City of Kelowna Regular Council Meeting AGENDA



Tuesday, November 16, 2021 7:00 pm Council Chamber City Hall, 1435 Water Street

City F	łall, 1435	Water Street	Pages
1.	Call to	Order	
2.	Reaffir	mation of Oath of Office	
	The Oa	ath of Office will be read by Councillor Wooldridge.	
3.	Confirm	mation of Minutes	1-6
	Public	Hearing - October 26, 2021	
4.	Develo	pment Permit and Development Variance Permit Reports	
	-	to invite anyone participating online or in the public gallery who deems themselves d by the required variance(s) to come forward for each item.	
	4.1.	START TIME 7:00 PM - Guisachan Rd 1240 - DVP20-0068 - Sami Olof Valkama and Sun Mi Kweon	7 - 26
		To vary the minimum rear yard setback for a carriage house on the subject property.	
	4.2.	START TIME 7:00 PM - Mayfair Crt 734 - DVP20-0199 - Adam Wladyslaw Zurek	27 - 45
		To vary the minimum rear yard setback and the minimum distance to a principal dwelling for a carriage house.	
	4-3-	START TIME 7:00 PM - Patterson Ave 575 - BL12244 (Z21-0004) - Dream Chaser Management and Development Ltd., Inc. No. C1120607	46 - 46
		To adopt Bylaw No. 12244 in order to rezone the property from the RU6 – Two Dwelling Housing zone to the RM3 – Low Density Multiple Housing zone.	
	4.4.	START TIME 7:00 PM - Patterson Ave 575 - DP21-0009 DVP21-0012 - Dream Chaser Management and Development Ltd., Inc. No. C1120607	47 - 107
		To consider a Development Permit for the form and character of a new fourplex and	

to consider several variances to parking and building setbacks.

4.5.	START TIME 7:45 PM - Scott Rd 3521 - DVP21-0011 - John Kovacic and Christine Kovacic	108 - 124
	To vary the required minimum side yard from 2.3 m permitted to 2.0 m proposed to facilitate the construction of an addition to the existing house.	
4.6.	START TIME 7:45 PM - Upper Mission Dr 5308 - DVP21-0096 - Jason Robert Gill	125 - 146
	To issue a Development Variance Permit to vary the rear yard setback from 9.0 m required to 2.5 m proposed to facilitate the construction of an addition to a single family dwelling.	
4.7.	START TIME 7:45 PM - Bryden Rd 155 - DP21-0112 DVP21-0113 - 1297889 BC Ltd., Inc. No. BC1297889	147 - 198
	To consider the form and character of a multiple dwelling housing development and to vary the maximum height on the subject property.	
4.8.	START TIME 8:30 PM - Fuller Rd 4574 - DVP21-0158 - Andrew and Brandy Ladd	199 - 237
	To consider a Development Variance Permit to vary the Okanagan Lake Sight Line regulation from 60 degrees required to 8 degrees proposed along the south side.	
4.9.	START TIME 8:30 PM - Springfield Rd 1994 - BL12269 (OCP21-0009) - 1295991 B.C. Ltd., Inc. No. BC1295991	238 - 238
	Requires a majority of all members of Council (5).	
	Requires a majority of all members of Council (5). To adopt Bylaw No.12269 in order to amend the Official Community Plan to change the future land use designation of the subject property from the SC – Service Commercial designation to the MXR – Mixed Use (Residential / Commercial) designation.	
4.10.	To adopt Bylaw No.12269 in order to amend the Official Community Plan to change the future land use designation of the subject property from the SC – Service Commercial designation to the MXR – Mixed Use (Residential / Commercial)	239 - 239
4.10.	To adopt Bylaw No.12269 in order to amend the Official Community Plan to change the future land use designation of the subject property from the SC – Service Commercial designation to the MXR – Mixed Use (Residential / Commercial) designation. START TIME 8:30 PM - Springfield Rd 1994 - BL12270 (Z21-0035) - 1295991 B.C. Ltd.,	239 - 239
4.10. 4.11.	To adopt Bylaw No.12269 in order to amend the Official Community Plan to change the future land use designation of the subject property from the SC – Service Commercial designation to the MXR – Mixed Use (Residential / Commercial) designation. START TIME 8:30 PM - Springfield Rd 1994 - BL12270 (Z21-0035) - 1295991 B.C. Ltd., Inc. No. BC1295991 To adopt Bylaw No.12270 in order to rezone the subject site from the C10 – Service	239 - 239 240 - 307
	To adopt Bylaw No.12269 in order to amend the Official Community Plan to change the future land use designation of the subject property from the SC – Service Commercial designation to the MXR – Mixed Use (Residential / Commercial) designation. START TIME 8:30 PM - Springfield Rd 1994 - BL12270 (Z21-0035) - 1295991 B.C. Ltd., Inc. No. BC1295991 To adopt Bylaw No.12270 in order to rezone the subject site from the C10 – Service Commercial zone to the C4 – Urban Centre Commercial zone. START TIME 8:30 PM - Springfield Rd 1994 - DP21-0194 DVP21-0195 - 1295991 BC	
	To adopt Bylaw No.12269 in order to amend the Official Community Plan to change the future land use designation of the subject property from the SC – Service Commercial designation to the MXR – Mixed Use (Residential / Commercial) designation. START TIME 8:30 PM - Springfield Rd 1994 - BL12270 (Z21-0035) - 1295991 B.C. Ltd., Inc. No. BC1295991 To adopt Bylaw No.12270 in order to rezone the subject site from the C10 – Service Commercial zone to the C4 – Urban Centre Commercial zone. START TIME 8:30 PM - Springfield Rd 1994 - DP21-0194 DVP21-0195 - 1295991 BC Ltd., Inc.No. BC1295991 To issue the form and character Development Permit of a new mixed-use building	

- 5. Reminders
- 6. Termination



City of Kelowna Public Hearing and Associated Regular Meeting Minutes

Date: Location: Tuesday, October 26, 2021

Council Chamber

City Hall, 1435 Water Street

Members Present

Mayor Colin Basran, Councillors Ryan Donn, Gail Given and Luke Stack

Members participating

remotely

Councillors Charlie Hodge, Mohini Singh and Loyal Wooldridge

Members Absent

Councillors Maxine DeHart and Brad Sieben

Staff Present

City Manager, Doug Gilchrist; City Clerk, Stephen Fleming; Deputy City Clerk, Laura Bentley; Divisional Director, Planning & Development Services, Ryan Smith; Development Planning Department Manager, Terry Barton; Divisional Director, Partnerships and Investments, Derek Edstrom; Parks & Buildings Planning Manager, Robert Parlane; Divisional Director, Infrastructure, John Vos and Strategic Transportation Planning Manager,

Mariah VanZerr

Staff participating remotely

Legislative Coordinator (Confidential), Clint McKenzie

- 1. Due to COVID-19 a Public Hearing Agenda will also include Regular Meeting Items
- 2. Call to Order the Public Hearing START TIME 6:00 PM Kelowna 2040 Official Community Plan

Mayor Basran called the Hearing to order at 6:04 p.m.

Mayor Basran advised that the purpose of the Hearing is to hear from the public on matters regarding the Kelowna 2040 Official Community Plan Bylaw No. 12300. After the close of the Public Hearing, Council will then debate and vote on the proposed bylaws at the Regular Meeting that follows.

- 3. Individual Bylaw Submissions
 - 3.1 START TIME 6:00 PM Kelowna 2040 Official Community Plan

Staff.

- -Displayed a PowerPoint Presentation.
- -Summarized the OCP 2040 public process.
- -Summarized the OCP 2040 framework.

- -Summarized refinements to the Plan based on public input and Council direction.
- -Spoke to putting the Plan into action, once adopted.
- -Responded to questions from Council.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

Online Participants:

Murray Braaten, Watt Rd

- -Recently inherited the property.
- -Opposed to the Future Land Use (FLU) Map designation of his property.
- -Spoke to lack of awareness or knowledge of this designation.
- -Sufficient number of parks in the neighbourhood already.

Monique Guimont, Springfield Rd

- -Spoke to strategies for housing policy objectives in OCP 2040.
- -Spoke to increases in rentals in Kelowna.
- -Spoke to responses to homelessness and the costs of homelessness.
- -Encouraged Council to consider options to prevent and treat homelessness.

Tony Kudryk, Argus Properties

- -Commended staff for their work on the 2040 OCP.
- -Provided an overview of the company's real estate holdings.
- -Made reference to previously circulated correspondence.
- -Raised concerns with FLU Map around the Airport.
- -Raised concerns with maximum heights proposed north of Prospera Place.
- -Raised concerns with increase in urban form and character Development Permits required under OCP 2040.

Tom Warshawski, Kenna Rd

- -Raised questions regarding certain Policies in Chapter 7.
- -Raised concerns with increases in road use and impacts on sustainability.
- -Seems to undermine City's commitment to reduce carbon.
- -Provided comments on policy 7.8.3.

Tracey Davis, Lake Ave

- -Raised concern with policy 7.1.1 Area Structure Plan Consistency.
- -Raised concern with policies regarding transportation in Chapter 7.
- -Encouraged Council to strengthen policies in Chapter 7.

Merrilee Ashworth, Gallagher's Parkway

-Encouraged staff and council to remain consistent with the policies and principles in OCP 2040.

Norma Sebestyen, Watt Rd

- -Recently inherited the property.
- -Opposed to the FLU Map designation for this property.
- -Encouraged Council to revisit the staff report from July 2021.
- -Raised concerns with lack of procedural fairness regarding the proposed change to the FLU Map.
- -Raised concerns that bias against a Watt Road property owner is driving Council's decision.
- -Raised doubts that the neighbourhood requires additional parkland over the Ike frame of the Plan.

Gallery:

Bob Murdoff, Royal Pine Dr

- -Encouraged Council to look at the former Tolko site by making this a special study area.
- -Raised concerns with parking around the Hospital and lack of long term plan collaboration between the City and KGH.

-Agreed with previous speaker's comments regarding homelessness.

Ian Sussett, Watt Rd

-Raised concern with need for oversight between Council and planning department.

-Raised concern with development tipping points, such as road capacity and water supply.

-Raised concerns with Watt Rd FLU Map designation and encouraged Council to return to the "buy, sever, sell" model.

Ken Webster, Bay Ave

- -Raised concerns with impacts on 1501 Ellis Street.
- -OCP 2040 reduces density potential of the site.
- -Density increases are proposed for elsewhere.

Erika Bell-Lowther, Abbott St

-Expressed kudos to staff for such an ambitious document.

- -Raised concerns with Policy 5.3.7 regarding infill housing in the core area, specifically the heritage conservation area of Abbott and Marshall Street.
- -Respect the Heritage Conservation Area.

Douglas Manning , Gallagher's Pinnacle Way

-Opposed to proposed development in the Gallagher's neighbourhood.

-Encouraged Council to look at future land use applications through the policies in OCP 2040 and to amend them only in extraordinary circumstances.

Anne Laurie, Abbott St

-Spoke to the historical evolution of the heritage conservation area.

-Spoke to the current charm of the heritage conservation neighbourhood.

Jamie Tanner, Aberdeen St

-Spoke to the comprehensiveness of the OCP 2040 and encouraged Council to stick with the Plan once adopted .

-Made comments on continuing the heritage conservation area.

-Made comments on the architectural sameness of new development in his neighbourhood and encouraged variety.

Cathy Pierce Tanner, Aberdeen St

-Spoke in favour of designating the former Tolko area as a special study area.

-Agreed with previous comments on encouraging better communication between City and KGH.

-Supportive of increased housing in the core areas.

-Concerned with impacts on the heritage conservation area and the need to preserve the area.

Dan Rogers Kelowna Chamber of Commerce, Harvey Ave

-Thanked and acknowledged work of City staff.

-Made comments on link between OCP 2040 policies and future of City

-Made comments on the upcoming implementation process, once adopted.

- -Spoke to the need for a greater focus on affordable housing especially in the areas of governance and funding.
- -Made reference to upcoming Commercial Goals Study.
- -Spoke to the need for more industrial land.

Pat Munro, Cadder Ave

- -Spoke to the special character of the heritage conservation area.
- -Spoke in favour of more parks
- -In favour of most of the OCP 2040.

Yeng Ling Yu, Leon Ave

-Thanked staff for a great OCP.

- -Raised concern with pace of change with respect to single family's home supply.
- -Raised concerns with infill development and parking requirements.

Jan Murphy, Cadder Ave

- -Spoke to the merits of living on a large lot in the heritage conservation area.
- -Encouraged Council to keep the area intact.

Susan Ames Abbott St

- -Speaking on behalf of KASAN.
- -OCP 2040 is a positive step.
- -Spoke in favour of maintaining the heritage conservation area.
- -Referenced previously submitted correspondence.
- -Supportive of area being specifically designated on the FLU Map as "HCA".

Shayne Medlan, Alta Vista Rd

- -Speaking as the Executive Director of Green Okanagan.
- -Supportive of the OCP 2040.
- -Spoke to benefits of increasing density and its positive impacts on climate crisis.
- -Spoke to benefits of density on diversity.

Darren Schlemp, Bulloch Rd

- -Raised concerns with previous Council decisions undermining the goals and policies of Imagine Kelowna and OCP 2040.
- -Raised concerns with lack of action on previous Climate Action Plans.
- -Raised concerns with transit service hour targets.
- -Raised concerns with increase in roads in the Transportation Master Plan and corresponding increase in emissions.

Chelsea Magonagaul, Stockwell Ave

- -Thanked staff for committing to a bold Climate Action Plan.
- -Spoke in favour of densification and it's benefits for the community.

Luke Turri, Chair, UDI Okanagan

- -Supportive of approval of the OCP 2040.
- -Praised staff for the amount of industry consultation and input.
- -Made reference to previously circulated correspondence.
- -Raised concern about limits on supply vs demand, in particular for single family homes.
- -Raised concerns with Urban Centre height maps.
- -Spoke to need for adequate staffing for OCP 2040 implementation.
- -Responded to questions from Council.

Heather Frissen, Cherise Rd

- -Found the OCP 2040 hard to get through.
- -Commended staff for their hard work.
- -Made comments on wording on page 7 middle paragraph.
- -Concerned with lack of affordable housing and the link to diversity.
- -Encouraged Council to be bold and put more resources into affordable housing.

Mayor asked if anyone else in the Gallery wished to speak.

No one came forward.

Mayor asked of anyone else participating remotely wanted to speak.

Kevin Johnson, Hughes Rd

- -Owns commercial property near Bankhead elementary school.
- -Opposed to the FLU Map for his property.
- -Raised doubts that the School District reasons for expansion have merit.

-Responded to questions from Council.

The meeting recessed at 8:32 p.m.

The meeting reconvened at 8:50 p.m.

Staff:

Responded to questions from Council regarding:

- -Urban Centre height maps.
- -School District expropriation rights.
- -Housing unit allocations.
- -North End Plan.
- -Potential Transportation Master Plan changes.
- -Map 21.1 Natural Area Development Permit Area.
- -Heights in the north end.
- -Housing unit allocations.
- -Communicating more recent changes to draft OCP 2040.
- -Heritage conservation area policy 5.3.7.
- -OCP as a policy document rather than a regulatory document.
- -Potential implications of Clean BC Road Map on OCP 2040.
- -Additional waterfront parks as a priority for the public.
- -Lack of recent use of expropriation for park lands.
- -Communications and cooperation between KGH plans and City plans.
- -Communications with SD23 regarding FLU designations adjacent to existing schools.
- -Civic Precinct Plan references in OCP 2040.
- -Heritage Conservation Area nomenclature.
- -Watt Road FLU Map designation.
- -FLU Map designation implications.
- -Clean BC Road Map implications.
- -Transit corridors impacts on density.
- -Urban centre height densities.
- -Ponds commercial node.
- -Height maps.

4. Termination

The Hearing was declared terminated at 9:37 p.m.

5. Call to Order the Regular Meeting

Mayor Basran called the meeting to order at 9:37 p.m.

- 6. Bylaws Considered at Public Hearing
 - 6.1 START TIME 6:00 PM BL12300 Kelowna 2040 Official Community Plan

Moved By Councillor Donn/Seconded By Councillor Given

Ro975/21/10/26 THAT Bylaw No. 12300 be read a second and third time.

Carried

Moved By Councillor Hodge/Seconded By Councillor Singh

Rog76/21/10/26 THAT Council direct staff to bring forward, upon adoption of the OCP 2040, the rationale for the OCP 2040 Map 3.1 Future Land Use designation for Watt Rd.

Defeated

Mayor Basran, Councillors Donn, Given, Singh, Stack and Wooldridge - Opposed

Moved By Councillor Stack/Seconded By Councillor Given

Rog77/21/10/26 THAT Council direct staff to bring forward, upon adoption of the OCP 2040, the rationale for the OCP 2040 Map 3.1 Future Land Use designation for 1205 High Road;

AND THAT Council direct staff to bring forward, upon adoption of the OCP 2040, the rationale for the OCP 2040 Map 3.1 Future Land Use designation for 4998 Gordon Drive;

AND FURTHER THAT Council direct staff to bring forward, upon adoption of the OCP 2040, the rationale for the OCP 2040 Downtown Building Heights Map 4.1, specifically the east side of Ellis Street from Bernard Avenue to Clement Avenue.

Carried

7. Confirmation of Minutes

Moved By Councillor Hodge/Seconded By Councillor Wooldridge

Rog78/21/10/26 THAT the Minutes from October 5, 2021 be adopted.

Carried

8. Termination

The meeting was declared terminated at 10:16 p.m.

Mayor Basran City Clerk

sf/cm

REPORT TO COUNCIL



Date: November 16, 2021

To: Council

From: City Manager

Department: Development Planning

Application: DVP20-0068 Owner: Sami Olof Valkama & Sun Mi

Kweon

Address: 1240 Guisachan Road Applicant: Sami Olof Valkama

Subject: Development Variance Permit

Existing OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: RU₂ – Medium Lot Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP20-0068 for Lot A, District Lot 136, Section 19, Township 26, ODYD, Plan 31279, located at 1240 Guisachan Road, Kelowna, BC;

AND THAT a variance to the following section of Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

<u>Section 9.5b.1(j): Specific Use Regulations, Carriage House Regulations – Development Regulations in Residential, Health District and Comprehensive Development Zones</u>

To vary the rear yard setback from 1.5 m required to 0.82 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the minimum rear yard setback for a carriage house on the subject property.

3.0 Development Planning

Staff support the application for a Development Variance Permit to legalize the siting of an existing carriage house on the subject property by varying the rear yard setback requirement. The carriage house conforms to the Official Community Plan (OCP) Future Land Use Designation of S2RES – Single / Two Unit Residential and policies including compact urban form, sensitive infill and carriage houses.

The north elevation of the carriage house does not have any windows and a solid fence runs the length of the rear property line mitigating impacts on the adjacent property to which the reduced setback is requested. A qualified building professional has reviewed the existing building and has not identified any obstacles in upgrading the building to meet the requirements of the BC Building Code.

4.0 Proposal

4.1 Background

An accessory building on the subject property was converted into a carriage house without the required authorizations. To legalize the conversion of the accessory building into a carriage house, the applicant applied to rezone the property from the RU2 – Medium Lot Housing zone to the RU2C – Medium Lot Housing with Carriage House zone in February 2020. As the property is within the Core Area and has a sanitary sewer connection, with the adoption of Bylaw No. 12263 (TA21-0009), rezoning of the subject property for a carriage house is no longer required.

4.2 Project Description

The applicant proposes to reduce the required rear yard setback requirement to legalize an existing carriage house on the subject property. The single storey carriage house is located at the rear of the lot and has driveway access from Guisachan Road. Other than the proposed variance to the rear yard setback requirement, all other aspects of the carriage house are compliant with Zoning Bylaw No. 8000 including the adequate provision of private open space and parking.

4.3 Site Context

The subject property is in the Central City OCP Sector and is located on Guisachan Road, between the intersections of Stillingfleet Road and Wilkinson Street. The surrounding residential area is primarily zoned RU1 – Large Lot Housing, RU2 – Medium Lot Housing, RU5 – Bareland Strata Housing, and RU6 – Two Dwelling Housing and has a Future Land Use Designation of S2RES – Single / Two Unit Residential. The property is within 100 m of the Guisachan Village Centre and within 300 m of transit stops on Gordon Drive.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU2 – Medium Lot Housing	Single Family Housing
East	RU2 – Medium Lot Housing	Single Family Housing
South	RU5 – Bareland Strata Housing	Single Family Housing Strata Community
West	RU1 – Large Lot Housing RU2 – Medium Lot Housing	Single Family Housing

Subject Property Map: 1240 Guisachan Road



4.4 Zoning Analysis Table

Zoning Analysis Table					
CRITERIA	RU2 ZONE REQUIREMENTS	PROPOSAL			
Existing Lot/Subdivision Regulations					
Min. Lot Area	400 m²	1983 m²			
Min. Lot Width	13 M	18.73 m			
Min. Lot Depth	30 m	86.55 m			
	Development Regulations				
Max. Site Coverage (carriage house)	14%	6.17%			
Max. Height	4.8 m	4.19 m			
Min. Front Yard	9 m	>9 m			
Min. Side Yard (west)	1.5 M	1.8 m			
Min. Side Yard (east)	1.5 M	17.63 m			
Min. Rear Yard	1.5 M	o.82 m 0			
• Indicates a requested variance to the minimum rear yard setback.					

5.0 Current Development Policies

5.1 <u>Kelowna Official Community Plan (OCP)</u>

<u>Chapter 5: Development Process</u>

Objective 5.3 Focus development to designated growth areas

Policy .2 Compact Urban Growth. Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 – 100 people and/or jobs per ha located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and

re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of Generalized Future Land Use Map 4.1.

Objective 5.22 Ensure context sensitive housing development.

Policy .6 Sensitive Infill. Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height, and siting.

Policy .12 Carriage Houses & Accessory Apartments. Support carriage houses and accessory apartments through appropriate zoning regulations.

6.0 Application Chronology

Date of Application Accepted: February 19, 2020
Date Public Consultation Completed: July 14, 2020

Report prepared by: Mark Tanner, Planner II

Reviewed by: Jocelyn Black, Urban Planning Manager

Reviewed by: Terry Barton, Development Planning Department Manager

Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

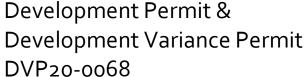
Attachments:

Attachment A: Draft Development Variance Permit DVP20-0068

Attachment B: Floor Plans & Elevations

Schedule A: Site Plan







1240 Guisachan Road

and legally known as

Lot A, District Lot 136, Section 19, Township 26, ODYD, Plan 31279

and permits the land to be used for the following development:

Carriage House - RU2 - Medium Lot Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u> November 16, 2021

Decision By: COUNCIL

Existing Zone: RU2 – Medium Lot Housing

Future Land Use Designation: S2RES – Single/Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Sami Olof Valkama & Sun Mi Kweon

Applicant: Sami Olof Valkama

Terry Barton
Community Planning Department Manager
Planning & Development Services

Date



1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) That variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 9.5b.1(j): Specific Use Regulations, Carriage House Regulations – Development Regulations in Residential, Health District and Comprehensive Development Zones

To vary the rear yard setback from 1.5 m required to 0.82 m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

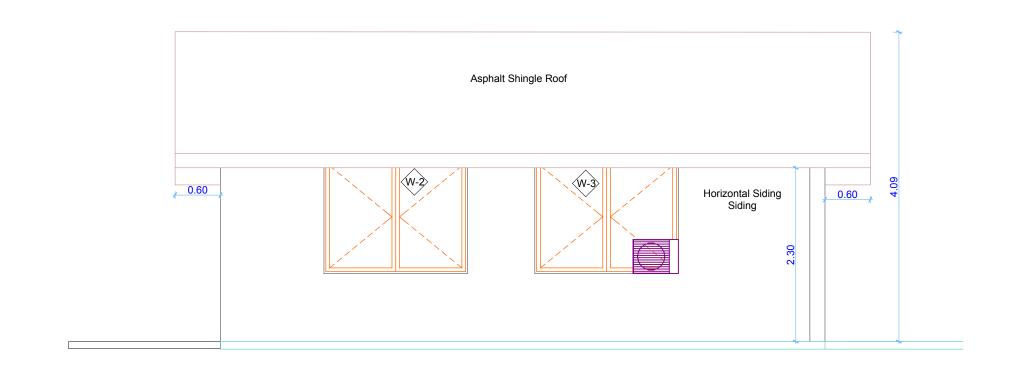
All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.

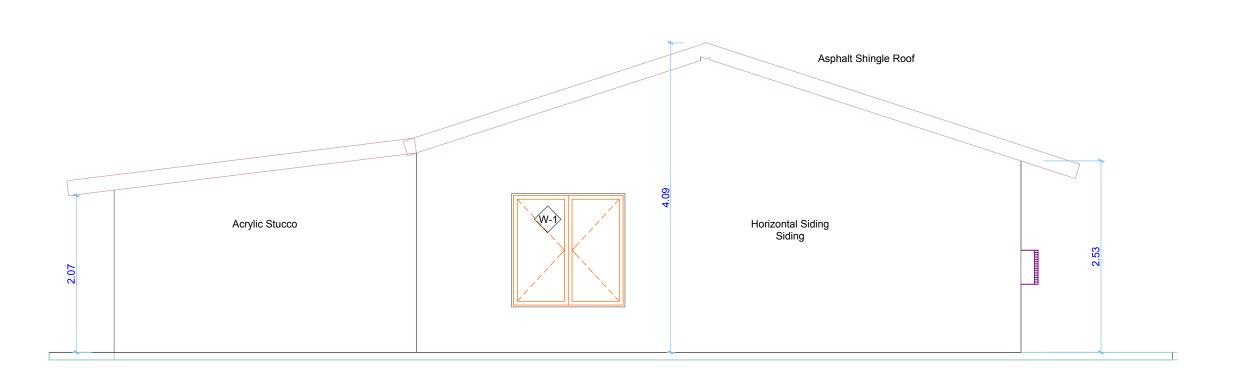




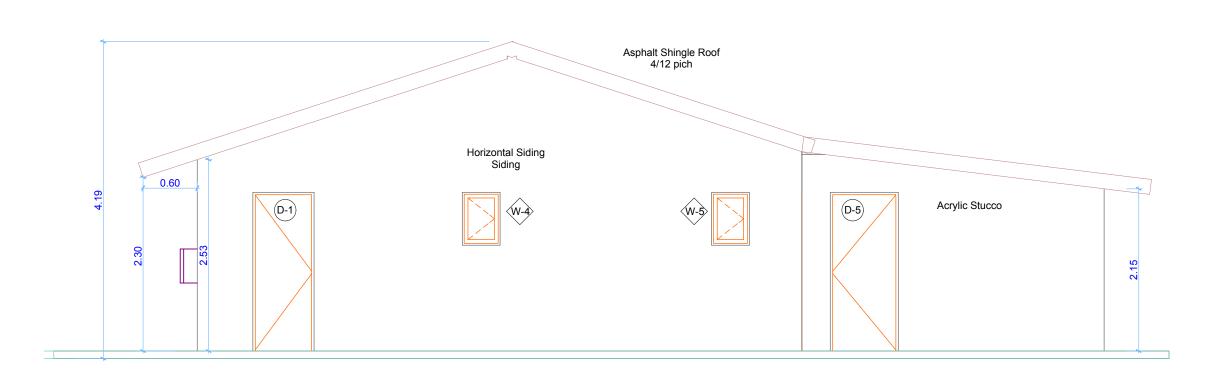
North Elevation 1:50



South Elevation 1:50



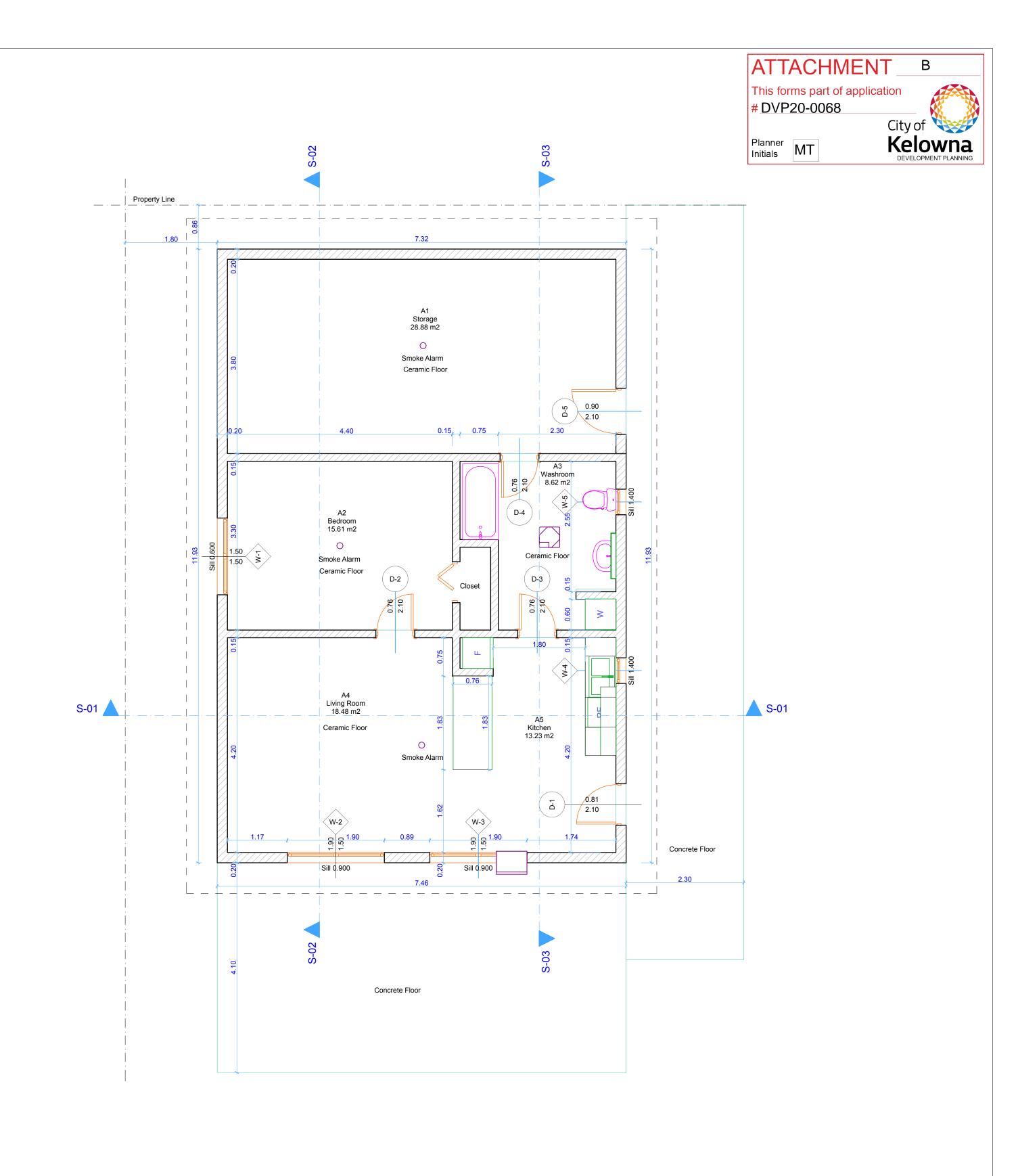
West Elevation 1:50



East Elevation 1:50



SHEET TITLE Elevations			Lot 136 - Sami Valkama
1:50	2020-02-01	ISSUED FOR	DRAWING BY LD
Legal description Lot 136, O	DYD Plan 31279	1	NOTE

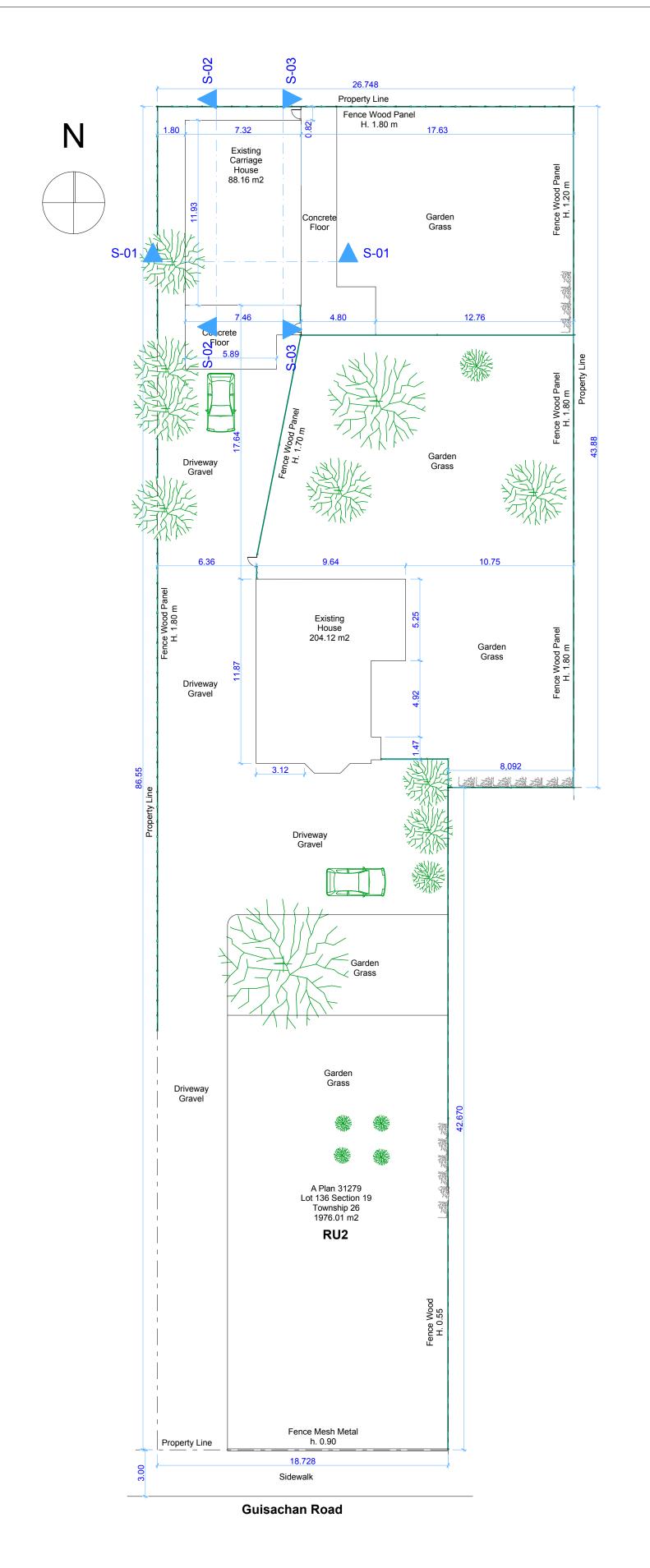


0.Main Floor Plan1:50

A.3

Main Floor Plan			Lot 136 - Sami Valkama
SCALE	DATE	ISSUED FOR	DRAWING BY
1:50	2020-02-01		LD
LEGAL DESCRIPTION			NOTE
Lot 136, O	DYD Plan 31279		







-2. Site Plan 1:200

A.1

Site Plan			Lot 136 - Sami Valkama
1:200	2020-02-01	ISSUED FOR	DRAWING BY LD
Lot 136, OI	Legal DESCRIPTION Lot 136, ODYD Plan 31279		NOTE



DVP20-0068 1240 Guisachan Road

Development Variance Permit Application



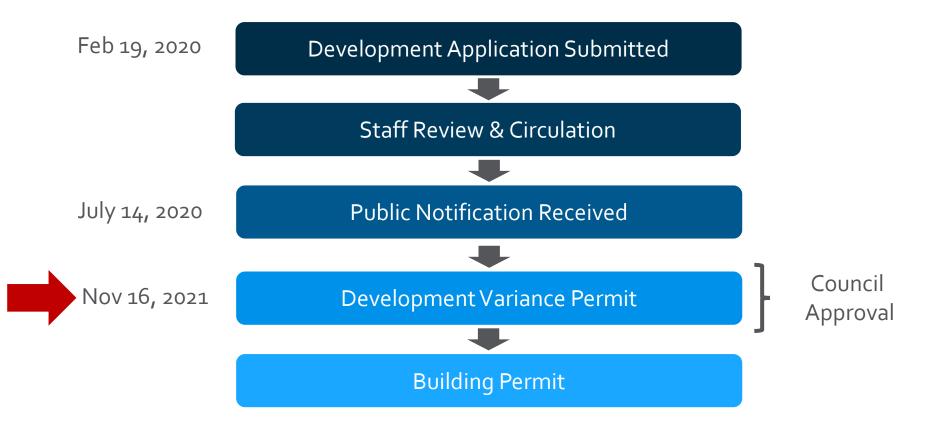


Proposal

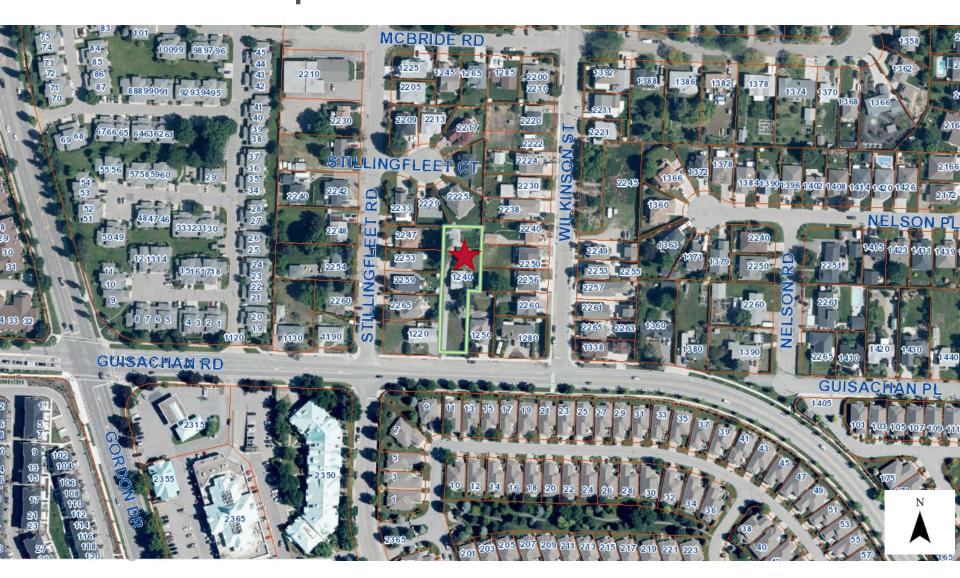
► To vary the required minimum rear yard setback for a carriage house on the subject property.

Development Process

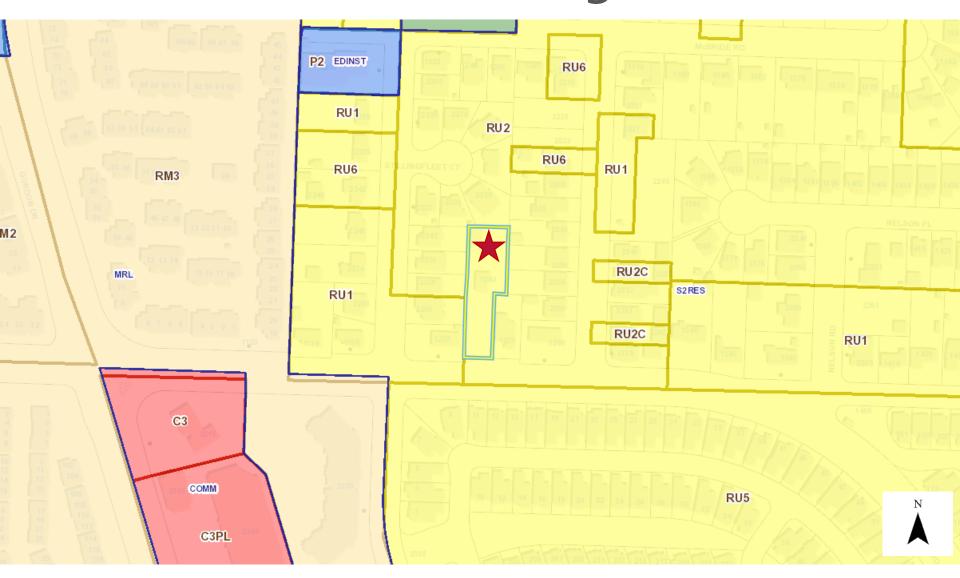




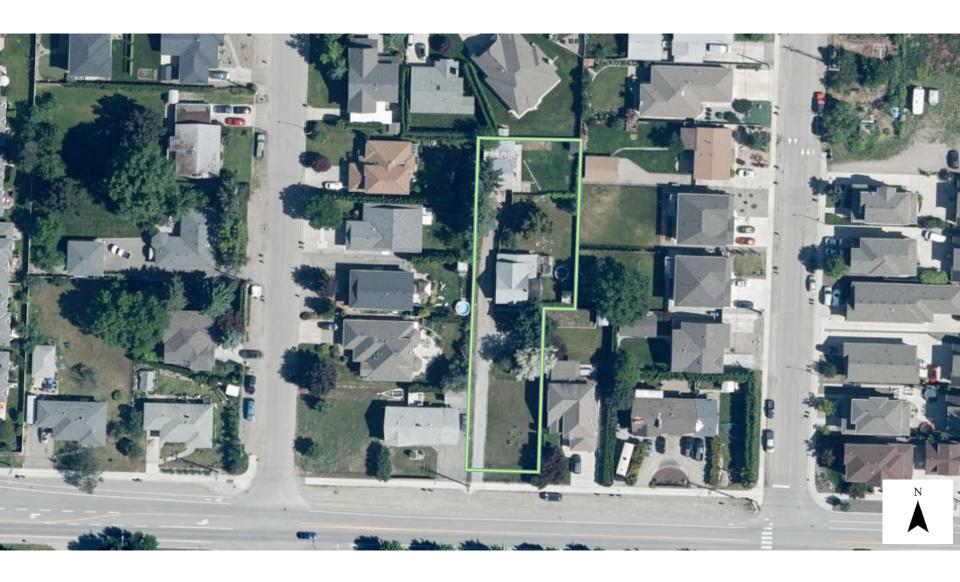
Context Map



Future Land Use / Zoning

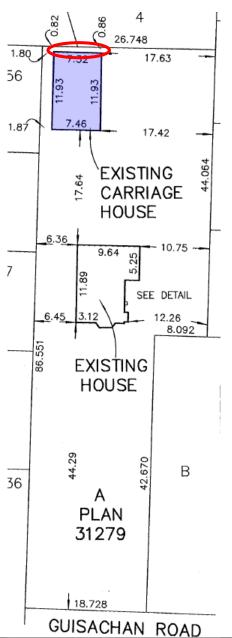


Subject Property Map



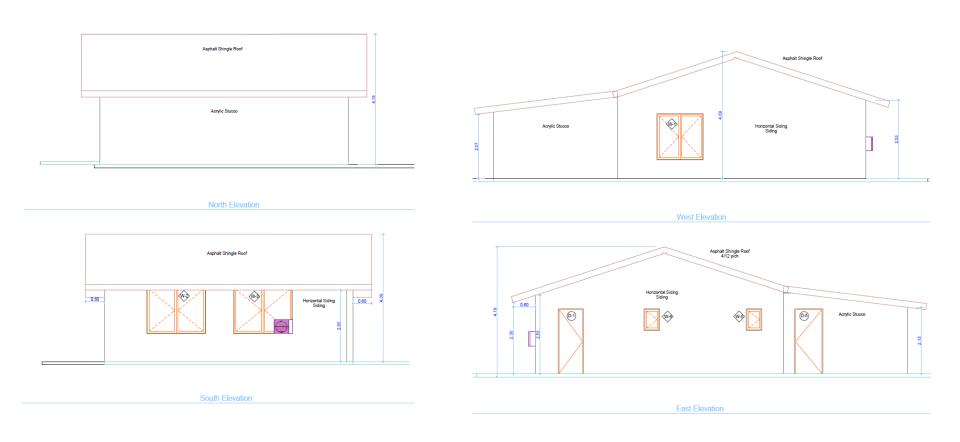
Project details

- An existing accessory building was converted into a carriage house without the required authorizations
- Legalize use of existing accessory building as a carriage house.
 - Vary minimum rear yard setback from 1.5 m to 0.82 m





Elevations





Development Planning

- Meets the intent of Official Community Plan Urban Infill Policies:
 - Compact Urban Form
 - Sensitive Infill
 - Carriage Houses and Accessory Apartments
- ▶ Building is already existing
 - No windows on the elevation facing the reduced rear yard setback
 - ▶ A solid fence runs the length of the north property line



Staff Recommendation

- Staff recommend **support** for the development variance permit to facilitate the conversion of the existing dwelling into a carriage house
 - ▶ Meets the intent of the Official Community Plan
 - Existing building



Conclusion of Staff Remarks

REPORT TO COUNCIL



Date: November 16, 2021

To: Council

From: City Manager

Department: Development Planning

Address: 734 Mayfair Court Applicant: John Frederick Watson

Subject: Development Variance Permit

Existing OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP20-0199 for Lot 18, District Lot 143, ODYD, Plan 43270, located at 734 Mayfair Court, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

<u>Section 9.5b.1(j): Specific Use Regulations, Carriage House Regulations – Development Regulations in Residential, Health District and Comprehensive Development Zones</u>

To vary the rear yard setback from 1.5 m required to 1.38 m proposed.

<u>Section 9.5b.1(k): Specific Use Regulations, Carriage House Regulations – Development Regulations in Residential, Health District and Comprehensive Development Zones</u>

To vary the minimum distance to a principal dwelling from 3.0 m required to 1.16 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the minimum rear yard setback and the minimum distance to a principal dwelling for a carriage house.

3.0 Development Planning

Staff support the application for a Development Variance Permit to legalize the conversion of an accessory building into a carriage house. The proposed carriage house conforms to the Official Community Plan (OCP) Future Land Use Designation of S2RES – Single / Two Unit Residential and policies including compact urban form, sensitive infill, and carriage houses.

The reduced rear yard setback is to an industrial property, which is developed with the rear wall of an industrial building facing the subject property. Therefore, the proposed variance is unlikely to adversely impact the adjacent property. Spatial separation requirements resulting from the reduced distance to the principal building will be addressed through the Building Permit process.

4.0 Proposal

4.1 Background

A Building Permit was issued in June 2012 to construct an accessory building on the subject property. The accessory building was subsequently converted into a carriage house without the required authorizations. To legalize the conversion of the existing accessory building into a carriage house, the applicant applied to rezone the subject property to the RU1C – Large Lot Housing with Carriage House zone in November 2020. As the property is within the Core Area and has a sanitary sewer connection, with the adoption of Bylaw No. 12263 (TA21-0009), rezoning of the subject property for a carriage house is no longer required.

4.2 <u>Project Description</u>

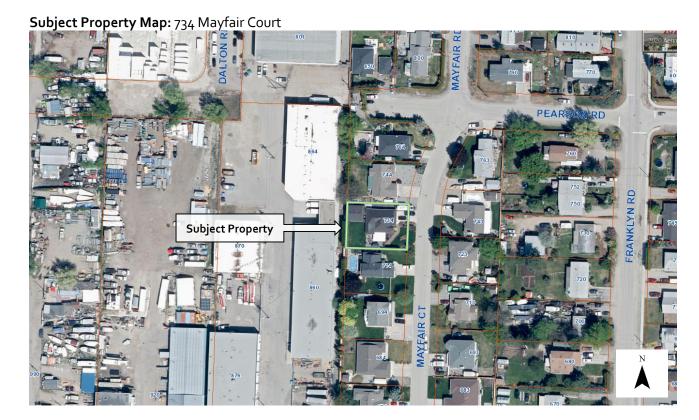
The applicant proposes to reduce the required rear yard setback and to reduce the minimum distance to a principal dwelling to legalize the conversion of the upper floor of an existing accessory building into a carriage house. The carriage house is located at the northwest corner of the subject property and is accessed from Mayfair Court. A Section 219 Covenant has been registered on the title of the subject property restricting the use of the lower floor of the accessory building from being used as a dwelling. An off-street parking space for the proposed carriage house has been identified north of the existing driveway.

4.3 Site Context

The subject property is in the Rutland OCP Sector and is located on Mayfair Road, near the intersection with Pearson Road. The surrounding residential area is primarily zoned RU1 – Large Lot Housing and RU6 – Two Dwelling Housing. The area to the west is zoned I2 – General Industrial. The Future Land Use Designation of the area is S2RES – Single / Two Unit Residential and IND – Industrial. It is within walking distance to Pearson Road Elementary and within 200 m of a transit stop on Franklyn Road.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single Family Housing
East	RU1 – Large Lot Housing	Single Family Housing
South	RU1 – Large Lot Housing	Single Family Housing
West	I2 — General Industrial	Industrial



4.4 Zoning Analysis Table

Zoning Analysis Table				
CRITERIA	RU1C ZONE REQUIREMENTS	PROPOSAL		
Existing Lot/Subdivision Regulations				
Min. Lot Area	550 m²	830 m²		
Min. Lot Width	16.5 m	18.98 m		
Min. Lot Depth	30.0 m	33.7 m		
	Development Regulations			
Max. Site Coverage (carriage house)	14%	7%		
Max. Height	4.8 m	4.42 m		
Min. Front Yard	9.0 m	> 9.0 m		
Min. Side Yard (south)	1.5 M	>1.5 m		
Min. Side Yard (north)	1.5 m	2.11 M		
Min. Rear Yard	1.5 M	1.38 m 0		
Distance to Principal Dwelling	3.0 m	1.16 m 2		
Other Regulations				
Min. Parking Requirements	3 stalls	3 stalls		
Min. Private Open Space	30 m²	240 m²		
• Indicates a requested variance to the minimum rear yard setback				

² Indicates a requested variance to the minimum distance to a principal dwelling

5.0 Current Development Policies

5.1 <u>Kelowna Official Community Plan (OCP)</u>

Chapter 5: Development Process

Objective 5.3 Focus development to designated growth areas

Policy .2 Compact Urban Growth. Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75-100 people and/or jobs per ha located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of Generalized Future Land Use Map 4.1.

Objective 5.22 Ensure context sensitive housing development.

Policy .6 Sensitive Infill. Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height, and siting.

Policy .12 Carriage Houses & Accessory Apartments. Support carriage houses and accessory apartments through appropriate zoning regulations.

6.0 Application Chronology

Date of Application Accepted: November 4, 2020
Date Public Consultation Completed: February 15, 2021

Report prepared by: Mark Tanner, Planner II

Reviewed by: Jocelyn Black, Urban Planning Manager

Reviewed by: Terry Barton, Development Planning Department Manager

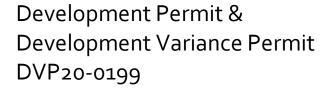
Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Variance Permit DVP20-0199

Schedule A: Site Plan







This permit relates to land in the City of Kelowna municipally known as

734 Mayfair Court

and legally known as

Lot 18, District Lot 143, ODYD, Plan 43270

and permits the land to be used for the following development:

Carriage House - RU1 - Large Lot Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u> November 16, 2021

Decision By: COUNCIL

Existing Zone: RU1 – Large Lot Housing

Future Land Use Designation: S2RES – Single/Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Adam Wladyslaw Zurek
Applicant: John Frederick Watson

Terry Barton
Community Planning Department Manager
Planning & Development Services

Date



SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) That variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 9.5b.1(j): Specific Use Regulations, Carriage House Regulations – Development Regulations in Residential, Health District and Comprehensive Development Zones

To vary the rear yard setback from 1.5 m required to 1.38 m proposed.

Section 9.5b.1(k): Specific Use Regulations, Carriage House Regulations – Development Regulations in Residential, Health District and Comprehensive Development Zones

To vary the minimum distance to a principal dwelling from 3.0 m required to 1.16 m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

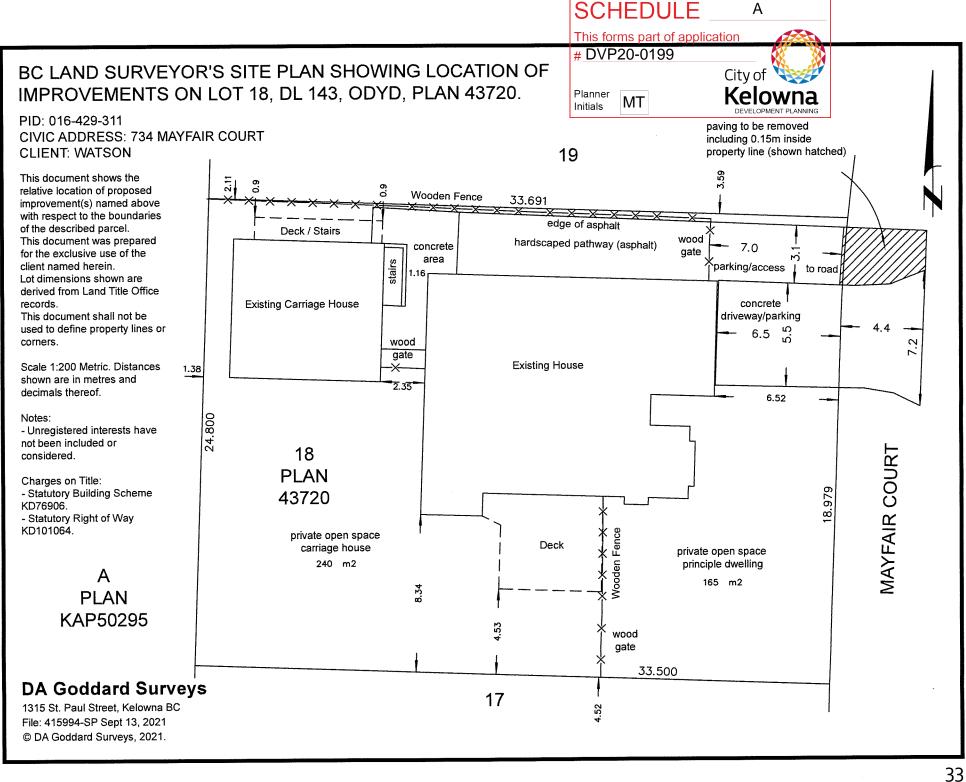
3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.





DVP20-0199 734 Mayfair Court

Development Variance Permit Application



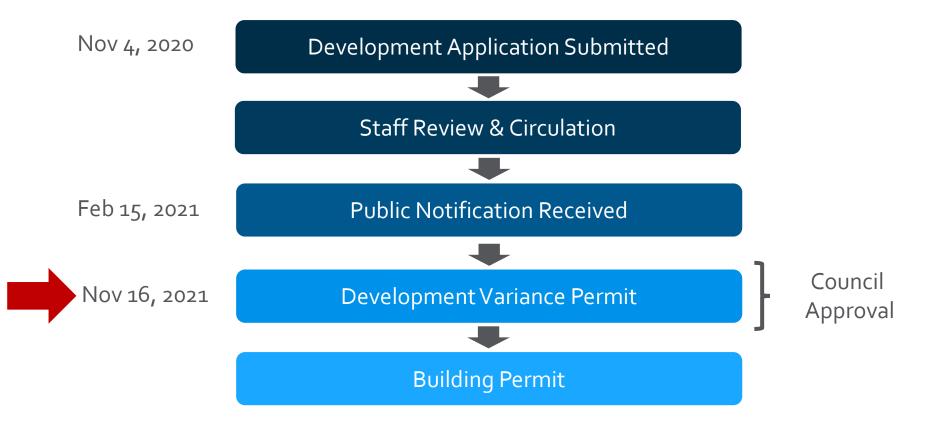


Proposal

➤ To vary the required minimum rear yard setback and the minimum distance to a principal dwelling for a carriage house on the subject property.

