City of Kelowna Regular Council Meeting AGENDA FRUITFUL IN UNITY

Tuesday, May 10, 2022 6:00 pm Council Chamber City Hall, 1435 Water Street

- 1. Call to Order
- 2. Reaffirmation of Oath of Office

The Oath of Office will be read by Councillor Wooldridge.

3. Confirmation of Minutes

Regular Tuesday Meeting - April 12, 2022

4. Liquor License Application Reports

Mayor to invite anyone participating online or in the public gallery who deems themselves affected by the liquor license application to come forward..

4.1. START TIME 6:00 PM - Bernard Ave 353 - LL22-0001 - 1299853 B.C. LTD., INC.NO. 8 - 26 BC1303098

To amend a Liquor Primary License for a liquor primary establishment with an occupant load of 333 persons.

5. Development Permit and Development Variance Permit Reports

Mayor to invite anyone participating online or in the public gallery who deems themselves affected by the required variance(s) to come forward for each item.

5.1. START TIME 6:00 PM - Cambridge Ave 651 - BL12313 (Z21-0085) - Provincial Rental 27 - 27 Housing Corporation, In. No. BC0052129

To adopt Bylaw No. 12313 in order to rezone the subject property from the RM3 – Low Density Multiple Housing & RU6 – Two Dwelling Housing zones to the RM3r – Low Density Multiple Housing (Residential Rental Tenure Only) zone.

1-7

Pages

5.2. START TIME 6:00 PM - Cambridge Ave 651 - DP20-0182 DVP20-0183 - Provincial Rental Housing Corporation, Inc.No. BC0052129

To issue a Development Permit for the form and character of a new multi-family development and to issue a Development Variance Permit to vary parking, setbacks, height, and site coverage.

5.3. START TIME 6:45 PM - 2339-2397 Hwy 97 N - DP21-0155 DVP21-0272 - Dilworth 134 - 315 Shopping Centre Ltd., Inc No. 319846

To issue a Development Permit for the form and character of a residential and commercial mixed-use development and a Development Variance Permit to decrease the minimum commercial space on the first floor fronting an arterial road from 90% to 16.3%.

5.4. START TIME 6:45 PM - Crosby Rd 1786 - DVP22-0007 - Alfonso Reda and Cheryl 316 - 339 Elaine Reda

To review a Staff recommendation to NOT issue a Development Variance Permit to vary the maximum site coverage and the minimum rear yard for a deck addition to a single detached house.

6. Reminders

7. Termination



City of Kelowna Regular Council Meeting Minutes

Date: Location:	Monday, April 12, 2022 Council Chamber City Hall, 1435 Water Street
Members Present	Deputy Mayor Gail Given, Councillors Maxine DeHart, Ryan Donn, Luke Stack and Loyal Woold <mark>rid</mark> ge
Members participating Remotely	Councillors Charlie Hodge, Brad Sieben* and Mohini Singh
Members Absent	Mayor Colin Basran
Staff Present	City Manager, Doug Gilchrist; Deputy City Clerk, Laura Bentley; Divisional Director, Planning & Development Services, Ryan Smith; Development Planning Department Manager, Terry Barton; Acting Urban Planning Manager, Lydia Korolchuk; Legislative Coordinator (Confidential), Clint McKenzie
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Staff participating Remotely Legislative Coordinator (Confidential), Arlene McClelland

(* Denotes partial attendance)

1. Call to Order

Deputy Mayor Given called the meeting to order at 6:02 p.m.

2. Reaffirmation of Oath of Office

The Oath of Office was read by Councillor Stack.

3. Confirmation of Minutes

Moved By Councillor Hodge/Seconded By Councillor DeHart

<u>**Ro265/22/04/11**</u> THAT the Minutes of the Regular Meeting of March 22, 2022 be confirmed as circulated.

Carried

4. Development Permit and Development Variance Permit Reports

4.1 START TIME 6:00 PM - Abbott St 1889 - HAP21-0005 - James A. Faulkner and Christina C. Faulkner

Staff:

Displayed a PowerPoint Presentation summarizing the application.

Birte Decloux, Urban Options Planning

Available for questions.

Deputy Mayor Given invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one participating online or in the Gallery indicated they wished to speak.

There were no further comments.

Moved By Councillor Wooldridge/Seconded By Councillor Donn

Roz66/22/04/11 THAT Council authorize the issuance of Heritage Alteration Permit HAP21-0005 for Lot 1, Block D, District Lot 14, ODYD, Plan 2220, located at 1889 Abbott Street, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A",
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B",

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 6.5.3(a): Accessory Buildings in Residential Zones

To vary the maximum site coverage for accessory buildings from the lesser of 14% or a footprint of 90 m² to 112.6 m² proposed.

<u>Section 6.5.3(e): Accessory Buildings in Residential Zones</u> To vary the minimum side yard from 1.5 m permitted to 0.9 m proposed.

Section 6.5.3(g): Accessory Buildings in Residential Zones

To vary the minimum distance to the principal dwelling from 3.0 m permitted to 1.3 m proposed.

AND FURTHER THAT this Heritage Alteration Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

4.2 START TIME 6:00 PM - Holland Rd 3090 - BL12296 (Z21-0044) - Rolan L Facette and Karen M Facette

Moved By Councillor Donn/Seconded By Councillor Wooldridge

<u>Ro267/22/04/11</u> THAT Bylaw No. 12296 be adopted.

Carried

4.3 START TIME 6:00 PM - Holland Road 3090 - DVP21-0103 - Rolan L Facette and Karen M Facette

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Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Birte Decloux, Urban Options Planning

Available for questions.

Deputy Mayor Given invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one participating online indicated they wished to speak.

Gallery:

Larry Diakow, Holland Road

- Inquired which property lines will be the side yard and rear yard following subdivision.

Deputy Mayor Given:

4.4

- Responded to the intervenor's inquiry.

There were no further comments.

Moved By Councillor Wooldridge/Seconded By Councillor Hodge

Roz68/22/04/11 THAT final adoption of BL12296 be considered by Council;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0103 for Lot 3 District Lot 131 ODYD Plan 10710 Except Plan H16127, located at 3090 Holland Road, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.1.6(d): RU6 – Two Dwelling Housing Development Regulations: To vary the required minimum rear yard from 7.5 m permitted to 4.8 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

START TIME 6:00 PM - Devonshire Ave 1264-1284 and Belaire Ave 1281-1299 -BL12307 (Z21-0080) - Five Bridges Developments Inc

<u>Moved By Councillor Wooldridge/Seconded By Councillor Donn</u>

Roz6g/zz/o4/11 THAT Bylaw No. 12307 be amended at 3rd reading by deleting from the legal description that read:

- a) Lot 13 Block 2 District Lot 137, ODYD, Plan 9625 located at 1281 Belaire Avenue, Kelowna, BC;
- b) Lot 14 Block 2 District Lot 137, ODYD, Plan 9625 located at 1289-1291 Belaire Avenue, Kelowna, BC;
- c) Lot 19 Block 2 District Lot 137, ODYD, Plan 9625 located at 1264 Devonshire Avenue, Kelowna, BC;
- d) Lot 20 Block 2 District Lot 137, ODYD, Plan 9625 located at 1274 Devonshire Avenue, Kelowna, BC;
- e) Lot 15 District Lot 137, ODYD, Plan 10011 located at 1284 Devonshire Avenue, Kelowna, BC;
- f) Lot 27 District Lot 137, ODYD, Plan 10011 located at 1299 Belaire Avenue, Kelowna, BC;

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And replacing with:

"Lot A District Lot 137, ODYD, Plan EPP115830"

And by deleting the title:

"1264, 1274, 1284 Devonshire Avenue 1281, 1289-1291, 1299 Belaire Avenue"

And replacing with:

"1274 Devonshire Avenue"

Moved By Councillor Wooldridge/Seconded By Councillor Donn

Roz70/22/04/11 THAT Bylaw No. 12307, as amended, be adopted.

Carried

Carried

4.5 START TIME 6:00 PM - Devonshire Ave 1274 - DP21-0199 DVP21-0200 - Five Bridges Developments

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Matt Johnston, LIME Architecture, Richter Street

- Members of the team are available for questions.
- Made comment on the site background and market research.

Councillor Sieben joined the meeting remotely at 6:22 p.m.

Ryan Tamblyn, CEO Millennial Development, Dickson Avenue

- Spoke to personal background regarding housing prices when first home was purchased compared to today's housing affordability and shortage.
- Commented on the development concept of this project.
- Spoke to the design that will enhance the lifestyle of its owners by blending work, play, community and wellness with cutting edge technology.
- Spoke to the indoor and outdoor amenity space and many building features.
- Responded to questions from Council.

Deputy Mayor Given invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

On Line Participants:

Heather Friesen, Kriese Road

- Raised concern with the number of micro suites in this development.
- Raised concern that micro suites are being referred to as accessible when they are not.
- Made a suggestion that bylaws require affordability and accessibility.

No one participating in the Gallery indicated they wished to speak.

Ryan Tamblyn, Applicant

- Thanked the intervenor for their comments and clarified that the term accessible is in reference to the units being financially affordable, not accessible for physical disabilities.

Staff:

Responded to questions from Council.

There were no further comments.

Moved By Councillor Wooldridge/Seconded By Councillor Donn

Ro271/22/04/11 THAT Rezoning Bylaw No. 12307 be amended at third reading to revise the legal description of the subject properties from Lots 13, 14, 19 & 20 Block 2 District Lot 137 ODYD Plan 9625 and Lots 15 & 27 District Lot 137 ODYD Plan 10011 to Lot A District Lot 137 ODYD Plan EPP115830;

AND THAT final adoption of Rezoning Bylaw No. 12307 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP21-0199 and Development Variance Permit DP21-0200 for Lot A District Lot 137 ODYD Plan EPP115830, located at 1274Devonshire Avenue, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

<u>Section 13.11.6(b): RM5 – Medium Density Multiple Housing Development Regulations</u> To vary the required maximum site coverage from 50% permitted to 58.4% proposed;

<u>Section 13.11.6(b): RM5 – Medium Density Multiple Housing Development Regulations</u> To vary the required maximum site coverage of buildings, driveways and parking areas from 65% permitted to 76.7% proposed;

Section 13.11.6(c): RM5 – Medium Density Multiple Housing Development Regulations To vary the required maximum height from 18.0 m or 4.5 storeys permitted to 20.5 m & 6 storeys proposed.

AND THAT the applicant be required to enter into a Car-Share Agreement for a minimum of two years from the date of Building Occupancy as set out in Attachment D attached to the Report from the Development Planning Department April 12, 2022;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

Councillor Sieben disconnected from the meeting at 6:58 p.m.

4.6 START TIME 6:20 PM - Young Rd 704 - DVP22-0012 - Toby L. McCabe and Carleigh E. Durette Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The Applicant was present and available for questions.

Deputy Mayor Given invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one participating online or in the Gallery indicated they wished to speak.

There were no further comments.

Moved By Councillor Wooldridge/Seconded By Councillor DeHart

<u>Roz72/22/04/11</u> THAT Council authorizes the issuance of Development Variance Permit No. DVP22-0012 for Lot B District Lot 358 Osoyoos Division Yale Plan 30370, located at 704 Young Road, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

<u>Section 13.1.6(d): RU1 – Large Lot Housing Development Regulations</u> To vary the required minimum side yard from 2.3 m permitted to 2.18 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

4.7 START TIME 6:20 PM - Lambert Ave 1551 - DVP22-0047 - Josine Kruiswyk and Johannes Kruiswyk

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The Applicant was present and available for questions.

Deputy Mayor Given invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one participating online indicated they wished to speak.

Gallery:

Sean Roberts, Lambert Avenue

- In full support of this application.
- Lives next door and believes there is no change in what the neighbour's would see with the setbacks.

There were no further comments.

Moved By Councillor Stack/Seconded By Councillor Hodge

<u>Ro273/22/04/11</u> THAT Council authorizes the issuance of Development Variance Permit No. DVP22-0048 for Lot A Section 29 Township 26 ODYD Plan 41178, located at 1551 Lambert Avenue, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw 8000 be granted:

<u>Section 9.5b.1(h): Carriage House Regulations</u> To vary the required minimum front yard from 9.0m required to 1.29m proposed.

<u>Section 9.5b.1(i): Carriage House Regulations</u> To vary the required minimum side yard from 1.5m required to 1.07m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

5. Reminders

Deputy Mayor Given:

- Reminder of the Parcel Tax review meeting on April 25th at 8:45 a.m. and asked for an alternate participant as Councilor Hodge is unable to attend.

Moved By Councillor Wooldridge/Seconded By Councillor Donn

<u>Roz74/22/04/11</u> THAT Council appoint Councillor Given as an alternate for the Parcel Tax Review panel meeting on April 25, 2022.

Carried

6. Termination

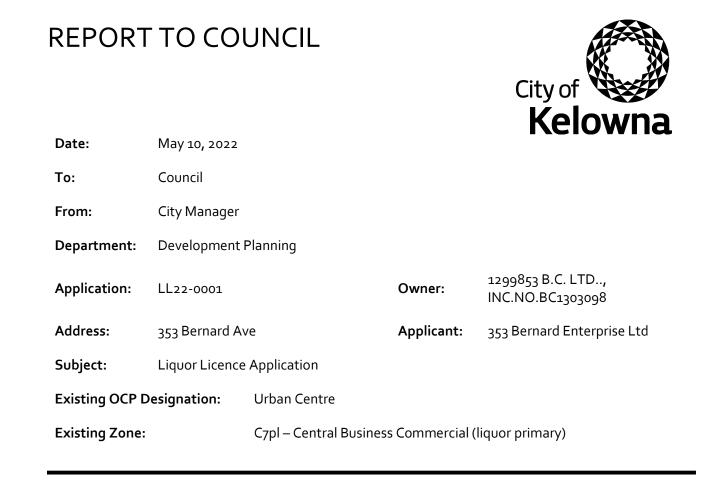
The meeting was declared terminated at 7:07 p.m.

Deputy Mayor Given

/acm

City Clerk

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1.0 Recommendation

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with 'Division 9 (71)' of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

- Council recommends support of an application from 353 Bernard Enterprise Ltd for a liquor primary license for 1299853 B.C. LTD., INC. NO. BC 1303098, 353 Bernard Ave, Kelowna, BC for the following reasons:
 - Council Policy No. 359 recommends the large establishments should be located within Urban Centres;
- 2. Council's comments on LCRB's prescribed considerations are as follows:
 - Criteria for licence amendment:
 - a. <u>The potential for noise if the application is approved:</u> The potential impact for noise is minimal and would be compatible with surrounding land uses.
 - b. <u>The impact on the community if the application is approved:</u>

The potential for negative impacts is considered to be minimal as this is an expansion to an existing Liquor Primary establishment.

3. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures".

2.0 Purpose

To amend a Liquor Primary License for a liquor primary establishment with an occupant load of 333 persons.

3.0 Development Planning

Staff support the request to amend a Liquor Primary License for the existing liquor primary establishment. The proposed maximum occupancy would be 333 persons. The second floor area would allow for a maximum of 165 persons, the main floor area 140 persons and the patio area 28 persons. Under council policy 359, the increased occupancy will transition the establishment from a "medium" (capacity from 100 to 249 persons) to a "large" establishment (capacity greater than 249 to 500 persons). The current hours of the liquor service are 9:00am to 2:00am seven days per week and the applicant is not seeking to change these hours. The outdoor patio area will maintain the existing operating hours which are consistent with the Bernard Avenue Sidewalk Program and other outdoor patio areas downtown:

- Patio hours of operation: 9:00 am 11:00 pm
- Last Call for drinks: 10:30 pm
- Alcohol to be cleared from the patio area by 11:00 pm
- Patrons must exit the patio by 12:00 am

• A patio may not permit, make or cause any noise within the Permit Area that is liable to disturb the quiet, peace, rest, enjoyment, comfort or convenience of individuals or the public. The City of Kelowna Good Neighbor Bylaw No. 11500, Part 7 will apply at all times.

Staff support the proposed structural change to the existing liquor primary license; Staff anticipate this liquor license application will have a minimal impact on the surrounding area.

Proposal

3.1 Project Description

The establishment has been located on Bernard Avenue for almost 20 years and was formally known as Doc Willoughby's. The establishment was recently purchased and will be undergoing renovations to expand the service area along with an addition to the rear of the building and renovating the interior to create a second level. The new upstairs area will be operated as an extension of the pub and will be used as a multi-purpose area featuring live entertainment, including comedy nights, movie nights and private corporate functions.

Operating Hours:

	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Open	9:00am	9:00am	9:00am	9:00am	9:00am	9:00am	9:00am
Close	2:00am	2:00am	2:00am	2:00am	2:00am	2:00am	2:00am

3.2 <u>Site Context</u>

The subject property is located within the Downtown Urban Centre. The surrounding area predominantly has the C7 – Central Business Commercial zone. The neighbourhood has a Future Land Use Designation of UC – Urban Centre.

Orientation	Zoning	Land Use
North	C7pl – Central Business Commercial (liquor primary)	Hotel
East	C7 – Central Business Commercial	Food Primary Establishment
South	C7 – Central Business Commercial	Retail Store, General
West	C7 – Central Business Commercial	Office

Specifically, adjacent land uses are as follows:

Subject Property Map: 353 Bernard Ave



4.0 Current Development Policies

4.1 Council Policy No. 359

Large establishments (with person capacity greater than 249 persons) should be located with Urban Centres and not be located within close proximity to other large or medium establishments.

New patios associated with liquor establishments should be located and designed to limit potential impacts on surrounding property owners.

5.0 Technical Comments

5.1 <u>RCMP</u>

No specific policing concerns.

5.2 Fire Department

No Objections.

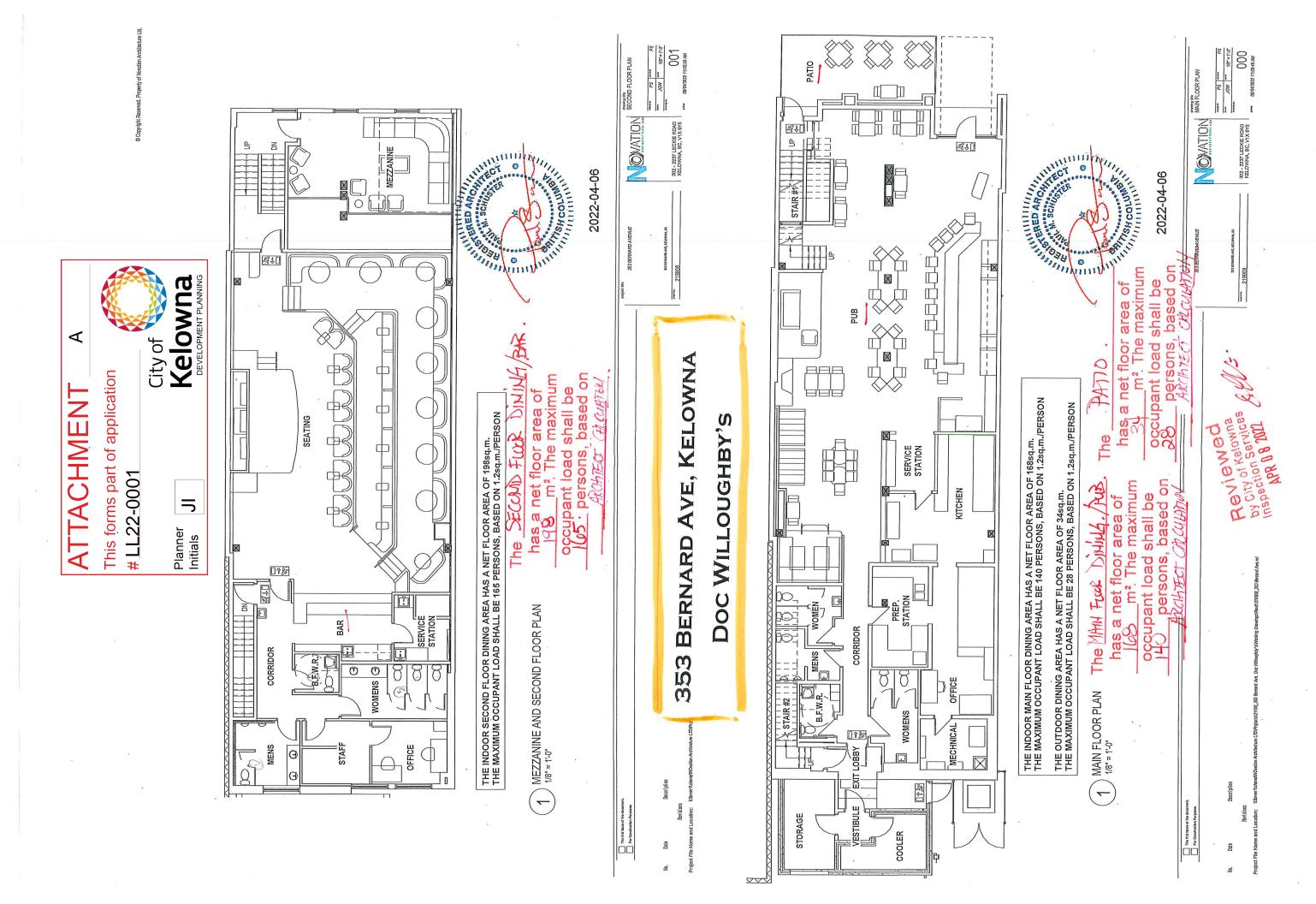
6.0 Application Chronology

Date of Application Accepted:	March 18, 2022
Date Public Consultation Completed:	April 19, 2022

Report prepared by:	Jason Issler, Planner I
Reviewed by:	Lydia Korolchuk, Urban Planning Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Site Plan & Floor Plan / Occupant Load Attachment B: Letter of Rationale



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Location and Concept Proposal

The applicant took over operation of Doc's on May 1, 2021. Doc's has been an iconic pub operating in downtown Kelowna for almost 20 years – since February 2002. The Nixons, as the new owners, look forward to continuing its legacy with their own brand of hospitality. They have revamped the menu to feature quality local ingredients in familiar and classic dishes. Burgers, bowls, sandwiches and much, much more. The Nixons assumed operations of Doc's during the pandemic and have been struggling through numerous and repeated operational restrictions and come up with some creative ideas to remain as a feasible business in an ever evolving and imposed by the Provincial Health Officer. This has forced them to re-think their style operation Doc Willoughby's ("Doc's") is located at 353 Bernard Avenue in downtown Kelowna. in downtown Kelowna for almost 20 years - since February 2002. challenged hospitality industry. The Nixons are excited to bring a fresh concept to Doc's and the downtown community of creative cocktails, and offering an engaging social scene. In addition, they are planning to run the upstairs as a multi-function area, presenting live entertainment and film viewings in a setting unlike many others. They also intend to schedule comedy nights, and offer this unique space to The new upstairs area would be an extension of the pub, continuing to promote great food and Kelowna. They are proposing to expand the licensed area up to the level above the mezzanine. those interested in planning a private personal or corporate event.

like it. They believe this multi-use area with its unique design and operational concept will add a The newly licensed area will offer a unique variety of food options. The Nixons are excited to bring this creative concept to Kelowna, as there currently isn't a room in the downtown area quite They are also currently considering changing the name of the establishment. This is still to be determined. new energy and vibrancy to this already cool dining location in Kelowna.

Proximity to Social or Recreational Facilities and Public Buildings

away. In addition, there are various learning institutions within 1 or 2 km, but they are all adult no daycare facilities within 1 km. There are no concerns with any of these businesses/facilities Doc's is in the heart of downtown Kelowna, and is therefore surrounded by a variety of different businesses and services. There is a library approximately 550 metres away, the RCMP is located 1.5 km away and City Hall is just a couple of blocks away. The YMCA is 650 metres away and The Okanagan Boys and Girls Club is approximately 1.5 km educational facilities, except for one young learning facility, which is a theatre school. There are and their proximity to Doc's. As mentioned previously, Doc's has been operating at this location for almost 20 years and it fits well with its neighbouring businesses and residents. The proposed expansion will not change this fact. Rec Fitness is 900 metres away.

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The Nixons are not applying for any change to the hours of liquor service. They are currently operating Tuesday through Sunday from 11:30 am to 12:00 midnight, but hope to eventually be open seven days per week. The 9:00 am start time simply provides them with greater flexibility so that, on rare occasions they could open earlier, if they needed to. Having said that, they do The hours of liquor service for this establishment are 9:00 am to 2:00 am, seven days a week. not intend to open at 9:00 am, but rather continue with an 11:30 am opening time.

Person Capacity

The current establishment capacity is 150 inside (main floor and mezzanine), plus a patio of 28, for a total of 178. The proposed increased capacity will be 305 inside (main floor, mezzanine and second floor), plus the patio of 28, for a total of 333. Under Council Policy 359, this will transition Doc's from a "medium" establishment (capacity from 100 to 249 persons) to a "large" establishment (capacity greater than 249 persons - up to 500).

Liquor Primary Licensed Establishments with a Reasonable Distance

which is approximately 100 metres away. Micro Bar has a capacity of 45 persons and is, therefore, classified as a "small" establishment under Council Policy 359. This Policy recommends that a "large" establishment should not be located <u>beside</u> a "small" establishment. As previously noted, being located in the heart of Bernard Avenue, Doc's is surrounded by a We would point out that Doc's is not beside Micro Bar. Located on either side of Doc's is Antico Micro Bar is an extremely small facility and it's clientele are seeking a different, more intimate Policy 359. The closest LP licensed establishment is Micro Bar Bites at 1500 Water Street, Pizza Napoletana and Bread Co., neither of which are LP licensed establishments. In addition, variety of different businesses. It is located within an Urban Centre, as is required under Council atmosphere than what has been, and what is proposed to be offered at Doc's.

Kelly O'Bryan's and CRAFT Beer Market are the two next closest establishments, both of which are licensed under Food Primary ("FP") Liquor Licences. In addition, Earls, Salted Brick, Krafty Kitchen & Bar, Memphis Blues BBQ and Raudz are all FP licensed establishments within Doc's proposed capacity of 333 and its location and proximity to other LP licensed establishments does not contravene Council Policy 359. several blocks.



Noise Impact within Immediate Vicinity

We do not believe this proposed expansion will result in any increase in noise coming from this The expanded area is all interior space and measures will be taken during In addition, the applicant will ensure that, during all hours of operation, the establishment is in renovations to ensure that the construction utilizes adequate sound-proofing materials. compliance with the City of Kelowna's noise by laws. establishment.

Impact on Community if Approved

They The Nixons are upstanding business owners and operators who have been have robust training policies that focus on providing the most enjoyment to their customers in the safest possible manner. Their creativity has been embraced at BNA, and it is anticipated that it This will also be embraced at Doc's. The community and visitors to it are looking for fresh new concepts in terms of entertainment, rather than an establishment that purely focuses on alcohol If Doc's receives approval to expand upstairs and increase its capacity up to 333, the community The loyal customers will still have the main floor the same, if they prefer no change, and those seeking change will have something different and interesting on the second floor. successfully operating BNA Brewing and Public Liquor (store) for a number of years. new concept will be a welcome addition to the downtown area. will be enriched. sales.

We look forward to hearing from you at your earliest convenience regarding the next steps in the City's application process, such as neighbourhood notification.

Please contact the writer if you have any questions or require any additional information.

Thank you very much for your consideration.

Yours truly,

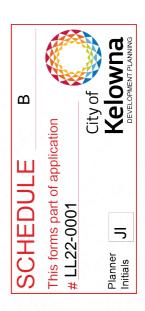
MAIR JENSEN BLAIR LLP

ANITA MOORE-NIKORAS, JABO

ANITA MOORE-NIKORAS, Legal Assistant to Dennis P. Coates, Q.C.

Enclosures

cc: 353 Bernard Enterprises Ltd.



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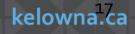
LL22-0001 353 Bernard Ave

Liquor Primary License Application.

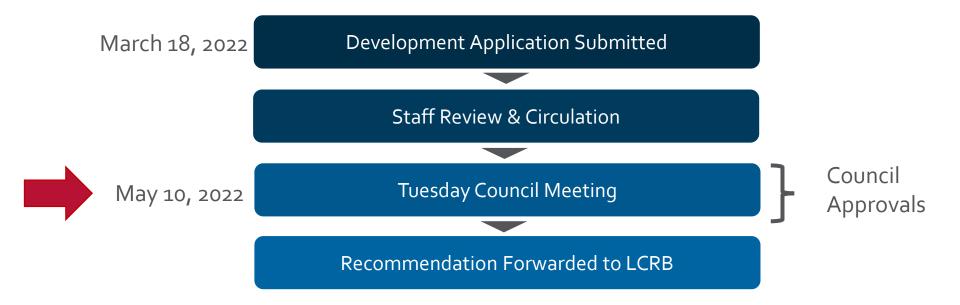


Proposal

To amend a Liquor Primary License for a Liquor Primary Establishment with an occupant load of 333 persons.



Development Process



Context Map

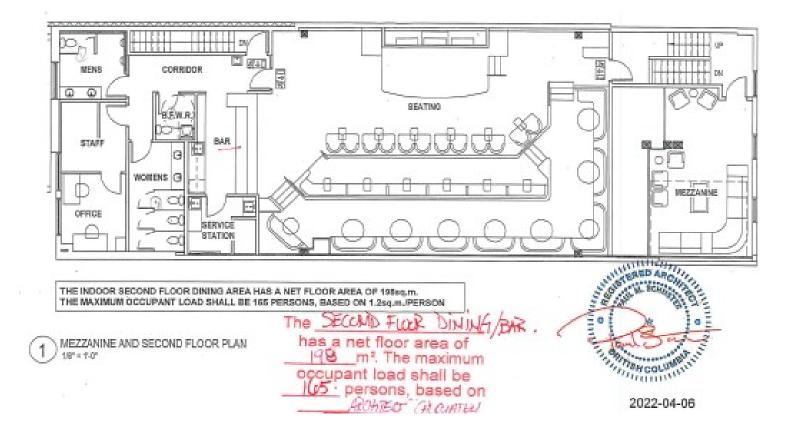


City of Kelowna

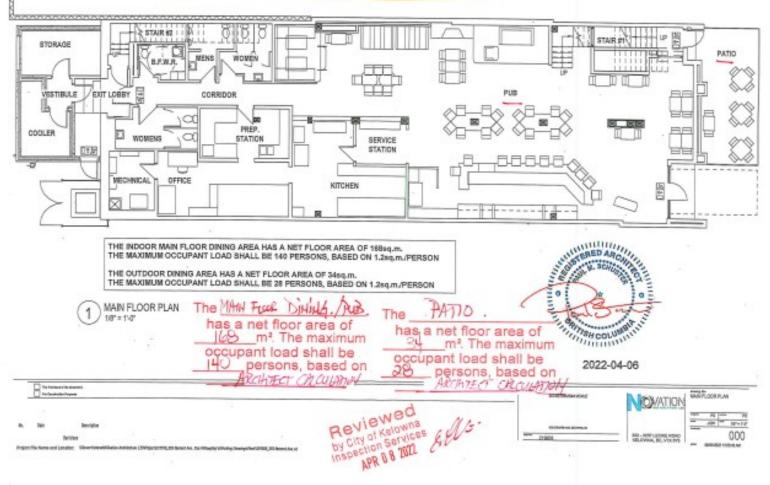
Subject Property Map



Site Layout



Site Layout



Project/technical details

Liquor Primary License

Seeking to amened Liquor Primary Application to increase occupancy to 333.

Licensed Hours:

Operating Hours:

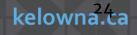
	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Open	9:ooam	9:ooam	9:00am	9:00am	9:00am	9:00am	9:ooam
Close	2:00am	2:00am	2:00am	2:00am	2:00am	2:00am	2:00am



Council Policy#359

Location is suitable

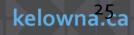
- Within an existing zone for liquor primary establishment
- Not in close proximity another large liquor primary establishment
- Hours of service are suitable (9 AM to 2 AM)
 - Outdoor patio consistent with Bernard Ave Sidewalk program
 - Negative impact is considered to be minimal





Staff Recommendation

- Development Planning recommends support for the amended Liquor Primary License;
- That Council directs Staff to forward a resolution of support to the LCRB for the Liquor Primary License.





Conclusion of Staff Remarks

CITY OF KELOWNA

BYLAW NO. 12313 Z21-0085 651 Cambridge Avenue

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 1 District Lot 9 ODYD Plan EPP113953 located on Cambridge Avenue, Kelowna, BC from the RM3 – Low Density Multiple Housing and RU6 – Two Dwelling Housing zones to the RM3r – Low Density Multiple Housing (Residential Rental Tenure Only) zone.
- 2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this 10th day of January, 2022.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk





Date:	May 10 th , 2022			i cio mia	
То:	Council				
From:	City Manager				
Department:	Development	Planning			
Application:	DP20-0182 / DVP20-0183		Owner:	Provincial Rental Housing Corporation, Inc. No. BCoo52129	
Address:	651 Cambridge Ave		Applicant:	Jeff Marin — VanMar Constructors 1097 Inc.	
Subject:	Development Permit & Development Variance Permit Applications			t Applications	
Existing OCP D	esignation:	C-NHD – Core Area Neighbourhood			
Existing Zone:		RM3r – Low Density M	ultiple Housing	(Residential Rental Tenure Only)	

1.0 Recommendation

THAT final adoption of Rezoning Bylaw no. 12313 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP20-0182 for Lot 1 District Lot 9 ODYD Plan EPP113953, located at 651 Cambridge Avenue, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A",
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B",
- 3. Landscaping to be provided on the land in accordance with Schedule "C",
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP20-0183 for Lot 1 District Lot 9 ODYD Plan EPP113953, located at 651 Cambridge Avenue, Kelowna, BC;

AND THAT variances to the following sections of the Zoning Bylaw No. 8000 be granted:

<u>Table 8.3.1: Section 8 – Parking and Loading, Required Off-Street Parking Requirements,</u> <u>Residential Parking:</u>

To vary the parking requirements from 109 stalls required to 79 proposed.

<u>Section 13.9.6(b) – RM3 - Low Density Multiple Housing Development Regulations:</u> To vary the site coverage from 60% permitted to 66% proposed.

<u>Section 13.9.6(c) – RM3 - Low Density Multiple Housing Development Regulations:</u>

To vary the height of the building from 10.0 m permitted to 14.0 m proposed and from 3 storeys to 4 storeys.

Section 13.9.6(f) – RM3 - Low Density Multiple Housing Development Regulations:

To vary the rear yard setback from 7.5 m permitted to 3.0 m proposed

AND FURTHER THAT this Development Permit and Development Variance Permit are valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Permit for the form and character of a new multi-family development and to issue a Development Variance Permit to vary parking, setbacks, height, and site coverage.

3.0 Development Planning

Staff are recommending support for the form and character Development Permit and the associated variances for the multi-family development on the subject property. The application is consistent with many of the Official Community Plan's (OCP) Core Area Neighbourhood Design Guidelines including diverse housing forms and housing tenures, as well as housing with supports and accessible design. The building uses several materials and colours on both the apartment building and the townhomes, which create unified but unique buildings across the subject property. The Landscape Plan indicates the development is preserving four of the existing mature trees on site and the applicant has proposed to plant 2 new trees for every one that has to be removed. Staff believe the form and character is strong and will be incorporated well into the neighbourhood.

Staff also support the variances to parking, site coverage, height, and rear yard setback. The parking variance has been requested to be reduced, as many of the units are for senior living and many of these residents will have zero or one car per unit. The applicant has provided 79 stalls for the 75 units across the site including five accessible stalls, which Staff believe will function well. The height/storey variance is for the senior-living apartment housing and is oriented towards Kingsway and provides a strong street-interface, as well as landscaping surrounding the site. The rear yard setback is located along the first phase of the Pleasantville project and the proposal includes townhouses along the side, which is treated as a side yard and will limit widows and overall impact on the neighbouring site. Finally, the site coverage variance for hardscaping allows for the site to be more accessible, and is complimented with significant landscaping throughout the site. Overall, Staff are supportive of the project and believe it will be a great addition to the City's North End and will provide affordable housing for many residents in Kelowna.

4.0 Proposal

4.1 <u>Background</u>

Both 651 Cambridge Avenue and 678 Richter Street went to Council on June 25th, 2013 for an OCP Amendment and a Rezoning Application (OCP13-0010/Z13-0018). The properties were rezoned from the RU6 – Two Dwelling Housing & RM2 – Low Density Row Housing zones to RM3 – Low Density Multiple Housing and RM5 – Medium Density Multiple Housing zones. The rezoning was part of a two-phase

Pleasantville development. The first portion at 678 Richter Street (RM5) went to Council for the Development Permit and Development Variance Permit (DP13-0048 / DVP13-0049) on July 29th, 2014 and was approved.

This proposal is for the second phase of the Pleasantville development. The RM3r Rezoning Application (Z21-0085) went to Council on December 6th, 2021 and received 1st, 2nd and 3rd readings on January 10th, 2022.

4.2 <u>Project Description</u>

The subject property is a 1.71-acre site located in the North End on Cambridge Avenue, Central Avenue and Kingsway. The proposal consists of both townhomes and an apartment building, ranging in height, size, and the number of bedrooms. There are seven townhouse buildings, which are proposed to have 27 units, 14 of which are three bedrooms. The four-storey apartment building is proposed to have 48 units.

The townhomes are designed to be lake cottage style, with varying rooflines to allow for each building to be different. These will range between 2-3 storeys and will be silver and white or blue and white and all will have black roofs. The townhouses are oriented towards families with children, as they are 2 to 3 bedrooms and can provide parking on-site for 1 to 2 cars. The units are ground-oriented and will have the front doors facing Cambridge Avenue and Central Avenue. There will be an on-site children's play area located at the centre of the property.

The four-storey apartment will be facing towards Kingsway and is oriented towards seniors living. There is a separate amenity space including garden plots, which will be adjacent to the building. The architect has indicated that the design is prairie-style architecture, and will includes HardiPanel, HardiSiding and HardiTrims. The colours will be beige, charcoal and brick.

The attached Arborist Report (Attachment B) has indicated that there are ten trees that are in good structural condition. The applicant has provided a Landscape Plan (Schedule C), which has indicated that there are four trees that will be retained on the site plan and that they are providing two new trees for every tree that will be removed. These includes 20 Skyline Honeylocusts, 19 Pink-Flowering Dogwoods and 13 Japanese Tree Lilac's. The Landscape Plan also includes a mix of native species plants and grasses throughout the site. The plan achieves 1,896m² of private open space, which is 441m² than the minimum requirement.

4.3 <u>Site Context</u>

The subject property is located in the Central City OCP Sector, and the surrounding area is primarily zoned RU6 – Two Dwelling Housing and RM5 – Medium Lot Housing. The surrounding area also has a Future Land Use Designation of C-NHD – Core Are Neighbourhood.

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing	Single-Family Dwelling(s)
East	RM5 – Medium Density Multiple Housing	Apartment Housing
South	RU6 – Two Dwelling Housing	Single-Family Dwelling(s) / Duplex
West	RU6 – Two Dwelling Housing	Single-Family Dwelling(s)

Specifically, adjacent land uses are as follows:

Subject Property Map: 651 Cambridge Ave



4.4 Zoning Analysis Table

Zoning Analysis Table					
CRITERIA	RM ₃ ZONE REQUIREMENTS	PROPOSAL			
Existing Lot/Subdivision Regulations					
Min. Lot Area	900m²	6,927m²			
Min. Lot Width	30.0M	79.23m			
Min. Lot Depth	30.0M	87.om			
	Development Regulations				
Max. Floor Area Ratio	0.75	0.75			
Max. Site Coverage (buildings)	40%	32%			
Max. Site Coverage (buildings, parking, driveways)	60%	66%0			
Max. Height	10.0m / 3 storeys	14m / 4 storeys 🛛			
Min. Front Yard	6.om	6.om			
Min. Side Yard (North - Cambridge)	1.5-4.5m	1.5M			
Min. Side Yard (South – Central)	1.5-4.5m	1.5M			
Min. Rear Yard	7.5m	3.om 🕄			
	Other Regulations				
Min. Parking Requirements	109	79 4			
Min. Bicycle Parking	57 Long-Term / 11 Short-Term	57 Long-Term / 12 Short-Term			
Min. Private Open Space	1,455m²	1,896m²			

Indicates a requested variance to Section 8.3.1 – Required Off-Street Parking Requirements

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Objective 5.11. Increa and complete Core A	ase the density of housing forms and tenure to create an inclusive, affordable, area.
Policy 5.11.1 Diverse	Ensure a diverse mix of low and medium density housing forms in the Core Area
Housing Forms	that support a variety of households, income levels and life stages.
	The proposed project includes townhomes and an apartment building for people at varying income levels and life stages.
Policy 5.11.2 Diverse	Encourage a range of rental and ownership tenures that support a variety of
Housing Tenures	households, income levels and life stages. Promote underrepresented forms of tenure.
	The project is for affordable rentals.
Policy 5.11.4	Integrate universal design features and principles to create housing options for
Accessible Design	people of all ages and abilities to support aging in place.
	The proposal includes additional accessible stalls and an accessible apartment building.
Objective 5.12. Prote	ect citizens form displacement due to Core Area development.
Policy 5.12.1	Prioritize the development of subsidized housing and housing with supports in
Housing with	the Core Area in addition to the Urban Centres, particularly near employment,
Supports.	public transit, services, and amenities. Promote acceptance to the community
	for these supports, services and the citizens using them.
	The subject property is in The North End/Core Area and provides future potential
	residents access to many amenities.

6.0 Application Chronology

Date of Application Accepted:	September 2 nd , 2020
Date of Public Information Session:	September 23 rd , 2021

Report prepared by:	Tyler Caswell, Planner
Reviewed by:	Lydia Korolchuk, Urban Planning Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Permit DP20-0182 / DVP20-0183

Schedule A: Site Plan

Schedule B: Elevation Drawings

Schedule C: Landscape Plan

Attachment B: Arborist Report

Attachment C: Form & Character Development Permit Guidelines (Townhouses + Apartment)

Development Permit & Development Variance Permit DP20-0182 / DVP20-0183



This permit relates to land in the City of Kelowna municipally known as 651 Cambridge Ave

and legally known as Lot 1 District Lot 9 ODYD Plan EPP113953

and permits the land to be used for the following development:

RM3r - Low Density Multiple Housing (Residential Rental Tenure Only)

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision	May 10 th , 2021
Decision By:	COUNCIL
Development Permit Area:	Form and Character Development Permit Area
Existing Zone:	RM ₃ r – Low Density Multiple Housing (Residential Rental Tenure Only)
Future Land Use Designation:	C-NHD – Core Area Neighbourhood

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Provincial Rental Housing Corporations, Inc. No. BC0052129

Applicant: Jeff Marin – VanMar Constructors 1097 Inc.

Terry Barton

Development Planning Department Manager Planning & Development Services Date





1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.
- e) That variance to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A" and Schedule "B":

Table 8.3.1: Section 8 – Parking and Loading, Required Off-Street Parking Requirements, Residential Parking:

To vary the parking requirements from 109 stalls required to 79 proposed.

Section 13.9.6(b) – RM3 - Low Density Multiple Housing Development Regulations:

To vary the site coverage from 60% permitted to 66% proposed.

Section 13.9.6(c) – RM3 - Low Density Multiple Housing Development Regulations:

To vary the height of the building from 10.0m permitted to 14.0m proposed and from 3 storeys to 4 storeys.

Section 13.9.6(f) - RM3 - Low Density Multiple Housing Development Regulations:

To vary the rear yard setback from 7.5m permitted to 3.0m proposed

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit **OR** certified cheque in the amount of **\$233,875.00**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.





CIVIC ADDRESS

GING ADDRESS		Kingaway Avenue, Kelok	wila, bu		
LEGAL DESCRIPTION		Lots A, Plan EPP39652,	PID 029-429-404, Di	strict Lot 9	
ZONING CLASSIFICATION	RM3-R Low Density Mi	ultiple Housing (Resid			
GROSS SITE AREA		1.71 Acres	6,927 SM	74,569 SF	
PERMITTED FLOOR AREA RATIO (FAR)		0.75	5,196 SM	55,927 SF	
PROPOSED FLOOR AREA RATIO (FAR)		0.75	5,195 SM	55,919 SF	
PERMITTED SITE COVERAGE		40%	2,771 SM	29,828 SF	
PROPOSED SITE COVERAGE (EXCLUDES BAL	CONIES)	32%	2,248 SM	24,203 SF	
PERMITTED MAX. SITE COVERAGE		60%	4,156 SM	44,741 SF	
PROPOSED MAX. SITE COVERAGE (EXCLUDES	BALCON	ES) 66%	4,564 SM	49,128 SF	
Townhomes			1,405 SM	15,128 SF	
Apartment			843 SM	9,075 SF	
Driveways and surface parking areas			2,316 SM	24,925 SF	
REQUIRED SETBACKS	North	(Flanking Street - Cambridge A	we) 1.5 - 4.5 M	4.9 - 14.8 FT	
	East	(Rear)	7.5 M	24.6 FT	
	South	(Flanking Street - Central Ave)	1.5 - 4.5 M	4.9 - 14.8 FT	
	West	(Front - Kingsway)	6.0 M	19.7 FT	
PROPOSED SETBACKS (SEE SITE PLAN)	North	(Flanking Street - Cambridge A	we) 1.5 M	4.92 FT	(Townhouses have front door facing street)
	East	(Rear)	3.0 M	9.8 FT	
	South	(Flanking Street - Central Ave)	1.5 - 6.0 M	4.9 - 19.7 FT	(Townhouses have front door facing street)
	West	(Front - Kingsway)	6.0 M	19.7 FT	
PERMITTED HEIGHT		10 M or 3 Storeys			
PROPOSED HEIGHT		7 M to 14 M or 2 to 4 Sto	жөуз		
REQUIRED PRIVATE OPEN SPACE					
1 bedroom dwelling unit		15 SM	630 SM	6,781 SF	
2 or more bedroom dwelling unit		25 SM	825 SM	8,881 SF	_
			1,455 SM	15,662 SF	
PROPOSED PRIVATE OPEN SPACE			107.011	0.005.05	
Townhomes (Balconies & yards)			197 SM 287 SM	3,805 SF 3,084 SF	
Apartment (Balconies & patios)			287 SM 1.407 SM		
Outdoor Open Spaces			1,407 SM	15,141 SF	

Kingsway Avenue, Kelowna, BC

-			11	bikes	
Apartment Building		6 bikes/entrance		bikes	
REQUIRED SHORT-TERM BICYCLE PARKING		1 bikes/5 dwelling	5	hikes	
			57	bikes	1009
Apartment Building			36	bikes	639
Townhomes with no attached garage			21	bikes	379
ROWDED LONG-TERM BICYCLE PARKING			57	bikes	
Apartment Building	0.	75 bikes/dwelling			
An ender and Part Anne				Dikes bikes	
I ownnomes with no attached garage		00 bike/3 bedroom		bikes	
Townhomes with no attached garage	0	75 bikes/2 bedroom		bikes	
REQUIRED LONG-TERM BICYCLE PARKING		Not required	0	bikes	
OTAL PROVIDED PARKING			79	cars	1009
Regular size visitor (on surface)	2.5x6.0 M	8'3"x19'8"	11	cars	149
ROWDED WSITOR PARKING					
Van-accessible (on surface)	4.8x6.0 M	15'9'x19'8'	1	cars	19
Accessible (on surface)	3.7x6.0 M	12'2"x19'8"	4	cars	59
Regular size (on townhouse driveways)	2.5x6.0 M	8'3'x19'8'	23	cars	295
Small size (in townhouse garages)	2.3x4.8 M	77*x15'9*	4	cars	59
Regular size (in townhouse garages)	2.5x6.0 M	8'3*x19'8*	4	cars	59
Small size (on surface)	2.3x4.8 M	77*x15'9*	15	cars	199
Regular size (on surface)	2.5x6.0 M	8'3'x19'8'	17	cars	225
ROWDED RESIDENT PARKING					
Van-accessible (From Bylaw Section 8 Table 8.2.19),	included in the above	ve total parking	1	cars	
Accessible (From Bylaw Section 8 Table 8.2.19), inclu			cars		
OTAL REQUIRED PARKING	109	cars			
Rental Housing incentives reduction	10	% less	12	cars	
			121	cars	1009
Apartment & Townhomes	0.	14 cars/dwelling	11	cars	99
REQUIRED WISTOR PARKING					
Apartment	10	50 cars/2 Bedroom	9	cars	79
Apartment	12	25 cars/1 Bedroom	53	cars	449
Townhome	2	00 cars/3 Bedroom	28	cars	23
		50 cars/2 Bedroom		cara	179

Townhomes Apartment Building

				Total (Exclu.		Total FAR	Parking in	Parking on	Balcony	Total
Unit Type	Lower Floor	Main Floor	Upper Floor	garage)	No. Of Units	(Exclu.garage)	Garage	Driveway	Area	Balcony
TH-A (2-bedroom)	452	547	0	999	9	8,991 SF	0	9 cars	81 SF	729 SF
TH-A1 (3-bedroom)	458	593	0	1,051	14	14,714 SF	0	14 cars	73 SF	1022 SF
TH-B (2-bedroom)	83	475	435	993	4	3,972 SF	8 cars	0	93 SF	372 SF
TOTAL					27	27.677 SF	8 cars	23 cars		2.123 SF

1,890 SM

22,030 SF

TOWNHOM	c	DIIII	DING	e

TOWNHOME BUILDING SUMMARY								
Building No.	Lower Floor (Inclu. Garage)	Main Floor	Upper Floor	Site Coverage				
Building 1	1,820 SF	2,280 SF	0 SF	2,280 SF				
Building 2	1,820 SF	2,280 SF	0 SF	2,280 SF				
Building 3	1,860 SF	2,137 SF	872 SF	2,137 SF				
Building 4	1,860 SF	2,137 SF	872 SF	2,137 SF				
Building 5	1,820 SF	2,280 SF	0 SF	2,280 SF				
Building 6	1,820 SF	2,280 SF	0 SF	2,280 SF				
Building 7	1,368 SF	1,734 SF	0 SF	1,734 SF				

Unit Type		Main Floor	2nd Floor	3rd Floor	4th Floor	No. Of Units	Unit Area	Total FAR Area	Balcony Area Per Unit	Tota Balcor		Unit Mi:
A	(1-bedroom-adaptable)	6	7	7	7	27	563 SF	15,201 SF	69 SF	1,863	SF	56%
A1	(1-bedroom-adaptable)	2	2	2	2	8	595 SF	4,760 SF	72 SF	576	SF	17%
A2	(1-bedroom-adaptable)	0	1	1	1	3	563 SF	1,689 SF	78 SF	234	SF	6%
В	(2-bedroom-adaptable)	0	1	1	1	3	688 SF	2,064 SF	69 SF	207	SF	6%
B1	(2-bedroom-adaptable)	0	1	1	1	3	696 SF	2,088 SF	68 SF	204	SF	6%
С	(1-bedroom-accessible)	1	1	1	1	4	610 SF	2,440 SF	0 SF	0	SF	8%
Unit	s per Floor	9	13	13	13	48	3,715 SF	28,242 SF		3,084	SF	100%
Unit	Area per Floor	5,178 SF	7,688 SF	7,688 SF	7,688 SF							
Common Area per Floor		3,000 SF	1,443 SF	1,409 SF	1,409 SF			7,261 SF 0	Common area exc	lueded fro	m FAF	2
Amenity (Main floor apartmen!		899 SF						899 SF A	menityexclueded	from FAF	2	
Tota	l Area per Floor	9,077 SF	9,131 SF	9,097 SF	9,097 SF							
Nete	efficiency per Floor	57 %	84 %	85 %	85 %							
Site	Coverage	9,075 SF (Ex	cludes balconi	es)								

15,128 SF (Excludes balconies)



Issued for Public Consultatio July 24, 2020 Issued for Development Permit August 31, 2020 Re-Issued for Development Permit July 30, 2021



2021-07-30

Pleasantvale 2 Kingsway Kelowna, BC

By Provincial Rental Housing Corporation

Development Summary

N.T.S." July 30, 2021

Development Summary

6 bikes 6 bikes 12 bikes

A-1.3







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Issued for Public Consultation July 24, 2020 Issued for Development Permit August 31, 2020 Re-Issued for Development Permit July 30, 2021

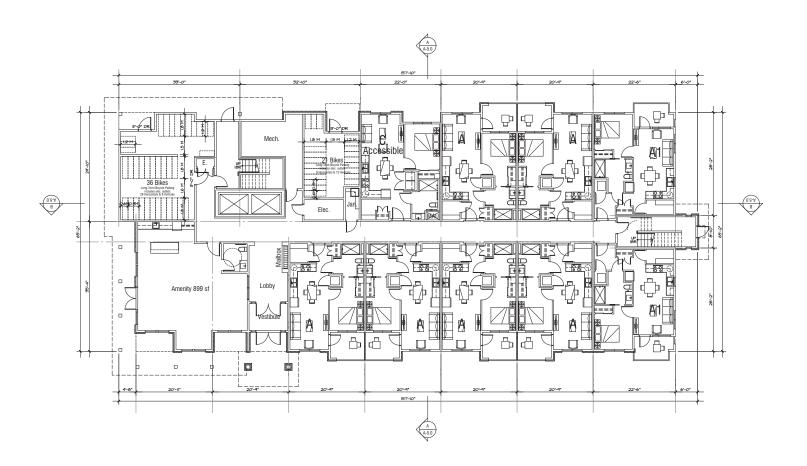


2021-07-30

Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Apartment Main Floor Plan 1/8° = 1'-0° July 30, 2021

Apartment Main Floor Plan 🖓 🚛 🖬 A-2.0







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Issued for Public Consultation July 24, 2020 Issued for Development Permit August 31, 2020 Re-Issued for Development Permit July 30, 2021

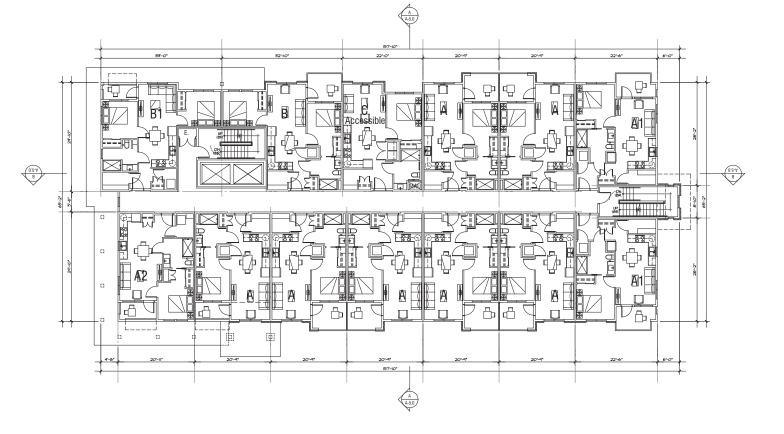


2021-07-30

Pleasantvale 2

By Provincial Rental Housing Corporation

Kingsway Kelowna, BC



Apartment 2nd Floor Plan 1/8" = 1:-0" July 30, 2021

Apartment 2nd Floor Plan 🗐 🚛 🗛 A-2.1





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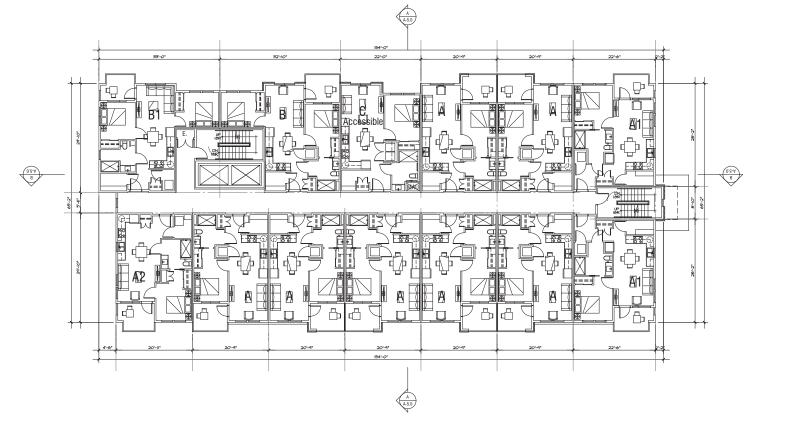
Issued for Public Consultation July 24, 2020 Issued for Development Permit August 31, 2020 Re-Issued for Development Permit July 30, 2021



2021-07-30

Pleasantvale 2 Kingsway Kelowna, BC

By Provincial Rental Housing Corporation



Apartment 3rd Floor Plan 1/8" = 1-0" July 30, 2021

Apartment 3rd Floor Plan 🖓 🖓 🖌 🖌 A-2.2





and in any way without the written permission of this, effice. Written demonster shall have procederate over acaded dimensions and a have procederate over deportable for all dimensions and conditions on the derivate shall be informed of any discrepancies or availables from the dimensions and conditions on the drawing.

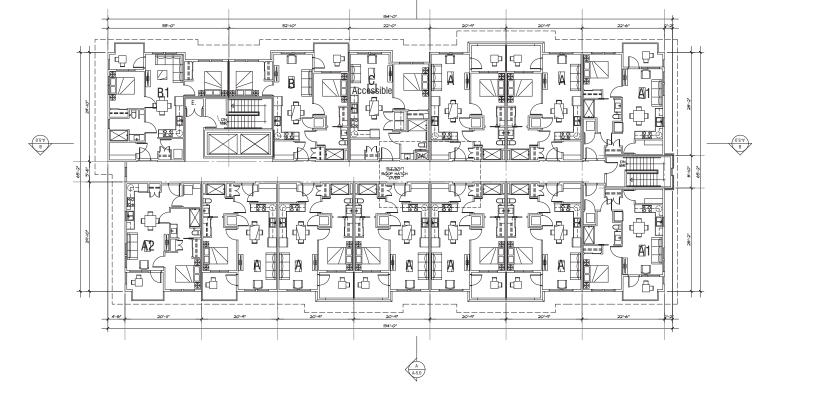
Issued for Public Consultation July 24, 2020 Issued for Development Permit August 31, 2020 Re-Issued for Development Permit July 30, 2021



2021-07-30

Pleasantvale 2 Kingsway Kelowna, BC

By Provincial Rental Housing Corporation



A-5.0

Apartment 4th Floor Plan 1/8" = 1'-0" July 30, 2021

Apartment 4th Floor Plan 🖂 12 16 20 FT 🖬 A-2.3





d in any way will had the written permission of this to written dimensions shall have precodence over led dimensions. Contractors shall writly and be constaile for all dimensions and conditions on the job. hitset shall be informed of any discrepancies or atoms from the dimensions and conditions on the wing.

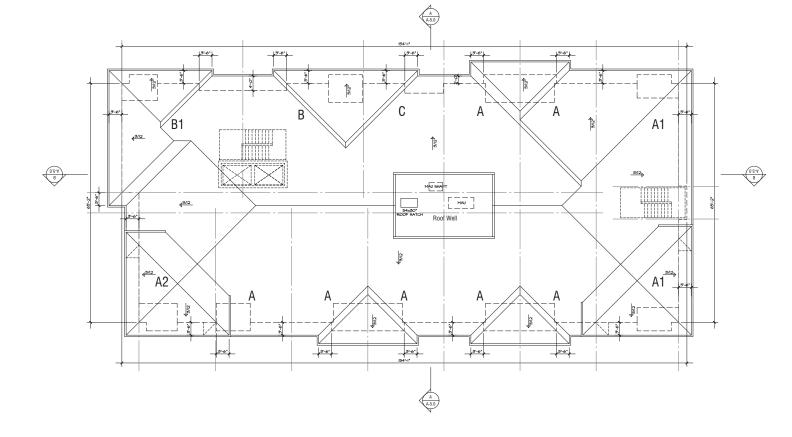
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2021-07-30

Pleasantvale 2 Kingsway Kelowna, BC

By Provincial Rental Housing Corporation

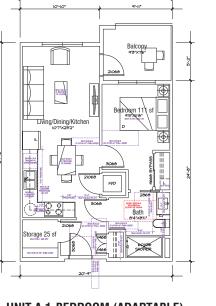


Apartment Roof Plan

1/8" = 1'-0" July 30, 2021

Apartment Roof Plan 🖓 🚛 🗛 A-2.4





UNIT A 1-BEDROOM (ADAPTABLE) 563 sf FSR including 25 sf storage 551 sf BCH 5.2 (525 + 5%)



Balcony

Living/Dining/Kit

Nov 533 N BLATER

Storage 29 sf

Bedroom 112 st

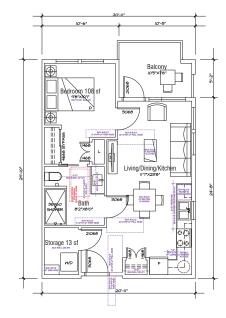
Bath

3068

====

4660 BY

====



UNIT A2 1-BEDROOM (ADAPTABLE) 563 sf FSR including 13 sf storage 551 sf BCH 5.2 (525 + 5%)



service is the property of the architect and may not be used in any way within the writem permission of this office. Writen dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job Achitect shall be informed of any disorganization or variations from the dimensions and conditions on the diawing.

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2021-07-30

Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Apartment Unit Plans Type A, A1, A2





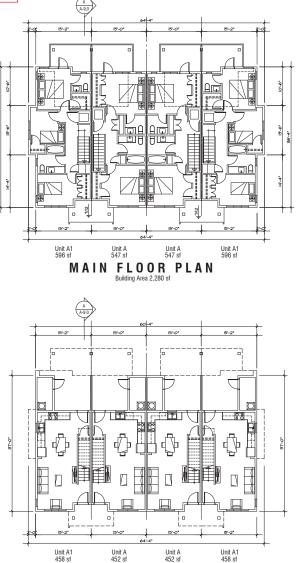


Project Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

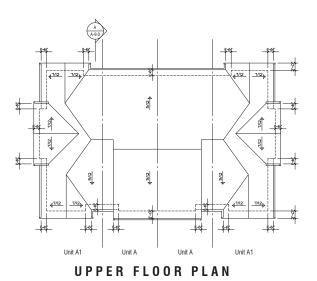
Apartment Unit Plans Type B, B1, C

Apartment Units A-6.1





LOWER FLOOR PLAN Building Area 1,820 sf





used in any way-without the written permission of this effect. Without demonstrate shares providence over scaled dimensions. Constructors shall verify and be responsible for all dimensions and anothins on the jub. Architect shall be informed of any disoregancies or variations from the dimensions and contilions on the drawing.

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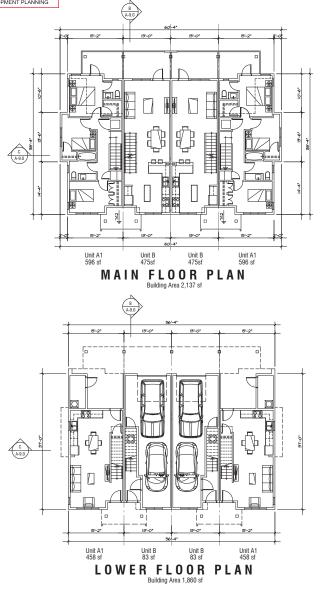
2021-07-30

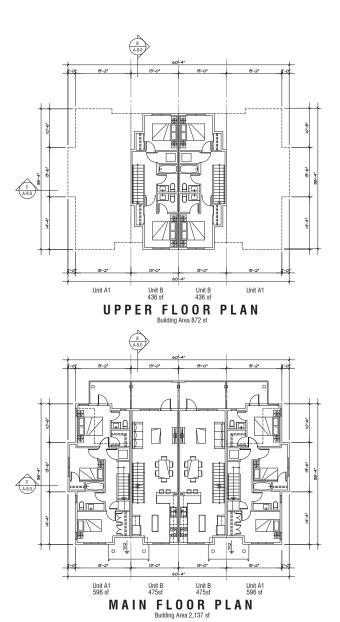
Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Townhome A1 & A 4-Plex Plans

Townhome A1 & A 4-Plex Plans 🖓 🖓 👖 A-7.0









used in any way without the witten permission of this office. Witten dimensions shall have precodence over scalard dimensions. Constantions shall writly and be responsible for all dimensions and conditions on the job. Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

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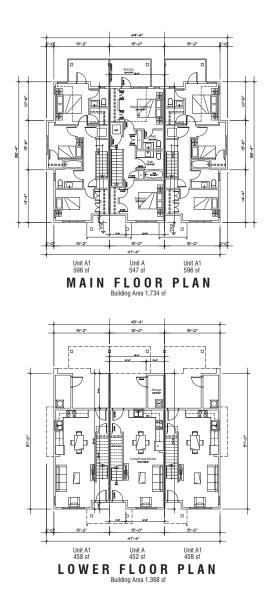
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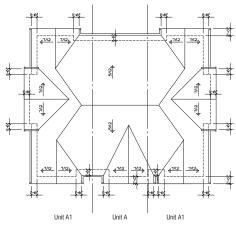
Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Townhome A1 & B 4-Plex Plans

Townhome A1 & B 4-Plex Plans 54 512 16 26 A-7.2







UPPER FLOOR PLAN



in part is prohibited. This dowing us an instrument of services in the property of the architect and may not be used in any way without the wetters parmission of this establish and the service of the service of the service responsible for all dimensions and conditions on the plaresponsible for all dimensions and conditions on the validations from the dimensions and conditions on the diawing.

Revisions Issued for Public Consultation July 24, 2020 Issued for Development Permit August 31, 2020 Re-Issued for Development Permit July 30, 2021



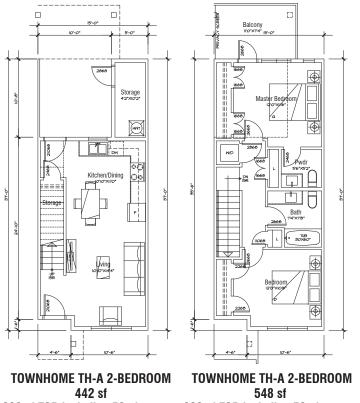
2021-07-30

Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

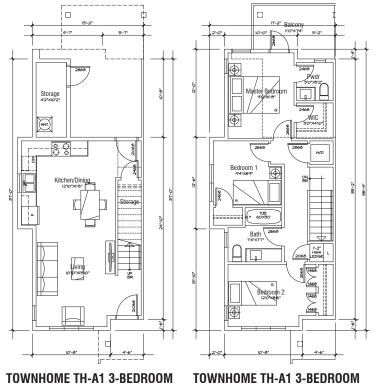
Townhome A1 & A 3-Plex Plans 1/8" = 1'-0" July 30, 2021

Townhome A1 & A 3-Plex Plans 54 512 6 26 A-7.5





990 sf FSR including 53 sf storage 990 sf FSR including 53 sf storage



TOWNHOME TH-A1 3-BEDROOM TOWNHOME TH-A1 3-BEDROOM 473 SF 593 SF 1,076 sf FSR including 55 sf storage1,076 sf FSR including 55 sf storage

Press Pleasantvale 2 Kingsway Relowna, Bc By Provincial Rental Housing Corporation

Townhome Unit Plans Type A, A1 ^{1/4*} = 1¹·0^{*} July 30, 2021



July 24, 20

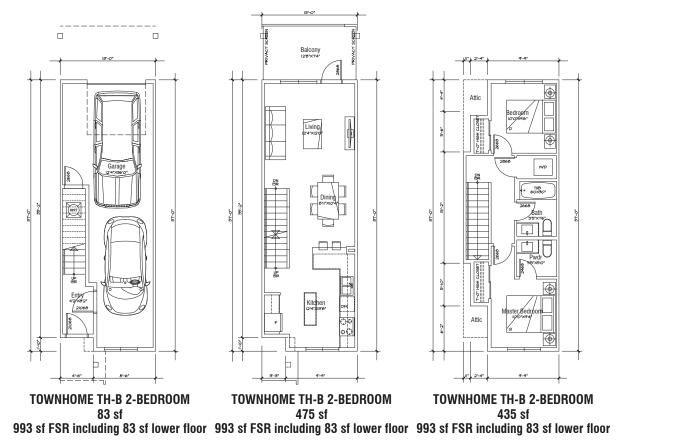
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uly 30 20

sions. Contractors shall worlly and be rail dimensions and conditions on the job be informed of any decrepancies or in the dimensions and conditions on the

49







caled dimensions. Contractors shall welfy and be spontiate for all dimensions and conditions on the scheduct shall be informed of any discrepancies or ariticities from the dimensions and conditions on the saving.

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Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Townhome Unit Plans Type B 1/4" = 1'-0" July 30, 2021

Townhome Units A-10.1





vices is the property of the architect and may not be ad in any way whose the writes permission of this loc. Writen dimensions shall have precedence over add dimensions. Contractors shall verify and be apponible for all dimensions and conditions on the jachetest shall be informed of any disorgancies or indices from the dimensions and conditions on the awrin.

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SITE SECTION

Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Site Section 3/32" = 1'-0" July 30, 2021

Site Section A-1.6











SOUTH ELEVATION (CENTRAL AVENUE)



service is the property of the incluted and may not be used in any way without the watching permission of this office. Written dimensions shall have precodence over cacled dimensions. Contractors that have preresponsibilities of all dimensions and conditions on the particular shares the informated of any discogranics or warkations from the dimensions and conditions on the drawing.

Persona Issued for Public Consultation July 24, 2020 Issued for Development Permit August 31, 2020 Re-Issued for Development Permit July 30, 2021



2021-07-30

Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Apartment Elevations

Apartment Elevations A-3.0

Exterior Finish Legend

$\langle 1 \rangle$	Pitch Roof	Asphalt Shingles, GAF Timberline HD Pewter Gray	As Trims	HardieTrim, Smooth, painted, Benjamin Moore 1545 Iron Gate
2	Flat Roof	SBS membrane w/ light grey cap sheet	(9) Windows	Vinyl Frame Window, black exterior, white interior
$\langle 3 \rangle$	Fascia	HardieTrim, Smooth, painted, Benjamin Moore HC-166 Kendall Charcoal	10 Entry Doors	Aluminum Door and Frame w/ Tempered Safety Glass, black
$\langle 4 \rangle$	Lap Siding	HardiePlank Lap Siding, 6" exposure, Smooth, painted, Benjamin Moore 1545 Iron Gate	Alcony Doors	Fibre Glass, painted, black
5	Wall Panels	HardiePanel, Smooth, c/w Fry Reglet reveal joints colour matched, painted, Sherwin-Williams SW 7036 Accessible Beige	12 Posts & Beams	HardieTrim cladded, Smooth, painted See elev. for colour
6	Bricks	Mutual Materials Aspen Mission	(13) Guard Rail	Aluminum rails, supports & pickets, black
$\langle \gamma \rangle$	Concrete Coping	Pre-cast concrete	A Privacy Screen	Aluminum Frame w/ Frosted Glazing, black
\$		HardieTrim, Smooth, painted, Benjamin Moore HC-166 Kendall Charcoal	(15) Gutter & RWL	Pre-finished Aluminum, black
			√16 Soffit	HardieSoffit, Non-Vented, Smooth, painted, c/w 2" white vent strips, Sherwin-Williams SW 7005 Pure White

53





EAST ELEVATION (COURTYARD)





In pairs is plottesses, the disavering as which and maximum or perivola is the property of the autohilard and may not be used in any way without the writing permission of this called in any way without the writing permission of the responsibility of the second second second second second excelled dimensions. Constantions will writing and be responsible for all dimensions and conditions on the play Auchilard shall be informed of any discregancies or wasiations from the dimensions and conditions on the dirawing.

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2021-07-30

Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Apartment Elevations

Apartment Elevations A-3.1

Exterior Finish Legend

<	Pitch	h Roof	Asphalt Shingles, GAF Timberline HD Pewter Gray	(8a) Trims	HardieTrim, Smooth, painted, Benjamin Moore 1545 Iron Gate
<	2 Flat	Roof	SBS membrane w/ light grey cap sheet	(9) Windows	Vinyl Frame Window, black exterior, white interior
<	₃> Fasc	cia	HardieTrim, Smooth, painted, Benjamin Moore HC-166 Kendall Charcoal	10 Entry Doors	Aluminum Door and Frame w/ Tempered Safety Glass, black
<	4) Lap	Siding	HardiePlank Lap Siding, 6" exposure, Smooth, painted, Beniamin Moore 1545 Iron Gate	11 Balcony Doors	Fibre Glass, painted, black
<	5 Wall	I Panels	HardiePanel, Smooth, c/w Fry Reglet reveal joints colour matched, painted. Sherwin-Williams SW 7036 Accessible Beige	12 Posts & Beams	HardieTrim cladded, Smooth, painted See elev. for colour
<	6 Brick	ks	Mutual Materials Aspen Mission	(13) Guard Rail	Aluminum rails, supports & pickets, black
<	7) Con		Pre-cast concrete	14> Privacy Screen	Aluminum Frame w/ Frosted Glazing, black
<	رونی Trim ﴿		HardieTrim, Smooth, painted, Benjamin Moore HC-166 Kendall Charcoal	(15) Gutter & RWL	Pre-finished Aluminum, black
				√16 Soffit	HardieSoffit, Non-Vented, Smooth, painted, c/w 2" white vent strips, Sherwin-Williams SW 7005 Pure White





in pair is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this diffee. Written deministions shall have proceedence over scalard dimensions. Contractors shall verify and be scalard dimensions. Contractors shall verify and be the Architect shall be informed of any discrepancies or variations from the dimensions and conditions on the drawing.

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Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Apartment Rendering

July 30, 2021

Apartment Building Facing Kingsway

A-3.2







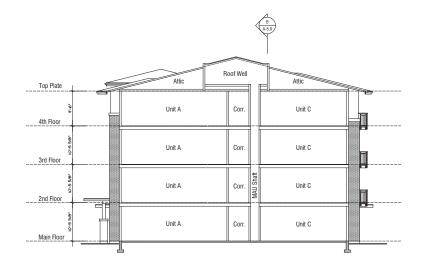
Bricks - Mutual Materials Aspen Mission

Apartment Colour & Material

56

A-4.0





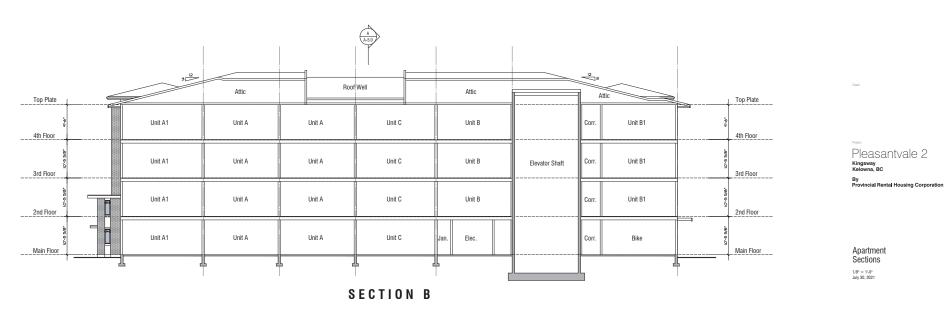


Peolicino Issued for Public Consultation July 24, 2020 Issued for Development Permit August 31, 2020 Re-Issued for Development Permit July 30, 2021



2021-07-30

SECTION A







Buildings 1 & 2 (Buildings 5 & 6 mirrored)



Buildings 1 & 2 (Buildings 5 & 6 mirrored)

Exterior Finish Legend

Pitch Roof	Asphalt Shingles, GAF Timberline HD Pewter Gray
Gable Fascias	HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White
3 Fascia	HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White
< Gutter & RWL	Pre-finished Aluminum, white
5 Soffit	HardieSoffit Panels Non-Vented, Smooth, painted c/w 2" vent strips Sherwin Williams SW 7005 Pure White

6 Brackets	Wood, painted Sherwin Williams SW 7005 Pure White
√a Shingle Siding	HardieShingle Siding, 6" exposure, Straight Edge, painte Sherwin Williams SW 7057 Silver Strand
	HardieShingle Siding, 6" exposure, Straight Edge, painte Sherwin Williams SW 9140 Blustery Sky
(8a) Wall Siding	Hardie Board and Batten, Smooth, painted Sherwin Williams SW 7057 Silver Strand
(8b) Wall Siding	Hardie Board and Batten, Smooth, painted Sherwin Williams SW 9140 Blustery Sky

Top Plate Main Floor	
EAST ELE	VATION 4-PLEX

Buildings 1 & 2 (Buildings 5 & 6 mirrored)



WEST ELEVATION 4-PLEX Buildings 1 & 2 (Buildings 5 & 6 mirrored)

14 Entry Door	Fibreglass door w/ glazed panels, painted Sherwin Williams SW 7005 Pure White
(15) Balcony Door	Fibreglass door w/ glazed panels, painted Sherwin Williams SW 7005 Pure White
Carport Door	Fibreglass door, painted Sherwin Williams SW 7005 Pure White
Garage Door	Insulated Metal Overhead door, painted Sherwin Williams SW 7005 Pure White
Guard Rail	Aluminum rails, supports & pickets, white
Decorative Louvre	14" x 26" Wood, painted Sherwin Williams SW 7005 Pure White



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2021-07-30

Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Townhome A1 & A 4-Plex Elevations 1/8° = 1'-0° July 30, 2021

A-7.1

Townhome A1 & A 4-Plex Elevations

HardiePlank Lap Siding, 6" exposure, Smooth, painted Sherwin Williams SW 7057 Silver Strand

HardiePlank Lap Siding, 6" exposure, Smooth, painted Sherwin Williams SW 9140 Blustery Sky

HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White

HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White

Vinyl Frame Window, white

Cladded w/ HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White

(9a) Wall Siding

(9b) Wall Siding

(11) Windows

32 Bellyband

10 Trims





ickets	Wood, painted Sherwin Williams SW 7005 Pure White
ingle Siding	HardieShingle Siding, 6" exposure, Straight Edge, painted Sherwin Williams SW 7057 Silver Strand
ingle Siding	HardieShingle Siding, 6" exposure, Straight Edge, painted Sherwin Williams SW 9140 Blustery Sky
II Siding	Hardie Board and Batten, Smooth, painted Sherwin Williams SW 7057 Silver Strand
II Siding	Hardie Board and Batten, Smooth, painted Sherwin Williams SW 9140 Blustery Sky

(9a) Wall Siding	HardiePlank Lap Siding, 6" exposure, Smooth, painted Sherwin Williams SW 7057 Silver Strand
(9b) Wall Siding	HardiePlank Lap Siding, 6" exposure, Smooth, painted Sherwin Williams SW 9140 Blustery Sky
10 Trims	HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White
(1) Windows	Vinyl Frame Window, white
Bellyband	HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White
13 Posts & Beams	Cladded w/ HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White

Townhome A1 & B 4-Plex Elevations

	Sherwin williams Sw 7037 Silver Strand
	HardiePlank Lap Siding, 6" exposure, Smooth, painted Sherwin Williams SW 9140 Blustery Sky
	HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White
	Vinyl Frame Window, white
	HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White
ns	Cladded w/ HardieTrim Boards, Smooth, painted

(12)

14 Entry Door	Fibreglass door w/ glazed panels, pa Sherwin Williams SW 7005 Pure Wh
35 Balcony Door	Fibreglass door w/ glazed panels, pa Sherwin Williams SW 7005 Pure Wh
Carport Door	Fibreglass door, painted Sherwin Williams SW 7005 Pure Wh
Garage Door	Insulated Metal Overhead door, paint Sherwin Williams SW 7005 Pure Wh
(18) Guard Rail	Aluminum rails, supports & pickets,

Unit A1

✨

WEST ELEVATION 4-PLEX

Building 4 (Buildings 3 mirrored)

Unit A1

12

•

13

6

EAST ELEVATION 4-PLEX

Building 4 (Buildings 3 mirrored)

 $\langle 3 \rangle \langle 3 \rangle$

-

13 俞

Top Plate

Upper Floor

Main Floor

Lower Floor

Top Plate

Upper Floor

Main Floor

Lower Floor

(19) Decorative Louvre 14" x 26" Wood, painted Sherwin Williams SW 7005 Pure White

ainted hite ainted hite hite nted hite , white

12 16 20 FT

A-7.3

1/8" = 1'-0" July 30, 2021





2021-07-30

Pleasantvale 2 Kingsway Kelowna, BC

Townhome A1 & B

4-Plex Elevations

By Provincial Rental Housing Corporation







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Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Townhomes A1 & A Rendering

July 30, 2021

Townhomes A1 & A Facing Central Avenue

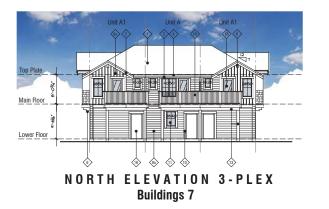
A-7.4

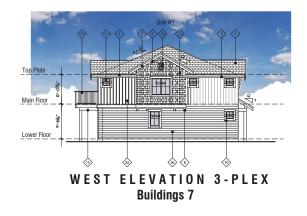






Buildings 7









2021-07-30

Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Townhome A1 & A

3-Plex Elevations

Exterior Finish Legend

<1> Pitch Roof	Asphalt Shingles, GAF Timberline HD Pewter Gray	6 Brackets	-
Gable Fascias	HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White	√a Shingle Siding	1
S Fascia	HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White	Shingle Siding	1
4 Gutter & RWL	Pre-finished Aluminum, white	& Wall Siding	ļ
5 Soffit	HardieSoffit Panels Non-Vented, Smooth, painted c/w 2* vent strips Sherwin Williams SW 7005 Pure White	(a) Wall Siding	1

ts	Wood, painted Sherwin Williams SW 7005 Pure White
e Siding	HardieShingle Siding, 6" exposure, Straight Edge, painted Sherwin Williams SW 7057 Silver Strand
e Siding	HardieShingle Siding, 6" exposure, Straight Edge, painted Sherwin Williams SW 9140 Blustery Sky
iding	Hardie Board and Batten, Smooth, painted Sherwin Williams SW 7057 Silver Strand
iding	Hardie Board and Batten, Smooth, painted Sherwin Williams SW 9140 Blustery Sky

🕸 Wall Siding	HardiePlank Lap Siding, 6" exposure, Smooth, painted Sherwin Williams SW 7057 Silver Strand
(9b) Wall Siding	HardiePlank Lap Siding, 6" exposure, Smooth, painted Sherwin Williams SW 9140 Blustery Sky
Trims	HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White
(1) Windows	Vinyl Frame Window, white
Bellyband	HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White
A Posts & Beams	Cladded w/ HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White

(14) Entry Door	Fibreglass door w/ glazed panels, painted Sherwin Williams SW 7005 Pure White
5 Balcony Door	Fibreglass door w/ glazed panels, painted Sherwin Williams SW 7005 Pure White
(16) Carport Door	Fibreglass door, painted Sherwin Williams SW 7005 Pure White
(17) Garage Door	Insulated Metal Overhead door, painted Sherwin Williams SW 7005 Pure White
(18) Guard Rail	Aluminum rails, supports & pickets, white
19 Decorative Louvre	14" x 26" Wood, painted

(19) Decorative Louvre 14" x 26" Wood, painteu Sherwin Williams SW 7005 Pure White

A-7.6

1/8" = 1'-0" July 30, 2021

Townhome A1 & B 4-Plex Elevations



Townhome Colour Scheme 1 Scheme 1 ~ Silver Strand

White

Asphalt shingles

c/w 2" white vent strips

Wood, painted

2x10 HardieTrim Boards, Smooth, painted

2x4 on 2x10 HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White

HardieSoffit Panels Non-Vented, Smooth, painted

Sherwin Williams SW 7005 Pure White

Sherwin Williams SW 7005 Pure White

Sherwin Williams SW 7005 Pure White

Sherwin Williams SW 7057 Silver Strand

Hardie Board and Batten, Smooth, painted

Sherwin Williams SW 7057 Silver Strand

10" HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White

Sherwin Williams SW 7005 Pure White

Vinvl frames, white exterior white interior

Sherwin Williams SW 7005 Pure White Fibreglass door w/ glazed panels, painted Sherwin Williams SW 7005 Pure White

Aluminum rails, supports and pickets

Sherwin Williams SW 7005 Pure White

White

Decorative Louvres:

Townhome Colour & Material

HardiePlank Lap Siding, 6" exposure, smooth, painted Sherwin Williams SW 7057 Silver Strand

Cladded with HardieTrim Boards, Smooth, painted

14" x 26" typ. unless otherwise noted, Wood, painted

GAF Timberline HD, Pewter Gray





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2021-07-30



Townhome Colour & Material Scheme 1 3/8" = 1'-0" July 30, 2021

A-8.0

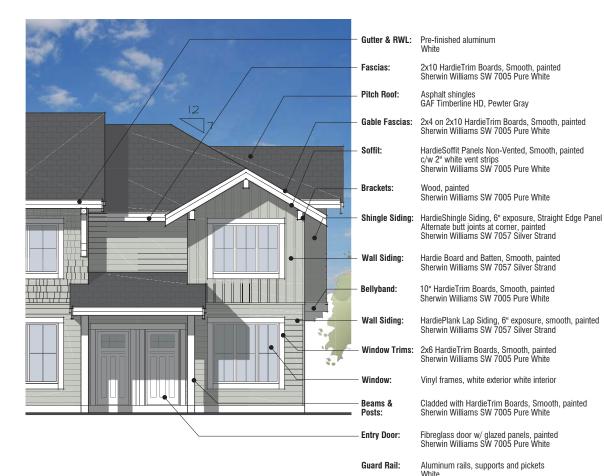




Wall Shingles/Lap Siding/Board and Batten Sherwin Williams SW 7057 Silver Strand



Fascias/Soffits/Trims/Belly-Bands/Brackets/ Beams/Posts/Decorative Louvres Sherwin Williams SW 7005 Pure White





Townhome Colour Scheme 2 Scheme 2~Blustery Sky





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2021-07-30

Applat Shipples

Asphalt Shingles GAF HD Premier, Pewter Gray



Wall Shingles/Lap Siding/Board and Batten Sherwin Williams SW 9140 Blustery Sky



Fascias/Soffits/Trims/Belly-Bands/Brackets/ Beams/Posts/Decorative Louvres Sherwin Williams SW 7005 Pure White

_ Wall Siding:
— Pitch Roof:
_ Fascias:
— Gable Fascia
– Brackets:
— Gutter & RWL
— Soffit:
— Shingle Sidin
— Bellyband:
— Window Trim
— Window:
— Beams & Posts:
— Entry Door:

Asphalt Shingles GAF Timberline HD, Pewter Gray
2x10 HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White
2x4 on 2x10 HardieTrim, Smooth, painted Sherwin Williams SW 7005 Pure White
Wood, painted Sherwin Williams SW 7005 Pure White
Pre-finished Aluminum White
HardieSoffit Panels, Non-Vented, Smooth, painted c/w 2" white vent strips Sherwin Williams SW 7005 Pure White
HardieShingle Siding, Straight Edge Panel, Alternate butt joints at corner, painted Sherwin Williams SW 9140 Blustery Sky
10" HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White
2x6 HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White
Vinyl frames, white exterior white interior
Finished with HardieTrim Boards, Smooth, painted Sherwin Williams SW 7005 Pure White
Fibreglass door w/ glazed panels, painted Sherwin Williams SW 7005 Pure White
Aluminum rails, supports and pickets White
18" x 18" typ. unless otherwise noted, Wood, painted Sherwin Williams SW 7005 Pure White

Board and Batten, painted

Apphalt Chingles

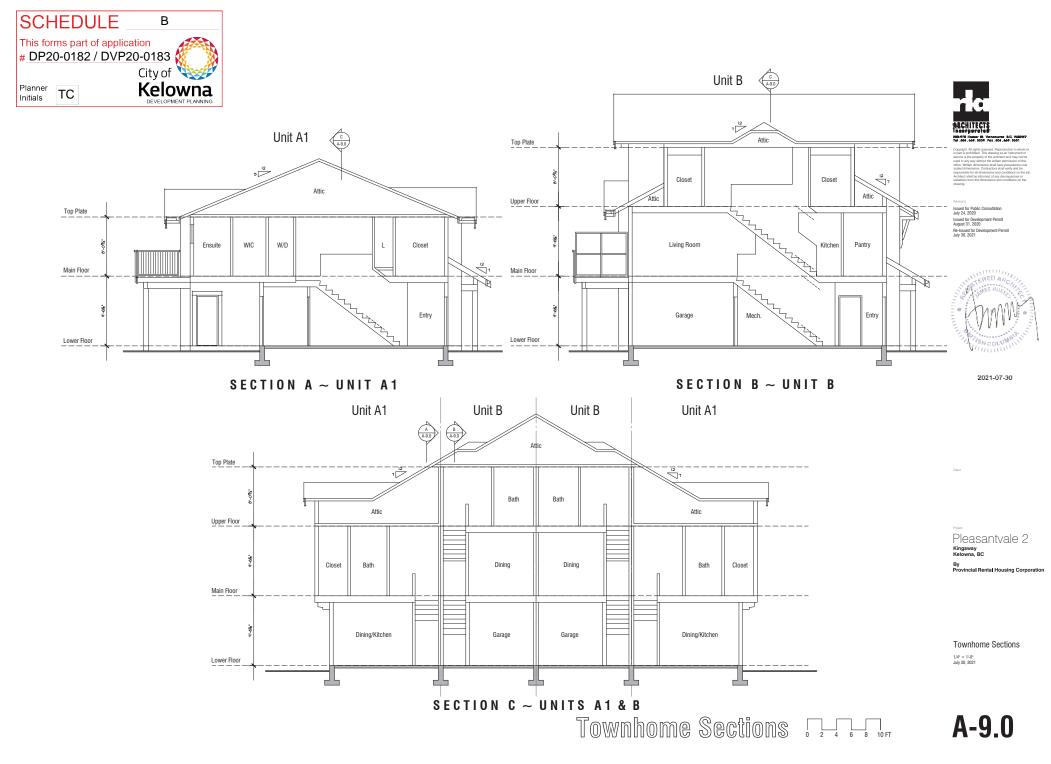
Sherwin Williams SW 9140 Blustery Sky

Pleasantvale 2 Kingsway Kelowna, BC By Provincial Rental Housing Corporation

Townhome Colour & Material Scheme 2

Townhome Colour & Material

A-8.1







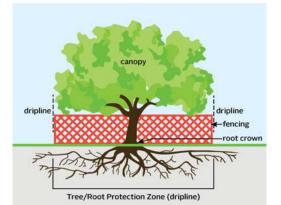




Tree # Tree Type Diameter Height (m) Condition Candidate Proposed development within

Arborist recommendations

		(cm)		%	for retention	critical root zone
1	Norway maple	38	7	60	No	Yes
	Horse Chestnut	35	10	75	No	Yes
	Horse Chestnut	41	10	65	No	Yes
	Horse Chestnut	38	10	75	Yes	Yes
	Cutleaf Birch	37	7	70	No	Yes
	European Birch	42	11	85	Yes	Yes
	Copper Beech	56	10	60	No	Yes
	European Beech	63	13	80	Yes	Yes
	Copper Beech	88	13	80	Yes	Yes
10	Cutleaf Birch	34	6	70	No	Yes



Tree Barrier and Installation as per Schedule C-Bylaw 8042

- 1. Tree Protection Barriers are to be installed prior to any demolition, excavation, or construction on site.
- 2. Tree Protection Barriers must remain upright and in place throughout the entire construction process.
- 3. Trees of any size on boulevards must be protected.
- 4. No incursions inside or against the Tree Protection Barriers are to occur, including, but not limited to: garbage/debris storage, material or equipment storage, porta-potties, soil piling, fill or grade changes, surface treatments or excavations of any kind, equipment fueling or chemical mixing, etc.

