City of Kelowna Regular Council Meeting AGENDA

Tuesday, May 31, 2022 7:20 pm Council Chamber City Hall, 1435 Water Street

#### 1. Call to Order

#### 2. Reaffirmation of Oath of Office

The Oath of Office will be read by Councillor DeHart.

#### 3. Confirmation of Minutes

Public Hearing - May 10, 2022 Regular Meeting - May 10, 2022

#### 4. Liquor License Application Reports

Mayor to invite anyone participating online or in the public gallery who deems themselves affected by the liquor license application to come forward.

#### **4.1.** START TIME 7:20 PM - Dilworth Dr 1865 - LL22-0003 - R 252 Enterprises Ltd., Inc. No. 10 - 25 480003

To seek Council's support for a new Liquor Primary License for a personal service establishment with an occupant load of 30 persons.

#### 5. Development Permit and Development Variance Permit Reports

### Mayor to invite anyone participating online or in the public gallery who deems themselves affected by the required variance(s) to come forward for each item.

5.1. START TIME - 7:20 PM - Gallagher Road 2980, BL12042 (Z20-0021) - Kirschner 26 - 27 Mountain Development Inc

To amend at third reading and adopt Bylaw No.12042 in order to rezone a portion of the subject property from the A1 - Agriculture 1 zone to the RH3 - Hillside Cluster Housing zone.



Pages

1-9

#### 5.2. START TIME 7:20 PM - Gallagher Road 2980 - DP20-0083\_DVP20-0084 Kirschner Mountain Development Inc

To consider a form and character of a multi-family residential development and to consider variances to the maximum height of a principle building and minimum front yard setback.

#### 5.3. START TIME 8:00 PM - Rutland Rd 155 -179 - BL12325 (TA21-0017) - ASI CENTRAL GP 86 - 87 INC., INC.NO. A0117887

28 - 85

To amend Bylaw No. 12325 at third reading and adopt in order to increase the maximum density and maximum height in the C4 - Urban Centre Commercial zone for the subject properties.

#### 5.4. START TIME 8:00 PM - Rutland Rd N 155-179, DP21-0223 DVP21-0224 - ASI Central 88 - 156 GP Inc, Inc No A0117887

To issue a Development Permit for the form and character of a mixed-use building and to issue a Development Variance Permit to vary the requirement for any portion of a building above 16.0 m or 4 storeys in height to be setback a minimum 3.0 m from all sides.

#### 5.5. START TIME 8:00 PM - Findlay Rd 1225 - BL12323 (Z21-0088) - Findlay Development 157 - 157 Inc., Inc.No. BC1302254

To adopt Bylaw No. 12323 in order to rezone the subject property from the RU1 - Large Lot Housing zone to the RM3 - Low Density Multiple Housing zone.

### 5.6. START TIME 8:00 PM - Findlay Rd 1225 - DP21-0207 DVP21-0208 - Findlay 158 - 219 Development Inc, Inc No BC1302254 158 - 219

To issue a Development Permit for the form and character of a multiple dwelling housing development and to issue a Development Variance Permit to vary the maximum building site coverage and minimum required site rear yard.

### 5.7. START TIME 8:00 PM - Enterprise Way 2002 - DVP22-0050 - Telus Communications 220 - 261 Inc., Inc. No. BC1101218

To review a Staff recommendation to <u>NOT</u> issue a Development Variance Permit to vary the maximum size of an electronic message centre on the subject property.

#### 6. Reminders

7. Termination



### **City of Kelowna**

#### Public Hearing and Associated Regular Meeting

#### Minutes

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Date:	Tuesday, May 10, 2022
Time:	6:oo pm
Location:	Council Chamber
	City Hall, 1435 Water Street
Members Present	Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Gail Given, Mohini Singh, Luke Stack and Loyal Wooldridge
Members participating remotely	Councillor Charlie Hodge
Members Absent	Councillor Brad Sieben
Staff Present	City Manager, Doug Gilchrist; City Clerk, Stephen Fleming; Divisional Director, Planning & Development Services, Ryan Smith; Development Planning Department Manager, Terry Barton; Planner II, Tyler Caswell
Staff participating remotely	Legislative Coordinator (Confidential), Clint McKenzie

#### 1. Call to Order the Public Hearing - START TIME 6:00 PM - Hwy 97 N 7820, 7840 - LUCT20-0016 (BL12349) - 464263 British Columbia Ltd., Inc.No. BC0464263

Mayor Basran called the Hearing to order at 6:02 p.m.

Mayor Basran advised that the purpose of the Hearing is to consider certain bylaws which, if adopted, will amend Zoning Bylaw No. 8000", and all submissions received, either in writing or verbally, will be taken into consideration when the proposed bylaws are presented for reading at the Regular Council Meeting which follows this Public Hearing.

#### 2. Individual Bylaw Submissions

#### 2.1 START TIME 6:00 PM - Hwy 97 N 7820, 7840 - LUCT20-0016 (BL12349) - 464263 British Columbia Ltd., Inc.No. BC0464263

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one participating online or in the Gallery indicated they wished to speak.

There were no further comments.

#### 3. Termination

The Hearing was declared terminated at 6:07 p.m.

#### 4. Call to Order the Regular Meeting

Mayor Basran called the meeting to order at 6:07 p.m.

#### 5. Bylaws Considered at Public Hearing

5.1 START TIME 6:00 PM - Hwy 97 N 7820, 7840 - BL12349 (LUCT20-0016) - 464263 British Columbia Ltd., Inc.No. BC0464263

#### Moved By Councillor Singh/Seconded By Councillor Wooldridge

**R0348/22/05/10** THAT Bylaw No. 12349 be read a second and third time and be adopted.

**Carried** 

#### 6. Termination

The meeting was declared terminated at 6:07 p.m.

Ale

City Clerk

/cm

Mayor Basran



#### City of Kelowna Regular Meeting Minutes

	Miniotes		
Date:	Tuesday, May 10, 2022		
Time:	6:oo pm		
Location:	Council Chamber		
	City Hall, 1435 Water Street		
Members Present	Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Gail Given, Mohini Singh, Luke Stack* and Loyal Wooldridge		
Members participating remotely	Councillor Charlie Hodge		
Members Absent	Councillor Brad Sieben		
Staff Present	City Manager, Doug Gilchrist; City Clerk, Stephen Fleming; Divisional Director, Planning & Development Services, Ryan Smith; Development Planning Department Manager, Terry Barton; Planner I, Tyler Caswell*		
Staff participating remotely	Legislative Coordinator (Confidential), Clint McKenzie		
(* partial attendance)			
1. Call to Order			
Mayor Basran called the meeting to order at 6:08 p.m.			
2. Reaffirmation of	Oath of Office		

The Oath of Office was read by Councillor Wooldridge.

#### 3. Confirmation of Minutes

Moved By Councillor DeHart/Seconded By Councillor Wooldridge

**<u>Ro349/22/05/10</u>** THAT the Minutes of the Regular Meeting of April 12, 2022, be confirmed as circulated.

Carried

- 4. Liquor License Application Reports
  - 4.1 START TIME 6:00 PM Bernard Ave 353 LL22-0001 1299853 B.C. LTD., INC.NO. BC1303098

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

#### Carolyn Nixon, Okaview Rd, Applicant:

- Reviewed the venue and the opportunity to support the downtown core.

-Venue could be used for various art functions.

-Responded to questions from Council.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one participating online or in the Gallery indicated they wished to speak.

There were no further comments.

Moved By Councillor Donn/Seconded By Councillor DeHart

<u>Ro350/22/05/10</u> THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB): In accordance with 'Division 9 (71)' of the Liquor Control and Licensing Regulation and Council Policy 359,

BE IT RESOLVED THAT:

- 1. Council recommends support of an application from 353 Bernard Enterprise Ltd for a liquor primary license for 1299853 B.C. LTD., INC. NO. BC 1303098, 353 Bernard Ave, Kelowna, BC for the following reasons:
- Council Policy No. 359 recommends the large establishments should be located within Urban Centres;
- 2. Council's comments on LCRB's prescribed considerations are as follows:

Criteria for licence amendment:

The potential for noise if the application is approved:

The potential impact for noise is minimal and would be compatible with surrounding land uses.

<u>The impact on the community if the application is approved:</u>

The potential for negative impacts is considered to be minimal as this is an expansion to an existing Liquor Primary establishment.

3. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures".

**Carried** 

#### 5. Development Permit and Development Variance Permit Reports

#### 5.1 START TIME 6:00 PM - Cambridge Ave 651 - BL12313 (Z21-0085) - Provincial Rental Housing Corporation, In. No. BC0052129

Councillor Stack declared a conflict of interest on items 5.1 and 5.2 as he is an employee of the applicant and left the meeting at 6:16 p.m.

Moved By Councillor Wooldridge/Seconded By Councillor Singh

**R0351/22/05/10** THAT Bylaw No. 12313 be adopted.

**Carried** 

#### 5.2 START TIME 6:00 PM - Cambridge Ave 651 - DP20-0182 DVP20-0183 - Provincial Rental Housing Corporation, Inc.No. BC0052129

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Lisa Monster, Society of Hope, Applicant

-Displayed a PowerPoint presentation outlining the application.

-Reviewed the project rational and the rental rates formula .

Mary Lapointe, Communications Consultant

- -Provided planning rationale and historical context of subject lands.
- -Provided details on community engagement efforts.

-Spoke to the proposed parking variances.

-Provided comments on the landscape plan and tree retention plan.

-Made concluding remarks.

-Responded to questions from Council.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

Gallery:

Beverly Kalmakoff, Rowcliffe Rd

-Speaking on behalf of Kelowna Tree Protectors.

-Opposed to the removal of trees.

- -Encouraged design be redrawn to keep all ten of the recommended healthy tree retention.
- -Spoke to the benefits of trees for the City and to combat climate change.

-Housing and trees can exist side-by-side.

-Referred to OCP policies on tree retention and canopy.

-Spoke of the tree in the centre of the property that could be protected.

-Responded to questions from Council.

Carol Miller, Banjou Court

- -Referenced the North End Plan policies on tree retention.
- -Opposed to the variances.

-Encouraged Council to retain the tree canopy.

Lisa Masini Cambridge Ave

-Referenced a Muskeum elder comments on trees.

-Opposed to the removal of trees.

-Provided comments on the benefits trees bring to the environment and neighbourhood.

-Referenced the tree retention and tree canopy policies in the North End Plan.

-Spoke to the breech of trust when the one tree to be retained on Pleasantvale 1 was cut down during construction.

-Not satisfied with responses on tree protection for construction during Phase 2.

-Possible to retain more mature trees and maintain same number of units.

-Responded to questions from Council.

Ashley Lubyk, Kingsway Ave

-Possible to have both housing and trees.

-Opportunity for BC Housing and Society of Hope to work together.

-Tree retention should be part of the design process.

-Spoke to the benefits of trees.

Pat Munro, Cadder Ave

-Tree Protector member and KSAN member.

-Urged the City to adopt a tree protection bylaw.

-Applicant consultant recommended ten trees be saved but there are only four being retained. -Referenced a recent article that stated Kelowna lost the most urban canopy among municipalities over the past five years.

<u>Livvy Fraser, Central Ave</u> -Encouraged Council to retain trees. -Spoke to the benefits of trees and made comments on the many species who inhabit trees.

#### Fatima Correia, Central Ave

-Opposed to the removal of trees.

-Spoke to the benefits of trees.

-Encouraged Council to retain the existing trees.

Robyn Metcalf, Bernard Ave

-Displayed correspondence previously circulated to BC Housing, Society of Hope and Council.

-Read from the correspondence.

-Made reference to a petition from change.org.

Erica Bell-Lowther, Abbott St

-Spoke the absence of a tree protection bylaw in Kelowna.

-Opposed to the removal of trees from the site.

-Creative solutions can be found to save trees and build the housing.

Robert Hayes, Mountainview St

-Opposed to removal of trees and supportive of affordable housing.

-Raised concerns with impacts of tree removal on humans and other species.

-Trees proposed to be planted will not reach the size and majesty of the existing trees.

-Made reference to the current National Geographic edition devoted to trees.

Janet Lea, Sandstone Cr

-Encouraged Council to retain rather than to replace the tree canopy.

-Spoke to the benefits of diversity and referenced comments from previous speakers.

-Encouraged Council to maintain trees in their existing groups.

Travis Kyle. Stuart Rd West

-Spoke to the need for additional affordable housing.

-Encouraged Council to pursue policies to increase number of affordable housing and need for green space.

-Speaking on behalf of those insufficiently housed.

-Delays on the project will have negative consequences on those who will live there, as will the removal of trees.

-Made proposals for how the project could be changed.

Online:

Tracy Davis, Lake Ave

-Made comments on need for a tree bylaw.

-Raised concerns whether council members were in a conflict of interest over previous comments made regarding the need for a tree protection bylaw.

-Made comments on reports indicating negative impacts of climate change on Kelowna.

-Made reference to previous speakers.

<u>Applicant in response</u> -Responded to questions from Council. -Confirmed it will be three years until the units are ready.

Jeff Baren, Applicant's Contractor

-Spoke to the tree canopy.

-Arborist will submit a tree protection plan for the site.

-Spoke to the landscape plan and its development through the consultation process.

-Protecting more trees would require a major redesign of the site and loss of units.

Staff responded to questions from Council.

The Director of Planning confirmed a workshop is a few weeks away to look at the options around a tree protection bylaw.

There were no further comments.

#### Moved By Councillor Given/Seconded By Councillor Donn

<u>Ro352/22/05/10</u> THAT final adoption of Rezoning Bylaw no. 12313 be considered by Council; AND THAT Council authorizes the issuance of Development Permit No. DP20-0182 for Lot 1 District Lot 9 ODYD Plan EPP113953, located at 651 Cambridge Avenue, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A",
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B",
- 3. Landscaping to be provided on the land in accordance with Schedule "C",
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP20-0183 for Lot 1 District Lot 9 ODYD Plan EPP113953, located at 651 Cambridge Avenue, Kelowna, BC;

AND THAT variances to the following sections of the Zoning Bylaw No. 8000 be granted:

#### <u>Table 8.3.1: Section 8 – Parking and Loading, Required Off-Street Parking Requirements,</u> Residential Parking:

To vary the parking requirements from 109 stalls required to 79 proposed.

<u>Section 13.9.6(b) – RM3 - Low Density Multiple Housing Development Regulations:</u> To vary the site coverage from 60% permitted to 66% proposed.

<u>Section 13.9.6(c) – RM3 - Low Density Multiple Housing Development Regulations:</u> To vary the height of the building from 10.0 m permitted to 14.0 m proposed and from 3 storeys to 4 storeys.

#### <u>Section 13.9.6(f) – RM3 - Low Density Multiple Housing Development</u> Regulations:

To vary the rear yard setback from 7.5 m permitted to 3.0 m proposed

AND FURTHER THAT this Development Permit and Development Variance Permit are valid for two (2) years from the date of Council approval, with no opportunity to extend.

<u>Carried</u> Councillor Hodge – Opposed Councillor Stack returned to the meeting at 8:41 p.m.

#### 5.3 START TIME 6:45 PM - 2339-2397 Hwy 97 N - DP21-0155 DVP21-0272 - Dilworth Shopping Centre Ltd., Inc No. 319846

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Lauren McAuley, Ellis St, Applicants Architect

-Displayed a PowerPoint presentation .

-Spoke to details of the site plan.

-Spoke to site circulation.

-Made comments on the variance requested.

-Responded to questions from Council.

Mark Jahani, Peterson Developments Inc., Applicant -Responded to questions from Council. -Outlined the terms of the agreements with tenants.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one participating online or in the gallery indicated they wished to speak.

There were no further comments.

#### Moved By Councillor Donn/Seconded By Councillor Singh

<u>Ro353/22/05/10</u> THAT Council authorize the issuance of Development Permit No. DP21-0155 for a portion of Lot A, District Lot 126 & 532, ODYD Plan 40108 located at 2339 – 2397 Hwy 97 N, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0272 for a portion of Lot A, District Lot 126 & 532, ODYD Plan 40108 located at 2339 – 2397 Hwy 97 N, Kelowna, BC;

AND THAT variance to the following section of Zoning Bylaw No. 8000 be granted: <u>Section 14.4.6 (a): C4 – Urban Centre Commercial - Other Regulations</u> To decrease the minimum commercial space on the first floor fronting an arterial road from 90% to 16.3%.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit are valid for two (2) years from the date of Council approval, with no opportunity to extend.

### 5.4 START TIME 6:45 PM - Crosby Rd 1786 - DVP22-0007 - Alfonso Reda and Cheryl Elaine Reda

Staff:

- Displayed a PowerPoint presentation summarizing the reasons for non-support of the application.

#### Alf Weade, Crosby Rd, Applicant

-Made comments on construction of the deck.

-Deck required to access the hot tub.

-Slope of the lands means subject property overlooks neighbouring properties.

-Suggested erecting a privacy fence.

-Responded to questions from Council.

Les Foley, Contractor

-Indicated he designed the drawings for the variance application.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one participating online or in the Gallery indicated they wished to speak.

Staff responded to questions from Council,

The City Clerk confirmed there were two letters of opposition.

There were no further comments.

Moved By Councillor Stack/Seconded By Councillor Donn

<u>Ro354/22/05/10</u> THAT Council <u>NOT</u> authorize the issuance of Development Variance Permit No. DVP22-0007 for Lot 8, Section 5, Township 23, ODYD, Plan EPP63600, located at 1786 Crosby Road, Kelowna, BC.

Carried

#### 6. Reminders

There were no reminders.

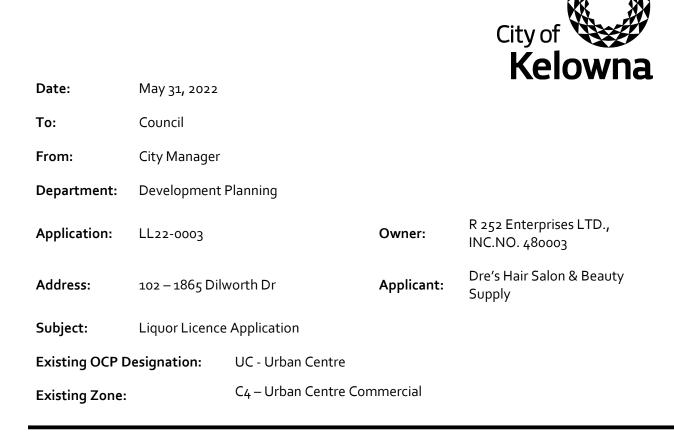
#### 7. Termination

The meeting was declared terminated at 9:19 p.m.

Æ City Clerk

Mayor Basran

/cm



#### 1.0 Recommendation

**REPORT TO COUNCIL** 

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with 'Division 9 (71)' of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

- Council recommends support of an application from Dre's Hair Salon and Beauty Supply for a liquor primary license for Strata Lot 3 District Lot 127 ODYD Strata Plan KAS2071 Together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as shown on Form 1, located at 102 – 1865 Dilworth Drive, Kelowna, BC for the following reasons:
  - Liquor licensing regulations allow for barbershops, salons and other establishments to apply for a new liquor primary license;
  - Council Policy No. 359 recommends supporting alternative entertainment options and/or establishments which are less focused on alcohol consumption;
- 2. Council's comments on LCLB's prescribed considerations are as follows:

Criteria for new Liquor Primary:

 a. <u>The location of the establishment</u>: The proposed location is suitable for a small establishment liquor primary license as the property is within an Urban Centre. b. <u>The proximity of the establishment to other social or recreational facilities and public</u> <u>buildings:</u> The least in a discussion of the density of the d

The location is adjacent to major shopping center and a mixture of medium and high density residential.

- c. <u>The person capacity and hours of liquor service of the establishment:</u> The hours are consistent with the existing salon hours of operation and other businesses within the commercial plaza with an occupancy of 30 persons.
- d. <u>The number and market focus or clientele of liquor-primary license establishments within a reasonable distance of the proposed location:</u> This location is not in close proximity to other liquor primary establishments.
- e. <u>The impact of noise on the community in the immediate vicinity of the establishment:</u> The potential impact for noise is minimal and would be compatible with surrounding land uses.
- f. <u>The impact on the community if the application is approved:</u> The potential for negative impacts is minimal.
- 3. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures".

#### 2.0 Purpose

To seek Council's support for a new Liquor Primary License for a personal service establishment with an occupant load of 30 persons.

#### 3.0 Development Planning

Staff support the request for a new Liquor Primary License for the existing personal service establishment. There have been a number of businesses in Kelowna that have applied under the Provincial Liquor Licensing Regulations, which allow for a variety of business types to apply for liquor primary license. Such businesses include barbershops, salons, bookstores, galleries and a variety of similar business types. This establishment is located within a mixed used building in the Midtown Urban Centre. The impact on the surrounding community will be minimal and noise is not an anticipated issue due to a combination of factors including:

- Maximum occupancy of 30 persons,
- o Maintaining existing hours of operation in line with current store hours,
- Centrally located in Midtown Urban Centre (compatible with surrounding land uses).

Council Policy No. 359 recommends supporting entertainments options, and/or establishments which are less focused on alcohol consumption to add a mix of entertainment options in Urban Centres.

#### 4.0 Proposal

#### 4.1 Project Description

Dre's Hair Salon and Beauty Supply has been in operation at this location since 2018 and offers a variety of hair cutting services and product supplies. The applicant is seeking to expand the customer experience by introducing a liquor component. The applicant has indicated that all staff will be equipped with the necessary

training to serve alcohol through Serving-It-Right. A small snack bar will be provided for snacks and nonalcohol drinks.

#### **Operating Hours:**

	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Open	12:00pm	12:00pm	12:00pm	12:00pm	12:00pm	12:00pm	12:00pm
Close	9:oopm	9:oopm	9:oopm	9:oopm	9:oopm	9:oopm	9:oopm

#### 4.2 <u>Site Context</u>

The subject property is located within the Midtown Urban Centre. The neighbourhood has a Future Land Use Designation of UC – Urban Centre. The surrounding area is predominantly C6 - Region Commercial and C4 - Urban Centre Commercial zones.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C6 – Regional Commercial	Retail Store, General
East	RM5 – Medium Density Multiple Housing	Residential
South	C4 – Urban Centre Commercial	Vacant
West	C6 – Regional Commercial	Retail Store, General

#### Subject Property Map: 102 - 1865 Dilworth Drive



#### 5.0 Current Development Policies

#### 5.1 Council Policy No. 359

Small establishments (with person capacity less than 100 persons) should not be located beside another liquor primary establishment.

Where appropriate, support alternative entertainment options, and/or establishments which are less focused on alcohol consumption (including event-drive establishments, and Food Primary establishments with the Patron Participation Entertainment Endorsement) to add a mix of entertainment options in Urban Centres. Consider limiting potential community impacts via license terms and conditions (hours, capacity, etc.)

#### 6.0 Technical Comments

6.1 <u>RCMP</u>

No specific policing concerns

#### 6.2 Fire Department

No Objections.

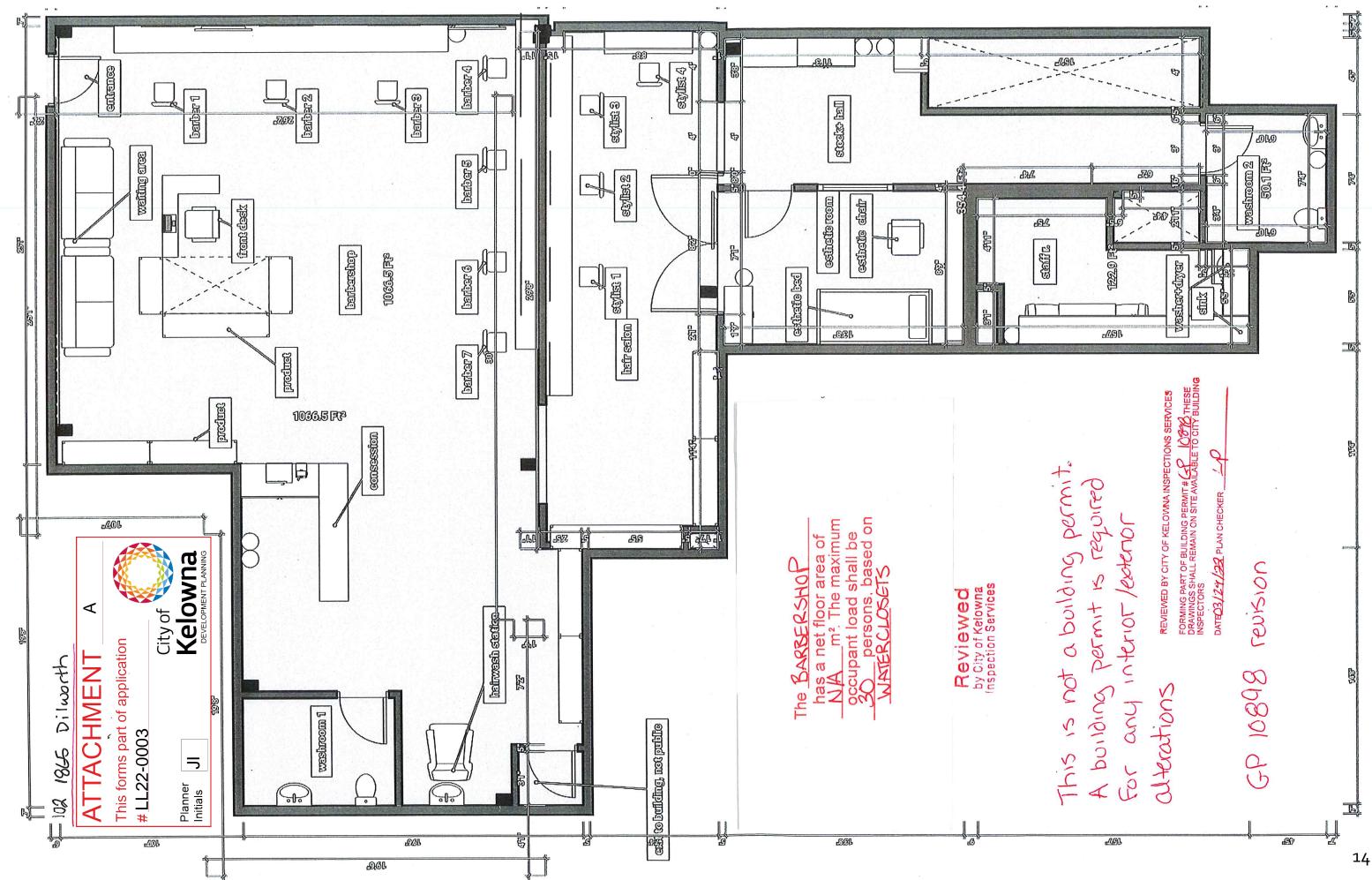
#### 7.0 Application Chronology

Date of Application Accepted:	March 18, 2022
Date Public Consultation Completed:	April 22, 2022

Report prepared by:	Jason Issler, Planner I
Reviewed by:	Lydia Korolchuk, Urban Planning Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

#### Attachments:

Attachment A: Site Plan & Floor Plan / Occupant Load Attachment B: Letter of Rationale



#### Letter of intent

Dre's Hair Salon and Beauty Supply is located in a commercial zoning location. Our primary business is providing barbering and hair services which includes but not limited to: hair cutting/barbering, hair styling: coloring, braiding, weaving, hair extension and more. We also extent to our customer beauty supply products. We operate 7 days a week from 9am to 9pm.

We cater to all ages and ethnic back ground. We have music in the back ground to enhance the ambiance and videos to add variety in order to entertain each customers/clients; kids can look at a screen and watch animated programs and music, teens and adolescence can watch and listen urban music, sports and adults are also entertained by music, sports and videos which is also suitable for all audiences. A Fuse ball is also utilize as apart of entertainment . We want to add value to our service and gaining a liquor license to sell alcohol would increase customer service experience for adults. Our staff will be equipped with the necessary training to administer the serving of alcohol which will minimize the risk of alcohol misuse e.g asking for ID to make sure each client is of BC legal drinking age. A small snack bar is also in the salon which as chips, non- alcohol beverages etc. We will serve alcohol from 12 pm until 9pm close.

Serving of liquor is not aim to create an event but add value to customer experience, therefore no noise or disturbance should be a problem. If any situation should arise, our staff will be already train and equipped to handle any out burst. Appropriate signage will be visible to advise clients of alcohol purchase privileges. Staff will have a Serving -it -right certificate.





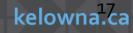
# LL22-0003 102 – 1865 Dilworth Dr

Liquor Primary License Application.

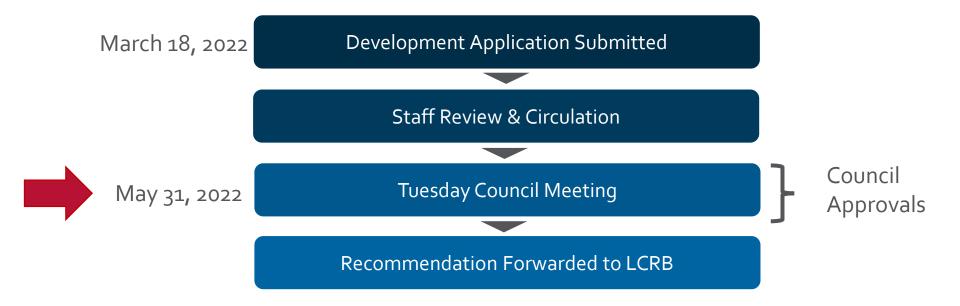


## Proposal

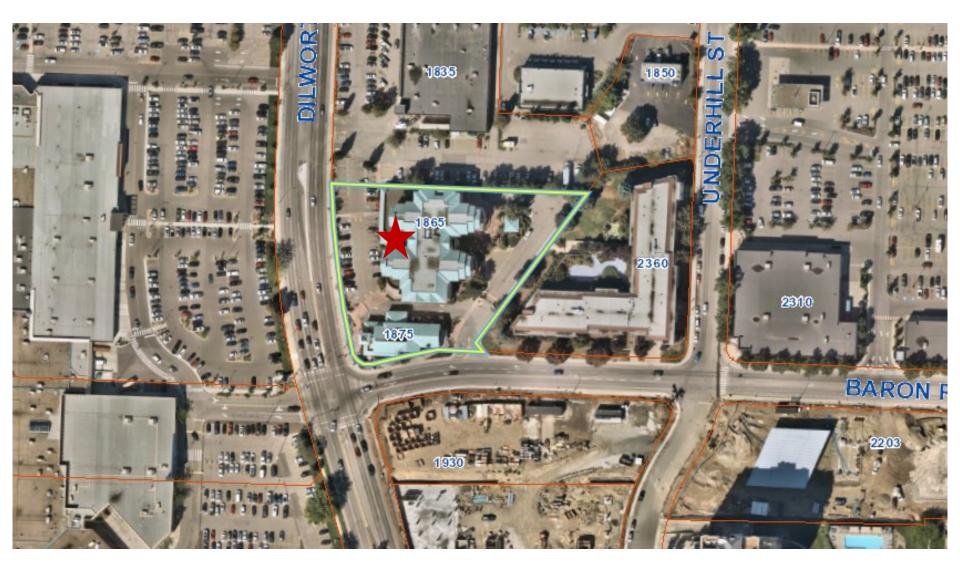
► To consider a Liquor Primary License for a personal service establishment with an occupant load of 30 persons.



## **Development Process**



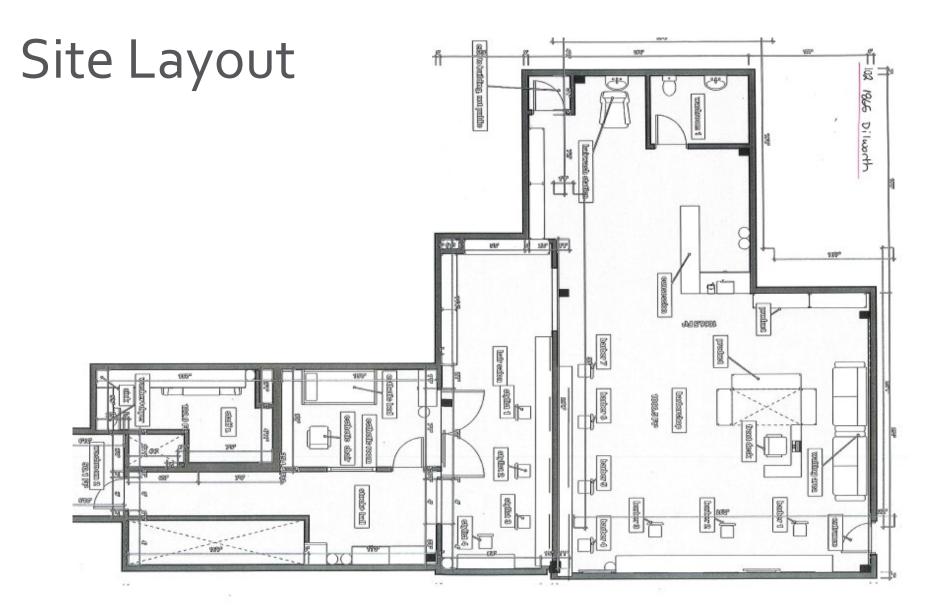
## **Context Map**



City of Kelowna

## Subject Property Map





### City of Kelowna

## Project/technical details

### Liquor Primary License

- Seeking Liquor Primary Licence with occupancy of 30 persons.
- Licensed Hours:

#### **Operating Hours:**

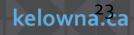
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Close	9:oopm	9:oopm	9:oopm	9:oopm	9:oopm	9:oopm	9:oopm



# Council Policy#359

Location is suitable

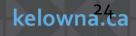
- Not in close proximity another liquor primary
- Hours of service are suitable (12 PM to 9 PM)
  - Negative impacts is considered to be minimal
- ► The occupancy is minimal at 30 persons





## Staff Recommendation

- Development Planning recommends support for the new Liquor Primary License;
- That Council directs Staff to forward a resolution of support to the LCRB for the Liquor Primary License.





### Conclusion of Staff Remarks

#### **CITY OF KELOWNA**

### BYLAW NO. 12042 Z20-0021 - 2980 Gallagher Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of a portion of Lot 1, Sections 12 and 13, Township 26 and Sections 7 and 18 Township 27, ODYD, Plan KAP71697, Except Plans KAP84278, KAP86315, KAP86363, KAP88598, EPP36504, EPP69212, EPP74058, EPP84892, EPP101217 and EPP107886 located at Gallagher Road, Kelowna, BC from the A1 – Agriculture 1 zone to the RH3 – Hillside Cluster Housing zone as shown on Map "A" attached to and forming part of this bylaw.
- 2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 25<sup>th</sup> day of May, 2020.

Considered at a a Public Hearing on the 23<sup>rd</sup> day of June, 2020.

Read a second and third time by the Municipal Council this 23<sup>rd</sup> day of June, 2020.

Approved under the Transportation Act this 24<sup>th</sup> day of June, 2020.

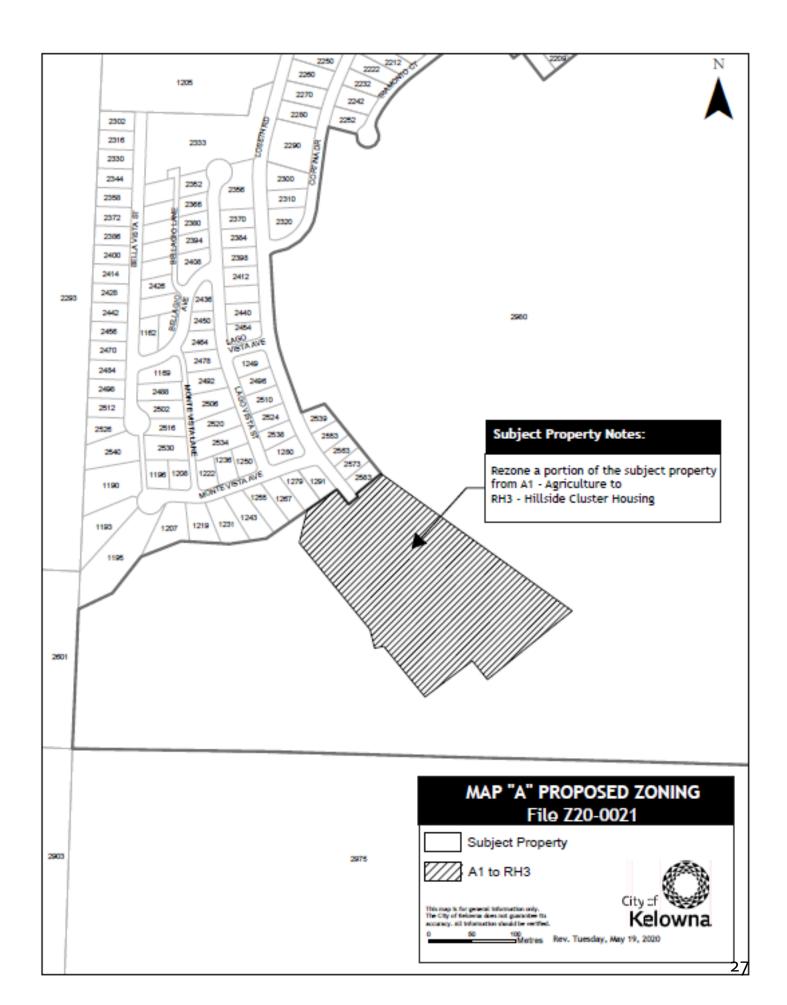
Audrie Henry

(Approving Officer – Ministry of Transportation)

Amended at third reading and adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk







Date:	May 31, 2022			
То:	Council			
From:	City Manager			
Department:	Development F	Planning		
Application:	DP20-0083/DVP20-0084		Owner:	Kirschner Mountain Developments Inc.
Address:	2980 Gallagher Road		Applicant:	Kirschner Mountain Developments Inc.
Subject:	Development Permit and Development Variance Permit Application			nit Application
Existing OCP De	esignation:	NAT – Natural Areas/P. Multiple Unit/S-RES – S		Open Space/S-MU – Suburban ential
Existing Zone:		A1 — Agriculture 1 / P3 - Housing (Hillside Area)	•	n Space / RU1H – Large Lot
Proposed Zone:	1	RH3 – Hillside Cluster H Space / RU1H – Large L		griculture 1 / P3 – Park and Open Iside Area)

#### 1.0 Recommendation

THAT Rezoning Bylaw No.12042 be amended at third reading to revise the legal description of the subject property from Lot 1, Sections 12 and 13, Township 26 and Sections 7 and 18 Township 27, ODYD, Plan KAP71697, Except Plans KAP84278, KAP86315, KAP86363, KAP88598, EPP36504, EPP69212, EPP74058 and EPP84892 to Lot 1, Sections 12 and 13, Township 26 and Sections 7 and 18 Township 27, ODYD, Plan KAP71697, Except Plans KAP84278, KAP86315, KAP86363, KAP88598, EPP36504, EPP69212, EPP74058, EPP84892, EPP101217 and EPP107886;

AND THAT final adoption of Rezoning Bylaw No.12042 be considered by Council;

AND THAT Council authorize the issuance of Development Permit No. DP20-0083 for a portion of Lot 1, Sections 12 and 13, Township 26 and Sections 7 and 18 Township 27, ODYD, Plan KAP71697, Except Plans KAP84278, KAP86315, KAP86363, KAP88598, EPP36504, EPP69212, EPP74058, EPP84892, EPP101217 and EPP107886 located at 2980 Gallagher Road, Kelowna, BC subject to the following:

 The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP20-0084 for a portion of Lot 1, Section 12 and 13, Township 26 and Sections 7 and 18 Township 27, ODYD, Plan KAP71697, Except Plans KAP84278, KAP86315, KAP86363, KAP88598, EPP36504, EPP69212, EPP74058, EPP84892 EPP101217 and EPP107886 located at 2980 Gallagher Road, Kelowna, BC;

AND THAT variance to the following section of Zoning Bylaw No. 8000 be granted:

#### Section 13.16.8(a): RH3 – Hillside Cluster Housing Development Regulations

To vary the maximum height of the principal building from 9.5 m to 10.5 m; and

#### Section 13.16.7(b)(iii): RH3 – Hillside Cluster Housing Development Regulations

To vary the minimum setback from the rear property line from 4.5 m to 3.0m.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit are valid for two (2) years from the date of Council approval, with no opportunity to extend.

#### 2.0 Purpose

To consider a form and character of a multi-family residential development and to consider variances to the maximum height of a principle building and minimum front yard setback.

#### 3.0 Development Planning

Development Planning Staff are recommending support for the proposed Development Permit and Development Variance Permit to facilitate a 77-unit townhouse development. The proposed development is considered to substantially meet the Form and Character Guidelines of the 2040 Official Community Plan (OCP) and the overall land use objectives of the Kirschner Mountain Area Structure Plan.

The property is a continuation of the Kirschner Mountain development which would extend Loseth Road. The proposed development allows for a medium density of units in a series of multi-family buildings which are sensitively integrated into the existing topography and natural areas. The proposal fits within the surrounding Kirschner Mountain neighbourhood and allows for a mix of housing types in the area.

#### 4.0 Proposal

#### 4.1 <u>Project Description</u>

The proposed development is located on the south-west portion of the larger phased development parcel which extends around Kirschner Mountain and will eventually connect with Gallagher Road. The sites primary access will be from the extension of Loseth Road with the secondary emergency access provided out to Gallagher Road. The proposal is for a 77 townhouse unit strata development which would be split by Loseth road and be accessed by private internal access roads. The total number of units would consist of a mix of 3, 4 and 5-plex buildings with three-bedroom units.

The units are separated into 19 buildings with a craftsman style architecture including pitched roofs with some modern elements. The materials are a mix of fiber cement plants, stucco and black aluminium windows and railings. The colour pallet is mixed to add diversity between the buildings and includes greys and beiges, greens, dark red, dark blues.

#### Variances – Height and Setback

To accommodate the proposal, the applicating is requesting a variance to the maximum height of a building from 9.5 m to 10.5 m for the outer buildings adjacent steep hillsides and to reduce the front yard setback from 4.5 m to 3.0 m for units closest to Loseth Road.

The proposed site is with a large gully with naturally steep topography on east and west sides. The variances help reduce the necessary cut/fill slopes on site and limit the need for retaining walls. The reduced setback to Loseth road allows for more space away from the steep hillsides and allows for the buildings to be placed further into the flat area near the centre of the site. Given the overall context of the site and the aim of improving the overall grading of the site, staff are in support of the variances.

#### 4.2 <u>Site Context</u>

The subject property is located in the Black Mountain area and accessed from Loseth Road and ultimately Highway 33. The surrounding neighbourhood is primarily single family residential. Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	Ru1H – Single Family Hillside	Residential
East	A1 – Agriculture 1	Vacant
South	A1 – Agriculture 1	Vacant
West	A1 – Agriculture 1	Vacant



Subject Property Map: 2890 Gallagher Road

#### 4.3 Zoning Analysis Table

	Zoning Analysis Table			
CRITERIA	<b>RH3 ZONE REQUIREMENTS</b>	PROPOSAL		
E	xisting Lot/Subdivision Regulation	S		
Min. Lot Area	5,000 m²	40,000 m <sup>2</sup>		
Min. Lot Width	30 m	280 m		
Min. Lot Depth	35 m	124 M		
	Development Regulations			
Max. Site Coverage (buildings, parking, driveways)	50 %	35 %		
Max. Height	9.5m	10.5m <b>0</b>		
Min. Front Yard	4.5m	3.om <b>0</b>		
Min. Side Yard (south)	4.5m	4.5m		
Min. Side Yard (north)	4.5m	4.5m		
Min. Rear Yard	4.5m	4.5M		
Other Regulations				
Min. Parking Requirements	154 + 12 Visitor	154 + 18 Visitor		
• Indicates a requested variance to maximum height and minimum front yard setback.				

#### 5.0 Current Development Policies

5.1 <u>Kelowna Official Community Plan (OCP)</u>

Objective 7.1. Crea	te more complete communities in Suburban Neighbourhoods.
Policy 7.1.1. Area Structure Plan Consistency.	Support development that is consistent with adopted Area Structure Plans (ASPs) in Suburban Neighbourhoods. Require amendments to ASPs where proposals include significant increases to the number of residential units beyond those signaled in an ASP or where proposals are likely to require significant changes to planned transportation, parks and utility infrastructure. The proposed development is consistent with the Kirschner Mountain Area Structure Plan.
-	sign Suburban Neighbourhoods to be low impact, context sensitive and
adaptable.	
Policy 7.2.1.	Consider a range of low density ground-oriented housing development to
Ground-Oriented	improve housing diversity and affordability and to reduce the overall urban
Housing.	footprint of Suburban Neighbourhoods. Focus more intensive ground- oriented housing where it is in close proximity to small scale commercial services, amenities like schools and parks, existing transit service and/or active transportation facilities. The townhouse style units offer a mix of housing diversity to the area dominated
	by single family dwellings.
Policy 7.2.2. Hillside Housing Forms.	Encourage housing forms that best match to the topography and have the lowest amount of impact is hillside areas, such as minimum cuts and fills, for example, and provide the greatest environmental protection. Discourage housing forms and associated roadways that cause high amounts of slope disturbance and visual impact.
	The townhouse housing form proposed allows for reduced cuts and fills and allows the development to be more sensitively integrated into the existing topography by reducing road infrastructure and separating the structures into 3-5 unit buildings.

#### 6.0 Application Chronology

Date of Application Received:March 5, 2019Date Public Consultation Completed:May 15, 2022

Report prepared by:	Wesley Miles, Planner Specialist
Reviewed by:	Dean Strachan, Community Planning & Development Manager
Approved for Inclusion:	Terry Barton, Development Planning Department Manager

#### Attachments:

Attachment A: Draft Development and Development Variance Permit DP20-0083 & DVP20-0084

Attachment B: Form and Character – Development Permit Guidelines

Attachment C: Applicant Design Rationale and Renderings

Schedule A: Site Plan

Schedule B: Elevations

Schedule C: Landscape Plan



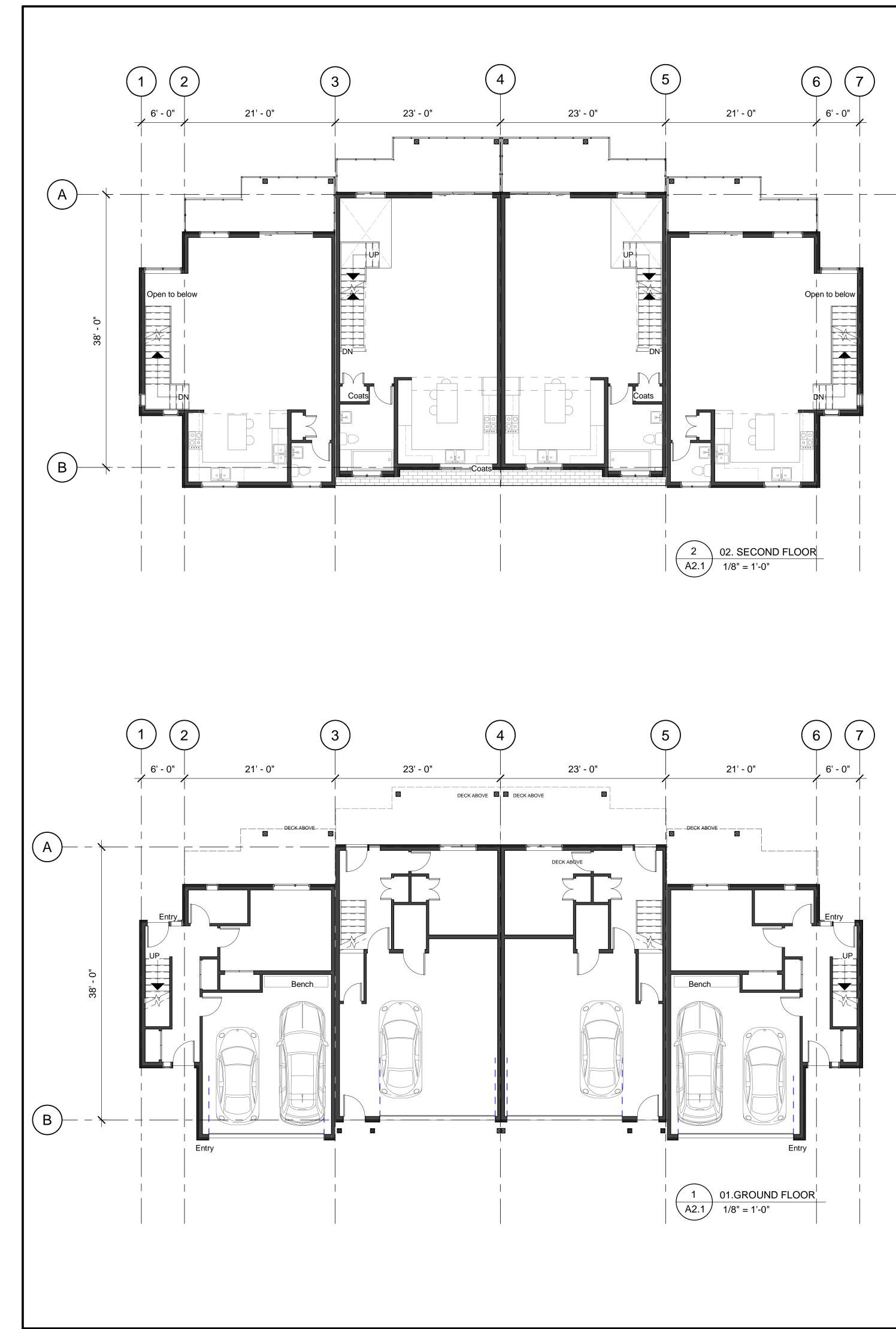
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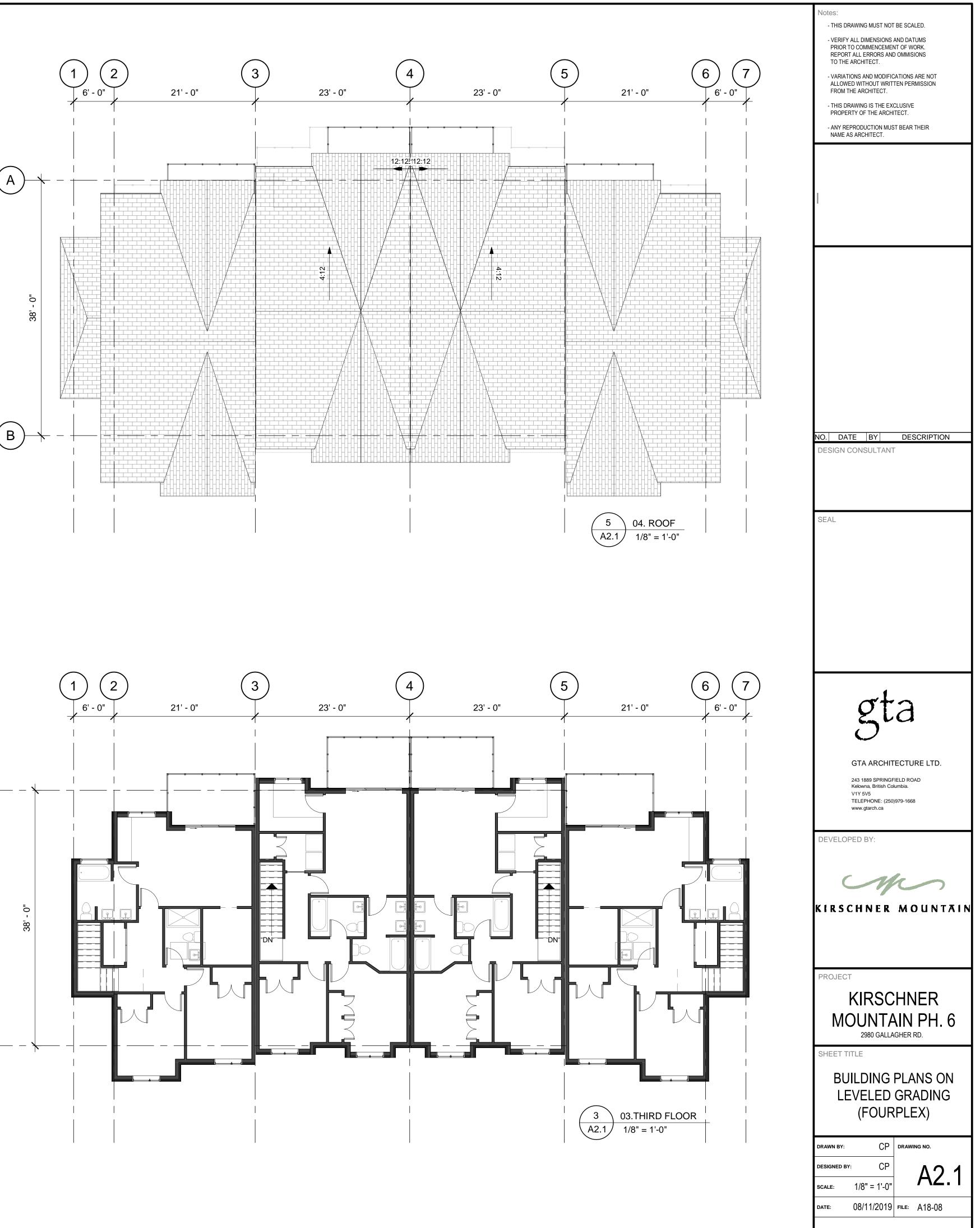
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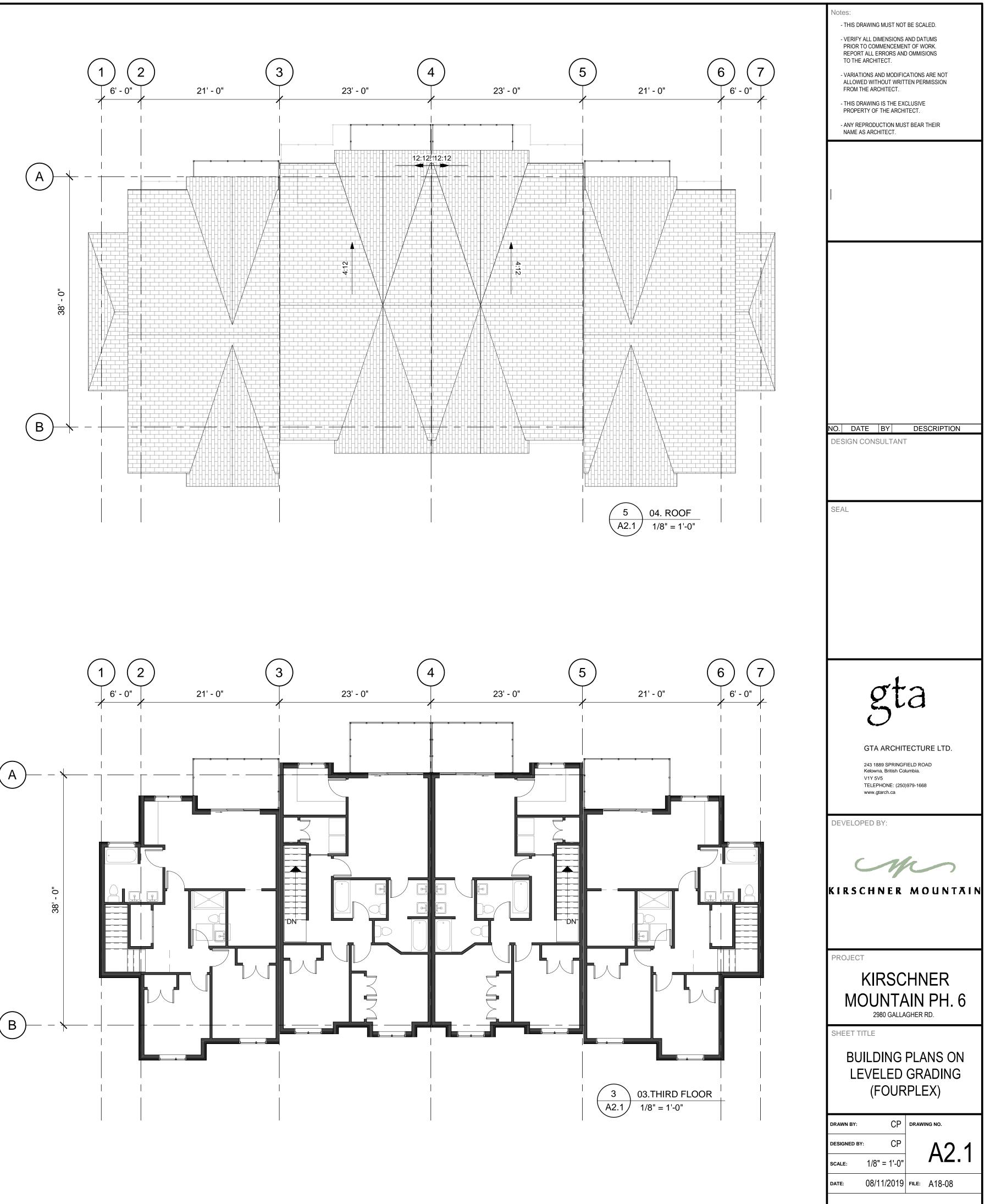


