# City of Kelowna Regular Council Meeting AGENDA



Tuesday, July 12, 2022 6:30 pm Council Chamber City Hall, 1435 Water Street

**Pages** 

- 1. Call to Order
- 2. Reaffirmation of Oath of Office

The Oath of Office will be read by Councillor Given.

3. Confirmation of Minutes

1-5

Public Hearing - June 21, 2022

Regular Meeting - June 21, 2022

4. Liquor License Application Reports

Mayor to invite anyone participating online or in the public gallery who deems themselves affected by the liquor license application to come forward.

4.1. START TIME 6:30PM - Ward Rd 2287 - LL22-0002 - Canada West Tree Fruits Ltd., Inc. No. 1146628

6 - 25

To seek Council's approval for three Special Event Area Endorsement licences with occupancies of 50 persons.

5. Development Permit and Development Variance Permit Reports

Mayor to invite anyone participating online or in the public gallery who deems themselves affected by the required variance(s) to come forward for each item.

5.1. START TIME 6:30 PM - Sadler Rd 145 - BL11957 (Z18-0117) - Studio 33 Properties Ltd., Inc No.BC1137489

26 - 26

To amend and adopt Bylaw No. 11957 in order to rezone the subject property from the RU1 – Large Lot Housing and RU6 – Two Dwelling Housing zones to the C4 – Urban Centre Commercial zone.

5.2.	START TIME 6:30 PM - Sadler Rd 145 - DP19-0195 DVP19-0196 - Studio 33 Properties Ltd., Inc. No. BC1137489	27 - 83
	To issue a Development Permit for the form and character of a mixed-use development and to issue a Development Variance Permit to vary the maximum height, the minimum side yard setback, the minimum setback for a portion of a building above 4 storeys or 16.0 m, and the minimum functional commercial space on the first floor.	
5.3.	START TIME 6:30 PM - Boynton PI 630 - DP22-0054 DVP22-0056 - 1288666 BC Ltd., Inc.No. BC1288666	84 - 176
	To issue a Development Permit and Development Variance Permit for the form and character of a residential development with variances to maximum building height, frontage and retaining wall height.	
5-4-	START TIME 7:15 PM - Richter St 2590 - BL12282 (Z21-0040) - Linguo Zhang	177 - 177
	To adopt Bylaw No. 12282 in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RM3 - Low Density Multiple Housing zone.	
5.5.	START TIME 7:15 PM - Richter St 2590 - DP21-0098 DVP21-0099 - Linguo Zhang	178 - 229
	To issue a Development Permit for the form and character of a new 5-unit multi- family development and to issue a Development Variance Permit to vary the rear yard setback and the required rear yard and side yard parking setbacks.	
5.6.	START TIME 7:15 PM - Nathan Rd 766 - BL12337 (Z21-0091) - Donya J. Epp	230 - 230
	To adopt Bylaw No. 12337 in order to rezone the subject property from the RU1 - Large Lot Housing zone to the RU1c - Large Lot Housing with Carriage House zone.	
5.7.	START STIME 7:15 PM - Nathan Road 766 - DVP22-0037 - Donya Epp	231 - 250
	To issue a Development Variance Permit to vary the required maximum net floor area of a carriage house from 100 m² to 180 m².	
5.8.	START TIME 7:15 PM - Coronation Ave 1036 - BL11731 (Z17-0117) - 1028 Coronation Ave Development Ltd., Inc. No. BC 1337899	251 - 251
	To amend and adopt Bylaw No. 11731 in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RM5 - Medium Density Multiple Housing zone.	
5.9.	START TIME 7:15 PM - Coronation Ave 1036 - DP22-0086 DVP22-0087 - 1028 Coronation Ave Development Ltd., Inc. No. BC 1337899	252 - 298
	To issue a Development Permit for the Form and Character and to issue a Development Variance Permit to vary the maximum site coverage to facilitate the development of a proposed $4\frac{1}{2}$ storey building.	

- 6. Reminders
- 7. Termination



# City of Kelowna Public Hearing and Associated Regular Meeting Minutes

Date:

Tuesday, June 21, 2022

Location:

Council Chamber City Hall, 1435 Water Street

Members Present

Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Gail Given,

Charlie Hodge, Brad Sieben, Mohini Singh, Luke Stack and Loyal

Wooldridge

Staff Present

City Manager, Doug Gilchrist; City Clerk, Stephen Fleming; Divisional Director, Planning & Development Services, Ryan Smith; Development Planning Department Manager, Terry Barton; Planner Specialist, Adam Cseke; Planner II, Barb Crawford; Legislative Coordinator (Confidential),

Rebecca Van Huizen

Staff participating Remotely

Legislative Coordinator (Confidential), Clint McKenzie

(\* Denotes partial attendance)

### 1. Call to Order the Public Hearing - START TIME 6:00 PM - City of Kelowna - New Zoning Bylaw No. 12375

Mayor Basran called the Hearing to order at 6:03 p.m.

Mayor Basran advised that the purpose of the Hearing is to consider a new Zoning Bylaw, and all submissions received, either in writing or verbally, will be taken into consideration when the proposed bylaws are presented for reading at the Regular Council Meeting which follows this Public Hearing.

#### 2. Individual Bylaw Submissions

#### 2.1 START TIME 6:00 PM - City of Kelowna - New Zoning Bylaw No. 12375

#### Staff:

- Displayed a PowerPoint Presentation.

-Spoke to the process of drafting a new zoning bylaw.

-Provided comments on the land use categories in the bylaw.

-Provided comments on new development regulations in the bylaw.

-Provided comments on base floor area ratio (FAR) and proposed density bonus program.

-Provided comments on the Bylaw Transition Plan.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

#### Gallery:

Luke Turri, UDI Chair, Pandosy St

-Made reference to previously submitted correspondence.

- -Spoke to concerns raised in the correspondence and provided examples of potential implications on development.
- -Responded to questions from Council.

No one participating online indicated they wished to speak.

Staff responded to questions from Council.

There were no further comments.

#### 3. Termination

The Hearing was declared terminated at 6:53 p.m.

#### 4. Call to Order the Regular Meeting

Mayor Basran called the meeting to order at 6:53 p.m.

#### 5. Bylaws Considered at Public Hearing

#### 5.1 START TIME 6:00 PM - BL12375 - Zoning Bylaw

Moved By Councillor Singh/Seconded By Councillor Wooldridge

R0446/22/06/21 THAT Bylaw No. 12375 be read a second and third time.

Carried

#### 6. Termination

The Hearing was declared terminated at 7:09 p.m.

Mayor Basran

/cm

City Clerk



#### City of Kelowna **Regular Meeting** Minutes

Date: Location: Tuesday June 21, 2022

Council Chamber

City Hall, 1435 Water Street

Members Present

Mayor Colin Basran\*, Councillors Maxine DeHart, Ryan Donn, Gail Given,

Charlie Hodge, Brad Sieben, Mohini Singh, Luke Stack and Loyal

Wooldridge

Staff Present

City Manager, Doug Gilchrist; City Clerk, Stephen Fleming; Divisional Director, Planning & Development Services, Ryan Smith; Development Planning Department Manager, Terry Barton; Planner II, Barbara Crawford;

Legislative Coordinator (Confidential), Rebecca Van Huizen

Staff participating

Legislative Coordinator (Confidential), Clint McKenzie

Remotely

(\* Denotes partial attendance)

Call to Order 1.

Mayor Basran called the meeting to order at 7:09 p.m.

2. Reaffirmation of Oath of Office

The Oath of Office was read by Councillor Donn.

**Confirmation of Minutes** 3.

Moved By Councillor DeHart/Seconded By Councillor Wooldridge

Ro446/22/06/21 THAT the Minutes of the Public Hearing and Regular Meeting of May 31, 2022 be confirmed as circulated.

Carried

#### **Development Permit and Development Variance Permit Reports**

START TIME 7:00 PM - Abbott St 2210 - HAP22-0002 - Richard Mohr, Judith Lynn 4.1 Mohr, and Craig Richard Mohr

- Displayed a PowerPoint Presentation summarizing the application.

#### Birte Decloux, Urban Options, Applicant's Agent

-Displayed a PowerPoint presentation.

-Spoke to the HAP variances being requested and the reasons for each.

-Spoke to the trees remaining on the property.

-Made comment on the site perspective.

-Displayed renderings of the proposed development.

- -Provided reasons why the previous permit did not move forward.
- -Responded to questions from Council.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one participating online or in the Gallery indicated they wished to speak.

There were no further comments.

Moved By Councillor Wooldridge/Seconded By Councillor Given

R0447/22/06/21 THAT Council authorizes the issuance of Heritage Alteration Permit No. HAP22-0002 for Lot 27, District Lot 14, ODYD, Plan 535, located at 2210 Abbott Street, Kelowna, BC, subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule 'A";
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 6.5.3(c): Accessory Buildings in Residential Zones

To vary the maximum height from 4.8 m permitted to 6.69 m proposed.

Section 6.5.3(d): Accessory Buildings in Residential Zones

To vary the minimum front yard from 9.0 m permitted to 1.5 m proposed.

Section 13.6.6(g): RU6 - Two Dwelling Housing, Development Regulations

To vary the minimum flanking side yard from 4.5 m permitted to 2.0 m proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Heritage Alteration Permit Application in order for the permit to be issued;

AND FURTHER THAT this Heritage Alteration Permit is valid for two (2) years from the date of Council Approval, with no opportunity to extend.

<u>Carried</u>

Councillor Hodge - Opposed

### 4.2 START TIME 7:00 PM - Multiple Addresses at Glenmeadows Rd 615 - DVP22-0044 - Various Owners

#### Staff:

- Displayed a PowerPoint Presentation summarizing the application summarizing the reasons for non-support and responded to questions from Council.

#### Gordon Halversone, Glenmeadows Road, Applicant

- -Displayed a PowerPoint presentation.
- -Confirmed that Glenmore Road is the only location for heightened fencing.
- -Provided comments on the public safety incidents in the immediate area.
- -Made comments on the lack of RCMP responses to non-emergency calls.
- -Commented on the current height of the fence not being a sufficient deterrent to criminal activity.
- -Displayed images of the existing fence and the proposed increase in height.
- -Provided examples of other neighbouring fence heights.

-Made comments on noise from Glenmore Road.

-Would like the fence variance for privacy, security and noise abatement reasons.

Brian Boughton, Glenmeadows Road, Applicant

-Spoke to the privacy the increase in fence height would bring.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

Mayor Basran left the meeting at 7:50 p.m. Deputy Mayor Sieben took the Chair.

No one participating online wished to speak.

Gallerv:

Mac Campbell, Glenmeadows Rd

- -Supportive of the variance and alternative recommendation.
- -Spoke to a number of residents being with the strata for 25+ years.

-Spoke to building a strong neighbourhood.

-Spoke to the opportunity for the increase in height to the fencing providing additional piece of mind for the residents.

There were no further comments.

Moved By Councillor Hodge/Seconded By Councillor DeHart

<u>R0448/22/06/21</u> THAT Council authorizes the issuance of Development Variance Permit No. DVP22-0044 for the properties identified on 'Schedule A', located at 615 Glenmeadows Road, Kelowna, BC, be considered by Council;

AND THAT variance to the following section of Zoning Bylaw No. 8000 be granted:

#### Section 7.5.3 – Fencing and Retaining Walls:

To vary the maximum fence height in urban residential zones from a flanking road from 1.2m permitted to 2.0m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

#### 5. Reminders

There were no reminders.

#### 6. Termination

The meeting was declared terminated at 8:01 p.m.

Mayor Basran

City Clerk

ttle

sf/cm

#### REPORT TO COUNCIL



**Date:** July 12, 2022

To: Council

From: City Manager

**Department:** Development Planning

Application: LL22-0002 Owner: Canada West Tree Fruits Ltd.

Inc.No. 1146628

Address: 2287 Ward Rd Applicant: Canada West Tree Fruits dba

The View Winery

**Subject:** Liquor Licence Application

**Existing OCP Designation:** R-AGR - Rural – Agricultural & Resource

**Existing Zone:** A1 – Agriculture 1

#### 1.0 Recommendation

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with 'Division 9 (71)' of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

- Council recommends support of an application from Canada West Tree Fruits dba The View Winery for a special event area endorsements for Lot B Section 4 Township 26 ODYD Plan KAP78689 Except Plan KAP88849, located at 2287 Ward Rd, Kelowna, BC for the following reasons:
  - the special event area does not negatively impact farming operations.
- 2. Council's comments on LCLB's prescribed considerations are as follows:

Criteria for a winery lounge or special event area endorsement:

- a. **The location of the winery's special event area endorsement:** SEA 1 is in close proximity to main building. SEA 2 is near middle of the site. SEA 3 overlaps the Picnic Endorsement Area adjacent to the main building.
- b. The proximity of the winery's special event area endorsement to other social or recreational facilities and public buildings: The subject property is rural in nature and not in close proximity to other social or public buildings.

- c. **The person capacity of the winery lounge**: The maximum person capacity for each Special Event Area would be 50 persons.
- d. **Traffic, noise, parking and zoning:** Special event areas have been strategically placed to be mindful of neighbouring properties. Parking is proposed in existing parking area and along established farm roads onsite. No loss to active farming will take place.
- e. The impact on the community if the application is approved: Minimal impact to the community if Special Event Areas are approved.
- 3. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures."

#### **Purpose**

To seek Council's approval for three Special Event Area Endorsement licences with occupancies of 50 persons.

#### 2.0 Development Planning

Staff recommend support for the addition of three Special Event Area Endorsements. The 88 acre orchard and vineyard is seeking three seperate event areas each of which will serve specific purpose.

The proposed Liquor License change would allow the winery to have up to 50 additional people on the property for special events. The hours set in place will help limit the impact on the existing neighbourhood including the single family houses in close proximity to the winery. The proposed expansion is intended to complement the primary agricultural use and current winery operation.

#### 3.0 Proposal

#### 3.1 <u>Background</u>

The property is known as The View Winery and currently has a manufacturer licence, indoor and outdoor wine tasting and Picnic Endorsement Area. The winery is currently open 11am-5:30pm seven days a week.

The 88 acre Orchard and Vineyard is seeking three seperate Special Event areas each of which will serve specific events.

Special Event Area 1: Located in close proximity to the main structure would be used for long table dinners which will provide catered meals.

Special Event Area 2: Located at the center of the site. This area is specifically for group activities such as yoga, fitness classes and more intimate events such as weddings, celebrations of life, theatre and musical performances.

Special Event Area 3: Located in close proximity to the main structure and will overlap the Picnic Endorsement Area, and be used for live music performances, along with lunches and dinners put on by the wine or cider maker.

The three Special Event Areas will not exceed more than 50 persons and no more than one Special Event Area will be used at a time. Each area is located either in orchard/vineyard drive aisles or in between the orchard trees. No impact to existing plantings will take place to accommodate these Special Event Areas.

Event hours will be consistent with similar special event area endorsements on agricultural land. Events can begin late morning with no event running later then 10:00pm. A Special Event may not permit, make or cause any noise within the Permit Area that is liable to disturb the quiet, peace, rest, enjoyment, comfort or convenience of individuals or the public. The City of Kelowna Good Neighbor Bylaw No. 11500, Part 7 will apply at all times.

#### **Operating Hours:**

	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Open	11:00am	11:00am	11:00am	11:00am	11:00am	11:00am	11:00am
Close	10:00pm	10:00pm	10:00pm	10:00pm	10:00pm	10:00pm	10:00pm



The parking area will be parallel or angled parking along existing internal dirt farm roads. The parking will allow for minimal agriculture impact as the area is already disturbed and avoids removal of existing plantings to accommodate a gravel parking lot. Due to the minimum number of persons permitted in these event areas staff believe this is the best parking option to maximize agricultural uses on site and accommodate the needs of the Special Event Areas.

Additionally, the parking area proposed will have minimal impact on neighbouring properties as headlights and dust will be buffered by site plantings around the property.

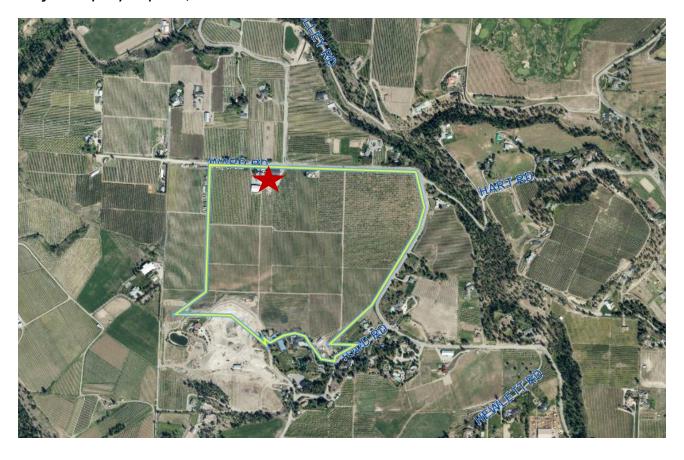
#### 3.2 <u>Site Context</u>

The parcel is 35.9 ha (88.7 acres) in area and is designated R - AGR (Rural – Agriculture & Resource), and zoned  $A_1 - Agriculture$  within the Agricultural Land Reserve. The surrounding properties are predominately zoned  $A_1$  and located in the ALR.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	A1	Fruit Production
East	A1, RR3	Fruit Production, Single Family Dwelling
South	A1	Gravel Pit
West	A1	Fruit Production

Subject Property Map: 2287 Ward Rd



#### 4.0 Current Development Policies:

#### 4.1 <u>Kelowna Official Community Plan (OCP)</u>

# Objective 8.1 Protect and Preserve Agricultural Land and its capability Support agri-tourism uses that are directly associated with and supportive of established farm operations as a primary use. Permit alcohol production facilities and farm retail sales on ALR lands where consistent with ALC policies and regulations.

Special Event Areas allow for agri-tourism that supports the established farm operations will having minimal impact on farming operations.

#### 4.2 Agricultural Land Commission Act

Policy L-04 Activities Designated as Farm Use: Agri-tourism Activities in the ALR (excerpts):

• The highest priority is the agricultural activity that takes place on the farm.

Policy L-22 Activities Designated as a Permitted Non-Farm Use: Gathering for an Event in the Agricultural Land Reserve ("ALR")

Parking areas must not be permanent (asphalt, concrete, gravel, etc) and parking must not interfere
with the farm's agricultural productivity. All vehicles visiting the farm for agri-tourism activity must
be parked on site. To minimize impacting farmland, parking should be along field edges, adjacent to
internal farm driveways and roads and in farmyard areas or immediately adjacent to farm buildings
and structures.

#### 5.0 Application Chronology

Date of Application Received: March 17, 2022

**Report prepared by:** Jason Issler, Planner I

**Reviewed by:** Lydia Korolchuk, Urban Planning Manager

**Reviewed by:** Terry Barton, Development Planning Department Manager

**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Site Plan

Attachment B: Letter of Rationale







City of Kelowna Community Planning 1435 Water Street, Kelowna V1Y 1J4





February 16, 2022

To whom it concerns.

I am writing this letter of intent to describe three proposed Special Event Areas at our winery establishment. Please note that only one Special Event Area would ever be used at one time.

**Area 1 – Vineyard Block 11**: The first area would be used for Vineyard dinners in which we provide catered meals to guests.

Area 2 – Open Space Between Blocks 3 and 4: The second area would be used for group activities such as yoga and fitness sessions followed by alcoholic and non-alcoholic refreshments and light snacks. This area may also be used for intimate events such as wedding ceremonies and celebrations of life followed by refreshments as well as intimate musical or theatre events where beverages and snacks would be provided.

**Area 3 – Orchard Picnic Area**: The third area would overlap our current Picnic Area Endorsement and would be used for live music performances and Cider/Wine Maker lunches and dinners. Charcuterie and light snacks as well as non-alcoholic beverages are available in this area.

The View Winery is in a rural, agricultural area in South-East Kelowna. We sit on 88 acres of orchard and vineyard with no immediate neighbors to the north or west. We do have neighboring acreages to the south and east of our property, but the residences are set back away from our proposed Special Event Areas and potential for noise and disturbances is minimal. The look and feel of our historic family-owned estate celebrates agriculture and pays homage to 5 generations of farming. Our intention is not to conduct loud, raucous parties on our land, but rather to be able to provide a relaxed, authentic experience where guests have an opportunity to experience the beauty of our orchards and vineyards while enjoying the wines and ciders made from our crops. We do not wish to hold large events on our property. The maximum person capacity for each area would be 50 people. Our intent would be to host events in any of the three areas only during daylight hours which will minimize any possible disturbances to neighboring properties.

Thank you for your consideration. If you have any questions, please do not hesitate to reach out to me directly.

Warm regards,

Jennifer Molgat

Président

The View Winery

The View Winery and Vineyard #1 2287 Ward Road Kelowna, BC V1W 4R5 250-860-0742 www.theviewwinery.com





City of Kelowna Community Planning 1435 Water Street, Kelowna V1Y 1J4

<b>ATTACHME</b>	ENT B
This forms part of ap	oplication
# LL22-0002	🗱 💥
	City of
Planner Initials JI	Kelowna DEVELOPMENT PLANNING

February 16, 2022

To whom it concerns.

I am submitting this **Project Rationale** to illustrate the benefits and possible challenges of licensing three proposed Special Event Areas at our winery/cidery establishment. Please note that only one Special Event Area would ever be used at one time.

The View Winery is set on an 88 acre, fifth-generation, family-owned property 15 minutes from downtown Kelowna. We own adjacent orchards and vineyards on a separate parcel which brings our acreage up to 103 acres in total. We are committed to making our family farmland viable for generations to come. Currently we employ 20 full time staff. Part of our business model is creating unique events for guests that allow them to experience our agricultural property in an authentic way. The events we hope to offer with this project feature opportunities for guests to immerse themselves in the sights, sounds and feel of our orchards and vineyards while enjoying a glass of wine or cider made from the fruit grown here. As an example of the uptake in authentic, experiential opportunities for visitors; this winter we are offering snowshoeing tours through our orchard rows and vines followed by a simple cheese and chocolate fondue. We were thrilled to be booked solid for the month of January and saw 400% increase in wine and cider sales from our onsite-retail store compared to previous years during this time frame. February continues to be very busy. Approximately half of our guests are out of town visitors. We realize that authentic guest experiences appeal, not only to our local guests, but also to out of town guests.

#### **Benefits:**

With this project we hope to provide unique, memorable winery and cidery visits which ultimately contribute to healthy agritourism, winery and cidery industries and benefit our local economy.

#### Possible problems:

Impact on neighbours – noise, parking Proximity to main building - toilets

Area 1 – Vineyard Block 11: There are no nearby neighbors that would be affected by events held in this location as Area 1 is set in the inner areas of our vineyard/orchard. The concept is that guests would meet in our tasting room and then be guided through the orchard/vineyard to the long-table setting. A parking area on the winery premises is available. Portable toilets and handwash stations would be available in the orchard/vineyard.

The View Winery and Vineyard #1 2287 Ward Road Kelowna, BC V1W 4R5 250-860-0742 www.theviewwinery.com





### Proposal

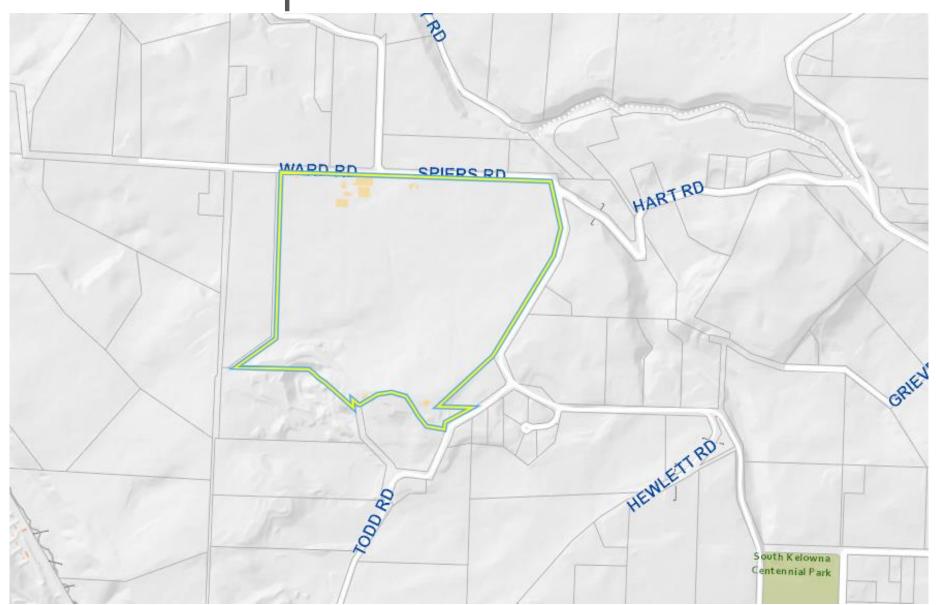
➤ To seek Council's approval for three Special Event Area Endorsement licences with occupancies of 50 persons.

### Development Process

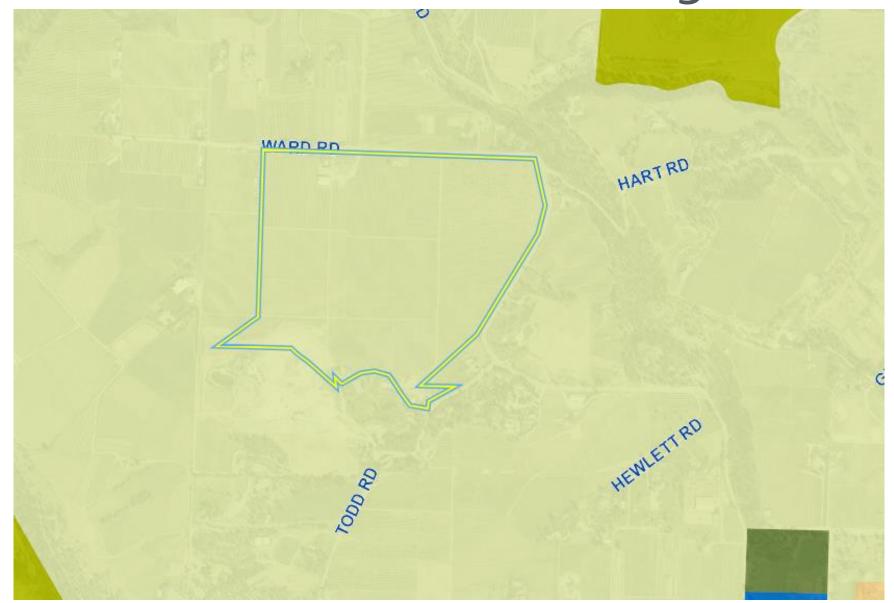




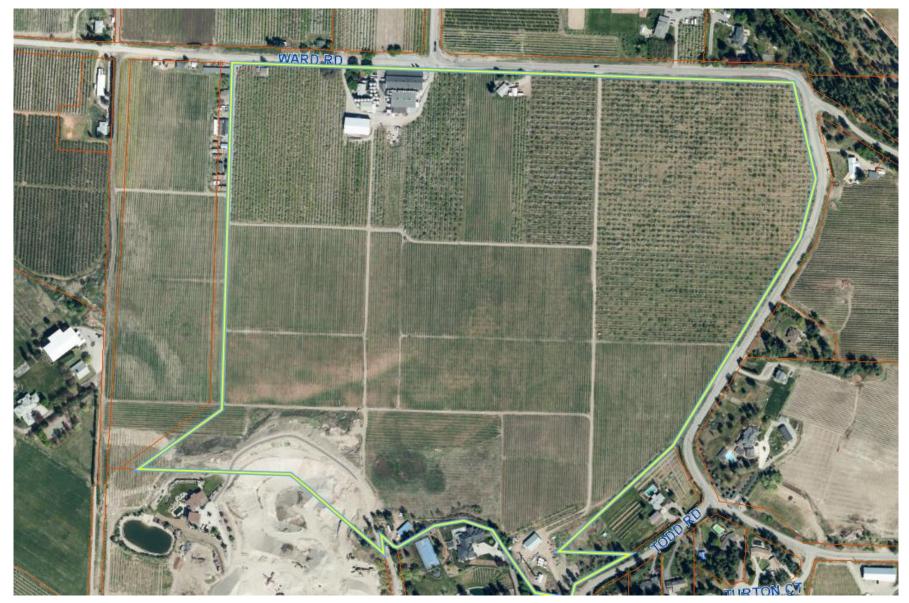
Context Map



# OCP Future Land Use / Zoning



# Subject Property Map





## Project/technical details

- > 3 Event Areas
- ▶ 50 Person maximum for each area
- ▶ No more then one area being used at given time
- ► Events ending no later then 10:00pm

### Site Plan

- Special Event Area 1: Used for long table dinners which will provide catered meals.
- For group activities such as yoga, fitness classes and more intimate events such as weddings, celebrations of life, theatre and musical performances.



Special Event Area 3: Used for live music performances and lunches and dinners put on by Wine/Cider maker.

### Special Event Area Consideration

- ► Location: SEA over 300m from closest neighbouring residence
- ► Proximity: Rural is not close to other social or public buildings
- ► Capacity: 50 person maximum per SEA
- ► Traffic, noise, parking & zoning: Statically placed to avoid impact to neighbours
- ► Impact: Impact believed to be minimal



# **Development Policy**

- ► Policy 8.1.5 Agri-tourism, Alcohol Production Facilities, Farm Retail Sales
  - Support agri-tourism uses supportive of established farming operations
- ► ALC Policy L-04 & L-22
  - Priorities agricultural activities
  - Avoid non-permeable parking areas



### Staff Recommendation

- ► Staff recommend <u>support</u> for the proposed Special Event Area Endorsement
  - ▶ Does not negatively impact existing farming operations
  - Person capacity minimal
- ▶ Recommendation to be forwarded to Liquor & Cannabis Regulation Branch



### Conclusion of Staff Remarks

#### CITY OF KELOWNA

### Z18-0117 145 Sadler Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- 1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A Section 26 Township 26 ODYD Plan EPP96765, located on Sadler Road, Kelowna, BC from the RU1 Large Lot Housing and RU6 Two Dwelling Housing zones to the C4 Urban Centre Commercial zone;
- 2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 18<sup>th</sup> day of November, 2019.

Considered at a Public Hearing on the 3<sup>rd</sup> day of December, 2019.

Read a second and third time by the Municipal Council this 3<sup>rd</sup> day of December, 2019.

Second and third readings rescinded by the Municipal Council of the City of Kelowna this 21st day of June, 2021.

Considered at a Public Hearing on the 13<sup>th</sup> day of July, 2021.

Read a second and third time by the Municipal Council this 13<sup>th</sup> day of July, 2021.

Approved under the Transportation Act this 4<sup>th</sup> day of August, 2021.

Audrie Henry	
(Approving Officer – Ministry of Transportation)	
Amended at third reading and adopted by the Municipal Co	ouncil of the City of Kelowna this
	Mayor
	Mayor

City Clerk

#### REPORT TO COUNCIL



**Date:** July 12, 2022

To: Council

From: City Manager

**Department:** Development Planning

**Application:** DP19-0195 & DVP19-0196 Owner: Studio 33 Properties Ltd., Inc.

No. BC1137489

Address: 145 Sadler Road Applicant: Pacific West Architecture Inc. –

Patrick Yang

**Subject:** Development Permit and Development Variance Permit

**Existing OCP Designation:** UC – Urban Centre

**Existing Zone:** RU1 – Large Lot Housing & RU6 – Two Dwelling Housing

**Proposed Zone:** C4 – Urban Centre Commercial

#### 1.0 Recommendation

THAT Rezoning Bylaw No. 11957 be amended at third reading to revise the legal description of the subject properties from Lots 1, 2 & 3, Section 26, Township 26, ODYD, Plan 10045 to Lot A, Section 26, Township 26, ODYD, Plan EPP96765;

AND THAT final adoption of Rezoning Bylaw No. 11957 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP19-0195 for Lot A, Section 26, Township 26 ODYD, Plan EPP96765, located at 145 Sadler Road, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- 2. The exterior design and finish the building to be constructed on the land be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to have a Heritage Monitor to oversee and approve all on-site construction.

AND THAT Council authorizes the issuance of a Development Variance Permit No. DVP19-0196 for Lot A, Section 26, Township 26, ODYD, Plan EPP96765, located at 145 Sadler Road, Kelowna, BC;

AND THAT variance to the following sections of Zoning Bylaw No. 8000 be granted:

#### Section 14.4.5(c): C4 - Urban Centre Commercial Development Regulations

To vary the required maximum height from 15.0 m or 4 storeys permitted to 17.7 m and 5 storeys proposed.

#### Section 14.4.5(e): C4 - Urban Centre Commercial Development Regulations

To vary the required minimum side yard from 8.71 m permitted to 4.5 m proposed.

#### Section 14.4.5(h)(i): C4 - Urban Centre Commercial Development Regulations

To vary the required minimum setback for a portion of a building above 16.0 m or 4 storeys from 3.0 m permitted to 0.0 m proposed on the east side of the building and 1.0 m proposed on the west side of the building.

#### Section 14.4.6(e): C4 - Urban Centre Commercial Other Regulations

To vary the required functional commercial space on the first floor from 75% required to 16.4% proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit application in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

#### 2.0 Purpose

To issue a Development Permit for the form and character of a mixed-use development and to issue a Development Variance Permit to vary the maximum height, the minimum side yard setback, the minimum setback for a portion of a building above 4 storeys or 16.0 m, and the minimum functional commercial space on the first floor.

#### 3.0 Development Planning

Staff support the proposed Development Permit and associated variances for the form and character of a mixed-use development. The proposal generally complies with the Official Community Plan (OCP) Policies with respect to the Rutland Urban Centre by providing high density residential in an Urban Centre which is consistent with the Building Height and Street Character mapping.

The proposal generally conforms to the OCP Form and Character Development Permit Area Design Guidelines for Low & Mid-Rise Residential Mixed-Use Buildings. Key quidelines it meets include:

- Orienting building facades to both fronting streets on corner sites to create active frontages;
- Stepping back upper storeys of building and articulating building facades;
- Accommodating off-street parking underground;
- Creating continuous active and transparent retail frontages at grade;
- Providing shared rooftop amenity spaces that are accessible to residents.

#### **Variances**

- Building Height the applicant has requested to increase the maximum building height from 15.0 m or 4 storeys to 17.7 m and 5 storeys. To reduce the impact on adjacent parcels, the bulk of the building is oriented towards Highway 33 E and Sadler Road. A rooftop patio is provided on the northeast portion of the parking podium, so that the building steps back above the parkade level. The 5<sup>th</sup> floor façade has been stepped back to minimize its visual impact along the adjacent street.
- Side Yard (North) Setback the applicant is proposing to reduce the side yard setback (north) from 8.71 m required to 4.5 m proposed. The properties immediately to the north are within the Rutland Urban Centre. Future development to greater density can be expected along this corridor. Landscaping, including trees, will help to buffer the proposed development from the adjacent property.
- Setback above 16.0 m or 4 storeys the applicant is proposing to vary the minimum setback required for portions of a building above 16.0 m or 4 storeys from 3.0 m to 0.0 m. Portions of the building on both the west and east wide will not meet the 3.0 m setback requirement. Most notably, the setback for the firewall along the eastern portion of the building will be reduced to 0.0 m. The neighbouring property to the east is commercial-zoned (Posthaus Pub) and within the Urban Centre. The firewall has been patterned to provide some visual interest.
- Functional Commercial Space on Ground Floor the applicant is proposing to reduce the required functional commercial space on Sadler Road from 75% required to 16.47% proposed. The applicant has provided the residential entrance to the building on Sadler Road and a heritage display which includes murals and a bay window from the former heritage house. The variance request is consistent with the Urban Centre Street Character mapping indicating that Sadler is intended to be a Residential Street.

#### 4.0 Proposal

#### 4.1 <u>Background</u>

The Rezoning application was submitted to staff on December 10, 2018. Staff indicated the property contained the Sproule Farmhouse, which was listed on the Kelowna Heritage Registry. As the applicant team was unaware of this, the Rezoning application was paused to allow the owners time to determine how to move the project forward.

In August 2018, a Heritage Register removal request was presented to the Heritage Advisory Committee (HAC) by Staff on behalf of the owners. At that time, HAC provided direction to the applicant to incorporate the heritage house into the proposed development. The owners enlisted a Registered Heritage Professional, to provide a Heritage Assessment and Evaluation of the site. Based on direction from HAC, the applicant team developed a proposal to incorporate two facades of the Sproule Farmhouse into the proposed structure. The rezoning application received Initial Consideration on November 18, 2019 with Public Hearing and 2<sup>nd</sup> and 3<sup>rd</sup> readings of the bylaw following on December 3, 2019.

In October 2020, a house fire damaged the Sproule Farmhouse beyond repair. This forced the applicant to re-design and re-submit the applications. Due to the scale of changes and removal of the heritage facades from the proposed development, it was determined that rescinding  $2^{nd}$  and  $3^{rd}$  readings of the Rezoning Bylaw would be necessary. The Bylaw was rescinded on June 14, 2021. A new Public Hearing was held  $2^{nd}$  &  $3^{rd}$  readings of the bylaw were granted on July 13, 2021. Along with this, Council supported the removal of the site from the Kelowna Heritage Register.

#### 4.2 <u>Project Description</u>

The amended development proposal includes 84 residential units. The residential unit mix includes 21 microsuites, 36 bachelor units, 18 one-bedroom units, 8 two-bedroom units and 1 three-bedroom unit. Two commercial units are provided along the Highway 33 frontage.

Two levels of structured parking are provided. One level is below grade with the commercial units serving to screen the main floor parking structure along the Hwy 33 frontage. The Sadler Road frontage provides the primary building entry point for the residential units, parkade access, and will include a heritage component.

The Heritage Consultant will work with the applicant to include wall murals and interpretive panels to allow the story of the Sproule Farmhouse to be shared. The bay window from the farmhouse will be included in the Sadler Road frontage and will contain a building model of the Sproule Farmhouse.

The proposed building form is contemporary and utilizes a flat roof design, large balconies and includes a roof-top patio. The bulk of the building is oriented towards Hwy 33 and Sadler Road. The proposed colour palette was inspired from the Sproule Farmhouse. The modern application utilizes white, light and dark grey hardie panel siding as the primary building material. Light green is used as an accent colour and wood grain siding adds warmth to the modern design.

#### 4.3 Site Context

The subject property is at the intersection of Hwy 33 E and Sadler Road in the Rutland Urban Centre. The surrounding area is designated Urban Centre and is zoned C4 – Urban Centre Commercial, RU6 – Two Dwelling Housing, RM3 – Low Density Multiple Housing, and C3 – Community Commercial.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single Detached Dwellings
East	C <sub>3</sub> – Community Commercial	Liquor Primary (Post Haus Pub)
South	C4 – Urban Centre Commercial	Various Commercial Businesses
	RM <sub>3</sub> – Low Density Multiple Housing	Apartment Housing
West	C4 – Urban Centre Commercial	Automotive Repair Shop

#### Subject Property Map: 145 Sadler Road



Zoning Analysis Table

Zoning Analysis Table				
CRITERIA	C4 ZONE REQUIREMENTS	PROPOSAL		
E:	xisting Lot/Subdivision Regulations			
Min. Lot Area	1300 m²	2001.6 m²		
Min. Lot Width	40 m	39.4 m		
Min. Lot Depth	30 m	57.3 m		
	Development Regulations			
Max. Floor Area Ratio	1.5	1.5		
Max. Site Coverage (buildings)	75%	71%		
Max. Height	15.0 m or 4 storeys	17.7 m and 5 storeys •		
Min. Front Yard	o.o m	o.o m		
Min. Side Yard (north)	6.o m	4.5 m <b>②</b>		
Min. Side Yard (south)	o.o m	1.5 m <b>*</b>		
Min. Rear Yard	0.0 M	o.o m		
Min. Setback above 16.0 m or 4	3.0 m	1.0 m (west) <b>§</b>		
storeys	3.0 111	o.o m (east)		
	Other Regulations			
Minimum functional commercial				
space on the first floor on secondary	75%	16.47% <b>4</b>		
street (Sadler Road)				
Min. Parking Requirements	86 stalls	86 stalls		
Min. Bicycle Parking	64 Long Term	64 Long Term		
Willi. Dicycle i arking	9 Short Term	9 Short Term		

Min. Private Open Space 669 m²		1044 m²		
• Indicates a requested variance to increase the maximum building height.				
2 Indicates a requested variance to reduce the minimum side yard setback.				
Indicates a requested variance to reduce the minimum setback above 16.0 m or 4 storeys.				
Indicates a requested variance to reduce the minimum commercial functional commercial space on the first floor on a				
secondary street (Sadler Road).				
* MOTI – has granted a setback variance to 1.5 m along Hwy 22 Figurs uant to Section on of the Transportation Act				

#### 5.0 Current Development Policies

#### 5.1 <u>Kelowna Official Community Plan (OCP)</u>

<b>Objective 4.1 Stre</b>	ngthen the Urban Centres as Kelowna's primary hubs of activity.			
Policy 4.1.6 High	Direct medium and high density residential development to Urban Centres			
Density	to provide a greater mix of housing near employment and to maximize use			
Residential	of existing and new infrastructure, services and amenities.			
Development The proposed development is high density residential development w				
	the Urban Centre.			
Objective 4.7 Focus new development in Rutland strategically to create a new high-density business and residential hub to support improved services and amenities.				
Policy 4.7.1	Undertake a building heights study as part of an Urban Centre Plan			
Rutland Building Heights	process for the Rutland Urban Centre. Until this process is complete, support development in the Rutland Urban Centre that is generally consistent with the building heights outlined in Map 4.7 to accomplish the following:			
	<ul> <li>Focusing taller buildings between Shepherd Road, Dougall Road, Rutland Road and Highway 33 to support the viability of Rutland's designated high streets, the Rutland Transit Exchange and Rutland Centennial Park;</li> </ul>			
	Directing more modest heights along the Highway 33 and Rutland Road corridors to support transit use and the viability of commercial uses in those two corridors;  The sainteent desired to the			
	<ul> <li>Tapering heights down towards surrounding Core Area Neighbourhoods.</li> </ul>			
	The subject property is identified as four-storeys in the Building Heights Map. At five storeys in height, the proposed development modestly exceeds the designated Building Height Map, but employs strategies including stepbacks to reduce the perceived mass of the building.			
Policy 4.7.3 Rutland Retail	Support development in the Rutland Urban Centre that includes the following characteristics at grade, as outlined in Map 4.8:			
Street Hierarchy	<ul> <li>Retail space along Roxby Road and portions of Shepard and Asher Road, integrated with Roxby Square and a high-quality urban streetscape experience, reinforcing these streets as the Urban Centre's high streets and creating a new centre for Rutland; and</li> <li>Retail space along designated retail streets, including central portions of Highway 33 and Rutland Road to reinforce those major transportation routes and streets surrounding Rutland's high streets, to support the evolution of a new centre for Rutland.</li> </ul>			
	Highway 33 is identified as a Mixed Street along the subject property. Sadler Road is identified as a Residential Street. The proposed development is consistent with these designations as it provides			

commercial uses along Highway 33 and the residential entrance along Sadler Road.

#### 6.0 Application Chronology

Date of Application Accepted: December 10, 2018

Date Public Consultation Completed: October 4, 2019

Date of Rezoning Bylaw PH: July 13, 2021

Report prepared by: Mark Tanner, Planner II

Reviewed by: Lydia Korolchuk, Urban Planning Manager

Reviewed by: Terry Barton, Development Planning Department Manager

**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning & Development Services

#### Attachments:

Attachment A: Draft Development Permit DP19-0195 & DVP19-0196

Schedule A: Site Plan and Floor Plans Schedule B: Elevations and Colour Board

Schedule C: Landscape Plan

Attachment B: Project Rationale and Renders

Attachment C: Heritage Assessment

Attachment D: Form and Character Development Permit Guidelines Checklist



# Development Permit & Development Variance Permit



145 Sadler Road

and legally known as

Lot A, Section 26, Township 26, ODYD, Plan EPP96765

and permits the land to be used for the following development:

#### Residential and Commercial Mixed Use

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u> July 12, 2022

Decision By: COUNCIL

<u>Development Permit Area:</u> Form & Character Development

Existing Zone: C4 – Urban Centre Commercial

Future Land Use Designation: Urban Centre

# This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

# NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Date

Owner:	Studio 33 Properties Ltd., Inc. No. BC1137489
Applicant:	Pacific West Architecture Inc. – Patrick Yang

Terry Barton
Development Planning Department Manager
Planning & Development Services



#### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

#### 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

and with variances to the following sections fo Zoning Bylaw No. 8000:

### Section 14.4.5(c): C4 - Urban Centre Commercial Development Regulations

To vary the required maximum height from 15.0 m or 4 storeys permitted to 17.7 m and 5 storeys proposed.

### Section 14.4.5(e): C4 - Urban Centre Commercial Development Regulations

To vary the required minimum side yard from 8.71 m permitted to 4.5 m proposed.

# Section 14.4.5(h)(i): C4 – Urban Centre Commercial Development Regulations

To vary the required minimum setback for a portion of a building above 16.0 m or 4 storeys from 3.0 m permitted to 0.0 m proposed on the east side of the building and 1.0 m on the west side of the building.

# Section 14.4.6(e): C4 - Urban Centre Commercial Other Regulations

To vary the required functional commercial space on the first floor from 75% required to 16.4% proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

#### 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit or Certified Cheque in the amount of \$61,243.75

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

#### 5. INDEMNIFICATION

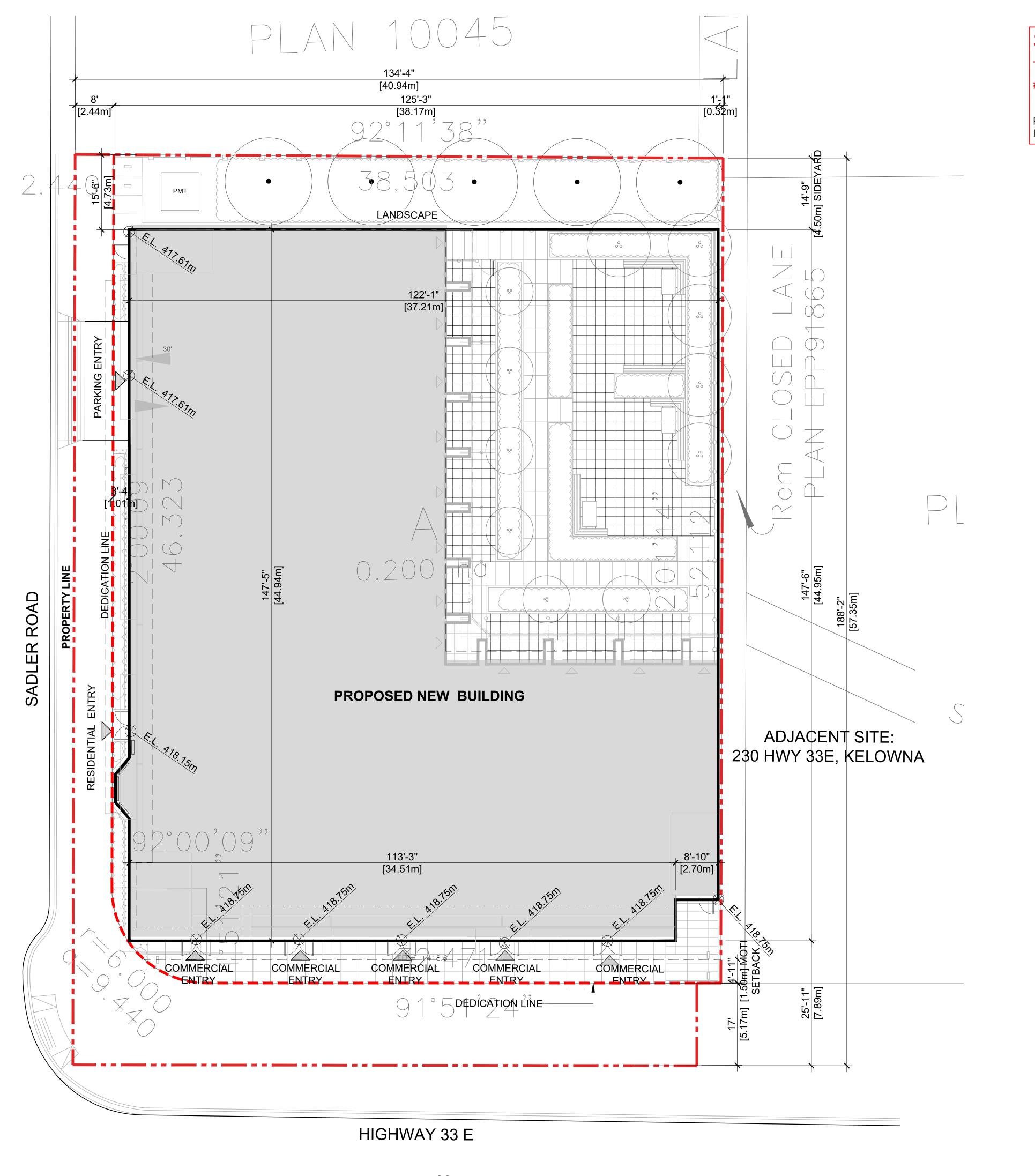
Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

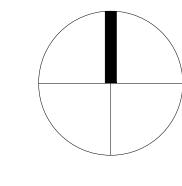
All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.