Development Process

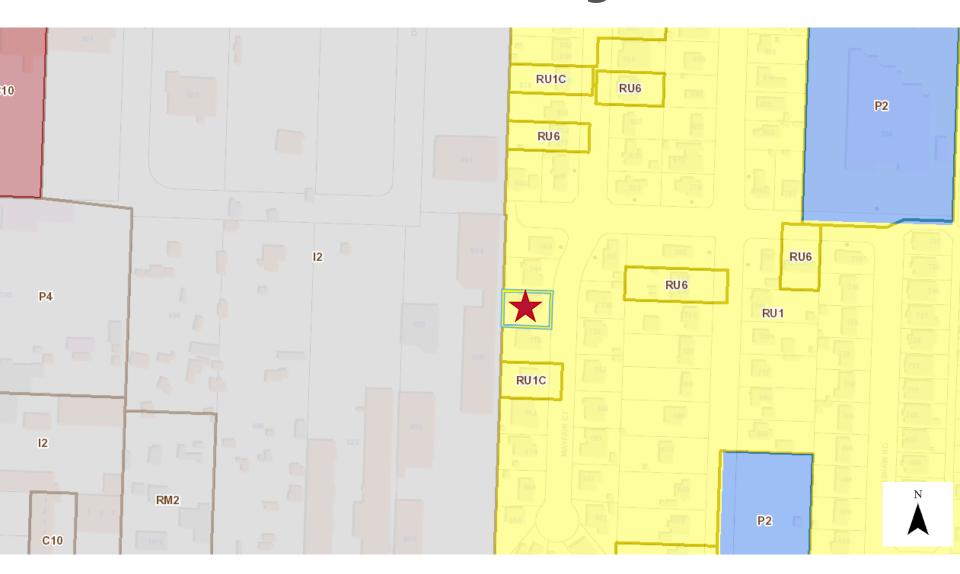




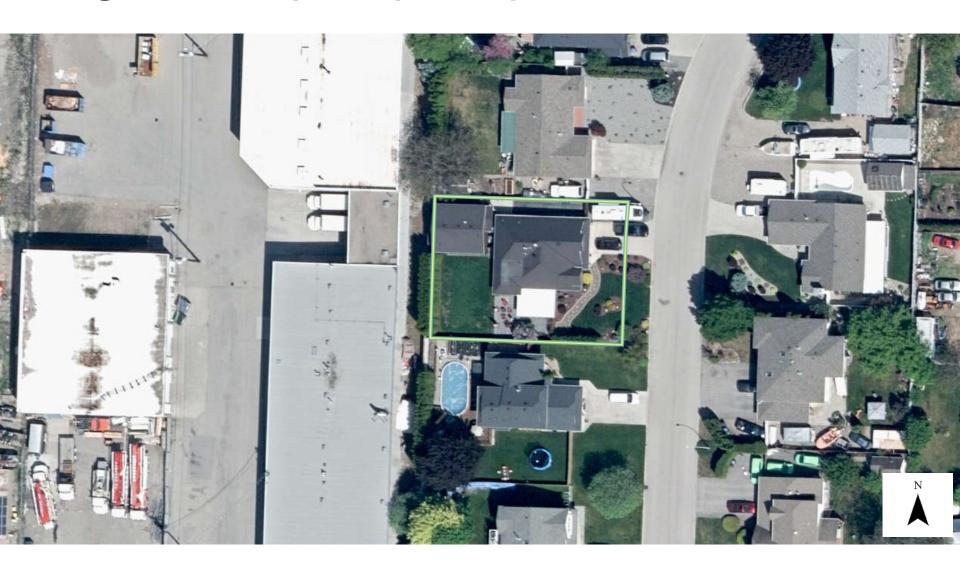
Context Map



Future Land Use / Zoning



Subject Property Map

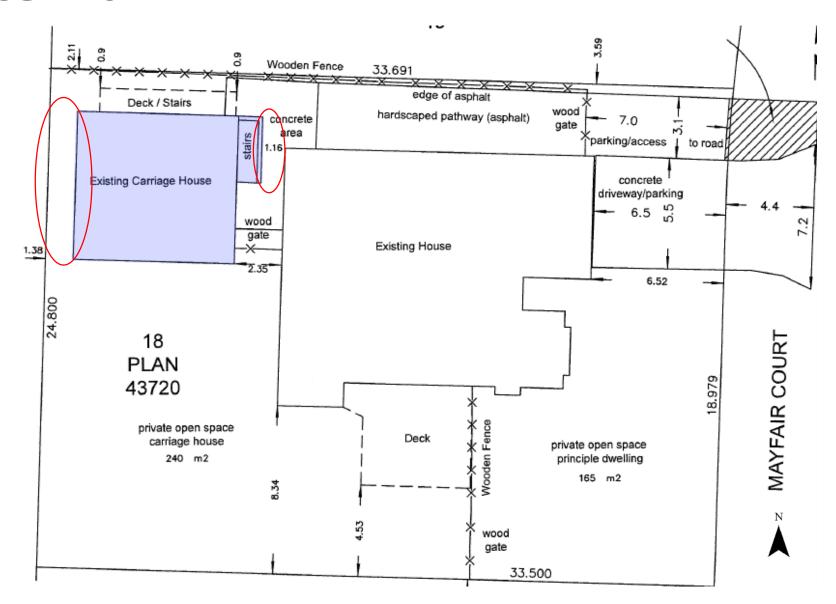




Project details

- ► A building permit to construct the accessory building was issued in June 2012.
- ► Legalize use of existing accessory building as a carriage house.
 - ▶ Vary minimum rear yard setback from 1.5 m to 1.38 m
 - Vary minimum distance to principal dwelling from 3.0 m to 1.16 m
- Section 219 Covenant registered on title restricting the use of the lower floor of the carriage house from being used as a dwelling.

Site Plan



Existing Accessory Building/Carriage House







Development Planning

- ► Meets the intent of Official Community Plan Urban Infill Policies:
 - Compact Urban Form
 - Sensitive Infill
 - Carriage Houses and Accessory Apartments
- ▶ Building is already existing
 - Reduced rear yard setback to a developed industrial lot
 - Spatial separation requirements to principal addressed through Building Permit process



Staff Recommendation

- Staff recommend support for the development variance permit to facilitate the conversion of the existing dwelling into a carriage house
 - ▶ Meets the intent of the Official Community Plan
 - Existing building



Conclusion of Staff Remarks

CITY OF KELOWNA

BYLAW NO. 12244 Z21-0004 575 Patterson Avenue

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- 1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 13 District Lot 14, ODYD, Plan 3249 located on Patterson Avenue, Kelowna, BC from the RU6 Two Dwelling Housing zone to the RM3 Low Density Multiple Housing zone.
- 2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

or dooption.	
Read a first time by the Municipal Council this 12 th day of July, 2021.	
Public Hearing waived by the Municipal Council this 12 th day of July, 2021.	
Read a second and third time by the Municipal Council this 9 th day of August, 2021.	
Adopted by the Municipal Council of the City of Kelowna this	
	ayor

City Clerk

REPORT TO COUNCIL



Date: November 16, 2021

To: Council

From: City Manager

Department: Development Planning

Application: DP21-0009 / DVP21-0012 Owner: Development Ltd., Inc. No.

C1120607

Address: 575 Patterson Avenue Applicant: Dean Neveu – Dream Chaser

Homes

Subject: Development Permit & Development Variance Permit Application

Existing OCP Designation: MRL – Multiple Unit Residential (Low Density)

Existing Zone: RM₃ – Low Density Multiple Housing

1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 12244 be considered by Council;

AND THAT Council authorize the issuance of Development Permit No. DP21-0009 for Lot 13 District Lot 14 ODYD Plan 3249, located at 575 Patterson Avenue, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- Landscaping to be provided on the land be in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0012 for Lot 13 District Lot 14 ODYD Plan 3249, located at 575 Patterson Avenue, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

<u>Section 8.2.19(a): Section 8 – Parking and Loading, Off-Street Parking Regulations, Accessible Parking Standards:</u>

To vary the required accessible stall from 1 required to 0 proposed.

<u>Table 8.3.1: Section 8 – Parking and Loading, Required Off-Street Parking Requirements, Residential Parking:</u>

To vary the minimum required parking stalls from 9 required to 4 proposed (including visitor parking).

Section 13.9.6(e): RM3 – Low Density Multiple Housing Development Regulations

To vary the required side yard setback from 4.5m required to 2.0m proposed.

Section 13.9.6(g): RM3 – Low Density Multiple Housing Development Regulations

To vary the minimum distance between two principal dwellings from 3.om required to 2.om proposed.

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider a Development Permit for the form and character of a new fourplex and to consider several variances to parking and building setbacks.

3.0 Development Planning

Staff support the proposed Development and the associated variances to parking and building setbacks due to the consistency with the Official Community Plan's (OCP) Urban Design Guidelines. The applicant's proposal is largely reflective of the development form and site planning that is used in the RU7-Infill Zone. However, the subject property is located in a future land use designation of MRL-Multiple Unit Residential (Low Density) and the RM3- Low Density Multiple Housing zone applies. Staff are supportive of the multiple variances in this proposal because of proven success of infill development in this form in other areas of the City-specifically the RU7-Infill Housing zone. The site conditions are the same as a typical RU7 lot (size, length, and width) and Staff are confident that this proposal will not cause negative impacts to the surrounding neighbourhood.

The project consists of three buildings each containing 3-bedroom dwelling units (for four units total). All four of the units have vehicular access off the rear lane. The form and character of the dwellings is strong and meets the intent of the Comprehensive Development Permit Area.

The proposal includes two variances to on-site parking. The applicant has provided one stall per unit, which is consistent with the RU7 – Infill Housing zone. Staff believe due to the location of the site this is acceptable, as the site is near alternative transit options at Pandosy Street and Richter Street, and is nearby active transportation corridors at Abbott Street (225m away) and Richter Street (120m away). The other variance is the provision of an accessible stall, however, the applicant has provided large garages and an ample parking area, so with only four units, Staff are supportive of this variance.

The applicant has applied for two variances to building setbacks. The first is to the side yard setback, which Staff are supportive of because the 2.0m is similar to other zones with four units, while the 4.5m side yard is intended for larger properties with more units. Staff believe a fourplex at this height is sensitive to the neighbourhood. The second building setback is to the minimum distance between principal dwellings. The applicant has provided a pathway separating the buildings, as well as confirmed that the structures meet the

minimum spatial separation as per the BC Building Code. Staff are supportive of this as there are no neighbourhood impacts anticipated.

4.0 Proposal

4.1 <u>Project Description</u>

The Development Permit and Development Variance Permit Applications are for four new residential dwelling units. The first two detached units are ground oriented and have direct access to Patterson Avenue. The back two units are semi-detached, and all four units have direct access from the laneway. The units are proposed to be 7.98m in height and will all have rooftop patios, which give them significantly more than the required private open space. The proposal is to use several materials including lap siding, panelling, stucco and aluminium. The colours are proposed to be night grey, arctic white, cascade slate and river rock, which will help achieve asymmetry.

The applicant has submitted a Landscape Plan (Schedule C), which shows two new large shade trees along Patterson Avenue, as well as a mix of shrubs and grasses throughout the site. The subject property currently has a large shade tree on Patterson Avenue; however, the plan is to remove the tree. The applicant has provided an Agrologist Report (Attachment B), which has provided a recommendation that the tree is high risk and should be removed.

4.2 Site Context

The property is in the South Pandosy – KLO OCP Sector and is within the Permanent Growth Boundary (PGB). The surrounding area is primarily zoned RU6 – Two Dwelling Housing and RM1 – Four Dwelling Housing.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RM1 – Four Dwelling Housing	Fourplex
East	RU6 – Two Dwelling Housing	Two-Dwelling Housing
South	RU6 – Two Dwelling Housing	Semi-Detached Housing
West	RU6 – Two Dwelling Housing	Two-Dwelling Housing

Subject Property Map: 575 Patterson Ave



4.3 Zoning Analysis Table

Zoning Analysis Table					
CRITERIA	RM ₃ ZONE REQUIREMENTS	PROPOSAL			
E	xisting Lot/Subdivision Regulations	5			
Min. Lot Area	900m²	920.39m²			
Min. Lot Width	30.om	21.34M			
Min. Lot Depth	30.om	43.13M			
	Development Regulations O.75 O.65				
Max. Floor Area Ratio	0.75	0.65			
Max. Site Coverage (buildings)	50%	42.37%			
Max. Site Coverage (buildings, parking, driveways)	60%	59.75%			
Max. Height	10.0m	7.98m			
Min. Front Yard	1.5m	2.69m			
Min. Side Yard (south)	4.5m	2.0M 0			
Min. Side Yard (north)	4.5m	2.0M 0			
Min. Rear Yard	3.om	3.om			
Min. Distance Between Dwellings	3.om	2.0 m 2			
	Other Regulations				
Min. Parking Requirements	9	43			
Min. Accessible Parking Stall	1	00			
Min. Private Open Space	75.om²	266m²			

- Indicates a requested variance to Section 13.9.6e Development Regulations
- 2 Indicates a requested variance to Section 13.9.6g Development Regulations
- 3 Indicates a requested variance to Section 8.3.1 Required Off-Street Parking Requirements
- 1 Indicates a requested variance to Section 8.2.19 Accessible Parking Standards

5.0 Current Development Policies

5.1 <u>Kelowna Official Community Plan (OCP)</u>

Chapter 5: Development Process

Objective 5.3 Focus development to designated growth areas

Policy .2 Compact Urban Form. Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 – 100 people and/or jobs per ha located within a 400m walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

6.0 Application Chronology

Date of Application Accepted: January 15th, 2021
Date Public Consultation Completed: October 18th, 2021

Report prepared by: Tyler Caswell, Planner

Reviewed by: Jocelyn Black, Urban Planning Manager

Reviewed by: Terry Barton, Development Planning Department Manager

Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Permit DP21-0009 / DVP21-0012

Attachment B: Arborist Report

Attachment C: Renderings

Attachment D: Comprehensive Development Area Checklist

Schedule A: Site Plan / Floor Plan

Schedule B: Elevation Drawings

Schedule C: Landscape Plan

Development Permit & Development Variance Permit DP21-0009 / DVP21-0012



This permit relates to land in the City of Kelowna municipally known as 575 Patterson Avenue

and legally known as Lot 13 District Lot 14 ODYD Plan 3249

and permits the land to be used for the following development:

RM3 - Low Density Multiple Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u> November 16th, 2021

Decision By: COUNCIL

<u>Development Permit Area:</u> Comprehensive Development Permit Area

Existing Zone: RM3 – Low Density Multiple Housing

Future Land Use Designation: MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Dream Chaser Management & Development Ltd., Inc.No. C1120607

Applicant: Dean Neveu – Dream Chaser Homes

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date



1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.
- e) That variance to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 8.2.19(a): Section 8 - Parking and Loading, Off-Street Parking Regulations, Accessible Parking Standards:

To vary the required accessible stall from 1 required to 0 proposed.

Table 8.3.1: Section 8 - Parking and Loading, Required Off-Street Parking Requirements, Residential Parking:

To vary the minimum required parking stalls from 9 required to 4 proposed (including visitor parking).

Section 13.9.6(e): RM3 - Low Density Multiple Housing Development Regulations

To vary the required side yard setback from 4.5m required to 2.0m proposed.

Section 13.9.6(g): RM3 - Low Density Multiple Housing Development Regulations

To vary the minimum distance between two principal dwellings from 3.0m required to 2.0m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit OR certified cheque in the amount of \$12,556,60

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

ATTACHMENT
A

This forms part of application
DP21-0009/DVP21-0012
City of
Planner
TC
Kelowna

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.









March 16, 2021

RE: Arborist Report for Davey Tree Experts - For property located at 575 Patterson Ave., Kelowna, BC

Applicant: Davey Tree Experts

C/o: Ralph Nevill

Phone: 250 – 801 - 6077

Email: Ralph.Nevill@davey.com

Due to concerns regarding the condition of a tree located at the address named above, an assessment was requested. This site was inspected on March 4, 2021. Seven photographs have been included as part of this report.

Limitations: This report is based on a visual assessment, from the ground only. No core or tissue samples were taken; no root crown excavations were performed. This report provides no undertakings regarding the future condition or behavior of the trees reviewed in it. Tree hazards and conditions do change over time, and the evaluation period for this report is valid for the day on which it was performed only. Trees should always be re-assessed if changes are noted, or after any major weather events. Recommendations are to serve only as a guideline for the retention and protection of the tree(s), and are made according to commonly accepted arboricultural practices, and do not guarantee the survival and/or safety of the specimen(s). No responsibility is assumed for any legal matters as a result of this report. The consultant shall not be required to give testimony or attend court by any reason of this report unless subsequent contractual arrangements are made, including payment of additional fees for such services. Loss or alteration of any part of this report invalidates the entire report. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without verbal or written consent of the consultant. No part of this report shall be conveyed by anyone to the public by any means without prior written consent of the consultant.

Yours truly,

Nevill

Ralph Nevill – sent electronically

ISA Certified Arborist #WC-5232 AM

ISA TRAQ Certified Tree Risk Assessor

Ralph.Nevill@Davey.com





Tree #1 is assessed as being at high risk of scaffold limb failure due to significant decay. The deficient pruning history, the significant defects and the extensive decay throughout the scaffold limbs and union make this tree an unsuitable candidate for retention.

TREE	SPECIES	<u>DBH</u>	HEIGHT	Condition	OBSERVATIONS & RECOMMENDATIONS
#		(cm)	(m) est.		

This tree has three stems commencing at about 4ft. The canopy has been previously topped at about 18ft creating large pruning wounds. There are longitudinal cracks with extensive decay in the three main scaffold limbs which have poor attachment. The extensive decay extends into the union and trunk. In one of the stems there is a bird nest indicative of the significant extent of the decay. Small dead branches on the scaffold limbs are also observed. Despite the decline caused by decay, there is vigorous new twig growth at the extremity of the limbs which has developed a wide canopy contributing to the risk of the scaffold limb failure. Pruning the canopy to mitigate the risk of failure is not feasible due to the extent of the decay in the scaffold limbs, union and trunk.

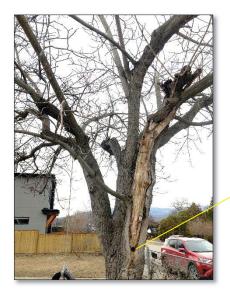
(Juglans sp.) Est. 50 10 Declining

The subject site front yard and the driveway are the targets

RECOMMENDATIONS:

Remove this tree; it is at high risk of scaffold limb failure due to decay within the scaffold limbs and union.

Likelihood of Failure = Probable
Likelihood of Impacting Target = High
Likelihood of Failure & Impact = Likely
Consequences of Failure = Significant
Overall Risk Rating = High



Walnut





Bird nesting in the trunk indicative of extensive decay in the trunk.





There are longitudinal cracks with extensive decay in the three main scaffold limbs which have poor attachment. The extensive decay extends into the union and trunk.

















DEVELOPMENT PERMIT GUIDELINES

Comprehensive Development Permit Area

Consideration has been given to the following guidelines as identified in Section 14.A. of the City of Kelowna Official Community Plan relating to Comprehensive Development Permit Areas:

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Authenticity and Regional Expression			
Do landscaping and building form convey a character that is distinct to Kelowna and the Central Okanagan?	√		
Are materials in keeping with the character of the region?	✓		
Are colours used common in the region's natural landscape?	✓		
Does the design provide for a transition between the indoors and outdoors?	√		
Context			
Does the proposal maintain the established or envisioned architectural character of the neighbourhood?	√		
Does interim development consider neighbouring properties designated for more intensive development?	√		
Are façade treatments facing residential areas attractive and context sensitive?	✓		
Are architectural elements aligned from one building to the next?	✓		
For exterior changes, is the original character of the building respected and enhanced?			✓
Is the design unique without visually dominating neighbouring buildings?	✓		
For developments with multiple buildings, is there a sense of architectural unity and cohesiveness?	√		
Relationship to the Street			
Do buildings create the desired streetscape rhythm?	✓		
Are parkade entrances located at grade?			√
For buildings with multiple street frontages, is equal emphasis given to each frontage?			√
Massing and Height			
Does the design mitigate the actual and perceived mass of buildings?	√		
Does the height consider shading and view impacts for neighbouring properties and transition to less intensive areas?	✓		
Human Scale			
Are architectural elements scaled for pedestrians?	✓		
Are façades articulated with indentations and projections?	✓		



COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are top, middle and bottom building elements distinguished?			✓
Do proposed buildings have an identifiable base, middle and top?			√
Are building facades designed with a balance of vertical and horizontal proportions?		√	
Are horizontal glazed areas divided into vertically proportioned windows separated by mullions or building structures?			√
Does the design incorporate roof overhangs and the use of awnings, louvers, canopies and other window screening techniques?	✓		
Is the visual impact of enclosed elevator shafts reduced through architectural treatments?			✓
Exterior Elevations and Materials			
Are buildings finished with materials that are natural, local, durable and appropriate to the character of the development?	✓		
Are entrances visually prominent, accessible and recognizable?	✓		
Are higher quality materials continued around building corners or edges that are visible to the public?	✓		
Are a variety of materials used to create contrast, enhance the pedestrian environment and reduce the apparent mass of a building?	✓		
Are elements other than colour used as the dominant feature of a building?	✓		
Public and Private Open Space			
Does public open space promote interaction and movement through the site?		✓	
Are public and private open spaces oriented to take advantage of and protect from the elements?	✓		
Is there an appropriate transition between public and private open spaces?			√
Are amenities such as benches, garbage receptacles, bicycle stands and community notice boards included on site?		√	
Site Access		I.	ı
Is the safe and convenient movement of pedestrians prioritized?	✓		
Are alternative and active modes of transportation supported through the site design?		√	
Are identifiable and well-lit pathways provided to front entrances?	✓		
Do paved surfaces provide visual interest?		✓	
Is parking located behind or inside buildings, or below grade?	✓		
Are large expanses of parking separated by landscaping or buildings?			√
Are vehicle and service accesses from lower order roads or lanes?	✓		



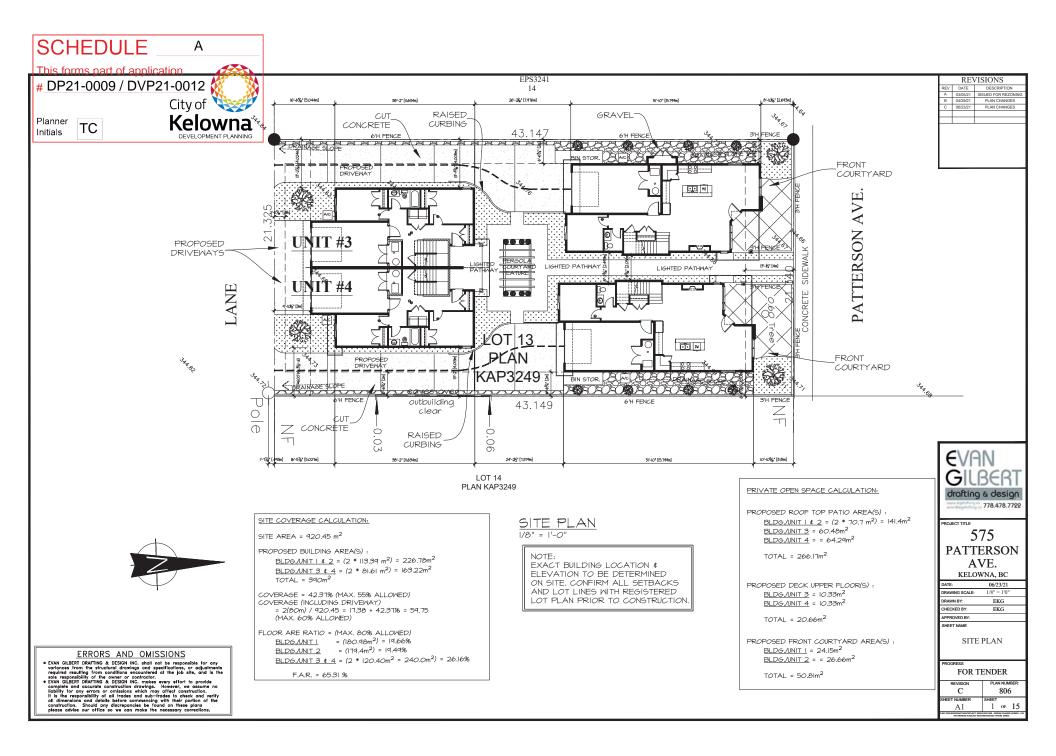
COMPREHENSIVE DEVELOPMENT PERMIT AREA YES NO N/A Do vehicle and service accesses have minimal impact on the streetscape and \checkmark public views? Is visible and secure bicycle parking provided in new parking structures and **Environmental Design and Green Building** Does the proposal consider solar gain and exposure? Are green walls or shade trees incorporated in the design? \checkmark Does the site layout minimize stormwater runoff? √ Are sustainable construction methods and materials used in the project? \checkmark Are green building strategies incorporated into the design? **√** Decks, Balconies, Rooftops and Common Outdoor Amenity Space Are decks, balconies or common outdoor amenity spaces provided? \checkmark Does hard and soft landscaping enhance the usability of decks, balconies and outdoor amenity spaces? Are large flat expanses of roof enhanced with texture, colour or landscaping **√** where they are visible from above or adjacent properties? Amenities, Ancillary Services and Utilities Are loading, garage, storage, utility and other ancillary services located away from public view? Are vents, mechanical rooms / equipment and elevator penthouses integrated with the roof or screened with finishes compatible with the building's design? Landscape Development and Irrigation Water Conservation Does landscaping: Compliment and soften the building's architectural features and mitigate ✓ undesirable elements? Maintain the dominant pattern of landscaping along the street and \checkmark surrounding properties? Enhance the pedestrian environment and the sense of personal safety? Screen parking areas, mechanical functions, and garbage and recycling √ areas? Respect required sightlines from roadways and enhance public views? **/** Retain existing healthy mature trees and vegetation? √ Use native plants that are drought tolerant? \checkmark √ Define distinct private outdoor space for all ground-level dwellings? Do any fences and retaining walls create visual interest and enhance the \checkmark pedestrian environment?

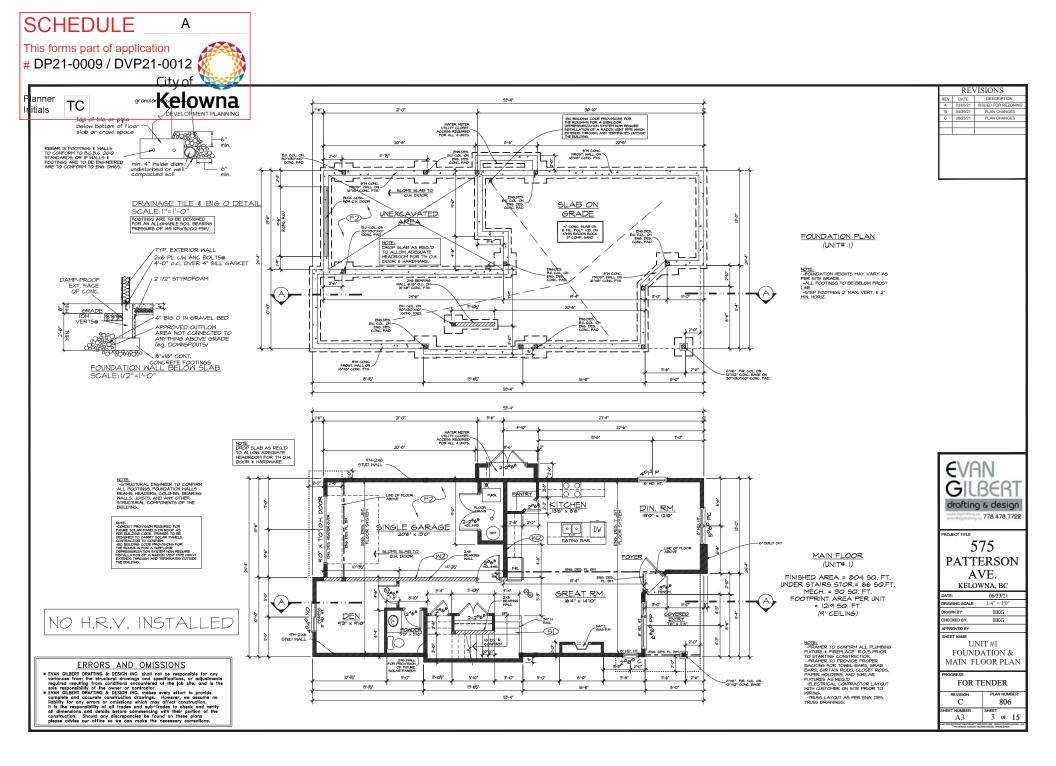


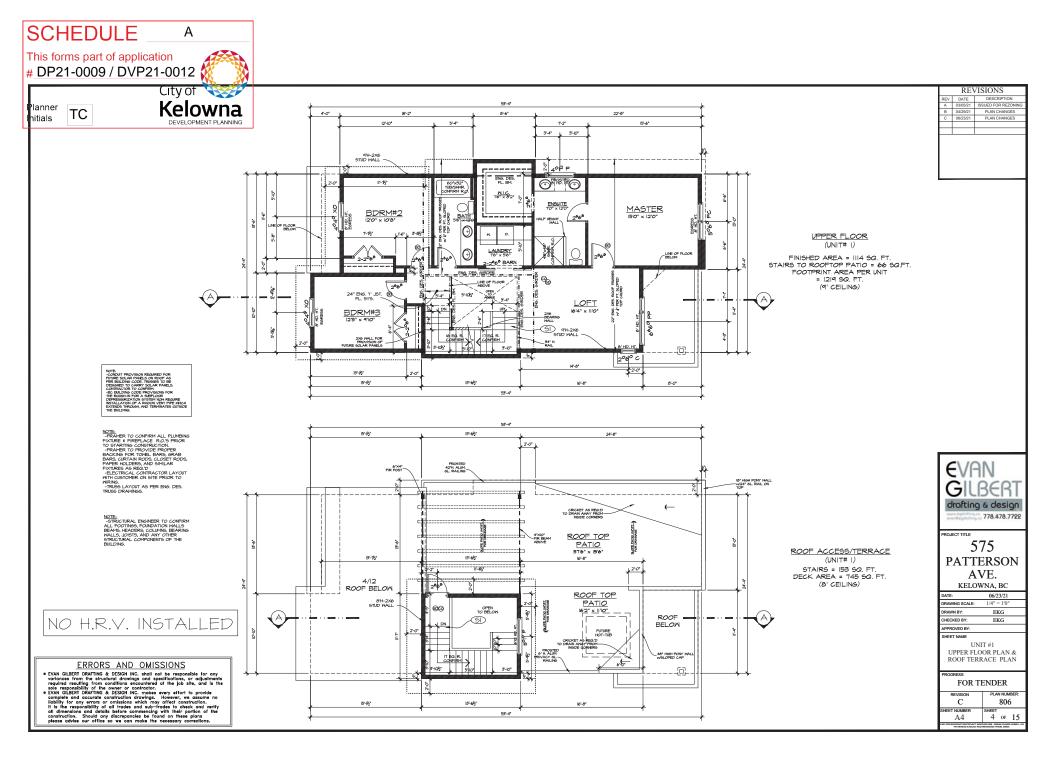
COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Do parking lots have one shade tree per four parking stalls?			✓
Does the Landscape Architect's Landscape Water Conservation Report:	_	-	-
Meet the requirements for Landscape Water Budget calculations for the landscaped area?	√		
 Indicate how the development complies with or varies from the Landscape Water Conservation Guidelines? 	√		
Landscape Water Conservation Guidelines			
Are plants grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas?	√		
Does at least 25% of the total landscaped area require no irrigation / watering?	✓		
Does at least 25% of the total landscaped area require low water use?	√		
Does at most 50% of the total landscaped area require medium or high water use?	√		
Is mulch cover provided for shrubs and groundcover to reduce soil evaporation?	√		
Do water features such as pools and fountains use recirculated water systems?			✓
Do landscape installation standards meet the requirements of the BC Landscape Standard and / or the Master Municipal Construction Document?	√		
Are the required written declarations signed by a qualified Landscape Architect?	✓		
Irrigation System Guidelines			
Is the Irrigation Plan prepared by a Qualified Professional?	✓		
Are irrigation circuits grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas consistent with the landscaping plan?	√		
Is drip or low volume irrigation used?	✓		
Are the required written declarations signed by a qualified Certified Irrigation Designer?	√		
Crime prevention			
Are CPTED practices as related to landscaping, siting, form and exterior design included in the design?	√		
Are building materials vandalism resistant?		✓	
Universal Accessible Design			
Is access for persons with disabilities integrated into the overall site plan and clearly visible from the principal entrance?	✓		
Are the site layout, services and amenities easy to understand and navigate?	✓		
Lakeside Development			
Are lakeside open spaces provided or enhanced?			✓

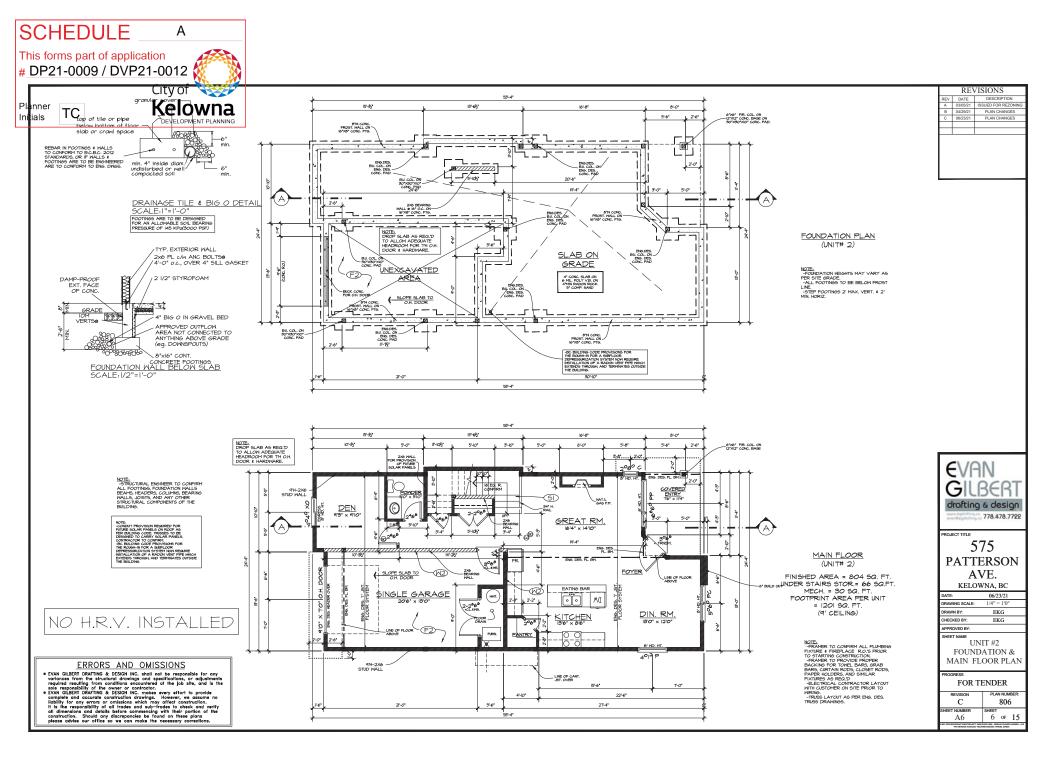
COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are lake views protected?			✓
Does lakeside development act as a transition between the lake and inland development?			√
Signs			
Do signs contribute to the overall quality and character of the development?			√
Is signage design consistent with the appearance and scale of the building?			√
Are signs located and scaled to be easily read by pedestrians?			√
For culturally significant buildings, is the signage inspired by historical influences?			√
Lighting			•
Does lighting enhance public safety?	✓		
Is "light trespass" onto adjacent residential areas minimized?	✓		
Does lighting consider the effect on the façade, neighbouring buildings and open spaces?	√		
Is suitably scaled pedestrian lighting provided?	✓		
Does exterior street lighting follow the International Dark Sky Model to limit light pollution?			

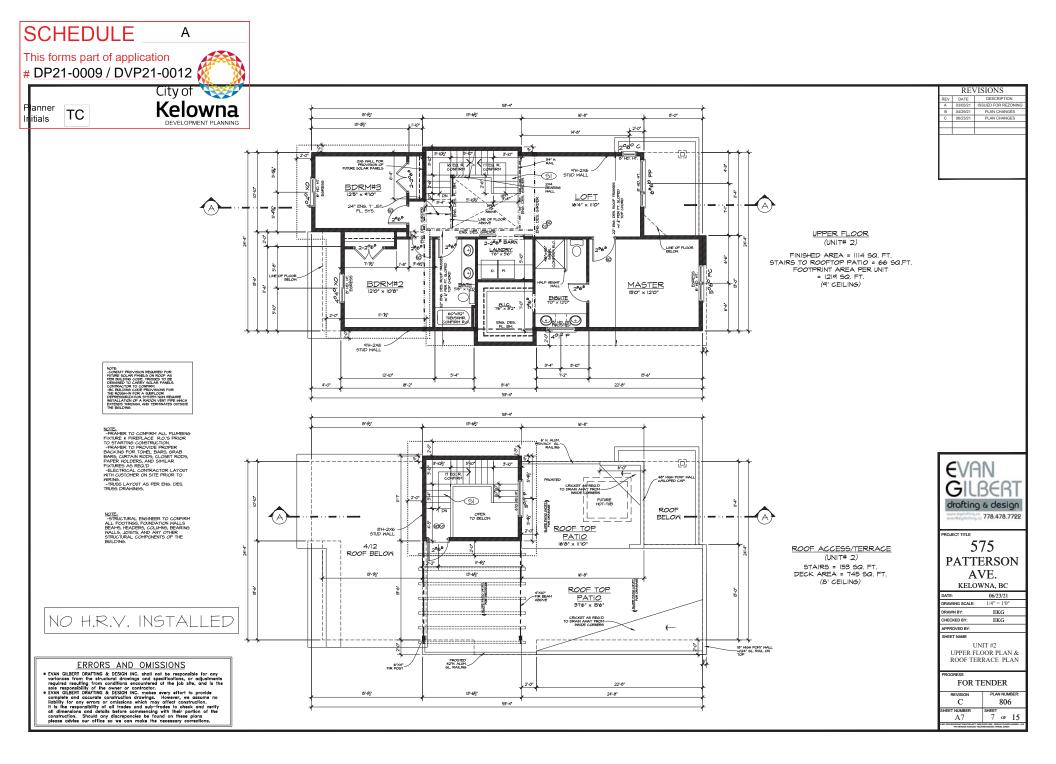


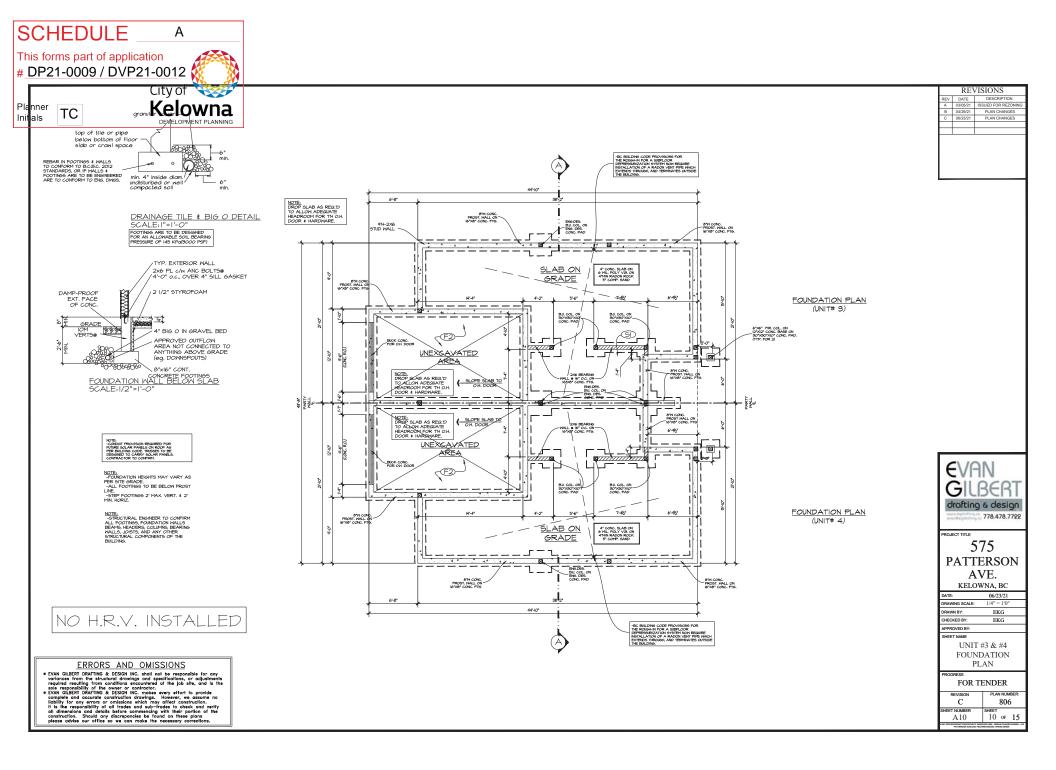


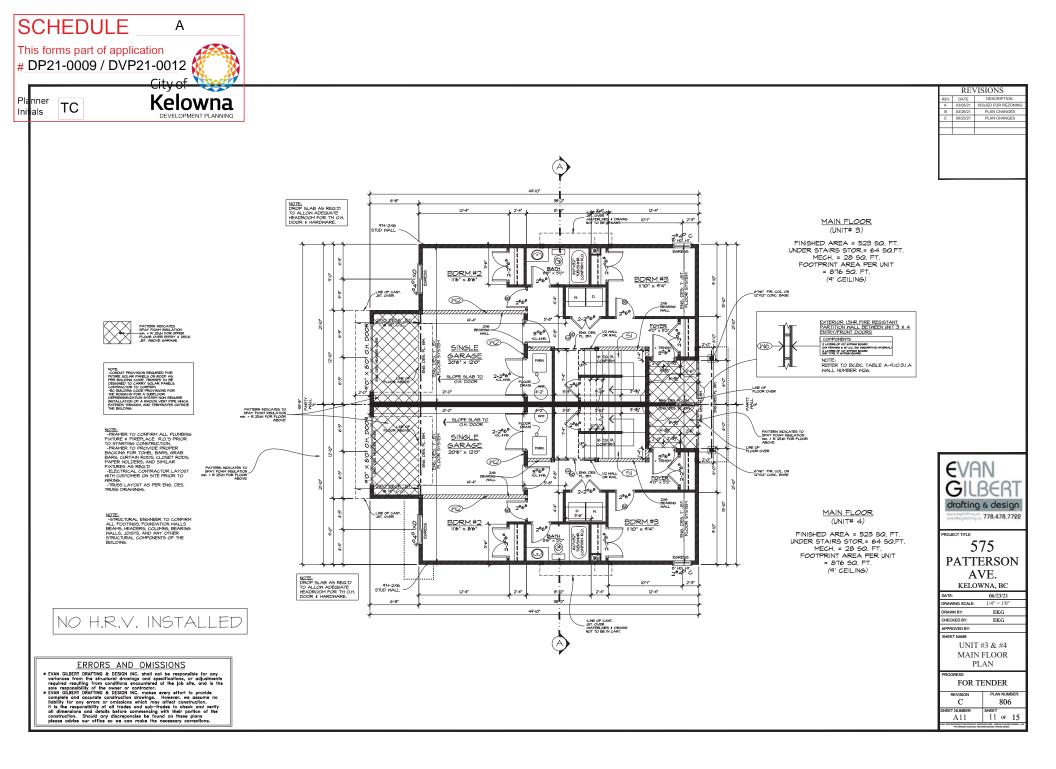














REVISIONS C 06/23/21 PLAN CHANGES

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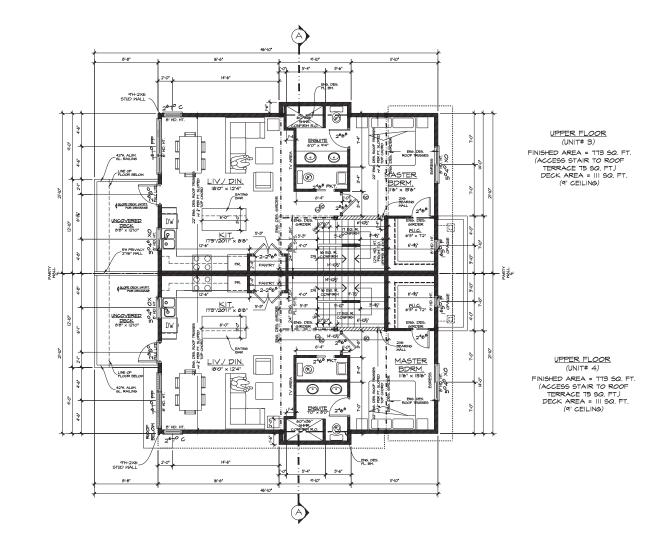
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NO H.R.V. INSTALLED

ERRORS AND OMISSIONS

EVAN GIBERT DATING & DESIGN INC. sholl not be responsible for any varioness from the structural drawings and specifications, or adjustments sole responsibility of the owner or controctor.

 EVAN GIBERT DARTING & DESIGN INC. makes every effort to provide complete and occurred construction drawings. However, we assume no complete and occurred construction drawings. However, we assume no it is the responsibility of all trades and sub-frodes to check and verify all dimensions and defails before commencing with their portion of the construction. Should any discrepancies be found on these plans please achies our riflets are even make the reseasory corrections.



575 **PATTERSON** AVE. KELOWNA, BC

DATE:	06/23/21	
DRAWING SCALE:	1/4" = 1'0"	
DRAWN BY:	EKG	
CHECKED BY:	EKG	
APPROVED BY:		
SHEET NAME		
LINIT #3 & #4		

UNIT #3 & #4 UPPER FLOOR PLAN

FOR TENDER C 806

12 or 15 A12



Planner Initials

TC

Kelowna DEVELOPMENT PLANNING

REVISIONS | REV | DATE | A 03/05/21 | ISSUED FOR REZUMING | B 04/29/21 | PLAN CHANGES | O8/23/21 | PLAN CHANGES |

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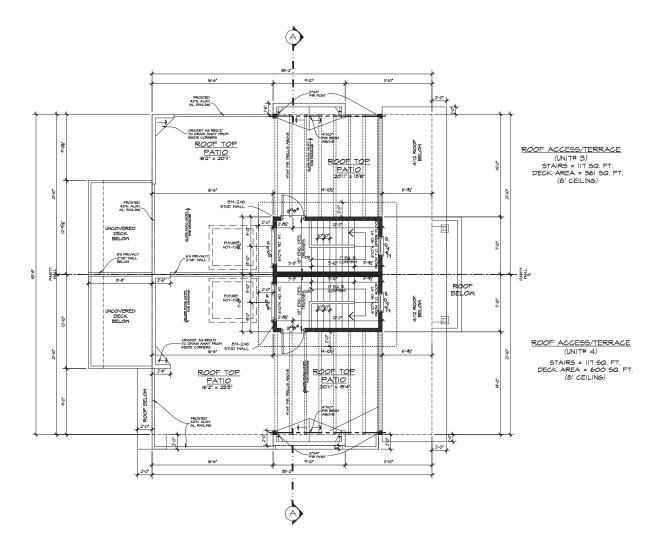
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EVAN drafting & design 778.478.7722

575 **PATTERSON** AVE.

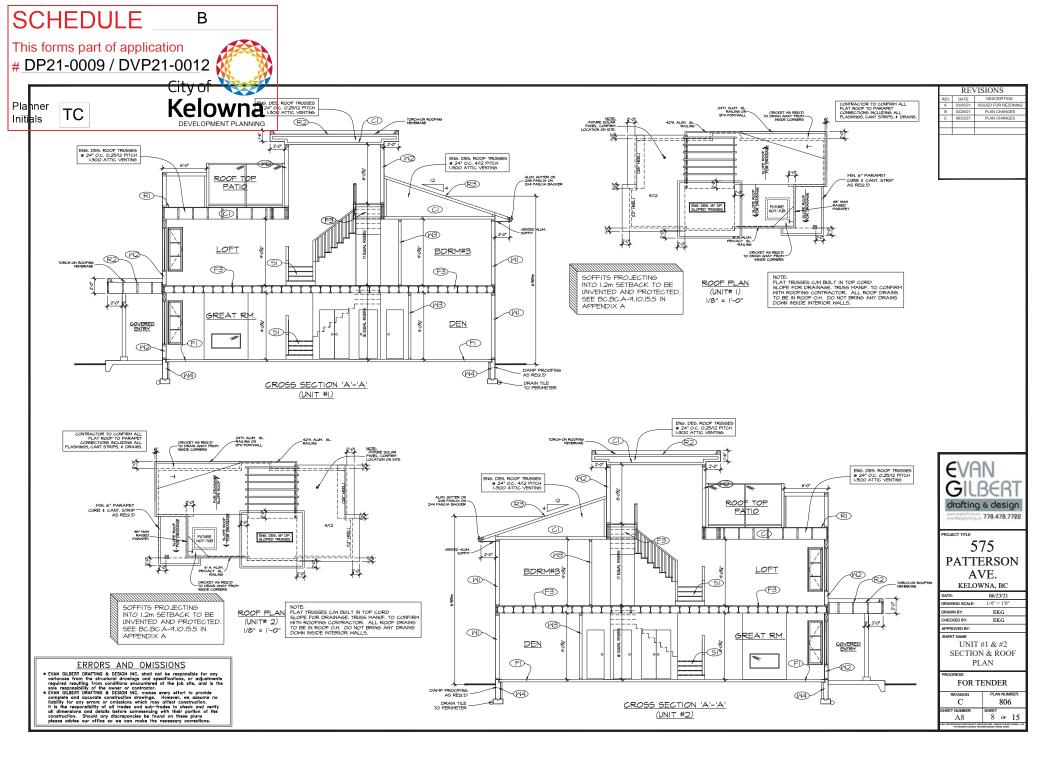
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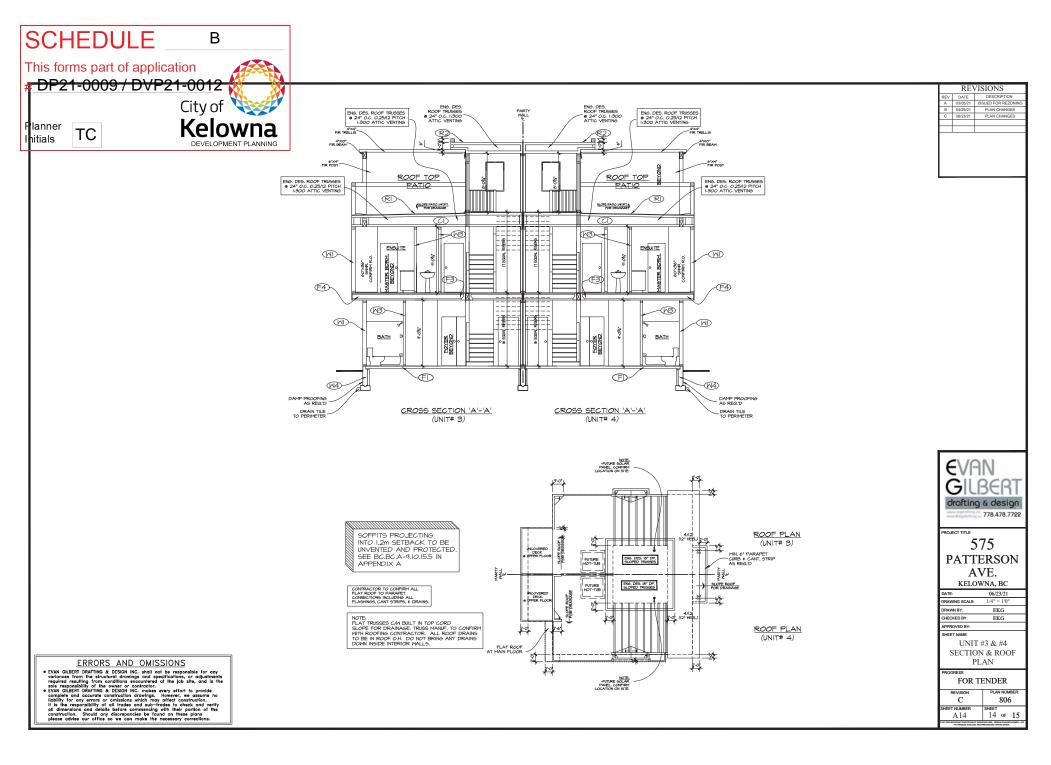
KELOWNA, BC

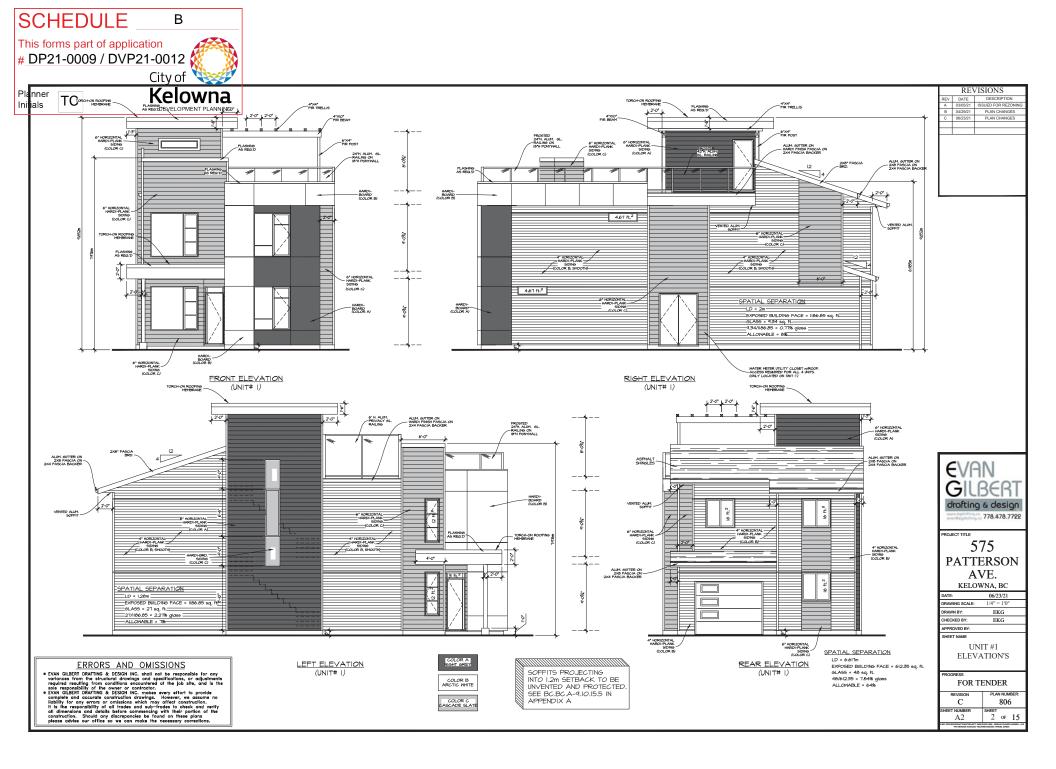
UNIT #3 & #4 ROOF ACCESS/ TERRACE PLAN

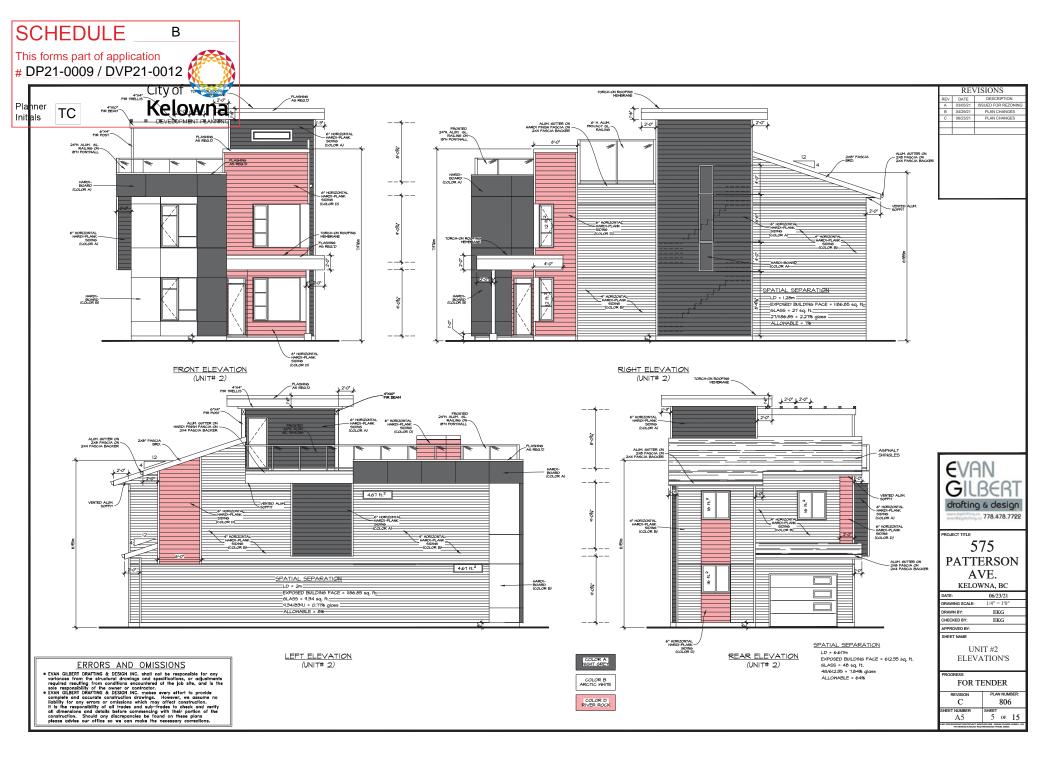
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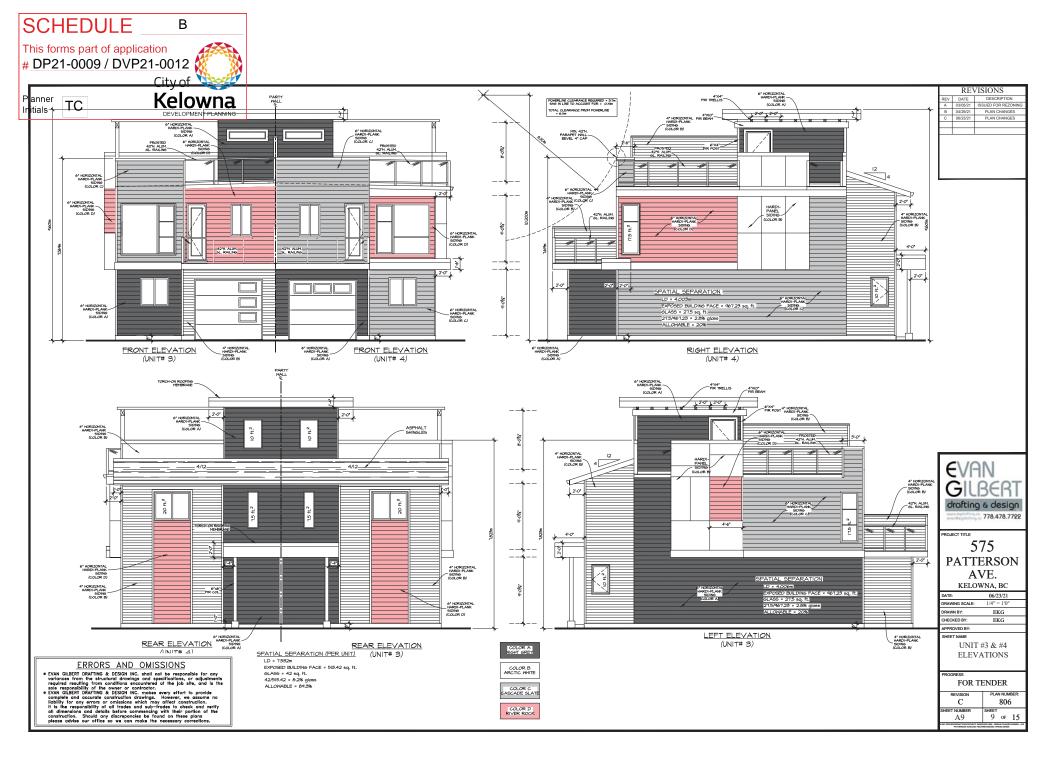
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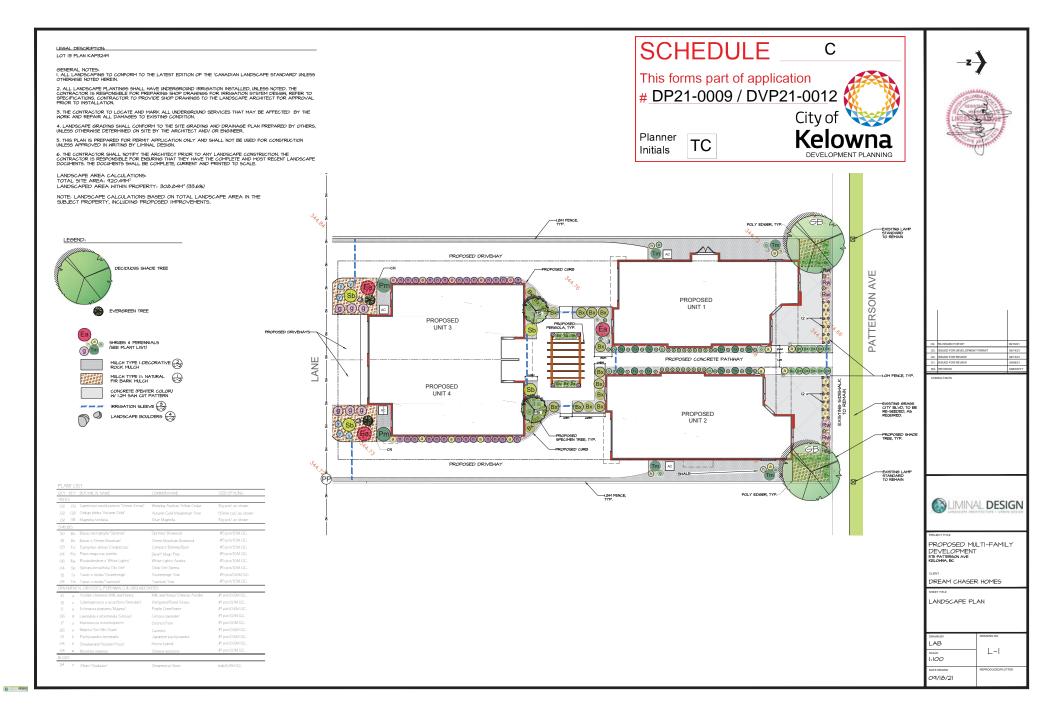




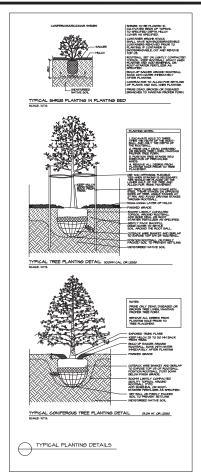








Kelowna



LANDSCAPE SPECIFICATIONS

GENERAL

 All landscape work undertaken shall conform to the <u>Canadian</u> andscape Standard, latest edition, unless otherwise specified. 2. The Contractor shall be responsible for locating all undergrown conflicts to the conflict of the vertical report any position conflicts to the conflict of the vertical report and position tettilise or site services must be reported immediately to the to exist solidaction of the Architect or the Owner's representative. The Contractor is responsible for all coles for damages.