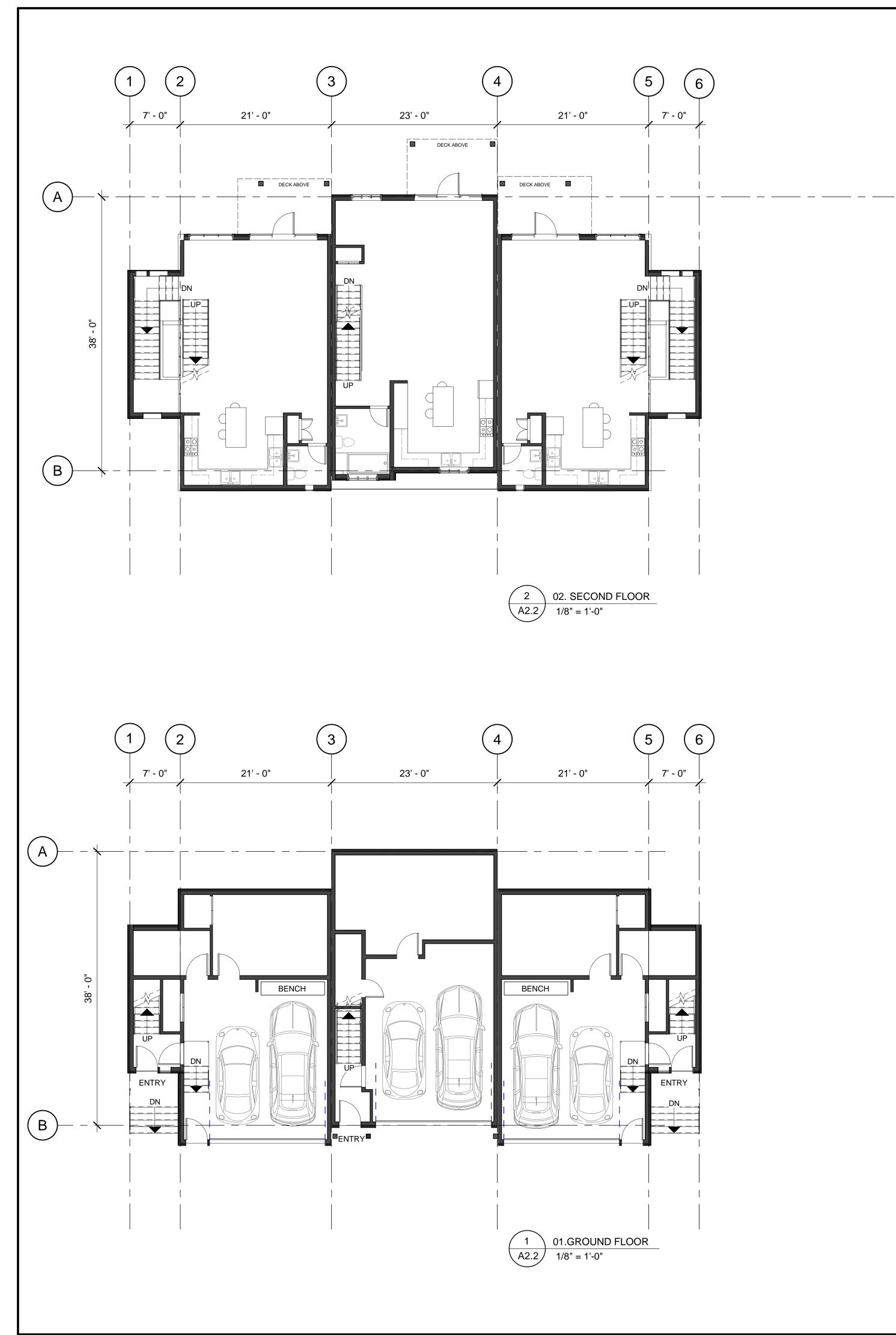
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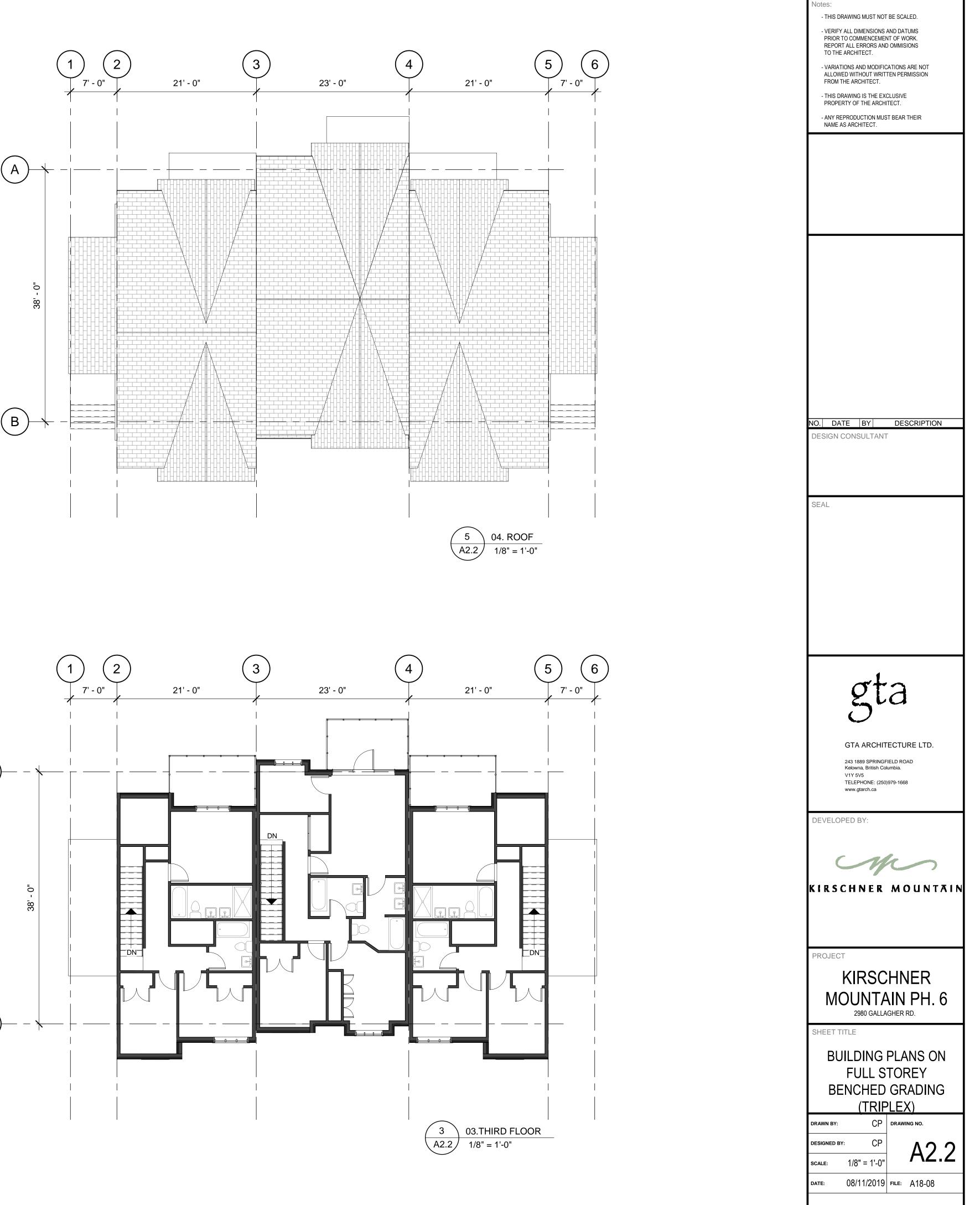


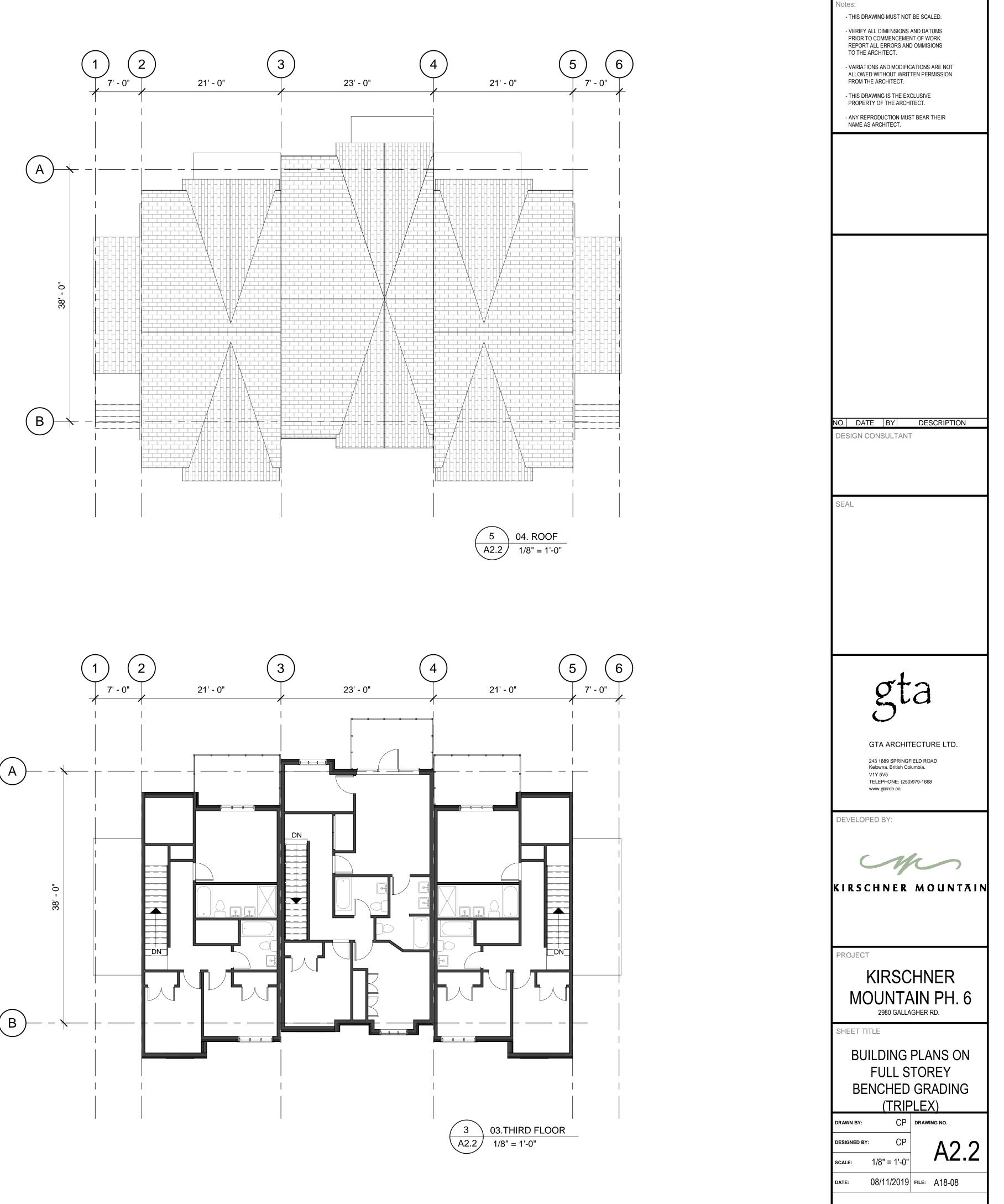


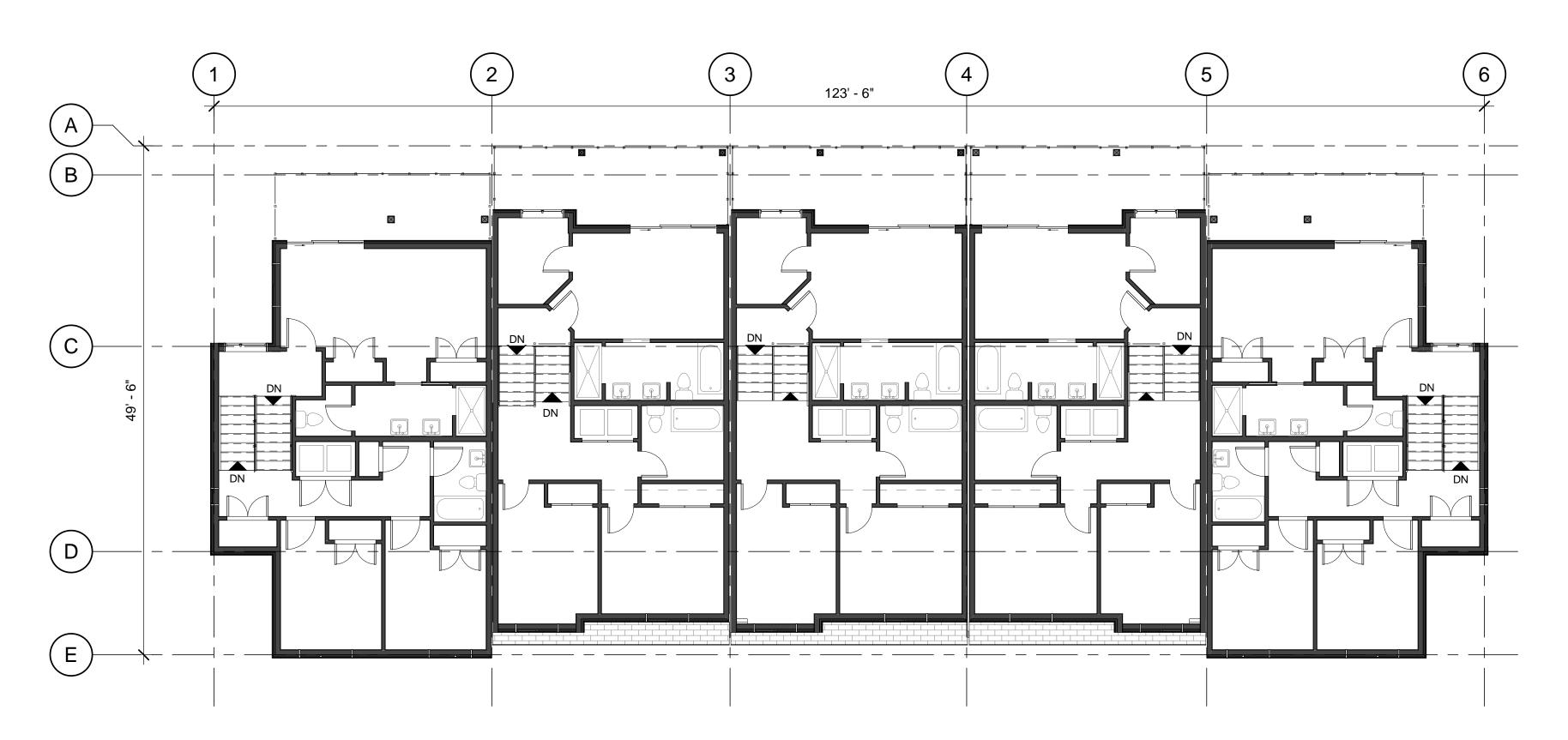




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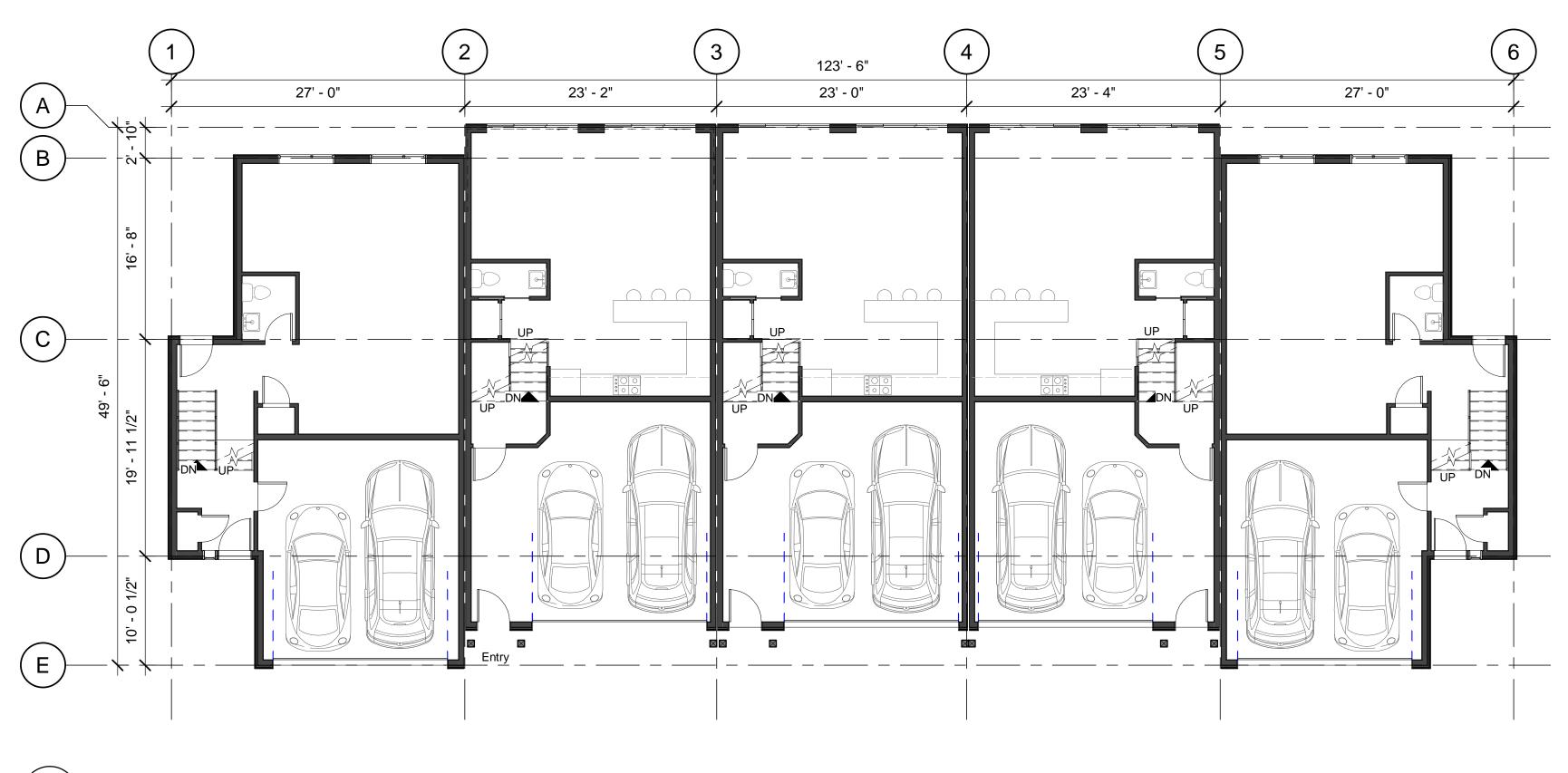






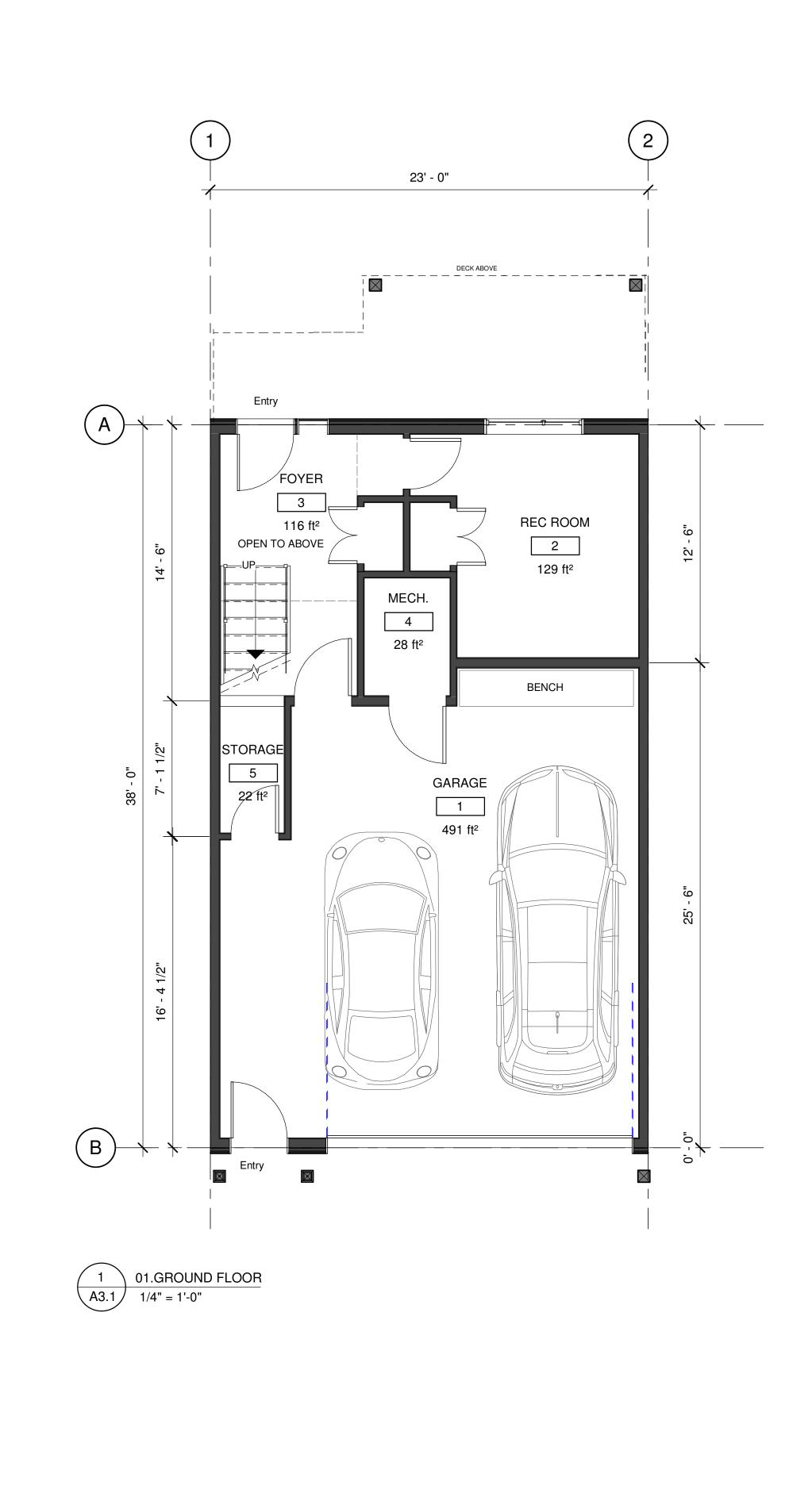


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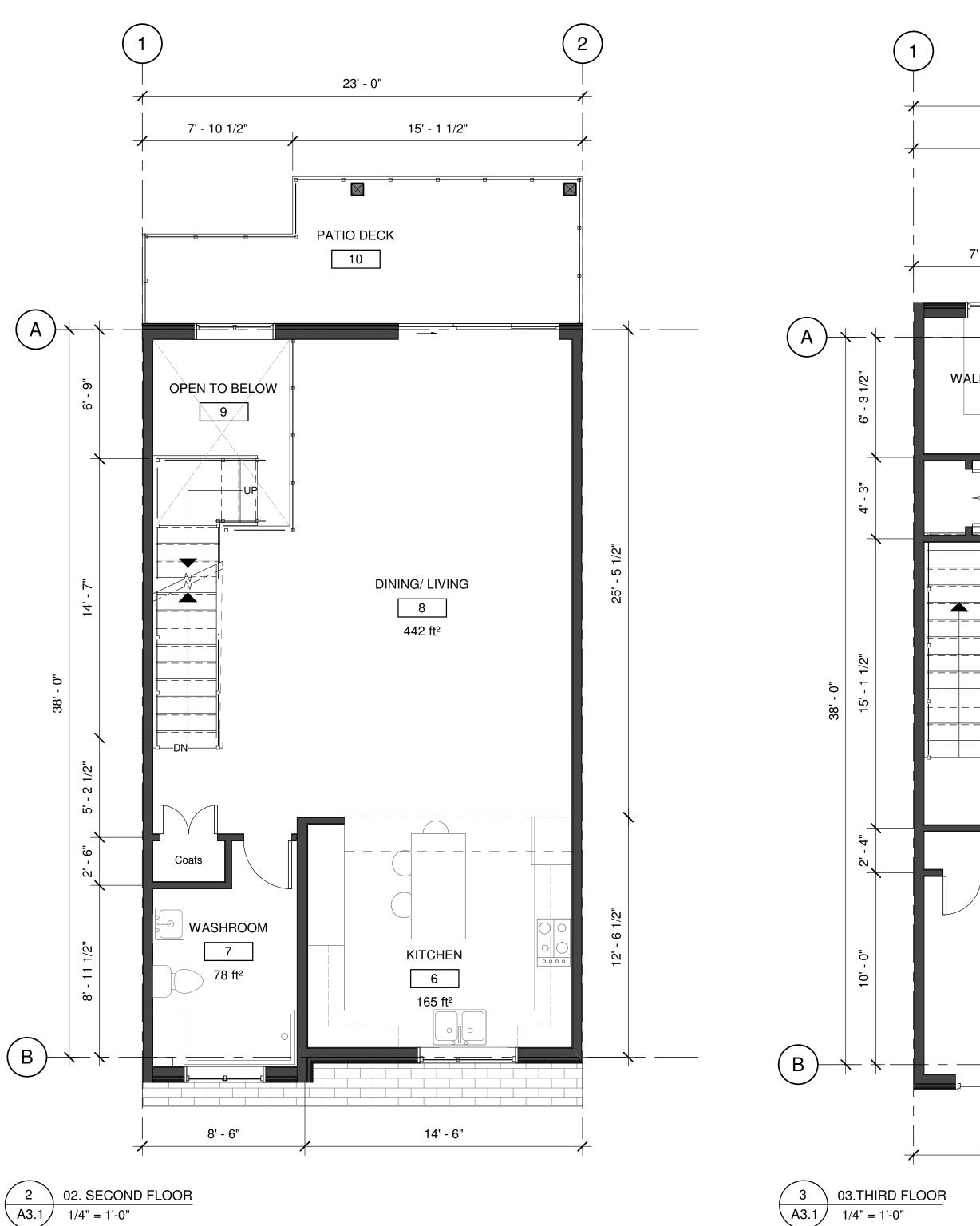


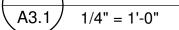
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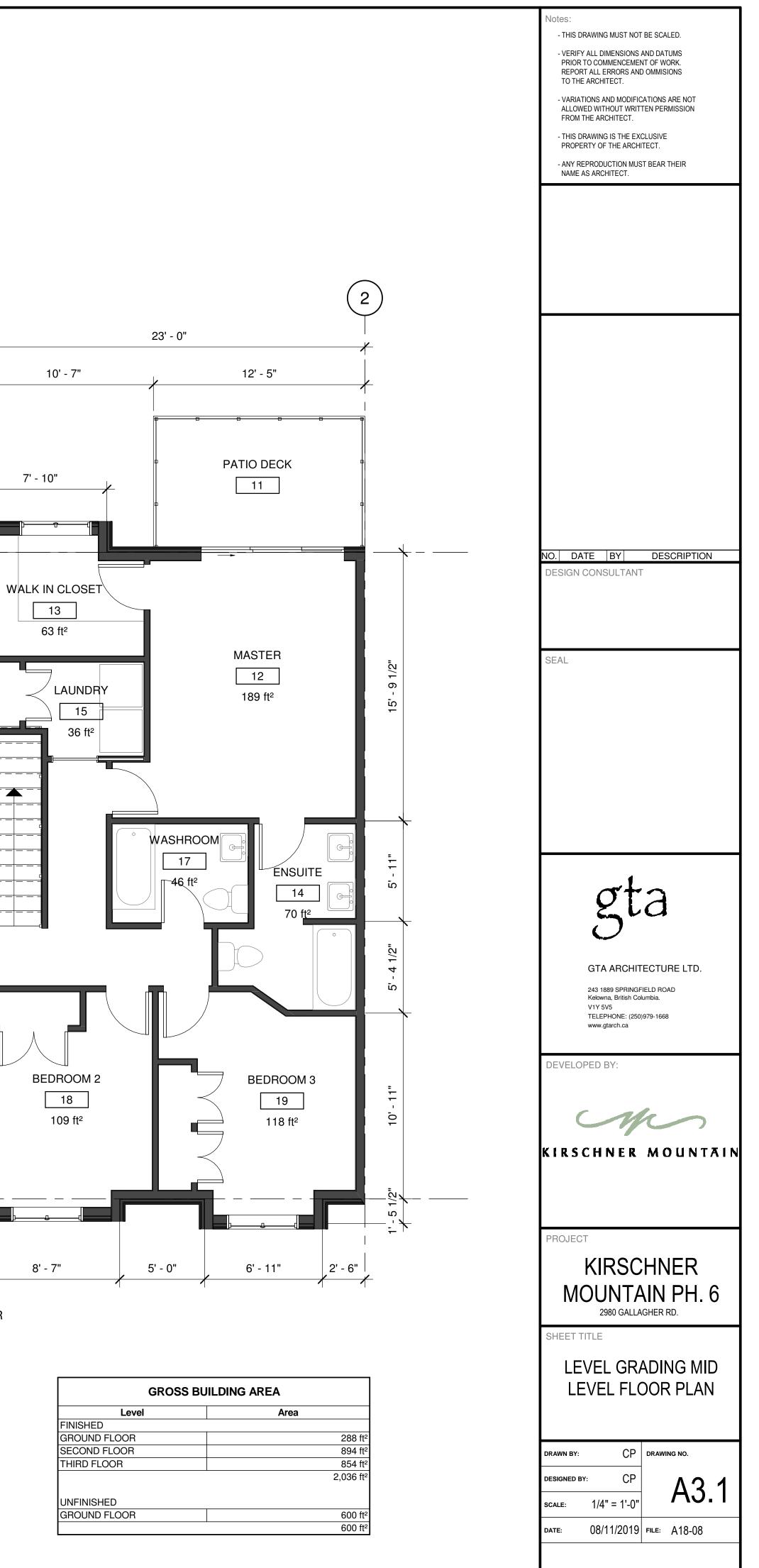
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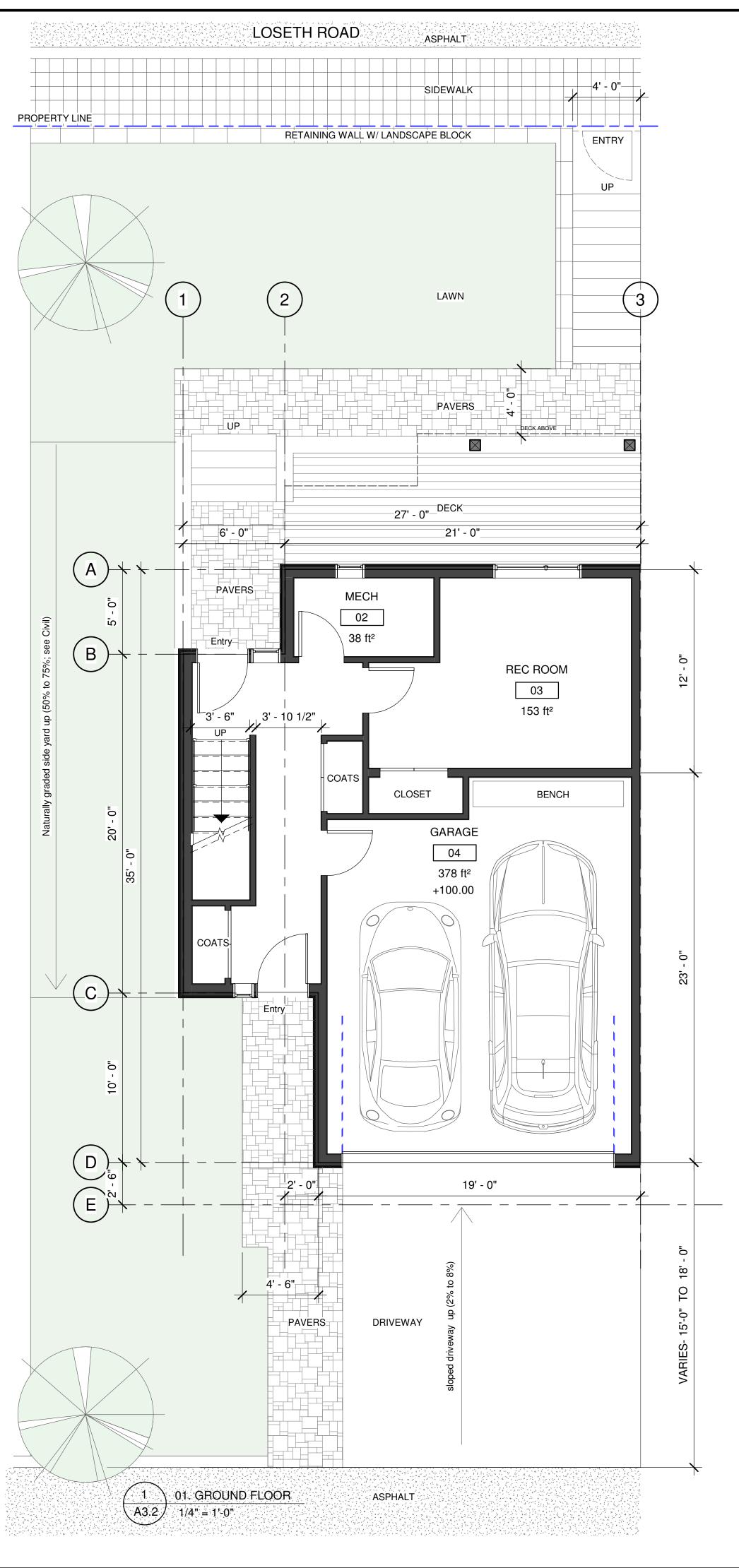


Project File Name and Location: P: 2018 Architecture A18-08 Kirschner Mountain Phase 6\3.0 Drawings November 2019 Submission A18-08 Level Grade Mid Unit (2020) 05.11.2019 .rvt

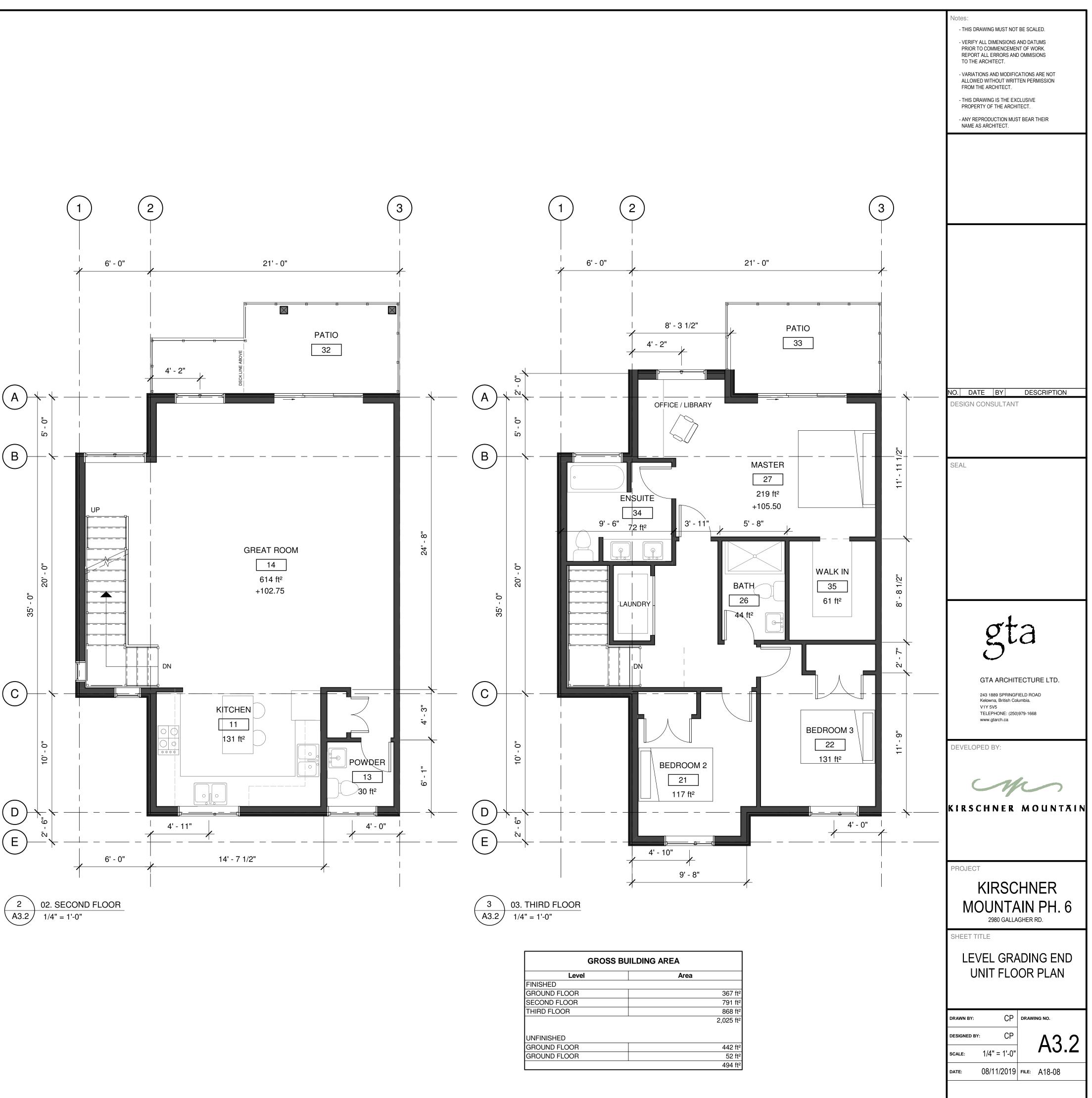




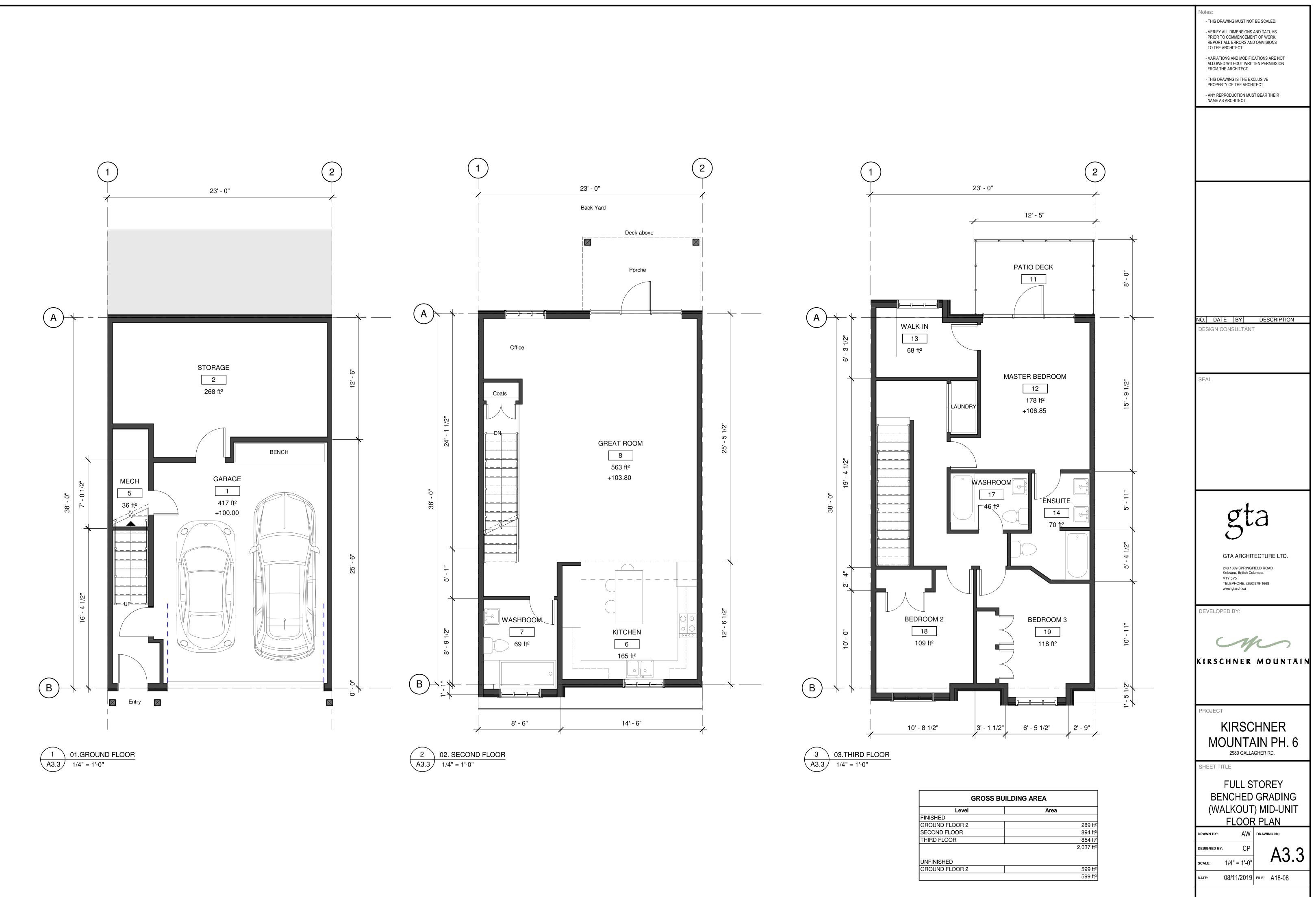




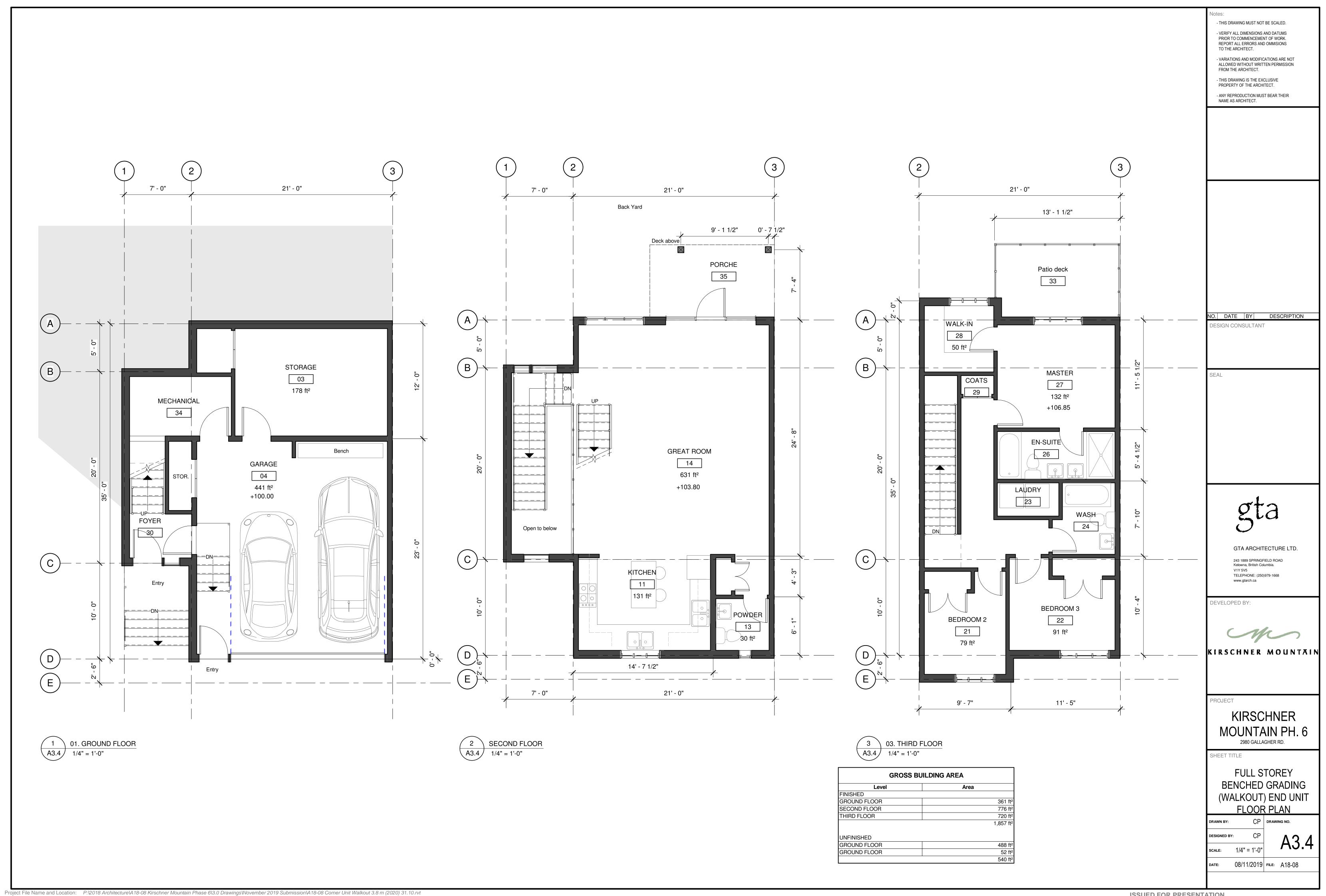
Project File Name and Location: P:\2018 Architecture \A18-08 Kirschner Mountain Phase 6\3.0 Drawings \November 2019 Submission \A18-08 type C 2019.11.07.rvt



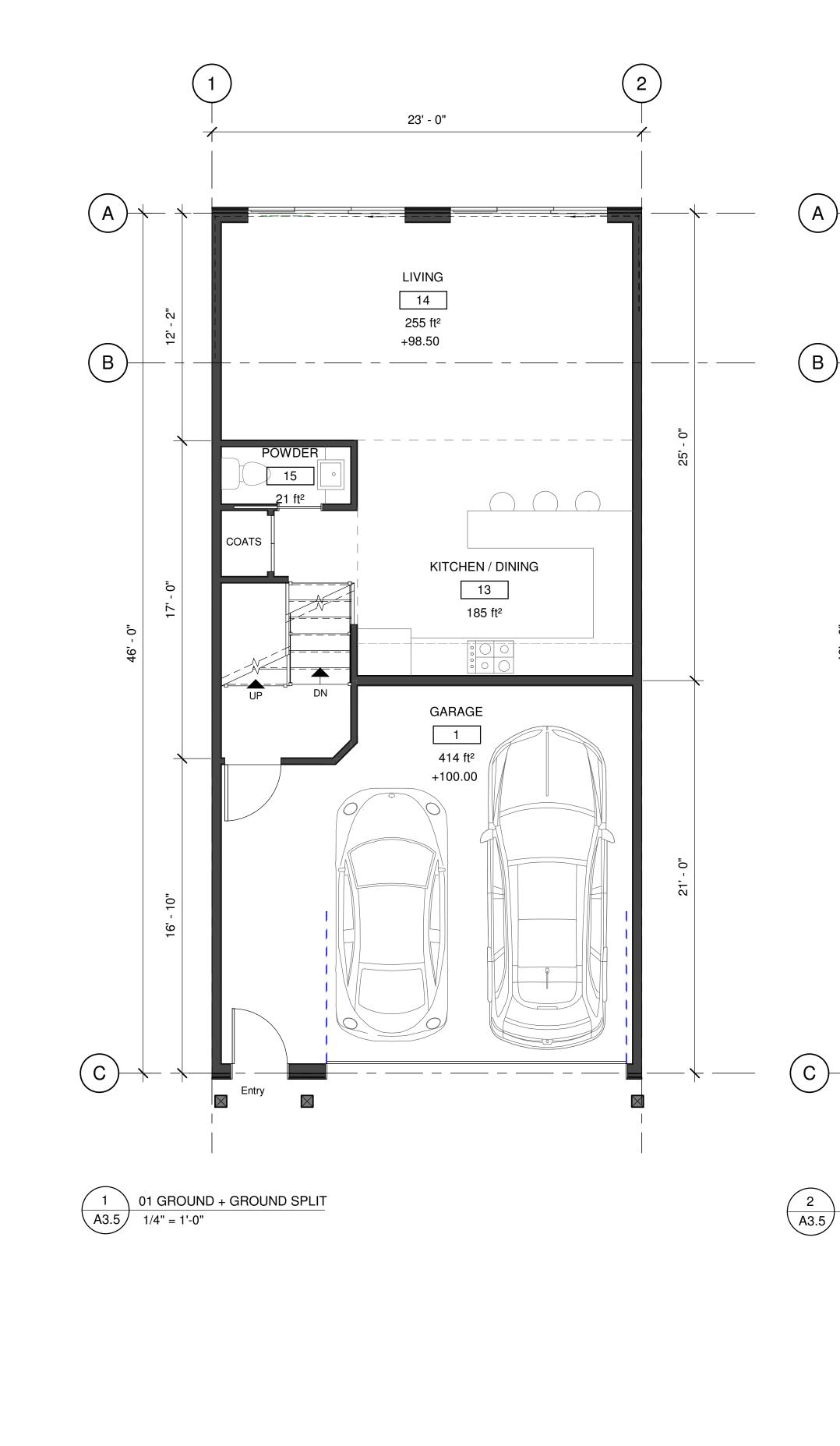
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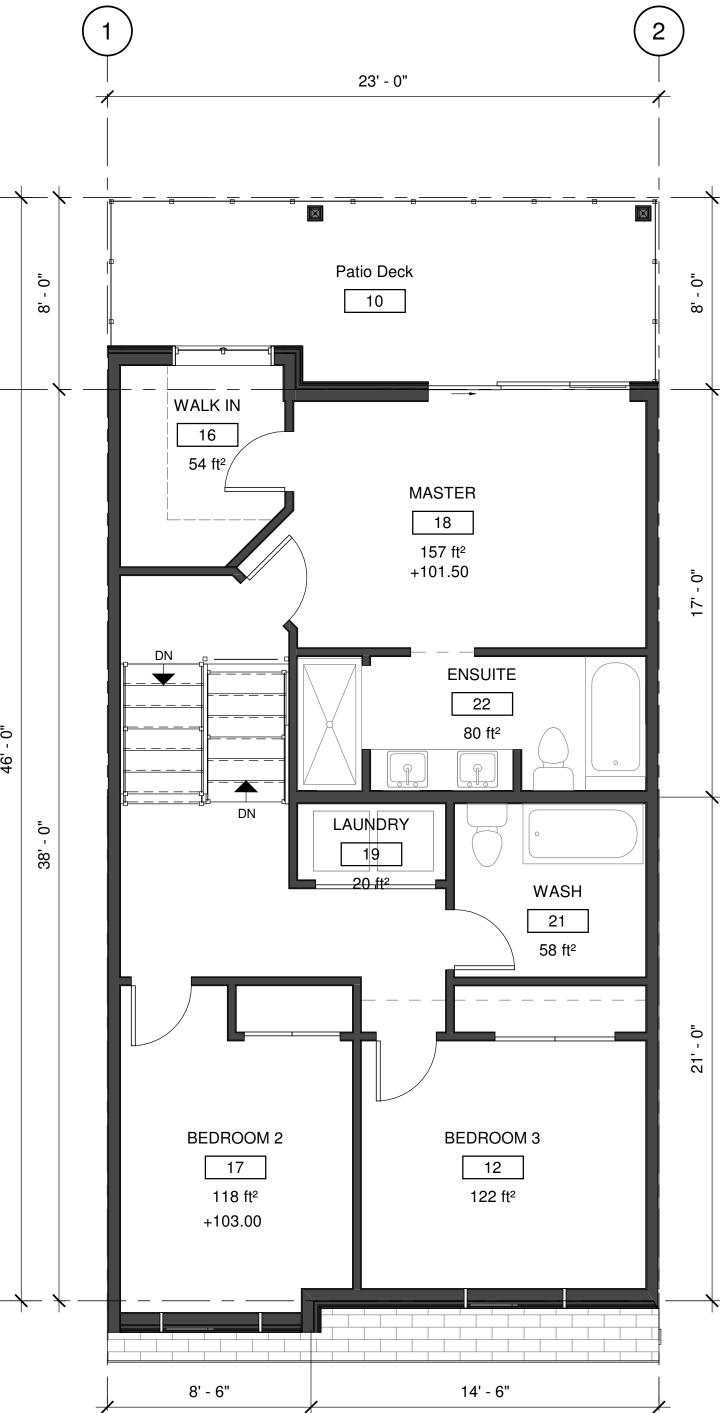
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	GROSS BU	ILC
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Project File Name and Location: P:\2018 Architecture \A18-08 Kirschner Mountain Phase 6\3.0 Drawings \November 2019 Submission \A18-08 type A Split.rvt



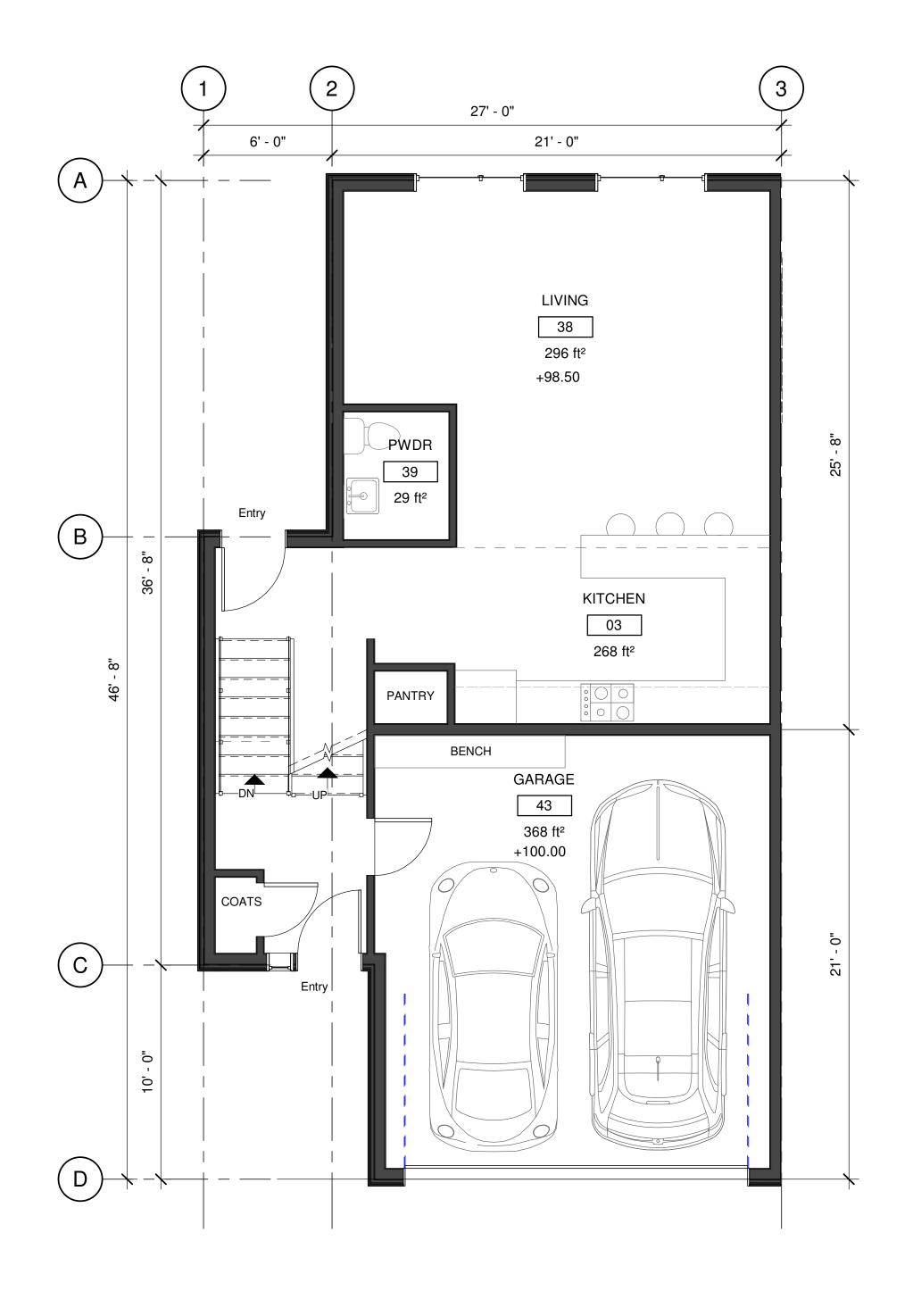
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2 02. SECOND + SECOND SPLIT A3.5 1/4" = 1'-0"

Notes:
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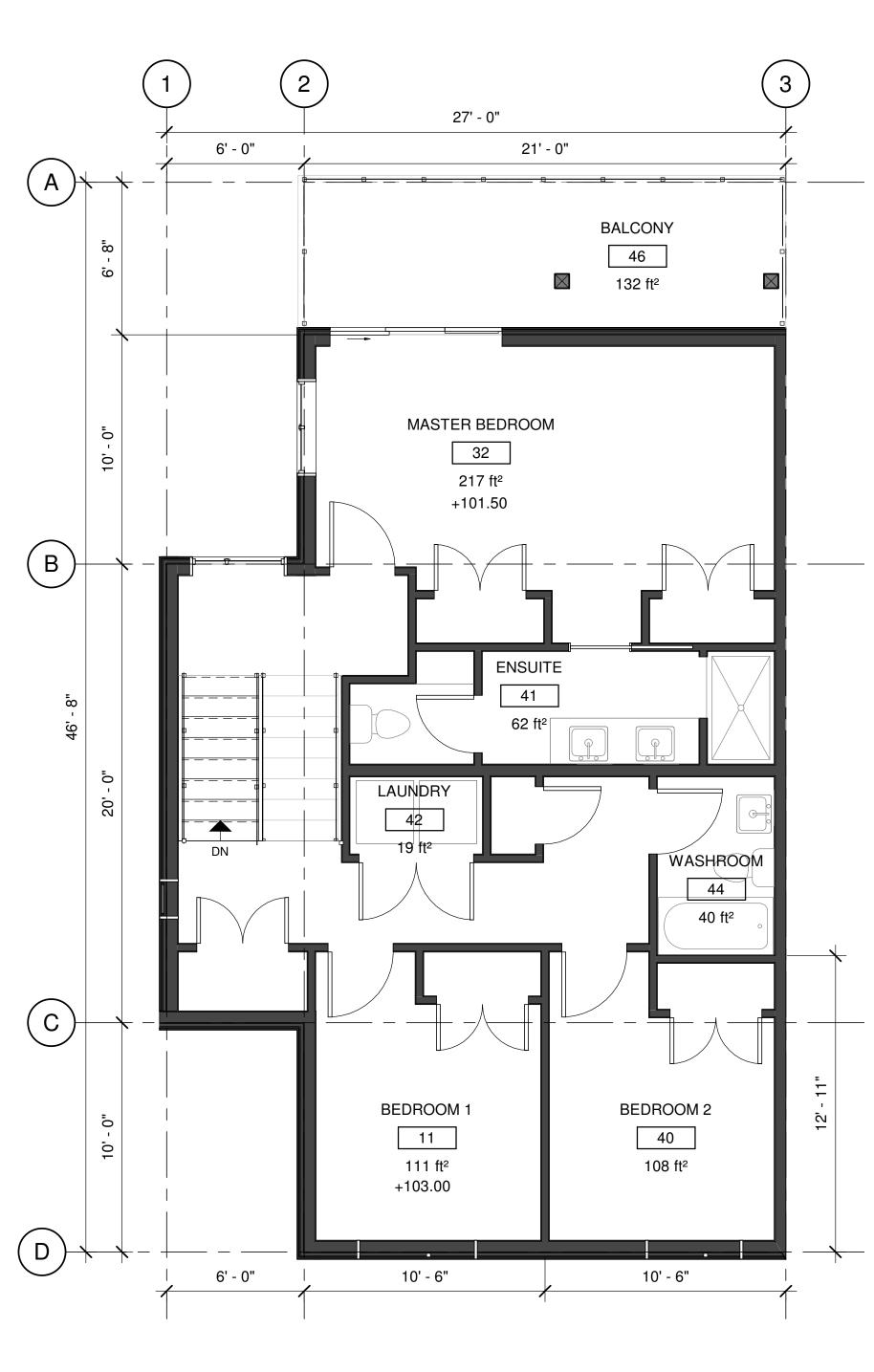
GROSS BUILDING AREA			
Level	Area		
FINISHED			
GROUND FLOOR	608 ft <sup>2</sup>		
SECOND FLOOR	906 ft <sup>2</sup>		
	1,514 ft <sup>2</sup>		
UNFINISHED			
GROUND FLOOR	453 ft <sup>2</sup>		
	453 ft <sup>2</sup>		

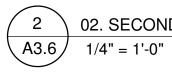


01. GROUND FLOOR + GROUND SPLIT A3.6 1/4" = 1'-0"

1

Project File Name and Location: P:\2018 Architecture\A18-08 Kirschner Mountain Phase 6\3.0 Drawings\November 2019 Submission\A18-08 type C Split.rvt





02. SECOND FLOOR + SECOND SPLIT

GRO Level FINISHED GROUND FLOOR SECOND FLOOR

UNFINISHED GROUND FLOOR

Notes:
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SS BUILDING AREA					
	Area				
	690 ft <sup>2</sup>				
	897 ft <sup>2</sup>				
	1,588 ft <sup>2</sup>				
	411 ft <sup>2</sup>				
	411 ft <sup>2</sup>				



B-02





LEVELED GRADING / FIVEPLEX - SIDE FACADE



Project File Name and Location: P: 2018 Architecture A18-08 Kirschner Mountain Phase 6\3.0 Drawings A18-08 Kirschner Mountain COVER REND ELEV.rvt









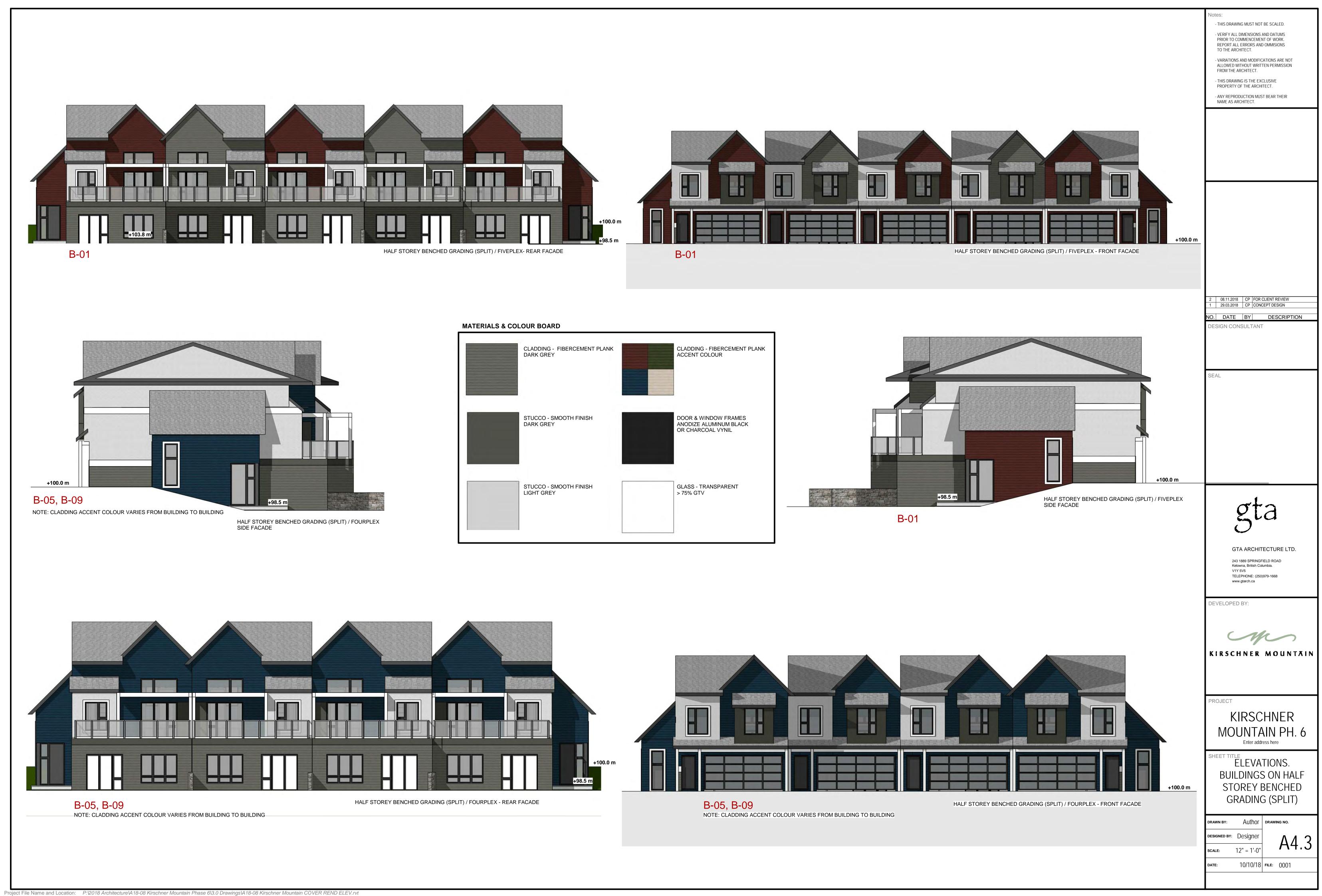


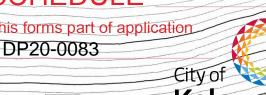
Project File Name and Location: P: 2018 Architecture A18-08 Kirschner Mountain Phase 6\3.0 Drawings A18-08 Kirschner Mountain COVER REND ELEV.rvt



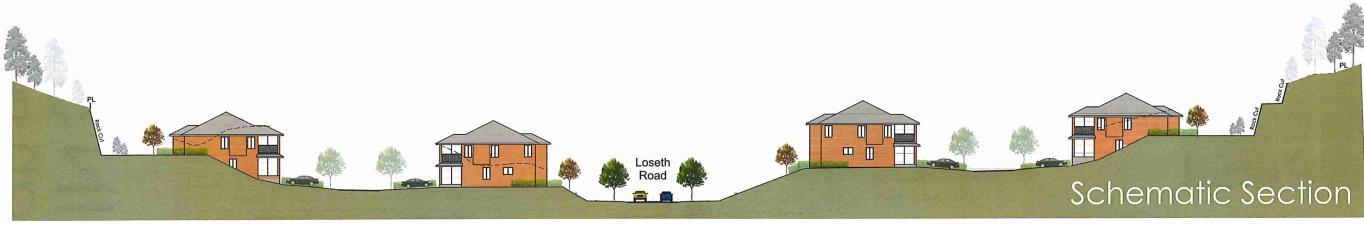


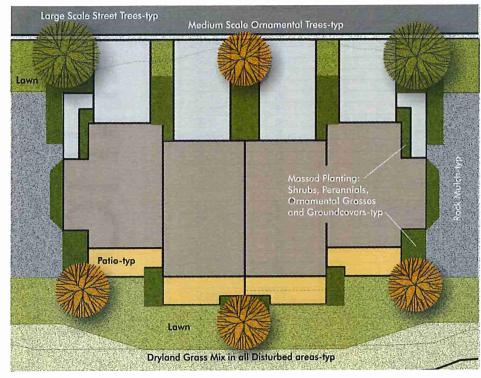
















Townhomes represented as simple blocks see Architectural Drawings

PHASE 05 R MOUNTAIN Landscape Plan RSC





Large Scale Deciduous Trees 75/60MM CAL



Coniferous Trees 1.8m ht



Medium Scale **Ornamental Trees** 60MM CAL

### SHRUBS, GRASSES, PERENNIALS MIN # 2 POT



mbol.	Botanical Name	Common Name	Size	Spacing
We				
A B	Acer rubrum 'Red Sunset'	Red Sunset Maple	75mm cal	
NI/UP	Gleditsia triacanthos inermis "Skyline"	Skyline Honeylocust	75mm cal	
	Populus tremuloides	Trembling Aspen	60mm cal	
	Cercis canadensis	Eastern Redbud	60mm cal	
N/2	Magnolia stellata	Star Magnolia	tree form 60 mm cal	
TAN .	Pyrus calleryanna "Chanticlear"	Chanticlear Pear	60mm cal	
	Syringa reticulata 'Nory Silk'	lvory Silk Tree Lilac	60 mm cal	
	Pinus ponderosa	Ponderosa Pine	1.8 m ht, B&B	
	Pseudotsuga menziesii	Douglas Fir	1.8 m ht, B&B	
	Comus sericea	Red Twig Dogwood	#2	1.2m OC
	Euonymus alata compacta	Dwarf Burning Bush	#2	1.2m OC
	Forsythia x courtasol 'Gold Tide' (vellow)	Gold Tide Forsythia	#2	1.2m OC
	Hosta "El Nino"	El Nino Hosta	#2	1.0m OC
	Kerria japonica	Japanese Kerria	#2	1.2m OC
	Mahonia aquifolium	Oregon Grape	#2	1.0m OC
	Paxistima canbyi	Cliff Green	#2	1.2m O(
	Philadelphus lewisii 'Blizzzard'	Blizzard Mockorange	#2	2.0m OC
	Pinus mugo pumilio	Dwarf Mugo Pine	#2	1.2m OC
	Potentilla fruiticosa "Red Ace'"	Red Ace Potentilla	#2	1.2m OC
	Rosa 'meicoublan	White Meidiland Rose	#2	1.2m OC
	Rhus aromatica 'Gro-low'	Gro Low Sumac	#2	1.5m OC
	Symphoricarpus alba	Snowberry	#2	2.0m OC
	Syringa vulgaris 'Belle de Nancy'	Belle de Nancy Lilac	#2	1.5m OC
	Calamagrostis ' Karl Foerster'	Karl Foerster Reed grass	#2	1.0m OC
-	Festuca ovina Elijah Blue	Elijah Blue Fescue	#2	0.6m OC
	Helictotrichon sempervirens	Blue Oat Grass	#2	1.0m OC
	Mscanthus sinensis purpurascens	Orange Flame grass	#2	1.2m OC
	Pennisetum alopercuroides	Fountain Grass	#2	1.0m OC
	Pennisetum orientale' Tall Tails'	Oriental fountain grass	#2	1.0m OC
	Artemesia ludoviciana 'Valerie Finnis'	White Sage	#2	1.2m OC
	Aster woods purple	Woods Purple Aster	#2	
	Hermocallis ' Gentle Sheperd' (white)	Gentle Sheperd Daylily	#2	0.6m OC
	Hermocallis ' Stella d'Oro' (yellow)	Stella D'Oro Daylily	#2	0.6m OC
	Lavendula ' Munstead' (purple)	Munstead lavender	#2	1.0m OC
	Perovskia atriplicifolia	Russian sage	#2	1.2m OC
at l	Rudbeckia hirta 'Goldsturm' (yellow)	Goldsturm Gloriosa Daisy	#2	0.6m OC
	Leucanthemum x superbum 'Snow Lady (white)	Snow Lady Shasta Daisy	#2	0.6m OC
	Arctostaphylos uva ursi 'Vancouver Jade'	Vancouver Jade Kinnikinick	#2	0.6m OC

### **Dryland Grass Mix Seed Blend**

- (% by weight)

  Crested Wheat Grass
- Crested Wheat Grass 20
   Perennial Rye 15
   Slender Wheat Grass 10

- Tall Wheat Grass 10
  Tall Wheat Grass 10
  Hard Fescue 10
  Creeping Red Fescue 10
  Annual Rye 10
  Fall Rye 15

Application Rate - 150 kg/ha Seed Mix to be certified #1 Grade

PHASE **Q**E Plan IRSCHNER MOUNT, onceptual Landscape



## Development Permit & Development Variance Permit DP20-0083/DVP20-0084

This permit relates to land in the City of Kelowna municipally known as

### 2980 Gallagher Road

and legally known as

Lot 1, Section 12 and 13, Township 26 and Sections 7 and 18 Township 27, ODYD, Plan KAP71697, Except Plans KAP84278, KAP86315, KAP86363, KAP88598, EPP36504, EPP69212, EPP74058, EPP84892, EPP101217 and EPP107886

and permits the land to be used for the following development:

77 unit multi-family development

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision

Decision By:

Issued Date:

COUNCIL

Development Permit Area: Comprehensive Development Permit Area

This permit will not be valid if development has not commenced by June, 2022.

