design drawings must be reviewed and approved for construction by the City Engineer.

- ii. A “Consulting Engineering Confirmation Letter” (City template provided upon request) must be executed by the Owner and Consulting Engineer and provided to the City.
- iii. The Developer’s Consulting Engineer must undertake adequate inspections during construction of the Work, as outlined in EGBC’s *Guide to the Standard for Documented Field Reviews During Implementation or Construction*. A Quality Control and Assurance Plan acceptable to the City Engineer must be submitted prior to construction approval. Refer to Bylaw 7900, Schedule 3.
- iv. Insurance requirements are outlined in Bylaw 7900, Section 7.3. A compliant Certificate of Insurance must be provided prior to construction approval.
- v. Contractor must provide a current WorkSafe BC Clearance Letter.
- e. Construction completion, maintenance period, and return of Performance Security requirements are outlined in Bylaw 7900, Sections 9.5 - 9.7 and Sections 10.0 - 10.4.



Nelson Chapman, P.Eng.
Development Engineering Manager

AS

CITY OF KELOWNA

**BYLAW NO. 12583
Z23-0034
2435 Taylor Crescent**

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 11 District Lot 14 ODYD District Plan 7336, located on Taylor Crescent, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU4 – Duplex Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



City of
Kelowna

Z23-0034
2435 Taylor Cr

Rezoning Application

Purpose

- ▶ To rezone the subject property from the RU₁ – Large Lot Housing zone to the RU₄ – Duplex Housing zone.

Development Process



May 24, 2023

Development Application Submitted



Staff Review & Circulation



Sept 7, 2023

Public Notification Received



Oct 16, 2023

Initial Consideration



Reading Consideration



Final Reading

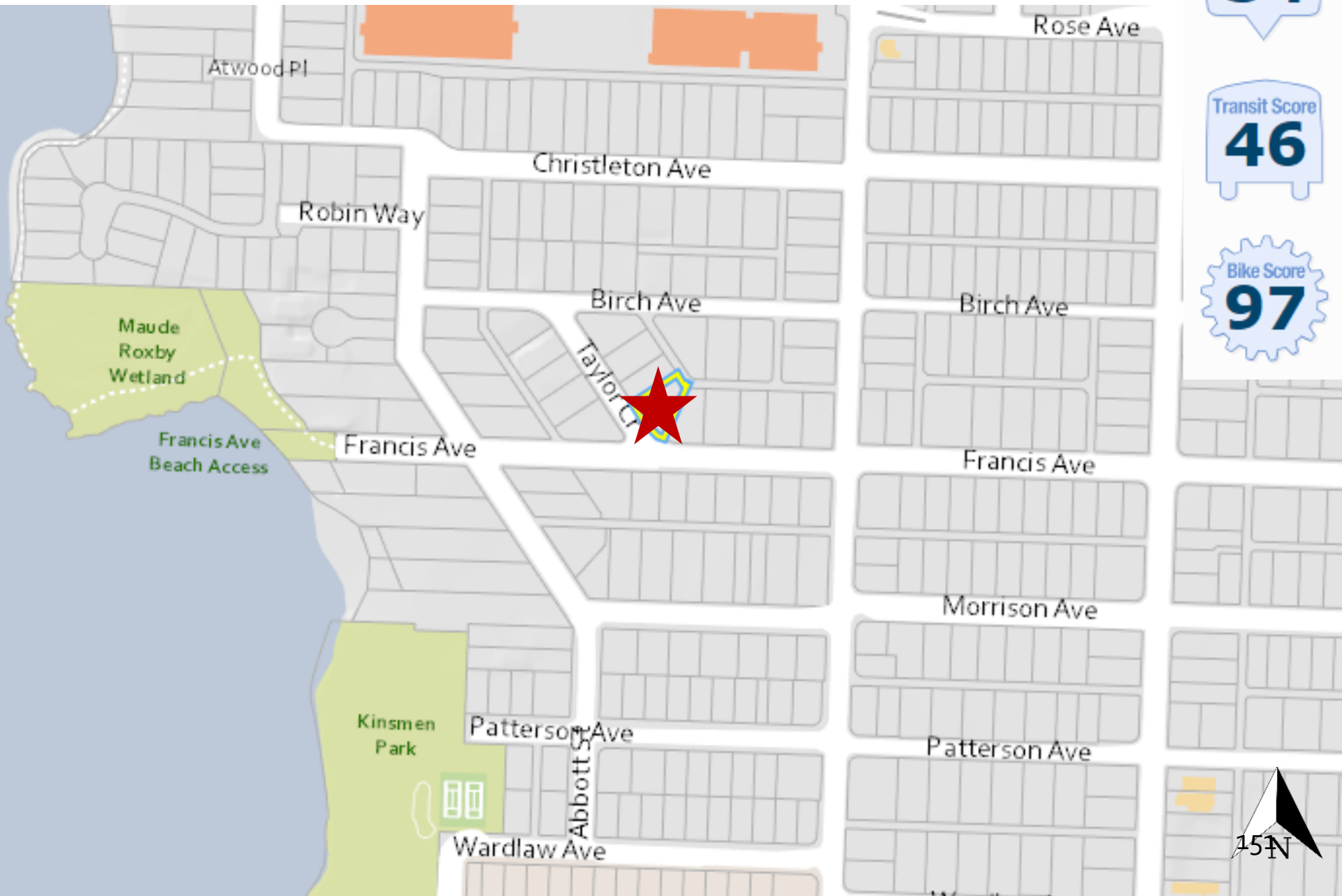


Building Permit



Council Approvals

Context Map



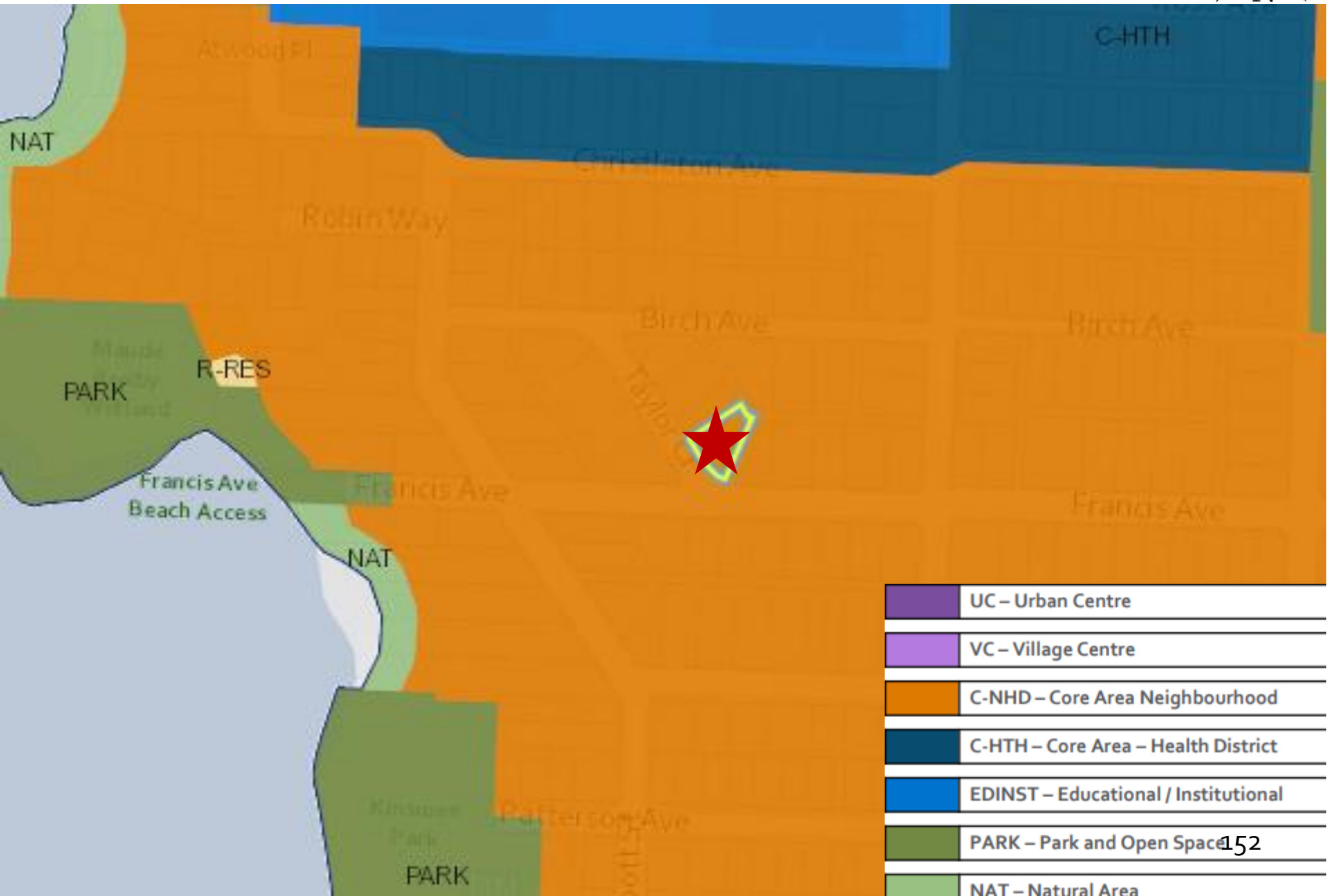
Walk Score
54

Transit Score
46

Bike Score
97



OCP Future Land Use



Subject Property Map



Project Details

- ▶ C-NHD – Core Area Neighbourhood
- ▶ RU₄ – Duplex Housing
 - ▶ Site access via laneway
 - ▶ Close to City Parks, Transit, Kelowna General Hospital
 - ▶ Mix of RU₁ and RU₄ in neighbourhood

OCP Objectives & Policies

- ▶ Policy 5.3.1: Ground Oriented Infill
 - ▶ Encourage ground oriented residential uses

Staff Recommendation

- ▶ Staff recommend **support** for the proposed rezoning as it is consistent with:
 - ▶ OCP Future Land Use C-NHD
 - ▶ OCP Objectives in Chapter 5 Core Area
 - ▶ Ground Oriented Infill

Report to Council



Date: October 16, 2023
To: Council
From: City Manager
Department: Office of the City Clerk
Subject: Rezoning Bylaws Supplemental Report to Council

Recommendation:

THAT Council receives, for information, the report from the Office of the City Clerk dated October 16, 2023 with respect to one rezoning application;
 AND THAT Rezoning Bylaw No. 12572 be forwarded for further reading consideration.

Purpose:

To receive a summary of notice of first reading for Rezoning Bylaw No. 12572 and to give the bylaw further reading consideration.

Background:

Zoning bylaws that are consistent with the OCP do not require a public hearing. Public notice is given before first reading with signage on the subject property, newspaper advertisements, and mailouts in accordance with the Local Government Act and Development Application & Heritage Procedures Bylaw No. 12310.

Discussion:

The Rezoning Application was brought forward to Council for initial consideration on September 25, 2023. Notice of first reading was completed as outlined above.

Correspondence was received as per the following table:

Address	Application	Bylaw	Recommended Readings	Correspondence Received
1181-1191 Bernard Ave	Z22-0070	12572	1 st , 2 nd , 3 rd	0

The application was brought forward with a recommendation of support from the Development Planning Department. Staff are recommending Council proceed with further readings of the Bylaw.

Conclusion:

Following notice of first reading, staff are recommending that Council give Rezoning Bylaw No. 12572 further reading consideration.

Internal Circulation:

Considerations applicable to this report:

Legal/Statutory Authority:

Local Government Act s. 464(2)

Legal/Statutory Procedural Requirements:

Following the notification period under s. 467 of the Local Government Act, Council may choose to:

- give a bylaw reading consideration,
- give a bylaw first reading and advance the bylaw to a Public Hearing, or
- defeat the bylaw.

Considerations not applicable to this report:

Existing Policy:

Financial/Budgetary Considerations:

External Agency/Public Comments:

Communications Comments:

Submitted by: N Beauchamp, Legislative Technician

Approved for inclusion: S Fleming, City Clerk

cc: Development Planning

CITY OF KELOWNA
BYLAW NO. 12572
Z22-0070
1181-1191 Bernard Avenue

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 1 District Lot 137 ODYD Plan 16997, located on Bernard Avenue, Kelowna, BC from the MF2 – Townhouse Housing zone to the MF3 – Apartment Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 12469
Z22-0062
4371 Lakeshore Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 4 District Lot 358 ODYD Plan 9564 located on Lakeshore Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU4 – Duplex Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 23rd day of January, 2023.

Considered at a Public Hearing on the 14th day of February, 2023.

Read a second and third time by the Municipal Council this 14th day of February, 2023.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA

BYLAW NO. 12485

Z22-0074

1385 Graham Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 12375 be amended by changing the zoning classification of Lot 86 Section 22 Township 26 ODYD PLAN 19162, located on Graham Rd, Kelowna, BC from the RU₁ – Large Lot Housing zone to the RU₄ – Duplex Housing zone;
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 13th day of March, 2023.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 12560
TA23-0006 – Amendments to Secondary Residences in the ALR

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 12375".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. **Section 10 – Agriculture & Rural Residential Zones, Section 10.3 – Permitted Land Uses, FOOTNOTES** ¹¹ be amended by deleting "20,000 m²" and replacing it with "10,000 m²";
2. AND THAT **Section 10 – Agriculture & Rural Residential Zones, Section 10.3 – Permitted Land Uses, Carriage House** be amended by deleting "S ^{2, 11}" under "A1" and replacing it with "S ¹¹";
3. AND THAT **Section 10 – Agriculture & Rural Residential Zones, Section 10.5 – A1 Agricultural and Development Regulations, FOOTNOTES** ¹ be amended by adding the following after "registered for carriage houses."

"The maximum gross floor area for a carriage house on any lot 40,000m² or larger is 186 m².";
4. AND FURTHER THAT **Section 10 – Agriculture & Rural Residential Zones, Section 10.5 – A1 Agricultural and Development Regulations, Single Detached Housing** be amended by deleting "n/a ¹¹" under "Max. Gross Floor Area" and replacing it with "500 m² ¹¹";
5. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 24th day of July, 2023.

Considered at a Public Hearing on the 15th day of August, 2023.

Read a second and third time by the Municipal Council this 15th day of August, 2023.

Approved under the Transportation Act this 25th day of August, 2023.

Blaine Garrison

(On behalf of the Minister of Transportation and Infrastructure)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Report to Council



Date: October 16, 2023
To: Council
From: City Manager
Subject: Sufficiency Report for the Recreation and Activity Loan Authorization Bylaw
Department: Office of the City Clerk

Recommendation:

THAT Council receives, for information, the report from the City Clerk dated October 16, 2023 pertaining to the Certificate of Sufficiency regarding the City of Kelowna borrowing from the Municipal Finance Authority for the sum of two hundred and forty one million, three hundred and twenty thousand dollars (\$241,320,000.00) for the redevelopment of the Parkinson Recreation Centre, the construction of the Glenmore Activity Centre, the construction of the Mission Activity Centre, and the redevelopment of the Rutland Sports fields;

AND THAT Bylaw No. 12540, being the Recreation and Activity Centres Loan Authorization Bylaw be forwarded for adoption consideration.

Purpose:

To receive the Sufficiency Report for the Recreation and Activity Centres Project and to advance the accompanying loan authorization bylaw for adoption consideration.

Background:

The Alternative Approval Process (AAP) pertaining to the City borrowing for the Recreation and Activity Centres Project closed at 4:00 pm on Friday, October 13, 2023.

Previous Council Resolutions

Resolution	Date
AND THAT an alternative approval process opportunity open to all electors within the City of Kelowna be initiated in relation to the borrowing by loan authorization bylaw as outlined in the report from the Financial Services Division presented at the June 19, 2023 Regular Council Meeting;	July 24, 2023

<p>AND FURTHER THAT 4 pm, Friday, September 15, 2023 be set as the deadline for receipt of elector responses in the form attached to the report from the Office of the City Clerk dated July 24, 2023 in relation to the City of Kelowna proceeding with the adoption of Bylaw No. 12540 being the Recreation and Activity Centres Loan Authorization Bylaw authorizing the borrowing of two hundred and forty one million, three hundred and twenty thousand dollars (\$241,320,000.00) for the recreation and activity centres projects.</p>	
<p>AND THAT Council extend the deadline for receipt of elector responses from 4 pm Friday, September 15, 2023 to 4 pm Friday, October 13, 2023;</p> <p>AND FURTHER THAT Council establish the elector response form as either the original response form attached to the report from the Office of the City Clerk dated July 24, 2023 or the elector response in the form attached to the report from the Office of the City Clerk dated August 28, 2023 regarding Alternative Approval Process Deadline Extension.</p>	<p>August 28, 2023</p>

Approval of the electors is obtained if the number of elector responses received by the end of the alternative approval process is less than 10% of the number of electors within the City of Kelowna, or fewer than 12,160 responses.