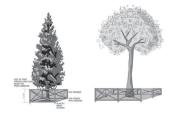
Specifications for Construction

1. 1.2 m (~4') in height;

- 2. A minimum of 2"x 4" construction to be used for vertical posts, top and bottom rails and crossbracing (in an "X"); round, un-treated vertical posts may be used with a minimum diameter of 9 cm.
- 3. Spacing between vertical posts to be no further apart than 3.7 m (12') on center.
- 4. Structure must be sturdy with vertical posts driven firmly into the ground.
- 5. Continuous plastic mesh screening (e.g. orange snow fencing).
- 6. Posted with visible signage advising that encroachment inside the protected area is forbidden
- 7. Located at distances based on tree diameter, use table below:

Trunk Diameter (DBH) measured at 1.4 m from the ground	Critical Root Zone minimum fence distance from the tree
20 cm (7.9")	1.2 m (3.9')
25 cm (9.8")	1.5m(4.9)
30 cm (11.8")	1.8 m (5.9')
35 cm (13.8")	2.1 m (6.9')
40 cm (15.7*)	2.4 m (7.9')
45 cm (17.7°)	2.7 m (8.9')
50 cm (19.7*)	3.0 m (g.8')
55 cm (21.7")	3.3 m (10.8')
60 cm (23.6")	3.6 m (11.8')
75 cm (29.5")	4-5 m (14.8')
90 cm (35.4")	5.4 m (17.7')
100 cm (39.4")	6.0 m (19.7')





Signage to be posted on each tree protection barrier on at least two sides (weather-proof, 11"x17" minimum size):

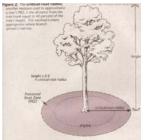
NO ENTRY

TREE PROTECTION ZONE

No grade change or storage of material or equipment is permitted within this fenced area. Tree protection barrier must remain in place for the duration of construction







PREPARED FOR: CTQ Consulting & Society of Hope Kelowna, BC

PREPARED BY: Verna Mumby Mumby's Arboriculture Consulting 305 Westview Road KALEDEN, BC VOH 1K0

DATE: October 7, 2020

This report and attachments contain confidential information intended only for the abovementioned parties. Any disclosure, copying, distribution, or action taken based on it, requires the consent of the above-mentioned parties. Loss or alteration of any part of this report renders the entire report invalid.

© Verna Mumby



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Certificates of Appraisal and Performance:

I, Verna Mumby, CERTIFY to the best of my knowledge and belief:

1. I am aware of my duty under Rule 11-2 of the British Columbia Supreme Court Civil Rules to assist the court and not assume the role of advocate for any party, and I certify that this report is made in conformity with that duty, and that if called upon to give testimony, I will do so in conformity with that duty.

2. That the statements of fact contained in this plant appraisal are true, complete, and correct, and that they are made in good faith.

3. I personally have inspected the trees and the property referred to in this report, and have stated my findings accurately.

4. I am the person primarily responsible for the opinions contained in this report.

5. That the appraisal analysis, opinions, and conclusions are limited only to the reported assumptions and limiting conditions, and that they are my personal, unbiased professional analysis, opinions, and conclusions.

6. That I have no present or prospective interest in the plant(s) or property that is the subject of this appraisal, and that I have no personal interest or bias with respect to the parties involved.

7. That my compensation is not contingent upon a predetermined value or direction in value that favors the cause of the client, the amount of the value estimate, the attainment of a stipulated result, or the occurrence of a subsequent event.

8. That my analysis, opinions, and conclusions were developed and that they are my own. This appraisal has been prepared in conformity with the Guide for Plant Appraisal (9th Edition, 2000) authored by the Council of Tree & Landscape Appraisers and according to commonly accepted arboricultural practices, scientific procedures and facts. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the appraiser/company can neither guarantee nor be responsible for the accuracy of information provided by others.

9. That the method(s) found in this appraisal are based on a request to determine the value of plant(s) considering reasonable factors of plant appraisal.

10. The information contained in this report covers only those items that were examined and reflect the condition of these items at the time of appraisal. The inspection is limited to visual examination of accessible components without dissection, excavation, or probing. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the trees or property in question may not have been present at the time of the site visit.

11. The opinions in this Report are given based upon observations made using generally accepted professional judgment, however, because trees and plants are living organisms and subject to change, damage and disease, the results, observations, recommendations, and analysis as set out in this Report are valid only as at the date any such testing, observations and analysis took place.

12. That my appraisal is based on the information known to me at this time. If more information is disclosed, I may have further opinions.

13. I am a member in good standing with the International Society of Arboriculture (ISA and PNW Chapter of ISA). I have been involved in a full time capacity in the field of arboriculture for over 20 years.14. Alteration of any part of this report invalidates the entire report.



2

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Assignment

Provide an assessment for designer Frank Poland of CTQ Consulting of the trees located on the property owned by Society for Hope in Kelowna, B.C. to determine retention potential during development.

Observations

On July 2, 2020, I travelled to the property and assessed twenty- six trees. Map A shows the location of the trees, Table A the tree attributes and Table B the retention potential.

Map A



3

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Tree #	Tree Туре	DBH (cm)	Height (m)	Condition %	Structural condition
1	Norway maple	38	7	60	Poor
2	Horse Chestnut	35	10	75	Poor
3	Horse Chestnut	41	10	65	Poor
4	Horse Chestnut	38	10	75	Good
5	Cutleaf Birch	37	7	70	Poor
6	European Birch	42	11	85	Good
7	Copper Beech	56	10	60	Fair
8	European Beech	63	13	80	Good
9	Copper Beech	88	13	80	Good
10	Cutleaf Birch	34	6	70	Poor
11	Pin Oak	54	12	70	Good
12	Cutleaf Birch	27	4	70	Poor
13	Cutleaf Birch	38	5	70	Poor
14	Cutleaf Birch	33	5	70	Poor
15	Scarlet Oak	59	13	70	Fair
16	Pin Oak	56	13	70	Fair
17	Standing dead tree				Poor
18	English Oak	67	10	80	Good
19	Horse Chestnut	28	6	50	Poor
20	Crimson King Norway Maple	54	10	85	Poor
21	Pin Oak	30	9	70	Good
22	Pin Oak	30	11	70	Poor
23	Pin Oak	43	12	70	Good
24	English Oak	46	11	80	Good
25	Siberian Elm	80	14	80	Fair
26	Subalpine fir (rare tree)	78	13	85	Good

Table A

This site has a good diversity of tree species and of notable size for the City of Kelowna. Many local homeowners talked to me to show their interest in the retention of the trees for the development. I assessed each tree for structural and health attributes. Many trees have been repeatedly topped thereby having poor structure and not safe to retain. Some of the trees had extensive stem or root decay.

Trees #4, 6, 8, 9, 11, 18, 21, 23, 24 and 26 are good candidates to retain on this property but not within the present site plan.



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Table B

Tree #	Tree Type	Good tree to retention	Proposed development within critical root zone	Retainable tree for present site plan
1	Norway maple	No	Yes	No
2	Horse Chestnut	No	Yes	No
3	Horse Chestnut	No	Yes	No
4	Horse Chestnut	Yes	Yes	No
5	Cutleaf Birch	No	Yes	No
6	European Birch	Yes	Yes	No
7	Copper Beech	No	Yes	No
8	European Beech	Yes	Yes	No
9	Copper Beech	Yes	Yes	No
10	Cutleaf Birch	No	Yes	No
11	Pin Oak	Yes	Yes	No
12	Cutleaf Birch	No	No	No
13	Cutleaf Birch	No	No	No
14	Cutleaf Birch	No	No	No
15	Scarlet Oak	No	No	No
16	Pin Oak	No	No	No
17	Standing dead tree	No	Yes	No
18	English Oak	Yes	Yes	No
19	Horse Chestnut	No	Yes	No
20	Crimson King	No	Yes	No
	Norway Maple			
21	Pin Oak	Yes	Yes	No
22	Pin Oak	No	No	No
23	Pin Oak	Yes	No	YES
24	English Oak	Yes	Yes	No
25	Siberian Elm	No	Yes	No
26	Subalpine fir (rare)	YES	Yes	No

5

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Discussion

This preliminary report finds ten trees are in good condition and are structurally safe to retain if the site plan is changed. See Map B. The present site plan will impact 9 of the 10 retainable trees because the development is within their critical root zone (CRZ). Being within the CRZ means structural roots will be cut and safe retention of these trees will be difficult to obtain.

Only one tree can be safely retained for the present site plan, tree #23 (identified on the map with a red box). Tree #26 is a RARE tree in the Okanagan and of remarkable size and health and is a heritage tree. I recommend the site plan be redesigned to include the ten healthy trees along with a tree retention plan for pre, post and during construction.

MAP B



6

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FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
CHAPTER 3.0: TOWNHOUSES & INFILL						
3.1 Townhouse Guidelines						
3.1.1 Relationship to the Street						
Townhouse built form is addressing the street frontage and front doors						✓
are directly accessible from a public walkway.						
End Unit: Townhouse built forms end unit is oriented perpendicularly to				✓		
the street frontage and has high quality architectural design treatment						
with main entrance directly accessible from the fronting street.						
Blank façades (without window openings) proposed along the street			✓			
frontages.						
Prominent entrance features for the main front doors such as stoops,						•
porches, recessed entries, and canopies are provided.						
Appropriate transition between public and private realm is being						~
achieved by changes in grade, decorative railings, and planters.						
3.1.2 Scale and Massing		r –	r —	1		
Proposed built form is sympathetic to the neighbourhood context and					\checkmark	
providing sensitive transition to the adjacent context (existing and future						
buildings, parks, and open spaces)						
Built Form is establishing a consistent rhythm along the street frontage						~
with articulation of individual units through integration of projections/						
recesses (entries and balconies), change in materials of the façade.						<u> </u>
Townhouse block is comprising of maximum 6 units.						•
3.1.3 Site Planning						
Proposed townhouse development is responding sensitively to						✓
topography, environmental features and enhancing privacy, livability,						
safety, and accessibility to the surrounding open space network (if						
applicable).						
Townhouse development is a gated or walled community (such		✓				
communities are discouraged)						
Proposed townhouse development has a communal amenity building.		✓				
Proposed pedestrian connections are framed with entrances and window					\checkmark	
openings to provide active edges.						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Proposed development is providing pedestrian pathways on site to				\checkmark		
connect the main building entrances, visitor parking areas, to adjacent pe						
pedestrian/trail/cycling networks and municipal sidewalks (if applicable).						
Internal pedestrian and vehicular circulation patterns are integrated and						✓
connected to existing and planned public street network.						
Minimum building separation of 10-12m is provided to accommodate		\checkmark				
sunlight, reduce overlook between buildings and neighbouring properties.						
Building projections such as balconies are not provided within the						\checkmark
setback areas, streets, and amenity areas of the proposed development.						
Front yard setbacks on internal roads are responding to the height of the				✓		
townhouses, for 3 storeys townhouses greater setback is provided to						
improve livability and solar access.						
3.1.4 Open Spaces						
Townhouse units are designed to have easy access to useable private or						✓
semi-private outdoor amenity space.					,	
Front yards are designed to include a pathway from the fronting street to					~	
the primary entrance of the unit, landscaping, and semi-private outdoor						
amenity space.						
Design of private outdoor amenity spaces is having access to sunlight.					 ✓ 	
Design of private outdoor amenity spaces is having a railing or fencing to					~	
increase privacy.						
Design of private outdoor amenity spaces is having landscaped areas to						\checkmark
soften the interface with the street or open spaces.						
Design of front patios provide entrance to the unit and is raised a minimum of 0.6m and maximum of 1.2m to create a semi-private zone.		√				
Balconies are designed to inset or partially inset and offer privacy, shelter, reducing building bulk and minimize shadowing impact.				~		
Outdoor amenity area provides landscaping, seating, play space and						√
other elements that encourage gathering or recreation.						•
Outdoor amenity areas are preferred to be located centrally (should not						~
be in an isolated, irregularly shaped areas or impacted by parking, mechanical equipment, or servicing areas).						
Larger townhouse development is providing generous shared outdoor						✓
amenity area that integrates play spaces, gardening, storm water and						
other ecological features, pedestrian circulation, communal amenity						
buildings and other communal uses.						
Internal road network of townhouse development is serving as additional			\checkmark	İ		
shared space and is provided with high-quality pavement materials						
(example: permeable pavers).						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	N/A	1	2	3	4	5
Useable spaces within the open space areas (for sitting, gathering, and playing) are provided.						~
3.1.5 Site Servicing, Access, and Parking						
Landscaping is provided to frame building entrances, soften edges, screen parking garages and to break up long facades.				~		
Site Servicing: Waste collection systems such as, Molok bins are located away from any public views.		~				
Parking						
Townhouses facing public streets are provided with a rear-access garage or integrated tuck under parking.						~
If applicable, centralized parking areas that eliminate the need to integrate parking into individual units are provided.					~	
Visitor parking with pedestrian connections to the townhouse units is provided in an accessible location (adjacent to townhouse blocks or centralized parking integrated with shared outdoor amenity space).					~	
Access						
Internal circulation of vehicles is providing necessary turning radii and a safe access and egress.						~
Large townhouse developments with internal circulation pattern are provided with a minimum of two access/egress points within the site.						~
Access points are located to minimize the impact of headlights on building interiors.					~	
Internal vehicular circulation, including pedestrian and open space networks are integrated and connected to the existing and planned street and open space network.						~
3.1.6 Building Articulation, Features, and Materials						
Façade is designed and articulated to reflect positive attributes of the neighbourhood character.						✓
Strategy to articulate façade: Recessing or projecting of architectural features to highlight the identity of individual units.				~		
Strategy to articulate façade: main entrance and rooflines features, and other architectural elements have been incorporated in the design.					~	
Infill townhouses are designed to incorporate design elements, proportions and other characteristics found within the neighbourhood.						✓
Infill townhouses are provided with durable, quality materials similar or contemporary to those found within the neighbourhood.						~

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
 Privacy of units is maintained on site and on adjacent properties by minimizing overlook and direct sight lines from the building. The following strategies have been incorporated in design: Off setting the location of windows in facing walls and locating doors and patios to minimize privacy concerns; Use of clearstory windows; Use of landscaping or screening; and Use of setbacks and articulation of the building. 					✓	
Large townhouse developments with internal circulation pattern are providing modest variation between different blocks of townhouse units, such as change in colour, materiality, building and roof form.						~

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
CHAPTER 4.0: LOW & MID-RISE RESIDENTIAL						
4.1 Guidelines						
4.1.1 Relationship to the Street						
Lobby area and main building entrance is clearly visible from the fronting street and sidewalk.						~
Wherever possible, blank walls at grade are not encouraged.						~
Ground oriented units with entries or glazing have been provided to avoid the blank/dead frontage along the street.						~
Residential and Mixed-use Buildings						
Residential buildings at the ground floor have a setback between 3-5m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio.			√			
A maximum 1.2m desired height (e.g., 5-6 steps) for front entryways has been provided. Where the water table requires this to be higher, in these cases, larger patio has been provided and parking has been screened with ramps, stairs, and landscaping.						√
Ground floor units accessible from the fronting street or public open spaces have been provided with individual entrances.		~				
Buildings are sited and oriented so that windows and balconies are overlooking public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.					~	
4.1.2 Scale and Massing						
Proposed residential building façade has a length of 6om (4om length is preferred).						~
Proposed residential building has a maximum width of 24m.						~
4.1.3 Site Planning		1	1	1	1	1



Page 4

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RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Architecturally-integrate awnings, canopies, and overhangs to the			\checkmark			
building and incorporate architectural design features of buildings from						
which they are supported.						
Place and locate awnings and canopies to reflect the building's				\checkmark		
architecture and fenestration pattern.						
Place awnings and canopies to balance weather protection with daylight				\checkmark		
penetration. Avoid continuous opaque canopies that run the full length						



DP20-0182 / DVP20-0183 651 Cambridge Avenue

Development Permit and Development Variance Permit Applications





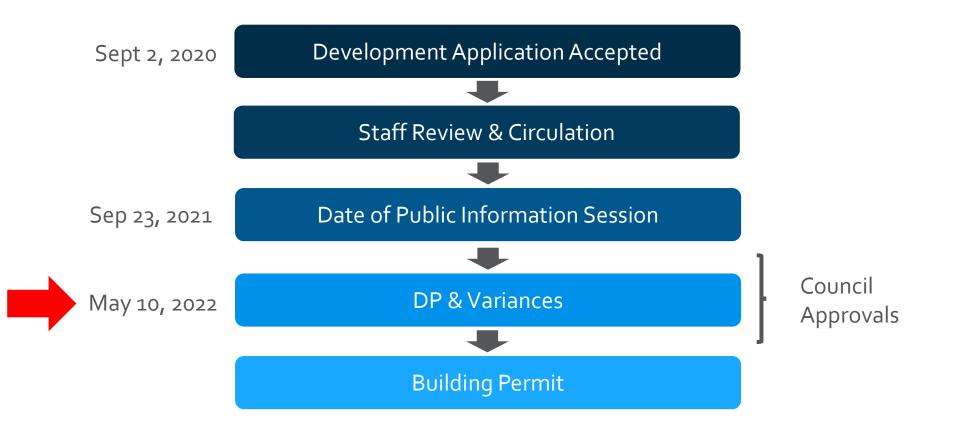
Proposal

To consider a Development Permit for the form and character of a new multi-family building and to consider variances to parking, setbacks, height and site coverage.



Development Process



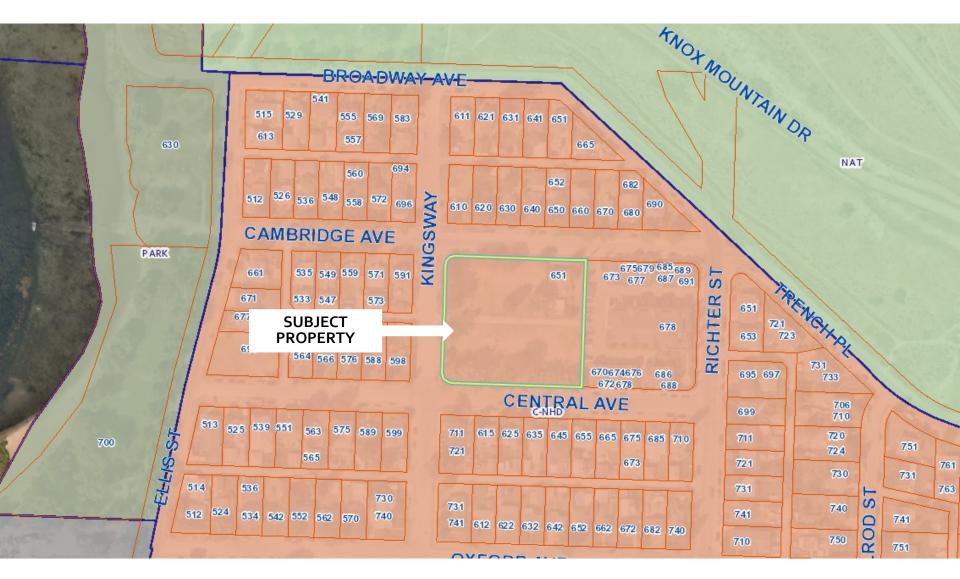




Context Map



Future Land Use



Subject Property Map





Project details

- The subject property is 1.71-acres and borders Cambridge Ave, Central Ave and Kingsway.
- The proposal includes both townhomes and an apartment building ranging in heights, size and number of bedrooms.
- The project includes 75 units:
 - 27 units in townhomes;
 - 48 units in the apartment building.





Project details - Townhomes

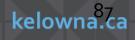
- The street-oriented townhomes are designed to be lake cottage style, all with different roof styles to create uniqueness.
- ► There will be seven townhomes, with 27 units.
 - ▶ 14 of them will be 3 bedrooms.
 - They range between 2 and 3 storeys.
 - On-site parking for 1 to 2 cars.
 - Oriented towards families with kids.
 - Includes children's play area amenity space.



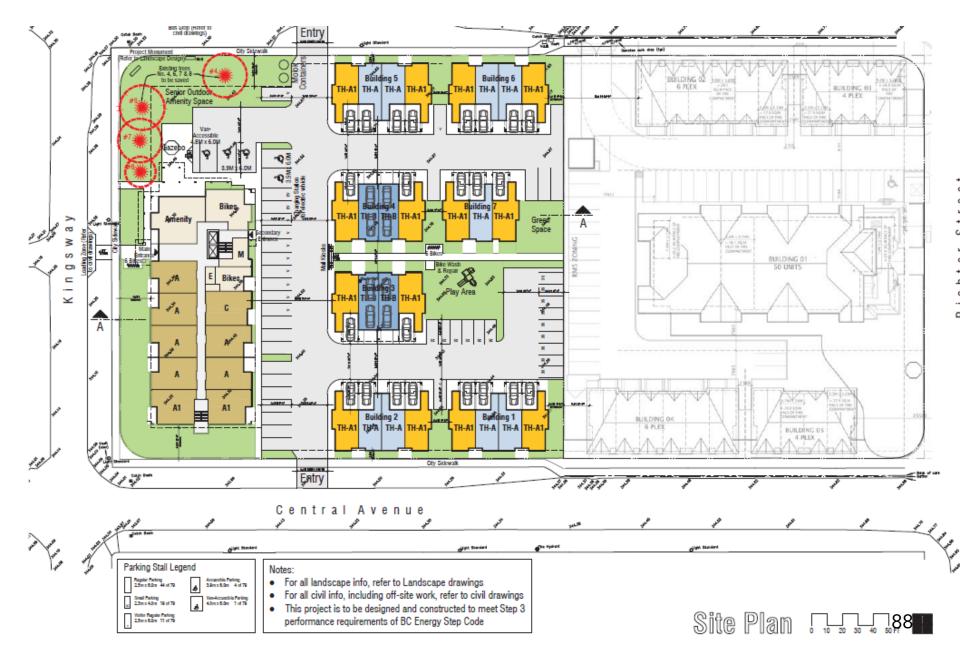


Project details - Apartment

- The proposal also includes a four-storey apartment building facing Kingsway consisting of 48 units.
 - The building is oriented towards senior living.
 - Includes amenity space beside the building include garden plots.
- The building is designed the building to be prairiestyle architecture.



Site Plan



Elevations - Apartment



WEST ELEVATION (KINGSWAY)





NORTH ELEVATION (CAMBRIDGE AVENUE)

Elevations - Apartment



EAST ELEVATION (COURTYARD)



Bricks - Mutual Materials Aspen Mission

Elevations - Townhome



Buildings 1 & 2 (Buildings 5 & 6 mirrored)





EAST ELEVATION 4-PLEX Buildings 1 & 2 (Buildings 5 & 6 mirrored)

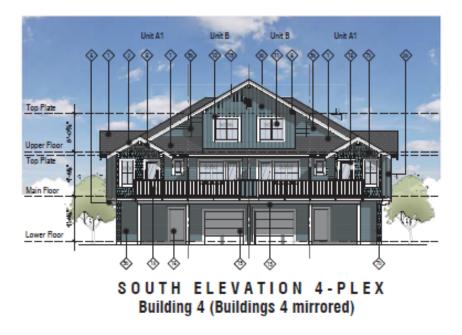


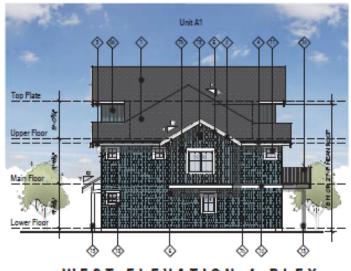
Buildings 1 & 2 (Buildings 5 & 6 mirrored)

Elevations - Townhome



NORTH ELEVATION 4-PLEX Building 4 (Buildings 3 mirrored)





WEST ELEVATION 4-PLEX Building 4 (Buildings 3 mirrored)



Building 4 (Buildings 3 mirrored)

Elevations - Townhome



Asphalt Shingles GAF HD Premier, Pewter Gray



Wall Shingles/Lap Siding/Board and Batten Sherwin Williams SW 9140 Blustery Sky



Beams/Posts/Decorative Louvres Sherwin Williams SW 7005 Pure White





Asphalt Shingles GAF HD Premier, Pewter Gray



Fascias/Soffits/Trims/Belly-Bands/Brackets/ Beams/Posts/Decorative Louvres Sherwin Williams SW 7005 Pure White



Conceptual Rendering - Apartment



Apartment Building Facing Kingsway

Conceptual Rendering - Townhomes



Townhomes A1 & A Facing Central Avenue

Landscape Plan

CAMBRIDGE AVENUE

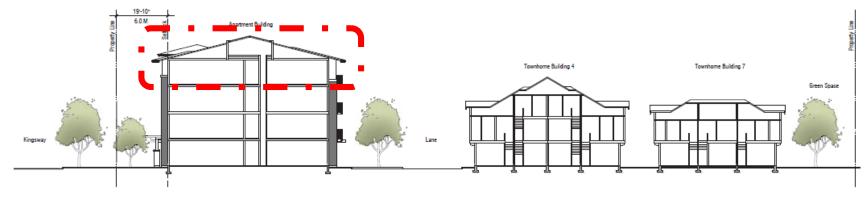


Variances



City of Kelowna

Variances



SITE SECTION



Development Policy

 Meets the Intent of the Official Community Plan (OCP)

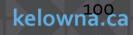
- Diverse Housing Forms
- Diverse Housing Tenures
- Accessible Design
- Housing with Supports





Staff Recommendation

- Staff recommend support for the Development Permit and Development Variance Permit Applications.
 - Supported by policies in the OCP.
 - Consistent with Future Land Use Designation.
 - Four mature trees are being protected and the applicant is planting 2-to-1 trees to replace the ones that will be removed.
 - Affordable housing is needed in Kelowna.





Conclusion of Staff Remarks





Pleasantvale 2

COUNCIL PRESENTATION

MAY 10, 2022



Pleasantvale 2 – A Partnership



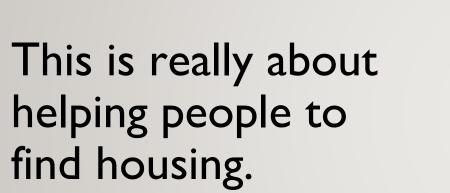








Pleasantvale 2





(Pictures used with permission)



Pleasantvale – Deeply Subsidized Rents

- 70% of these units are RGI (Rent-Geared-to-Income) rentals
- One Bedroom Rents: \$375 to \$780 per month
- Two Bedroom Rents: \$595 to \$950 per month
- Three Bedroom Rents: \$680 to \$1,070 per month



Pleasantvale Affordable Housing – History



- City of Kelowna originally granted land title to Rotary Club in the 1950's for affordable housing.
- 2016 redevelopment of Pleasantvale 1 was completed, adding 70 units serving seniors, adults with disabilities and families who qualify.



Pleasantvale 2 – Planning History



- 2020 Plans were created for an extension of Pleasantvale 1, with renewed community engagement.
- 2021 Application updated, now based on the inclusion of the single-family lot at 651 Cambridge (now 1.71 acres)
- The updated plan provided 7 more units, for a total of 75 homes, including:
 - 27 Family Townhomes 13 Two bedroom and 14 Three bedroom
 - 48 senior Apartments 38 One bedrooms and 6 two bedroom (4 wheelchair accessible)



Pleasantvale 2 – Community Engagement



Over the past 2 years of planning, two rounds of neighbourhood engagement have been undertaken.

Feedback on numerous issues including sufficiency of parking, privacy for adjacent neighbours and the fate of the existing trees.

The current plan reflects all the input received within the 2020 and 2021 engagement processes.



Pleasantvale 2 – Proposed Parking Variance

Based on the Current Parking Bylaw, Pleasantvale 2 is providing more parking than Pleasantvale I

Table 1: Total Parking Required Under <u>Current</u> Bylaw		
Pleasantvale 2		<u>Pleasantvale</u> I
Regular Less: Rental Only "R" Total Parking Required "R" Proposed/Provided Variance to Current Bylaw	119.5 <u>11.95</u> 108.9 79 29	106.3 <u>10.63</u> 95.67 57 39



Pleasantvale 2 – Proposed Parking Variance

Based on the Downtown Parking Bylaw, Pleasantvale 2 is providing 8 more stalls than would be required in the core area for the same project.

Table 2: Total Parking Required Under <u>Downtown</u> Bylaw

P	leasantvale 2	<u>Pleasantvale</u> I
Regular	88	79.2
Less: Rental Only "R"	<u>17.76</u>	<u>15.84</u>
Total Parking Required "R"	71	63
Proposed/Provided	79	57
Variance to Downtonw Bylaw	-8	6



Pleasantvale I – Current Conditions Richter Street



FRIDAY September 24, 2021 – 4:00 PM



FRIDAY October 8, 2021 – 10:00 AM



MONDAY, October 4, 2021 – 5:00 AM



WEDNESDAY October 13, 2021 – 3:00 PM



Pleasantvale I – Current Conditions Central Avenue



THURSDAY September 23, 2021 – 9:23 PM



TUESDAY September 28, 2021 – 12:00 NOON



FRIDAY September 24, 2021 – 4:00 PM



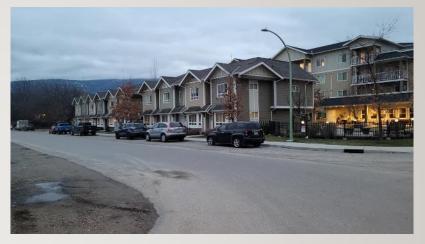
MONDAY October 4, 2021 – 5:00 AM



Pleasantvale I – Current Conditions Central Avenue



WEDNESDAY November 3, 2021–10:00 AM



TUESDAY, March 23, 2022 – 7:30 PM



Pleasantvale I – Current Conditions Cambridge Avenue



THURSDAY September 23, 2021 – 9:00 PM



TUESDAY September 28, 2021 –12:00 NOON



FRIDAY September 24, 2021 – 4:30 PM



MONDAY October 4, 2021 – 5:00 AM



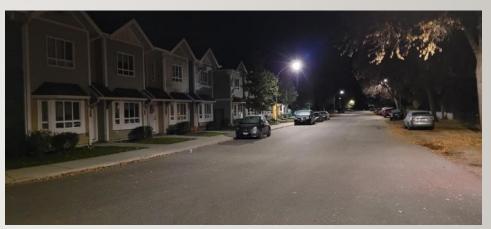
Pleasantvale I – Current Conditions Cambridge Avenue



FRIDAY October 8, 2021 – 10:00 AM



FRIDAY October 22, 2021 –5:00 AM



TUESDAY October 12, 2021 – 5:30 AM



TUESDAY March 23, 202 – 7:30 PM



Pleasantvale I – Onsite Visitor Parking Guest Parking Stalls I-4



THURSDAY October 14, 2021 – 3:00 PM



FRIDAY October 22, 2021 – 5:00 AM



Pleasantvale 2 – Access to Bus Service





Cambridge & Kingsway, Bench



Richter Bus Stop (Entrance to Pleasantvale I)



Pleasantvale 2 – Rationale for Parking Variance

- Pleasantvale I has successfully operated with a ratio of 0.8 parking stalls/unit. Pleasantvale 2 is providing a **higher parking ratio at 1.05 stalls per unit**.
- Experience tells us that this form of rental property will attract many **residents** without automobiles.
- Both Pleasantvale I and 2 have access to public transit to the front door.
- Although not technically in the City core, the site is walkable to the City core.
- Extensive, new curb and gutter provides a "safety valve" (additional parking capacity) for visitors and guests.



Pleasantvale 2 – Landscape Treatment & Tree Retention

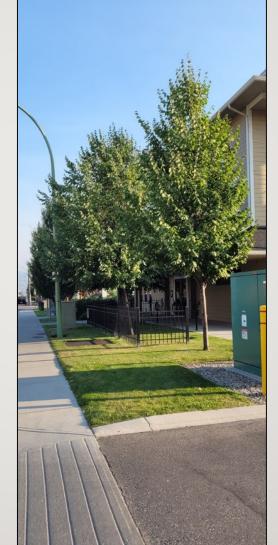


- The commitment to a creating a healthy and livable neighbourhood - through generous landscaping and through a commitment to retain heritage trees where possible - has been a strong consideration for the planning team.
- An additional commitment to retain four (4) heritage trees in the northwest sector of the site (in the Senior's garden).
- The commitment to generous landscaping is superior to Pleasantvale 1.



Pleasantvale I – Tree Growth on Richter





• Planted in 2016



Pleasantvale I – Tree Growth on Central





• Planted in 2016



Pleasantvale I – Tree Growth on Cambridge



• Planted in 2016.



Pleasantvale 2 – Heritage Tree Retention







• Horse Chestnut





European Beech





Copper Beech

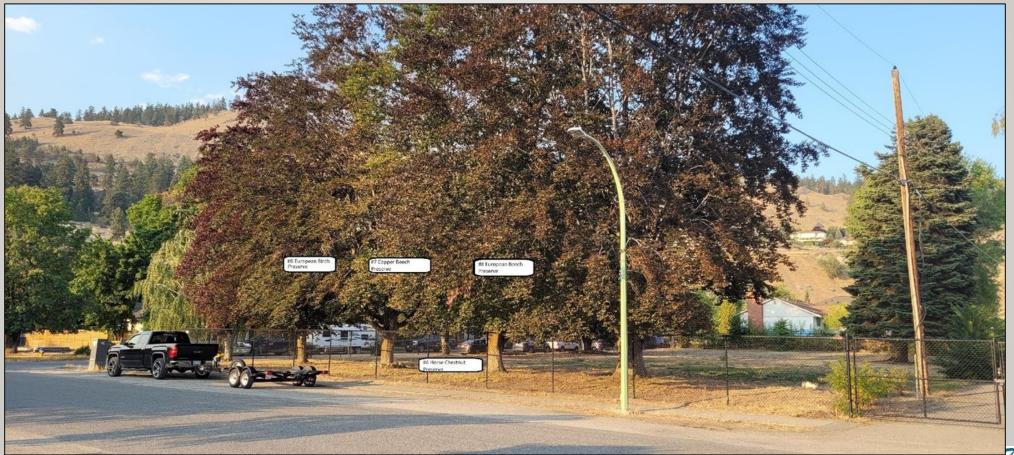




• European Birch



Pleasantvale 2 – Retention of 4 Heritage Trees – #4, #6, #7, #8





Senior's Garden Area





Children's Playground Area





Pleasantvale 2 – Conclusion/Rationale for Support

- Parking is not an issue in this neighbourhood and the parking ratio is greater than Pleasantvale I at 1.09 stalls per unit.
- The project has been redesigned to protect 4 heritage trees and includes the planting of an additional 52 new trees onsite. An expected 22 additional, large-caliper trees will be planted in the boulevard areas.
- Society of Hope is providing enhanced onsite landscaped areas including a Senior's garden area and a children's playground area that will serve the children living in Pleasantvale I and 2.
- Society of Hope is creating 75 affordable rental units, including approximately 52 deeply subsidized units.
- 70% of these rental units will be based on Rent-Geared-to-Income applicants making these units truly affordable at 30% of a family's income.



Pleasantvale 2 – Conclusion/Rationale for Support

- The planning team is very proud of this plan, having worked hard for the last two years to balance the community input on parking, trees and design with the pressing need for affordable housing.
- The team is grateful for the hard work and contributions of City Staff in developing a plan that so effectively addresses a range of community priorities.







Pleasantvale 2 – Thank you.

COUNCIL PRESENTATION

MAY 10, 2022



REPORT TO COUNCIL



Date:	May 10, 2022			
То:	Council			
From:	City Manager			
Department:	Development Planning Department			
Application:	DP21-0155/DVI	P21-0272	Owner:	Dilworth Shopping Centre Ltd.
Address:	2339 – 2397 Hw	yy 97 N	Applicant:	Peterson Developments Inc.
Subject: Development Permit and Development Variance Permit Application				
Existing OCP De	esignation:	UC – Urban Centre		
Existing Zone:		C4rls/rcs – Urban Centr Cannabis Sales)	e Commercial (Retail Liquor Sales/Retail

1.0 Recommendation

THAT Council authorize the issuance of Development Permit No. DP21-0155 for a portion of Lot A, District Lot 126 & 532, ODYD Plan 40108 located at 2339 – 2397 Hwy 97 N, Kelowna, BC subject to the following:

- The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0272 for a portion of Lot A, District Lot 126 & 532, ODYD Plan 40108 located at 2339 – 2397 Hwy 97 N, Kelowna, BC;

AND THAT variance to the following section of Zoning Bylaw No. 8000 be granted:

Section 14.4.6 (a): C4 – Urban Centre Commercial - Other Regulations

To decrease the minimum commercial space on the first floor fronting an arterial road from 90% to 16.3%.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit are valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Permit for the form and character of a residential and commercial mixed-use development and a Development Variance Permit to decrease the minimum commercial space on the first floor fronting an arterial road from 90% to 16.3%.

3.0 Development Planning

Development Planning Staff are recommending support for the proposed Development Permit and Development Variance Permit to facilitate a 490-unit rental and commercial mixed-use development. The proposed development is considered to substantially meet the Form and Character Guidelines of the 2040 Official Community Plan (OCP) and the overall land use objectives of the Midtown Urban Centre.

The proposal offers extensive redevelopment of an existing shopping mall which will add a mix of housing options to an area that is currently dominated by strip mall retail and vehicle oriented commercial uses. The redevelopment helps achieve a number of objectives of the City's Midtown Urban Centre by supporting a greater live work balance with housing directly adjacent to commercial businesses and amenities. The site layout provides a comprehensive mix of private open amenity space, and public plazas which will greatly improve the pedestrian environment and interface with the remaining Dilworth Shopping Centre area.

The site is directly adjacent Highway 97N, one of the City's primary Transit Supported Corridors which provides transportation connections and options to future residents. The landscaping and amenity package also work towards beautifying the Highway 97 streetscape by adding greenery and landscaping along the street frontage and internal roadways.

4.0 Proposal

4.1 Project Description

The proposed mixed use residential and commercial development is located on Hwy 97N and consists of 490 residential units, approximately 15,000 ft² of commercial space and 8,000 ft² of indoor amenity space over four buildings. Each of the four proposed buildings will be 6 storeys in height with underground parking and a comprehensive outdoor amenity package. Access to the site will be from the existing entry way from Hwy 97N and a new secondary access to Baron Road. The project is generally divided into two phases with two buildings in each phase. The first, Buildings 1a and 1b, is in the southwest portion of the property and faces Hwy 97N with the second phase, Buildings 2a and 2b, in the southwest corner fronting Baron Road. There will be a new internal road between the buildings which will act as the main access to underground parkades as well as for street level frontage for town homes and public plazas.

Unit composition is a mix of town home and apartment forms ranging from studio to three-bedroom units and approximately 450ft² to 1000ft² in size. The majority of the units, about 75%, are studio or one-bedroom configurations with 25% being 2 bedroom and 3-bedroom units. All four buildings are proposed to be rental units with the intent of proceeding with the Rental Tax Exemption applications and rental agreements.

Form and Character

Buildings 1a and 1b are oriented along the Hwy 97N corridor and will have significant presence along the highway and main entryway into the site. The two six-storey buildings are angled and setback from the roadway to create internal amenity space while providing a buffer for the residential units from the road. This also allows for a substantial private amenity space to be centred between the two buildings. A feature

architectural corner and anchor retail at the existing entryway from Highway 97 acts as a gateway to the site. The residential floors incorporate projecting bays and recessed balconies with varying window treatments that provide visual interest and help mitigate the building massing. The materials are a mix of cement panels, brick, wood panelling and powder coated aluminium windows and railings. The colour pallet is predominately white, light and dark grey with wood accents. The light grey colour in the centre of the buildings provides a lighter context to the buildings massing while the darker grey accents the architectural corner which acts to anchor the main entryway and commercial uses.

Buildings 2a and 2b are oriented towards Baron Road and the Superstore property to the south. The buildings will be generally less visible as they sit more internally on the site. The two buildings are oriented similarly to phase one to create internal amenity space in the southwest while providing 10,000 ft² of retail space inward facing to the existing Dilworth Shopping Centre. The form and character of the two buildings are similar to phase one in their articulation and building massing. The materials are similar with varying tones but with a generally lighter palette to differentiate the two phases.

Landscaping

The proposed landscaping provides for pedestrian connectivity and walking paths around the entire complex connecting the public street frontages and new internal streets. The internal streets will have boulevard treatments including street trees to emphasize the pedestrian environment and activate the street realm. This includes townhouse balconies and lobby entry ways to the street boulevards. Two large open plazas will face northeast and connect the residential spaces with the commercial retail areas. Public seating, open space and artwork will be located in the public plazas to create a focal point and pedestrian friendly environment between the proposed development and existing shopping centre.

The main levels of all four buildings allows for private amenity spaces for ground-oriented units bordered by shrubs and trees. The overall plan provides for ample landscaping in the form of trees and shrubs lining amenity areas and private open space. The plan incorporates a comprehensive package of amenity space including pool decks, child play areas, outdoor fitness space, social/games area, outdoor kitchen, dog runs and multi-use sports court space with bleachers. The various outdoor amenity spaces create onsite activities for future residents, that are buffered from the highway and adjacent parking areas.

Variance – Minimum Commercial Space

To accommodate the proposal, the applicating is requesting a variance to the minimum commercial space on the first floor fronting an arterial road from 90% to 16.3%. This is to accommodate 5,000 ft2 of commercial space in the corner of Building 1B along the Highway 97N frontage, while allowing the remainder to be residential and outdoor amenity space.

A number of key objectives of the Midtown Urban Centre are to prioritize residential uses over employment uses, provide a greater mix of housing options and improve the pedestrian environment. The proposal and associated variance help to achieve these directives and as a whole in the urban centre. The need for a large amount of commercial frontage is not considered a high priority at this specific location given the amount of commercial space available in the general area and proposed internally within the site. The project overall creates a secondary internal commercial frontage and provides an additional 10,000 ft² of commercial retail space within Building 2b.

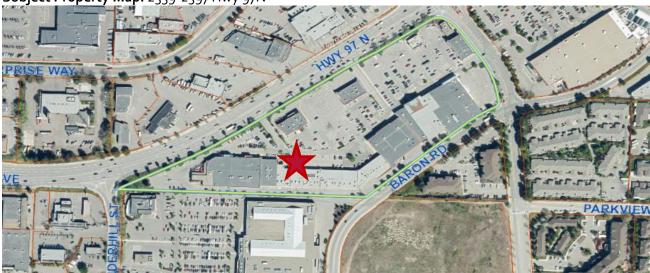
Given the overall context of the site and the objectives of the Midtown Urban Centre Staff are in support of the variance.

4.2 <u>Site Context</u>

The subject property is the site of the Dilworth Shopping Centre on the Hwy 97 N commercial corridor. The

site within the Future Land Designation of UC- Urban Centre and specifically the Midtown Urban Centre. The site is zoned C₄ – Urban Centre Commercial and has a variety of commercial uses on site. The site will be accessed from Highway 97N and Baron Rd. The surrounding area is predominately commercial and large-scale commercial stores. Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	l2/C4/C10 – Service Commercial	Hwy 97 N / Mixed Commercial and Industrial
East	C10 – Service Commercial	Leckie Rd / Commercial
South	C4 – Urban Centre Commercial	Baron Rd / Commercial
West	l2/C4/C10 – Service Commercial	Hwy 97 N / Mixed Commercial and Industrial



Subject Property Map: 2339-2397 Hwy 97N

Overall Site Plan and Layout: 2339-2397 Hwy 97N



Zoning Analysis Table 4.3

Zoning Analysis Table		
CRITERIA	C4 ZONE REQUIREMENTS	PROPOSAL
E	Existing Lot/Subdivision Regulations	
Min. Lot Area	1300 m ²	>1300 m ²
Min. Lot Width	40 m	>40 m
Min. Lot Depth	30 M	> 30 m
	Development Regulations	
Max. Floor Area Ratio	1.5	1.47
Max. Site Coverage (buildings)	75 %	21 %
Max. Height	37 m/ 12 storeys	17.68m/6 storeys
Min. Front Yard	0.0 M	>0.0 M
Min. Side Yard (south)	0.0 M	>0.0 m
Min. Side Yard (north)	0.0 M	>0.0 M
Min. Rear Yard	0.0 M	>0.0 M
	Other Regulations	
Min. Parking Requirements	504	518
Min. Bicycle Parking	443	693
Min. Private Open Space	1 bedroom unit- 10m² 2 or greater bedroom unit- 15m² Total = 4770 m²	7887 m²
Minimum Commercial Space on Arterial Road (Hwy 97)	90 %	0 16.3 %

a requested variance to minimum commercial space on an arterial roa L Indicat

Current Development Policies 5.0

Kelowna Official Community Plan (OCP) 5.1

Objective 4.8 Support modest residential development to transition Midtown into a transit- supportive neighbourhood		
Policy4.8.1 Midtown Residential Development	Prioritize the development of multi-unit residential uses over employment uses in Midtown to support a greater live work balance. The proposal adds 490 residential units in a predominately commercial area of the City providing housing options directly adjacent to employment and commercial amenities.	
Policy 4.8.2 Midtown Urbanization	To address Midtown's deficiency in the pedestrian environment, poor street connectivity, lack of housing choices and public spaces, support the redevelopment of properties where the proposal demonstrates the following characteristics:	
	 Improved street connectivity, particularly east-west connectivity, through the identification of new streets and pathways that break up large blocks; Improved pedestrian environment; Identification and dedication of parks and public spaces; 	

	 Integration of transit infrastructure, such as transit exchanges for example; and Housing mix, with consideration for affordable housing as outlined in the Healthy Housing Strategy. 	
	The proposal provides a comprehensive package open private amenity and public open space which will greatly improve the pedestrian environment for the residents and general area. It also includes new east-west connectivity to break up the existing Dilworth Shopping Centre block. In addition to providing a variety of housing options.	
Objective 5.2. Focus residential density along Transit Supportive Corridors.		
Policy 5.2.1. Transit Supportive Corridor Densities.	Encourage development that works toward a long term population density of between 50 – 100 people per hectare within 200 metres of each corridor to achieve densities that support improved transit service and local services and amenities. Discourage underdevelopment of properties along Transit Supportive Corridors. Achieves higher density residential directly on a Transit Supportive Corridor.	
	increase greenery in the Core Area.	
Policy 5.5.2. Urban Forest Canopy.	Encourage the installation of street trees in Core Area streetscape improvement projects, recognizing the critical role they play in pedestrian comfort, cooling of the urban heat island, habitat for local animal species and beautification of the public realm. Protect existing mature trees where possible. The project retains mature street trees while adding significant landscaping along the Highway 97 streetscape and internal pedestrian areas which is considered a considerable improvement to the existing site dominated by	
	surface parking.	

6.0 Application Chronology

Date of Application Accepted:	June 22, 2021
Date Public Consultation Completed:	March 2, 2022

Report prepared by:	Wesley Miles, Planner Specialist
Reviewed by:	Dean Strachan, Community Planning & Development Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development and Development Variance Permit DP21-0155 & DVP21-0272

Attachment B: Form and Character – Development Permit Guidelines

Attachment C: Applicant Design Rationale and Renderings

Schedule A: Site Plan Schedule B: Elevations Schedule C: Landscape Plan



Development Permit & Development Variance Permit DP21-0155/DVP21-0272

This permit relates to land in the City of Kelowna municipally known as

2339 – 2397 Hwy 97N

and legally known as

Lot A, District Lot 126 & 532, ODYD Plan 40108

and permits the land to be used for the following development:

490 unit residential and commercial mixed use development

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision

Decision By: COUNCIL

Issued Date:

Development Permit Area: Comprehensive Development Permit Area

This permit will not be valid if development has not commenced by June, 2022.

Existing Zone: C4 – Urban Centre Commercial (Retail Liquor Sales/Retail Cannabis Sales)

Future Land Use Designation: UC – Urban Centre

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Dilworth Shopping Centre Ltd.

Applicant: Peterson Developments Inc.

Terry Barton Development Planning Department Manager Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

with variances to the following section of Zoning Bylaw No. 8000:

Section 14.4.6(a): C4 – Urban Centre Commercial - Other Regulations

To decrease the minimum commercial space on the first floor fronting an arterial road from 90% to 16.3%.

This Development Permit is valid for two (2) years <u>from the date of Council approval</u>, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit in the amount of \$ 4,753,595.00

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

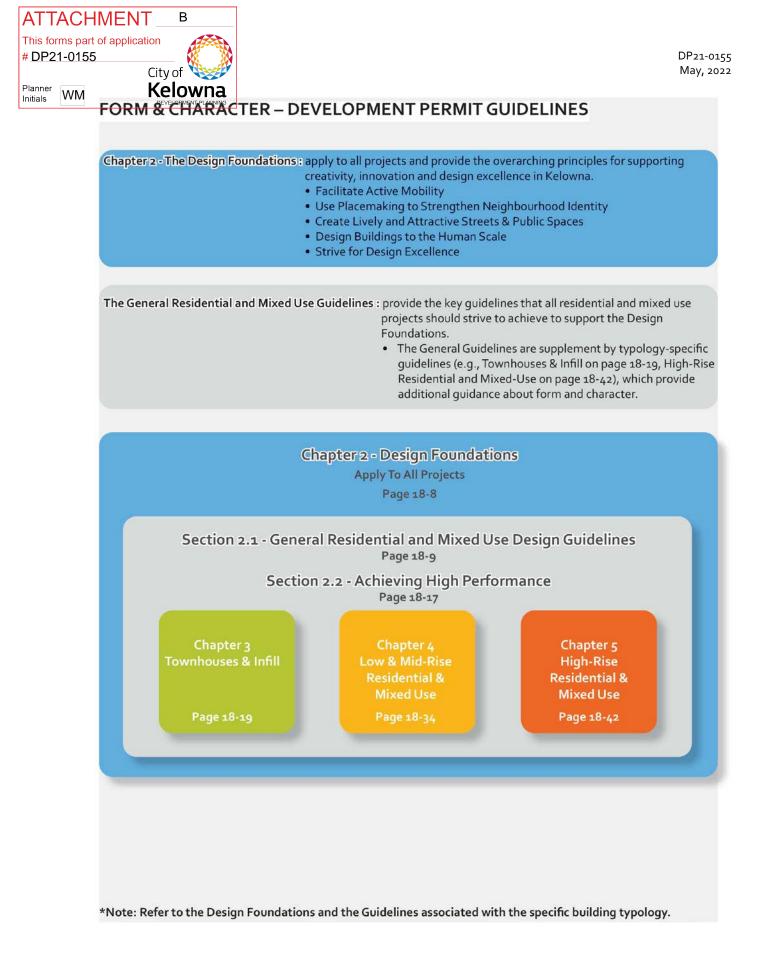
5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE		1	2	3	4	5
(1 is least complying & 5 is highly complying)				-	-	
CHAPTER 4.0: LOW & MID-RISE RESIDENTIAL & MIXED USE				•		
4.1 Guidelines						
4.1.1 Relationship to the Street						
Lobby area and main building entrance is clearly visible from the fronting street and sidewalk.					✓	
Wherever possible, blank walls at grade are not encouraged.						~
Enclosed parking garages are located away from street frontages or public open space.						~
Ground oriented units with entries or glazing have been provided to avoid the blank/dead frontage along the street.					~	
When unavoidable, blank walls have been screened with landscaping or have been incorporated with a patio/café or special materials have been provided to make them visually interesting.	~					
Commercial & Mixed-use Buildings						
Proposed built form has a continuous active and transparent retail					\checkmark	
frontage at grade and provides a visual connection between the public						
and private realm.						
Buildings have been sited using a common 'build to' line at or near the front property line to maintain a continuous street frontage. Some variation (1-3m maximum) can be accommodated in ground level set backs to support pedestrian and retail activity by, for example, incorporating a recessed entryway, small entry plaza, or sidewalk café.					✓	
Frequent entrances (every 15 m maximum) into commercial street frontages have been incorporated to create punctuation and rhythm along the street, visual interest, and support pedestrian activity.						
Residential and Mixed-use Buildings						
Residential buildings at the ground floor have a set back between 3-5m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio.					 ✓ 	
A maximum 1.2m desired height (e.g., 5-6 steps) for front entryways has					\checkmark	
been provided. Where the water table requires this to be higher, in these						
cases, larger patio has been provided and parking has been screened						
with ramps, stairs, and landscaping.						
Ground floor units accessible from the fronting street or public open spaces have been provided with individual entrances.						~

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Buildings are sited and oriented so that windows and balconies are					~	
overlooking public streets, parks, walkways, and shared amenity spaces						
while minimizing views into private residences.						
4.1.2 Scale and Massing		T	1	T	1	
Proposed residential building façade has a length of 6om (4om length is preferred).						v
Buildings over 40m in length are incorporating significant horizontal and vertical breaks in façade.					~	
Commercial building facades are incorporating significant break at approximately 35m intervals.					√	
Proposed residential building has a maximum width of 24m.						~
4.1.3 Site Planning		1				1
On sloping sites, building floor levels are following the natural grade and avoiding the blank wall situation.	~					
Buildings are sited to be parallel to the street and have a distinct front-to-					✓	
back orientation to public street and open spaces and to rear yards,						
parking, and/or interior courtyards.						
Building sides that are interfacing with streets, mid-block connections,						\checkmark
and other open spaces (building fronts) are positively framing and						
activating streets and open spaces and supporting pedestrian activity.						
Larger buildings are broken up with mid-block connections which have public accessibility wherever possible.						~
Ground floors adjacent to mid block connections have entrances and windows facing the mid block connection.						~
4.1.4 Site Servicing, Access, and Parking						
Vehicular access is provided from the lane.	✓					
Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access is provided from the street, provided:					~	
 Access is from a secondary street, where possible, or from the long face of the block; 						
 Impacts on pedestrians and the streetscape is minimized; and, 						
 There is no more than one curb cut per property. 						
Above grade structure parking should only be provided in instances	1	1	1	1	1	\checkmark
where the site or high water table does not allow for other parking forms.						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
 When parking cannot be located underground due to the high water table and is to be provided above ground, screen the parking structure from public view as follows: On portions of the building that front a retail or main street, line the above ground parking with active retail frontage; On portions of the building that front onto non-retail streets, line the above ground parking with an active residential 	√					
 frontage, such as ground oriented townhouse units; When active frontages are not able to be accommodated, screen parking structures by using architectural or landscaped screening elements; On corner sites, screen the parking structure from public view on both fronting streets using the appropriate strategy listed above. 						
 Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2m above grade, with the following considerations: Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and Where conditions such as the high water table do not allow for this condition, up to 2m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized. 					✓	
4.1.5 Publicly Accessible and Private Open Spaces						
Publicly accessible private spaces (e.g,. private courtyards accessible and available to the public) have been integrated with public open areas to create seamless, contiguous spaces.					~	
Semi-private open spaces have been located to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.					~	
 Outdoor Amenity Areas: design plazas and parks to: Contain 'three edges' (e.g., building frontage on three sides) where possible and be sized to accommodate a variety of activities; Be animated with active uses at the ground level; and, Be located in sunny, south facing areas. 					~	
 Internal courtyard design provides: amenities such as play areas, barbecues, and outdoor seating where appropriate. 						~
• a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.						
Mid-block connections design includes active frontages, seating, and landscaping.						~

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Rooftop Amenity Spaces		r	r	r –	r –	
Shared rooftop amenity spaces (such as outdoor recreation space and	\checkmark					
rooftop gardens on the top of a parkade) are designed to be accessible to						
residents and to ensure a balance of amenity and privacy by:						
Limiting sight lines from overlooking residential units to outdoor						
amenity space areas through the use of pergolas or covered						
areas where privacy is desired; and						
Controlling sight lines from the outdoor amenity space						
into adjacent or nearby residential units.	\checkmark					
Reduce the heat island effect by including plants or designing a green	v					
roof, with the following considerations:						
 Secure trees and tall shrubs to the roof deck; and 						
Ensure soil depths and types are appropriate for proposed plants						
and ensure drainage is accommodated.						
4.1.6 Building Articulation, Features & Materials						
Articulate building facades into intervals that are a maximum of 15m					✓	
wide for mixed-use buildings and 20m wide for residential buildings.						
Strategies for articulating buildings should consider the potential						
impacts on energy performance (see 2.2.1), and include:						
Façade Modulation – stepping back or extending forward a						
portion of the façade to create a series of intervals in the facade;						
 Repeating window patterns at intervals that correspond to 						
extensions and step backs (articulation) in the building facade;						
• Providing a porch, patio, deck, or covered entry for each interval;						
Providing a bay window or balcony for each interval, while						
balancing the significant potential for heat loss through thermal						
bridge connections which could impact energy performance;						
Changing the roof line by alternating dormers, stepped roofs,						
gables, or other roof elements to reinforce the modulation or						
articulation interval;						
 Changing the materials with the change in building plane; and Provide a lighting future, trailing trace, or other landscape feature 						
 Provide a lighting fixture, trellis, tree, or other landscape feature within each interval. 						
Break up the building mass by incorporating elements that define a				\checkmark		
building's base, middle and top.						
Use an integrated, consistent range of materials and colors and provide					✓	
variety by, for example, using accent colors.						
Articulate the facade using design elements that are inherent to the				İ	✓	
building as opposed to being decorative. For example, create depth in						
building facades by recessing window frames or partially recessing						
balconies to allow shadows to add detail and variety as a byproduct of						
massing.						

RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE	N/A	1	2	3	4	5
(1 is least complying & 5 is highly complying)						
Incorporate distinct architectural treatments for corner sites and highly					\checkmark	
visible buildings such as varying the roofline (See Figure 41), articulating						
the facade, adding pedestrian space, increasing the number and size of						
windows, and adding awnings and canopies.						
Weather Protection		•	•	•	•	
Provide weather protection (e.g. awnings, canopies, overhangs, etc.)				\checkmark		
along all commercial streets and plazas (<i>See Figure 42</i>), with particular						
attention to the following locations:						
Primary building entrances,						
• Adjacent to bus zones and street corners where people wait for						
traffic lights;						
Over store fronts and display windows; and						
• Any other areas where significant waiting or browsing by people						
occurs.						
Architecturally-integrate awnings, canopies, and overhangs to the				\checkmark		
building and incorporate architectural design features of buildings from						
which they are supported.						
Place and locate awnings and canopies to reflect the building's				✓		
architecture and fenestration pattern.						
Place awnings and canopies to balance weather protection with daylight				\checkmark		
penetration. Avoid continuous opaque canopies that run the full length						

Applicant Name & Consultant List





DILWORTH CENTRE

#2339 HIGHWAY 97N KELOWNA, BC V1X 4H9





ARCHITECTS (CANADA) INC. 700 - 1285 West Pender Street Vancouver BC V6E 4B1 Canada tel 604 683 8797 fax 604 683 0492 ibigroup.com

Peterson

TRS RESPONSE PACKAGE - FEBRUARY 2, 2022

Project No: 133304

Design Rationale - Phase 1

Peterson Group developments has submitted to the City of Kelowna a Master Plan of Development (MDP) application for the approximately 1.9 ha western portion of the "Dilworth Centre" site at 2339 Highway 97. The larger MDP proposes four six-storey buildings built over two phases of construction.

The Dilworth Centre re-development is envisioned as a vibrant, complete, mixed-use community in Midtown Kelowna. Improvements to the streetscape, landscape, block structure and public amenities, as well as the introduction of new building forms to the area, will enhance this location as a convenient, desirable, beautiful place to live, work, shop, and play.

Together, both phases will provide a total of 490 residential units in townhouse and apartment forms, ranging from studio to three bedrooms. 15,000 sq. ft. of retail, and an additional 8,000 sq. ft. of indoor amenity space.



Location Plan

IBI Group is please to submit on behalf of Peterson Group this Development Permit Application for Phase 1 of the larger Dilworth MDP. The intent of this DP is to permit the redeveloment Phase 1 from a low density strip-mall retail corridor into a mixed use block with anchor commercial uses, ground-oriented townhouses and residential housing on levels two through six.

The Phase 1 site plan includes an extensively landscaped ground plane with a mixture of private amenities, public and semi-public spaces. The form of development along Harvey Avenue includes a large building setback and amenity deck to keep the road animated while providing a substantial buffer between the residential units and the road. A feature architectural corner and anchor retail at the existing entryway marks the re-imagined entry into the Dilworth Mall site. The architecture of Phase 1 includes both large scale moves and fine grain details to create interest for vehicle and pedestrian traffic.







Entry point of the site



LIENT

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Design Rationale

Density

The C4 zone permits a baseline mixed use density of 1.3 FAR. An additional 0.2 FAR density bonus is available for projects where parking is provided beneath habitable space. Residential parking for both phases of the Dilworth Mall Redevelopment is proposed entirely below grade to maximize private open space at grade. The proposed project provides for 1.7 FAR across both phases.

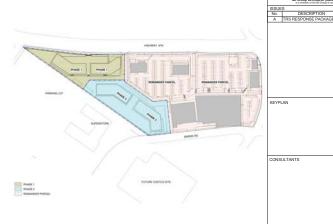
Phasing Plan

Phase 1 includes buildings 1A and 1B, the new internal street, and the revitalization and extension of the existing internal street 1 into a residential feeling street lined with trees and boulevards. The new internal street running East to West will be built in phase 1 and provide access to underground parking for both phases. Approximately 5,000 sq. ft. of indoor amenity space is included in Phase 1, as well as the northern retail anchor space and adjacent public plaza. The public green space at the end of the new internal road is also in this phase.

The private internal street is lined with townhouse stoops and lobby entries to maintain an active street realm. These uses signal the transition to a more residential focus. The scale, frontage, and setbacks of the new buildings along with the boulevard treatment of the streets will indicate to drivers that pedestrians and cyclists are prioritized in this area, and to reduce their speed as they come of from the highway onto a multi-modal shared street.

Internal road circulation will be kept flowing as long as possible during construction, with only necessary closures to the western entrance to Dilworth Centre. The public green space at the end of the new internal road is also in this phase.

Phase 2 will include the new proposed connection through to Baron Road as well as the public plaza at this intersection. of the existing internal road. Phase two will deliver approximately 3,000 sq.ft. of indoor amenity space and a further 10,000sq.ft. of retail at Baron Road.



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152

DESIGN RATIONALE

DILWORTH CENTRE #2339 HIGHWAY 97N KELOWNA, BC V1X 4H9

IBI

HEET NUMBER

Design Rationale

Urban Design

The Dilworth Centre Redevelopment Phases 1 and 2 proposes a robust urban design strategy to respond to the City of Kelowna's Urban Design DP Guidelines, and improve safety and experience for all users on the site. The two key elements that will improve the public realm are the redesign of the circulation network including road and walkways, and the introduction of public and semi-public open space amenities.

The new road and pedestrian connection plan, parking strategy, public realm and greening strategy, land use mix and urban form. As this site will see a major transformation from a suburban-style low rise commercial "strip-mall" lot into a compact, human-scaled, mixed use neighbourhood.



Circulation Plans



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Street Parting
Programming Writish Cetablese
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Reary Foreigne
Vehicle Access Partel
Vehicle Access Partel

A0.01C- PH1

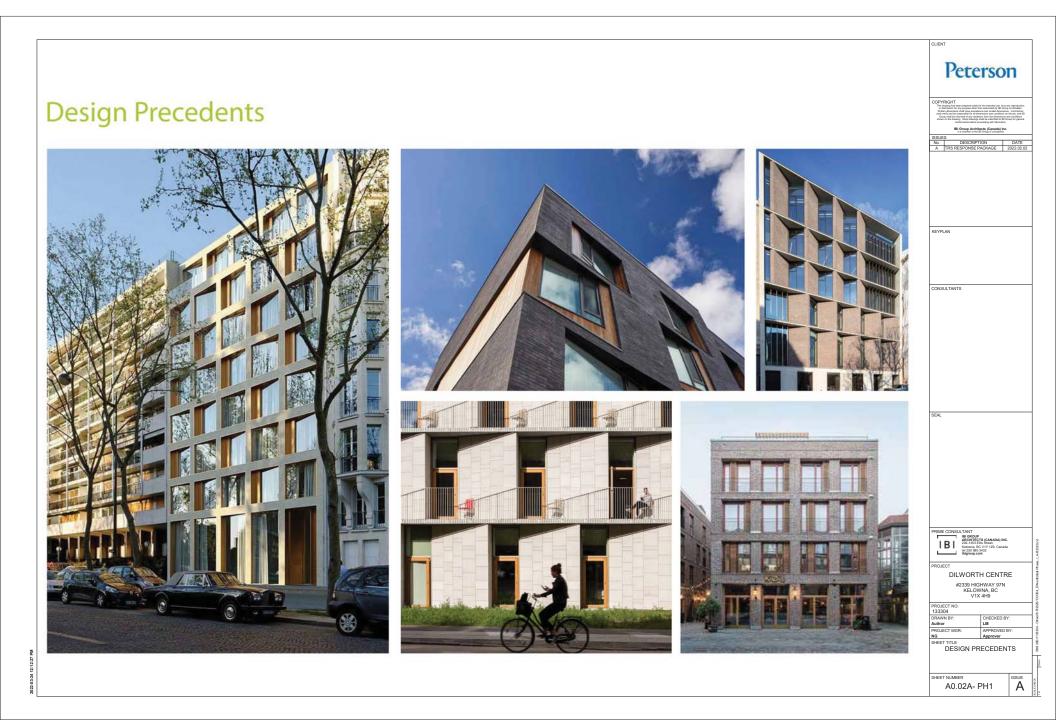
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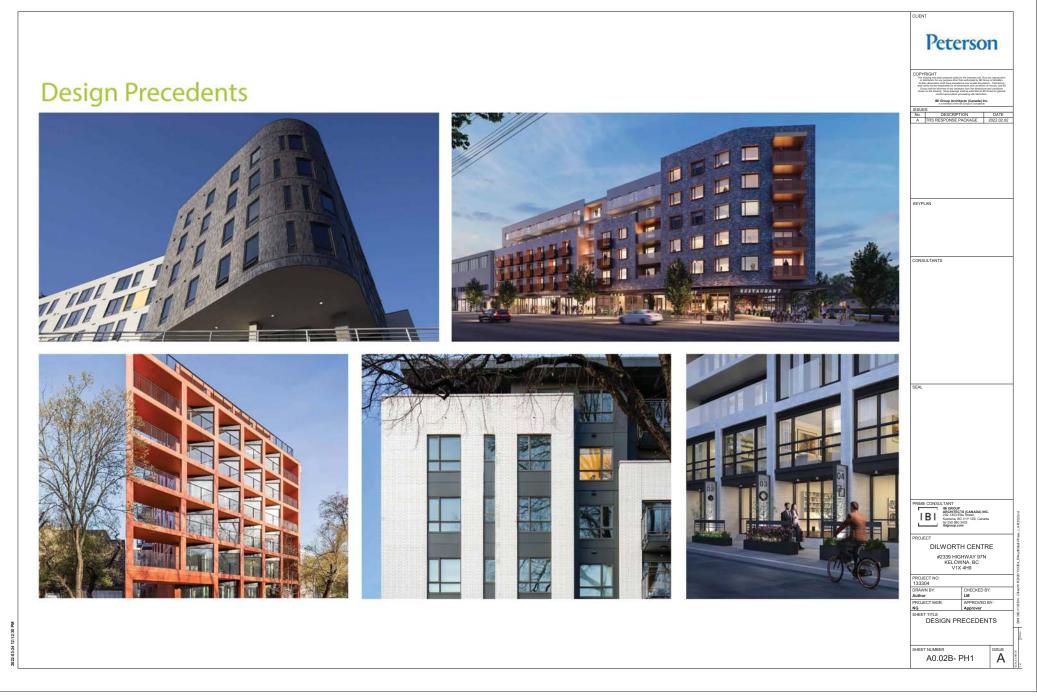
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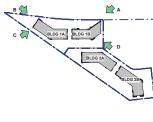


VIEW A





VIEW D



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KEYPLAN

CONSULTANTS

IBI

PROJECT

PROJECT N 133304 DRAWN BY Author

SHEET NUMBER

A5.01A- PH1





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A

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Applicant Name & Consultant List

OWNER:

Peterson

PLANNER & ARCHITECT:



LANDSCAPE ARCHITECT:

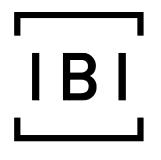












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DILWORTH CENTRE

#2339 HIGHWAY 97N KELOWNA, BC V1X 4H9

	Sheet List- PHASE 2- DP
07.1 Developm	ent Permit
A0.01A- PH2	DESIGN RATIONALE
A0.01B- PH2	DESIGN RATIONALE
A0.01C- PH 2	DESIGN RATIONALE
A0.02A- PH2	DESIGN PRECEDENTS
A0.02B- PH2	DESIGN PRECEDENTS
A0.03	LOCATION PLAN
A0.04- PH2	SURROUNDING LANDUSE
A0.05	SITE PHOTOS
A0.06	SITE SURVEY PLAN
A0.07	EXISTING SITE PLAN
A0.08	SUBJECT PROPERTY
A0.09	CONTEXT PLAN
A0.10	PHASING PLAN
A0.11	OVERALL LANDSCAPE PLAN
A0.12	OVERALL SITE PLAN
A1.01- PH2	STATISTICS- 2A & 2B
A1.02- PH2	SITE PLAN- 2A & 2B
A1.02B - PH2	DP COMPARISON - PHASE 2
A1.03- PH2	SITE COVERAGE DIAGRAM- 2A & 2B
A1.04- PH2	BUILDING GRADE PLAN- 2A & 2B
A1.05a- PH2	PARKADE P1- 2A & 2B
A1.05b- PH2	WASTE MANAGEMENT & BIKE RACK SPECIFICATIONS
A1.06- PH2	OVERALL LEVEL 1- 2A & 2B
A1.07- PH2	LEVEL 02-05- TYPICAL FLOOR PLAN - 2A & 2B
A1.08- PH2	LEVEL 06 FLOOR PLAN -2A & 2B
A1.09- PH2	ROOF PLAN- 2A & 2B
A2.01- PH2	ENLARGED PLAN - 2A- LEVEL 01
A2.02- PH2	ENLARGED PLAN- 2A- LEVEL 02-05
A2.03- PH2	ENLARGED PLAN - 2A- LEVEL 06
A2.04- PH2	ENLARGED PLAN - 2B- LEVEL 01
A2.05- PH2	ENLARGED PLAN- 2B- LEVEL 02-05
A2.06- PH2	ENLARGED PLAN - 2B- LEVEL 06
A3.01- PH2	MATERIAL PALETTE
A3.02 - PH2	BUILDING ELEVATIONS- 2A
A3.03 - PH2	BUILDING ELEVATIONS- 2B
A4.01- PH2	PARKADE SECTIONS
A4.02- PH2	BUILDING SECTION- 2A
A4.03- PH2	BUILDING SECTION - 2A
A4.04- PH2	BUILDING SECTIONS- 2B
A4.05- PH2	BUILDING SECTION- 2B
A5.01- PH2	3D MASSING SKETCH- 2A & 2B
A6.01- PH2	PRIVATE OPEN SPACE- 2A & 2B- GROUND FLOOR
A6.02- PH2	PRIVATE OPEN SPACE- 2A & 2B- LEVEL 02-05
A6.03- PH2	PRIVATE OPEN SPACE- 2A & 2B- LEVEL 06

Project No: 133304



Design Rationale - Phase 2

Peterson Group developments has submitted to the City of Kelowna a Master Plan of Development (MDP) application for the approximately 1.9 ha western portion of the "Dilworth Centre" site at 2339 Highway 97. The larger MDP proposes four six-storey buildings built over two phases of construction.

The Dilworth Centre re-development is envisioned as a vibrant, complete, mixed-use community in Midtown Kelowna. Improvements to the streetscape, landscape, block structure and public amenities, as well as the introduction of new building forms to the area, will enhance this location as a convenient, desirable, beautiful place to live, work, shop, and play.

Together, both phases will provide a total of 490 residential units in townhouse and apartment forms, ranging from studio to three bedrooms. 15,000 sq. ft. of retail, and an additional 8,000 sq. ft. of indoor amenity space.



Location Plan

IBI Group is please to submit on behalf of Peterson Group this Development Permit Application for Phase 2 of the Dilworth Mall MDP. The intent of this DP is to permit the redeveloment Phase 2, transforming a low density strip-mall retail corridor into a mixed use block with anchor commercial uses, groundoriented townhouses and residential housing on levels two thorugh six.

Phase 2 includes an extensively landscaped ground plane with a mixture of private amenities, public and semi-public spaces. The internal streets are lined with townouse stoops and lobby entries to maintain an active street realm. The scale, frontage, and setbacks of the new building indicate to drivers that pedestrians and cyclists are prioritized in this area, and to reduce their speed as they come of from the highway onto a multi-modal shared street with residences above.



Western Elevation of Phase 2

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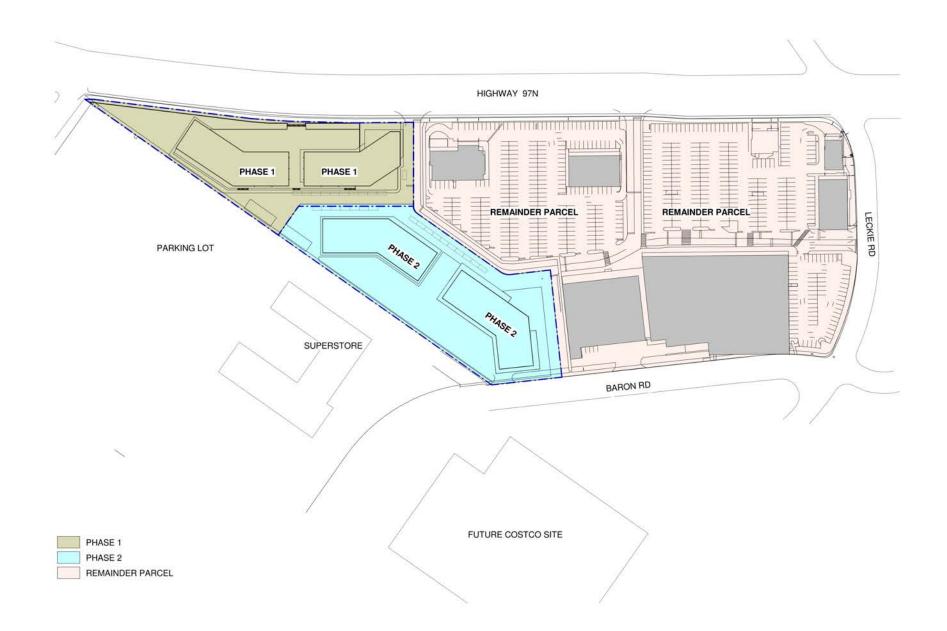
Design Rationale

Density

The C4 zone permits a baseline mixed use density of 1.3 FAR. An additional 0.2 FAR density bonus is available for projects where parking is provied beneath habitable space. Residential parking for both phases of the Dilworth Mall Redevelopment is proposed entirely below grade to maximize private open space at grade. The proposed project proposed 1.7 FAR across both phases.

Phasing Plan

Phase 2 includes buildings 2a and 2b, the revitalization of the existing internal street and a new vehicle and pedestrian connection to Baron Road. Approximately 3,000 sq. ft. of indoor amenity space is included in Phase 2, a south-west retail anchor space and adjacent public plaza. The anchor retail in Phase 2 provides a 100% commercial frontage along Baron Road.







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PROJECT DILWORTH CENTRE #2339 HIGHWAY 97N KELOWNA, BC V1X 4H9
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VIEW A



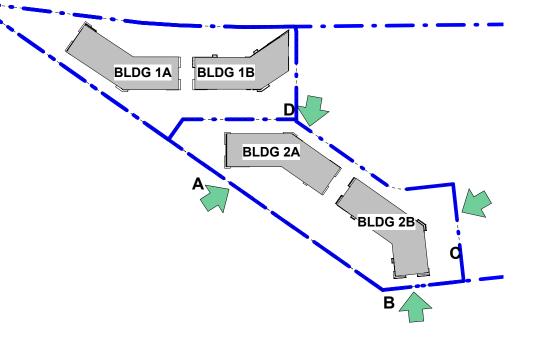
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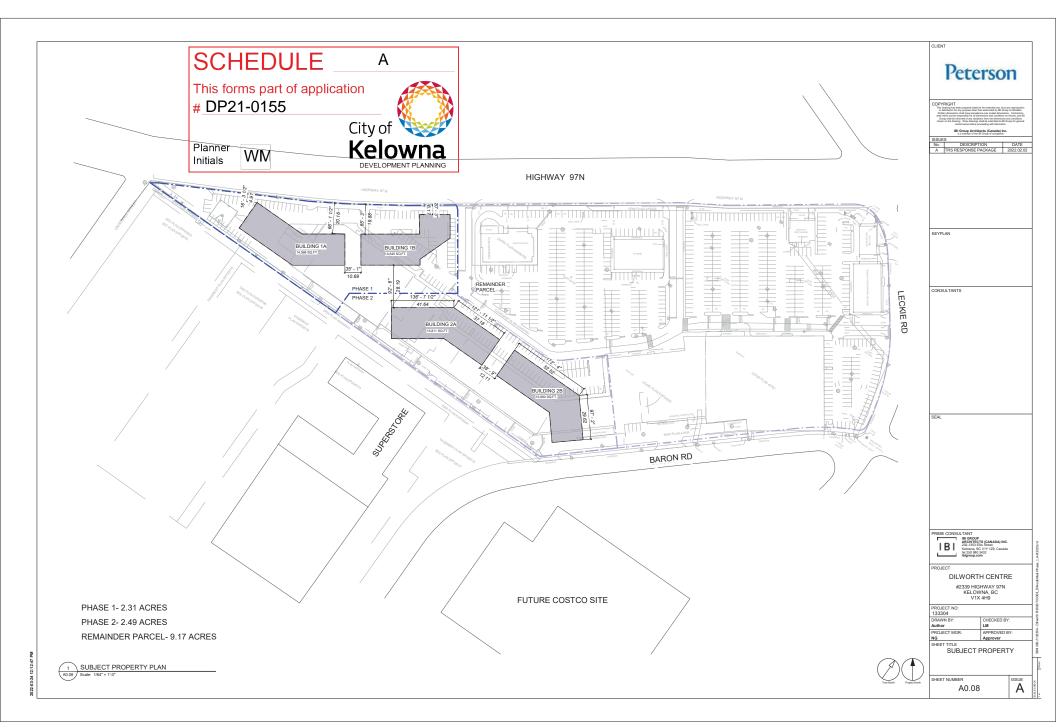
VIEW B



VIEW D



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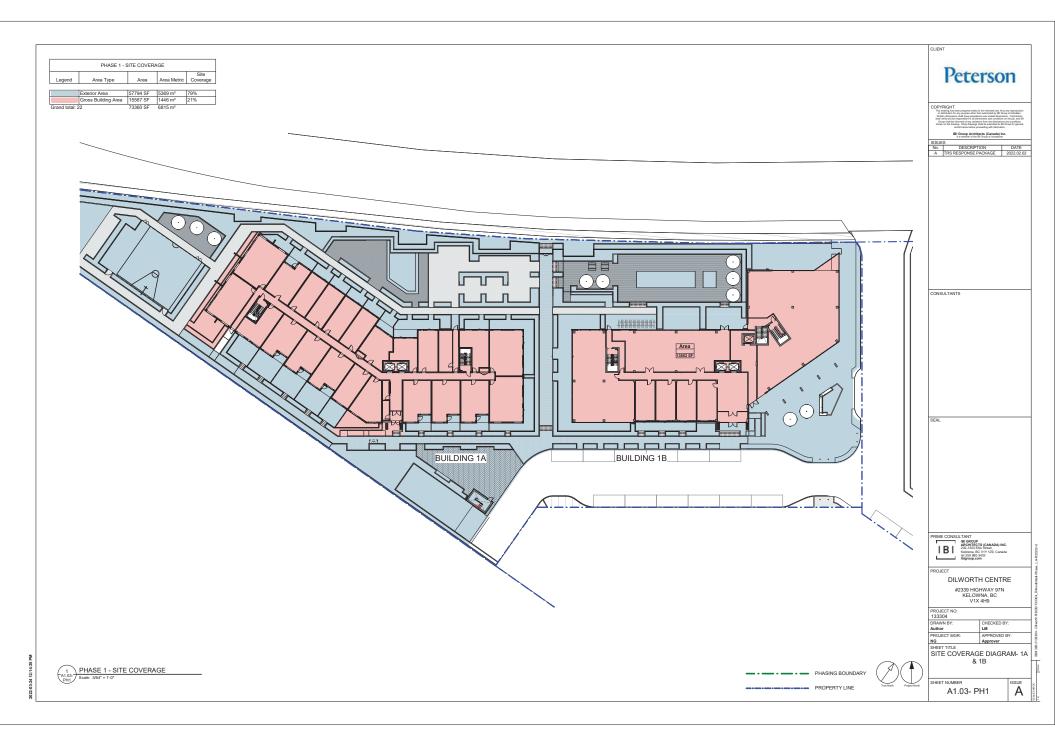


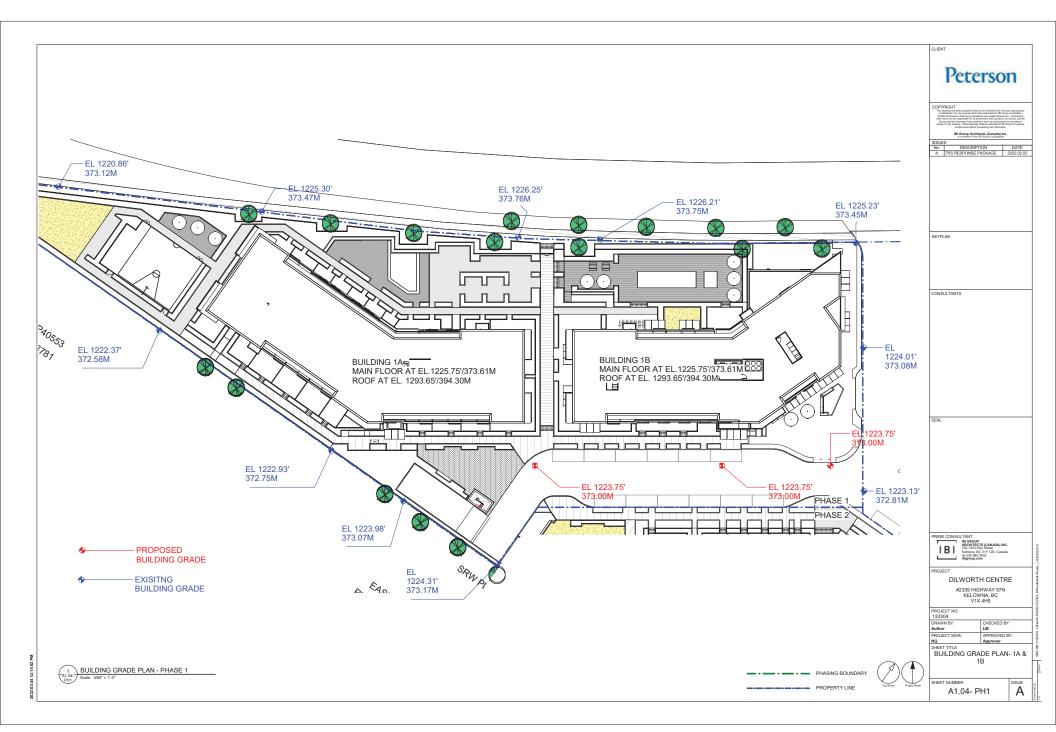


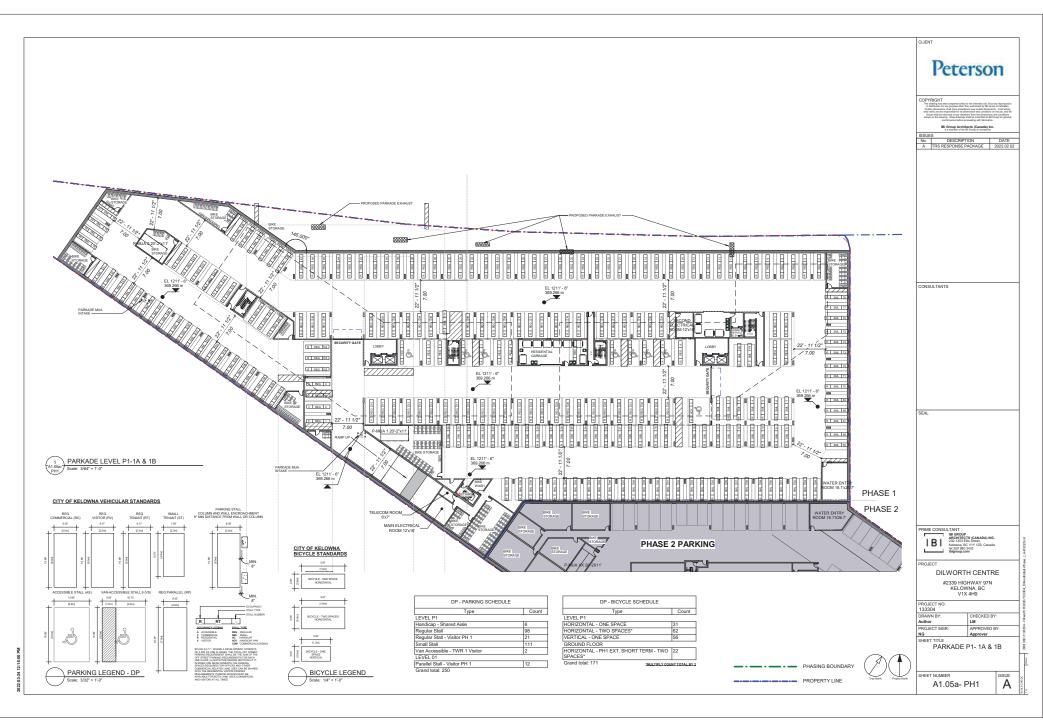
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PARKING REQUIRED Type of Unit & of Units Req'd Parking 5tudio 87 70 1 84d 90 81 2 8ed 56 56 3 8ed 5 5	Studio Min. 0.8 Max. 1.25 per unit 1 Bed Min. 0.9 Max. 1.325 per unit 2 Bed Min. Max. 1.5 per unit 3 Bed Min. 1.1 Max. 1.5 per unit Vistor 0.14 per unit Commercial 1.3 per 100 sam. Accessible For 201-300 Paring Stalls - 6 Van Accessible	STE DEPTH MAX SITE COVERAGE OF BUILDING (%) DEVELOPMENT REGULATIONS TOTAL NUMBER & TYPES OF UNITS FLOOR AREA (GROSS/NET) FLOOR AREA RATIO (FAR) BUILDING HEIGHT (STORIES/METERS) BUILDING SETBACK SETBACKS TO PARKING	30.0 M 58.9 M 75% 30% N/A 223 N/A 1.64 1.7 1.47 18M/6 STOREY 17.68 M 0.0 M 0.0M 0.0 M 0.0 M	SEAL
PARKING PROVIDED Type of Unit of Units Parking Provided Res Total 2.28 209 Comm-Vis-Below Grade Parking 21 21 Comm-Vis-Below Grade Parking 12 2 Comm-Vis-Street Parking 12 6 Van Accessible 6 2 Total 250 2	PERCALCULATIONS - GROUND FLOOR FER CALCULATIONS - GROUND FLOOR	DRIVE AISLE WIDTH NUMBER OF BICYLCE PARKING SPACES PRIVATE OPEN SPACE AREA (SQUARE METRES)	7.0 M 7.0 M 211 212 2298 7515	
EVELS PHASE 1 Small Regular (ResvV)C() Accessible Van Accessible P1 111 230 2 Total 230 2 3% See Parking 44% 52% 2% 3% BRE PARKING Ensidential Commercial 2% 1%	TYPE GEOGRA AREA (50/7) EXCUSION File AREA (56/7) (50/04 Area doublearment) INFORM -0.2 / 2 / 2 / 1 / 1 / 1 / 1 / 1 / 1 / 1 /	HEIGONGA 120 HEIGONGA 120 <td></td> <td>PRIME CONSULTANT III GOOD IIII ACCITETRI DAVIA Machine Re VITO C. Grada Machine Re VITO C. G</td>		PRIME CONSULTANT III GOOD IIII ACCITETRI DAVIA Machine Re VITO C. Grada Machine Re VITO C. G
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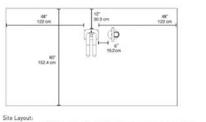






Public Work Stand

Recommended Setbacks





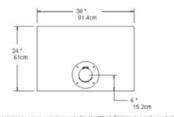
- · Minimum of 12" from back of Public Work Stand to wall
- · Minimum of 6" between Public Work Stand and Pump
- Minimum of 60" from perpendicular street
- Minimum of 96" from parallel street

Bike Wash Station

Recommended Setbacks

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ENH

The minimum space requirements for the Wash Station depend on whether there is a Wheel Chock, Public Work Stand, or Deluxe Public Work Stand installed.

Product Specifications

- Includes vandal-resistant hose and nozzle with stainless steel fittings HVLC [High Velocity Low Consumption] nozzle optimized for strong cleaning power without damaging bicycle bearings while also minimizing water usage
- Vandal-proof auto shut off water valve prevents wasted water Cleaning brushes attached by braided stainless steel cable to prevent theft

Product Specifications

aircraft cable

smart phone Installation hardware included

bike to the station ADA-compliant design

Universal bike mounting - hang by seat or top tube Nine common bicycle tools tethered by stainless steel

Unique I-beam design eliminates possibility of locking a

QR code link to maintenance instructions for viewing from

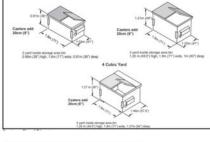
- Requires municipal water and sanitary drain or dry well hookup [check local codes] System is compliant with ADA, EPA, and Public Law 111-380 [No Lead] requirements

TYPICAL COLLECTION TRUCK D	IMENSIONS (APPROX.)
LENGTH	• 10.0 M - 12.4 M
WIDTH	• 3.2 M
MIN. INSIDE TURNING RADIUS	• 10 M
MIN. OUTSIDE TURNING RADIUS	• 12.8 M
HEIGHT CLEARANCE	• 6.5 M - 7.5 M
WIDTH CLEARANCE	• 4.0 M
LENGTH CLEARANCE	• 15.2 M

WASTE ROOM DESIGN	
CONCRETE PAD	ABLE TO WITHSTAND 28,00 KG COLLECTION VEHICLE
DRAINAGE	DRAIN TO SANITARY SEWER, OIL SEPARATOR REQUIRED
DOOR	OOUBLE DOORS WITH A MIN. 2M OPENING CAN BE PROPPED OR LOCKED OPEN WITH A BUMPER GUARD ON THE INSIDE FACING THE DOOR
ELECTRICITY	POWER SHALL BE PROVIDED FOR EQUIPMENT INSIDE THE AMENITY
LIGHTING	ADEQUATE LIGHTING AROUND AND INSIDE AMENIT AS REQ. BY KELOWNA BY-LAW
HOSE BIB	AT LEAST ONE (1) HOSE CONNECTION FOR CLEANING THE AREA
VENTILATION	RELEASE ODOUR/STALE AIR

GENERAL NOTES - WASTE MANAGEMENT

- 1. THE ARCHITECT IS NOT RESPONSIBLE FOR INFORMATION CONCERNING THE SITE AND SURVEY INFORMATION PREPARED BY OTHERS.
- THE CONTRACTOR SHALL SITE VERIFY THE SURVEY INFORMATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO REPORT ANY DISCREPANCIES SHALL CONSTITUTE ACCEPTANCE OF THE SITE CONDITIONS.
- 3. THE CONTRACT DOCUMENTS PREPARED BY THE ARCHITECT ARE THE ARCHITECTS COPYRIGHT PROPERTY AND SHALL BE RETURNED TO THE ARCHITECT UPON REQUEST. REPRODUCTION OF CONTRACT DOCUMENTS NO WHOLE OR IN PART IS FORBIDDEN WITHOUT THE ARCHITECTS WRITTEN PERMISSION.
- 4. SCOPE OF WORK SHALL NOT BE LIMITED TO THAT SHOWN ON THE DRAWINGS AND SHALL INCLUDE WORK REQUIRED TO ELIMINATE ALL EXISTING, ABANDONED OR REDUNDANT COMPONENTS, AND TO FACILITATE PROPER EXECUTION OF THE WORK.
- PER WASTE MANAGEMENT RECOMMENDATIONS, EACH RESIDENTIAL BUILDING SHOULD CONSIST OF (2) 4-YARO COMMOLED RECYCLING BINS AND (2) 4-YARO GARBIAGE BINS EACH OF THESE WILL BE SERVICED 2X PER WEERK REFER TO BIN DIAGRAM ON SHEET FOR DIMENSIONS.
 A. PROVISION ADDITIONAL BIG GALLON YOTES FOR FUTURE RECYCLING NEEDS.
- PER WASTE MANAGEMENT RECOMMENDATIONS, EACH COMMERCIAL WASTE ROOM SHOULD CONSIST OF (2) 4-YARD CO-MINGLED RECYCLING BINS AND (2) 4-YARD GARBAGE BINS, EACH OF THESE WILL BE SERVICED 1X PER WEEK. REFER TO BIN DIAGRAM ON SHEET FOR DIMENSIONS.