Existing Zone: RH3 – Hillside Cluster Zone Future Land Use Designation: MRC – Multiple Unit Residential (Cluster Housing)

## This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

### NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Kirschner Mountain Development Inc.

Applicant: Kirschner Mountain Development Inc.

Terry Barton Development Planning Department Manager Date

### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

with variances to the following section of Zoning Bylaw No. 8000:

### Section 13.16.8 (a): RH3 – Hillside Cluster Housing Development Regulations

To vary the maximum height of the principal building from 9.5 m to 10.5 m; and

### Section 13.16.7(b)(iii): RH3 – Hillside Cluster Housing Development Regulations

To vary the minimum setback from the rear property line from 4.5 m to 3.0m.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

### 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit in the amount of **\$ 184,668.75** 

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

### 5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



\*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

### FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying) CHAPTER 3.0: TOWNHOUSES & INFILL						
3.1 Townhouse Guidelines						
3.1.1 Relationship to the Street						
Townhouse built form is addressing the street frontage and front doors are directly accessible from a public walkway.				✓		
Corner Sites: built form is addressing both street frontages and front doors are directly accessible from a public walkway.	~					
End Unit: Townhouse built forms end unit is oriented perpendicularly to the street frontage and has high quality architectural design treatment with main entrance directly accessible from the fronting street.	<b>~</b>					
Blank façades (without window openings) proposed along the street frontages.					✓	
Prominent entrance features for the main front doors such as stoops, porches, recessed entries, and canopies are provided.					~	
Appropriate transition between public and private realm is being achieved by changes in grade, decorative railings, and planters.					~	
3.1.2 Scale and Massing						
Proposed built form is sympathetic to the neighbourhood context and providing sensitive transition to the adjacent context (existing and future buildings, parks, and open spaces)					~	
Built Form is establishing a consistent rhythm along the street frontage with articulation of individual units through integration of projections/ recesses (entries and balconies), change in materials of the façade.					✓ 	
Townhouse block is comprising of maximum 6 units.						~
3.1.4 Open Spaces						
Townhouse units are designed to have easy access to useable private or semi-private outdoor amenity space.					~	
Front yards are designed to include a pathway from the fronting street to the primary entrance of the unit, landscaping, and semi-private outdoor amenity space.				<b>√</b>		
Rear yard with undeveloped frontages along streets and open spaces should be avoided.				~		
Design of private outdoor amenity spaces is having access to sunlight. Design of private outdoor amenity spaces is having a railing or fencing to					✓	✓
increase privacy. Design of private outdoor amenity spaces is having landscaped areas to						<b>√</b>
soften the interface with the street or open spaces.						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Design of front patios provide entrance to the unit and is raised a minimum of 0.6m and maximum of 1.2m to create a semi-private zone.					~	
Roof patios are provided with parapets with railings and minimize direct sight lines into nearby units.	<b>√</b>					
Roof patios have access away from primary facades.	$\checkmark$					
Balconies are designed to inset or partially inset and offer privacy, shelter, reducing building bulk and minimize shadowing impact.				~		
Minimum of 10% of total site areas is allocated to common outdoor amenity area.					~	
3.1.5 Site Servicing, Access, and Parking						
Landscaping is provided to frame building entrances, soften edges, screen parking garages and to break up long facades.					~	
<b>Site Servicing:</b> Waste collection systems such as, Molok bins are located away from any public views.					~	
Parking						
Townhouses facing public streets are provided with a rear-access garage or integrated tuck under parking.						~
If applicable, centralized parking areas that eliminate the need to integrate parking into individual units are provided.					~	
Visitor parking with pedestrian connections to the townhouse units is provided in an accessible location (adjacent to townhouse blocks or centralized parking integrated with shared outdoor amenity space).						~
Access		1		1		
Internal circulation of vehicles is providing necessary turning radii and a safe access and egress.						~
Large townhouse developments with internal circulation pattern are provided with a minimum of two access/egress points within the site.						~
Access points are located to minimize the impact of headlights on building interiors.						~
3.1.6 Building Articulation, Features, and Materials						
Façade is designed and articulated to reflect positive attributes of the neighbourhood character.					~	
Strategy to articulate façade: Recessing or projecting of architectural features to highlight the identity of individual units.				~		
Strategy to articulate façade: main entrance and rooflines features, and other architectural elements have been incorporated in the design.					✓	
Infill townhouses are designed to incorporate design elements, proportions and other characteristics found within the neighbourhood.					✓	

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Infill townhouses are provided with durable, quality materials similar or					$\checkmark$	
contemporary to those found within the neighbourhood.						
Privacy of units is maintained on site and on adjacent properties by					✓	
minimizing overlook and direct sight lines from the building. The						
following strategies have been incorporated in design:						
• Off setting the location of windows in facing walls and locating						
doors and patios to minimize privacy concerns;						
Use of clearstory windows;						
Use of landscaping or screening; and						
Use of setbacks and articulation of the building.						



DEVELOPMENT PLANNIN

## KIRSCHNER MOUNTAIN - PHASE **REZONING & DEVELOPMENT PERMIT APPLICATION**

# **DESIGN RATIONALE**



2020.02.19

**Prepared for:** 

**Kirschner Mountain Developments** 1261 Loseth Rd Kelowna, BC, V1P 1E5

To be submitted to:

**City of Kelowna Development Services** City of Kelowna

Prepared by:

Architecture Interior Design and Planning **Building Envelope Consulting** 



Garry Tomporowski Architect Ltd Kelowna, B.C. 250.979.1668



### ARCHITECTURE

Garry Tomporowski ArchitectLtd 243 – 1889 Springfield Road Kelowna, BC Canada V1Y 5V5 Phone: 250. 979.1668 Email: gtaoffice@gtarch.ca

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### 1.0 OVERVIEW

The proposed hillside housing development thoroughly addresses the main goals pursued by the City of Kelowna for these land uses. Many strategies have been discussed among the project's stakeholders and the City Planning for minimizing the impact of the development on the natural environment, topography, open space and visual hillside character of Kelowna.

During the creation of the new Kirschner Mountain Area Structure Plan there was considerable pressure from the City at the time, to ensure a high proportion of units would be in the multifamily residential forms and density to ensure efficient use of the land. The OCP Future Land use Designation was adopted accordingly, and the aimed <u>Zoning: RH3 – Hillside Cluster Housing</u> accepts that the form and character may include *multiple dwelling housing* units.

We believe that the proposed townhouse typology – Triplex, Fourplex and Fiveplex – addresses all significant elements of the OCP, and are deemed to be quality yet affordable forms of housing in the Kelowna area market. They have become an excellent product type to satisfy the mid to upper market housing demand, much of which has not been available in the overall Kirschner/Black Mountain areas.

### 2.0 **PROJECT DESCRIPTION**

The topography of the developable land lends itself to this multi-family form product type. The subject site is located in a gully where there are limited views, largely inward-looking and in a transition area through to the backside of the mountain via single road, rendering the area somewhat restricted in development potential. The setting also limits the visual impact from any surrounding view perspectives.

This townhouse form project develops along Loseth Road, on both North and South sides, with 19 residential buildings and a total number of 77 units. It comprises diversified buildings types – triplex, four-plex and five-plex – and multiple configurations based on their relationship with the topographic setting and the road/grading design by CTQ Civil Engineers.

In terms of density, the Kirschner Mountain – Phase 6 achieves a slightly higher density at approximately 8.5 to 9 units/acre with this 'low density' multi-plex housing type.

Also this site, of approximately 8 acres serves as the entry to the multifamily residential area in line with the approved Master Plan (Area Structure Plan).

'Flat pad' building lots live together with half storey benched and full storey benched lots. This provides a rich variety of topographical context to the architectural design, which GTA has certainly taken advantage of.

In this regard, the architectural design has tackled a wide range of different floor plans options, in combination with diverse section developments. We propose full three storey units, split-level units and walk-out units, ensuring an attractive broad housing mix in this new neighborhood.

The Architectural exterior design has been carefully designed taking in account the adjacent neighborhoods architectural context and design guidelines, and the specific



sensibilities that were put on the table by the participants during the preliminary design stage.

Therefore, a refined craftsman style with flares of urban and mountain appeal defines the architectural design of Kirschner Mountain - Phase 6, creating an elegant, modern and vibrant looking neighborhood.

In addition, the buildings' envelope have been conceived with parameters that enable the efficiency of both energy and construction costs, emphasizing the differentiation of the buildings through the choice of colors, architectural accents and landscaping, rather than over-complicating the facades layout (form factor, opaque walls to openings ratio,...) or over-designing the buildings' elevations.

Generous patios and balconies allow for enjoyment of the Okanagan environment and personal entertainment, and a carefully created landscape views are key factors on this design.

Special attention was given to the landscaped areas and to the interface with the adjacent natural parks, enhancing the pedestrian connectivity between the development and these Kirschner Mountain Estates' preserved enclaves.

Finally, an amenity building has been proposed in a central location, certainly adding a great supporting infrastructure for the use of the community.

### 3.0 SITE AND PARKING ACCESS

The proposed roads and grading layout, as well as the architectural design tackle the challenging topographic context by giving a responsible and conscious solution from many perspectives: cost efficiencies, yield efficiencies, tax impact to municipality, neighborhood character and efficient use of the land.

In regards to parking; all the units have double garage, with a minimum driveway length of 6 m, and provisions for visitor on-site parking as per the Section 8 – Parking and Loading zoning bylaw.

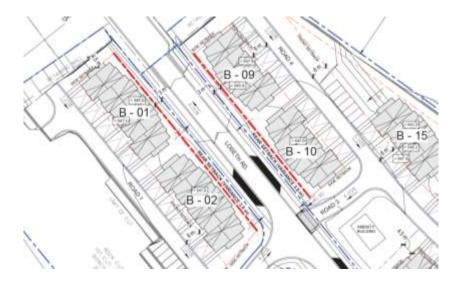


### 4.0 VARIANCES

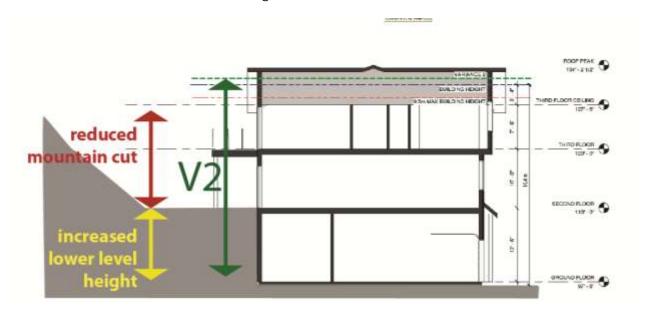
We are requesting two variances in this application. These variances have been lengthily discussed with the Planning Department at the City of Kelowna, and are being sought to reduce the mountain cut height at both sides of Loseth Road.

• VARIANCE 1: 3.0 m REAR YARD VARIANCE WITH LOSETH ROAD.

Request a variance for the reduction of the rear yards setback from 4.5 m to 3.0 m at the buildings B-01, B-02, B-09 and B-10 with Loseth Road. This allows the Roads 1 & 4 to be pushed further off the mountain cut.



 <u>VARIANCE 2</u>: BUILDING HEIGHT VARIANCE FROM 9.5 m TO 10.5 m. Request a variance for the increase of building height of the walk-out buildings adjoining the toe of mountain cuts; buildings B-06, B-07, B-08, B-15, B-16, B-17, B-18, B-19.





### 5.0 SUSTAINABILITY AND CRIME PREVENTION

This increased density over the traditional or even small-lot residential forms of housing is not only able to help mitigate increasing costs for first time buyers, but also enables efficiencies in achieving reductions in cost of city services per capita, energy consumption, carbon footprint, heat island effect,...

Envelope details that prevent water and moisture ingress, yet still allow the assemblies to dry, will prevent mould growth. Reducing thermal bridging combined with appropriate thermal insulation will reduce heating and cooling loads. Providing windows in all of the occupied spaces allows natural day lighting, and reducing energy consumption required for illumination. Operable windows also allow for natural ventilation, thus reducing the need for mechanical ventilation to provide fresh air, and adding "liveability".

Extensive use of materials from natural sources is used to the largest extent possible, and thereby reduces the carbon foot print accordingly. A properly designed and detailed building will also reduce heating and cooling loads, increase air quality, and reduce energy consumption.

Carefully selected landscaping material will help reduce the projects use of water. This will prove an attractive, colorful and interesting variety of grass, shrubs and large trees for shade, privacy and path definition. Special attention was placed on the connection to the adjacent parks, and should provide a style of development which is highly desirable within the Kelowna community.

The design of the buildings and landscaping promote natural surveillance and does not provide opportunistic hiding spaces. The entrances are clearly visible from the street and well lit public sidewalks surround the building.

The intentions of CPTED have been addressed in the following ways: well maintained entrances and frontages are intended to promote pride in ownership amongst the residents and allied businesses. This will discourage vandalism, encourage surveillance and will improve overall maintenance of the site. The walk-up, pedestrian friendly and ground oriented entrance has been provided to reinforce this principle.

The social lifestyle of the site will help promote further surveillance and territorial reinforcement. Separation of private, semi-private and public spaces will be achieved with overall landscaping and finish materials to separate and add comfort to the residents and visitors. Large windows and patios help to provide eyes to the street and surrounding areas. To support interaction and familiarity amongst the residents and users, an abundance of common outdoor space has been provided.

Site lighting to the streetscape and pathways will be clearly lit, designed to illuminate the faces of users, and provide illumination levels that do not create high contrast areas that could potentially conceal offenders.

This unique and attractive project will endure due to its sense of community, and the fact that it presents a prominent streetscape and connection to the surrounding neighborhood. It also provides well thought out external traffic patterns.



### 6.0 LANDSCAPING

The Developer has selected CTQ Landscaping Consultants to create an interesting and aesthetically pleasing landscape solution that responds to the challenging grading and the architectural style of the project. This will also compliment the character of the surrounding and future neighborhoods. The site design proposes a series of green pockets for the use and enjoyment of the families, with play areas for children to benefit from the outdoors.

Special attention was placed on the connection to the adjacent parks, and should provide a style of development which is highly desirable within the Kelowna community.

Carefully selected landscaping material will help reduce the projects use of water. A number of annual and perennial shrubs have been selected for along Loseth and the internal roads throughout the site, and in special groupings adjoining the buildings' ends. This will prove an attractive, colorful and interesting variety of grass, shrubs and large trees for shade, privacy and path definition. Trees will be planted along the roads. Given enough time to mature, these trees will help the project blend with the existing forest that surrounds the site.

The landscape concept for the boundary areas, the Loseth Rd. Boulevard and the small community gardens, will provide a visually exciting and high volume of green space. If viewed from above, there would appear to be significantly more "green" than buildings. Finally, Decorative Allan type blocks will be used for addressing the minimized locations where retaining soils is needed.

### 7.0 SUMMARY

Kirschner Mountain Developments and the design team feel that the combination of a quality design coupled with leading edge technology, pedestrian-friendly landscape features, and modern building materials will provide for a very functional and highly desired residential neighbourhood project.

It is also our desire that this project will be one of many to be built in an area critical to the continued sustainability and growth of our City internationally.

We look forward to your enthusiastic support and recognition for all the project brings to our community.

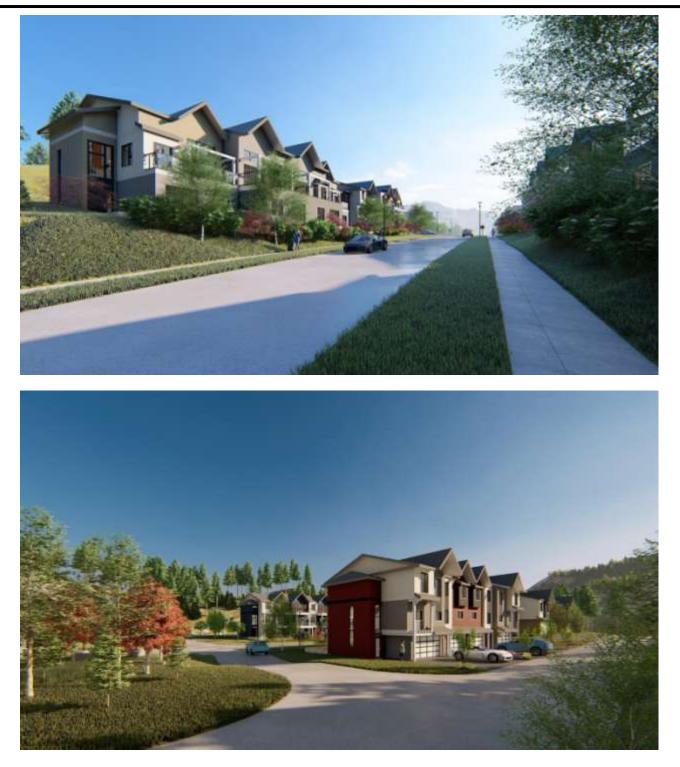


### 8.0 ARCHITECTURAL RENDERINGS













END



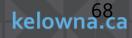
# DP20-0083/DVP20-0084 2980 Gallagher Road

Development Permit and Development Variance Permit Application

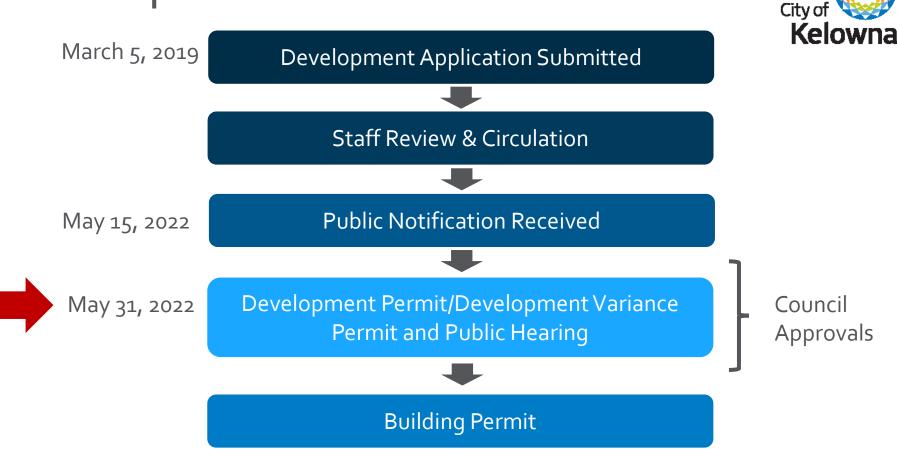


# Proposal

To consider a form and character of a multi-family residential development and to consider variances to the maximum height of a principle building and minimum front yard setback.



# **Development Process**

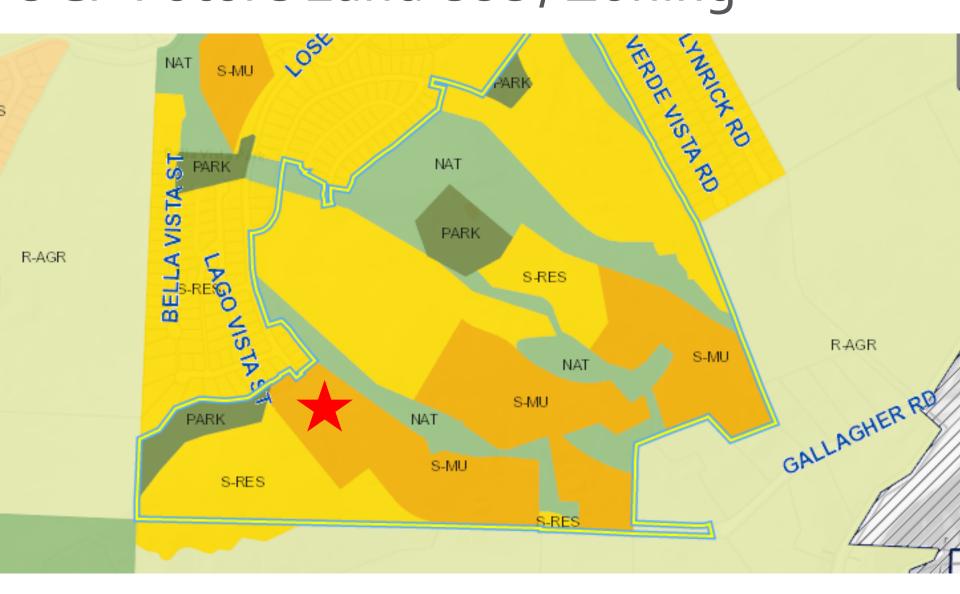




# Context Map



## OCP Future Land Use / Zoning



# Subject Property Map





# **Project Details**

Property is approx. 4.05 ha and currently vacant

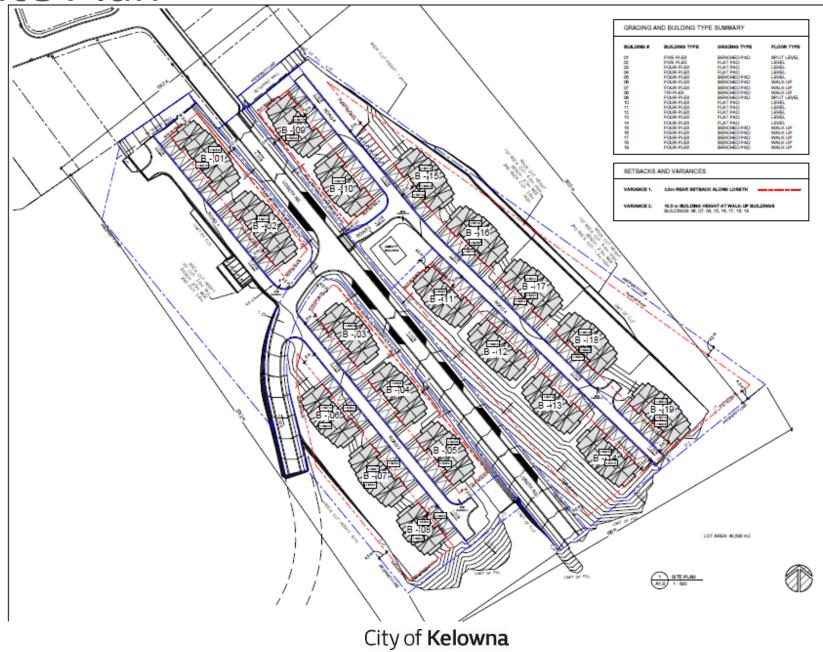
- Proposed 77 unit townhouse development
- Three, four and five plex buildings
- Two variances identified
  - To reduce the setback to Loseth Road to 3.0 m
  - ▶ To increase the maximum building height to 10.5 m



# Subject Property Map



### Site Plan



### Renderings



#### City of Kelowna

## Renderings





### Elevations





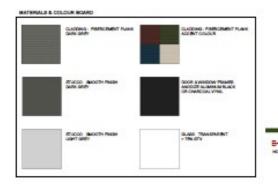
B-02

LINELTO GRADING ( PARTIES - MARING AND A

B-02

UNITED BADHS I FURTHER PADE PACKOR









8-03, 8-04, 8-10, 8-11, 812, 813, 814 HTTE GADNO KOOPT COLOUR VISION BALLING TO BALLING

LEVELED GRADING / POLINELED / PROVT PACADE



### Elevations

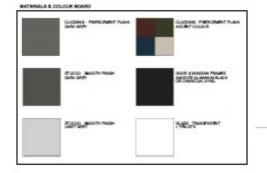




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ALL ETGREY MONORED GRADING INALS OUT, ITSPUES, PROOF PACADE









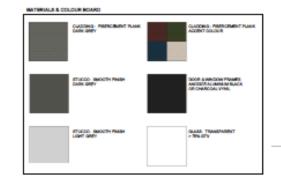


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### **Elevations**











### Landscaping Plan



### Landscaping Plan – Cross Section



### Development Policy

Policy 7.1.1. Area Structure Plan Consistency.	Support development that is consistent with adopted <u>Area Structure Plan</u> s (ASPs) in <u>Suburban Neighbourhoods</u> . Require amendments to ASPs where proposals include significant increases to the number of residential units beyond those signaled in an ASP or where proposals are likely to require significant changes to planned transportation, parks and utility infrastructure.
	The proposed development is consistent with the Kirschner Mountain Area Structure Plan.
Objective 7.2. Design Suburban Neighbourhoods to be low impa	act, context sensitive and adaptable.
Policy 7.2.1. Ground-Oriented Housing.	Consider a range of <u>low density ground-oriented</u> housing development to improve housing diversity and affordability and to reduce the overall urban footprint of <u>Suburban Neighbourhoods</u> . Focus more intensive <u>ground-oriented</u> housing where it is in close proximity to small scale commercial services, amenities like schools and parks, existing transit service and/or active transportation facilities.
	The townhouse style units offer a mix of housing diversity to the area dominated by single family dwellings.
Policy 7.2.2. Hillside Housing Forms.	Encourage housing forms that best match to the topography and have the lowest amount of impact is hillside areas, such as minimum cuts and fills, for example, and provide the greatest environmental protection. Discourage housing forms and associated roadways that cause high amounts of slope disturbance and visual impact.
	The townhouse housing form proposed allows for reduced cuts and fills and allows the development to be more sensitively integrated into the existing topography by reducing road infrastructure and separating the structures into 3-5 unit buildings.



# Staff Recommendation

- Development Planning Staff recommend support for the proposed Development Permit and Development Variance Permit:
  - Meets the goals and objectives of the Official Community Plan and the overall Kirschner Mountain Area Structure Plan
  - Provides mix of housing types to the neighborhood
  - Sensitively Integrated into natural topography





### Conclusion of Staff Remarks

#### **CITY OF KELOWNA**

#### BYLAW NO. 12325 TA21-0017 155-179 Rutland Road North

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 Section 14 – Commecial Zones, 14.4 C4 – Urban Centre Commercial be amended by adding in its appropriate location the following:

#### "14.4.7 Site Specific Uses and Regulations

Uses and regulations apply to the C<sub>4</sub> - Urban Centre Commercial on a site-specific basis as follows:

	Legal Description	Civic Address	Regulation
1.	Lot A Section 26 Township 26 ODYD Plan EPP117920	155-179 Rutland Rd N	Notwithstanding Section 14.4.5 (a), the maximum floor area ratio is 2.35 and Notwithstanding Section 14.4.5 (c), the maximum height is 8 storeys and 32.0 m.

2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 7<sup>th</sup> day of February, 2022.

Considered at a Public Hearing on the 1<sup>st</sup> day of March, 2022.

Read a second and third time by the Municipal Council this 1<sup>st</sup> day of March, 2022.

Approved under the Transportation Act this 8<sup>th</sup> day of March, 2022.

Audrie Henry

(Approving Officer – Ministry of Transportation)

Amended at third reading and adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT	ΤΟ COU	JNCIL		City of <b>Kelowna</b>
Date:	May 31, 2022			i ciowna
То:	Council			
From:	City Manager			
Department:	Development F	Planning		
Application:	DP21-0223 DVI	P21-0224	Owner:	ASI CENTRAL GP INC., INC.NO. A0117887
Address:	155-179 Rutlan	d Road N	Applicant:	Arlington Street Investments Inc.
Subject:	Development F	Permit and Developmen	t Variance Pern	nit Application
Existing OCP De	esignation:	UC – Urban Centre		
Existing Zone:		C4 – Urban Centre Con	nmercial	

#### 1.0 Recommendation

THAT Zoning Bylaw Text Amending Bylaw No. 12325 be amended at third reading to revise the legal description of the subject property from Lot 2 Section 26 Township 26 ODYD Plan 11269 Except Plan 37956, The North ½ of Lot 2 Section 26 Township 26 ODYD Plan 2478 Except Plans B7413 and 37956, That Part of the North ½ of Lot 2 Shown on Plan B7413; Section 26 Township 26 ODYD Plan 2478 Except Plan 37956 and Lot 1 Section 26 Township 26 ODYD Plan 2773 Except: (1) Part Outlined Red on Plan B5413 (2) Plan 8824 (3) Plan 37956 to Lot A Section 26 Township 26 Osoyoos Division Yale District Plan EPP117920;

AND THAT final adoption of Zoning Bylaw Text Amending Bylaw No. 12325 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP21-0223 for Lot A Section 26 Township 26 Osoyoos Division Yale District Plan EPP117920, located at 155-179 Rutland Rd N, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
- The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";

4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0224 for Lot A Section 26 Township 26 Osoyoos Division Yale District Plan EPP117920, located at 155-179 Rutland Rd N, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

#### Section 14.4.5(h)(i): C4 – Urban Centre Commercial Development Regulations

To vary the requirement for any portion of a building above 16.0 m or 4 storeys (whichever is lesser) in height to be setback a minimum of 3.0 m from all sides (required) to 0.2 m on the north side and to 0.09 m on the south side (proposed).

AND THAT Council's consideration of this Development Permit and Development Variance Permit be considered subsequent to the outstanding conditions of approval as set out in Attachment "B" attached to the Report from the Development Planning Department dated May 31, 2022;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

#### 2.0 Purpose

To issue a Development Permit for the form and character of a mixed-use building and to issue a Development Variance Permit to vary the requirement for any portion of a building above 16.0 m or 4 storeys in height to be setback a minimum 3.0 m from all sides.

#### 3.0 Development Planning

Development Planning Staff are supportive of the Development Permit and associated variance as the proposal meets many of the objectives and supporting policies of the Official Community Plan (OCP), as well as key Form and Character Development Permit Design Guidelines. The proposal generally conforms with the objectives and supporting policies of the Official Community Plan (OCP), as well as Form and Character Development Permit Design Guidelines.

- Ensure buildings have a continuous active and transparent retail frontage at grade to provide a visual connection between the public and private realm (see 4.1.1).
- Provide attractive and active human-scale amenities oriented towards public spaces at-grade such as frequent entries, weather protection, and outdoor seating areas (see 4.1.1 and 4.1.5).
- Break up building mass by providing simple vertical and horizontal articulation of facades; e.g., step backs, insets, projections, color and texture (see 4.1.6).
- Orient entries, windows, patios and balconies to face the fronting street. Ensure primary building entries are architecturally emphasized and directly accessible from the fronting public sidewalk (see 4.1.1).

#### <u>Variance</u>

There is one variance requested to facilitate this development, to the building stepback for portions of building above 16.0 m on all sides. This variance applies to portions of the building on the north and south property lines above 16.0 m in height. Rather than incorporating a stepback portions of the building on those elevations, the applicant has tried to mitigate the effect of this variance through a small section of artwork on the north elevation and a pattern on the south elevation (firewalls). Meeting the regulation would require a more complex construction method which makes their project more expensive and provides less floor space and units. While the setback would have made the building more sensitive and better integrate with neighbouring lower profile buildings, Development Planning is still supportive of the overall project and of achieving a major rental building in Rutland.

#### 4.0 Proposal

#### 4.1 <u>Background</u>

Council gave second and third readings to a site-specific text amendment (TA21-0007) on March 1, 2022 as part of this development proposal, which now applies to the property. This site-specific text amendment allows for a maximum density of 2.35 FAR and a maximum height of 8 storeys and 32.0 m.

The subject property was recently consolidated from four separate lots and consists of several single storey commercial businesses. They would be demolished to facilitate this development.

#### 4.2 Project Description

This application proposes a mixed-use development with six commercial units fronting onto Rutland Road N, and 98 residential units above. The residential units consist of one bedroom (70 units) and two bedroom (28 units). Although it does not have the City's Residential Rental Only Tenure subzone, the applicant has expressed that it is intended to be a rental building, and the 20% parking bonus that the applicant could have utilized had they taken advantage of this subzone was not required, as on-site parking requirements are met. Parking is provided on-site through a combination of surface and underground stalls. Private open space is provided on balconies and a rooftop patio.

#### Form and Character

The building is eight storeys, with two levels of underground parking. East and West facing balconies on the residential floors above will act as shading devices with privacy screens and are modulated to reduce the visual impact of a long building. The exterior features brick podium cladding material and exterior LED lighting has been incorporated into the building façade. The six at-grade commercial units help create a friendly pedestrian scale.

#### 4.3 <u>Site Context</u>

The subject property is located on the east side of Rutland Road N to the north of Hwy 33E (directly north of the Starbucks). The site is designated as UC – Urban Centre as it is within the Rutland Urban Centre. The project site is located within walking distance of the Shepherd Road transit exchange and near multiple bus stops situated on both Rutland Rd and Hwy 33 E and the property fronts Rutland Road N in an area where it is designated as a Retail Street within the 2040 Official Community Plan. The Walkscore is 73, indicating it is very walkable and that most errands can be accomplished on foot.

Orientation	Zoning	Land Use
North	C4 – Urban Centre Commercial	Supportive Housing
East	RU1 — Large Lot Housing	Single Dwelling Housing
South	C4 – Urban Centre Commercial	Retail Businesses
West	C4 – Urban Centre Commercial	Retail Businesses
west	P1 – Major Institutional	Canada Post Depot

Specifically, adjacent land uses are as follows:

#### Subject Property Map: 155-179 Rutland Road N



#### 4.4 Zoning Analysis Table

	Zoning Analysis Table	
CRITERIA	C4 ZONE REQUIREMENTS	PROPOSAL
	Development Regulations	
Max. Floor Area Ratio	2.35 0	2.35
Max. Site Coverage	75 %	55 %
Max. Height	32.0 m / 8 storeys <b>0</b>	30.86 m / 8 storeys
Min. Front Yard (Rutland Rd N)	0.0 M	3.0 m
Min. Side Yard (north)	0.0 M	0.2 M
Min. Side Yard (south)	0.0 M	0.09 M
Min. Rear Yard (east)	6.o m	26.6 m
Building Stepback for portions of building above 16.0m on all sides	3.0 m	o.2 (north side) 2 > 3.0 m (east side) o.09 (south side) 2 > 3.0 m (west side)
	Other Regulations	
Min. Parking and Loading Requirements	115 stalls	115 stalls

Min. Bicycle Parking	11 Short term stalls 112 Long term stalls	11 Short term stalls 112 Long term stalls
Min. Private Open Space	1,120 M <sup>2</sup>	1, 120 M <sup>2</sup>
• Indicates the site-specific text amendment reg	ulations that were considered under TA21-001	7
2 Indicates a requested variance to Zoning Bylav	v Section 14.4.5(h)(i)	

#### 5.0 Current Development Policies

#### 5.1 Kelowna Official Community Plan (OCP)

Objective 4.1 Stren	ngthen the Urban Centres as Kelowna's primary hubs of activity.
Policy 4.1.6. High	Direct medium and high density residential development to Urban Centres to
Density	provide a greater mix of housing near employment and to maximize use of
Residential	existing and new infrastructure, services and amenities.
Development.	This medium density development is located within the Rutland Urban Centre, near
	the intersection of Rutland Rd N and Hwy 33 E.
	us new development in Rutland strategically to create a new high-density
business and reside	ential hub to support improved services and amenities.
Policy 4.7.2 Taller Rutland Buildings	<ul> <li>Prior to the development of a neighbourhood plan for the Rutland Urban Centre, and with due consideration of the objectives of Policy 4.7.1, consider support for development that is higher than the heights outlined in Map 4.7, where the proposal contains significant benefit to Kelowna citizens, including some or a combination of the following:</li> <li>An affordable, supportive and/or rental housing component that further advances Urban Centre housing objectives;</li> <li>A significant public amenity that supports the fostering of more inclusive and socially connected Urban Centres, such as parks, public spaces, schools, post-secondary institutions or childcare facilities;</li> <li>Offsite considerations, including enhanced streetscapes, provision of Active Transportation Corridors, tree canopy protection and enhancement, or green infrastructure within the road right of way;</li> <li>Smaller tower floorplates to mitigate the impact on views and shadowing; and/or</li> </ul>
	<ul> <li>Outstanding and extraordinary architectural design.</li> </ul>
	This eight-storey development is proposed to contain 98 rental units.
Objective 4.12. Inc. and complete Urba	rease the diversity of housing types and tenures to create inclusive, affordable
Policy 4.12.1.	Ensure a diverse mix of medium density and high density housing forms that
Diverse Housing	support a variety of households, income levels and life stages.
Forms.	This development would contain 98 rental units, comprised of one and two- bedrooms.

#### 6.o Technical Comments

#### 6.1 <u>Development Engineering Department</u>

See Attachment B: City of Kelowna Memorandum

#### 7.0 Application Chronology

Date of Application Accepted:October 1, 2021Date Public Consultation Completed:December 7, 2021Date of 2<sup>nd</sup> and 3<sup>rd</sup> Readings for Site-Specific Text Amendment:March 1, 2022

Report prepared by:	Kimberly Brunet, Planner II
Reviewed by:	Lydia Korolchuk, Urban Planning Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

#### Attachments:

Attachment A: Draft Development Permit and Development Variance Permit DP21-0223 DVP21-0224

Schedule A: Site Plan

Schedule B: Building Elevations and Floorplans

Schedule C: Landscape Plan

Attachment B: Development Engineering Memorandum

Attachment C: OCP Form and Character Development Permit Guidelines

#### Development Permit & Development Variance Permit DP21-0223 DVP21-0224

City of Kelowna

TACHMEN

This forms part of application # DP21-0223 DVP21-0224

Initials KB

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City of

This permit relates to land in the City of Kelowna municipally known as

#### 155-179 Rutland Rd N

and legally known as

Lot A Section 26 Township 26 Osoyoos Division Yale District Plan EPP117920

and permits the land to be used for the following development:

Mixed-use (residential and commercial)

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision	May 31, 2022
Decision By:	COUNCIL
Development Permit Area:	Form and Character Development Permit Area
Existing Zone:	C4 – Urban Centre Commercial
Future Land Use Designation:	UC – Urban Centre

#### This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

#### NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: ASI CENTRAL GP INC., INC.NO. A0117887

Applicant: Arlington Street Investments Inc.

Planner: K. Brunet

Terry Barton Community Planning Department Manager Planning & Development Services

Date



#### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

#### 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

#### Section 14.4.5(h)(i): C4 – Urban Centre Commercial Development Regulations

To vary the requirement for any portion of a building above 16.0 m or 4 storeys (whichever is lesser) in height to be setback a minimum of 3.0 m from all sides (required) to 0.2m on the north side and to 0.09m on the south side (proposed).

#### This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

#### 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit OR certified cheque in the amount of \$202,936.25

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

#### 5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

ATTACHMENT A This forms part of application # DP21-0223 DVP21-0224 City of Planner Initials KB EVELOWERT PLANNO

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.

### MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT



# **bfq** studio architects

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

formerly Besharat Friars Architects

600 - 355 Burrard Street Vancouver, BC V6C 2G8

Planner Initials KB

SCHEDULE

This forms part of application # DP21-0223 DVP21-0224

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City of **Kelowna** 

155-179 Rutland Road, Kelowna, B.C.



PROJECT / CONSULTA	ANT TEAM											
CLIENT ASI CENTRAL LP #400 - 1550 5 ST. SW CALGARY, AB T2R 1K3 TEL: 403.816.5680	ARCHITECT BFA STUDIO ARCHITECTS #600 - 355 BURRARD ST. VANCOUVER, BC V6C 2G8	INTERIOR DESIGN PORTICO DESIGN GROUP #300 - 1508 WEST 2ND AVE. VANCOUVER, BC V6J 1H2	LANDSCAPE ARCHITECT OUTLAND DESIGN LANDSCAPE ARCHITECTURE #303 - 500 KLO ROAD KELOWINA, BC VIY 752	LAND SURVEYOR RUNNALS DENBY 269A LAWRENCE AVENUE KELOWNA, B.C. V1Y 6L2	CODE CONSULTANT CELERITY ENGINEERING SERVICES LTD. #100 - 535 WEST 10TH AVE. VANCOUVER, BC V5Z 1K9	STRUCTURAL ENGINEERING GLOTMAN SIMPSON 1661 WEST STH AVENUE, VANCOUVER, BC V6J 1N5	MECHANICAL ENGINEERING REINBOLD ENGINEERING GROUP 301, 1664 RICHTER STREET, KELOWNA V1Y 8N3	ELECTRICAL ENGINEERING FALCON ENGINEERING LTD. #210-1715 DICKSON AVE. KELOWNA, BC V1Y 9G6	GEOTECHNICAL ENGINEER THURBER ENGINEERING #900 - 1281 WEST GEORGIA ST. VANCOUVER, BC V6E 3J7	CIVIL ENGINEERING ALPINE CONSULTANTS 1998 VERNON STREET, LUMBY BC V0E 2G0	ENERGY MODELING/ ENVELOPE ENTUITIVE 1075 W GEORGIA, SUITE 1510, VANCOUVER BC V6E 3C9	
604.841.8100	TEL: 604.662.8544	TEL: 604.662.8544	TEL: 250.868.9270	TEL: 250.763.7322	TEL: 778.646.0575	TEL: 604.734.8822	TEL: 250.763.1049	TEL: 250.470.8443	TEL: 604.684.4384	TEL: 250.870.6261	TEL: 403.604.1252	





AERIAL VIEW OF SITE FROM NORTH WEST WITH PROPOSED BUILDING



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SCHEDULE

This forms part of application # DP21-0223 DVP21-0224



21495 MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT 155-179 Rutland Road, Kelowna, B.C.

AERIAL VIEW



DATE 15/09/2021 DRAWN AZ CHECKED DA SCALE

														SCF	HEDUL	LE A
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																City of
														Planner Initials	KB	Kelov
BUILDING CODE STANDARD:	2018 BRITISH COLUMBIA BUILDIN	ING CODE		PROJECT INFORMATION / ZONING DATA											T	
PROPOSED BUILDING AREA:	1503 M2 APPROXIMATELY			PROJECT DESCRIPTION / USE		26 TOWNSHIP 26 OSO				O LEVEL OF UN	INDERGROUND PARKIN	.G			100	-
PROPOSED BUILDING AREA:	8 STOREYS			LEGAL DESCRIPTION CIVIC ADDRESS PRESENT		26 TOWNSHIP 26 OSO ID ROAD NORTH, KELC		= DISTRICT,	EPP11/620					+		F <mark>O</mark> stuc hitects
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1ST STOREY 2ND TO 8TH STOREY	UNITS RESIDENTIAL, DWELLING UNITS	s	1		NORTH		FT 192.62	M 58.7	+						Vancouver, BC Vi www.besharathia	rd Street T 604 662 8544 V6C 2G8 F 604 662 4060 liars.com info@besharaffriars.com
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	DIVISION 3 (STUMAGE GANAGE)	, GROUP D (BUSINESS AND	D PERSONAL SERVICE)		SOUTH		193.00	58.8	1						NO. DESCRIPTIC	ION
PROPOSED SUBSIDIARY OCCUPANCIES:	GROUP F, DIVISION 3 (STORAGE	E GARAGE)			WEST / RUTLAND		181.46	55.3	1							UED FOR DP 202
	GROUP F, DIVISION 2 (SERVICE I RESIDENTIAL STORAGE, GARBA	ROOMS, AGE ROOMS)	1	OCP / AREA DESIGN GUIDELINES ZONING & DEVELOPMENT PERMIT		IZATION DESIGN GUID	/ELINES								3 ISSUED	
EXTERIOR CLADDING:	EXTERIOR CLADDING MUST BE I		F TESTED TO CAN/ULC S134.	ZONING & DEVELOPMENT PERMIT	G4 - Uhbhin Gert.		ALLOWED		4		PROPOSED		NOTES			
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	3.2.2.23. GROUP A, DIVISION 2, A		·	SITE AREA	+	+	30,620	2845	·				REFER TO DETAILED	$\neg$		
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	3.2.2.55. GROUP D, ANY HEIGHT, 3.2.2.64. GROUP E, ANY HEIGHT,			SITE COVERAGE		75%	'		<u> </u>	55%	16,716	1,553				
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	ELEVATOR SHAFT ELEVATOR MACHINE ROOM SERVICE ROOM WATER ENTRY ROOM ELECTRICAL CLOSETS VERTICAL SERVICE SHAFTS	NO REQUIREMENT	ALCONTERPORTIONS OF EACH ADJACENT STOREY REMAINDER OF THE BUILDING REMAINDER OF THE BUILDING IFED BEFORTON ING IFED BEFORTON ING LEVATOR HOIST WAY AND THE MACHINE ROOM THAT SERVES IT) IF FUEL FIRED APPLIANCE AND NO EXCEPTIONS UNDER 3.8.2.1. ARE APPLICABLE. RECOMMEND 1.5H IF LOCATED IN STORAGE GARAGE ALL OTHER PORTIONS OF EACH ADJACENT STOREY		M	87 - 2 3/4" (26.59 m)			23	35	PROPOSED FAR				REN 155 DRAWING TITLE PROJE	ENTAL RESIDENTIA DEVELOPMENT 55-179 Rutland Road Kelowna, B.C.
	ELEVATOR SHAFT ELEVATOR MACHINE ROOM SERVICE ROOM WATER ENTRY ROOM ELECTRICAL CLOSETS VERTICAL SERVICE SHAFTS EMERGENCY CONDUCTORS [NO OTHER SERVICES]	NO REQUIREMENT 1H 1H SERVICE SPACE	ALL OTHER PORTIONS OF EACH ADJACENT STOREY ALL OTHER PORTIONS OF EACH ADJACENT STOREY REMANDER OF THE BUILDING (FIRE SEPARATION NOT FROM THAT SERVES IT) FORT WAY AND THE MACHINE ROOM THAT SERVES IT) IF FUEL FIRE APPLANCE AND NO EXCEPTIONS UNDER 3.8.2.1. ARE APPLICABLE. RECOMMEND 1.5H IF LOCATED IN STORAGE GARAGE ALL OTHER PORTIONS OF EACH ADJACENT STOREY OR CANULC S139 RATED CABLES.		M	87 - 2 3/4" (26.59 m)		AVER	2.3	35	PROPOSED FAR				REN 155 DRAWING TITLE PROJE	ENTAL RESIDENTIA DEVELOPMENT 55-179 Rutland Road Kelowna, B.C.
	ELEVATOR SHAFT ELEVATOR MACHINE ROOM SERVICE ROOM WATER ENTRY ROOM ELECTRICAL CLOSETS VERTICAL SERVICE SHAFTS EMERGENCY CONDUCTORS	NO REQUIREMENT	ALCONTERPORTIONS OF EACH ADJACENT STOREY REMAINDER OF THE BUILDING ALL OTHER PORTIONS OF EACH ADJACENT STOREY REMAINDER OF THE BUIDING IFEURE DREAT OF THE BUIDING IFEURE DREAT OF THE BUIDING IFEURE TREAT OF THE BUIDING IF PUEL FIRED AD THE MACHINE ROOM THAT SERVES IT) IF FUEL FIRED APPLIANCE AND NO EXCEPTIONS UNDER 3.8.2.1. ARE APPLICABLE RECOMMEND 1.5H IF LOCATED IN STORAGE GARAGE ADJACENT STOREY OR CANUL S139 RATED CABLES. ADJACENT STOREY OR CANUL S139 RATED CABLES.		M	87 - 2 3/4" (26.59 m)		AVER	2.3 RAGE GRADE ALCULATION	35	PROPOSED FAR				REN 155 DRAWING TITLE PROJE	ENTAL RESIDENTIA DEVELOPMENT 55-179 Rutland Road Kelowna, B.C.
	ELEVATOR SHAFT ELEVATOR MACHINE ROOM SERVICE ROOM WATER ENTRY ROOM ELECTRICAL CLOSETS VERTICAL SERVICE SHAFTS EMERGENCY COMDUCTORS (NO OTHER SERVICES)	NO REQUIREMENT 1H 1H SERVICE SPACE	ALLOTHER PORTIONS OF EACH ALLOTHER PORTIONS OF EACH ADMCENT STOREY REMANDER OF THE BUILDING PRESERVATION NOT REQUIRED BETWEEN LEVATOR HOIST WAY AND THE MACHINE NOST WAY CARACEL ALLOTHER RORTIONS OF EACH ADMCENT STOREY OR CANULC S139 RATED CABLES.		M	87 - 2 3/4" (26.59 m)		AVER C2 (1369.00	2.3 RAGE GRADE ALCULATION 0' + 1369.00' +	35					REN 155 DRAWING TITLE PROJE	ENTAL RESIDENTIA DEVELOPMENT 55-179 Rutland Road Kelowna, B.C.
	ELEVATOR SHAFT ELEVATOR MACHINE ROOM SERVICE ROOM WATER ENTRY ROOM ELECTRICAL CLOSETS VERTICAL SERVICE SHAFTS EMERGENCY COMDUCTORS (NO OTHER SERVICES)	NO REQUIREMENT 1H 1H SERVICE SPACE	REQUIREMENTS. REMAINDER OF THE BUILDING ALL OTHER STOTEONS OF EACH ADMCENT STOTEON REMAINDER OF THE BUILDING FREMINER OF THE BUILDING RECOMMEND THE MACHINE ROOM THAT SERVES IT) IF FUEL FIRED APPLIANCE AND NO EXCEPTIONS UNDER 3.8.2.1. ARE APPLICABLE RECOMMEND 1.5H FLOCATED IN STORMES GARAGE ALL OTHER PORTIONS OF EACH ADJACENT STOREY ALL OTHER PORTIONS OF EACH ADJACENT STOREY ALL OTHER PORTIONS OF EACH ADJACENT STOREY ALL OTHER PORTIONS OF EACH ADJACENT STOREY MAY BE LOCATED IN THE WATER ENTRY ROOM REFER TO BG APPEAL DECISION FIDG (FORMER INTERPRETATION)		M	87 - 2 3/4" (26.59 m)		AVER CA (1369.00 1369.25	2.3 RAGE GRADE ALCULATION 0' + 1369.00' + 5' + 1369.25' +	35	PROPOSED FAR				REN 155 DRAWING TITLE PROJE	ENTAL RESIDENTIA DEVELOPMENT 55-179 Rutland Road Kelowna, B.C.
	ELEVATOR SHAFT ELEVATOR MACHINE ROOM SERVICE ROOM WATER ENTRY ROOM ELECTRICAL CLOSETS VERTICAL SERVICE SHAFTS EMERGENCY COMDUCTORS (NO OTHER SERVICES)	NO REQUIREMENT 1H 1H SERVICE SPACE	REQUIREMENTS. REMAINDER OF THE BUILDING ALL OTHER PORTIONS OF EACH ADJACENT STOREY REMAINDER OF THE BUILDING (FE) SEPARATION NOT FE) SEPARATION NOT FE) SEPARATION NOT FUEL THER DATE MACHINE ROOM THAT SERVES IT) IF FUEL THER APPLANCE AND NO EXCEPTIONS UNDER 3.8.2.1. ARE APPLICABLE. RECOMMEND 1.5H IF LICCATED IN STORAGE GARAGE ALL OTHER PORTIONS OF EACH ADJACENT STOREY ALL OTHER PORTIONS OF EACH PORMER INTERPRETATION RECARED IS SEPARATE EXTERIOR ACCESS NOT MAY BE LOCATED IN THE WATER ENTRY ROCH REFER TO BE SEPARATE EXTERNOR ACCESS NOT		M	87 - 2 34" (26.59 m)	Site coverage	AVER CA (1369.00 1369.25 1369.25 E 1369.83	2.3 RAGE GRADE ALCULATION 0' + 1369.00' + 5' + 1369.25' + 5' + 1369.25' + 5' + 1369.25' + 5' + 1369.75' +	BERT BERT					REN 155 DRAWING TITLE PROJE	ENTAL RESIDENTIA DEVELOPMENT 55-179 Rutland Road Kelowna, B.C.
	ELEVATOR SHAFT ELEVATOR MACHINE ROOM SERVICE ROOM WATER ENTRY ROOM ELECTRICAL CLOSETS VERTICAL SERVICE SHAFTS EMERGENCY COMDUCTORS (NO OTHER SERVICES)	NO REQUIREMENT 1H 1H SERVICE SPACE	ALLOTHER PORTIONS OF EACH ALLOTHER PORTIONS OF EACH ADMCENT STOREY REMANDER OF THE BUILDING PRESERVENTION NOT REQUIRED BETWEEN LEVATOR HOUST WAY AND THE MACHINE NOUTH WAY AND THE MACHINE NOUTH WAY AND THE MACHINE NOT WAY AND THE MACHINE ALL OTHER PORTIONS OF EACH ALL OTHER PORTIONS OF EACH ALLOTHER PORTIONS OF EACH ENTRING ACCESS NOT REQUIRED. DESEL FIRE PUMPS REFORMED TO PER A		M	87 - 2 34" (26.59 m)		AVER CA (1369.00 1369.25 1369.25 1369.25 1369.25 1369.23 N 1370.42	2.3 RAGE GRADE ALCULATION 0'+ 1369.25'+ 5'+ 1369.25'+ 5'+ 1369.25'+ 5'+ 1369.23+ 3'+ 1370.75'+ 2'+ 1370.08'+	and a second sec					REI 150 December 1992	NTAL RESIDENTIA DEVELOPMENT 55-179 Rutland Road Kelowna, B.C.
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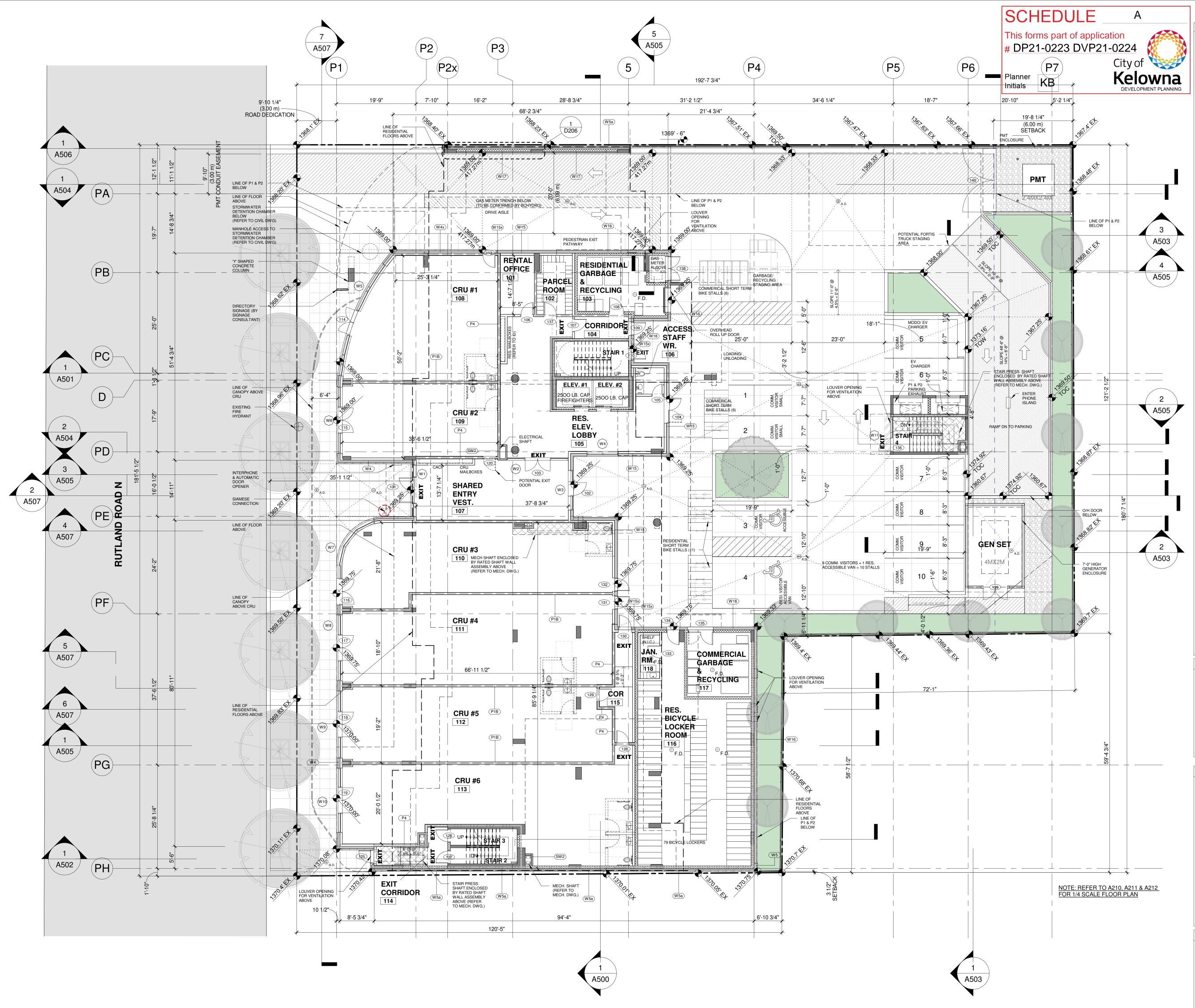
SCHEDULE

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							Planner Initials <b>k</b>
		OFF STREET PA	RKING SUMMARY				
		off officer is	NO. OF UNITS / AREA				
ТҮРЕ	BYLAW REQUIREMENT (Section 8)	RATE / RATIO	(SM)	REQUIRED	PROVIDED	NOTES	
RESIDENTIAL							
					N/A	MINIMUM REQUIRED RATE USED FOR CALCULATION	1S
1 BEDROOM	MIN 0.8 SPACES & MAX 1.25 SPACES PER UNIT MIN 0.9 SPACES & MAX 1.25 SPACES PER UNIT	0.8	70	63			_
2 OR MORE BEDROOM	MIN 1 SPACES & MAX 1.25 SPACES PER UNIT	1	28	28	91		-
VISITOR STALLS	MIN 0.14 SPACES & MAX 0.2 SPACES PER UNIT	0.14	98	14	14		
TOTAL				105	105		
COMMERCIAL							
COMMERCIAL USES IN THE C4 ZONE	MIN 1.3 SPACES & MAX 3.0 SPACES PER 100 M <sup>2</sup> GFA	1.3	713	9.3	10		
		1.5	/10	5.5	10		_
							-
PARKING SPACES REQUIRED FOR COMM	ERCIAL RELATED LAND USES CAN BE SHARED WITH THE RE	SIDENTIAL VISITOR PAR	RKING. (8.2.17)				
GRAND TOTAL (RESIDENTIAL AND COMM	ERCIAL)			115	115		
STALL TYPE							-
STALL TYPE STANDARD					61		
SMALL CAR	MAXIMUM PARKING SPACES 50%	50%		58	24		
ACCESSIBLE	4 FOR 101 – 150 PARKING SPACES			4	4		
VAN-ACCESSIBLE	1 FOR 101 – 150 PARKING SPACES		+	1	2		
VISITORS (RESIDENTIAL)	TOTAL REQUIRED = 13 - 1 DISABILITY STALL AT LEAST ONE, IF VISITOR PARKING IS REQ.			12	13	10 SMALL CARS	_
VISITOR DISABILITY (RESIDENTIAL) VISITORS (COMMERCIAL)	TOTAL REQUIRED = 10 - 1 DISABILITY STALL			9	9	1 VAN-ACCESSIBLE STALL 3 SMALL CARS, 1 MODO CAR SHARE STALL	_
VISITOR DISABILITY (COMMERCIAL)	AT LEAST ONE, IF VISITOR PARKING IS REQ.			1	1	S SWALL CARS, T MODO CAR SHARE STALL	
TOTAL					115	P2 - 56 STALLS, P1 - 49 STALLS, L1 - 10 STALLS	_
OFF STREET LOADING SUMMARY ALL COMMERCIAL USES	1 PER 1,900 MF GFA	1	713	0	1	ANY FRACTION LESS THAN ONE-HALF (0.5) ROUN DOWN TO THE NEAREST WHOLE INTEGER (INCLUE ZERO);	DS DING
OFF STREET BICYCLE PARKING		RESID	DENTIAL				
REQUIRED LONG TERM (SECURED)							
1 BEDROOM 2 BEDROOM	1 SPACE PER UNIT 1.5 SPACE PER UNIT	1.5	70 28	70 42	49 63		-
TOTAL	1.5 SPAGE PER UNIT	1.0	20	112	112	PROVIDED ON LEVEL 1 & P1	-
		REQUIRED	SHORT TERM				
6 PER ENTRANCE, PLUS FOR BUILDINGS V ADDITIONAL 5 UNITS	WITH GREATER THAN 70 UNITS: 1 SPACE FOR EVERY		1	1	11		
COMMERCIAL REQUIRED LONG TERM (SECURED)							
ALL COMMERCIAL USES	1 SPACES PER 500 M <sup>2</sup> OF GFA	1	713 2		2		
			SHORT TERM				
2 PER ENTRANCE OR 1 SPACE PER 750M2	OF GEA (WHICHEVER IS GREATER)	2	713 1	2	12		

AZ OHEOKED DA

DATE 15/09/2021 SCALE



#### GENERAL NOTES

5.