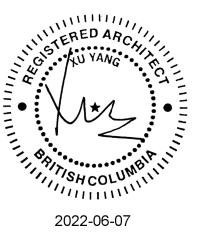
1200 West 73rd Ave (Airport Square)

Vancouver B.C. V6P 6G5

architecture

west

Office: 604 558 3064
Email: info@pwaarchitecture.com
www.pwaarchitecture.com



REVISIONS

ISSUE	ES	DATE
9	REISSUED FOR DP	JUN-06-2022
8	REISSUED FOR DP	MAR-30-2022
7	REISSUED FOR DP	AUG-27-2021
6	REISSUED FOR DP	APR-29-2021
5	REISSUED FOR REZONING AND DP	JAN-07-2020
4	REISSUED FOR REZONING AND DP	OCT-02-2019
3	REISSUED FOR REZONING AND DP	MAY-22-2019
2	REISSUED FOR REZONING AND DP	MAY-01-2018

PROJECT NUMBER	A125
DRAWN BY	WW
CHECKED BY	PY
DATE CHECKED	
CONSULTANT	

FEB-06-2018

1 ISSUED FOR REZONING AND DP

MIXED-USE DEVELOPMENT

HWY 33 & SADLER KELOWNA,B.C.

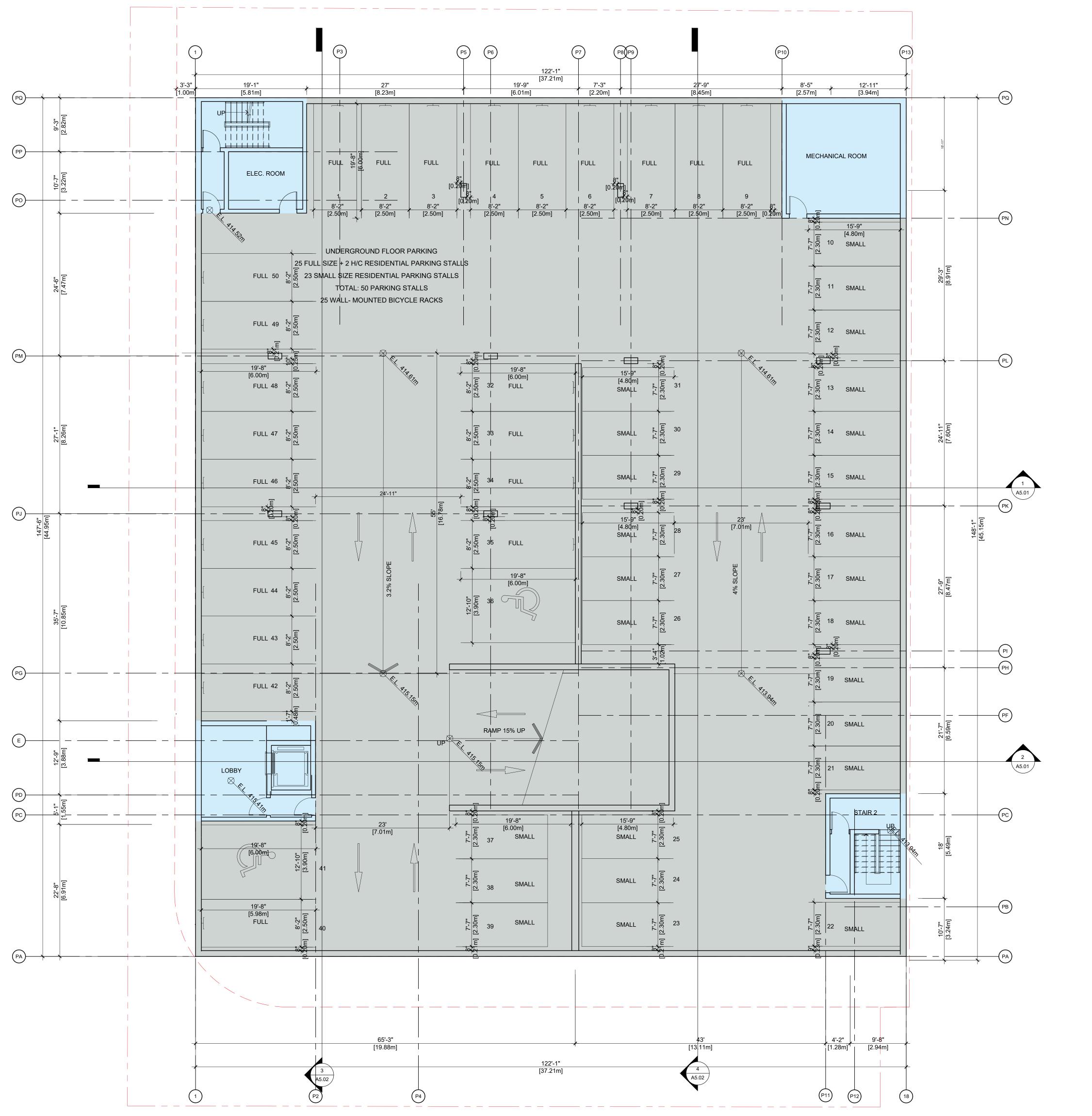
DRAWING TITLE

SITE PLAN AND STATISTICS

DRAWING No.

A1.02





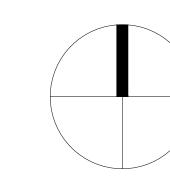


This forms part of application #<u>DP19-0195 DVP19-0196</u>

Planner

Initials MT







pacific west architecture

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

Office: 604 558 3064
Email: info@pwaarchitecture.com
www.pwaarchitecture.com



REVISIONS

9 REISSUED FOR DP JUN-06-2022 8 REISSUED FOR DP MAR-30-2022 AUG-27-2021 7 REISSUED FOR DP 6 REISSUED FOR DP APR-29-2021 5 REISSUED FOR REZONING AND DP OCT-02-2019 4 REISSUED FOR REZONING AND DP 3 REISSUED FOR REZONING AND DP MAY-22-2019 2 REISSUED FOR REZONING AND DP MAY-01-2018

A125 PROJECT NUMBER DRAWN BY WW CHECKED BY

FEB-06-2018

1 ISSUED FOR REZONING AND DP

DATE CHECKED CONSULTANT

**MIXED-USE DEVELOPMENT** 

15(M)

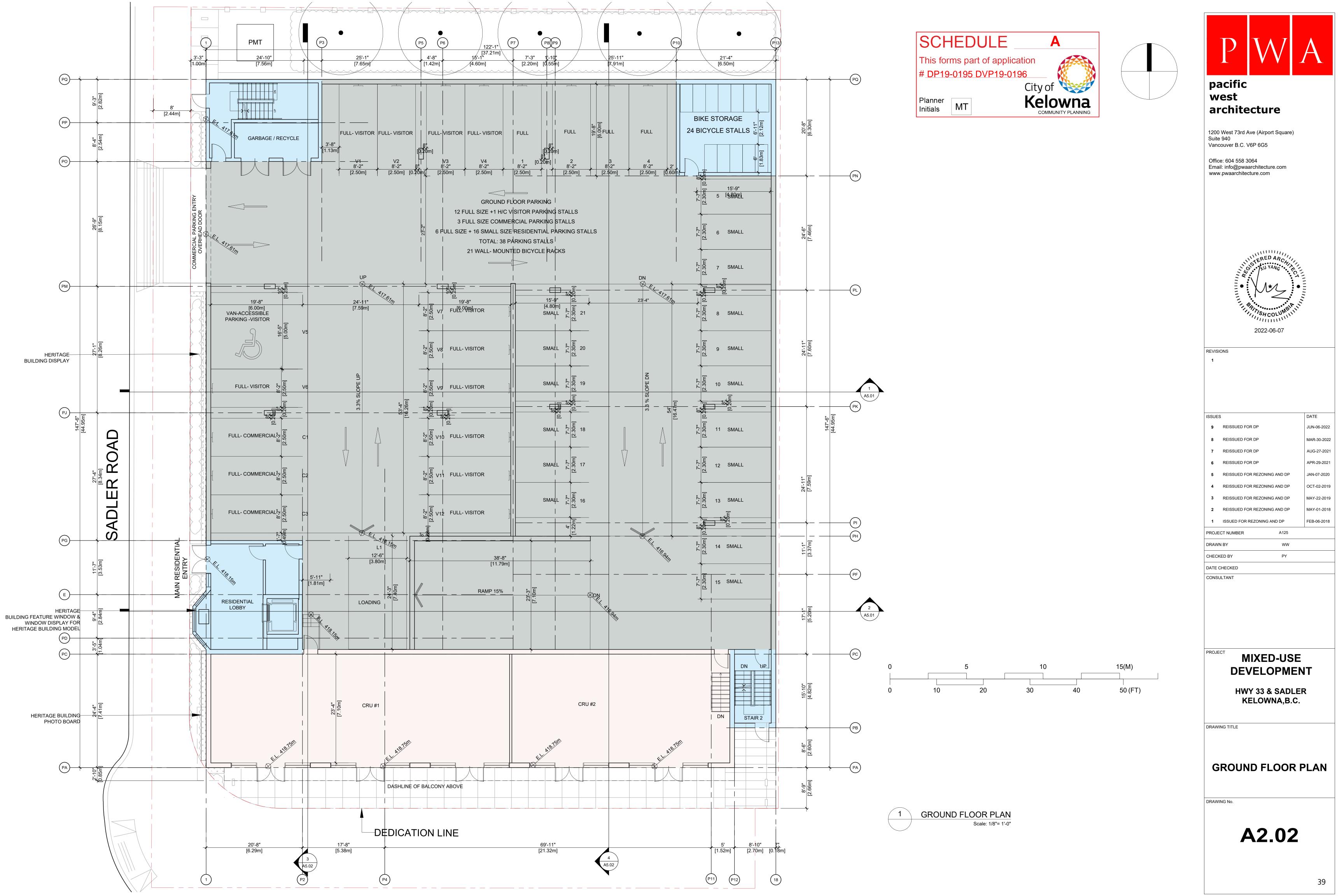
**HWY 33 & SADLER** KELOWNA,B.C.

DRAWING TITLE

UNDERGROUND **FLOOR PLAN** 

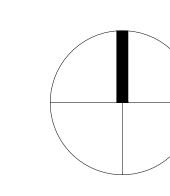
**A2.01** 

UNDERGROUND PARKING PLAN Scale: 1/8"= 1'-0"











pacific west architecture

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

Office: 604 558 3064
Email: info@pwaarchitecture.com
www.pwaarchitecture.com



REVISIONS

9 REISSUED FOR DP JUN-06-2022

8 REISSUED FOR DP MAR-30-2022

7 REISSUED FOR DP AUG-27-2021

6 REISSUED FOR DP APR-29-2021

5 REISSUED FOR REZONING AND DP JAN-07-2020

4 REISSUED FOR REZONING AND DP OCT-02-2019

3 REISSUED FOR REZONING AND DP MAY-22-2019

PROJECT NUMBER A125

DRAWN BY WW

CHECKED BY PY

2 REISSUED FOR REZONING AND DP

1 ISSUED FOR REZONING AND DP

MAY-01-2018

FEB-06-2018

DATE CHECKED

CONSULTANT

MIXED-USE DEVELOPMENT

HWY 33 & SADLER KELOWNA,B.C.

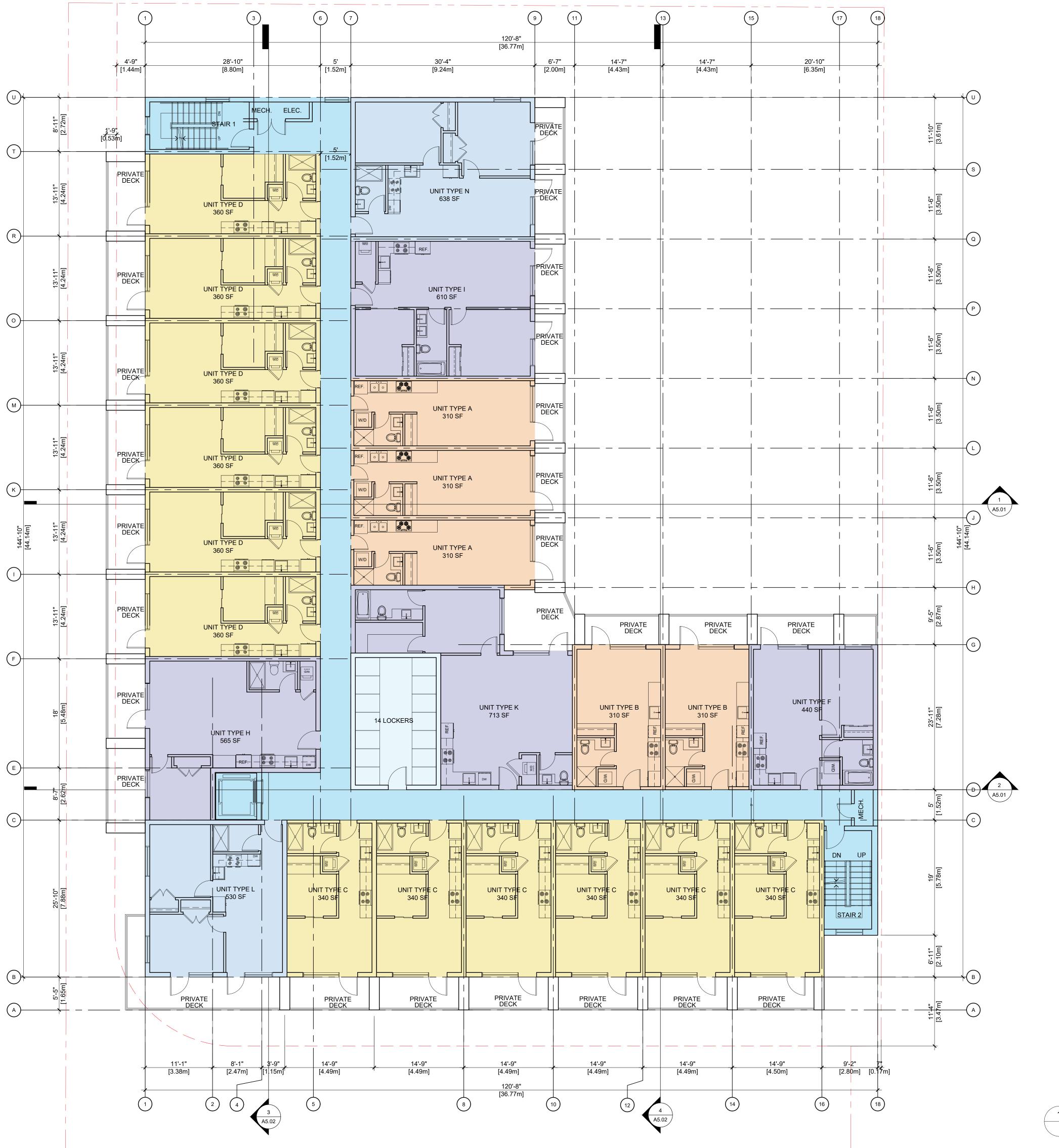
DRAWING TITLE

**2ND FLOOR PLAN** 

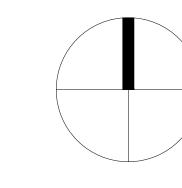
DRAWING No

A2.03

1 2ND FLOOR PLAN
Scale: 1/8"= 1'-0"









pacific west architecture

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

Office: 604 558 3064
Email: info@pwaarchitecture.com
www.pwaarchitecture.com



REVISIONS

9 REISSUED FOR DP JUN-06-2022 8 REISSUED FOR DP MAR-30-2022 7 REISSUED FOR DP AUG-27-2021 6 REISSUED FOR DP APR-29-2021 5 REISSUED FOR REZONING AND DP OCT-02-2019 4 REISSUED FOR REZONING AND DP 3 REISSUED FOR REZONING AND DP MAY-22-2019 MAY-01-2018 2 REISSUED FOR REZONING AND DP 1 ISSUED FOR REZONING AND DP FEB-06-2018

PROJECT NUMBER A125

DRAWN BY WW

CHECKED BY PY

DATE CHECKED

CONSULTANT

MIXED-USE DEVELOPMENT

HWY 33 & SADLER KELOWNA,B.C.

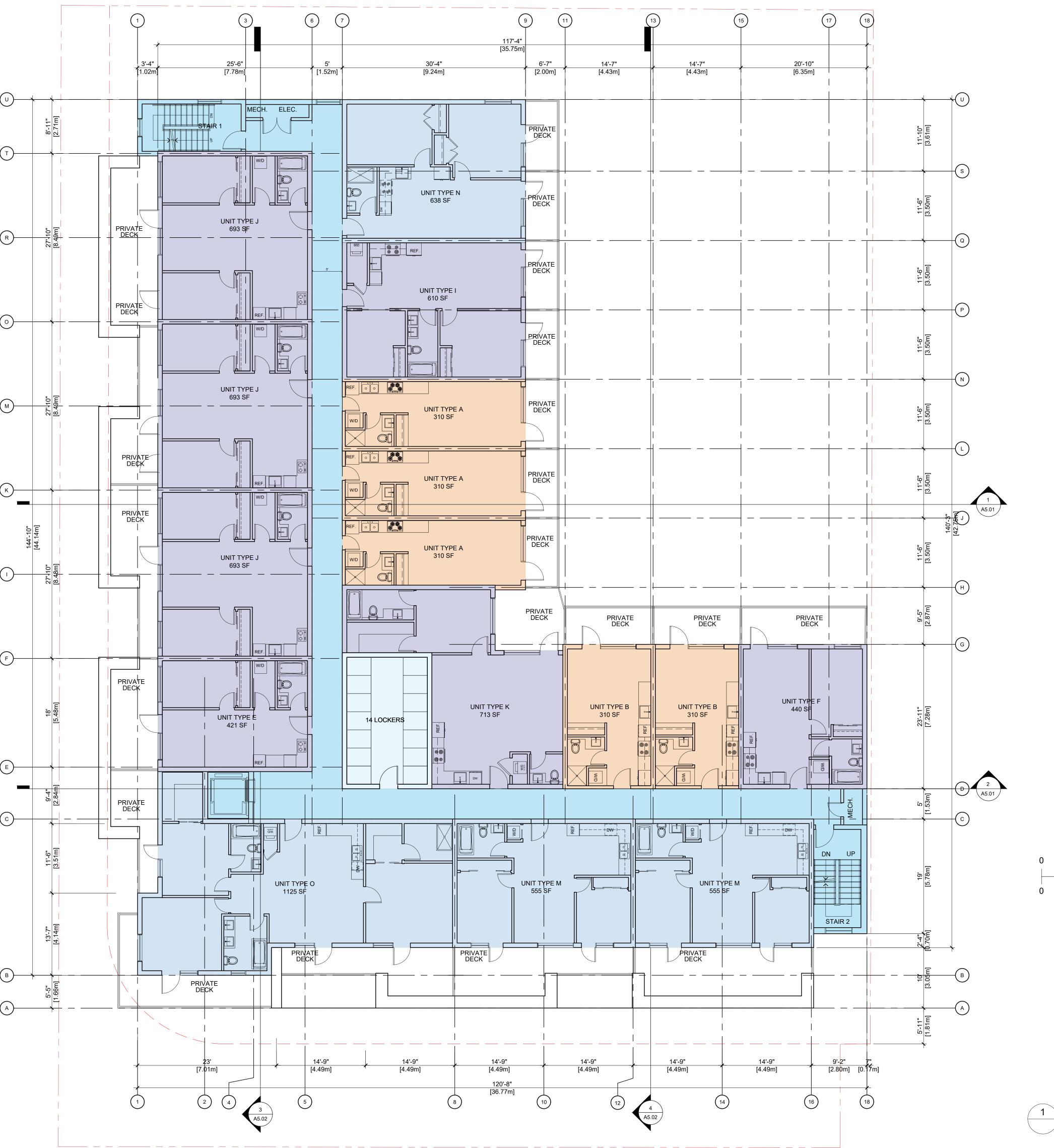
DRAWING TITLE

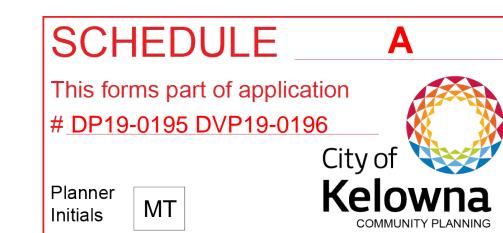
3RD&4TH FLOOR PLAN

DRAWING No.

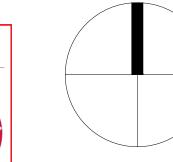
A2.04

1 3RD & 4TH FLOOR PLAN
Scale: 1/8"= 1'-0"





Initials





# pacific west architecture

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

Office: 604 558 3064
Email: info@pwaarchitecture.com
www.pwaarchitecture.com



REVISIONS

9 REISSUED FOR DP JUN-06-2022 8 REISSUED FOR DP MAR-30-2022 7 REISSUED FOR DP AUG-27-2021 6 REISSUED FOR DP APR-29-2021 5 REISSUED FOR REZONING AND DP OCT-02-2019 3 REISSUED FOR REZONING AND DP MAY-22-2019 MAY-01-2018 2 REISSUED FOR REZONING AND DP

FEB-06-2018

A125 WW DRAWN BY CHECKED BY DATE CHECKED

1 ISSUED FOR REZONING AND DP

CONSULTANT

**MIXED-USE DEVELOPMENT** 

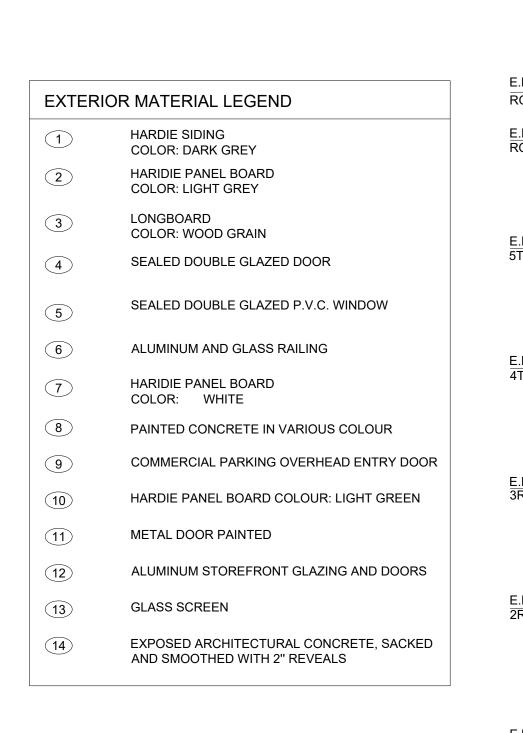
> **HWY 33 & SADLER** KELOWNA,B.C.

DRAWING TITLE

**5TH FLOOR PLAN** 

A2.05

5TH FLOOR PLAN Scale: 1/8"= 1'-0"



B

SCHEDULE

Planner Initials

This forms part of application

#<u>DP19-0195 DVP19-0196</u>



1 WEST ELEVATION
Scale: 1/8"= 1'-0"

Scale: 1/8"= 1'-0"



# P W A

pacific west architecture

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

Office: 604 558 3064 Email: info@pwaarchitecture.com www.pwaarchitecture.com



REVISIONS

ISSUE	S	DATE
9	REISSUED FOR DP	JUN-06-2022
8	REISSUED FOR DP	MAR-30-2022
7	REISSUED FOR DP	AUG-27-2021
6	REISSUED FOR DP	APR-29-2021
5	REISSUED FOR REZONING AND DP	JAN-07-2020
4	REISSUED FOR REZONING AND DP	OCT-02-2019
3	REISSUED FOR REZONING AND DP	MAY-22-2019
2	REISSUED FOR REZONING AND DP	MAY-01-2018
1	ISSUED FOR REZONING AND DP	FEB-06-2018

PROJECT NUMBER A125

DRAWN BY WW

CHECKED BY PY

DATE CHECKED

CONSULTANT

MIXED-USE DEVELOPMENT

HWY 33 & SADLER KELOWNA,B.C.

DRAWING TITLE

BUILDING ELEVATION-PROPOSED

RAWING No.

A4.01



SOUTH ELEVATION

Scale: 1/8"= 1'-0"

#\_DP19-0195 DVP19-0196

МТ

Planner Initials City of Kelowna COMMUNITY PLANNING 1 7 12 5 6 10 4 2 11 E.L. 435.29m ROOF PEAK E.L. 434.07m ROOF E.L. 431.33m 5TH FLOOR E.L. 428.28m 4TH FLOOR E.L. 425.23m 3RD FLOOR E.L. 422.18m 2RD FLOOR SIGNAGE SIGNAGE SIGNAGE E.L. 418.75m GF - CRU 

P W A

pacific west architecture

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

Office: 604 558 3064 Email: info@pwaarchitecture.com www.pwaarchitecture.com



REVISIONS

ISSUES		DATE
9	REISSUED FOR DP	JUN-06-2022
8	REISSUED FOR DP	MAR-30-2022
7	REISSUED FOR DP	AUG-27-2021
6	REISSUED FOR DP	APR-29-2021
5	REISSUED FOR REZONING AND DP	JAN-07-2020
4	REISSUED FOR REZONING AND DP	OCT-02-2019
3	REISSUED FOR REZONING AND DP	MAY-22-2019
2	REISSUED FOR REZONING AND DP	MAY-01-2018 FFB-06-2018
1	1990ED FOR KEZONING AND DP	FEB-00-2018

A125

DRAWN BY WW

CHECKED BY PY

DATE CHECKED

CONSULTANT

PROJECT NUMBER

MIXED-USE
DEVELOPMENT

HWY 33 & SADLER KELOWNA,B.C.

DRAWING TITLE

BUILDING ELEVATION-PROPOSED

DRAWING No.

A4.02

,













HARDIE PANEL BOARD COLOUR: WHITE





P W A

pacific west architecture

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

Office: 604 558 3064 Email: info@pwaarchitecture.com www.pwaarchitecture.com



REVISIONS

ISSUESDATE9REISSUED FOR DPJUN-06-20228REISSUED FOR DPMAR-30-20227REISSUED FOR DPAUG-27-20216REISSUED FOR DPAPR-29-20215REISSUED FOR REZONING AND DPJAN-07-20204REISSUED FOR REZONING AND DPOCT-02-20193REISSUED FOR REZONING AND DPMAY-22-20192REISSUED FOR REZONING AND DPMAY-01-20181ISSUED FOR REZONING AND DPFEB-06-2018

A125

DRAWN BY WW
CHECKED BY PY

DATE CHECKED

CONSULTANT

PROJECT NUMBER

MIXED-USE DEVELOPMENT

HWY 33 & SADLER KELOWNA,B.C.

DRAWING TITLE

**RENDERINGS** 

DRAWING N

A6.01





pacific west architecture

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

Office: 604 558 3064
Email: info@pwaarchitecture.com
www.pwaarchitecture.com



REVISION

ISSUES	S	DATE
9	REISSUED FOR DP	JUN-06-202
8	REISSUED FOR DP	MAR-30-202
7	REISSUED FOR DP	AUG-27-202
6	REISSUED FOR DP	APR-29-202
5	REISSUED FOR REZONING AND DP	JAN-07-2020
4	REISSUED FOR REZONING AND DP	OCT-02-201
3	REISSUED FOR REZONING AND DP	MAY-22-201
2	REISSUED FOR REZONING AND DP	MAY-01-201
		l

1 ISSUED FOR REZONING AND DP

PROJECT NUMBER A125

DRAWN BY WW

CHECKED BY PY

DATE CHECKED

CONSULTANT

MIXED-USE DEVELOPMENT

HWY 33 & SADLER KELOWNA,B.C.

DRAWING TITLE

RENDERINGS

DRAWING

A6.02

46

# DEVELOPMENT PERMIT NOTES:

- A PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARDS, PUBLISHED BY C.L.N.A. AND C.S.L.A. AS WELL AS THE CITY OF KELOWNA LANDSCAPE STANDARDS IN BYLAW 7900.
- B THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM CITY OF KELOWNA FORM AND CHARACTER REQUIREMENTS
- C PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY AT THE TIME OF CONSTRUCTION.
- D TREES SHALL BE INSTALLED IN DEFINED SOIL PITS OR PLANTING BED AREAS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION.
- E ORNAMENTAL SHRUB, GRASS AND PERENNIAL CLUSTERS ARE TO BE PLACED WITHIN DEFINED PLANTING BEDS. ALL PLANTING BEDS SHALL HAVE A MIN. OF 450mm (18") IMPORTED GROWING MEDIUM AND 75mm (3") OF COMPOSTED MULCH OR APPROVED EQUAL.
- F ROCK MAINTENANCE EDGE AREAS SHALL HAVE A MIN. OF 75mm (3") OF DECORATIVE CRUSHED ROCK. COMMERCIAL GRADE LANDSCAPE FABRIC SHALL BE INSTALLED BELOW W/ AN ALUMINUM EDGE RESTRAINT.

G TURF AREAS SHALL BE LOW WATER USE 'NO. 1 PREMIUM' SOD WITH A MIN, OF 150mm (6") IMPORTED

GROWING MEDIUM

H A HIGH EFFICIENCY IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL ORNAMENTAL LANDSCAPE

AREAS AND SHALL CONFORM TO THE CITY OF KELOWNA'S IRRIGATION STANDARDS IN BYLAW 7900.

# SCHEDULE

MT

This forms part of application # DP19-0195 DVP19-0196

Planne Initials



# LEGEND:



ORNAMENTAL DECIDUOUS TREES



C.I.P. CONRETE W/ SAWCUTS



PEDESTAL PAVERS ON SLAB



ROCK MULCH MAINTENANCE EDGE











PARKADE ENTRANCE / EXIT



LI ENTRANCE / EXIT



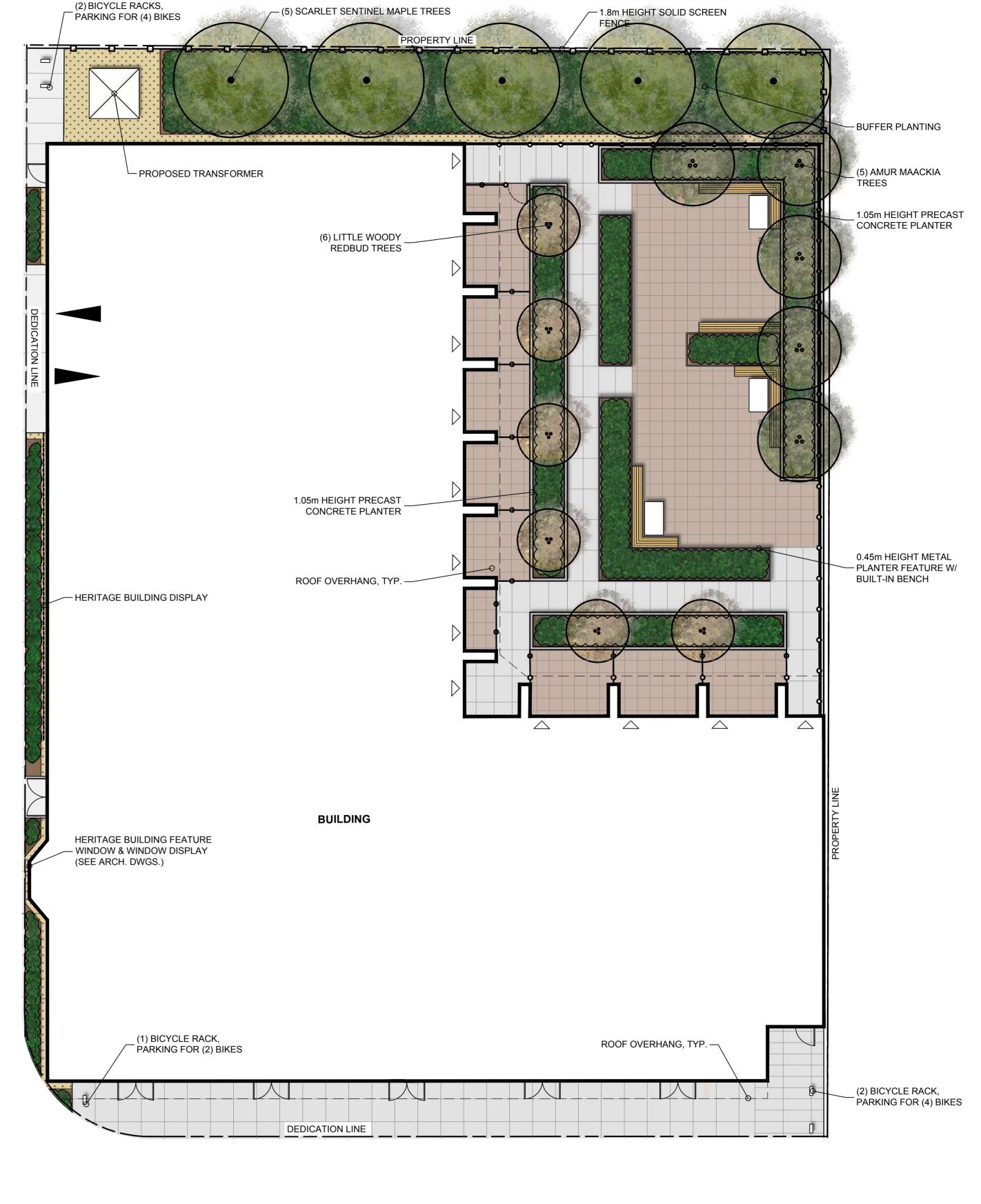
L2 ENTRANCE / EXIT

# CHARACTER IMAGE:



ROOF DECK PLANTER W/ BENCH PRECEDENT

TREES			
Botanical Name	Common Name	Size/Spacing	Root
Acer rubrum 'Scarsen'	Scarlet Sentinel maple	6cm Cal.	B&B
Cercis canadensis 'Little Woody'	Little Woody redbud	1.8m Ht.	B&B
Maackia amurensis	Amur maackia	6cm Cal.	B&B
SHRUBS			
Botanical Name	Common Name	Size/Spacing	Root
Buxus 'Green Velvet'	Green Velvet boxwood	#02 Cont./1.0m O.C.	Potted
Cornus sericea 'Kelseyi'	Kelsey dogwood	#02 Cont./0.75m O.C.	Potted
Mahonia aquifolium	Oregon grape holly	#02 Cont./1.0m O.C.	Potted
Ribes alpinum	Alpine currant	#02 Cont./1.2m O.C.	Potted
Spiraea japonica 'Goldflame'	Goldflame Japanese spirea	#02 Cont./1.0m O.C.	Potted
PERENNIALS			
<b>Botanical Name</b>	Common Name	Size/Spacing	Root
Astilbe 'Red Sentinel'	Red Sentinel Japanese astilbe	#01 Cont./0.45m O.C.	Potted
Bergenia cordifolia	Heartleaf bergenia	#01 Cont./0.45m O.C.	Potted
Helleborous 'Ivory Prince'	Christmas rose	#01 Cont./0.45m O.C.	Potted
Rubeckia fulgida 'Goldsturm'	Goldsturm coneflower	#01 Cont./0.9m O.C.	Potted
GRASSES			
Botanical Name	Common Name	Size/Spacing	Root
Calamagrostis brachytricha	Korean feather reed grass	#01 Cont./0.6m O.C.	Potted
Miscanthus 'Purpurascens'	Orange flame grass	#01 Cont./0.75m O.C.	Potted
Miscaritius Furpurascens	Orange name grass	1101 00111, 017 0111 010.	. 0000



9 JUN 07/22 REISSUED FOR DP APPLICATION

8 APR 14/22 REISSUED FOR DP APPLICATION

REVISIONS / ISSUED:

COPYRIGHT RESERVED. THIS DRAWING AND DESIGN IS AT ALL TIMES THE PROPERTY OF BENCH SITE DESIGN INC. AND CANNOT BE USED WITHOUT THE COMPANY'S WRITTEN CONSENT.

NORTH

8 APR 14/22 REISSUED FOR DP APPLICATION

7 AUG REISSUED FOR DP APPLICATION

6 MAY 26/20 REISSUED FOR DP APPLICATION

5 MAY ISSUED FOR REVIEW

4 OCT 03/19 REISSUED FOR DP APPLICATION

3 JAN ISSUED FOR COORDINATION

3 JAN ISSUED FOR COORDINATION
2 JAN REISSUED FOR REVIEW
1 DEC ISSUED FOR REVIEW
NO. DATE DESCRIPTION

| 4-1562 Water Street, Kelowna BC VIY 1J7 | | † 250 860 6778 |

UNIK-TOWN
DEVELOPMENT INC.

VANCOUVER, B.C.

PROJECT:

MIXED-USE

DEVELOPMENT

HIGHWAY 33 & SADLER ROAD

KELOWNA, B.C.

SHEET TITLE

LANDSCAPE

PLAN

DESIGN BY
LS
DRAWN BY
LS
CHECKED BY
XS
PROJECT NO. 17-040
SCALE 1:125

SHEET NO.

L-1



This forms part of application

# DP19-0195 DVP19-0196

City of

Planner Initials

MT

Kelowna

COMMUNITY PLANNING

Pacific West Architecture Inc.

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

Office: 604 558 3064 Cell: 604 616 7892 www.pwaarchitecture.com June 9, 2022

Re : Mixed-Use Development 180 &190 Hwy 33 E, 145 Sadler Rd

**Design Rationale** 

Pacific West Architecture Inc. is pleased to submit our Development Permit, Development Variance Permit applications for a mixed-use building to the City of Kelowna.

The site is located in Rutland Urban Centre area and at the intersection of Hwy 33 E and Sadler Road. It consists of 3 lots that total approximately 0.23ha (2,343 m2). The property is currently zoned RU1 and RU6. The property is adjacent to C3 to the east, C4 to the west, RU1 to the north, C4 and RM3 to the south.

84 residential units for sale have been proposed together with 2,574 sq.ft. of commercial space on the street level. The building height is 5 storey. The parking spaces are provided within the building on the ground floor behind the commercial spaces and basement floor. The multifamily units are located on upper levels in studio, one-bedroom, two-bedroom and three-bedroom configurations. The amenities include a common room, locker rooms, lobby etc. A large roof patio at second floor has been provided to all residence of the building.

The apartment main entry is facing Sadler road. The inclusion of commercial space at grade encourages pedestrian activities and visual interest along Hwy 33 E. The orientation of the buildings on the site creates strong street frontages on both Hwy 33 E and Sadler Road.



ATTACHMENT B

This forms part of application

# DP19-0195 DVP19-0196

City of

Planner Initials

MT

Kelowna COMMUNITY PLANNING

Pacific West Architecture Inc.

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

Office: 604 558 3064 Cell: 604 616 7892 www.pwaarchitecture.com

## **Unit Composition**

This project includes bachelor, 1-bedroom, 2-bedroom and 3-bedroom units to appeal to a broader community need. To adhere with the Kelowna Housing Needs assessment which is trying to address the 'missing middle' by including larger suites suited to families, 9 2-bedroom and 3-bedroom units have been incorporated in the design to address the 'missing middle' by including larger suites suited to families. The Micro Suite number has been reduced significantly from the previous proposal.

# **Heritage Consideration**

There is a one and a half storey wood frame heritage house on the site, which we were working with a heritage consultant to determine the best way to incorporate it in the site's new design. Unfortunately, a fire broke out in the building in October 2020, which resulted in serious damage to the building, particularly the eastern and southern sides, including the original porch. After careful consideration and consultation with a structural engineer and our heritage consultant, it was determined that our original plan for the heritage building is no longer viable due to the damage to the fabric of the building. However, since the western side was not as badly damaged, the original plan of preserving the prominent western bay window will be incorporated in the new design to commemorate and celebrate the Sproul Farm House. In this revised plan, the iconic western bay window remains largely in its current location in its original orientation and provides a place to showcase an architectural model of the Sproul Farm House, as part of the proposed site interpretation. We will continue working with our heritage consultant to document and tell the story of the Sproul Farm House, which will be achieved using wall murals and well-illustrated interpretive panels to ensure the story of this place is properly acknowledged and celebrated.





Pacific West Architecture Inc.

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

Office: 604 558 3064 Cell: 604 616 7892 www.pwaarchitecture.com

## **Building Form, Character and Landscape**

This building is contemporary style incorporating a flat roof, generous balconies and large frame windows with solar shading. The 5th floor has set back to mitigate the visual impact. The exterior is finished with cement siding, cement board, long board and metal glass railing. Elements will be durable and simple in a modern manner by using the material textures and color to reflect the heritage house. The overall interplay of shapes, proportions, durable materials and varied colours provides enduring interest to the facades and roof-lines.

The objective of the landscape design for the Sadler Road mixed-used development is to create comfortable, functional outdoor spaces for residential tenants and commercial unit occupants while providing privacy for the neighbouring single-family residential property to the north. Trees line the south edge of the property. Bike racks are installed in several locations to allow cyclists to park with ease before entering one of the various entry points to the street-level commercial spaces. On the second floor, an outdoor amenity space creates opportunities for residents to sit outside, dine, socialize, and study. Trees and benches are placed strategically to provide a variety of sunny and shady seating options throughout the day and year.

#### **Variances**

There is a 5.172m road dedication along Highway 33 E with additional 1.5m setback based on MOTI's requirement. On the west side, 2.44m road dedication is required along Sadler Road. The overall dedication and additional setback area is about 17% of overall site area. To achieve the proposed parking and FSR of this project, the variances to the following sections of Zoning Bylaw No. 8000 are required:

- To vary the setback north side yard from 8.71m to 4.5m
- To vary building height from 15m/4 storey to 17.7m/5 storey
- To vary 5th Floor setback at the west portion of the building from 3m to 1m, the east portion of the building from 3m to 0m.
- To vary functional commercial space along the secondary street from 75% to 16.48%





Pacific West Architecture Inc.

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

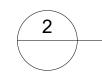
Office: 604 558 3064 Cell: 604 616 7892 www.pwaarchitecture.com

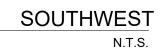
# **Summary**

We believe the proposed form of development is consistent with the City's OCP and general goal of increasing density in Rutland Urban Centre area. It would add 84 units and locate its residents within walking/biking distance of school, shopping and services. The development of this site adds many types of new homes to meet a broader community needs. The development will achieve an aesthetically beautiful building that suits the Kelowna housing needs, while reflecting the heritage of this site. The applicant kindly seeks support from Staff and Council for this application.















SOUTHWEST N.T.S.





pacific west architecture

1200 West 73rd Ave (Airport Square) Suite 940 Vancouver B.C. V6P 6G5

Office: 604 558 3064 Email: info@pwaarchitecture.com www.pwaarchitecture.com





9 REISSUED FOR DP JUN-06-2022 8 REISSUED FOR DP MAR-30-2022 7 REISSUED FOR DP AUG-27-2021 6 REISSUED FOR DP APR-29-2021 4 REISSUED FOR REZONING AND DP 3 REISSUED FOR REZONING AND DP MAY-22-2019 2 REISSUED FOR REZONING AND DP 1 ISSUED FOR REZONING AND DP FEB-06-2018

A125 PROJECT NUMBER DRAWN BY WW CHECKED BY DATE CHECKED

CONSULTANT

PROJECT **MIXED-USE DEVELOPMENT** 

HWY 33 & SADLER KELOWNA,B.C.

DRAWING TITLE

**3D VIEWS** 

DRAWING No.

A6.03





Katie Cummer, PhD CAHP 706, 838 Broughton Street Victoria, BC, V8W 1E4 (778) 678 1913

November 13, 2019

City of Kelowna 1435 Water Street Kelowna, BC V1Y 1J4

RE: Heritage-related brief in relation to the proposed redevelopment of 180 Hwy 33 E

This letter provides my professional perspective on the proposed redevelopment of the Sproul Farm House and its heritage-related design going forward. I was the heritage consultant who conducted the re-assessment of the site in July 2018 and helped present to the City of Kelowna Heritage Committee in August 2018 about de-registering the house from Kelowna's Heritage Register. I am now working with the team to help ensure their updated proposal respects the heritage place as much as possible, while still allowing their new development to provide needed amenities for the community.

The house located at 180 Hwy 33 E, known as the Sproul Farm House on the Heritage Register, is a one and a half storey wood frame construction dating from 1906. Formally recognized in 2001, it was then listed on the Canadian Register of Historic Places in 2009. As articulated in my original assessment of the structure and as stated at the Heritage Committee Meeting, I have some doubts as to the original assessment of the site, which was conducted during a time of more limited research capabilities. It looks as though some of the articulated significance (specifically Enoch Mugford's supposed 55 years' association with the place) was misattributed to this structure from another one formally on the site and already since demolished (Cummer 2018 pp. 4-8). No matter the inaccuracy, this is not to say that the site is entirely insignificant, simply that it is perhaps not as significant as originally assessed.

No matter the historical associations, it is one of the few remaining early 20<sup>th</sup> century structures of the Rutland area and among a rare stock of pre-World War 1 housing. However, being one of the oldest surviving structures does not necessarily give a place greater significance. Tangibly, the structure is in fair condition, having not been particularly well maintained and now deteriorating further being left vacant. It has also undergone changes and updates over the years that have compromised the integrity of the building.

However, that is not to say that the Sproul Farm House is unsalvageable or without significance. In fact, its intangible elements seem to be a key importance of the place. In particular, its location in Rutland and its historical associations with the pioneering Sproul brothers and the prominent local builder M.J. Curts. These are important intangible elements of the building that are worth celebrating and promoting, and which can continue to be done through thorough documentation, thoughtful on-site interpretation and selective preservation of the historic structure and fabric.

In particular, in preserving two of its façades, the prominent western and southern facing ones (Figs. 1 and 2 respectively), a key Character Defining Element can be preserved. Specifically, its form, which "is representative of the straightforward, vernacular farmhouses of the day, one-and-one-half storeys high with a gabled roof facing the street, gabled dormers on the side, and a broad porch" (City of Kelowna n.d.).





Figs. 1 and 2: Fig. 1 (left) shows the western façade of 180 Hwy 33 E and Fig. 2 (right) shows the southern façade of 180 Hwy 33 E, with the currently enclosed front porch visible, which will be restored as part of this project. (Source: John Douglas, 2018)

Moving the house to the southeast corner of the property and rotating it 45 degrees, allows the most prominent sides to be preserved and better showcased from the main thoroughfare. This provides a valuable reminder of the former streetscape and allows the house to be foregrounded rather than hidden in its current location at the northwest corner, behind and beside the proposed new development. It is also proposed to re-open the porch and make this a usable outdoor space once more and to ensure the iconic bay window continues to be a functioning window, rather than a false one.

Looking through the Character Defining Elements (CDEs) listed in the Statement of Significance for the place, through this proposed functional facadism, the vast majority of the CDEs can be restored and preserved:

- Several mature trees in front and side yards As outlined in my original assessment through comparative aerial photography, unfortunately, most of the mature trees onsite were cut down between 2012 and 2017 (Cummer 2018, p. 11). It has been articulated to me that the two remaining trees on-site appear unwell and are a potential hazard going forward. It is recommended to have an arborist on-site to conduct an inspection to confirm this. However, if hazardous, it seems defensible and logical to have them removed, despite their significance.
- Residential form, scale and massing, expressed by 1 and 1/2 storey height and rectangular plan
- Medium-pitch gable roof with 2 secondary cross-gables
- Street elevation has full-width open porch with repetitive, evenly-spaced painted wood columns
- -Corbelled brick chimney Considering the chimney position and typical construction methods, in moving the house and preserving the two façades, it is not possible to retain this CDE, however, it will be thorough documented prior to the house relocation.
- Narrow V-joint horizontal wood siding
- Wood shingles in upper part of main gables
- 1-over-1 double-hung wood sash windows on the upper floor, with plain wood trim

(City of Kelowna n.d.)



The conservation objectives for this building are selective preservation, restoration and rehabilitation. As defined by the Standards and Guidelines for the Conservation of Historic Places in Canada (2<sup>nd</sup> edition):

*Preservation:* The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.

Restoration: The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of an historic place or of an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

(Canada's Historic Places 2010, p. 255)

Specifically: Preservation of the gables and windows; restoration of the front porch by removing the more recent materials used to close it in; and rehabilitation of the wood siding and shingles.

A Heritage Conservation Plan will be composed to outline and guide all of the conservation work to be done on the house, prior to relocation. Currently, the house has been fully boarded up due to vagrants repeatedly breaking into it; an ongoing threat to the heritage building, the longer it is left as such. On account of its current state and condition, it is difficult to appreciate what is possible with the internal space. However, once the house has been cleaned out and thoroughly documented, it will be determined whether any of the interior space can be preserved as well, such as the original flooring. This will be outlined in full in the Heritage Conservation Plan, which will also guide the on-going maintenance of the property.

Of course, in the heritage conservation field, facadism is a somewhat polarizing approach (Vancouver Heritage Foundation 2013). There are those who vehemently oppose its use and others that understand that compromise is sometimes needed, particularly when a structure cannot be preserved in full (Bargery 2005). There are numerous modern, Canadian examples where a compromise has been needed on account of a building's condition, such as the current largescale project in the provincial capital with the Customs House site redevelopment in Victoria, BC. There are and will continue to be critics of this approach, but unfortunately, sometimes pragmatism is needed over idealism.