- The Contractor shall leave the site in a neat and tidy condition at the end of each scriting day and at the completion of the contract. The Contractor shall ensure public safety is maintained at all times during the contract.
- Materials substitutions will only be considered after a written list is submitted to the Architect prior to installation. The Contractor shall notify the Architect, in advance, at least 24 hours prior to requesting an on-site field review of the work.
- A. TREE PROTECTION (FROM CANADIAN LANDSCAPE STANDARD 2ND ED.)
- Oritical Protection Zones for trees should be determined by referencing Table I: Determining Critical Protection Zones for Trees.
- Physical protection barriers shall meet all applicable mulcipal bijous and requisitory requirements. As a minimum, protective fencing should be erected outside the drip-line or as shown in Table I: Suitdelines for Determining Critical Protection Zones for Trees.
- Signage should be provided at regular intervals along protective fencing indicating the function of the fencing, i.e. 'Tree/Plant Protection Area Do Not Enter.'
- T. Areas of brees and vegetation Critical Protection processes shall be fence off by means of.

 J. Chain Nik Fence of all least at 1.2m (4H) height movited on steel or stard, secoler posts. Pence posts should be installed no farther than 2.5 Solid Pulsage happens. pars.

 plysood hoarding mounted securely to steel or stundy
 its. Posts should be installed no farther than 2.4m (6H).
- section posits. Posts about 50 in tentided no forther than 2-fix (BH).

 3. Board facing constituing private immen of 4-fix by 5m CP by
 4. Fix in a section of 4-fix by 5m CP by
 4. Fix in a section of 4-fix by 5m CP by
 4. Fix in a section of 4-fix by 5m CP by
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 4. Fix in a section of 4-fix
- 8. Protective fencing shall be removed only when all construction is fully completed.

B. SITE PREPARATION

- Rough/finish subgrade and have rough grading approved by the Architect prior to liquing and spreading topsoil. The Contractor is responsible for all servers.
- Remove excess rocks, builders, bilgs, rocts, stimps or a impediments not condictive to landscaping: dispose of these dc an approved dymping location off-site unities otherwise of the Architect. directle the site to drain away from buildings i shift the Site Grading Plan or as directed by the Architect.
- C. TOPSOIL & FINISH GRADING
- Existing stockpited or notive topsoil shall be screened to remove rocks, seeds, grass and other deleterious motiental before being accepted for facilitacyping. Distribing ispect shall be arrended with contract of the contract of the
- 2. Imported topsoil shall be good quality, clean, loose well draining planting soil and shall be approved by the Architect prior to installation. The approved topsoil in shall have the following all maximum 18% clay content and 30-50% some centent, by pird between 50 and 10 and in minimum argeniz content of LOR, 10 pird of between 50 and 10 and in minimum argeniz content of LOR, Testing of Imported topsoil may be requested by the Architect, and shall be policy by the Controllor will fine engineering specification in test.
- Topsoil shall be spread over a loose, scarified subgrade to depths as specified.

 Dryland Grass/Nildflower (hydroseeded/seeded) areas: Timm depth. minimm, Loun gross (seeded or turf) areas: ISOmm depth minimm; Planting beds (simply areas: 450mm depth minimm;
- Finish grade topsoil areas to permit finish landscaping as shown on the drawings. Backfill tree pits with a minimum 300mm of topsoil around all sides of the nootball unless otherwise specified.
- sides of the rodotal unless otherwise specifical.

 The thing paids by paiding and band-riving (appool) while removing all signed as shows in the drawings or as directed by the Architect. In consense of 25 for positive service acceptance, making and paid paid paid and a signed of the positive service acceptance, making sizes to permit a consense of 25 for positive services acceptance, making sizes to permit privately paids 50mm (77) positive services acceptance are paid paiding to provide sizes and positive to prevent acceptance and the positive services are paid to the paid of positive paids of positive paids to consense that the paid of contrast sections and positive paids to consense paid and positive paids to consense paid paid positive paid to paid paid paid to the paid of positive paids and paid paid to the contrast paid approved by the Architect private to grades executely surface and positive paid and paid paid paid to the paid to th

D. PLANT MATERIAL

- All plant material shall be healthy, free of disease, pests, showing good growth characteristics and shall be No. I grade.
- Plant material shall be guaranteed for a period of one (i) year from date of final acceptance/contract completion. All plant material delivered to the site must be individually labeled with botanical and common names and labels left in place until the Architect has inspected and approved planting.
- 4. The Contractor shall supply the necessary planting soil, fertilizers, bonemeal, insecticides and anti-desiscants as required to ensure proper planting procedure. The Contractor shall mointain the plant noterial will final acceptance of the καrk and to the satisfaction of the Architect.
- Philish all planting beds with 15mm depth of medium grade, clear, Pir-bank much or rock much on landscape fabric to finished grade as shown or specified on the drawings.
- Provide sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to Architect for approval prior to leaf-size and a sample of mulch to sample of mulch to a sample of mulch to a sample of mulch to a s Avoid installing mulch in areas of groundcover or annual plantings, unless otherwise directed by the Architect.

E. PLANTING MULCH

- Linearation (**Töhlad!*). Contractor to provide samples of milch to Architect for approval prior to histolicition.
 2. All trees and shribs located in gross or hydroseed areas, where milch is not shows shall be treated with "5mm depth areas medium fir milch adeading! Social" from the shall not touch a shrib the shall not touch the shall not touch the shall not touch the shall not touch the shall not shal
- 5. There of picting poels with minks to freshed grouts, minks higher of depth sizes.

 Depth. Time

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F. LANDSCAPE MAINTENANCE

- The Contractor shall be responsible for providing all materials, equipment and labour required for the purpose of maintaining all new and existing landscaping during the course of the contract.

- od existing londscaping laring the correct of the control.

 Metamouse of the indiscaping last performance that lickeds, but J. the culting of line makes to 50mm (67) length and in the lineships for given is assessed in length of 100mm (67). All grows of 100mm (67) and grows of 100mm (67) and
- A. Operation and adjalement of the intergrand sprinter system.

 A. Operation and adjalement of the intergrand sprinter system of the content of the content



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IRRIGATION SPECIFICATIONS

- The Contractor shall schedule installation of the underground sprinkler system in conjunction with the installation of landscape work in the contract. During the contract, the Contractor shall have a qualified foreman, well versed in all aspects of irrigation work.
- 4. The Contractor is responsible for obtaining all necessary permits for electrical and plunibing connections as may be required. The Contractor shall be responsible for obtaining CSA approvals on parts or equipment if this is not provided by others.
- parts or equipment if this is not provided by others.

 5. The Controctor shall provide design and all the components the trigation system as specified on the approved shop drawing tissestitions for disternative parts still any be consistent if the Contractor sistents a list of proposed expols to the Owner's Representative, is uriting prior to beginning some. Approved for design analism rejection of substitutions still be provided to the Contractor in sinsing by the Owner's representative.
- The Contractor shall guarantee the installation and operation of i brigation system for a period of one (i) year from the date of all coeptance of the contract. This guarantee shall not override nant/acturers guarantee on parts # E is for a longer period of
- The Contractor shall be responsible for initerizing the system in the fall and starting the system the following spring as part of this contract.
- Some Contractor shall provide the Cheen's Representative with an As-Bull reproductive noting of special in scale of the design drawing of the completed system before that acceptance to the solidation of the Cheen's Representative. The Contractor shall provide the Operations Manual for the controlled and any other information necessary for the regular operation or maintenance of the irrigation spaties.

A. PIPE AND FITTINGS

- Pipe shall be buried a minimum of 400mm (l6") below finished grade and trenches must be backfilled with sand or approved non-obvasive material. Stones over 15mm diameter must be removed from trenches and shall not be used as backfill.

- 3. All manual and remote control valves, double check/backflow preventers, pressure reducing valves, under meters, filters, drain than the first pressure in the control of the control of the plan. Takes that the first blank drain day and the control of the plan. Lockable plantits valve boxes must be approved by the Overs's Representative prior to installation.

C. SPRINKLERS

460-425mm HASHED BOULDERS, LOCALLY SOURCED, AND PLACED IN BROUPINGS AT THE DIRECTION OF ON-AUTE LANDSCAPE ARCHITECT

BOULDERS TO BE BURIED A HINMIH OF

I9mm Ø HINUS GRAVEL LEVELLING COURSE -

- Spray sprinklers on risers shall be installed on suing joints and shall be set plants approximately 200mm (127 above Frield grade

- 5. All drip emitter zones and microjet zones shall include a 3/4* diameter yetrainer filter, 3/4* diameter pressure regulation valve and 3/4* diameter isolation valve in a valve box with the zone

D. CONTROLLER

- The controller shall be hard-sired directly into the necrestrate of electrical service porell or electrical outsit in accordance to the control of the contr
- Interior Building installation: mount the controller in a location is shown on the drawings and as approved by the Owner's spresentative prior to installation.
- 4. Exterior Building installiction: mount the controller in a vanidal proof, seatherproof, lockable, 3.2mm (I/P) steel box, of a suitable steel for the irrigation controller. Finish the box with a minimal value of costs of next inflighting paint to match building colour or as directed by the Cheen's Representative.
- 5. Exterior Remote Location must the controller in a vandal proof, seatherproof, lockable, partied pedestal cabriet or 3.2mm (87) sheet box at a location as shown on the drawings. The Contractor shall be controlled to the characteristic controller of the characteristic controller of the characteristic control interest of the characteristic control interest.
- The Contractor shall prepare and subsit shap drawings of any extension controller installation, including the details of sizes, malaratin and combination methods for the seather-proof look to howe the controller. Shop drawings must be approved by the Covier's Representative prior to construction or installation.





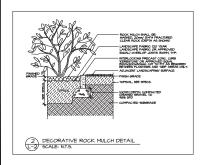


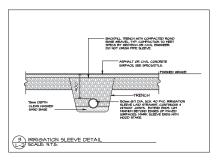
PROPOSED MULTI-FAMILY DEVELOPMENT 575 PATTERSON AVE KELOWNA, BC

DREAM CHASER HOMES

DETAILS & SPECIFICATIONS

-	DRAWN BY	DRAWING NO.
ı	LAB	
ı	NTS	L-2
1	DATE DRAWN	REPRODUCED/PLOTTED
ı	09/13/21	







DP21-0009 / DVP21-0012 575 Patterson Ave

Development Permit and Development Variance Permit Applications



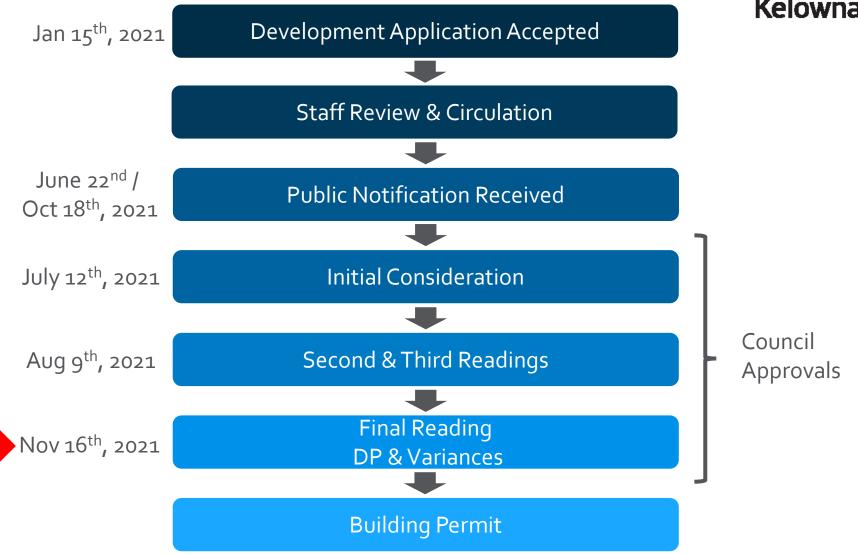


Proposal

➤ To consider a Development Permit for the form and character of a new fourplex and to consider several variances to parking and building setbacks.

Development Process

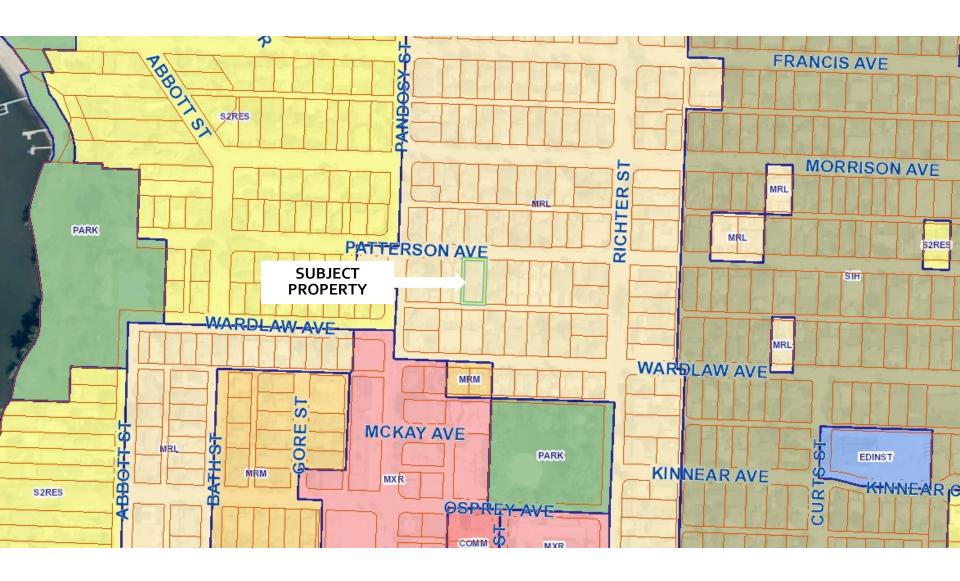




Context Map



Future Land Use



Subject Property Map

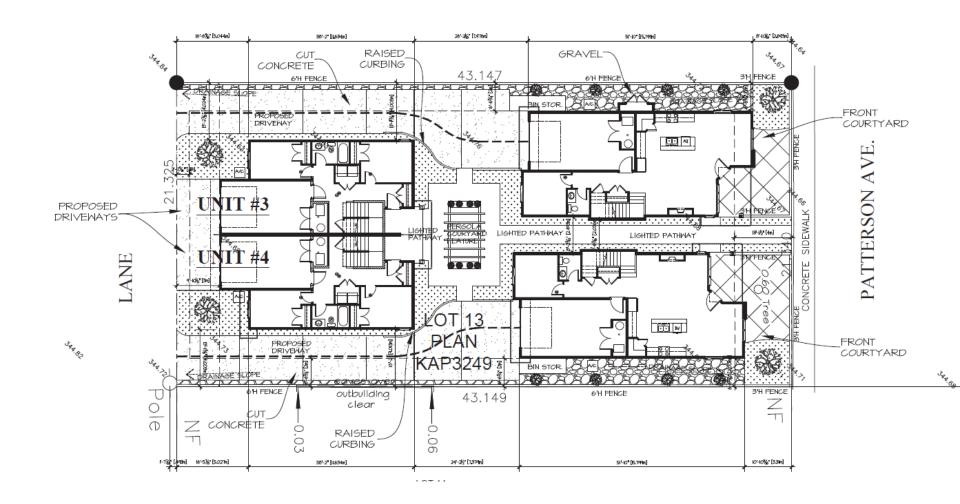




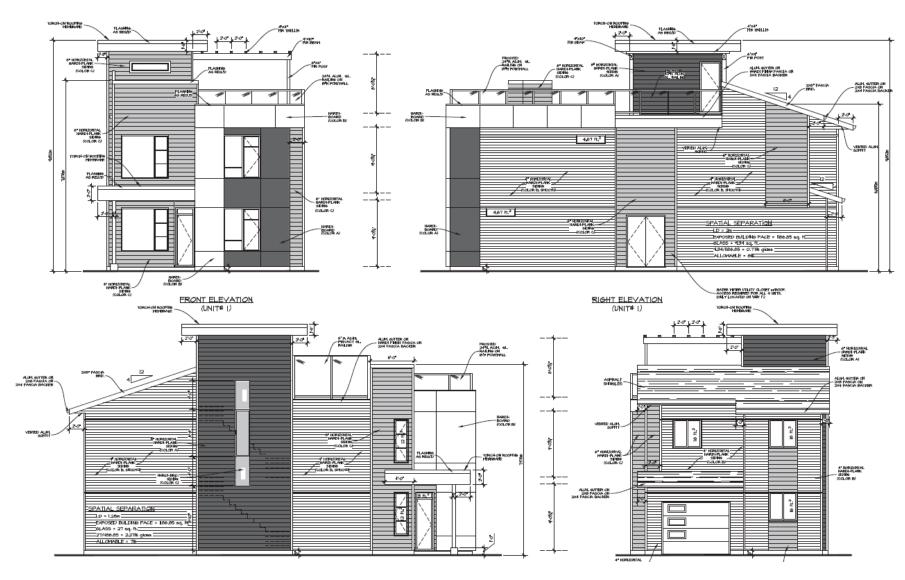
Project details

- Development Permit for four new residential dwelling units.
 - ► Two detached dwellings that are ground-oriented off Patterson Avenue.
 - ► Two semi-detached dwellings at the rear of the property.
- ► All properties accessed off the rear lane.
- Existing single-family dwelling to be removed.

Site Plan

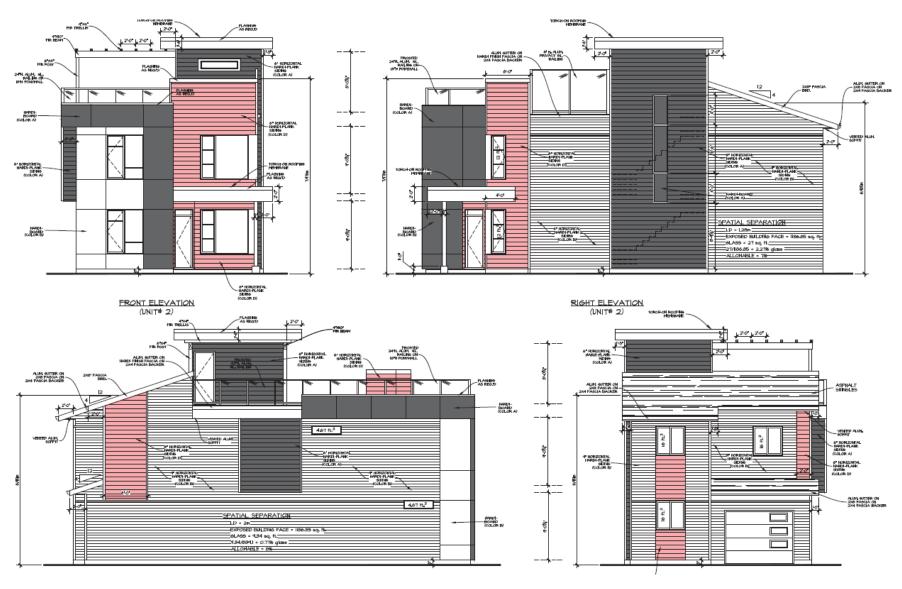


Elevations



Building 1 (Unit 1)
Facing toward Patterson Avenue

Elevations



Building 2 (Unit 2)
Facing toward Patterson Avenue

Elevations



Building 3 (Unit 3 & 4)

Laneway

Conceptual Renderings



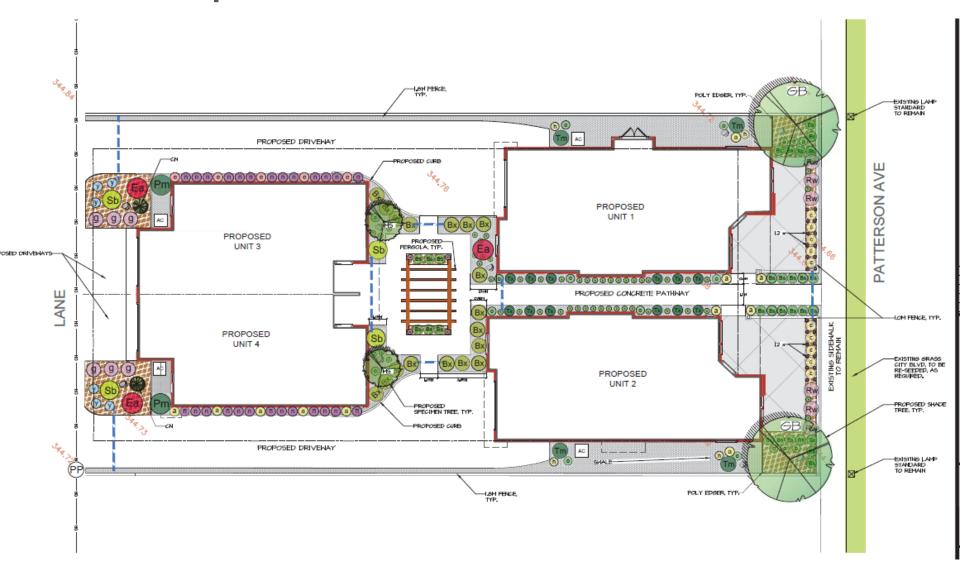
Conceptual Renderings



Conceptual Renderings



Landscape Plan

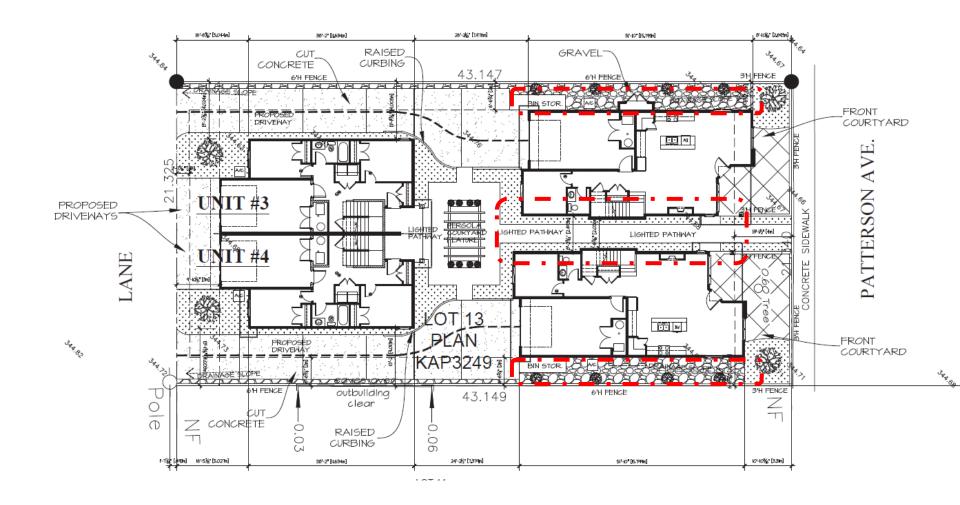




Project details

- ► Applicant is requesting four variances for the fourplex:
 - ► The minimum distance between two principal dwellings from 3.om required to 2.om proposed.
 - ► The minimum side yard setback from 4.5m required to 2.om proposed.
 - ▶ The required parking from 9 stalls to 4 proposed.
 - ▶ The required accessible stall from 1 required to 0.

Variances





Development Policy

- Meets the Intent of the Official Community Plan (OCP)
 - Compact Urban Form
 - Sensitive Infill
 - Ground-Oriented Housing



Staff Recommendation

- Staff recommend support for the Rezoning application
 - Supported by policies in the OCP
 - Consistent with Future Land Use Designation
 - ► The variances are consistent with other fourplex zones and minimal neighbourhood impacts are anticipated.



Conclusion of Staff Remarks

575 Patterson

Development Permit & Development Variance Permit





Proposed form is consistent with neighbourhood



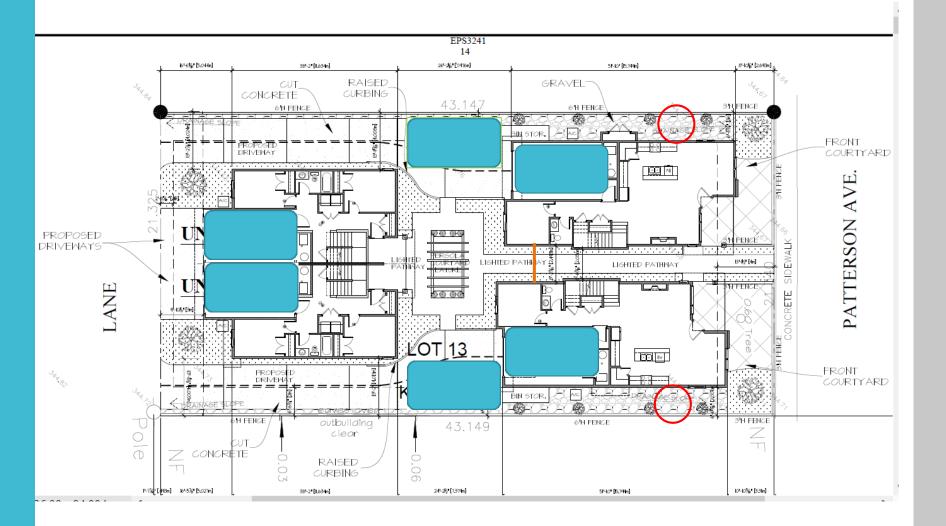
Variances sought

Parking





Variances



Additional images

Similar plan already constructed

Proposed rendering of inner

courtyarc



Final observations

- Good infill development
- Consistent with direction of Imagine Kelowna
- Meets objectives in draft 2040 OCP



REPORT TO COUNCIL



Date: November 16, 2021

To: Council

From: City Manager

Department: Development Planning

Application: DVP21-0011 Owner: John Kovacic and Christine

Kovacic

Address: 3521 Scott Road Applicant: John Kovacic

Subject: Development Variance Permit

Existing OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0011 for Lot 4 District Lot 134 ODYD Plan 30577, located at 3521 Scott Road, Kelowna, BC;

AND THAT a variance to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.1.6(d): RU1 - Large Lot Housing Development Regulations

To vary the required minimum side yard from 2.3 m permitted to 2.0 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the required minimum side yard from 2.3 m permitted to 2.0 m proposed to facilitate the construction of an addition to the existing house.

3.0 Development Planning

Staff recommend support for the Development Variance Permit for the construction of an addition to the existing house. Staff support the requested variance because the application is for a minor addition to an existing house that conforms to the site regulations of the RU1 zone, rather than a new non-conforming structure. The minimum side yard is 2.0 metres for a 1 or 1.5-storey portion of a building and 2.3 metres for a 2 or 2.5-storey portion of a building in the RU1 zone, the proposed addition would make the existing

house a 2-storey building. The variance is being requested so the proposed addition will be flush with the existing house.

Proposal

3.1 Project Description

The applicant is seeking a side yard variance from 2.3 metres to 2.0 metres for a proposed two-storey addition. The existing house was built in 1980 and is currently a 1.5-storey split level. The proposed addition will be at the front of the existing house, the first floor of the addition will be 64.6m² and will contain a rec room for the existing house, the second storey will be 59.3 m² and will be used as a secondary suite.

3.2 Site Context

This site is zoned RU1 and has a Future Land Use Designation of S2RES - Single / Two Unit Residential. The property is located on Scott Road in the South Pandosy OCP Sector. The surrounding area primarily zoned RU1 – Large Lot Housing.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Residential Dwelling
East	RU1 – Large Lot Housing	Residential Dwelling
South	RU1 – Large Lot Housing	Residential Dwelling
West	RU1 – Large Lot Housing	Residential Dwelling



3.3 Zoning Analysis Table

Zoning Analysis Table			
CRITERIA	RU1 ZONE REQUIREMENTS	PROPOSAL	
Development Regulations			
Max. Height	9.5m	7.3m	
Min. Front Yard	4.5m	4.5m	
Min. Side Yard (south)	2.3m	2.0M 0	
Min. Side Yard (north)	2.3m	2.0M 0	
Min. Rear Yard	7.5m	7.5m	
Indicates a requested variance to side yard			

4.0 Application Chronology

Date of Application Received: January 19, 2021
Date Public Consultation Completed: July 11, 2021

Report prepared by: Graham Allison, Planner 1

Reviewed by: Dean Strachan, Community Planning & Development Manager

Reviewed by: Terry Barton, Development Planning Department Manager

Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments

Attachment A: Draft Development Permit DVP21-0011

Schedule A: Site Plan

Attachment B: Applicant's Rationale

Development Variance Permit DVP21-0011



This permit relates to land in the City of Kelowna municipally known as

3521 Scott Road

and legally known as

Lot 4 District Lot 134 ODYD District Plan 30577

and permits the land to be used for the following development:

Single Dwelling House (RU1- Large Lot Housing)

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u> November 16th, 2021

Decision By: COUNCIL

Existing Zone: RU1– Large Lot Housing

Future Land Use Designation: S2RES – Single / Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: John Dennis Kovacic and Christine Rose Kovacic

Applicant: John Dennis Kovacic

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date



1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 13.1.6(d): RU1 - large Lot Housing Development Regulations

To vary the required minimum side yard from 2.3 m permitted to t2.0 m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to

3. INDEMNIFICATION

extend.

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.

18.00 m PROPERTY LINE 7.50m REAR YARD SETBACK 2.30 m 2.00 m 2.00 m REGULAR SIZE VEHICLE PARKING SPACE (2.5m x 6.0m) - MAIN HOUSE SUITE WALL IS BEYOND 2.3m SETBACK LINE ABOVE 1.5 STOREY HEIGHT - REQUEST FOR VARIANCE REGULAR SIZE VEHICLE PARKING SPACE (2.5m x 6.0m) - SUITE PARKING EXISTING FENCE ALONG PROPERTY LINE 4.50m FRONT YARD SETBACK CONCRETE DRIVEWAY AND PARKING 30m² private open space PARKING SPOT CAN INTRUDE HALF WAY INTO FRONT YARD SETBACK 6.00 m **SITE PLAN** 1" = 10'-0" PROPERTY LINE 18.00 m PROVIDE LIGHTING ALONG PARKING SPACE HEDGES LINING PROPERTY LINE FOR PRIVACY AND WALKWAY TO SUITE ENTRANCE

GENERAL NOTES

- 1. ALL WORK IS TO CONFORM TO THE LATEST EDITION OF THE B.C. BUILDING CODE, AND LOCAL BYLAWS WHICH MAY TAKE PRECEDENCE.
- 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- 3. THE BUILDER SHALL VERIFY AND BE RESPONSIBLE FOR ALL INFORMATION, DIMENSIONS, AND SPECIFICATION REGARDING THESE PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- 4. THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SURVEYING, & SITING OF PROPOSED BUILDING ON THE PROPERTY.
- 5. GRADE LEVELS SHOWN ON THESE DRAWINGS ARE ESTIMATES ONLY, ADJUSTMENTS AS REQUIRED ARE TO BE MADE ON SITE.

GROSS AREA MAIN FLOOR EXISTING COVERED DECK EXISTING MAIN FLOOR EXISTING PATIO NEW REC ROOM NEW REC ROOM EXISTING MAIN FLOOR 1192 SF

638 SF

COVERED DEC

48 SF

GROSS AREA UPPER FLOOR

- COVERED DECK
- EXISTING DECK
- EXISTING UPPER FLOOR
- NEW SUITE FLOOR

EXISTING DECK 54 SF EXISTING UPPER LOCA MUNI 18. REFE STRI ROOD FOOT PROF ANY STRU 19. PRIM SHAIL AND D AND S STRU 19. PRIM SHAI

CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION, MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE, PLUMBING CODE, ELECTRICAL CODE, & ALL OTHER CODES, ZONING AND BYLAWS THAT MAY APPLY.

 IT IS THE OWNERS AND CONTRACTORS RESPONSIBILITY
- IT IS THE OWNERS AND CONTRACTORS RESPONSIBILITY TO ENSURE THE DRAWINGS CONFORM TO ALL REGULATIONS.
- 2. THE CONTRACTOR AND ALL SUBTRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT ANY DISCREPANCIES THAT AFFECT DESIGN TO PRIME BUILDING DESIGN IMMEDIATELY.
- 3. ALL FRAMING MATERIAL TO BE S.P.F.#2 OR BETTER.
 ALL FRAMING HAS TO BE MIN 6"FROM GRADE AS PER
 B.C. BUILDING CODE 2018
- 4. CONCRETE FOOTINGS AND WALLS TO BE MINIMUM 28MPA @ 28 DAYS; FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
- 5. ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL.
- 6. DAMPPROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
- 7. 6 MIL ULTRAVIOLET RESISTANT POLY VAPOR BARRIER ON A) 4" OF GRANULAR COMPACTIBLE FILL UNDER EXTERIOR OR GARAGE SLABS OR B) 4" OF 3/4" DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS
- 8. ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICIPAL SERVICES ACCORDING TO LOCAL STANDARDS
- 9. GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING
- 10. ALL TRUSSES, I-JOISTS, BEAMS OR OTHER
 STRUCTURAL MEMBERS NOT COVERED IN B.C.
 BUILDING CODE TO BE DESIGNED AND ENGINEERED BY
 TRUSS MANUFACTURER OR STRUCTURAL ENGINEER
 PRIOR TO ANY FABRICATION
- 11. CONTRACTOR TO VERIFY ALL PROPERTY & FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
- 12. ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF, AND MINIMUM 25% TO BE LOCATED AT SOFFIT
- 13. DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING
- 14. ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
- 15. RAINWATER LEADERS NOT SHOWN ON PLAN.
 CONTRACTOR TO DETERMINE EXACT LOCATION
 SUITABLE TO SITE AND MUNICIPAL DRAINAGE
- 16. ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF HOMEOWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
- 17. APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY
- 18. REFER TO LAYOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER AND ROOF TRUSS MANUFACTURER FOR BEAM, POST AND FOOTING LOCATIONS AND SIZES AND ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON PRIME BUILDING DESIGN PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.
- 19. PRIME BUILDING DESIGN ACCEPTS NO LIABILITY AND SHALL NOT BE HELD RESPONSIBLE FOR ERRORS OR OMISSIONS WITH THIS SET OF DRAWINGS THAT MAY NEGATIVELY AFFECT CONSTRUCTION.
 IF ERRORS ARE FOUND, PLEASE CONTACT PRIME BUILDING DESIGN
 AT YOUR EARLIEST CONVENIENCE



DESIGN

3105 31 Ave, Unit G, Vernon, BC +1 (250) 540-3449 philipp@primebuildingdesign.com

primebuildingdesign.com

No.	Description	Date
01	Issued for Variance	2020-12-16
02	Issued for Revision	2021-05-20
03	Issued for Parking Revision	2021-06-28
	•	•

3521 Scott Road, Kelowna, BC

KOVACIC RESIDENCE

SITE PLAN GROSS AREA

Project Number	20-045
Date	2020-09-26
Designed By	PW

A02

Scale As indicated

SITE SPECIFIC INFORMATION

SUBDIVISION PLAN OF PART OF LOT 4, PLAN KAP30577

LOT AREA:

LOT COVERAGE - BUILDINGS

LOT COVERAGE - BUILDINGS AND IMPERMEABLE SURFACES

8712 SQ.FT. 0.2 AC
2132 SQ.FT. (24.47%)
3420 SQ.FT. (39.26%)

ZONE: RU1
DISTRICT: CITY OF KELOWNA
NOT IN ALR

2132 SQ.FT. (24.47%) MAX(40.00%) 3420 SQ.FT. (39.26%)MAX(50.00%) plemental letter of rationale

JEVELOPEMENT PROPSAL,

The purpose of this development is to have a secondary suit and an additional living space added to our current 1.5 split level house. We are asking for a variance for the side yard set back from a 2.3 m to a 2.0 m. Our zoning(RU1) requirements for a 2 story house are 2.3 meters from the side of our house to the side property line. We have an existing 1.5 story split level home so when we do build the suit and additional living space it will be a 2 story addition in front of the 1.5 story split level existing home. We are asking for a 2 meter set back on the side yard rather than a 2.3m that our current zoning requires so it will have better curb appeal and be flush and look more streamline to the existing 1.5 story split level house. We want it to blend in to our current dwelling and not have the addition jogged in .3m on the side which will expose the 1.5 story original dwelling. It will have better curb appeal which is very important to us.

Thank you, Sincerely John Dennis and Christine Kovacic

ATTACHME	VT_B
This forms part of appl	ication
# DVP21-0011	🍪 🕉
	City of
Planner Initials GA	Kelowna DEVELOPMENT PLANNING



Development Variance Permit





Proposal

▶ To vary the required minimum side yard from 2.3 m permitted to 2.0 m proposed to facilitate the construction of an addition to the existing house.



Development Process

Jan. 19, 2021

Development Application Submitted

Jan. 20, 2021

Staff Review & Circulation

July 11, 2021

Public Notification Received



Nov. 16, 2021

Development Variance Permit

Building Permit

Council Approval

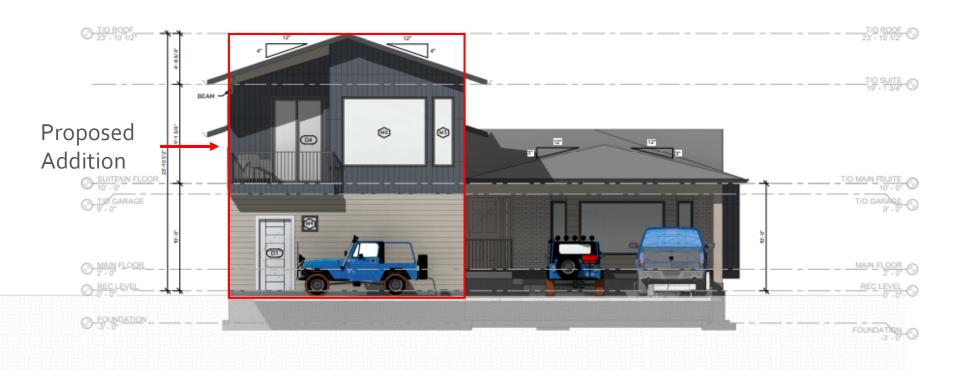
Context Map



Site Map



Front Elevation



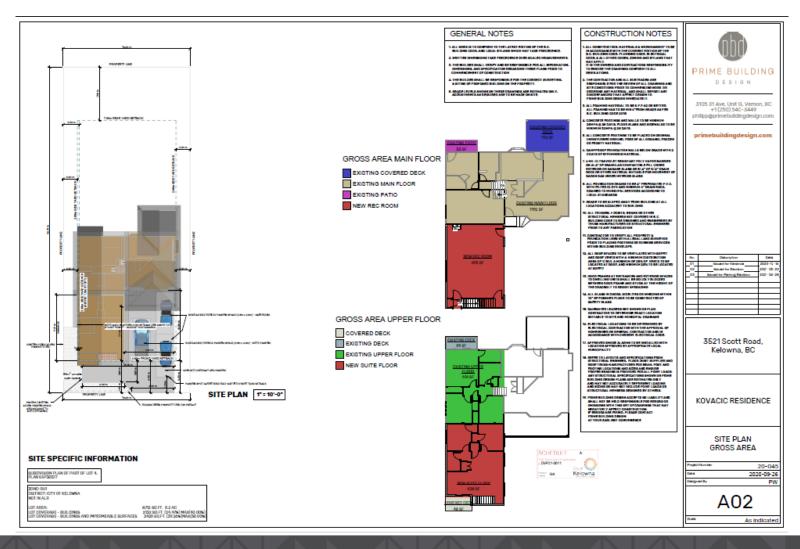


Project/technical details

- The applicant is seeking a side yard variance from 2.3m to 2.0m to facilitate the construction of second storey addition
- ► The Variance is being requested as the addition will convert the house from 1.5 storey to 2 storeys



Site Plan





Staff Recommendation

- ➤ Staff recommend **support** of the proposed Development Variance Permit Application.
 - Maintains the exterior appearance of a single family structure while adding secondary suite
 - ► Ensures addition is consistent in architectural style with the original development and the dominant style of the block



Conclusion of Staff Remarks

REPORT TO COUNCIL



Date: November 16, 2021

To: Council

From: City Manager

Department: Community Planning

Address: 5308 Upper Mission Drive Applicant: Jason Gill

Subject: Development Variance Permit

Existing OCP Designation: S2RES – Single/Two Unit Residential

Existing Zone: RR2c – Rural Residential 2 with Carriage House

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0096 for Lot 1, Section 24, Township 28, SDYD, Plan KAP87908, located at 5308 Upper Mission Drive, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw 8000 be granted:

Section 12.2.6(f): RR2c - Rural Residential 2 with Carriage House — Development Regulations

To vary the rear yard setback from 9.0 m required to 2.5 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Variance Permit to vary the rear yard setback from 9.0 m required to 2.5 m proposed to facilitate the construction of an addition to a single family dwelling.

3.0 Development Planning

Staff is recommending support for the requested variance to the rear yard setback regulation. The applicant is seeking to reduce the rear yard setback from 9.0 meters required to 2.5 meters proposed to facilitate the construction of an addition to a single family dwelling. The construction project will involve converting a portion of the existing garage into living space and then adding a new garage and second floor living space to the end of the house. The portion of the addition within the rear yard setback will be placed

next to an 18.5 meter wide Fortis Gas Right of Way, which will provide 21 meters of separation to the next buildable lot to the west.

From a street view perspective, the orientation of the proposal is amenable to the existing street pattern and negative impacts to adjoining neighbours should be negligible. The orientation of the house is facing Chute Lake Road so the proposed addition will appear to be in the side yard of the property; although, it technically encroaches into the rear yard. If the project proceeds, there will be a large amount of open space left on the property as the existing house is approximately 27 meters from Chute Lake Road on the northern side, 81 meters from Upper Mission Drive on the eastern side and 3.0 meters from the side property line of the southern neighbour.

4.0 Proposal

4.1 <u>Project Description</u>

The proposal is to vary the rear yard setback from 9.0 meters required to 2.5 meters proposed to facilitate the construction of an addition to a single family dwelling. The construction project will involve converting a portion of the existing garage into living space and then adding a new garage and second floor living space to the end of the house. The orientation of the house is facing Chute Lake Road so the proposed addition will appear to be in the side yard of the property; although, it technically encroaches into the rear yard. The portion of the addition within the rear yard setback will be placed next to an 18.5 meter wide Fortis Gas Right of Way, which will provide 21 meters of separation to the next buildable lot to the west.

4.2 Site Context

The subject property is zoned RR2c – Rural Residential 2 with Carriage House and has a future land use designation of Single/Two Unity Residential (S2RES). The property is located in the South Okanagan Mission City Sector at the corner of Chute Lake Road and Upper Mission Drive. The predominant zone surrounding the property is RR2c – Rural Residential 2 with Carriage House, RU1h – Large Lot Housing (Hillside) and A1 – Agriculture 1.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RR2 — Rural Residential 2	S ₂ RES – Single/Two Unit Residential
East	A1 – Agriculture 1	FUR – Future Urban Reserve
South	RR2c – Rural Residential 2 with Carriage House	S2RES – Single/Two Unit Residential
West	RR2c – Rural Residential 2 with Carriage House	S2RES – Single/Two Unit Residential

Subject Property Map: 5308 Upper Mission Drive



4.3 Zoning Analysis Table

Zoning Analysis Table			
CRITERIA	RR2c ZONE REQUIREMENTS	PROPOSAL	
Development Regulations			
Max. Site Coverage (buildings)	20%	5%	
Max. Height	9.5 m	6.4 m	
Min. Front Yard	6.o m	81 m	
Min. Side Yard (south)	3.0 m	7.5 m	
Min. Side Yard (north)	4.5 m	27.5 m	
Min. Rear Yard	9.0 m	2.5 M	
• Indicates a requested variance to			

5.0 Technical Comments

5.1 <u>Development Engineering Department</u>

This application does not compromise any municipal infrastructure.

5.2 <u>Fire Department</u>

No objections

5.3 <u>Building and Permitting</u>

Full plan check for Building Code related issues will be done at time of Building Permit application.

5.4 Fortis BC Energy (Gas)

No objections or concerns.

6.0 Application Chronology

Date of Application Received: September 7, 2021
Date Public Consultation Completed: October 15, 2021

Report prepared by: Corey Davis, Development Technician

Reviewed by: Dean Strachan, Community Planning & Development Manager

Reviewed by: Terry Barton, Development Planning Department Manager

Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Variance Permit DVP21-0096

Schedule A: Site Plan

Development Variance Permit DVP21-0096



This permit relates to land in the City of Kelowna municipally known as

5308 Upper Mission Drive

and legally known as

Lot 1, Section 24, Township 28, SDYD, Plan KAP87908

and permits the land to be used for the following development:

RR2C - Rural Residential 2 with Carriage House

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u> November 16th, 2021

Decision By: COUNCIL

Existing Zone: RR2C – Rural Residential 2 with Carriage House

Future Land Use Designation: S2RES – Single/Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Jason Gill

Applicant: Jason Gill

Dean Strachan, RPP, MCIP Community Planning and Development Manager Development Planning Department Date



SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 12.2.6 (f): Rural Residential 2 with Carriage House - Development Regulations

To vary the rear yard setback from 9.0 meters required to 2.5 meters proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

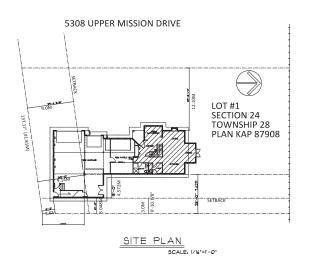
The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



PROPOSED RENOVATION OF AN EXISTING BUILDING AT:

JASON GILL AND HEATHER BLUNDELL 5308 UPPER MISSION DRIVE KELOWNA, B.C. ACER ELECTRIC LTD.

PH. 1-780-370-2449





A.I COVER

A.2 FOOTING AND FOUNDATION

A.3 MAIN FLOOR

A.4 SECOND FLOOR

A.5 ELEVATIONS

A.6 ELEVATIONS / SECTION

A.7 SECTIONS

A.8 GENERAL NOTES

E.I MAIN FLOOR ELECTRICAL

E.2 SECOND FLOOR ELECTRICAL

NOTE: EVERY EFFORT HAS BEEN MADE TO ASSURE THE ACCURACY OF DIMENSIONS AND DETAILS. HOWEVER, IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL MEASUREMENTS.

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DO NOT SCALE THIS DRAWING.

CLIENT: JASON GILL AND FAMILY 5308 UPPER MISSION DRIVE KELOWNA, B.C.

SCALE: 1/4"= 1'-0" UNLESS INDICATED

COVER



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DVP21-0096 5308 Upper Mission Drive

Development Variance Application





Proposal

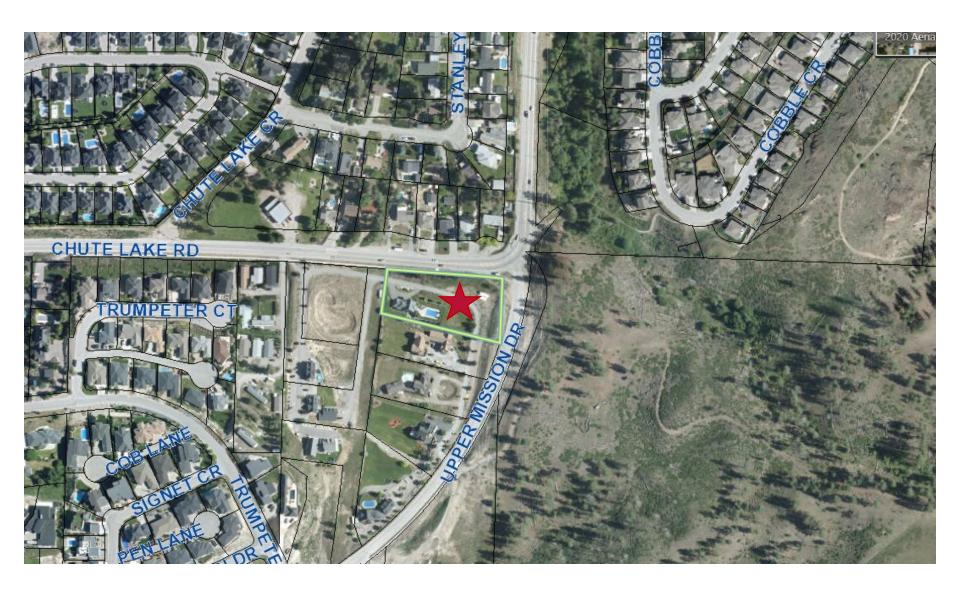
➤ To consider a Development Variance Permit to vary the rear yard setback from 9.om required to 2.5 m proposed to facilitate the construction of an addition onto a single-family dwelling.

Development Process





Context Map



Site Map



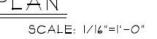


Project/technical details

- ➤ The applicant is seeking a variance to the rear yard setback from 9.0m required to 2.5 m proposed to facilitate the construction of an addition to a single-family dwelling.
- ➤ The 2-storey addition would be placed next to an 18.5 m wide Fortis Gas Right of Way, which would provide 21 meters of separation to next buildable lot to the west.
- ► The orientation of the house/addition is amenable to the existing street pattern and impacts to adjoining neighbours appears negligible.
- ► A large amount of open space will be left on the property after project completion.

Conceptual Site Plan





House Elevation/Perspective





Staff Recommendation

- ➤ Staff recommend **support** of the proposed Development Variance Permit application.
 - ► The addition would be placed next to an 18.5 m wide Fortis Gas Right of Way.
 - ► The orientation of the house/addition is amenable to the existing street pattern.
 - ► A large amount of open space will be left on the property after project completion.
 - ▶ No/Minimal neighbourhood impacts are anticipated.



Conclusion of Staff Remarks



DVP21-0096 5308 Upper Mission Drive









REPORT TO COUNCIL



Date: November 16, 2021

To: Council

From: City Manager

Department: Development Planning

BC1297889

Address: 155 Bryden Road Applicant: WestUrban Developments Ltd.

Subject: Development Permit and Development Variance Permit Application

Existing OCP Designation: MRM – Multiple Unit Residential (Medium Density)

Existing Zone: RM5r - Medium Density Multiple Housing (Residential Rental Tenure

Only)

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP21-0112 and Development Variance Permit No. DVP21-0113 for LOT A SECTION 27 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN EPP85221, located at 155 Bryden Road, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,";
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

<u>Section 13.11.6(c): RM5 – Medium Density Multiple Housing, Development Regulations</u>
To vary the required maximum height from 18.0 m or 4.5 storeys permitted to 18.8 m or 6 storeys proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider the form and character of a multiple dwelling housing development and to vary the maximum height on the subject property.

3.0 Development Planning

Staff recommend support for the Development Permit and Development Variance Permit applications. Council adopted the RM5r - Medium Density Multiple Housing (Residential Rental Tenure Only) zone for the property in August 2021. As such, any development on the property ensures units will remain rental for the life-cycle of the building helping to fulfill policy objectives of the City's Healthy Housing Strategy.

The proposal includes 192 units, contained within two separate six-storey buildings. Staff have worked with the applicant on the form and character of all elevations to ensure they meet the design guidelines in the OCP. Overall, the proposed design achieves the following form and character objectives, from the OCP's Comprehensive and Revitalization Design Guidelines:

- Use of a variety of materials to create contrast and reduce the apparent mass of a building;
- Ground level access for first-storey units; and
- Architectural unity and cohesiveness between buildings

The subject property is primarily located within the Rutland Urban Centre, with a small portion on the west excluded from the Urban Centre. This was due to recent lot consolidations which occurred after the boundary had been defined. All buildings and parking areas are located within the Urban Centre. The increase in density at this location is supported by local amenities such as parks, schools, transit and recreational opportunities in the immediate area.

Variance

There is one variance required to facilitate this proposal, to maximum height. The maximum height in the RM5 zone is 18.0 m or 4 ½ storeys. This application seeks a variance to allow a maximum height of 18.8 m and 6 storeys. There is policy in the Official Community Plan supporting six storeys on properties zoned C4 – Urban Centre Commercial in the Rutland Urban Centre. Although this property has RM5r zoning, it is located in the Rutland Urban Centre and Staff consider the request to be reasonable as its located directly on Highway 33 West (4 lane arterial) and the additional height does not negatively impact the supply of on-site parking, or overall form and character objectives.

Proposal

3.1 Background

In July of 2019 the property was rezoned to RM5 – Medium Density Multiple Housing (Z18-0027), and a Development Permit and Development Variance Permit was issued (DP18-0062 & DVP18-0063). In August 2021, the lot was zoned RM5r to restrict tenure on the lot to residential rental only. A series of changes to the original design are also now being proposed, requiring Council consideration of a new Development Permit and Development Variance Permit.

3.2 <u>Project Description</u>

The applicant is proposing two six-storey wood-frame buildings for a multiple dwelling housing development, which would contain 192 dedicated rental units. The unit breakdown includes 12 studio units, 84 one-bedroom units, 84 two-bedroom units and 12 three-bedroom units.

The roofline of the buildings is butterfly style, and the buildings are primarily finished with fibre cement lapped siding, accent siding and panels, with differing accent colours between buildings. The juxtaposition and variation of materials also differs between buildings to add visual interest.

There is direct access provided to the ground-floor units from a series of paths on the property, and units fronting on to Highway 33 W each have their own access path to the sidewalk. Ground floor units have a small patio area, and all other units have decks. Additional amenity space for residents is both indoors and outdoors. There are two landscaped recreation areas which include seating, outdoor gym equipment and a multi-sport court.

All vehicular access to the site is directly off Bryden Road. A combination of surface and underground parking is proposed, with 31 surface stalls and 165 underground stalls. The underground parkade is accessed through a single ramp, below the building on the north side of the property. The applicant is taking advantage of the incentive to reduce required parking on lots with the 'r' designation by 20% within an urban centre. As such, parking requirements are met.

3.3 Site Context

The property is in the Rutland City Sector on the western edge of the Rutland Urban Centre. It is located on the north side of Highway 33 West, between Bryden Road and Franklyn Road and is approximately 2.52 acres in size. The property is also a block south of Ben Lee Park and the Houghton Rd. Recreation Corridor. The Walk Score is 62, indicating it is somewhat walkable.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	P2 – Education and Minor Institutional	Religious Assemblies
NOTUI	RU1 – Large Lot Housing	Single Dwelling Housing
East	RM ₃ – Low Density Multiple Dwelling Housing	Multiple Dwelling Housing
South	RM5 – Medium Density Multiple Dwelling Housing	Multiple Dwelling Housing
500111	P1 – Major Institutional	Extended Medical Treatment Services
West	RU6 – Two Dwelling Housing	Single and Two Dwelling Housing
west	RU1 – Large Lot Housing	Single and Two Dwelling Housing

Subject Property Map: 155 Bryden Road



3.4 Zoning Analysis Table

Zoning Analysis Table			
CRITERIA	RM ₅ r ZONE REQUIREMENTS	PROPOSAL	
	Development Regulations		
Max. Floor Area Ratio	1.3	1.2	
Max. Site Coverage (buildings)	40 %	26.5 %	
Max. Site Coverage (buildings, parking, driveways)	65 %	41.6 %	
Max. Height	18.0 m / 4.5 storeys	18.8 m / 6 storeys 0	
Min. Front Yard (Bryden Road)	6.o m	> 6.o m	
Min. Flanking Side Yard (Hwy 33 W)	6.o m	6.62 m	
Min. Side Yard (north)	7.0 m	7.59 M	
Min. Rear Yard (east)	9.0 m	9.7 m	
	Other Regulations		
Min. Parking Requirements	196 stalls	196 stalls	
Min Diguelo Darking	22 Short term	24 Short term	
Min. Bicycle Parking	145 Long term	147 Long term	
Min. Private Open Space	3,750 m²	4,364 m²	

4.0 Current Development Policies

4.1 Kelowna Official Community Plan (OCP)

Chapter 1: Introduction

Goals for a Sustainable Future:

Contain Urban Growth. Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

Address Housing Needs of All Residents. Address housing needs of all residents by working towards an adequate supply of a variety of housing.