As of the deadline date, the Office of the City Clerk received 4,153 valid elector responses (3.4% of eligible electors) and 261 invalid elector responses. Elector responses were deemed invalid due to incomplete responses (name, address and/or signature), duplicate responses, and elector ineligibility (e.g., address not in Kelowna).

As an insufficient number of valid elector responses were received by the deadline, Council may proceed with borrowing from the Municipal Finance Authority through the adoption of Bylaw No. 12540.

Considerations applicable to this report:

Legal/Statutory Authority: *Community Charter* Sections 86 (Alternative approval process) and 180 (Elector approval required for some loan authorization bylaws)

Legal/Statutory Procedural Requirements:

Notice of the Alternative Approval Process was posted on the public notice board and advertised in the Daily Courier on July 28, 2023 and August 2, 2023. Notice of the extended AAP was posted on the public notice board and advertised in the Daily Courier on September 1, 2023 and September 6, 2023.

Elector response forms submitted against the proposed bylaw must be received by the City Clerk in the form approved by Council by the deadline set by Council, and must be certified as sufficient or not, according to the requirements of the legislation.

Considerations not applicable to this report:

Existing Policy:

Financial/Budgetary Considerations:

Communications Comments:

Consultation and Engagement:

Submitted by: N Beauchamp

Approved for inclusion: Stephen Fleming, City Clerk

Attachments:

Certificate of Sufficiency

cc:

D. Edstrom, Divisional Director, Partnership & Investments

J. Gabriel, Divisional Director, Active Living & Culture

M. Logan, General Manager, Infrastructure

C. Weaden, Divisional Director, Corporate Strategic Services

CITY OF KELOWNA
CERTIFICATE OF SUFFICIENCY

I hereby certify that sufficient petitions **HAVE NOT** been received in relation to the adoption of Bylaw No. 12540, being the Recreation and Activity Centres Loan Authorization Bylaw.

Dated this 13th day of October, 2023.


S. Fleming, City Clerk

Bylaw No.	Description of Proposal	Number of Elector Responses required to Defeat Proposal (10% of Electors City-wide)	Number of valid Responses Received
Recreation and Activity Centres Loan Authorization Bylaw No. 12540	To borrow \$241,320,000.00 to redevelop the Parkinson Recreation Centre, to construct the Glenmore Activity Centre, to construct the Mission Activity Centre, and to redevelop the Rutland Sportsfields	12,160	4,153

CITY OF KELOWNA

BYLAW NO. 12540

Recreation and Activity Centres Loan Authorization Bylaw

WHEREAS it is deemed desirable and expedient to redevelop the Parkinson Recreation Centre, to construct the Glenmore Activity Centre, to construct the Mission Activity Centre, and to redevelop the Rutland Sportsfields;

AND WHEREAS the approval of the Inspector of Municipalities has been obtained;

AND WHEREAS the approval of the electors has been obtained;

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. The Council is hereby empowered and authorized to undertake and carry out or cause to be carried out the redevelopment and the construction of recreation and activity centres, and to do all things necessary in connection therewith and without limiting the generality of the foregoing:
 - (a) To borrow upon the credit of the municipality a sum not exceeding two hundred and forty one million, three hundred and twenty thousand dollars (\$241,320,000.00);
 - (b) To acquire all such real property, easements, rights-of-way, licenses, rights or authorities as may be requisite or desirable for or in connection with the work.
2. The maximum term for which debentures may be issued to secure the debt created by this bylaw is thirty (30) years.
3. This bylaw shall take effect on the date of its adoption by Council.
4. This bylaw may be cited for all purposes as "Recreation and Activity Centres Loan Authorization Bylaw No. 12540".

Bylaw No. 12540 - Page 2

Read a first, second and third time by the Municipal Council this 19th day of June, 2023.

Received the Approval of the Inspector of Municipalities this 17th day of July, 2023.

Received Approval of the Electors this 13th day of October, 2023.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Report to Council



Date: October 16, 2023
To: Council
From: City Manager
Subject: Progress report on Council priorities 2023 – 2026
Department: Corporate Strategy & Performance Dept

Recommendation:

THAT Council receive for information the six-month progress report on Council priorities as attached to the report of the City Manager dated October 16, 2023;

AND THAT Council direct staff to provide a 12-month progress on Council Priorities in March 2024.

Purpose:

To update Council on the progress of 22 Council priority actions identified in the 2023 – 2026 Council priorities document.

Background:

Council adopted priorities for 2023 – 2026 on March 6, 2023 and directed staff to report on progress at six, twelve and eighteen months. The priorities and actions reflect Council’s response to what Kelowna’s citizens have said is important, and the priorities are expected to be regularly evaluated throughout Council’s term.

The Council Priorities 2023 - 2026 document identifies the following six priority areas and 22 Council Priority Actions distributed across the priorities:

1. Crime & Safety

- Strategy to address property crime; including break and enters and theft
- Provide local Business Improvement Areas support for urban center safety issues (e.g. ‘Red Shirts’ program)
- Establish a safety task force with stakeholders
- Partner with Provincial ministries responsible for mental health and problematic substance use on initiatives (i.e. Community Safety Plan) that improve local conditions

2. Affordable Housing

- Acquire city owned land to build affordable housing
- Increase number of rental units with below market rents
- Partner on the creation of a low-cost affordable housing pilot project

3. Homelessness

- Advocate for additional Complex Care Centre (e.g. Red Fish Healing Center)
- Explore partnership opportunities for alternative forms of sheltering
- Advocate for purpose-built permanent shelter with ‘wrap-around’ supports and graduated housing options
- Develop an emergency winter shelter program

4. Transportation

- Explore alternative modes of transportation between UBCO/YLW and downtown.
- Improve transit service including expanding the transit pass program.
- Improve traffic flow and capacity on major road networks (e.g. Lakeshore Road)
- Complete the functional design of the Hwy 33 multi-modal traffic corridor
- Enhance traffic safety presence

5. Agriculture

- Facilitate the creation of a permanent home for the farmer's market
- Review the Agriculture Plan with respect to secondary uses
- Expand Enforcement/Bylaw Officers

6. Climate & Environment

- Include ‘Climate Lens’ in decision making to assess mitigation and adaptation
- Increase urban tree canopy (e.g. tree-lined medians)
- Pilot energy concierge program to enable retrofits in buildings

Resolution	Date
THAT COUNCIL direct staff to report back on the progress of the 2023 - 2026 Council Priorities in six, twelve and eighteen months.	March 6, 2023

Discussion:

The purpose of the six-month report is to provide Council with a holistic view of initial progress on its priorities, and to support Council decision making. As most Council priority actions require long-term focus the report is structured to show significant projects and milestones to advance the actions. The report contains the most current information as of end of September 2023, acknowledging that many areas are rapidly evolving.

The following section identifies a subset of significant actions and milestones from the full report. The full report is attached and also available at www.kelowna.ca/councilpriorities

Crime And Safety

- 1% Community Safety Levy
- Advocacy on repeat property and violent offenders
- Mayor’s Taskforce on Crime Reduction

Affordable Housing

- \$1.5M surplus allocated to land acquisition
- Housing Needs Assessment completed
- 68 new affordable housing units opened

Homelessness

- 8 new complex care beds operating with 12 more beds in-stream
- Offered Province a municipal land contribution for an additional purpose-built complex care facility
- Offered land contribution to support future transitional housing options
- Advocacy on complex care, mental health & substance use and treatment and housing
- City to assume role of backbone organization for Journey Home Strategy

Transportation

- Highway 33 functional design planning
- Transit operations centre planning
- Advocacy for permanent, consistent and predictable infrastructure funding
- Commonwealth Road planning
- Transit service hours are at highest level ever

Agriculture

- New home for Kelowna Farmers' market
- Agricultural Advisory Committee
- Bylaw update to rules for housing in the Agricultural Land Reserve.

Climate & Environment

- Climate Action and Resilience Strategy
- Energy concierge program for retrofits
- Over 1,000 trees planted

Conclusion:

The twelve-month progress report will be delivered to Council in late March 2024. The report will focus on presenting data and analysis in response to the "How we measure progress on this priority" and the "The results we want to see" sections within each of the six Council priority areas. The interactive online report is expected to be consistent with the City's broader approach to enterprise performance management and regular reporting that can be viewed on the City's open data website: www.opendata.kelowna.ca/pages/progress-reports

Considerations applicable to this report:

Legal/Statutory Authority:

Legal/Statutory Procedural Requirements:

Existing Policy:

Financial/Budgetary Considerations:

Consultation and Engagement:

Submitted by: M. McGreer, Dept Manager Corporate Strategy & Performance

Approved for inclusion: C. Weaden, Divisional Director Corporate Strategic Services

cc: SLT



COUNCIL PRIORITIES

2023-2026

Progress Report
on Council Priority Actions

September 2023



ACTIONS AT A GLANCE

▶▶ CRIME AND SAFETY

- 1% Community Safety Levy
- Advocacy on repeat property and violent offenders
- Mayor's Taskforce on Crime Reduction

▶▶ AFFORDABLE HOUSING

- \$1.5M surplus allocated to land acquisition
- Housing Needs Assessment completed
- 68 new affordable housing units opened

▶▶ HOMELESSNESS

- 8 new complex care beds operating with 12 more beds in-stream
- Offered Province a land contribution for an additional purpose-built complex care facility
- Offered land contribution to support future transitional housing options
- Advocacy on complex care, mental health & substance use and treatment and housing
- City to assume role of backbone organization for Journey Home Strategy

▶▶ TRANSPORTATION

- Highway 33 functional design planning
- Transit operations centre planning
- Advocacy for permanent, consistent and predictable infrastructure funding
- Commonwealth Road planning
- Transit service hours are at highest level ever

▶▶ AGRICULTURE

- New home for Kelowna Farmers' market
- Agricultural Advisory Committee
- Bylaw update to rules for housing in the Agricultural Land Reserve.

▶▶ CLIMATE & ENVIRONMENT

- Climate Action and Resilience Strategy
- Energy concierge program for retrofits
- Over 1,000 trees planted

►► CRIME AND SAFETY

Strategy to address property crime; including break and enters and theft

- Approved a one per cent Community Safety Levy that will fund an additional six RCMP officers, four Bylaw Services officers, two Police Services support staff and one Community Safety Services employee in 2023. The funding is ongoing and can be deployed to the areas of public safety that are needed the most in the future.
- Council and staff continue advocacy in the areas of repeat property offenders, violent offenders & community court. Actions include meetings at UBCM in September with Minister Farnworth (Solicitor General and Public Safety), and an advocacy tour to Victoria in March 2023 with a joint meeting with Minister Farnworth and Attorney General Sharma.
- Created a [business safety toolkit](#) and a [community safety toolkit](#) with Crime Prevention through Environmental Design (CPTED) and other tools in partnership with the RCMP in spring 2023. The toolkits were promoted through Business Improvement Associations, the Chamber of Commerce, Tourism Kelowna as well as online and radio advertising.
- Continued staff delivery of Crime Prevention Through Environmental Design audits in business and residential (strata) settings, providing 24 audits and reviews to date in 2023.
- New bike theft prevention initiatives include the Bike Valet program downtown as well as a loan-a-lock program downtown and at Parkinson Recreation Centre. Evaluation and expansion will be considered in Q3, while additional bike theft initiatives are also being developed. Transportation is also working on a trial lease of more secure bike locks for a handful of public locations.
- Reducing property crime, especially B&Es and theft, was re-affirmed as a RCMP priority under the Municipal Police Unit Agreement.
- RCMP initiatives included proactive patrols in business B&E hotspot locations derived from intelligence-driven analytics, detailed analysis of robbery files to enable a targeted enforcement approach with repeat offenders and repeat victim locations, the Youth Officer program throughout the summer, the Repeat Offender Management Program, and participation in the provincially established Repeat Violent Offending Intervention initiative.



Provide local Business Improvement Areas (BIAs) support for urban center safety issues (e.g. 'Red Shirts' program)

- Created city liaison with Downtown Kelowna Association (DKA) and Uptown Rutland Business Association (URBA) and commenced assessments to understand local needs.
- Created a business safety toolkit that was distributed through both BIAs.
- Partnered with Kelowna Gospel Mission on education and practical tools outlining how to respond to sheltering on private business property.
- Mayor Dyas joined the URBA Board of Directors.
- The DKA and URBA Executive Directors were appointed members of the Mayor's Taskforce on Crime Reduction.
- The City increased funding to Downtown on Call up to \$106,000 and the Downtown Clean Team to \$52,000 to help maintain a safe and inviting environment in the downtown core.

Establish a safety task force with stakeholders

- The [Mayor's Taskforce on Crime Reduction](#) Terms of Reference was endorsed by Council May 2023 and 13 Taskforce members appointed for a 12 month term.
- The Taskforce has met three times since it was formed. It will develop actionable recommendations related to crime and safety in our community and provide a first public report in Q1 2024.

Partner with Provincial ministries responsible for mental health and problematic substance use on initiatives (i.e. Community Safety Plan (CSP)) that improve local conditions

- Through CSP Action 1.2 an alternative, community-based / non-police response model for people experiencing crisis is being explored.
- An Action Team was constituted and is actively advancing Action 10.2 of the Community Safety Plan (CSP) to improve accessibility of mental health services for youth. An update on progress from the Action Team is forthcoming.



▶▶ AFFORDABLE HOUSING

Acquire city owned land to build affordable housing

- \$1.5 million of surplus was allocated to the City's Housing Opportunities Reserve Fund to facilitate the timely acquisition of lands necessary to meet the most urgent housing needs of our community.
- Staff submitted a funding application to the federal Housing Accelerator Fund targeting significant resources to acquire multiple affordable housing sites.
- An update to Council was delivered in Q2 2023 identifying the City's current approach to investment in land acquisition for affordable housing and staff continue ongoing due diligence to acquire additional sites.
- The City continues to proactively offer to the Province a municipal land contribution for affordable housing projects.

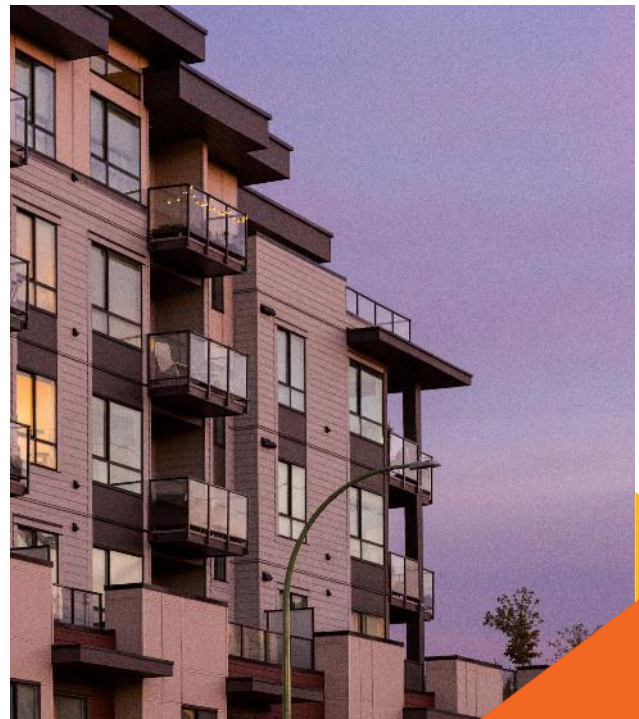
Increase number of rental units with below market rents

- Policy initiatives include the [Housing Needs Assessment](#) completed in September that identifies targets for different housing types, which will inform an incentives discussion with Council in 2024.
- 68 new units at Hadgraf-Wilson Place on Bertram Avenue downtown opened in June 2023 for seniors, people with low to moderate incomes and people living with disabilities.
- A proposed program to accelerate delivery of below-market housing will be brought to Council for consideration in Q4 2023 following the Housing Needs Assessment.

- 75 new units at Pleasantvale 2 in the North End neighborhood for seniors, families, people living with disabilities and individuals with low-to-moderate incomes is [expected to be complete in 2024](#). The project was the recipient of a \$272,000 Rental Housing Grant from the City of Kelowna.
- 35-40 unit development in process with BC Housing. Next steps include operator agreement Q4 2023, project design Q2 2024 and construction stage Q2 2025.
- BC Housing is [exploring redevelopment opportunities for 1451 1469 Bertram St](#). More information about potential uses of the site will be shared by BC Housing with the community in 2023.