In the case of this project, in preserving the two façades, one could argue that the majority of what has been visible from the street for over a century is being preserved and allowing for the continuation of this community landmark. It is also providing the opportunity for certain key elements to be restored, in particular, the characteristic wood siding and shingles as well as the porch, which was closed in at some point in the last fifteen years. If anything, this project is allowing the Sproul Farm House to be refreshed and given a new lease of life. This is particularly the case if the developers are able to incorporate the porch into a functional, usable space for the community as an attachment to an interior space, allowing this Character Defining Element to be restored and accessible to the public for the first time in its history. As eloquently stated by Robert Bargery, the former Head of Policy and Research at the Commission for Architecture and the Built Environment in the UK:

If the facade really is all that can stay, we might insist on the new building being properly related to and integrated with the retained facade, correctly-placed cross-walls included. Facadism works least well when windows evidently lead through to nothing, when their lack of relationship to anything behind them is betrayed by mirror glass, or blanked-out windows, or even a view of the sky. It is an unhappy compromise, but perhaps in future we should seek to avoid it by keeping more, not less, of the historic building.

(Bargery 2005)

To help guide this delicate process forward, I will continue working with the developer team to ensure the heritage place is properly protected and respected going forward. In particular, I will be conducting a thorough documentation of the place, prior to it being moved and reoriented on site, to ensure there is a complete record of the house in its entirety. As mentioned above, I will also be drafting a Heritage Conservation Plan to guide the work on the property, including its ongoing maintenance after the project is completed. There has also been discussion of recruiting a Heritage Monitor to keep track of the work on site more closely than I am able to from this distance. I am happy to work this individual, outlining the areas to be monitored, in addition to conducting site-visits, as needed. Lastly, I will also be drafting the interpretative panels for the on-site interpretation of the former Sproul Farm House, helping to share the story of this heritage place so that its legacy can continue and be appreciated.

I hope this helps to provide some context from a professional perspective in relation to the proposed redevelopment of 180 Hwy 33 E. If you have any further questions or would like me to clarify anything, please feel free to contact me at <a href="mailto:kcummer@gmail.com">kcummer@gmail.com</a>.

Thank you for your time and consideration.

Sincerely,

Katie Cummer, PhD CAHP

Principal, Cummer Heritage Consulting



### <u>References</u>

- Bargery, Robert. "The Ethics of Facadism: Pragmatism Versus Idealism." The Building Conservation Directory, 2005.

  http://www.buildingconservation.com/articles/facadism/facadism.htm
- Canada's Historic Places. Standards and Guidelines for the Conservation of Historic Places in Canada (Second Edition). 2010. <a href="https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf">https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf</a>.
- City of Kelowna. "Heritage Register: Sproul Farm House." No date (n.d.). Online resource: <a href="https://www.kelowna.ca/our-community/arts-culture-heritage/heritage/heritage-register/sproul-farm-house">https://www.kelowna.ca/our-community/arts-culture-heritage/heritage/heritage-register/sproul-farm-house</a>.
- Cummer, Katie. Heritage Assessment and Evaluation: 180 Hwy 33 E, Kelowna BC. Victoria, BC: Cummer Heritage Consulting, 2018.
- Vancouver Heritage Foundation. "Facadism as a Heritage Strategy." Spacing Vancouver, March 26, 2013.
  - http://spacing.ca/vancouver/2013/03/26/facadism-as-a-heritage-strategy/

# FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

**Chapter 2 - The Design Foundations :** apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines: provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

 The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

# Chapter 2 - Design Foundations Apply To All Projects Page 18-8

Section 2.1 - General Residential and Mixed Use Design Guidelines
Page 18-9

Section 2.2 - Achieving High Performance Page 18-17

Chapter 3
Townhouses & Infill

Page 18-19

Chapter 4 Low & Mid-Rise Residential & Mixed Use

Page 18-34

Chapter 5 High-Rise Residential & Mixed Use

Page 18-42

<sup>\*</sup>Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

	SECTION 2.0: GENERAL RESIDENTIAL AND MIX	KED US	SE				
	TE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
	s least complying & 5 is highly complying)						
	General residential & mixed use guidelines		1	1			
2.1	1 Relationship to the Street	N/A	1	2	3	4	5
a.	1 / 3						<b>✓</b>
	or open space to create street edge definition and activity.						
b.	On corner sites, orient building facades and entries to both					✓	
	fronting streets.						
c.	Minimize the distance between the building and the sidewalk to						✓
	create street definition and a sense of enclosure.						
d.	Locate and design windows, balconies, and street-level uses to				✓		
	create active frontages and 'eyes on the street', with additional						
	glazing and articulation on primary building facades.						
e.	Ensure main building entries are clearly visible with direct sight						✓
	lines from the fronting street.						
f.	Avoid blank, windowless walls along streets or other public open					✓	
	spaces.						
g.	Avoid the use of roll down panels and/or window bars on retail and						✓
	commercial frontages that face streets or other public open						
	spaces.						
h.	In general, establish a street wall along public street frontages to						✓
	create a building height to street width ration of 1:2, with a						
	minimum ration of 1:3 and a maximum ration of 1:1.75.						
•	Wider streets (e.g. transit corridors) can support greater streetwall						
	heights compared to narrower streets (e.g. local streets);						
•	The street wall does not include upper storeys that are setback						
	from the primary frontage; and						
•	A 1:1 building height to street width ration is appropriate for a lane						
	of mid-block connection condition provided the street wall height						
	is no greater than 3 storeys.						
2.1	2 Scale and Massing	N/A	1	2	3	4	5
a.	Provide a transition in building height from taller to shorter	,, .	_	_		<b>T</b>	√
۵.	buildings both within and adjacent to the site with consideration						
	for future land use direction.						
b.	Break up the perceived mass of large buildings by incorporating					<b>√</b>	
~.	visual breaks in facades.						
C.	Step back the upper storeys of buildings and arrange the massing			<del>                                     </del>		<b>√</b>	
٠.	and siting of buildings to:						
•	Minimize the shadowing on adjacent buildings as well as public						
	and open spaces such as sidewalks, plazas, and courtyards; and						
•	Allow for sunlight onto outdoor spaces of the majority of ground						
	floor units during the winter solstice.						
	noor office dorling the winter solutice.						



2 1	.3 Site Planning	N/A	1	2	2	1.	Е
a.	Site and design buildings to respond to unique site conditions and	N/A   ✓	_		3	4	5
a.	opportunities, such as oddly shaped lots, location at prominent	ľ					
	intersections, framing of important open spaces, corner lots, sites						
	with buildings that terminate a street end view, and views of						
	natural features.						<b>✓</b>
b.	Use Crime Prevention through Environmental Design (CPTED)						•
	principles to better ensure public safety through the use of						
	appropriate lighting, visible entrances, opportunities for natural						
	surveillance, and clear sight lines for pedestrians.						
C.	Limit the maximum grades on development sites to 30% (3:1)						<b>√</b>
d.	Design buildings for 'up-slope' and 'down-slope' conditions						✓
	relative to the street by using strategies such as:						
•	Stepping buildings along the slope, and locating building						
	entrances at each step and away from parking access where						
	possible;						
•	Incorporating terracing to create usable open spaces around the						
	building						
•	Using the slope for under-building parking and to screen service						
	and utility areas;						
•	Design buildings to access key views; and						
•	Minimizing large retaining walls (retaining walls higher than 1 m						
•	should be stepped and landscaped).						
	· · · · · · · · · · · · · · · · · · ·	<b>√</b>					
e.	Design internal circulation patterns (street, sidewalks, pathways)	•					
	to be integrated with and connected to the existing and planed						
	future public street, bicycle, and/or pedestrian network.						
f.	Incorporate easy-to-maintain traffic calming features, such as on-						✓
	street parking bays and curb extensions, textured materials, and						
	crosswalks.						
g.	Apply universal accessibility principles to primary building entries,						<b>✓</b>
	sidewalks, plazas, mid-block connections, lanes, and courtyards						
	through appropriate selection of materials, stairs, and ramps as						
	necessary, and the provision of wayfinding and lighting elements.						
2.1	.4 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a.	Locate off-street parking and other 'back-of-house' uses (such as						✓
	loading, garbage collection, utilities, and parking access) away						
	from public view.						
b.	Ensure utility areas are clearly identified at the development						✓
	permit stage and are located to not unnecessarily impact public or						
	common open spaces.						
C.	Avoid locating off-street parking between the front façade of a						<b>√</b>
	building and the fronting public street.						
d.	In general, accommodate off-street parking in one of the						<b>√</b>
u.	following ways, in order of preference:						
•	Underground (where the high water table allows)						
•							
•	Parking in a half-storey (where it is able to be accommodated to						
	not negatively impact the street frontage);						

•							
	Garages or at-grade parking integrated into the building (located						
	at the rear of the building); and						
•	Surface parking at the rear, with access from the lane or						
	secondary street wherever possible.	<b>✓</b>					
e.	Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable						
	concrete, or driveway planting strips.						
f.	In cases where publicly visible parking is unavoidable, screen using	<b>√</b>					
	strategies such as:						
•	Landscaping;						
•	Trellises;						
•	Grillwork with climbing vines; or						
•	Other attractive screening with some visual permeability.						
g.	Provide bicycle parking at accessible locations on site, including:					✓	
•	Covered short-term parking in highly visible locations, such as						
	near primary building entrances; and						
•	Secure long-term parking within the building or vehicular parking						
	area.						
h.	Provide clear lines of site at access points to parking, site						<b>V</b>
-	servicing, and utility areas to enable casual surveillance and safety.						<b>√</b>
i.	Consolidate driveway and laneway access points to minimize curb						•
	cuts and impacts on the pedestrian realm or common open spaces.						
j.	Minimize negative impacts of parking ramps and entrances						<b>✓</b>
J.	through treatments such as enclosure, screening, high quality						
	finishes, sensitive lighting and landscaping.						
2.1	5 Streetscapes, Landscapes, and Public Realm Design	N/A	1	2	3	4	5
a.	Site buildings to protect mature trees, significant vegetation, and	<b>√</b>					
	ecological features.						
b.	Locate underground parkades, infrastructure, and other services	<b>✓</b>					
	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.	<b>✓</b>					
	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to	<b>√</b>					<b>✓</b>
C.	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.	<b>✓</b>					<b>√</b>
	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.  Design attractive, engaging, and functional on-site open spaces	✓ ·					✓ ✓
C.	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.  Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors,	✓ ·					✓ ✓
c.	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.  Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.	✓ ·			· ·		✓ ✓
C.	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.  Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.  Ensure site planning and design achieves favourable microclimate	✓			<b>✓</b>		✓ ✓
c. d.	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.  Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.  Ensure site planning and design achieves favourable microclimate outcomes through strategies such as:	<b>√</b>			✓		✓ ✓
c.	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.  Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.  Ensure site planning and design achieves favourable microclimate outcomes through strategies such as:  Locating outdoor spaces where they will receive ample sunlight	✓ ·			<b>✓</b>		✓ ✓ ✓
c. d.	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.  Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.  Ensure site planning and design achieves favourable microclimate outcomes through strategies such as:  Locating outdoor spaces where they will receive ample sunlight throughout the year;	✓			✓		✓ ✓
c. d. e.	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.  Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.  Ensure site planning and design achieves favourable microclimate outcomes through strategies such as:  Locating outdoor spaces where they will receive ample sunlight throughout the year;  Using materials and colors that minimize heat absorption;	✓			<b>✓</b>		✓ ✓
c. d. e.	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.  Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.  Ensure site planning and design achieves favourable microclimate outcomes through strategies such as:  Locating outdoor spaces where they will receive ample sunlight throughout the year;  Using materials and colors that minimize heat absorption;  Planting both evergreen and deciduous trees to provide a balance	✓ ·			<b>✓</b>		✓ ✓ ✓
c. d. e.	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.  Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.  Ensure site planning and design achieves favourable microclimate outcomes through strategies such as:  Locating outdoor spaces where they will receive ample sunlight throughout the year;  Using materials and colors that minimize heat absorption;	✓ ·			<b>✓</b>		✓ ✓
c. d. e.	Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.  Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.  Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.  Ensure site planning and design achieves favourable microclimate outcomes through strategies such as:  Locating outdoor spaces where they will receive ample sunlight throughout the year;  Using materials and colors that minimize heat absorption;  Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and	✓ ·			<b>✓</b>	✓	✓ ✓ ✓

	Initials IVII	OMMUNITY PLANN	IING				
g.	Plant native and/or drought tolerant trees and plants suitable for						<b>√</b>
	the local climate.						
h.	Select trees for long-term durability, climate and soil suitability,						<b>✓</b>
	and compatibility with the site's specific urban conditions.						
2.1	.6 Building Articulation, Features and Materials	N/A	1	2	3	4	5
a.	Express a unified architectural concept that incorporates variation						<b>√</b>
	in façade treatments. Strategies for achieving this include:						
•	Articulating facades by stepping back or extending forward a						
	portion of the façade to create a series of intervals or breaks;						
•	Repeating window patterns on each step-back and extension						
	interval;						
•	Providing a porch, patio, or deck, covered entry, balcony and/or						
	bay window for each interval; and						
•	Changing the roof line by alternating dormers, stepped roofs,						
	gables, or other roof elements to reinforce each interval.						
b.	Incorporate a range of architectural features and details into						✓
	building facades to create visual interest, especially when						
	approached by pedestrians. Include architectural features such as:						
	bay windows and balconies; corner feature accents, such as turrets						
	or cupolas; variations in roof height, shape and detailing; building						
	entries; and canopies and overhangs.						
	Include architectural details such as: Masonry such as tiles, brick,						
	and stone; siding including score lines and varied materials to						
	distinguish between floors; articulation of columns and pilasters;						
	ornamental features and art work; architectural lighting; grills and						
	railings; substantial trim details and moldings / cornices; and						
	trellises, pergolas, and arbors.						
C.	Design buildings to ensure that adjacent residential properties						✓
	have sufficient visual privacy (e.g. by locating windows to						
	minimize overlook and direct sight lines into adjacent units), as						
	well as protection from light trespass and noise.						
d.	Design buildings such that their form and architectural character						<b>✓</b>
	reflect the buildings internal function and use.						
e.	Incorporate substantial, natural building materials such as						✓
	masonry, stone, and wood into building facades.						
f.	Provide weather protection such as awnings and canopies at						✓
	primary building entries.						
g.	Place weather protection to reflect the building's architecture.						✓
h.	Limit signage in number, location, and size to reduce visual clutter						<b>✓</b>
	and make individual signs easier to see.						
i.	Provide visible signage identifying building addresses at all						<b>√</b>
	entrances.						
ı	=::=:=::===:	1	1	1	1	1	Ī



	SECTION 4.0: LOW & MID-RISE RESIDENTIAL M	IXED U	SE				
RA	TE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 i	s least complying & 5 is highly complying)						
	Low & mid-rise residential & mixed use guidelines	<u>'</u>					
4.1	1 Relationship to the Street	N/A	1	2	3	4	5
i.	Ensure lobbies and main building entries are clearly visible from						✓
	the fronting street.						
j.	Avoid blank walls at grade wherever possible by:					✓	
•	Locating enclosed parking garages away from street frontages or						
	public open spaces;						
•	Using ground-oriented units or glazing to avoid creating dead						
	frontages; and						
•	When unavoidable, screen blank walls with landscaping or						
	incorporate a patio café or special materials to make them more						
<b>C</b> 0	visually interesting. mmercial & Mixed Use Buildings						
k.	Ensure buildings have a continuous active and transparent retail					<b>_</b>	
κ.	frontage at grade to provide a visual connection between the						
	public and private realm.						
I.	Site buildings using common 'build to' line at or near the front						<b>√</b>
	property line so that a continuous street frontage is maintained.						
	Some variation (1-3 m maximum) can be accommodated in						
	ground level set backs to support pedestrian and retail activity by,						
	for example, incorporating recessed entryway, small entry plaza,						
	or sidewalk café.						
m.	Incorporate frequent entrances (every 15 m maximum) into						✓
	commercial and street frontages to create punctuation and						
	rhythm along the street, visual interest and support pedestrian						
	activity.	NI/A		_	_	_	_
	2 Scale and Massing	N/A	1	2	3	4	5
a.	Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.					•	
b.	Residential buildings should have a maximum width of 24 m.						<b>√</b>
C.	Buildings over 40 m in length should incorporate a significant	<b>✓</b>					
С.	horizontal and vertical break in the façade.						
d.	For commercial facades, incorporate a significant break at	<b>√</b>					
	intervals of approximately 35 m.						
4.1	3 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a.	On sloping sites, floor levels should step to follow natural grade						<b>√</b>
	and avoid the creation of blank walls.						
b.	Site buildings to be parallel to the street and to have a distinct						✓
	front-to-back orientation to public street and open spaces and to						
	rear yards, parking, and/or interior court yards:						
•	Building sides that interface with streets, mid-block connections						
	and other open spaces and should positively frame and activate						
	streets and open spaces and support pedestrian activity; and	1					



•	Building sides that are located away from open spaces (building						
	backs) should be designed for private/shared outdoor spaces and						
	vehicle access.						
C.	Break up large buildings with mid-block connections which should	✓					
	be publicly-accessible wherever possible.						
d.	Ground floors adjacent to mid-block connections should have	✓					
	entrances and windows facing the mid-block connection.						
4.1	.4 Site Servicing, Access and Parking	N/A	1	2	3	4	5
a.	Vehicular access should be from the lane. Where there is no lane,						✓
	and where the re-introduction of a lane is difficult or not possible,						
	access may be provided from the street, provided:						
•	Access is from a secondary street, where possible, or from the						
	long face of the block;						
•	Impacts on pedestrians and the streetscape is minimised; and						
•	There is no more than one curb cut per property.						
b.	Above grade structure parking should only be provided in	✓					
	instances where the site or high water table does not allow for						
	other parking forms and should be screened from public view with						
	active retail uses, active residential uses, architectural or						
	landscaped screening elements.						
c.	Buildings with ground floor residential may integrate half-storey	✓					
	underground parking to a maximum of 1.2 m above grade, with						
	the following considerations:						
•	Semi-private spaces should be located above to soften the edge						
	and be at a comfortable distance from street activity; and						
•	Where conditions such as the high water table do not allow for this						
	condition, up to 2 m is permitted, provided that entryways, stairs,						
	landscaped terraces, and patios are integrated and that blank						
	walls and barriers to accessibility are minimized.						
4.1.5 Publicly-Accessible and Private Open Spaces		N/A	1	2	3	4	5
a.	Integrate publicly accessible private spaces (e.g. private	✓					
	courtyards accessible and available to the public) with public open						
<u> </u>	areas to create seamless, contiguous spaces.						
b.	Locate semi-private open spaces to maximize sunlight					<b>V</b>	
	penetration, minimize noise disruptions, and minimize 'overlook'						
_	from adjacent units.						
	oftop Amenity Spaces	1	I	1			1
C.	Design shared rooftop amenity spaces (such as outdoor recreation				<b>V</b>		
	space and rooftop gardens on the top of a parkade) to be						
	accessible to residents and to ensure a balance of amenity and						
	privacy by:						
•	Limiting sight lines from overlooking residential units to outdoor						
	amenity space areas through the use of pergolas or covered areas						
	where privacy is desired; and						
•	Controlling sight lines from the outdoor amenity space into						
	adjacent or nearby residential units by using fencing, landscaping,						
	or architectural screening.						

d.	Reduce the heat island affect by including plants or designing a						✓
	green roof, with the following considerations:						
•	Secure trees and tall shrubs to the roof deck; and						
•	Ensure soil depths and types are appropriate for proposed plants						
	and ensure drainage is accommodated.						
4.1.6 Building Articulation, Features, and Materials		N/A	1	2	3	4	5
<ul><li>a.</li><li>.</li><li>.</li><li>.</li></ul>	Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include:  Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade;  Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade;  Providing a porch, patio, deck, or covered entry for each interval;  Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance;  Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or					<b>✓</b>	
	articulation interval;						
•	Changing the materials with the change in building plane; and						
•	Provide a lighting fixture, trellis, tree or other landscape feature within each interval.						
b.	Break up the building mass by incorporating elements that define a building's base, middle and top.						<b>√</b>
C.	Use an integrated, consistent range of materials and colors and						<b>√</b>
	provide variety, by for example, using accent colors.						
d.	Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						<b>✓</b>
e.	Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.						<b>√</b>
f. •	Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations:  Primary building entrances;,  Adjacent to bus zones and street corners where people wait for traffic lights;  Over store fronts and display windows; and  Any other areas where significant waiting or browsing by people occurs.						<b>&gt;</b>

g.	Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.			<b>V</b>
h.	Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.			<b>V</b>
i.	Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.		<b>√</b>	
j.	Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.			<b>\</b>
k.	Avoid the following types of signage:			✓
•	Internally lit plastic box signs;			
•	Pylon (stand alone) signs; and			
•	Rooftop signs.			
I.	Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓		





# Proposal

▶ To consider a Development Permit for the form and character of a mixed-use development and to consider a Development Variance Permit to vary the maximum height, the minimum side yard setback, the minimum setback for a portion of a building above 4 storeys or 16.0 m, and the minimum functional commercial space on the first floor.

# Development Process



# Context Map



### Future Land Use



## Subject Property Map





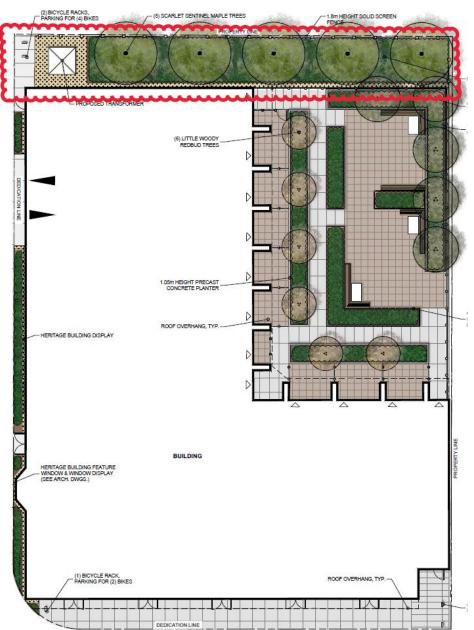
### Project/technical details

- 5-storey mixed use condo building
- ▶84 residential units
  - ▶ 21 micro-suites, 36 bachelor units, 18 one-bedroom units, 8 two-bedroom units, 1 three-bedroom unit
- 2 commercial units
- ► Incorporates heritage murals and display
- 2 levels of structured parking (one level is below grade)
- ▶ 86 parking stalls accessed from Sadler Road

Site Plan 125'-3" [38.17m] [2.44m PMT LANDSCAPE  $\triangleleft$ PARKING BUTRY Ш 9 DEDICATION LINE PROPERTY LINE PROPOSED NEW BUILDING ADJACENT SITE: 230 HWY 33E, KELOWNA COMMERCIAL COMMERCIAL COMMERCIAL 91°5 DEDÍCATION LÍNE

HIGHWAY 33 E

## Landscape Plan



# South Elevation (Hwy 33)



SOUTH ELEVATION

### West Elevation (Sadler Rd)



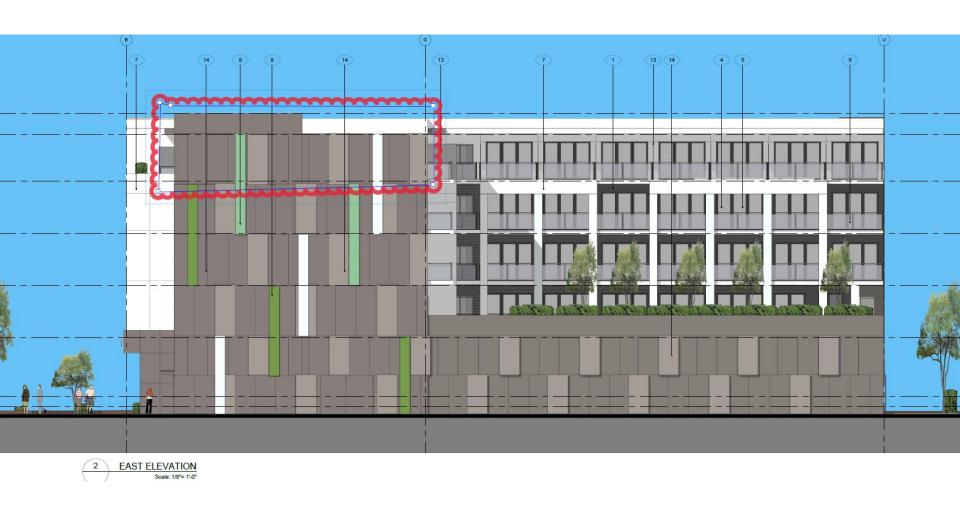


### North Elevation



1 NORTH ELEVATION Scale: 1/8"= 1'-0"

### **East Elevation**



### Render



# Renderings















### Staff Recommendation

- ➤ Staff recommend **support** for the proposed Development Permit and Development Variance Permit
  - ▶ Meets the intent of the Official Community Plan
    - UC Urban Centre Designation and Policies for the Rutland Urban Centre
  - Conforms to the Form & Character Design Guidelines for Low & Mid-Rise Residential Mixed-Use Buildings
  - ▶ Impact of variances has been mitigated through design



### Conclusion of Staff Remarks

### REPORT TO COUNCIL



**Date:** June 21, 2022

To: Council

From: City Manager

**Department:** Development Planning

BC1288666

**Address:** 630 Boynton Place **Applicant:** Meridian Developments Inc.

**Subject:** Development Permit and Development Variance Permit Application

**Existing OCP Designation:** C-NHD – Core Area Neighborhood

**Existing Zone:** RM4 – Transitional Low Density Housing

#### 1.0 Recommendation

THAT Council authorize the issuance of Development Permit No. DP22-0054 for a portion of Lot A Section 31 Township 26 ODYD Plan EPP98227 located at 630 Boynton Place, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP22-0056 for a portion of Lot A Section 31 Township 26 ODYD Plan EPP98227 located at 630 Boynton Place, Kelowna, BC;

AND THAT variance to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.10.6(c): RM4 - Transitional Low Density Housing, Development Regulations

To increase the maximum building height from 13.0 m to 19.1 m

Section 13.10.7(b): RM4 - Transitional Low Density Housing, Other Regulations

To increase the maximum permitted length of building frontage from 40.0 m to 90.0 m

#### Section 7.5.9: Landscaping and Screening, Fencing and Retaining Walls

To increase the maximum height of a retaining wall from 1.2 m to 5.2 m

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit are valid for two (2) years from the date of Council approval, with no opportunity to extend.

#### Purpose

To issue a Development Permit and Development Variance Permit for the form and character of a residential development with variances to maximum building height, frontage and retaining wall height.

#### 2.0 Development Planning

The property is one of the last large parcels to be developed in the area between Clifton Road and Knox Mountain Park on the former Marshall orchard lands. The property was the subject of a large parkland acquisition in 2004 to expand Knox Mountain Park to include the lands around Kathleen Lake. Part of the compensation package to the land owner was increased residential density allocation on the remaining developable lands along Clifton Rd to allow townhouses and low-rise apartments. This was provided through rezoning of the property to the RM4 – Low Density Multi-Family Zone with the provision that public access to the park would be provided through future trail connections and that additional areas would be protected as natural open space as part of the development process. The applicant is coming forward with a proposal to build a 227-unit multi-family project consisting of 3 large apartment buildings, four storeys in height with underground parking.

Development Planning Staff are recommending support for the proposed Development Permit and associate variances as the form and character substantially meets the Urban Design Guidelines of the 2040 Official Community Plan (OCP) and the overall land use objectives of the property.

#### 3.0 Proposal

#### 3.1 Project Description

The proposed residential development is located on Boynton Place road off of Clifton Road and consists of 227 units over three buildings. Each of the three proposed buildings will be four storeys in height with underground parking. Access to the buildings will be from three points, two on Boynton Place and one from Highpointe Drive. Each access point will access the underground parkades for each building. Unit composition is a mix of studio, one and two bedroom units. A clubhouse and private amenity space are located in the south-west corner.

#### Form and Character

All three buildings are oriented north-south on the subject property and parallel to Boynton Place. The buildings will have significant presence along the street frontage. The three four-storey buildings are parallel with the street and have the four-storey stepped back with open rooftop space which helps reduce the buildings overall visual height from the east elevation. The general long buildings are broken up with significant horizontal and vertical architectural elements. The floors incorporate projecting bays and recessed balconies with varying window treatments that provide visual interest and help mitigate the building massing. The materials are a mix of cement panels, vertical lap siding, stonework, and decorative

timber brackets. The colour pallet is predominately a mix of browns and greys which provides a natural colour scheme that blends well into the hillside backdrop.

#### Landscaping

The proposed landscaping provides perimeter shrub and tree plantings around the three buildings and patio spaces. The retaining walls along Boynton Place are tiered with shrub plantings to break up the overall height and visual impact along the street frontage. There is a semi-private space in between Buildings 2 and 3 for a dog walk area and connection to proposed trail upslope to Knox Mountain Park.

Variance – Building Height, Building Frontage, Retaining Wall Height

To accommodate the proposal, the applicant is request three variances to maximum building height, building frontage and height of a retaining walls. This is to generally accommodate the large footprint of the three proposed buildings. The subject property has topographic constraints including a gradual north to south grade change as well as steep slopes to the west bordering Knox Mountain Park. The retaining wall variance is to help accommodate the cross grades along the property.

The height and massing of the buildings is relatively large however the step back of the top floor of each building helps break up the visual impact in addition to the backdrop of Knox Mountain Park to the west. The overall length of the buildings is broken up well by incorporating significant horizontal and vertical breaks in each façade. Given the overall context of the site and well articulated form and character of the buildings staff are in support of the variances.

#### 3.2 Site Context

The subject property is located within the Permanent Growth Boundary (PGB) and is fully serviced. It is located within the Glenmore-Clifton–Dilworth City Sector and is directly adjacent to Knox Mountain Park. Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RM4 – Transitional Low Density Housing	Multi-Family Residential
East	RM4 – Transitional Low Density Housing	Multi-Family Residential
South	Ru1 – Large Lot Housing	Single Family Residential
West	P <sub>3</sub> – Parks and Open Space	Park

Subject Property Map: 630 Boynton Place





### 3.3 Zoning Analysis Table

Zoning Analysis Table									
CRITERIA	RM4 ZONE REQUIREMENTS	PROPOSAL							
E	xisting Lot/Subdivision Regulation	S							
Min. Lot Area	900 m²	31,680 m²							
Min. Lot Width	30 m	473 m							
Min. Lot Depth	30 m	148 m							
	Development Regulations								
Max. Floor Area Ratio	0.65	0.58							
Max. Site Coverage (buildings)	50 %	27.28 %							

Max. Site Coverage (buildings, parking, driveways)	50 %	29.1%
Max. Height	13 M	19.1 m <b>0</b>
Min. Front Yard	4.5 m	4.5 m
Min. Side Yard	4.5 m	4.5 m
Min. Side Yard	4.5 m	4.5 m
Min. Rear Yard	9.0 m	9.o m
	Other Regulations	
Min. Parking Requirements	326	327
Min. Bicycle Parking	347	347
Min. Private Open Space	1212.5m²	1429.96m²
Max. Building Frontage	40 m	90 m <b>0</b>
• Indicates a requested variance to maximum bui	lding height and maximum building frontage	

#### 4.0 Current Development Policies

Objective 5.3. Design resi	dential infill to be sensitive to neighbourhood context.				
Policy 5.3.3. Strategic Where a proposed development in Core Area Neighbourhoods is r					
Density	adjacent to a Transit Supportive Corridor, consider support for stacked				
	rowhousing and low rise apartment and mixed use buildings, under the				

following circumstances:

- The property, at the time a rezoning or development permit application is made, has an area of 1 hectare or greater; and
- The project proposal illustrates that the larger buildings will be able to sensitively transition their height and massing towards adjacent Core Area Neighbourhoods, with the first priority being a transition to ground-oriented multi-unit housing within the project; and
- The project proposal includes a public park component; and
- The project proposal includes an affordable and/or rental housing component; and
- The project does not exceed a FAR of approximately 1.2 over the entire site.

The proposal meets a number of the identified policy criteria, including a large parcel size, public park component and FAR under 1.2.

#### Objective 5.3. Design residential infill to be sensitive to neighbourhood context.

Policy 5.3.5. Existing Uses and Scales.

Consider support for stacked row housing, low rise apartments and mixed use buildings in Core Area Neighbourhoods where the property was zoned to allow for such uses on the date that the Official Community Plan was adopted.

The subject property was previously rezoned to RM4 and considered for transitional density in this area of the City.

#### 5.0 Technical Comments

#### 5.1 <u>Development Engineering Department</u>

#### 5.1.1 See attached comments dated March 1, 2022

#### 6.0 Application Chronology

Date of Application Received: December 10, 2021
Date Public Consultation Completed: May 21, 2022

Report prepared by: Wesley Miles, Planner Specialist

**Reviewed by:** Dean Strachan, Community Planning & Development Manager Reviewed by: Terry Barton, Development Planning Department Manager

**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning & Development Services

#### Attachments:

Attachment A: Draft Development and Development Variance Permit DP22-0054 & DVP22-0056

Attachment B: Development Engineering Memo

Attachment C: Form and Character – Development Permit Guidelines

Attachment D: Renderings

Schedule A: Site Plan
Schedule B: Elevations

Schedule C: Landscape Plan

# Development Permit & Development Variance Permit DP22-0054/DVP22-0056



This permit relates to land in the City of Kelowna municipally known as

#### 630 Boynton Place

and legally known as

#### Lot A Section 31 Township 26 ODYD Plan EPP98227

and permits the land to be used for the following development:

227 unit residential development

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision

Decision By:

COUNCIL

**Development Planning Department Manager** 

<u>Decision By:</u> Issued Date:

Development Permit Area: Comprehensive Development Permit Area

This permit will not be valid if development has not commenced by July, 2024.

Existing Zone: RM4 – Transitional Low Density Housing

Future Land Use Designation: C-NHD - Core Area Neighborhood

### This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

#### NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1288666 BC Ltd., Inc. No. BC1288666

Applicant: Meridian Developments Ltd.

Terry Barton

Date

#### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

#### 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

with variances to the following section of Zoning Bylaw No. 8000:

Section 13.10.6(c): RM4 - Transitional Low Density Housing - Development

Regulations To increase the maximum building height from 13.0 m to 19.1 m

Section 13.10.7(b): RM4 - Transitional Low Density Housing - Other Regulations

To increase the maximum permitted length of building frontage from 40.0 m to 90.0 m

Section 7.5.9:Landscaping and Screening – Fencing and Retaining Walls

To increase the maximum height of a retaining wall from 1.2 m to 5.2 m

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

#### 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit in the amount of \$ 320,781.25

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

#### 5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned ,to the signatory of the Landscape Agreement or their designates.





#### CITY OF KELOWNA

#### **MEMORANDUM**

**Date:** March 1, 2022

**File No.:** DP22-0054

To: Urban Planning Management (WM)

**From:** Development Engineer Manager (NC)

**Subject:** 630 Boynton Place

The Development Engineering comments and requirements regarding the form and character for this Development Permit application will required at Building Permit.

#### .1) General

- a) The following requirements are valid for two (2) years from the reference date of this memo, or until the application has been closed, whichever occurs first. The City of Kelowna reserves the rights to update/change some or all items in this memo once these time limits have been reached.
- b) This proposed development may require the installation of centralized mail delivery equipment. Please contact Arif Bhatia, Delivery Planning Officer, Canada Post Corporation, 530 Gaston Avenue, Kelowna, BC, V1Y 2K0, (250) 859-0198, arif.bhatia@canadapost.ca to obtain further information and to determine suitable location(s) within the development.
- c) Provide easements as may be required.
- d) Traffic Calming items and Boulevard landscaping will be required for entire frontage.
- e) Access lane must have cul-de-sac or hammer head at end to turn a MSU truck.
- f) The proposed Development triggers a Traffic Impact Assessment (TIA). Prior to initiation of the TIA, Terms of Reference (TOR) must be established. The applicant's consulting transportation engineer shall contact the Development Engineering Technician for this development who, in collaboration with the City's Integrated Transportation Department, will determine the terms of reference for the study. Recommendations from the Traffic Impact Analysis (TIA) will become requirements of this development.

#### .2) Geotechnical Report

a) Provide a comprehensive geotechnical report (3 copies), prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.

The Geotechnical reports must be submitted to the Planning and Development Services Department (Planning & Development Officer) for distribution to the Works & Utilities Department and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval.

- (i) Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
- (ii) Site suitability for development.
- (iii) Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- (iv) Any special requirements for construction of roads, utilities and building structures.
- (v) Suitability of on-site disposal of storm water and sanitary waste, including effects upon adjoining lands.
- (vi) Slope stability, rock fall hazard and slippage including the effects of drainage and septic tank effluent on the site.
- (vii) Identify slopes greater than 30%.
- ii) Top of bank assessment and location including recommendations for property line locations, septic field locations, building setbacks, and ground water disposal locations.
- iii) Recommendations for items that should be included in a Restrictive Covenant.
- iv) Any special requirements that the proposed subdivision should undertake so that it will not impact the bank(s). The report must consider erosion and structural requirements.
- v) Any items required in other sections of this document.
- vi) Recommendations for erosion and sedimentation controls for water and wind.
- vii) Recommendations for roof drains and perimeter drains.

#### .3) Water

- (a) The property is located within the City of Kelowna service area.
- (b) The subject property is currently serviced with a 200 mm water service. The developer will need to determine the domestic and fire protection requirements of this proposed development. Only one service will be permitted for this development. The applicant will arrange for the disconnection of the existing services and the installation of a new larger service. The disconnection of the existing small diameter water service and the tie-in of a larger new service can be provided by City forces at the developer's expense. One master water meter will supply the development. The applicant will be required to sign a Third Party Work Order for the cost of the water service upgrades.
- (c) Landscaped boulevards, complete with underground irrigation systems, must be integrated with the on-site irrigation system.

#### .4) Sanitary Sewer

(a) Our records indicate that this proposed development site is connected with a two 150mm diameter sewer services. One of these 150mm service will need to be removed. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development.

#### .5) Drainage

- a) Provide an adequately sized drainage system complete with individual lot connections. The Subdivision, Development and Servicing Bylaw requires that each lot be provided with an individual connection; however, the City Engineer may permit use of individual ground water disposal systems, where soils are suitable. For on-site disposal of drainage water, a hydro geotechnical report will be required complete with a design for the disposal method (i.e. trench drain / rock pit). The Lot Grading Plan must show the design and location of these systems for each lot.
- b) This lot is serviced with a 200mm storm service
- c) Provide the following drawings:
  - i) A detailed Lot Grading Plan (indicate on the Lot Grading Plan any slopes that are steeper than 30% and areas that have greater than 1.0 m of fill);
  - ii) A detailed Stormwater Management Plan for this development; and,
  - iii) An Erosion and Sediment Control Plan.
- d) Show details of dedications, rights-of-way, setbacks and non-disturbance areas on the lot Grading Plan.
- e) Identify clearly on a contour map, or lot grading plan, the top of bank(s). Provide cross sections along the top of the bank at each property corner and at locations where there are significant changes in slope. Cross sections are to be perpendicular to the contour of the slope. Show the proposed property lines on the cross sections. Not all areas have a clear top of bank; and therefore, field reconnaissance by City staff and the applicant may be needed to verify a suitable location for property lines.

f) Where ditches are provided, they must be adequately lined and protected for the design flows.

#### .6) Power and Telecommunication Services and Street Lights

- a) All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground
- b) Street lights must be installed on all roads.
- c) Before making application for approval of your subdivision plan, please make arrangements with Fortis BC for the pre-payment of applicable charges and tender a copy of their receipt with the subdivision application.
- d) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.

### .7) Design and Construction

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Services Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

#### .8) Servicing Agreements for Works and Services

a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.

b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

#### .9) Other Engineering Comments

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as FortisGas, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

#### .10) CHARGES AND FEES

- a. Development Cost Charges (DCC's) are payable.
- b. Fees per the "Development Application Fees Bylaw" include:
  - i) Street Marking/Traffic Sign Fees: at cost (to be determined after detailed design completed).
  - ii) Survey Monument Fee: \$50.00 per newly created lot (GST exempt).
  - iii) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) only if disturbed.
  - iv) Hydrant Levy Fee: \$250 per newly created lot (GST exempt).
  - v) Engineering and Inspection Fee: 3.5% of construction value (plus GST).

Nelson Chapman, F.Eng.

Development Engineering Manager

RO



#### **DEVELOPMENT PERMIT GUIDELINES**

Chapter 2 - The Design Foundations: apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines: provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

 The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

### Chapter 2 - Design Foundations Apply To All Projects Page 18-8

Section 2.1 - General Residential and Mixed Use Design Guidelines
Page 18-9

Section 2.2 - Achieving High Performance Page 18-17

Chapter 3
Townhouses & Infill

Page 18-10

Chapter 4 Low & Mid-Rise Residential & Mixed Use

Page 18-34

Chapter 5 High-Rise Residential & Mixed Use Page 18-42

\*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

#### **FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES**

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	N/A	1	2	3	4	5
CHAPTER 4.0: LOW & MID-RISE RESIDENTIAL & MIXED USE						
4.1 Guidelines						
4.1.1 Relationship to the Street						
Lobby area and main building entrance is clearly visible from the fronting street and sidewalk.					<b>√</b>	
Wherever possible, blank walls at grade are not encouraged.				✓		
Enclosed parking garages are located away from street frontages or public open space.				<b>✓</b>		
Ground oriented units with entries or glazing have been provided to avoid the blank/dead frontage along the street.				<b>√</b>		
When unavoidable, blank walls have been screened with landscaping or have been incorporated with a patio/café or special materials have been provided to make them visually interesting.					<b>√</b>	
Commercial & Mixed-use Buildings			•	•		
Proposed built form has a continuous active and transparent retail	✓					
frontage at grade and provides a visual connection between the public and private realm.						
Buildings have been sited using a common 'build to' line at or near the	✓					
front property line to maintain a continuous street frontage. Some						
variation (1-3m maximum) can be accommodated in ground level set						
backs to support pedestrian and retail activity by, for example,						
incorporating a recessed entryway, small entry plaza, or sidewalk café.						
Frequent entrances (every 15 m maximum) into commercial street	<b>√</b>					
frontages have been incorporated to create punctuation and rhythm						
along the street, visual interest, and support pedestrian activity.						
Residential and Mixed-use Buildings						
Residential buildings at the ground floor have a set back between 3-5m					✓	
from the property line to create a semi-private entry or transition zone to						
individual units and to allow for an elevated front entryway or raised						
patio.						
A maximum 1.2m desired height (e.g., 5-6 steps) for front entryways has				✓		
been provided. Where the water table requires this to be higher, in these						
cases, larger patio has been provided and parking has been screened						
with ramps, stairs, and landscaping.						
Ground floor units accessible from the fronting street or public open					<b>✓</b>	
spaces have been provided with individual entrances.	1					

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)  Ruildings are sited and oriented so that windows and halsonies are						<b>/</b>
Buildings are sited and oriented so that windows and balconies are						•
overlooking public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						
4.1.2 Scale and Massing						
Proposed residential building façade has a length of 6om (4om length is		<b>✓</b>				
preferred).						
Buildings over 40m in length are incorporating significant horizontal and vertical breaks in façade.					<b>~</b>	
Commercial building facades are incorporating significant break at approximately 35m intervals.	<b>√</b>					
Proposed residential building has a maximum width of 24m.					<b>√</b>	
4.1.3 Site Planning						
On sloping sites, building floor levels are following the natural grade and avoiding the blank wall situation.			<b>✓</b>			
Buildings are sited to be parallel to the street and have a distinct front-to-					<b>✓</b>	
back orientation to public street and open spaces and to rear yards,						
parking, and/or interior courtyards.						
Building sides that are interfacing with streets, mid-block connections,			<b>✓</b>			
and other open spaces (building fronts) are positively framing and						
activating streets and open spaces and supporting pedestrian activity.				<b>√</b>		
Larger buildings are broken up with mid-block connections which have public accessibility wherever possible.				V		
Ground floors adjacent to mid block connections have entrances and windows facing the mid block connection.					<b>√</b>	
4.1.4 Site Servicing, Access, and Parking			ı	1	ı	1
Vehicular access is provided from the lane.	<b>✓</b>					
Where there is no lane, and where the re-introduction of a lane is difficult		<b>√</b>				
or not possible, access is provided from the street, provided:						
<ul> <li>Access is from a secondary street, where possible, or from the long face of the block;</li> </ul>						
<ul> <li>Impacts on pedestrians and the streetscape is minimized; and,</li> </ul>						
There is no more than one curb cut per property.						
Above grade structure parking should only be provided in instances				<b>✓</b>		
where the site or high water table does not allow for other parking forms.						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
When parking cannot be located underground due to the high water				✓		
table and is to be provided above ground, screen the parking structure						
from public view as follows:						
On portions of the building that front a retail or main street,						
line the above ground parking with active retail frontage;						
On portions of the building that front onto non-retail streets,						
line the above ground parking with an active residential						
frontage, such as ground oriented townhouse units;  • When active frontages are not able to be accommodated,						
screen parking structures by using architectural or						
landscaped screening elements;						
On corner sites, screen the parking structure from public view						
on both fronting streets using the appropriate strategy listed						
above.						
Buildings with ground floor residential may integrate half-storey					✓	
underground parking to a maximum of 1.2m above grade, with the						
following considerations:						
<ul> <li>Semi-private spaces should be located above to soften the edge</li> </ul>						
and be at a comfortable distance from street activity; and						
Where conditions such as the high water table do not allow for						
this condition, up to 2m is permitted, provided that entryways,						
stairs, landscaped terraces, and patios are integrated and that						
blank walls and barriers to accessibility are minimized.						
4.1.5 Publicly Accessible and Private Open Spaces		1	•		ı	1
Publicly accessible private spaces (e.g., private courtyards accessible and				<b>✓</b>		
available to the public) have been integrated with public open areas to						
create seamless, contiguous spaces.						
Semi-private open spaces have been located to maximize sunlight				<b>√</b>		
penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.						
Outdoor Amenity Areas: design plazas and parks to:			<b>✓</b>			
Contain 'three edges' (e.g., building frontage on three sides)						
where possible and be sized to accommodate a variety of						
activities;						
Be animated with active uses at the ground level; and,						
Be located in sunny, south facing areas.						
Internal courtyard design provides:				<b>√</b>		
amenities such as play areas, barbecues, and outdoor seating						
where appropriate.						
a balance of hardscape and softscape areas to meet the specific						
needs of surrounding residents and/or users.						
Mid-block connections design includes active frontages, seating, and				<b>√</b>		
landscaping.						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Rooftop Amenity Spaces  Shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) are designed to be accessible to residents and to ensure a balance of amenity and privacy by:  • Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and  • Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units.  Reduce the heat island effect by including plants or designing a green roof, with the following considerations:	<b>√</b>				<b>✓</b>	
<ul> <li>Secure trees and tall shrubs to the roof deck; and</li> </ul>						
<ul> <li>Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated.</li> </ul>						
4.1.6 Building Articulation, Features & Materials						
Articulate building facades into intervals that are a maximum of 15m wide for mixed-use buildings and 20m wide for residential buildings.  Strategies for articulating buildings should consider the potential impacts on energy performance (see 2.2.1), and include:  • Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the facade;  • Repeating window patterns at intervals that correspond to extensions and step backs (articulation) in the building facade;  • Providing a porch, patio, deck, or covered entry for each interval;  • Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance;  • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval;  • Changing the materials with the change in building plane; and  • Provide a lighting fixture, trellis, tree, or other landscape feature within each interval.						
Break up the building mass by incorporating elements that define a building's base, middle and top.				✓		
Use an integrated, consistent range of materials and colors and provide variety by, for example, using accent colors.					<b>√</b>	
Articulate the facade using design elements that are inherent to the building as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.					<b>√</b>	

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Incorporate distinct architectural treatments for corner sites and highly					✓	
visible buildings such as varying the roofline (See Figure 41), articulating						
the facade, adding pedestrian space, increasing the number and size of						
windows, and adding awnings and canopies.						
Weather Protection						
Provide weather protection (e.g. awnings, canopies, overhangs, etc.)				<b>✓</b>		
along all commercial streets and plazas (See Figure 42), with particular						
attention to the following locations:						
Primary building entrances,						
<ul> <li>Adjacent to bus zones and street corners where people wait for</li> </ul>						
traffic lights;						
<ul> <li>Over store fronts and display windows; and</li> </ul>						
Any other areas where significant waiting or browsing by people						
occurs.						
Architecturally-integrate awnings, canopies, and overhangs to the				✓		
building and incorporate architectural design features of buildings from						
which they are supported.						
Place and locate awnings and canopies to reflect the building's				✓		
architecture and fenestration pattern.						
Place awnings and canopies to balance weather protection with daylight				✓		
penetration. Avoid continuous opaque canopies that run the full length						







# PROJECT TEAM

CLIENT/OWNER
Meridian Development Corp.
100-450 2nd Ave. North, S7K 2C3
Saskatoon, Saskatchewan, Canada

Architect Rich Muller, Architect 215 South Wadsworth Blvd. Lakewood, Colorado 80226

Civil Engineer CTQ Consultants 1334 St. Paul Street Kelowna, BC V1Y 2E1, Canada

Landscape Architect Bench Site Design 4-1562 Water Street Kelowna, BC V1Y 1J7, Canada

Karl Miller karl.miller@meridiandevelopment.ca (306) 384-0431

Richard Muller rich@mues.us (303) 625-3356

Lucas Thayer LThayer@ctqconsultants.ca (250) 326-0044

Xenia Semeniuk xenia@benchsitedesign.com (250) 808-5113

ARCHTECTURE			CIVIL		LANDSCAPE		
Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name
A000	COVER SHEET	A133	BUILDING 3 - LEVEL 1	SK-01-1	BUILDING 1 PRELIMINARY GRADING	L-O	COVER PAGE
A100	SITE PLAN	A134	BUILDING 3 - LEVEL 2	SK-01-2	BUILDING 2 PRELIMINARY GRADING	L-1	LANDSCAPE PLAN - NORTH ENLARGEMENT
A101	SITE PLAN - BUILDING 1	A135	BUILDING 3 - LEVEL 3	SK-01-3	BUILDING 3 PRELIMINARY GRADING	L-2	LANDSCAPE PLAN - SOUTH ENLARGEMENT
A102	SITE PLAN - BUILDING 2	A136	BUILDING 3 - ROOF PLAN	SK-01-4	PRELIMINARY GRADING SECTIONS	13	HYDROZONE PLAN
A103	SITE PLAN - BUILDING 3	A150	CLUBHOUSE PLAN	SK-02	PRELIMINARY SITE SERVICING		
A111	BUILDING 1 - PARKADE 1	A300	STREETSCAPE COLOREDELEVATIONS				
A112	BUILDING 1 GROUND FLOOR	A301	STREETSGAPE ELEVATIONS				
A113	BUILDING 1 - LEVEL 1	A310	BUILDING 1 - COLORED ELEVATIONS				
A114	BUILDING 1 - LEVEL 2	A311	BUILDING 1 - ELEVATIONS				
A115	BUILDING 1 - LEVEL 3	A320	BUILDING 2 - COLORED ELEVATIONS				
A116	BUILDING 1 - ROOF PLAN	A321	BUILDING 2 - ELEVATIONS				
A121	BUILDING 2 - PARKADE 1	A330	BUILDING 3 - COLORED ELEVATIONS				
A122	BUILDING 2 - GROUND FLOOR	A331	BUILDING 3 - ELEVATIONS				
A123	BUILDING 1 - LEVEL 1	A340	CLUBHOUSE - COLORED ELEVATIONS				
A124	BUILDING 2 - LEVEL 2	A341	CLUBHOUSE - ELEVATIONS				
A125	BUILDING 2 - LEVEL 3	A400	BUILDING 1 SECTIONS				
A126	BUILDING 2 - ROOF PLAN	A401	BUILDING 2 SECTIONS				
A131	BUILDING 3 - PARKADE 1	A402	BUILDING 3 SECTIONS				
A132	BILLDING 1 - GROUND FLOOR	A900	SOLAR STUDY - FOUNDS				

Richard Muller Architect







\$\frac{1}{2}\$ LOT A SECTION 31 TOWNSHIP 26 OSOYOGS DIVISION \$\frac{1}{2}\$ YALE DISTRICT PLAN EPP96227







 $\oplus$ 



RM4 ZONING NOT WITHIN THE URBAN CENTER: STUDIO REQUIRES 1.00 PARKING SPACE PER UNIT 1-BR REQUIRES 1.25 PARKING SPACES PER UNIT 2-BR REQUIRES 1.5 PARKING SPACES PER UNIT

3-BR REQUIRES 2.0 PARKING SPACES PER UNIT

BUILDING 1 MIX
14 STUDIOS (REQUIRES 14 PARKING SPACES)
40 1-BEDROOM (REQUIRES 50 PARKING SPACES)

40 i-BERROUM (REQUIRES 35 PARRING SPACES)
22 -BERROOM (REQUIRES 35 PARRING SPACES)
TOTAL LEVELS = 77 UNITS PER BUILDING
77 UNITS REGUIRE 99 PARKING SPACES + 11 VISITOR SPACES TOTAL = 110 TOTAL PARKING SPACES / BUILDING 1

BUILDING 2 MIX 11 STUDIOS (REQUIRES 12 PARKING SPACES) 39 1-BEDROOM (REQUIRES 47.5 PARKING SPACES)

2e 2-BEDROOM (REQUIRES 39 PARKING SPACES) TOTAL LEVELS = 76 UNITS PER BUILDING 76 UNITS PER BUILDING 77 UNITS PER BUILDING 2 PARKING SPACES + 11 VISITOR SPACES TOTAL = 110 TOTAL PARKING SPACES / BUILDING 2

BUILDING 3 MIX
12 STUDIOS (REQUIRES 12 PARKING SPACES)
35 1-BEDROOM (REQUIRES 43.75 PARKING SPACES)
27 2-BEDROOM (REQUIRES 40.5 PARKING SPACES)
TOTAL LEVELS = 74 UNITS PER BUILDING

74 UNITS REQUIRE 96 PARKING SPACES + 10 VISITOR SPACES TOTAL = 106 TOTAL PARKING SPACES / BUILDING 3

BUILDING 1 PARKADE CONTAINS 99 PARKING SPACES OVER 1.5 LEVELS (INCLUDES 1 VAN AND 2 ACCESSIBLE SPACES)
BUILDING 2 PARKADE CONTAINS 97 PARKING SPACES OVER 1.5 LEVELS (INCLUDES 1 VAN AND 1 ACCESSIBLE SPACE)
BUILDING 3 PARKADE CONTAINS 124 PARKING SPACES OVER 1.5 LEVELS (INCLUDES 0 VAN AND 1 ACCESSIBLE SPACE)

PROVIDED PARKING = 320 PARKADE SPACES + 7 SURFACE SPACES = 327 SPACES

TOTAL REQUIRED PARKING = 294 RESIDENTS + 32 GUESTS = 326 SPACES
PER KELOWNA ZONING 8.2.19 ACCESSIBLE PARKING STANDARDS, IF THERE ARE 326 PARKING SPACES ON SITE, THEN THERE SHALL BE 7 ACCESSIBLE
SPACES AND 2 VAN SPACES.