Peterson

CLIENT

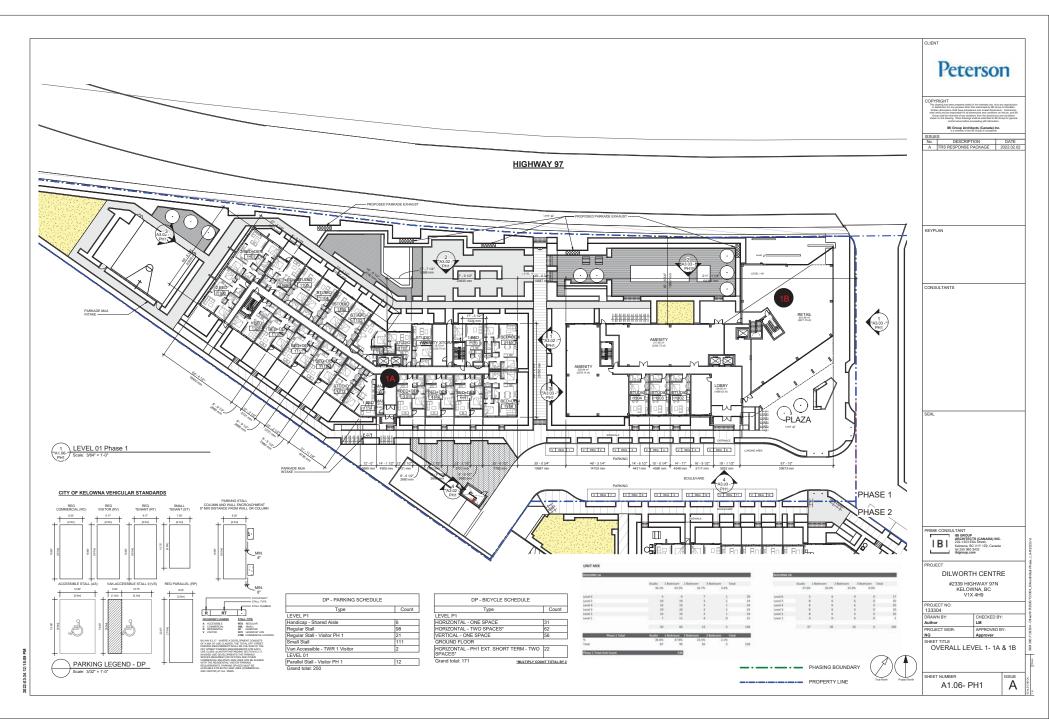


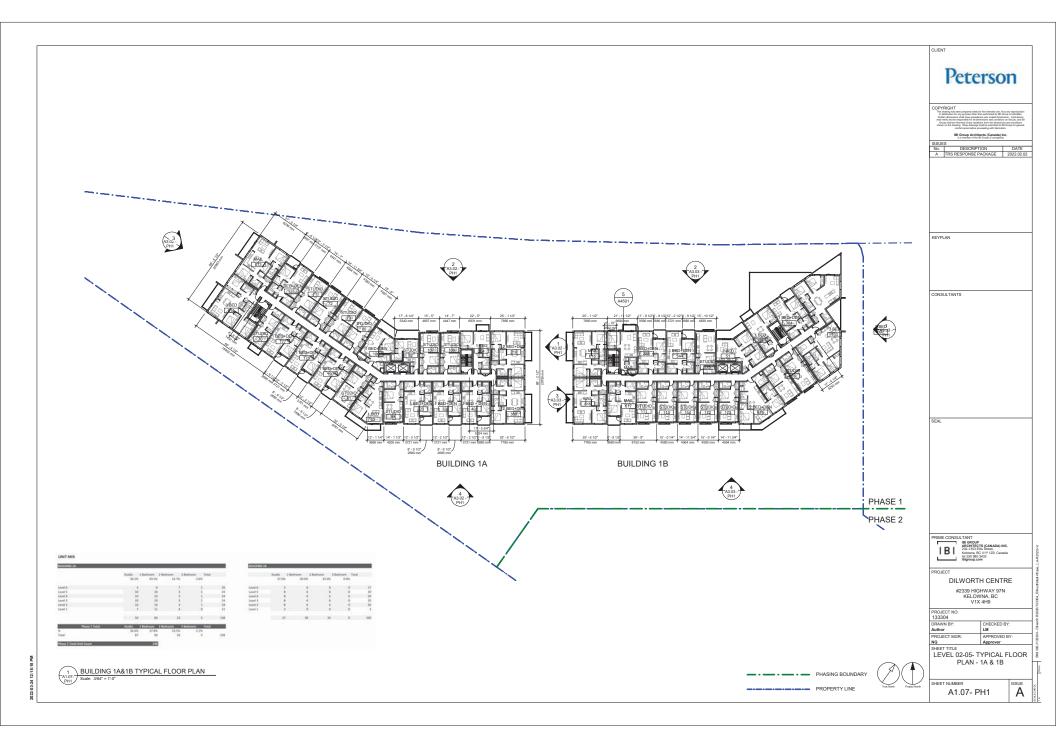
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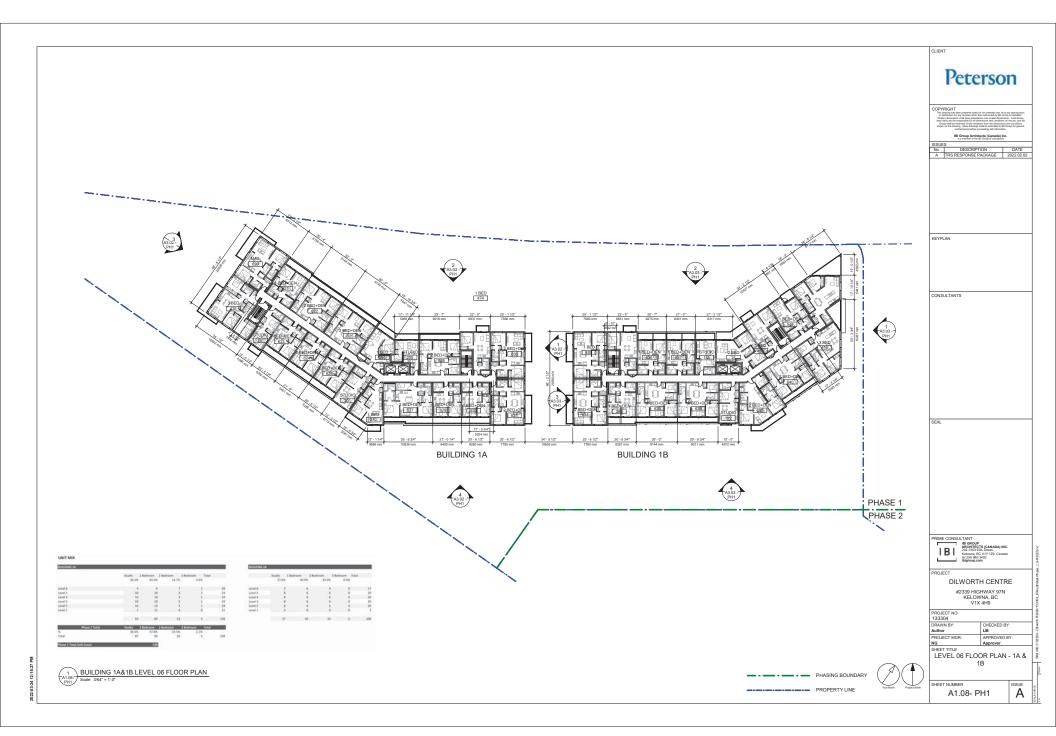
RIME CONSULTAN IBI GROUP ARCHITECTS (CANADA) INC 202-1353 Ellis Street, Kelowna, BC V1Y 129, Canada IBI Kelowna, BC V1 tel 250 980 3432 ibigroup.com eet, 1Z9. Canada DILWORTH CENTRE #2339 HIGHWAY 97N KELOWNA, BC V1X 4H9

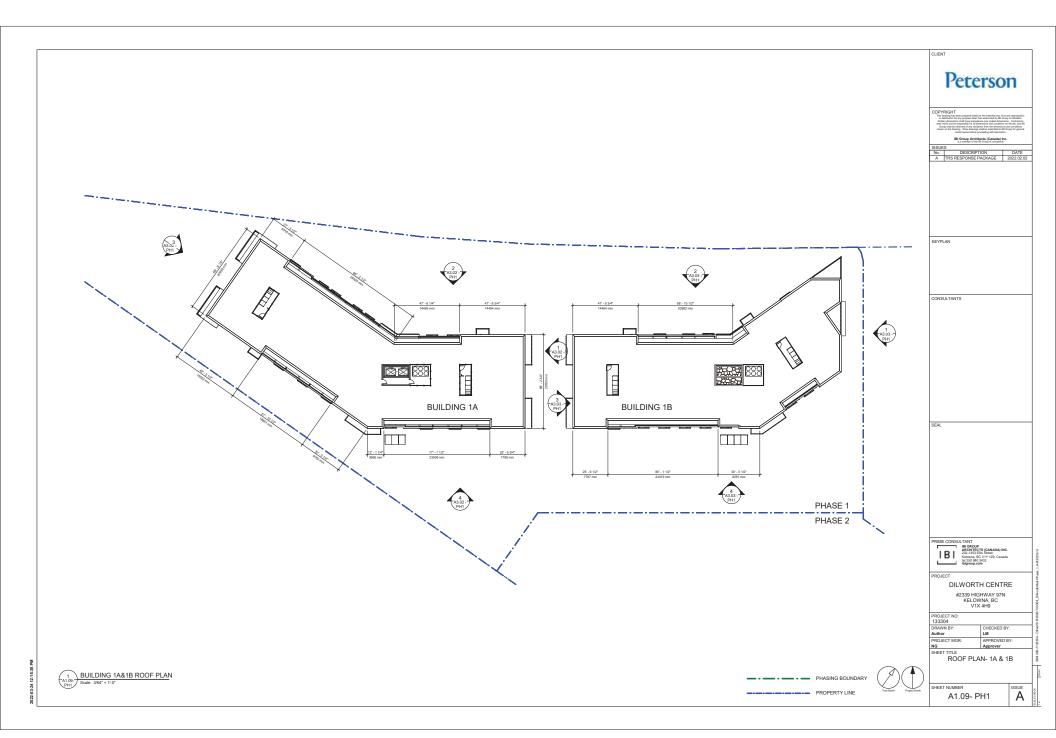
CONSULTANTS







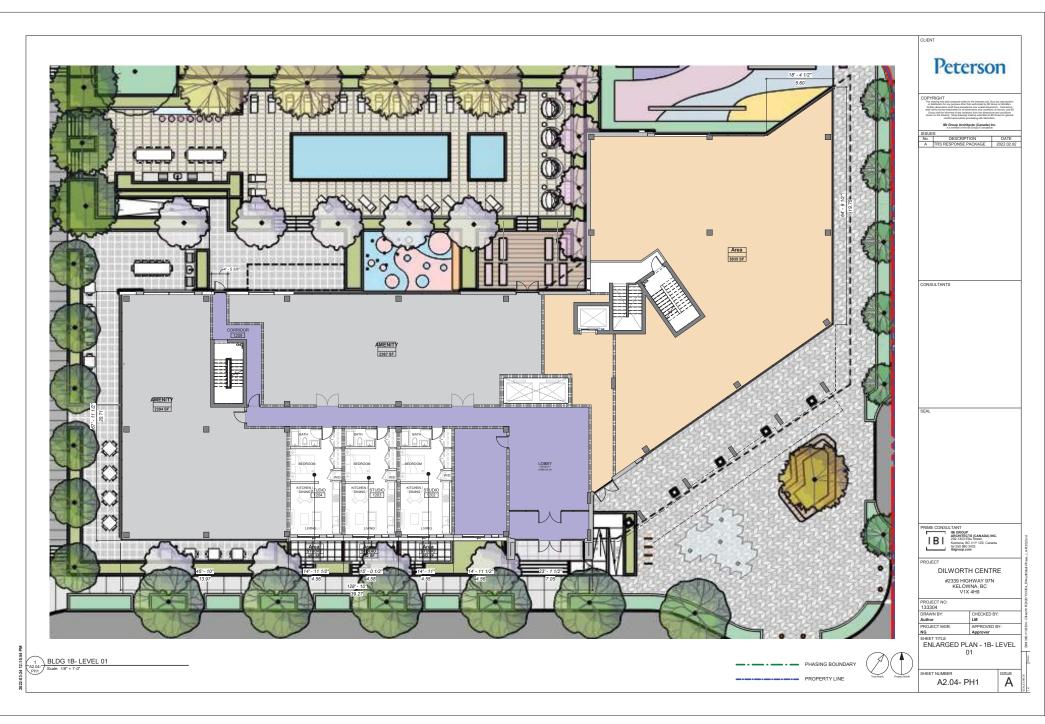






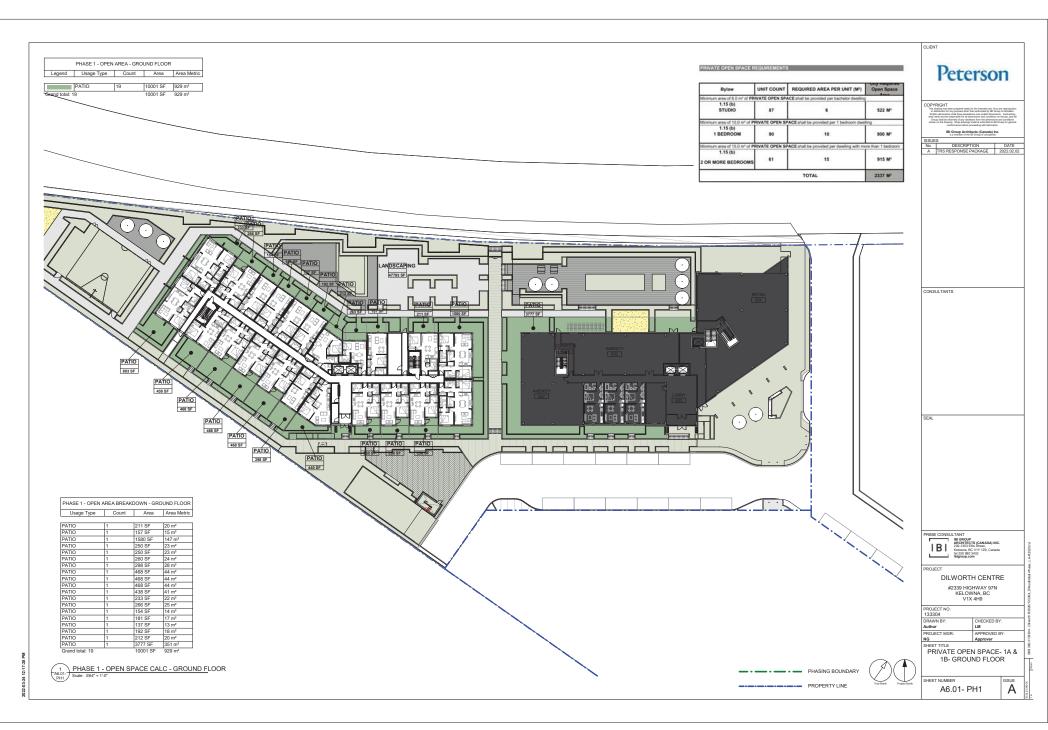


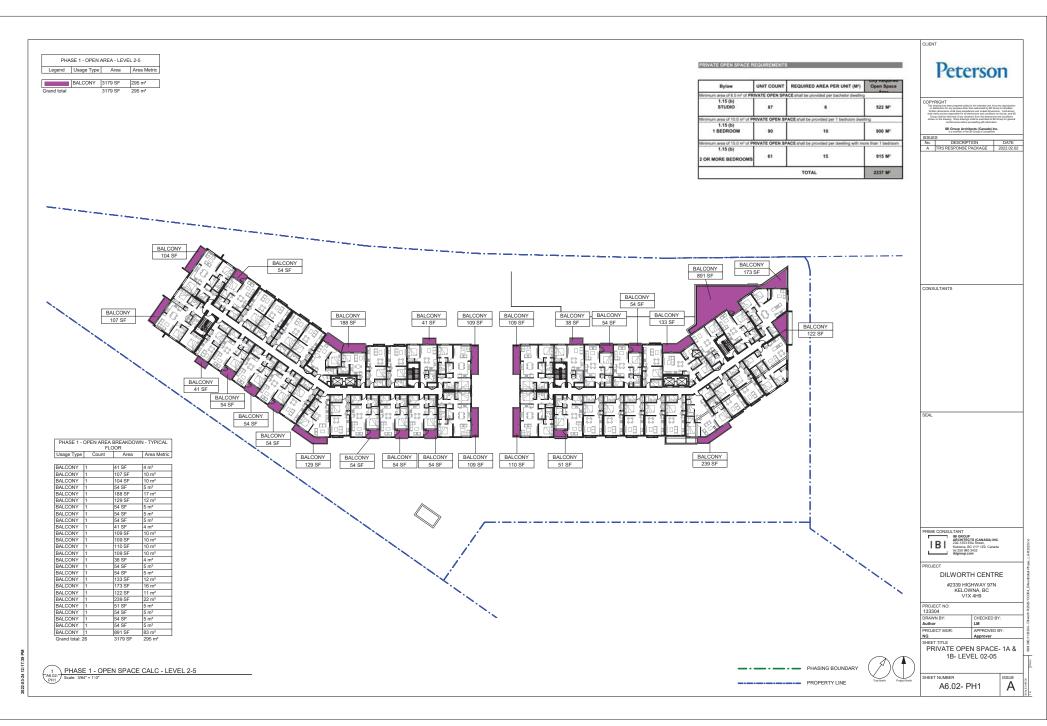


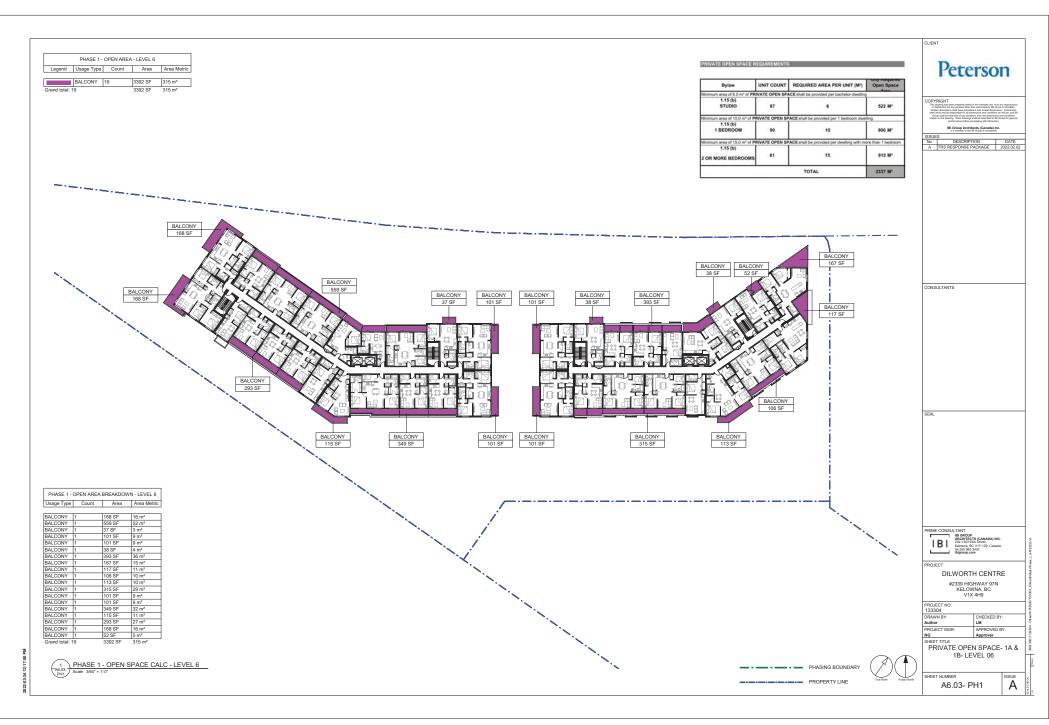


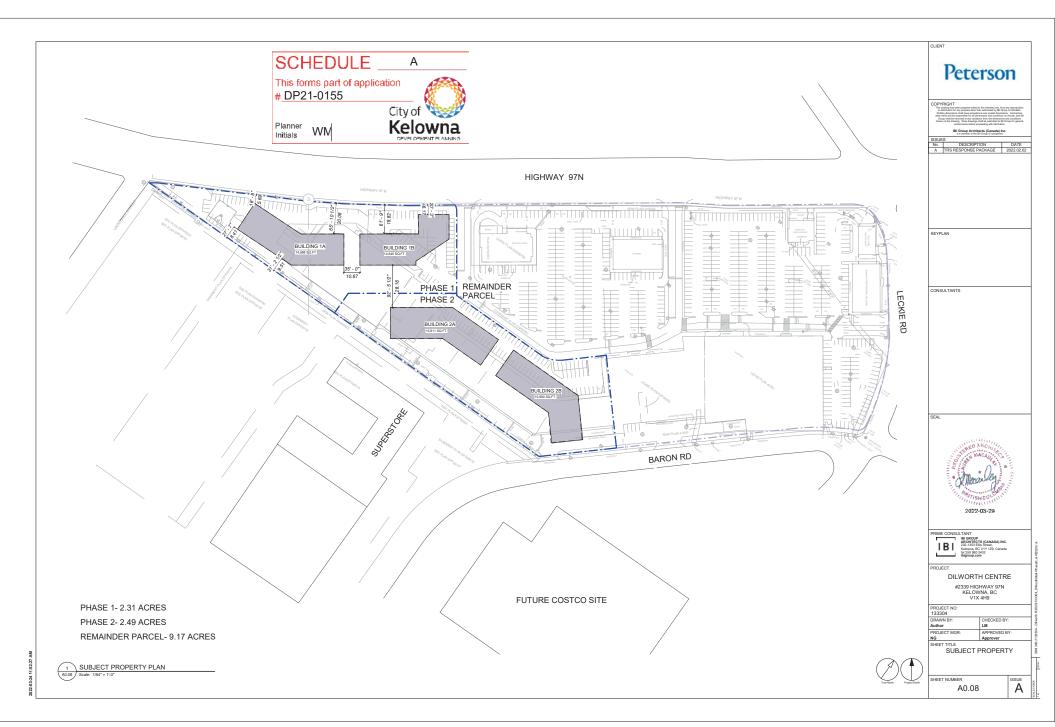












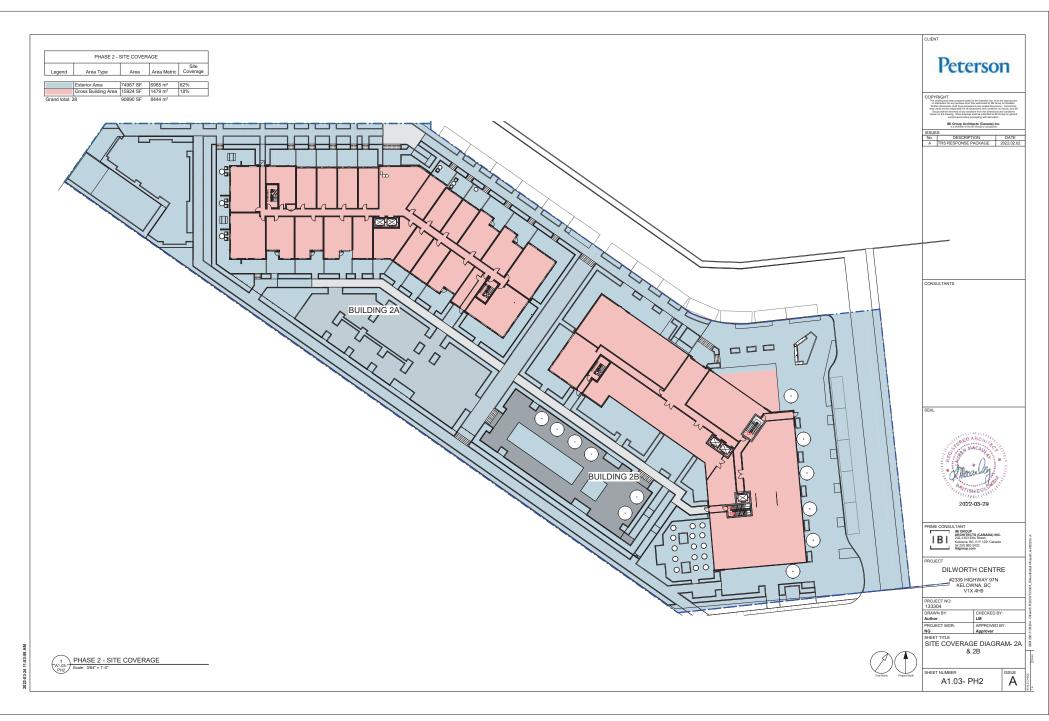


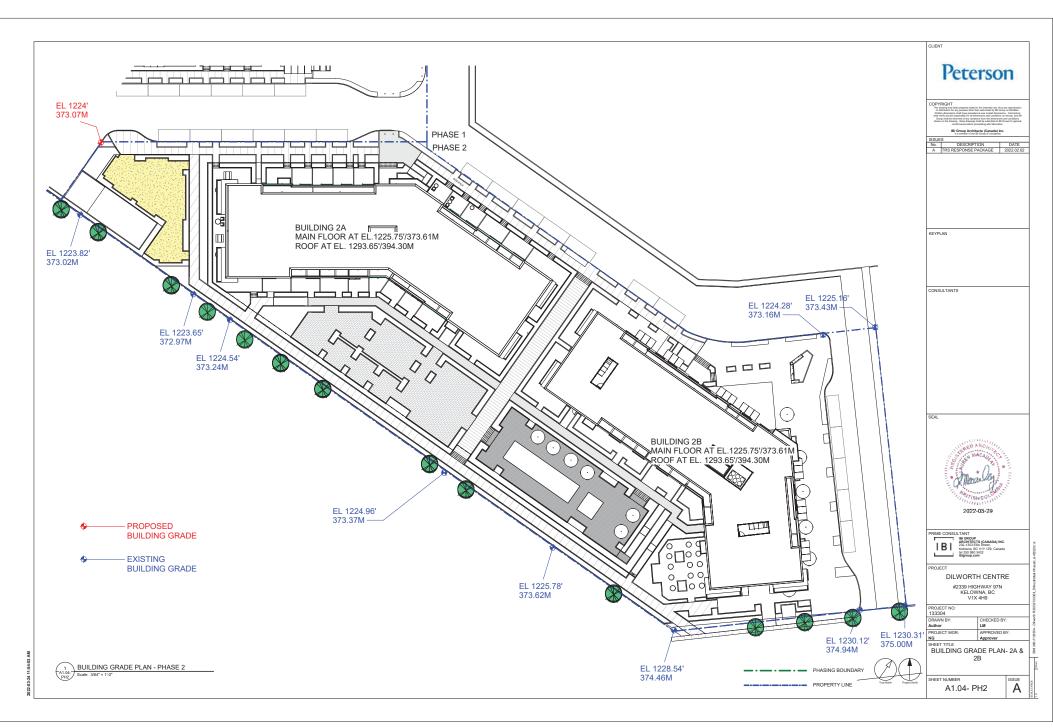


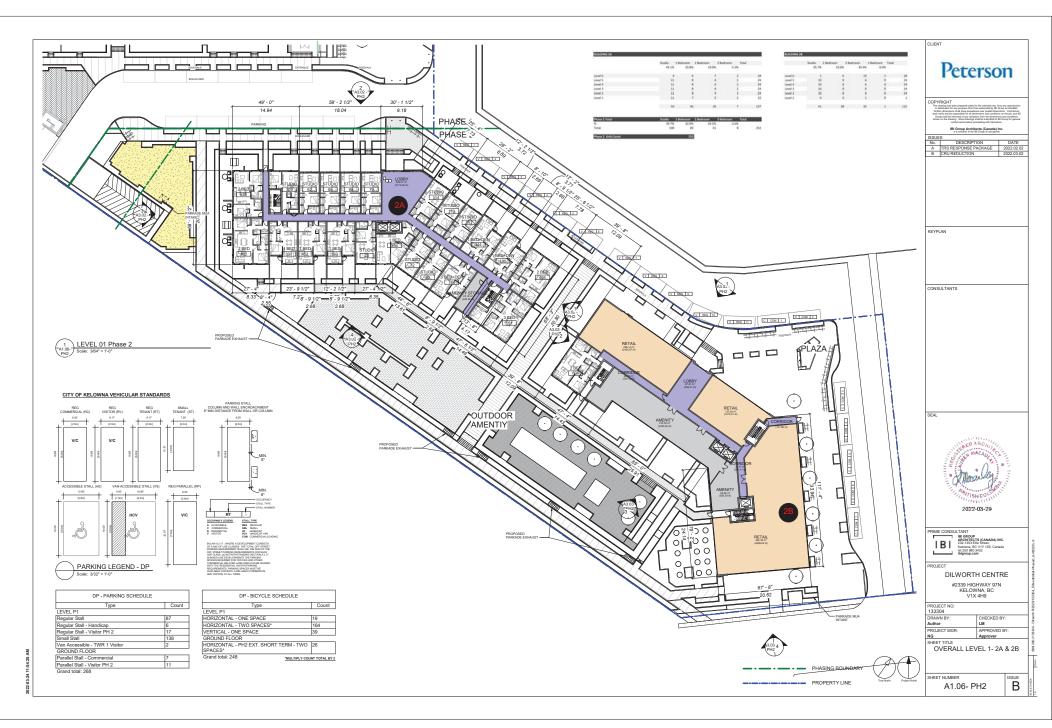


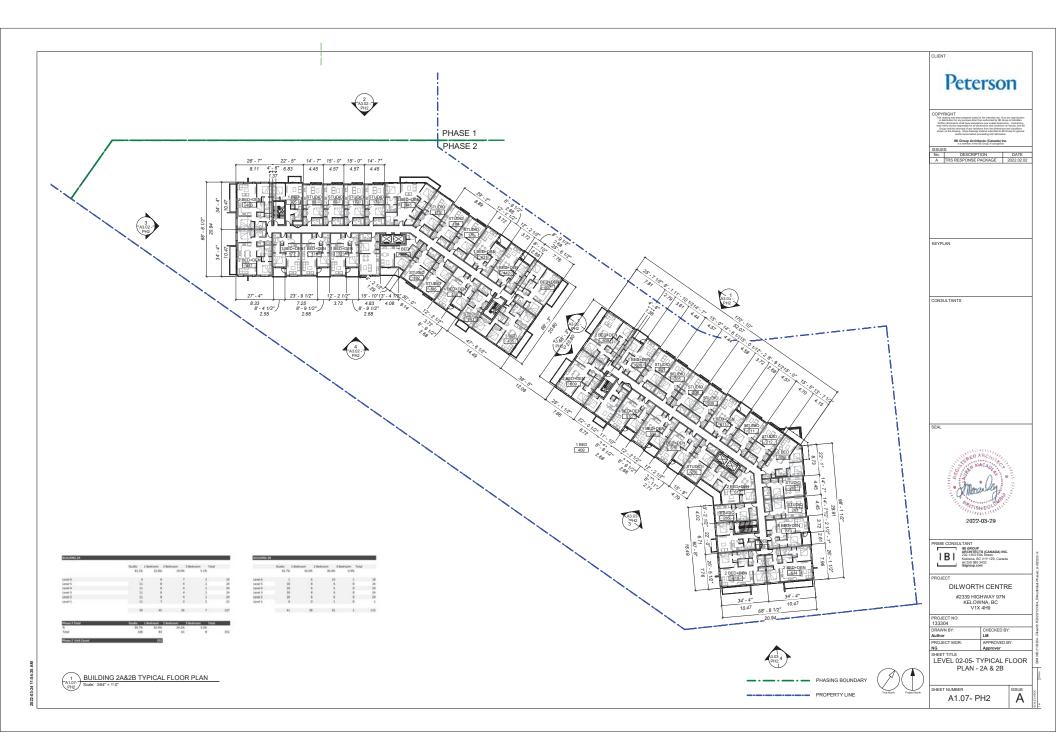
						CLIENT
Ditworth Mall- PHASE 2 C4/ URBAN CENTRE PROPOSED USE Residential & Commercial VITE AREA Metric (Sta Mt) 10.104 108,762						Peterson
FAR AREAS (SP) AREA DETAILS TARGET FAR 1.7 TARGET AREA 17,177 TARGET AREA 17,177 TARGET AREA 17,177 Suburns HDGHT 184,895 MAX BULIONS HDGHT 180/6 STOLEY FAR ACHEVED 15,073 FAR ACHEVED 15,073 FAR ACHEVED 15,073	RESIDENTIAL UNIT COUNT 5q.7t UNIT 5 - Both Phases 184.895 BLDG 2A BLDG 2A 162,342 1337 115 1.48 145 115	TOTAL 252				COPYRCHIT The hose is the regression label of the label
AREA BREAKDOWN BUILDING ZA LEVEL RES AMENTY CIRCULAT	BUILDING 28	AMENITY	CIRCULATION			A TRS RESPONSE PACKAGE 2022.02.02 B CRU REDUCTION 2022.03.02
Livit. Sq.Pt Sq.Pt Sq.Pt Sq.Pt Sq.Pt P1 -<	No. No. Sq. ft Sq. ft Sq. ft Sq. ft Sq. ft 2,832.00 78.50 845.00 870.68 9,372.00 1,610.00 1,310.57 14,107.00 1 1,610.00 1,310.57 14,107.00 1 1,610.00 1,310.57 14,107.00 1 1,610.00 1,310.57 14,107.00 1 1,647.00 1,21.28 13,049.00 1 1,0,839.00 70,322.00 870.68 9,372.00 1,0,839.00 8,647.41 93,085.00 1		Sq. Mt Sq. ft 202.62 2,181.00 152.73 1,644.00 152.73 1,644.00 152.73 1,644.00 152.73 1,644.00 152.73 1,644.00 152.73 1,644.00 152.73 1,644.00 152.73 1,644.00 152.73 1,644.00			KEYPLAN
PURPOSE Phase 2 2Av28 2Av28 RESIDENTIAL 50,Mt 50,Ft CRU 871 9,372 AMENITY 301 3,245			ZONING ANALYSIS - Phase 2	(ALL DIMENSION	S IN METRIC)	
CIRCULATION 1.978 21.291 PARING 9.795 105.411 GROSS FLOOR AREA 186.778 Vers Staebel Persistratia 14.202 152.270 Total Net Saleable (Hers/Comm) 15.073 162.242		SIT SIT SIT	<u>TE DETAILS</u> TE AREA (SQUARE METRES) TE WIDTH TE DEPTH XX SITE COVERAGE OF BUILDING (%)	REQUIRED 460 13.0 M 30.0 M 75%	PROVIDED 10,104 205.2 M 56.2 M 30%	CONSULTANTS
PARADING REQUIRED Type of Units Reg of Parking 35udo 100 400 1 Bec 80 75 2 Bec 61 61 3 Bec 8 8 Res Total 252 224 Visiters 35 "Nefer 8.2.17-to share visitor and commercial	Bytaw Rule for C4 Zoning Studio Min. 0.8 Max. 125 per unit 1 Bed Min. 0.9 Max. 125 per unit 2 Bed Min. 1 Max. 1.5 per unit Chy Requed 3 Bed Witor 0.1 der unit	DE TO FLC FLC	VELOPMENT REGULATIONS TAL NUMBER & TYPES OF UNITS DOR AREA (GROSS/NET) DOR AREA RATIO (FAR)	REQUIRED N/A N/A 1.7	PROVIDED 243 1.67 1.50	
Total 259 Note: Of the 252 Stalls, 6 must be Accessible and 2 Van Accessible 259 PARRING PROVIDED For Outs Type of Unit of Outs Participation Participation Type of Unit of Outs Participation Participation Type of Unit of Outs Participation 252 225 225 Comm vVis-Below Grade Parking 17	Commercial 1.3 per 100 sg.m. Accessible for 201 300 Parking Stalls - 6 Van Accessible for 201 300 Parking Stalls - 2 Spaces	BU SEI DR NU	ILDING HEIGHT (STORIES/METERS) IILDING SETBACK TBACKS TO PARKING IVE AISLE WIDTH IMBER OF BICYLCE PARKING SPACES IVATE OPEN SPACE AREA (SQUARE METRES)	18M/6 STOREY 0.0 M 0.0 M 7.0 M 230 2486	17.68 M 0.0 M 0.0 M 7.0 M 252 8198	SEAL
Comm-Vib-Street Paring 18 Accessible 6 Van Accessible 22 Total 268 PARKING BREAKDOWN	INSING A FSR CALCULATIONS - GROUND FLOOR KTOLT - INMANY	1101/00/001/01	INCOMES FOR CALCULATIONS - GROUND FLOOR STORE 1- DOWNLOP		11841700018841821	NAC4
Small Regular (Res.V/C) Accessible Van Accessible 21 105 25 6 2 Otal 268 2 2 115 Sof Parking 39% 56% 2% 115	THY GROBIANE.30/T1 EX2.0100 F# AME.30/T1 (brack hose Exhamines in the set of the			EA (50.77) (Since Area Exclusion) (0.317 5.78	11 117 619 317 12 107 619 317 13 107 619 127 14 177 619 127 14 177 619 127 15 177 619 177	2022-05-29
INCE PARANNO Residential Commercial Required Long term: 0.75 per 288 and 1 per 288 dwelling unit BONUS Long term: 1 per Bachelor BONUS Long term: or BB, 1 Spe 728, 2 per 388 2 per 500 sq. n of dwelling unit GFA	TYPE GROBAREADG/TI EXCLUSION FREAME_RD/TI (down free deministree) #ESECRIVAL NU170	TYD BALCONY ABLA (97) 0 1993 (16) 0 1993 (16) 0 1993 (16) 0 1995 (KESICKYTAL M4.437 PARKAS CONTACT PARKAS CONTACT C	Ek (IG IT) (Gross Ana Backelon)	TVP BALSONY JANEA (97) 0 0.947 0.949 0.949 0 0.9491 0.949 0.949 0 0.9491 0.949 0.949 0 0.9491 0.949 0.949 0 0.9491 0.949 0.949 0 0.9491 0.949 0.949 0 0.9491 0.949 0.949 0 0.9491 0.949 0.949 0 0.9491 0.949 0.949 0 0.9491 0.949 0.949 0 0.9491 0.949 0.949	PRIME CONSULTANT BL GROUP COUPSE Enter CAMADA INC. COUPSE Enter CAMADA INC. COUPSE Enter CAMADA INC. COUPSE CAMADA INC.
Regulard Solvet Term 5 per retrarce, plus boling with greater than 70 units: 1 space for every additional 5 units greater) greater)	0F2 01/14 6.46.00 87,703 [DPC BALCONF 6.00 6.00 6.00 FSR CALCULATIONS=LEVEL.00 5.00 6.00 5.00 SPEC L1: INDRMAY TYPE GMORE AMER.05.01 FIR AMER.05.01 FIR AMER.05.01	2144 1997 LL PLOOKS 8.464 LLE BALCONY AREA (87) 10 10 10	(#*) 04% 84,20% 8.5% 8.5% 9 [ESR CALCULATIONS - LEVEL 06 52% 52% 52% 100 <	86, 65 5.364 6A (55,77) (Gross Anse Exclusions)	1024. 337 ALT FLOOR ALLA (M) LEBALCONY AREA (M) R2 41 R2 br>R2 41 R2 R2 41 R2 R2 R2 R2 R2 R2 R2 R2	#2339 HIGHWAY 97N KELOWNA, BC V1X 4H9 PROJECT NO: 133304
FOR 2A+28 Long-term {CLASS I} Residential Total Residential Commercial Residential Commercial Total # of filkes required 193 34 2 2 Provided 366 52 438 886 929	#1500%AL	6 489 5 482 6 481 6 481 6 481 6 481 6 481 7 4817	NE COLOR 746. 1130	11,345 2,365 78,894	Image: Control of the second	DRAWN BY: Author PROJECT MGR: APPROVED BY: NG Approver SHEET TITLE STATISTICS- 2A & 2B
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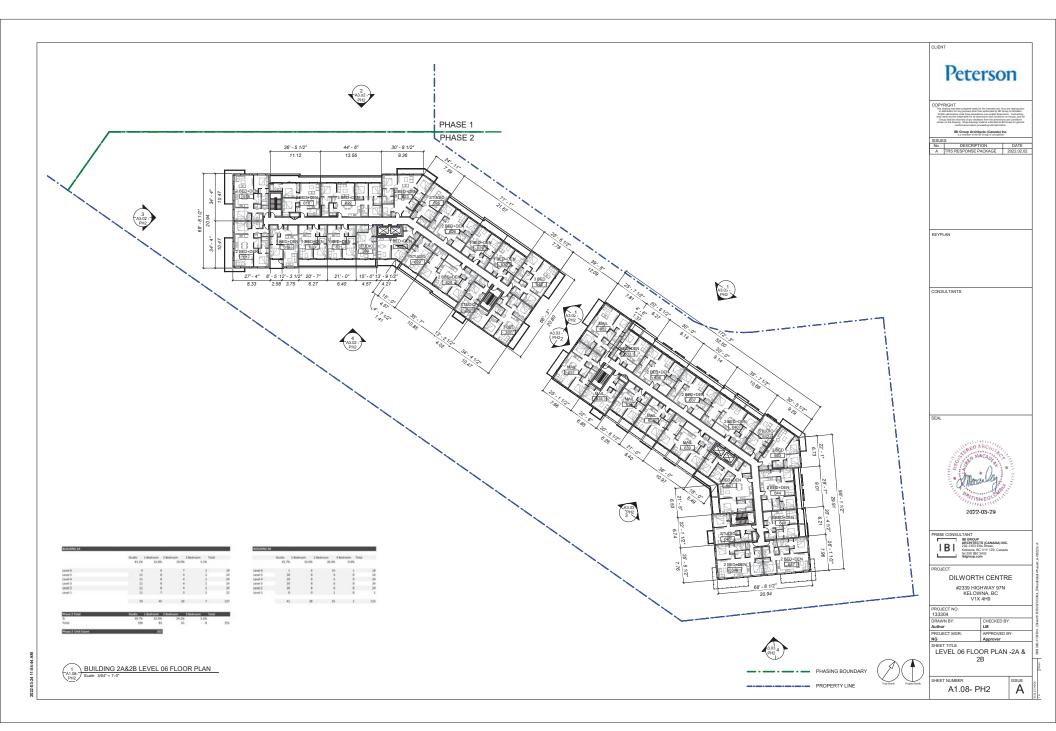
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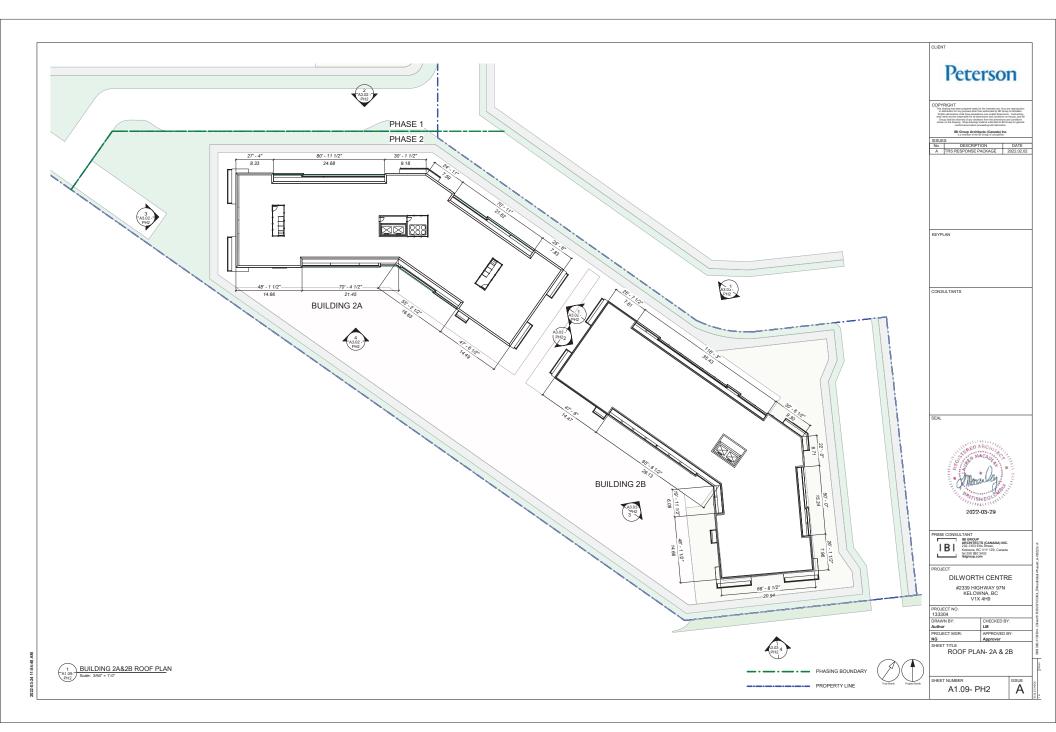






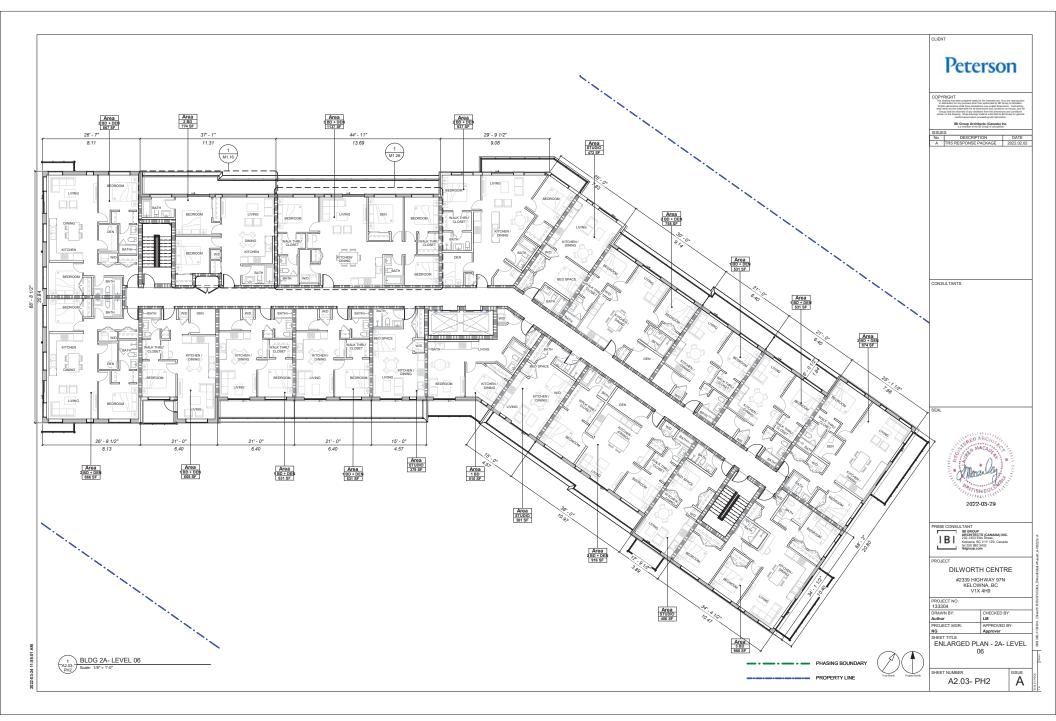


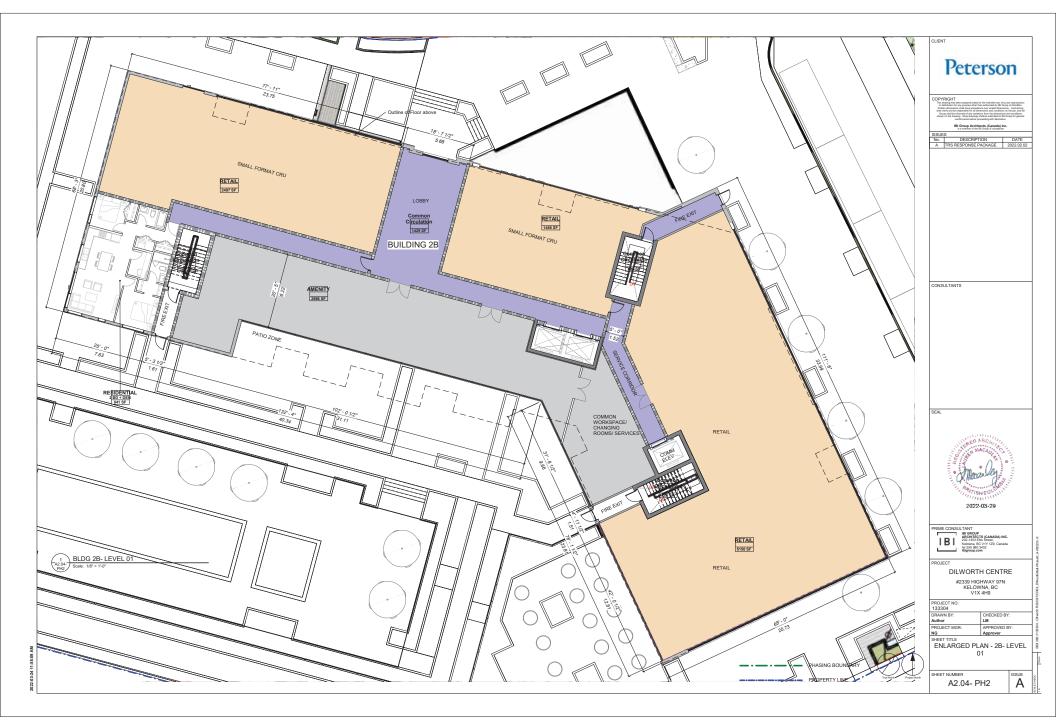


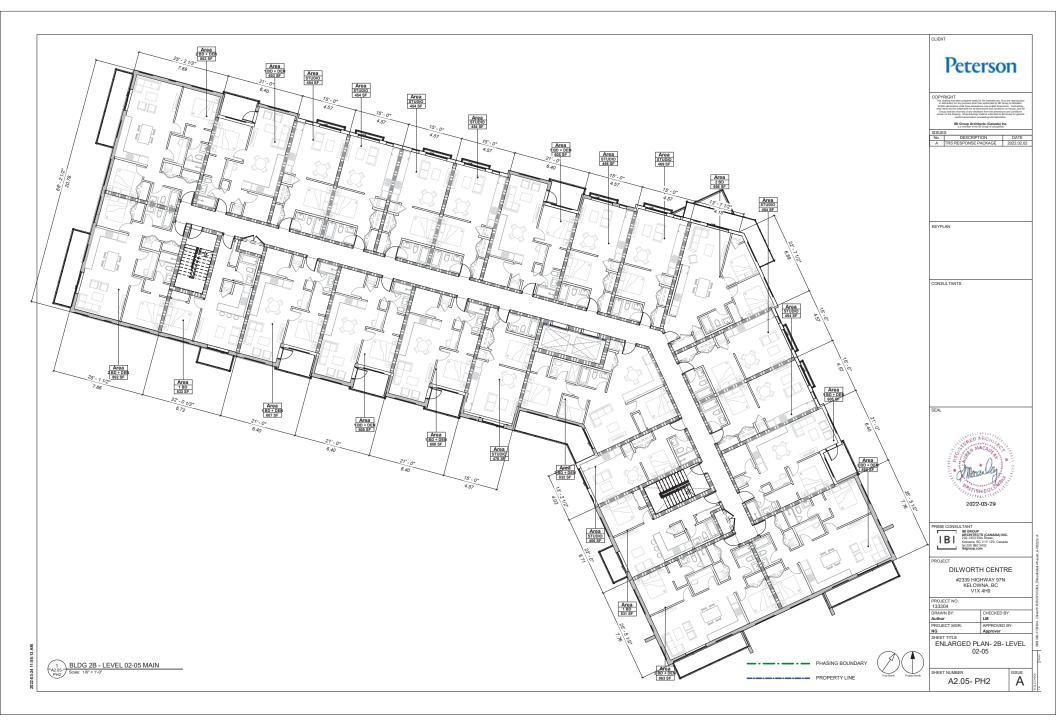


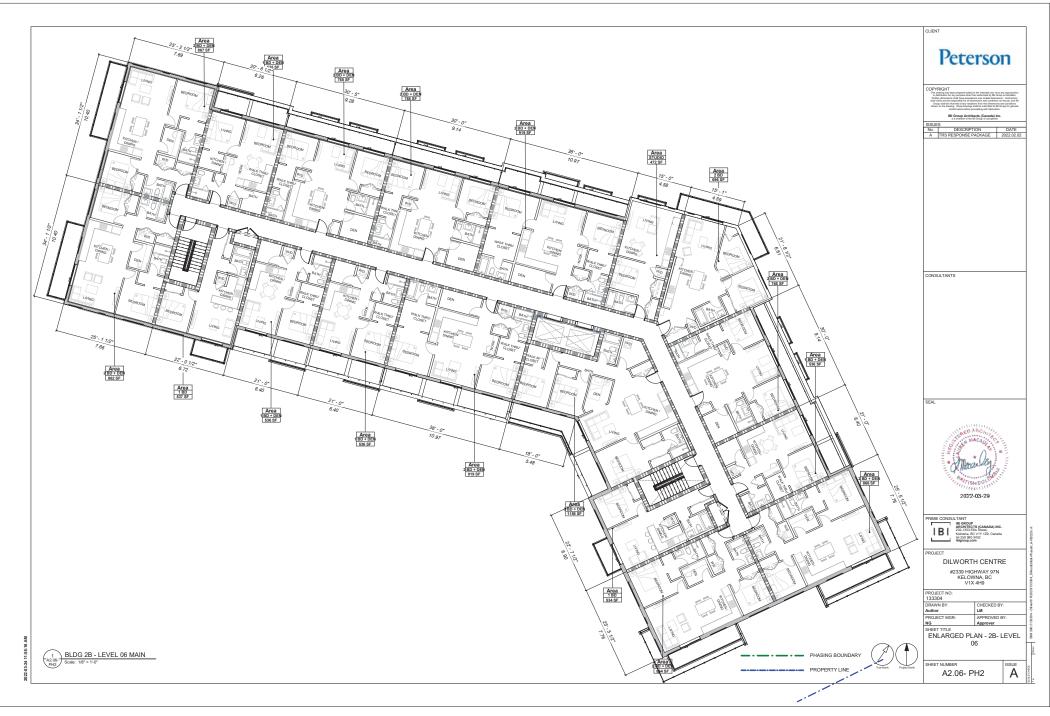




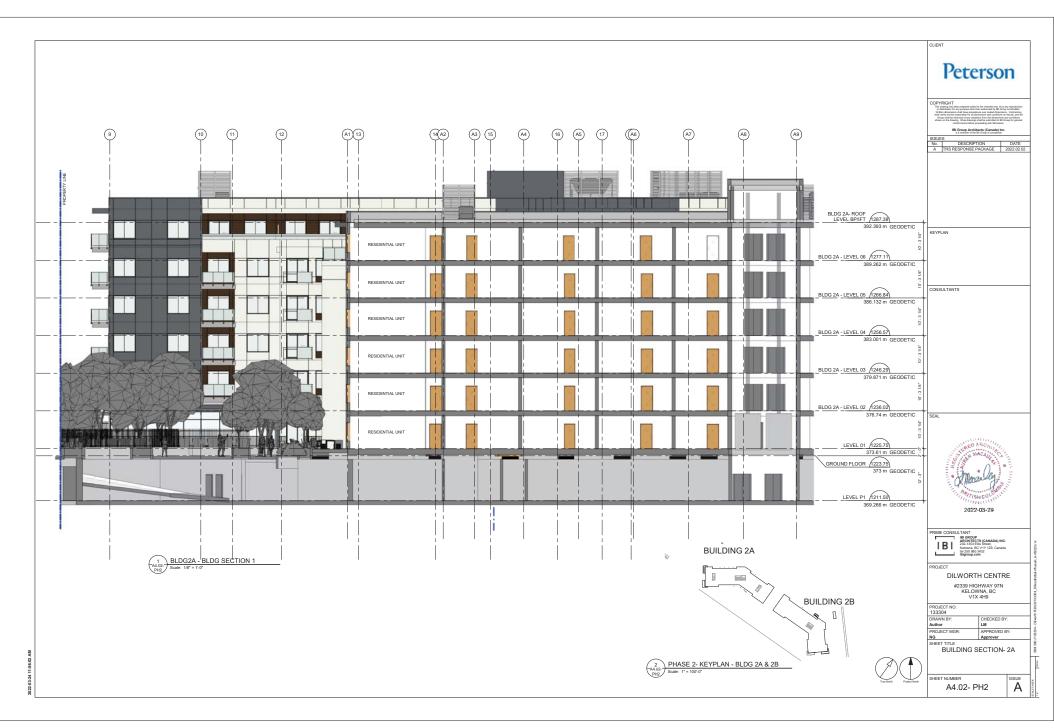


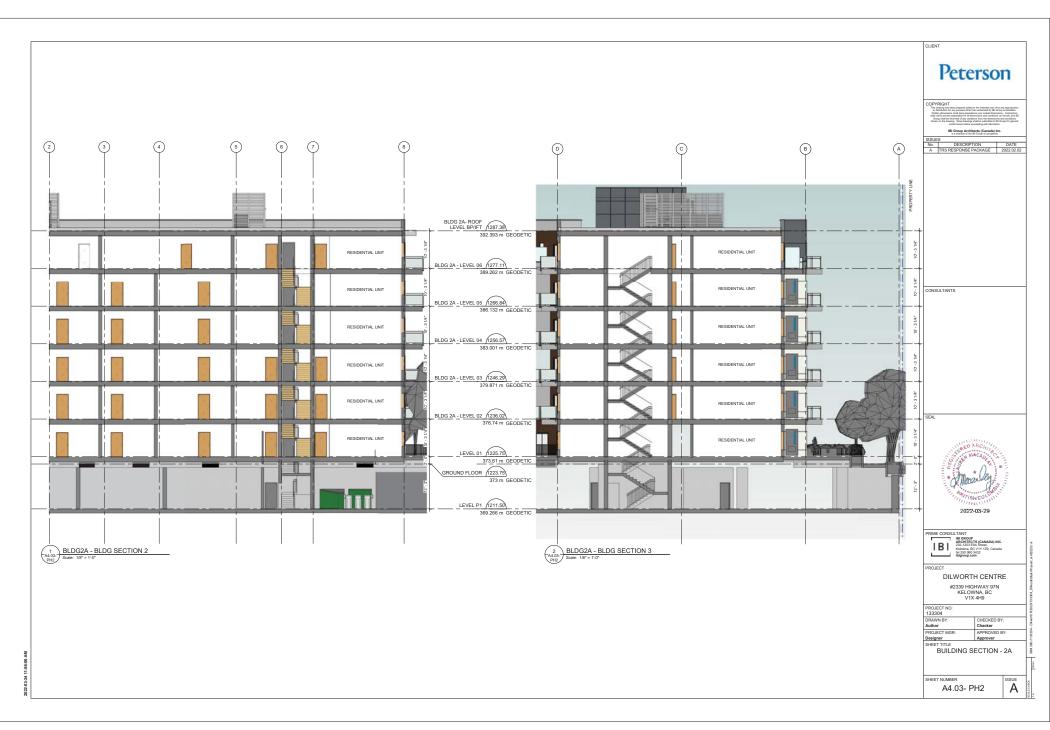


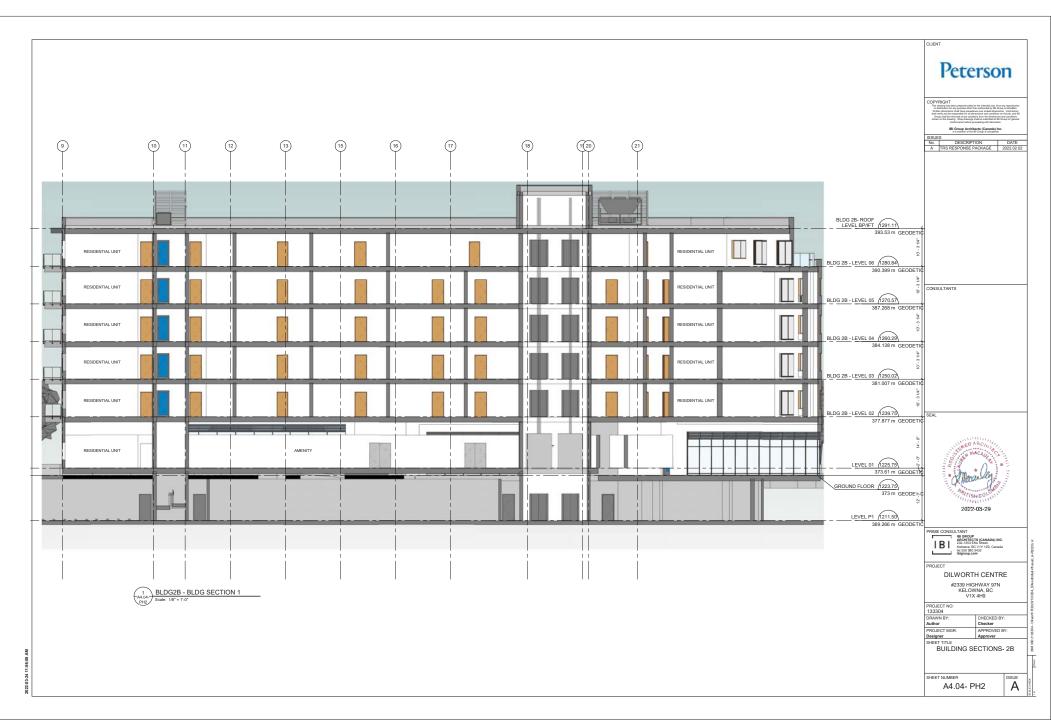




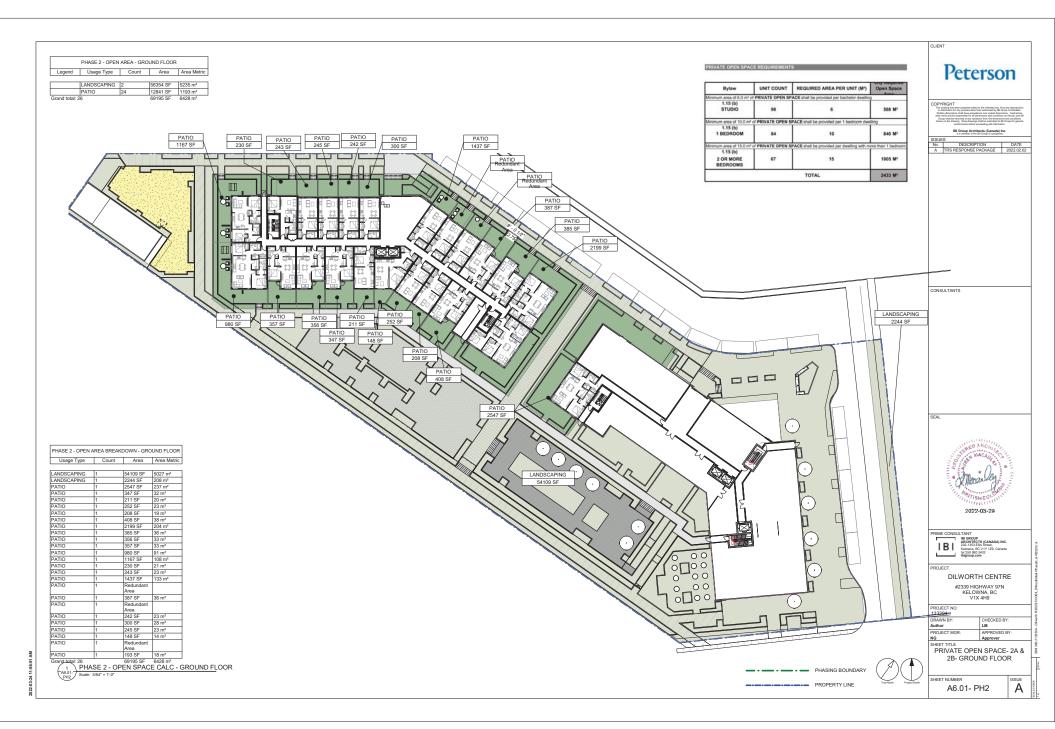


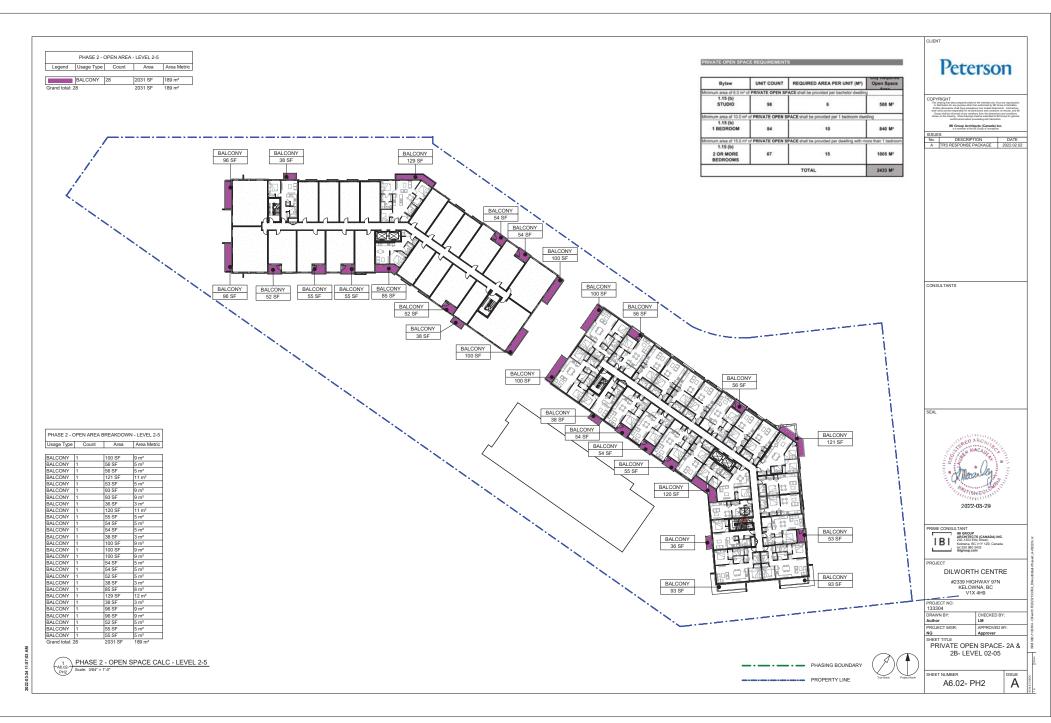


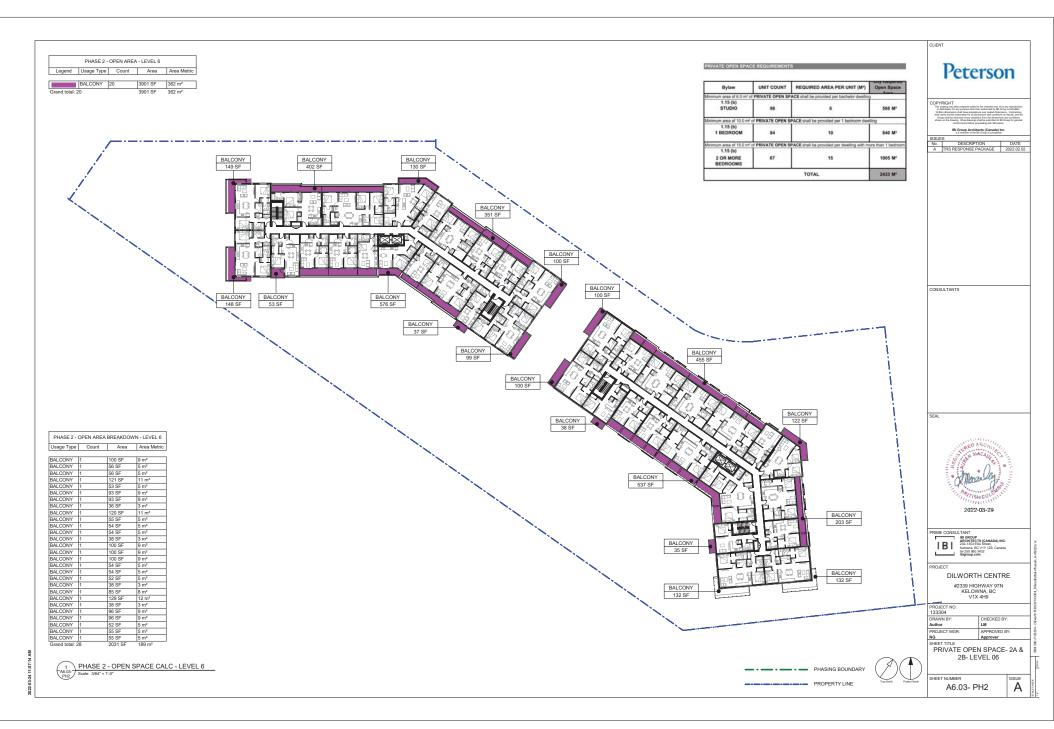


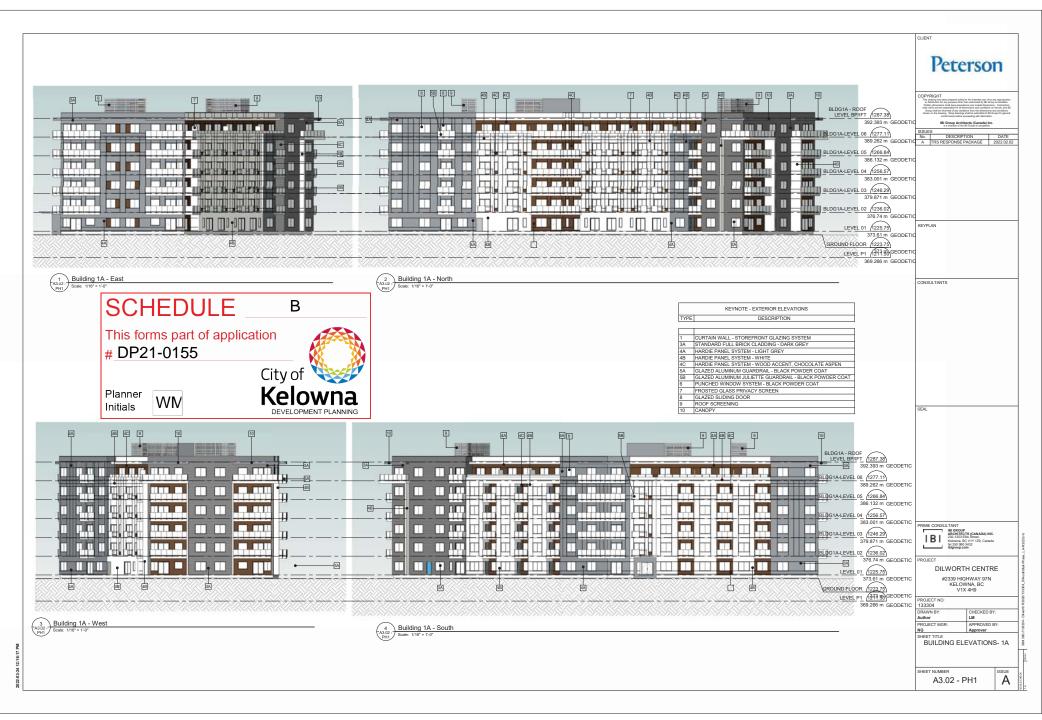


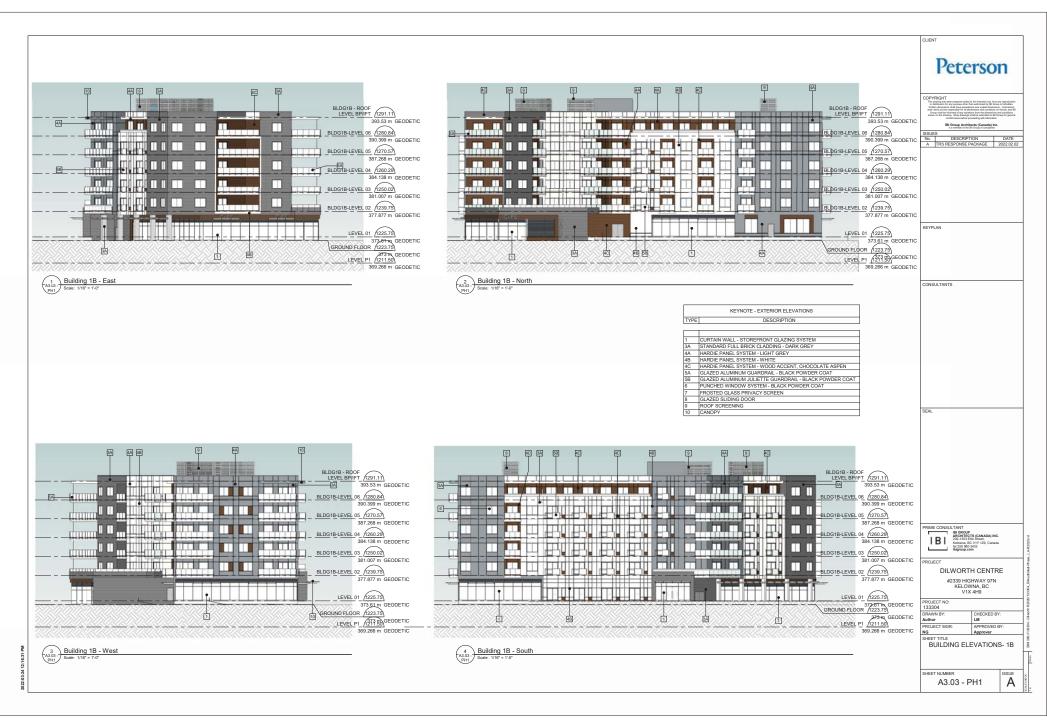












Phase 1 Material Palette

CEMENT BOARD PANELS: Manufacturer: James Hardie Product: Reveal Panel System Colour: Coventry Gray; Benjamin Moore HC-169

BRICK Manufacturer: Endicott Colour: Manganese Ironspot Finish: Velour Size: Standard



CEMENT BOARD PANELS: Manufacturer: James Hardie Product: Reveal Panel System Colour:White Dove Benjamon Moore OC-17



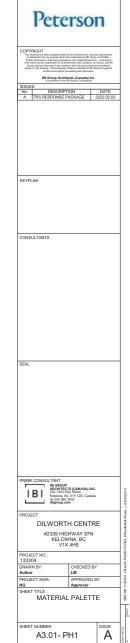


Hardie Panel Wood Tone Accent



Powder Coated Aluminum Windows / Railings





CLIENT



	KEYNOTE - EXTERIO
TYPE	C
3B	STANDARD FULL BRICK CLADDIN
4A	HARDIE PANEL SYSTEM - LIGHT
4B	HARDIE PANEL SYSTEM - WHITE
4C	HARDIE PANEL SYSTEM - WOOD
5A	GLAZED ALUMINUM GUARDRAIL
5B	GLAZED ALUMINUM JULIETTE GU
6	PUNCHED WINDOW SYSTEM - BL
8	GLAZED SLIDING DOOR
9	ROOF SCREENING
10	CANOPY
EXT	



TYPE	C
3B	STANDARD FULL BRICK CLADDIN
4A	HARDIE PANEL SYSTEM - LIGHT
4B	HARDIE PANEL SYSTEM - WHITE
4C	HARDIE PANEL SYSTEM - WOOD
5A	GLAZED ALUMINUM GUARDRAIL
5B	GLAZED ALUMINUM JULIETTE GU
6	PUNCHED WINDOW SYSTEM - BL
8	GLAZED SLIDING DOOR
9	ROOF SCREENING
10	CANOPY
EXT	

Phase 2 Material Palette



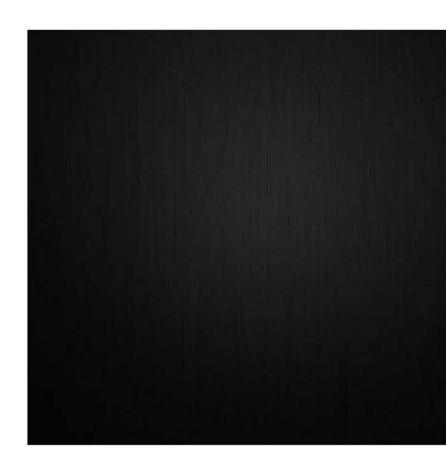
CEMENT BOARD PANELS: Manufacturer: James Hardie Product: Reveal Panel System Colour: Charcoal Slate Benjamin Moore HC-178



BRICK Manufacturer: Interstate Colour: Arctic White



Hardie Panel Wood Tone Accent



Powder Coated Aluminum Windows / Railings

CEMENT BOARD PANELS: Manufacturer: James Hardie Product: Reveal Panel System Colour: White Dove Benjamin Moore OC-17





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or distril Written c shall verify Group s shown on	GHT ng has been prepared solely for pution for any purpose other tha imensions shall have preceden and be responsible for all dime hall be informed of any variatio the drawing. Shop drawings st conformance before pro IBI Group Archite is a member of the IB	In authorized by IBI Gro ce over scaled dimensi nsions and conditions ns from the dimensions nall be submitted to IBI ceeding with fabrication acts (Canada) Inc	oup is forbidden. ons. Contractors on the job, and IBI s and conditions Group for general n.
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PROJEC 133304 DRAWN Author PROJEC NG SHEET 1	BY: T MGR:	CHECKED E LM APPROVED Approver	BY:

DILWORTH SHOPPING CENTER REDEVELOPMENT PHASE 1 SCHEDULE

Issued for TRS Response

Peterson // Client

Marcus Jaheny MarcusJ@petersonbc.com 604.688.4885

IBI Group // Architect

Lauren Macaulay Lauren.Macaulay@ibigroup.com

LOCI Landscape Architecture + Urban Design // Landscape Architect

Mike Enns, BCSLA, CSLA // Principal mike@locidesign.ca 604.763.2886

Jim Dema-ala // Project Coordinator jim@locidesign.ca 604.694.0053

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LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	PH 1 – COVER SHEET
L0.1	PH 1 – GENERAL NOTES
L0.2	PH 1 – TREE MANAGEMENT PLAN
L0.3	PH 1 – OVERALL LANDSCAPE PLAN
L1.0	PH 1 – MATERIALS + LAYOUT PLAN – WEST
L1.1	PH 1 – MATERIALS + LAYOUT PLAN – EAST
L1.2	PH 1 – GRADING PLAN – WEST
L1.3	PH 1 – GRADING PLAN – EAST
L1.4	PH 1 – TREE PLANTING PLAN – WEST
L1.5	PH 1 – TREE PLANTING PLAN – EAST
L1.6	PH 1 – SHRUB PLANTING PLAN – WEST
L1.7	PH 1 – SHRUB PLANTING PLAN – EAST
L1.8	PH 1 – HYDROZONE PLAN – WEST
L1.9	PH 1 – HYDROZONE PLAN – EAST
L1.10	PH 1 – LIGHTING SCHEMATIC PLAN – WEST
L1.11	PH 1 – LIGHTING SCHEMATIC PLAN – EAST
L1.12	PH 1 – FENCE + GATE LOCATION PLAN – WEST
L1.13	PH 1 – FENCE + GATE LOCATION PLAN – EAST
L2.0	PH 1 – SECTIONS
L2.1	PH 1 – SECTIONS
L2.2	PH 1 – SECTIONS
L3.0	PH 1 – PLANT LIST
L3.1	PH 1 – PLANT IMAGES
L4.0	PH 1 – PRECEDENT IMAGES
L4.1	PH 1 – PRECEDENT IMAGES
L5.0	PH 1 – HARDSCAPE DETAIL – PAVING
L5.1	PH 1 – HARDSCAPE DETAIL – PAVING
L5.2	PH 1 – HARDSCAPE DETAIL – STAIRS AND RAMPS
L5.3	PH 1 – HARDSCAPE DETAIL – CURBS AND WALLS
L5.4	PH 1 – SITE FURNISHING – FENCES
L5.5	PH 1 – SITE FURNISHING DETAIL – BENCHES AND SEATING
L5.6	PH 1 – SOFTSCAPE DETAIL – ON-GRADE PLANTING
L5.7	PH 1 – SOFTSCAPE DETAIL – ON-GRADE PLANTING
L5.8	PH 1 – SOFTSCAPE DETAIL – ON SLAB PLANTING
L5.9	PH 1 – SOFTSCAPE DETAIL – ON SLAB PLANTING
L6.0	PH 1 – APPENDIX A – HYDROZONE CALCULATIONS

s forms part of application OP21-0155

С

Kelowna

DEVELOPMENT PLANNING

City of

Planner Initials WN



1738 KINGSWAY, VANCOUVER, BC V5N 2S3 www.locidesign.ca // 604.694.0053

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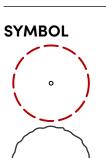
Rev. A revision

GENERAL TREE MANAGEMENT NOTES:

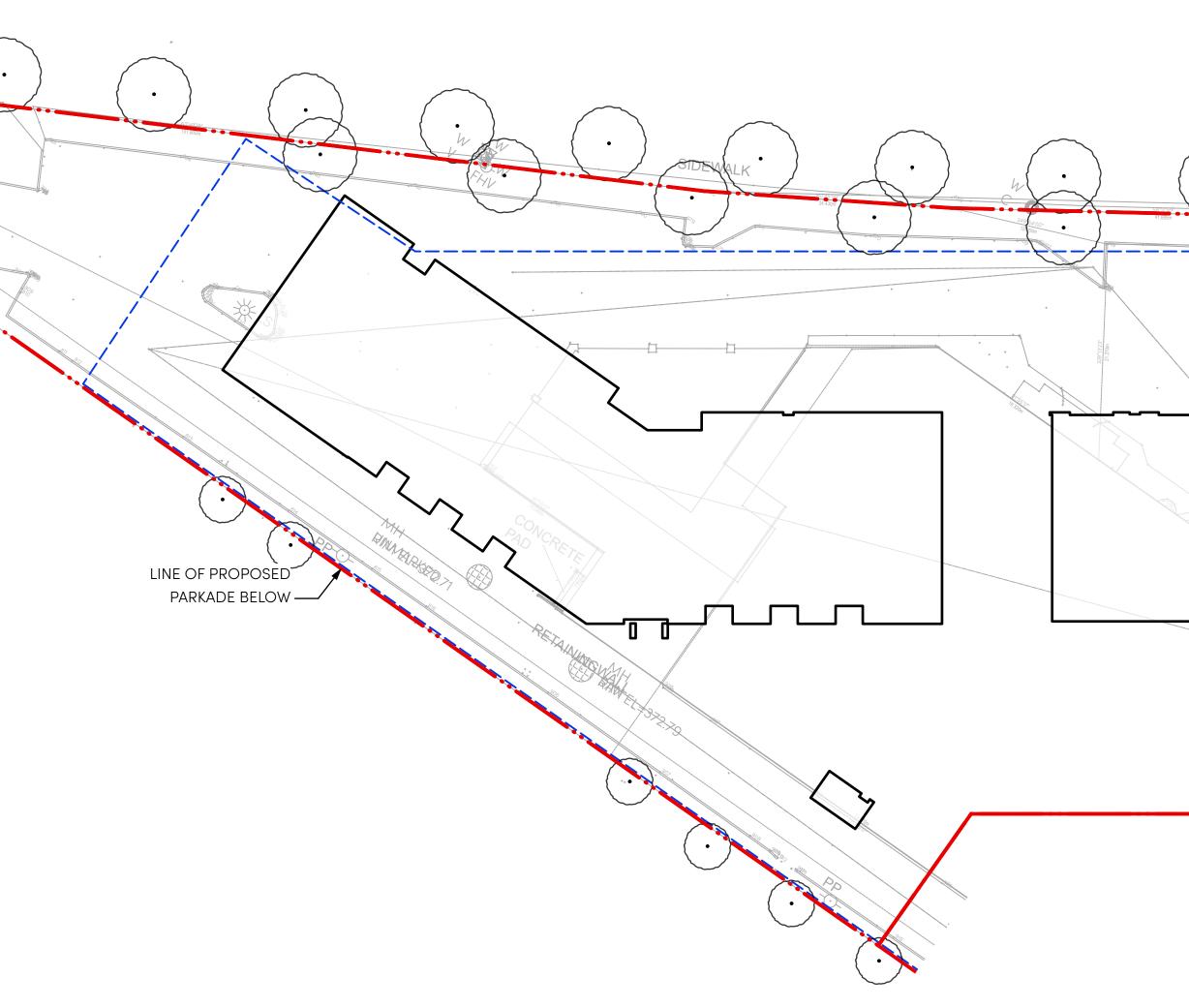
- 1. ALL COMPONENTS AND WORKMANSHIP TO CONFORM TO BCLNA STANDARDS TYPICAL.
- 2. POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS IF MINIMUM UTILITY SETBACKS PERMIT.
- 3. ALL TREE STAKES TO HAVE A MINIMUM 1.0m CLEARANCE FROM ALL U/G POWER, TELEPHONE AND GAS ALIGNMENTS.
- 4. ALL ROOTBALL HOLES TO BE DUG BY HAND WHEN CLOSER TO 1.0M (40") TO U/G POWER, TELEPHONE AND GAS ALIGNMENTS. FOR TREES WITH DRIPLINES FROM FROM 3M – 5M (9' – 15') FROM CONSTRUCTION ACTIVITY;
- 5. PLACE STANDARD 'SAFETY ORANGE' SNOWFENCE MIN. OF 4.5M (14'8") FROM TREE TRUNK. EXACT SIZE/SHAPE TO BE DETERMINED ON SITE
- 6. FOR EXCAVATION WITHIN 1-3M (3' 9') OF ANY TREE'S DRIPLINE, ROOT PRUNING REQUIRED TO A DEPTH OF 500MM (20"). IMMEDIATELY AFTER EXCAVATION, PRUNE ALL EXPOSED ROOTS FLUSH WITH THE EXCAVATION WALL.
- 7. A MAXIMUM OF 25% OF ANY TREE'S ROOTS AT THE DRIPLINE SHOULD BE IMPACTED BY EXCAVATION IF THE TREE IS EXPECTED TO SURVIVE.
- 8. INSTALL AND MAINTAIN HOARDING IN CLEAN AND SAFE CONDITION THROUGHOUT CONSTRUCTION PROCESS.
- 9. HOARDING REQUIREMENTS ARE ON ALL EXISTING TREES THROUGHOUT CONSTRUCTION. ALL EQUIPMENT, SOIL, BUILDING MATERIAL AND OTHER DEBRIS SHALL BE KEPT OUTSIDE THE HOARDING.
- 10. IF HOARDING IS PUNCTURED AND DAMAGE OCCURS TO HOARDED TREE(S), NOTIFY LANDSCAPE ARCHITECT.
- 11. THE BEST METHOD TO AVOID SOIL COMPACTION IS TO KEEP OFF. THIS INCLUDES RESTRICTING ALL TRAFFIC BOTH VEHICULAR AND PEDESTRIAN FROM CROSSING OVER THE ROOT ZONES, AND RESTRICTING EVEN TEMPORARY MATERIAL STORAGE UNDER TREES.
- 12. EXCAVATION AROUND TREES WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
- 13. DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
- 14. TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- 15. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES: HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS
- 16. USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS;
- 17. RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.
- 18. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES: TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING;
- 19. DO NOT CUT MAIN LATERAL ROOTS;
- 20. CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS;
- 21. ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 150MM (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS;
- 22. PROTECTION OF EXPOSED ROOTS: DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER.
- 23. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
- 24. A. PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
- B. PACK WITH WET PEAT MOSS . MAINTAIN MOISTURE.
- C . PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
- 25. TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
- 26. WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS

TREE MANAGEMENT PLAN **1** Scale: 1" = 30'-0"

TREE MANAGEMENT PLAN



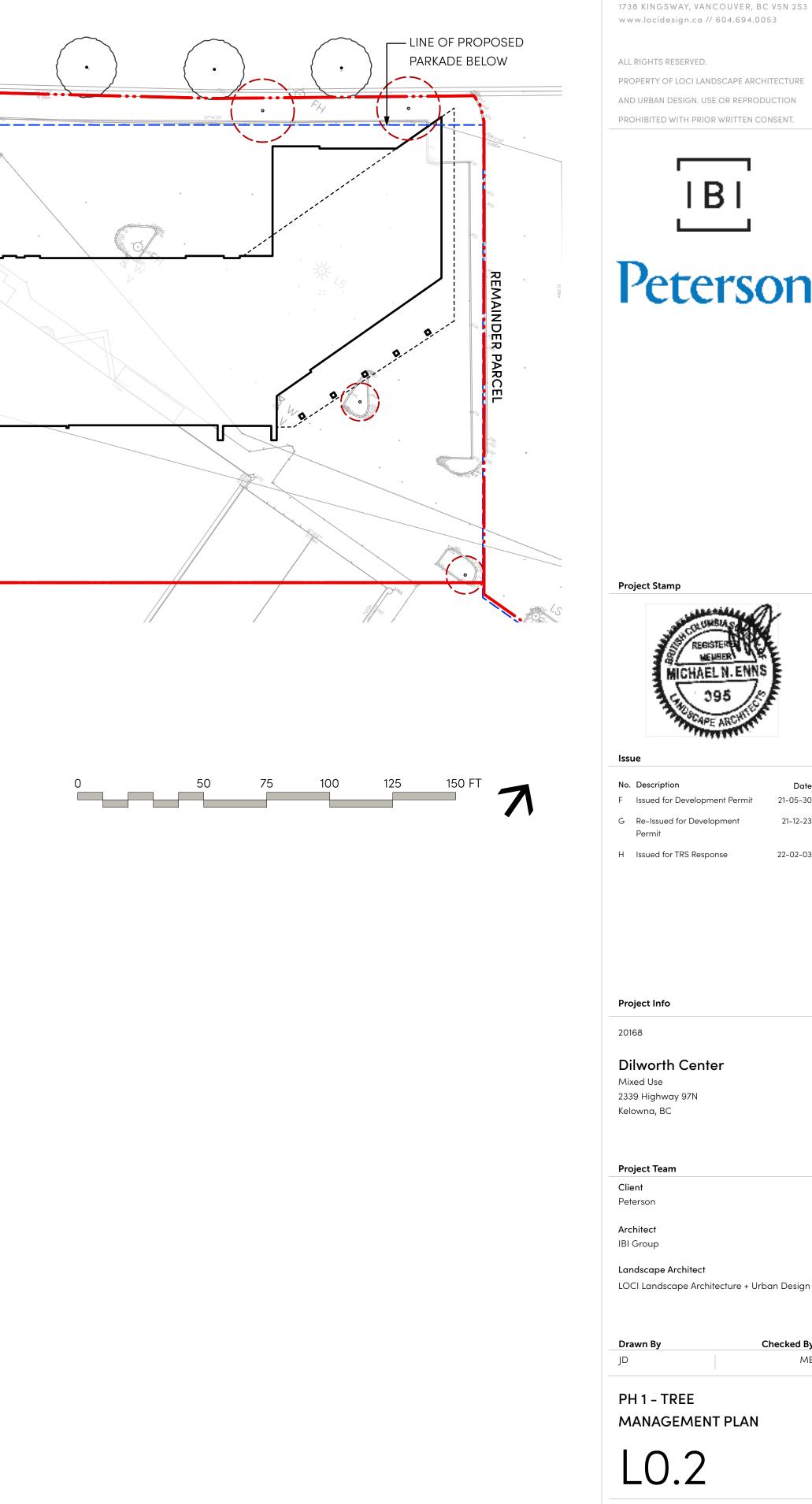
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DESCRIPTION

EXISTING TREE TO BE REMOVED

EXISTING TREE TO BE RETAINED





Peterson

I B I

MICHAEL N. ENNS	NAME OF THE OWNER
Issue	
No. Description F Issued for Development Permit G Re-Issued for Development Permit H Issued for TRS Response	Date 21-05-30 21-12-23 22-02-03
Project Info	
20168 Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC	
Project Team	
Client Peterson Architect IBI Group Landscape Architect LOCI Landscape Architecture + Urb	ban Design
Drawn By C	Checked By
JD	ME
PH 1 – TREE MANAGEMENT PLAN	







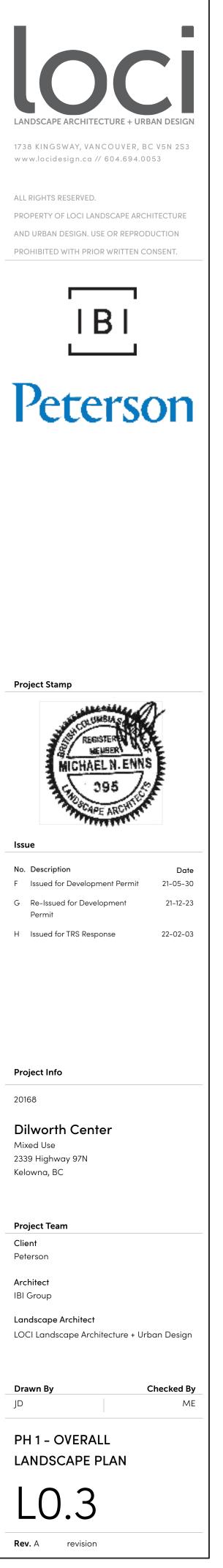
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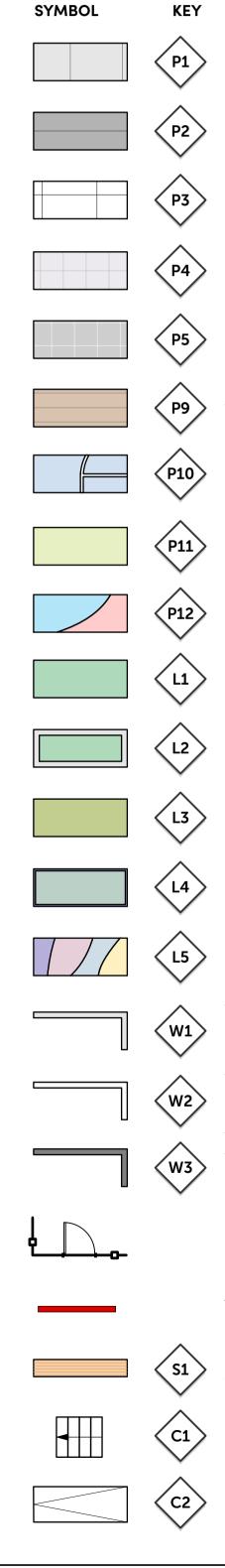
PRIVATE PATIOS + UNIT WALK-UPS (RAISED) WITH BUFFER PLANTING



- MULTI-USE SPORTS COURT WITH BLEACHER SEATING +
- DOG RUN WITH WEATHER PROTECTION



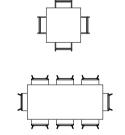
MATERIALS LEGEND



DESCRIPTION	DETAIL
PAVING TYPE 1: CONCRETE SIDEWALK	\frown
CIP Concrete on Slab	$\begin{pmatrix} 1 \\ 1 \\ 1 \\ 5 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7$
5'-0" Score Lines, TBD	L5.0
PAVING TYPE 2: ENTRY MEWS PAVING	\frown
Custom Precast Pavers on Slab	$\begin{pmatrix} 2 \\ 1 \\ 5 \\ 2 \end{pmatrix}$
Size, TBD	L5.0
PAVING TYPE 3: PRIVATE PATIO PAVING	\frown
Concrete Unit Paveers on Slab	$\left(\begin{array}{c} 3\\ \end{array}\right)$
24" X 24", Product TBD	L5.0
PAVING TYPE 4: LOBBY PAVING	\frown
Porcelain Pavers on Slab	$\left(\frac{4}{15.0}\right)$
24" x 24", Product TBD	L5.0
PAVING TYPE 5: AMENITY	\frown
Porcelain Pavers on Slab	$\begin{pmatrix} 5 \\ 15 \end{pmatrix}$
Product and Size, TBD	L5.0
PAVING TYPE 9: WOOD DECK / BLEACHERS	
Thermally Modified Wood, White Ash	$\begin{pmatrix} 2\\ 15.1 \end{pmatrix}$
or Approved Alternative, Size and Product TBD PAVING TYPE 10: SPORTS COURT PAVING	
Coloured Asphalt with Painted Lines	$\left(\begin{array}{c}3\\1\\1\\1\end{array}\right)$
Product, TBD	L5.1
PAVING TYPE 11: ARTIFICIAL TURF	\frown
Fusion Pro by Foreverlawn	$\begin{pmatrix} 4 \\ 154 \end{pmatrix}$
or Approved Alternative, TBD	L5.1
PAVING TYPE 12: PLAYGROUND SURFACING	(F)
PIP Rubber Surface, Landsafe by Marathon	$\begin{pmatrix} 5\\ L5.1 \end{pmatrix}$
Surfaces or Approved Alternative, TBD PLANTING TYPE 1 - OFF-SITE PLANTING	
Inset Planting on Grade	$\left(\begin{array}{c} 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 $
Min. Soil Depth: 24" for Shrubs / 36" for Trees	
PLANTING TYPE 2 - INSET PLANTING	$\overline{3}$ 1
Inset Planting on Slab	L5.6 L5.9
Min. Soil Depth: 24" for Shrubs / 36" for Trees	\bigcirc \bigcirc
PLANTING TYPE 3 - FOUNDATION PLANTING	$\begin{pmatrix} 1 \\ 5 \end{pmatrix}$
Min. 24" Soil Depth for Shrubs	L5.7 L5.8
Min. 36" Soil Depth for Trees	
PLANTING TYPE 4 - MOVABLE METAL PLANTER	$\left(\begin{array}{c}2\\3\end{array}\right)$
Min. 24" Soil Depth	L5.6 L5.9
	$\begin{pmatrix} 2 \\ L5.6 \end{pmatrix} \begin{pmatrix} 3 \\ L5.8 \end{pmatrix}$
Min. 24" Soil Depth	L3.0 L3.0
WALL TYPE 1 - CONCRETE FLUSH CURB/WALL	$\begin{pmatrix} 1 \end{pmatrix}$
6" Width, Flush to Finished Paving	$\left(\begin{array}{c} 1 \\ L5.3 \end{array} \right)$
Rebars with Starter Curb On Slab	
WALL TYPE 2 - CONCRETE RETAINING WALL	2
6" Width, Height Varies – Max. 36" Exposed Wall	L5.3
Architectural Finish	\bigcirc
WALL TYPE 3 – LANDSCAPE FEATURE WALL	$\left(\begin{array}{c} 3\\ 15.3\end{array}\right)$
24" to 36" Ht. Stone Face, Illuminated	L5.3
LANDSCAPE FENCE	
Refer to Fence + Gate Location Plan	
ARCHITECTURAL PRIVACY FENCE	
Refer to Architecture	
	\frown
SEATING TYPE 1 Wood Top Bench	$\begin{pmatrix} 1 \\ 1 \\ 1 \\ 5 \\ 5 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7$
	155/

CIP CONCRETE STAIRS 6" Rise x 12" Tread, Typ.