Partner on the creation of a low-cost affordable housing pilot project

- Proforma evaluation by City and consultant on new development model completed.
- A report to Council on a proposed below market housing model and land portfolio is targeted for Q4 2023.



▶▶ HOMELESSNESS

Advocate for additional Complex Care Centre (e.g. Red Fish Healing Center)

- Eight new complex care beds were operational in winter 2023 and Interior Health is working to make the remaining 12 beds operational by the end of 2023. The Province confirmed 20 new [complex care](#) beds in the fall 2022 for Kelowna, to be managed by Interior Health, for those who live with complex mental health, substance use, trauma and/or brain injuries.
- The City continues to proactively offer to the Province a municipal land contribution for a new purpose-built complex care facility.
- Mayor Dyas has [resumed regular monthly meetings](#) as a member of the BC Urban Mayor's Caucus (BCUMC). BCUMC has established four priorities which include mental health & substance use and treatment, and community safety and wellness. BCUMC is a group of 17 mayors that meet regularly to collaborate on issues of shared importance in our cities.
- The City provided a submission to the Provincial Select Standing Committee of Finance to advocate for increased operational and capital funding for complex care centres including similar to the Red Fish Healing Centre to be included in BC Budget 2024.
- Council endorsed the Advocacy Priorities Framework for their term, which supports continued advocacy for complex care as one of the top four advocacy priorities.
- Council submitted a resolution to the Southern Interior Local Government Association (SILGA) for increased Provincial investments in mental health treatments and supports including for regional campuses such as the Red Fish Healing Centre. The resolution was endorsed by SILGA and also at the Union of BC Municipalities convention.
- Advocacy tour to Victoria in March 2023 included meetings with Minister Kahlon (Housing) and Minister Whiteside (Mental Health and Addictions) to advocate for a new purpose-built complex care building in Kelowna.
- Council and staff continue advocacy discussions with Provincial Ministers of Housing and Mental Health and Addictions, and meetings were held at UBCM in September.



Explore partnership opportunities for alternative forms of sheltering

- The City has offered to provide land that could provide new transitional housing options.
- Council endorsed staff's recommendation for the City to assume the role of backbone organization for the Journey Home Strategy implementation and related work.
- Mayor Dyas and senior staff visited Seattle in Q3 to assess construction and operating models for alternative form of sheltering.
- Met with Minister Kahlon (Housing) in June 2023 to advocate for Provincial support, including through the HEART/HEARTH programs.

Advocate for purpose-built permanent shelter with 'wrap-around' supports and graduated housing options

- Staff continue to work with partners to identify a site that is suitably located and zoned for Kelowna's first purpose-built shelter.
- Advocacy tour in March 2023 to Victoria and met with Minister Kahlon (Housing) to advocate for the need for increased BC Housing investments and supports for shelter spaces in our community. A second meeting was held in June, in Kelowna, with the Minister for continued advocacy discussions.
- Council endorsed the Advocacy Priorities Framework for their term, which identified advocacy for new purpose-built shelters with wrap-around services as one of top four advocacy priorities.

Develop an emergency winter shelter program

- The City has offered to provide land that could provide new transitional housing options.
- Work is in progress to formalize the City's operational response for winter sheltering as it is unlikely there will be sufficient housing for all those sheltering outdoors.



▶▶ TRANSPORTATION

Explore alternative modes of transportation between UBCO/YLW and downtown.

- Highway 97 Strategic Corridor Review – The Ministry of Transportation & Infrastructure has secured funding to begin the next steps of planning and design of various upgrades on Highway 97 including the goal of dedicated transit lanes in Kelowna. The planning project will begin later in 2023.
- The Micromobility Permit Pilot Program current results were shared with [Council in Q2 2023](#). A final assessment will be presented to Council in Q4 2023 along with recommendations going forward that incorporate the provincial status of the pilot program.
- A research project with UBCO will explore opportunities presented by the Okanagan Rail Trail corridor to connect UBCO, Kelowna International Airport and Downtown Kelowna. Both current and emerging travel modes will be explored within the greater surrounding transportation network. The research is anticipated to occur in 2024 – 2025.

Improve transit service including expanding the transit pass program.

- Transit operations and maintenance centre – Hollywood Road site acquisition and master planning and ALC exclusion process continues to progress through subdivision and rezoning and background site preparation studies. Next steps include funding plan approval by Central Okanagan partners, and development of business cases (in partnership BC Transit and with Infrastructure BC).
- Hardy St. Operations centre refurbishments are in the design stage with implementation targeted to be completed in 2024/25. Pending completion, the Transit Improvement Program 3-year outlook proposes substantial service expansions.

- Advocacy at UBCM for permanent, consistent and predictable infrastructure funding from senior levels of government.
- The UMO electronic fare system implementation is targeted for January 2024. UMO allows customers to pay using a mobile app, reloadable card, credit card and debit card.
- A [report was presented to Council in September](#) that recommended expanding the Pro Pass employer pass program through the Employer Commute Trip Reduction Program. Implementation is contingent on future funding requests.
- Potential new fare options such as for seniors and lower-income residents and expansion of U-Pass to Okanagan College will be evaluated with BC Transit and requires UMO system implementation to occur first to ensure the technology and policies support any proposed changes to fare types.
- The number of [transit service hours is at 209,000 annual service hours](#), the highest level ever delivered. Ridership has recovered to 100% pre-pandemic levels.



Improve traffic flow and capacity on major road networks (e.g. Lakeshore Road)

- The Commonwealth Road capital project (Hwy 97 – Jim Bailey) is underway with a project manager secured to advance the project. Land use assumptions have been completed to inform modelling work by the Ministry of Transportation & Infrastructure, which will support preliminary design.
- The Frost Road capital project (Kildeer to Chute Lake) is underway with preliminary design near completion. Completion of detailed design and cost estimates is targeted for mid-2024 to inform a 2025 Financial Plan request for construction.
- A Traffic Mobility Plan project has been scoped to establish a corporate approach to manage the movement of traffic in Kelowna. The timing of plan completion is dependent on city funding.
- The Burtch Road extension has been added back to the 10-year capital plan as a funded project. The project improves access and mobility to the southern half of the city.



Complete the functional design of the Hwy 33 multi-modal traffic corridor

- A project manager has been secured for the project and project planning is underway. Procurement of consultant resources to support the project is planned for mid-fall.
- The Ministry of Transportation & Infrastructure and the City each contributed \$600,000 in planning funding towards this City-led project.

Enhance Enforcement/Bylaw Officers

- Traffic calming program – Six projects have been or are advancing to construction, including Parkview Cr, McClure Rd, Eldorado Rd, Okaview Rd, Richmond St and Swordy Rd. The Westridge/Parkridge Dr project did not receive neighbourhood support and the McKenzie Rd and Collison Rd projects are under evaluation. A neighbourhood traffic calming plan for the Hollydell area will occur later this fall.
- The RCMP Traffic Unit has had additional officers assigned to ensure enhanced enforcement in 2023 with a focus on intersections defined as high-collision locations, and is working with the Province to identify opportunities for roadway and intersection improvement, and initiatives to reduce distracted driving.
- Targeted enforcement of aggressive and dangerous driving during July and August resulted in 92 vehicles impounded for excessive speeding.
- A Transportation Safety Strategy is underway with a target completion in 2024.

▶ AGRICULTURE

Facilitate the creation of a permanent home for the farmer's market

- The Kelowna Farmers' and Crafters' Market plans to relocate the outdoor market to a new home in the Landmark Centre in April 2024, with the potential for permanent indoor space being explored for the future.

Review the Agriculture Plan with respect to secondary uses

- Agricultural Advisory Committee (AAC) to be created to advise Council on issues important to the agricultural and agri-business community. They will advise Council on sustainable agricultural land use from a cultural, economic, environmental and social perspective.
- Staff delivered a [bylaw update to Council in Q3 2023](#) to update the rules related to secondary residences in the Agricultural Land Reserve.
- Staff conducted a review of the temporary foreign worker policy and recommended no changes were required to the current policy.

Expand Enforcement/Bylaw Officers

- Staff increased coordination with the Agricultural Land Commission enforcement function through a city term agriculture planner position.



▶▶ CLIMATE & ENVIRONMENT

Include 'Climate Lens' in decision making to assess mitigation and adaptation

- The [Climate Action and Resiliency Strategy](#) is under development with a target completion of Q1 2024.
- Proposed future actions include a policy to guide development of high-performance city-owned buildings, and scoping projects related to modeling the impacts of community development and capital projects.
- A Climate Action & Environment Department was created in Q1 2023 to apply a climate lens to policy development and decisions.

Increase urban tree canopy (e.g. tree lined medians)

- The annual *Neighborhoods program* delivered each fall provides 500-600 trees at low-cost to residents. The Parks Department will also plant approximately 550 trees in 2023.
- A new staff position has been created to undertake inspections of landscaping and trees for new developments that will assist in improving new landscaping installations and consistency with approved Development Permits. The position will start in late 2023.
- A Landscape Standards Bylaw will be developed over 2023 – 2024. Tree protection will be a key goal of this bylaw, linking trees to the complete green infrastructure system of a site instead of being viewed in isolation.
- An updated Urban Forestry Strategy is underway with completion targeted for early 2024. The Strategy will include new LiDAR data to assess canopy cover and diversity analysis.

- The Infill Options program will introduce bylaw amendments alongside a revised funding strategy to urbanize existing local streets (without sidewalks and street trees) which will include new street tree plantings in neighbourhoods experiencing infill.

Pilot energy concierge program to enable retrofits in buildings

- The program provides a "one stop shop" for residents to understand energy retrofits and incentives to reduce GHG emissions in existing residential buildings.
- Program design is underway with next steps including community communications and outreach, and implementation in 2024.





City of
Kelowna

Council priorities 2023 - 2026

Progress report

Agenda

- ▶ Overview of Council priority actions
- ▶ Next progress report in March 2024

Crime & Safety



Council Priority Actions

1. Strategy to address property crime; including break and enters and theft
2. Provide local Business Improvement Areas support for urban center safety issues (e.g. 'Red Shirts' program)
3. Establish a safety task force with stakeholders
4. Partner with Provincial ministries responsible for mental health and problematic substance use on initiatives (i.e. Community Safety Plan) that improve local conditions

How we measure progress on the priority

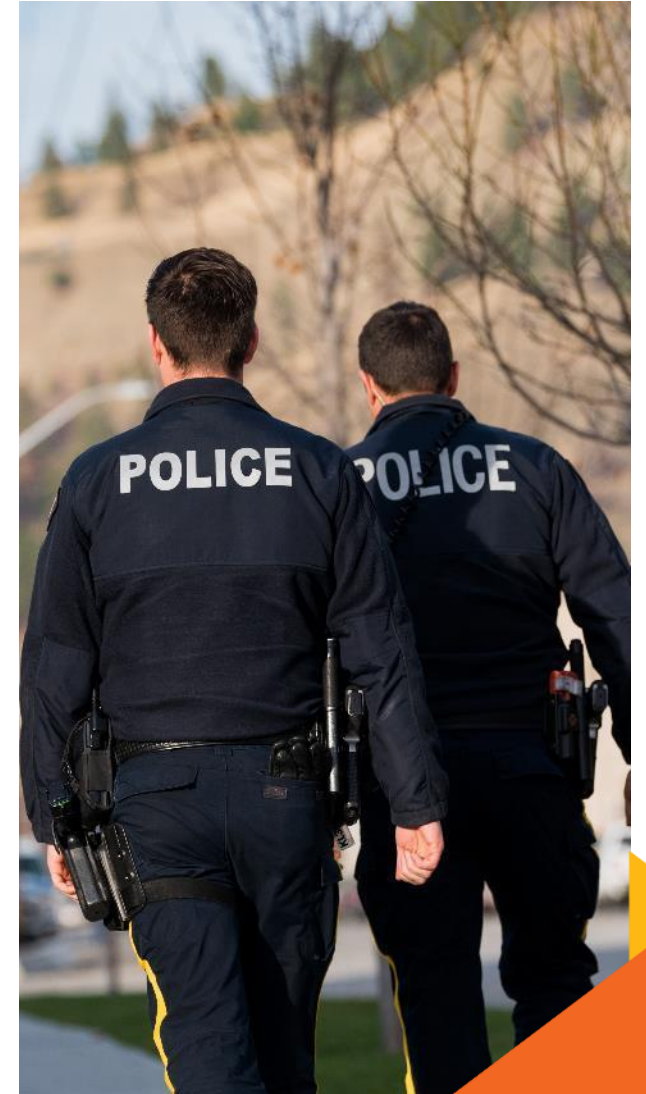
- Business break and enters and thefts are decreasing (reported # of property crime)
- Resident sense of safety in our community is increasing (% residents that feels safe).
- Public safety resources are increasing (e.g. police, bylaw and fire)

The results we want to see

- # or % of residents who feel safe in Kelowna increases.
- Decrease in business break and enters and thefts.
- Public safety resources keep pace with community growth (e.g. police, bylaw and fire).

Crime & Safety

- ▶ 1% Community Safety Levy
- ▶ Advocacy on repeat property and violent offenders
- ▶ Mayor's Taskforce on Crime Reduction



Affordable Housing

Council Priority Actions

1. Acquire city owned land to build affordable housing
2. Increase number of rental units with below market rents
3. Partner on the creation of a low-cost affordable housing pilot project

How we measure progress on the priority

- The City has a sufficient supply of each housing type (# new housing units by type such as affordable housing)
- Market rental is more affordable (the proportion spending more than 30% to go down compared to previous term)
- Home ownership is more affordable (ratio of median income and median sale price, potentially by housing type)

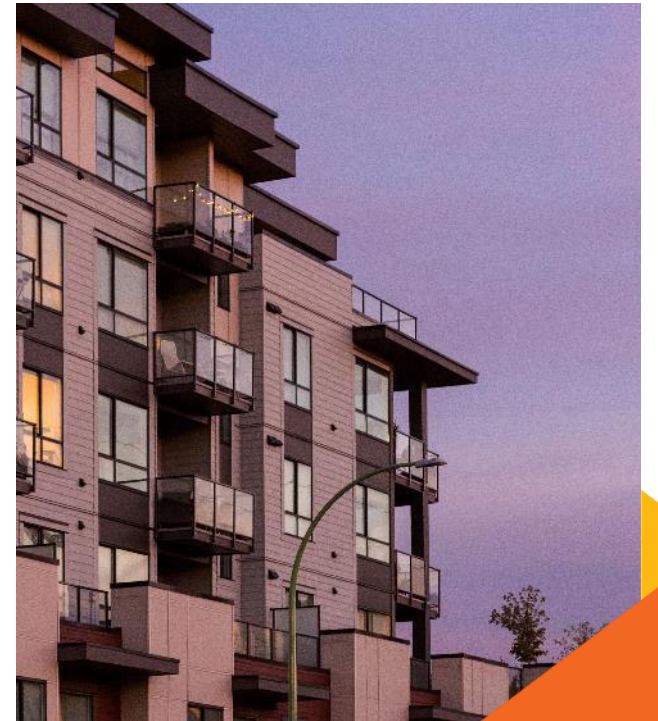
The results we want to see

- Residents have improved access to affordable housing whether they rent or own.
- The city has an improved housing supply that meets the social and economic needs of the community.
- An increase in the supply of affordable housing options for people with low to moderate incomes.



Affordable Housing

- ▶ \$1.5 M surplus allocated to land acquisition
- ▶ Housing Needs Assessment completed
- ▶ 68 new affordable housing units opened



Homelessness

Council Priority Actions

1. Advocate for additional Complex Care Centre (e.g. Red Fish Healing Center)
2. Explore partnership opportunities for alternative forms of sheltering
3. Advocate for purpose-built permanent shelter with 'wrap-around' supports and graduated housing options
4. Develop an emergency winter shelter program

How we measure progress on the priority

- # of complex care units Interior Health adds to our community
- Progress towards Housing Needs Assessment (HNA) non-market housing targets (measured to be developed through HNA)

The Results We Want to See

- A decrease in the number of people living on our streets who have mental health and/or addictions from the previous term.
- Reduce the impacts of social issues stemming from lack of support for people experiencing poverty, problematic substance use and untreated mental health conditions on the community.