But DNG 2

MAX SITE COVERAGE ALLOWED = 50%

SITE AREA = 31,680 sm BUILDING 1 = 2,475 sm, BUILDING 3 = 2,846 sm, CLUBHOUSE/POOL DECK = 845 sm, TOTAL = 8,641 sm

SITE COVERAGE = 8,641sm / 31,680 sm = 27.28% INCLUDING PAVING/PARKING = 29.1%

MAX FLOOR AREA RATIO ALLOWED = 0.65 (OR 0.85 IF KELOWNA CONSIDERS ALL SPACES SCREENED)
BUILDING 1 = 5,907 sm, BUILDING 2 = 6,050 sm, BUILDING 3 = 6,076 sm, CLUBHOUSE = 257 sm TOTAL = 18,290 sm
FLOOR AREA RATIO = 18,290 sm / 31,680 sm = .58

ZONING BYLAW SUMMARY						
SITE	REQUIRED	PROPOSED				
ZONE PRINCIPAL USE	RM4 MULTIPLE DWELLING UNIT	RM4 MULTIPLE DWELLING UNIT				
MINIMUM LOT WIDTH MINIMUM LOT DEPTH MINIMUM LOT AREA	30m 30m 900 sq m	473m 148m 31,680 sq m				
MAXIMUM HEIGHT	LESSER OF 13.0m OR 3 STOREYS	3 STOREYS				
BUILDING SETBACKS MINIMUM FRONT YARD MINIMUM SIDE YARD MINIMUM REAR YARD	4.5m 4.5m 9.0m	4.5m 4.5m 9.0m				
PRIVATE OPEN SPACE	7.5 sq m / STUDIO 15.0 sq m / 1 BEDROOM 25.0 sq m / 2 BEDROOM	MET MET MET				
DRIVE AISLE WIDTH REGULAR PARKING STALL	7.0m 2.5m x 6.0m	7.0m 2.5m x 6.0m				
BICYCLE PARKING INSIDE BICYCLE PARKING OUTSIDE		1 PER UNIT IN GARAGE STORAGE 7 FOR BUILDING 1 7 FOR BUILDING 2 / 6 FOR BUILDING 3				

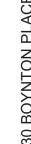
BULDING 1

\$\frac{1}{2}\$ G30 BOYNTON PLACE OF A SECTION 31 TOWNSHIP 26 OSOYOOS DIVISION \$1 YALE DISTRICT PLAN EPP98227





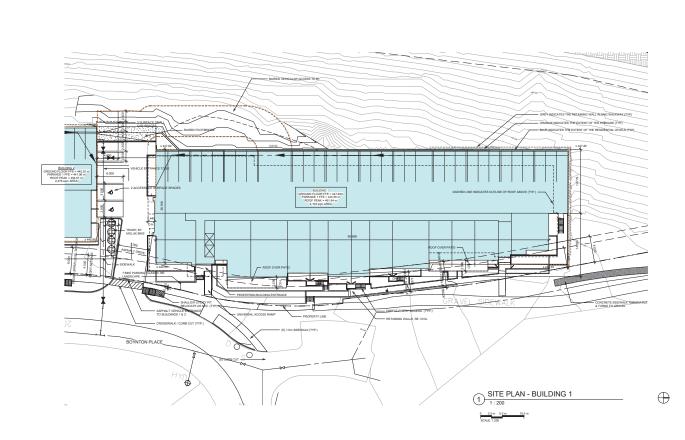


















E G30 BOYNTON PLACE LOT A SECTION 31 TOWNSHIP 26 OSOYOOS DIVISION OF YALE DISTRICT PLAN EPP98227

SITE PLAN-BUILDING 2 A 102 109



BUILDING 2 CROUND FLOOR FFE = 445.25 PARKADE 1 FFE = 441.95 m ROOF PEAK = 459.57 m 2,476 sqm AREA

TAW OBS

\$HYD

LS0

(E) LAMP STANDARD (TYP.)

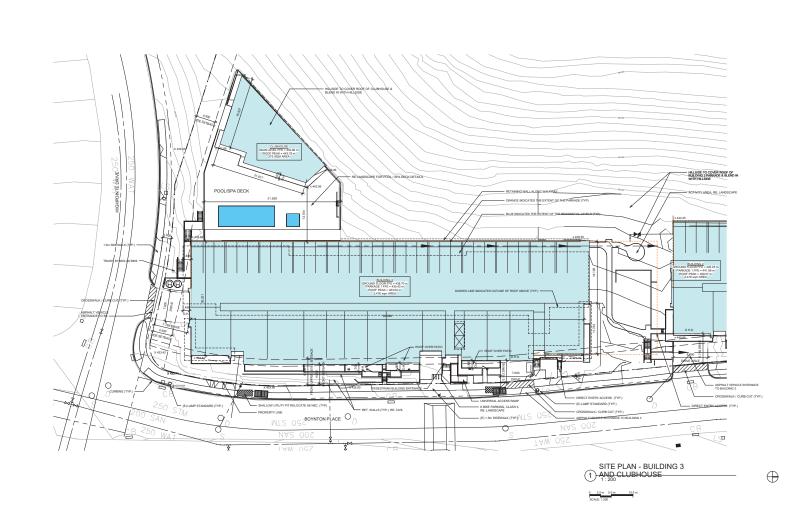
GROUND FLOOR FFE = 438.70 m PARKADE 1 FFE = 435.42m ROOF PEAK = 453.02 m 2,476 sqm AREA



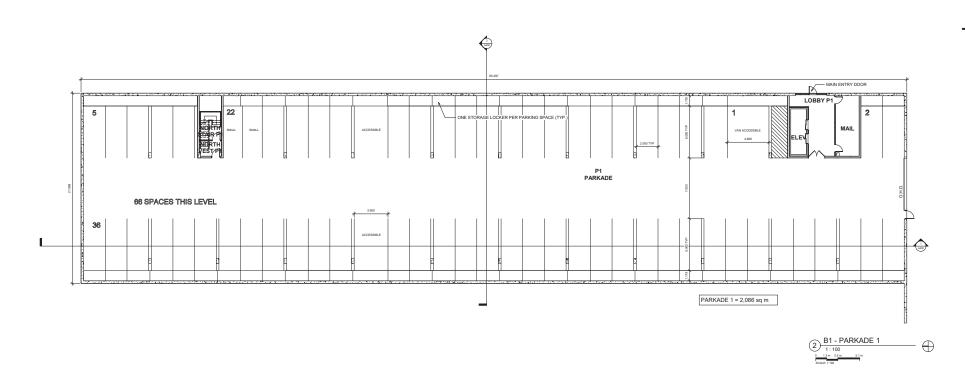
630 BOYNTON PLACE
LOT A SECTION 3.1 TOWNSHIP 26 OSOYOOS DIVISION
O YALE DISTRICT PLAN EPP98227







BUILDING 1-PARKADE 1 A111 1111





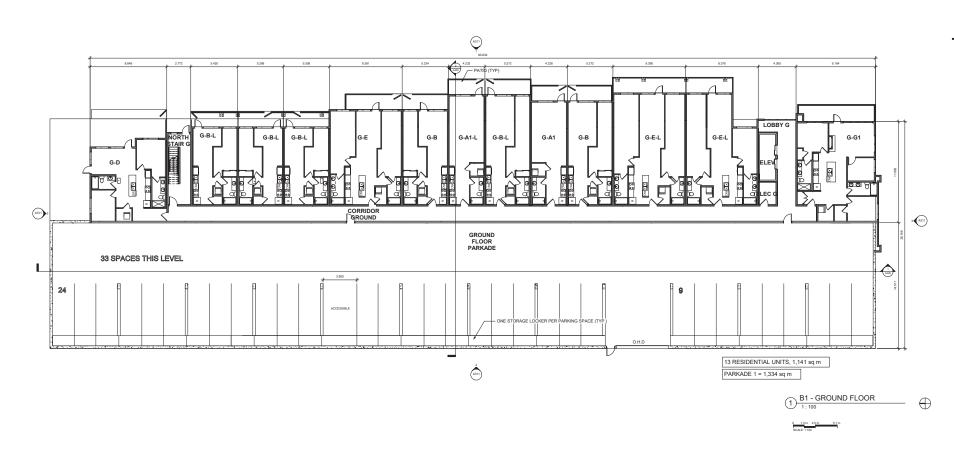










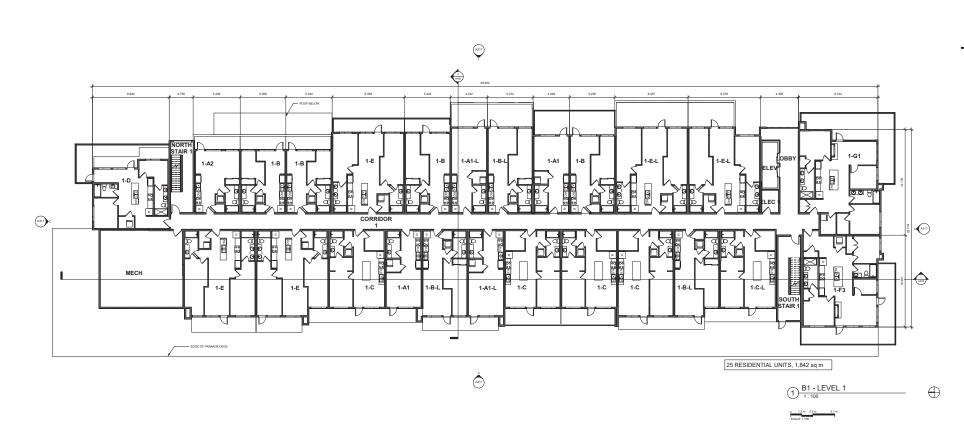




630 Boynton Place Lot A Section 31 Township 26 OSOYOOS DIVISION OF YALE DISTRICT PLAN EPP88227



BUILDING 1-LEVEL 1 113









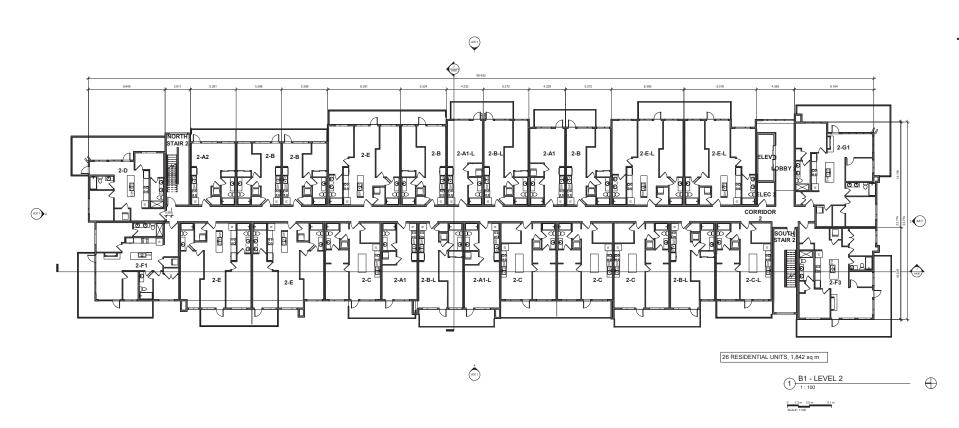


630 Boynton Place Lot A Section 31 TownsHIP 26 OSOYOOS DIVISION OF YALE DISTRICT PLAN EPP98227







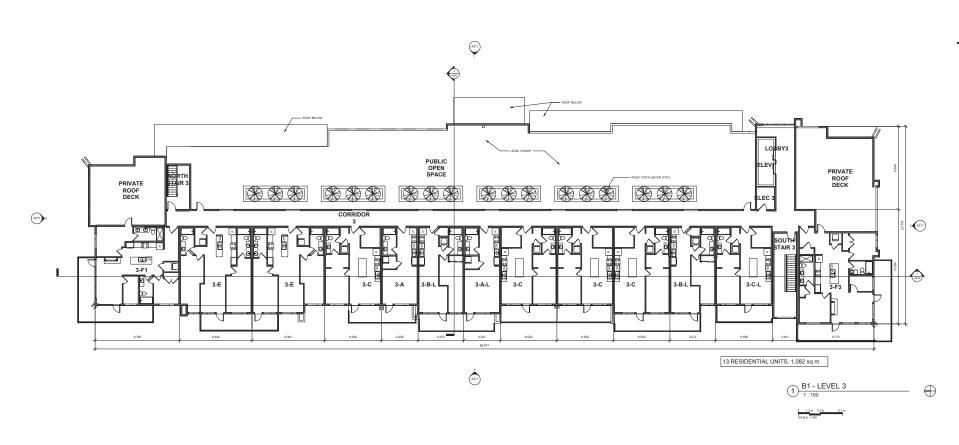




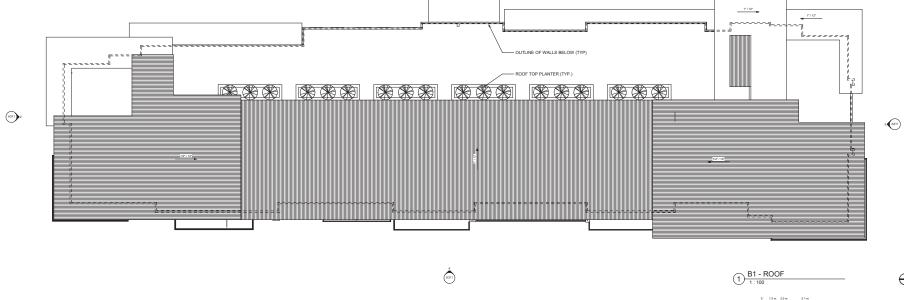
630 Boynton Place Lot A Section 31 Township 26 OSOYOOS DIVISION OF A PALE DISTRICT PLAN EPP88227











 $\oplus$ 

630 Boynton Place

LOTA SECTION 31 TOWNSHIP 26 OSOYOOS DIVISION

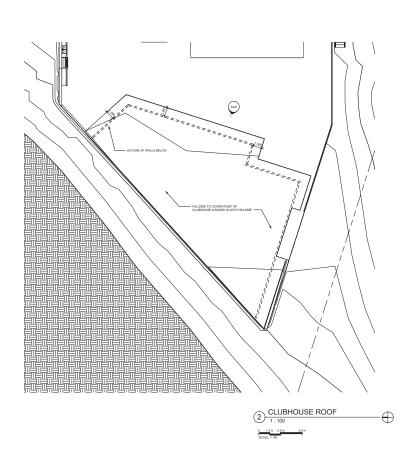
YALE DISTRICT PLAN EPP98227

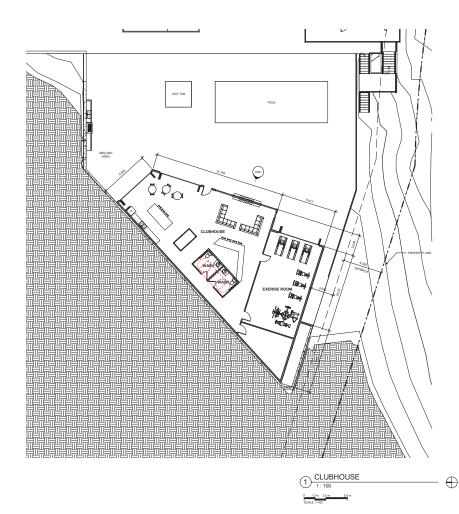












630 BOYNTON PLACE

LOTA SECTION 31 TOWNSHIP 26 OSOYOOS DIVISION
YALE DISTRICT PLAN EPP98227



A150

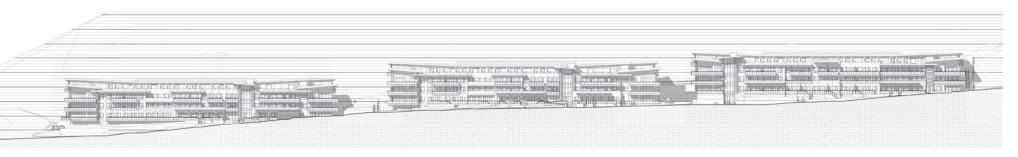


Richard Muller Architect









BOYNTON STREETSCAPE













# COLOUR SCHEME:

CEMENT BOARD 1: JAMES HARDIE

VERTICAL SIDING COLOUR: CEDAR BARK

CEMENT BOARD 2: JAMES HARDIE 0 VERTICAL SIDING

(¢)

JAMES HARDIE LAP SIDING COLOUR: CLASSIC BLACK

LAP SIDING

CEMENT BOARD 3: JAMES HARDIE

COLOUR: BEAVER TAIL



CEMENT BOARD 5: JAMES HARDIE VERTICAL SIDING COLOUR: CLASSIC BLACK

CEMENT BOARD 6: JAMES HARDIE

LAP SIDING - RUSTIC SERIES GCOLOUR: ASPEN RIDGE



DECORATIVE WOOD BRACKETS: HEAVY TIMBER WITH STAIN

MANUFACTURED STONE: ENVIRONMENTAL STONEWORKS - HACKETT

COLOUR: BLACK



LONGBOARD 6" V- GROOVE COLOUR: LIGHT NATIONAL

- SBS ROOF SYSTEM: COLOUR: BLACK
- METAL TRIM, FLASHING & CEMENT BOARD FASCIA COLOUR: BLACK
- K PVC DOOR & WINDOW:
- COLOUR: BLACK FRAME
- RAILING & GATE:

  METAL FRAME w/ TEMPERED GLASS
  COLOUR: BLACK FRAME
- N PRIVACY SCREEN: TEMPERED FROSTED GLASS

Richard Muller Architect



215 S. Wadsworth Blvd. Lakewood, Colorado 80226









BUILDING 1 -COLORED ELEVATIONS

A310 119

Richard Muller Architect

120







# COLOUR SCHEME:



CEMENT BOARD 2: JAMES HARDIE VERTICAL SIDING COLOUR: AGED PEWTER



(C)

JAMES HARDIE LAP SIDING COLOUR: BEAVER TAIL



LAP SIDING COLOUR: CLASSIC BLACK



CEMENT BOARD 5: JAMES HARDIE VERTICAL SIDING COLOUR: CLASSIC BLACK

COLOUR: ASPEN RIDGE



DECORATIVE WOOD BRACKETS: HEAVY TIMBER WITH STAIN

MANUFACTURED STONE: ENVIRONMENTAL STONEWORKS - HACKETT

COLOUR: BLACK



LONGBOARD 6" V- GROOVE COLOUR: LIGHT NATIONAL WALNUT



METAL TRIM, FLASHING & CEMENT BOARD FASCIA COLOUR: BLACK

K PVC DOOR & WINDOW:

COLOUR: BLACK FRAME

RAILING & GATE: METAL FRAME w/ TEMPERED GLASS COLOUR: BLACK FRAME

N PRIVACY SCREEN: TEMPERED FROSTED GLASS

Richard Muller Architect



215 S. Wadsworth Blvd. Lakewood, Colorado 80226

Contact: Richard R. Muller

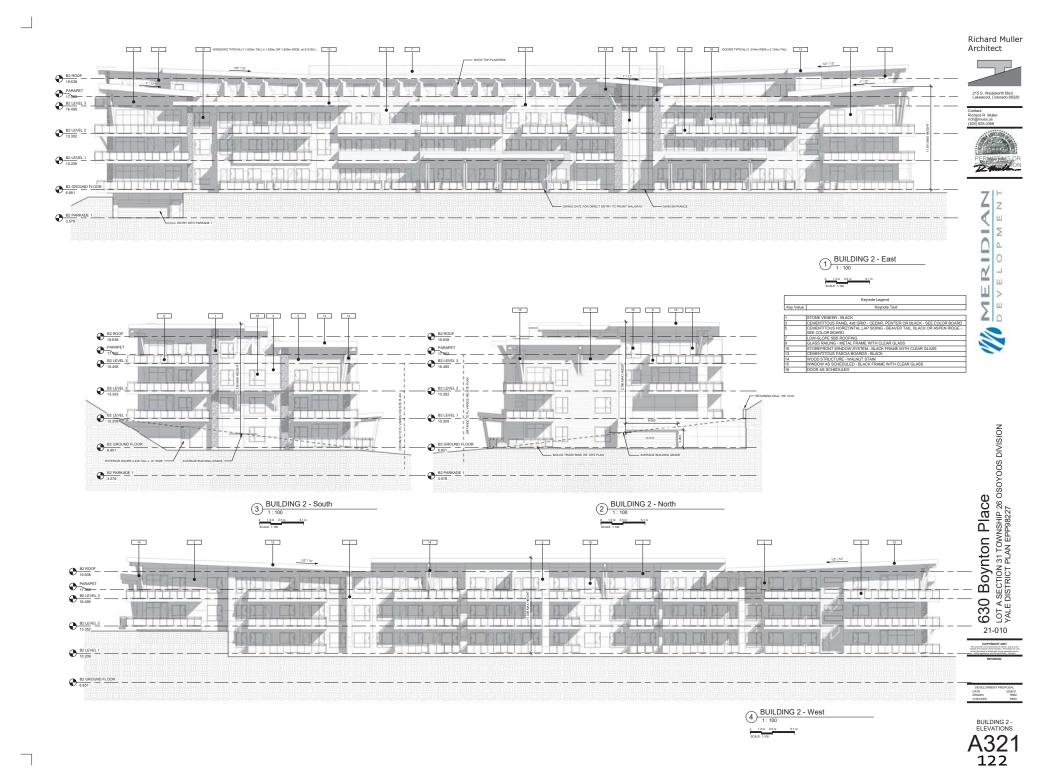


0 -



BUILDING 2 -COLORED ELEVATIONS

A320 121





Richard Muller Architect

215 S. Wadsworth Blvd. Lakewood, Colorado 80226 Contact: Richard R. Muller







WEST ELEVATION

BUILDING 3 -ELEVATIONS

A330 123

COLOUR SCHEME:



COLOUR: CEDAR BARK





(c)

COLOUR: BEAVER TAIL LAP SIDING

JAMES HARDIE

LAP SIDING



CEMENT BOARD 5: JAMES HARDIE VERTICAL SIDING COLOUR: CLASSIC BLACK



DECORATIVE WOOD BRACKETS: HEAVY TIMBER WITH STAIN



LONGBOARD 6" V- GROOVE COLOUR: LIGHT NATIONAL WALNUT

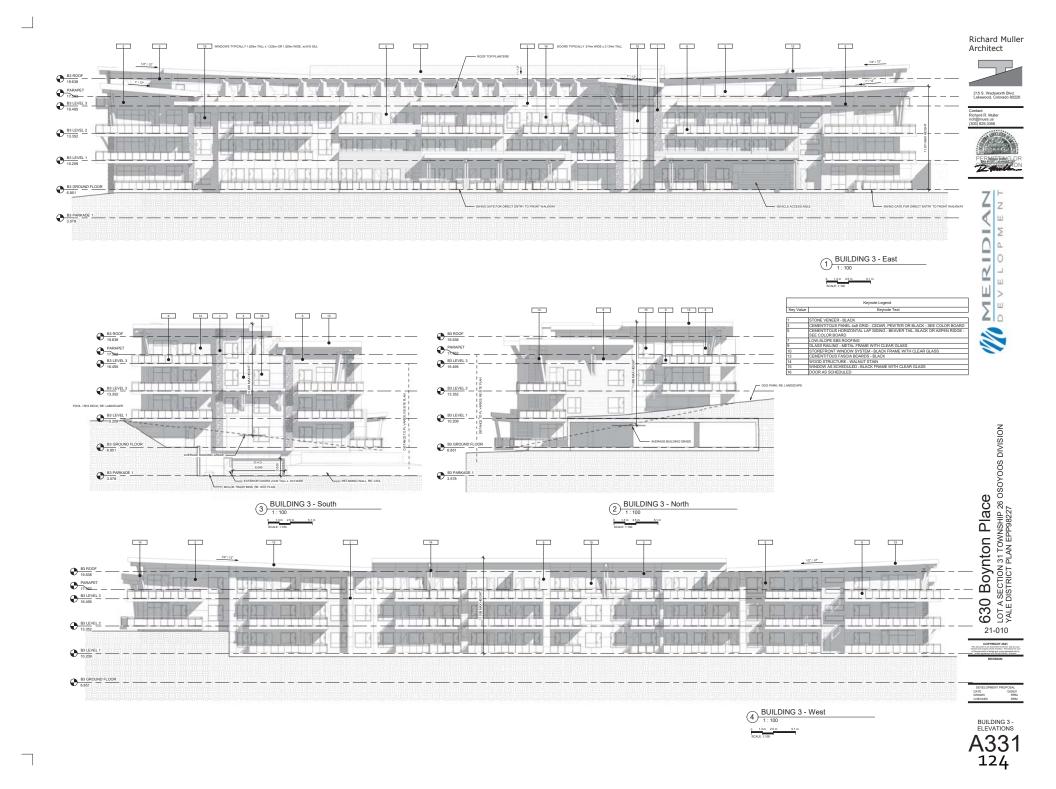


METAL TRIM, FLASHING & CEMENT BOARD FASCIA COLOUR: BLACK

K PVC DOOR & WINDOW:

RAILING & GATE: METAL FRAME w/ TEMPERED GLASS COLOUR: BLACK FRAME N PRIVACY SCREEN: TEMPERED FROSTED GLASS

COLOUR: BLACK FRAME







CLUBHOUSE - EAST ELEVATION

# COLOUR SCHEME:



G MANUFAC ENVIRONI STONEWO COLOUR:



CEMENT BOARD 3:
JAMES HARDIE
LAP SIDING
COLOUR: BEAVER TAIL



(I) GREEN ROOF SYSTEM

J METAL TRIM, FLASHING & CEMENT BOARD FASCIA COLOUR: BLACK

K PVC DOOR & WINDOW:

COLOUR: BLACK FRAME

METAL FRAME w/ TEMPERED GLASS COLOUR: BLACK FRAME

O INDOOR / OUTDOOR FIREPLACE

Richard Muller Architect



215 S. Wadsworth Blvd. Lakewood, Colorado 80226









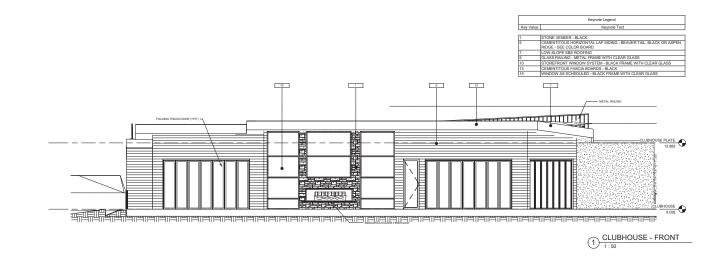


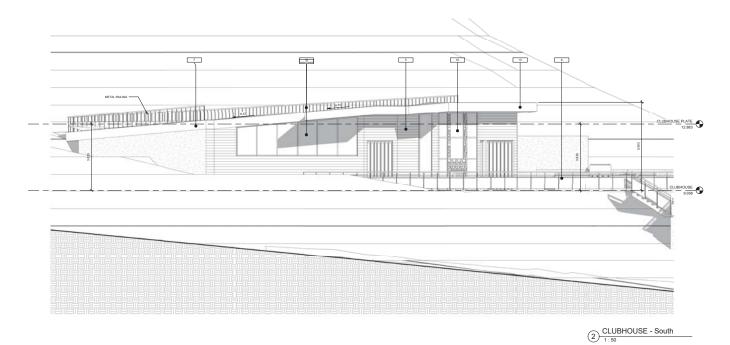
CLUBHOUSE -COLORED ELEVATIONS

A340





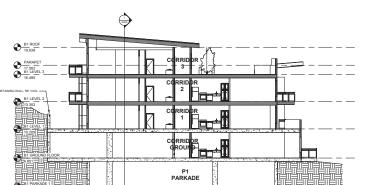






 $\oplus$ 

 $\oplus$ 

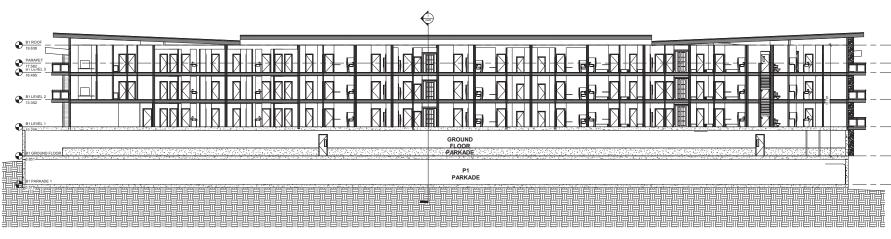


BUILDING 1 - SECTION 1





BUILDING 1-SECTIONS A400 127





215 S. Wadsworth Blvd. Lakewood, Colorado 80226



Ш MERIDI





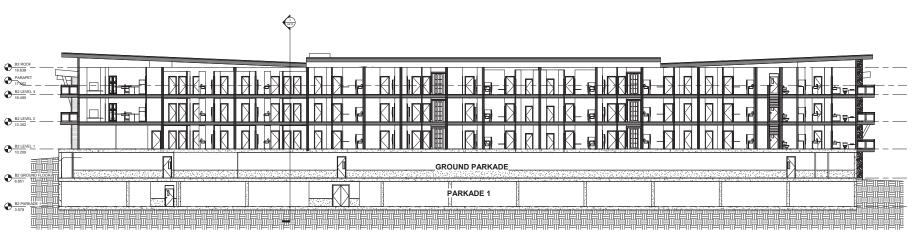




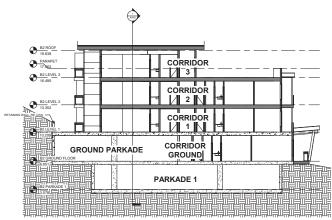


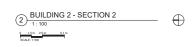


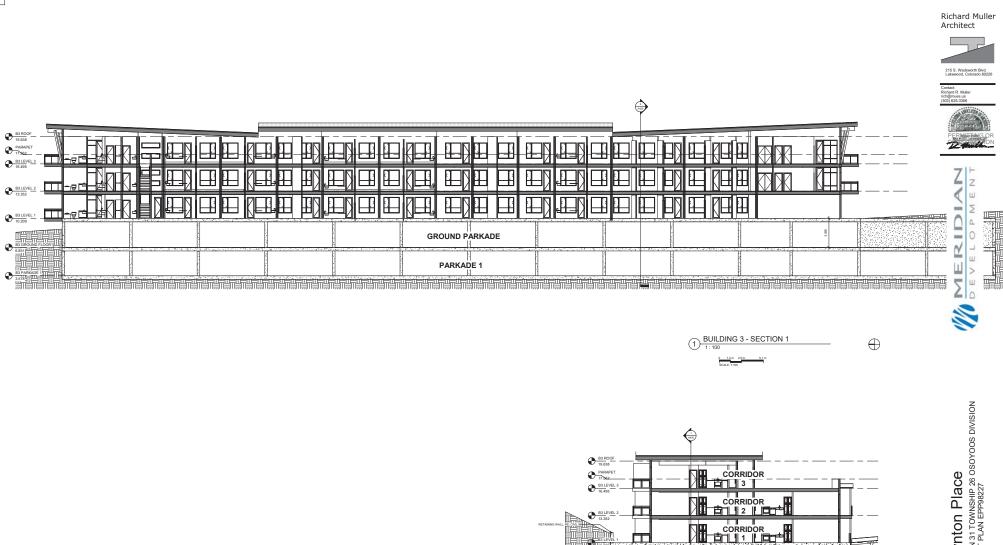
BUILDING 2-SECTIONS A41( 128













CORRIDOR GROUND

BUILDING 3 - SECTION 2

PARKADE 1

 $\oplus$ 

GROUND PARKADE

WINTER SOLSTICE



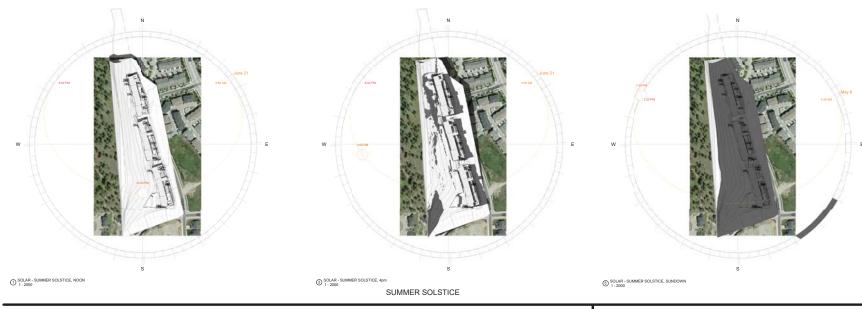
Richard Muller Architect

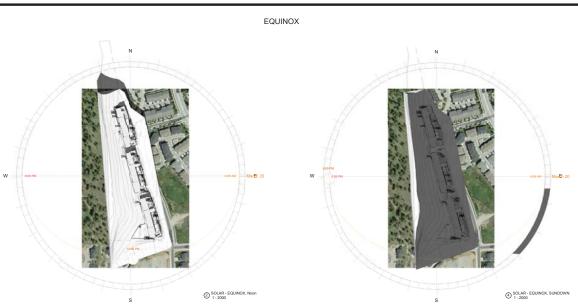
# \$\frac{1}{2}\$ 630 BOYNTON PLACE \$\frac{1}{2}\$ LOT A SECTION 31 TOWNSHIP 26 OSOYOOS DIVISION \$\frac{1}{2}\$ YALE DISTRICT PLAN EPP96227



6 SOLAR - WINTER SOLSTICE, Noon 1:2000

A900





# 630 BOYNTON PLACE

## KELOWNA, BC

# LANDSCAPE DRAWING LIST:

1-4 HYDROZONE BIAN

L-I LANDSCAPE PLAN: NORTH ENLARGEMENT

L-2 LANDSCAPE PLAN: SOUTH ENLARGEMENT

GENERAL DEVELOPMENT PERMIT NOTES:

A RANT MATERIAL AND CONTRICTION HET TOOLS SHALL CONFIGN TO MANGANE TRANSMISS ETABLISTS IN A RANT MATERIAL AND CONTRICTION HET TOOLS SHALL CONFIGN TO MANGANE TRANSMISS ETABLISTS IN A RANT MATERIAL AND COLLAR AN

F RELOWINA'S IRRIGATION STANDARDS IN BYLAW 7900.

EET CITY OF KELOWINA 'CLASS 4' STANDARD AND BE LAD OUT IN THE FIELD TO MINIMIZE SITE.

E. UNDER THE SUPERVISION OF THE PROJECT BOLOGIST AND LANDSCAPE ARCHITECT.

ORNAMENTAL PLANT LIST:

RESTORATION PLANT LIST:

**SCHEDULE** 

This forms part of application # DP22-0054

Planner Initials

WM

City of Kélowna DEVELOPMENT PLANNING

SOUTH ENLARGEMENT (REFER TO DWG. L.2)	BULDING 2	BUILDING 1	PROPERTY LINE DESTRICT CONSCION TO MAKE MOSTERS AND TO MOST MOST MAKE MOST M



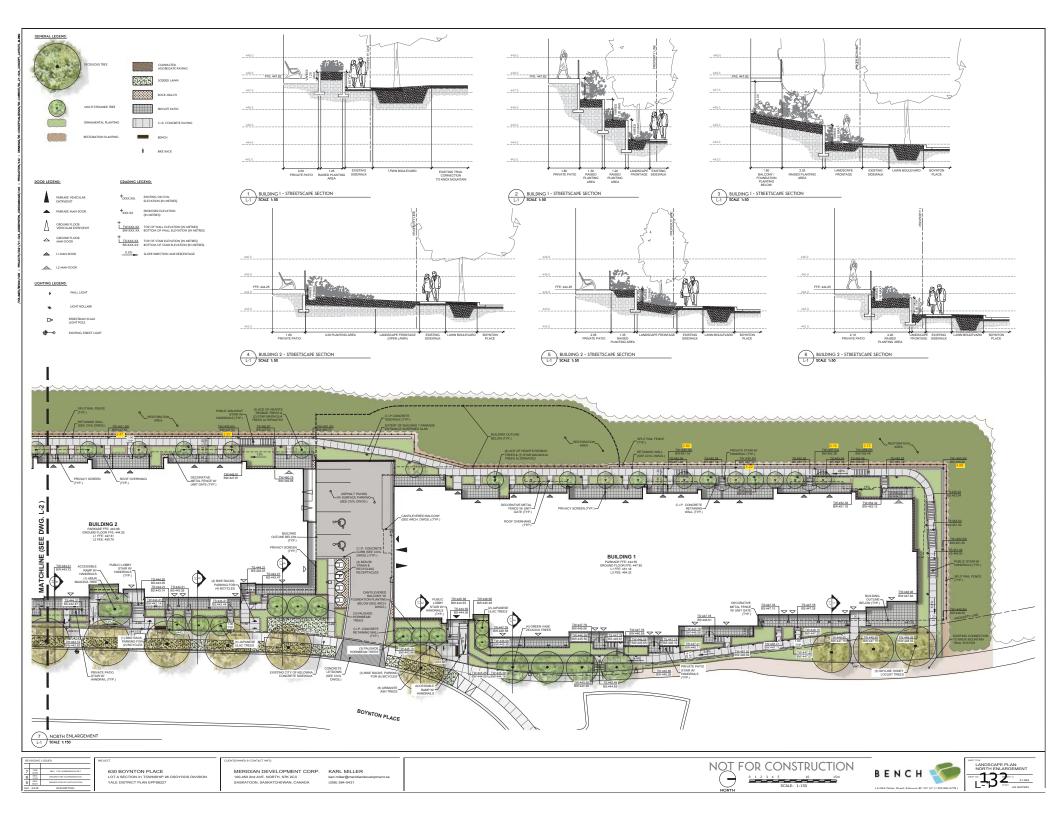
630 BOYNTON PLACE LOT A SECTION 31 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN EPP98227 MERIDIAN DEVELOPMENT CORP. KARL MILLER SASKATOON, SASKATCHEWAN, CANADA

karl.miller@meric (306) 384-0431

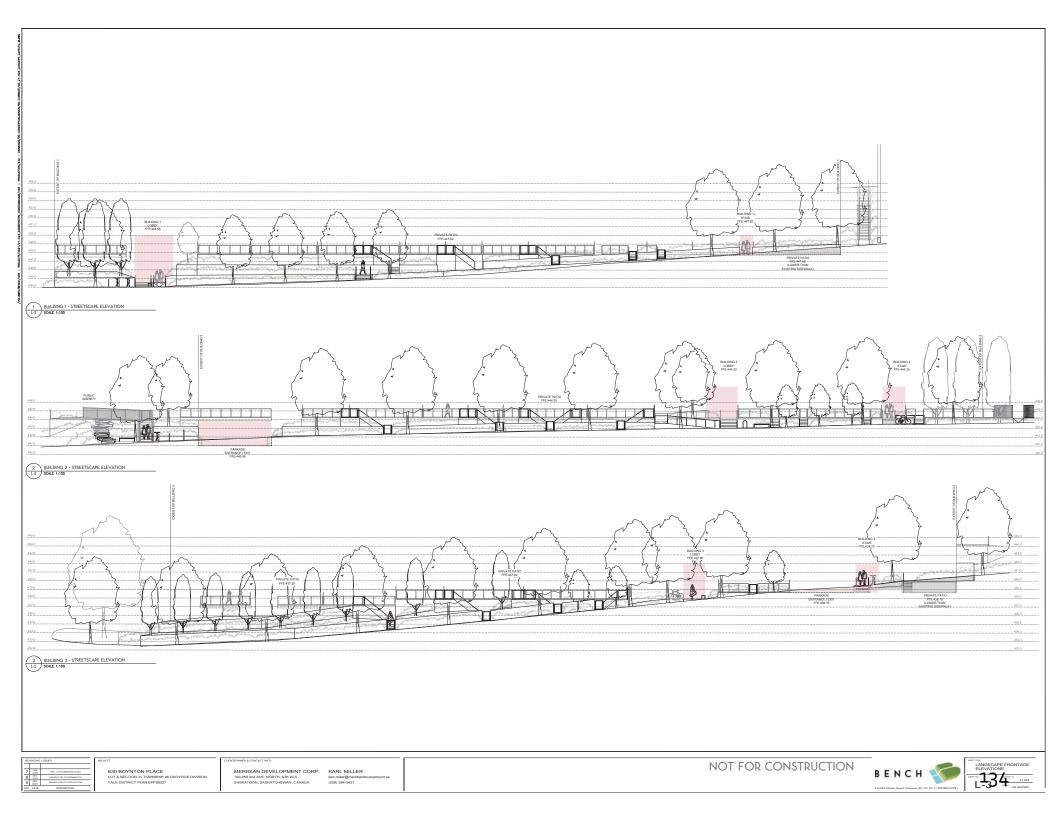


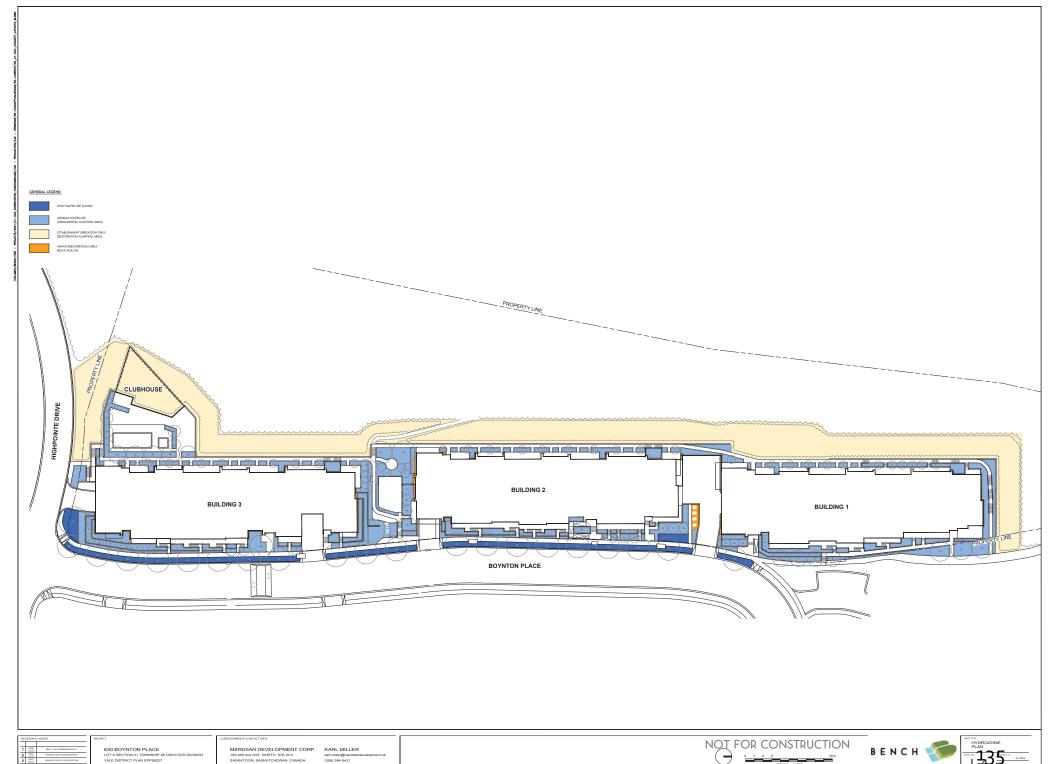












630 BOYNTON PLACE LOT A SECTION 31 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN EPP98227











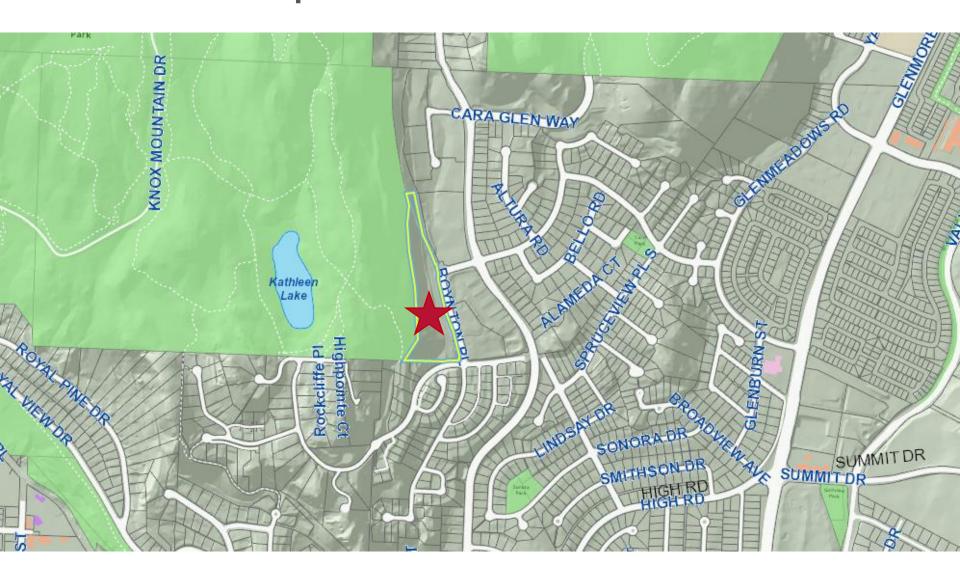
# Proposal

➤ To consider a Development Permit and Development Variance Permit for the form and character of a residential development with variances to maximum building height, frontage and retaining wall height.