CIP CONCRETE RAMP



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L5.2

SYMBOL



Product TBD

DOG PARK EQUIPMENT Product TBD

PING PONG TABLE Product TBD

PLAYGROUND PLAY STICKS Product TBD

BIKE RACK Product TBD

BOLLARDS Product TBD

IN PLAZA

DESCRIPTION

MOVABLE CAFE TABLES Product by Owner, TBD

BANQUET TABLES Product by Owner, TBD

POOL CABANA Product by Owner, TBD

POOL LOUNGERS Product by Owner, TBD

FIREPLACE

OUTDOOR FURNITURE - SOFA Product TBD

BOCCE COURT Product TBD

BAR TABLE AND STOOL Product TBD

OVERHEAD TRELLIS Product TBD

AT-GRADE SPRAY / WATER FEATURE

Product TBD

LEISURE SWIMMING POOL by Others

GENERAL LAYOUT + MATERIALS NOTES:

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the

(P10)

DETA

4 L5.5

5 L5.5

 $\begin{pmatrix} 3 \\ L5.2 \end{pmatrix}$

- 1. ALL DIMENSIONS ARE IMPERIAL UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
- 2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
- 3. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
- 4. THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- $\begin{pmatrix} 6\\ L5.2 \end{pmatrix}$ 5. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.



MATERIALS + LAYOUT PLAN WEST

Scale: 1/16" = 1'-0"

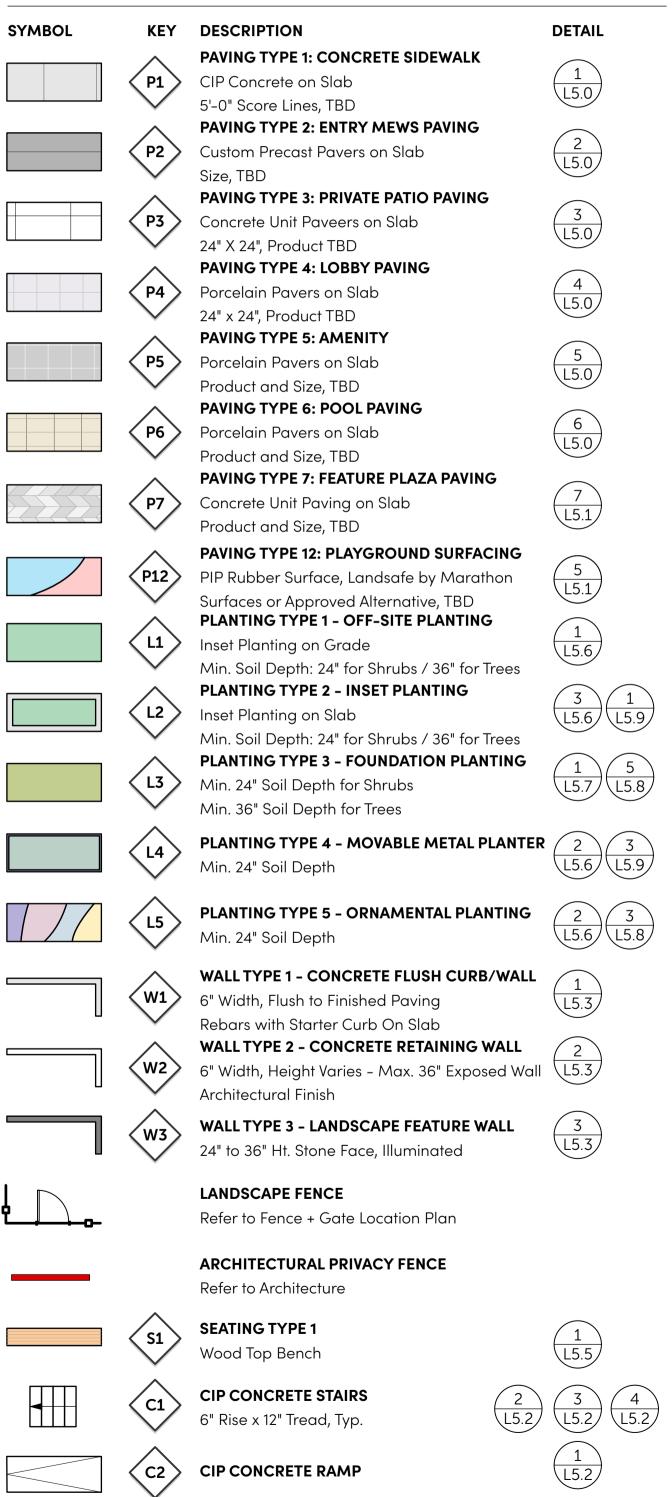


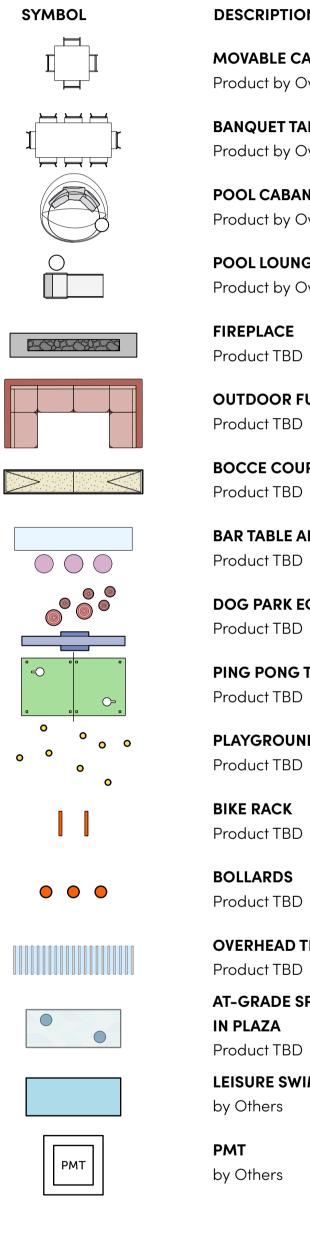
Peterson	
Project Stamp	
Issue	
No. DescriptionDateFIssued for Development Permit21-05-30	
G Re-Issued for Development 21-12-2	
Permit H Issued for TRS Response 22-02-0	3
Project Info 20168 Dilworth Center Mixed Use 2339 Highway 97N	
Kelowna, BC Project Team Client	
Peterson	
Architect IBI Group	
Landscape Architect LOCI Landscape Architecture + Urban Desigr	١
Drawn By Checked B	-
PH 1 – MATERIALS + LAYOUT PLAN – WEST	
110	

GENERAL LAYOUT + MATERIALS NOTES:

- 1. ALL DIMENSIONS ARE IMPERIAL UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
- 2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
- 3. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
- 4. THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 5. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.

MATERIALS LEGEND





DESCRIPTION

MOVABLE CAFE TABLES Product by Owner, TBD

BANQUET TABLES Product by Owner, TBD

POOL CABANA Product by Owner, TBD

POOL LOUNGERS Product by Owner, TBD

FIREPLACE Product TBD

OUTDOOR FURNITURE - SOFA Product TBD

BOCCE COURT Product TBD

BAR TABLE AND STOOL Product TBD

DOG PARK EQUIPMENT Product TBD

PING PONG TABLE Product TBD

PLAYGROUND PLAY STICKS Product TBD

BIKE RACK Product TBD

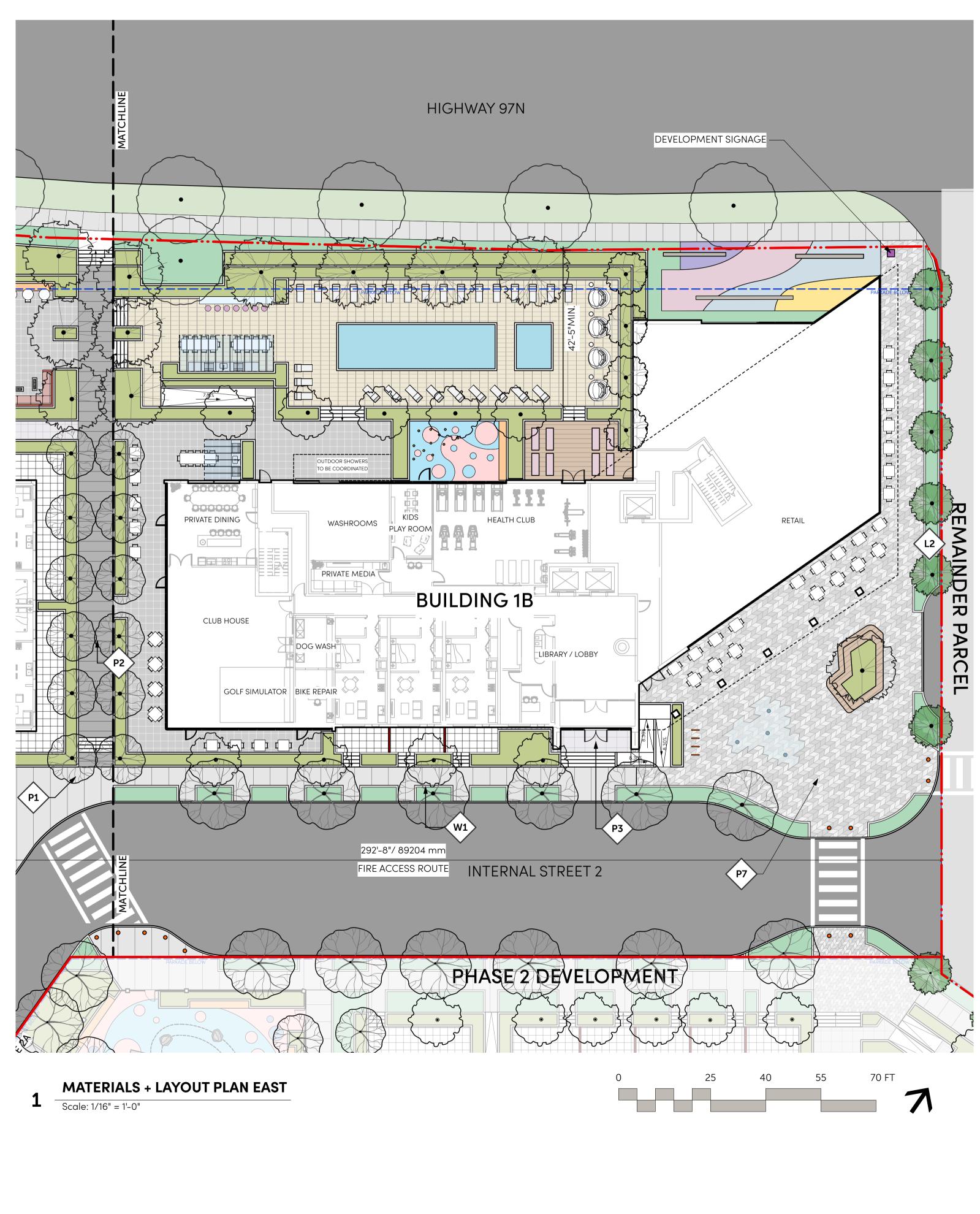
BOLLARDS Product TBD

OVERHEAD TRELLIS

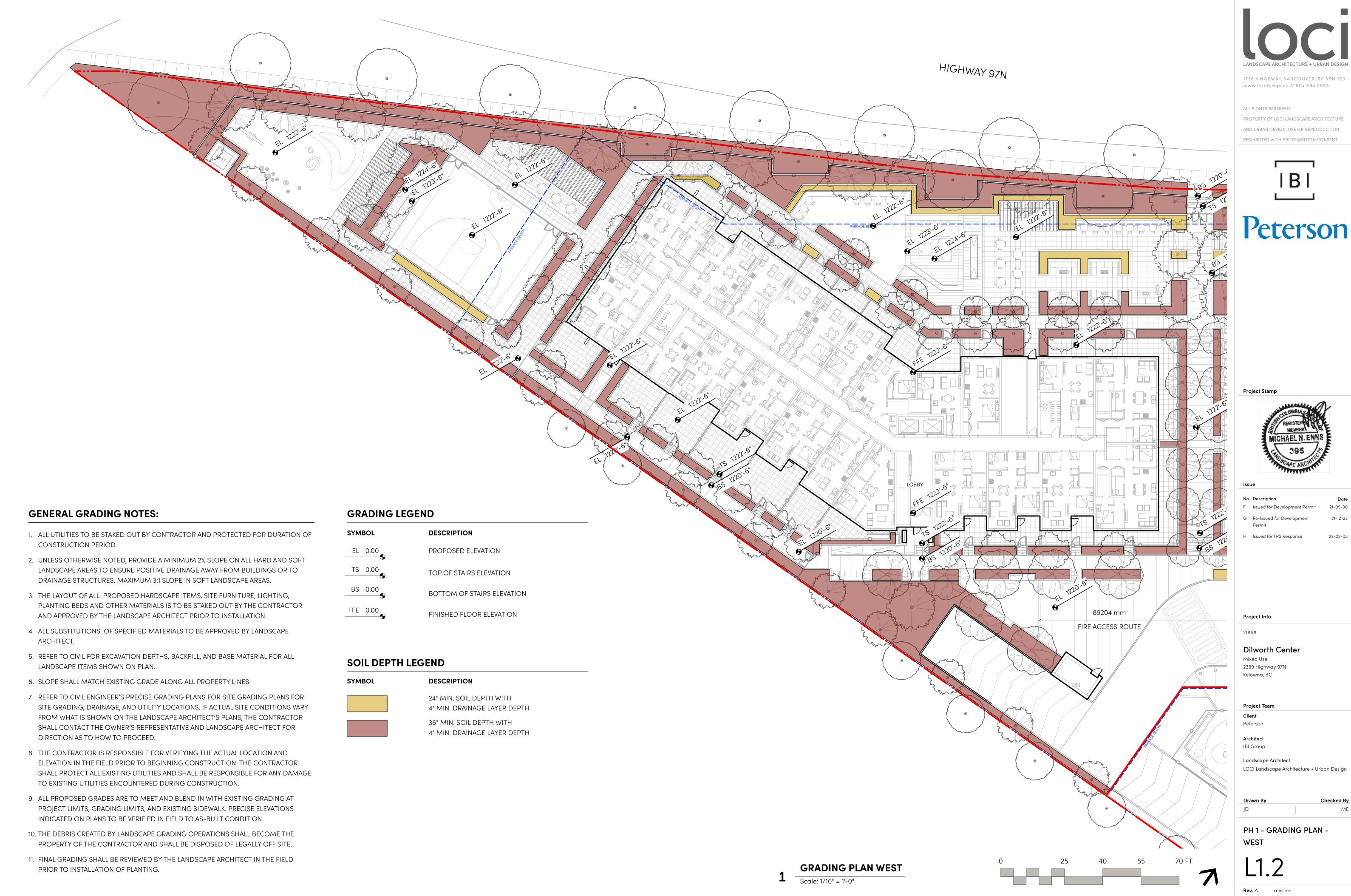
AT-GRADE SPRAY / WATER FEATURE IN PLAZA

Product TBD **LEISURE SWIMMING POOL** by Others

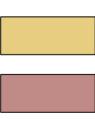
ΡΜΤ by Others







EL	0.00
TS	0.00
BS	0.00
FFE	0.00





219

Date

GENERAL GRADING NOTES:

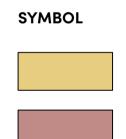
- 1. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
- UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
- 3. THE LAYOUT OF ALL PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 4. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
- 5. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
- 6. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
- 7. REFER TO CIVIL ENGINEER'S PRECISE GRADING PLANS FOR SITE GRADING PLANS FOR SITE GRADING, DRAINAGE, AND UTILITY LOCATIONS. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE LANDSCAPE ARCHITECT'S PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION AND ELEVATION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- 9. ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING AT PROJECT LIMITS, GRADING LIMITS, AND EXISTING SIDEWALK. PRECISE ELEVATIONS INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
- 10. THE DEBRIS CREATED BY LANDSCAPE GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
- 11. FINAL GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION OF PLANTING.

GRADING LEGEND

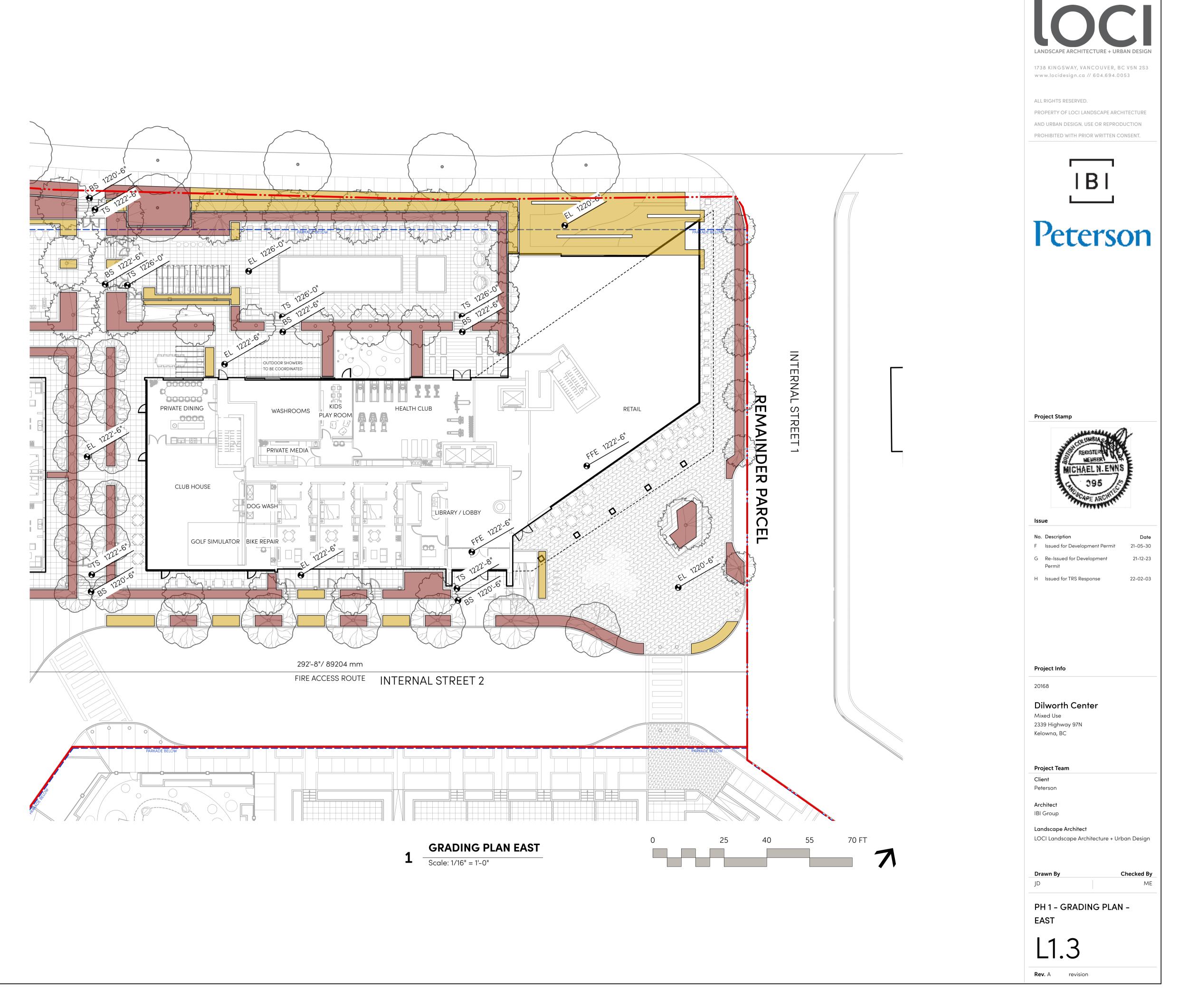
SYMBOL	DESCRIPTION
EL 0.00	PROPOSED ELEVATION
TS 0.00	TOP OF STAIRS ELEVATION
BS 0.00	BOTTOM OF STAIRS ELEVATION
FFE 0.00	FINISHED FLOOR ELEVATION

DESCRIPTION

SOIL DEPTH LEGEND

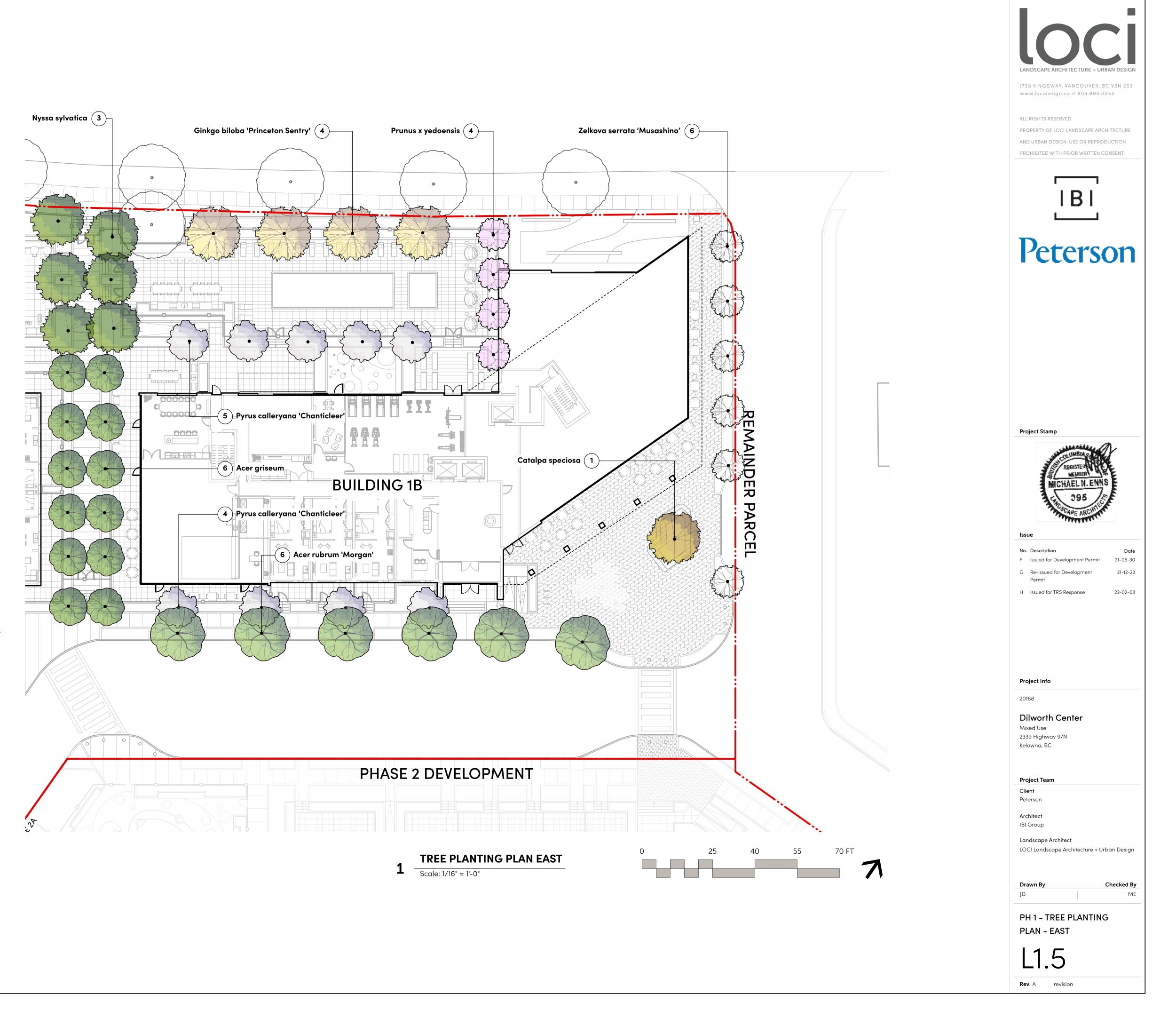


24" MIN. SOIL DEPTH WITH 4" MIN. DRAINAGE LAYER DEPTH
36" MIN. SOIL DEPTH WITH 4" MIN. DRAINAGE LAYER DEPTH



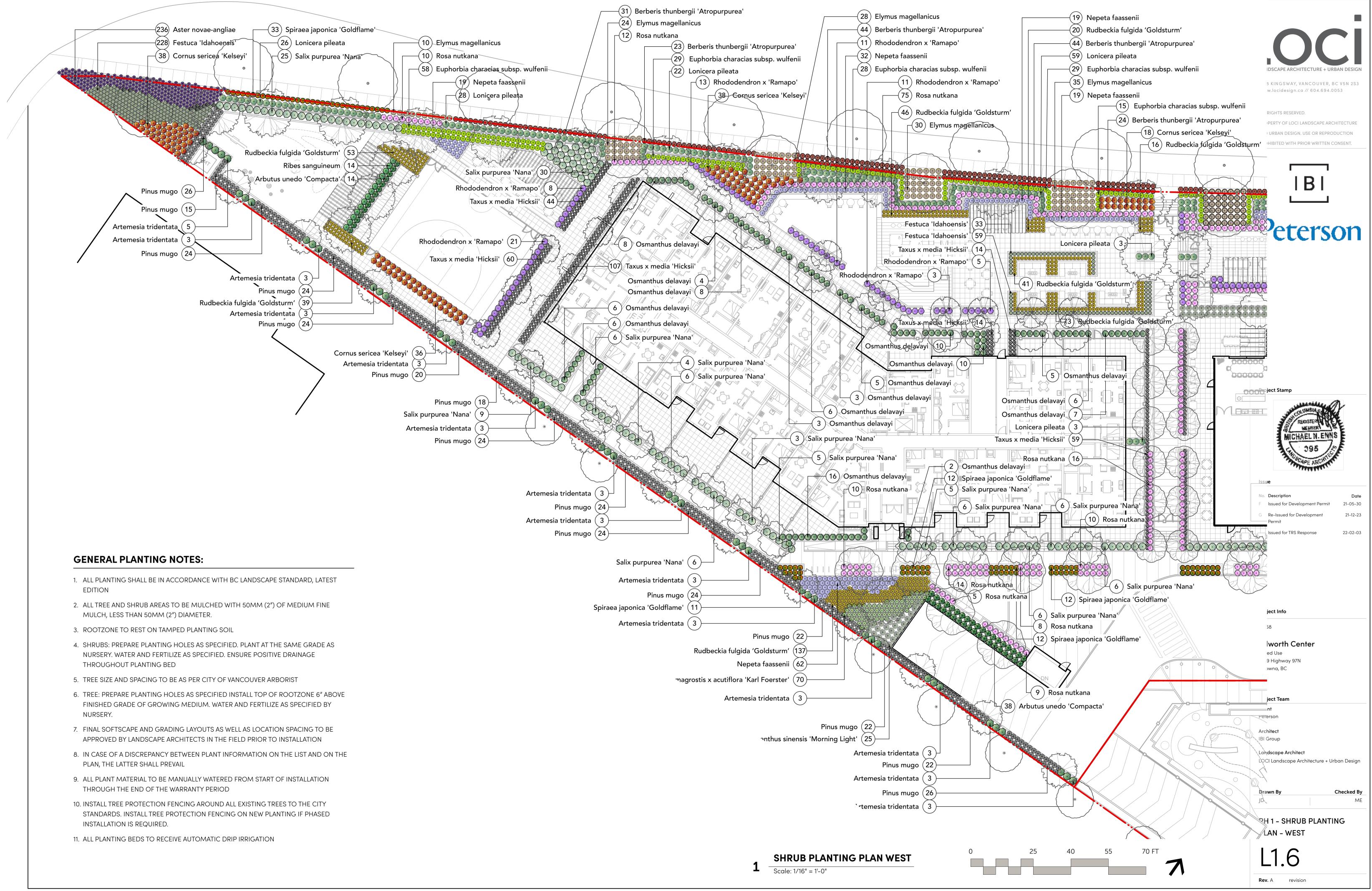






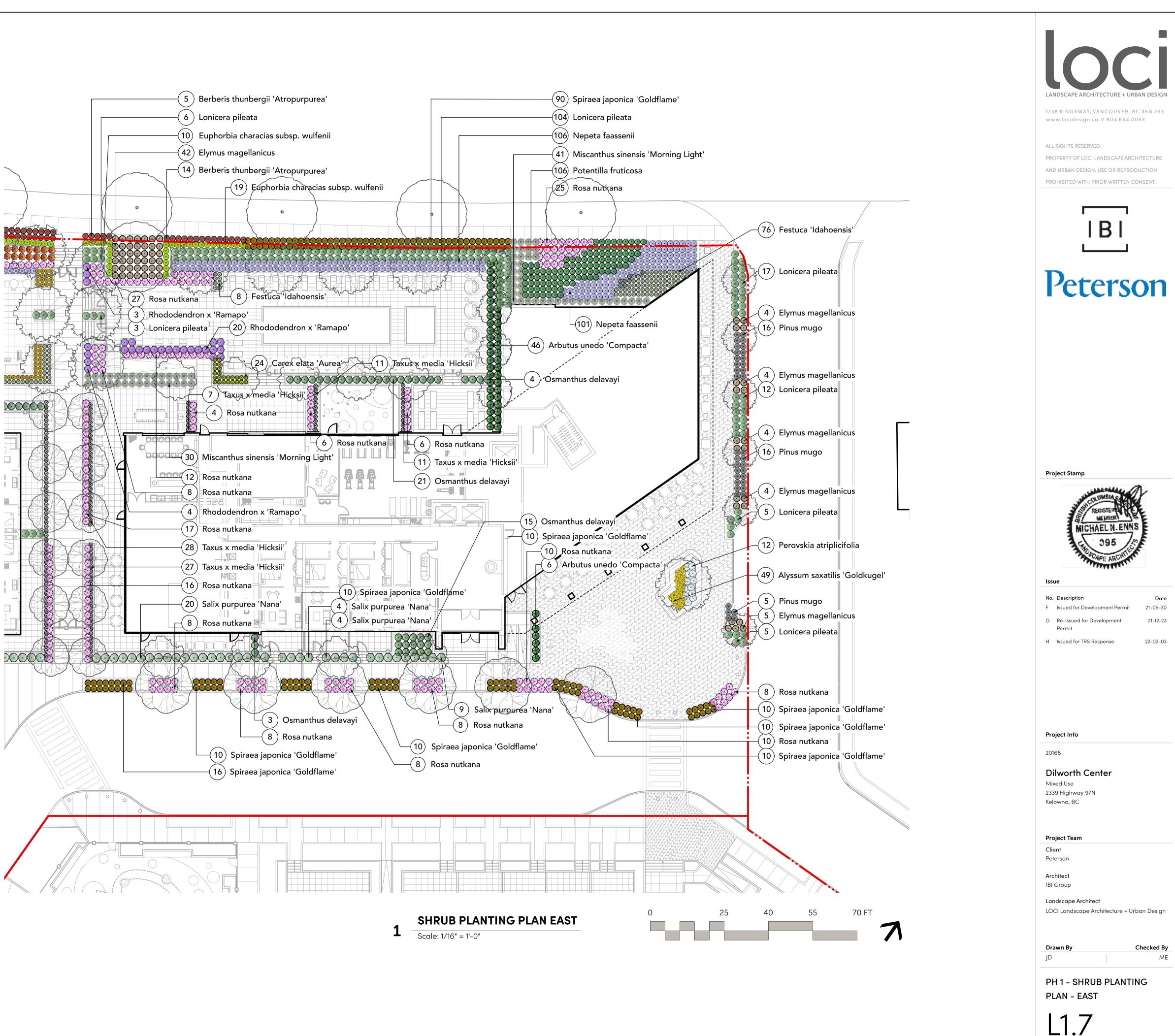
GENERAL PLANTING NOTES:

- 1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION
- 2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
- 3. ROOTZONE TO REST ON TAMPED PLANTING SOIL
- 4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED
- 5. TREE SIZE AND SPACING TO BE AS PER CITY OF VANCOUVER ARBORIST
- 6. TREE: PREPARE PLANTING HOLES AS SPECIFIED INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY.
- 7. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION
- 8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL
- 9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD
- 10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO THE CITY STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
- 11. ALL PLANTING BEDS TO RECEIVE AUTOMATIC DRIP IRRIGATION



GENERAL PLANTING NOTES:

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- 11. ALL PLANTING BEDS TO RECEIVE AUTOMATIC DRIP IRRIGATION



GENERAL IRRIGATION NOTES:

- 1. ALL HATCHED, PLANTED AREAS WILL BE IRRIGATED A SUB-SURFACE DRIP LINE SYSTEM BY NETAFIM USA. NETAFIM IS A CONTINUOUS SELF-CLEANING, RECYCLED CONTENT, PRESSURE COMPENSATING DRIPLING WITH A BUILT IN CHECK VALVE.
- 2. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHRUB OR GROUND COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE AS SHOWN IN THE DETAILS
- 3. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO IRRIGATED UNLESS INDICATED OTHERWISE ON THE DRAWINGS
- 4. SPRINKLER SYSTEM WILL BE BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME ALL RESPONSIBILITY FOR REVISIONS.
- 5. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.
- 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES ETC.
- 7. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
- 8. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO THE INSTALLATION OF ANY ELECTRONIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE-SIDE IRRIGATION FACILITIES. PRESSURE TESTING RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT
- 9. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTRE SPACING, AND ADDITIONAL INFORMATION.
- 10. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS
- 11. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS
- 12. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND IN THIS SHEET.
- 13. SYSTEM TO BE DESIGN BUILD. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ALL WORK.
- 14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS FOR ALL COMPLETED WORK ONCE APPROVED BY LANDSCAPE ARCHITECT.
- 15. IRRIGATION COMMAND CONTROLLER WITH RAIN SENSOR SYSTEM TO BE MOUNTED IN MECHANICAL ROOM.
- 16. ALL PIPE TO BE SCHEDULE 40.
- 17. IRRIGATION CONTROLLER TO BE INSTALLED IN VANDAL RESISTANT METAL LOCK BOX.
- 18. INSTALL PRECISION SOIL SENSOR ON SYSTEM
- 19. ALL PIPING RUNS ARE DIAGRAMMATIC, AVOID TRENCHING NEAR EXISTING TREE DRIP LINE.

GENERAL WATER EFFICIENCY NOTES:

- PLANTINGS.
- LANDSCAPING, INCLUDING TREES AND SHRUBS.
- BE COMPLIANT WITH LOCAL CATCHMENT SYSTEM STANDARDS.
- ENVIRONMENTAL HEALTH.
- OPERATOR THAT SUPPLIES WATER TO THE SITE.
- EXTENT POSSIBLE.

1. WEATHER-BASED IRRIGATION SYSTEM CONTROLLERS SHALL INCLUDE FUNCTIONING SOIL MOISTURE SENSORS AND A RAIN SENSOR AS COMPONENTS OF THE SYSTEM.

2. DRIP IRRIGATION SHALL BE UTILIZED FOR WATERING ALL NON-TURF IRRIGATED

3. ROTATING SPRINKLER NOZZLES SHALL BE UTILIZED FOR TURF IRRIGATION.

4. OVERHEAD SPRAY IRRIGATION SHALL NOT BE USED TO WATER NON-TURF

5. IRRIGATION SYSTEMS SHALL OPERATE WITH AT LEAST 70 PERCENT EFFICIENCY.

6. RAINWATER COLLECTION/IRRIGATION SYSTEMS ARE ENCOURAGED TO SUPPLEMENT IRRIGATION FOR NEW LANDSCAPING. NEW STRUCTURES SHALL BE ENCOURAGED TO INCLUDE ONE OR MORE RAINWATER CISTERNS AND A SYSTEM TO PROVIDE AT LEAST 75 PERCENT OF EXTERIOR IRRIGATION DURING NORMAL RAINFALL YEARS. SYSTEMS MUST

7. GREYWATER COLLECTION/IRRIGATION SYSTEMS ARE ENCOURAGED TO SUPPLEMENT IRRIGATION FOR NEW LANDSCAPING. SYSTEMS MUST BE COMPLIANT WITH LOCAL CATCHMENT SYSTEM STANDARDS, INCLUDING MONTEREY COUNTY DEPARTMENT OF

8. ALL SITES UTILIZING A GREYWATER REUSE SYSTEM SHALL INSTALL AND MAINTAIN A BACKFLOW PREVENTION DEVICE AS REQUIRED BY ANY WATER DISTRIBUTION SYSTEM

9. THE IMPLEMENTATION OF WATER CONSERVATION BEST MANAGEMENT PRACTICIES SHALL BE INTEGRATED INTO CONSTRUCTION AND OPERATION OF THE PROJECT TO THE

HYDROZONES LEGEND

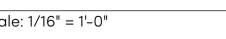
SYMBOL	

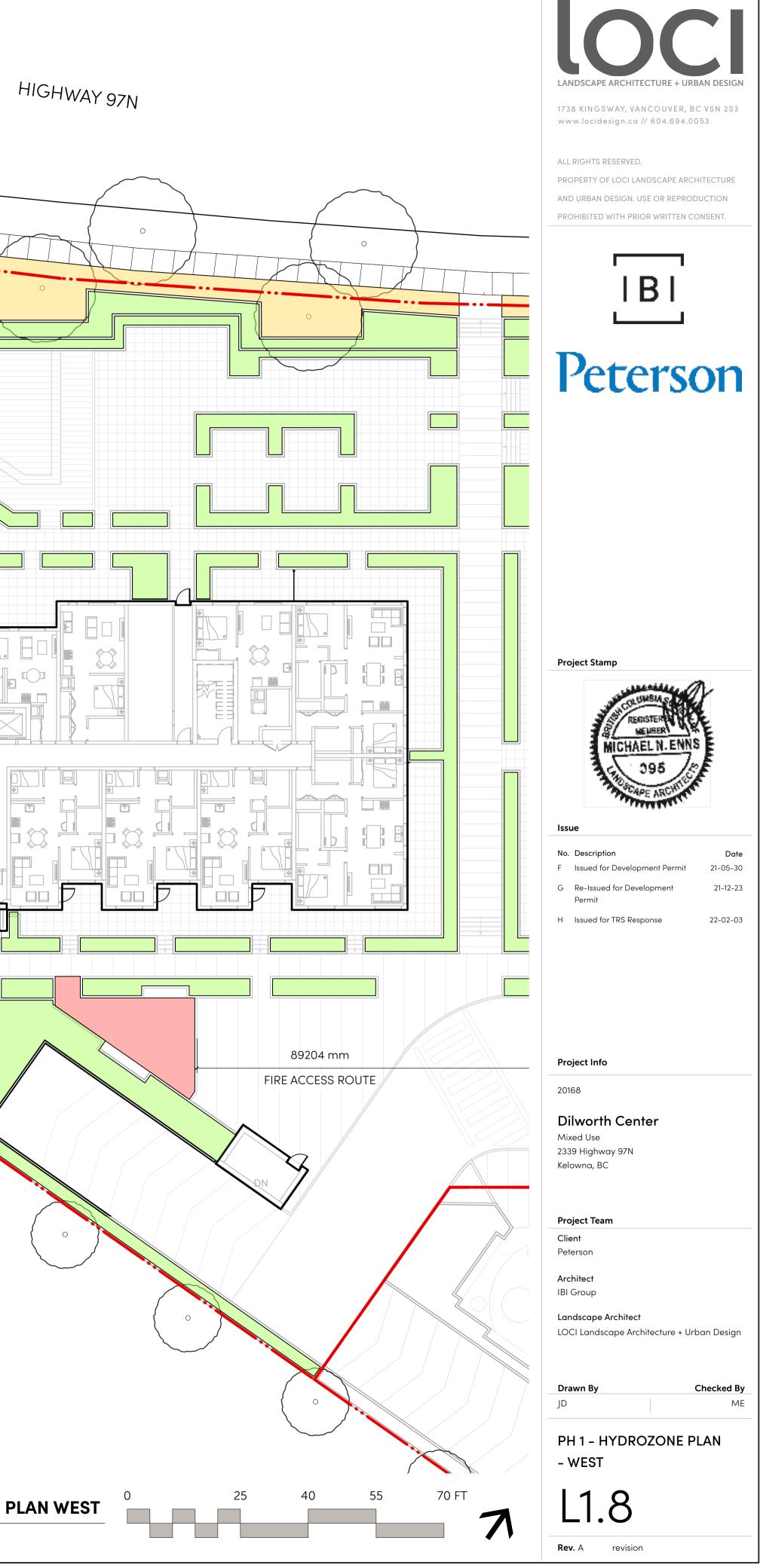
DESCRIPTION	PLANT	IRRIGATION		
LOW WATER USE AREA WITH DRIP IRRIGATION	FACTOR 0.3	EFFICIENCY 0.9		
MEDIUM WATER USE AREA WITH DRIP IRRIGATION	0.5	0.9		
WATERED TURF AREA WITH SPRAY IRRIGATION	1.0	0.7		
SWIMMING POOL AREA	1.0	1.0		
IMPERVIOUS AREA + BUILDING FOOTPRINT	N/A	N/A		

NOTE: REFER TO LANDSCAPE WATER USE APPLICATION AND IRRIGATION APPLICATION FORMS FOR HYDROZONE AREA CALCULATIONS

HYDROZONE + IRRIGATION PLAN WEST

Scale: 1/16" = 1'-0"





HYDROZONES LEGEND

SYMBOL	DESCRIPTION	PLANT FACTOR	IRRIGATION
	LOW WATER USE AREA WITH DRIP IRRIGATION	0.3	0.9
	MEDIUM WATER USE AREA WITH DRIP IRRIGATION	0.5	0.9
	WATERED TURF AREA WITH SPRAY IRRIGATION	1.0	0.7
	SWIMMING POOL AREA	1.0	1.0
	IMPERVIOUS AREA + BUILDING FOOTPRINT	N/A	N/A

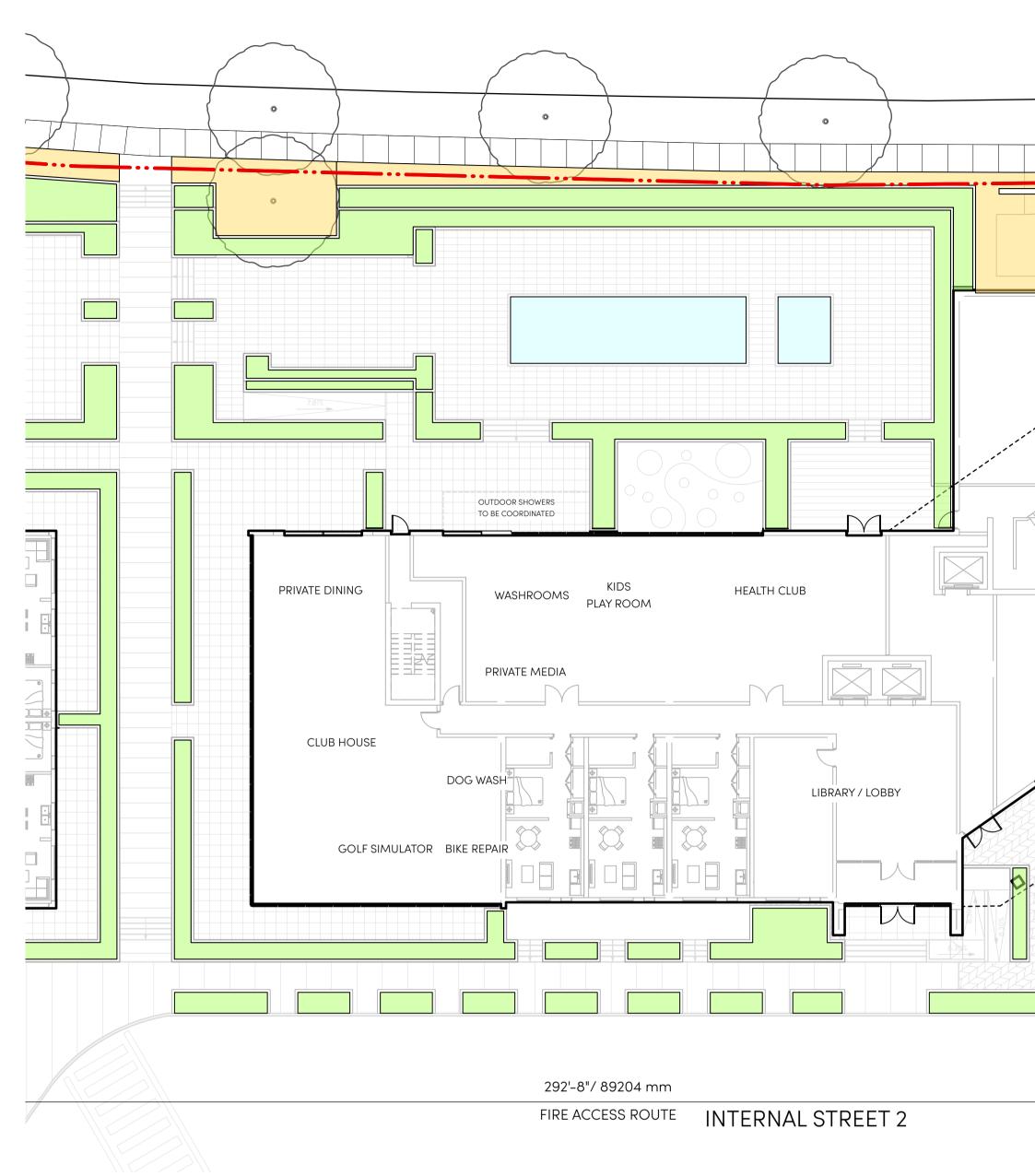
NOTE: REFER TO LANDSCAPE WATER USE APPLICATION AND IRRIGATION APPLICATION FORMS FOR HYDROZONE AREA CALCULATIONS

GENERAL IRRIGATION NOTES:

- 1. ALL HATCHED, PLANTED AREAS WILL BE IRRIGATED A SUB-SURFACE DRIP LINE SYSTEM BY NETAFIM USA. NETAFIM IS A CONTINUOUS SELF-CLEANING, RECYCLED CONTENT, PRESSURE COMPENSATING DRIPLING WITH A BUILT IN CHECK VALVE.
- 2. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHRUB OR GROUND COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE AS SHOWN IN THE DETAILS
- 3. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO IRRIGATED UNLESS INDICATED OTHERWISE ON THE DRAWINGS
- 4. SPRINKLER SYSTEM WILL BE BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME ALL RESPONSIBILITY FOR REVISIONS.
- 5. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.
- 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES ETC.
- 7. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
- 8. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO THE INSTALLATION OF ANY ELECTRONIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE-SIDE IRRIGATION FACILITIES. PRESSURE TESTING RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT
- 9. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTRE SPACING, AND ADDITIONAL INFORMATION.
- 10. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS
- 11. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS
- 12. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND IN THIS SHEET.
- 13. SYSTEM TO BE DESIGN BUILD. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ALL WORK.
- 14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS FOR ALL COMPLETED WORK ONCE APPROVED BY LANDSCAPE ARCHITECT.
- 15. IRRIGATION COMMAND CONTROLLER WITH RAIN SENSOR SYSTEM TO BE MOUNTED IN MECHANICAL ROOM.
- 16. ALL PIPE TO BE SCHEDULE 40.
- 17. IRRIGATION CONTROLLER TO BE INSTALLED IN VANDAL RESISTANT METAL LOCK BOX.
- 18. INSTALL PRECISION SOIL SENSOR ON SYSTEM
- 19. ALL PIPING RUNS ARE DIAGRAMMATIC, AVOID TRENCHING NEAR EXISTING TREE DRIP LINE.

GENERAL WATER EFFICIENCY NOTES:

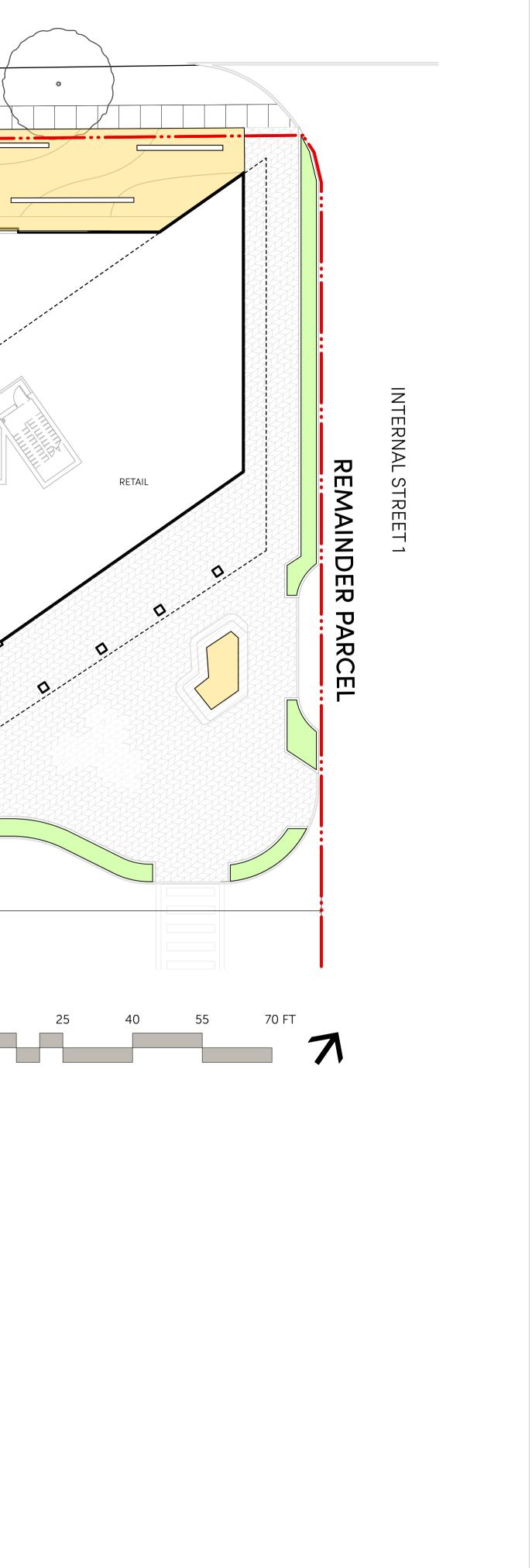
- 1. WEATHER-BASED IRRIGATION SYSTEM CONTROLLERS SHALL INCLUDE FUNCTIONING SOIL MOISTURE SENSORS AND A RAIN SENSOR AS COMPONENTS OF THE SYSTEM.
- PLANTINGS.
- 3. ROTATING SPRINKLER NOZZLES SHALL BE UTILIZED FOR TURF IRRIGATION.
- 4. OVERHEAD SPRAY IRRIGATION SHALL NOT BE USED TO WATER NON-TURF LANDSCAPING, INCLUDING TREES AND SHRUBS.
- 5. IRRIGATION SYSTEMS SHALL OPERATE WITH AT LEAST 70 PERCENT EFFICIENCY.
- 6. RAINWATER COLLECTION/IRRIGATION SYSTEMS ARE ENCOURAGED TO SUPPLEMENT IRRIGATION FOR NEW LANDSCAPING. NEW STRUCTURES SHALL BE ENCOURAGED TO INCLUDE ONE OR MORE RAINWATER CISTERNS AND A SYSTEM TO PROVIDE AT LEAST 75 PERCENT OF EXTERIOR IRRIGATION DURING NORMAL RAINFALL YEARS. SYSTEMS MUST BE COMPLIANT WITH LOCAL CATCHMENT SYSTEM STANDARDS.
- 7. GREYWATER COLLECTION/IRRIGATION SYSTEMS ARE ENCOURAGED TO SUPPLEMENT IRRIGATION FOR NEW LANDSCAPING. SYSTEMS MUST BE COMPLIANT WITH LOCAL CATCHMENT SYSTEM STANDARDS, INCLUDING MONTEREY COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH.
- 8. ALL SITES UTILIZING A GREYWATER REUSE SYSTEM SHALL INSTALL AND MAINTAIN A BACKFLOW PREVENTION DEVICE AS REQUIRED BY ANY WATER DISTRIBUTION SYSTEM OPERATOR THAT SUPPLIES WATER TO THE SITE.
- EXTENT POSSIBLE.



2. DRIP IRRIGATION SHALL BE UTILIZED FOR WATERING ALL NON-TURF IRRIGATED

9. THE IMPLEMENTATION OF WATER CONSERVATION BEST MANAGEMENT PRACTICIES SHALL BE INTEGRATED INTO CONSTRUCTION AND OPERATION OF THE PROJECT TO THE

- **HYDROZONE + IRRIGATION PLAN EAST** Scale: 1/16" = 1'-0"









FENCE + GATE PLAN WEST **1** Scale: 1/16" = 1'-0"

HIGHWAY 97N



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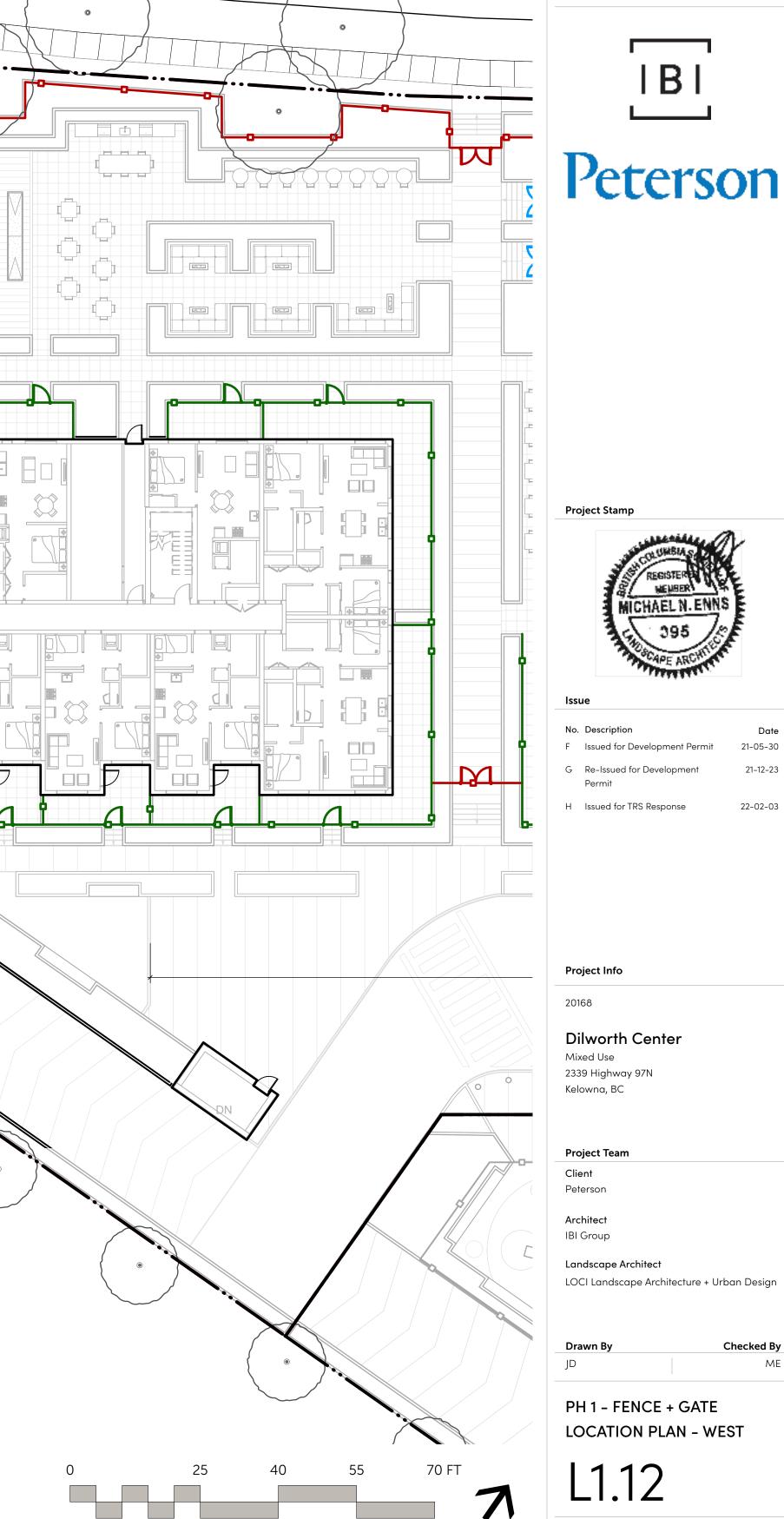


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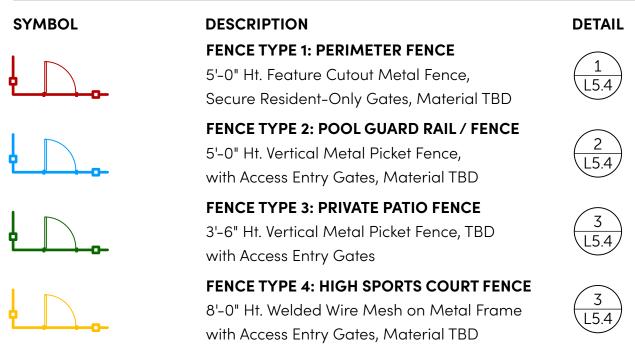


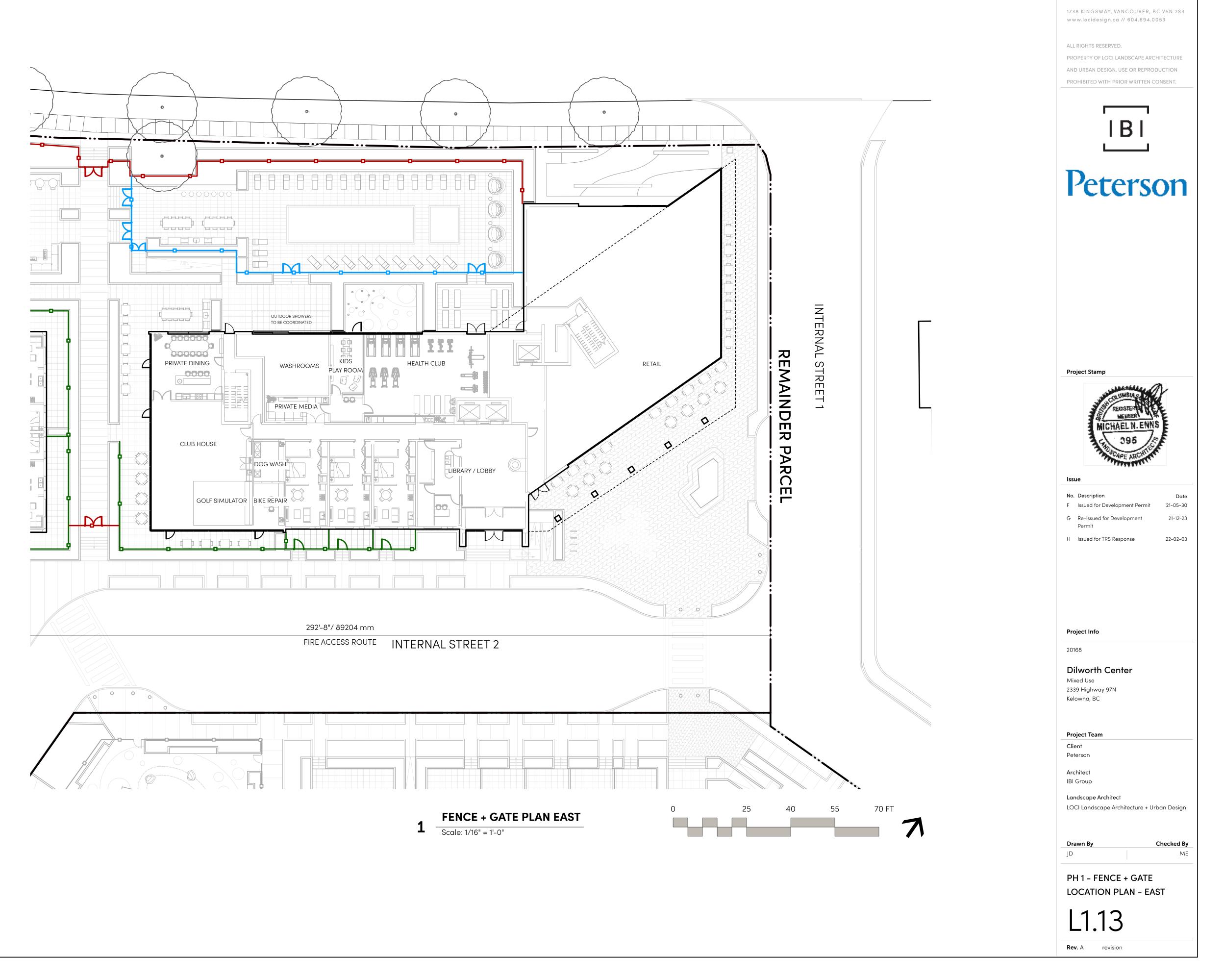
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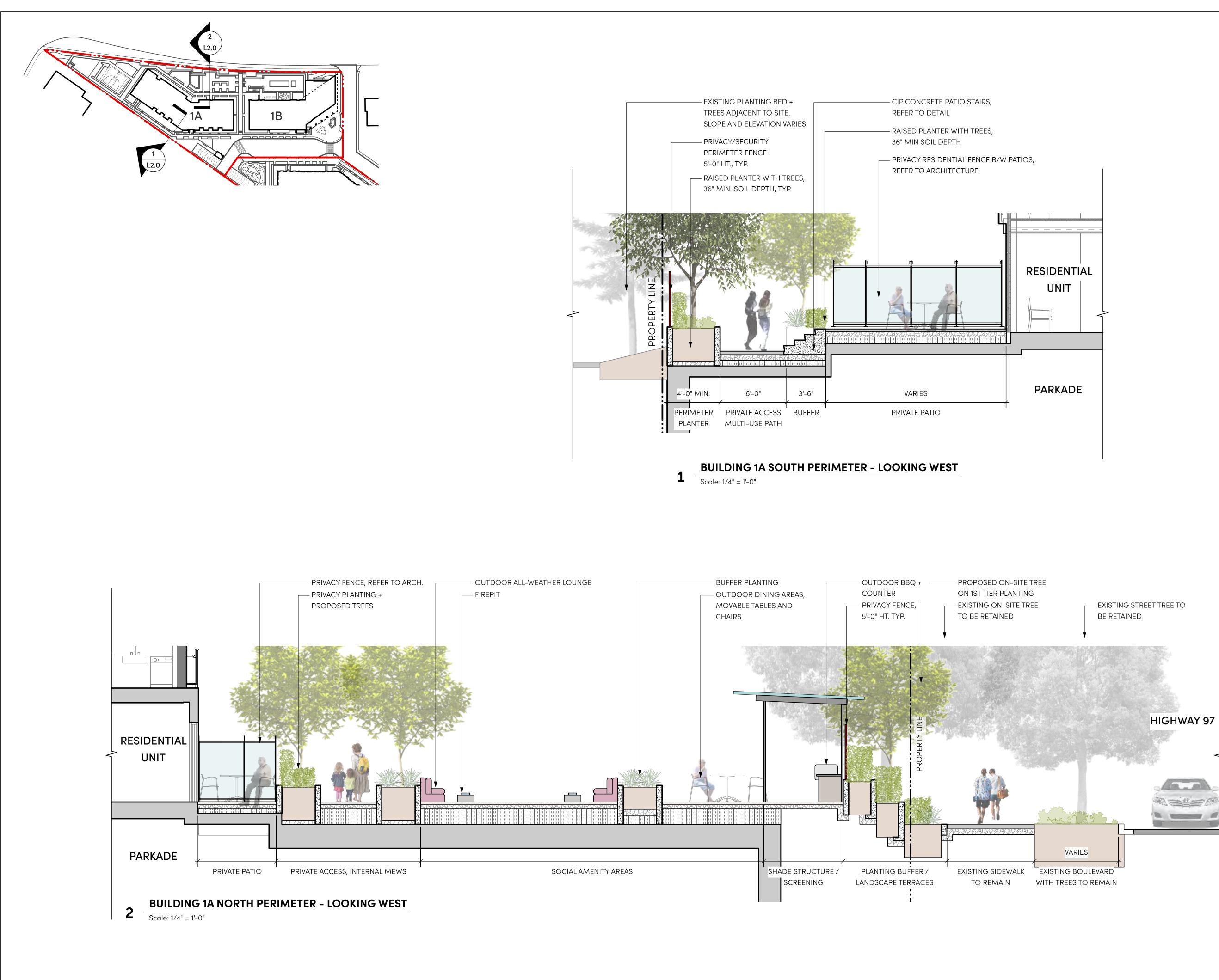
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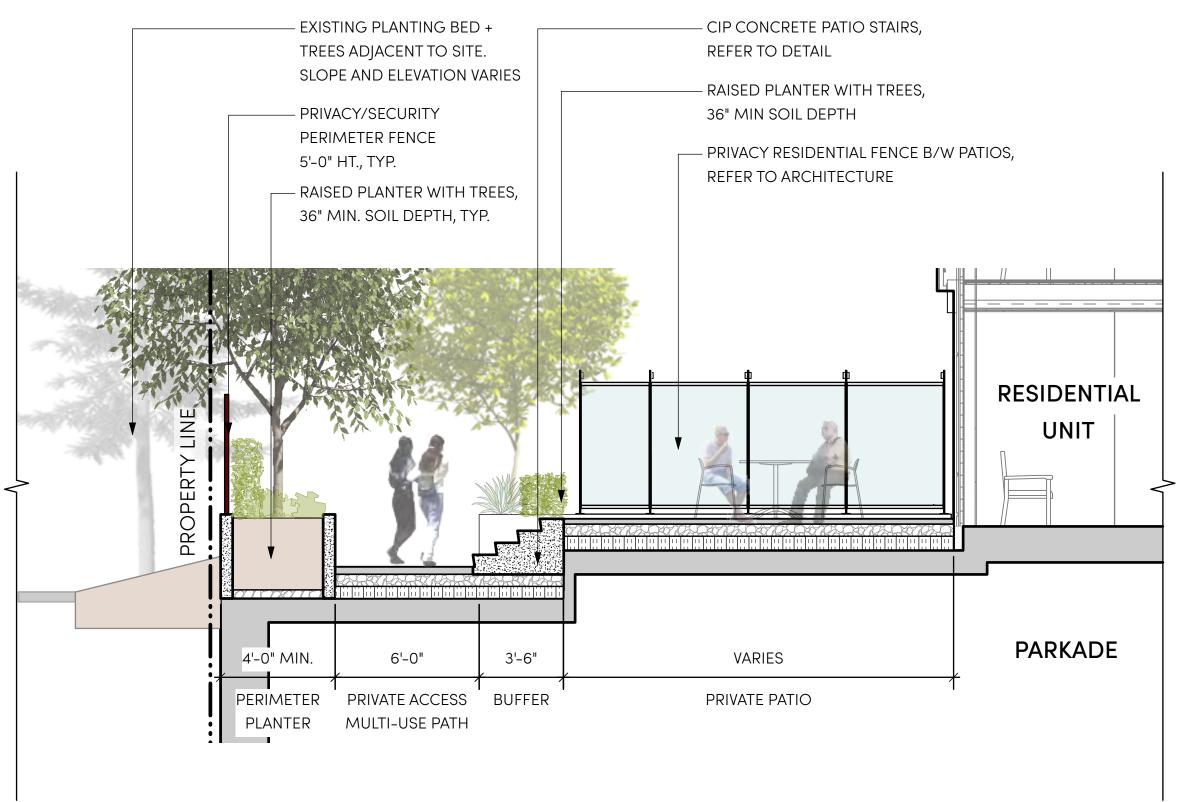
FENCE AND GATES LEGEND





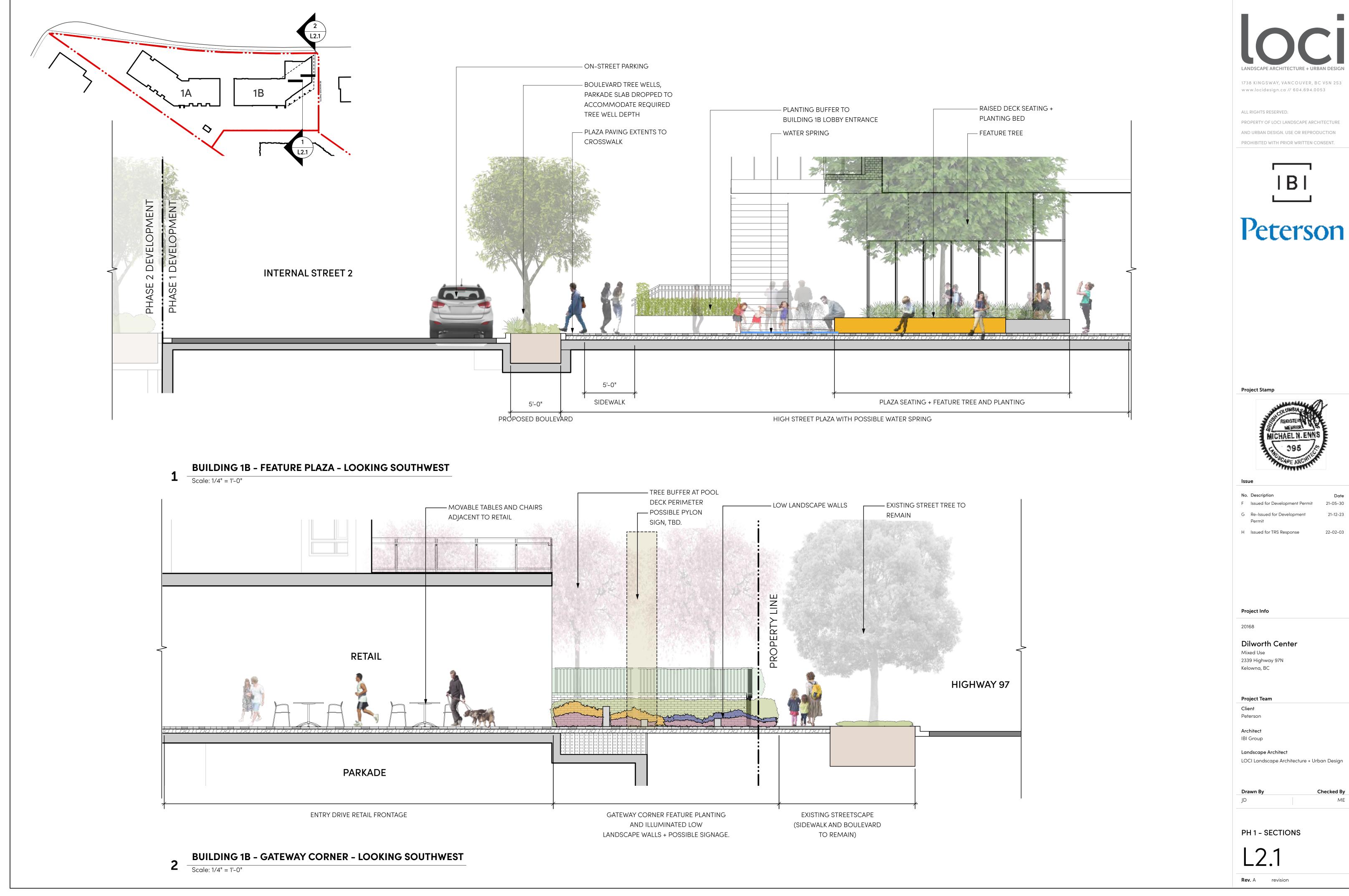
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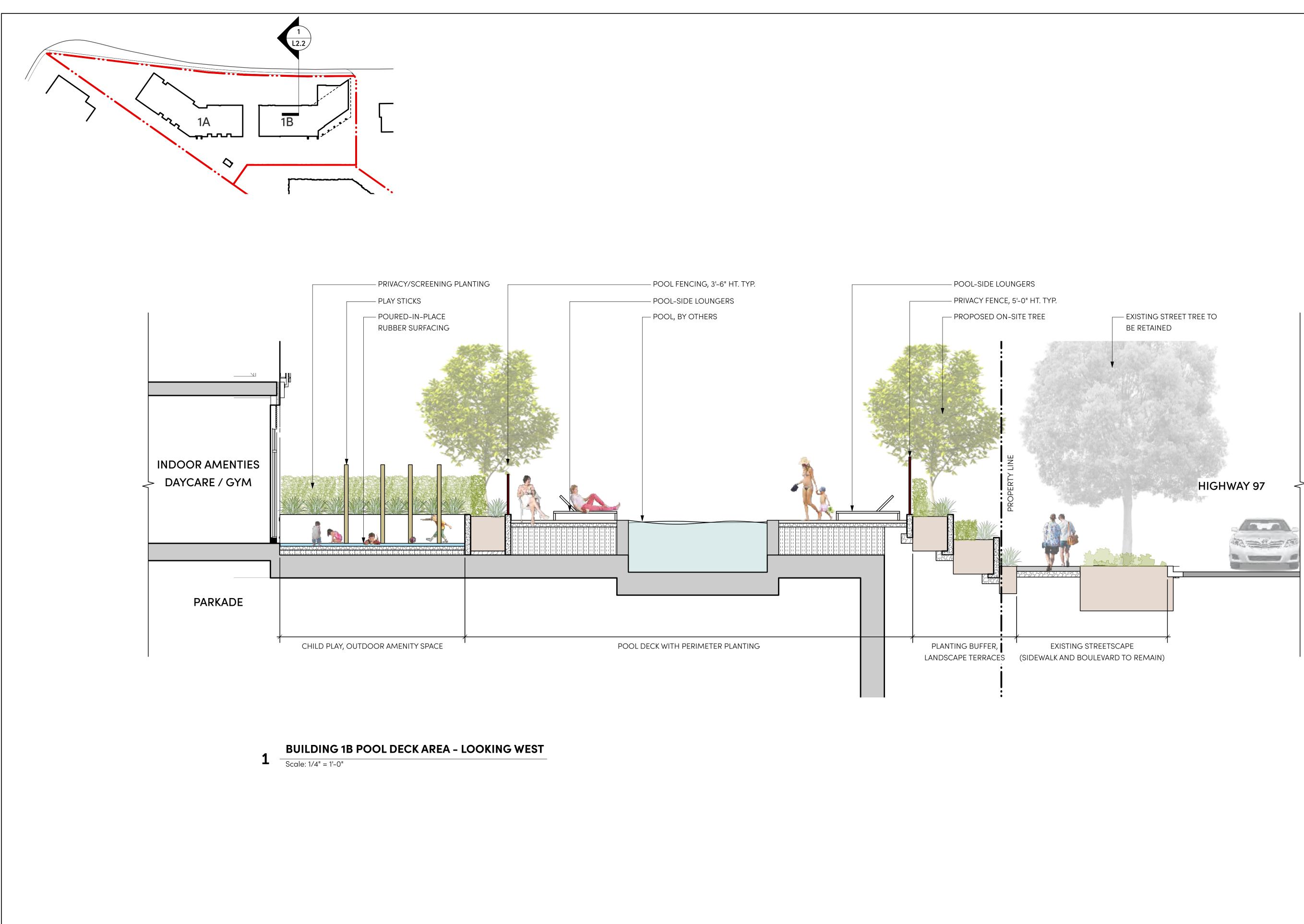


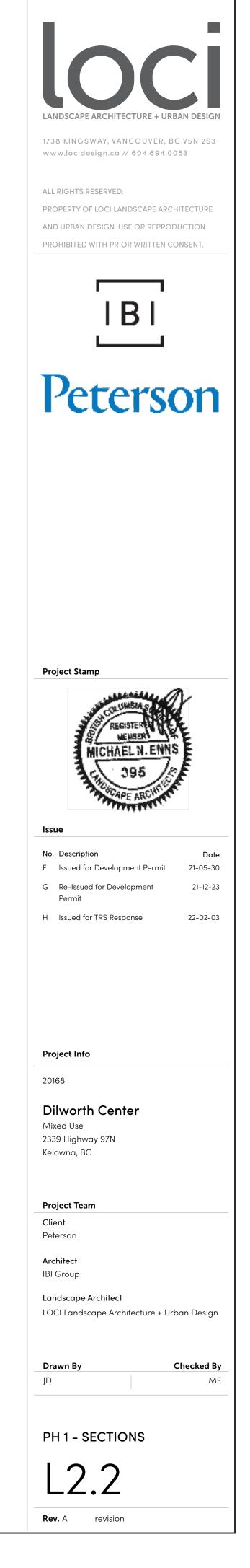




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PHASE 1 - OVERALL PLANT LIST

Symbol DECIDUOUS TF	-	y Latin Name	Common Name	Scheduled Size	Spacing	Notes	Symbol SHRUBS:	Quantity	Latin Name	Common Name
	12	Acer griseum	Paperbark Maple	6cm cal.	As Shown	B&B		104	Arbutus unedo 'Compacta'	Compact Strawberry Bush
	13	Acer rubrum 'Morgan'	Morgan Red Maple	7cm cal.	As Shown	B&B		44	Artemesia tridentata	Big Sagebrush
			inorgan Roa mapio					185	Berberis thunbergii 'Atropurpurea'	Japanese Barberry
	1	Catalpa speciosa	Northern Catalpa	10cm cal.	As Shown	B&B Specimen	- Č	130	Cornus sericea 'Kelseyi'	Kelsey's Dwarf Red-Osier Dogwood
	14	Fraxinus 'Autumn Applause'	White Ash	7cm cal.	As Shown	B&B		293	Lonicera pileata	Box-leaf Honeysuckle
	15	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	6cm cal.	As Shown	B&B		148	Osmanthus delavayi	Sweet Olive
								376	Pinus mugo	Mugo Pine
	6	Magnolia kobus	Kobus Magknolia	7cm. cal.	As Shown	B&B		106	Potentilla fruticosa	Bush Cinquefoil
	10	Nyssa sylvatica	Black Tupelo	7cm cal.	As Shown	B&B	Ō	99	Rhododendron x 'Ramapo'	Ramapo Rhododendron
S	12	Prunus x yedoensis	Yoshino Cherry	6cm cal.	As Shown	B&B	Ó	14	Ribes sanguineum	Red Flowering Currant
	28	Pyrus calleryana 'Chanticleer'	Callery Pear	6cm cal.	As Shown	B&B	2 A	350	Rosa nutkana	Nootka Rose
								160	Salix purpurea 'Nana'	Dwarf Arctic Willow
	6	Zelkova serrata 'Musashino'	Columnar Sawleaf Zelkova	6cm cal.	As Shown	Columnar/upright form.	Ŏ	256	Spiraea japonica 'Goldflame'	Japanese Spirea
							ANNO A	382	Taxus x media 'Hicksii'	Hick's Yew

PERENNIALS, GRASSES, GROUNDCOVER:

	49	Alyssum saxatilis 'Goldkugel'	Goldkugel Basket Of Gold
₿ B	236	Aster novae-angliae	New England Aster
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	70	Calamagrostis x acutiflora 'Karl Foerste	er Foerster's Feather Reed Grass
<b>}</b>	24	Carex elata 'Aurea'	Bowles Golden Sedge
Ò	190	Elymus magellanicus	Blue Wheat Grass
	188	Euphorbia characias subsp. wulfenii	Spurge
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	404	Festuca 'Idahoensis'	Idaho fescue
	96	Miscanthus sinensis 'Morning Light'	Silver Grass
	358	Nepeta faassenii	'Cat's Meow' Catmint
Č	12	Perovskia atriplicifolia	Russian Sage
	425	Rudbeckia fulgida 'Goldsturm'	Black-Eyed Susan

NOTES:

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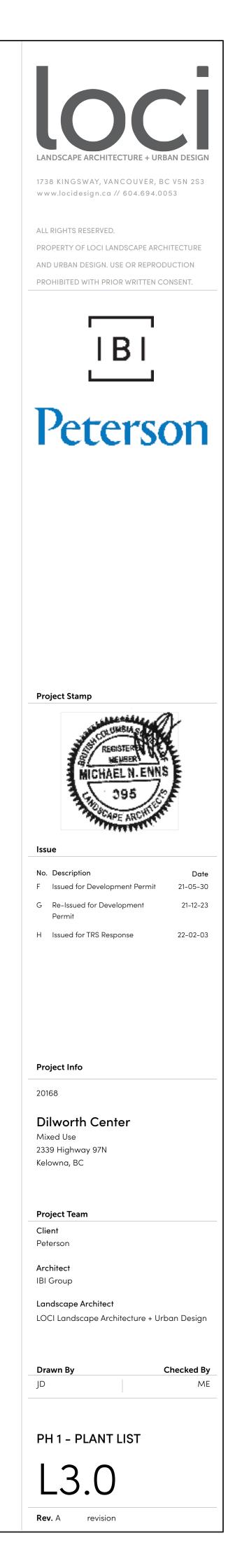
1. ALL PLANT MATERIAL AND LANDSCAPING PRACTICES SHALL BE COMPLIANT WITH THE LATEST EDITION OF THE BCLNA NURSERY STANDARD. 2. IN CASE OF DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL. 3. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. 4. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD. 5. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY STANDARDS, INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED. 6. FINAL LOCATION, QUANTITY, TREE SPECIES TO THE SATISFACTION OF THE CLIENT AND THE LANDSCAPE ARCHITECT. 7. NEW TREE MUST BE OF GOOD STANDARD, MINIMUM 6 CM CALLIPER AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL. 8. ROOT BARRIERS SHALL BE 8'-0" (2.4M) LONG AND 18" (0.46M) DEEP. PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE. NEW STREET TREES TO BE CONFIRMED PRIOR TO ISSUANCE OF THE BUILDING PERMIT.

Scheduled Size	Spacing
#3 Pot	2'6" o.c.
#3 Pot	3'0" o.c.
#2 Pot	2'0" o.c.
#2 Pot	2'6" o.c.
#3 Pot	2'6" o.c.
#3 Pot	2'6" o.c.
#2 Pot	2'0" o.c.
#2 Pot	2'0" o.c.
#3 Pot	2'6" o.c.
#2 Pot	2'6" o.c.
#2 Pot	2'6" o.c.
#3 Pot	3'0" o.c.
#2 Pot	2'0" o.c.
1.25m. ht.	1'6" o.c.
10cm. Pot	1'0" o.c.
#1 Pot	1'6" o.c.
#2 pot	2'0" o.c.
#1 pot	1'6" o.c.
#2 Pot	2'6" o.c.
#2 Pot	2'0" o.c.
#1 pot	1'6" o.c.
#2 Pot	2'6" o.c.
#1 Pot	2'0" o.c.
#2 Pot	2'6" o.c.