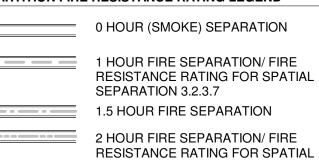
6.

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14.

REFER TO OWNER SUPPLIED SITE SURVEY.

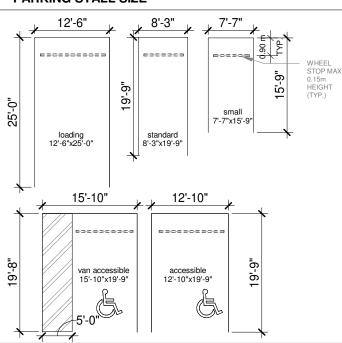
- REFER TO GEOTECHNICAL REPORT.
- NOTE: NEIGHBORING BUILDING FOOTPRINT & PROPERTY LINES ARE APPROXIMATE. TO BE CONFIRMED BY SURVEYOR.
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
- REFER TO CIVIL DRAWINGS FOR SITE DRAINAGE AND GRADING INFORMATION
- REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS
- DIMENSIONS TO EXTERIOR WALLS ARE SHOWN MEASURED TO EXTERIOR FACE OF SHEATHING OR OF MASONRY/ CONCRETE UNLESS NOTES OTHERWISE. INTERIOR DIMENSIONS ARE MEASURED TO FACE OF WALL STUDS OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
- WALL ASSEMBLIES WHICH ARE FIRE SEPARATIONS SHALL BE CONTINUOUS AND INTEGRAL BEHIND THE ENDS OF ABUTTING NON-RATED PARTITIONS AND BEHIND STAIRWAYS, MILLWORK, FURRED-OUT NON-RATED CHASES (MANIFOLD LOCATIONS) AND, MISCELLANEOUS FIXTURES SUCH AS BATHTUBS & SHOWERS.
- FIRE-RATED WALL ASSEMBLIES SHALL BE CONTINUOUS AND INTEGRAL TO UNDERSIDE OF FIRE-RATED FLOOR ASSEMBLIES, NOTWITHSTANDING ANY INTERVENING INTERSTITIAL CEILING SPACES.
- 10. WATER-RESISTANT GYPSUM BOARD OR TILE-BACKER BOARD SHALL BE INSTALLED IN THE PARTITIONS SURROUNDING SHOWERS AND BATHTUBS; THE CORRESPONDING PARTITION STUDS SHALL BE SPACED AT MAX. 16" O.C.
- 11. EVERY DUCT, PIPE, ELECTRICAL ITEM OR OTHER, SIMILAR SERVICE EQUIPMENT THAT WHOLLY OR PARTIALLY PENETRATED A REQUIRED FIRE SEPARATION SHALL BE NON-COMBUSTIBLE, EXCEPT AS SPECIFICALLY PERMITTED BY B.C. BUILDING CODE AND SUBJECT TO APPROVED LISTED FIRE-STOPPING SYSTEM.
- 12. WHERE ELECTRICAL RECEPTACLES & SWITCHES ARE LOCATED ON BOTH SIDES OF A REQUIRED FIRE SEPARATION, THEY SHALL BE OFFSET IN SEPARATE STUD SPACES; I.E. DO NOT PLACE THEM BACK-TO-BACK.
- 13. GUARDS SHALL CONFORM TO REQUIREMENTS OF BCBC 4.1.5.14. BUILDER SHALL PROVIDE SHOP DRAWINGS, SIGNED AND SEALED BY A P.ENG REGISTERED IN BRITISH COLUMBIA, CERTIFYING COMPLIANCE.
- CRU LAYOUTS ARE SCHEMATIC ONLY. DASHED LINES INDICATE POTENTIAL FUTURE TENANT IMPROVEMENTS REQUIRING FUTURE SEPARATE PERMITS.
- 15. REFER TO STRUCTURAL FOR CONTROL JOINTS AND SAW CUTS
- 16. ALL PARKING STALLS/ LINES/ ARROWS/ SIGNAGE HATCHING TO BE PAINTED.
- 17. ROOF ANCHOR SUPPLIER TO PROVIDE SUBMITTALS FOR DESIGN & INSTALLATION
- 18. SIGNAGE DWG TO BE PREPARED BY CLIENT SIGNAGE COMPANY, & SUBMITTED AS SEPARATE PERMIT.
- 19. REFER TO ID DWGS FOR ALL INTERIOR DETAILS AND FINISHES
- 20. CLEAR SEALER TO BE APPLIED TO ALL EXPOSED CONCRETE ELEMENTS, MOCK UP REQUIRED PRIOR TO FINAL APPROVAL.
- PARTITION FIRE RESISTANCE RATING LEGEND



 SEPARATION 3.2.3.7

 2 HOUR RATED SHAFT ASSEMBLY

#### PARKING STALL SIZE



#### PARKADE NOTES

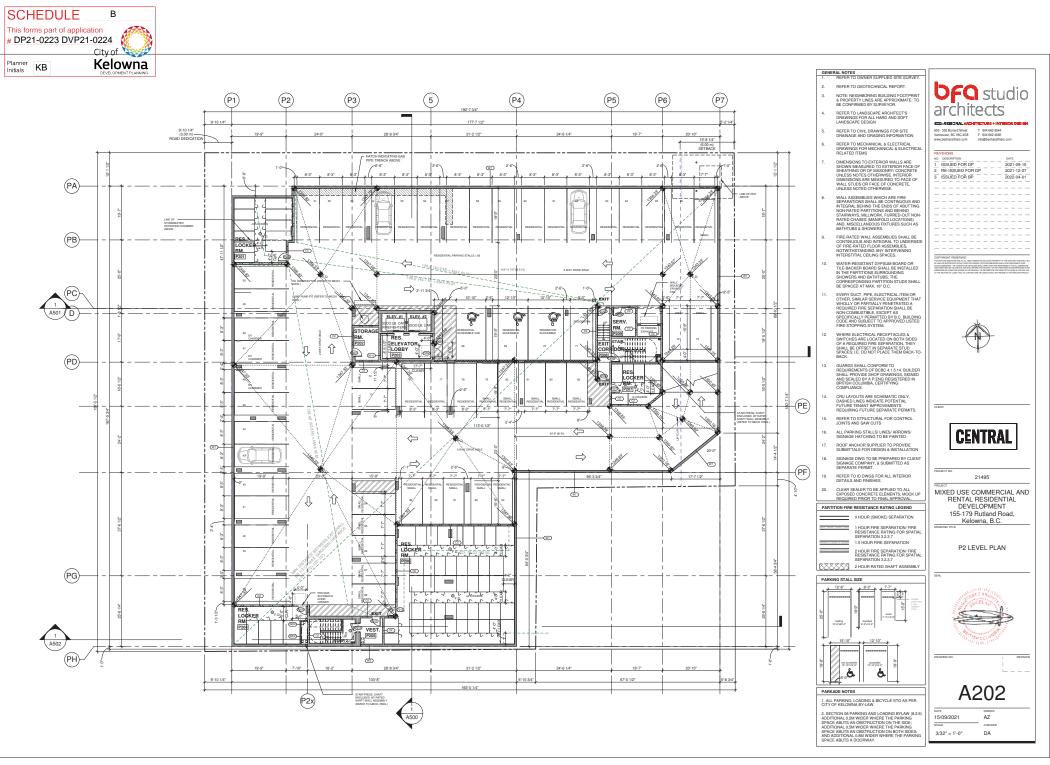
1. ALL PARKING, LOADING & BICYCLE STG AS PER CITY OF KELOWNA BY-LAW

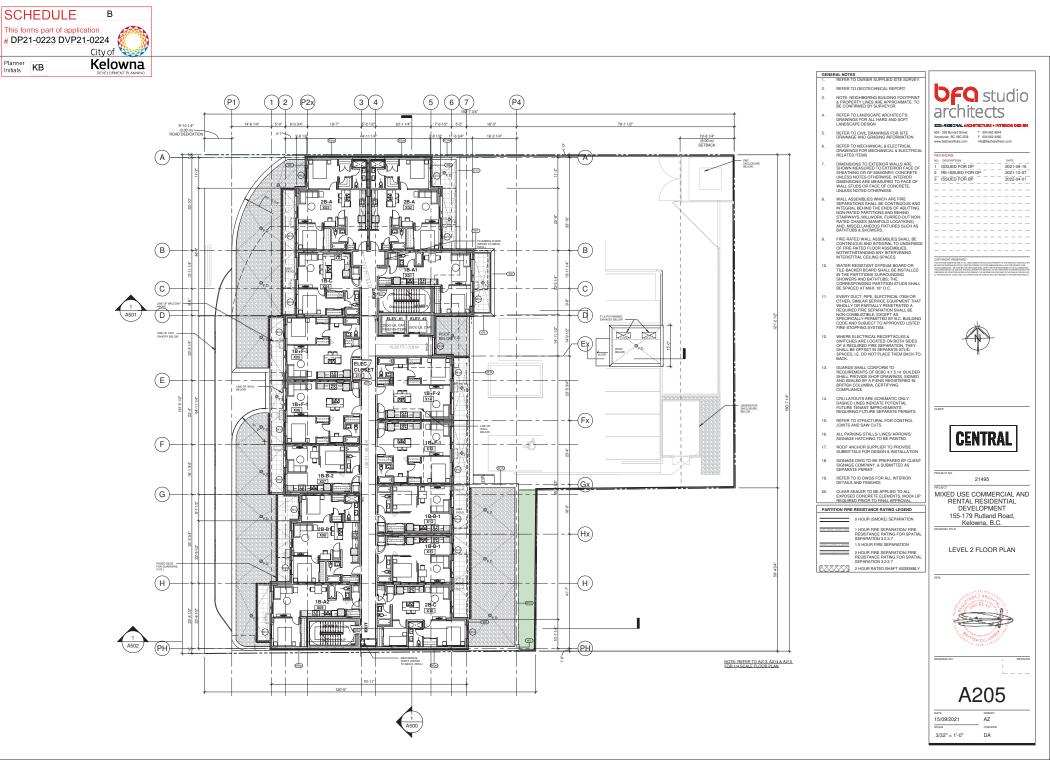
2. SECTION 08 PARKING AND LOADING BYLAW (8.2.9) ADDITIONAL 0.2M WIDER WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON THE SIDE; ADDITIONAL 0.5M WIDER WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON BOTH SIDES; AND ADDITIONAL 0.8M WIDER WHERE THE PARKING SPACE ABUTS A DOORWAY.

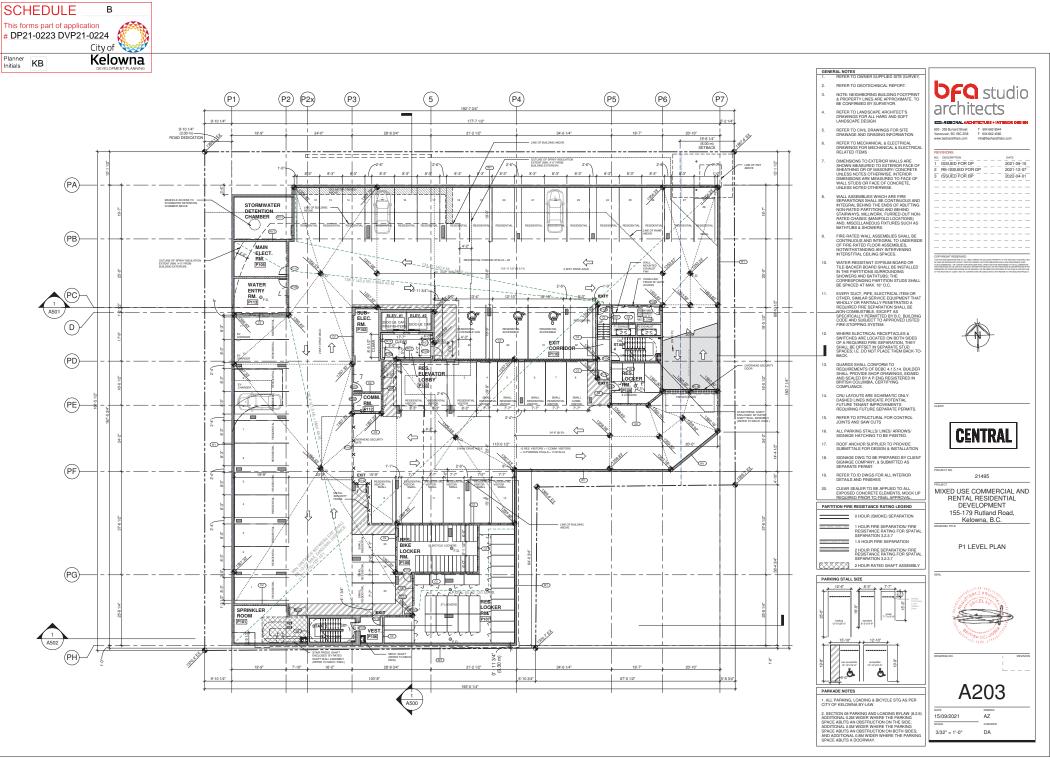
3/32" = 1'-0"

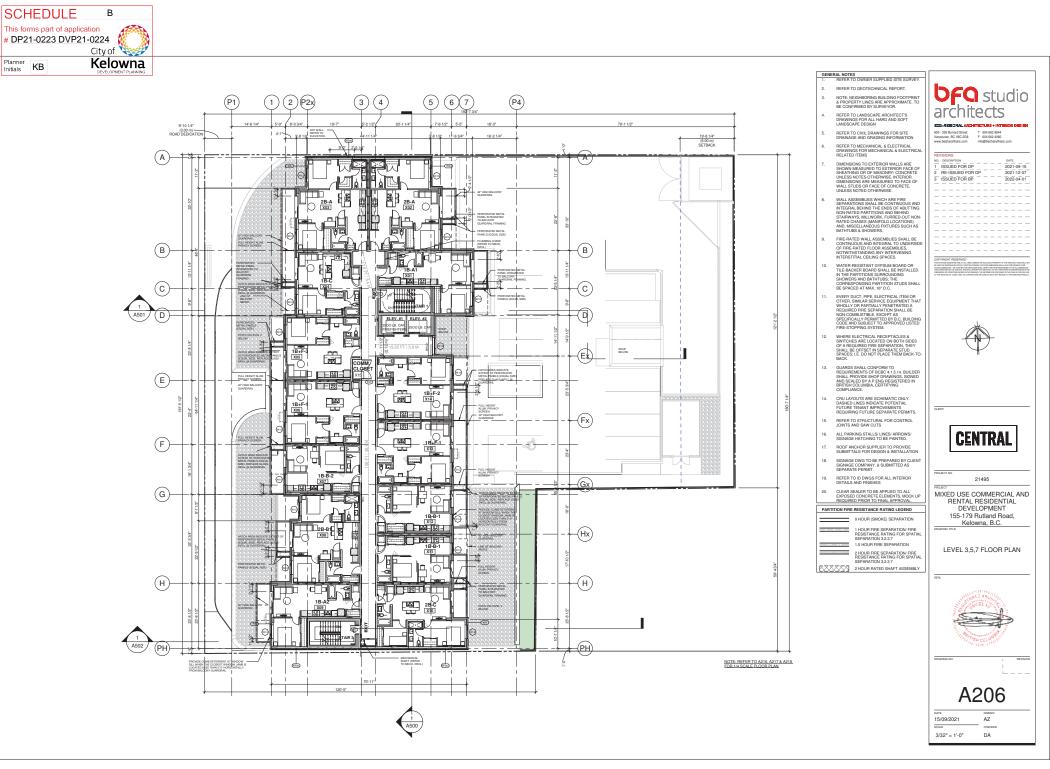
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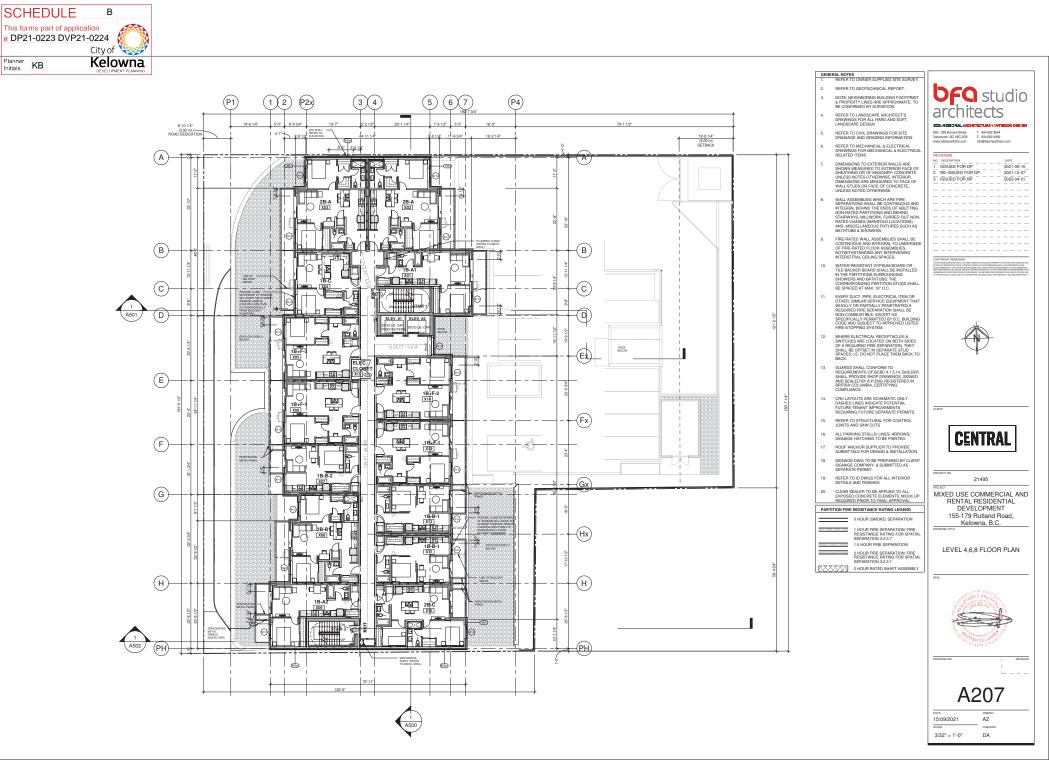
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REVISIONS         NO.       DESCRIPTION       DATE         1       ISSUED FOR DP       2021-09-15         2       RE-ISSUED FOR DP       2021-12-07         3       ISSUED FOR BP       2022-04-01         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -         -       -       -       -       -         -       -       -       -       -         -       -       -       -       -
COPYRIGHT RESERVED THIS PLAN AND DESIGN ARE AND, AT ALL TIMES, REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITEN CONSENT. NOTATED DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR OR BUILDER SHALL VERIEY AND TAKE RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE, AND SHALL INFORM THE ARCHITECT OF ANY VARIATIONS OR DISCREPANCES IN THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWING. THE INFORMATION CONTAINED ON THIS PLAN IS FOR SOLE USE OF THE ARCHITECT'S CLIENT AND HIS CONTRACTORS OR CONSULTANTS, WITH REGARD TO THE INDICATED PROJECT.
CLIENT
CENTRAL
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PROJECT NO. 21495 PROJECT MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT 155-179 Rutland Road, Kelowna, B.C.
PROJECT NO. 21495 PROJECT <b>MIXED USE COMMERCIAL AND</b> <b>DEVELOPMENT</b> 155-179 Rutland Road, Kelowna, B.C. DRAWING TITLE

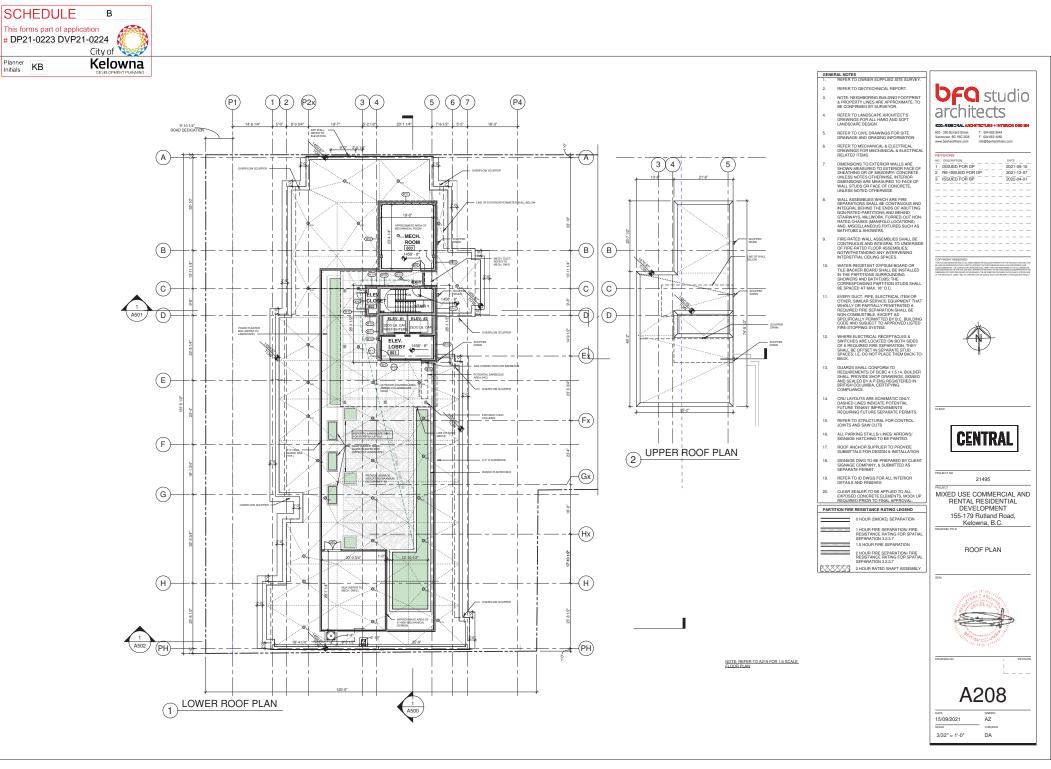








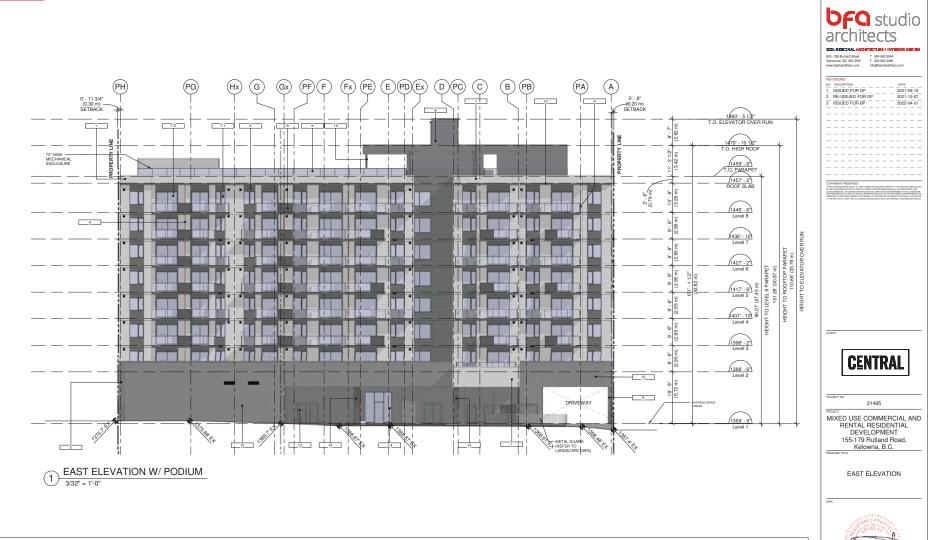






						Care and
ELEVATION KEYNOTE LEGEND						
ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	3 3 148
1 CEMENTITIOUS LAP SIDING (7" WIDE)	COLOUR: TO MATCH HARDIEPLANK 'ARCTIC WHITE' OR SIMILAR FINISH: SMOOTH	7.3 ALUMINUM CURTAIN WALL W/ OPAQUE SPANDREL GLASS	FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: CHALK WHITE	15 EIFS WITH STUCCO FINISH COAT	COLOUR: TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'	Contraction of the second s
2.1 CEMENTITIOUS CLADDING PANEL (2 TONE)	COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & 'STABLE GRAY' OR SIMILAR; FINISH: SMOOTH	7.4 ALUMINUM CURTAIN WALL W/ DOUBLE GLAZING	FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: LOW-E CLEAR			101100
2.2 CEMENTITIOUS CLADDING PANEL (2 TONE)	COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & LUX PANEL 'COPPER WAVE' OR SIMILAR; FINISH: SMOOTH	8 ALUMINUM FRAME GUARD W/ PERFORATED METAL	FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR PANEL: PERFORATED ALUMINUM PANEL, MEDIUM GREY			DRAWING NO.
3 CEMENTITIOUS CLADDING PANEL	COLOUR: TO MATCH HARDIEPLANK 'IRON GRAY OR SIMILAR FINISH: SMOOTH	9 ALUMINUM FRAME GUARD W/ SAFETY GLASS	FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR GLASS: TEMPERED, CLEAR			
4 ALUMINUM FRAME PRIVACY SCREEN	FRAME: TO MATCH COPPER WAVE BY LUX PANEL PANEL: TO MATCH COPPER WAVE BY LUX PANEL (6" WIDE)	10 METAL CANOPY WITH STEEL FRAME	FASCIA: ALUMINUM PANEL (COLOR TO MATCH CURTAIN WALL FRAME) SOFFIT: WOOD SLAT (FIR), 2* WIDE			A 404
5 STANDARD FACE BRICK (2 TONE)	COLOUR: TO MATCH MUTUAL MATERIALS 'COAL CREEK' & 'DESERT WHITE' OR SIMILAR, PATTERN: 1/3 RUNNING BOND	11 ALUMINUM OVERHEAD GARAGE DOOR	BLACK			A401
6 METAL CLADDING PANEL	COLOUR: TO MATCH VICWEST PAINT COLOUR – SIGNATURE (WESTERN) CHARCOAL 56072 (22GA) OR SIMILAR	12 PAINTED METAL DOOR	TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'			DATE DRAWN
7.1 VINYL WINDOW W/ DOUBLE GLAZING	FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	13 EXPOSED CONCRETE WITH CLEAR SEALER				15/09/2021 AZ
7.2 VINYL BALCONY DOOR W/ DOUBLE GLAZING	FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	14 MECHANICAL ENCLOSURE/ LOUVERS	FRAME: TO MATCH ADJACENT FINISHES			DA



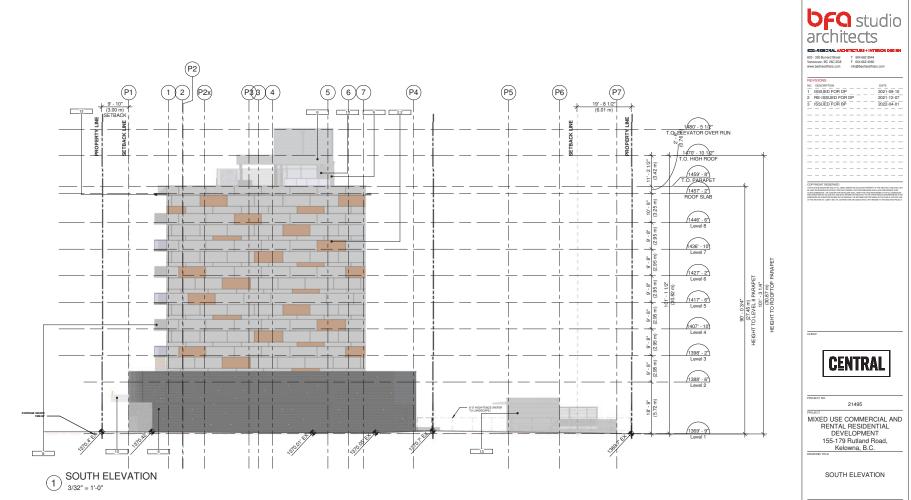


ELEVATION KEYNOTE LEGEND						
ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	
1 CEMENTITIOUS LAP SIDING (7" WIDE)	COLOUR: TO MATCH HARDIEPLANK 'ARCTIC WHITE' OR SIMILAR FINISH: SMOOTH	7.3 ALUMINUM CURTAIN WALL W/ OPAQUE SPANDREL GLASS	FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: CHALK WHITE	15 EIFS WITH STUCCO FINISH COAT	COLOUR: TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'	8
2.1 CEMENTITIOUS CLADDING PANEL (2 TONE)	COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & 'STABLE GRAY' OR SIMILAR; FINISH: SMOOTH	7.4 ALUMINUM CURTAIN WALL W/ DOUBLE GLAZING	FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: LOW-E CLEAR			
2.2 CEMENTITIOUS CLADDING PANEL (2 TONE)	COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & LUX PANEL 'COPPER WAVE' OR SIMILAR; FINISH: SMOOTH	8 ALUMINUM FRAME GUARD W/ PERFORATED METAL	FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR PANEL: PERFORATED ALUMINUM PANEL, MEDIUM GREY			DRAWING NO.
3 CEMENTITIOUS CLADDING PANEL	COLOUR: TO MATCH HARDIEPLANK 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	9 ALUMINUM FRAME GUARD W/ SAFETY GLASS	FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR GLASS: TEMPERED, CLEAR			
4 ALUMINUM FRAME PRIVACY SCREEN	FRAME: TO MATCH COPPER WAVE BY LUX PANEL PANEL: TO MATCH COPPER WAVE BY LUX PANEL (6" WIDE)	10 METAL CANOPY WITH STEEL FRAME	FASCIA: ALUMINUM PANEL (COLOR TO MATCH CURTAIN WALL FRAME) SOFFIT: WOOD SLAT (FIR), 2" WIDE			
5 STANDARD FACE BRICK (2 TONE)	COLOUR: TO MATCH MUTUAL MATERIALS 'COAL CREEK' & 'DESERT WHITE' OR SIMILAR, PATTERN: 1/3 RUNNING BOND	11 ALUMINUM OVERHEAD GARAGE DOOR	BLACK			
6 METAL CLADDING PANEL	COLOUR: TO MATCH VICWEST PAINT COLOUR – SIGNATURE (WESTERN) CHARCOAL 56072 (22GA) OR SIMILAR	12 PAINTED METAL DOOR	TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'			DATE
7.1 VINYL WINDOW W/ DOUBLE GLAZING	FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	13 EXPOSED CONCRETE WITH CLEAR SEALER				15/09/2021
7.2 VINYL BALCONY DOOR W/ DOUBLE GLAZING	FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	14 MECHANICAL ENCLOSURE/ LOUVERS	FRAME: TO MATCH ADJACENT FINISHES			and the

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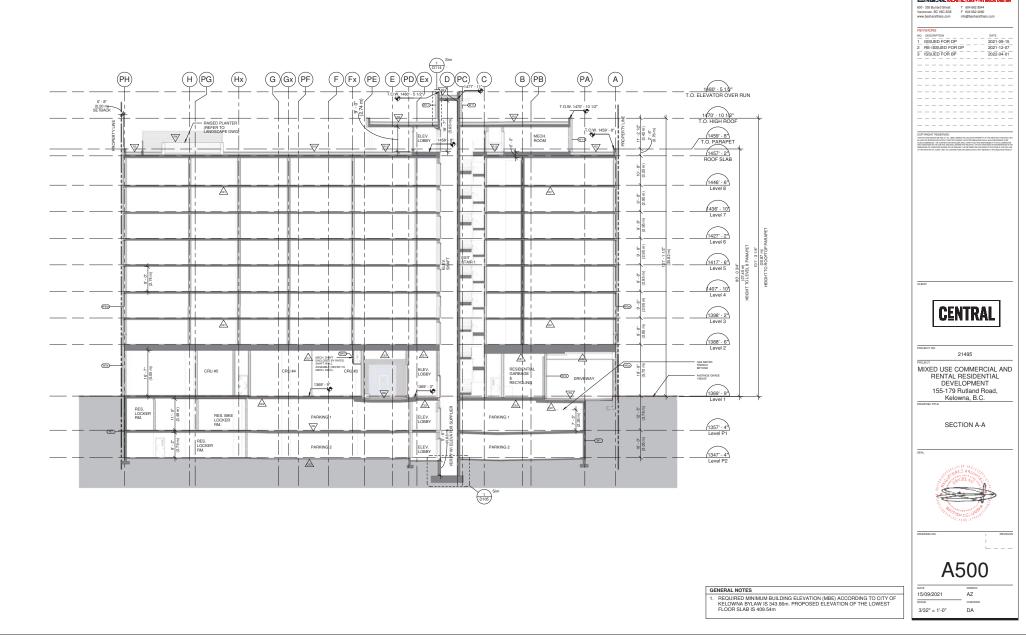


ELEVATION KEYNOTE LEGEND						
ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	
1 CEMENTITIOUS LAP SIDING (7" WIDE)	COLOUR: TO MATCH HARDIEPLANK 'ARCTIC WHITE' OR SIMILAR FINISH: SMOOTH	7.3 ALUMINUM CURTAIN WALL W/ OPAQUE SPANDREL GLASS	FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: CHALK WHITE	15 EIFS WITH STUCCO FINISH COAT	COLOUR: TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'	A BE CONTRACT
2.1 CEMENTITIOUS CLADDING PANEL (2 TONE)	COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & 'STABLE GRAY' OR SIMILAR; FINISH: SMOOTH	7.4 ALUMINUM CURTAIN WALL W/ DOUBLE GLAZING	FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: LOW-E CLEAR			source.
2.2 CEMENTITIOUS CLADDING PANEL (2 TONE)	COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & LUX PANEL 'COPPER WAVE' OR SIMILAR; FINISH: SMOOTH	8 ALUMINUM FRAME GUARD W/ PERFORATED METAL	FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR PANEL: PERFORATED ALUMINUM PANEL, MEDIUM GREY			DRAWING ND.
3 CEMENTITIOUS CLADDING PANEL	COLOUR: TO MATCH HARDIEPLANK 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	9 ALUMINUM FRAME GUARD W/ SAFETY GLASS	FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR GLASS: TEMPERED, CLEAR			
4 ALUMINUM FRAME PRIVACY SCREEN	FRAME: TO MATCH COPPER WAVE BY LUX PANEL PANEL: TO MATCH COPPER WAVE BY LUX PANEL (6" WIDE)	10 METAL CANOPY WITH STEEL FRAME	FASCIA: ALUMINUM PANEL (COLOR TO MATCH CURTAIN WALL FRAME) SOFFIT: WOOD SLAT (FIR), 2" WIDE			A 400
5 STANDARD FACE BRICK (2 TONE)	COLOUR: TO MATCH MUTUAL MATERIALS 'COAL CREEK' & 'DESERT WHITE' OR SIMILAR, PATTERN: 1/3 RUNNING BOND	11 ALUMINUM OVERHEAD GARAGE DOOR	BLACK			A403
6 METAL CLADDING PANEL	COLOUR: TO MATCH VICWEST PAINT COLOUR – SIGNATURE (WESTERN) CHARCOAL 56072 (22GA) OR SIMILAR	12 PAINTED METAL DOOR	TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'			DATE DRAWN
7.1 VINYL WINDOW W/ DOUBLE GLAZING	FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	13 EXPOSED CONCRETE WITH CLEAR SEALER				15/09/2021 AZ
7.2 VINYL BALCONY DOOR W/ DOUBLE GLAZING	FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	14 MECHANICAL ENCLOSURE/ LOUVERS	FRAME: TO MATCH ADJACENT FINISHES			DA

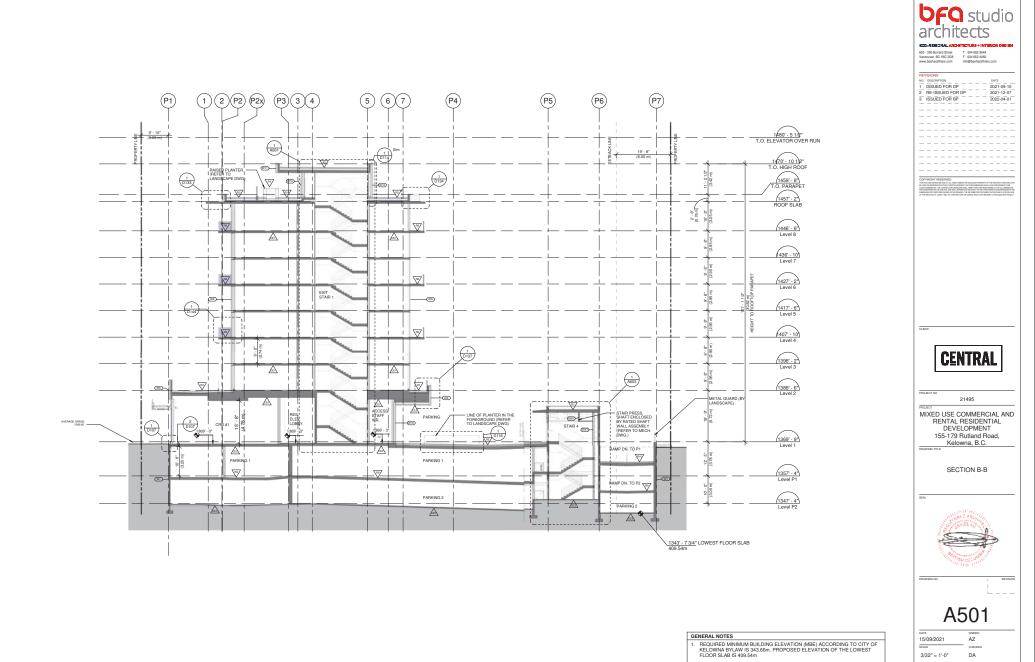
SCHEDULE	В
This forms part of appl	
# DP21-0223 DVP	City of
Planner Initials KB	Kelowna

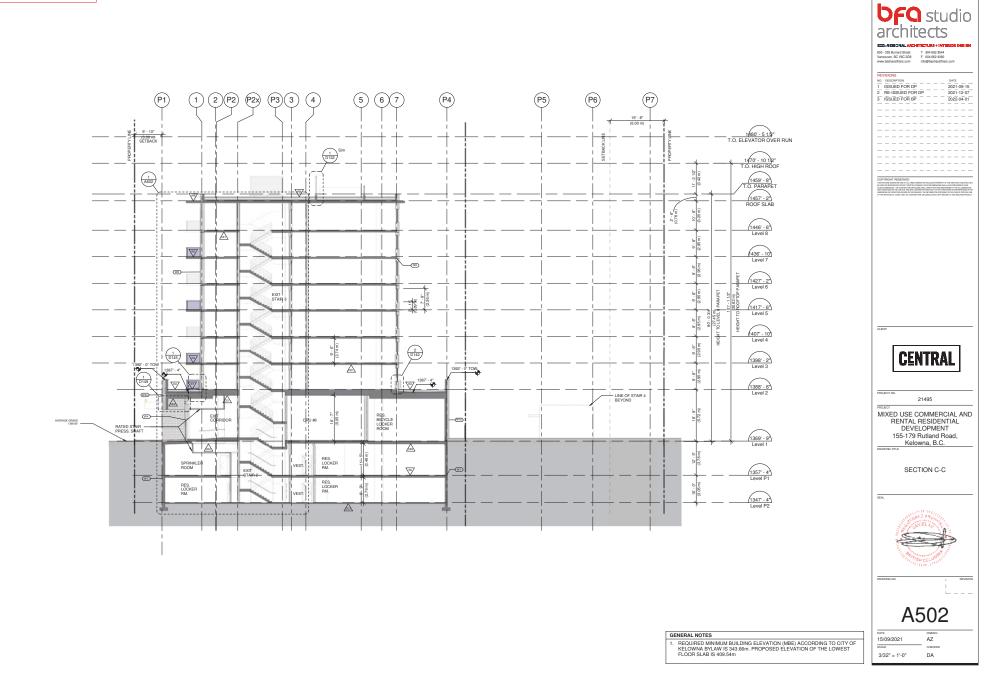


ELEVATION KEYNOTE LEGEND						
ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	
1 CEMENTITIOUS LAP SIDING (7" WIDE)	COLOUR: TO MATCH HARDIEPLANK 'ARCTIC WHITE' OR SIMILAR FINISH: SMOOTH	7.3 ALUMINUM CURTAIN WALL W/ OPAQUE SPANDREL GLASS	FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: CHALK WHITE	15 EIFS WITH STUCCO FINISH COAT	COLOUR: TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'	A CONTRACTOR
2.1 CEMENTITIOUS CLADDING PANEL (2 TONE)	COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & 'STABLE GRAY' OR SIMILAR; FINISH: SMOOTH	7.4 ALUMINUM CURTAIN WALL W/ DOUBLE GLAZING	FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: LOW-E CLEAR			101110
2.2 CEMENTITIOUS CLADDING PANEL (2 TONE)	COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & LUX PANEL 'COPPER WAVE' OR SIMILAR; FINISH: SMOOTH	8 ALUMINUM FRAME GUARD W/ PERFORATED METAL	FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR PANEL: PERFORATED ALUMINUM PANEL, MEDIUM GREY			DRAWING NO.
3 CEMENTITIOUS CLADDING PANEL	COLOUR: TO MATCH HARDIEPLANK 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	9 ALUMINUM FRAME GUARD W/ SAFETY GLASS	FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR GLASS: TEMPERED, CLEAR			
4 ALUMINUM FRAME PRIVACY SCREEN	FRAME: TO MATCH COPPER WAVE BY LUX PANEL PANEL: TO MATCH COPPER WAVE BY LUX PANEL (6" WIDE)	10 METAL CANOPY WITH STEEL FRAME	FASCIA: ALUMINUM PANEL (COLOR TO MATCH CURTAIN WALL FRAME) SOFFIT: WOOD SLAT (FIR), 2" WIDE			A 404
5 STANDARD FACE BRICK (2 TONE)	COLOUR: TO MATCH MUTUAL MATERIALS 'COAL CREEK' & 'DESERT WHITE' OR SIMILAR, PATTERN: 1/3 RUNNING BOND	11 ALUMINUM OVERHEAD GARAGE DOOR	BLACK			A404
6 METAL CLADDING PANEL	COLOUR: TO MATCH VICWEST PAINT COLOUR – SIGNATURE (WESTERN) CHARCOAL 56072 (22GA) OR SIMILAR	12 PAINTED METAL DOOR	TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'			DATE DRAWN
7.1 VINYL WINDOW W/ DOUBLE GLAZING	FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	13 EXPOSED CONCRETE WITH CLEAR SEALER				15/09/2021 AZ
7.2 VINYL BALCONY DOOR W/ DOUBLE GLAZING	FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	14 MECHANICAL ENCLOSURE/ LOUVERS	FRAME: TO MATCH ADJACENT FINISHES			DA



**bfq** studio architects





SCHEDULE	В
This forms part of applic # DP21-0223 DVP2	
# <u>DT2102200112</u>	City of
Planner Initials KB	Kelowna DEVELOPMENT PLANNING

		·							<b>bfq</b> studio architects
1 <b>TEM</b>	COLOUR FINISH / IMAGE	SYSTEM / PATTERN	<b>ITEM</b>	COLOUR FINISH / IMAGE	SYSTEM	<b>ITEM</b> 8	COLOUR FINISH / IMAGE	SYSTEM	Interface         Interface           10:30 function         16:468 564 56           10:30 function         1           10:30 function         2
2	2.1		6		ADDRA Hoves jordhun 40 Fachel Addra - 2009 30 Fachel Addra - 11334° Fachel Addra - 1134° Talland Addra - 1134° Talland Addra - 1134° Talland Addra - 1134°				COMPACT ADDRESS OF A DESCRIPTION OF A DE
3			7.1 & 7.2	GLASS					CENTRAL
4			7.3 & 7.4	GLASS					MIXED USE COMMERCIAL AND RENTAL RESIDENTIAL DEVELOPMENT 155-179 Rutland Road, Kelowna, B.C. Determine ELEVATION MATERIAL LEGEND

ELEVATION KEYNOTE LEGEND						
ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH	
CEMENTITIOUS LAP SIDING (7" WIDE)	COLOUR: TO MATCH HARDIEPLANK 'ARCTIC WHITE' OR SIMILAR FINISH: SMOOTH	7.3 ALUMINUM CURTAIN WALL W/ OPAQUE SPANDREL GLASS	FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: CHALK WHITE	15 EIFS WITH STUCCO FINISH COAT	COLOUR: TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'	
2.1 CEMENTITIOUS CLADDING PANEL (2 TONE)	COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & 'STABLE GRAY' OR SIMILAR; FINISH: SMOOTH	7.4 ALUMINUM CURTAIN WALL W/ DOUBLE GLAZING	FRAME: ANODIZED ALUMINUM; COLOR: WHITE GLASS: LOW-E CLEAR			
2.2 CEMENTITIOUS CLADDING PANEL (2 TONE)	COLOUR: TO MATCH HARDIE TEXTURED PANEL 'ARCTIC WHITE' & LUX PANEL 'COPPER WAVE' OR SIMILAR; FINISH: SMOOTH	8 ALUMINUM FRAME GUARD W/ PERFORATED METAL	FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR PANEL: PERFORATED ALUMINUM PANEL, MEDIUM GREY			
3 CEMENTITIOUS CLADDING PANEL	COLOUR: TO MATCH HARDIEPLANK 'IRON GRAY' OR SIMILAR FINISH: SMOOTH	9 ALUMINUM FRAME GUARD W/ SAFETY GLASS	FRAME: TO MATCH STARLINE 'KENDALL CHARCOAL' OR SIMILAR GLASS: TEMPERED, CLEAR			
4 ALUMINUM FRAME PRIVACY SCREEN	FRAME: TO MATCH COPPER WAVE BY LUX PANEL PANEL: TO MATCH COPPER WAVE BY LUX PANEL (6" WIDE)	10 METAL CANOPY WITH STEEL FRAME	FASCIA: ALUMINUM PANEL (COLOR TO MATCH CURTAIN WALL FRAME) SOFFIT: WOOD SLAT (FIR), 2" WIDE			
5 STANDARD FACE BRICK (2 TONE)	COLOUR: TO MATCH MUTUAL MATERIALS 'COAL CREEK' & 'DESERT WHITE' OR SIMILAR, PATTERN: 1/3 RUNNING BOND	11 ALUMINUM OVERHEAD GARAGE DOOR	BLACK			
6 METAL CLADDING PANEL	COLOUR: TO MATCH VICWEST PAINT COLOUR – SIGNATURE (WESTERN) CHARCOAL 56072 (22GA) OR SIMILAR	12 PAINTED METAL DOOR	TO MATCH MUTUAL MATERIALS BRICK COLOUR 'COAL CREEK'			
7.1 VINYL WINDOW W/ DOUBLE GLAZING	FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	13 EXPOSED CONCRETE WITH CLEAR SEALER				1
7.2 VINYL BALCONY DOOR W/ DOUBLE GLAZING	FRAME: TO MATCH STARLINE 'CHARCOAL GREY' OR SIMILAR GLASS: TEMPERED, CLEAR	14 MECHANICAL ENCLOSURE/ LOUVERS	FRAME: TO MATCH ADJACENT FINISHES			





# **GRADING NOTES**

EDITION OF THE CANAD LANDSCAPE ASSOCIATION 2. SPECIFICATIONS THIS DRAWING IS TO BE 3. POSITIVE DRAINAGE ALL PROPOSED PAVING, ADJACENT FEATURES. PR PLANTING AREAS. 4. SUBGRADE PRIOR TO COMMENCING CONTRACTOR TO ENSUI FINISH GRADE OF PLANT

SCHEDULI	C
This forms part of an # DP21-0223 DV	
Planner Initials KB	City of <b>Kelowna</b> Development planning



200-2045 Enterprise Way Kelowna, BC V1Y 9T5 T (250) 469-9757 www.ecora.ca

GRADIN	NG LEGEND
	PLANTING AREA; MIN. 300mm DEPTH GROWING MEDIUM
	PLANTING AREA; 450mm DEPTH GROWING MEDIUM
	PLANTING AREA; 600mm DEPTH GROWING MEDIUM
	PLANTING AREA; 1000mm DEPTH GROWING MEDIUM
	SLOPE TO AREA DRAIN (REFER ARCH. DWGS)

AREA DRAIN (REFER ARCH. DWGS)

### 1. CANADIAN LANDSCAPE STANDARD

ALL WORK TO MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARDS, PUBLISHED JOINTLY BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) AND THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA)

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THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS.

ALL PROPOSED PAVING, TURF AREAS & PLANTING AREAS SHALL SMOOTHLY CONFORM TO EXISTING ADJACENT FEATURES. PROVIDE POSITIVE DRAINAGE ON ALL PAVING & THROUGHOUT ALL TURF AREAS & PLANTING AREAS.

PRIOR TO COMMENCING ANY WORK, LANDSCAPE CONTRACTOR TO COORDINATE W/ PROJECT GENERAL CONTRACTOR TO ENSURE REQUIRED SUBGRADES ARE ACHIEVED IN ALL CONDITIONS SUCH THAT SPECIFIED FINISH GRADE OF PLANTING & TURF AREAS ARE FLUSH W/ ADJACENT SURFACES.