Chapter 5: Development Process

Objective 5.5 Ensure appropriate and context sensitive built form

Policy .1 Building Height. Rutland Urban Centre: Generally 4 storeys. Six storeys within C4 or C9 zoned areas.

Objective 5.9 Support the creation of affordable and safe rental, non-market and/or special needs housing.

Objective 5.22 Ensure context sensitive housing development.

Policy .6 Sensitive Infill. Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height, and siting.

Policy .11 Housing Mix. Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed-use developments.

Policy .13 Family Housing. Support housing alternatives for families when single detached housing is too costly, including features that are important to families, such as: outdoor space, direct access to grade, workshop space, larger units, safe design, and neighbourhood characteristics (e.g.: location and amenities)

Objective 5.23 Address the needs of families with children through the provision of appropriate family-oriented housing.

Policy .1 Ground-Oriented Housing. Encourage all multiple-unit residential buildings in neighbourhoods with schools and parks to contain ground-oriented units with two or more bedrooms so as to provide a family housing choice within the multi-unit rental or ownership markets. High density residential projects in the Downtown area are encouraged to include a ground-oriented housing component, especially where such can be provided on non-arterial and non-collector streets.

4.2 <u>Healthy Housing Strategy</u>

Four key directions form the framework for the strategy:

- Promote and protect rental housing;
- 2. Improve housing affordability and reduce barriers for affordable housing;
- 3. Build the right supply; and
- 4. Strengthen partnerships and align investments.

Chapter 14: Urban Design DP Guidelines

<u>Comprehensive Development Permit Area</u>

Consideration has been given to the following guidelines as identified in Section 14.A. of the City of Kelowna Official Community Plan relating to Comprehensive Development Permit Areas:

COMPREHENSIVE DEVELOPMENT PERMIT AREA			N/A
Authenticity and Regional Expression			
Do landscaping and building form convey a character that is distinct to Kelowna and the Central Okanagan?	х		
Are materials in keeping with the character of the region?	х		
Are colours used common in the region's natural landscape?	х		
Does the design provide for a transition between the indoors and outdoors?	х		
Context		•	•
Does the proposal maintain the established or envisioned architectural character of the neighbourhood?	х		
Does interim development consider neighbouring properties designated for more intensive development?			х
Are façade treatments facing residential areas attractive and context sensitive?	х		
Are architectural elements aligned from one building to the next?			
For exterior changes, is the original character of the building respected and enhanced?			х
Is the design unique without visually dominating neighbouring buildings?	х		
For developments with multiple buildings, is there a sense of architectural unity and cohesiveness?	х		
Relationship to the Street		•	•
Do buildings create the desired streetscape rhythm?	х		
Are parkade entrances located at grade?		х	
For buildings with multiple street frontages, is equal emphasis given to each frontage?	х		
Massing and Height			
Does the design mitigate the actual and perceived mass of buildings?	х		
Does the height consider shading and view impacts for neighbouring properties and transition to less intensive areas?		х	
Human Scale			
Are architectural elements scaled for pedestrians?	х		

COMPREHENSIVE DEVELOPMENT PERMIT AREA			N/A
Are façades articulated with indentations and projections?	х		
Are top, middle and bottom building elements distinguished?	х		
Do proposed buildings have an identifiable base, middle and top?	х		
Are building facades designed with a balance of vertical and horizontal proportions?	х		
Are horizontal glazed areas divided into vertically proportioned windows separated by mullions or building structures?	х		
Does the design incorporate roof overhangs and the use of awnings, louvers, canopies and other window screening techniques?	х		
Is the visual impact of enclosed elevator shafts reduced through architectural treatments?			х
Exterior Elevations and Materials			
Are buildings finished with materials that are natural, local, durable and appropriate to the character of the development?	х		
Are entrances visually prominent, accessible and recognizable?	х		
Are higher quality materials continued around building corners or edges that are visible to the public?	х		
Are a variety of materials used to create contrast, enhance the pedestrian environment and reduce the apparent mass of a building?	х		
Are elements other than colour used as the dominant feature of a building?	х		
Public and Private Open Space			1
Does public open space promote interaction and movement through the site?	х		
Are public and private open spaces oriented to take advantage of and protect from the elements?	х		
Is there an appropriate transition between public and private open spaces?	х		
Are amenities such as benches, garbage receptacles, bicycle stands and community notice boards included on site?	х		
Site Access			
Is the safe and convenient movement of pedestrians prioritized?	х		
Are alternative and active modes of transportation supported through the site design?	х		
Are identifiable and well-lit pathways provided to front entrances?	х		
Do paved surfaces provide visual interest?	х		
			_

COMPREHENSIVE DEVELOPMENT PERMIT AREA		NO	N/A
Is parking located behind or inside buildings, or below grade?			
Are large expanses of parking separated by landscaping or buildings?			х
Are vehicle and service accesses from lower order roads or lanes?	х		
Do vehicle and service accesses have minimal impact on the streetscape and public views?	х		
Is visible and secure bicycle parking provided in new parking structures and parking lots?	х		
Environmental Design and Green Building		•	
Does the proposal consider solar gain and exposure?		х	
Are green walls or shade trees incorporated in the design?	х		
Does the site layout minimize stormwater runoff?	х		
Are sustainable construction methods and materials used in the project?	х		
Are green building strategies incorporated into the design?	L	Unknown	
Decks, Balconies, Rooftops and Common Outdoor Amenity Space			
Are decks, balconies or common outdoor amenity spaces provided?	х		
Does hard and soft landscaping enhance the usability of decks, balconies and outdoor amenity spaces?	х		
Are large flat expanses of roof enhanced with texture, colour or landscaping where they are visible from above or adjacent properties?			х
Amenities, Ancillary Services and Utilities			
Are loading, garage, storage, utility and other ancillary services located away from public view?			
Are vents, mechanical rooms / equipment and elevator penthouses integrated with the roof or screened with finishes compatible with the building's design?			х
Landscape Development and Irrigation Water Conservation		•	•
Does landscaping:	-	-	-
 Compliment and soften the building's architectural features and mitigate undesirable elements? 	х		
 Maintain the dominant pattern of landscaping along the street and surrounding properties? 	х		
Enhance the pedestrian environment and the sense of personal safety?	х		
 Screen parking areas, mechanical functions, and garbage and recycling areas? 	Х		

COMPREHENSIVE DEVELOPMENT PERMIT AREA		NO	N/A
Respect required sightlines from roadways and enhance public views?	×		
Retain existing healthy mature trees and vegetation?			х
Use native plants that are drought tolerant?	×		
Define distinct private outdoor space for all ground-level dwellings?	х		
Do any fences and retaining walls create visual interest and enhance the pedestrian environment?	×		
Do parking lots have one shade tree per four parking stalls?		Х	
Does the Landscape Architect's Landscape Water Conservation Report:	-	-	-
 Meet the requirements for Landscape Water Budget calculations for the landscaped area? 	×		
 Indicate how the development complies with or varies from the Landscape Water Conservation Guidelines? 	х		
Landscape Water Conservation Guidelines			
Are plants grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas?	х		
Does at least 25% of the total landscaped area require no irrigation / watering?		х	
Does at least 25% of the total landscaped area require low water use?	х		
Does at most 50% of the total landscaped area require medium or high water use?		Х	
Is mulch cover provided for shrubs and groundcover to reduce soil evaporation?	×		
Do water features such as pools and fountains use recirculated water systems?			х
Do landscape installation standards meet the requirements of the BC Landscape Standard and / or the Master Municipal Construction Document?	х		
Are the required written declarations signed by a qualified Landscape Architect?	×		
Irrigation System Guidelines			
Is the Irrigation Plan prepared by a Qualified Professional?	х		
Are irrigation circuits grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas consistent with the landscaping plan?	х		
Is drip or low volume irrigation used?	х		
Are the required written declarations signed by a qualified Certified Irrigation Designer?	×		
Crime prevention			

COMPREHENSIVE DEVELOPMENT PERMIT AREA		NO	N/A
Are CPTED practices as related to landscaping, siting, form and exterior design included in the design?	х		
Are building materials vandalism resistant?		Unknown	
Universal Accessible Design			
Is access for persons with disabilities integrated into the overall site plan and clearly visible from the principal entrance?	х		
Are the site layout, services and amenities easy to understand and navigate?	х		
Lakeside Development			•
Are lakeside open spaces provided or enhanced?			Х
Are lake views protected?			х
Does lakeside development act as a transition between the lake and inland development?			х
Signs			
Do signs contribute to the overall quality and character of the development?			х
Is signage design consistent with the appearance and scale of the building?			х
Are signs located and scaled to be easily read by pedestrians?			х
For culturally significant buildings, is the signage inspired by historical influences?			х
Lighting		•	•
Does lighting enhance public safety?	х		
Is "light trespass" onto adjacent residential areas minimized?	х		
Does lighting consider the effect on the façade, neighbouring buildings and open spaces?	х		
Is suitably scaled pedestrian lighting provided?	х		
Does exterior street lighting follow the International Dark Sky Model to limit light pollution?	w the International Dark Sky Model to limit light Unknown		n

5.0 Technical Comments

5.1 <u>Development Engineering Department</u>

See Attachment A: City of Kelowna Memorandum

6.0 Application Chronology

Date of Application Accepted: March 17, 2021
Date Public Consultation Completed: May 28, 2021
Date of Rezoning Initial Consideration (Rental subzone): June 14, 2021
Date of Rezoning Adoption (Rental subzone): August 9, 2021

Report prepared by: Kimberly Brunet, Planner II

Reviewed by: Jocelyn Black, Urban Planning Manager

Reviewed by: Terry Barton, Development Planning Department Manager

Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: City of Kelowna Memorandum

Attachment B: Applicant's Letter of Rationale

Attachment C: Draft Development Permit and Development Variance Permit No. DP21-0112 DVP21-0113

Schedule A: Site Plan

Schedule B: Floorplans, Elevations and Materials/Colour Board

Schedule C: Landscape Plan

CITY OF KELOWNA

MEMORANDUM

Date: May 25, 2021

File No.: DP21-0112

To: Suburban and Rural Planning (AT)

From: Development Engineering Manager (RO)

Subject: 155 Bryden Rd Form and Character

The Development Engineering Branch has the following comments and requirements associated with this Development Permit application for the form and character of a multiple dwelling housing development. All road and utility upgrades outlined in this report will be required at time of Building Permit. The Development Engineering Technician for this project is Sarah Kelly (skelly@kelowna.ca).

1. **GENERAL**

- a. This proposed development may require the installation of centralized mail delivery equipment. Please contact Arif Bhatia, Delivery Planning Officer, Canada Post Corporation, 530 Gaston Avenue, Kelowna, BC, V1Y 2K0, (250) 859-0198, arif.bhatia@canadapost.ca to obtain further information and to determine suitable location within the development.
- b. The following requirements are valid for two (2) years from the reference date of this memo, or until the application has been closed, whichever occurs first. The City of Kelowna reserves the rights to update/change some or all items in this memo once these time limits have been reached.
- c. These offsite infrastructure and services upgrading requirements are in addition to those previously identified in the Development Engineering Report for rezoning under file number Z18-0027. Offsite civil design drawings which were Issued for Construction on May 17, 2019 are to be reviewed for any necessary revisions.
- d. There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.
- e. These Development Engineering comments/requirements are subject to the review and requirements from the Ministry of Transportation and Infrastructure (MoTI).

2. DOMESTIC WATER AND FIRE PROTECTION

- a. The property is located within the Black Mountain Irrigation District (BMID) service area. The developer is required to make satisfactory arrangements with BMID for all water and fire protection-related issues. All charges for service connection and upgrading costs, as well as any costs to decommission existing services, shall be the responsibility of the developer.
- b. The Developer's Consulting Mechanical Engineer will determine the fire protection requirements of this proposed development and establish hydrant requirements and service needs. All fire flow calculations approved by BMID are to be shared with the

Page 2

Development Engineering Branch upon submittal of off-site civil engineering drawings.

c. The water system must be capable of supplying the domestic and fire flow demands of the project in accordance with the Subdivision, Development, & Servicing Bylaw No. 7900. Provide water flow calculations for this development to confirm bylaw conformance (150 L/s for apartments/townhouses). Ensure building site is located at an elevation that ensures water pressure is within the bylaw pressure limits. Note: Private pumps are not acceptable for addressing marginal pressure.

3. SANITARY SEWER

a. Our records indicate the subject lot currently has three service connections. Only one service will be permitted for each legal lot additional services must be removed. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. The applicant, at their cost, will arrange for the removal and disconnection of the existing services and installation of one new larger service, if necessary.

4. STORM DRAINAGE

- a. The property is located within the City of Kelowna drainage service area. The City Engineer may permit use of individual ground water disposal systems, where soils are suitable. For on-site disposal of drainage water, a hydrogeotechnical report will be required complete with a design for the disposal method (i.e. trench drain / rock pit). The Lot Grading Plan must show the design and location of these systems for each lot.
- b. Provide the following drawings:
 - (i) A detailed Lot Grading Plan (indicate on the Lot Grading Plan any slopes that are steeper than 30% and areas that have greater than 1.0 m of fill);
 - (ii) A detailed Stormwater Management Plan for this subdivision; and,
 - (iii) An Erosion and Sediment Control Plan is to be prepared by a Professional Engineer proficient in the field of erosion and sediment control. The plan is to be prepared as per section 3.14 of Schedule 4 of Bylaw 7900. If a line item for ESC is not included in the Engineer's cost estimate for off-site work, then an additional 3% will be added to the performance security based on the total off-site construction estimate.
- c. On-site detention systems are to be compliant with Bylaw 7900, Schedule 4, Section 3.11.1 Detention Storage.
- d. As per Bylaw 7900, Schedule 4, Section 3.1.3 Climate Change, the capacity of storm works will include an additional 15 percent (15%) upward adjustment and applied to the rainfall intensity curve stage (IDF) in Section 3.7.2.
- e. Register right of ways on private properties for all the storm water infrastructure carrying, conveying, detaining and/or retaining storm water that is generated from the public properties, public road right of ways, and golf course lands.

Page 3

f. Where structures are designed or constructed below the proven high groundwater table, permanent groundwater pumping will not be permitted to discharge to the storm system. The City will approve designs that include provisions for eliminating groundwater penetration into the structure, while addressing buoyancy concerns. These design aspects must be reviewed and approved by the City Engineer.

5. ROAD IMPROVEMENTS AND SITE ACCESS

- a. Bryden Road must be upgraded to an urban standard (SS-R5) along the full frontage of the subject property; including curb and gutter, sidewalk, fillet paving, LED street lighting, landscaped and irrigated boulevard, storm drainage system, pavement removal and replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.
- b. Highway 33 must be upgraded consistent with boulevard to the east along the full frontage of the subject property; including separated 1.8m wide sidewalk, LED street lighting, landscaped and irrigated boulevard, removal of existing driveway letdown, and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.
- c. A new concrete wheelchair letdown, design as per City of Vancouver Standard Detail C8.3, is to be installed for east-west crossing at corner of Bryden Rd & Highway 33 with construction of new sidewalk.
- d. Existing mature trees within Highway 33 boulevard are not to be removed and will require tree protection barriers and signage as per Municipal Properties Tree Bylaw No. 8042 for entire duration of construction.
- e. All Landscape and Irrigation plans require design and inspection by a Qualified Professional registered with the BCSLA and the IIABC. Landscape and irrigation plans require approval by the Development Engineering Branch at the same time as other "issued for construction" drawings.
- f. Streetlights must be installed on all roads. All streetlighting designs are to be approved by the Development Engineering Branch at the same time as other "issued for construction" drawings.
- g. The City requests that the Developer arrange for the design and construction of upgrades to 1010-1012 HWY 33 W, including curb and gutter and fillet paving along the Bryden Rd frontage. Based on the developer's Consulting Civil Engineers cost estimate, the City will agree to pay for these frontage upgrades. Please contact the Development Technician, Sarah Kelly (skelly@kelowna.ca), for more information.

6. POWER AND TELECOMMUNICATION SERVICES

- a. All proposed service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.
- b. If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

Page 4

7. GEOTECHNICAL REPORT

a. The Development Engineering Branch has received a copy of the *Kelowna Christian Centre Condos Geotechnical Assessment Report* prepared by Ecora and dated November 8th, 2018. If any further or amended version of this report has been created or is required, please share these reports with the Development Engineering Branch.

8. DESIGN AND CONSTRUCTION

- a. Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- Engineering drawing submissions are to be in accordance with the City's
 "Engineering Drawing Submission Requirements" Policy. Please note the number of
 sets and drawings required for submissions.
- c. Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d. A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e. Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

9. SERVICING AGREEMENT FOR WORKS AND SERVICES

- a. A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b. Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.
- c. A Servicing Agreement was executed in May 2019. The applicant's Consulting Civil Engineer will be required to submit a new official estimate of total offsite construction cost to reflect current costs for review by the Development Engineering Branch, at which time it will be determined whether additional security or fee payments are required.

Page 5

10. CHARGES, FEES, AND SECURITIES

- a. Development Cost Charges (DCC's) are payable.
- b. Fees per the "Development Application Fees Bylaw" include:
 (i) Street Marking/Traffic Sign Fees: at cost (to be determined after design).
 (ii) Survey Monument Replacement Fee (if disturbed): \$1,200.00 (GST exempt)
 (iv) Engineering and Inspection Fee: 3.5% of construction value (plus GST)

Ryan O'Sullivan **Development Engineering Manager**

SK





ATTACHMENT B
This forms part of application
DP21-0112 DVP21-0113
City of
Planner KB
Kelowna

March 8, 2021

Community Planning City of Kelowna 1435 Water Street Kelowna, BC V1Y 1J4

Dear Mr. Thibault,

RE: Development Permit Application – 155 Bryden Road

Please find attached the application for a multiple unit Development Permit for a residential development consisting of two 6-storey apartment buildings with 192 purpose-built market rental units. The proposed project is located on approximately 2.52 acres within the Rutland Urban Center of Kelowna, at Bryden Road and Highway 33. The buildings will be comprised of one-, two- and three-bedroom units in a variety of sizes and floor plans to provide a long term cost-effective housing solution to Rutland residents while adding population density in the Urban Centre.

The buildings have a bold west-coast design, combining white-washed cedar and dark wood-coloured cement-fiber board paneling, and finished with a dramatic butterfly roofline and accented siding and trim. The siting of the buildings on the lot has been planned to maximize open space and outdoor recreational areas. The landscaping has been designed both to facilitate pedestrian access throughout the site, and to present pleasing, well-treed street frontages. With their high-quality design and landscaping, the buildings will act as a positive visual landmark for the neighborhood, adding aesthetic appeal and diversity to the neighborhood.

Providing housing within the Rutland Urban Centre is a mandate of the present Council, and the proposed infill project will provide efficient use of land, while contributing to a healthy housing mix. The project will increase population density within easy access of public transportation services, and within close distance of parks, schools, restaurants, events, and community amenities, to promote walking and biking. The development is steps away from Ben Lee Park, a fabulous amenity for residents. The proposed project strongly supports the Official Community Plan (OCP).

To maximize alignment to policy, a textual amendment to the current zoning was suggested by the Kelowna staff to ament the current zone (RM5 – Medium Density Multiple Housing) to RM5r – Medium Density Multiple Housing (Residential Rental Tenure Only) since our application is for purpose-built rental. The zoning amendment application was submitted February, 2021.

The benefit of the residential rental tenure zone, is that the parking requirements can be reduced by 20% through a development permit variance request. Through this development permit application, we request that our parking requirement be reduced as it will enable a landscape plan that prioritizes pedestrian safety and dramatically increases the amount of open green space available for recreation purposes.

The current zoning allows for a maximum height as the 'lesser of 18m or 4.5 storeys'. We are requesting a variance in height from 4.5 storeys to 6 storeys. Through effective design, the buildings will be able to embody 6 stories without significantly increasing the allowable measured height of the buildings, which are

1



projected to stand at 18.45 and 18.8 m. Through this variance, the compact design provides a more efficient use of land and aligns to the scale of the neighborhood. Recent residential developments in the Hwy 33 corridor reflect increased density, including Aurora Crescent, Cambridge House, and Central Green. Beyond these recent buildings, there are also pre-existing 4, 5, & higher-storey structures within the residential block of this location.

Overall, the project supports the objectives of the OCP. It will also be a benefit to the community and residents by providing a pleasant streetscape. The location will allow residents to enjoy close community amenities, walkable activities, and everything the Rutland area offers. The proposed development aligns also to the Multiple Unit Development Permit Area design guidelines. Specific details on form and character, signage, siting, landscaping and screening, lighting and parking included in our proposal are as follows:

A. Form and Character

The form and character of the development is consistent with the development permit guidelines for this area by providing a varying scale throughout the development by way of varying building massing and form typologies. The buildings utilize similar high-quality materials to create a cohesive development, although the juxtaposition and variation of these materials creates visual interest and eliminates any monotony. The design and finish of the proposed buildings is compatible with the existing neighbourhood through the use of complementary colours and materials, in a natural 'west-coast' palette. The buildings have clearly defined entry points, enhanced with accented siding and protruding canopies to identify their location. The buildings also have plentiful balconies and windows overlooking the sidewalks and open areas to engage the public realm and increase public safety through 'natural surveillance'.

B. Signage

The signage for the development will be located directly on the building facade to identify the building. Lighting will be directed to only illuminate the signage when required. All signage will be consistent with the architectural style of the development.

C. Siting, Landscaping and Screening

The project will create a pedestrian-friendly landscape that is both safe and enjoyable. The building footprints have been minimized to maximum the open, recreational green space on the property. The building placement addresses neighbouring sites, solar paths and view corridors along the site, as well as access to the development and vehicular movement within the site. Multiple sidewalks allow for easy pedestrian passage throughout the site and increase pedestrian safety. There is only one clearly-marked vehicle entrance to the small surface parking lot and underground parkade, limiting vehicle passage within the site itself.

Enjoying the pleasant outdoor climate of the Okanagan is a priority for planning in this development. Each unit will be accessible from a common entryway and vestibule and will have private amenity space in the form of a balcony or patio. Additionally, rooftop public amenity space is planned for both buildings, with views toward Okanagan Lake and Okanagan Mountain Park. Other lifestyle amenities contemplated include a fitness area, dog park and pet recreation, dog wash, relaxation areas, and resident storage. Planning for the development is aimed at a lifestyle for long-term rental residents.



The landscaping and screening has been designed by a registered Landscape Architect, which incorporates appropriate plant species and locations for the area of the development. The refuse service area will be hidden by landscaping, to mitigate impacts on public view and noise pollution. The design and layout of the proposed development incorporates many elements of CPTED (Crime Prevention Through Environmental Design), including natural surveillance, access control, territorial reinforcement and maintenance. Security cameras, secure tenant access, generous lighting, and activated building faces have all been contemplated. An active property manager and welcoming lobby environment will also add to the comfort of all residents within the development.

D. Lighting

All lighting will be full cut off luminaries. The building will have soffit lighting that operates on a solar activated lens, and provides a warm glow to the underside of the roof line. Lighting will be provided at the entry canopies of the apartment by way of solar activated soffit lighting. The parking area will be lit with full cut off light standards providing security and safety at night.

E. Parking

The parking within the development consists of one large underground parkade, as well as a small surface lot. Short term bicycle parking is located at bike racks outside, while long term secure bicycle parking is provided within the underground parkade. Handicap and visitor stalls are provided as required, as well as stalls dedicated to electric vehicles. The parkade also houses the electrical and mechanical rooms.

The proposed project generally conforms to the zoning and development permit bylaws, though specific variances have been requested, as previously described, which will enhance the development. The project will help fulfill the goals for the Rutland Urban Centre outlined in the OCP, and contribute towards a vibrant neighbourhood. Should you require and further information or clarification, please do not hesitate to contact me.

Sincerely,

Architect AIBC, LEED AP



Kelow

Development Permit & Development Variance Permit No. DP21-0112 DVP21-0113

This permit relates to land in the City of Kelowna municipally known as

155 Bryden Road

and legally known as

LOT A SECTION 27 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN EPP85221

and permits the land to be used for the following development:

Multiple Dwelling Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u> November 16, 2021

Decision By: COUNCIL

<u>Development Permit Area:</u> Comprehensive and Revitilization Development Permit Areas

Existing Zone: RM5r - Medium Density Multiple Housing (Residential Rental Tenure Only)

Future Land Use Designation: MRM – Multiple Unit Residential (Medium Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1297889 BC LTD., INC.NO. BC1297889

Applicant: WestUrban Developments Ltd.

Planner: K. Brunet

Terry Barton
Community Planning Department Manager

Planning & Development Services

Date

SCOPE OF APPROVAL

ATTACHMENT C
This forms part of application
DP21-0112 DVP21-0113
City of
Planner

This Development Permit applies to and only to those lands within the Municipality as described above land all buildings received above structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

AND THAT variances to the following section of the Zoning Bylaw No. 8000 be granted:

Section 13.11.6(c): RM5 – Medium Density Multiple Housing Development Regulations

To vary the required maximum height from 18.0 m or 4.5 storeys permitted to 18.8 m or 6 storeys proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit OR certified cheque in the amount of \$484,479.19

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.

RUTLAND APARTMENTS

KELOWNA, BC

PREPARED BY THUJA ARCHITECTURE STUDIO LTD.



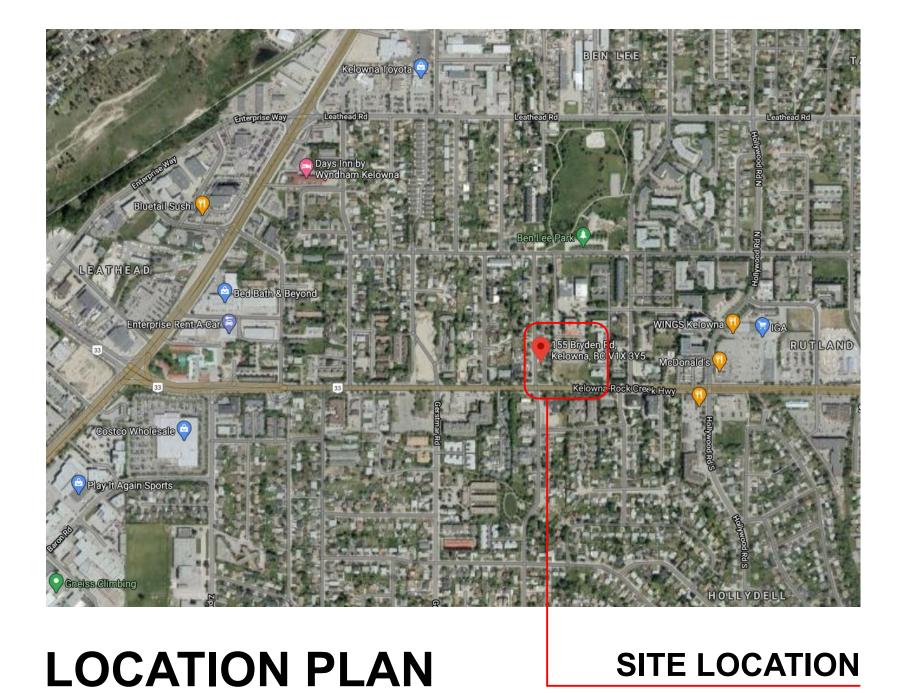
SEPTEMBER 2021

SET NO.

ISSUED FOR DEVELOPMENT PERMIT











CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.

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SCHEDULE

This forms part of application # DP21-0112 DVP21-0113

Kelowna DEVELOPMENT PLANNING



architecture + design

Tanis Frame Architect AIBC LEED AP PO Box 1326 Cumberland BC VOR 1S0 T: 250.650.7901 E:info@thujaarchitecture.ca

ISSUED FOR DP
REVISED FOR DP
REVISED
REISSUED FOR DP

MAR. 2 2021 APR. 06 2021 AUG. 13 2021 AUG. 25 2021 SEPT. 22 2021







RUTLAND APARTMENT 155 BRYDEN RD, KELOWNA

LOCATION / CONTEXT PHOTOS

SCALE	AS NOTED	PROJECT NO.	
DATE		DRAWN BY	TF,SW
SHEET			





PROJECT DATA

LEGAL ADDRESS: PLAN EPP85221 LOT A SECTION 27 TOWNSHIP 26

CIVIC ADDRESS:

155 BRYDEN, RUTLAND, BC

ZONING:

RM5R - MEDIUM DENSITY MULTIPLE HOUSING (RENTAL)

UNIT COUNTS PER BLDG:

TOTAL UNITS BOTH BLDGS: 32

REQUIRED

6.0M

9.0M

7.0M

6.0M

REQUIRED: 0.9 PER BACHELOR UNIT (*12) 10.8

0.14 PER UNIT

ACCESSIBLE STALLS

SHORT TERM: 6 PER BLDG + 10

VAN- ACCESSIBLE STALLS

SMALL CAR (50% ALLOWABLE)

REQUIRED: 0.75 PER 2 BED UNIT OR LESS (*180)

1.0 PER 3 BED OR MORE (*12)

LONG TERM (IN BLDG):

1.0 PER 1 BED UNIT (*84)

1.25 PER 2 BED UNIT (*84)

1.50 PER 3 BED UNIT (*12)

STUDIO BEDROOM

ONE BEDROOM

TWO BEDROOM

TOTAL

SETBACKS

FRONT (WEST)

REAR (EAST)

SIDE (NORTH)

SIDE (SOUTH)

TOTAL

LESS 20%

BICYCLE PARKING:

TOTAL

PROVIDED:

PROVIDED: STANDARD:

PARKING:

TOTAL

THREE BEDROOM

2ND-6TH

1 (*5)

7 (*5)

7 (*5)

1 (*5)

BLDG B

9.0M

12.74M

7.59M

244.8

195.84

160

BLDG A

47.8M

9.7M

6.62M

BUILDING

42

42

192

LOT SIZE 10,239 SQ.M.

BUILDING AREA:

PROPOSED FOOTPRINT: 1355.6 SQ.M.(*2) = 2711.2 SQ.M.

PARKADE AREA: 4505.5 SQ.M. **FLOOR AREAS:** 1021.2 SQ.M. MAIN 1021.2 SQ.M. SECOND THIRD 1021.2 SQ.M. 1021.2 SQ.M. **FOURTH** 1021.2 SQ.M. FIFTH

SIXTH 1021.2 SQ.M. 6127.2 SQ.M. EXCLUDING PARKADE TOTAL (NET)

COMMON (MAIN) 240.0 SQ.M. COMMON (SECOND) 240.0 SQ.M. COMMON (THIRD) 240.0 SQ.M. COMMON (FOURTH) 240.0 SQ.M. 240.0 SQ.M. COMMON (FIFTH)

COMMON (SIXTH) 240.0 SQ.M. TOTAL 1440 SQ.M. EXCLUDING PARKADE 7567.2 SQ.M. EXCLUDING PARKADE TOTAL (GROSS)

TOTAL NET FLOOR AREA: 6127.2 SQ.M.*2 = 12254.4 SQ.M.

FLOOR AREA RATIO: MAXIMUM: 1.3

PROPOSED: 1.2

DENSITY: PROPOSED: 192 UNITS

SITE COVERAGE: ALLOWABLE: 40%

PROPOSED: 26.5%

PARKING AREAS / DRIVE AISLES: 1553.2 SQ.M

SITE COVERAGE INCL. PARKING & DRIVEWAYS: **ALLOWABLE: 65%**

PROPOSED: 41.6%

AMENITY SPACE:

7.5 SQ.M. FOR STUDIO (*12) = 15 SQ.M. FOR 1 BEDROOMS (*84) = 1260 SQ.M. 25 SQ.M. FOR 1+ BEDROOM (*96) = 2400 SQ.M. TOTAL REQ'D AMENITY SPACE:

TOTAL PROVIDED:

DECKS / PATIOS: 1134 SQ.M. INDOOR AMENTY SPACE: 225 SQ.M. (*2) = 450 SQ.M.

OUTDOOR AMENITY SPACE: +/- 2780 SQ.M. 4364 SQ.M.

BUILDING HEIGHT:

ALLOWABLE: LESSER OF 18M OR 4.5 STOREYS PROPOSED: (TO BE CONFIRMED) BUILDING A: 18.8M BUILDING B: 18.45M

CONSULTANT LIST

DEVELOPER/OWNER WESTURBAN DEVELOPMENTS LTD.

Sean Roy, CEO

111-2036 South Island Hwy, Campbell River, BC V9W 0E8

250.914.8485 sroy@westurban.ca

ARCHITECT

THUJA ARCHITECTURE STUDIO LTD.

Tanis Frame, Architect AIBC, LEED AP PO Box 1326 Cumberland BC VOR 1S0

250.650.7901

info@thujaarchitecture.ca

DRAWING INDEX

LOCATION & CONTEXT PHOTOS

PR3

PR4 FLOOR PLANS & ROOF PLAN

PR5 **UNIT PLANS**

PR8

PR7 **BUILDING B ELEVATIONS** CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING

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MAR. 2 2021 ISSUED FOR REVIEW

ISSUED FOR DP REVISED FOR DP **REVISED**

AUG. 25 2021 REISSUED FOR DP SEPT. 22 2021

APR. 06 2021

AUG. 13 2021



RUTLAND APARTMENT

155 BRYDEN RD, KELOWNA

SCHEMATIC SITE PLAN

SCALE AS NOTED

DRAWNBY TF/SW



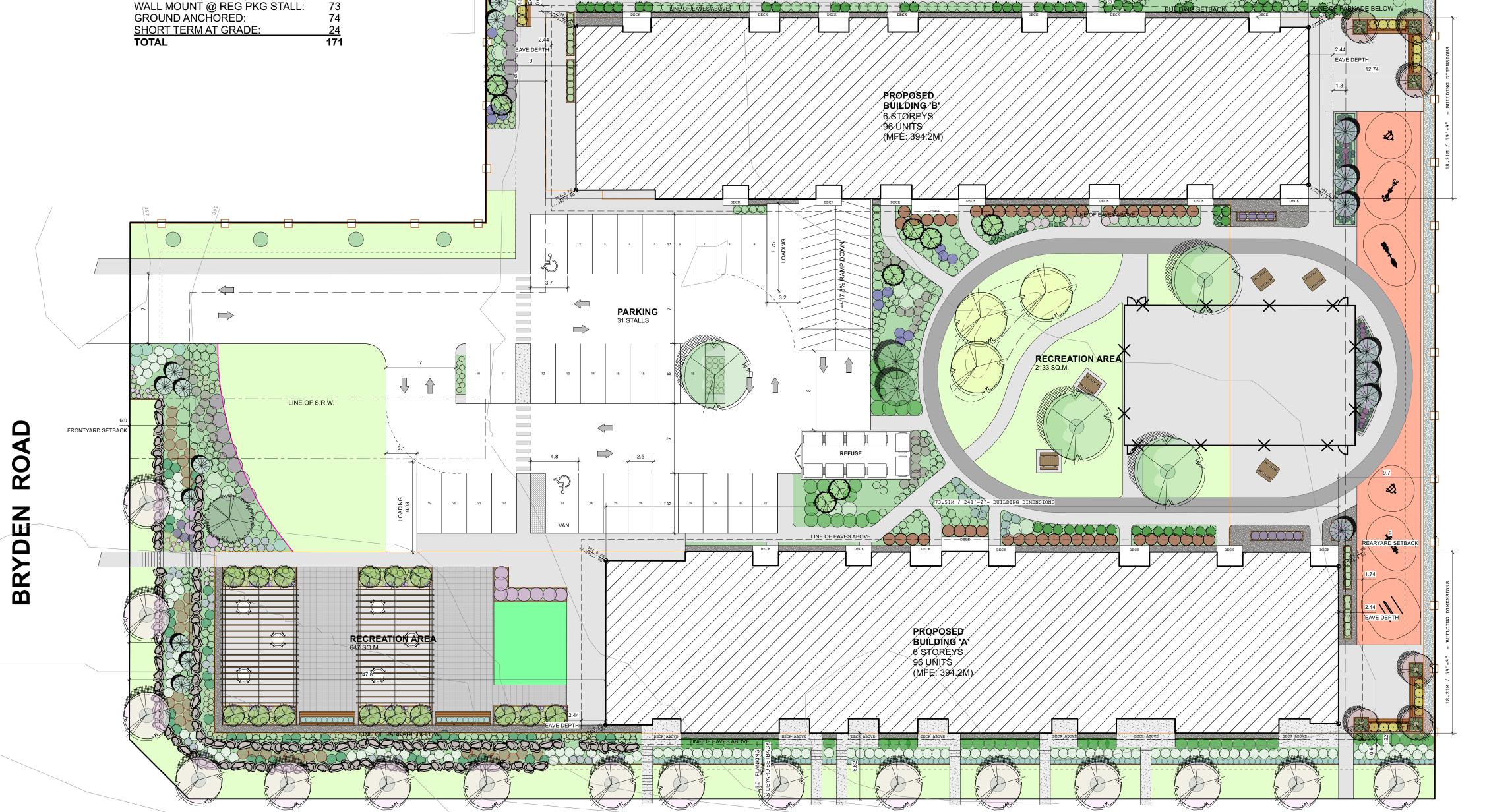
PR2 SITE PLAN & PROJECT DATA

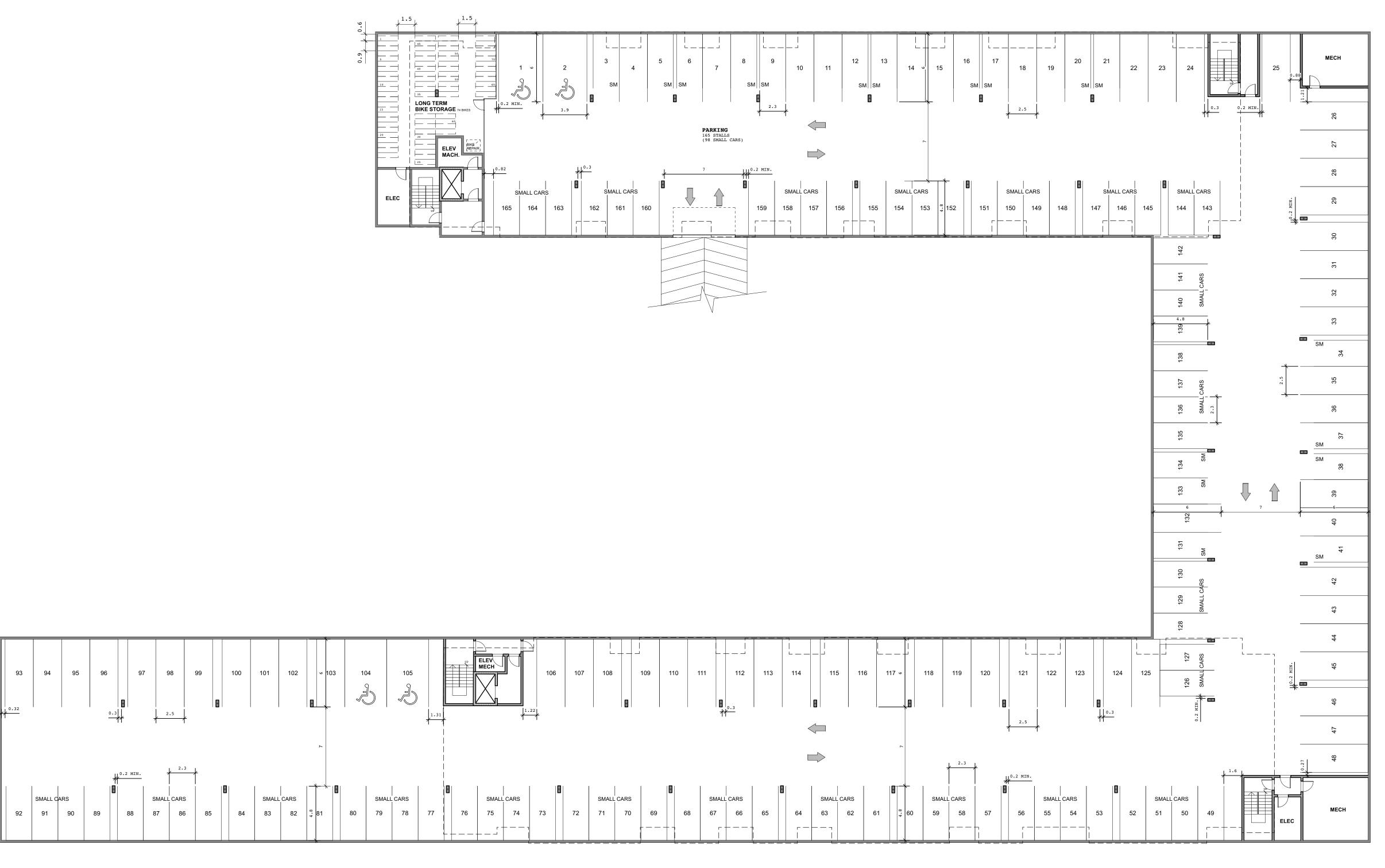
PARKADE PLAN

PR6 **BUILDING A ELEVATIONS**

MATERIALS

LANDSCAPE ARCHITECT LAZZARIN SVISDAHL LANDSCAPE ARCHITECTS Laurelin Svisdahl 202-1300 St Ave, Prince George BC, V2L 2Y3 250.563.6158 laurelin.la@outlook.com





PARKADE PLAN SCALE: 1/16"=1'-0"

CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING

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ISSUED FOR REVIEW MAR. 2 2021 ISSUED FOR DP REVISED FOR DP REVISED REISSUED FOR DP



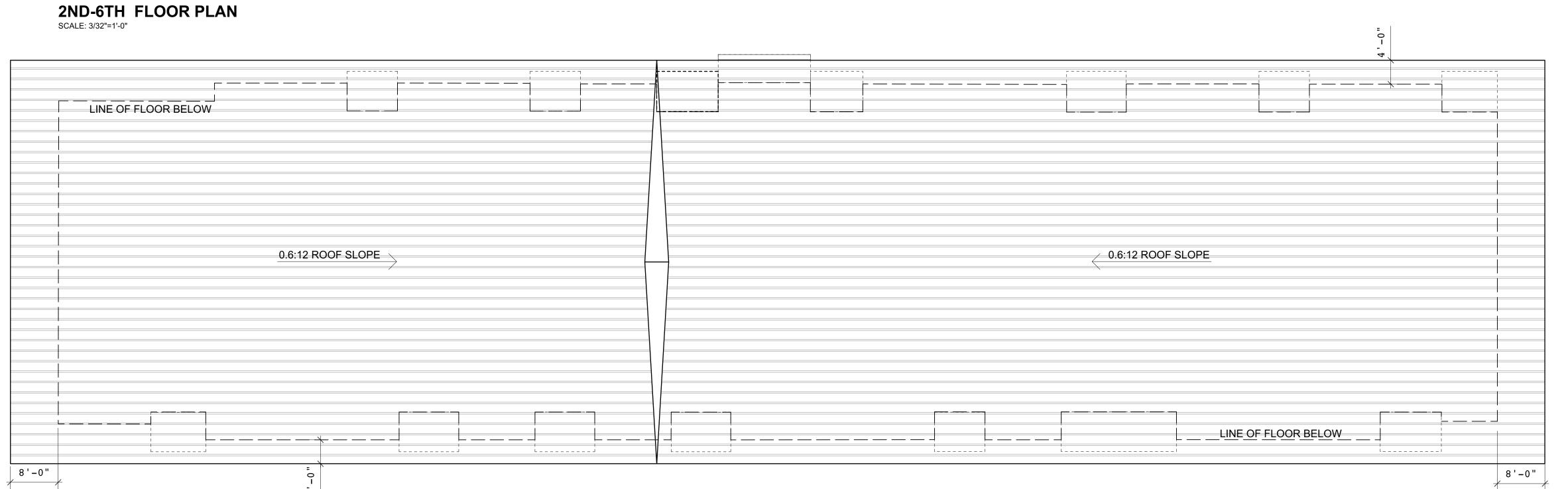
RUTLAND APARTMENT 155 BRYDEN RD, KELOWNA

PARKADE PLAN

SCALE AS NOTED DRAWNBY TF,SW



MAIN FLOOR PLAN SCALE: 3/32"=1'-0" 241'-2" BUILDING DIMENSION **AMENITY**



CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING

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APR. 06 2021 AUG. 13 2021

AUG. 25 2021

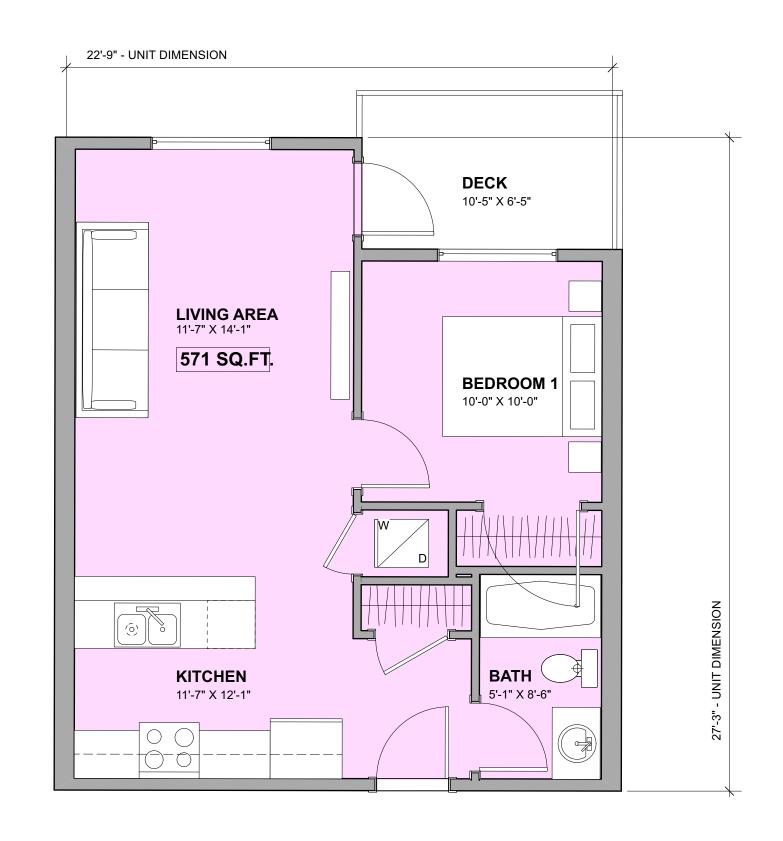
ISSUED FOR REVIEW MAR. 2 2021 ISSUED FOR DP **REVISED FOR DP** REVISED REISSUED FOR DP SEPT. 22 2021

SCHEDULE This forms part of application # DP21-0112 DVP21-0113 Planner Initials KB

RUTLAND APARTMENT 155 BRYDEN RD, KELOWNA

FLOOR PLANS

SCALE AS NOTED DRAWNBY TF,SW



DECK
8-10" X 6"-5"

LIVING AREA
12-0" X 14"-5"

T94 SQ.FT,

BEDROOM 1
8-9" X 10-9"

WALK-IN
8-9" X 5-0"

KITCHEN
11"-2" X 11"-7"

BATH
8-9" X 5-0"

WALK-IN
11"-2" X 11"-7"

BATH
8-9" X 5-0"

WALK-IN
11"-2" X 11"-7"

BATH
8-9" X 5-0"

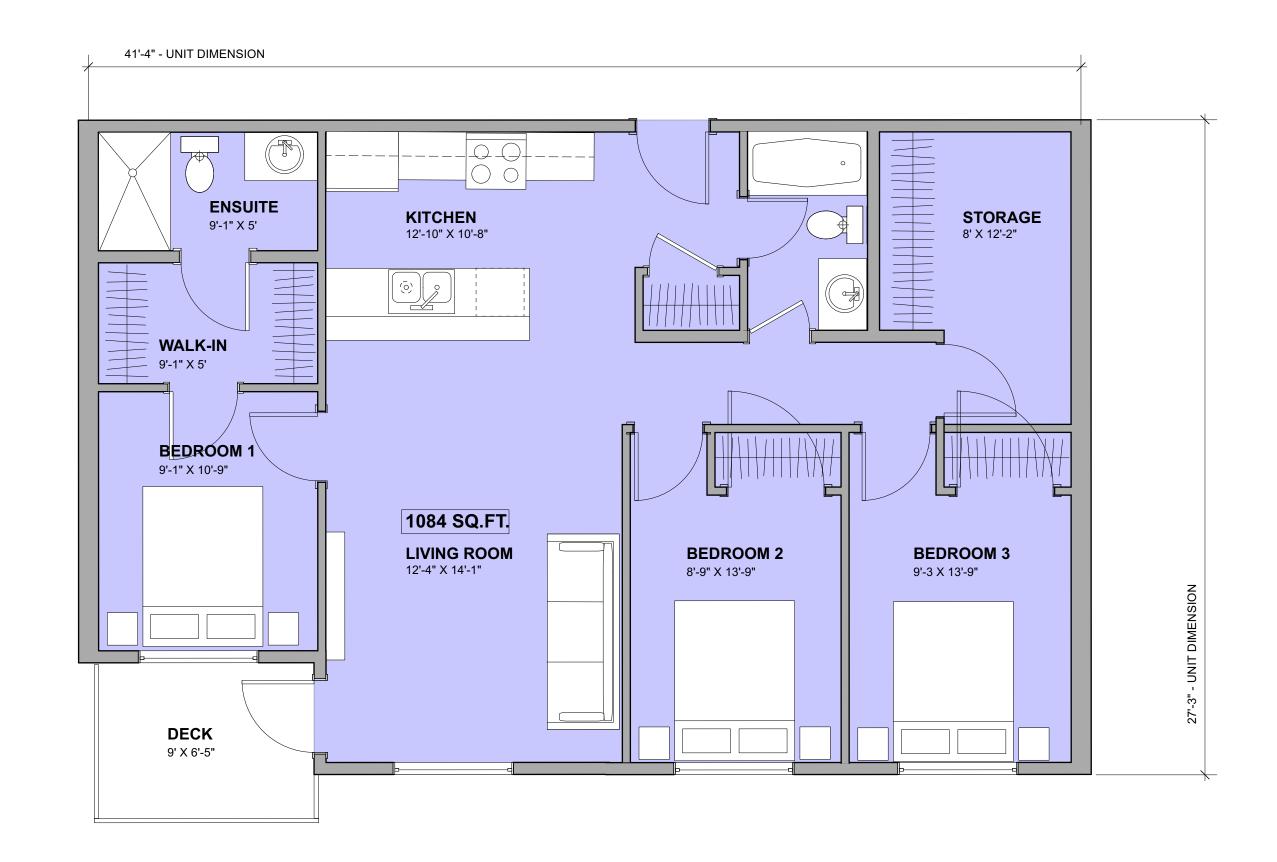
IN TORNAMO LIVIN 1-2" X 11"-7"

BATH
11"-2" X 11"-7"

ONE BEDROOM - "A"

TWO BEDROOM - "B"

30'-8" - UNIT DIMENSION







STUDIO - "D"

CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.