Homelessness

- ▶ 8 new complex care beds operating with 12 more beds in-stream
- ▶ Offered the Province a municipal land contribution for an additional purpose-built complex care facility
- ▶ Offered a land contribution to support future transitional housing options
- ▶ Advocacy on complex care, mental health & substance use and treatment, and housing
- ▶ City to assume role of backbone organization for Journey Home Strategy



Transportation

Council Priority Actions

1. Explore alternative modes of transportation between UBCO/YLW and downtown.
2. Improve transit service including expanding the transit pass program.
3. Improve traffic flow and capacity on major road networks (e.g. Lakeshore Road)
4. Complete the functional design of the Hwy 33 multi-modal traffic corridor
5. Enhance traffic safety presence

How we measure progress on the priority

- Transit ridership (Transportation Master Plan target)
- Mode Share (Transportation Master Plan target)
- Improved travel choices (Number of trips by walking, biking, transit, rideshare)
- Optimize travel times (Reliable travel times between the five urban hubs)
- Monitor goods movement times (Average goods movement time)
- Promote inclusive transportation (% of low-income residents close to frequent transit and active transportation corridors)
- Central Okanagan Region's Transit Service Guidelines (frequency, service span targets, and performance by route)
- Traffic safety is increasing (Traffic related injuries and fatalities per capita)

The results we want to see

- Capacity and traffic flow is enhanced on major road corridors
- More trips by alternative transportation modes (e.g. transit, rideshare, biking, walking)
- Traffic safety management is increasing (e.g. speed control)



Transportation

- ▶ Highway 33 functional design planning
- ▶ Transit operations centre planning
- ▶ Advocacy for permanent, consistent and predictable infrastructure funding
- ▶ Commonwealth Road planning
- ▶ Transit service hours are at the highest level ever





Agriculture

Council Priority Actions

1. Facilitate the creation of a permanent home for the farmer's market
2. Review the Agriculture Plan with respect to secondary uses
3. Expand Enforcement/Bylaw Officers

How we measure progress on the priority

- Farmland is used for permitted farm uses (Number of non-farm use contraventions closed off during Council term)
- Protect agricultural land (# acres excluded from Agricultural Land Reserve, with the exception of those that are planned in OCP 2040; # properties rezoned from agricultural to a non-agricultural zone outside of OCP future land use)
- % of farmland that is being actively farmed in being maintained or is increasing (% of agriculture land that is actively farmed)

The results we want to see

- Increased engagement and support for the agricultural industry as an integral part of our healthy food system, economy and culture.

Agriculture

- ▶ New home for Kelowna Famers' market
- ▶ Agricultural Advisory Committee
- ▶ Bylaw update to rules for housing in the Agricultural Land Reserve



Climate & Environment

Council Priority Actions

1. Include 'Climate Lens' in decision making to assess mitigation and adaptation
2. Increase urban tree canopy (e.g. tree-lined medians)
3. Pilot energy concierge program to enable retrofits in buildings

How we measure progress on the priority

- Community and corporate GHG emissions are decreasing (e.g. GHG emissions by theme such as buildings, transportation; residential energy use per capita; fuel use data; corporate energy intensity)
- Protect tree canopy (progress on tree canopy cover targets established for each Growth district through the Urban Forest Strategy update)
- Protection of environmentally sensitive land (measure to be confirmed)

The results we want to see

- Reduce corporate and community greenhouse gas (GHG) emissions (e.g. energy efficient buildings, zero-emission vehicles and charging infrastructure, urban focused growth, alternative transportation modes, renewable energy)
- Protect and restore natural areas (e.g. Okanagan Lake, urban forest, wetlands)
- Include a Climate Lens in City decision making, ensuring we always consider climate impacts
- Enhanced climate emergency planning and response programs (e.g. flooding, wildfires, extreme heat and a changing water supply)



Climate & Environment

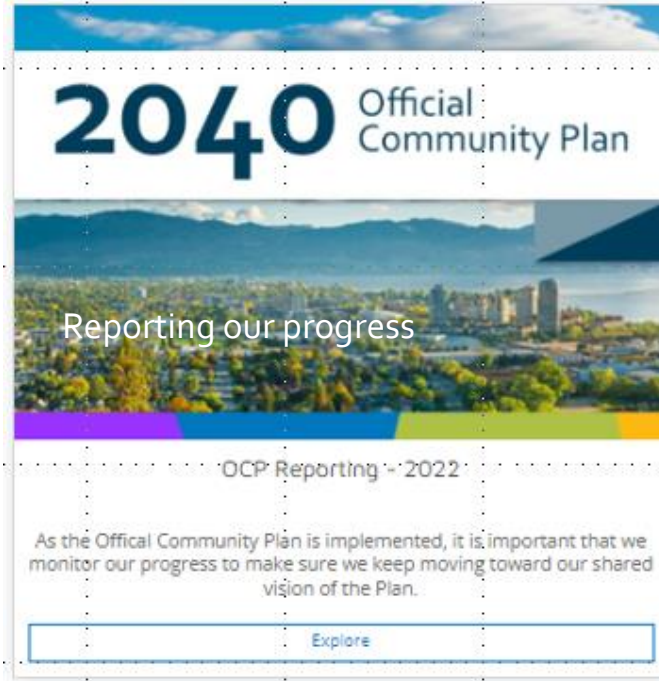
- ▶ Climate Action and Resilience Strategy
- ▶ Energy concierge program for retrofits
- ▶ Over 1,000 trees planted



Progress Reports

Scroll through the reporting sites below to learn a little bit more about some of our priorities and the progress we are making on them.

Evaluating the effectiveness of our programs, services and processes helps to support continual improvement and positive outcomes that best serve our citizens and city. Performance measures are tied directly to corporate goals and results are reported publicly to ensure transparency and accountability.



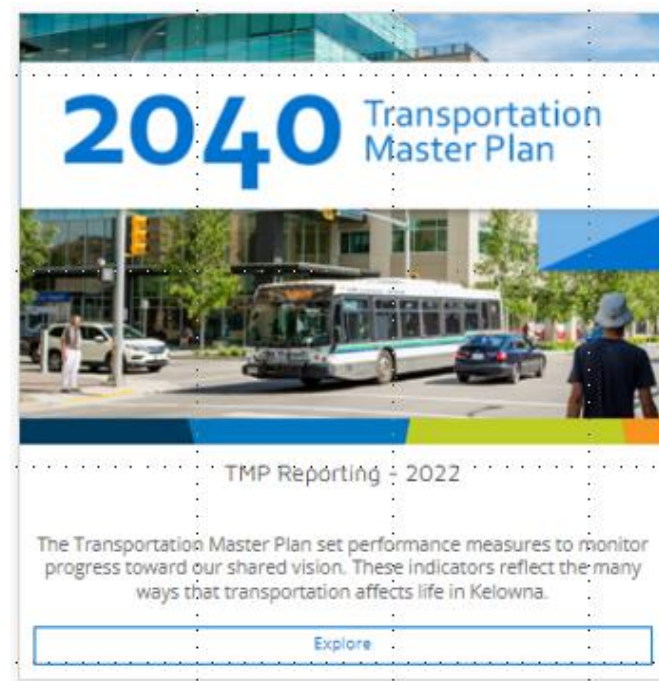
2040 Official Community Plan

Reporting our progress

OCP Reporting - 2022

As the Official Community Plan is implemented, it is important that we monitor our progress to make sure we keep moving toward our shared vision of the Plan.

[Explore](#)



2040 Transportation Master Plan

TMP Reporting - 2022

The Transportation Master Plan set performance measures to monitor progress toward our shared vision. These indicators reflect the many ways that transportation affects life in Kelowna.

[Explore](#)

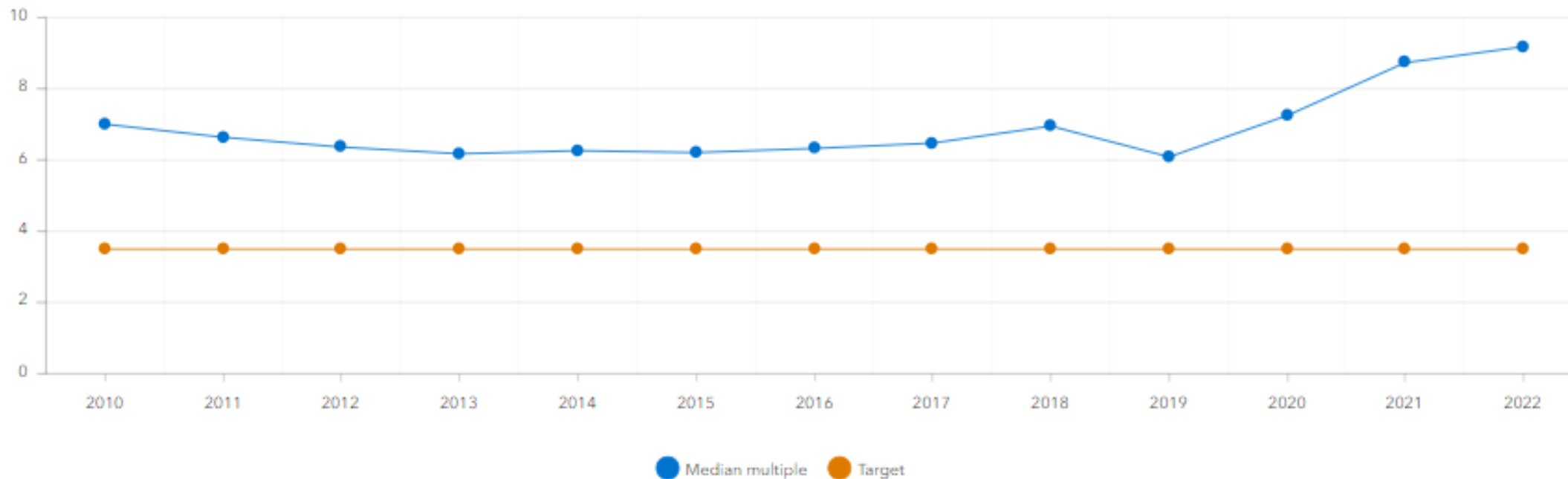


City of Kelowna

2022
Progress on Results

Imagine Kelowna:
vision into action

Median multiple



Data: Environics, based on National Household Survey (median household income (current year))

MEDIAN MULTIPLE

RENTAL AFFORDABILITY

+ Why is this important?

+ How are we doing?

+ What are we doing?



Questions?

For more information, visit kelowna.ca.

Report to Council



Date: October 16, 2023
To: Council
From: City Manager
Subject: 2023 Growing Communities Fund Grant and Council Strategic Initiatives Funds Allocation
Department: Financial Services

Recommendation:

THAT Council receives, for information, the report from the Financial Services Department dated October 16, 2023 with respect to the 2023 allocation of Council Strategic Funds;

AND THAT the 2023 Financial Plan be amended to include \$13,654,300 of Council Priority Projects identified in the report, funded from Growing Communities Fund grant funds and Council Strategic Initiatives funds;

AND FURTHER THAT Council approve the contribution of all remaining Growing Communities Grant funds and Council Strategic Initiatives funds to reserve to be used to fund future Council Priority Projects.

Purpose:

To amend the 2023 Financial Plan to include \$13,654,300 of Council Priority Projects funded from the Growing Communities Fund grant funds and Council Strategic Initiatives funds.

Background:

A total of \$14.7 million dollars has been identified this year as being available to be budgeted to support Council priorities. This is made up of:

- \$500,000 (ongoing) approved as part of the 2023 Financial Plan - Final Budget Volume Report to Council approved on April 24, 2023;
- \$1 million from the Council Strategic Fund, established as part of the 2022 Surplus Appropriation Report to Council approved on May 8, 2023;
- And, \$13.2 million of Growing Communities Fund grant funding received by Council on April 17, 2023.

Previous Council Resolutions:

Resolution	Date
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<p>THAT Council receives, for information, the report from the Financial Services Department dated April 17, 2023 with respect to the 2023 BC Growing Communities Fund;</p> <p>AND THAT the 2023 Financial Plan be amended to include the receipt of the \$26,228,000 grant funds, and the contribution of the funds to reserve;</p> <p>AND FURTHER THAT Council direct staff to return to Council to present a project plan to use the grant funds.</p>	<p>April 17, 2023</p>
<p>THAT Council adopts the 2023-2027 Financial Plan;</p>	<p>April 24, 2023</p>
<p>THAT Council approves the appropriation of \$11,961,967 of surplus generated from all general fund operations in 2022 to reserves and accumulated surplus as detailed in the Report from the Audit Committee dated May 8, 2023;</p>	<p>May 8, 2023</p>

Discussion:

Staff are recommending the 2023 Financial Plan be amended to include the following allocation of these funds:

Transportation:

- \$7.2 million one-time funding for the Bertram Overpass Project – This will provide the additional budget required to complete this project, fulfilling the legal requirement with the province to provide a safe, universally accessible path to connect downtown to Central Green.
- \$750,000 one-time funding for a Highway Median & Ditches Project – This will provide budget to explore solutions for median and ditch areas along the highway to increase the urban tree canopy.
- \$120,000 one-time funding for Bluebird Beach Safety Improvements - This will provide funding for a temporary solution fronting Bluebird Beach until the permanent Active Transportation Corridor is constructed.

Crime & Safety:

- \$500,000 one-time funding to support the Mayor’s Task Force on Crime Reduction. This task force will provide recommendations to Council on community-driven initiative to reduce crime.

Homelessness:

- \$225,000 one-time funding and \$100,000 ongoing funding to purchase and operate an additional Sweeper/Scrubbing Unit to enhance garbage service levels in the waterfront boulevard, downtown streets, sidewalks, parking spaces, and other areas included in the Active Transportation Corridor network.

Other Council Priority Projects:

- \$2.4 million for the Rutland Sewer Project – This will help to fund budget shortfalls the project is experiencing due to supply chain issues, inflation, and labour shortages since the original ICIP grant was approved.
- \$1.0 million for the Art Walk Project - This will provide funding for the construction to link the proposed new Art Walk as part of the 350 Doyle Ave development with the walkway in front of Kasugai and to Queensway.

- \$600,000 for the Paddle Center Project - The City has a partnership agreement with Kelowna Paddle Centre to construct a new paddle centre facility to replace the existing. The City is responsible for all hard and soft landscaping around the new building, as well as road frontage improvements and any necessary utility upgrades.
- \$500,000 for a Kelowna Signature Signage Project – A signature sign to cultivate a cultural identity that reflects our community’s uniqueness and values.
- \$250,000 for Apple Bowl Improvements – This will provide funding for improvements that will support current programs as well as allow for opportunities of hosting of larger events at the facility.

Conclusion:

In conclusion, staff are recommending that the 2023 Financial Plan be amended to include the Council Priority projects listed in this report with funding from the Growing Communities Fund grant funds and Council Strategic Initiatives funds. Staff are further recommending that all remaining Growing Communities Grant funds and Council Strategic Initiatives funds, \$1.02 million, be contributed to reserve to be used to support future Council priority projects.

Internal Circulation:

Infrastructure
Partnerships Office
Parks & Buildings Planning
Corporate & Protective Services
Active Living & Culture

Considerations not applicable to this report:

Legal/Statutory Authority:

Legal/Statutory Procedural Requirements:

Existing Policy:

Financial/Budgetary Considerations:

External Agency/Public Comments:

Communications Comments:

Submitted by:

M. Antunes, Financial Planning Manager

Approved for inclusion: J. Sass, Divisional Director, Financial Services

cc:

J. Sass, Divisional Director, Financial Services

M. Kam, Grants & Special Projects Manager

L. Regnier, Acting Budget Supervisor



2023 Growing Communities Fund Grant & Council Strategic Initiatives Funds Allocation

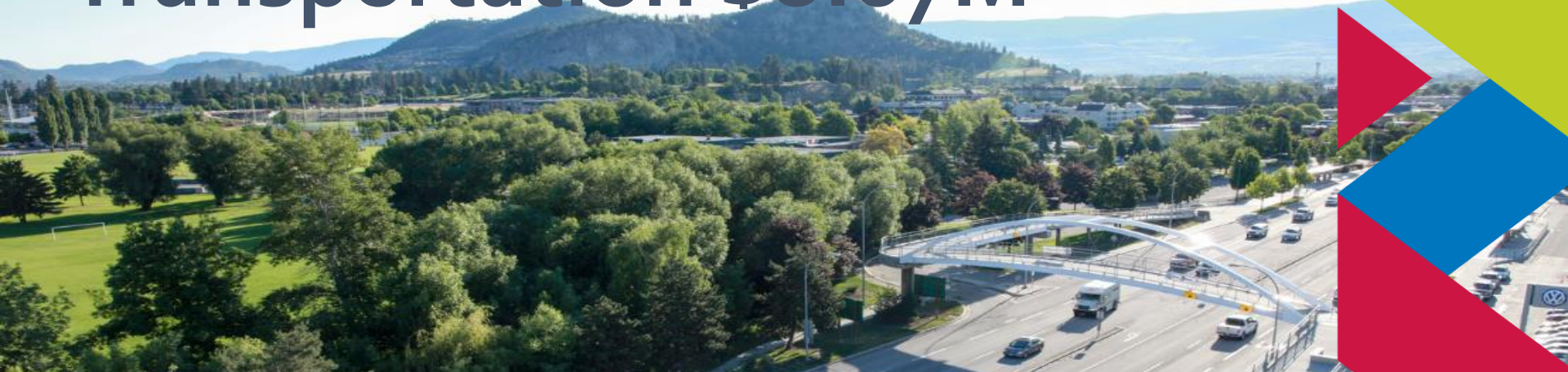
October 16, 2023

GCF & Council Strategic Funds



\$14,669,300

Transportation \$8.07M



- » Bertram Overpass \$ 7.2M One Time
- » Highway Median & Ditches \$ 750k One Time
- » Bluebird Beach Safety Improvements \$ 120k One Time



Crime & Safety \$500k



» Public Safety Task Force

\$ 500k One Time

Homelessness \$325k

- » Enhanced Garbage Services (EGS) \$ 100k Ongoing
- » EGS Sweeper \$ 225k One Time



Other Council Priorities \$4.75M

- » Rutland Sewer \$ 2.4M One Time
- » Art Walk Funding \$ 1.0M One Time
- » Paddle Center Partnership \$ 600k One Time
- » Kelowna Signature Signage \$ 500k One Time
- » Apple Bowl Improvements \$ 250k One Time

Remaining Funds \$1.02M

» Contribute to reserve for future Council priority projects

\$615k One Time
\$400k Ongoing



Questions?