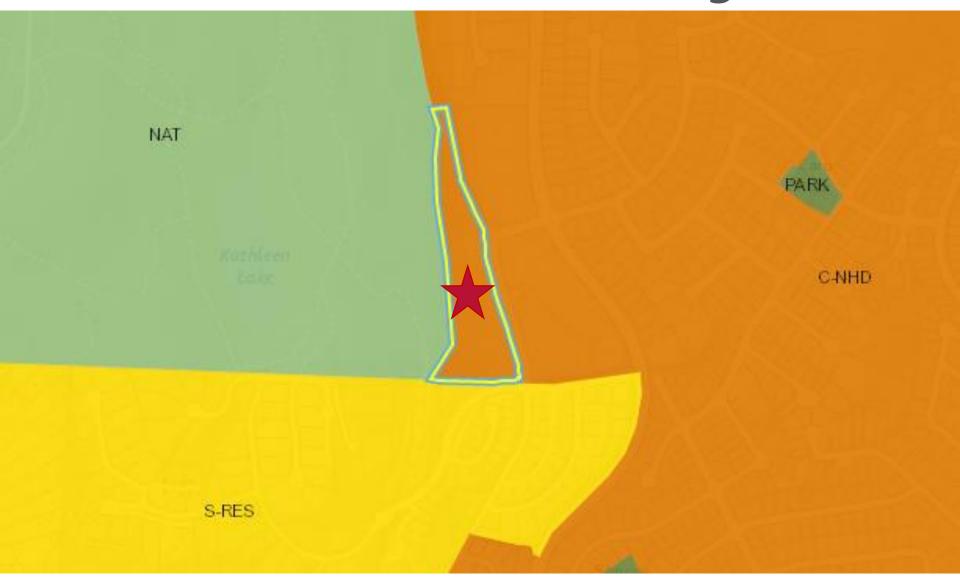
# Development Process



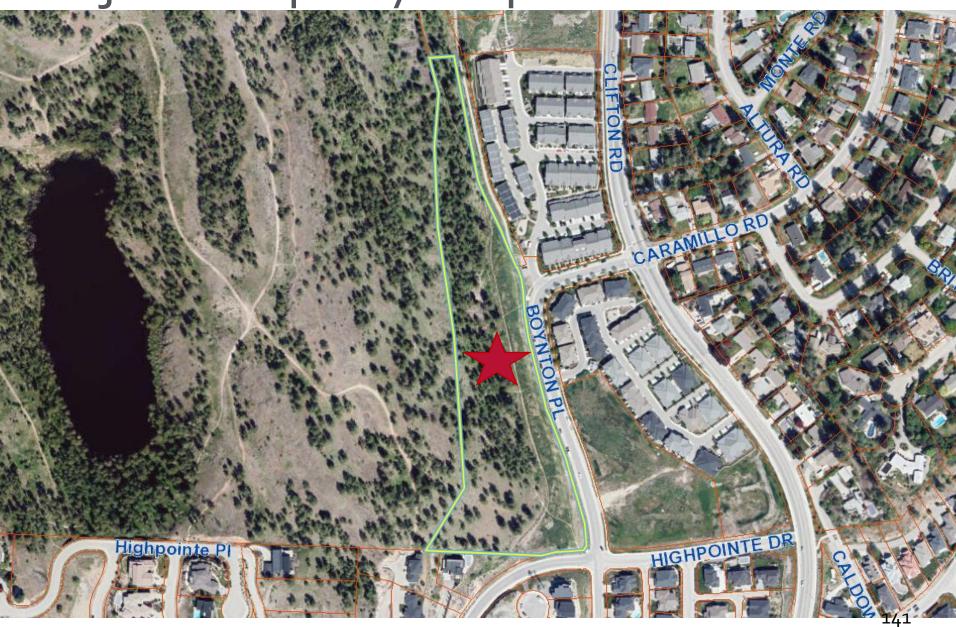
# Context Map



# OCP Future Land Use / Zoning



Subject Property Map



# Subject Property Photo

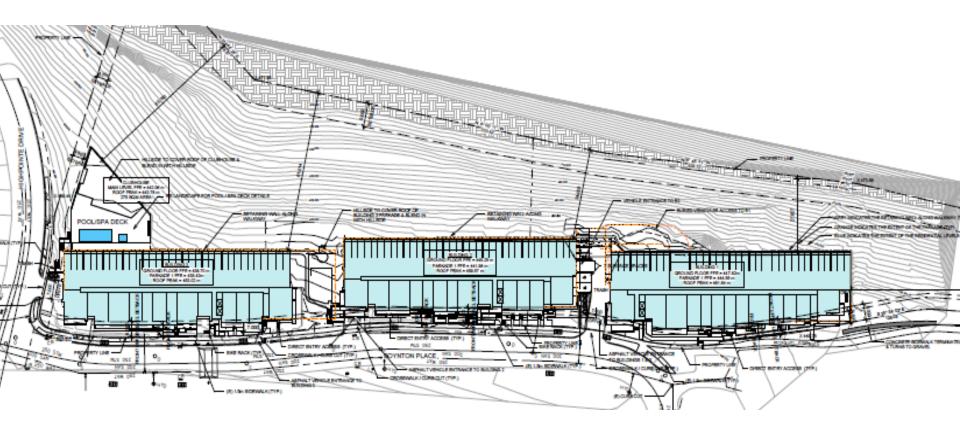




# Project Details

- ► Multi-family residential development
- ▶ 227 units
  - Studio, one and two bedroom units
  - ► Three buildings 4 storeys
  - Underground parkades
- ► Identified variances to maximum building height, frontage and retaining wall height.

## Site Plan



## Elevations - Building 1



## Elevations – Building 2



## Elevations – Building 3



STONEWORKS - HACKETT

COLOUR: BLICK

CG,OUR LIGHT NATIONAL

METALTRIM FLASHING & CRIMINT BOARD HARCH COLOR BLICK

OF STERRES AND PROPERTY.

VERTICAL SIDING

CODUM: ILASSIC BLACK

IMES HOTEL STREET (G)

VERTHAL SIBNG

COLOUR CEIMR BANK

COLDIR: AGD PENTER

LAP SHOWS

JUST RIVAGE RUOLDO

EALINE & GAE METAL WARR of TEMPERIO GLASS COLOGO BLAY FRANC

## Elevations – Club House

CEMINT BOARD 3 JUDIS TUDRUE LAP 10ING COLOUR BIAVERTAIL

COIDUR : GHT SATIONAL

COLOUR SCHEME

OLOUR CEIMR BAIRK

MANUFACTIRED STONE ENVIRONMENTAL STONEWORKS - HICKETT



CLUBHOUSE - PRONT ELEVATION

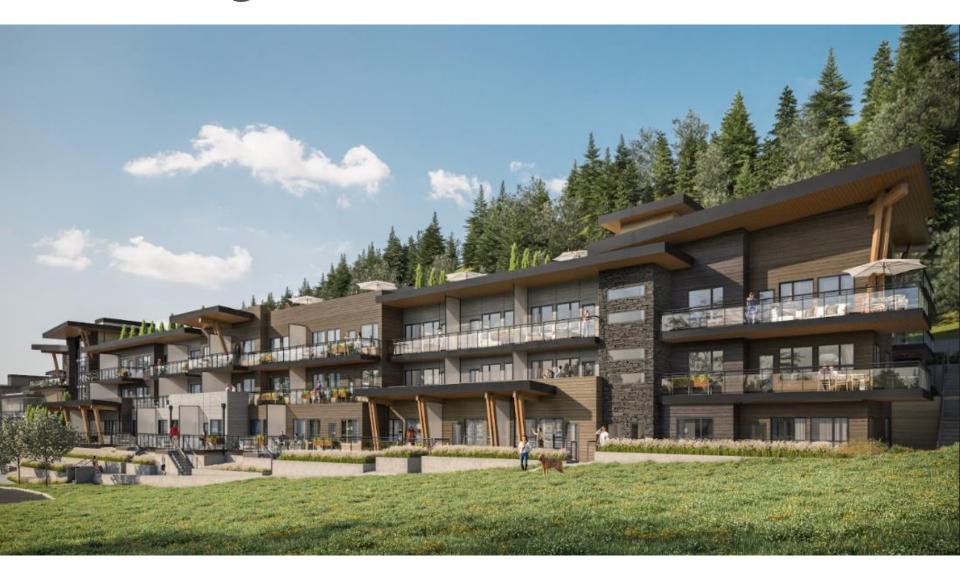


OREEN FOOF TYSTEN
 STREEPONT WINDOW SYSTEM
 STR

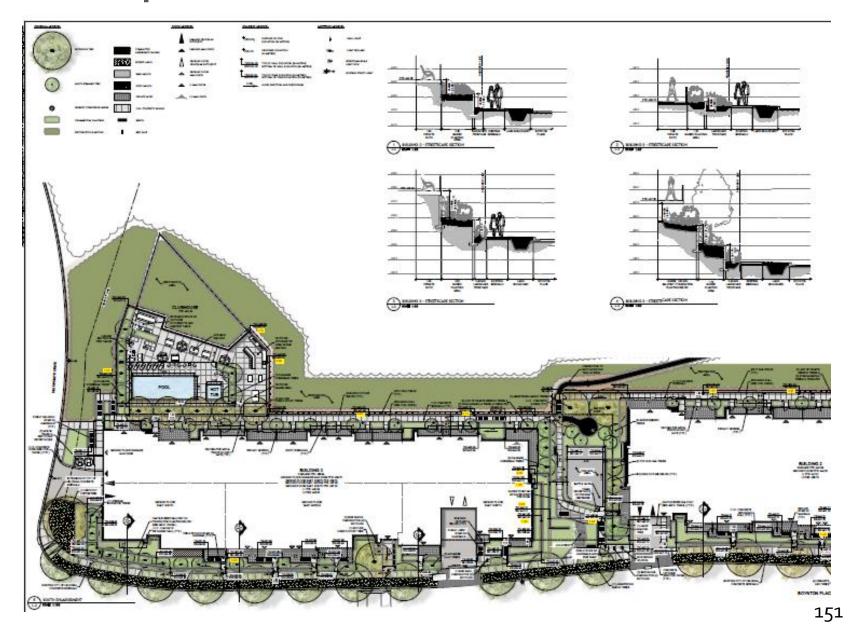
# Renderings



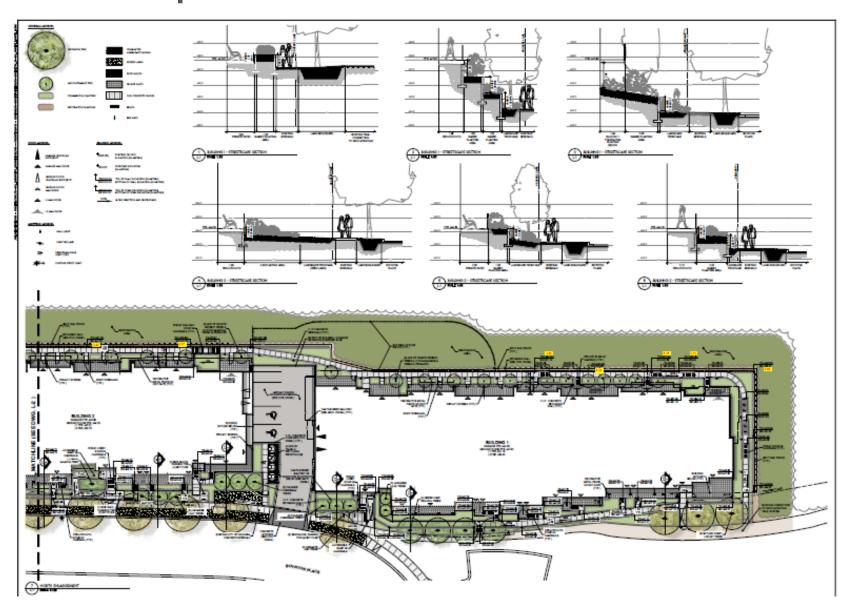
# Renderings



# Landscape Plan



# Landscape Plan





## Staff Recommendation

- Staff recommend support for the development permit and development variance permit application
  - Consistent with OCP Design Guidelines;
  - Provides a mix of housing types;
  - Meets zoning regulations in regards to:
    - Parking requirements
    - Open space requirements



## Conclusion of Staff Remarks





630 Boynton Place

# COMMUNITY DRIVEN

For nearly two decades,
Meridian Development has
been devoted to building
lifestyles through residential,
mixed-use, and commercial
projects across Western
Canada.













#### NEIGHBOURHOOD CONSULTATION

The 630 Boynton Place team undertook neighbourhood consultation initiatives, including:

- Delivery of a comprehensive project information brochure to all neighbours within 100m radius (50m required)
- 232 brochures and 28 responses (12% response rate)
- Follow up meetings on site with interested neighbours (6)



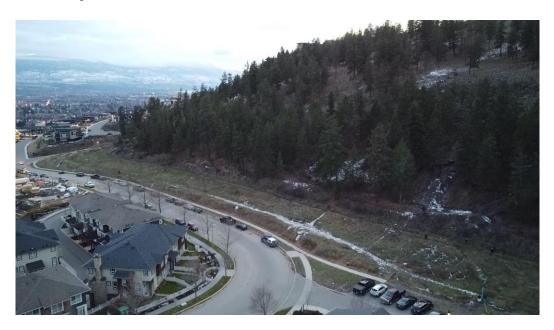
Brochures were delivered to all homes in the highlighted area.



### A UNIQUE SITE

The site presents several technical challenges that need to be considered in order to create the proposed density while minimizing the impacts on the mountainside:

- Site configuration
- Significant slopes running both East to West and North to South
- Adjacent to Knox Mountain Park

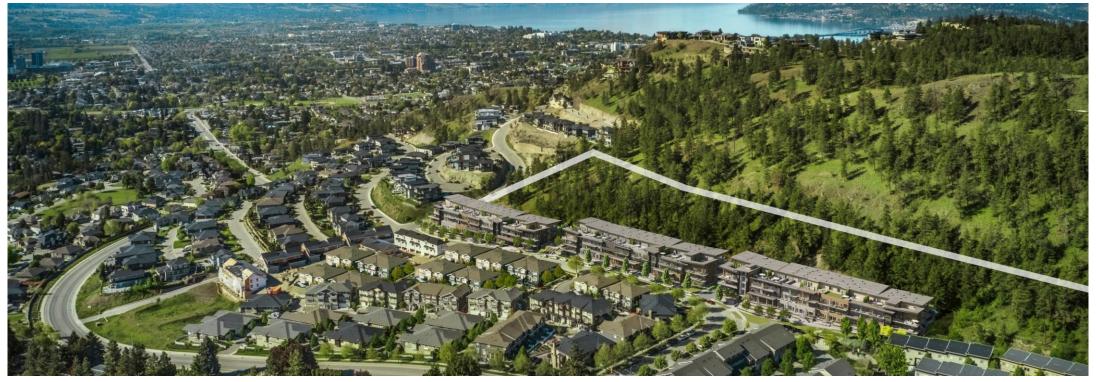






#### OUR DESIGN OBJECTIVES

The key design focus for this project has been to concentrate development low on the site - with accessible green/open space, minimum mountainside impacts, preservation of trees, and mountain views for the neighbourhood.

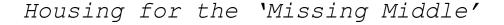


Approximate boundaries based on artist's rendition



#### OUR DESIGN OBJECTIVES

- Respect site character and neighbourhood context
- Sensitive to human scale
- Create a project that maintains neighbourhood access to greenspace
- Respond to City of Kelowna area plan and policy objectives for creating new housing



- Increased density in core areas
- Provide opportunities for a variety of household types, income levels, and life stages









#### DESIGN EVOLUTION

- Property is zoned RM4 for primarily low-rise, lowdensity apartment housing with urban services as a transition between low and medium density development (source: Section 13 – Urban Residential Zones).
- As laid out in the original plan by the land developer and City of Kelowna, the site was designed for a density of up to 300 units.
- When designed, the neighbourhood infrastructure planned to support higher density for this parcel and the adjacent developments.

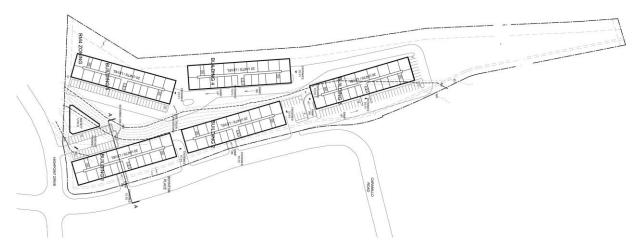
### Development agreement allowed for higher density



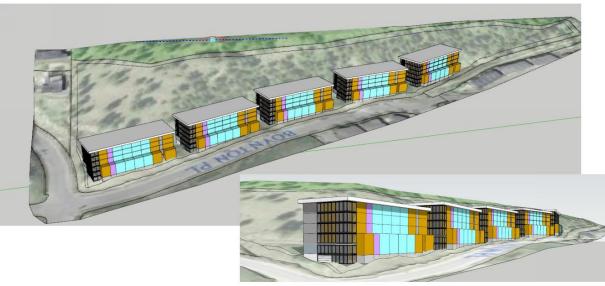
Development agreement allowed for higher density



### DESIGN EVOLUTION



Concept 1: Approximately 300 units



Concept 2: Approximately 280 units



### DESIGN EVOLUTION



Current Proposal: 227 Units



### ZONING SUMMARY

ITEM	REQUIRED	PROPOSED
Zoning	RM4	RM4
Site Coverage	50% maximum	29%
Distance between buildings	3 metres minimum	13m and 18m
Height	3 storeys or 13m	4 storeys, varies from 14.5m to 19.1m
Parking stalls	326	327
Bike Parking	347	347
Amenity Space	13,051 sqft	15,392 sqft



#### VARIANCE SUMMARY

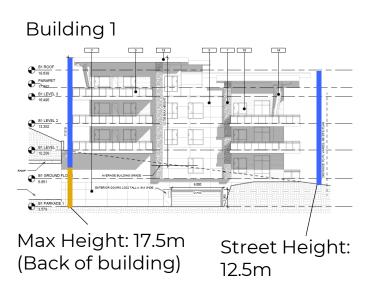
- 1. **Building Height** the proposed height varies up 19.1m at the highest point, a variance from the stipulated 13m.
- 2. Retaining Wall Height from the stipulated 1.2m meters to a maximum of 5.16m.
- 3. Building Frontage the proposed buildings are 90m, a variance from 40m in the zoning bylaw.

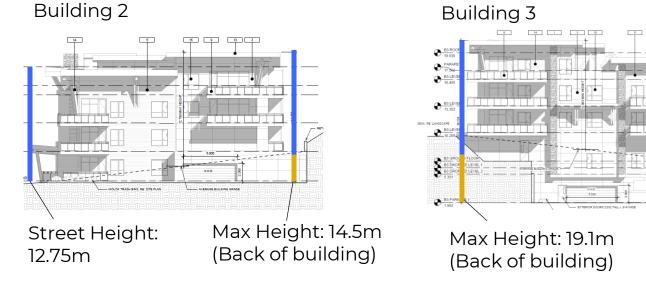
**Note:** we are not requesting a parking variance.



## Variance 1 BUILDING HEIGHT

The requested variance allows buildings to 'step' up and follow the natural grade of the terrain. The highest point of each building is at the back of the buildings.







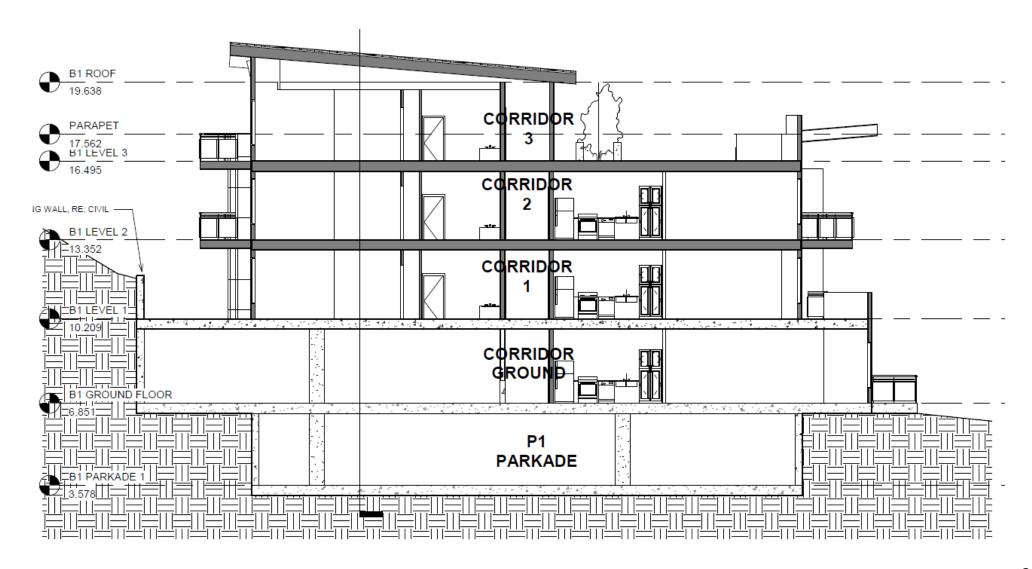




Street Height:

13.7m

### STEPPED BACK ROOFLINES





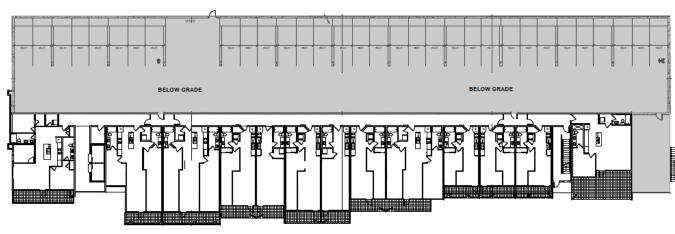
#### Variance 2

#### BUILDING LENGTH

- Each building is designed with numerous articulations to help break up the massing and provide architectural features and interest, with the longest span being 19m.
- The total building frontage (3 buildings) is 90m and we have broken up the massing and added architectural features to create visual interest, so the buildings don't appear to be one large mass.
- Additional spacing between the buildings enhances the articulation and preserves access and view corridors.
- This variance enables us to concentrate development to the low flat area of the site, rather than building into the mountainside.



# Variance 2 BUILDING LENGTH



Typical frontage - articulation

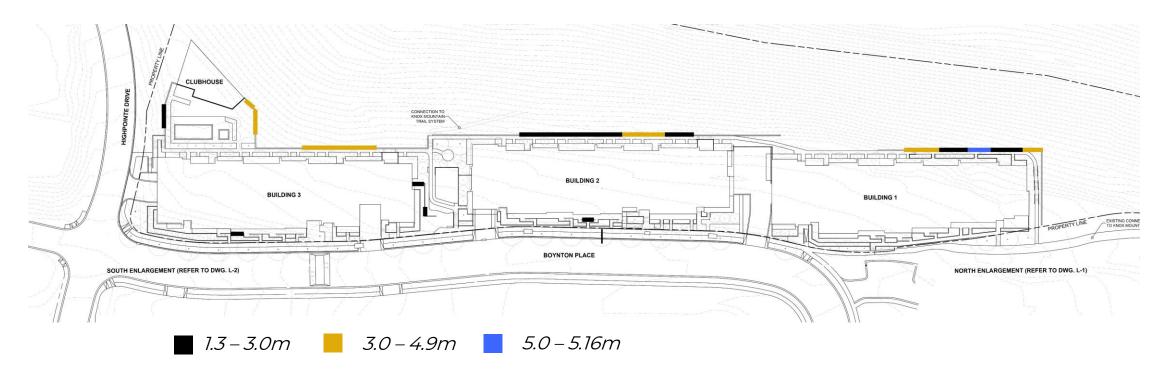




## Variance 3 RETAINING WALL

This site is extremely complex with significant elevation changes from both East to West and North to South. The retaining wall heights have been minimized as much as possible, however there are some locations where the retaining walls will be above the stipulated 1.2m.

We have, where possible, placed the higher walls behind the building to limit visual impacts.





### COMMUNITY AMENITIES - TRAIL LINKS





### COMMUNITY AMENITIES -"THE LINK"





#### DESIGN SUMMARY

- Buildings are concentrated along existing street frontages to accommodate existing vegetation and disturb/remove as few trees as possible.
- 71% (5.5 acres) of the land is not being developed and left as open space for the community.
- Use of a shoring wall, which will reduce development impacts to the mountainside.
- Designed a 'stepped-back' roofline which avoids a 'tunnel' effect along Boynton Place.
- Designed direct-entry homes on the lower levels, providing a pedestrian and community-friendly environment
- Enhanced **building separation** provides additional articulation and views 'through' the site.
- Creation of 'The Link' a pedestrian gateway through the property leading to Knox Mountain Park.











Thank You

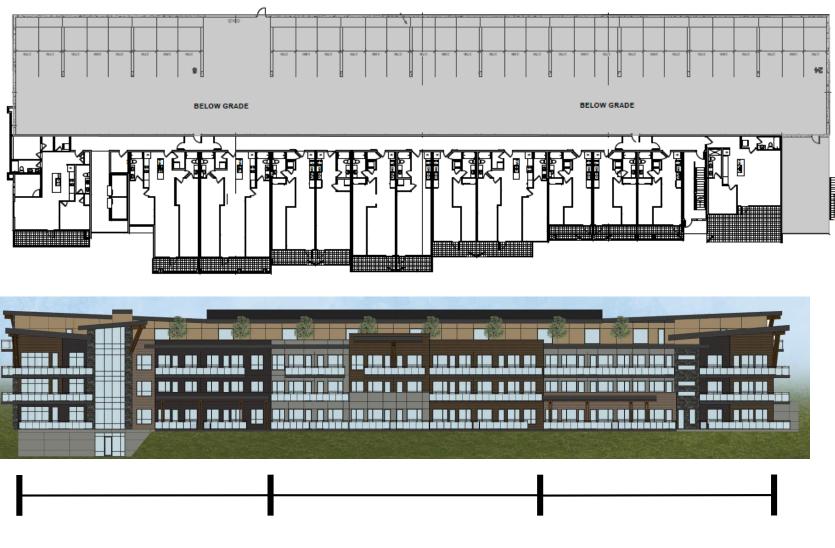
# APPENDIX A - COMPARISON TO FORMER

PROJECT BURIED VEHICULAR ACCESS BOYNTON PLACE EXTENT OF PREVIOUS PROPOSED DEVELOPMENT



### APPENDIX B - BUILDING ARTICULATION

Building 1





30.7m 32.4m 27.5m

#### CITY OF KELOWNA

#### BYLAW NO. 12282 Z21-0040 2590 Richter Street

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- 1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 28 District Lot 14 ODYD Plan 3249 located on Richter Street, Kelowna, BC from the RU6 Two Dwelling Housing zone to the RM3 Low Density Multiple Housing zone.
- 2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 4<sup>th</sup> day of October, 2021.

Public Hearing waived by the Municipal Council this 4<sup>th</sup> day of October, 2021.

Read a second and third time by the Municipal Council this  $25^{\text{th}}$  day of October, 2021.

Adopted by the Municipal Council of the City of Kelowna this

Mayor
City Clerk

#### REPORT TO COUNCIL



**Date:** July 12, 2022

To: Council

From: City Manager

**Department:** Development Planning

Address: 2590 Richter Street Applicant: Calgreen Homes

Subject: Development Permit and Development Variance Permit Application

**Existing OCP Designation:** C-NHD – Core Area Neighbourhood

**Existing Zone:** RM<sub>3</sub> – Low Density Multiple Housing

#### 1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 12282 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP21-0098 for Lot 28 District Lot 14 ODYD Plan 3249, located at 2590 Richter Street, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0099 for Lot 28 District Lot 14 ODYD Plan 3249, located at 1290 Richter Street, Kelowna, BC;

AND THAT variances to the following section of the Zoning Bylaw No. 8000 be granted:

#### <u>Section 8.2.2 – Off-Street Parking Regulations – Parking Setbacks:</u>

To vary the required side yard and rear yard parking setback from 1.5 m required to 0.0 m proposed.

#### Section 13.9.6(f) - RM3 - Low Density Multiple Housing Development Regulations:

To vary the rear yard setback from 7.5 m required to 5.08 m proposed.

AND FURTHER THAT this Development Permit and Development Variance Permit are valid for two (2) years from the date of Council approval, with no opportunity to extend.

#### 2.0 Purpose

To issue a Development Permit for the form and character of a new 5-unit multi-family development and to issue a Development Variance Permit to vary the rear yard setback and the required rear yard and side yard parking setbacks.

#### 3.0 Development Planning

Staff support the proposed development and the associated variances to the rear yard setback and parking setbacks due to the proposal's consistency with the Official Community Plan's (OCP) Urban Design Guidelines. The subject property has the Future Land Use Designation of Core Area Neighbourhood, and the proposed five plex has been designed in a sensitive manner and provides a gentle increase in density along Richter Street. The form and character of the proposed building is strong and meets the majority of the Form & Character Development Permit Guidelines.

The proposal includes two variances: one to the rear yard setback and the second to on-site parking setbacks. Staff believe the building has been designed to be sensitive to the neighbourhood, and the building has been oriented towards Richter St. This serves to provide vehicle access from the north laneway, which limits the impact to the neighbouring properties. The balcony and windows have been oriented towards the fronting street and laneway. A 3.0 m landscape buffer including several shade trees are proposed adjacent to the property line. The parking setback variances is off the laneway, and the applicant has included a screen from the neighbouring property. Allowing parking directly accessed from the lane, has created an opportunity to include additional private open space and landscaping in the rear of the property. Overall, Staff are supportive of the proposed Development Permit and Development Variance Permit, and believe it is a sensitive increase in density along a Transit Supportive Corridor.

#### 4.0 Proposal

#### 4.1 Project Description

The Development Permit and Development Variance Permit Applications propose five new residential dwelling units. The five units will be contained within the same building. Two of the units will have direct ground-oriented access to Richter Street. The other three units will be accessed through a walkway. The proposed units are 8.92m in height and will all have rooftop patios, which will allow them to meet the required private open space. The proposal includes several materials including dark grey and white stucco, wood textured metal board, concrete and cultured stone. The applicant has submitted a Landscape Plan (Schedule C), which shows four large maple trees on the south and west property lines, which will help with privacy and buffering. The plan also includes shrubs, hedges, perennials, and grasses throughout the site.

#### 4.2 Site Context

The subject property is located in the Central City OCP Sector, and the surrounding area is primarily zoned RU6 – Two Dwelling Housing and RM1 – Four Dwelling Housing. The surrounding area also has the Future Land Use Designation of C-NHD – Core Area Neighbourhood.

#### Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing	Single-Family Dwellings(s)
East	RU6 – Two Dwelling Housing	Single-Family Dwelling
South	RU6 – Two Dwelling Housing	Semi-Detached Housing
West	RM1 – Four Dwelling Housing	Fourplex Housing

#### Subject Property Map: 2590 Richter Street



#### 4.3 Zoning Analysis Table

	Zoning Analysis Table								
CRITERIA	RM <sub>3</sub> ZONE REQUIREMENTS	PROPOSAL							
	Existing Lot/Subdivision Regulations	s							
Min. Lot Area	900m²	749m²							
Min. Lot Width	21.34M	30.om							
Min. Lot Depth	35.1m	30.om							
	Development Regulations								
Max. Floor Area Ratio	0.8	0.796							
Max. Site Coverage (buildings)	50%	43%							
Max. Site Coverage (buildings, parking, driveways)	65%	64%							
Max. Height	10.0m	8.92m							
Min. Front Yard	1.5m	3.78m							
Min. Side Yard (south)	4.om	4.om							
Min. Side Yard (north)	1.2M	2.69m							
Min. Rear Yard	7.5m	5.08m <b>0</b>							

Other Regulations							
Min. Parking Requirements	10	10					
Min. Bicycle Parking	4	5					
Min. Parking Setback – Side Yard	1.5m	o.om <b>2</b>					
Min. Parking Setback − Rear Yard 1.5m o.om  o.om  o.om  o.om							
• Indicates a requested variance to Section 13.9.6f – RM3 – Low Density Multiple Housing Development Regulations							
2 Indicates a requested variance to Section 8.2.2 – Off-Street Parking Regulations							

#### 5.0 Current Development Policies

#### 5.1 Kelowna Official Community Plan (OCP)

Objective 5.3 Design	Objective 5.3 Design residential infill to be sensitive to neighbourhood context.						
Policy 5.3.1 Ground Oriented Infill	Encourage gentle densification in the form of ground-oriented residential uses such as house-plexes, townhouses, and narrow lot housing to approximately 2						
	storeys, maintaining residential uses and setbacks that reflect the existing development pattern. Consider opportunities for greater height and massing at block ends and along Active Transportation Corridors.						
	The proposal includes ground-oriented housing along Richter Street and is a subtle and gentle increase in densification.						

#### 6.0 Application Chronology

Date of Application Accepted: April 28, 2021
Date Public Consultation Completed: July 12, 2021

**Report prepared by:** Tyler Caswell, Planner

Reviewed by: Lydia Korolchuk, Urban Planning Manager

**Reviewed by:** Terry Barton, Development Planning Department Manager

Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

#### Attachments:

Attachment A: Draft Development Permit DP21-0098 / DVP21-0099

Schedule A: Site Plan

Schedule B: Elevation Drawings Schedule C: Landscape Plan

Attachment B: Form & Character Development Permit Guidelines (Townhouses + Apartment)

# Development Permit & Development Variance Permit DP21-0098 / DVP21-0099



This permit relates to land in the City of Kelowna municipally known as 2590 Richter Street

and legally known as Lot 28 District Lot 14 ODYD Plan 3249

and permits the land to be used for the following development:

#### RM3 - Low Density Multiple Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u> July 12<sup>th</sup>, 2022

Decision By: COUNCIL

<u>Development Permit Area:</u> Form and Character Development Permit Area

Existing Zone: RM3 – Low Density Multiple Housing

Future Land Use Designation: C-NHD – Core Area Neighbourhood

#### This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

#### NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Linguo Zhang

Applicant: Calgreen Homes

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date



#### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

#### 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.
- e) That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A" Section 8.2.2 – Off-Street Parking Regulations – Parking Setbacks:

To vary the required side yard and rear yard parking setback from 1.5m required to 0.0m proposed.

#### Section 13.9.6f - RM3 - Low Density Multiple Housing Regulations:

To vary the rear yard setback from 7.5m required to 5.08m proposed.

This Development Permit is valid for two (2) years <u>from the date of approval</u>, with no opportunity to extend.

#### 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

#### a) An Irrevocable Letter of Credit OR certified cheque in the amount of \$25,965.63

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

#### 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:



a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.







#### **FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES**

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
3.3 Infill Guidelines						
3.3.1 Relationship to the Street						
Primary façade of built form is facing the street frontage. For lots with multiple frontages, buildings are oriented and designed to address flanking streets through architectural and landscape treatments including, but not limited to, front doors and windows.					<b>√</b>	
Units are facing street frontage and have entries oriented and are clearly assessable and visible from the street.						✓
Primary entrance of the unit is clearly visible and directly accessible from a public street or public walkway. Main entrance has a prominent architectural feature such as stoops, porches, shared landings, patios, recessed entries, and canopies.					<b>√</b>	
Where applicable, units are orienting towards the rear of the property to face laneways with prominent building entrances, lighting, landscaping to reinforce a safe and attractive public realm along the laneway.						<b>√</b>
3.3.2 Scale and Massing		1		1 /	_	
Proposed higher density housing forms are replicating positive attributes of adjacent housing (e.g.: rooflines, front porches, entrance features).				<b>V</b>		
Large buildings are breaking down their massing to reflect the scale of surrounding buildings by using sub-forms and façade articulations.			<b>✓</b>			
Building height, scale and setbacks are reinforcing a general consistent street rhythm. Overall design limits significant real or perceived height difference between new and existing development in the surrounding area.			<b>√</b>			
Buildings with more than one unit have articulated individual units through integration of recessed entries, balconies, materials, and projections/recesses in façade. Symmetrical units are not recommended.					<b>√</b>	
3.3.3 Site Planning		1		1	1	
Where possible, buildings are located on site to protect mature trees.	✓					
Where possible, built form is maintaining general consistency with established setbacks on primary and secondary streets.				<b>√</b>		
Interior spaces and outdoor amenity areas have maximum sunlight access.					<b>✓</b>	
Storm drainage infrastructure, such as rock pits should be avoided.			✓			

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Main unit entrances are connected to public sidewalks and open space					<b>✓</b>	
network.						
Pedestrian pathways are provided to connect parking areas and unit						<b>✓</b>
entrances.						
Pedestrian pathways are providing linkages to adjacent						<b>~</b>
pedestrian/trail/cycling networks (where applicable), and the common						
utility and water servicing location.						
Privacy of units on site and on adjacent properties is being maintained by				<b>✓</b>		
minimizing overlook and direct sight lines from the building using						
following strategies:						
<ul> <li>Use of clearstory windows;</li> </ul>						
<ul> <li>Use of landscaping or screening; and</li> </ul>						
<ul> <li>Use of setbacks and articulation of the building.</li> </ul>						
3.3.4 Open Spaces		1	1	1	1	1
Units are designed to have easy direct access to high-quality, at grade			<b>√</b>			
private outdoor amenity space.						
Landscaping has been provided at strategic locations to frame building						<b>✓</b>
entrances, soften edges, screen parking garages/areas, and break up						
long building facades.						
Private outdoor amenity spaces have access to sunlight, offer privacy and						✓
landscaped areas have been provided to soften the interface with the						
street or open spaces.						
Design of front patios provide an entrance to the unit and are creating a			✓			
semi-private transition zone using landscape plantings or material						
changes, or modest (max. o.6m) grade changes.						
Design of rooftop patios are minimizing direct sight lines into nearby					✓	
units, have access away from primary facades and have parapets with						
railings.						
Permeable surfaces have been provided in all landscaped and open					<b>✓</b>	
spaces (impermeable surfaces, such as poured-in-place concrete are						
discouraged).						
Balconies are designed to inset or partially inset and offer privacy,					<b>✓</b>	
shelter, reducing building bulk and minimize shadowing impact.						
· 3 3	1					-/
Internal driveways are serving as additional shared space and are paved						•
with high quality permeable pavement materials, like interlocking						
permeable pavers.						
Low (1.06m max.) semi-transparent fencing or railings have been						<b>√</b>
provided in the front yard to maintain transition between public and						
private realms.						
3.3.5 Site Servicing, Access, and Parking		1	1	1	1	1
Site layout includes provisions for solid waste pick-up and bin storage						
	1		1	1	1	1



RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Where possible, parking has been located directly adjacent to street/lane						✓
access points to reduce or eliminate driveways.						
Access points and windows are located to minimize impact of headlights						✓
on building interiors.						
3.3.6 Building Articulation, Features, and Materials		ı		ı		
Façade design provides articulations that differentiate the individual					✓	
units by incorporating recesses or projections to highlight the identity of individual units.						
Façade design provides articulations that differentiate the individual					✓	
units by using entrance features, roofline features, or other architectural						
elements.						
Overall architectural design of infill built form incorporates proportions,				<b>✓</b>		
other characteristics, and materials similar or complementary to those						
found within the existing neighbourhood.						<b>✓</b>
Blank walls along public views should be avoided.					<b>✓</b>	<b>–</b>
The ground floor has been emphasized by increasing ground floor height					•	
and by providing prominent entryway features (front porches), generous glazing and other architectural features.						
Durable, low-maintenance materials that withstand the local climate			✓			
(such as, wood, natural stone, masonry, metal panels, fiber cement						
siding or approved alternatives) have been provided.						
Vinal siding, large areas of stucco, and imitation stone/rock are			✓			
discouraged.						
Maximum of two cladding materials have been provided.						✓
Changes in materials are incorporated by an appropriate trim and					✓	
detailing and are occurring at significant changes in plane, including floor level and step backs.						



#### **PROPOSED 5-PLEX TOWNHOUSE**

(ISSUED FOR DEVELOPMENT PERMIT)

#### **LAND USE BYLAW ANALYSIS**

#### PROPERTY DESCRIPTION

Project Address: 2590 Richter Street, Kelowna, BC

Legal Description: LOT 28, PLAN 3249

Proposed Units: 5

#### ZONING ANALYS

Current: City of Kelowna RU6 Zoning

Proposed: City of Kelowna RM3 Zoning

SITE INFORMATION

Gross Site Area: 8,063 sq.ft. (749 sq.m.)

		ALLOWABLE	PROPOSED
Floor Area Ratio (FAR)		0.75+0.05=0.8 8,063X0.8=6,450 sq.ft. (599 sq.m.)	6,417 / 8063 = 0.796 8,063X0.796=6,417 sq.ft. (596 sq.m.)
		Pakring Spaces are screened from public review.	
Building Site Coverage		50%; 4,035 sq.ft. (375 sq.m.)	43%; 3,494 sq.ft. (325 sq.m.)
Building Site Coverage		Increased to a maximum of 50% if private open space for each unit can be provided on a deck, patio, balcony or rooftop deck which exceeds the bylaw requirement by 10%.	
Site Coverage		65%: 5.241 sq.ft. (487 sq.m.)	64%; 5,212 sq.ft. (484 sq.m.)
		The maximum site coverage of buildings, driveways, and parking areas is 60%. This may be increased by 5% (to a maximum of 65%) for permeable drive surfaces and parking.	Permeable drive surfaces and parking provided.
Building Height		10.00 m	8.92 m + stairwell up to rooftop patio
Yard	Front	1.50 m (Min. 3.0 m landscape buffer)	3.78 m
Sethacks	Side	4.00 m / 1.20m (To Lane) (Min. 3.0 m landscape buffer)	4.00 m / 2.69m (To Lane)
Seibacks	Rear	7.50 m (Min. 3.0 m landscape buffer)	5.08 m (Variance)
Parking	1.5 Per Unit / 2 Bedrooms	1.5 X 2 = 3 (Required)	10
Calculation 2 Per Unit / 3 Bedrooms 0.14 Per Unit		2 X 3 = 6 (Required)	1
		0.14 X 5 = 1 (Required)	1
Bike	4 Spaces or 1 Per 5 Unit	4 Spaces	5 Spaces





Planner

Initials

**SCHEDULE** 

TC

This forms part of application

# DP21-0098 / DVP21-0099

Α

City of

Kelowna

#### UNIT AREA CALCULATIONS

	FIRST	LEVEL	SECON	LEVEL	THIRD	LEVEL	TOTAL	
	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.
UNIT 1	72.10	6.70	550.65	51.16	679.08	63.09	1301.83	120.94
UNIT 2	649.04	60.30	649.11	60.30	315.85	29.34	1614.00	149.95
UNIT 3	0.00	0.00	568.51	52.82	574.15	53.34	1142.66	106.16
UNIT 4	0.00	0.00	568.51	52.82	575.14	53.43	1143.65	106.25
UNIT 5	0.00	0.00	570.05	52.96	645.19	59.94	1215.24	112.90
TOTAL							6417.38	596.19

#### PRIVATE SPACE AREAS / ROOF DECK AREAS

	FIRST	LEVEL	SECONE	LEVEL	THIRD	THIRD LEVEL ROOF LEVEL TO		ROOF LEVEL		TAL.
	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.	SQ.FT.	SQ.M.
UNIT 1	395.05	36.70	185.52	17.24	N/A	N/A	554.16	51.48	1,134.73	105.42
UNIT 2	609.85	56.66	N/A	N/A	270.81	25.16	N/A	N/A	880.66	81.82
UNIT 3	235.12	21.84	86.63	8.05	N/A	N/A	516.60	47.99	838.35	77.89
UNIT 4	235.24	21.85	87.23	8.10	N/A	N/A	523.17	48.60	845.64	78.56
UNIT 5	527.26	48.98	87.25	8.11	N/A	N/A	537.40	49.93	1,151.91	107.02
TOTAL									4,851.29	450.70

THIS PLAN IS PROTECTED UNDER COPPRIGHT LAW, AND REPRODUCTION OF THE LILLSTRATIONS ORWORKING DRAWINGS IS STRICTLY PROHIBITED. UNICK DESIGN, PRAMIS THE PURCHASER OF THESE PLANS THE PURCHASER OF THESE PLANS THE STRUCTURE AND THESE PLANS CANNOT BE RESOLD.

CONTRACTORS SHALL VERIFY AND BE RESPONSIBLEFOR ALL DIMENSIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY DISCREPANCIES AND VARIATIONS SHOWN ON DRAWING.