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DATE

APR. 06 2021

AUG. 13 2021 AUG. 25 2021

SEPT. 22 2021

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REVISED FOR DP
REVISED
REISSUED FOR DP

SCHEDULE

This forms part of application

DP21-0112 DVP21-0113

City of

Planner Initials

KB

PROJECT

RUTLAND APARTMENT 155 BRYDEN RD, KELOWNA

DRAWING

TYPICAL UNIT PLANS

DATE

AS NOTED

PROJECT NO. ____

DRAWN BY TF/S W

PR5



_ . __ . __ . __ . __ . __

SIXTH FLOOR T.O PLY
407.95

SECOND FLOOR T.O. PLY
396.95

TOP OF ROOF 413.79

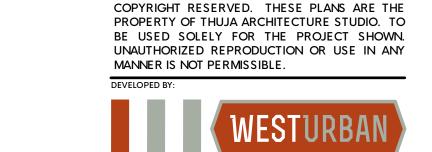
SIXTH FLOOR T.O PLY

THIRD FLOOR T.O. PLY
399.7

SECOND FLOOR T.O. PLY
396.95

MAIN FLOOR T.O. PLY
394.2

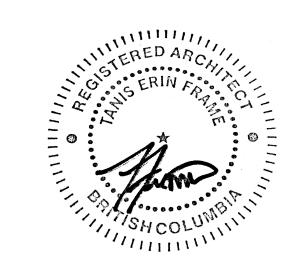
FIFTH FLOOR T.O PLY
405.2



111-2036 Island Hwy S Campbell River, BC V9W 0E8

CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR

TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING



MATERIAL LEGEND

- (1) FIBRE CEMENT LAP SIDING -TRUE GRAIN SERIES 'WEATHERED WOOD'
- (2) FIBRE CEMENT LAP SIDING -
- TRUE GRAIN SERIES 'NIGHT RIDER'
- (3) FIBRE CEMENT LAP SIDING -
- TRUE GRAIN SERIES 'SHOU SUGI BAN'
- (4) SOFFIT BLACK PERFORATED ALUMINUM
- (5) FASCIA BLACK FIBRE CEMENT
- 6) RAILINGS BLACK ALUMINUM
- (7) VINYL WINDOWS BLACK
- (8) WOOD POST & BEAM BLACK
- (9) FIBRE CEMENT LAP SIDING ACCENT IN
- 'COUNTRY LANE RED' 10 FIBRE CEMENT LAP SIDING ACCENT IN
- 'DEEP OCEAN'
- (11) FIBRE CEMENT PANELS IN IRON GREY
- (12) ROOFING SBS 2 PLY MEMBRANE BLACK



Tanis Frame Architect AIBC LEED AP PO Box 1326 Cumberland BC VOR 1S0 T: 250.650.7901 E:info@thujaarchitecture.ca

ISSUED FOR REVIEW ISSUED FOR DP REVISED FOR DP REVISED REISSUED FOR DP

MAR. 2 2021 APR. 06 2021 AUG. 13 2021 AUG. 25 2021 SEPT. 22 2021

SCHEDULE This forms part of application # DP21-0112 DVP21-0113 Kelowna DEVELOPMENT PLANNING Planner Initials KB

RUTLAND APARTMENT 155 BRYDEN RD, KELOWNA

PROPOSED ELEVATIONS **BUILDING A**

SCALE AS NOTED DRAWNBY TF,SW

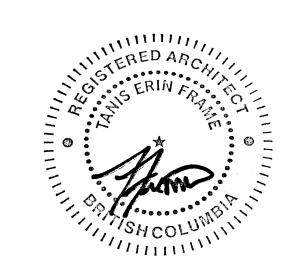




CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING

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MATERIAL LEGEND

3 11

3

8 6

- (1) FIBRE CEMENT LAP SIDING -TRUE GRAIN SERIES 'WEATHERED WOOD'
- (2) FIBRE CEMENT LAP SIDING -
- TRUE GRAIN SERIES 'NIGHT RIDER' (3) FIBRE CEMENT LAP SIDING -
- TRUE GRAIN SERIES 'SHOU SUGI BAN'
- (4) SOFFIT BLACK PERFORATED ALUMINUM
- (5) FASCIA BLACK FIBRE CEMENT (6) RAILINGS - BLACK ALUMINUM
- (7) VINYL WINDOWS BLACK
- (8) WOOD POST & BEAM BLACK
- 9) FIBRE CEMENT LAP SIDING ACCENT IN
- 'COUNTRY LANE RED'
- (10) FIBRE CEMENT LAP SIDING ACCENT IN 'DEEP OCEAN'
- (11) FIBRE CEMENT PANELS IN IRON GREY
- (12) ROOFING SBS 2 PLY MEMBRANE BLACK



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ISSUED FOR REVIEW ISSUED FOR DP REVISED FOR DP REVISED

REISSUED FOR DP

MAR. 2 2021 APR. 06 2021 AUG. 13 2021 AUG. 25 2021 SEPT. 22 2021

SCHEDULE This forms part of application # DP21-0112 DVP21-0113

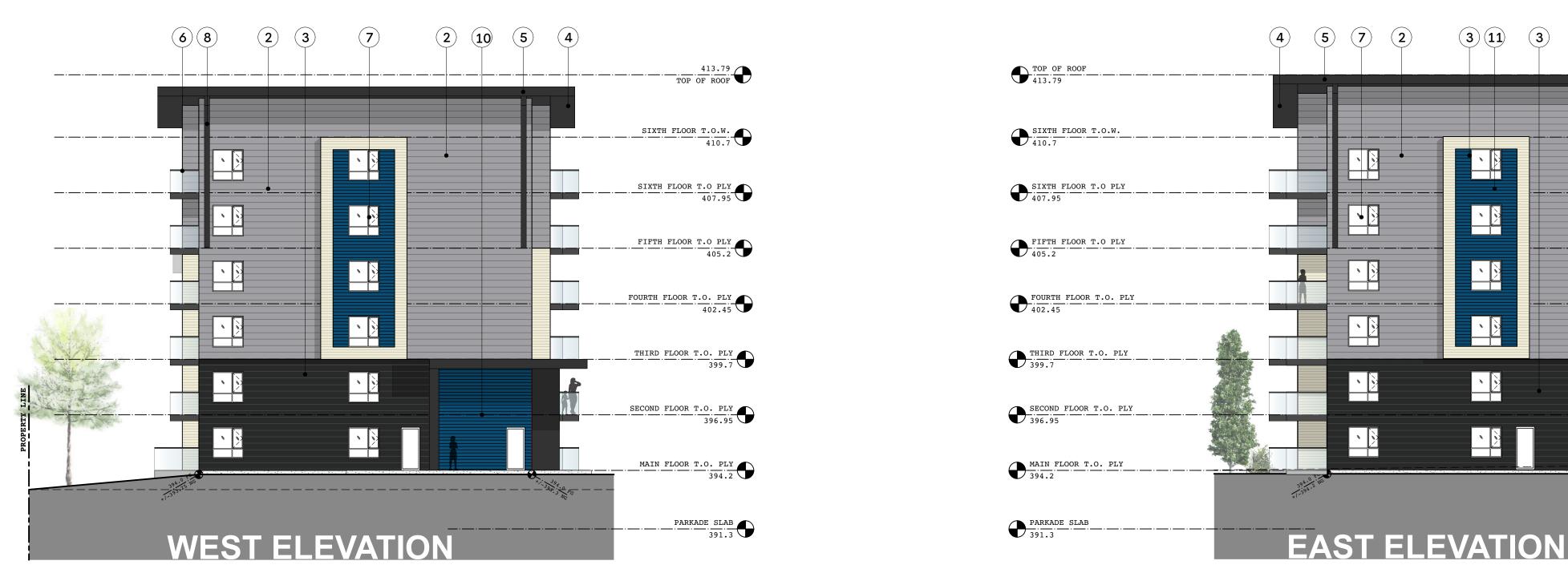


RUTLAND APARTMENT 155 BRYDEN RD, KELOWNA

PROPOSED ELEVATIONS

BUILDING B

PROJECT NO. SCALE AS NOTED DRAWNBY TF,SW

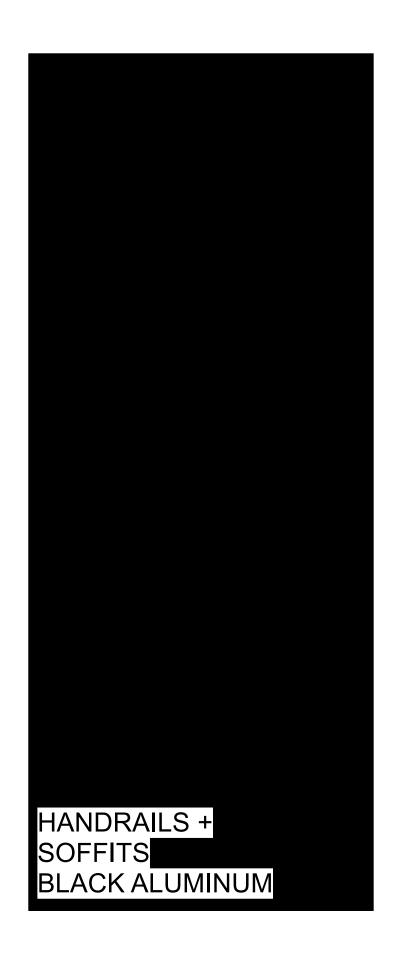


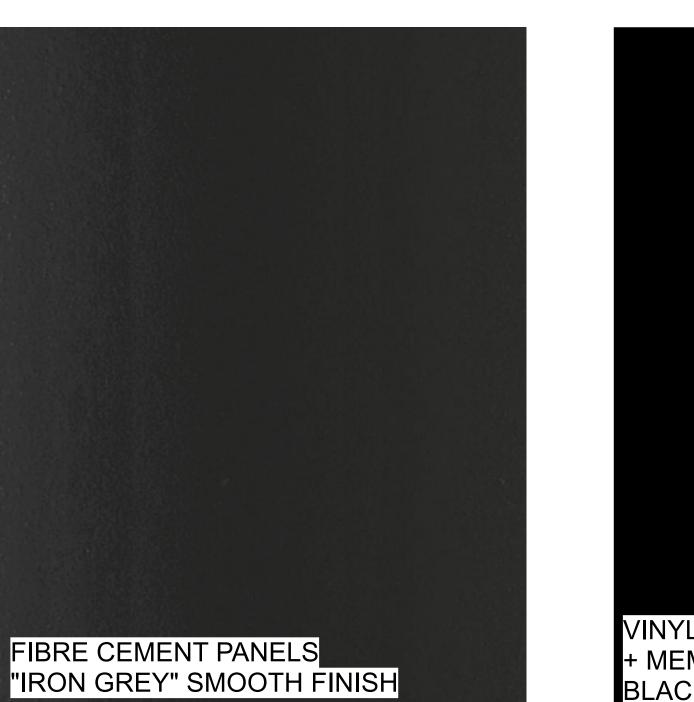


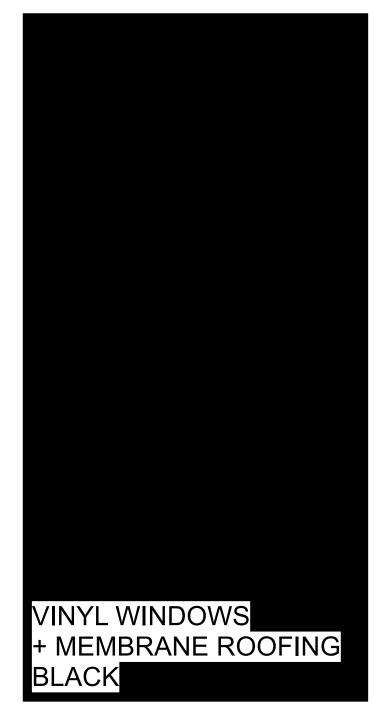






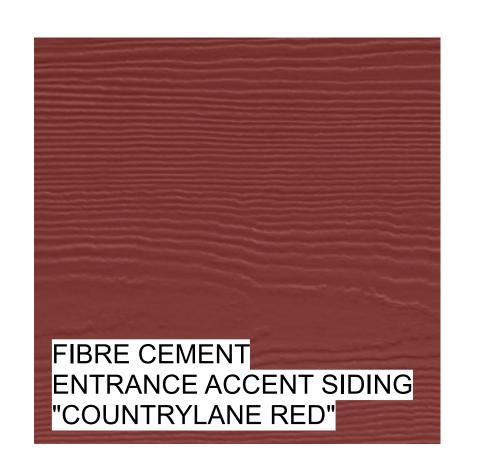












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DAT

ISSUED FOR REVIEW
ISSUED FOR DP
REVISED FOR DP
REVISED
REISSUED FOR DP
REISSUED FOR DP

MAR. 2 2021
APR. 06 2021
AUG. 13 2021
AUG. 25 2021
SEPT. 22 2021

HEDULE B

This forms part of application
DP21-0112 DVP21-0113
City of
Planner Initials

KB

PROJECT

RUTLAND APARTMENT 155 BRYDEN RD, KELOWNA

DRAWING

MATERIALS

DATE

AS NOTED

PROJECT NO. ____

DRAWNBY TF

PR8



CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.

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ISSUED FOR REVIEW MAR. 2 2021
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REISSUED FOR DP SEPT. 22 2021

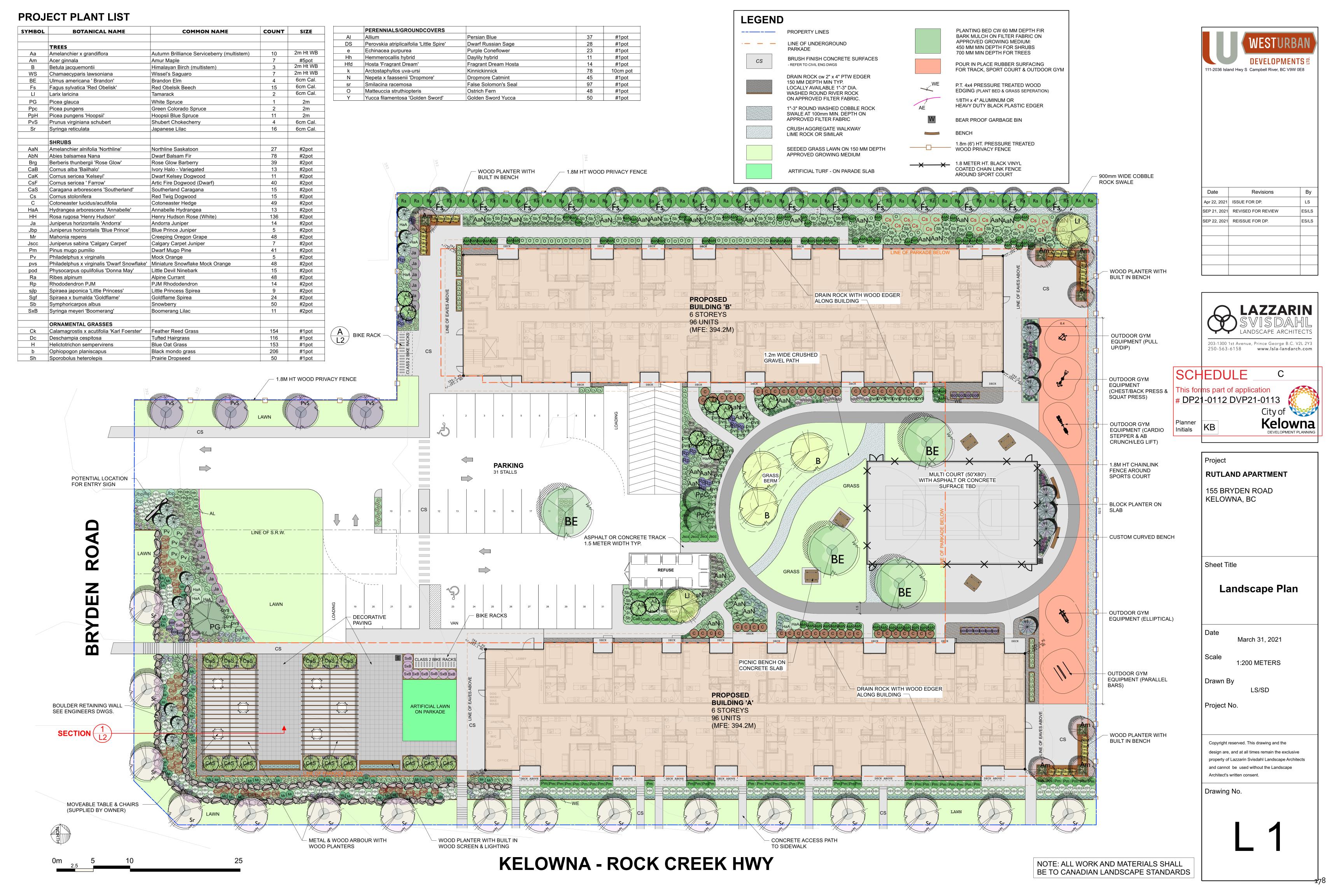


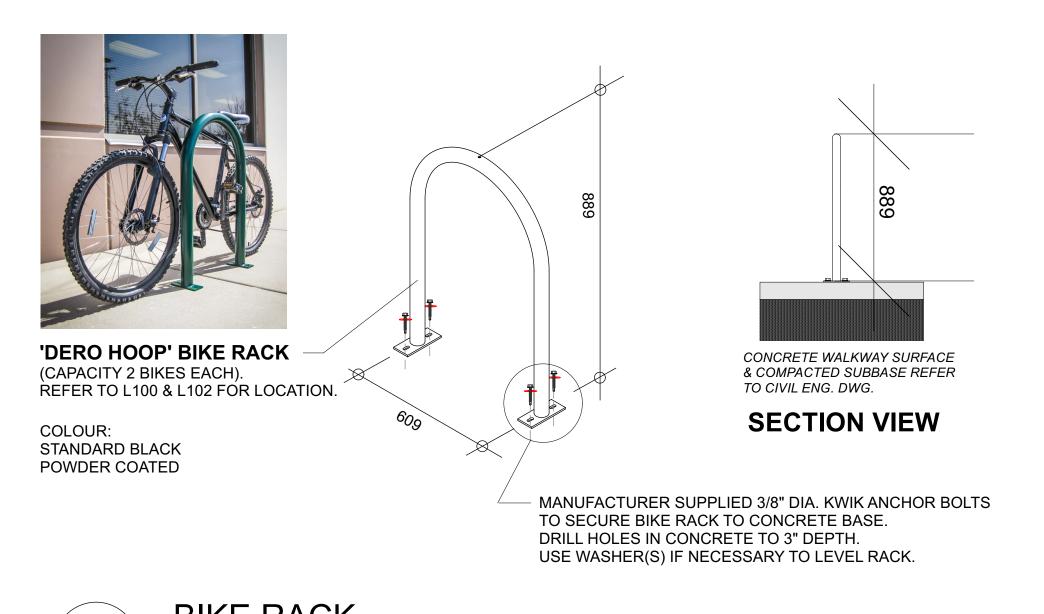
RUTLAND APARTMENT 155 BRYDEN RD, KELOWNA

RENDERINGS

SCALE AS NOTED

PR9



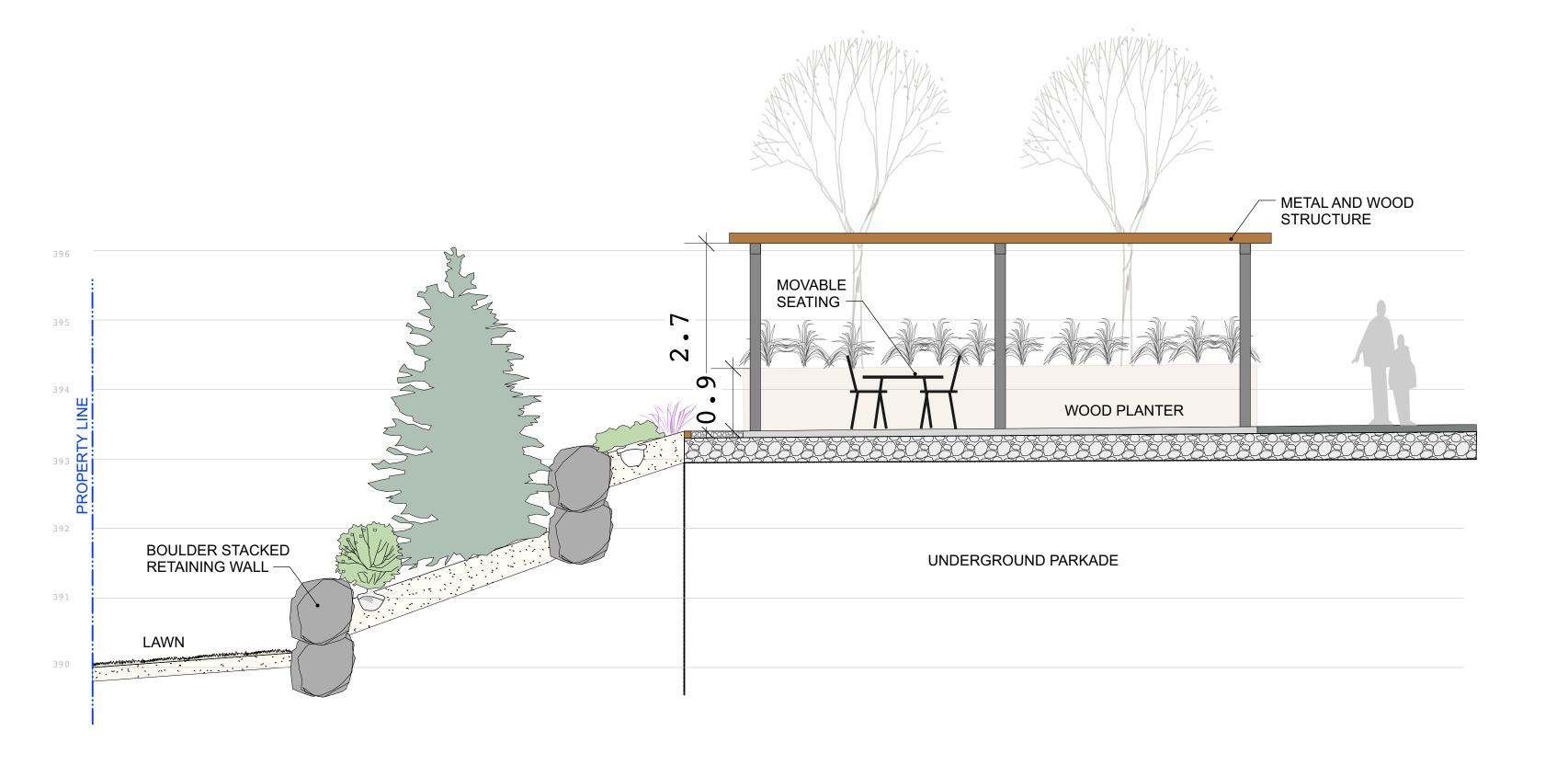


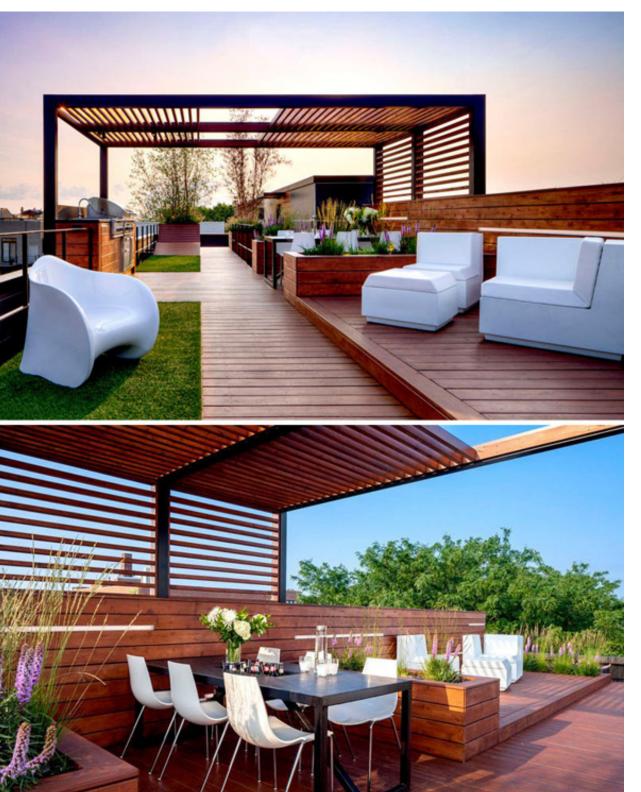


BIKE RACK

NOT TO SCALE

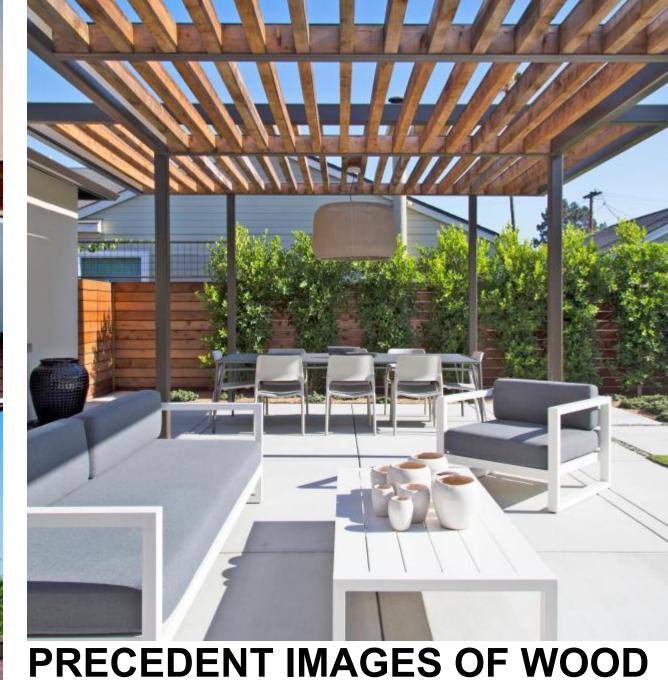
PRECEDENT EXAMPLE OF WOOD PLANTER & BUILT-IN BENCH











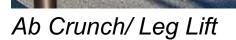
& METAL ARBOUR STRUCTURE





Elliptical





Parallel Bars



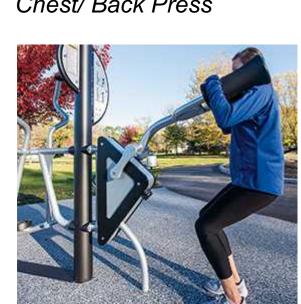
Cardio Stepper



Pull Up/ Dip



Chest/ Back Press



Squat Press







RUTLAND APARTMENT

155 BRYDEN ROAD KELOWNA, BC

Sheet Title

Landscape Details & Section

March 31, 2021 as shown

Drawn By

Project No.

Copyright reserved. This drawing and the design are, and at all times remain the exclusive property of Lazzarin Svisdahl Landscape Architects and cannot be used without the Landscape Architect's written consent.

LS/SD

Drawing No.

HEALTH BEAT FITNESS EQUIPMENT BY HABITAT SYSTEMS



HYDROZONE NOTES

DESIGN INTENT:

SCALE: 1:200

THIS DRAWING ILLUSTRATES THE APPROXIMATE DESIGNED DIVISION OF THE LANDSCAPE INTO AREAS OF DIFFERENT WATERING REQUIREMENTS. IT IS NOT INTENDED TO BE USED FOR CONSTRUCTION.

GROWING MEDIUM:

ENSURE THAT ADEQUATE GROWING MEDIUM TYPE AND DEPTHS ARE INSTALLED. IT IS IMPORTANT IN ORDER TO STORE AND RETAIN WATER AND NUTRIENTS FOR PLANT SURVIVAL AND GROWTH. SEE ATTACHED WATER SEE ATTACHED WATER CONSERVATION CALCULATION SPREADSHEET.

ESTABLISHMENT WATER USE:

ALL IRRIGATION ESTABLISHMENT AREA(S) SHALL BE TEMPORARY AND FOR ESTABLISHMENT AND DROUGHT CONDITIONS ONLY.

CS

CS

LANDSCAPE WATER BUDGET (WB) = 2,433 cu.m./yr. ESTIMATED LANDSCAPE WATER USE (WU) = 2,314 cu.m./yr. WATER BUDGET IS UNDER BY 119 cu.m./yr.

HYDROZONE AREAS

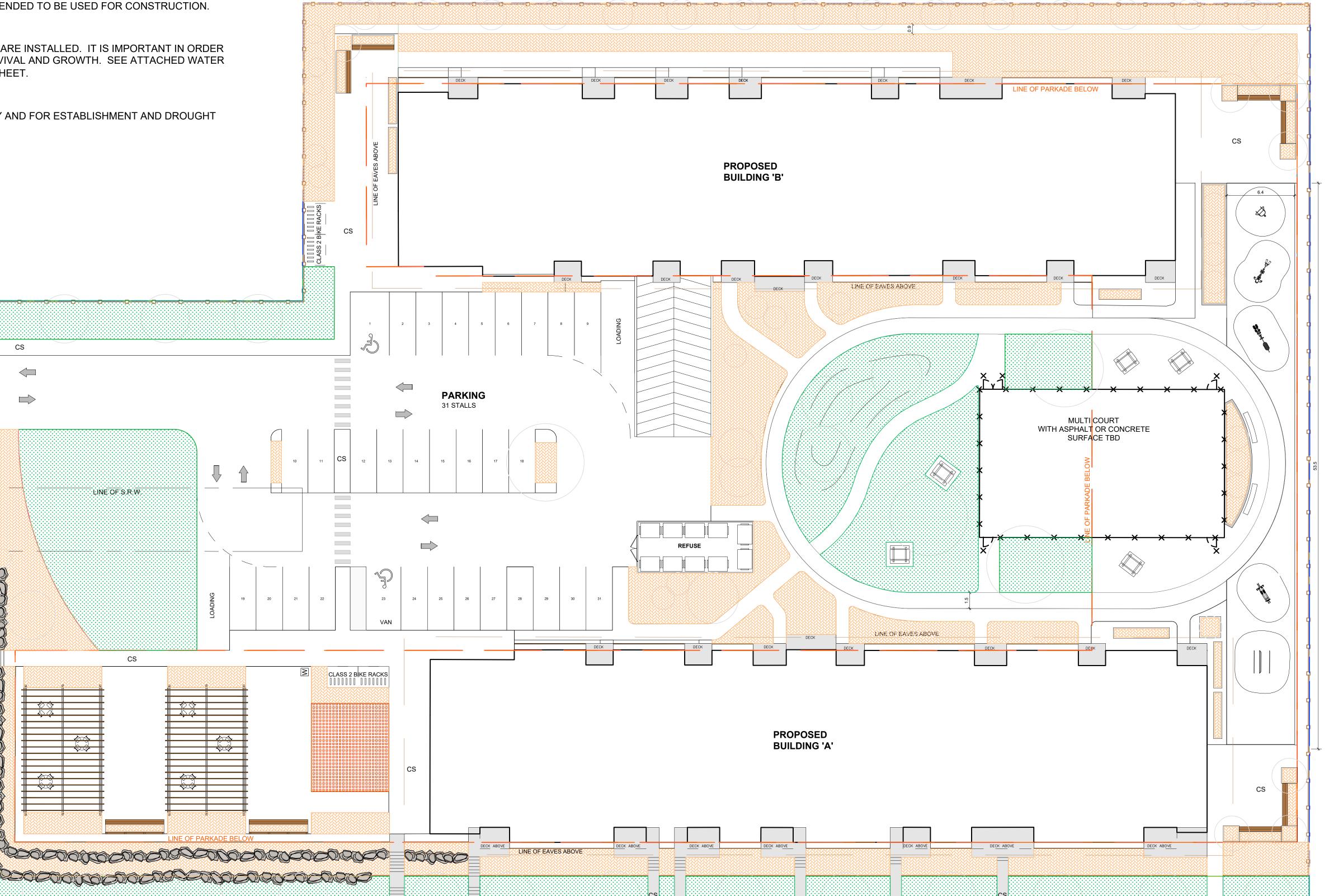
- 1. PROPERTY AREA = 10,241 square meters
- 2. BUILDING AREA = 2,840 square meters
- 3. PAVEMENT/CONCRETE AREA = 4,360 square meters
- 4. SHRUB/PLANTING AREA = 1,562 square meters
- 5. MOWN LAWN/TURF AREA = 1,417 square meters
- 6. ARTIFICIAL TURF Non-Irrigated AREA = 62 square meters

HYDROZONE LEGEND

WATERED MOWN LAWN - Fixed Pop-Up Spray Heads with Precision Nozzles or MP Rotators

MODERATE WATER USE - SHRUB/TREE PLANTING - High Efficiency Sub-Surface Drip Emitters

ARTIFICIAL TURF - Non-Irrigated



HWY 33

DESIGN

RUTLAND APARTMENTS 155 BRYDEN ROAD KELOWNA, B.C. IRRIGATION HYDROZONE PLAN

PROJECT:

DRAWN BY:

DRAWING:

COPY RIGHT - 2021

SCALE:

(DnA



DP21-0112 DVP21-0113 155 Bryden Road

Development Permit and Development Variance Pemit



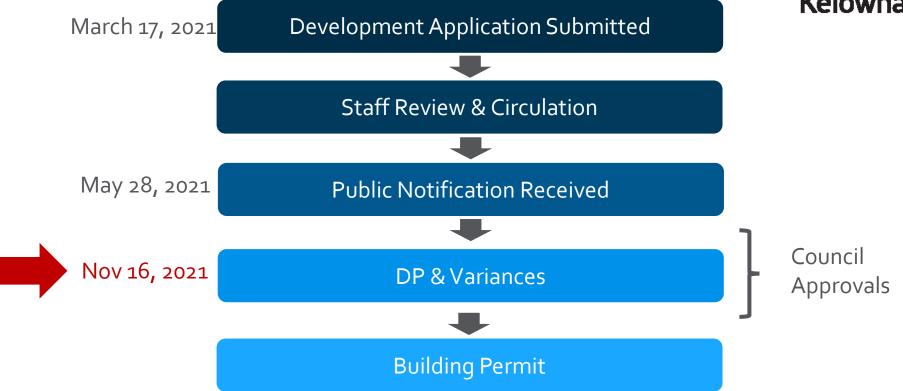


Proposal

➤ To consider the form and character of a multiple dwelling housing development and to vary maximum height on the subject property

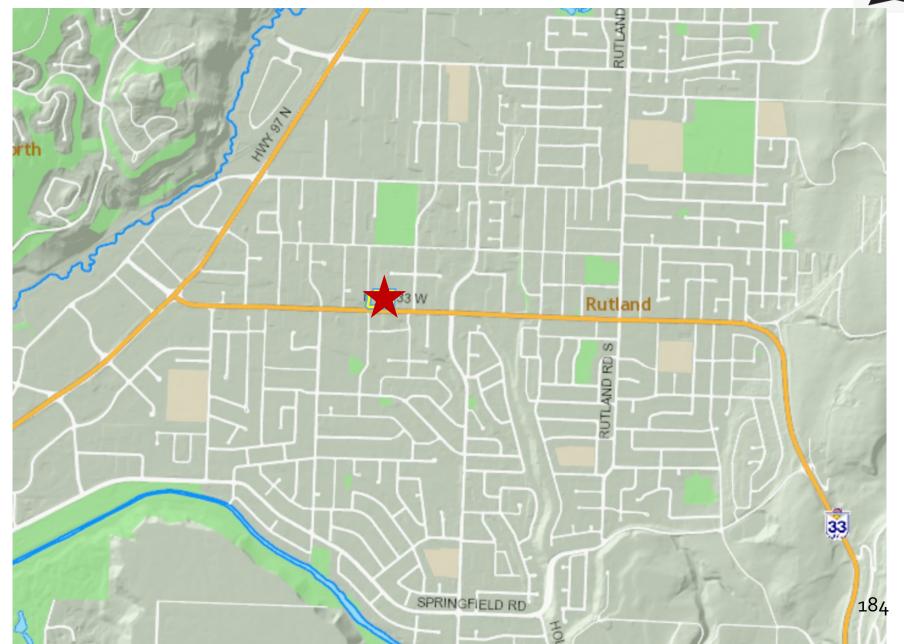
Development Process



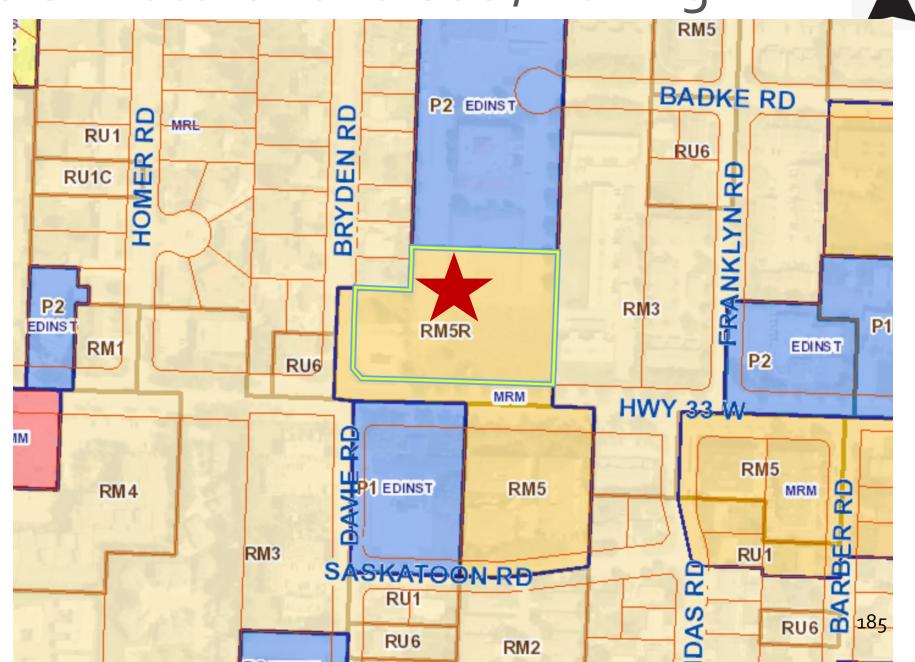


Context Map





OCP Future Land Use / Zoning



Subject Property Map





Project details

- ► Multiple Dwelling Housing
 - ► Two, six-storey wood frame buildings
 - ▶ 192 dedicated rental units
 - ▶ 12 studio units
 - ▶ 84 one-bedroom units
 - ▶ 84 two-bedroom units
 - ▶ 12 three-bedroom units
 - Surface and underground parking
 - Meets parking requirements (20% reduction for "r" subzone)
 - Landscaped recreation areas
 - Outdoor gym equipment, multi-sport court, seating



Variance

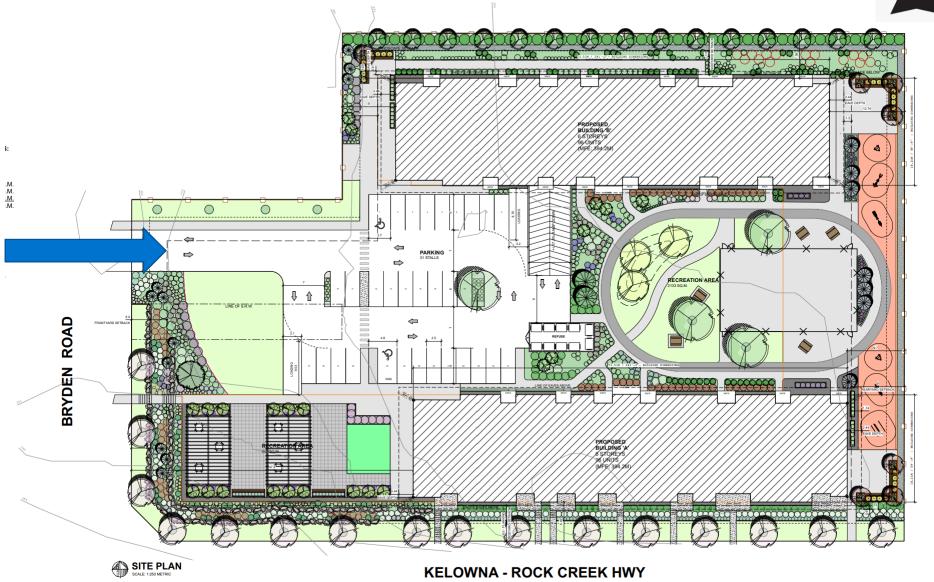
- ► Maximum Building Height
 - ▶ 18.0 m or 4.5 storeys permitted
 - ▶ 18.8 m or 6 storeys proposed

► Rationale

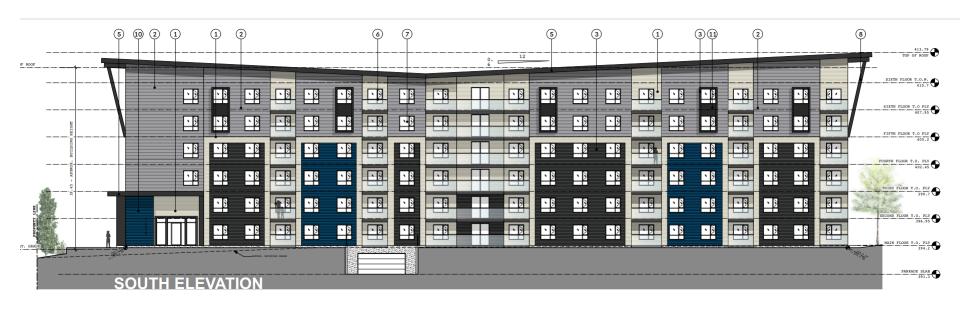
- Overall increase in height is minimal (18 m to 18.8 m)
- The additional height does not negatively impact the supply of on-site parking, or overall form and character objectives.
- ▶ Buildings are located in Rutland Urban Centre
- ▶ Directly on Highway 33 West (4 lane arterial)

Site Plan





Elevations (South)





Elevations (East and West)









Materials/Colour Board



















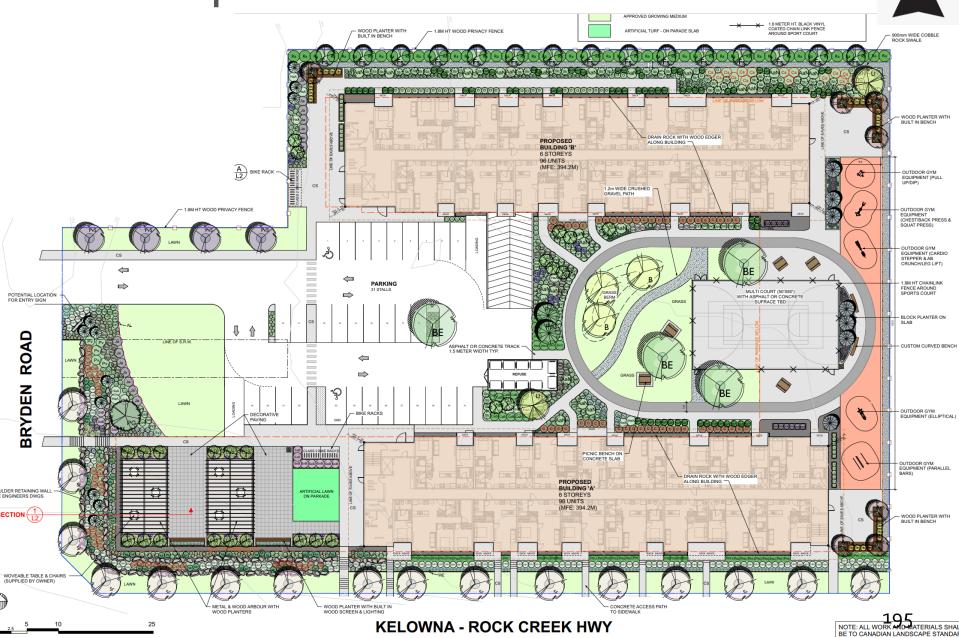
Renderings



Neighbourhood Massing



Landscape Plan





Development Policy

- ► Meets the Intent of OCP Design Guidelines
 - Architectural unity and cohesiveness between buildings
 - ► Façade articulations and projections
 - Ground level access for first-storey units
- Promoting and Protecting Rental Housing is a key direction in the Healthy Housing Strategy
- Proposal is consistent with the Future Land Use designation (MRM)



Staff Recommendation

- Staff recommend support for the DP & DVP application
 - Consistent with OCP Design Guidelines
 - Urban Infill Policies
 - Consistent with Future Land Use Designation (MRM)
 - ► Appropriate location for adding residential density
 - Proximity to shopping areas, parks & cycling corridors, transit and schools.
 - Variance does not negatively impact parking or form and character objectives



Conclusion of Staff Remarks

REPORT TO COUNCIL



Date: November 16, 2021

To: Council

From: City Manager

Department: Community Planning

Application: DVP21-0158 Owner: Andrew and Brandy Ladd

Address: 4574 Fuller Road Applicant: Rockwood Custom Homes

Subject: Development Variance Permit

Existing OCP Designation: S2RES - Single/Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0158 for Lot 8, District Lot 167, Osoyoos Division Yale District, Plan KAP70756, located at 4574 Fuller Road, Kelowna, BC;

AND THAT variances to the following section of the Zoning Bylaw No. 8000 be granted:

Section 6.11.1: General Development Regulations – Okanagan Lake Sight Lines

To vary the Okanagan Lake Sight Line regulation from 60 degrees permitted to 8 degrees proposed along the south side;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider a Development Variance Permit to vary the Okanagan Lake Sight Line regulation from 60 degrees required to 8 degrees proposed along the south side.

3.0 Development Planning

Staff is recommending support for the requested variance to the Okanagan Lake Sight Line regulations. The applicant is seeking to reduce the Okanagan Lake Sight Line requirements from 60 degrees to 8 degrees along the south property line. The applicant is proposing to renovate a portion of the existing house and build a new addition primarily in the area of the existing home footprint. The new design will accommodate a two storey (7.7 meter) high house.

Staff consider this property to be in a constrained position with regards to the Okanagan Lake Sight Line requirement, since the orientation and configuration of this lot and the riparian setback requirements of building adjacent to Bellevue Creek is restricting the building footprint to the proposed area. Staff also acknowledge that the neighbour whose sight line is affected by this proposal has provided a letter of support for the project – stating that the project will have a negligible impact on their views.

It is to be noted that the proposed footprint of the new addition and existing home is approximately 40 meters from the lake, which is well outside the 15 meter riparian area setback. The portion of the existing house within the Bellevue Creek riparian management area will only be renovated and no expansion planned. Additionally, if the variance is approved, restrictive covenants must be registered on title to prohibit construction and disturbance within the riparian management area of Okanagan Lake and Bellevue Creek.

Zoning Bylaw No. 8000, Section 6.11.1 – Okanagan Lake Sight Lines notes that all building and structures greater than 1.2 meters above natural grade on lots along the Okanagan Lake foreshore shall be sited to not obstruct views of the lake from the established abutting development. New development shall be sited to permit the adjacent occupants a 120 degree Panoramic Sight Line (see below).

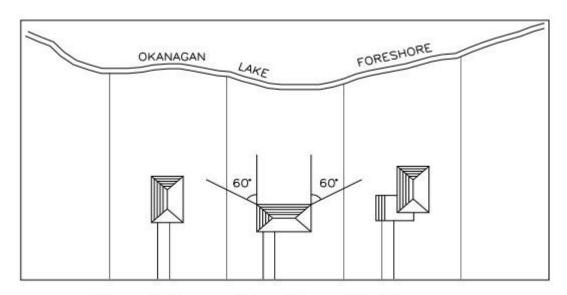


Diagram 6.2: Okanagan Lake 120° Panoramic Sight Line

4.0 Proposal

4.1 <u>Project Description</u>

The proposal is to vary the Okanagan Lake Sight Line from 60 degrees permitted to 8 degrees proposed on the south property line. The applicant is proposing to renovate a portion of the existing house and build a new addition primarily in the area of the existing home footprint. The new house design will accommodate a two storey (7.7 meter) high house. The house is to be located primarily in the location of the existing structure, which will be inland from Okanagan Lake by approximately 40 meters.

4.2 Site Context

The subject property is zoned RU1 – Large Lot Housing and has a future land use designation of Single/Two Unit Residential (S2RES) and Major Park/Open Space (public). The property is located in the South Okanagan Mission City Sector adjacent to Bellevue Creek and Okanagan Lake. The predominant zone surrounding the property is RU1 – Large Lot Housing.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Major Park/Open Space (public)
East	RU1 – Large Lot Housing	S2RES – Single/Two Unit Residential
South	RU1 – Large Lot Housing	S2RES – Single/Two Unit Residential
West	RU1 – Large Lot Housing	S2RES – Single/Two Unit Residential

Subject Property Map: 4574 Fuller Road



5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 12: Natural Environment Development Permit Guidelines

Guideline 12.1: Require that all development meets or beats the requirements of the Provincial Fish Protection Act (Riparian Areas Regulation). Projects must comply with Riparian Management Area Setbacks in Table 12.1 subject to Section 12.3.

6.0 Application Chronology

Date of Application Received: June 24, 2021
Date Public Consultation Completed: January 11, 2021

Report prepared by: Corey Davis, Development Technician and Environmental Coordinator

Reviewed by: Dean Strachan, Community Planning & Development Manager

Reviewed by: Terry Barton, Development Planning Department Manager

Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments

Attachment A: Draft Development Variance Permit DVP21-0158

Attachment B: Letter of Support

Development Variance Permit DVP21-0158



This permit relates to land in the City of Kelowna municipally known as

4574 Fuller Road

and legally known as

Lot 8, District Lot 167, ODYD, Plan KAP70756

and permits the land to be used for the following development:

RU1 - Large Lot Housing (Single Family Dwelling)

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision November 16th, 2021

Decision By: COUNCIL

Existing Zone: RU1 – Large Lot Housing

Future Land Use Designation: S2RES – Single/Two Unit Residential

Major Park/Open Space (Public)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Andrew and Brandy Ladd
Applicant: Rockwood Custom Homes

Dean Strachan, RPP, MCIP Community Planning and Development Manager Development Planning Department Date



SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 6.11.1: Okanagan Lake Sight Lines

To vary the Okanagan Lake Sight Line regulation from 60 degrees permitted to 8 degrees proposed along the south side;

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.





To whom it may concern:

DATE: January 11, 2021

We, Brian & Roseanne Peterson, residing at 4576 Fuller Road, Kelowna, BC, acknowledge and support our neighbor's application for variance to the 60-degree sightline relating to the renovation and construction of their home at 4574 Fuller Road, Kelowna, BC. We have reviewed the proposed footprint & architectural drawings on <u>January 11, 2021</u> and recognize that the impacts to our sightlines are negligible given the orientation of our home and the neighboring property to the North. Thank you.

Sincerely,

SIGNATURE(\$)

Brian Peterson

Roseanne Peterson

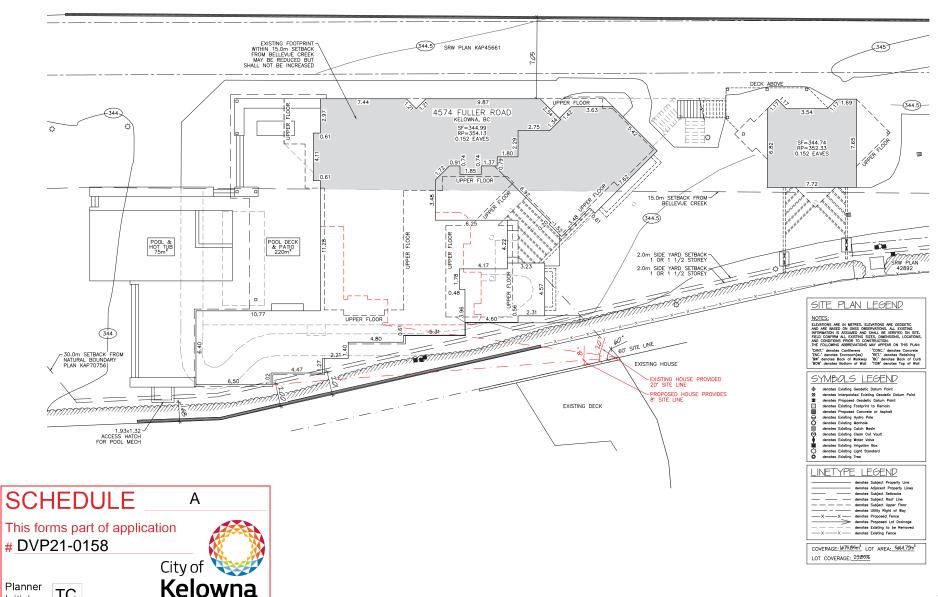
WITNESS:

Brad Tetreau

Dan 11/20



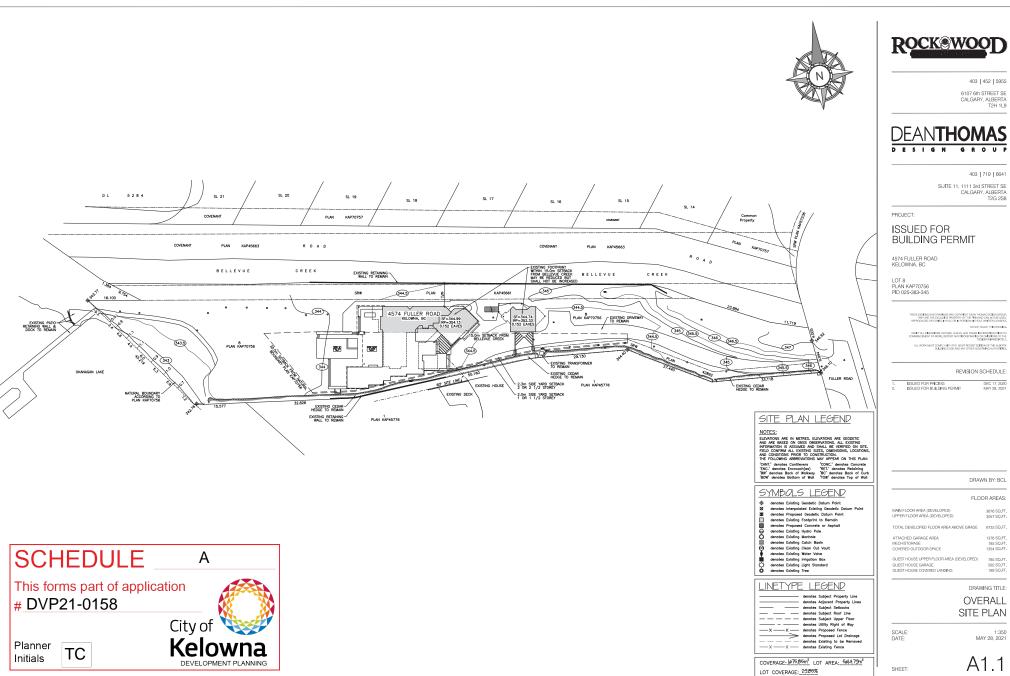


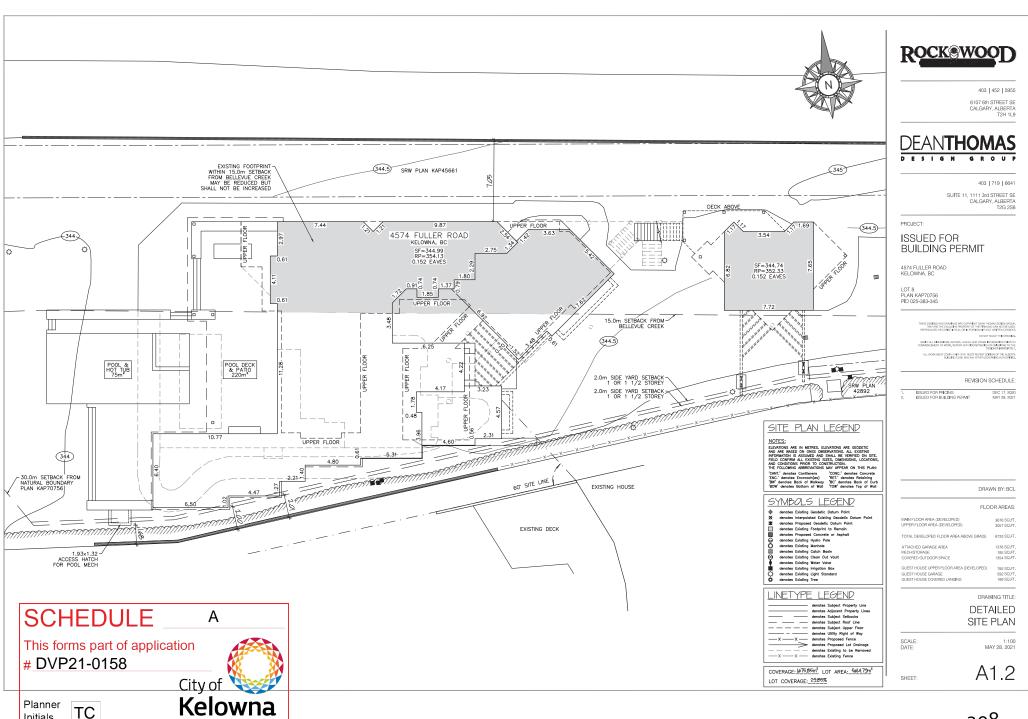


Initials

TC

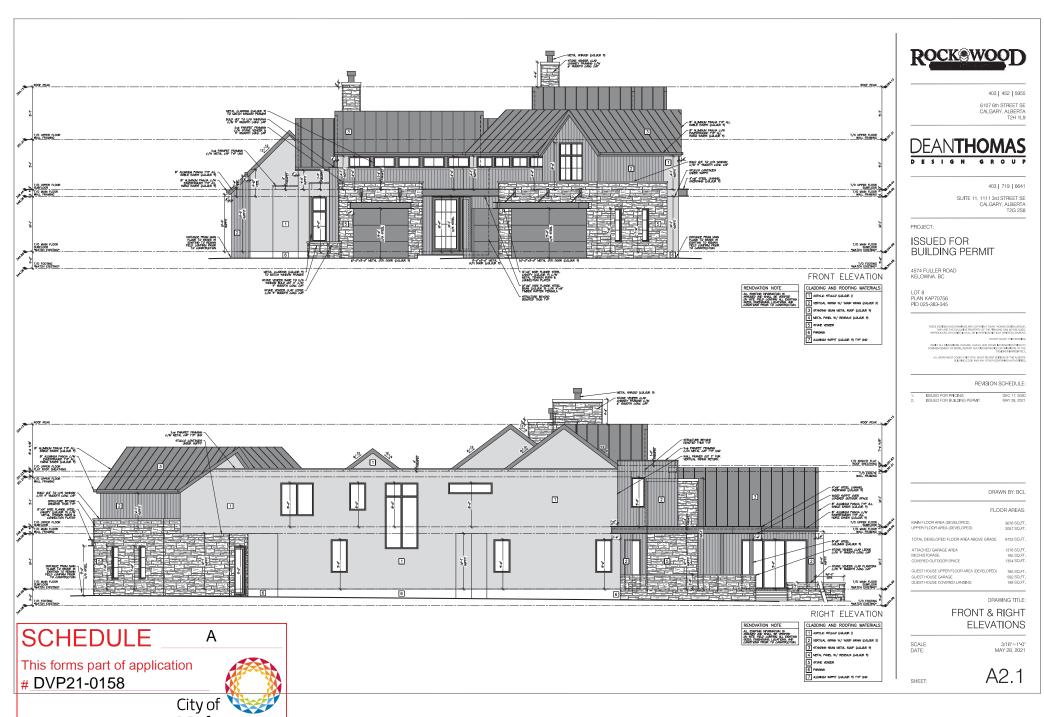
DEVELOPMENT PLANNING





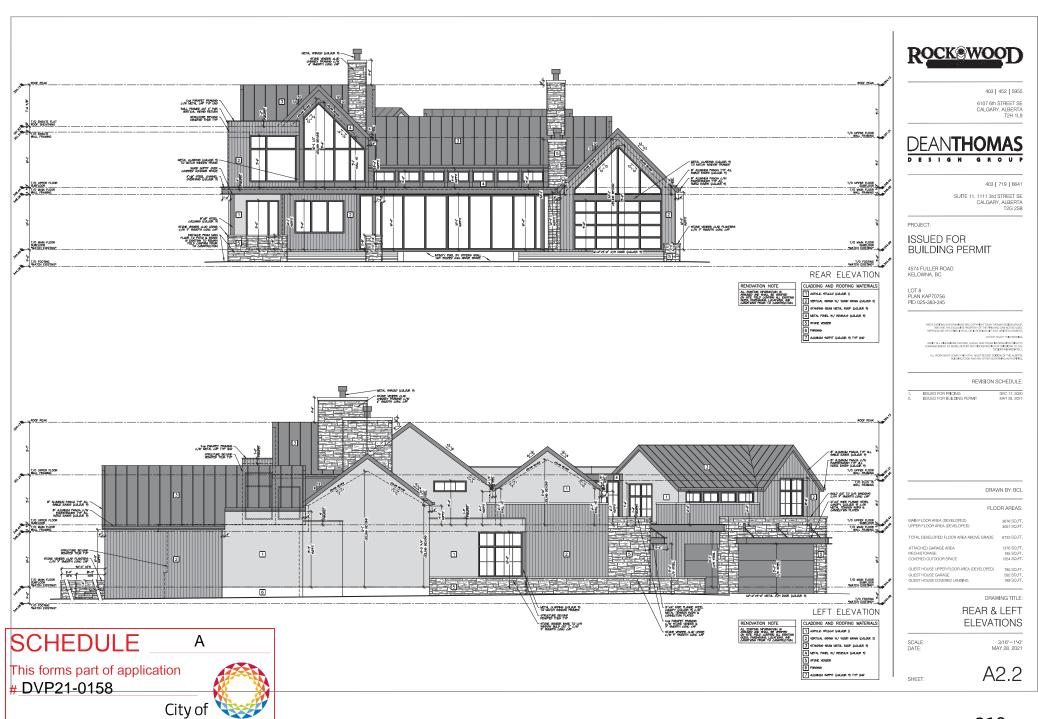
Initials

DEVELOPMENT PLANNING



Initials

TC



Initials

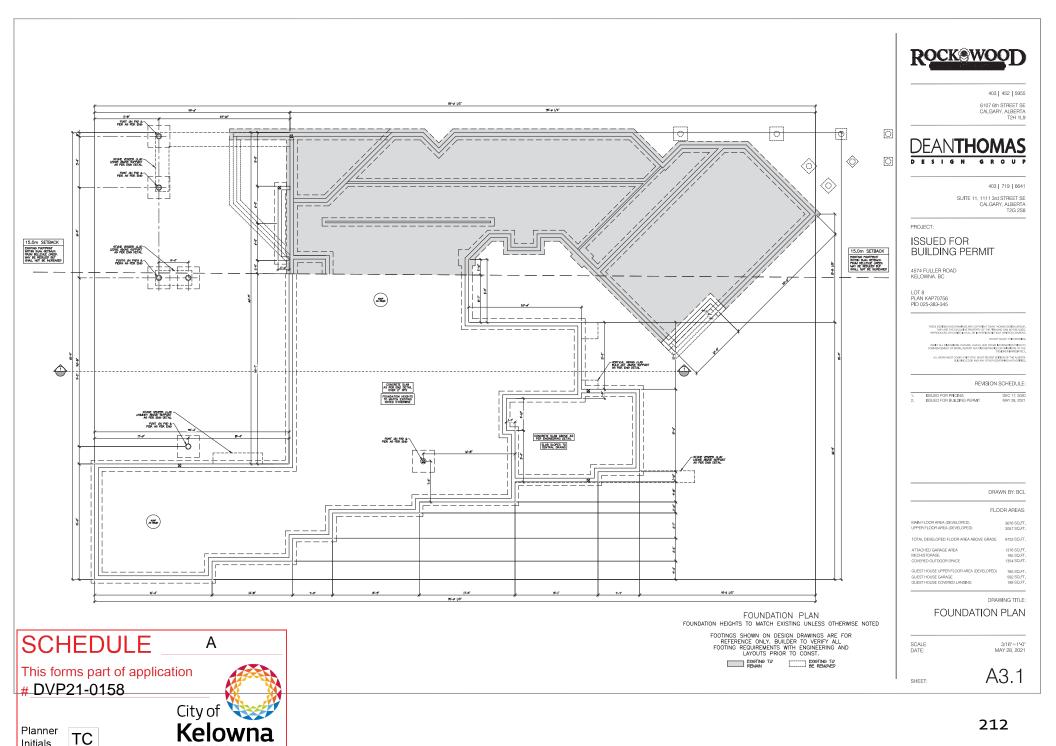
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DEVELOPMENT PLANNING



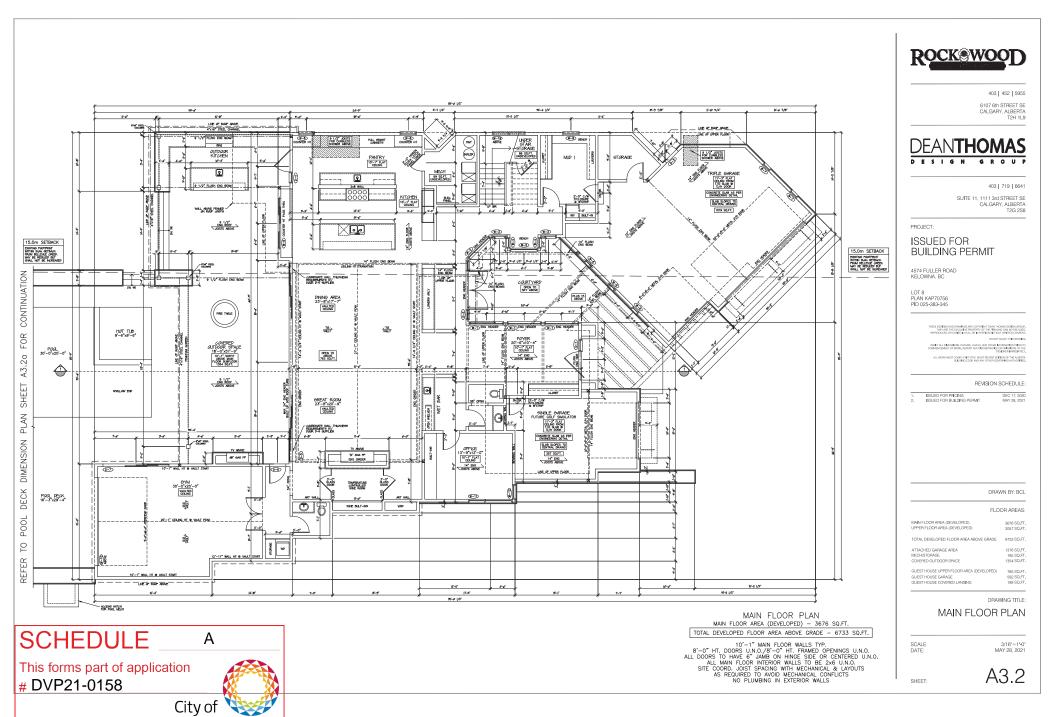
Initials

TC



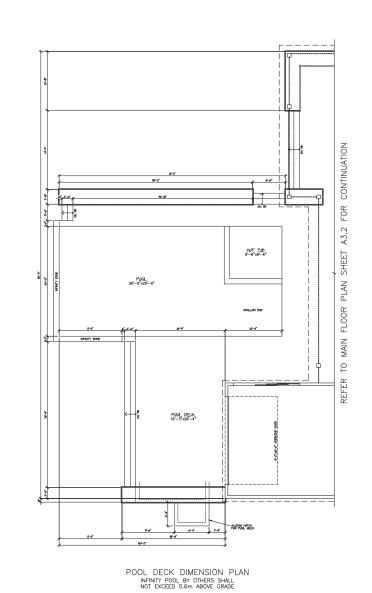
Initials

TC



Planner Initials





ROCK@WOOD

403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

403 | 719 | 6641

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 2S8

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

ALL WORK MUST COMPLY WITH THE MOST RECENT EXTRON OF THE ALBERTA BLALING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

DRAWN BY: BCL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED) UPPER FLOOR AREA (DEVELOPED)

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE 6733 SQ.FT.