For more information, visit kelowna.ca.

Report to Council



Date: October 16, 2023
To: Council
From: City Manager
Subject: Downtown Kelowna Business Improvement Area – BL12575
Department: Office of the City Clerk

Recommendation:

THAT Council receives for information, the Certificate of Sufficiency from the City Clerk dated October 16, 2023 pertaining to the establishment of the Downtown Kelowna Business Improvement Area.

AND THAT Bylaw No. 12575 being the Downtown Kelowna Business Improvement Area Bylaw be forwarded for adoption consideration.

Purpose:

To submit the Certificate of Sufficiency for the Downtown Kelowna Business Improvement Area and to advance Bylaw No. 12575 for adoption.

Background:

At the Regular Council Meeting on August 14, 2023, three readings were given to the Downtown Kelowna Business Improvement Area Bylaw No. 12575, which authorizes the continuation of a Business Improvement Area (“BIA”) in Downtown Kelowna over a 5-year period (January 1, 2024 through December 31, 2028).

Under the provisions of the *Community Charter*, notice was advertised in the Daily Courier on August 18, 2023 and August 23, 2023 and was posted on the Notice Board at City Hall on August 15, 2023. Notices were mailed to the owners of the 524 affected parcels on August 15, 2023 and August 16, 2023 giving a deadline of 4:00 p.m. Friday, September 29, 2023 for receipt of petitions against Bylaw No. 12575.

As of the deadline date, the Office of the City Clerk received 27 petitions, of which 18 are valid and 9 are invalid. The 9 invalid petitions were received from a strata hotel where the signatures did not represent at least 50% of the parcels that would be subject to the local service tax as per the requirement in Section 212 (3) of the Community Charter .

As an insufficient number of valid petitions were received prior to the petition deadline, Council may now consider adoption of the bylaw.

Internal Circulation:

Revenue Services

Considerations applicable to this report:

Legal/Statutory Authority:

Community Charter, Sections 94, 211, 212 and 215

Legal/Statutory Procedural Requirements: Under the *Community Charter*, notices must be mailed to affected property owners, and advertisements must be placed in a local newspaper and on a public notice board. Petitions against the proposed bylaw must be received by the Officer responsible for Corporate Administration (the City Clerk) by the deadline set by Council, and must be certified as sufficient or not, according to the requirements of the legislation.

Considerations not applicable to this report:

Existing Policy:

Financial/Budgetary Considerations:

Consultation and Engagement:

Communications Comments:

Submitted by:

Stephen Fleming, City Clerk

cc: Revenue Supervisor

Attachment: Certificate of Sufficiency

CITY OF KELOWNA

CLERK'S CERTIFICATE OF SUFFICIENCY

I hereby certify that sufficient petitions HAVE NOT been received in relation to the Downtown Kelowna Business Improvement Area Bylaw No. 12575 as detailed below.

Dated this 11th day of October, 2023.



S. Fleming, City Clerk

Bylaw No.	Description of Proposal	Number of Parcels	No. Required to Defeat Proposed Establishment of BIA (+50%)	Total Number of Valid Petitions Received	Assessed Value Required to defeat Proposed Establishment of BIA (More than 50% of Total)	Total Petitioners' Assessment
Downtown Kelowna Business Improvement Association Bylaw No. 12575	To create a business improvement area for downtown Kelowna	524	262	18	\$574, 108, 650.00 (more than 50%)	\$32, 921,600.00

CITY OF KELOWNA

BYLAW NO. 12575

KELOWNA DOWNTOWN BUSINESS IMPROVEMENT AREA

A bylaw of the City of Kelowna to re-establish a local area service for the purposes of annually funding the Kelowna Downtown Business Improvement Area (2024 - 2028)

WHEREAS the *Community Charter* provides Council with the authority to establish, by bylaw, a business improvement area ("BIA");

AND WHEREAS the Council of the City of Kelowna has been notified that the owners of certain properties in the downtown area of the City have formed a BIA merchant association known as the Downtown Kelowna Association ("DKA");

AND WHEREAS the Council of the City of Kelowna has mailed to the owners of the parcels liable to be specially charged, pursuant to the *Community Charter*, notice of Council's intention to proceed with a bylaw to establish the Kelowna Downtown BIA for the years 2024-2028 in order to provide certain services, through the DKA, under a business promotion scheme;

AND WHEREAS notice of Council's intention to proceed with a bylaw to re-establish the Kelowna Downtown BIA for the years 2024-2028 in order to enable the DKA to provide certain services under a business promotion scheme has been published in a newspaper pursuant to the *Community Charter*;

AND WHEREAS any petition received against the proposed work was not sufficient pursuant to the *Community Charter*, to prevent Council from proceeding;

NOW THEREFORE, the Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. Those lands within the area shown outlined in black on the map attached hereto and forming part of this bylaw as Schedule "A" are designated as a Business Improvement Area (BIA) within the meaning of the *Community Charter* and shall be known as Downtown Kelowna Business Improvement Area.

2. Council is hereby empowered to grant to the DKA, for the term of this bylaw, money in the amount of the DKA's annual budget, as submitted to and approved by Council, but in any event not exceeding the sum of One Million, Five Hundred and Three Thousand, and Seventy-Five Dollars (\$1,503,075.00) per annum.
3. Money granted pursuant to section 2 of this bylaw must be expended only by the DKA.
4. Money granted pursuant to section 2 of this bylaw shall be expended only for projects provided for in the annual budget of the DKA, as submitted to and approved by Council, and following the Business Promotion Scheme, attached to and forming part of this bylaw as Schedule "B".
5. The DKA shall submit to the Council of the City of Kelowna, annually, on or before March 15, a budget for the calendar year, which outlines revenues and expenditures related to the carrying out of the Business Promotion Scheme outlined in Schedule "B" during that year.
6. The DKA shall account for the money granted by Council for the previous calendar year at the same time as the annual budget is submitted pursuant to section 5 hereof.
7. An advance payment equal to 25% of the prior year grant amount may be provided to the DKA prior to Council approval of the annual budget for each of the years included in this agreement. Any advance payment shall then be deducted from the total grant amount to be paid to the DKA for that year following Council's review and approval of the annual budget.
8. The DKA shall not incur any indebtedness or other obligations beyond the term of this bylaw.
9. There shall be levied annually against all taxable land and improvements within the designated Business Improvement Area which fall within Class 5 or 6 of the Assessments - Class and Percentage Levels Regulation, B.C. Reg. 438/81 excluding Federal, Provincial and Municipal owned properties used for government purposes, and based on assessed values, rates sufficient to raise the sum in accordance with section 2 herein or such lesser amount as granted to the DKA pursuant to the provisions of this bylaw.
10. The DKA shall take out and maintain public liability, property damage, and other required insurance naming the City of Kelowna as Additional Insured in the amount of not less than \$5,000,000.00 and shall provide upon request to the City of Kelowna proof of such insurance in the form of the City's standard Certificate of Insurance.

11. The DKA shall procure and maintain at its own expense:
 - (a) Comprehensive General Liability Insurance providing for all sums which the DKA shall become legally obligated to pay for as a result of bodily injury, property damage or other damages, providing for an inclusive limit of not less than \$5,000,000.00 for each occurrence or accident;
 - (b) Automobile Liability Insurance covering all motor vehicles owned operated and used directly or indirectly in the operations of the DKA, with a limit of liability of not less than \$5,000,000.00 inclusive; and
 - (c) Such other insurance coverage appropriate for the operations of the DKA as determined by the City.
12. All Insurance required to be obtained by the DKA pursuant to this bylaw shall name the City as an Additional Insured, and shall be primary without any right of contribution from any insurance otherwise maintained by the City.
13. The DKA shall submit Certificates of Insurance as, and in the form, required by the City, which shall provide that 30 days' written notice shall be given to the Risk Manager of the City, or designate, prior to any material changes or cancellations of any such policy or policies.
14. The Business Improvement Area created by this bylaw may be merged with another Business Improvement Area, whether contiguous or not, for the purpose of providing, consolidating or completing necessary works or services for the merged area.
15. This bylaw shall be effective from January 1, 2024 through December 31, 2028 inclusive.
16. This bylaw may be cited as "Kelowna Downtown Business Improvement Area Bylaw No. 12575."

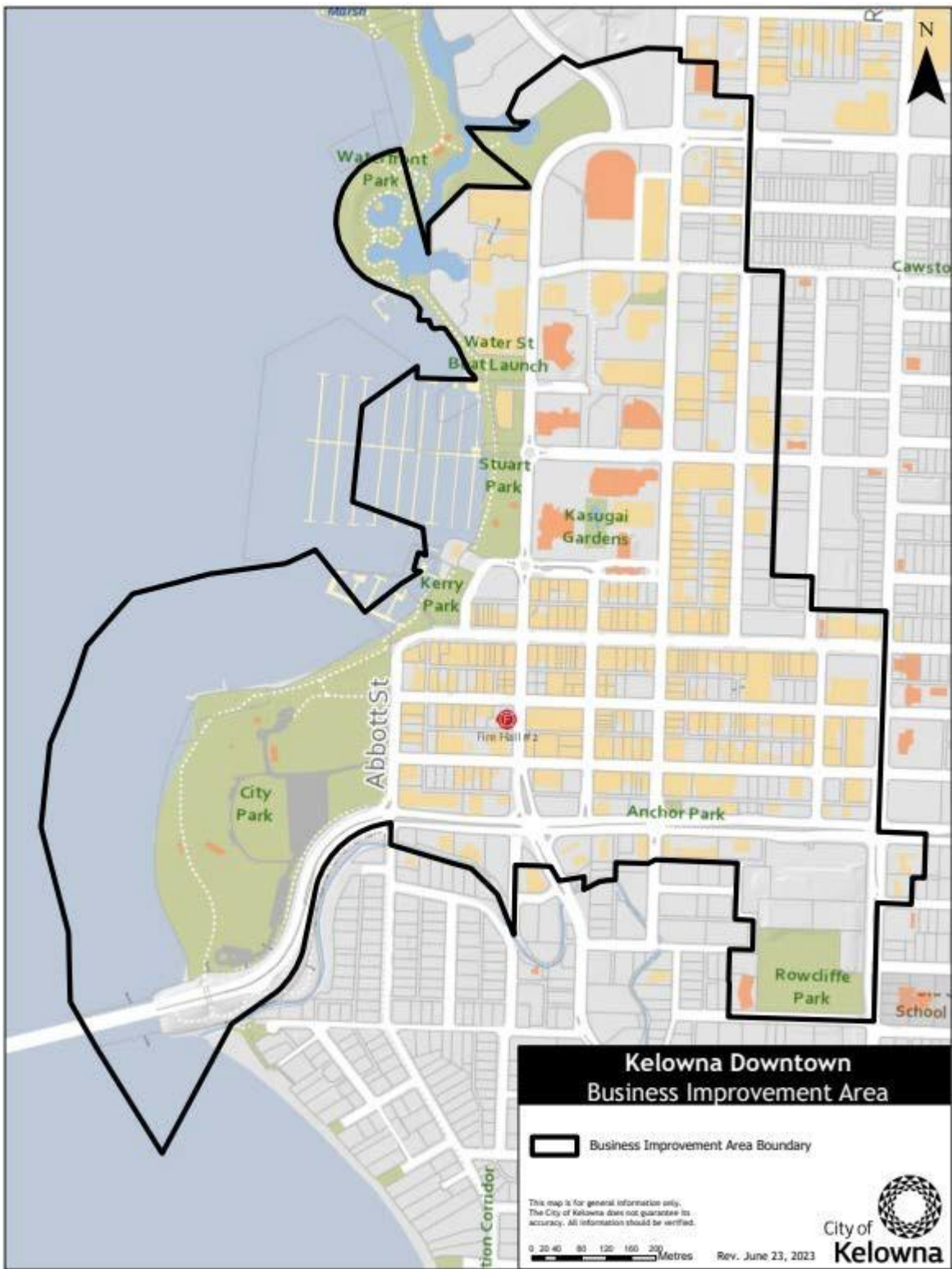
Read a first, second and third time by the Municipal Council of the City of Kelowna this 14th day of August, 2023.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

SCHEDULE A – Map



Schedule B - Business Promotion Scheme

DOWNTOWN KELOWNA

Kelowna Downtown Business Improvement Area Society
Business Promotion Scheme 2024 - 2028

History

The Kelowna Downtown Business Improvement Area Society (Downtown Kelowna Association, DKA) is a registered not-for-profit society with a mission to ensure that Downtown Kelowna is a safe and desirable place to conduct business, live, work and play. While initially formed as a volunteer grass roots organization in the mid-1980s, the DKA officially incorporated in November 1989, funded through an improvement levy collected by the municipality from commercial properties in the area.

In recent years, the focus of BIA's has shifted from a marketing and promotion organization to being active members of the social safety network, helping keep downtowns clean and safe. In Kelowna, the DKA's Downtown on Call and Clean Teams have morphed into initiatives that meet this need, filling gaps in support of the RCMP, Bylaw Services and other emergency providers. This focus of effort for Downtown Businesses does not preclude the DKA from continuing marketing and promotion efforts but is another component and large cost centre of being a Business Improvement Association.

The annual levy becomes the DKA's base operating budget upon which the organization leverages additional funding from partners including various levels of governments, contracts for service and corporate sponsors to support programs and initiatives.

As the third community in British Columbia to initiate a Business Improvement Area (BIA), the DKA has grown to become a provincial leader in programs and initiatives.

Vision

Downtown Kelowna is recognized as a vibrant, healthy and thriving business community where people want to work, live and play.

Mandate

The Downtown Kelowna Association (DKA) plays a leadership role in fostering the continued development of the Downtown as a safe and desirable place to conduct business, live, work and play through cooperative efforts of its members and government.

The DKA achieves its mandate through:

- Advocacy on behalf of its members.
- Fostering collaboration among its members and other community stakeholders; and
- Introducing and executing innovative programs and events that promote Downtown Kelowna businesses and activities.

Accountability

The Downtown Kelowna Association is guided by a membership elected Board of Directors. The Board and sub-committees complete ongoing evaluations of programs and initiatives to ensure effectiveness and financial responsibility. Results from an annual Membership Survey on a wide range of issues are used, together with input from the Board of Directors, to develop annual priorities.

Strategies

From January 1, 2024, to December 31, 2028, the DKA will focus on the following five key strategic areas:

1. **Safe, Clean & Inviting Downtown** - Maintain a clean, safe, and welcoming Downtown.
2. **Membership Engagement** – Continue to engage our members through communications and programs.
3. **Advocacy & Relationships** – Continue on the work done to date developing and maintaining key relationships with appropriate city departments & government, RCMP, and other pertinent stakeholders.
4. **Marketing & Promotion** – Support Downtown by executing superior quality promotions and events that are consistently highly rated by members, valued by their consumers, and attract an increased level of interest in Downtown.
5. **Expansion** – Research the viability of expanding the boundaries of the DKA as new commercial / retail entities are built around the current Downtown boundaries.