# N

PROJECT TITLE

### 155-179 RUTLAND ROAD NORTH

Kelowna, BC

DRAWING TITLE

## GRADING AND SOIL DEPTH PLAN

### ISSUED FOR / REVISION

1	22.01.07	Coordination
2	22.01.28	95% Review
3	22.02.18	Tender
4		
5		

PROJECT NO	21-086
DESIGN BY	KM
DRAVVN BY	MC/SP
CHECKED BY	FB
DATE	FEB. 18, 2022
SCALE	1:200
PAGE SIZE	24"x36"

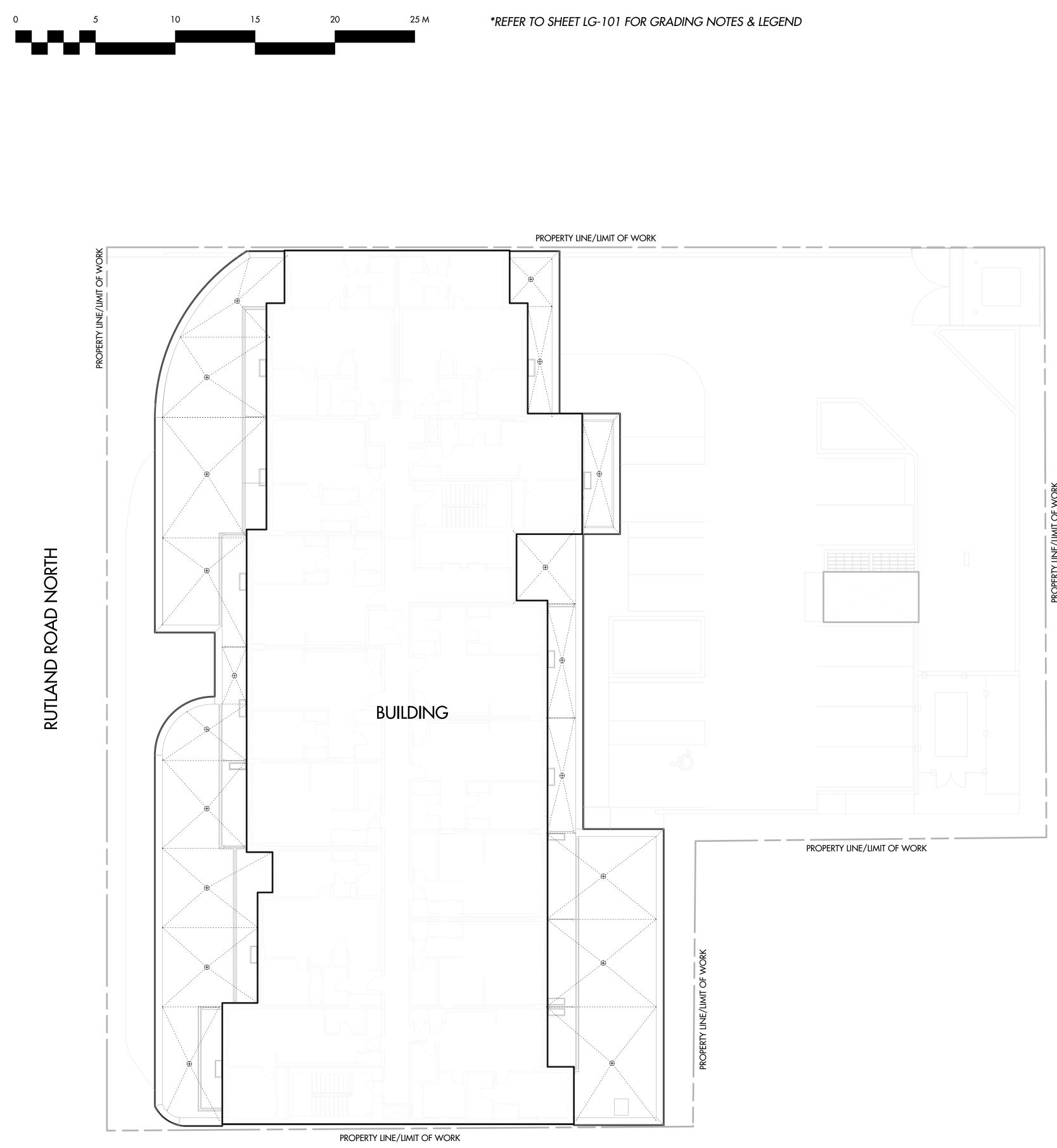
SEAL

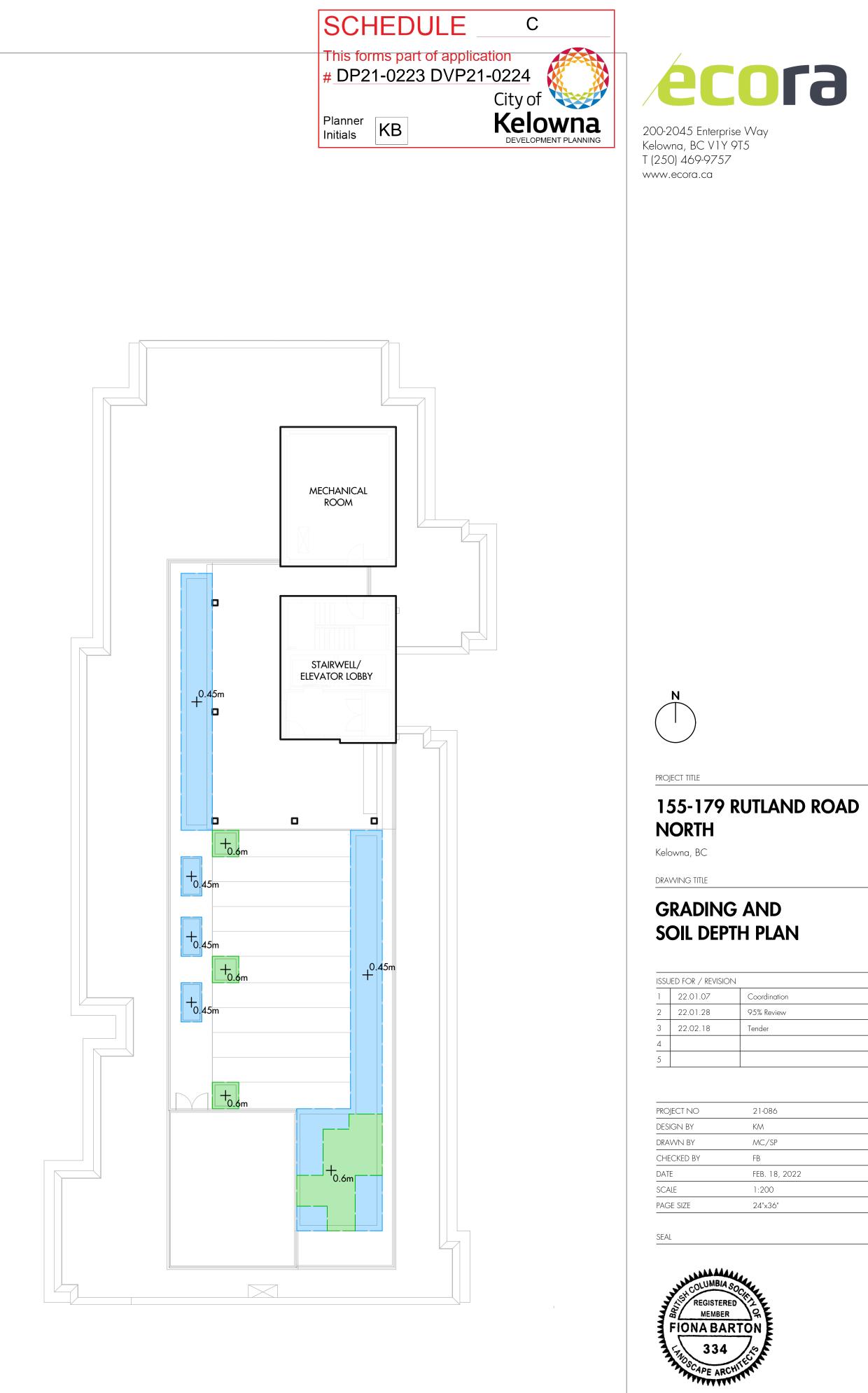


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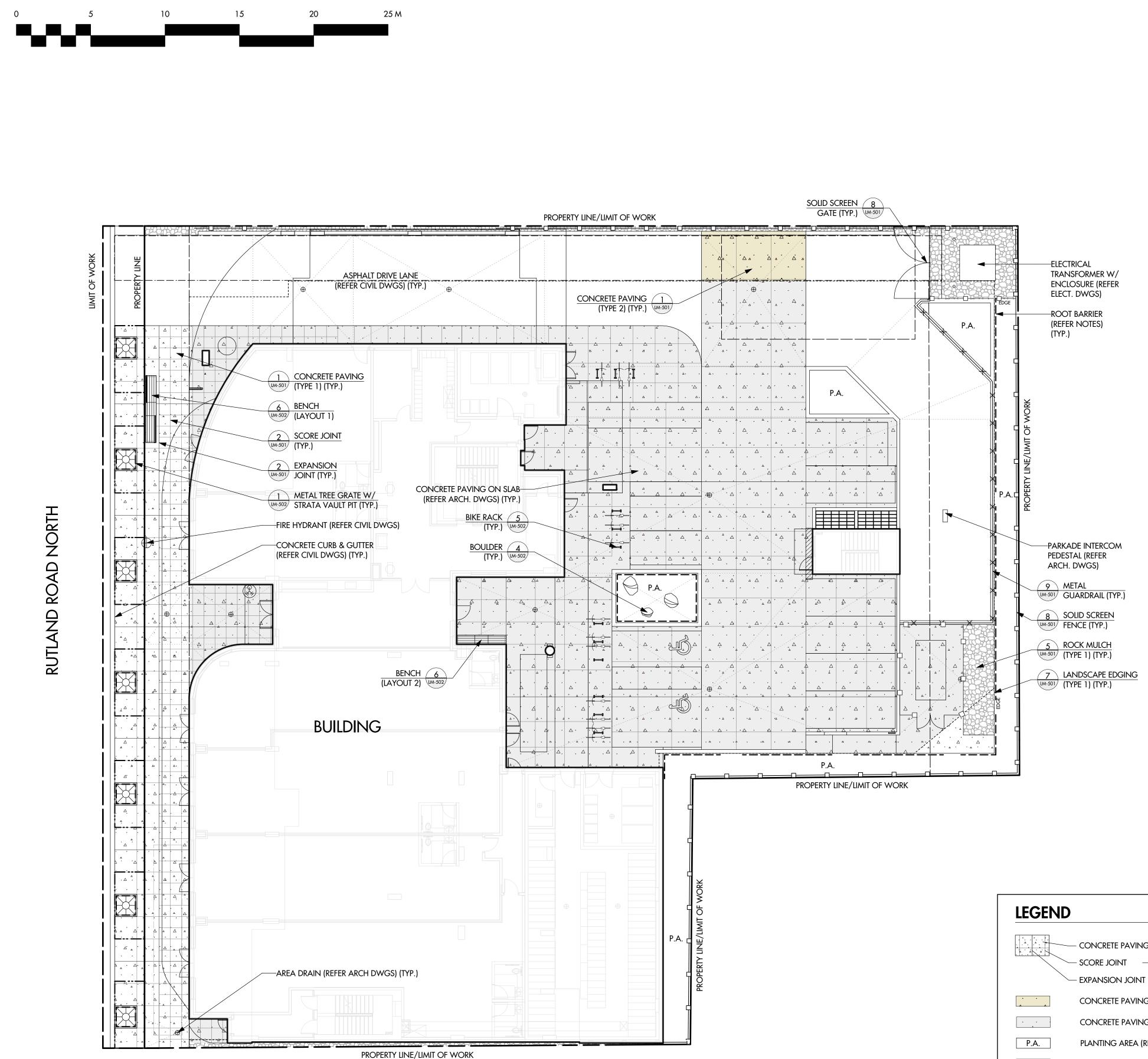
### ISSUED FOR REVIEW ONLY







DRAWING NUMBER



LEVEL 1

## **MATERIALS NOTES**

1. CANADIAN LANDSCAPE STANDARD/PROJECT SPECIFICATIONS THIS DRAWING IS TO BE READ IN CONJUCTION WITH THE PROJECT SPECIFICATIONS. ALL WORK TO MEET OR EXCEED ALL STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD, PUBLISHED JOINTLY BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) AND THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA). CONTAINER PLANTING IS TO MEET CNLA STANDARDS FOR CONTAINER GROWN PLANTS.

2. EMERGENCY ACCESS BUILDING TO THE LIMIT OF WORK.

3. DIMENSIONS ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. 4. INSPECTIONS

5. LIMIT OF WORK

ALL WORK OF THE CONTRACTOR SHALL BE WITHIN THE LIMIT OF WORK/ PROPERTY LINE SHOWN ON THE DRAWING. THE CONTRACTOR SHALL VERIFY THE LIMIT OF WORK ON SITE WITH THE SITE INSPECTOR PRIOR TO CONSTRUCTION. 6. DESIGN INTENT

ACCOMMODATE SITE CONDITIONS OR ARCHITECTURAL DETAILS. 7. CONTRACTORS' JOB SITE CONDITIONS LANDSCAPE ARCHITECT.

8. COMPOSITE BASE SHEET

THE PROPOSED IMPROVEMENTS SHOWN ON THESE DRAWINGS ARE SUPERIMPOSED ON A BASE SHEET. THIS BASE SHEET IS COMPILED FROM THE TOPOGRAPHIC SURVEY, OTHER ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS, AND OTHER DATA AS MADE AVAILABLE TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL NOT BE HELD LIABLE FOR CHANGES, INACCURACIES, OMISSIONS, OR OTHER ERRORS ON THESE DOCUMENTS. THE COMPOSITE BASE SHEET IS PROVIDED AS AN AID ONLY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS AND INCORPORATING/INTEGRATING ALL CONSTRUCTION AS REQUIRED TO ACCOMMODATE SAME. 9. UTILITIES

PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THE LOCATIONS OF THEIR UNDERGROUND FACILITIES. MOST UTILITY COMPANIES ARE MEMBERS OF THE UNDERGROUND SERVICE ALERT 'CALL BEFORE YOU DIG' PROGRAM. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY MEMBERS 48 HOURS IN ADVANCE OF PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER (800) 474-6886. EXCAVATION IS DEFINED AS BEING 18 OR MORE INCHES IN DEPTH BELOW THE EXISTING SURFACE.

THE CONTRACTOR IS CAUTIONED THAT ONLY EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATION, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. HOWEVER, THE CONSULTANT CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH ARE NOT SHOWN ON THESE DRAWINGS. **10. PROJECT STAKING** 

ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD FOR REVIEW BY THE OWNER'S INSPECTOR PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS. 11. AS-BUILT DRAWINGS

12. RELEASE OF SECURITY

SIGN OFF BY THE LANDSCAPE ARCHITECT IS REQUIRED PRIOR TO ANY SECURITY RELEASE. 13. SLEEVING REFER TO IRRIGATION PLAN & SPECIFICATIONS FOR REQUIREMENTS OF SLEEVING UNDER PAVING.

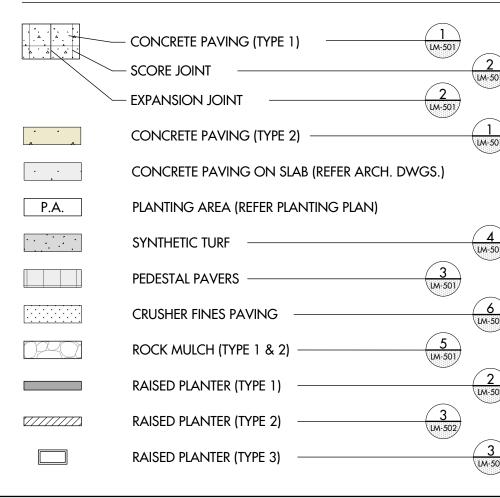
14. GROWING MEDIUM PLACEMENT REFER PLANTING PLAN LP-101.

15. WOOD MULCH

**REFER PLANTING PLAN LP-101** 16. BACKFILL

**17. ROOT BARRIER** 

ROOT BARRIER SHALL BE 450mm DEEP, AVAILABLE FROM DEEP ROOT OR APPROVED EQUAL. INSTALL IN 6.0m TYPICAL LENGTHS, UNLESS OTHERWISE NOTED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



SCH	HED	OULE C
This fo	rms pa	irt of application
#_DP2	21-022	23 DVP21-0224 City of
Planner		Kelowna
Initials	KB	DEVELOPMENT PLANNING



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THE CONTRACTOR IS TO ENSURE THAT THE SITE IS MAINTAINED WITH CLEAR ACCESS FOR EMERGENCY ACCESS FROM THE

THE CONTRACTOR IS RESPONSIBLE TO GIVE THE SITE INSPECTOR 48 HOURS NOTICE BEFORE ALL REQUIRED INSPECTIONS.

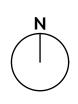
THESE DRAWINGS REPRESENT THE GENERAL DESIGN INTENT TO BE IMPLEMENTED ON THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ANY ADDITIONAL CLARIFICATION OR DETAILS NECESSARY TO

CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR SITE CONDITIONS DURING CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE

AS BUILT DRAWINGS ARE REQUIRED TO BE SUBMITTED POST CONSTRUCTION BY THE CONTRACTOR.

EXCAVATED MATERIAL NOT SUITABLE FOR BACKFILLING SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE.

			8 M-501	
)	<del>- × − × − →</del>	METAL GUARDRAIL		9 LM-501
\	EDGE	LANDSCAPE EDGING (TYPE 1)	7 M-501	
)	EDGE (T2)	LANDSCAPE EDGING (TYPE 2)		Z LM-501
	ΙΙΙ	BIKE RACK	5 M-502	
١		BENCH (LAYOUT 1)		6 LM-502
7		BENCH (LAYOUT 2)	6 M-502	
)		Metal tree grate /w strata vault pit		1 LM-502
	$\square$	BOULDER	<b>4</b> M-502	
		ROOT BARRIER (REFER NOTES)		
\ \	TYP.	TYPICAL		
)	O.C.	ON CENTRE		



PROJECT TITLE

### 155-179 RUTLAND ROAD NORTH

Kelowna, BC

DRAWING TITLE

### **MATERIALS PLAN**

### ISSUED FOR / REVISION 22.01.07 Coordination 22.01.28 95% Review 22.02.18 Tender

PROJECT NO	21-086
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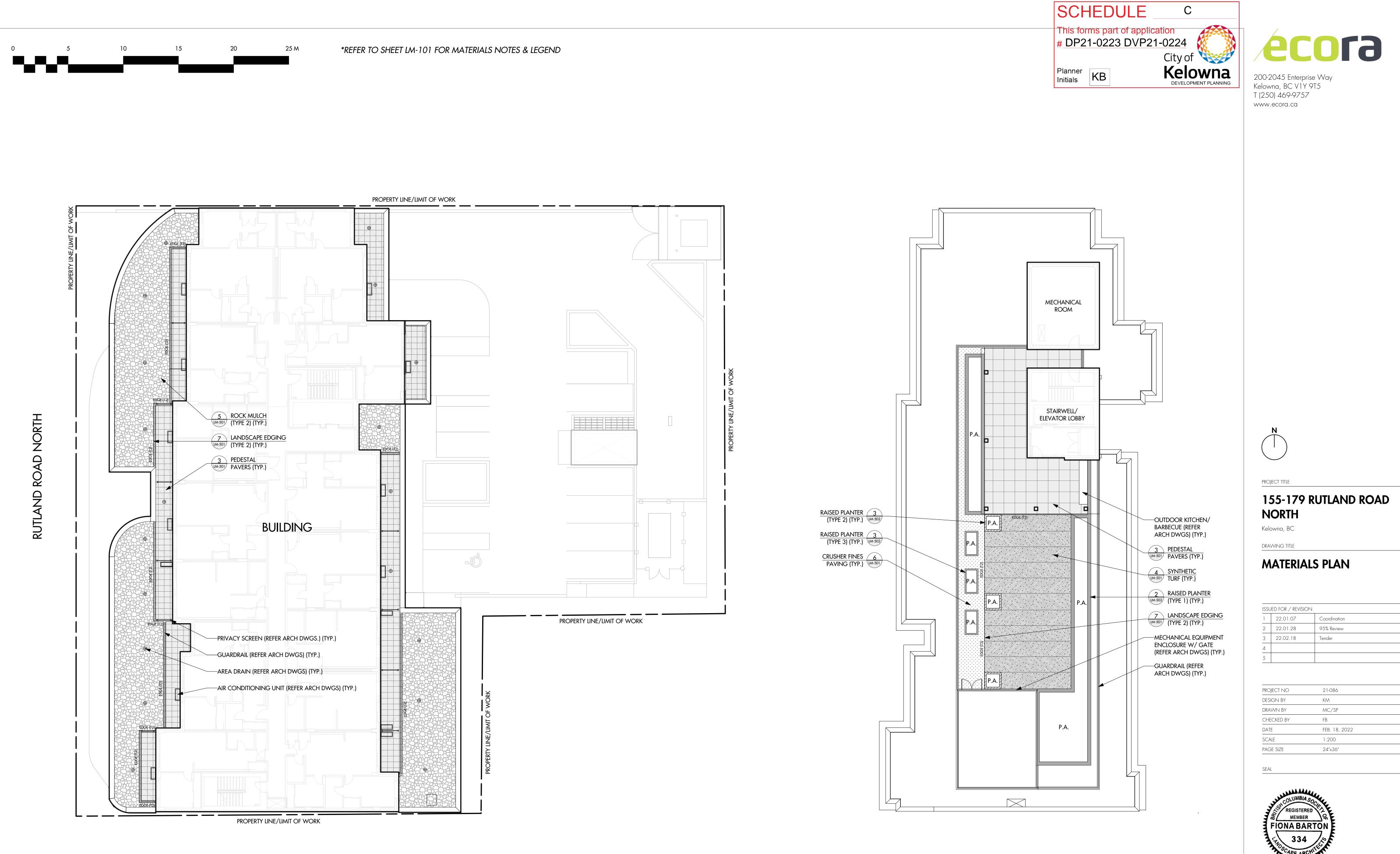




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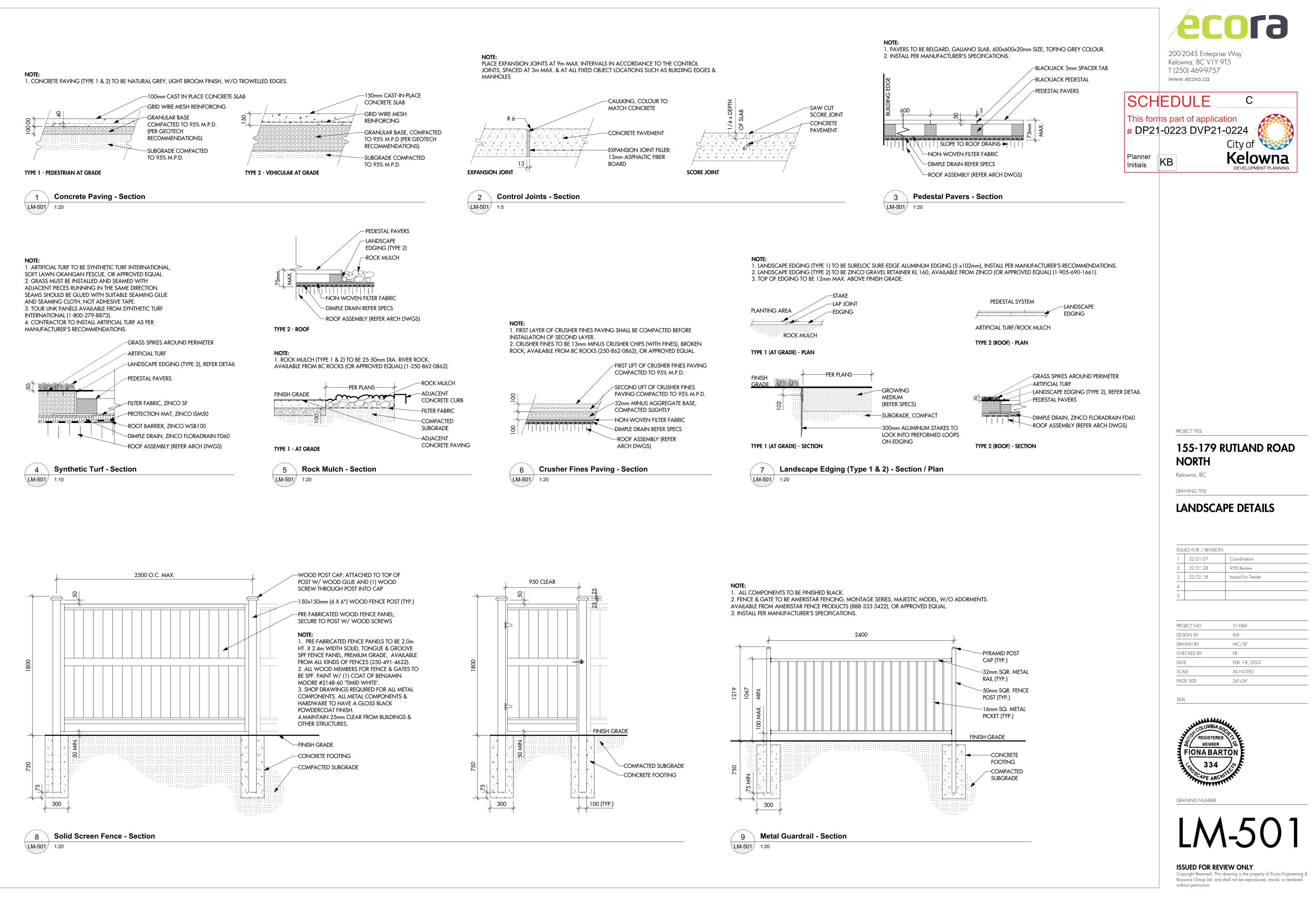


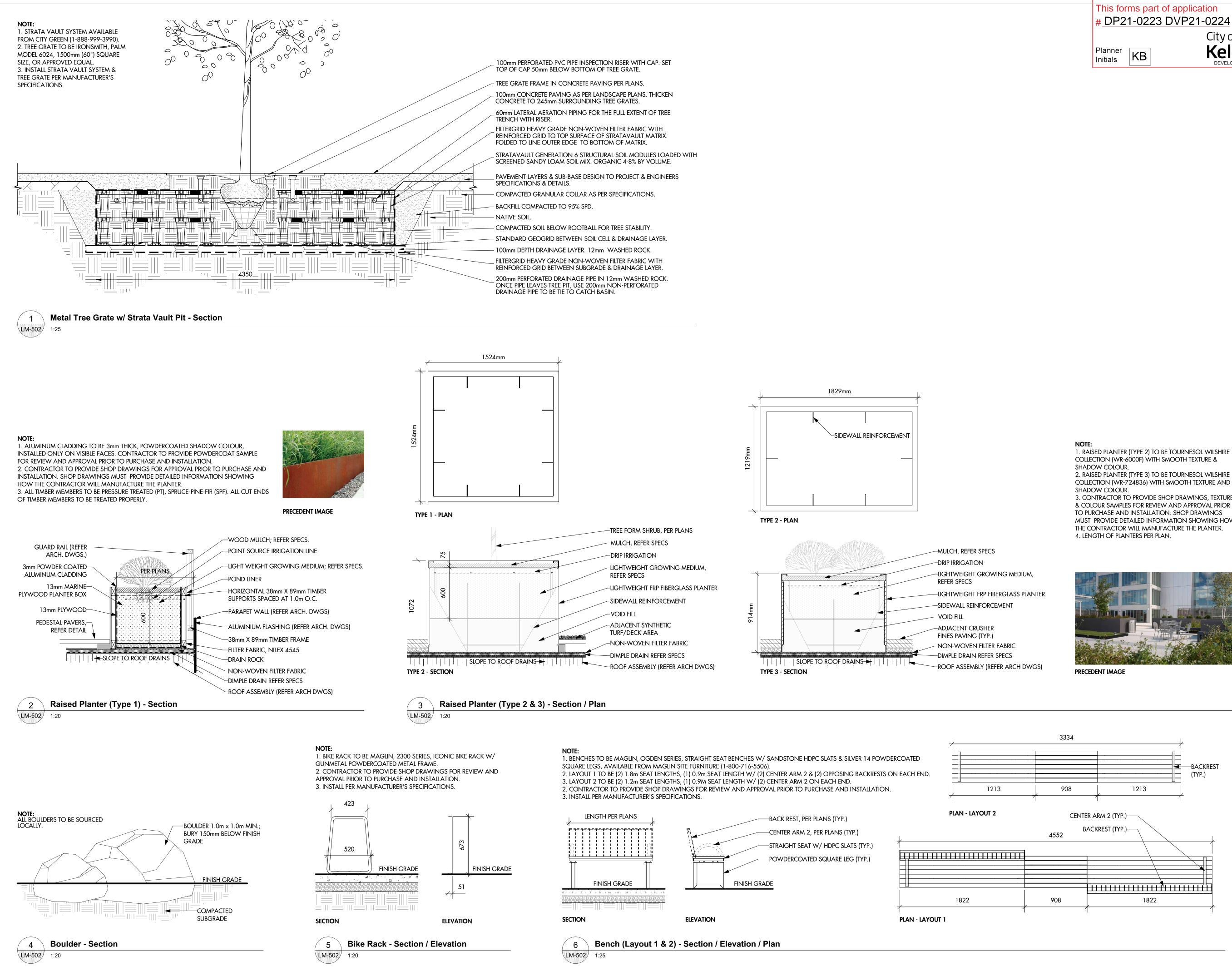
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LM-102

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SCHEDULE _	С	
This forms part of application # DP21-0223 DVP21-0224		
Planner Initials KB	City of <b>Kelowna</b>	



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2. RAISED PLANTER (TYPE 3) TO BE TOURNESOL WILSHIRE COLLECTION (WR-724836) WITH SMOOTH TEXTURE AND

3. CONTRACTOR TO PROVIDE SHOP DRAWINGS, TEXTURE & COLOUR SAMPLES FOR REVIEW AND APPROVAL PRIOR MUST PROVIDE DETAILED INFORMATION SHOWING HOW



PROJECT TITLE

### 155-179 RUTLAND ROAD NORTH

Kelowna, BC

DRAWING TITLE

## LANDSCAPE DETAILS

### ISSUED FOR / REVISION

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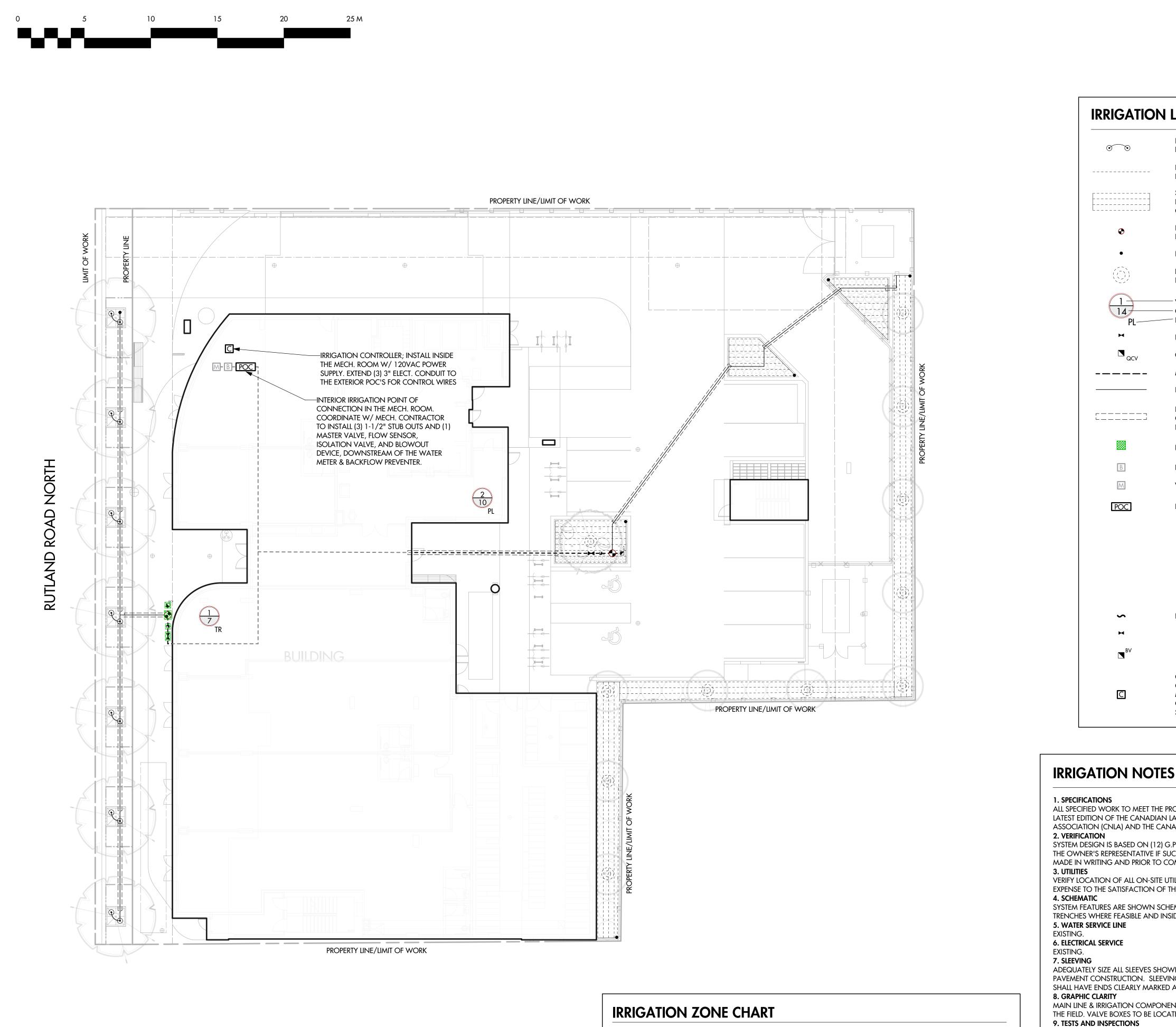
SEAL



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OPERATING ZONE OPERATING TIME

30 MINS / 3X PER WEEK\* 45 MINS / 2X PER WEEK 45 MINS / 2X PER WEEK

TOTAL RUNTIME PER WEEK = 270 MINS / WEEK (4.5 HRS) \*TREE ZONE RUN TIME BASED ON FIRST YEAR ESTABLISHMENT. REDUCE TO 1X PER WEEK IN 2ND YEAR

FLOW

7 GPM

10 GPM

4 GPM

ZONE VALVE LANDSCAPE TYPE PRODUCT TYPE APPLICATION

PLANTING AREAS DRIP

PLANTING AREAS

\* OPERATING TIMES ARE SHOWN AS A BASE THEORETICAL SCHEDULE

ONLY, BASED ON EVERY DAY WATERING IN JULY. THE CONTRACTOR

IS SOLELY RESPONSIBLE FOR SETTING THE IRRIGATION SCHEDULE TO

ENSURE THAT PLANT MATERIAL RECEIVES ADEQUATE WATERING.

BUBBLERS

DRIP

RATE

7.4mm/hr

7.4mm/hr

7.4mm/hr

PRESSURE

40 PSI

40 PSI

40 PSI

SIZE

1"

1"

1"

TREES

#

10. EQUIVALENT PRODUCTS

INSTALLATION.





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### **IRRIGATION LEGEND**

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FLOOD BUBBLER SYSTEM FOR TREES; (2) HUNTER PROS-02-PRS30 W/ HUNTER PCB-50 BUBBLER NOZZLES (REFER DETAIL 10/LI-501)

POINT SOURCE DRIP SYSTEM FOR PLANTING AREAS; (1) NETAFIM TECHFLOW 2.0 GPH EMITTER PER PLANT. INSTALL ON 1" BLANK POLYETHYLENE TUBING (REFER DETAIL 4/LI-501)

SUBSURFACE DRIP SYSTEM FOR PLANTING AREAS; HUNTER HDL-CV, 0.4 GPH, 0.45m EMITTER SPACING & 0.45m +/- LATERAL SPACING. SUPPLY & FLUSH MANIFOLDS TO BE 1" CLASS 200 PVC. (REFER DETAIL 6/LI-501)

LOW FLOW REMOTE CONTROL VALVE KIT FOR PLANTING AREAS & TREES; HUNTER PCZ-101-40, SIZE PER ZONE CHART (REFER DETAIL 1 & 2/LI-501)

FLUSH VALVE; 3/4" SCHEDULE 40 PVC BALL VALVE (REFER DETAIL 9/LI-501)

DRIP RING FOR TREES IN PLANTING AREAS; NETAFIM TECHLINE CV, 0.9 GPH, 0.3m EMITTER SPACING, 0.5m DIA. (REFER DETAIL 5/LI-501)

VALVE NUMBER GALLONS PER MINUTE (GPM)

LANDSCAPE TYPE (PL-PLANTING AREA, TR-TREE)

ISOLATION VALVE; RED-WHITE #206, LINE SIZE (REFER DETAIL 8/LI-501)

QUICK COUPLER VALVE; HUNTER HQ-5RC (REFER DETAIL 3/LI-501)

MAIN LINE; 1" SCHEDULE 40 PVC (REFER DETAIL 7/LI-501)

LATERAL LINE; 1" CLASS 200 PVC PIPE (REFER DETAIL 7/LI-501)

IRRIGATION SLEEVE; SCHEDULE 40 PVC, 3" MIN. OR TWICE THE DIA. OF PIPE CONTAINED. INSTALL IRRIGATION WIRING IN SEPARATE 2" ELECTRICAL CONDUIT. EXTEND SLEEVE 0.3m PAST EDGE OF HARD SURFACE.

NDS BLACK VALVE BOX W/ OVERLAPPING COVER, REFER DETAILS FOR SIZING

BACKFLOW PREVENTER (REFER MECH. DWGS)

WATER METER (REFER MECH. DWGS)

INTERIOR IRRIGATION POINT OF CONNECTION (POC) (REFER DETAIL 12/LI-501):

ISOLATION VALVE; 1" RED-WHITE #206

BLOW-OUT DEVICE; 1" SCHEDULE 40 TEE W/ RED WHITE BALL VALVE, 3/4" 600 #WOG W/ PLUG, ANGLE STRAIGHT UP

MASTER VALVE; HUNTER 1" 200-IBV VALVE W/ ACCU SYNC® PRESSURE REGULATION

FLOW SENSOR; 1" HUNTER HC-200-FLOW-B FCT208

EXTERIOR IRRIGATION POINT OF CONNECTION (POC) (REFER DETAIL 12/LI-501):

ISOLATION VALVE; 1" RED-WHITE #206

BLOW-OUT DEVICE; 1" SCHEDULE 40 TEE W/ RED WHITE BALL VALVE, 3/4" 600 #WOG W/ PLUG, ANGLE STRAIGHT UP

CONTROLLER; HUNTER I-CORE (IC6000 PL) CONTROLLER WITH FLOW SMART MODULE. CONTRACTOR SHALL PURCHASE & INSTALL THE CONTROLLER, AS PER THE MANUFACTURER'S RECOMMENDATIONS, INCLUDING ALL ASSOCIATED EQUIPMENT. CONTRACTOR SHALL INCUR ALL FEES ASSOCIATED WITH PURCHASE, INSTALLATION, AND SETUP.(REFER DETAIL 11/LI-501)

ALL SPECIFIED WORK TO MEET THE PROJECT SPECIFICATIONS, AND ALL STANDARDS OR SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD, PUBLISHED JOINTLY BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) AND THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA).

SYSTEM DESIGN IS BASED ON (12) G.P.M. & (75) P.S.I. AVAILABLE AT THE POINT OF CONNECTION. VERIFY SAME AND NOTIFY THE OWNER'S REPRESENTATIVE IF SUCH DATA ADVERSELY AFFECTS THE OPERATION OF THE SYSTEM. SUCH NOTICE SHALL BE MADE IN WRITING AND PRIOR TO COMMENCING IRRIGATION WORK.

VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.

SYSTEM FEATURES ARE SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. INSTALL ALL PIPING AND VALVES IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS WHENEVER POSSIBLE.

ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND 300MM FROM EDGE OF PAVING INTO LAWN OR PLANTING AREA, AND SHALL HAVE ENDS CLEARLY MARKED ABOVE GRADE UNLESS OTHERWISE SHOWN.

MAIN LINE & IRRIGATION COMPONENTS SHOW ON PLAN FOR GRAPHIC CLARIFY. CONTRACTOR TO VERIFY ALL MATERIALS IN THE FIELD. VALVE BOXES TO BE LOCATED IN PLANTING AREAS.

AT VARIOUS MILESTONES DURING CONSTRUCTION, INSPECTION AND TESTING OF COMPONENTS WILL BE REQUIRED TO ENSURE PERFORMANCE OF IRRIGATION SYSTEM MEETS EXPECTED STANDARDS. PROVIDE EQUIPMENT AND PERSONNEL NECESSARY FOR PERFORMANCE OF INSPECTIONS AND TESTS. CONDUCT ALL INSPECTIONS AND TESTS IN THE PRESENCE OF THE CONTRACT ADMINISTRATOR. KEEP WORK UNCOVERED AND ACCESSIBLE UNTIL SUCCESSFUL COMPLETION OF INSPECTION OR TEST.

CONTRACTOR MAY USE EQUIVALENT PRODUCTS FOR IRRIGATION COMPONENTS, PROVIDED THAT THE CONTRACTOR RECEIVES WRITTEN APPROVAL/CONSENT FROM THE LANDSCAPE ARCHITECT OR IRRIGATION DESIGNER PRIOR TO PURCHASE AND

PROJECT TITLE

### 155-179 RUTLAND ROAD NORTH

Kelowna, BC

DRAWING TITLE

## **IRRIGATION PLAN**

### ISSUED FOR / REVISION 1 22.01.07 Coordination 22.01.28 95% Review 22.02.18 Tender

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drawn by	SP
CHECKED BY	FB
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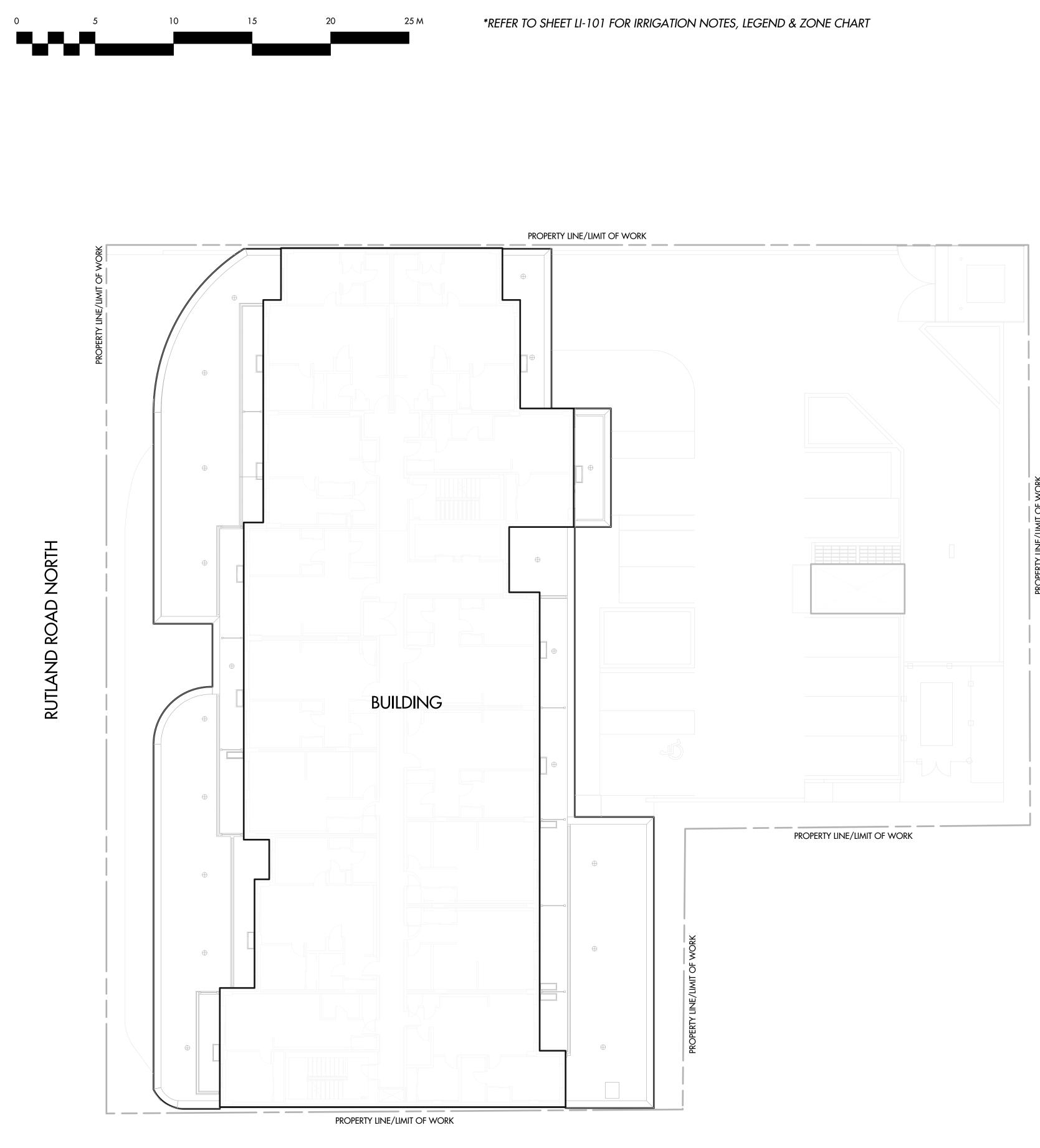


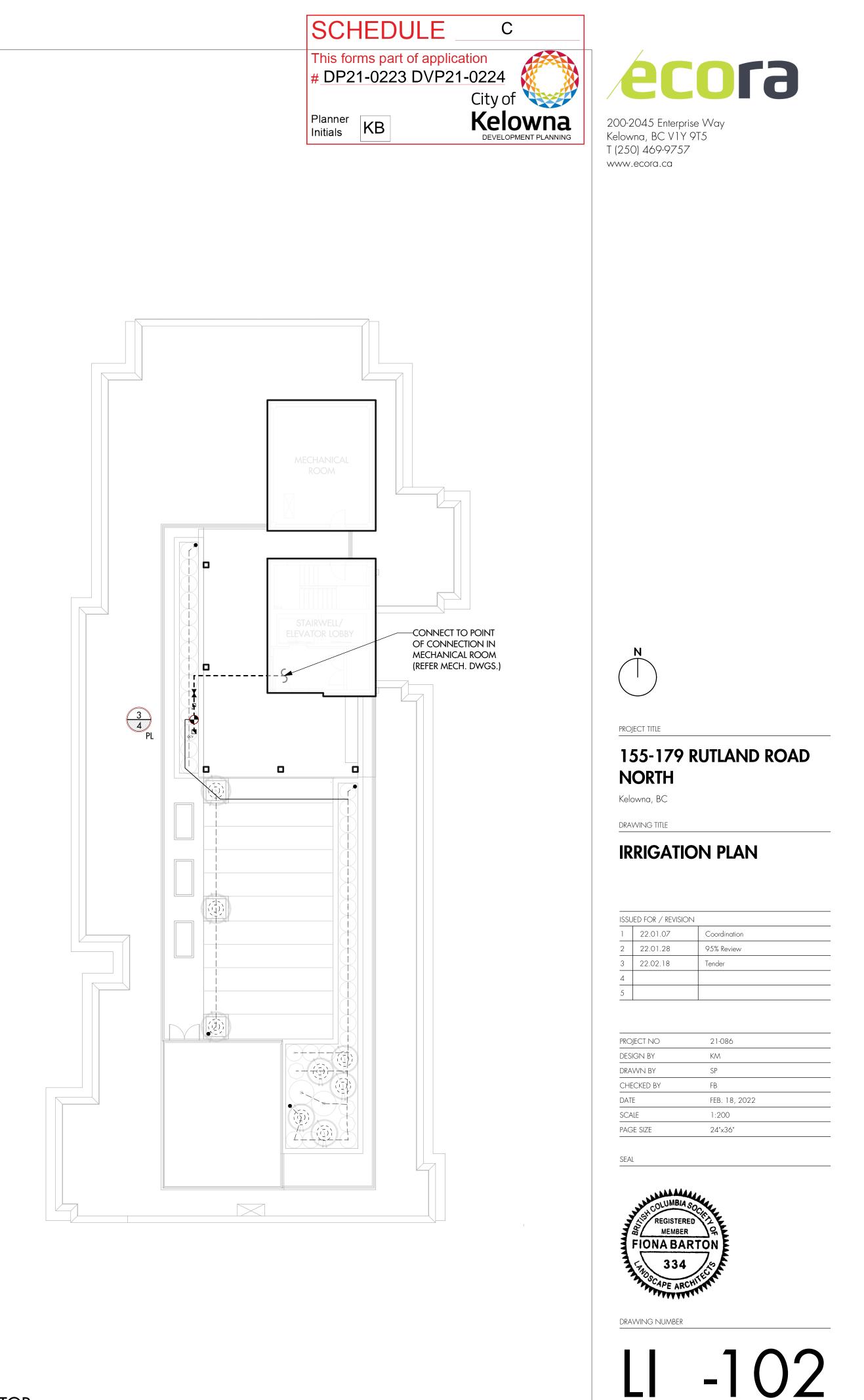


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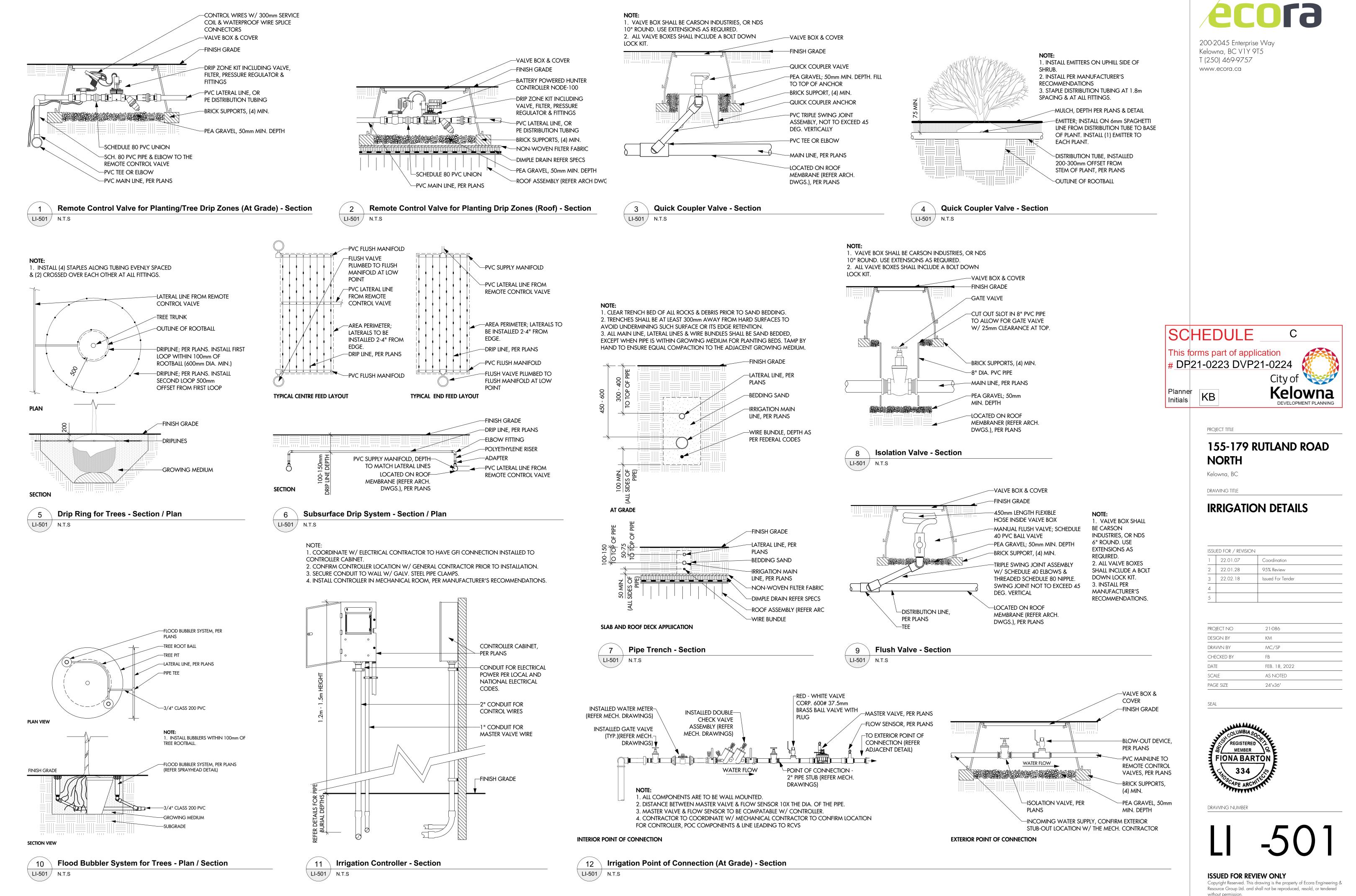


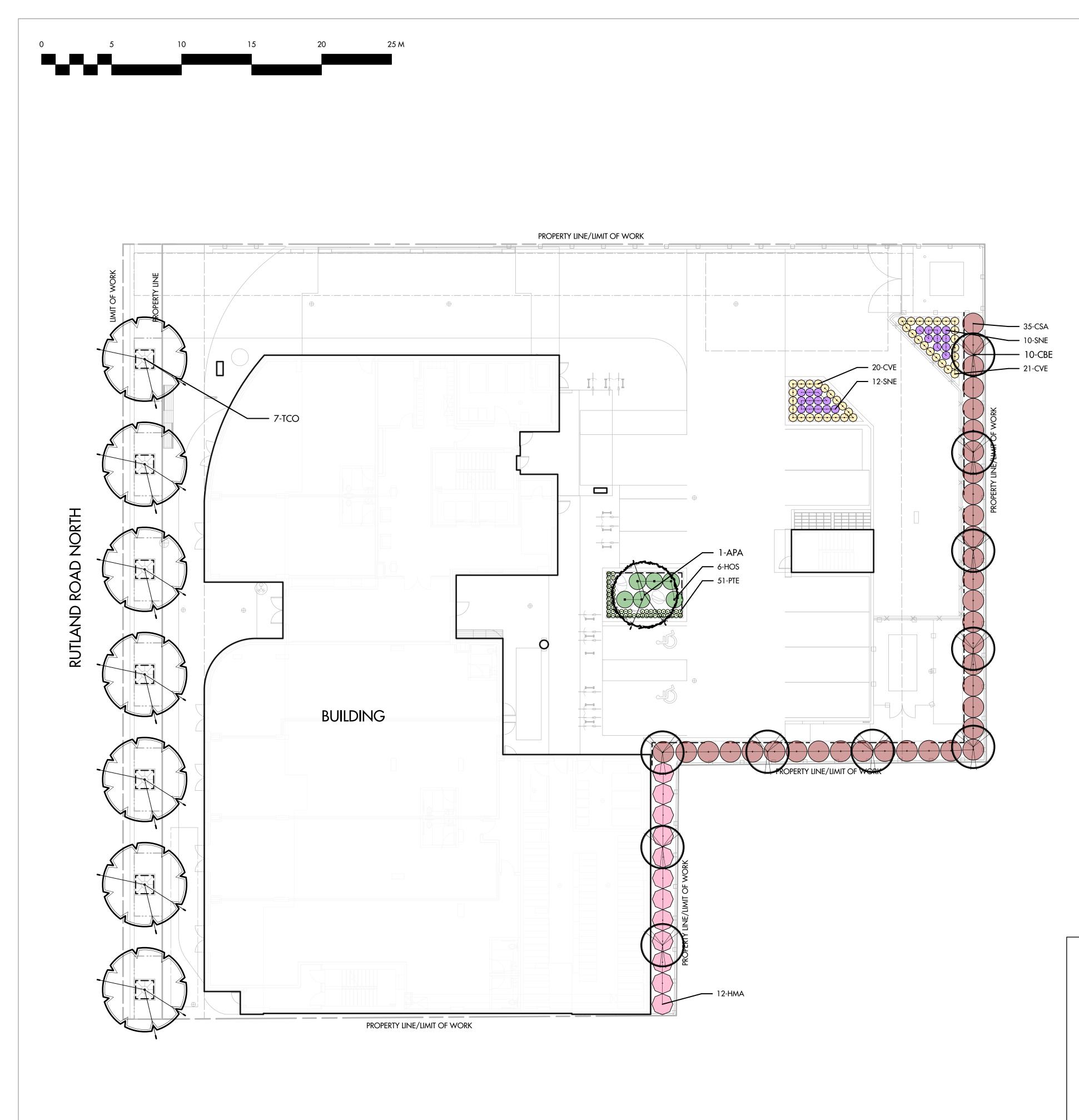
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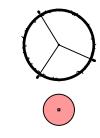
PLANT LIST				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/SPACING & REMARKS
TREES				
APA	1	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	6cm CAL.
CBE	10	CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE HORNBEAM	6cm CAL.
TCO	7	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	6cm CAL.
SHRUBS	5			
CSA	35	CORNUS SANGUINEA 'WINTER BEAUTY'	BLOOD TWIG DOGWOOD	#02 CONT. /1.8M O.C. SPACING
HIB	5	HIBISCUS 'LIL' KIM VIOLET'	LIL' KIM VIOLET ROSE OF SHARON	#05 CONT. /GRAFTED TREE FORM
HMA	12	HYDRANGEA MACROPHYLLA 'SWEET N' SALSA'	SWEET N' SALSA HYDRANGEA	#02 CONT. /1.8M O.C. SPACING
HPA	3	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	#05 CONT. /GRAFTED TREE FORM
SBU	6	SPIRAEA BULMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	#02 CONT. /1.2M O.C. SPACING
SME	2	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	#02 CONT. /1.8M O.C. SPACING
PERENN	NIALS, G	RASSES & GROUNDCOVERS		
CVE	41	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM THREADLEAF COREOPSIS	#01 CONT. /0.9M O.C. SPACING
EDU	3	EUPATORIUM DUBIUM 'LITTLE JOE'	LITTLE JOE DWARF JOE PYE	#01 CONT. /1.2M O.C. SPACING
HOS	6	HOSTA 'NORTHERN EXPOSURE'	NOTHERN EXPOSURE HOSTA	#01 CONT. /1.5M O.C. SPACING
PTE	51	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#01 CONT. /0.75M O.C. SPACING
PAL	30	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	#01 CONT. /1.5M O.C. SPACING
SNE	22	SALVIA NEMOROSA 'MAY NIGHT'	MAY NIGHT SALVIA	#01 CONT. /0.9M O.C. SPACING





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# LEGEND



PROPOSED DECIDUOUS TREE

PROPOSED SHRUB, PERENNIAL, & ORNAMENTAL GRASS

# **PLANTING NOTES**

### 1. PLANT MATERIAL

ALL PLANT MATERIAL SUPPLIED AND PLACED BY THE CONTRACTOR MUST BE CERTIFIED TO BE FREE OF SUDDEN OAK DEATH (PHYTOPHTHORA RAMORUM), ACCORDING TO THE THE CANADIAN FOOD INSPECTION AGENCY (CFIA), OR BCLNA STANDARDS. THE CONTRACTOR WILL BE HELD RESPONSIBLE TO THE OWNER FOR THE SUPPLY AND PLACEMENT OF DISEASED PLANTS RESULTING FROM HIS NEGLIGENCE.

PLANT MATERIAL AND PRODUCTS SHALL BE AVAILABLE FOR INSPECTION BY THE LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. THE CONTRACTOR SHALL PROVIDE A (1) YEAR REPLACEMENT GUARANTEE ON ALL PLANT MATERIAL TO THE OWNER FROM THE DATE OF SUBSTANTIAL PERFORMANCE.

### 2. SUBSTITUTIONS

THE CONTRACTOR SHALL NOT SUBSTITUTE PLANT MATERIAL OR PRODUCTS WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY UNAPPROVED SUBSTITUTIONS. **3. QUANTITIES** 

THE QUANTITIES SHOWN ON THE LABELS ARE NOT TO BE CONSTRUED AS THE COMPLETE AND ACCURATE LIMITES OF THE CONTRACT. FURNISH AND INSTALL ALL PLANTS SHOWN SCHEMATICALLY ON THE DRAWINGS.

### 4. WOOD MULCH

THE CONTRACTOR SHALL SUPPLY AND PLACE BLACK WOOD MULCH, AVAILABLE FROM NATURE'S GOLD, OR APPROVED EQUAL, AT 75mm MIN. DEPTH TO THE PLANTING AREAS AS SHOWN ON THE DRAWINGS. NO PLASTIC FILM OR WEED BARRIER FABRIC IS PERMITTED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS. THE WOOD MULCH PRODUCT SHALL BE NON MATTING, FREE OF CHUNKS, STICKS, SOILS, STONES, CHEMICALS, ROOTS AND SALT.

### 5. GROWING MEDIUM PLACEMENT

IMPORT GROWING MEDIUM SHALL BE PLACED AT 300mm MIN. DEPTH IN ALL PLANTING AREAS AT GRADE, 300mm DEPTH IN ALL PLANTING AREAS ON SLAB/ROOF AREAS, UNLESS SPECIFIED OTHERWISE ON THE GRADING PLAN, AND 1.0m MIN. DEPTH IN ALL TREE PITS, AS SHOWN IN THE DRAWINGS. GROWING MEDIUM IS TO MEET PROPERTIES OF TYPE 2P FOR PLANTING AREAS AT GRADE, AS PER TABLE T-6.3.5.4 IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD. GROWING MEDIUM FOR AREAS ON SLAB/ROOF AREAS SHALL BE SOPRAFLOR 1, AVAILABLE FROM SOPREMA INC., OR APPROVED EQUAL. GROWING MEDIUM FOR OFF-SITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 7900 SPECIFICATIONS. 6. ROOT BARRIER

REFER TO MATERIAL PLAN FOR LOCATIONS OF ROOT BARRIER.