ATTACHED GARAGE AREA MECH/STORAGE OOVERED OUTDOOR SPACE

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT.

GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)
GUEST HOUSE GARAGE
GUEST HOUSE COVERED LANDING

DRAWING TITLE:

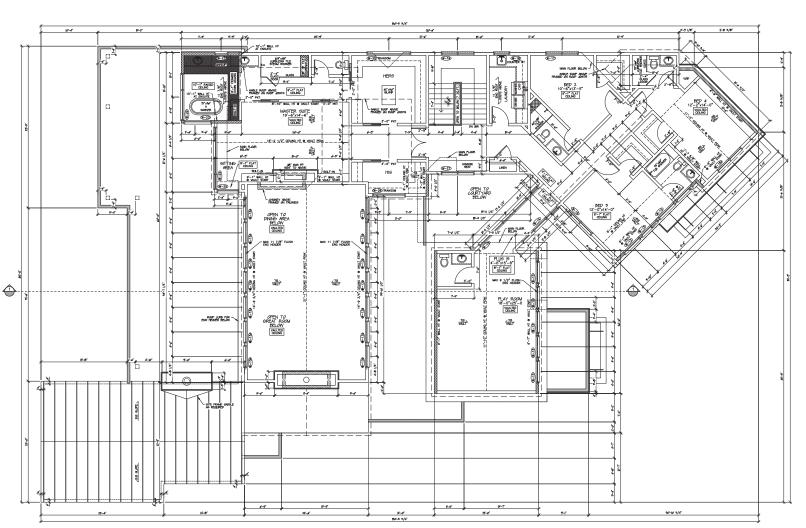
POOL DECK

DIMENSION PLAN

A3.2a

SHEET:





UPPER FLOOR PLAN UPPER FLOOR AREA (DEVELOPED) - 3057 SQ.FT.

9'-1" UPPER FLOOR WALLS U.N.O.

8'-0" H.T. DOORS U.N.O./8'-0" HT. FRAMED OPENINGS U.N.O.

ALL DOORS TO HAVE 6" JAMB ON HINGE SIDE OR CENTERED U.N.O.

ALL UPPER FLOOR INTERIOR WALLS TO BE 2x6 U.N.O.

SIE COORD, JOIST SPACING WITH MECHANICAL & LAYOUTS

AS REQUIRED TO AVOID MECHANICAL CONFLICTS

NO PLUMBING IN EXTERIOR WALLS

403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

403 | 719 | 6641

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 258

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

LOT 8 PLAN KAP70756 PID 025-383-345

IT COMPLY WITH THE MOST RECENT ECHTION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

DRAWN BY: BCL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED) UPPER FLOOR AREA (DEVELOPED) 6733 SQ.FT

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE

ATTACHED GARAGE AREA MECH/STORAGE COVERED OUTDOOR SPACE

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT.

GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)

785 SQ.FT. 592 SQ.FT. 189 SQ.FT. GUEST HOUSE GARAGE GUEST HOUSE COVERED LANDING

DRAWING TITLE:

UPPER FLOOR PLAN

A3.3

Planner Initials

SCHEDULE

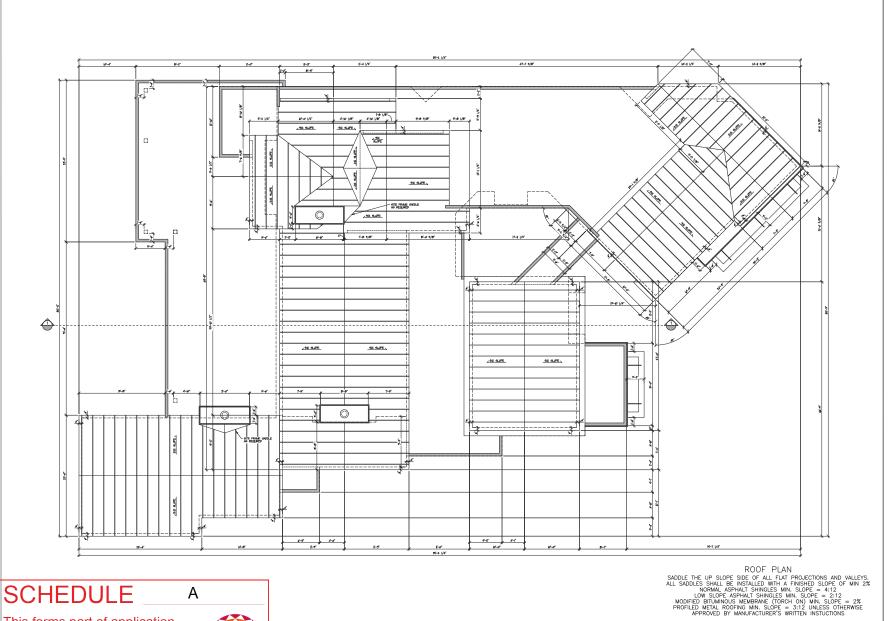
DVP21-0158

TC

This forms part of application



Α



403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

403 | 719 | 6641

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 2S8

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

LOT 8 PLAN KAP70756 PID 025-383-345

ALL WORK MUST COMPLY WITH THE MOST RECENT COTTON OF THE ALBERTA BLEZENG CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

DRAWN BY: BCL

FLOOR AREAS:

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT.

MAIN FLOOR AREA (DEVELOPED) UPPER FLOOR AREA (DEVELOPED)

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE 6733 SQ.FT

ATTACHED GARAGE AREA MECH/STORAGE COVERED OUTDOOR SPACE

GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)
GUEST HOUSE GARAGE
GUEST HOUSE COVERED LANDING

785 SQ.FT. 592 SQ.FT. 189 SQ.FT. DRAWING TITLE:

ROOF PLAN

SHEET:

3/16"=1'-0" MAY 28, 2021

A3.4

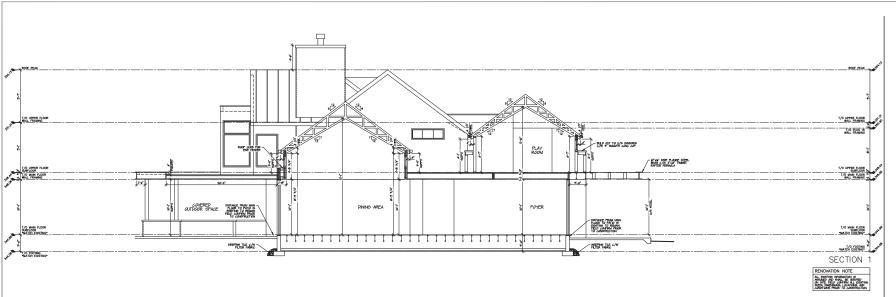
Planner Initials

This forms part of application

DVP21-0158

TC







403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

403 | 719 | 6641

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 2S8

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

LOT 8 PLAN KAP70756 PID 025-383-345

ALL WORK MUST COMPLY WITH THE MOST RECENT COTTON OF THE ALBERTA BLEZENG CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

DRAWN BY: BCL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED) UPPER FLOOR AREA (DEVELOPED)

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE 6733 SQ.FT.

ATTACHED GARAGE AREA MECH/STORAGE COVERED OUTDOOR SPACE

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT.

GUEST HOUSE UPPER FLOOR AREA (DEVELOPED) GUEST HOUSE GARAGE GUEST HOUSE COVERED LANDING

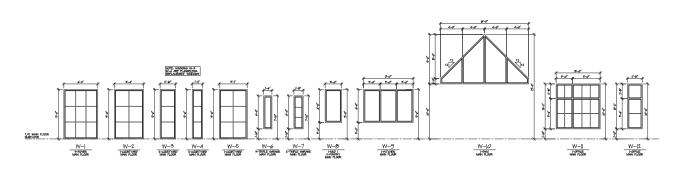
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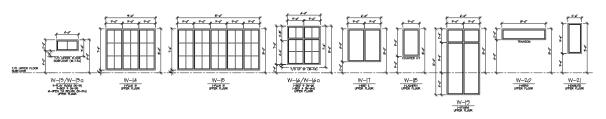
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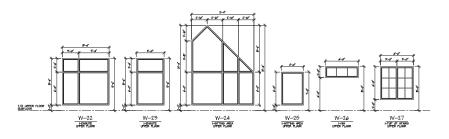
SHEET:

A4.1

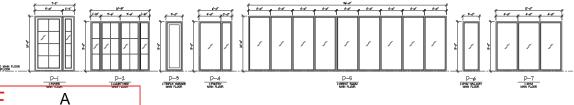








PROJECT LOCATION: KELOWNA B.C. ABOVE GROUND TO TOP OF PRODUCT: 10M TERRAIN TYPE: OPEN TERRAIN TYPE: OPEN
MINIMUM PERFORMANCE
GRADE (PG): 30
MINIMUM POSITIVE DESIGN
PRESSURE: 1440PA 30PSF
MINIMUM NEGATIVE DESIGN
PRESSURE: 1440PA 30PSF
MINIMUM NEGATIVE DESIGN
PRESSURE: 330PA 6.75PSF
MINIMUM WATER PENETRATION
TEST PRESSURE: 330PA 6.75PSF
MINIMUM CANADIAN (AN MINIMUM CANADIAN MINIMUM CANADIAN CANADIAN MINIMUM CANADIAN CANADIAN MINIMUM CANADIAN CANAD *ALL WINDOWS TO MEET ABOVE STANDARDS* *VERIFY WITH WINDOW SPECS* THERMAL CHARACTERISTICS OF WINDOWS, DOORS, AND SKYLIGHTS 2.5% JANUARY DESIGN TEMP: -17°c WINDOWS AND DOORS MAX U-VALUE 1.6 W/m2*K WINDOWS AND DOORS MIN I 68



SCHEDULE

This forms part of application

DVP21-0158

TC

Planner

Initials



403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

403 | 719 | 6641

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 2S8

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

LOT 8 PLAN KAP70756 PID 025-383-345

ALL WORK MUST COMPLY WITH THE MOST RECENT COTTON OF THE ALBERTA BLEZENG CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

DRAWN BY: BCL

FLOOR AREAS:

6733 SQ.FT

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT.

785 SQ.FT. 592 SQ.FT. 189 SQ.FT.

MAIN FLOOR AREA (DEVELOPED) UPPER FLOOR AREA (DEVELOPED)

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE

ATTACHED GARAGE AREA MECH/STORAGE COVERED OUTDOOR SPACE

GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)

GUEST HOUSE GARAGE GUEST HOUSE COVERED LANDING

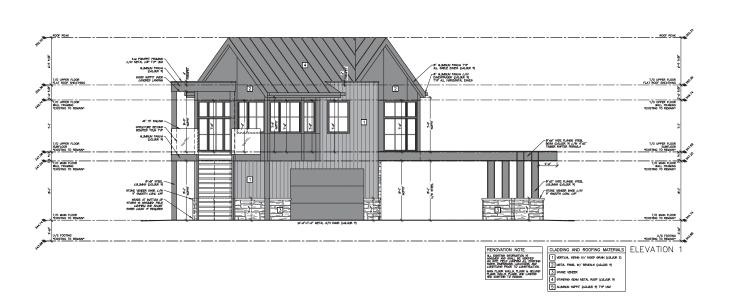
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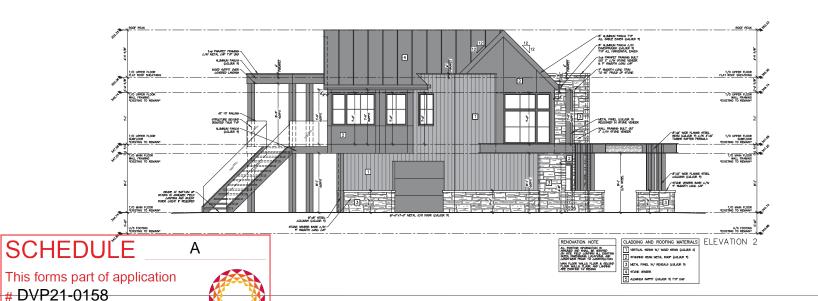
WINDOW & DOOR SCHEDULE

3/16"=1'-0" MAY 28, 2021

SHEET:

A5.1







403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 2S8

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

LOT 8 PLAN KAP70756 PID 025-383-345

IT COMPLY WITH THE MOST RECENT BOTTON OF THE AUSERTA

REVISION SCHEDULE:

DRAWN BY: BCL

FLOOR AREAS:

6733 SQ.FT

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT.

MAIN FLOOR AREA (DEVELOPED) UPPER FLOOR AREA (DEVELOPED)

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE

ATTACHED GARAGE AREA MECH/STORAGE COVERED OUTDOOR SPACE

GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)

GUEST HOUSE GARAGE GUEST HOUSE COVERED LANDING

DRAWING TITLE:

GUEST HOUSE ELEVATIONS 1 & 2

1/4"=1'-0" MAY 28, 2021

SHEET

G2.1

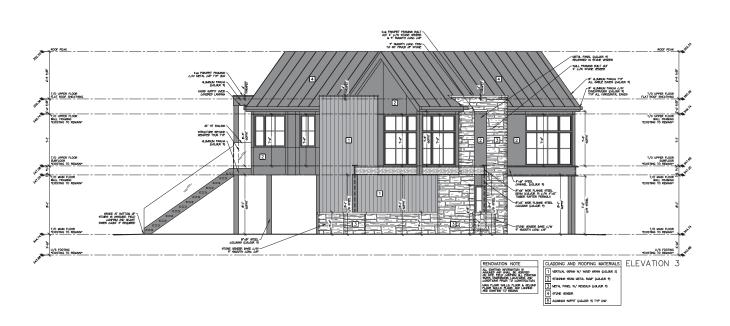
Planner Initials

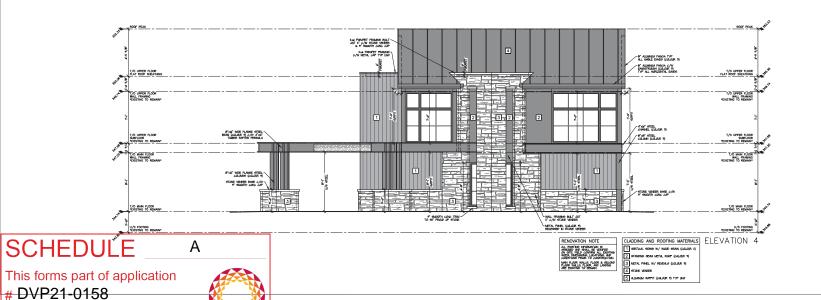


City of

Kelowna

DEVELOPMENT PLANNING







403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 2S8

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

LOT 8 PLAN KAP70756 PID 025-383-345

IT COMPLY WITH THE MOST RECENT BOTTON OF THE AUSERTA

REVISION SCHEDULE:

DRAWN BY: BCL

FLOOR AREAS:

6733 SQ.FT

MAIN FLOOR AREA (DEVELOPED) UPPER FLOOR AREA (DEVELOPED)

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE

ATTACHED GARAGE AREA MECH/STORAGE COVERED OUTDOOR SPACE

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT. GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)

GUEST HOUSE GARAGE GUEST HOUSE COVERED LANDING

DRAWING TITLE:

GUEST HOUSE ELEVATIONS 3 & 4

SHEET

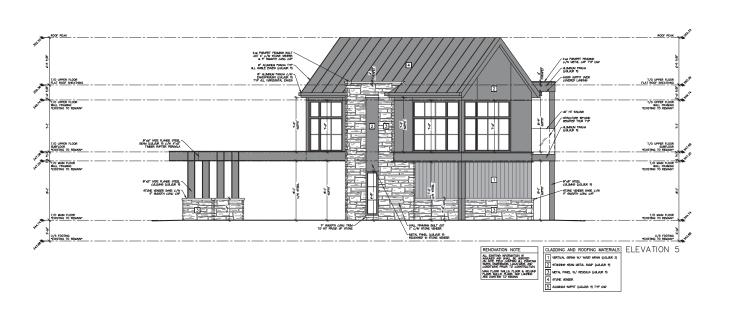
G2.2





City of

DEVELOPMENT PLANNING





ROCK®WOOD

403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 2S8

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

LOT 8 PLAN KAP70756 PID 025-383-345

O COMPLY WITH THE WOST RECENT SOFTEN OF THE ALBERTA

REVISION SCHEDULE:

DRAWN BY: BCL

FLOOR AREAS:

6733 SQ.FT

MAIN FLOOR AREA (DEVELOPED) UPPER FLOOR AREA (DEVELOPED)

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE

ATTACHED GARAGE AREA MECH/STORAGE COVERED OUTDOOR SPACE

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT. GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)

GUEST HOUSE GARAGE GUEST HOUSE COVERED LANDING

GUEST HOUSE ELEVATIONS 5 & 6

1/4"=1'-0" MAY 28, 2021

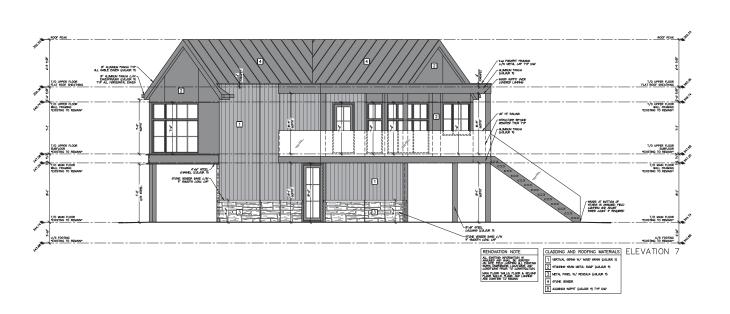
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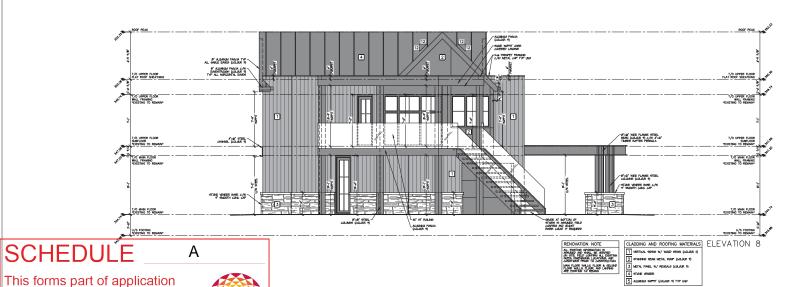
SHEET:

G2.3

City of

Kelowna





ROCK®WOOD

403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 2S8

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

LOT 8 PLAN KAP70756 PID 025-383-345

IT COMPLY WITH THE MOST RECENT BOTTON OF THE AUSERTA

REVISION SCHEDULE:

DRAWN BY: BCL

FLOOR AREAS:

6733 SQ.FT

MAIN FLOOR AREA (DEVELOPED) UPPER FLOOR AREA (DEVELOPED)

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE

ATTACHED GARAGE AREA MECH/STORAGE COVERED OUTDOOR SPACE

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT.

GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)

GUEST HOUSE GARAGE GUEST HOUSE COVERED LANDING

DRAWING TITLE:

GUEST HOUSE ELEVATIONS 7 & 8

SHEET

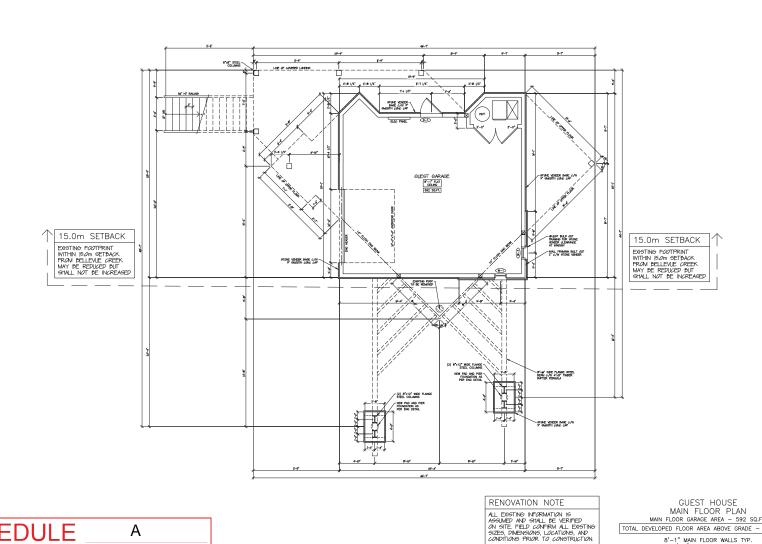
G2.4





Kelowna

DVP21-0158



ROCK@WOOD

403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

403 | 719 | 6641

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 2S8

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

LOT 8 PLAN KAP70756 PID 025-383-345

ALL WORK MUST COMPLY WITH THE MOST RECENT ECHTON OF THE ALBERTA

REVISION SCHEDULE:

DRAWN BY: BCL

FLOOR AREAS:

6733 SQ.FT

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT.

785 SQ.FT. 592 SQ.FT. 189 SQ.FT.

MAIN FLOOR AREA (DEVELOPED) UPPER FLOOR AREA (DEVELOPED)

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE

ATTACHED GARAGE AREA MECH/STORAGE COVERED OUTDOOR SPACE

MAIN FLOOR GARAGE AREA - 592 SQ.FT.

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE - 785 SQ.FT.

8'-1" MAIN FLOOR WALLS TYP.
6'-8" HT. DOORS U.N.O.
ALL DOORS TO HAYE 6' JAMB ON HINGE SIDE OR CENTERED U.N.O.
ALL MAIN FLOOR INTERIOR WALLS TO BE 2x6 U.N.O.
SITE COORD. JOIST SPACING WITH MECHANICAL & LAYOUTS
AS REQUIRED TO AYOU MECHANICAL CONFLICTS
NO PLUMBING IN EXTERNOR WALLS

MAIN FLOOR WALLS, FLOOR & SECOND FLOOR WALLS, FLOOR, AND LANDING ARE EXISTING TO REMAIN

GUEST HOUSE UPPER FLOOR AREA (DEVELOPED) GUEST HOUSE GARAGE GUEST HOUSE COVERED LANDING

DRAWING TITLE:

GUEST HOUSE MAIN FLOOR PLAN

1/4"=1'-0" MAY 28, 2021

G3.1

SHEET:

Planner Initials

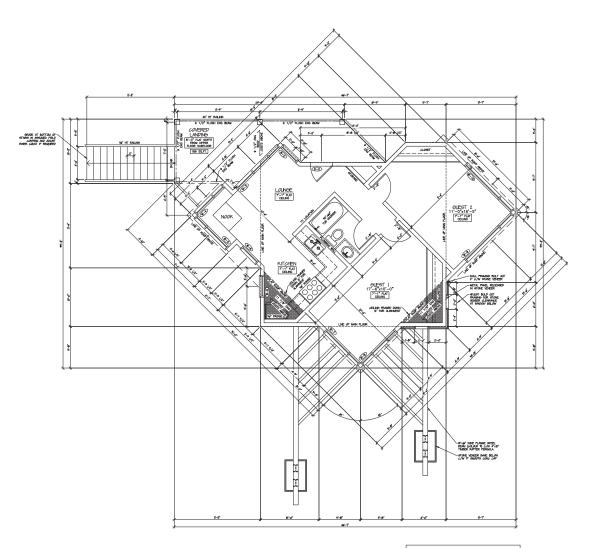
SCHEDULE

DVP21-0158

This forms part of application



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RENOVATION NOTE

AL EXISTING INFORMATION IS ASSUMED AND SHALL BE VERIFIED ON SITE FIELD CONFIRM ALL EXISTING SIZES, DIMENSIONS, LOCATIONS, AND CONDITIONS PRIOR TO CONSTRUCTION.

MAIN FLOOR WALLS, FLOOR & SECOND FLOOR WALLS, FLOOR, AND LANDING ARE EXISTING TO REMAIN

GUEST HOUSE UPPER FLOOR PLAN UPPER FLOOR AREA (DEVELOPED) - 785 SQ.FT.

7'-1" UPPER FLOOR WALLS U.N.O.
ALL DOORS TO HAYE 6" HT. DOORS U.N.O.
ALL UPPER FLOOR INTERIOR WALLS TO BE 2x6 U.N.O.
SITE COORD. JOIST SPACING WITH MECHANICAL & LAYOUTS
AS REQUIRED TO AVOID MECHANICAL & LAYOUTS
NO PLUMBER IN EXTERTOR WALLS

ROCK@WOOD

403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

403 | 719 | 6641

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 2S8

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

LOT 8 PLAN KAP70756 PID 025-383-345

ALL WORK MUST COMPLY WITH THE MOST RECENT EXPEND OF THE ALBERTA
BLEING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

DRAWN BY: BCL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED) UPPER FLOOR AREA (DEVELOPED)

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE 6733 SQ.FT

ATTACHED GARAGE AREA MECH/STORAGE COVERED OUTDOOR SPACE

SHEET:

GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)

785 SQ.FT. 592 SQ.FT. 189 SQ.FT. GUEST HOUSE GARAGE GUEST HOUSE COVERED LANDING

DRAWING TITLE:

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT.

GUEST HOUSE UPPER FLOOR PLAN

G3.2

Planner Initials

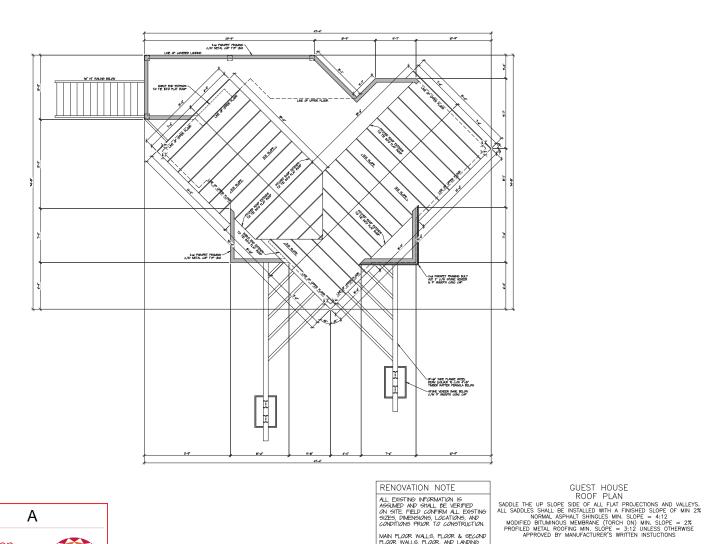


SCHEDULE

DVP21-0158

This forms part of application





ALL EXISTING INFORMATION IS ASSUMED AND SHALL PE VERIFIED ON SITE. FIELD CONFIRM ALL EXISTING SIZES, DIVENSIONS, LOCATIONS, AND CONDITIONS PRIOR TO CONSTRUCTION.

MAIN FLOOR WALLS, FLOOR & SECOND FLOOR WALLS, FLOOR, AND LANDING ARE EXISTING TO REMAIN



403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

403 | 719 | 6641

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 2S8

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

LOT 8 PLAN KAP70756 PID 025-383-345

ALL WORK MUST COMPLY WITH THE MOST RECENT COTTON OF THE ALBERTA BLEZENG CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

DRAWN BY: BCL

FLOOR AREAS:

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT.

MAIN FLOOR AREA (DEVELOPED) UPPER FLOOR AREA (DEVELOPED)

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE 6733 SQ.FT

ATTACHED GARAGE AREA MECH/STORAGE COVERED OUTDOOR SPACE

GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)

GUEST HOUSE GARAGE GUEST HOUSE COVERED LANDING

DRAWING TITLE:

GUEST HOUSE ROOF PLAN

SHEET:

1/4"=1"-0" MAY 28, 2021

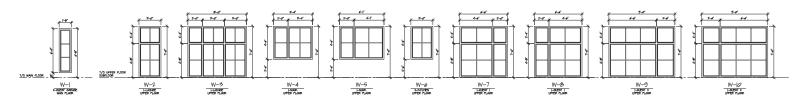
G3.3

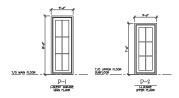
SCHEDULE This forms part of application # DVP21-0158 Planner TC

Initials

Α

DEVELOPMENT PLANNING







PROJECT LOCATION: KELOWNA B.C. ABOVE GROUND TO TOP OF PRODUCT: 10M TERRAIN TYPE: OPEN

IERRAIN 17PE: D'EN

MINIMUM PERFORMANCE
GRADE (PG): 30

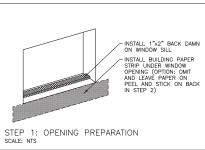
MINIMUM POSITIVE DESIGN
PRESSURE: 1440PA 30PSF
MINIMUM NEGATIVE DESIGN
PRESSURE: 1440PA 30PSF
MINIMUM WATER PENETRATION
TEST PRESSURE: 330PA 6.75PSF
MINIMUM WATER PENETRATION
TEST PRESSURE: 330PA 6.75PSF
MINIMUM WATER PENETRATION
TEST PRESSURE: 330PA 6.75PSF
MINIMUM CANADIAN MINIELITRATION: AZ

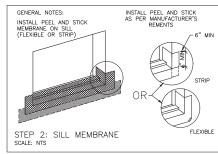
MINIELITRATION/EXPLITRATION: AZ

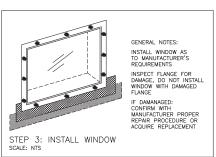
**ALI MINIELITRATION: A

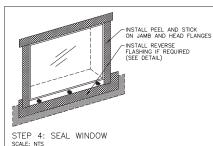
*ALL WNDOWS TO MEET
ABOVE STANDARDS*
VERIFY WITH WINDOW SPECS
THERMAL CHARACTERISTICS OF
WINDOWS, DOORS, AND SKYLIGHTS

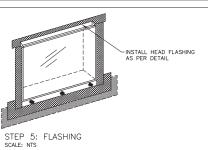
2.5% JANUARY DESIGN TEMP: -17°c WINDOWS AND DOORS MAX U-VALUE 1.6 W/m2*K WINDOWS AND DOORS MIN I 68

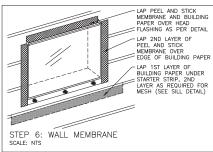


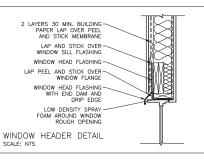


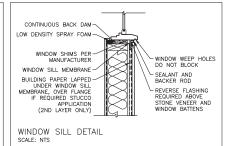












Kock®Mood

403 | 452 | 5955

6107 6th STREET SE CALGARY, ALBERTA T2H 1L9

DEANTHOMAS

403 | 719 | 6641

SUITE 11, 1111 3rd STREET SE CALGARY, ALBERTA T2G 2S8

PROJECT:

ISSUED FOR BUILDING PERMIT

4574 FULLER ROAD KELOWNA, BC

LOT 8 PLAN KAP70756 PID 025-383-345

THE CEDITION AS DEVIANDS ARE CONFIDENT DAYS TRANSPORTED THE PROPERTY OF THE PR

REVISION SCHEDULE:

ISSUED FOR BUILDING PERMI

DRAWN BY: BCL

FLOOR AREAS:

6733 SO FT

1376 SQ.FT. 185 SQ.FT. 1354 SQ.FT.

785 SQ.FT

MAIN FLOOR AREA (DEVELOPED) 3676 SQ UPPER FLOOR AREA (DEVELOPED) 3657 SQ

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE

ATTACHED GARAGE AREA

COVERED OUTDOOR SPACE

GUEST HOUSE UPPER FLOOR AREA (DEVELOPED)
GUEST HOUSE GARAGE
GUEST HOUSE COVERED L'ANDING

E GARAGE 592 SOUFT.
E COVERED LANDING 189 SOUFT.

DRAWING TITLE:

GUEST HOUSE WINDOW & DOOR SCHEDULE

SCALE: DATE:

E: MAY 28, 2021

SHEET:

G5.1



DVP21-0158 4574 Fuller Road

Development Variance Application



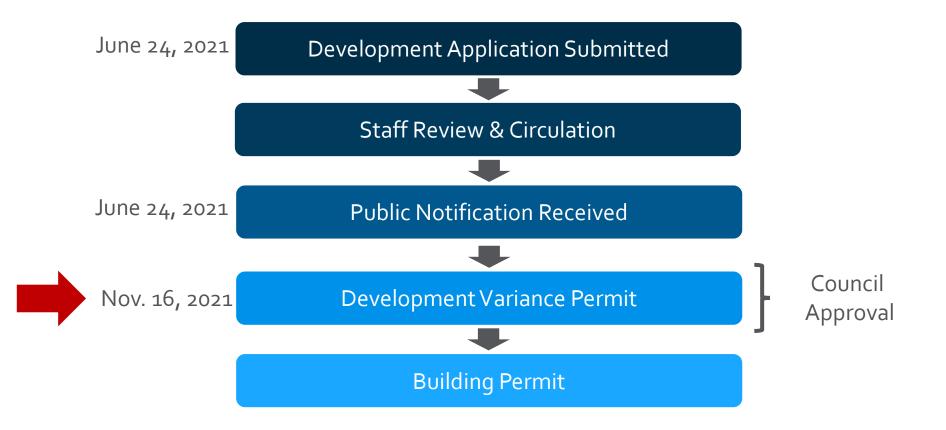


Proposal

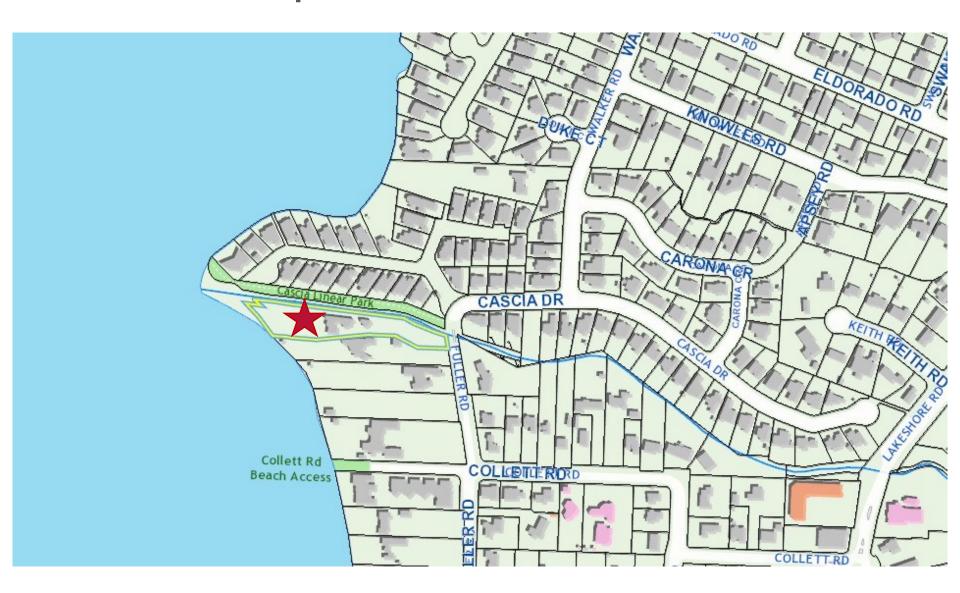
➤ To consider a Development Variance Permit to vary the Okanagan Lake Sight Line regulation from 60 degrees required to 8 degrees proposed along the south side.

Development Process





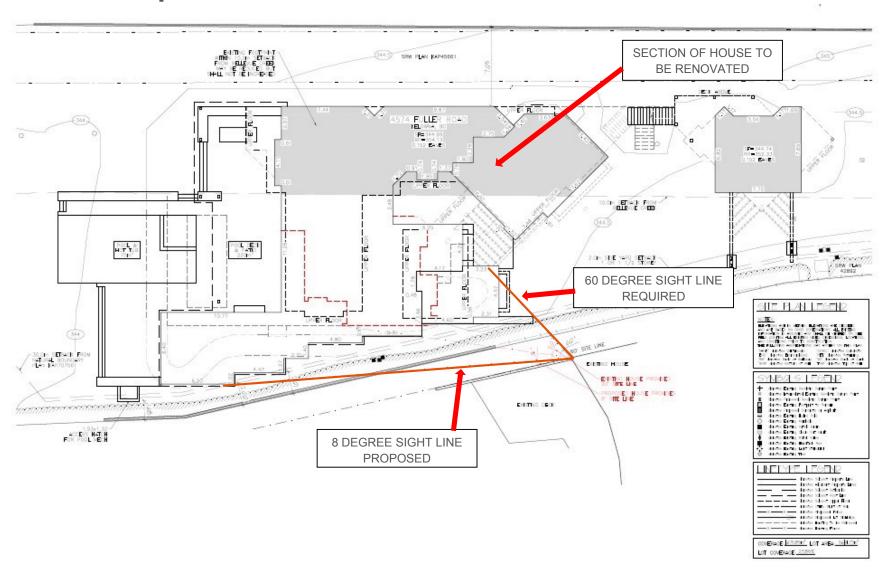
Context Map



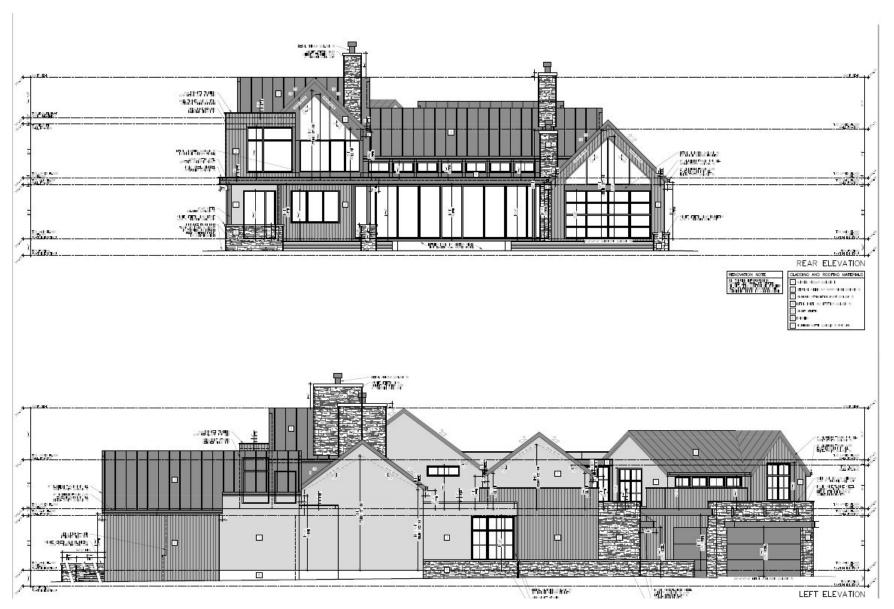
Subject Property Map



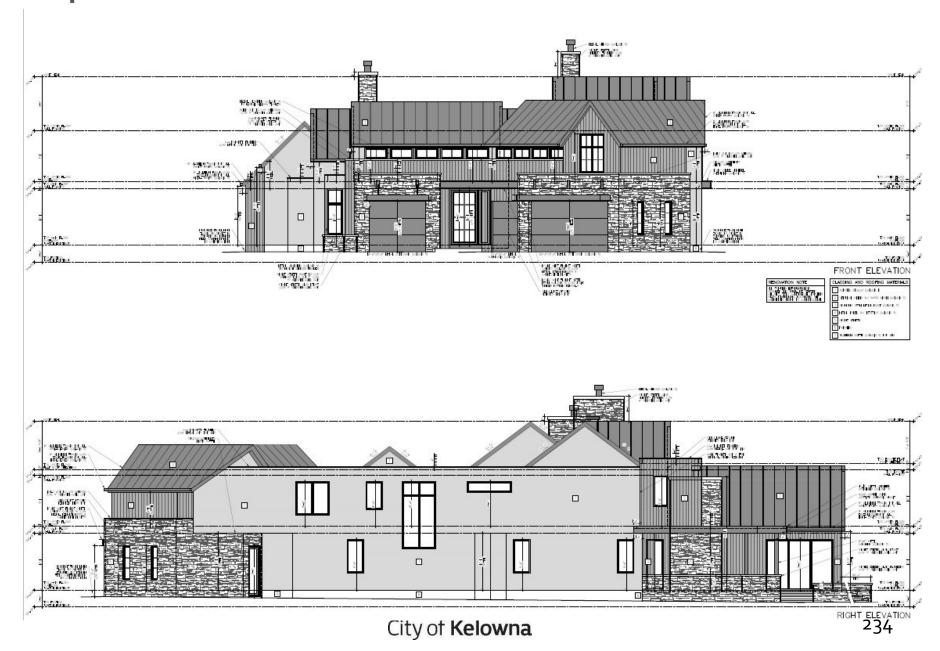
Conceptual Site Plan



Proposed House Elevations



Proposed House Elevations





Project/technical details

- ► The proposal is to vary the Okanagan Lake Sight Line from 60 degrees required to 8 degrees proposed along the south side to accommodate the construction/renovation of a two storey (7.7 meter) high house.
- ► The project is predominately in the location of the existing house.



Staff Recommendation

- ➤ Staff recommend **support** of the proposed Development Variance Permit application to vary the required Okanagan Lake Sight Line.
- ➤ The renovation and new portion of the dwelling is predominately in the location of the existing house.
- ► The affected neighbour supports the project as it has a negligible impact on their sight lines.



Conclusion of Staff Remarks

CITY OF KELOWNA

BYLAW NO. 12269

Official Community Plan Amendment No. OCP21-0009 1994 Springfield Road

A bylaw to amend the "Kelowna 2030 – Official Community Plan Bylaw No. 10500".

The Mu	unicipal Council of the City of Kelowna, in open me	eting assembled, enacts as follows:
1.	THAT Map 4.1 - GENERALIZED FUTURE LAND Plan Bylaw No. 10500" be amended by changing of Lot 1 District Lot 129 ODYD Plan KAP47562 loc the SC — Service Commercial designation to the designation.	the Generalized Future Land Use designation cated on Springfield Road, Kelowna, B.C., from
2.	This bylaw shall come into full force and effect an of adoption.	d is binding on all persons as and from the date
Read a	first time by the Municipal Council this 23 rd day of	August, 2021.
Considered at a Public Hearing on the 21 st day of September, 2021.		
Read a second and third time by the Municipal Council this 21 st day of September, 2021.		
Adopte	ed by the Municipal Council of the City of Kelowna	this
	_	Mayor
		City Clerk
		City Clerk

CITY OF KELOWNA

BYLAW NO. 12270 Z21-0035 1994 Springfield Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- 1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 1 District Lot 129 ODYD Plan KAP47562 located on Springfield Road, Kelowna, BC from the C10 Service Commercial zone to the C4 Urban Centre Commercial zone.
- This bylaw shall come into full force and effect and is hinding on all persons as and from the date

of adoption.
Read a first time by the Municipal Council this 23 rd day of August, 2021.
Considered at a Public Hearing on the 21 st day of September, 2021.
Read a second and third time by the Municipal Council this 21st day of September, 2021.
Approved under the Transportation Act this 6 th day of October, 2021.
Sean Potter
(Approving Officer – Ministry of Transportation)
Adopted by the Municipal Council of the City of Kelowna this
Mayor
, ,

City Clerk

REPORT TO COUNCIL



Date: November 16th, 2021

To: Council

From: City Manager

Department: Development Planning

BC1295991

Address: 1994 Springfield Road Applicant: Zeidler Architecture

Subject: Development Permit & Development Variance Permit Application

Existing OCP Designation: MXR – Mixed Use (Residential/Commercial)

Existing Zone: C4 – Urban Centre Commercial

1.0 Recommendation

THAT final adoption of the Official Community Plan Amendment Bylaw No. BL12269 and Rezoning Bylaw No. 12270 be considered by Council;

AND THAT Council authorize the issuance of Development Permit No. DP21-0194 for Lot 1 District Lot 129 ODYD Plan KAP47562, located at 1994 Springfield Road, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0195 for Lot 1 District Lot 129 ODYD Plan KAP47562, located at 1994 Springfield Road, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 14.4.5(b): C4 – Urban Centre Commercial, Development Regulations

To vary the site coverage requirements from 75% permitted to 88% proposed.

Section 14.4.6(e): C4 - Urban Centre Commercial, Other Regulations

To vary the total functional commercial space requirements from 90% required to 15% proposed on Springfield Road and from 90% required to 10% proposed on Ambrosi Road.

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue the form and character Development Permit of a new mixed-use building with variances to the site coverage and the commercial space requirements.

3.0 Development Planning

Staff are recommending support for the form and character Development Permit and the associated site coverage and commercial frontage variances to facilitate the construction of the 182-unit apartment on the subject property. The application meets many of the Official Community Plan (OCP) Urban Infill objectives with respect to Urban Form and Housing Mix, as well as Urban Centre development policies including:

- Locate buildings to provide an effective street edge while respecting the established, desired streetscape rhythm;
- Develop visual and physical connections between the public street and private buildings (e.g. patios and spill-out activity, views to and from active interior spaces, awnings and canopies);
- Provide generous outdoor spaces, including rooftops, balconies, patios and courtyards, to allow residents to benefit from the favourable Okanagan weather;

The proposed buildings have a high degree of architectural articulation, both horizontally and vertically, thus enhancing visual interest. High quality materials are used throughout, and the colour scheme is both appropriate and varied. The townhouse-style units along Ambrosi Road are slightly above grade but are ground-oriented in nature. These units feature strong landscaping, activating the space, offering visual interested to passerby and increasing Crime Prevention Through Environmental Design (CPTED) principals.

With regards to the variance to the site coverage, the proposal is to increase to site coverage from 75% permitted to 88% proposed. The variance is acceptable to Staff as the development delivers a large amount of high-quality landscaping and green space throughout. In addition, the applicant has provided additional parking than the required minimum, as well as all required long-term and short-term bicycle parking. All of the parking is contained within the parkade. Groundwater issues has led to concerns about fully submerging the parkade underground. Staff would have preferred the buildings to be ground-level, however, due to site restraints, the applicant has added additional landscaping and street-oriented units.

With regards to the commercial frontage requirements variance, the proposal is to lower the commercial frontage requirements from 90% required to 15% proposed on Springfield Road and 90% required to 10% proposed on Ambrosi Road. The applicant is applying to have one CRU unit on the Southeast corner of the site, which will be used primarily internally for the building occupants. The applicant has indicated that it can be used for shared office space or building management. Staff believe the commercial viability along all of Springfield and Ambrosi Road will be challenging, so the applicant has proposed street-oriented townhouses, which will add to the street interface onto Ambrosi Road, which is the entrance to the Midtown Urban Centre.

4.0 Proposal

4.1 Background

The subject property used to be the Art Knapp site, however, has been vacant for several years. At the time of the application, the subject property was zoned C10 – Service Commercial and had the Future Land Use Designation of SC – Service Commercial. As such, the proposed development required both an OCP Amendment to change the Future Land Use Designation to MXR – Mixed Use (Residential/Commercial) and a rezoning to C4 – Urban Centre Commercial.

Both the OCP Amendment (OCP21-0009) and rezoning (Z21-0035) were given 1st Reading by Council on August 23rd, 2021 and forwarded to Public Hearing on September 21st, 2021. At the September 21st Tuesday Council Meeting, both files were given 2rd and 3rd Reading.

4.2 Project Description

The proposed development is for the construction of 182 residential dwelling units that are contained between a mix of town homes and apartments located in two 5-6 storey buildings, which will be set on top of a partially below-grade parkade. The bedroom unit count is as follows:

Unit Type	Number of Units	Proposed Size
Studio	17	420 ft ²
Studio – 1 bed	37	465 ft ²
1 Bedroom	47	588ft²
1 Bedroom + Den	26	749ft²
2 Bedroom	43	875ft²
3 Bedroom	6	1000 ft² or 1750ft²
Townhouse	6	1280ft²

Ambrosi Road frontage will be consisting of six town homes, a lobby and parkade entrance, while Springfield Road will have a flexible commercial space and amenities spaces that can be used by residences. The partially below-grade parkade will have access off Ambrosi Road and will have all the required parking spaces and bike parking. The visitor stalls will be accessed off Moss Court. No access to the site will be from Springfield Road.

Due to the subject property being on an important intersection of Springfield Road and Ambrosi Road and the associated traffic concerns with the added units, a contribution from the applicant to facilitate a full traffic signal at the intersection with Ambrosi Road and Springfield Road will be completed. Kent Road is proposed to be extended through Agassiz Road, so the traffic signal will greatly improve existing and future traffic and pedestrian access issues.

On July 27th Council endorsed the proposed OCP consideration and development application process. The dates indicated in this report were estimates with the last date for OCP and bylaw adoption being October 18th. Staff recognize this consideration is past the date of October 18th but recommend Council consideration as the application does not impact the 2040 OCP adoption or process.

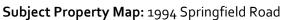
4.3 Site Context

The subject property is located on the edge of the Midtown Urban Centre at the northwest corner of the Springfield Rd / Ambrosi Rd intersection. The property is near a wide range of amenities and destinations including retail and dining opportunities, employment opportunities, and cultural and recreational facilities.

The site has a walk score of 66, meaning some errands can be accomplished on foot and with a transit score of 47 meaning there are a few nearby transportation options in the area.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C10 – Service Commercial / C5 – Transition Commercial	Light industrial / Commercial
East	C10 — Service Commercial / RM5 — Medium Density Multiple Housing	Commercial / Residential
South	A1 – Agricultural 1	Agriculture
West	C10 – Service Commercial	Light industrial / Commercial





4.4 Zoning Analysis Table

Zoning Analysis Table				
CRITERIA	C4 ZONE REQUIREMENTS	PROPOSAL		
	Development Regulations			
Max. Floor Area Ratio	1.49	1.49		
Max. Site Coverage (buildings)	75%	88%•		
Max. Height	37.om / 12 storeys	23.5m / 6.5 storeys		
Min. Front Yard	o.om	1.7M		
Min. Side Yard (East)	o.om	o.om		
Min. Side Yard (North)	o.om	o.3m		
Min. Rear Yard	o.om	o.3m		
Other Regulations				
Min. Parking Requirements	196	209		
Min. Long-Term Bicycle Parking	140	140		

Min. Short-Term Bicycle Parking	28	28	
Min. Private Open Space	2,027M²	4,78om²	
Min. Commercial Frontage	ommercial Frontage	10%2	
Requirement (Ambrosi Road)	90%		
Min. Commercial Frontage	0.006	15%2	
Requirements (Springfield Road)	90%		
• Indicates a requested variance to Section 14.4.5b – Urban Centre Commercial: Development Regulations			
2 Indicates a requested variance to Section 14.4.6e – Urban Centre Commercial: Other Regulations			

5.0 Current Development Policies

5.1 <u>Kelowna Official Community Plan (OCP)</u>

Goals for a Sustainable Future 1.3 - Chapter 1

- Contain urban growth
- Include distinctive and attractive neighbourhoods
- Address housing needs of all residents
- Feature a balanced transportation network, Foster sustainable prosperity
- Protect and enhance natural areas
- Provide spectacular parks
- Encourage cultural vibrancy

Urban Centre / Town Centre Definition

A vibrant, amenity-rich area wherein different land uses frequently occur within the same building and almost always occur within a one-block area. Urban Centres contain a variety of housing types, the presence of which contributes to social diversity. Urban Centres are highly urbanized, pedestrian friendly environments that draw people for work, shopping, and recreation from a broad community of approximately 25,000 residents living within approximately 2km. Town Centre cores are located at least 2km from the core of other Urban Centres, a City Centre, or a Highway Centre. Density will decrease as the distance from the core increases.

Chapter 5: Development Process

Policy 5.2.4 Complete Communities. Support the development of complete communities with a minimum intensity of approximately 35-40 people and/or jobs per hectare to support basic transit service.

Policy 5.3.2 Compact Urban Form. Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400-metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and redevelopment within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Policy 5.22.11 Housing Mix. Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed-use developments.

5.2 <u>Urban Centres Roadmap (UCR)</u>

Policy 1: Promote a mix of land use that encourages activity at different times of the day and serves a full spectrum of needs

Policy 2: Encourage a significant residential population to ensure viable local services and amenities

Policy 3: Ensure that high-density residential developments are sited in close proximity to frequent transit corridors

Policy 4: Promote active street life on retail corridors by requiring active commercial uses on the ground floor of buildings

6.0 Application Chronology

Date of Application Accepted: August 11th, 2021
Date Public Consultation Completed: May 13th, 2021

Report prepared by: Tyler Caswell, Planner

Reviewed by: Jocelyn Black, Urban Planning Manager

Reviewed by: Terry Barton, Development Planning Department Manager

Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Permit DP21-0194 / DVP21-0195

Attachment B: Comprehensive Development Permit Design Guidelines Checklist

Attachment C: Applicant's Rationale

Schedule A: Site Plan / Floor Plan Schedule B: Elevation Drawings

Schedule C: Landscape Plan

Development Permit & Development Variance Permit DP21-194 / DVP21-0195



This permit relates to land in the City of Kelowna municipally known as 1994 Springfield Road

and legally known as Lot 1 District Lot 129 ODYD Plan KAP47562

and permits the land to be used for the following development:

C4 - Urban Centre Commercial

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Council Decision</u> November 16th, 2021

Decision By: COUNCIL

<u>Development Permit Area:</u> Comprehensive Development Permit Area

Existing Zone: C4 – Urban Centre Commercial

Future Land Use Designation: MXR – Mixed Use (Residential / Commercial)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1295991 BC Ltd., Inc. No. BC1295991

Applicant: Zeidler Architecture

Terry Barton Date
Development Planning Department Manager
Planning & Development Services

Date



1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.
- e) That variance to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 14.4.5(b): C4 - Urban Centre Commercial, Development Regulations

To vary the site coverage requirements from 75% permitted to 88% proposed.

Section 14.4.6(e): C4 - Urban Centre Commercial, Other Regulations

To vary the total commercial space requirements from 90% required to 15% proposed on Springfield Road and from 90% required to 10% proposed on Ambrosi Road.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit OR certified cheque in the amount of \$441,340.46

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.



All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.