Goals

To deliver key results within the identified strategies, the DKA will:

1. Safe, Clean & Inviting Downtown

Actively participate in creating and maintaining a clean, safe, welcoming, and friendly Downtown for businesses, consumers, and visitors through our On Street Services Programs.

Key Performance Indicators:

- Increased investment in Downtown on Call and Clean Team programs to expand staffing levels and increase hours of service.
- On Street Services program staff are to receive ongoing training where available.
- Downtown on Call continued coordination and relationship expansion with the RCMP and City of Kelowna Bylaw Service.
- Strong, collaborative relationships with key City of Kelowna departments, specifically but not limited to:
 - *Levy* – City of Kelowna Financial and Planning departments
 - *Clean Team and On Call Funding* – Corporate and Protective Services, Risk Management

- *Clean Team Sweeper Work* – Infrastructure Departments: Parks, Parking, Roadways and Civic Operations
- *Bylaw* – Corporate and Protective Services
- *Development and City Planning* – Real Estate and Planning
- *Events* – Continued relationship with the Active Living and Culture Department.
- Sustained relationship development with enforcement and regulatory agencies along with service providers (i.e., RCMP, Interior Health Authority, Fire and Paramedics, Kelowna Gospel Mission, Metro, John Howard Society, Kelowna Friendship Centre)
- Collaboratively share measurable data from Downtown On Call and Clean Team with City of Kelowna (Protective and Corporate Services, Bylaw), RCMP and City government/management to assist with On-Street Service department and the development of new event initiatives for Downtown.
- Cooperative working relationships and engagement with Tourism Kelowna, Active Living and Culture Department at City of Kelowna and the Chamber of Commerce
- Sustained relationship development with enforcement and regulatory agencies along with various service providers (i.e., RCMP, Interior Health Authority, BC Housing, Fire Department, BC Ambulance, Kelowna Gospel Mission, Metro, John Howard Society, Inn from the Cold, Living Positively, Kelowna Friendship Centre, etc.)
- Collaboratively share measurable data from Downtown On Call and Clean Team with City of Kelowna Bylaw and RCMP, working towards developing a robust overview of activity
- Cooperative working relationships and engagement with other organizations (i.e., Tourism Kelowna, Chamber of Commerce, etc.)

2. Membership Engagement

To continue increasing DKA membership engagement through electronic contact, Resource availability and onsite visits to business within the boundaries.

Key Performance Indicators:

- Facilitate relationship building and collaboration opportunities amongst members to support business growth.
- Continued monthly releases of Updates and Newsletters
- Create an “on boarding” package for new businesses.
- Continued evaluation of events regarding benefit to Downtown business.
- Downtown on Call continued Business Visits as part of our regular routine.
- Membership participation in Promotions and Events.
- Remain vigilant to changes in tenancy and business/property ownership.
- Members proactively initiate communication with DKA
- Number of businesses that utilize our various services and programs.
- Member survey results

3. Advocacy & Relationships

Advocate for Downtown businesses about Official Community Plans, Transportation Plans, the Community Safety Plan, City Bylaws, zoning and infrastructure developments in support of the overall wellbeing of business community in Downtown Kelowna.

Key Performance Indicators:

- Sustained relationship development with various City of Kelowna departments (i.e., Real Estate and Planning, Protective and Corporate Services, Bylaw, City Councillors, Mayor, City Manager, etc.)
- Collaborative relationships with Chamber of Commerce, Tourism Kelowna, Urban Development Institute, COEDC, Accelerate Okanagan, Okanagan Mainline Real Estate Board where possible.
- Staff and Board to provide input and engage in all City consultation initiatives applicable to the Downtown (i.e., Imagine Kelowna, Journey Home, Transportation and Parking Strategy sessions)
- Executive Director continued participation on the Board of Directors for the Business Improvement Areas of BC.

4. Marketing & Promotion

Evolve promotions and events to best reflect dynamic landscape and demographic of Downtown. Ensure marketing focus generates excitement about Downtown and showcases the unique environment of Downtown with local ownership.

Key Performance Indicators:

- High consumer engagement in events and promotions.
- Maintenance of the Downtown prospectus map on the website.
- Strong consumer and business satisfaction with events and promotions through continued re-evaluation (ie: Block Party, Meet me On Bernard, Winter Street Market & others) to ensure they continue to have a positive effect on Downtown Kelowna.
- Sustained relationship development with Active Living and Culture department.
- Consistent marketing of Downtown using available digital tools including Google Ads through their not for profit grant program.
- Consistent marketing using local media outlets including broadcast and digital.
- Continued attendance at events like ICSC and BIABC Annual Conference to generate investment interest in Downtown and generate new ideas.

5. Expansion

Investigate the possibility of expanding the boundaries of the Association. Calls for service for the Downtown on Call and Clean Teams from the Brewery District are more frequent and are indicating a growing demand for those services.

Decision factors:

- Interest from property and business ownership will decide whether they want to join the Association.
- Determination of budget first will determine the levy charged to owners/businesses.
- Staffing levels need to be determined for On Call and Clean Teams.
- Contact with affected properties to determine interest.
- Involve Tourism Kelowna
- Look at the area that encompasses Commercial properties class 5 & 6 along Clement to Ethel, west side of Richter from Clement to Bailie and Vaughn to Ethel. (Brewery / Commercial district)

Downtown Kelowna Boundary & Membership

The Downtown Kelowna Association area is defined within a 42 square block radius from Harvey Avenue to Clement Avenue and from Okanagan Lake to Richter Street (see map on page 6). There are no proposed changes to the current Bylaw boundary. However, expansion is a current consideration. Calls for service by the Downtown on Call and Clean Teams in what is referred to as “The Brewery District” have increased. The Board of Directors will be striking a committee in 2024 to begin engagement within the area to gauge interest.

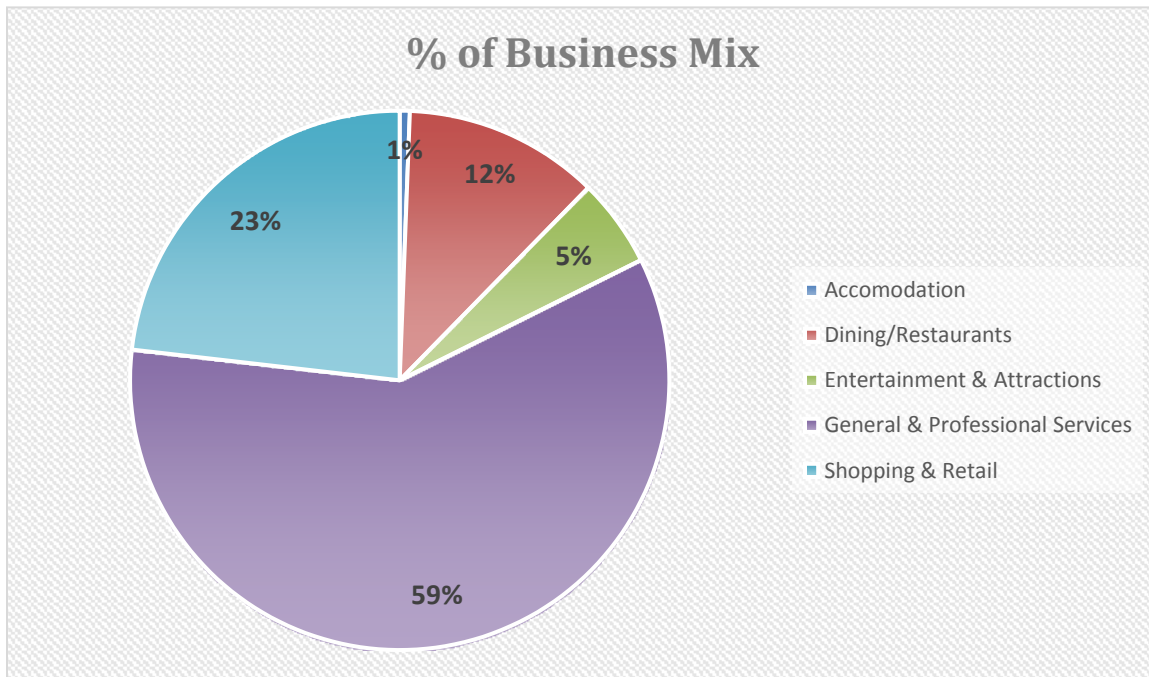
The Downtown Kelowna membership is highly diverse, from professional services to arts and culture to entertainment and attractions. The diversity of Downtown Kelowna adds to the vibrant atmosphere and the resurgence of our area to live, work and play. Analyzing data across other cities that share our size and our level of tourism, we can see that the downtown core is trending in the right direction. In 2022, Downtown Kelowna was ranked as the 2nd fastest growing downtown, growing by 23.6% since 2016. With an increase of 40,000 to 50,000 in population expected by 2040, we expect Downtown Kelowna to continue this fast-paced growth every year.

Below are figures current as of December 31, 2022. Recent technological improvements are being implemented this year, making the data collection of members and businesses more accurate. Our new system will integrate real-time data from Google listings, allowing us to know the businesses' categoric information, exact location, business name, and other pieces of information.

Membership consists of property owners or tenants of Class 5 or 6 properties within the Downtown Kelowna BIA boundary.

Class 5, Light Industry — property used or held for extracting, processing, manufacturing or transporting products, including ancillary storage. Scrap metal yards, wineries and boat-building operations fall within this category. Exceptions include properties used for the production or storage of food and non-alcoholic beverages and retail sales outlets, which fall into Class 6.

Class 6, Business Other — property used for offices, retail, warehousing, hotels and motels all fall within this category. This class includes properties that do not fall into other classes.



Top Ranking Categories:	#	% of Business Mix
Accommodation	7	0.6%
Dining / Restaurants	128	11.71%
Entertainment & Attractions	58	5.30%
General & Professional Services	647	59.1%
Shopping & Retail	253	23.1%
TOTAL	1093	

As of January 2022, there are 1305 members – 212 property owners and 1093 businesses.

Membership Communications

In 2022, the DKA made a concerted effort to improve communications with members. This included more in-person visits to businesses, follow up phone calls, the monthly DKA Business Update, and Meet me On Bernard updates. We also continued to send out ‘as needed’ special bulletins about on-going challenges that affect our members like homelessness, property crime, and protests. Pandemic restrictions still meant the absence of networking events and limits on face-to-face communication. However, as pandemic measures eased, we were able to resume producing events and promotions which required more member communications. The DKA created a print copy of the first Business Update of 2022 and was distributed by hand by the Downtown on Call (DOC) team and was also sent electronically.

A total of fifty notices, alerts, reminders, and Updates were sent in 2022 with a combined open rate of 46%. The Newsletter continued circulation at or near the beginning of each month, with a combined open rate of 66%. Open rates above 25% are an indication of interest. The open rate of 66% is a phenomenal indication of interest in what the DKA publishes. Also, there was substantial growth in our main subscriber lists; the DKA Business Owners/Employees list grew from 681 to 885 subscribers, and DKA Newsletter list grew from 256 to 960 subscribers.



Downtown Kelowna Association
 287 Bernard Avenue, Unit 200
 Kelowna, BC V1Y 6N2
 downtownkelowna.com

**Kelowna Downtown
 Business Improvement Area**

July 2023

Downtown Kelowna On Street Services

As the growth of Downtown Kelowna progresses, the demands placed on the Downtown On Call (security) and Clean Team programs continue to increase. Rare in nature, the On Call team is the “go to” call businesses make for safety assistance. The Clean Team is the other “go to” call when there is a mess in front of a building that requires cleaning, pressure washing and/or garbage removal.

A welcomed increase in funding from the city for the DKA On Street Services initiative was received in 2023. While the additional \$30,000 for Downtown on Call and \$36,000 for Clean Team help the programs be sustained, additional funding from the city will be required over the next 5 years. This is particularly true for growth of the programs as Downtown Kelowna continues to expand with commercial and residential properties being built.

Still, in the next five years the DKA will invest in and enhance the On Street Services programs. Manpower and equipment will be aligned to increase efficiencies. A new facility to house equipment and staff will be found to also increase efficiencies. **These programs are most valued by the membership and vital in keeping Downtown clean and safe.**

1. Downtown On Call

The Downtown Kelowna membership values the Downtown On Call (DOC) team as one of the top services provided by the Downtown Kelowna Association. The DOC team is trained to deal with front line issues related to personal safety, hospitality and help create a positive social environment in Downtown Kelowna.

Downtown On Call duties include but are not limited to:

- On site assistance
- De-escalation
- Bank deposit escort
- Employee safe walk
- Paraphernalia recovery
- Visitor information

An indication of the demand for the services of Downtown On Call is in the data the DKA keeps. In the 4 years from January 2019 through December 2022, DOC data shows the following:

Used Needles picked up:	12,152
Unused Needles picked up:	4,192
Naloxone kits (used/unused):	2,114
DOC Incidents:	21,687
RCMP Called:	1,995
Business Visits:	40,192

The above statistics show that for approximately every 100 calls the Downtown On Call team attends, RCMP are only called 10% of the time. While this percentage fluctuated between 10% & 12% over the last 4 years, it does indicate how much DOC takes off the plate of the RCMP. This emphasizes the integral roll that Downtown On Call contributes to the safety and sense of same in Downtown Kelowna.

Since 2019, expansion of the DOC team has been a priority as densification and visitation of Downtown has increased. More expansion is required and additional funding directly from the city will expedite that expansion.

In 2022, Brent Lobson took over the management of our On-Street Services department from Ron Beahun who retired. As Director of Operations, Brent has completely revamped the department and instituted new systems that are making the department more efficient. We continually re-assess the scope of the DOC program to continue to best serve our membership.

2. Downtown Clean Team

The demand for the Downtown Clean Team has grown significantly as Downtown Kelowna grows. What was originally a seasonal initiative, Clean Team is now 3 fulltime employees year-round. The Team is responsible for assisting with cleaning 42 blocks within the DKA boundary, which includes such duties as sidewalk sweeping, operating the city supplied MadVac, power washing where required, debris and biohazard removal, and assisted snow removal.

The DKA currently fulfills a contract with the City of Kelowna to clean the three parkades. The aging sweeper has been retired from sidewalk sweeping and now only services the 3 parkades following annual major cleaning by a Power Sweeping company which the DKA contracts. The DKA will endeavour to continue this sweeping contract with the City for the 2024-2028 renewal period.

As Downtown continues to densify, additional team members and equipment will be required. Funding will also be allocated to replace and maintain aging equipment, including the street sweeper, utility vehicles, power washers, as well as general handheld equipment, including but not limited to brooms, shovels, etc.

3. Data Acquisition

The On Street Services teams, both the Downton On Call and Clean teams, have been utilizing mobile software applications that assist in tracking all activities relating to both teams since 2015. This data has been indispensable when it comes to providing a more accurate view of the activities occurring Downtown and help determination of the direction of both On Street Services programs. The DKA will continue to share this valuable data and work collaboratively with the RCMP and Bylaw Services.

Downtown Kelowna Marketing

Downtown Kelowna promotions and events help to encourage visitation to Downtown and ultimately to increase awareness of the membership variety. In Downtown Kelowna, we are more than just a geographical location – we are an active hub of business growth and opportunity. Our commitment to community engagement, data-driven strategies, and tailor-made marketing solutions is transforming our local businesses, fostering relationships, and building a vibrant, dynamic downtown area.

The DKA has a solid foundation with branding and materials for each promotion. Two Small Shop campaigns promote the extensive local retail sector, Meet me On Bernard provides a vehicle free space for residents and visitors alike to experience the summer in Downtown Kelowna and visit retail and restaurants on their expanded

patios. The After 5 networking events provide a place for businesspeople to gather and experience different venues throughout Downtown Kelowna. Block Party (now over 30 years old!) and Winter Street Market (formerly Light Up) are the DKA's two large community events that combined draw some 25,000 – 30,000 people Downtown.

As Downtown densifies and becomes more sophisticated, the DKA promotions and events have grown in some cases and changed in others. Online contesting in December has become a popular promotion for the DKA. Meet me On Bernard is in its infancy having been born in summer 2020. As time has passed that initiative has changed and will continue to evolve and require changing investment. The Taste of Downtown promotion has run its course and was not an option for most restaurants in the post pandemic climate. To maintain the same level of high-quality that members and visitors to Downtown have come to expect, current marketing, promotions and events will require ongoing refreshing in the years to come.