PERMIT NUMBERS:



DATE No. REVISION BY



E 2021-11-23 7-29-29 PM

Linteng

-

PROJECT

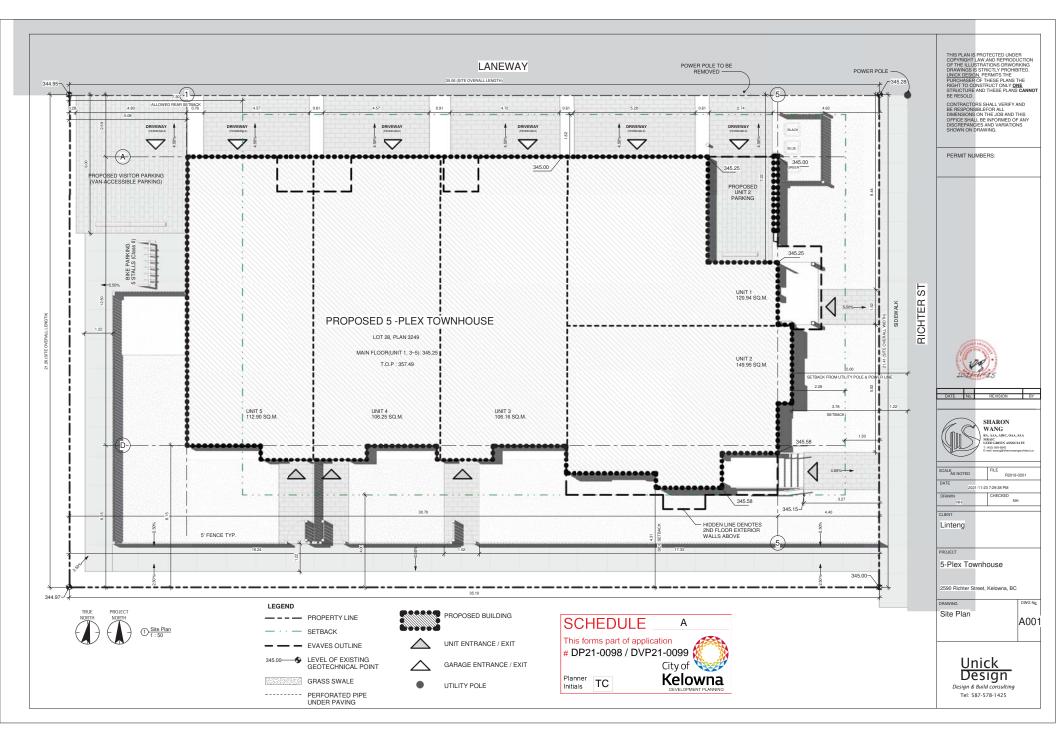
5-Plex Townhouse
2590 Richter Street, Kelowna, BC

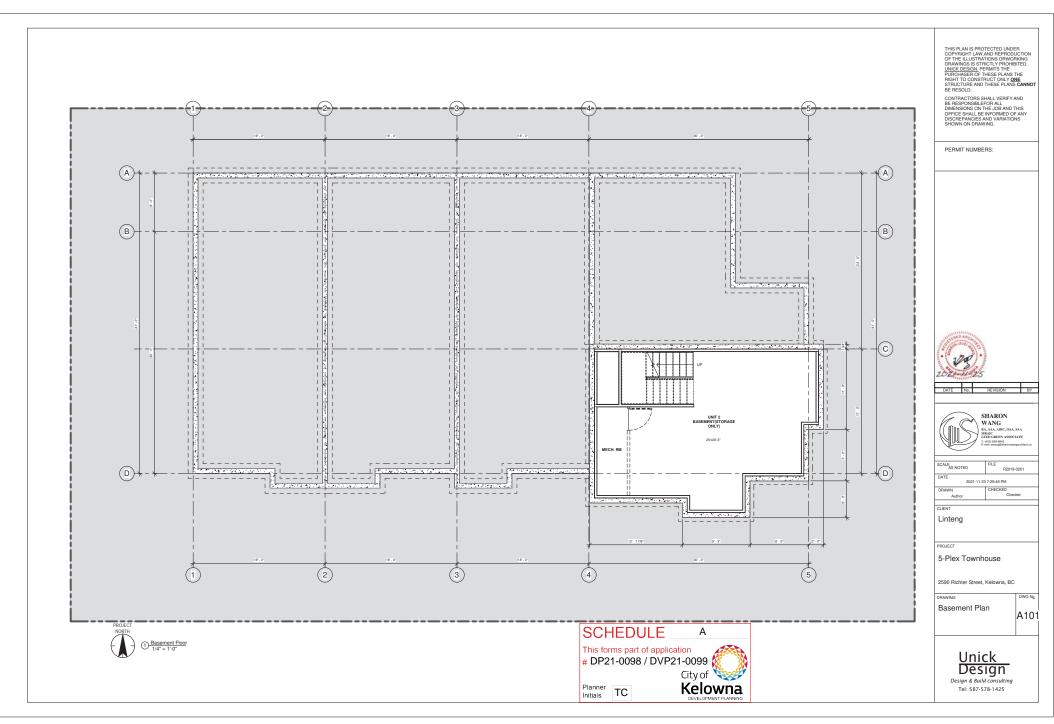
\_\_\_\_\_

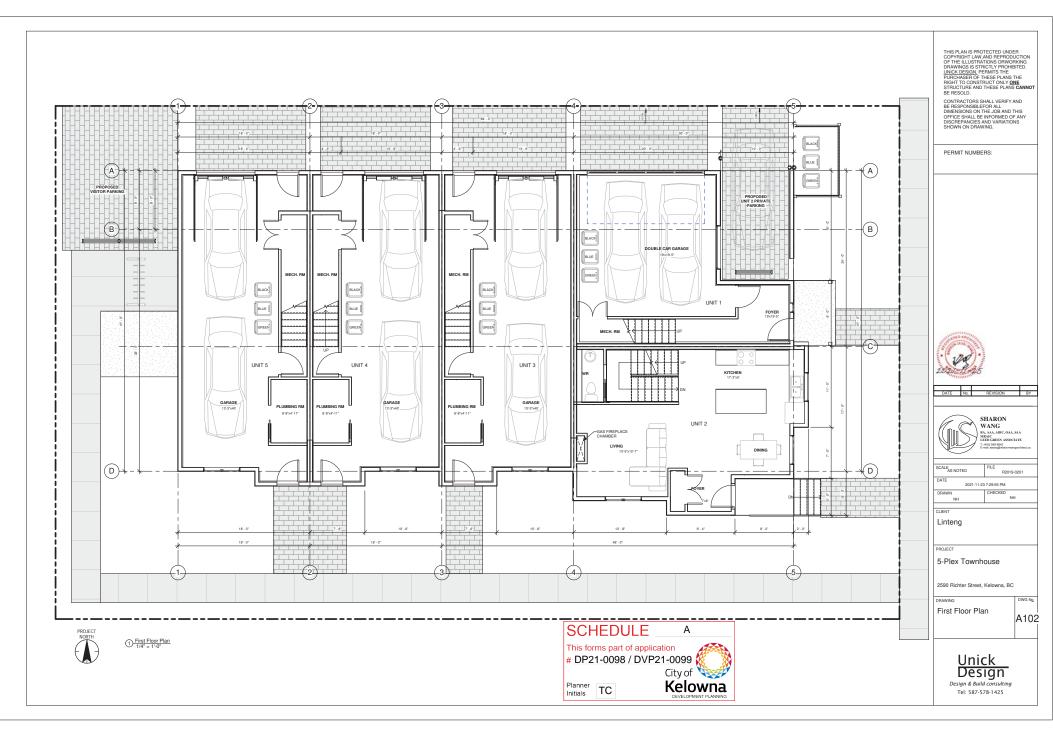
Title Sheet

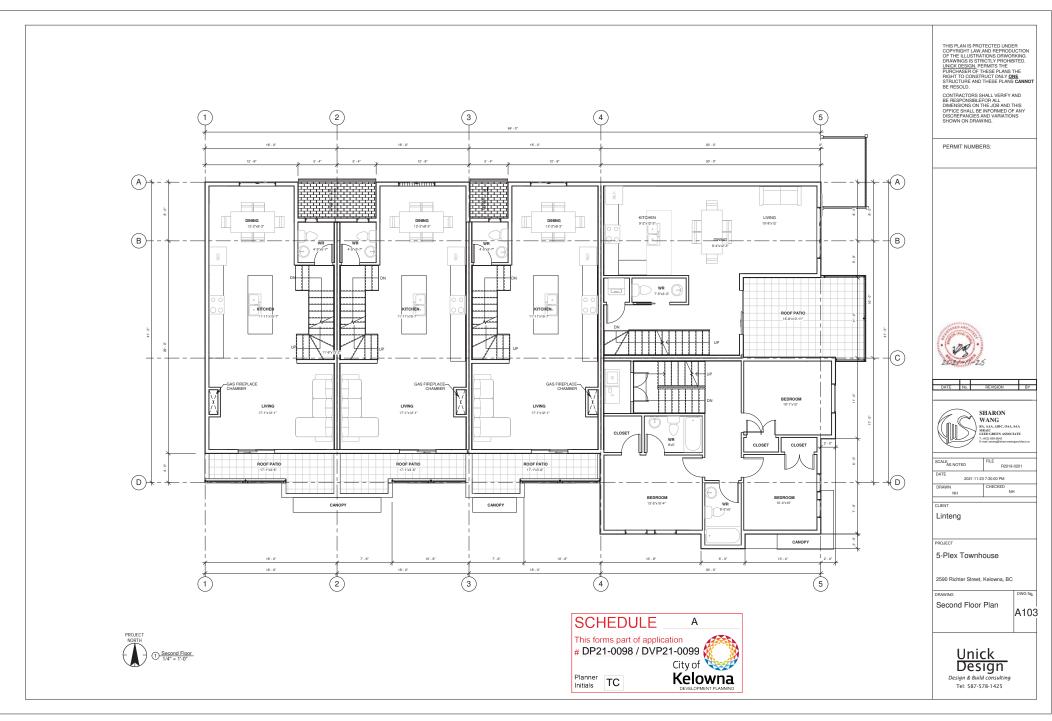
Unick Design Design & Build consulting Tel: 587-578-1425

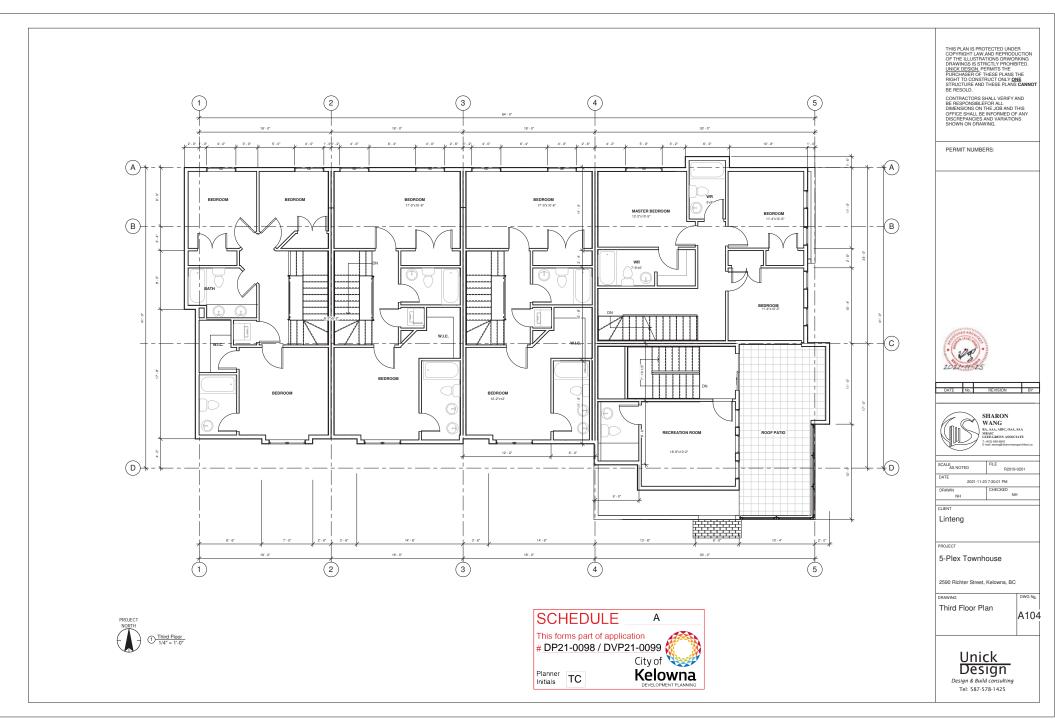
A000

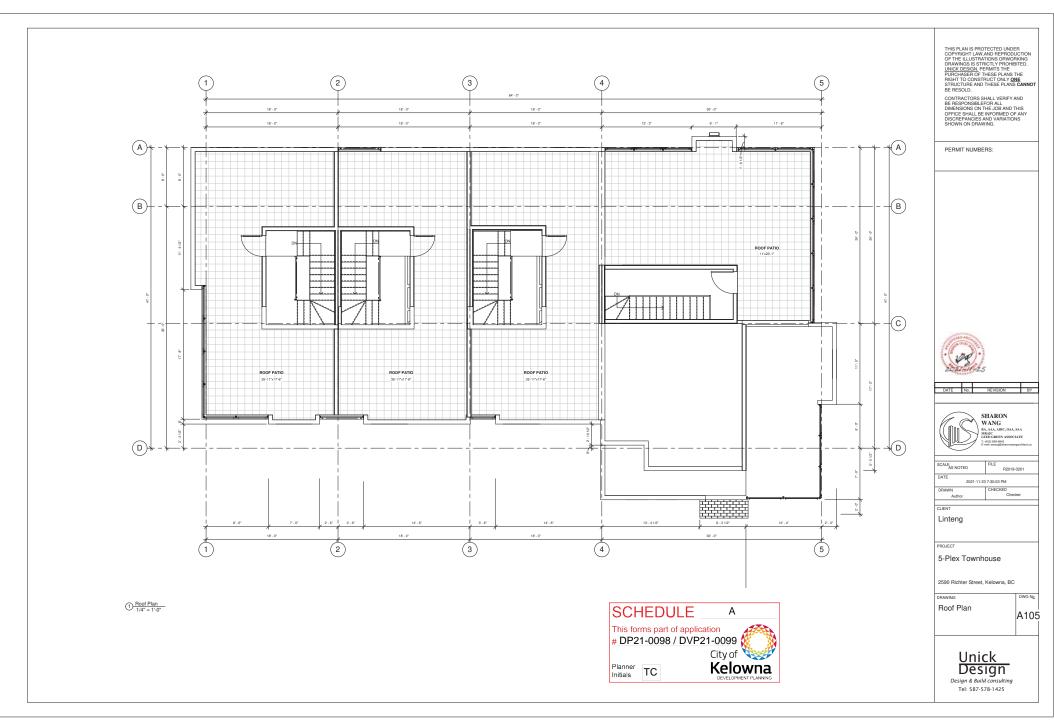








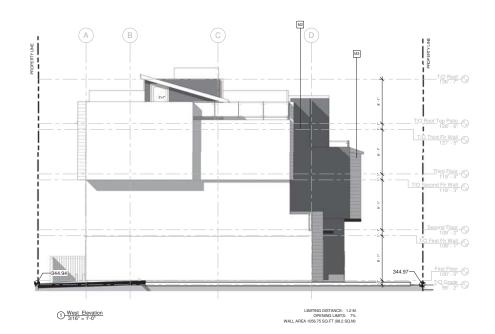


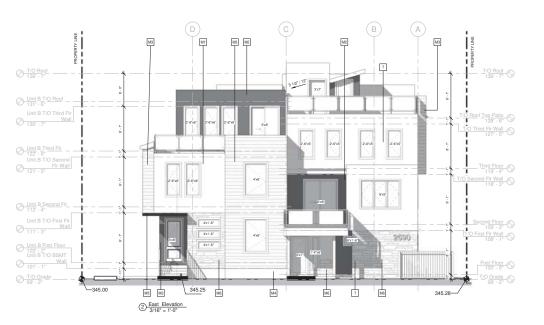






	MATERIAL NOTES
M1	STUCCO-WHITE
M2	STUCCO-DARK GREY
M3	METAL BOARD (WOOD TEXTURE)
M4	CONCRETE
M5	METAL FLASHING - BLACK
M6	CULTURE STONE





THIS PLAN IS PROTECTED UNDER COPYRIGHT LAW AND REPRODUCTION OF THE ILLUSTRATIONS ORWORKING DRAWNIGS IS STREITLY PROHIBITED. UNICK DESIGN, PERMITS THE PURCHASER OF THESE PLANS THE STRUCTURE AND THESE PLANS CANNOT BE RESOLD.

CONTRACTORS SHALL VERIFY AND BE RESPONSIBLEFOR ALL DIMENSIONS ON THE JUB AND THIS OFFICE SHALL BE INFORMED OF ANY DISCREPANCIES AND VARIATIONS SHOWN ON DRAWING.

PERMIT NUMBERS:





Design & Build consulting

Tel: 587-578-1425









THIS PLAN IS PROTECTED UNDER COPYRIGHT LAW, AND REPRODUCTION OF THE ILLUSTRATIONS ORWORKING DRAWINGS IS STRICTLY PROHIBITED. UNICK DESIGN, PERMITS THE PURCHASER OF THESE PLANS THE STRUCTURE AND THESE PLANS CANNOT BE RESOLD.

CONTRACTORS SHALL VERIFY AND BE RESPONSIBLEFOR ALL DIMENSIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY DISCREPANCIES AND VARIATIONS SHOWN ON DRAWING.

PERMIT NUMBERS:



DATE No. REVISION



Linteng

PROJECT

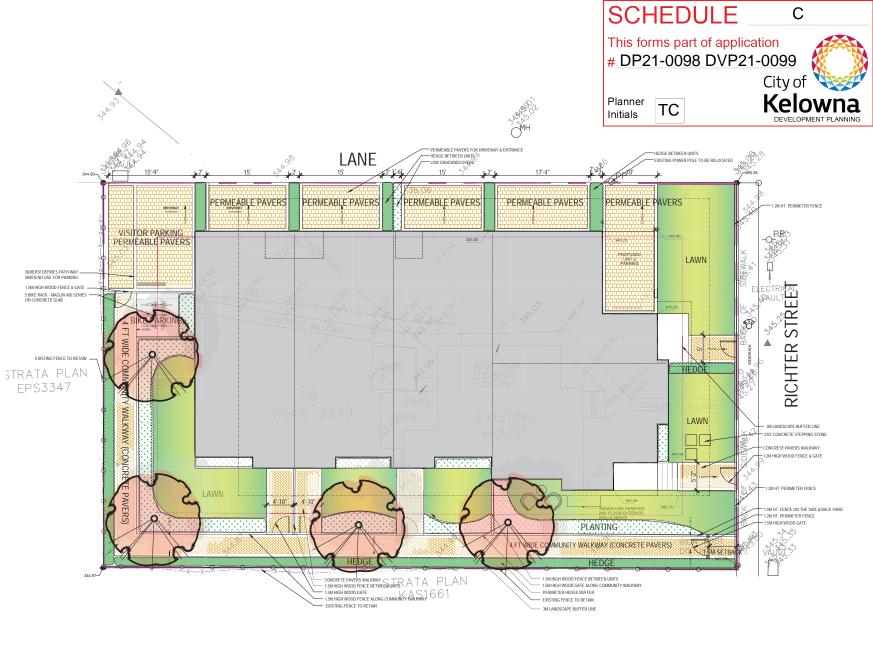
5-Plex Townhouse

2590 Richter Street, Kelowna, BC

Renderings

A203

Unick Design Design & Build consulting Tel: 587-578-1425

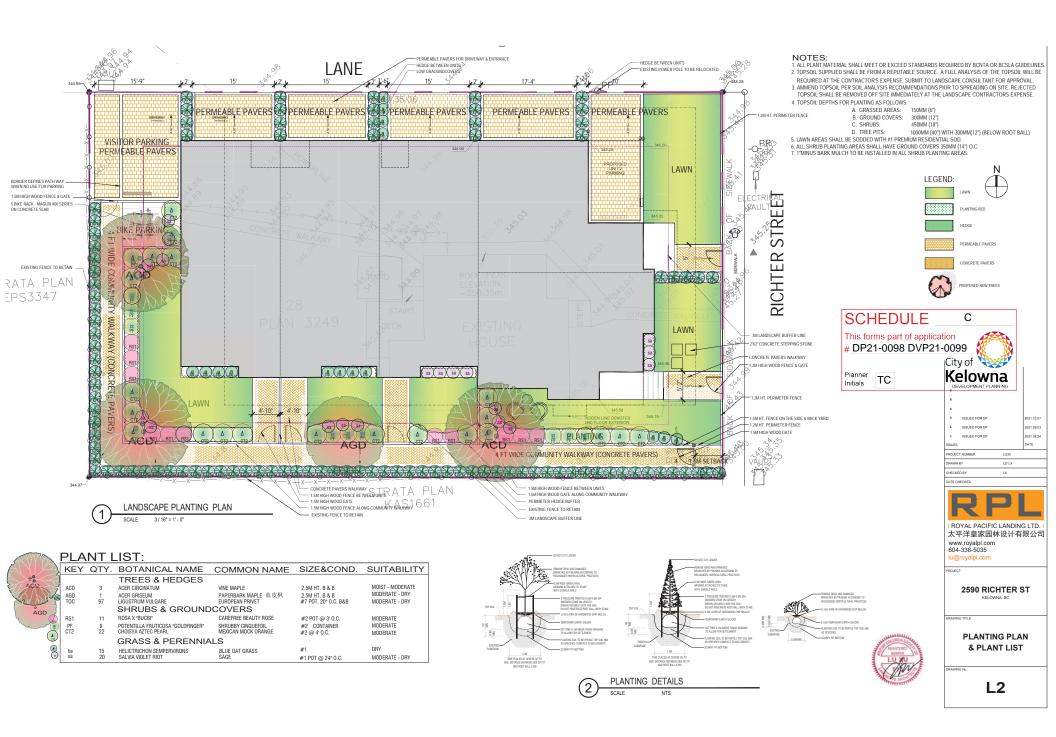


LANDSCAPE SITE PLAN



LEGEND:

CONCRETE PAVERS





While the colors shown here are represented as accurately as possible, they should only be used as a guide. Actual samples should be viewed before making a final color selection

#### Classic Standard Series Sizes and Shapes



Area 5.4 stones/ft/2 60 sts Thickness 2 6/8" (60mm)



Length: 8 f/s" (225/mm) Width: 8 f/s" (225/mm) Anex: 1.8 stones /ft2, 30 stones /m2 Thickness 2-1/9" (60mm) 3. trip\* (Bibrion) spacial profits



ength: 8-1:5" (225mm) Area: 3.7 stones /ft2, 40 stones /mi Thickness 2 s/s' (60mm), 3 s/s'

California & California II Lenoth: 11.73° (Mitmer)

> Thickness 2:3/9" (60mm), 3:1/9" California 2 nit\* (80mm) and



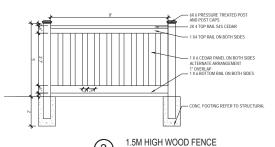
Length: 11-7/4" (301mm) Width: 11-7/4" (301mm) Area: 1 stones:/ft2, 7,4 ston

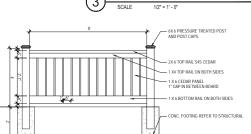
DRIVEWAY STANDARD 3:1 CONCRETE PAVERS

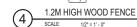
Length: 15 s/s" (401mm) Wildth: 15 s/s" (401mm) Area: 6 stones/ft2, 6.2 stones/m2 Thickness: 3 s/s" (80mm)

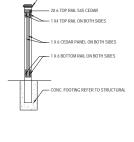
Sierra is a special order



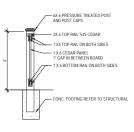








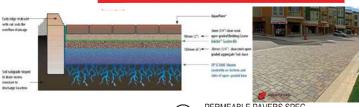
6X 6 PRESSURE TREATED POST AND POST CAPS



#### PERMEABLE PAVERS SPECIFICATION







PERMEABLE PAVERS SPEC SCALE

THE APPLICANT WILL PROVIDE A LETTER OF CONFIRMATION FROM THE CERTIFICATED PERMEABLE SYSTEM INSTALLER, STATING THE PERMEABLE SYSTEM HAS BEEN INSTALLED ON SITE TO THE REQUIRED PRODUCT SPECIFICATIONS

#### PERMEABLE PAVERS MAINTENANCE SCHEDULE



**SCHEDULE** 

TC

Planner

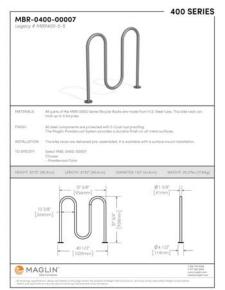
Initials

This forms part of application

# DP21-0098 DVP21-0099

City of

Kelowna



5 BIKE RACK - MAGLIN 400 SERIES





LANDSCAPE

**DETAILS** 

L3





### Proposal

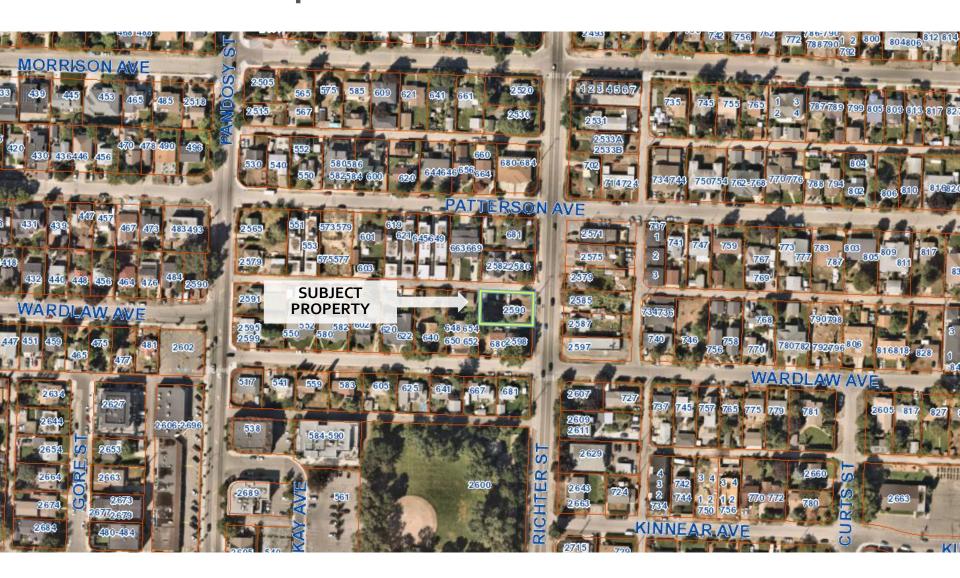
➤ To issue a Development Permit for the form and character of a new five-unit development and to issue a Development Variance Permit to vary the rear yard setback and the rear yard parking setbacks.

### Development Process





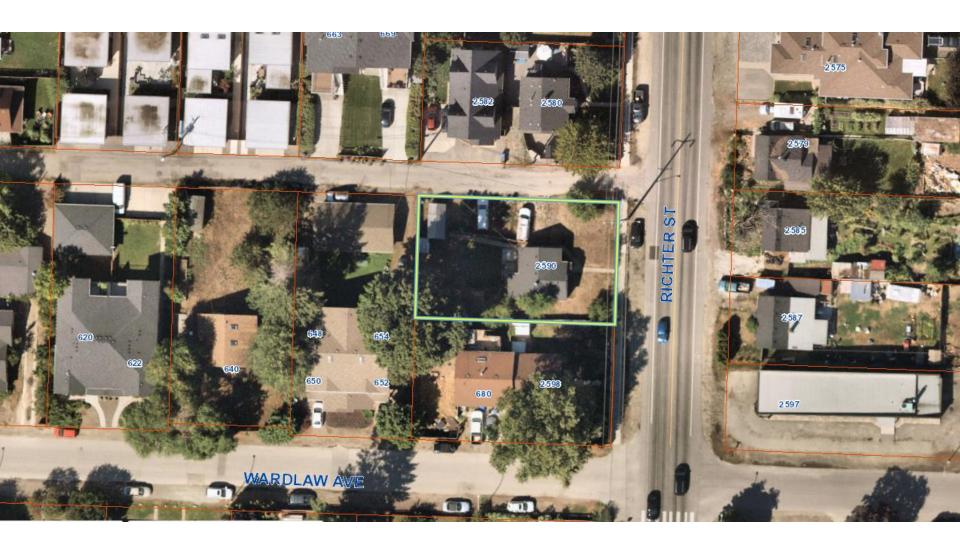
### Context Map



### Future Land Use



## Subject Property Map

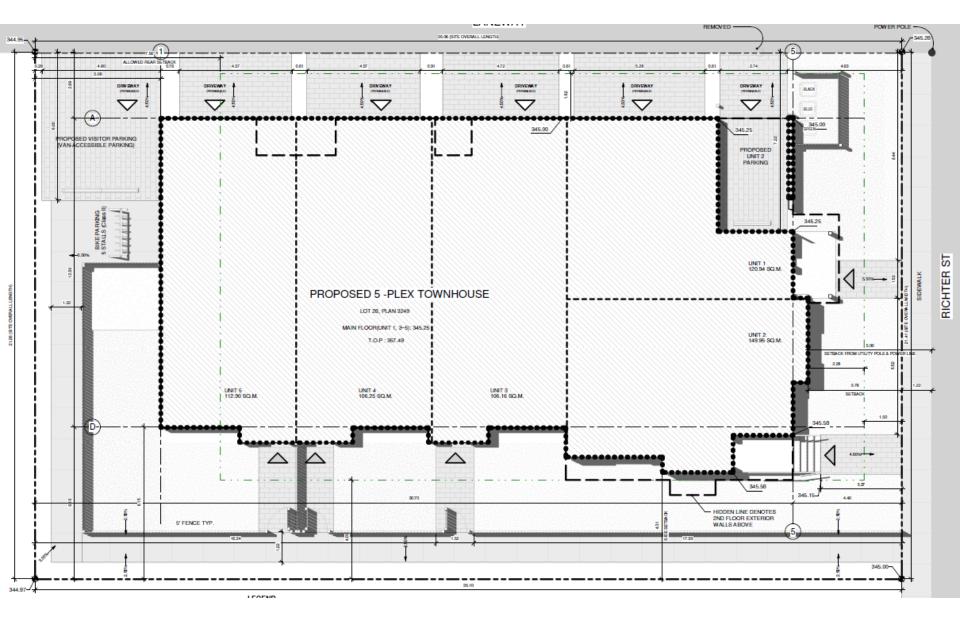




## Project details

- Development Permit for five new residential dwelling units.
  - ▶ All five units will be contained in the one building.
  - ▶ Two of the units are ground-oriented to Richter Street.
- ► All properties have vehicle access off the laneway.
- ► Existing single-family dwelling to be removed.

### Site Plan



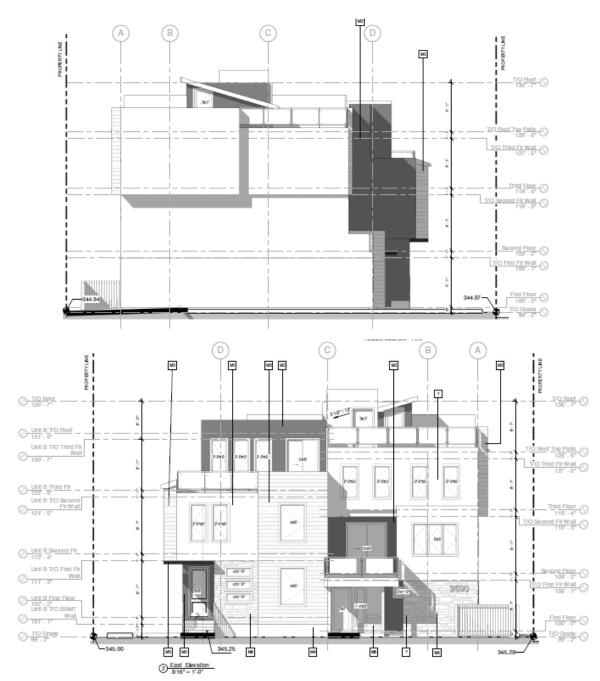
### Elevations



North and South View

209

### Elevations



West and East View

## Conceptual Renderings



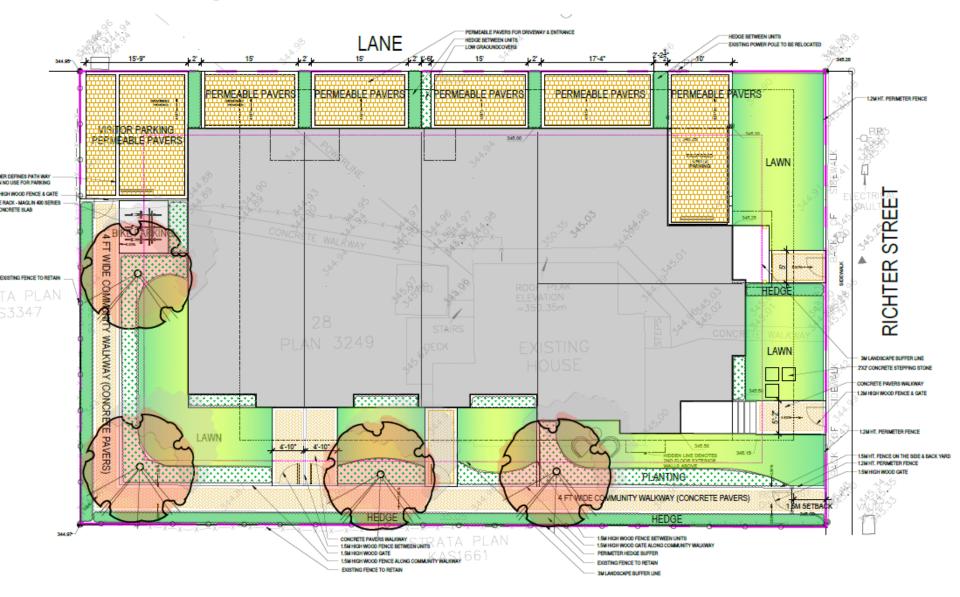






City of **Kelowna** 

## Landscape Plan

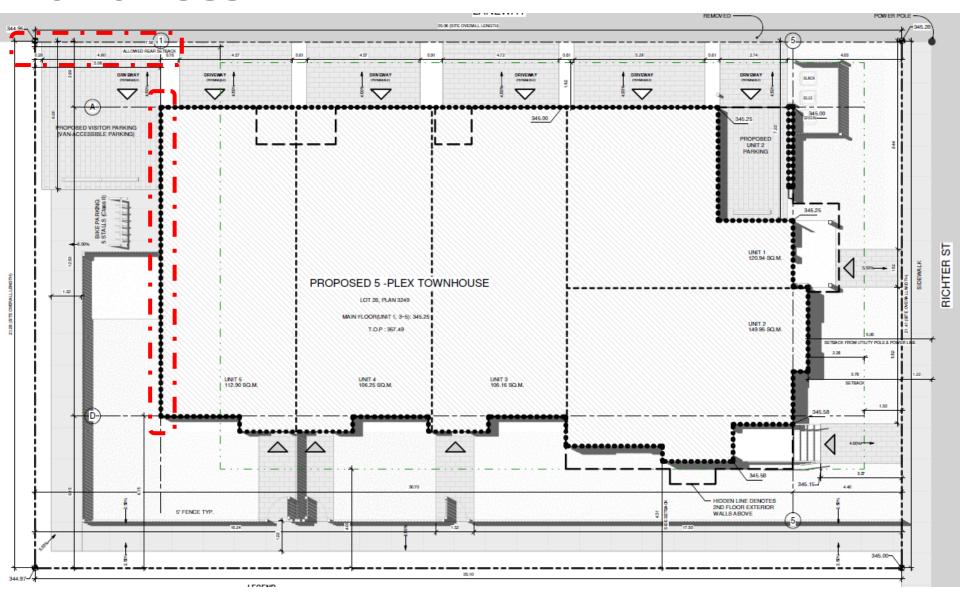




## Project details

- ► Applicant is requesting two variances for the fiveplex:
  - ► The minimum rear yard setback from 7.5m required to 5.08m proposed.
  - ► The minimum side yard and rear yard setback from 1.5m required to o.om proposed

## Variances





# **Development Policy**

- Meets the Intent of the Official Community Plan (OCP)
  - Core-Area Neighbourhood Objectives
  - Density along Transit Supportive Corridor
  - Ground-Oriented Housing



## Staff Recommendation

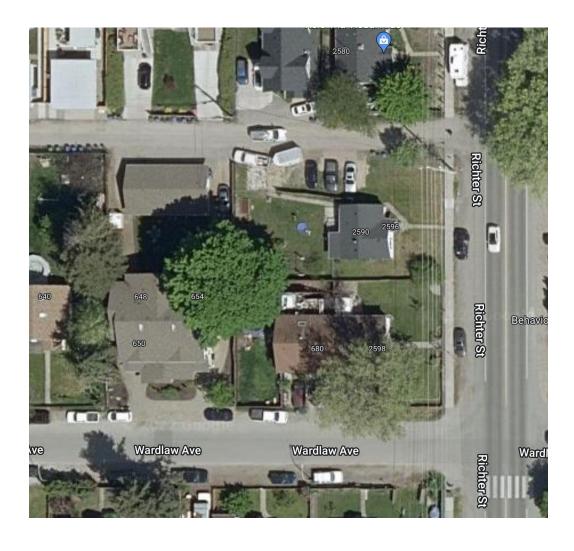
- Staff recommend support for the Development Permit and Development Variance Permit applications
  - Supported by policies in the OCP
    - Consistent with Core Area Neighbourhood
  - ► The impact of the variances are mitigated with the placement of windows, doorways and an increase in landscaping along the property line.



## Conclusion of Staff Remarks

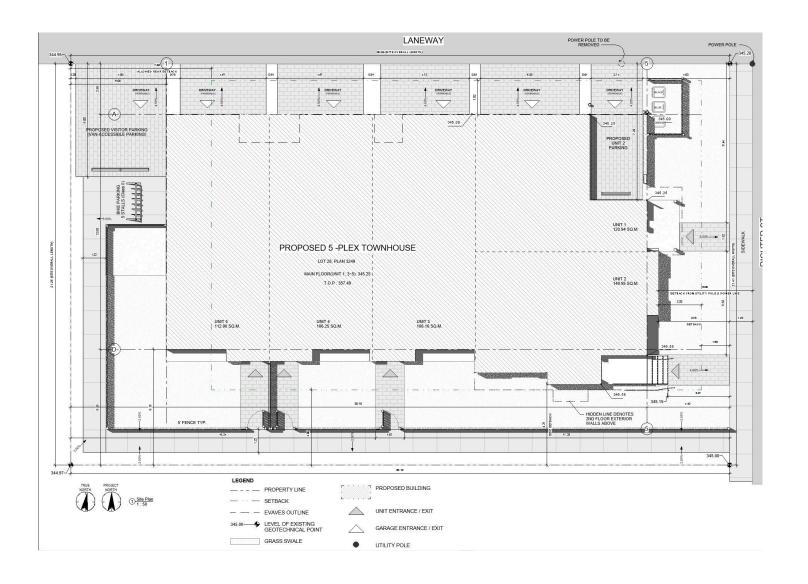






2590 Richter Street Kelowna, BC



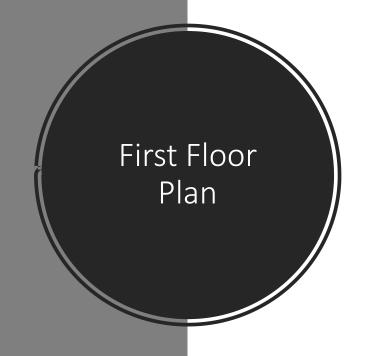


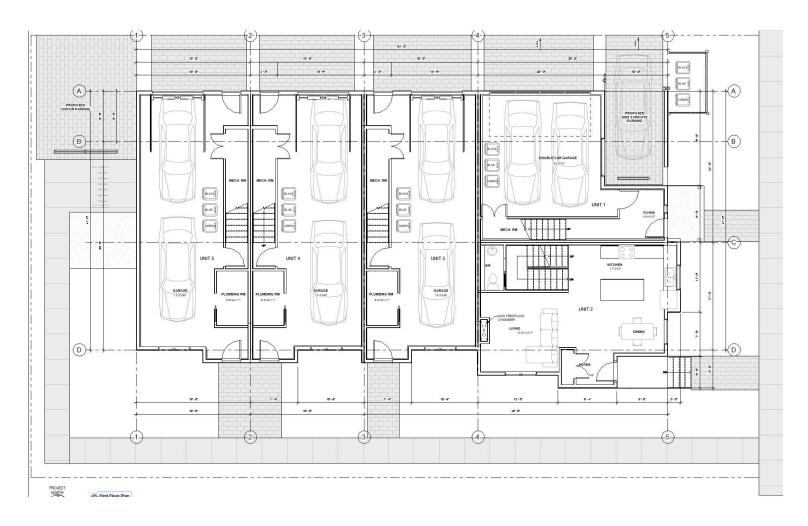


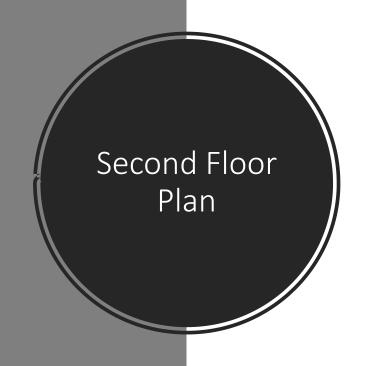


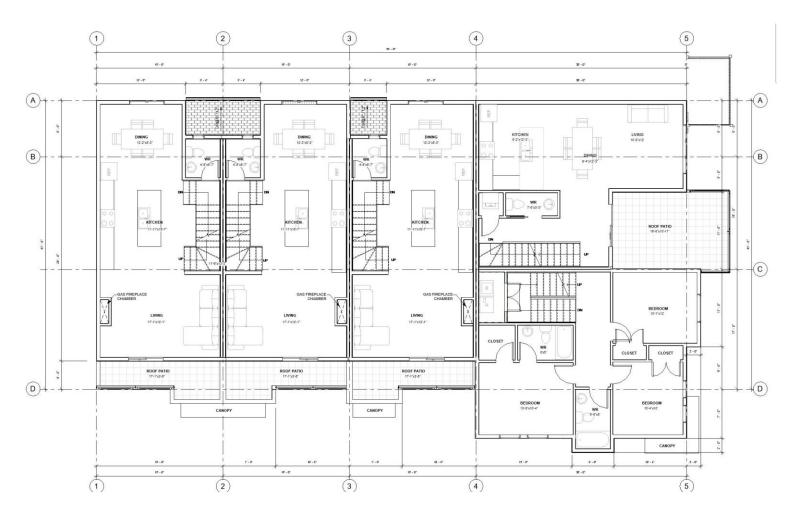




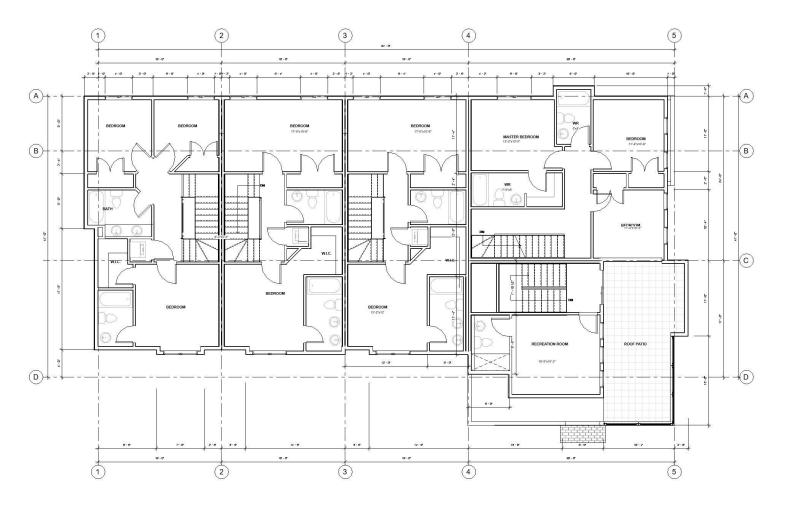




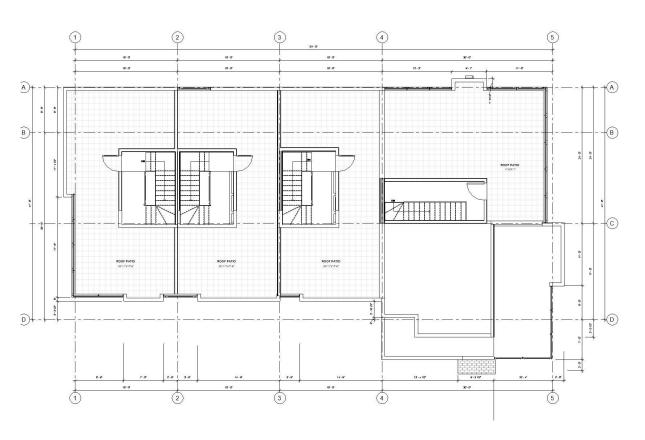


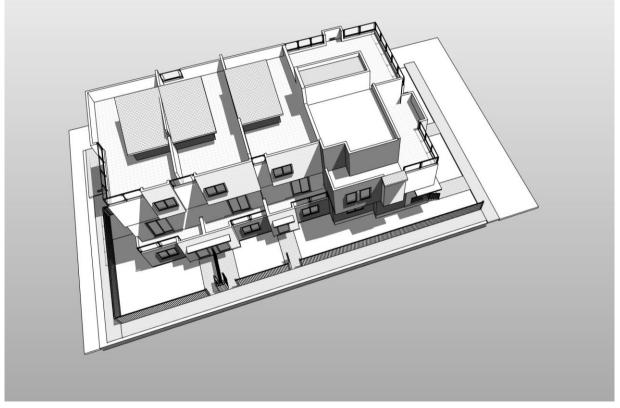


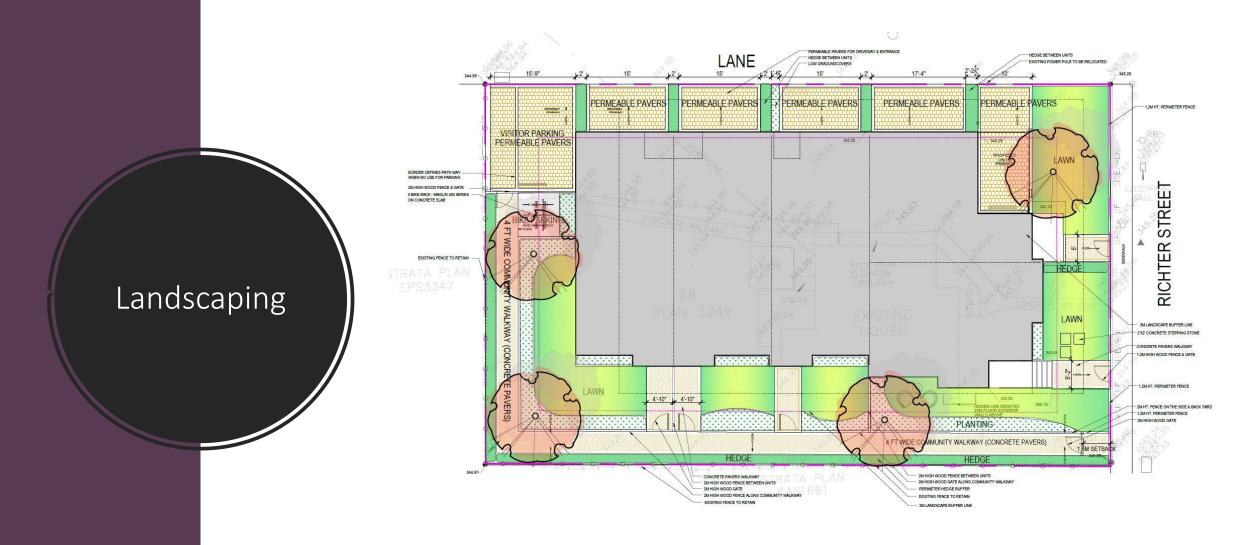




# Roof top Patio







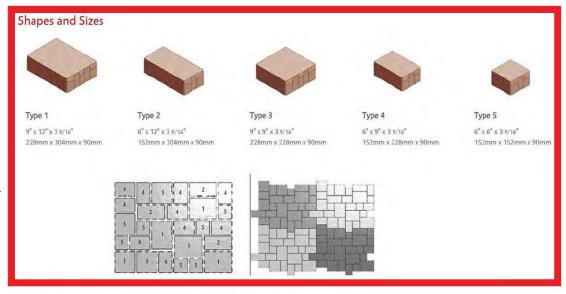


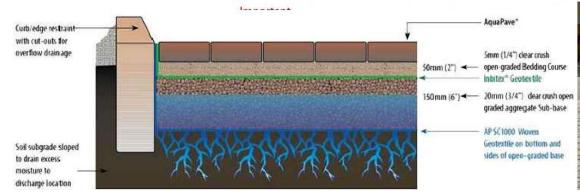
# Landscaping

#### PERMEABLE PAVERS SPECIFICATION

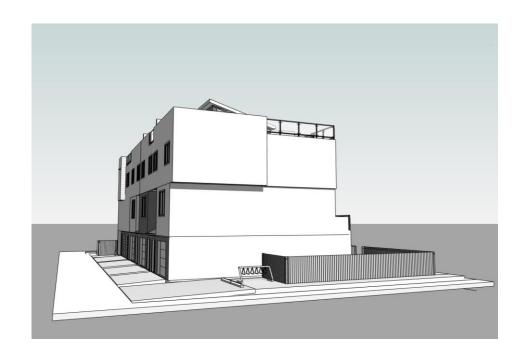


PERMEABLE PAVERS: AQUAPAVE SUPPLIER: ABBOTSFORD CONCRETE PRODUCT COLOR: SANDALWOOD BLEND SIZE: MIXED TYPE 1,2,3,4,5





		ALLOWABLE	PROPOSED
Floor Area Ratio (FAR)		0.75+0.05=0.8 8,063X0.8=6,450 sq.ft. (599 sq.m.)	6,417 / 8063 = 0.796 8,063X0.796=6,417 sq.ft. (596 sq.m.)
Building Site Coverage		Pakring Spaces are screened from public review.  50%; 4,035 sq.ft. (375 sq.m.)  Increased to a maximum of 50% if private open space for each unit can be provided on a deck, patio, balcony or rooftop deck which exceeds the bylaw requirement by 10%.	43%; 3,494 sq.ft. (325 sq.m.)
Site Coverage		65%; 5,241 sq.ft. (487 sq.m.) The maximum site coverage of buildings, driveways, and parking areas is 60%. This may be increased by 5% (to a maximum of 65%) for permeable drive surfaces and parking.	64%; 5,212 sq.ft. (484 sq.m.)  Permeable drive surfaces and parking provided.
Building Height		10.00 m	8.92 m + stairwell up to rooftop patio
Yard	Front	1.50 m (Min. 3.0 m landscape buffer)	3.78 m
Setbacks	Side	4.00 m / 1.20m (To Lane) (Min. 3.0 m landscape buffer)	4.00 m / 2.69m (To Lane)
Selbacks	Rear	7.50 m (Min. 3.0 m landscape buffer)	5.08 m (Variance)
Parking	1.5 Per Unit / 2 Bedrooms	1.5 X 2 = 3 (Required)	10
Calculation	2 Per Unit / 3 Bedrooms	2 X 3 = 6 (Required)	Variance for Visitor parking setback.
	0.14 Per Unit / Visitor	0.14 X 5 ≈ 1 (Required)	
Bike	4 Spaces or 1 Per 5 Unit	4 Spaces	5 Spaces







#### **CITY OF KELOWNA**

#### BYLAW NO. 12337 Z21-0091 766 Nathan Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- 1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A District Lot 358, ODYD, Plan 18535 located on Nathan Road, Kelowna, BC from the RU1 Large Lot Housing zone to the RU1c Large Lot Housing with Carriage House zone.
- 2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 4<sup>th</sup> day of April, 2022.

Adopted by the Municipal Council of the City of Kelowna this

Mayor
City Clerk

#### REPORT TO COUNCIL



**Date:** July 12, 2022

To: Council

From: City Manager

**Department:** Development Planning

**Application:** DVP22-0037 **Owner:** Donya Epp

Address: 766 Nathan Road Applicant: Donya Epp

**Subject:** Development Variance Permit

**Existing OCP Designation:** S-RES – Suburban - Residential

**Existing Zone:** RU1 – Large Lot Housing

Proposed Zone: RU1c - Large Lot Housing with Carriage House

#### 1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 12337 be considered by Council;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP22-0037 for Lot A District Lot 358 Osoyoos Division Yale District Plan 18535, located at 766 Nathan Road, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

### <u>Section 9.5b.1(e): Carriage House Regulations, Development Regulations in Residential, Health District and Comprehensive Development Zones</u>

To vary the required maximum net floor area of a carriage house from 100 m<sup>2</sup> to 180 m<sup>2</sup>.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

#### 2.0 Purpose

To issue a Development Variance Permit to vary the required maximum net floor area of a carriage house from 100  $m^2$  to 180  $m^2$ .