DEVELOPMENT PERMIT GUIDELINES

<u>Comprehensive Development Permit Area</u>

Consideration has been given to the following guidelines as identified in Section 14.A. of the City of Kelowna Official Community Plan relating to Comprehensive Development Permit Areas:

COMPREHENSIVE DEVELOPMENT PERMIT AREA			N/A
Authenticity and Regional Expression			
Do landscaping and building form convey a character that is distinct to Kelowna and the Central Okanagan?	√		
Are materials in keeping with the character of the region?	✓		
Are colours used common in the region's natural landscape?	√		
Does the design provide for a transition between the indoors and outdoors?	✓		
Context			
Does the proposal maintain the established or envisioned architectural character of the neighbourhood?	√		
Does interim development consider neighbouring properties designated for more intensive development?		√	
Are façade treatments facing residential areas attractive and context sensitive?	✓		
Are architectural elements aligned from one building to the next?	<		
For exterior changes, is the original character of the building respected and enhanced?			✓
Is the design unique without visually dominating neighbouring buildings?	✓		
For developments with multiple buildings, is there a sense of architectural unity and cohesiveness?	√		
Relationship to the Street			
Do buildings create the desired streetscape rhythm?		✓	
Are parkade entrances located at grade?		✓	
For buildings with multiple street frontages, is equal emphasis given to each frontage?	√		
Massing and Height			
Does the design mitigate the actual and perceived mass of buildings?		√	
Does the height consider shading and view impacts for neighbouring properties and transition to less intensive areas?		√	
Human Scale			
Are architectural elements scaled for pedestrians?		√	
Are façades articulated with indentations and projections?	✓		



COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are top, middle and bottom building elements distinguished?	✓		
Do proposed buildings have an identifiable base, middle and top?	√		
Are building facades designed with a balance of vertical and horizontal proportions?	✓		
Are horizontal glazed areas divided into vertically proportioned windows separated by mullions or building structures?	✓		
Does the design incorporate roof overhangs and the use of awnings, louvers, canopies and other window screening techniques?	✓		
Is the visual impact of enclosed elevator shafts reduced through architectural treatments?	√		
Exterior Elevations and Materials			
Are buildings finished with materials that are natural, local, durable and appropriate to the character of the development?	✓		
Are entrances visually prominent, accessible and recognizable?	✓		
Are higher quality materials continued around building corners or edges that are visible to the public?	√		
Are a variety of materials used to create contrast, enhance the pedestrian environment and reduce the apparent mass of a building?		√	
Are elements other than colour used as the dominant feature of a building?	✓		
Public and Private Open Space			
Does public open space promote interaction and movement through the site?	√		
Are public and private open spaces oriented to take advantage of and protect from the elements?	✓		
Is there an appropriate transition between public and private open spaces?	✓		
Are amenities such as benches, garbage receptacles, bicycle stands and community notice boards included on site?	√		
Site Access			
Is the safe and convenient movement of pedestrians prioritized?	✓		
Are alternative and active modes of transportation supported through the site design?	✓		
Are identifiable and well-lit pathways provided to front entrances?	✓		
Do paved surfaces provide visual interest?	✓		
Is parking located behind or inside buildings, or below grade?	✓		
Are large expanses of parking separated by landscaping or buildings?	✓		
Are vehicle and service accesses from lower order roads or lanes?	✓		



COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Do vehicle and service accesses have minimal impact on the streetscape and public views?		√	
Is visible and secure bicycle parking provided in new parking structures and parking lots?	✓		
Environmental Design and Green Building			
Does the proposal consider solar gain and exposure?	✓		
Are green walls or shade trees incorporated in the design?	✓		
Does the site layout minimize stormwater runoff?	✓		
Are sustainable construction methods and materials used in the project?	✓		
Are green building strategies incorporated into the design?	✓		
Decks, Balconies, Rooftops and Common Outdoor Amenity Space			
Are decks, balconies or common outdoor amenity spaces provided?	✓		
Does hard and soft landscaping enhance the usability of decks, balconies and outdoor amenity spaces?	✓		
Are large flat expanses of roof enhanced with texture, colour or landscaping where they are visible from above or adjacent properties?	✓		
Amenities, Ancillary Services and Utilities			•
Are loading, garage, storage, utility and other ancillary services located away from public view?	✓		
Are vents, mechanical rooms / equipment and elevator penthouses integrated with the roof or screened with finishes compatible with the building's design?	✓		
Landscape Development and Irrigation Water Conservation			
Does landscaping:	-	-	-
Compliment and soften the building's architectural features and mitigate undesirable elements?	√		
Maintain the dominant pattern of landscaping along the street and surrounding properties?	✓		
• Enhance the pedestrian environment and the sense of personal safety?	√		
 Screen parking areas, mechanical functions, and garbage and recycling areas? 	✓		
Respect required sightlines from roadways and enhance public views?	✓		
Retain existing healthy mature trees and vegetation?	✓		
Use native plants that are drought tolerant?	✓		
Define distinct private outdoor space for all ground-level dwellings?	✓		
Do any fences and retaining walls create visual interest and enhance the	√		



COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Do parking lots have one shade tree per four parking stalls?	✓		
Does the Landscape Architect's Landscape Water Conservation Report:	-	-	-
 Meet the requirements for Landscape Water Budget calculations for the landscaped area? 	√		
Indicate how the development complies with or varies from the Landscape Water Conservation Guidelines? Landscape Water Conservation Guidelines	✓		
Are plants grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas?	√		
Does at least 25% of the total landscaped area require no irrigation / watering?	✓		
Does at least 25% of the total landscaped area require low water use?	√		
Does at most 50% of the total landscaped area require medium or high water use?	√		
Is mulch cover provided for shrubs and groundcover to reduce soil evaporation?	√		
Do water features such as pools and fountains use recirculated water systems?			√
Do landscape installation standards meet the requirements of the BC Landscape Standard and / or the Master Municipal Construction Document?	√		
Are the required written declarations signed by a qualified Landscape Architect?	✓		
Irrigation System Guidelines			
Is the Irrigation Plan prepared by a Qualified Professional?	✓		
Are irrigation circuits grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas consistent with the landscaping plan?	✓		
Is drip or low volume irrigation used?	✓		
Are the required written declarations signed by a qualified Certified Irrigation Designer?	√		
Crime prevention			
Are CPTED practices as related to landscaping, siting, form and exterior design included in the design?	√		
Are building materials vandalism resistant?			✓
Universal Accessible Design			•
Is access for persons with disabilities integrated into the overall site plan and clearly visible from the principal entrance?	✓		
Are the site layout, services and amenities easy to understand and navigate?	✓		
Lakeside Development			1
Are lakeside open spaces provided or enhanced?			✓



COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are lake views protected?			✓
Does lakeside development act as a transition between the lake and inland development?			√
Signs			
Do signs contribute to the overall quality and character of the development?			√
Is signage design consistent with the appearance and scale of the building?			√
Are signs located and scaled to be easily read by pedestrians?			√
For culturally significant buildings, is the signage inspired by historical influences?			√
Lighting			•
Does lighting enhance public safety?	✓		
Is "light trespass" onto adjacent residential areas minimized?	✓		
Does lighting consider the effect on the façade, neighbouring buildings and open spaces?	√		
Is suitably scaled pedestrian lighting provided?	✓		
Does exterior street lighting follow the International Dark Sky Model to limit light pollution?			✓





August 6, 2021

City of Kelowna, Planning 1435 Water Street Kelowna, BC V1Y 1J4



RE: OCP Amendment, Rezoning Application – 1994 Springfield Road

The attached submission is an Official Community Plan amendment and Rezoning application for 1994 Springfield Road. Further to our pre-application discussions, we are pleased to propose a mixed-use multifamily development comprised of a blend of street-oriented townhomes, apartment units, and commercial space. We are excited to introduce a new housing option to this bustling area of the city. There are a variety of floorplans which will offer a broad demographic the ability to make the Midtown Urban Centre their home. The development is committed to offering quality, long term housing solutions in a neighbourhood surrounded by a multitude of amenities including grocery, shopping, schools and green spaces.

Project Description

The application proposes 182 dwelling units containing a mix of townhomes and apartments located in two 5-6 storey buildings, which will be set on top of a partially below-grade parkade. A generous amount of main floor lifestyle amenity space will activate the frontage along Springfield Road with a commercial feel. The space at the corner of Springfield and Ambrosi Road is contemplated to have the flexibility to be a functional commercial space (e.g. coffee shop) should the future business opportunity arise. The ground-oriented townhome units that line the frontage of Ambrosi Road will contribute to the more walkable, residential atmosphere of the street complimenting the existing urban fabric of the neighbourhood.

To facilitate this new development, the following is requested:

Official Community Plan

 To amend the current OCP from Service Commercial (SC) to Mixed Use (Residential / Commercial - MXR).

Rezoning Application

• Rezone the site from C10 – Service Commercial to C4 – Urban Centre Commercial in alignment with the proposed changes to the OCP.

Development Variances

• The preliminary drawing package includes information on the following requested variances:

West Point Projects Ltd. 612 Bernard Ave. Kelowna, BC V1Y 2G3



DVP 1 - Site Coverage Area

DVP 2 – Commercial Space Frontage

Project Rationale

Our community continues to grow in population with increased levels forecast to the year 2040. Providing affordable housing options is a key priority for our community. Providing housing within the Midtown Urban Centre is a location suitable for increased density with buildings like the 14 storey InVue Condominiums and the 6 storey Ambrosia Tower being indicative of the scale of other residential developments in the area.

We believe the requested rezoning and OCP amendment to allow for a 5-6 storey mixed-use multifamily development is an appropriate designation for the subject site. The C4 zoning lends itself to a greater ability to organize the livable spaces and create density consistent with the surrounding multi-unit buildings. The regulations of the C4 zone are the most suitable in their relationship with the adjoining properties and are the most compatible with the location of the subject property.

Site Access and Vehicle Movement

Extensive efforts have gone into concealing the bulk of the parking within the partially buried underground parkade. A limited amount of surface parking is proposed at the podium deck level to streamline the pedestrian experience. Access off Springfield is avoided, with the building services, waste and recycling, loading and visitor parking organized from Moss Court, and the parkade access located at the north end of the site off Ambrosi Road. The public realm is greatly enhanced by minimizing the vehicular access points along the main street frontages of the development.

Landscape and Lifestyle Amenities

The townhome units that line the frontage of Ambrosi Road all have front entry doors that are oriented to the streetscape as well as access to shared amenities within the development. Young families or those interested in compact, urban living will enjoy these homes. Each townhome also has an at-grade outdoor patio space which interfaces with the sidewalk in front of the development creating a warm and inviting presence.

The buildings will encapsulate a large landscaped rooftop public courtyard which will provide a variety safe outdoor amenity spaces to the community. Lifestyle amenities contemplated for this space include a play area, pet park, sitting/relaxation spaces, walking pathways and turf areas for sport. Planted gardens will make use of soft colours, scented flowers and foliage to create a relaxing atmosphere for the courtyard patrons, and particular attention will be paid to plants and shrubs that will reflect the changing seasons. Having the ability to enjoy the indoor/outdoor climate in the Okanagan is a priority for planning in this development. We want to ensure this building will feel like 'home'.



Community Well-Being and Connectedness

There are two primary considerations in this section, crime prevention and urban interaction. As part of the community well-being, safety measures such as security cameras, secure tenant access, generous lighting, and activated building faces will all be contemplated. Crime prevention and a sense of safety is a primary need for all of us. The homes in this development will respond to our basic need for secure shelter. An active property manager and welcoming lobby environment will also add to the comfort of all residents within the development.

The urban interaction surrounding the subject property is significant. Walking, running, and cycling from the development is even greater now with the addition of dedicated bike lanes. The nearby Mission Creek Regional Park offers quick and easy access to the Mission Park Greenway for walking, hiking and cycling, and being steps from Orchard Park Mall, there are a multitude of restaurants, events, services, a movie theatre, coffee shops, and community amenities that are all readily available. Being 'plugged-in' will be effortless from this development.

Closing

This application is a significant opportunity to add new housing options within the Midtown Urban Centre. This proposal offers a variety of high-quality homes which will respond to the continued demand and sustainability of our growing city. The location of the project reinforces the consistent theme of building forms along one of our city's busiest roadways.

We welcome your feedback as we work together to enhance our community.

Kind Regards,

Mr. Corey Makus

Partner, 1994 Springfield Developments Ltd.

cc: Rob Haberman Sam Brovender

PARKADE: MAIN FLOOR: 32,176 sq.ft.
2ND FLOOR: 32,262 sq.ft.
3RD FLOOR: 30,438 sq.ft.
4TH FLOOR: 30,425 sq.ft.
5TH FLOOR: 30,288 sq.ft.
6TH FLOOR: 10,922 sq.ft. (38% SITE COVERAGE)

TOTAL FLOOR AREA (ABOVE GRADE): 166,511 sq.ft.

NET ELOOP AREA

TOTAL NET FLOOR AREA: 124.790 sq.ft. FAR: 1.49 (MAX 1.49) (BASE 1.3 + PARKING BONUS (195/208)0.2 = 0.19)

BUILDING HEIGHT: LESSER OF 37 0m or 12 STOREYS for apartment housing

SETBACKS:

182 UNITS (100%) PARKING CALCULATION:

Kelowna

PARRON REQUIRED:

1676 RESDENTIAL STALLS 0.888ACHELOR, 0.918R, 1.028R or MORE)

(0.84T)+(0.9410+(1.0450+167.6

25.5 VISTOR STALLS 0.148AIT)

(1.84C)+(0.8410+(1.0450+167.6

1.8 COMMERCAL STALLS (1.3100ar)

(1.970+1.8)

TOTAL: 209 STALLS PROVIDED (189 REGULAR SIZE)

BICYCLE PARKING CALCULATION:

PARKING PROVIDED: 140 LONG-TERM SPACES (70 GROUND-ANCHORED, 70 WALL-MOUNTED) 28 SHORT-TERM SPACES

PRIVATE OPEN SPACE CALCULATION:

PRIVATE OPEN SPACE REQUIRED: (17 x 6.0m²)+(110 x 10.0m²)+(55 x15.0m²) = <u>2.027 sq.m. REQUIRED</u>

PRIVATE OPEN SPACE PROVIDED: PRIVATE BALCONY/PATIO: INDOOR COMMON AMENITY:

4,780 sq.m. PROVIDED



VIEW FROM AMBROSI ROAD - LOOKING WEST



VIEW FROM AMBROSI ROAD - LOOKING NORTH



VIEW FROM SPRINGFIELD ROAD - LOOKING SOUTH EAST



VIEW FROM AMBROSI ROAD - LOOKING SOUTH



VIEW FROM MOSS COURT - LOOKING EAST



VIEW FROM SPRINGFIELD & AMBROSI - LOOKING NORTH WEST



VIEW FROM SPRINGFIELD ROAD - LOOKING NORTH

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VIEW FROM AMBROSI ROAD - LOOKING SOUTH WEST



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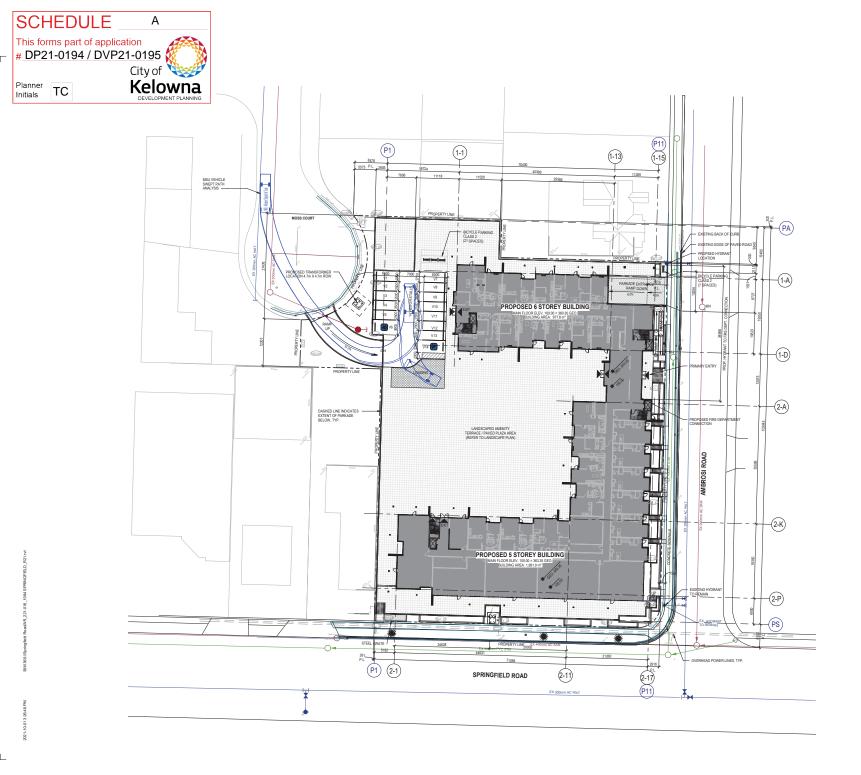
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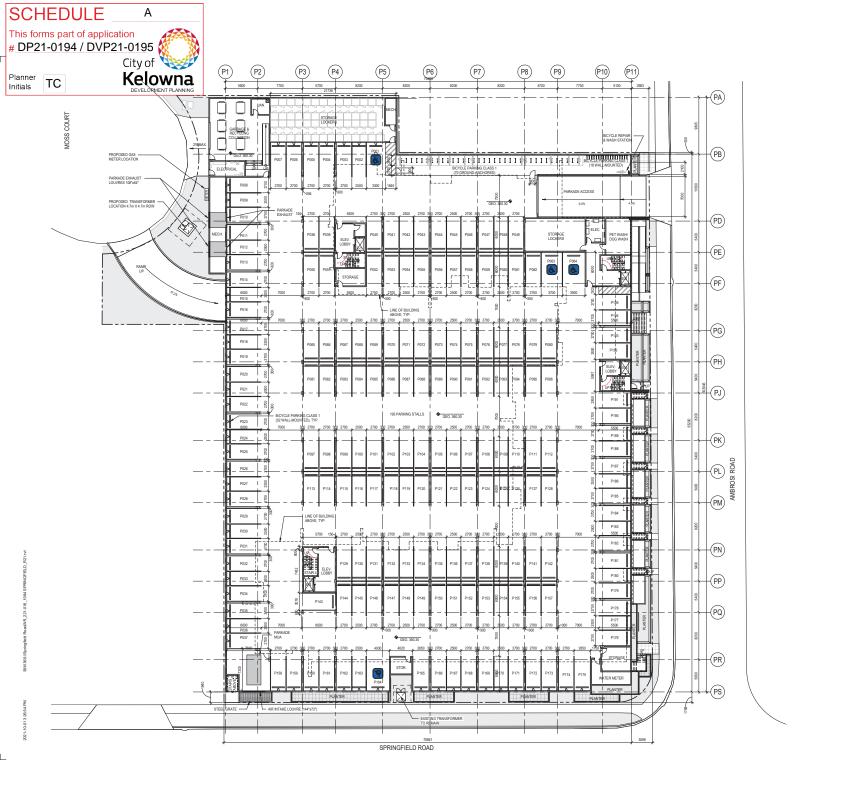
1994 SPRINGFIELD

PROJECT ADDRESS 1994 SPRINGFIELD RD KELOWNA, BC V1Y 5V7

SITE PLAN

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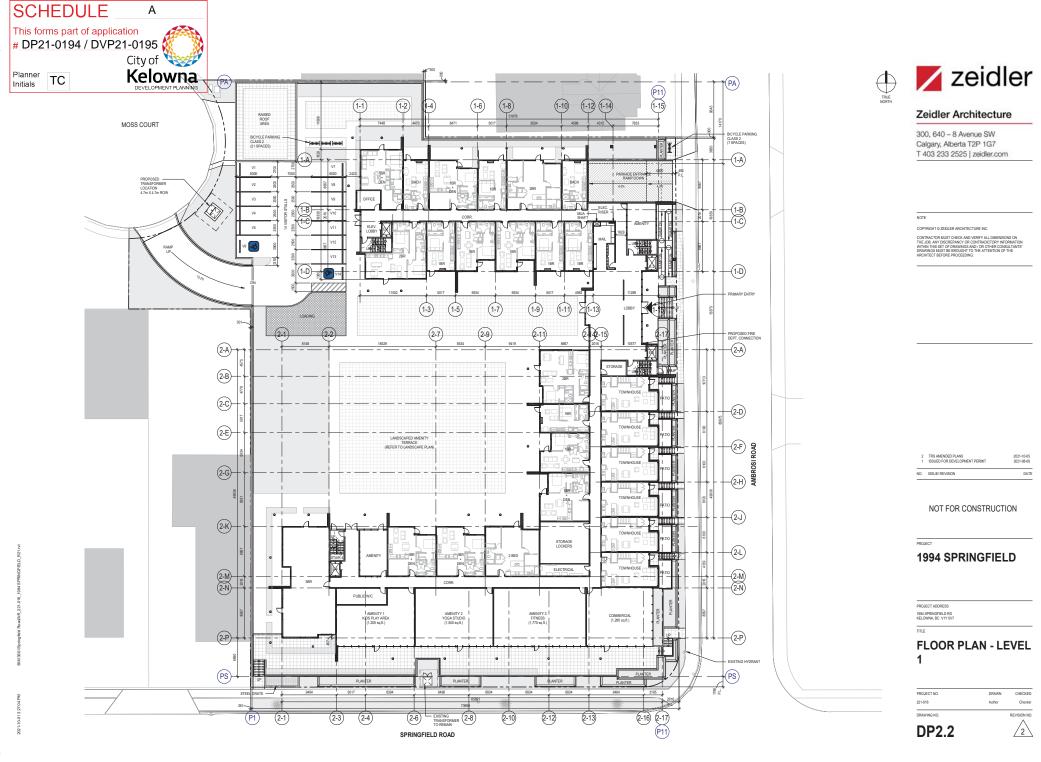
FLOOR PLAN - PARKADE

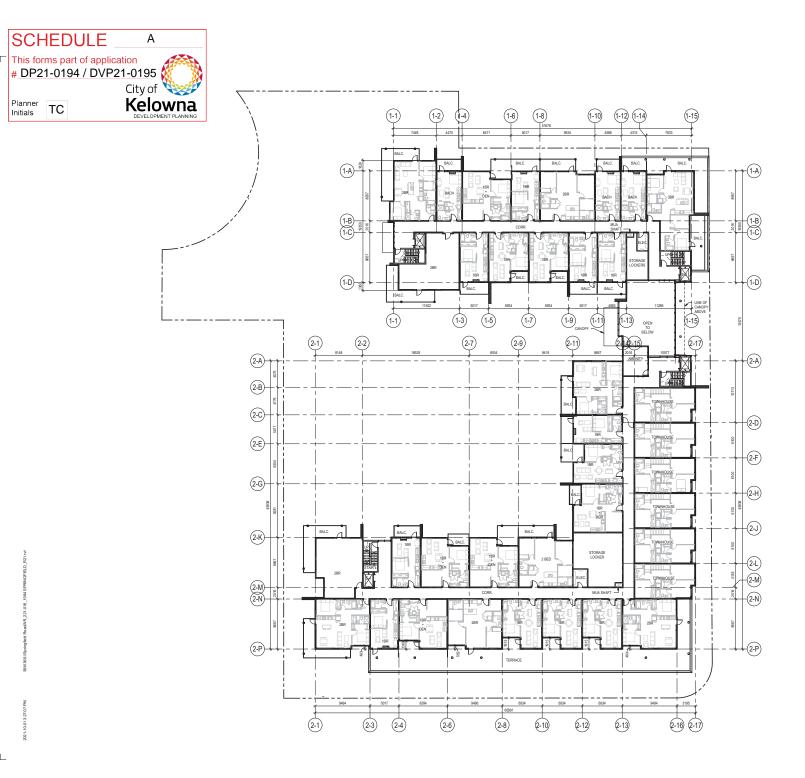
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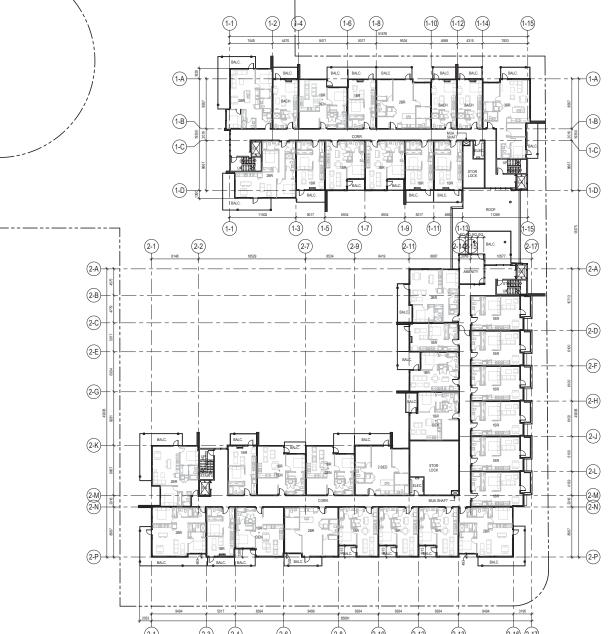
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FLOOR PLAN - LEVEL

DP2.3











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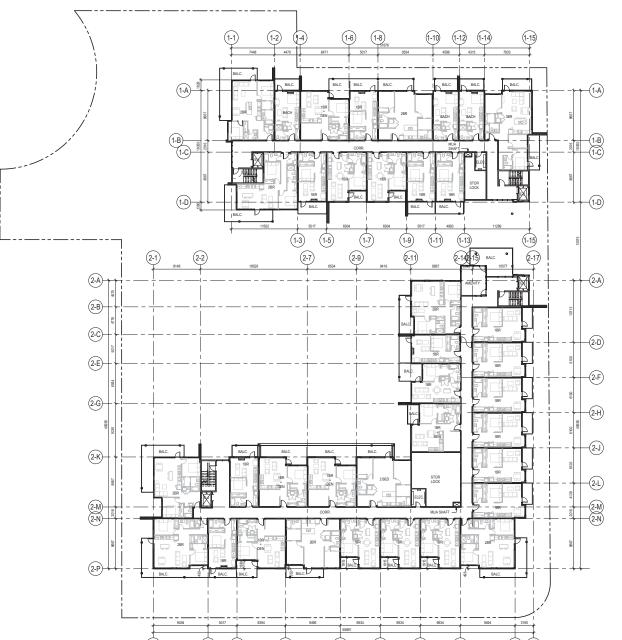
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FLOOR PLAN - LEVEL 3

DP2.4











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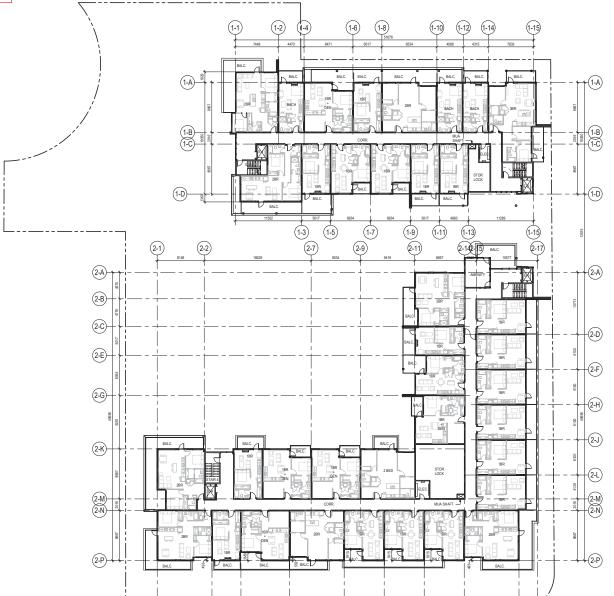
1994 SPRINGFIELD

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FLOOR PLAN - LEVEL

DP2.5









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FLOOR PLAN - LEVEL

DP2.6









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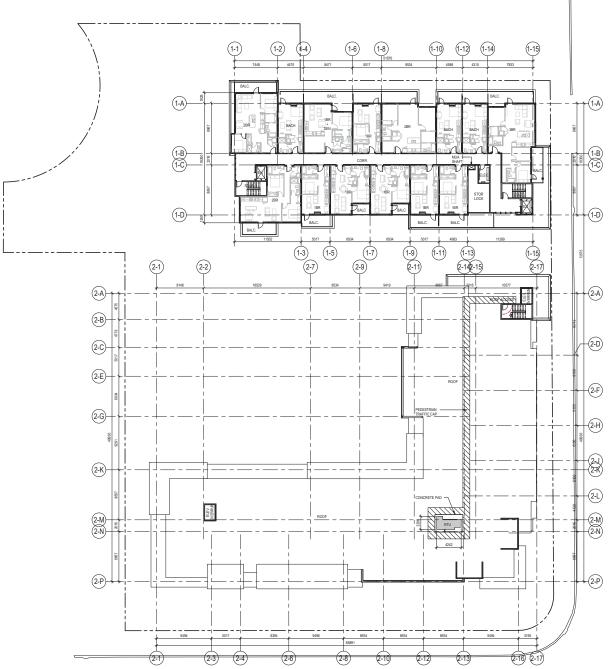
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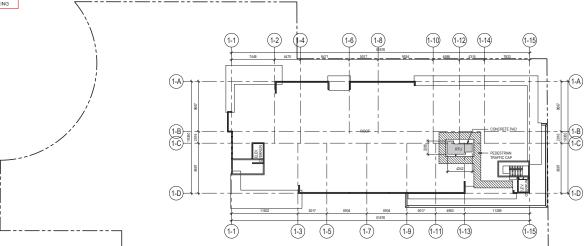
FLOOR PLAN - LEVEL 6

DP2.7













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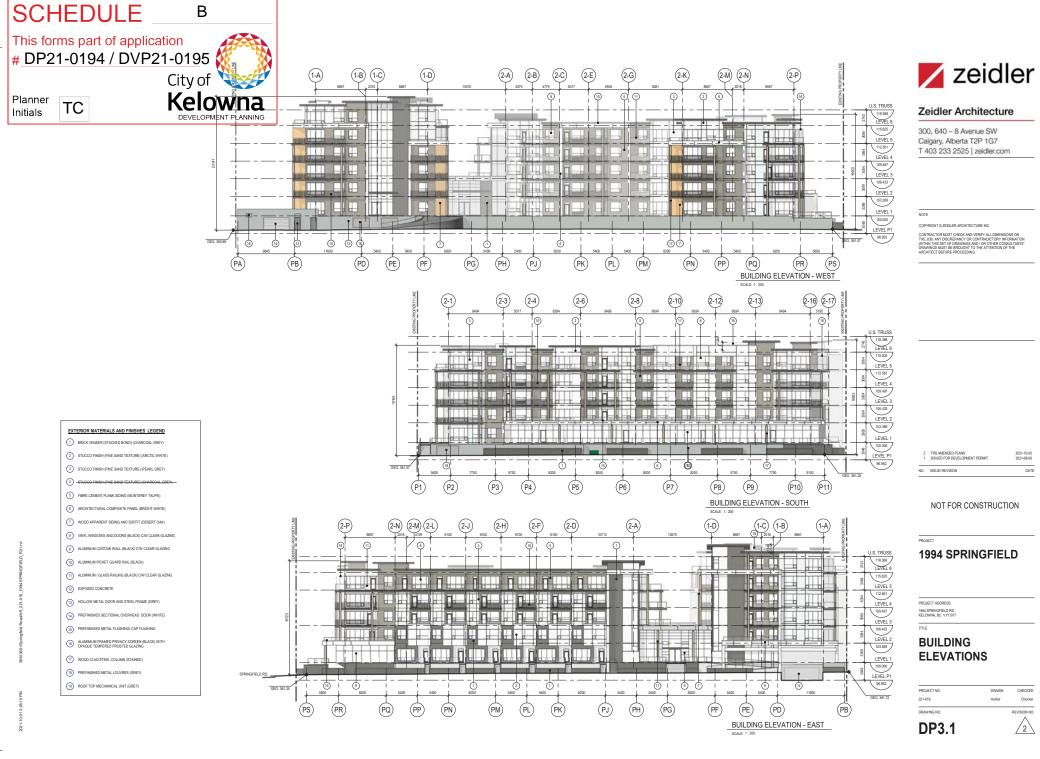
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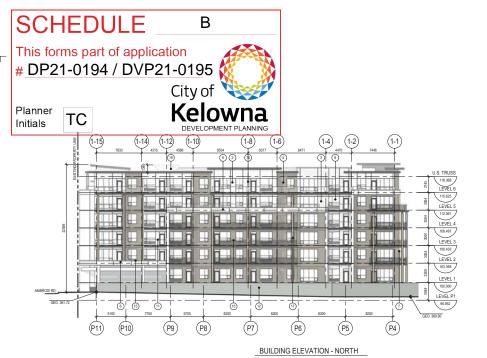
FLOOR PLAN - ROOF

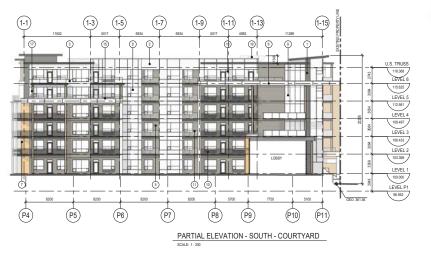
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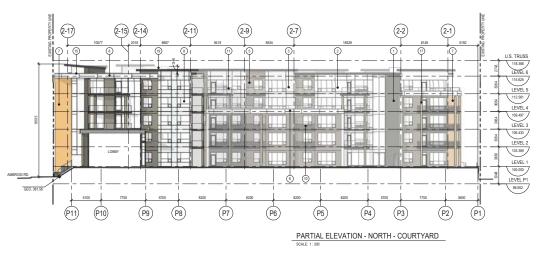
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ARCHITECT BEFORE PROCEEDING.

EXTERIOR MATERIALS AND FINISHES LEGEND BRICK VENEER (STACKED BOND) (CHARCOAL GREY)

- 2 STUCCO FINISH (FINE SAND TEXTURE) (ARCTIC WHITE)
- (3) STUCCO FINISH (FINE SAND TEXTURE) (PEARL GREY)

- (7) WOOD APPARENT SIDING AND SOFFIT (DESERT OAK)
- VINYL WINDOWS AND DOORS (BLACK) C/W CLEAR GLAZING (9) ALUMINUM CURTAIN WALL (BLACK) C/W CLEAR GLAZING
- (10) ALUMINUM PICKET GUARD RAIL (BLACK)
- (1) ALUMINUM / GLASS RAILING (BLACK) C/W CLEAR GLAZING
- (12) EXPOSED CONCRETE
- (3) HOLLOW METAL DOOR AND STEEL FRAME (GREY)
- (4) PREFINISHED SECTIONAL OVERHEAD DOOR (WHITE)
- 15 PREFINIHSED METAL FLASHING/ CAP FLASHING (6) ALUMINIUM FRAMED PRIVACY SCREEN (BLACK) WITH OPAQUE TEMPERED FROSTED GLAZING
- (17) WOOD CLAD STEEL COLUMN (STAINED)
- (18) PREFINISHED METAL LOUVRES (GREY)
- (19) ROOF TOP MECHANICAL UNIT (GREY)



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1994 SPRINGFIELD

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BUILDING ELEVATIONS

2

DP3.2





PERSPECTIVE VIEW - FROM CORNER OF SPRINGFIELD AND AMBROSI RD.



PERSPECTIVE VIEW - SOUTH ELEVATION - FROM SPRINGFIELD RD.



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PERSPECTIVE VIEW - WEST ELEVATION - FROM MOSS CT.



PERSPECTIVE VIEW - NORTH ELEVATION - FROM AMBROSI RD.

NO.	ISSUE/ REVISION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2021-08-06
2	TRS AMENDED PLANS	2021-10-05

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1994 SPRINGFIELD

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3D PERSPECTIVE VIEWS

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PERSPECTIVE VIEW - EAST ELEVATION - FROM AMBROSI RD.



PERSPECTIVE VIEW - SOUTH ELEVATION - FROM COURTYARD



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PERSPECTIVE VIEW - NORTH ELEVATION - FROM COURTYARD



PERSPECTIVE VIEW - SOUTH ELEVATION - FROM SPRINGFIELD RD.

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1994 SPRINGFIELD

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3D PERSPECTIVE VIEWS

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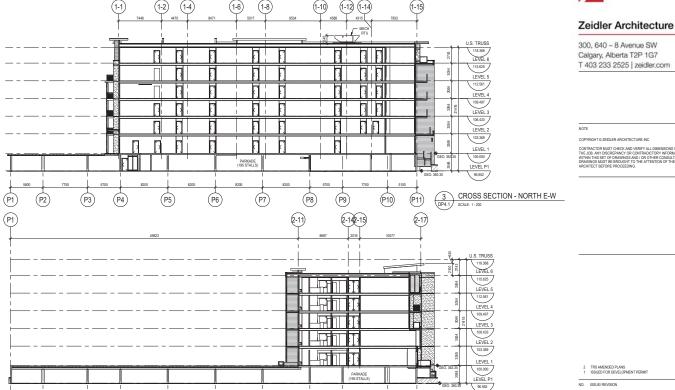


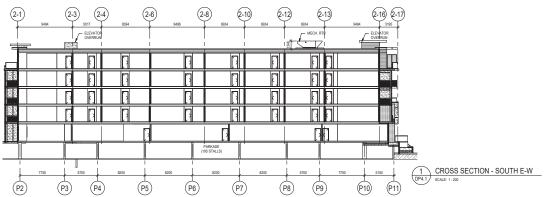
This forms part of application # DP21-0194 / DVP21-0195

Planner Initials

TC







(P8)

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(P6)

(P3)

(P4)



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2 CROSS SECTION - OVERALL E-W

1994 SPRINGFIELD

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BUILDING SECTIONS

DP4.1





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LEVEL 3

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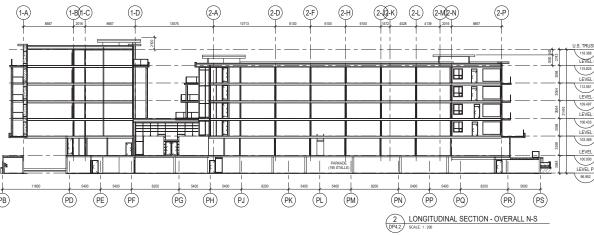
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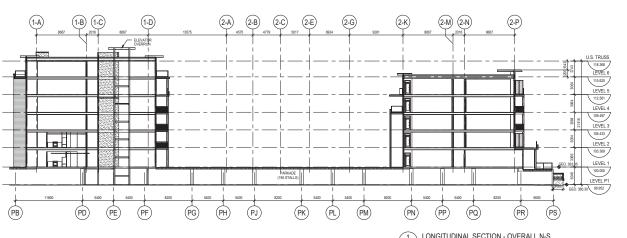
BUILDING SECTIONS

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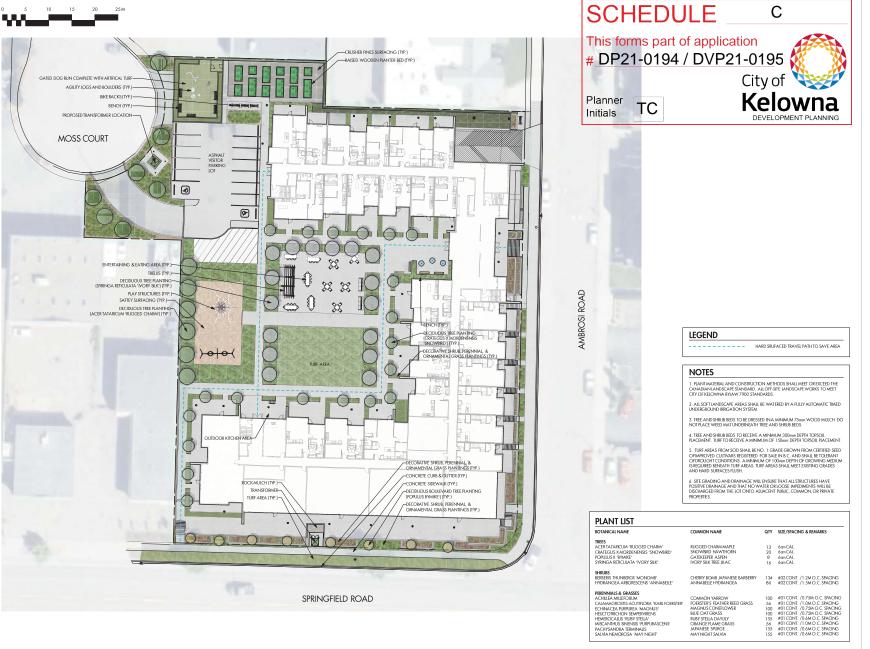
DP4.2







LONGITUDINAL SECTION - OVERALL N-S
SCALE: 1:200







1994 SPRINGFIELD ROAD

ilowna, BC

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CONCEPTUAL LANDSCAPE PLAN

| SULEDICK / RANGON | 1 2108.05 | Review | 2 21,10.04 | Review | 3 4 4 | 5 |

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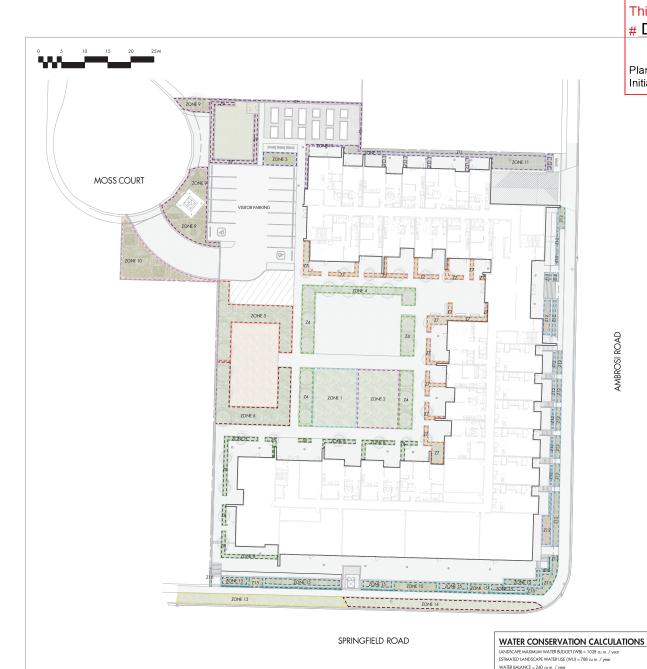
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 247,667

SEAL



1500

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Landscape Architecture Intrited and shall not be resociated.



SCHEDULE

This forms part of application

DP21-0194 / DVP21-0195

Planner Initials

GRIGATION NOTES

DEVELOPMENT PLANNING T. IRRIGATION PRODUCTS AND INSTALIATION METHODS

REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).

2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.

3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.

4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ETVALE OF 7" / MCNITH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLUMATE.

5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.

6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.

IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.

B. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

IRRIGATION LEGEND

ZONE #1: LOW VOLUME POP-IP SPRAY HEADS FOR TURF AREAS TOTAL AREA: 123 sq.m. MICROCUMATE: NORTHWEST EXPOSURE, FULL SUN

ESTIMATED ANNUAL WATER USE: 105 cu.m

ZONE #2: LOW VOLUME POP-IP SPRAY HEADS FOR TURF AREAS TOTALAREA: 116 sq.m. MICROCUMATE: NORTHWEST EXPOSURE, FULL SUN ESTIMATED ANNUAL WATER USE: 99 ou.m.

ZONE #3: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE

ZONE #3: HIGH EHRCLENLY SUBSURFACE DIRP IRRUGATION FOR MODERATE WAT PRANTING AREA.

TOTAL AREA. 22 sum.
MCISOCIUMATE: WEST EDPOSUBE, PARTIALLY SHADED BY TREES AND BUILDING ESTIMATED ANNUAL WATER USE: 7 cum.

70NF #4: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE

ZONE #4: HIGH EHRCENNLY SUBSURFACE DIRP IRRIGATION FOR MODERATE WATE

TOTAL AREA 190 sq. m.
MICROCLIMATE: WEST EPROSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATERUSE & 30 m.m.

ZONE #5:HIGH EFFICIENCY SUBSURFACE DRP IRRIGATION FOR MODERATE WATER USE PLANTING A READ 1 TOTAL AREA. 123 sq. m. MICROCIUMATE SOUTHWEST EMPOSURE, PARTIALLY SHADED BY TREES AND BUILDING ESTIMATED ANNULA WHEREUSE. 450 cm.

ZONE #6-HICH EFFICIENCY SUBSURFACE DRP IRRIGATION FOR MODERATE WATER USE PLANTING A REAS TOTAL A REA - 121 sq.m.
MICROCUMATE: WEST DROSURE, PARTIALLY SHADED BY TREES ESTIMATED A NANLAL WATER USE 4 d o.m.

ZONE W7: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS

ZONE #8: HIGH EFFICIENCY SUBSURFACE DRP IRRIGATION FOR MODERATE WAITER USE
PANTING AREA?

— JOHN JAMES A 76 kg/m.
MICKOCLUMATE WEST EVPOSURE PARTIALLY SHADED BY TREES
SISMANED ANNUAL WAITER USE 220 cm.

ZONE #9: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE | TOTAL AREA: 181 sq.m. MICROCIUMATE: WISH AREAS | MICROCIUMATE: WESTERN EXPOSURE, FULL SUN ESTIMATED ANNUAL WATER USE: 60 qu.m.

ZONE #10: HIGH EFFICIENCY SUBSURFACE DRIP RRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA. 99 sq.m. MCROCIMATE: WESTERN EPPOSURE, FULL SUN SESTMATED ANNAL WATER USE. 33 oz.m.

ZONE #11. HIGH EFFICIENCY SUBSURFACE DRIP RRIGATION FOR MODERATE WATER USE PLANTING ABEAS TOTAL AREA: 110 sq.m. MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING

ESTIMATED ANNUAL WATER USE: 37 au.m. ZONE #1 2: LOW YOULME POP-IP SPRAY HEADS FOR TURFAREAS TOTAL AREA 1024g m. MCROCLUMARE EAST EXPOSURE PARTIALLY SHADED BY TREES AND BUILDING ESTIMATED ANNUAL WATER USE: 34 oz.m.

ZONE #13: LOW VOLUME POP-IP SPRAY HEADS FOR TURF AREAS

TOTAL AREA: 83 sq.m. MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 71 cu.m. ZONE #1.4: LOW VOLUME POP-IP SPRAY HEADS FOR TURE AREAS TOTAL AREA: 94 sq.m.

MICROCUMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 80 o.u.m.

ZONE #1.5. HIGH EFFICIENCY SUBSURFACE DRIP RRIGATION FOR MODERATE WATER USE PLANTING ABEAS.
TOTAL AREA: 1.49 sq.m.
MICKOCUMATE. NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES

ESTIMATED ANNUAL WATER USE: 50 g m.

*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS



303-590 KLO Road Kelowna, BC V1Y 7S2 T (250) 868-9270 www.outlanddesign.ca



1994 SPRINGFIELD ROAD

WATER CONSERVATION/ IRRIGATION PLAN

	21,08,06	Review	
2	21.10.04	Review	
4 5			
5			

PROJECT NO	21-052	
DESIGN BY	AM	
DRAWN BY	MC	
CHECKED BY	FB	
DATE	OCT. 4, 2021	
SCALE	1:250	
PAGE SIZE	24536"	





ISSUED FOR REVIEW ONLY



DP21-0194 / DVP21-0195 1994 Springfield Road

Development Permit and Development Variance Permit Applications



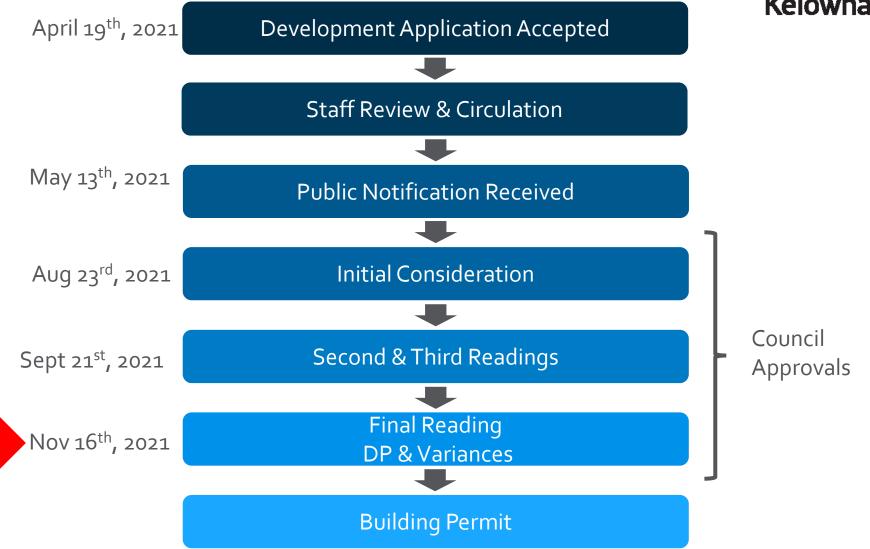


Proposal

➤ To consider a Development Permit for the form and character of a new mixed-use building and to consider a variance to site coverage and the commercial frontage requirements.

Development Process

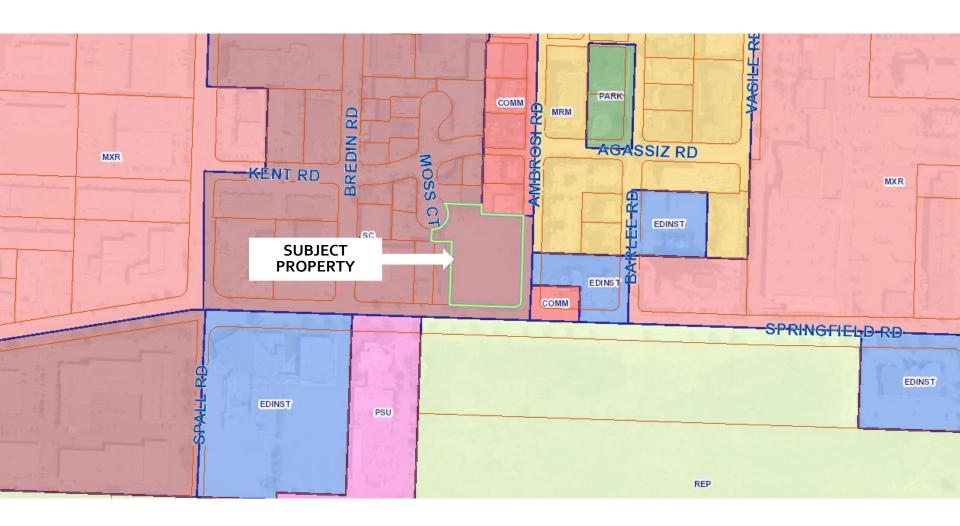




Context Map



Future Land Use



Subject Property Map

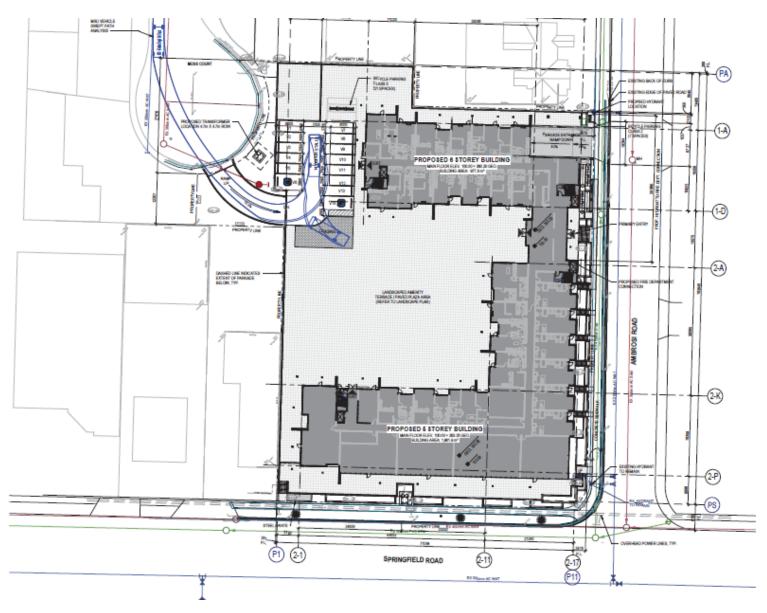


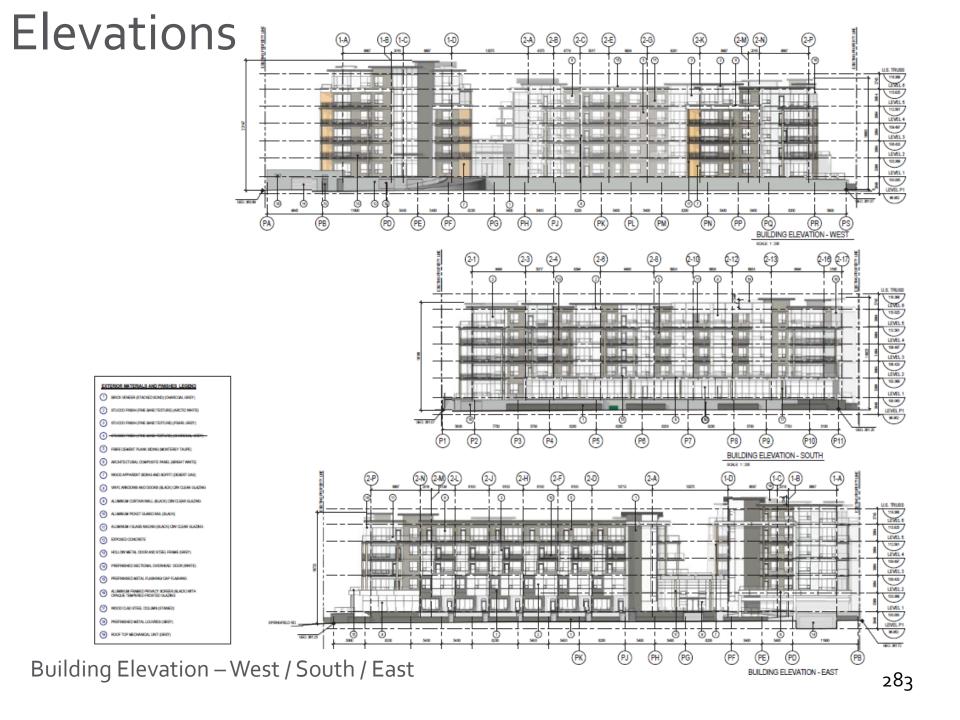


Project details

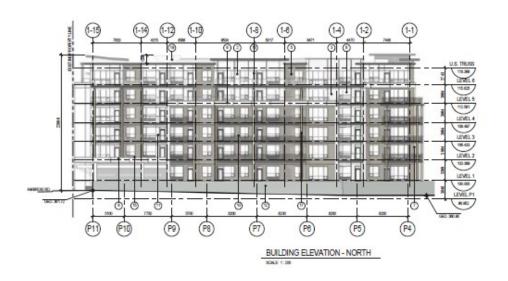
- ▶ Development Permit for form and character of new 182-unit apartment.
 - ► Six townhomes street-oriented along Ambrosi Road.
 - ▶ 176-units in two 5 + 6 storey apartment buildings.
 - ▶ Mix of bachelor, 1-bedroom, 2-bedroom and 3-bedroom units.
- ▶ Parkade access off Ambrosi Road and visitor access off Moss Court.
- ► All atop a semi in-ground parkade.
 - ▶ Parkade has all required stalls and bicycle parking.

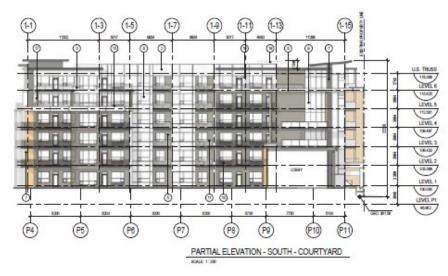
Site Plan



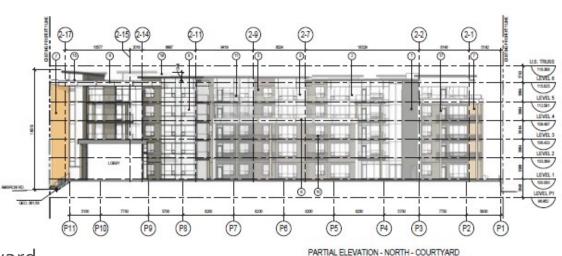


Elevations









Building Elevations – North + Courtyard

Conceptual Renderings



PERSPECTIVE VIEW - FROM CORNER OF SPRINGFIELD AND AMBROSI RD.



PERSPECTIVE VIEW - SOUTH ELEVATION - FROM SPRINGFIELD RD.