The DKA Marketing effort includes:

1. Personalized Marketing Assistance

Each month, our dedicated marketing manager conducts personalized meetings with local businesses seeking marketing guidance. Through this initiative, we have not only provided insights on SEO, loyalty programs, and social media advertising but also integrated these businesses into our broader marketing ecosystem, enhancing their visibility through our newsletters, social media platforms, and programs.

2. Data-Driven Approach

Our transition towards a data-driven business model is well underway. By leveraging Google data, we are cataloging and tracking downtown businesses by category to obtain an accurate picture of our commercial landscape. This real-time data gathering informs our marketing strategies and helps businesses better understand their standing within the community.

3. Google Ad Grant Utilization

Our monthly \$10,000 Google Ad Grant serves as a vital resource in driving traffic to our website and promoting local businesses. Targeted keyword ads are funnelling potential customers to relevant sections of our website, effectively advertising local businesses free of charge and delivering tangible value.

4. Search Engine Optimization

We have helped numerous downtown businesses extend their digital reach via our Search Engine Optimization (SEO) efforts. We have bridged the gap for businesses without a website or lacking optimal SEO, enabling them to appear in Google search results and directing thousands of potential customers to their offerings via our website. Last year alone, we appeared in 5 million search results, generating 47,000 organic clicks to our website, excluding paid clicks.

5. Events and Ticketing

As downtown Kelowna becomes busier, we are now one of the top-visited sites for local event information. By scraping data for all downtown events, we have made our website an invaluable resource for the community and businesses alike. We have recently integrated a ticketing system, allowing us greater control over event management, data ownership, and fee structures.

6. Video Content and Social Media

Our move towards creating more video content represents our dedication to staying at the forefront of marketing trends. By applying for verification on all our social media accounts, we are expanding our reach and ability to engage with a broader audience. DKA Social Media accounts enjoy "influencer" status which benefits not only Downtown Kelowna but the city as a whole.

The DKA marketing team delivers a robust, multi-faceted strategy to maximize visibility, engagement, and growth for downtown Kelowna businesses. Our strategic use of digital tools, data analytics, and personalized support is making a measurable difference in our community, and we are excited about the future as we continue to evolve and adapt to meet the needs of Downtown Kelowna.

Funding

Levy

The DKA is proposing a onetime increase of 12% for the first year, which will be invested in the On Street Services programs and the move to a new facility necessary for growing equipment assets which will result in budget efficiencies and long-term savings for our membership and the city. The second year of the mandate will see a 7% increase and then 5% annually for the duration of the term ending December 31, 2028. **Over the 5-year term, the levy will increase 30.82% which is comparable to previous renewals by approximately 1%.** Projections done for this renewal show that contributions to reserves will be accomplished throughout the term. Reserve funds are used for future capital projects such as replacement of our key equipment such as the aging sweeper and Kubota vehicles.

Levy Contribution by Downtown Property Owner:

2023 Levy	2024 Levy	2025 Levy	2026 Levy	2027 Levy	2028 Levy
\$1,148,954	\$1,263,741	\$1,335,860	\$1,390,040	\$1,445,320	\$1,503,075

2023 Property Value: \$1,125,806,200 on Class 5 and 6 properties.

2018 Mill Rate: 1.0215 per \$1000 of assessed value on Class 5 and 6 properties.

Other Funding

The Downtown On Call and Clean Team received \$70,000 from the City for the On Call program in 2022, and a combination of \$37,973 for the Clean Team funding and contract work for the city including sidewalk sweeping, cleaning parkades and other. In 2023, funding for DOC and Clean Team was increased by the city to \$100,000 and \$60,000, respectively. We have budgeted for marginal increases in that funding which we will have to discuss with our city partners. These services are integral to a clean and safe Downtown Kelowna and the DKA feels that additional funding support is crucial to the continuation and expansion of the programs.

The DKA also earned approximately \$48,884 in 2022 through a combination of event sponsorships and promotions.

Revenue	2022 Year End
Downtown On Call	\$70,000
Downtown Clean Team	\$37,973
Downtown Concierge	\$14,584
Events	\$47,682
Other	\$1,202
TOTAL	\$171,441

Expenditures

Program Expenditures 2022 Year End:

Business Recruitment	\$8,277	0.56%
Clean Team	\$225,594	15.23%
Communications	\$5,509	0.37%
Downtown Concierge	\$29,917	2.02%
Downtown On Call	\$482,055	32.54%
Events	\$131,149	8.85%
Insurance	\$9,163	0.62%
Marketing and Promotions	\$94,617	6.39%
Office and Administration	\$58,644	3.96%
Professional Development	\$5,774	0.39%
Professional Fees	\$19,499	1.32%
Rent	\$49,071	3.31%
Wages and Benefits	\$327,317	22.10%
Total	\$1,481,405	100.00%

Meet Our Team

EXECUTIVE

Renata Mills	President	<i>Festivals Kelowna</i>
Jaspal Dhial	Treasurer	<i>GSL Group (Prospera Place)</i>
Travis Pye	Vice President	<i>Lakehouse Homestore</i>
Caroline Bye	Secretary	<i>Kelowna Yacht Club</i>
Yarden Gershony	Past President	<i>Rush Ihas Hardwick LLP</i>

DKA DIRECTORS

Jenna Kopperson	<i>Deville Coffee</i>
Tina Thygesen	<i>Mission Group</i>
Warren Turner	<i>Turner Group</i>
JoAnne Adamson	<i>UBC Property Trust</i>
Crystal Dougan	<i>Little Hobo Soup & Sandwich Shop</i>
Thomas Eaves	<i>Pushor Mitchell LLP</i>
Nathan Matis	<i>Sweat Studios</i>
Jillian Povarchook	<i>Olive & Elle Boutique</i>

EX – OFFICIO

Councillor Rick Webber, City of Kelowna

STAFF

Mark Burley, Executive Director
Brent Lobson, Director of Operations
Elizabeth Densmore, Administrative Assistant
Kris Johnson, Communications & Events Manager
Facundo Rodriguez, Marketing Manager
Pawan Sandhu, Data & Web Coordinator

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DRAFT RESOLUTION

Re: Council Climate Crisis Declaration

THAT Council declare a climate crisis.

BACKGROUND:

On April 3, 2023, Councillors Singh and Lovegrove indicated their intent to bring forward a resolution to address our global climate emergency.

1. In their April 3, 2023, report, staff observed that current Kelowna GHG emission targets are insufficient to achieve the IPCC 1.5 C pathway of a 45% reduction below 2010 levels by 2030 (net zero by 2050) and will need revisions to do so. The City has launched Phase 3 of our CRKS (public engagement) to ascertain specific climate actions to take on behalf of our community. When asked what the implications of a formal Council climate crisis would be, staff have repeatedly stated that current efforts underway will continue regardless; however, it is incumbent upon us, as the elected leaders of our community, to communicate clearly to the residents of Kelowna the importance of urgent action on a government and community-wide basis in the face of the climate crisis that we all face.
2. Municipalities are understood to produce and/or have regulatory jurisdiction over approximately 50% of carbon emissions in Canada and as such have a responsibility to take actions within their direct control, influence, and advocacy to enable residents, institutions, and businesses to reduce their carbon footprint in support of collective global climate action.
3. Despite adopted policies and actions by the city, Kelowna is not yet meeting its GHG reduction targets, and, experiencing instead *increasing* greenhouse gas emissions. The impacts of global climate breakdown have already resulted in local states of emergency due to wildfire, extreme heat, and flooding over four of the past five years, having direct impacts on Kelowna's economy, city budgets, health, security, quality of life, and ecosystems. Flooding and fires have resulted in property damage and damage to infrastructure affecting supply chains, and food security. Poor air quality and extreme heat have harmed our vulnerable populations, keeping people inside, grounding planes, deterring tourists, and negatively impacting agriculture production. Climate related weather events continue to become more extreme and more frequent with 2023 being the worst year on record for forest fires in BC and nationally.

As such, as recommended by the UN IPCC AR6 (see hyperlink below), the City of Kelowna must declare a Climate Crisis in the knowledge that this is an emergency with no foreseeable conclusion and requires immediate and drastic action away from a Business as Usual approach in order to sustain our quality of life, including our thriving tourism, technology, and agricultural sectors; our citizen health and affordability; and our public infrastructure and celebrated environment.

References (hyperlinks):

[Afternoon Council Meeting - April 3, 2023](#)

[Afternoon Council Meeting – June 20, 2022](#)

[The UN IPCC Sixth Assessment Report \(AR6\) Synthesis Report on Climate Change 2023](#)

CITY OF KELOWNA

BYLAW NO. 12579

2024 Permissive Tax Exemption Bylaw

A bylaw pursuant to Sections 220, 224 and 225 of the Community Charter, to exempt from taxation certain lands and improvements situated in the City of Kelowna

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. Those certain parcels or tracts of land and improvements, situated, lying and being in the City of Kelowna, as described in Schedules "A" to "I" attached hereto and forming part of this bylaw, shall be exempt from taxation.
2. This bylaw shall come into full force and effect and is binding on all persons during the 2024 taxation year.
3. This bylaw may be cited as "2024 Permissive Tax Exemption Bylaw No. 12579".

Read a first, second and third time by the Municipal Council this 25th day of September, 2023.

Adopted by 2/3 of the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Schedule A – Public Worship			
FOLIO	LEGAL DESCRIPTION	REGISTERED OWNER/LESSEE	COMMENTS
001230	Lot 1, Blk 13, Plan 202, DL138	The Union of Slavic Churches of Evangelical Christians c/o Trustees	
001350	Lots 2 and 3, Blk 15, Plan 202, DL 138	Trustees of First United Church	
001360	Lot 4 ,Blk 15, Plan 202, DL 138 In Trust - DD 197582F	Trustees of First United Church	
001370	Lot 5, Blk 15, Plan 202, DL 138 In Trust - DD 197582F	Trustees of First United Church	
006911	Lot 25, Plan 578, DL 138, Except Plan H16278, Lot A, PL KAP5277	Kelowna Buddhist Society	
018380	Lot 2, Plan KAP1319, DL 138	Truth Now Tabernacle United Pentecostal Church	
021300	Lot 19-20, Plan 2085, District Lot 139	Unitarian Fellowship of Kelowna Society	Daycare excluded
022500	Lot 6, Plan 2271, DL 139	Kelowna Tabernacle Congregation - Trustees	
051070	Lot 1, Plan 11332, DL 137	Governing Council of the Salvation Army in Canada	
057510	Lot A, Plan 16013, DL 137	Convention Baptist Churches of BC	
062110	Lot A, KAP65650	The Trustees of Congregation of Kelowna Bible Chapel	
062120	Lot 2, Plan 17933	Congregation of Kelowna Bible Chapel	
068680	Lot 3, Plan 25524	Trustees Congregation - Grace Baptist Church	
069380	Lot A, Plan 27070	Roman Catholic Bishop Of Nelson	Residence excluded
071130	Lot 1, Plan 30180, DL137	Governing Council of the Salvation Army in Canada (Community Church)	
071680	Lot 4, Plan 30824	BC Corp of the Seventh-Day Adventist Church	
074502	Lot A, Plan 33076, DL138	Roman Catholic Bishop of Nelson	Residence excluded
075210	Lot 1, Plan 34637	Trustees of The Congregation of the Christ Evangelical Lutheran Church	
076394	Lot C, Plan 40170, DL137	BC Conference of the Mennonite Brethren Churches	
078266	Lot 1, Plan KAP47242	Ukrainian Catholic Eparchy of New Westminster	Residence excluded
083239	Lot A, Plan KAP91385, DL 14	Synod of the Diocese of Kootenay	

Schedule A – Public Worship			
FOLIO	LEGAL DESCRIPTION	REGISTERED OWNER/LESSEE	COMMENTS
03255.224	Lot 1, Plan KAP56294	Trust Cong St David's Presb Church	
03337.370	Lot A, Plan 23927	Kelowna Christian Reformed Church	Daycare excluded
03337.769	Lot A, Plan KAP83760	Okanagan Jewish Community Association	Daycare excluded
03378.102	Lot A, Plan 44041	Trustees of the Glenmore Congregation of Jehovah's Witnesses	
03922.000	Lot A, Plan 5223	BC Association of Seventh Day Adventists	
04310.442	Lot A, Plan 31085	Seventh-Day Adventist Church (BC Conference)	
04423.888	Lot PT 26, Plan 187 Except Plan 3067, That PT of L 25 PL 187 S/O PL B130	Synod of the Diocese of Kootenay	
04571.592	Lot 1, Sec 19, Twp 26, Plan 37842	Kelowna Full Gospel Church Society	Housing society residences excluded
04645.000	Lot 7, Plan 3727	Church of the Nazarene - Canada Pacific	
04660.000	Lot 1, Plan 4877	Serbian Orthodox Par-Holy Prophet St Ilija (Parish)	Residence excluded
04803.157	Lot A, Sec 22, Twp 26, Plan 71145	Seventh-Day Adventist Church (BC Conference)	Residence excluded
04804.250	Lot A, Plan 29696	Gurdwara Guru Amardas Darbar Sikh Society	Residence excluded
05475.931	Lot Pcl Z, Sec 23, Twp 26, Plan 24426, Except Plan KAP69971, DD J53659	Evangelical Missionary Church of Canada	
05476.791	Lot B, Plan 41234	BC Conference of Mennonite Brethren Churches	Housing society residences excluded
05606.001	Lot A, Plan KAP76650	Okanagan Sikh Temple & Cultural Society	Residence excluded
05611.000	Lot PT 2, Plan 2166	Roman Catholic Bishop of Nelson	Residence excluded
05752.000	Lot A, Plan 4841	Okanagan Chinese Baptist Church	
06198.870	Lots 78, 79 & 80, Sec 26, Twp 26, Plan 22239	Pentecostal Assemblies of Canada	
06199.358	Lot H, Sec 26, Twp 26, Plan 26182	Faith Lutheran Church of Kelowna	Daycare excluded
06337.001	Lot 1, Sec 27, Twp 26 Plan 63747	BC Muslim Association	
06370.120	Lot A, Plan 19465, DL 143, Sec 27, Twp 26	Trustees of Spring Valley Congregation of Jehovah's Witnesses	

Schedule A – Public Worship			
FOLIO	LEGAL DESCRIPTION	REGISTERED OWNER/LESSEE	COMMENTS
06372.497	Lot 1, Plan KAP55460	Kelowna Christian Centre Society Inc	Property 50/50 split church/school
06372.506	Lot A, Plan KAP56177	New Apostolic Church of Canada Inc.	
06496.742	Lot 1, Sec 29 & 32, Plan KAP64073	The Church of Jesus Christ of Latter-Day Saints	
06735.000	Lot A, Plan 11320	Trustees Rutland United Church Pastoral Charge of the United Church	Daycare excluded
06198.872	Parcel A, Plan 22239	Synod of the Diocese of Kootenay	
07212.492	Lot 1, Plan 37256	Synod of the Diocese of Kootenay	
10407.200	Lot A, Plan 20452, DL 128	Christian & Missionary Alliance - Canadian Pacific District	
10468.000	Lot 2, Plan 9491, DL 129	St. Peter & Paul Ukrainian Greek Orthodox Church of Kelowna	Housing society residences excluded
10519.844	Lot A, Plan 37351 (Portion of Lot)	Apostolic Resource Centre Society	Commercial lease space excluded
10519.903	EPP64708, Lot A, DI 129, LD 41	Kelowna Trinity Baptist Church	
10738.366	Lot 2, Plan KAP44292, DL 131	Evangel Tabernacle of Kelowna	Property 50/50 split church/school
10768.002	Lot 2, Plan KAP81588	Roman Catholic Bishop of Nelson	Residence excluded
10936.348	Lot 1, Plan 35917	Kelowna Gospel Fellowship Church	
10936.653	Lot 1, Plan 41844	Canadian Mission Board of the Church of God in Canada	Housing society residences excluded
10937.443	Lot A, Plan KAP76720	First Lutheran Church of Kelowna BC	Property 50/50 split church/school
11025.140	Lot 1, Plan 25466, DL 135	Trustees of The Lakeshore Congregation of Jehovah's Witnesses	
11025.172	Lot 7, Plan 25798, DL 135	Congregation of Bethel Church of Kelowna	
11059.000	Lot 1, Plan 12441, DL 136 Trustees	Providence Baptist Church	
11097.073	Lot 1, Plan KAP52447, DL 136	C3 Church	
016620	Lot 8, Plan 1303 & Lot 1, DL 139 PL13585 & Lot 1 DL139 PL 3585	The BC Conference of the Mennonite Brethren Church	