#### 3.0 **Development Planning**

Staff recommend support for the Development Variance Permit for the conversion of an existing accessory building into a carriage house. The accessory building received a Building Permit in 2012, and the structure

met all of the development regulations at the time of permit. The carriage house and accessory building development regulations were combined in 2017, which made this building legal non-conforming. The variance will allow for the conversion of the structure into a carriage house and will add additional units in a suburban neighbourhood. The subject property has a S-RES – Suburban Residential future land use designation, has a sanitary sewer connection, and is within the city's permanent growth boundary. As such, the proposed zone is consistent with the Official Community Plan's (OCP) objectives.

#### 4.0 Proposal

#### 4.1 Background

The rezoning application received first, second and third reading on April 4, 2022.

#### 4.2 <u>Project Description</u>

The proposal to rezone the property from RU1 – Large Lot Housing to the RU1c – Large Lot Housing Zone with Carriage House received first, second and third reading on April 4, 2022. The property is located on Nathan Road and has a future land use designation of S-RES – Suburban Residential. The proposed Development Variance Permit would allow for the adoption of the RU1c – Large Lot Housing Zone with Carriage House.

#### 4.3 Site Context

The subject property is located on Nathan Road near the intersection with Horak Road. The parcel has a Future Land Use Designation of S-RES – Suburban Residential and is within the City's Permanent Growth Boundary. The surrounding area consists primarily of Single Dwelling Housing.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single Dwelling Housing
East	RU1 – Large Lot Housing	Single Dwelling Housing
South	RU1 – Large Lot Housing	Single Dwelling Housing
West	RU1 – Large Lot Housing	Single Dwelling Housing





#### 4.4 Zoning Analysis Table

House Regulations 40% 100 m²	PROPOSAL
40%	· · · · · · · · · · · · · · · · · · ·
·	· · · · · · · · · · · · · · · · · · ·
100 m <sup>2</sup>	.02
100 111	180 m² 0
4.8 m	3.8 m
9.0 m	30.07 m
1.5 m	>1.5 m
1.5 m	1.5 m
1.5 M	1.93 m
	9.0 m 1.5 m 1.5 m

#### 5.0 Current Development Policies

#### 5.1 <u>Kelowna Official Community Plan (OCP)</u>

Objective 7.2. Design Suburban Neighbourhoods to be low impact, context sensitive and adaptable.		
Policy 7.2.1.	Consider a range of low density ground-oriented housing development to	
Ground-Oriented	improve housing diversity and affordability and to reduce the overall urban	
Housing.	footprint of Suburban Neighbourhoods. Focus more intensive ground-oriented	
	housing where it is in close proximity to small scale commercial services, amenities like schools and parks, existing transit service and/or active transportation facilities.	
	Proposed Carriage house would provide an additional ground oriented dwelling unit	
	which contributes to diverse and affordable housing within suburban communities.	

_		
<b>h</b>	-	

Objective 7.6. Support a variety of low-density housing.		
Policy 7.6.1. Encourage multi-unit developments near schools to include a variety of unit size		
Family-friendly including three or more bedrooms		
multi-unit	Proposed Carriage house would provide an additional dwelling unit on a site near	
housing.	multiple schools	

#### 7.0 Application Chronology

Date of Application Received: September 14, 2021
Date Public Consultation Completed: November 9, 2021

Report prepared by: Graham Allison, Planner I

**Reviewed by:** Dean Strachan, Community Planning & Development Manager

**Reviewed by:** Terry Barton, Development Planning Department Manager

**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning & Development Services

#### Attachments

Attachment A: Draft Development Variance Permit

Schedule A: Site Plan

Attachment B: Development Engineering Memo

Attachment C: Application Rationale

## Development Variance Permit DVP22-0037





This permit relates to land in the City of Kelowna municipally known as

766 Nathan Road

and legally known as

Lot A District Lot 358 Osoyoos Division Yale District Plan 18535

and permits the land to be used for the following development:

Carriage House (RU1c – Large Lot Housing with Carriage House)

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u> July 12<sup>th</sup>, 2022

Decision By: COUNCIL

Planning & Development Services

Existing Zone: RU1 – Large Lot Housing

Future Land Use Designation: S-RES – Suburban Residential

#### This is NOT a Building Permit.

In addition to your Development Variance Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

#### NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:	Donya Epp		
Applicant:	Donya Epp		
Terry Barton	Planning Department Manager	Date	

#### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

#### 2. CONDITIONS OF APPROVAL

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A."

That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 9.5b.1(e): Carriage House Regulations, Development Regulations in Residential, Health District and Comprehensive Development Zones

To vary the required maximum net floor area of a carriage house from 100 m<sup>2</sup> to 180 m<sup>2</sup>.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

#### 3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

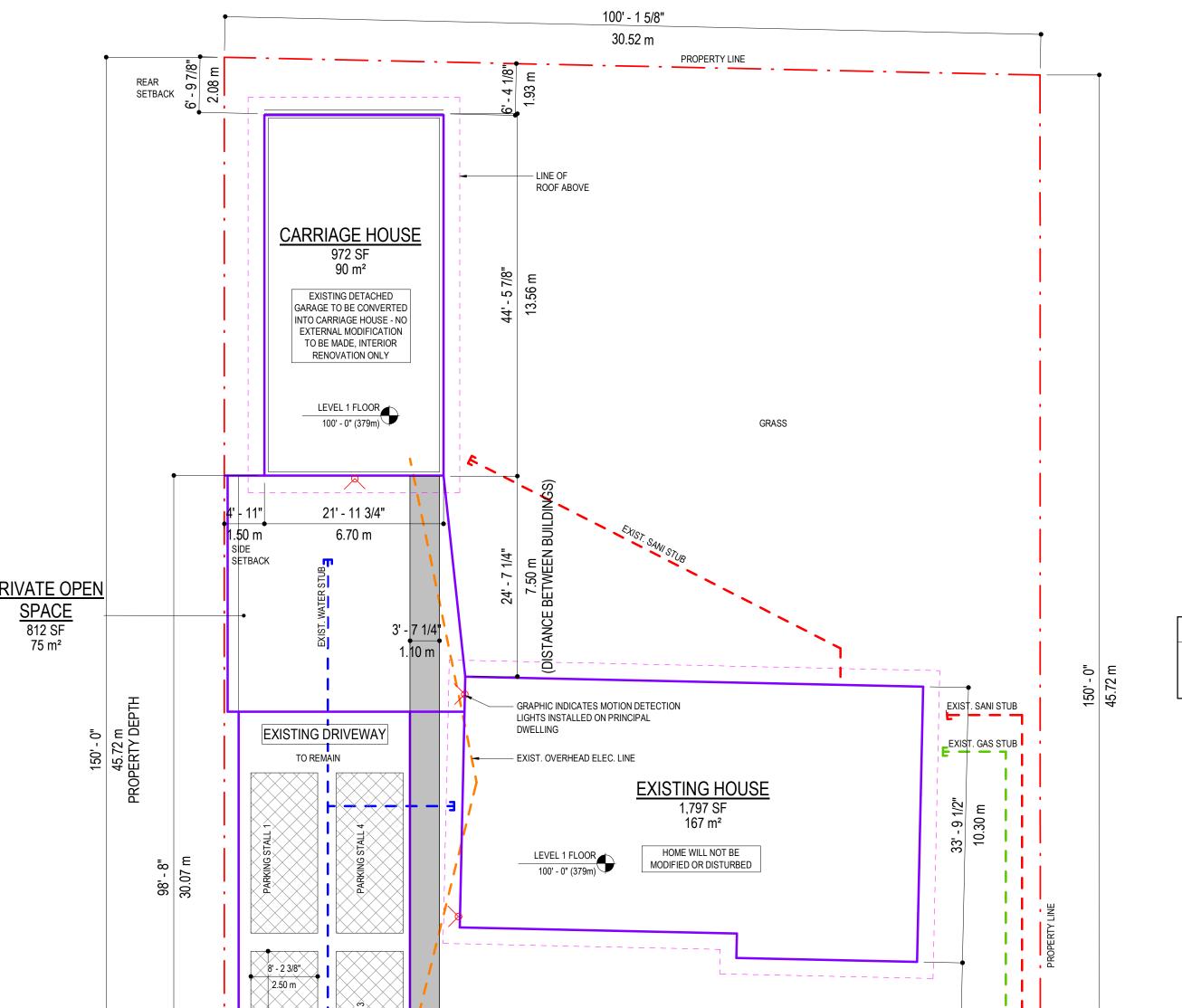
a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>.

Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.





GREY HATCH INDICATES AN 1100mm WIDE. PAVED ACCESS PATH TO THE CARRIAGE HOUSE THAT WILL BE LIGHTED BY WAY OF MOTION DETECTED WALL SCONCE LIGHTING INSTALLED ON THE PRINCIPAL BUILDING

**GRASS** 

100' - 2" 30.53 m PROPERTY WIDTH

NATHAN RD.



**766 NATHAN RD** 

N/A

RU1 (NO CHANGE)

SINGLE FAMILY HOME

ZONING STANDARD

9.5m or 2.5 storeys

558.1 SM (40%)

7.5m

3.0m

550 SM

4.5m house / 6.0m garage

2.0m (1 storey) / 2.3m (2 storey)

**CARRIAGE HOUSE** 

**MAIN BUILDING** 

766 NATHAN RD, KELOWNA, BC, V1W 1K5

SINGLE FAMILY HOME + CARRIAGE HOUSE

PROPOSED

7.5m

7.5m

12.0%

9.2%

75sm

6.55m (21'-6")

167 SM (1,797 SF)

12.57m HOUSE/ 6.0m GARAGE

2.0m (1 storey) / 2.3m (2 storey)

1,395.3 SM (15,019 SF)

LOT A, DISTRICT LOT 358, ODYD, PLAN KAP18535

	PARCEL SIZ	Œ
Name	Area	Area (SM)
PARCEL SIZE	15,019 SF	1,395.3 m <sup>2</sup>
	15,019 SF	1,395.3 m²
Name	Area	Area (SM)
	700	Area (SM)
PARKING	Not Placed	
PARKING	1,386 SF	128.8 m <sup>2</sup>
	1,386 SF	128.8 m <sup>2</sup>
P.	ARCEL COVE	RAGE
Name	Area	Area (SM)
CARRIAGE HOUSE	972 SF	90.3 m <sup>2</sup>
EXISTING HOUSE	1,797 SF	167.0 m <sup>2</sup>
PRIVATE OPEN SPACE	812 SF	75.4 m²
	3,582 SF	332.7 m <sup>2</sup>

#### NOTES:

- ALL EXISTING GRADES AND SURVEY INFORMATION BASED ON SURVEY FILE BY RUNNALLS DENBY, DATED NOV 8, 2012. ALL SERVICING IS APPROX. CIVIL TO CONFIRM UPON BUILDING PERMIT
- TOTAL PARCEL COVERAGE % 40% TOTAL PARKING COVERAGE % 10%

**ZONING SUMMARY** 

DEVELOPMENT PERMIT AREA

LEGAL DESCRIPTION

**EXISTING ZONING** 

PROPOSED ZONING

FRONT SETBACK

SIDE SETBACK

REAR SETBACK

BUILDING HEIGHT

DISTANCE BTWN BUILDINGS

PRIVATE OPEN SPACE

LEVEL 1 PARCEL COVERAGE AREA

ZONING REQUIREMENTS

PARCEL SIZE

EXISTING LEGAL USE

PROPOSED LEGAL USE

ZONING REQUIREMENTS

ADDRESS

	ZONING STANDARD	PROPOSED
FRONT SETBACK	9.0m	30.07m
SIDE SETBACK	1.5m	1.5m
REAR SETBACK	1.5m	1.93m
PARCEL SIZE	550 SM	1,395.3 SM (15,019 SF)
BUILDING HEIGHT	4.8m	3.8m (12'-6")
DISTANCE BTWN BUILDINGS	3.0m	7.5m
LEVEL 1 PARCEL COVERAGE AREA	100sm (1 storey)	90sm
TOTAL PARCEL COVERAGE %	14%	6.5%
CARRIAGE HOUSE / MAIN HOUSE FLOOR AREA (%)	75%	90sm / 167sm = 53.9%

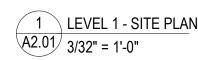
#### ZONING REQUIREMENTS **BUILDINGS COMBINED**

60sm

	ZONING STANDARD	PROPOSED
PARCEL SIZE	550 SM	1,395.3 SM (15,019 SF)
TOTAL PARCEL COVERAGE (AREA)	558.12sm (40%)	257sm (CARRIAGE + HOUSE)
TOTAL PARCEL COVERAGE (%)	40%	18.4%
TOTAL PARKING COVERAGE (%)	10%	9.4%
TOTAL PARCEL COVERAGE (INCLUDING PARKING)(%)	50%	27.8%



1 LEVEL 1 - SITE PLAN



LOCATION PLAN - N.T.S.

237



**PARKING** 

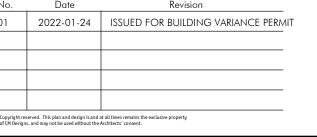
1,386 SF 129 m²

BUILDING VARIANCE PERMIT

19' - 8 1/4"/

6.00 m /

APPLICANT: DONYA EPP CONTACT: donyaepp@hotmail.com



PROPERTY LINE

TRUE NORTH

766 NATHAN RD

Project Title

PROJECT NORTH

SITE PLAN & ZONING

Drawing Title

A2.01

Drawing Number

18 - 1816 Job No. As indicated

766 NATHAN RD, KELOWNA, BC, V1W 1K5 LOT A, DISTRICT LOT 358 , ODYD, PLAN KAP18535

#### **CITY OF KELOWNA**

#### **MEMORANDUM**

Date: September 20, 2021

**File No.:** Z21-0091

**To:** Suburban and Rural Planning (GA)

From: Development Engineering Manager (RO)

**Subject:** 766 Nathan Rd.



RU1 to RU1c

The Development Engineering Branch has the following comments and requirements associated with this application to rezone the subject property from RU1 to RU1c for the conversion of an existing workshop into a carriage house. The utility upgrading requirements outlined in this report will be a requirement of this development.

#### 1. Domestic Water and Fire Protection

a) This property is currently serviced with a 19mm-diameter water service. The service will be adequate for this application. One metered water service will supply both the main residence and the carriage house. The applicant will be required to sign a Third Party Work Order for the cost of the water service upgrades. For estimate inquiry's please contact Aaron Sangster by email asangster@kelowna.ca or phone, 250-469-8487.

#### 2. Sanitary Sewer

a) Our records indicate that this property is currently serviced with a 100-mm diameter sanitary sewer service. Inspection Chamber and Brooks box will need to be installed at Property line

#### 3. Development Permit and Site Related Issues

- a) Direct the roof drains onto splash pads.
- b) One driveway only will be permitted. Maximum driveway width of 6.0m per fronting road as per Bylaw 7900.

#### 4. <u>Electric Power and Telecommunication Services</u>

a) It is the applicant's responsibility to make a servicing application with the respective electric power, telephone, and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

Ryan O'Sullivan

Ryan O'Sullivan

Development Engineering Manager

AS

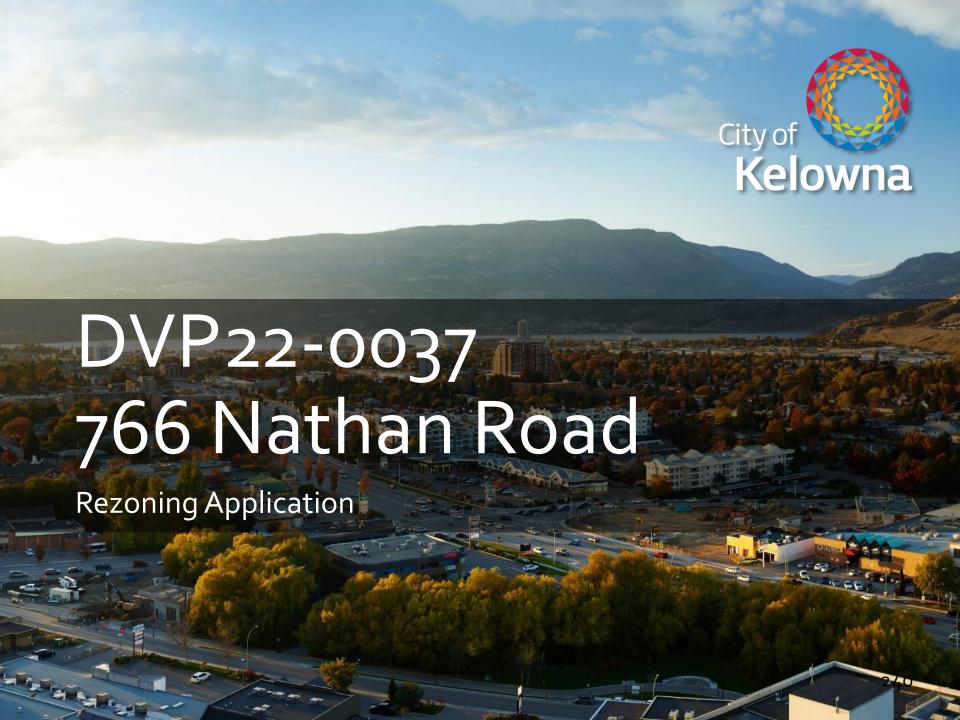
Jan. 24/2022

To Whom it May Concern:

<b>ATTACHMEN</b>	T_C
This forms part of applicate # DCP22-0037	ation
Planner Initials GA	City of Kelowna

It has been suggested that I will need a variance in relation to the net floor area for my rezoning request for a carriage house on my property. We have an existing building that was built 9 years ago. The building is already connected to sewer, water and electrical. Even at that time we had full intentions of eventually changing this to a carriage house. Therefore we were careful to check those requirements. At that time we were told that the basement square footage was not included for any application. The one story above ground would conform to the required size. As the interpretation appears to have changed, we will now be requesting a variance to include the square footage of the basement. This has been a long term project for myself and my sons, taking the steps as we could afford to make them happen. Please except our proposal so we can continue our project and fill the need for the extra living space of the family. The current cost of housing in Kelowna makes it extremely unlikely that any of my sons will afford to remain living in the valley if we are unable to maximize the use of this building as a dwelling

Thankyou for your consideration, Donya Epp 766 Nathan Rd.





## Proposal

► To vary the required maximum net floor area of a carriage house from 100 m2 to 180 m2.

## **Development Process**

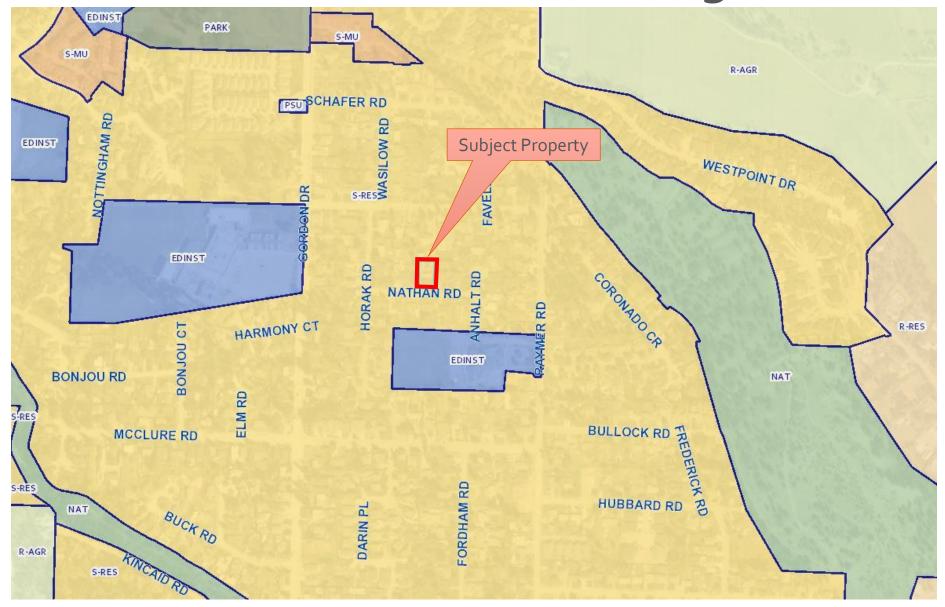




## Context Map



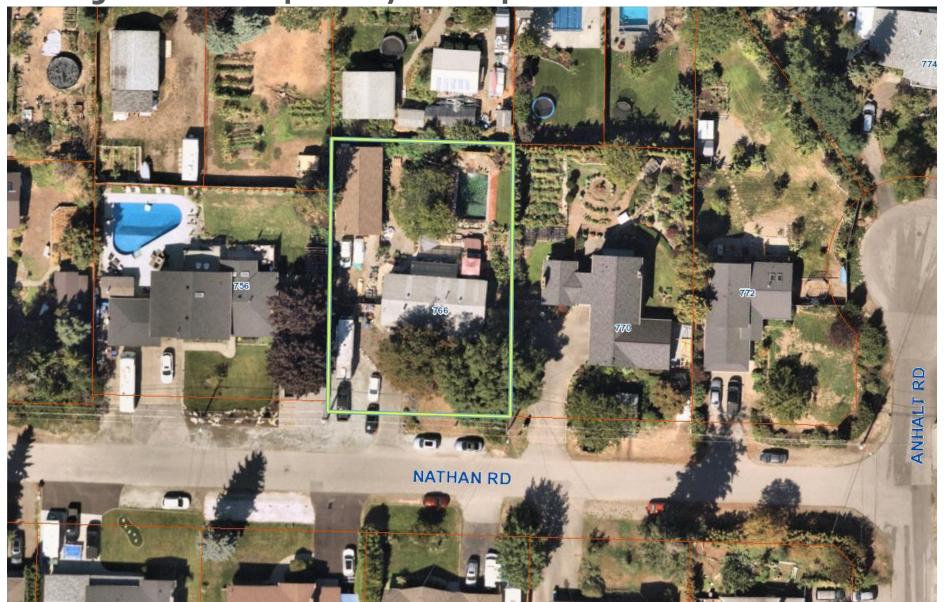
## OCP Future Land Use / Zoning



City of Kelowna

244

# Subject Property Map

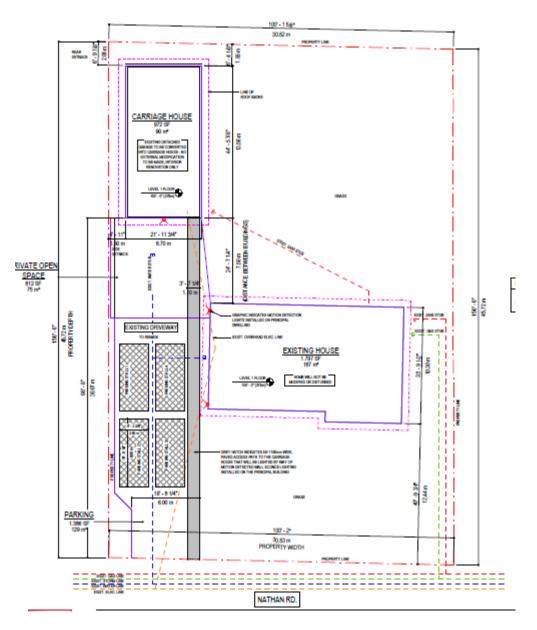




# **Project Details**

- ► Application would convert an existing accessory building into a carriage house.
- ▶ Variance is for the floor area of the unfinished basement within existing accessory building.
- Accessory building received a Building Permit in 2012, and met all development regulations at the time of permit.
- ► Carriage house and accessory building development regulations were combined in 2017, which made this building legal non-conforming.
- ► Variance would add additional unit to suburban neighbourhood.

## Site Plan





# **Development Policy**

- ► Meets the intent of Official Community Plan Suburban Residential Policies by providing modest residential growth within existing neighbourhoods
  - Proposed Carriage house would provide an additional ground-oriented dwelling which contributes to diverse and affordable housing within suburban neighbourhoods
  - Provides an additional dwelling unit on a site near multiple schools



## Staff Recommendation

- Staff recommend **support** of the proposed Development Variance Permit to vary the required maximum net floor area of a carriage house from 100 m2 to 180 m2.
  - Building was constructed under former carriage house regulations
  - Consistent with the surrounding neighbourhood uses
  - ► Future Land Use designation of S-RES supports the RU1c zone



# Conclusion of Staff Remarks

### **CITY OF KELOWNA**

### BYLAW NO. 11731 Z17-0117 – 1036 Coronation Avenue

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 1 District Lot 138 and Section 30 Township 26 ODYD Plan EPP97719, located on Coronation Avenue, Kelowna, BC from the RU6 – Two Dwelling Housing zone to the RM5 – Medium Density Multiple Housing zone.

<ol> <li>This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.</li> </ol>
Read a first time by the Municipal Council this 7 <sup>th</sup> day of January, 2019.
Considered at a Public Hearing on the 29 <sup>th</sup> day of January, 2019.
Read a second and third time by the Municipal Council on the 29 <sup>th</sup> day of January, 2019.
Rescind second and third reading on the 3 <sup>rd</sup> day of February, 2020.
Considered at a Public Hearing on the 25 <sup>th</sup> day of February, 2020.
Read a second and third time by the Municipal Council on the 25 <sup>th</sup> day of February, 2020.
Amended at third reading and adopted by the Municipal Council of the City of Kelowna on the
Mayor
City Clerk

### REPORT TO COUNCIL



Date: July 12, 2022

To: Council

From: City Manager

Department: **Development Planning** 

1028 Coronation Ave Owner:

Application: DP22-0086 & DVP22-0087 Development Ltd Inc No BC

1337899

New Town Architecture & Address: 1036 Coronation Avenue Applicant:

Engineering Inc. (4078180 21)

Subject: Development Permit, Development Variance Permit.

**Existing OCP Designation:** C-NHD – Core Area Neighbourhood

**Existing Zone:** RM5 – Medium Density Multiple Housing

#### Recommendation 1.0

THAT Rezoning Bylaw No. 11731 be amended at third reading to revise the legal description of the subject properties from Lot 9 & 10 District Lot 138 and of Section 30 Township 26 ODYD Plan 3763 and Lot 1 District Lot 138 ODYD Plan 4282 to Lot 1 District Lot 138 and Section 30 Township 26 ODYD Plan EPP97719;

AND THAT final adoption of Rezoning Bylaw No. 11731 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP22-0086 for Lot 1 District Lot 138 and Section 30 Township 26 ODYD Plan EPP97719, located at 1036 Coronation Ave, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B".
- 3. Landscaping to be provided on the land be in accordance with Schedule "C".
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP22-0087 for Lot 1 District Lot 138 and Section 30 Township 26 ODYD Plan EPP97719, located at 1036 Coronation Avenue, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

### Section 13.11.6(b): RM5 - Medium Density Multiple Housing Development Regulations

To vary the required maximum site coverage of the building from 40% permitted to 55.6% proposed and to vary the required maximum site coverage of buildings, driveways and parking area from 65% permitted to 67.3% proposed;

AND THAT Council's consideration of this Development Permit be considered subsequent to the outstanding conditions of approval as set out in Attachment "B" attached to the Report from the Development Planning Department dated July 12, 2022;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

### 2.0 Purpose

To issue a Development Permit for the Form and Character and to issue a Development Variance Permit to vary the maximum site coverage to facilitate the development of a proposed  $4\frac{1}{2}$  storey building.

### 3.0 Development Planning

Development Planning Staff are supportive of the Development Permit and associated variances as the proposal meets many of the objectives and supporting policies of the Official Community Plan (OCP), as well as the applicable Urban Design Guidelines. Some of these include:

- Provide attractive and active human-scale amenities oriented towards public spaces at grade with frequent entries from the street;
- Provide for a scale and massing of buildings that promotes a safe, enjoyable living, pedestrian and working experience;
- Orient entries, windows, patios and balconies to face the fronting street. Ensure primary building
  entries are architecturally emphasized and directly accessible from the fronting public sidewalk
  Provide outdoor spaces, including rooftops, balconies, patios and courtyards;
- Provide access to underground or above ground on-site parking from secondary streets or lanes;
- When structured above grade parking is required due to the high water table, use store fronts or screening to mitigate visual impacts.

The development proposes ground-oriented units along the Coronation Avenue frontage to contribute to the pedestrian scale with units accessed directly from Coronation, contributing to the vibrancy of Conronation Avenue's pedestrian realm.

### 4.0 Proposal

### 4.1 <u>Background</u>

The rezoning application for the project was originally brought for initial consideration February 3, 2020 and was given 3<sup>rd</sup> reading on February 25<sup>th</sup>, 2020. The project has been delayed and received extensions from council to allow the owner time to fulfill all of the offsite development engrineering requirements (service agreement and associated security).

### 4.2 <u>Project Description</u>

The applicant is proposing the construction of a 4 ½ storey, 36-unit condominium development on Coronation Avenue between Graham Street and Gordon Drive. The proposed building has a mix of unit types including 20 1-bedroom units and 16 2-bedroom units.

Zoning Bylaw parking requirements have been met through the provision of 51 parking stalls with the site access from the rear laneway. The parking has been divided with half of the stalls provided in a partially underground parking structure and the remainder as at-grade parking stalls adjacent to the rear lane.

### Form and Character

The building proposes a flat-roof modern design with ground oriented units fronting onto Cornonation Avenue. The building consists of a mix of fibre cement panels, wood-look lap siding, corrugated metal panels, and brick veneer at the street level. Ground floor units are elevated from the sidewalk with individual stairwell entrances along Coronation Avenue. The building features articulation of the roofline and facades by providing recessed balconies and patios to maximize private open space.

Tiered landscaping and patios have been provided to disguise the partially above-grade parkade. The landscaping also aids in distinguishing the patios as private amenity area and to emphasize the ground oriented entrances while enhancing the pedestrian interface at street-level.

### **Variances**

The applicant is requesting site coverage variances for the building from 40% to 55.6% and to the combined site coverage of building, driveways and parking areas from 65% to 67.87% proposed. This variance is requested in order to accommodate the partially above-ground parking structure as it is included in the calculation of building area. The parkade is partially above-grade due to the high-water table experienced in the neighbourhood. The second part of this variance is for the provision of some at grade parking stalls at the rear of the building which increased the sites' over-all site coverage. The applicant is using concrete pavers as a way of mitigating the amount of hard surfacing on the site and will provide water permeability.

Staff are supportive of the site coverage variance to facilitate this development. The provision of tiered landscaping along the Coronation Avenue streetscape aids in disguising the raised parking structure and also provides a natural division of the public and private realm.

### 4.3 Site Context

The subject property is located east of the City Centre Urban Centre on Coronation Avenue between Graham Street and Gordon Drive.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing	Single Family Dwellings
RM4 – Transitional Low Density Housing		Single Fairing Dwellings
East	RU6 – Two Dwelling Housing	Single Family Dwellings
South	RU7 – Four Dwelling Housing	Fourplexes
300011	P2 – Education and Institutional	Religious Assemblies
West RU6 – Two Dwelling Housing Single Family Dwellings		Single Family Dwellings

Subject Property Map: 1036 Coronation Avenue



### 4.4 Zoning Analysis Table

Zoning Analysis Table						
CRITERIA	RM <sub>5</sub> ZONE REQUIREMENTS	PROPOSAL				
Existing Lot/Subdivision Regulations						
Min. Lot Area	1400m²	2095.94m²				
Min. Lot Width	Min. Lot Width 30m 55.81n					
Min. Lot Depth	35m	37.55m				
	Development Regulations					
Max. Floor Area Ratio						
Max. Site Coverage (buildings)	40%	55.6% <del>0</del>				
Max. Site Coverage (buildings, parking, driveways)	65%	67.87%				
Max. Height	18m or 4.5 storeys	15.53m or 4.5 Storeys				
Min. Front Yard	1.5m (FIRST 2.5 STOREYS) 6.om (UPPER 2 STOREYS)	1.6m (PARKADE) 6.5m (RESIDENTIAL)				
Min. Side Yard (east)	4.5m (FIRST 2.5 STOREYS) 7.0m (UPPER 2 STOREYS	7.om				
Min. Side Yard (west)	4.5m (FIRST 2.5 STOREYS) 7.0m (UPPER 2 STOREYS)	7.om				
Min. Rear Yard	7.om	7.om				
	Other Regulations					
Min. Parking Requirements	48	51				
Min. Bicycle Parking	44 Stalls (Long Term) 6 Stalls (Short term	56 (Long Term) 6 (Short Term)				
Min. Private Open Space	700m²	1239m²				
Indicates a requested variance to Site Cover	age					

### **5.0 Current Development Policies**

Objective 5.3 Focus	Objective 5.3 Focus development to designated growth areas				
Policy 5.11.1.	Ensure a diverse mix of low and medium density housing forms in the Core Area				
Diverse Housing	that support a variety of households, income levels and life stages.				
Forms.	The proposed building provides a mix of 1 and 2 bedroom units as well as ground				
	oriented units with access fronting onto Coronation Avenue.				
Chapter 18 Form an	d Character Development Permit Area				
4.1.1 Relationship	Maximize 'eyes on the street' by avoiding blank walls and providing direct lines				
to the Street	of sight from windows and balconies to the sidewalk and adjacent public spaces				
	Balconies and windows of building overlook public streets, lanes and internal open				
	space, while minimizing views into other existing private residences				
4.1.6 Building	Use an integrated, consistent range of materials and colours and provide variety				
Articulation,	by, for example, using accent colours				
Features &	The 4.5-storey building uses a consistent material and colour pallette with accents.				
Material	The massing and articulation of the buildings is complimentary while adhering to a				
	consistent concept.				

### 5.0 Application Chronology

Date of Application Received: March 25, 2022
Date Public Consultation Completed: May 19, 2022

Report prepared by: Graham Allison, Planner I

Reviewed by: Lydia Korolchuk, Urban Planning Manager

**Reviewed by:** Terry Barton, Development Planning Department Manager

**Approved for Inclusion:** Ryan Smith, Divisional Director, Planning & Development Services

### Attachments:

Attachment A: Draft Development Permit

Schedule A: Site Plan

Schedule B: Building Elevations

Schedule C: Landscape Plan

Attachment B: Development Engineering Memo
Attachment C: Form and Character Guidelines

# Development Permit & Development Variance Permit DP22-0086 / DVP22-0087



This permit relates to land in the City of Kelowna municipally known as

1036 Coronation Drive

and legally known as

Lot 1 District Lot 138 and Section 30 Township 26 ODYD Plan EPP97719

and permits the land to be used for the following development:

Multiple Dwelling Housing (RM5 – Medium Density Multiple Housing))

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u> July 12<sup>th</sup>, 2022

Decision By: COUNCIL

Existing Zone: RM5 – Medium Density Multiple Housing

Future Land Use Designation: C-NHD – Core Area Neighbourhood

### This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

### NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1028 Coronation Ave Development Ltd Inc No BC 1337899

Applicant: New Town Architecture & Engineering Inc.

Planner: Graham Allison

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date



# ATTACHMENT A This forms part of application # DP22-0086 / DVP22-0087 City of Planner Indials GA DEFICICACIÓN OF ANABORA DEFICI

#### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

#### 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C".
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

That Council authorizes the issuance of a Development Variance Permit No. DVP22-0087 for Lot 1 District Lot 138 and Section 30 Township 26 ODYD Plan EPP97719 located at 1036 Coronation Avenue.

That variances to the following section of the Zoning Bylaw No. 8000 be granted.

### Section 13.11.6(b): RM5 - Medium Density Multiple Housing Development Regulations

To vary the required maximum site coverage of the building from 40% permitted to 55.6% proposed and to vary the required maximum site coverage of buildings, driveways and parking area from 65% permitted to 67.3% proposed;

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

#### 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit OR certified cheque in the amount of \$112,200.31

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

#### 3. INDEMNIFICATION

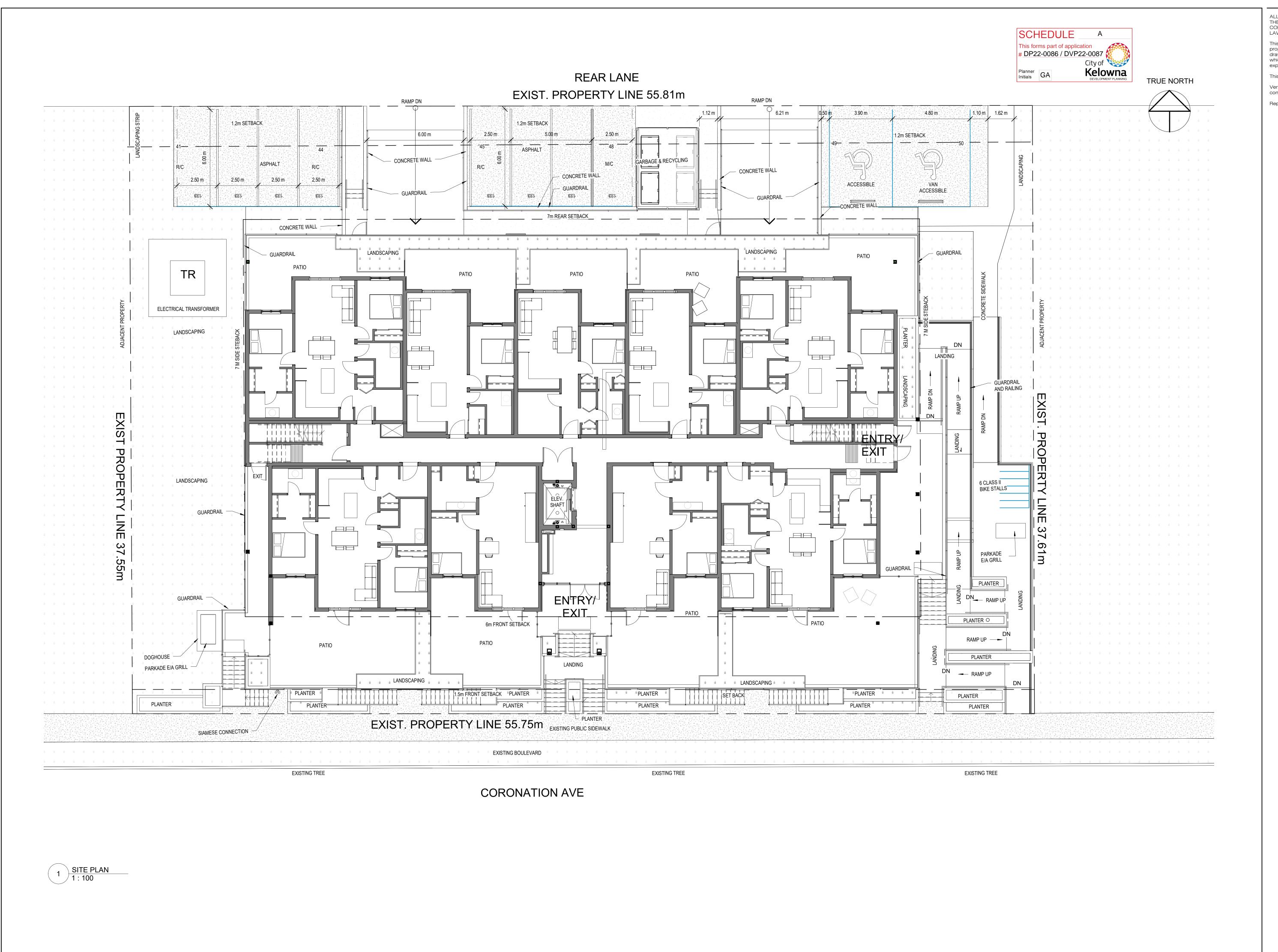
Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

## Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.





ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



**NEW TOWN** ARCHITECT URE URBAN PLANNING CIVIL ENGINEERING www.newtownservices.ca



Revisions

No Date Description MM-DD-YY

3 | 10/27/21 | RE-ISSUED FOR DP 4 02/08/22 RE-ISSUED FOR DP 6 06/21/22 RE-ISSUED FOR DP

project title

CORONATION 36-UNIT MULTI-FAMILY

project address

1036 Coronation Ave., Kelowna

project no. 4093

SITE PLAN



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

Verify all dimensions and datums prior to

commencement of work. Report all errors and omissions to the Architect.





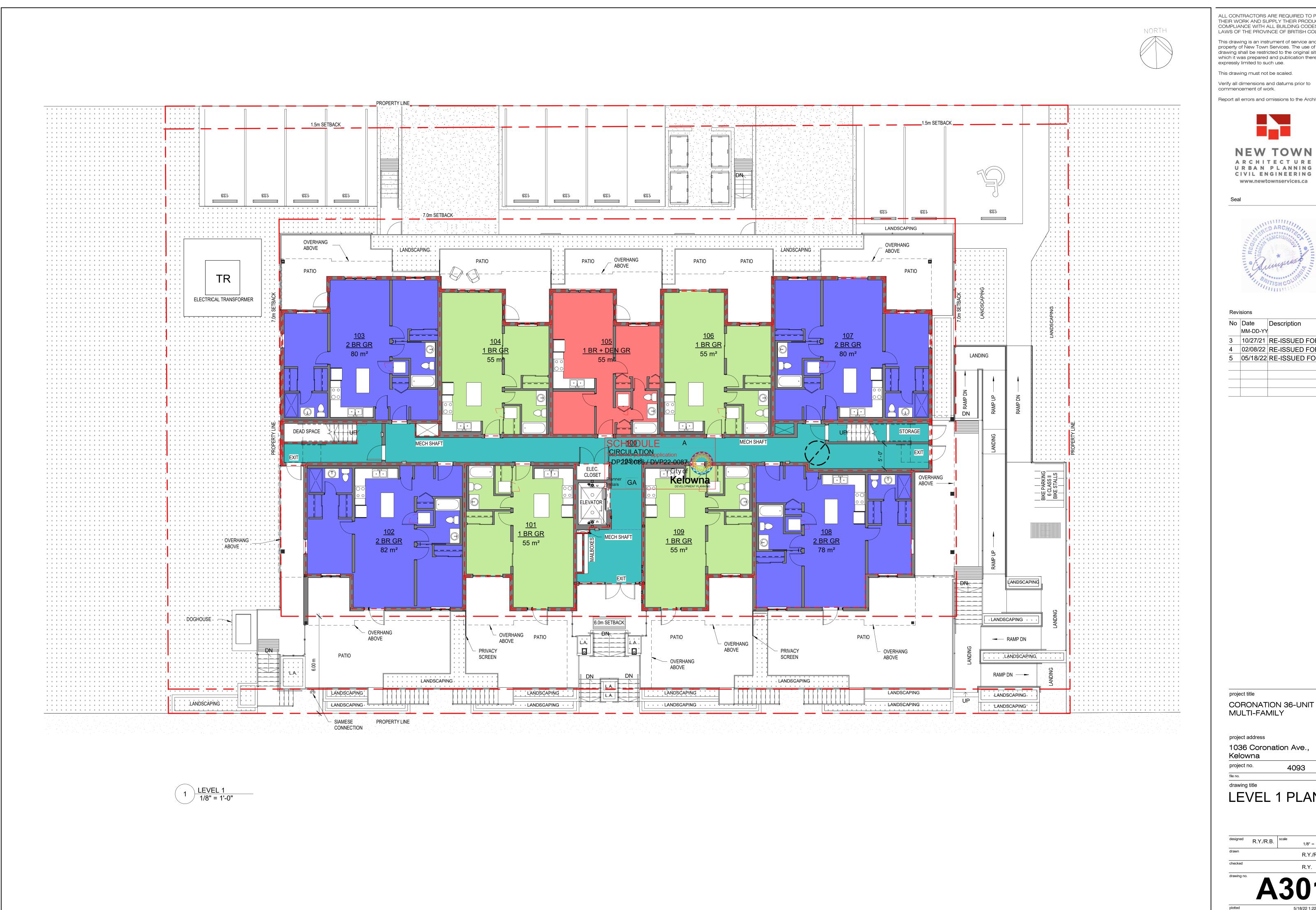
No Date Description MM-DD-YY

3 | 10/27/21 | RE-ISSUED FOR DP 4 02/08/22 RE-ISSUED FOR DP 6 06/21/22 RE-ISSUED FOR DP

PARKADE PLAN

4093

1/8" = 1'-0" R.Y./R.B.



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and datums prior to

Report all errors and omissions to the Architect.

**NEW TOWN** ARCHITECTURE

www.newtownservices.ca



Revisions

No Date Description MM-DD-YY

3 | 10/27/21 | RE-ISSUED FOR DP 02/08/22 RE-ISSUED FOR DP 05/18/22 RE-ISSUED FOR DP

project title

project address

1036 Coronation Ave., Kelowna

4093

drawing title

LEVEL 1 PLAN

designed R.Y./R.B. 1/8" = 1'-0" R.Y./R.B.

NORTH PROPERTY LINE 1.2m SETBACK 7m REAR STETBACK DECK DECK DECK DECK DECK 203 2 BR <u>204</u> <u>206</u> <u>1 BR</u> <u>1 BR</u> <u> 2 BR</u> <u> 1 BR + DEN</u> 55 m² 55 m² MECH SHAFT CIRCULATION 92 m² ELEC CLOSET 209 1 BR 55 m² 208 2 BR 82 m² 3.60 m 0.20 m DECK DECK DECK BIKE STORAGE \_\_\_\_ROOF\_\_\_\_ .ROOF. \_\_\_ROOF\_\_\_ ROOF/ CANOPY 1.5m FRONT STETBACK PROPERTY LINE

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



CIVIL ENGINEERING www.newtownservices.ca

**NEW TOWN** ARCHITECT URE URBAN PLANNING



Revisions

No Date Description MM-DD-YY 3 10/27/21 RE-ISSUED FOR DP 4 02/08/22 RE-ISSUED FOR DP 5 | 05/18/22 | RE-ISSUED FOR DP

project title CORONATION 36-UNIT MULTI-FAMILY

project no.

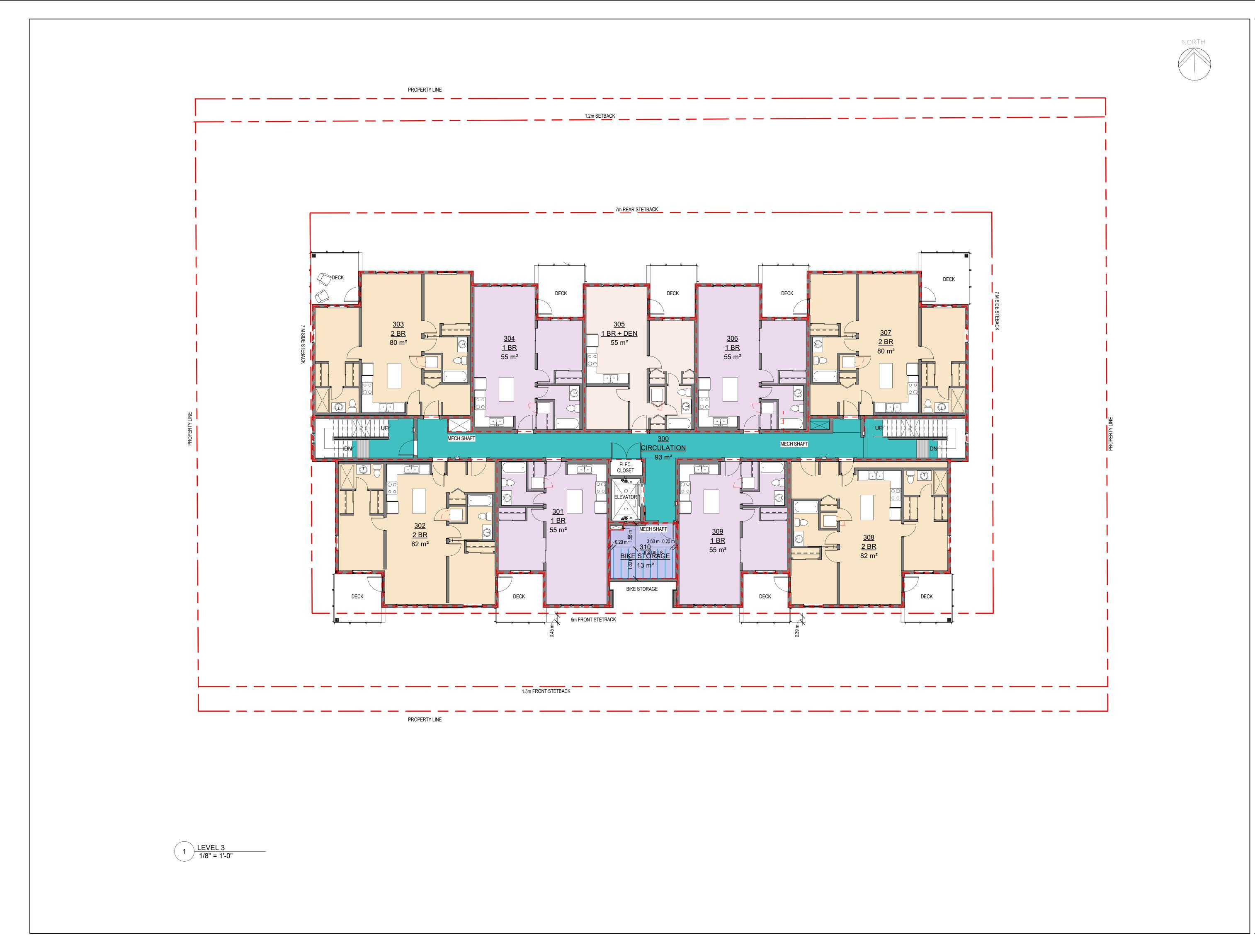
project address

1036 Coronation Ave., Kelowna

4093

drawing title LEVEL 2 PLAN

R.Y./R.B.