PROJECT TITLE

### 155-179 RUTLAND ROAD NORTH

Kelowna, BC

DRAWING TITLE

### PLANTING PLAN

### ISSUED FOR / REVISION 1 22.01.07 Coordination 2 22.01.28 95% Review 22.02.18 Tender

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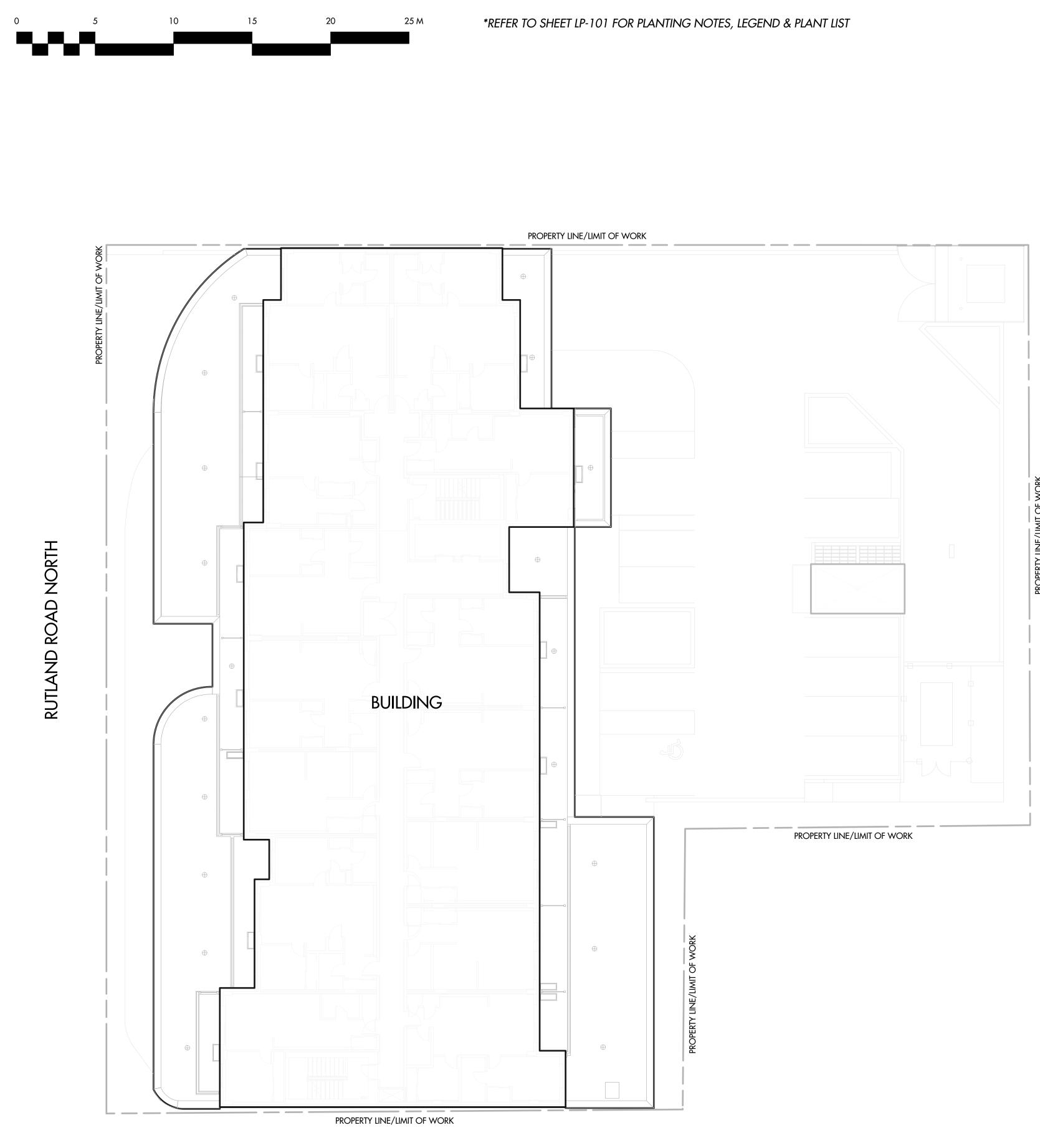




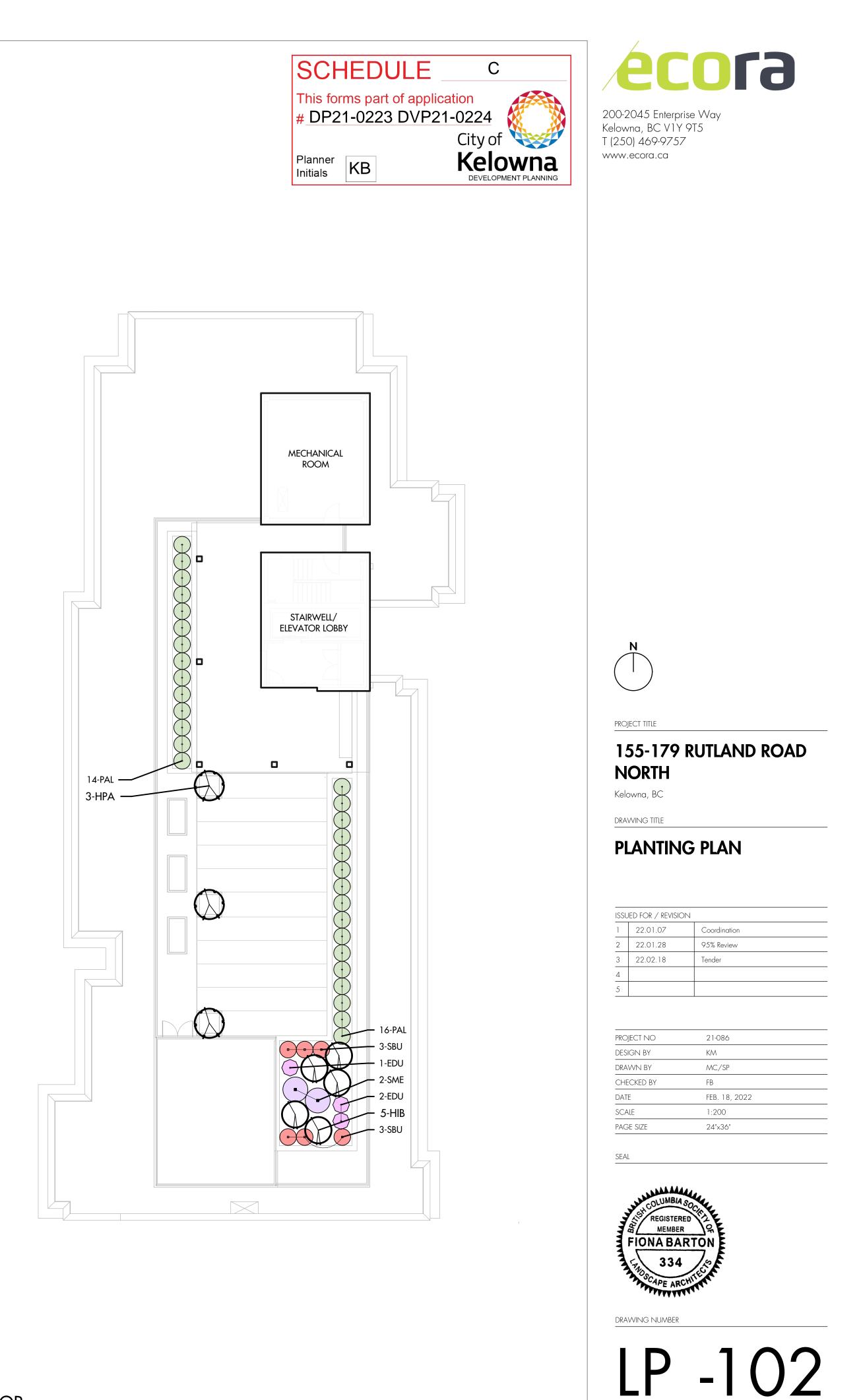
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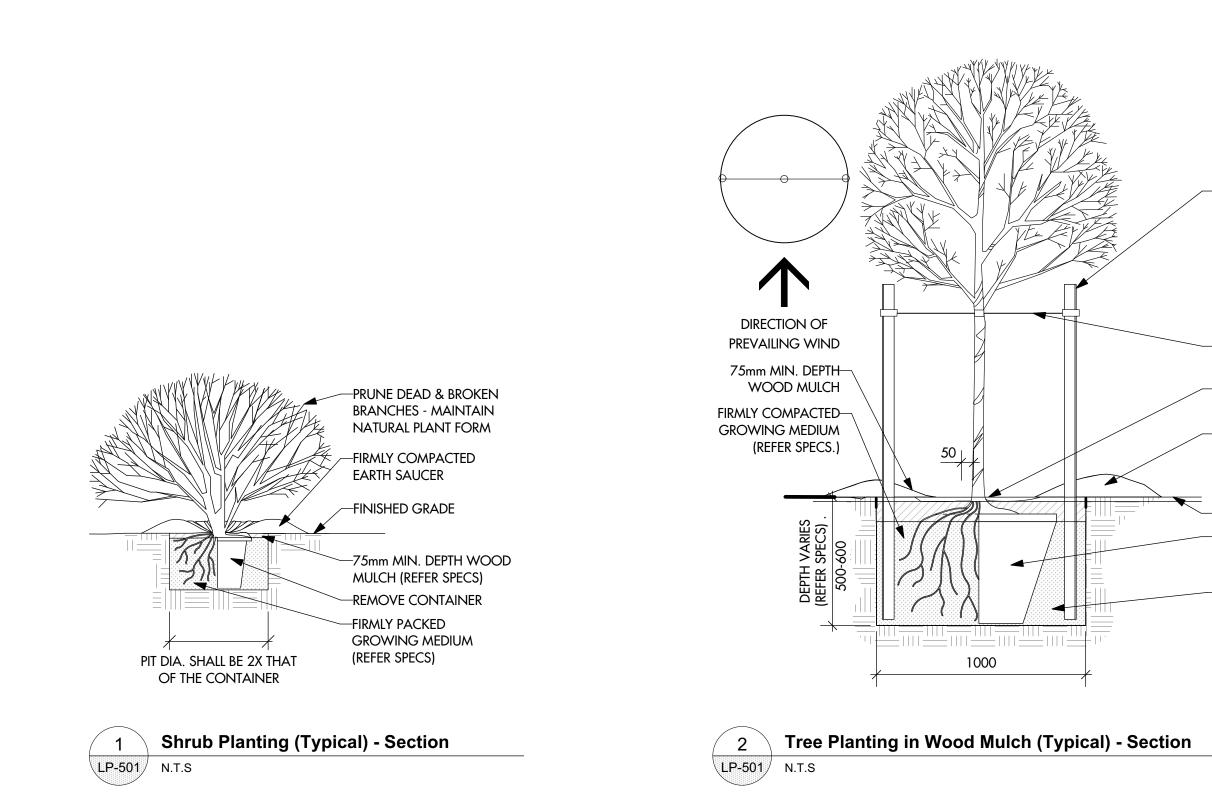


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### NOTE: IRRIGATION TO TREES AS PER APPROVED IRRIGATION PLAN

-CEDAR OR PRESSURE TREATED TIMBER STAKE - USE (2) 75MM DIA. X 2000mm HEIGHT STAKES. PLACE STAKE BEYOND THE EDGE OF THE ROOTBALL. ENSURE STAKES PENETRATE INTO A SOLID SUB-SOIL BASE. ORIENT STAKES TO BE PERPENDICULAR TO THE PREVAILING WIND. (INSTALL IN AT GRADE CONDITIONS ONLY)

GUYWIRE - ATTACH NO. 11 GALVANIZED WIRE TO TREE -SLING STRAP, 20" WITH #4 GROMMET AROUND STEM ABOVE FIRST BRANCH (TYP. OF 2)

-REMOVE EXCESS SOIL & CIRCLING ROOTS FROM THE TOP OF THE ROOT BALL TO EXPOSE TRUNK FLARE.

-50mm MIN. DEPTH EARTHEN SAUCER W/ MULCH, ROOTBALL/ TRUNK FLARE NOT TO BE BURIED W/ GROWING MEDIUM OR MULCH

### -FINISH GRADE

-CONTAINER GROWN SPECIMEN TREE PLANTED IN CENTER OF TREE PIT; REMOVE CONTAINER WHEN PLANTING

-TREE PIT EXCAVATED TO SPECIFICATION AND FILLED WITH APPROVED TOPSOIL/COMPOST MIX, PER SPECS

SCHEDU	JLE C
This forms part	of application DVP21-0224
# <u>D121-0223</u>	City of
Planner Initials KB	Kelowna DEVELOPMENT PLANNING



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PROJECT TITLE

### 155-179 RUTLAND ROAD NORTH

Kelowna, BC

DRAWING TITLE

## PLANTING DETAILS

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### **CITY OF KELOWNA**

### **MEMORANDUM**

Date:	October 27, 2021 April 8, 2022	
File No.:	DP21-0223	
То:	Planning and Development Officer ( <del>LK</del> ) (KB)	
From:	Development Engineering Manager ( <del>RO</del> ) (NC)	
Subject:	155, 165, & 175-179 Rutland Rd N	Form and Character

### This amended memo outlines the Development Engineering Branch's updated comments and the original memo comments have been retained as black with updates shown in red.

The Development Engineering Branch has the following comments and requirements associated with this application to review the form and character of a 8 storey mixed use building with ground floor commercial, 7 floors of residential, and 2 floors of underground parking. All requirements will be application at time of Building Permit. The Development Engineering Technician for this project will be Sarah Kelly (<u>skelly@kelowna.ca</u>).

#### 1. <u>GENERAL</u>

- a. The following requirements are valid for two (2) years from the reference date of this memo, or until the application has been closed, whichever occurs first. The City of Kelowna reserves the rights to update/change some or all items in this memo once these time limits have been reached.
- b. This proposed development may require the installation of centralized mail delivery equipment. Please contact Arif Bhatia, Delivery Planning Officer, Canada Post Corporation, 530 Gaston Avenue, Kelowna, BC, V1Y 2K0, (250) 859-0198, arif.bhatia@canadapost.ca to obtain further information and to determine suitable location within the development.
- c. There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.
- d. These Development Engineering comments/requirements are subject to the review and requirements from the Ministry of Transportation and Infrastructure (MoTI).
- e. Consolidation of subject lots and dedication of approximately <del>3m</del> 1m of road along the full frontage of all lots will be a requirement of this development. An additional 2m road reserve will be required along the full frontage of the consolidated lot.

#### 2. DOMESTIC WATER AND FIRE PROTECTION

a. The subject lots are located within the Rutland Waterworks District (RWD) service area. The developer is required to make satisfactory arrangements with RWD for all water and fire protection-related issues. All charges for service connection and



upgrading costs, as well as any costs to decommission existing services, shall be the responsibility of the developer.

- b. The Developer's Consulting Mechanical Engineer will determine the fire protection requirements of this proposed development and establish hydrant requirements and service needs. All fire flow calculations approved by RWD are to be shared with the Development Engineering Branch upon submittal of off-site civil engineering drawings.
- c. The water system must be capable of supplying the domestic and fire flow demands of the project in accordance with the Subdivision, Development, & Servicing Bylaw No. 7900. Provide water flow calculations for this development to confirm bylaw conformance (150 L/s for apartments/townhouses). Ensure building site is located at an elevation that ensures water pressure is within the bylaw pressure limits. Note: Private pumps are not acceptable for addressing marginal pressure.

#### 3. SANITARY SEWER SYSTEM

- a. The subject lots are currently each serviced with a 150 mm sanitary service off Rutland Rd N. The Applicant's Consulting Mechanical Engineer will determine the requirements of the proposed development and establish the service needs. Only one service will be permitted for this development.
- b. The applicant, at their cost, will arrange for the removal and disconnection of the existing services and installation of one new larger service. New service connection required to be completed with an inspection chamber (c/w Brooks Box) as per SS-S7 and SS-S9.

### 4. STORM DRAINAGE

- a. The property is located within the City of Kelowna drainage service area. For onsite disposal of drainage water, a hydrogeotechnical report will be required complete with a design for the disposal method (i.e. trench drain / rock pit). The Lot Grading Plan must show the design and location of these systems.
- b. Provide the following drawings:
  - i. A detailed Lot Grading Plan (indicate on the Lot Grading Plan any slopes that are steeper than 30% and areas that have greater than 1.0 m of fill);
  - ii. A detailed Stormwater Management Plan for this subdivision; and,
  - iii. An Erosion and Sediment Control Plan is to be prepared by a Professional Engineer proficient in the field of erosion and sediment control. The plan is to be prepared as per section 3.14 of Schedule 4 of Bylaw 7900. If a line item for ESC is not included in the Engineer's cost estimate for offsite work, then an additional 3% will be added to the performance security based on the total off-site construction estimate.
- c. On-site detention systems are to be compliant with Bylaw 7900, Schedule 4, Section 3.11.1 *Detention Storage*.
- d. As per Bylaw 7900, Schedule 4, Section 3.1.3 Climate Change, the capacity of storm works will include an additional 15 percent (15%) upward adjustment, and applied to the rainfall intensity curve stage (IDF) in Section 3.7.2.



- e. Show details of dedications, rights-of-way, setbacks and non-disturbance areas on the lot Grading Plan.
- f. Register right of ways on private properties for all the storm water infrastructure carrying, conveying, detaining and/or retaining storm water that is generated from the public properties, public road right of ways, and golf course lands.
- g. Where structures are designed or constructed below the proven high groundwater table, permanent groundwater pumping will not be permitted to discharge to the storm system. The City will approve designs that include provisions for eliminating groundwater penetration into the structure, while addressing buoyancy concerns. These design aspects must be reviewed and approved by the City Engineer.

#### 5. ROAD IMPROVEMENTS

- a. Rutland Rd N is included in the 20 Year Major Roads Network as a 4-Lane Arterial and must be upgraded to a full urban standard along the full frontage of the subject property. Required upgrades must include curb and gutter, separated sidewalk, storm drainage system, LED street lighting, landscaped and irrigated boulevard, pavement removal and replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. Road cross section will be provided to consulting engineer, upon request, at time of detailed offsite design.
- b. All Landscape and Irrigation plans require design and inspection by a Qualified Professional registered with the BCSLA and the IIABC, are to be included as a line item in the estimate for the Servicing Agreement performance security. Landscape and irrigation plans require approval by the Development Engineering Branch at the same time as other "issued for construction" drawings.
- c. Streetlights must be installed on all public roads. All streetlighting plans are to include photometric calculations demonstrating Bylaw 7900 requirements are met and approval by the Development Engineering Branch at the same time as other "issued for construction" drawings.

#### 6. <u>POWER AND TELECOMMUNICATION SERVICES</u>

- a. All proposed distribution and service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.
- b. If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.
- c. Re-locate existing poles and utilities, where necessary including within lanes. Remove aerial trespass(es).

### 7. <u>GEOTECHNICAL STUDY</u>

a. At the time of Building Permit application the applicant is required to provide a comprehensive geotechnical report (3 copies), prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below:



<u>NOTE</u>: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.

- b. The Geotechnical reports must be submitted to the Planning and Development Services Department (Planning & Development Officer) for distribution to the Works & Utilities Department and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval.
  - i. Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
  - ii. Site suitability for development.
  - iii. Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
  - iv. Any special requirements for construction of roads, utilities, and building structures.
  - v. Recommendations for items that should be included in a Restrictive Covenant.
  - vi. Recommendations for roof drains and perimeter drains.
  - vii. Recommendations for erosion and sedimentation controls for water and wind.
  - viii. Any items required in other sections of this document.

#### 8. ROAD DEDICATION/SITE ACCESS

- a. Only one driveway, with a maximum width of 6m, will be permitted and is to be formalized with a concrete letdown as per SS-C7. All additional accesses must be removed.
- b. A <del>3m</del> 1m road dedication and 2m of road reserve is required along the full frontage of the subject lots to achieve to future 30m ROW.
- c. A statutory right of way is required over the 2m road reserve to allow for public access to the sidewalk within the road reserve area.
- d. Access to this development will be limited to right-in and right-out turns only. Driveway design must incorporate median to restrict turning movements.
- e. Indicate on the site, the locations of the garbage and recycle bins. Provide turning movements for a MSU vehicle to confirm manoeuvrability on site without requiring reverse movement onto City roads.

#### 9. DESIGN AND CONSTRUCTION

a. Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.



- b. Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c. Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d. A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e. Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

#### 10. SERVICING AGREEMENT FOR WORKS AND SERVICES

- a. A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b. Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

### 11. CHARGES AND FEES

- a. Development Cost Charges (DCC's) are payable.
- b. Fees per the "Development Application Fees Bylaw" include:
  - i. Street/Traffic Sign Fees: at cost (to be determined after design).
  - ii. Survey Monument Fee: \$50.00 per newly created lot (GST exempt).
  - iii. Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) only if disturbed.
  - iv. Engineering and Inspection Fee: 3.5% of frontage upgrades (plus GST).

Ryan O'Sullivan Nelson Chapman, P. Eng

Development Engineering Manager

SK

Chapter 2 - The Design Foundatio	ons: apply to all projects and provide the ov creativity, innovation and design excell • Facilitate Active Mobility • Use Placemaking to Strengthen Neig	ence in Kelowna.
	<ul> <li>Create Lively and Attractive Streets 8</li> <li>Design Buildings to the Human Scale</li> <li>Strive for Design Excellence</li> </ul>	
The General Residential and Mixe	Foundations. • The General Guidelin guidelines (e.g., Towr Residential and Mixe	es that all residential and mixed use achieve to support the Design es are supplement by typology-specific nhouses & Infill on page 18-19, High-Ris d-Use on page 18-42), which provide about form and character.
	Chapter 2 - Design Foundation Apply To All Projects Page 18-8	าร
	eneral Residential and Mixed Use Page 18-9 ection 2.2 - Achieving High Perfor Page 18-17	
Chapter 3 Townhouses & Infill	Chapter 4 Low & Mid-Rise Residential & Mixed Use	Chapter 5 High-Rise Residential & Mixed Use
Page 18-19	Page 18-34	Page 18-42

\*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.



### FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
CHAPTER 4.o: LOW & MID-RISE RESIDENTIAL & MIXED USE						
4.1 Guidelines						
4.1.1 Relationship to the Street						
Lobby area and main building entrance is clearly visible from the fronting					$\checkmark$	
street and sidewalk.						
Wherever possible, blank walls at grade are not encouraged.			~			
Enclosed parking garages are located away from street frontages or						✓
public open space.						
Ground oriented units with entries or glazing have been provided to						$\checkmark$
avoid the blank/dead frontage along the street.						
When unavoidable, blank walls have been screened with landscaping or			$\checkmark$			
have been incorporated with a patio/café or special materials have been						
provided to make them visually interesting.						
Commercial & Mixed-use Buildings		1				1
Proposed built form has a continuous active and transparent retail					$\checkmark$	
frontage at grade and provides a visual connection between the public						
and private realm.						
Buildings have been sited using a common 'build to' line at or near the						~
front property line to maintain a continuous street frontage. Some						
variation (1-3m maximum) can be accommodated in ground level set						
backs to support pedestrian and retail activity by, for example,						
incorporating a recessed entryway, small entry plaza, or sidewalk café.						
Frequent entrances (every 15 m maximum) into commercial street						$\checkmark$
frontages have been incorporated to create punctuation and rhythm						
along the street, visual interest, and support pedestrian activity.						
Residential and Mixed-use Buildings						
Residential buildings at the ground floor have a set back between 3-5m	✓					
from the property line to create a semi-private entry or transition zone to						
individual units and to allow for an elevated front entryway or raised						
patio.						
A maximum 1.2m desired height (e.g., 5-6 steps) for front entryways has	$\checkmark$					
been provided. Where the water table requires this to be higher, in these						
cases, larger patio has been provided and parking has been screened						
with ramps, stairs, and landscaping.						
Ground floor units accessible from the fronting street or public open	✓					
spaces have been provided with individual entrances.						
Buildings are sited and oriented so that windows and balconies are					$\checkmark$	
overlooking public streets, parks, walkways, and shared amenity spaces						
while minimizing views into private residences.						

This forms part of application # DP21-0223 DVP21-0224						
Planner Initials KB EVELOPMENT HANNING			DP21			L-0224 ., 2022
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
4.1.2 Scale and Massing		1	1	-		
Proposed residential building façade has a length of 6om (4om length is preferred).					~	
Buildings over 40m in length are incorporating significant horizontal and vertical breaks in façade.				~		
Commercial building facades are incorporating significant break at approximately 35m intervals.				<b>√</b>		
Proposed residential building has a maximum width of 24m.					~	
Seven to Twelve Storey Buildings						
Proposed building is provided with a 2-3 storey podium at the base of the building.				~		
Built form's upper storeys have a minimum 2m stepback and more generous upper storey terraces facing south, and west are provided.		~				
Minimum 30m building separation between primary building facades is provided.	✓					
Courtyards and mid-block connections within building sideyards are 6m wide (minimum).	<b>√</b>					
4.1.3 Site Planning			•	•	•	
On sloping sites, building floor levels are following the natural grade and avoiding the blank wall situation.	~					
Buildings are sited to be parallel to the street and have a distinct front-to- back orientation to public street and open spaces and to rear yards, parking, and/or interior courtyards.						~
Building sides that are interfacing with streets, mid-block connections, and other open spaces (building fronts) are positively framing and						~
activating streets and open spaces and supporting pedestrian activity. Larger buildings are broken up with mid-block connections which have public accessibility wherever possible.	~					
Ground floors adjacent to mid block connections have entrances and windows facing the mid block connection.	<b>√</b>					
4.1.4 Site Servicing, Access, and Parking		1	<u> </u>	<u> </u>	1	
Vehicular access is provided from the lane.	✓					
<ul> <li>Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access is provided from the street, provided: <ul> <li>Access is from a secondary street, where possible, or from the long face of the block;</li> <li>Impacts on pedestrians and the streetscape is minimized; and, There is no more such out non-more such as a provided of the streetscape.</li> </ul></li></ul>						✓
• There is no more than one curb cut per property. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms.						~

ATTACHME	NT C						
This forms part of app	ication						
# DP21-0223 DVP2	City of			DP21	-0223	DVP2:	L-0224
Planner Initials KB	Kelowna development plannag			_	-		, 2022
	RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
	(1 is least complying & 5 is highly complying)						
	When parking cannot be located underground due to the high water						$\checkmark$
	table and is to be provided above ground, screen the parking structure						
	from public view as follows:						
	<ul> <li>On portions of the building that front a retail or main street,</li> </ul>						
	<ul> <li>line the above ground parking with active retail frontage;</li> <li>On portions of the building that front onto non-retail streets,</li> </ul>						
	line the above ground parking with an active residential						
	frontage, such as ground oriented townhouse units;						
	<ul> <li>When active frontages are not able to be accommodated,</li> </ul>						
	screen parking structures by using architectural or						
	landscaped screening elements;						
	<ul> <li>On corner sites, screen the parking structure from public view</li> </ul>						
	on both fronting streets using the appropriate strategy listed						
	above.						
	Buildings with ground floor residential may integrate half-storey	$\checkmark$					
	underground parking to a maximum of 1.2m above grade, with the						
	following considerations:						
	• Semi-private spaces should be located above to soften the edge						
	and be at a comfortable distance from street activity; and						
	• Where conditions such as the high water table do not allow for						
	this condition, up to 2m is permitted, provided that entryways,						
	stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.						
	, ,						
	4.1.5 Publicly Accessible and Private Open Spaces	,	-	_			
	Publicly accessible private spaces (e.g,. private courtyards accessible and	$\checkmark$					
	available to the public) have been integrated with public open areas to						
	create seamless, contiguous spaces.			_			
	Semi-private open spaces have been located to maximize sunlight					$\checkmark$	
	penetration, minimize noise disruptions, and minimize 'overlook' from						
	adjacent units. Outdoor Amenity Areas: design plazas and parks to:			+			$\left  - \right $
	<ul> <li>Contain 'three edges' (e.g., building frontage on three sides)</li> </ul>						
	where possible and be sized to accommodate a variety of						
	activities;						
	<ul> <li>Be animated with active uses at the ground level; and,</li> </ul>						
	<ul> <li>Be located in sunny, south facing areas.</li> </ul>						
	Internal courtyard design provides:	✓	-	+			
	amenities such as play areas, barbecues, and outdoor seating						
	where appropriate.						
	• a balance of hardscape and softscape areas to meet the specific						
	needs of surrounding residents and/or users.						
	Mid-block connections design includes active frontages, seating, and landscaping.	~					
	Rooftop Amenity Spaces		<u> </u>		1	1	
	· · · · · · · · · · · · · · · · · · ·	1					

ATTACHME								
This forms part of app # DP21-0223 DVP								
	City of				DP21	-0223	DVP21	-0224
Planner Initials KB					1	<u> </u>	May 31	, 2022
	RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE		N/A	1	2	3	4	5
	(1 is least complying & 5 is highly complying)	-						$\checkmark$
	Shared rooftop amenity spaces (such as outdoor recreation space ar							v
	rooftop gardens on the top of a parkade) are designed to be accessil	ble to						
	residents and to ensure a balance of amenity and privacy by:							
	<ul> <li>Limiting sight lines from overlooking residential units to out</li> </ul>							
	amenity space areas through the use of pergolas or covered							
	areas where privacy is desired; and							
	<ul> <li>Controlling sight lines from the outdoor amenity space into adjacent or paarby residential units</li> </ul>							
	into adjacent or nearby residential units.		/					
	Reduce the heat island effect by including plants or designing a gree roof, with the following considerations:							
	<ul> <li>Secure trees and tall shrubs to the roof deck; and</li> </ul>							
	•	lante						
	<ul> <li>Ensure soil depths and types are appropriate for proposed p and answe drainage is assembled at ad</li> </ul>	Idnits						
	and ensure drainage is accommodated.							
	4.1.6 Building Articulation, Features & Materials			1	1	1	1	
	Articulate building facades into intervals that are a maximum of 15m							~
	wide for mixed-use buildings and 20m wide for residential buildings							
	Strategies for articulating buildings should consider the potential							
	impacts on energy performance (see 2.2.1), and include:							
	Façade Modulation – stepping back or extending forward a							
	portion of the façade to create a series of intervals in the fac	ade;						
	Repeating window patterns at intervals that correspond to							
	extensions and step backs (articulation) in the building facao	-						
	Providing a porch, patio, deck, or covered entry for each integration	erval;						
	Providing a bay window or balcony for each interval, while							
	balancing the significant potential for heat loss through the							
	bridge connections which could impact energy performance							
	Changing the roof line by alternating dormers, stepped roof							
	gables, or other roof elements to reinforce the modulation of	br						
	articulation interval;	a d						
	<ul> <li>Changing the materials with the change in building plane; and Dravide a lighting fivture, trallis, trad, or other landscape for</li> </ul>							
	<ul> <li>Provide a lighting fixture, trellis, tree, or other landscape fea within each interval.</li> </ul>	luie						
	Break up the building mass by incorporating elements that define a						$\checkmark$	
	building's base, middle and top.							
	Use an integrated, consistent range of materials and colors and prov	/ide					✓	
	variety by, for example, using accent colors.	iac						
	Articulate the facade using design elements that are inherent to the							$\checkmark$
	building as opposed to being decorative. For example, create depth							
	building facades by recessing window frames or partially recessing							
	balconies to allow shadows to add detail and variety as a byproduct	of						
	massing.							
	Incorporate distinct architectural treatments for corner sites and hig	jhly			1	1	$\checkmark$	
	visible buildings such as varying the roofline (See Figure 41), articulat							
	the facade, adding pedestrian space, increasing the number and size							
	windows, and adding awnings and canopies.							
	Weather Protection							

Page 5

ATTACHME	NT C						
This forms part of ap							
# DP21-0223 DVF	City of				0222		1-0224
Planner Initials KB	Kelowna			DF 21	-		, 2022
	RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
	(1 is least complying & 5 is highly complying)						
	Provide weather protection (e.g. awnings, canopies, overhangs, etc.)						$\checkmark$
	along all commercial streets and plazas ( <i>See Figure 42</i> ), with particular						
	attention to the following locations:						
	<ul> <li>Primary building entrances,</li> </ul>						
	<ul> <li>Adjacent to bus zones and street corners where people wait for</li> </ul>						
	traffic lights;						
	<ul> <li>Over store fronts and display windows; and</li> </ul>						
	• Any other areas where significant waiting or browsing by people						
	OCCURS.						
	Architecturally-integrate awnings, canopies, and overhangs to the						$\checkmark$
	building and incorporate architectural design features of buildings from						
	which they are supported.						
	Place and locate awnings and canopies to reflect the building's						$\checkmark$
	architecture and fenestration pattern.						
	Place awnings and canopies to balance weather protection with daylight					$\checkmark$	
	penetration. Avoid continuous opaque canopies that run the full length						
	Signage			1	1	1	
	Provides attractive signage on commercial buildings that identifies uses						$\checkmark$
	and shops clearly but which is scaled to the pedestrian rather than the						
	motorist. Some exceptions can be made for buildings located on						
	highways and/or major arterials in alignment with the City's Sign Bylaw.						
	Avoid the following types of signage:						$\checkmark$
	<ul> <li>Internally lit plastic box signs;</li> </ul>						
	<ul> <li>Pylon (stand alone) signs; and</li> </ul>			1			
	Rooftop signs.	,					
	Uniquely branded or colored signs are encouraged to help establish a	$\checkmark$					
	special character to different neighbourhoods.						



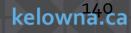
# DP21-0223 DVP21-0224 155-179 Rutland Rd

Development Permit and Development Variance Permit Application

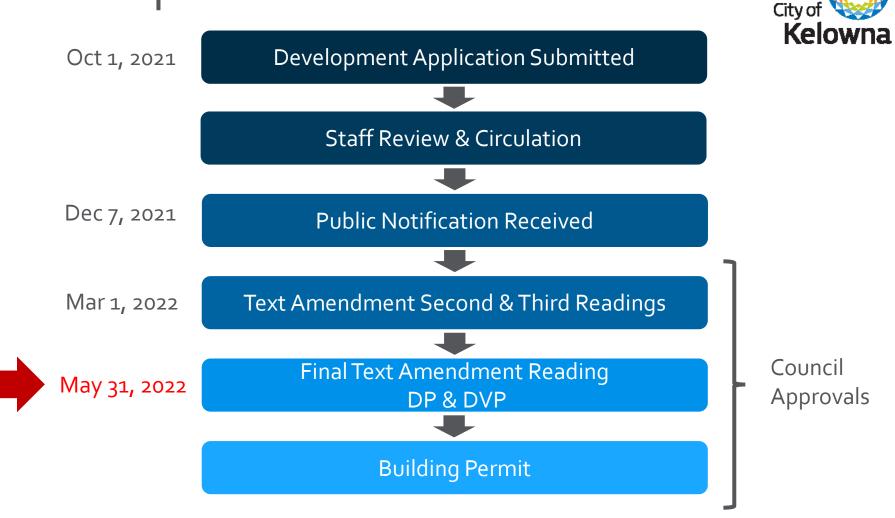


# Proposal

To issue a Development Permit for the form and character of a mixed-use building and to issue a Development Variance Permit to vary the requirement for any portion of a building above 16.0 m or 4 storeys in height to be setback a minimum 3.0 m from all sides

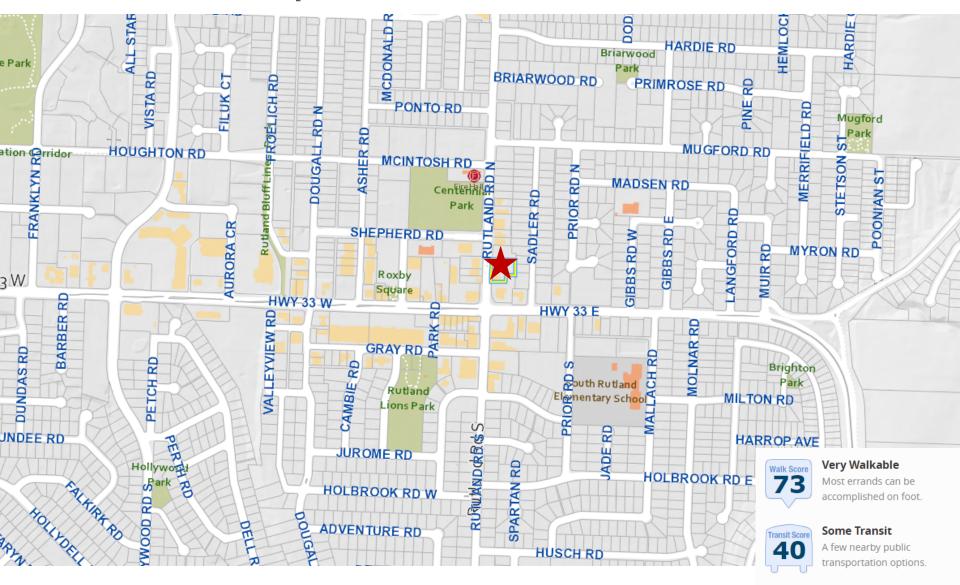


# **Development Process**



kelowna.ca

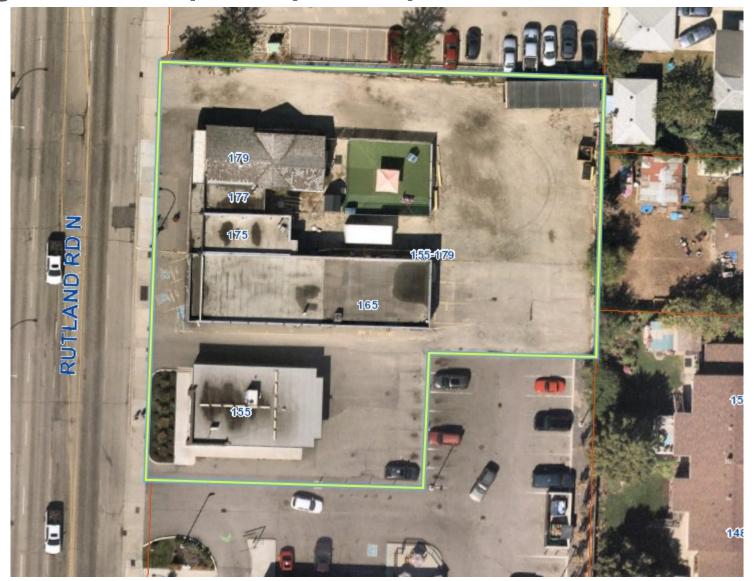
# **Context Map**





Very Bikeable Biking is convar 4 2 for most trips.

### Subject Property Map



City of Kelowna

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### Current View from Rutland Rd N

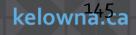




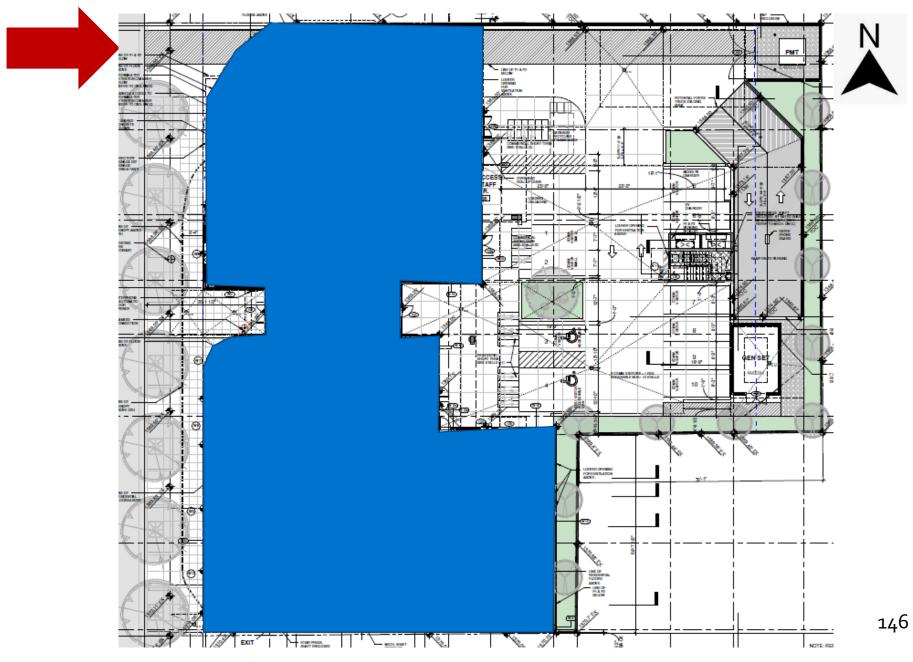
# **Technical Details**

Mixed-use development

- ▶ 6 ground-floor commercial units (713 m<sup>2</sup> total)
- 98 residential units
  - 70 one-bedroom units
  - 28 two-bedroom units
- Surface and underground parking
  - 115 total stalls, meets C4 parking requirements
- Private open space on balconies and a rooftop patio
- Rental units (does not have rental only subzone)



### Site Plan



# Renderings



# Renderings



### Street Facing Elevation (Rutland Rd N)

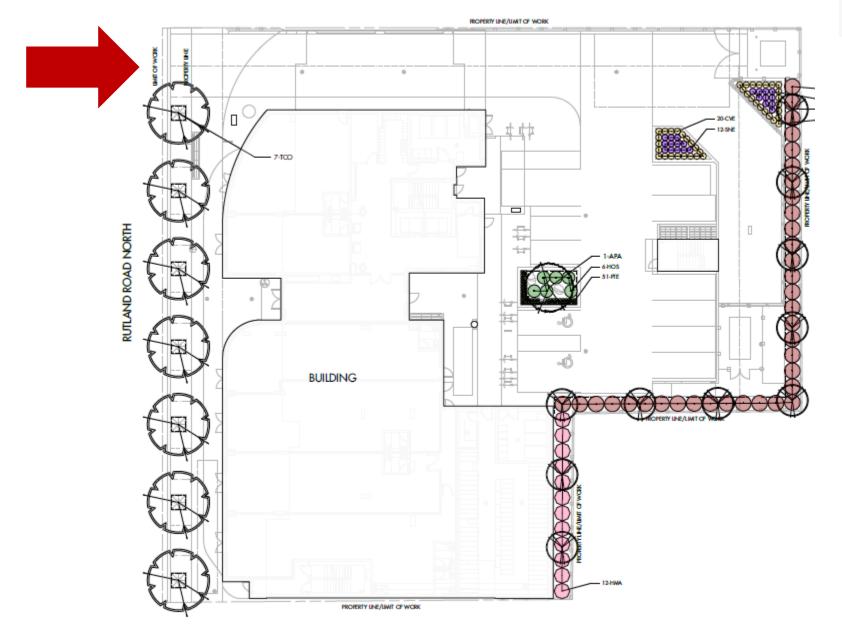


### Finish Schedule





### Landscape Plan



N

# Variance



- Requirement for any portion of a building above 16.0 m or 4 storeys in height to be setback a minimum 3.0 m from all sides
  - North and south portions of building do not comply
- Applicant has tried to mitigate the effect of the variances through art and patterns on the firewalls



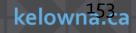




# **Development Policy**

### OCP Urban Centre Policies

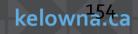
- Strengthen Urban Centres as primary hubs of activity.
- Increase the diversity of housing types and tenures to create inclusive, affordable and complete Urban Centres.
- OCP Design Guidelines
  - Lobbies and main building entries are clearly visible from the fronting street.
  - Use an integrated, consistent range of materials and colors.
  - Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.





# Staff Recommendation

- Staff recommend support for the DP & DVP application
  - Consistent with OCP Design Guidelines
    - Urban Infill Policies
    - Consistent with Urban Centre FLU Designation
  - Variance mitigated by art and patterns on firewalls
  - Appropriate location for ground floor commercial and residential density
    - Proximity to shopping areas, parks & cycling corridors, transit and schools





### Conclusion of Staff Remarks

### Neighbourhood Context



### **CITY OF KELOWNA**

### BYLAW NO. 12323 Z21-0088 — 1225 Findlay Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A Section 35 Township 26, ODYD, Plan EPP115452 located on Findlay Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the RM3 – Low Density Multiple Housing zone.
- 2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 28<sup>th</sup> day of February, 2022.

Approved under the Transportation Act this 2<sup>nd</sup> day of March, 2022.

Sean Potter

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk





Date:	May 31, 2022			
То:	Council			
From:	City Manager			
Department:	Development Planning			
Application:	DP21-0207 DVF	21-0208	Owner:	Findlay Development Inc., Inc.No. BC1302254
Address:	1225 Findlay Road		Applicant:	Lime Architecture Inc. Aplin & Martin Consultants Ltd.
Subject:	Development Permit and Development Variance Permit Application			
Existing OCP De	<b>CP Designation:</b> S-MU – Suburban Mult		ple Unit	
Existing Zone:	e: RM3 – Low Density Multi		tiple Housing	

#### 1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 12323 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP21-0207 for Lot A Section 35 Township 26 Osoyoos Division Yale District Plan EPP115452, located at 1225 Findlay Road, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
- The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0208 for Lot A Section 35 Township 26 Osoyoos Division Yale District Plan EPP115452, located at 1225 Findlay Road, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

#### Section 13.9.6(b): RM3 – Low Density Multiple Housing Development Regulations

To vary the required maximum building site coverage from 40 % permitted to 42 % proposed

#### Section 13.9.6(f): RM3 – Low Density Multiple Housing Development Regulations

To vary the required minimum site rear yard from 7.5 m permitted to 6.0 m proposed

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

#### 2.0 Purpose

To issue a Development Permit for the form and character of a multiple dwelling housing development and to issue a Development Variance Permit to vary the maximum building site coverage and minimum required site rear yard.

#### 3.0 Development Planning

Development Planning recommends support for the Development Permit and Development Variance Permit applications. The proposal is for a 20 unit housing development, and the form and character of the proposal is generally consistent with Urban Design Guidelines in the 2040 Official Community Plan (OCP). Key Urban Design guidelines that are met include:

- Design all units to have easy access to useable private or semi-private outdoor amenity space;
- Useable spaces within the open space areas (for sitting, gathering, and playing) are provided;
- Limit the number of connected townhouse units to a maximum of 6 units before splitting into multiple buildings;
- Ensure that internal circulation for vehicles is designed to accommodate necessary turning radii and provides for logical and safe access and egress; and
- Recessing or projecting of architectural features to highlight the identity of individual units.

#### <u>Variances</u>

There are two variances requested to facilite this proposal, for maximum site coverage and the minimum required rear yard. Planning Staff view the request to increase the maximum site coverage as a minor increase, and it is mitigated by the use of permeable pavers for the drive aisle. The variance to the required rear yard applies to the southern half of the property, as Building 4 was required to be shifted, to allow for on-site waste and recycling collection pick up and turn-around on-site.

Development Planning Staff have worked with the applicant over the past few months to achieve a proposal that complies with key 2040 OCP Urban Design Guidelines. Planning Staff recommend support for these variances, as they help facilitate a 20 unit housing development on a narrow, deep lot, that can often be difficult to develop in the absence of a public lane.

#### 4.0 Proposal

#### 4.1 <u>Background</u>

The subject property was recently consolidated and contains single dwelling housing. These dwellings would be demolished to facilitate the proposed development.

#### 4.2 Project Description

The proposal contains 20, three-bedroom dwelling units, located in 4 separate buildings. As the property is not serviced by a lane, there is one central drive aisle off Findlay Road. Parking is accommodated on site, by providing side-by-side garages for the units. In addition, three visitor parking stalls are accessed off the drive aisle and located near the units. Waste and Recycling are collected on site, and contained in Molok bins, which are screened from public view. Each unit has a private deck, small landscaped yard, and there's communal garden planters, a barbeque and seating area and small childrens play area also provided on-site.

#### Form and Character

The two end units fronting on to Findlay Rd have been articulated to differentiate them to provide visual interest, as well as ground-oriented entry. Exterior building materials include hardie plank and stucco, which are known for their durability.

#### 4.3 <u>Site Context</u>

The subject property is located on the east side of Findlay Road, at the intersection of Stremel Road. It's located outside of the Urban Core and has a walk score of 27 indicating that most errands require a car.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single Dwelling Housing
East	RU1 – Large Lot Housing	Vacant Land
South	RU1 – Large Lot Housing	Single Dwelling Housing
West	RU1 – Large Lot Housing	Single Dwelling Housing



#### Subject Property Map: 1225 Findlay Road

Zoning Analysis Table			
CRITERIA	RM <sub>3</sub> ZONE REQUIREMENTS	PROPOSAL	
Development Regulations			
Max. Floor Area Ratio	0.8	0.79	
Max. Site Coverage (buildings)	40 %	42 % 🛛	
Max. Site Coverage (buildings, parking, driveways)	65%	63 %	
Max. Height	10.0 m / 3 storeys	9.7 m / 3 storeys	
Min. Front Yard (west)	1.5 M	1.8 m	
Min. Side Yard (south)	4.0 m	5.1 M	
Min. Side Yard (north)	4.0 m	5.1 m	
Min. Rear Yard (east)	7.5 M	6.0 m 2	
	Other Regulations		
Min. Distance Between Principal Buildings	3.0 m	5.6 m	
Min. Parking Requirements	43 stalls	43 stalls	
Min. Bicycle Parking	5 short term	5 short term	
Min. Private Open Space	500 m <sup>2</sup>	500 m²	

#### 4.4 Zoning Analysis Table

Indicates a requested variance to the minimum rear yard

#### 5.0 Current Development Policies

#### 5.1 Kelowna Official Community Plan (OCP)

Objective 7.2. De adaptable.	sign Suburban Neighbourhoods to be low impact, context sensitive and
Policy 7.2.1. Ground-Oriented Housing.	Consider a range of low density ground-oriented housing development to improve housing diversity and affordability and to reduce the overall urban footprint of Suburban Neighbourhoods. Focus more intensive ground- oriented housing where it is in close proximity to small scale commercial services, amenities like schools and parks, existing transit service and/or active transportation facilities. The application includes ground-oriented multiple dwelling housing that is in close
	proximity to parks and commercial services.
Objective 7.6. Sup	port a variety of low-density housing.
Policy 7.6.1. Family-friendly multi-unit	Encourage multi-unit developments near schools to include a variety of unit sizes, including three or more bedrooms.
housing.	
	The application facilitates a ground-oriented multiple dwelling housing development, consisting of three-bedroom units, in close proximity to Pearson Road Elementary School.

#### 6.o Technical Comments

#### 6.1 <u>Development Engineering Department</u>

All works and services requirements related to this development are addressed in the Development Engineering memo for rezoning under file Z21-0088.

#### 7.0 Application Chronology

Date of Application Accepted:	September 10, 2021
Date Public Consultation Completed:	December 8, 2021
Date of Rezoning 1 <sup>st</sup> , 2 <sup>nd</sup> and 3 <sup>rd</sup> Reading:	February 28, 2022

Report prepared by:	Kimberly Brunet, Planner II
Reviewed by:	Dean Strachan, Community Planning & Development Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

#### Attachments:

Attachment A: Draft Development Permit DP21-0207 and DVP21-0208

Schedule A: Site Plan

Schedule B: Elevations, Floorplans and Materials/Colour Board

Schedule C: Landscape Plan

Attachment B: OCP Form and Character Development Permit Guidelines

Attachment C: Renderings



### Development Permit & Development Variance Permit DP21-0207 DVP21-0208



This permit relates to land in the City of Kelowna municipally known as

#### 1225 Findlay Road

and legally known as

#### Lot A Section 35 Township 26 Osoyoos Division Yale District Plan EPP115452

and permits the land to be used for the following development:

#### **Multiple Dwelling Housing**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision	May 31, 2022
Decision By:	Council
Development Permit Area:	Form and Character Development Permit Area
Existing Zone:	RM3 – Low Density Multiple Housing
Future Land Use Designation:	Suburban - Multiple Unit (S-MU)

#### This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

#### NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Findlay Development Inc., Inc.No. BC1302254

Applicant: Lime Architecture Inc. and Aplin & Martin Consultants Ltd

Planner: K. Brunet

Terry Barton Community Planning Department Manager Planning & Development Services Date



#### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

#### 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

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To vary the required maximum building site coverage from 40 % permitted to 42 % proposed

#### Section 13.9.6(f): RM3 - Low Density Multiple Housing Development Regulations

To vary the required minimum rear yard from 7.5 m permitted to 6.0 m proposed

#### This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

#### 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit **OR** certified cheque in the amount of **\$39,180.00** 

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

#### 5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

Development Planning Department 1435 Water Street Kelowna BC V1Y 1J4 planninginfo@kelowna.ca 250 469 8626



The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.

# 1225 & 1245 Findlay Road, Kelowna, BC

RU1

RM3

MRL

CIVIC: 1225 & 1245 Findlay Road, Kelowna, BC LEGAL: 1225: Lot 1, Plan KAP17816, KID 221251 1245: Lot A, Plan KAP15281, KID 217873

ZONING INFORMATION AND CALCULATIONS:
Current Zoning :
Proposed Zoning:
Future Land Use (at the time of Rezoning Application):

SITE INFORMATION:

37,343 ft² (1,011.3 m²) Gross Site Area= Allowable Building Site Coverage= Allowable Total Site Coverage=

F.A.R. =

Building Height: Max. Height =

Required

50% private outdoor bonus (18,672 ft<sup>2</sup>) 65% with permeable bonus (24,273 ft<sup>2</sup>)

.8 with parking bonus (29,874 ft<sup>2</sup>)

Allowed: 10m (32.8 ft) or 3 storeys



### Proposed

45% (16,749ft²) 63% (23,580 ft² including permeable pavers)

 $\square$ 

PLAN

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Proposed: 9.7m (31.9 ft)/3 storeys



Yard setbacks:

Required:

### REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE DETAILS

Proposed: 1.8m 5.8m 6.0m (SOUTHWEST CORNER ONL Proposed:	SCHEDULE This forms part of applica # DP21-0207 DVP21- Planner Initials KB	LIFECTURE INC. PHONE:250-448-7801 205-1626 Richter Street, Kelowna, BC V1Y 2M3 www.limearchitecture.com COPYRIGHT. ALL RIGHTS RESERVED All ideas, designs, drawings and specifications are the exclusive property of LIME Architecture Inc. As instruments of service, they may not be used or reproduced in any manner without the expressed written consent of LIME Architecture Inc. All Contracting Trades shall check and verify all levels, dimensions, data and conditions on the site prior to commencement of any work. Any discrepancies are to be reported immediately to LIME Architecture Inc. Do not Scale any dimensions from this drawing.
40 (garage) 3 43 40 (2/garage) 5		the british columbia building code - (most recent edition) including all published revisions and addenda. All trades shall assume full responsibility for the locations and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone.
		Revision No., Date and Description 04.27.21 - FOR CLIENT REVIEW 04.29.21 - FOR REVIEW 05.28.21 - REV FOR CITY PRE-APP 05.31.21 - CITY PRE-APP REVS 07.19.21 - FOR DVP REVIEW 08.11.21 - FOR REZONING & DVP 09.01.21 - ADDENDUM NO.1 11.02.21 - TRS SUPPORT INFO. 11.05.21 - TRS REVISIONS 12.01.21 - PROJECT REVISIONS 12.01.21 - FOR CITY REVIEW 12.20.21 - FOR REVIEW 02.02.22 - FOR CLIENT REVIEW 02.06.22 - ADDENDUM NO.2 04.28.22 - FOR COORDINATION 05.10.22 - ADDENDUM NO.4



## ADDENDUM NO. 4

**Drawing No.** 

A-001

Plot Date

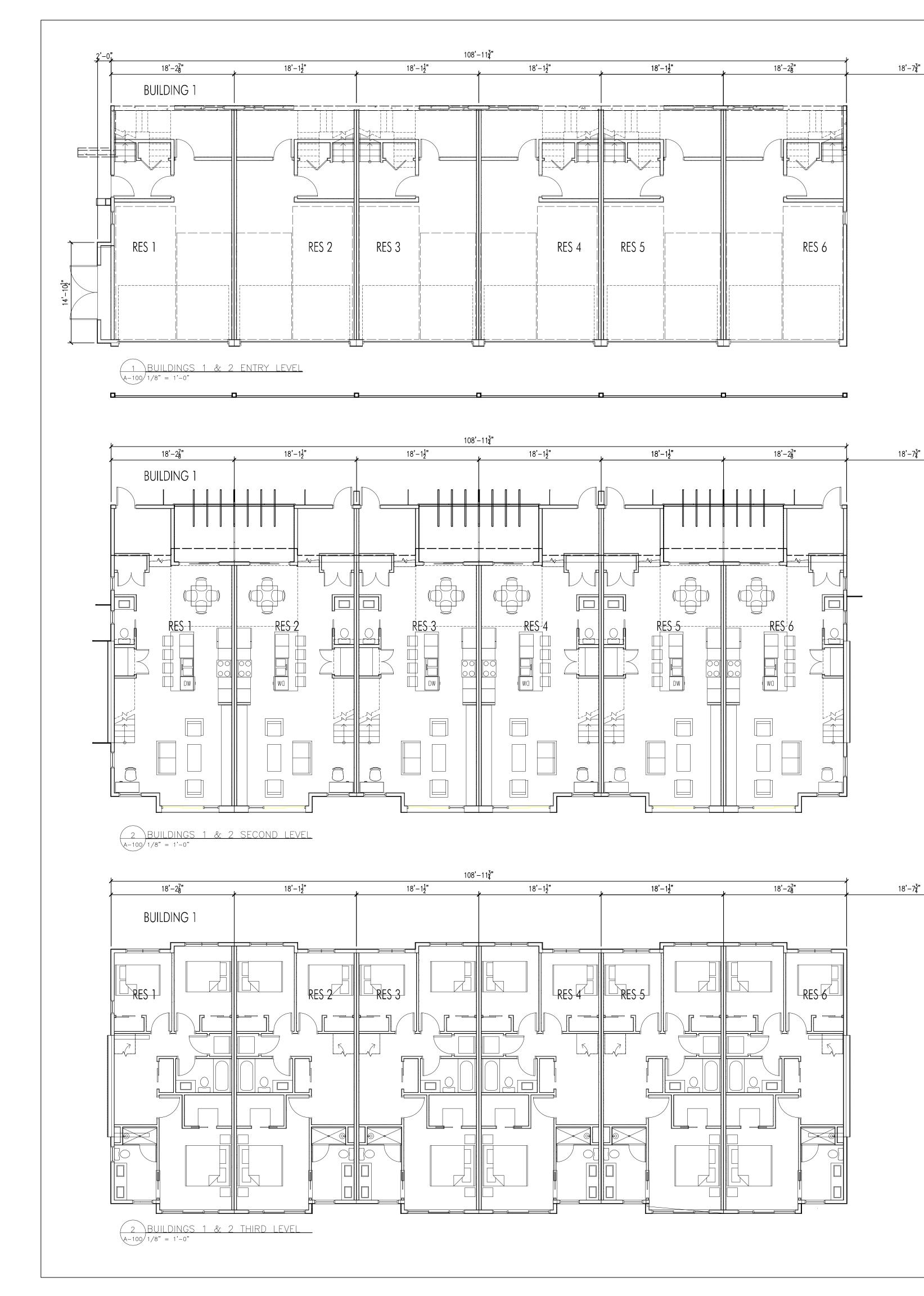
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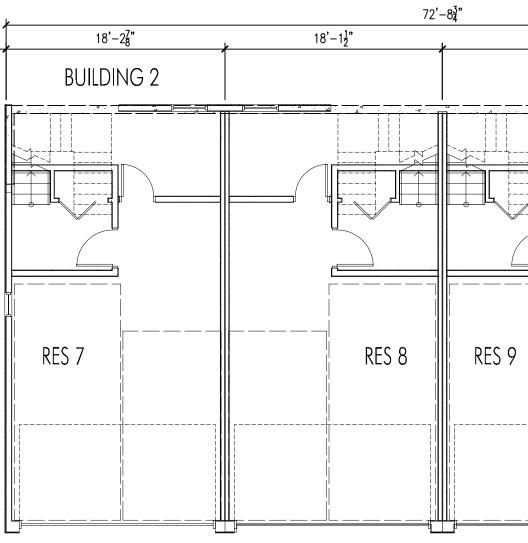
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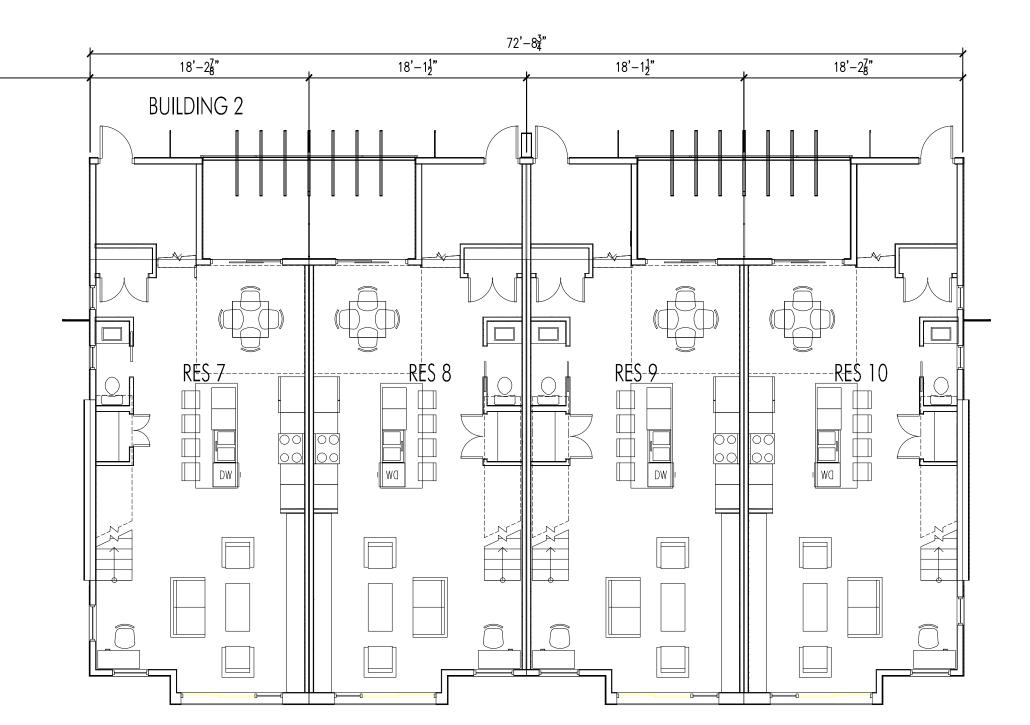
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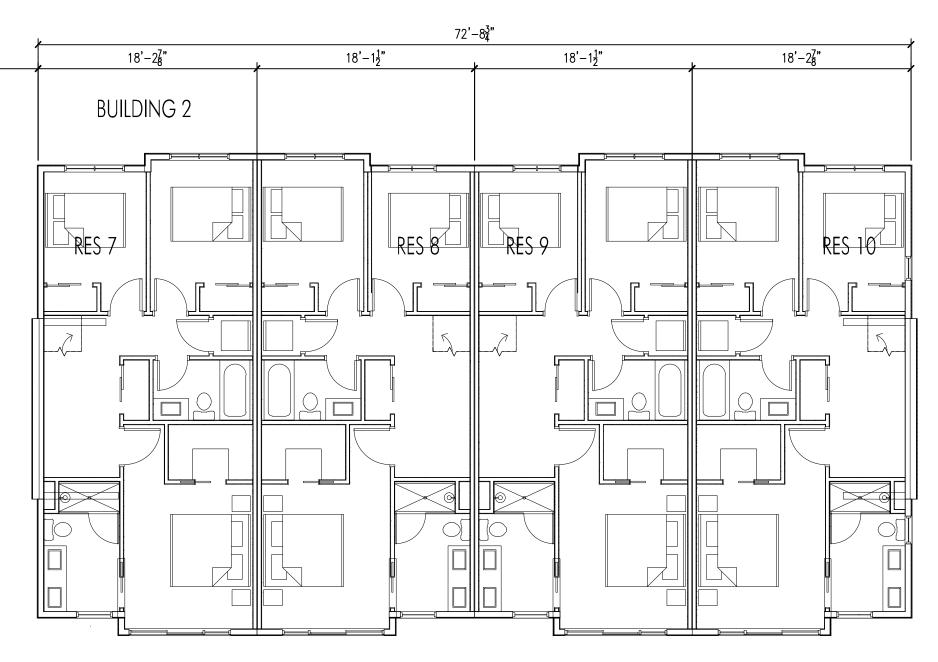
SITE PLAN & PROJECT INFO