Notes

#1 Pot

1'6" o.c.



PHASE 1 PLANT IMAGES

TREES



Acer griseum Paperbark Maple



Acer rubrum 'Morgan' Morgan Red Maple

SHRUBS



Northern Catalpa



Zelkova serrata 'Musashino' Musashino Columnar Zelkova Douglas Fir



Pseudosuga menziesii







Pinus mugo Mugo pine



Potentilla fruticosa Bush Cinquefoil



Prunus laurocerasus 'Otto Luyken' Cherry Laurel



Ramapo Rhododendron

GROUNDCOVERS FERNS PERENNIALS GRASSES



Alyssum saxatilis 'Goldkugel' Boldkugel Basket of Gold



Aster novae-angliae New England Aster



Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass



Perovskia atriplicfolia **Russian Sage**



Rudbeckia fulgida 'Goldstrum' **Blackeyed Susan**



Fraxinus 'Autumn Applause' White Ash



Ginkgo bilboa 'Princeton Sentry' Magnolia kobus **Princeton Sentry** Maidenhair Tree



Kobus Magknolia



Nyssa Sylvatica Black Tupelo



Arbutus unedo 'Compacta' Compact Strawberry Bush



Betebraeisithtrideentoita Big Safebruesh Japanese Barberry





Cornus sericea 'Kelseyi' Dwarf Red Osier Dogwood



Juniperus communis Common Juniper

Rhododendron x 'Ramapo'



Ribes sanguineum **Flowering Red Currant**

and the second second



Rosa nootkatensis Nookta Rose



Rosa rugosa 'John Cabot' Red Climbing Rose



Salix purpurea 'Nana' **Dwarf Arctic Willow**



Carex elata 'Aurea' Bowles' Golden Sedge



Elymus magellanicus **Blue Wheat Grass**



Euphorbia characias subsp. wulfenii Spurge



Festuca idahoensis **Boulder Blue Fescue**





Prunus x Yedoensis Yoshino Cherry



Pyrus calleryana 'Chanticleer' **Callery** Pear



Lonicera pileata Box-leaf Honeysuckle



Osmanthus Delavayi Sweet Olive





Spiraea bumalda 'Goldflame' Taxus x media 'Hicksii" 'Goldflame' Spiraea



'Hick's' Yew



Miscanthus sinensis 'Morning Light' **Chinese Silver Grass**



Nepeta faassenii **Cat's Meow Catmint**

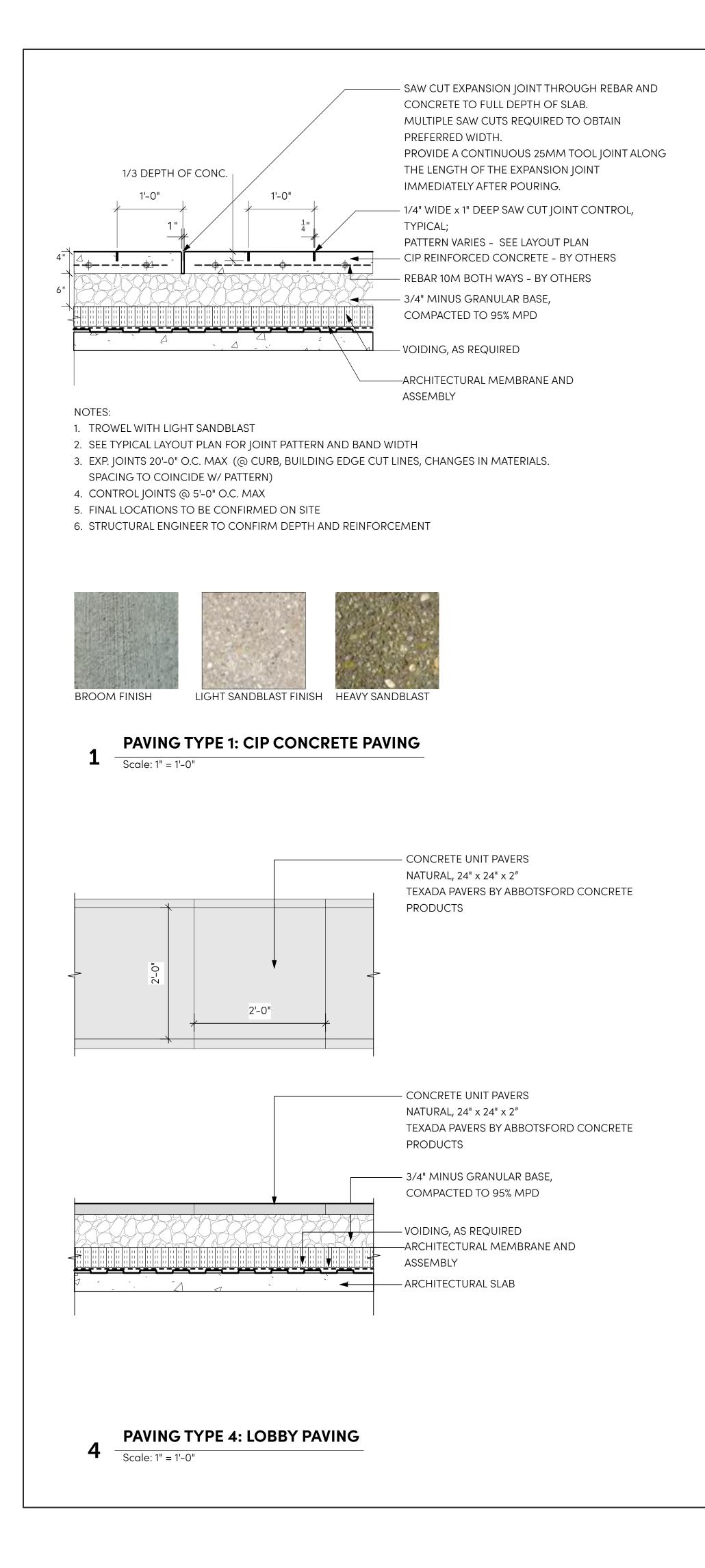


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PAVING TYPE 5: AMENITY PAVING

5 Scale: 1" = 1'-0"

-ARCHITECTURAL MEMBRANE AND ASSEMBLY – ARCHITECTURAL SLAB ◀,

— 1" SAND - 3/4" MINUS GRANULAR BASE, COMPACTED TO 95% MPD – VOIDING, AS REQUIRED

- JOINTING SAND - CONCRETE UNIT PAVER

50% NATURAL

50% CHARCOAL

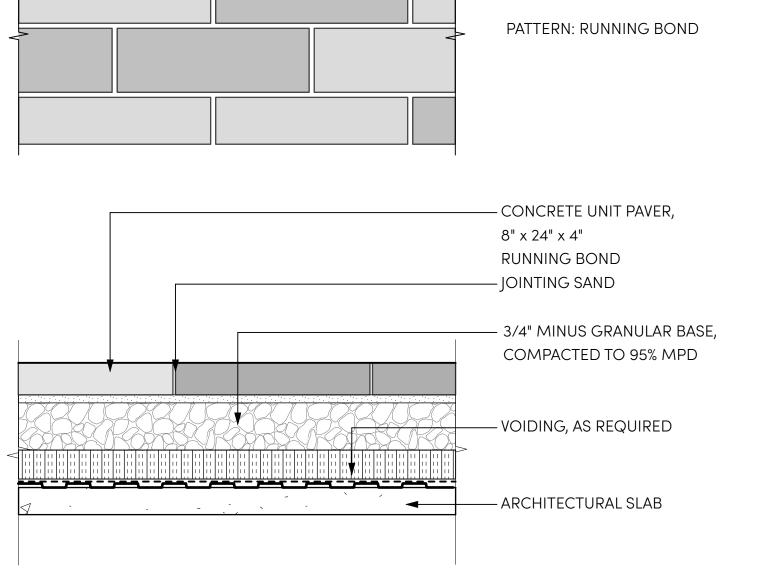
- BROADWAY 65mm CONCRETE UNIT PAVER SUPPLIER: BARKMAN CONCRETE SIZE: 23.62 X 11.81 X 2.56

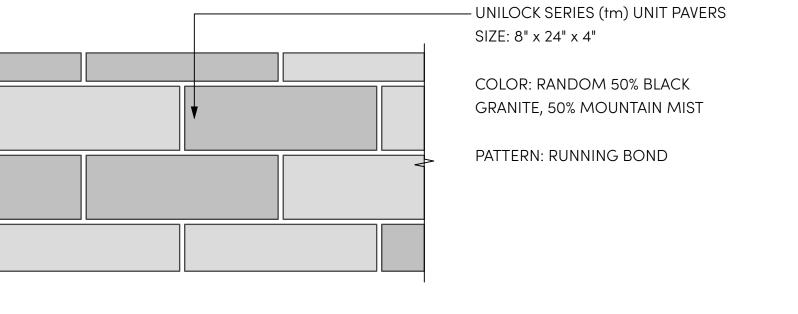
2 Scale: 1" = 1'-0"

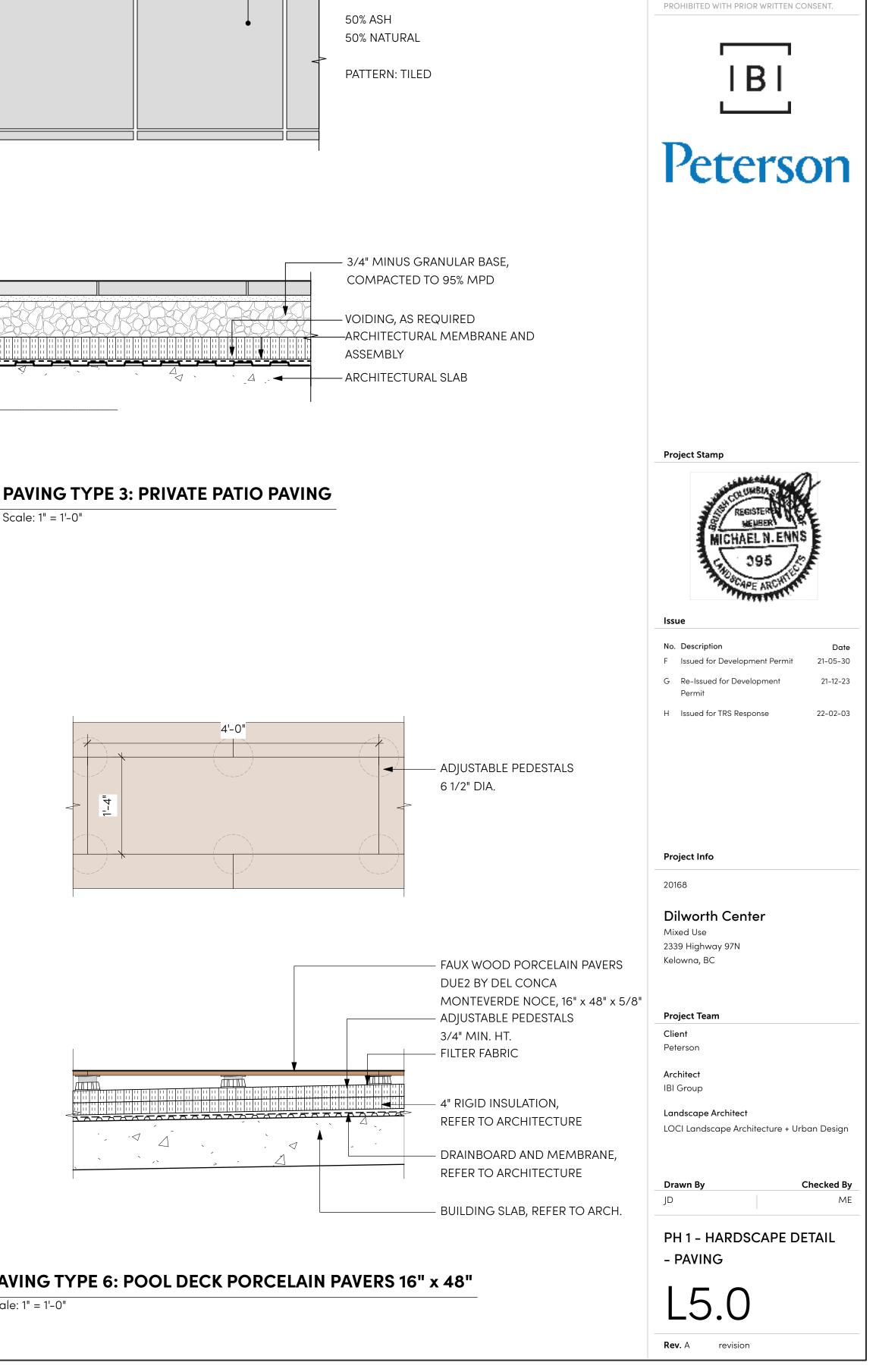
2'-0"

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PAVING TYPE 2: ENTRY MEWS PAVING



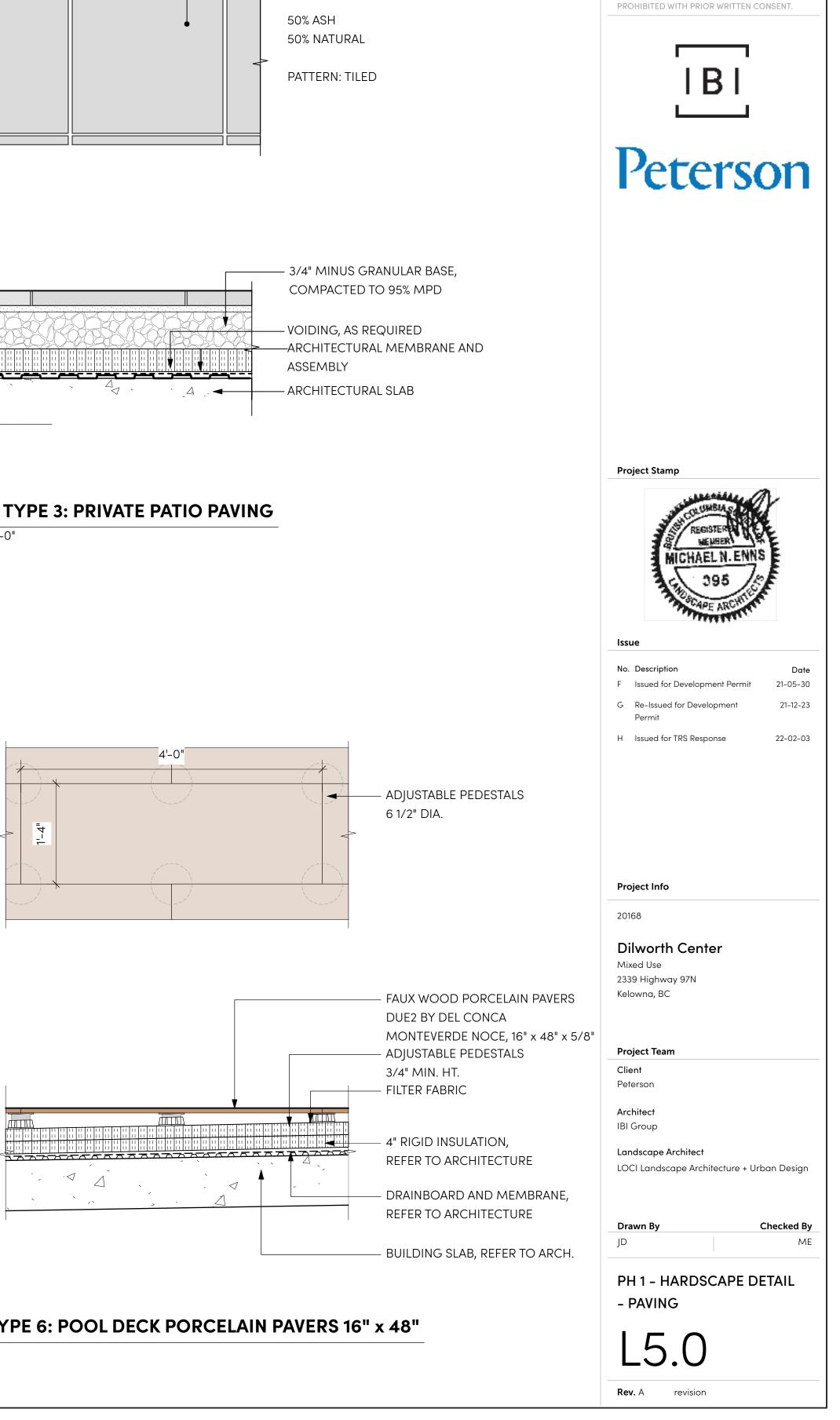


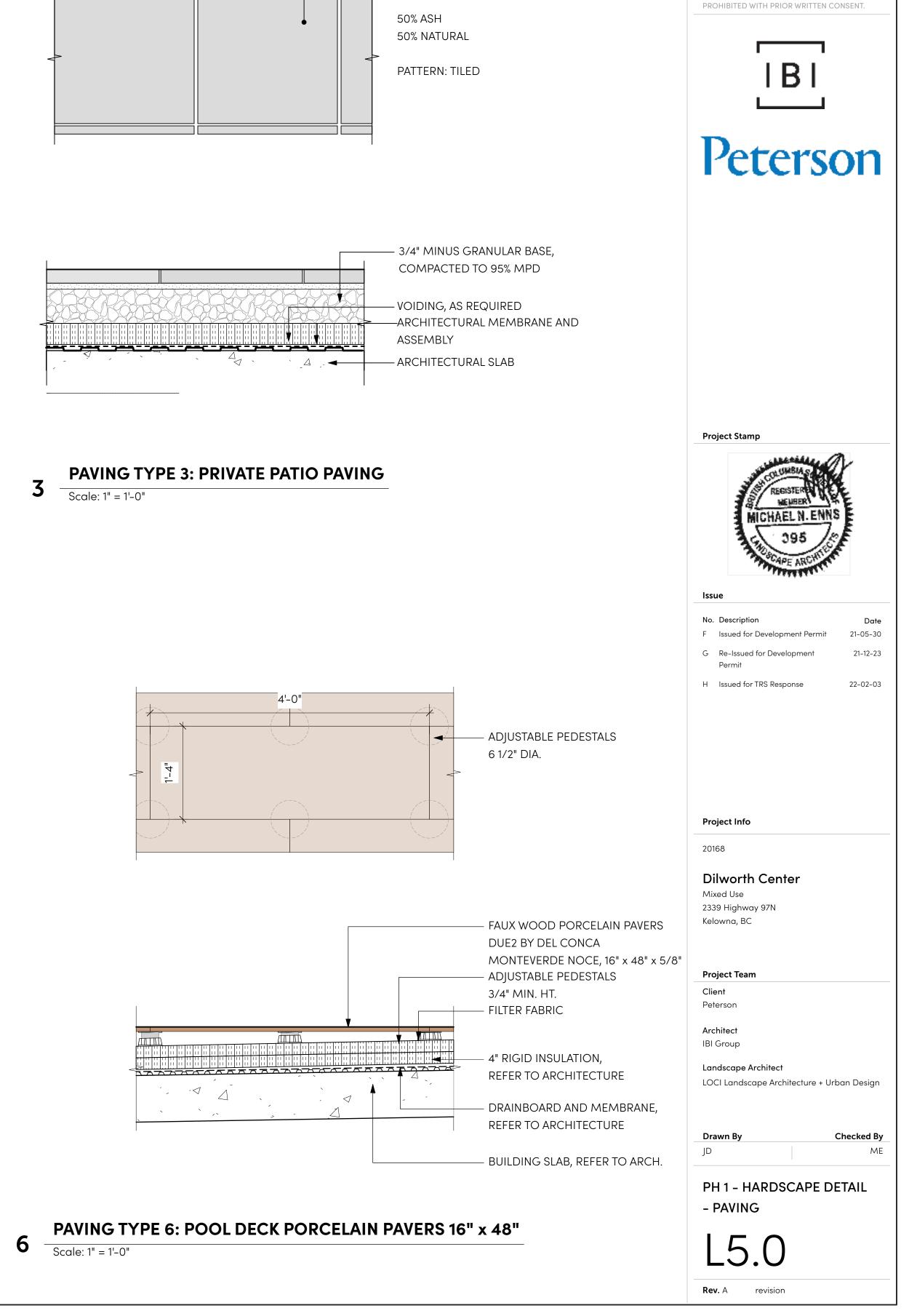


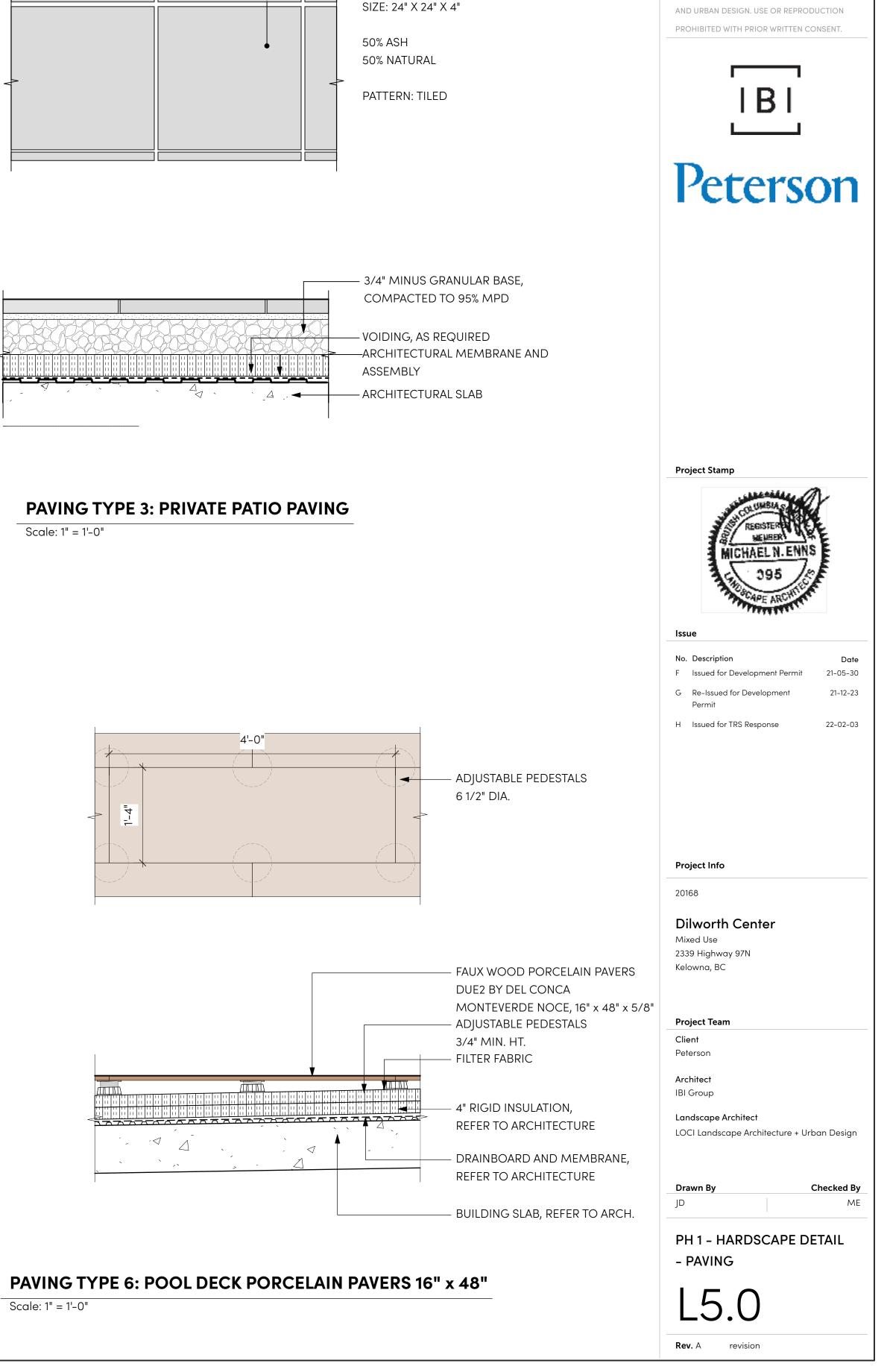
- BROADWAY 65mm CONCRETE UNIT

SUPPLIER: BARKMAN CONCRETE

PAVER







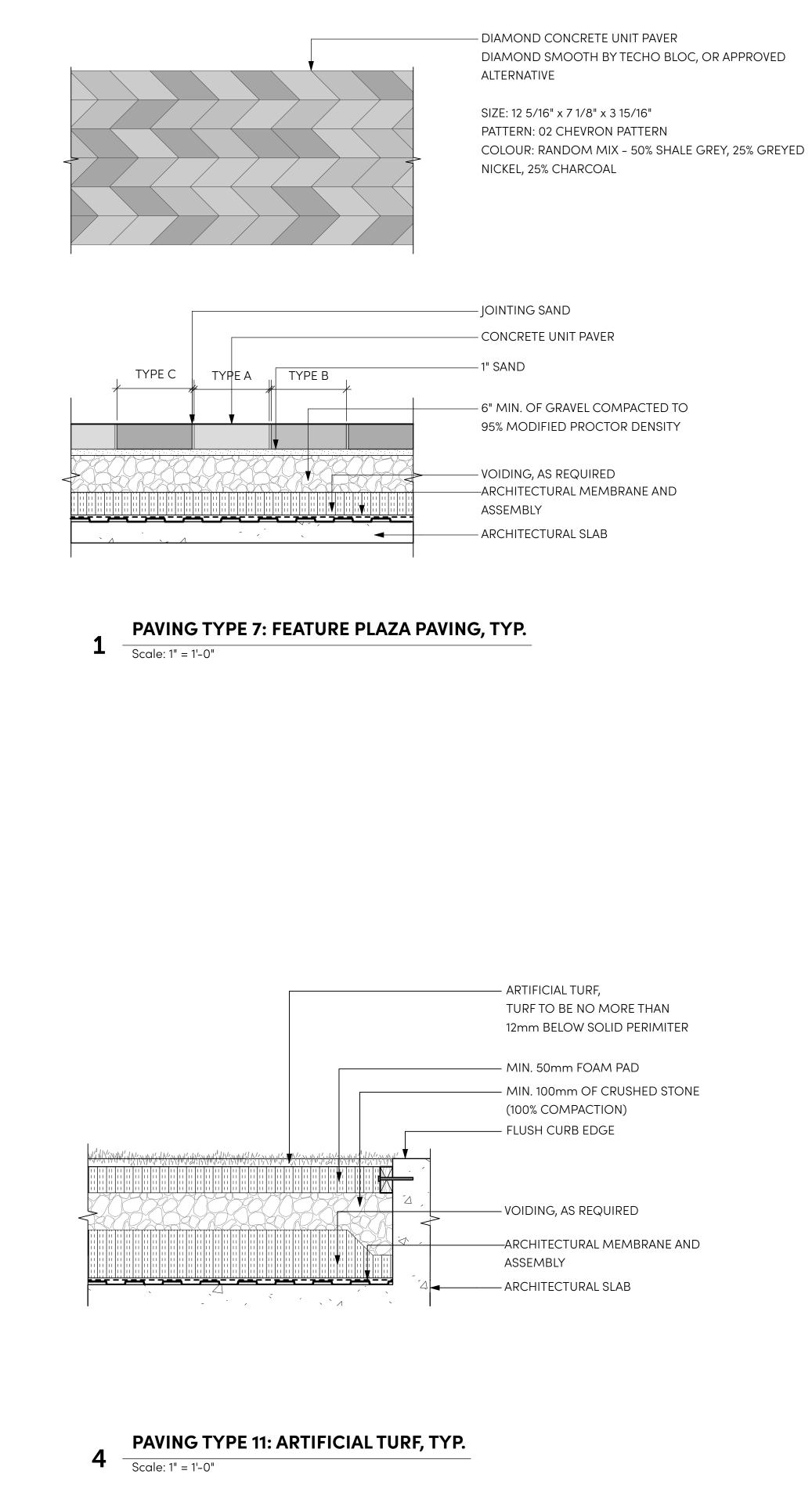
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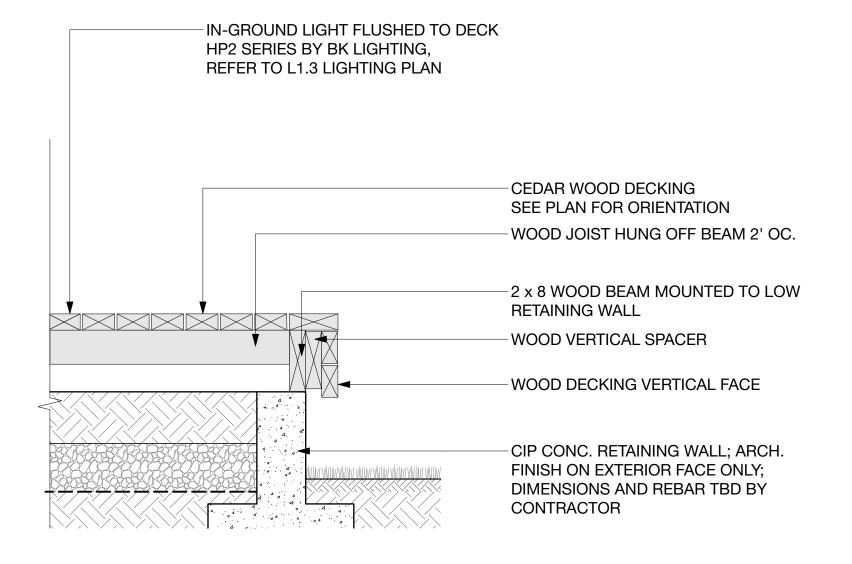
1738 KINGSWAY, VANCOUVER, BC V5N 2S3

PROPERTY OF LOCI LANDSCAPE ARCHITECTURE

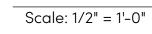
www.locidesign.ca // 604.694.0053

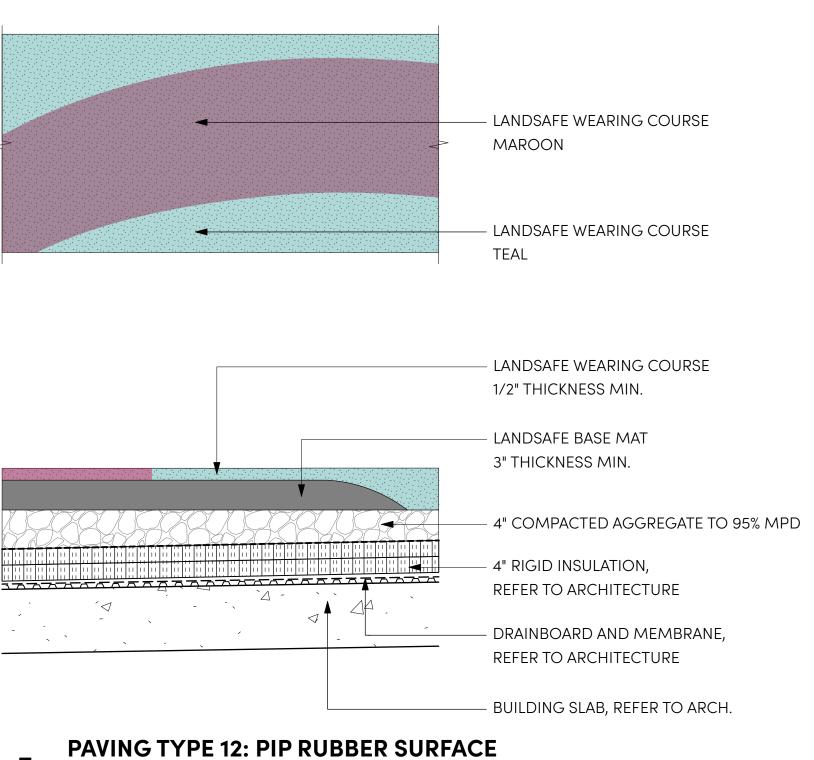
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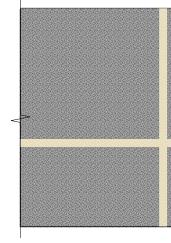


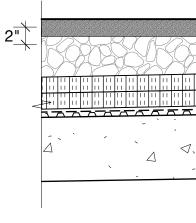




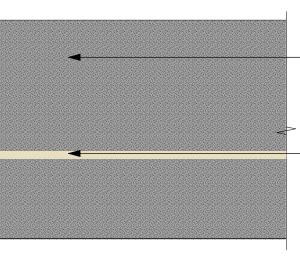


Scale: 1" = 1'-0"

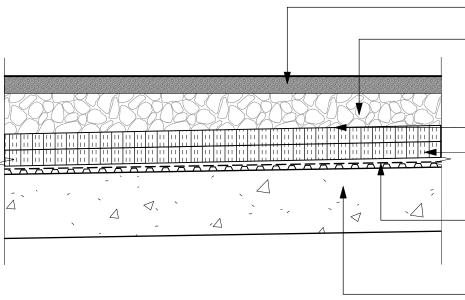












– ASPHALT, TBD

– 4" GRANULAR BASE COMPACTED TO 95% MPD

- FILTER FABRIC - 4" RIGID INSULATION, REFER TO ARCHITECTURE

- DRAINBOARD AND MEMBRANE, REFER TO ARCHITECTURE

BUILDING SLAB, REFER TO ARCH.

PAVING TYPE 10: SPORTS COURT COLOURED ASPHALT, TYP.

Project Stamp	<u>า</u>
MICHAEL N. ENNS	A REPORT OF THE PARTY OF THE PA
No. Description	Date
F Issued for Development PermitG Re-Issued for Development	21-05-30 21-12-23
Permit H Issued for TRS Response	22-02-03
Project Info	
20168	
Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC	
Project Team	
Peterson	
Architect IBI Group	
Landscape Architect LOCI Landscape Architecture + Urb	an Design
Drawn By C	Checked By ME
PH 1 – HARDSCAPE DE – PAVING	TAIL

L5.1

Rev. A revision



1738 KINGSWAY, VANCOUVER, BC V5N 2S3

PROPERTY OF LOCI LANDSCAPE ARCHITECTURE

AND URBAN DESIGN. USE OR REPRODUCTION

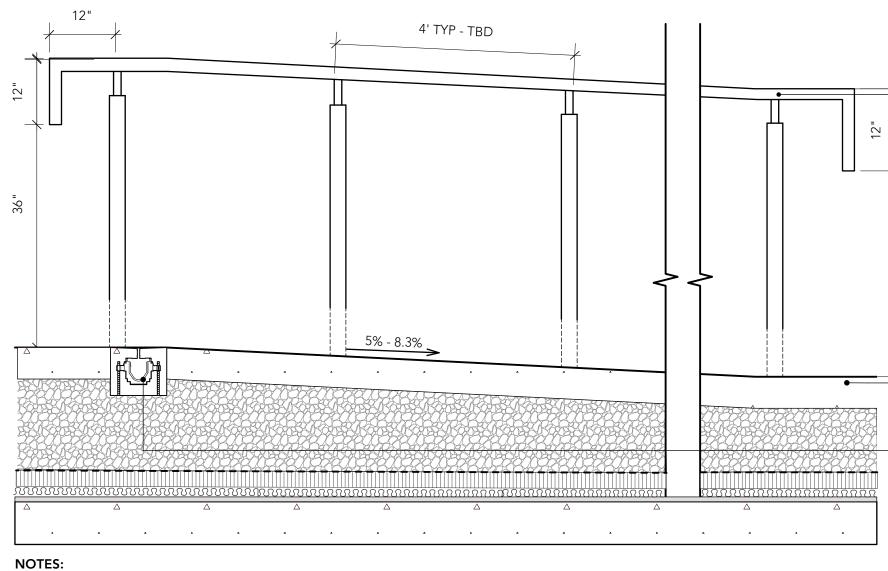
PROHIBITED WITH PRIOR WRITTEN CONSENT.

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Peterson

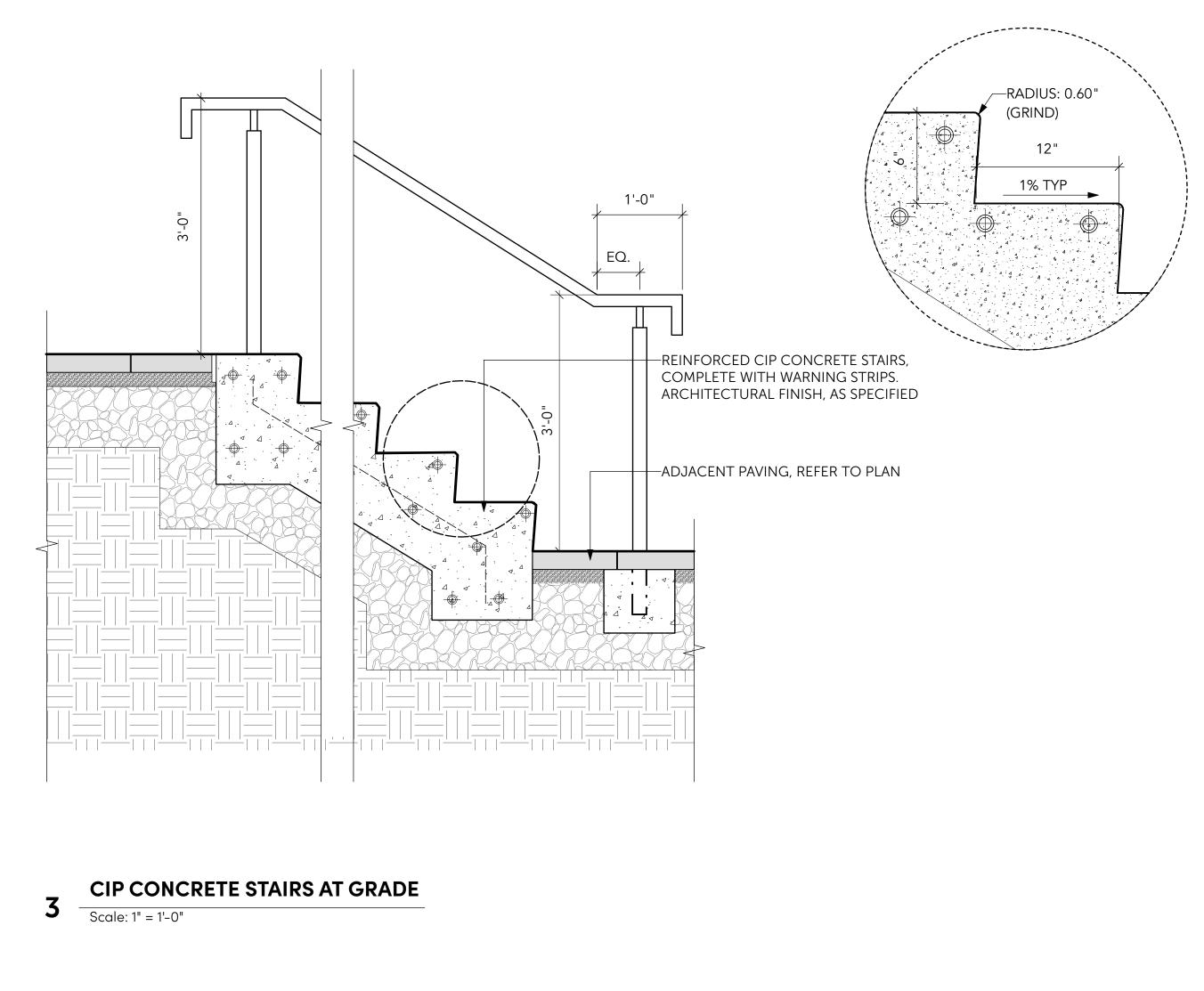
www.locidesign.ca // 604.694.0053

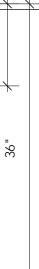
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1. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION

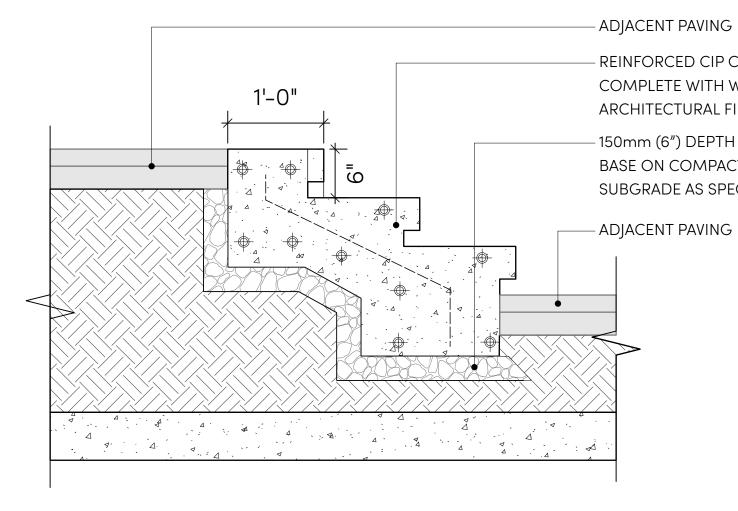




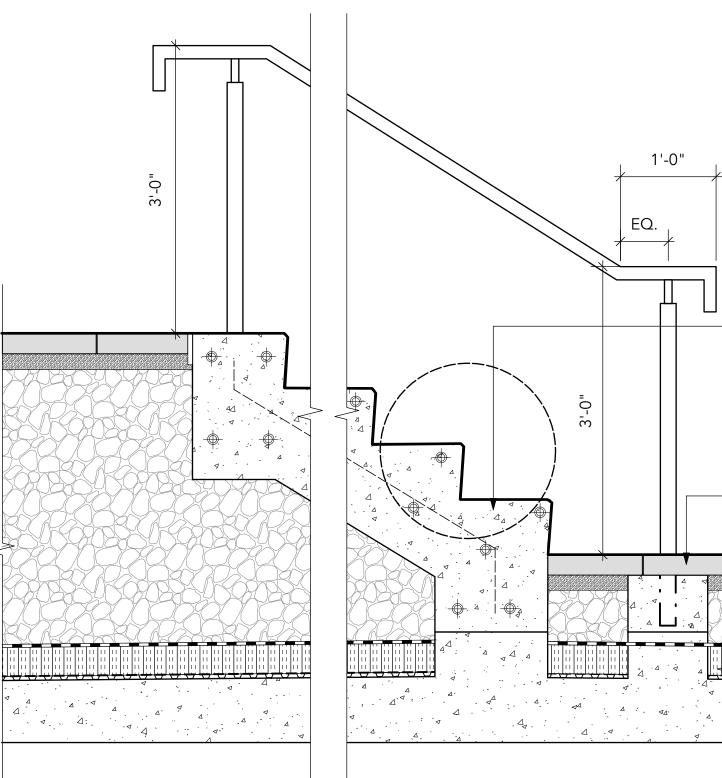


-1-5/8" STRAIGHT STAINLESS STEEL HANDRAIL WITH INTEGRAL LED STRIP LIGHTING; RAIL C/W TOP AND BOTTOM EXTENSIONS, RETURN TO FLOOR, POSTS SURFACE MOUNTED TO CONCRETE PAVING (SEE ARCH / STRUCTURAL FOR MOUNTING DETAILS). C/W ANTI-SKATEBOARD DEVICES (NOT SHOWN)

- CIP CONCRETE RAMP 4" THICK - SEE STRUCTURAL – ZURN LINEAR STRIP DRAIN



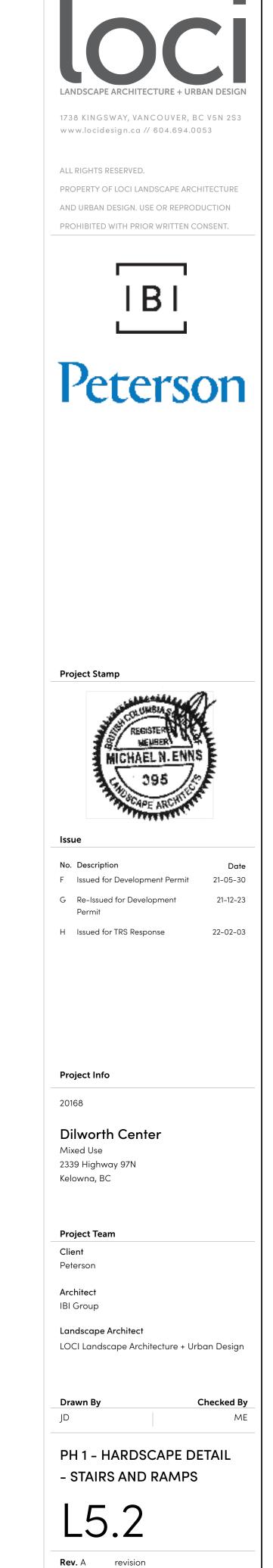


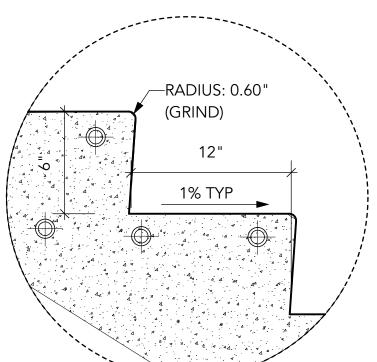


CIP CONCRETE STAIRS ON SLAB 4 Scale: 1" = 1'-0"

- REINFORCED CIP CONCRETE STAIRS COMPLETE WITH WARNING STRIPS; ARCHITECTURAL FINISH AS SPECIFIED

– 150mm (6") DEPTH GRANULAR BASE ON COMPACTED SUBGRADE AS SPECIFIED

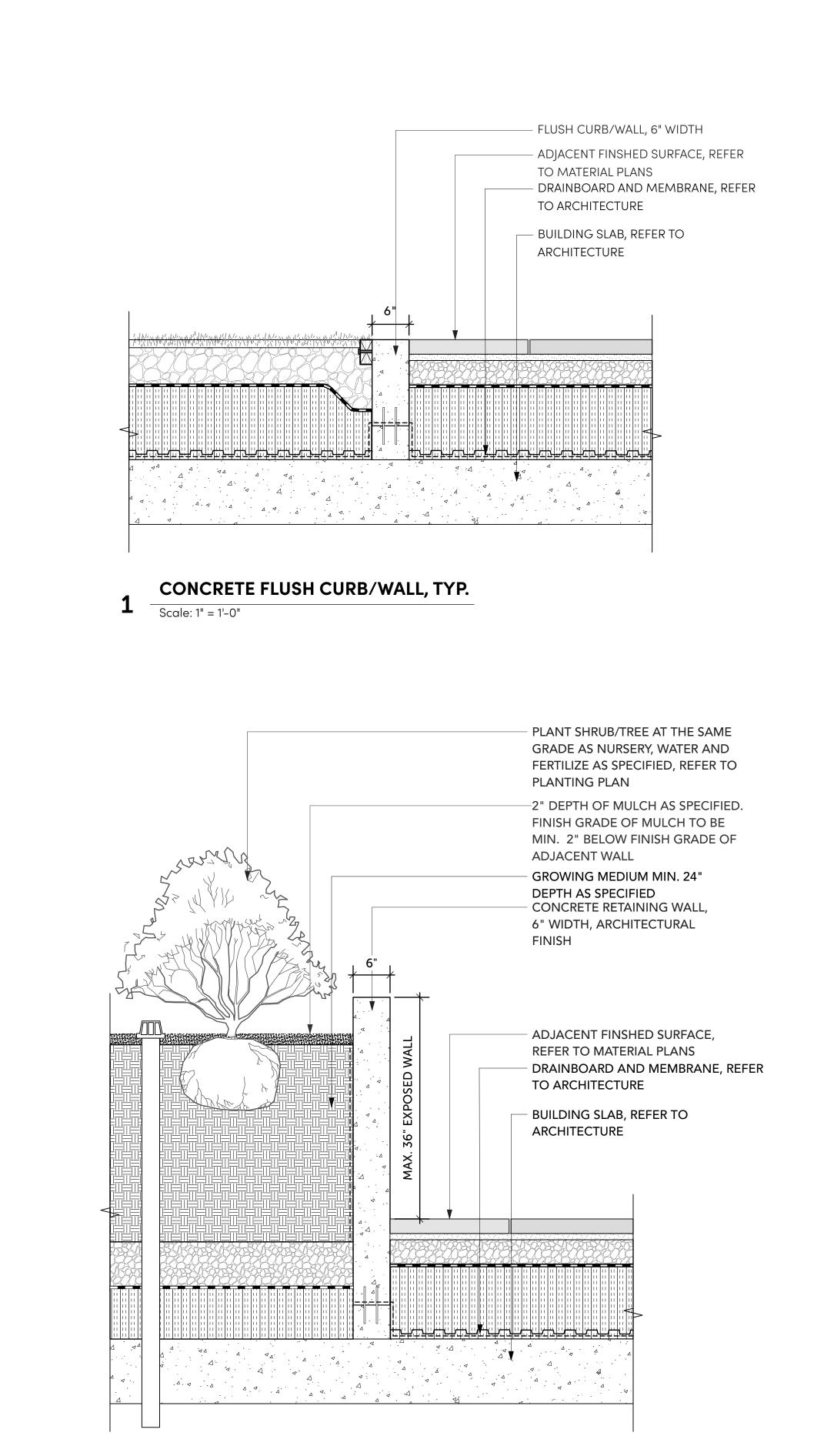




-REINFORCED CIP CONCRETE STAIRS, COMPLETE WITH WARNING STRIPS. ARCHITECTURAL FINISH, AS SPECIFIED

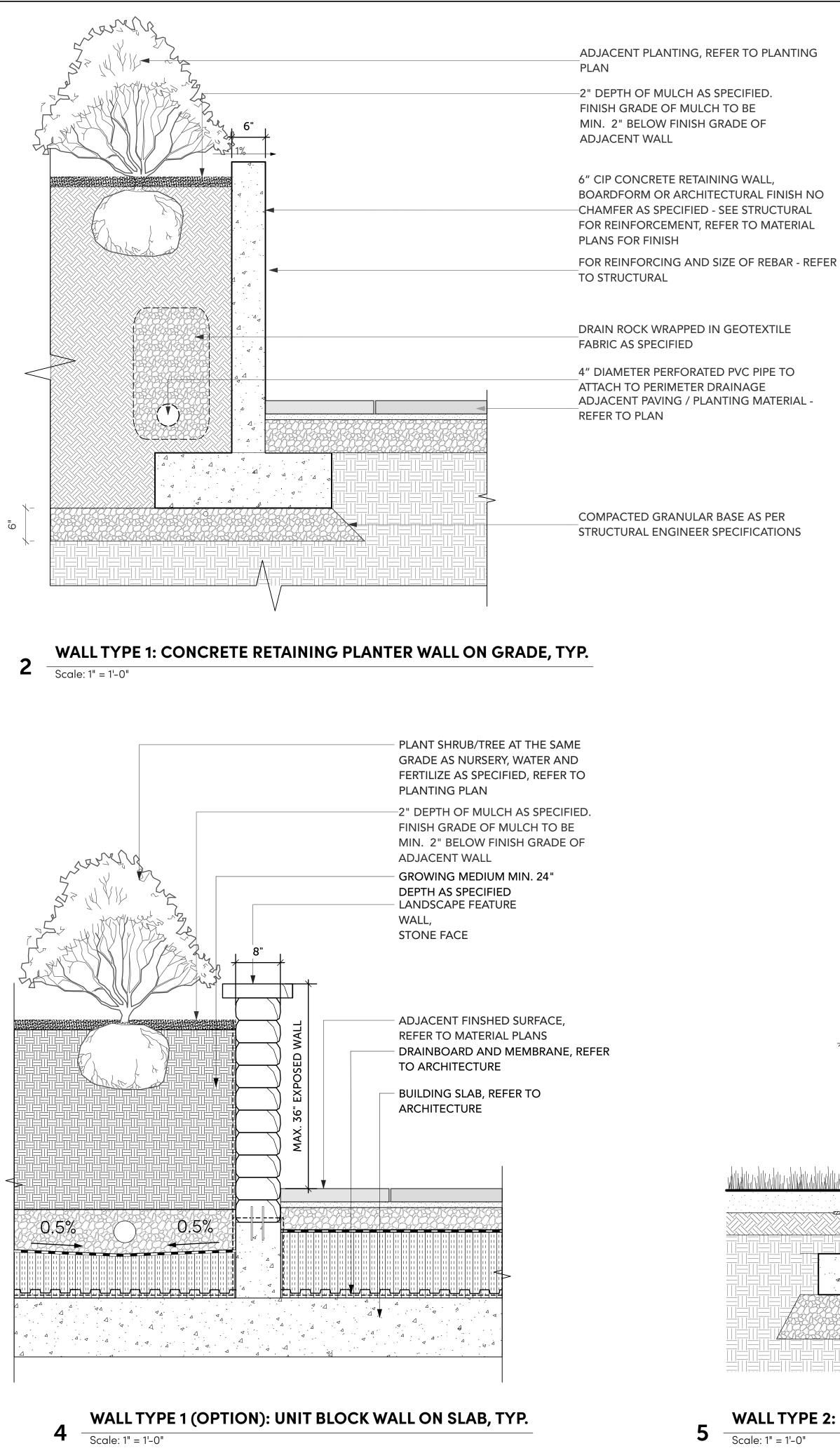
-ADJACENT PAVING, REFER TO PLAN

· 4 · 4



WALL TYPE 1: CONCRETE RETAINING PLANTER WALL ON SLAB, TYP.

3 Scale: 1" = 1'-0"



-COPING; TBD; MOUNTED TO CONCRETE WALL WITH DOWEL / Project Info 254mm EPOXY 20168 **Dilworth Center** -STONE FACING TBD Mixed Use 2339 Highway 97N Kelowna, BC -CIP CONCRETE WALL WITH REINFORCMENT Project Team ALG WIGANG AND AND AND AND Client Peterson -GALVANIZED (LLV) STEEL ANGLE Architect FASTENED WITH BOLTS AND EMBEDDED IBI Group INTO CONCRETE WALL Landscape Architect ⊲1 -COMPACTED Drawn By **GRANULAR BASE** ID PH 1 – HARDSCAPE DETAIL - CURBS AND WALLS WALL TYPE 2: LANDSCAPE FEATURE WALL, TYP. L5.3



I B

Peterson	

Project Stamp



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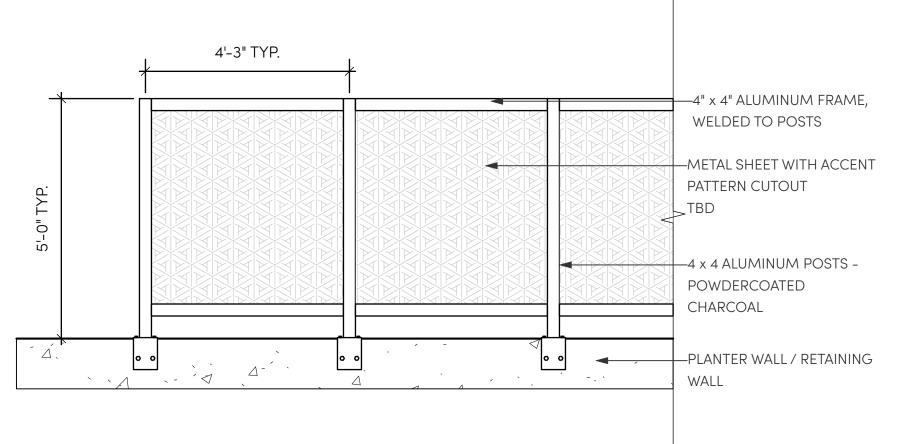
No.	Description	Date
F	Issued for Development Permit	21-05-30
G	Re-Issued for Development Permit	21-12-23
Н	Issued for TRS Response	22-02-03

LOCI Landscape Architecture + Urban Design

Checked By

Rev. A revision

MF



SECTION

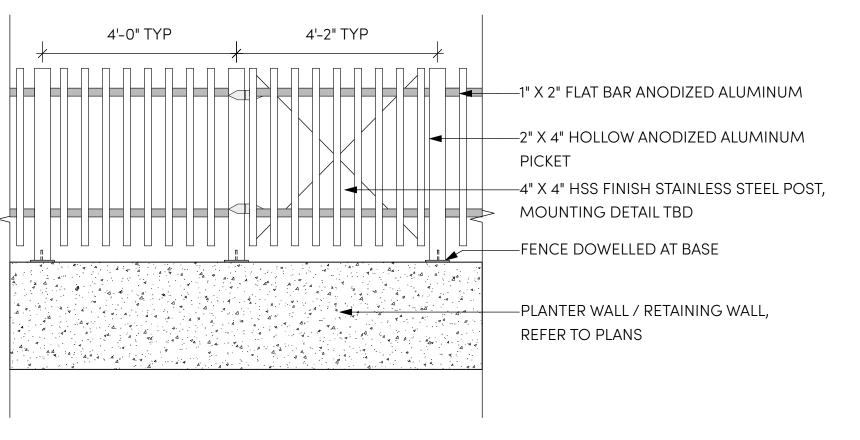
NOTE: 1. ARCHITECTURE AND STRUCTURAL TO COORDINATE FINAL LOCATION AND DETAILING





PRECEDENT IMAGE

FENCE TYPE 1: 5'-0" HT. PERIMETER FENCE, TYP. 1 Scale: 1/2" = 1'-0"

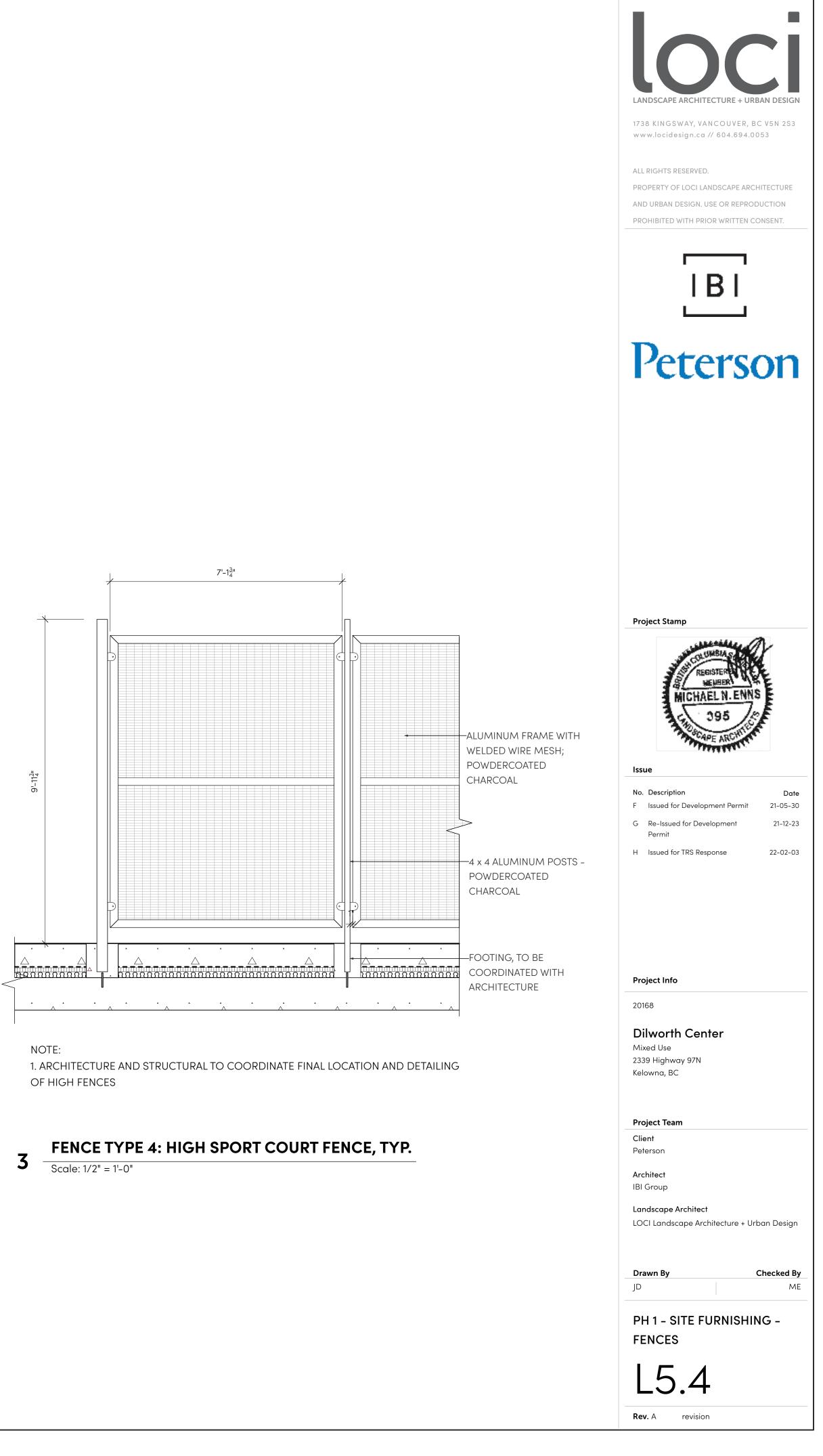


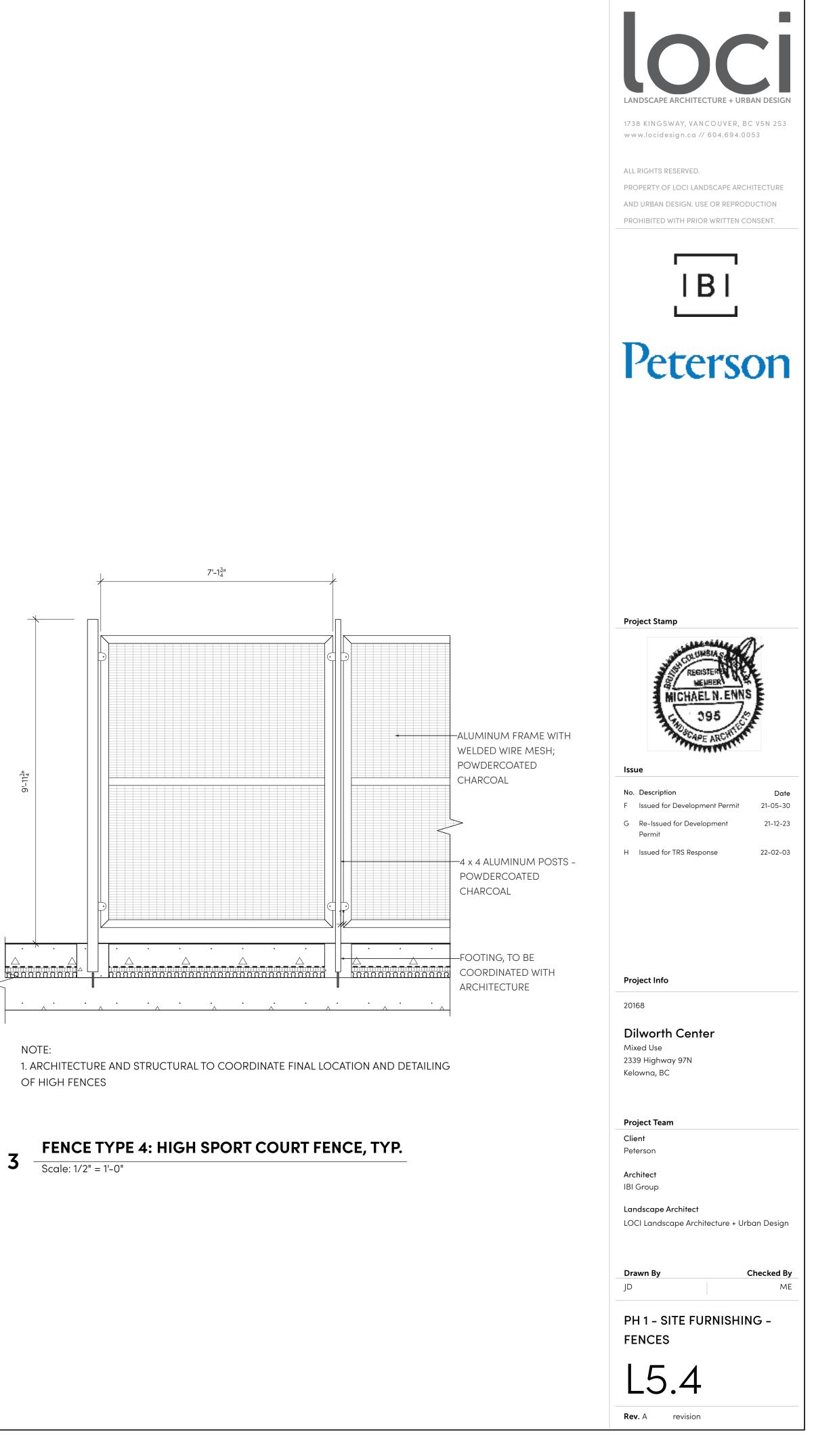
SECTION

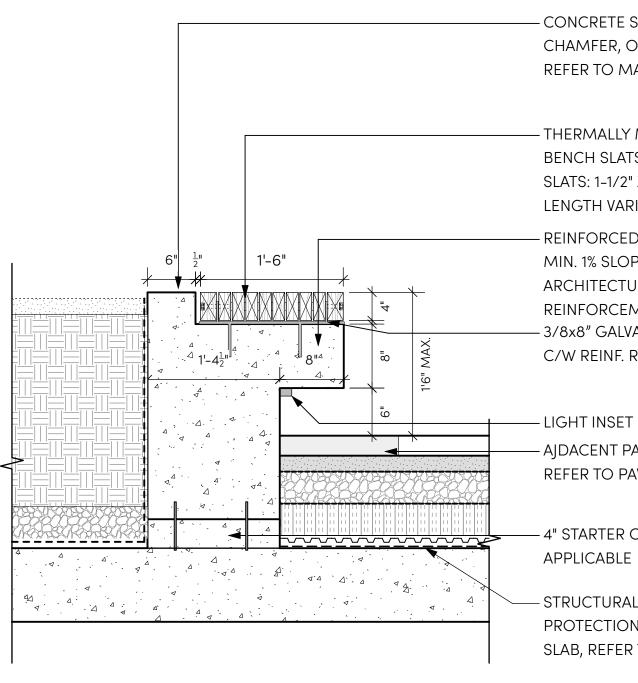


PRECEDENT IMAGE

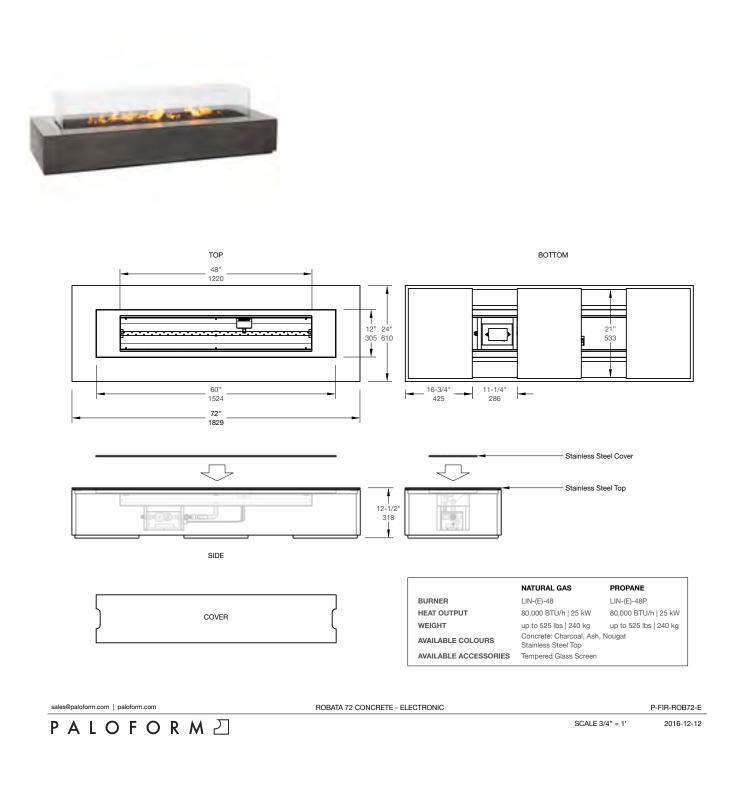
FENCE TYPE 2 / 3: PRIVATE PATIO FENCE AND GATE, TYP. 2 Scale: 1/2" = 1'-0"







WOOD TOP BENCH ON CONC WALL, TYP. **1** Scale: 1" = 1'-0"



PALOFORM FIREPIT. TYP. 3

4 Scale: NTS

Scale: NTS

- CONCRETE SURFACE, ARCHITECTURAL FINISH, NO CHAMFER, OR PLANTER WALL, REFER TO MATERIALS PLANS

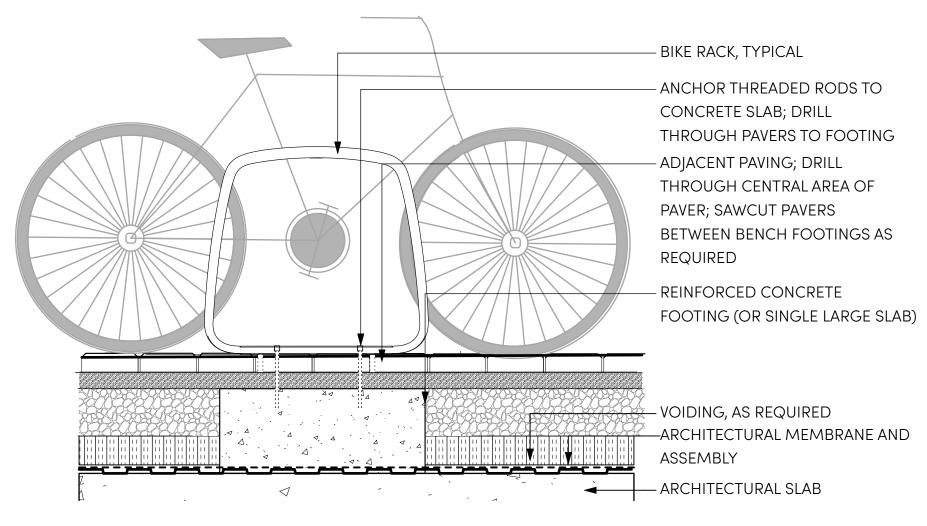
- THERMALLY MODIFIED WOOD, WHITE ASH BENCH SLATS SLATS: 1-1/2" X 3-1/2" ENDS: 2" X 3-1/2" LENGTH VARIES

- REINFORCED CIP CONCRETE SEAT WALL, MIN. 1% SLOPE UNDER BENCH TOP; ARCHITECTURAL FINISH, NO CHAMFER, AS SPECIFIED; REINFORCEMENTS, REFER TO STRUCTURAL – 3/8x8" GALVANIZED STEEL PLATE MOUNTING PLATE C/W REINF. ROD EMBED IN CONCRETE

- LIGHT INSET IN BENCH. REFER TO ELECTRICAL – AJDACENT PAVING, VARIOUS ASSEMBLY – REFER TO PAVING DETAILS

– 4" STARTER CURB OR CONCRETE PAD, IF

— STRUCTURAL VOIDING (AS NEEDED), DRAIN MAT, PROTECTION BOARD, MEMBRANE, AND ARCHITECTURAL SLAB, REFER TO ARCHITECTURE







SECTIONAL SOFA (CHARACTER IMAGE)



ALUMINUM T 5 Scale: NTS

	MICHAEL N. ENNS
	Issue
	No.DescriptionDateFIssued for Development Permit21-05-30
	G Re-Issued for Development 21-12-23 Permit
	H Issued for TRS Response 22-02-03
	Project Info
- 38 - 38 38	20168
	Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC
	Project Team
	Client Peterson
	Architect IBI Group
A - 20APTEPS (K*x#)	Landscape Architect LOCI Landscape Architecture + Urban Design
RELLIS STRUCTURE – FOR REFERENCE ONLY	
	Drawn By Checked By JD ME PH 1 - SITE FURNISHING
	DETAIL - BENCHES AND
	SEATING
	L5.5
	Rev. A revision

ANDSCAPE ARCHITECTURE + URBAN

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Project Stamp

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Peterson

Date

21-05-30

21-12-23

22-02-03

239

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– VOIDING, AS REQUIRED -ARCHITECTURAL MEMBRANE AND ASSEMBLY

- ANCHOR THREADED RODS TO CONCRETE SLAB; DRILL

THROUGH PAVERS TO FOOTING

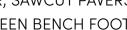
– ADJACENT PAVING; DRILL

THROUGH CENTRAL AREA OF

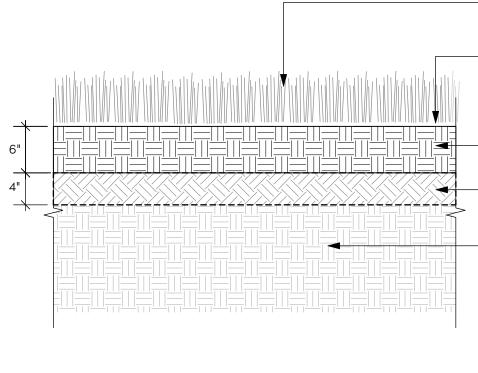
PAVER; SAWCUT PAVERS

BETWEEN BENCH FOOTINGS AS

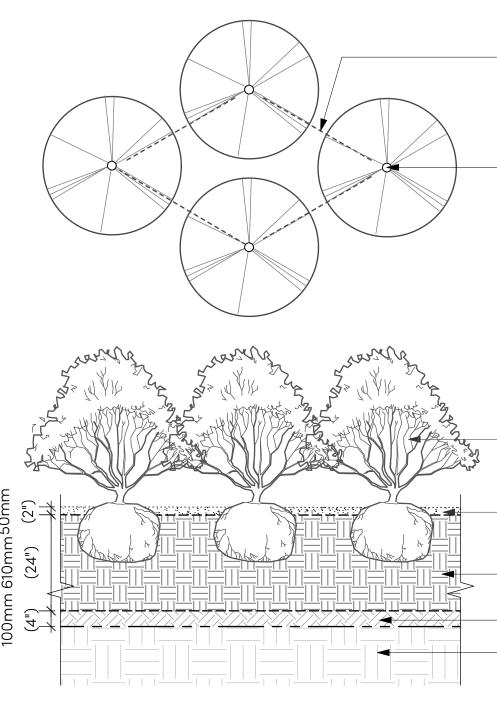








SODDED LAWN ON GRADE, TYP. Scale: 1" = 1'-0"



NOTES:

1

- 1. TRIANGULAR SPACING FOR IRREGULAR SHAPED PLANTERS AS SPECIFIED O.C. DISTANCE; ENSURE PERIMETER ROW.
- 2. REFER TO PLANT SCHEDULE AND PLANTING PLAN
- 3. FINISH GRADE OF MULCH TO BE 50mm (2") BELOW FINISH GRADE OF ADJACENT WALL OR PAVING



- 10 MIL POLY ROOT BARRIER BY NILEX OR APPROVED ALTNERATE

PREMIUM SODDED LAWN BY ANDERSON TURF FARMS OR APPROVED ALTERNATE C/W INTEGRATED MESH, AS SPECIFIED

- TURF LAWN GROWING MEDIUM DEPTH AS SPECIFIED - SCARIFIED TAMPED SOIL

- EXISTING SUBGRADE

R

INSET PLANTING WITH CURB ON GRADE, TYP. 2 Scale: 1" = 1'-0"

O.C. DISTANCE, REFER TO PLANT SCHEDULE

—PLANT CENTRE

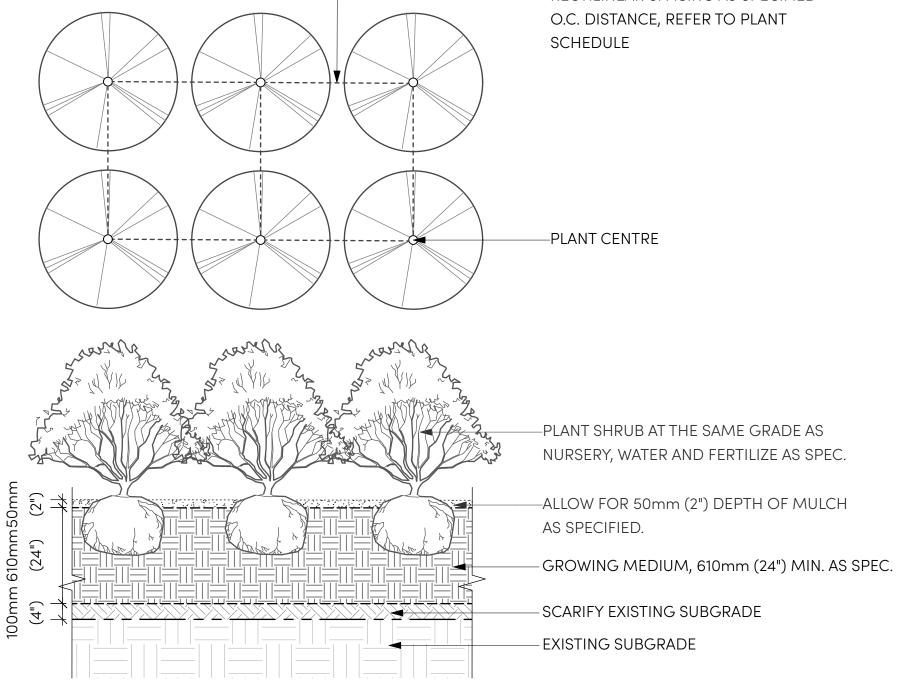
–PLANT SHRUB AT THE SAME GRADE AS NURSERY, WATER AND FERTILIZE AS SPEC.

ALLOW FOR 50mm (2") DEPTH OF MULCH AS SPECIFIED.

– GROWING MEDIUM, 610mm (24") MIN. AS SPEC.

- SCARIFY EXISTING SUBGRADE

– EXISTING SUBGRADE



NOTES:

1. RECTILINEAR SPACING FOR REGULAR SHAPED PLANTERS AS SPECIFIED O.C. DISTANCE; ENSURE PERIMETER ROW. GRID SPACING FOR RECTLINEAR PLANTERS.

2. REFER TO PLANT SCHEDULE AND PLANTING PLAN

3. FINISH GRADE OF MULCH TO BE 50mm (2") BELOW FINISH GRADE OF ADJACENT WALL OR PAVING

RECTILINEAR PLANTING ON GRADE, TYP

4 Scale: 1/2" = 1'-0"

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- PROPOSED PLANTING, REFER TO PLANTING PLAN

— PLANTING SOIL AS SPECIFIED — REINFORCED CIP CONCRETE CURB —— ADJACENT PAVING

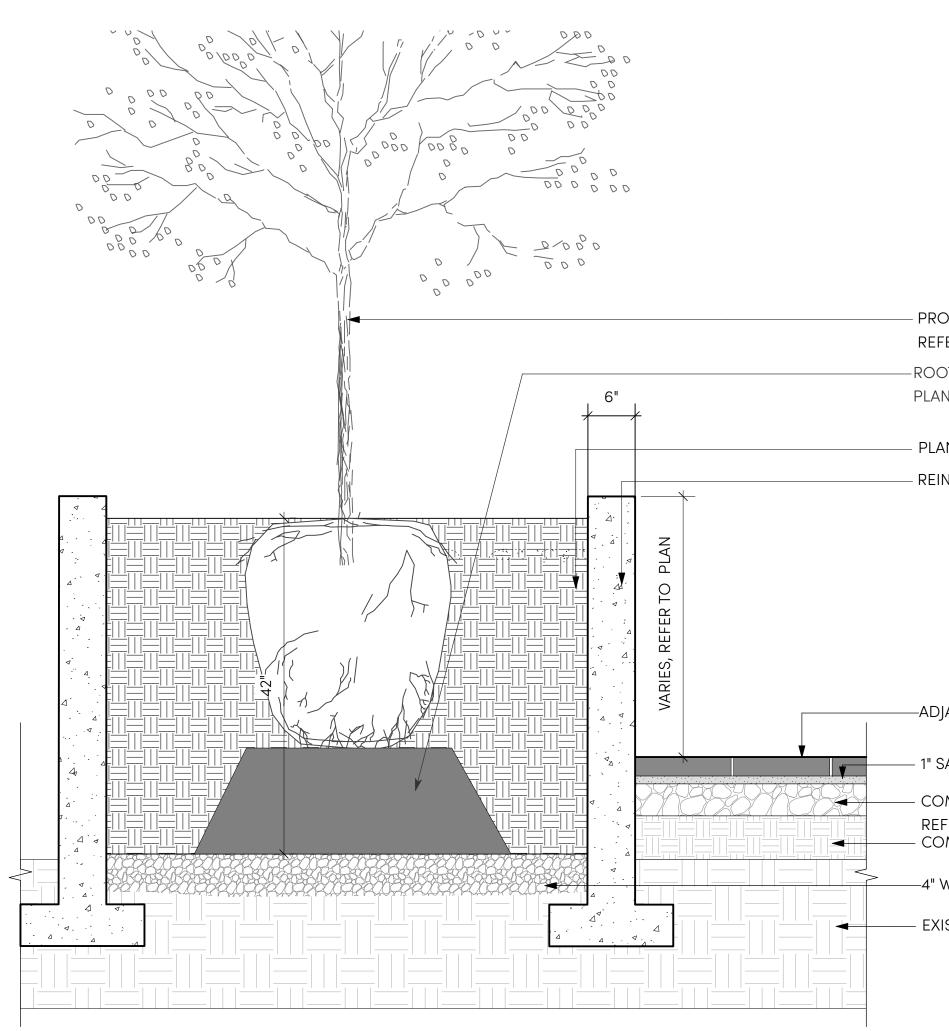
—— 1" SAND BEDDING LAYER, AS SPECIFIED —— COMPACTED GRANULAR BASE, **REFER TO CIVIL** — COMPACTED SUBGRADE, 95% MPD

— EXISTING SUBGRADE — 4" WASHED DRAINAGE LAYER

-RECTILINEAR SPACING AS SPECIFIED

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IBI	
Peterson	
Project Stamp	
MICHAEL N. ENNS	
Issue No. Description Date	
F Issued for Development Permit 21-05-30 G Re-Issued for Development 21-12-23 Permit	
H Issued for TRS Response 22-02-03	
Project Info 	
Dilworth Center	
Mixed Use 2339 Highway 97N Kelowna, BC	
Project Team Client Peterson	
Architect IBI Group	
Landscape Architect LOCI Landscape Architecture + Urban Design	
Drawn By Checked By JD ME	
PH 1 – SOFTSCAPE DETAIL – ON-GRADE PLANTING	

L5.6



RAISED PLANTER ON GRADE, TYP.

1 Scale: 1" = 1'-0"

PROPOSED PLANTING,
 REFER TO PLANTING PLAN
 ROOTBALL TO REST ON TAMPED
 PLANTING SOIL.

PLANTING SOIL AS SPECIFIED
REINFORCED CIP CONCRETE PLANTER WALL

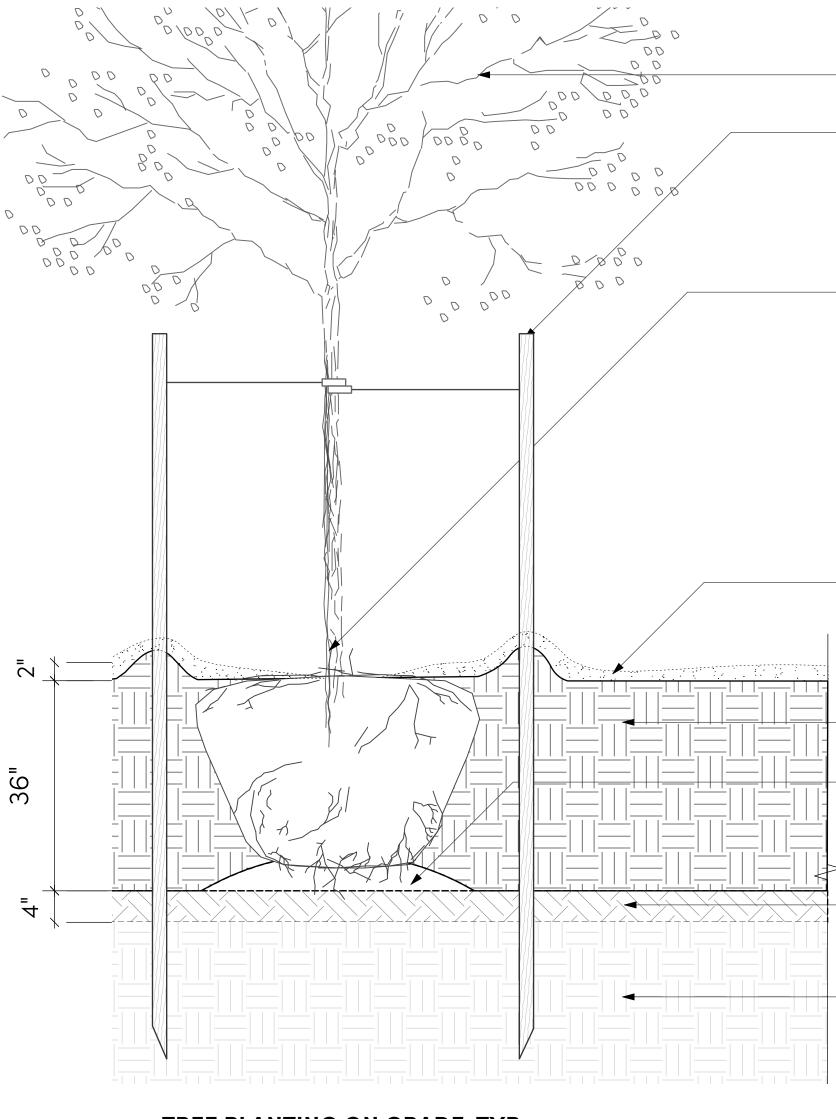
-ADJACENT PAVING

— 1" SAND BEDDING LAYER, AS SPECIFIED

COMPACTED GRANULAR BASE,
 REFER TO CIVIL
 COMPACTED SUBGRADE, 95% MPD

—4" WASHED DRAINAGE LAYER

— EXISTING SUBGRADE



2 TREE PLANTING ON GRADE, TYP. Scale: 1" = 1'-0" - SPECIES AS PER PLANTING PLAN

MINIMUM 2 TREE STAKES PER TREE, STAKES TO
 BE CLEAR OF ROOTBALL, WEBBING STRAPS AT 1/3
 HEIGHT OF TREE.

INSTALL TOP OF ROOTBALL 150mm (6") ABOVE
 SOIL; CUT AND LAY BACK 1/3 OF BURLAP; WATER
 AND FERTILIZE AS SPECIFIED; BACK FILL TREE PIT
 AND SURROUNDING AREA WITH SOIL; ENSURE
 50mm OF SOIL COVER OVER ROOTBALL

INSTALL MULCH TO 50mm (2") DEPTH

- GROWING MEDIUM TO 910mm (36") DEPTH

ROOTBALL TO REST ON TAMPED PLANTING SOIL

SCARIFY EXISTING SUBGRADE, AS SPECIFIED

- EXISTING SUBGRADE



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No.	Description	Date
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G	Re-Issued for Development Permit	21-12-23
Н	Issued for TRS Response	22-02-03

Project Info

Dilworth Center

Mixed Use 2339 Highway 97N Kelowna, BC

Project Team Client Peterson

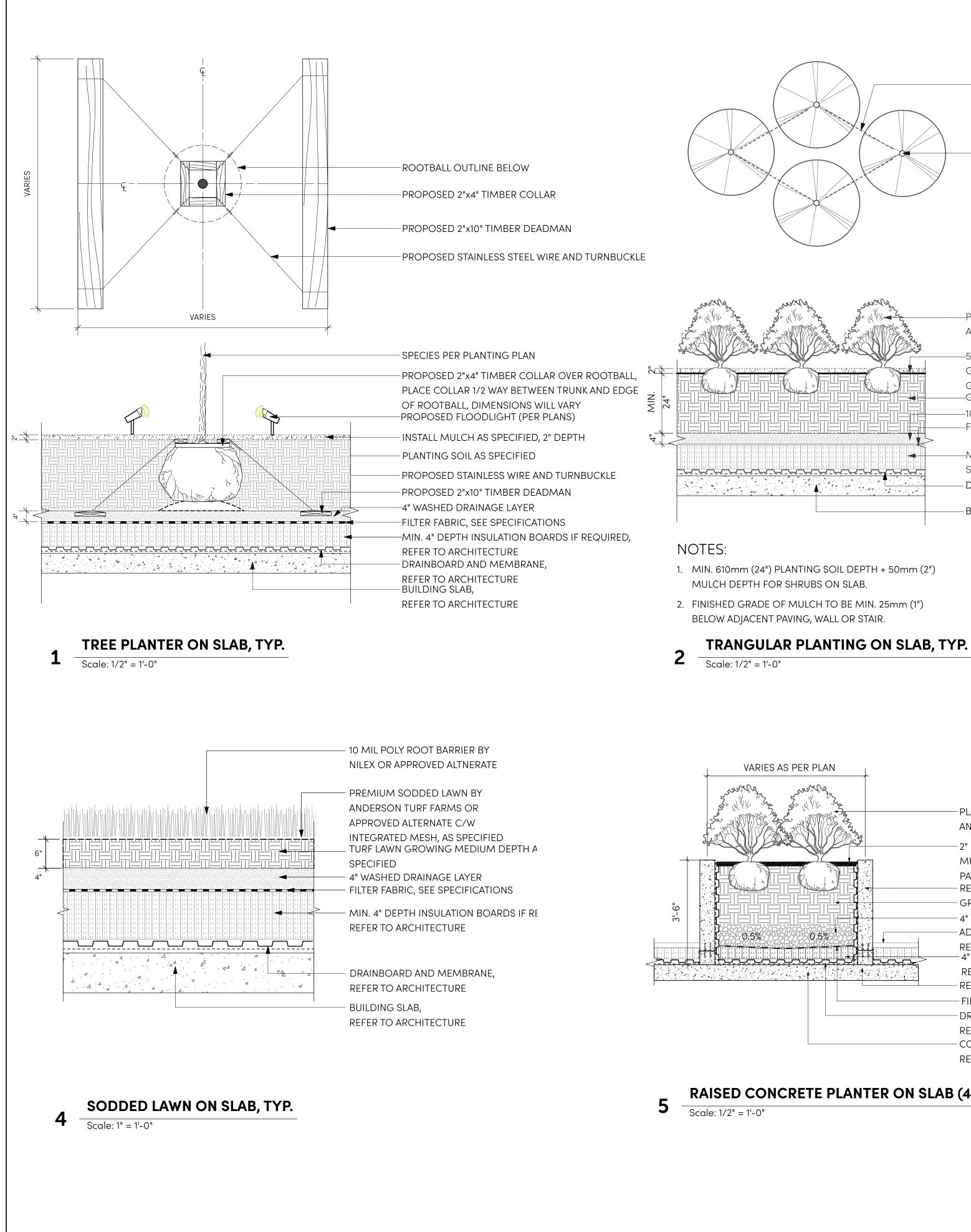
Architect IBI Group

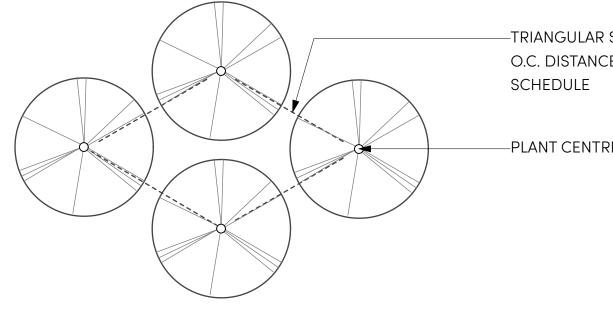
Landscape Architect LOCI Landscape Architecture + Urban Design

Drawn ByChecked ByJDME

PH 1 – SOFTSCAPE DETAIL – ON–GRADE PLANTING

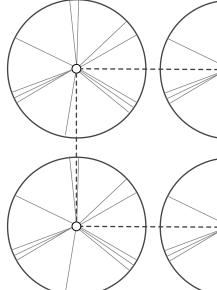
L5.7 Rev. A revision





O.C. DISTANCE, REFER TO PLANT

-PLANT CENTRE



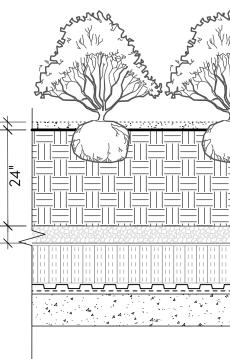
–PLANT SHRUB AT THE SAME GRADE AS NURSERY, WATER AND FERTILIZE AS SPECIFIED.