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



**NEW TOWN** ARCHITECT URE URBAN PLANNING CIVIL ENGINEERING

www.newtownservices.ca



Revisions

No Date Description

MM-DD-YY 3 10/27/21 RE-ISSUED FOR DP 4 02/08/22 RE-ISSUED FOR DP 5 05/18/22 RE-ISSUED FOR DP

project title

CORONATION 36-UNIT MULTI-FAMILY

project address

1036 Coronation Ave., Kelowna

4093

project no.

drawing title LEVEL 3 PLAN

R.Y./R.B.

NORTH PROPERTY LINE 1.2m SETBACK 7m REAR STETBACK DECK DECK DECK <u>403</u> <u>2 BR</u> <u>404</u> 1 BR <u>405</u> <u>1 BR + DEN</u> <u>408</u> 2 BR 1 BR 55 m² ROOF — MECH SHAFT 400 CIRCULATION ELEC. CLOSET ROOF 402 2 BR 82 m² <u>401</u> <u>1 BR</u> 55 m² 410 1 BR 55 m<sup>2</sup> 409 2 BR 82 m² 0.22 m 3.60 m 0.22 m **BIKE STORAGE** DECK DECK 6m FRONT STETBACK ROOF / 1.5m FRONT STETBACK PROPERTY LINE

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



**NEW TOWN** ARCHITECT URE URBAN PLANNING CIVIL ENGINEERING

www.newtownservices.ca



Revisions

No Date Description

MM-DD-YY 3 10/27/21 RE-ISSUED FOR DP 4 02/08/22 RE-ISSUED FOR DP 5 05/18/22 RE-ISSUED FOR DP

project title

CORONATION 36-UNIT MULTI-FAMILY

project address

1036 Coronation Ave., Kelowna

4093

project no.

drawing title LEVEL 4 PLAN

1/8" = 1'-0" R.Y./R.B.

PROPERTY LINE 7m REAR STETBACK 0.27 m PRE-FINISHED METAL CAP FLASHING UNITS (TYP) 2<sup>™</sup> SLOPE — 2% SLOPE ROOF TOP UNIT └ ACCESS HATCH SCREEN (TYP) SCREEN (TYP) CONDENSING
UNITS (TYP) BOILER FLUE EXHAUST,
REFER TO MECH. DWGS PRE-FINISHED METAL CAP FLASHING 1.5m FRONT STETBACK PROPERTY LINE

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

NORTH

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



**NEW TOWN** ARCHITECT URE URBAN PLANNING CIVIL ENGINEERING www.newtownservices.ca



Revisions

No Date Description

MM-DD-YY 3 10/27/21 RE-ISSUED FOR DP 4 02/08/22 RE-ISSUED FOR DP 5 05/18/22 RE-ISSUED FOR DP

project title

CORONATION 36-UNIT MULTI-FAMILY

project address 1036 Coronation Ave.,

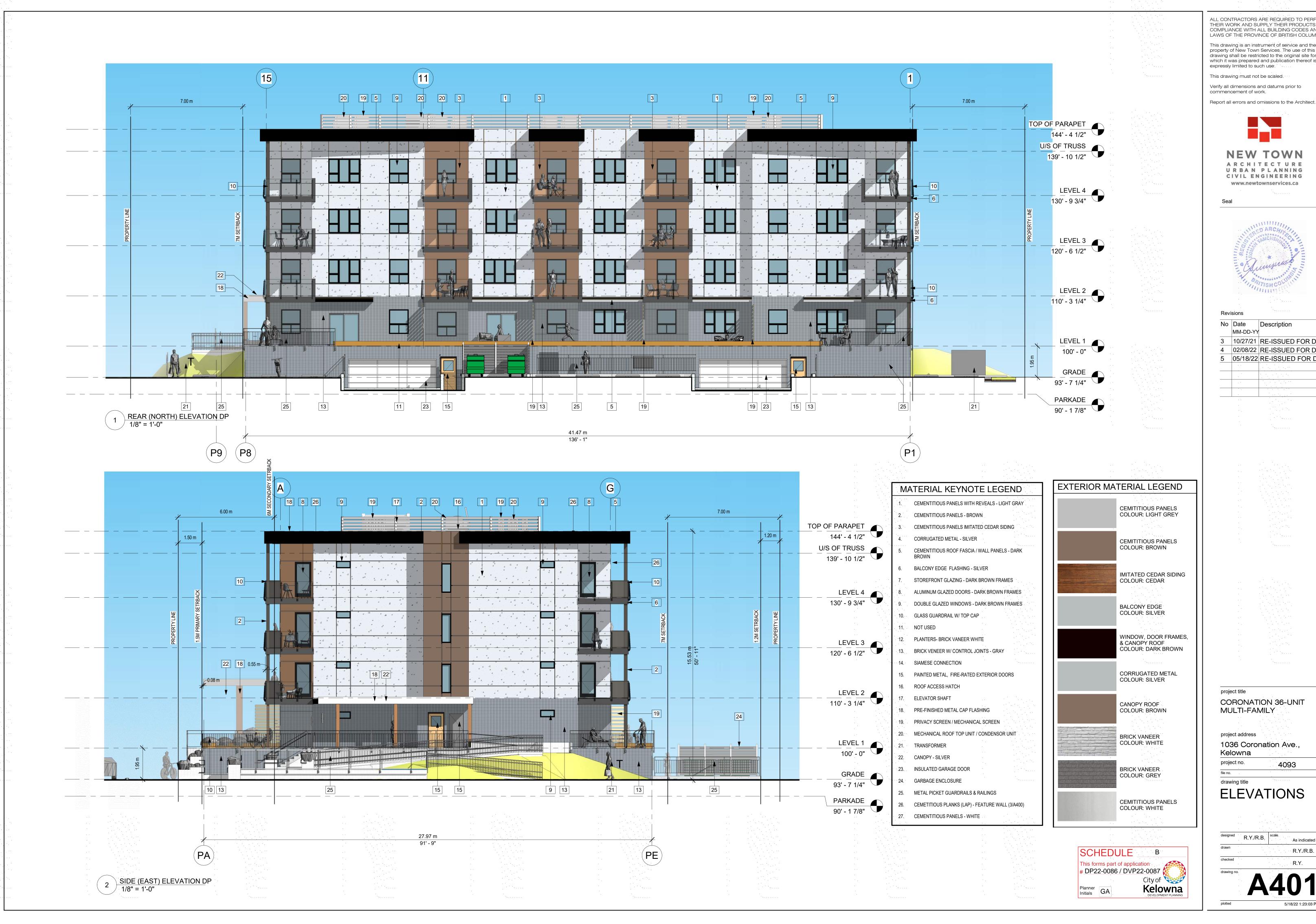
4093

Kelowna project no.

drawing title **ROOF PLAN** 

1/8" = 1'-0" R.Y./R.B.





ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is

expressly limited to such use: This drawing must not be scaled.

Verify all dimensions and datums prior to commencement of work.



**NEW TOWN** ARCHITECTURE URBAN PLANNING CIVIL ENGINEERING

www.newtownservices.ca



Revisions

No Date Description MM-DD-YY

3 | 10/27/21 | RE-ISSUED FOR DP 4 02/08/22 RE-ISSUED FOR DP 5 05/18/22 RE-ISSUED FOR DP

project title

**CORONATION 36-UNIT** MULTI-FAMILY

project address 1036 Coronation Ave., Kelowna

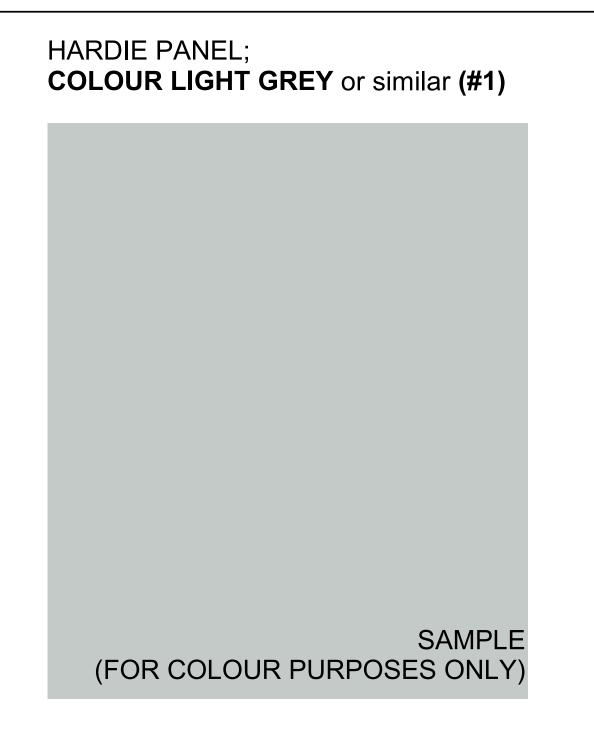
4093

drawing title **ELEVATIONS** 

designed R.Y./R.B. scale

R.Y./R.B.

As indicated



BRICK VANEER COLOUR: GREY or similar (#13)



WINDOWS - CLEAR VISION GLASS W/ DARK BROWN FRAME (#8 & #9)



HARDIE PANEL;
COLOUR BROWN or similar (#2)



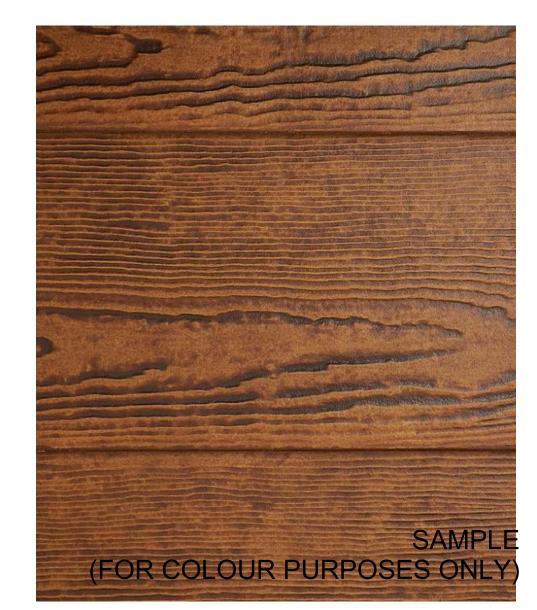
BRICK VANEER COLOUR: WHITE **(#11)** 



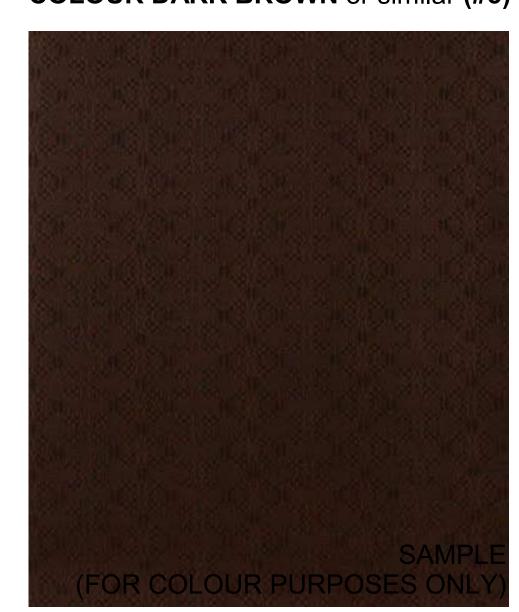
**BIKE RACKS** 



HARDIE PLANK FISHER TRUE GRAIN SERIES; COLOUR CEDAR or similar (#3)



WINDOW, DOOR FRAMES, & CANOPY ROOFS; COLOUR DARK BROWN or similar (#5)



COLOUR SILVER or similar (#4 & #6)



CORRUGATED METAL;

HARDIE PANEL;
COLOUR WHITE or similar (#27)

SAMPLE (FOR COLOUR PURPOSES ONLY) Report all errors and omissions to the Architect.

Verify all dimensions and datums prior to

This drawing must not be scaled.

commencement of work.

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

NEW TOWN

ARCHITECT URE

URBAN PLANNING

CIVIL ENGINEERING

Seal



www.newtownservices.ca

Revisions

No Date Description

MM-DD-YY

3 10/27/21 RE-ISSUED FOR DP
4 02/08/22 RE-ISSUED FOR DP
5 05/18/22 RE-ISSUED FOR DP

project title
CORONATION 36-UNIT
MULTI-FAMILY

project address

1036 Coronation Ave.,

Kelowna project no.

ect no. 4093

MATERIALS

designed R.Y./R.B. scale
drawn R.Y
checked R.Y

A402



001\_CORONATION AVENUE VIEW



002\_LANEWAY VIEW

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



**NEW TOWN** ARCHITECT URE URBAN PLANNING CIVIL ENGINEERING www.newtownservices.ca



Revisions

No Date Description MM-DD-YY

3 10/27/21 RE-ISSUED FOR DP 4 02/08/22 RE-ISSUED FOR DP 5 05/18/22 RE-ISSUED FOR DP

CORONATION 36-UNIT MULTI-FAMILY

project address

1036 Coronation Ave., Kelowna

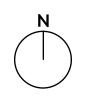
4093

drawing title

RENDERINGS







### 1044 CORONATION AVE **MULTI-FAMILY**

DRAWING TITLE

### CONCEPTUAL LANDSCAPE PLAN

ISSU	jed for / revision	1
1	19.08.03	Review
2	19.09.18	Development Permit
3	19.11.01	Development Permit
4	20.01.03	Development Permit
5	20.06.24	Development Permit
6	22.02.10	Development Permit
7	22.05.16	Development Permit

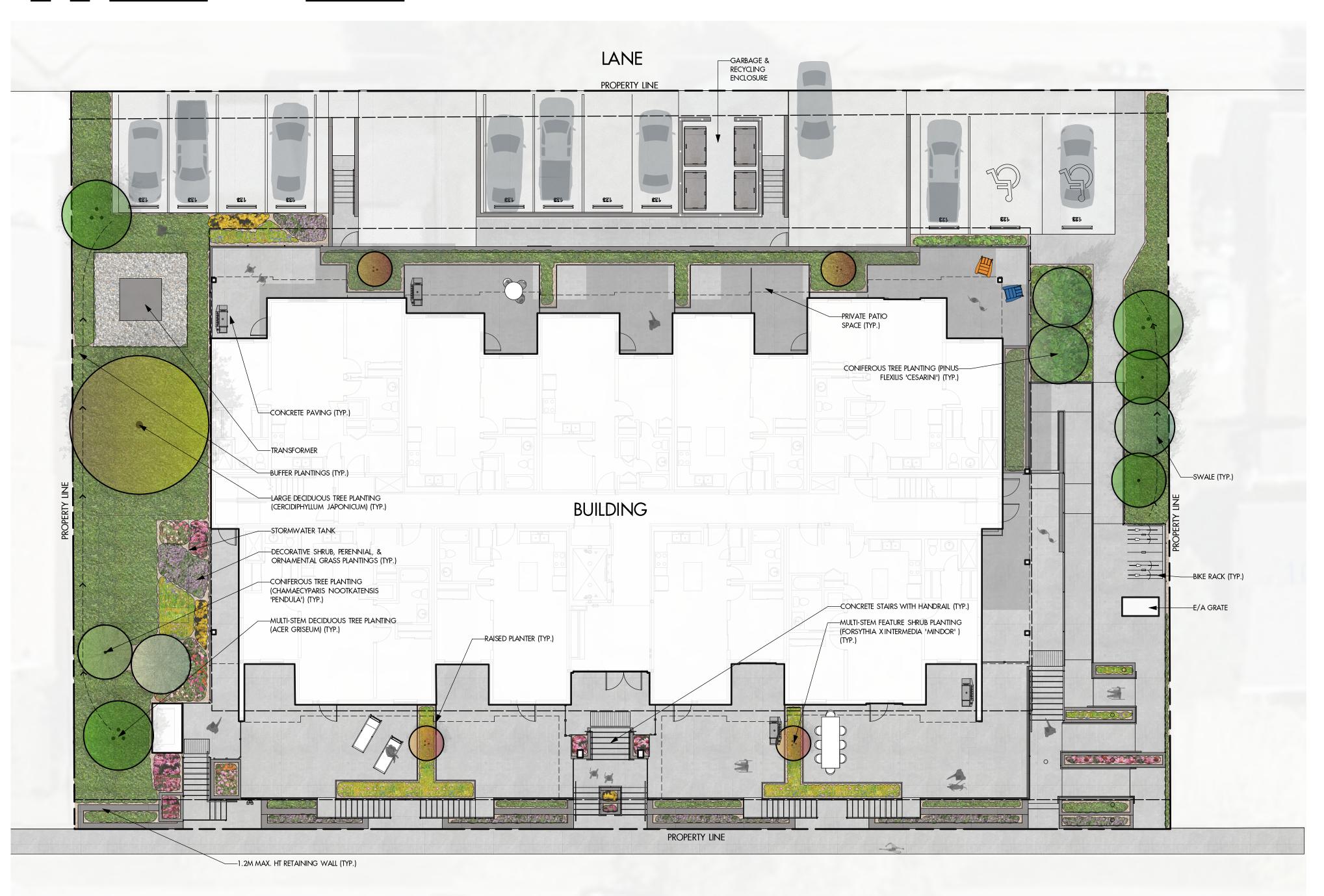
PROJECT NO 19-07	
	<b>7</b> 6
DESIGN BY KM	
DRAWN BY SP	
CHECKED BY FB	
DATE MAY	16, 2022
SCALE 1:125	5



drawing number

**ISSUED FOR REVIEW ONLY** 

Copyright Reserved. This drawing is the property of Ecora Engineering & Resource Group Ltd. and shall not be reproduced, resold, or tendered without permission.



### CORONATION AVENUE

### **NOTES**

- 1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARDS & CITY OF KELOWNA ZONING BYLAW 7900.
- 2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
- 3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH, AS SHOWN ON PLANS. DO NO PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
- 4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
- 5. TURF FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
- 6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON OR PRIVATE PROPERTIES.

### **BOTANICAL NAME TREES** ACER GRISEUM

**PLANT LIST** 

CERCIDIPHYLLUM JAPONICUM CHAMAECYPARIS NOOTKATENSIS 'PENDULA' PINUS FLEXILIS 'CESARINI'

BERBERIS THUNBERGII 'GENTRY' BERBERIS THUNBERGII 'MONRY' BUXUS 'GREEN GEM' CORNUS ALBA 'BAILHALO' FORSYTHIA X INTERMEDIA 'MINDOR' PICEA ABIES 'OHLENDORFFII'

RIBES ALPINUM SPIRAEA JAPONICUM 'DOUBLE PLAY ARTIST' SYRINGA PATULA 'MISS KIM'

**GROUNDCOVERS & PERENNIALS** ACHILLEA MILLEFOLIUM 'PAPRIKA' ALCHEMILLA MOLLIS ARCTOSTAPHYLOS UVA-URSI ASTER FRIKARTII 'MONCH' HEUCHERA 'PLUM PUDDING' HOSTA 'HALCYON' MATTEUCCIA STRUTHIOPTERIS MISCANTHUS SINENSIS 'HURON SUNRISE' PEROVSKIA ATRIPLICIFOLIA 'DENIM 'N' LACE' Rudbeckia fulgida 'goldsturm' SEDUM SPECTABILE 'AUTUMN JOY'

ROYAL BURGUNDY BARBERRY SUNSATION BARBERRY GREEN GEM BOXWOOD IVORY HALO DOGWOOD SHOW OFF FORSYTHIA OHLENDORFF'S NORWAY SPRUCE ALPINE CURRANT DOUBLE PLAY ARTIST SPIREA MISS KIM LILAC

WEEPING NOOTKA CYPRESS

PAPRIKA YARROW LADY'S MANTLE KINNIKINNICK FRIKART'S ASTER HALCYON HOSTA OSTRICH FERN

COMMON NAME

PAPERBARK MAPLE

BLUE LIMBER PINE

Katsura Tree

12 #02 CONT. / 1.5m O.C. SPACING 24 #01 CONT. / 0.75 O.C. SPACING 24 #01 CONT. / 0.75m O.C. SPACING #01 CONT. / 0.9m O.C. SPACING #01 CONT. / 0.9m O.C. SPACING 24 #01 CONT. / 0.75m O.C. SPACING PLUM PUDDING CORAL BELL #01 CONT. / 1.2m O.C. SPACING 14 #01 CONT. / 1.0m O.C. SPACING #01 CONT. / 1.2m O.C. SPACING HURON SUNRISE MAIDEN GRASS DENIM 'N' LACE RUSSIAN SAGE 17 #01 CONT. / 0.9m O.C. SPACING GOLDSTURM CONEFLOWER 17 #01 CONT. / 0.9m O.C. SPACING 24 #01 CONT. / 0.75m O.C. SPACING AUTUMN JOY STONECROP

QTY SIZE / REMARKS

6cm CAL.

4 2.0m HT. MIN.

2.0m HT. MIN.

6cm CAL./MULTISTEM

20 #02 CONT. / 1.2m O.C. SPACING

35 #02 CONT. / 0.9m O.C. SPACING

#02 CONT. / 1.0m O.C. SPACING

#02 CONT. / 1.5m O.C. SPACING

#05 CONT. / 1.8m O.C. SPACING

#02 CONT. / 1.8m O.C. SPACING

#02 CONT. / 1.8m O.C. SPACING

#02 CONT. / 0.75m O.C. SPACING



303-590 KLO Road Kelowna, BC V1Y 7S2 T (250) 868-9270 www.outlanddesign.ca



### **1044 CORONATION AVE MULTI-FAMILY**

Kelowna, BC

drawing title

## WATER CONSERVATION/ **IRRGATION PLAN**

ISSL	jed for / revision	
1	19.08.03	Review
2	19.09.18	Development Permit
3	19.11.01	Development Permit
4	20.01.03	Development Permit
5	20.06.24	Development Permit
6	22.02.10	Development Permit
7	22.05.16	Development Permit

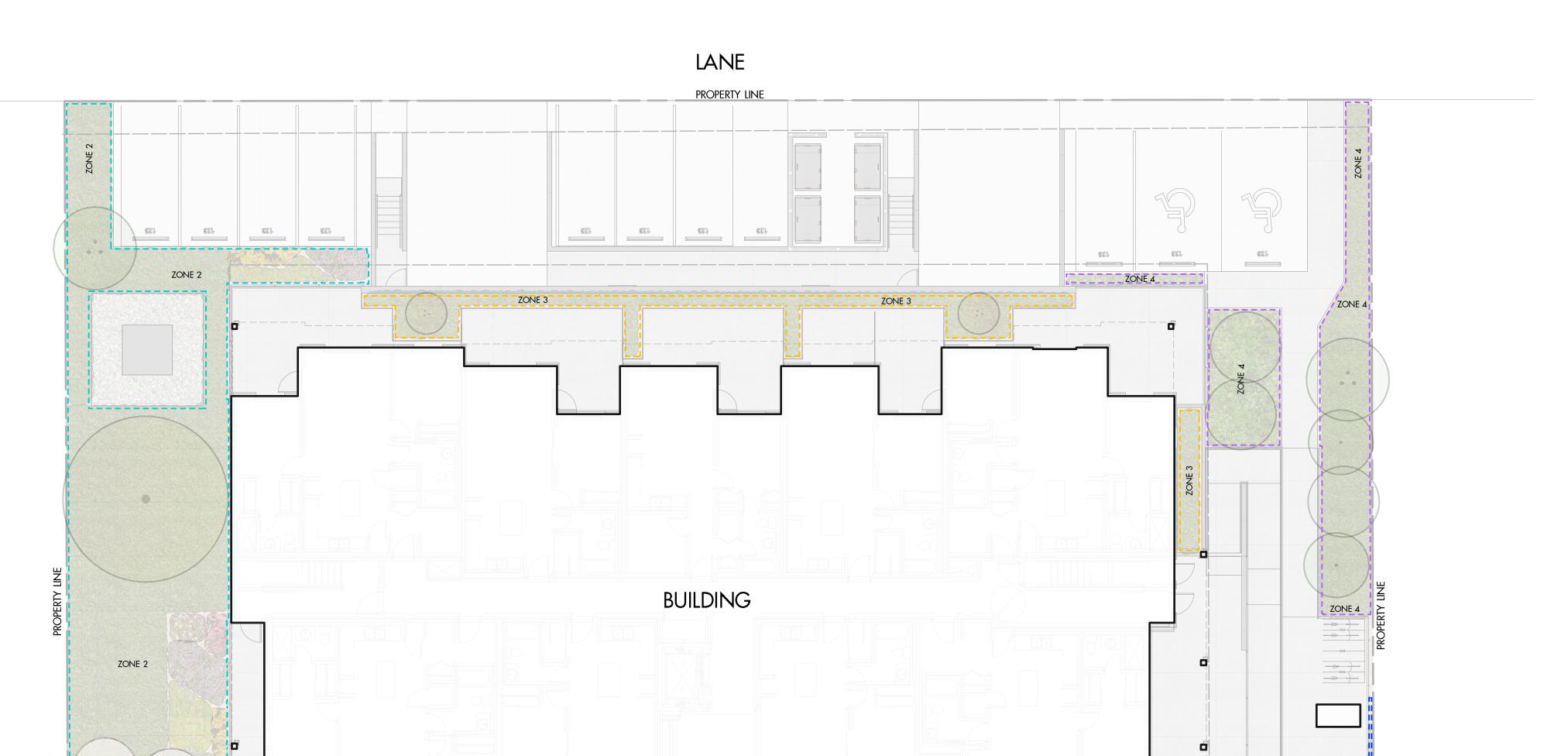
PROJECT NO	19076
DESIGN BY	KM
DRAVVN BY	SP
CHECKED BY	FB
DATE	MAY 16, 2022
SCALE	1:125



DRAWING NUMBER

**ISSUED FOR REVIEW ONLY** 

Copyright Reserved. This drawing is the property of Outland Design Landscape Architecture Limited and shall not be reproduced, resold, or tendered without permission.



ZONE 1

\_\_\_\_ZONE L\_\_\_\_

PROPERTY LINE

I I I ZONE I I I I I

ZONE 1

ZONE 1

[ ZONE] = ]

! ZONE II ----

ZONEJ Z J

ZZZZONEJZJ

ZONE 2

IZ1

ZONE I

## CORONATION AVENUE

## WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 371 cu.m. / year ESTIMATED LANDSCAPE WATER USE (WU) = 196 cu.m. / year WATER BALANCE = 175 cu.m. / year

\*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

### **IRRIGATION NOTES**

ZONE I

ZONEI = = =

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).

ZONE

ZONE

[ ZONE] ] ]

ZONE 1

SI I ZONEI I I I I I

2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.

3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE

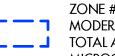
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.

5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.

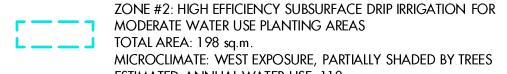
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.

7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.

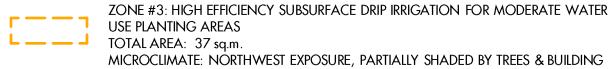
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.



ZONE #1: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS L \_\_\_ \_ J TOTAL AREA:51 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 17 cu.m.



MODERATE WATER USE PLANTING AREAS **L** \_\_\_ \_ \_ **J** TOTAL AREA: 198 sq.m. MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 110 cu.m.



TOTAL AREA: 37 sq.m. MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING ESTIMATED ANNUAL WATER USE: 21 cu.m.



ZONE #4: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 67 sq.m. MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 37 cu.m.

### CITY OF KELOWNA

### **MEMORANDUM**

March 28, 2022 Date:

File No.: DP22-0086

To: Community Planning (GA)

Development Engineering Manager (NC) From:

1036 Coronation Ave Subject:



form and character

Development Engineering has the following requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this Development Permit for the form and character for a proposed 4.5-storey, 36-unit apartment building. All requirements will be applicable at time of Building Permit.

The Development Engineering Technologist for this project is Ryan O'Sullivan

#### .1) General

- a. The following requirements are valid for two (2) years from the reference date of this memo, or until the application has been closed, whichever occurs first. The City of Kelowna reserves the rights to update/change some or all items in this memo once these time limits have been reached.
- b. There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.
- c. This proposed development/subdivision may require the installation of centralized mail delivery equipment. Please contact Arif Bhatia, Delivery Planning Officer, Canada Post Corporation, 530 Gaston Avenue, Kelowna, BC, V1Y 2K0, (250) 859-0198, arif.bhatia@canadapost.ca to obtain further information and to determine suitable location within the development.
- d. The access to this site must be from the lane. Access to Coronation Street is not permitted as per bylaw.
- e. All garbage pickups must be managed on site.

#### .2) Domestic Water and Fire Protection

- The development site is presently serviced with a two (2) small diameter (13-mm) a one (1) (19mm) water services. The applicant's consulting mechanical engineer a) will determine the domestic, fire protection requirements of this proposed development and establish hydrant requirements and service needs. Only one service will be permitted for this development.
- b) The Developer's Consulting Engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant

#### DP22-0086 - 1036 Coronation Ave Form & Char RO.doc

requirements and service needs. The bylaw requirement for this development is 150 L/s. If it is determined that upgrades to any existing water distribution system must be made to achieve the required fire flows, additional bonding will be required.

c) It is apparent that the existing 150mm diameter water main within Coronation Ave is substandard. The applicant, at their cost, will arrange for upgrading of watermain along the full frontage to Gordon Drive with a 200mm PVC water main, the decommissioning of the two (3) small water services, and the installation of one new larger water service.

### .3) Sanitary Sewer

(a) The development site is presently serviced with a 100mm-diameter sanitary sewer service. Only one service will be permitted for this development. The developer's consulting civil engineer will determine sanitary sizing for this development. The applicant, at his cost, will arrange for the removal of the existing services and the installation of a new larger service if required.

### 1. Storm Drainage

- a. The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and recommendations for onsite drainage containment and disposal systems.
- b. Provide the following drawings:
  - i. A detailed Lot Grading Plan (indicate on the Lot Grading Plan any slopes that are steeper than 30% and areas that have greater than 1.0 m of fill);
  - ii. A detailed Stormwater Management Plan for this subdivision; and,
  - iii. An Erosion and Sediment Control Plan is to be prepared by a Professional Engineer proficient in the field of erosion and sediment control. The plan is to be prepared as per section 3.14 of Schedule 4 of Bylaw 7900. If a line item for ESC is not included in the Engineer's cost estimate for off-site work, then an additional 3% will be added to the performance security based on the total off-site construction estimate.
- c. On-site detention systems are to be compliant with Bylaw 7900, Schedule 4, Section 3.11.1 *Detention Storage*.
- d. As per Bylaw 7900, Schedule 4, Section 3.1.3 *Climate Change*, the capacity of storm works will include an additional 15 percent (15%) upward adjustment and applied to the rainfall intensity curve stage (IDF) in Section 3.7.2.
- e. Show details of dedications, rights-of-way, setbacks, and non-disturbance areas on the lot Grading Plan.
- f. Register right of ways on private properties for all the storm water infrastructure carrying, conveying, detaining and/or retaining storm water that is generated from the public properties, public road right of ways, and golf course lands.
- g. Where structures are designed or constructed below the proven high groundwater table, permanent groundwater pumping will not be permitted to discharge to the storm system.



The City will approve designs that include provisions for eliminating groundwater penetration into the structure, while addressing buoyancy concerns. These design aspects must be reviewed and approved by the City Engineer.

### .5) <u>Geotechnical Study</u>

 a. Provide a comprehensive geotechnical report PDF format prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below:

<u>NOTE</u>: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.

- b. The Geotechnical reports must be submitted to the Planning and Development Services Department (Planning & Development Officer) for distribution to the Works & Utilities Department and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval.
  - i. Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
  - ii. Site suitability for development.
  - iii. Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
  - iv. Any special requirements for construction of roads, utilities, and building structures.
  - v. Recommendations for items that should be included in a Restrictive Covenant.
  - vi. Recommendations for roof drains and perimeter drains.
  - vii. Recommendations for erosion and sedimentation controls for water and wind.
  - viii. Any items required in other sections of this document.
- c. Should any on-site retaining walls surpass the following limits, an Over Height Retaining Wall Permit will be required:

"Retaining walls on all lots, except those required as a condition of subdivision approval, must not exceed a height of 1.2 m measured from natural grade on the lower side, and must be constructed so that any retaining walls are spaced to provide a 1.2 m horizontal separation between tiers. The maximum number of tiers is two with a maximum total height of 2.4 m. Any multi-tier structure more than 2 tiers must be designed and constructed under the direction of a qualified professional engineer."

The design of all retaining walls is to conform with Engineer & Geoscientists British Columbia's Professional Practice Guidelines for Retaining Wall Design. Submission requirements for the Over Height Retaining Wall Permit include Engineer of Record documents (Appendix A of Retaining Wall Design Guideline) and any necessary independent reviews (as per EGBC's Documented Independent Review of Structural Designs).

d. Any modified slopes having a finished slope greater than 2H:V1 (50%) and an elevation change greater than 1.2 m must be installed under the direction of a qualified professional engineer.



e. Any exposed natural rock surface on a lot that has the potential for materials to displace causing a hazardous condition, must be reviewed by a qualified professional engineer with the appropriate and measures undertaken as prescribed by the engineer. For adequate Rockfall Protection adjacent to walls and rock cuts, please consider BC MoTI Supplement to TAC Geometric Design Guide 440, page 440-8, which outlines a ditch bottom width depending on wall height. Sidewalks and utilities should be kept out of this protection area. Additional ROW may be required.

Where walls are on the high side, the City's preference is that the walls remain setback and on private property. Where the walls hold up a public road, the City's preference is that additional dedication be provided, and the walls be owned by the City. Please design any geogrids or tie-backs so that they do not encroach into the required road ROW.

### .6) Road Improvements

- (a) Coronation Ave and Laneway must be upgraded to an SS-R2 Laneway and SS-R4 urban standard along the full frontage of this proposed development including curb and gutter, sidewalk, road fillet paving, storm drainage system, LED streetlighting, landscaped boulevard c/w irrigation, pavement removal and replacement, and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.
- (b) The lane fronting this development is constructed to a paved standard, therefore the upgrades that are required is the pavement widening and a storm drainage system.

### .7) Road Dedication and Subdivision Requirements

By registered plan to provide the following:

a) Grant statutory rights-of-way if required for utility services.

#### .8) Power and Telecommunication Services

- A All proposed distribution and service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone, and cable transmission companies to arrange for these services, which would be at the applicant's cost.
- b) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.
- c) Re-locate existing poles and utilities, where necessary including within lanes. Remove aerial trespass(es).

### .9) Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the City Engineering Department for review and marked "issued for construction" by the City Engineer before construction may begin.



### .10) Design and Construction

- b) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- c) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- d) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- e) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- f) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

### .11) Servicing Agreements for Works and Services

- g) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- h) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be on the insurance policy as an additional insured.

### .12) Survey Monuments and Iron Pins

If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

### .13) Charges and Fees

- a) Development Cost Charges (DCC's) are payable.
- b) Fees per the "Development Application Fees Bylaw" include:
- c) Street Marking/Traffic Sign Fees: at cost (to be determined after detailed design completed).
- d) Survey Monument Fee: \$50.00 per newly created lot (GST exempt).
- e) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) only if disturbed.



- f) Hydrant Levy Fee: \$250 per newly created lot (GST exempt).
- Engineering and Inspection Fee: 3.5% of construction value (plus GST). g)

Nelson Chapman, P. Eng. Development Engineering Manager RO

### FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE			2	3	4	5
(1 is least complying & 5 is highly complying)						
CHAPTER 4.0: LOW & MID-RISE RESIDENTIAL & MIXED USE						
4.1 Guidelines						
4.1.1 Relationship to the Street						
Lobby area and main building entrance is clearly visible from the						<b>&gt;</b>
fronting street and sidewalk.						
Wherever possible, blank walls at grade are not encouraged.					<b>&gt;</b>	
Enclosed parking garages are located away from street frontages or public open space.						<b>~</b>
Ground oriented units with entries or glazing have been provided to					<b>~</b>	
avoid the blank/dead frontage along the street.					~	
When unavoidable, blank walls have been screened with landscaping						_
or have been incorporated with a patio/café or special materials have						
been provided to make them visually interesting.						
Residential and Mixed-use Buildings		ı	ı			
Residential buildings at the ground floor have a set back between 3-					<b>~</b>	
5m from the property line to create a semi-private entry or transition						
zone to individual units and to allow for an elevated front entryway or						
raised patio.						
A maximum 1.2m desired height (e.g., 5-6 steps) for front entryways					<b>~</b>	
has been provided. Where the water table requires this to be higher, in						
these cases, larger patio has been provided and parking has been						
screened with ramps, stairs, and landscaping.						
Ground floor units accessible from the fronting street or public open					<b>~</b>	
spaces have been provided with individual entrances.						
Buildings are sited and oriented so that windows and balconies are						<b>~</b>
overlooking public streets, parks, walkways, and shared amenity						
spaces while minimizing views into private residences.						
4.1.2 Scale and Massing		l	l			
Proposed residential building façade has a length of 6om (4om length					<b>~</b>	
is preferred).						
Buildings over 40m in length are incorporating significant horizontal and vertical breaks in façade.					<b>~</b>	
Commercial building facades are incorporating significant break at	~					
approximately 35m intervals.						
Proposed residential building has a maximum width of 24m.			~			
4.1.3 Site Planning						
On sloping sites, building floor levels are following the natural grade	<b>~</b>					
and avoiding the blank wall situation.						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Buildings are sited to be parallel to the street and have a distinct front-						<b>~</b>
to-back orientation to public street and open spaces and to rear yards,						
parking, and/or interior courtyards.						
Building sides that are interfacing with streets, mid-block connections,				<b>~</b>		
and other open spaces (building fronts) are positively framing and						
activating streets and open spaces and supporting pedestrian activity.						
Larger buildings are broken up with mid-block connections which have	<b>~</b>					
public accessibility wherever possible.						
Ground floors adjacent to mid block connections have entrances and	<b>~</b>					
windows facing the mid block connection.						
4.1.4 Site Servicing, Access, and Parking						
		ı		1		
Vehicular access is provided from the lane.						<b>~</b>
Where there is no lane, and where the re-introduction of a lane is	<b>~</b>					
difficult or not possible, access is provided from the street, provided:						
<ul> <li>Access is from a secondary street, where possible, or from the</li> </ul>						
long face of the block;						
<ul> <li>Impacts on pedestrians and the streetscape is minimized; and,</li> </ul>						
There is no more than one curb cut per property.						
Above grade structure parking should only be provided in instances						<u> </u>
where the site or high water table does not allow for other parking						
When parking cannot be located underground due to the high water					. /	
table and is to be provided above ground, screen the parking structure					•	
from public view as follows:						
On portions of the building that front a retail or main street,						
line the above ground parking with active retail frontage;						
<ul> <li>On portions of the building that front onto non-retail streets,</li> </ul>						
line the above ground parking with an active residential						
frontage, such as ground oriented townhouse units;						
<ul> <li>When active frontages are not able to be accommodated,</li> </ul>						
screen parking structures by using architectural or						
landscaped screening elements;						
On corner sites, screen the parking structure from public view						
on both fronting streets using the appropriate strategy listed						
above.						
Buildings with ground floor residential may integrate half-storey					<b>\</b>	
underground parking to a maximum of 1.2m above grade, with the						
following considerations:						
<ul> <li>Semi-private spaces should be located above to soften the</li> </ul>						
edge and be at a comfortable distance from street activity;						
and						
• Where conditions such as the high water table do not allow for						
this condition, up to 2m is permitted, provided that						
entryways, stairs, landscaped terraces, and patios are						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
4.1.5 Publicly Accessible and Private Open Spaces						
Publicly accessible private spaces (e.g,. private courtyards accessible and available to the public) have been integrated with public open areas to create seamless, contiguous spaces.	~					
Semi-private open spaces have been located to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.					~	
<ul> <li>Outdoor Amenity Areas: design plazas and parks to:         <ul> <li>Contain 'three edges' (e.g., building frontage on three sides) where possible and be sized to accommodate a variety of activities;</li> <li>Be animated with active uses at the ground level; and,</li> <li>Be located in sunny, south facing areas.</li> </ul> </li> </ul>	<b>~</b>					
Internal courtyard design provides:  • amenities such as play areas, barbecues, and outdoor seating where appropriate.	<b>~</b>					
<ul> <li>a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.</li> </ul>						
Mid-block connections design includes active frontages, seating, and landscaping.	~					
Rooftop Amenity Spaces						
Shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) are designed to be accessible to residents and to ensure a balance of amenity and privacy by:  • Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and  • Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units.	~					
Reduce the heat island effect by including plants or designing a green roof, with the following considerations:  • Secure trees and tall shrubs to the roof deck; and  • Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated.	<b>✓</b>					
4.1.6 Building Articulation, Features & Materials						

ATTACH	MENT C
This forms part	
# DP22-0086	/ DVP22-0087 🧗 📆
	City of 👐
Planner Initials GA	Kelowna
IIIIIIais -	DEVELOPMENT PLANNING

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Articulate building facades into intervals that are a maximum of 15m						<b>~</b>
wide for mixed-use buildings and 20m wide for residential buildings.						
Strategies for articulating buildings should consider the potential						
impacts on energy performance (see 2.2.1), and include:						
Façade Modulation – stepping back or extending forward a						
portion of the façade to create a series of intervals in the						
facade;						
Repeating window patterns at intervals that correspond to						
extensions and step backs (articulation) in the building facade;						
Providing a porch, patio, deck, or covered entry for each     interval						
interval;						
<ul> <li>Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through</li> </ul>						
thermal bridge connections which could impact energy						
performance;						
<ul> <li>Changing the roof line by alternating dormers, stepped roofs,</li> </ul>						
gables, or other roof elements to reinforce the modulation or						
articulation interval;						
Break up the building mass by incorporating elements that define a					~	
building's base, middle and top.						
Use an integrated, consistent range of materials and colors and						~
provide variety by, for example, using accent colors.						
Articulate the facade using design elements that are inherent to the						<b>~</b>
building as opposed to being decorative. For example, create depth in						
building facades by recessing window frames or partially recessing						
balconies to allow shadows to add detail and variety as a byproduct of						
massing.						
Incorporate distinct architectural treatments for corner sites and	<b>~</b>					
highly visible buildings such as varying the roofline (See Figure 41),						
articulating the facade, adding pedestrian space, increasing the						
number and size of windows, and adding awnings and canopies.						
Weather Protection  Provide weather protection (e.g. awnings, canopies, overhangs, etc.)		l			l	
along all commercial streets and plazas (See Figure 42), with particular						🗸
attention to the following locations:						
Primary building entrances,						
<ul> <li>Adjacent to bus zones and street corners where people wait</li> </ul>						
for traffic lights;						
Over store fronts and display windows; and						
Any other areas where significant waiting or browsing by						
people occurs.						
Architecturally-integrate awnings, canopies, and overhangs to the						<b>✓</b>
building and incorporate architectural design features of buildings						
from which they are supported.						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Place and locate awnings and canopies to reflect the building's						<b>~</b>
architecture and fenestration pattern.						
Place awnings and canopies to balance weather protection with						<b>~</b>
daylight penetration. Avoid continuous opaque canopies that run the						



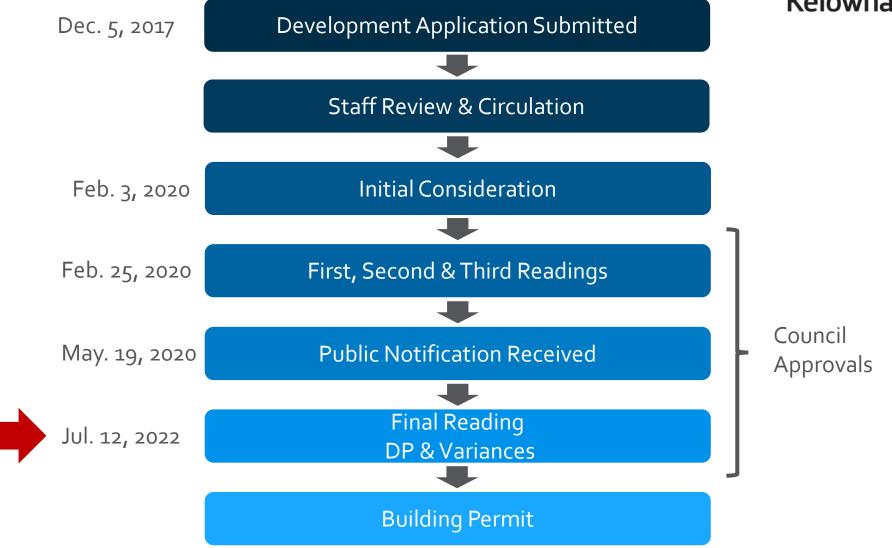


# Proposal

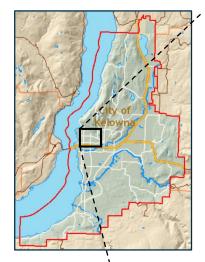
- ► To consider the form and character of a proposed 4½ storey multiple dwelling housing development.
- ▶ To vary the required maximum site coverage.

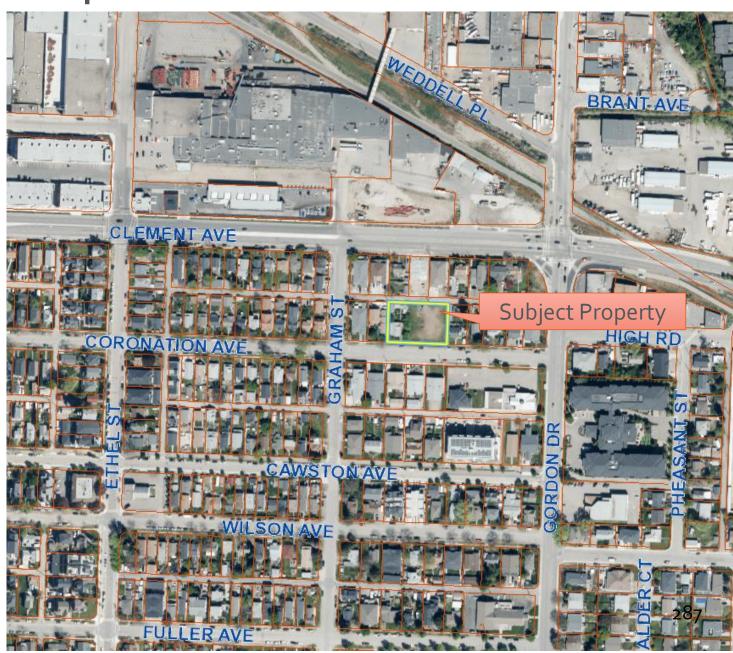
#### Development Process





## Context Map





## Subject Property Map



### Site Plan





### Front Elevation

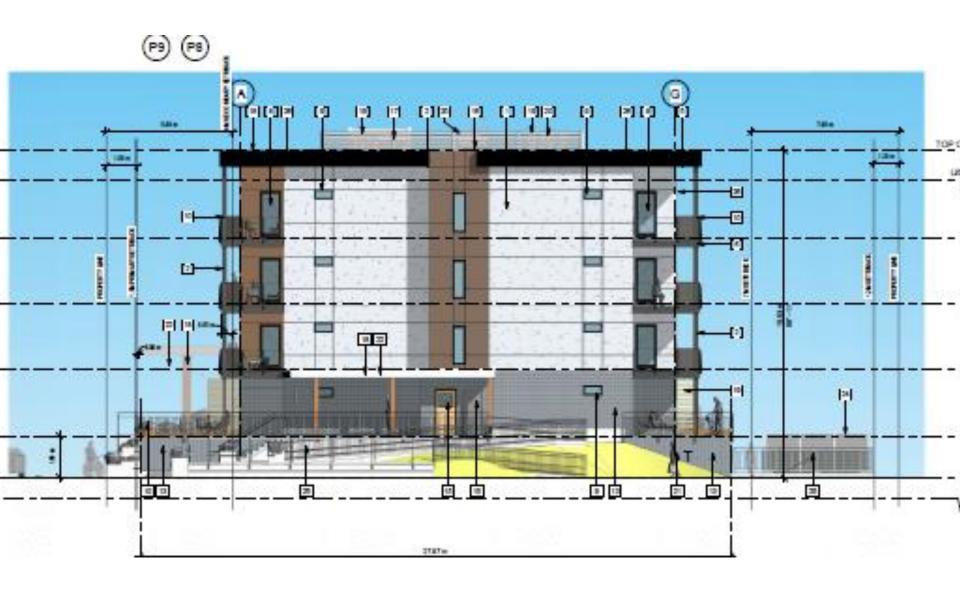


South Elevation – Along Coronation Avenue

## Side Elevations



## Side Elevations



#### Finish Materials



# Conceptual Rendering



# Conceptual Rendering





## Project/technical details

- ► The proposal is for a 4 ½ storey, 36-unit condominium development on Coronation Avenue between Graham Street and Gordon Drive.
- ► The applicant is proposing site coverage variances for the building from 40% to 55.6% and to the combined site coverage of building, driveways and parking areas from 65% to 67.87% proposed.
- ➤ The variance is requested in order to accommodate the partially above-ground parking structure as it is included in the calculation of building area.



#### Staff Recommendation

- ➤ Staff recommend that council **support** the proposed Development Variance Permit Application.
  - The proposal meets many of the objectives and supporting policies of the Official Community Plan (OCP), as well as the applicable Urban Design Guidelines



### Conclusion of Staff Remarks