DRAWING TITLE



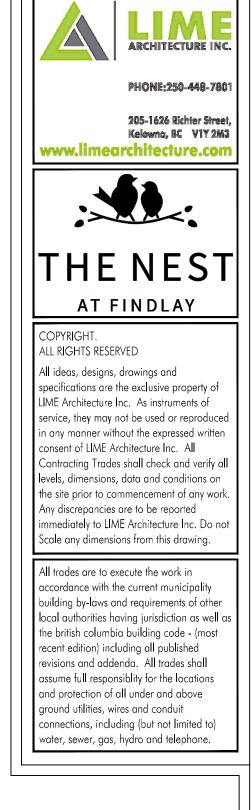


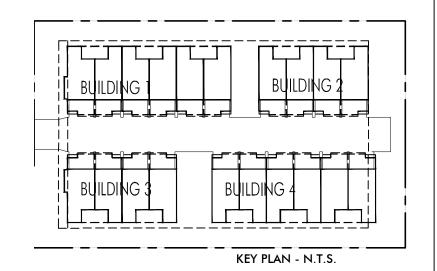


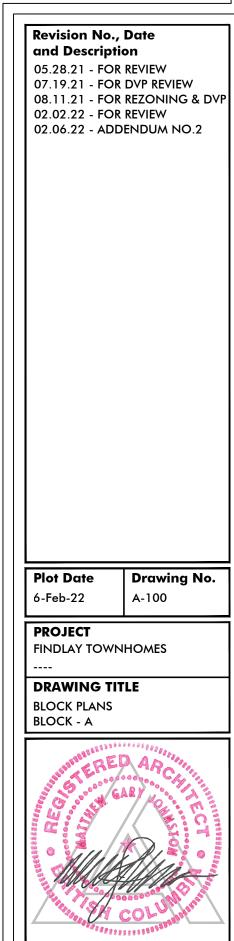


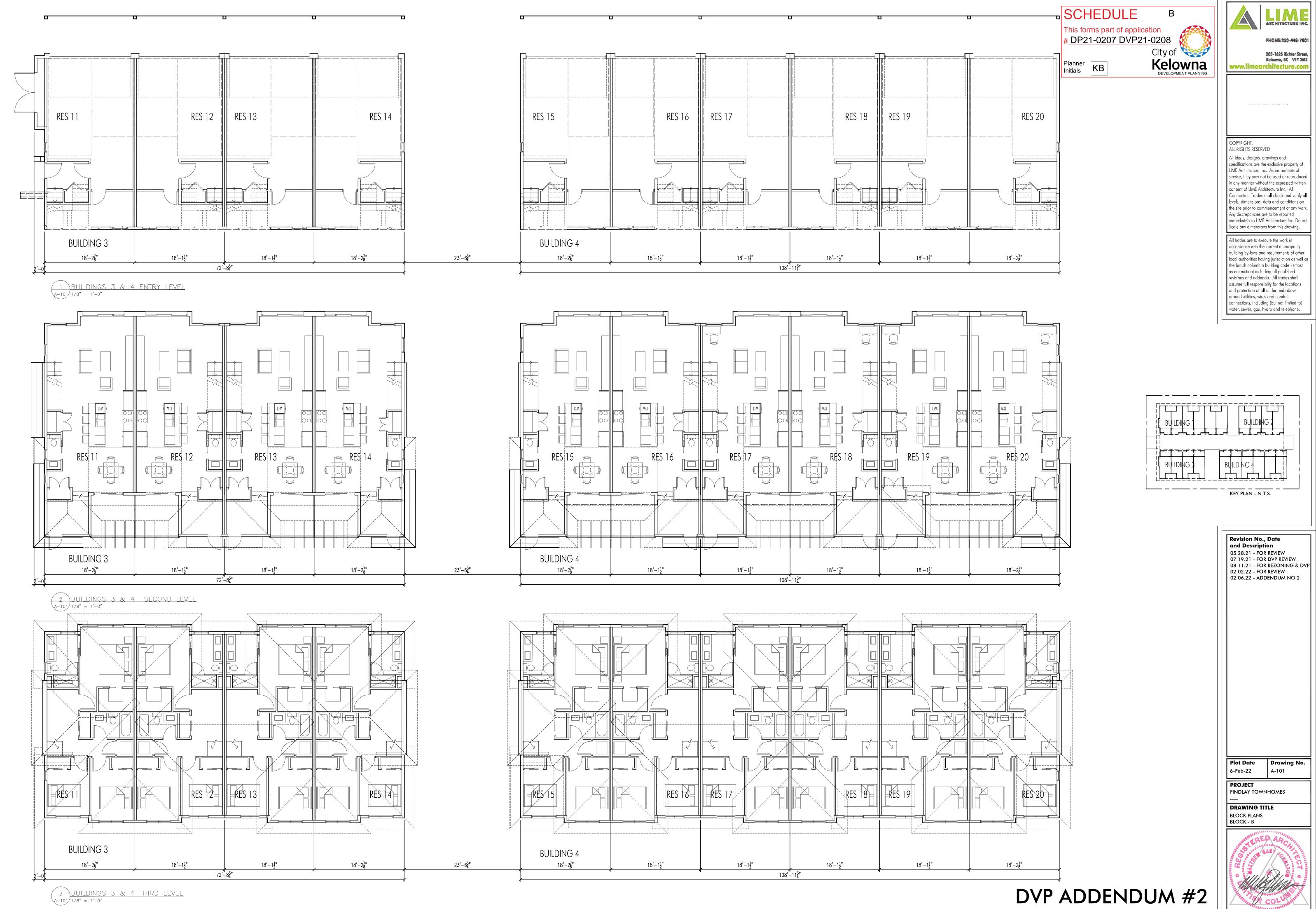
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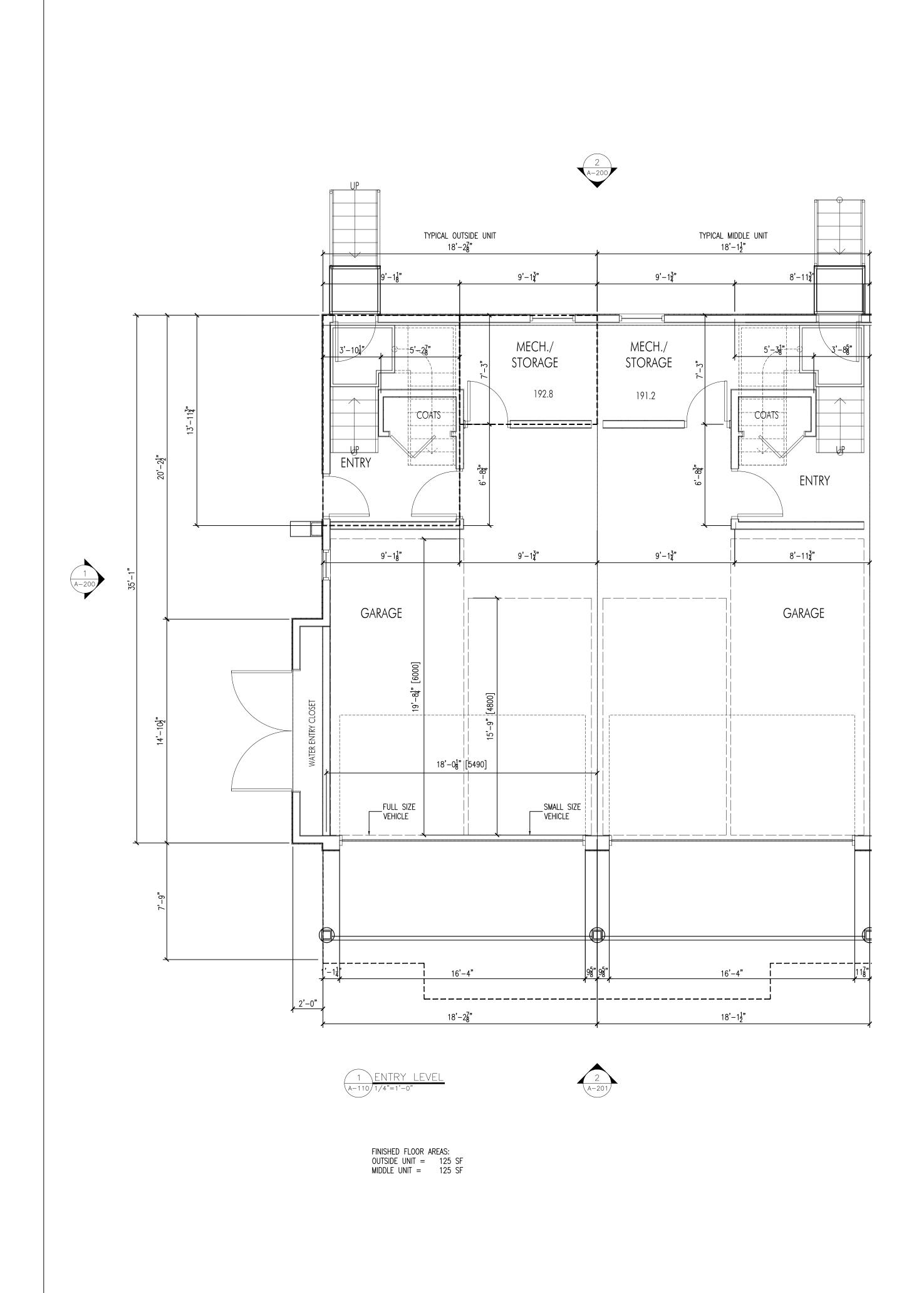


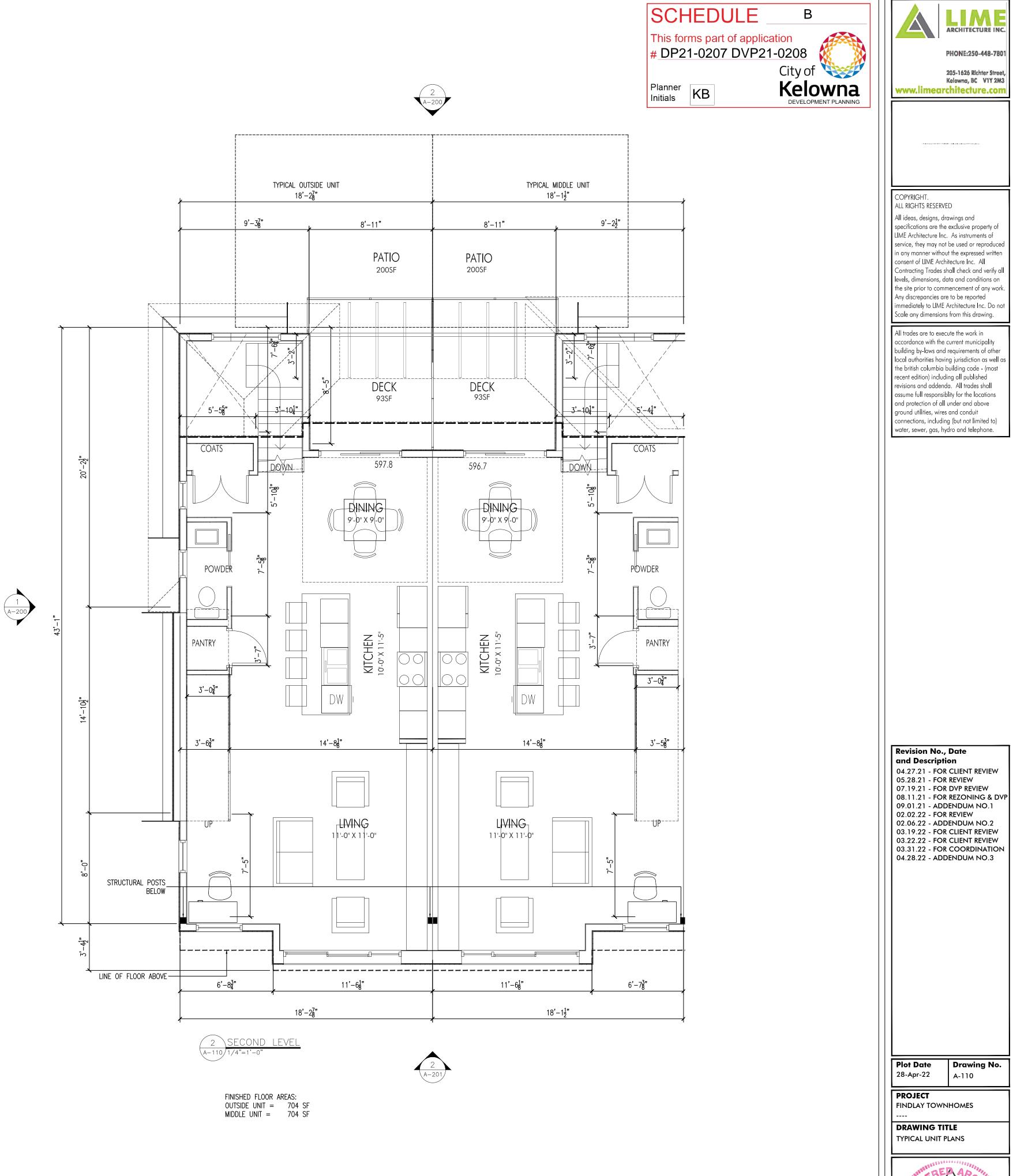




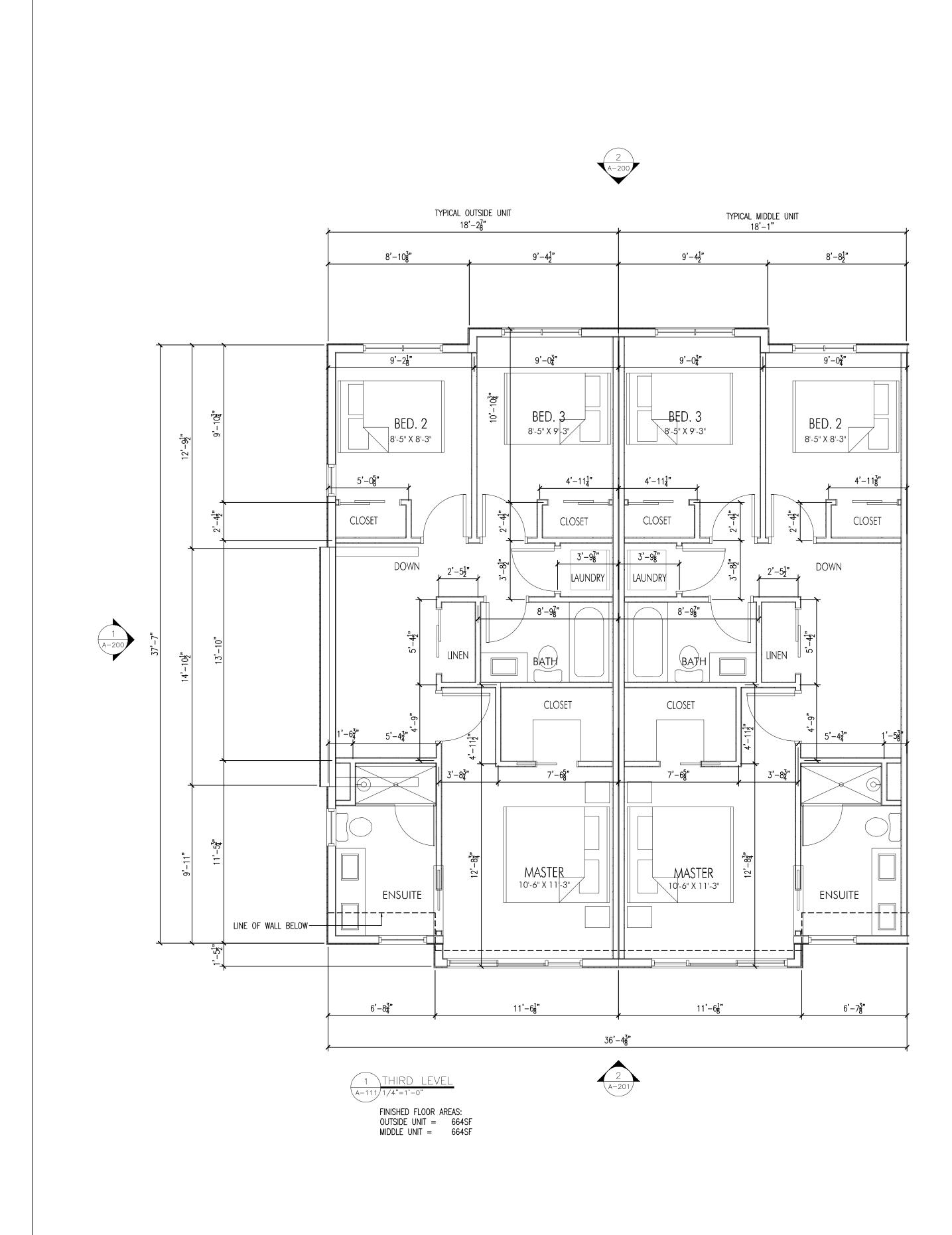


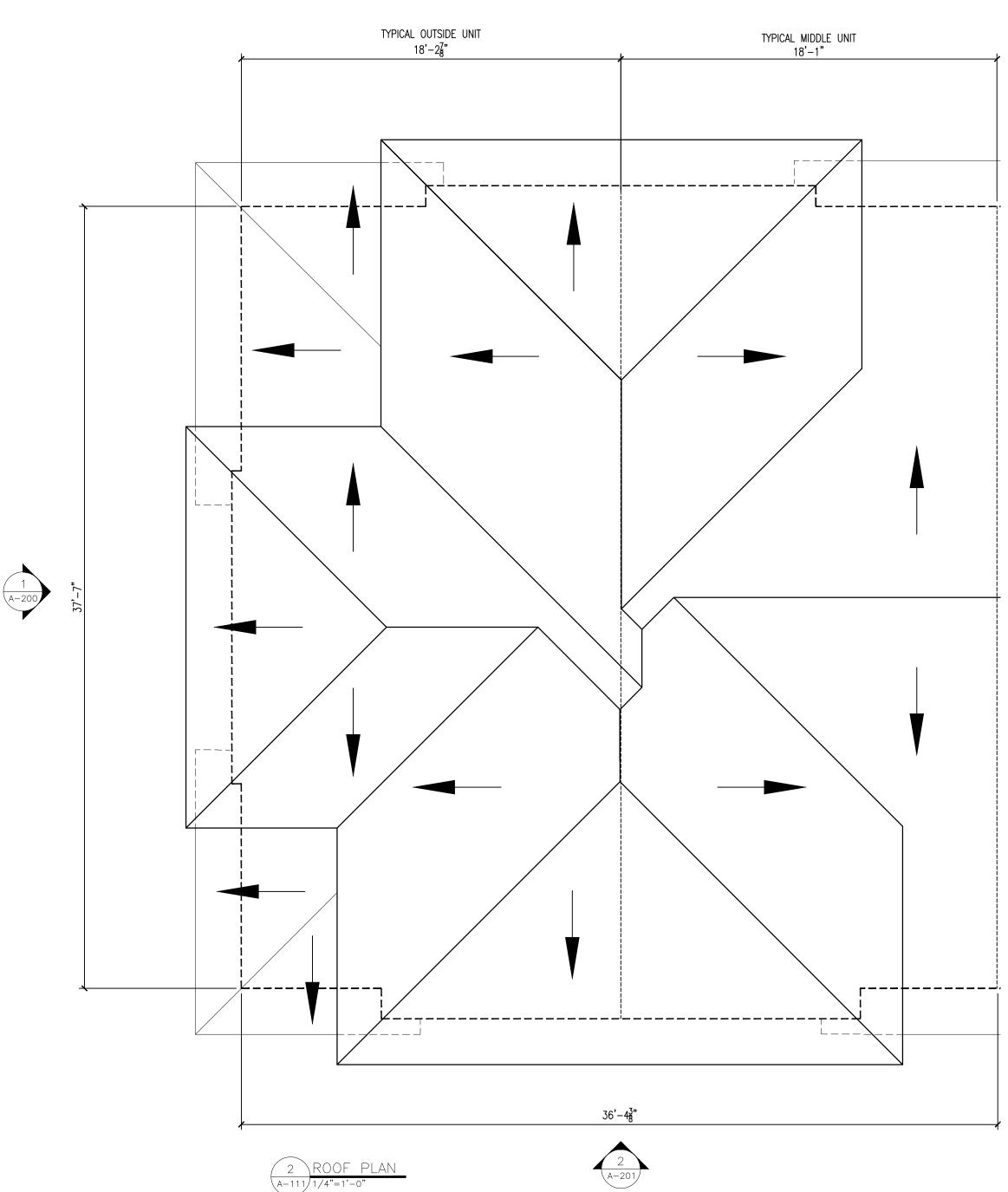


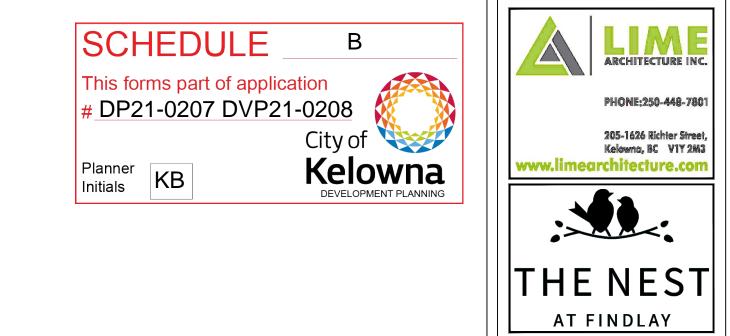




### ADDENDUM NO.3







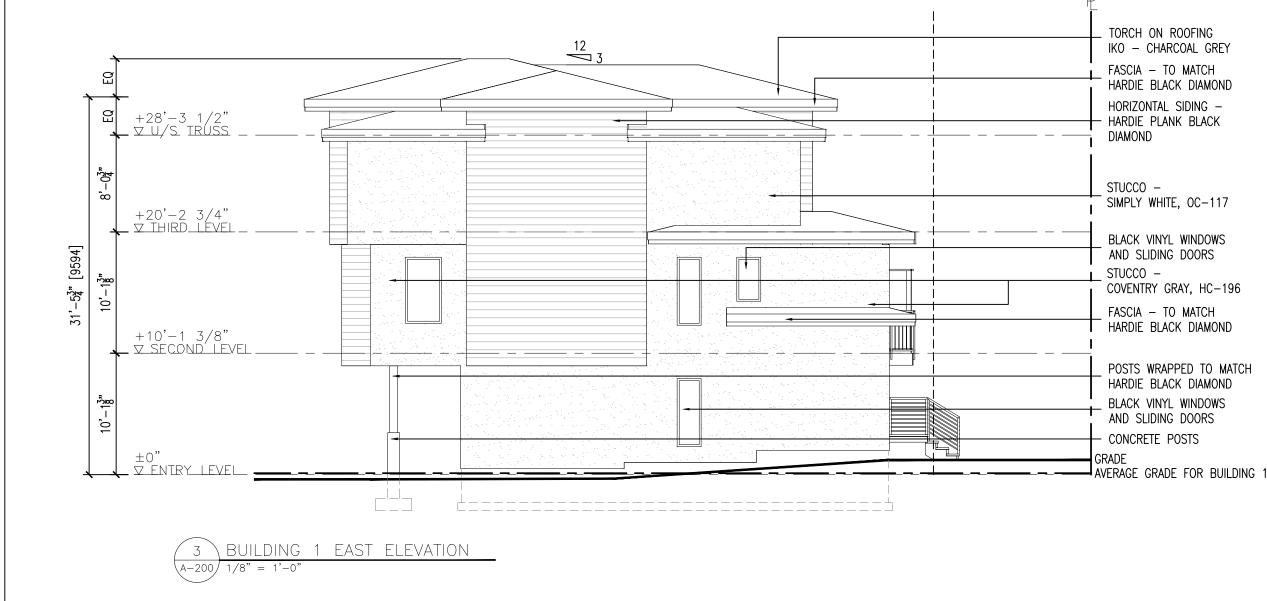


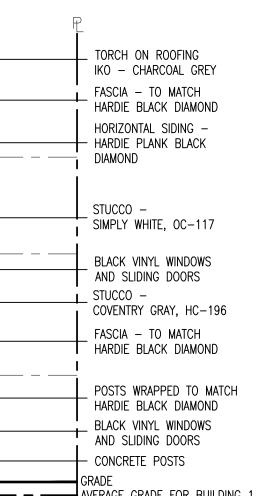
# DVP ADDENDUM #2

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4 BUILDING 1 WEST ELEVATION A-200 1/8" = 1'-0"

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EXTERIOR FINISHES AND COLOURS:

MANUFACTURER: JAMES HARDIE MODEL: **TEXTURE PLANK** CODE: FINISH: **BLACK DIAMOND** QUANTITY: ----DIMENSIONS:

MANUFACTURER: MODEL: CODE: FINISH: QUANTITY: DIMENSIONS:

MANUFACTURER: MODEL: CODE: FINISH: QUANTITY: DIMENSIONS:

FISHER COATING PURE SOFFIT **V-GROOVE VENETIAN GOLD** 

DREAM COLLECTION

JAMES HARDIE

**TEXTURE PLANK** 

STOCK COLOUR

ARCTIC WHITE

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MANUFACTURER: MODEL: CODE: FINISH: QUANTITY: DIMENSIONS:

STUCCO ---(BM) SIMPLY WHITE OC-117 --------

MANUFACTURER: MODEL: CODE: FINISH: QUANTITY: DIMENSIONS:

STUCCO ---(BM) COVENTRY GRAY HC-169

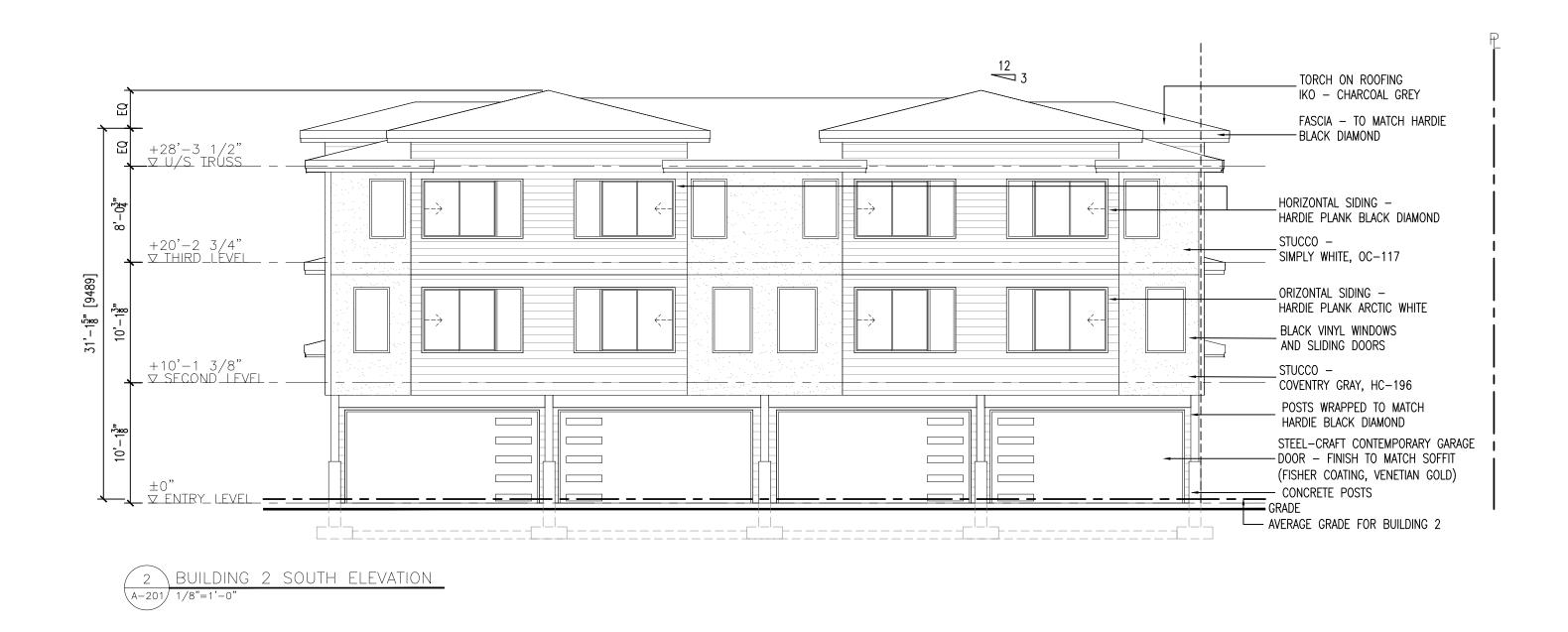


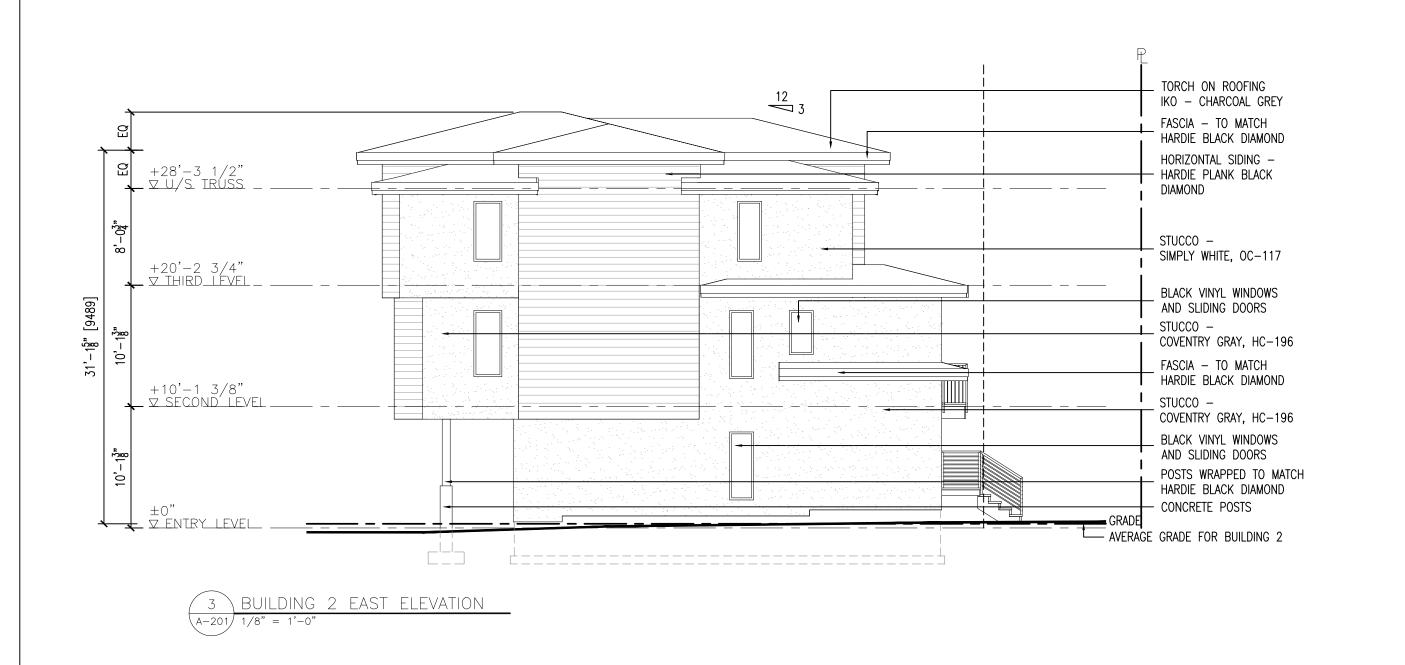


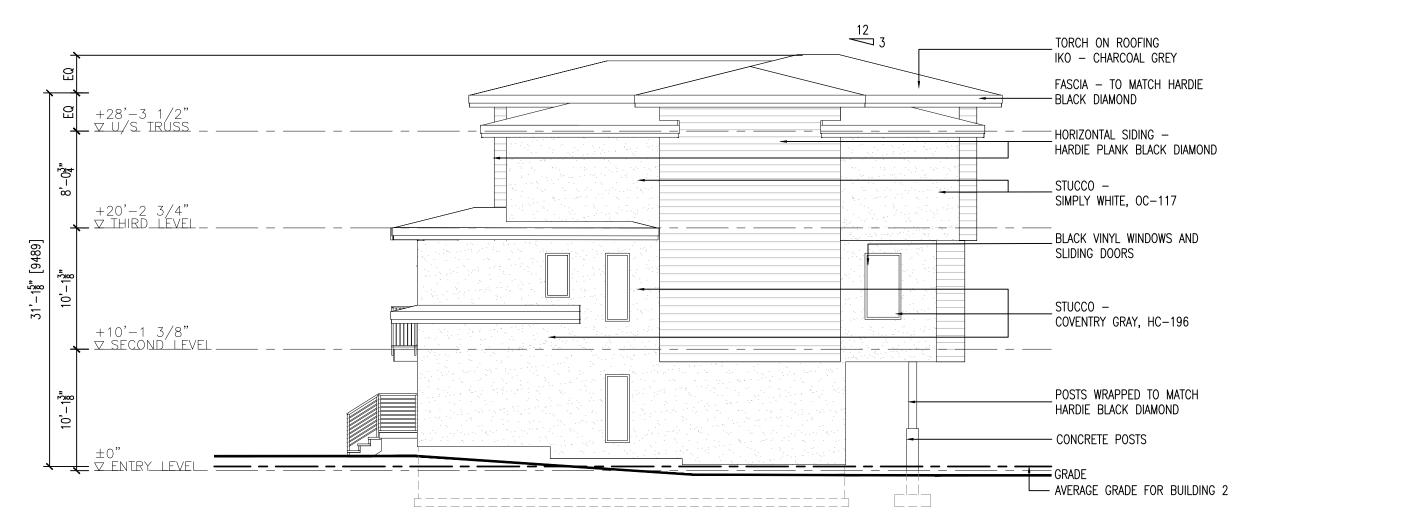


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All trades are to execute the work in accordance with the current municipality building by-laws and requirements of other local authorities having jurisdiction as well as the british columbia building code - (most recent edition) including all published revisions and addenda. All trades shall assume full responsibility for the locations and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone.
Revision No., Date and Description 07.19.21 - FOR DVP 08.11.21 - FOR REZONING & DVP 11.02.21 - TRS SUPPORT INFO. 02.02.22 - FOR REVIEW 02.06.22 - ADDENDUM NO.2 02.14.22 - ADDENDUM NO.2 03.31.22 - FOR COORDINATION 04.28.22 - ADDENDUM NO.3
Plot Date 28-Apr-22Drawing No. A-200
PROJECT FINDLAY TOWNHOMES
DRAWING TITLE BUILDING BLOCK A - ELEVATIONS
GIORESCON GARMAN









4 BUILDING 2 WEST ELEVATION A-201 1/8" = 1'-0"

.01

EXTERIOR FINISHES AND COLOURS:

MANUFACTURER: MODEL: CODE: FINISH: QUANTITY: DIMENSIONS:

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FISHER COATING PURE SOFFIT **V-GROOVE VENETIAN GOLD** 

JAMES HARDIE

**TEXTURE PLANK** 

**BLACK DIAMOND** 

JAMES HARDIE

**TEXTURE PLANK** 

STOCK COLOUR

ARCTIC WHITE

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DREAM COLLECTION





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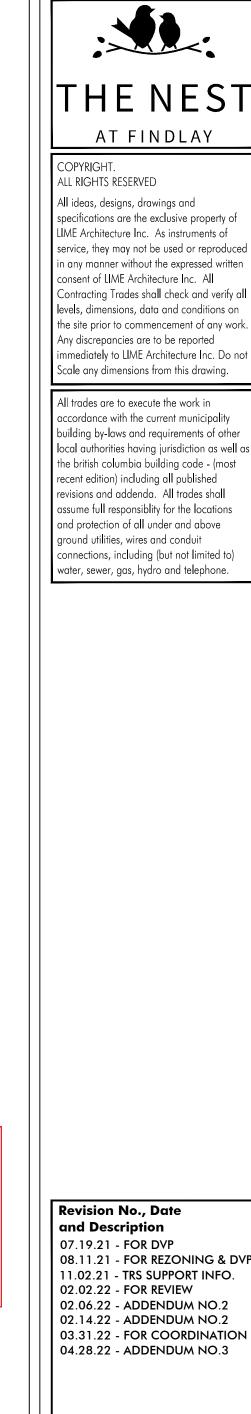
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STUCCO ---(BM) COVENTRY GRAY HC-169







LIME ARCHITECTURE INC

PHONE:250-448-7801

205-1626 Richter Street,

Kelowna, BC V1Y 2M3

www.limearchitecture.com

I IB 1.1	Date
11.02.21 - TRS S 02.02.22 - FOR 02.06.22 - ADD 02.14.22 - ADD	DVP REZONING & DVP SUPPORT INFO. REVIEW ENDUM NO.2 ENDUM NO.2 COORDINATION
Plot Date	Drawing No.
28-Apr-22	A-201
PROJECT FINDLAY TOWN	HOMES
DRAWING TIT	
BUILDING BLOC ELEVATIONS	

# ADDENDUM NO.3





EXTERIOR FINISHES AND COLOURS:

MANUFACTURER: JAMES HARDIE MODEL: **TEXTURE PLANK** CODE: DREAM COLLECTION FINISH: **BLACK DIAMOND** QUANTITY ----DIMENSIONS: ----MANUFACTURER: JAMES HARDIE MODEL: **TEXTURE PLANK** CODE: STOCK COLOUR FINISH: ARCTIC WHITE QUANTITY: ----DIMENSIONS: MANUFACTURER: FISHER COATING MODEL: PURE SOFFIT CODE: **V-GROOVE** FINISH: **VENETIAN GOLD** QUANTITY: ----DIMENSIONS:

MANUFACTURER: MODEL: CODE: FINISH: QUANTITY: DIMENSIONS:

(BM) SIMPLY WHITE OC-117 --------

STUCCO

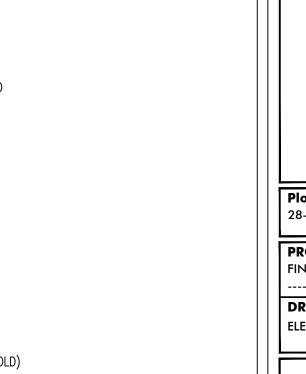
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MANUFACTURER: MODEL: CODE: **FINISH**: QUANTITY: DIMENSIONS:

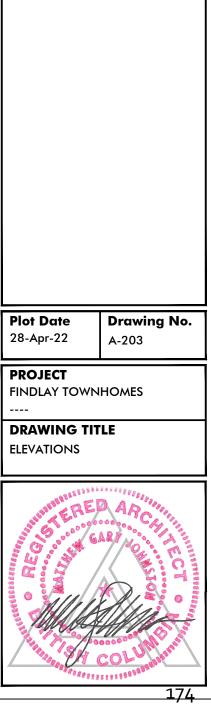
STUCCO ---(BM) COVENTRY GRAY HC-169

В

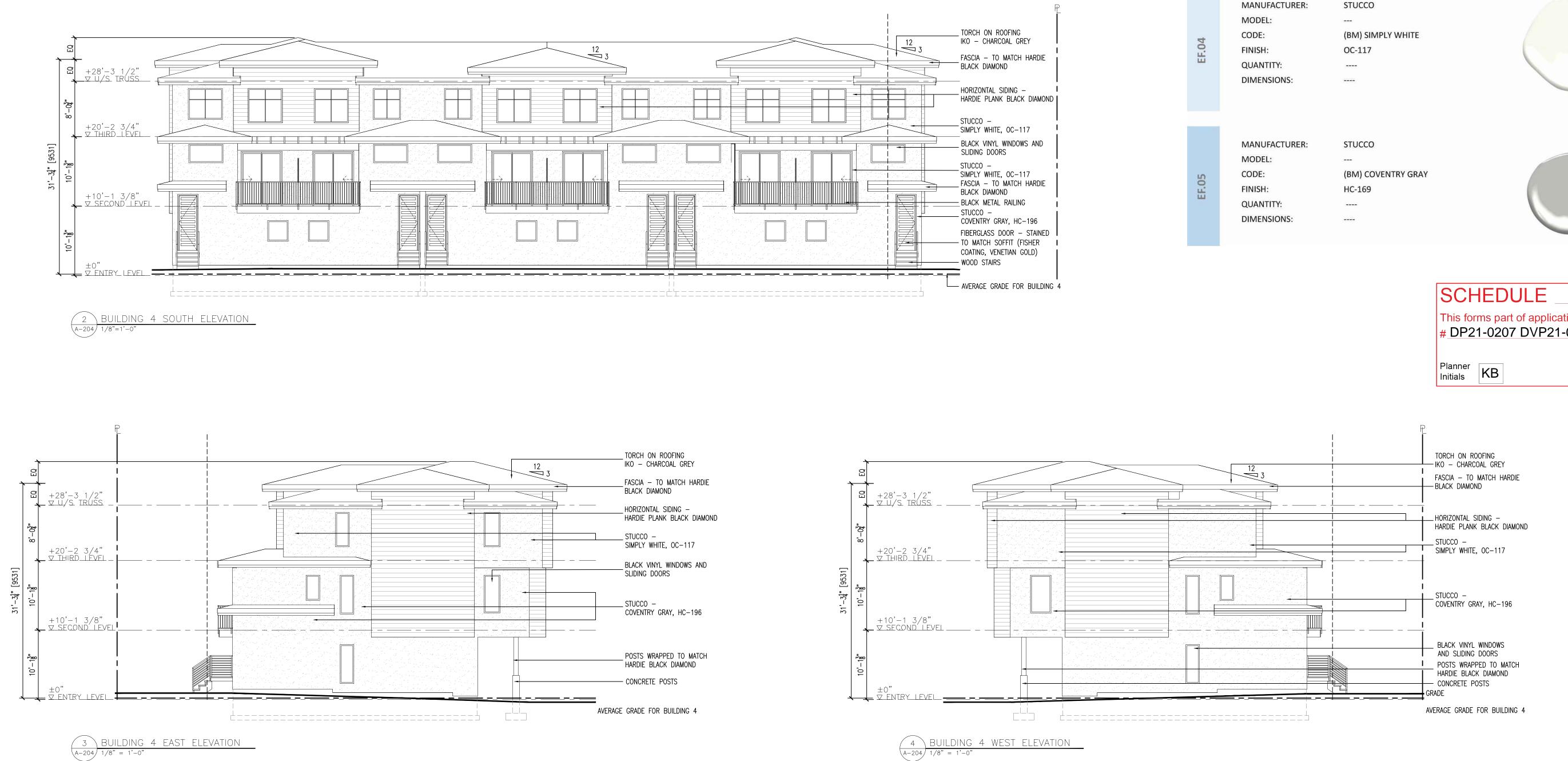
SCHEDULE This forms part of application # DP21-0207 DVP21-0208 City of Kelowna DEVELOPMENT PLANNING Planner Initials KB TORCH ON ROOFING — IKO — CHARCOAL GREY  $\stackrel{12}{\frown}$ 3 FASCIA – TO MATCH HARDIE — BLACK DIAMOND \_HORIZONTAL SIDING -HARDIE PLANK BLACK DIAMOND \_ STUCCO -SIMPLY WHITE, OC-117 \_\_\_\_\_ \_\_ STUCCO – COVENTRY GRAY, HC–196 \_ TRIM AND FACIA - TO MATCH HARDIE BLACK DIAMOND POSTS WRAPPED TO MATCH HARDIE BLACK DIAMOND FIBERGLASS DOOR – STAINED TO MATCH SOFFIT (FISHER COATING, VENETIAN GOLD) - CONCRETE POSTS AVERAGE GRADE FOR BUILDING 3



PHONE:250-448-7801 205-1626 Richter Street, Kelowna, BC V1Y 2M3 www.limearchitecture.com THE NEST AT FINDLAY COPYRIGHT. ALL RIGHTS RESERVED All ideas, designs, drawings and specifications are the exclusive property of LIME Architecture Inc. As instruments of service, they may not be used or reproduced in any manner without the expressed written consent of LIME Architecture Inc. All Contracting Trades shall check and verify all levels, dimensions, data and conditions on the site prior to commencement of any work. Any discrepancies are to be reported immediately to LIME Architecture Inc. Do not Scale any dimensions from this drawing. All trades are to execute the work in accordance with the current municipality building by-laws and requirements of other local authorities having jurisdiction as well as the british columbia building code - (most recent edition) including all published revisions and addenda. All trades shall assume full responsiblity for the locations and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone. **Revision No., Date** and Description 03.31.22 - FOR COORDINATION 04.28.22 - ADDENDUM NO.3







IKO – CHARCOAL GREY
FASCIA – TO MATCH HARDIE BLACK DIAMOND
HORIZONTAL SIDING – HARDIE PLANK BLACK DIAMOND
STUCCO – SIMPLY WHITE, OC-117
BLACK VINYL WINDOWS AND SLIDING DOORS

4 BUILDING 4 WEST ELEVATION A-204 1/8" = 1'-0"

.01

02

EXTERIOR FINISHES AND COLOURS:

MANUFACTURER: JAMES HARDIE MODEL: **TEXTURE PLANK** CODE: DREAM COLLECTION FINISH: **BLACK DIAMOND** QUANTITY: ----DIMENSIONS: ----

MANUFACTURER: MODEL: CODE: FINISH: QUANTITY: DIMENSIONS:

MANUFACTURER: MODEL: CODE: FINISH: QUANTITY: DIMENSIONS:

FISHER COATING PURE SOFFIT **V-GROOVE VENETIAN GOLD** 

JAMES HARDIE

**TEXTURE PLANK** 

STOCK COLOUR

ARCTIC WHITE

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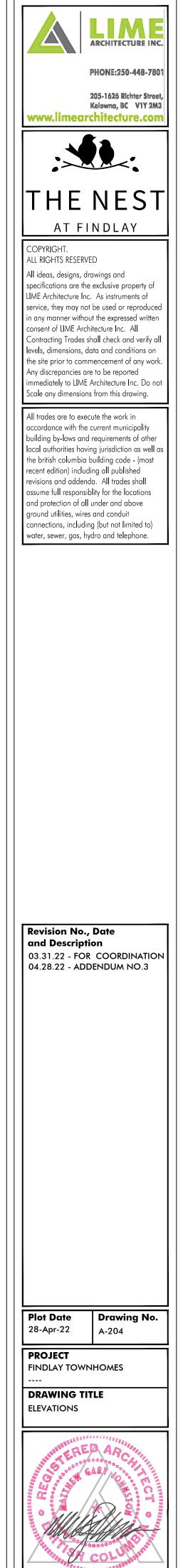




MANUFACTURER:



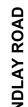
SCH	IEDI	JLE	В	
		of applic DVP2		
			City of	
Planner Initials	KB			

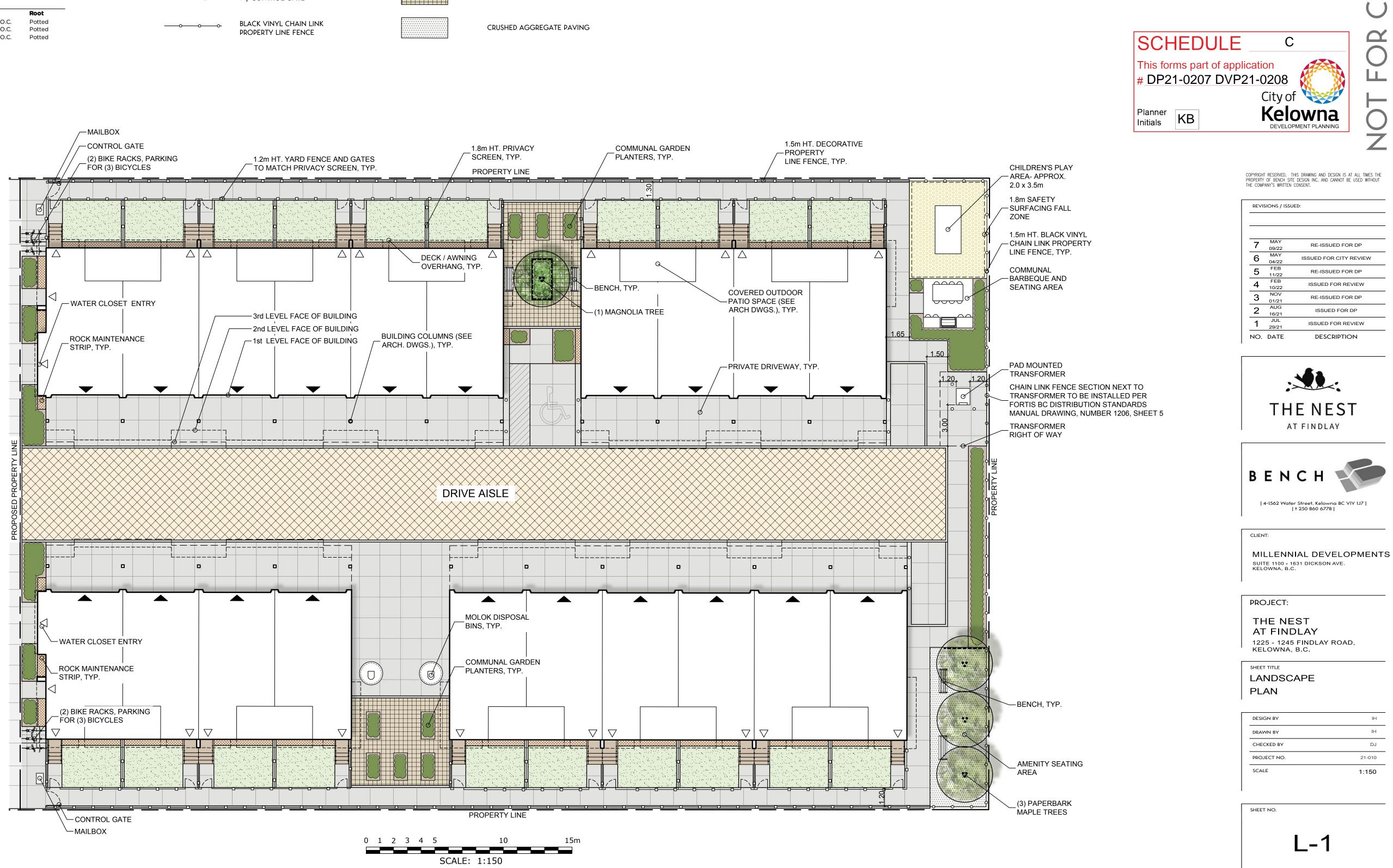


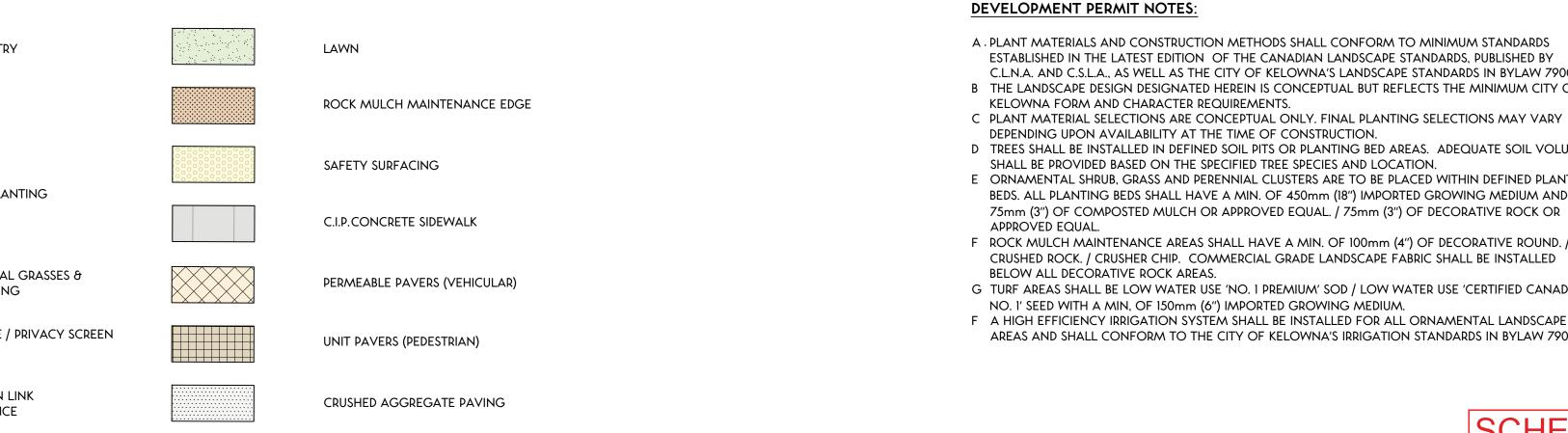
### ADDENDUM NO.3



TREES					
Botanical Name	Common Name	Size/Spacing	Root		GARAGE DOOR ENTRY
Acer griseum	Paperbark maple	6cm Cal./4.0m O.C.	B&B		
Magnolia stellata	Star magnolia	6cm Cal.	B&B		
SHRUBS & VINES				$\bigtriangleup$	PEDESTRIAN ENTRY
Botanical Name	Common Name	Size/Spacing	Root		
Buxus sempervirens 'North Star'	North Star boxwood	#02 Cont./0.9m O.C.	Potted		
Cornus sericea 'Arctic Fire'	Arctic Fire dogwood	#02 Cont./1.5m O.C.	Potted	THE	
Euonymous fortunei 'Kewensis'	Wintercreeper	#02 Cont./0.50m O.C.	Potted		
Hydrangea aborescence 'Incrediball'	Incrediball hydrangea	#02 Cont./1.2m O.C	Potted	ALL LONG	
Mahonia repens	Creeping Oregon grape	#02 Cont./1.0m O.C.	Potted	o	DECIDUOUS TREE PLAN
Physocarpus opulifolius	Common ninebark	#02 Cont./1.2m O.C.	Potted	and the second second	
Spiraea betulifolia 'Tor'	Tor birchleaf spiraea	#02 Cont./0.9m O.C.	Potted		
PERENNIALS					
Botanical Name	Common Name	Size/Spacing	Root		
<i>Hemerocallis</i> x 'Stella de Oro'	Stella de Oro daylily	#01 Cont./0.45m O.C.	Potted	<b>}</b>	SHRUB, ORNAMENTAL
Heuchera cylindrica	Roundleaf alumroot	#01 Cont./0.3m O.C.	Potted		PERENNIALS PLANTING
<i>Liriope spicata Rudebeckia fulgida '</i> Goldstrum'	Creeping lilyturf	#01 Cont./0.45m O.C.	Potted		
Salvia 'Vilocity'	Goldstrum black-eye Susan	#01 Cont./0.75m O.C.	Potted	Γ.	
Salvia Vilocity	Vilocity blue salvia	#01 Cont./0.45m O.C.	Potted		DECORATIVE FENCE / F
GRASSES					W/ CONTROL GATE
Botanical Name	Common Name	Size/Spacing	Root		
Calamagrostis acuitiflora 'Karl Foerster'	Foerster feather reed grass	#01 Cont./1.2m O.C.	Potted		BLACK VINYL CHAIN LI
Miscanthus sinensis	Maidenhair grass	#01 Cont./1.5m O.C.	Potted	<u>0</u> 0	PROPERTY LINE FENCE
Pennisetum alopecuroides 'Moudry'	Black flowering fountain grass	#01 Cont./1.2m O.C.	Potted		FROPERTI LINE I LINCE







A . PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARDS, PUBLISHED BY C.L.N.A. AND C.S.L.A., AS WELL AS THE CITY OF KELOWNA'S LANDSCAPE STANDARDS IN BYLAW 7900. B THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM CITY OF

C PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY AT THE TIME OF CONSTRUCTION.

D TREES SHALL BE INSTALLED IN DEFINED SOIL PITS OR PLANTING BED AREAS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION. E ORNAMENTAL SHRUB, GRASS AND PERENNIAL CLUSTERS ARE TO BE PLACED WITHIN DEFINED PLANTING BEDS. ALL PLANTING BEDS SHALL HAVE A MIN. OF 450mm (18") IMPORTED GROWING MEDIUM AND

F ROCK MULCH MAINTENANCE AREAS SHALL HAVE A MIN. OF 100mm (4") OF DECORATIVE ROUND. / CRUSHED ROCK. / CRUSHER CHIP. COMMERCIAL GRADE LANDSCAPE FABRIC SHALL BE INSTALLED

G TURF AREAS SHALL BE LOW WATER USE 'NO. 1 PREMIUM' SOD / LOW WATER USE 'CERTIFIED CANADA NO. 1' SEED WITH A MIN, OF 150mm (6") IMPORTED GROWING MEDIUM.

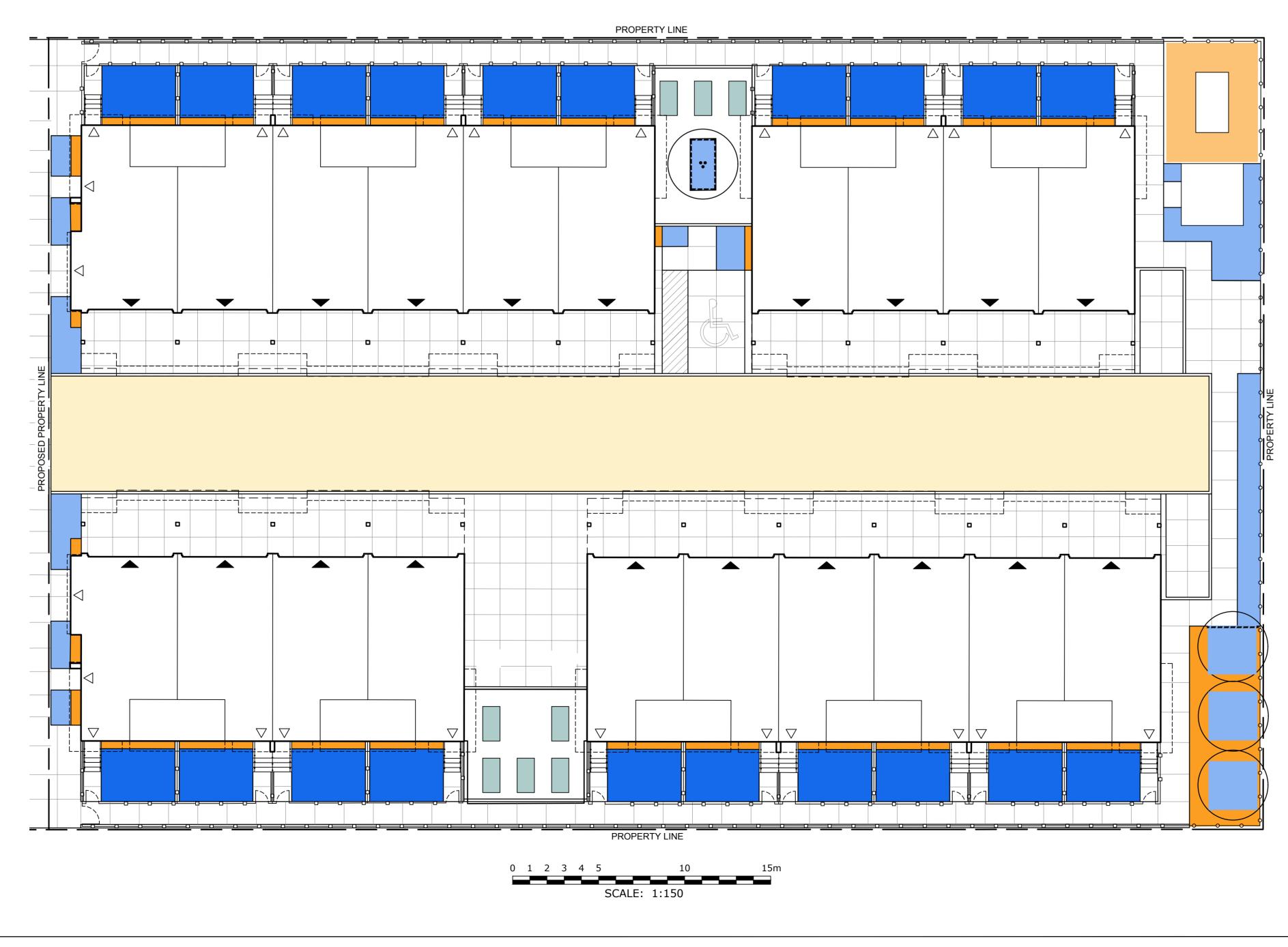
F A HIGH EFFICIENCY IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL ORNAMENTAL LANDSCAPE AREAS AND SHALL CONFORM TO THE CITY OF KELOWNA'S IRRIGATION STANDARDS IN BYLAW 7900. Ζ

A H

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### LEGEND:

HIGH WATER USE (LAWN)

MEDIUM WATER USE (ORNAMENTAL PLANTING AREA)

LOW WATER USE COMMUNAL GARDEN PLANTERS)

NO IRRIGATION - AGGREGATE

NO IRRIGATION - SAFETY SURFACING

NO IRRIGATION - PERVIOUS PAVING

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### REVISIONS / ISSUED:

7	MAY	RE-ISSUED FOR DP	
-	09/22		
6	MAY 04/22	ISSUED FOR CITY REVIEW	
5	FEB	RE-ISSUED FOR DP	
5	11/22	RE-1330ED FOR DF	
1	FEB	ISSUED FOR REVIEW	
4	10/22	1336ED FOR REVIEW	
3	NOV	RE-ISSUED FOR DP	
3	01/21	RE-ISSUED FOR DF	
2	AUG	ISSUED FOR DP	
2	16/21	ISSUED FOR DF	
1	JUL		
	29/21	ISSUED FOR REVIEW	
NO.	DATE	DESCRIPTION	





| 4-1562 Water Street, Kelowna BC VIY 1J7 | | † 250 860 6778 |

### CLIENT:

MILLENNIAL DEVELOPMENTS SUITE 1100 - 1631 DICKSON AVE. KELOWNA, B.C.