-50mm (2") DEPTH OF MULCH AS SPECIFIED. FINISH GRADE OF MULCH TO BE 50mm (2") BELOW FINISH GRADE OF ADJACENT WALL OR PAVING –GROWING MÉDIUM MIN. 610mm (24") DEPTH AS SPECIFIED 🚊 🖡 –100mm (4") WASHED DRAINAGE LAYER -FILTER FABRIC, SEE SPECIFICATIONS

-MIN. 100mm (4") DEPTH INSULATION BOARDS IF REQUIRED, SEE ARCHITECTURE

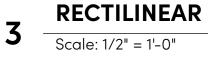
DRAINBOARD AND MEMBRANE, REFER TO ARCHITECTURE

BUILDING SLAB, REFER TO ARCHITECTURE



NOTES:

- 1. MIN. 610mm (24") PLANT MULCH DEPTH FOR SHE 2. FINISHED GRADE OF MU
- BELOW ADJACENT PAVIN



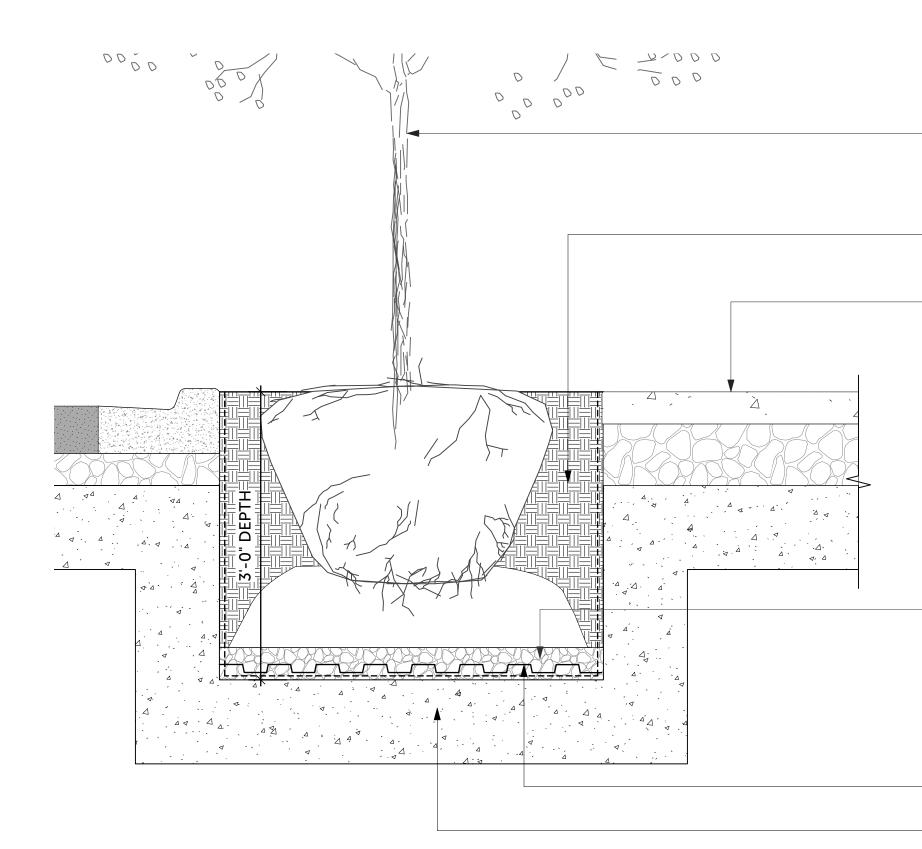
VARIES AS PER - PLANT SHRUB AT THE SAME GRADE AS NURSERY, WATER AND FERTILIZE AS SPECIFIED - 2" DEPTH OF MULCH AS SPECIFIED. FINISH GRADE OF MULCH TO BE 2" BELOW FINISH GRADE OF ADJACENT PAVING OR WALL - REINFORCED CIP CONCRETE PLANTER WALL - GROWING MEDIUM MIN. 24" DEPTH AS SPECIFIED - 4" WASHED DRAINAGE LAYER - ADJACENT FINSHED SURFACE, REFER TO MATERIAL PLANS — 4" DEPTH INSULATION BOARDS IF REQUIRED, Harden and REFER TO ARCHITECTURE - REFER TO STRUCTURAL FOR WALL REINFORCEMENTS - FILTER FABRIC, SEE SPECIFICATIONS - DRAINBOARD AND MEMBRANE, REFER TO ARCHITECTURE - CONCRETE BUILDING SLAB, REFER TO ARCHITECTURE

RAISED CONCRETE PLANTER ON SLAB (42" PLANTER DEPTH), TYP.

RAISED CONCRET Scale: 1/2" = 1'-0"

6

	RECTILINEAR SPACING AS SPECIFIED O.C. DISTANCE, REFER TO PLANT SCHEDULE	LANDSCAPE ARCHITECTURE + URBAN DESIGN 1738 KINGSWAY, VANCOUVER, BC V5N 2S3 www.locidesign.ca // 604.694.0053 ALL RIGHTS RESERVED. PROPERTY OF LOCI LANDSCAPE ARCHITECTURE
	PLANT CENTRE	AND URBAN DESIGN. USE OR REPRODUCTION PROHIBITED WITH PRIOR WRITTEN CONSENT.
	 PLANT SHRUB AT THE SAME GRADE AS NURSERY, WATER AND FERTILIZE AS SPECIFIED. 50mm (2") DEPTH OF MULCH AS SPECIFIED. FINISH GRADE OF MULCH TO BE 50mm (2") BELOW FINISH GRADE OF ADJACENT WALL OR PAVING GROWING MEDIUM MIN. 610mm (24") DEPTH AS SPECIFIED 100mm (4") WASHED DRAINAGE LAYER FILTER FABRIC, SEE SPECIFICATIONS MIN. 100mm (4") DEPTH INSULATION BOARDS IF REQUIRED, SEE ARCHITECTURE DRAINBOARD AND MEMBRANE, REFER TO ARCHITECTURE BUILDING SLAB, REFER TO ARCHITECTURE 	Peterson
ITING SOIL DEPTH + 50mm (2") IRUBS ON SLAB. IULCH TO BE MIN. 25mm (1") NG, WALL OR STAIR.	<u>ΥР.</u>	No. Description Date F Issued for Development Permit 21-05-30 G Re-Issued for Development 21-12-23 Permit 1 Issued for TRS Response 22-02-03
	PLANT SHRUB AT THE SAME GRADE AS NURSERY, WATER AND FERTILIZE AS SPECIFIED 2" DEPTH OF MULCH AS SPECIFIED. FINISH GRADE OF MULCH TO BE 2" BELOW FINISH GRADE OF ADJACENT PAVING OR WALL REINFORCED CIP CONCRETE PLANTER WALL GROWING MEDIUM MIN. 24" DEPTH AS SPECIFIED ADJACENT FINSHED SURFACE, REFER TO MATERIAL PLANS 4" WASHED DRAINAGE LAYER REFER TO STRUCTURAL FOR WALL REINFORCEMENTS FILTER FABRIC, SEE SPECIFICATIONS DRAINBOARD AND MEMBRANE, REFER TO ARCHITECTURE CONCRETE BUILDING SLAB, REFER TO ARCHITECTURE	Project Info 20168 Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC Project Team Client Peterson Architect IBI Group Landscape Architecture + Urban Design
		Drawn By Checked By JD ME PH 1 - SOFTSCAPE DETAIL - ON SLAB PLANTING L5.8





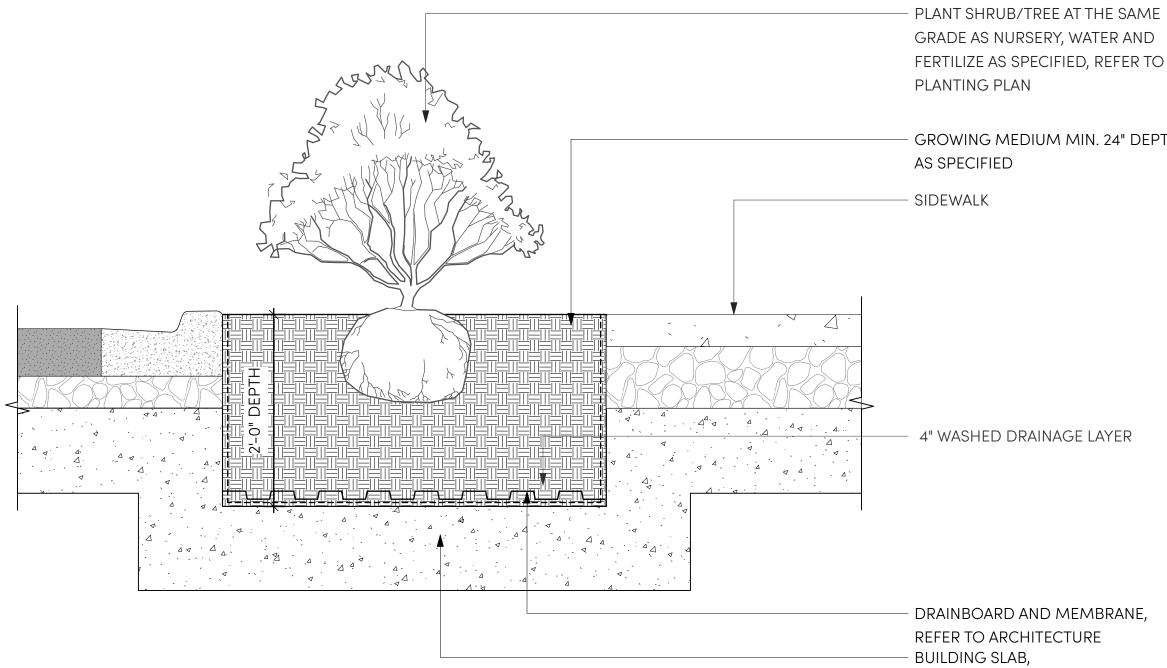
- PLANT SHRUB/TREE AT THE SAME GRADE AS NURSERY, WATER AND FERTILIZE AS SPECIFIED, REFER TO PLANTING PLAN

- GROWING MEDIUM MIN. 24" DEPTH AS SPECIFIED

- SIDEWALK

100mm (4") WASHED DRAINAGE LAYER

- DRAINBOARD AND MEMBRANE, REFER TO ARCHITECTURE - BUILDING SLAB, REFER TO ARCHITECTURE





INSET PLANTER (24" DEPTH) ON SLAB, TYP.

2 Scale: 1" = 1'-0"

)	IBI Peterson
ТН	
	Project Stamp
	Issue
	No.DescriptionDateFIssued for Development Permit21-05-30GRe-Issued for Development Permit21-12-23 PermitHIssued for TRS Response22-02-03
	Project Info 20168
	Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC
	Project Team
	Client Peterson Architect IBI Group
	Landscape Architect LOCI Landscape Architecture + Urban Design
	Drawn By Checked By JD ME
	PH 1 - SOFTSCAPE DETAIL - ON SLAB PLANTING
	L5.9 Rev. A revision

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- GROWING MEDIUM MIN. 24" DEPT

REFER TO ARCHITECTURE

GRADE AS NURSERY, WATER AND FERTILIZE AS SPECIFIED, REFER TO PLANTING PLAN

DILWORTH SHOPPING CENTER REDEVELOPMENT PHASE 2 SCHEDULE

Issued for TRS Response

Peterson // Client

Marcus Jaheny MarcusJ@petersonbc.com 604.688.4885

IBI Group // Architect

Lauren Macaulay Lauren.Macaulay@ibigroup.com

LOCI Landscape Architecture + Urban Design // Landscape Architect

Mike Enns, BCSLA, CSLA // Principal mike@locidesign.ca 604.763.2886

Jim Dema-ala // Project Coordinator jim@locidesign.ca 604.694.0053

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Planner Initials

LANDS	CAPE DRAWING INDEX PERMIT
Sheet No.	Sheet Name
L0.0	PH 2 – COVER SHEET
L0.1	PH 2 – GENERAL NOTES
L0.2	PH 2 – TREE MANAGEMENT PLAN
L0.3	PH 2 – OVERALL LANDSCAPE PLAN
L1.0	PH 2 – MATERIALS + LAYOUT PLAN – WEST
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L1.2	PH 2 – GRADING PLAN – WEST
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L1.4	PH 2 – TREE PLANTING PLAN – WEST
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L1.6	PH 2 – SHRUB PLANTING PLAN – WEST
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L1.8	PH 2 – HYDROZONE PLAN – WEST
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L1.10	PH 2 – LIGHTING SCHEMATIC PLAN – WEST
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L1.12	PH 2 – FENCE + GATE LOCATION PLAN – WEST
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L2.0	PH 2 – SECTIONS
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L2.2	PH 2 – SECTIONS
L3.0	PH 2 – PLANT LIST
L3.1	PH 2 – PLANT IMAGES
L4.0	PH 2 – PRECEDENT IMAGES
L4.1	PH 2 – PRECEDENT IMAGES
L5.0	PH 2 – HARDSCAPE DETAIL – PAVING
L5.1	PH 2 - HARDSCAPE DETAIL - PAVING
L5.2	PH 2 - HARDSCAPE DETAIL - STAIRS AND RAMPS
L5.3	PH 2 - HARDSCAPE DETAIL - CURBS AND WALLS
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L6.0	PH 2 – APPENDIX A – HYDROZONE CALCULATIONS

Forms part of application P21-0155





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MICHAEL N. ENNS	A DECEMBER OF
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No. Description F Issued for Development Permit G Re-Issued for Development	Date 21-05-30 21-12-23
Permit H Issued for TRS Response	22-02-03
Project Info	
Dilworth Center	
Mixed Use 2339 Highway 97N Kelowna, BC	
Project Team Client Peterson	
Architect IBI Group	
Landscape Architect LOCI Landscape Architecture + Urb	an Design
	Checked By
JD	ME
PH 2 - COVER SHEET	
L0.0	

244

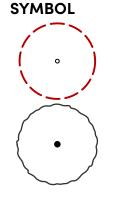
GENERAL TREE MANAGEMENT NOTES:

- 1. ALL COMPONENTS AND WORKMANSHIP TO CONFORM TO BCLNA STANDARDS TYPICAL.
- 2. POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS IF MINIMUM UTILITY SETBACKS PERMIT.
- 3. ALL TREE STAKES TO HAVE A MINIMUM 1.0m CLEARANCE FROM ALL U/G POWER, TELEPHONE AND GAS ALIGNMENTS.
- ALL ROOTBALL HOLES TO BE DUG BY HAND WHEN CLOSER TO 1.0M (40") TO U/G POWER, TELEPHONE AND GAS ALIGNMENTS. FOR TREES WITH DRIPLINES FROM FROM 3M - 5M (9' - 15') FROM CONSTRUCTION ACTIVITY;
- 5. PLACE STANDARD 'SAFETY ORANGE' SNOWFENCE MIN. OF 4.5M (14'8") FROM TREE TRUNK. EXACT SIZE/SHAPE TO BE DETERMINED ON SITE
- 6. FOR EXCAVATION WITHIN 1-3M (3' 9') OF ANY TREE'S DRIPLINE, ROOT PRUNING REQUIRED TO A DEPTH OF 500MM (20"). IMMEDIATELY AFTER EXCAVATION, PRUNE ALL EXPOSED ROOTS FLUSH WITH THE EXCAVATION WALL.
- 7. A MAXIMUM OF 25% OF ANY TREE'S ROOTS AT THE DRIPLINE SHOULD BE IMPACTED BY EXCAVATION IF THE TREE IS EXPECTED TO SURVIVE.
- 8. INSTALL AND MAINTAIN HOARDING IN CLEAN AND SAFE CONDITION THROUGHOUT CONSTRUCTION PROCESS.
- 9. HOARDING REQUIREMENTS ARE ON ALL EXISTING TREES THROUGHOUT CONSTRUCTION. ALL EQUIPMENT, SOIL, BUILDING MATERIAL AND OTHER DEBRIS SHALL BE KEPT OUTSIDE THE HOARDING.
- 10. IF HOARDING IS PUNCTURED AND DAMAGE OCCURS TO HOARDED TREE(S), NOTIFY LANDSCAPE ARCHITECT.
- 11. THE BEST METHOD TO AVOID SOIL COMPACTION IS TO KEEP OFF. THIS INCLUDES RESTRICTING ALL TRAFFIC BOTH VEHICULAR AND PEDESTRIAN FROM CROSSING OVER THE ROOT ZONES, AND RESTRICTING EVEN TEMPORARY MATERIAL STORAGE UNDER TREES.
- 12. EXCAVATION AROUND TREES WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
- 13. DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
- 14. TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- 15. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES: HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS
- 16. USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS;
- 17. RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.
- 18. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES: TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING;
- 19. DO NOT CUT MAIN LATERAL ROOTS;
- 20. CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS;
- 21. ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 150MM (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS;
- 22. PROTECTION OF EXPOSED ROOTS: DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER.
- 23. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
- 24. A. PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
- B. PACK WITH WET PEAT MOSS . MAINTAIN MOISTURE.
- C . PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
- 25. TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.

26. WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS

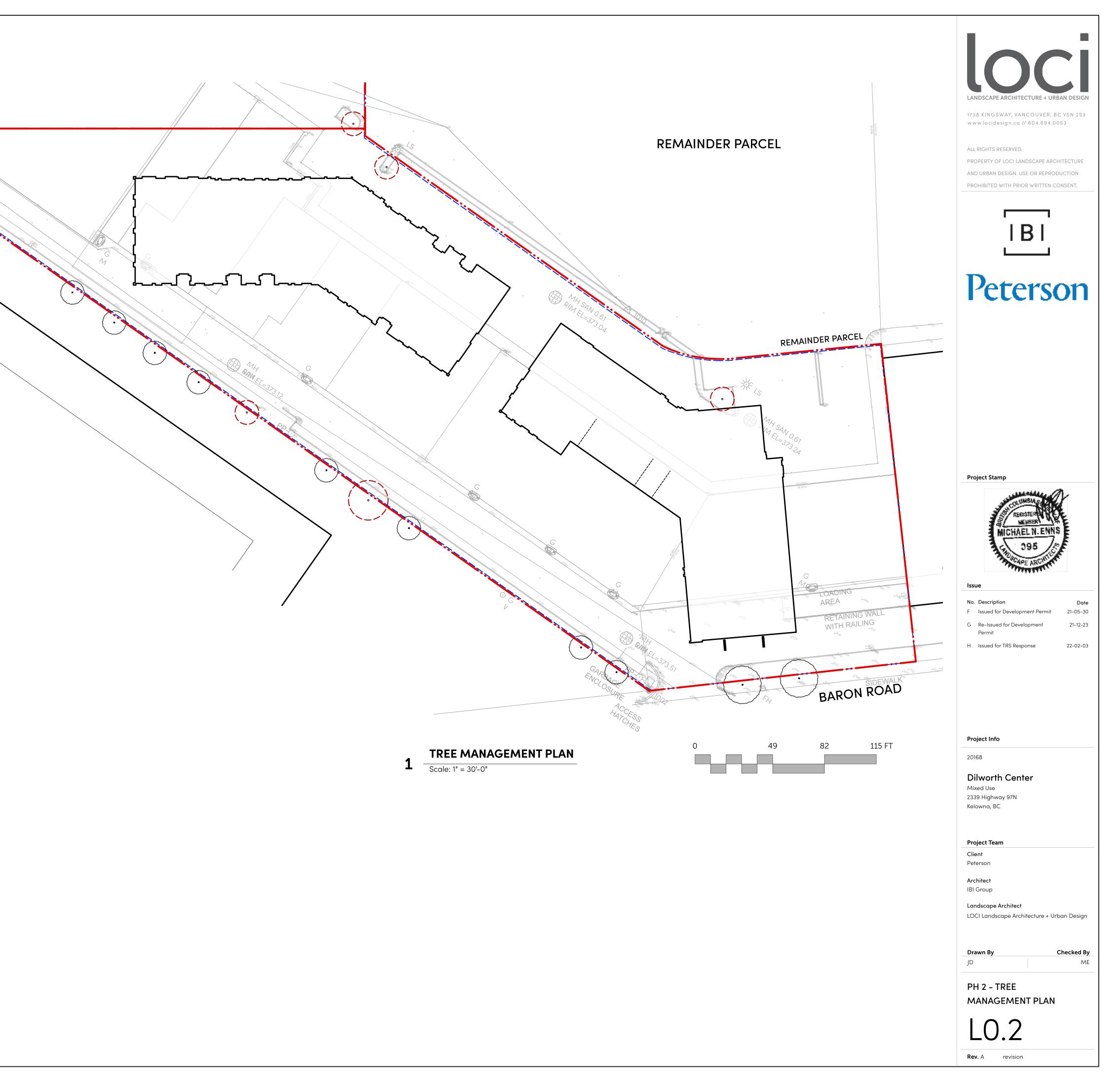
TREE MANAGEMENT PLAN

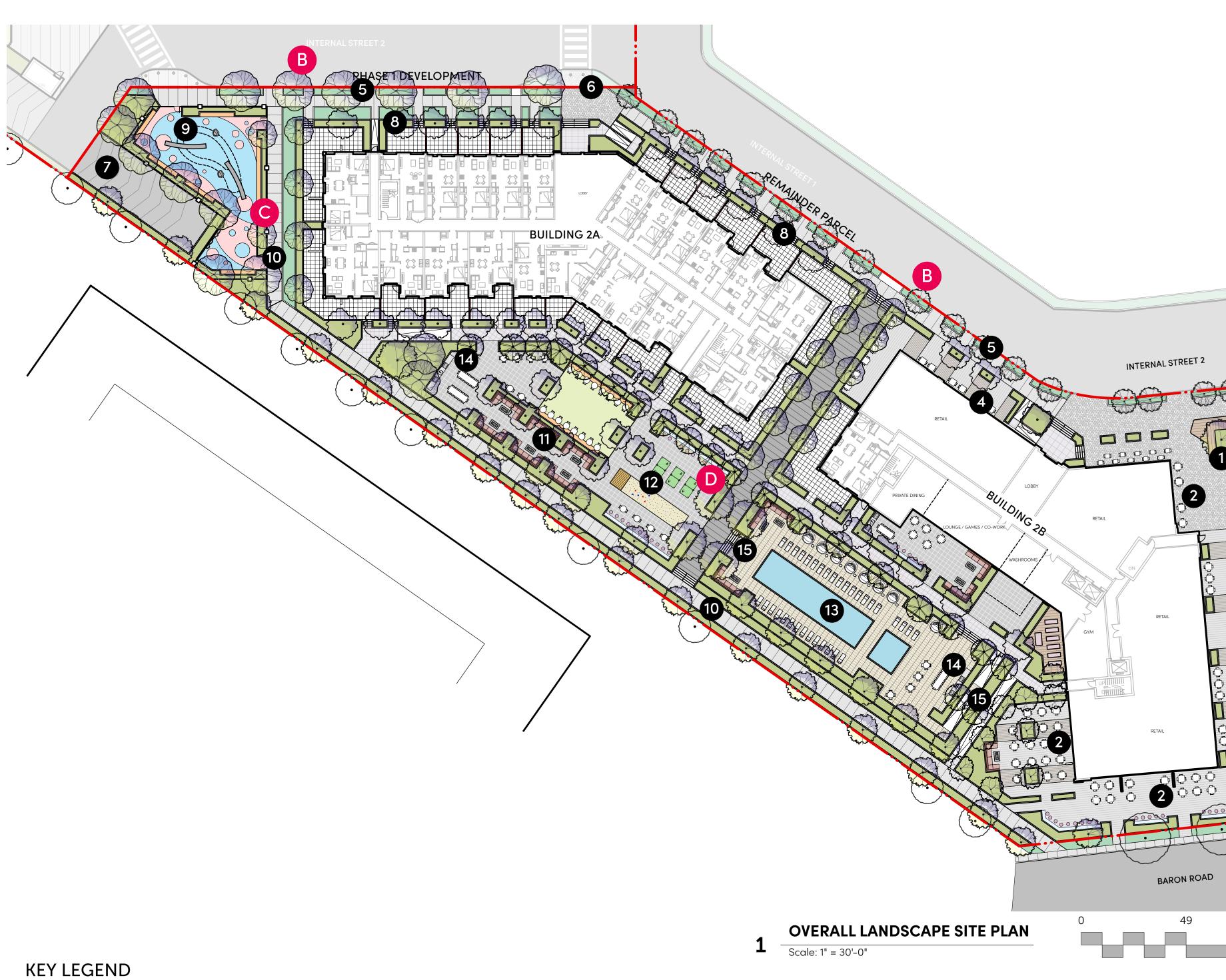
DESCRIPTION



EXISTING TREE TO BE REMOVED

EXISTING TREE TO BE RETAINED

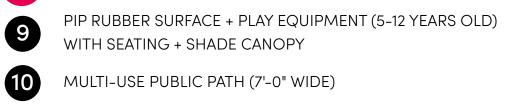




A	BARON ROAD ENTRY DRIVE + PLAZA
1	GATHERING NODE WITH FEATURE PAVING, SEATING, POSSIBLE PUBL
2	COMMERCIAL RETAIL FRONTAGE - SHADE TREES + SEATING
3	NEW TREE-LINED INTERNAL ROAD
В	INTERNAL STREETS + BUILDING FRONTAGE
4	COMMERCIAL RETAIL FRONTAGE - SHADE TREES + SEATING
5	STREETSIDE PARKING AND PLANTED BOULEVARD + TREES
6	PEDESTRIAN CROSSINGS AT KEY BUILDING ENTRIES
7	PARKADE ENTRY
8	PRIVATE PATIOS + UNIT WALK-UPS (RAISED) WITH BUFFER PLANTING



C POCKET PARK + PLAYGROUND (PUBLIC ACCESS)



D SOUTH AMENITY DECK



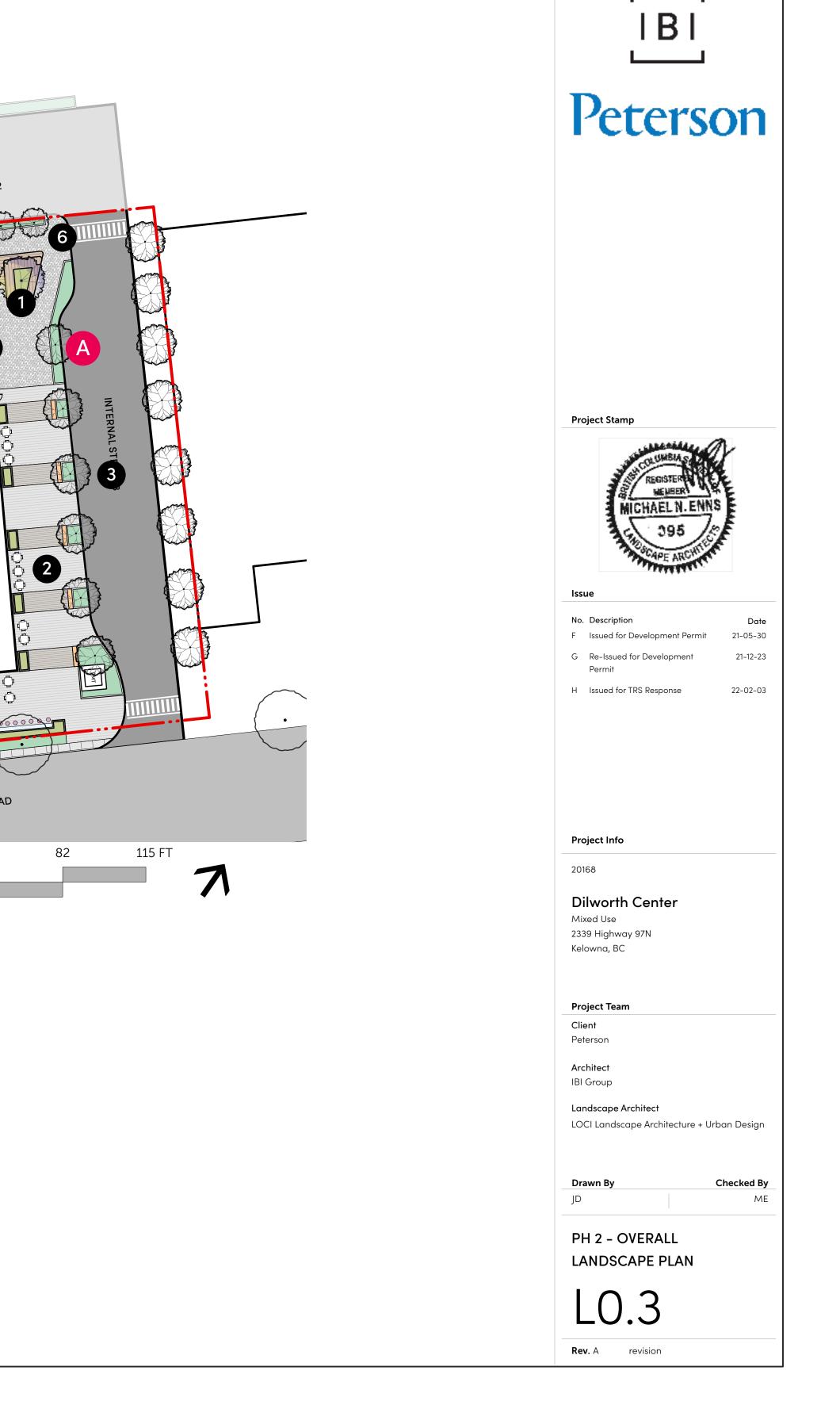
12 GAMES AREA – BOCCE, PING PONG, ETC.

13

RAISED POOL DECK + HOT TUB WITH PERIMETER SEATING

14 OUTDOOR KITCHEN/BAR - COVERED AREA

15 STAIRS + RAMP



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Project Stamp



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No.	Description	Date
F	Issued for Development Permit	21-05-30
G	Re-Issued for Development Permit	21-12-23
Н	Issued for TRS Response	22-02-03

Project Info

20168

Dilworth Center

Mixed Use 2339 Highway 97N Kelowna, BC

Project Team

Client Peterson

Architect IBI Group

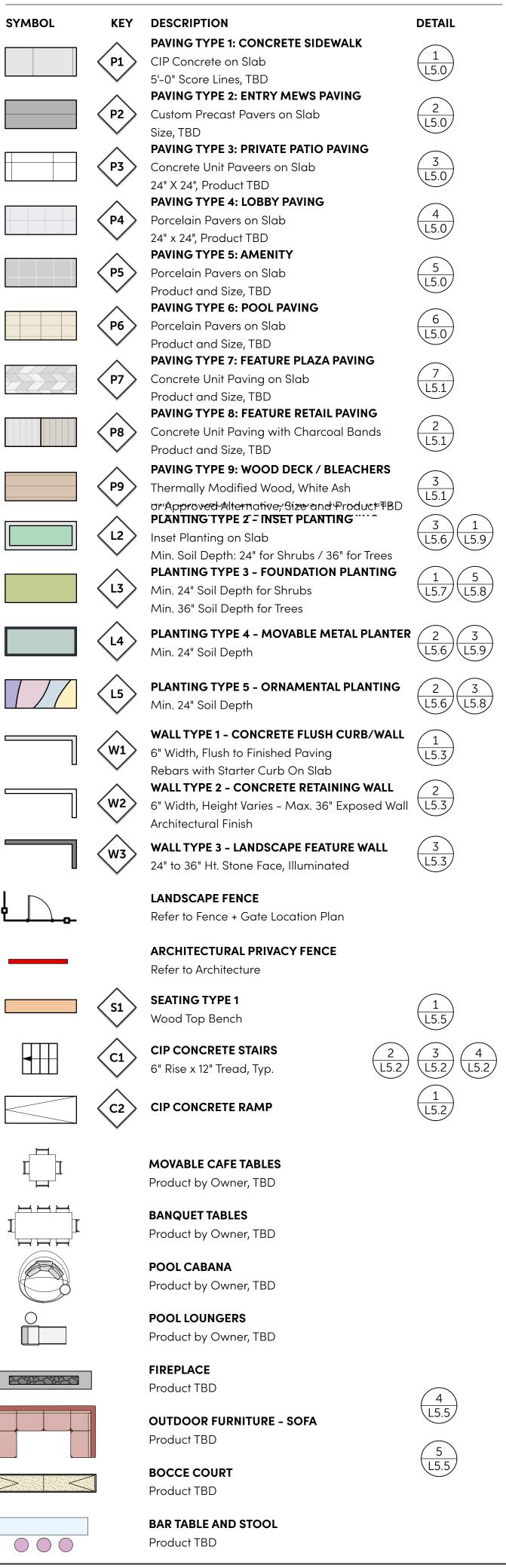
Landscape Architect LOCI Landscape Architecture + Urban Design

Checked By Drawn B PH 2 – MATERIALS + LAYOUT PLAN - WEST L1.0

MATERIALS LEGEND

SYMBOL

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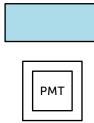


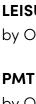
SYMBOL

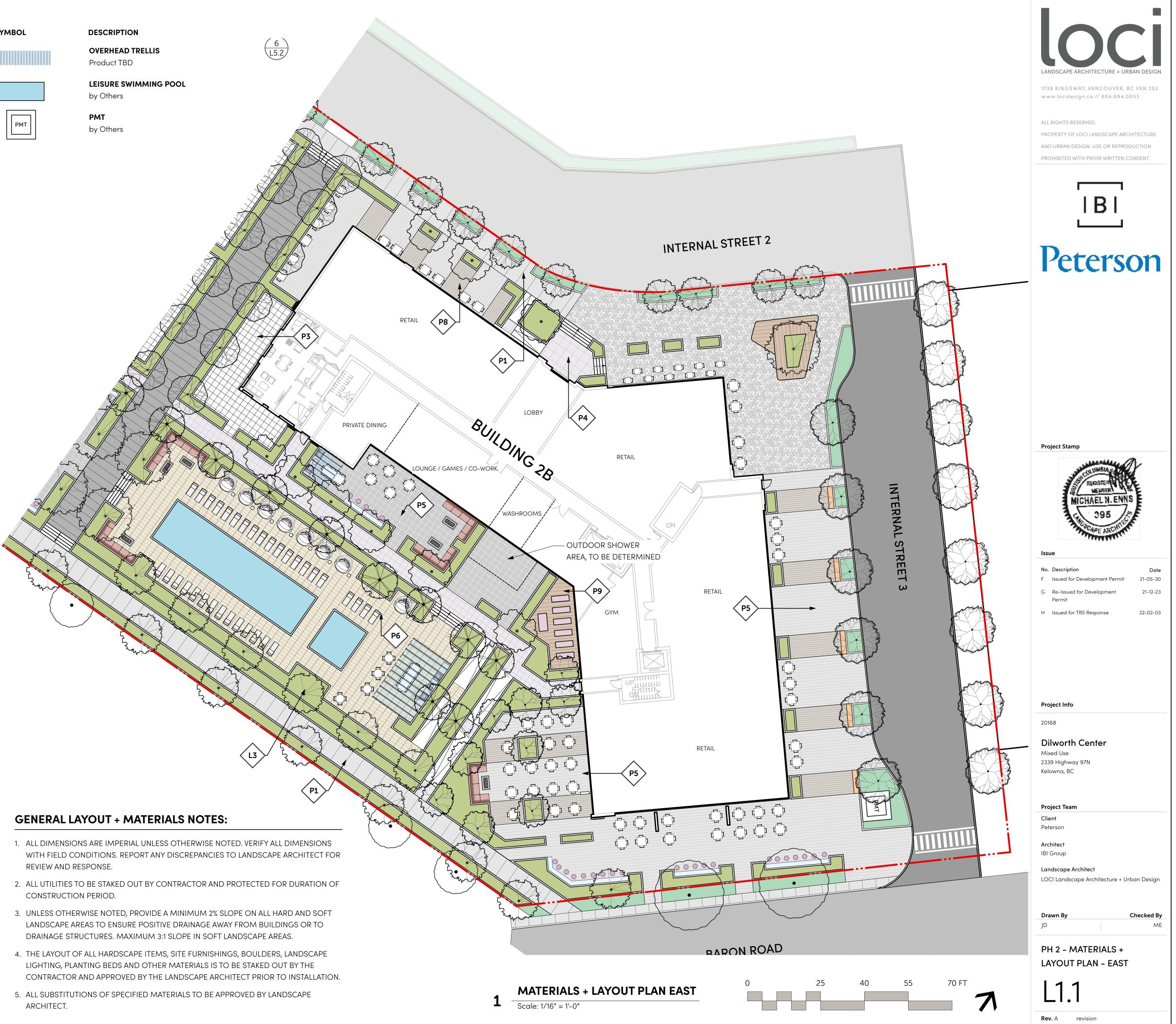
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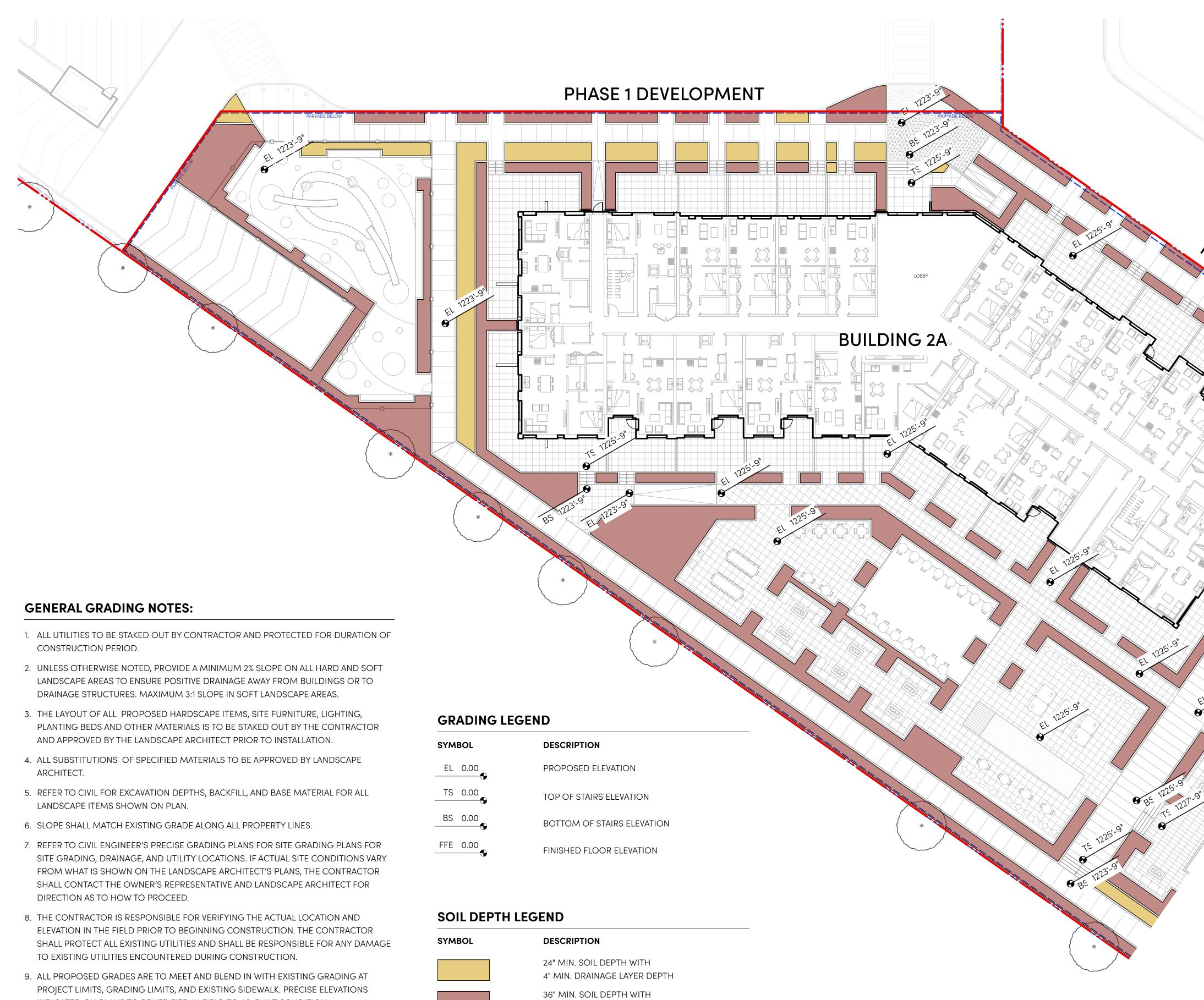
L5.7 L5.8

L5.6 L5.9



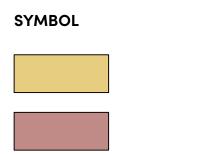






- INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
- 10. THE DEBRIS CREATED BY LANDSCAPE GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
- 11. FINAL GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION OF PLANTING.

SYM	BOL		D
EL	0.00)	Ρ
TS	0.00)	T
BS	0.00)	В
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4" MIN. DRAINAGE LAYER DEPTH

GRADING PLAN WEST 1 Scale: 1/16" = 1'-0"

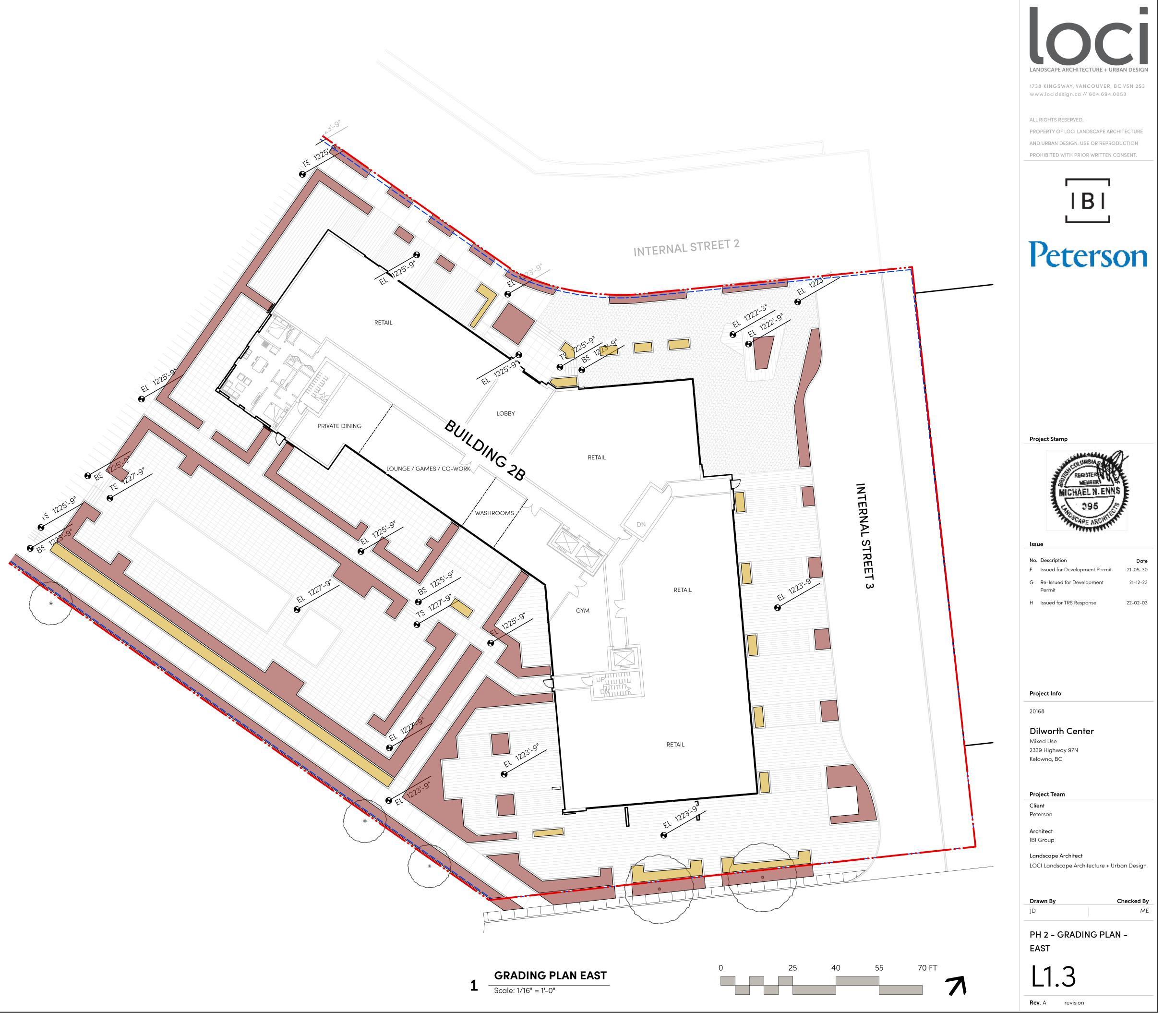
		LANDSCAPE ARCHITECTURE + URBAN DESIGN LANDSCAPE ARCHITECTURE + URBAN DESIGN T338 KINGSWAY, VANCOUVER, BC V5N 2S3 www.locidesign.ca // 604.694.0053 ALL RIGHTS RESERVED. PROPERTY OF LOCI LANDSCAPE ARCHITECTURE AND URBAN DESIGN. USE OR REPRODUCTION PROHIBITED WITH PRIOR WRITTEN CONSENT.
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		Project Info
		20168 Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC
		Project TeamClientPetersonArchitectIBI GroupLandscape ArchitectLOCI Landscape Architecture + Urban Design
0 25	40 55 70 FT	Drawn By Checked By JD ME
		PH 2 - GRADING PLAN - WEST L1.2
		Rev. A revision

GENERAL GRADING NOTES:

- 1. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
- UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
- 3. THE LAYOUT OF ALL PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 4. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
- 5. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
- 6. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
- 7. REFER TO CIVIL ENGINEER'S PRECISE GRADING PLANS FOR SITE GRADING PLANS FOR SITE GRADING, DRAINAGE, AND UTILITY LOCATIONS. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE LANDSCAPE ARCHITECT'S PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION AND ELEVATION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- 9. ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING AT PROJECT LIMITS, GRADING LIMITS, AND EXISTING SIDEWALK. PRECISE ELEVATIONS INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
- 10. THE DEBRIS CREATED BY LANDSCAPE GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
- 11. FINAL GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION OF PLANTING.

GRADING LEGEND

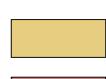
SYMBOL	DESCRIPTION
EL 0.00	PROPOSED ELEVATION
TS 0.00	TOP OF STAIRS ELEVATION
BS 0.00	BOTTOM OF STAIRS ELEVATION
FFE 0.00	FINISHED FLOOR ELEVATION



SOIL DEPTH LEGEND



DESCRIPTION



24" MIN. SOIL DEPTH WITH 4" MIN. DRAINAGE LAYER DEPTH 36" MIN. SOIL DEPTH WITH 4" MIN. DRAINAGE LAYER DEPTH



- 10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO THE CITY STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
- 11. ALL PLANTING BEDS TO RECEIVE AUTOMATIC DRIP IRRIGATION

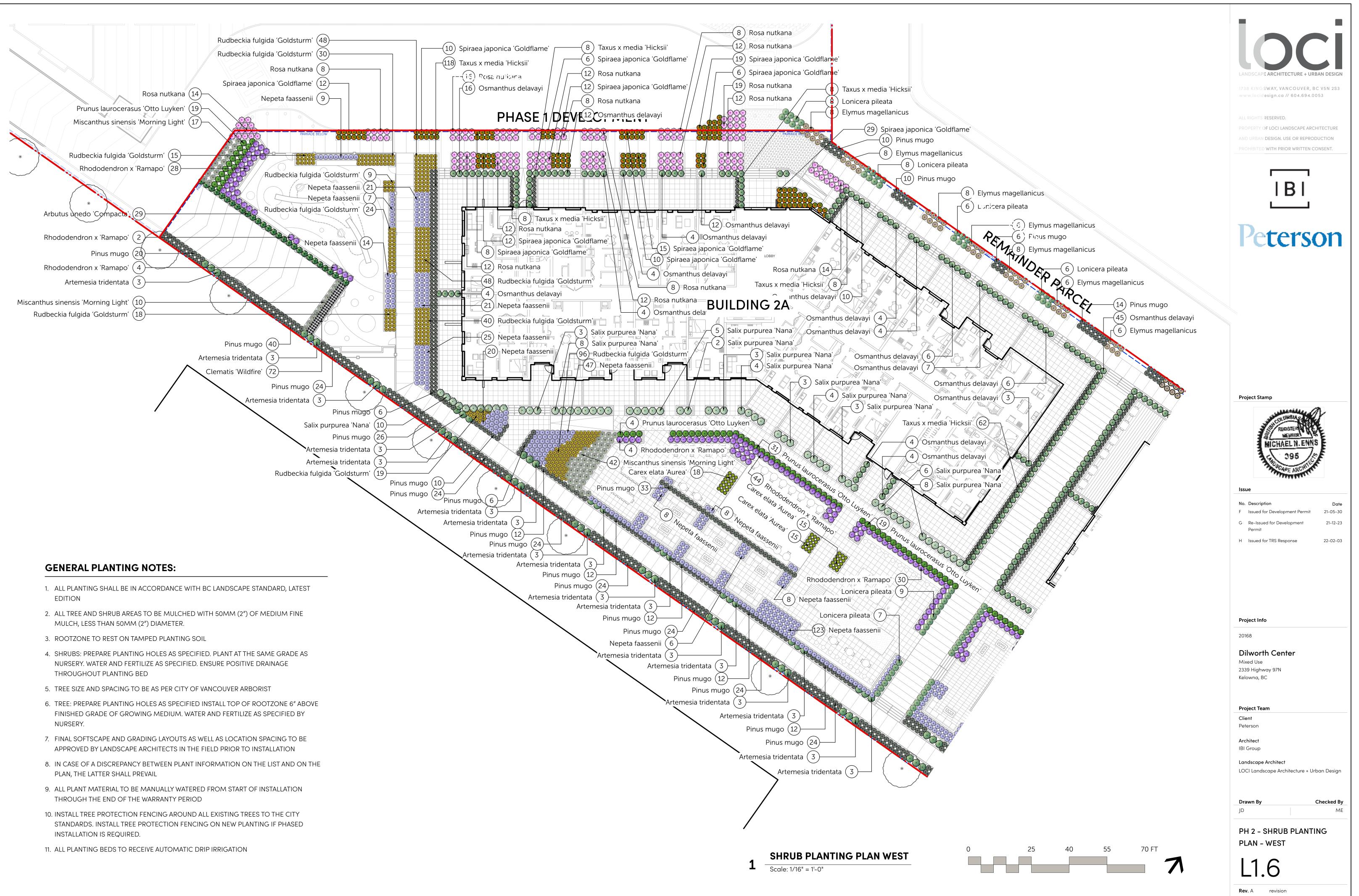
1 Scale: 1/16" = 1'-0"

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htica	Project Stamp Image: State Stat
	Project Info 20168 Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC
0 25 40 55 70 FT	Project Team Client Peterson Architect IBI Group Landscape Architect LOCI Landscape Architecture + Urban Design Drawn By Checked By JD ME PH 2 - TREE PLANTING PLAN - WEST L1.4 Rev. A revision



GENERAL PLANTING NOTES:

- 1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION
- 2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
- 3. ROOTZONE TO REST ON TAMPED PLANTING SOIL
- 4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED
- 5. TREE SIZE AND SPACING TO BE AS PER CITY OF VANCOUVER ARBORIST
- 6. TREE: PREPARE PLANTING HOLES AS SPECIFIED INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY.
- 7. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION
- 8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL
- 9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD
- 10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO THE CITY STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
- 11. ALL PLANTING BEDS TO RECEIVE AUTOMATIC DRIP IRRIGATION



Pinus mugo (24) Artemesia tridentata (3) Pinus mugo (10) Artemesia tridentata (3)

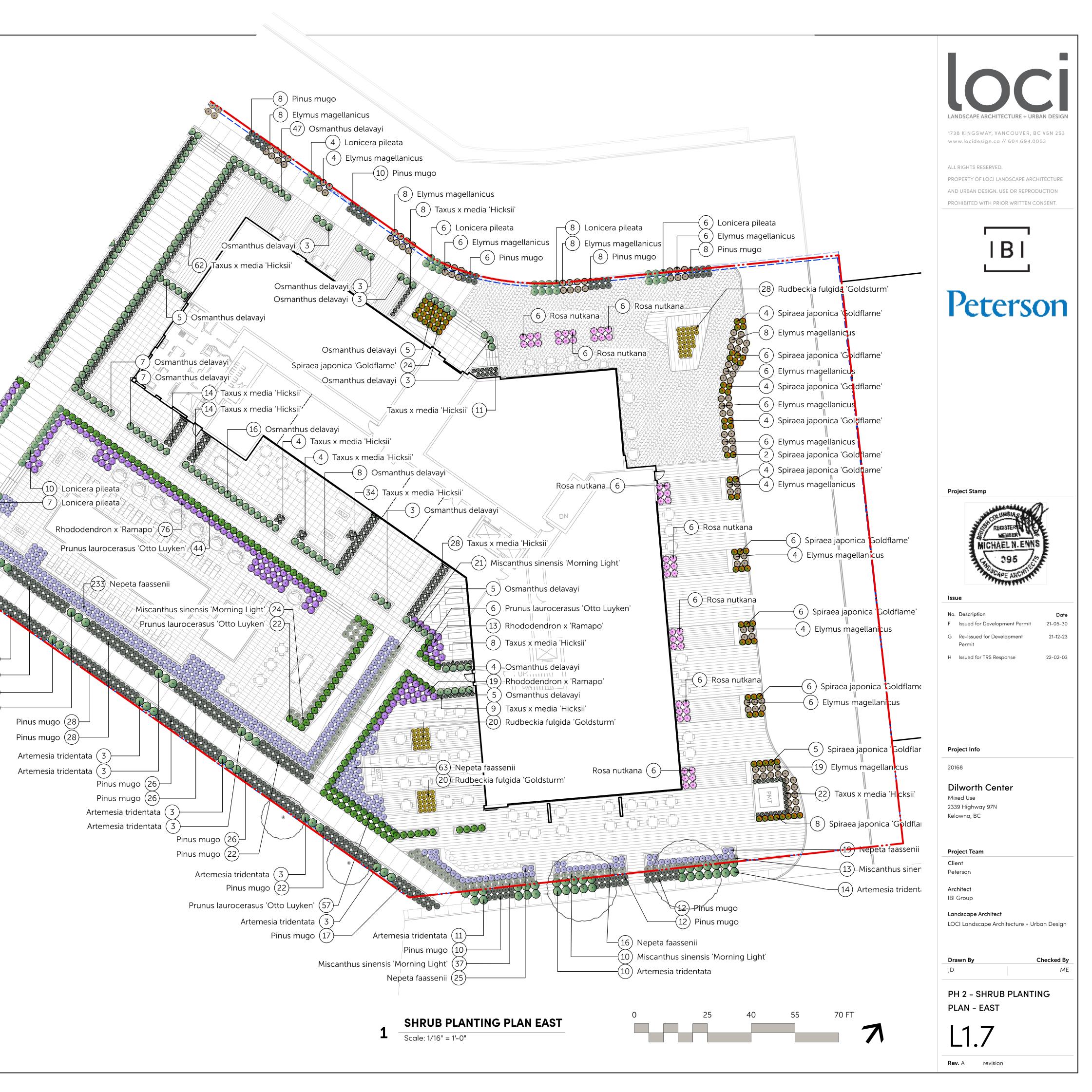
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Pinus mugo (24) Pinus mugo (24)

Artemesia tridentata (3

Artemesia tridentata (3)

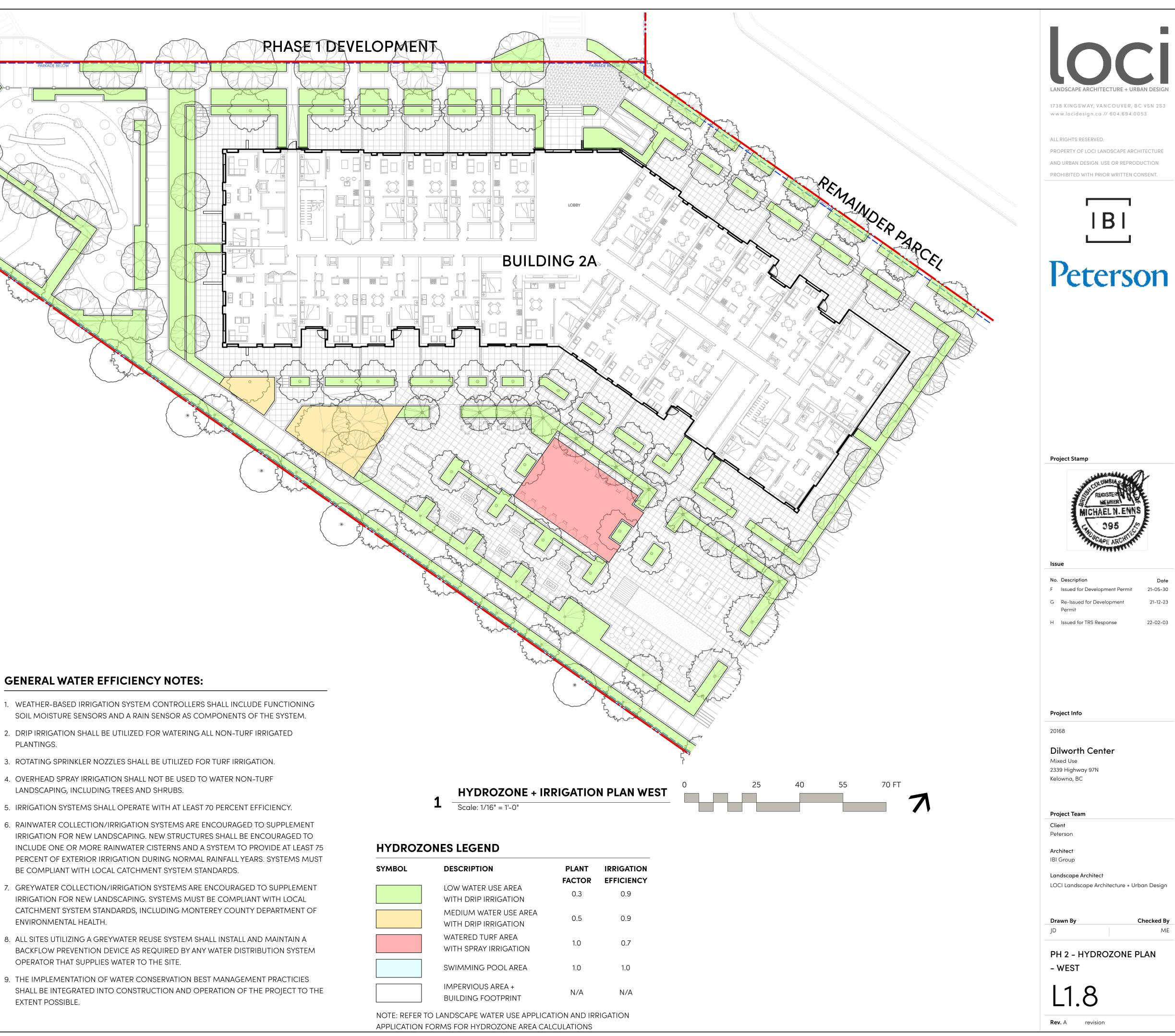


GENERAL IRRIGATION NOTES:

- 1. ALL HATCHED, PLANTED AREAS WILL BE IRRIGATED A SUB-SURFACE DRIP LINE SYSTEM BY NETAFIM USA. NETAFIM IS A CONTINUOUS SELF-CLEANING, RECYCLED CONTENT, PRESSURE COMPENSATING DRIPLING WITH A BUILT IN CHECK VALVE.
- 2. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHRUB OR GROUND COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE AS SHOWN IN THE DETAILS
- 3. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO IRRIGATED UNLESS INDICATED OTHERWISE ON THE DRAWINGS
- 4. SPRINKLER SYSTEM WILL BE BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME ALL RESPONSIBILITY FOR REVISIONS.
- 5. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.
- 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES ETC.
- 7. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
- 8. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO THE INSTALLATION OF ANY ELECTRONIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE-SIDE IRRIGATION FACILITIES. PRESSURE TESTING RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT
- 9. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTRE SPACING, AND ADDITIONAL INFORMATION.
- 10. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS
- 11. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS
- 12. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND IN THIS SHEET.
- 13. SYSTEM TO BE DESIGN BUILD. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ALL WORK.
- 14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS FOR ALL COMPLETED WORK ONCE APPROVED BY LANDSCAPE ARCHITECT.
- 15. IRRIGATION COMMAND CONTROLLER WITH RAIN SENSOR SYSTEM TO BE MOUNTED IN MECHANICAL ROOM.
- 16. ALL PIPE TO BE SCHEDULE 40.
- 17. IRRIGATION CONTROLLER TO BE INSTALLED IN VANDAL RESISTANT METAL LOCK BOX.
- 18. INSTALL PRECISION SOIL SENSOR ON SYSTEM
- 19. ALL PIPING RUNS ARE DIAGRAMMATIC, AVOID TRENCHING NEAR EXISTING TREE DRIP LINE.

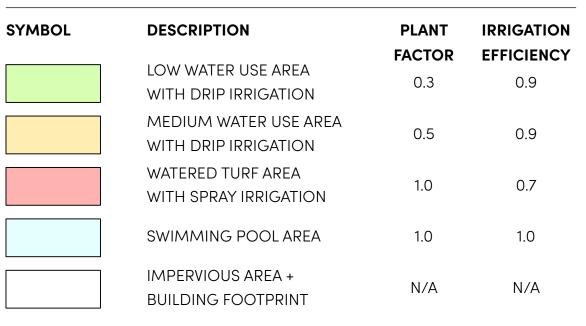
GENERAL WATER EFFICIENCY NOTES:

- 2. DRIP IRRIGATION SHALL BE UTILIZED FOR WATERING ALL NON-TURF IRRIGATED PLANTINGS.
- 3. ROTATING SPRINKLER NOZZLES SHALL BE UTILIZED FOR TURF IRRIGATION.
- 4. OVERHEAD SPRAY IRRIGATION SHALL NOT BE USED TO WATER NON-TURF LANDSCAPING, INCLUDING TREES AND SHRUBS.
- 5. IRRIGATION SYSTEMS SHALL OPERATE WITH AT LEAST 70 PERCENT EFFICIENCY.
- 6. RAINWATER COLLECTION/IRRIGATION SYSTEMS ARE ENCOURAGED TO SUPPLEMENT IRRIGATION FOR NEW LANDSCAPING. NEW STRUCTURES SHALL BE ENCOURAGED TO INCLUDE ONE OR MORE RAINWATER CISTERNS AND A SYSTEM TO PROVIDE AT LEAST 75 PERCENT OF EXTERIOR IRRIGATION DURING NORMAL RAINFALL YEARS. SYSTEMS MUST BE COMPLIANT WITH LOCAL CATCHMENT SYSTEM STANDARDS.
- 7. GREYWATER COLLECTION/IRRIGATION SYSTEMS ARE ENCOURAGED TO SUPPLEMENT IRRIGATION FOR NEW LANDSCAPING. SYSTEMS MUST BE COMPLIANT WITH LOCAL CATCHMENT SYSTEM STANDARDS, INCLUDING MONTEREY COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH.
- 8. ALL SITES UTILIZING A GREYWATER REUSE SYSTEM SHALL INSTALL AND MAINTAIN A BACKFLOW PREVENTION DEVICE AS REQUIRED BY ANY WATER DISTRIBUTION SYSTEM OPERATOR THAT SUPPLIES WATER TO THE SITE.
- 9. THE IMPLEMENTATION OF WATER CONSERVATION BEST MANAGEMENT PRACTICIES SHALL BE INTEGRATED INTO CONSTRUCTION AND OPERATION OF THE PROJECT TO THE EXTENT POSSIBLE.



SYMBOL	DESCRIPTION	PLANT FACTOR	IRRIGATION EFFICIENCY
	LOW WATER USE AREA WITH DRIP IRRIGATION	0.3	0.9
	MEDIUM WATER USE AREA WITH DRIP IRRIGATION	0.5	0.9
	WATERED TURF AREA WITH SPRAY IRRIGATION	1.0	0.7
	SWIMMING POOL AREA	1.0	1.0
	IMPERVIOUS AREA + BUILDING FOOTPRINT	N/A	N/A

HYDROZONES LEGEND



NOTE: REFER TO LANDSCAPE WATER USE APPLICATION AND IRRIGATION APPLICATION FORMS FOR HYDROZONE AREA CALCULATIONS

GENERAL IRRIGATION NOTES:

- 1. ALL HATCHED, PLANTED AREAS WILL BE IRRIGATED A SUB-SURFACE DRIP LINE SYSTEM BY NETAFIM USA. NETAFIM IS A CONTINUOUS SELF-CLEANING, RECYCLED CONTENT, PRESSURE COMPENSATING DRIPLING WITH A BUILT IN CHECK VALVE.
- 2. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHRUB OR GROUND COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE AS SHOWN IN THE DETAILS
- 3. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO IRRIGATED UNLESS INDICATED OTHERWISE ON THE DRAWINGS
- 4. SPRINKLER SYSTEM WILL BE BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME ALL RESPONSIBILITY FOR REVISIONS.
- 5. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.
- 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES ETC.
- 7. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
- 8. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO THE INSTALLATION OF ANY ELECTRONIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE-SIDE IRRIGATION FACILITIES. PRESSURE TESTING RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT
- 9. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTRE SPACING, AND ADDITIONAL INFORMATION.
- 10. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS
- 11. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS
- 12. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND IN THIS SHEET.
- 13. SYSTEM TO BE DESIGN BUILD. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ALL WORK.
- 14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS FOR ALL COMPLETED WORK ONCE APPROVED BY LANDSCAPE ARCHITECT.
- 15. IRRIGATION COMMAND CONTROLLER WITH RAIN SENSOR SYSTEM TO BE MOUNTED IN MECHANICAL ROOM.
- 16. ALL PIPE TO BE SCHEDULE 40.
- 17. IRRIGATION CONTROLLER TO BE INSTALLED IN VANDAL RESISTANT METAL LOCK BOX.
- 18. INSTALL PRECISION SOIL SENSOR ON SYSTEM
- 19. ALL PIPING RUNS ARE DIAGRAMMATIC, AVOID TRENCHING NEAR EXISTING TREE DRIP LINE.



GENERAL WATER EFFICIENCY NOTES:

- 2. DRIP IRRIGATION SHALL BE UTILIZED FOR WATERING ALL NON-TURF IRRIGATED PLANTINGS.
- 3. ROTATING SPRINKLER NOZZLES SHALL BE UTILIZED FOR TURF IRRIGATION.
- 4. OVERHEAD SPRAY IRRIGATION SHALL NOT BE USED TO WATER NON-TURF LANDSCAPING, INCLUDING TREES AND SHRUBS.
- 5. IRRIGATION SYSTEMS SHALL OPERATE WITH AT LEAST 70 PERCENT EFFICIENCY.
- ENVIRONMENTAL HEALTH.
- OPERATOR THAT SUPPLIES WATER TO THE SITE.
- EXTENT POSSIBLE.

1. WEATHER-BASED IRRIGATION SYSTEM CONTROLLERS SHALL INCLUDE FUNCTIONING SOIL MOISTURE SENSORS AND A RAIN SENSOR AS COMPONENTS OF THE SYSTEM.

RETAIL

PRIVATE DINING

LOBBY

RETAIL

GYM

BUILDING 28

WASHROOMS

OUNGE / GAMES / CO-WORK

6. RAINWATER COLLECTION/IRRIGATION SYSTEMS ARE ENCOURAGED TO SUPPLEMENT IRRIGATION FOR NEW LANDSCAPING. NEW STRUCTURES SHALL BE ENCOURAGED TO INCLUDE ONE OR MORE RAINWATER CISTERNS AND A SYSTEM TO PROVIDE AT LEAST 75 PERCENT OF EXTERIOR IRRIGATION DURING NORMAL RAINFALL YEARS. SYSTEMS MUST BE COMPLIANT WITH LOCAL CATCHMENT SYSTEM STANDARDS.

7. GREYWATER COLLECTION/IRRIGATION SYSTEMS ARE ENCOURAGED TO SUPPLEMENT IRRIGATION FOR NEW LANDSCAPING. SYSTEMS MUST BE COMPLIANT WITH LOCAL CATCHMENT SYSTEM STANDARDS, INCLUDING MONTEREY COUNTY DEPARTMENT OF

8. ALL SITES UTILIZING A GREYWATER REUSE SYSTEM SHALL INSTALL AND MAINTAIN A BACKFLOW PREVENTION DEVICE AS REQUIRED BY ANY WATER DISTRIBUTION SYSTEM

9. THE IMPLEMENTATION OF WATER CONSERVATION BEST MANAGEMENT PRACTICIES SHALL BE INTEGRATED INTO CONSTRUCTION AND OPERATION OF THE PROJECT TO THE **HYDROZONE + IRRIGATION PLAN EAST** Scale: 1/16" = 1'-0"





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ICHAEL N. EN

Date

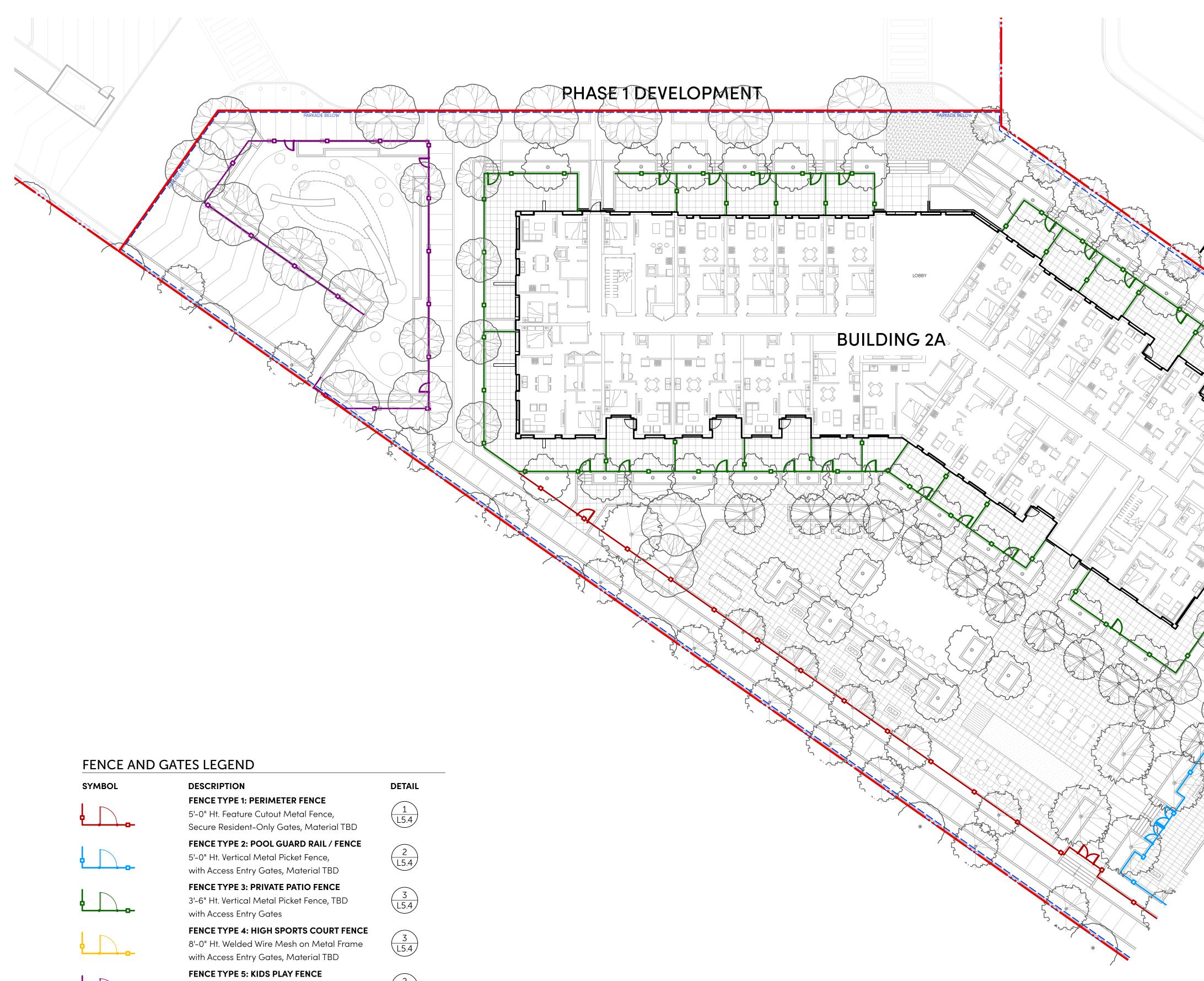
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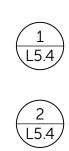
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Checked By



MBOL	

5'-0" Ht. Vertical Metal Picket Fence, with Access Entry Gates, Material TBD

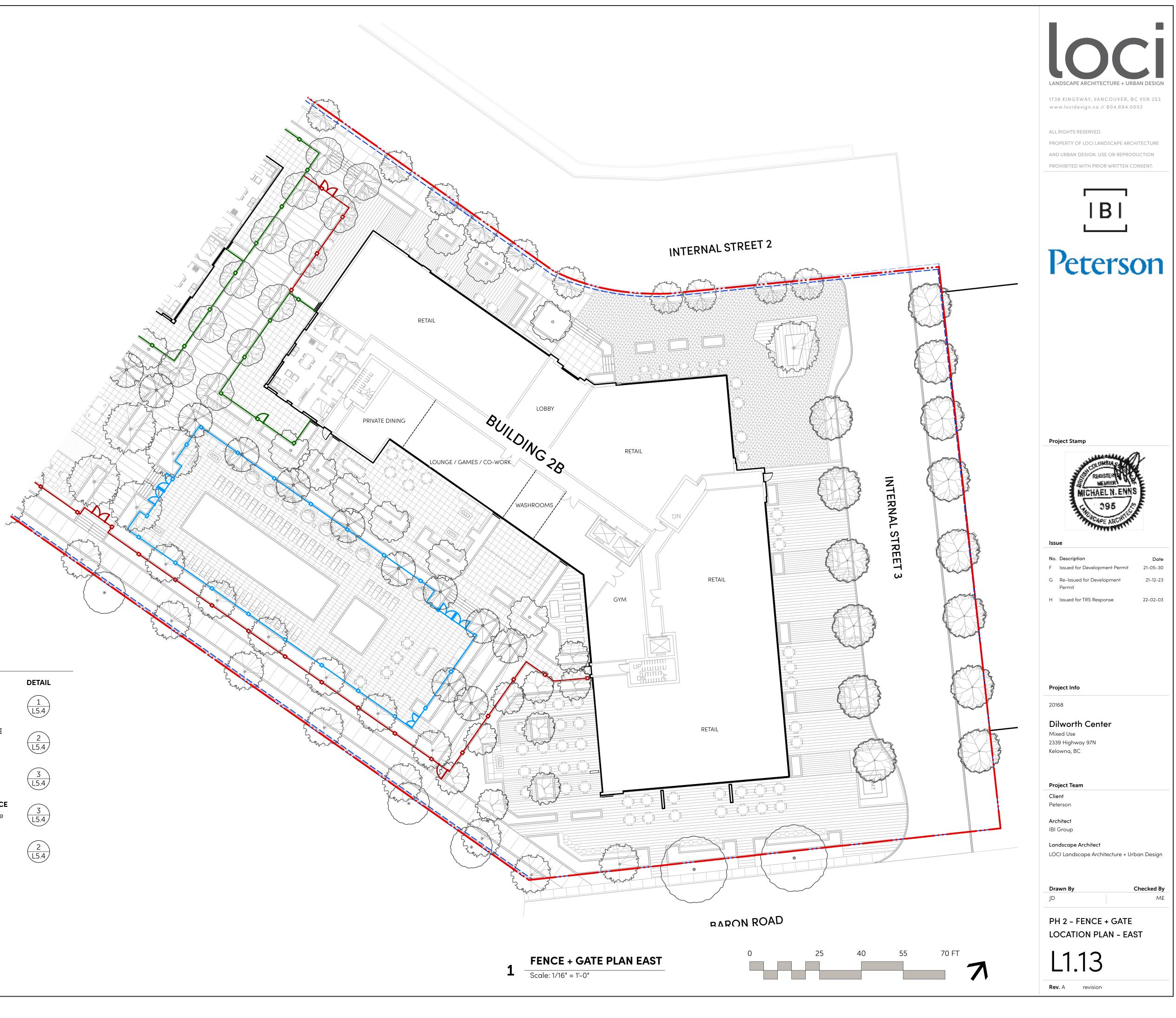








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	Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC
	Project Team Client Peterson Architect IBI Group Landscape Architect LOCI Landscape Architecture + Urban Design
	Drawn By Checked By JD ME PH 2 - FENCE + GATE LOCATION PLAN - WEST
0 25 40 55 70 FT	L1.12 Rev. A revision



FENCE AND GATES LEGEND

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SYMBOL				
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DESCRIPTION FENCE TYPE 1: PERIMETER FENCE 5'-0" Ht. Feature Cutout Metal Fence, Secure Resident-Only Gates, Material TBD FENCE TYPE 2: POOL GUARD RAIL / FENCE 5'-0" Ht. Vertical Metal Picket Fence, with Access Entry Gates, Material TBD

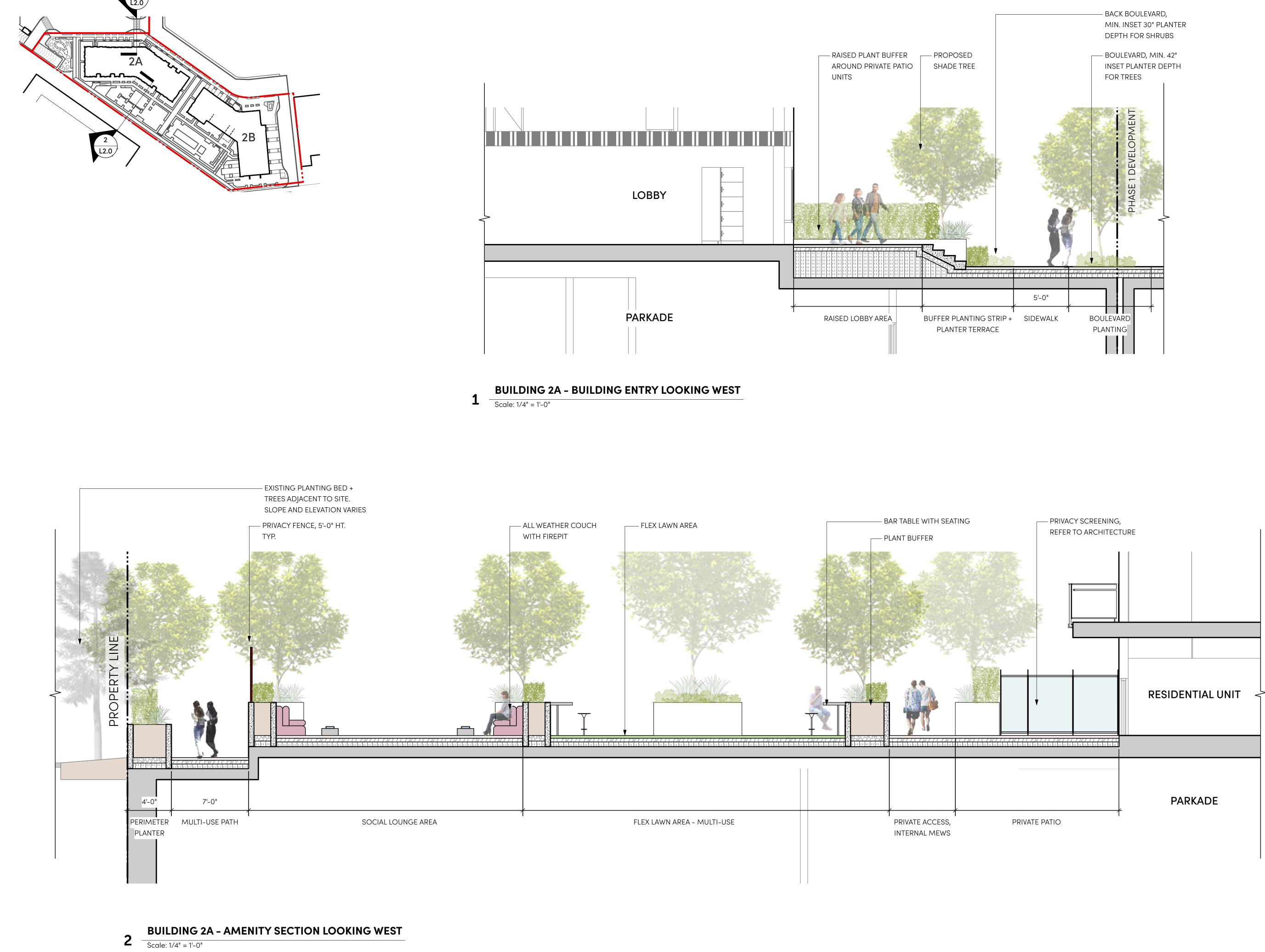
FENCE TYPE 3: PRIVATE PATIO FENCE 3'-6" Ht. Vertical Metal Picket Fence, TBD with Access Entry Gates

FENCE TYPE 4: HIGH SPORTS COURT FENCE 8'-0" Ht. Welded Wire Mesh on Metal Frame with Access Entry Gates, Material TBD

FENCE TYPE 5: KIDS PLAY FENCE 5'-0" Ht. Vertical Metal Picket Fence, with Access Entry Gates, Material TBD







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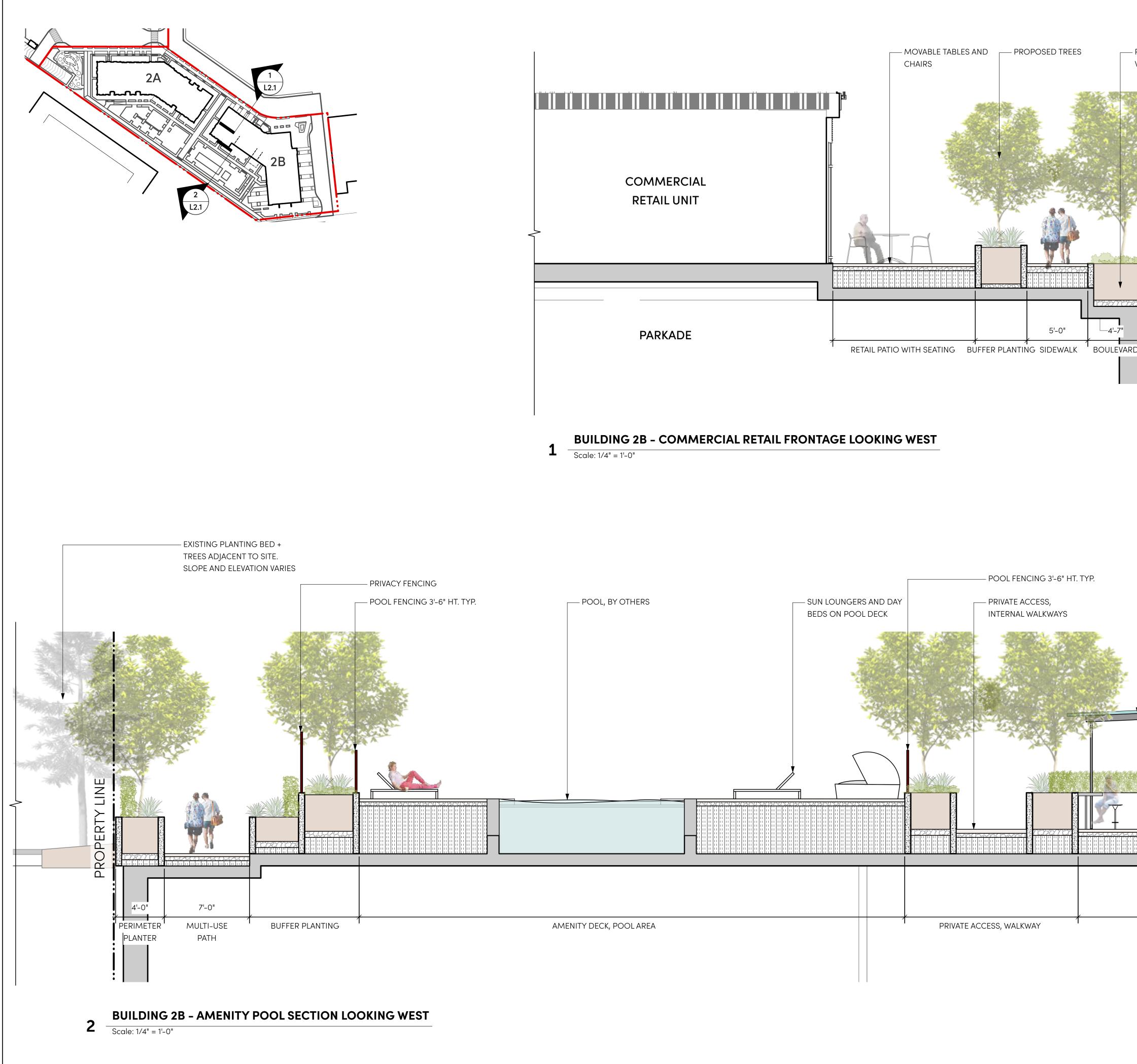
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L2.0

Rev. A revision



	Peterson
SHADE STRUCTURE OVER BBQ AREA	
OUTDOOR AMENITY LOUNGE	Project Info 20168 Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC Project Team Client Peterson Architect IBI Group Landscape Architect LOCI Landscape Architecture + Urban Design Drawn By Checked By JD ME
	PH 2 - SECTIONS L2.1 Rev. A revision

PROPOSED BOULEVARD WITH PLANTING

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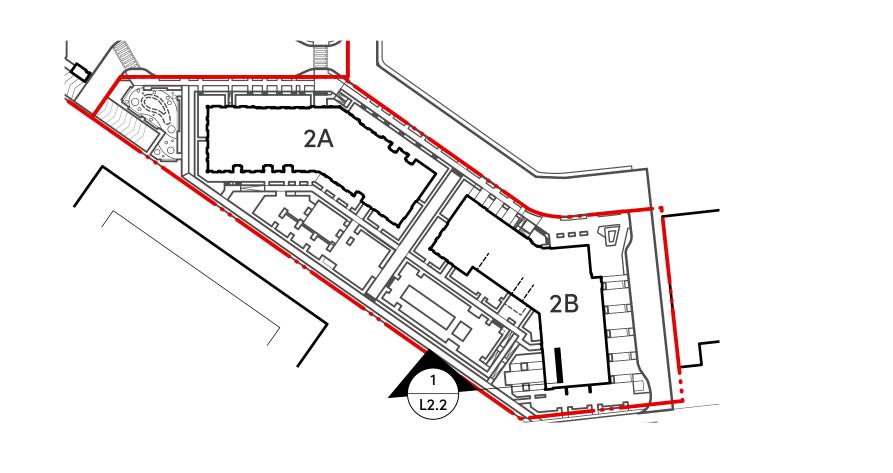
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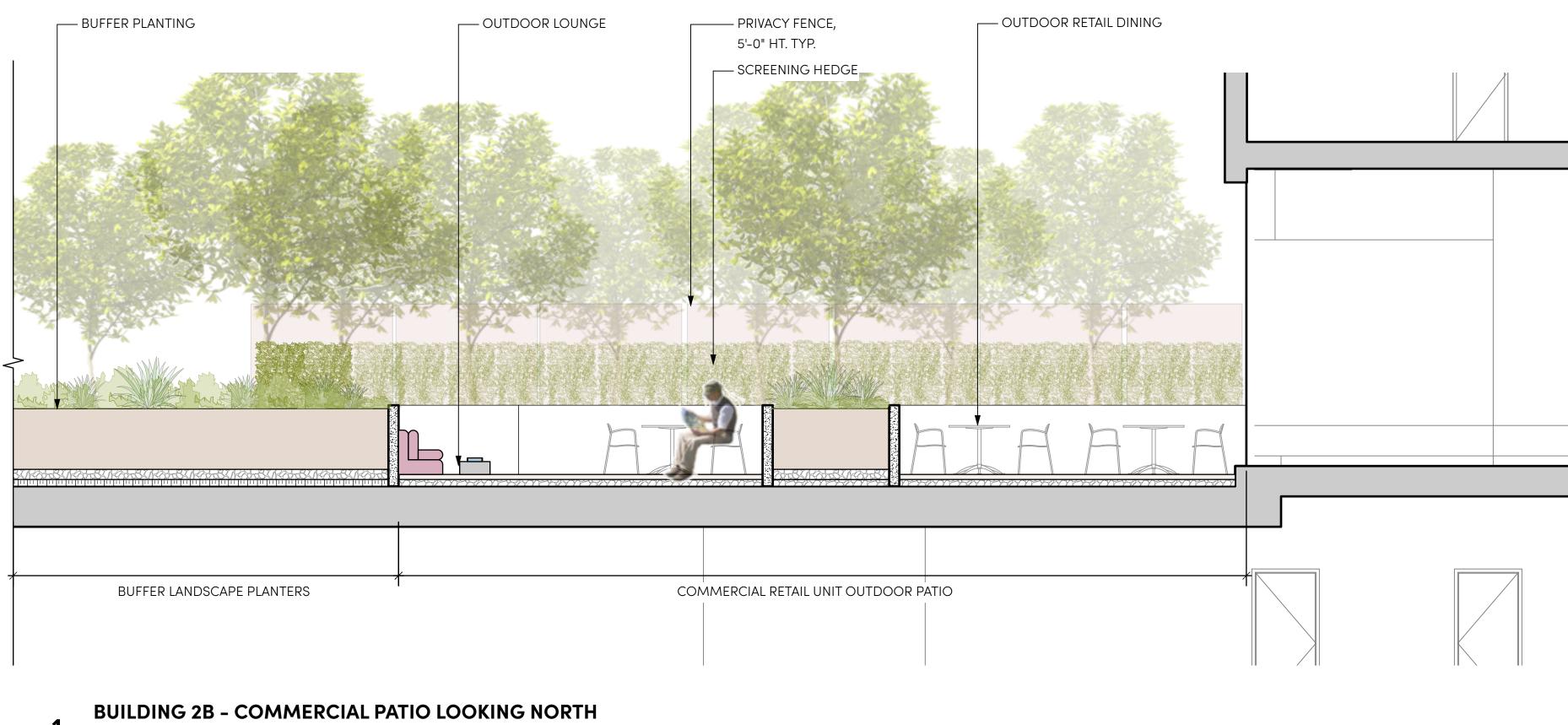
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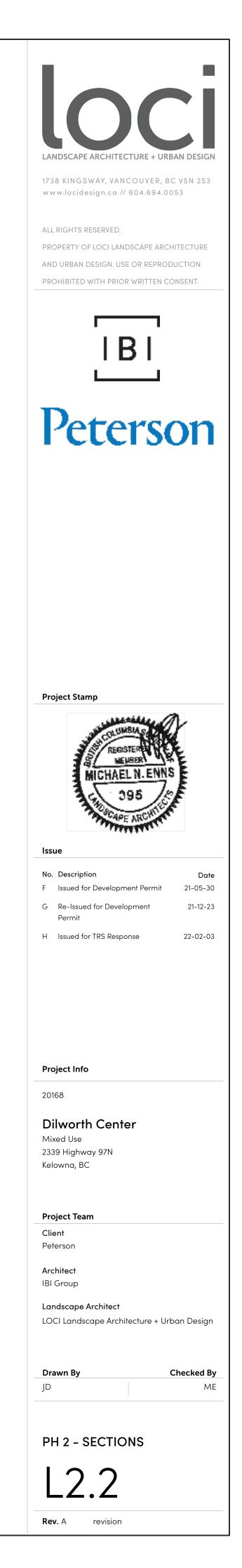
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Scale: 1/4" = 1'-0"





OVERALL PLANT LIST

Symbol DECIDUOUS TR		Latin Name	Common Name	Scheduled
	18	Acer griseum	Paperbark Maple	6cm cal.
	15	Acer rubrum 'Morgan'	Morgan Red Maple	7cm cal.
Ö	1	Catalpa speciosa	Northern Catalpa	10cm cal.
	14	Cercidiphyllum japonicum	Katsura Tree	7cm cal.
	29	Fraxinus 'Autumn Applause'	White Ash	7cm cal.
	21	Magnolia kobus	Kobus Magknolia	7cm. cal.
	5	Nyssa sylvatica	Black Tupelo	7cm cal.
	9	Prunus x yedoensis	Yoshino Cherry	6cm cal.
\bigcirc	41	Pyrus calleryana 'Chanticleer'	Callery Pear	6cm cal.
	17	Zelkova serrata 'Musashino'	Columnar Sawleaf Zelkova	6cm cal.
CONIFERS:				
SHRUBS:				
	29	Arbutus unedo 'Compacta'	Compact Strawberry Bush	#3 Pot
	116	Artemesia tridentata	Big Sagebrush	#3 Pot
	85	Lonicera pileata	Box-leaf Honeysuckle	#3 Pot
	273	Osmanthus delavayi	Sweet Olive	#3 Pot
	760	Pinus mugo	Mugo Pine	#2 Pot
Ő	202	Prunus laurocerasus 'Otto Luyken'	Cherry Laurel	#3 Pot
	220	Rhododendron x 'Ramapo'	Ramapo Rhododendron	#3 Pot
	215	Rosa nutkana	Nootka Rose	#2 Pot
Ő	59	Salix purpurea 'Nana'	Dwarf Arctic Willow	#3 Pot
Ŏ	218	Spiraea japonica 'Goldflame'	Japanese Spirea	#2 Pot
and the second s	430	Taxus x media 'Hicksii'	Hick's Yew	1.25m. ht.
PERENNIALS, G	RASSES, G	ROUNDCOVER:		
	48	Carex elata 'Aurea'	Bowles Golden Sedge	#1 pot
	153	Elymus magellanicus	Blue Wheat Grass	#2 Pot

174 Miscanthus sinensis 'Morning Light' Silver Grass \bigcirc 673 Nepeta faassenii 'Cat's Meow' Catmint

415 Rudbeckia fulgida 'Goldsturm'

NOTES:

1. ALL PLANT MATERIAL AND LANDSCAPING PRACTICES SHALL BE COMPLIANT WITH THE LATEST EDITION OF THE BCLNA NURSERY STANDARD.