Schedule B – Private Schools			
FOLIO	LEGAL DESCRIPTION	REGISTERED OWNER/LESSEE	COMMENTS
025561	LT 1, PL EPP68016, DL 138	Catholic Independent Schools of Nelson Diocese	
074502	Lot A, Plan 33076, DL 138	Roman Catholic Bishop of Nelson	Residence excluded
03458.033	Lot 1, KAP86356	Aberdeen Hall Preparatory School Society	Vacant land excluded
04417.000	Lot A, Plan KAP1725	Okanagan Montessori Elementary School Society	
05122.000	Lot 2, KAP3849	Seventh-Day Adventist Church - BC Conference	
06372.497	Lot 1, Plan KAP55460	Kelowna Christian Centre Society Inc	Property 50/50 split church/school
06372.527	Lot A, Plan KAP71175	Vedanta Educational Society Inc	
07212.595	Lot A, Plan KAP48732	Lakeside Educational Society of Kelowna	
07212.596	Lot B, Plan KAP48732	Lakeside Educational Society of Kelowna	
10589.111	Lot 1, Plan KAP59724	Kelowna Society for Christian Education	
10738.366	Lot 2, Plan KAP44292, DL 131	Evangel Tabernacle of Kelowna	Property 50/50 split church/school
10738.378	Lot A, Plan KAP54674, DL 131	The Catholic Independent Schools of Nelson Diocese	
10937.443	Lot A, Plan KAP76720	First Lutheran Church of Kelowna	Property 50/50 split church/school

Schedule C – Hospitals			
FOLIO	LEGAL DESCRIPTION	REGISTERED OWNER/LESSEE	COMMENTS
079392	Lot A, Plan KAP60581, DL 14	Canadian Cancer Society	

Schedule D – Special Needs Housing			
FOLIO	LEGAL DESCRIPTION	REGISTERED OWNER/LESSEE	COMMENTS
004340	Lot 15, Plan 462, DL 139	Kelowna Gospel Mission Society	
007270	Lot 4, Plan 635, DL 14	The Bridge Youth & Family Services Society	
023390	Lot 10, Plan 2498, DL 137	Bridges to New Life Society	
033110	Lot 2, Plan 3929	New Opportunities for Women (NOW) Canada Society	
048500	Lot 8, Plan 10011	Okanagan Halfway House Society Inc	
048770	Lot 35, Plan 10011	Okanagan Halfway House Society	
048730	Lot 31, Plan 10011, DL 137	Resurrection Recovery Resource Society	
048740	Lot 32, Plan 10011, DL 137	Resurrection Recovery Resource Society	
048750	Lot 33, Plan 10011, DL 137	Resurrection Recovery Resource Society	
050050	Lot 22, Plan KAP10689	Resurrection Recovery Resource Society	
050060	Lot 23, Plan 10689	Resurrection Recovery Resource Society	
050070	Plan 10689, Lot 24	Resurrection Recovery Resource Society	
050080	Lot 25, Plan 10689	Resurrection Recovery Resource Society	
050650	Lot A, PL 11018	Society of St. Vincent De Paul of Central Okanagan	
055030	Lot 4, Plan 14741	Central Okanagan Emergency Shelter Society	
055040	Lot 5, Plan 14741	Central Okanagan Emergency Shelter Society	
055150	Lot A, Plan 14836	Okanagan Halfway House Society	
080873	Plan KAS2634, Lot 1	Okanagan Mental Health Services Society	
05476.630	Plan KAP33003, Lot A	The Bridge Youth & Family Services Society	
06370.241	Plan KAP22268, Lot D	The Bridge Youth & Family Services Society	
11097.075	PCL A, Plan KAP52447, DL 136	National Society of Hope /Provincial Rental Housing Corp	
026370	Plan KAP3185, Lot 2, DL 138	Resurrection Recovery Resource Society	

Schedule E – Social Services			
FOLIO	LEGAL DESCRIPTION	REGISTERED OWNER/LESSEE	COMMENTS
004330	Lot 14, Plan 462 Block 5	Kelowna Gospel Mission Society	
004580	Lots 3 and 4, Blk 8, DL 139, Plan 462	Ki-Low-Na Friendship Society	
009900	Plan 830, Lot 2, DL 14, Blk 21 exc Parcel 2A, B1750	Canadian Mental Health Association	
010470	Lot 11, Plan 922	Kelowna & District S.H.A.R.E. Society	
016740	Lot A, Plan 46222	Pathways Abilities Society	
026190	Lot 138, Plan 3163	Okanagan Boys & Girls Clubs/City of Kelowna	
045862	Lot A, Plan 9012	Okanagan Boys & Girls Clubs/City of Kelowna	
052700	Lot C, Plan 12546, DL 138	Roman Catholic Bishop of Nelson	
055261	Plan EPP11464, Lot A	Daycare Connection Childcare Society	
057060	Plan 15778, Lot B	Ki-Low-Na Friendship Society	
059530	Lot A, Plan 16898	Okanagan Boys & Girls Clubs/City of Kelowna	
066250	Lot 1, Plan 22678	Kelowna(#26) Royal Canadian Legion	Criteria #7: 1,786 sq ft taxable for liquor/food services
070175	Lot A, Plan 28500	Central Okanagan Community Food Bank Society	
076262	Lot 1, Blk 6, Sec 20, Twp 26, ODYD, Plan 39580	Central Okanagan Child Development Association	
072685	Lot G, Plan KAP31716	YMCA of Okanagan Association/School District No. 23 (Central Okanagan)	
079078	Lot A, FL 139, LD 41, Plan KAP58056	Kelowna Community Resources Society	
04918.002	Lot A, Plan KAP90062	Governing Council of the Salvation Army in Canada	
06198.704	Lot 1, Plan KAP91112	Boys & Girls Clubs/City of Kelowna	
06370.273	Lot 19, Plan 23749	Ki-Low-Na Friendship Society	
06371.030	Lot 2, Plan KAP30323	Pathways Abilities Society	
06774.486	Lot 2, Plan KAS2048	Big Brothers Big Sisters of the Okanagan Society	
06774.491	Lot 7, Plan KAS2048	Big Brothers Big Sisters of the Okanagan Society	

Schedule E – Social Services			
FOLIO	LEGAL DESCRIPTION	REGISTERED OWNER/LESSEE	COMMENTS
10508.002	Lot 2, Plan 15777	Kalano Club of Kelowna	
10519.925	Lot A, Plan KAP54261	Reach Out Youth Counselling & Services Society	
10707.000	Lot 1, Plan 15596, Except Plan KAP73753	BHF Building Healthy Families Society	
057010	Lot 1, Sec 20, Twp 26, ODYD, Plan 15741	Starbright Children's Development Centre Assoc.	Criteria #5: 7,568 sq ft taxable for lease/rental to third parties
04426.002	Lot B, Plan EPP64039, Sec 16, TWP 26	Trinity Legacy Foundation	Exemption for Class 9 portion only
004550	Lot 9, Blk 7, Plan KAP462, DL139	Ki-Low-Na Friendship Society	

Schedule F – Public Park or Recreation Ground, Public Athletic or Recreational			
FOLIO	LEGAL DESCRIPTION	REGISTERED OWNER/LESSEE	COMMENTS
000571	Part DL 14 (.727 Acres) Lot A, Plan 5352	Kelowna Lawn Bowling Club/City of Kelowna	
037220	Lot 4, Plan 4921	Kelowna Badminton Club/City of Kelowna	
073507	Lot 2, Plan 32159	Kelowna Cricket Club/City of Kelowna	
080966	Lot B, Plan KAP76448	Kelowna Major Men's Fastball Association/City of Kelowna	
080967	Lot A, Plan KAP76448	Kelowna Curling Club/City of Kelowna	Criteria #7: 2,000 sq ft taxable for liquor/food services
083521	Lot 1, Plan EPP29214	Kelowna Yacht Club	Criteria #7: 21,168 sq ft taxable for liquor/food services
04009.000	Plan 2020, Parcel A, PCL A (KG34204)	Kelowna & District Fish & Game Club	Exemption for Class 8 portion only
04078.511	Lot 2, KAP80134	Kelowna United Football Club/City of Kelowna	
04078.511	Lot 2, KAP80134	RG Arenas (Kelowna) Ltd/City of Kelowna	H2O Centre (except retail on folio 04078.513)
04453.000	Lot 1 & 2, Plan 3067	East Kelowna Community Hall Association	Criteria#9: Caretaker Agreement in place
04525.505	Lot 1, KAP61083	Central Okanagan Land Trust/Central Okanagan (Regional District)	Land Conservation (Parkland)
06198.705	Lot 1, Plan KAP91112	Okanagan Gymnastic Centre/City of Kelowna	
06225.585	Lot B, Plan KAP53836	Rutland Park Society	Criteria #5: 1,200 sq ft taxable for lease/rental to third parties
06935.000	Part S 1/2 of SW 1/4	Central Okanagan Land Trust/Central Okanagan (Regional District)	Land Conservation (Parkland)
06936.000	Part N 1/2 of SW 1/4	Central Okanagan Land Trust/Central Okanagan (Regional District)	Land Conservation (Parkland)
06961.000	Lot Fr E 1/2 Sec 17, Twp 28 exc Plan B4553	Nature Trust of BC	Land Conservation (Parkland)
06962.004	Fr NE 1/4 Sec 17, Twp 28 SDYD, shown Amended Plan B4553, exc Plan 26911	Nature Trust of BC	Land Conservation (Parkland)
06962.006	Lot A, Sec 17, Twp 28, Plan 41403	Nature Trust of BC	Land Conservation (Parkland)
06962.008	Lot B, Plan 41403	Nature Trust of BC	Land Conservation (Parkland)
06974.000			
- 06974.001	Lot 11, Sec. 22, Plan 4080	Scout Properties (BC/Yukon) Ltd	
06976.000	Lot 14, Sec. 28, Plan 8258	Scout Properties (BC/Yukon) Ltd	

Schedule F – Public Park or Recreation Ground, Public Athletic or Recreational			
FOLIO	LEGAL DESCRIPTION	REGISTERED OWNER/LESSEE	COMMENTS
09461.002-09461.005	Lot A-D, DL 14, Plan EPP96732	Kelowna Outrigger Racing Canoe Club Association/City of Kelowna	Criteria #9: Caretaker Agreement in place
10776.000	Plan 9359, Lot 2	Kelowna Riding Club	Criteria #9: Caretaker Agreement in place
11501.989 / 11501.979	Lot 1, Plan 35229	Central Okanagan Small Boat Association/City of Kelowna	Criteria #9: 541 sq ft taxable for residence
11151.004	Lot 1, Plan 11796	Kelowna Minor Fastball Society/City of Kelowna	
12184.556	Lot 1, Plan KAP69898	Okanagan Mission Community Hall Association	

Schedule G – Cultural			
FOLIO	LEGAL DESCRIPTION	REGISTERED OWNER/LESSEE	COMMENTS
000950	Lot 1, Block 12, Plan 202	Centre Cultural François De L' Okanagan	
001830	Lot 49, Plan 262, Blk 15	Kelowna Canadian Italian Club	
038641	Lot A, Plan 5438	Kelowna Museums Society/City of Kelowna	
038644	Plan 5438, D.L. 139	Kelowna Museums Society/City of Kelowna	
10201.007	EPP10201.007	KF Aerospace Centre for Excellence Association/City of Kelowna	
077062	Lot 1, Plan 42511	City of Kelowna/Kelowna Museums Society	Criteria #3: 200 sq ft taxable for retail space
089195	Lot A, Plan EPP95954	Kelowna Art Gallery	
080250	Lot A, KAP67454	Kelowna Visual & Performing Arts Centre Society/City of Kelowna	
080252	Lot A, KAP67454	Kelowna Visual & Performing Arts Centre Society/City of Kelowna	
080256	Lot A, KAP67454	Kelowna Visual and Performing Arts Centre Society/City of Kelowna	
080259	Lot A, KAP67456	Kelowna Visual & Performing Arts Centre Society/City of Kelowna	
083355	Lot 1, KAP92254	Okanagan Symphony Society/City of Kelowna	
05669.001	Plan EPP51686, Lot A, Section 26	Okanagan Buddhist Cultural Centre	
07212.624	Lot 10, KAP72245	Westbank First Nation	
10349.220	Lot B, Plan 28112	German-Canadian Harmonie Club	Criteria #7: 4,413 sq ft taxable for liquor/meal services
10388.000	Lots 15 and 16, Blk. 7, Plan 415B	Central Okanagan Heritage Society	Criteria #9: Caretaker agreement in place
10768.001	Lot A, Plan 6710	Roman Catholic Bishop of Nelson Padosy Mission	
04571.614	Plan KAS944, Lot 2, Section 19, Township 26	OCCA Communities Association	
079428	Plan KAS1996, Lot 1, District Lot 136	Chabad Okanagan Society	

Schedule H – Other Non-Profit Societies			
FOLIO	LEGAL DESCRIPTION	REGISTERED OWNER/LESSEE	COMMENTS
000641	Plan EPP 74060, Lot 1527	Tourism Kelowna Society/City of Kelowna	Criteria #3: 165 sq ft taxable for retail space
016670	Lot 16, Plan 1303	Kelowna Yoga House Society	
023422	Strata Lot 2, Plan EPS6884, DL 137	Columbus Holding Society	
077364	Lot A, Plan 43658	Kelowna Sr. Citizens Society of BC	Criteria #9: Caretaker agreement in place
05763.001	Lot A, Plan KAP82536	Kelowna General Hospital Foundation	
06198.706	PL KAP91112, LT 1, SEC 26, TWP 26	Kelowna & District Safety Council Society/City of Kelowna	
06200.303	Lot 3, Plan EPS6838	Father DeLestre Columbus (2009) Society	
10759.011	Lot 11, Plan 515, Blk 1	BC Society for Prevention of Cruelty to Animals	

Schedule I - Municipal Tax impact for the years 2024-2026:

Schedule	Property Classification	2024	2025	2026
A - Public Worship				
	Class 01 - Residential	0	0	0
	Class 06 - Business	1,432	1,501	1,574
	Class 08 - Recreation/Non-Profit	348,669	365,372	383,238
	Total Municipal Taxes	\$350,101	\$366,873	\$384,812
B - Private Schools				
	Class 01 - Residential	0	0	0
	Class 06 - Business	64,280	67,357	70,651
	Class 08 - Recreation/Non-Profit	1,675	1,756	1,842
	Total Municipal Taxes	\$65,955	\$69,113	\$72,493
C - Hospitals				
	Class 01 - Residential	0	0	0
	Class 06 - Business	15,374	16,110	16,898
	Class 08 - Recreation/Non-Profit	0	0	0
	Total Municipal Taxes	\$15,374	\$16,110	\$16,898
D - Special Need Housing				
	Class 01 - Residential	67,145	70,364	73,805
	Class 06 - Business	3,515	3,684	3,864
	Class 08 - Recreation/Non-Profit	0	0	0
	Total Municipal Taxes	\$70,660	\$74,048	\$77,669
E - Social Services				
	Class 01 - Residential	19,807	20,757	21,773
	Class 06 - Business	305,718	320,363	336,029
	Class 08 - Recreation/Non-Profit	8,651	9,062	9,505
	Class 09 - Farm Land	19	20	21
	Total Municipal Taxes	\$334,195	\$350,202	\$367,328
F - Public Park or Recreation Ground, Public Athletic or Recreational				
	Class 01 - Residential	91,966	96,370	101,084
	Class 06 - Business	62,795	65,803	69,021
	Class 08 - Recreation/Non-Profit	240,212	251,720	264,029
	Total Municipal Taxes	\$394,973	\$413,893	\$434,134
G - Cultural Organizations				
	Class 01 - Residential	3,991	4,184	4,388
	Class 06 - Business	584,361	612,352	642,297
	Class 08 - Recreation/Non-Profit	12,356	12,948	13,581
	Total Municipal Taxes	\$600,708	\$629,484	\$660,266
H - Other Non-Profit Societies				
	Class 01 - Residential	0	0	0
	Class 06 - Business	79,982	83,813	87,911
	Class 08 - Recreation/Non-Profit	0	0	0
	Total Municipal Taxes	\$79,982	\$83,813	\$87,911
Total Impact				
	Class 01 - Residential	182,909	191,675	201,050
	Class 06 - Business	1,117,457	1,170,983	1,228,245

Class 08 - Recreation/Non-Profit	611,563	640,858	672,195
Class 09 - Farm Land	19	20	21
Total Municipal Taxes	\$1,911,948	\$2,003,536	\$2,101,511