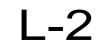
#### PROJECT:

THE NEST AT FINDLAY 1225 - 1245 FINDLAY ROAD, KELOWNA, B.C.

SHEET TITLE HYDROZONE PLAN

DESIGN BY	IH
DRAWN BY	IH
CHECKED BY	DJ
PROJECT NO.	21-010
SCALE	1:150

SHEET NO.





#### FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Chapter 2 - The Design Fou	ndations: apply to all projects and provide the or creativity, innovation and design exce Facilitate Active Mobility Use Placemaking to Strengthen Ne Create Lively and Attractive Streets Design Buildings to the Human Sca Strive for Design Excellence	ellence in Kelowna. sighbourhood Identity s & Public Spaces
The General Residential and	Foundations. • The General Guidel guidelines (e.g., To Residential and Mix	lines that all residential and mixed use to achieve to support the Design ines are supplement by typology-specific wnhouses & Infill on page 18-19, High-Ris ked-Use on page 18-42), which provide e about form and character.
	Chapter 2 - Design Foundatio Apply To All Projects Page 18-8	ons
Section 2.	1 - General Residential and Mixed Us Page 18-9 Section 2.2 - Achieving High Perfo Page 18-17	
Chapter 3 Townhouses & Page 18-19	Residential & Mixed Use	Chapter 5 High-Rise Residential & Mixed Use Page 18-42
	oundations and the Guidelines associated wit	th the specific building typology



#### FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
CHAPTER 3.0: TOWNHOUSES & INFILL						
3.1 Townhouse Guidelines						
3.1.1 Relationship to the Street						
Townhouse built form is addressing the street frontage and front doors are directly accessible from a public walkway.						~
Corner Sites: built form is addressing both street frontages and front doors are directly accessible from a public walkway.	~					
End Unit: Townhouse built forms end unit is oriented perpendicularly to the street frontage and has high quality architectural design treatment with main entrance directly accessible from the fronting street.					✓ 	
Blank façades (without window openings) proposed along the street frontages.	~					
Prominent entrance features for the main front doors such as stoops, porches, recessed entries, and canopies are provided.				~		
Appropriate transition between public and private realm is being achieved by changes in grade, decorative railings, and planters.	~					
3.1.2 Scale and Massing						
Proposed built form is sympathetic to the neighbourhood context and providing sensitive transition to the adjacent context (existing and future buildings, parks, and open spaces)				<b>√</b>		
Built Form is establishing a consistent rhythm along the street frontage with articulation of individual units through integration of projections/ recesses (entries and balconies), change in materials of the façade.						<b>√</b>
Townhouse block is comprising of maximum 6 units.						~
3.1.3 Site Planning						1
Proposed townhouse development is responding sensitively to topography, environmental features and enhancing privacy, livability, safety, and accessibility to the surrounding open space network (if applicable).					<ul> <li>✓</li> </ul>	
Townhouse development is a gated or walled community (such communities are discouraged)	~					
Proposed townhouse development has a communal amenity building.	✓					
Proposed pedestrian connections are framed with entrances and window openings to provide active edges.	<b>√</b>					

ATTACHMI	ENT в						
This forms part of a # DP21-0207 DV	pplication						
	City of						
Planner Initials KB	Kelowna		-	-	-		
	<b>RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE</b> (1 is least complying & 5 is highly complying)	N/A	1	2	3	4	5
	Proposed development is providing pedestrian pathways on site to						$\checkmark$
	connect the main building entrances, visitor parking areas, to adjacent						
	pedestrian/trail/cycling networks and municipal sidewalks (if applicable).						
	Internal pedestrian and vehicular circulation patterns are integrated and						$\checkmark$
	connected to existing and planned public street network.						
	Minimum building separation of 10-12m is provided to accommodate		✓				
	sunlight, reduce overlook between buildings and neighbouring						
	properties.						
	Building projections such as balconies are not provided within the					$\checkmark$	
	setback areas, streets, and amenity areas of the proposed development.						
	Front yard setbacks on internal roads are responding to the height of the	$\checkmark$					
	townhouses, for 3 storeys townhouses greater setback is provided to						
	improve livability and solar access.						
	3.1.4 Open Spaces		1	1	1	1	
	Townhouse units are designed to have easy access to useable private or						~
	semi-private outdoor amenity space.						$\checkmark$
	Front yards are designed to include a pathway from the fronting street to the primary entrance of the unit, landscaping, and semi-private outdoor						v
	amenity space.						
	Rear yard with undeveloped frontages along streets and open spaces	$\checkmark$					
	should be avoided.						
	Design of private outdoor amenity spaces is having access to sunlight.					✓	
	Design of private outdoor amenity spaces is having a railing or fencing to						$\checkmark$
	increase privacy.						
	Design of private outdoor amenity spaces is having landscaped areas to					$\checkmark$	
	soften the interface with the street or open spaces.						
	Design of front patios provide entrance to the unit and is raised a		~				
	minimum of 0.6m and maximum of 1.2m to create a semi-private zone.						
	Roof patios are provided with parapets with railings and minimize direct	$\checkmark$					
	sight lines into nearby units.						
	Roof patios have access away from primary facades.	✓					
	Balconies are designed to inset or partially inset and offer privacy,	$\checkmark$					
	shelter, reducing building bulk and minimize shadowing impact.						
	Minimum of 10% of total site areas is allocated to common outdoor						✓
	amenity area.						
	Outdoor amenity area provides landscaping, seating, play space and other elements that encourage gathering or recreation.						v
	Outdoor amenity areas are preferred to be located centrally (should not					~	
	be in an isolated, irregularly shaped areas or impacted by parking,						
	mechanical equipment, or servicing areas).						
			•	•	•		·1

<В	Kelowna RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
	(1 is least complying & 5 is highly complying)				_	-	-
	Larger townhouse development is providing generous shared outdoor					$\checkmark$	
	amenity area that integrates play spaces, gardening, storm water and						
	other ecological features, pedestrian circulation, communal amenity						
	buildings and other communal uses.						
	Internal road network of townhouse development is serving as additional						~
	shared space and is provided with high-quality pavement materials						
	(example: permeable pavers).						
	Useable spaces within the open space areas (for sitting, gathering, and						v
	playing) are provided.						
	3.1.5 Site Servicing, Access, and Parking						
	Landscaping is provided to frame building entrances, soften edges,					✓	
	screen parking garages and to break up long facades.						
	Site Servicing: Waste collection systems such as, Molok bins are located						, ,
	away from any public views.						
	Parking						
	Townhouses facing public streets are provided with a rear-access garage		<u> </u>	<u> </u>		$\checkmark$	Т
	or integrated tuck under parking.					•	
	If applicable, centralized parking areas that eliminate the need to	~					
	integrate parking into individual units are provided.						
	For townhouses facing strata roads, front garages and driveway parking						١
	are acceptable. Front garages are architecturally integrated into the						
	building and main building entrances are provided with weather						
	protection.						
	Garage doors are appropriately recessed and designed to limit the visual						`
	impact.						
	Visitor parking with pedestrian connections to the townhouse units is						١
	provided in an accessible location (adjacent to townhouse blocks or						
	centralized parking integrated with shared outdoor amenity space).						
	Access						
	Internal circulation of vehicles is providing necessary turning radii and a						•
	safe access and egress.						
	Large townhouse developments with internal circulation pattern are	<b>√</b>					
	provided with a minimum of two access/egress points within the site.						
							,
	Access points are located to minimize the impact of headlights on building interiors.						'
	Internal vehicular circulation, including pedestrian and open space						,
	networks are integrated and connected to the existing and planned						
	street and open space network.						
	3.1.6 Building Articulation, Features, and Materials						
			1				Т
	Façade is designed and articulated to reflect positive attributes of the	~					
	neighbourhood character.						
	Strategy to articulate façade: Recessing or projecting of architectural						`
	features to highlight the identity of individual units.	1	1				1

ATTACHMENT

В

Page 4

This forms part of a # DP21-0207 DV							
Planner Initials KB							
;	RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
	(1 is least complying & 5 is highly complying)						
	Strategy to articulate façade: main entrance and rooflines features, and						✓
	other architectural elements have been incorporated in the design.						
	Infill townhouses are designed to incorporate design elements,	✓					
	proportions and other characteristics found within the neighbourhood.						
	Infill townhouses are provided with durable, quality materials similar or						~
	contemporary to those found within the neighbourhood.						
	Privacy of units is maintained on site and on adjacent properties by				$\checkmark$		
	minimizing overlook and direct sight lines from the building. The						
	following strategies have been incorporated in design:						
	Off setting the location of windows in facing walls and locating						
	doors and patios to minimize privacy concerns;						
	Use of clearstory windows;						
	Use of landscaping or screening; and						
	Use of setbacks and articulation of the building.						
	Large townhouse developments with internal circulation pattern are	~					
	providing modest variation between different blocks of townhouse units,						
	such as change in colour, materiality, building and roof form.						

ATTACHMENT B











# DP21-0207 DVP21-0208 1225 Findlay Road

Development Permit and Development Variance Permit Application



# Proposal

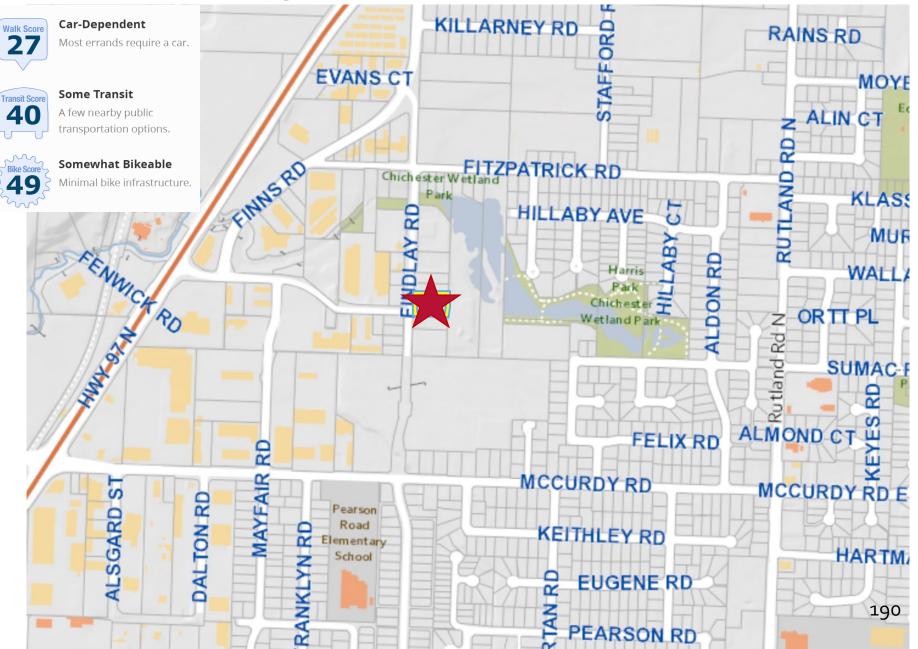
To issue a Development Permit for the form and character of a multiple dwelling housing development and to issue a Development Variance Permit to vary the maximum building site coverage and minimum required rear yard.



# **Development Process**



## **Context** Map



## Future Land Use Map



## Subject Property Map





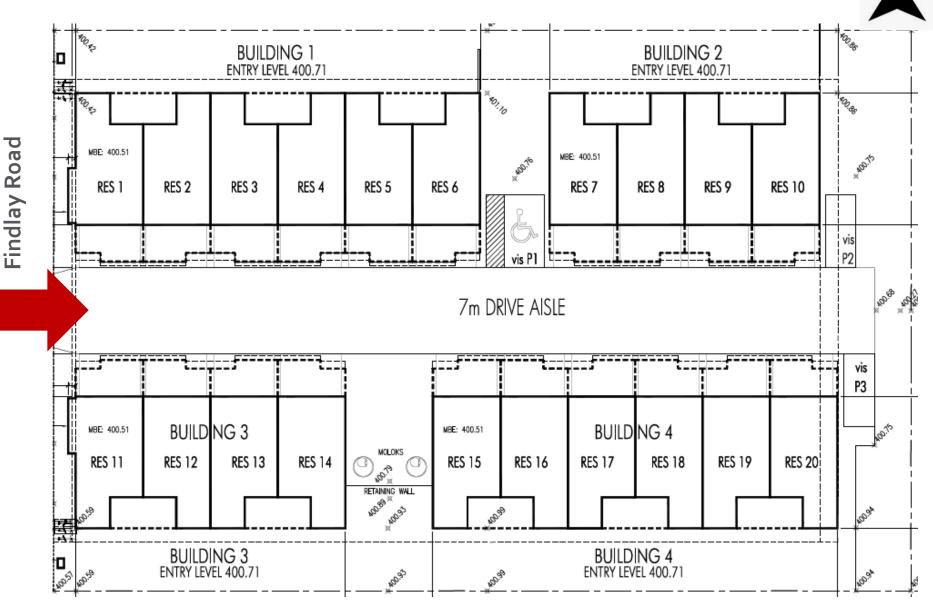
# **Technical Details**



Multiple dwelling housing development

- 4 buildings, 3 storeys in height
- 20 units
  - three bedroom units
- Double-wide garages and surface visitor parking
  - Meets bylaw requirements
- Private open space on decks and a rooftop patio
  - Also community gardens, and a small children's play area

### Site Plan



City of Kelowna

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### Street Facing Elevation (Findlay Rd)





### Elevations





# Renderings



# Renderings



### Finish Schedule

#### EITERIOR FINISHES AND COLOURS:

EF.05

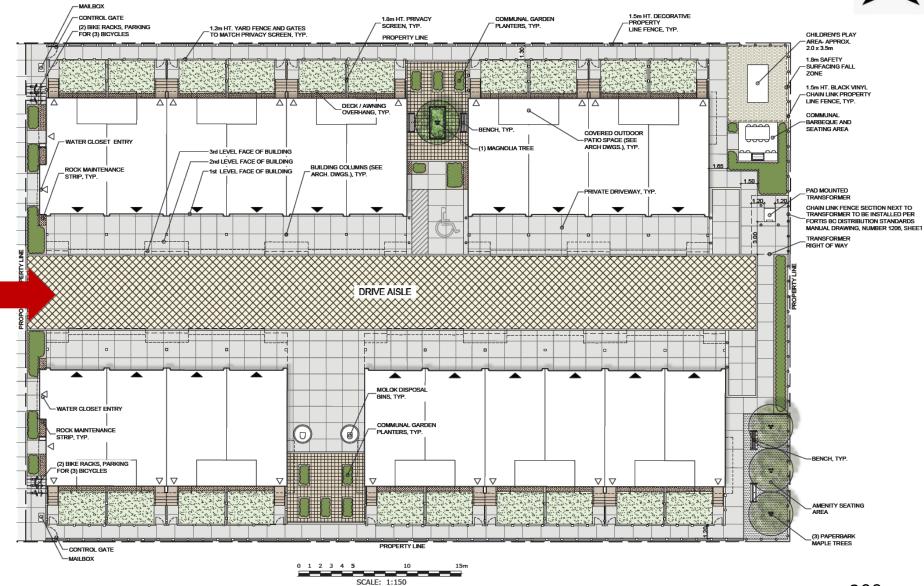
MANUFACTURER: MODEL: CODE: FINISH: QUANTITY: DIMENSIONS:	JAMES HARDIE TEXTURE PLANK DREAM COLLECTION BLACK DIAMOND 	
MANUFACTURER: MODEL: CODE: FINISH: QUANTTY: DIMENSIONS:	JAMES HARDIE TEXTURE PLANK STOCK COLIOUR ARCTIC WHITE 	
MANUFACTURER: MODEL: COIDE: FINISH: QUANTITY: DIMENSIONS:	FISHER COATING PURE SOFFIT V-GROOVE VENETIAN GOLD	
MANUFACTURER: MODEL: CODE: FINISH: QUANTITY: DIMENSIONS:	STUCCO (BM) SIMPLY WHITE CC-117 	
MANUFACTURER: MODEL: CDDE: FINISH: QUANTITY: DIMENSIONS:	STUCCO  (BM) COVENTRY GRAY HC-169 	



### Landscape Plan

BB

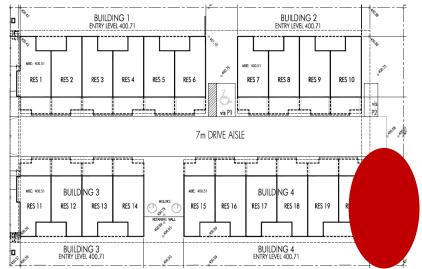
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# Variances



- Maximum Site Coverage
  - ▶ 40 % permitted, 42 % proposed
    - mitigated through use of permeable pavers for drive aisle
- Minimum rear yard (one building located in rear yard setback area)
  - 7.5 m required, 6.0 m proposed
    - enabled on-site waste and recycling collection and turn-around
- Anticipated to have minimal impact on adjacent properties







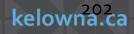
# **Development Policy**

### OCP Suburban Multiple Unit Policies

- Consider a range of low-density ground-oriented housing development to improve housing diversity and affordability and to reduce the overall urban footprint of Suburban Neighbourhoods.
- Encourage multi-unit developments near schools to include a variety of unit sizes, including three or more bedrooms.

### OCP Design Guidelines

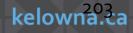
- Design all units to have easy access to useable private or semi-private outdoor amenity space;
- Useable spaces within the open space areas (for sitting, gathering, and playing) are provided;
- Limit the number of connected townhouse units to a maximum of 6 units before splitting into multiple buildings;
- Ensure that internal circulation for vehicles is designed to accommodate necessary turning radii and provides for logical and safe access and egress; and
- Recessing or projecting of architectural features to highlight the identity of individual units.





# Staff Recommendation

- Staff recommend support for the DP & DVP application
  - Consistent with OCP Urban Design Guidelines
    - Consistent with Suburban Multiple-Unit FLU Designation
  - Variances are minor and anticipated to not negatively affect adjacent properties.
  - Appropriate location for residential density





### Conclusion of Staff Remarks

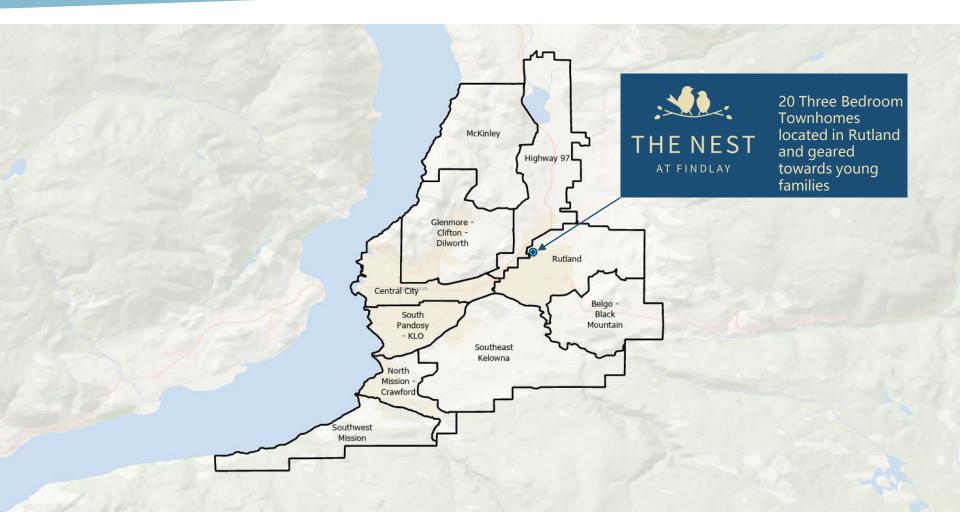


## THE NEST AT FINDLAY

### DATA DRIVEN DEVELOPMENT PLANNING



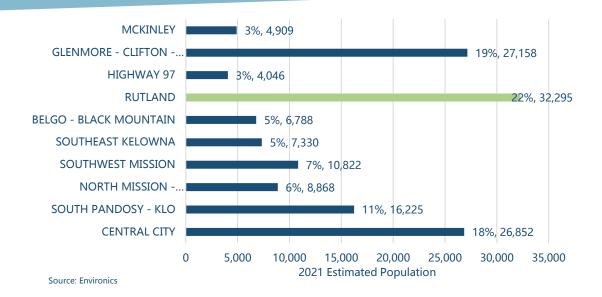
#### THE LOCATION





TheNestTownhomes.com

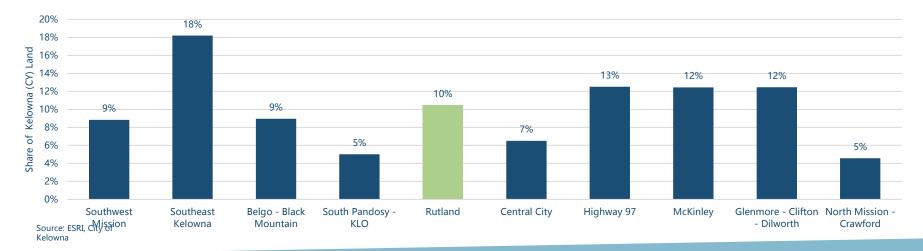
#### 2021 ESTIMATED POPULATION AND RUTLAND GEOGRAPHY





### KEY INSIGHTS

Although geographically Rutland is the fifth largest (of the ten sectors ) and represents approximately 10% of Kelowna (CY); it has the largest share of the 2021 estimated population (22%), highlighting the need for more housing options to accommodate the population base.

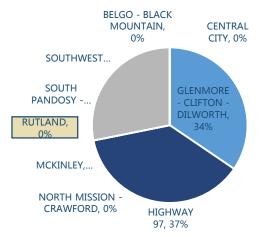


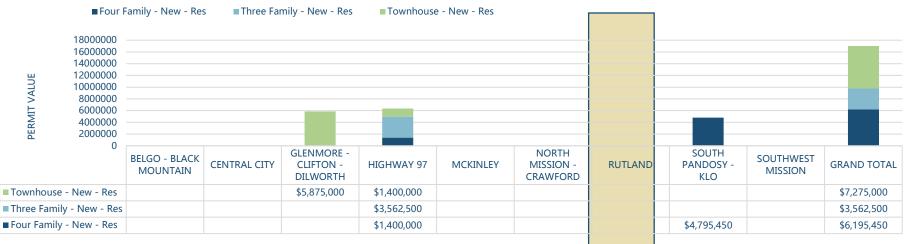


TheNestTownhomes.com

#### KEY INSIGHT

- Despite being the sector with the largest estimated population, Rutland has no permits issued for the three types of permits outlined in the chart below.
- Anecdotally being one of the more affordable sectors in the city, Rutland has seen no Townhome style developments permitted in 2022 YTD.
- The Nest at Findlay will add 20 attainable townhouse units to Rutland, helping to balance the permit activity per sector.



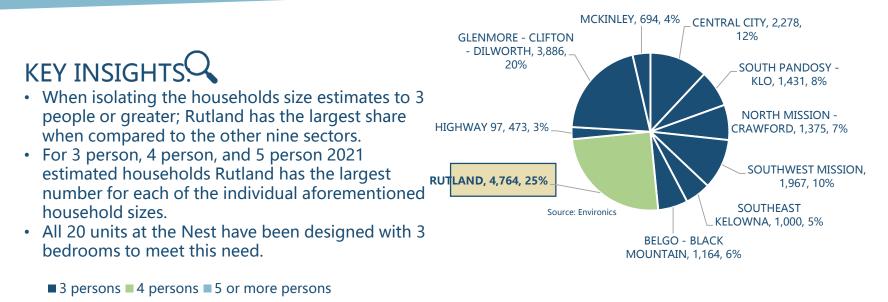


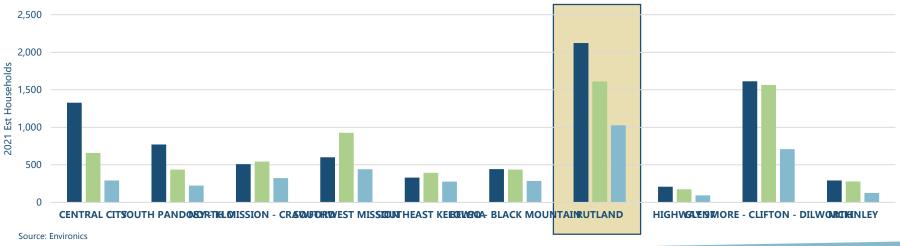
Source: City of Kelowna

Notes: The following graph and table outlines the dwelling units associated to permits issued between 01-01-2022 to 05-13-2022.



#### 2021 HOUSEHOLDS BY SIZE OF HOUSEHOLD







TheNestTownhomes.com

### 2021 CENSUS FAMILIES



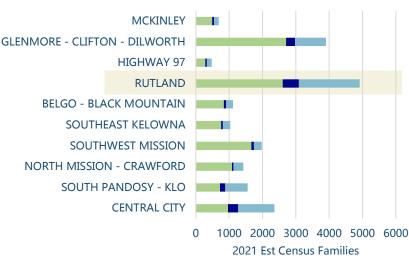
#### KEY INSIGHTS

Based off of 2021 estimates, Rutland has the largest number of census families with children at home, highlighting the need for family focused developments.



Married Couples with Children at home

Common-law Couples with Children at home



Source: Environics



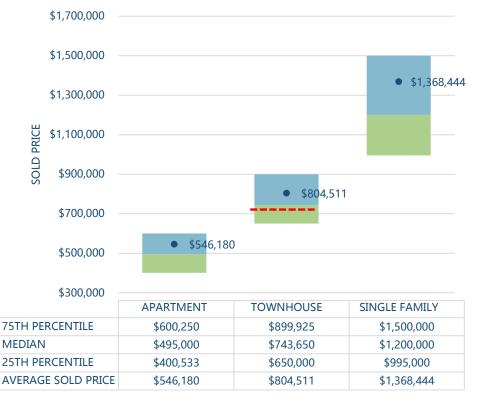
#### HOUSING CONTINUUM KELOWNA (RESALE - BEDROOM & TYPE )

#### KEY INSIGHTS.

 Townhome have the lowest available inventory and average Days on Market. With the current level of pricing observed in sold Single Family style homes, Townhomes represent a more attainable housing option for young families who appreciate a small yard and enough space to raise a family.
 SALES ACTIVE • AVERAGE DAYS ON MARKET



■ 25TH TO 5000 EPRCENTILE



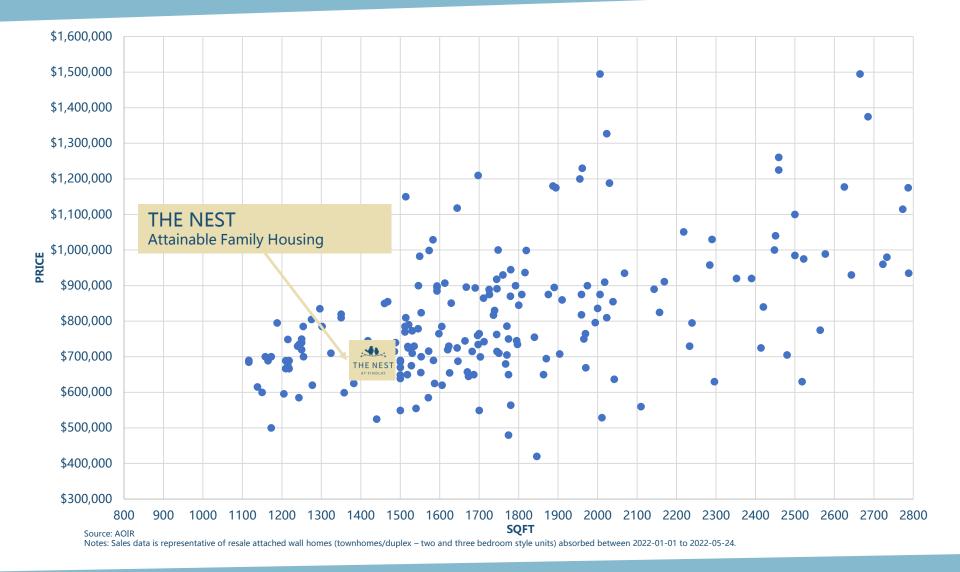
#### ■ 50TH TO 75TH PERCENTILE ● AVERAGE SOLD PRICE

Source: AOIR

Notes: Sales Data is representative of homes absorbed between 2022-01-01 to 2021-05-24. Available data reflective of a snapshot of inventory taken near the end of May 2022. Only freehold title properties were considered for this analysis.



#### HOUSING CONTINUUM KELOWNA (RESALE - PRICE & SQFT )





TheNestTownhomes.com

#### CHALLENGES AND SOLUTIONS

CHALLENGE	THE NEST SOLUTION
Rutland has the largest share of the 2021 estimated population (22%) for Kelowna but only accounts for approximately 10% of Kelowna (CY).	The Nest will provide multifamily housing supply to meet the needs of the current population base.
As of May 13th, 2022, Rutland does not have any permits issued 2022 YTD for Townhouse, Three Family, or Four Family new residential	The Nest will add 20 townhouse units to Rutland helping to balance the permit activity per sector and add much needed attainable housing stock.
When isolating the households size estimates to 3 people or greater; Rutland has the largest share when compared to the other nine sectors.	All 20 units at the Nest have been designed with 3 bedrooms to meet this need.
Based off the 2021 estimates, Rutland has the largest number of census families with children at home.	The Nest is geared towards providing attainable housing for young families.



### **BUYER PROFILE**

The Nest at Findlay will be an attractive option for first time home buyers in their 30s, both young professionals and married couples either with young children or looking to grow their family. They will be frustrated with the challenging and expensive rental market in Kelowna, or relocating from more costly areas like Vancouver, Victoria, Calgary and Toronto. The Nest at Findlay will provide the ideal option for those who are looking for a home to call their own, where they can set down roots and nest.

#### WHAT WILL BUYERS LOVE ABOUT THE NEST AT



#### **PRIDE OF OWNERSHIP**

For many, The Nest at Findlay will be the home that allows them to transition from renters to homeowners.





#### THREE BEDROOM FLOORPLANS

For young families, those planning to start a family, or for those working remotely, the Nest at Findlay offers layouts that work for growing households and successful home offices.

#### **STORAGE SPACE**

The Nest at Findlay offers extra storage space for outdoor Kelowna lifestyle items like bicycles, water equipment and ski/snowboard gear, as well as plenty of space to tuck away children's toys and strollers.

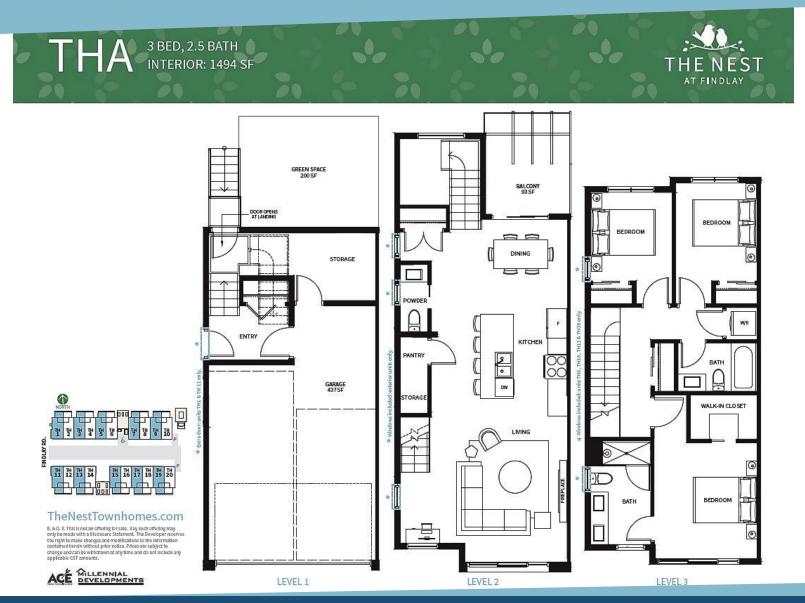


TheNestTownhomes.com

#### **AMENITY SPACE**

The Nest at Findlay will offer amenity spaces designed for families which will include community gardens, a barbeque center and playground to promote community building and play.

## Floorplans





## FORM & CHARACTER (Exteriors)







Neighboured by Chichester Wetland Park, within an evolving neighbourhood, The Nest is home to a collection of 20 townhomes that are thoughtfully designed from the inside out. Bespoke details, and refined wood-accented architecture pair with modern interiors that boast elevated finishes amongst 3bedroom interior layouts ideal for young families seeking a warm community. Private landscaped yards, decks, and double-car garages, offer essential needs. Yet, amenities including community gardens, outdoor spaces, and formal storage for recreational gear and toys are some features reinforcing The Nest as optimal family lifestyle living.



TheNestTownhomes.com

## FORM & CHARACTER (Interiors)





The Nest at Findlay will be a major life purchase for most buyers and will be a personal, emotional and milestone achievement, moving from paying monthly rent to taking on a mortgage.

Housing prices in Kelowna have shown a strong and steady increase over the past year, according to the Okanagan Mainland Real Estate Board.

Average townhome price: \$804,511\* Average single-family home price: \$1,368,444\* Average Kelowna household pre-tax income: \$92,085\*\*

Simply stated, the average household cannot afford to purchase a single-family home in Kelowna. The Nest at Findlay will create much-needed attainable townhouse living for young professionals and families in the Kelowna real estate market, allowing them to transition from renters to homeowners, building equity into their homes and increasing their disposable income to reinvest into the economy. The Nest at Findlay will be a place for these buyers to truly call home.

\*Notes: Sales Data is representative of homes absorbed between 2022-01-01 to 2021-05-24. Only freehold title properties were considered for this analysis. \*\*Source: Environics





# THE NEST

## AT FINDLAY

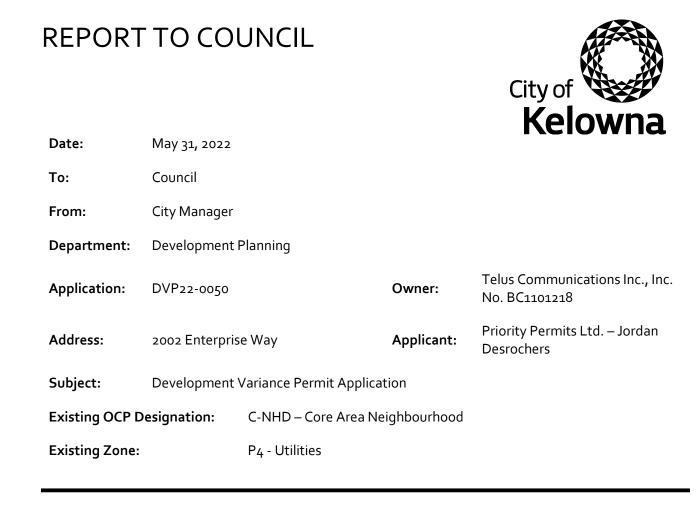
## THE NEST AT FINDLAY 1100 - 1631 Dickson Ave Kelowna, BC

V1Y 0B5

250.718.1609



TheNestTownhomes.com



#### 1.0 Recommendation

THAT Council <u>NOT</u> authorize the issuance of a Development Variance Permit No. DVP22-0050 for Lot B, District Lot 140, ODYD, Plan KAP76401, located at 2002 Enterprise Way, Kelowna, BC.

#### 2.0 Purpose

To review a Staff recommendation to <u>NOT</u> issue a Development Variance Permit to vary the maximum size of an electronic message centre on the subject property.

### 3.0 Development Planning

Staff do not support the proposed Development Variance Permit application to vary the maximum size of an electronic message centre on the subject property from 2.0 m<sup>2</sup> permitted 33.82 m<sup>2</sup> proposed. Regulation of digital and animated signage, including limiting the size, is intended to reduce its visual impact. The Development Permit Guidelines in the 2040 Official Community Plan (OCP) aim to limit the size of signage and to restrict back-lit signage to not dominate a site. The requested variance is a significant deviation from what is permitted by the Sign Bylaw or supported by the OCP.

Allowing electronic message centres as a permitted use in public and institutional zones in the City of Kelowna Sign Bylaw was primarily intended to allow small signs for digital messaging for uses such as schools and churches. It was not intended to be used for corporate branding or marketing and is not permitted in commercial zones or any other zones.

## 4.0 Proposal

## 4.1 <u>Background</u>

In July 2016, Council authorized the issuance of a Development Variance Permit for signage on the subject property. Four variances were approved by Council to vary the maximum number of signs per building frontage, and to vary the maximum sign area of a banner sign from 18.3 m<sup>2</sup>to 35.93 m<sup>2</sup>, a vinyl window sign from 18.3 m<sup>2</sup> to 30.58 m<sup>2</sup>; and a second vinyl window sign from 9.14 m<sup>2</sup> to 33.64 m<sup>2</sup>.

City of Kelowna Sign Bylaw No. 11530 was adopted in August 2018. Sign Bylaw No. 11530 permitted digital and animated signs only in public and institutional zones, and not in commercial zones. This reflected previous history where digital signs in commercial buildings were generally not supported by Council, while digital signs on public service buildings like churches and schools were generally supported.

### 4.2 Project Description

The applicant is proposing to vary the maximum size of an electronic message centre from 2.0 m<sup>2</sup> to 33.82 m<sup>2</sup>. The proposed sign would be located on the south elevation of the existing Telus building, replacing the existing banner sign. A variety of rotating digital content would appear on the subject sign, including weather feeds and local messaging and notifications (ex: local art, information about community events etc.).

## 4.3 <u>Site Context</u>

The subject property is located at the corner of Enterprise Way and Hardy Road and currently contains the Telus Kelowna Central Office. The surrounding area is designated C-NHD – Core Area Neighbourhood, IND – Industrial, and R-COM – Regional Commercial and is zoned C4 – Urban Centre Commercial, I2 – General Industrial and RM5 – Medium Density Multiple Housing.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C4 – Urban Centre Commercial	Offices
East	l2 – General Industrial	Vehicle and equipment services
South	C4 – Urban Centre Commercia	Retail stores
West	C4 – Urban Centre Commercial	Offices
west	RM5 – Medium Density Multiple Housing	Apartment housing



Subject Property Map: 2002 Enterprise Way

#### 5.0 Current Development Policies

#### 5.1 Kelowna Official Community Plan (OCP)

Chapter 18 Form & Character Development Permit Guidelines				
Section 2.1.6.h	Limit signage in number, location, and size to reduce visual clutter and make			
General Guidelines	individual signs easier to see			
Section 6.1.4.e	Allow for brand identification where there are multiple buildings and uses on a			
Retail, Commercial	site, but avoid corporate image, colour, and signage back-lit signs from			
and Industrial	dominating the site.			
Guidelines				

#### 6.0 Application Chronology

Date of Application Accepted:February 25, 2022Date Public Consultation Completed:March 14, 2022

#### 7.0 Alternate Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP22-0050 for Lot B, District Lot 140, ODYD, Plan KAP76401, located at 2002 Enterprise Way, Kelowna, BC;

AND THAT variances to the following section of Sign Bylaw No. 11530 be granted in accordance with Schedule "A":

#### Section 4.3.2(e): Electronic Message Centre Regulations

To vary the maximum area of an Electronic Message Centre Sign from 2.0 m<sup>2</sup> permitted to 33.82 m<sup>2</sup> proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Report prepared by:	Mark Tanner, Planner II
Reviewed by:	Lydia Korolchuk, Urban Planning Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

## Attachments:

Attachment A: Draft Development Permit DVP22-0050

Schedule A: Sign Detail & Elevations

Attachment B: Rationale & Conceptual Drawing Package

## **Development Variance Permit** DVP22-0007

#### This forms part of application # DVP22-0050 City of Planner MT Initials

ATTACHMENT





This permit relates to land in the City of Kelowna municipally known as

#### 2002 Enterprise Way

and legally known as

Lot B, District Lot 140, ODYD, Plan KAP76401

and permits the land to be used for the following development:

#### Electronic message centre

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision	May 31, 2022
Decision By:	COUNCIL
Existing Zone:	P4 - Utilities
Future Land Use Designation:	C-NHD – Core Area Neighbor

urhood

## This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Telus Communications Inc., In. No. BC1101218 Owner:

Priority Permits Ltd. - Jordan Desrochers Applicant:

**Terry Barton** 

**Community Planning Department Manager** Planning & Development Services

Date



#### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

#### 2. CONDITIONS OF APPROVAL

a) That variances to the following sections of Sign Bylaw No. 11530 be granted in accordance with Schedule "A":

<u>Section 4.3.2(e): Electronic Message Centre Regulations</u> To vary the maximum area of an Electronic Message Centre Sign from 2.0 m<sup>2</sup> permitted to 33.82 m<sup>2</sup> proposed.

#### This Development Variance Permit is valid for two (2) years <u>from the date of approval</u>, with no opportunity to extend.

#### 3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

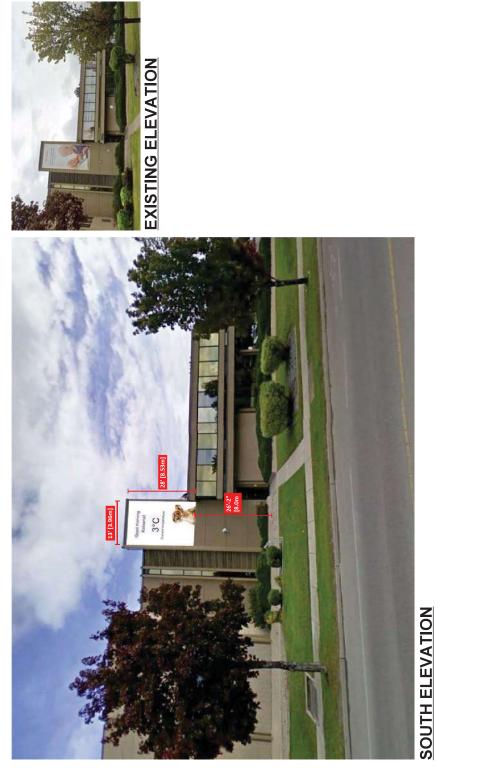
The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.

Priority Permits



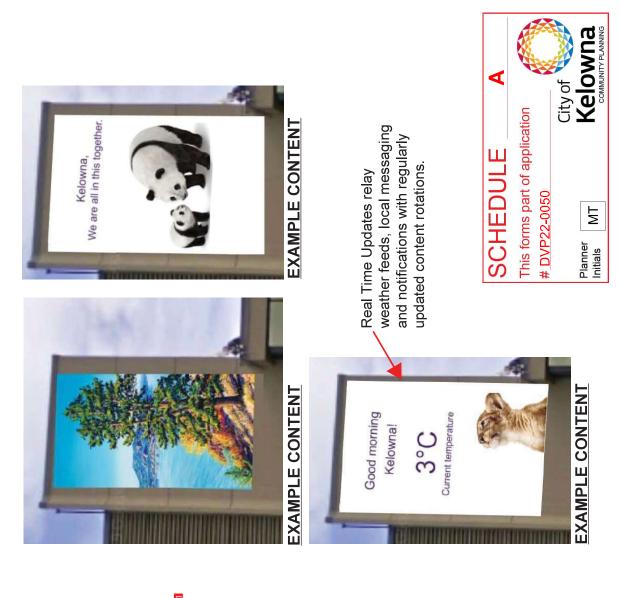
2002 Enterprise Way Kelowna, BC **Priority Permits Ltd.** Jordan Descochers 604 477 9550 Jordan@PriorityPermits.com

Telus

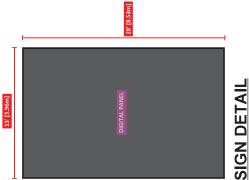


2002 Enterprise Way Kelowna, BC Priority Permits Ltd. Jordan Desrochers 604 477 9650 Jordan@PriorityPermits.com

Telus



ART PANEL AREA 33.82m<sup>2</sup> 364.00ft<sup>2</sup>



Priority Permits



January 20, 2022 City Service Center City of Kelowna 2002 Enterprise Way Kelowna, BC, V1T 2L8

To Whom It May Concern:

Re: Digital Art application permit for 2002 Enterprise Way

TELUS Business Solutions 510 West Georgia Street Vancouver, BC, V6B 0M3 403 384 2777 Telephone rommel.palanca@telus.com

ATTACHMEN	NT B
This forms part of appli	cation
#_DVP22-0050	🕅 💥
	City of
Planner Initials MT	Kelowna COMMUNITY PLANNING

Please consider this documentation as our formal application for an Art Installation Permit for our TELUS Central Office for our TELUS Kelowna Central Office located at 2002 Enterprise Way. This application supports our ongoing commitment and presence within the community and continuation of historical fixtures dating as far back as 2016 hosting TELUS for Good Campaigns.

The historical timeline in showcasing this space has been progressive over the years. We plan to further enhance our presentation to provide community benefit with local messages and community art. We are focused on installing digital art to allow TELUS to continue to bring forward dynamic content to highlight the Kelowna community and provide something residents can identify with and enjoy. Digital display provides the advantage of accommodating timely content updates including, and not limited to, being directed by community current events. It is important to note, we intend to highlight the TELUS relationship with Kelowna and avoid the introduction of a marketing billboard for profit.

With the intent to rotate with community art and municipal messaging we plan to move forward from the digital art permit approval and install in early 2022. We appreciate the opportunity to highlight the Kelowna community in our objective to update and modernize past exhibits.

Sincerely,

Rommel Palanca Manager – Products & Services TELUS Business





ATTACHMENT B This forms part of application # DVP22-0050 City of City of Community Frank	Wall-mountedProposalDigital Sign28' X 13'	<b>Building Dimensions</b>	(A) Height	(B) Width	Sign Dimensions	(C) Height 28'	(D) Width 13'	(E) Floor to	sign distance
Proposed Sign Dimensions									TELLIS Public

**TELUS Public** 

Jpdate Jpdate ds, loc tions w ntent rc	resent the tinal project
Real Time Updates       ATTACHMENT         Ristons part of application       # DVP22-0050         Real Time Updates       # DVP22-0050         Real Time Updates relay       # Entry and applications         Real Time Updates relay       # Entry and applications         Real Time Updates relay       # Entry and applications         Modekups depicted are subject to ongoing       # Entry applications	cnanges and do not represent the final project
<section-header>         Image: Proposed Rendering: Real 1</section-header>	

# Proposed Rendering: Community Messaging & Artwork





# DVP22-0050 2002 Enterprise Way

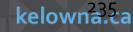
Development Variance Permit Application





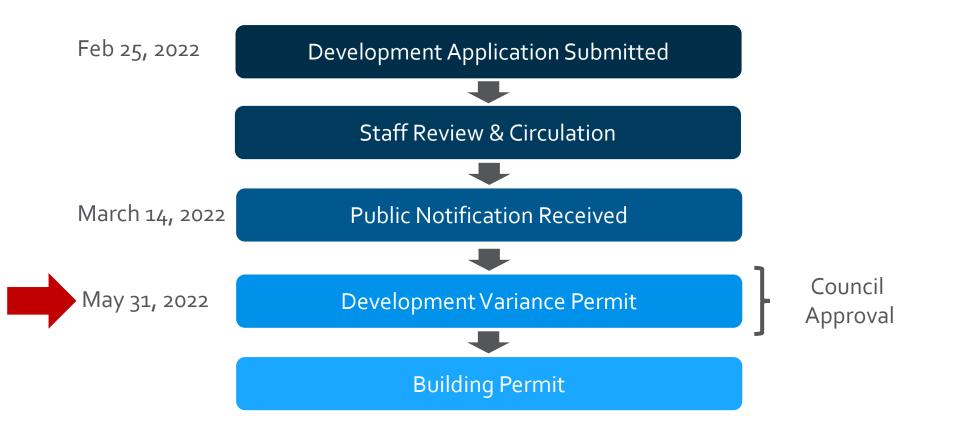
# Proposal

To review a Staff recommendation to <u>NOT</u> issue a Development Variance Permit to vary the maximum size of an electronic message centre on the subject property.



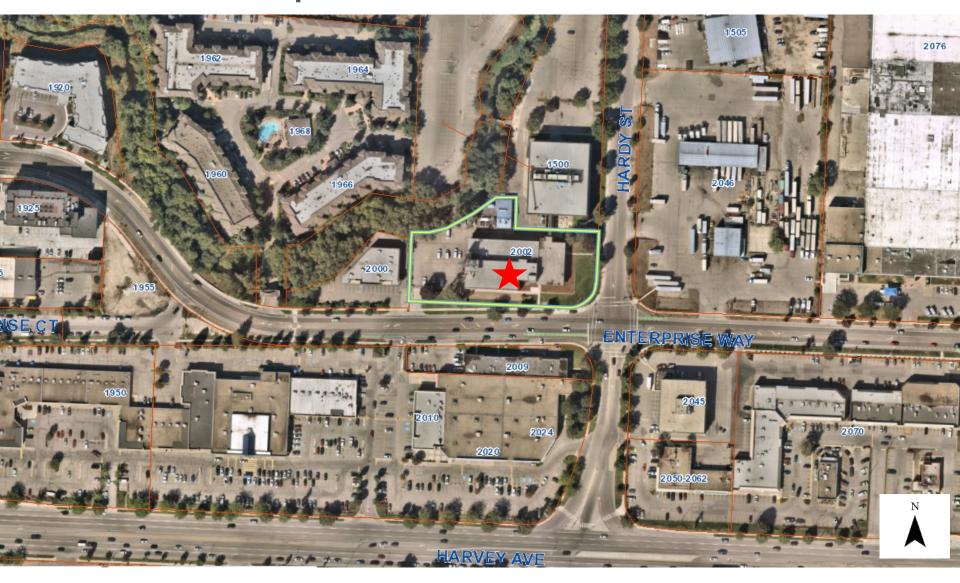
# **Development Process**



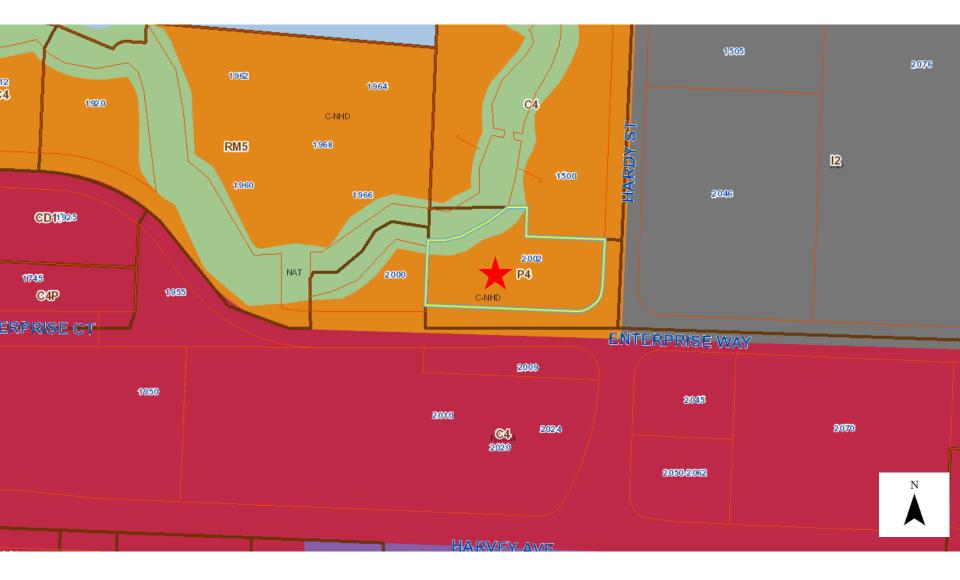




# Context Map



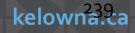
# Future Land Use / Zoning



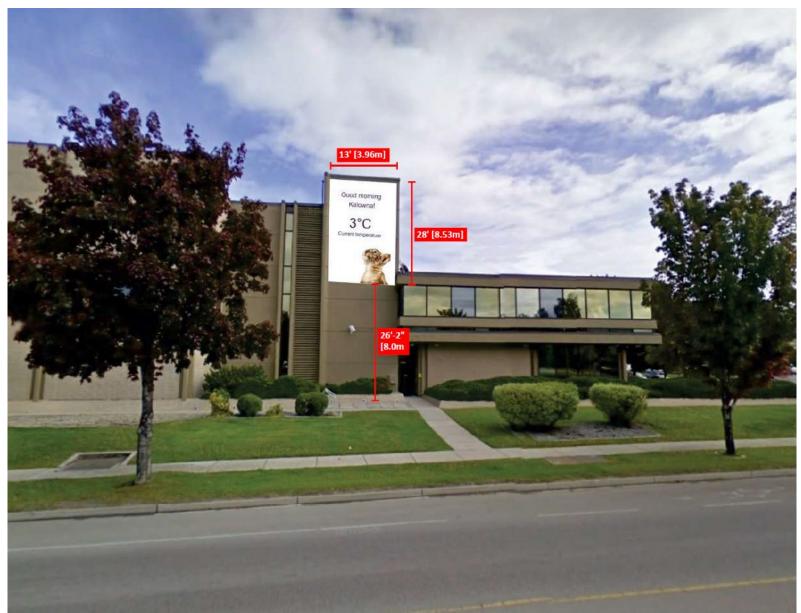


# Project details

- In 2016, Council approved variances to the number and size of signs to allow a banner sign and two vinyl window signs on the subject property.
- Applicant is proposing to replace the existing banner sign with a digital sign.
- Requires a variance to the maximum size of an electronic message centre from 2.0 m<sup>2</sup> to 33.82 m<sup>2</sup>.



## Elevations

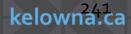




# Staff Recommendation

Staff recommend non-support for the Development Variance Permit:

- Significant deviation from Sign Bylaw regulations
- Inconsistent with OCP Development Permit Guidelines
- Electronic message centres are permitted only in public and institutional zones and are not intended for corporate branding or marketing.





# Conclusion of Staff Remarks



# **Digital Art Proposal**

DVP22-0050

May 31, 2022

Jeff Cruickshank and Rommel Palanca proud members of the TELUS team



Create meaningful change through the power of our purpose





## **TELUS Social Purpose**

- We give where we live
- Bridging digital divides
- Helping everyone live healthier
- Investing in sustainable futures

3



## Kelowna & TELUS

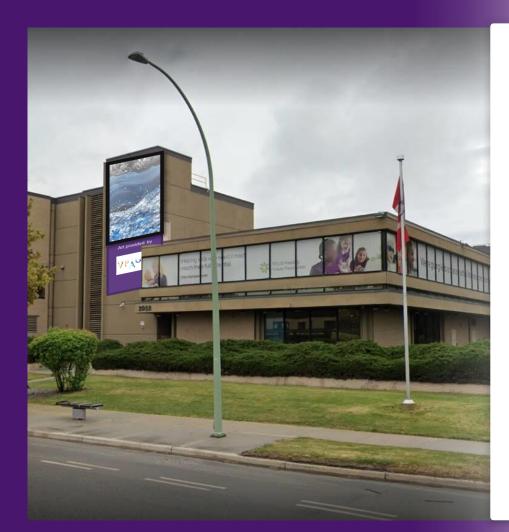
- Since 2011, the TELUS Interior and Northern B.C. Community Board have donated \$3.1 million to 363 grassroots projects, charities and organizations
- 31 active volunteer campaigns ongoing in Kelowna as part of TELUS Days of Giving
- Local TELUS teams actively provide community support with installs and ongoing technical support.





## **Current State**

Address	2002 Enterprise Way
Plan of Intent	Existing banner sign displaying Social Impact Programs
Current Size	33.66 m <sup>2</sup> (3.96m x 8.50m)

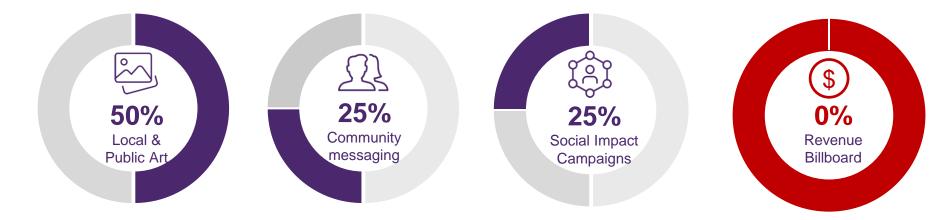


## **Proposed Future State**

Permit Location	South side of 2002 Enterprise Way building			
Plan of Intent	Replace existing banner sign with display enabling Digital Art & Community Messaging			
Proposed Size: 33.66 m <sup>2</sup>	Art provided by V P Y Y Y Y Y Y Y Y Y Y Y Y Y Y Y Y Y Y			



## **Digital Art Plan of Intent**



# Leverage the power of Digital to enable a collaborative, innovative, connected and responsible community.

TELUS Proprietary

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## Local Digital Art Partnerships





Okanagan Campus





## Agreements in principle to showcase and provide credit to local artist work



Digital Art provided by the UBC Okanagan

Title: Seasoned: Spring Year: 2013 Artist: Julie Oakes



Sample Digital Art provided by the Vernon Art Gallery

## Title: Though Our Eyes Artist: Teen Junction

This exhibition feature artwork produced by the youth in the Teen Junction support group under the Vernon's chapter of the Boys and Girls Club.



## **Current TELUS Outdoor Art Displays**



## **TELUS** Calgary



## **TELUS** Garden, Vancouver

Displays public & professional art, community outreach and community programming. No TELUS product or external advertising displayed.



## **Intended Digital Outcomes**

Eight Pollution

- Adjustable and adaptable brightness levels to reduce light pollution impact
- Customizable deactivation times



Usage

- Limited to local art, community messaging and social programs
- No direct revenue
   generation



## Distraction

- Limited to still content
- Restricted from displaying full motion video



## Supply of Power

 Utilizes existing building power with no additional land requirements

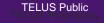
12



# **Closing Remarks**

**TELUS** Public

# let's make the future friendly™







# **Backup Slides**

To be referenced during Question period

15



## **TELUS Social Impact Initiatives**



## Internet for Good

Mobility for Good





## **TELUS Social Impact Initiatives**



Tech for Good



Health for Good

259



## Samples of Digital community messaging

- Acknowledgements
- Holiday messages
- Municipal reminders
- Support local sports teams
- Festival & event dates
- Tributes & recognition
- Emergency alerts



Content displayed at TELUS Garden on September 30, 2021

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# **VPAG Digital Art Sample**



Title: Malleus Year: 2022 Medium: Mixed media sculpture Artist: Kelsie Balehowsky

Kelsie is a Kelowna resident and is the learning & community engagement curator for the Vernon Public art gallery.