2. IN CASE OF DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.

3. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.

4. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD. 5. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY STANDARDS, INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.

Black-Eyed Susan

Α ΕΙΝΔΙ Ι ΟΛΑΤΙΟΝΙ ΟΠΑΝΤΙΤΥ TREE SPECIES ΤΟ ΤΗΕ SATISEACTION OF THE CLIENT AND THE I ANDSCAPE ARCHITECT

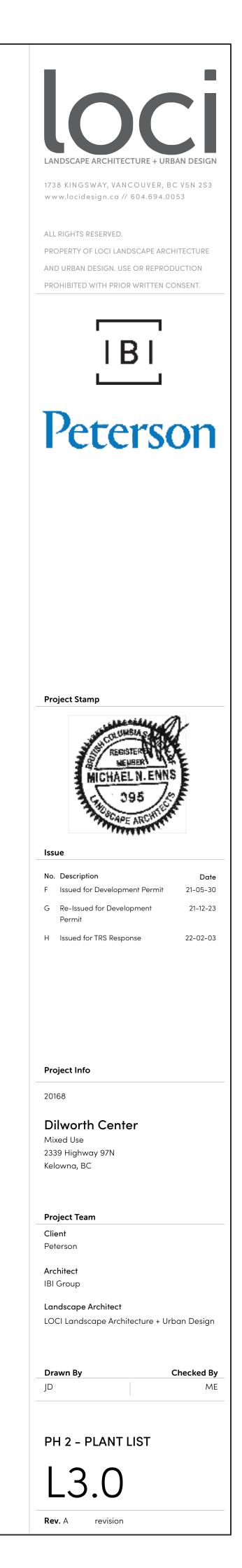
ed Size	Spacing	Notes
	As Shown	B&B
	As Shown	B&B
	As Shown	B&B Specimen
	As Shown	B&B
	As Shown	В&В
	As Shown	В&В
	As Shown	B&B
	As Shown	B&B
	As Shown	B&B
	As Shown	Columnar/upright form.

2'6" o.c.			
3'0" o.c.			
2'6" o.c.			
2'6" o.c.			
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1'6" o.c.			

#2 Pot

#1 Pot

#1 Pot



PHASE 2 PLANT IMAGES

TREES



Acer griseum Paperbark Maple



Acer rubrum 'Morgan' Morgan Red Maple

SHRUBS



Catalpa speciosa Northern Catalpa



Pyrus calleryana 'Chanticleer' Pseudosuga menziesii **Callery** Pear



Douglas Fir





Arbutus unedo 'Compacta' Compact Strawberry Bush



Pinus mugo Mugo pine



Potentilla fruticosa Bush Cinquefoil



'Otto Luyken' Cherry Laurel



GROUNDCOVERS FERNS PERENNIALS GRASSES



Elymus magellanicus **Blue Wheat Grass**



Light' **Chinese Silver Grass**



Nepeta faassenii **Cat's Meow Catmint**



Cercidiphyllum japonicum Katsura Tree



Fraxinus 'Autumn Applause' White Ash



Ginkgo bilboa 'Princeton Sentry' Magnolia kobus **Princeton Sentry** Maidenhair Tree



Kobus Magknolia



Artemesia tridentata Big Safebrush



Berberis thunbergii 'Atropurpurea' Japanese Barberry



Cornus sericea 'Kelseyi' Dwarf Red Osier Dogwood



Juniperus communis Common Juniper

Rhododendron x 'Ramapo' Ramapo Rhododendron



Ribes sanguineum **Flowering Red Currant**



Rosa nootkatensis Nookta Rose



Rosa rugosa 'John Cabot' Red Climbing Rose



Salix purpurea 'Nana' **Dwarf Arctic Willow**



Rudbeckia fulgida 'Goldstrum' Blackeyed Susan

Nyssa Sylvatica Black Tupelo



Prunus x Yedoensis Yoshino Cherry



Lonicera pileata Box-leaf Honeysuckle



Osmanthus Delavayi Sweet Olive





Spiraea bumalda 'Goldflame' Taxus x media 'Hicksii" 'Goldflame' Spiraea



'Hick's' Yew



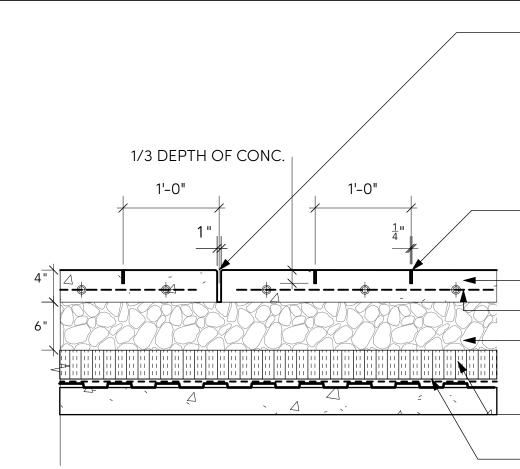
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Rev. A revision



SAW CUT EXPANSION JOINT THROUGH REBAR AND CONCRETE TO FULL DEPTH OF SLAB. MULTIPLE SAW CUTS REQUIRED TO OBTAIN PREFERRED WIDTH.

PROVIDE A CONTINUOUS 25MM TOOL JOINT ALONG THE LENGTH OF THE EXPANSION JOINT IMMEDIATELY AFTER POURING.

– 1/4" WIDE x 1" DEEP SAW CUT JOINT CONTROL, TYPICAL;

PATTERN VARIES - SEE LAYOUT PLAN CIP REINFORCED CONCRETE - BY OTHERS

REBAR 10M BOTH WAYS - BY OTHERS

- 3/4" MINUS GRANULAR BASE, COMPACTED TO 95% MPD

- VOIDING, AS REQUIRED

-ARCHITECTURAL MEMBRANE AND ASSEMBLY

NOTES:

- 1. TROWEL WITH LIGHT SANDBLAST
- 2. SEE TYPICAL LAYOUT PLAN FOR JOINT PATTERN AND BAND WIDTH
- 3. EXP. JOINTS 20'-0" O.C. MAX (@ CURB, BUILDING EDGE CUT LINES, CHANGES IN MATERIALS.
- SPACING TO COINCIDE W/ PATTERN)
- 4. CONTROL JOINTS @ 5'-0" O.C. MAX
- 5. FINAL LOCATIONS TO BE CONFIRMED ON SITE
- 6. STRUCTURAL ENGINEER TO CONFIRM DEPTH AND REINFORCEMENT



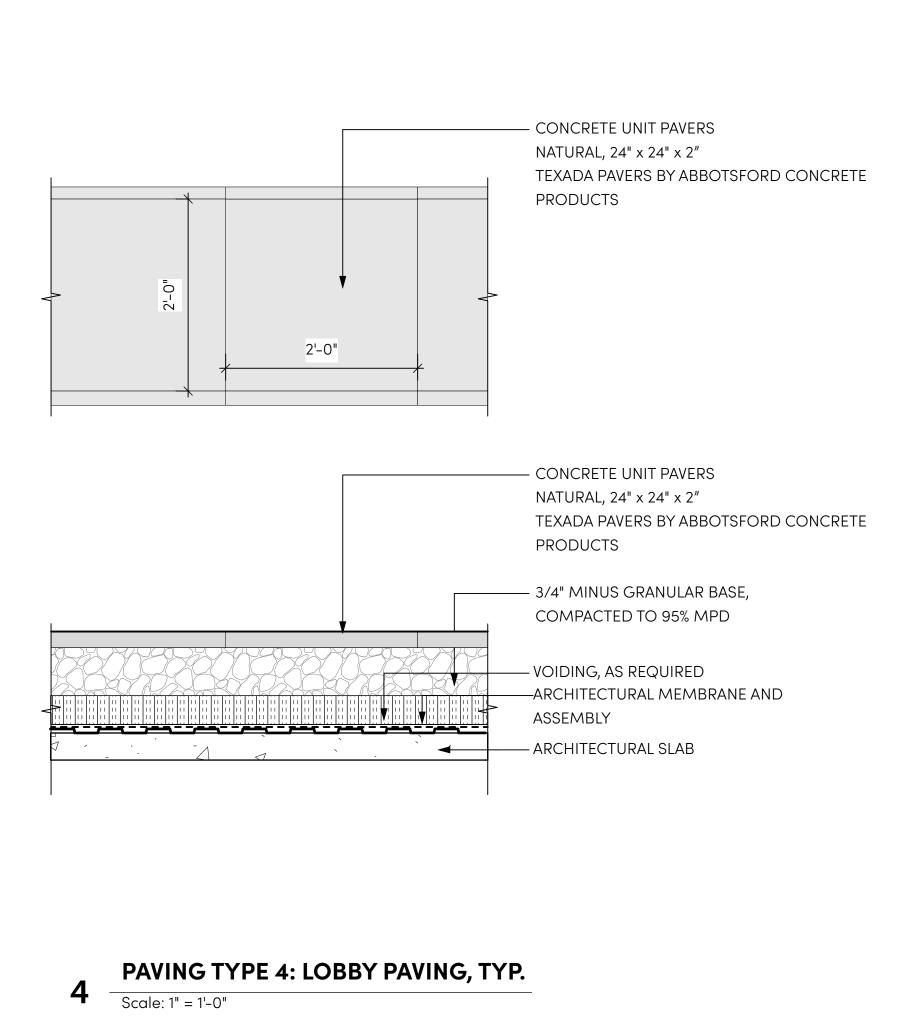
Scale: 1" = 1'-0"





BROOM FINISH

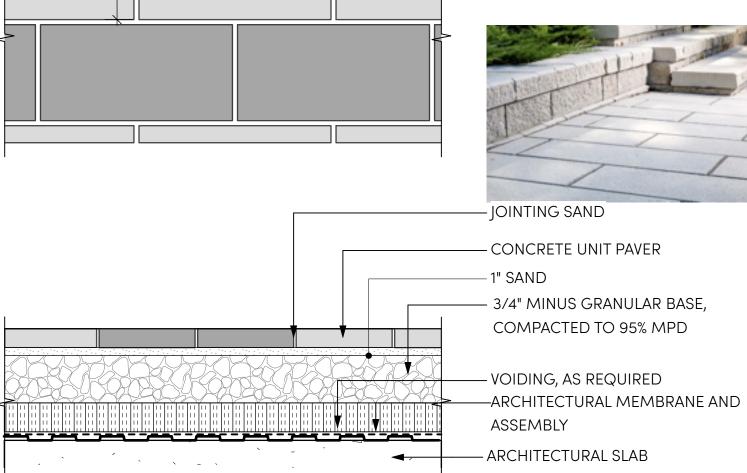
PAVING TYPE 1: CIP CONCRETE PAVING, TYP.



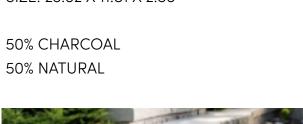








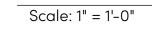
SIZE: 23.62 X 11.81 X 2.56 50% CHARCOAL







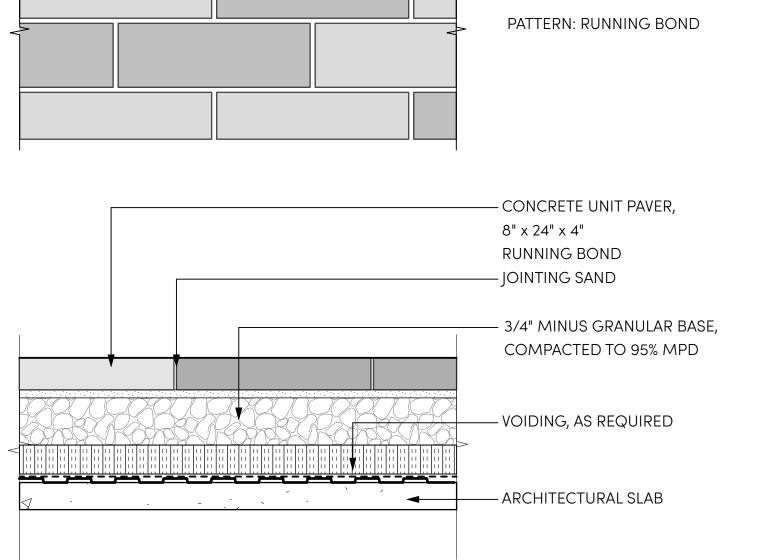


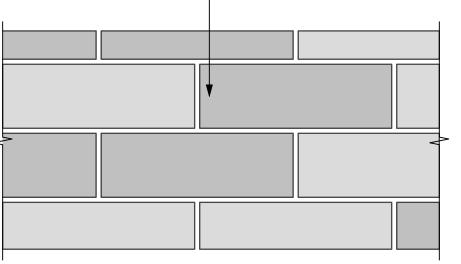


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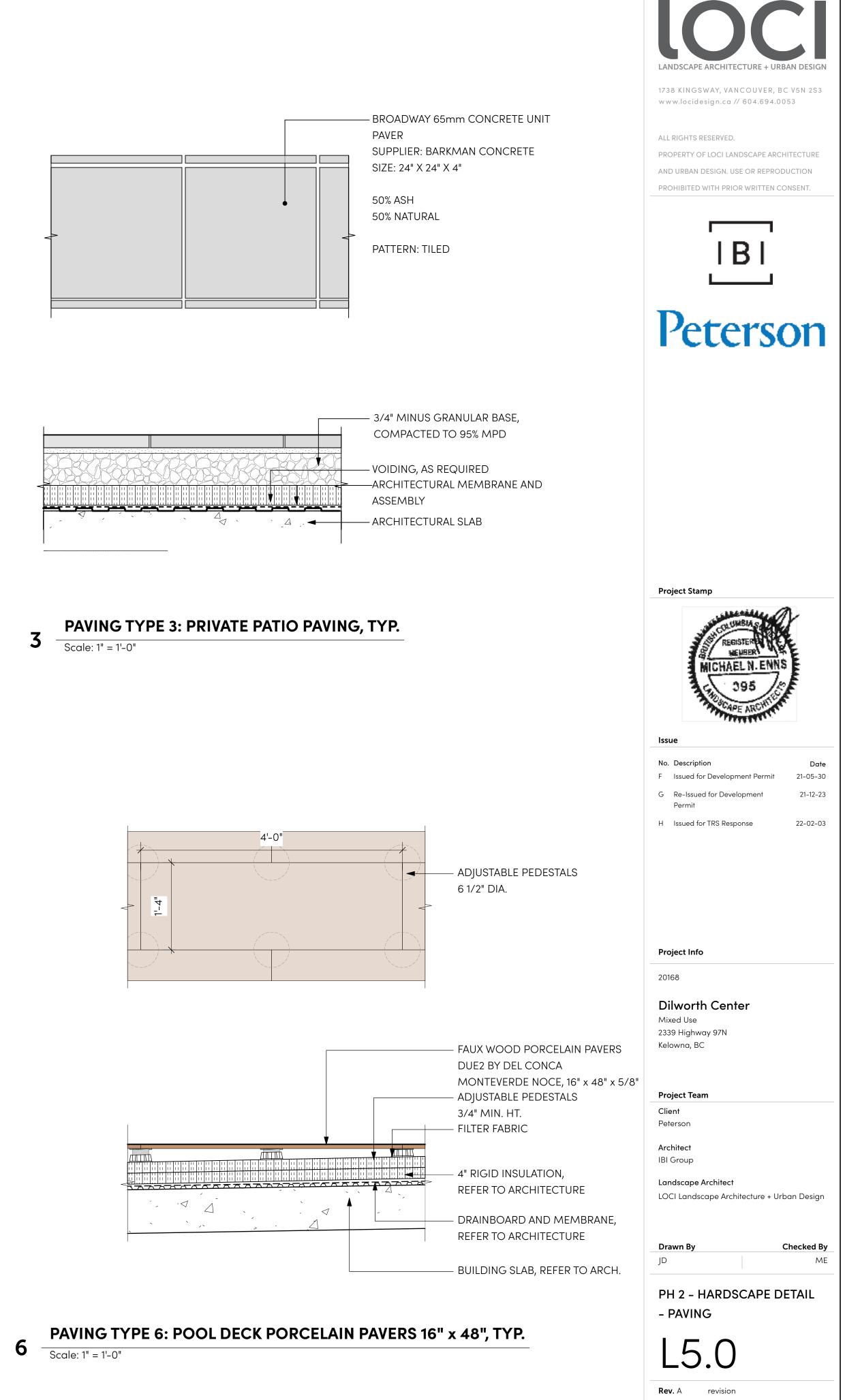
2'-0"

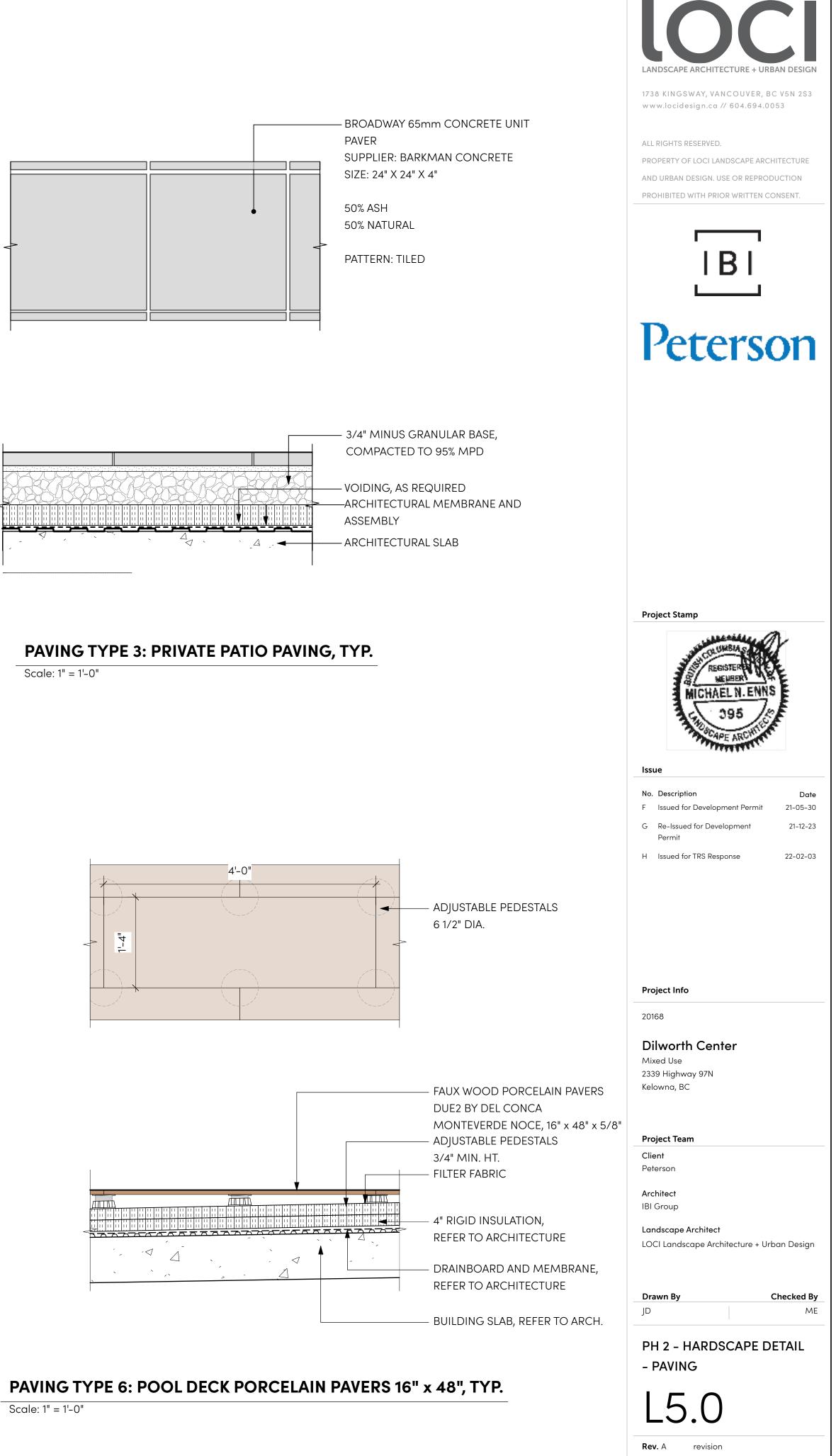


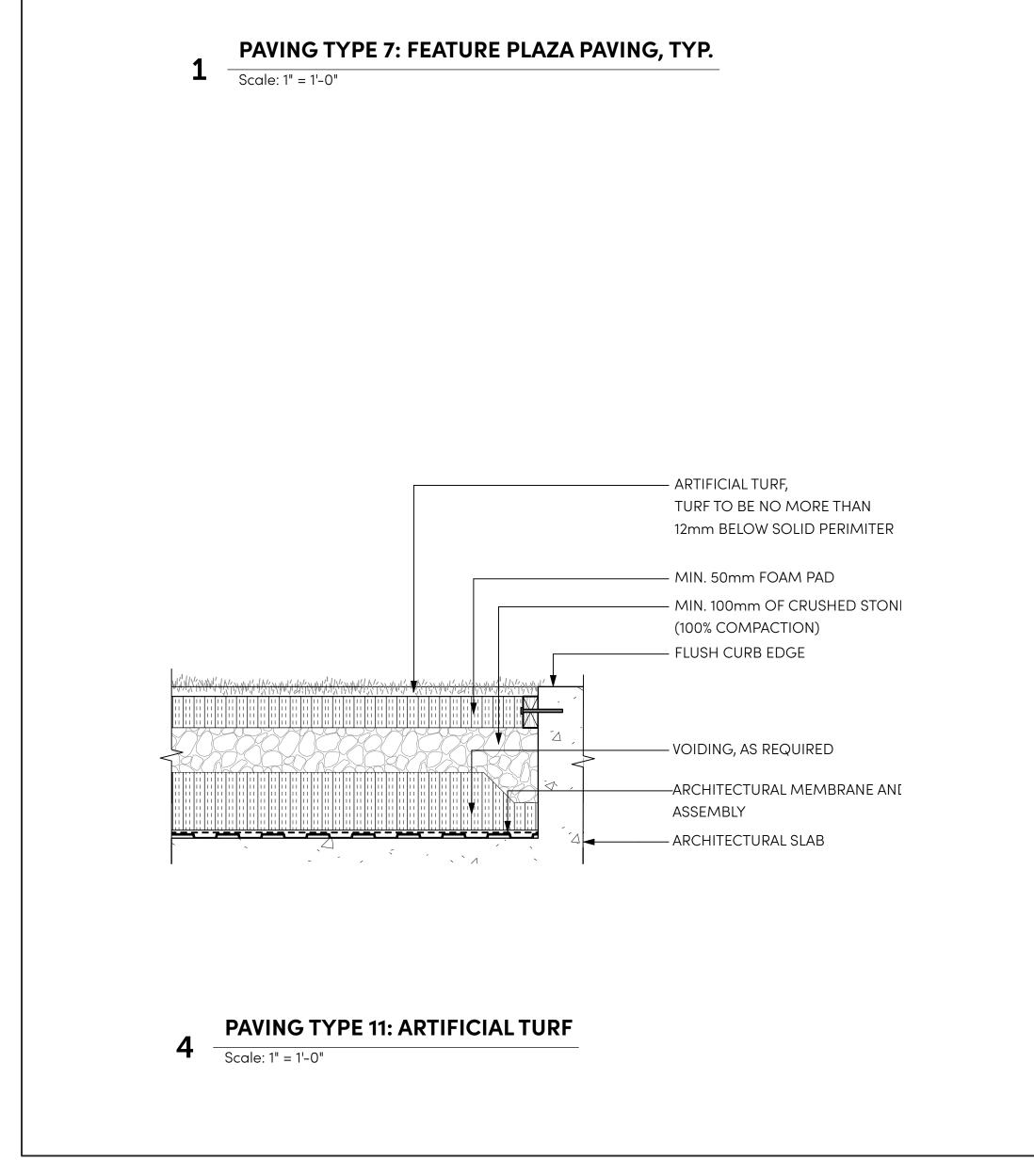


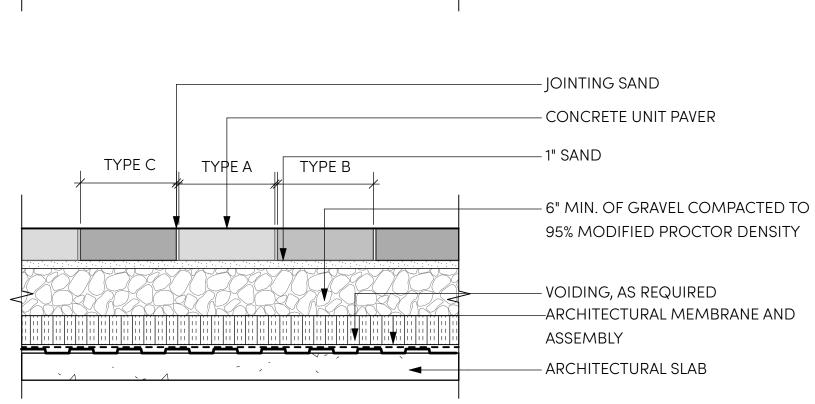
COLOR: RANDOM 50% BLACK GRANITE, 50% MOUNTAIN MIST

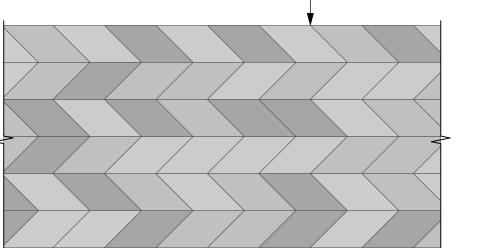
– UNILOCK SERIES (tm) UNIT PAVERS SIZE: 8" x 24" x 4"









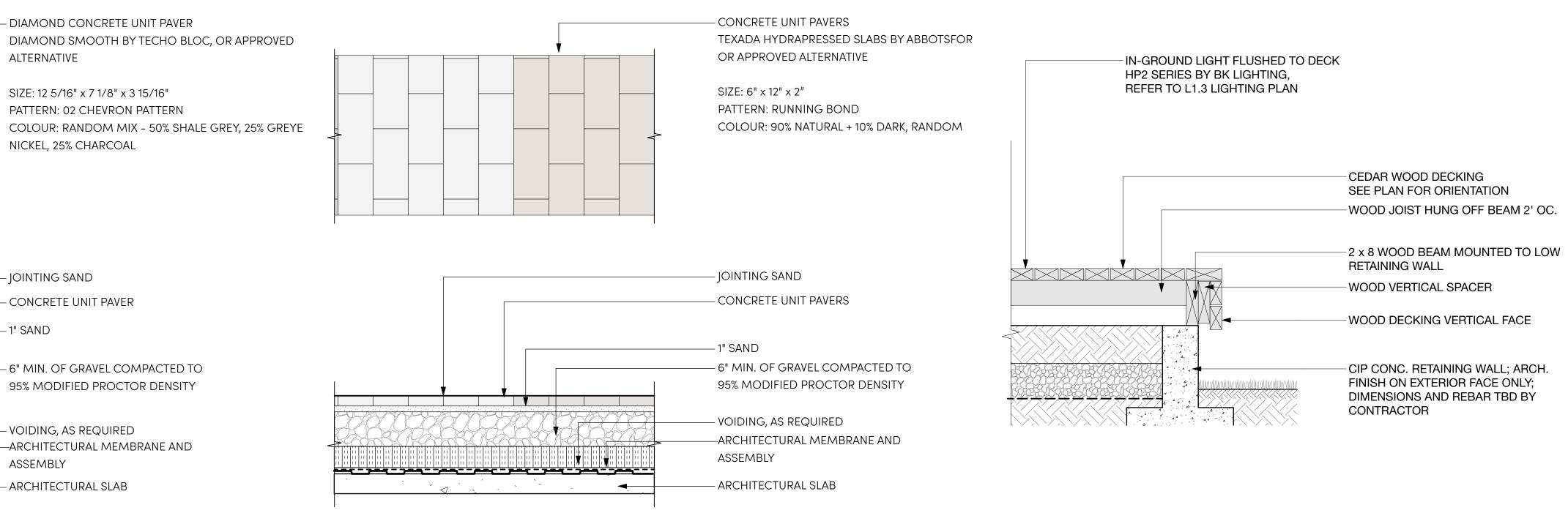


– DIAMOND CONCRETE UNIT PAVER DIAMOND SMOOTH BY TECHO BLOC, OR APPROVED ALTERNATIVE

SIZE: 12 5/16" x 7 1/8" x 3 15/16"

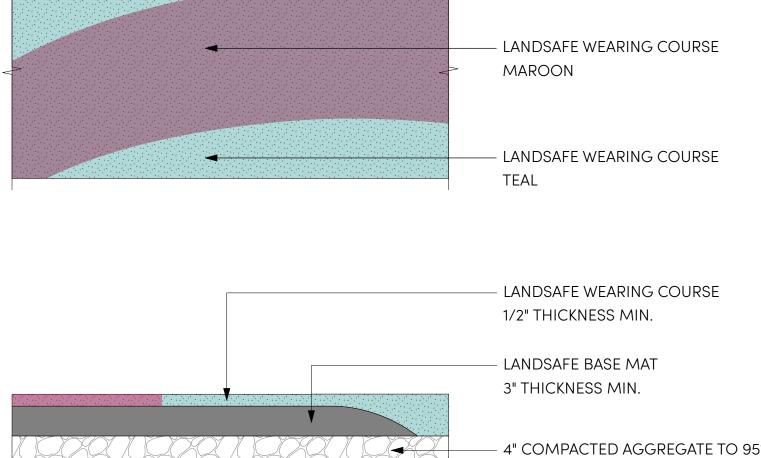
NICKEL, 25% CHARCOAL

PATTERN: 02 CHEVRON PATTERN



PAVING TYPE 8: RETAIL FRONTAGE PAVING, TYP.

2 Scale: 1" = 1'-0"



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– 4" COMPACTED AGGREGATE TO 95% MPD - 4" RIGID INSULATION, REFER TO ARCHITECTURE

- DRAINBOARD AND MEMBRANE, REFER TO ARCHITECTURE

– BUILDING SLAB, REFER TO ARCH.

PAVING TYPE 12: PIP RUBBER SURFACE

5 Scale: 1" = 1'-0"



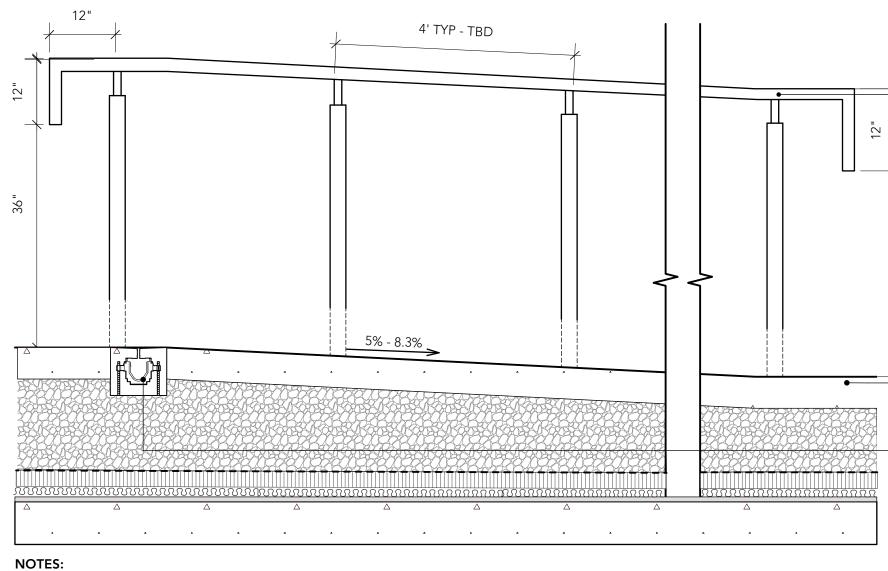
PAVING TYPE 9: WOODEN DECKING, TYP.

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P	eters	or
Proje	ct Stamp	
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G F	e-Issued for Development ermit	21-12-
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Clien Peter Archi IBI G Land	roup	ban Desig
Clien Peter Archi IBI G Land	roup scape Architect Landscape Architecture + Urb	ban Desig Checked

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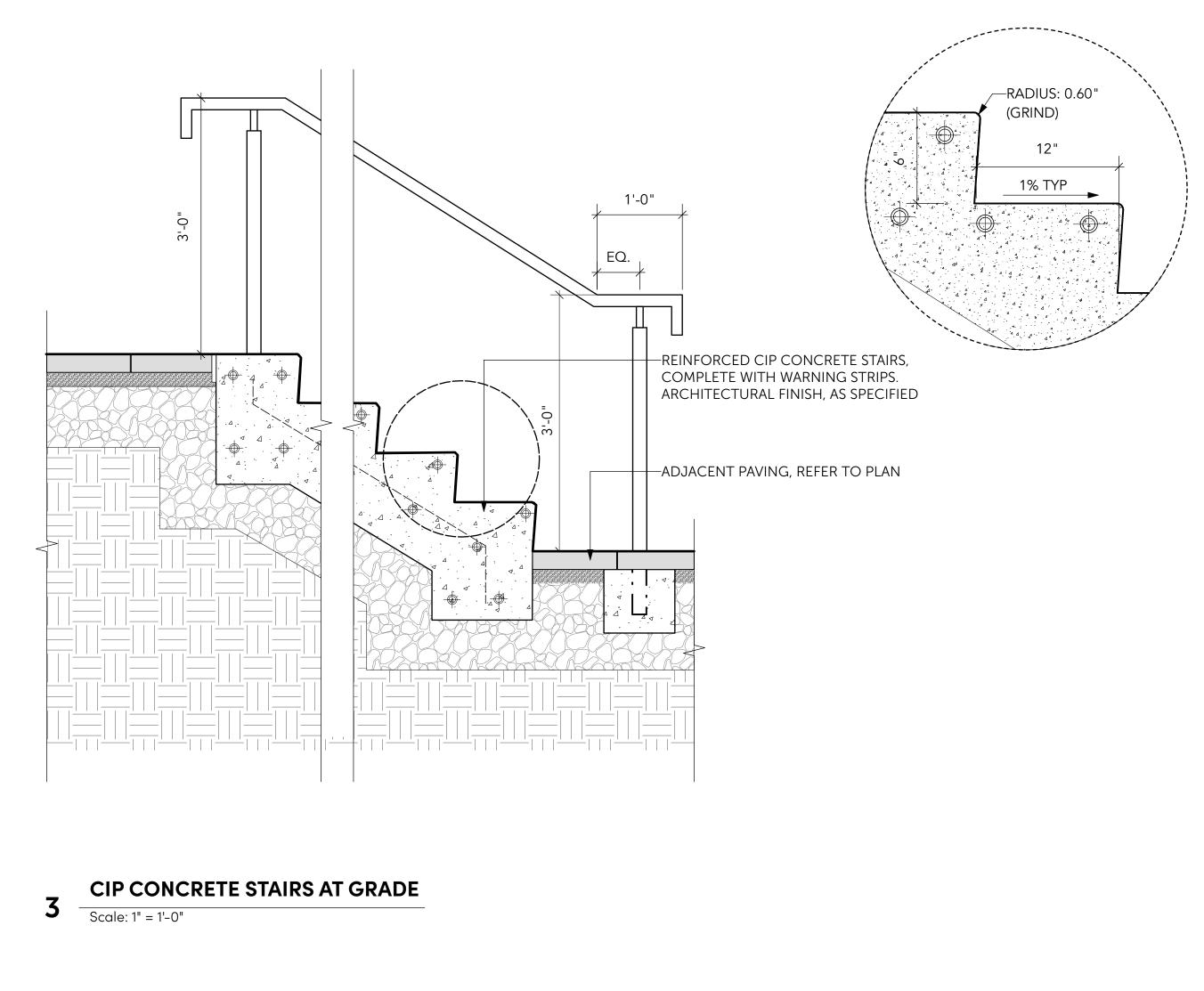
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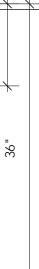
Rev. A revision



1. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION

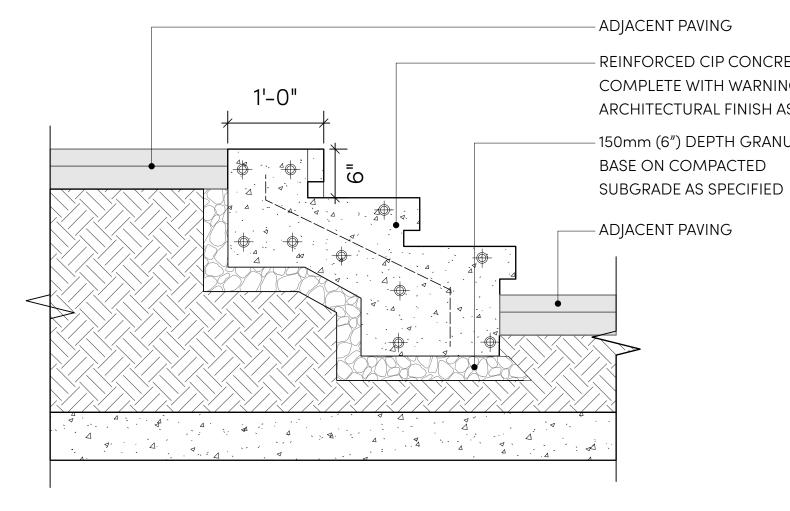




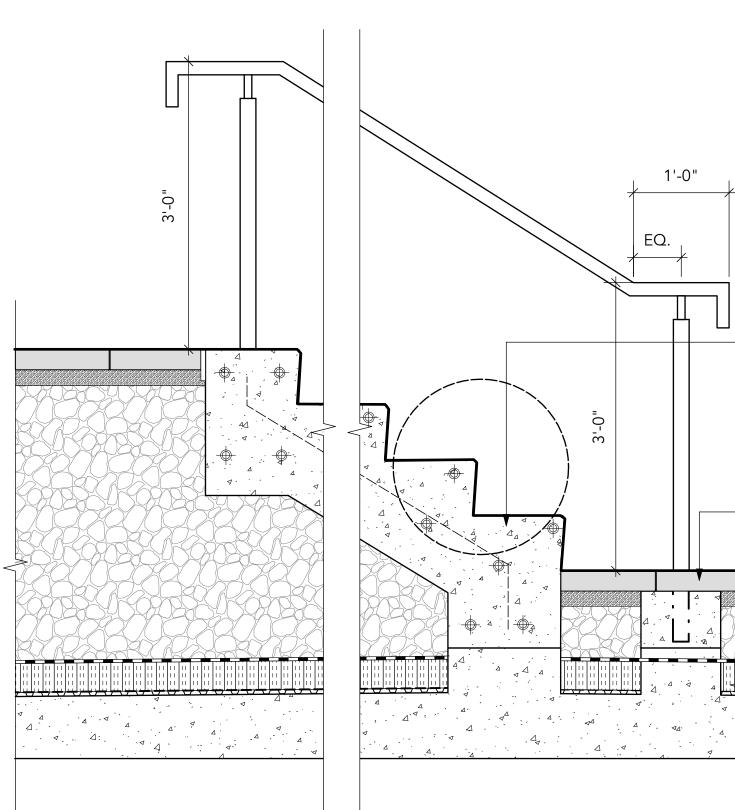


-1-5/8" STRAIGHT STAINLESS STEEL HANDRAIL WITH INTEGRAL LED STRIP LIGHTING; RAIL C/W TOP AND BOTTOM EXTENSIONS, RETURN TO FLOOR, POSTS SURFACE MOUNTED TO CONCRETE PAVING (SEE ARCH / STRUCTURAL FOR MOUNTING DETAILS). C/W ANTI-SKATEBOARD DEVICES (NOT SHOWN)

- CIP CONCRETE RAMP 4" THICK - SEE STRUCTURAL – ZURN LINEAR STRIP DRAIN





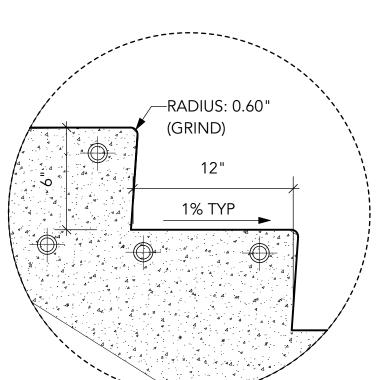


CIP CONCRETE STAIRS ON SLAB 4 Scale: 1" = 1'-0"

- REINFORCED CIP CONCRETE STAIRS COMPLETE WITH WARNING STRIPS; ARCHITECTURAL FINISH AS SPECIFIED

– 150mm (6") DEPTH GRANULAR BASE ON COMPACTED





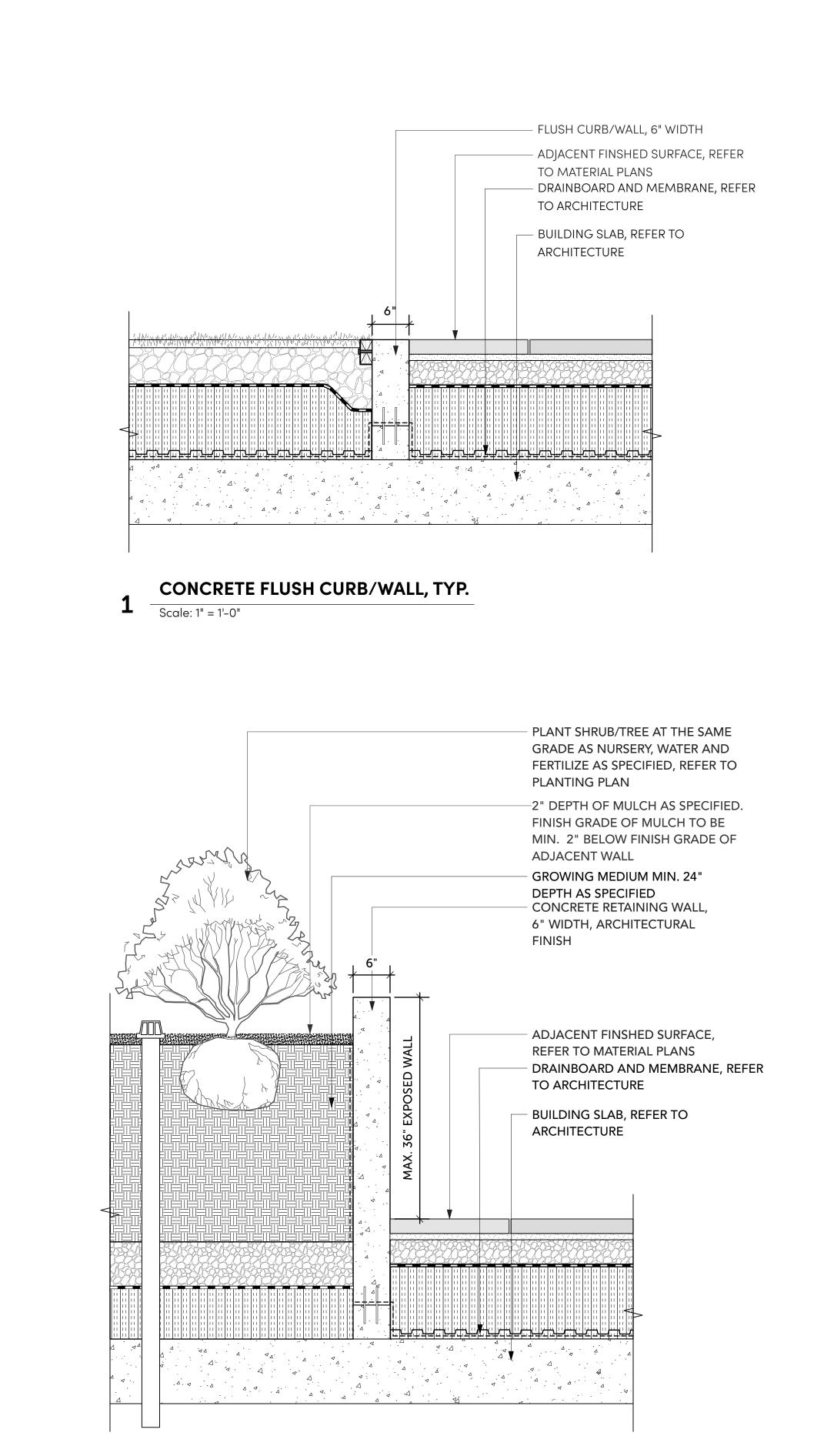
-REINFORCED CIP CONCRETE STAIRS, COMPLETE WITH WARNING STRIPS. ARCHITECTURAL FINISH, AS SPECIFIED

-ADJACENT PAVING, REFER TO PLAN

> PH 2 - HARDSCAPE DETAIL - STAIRS AND RAMPS

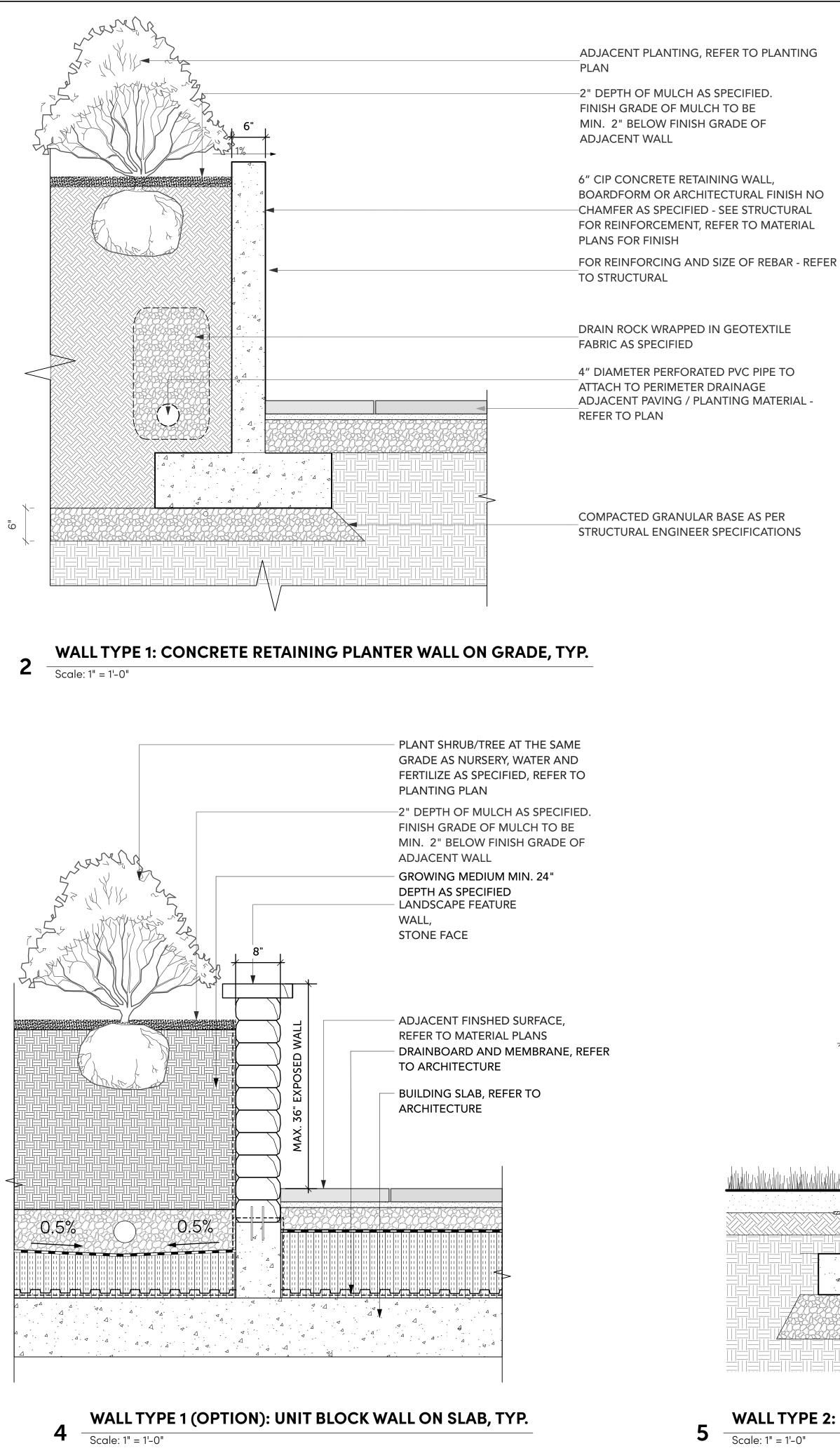
L5.2 Rev. A revision

266



WALL TYPE 1: CONCRETE RETAINING PLANTER WALL ON SLAB, TYP.

3 Scale: 1" = 1'-0"



-COPING; TBD; MOUNTED TO CONCRETE WALL WITH DOWEL / Project Info 254mm EPOXY 20168 **Dilworth Center** -STONE FACING TBD Mixed Use 2339 Highway 97N Kelowna, BC -CIP CONCRETE WALL WITH REINFORCMENT Project Team ALG WIGANG AND AND AND AND Client Peterson -GALVANIZED (LLV) STEEL ANGLE Architect FASTENED WITH BOLTS AND EMBEDDED IBI Group INTO CONCRETE WALL Landscape Architect ⊲∆્ -COMPACTED **GRANULAR BASE** Drawn By ID PH 2 - HARDSCAPE DETAIL - CURBS AND WALLS WALL TYPE 2: LANDSCAPE FEATURE WALL, TYP. L5.3 Rev. A revision



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LEVER AICHAELN. EN

Project Stamp

lssue

No. Description

Permit

F Issued for Development Permit

G Re-Issued for Development

H Issued for TRS Response

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Date

21-05-30

21-12-23

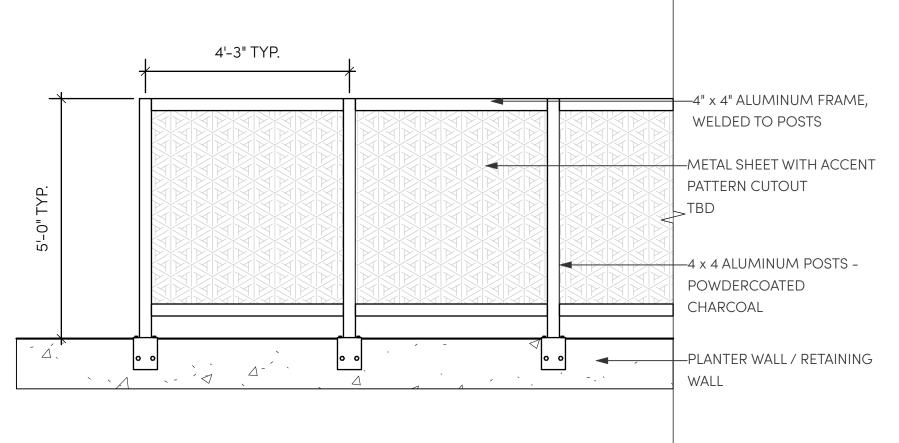
22-02-03

LOCI Landscape Architecture + Urban Design

Checked By

267

MF



SECTION

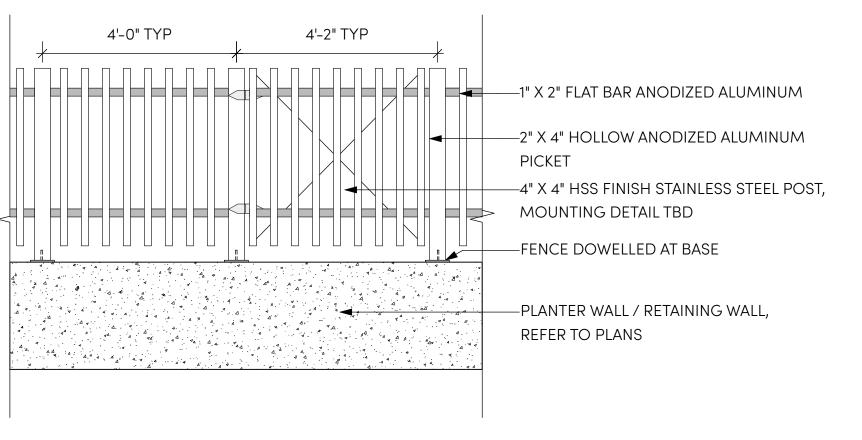
NOTE: 1. ARCHITECTURE AND STRUCTURAL TO COORDINATE FINAL LOCATION AND DETAILING



KALEIDOSCOPE

PRECEDENT IMAGE

FENCE TYPE 1: 5'-0" HT. PERIMETER FENCE, TYP. 1 Scale: 1/2" = 1'-0"

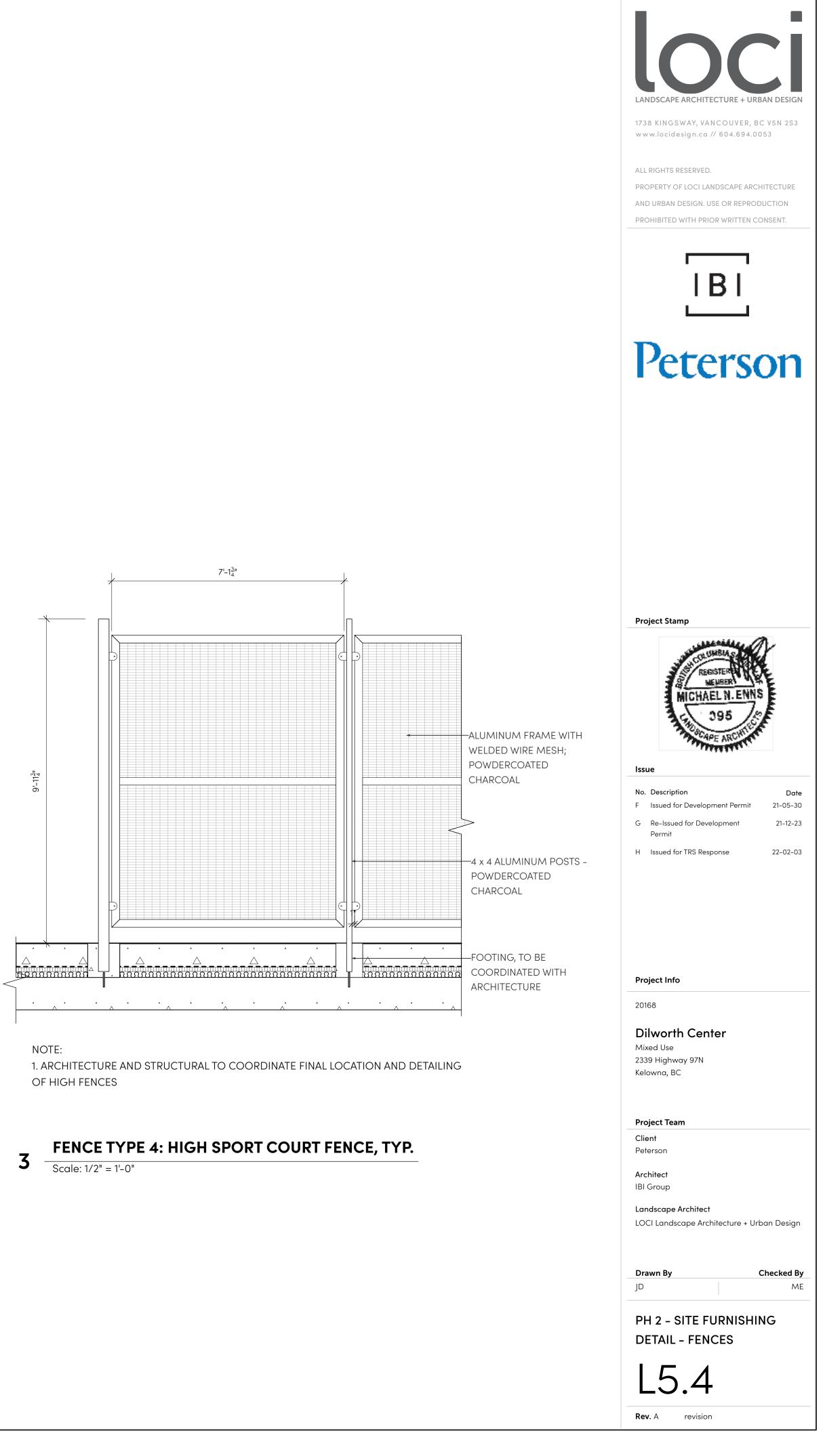


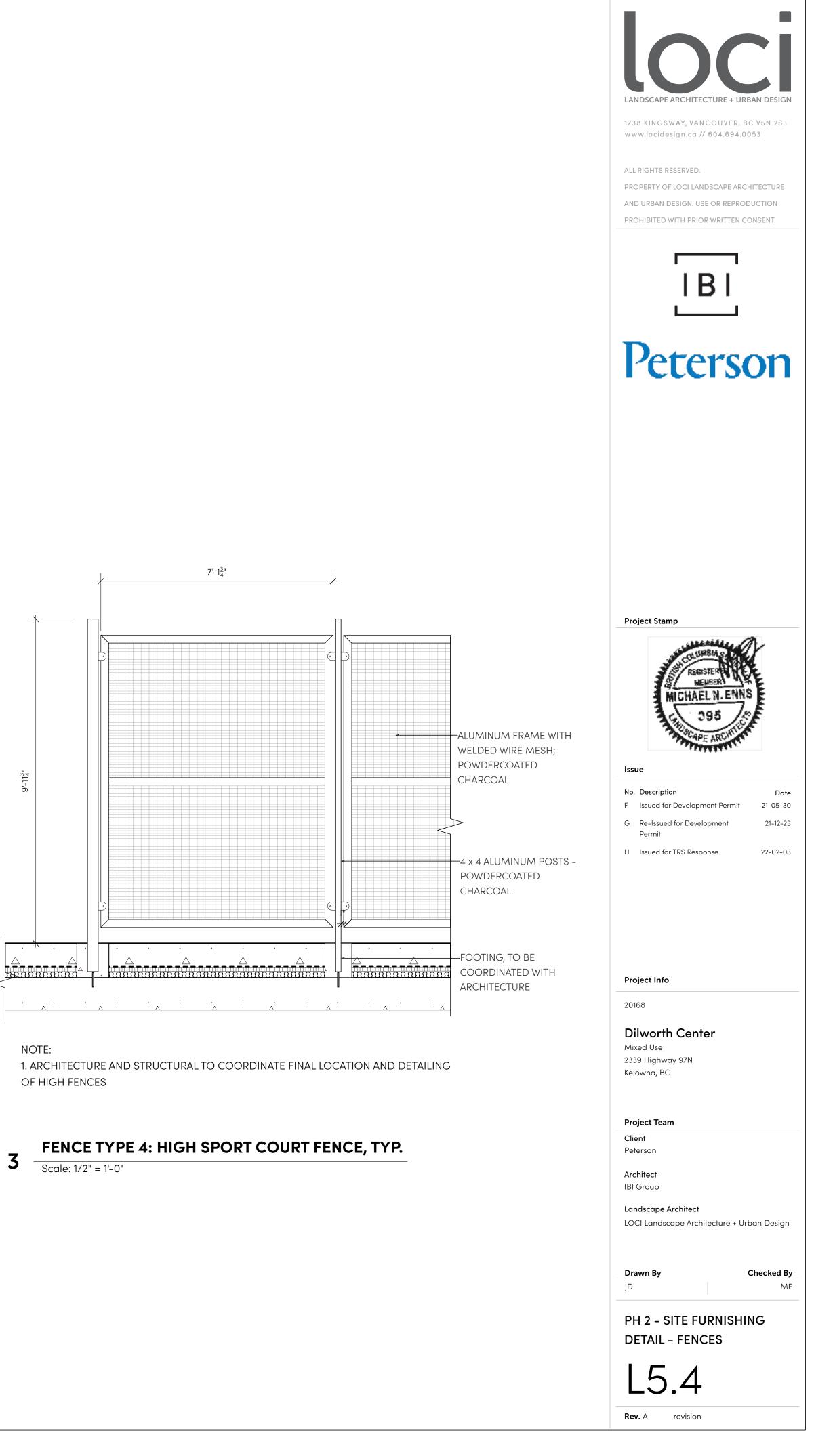
SECTION

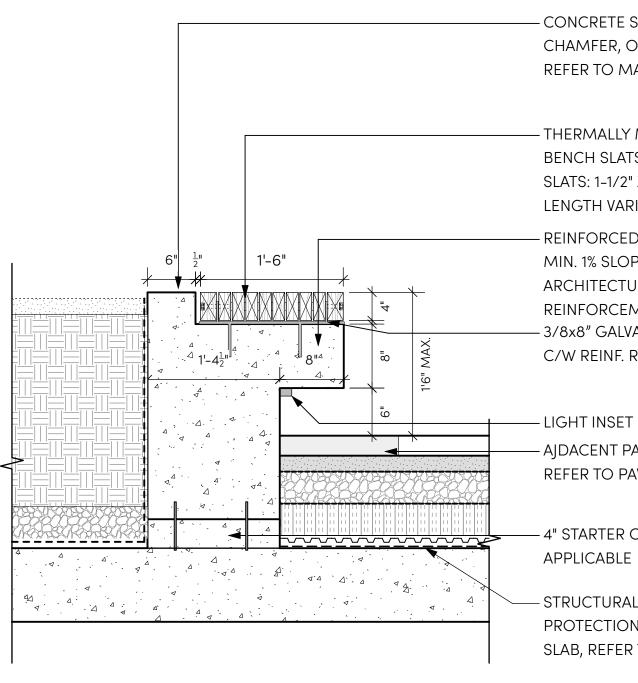


PRECEDENT IMAGE

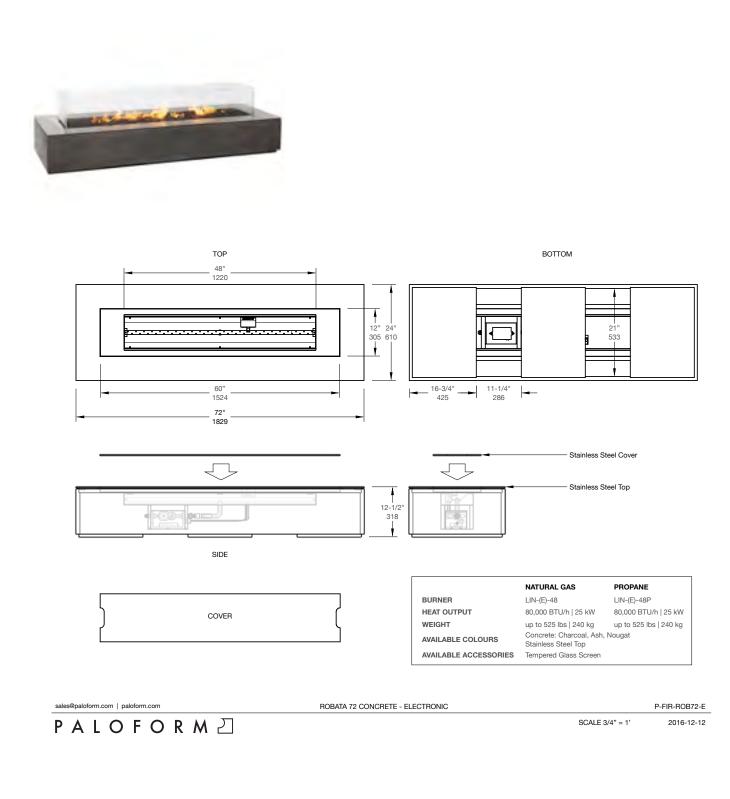
FENCE TYPE 2 / 3 / 5: PRIVATE PATIO FENCE AND GATE, TYP. 2 Scale: 1/2" = 1'-0"







WOOD TOP BENCH ON CONC WALL, TYP. **1** Scale: 1" = 1'-0"



PALOFORM FIREPIT. TYP. 3 Scale: NTS



- CONCRETE SURFACE, ARCHITECTURAL FINISH, NO CHAMFER, OR PLANTER WALL, REFER TO MATERIALS PLANS

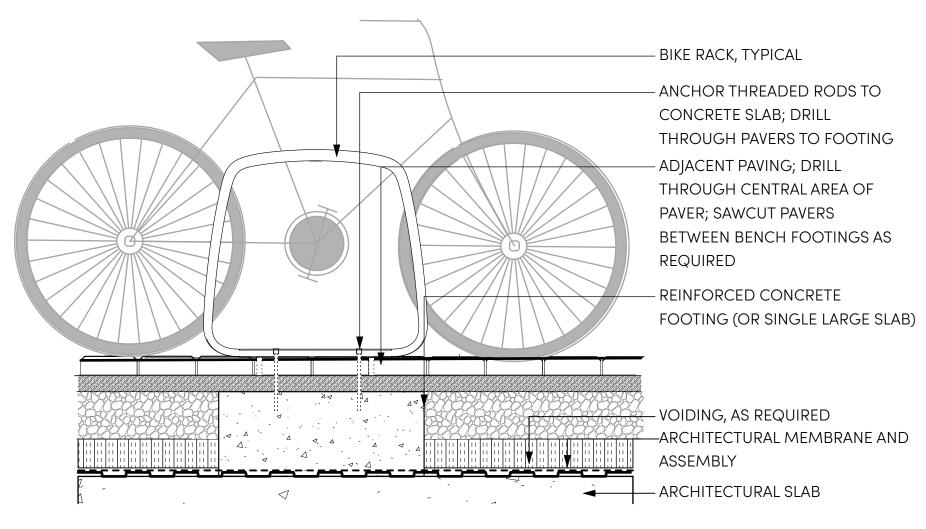
- THERMALLY MODIFIED WOOD, WHITE ASH BENCH SLATS SLATS: 1-1/2" X 3-1/2" ENDS: 2" X 3-1/2" LENGTH VARIES

- REINFORCED CIP CONCRETE SEAT WALL, MIN. 1% SLOPE UNDER BENCH TOP; ARCHITECTURAL FINISH, NO CHAMFER, AS SPECIFIED; REINFORCEMENTS, REFER TO STRUCTURAL – 3/8x8" GALVANIZED STEEL PLATE MOUNTING PLATE C/W REINF. ROD EMBED IN CONCRETE

- LIGHT INSET IN BENCH. REFER TO ELECTRICAL – AJDACENT PAVING, VARIOUS ASSEMBLY – REFER TO PAVING DETAILS

– 4" STARTER CURB OR CONCRETE PAD, IF

— STRUCTURAL VOIDING (AS NEEDED), DRAIN MAT, PROTECTION BOARD, MEMBRANE, AND ARCHITECTURAL SLAB, REFER TO ARCHITECTURE







SECTIONAL SOFA (CHARACTER IMAGE)



ALUMINUM T 5 Scale: NTS

	Issue
Wieth	IssueDateNo.DescriptionDateEIssued for Master Development21-05-28 PermitFIssued for Development Permit21-05-30HIssued for TRS Response22-02-03
	Project Info 20168
	Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC Project Team Client
RELLIS STRUCTURE - FOR REFERENCE ONLY	Peterson Architect IBI Group Landscape Architect LOCI Landscape Architecture + Urban Design
KELLIS SIKUCIUKE - FOR REFERENCE UNLI	Drawn By Checked By JD ME PH 2 – SITE FURNISHING DETAIL – BENCHES AND SEATING
	L5.5

ANDSCAPE ARCHITECTURE + URBAN

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LEVER WICHAELN. EN

269

Rev. A revision

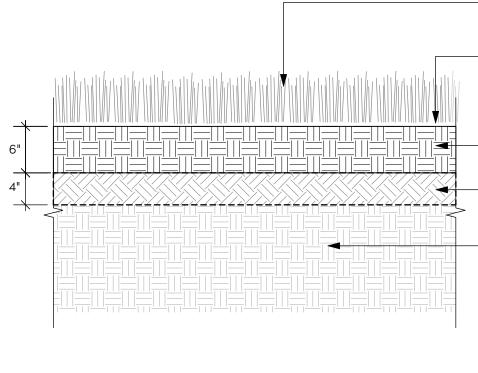
– VOIDING, AS REQUIRED -ARCHITECTURAL MEMBRANE AND ASSEMBLY

THROUGH PAVERS TO FOOTING – ADJACENT PAVING; DRILL THROUGH CENTRAL AREA OF

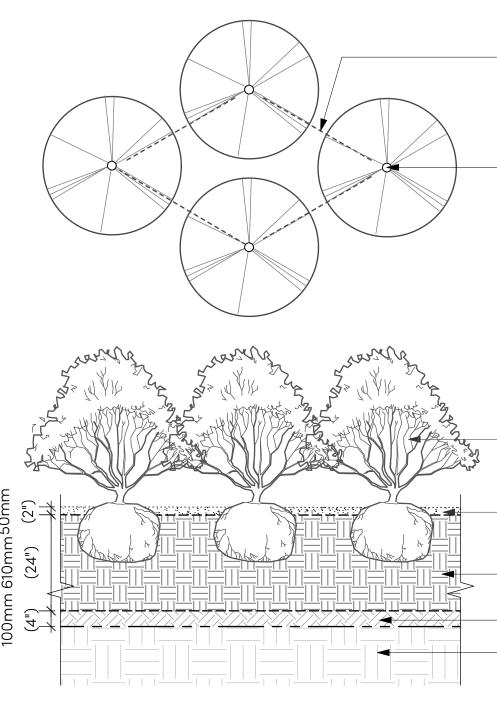
CONCRETE SLAB; DRILL

PAVER; SAWCUT PAVERS

BETWEEN BENCH FOOTINGS AS



SODDED LAWN ON GRADE, TYP. Scale: 1" = 1'-0"



NOTES:

1

- 1. TRIANGULAR SPACING FOR IRREGULAR SHAPED PLANTERS AS SPECIFIED O.C. DISTANCE; ENSURE PERIMETER ROW.
- 2. REFER TO PLANT SCHEDULE AND PLANTING PLAN
- 3. FINISH GRADE OF MULCH TO BE 50mm (2") BELOW FINISH GRADE OF ADJACENT WALL OR PAVING



- 10 MIL POLY ROOT BARRIER BY NILEX OR APPROVED ALTNERATE

PREMIUM SODDED LAWN BY ANDERSON TURF FARMS OR APPROVED ALTERNATE C/W INTEGRATED MESH, AS SPECIFIED

- TURF LAWN GROWING MEDIUM DEPTH AS SPECIFIED - SCARIFIED TAMPED SOIL

- EXISTING SUBGRADE

INSET PLANTING WITH CURB ON GRADE, TYP. 2 Scale: 1" = 1'-0"

-TRIANGULAR SPACING AS SPECIFIED O.C. DISTANCE, REFER TO PLANT SCHEDULE

—PLANT CENTRE

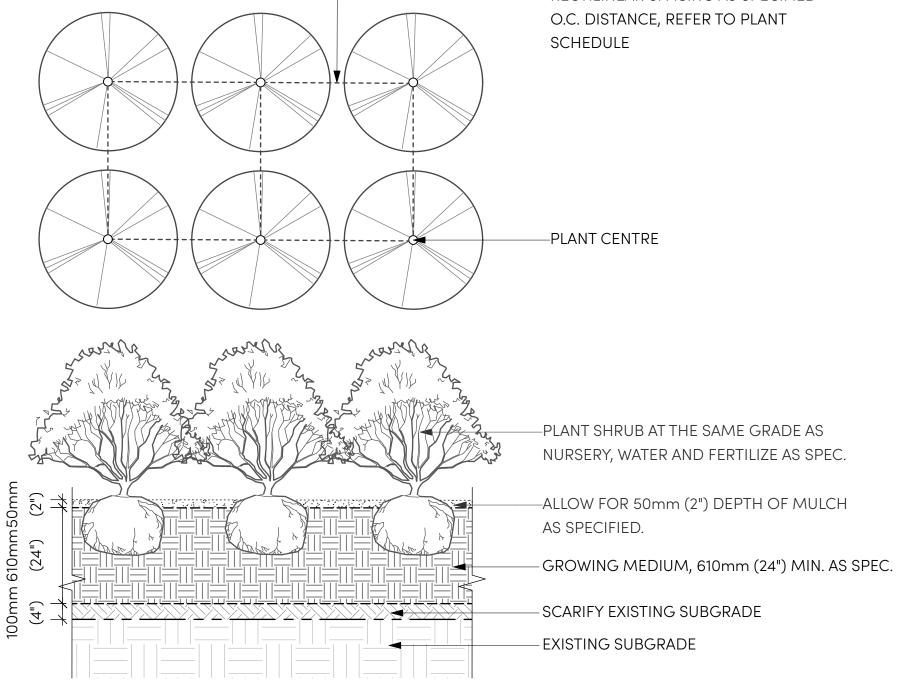
–PLANT SHRUB AT THE SAME GRADE AS NURSERY, WATER AND FERTILIZE AS SPEC.

ALLOW FOR 50mm (2") DEPTH OF MULCH AS SPECIFIED.

- GROWING MEDIUM, 610mm (24") MIN. AS SPEC.

- SCARIFY EXISTING SUBGRADE

– EXISTING SUBGRADE



NOTES:

1. RECTILINEAR SPACING FOR REGULAR SHAPED PLANTERS AS SPECIFIED O.C. DISTANCE; ENSURE PERIMETER ROW. GRID SPACING FOR RECTLINEAR PLANTERS.

2. REFER TO PLANT SCHEDULE AND PLANTING PLAN

3. FINISH GRADE OF MULCH TO BE 50mm (2") BELOW FINISH GRADE OF ADJACENT WALL OR PAVING

RECTILINEAR PLANTING ON GRADE, TYP

4 Scale: 1/2" = 1'-0"

-	
- =	

- PROPOSED PLANTING, REFER TO PLANTING PLAN

— PLANTING SOIL AS SPECIFIED — REINFORCED CIP CONCRETE CURB —— ADJACENT PAVING

—— 1" SAND BEDDING LAYER, AS SPECIFIED —— COMPACTED GRANULAR BASE, **REFER TO CIVIL** — COMPACTED SUBGRADE, 95% MPD

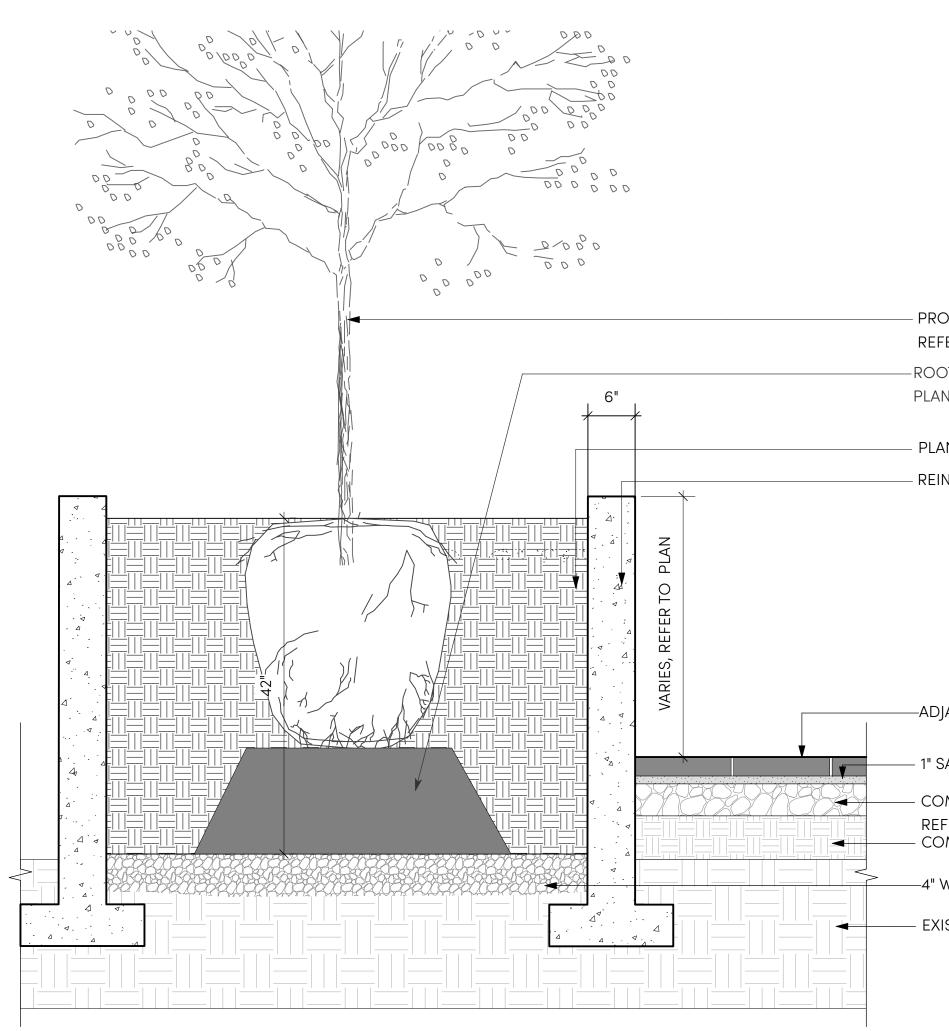
— EXISTING SUBGRADE — 4" WASHED DRAINAGE LAYER

-RECTILINEAR SPACING AS SPECIFIED

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Peterson
Project Stamp
MICHAEL N. ENNS 095
No. Description Date
FIssued for Development Permit21-05-30GRe-Issued for Development21-12-23
Permit H Issued for TRS Response 22-02-03
Project Info
20168
Dilworth Center
Mixed Use 2339 Highway 97N Kelowna, BC
Project Team Client
Peterson Architect IBI Group
Landscape Architect LOCI Landscape Architecture + Urban Design
Drawn By Checked By JD ME
PH 2 – SOFTSCAPE DETAIL – ON–GRADE PLANTING

L5.6

Rev. A revision



RAISED PLANTER ON GRADE, TYP.

1 Scale: 1" = 1'-0"

PROPOSED PLANTING,
 REFER TO PLANTING PLAN
 ROOTBALL TO REST ON TAMPED
 PLANTING SOIL.

PLANTING SOIL AS SPECIFIED
REINFORCED CIP CONCRETE PLANTER WALL

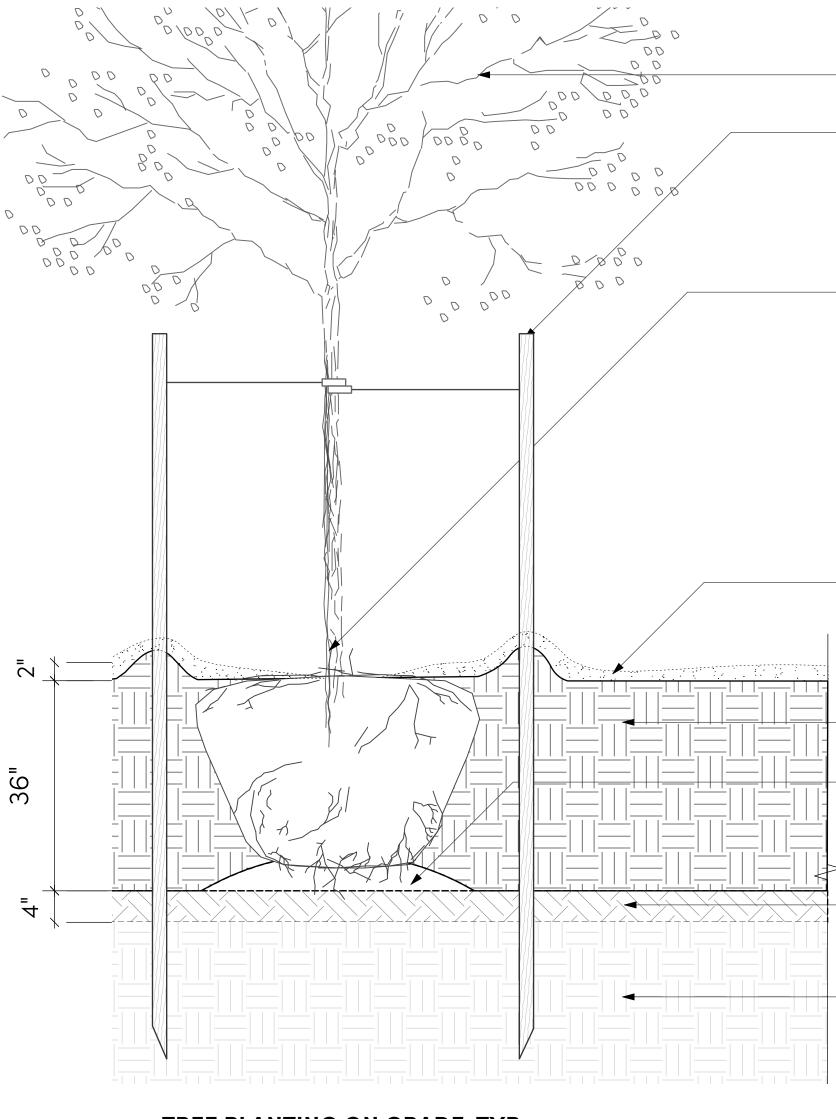
-ADJACENT PAVING

— 1" SAND BEDDING LAYER, AS SPECIFIED

COMPACTED GRANULAR BASE,
 REFER TO CIVIL
 COMPACTED SUBGRADE, 95% MPD

—4" WASHED DRAINAGE LAYER

— EXISTING SUBGRADE



2 TREE PLANTING ON GRADE, TYP. Scale: 1" = 1'-0" - SPECIES AS PER PLANTING PLAN

MINIMUM 2 TREE STAKES PER TREE, STAKES TO
 BE CLEAR OF ROOTBALL, WEBBING STRAPS AT 1/3
 HEIGHT OF TREE.

INSTALL TOP OF ROOTBALL 150mm (6") ABOVE
 SOIL; CUT AND LAY BACK 1/3 OF BURLAP; WATER
 AND FERTILIZE AS SPECIFIED; BACK FILL TREE PIT
 AND SURROUNDING AREA WITH SOIL; ENSURE
 50mm OF SOIL COVER OVER ROOTBALL

INSTALL MULCH TO 50mm (2") DEPTH

- GROWING MEDIUM TO 910mm (36") DEPTH

ROOTBALL TO REST ON TAMPED PLANTING SOIL

SCARIFY EXISTING SUBGRADE, AS SPECIFIED

- EXISTING SUBGRADE



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Project Stamp



No.	Description	Date
F	Issued for Development Permit	21-05-30
G	Re-Issued for Development Permit	21-12-23
Н	Issued for TRS Response	22-02-03

Project Info

20168

Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC

Project Team Client Peterson

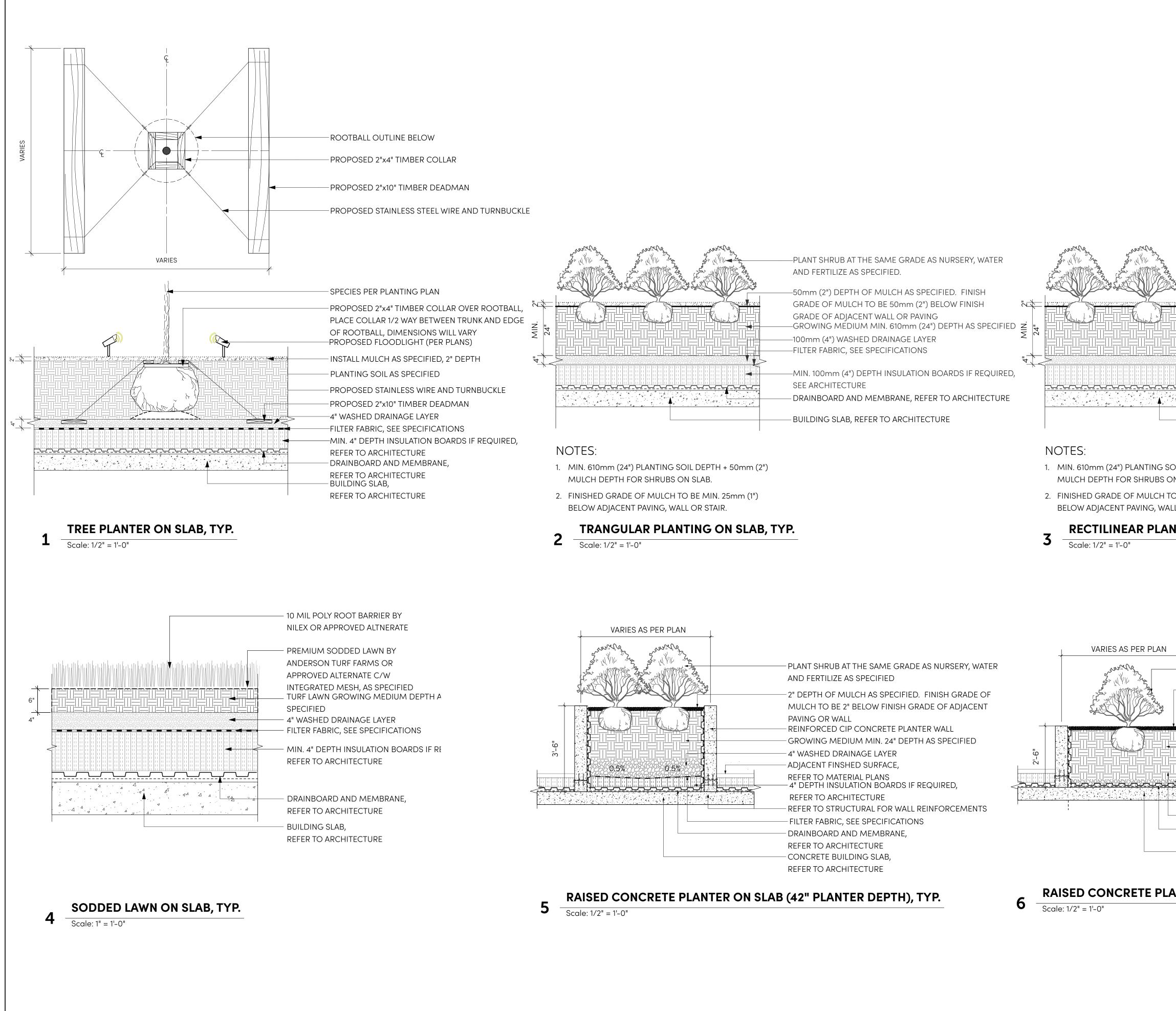
Architect IBI Group

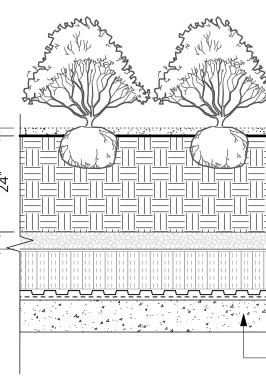
Landscape Architect LOCI Landscape Architecture + Urban Design

Drawn ByChecked ByJDME

PH 2 – SOFTSCAPE DETAIL – ON-GRADE PLANTING

L5.7 Rev. A revision





- MULCH DEPTH FOR SHRUBS OI
- BELOW ADJACENT PAVING, WAL

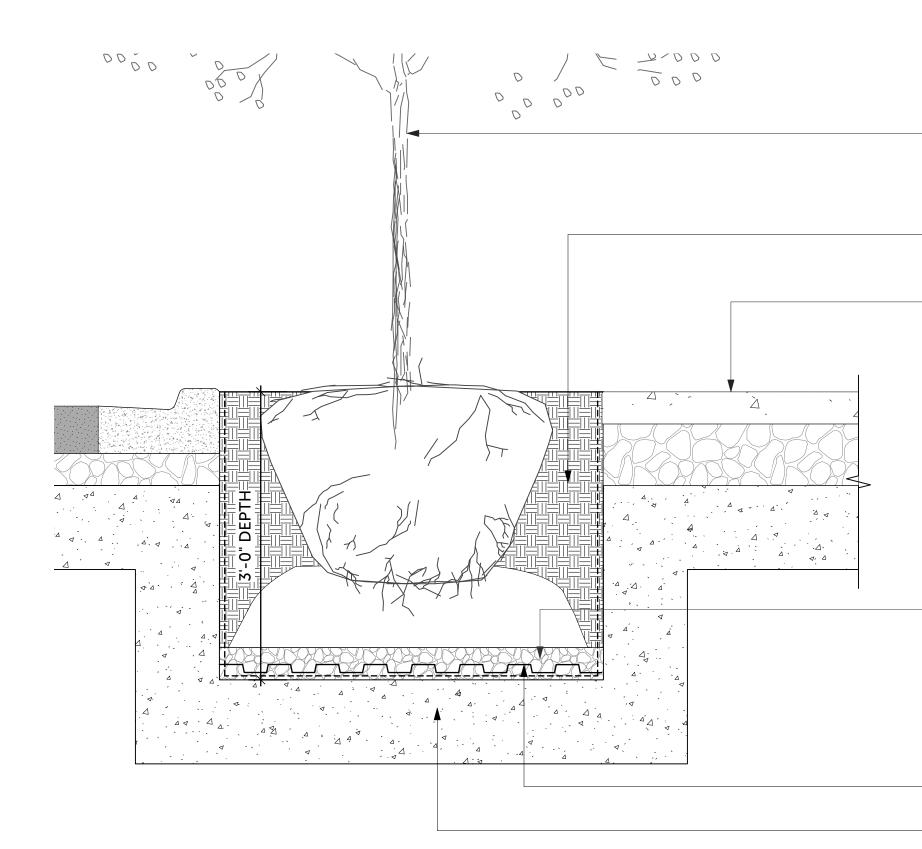


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source and a second and a secon	—PLANT SHRUB AT THE SAME GRADE AS NURSERY, WATER AND FERTILIZE AS SPECIFIED.	Peterson
	 —50mm (2") DEPTH OF MULCH AS SPECIFIED. FINISH GRADE OF MULCH TO BE 50mm (2") BELOW FINISH GRADE OF ADJACENT WALL OR PAVING —GROWING MEDIUM MIN. 610mm (24") DEPTH AS SPECIFIED —100mm (4") WASHED DRAINAGE LAYER —FILTER FABRIC, SEE SPECIFICATIONS —MIN. 100mm (4") DEPTH INSULATION BOARDS IF REQUIRED, SEE ARCHITECTURE — DRAINBOARD AND MEMBRANE, REFER TO ARCHITECTURE 	
	— BUILDING SLAB, REFER TO ARCHITECTURE	Project Stamp
DIL DEPTH + 50mm (2") N SLAB. D BE MIN. 25mm (1") L OR STAIR. ITING ON SLAB, T	YP.	MICHAELN.ENNS
		IssueNo.DescriptionDateFIssued for Development Permit21-05-30GRe-Issued for Development21-12-23Permit21-12-23HIssued for TRS Response22-02-03
А 2 Л F	PLANT SHRUB AT THE SAME GRADE AS NURSERY, WATER AND FERTILIZE AS SPECIFIED " DEPTH OF MULCH AS SPECIFIED. FINISH GRADE OF MULCH TO BE 2" BELOW FINISH GRADE OF ADJACENT PAVING OR WALL REINFORCED CIP CONCRETE PLANTER WALL	Project Info
	GROWING MEDIUM MIN. 24" DEPTH AS SPECIFIED ADJACENT FINSHED SURFACE, REFER TO MATERIAL PLANS 4" WASHED DRAINAGE LAYER	Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC
F 	REFER TO STRUCTURAL FOR WALL REINFORCEMENTS FILTER FABRIC, SEE SPECIFICATIONS DRAINBOARD AND MEMBRANE, REFER TO ARCHITECTURE CONCRETE BUILDING SLAB, REFER TO ARCHITECTURE	Project Team Client Peterson Architect IBI Group Landscape Architect LOCI Landscape Architecture + Urban Design
		Drawn ByChecked ByJDMEPH 2 - SOFTSCAPE DETAIL
		- ON SLAB PLANTING L5.8 Rev. A revision

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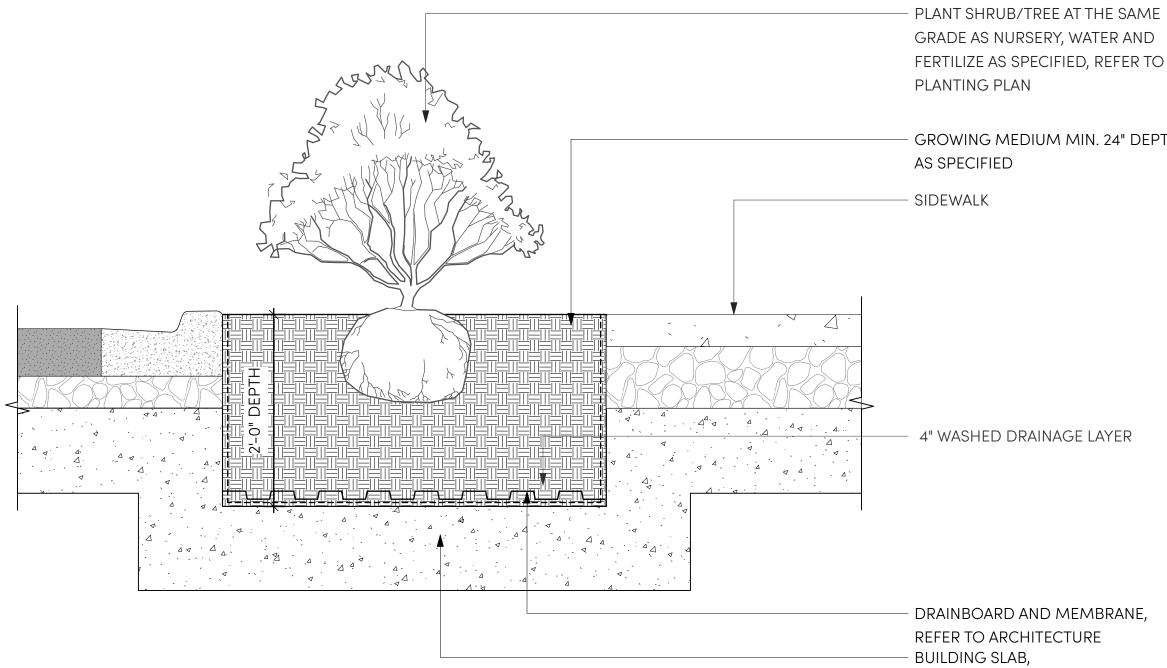
- PLANT SHRUB/TREE AT THE SAME GRADE AS NURSERY, WATER AND FERTILIZE AS SPECIFIED, REFER TO PLANTING PLAN

- GROWING MEDIUM MIN. 24" DEPTH AS SPECIFIED

- SIDEWALK

100mm (4") WASHED DRAINAGE LAYER

- DRAINBOARD AND MEMBRANE, REFER TO ARCHITECTURE - BUILDING SLAB, REFER TO ARCHITECTURE





INSET PLANTER (24" DEPTH) ON SLAB, TYP.

2 Scale: 1" = 1'-0"

)	IBI Peterson
ТН	
	Project Stamp
	IssueDateNo. DescriptionDateFIssued for Development Permit21-05-30GRe-Issued for Development21-12-23PermitPermit21-12-23HIssued for TRS Response22-02-03
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	Project Info 20168 Dilworth Center Mixed Use 2339 Highway 97N Kelowna, BC
	Project Team Client Peterson Architect IBI Group Landscape Architect LOCI Landscape Architecture + Urban Design
	Drawn By Checked By JD ME
	PH 2 – SOFTSCAPE DETAIL – ON SLAB PLANTING
	L5.9 Rev. A revision

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AS SPECIFIED

- GROWING MEDIUM MIN. 24" DEPT

– SIDEWALK

4" WASHED DRAINAGE LAYER

REFER TO ARCHITECTURE

Project Address: 2339 Hig Project Location: Kelown Evapotranspiration (ETo) Effective Precipitation (EF
WATER BUDGET WB = (ETo - EP) x (0.62) >
Total Irrigated Landscap
WB (Gal/yr) =
ESTIMATED TOTAL WATE ETWU = (ETo – EP) x (0.62
Plant Water Use Type Low
Medium High
Other: Lawn Area / Swim
Hydrozor
TOTAL

HYDROZONE WATER BUDGET WORKSHEET

ghway 97	'N (Phase 2)					
a, BC						
)	39.37	in/year	1000mm/yr	City of Kelowna		
P)	27.818	in/year	EP = (ET(o) - 2	2.28)×0.75		
					·	

x [(0.55 x LA)+((1-0.55) x SLA)]		Conversion Factor (CF) - Acre Inch to Gallon 0.62
e	Area		
	Planting Area + Other (LA)	17026.53	
	Special Landscape Area (SLA)	0	
	TOTAL (sq.ft.)	17026.53	

67074.355

ER USE		
2) x [((PF x HA) / IE)+ SLA]		
Plant Factor	Irrigation Type	Irrigation Efficie
0.3	Low Efficiency (Spray or Rotor)	0.7
0.5	High Efficiency (Drip or Bubbler)	0.9
0.7		
nming Pool 1		
	· · · · · · · · · · · · · · · · · · ·	•

ne Planting WU Type (PF)	Irrigation Efficiency (IE)	Area (HA)	PF	IE	ETWU
1 Low	High	14436	0.3	0.9	
2 Low	Low	0	0.3	0.7	
3 Moderate	High	811	0.5	0.9	
4 Moderate	Low	0	0.5	0.7	
5 High	High	0	0.7	0.9	
6 High	Low	0	0.7	0.7	
7 Watered Mown Lawn	Low	939	1	0.7	
8 Swimming Pool		840.53	1	1	
		17026.53			

ency (IE)	
/U (gal/yr)	
34466.191	
0	
3227.127	
0	
0	
0	
9608.049	
6020.338	
0020.330	
53321.705	

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No. [F G F	Description ssued for Development Permi Re-Issued for Development	t 21-05-3 21-12-2
No. [F G F	Description ssued for Development Permi Re-Issued for Development Permit	t 21-05-3 21-12-2
No. [F G F	Description ssued for Development Permi Re-Issued for Development Permit	t 21-05-3 21-12-2
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No. I F I G F H I Proje 2016	Description ssued for Development Permi Re-Issued for Development Permit ssued for TRS Response	t 21-05-3 21-12-2
No. I F I G F F H I 2016 Mixe 2339	Description ssued for Development Permi Re-Issued for Development Permit ssued for TRS Response ect Info	t 21-05-3 21-12-2
No. I F I G F F H I 2016 Mixe 2339	Description ssued for Development Permi Re-Issued for Development Permit ssued for TRS Response ect Info 3 worth Center d Use Highway 97N	t 21-05-3 21-12-2
No. I F I G F F H I 2016 Mixe 2339 Kelov Proje	Description ssued for Development Permi Re-Issued for Development Permit ssued for TRS Response ect Info 3 worth Center d Use Highway 97N vna, BC	t 21-05-3 21-12-2
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HYDROZONE CALCULATIONS

L6.0 Rev. A revision



DP21-0155/DVP21-0272 2339 Highway 97N

Development Permit and Development Variance Permit Application



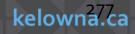
Proposal

To consider the form and character of a residential and commercial mixed use development and a variance to decrease the minimum commercial space on the first floor fronting an arterial road from 90% to 16.3%.

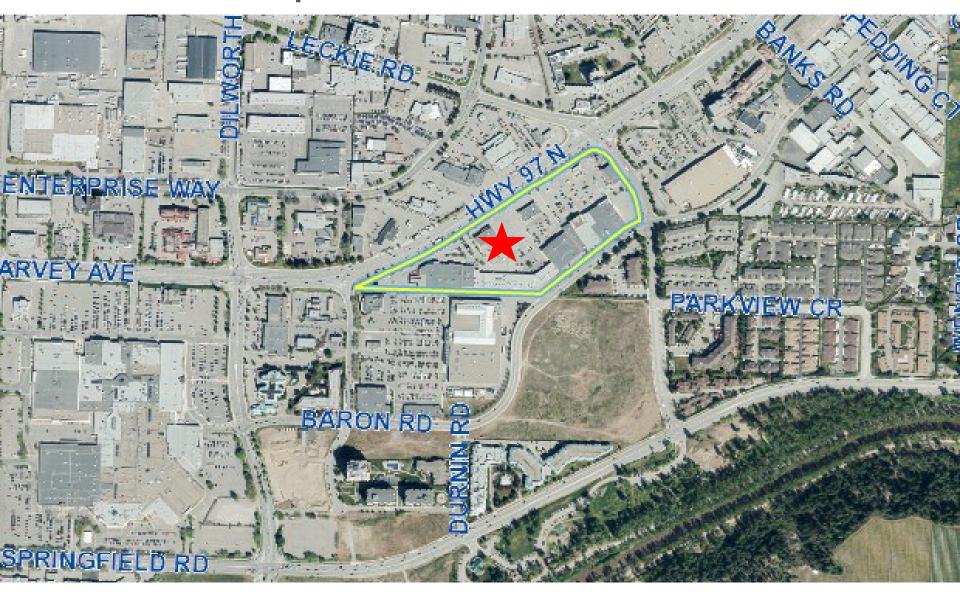


Development Process

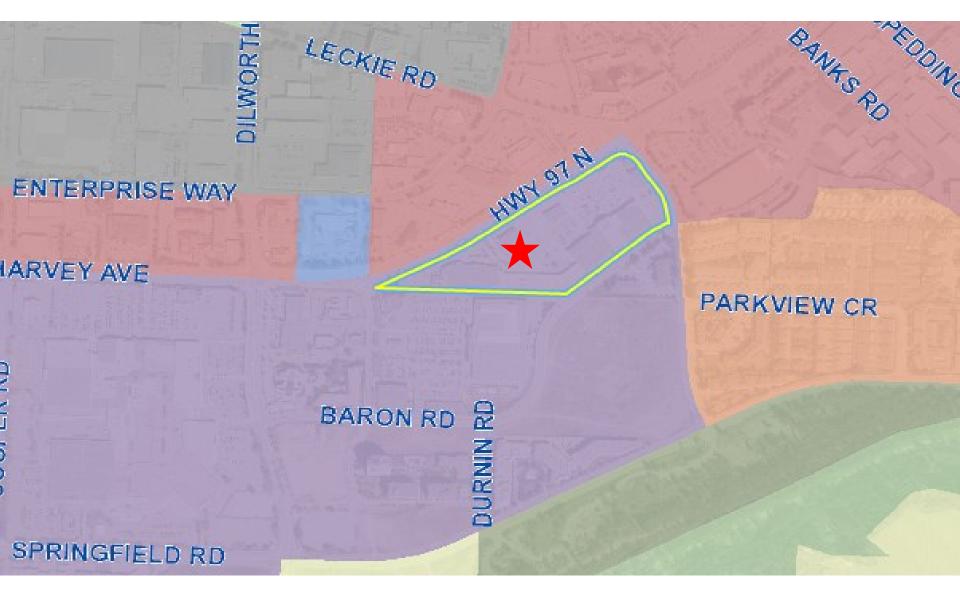




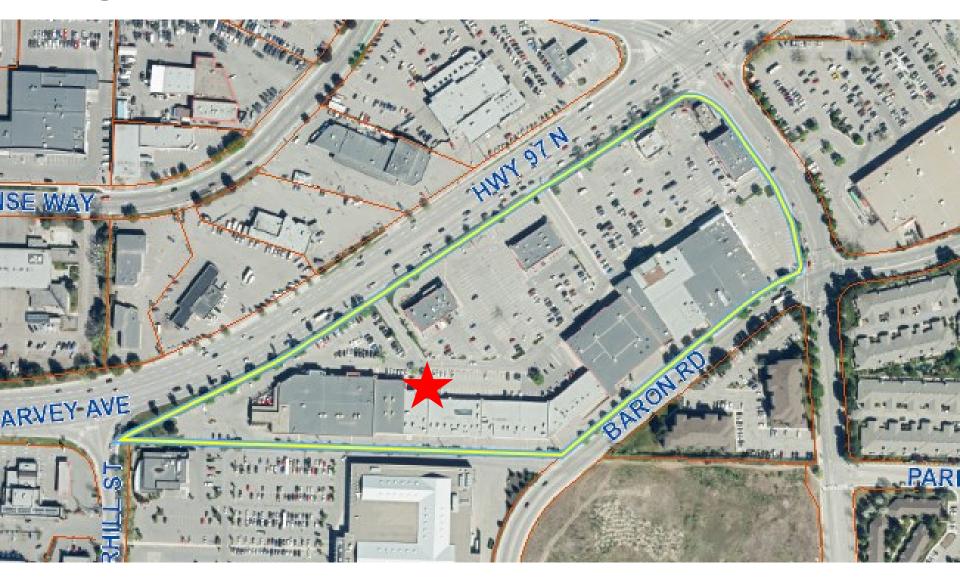
Context Map



OCP Future Land Use / Zoning



Subject Property Map



Layout Plan



Project Details



- Property is the current Dilworth Shopping Centre Commercial retail space and parking area.
- Proposed Four Mixed Use Commercial and Residential Buildings
 - 490 rental residential units
 - ▶ 15,000ft² of commercial space
 - Mix of townhouse, one, two and three bedroom units (~450-1000ft²)
 - Over 84,000ft (7887m2) of indoor, outdoor amenity and private open space
- 6 Storey buildings with underground parking
- One identified variance
 - decrease the minimum commercial space on the first floor fronting an arterial road from 90% to 16.3%.



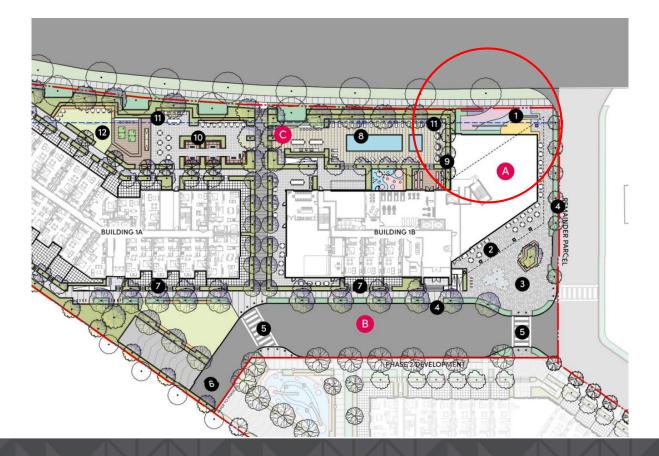
Overall Layout



Variance



decrease the minimum commercial space on the first floor fronting an arterial road from 90% to 16.3%.





Site Plan – Buildings 1a & 1b



Renderings – Buildings 1a & 1b





VIEW B







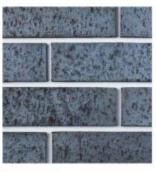
VIEW C

Buildings 1a & 1b

Phase 1 Material Palette



CEMENT BOARD PANELS: Manufacturer: James Hardie Product: Reveal Panel System Colour: Coventry Gray; Benjamin Moore HC-169



BRICK Manufacturer: Endicott Colour: Manganese Ironspot Finish: Velour Size: Standard

CEMENT BOARD PANELS: Manufacturer: James Hardie Product: Reveal Panel System Colour:White Dove Benjamon Moore OC-17





Hardie Panel Wood Tone Accent



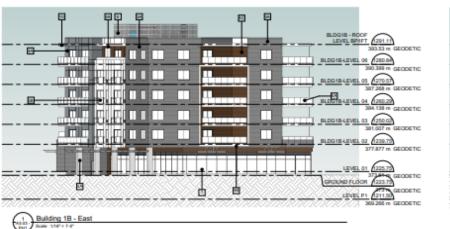
Powder Coated Aluminum Windows / Railings



Elevations – Building 1a



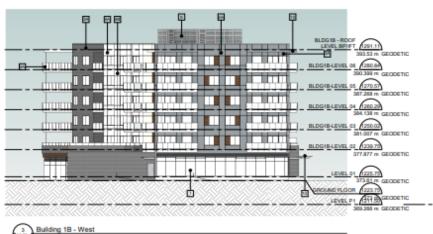
Elevations – Building 1b

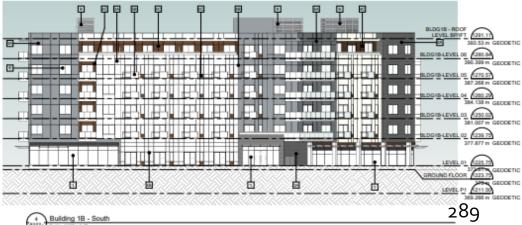




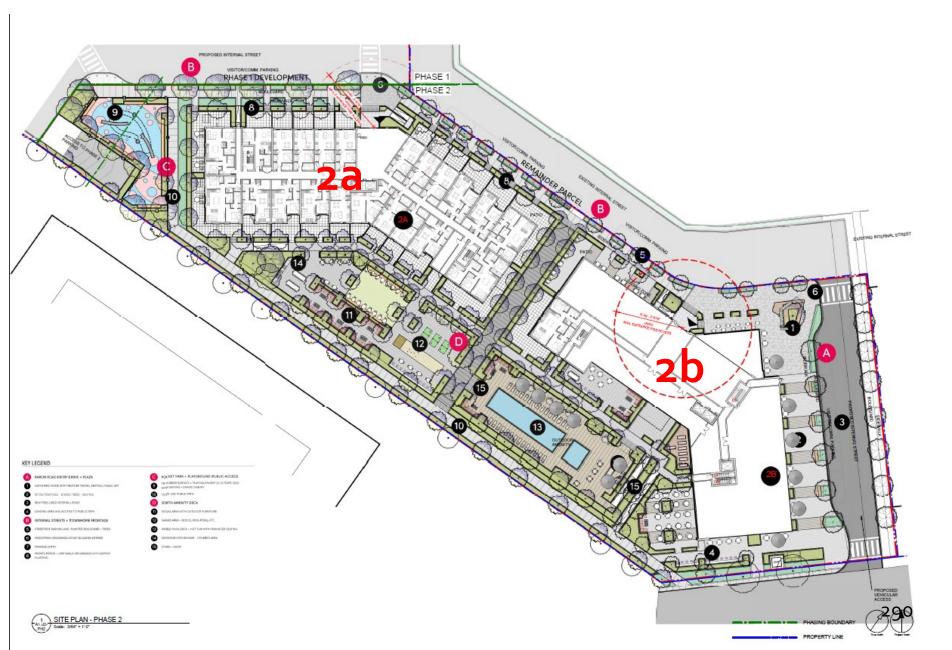


KEYNOTE - EXTERIOR ELEVATIONS		
TYP	E DESCRIPTION	
_		
1	CURTAIN WALL - STOREFRONT GLAZING SYSTEM	
AL.	STANDARD FULL BRICK CLADDING - DARK GREY	
4A.	HARDIE PANEL SYSTEM - LIGHT GREY	
40	HARDIE PANEL SYSTEM - WHITE	
4C	HARDLE PANEL SYSTEM - WOOD ACCENT, CHOCOLATE ASPEN	
5A	GLAZED ALUMINUM GUARDRAIL - BLACK POWDER COAT	
50	GLAZED ALUMINUM JULIETTE GUARDRAIL - BLACK POWDER COAT	
6	PUNCHED WINDOW SYSTEM - BLACK POWDER COAT	
7	FROSTED GLASS PRIVACY SCREEN	
	GLAZED SLIDING DOOR	
8	ROOF SCREENING	
10	CANOPY	





Site Plan – Buildings 2a & 2b



Renderings – Buildings 2a & 2b





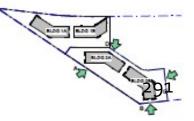
VIEW A



TEW



VIEW C



VIEW C

Renderings – Buildings 2a & 2b

Phase 2 Material Palette



CEMENT BOARD PANELS: Manufacturer: James Hardie Product: Reveal Panel System Colour: Charcoal Slate Benjamin Moore HC-178



BRICK Manufacturer: Interstate Colour: Arctic White

CEMENT BOARD PANELS: Manufacturer: James Hardie Product: Reveal Panel System Colour: White Dove Benjamin Moore OC-17





Hardie Panel Wood Tone Accent



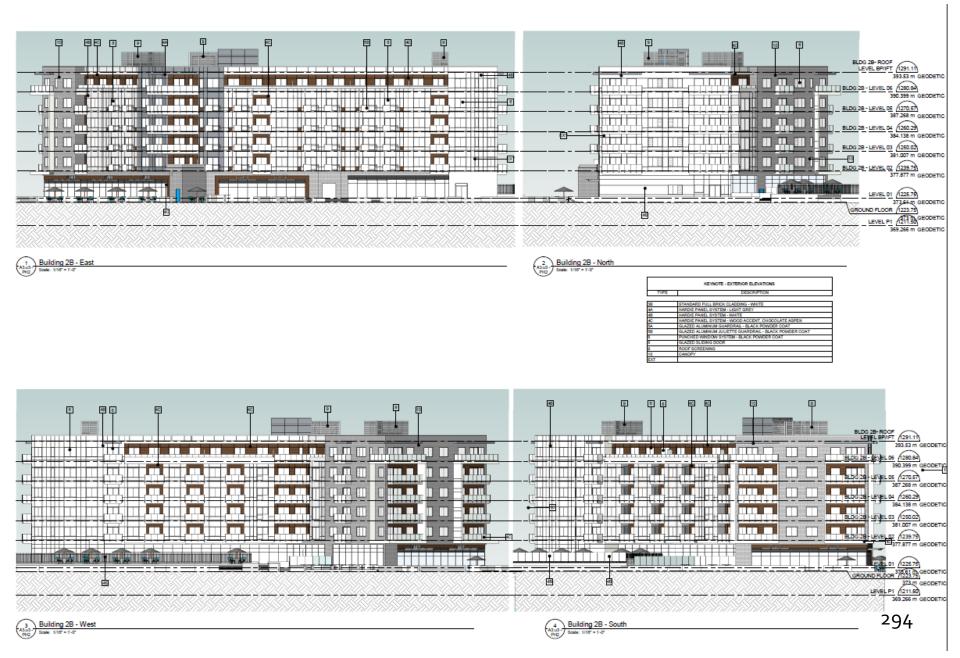
Powder Coated Aluminum Windows / Railings



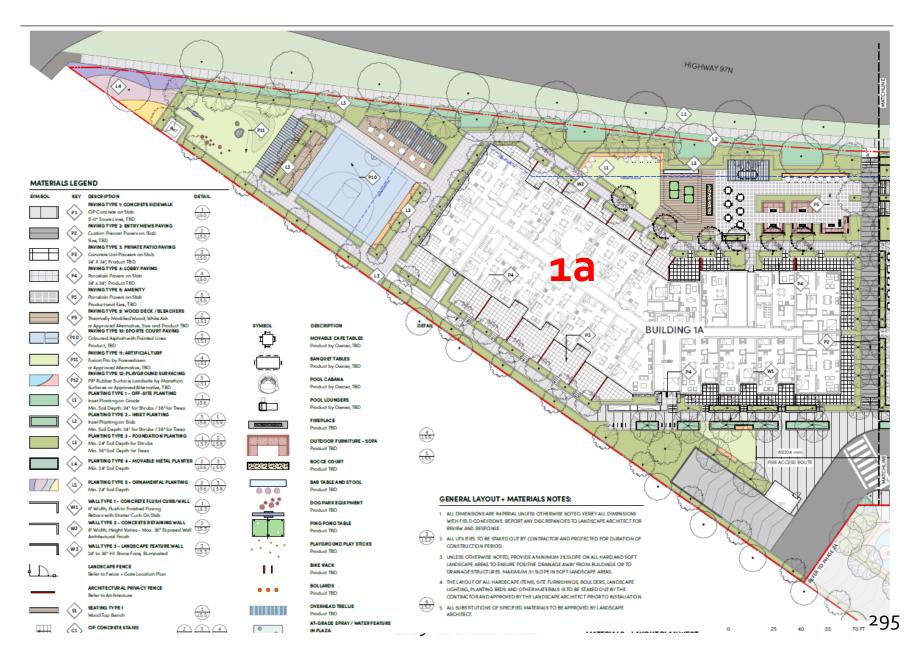
Elevations – Building 2a



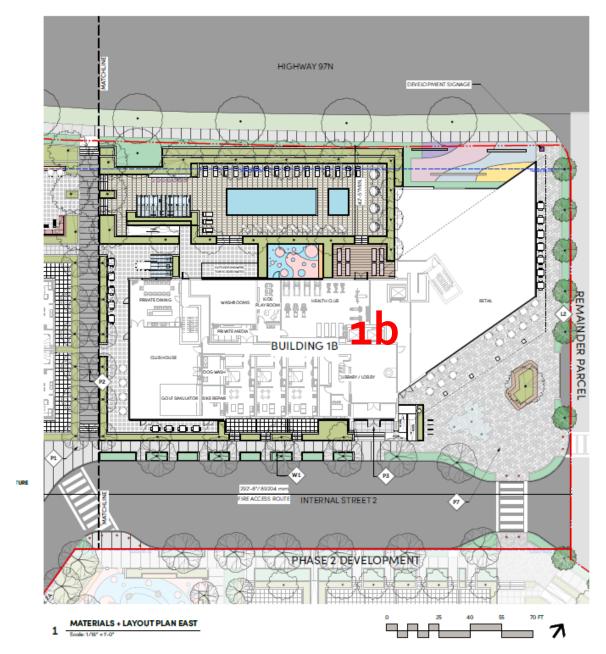
Elevations – Building 2b



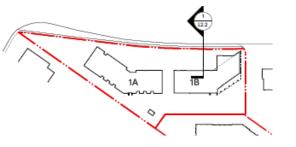
Landscaping Plan – Building 1a

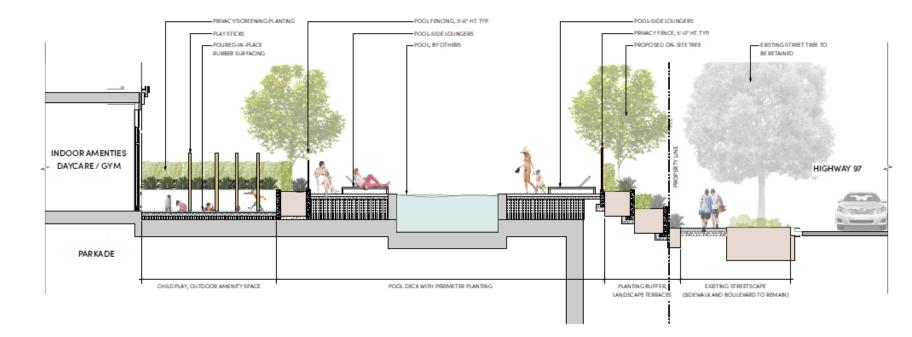


Landscaping Plan – Building 1b



Landscaping Plan – Cross Section





BUILDING 1B POOL DECK AREA - LOOKING WEST

1 Scole: 1/4" = 1-0"

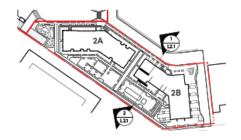
Landscaping Plan – Building 2a

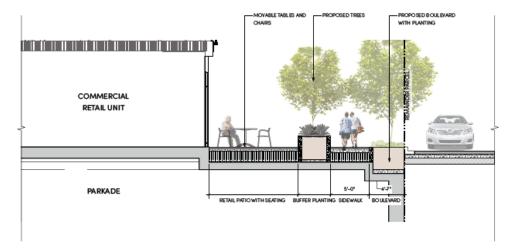


Landscaping Plan – Buildings 2b



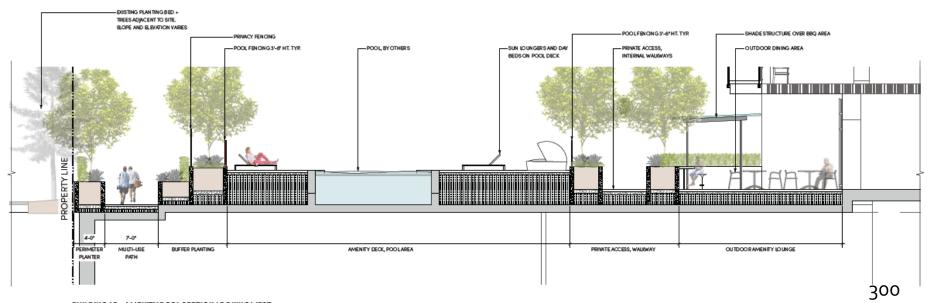
Landscaping Plan – Cross Section





BUILDING 2B - COMMERCIAL RETAIL FRONTAGE LOOKING WEST





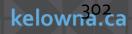
Development Policy

supportive neighbourhood	
Policy4.8.1 Midtown Residential Development	Prioritize the development of multi-unit residential uses over employment uses in Midtown to support a greater live work balance.
	The proposal adds 490 residential units in a predominately commercial area of the City providing housing options directly adjacent to employment and commercial amenities.
Policy 4.8.2 Midtown Urbanization	To address Midtown's deficiency in the pedestrian environment, poor street connectivity, lack of housing choices and public spaces, support the redevelopment of properties where the proposal demonstrates the following characteristics:
	 Improved street connectivity, particularly east-west connectivity, through the identification of new streets and pathways that break up large blocks; Improved pedestrian environment; Identification and dedication of parks and public spaces; Integration of transit infrastructure, such as transit exchanges for example; and Housing mix, with consideration for affordable housing as outlined in the <u>Healthy Housing Strategy</u>.
	The proposal provides a comprehensive package open private amenity and public open space which will greatly improve the pedestrian environment for the residents and general area. It also includes new east-west connectivity to break up the existing Dilworth Shopping Centre block. In addition to providing a variety of housing options.



Staff Recommendation

- Development Planning Staff recommend support for the proposed Development Permit and Development Variance Permit:
 - Meets the goals and objectives of the Midtown Urban Centre for residential housing and improved pedestrian environment
 - Provides substantial private amenity and open space for residents and shoppers
 - Provides significant rental options to the Midtown area directly adjacent to a Transit Supportive Corridor
 - Maintains over 15,000ft² of commercial space

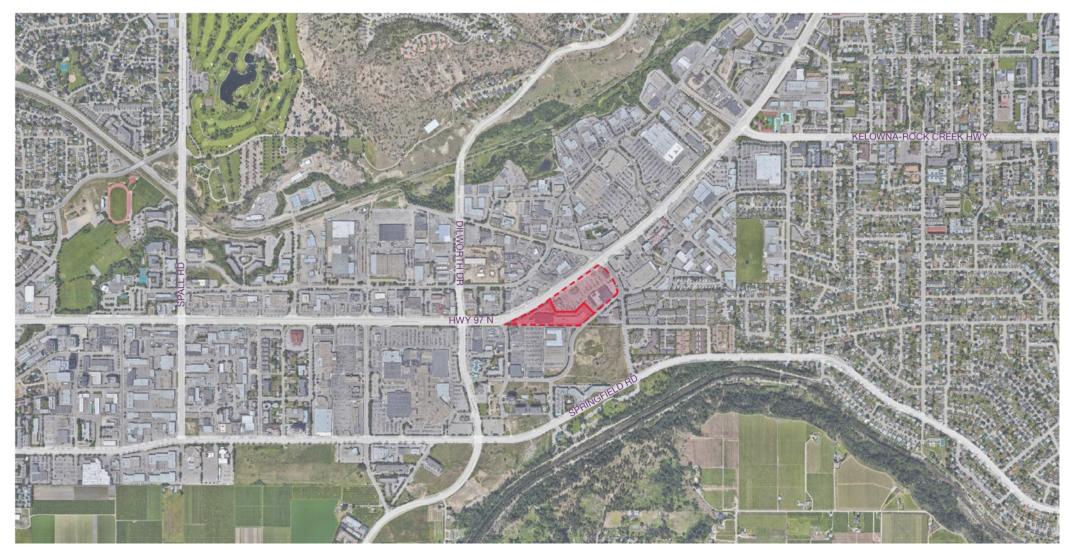




Conclusion of Staff Remarks

#2339 HIGHWAY 97N, KELOWNA, BC





Current Condition





Boston Pizza from West Site Access Off Hwy 97N



Loading Bays and Servicing Entrance Off Baron Rd



Safeway and Surface Parking Lot near East Access



Dilworth Centre Main Entrance Off Hwy 97N



View Facing East from South Edge of Site



View of Site and Hwy 97N Facing West from Leckie Rd 305

ZONING VARIANCE COUNCIL PRESENTATION #2339 HIGHWAY 97N, KELOWNA, BC

Phasing Plan



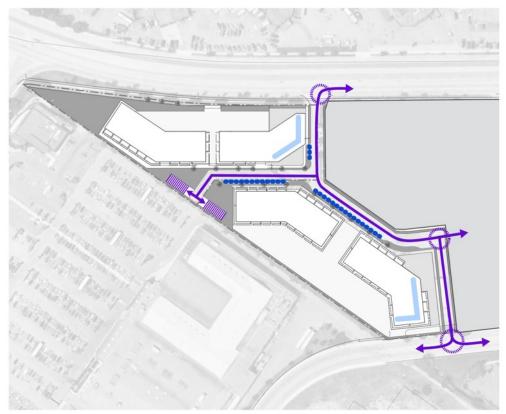
Site Plan

The redevelopment will see the replacement of 11 suburban retail units and a large surface parking lot into four six-storey apartment buildings with a mixture of unit types, feature retail and extensive outdoor amenities.





Site Circulation





- Street Parking
 - Proposed Vehicle Circulation
- Ramp to Underground Parking
- Retail Frontage
- Vehicle Access Point



PEDESTRIAN CIRCULATION PLAN

- Proposed Pedestrian Circulation
- Existing Sidewalk
- Proposed Crosswalk
- Retail Frontage
- Pedestrian Access Point
- Residential Lobby Entry (approximate)
- Retail Entry (approximate)

High-gua

Development Permit Variance

Variance for 14.4.6 (e) to reduce commercial frontage on Highway 97N from 90% to 16.3%

High-quality residential boulevard connects north-south across the site.

- Landscape improvements and tree rows to create a boulevard feel along the internal street.
- 2 Townhouses lining the quiet internal street introduce doorways for activity and eyes on the street.
- Retail and retail plazas at the south and north corners anchoring the street.

Open Space

Public and semi-public soft and hardscaped outdoor spaces.

- Semi-public amenity decks.
- Public retail anchor space
- Public pocket parks
- Landscaped privacy and noise buffer along edges

Convenient Access from Surrounding Streets

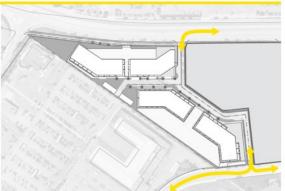
Safe, welcoming, convenient access points on the north and south sides of the site.

Minimal curb cuts to the surrounding streets for consolidated, safe and convenient access into the site from the Okanagan Highway to the north and Baron Road to the south. This north-south connection creates a finer grained urban block













Phase 1 Site Plan



ZONING VARIANCE COUNCIL PRESENTATION | #2339 HIGHWAY 97N, KELOWNA, BC

Phase 1 Renderings



Site Plan

Α

2

3

В

4

5



Phase 2 Renderings



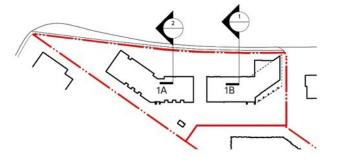
Thank You!

I Bill Defining the cities [133] Cefining the cities [133]

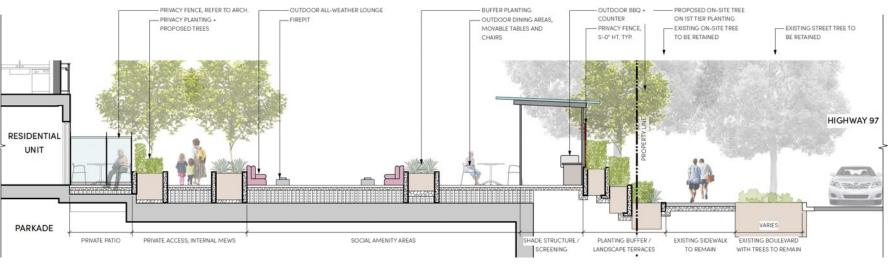
KEY CONTACT

Lauren Macaulay Director, IBI Group Email Lauren.Macaulay@ibigroup.com

Highway Interface / Cross Sections







2. Building 1A North Perimeter – Looking West





To: Council	
From: City Manager	
Department: Development Planning	
Application:DVP22-0007Owner:Alfonso Reda & ChReda	neryl Elaine
Address:1786 Crosby RoadApplicant:Protocol Home Pla Design – Les Csoll	5
Subject: Development Variance Permit	
Existing OCP Designation: S-RES – Suburban Residential	
Existing Zone: RU ₂ – Medium Lot Housing	

1.0 Recommendation

THAT Council <u>NOT</u> authorize the issuance of Development Variance Permit No. DVP22-0007 for Lot 8, Section 5, Township 23, ODYD, Plan EPP63600, located at 1786 Crosby Road, Kelowna, BC.

2.0 Purpose

To review a Staff recommendation to <u>NOT</u> issue a Development Variance Permit to vary the maximum site coverage and the minimum rear yard for a deck addition to a single detached house.

3.0 Development Planning

Staff are not supportive of the proposed Development Variance Permit to vary the maximum site coverage and the minimum rear yard for the deck addition to a single detached house. The siting of the deck within the required rear yard setback has the potential to negatively impact adjacent properties. The subject property is located uphill of the rear neighbour on Ranchhill Court causing the deck to overlook the neighbouring property. The elevated nature of the deck above the ground level may further affect the privacy of adjacent lots.

4.0 Proposal

4.1 Project Description

The applicant has constructed a new deck addition to a single detached house on the subject property without a Building Permit. Construction of the deck was brought to the attention of the City through a

Bylaw complaint in December 2021. The new deck is located within the required rear yard and exceeds the maximum permitted site coverage on the subject property. The applicant has submitted a letter from a Geotechnical Engineer indicating that the deck and associated site coverage will not increase runoff from the subject property.

4.2 <u>Site Context</u>

The subject property is located near the end of Crosby Road, west of Moubray Road. It contains a single detached house. The surrounding area is designated S-RES – Suburban Residential, NAT – Natural Areas and C-NHD – Core Area Neighbourhood and is zoned RU₂ – Medium Lot Housing and P₃ – Parks and Open Space.

Orientation	Zoning	Land Use
North	RU2 – Medium Lot Housing	Single detached house
East	RU2 — Medium Lot Housing	Single detached house
South	RU2 — Medium Lot Housing	Single detached house
West	P3 – Parks and Open Space	Knox Mountain Park

Specifically, adjacent land uses are as follows:

Subject Property Map: 1786 Crosby Road



4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU2 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Min. Lot Area	400 m ²	406 m²
Min. Lot Width	13 M	13.51 M
Min. Lot Depth	30 m	30.06 m
Development Regulations		

4.5 m	
4.5	4.5 m
1.5 m	1.5 M
1.5 m	1.5 M
6 m	2.64 m❷
	1.5 m 1.5 m

5.0 Application Chronology

Date of Application Received:January 20, 2022Date Public Consultation Completed:March 6, 2022

6.0 Alternate Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP22-0007 for Lot 8, Section 5, Township 23, ODYD, Plan EPP63600, located at 1786 Crosby Road, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 13.2.6(a): RU2 – Medium Lot Housing Development Regulations

To vary the required maximum site coverage from 40% permitted to 44% proposed.

Section 13.2.6(e): RU2 – Medium Lot Housing Development Regulations:

To vary the required minimum rear yard setback from 6.0 m permitted to 2.6 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Report prepared by:	Mark Tanner, Planner II
Reviewed by:	Dean Strachan, Community Planning & Development Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

Attachments

Attachment A: Draft Development Variance Permit DVP22-0007

Schedule A: Drawing Package

Attachment B: Site Photos



This permit relates to land in the City of Kelowna municipally known as

1786 Crosby Road

and legally known as

Lot 8, Section 5, Township 23, ODYD, Plan EPP63600

and permits the land to be used for the following development:

Single Dwelling Housing (RU2 – Medium Lot Housing)

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council DecisionMay 10, 2022Decision By:COUNCILExisting Zone:RU2 – Medium Lot HousingFuture Land Use Designation:S-RES – Suburban Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Alfonso Reda & Cheryl Elaine Reda

Applicant: Protocol Home Planning & Design – Les Csolle

Terry Barton

Community Planning Department Manager Planning & Development Services Date

ATTACHMEN	A TI
This forms part of appli	cation
#_DVP22-0007	🕅 🕺
	City of 🔇
Planner Initials MT	Kelowna COMMUNITY PLANNING

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) That variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

<u>Section 13.2.6(a): RU2 – Medium Lot Housing Development Regulations</u> To vary the required maximum site coverage from 40% permitted to 44% proposed.

<u>Section 13.2.6(e): RU2 – Medium Lot Housing Development Regulations:</u> To vary the required minimum rear yard setback from 6.0 m permitted to 2.6 m proposed.

This Development Variance Permit is valid for two (2) years <u>from the date of approval</u>, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



GENERAL SPECIFICATIO

CODES & STANDARDS

ALL WORKMANSHIP TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD NORTH AMERICAN BUILDING PRACTICES. AT TIME OF PREPARATION. THESE DRAWINGS WERE MADE IN ACCORDANCE TO NATIONAL BUILDING CODE STANDARDS. B.C. BUILDING CODE STANDARDS AS WELL AS LOCAL BUILDING CODE REQUIREMENTS FOR SPECIFIC CONDITIONS. IT IS THE RESPONSIBILITY OF THE PLAN HOLDER (OWNER OR BUILDER) TO ENSURE THAT ANY CHANGES OR AMENDMENTS TO CODE STANDARDS BE INCORPORATED INTO THESE DRAWINGS. ALL WORK SHALL CONFORM TO LOCAL OR REGIONAL BUILDING CODES AND ANY LOCAL BYLAW WHICH MAY TAKE PRECEDENCE.

THE BUILDER IS RESPONSIBLE TO VERIFY ALL INFORMATION. DIMENSIONS & SPECIFICATIONS REGARDING THESE PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

WRITTEN DMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. ANY VARIATION REGARDING STRUCTURAL ELEMENTS OR SPECIFICATIONS OF THESE DRAWINGS DUE TO VARIATIONS IN SITE CONDITIONS SHALL BE RESOLVED BY THE BUILDER OR OWNER. SUCH RESOLUTIONS ARE TO BE THEIR SOLE RESPONSIBILITY.

CONCRETE FOUNDATIONS:

ALL CAST-IN-PLACE CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2900 PSI (20MPA) AT 28 DAYS.

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED SOLL OR COMPACTED SOIL TO AN ELEVATION BELOW FROST LEVEL. FOOTINGS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2500 PSF. IT IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO HAVE THE FOOTINGS REDESIGNED BY QUALIFIED PERSONS TO SUIT ANY LESSER BEARING CAPACITY CONDITIONS WHICH MAY BE

ENCOUNTERED ON SITE. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL CONCRETE OR MASONRY GROUT HAS REACHED ITS SPECIFIC 28 DAY STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING SUB-FLOOR) REQUIRED TO STABILIZE WALLS IS COMPLETELY & FULLY NAILED & ANCHORED. ALL CONCRETE & MASONRY FOUNDATION WALLS REQUIRED TO EXCEED THE LIMITS STATED IN THE NATIONAL BUILDING G CODE ARE REQUIRED TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER. ALL FOUNDATION WALLS 24" (600m) AND HIGHER TO HAVE ONE HORIZONTAL IOM REINFORCING BAR 3" (75m) FROM TOP OF WALL. CENTRE REINFORCING TO BE LAPPED A MINIMUM OF 24" (600m).

ALL FOOTINGS SHALL HAVE TWO (2) IOM REINFORCING BARS. THESE REINFORCING BARS ARE TO BE LOCATED SUCH THAT ONE BAR IS 3" (75M) CLEAR DISTANCE OF THE SIDE & BOTTOM OF THE FOOTING AT BOTH SIDES OF THE FOOTING.

GRADE LEVELS SHOWN ON THESE DRAWINGS ARE ESTIMATES ONLY. ADJUSTMENTS AS REQUIRED ARE TO BE MADE ON SITE RETAINING WALLS OTHER THAN THE FOUNDATIONS WALLS OF THE RESIDENCE ARE BEYOND THE SCOPE OF THESE DRAWINGS UNLESS OTHERWISE NOTED.

DEPTHS OF FOUNDATIONS:

DEPTHS OF FOUNDATIONS TO BE AS PER NATIONAL BUILDING CODE STANDARDS AND IN CONJUNCTION WITH STANDARDS ACCEPTABLE TO LOCAL BUILDING AUTHORITY.

MASONRY ABOVE GRADE:

ALL ABOVE GRADE MASONRY IS TO CONFORM TO STANDARDS OF THE NATIONAL BUILDING CODE. WHERE BRICK VENEER IS INSTALLED. COUNTERFLASHINGS SHALL BE INSTALLED TO A MINIMUM 8" (200M) UP BEHIND BUILDING FELTS & BELOW THE BOTTOM COURSE WITH VERTICAL JOINTS RACKED CLEAN. WEEPHOLES AT MINIMUM 24" (600M) OC.

CARPENTRY

FRAMNG LUMBER SHALL BE No. 2 SPF. OR BETTER UNLESS OTHER WISE SPECIFIED. FOR OTHER COMMON SPECIES. REFER TO SPAN TABLES OF THE CURRENT EDITION OF THE NATIONAL OR B.C. BUILDING CODES. ALL BEAM & LINTEL SIZES SHOWN ON THE DRAWINGS ARE BASED ON NO.2 S.P.F. & ARE TO BE 2 X 12 BUILT-UP UNLESS OTHER WISE SPECIFIED. JOISTS ARE TO BE DOUBLED UNDER INTERIOR PARTITION WALLS JOISTS SHALL BE PLACED TO MINIMIZE INTERFERENCE WITH HEATING & PLUMBING ELEMENTS. ALL HEADERS & TRIMMERS ARE TO COMPLY WITH CURRENT EDITION OF THE NATIONAL & B.C. BUILDING CODE.S. THE BUILDER OR OWNER ARE TO OBTAIN NECESSARY CERTIFICATES FROM FLOOR JOIST, ROOF TRUSS, LVL & GLULAM AMNUFACTURERS FOR STRUCTURAL COMPLIANCE. FLOOR & ROOF JOIST SPANS OF MORE THAN 7-0" (2135M) SHALL BE BRIDGED AT MIDSPAN OR AT 7-0" (2135MM) OC. MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD BRIDGING SHALL BE A 2: X 2: DIAGONAL TYPE WHENEVER POSSIBLE. WOOD IN CONTACT WITH CONCRETE SHALL E DAMPROOFED WITH 45# FELT OR CLOSED CELL GASKET MATERIAL, OR PRESSURE TREATED WOOD USING A WATERBOUNE PRESERVATIVE OR OTHER APPROVED METHOD. INTERIOR FRAMING TO BE 4" (100m) CLEAR OF BACK & SIDES OF ANY FIREBOX AND 2" (50mm) CLEAR OF BRICK CHIMNEYS FRAME INTERIOR WALLS I" (25mm) CLEAR FROM EXTERIOR FIREPLACES. SILL PLATES TO BE ANCHORED TO CONCRETE WITH 5/8" OD. (8MM) ANCHOR BOLTS @ MINIMUM 8'-0" (2400mm) o.c. OR OTHER APPROVED METHOD. FLUSH FRAMED WOOD MEMBERS SHALL BE ANCHORED WITH 2000# (90KG) RATED JOIST HANGERS UNLESS OTHER WISE SPECIFIED.

DIMENSIONS ARE FROM THE OUTSIDE FACE OF SHEATHING TO THE CENTRE OF PARTITION WALL.

NSULATION - VENTILATION:

MINIMUM INSULATION REQUIREMENTS ARE AS - ROOF / CEILING: R-44 (R-31 - 7.75) - WALLS: (2 X 4) R-14 (R-3 1- 2.5)

(2 X 6) R-22 (R.51 - 3.9) CEILING INSULATION MAY BE LOOSE FILL OR WALL & FLOOR INSULATION MUST BE BATT WALLS & CEILINGS BETWEEN RESIDENCE & INSULATION REQUIREMENTS MAY VARY WIT ALL ROOF SPACES SHALL BE VENTILATED IN COMBINATION THEREOF. VENTING SHALL B ROOF SPACES & SOFFITS. ALL VENTILATION OF CRAWL SPACES SHA

NATIONAL & B.C. BUILDING CODE REQUIREMEN

STUCCO PROJECTIONS:

STUCCO PROJECTIONS & STUCCO CORBELL FROM 2 X 4 LUMBER ON FLAT WITH 3/4" P WITH WIRE MESH OR STUCCO WIRE FINISH ALL EXPOSED HORIZONTAL PROJECTIONS MINIMUM OF 15 DEGREES TO EXTERIOR SIDE

EXTERIOR ENTRY DOORS:

ALL EXTERIOR ENTRY DOORS TO BE INST MINMUM REQUIREMENTS.

WINITY RECLIRENTED. USE SOLID WOOD BLOCKING @ LOCK HEIGH JAMBS FOR TWO (2) STUD SPACES (EXCEP DEADBOLT LOCK WITH A MINIMUM I' (25M) TH HINGES SECURED TO DOOR WITH I' (25M) SO 3" (75M) SCREWS INTO SOLID WOOD BLOCK MAIN ENTRANCE DOORS TO HAVE A DOOR V 180 DEGREE VIEW ANGLE OR DOORLIGHT O WITH A PORTION OF CLEAR GLAZING FOR V SIDELIGHTS OR WINDOWS WITHIN 36" (915M) DOOR SHALL HAVE SAFETY LAMINATED. T WIRED GLAZING. SLIDING TYPE PATIO DOORS MUST HAVE A

DEVICE (IE. TOE LOCK) WITH A MINIMUM I' (25

LINTELS & BEARING WALL:

ALL LINTELS IN EXTERIOR FRAME WALLS 2 X 10 SPF. UNLESS OTHERWISE SPECIFIED. ALL SUPPORT COLUMNS FOR GIRDER TRUS. TO BEAR SECURELY ONTO FOUNDATION GROUND SNOW LOAD TAKEN AT 40 PSF (19

VAPOLIR BARRIER & MOISTLIRE RETARDATI

ALL JOINTS IN VAPOUR BARRIER TO BE LAN TO OCCUR OVER FRAMING MEMBERS OR SE ALL HOLES THROUGH VAPOUR BARRIER FO BOXES. PIPING, DUCTS. ETC. SHALL BE SEAL SILL PLATES TO BE PRESSURE TREATED FROM CONCRETE BY DAMPROOFING MATERIN MOISTURE RESISTANT BACKING IS REQUIRED BATHTUBS OR SHOWERS WHER CERAMIC SHEET IS TO BE INSTALLED.

MISCELLANE0US:

NON-HARDENING CAULKING COMPOUND SHAL

ALL AREAS SHALL BE PROPERLY FLASH EXTERIOR MATERIALS OCCUR OR DISSIMILA FLASHING REQUIRED OVER ALL EXTERIOR O ALL SIDING OR STUCCO TO BE A MINIMUM 8" A CAST IRON CHIMNEY FLUES ARE REQUIRED ALL BALCONY RAILINGS TO BE 3-6" IN HEIG 4" BETWEEN VERTICAL MEMBERS. MINIMUM D RAILS TO BE 32" WITH A TOP RAIL ABILITY OF 40 POUNDS PER LINEAL FOOT. CLOTHES CLOSETS SHALL HAVE AT LEA. 24" (945 MM) UNLESS OTHERWISE STATED. I SHELVES. WHEREVER POSSIBLE, BROOM

GENERAL NOTES

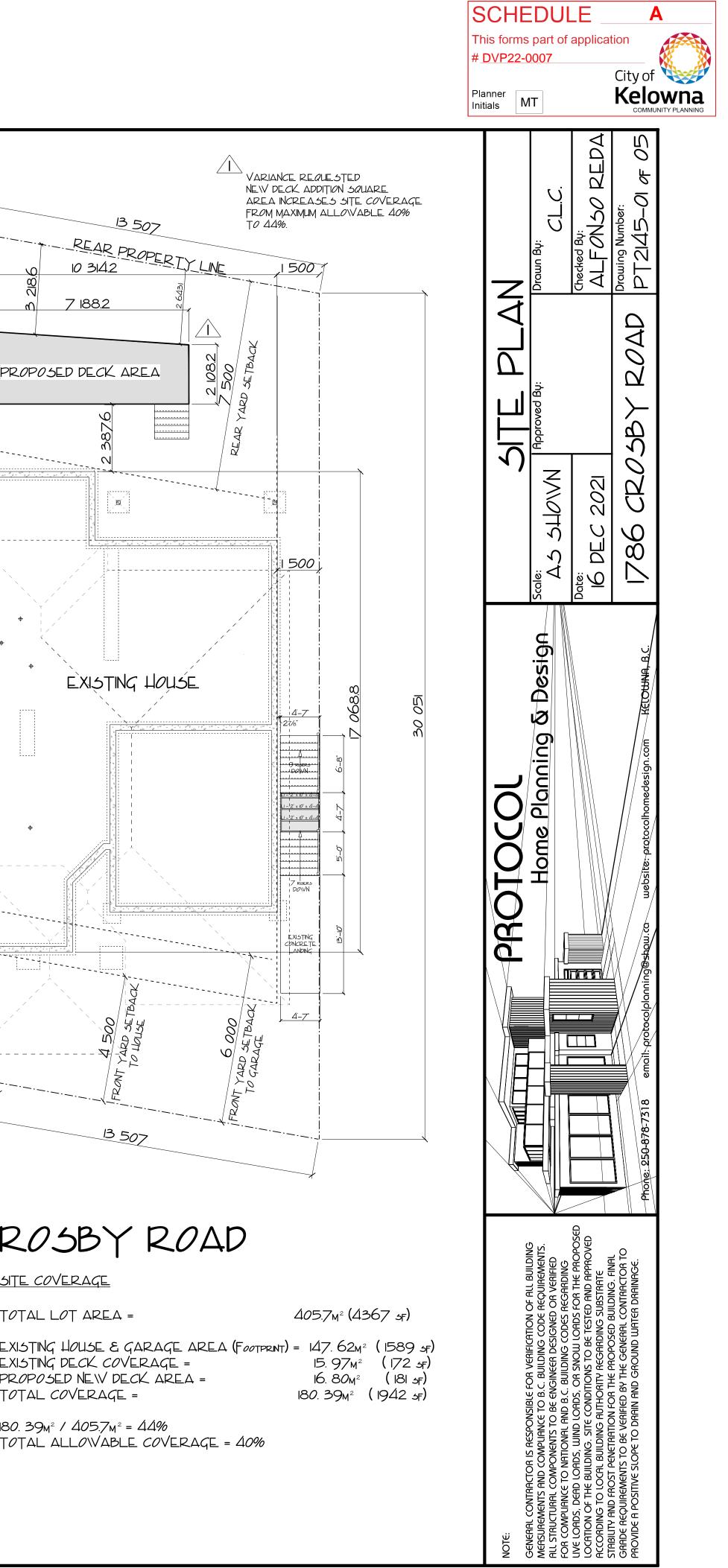
ALL WORK SHALL BE EQUAL IN ALL REST TO GOOD BUILDING PRACTICES. WRITTEN DIMENSIONS TAKE PRECEDENCE O SCALED DRAWINGS.

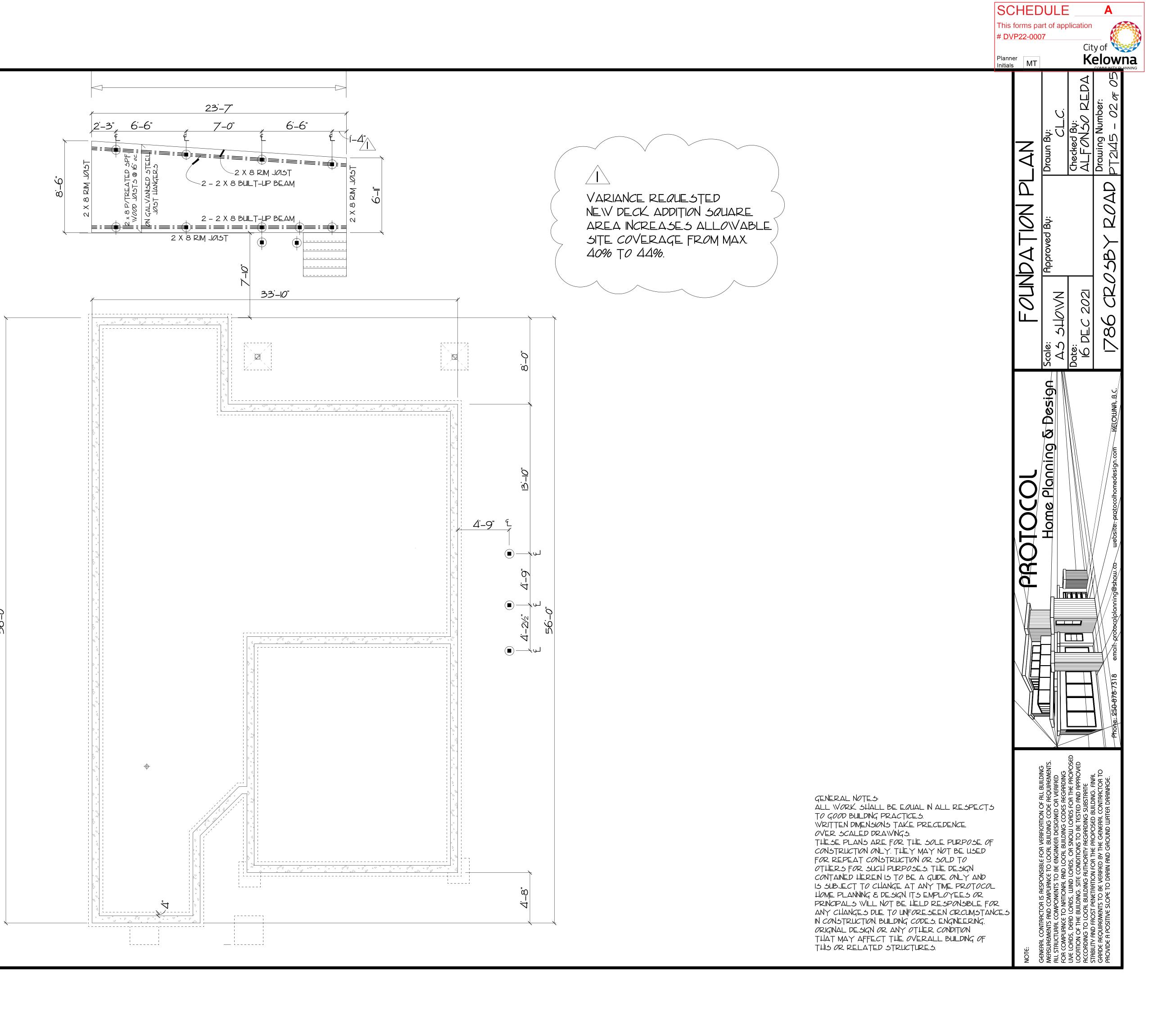
THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN IS TO BE A GUIDE ONLY AND CAN BE SUBJECT TO CHANGE. AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD LIABLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION. BUILDING CODES. OR ENGINEERING THAT MAY AFFECT THE ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR ANY OTHER RELATED STRUCTURES ON THESE DRAWINGS.

2NS		
RU2	2 - Medium Lot Housing	,1 500
2 BATT TYPE. "TYPE. 8 ATTACHED GARAGE SHALL BE NSULATED. 14 HEATING SYSTEMS & LOCAL CONDITIONS. D WITH SOFFIT. ROOF OR GABLE. VENTS. OR BE EQUALLY DISTRIBUTED BETWEEN TOP OF		2 590.8 Id
ALL CONFORM TO STANDARDS OF THE ITS.		
LNG T <i>O</i> BE CONSTRUCTED LYWOOD OVER CORNER BEAD OVER. TO BE SLOPED A FOR DRAINAGE.		4
ALLED WITH THE FOLLOWING T ON BOTH SIDE OF DOOR PT WHERE SIDELIGHTS OCCUR) HROW. CREWS & INTO FRAME WITH CING. VIEWER WITH PR SIDELIGHT /IEWING.) OF AN EXTERIOR LOCKING	30.056	•
) OF AN EXTERIOR LOCKING TEMPERED OR PIN TYPE LOCKING THROW.		
TO BE SES & BEAMS ARE WW. N PPED MN 4" & ALED WITH CAULKING. PR WRES. ELECTRICAL ED OR SEPARATED AL D AROUND ALL TILE & PLASTIC	Scale: I: 100 (V8" = 1-0") Set Back To House	
L BE APPLIED OVER & AROUND LED WHERE A CHANGE IN AR MATERIALS ARE USED. OPENINGS. ABOVE FINISHED GRADE LEVEL. TO BE APPROVED FOR ALL FIREPLACES GHT WITH A MAXIMUM SPACING OF DISTANCE BETWEEN HORIZONTAL	- / /	2ιςμτ σε Way ΞΡΡ63404
Y TO SUSTAN OUTWARD APPLIED LOAD ST ONE ROD & SHELF AND A MINIMUM DEPTH OF LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE CLOSETS SHALL HAVE AT LEAST ONE SHELF.	1786 LEGAL DE SCRIPTION	5 CF
PECTS OVER OSE OF D FOR ERS FOR HEREIN IS ALL DIMENSIONS ARE TO BE VERIFIED T TO CHANCE ON SITE BY BUILDING CONTRACTOR. LOCATIONS PF POST BEARING PADS & T BE HELD DEARING WALL FOOTINGS TO BE CONFIRMED ESEEN AND THESE LOCATIONS TO BE DETERMINED TO BE G CODES. ADEQUATE WITH PROPER BEARING ON ORIGINAL SUBSTRATE & POTENTIAL LATERAL SHIFT AY DUE TO VIBRATION AND / OR EARTH MOVEMENT.	LOT 8 EPP63600 1786 CROSBY ROAD KELOWNA, BRITISH COLUN RELATED SUPPORTS & CONNECTIONS TO BE ENGINEER REVIEWED & CERTIFIED AS REQUIRED BY MUNICIPAL AUTHORITY HAVING JURISDICTION	T.

AND B.C. BUILDING CODES & AMENDMENTS THERE TO.

VERIFY SUBSTRATE CONDITIONS REQUIRED.



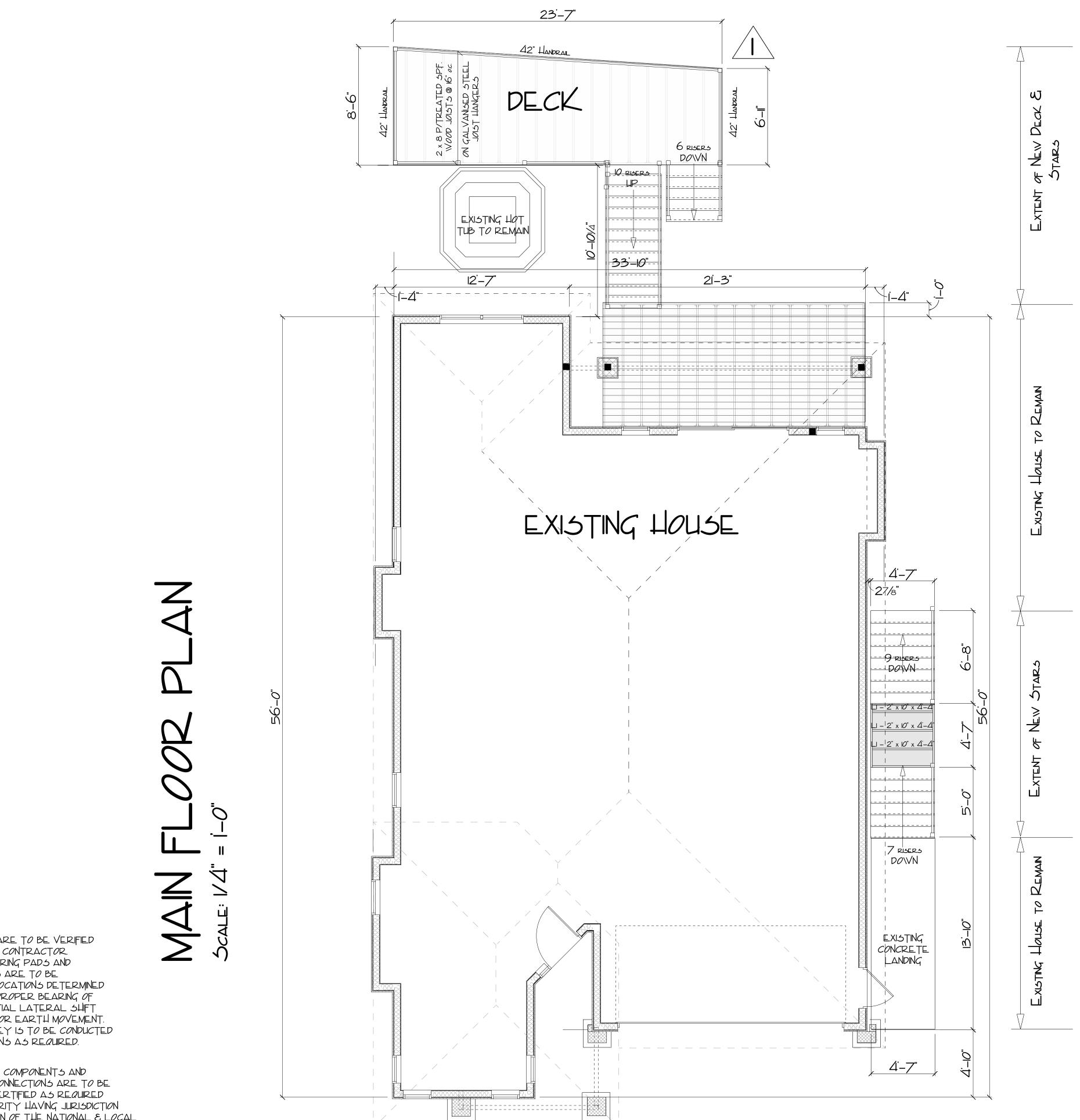


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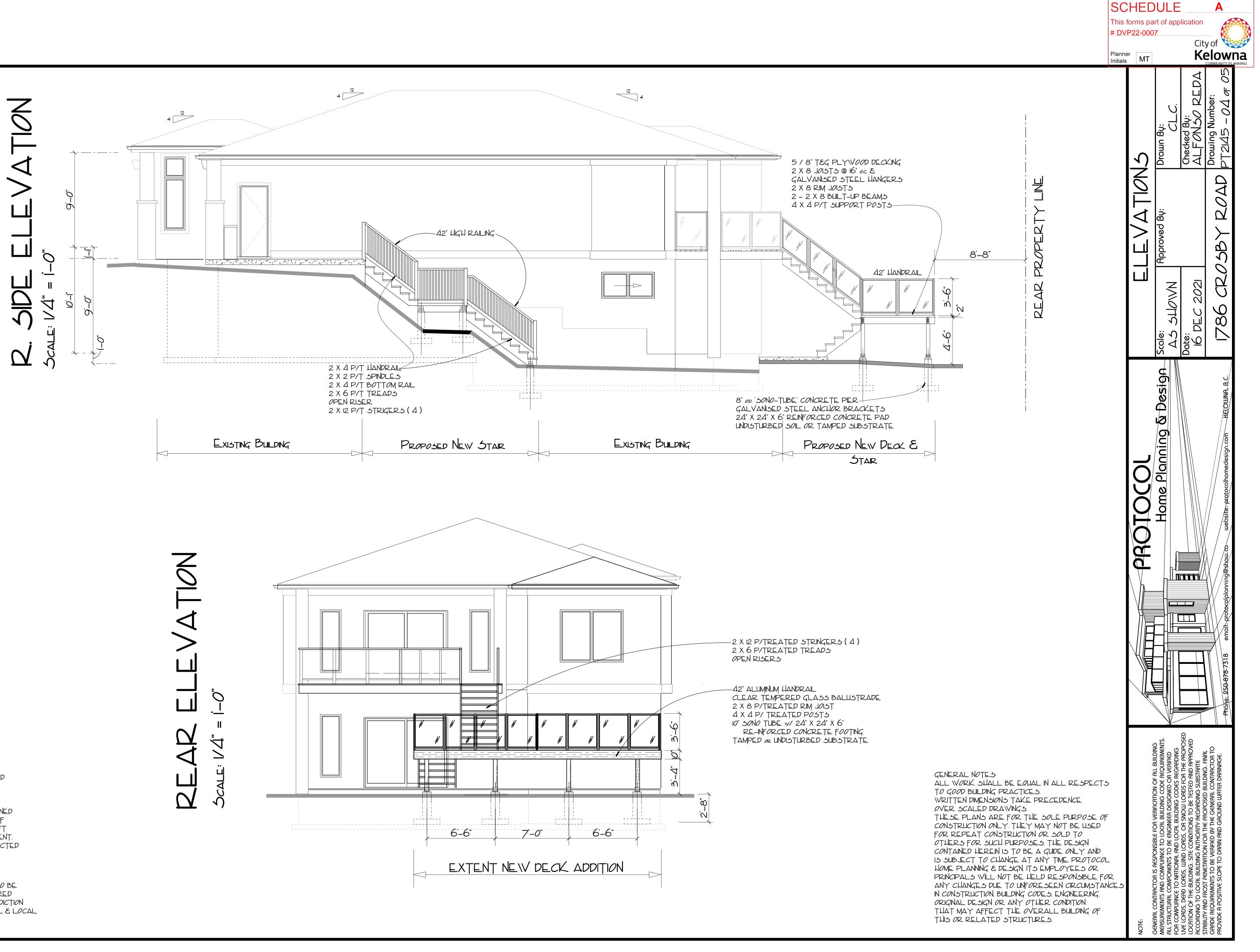
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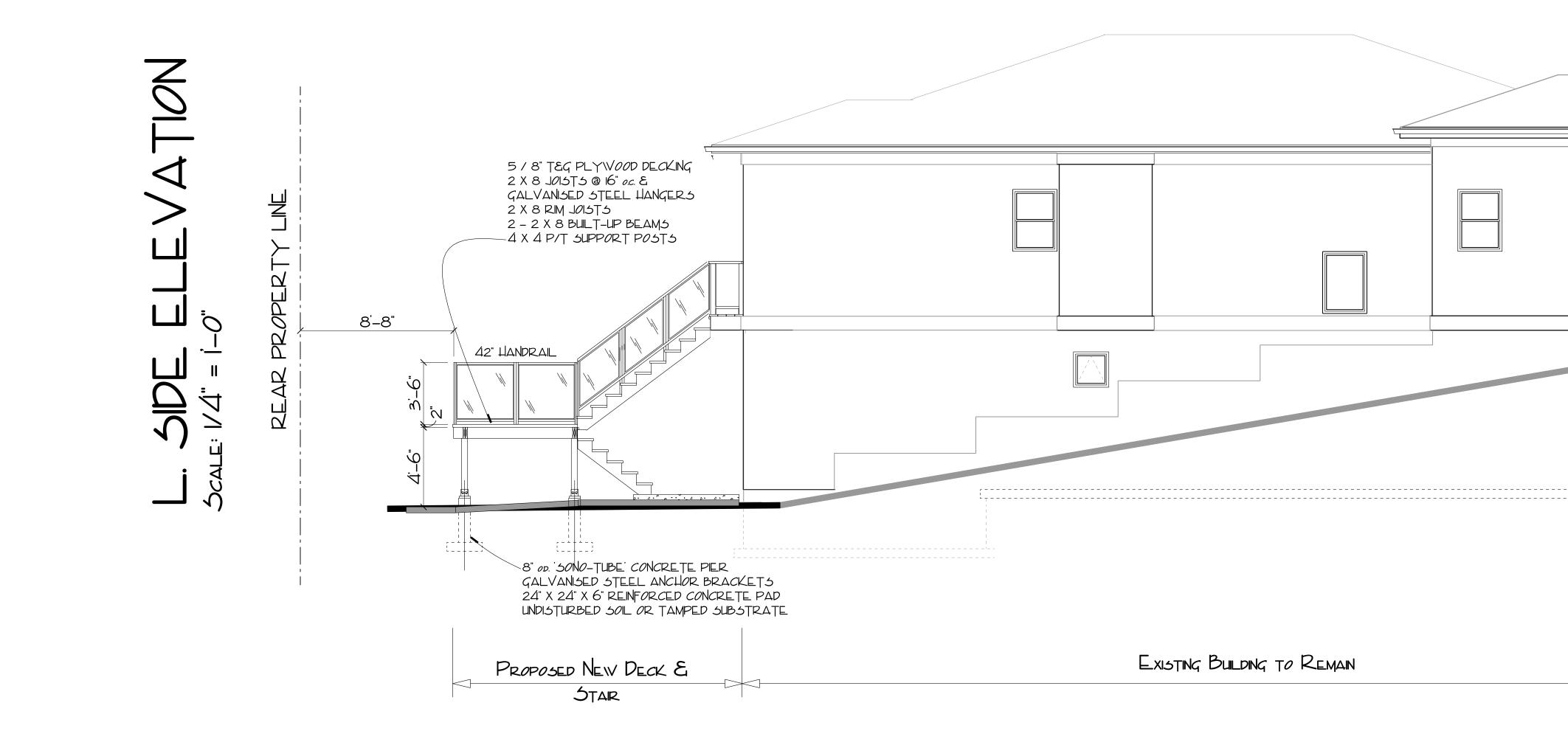
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SCHEDULE This forms part of application #_DVP22-0007 City of **Kelowna** Planner Initials MT **T** \Box VARIANCE REQUESTED NEW DECK ADDITION SQUARE AREA INCREASES ALLOWABLE <mark>ا</mark>گار م \square 51TE COVERAGE FROM MAX. 40% TO 44%. M \cap NVIOL 202 D TOCOL Home Planning & Design Ogq \Box GENERAL NOTES: ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED 55 FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN TO BE AND L CONTAINED HEREIN 13 TO BE A GUIDE ONLY AND 13 SUBJECT TO CHANGE AT ANY TIME PROTOCOL HOME PLANNING & DESIGN, ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION, BUILDING CODES, ENGINEERING. ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.



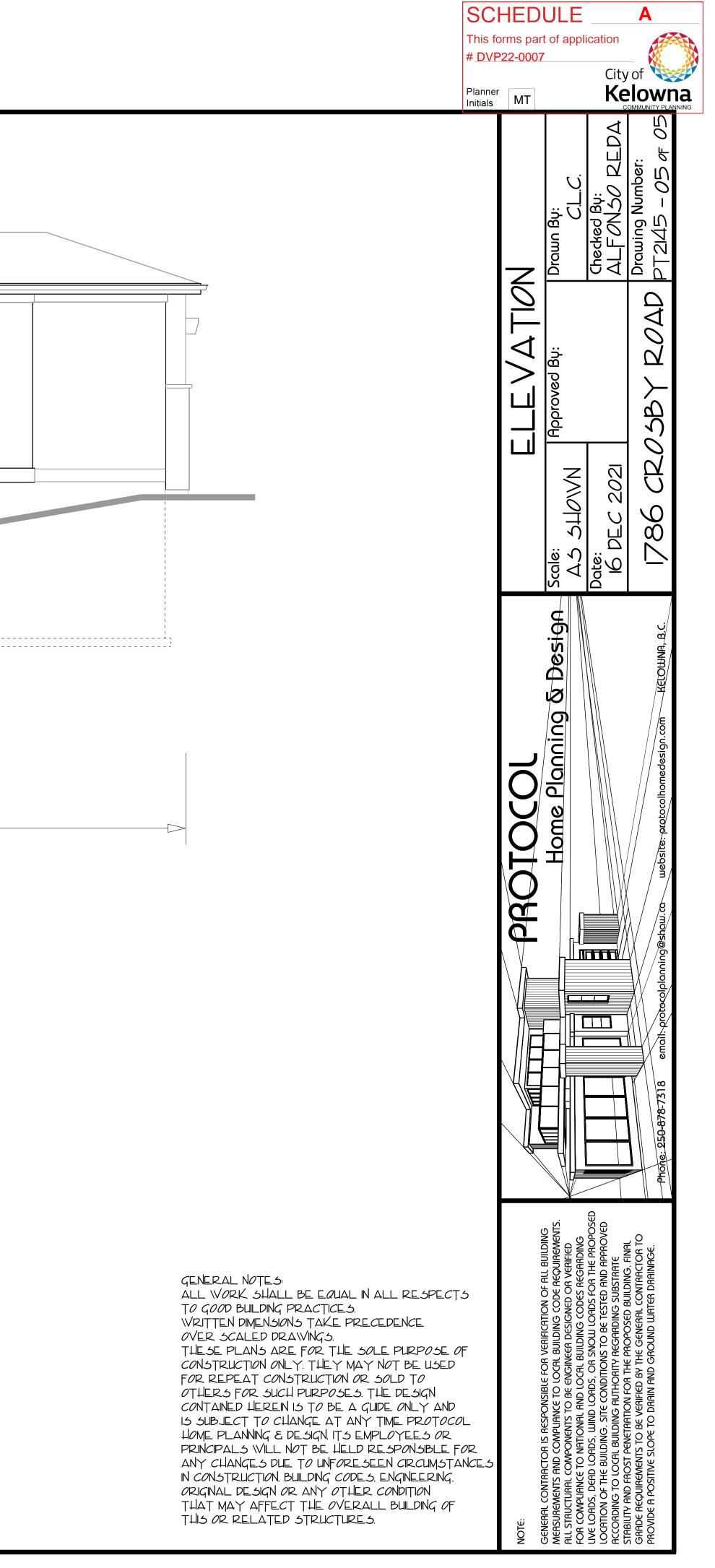
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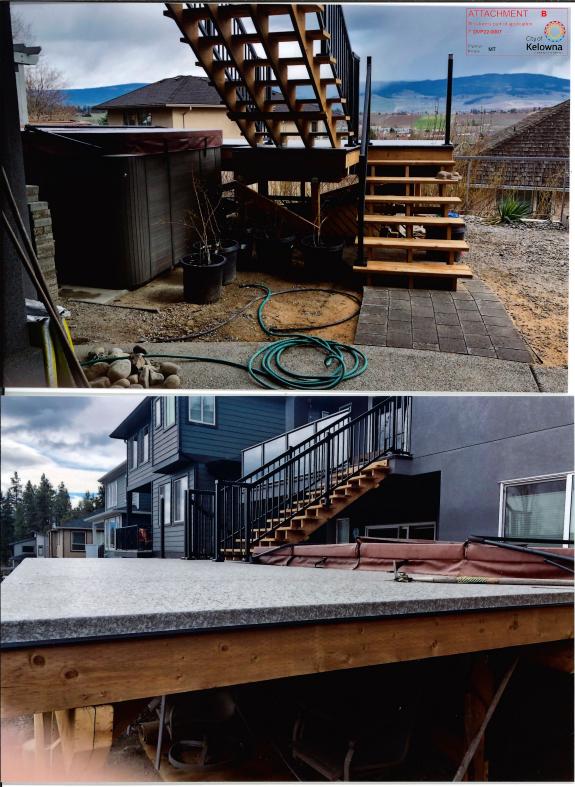
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DVP22-0007 1786 Crosby Road

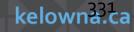
Development Variance Permit Application





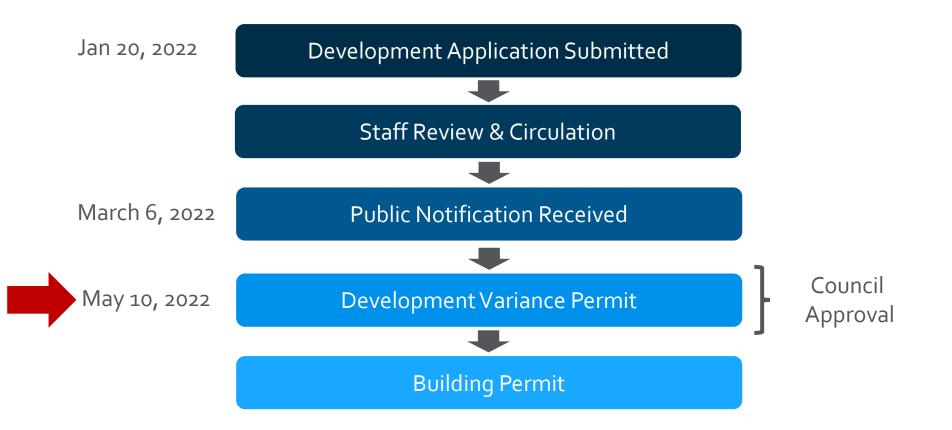
Proposal

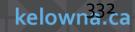
To review a Staff recommendation to <u>NOT</u> issue a Development Variance Permit to vary the maximum site coverage and the minimum rear yard for a deck addition to a single detached house.



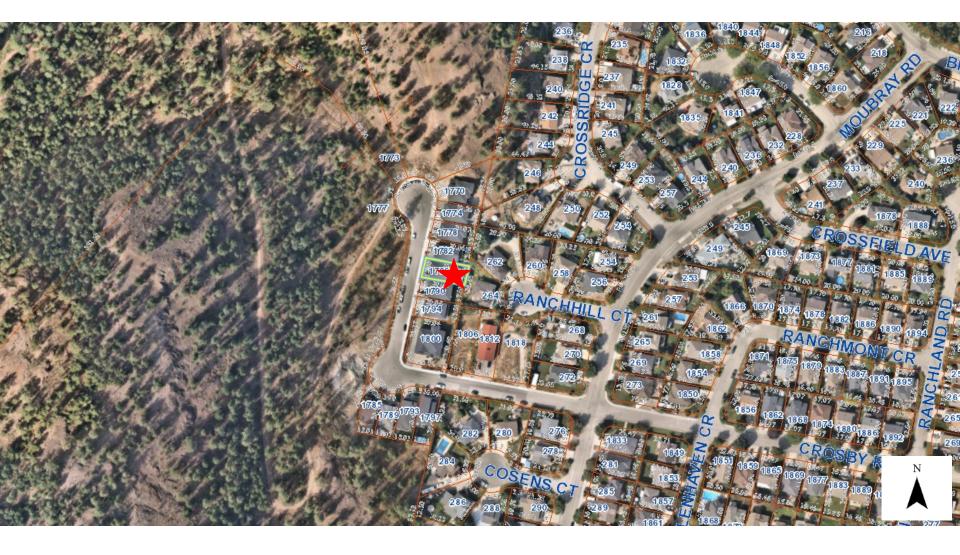
Development Process



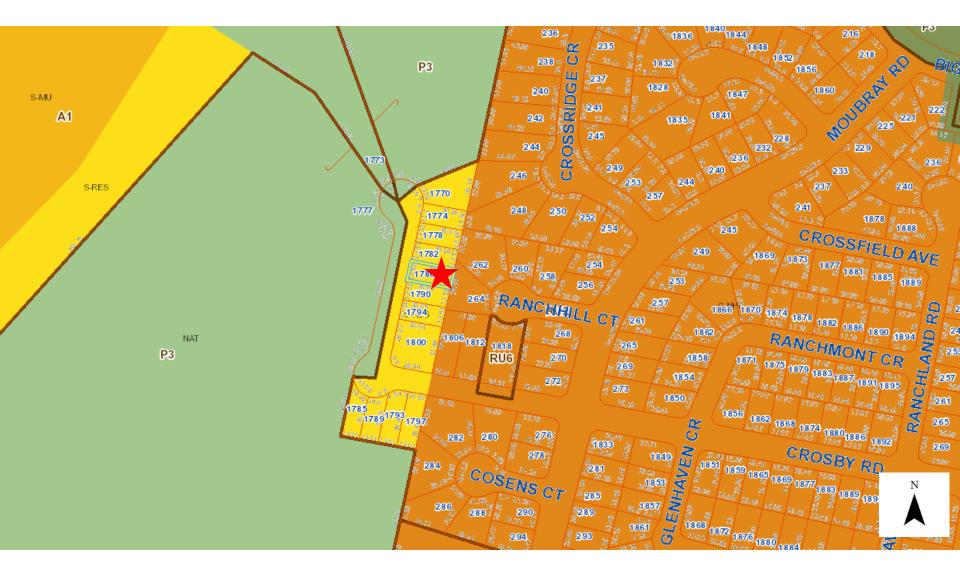




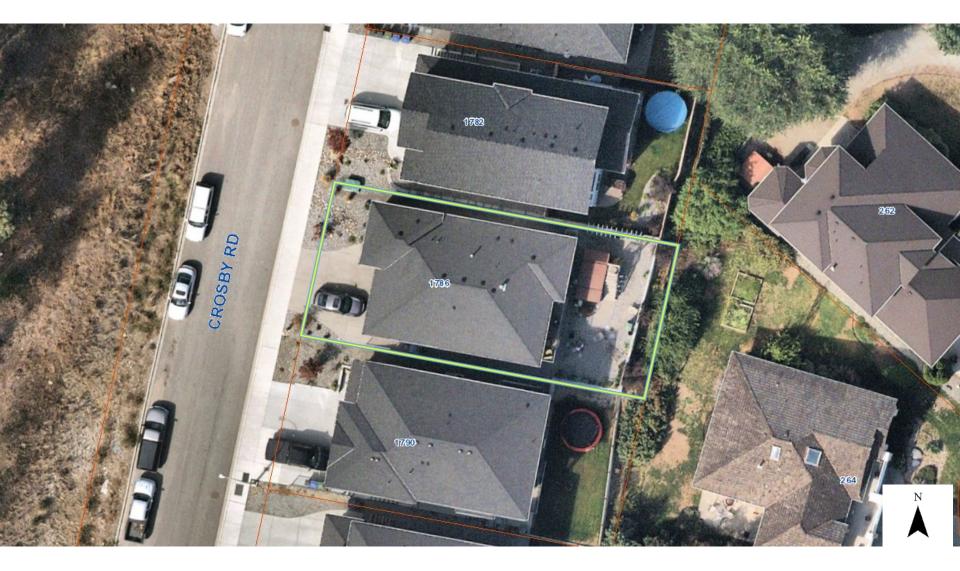
Context Map



Future Land Use / Zoning



Subject Property Map





Project details

Deck addition was constructed without a Building Permit.

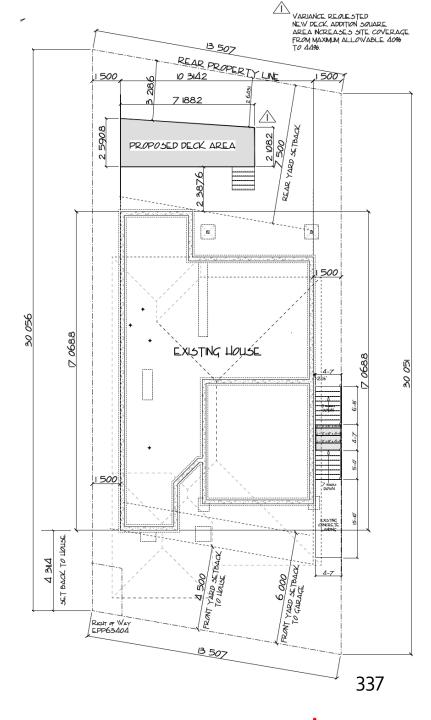
Deck is located 2.64 m from the rear property line. A 6.0 m rear yard setback is required.

Addition of deck increases site coverage to 44%. Maximum site coverage is 40%.

Site Plan & Photos









Staff Recommendation

Staff recommend non-support for the development variance permit:

- Potential to negatively impact adjacent properties
- Impact of variances may be increased due to location of deck uphill of adjacent property and elevated above the ground.





Conclusion of Staff Remarks