Conceptual Renderings







PERSPECTIVE VIEW - NORTH ELEVATION - FROM AMBROSI RD

Conceptual Renderings

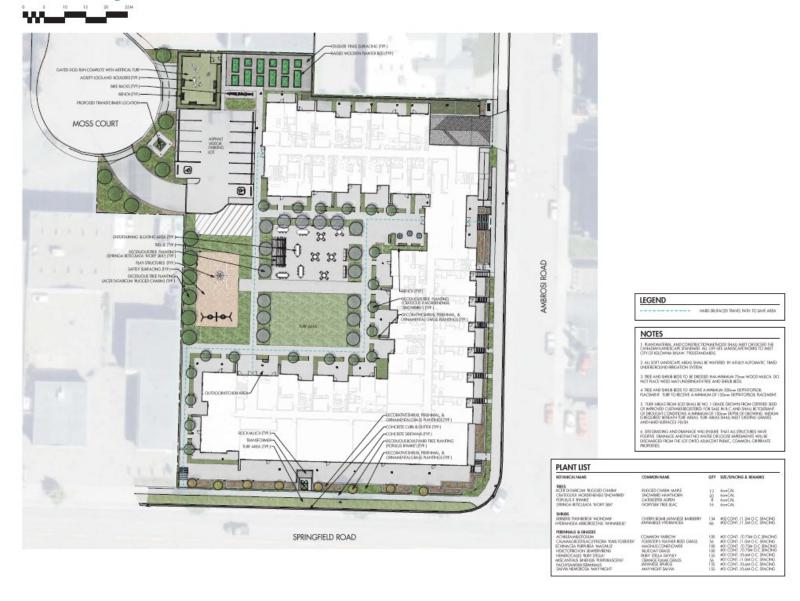






PERSPECTIVE VIEW - SOUTH ELEVATION - FROM COURTYARD

Landscape Plan

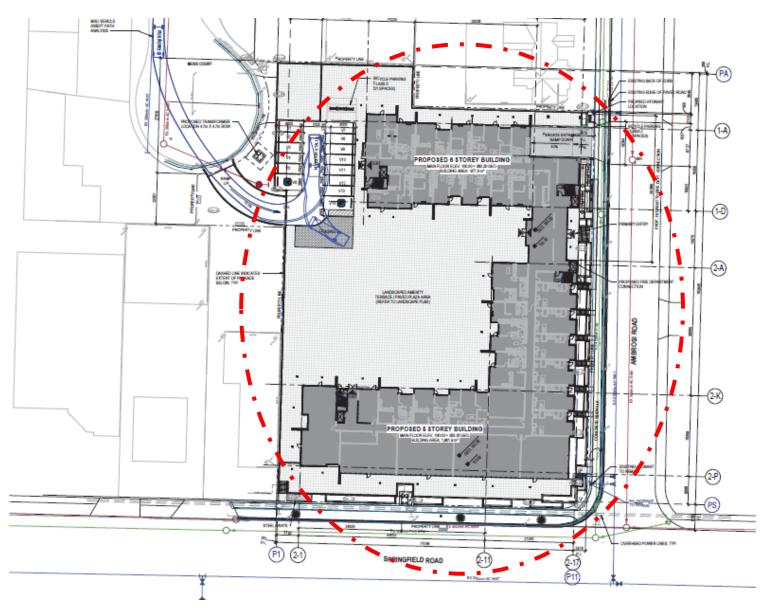




Project details

- ► Applicant is requesting two variances for the proposal.
 - ➤ The maximum site coverage from 75% permitted to 88% proposed.
 - ➤ To vary the commercial frontage requirements from 90% required on Springfield to 15% and 90% required to 10% on Ambrosi Road.

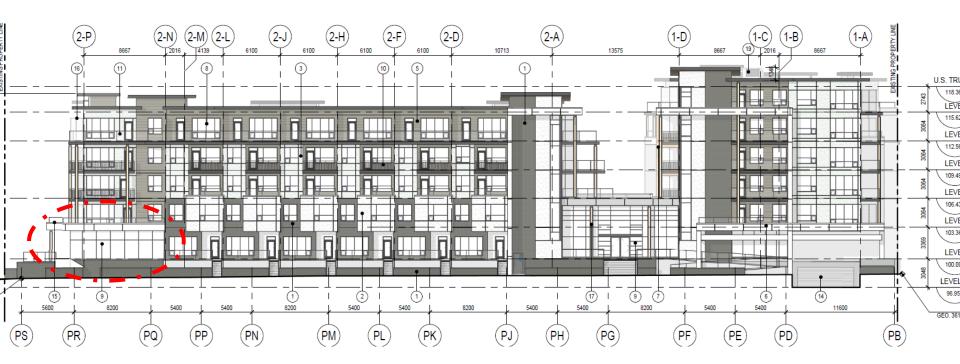
Variances



Variances



Variances





Development Policy

- Meets the Intent of the Official Community Plan (OCP)
 - ▶ Urban Form
 - Housing Mix
 - Ground-Oriented Housing
 - Urban Centre Policies



Staff Recommendation

- ➤ Staff recommend support for the proposed Development Permit and Development Variance Permit.
 - ► Proposed buildings are in an important entrance to the Midtown Urban Centre.
 - ► Form and character meets the intent of the Urban Centre area and meets majority of Comprehensive Design Guidelines.
 - ► The variances are supported because applicant has increased landscaping throughout site and offered street-oriented dwellings along Ambrosi Road.



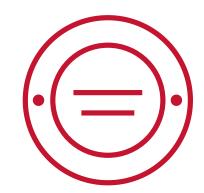
Conclusion of Staff Remarks



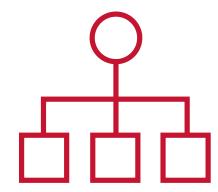
1994 Springfield Rd.





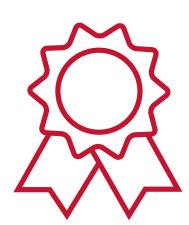


Local Developers Kelowna | BC



In-house Management

Retained Ownership



Philanthropy **Supporting Communities**



Our Mission and Values



Residential Development -

Our goal is to enrich the everyday lives of our community members for years to come.

SMART Progressive COMMUNITY Family Long Term Home HOSPITALITY Attentive High Touch SECURITY Safety Comfort

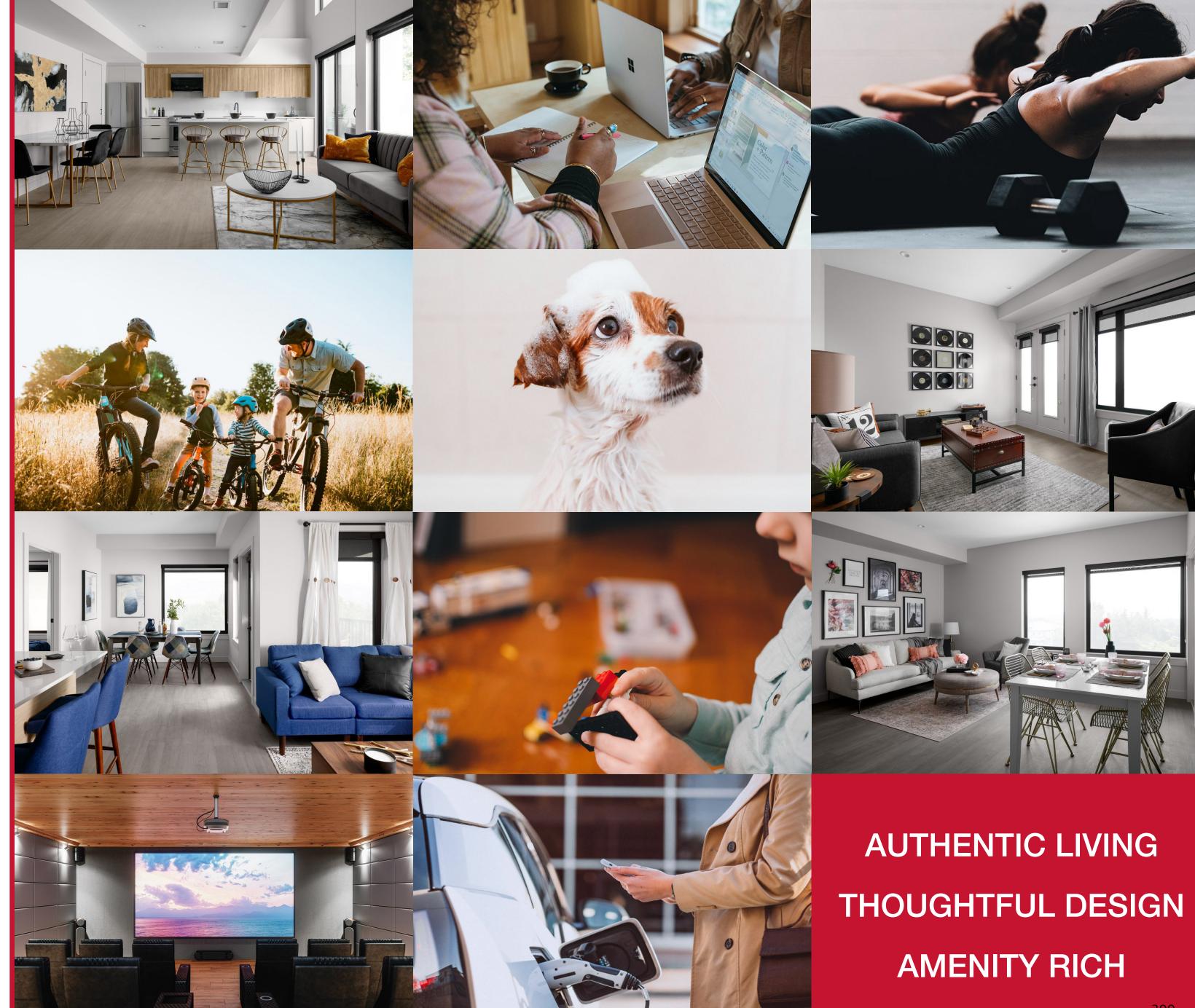
Brand Values —





RENTALS | LIFESTYLE

- Onsite management
- Secure and safe living environment
- Coworking Lounge
- Theatre
- Fitness Centre
- Electric vehicle charging
- Biking facilities
- Dog park and wash station
- Storage lockers on every level
- Separate freight/move-in elevator
- Games Room
- Dedicated Concierge Service





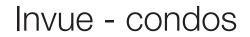
DEVELOPMENT BENEFITS

responsive to the community



1994 Springfield Road - rental homes







Dwell - townhomes



Ambrosi Court - condos



Ambrosia Tower - consos

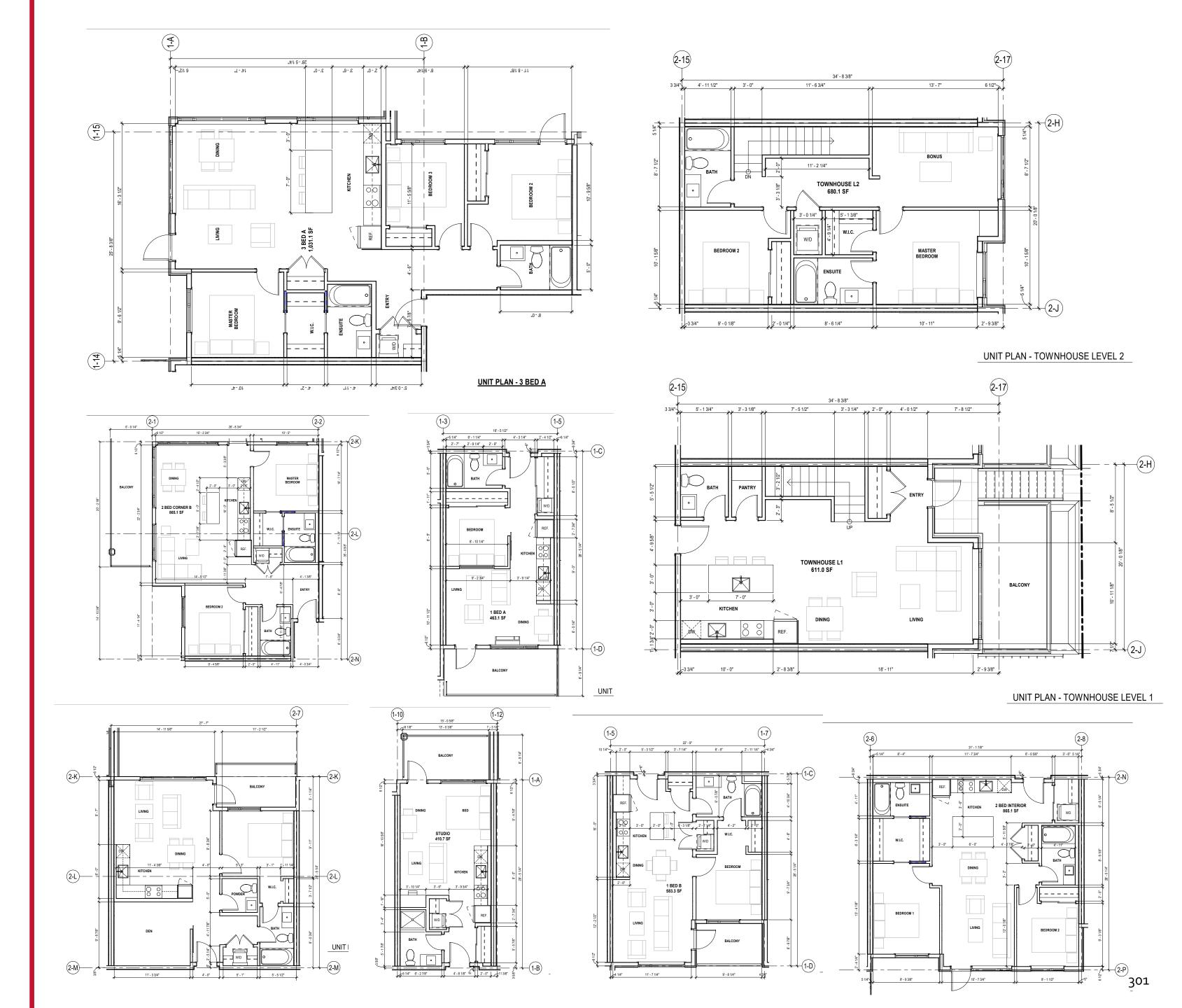




DEVELOPMENT BENEFITS

wide variety of housing options

- Studio 17 units 420 ft²
- o 1 Bedroom junior 37 units 465 ft²
- o 1 Bedroom 47 units 588 ft²
- o 1 Bedroom + den 26 units 749 ft²
- o 2 Bedroom 43 units 875 ft²
- o 3 Bedroom 5 units 1000 ft²
- 3 Bedroom 1 unit 1750 ft²
- Townhouse 6 units 1280 ft²





PROJECT HIGHLIGHTS

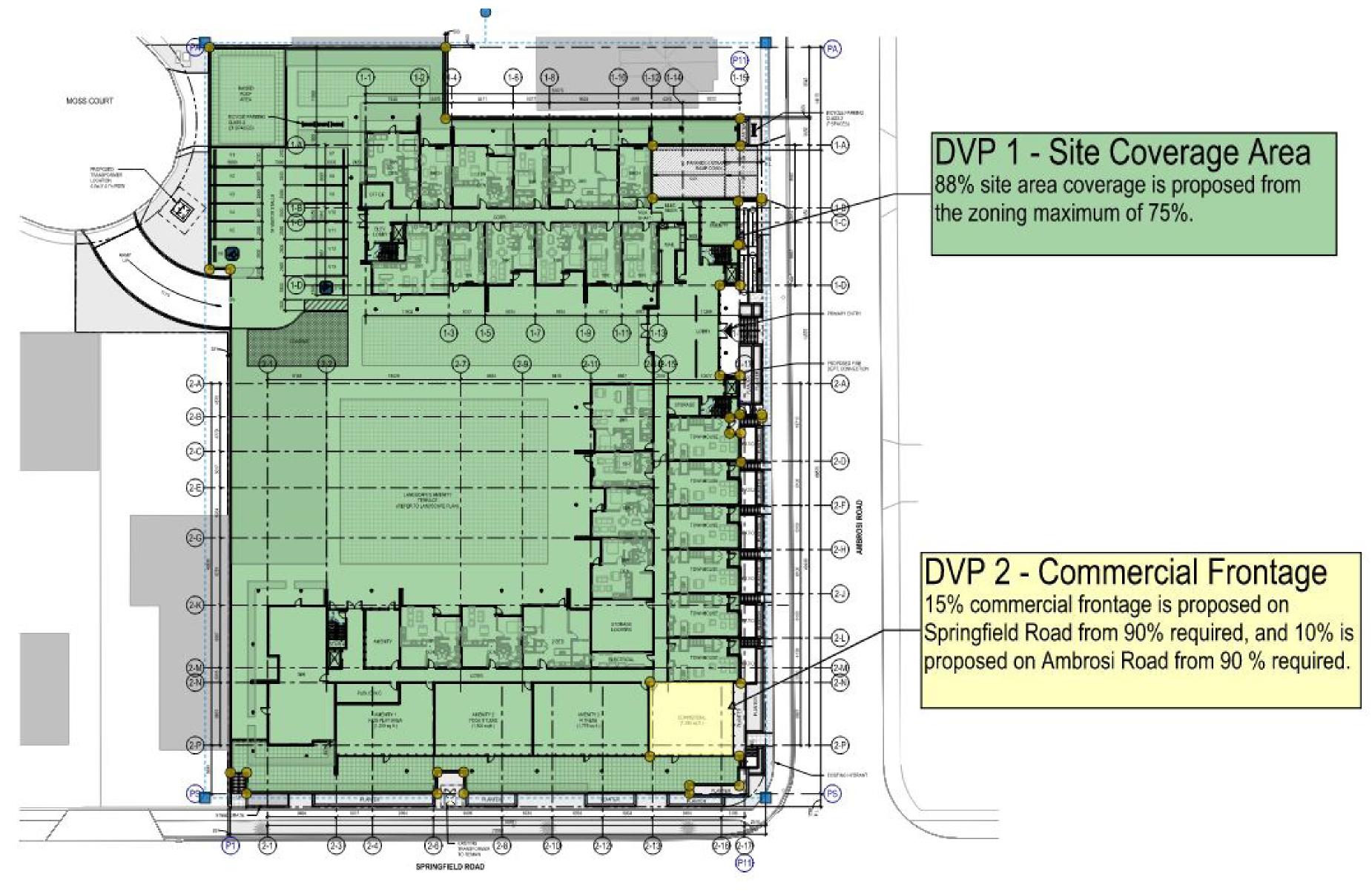
- 182 new rental homes added to the Midtown Urban Centre; to be enrolled in the Revitalization Tax Exemption program
- Large outdoor gathering terrace to promote a healthy community
- Oversubscribed parking beyond the bylaw requirements
- Fortis CNC Incentive Program improving building efficiencies
- Extensive Amenities spaces for an enhanced lifestyle
- EV Charging Stations dedicated for residents and guest parking areas
- Solar Ready harnessing the sun







DEVELOPMENT VARIENCES



COMMERCIAL FRONTAGE VARIANCE



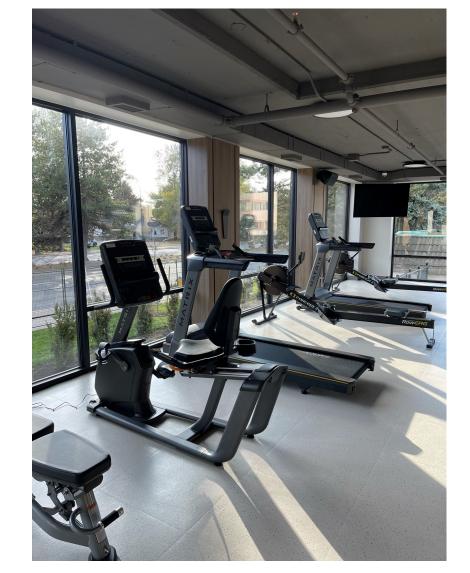
coworking space



Ambrosi frontage – ground oriented townhomes

Springfield frontage – full range of amenities.





o fitness gym













Thank you for your consideration

REPORT TO COUNCIL



Date: November 16th, 2021

To: Council

From: City Manager

Department: Development Planning Department

Address: 508 Sutherland Avenue Applicant: Jason Marzinzik

Subject: Development Variance Permit Application

Existing OCP Designation: S2RES – Single/Two Unit Residential

Existing Zone: RU6 – Two Dwelling Housing

1.0 Recommendation

THAT Council <u>NOT</u> authorize the issuance of Development Variance Permit No. DVP21-0198 for Lot A District Lot 139 ODYD Plan EPP73205, located at 508 Sutherland Avenue, Kelowna, BC.

2.0 Purpose

To consider a Staff recommendation to NOT issue a Development Variance Permit to vary the height of a carriage house from 4.8m required to 6.65m proposed and to vary the maximum upper storey floor area of a carriage house from 75% permitted to 100.4% proposed on the subject property.

3.0 Development Planning

The applicant is proposing a contemporary 2-storey carriage house on the subject property. The proposed carriage house would be built in the rear of the property and accessed off the lane. The contemporary nature of the proposed building requires two variances to construct. The applicant has opted for a flat roof style, which has resulted in the request to vary the carriage house roof height and the upper floor area of the carriage house.

Staff are not supportive of the proposed height and the upper floor variances. The City's current carriage house regulations have been revised several times over the past decade to specifically guard against the visual impact of large carriage houses and their associated privacy concerns with neighbouring properties. Therefore, Council directed Staff to include single-storey incentives for carriage houses within the Zoning Bylaw as single-storey impacts are drastically reduced on neighbouring properties.

The proposed carriage house design includes a flat roof in order to maximize the amount of floor area above the garage. If a traditional gable roof was used with dormers, this would drastically reduce the effective floor

area. This was the purpose behind the regulation requiring the upper floor area to be 75% of the bottom floor area in order to prevent box carriage house designs (i.e., exterior walls going straight up to the second storey). Further, the second storey footprint is larger than the first floor as the design contains a slight upper floor protrusion. The protrusion adds even more floor area to the second floor further undermining the maximum upper floor ratio and the overall definition of a carriage house.

The proposed design is closer in form to a second dwelling, than that of a carriage house. Due to the size of the property the applicant has the ability to build a second dwelling, however, this may require offsite works, Development Cost Charges (DCCs) and service upgrades. Overall, Staff are not supportive of the proposed variances because the proposal doesn't meet the intent of the carriage house development regulations.

4.0 Proposal

4.1 Background

The subject property was part of a rezoning application (Zo7-0098) that rezoned several properties with single-family homes in or near the Marshall Street Heritage Conservation Area from RM5 – Medium Density Multiple Housing zone to RU6 – Two Dwelling Housing zone. The application was to bring the properties into conformance with the proposed new Future Land Use Designation of S2RES – Single/Two Unit Residential and to help protect and maintain the heritage characteristics of the neighbourhood.

In 2018 the owner purchased part of the laneway off the City to allow for a carriage house in the future. This purchase helped correct part of the property's irregular shape and allowed for a more developable property overall.

4.2 Project Description

The proposed Development Variance Permit Application is to allow for a two-storey carriage house to be constructed at the rear of the property. The proposed carriage house would have a net floor area of 89.4m² and will be accessed off the laneway. The second floor would be a two-bedroom unit, while the first floor would be a two-car garage. The proposed requires two variances: one for the height of the carriage house and the second is for the maximum size of the upper floor area. No other variances are required as part of the application. If the Development Variance Permit is issued by Council, the applicant would be required to submit a Building Permit prior to the construction of the carriage house.

4.3 Site Context

The subject property is in the Central City OCP Sector and the surrounding area is primarily zoned RU6 – Two Dwelling Housing, RM5 – Medium Density Multiple Housing and P2 – Education and Minor Institutional. The surrounding area also has a Future Land Use Designation of S2RES – Single/Two Unit Residential, MRM – Multiple Unit Residential (Medium Density) and PARK – Major Park/Open Space (public).

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use	
North	RM5 – Medium Density Multiple Housing	Apartment Housing	
East	RM5 – Medium Density Multiple Housing	Apartment Housing	
South	RM5 – Medium Density Multiple Housing	Apartment Housing	
West	RU6 – Two Dwelling Housing & P2 – Education and Minor Institutional	Single-Family Dwellings & CMHA Office	

Subject Property Map: 508 Sutherland Ave



4.4 Zoning Analysis Table

Zoning Analysis Table					
CRITERIA	RU6 ZONE REQUIREMENTS	PROPOSAL			
Existing Lot/Subdivision Regulations					
Min. Lot Area	700m²	809m²			
Min. Lot Width	18.om	14.23M			
Min. Lot Depth	30.om	47.8om			
Carriage House Development Regulations					
Max. Net Floor Area	9om²	89.4m²			
Max. Site Coverage (buildings)	40%	23.9%			
Max. Site Coverage (buildings,	50%	28.7%			
parking, driveways)	20%	26./70			
Max. Height	4.8m	6.65m 0			
Max. Upper Floor Area	75%	100.4%2			
Max. Net Floor Area Compared to	75%	56.7%			
Principal Dwelling					
Min. Front Yard	26.09m	g.om			
Min. Side Yard (East)	1.5m	1.5m			
Min. Side Yard (West)	1.5m	3.11m			
Min. Rear Yard	o.gm	2.04m			
Other Regulations					
Min. Parking Requirements	3	3			

[•] Indicates a requested variance to Section 9.5b.1f – Carriage House Development Regulations

² Indicates a requested variance to Section 9.5b.1g – Carriage House Development Regulations

5.0 Current Development Policies

5.1 <u>Kelowna Official Community Plan (OCP)</u>

<u>Chapter 5: Development Process</u>

Objective 5.22 Ensure context sensitive housing development

Policy .6 Sensitive Infill. Encourage new development or redevelopment in existing residential areas to be sensitive of the neighbourhood with respect to building design, height and siting.

6.0 Application Chronology

Date of Application Accepted: August 17th, 2021
Date Public Consultation Completed: October 21st, 2021

7.0 Alternate Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0198 for for Lot A District Lot 139 ODYD Plan EPP73205, located at 508 Sutherland Avenue, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 9.5b.1(f): Carriage House Regulations, Development Regulations in Residential, Health District and Comprehensive Development Zones

To vary the maximum upper floor area from 75% permitted to 100.4% proposed.

<u>Section 9.5b.1(g): Carriage House Regulations, Development Regulations in Residential, Health District and Comprehensive Development Zones</u>

To vary the maximum height of a carriage house from 4.8m permitted to 6.65m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Report prepared by: Tyler Caswell, Planner I

Reviewed by: Dean Strachan, Community Planning & Development Manager

Reviewed by: Terry Barton, Development Planning Department Manager

Approved for Inclusion: Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Variance Permit DVP21-0198

Attachment B: Applicant's Rationale

Schedule A: Drawing Package

Development Variance Permit DVP21-0198



This permit relates to land in the City of Kelowna municipally known as

508 Sutherland Avenue

and legally known as

Lot A District Lot 139 ODYD Plan EPP73205

and permits the land to be used for the following development:

RU6 - Two Dwelling Housing - Carriage House Development

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision November 16th, 2021

Decision By: COUNCIL

Existing Zone: RU6 – Two Dwelling Housing

Future Land Use Designation: S2RES – Single/Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Jason Cory Marzinzik
Applicant: Jason Cory Marzinzik

Terry Barton
Development Planning Department Manager
Planning & Development Services

Date



1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 9.5b.1(f): Carriage House Regulations, Development Regulations in Residential, Health District and

Comprehensive Zones

To vary the maximum upper floor are from 75% permitted to 100.4% proposed.

Section 9.5b.1(g): Carriage House Regulations, Development Regulations in Residential, Health District and Comprehensive Zones

To vary the maximum height of a carriage house from 4.8m permitted to 6.65m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



August 9, 2021

City of Kelowna Development Planning Department 1435 Water Street Kelowna, BC V1Y 1J4 ATTACHMENT B

This forms part of application
DVP21-0198

City of

Planner Initials

TC

Kelowna

DEVELOPMENT PLANNING

Dear Sir or Madam,

Re: Letter of Rationale for Carriage House Proposed for 508 Sutherland Avenue

History & Site Context

508 Sutherland is located in South Central Kelowna along the Mill Creek corridor and fronted by the Sutherland Avenue multi-use path and newly constructed multi-use path bridge over Mill Creek. The property is surrounded on three sides by 4-story apartment buildings (RM5 zoning) located immediately to the north, east and south. A number of commercial businesses (C2 zoning) are located to the southwest while a P2 institutional use (Canadian Mental Health Association) is located to the west. Refer to Figure 1 and Photos 1-5 in Appendix A.

In 2003, my family purchased the property as our family home with the long-term goal of constructing a carriage home at some point in the future. In 2007, an application was made to change the zoning. Subsequently in 2008, City Council rezoned the property from RM5 to RU6 to allow for a future carriage home.

Land Purchase

In 2018, a portion of City road (e.g. back lane) was purchased from the City of Kelowna to allow for the current design of the proposed carriage house within the required setbacks (refer to Figure 2). Since this time, two variances have been identified to facilitate the unique design of the carriage house.

Laneway & Parking

Two laneways separate the property from the back of several residential properties on Marshall Street and a 4-story apartment building. If approved, the laneways would be located along both the north and west sides of the proposed carriage house location (refer to Figure A1a in design drawings and Photos 1, 4, and 5 in Appendix A). Two parking stalls will be located with the carriage house with a third outdoor stall located between the carriage house and principal dwelling. All three parking spaces will be accessed off the west lane (see Figure A1a in design drawings).

Project Description

Given the above, the current application would allow for the construction of a carriage house at the rear of the property (see Figure A1a in design drawings). The carriage house plan includes a two-bedroom suite located above a two-car garage. The property is currently zoned RU6 and located within a Revitalization DPA (Figure 3), the proposal is consistent with the property's future land use designation (S2RES), and the property is connected to City water and sewer. Plenty of outdoor spaces are provided including both a second story and ground level deck with views to Mill Creek and its riparian area.

Flood History

This property, as well as many properties in the area, are located in the Mill Creek Floodplain and have experienced flooding in the past. Most notably, severe flooding during both the spring freshet of 2017 and 2018 (refer to Photos 6-8 in Appendix A and floodplain mapping in Figure 4). Given this, the proposed carriage house will need to be constructed well above the floodplain to prevent future damage when the next flood event occurs.

Variances

The proposed carriage house will require two variances to Zoning Bylaw No. 8000:

Variance 1: S.9.5b.1(g) The maximum height is the lesser of 4.8m or the height of the principal dwelling, as measured to the midpoint.

As per the Zoning Bylaw interpretation of height and building grade, the height of the carriage house is measured from the low side (the walkout basement facing north). The height variance would be from 4.8m to 6.65m. In designing this carriage house, a modern design was chosen with a flat roof to keep the overall height to a minimum as the construction must consider the floodplain level.

Variance 2: *S.9.5b.1(f)* The maximum upper storey floor area is 75% of the carriage house footprint area.

Due to the carriage house flat roof design, the upper storey will be equal to the carriage house footprint. While this roof design does allow the most functional use of the limited living space, the flat roof design makes meeting this rule challenging and not cost effective from a construction perspective. Features have been added such as multi-finish exterior, wood accents, and a bump-out to add visual appeal and achieve the overall design aesthetic.

Site Landscaping

Once the construction phase is completed, landscaping will be conducted on the entire property. While no mature vegetation will be removed during construction, the existing garden at the rear of the property will be lost. Given this, the current plan is to construct several raised garden beds and to also re-establish a meandering walkway to the front door of the principal residence as the original path was lost during the elevation change in the front yard due to the construction of the multi-use path bridge over Mill Creek.

In closing, an application for a height variance is being requested given the history of flooding and the current floodplain elevation. Efforts have been attempted to mitigate the overall height by using a flat roof design. Please note that the surrounding apartment complexes located immediately adjacent to this property far exceed these heights. A variance is also being requested to the maximum upper storey floor area given the flat roof design of the carriage house.

The location of the subject property provides walking access to many employment and commercial uses in the nearby downtown business district as well as to several beach accesses to Okanagan Lake. We believe this proposal is a good fit within the fabric of the neighbourhood and will contribute to positive infill density in this area of Kelowna.

Regards, Jason Marzinzik 508 Sutherland Avenue



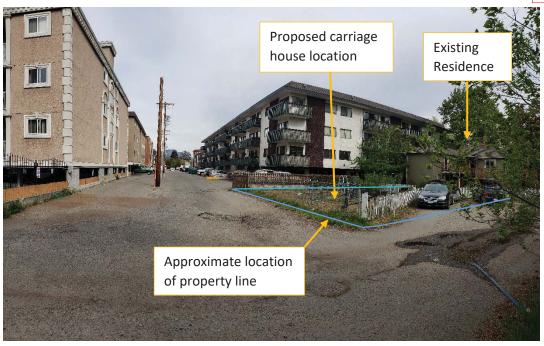


Photo 1: View of proposed carriage house location with four-story apartments located immediately to the north and east. Photo taken facing east.

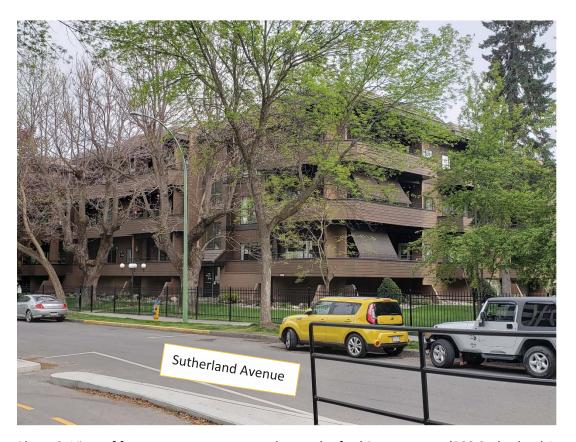


Photo 2: View of four-story apartments to the south of subject property (508 Sutherland Avenue).



Photo 3: View of the Canadian Mental Health Association, commercial complex, and four-story apartments on adjacent properties. Photo taken facing south-west.



Photo 4: View of laneway. Photo taken facing south.

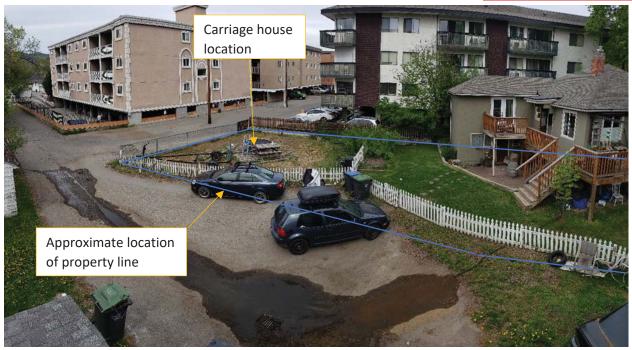


Photo 5: View of proposed carriage house location on subject property. Photo taken facing north-east.



Photo 6: View of subject property and laneway during the flood event in the spring of 2017.



Photo 7: View of water flowing through subject property and down laneway during the flood event in the spring of 2017. Photo taken facing south.



Photo 8: View of submerged lot during the during the flood event in the spring of 2017.





Drawing List

Sheet Number	Sheet Name
A0	List of Drawings
A1a	Site Plan
A2a	Foundation & Garage Floor Plans
A2b	Carriage House & Roof Plan
A3a	Elevations
A4a	Building Sections
A5	Stair Plans & Details, Schedules

Planner Initials TC

DVP21-0198



Greener By Design

www.greenerbydesign.ca

Consultant Address Address Phone ax -mail

Consultant Address Address Phone Fax e-mail

All construction shall comply with the requirements of the local codes and ordinances as well as the latest adopted edition of the BC Building Code.

All dimensions, including rough opening sizes, are to be verified by the General Contractor prior to constuction and errors or omissions reported to the designer.

Do not scale drawings.

Exact location of mechanical, electrical and plumbing equipment subject to change due to site conditions.

No.	Description	Date	
\rightarrow			
\rightarrow		_	
\rightarrow			
\rightarrow			
\rightarrow			
_			
\rightarrow			
\rightarrow			
Marzinzik			
508 Sutherland Ave			
List of Drawings			



Parcel Identifer: 030-405-343

Plan EPP73205 Lot A District Lot 139

508 Sutherland Avenue, Kelowna, BC

A0

May 28, 2021 Jim Anderson Lot Size = 8704 sf (809m2) Current Zone RU6

Request to Build a Carriage House on the Lot with Existing Single Detached

House

Site Coverage Detached House = 1123 sf (104.32m2) Carriage House = 962sf (89.4m2) Total Building Area = 2085sf (193.72m2)
Onsite Parking = 200 sf (18.6m2) 1 Stall plus 2

Interior Garage Spaces, Total 3 Garage Apron / Driveway = 216sf (20.0m2) Total Site Coverage = 2501sf (232.32m2) Lot Size = 8704 sf (809m2)

Site Building Coverage Permitted = 40% or 3482 sf (323.6m2) Site Building Coverage Requested = 23.9% or LANE: 344.00 2085 sf (193.72m2)

Site Coverage w/Driveway-Parking Permitted = 50% or 4352sf (404.5m2)

Site Building Coverage w/Driveway Requested = 28.7% or 2501 sf (232.32m2) Carriage House Site Coverage = 11.1%, 14%

Permitted

SCHEDULE Α This forms part of application # DVP21-0198 City of Planner Kelowna TC Initials

LANE

LANE

12.233

Proposed Carriage

House over 2 Car

Garage

38

Front Building Setback 4.5m Required, Existing House

Side Building Setback 1.5m Required for Carriage House

Rear Building Setback .9m Required

0.9m Side Setback, 2.04m

Carriage House Height Above Grade Maximum Height Allowed = 4.8m (15' 9") Height Provided 6.65m (21' 9 1/2") and 2 Storeys, Variance Required

Carriage House Maximum Upper Floor Garage Floor is 89.4m2, Carriage House Floor is 89.8m2 or 100.4%, Variance Required

Carriage House Versus Net Principal Dwelling Floor Area, Maximum 75% Allowed Carriage House Floor is 89.8m2, Principal Dwelling is 158.32m2, Carriage House is 56.7%, Variance Not Required

Exposed Building Opening Ratio East

Exposed Building Face = 55.2.0 m2 Glazing Openings = 0.5 m2 % Opening = 1.0% Maximum Allowed 1.5m from Property Line for Areas over 60m2 = 8%

Exposed Building Opening Ratio North

Exposed Building Face = 62.0 m2 Glazing Openings = 4.5 m2 % Opening = 7.1% Maximum Allowed 2.0m from Property Line for Areas over 80m2 = 8%

4 Carriage Floor Plan

Exposed Building Face = 55.2.0 m2 Glazing Openings = 7.1m2 % Opening = 12.9% Maximum Allowed 3.0m from Property Line

Exposed Building Opening Ratio West

for Areas over 60m2 = 14%

All dimensions, including rough opening sizes, are to be verified by the General Contractor prior to constuction and errors or omissions reported to the designer.

All construction shall

as well as the latest

Building Code.

with the requirements of

local codes and ordinances

adopted edition of the BC

comply

Greener By

Design

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Do not scale drawings.

Exact location of mechanical, electrical and plumbing equipment subject to change due to

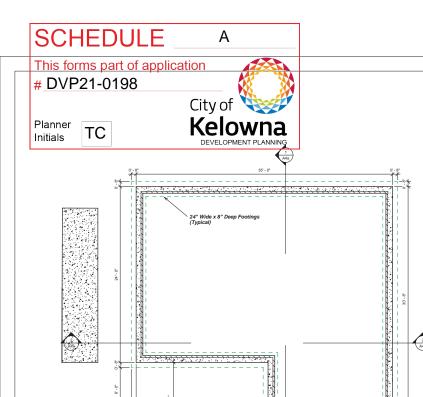




3 Garage Floor Plan

20-006

As indicated



			Door Schedule			
Door					Finish	Finish
Number	Level	Door Type	Door Size	Comments	Door	Frame
101	Garage Floor Plan	Exterior	36" x 84"			
101a	Garage Floor Plan	Sidelite	12" x 84"			
101b	Garage Floor Plan	Sidelite	12" x 84"			
102	Garage Floor Plan	Garage Door	18' x 7'			
103	Garage Floor Plan	Exterior	36" x 84"	W/closer Gas Sealed		
201	Carriage Floor Plan	Dbl. French Exterior	72" x 84"			
201a	Carriage Floor Plan	Sidelite	30" x 84"			
201b	Carriage Floor Plan	Sidelite	30" x 84"			
202	Carriage Floor Plan	Exterior	36" x 84"			
203	Carriage Floor Plan	Interior	32" x 84"			
204	Carriage Floor Plan	Interior	32" x 84"			
205	Carriage Floor Plan	Dbl Interior	48" x 84"			
206	Carriage Floor Plan	Interior	36" x 84"	36" x84"		
207	Carriage Floor Plan	Dbl Interior	36" x 84"	36" x84"		
208	Carriage Floor Plan	Pocket	Interior barn door 18732			

6

3' x 3' x 8" Deep Pad Footings (Typical)

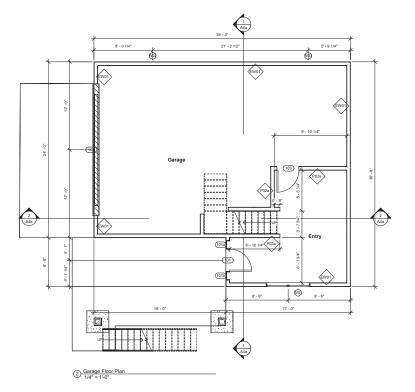
General Notes:

All concrete should be 28 MPa or as indicated by Geotechnical Report or Engineer All placement of reinforcement steel as per Structural drawings or Engineer

9

1/4" = 1'-0"

All dimensions are to outside face of concrete foundation or exterior face of plywood sheathing, typical



			Window Sche	edule					
			Head	Rough Opening	Rough Opening				Glazing
Mark	Туре	Level	Height	Width	Height	Model	Material	Finish	Type
W01	Casement Dbl with Trim	Garage Floor Plan	7" - 0"	6' - 0"	4' - 0"				
W02	Transom with Trim	Garage Floor Plan	7' - 2"	6' - 0"	2' - 0"				
W03	Transom with Trim	Garage Floor Plan	7" - 2"	6' - 0"	2' - 0"				
W11	Casement with Trim	Carriage Floor Plan	7" - 2"	3' - 0"	3' - 6"				
W12	Casement with Trim	Carriage Floor Plan	7' - 2"	3' - 0"	3' - 6"				
W13	Casement with Trim	Carriage Floor Plan	7' - 2"	3' - 0"	3' - 6"				
W14	Casement with Trim	Carriage Floor Plan	7' - 2"	3' - 0"	3' - 6"				
W15	Casement with Trim	Carriage Floor Plan	7" - 2"	2' - 0"	3' - 0"				
W16	Casement Dbl with Trim	Carriage Floor Plan	7" - 2"	6' - 0"	4' - 0"				
W17	Casement Dbl with Trim	Carriage Floor Plan	7' - 2"	6' - 0"	4' - 0"				
W18	Transom with Trim	Carriage Floor Plan	8' - 0"	5' - 6"	1' - 6"				

	Wall Schedule						
Type Mark	Type	Fire Rating	Comments				
EF02	Exterior - Longboard						
EFW01	Foundation Wall - 8" Concrete						
EFW01	Foundation Wall - 8" Concrete / 3" Insulation						
EW01	Exterior - 1/2" Plywood/ 5 1/4" Stud / 1/2" GWB						
P01	Interior Partition - 1/2" Gypsum / 3 1/2" Stud / 1/2" Gypsum						
P02	Interior Partition - 1/2" Gypsum / 5 1/4" Stud / 1/2" Gypsum						
P02a	Interior Partition - 1/2" Gypsum / 5 1/4" Stud / 1/2" Gypsum Insulated						

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Address Address Phone Fax e-mail Consultant Address

Consultan Address Address Phone Fax e-mail

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All dimensions, including rough opening sizes, are to be verified by the General Contractor prior to constuction and errors or omissions reported to the designer.

Do not scale drawings.

Exact location of mechanical, electrical and plumbing equipment subject to change due to site conditions.



508 Sutherland Ave

Foundation & Garage Floor Plans

 Project number
 20-006

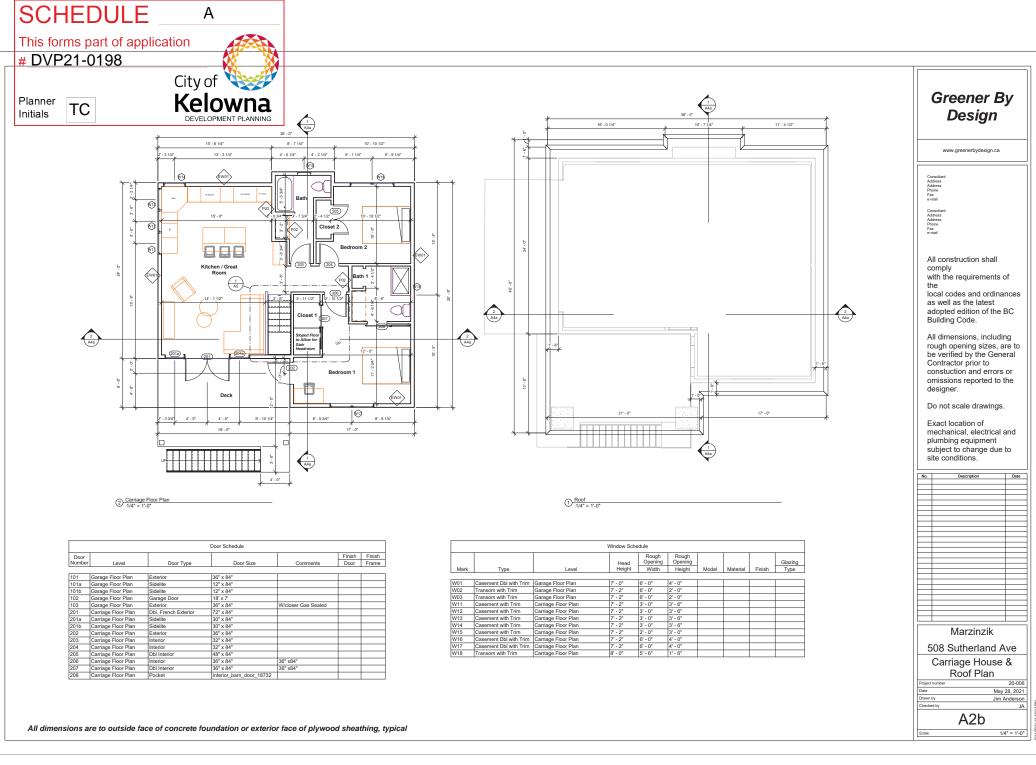
 Date
 May 28, 2021

 Drawn by
 Jim Anderson

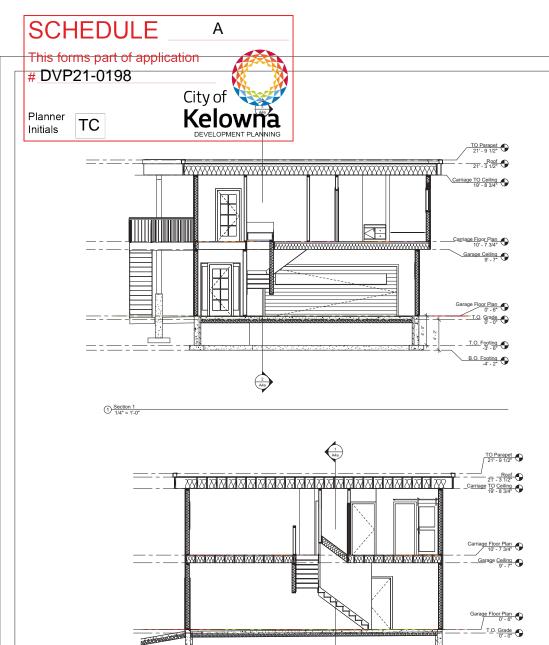
 Checked by
 JA

 A2a

 Scale
 1/4" = 1"-0"







2 Section 2 1/4" = 1'-0"

R01 Roof Type

-Asphalt Shingles w/Membrane -5/8" T&G Plywood Sheating -Trusses as per Engineered Roof Drawings -R42 Min. Batt or Blown Insulation -6 mil Poly Vapour Barrier -5/8" Gypsum Ceilling Board

C01 Ceiling Type (Typical)

·5/8" Gypsum Ceiling Board

EW01 Exterior Wall Type (Typical Unless Noted) Effective R-Value 17.97 RSI 3.17

Lifective N- value 17.37 Noi 3.17	R Value	RSI Val
- Exterior Air Film	0.17	0.03
-Smooth Hardie Panel, Corrugated Metal or Woodgrain Metal Siding	0.15	0.03
-Tyvex Building Wrap Taped and Sealed	0.00	0.00
-1/2" Plywood Sheathing	0.62	0.11
-2x6 Wood Studs @ 24" OC w/R24 Insulation	15.90	2.80
-6 mil Poly Vapour Barrier	0.00	0.00
-1/2" Gypsum Wall Board	0.45	0.08
- Interior Paint Finish	0.00	0.00
-Interior Air Film	0.68	0.12

EFW01 Foundation Wall (Effective R-Value 15.58 RSI 2.74)

-8" Concrete R 0.58 RSI 0.10 -3" Rigid Insulation R15 RSI 2.64

P01 Interior Partition Type (Typical Unless Noted)

-1/2" Gypsum Wall Board
-2x4 Wood Studs @ 24" OC
-1/2" Gypsum Wall Board
-2al N Sound Barrier Insulation for all Bathrroom Walls & Bedroom Walls Adjoining
Common Areas

P02 Interior Partition Type

-1/2" Gypsum Wall Board -2x6 Wood Studs @ 16" OC -1/2" Gypsum Wall Board

-Safe N' Sound Barrier Insulation for all Walls & Bedroom

Walls Adjoining Common Areas

P02a Interior Partition Type

-1/2" Gypsum Wall Board -2x6 Wood Studs ® 16" CC -1/2" Gypsum Wall Board -R24 Insulation to Walls Exposed to Garage/Exterior Air

F01 Floor Type

-Finishes as per Room Schedule

-t-insnes as per Hoom Schedule
-f Concrete Polished Finish
-f mil Poly Vapour Barrier
-g 'Rigid Insulation
-f' Compacted Radon Approved Gravel, Mechanical to provide venting as required by Compacted.

T.O. Footing -3' - 6"

F02 Floor Type

-Finishes as per Room Schedule -3/4 T&G Plywood Subfloor (Acoustically Sealed to Joists) -11 78° Joists as per Engineered Floor Drawings -9' Batt Insulation Areas Exposed to Exterior Space -5/8' Type X (Sypsum Celling Board

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Do not scale drawings.

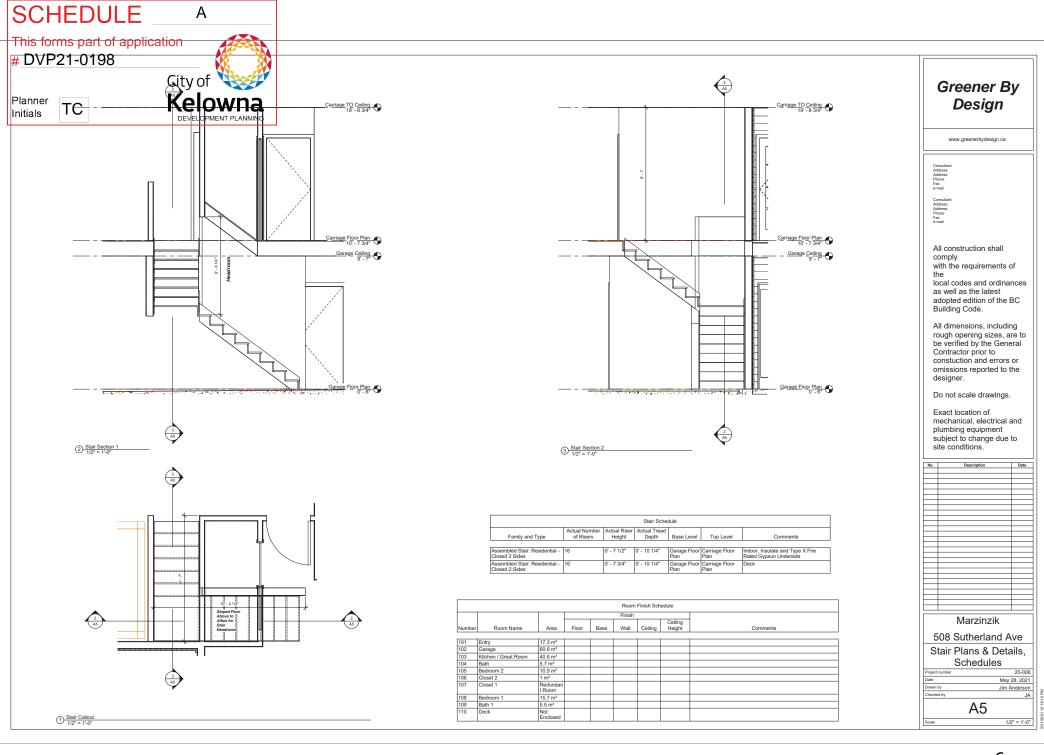
Exact location of mechanical, electrical and plumbing equipment subject to change due to site conditions.

No.	Description	Date
	Marzinzik	

508 Sutherland Ave **Building Sections**

20-006 May 28, 2021 Jim Anderson

A4a 1/4" = 1'-0"





DVP21-0198 508 Sutherland Ave

Development Variance Application





Proposal

➤ To consider a Staff recommendation to <u>NOT</u> issue a Development Variance Permit to vary the height of a carriage house from 4.8m required to 6.65m proposed and to vary the maximum upper storey floor area of a carriage house from 75% to 100.4% proposed on the subject property.

Development Process

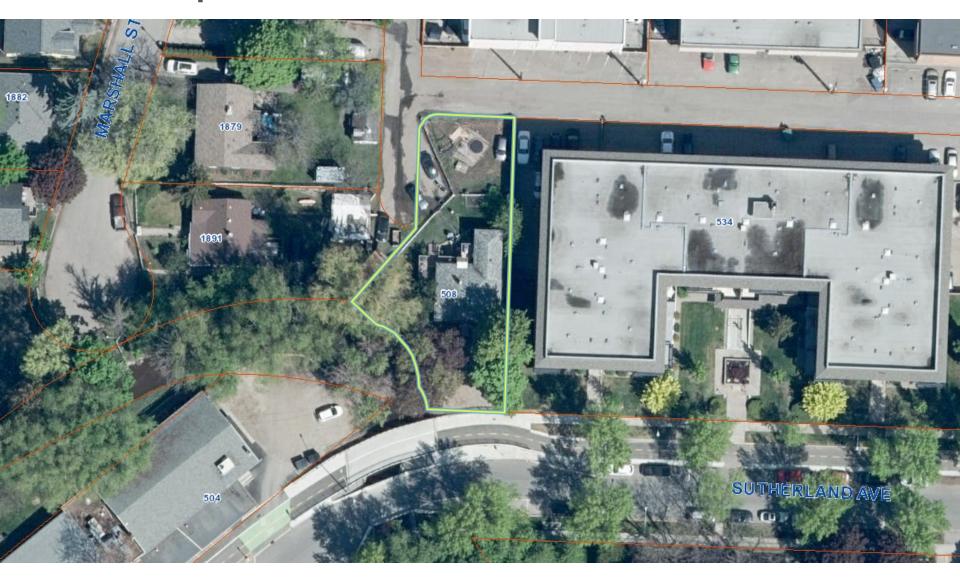




Context Map



Site Map

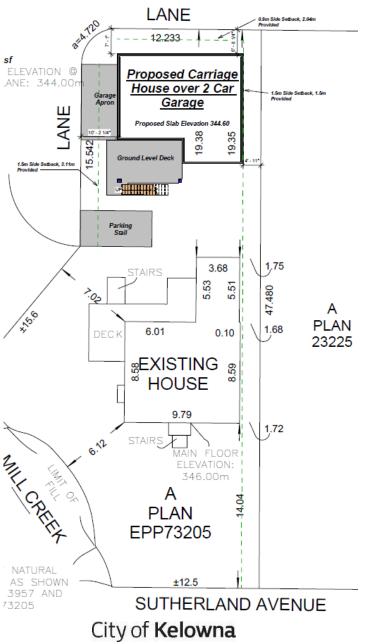




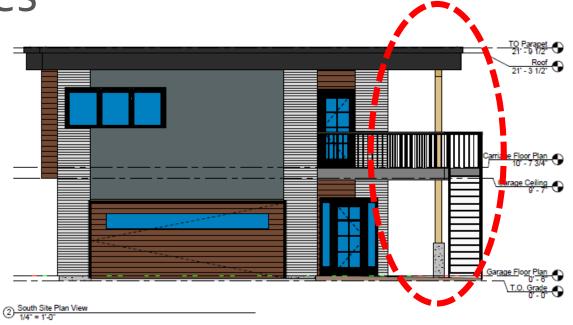
Project/technical details

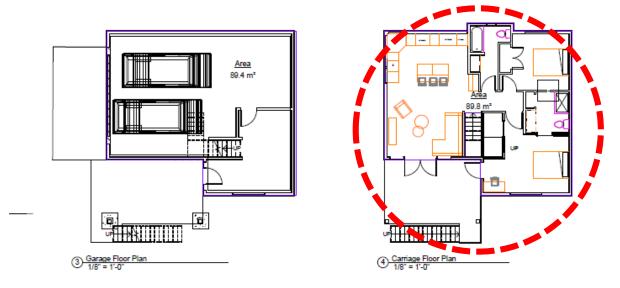
- ➤ The applicant is proposing a two-storey contemporary flat-roof carriage house at the rear of the property.
- ► Two variances are requested as part of the design:
 - ▶ To vary the height from 4.8m to 6.65m
 - ▶ To vary the second storey area from 75% to 100.4%
- ► The carriage house would access the rear of the property.

Conceptual Site Plan



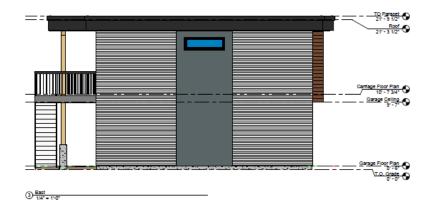
Variances



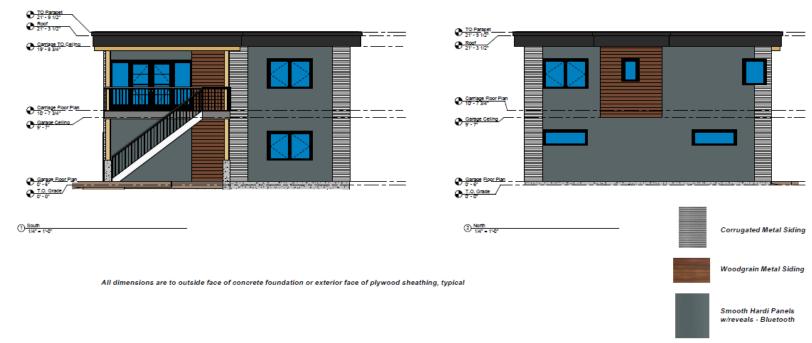


City of **Kelowna**

Elevation Drawings







City of Kelowna

Site Photographs

Proposed carriage





Staff Recommendation

- ➤ Staff <u>do not</u> recommend support for the proposed Development Variance Permit Application:
 - Proposal does not meet intent of carriage house development regulations.
 - ► Two-storey flat roof does not meet intent because the goal is to have gable roofs with dormers to not visually impact neighbourhood.
 - ▶ The proposal is more consistent with second dwelling.



Conclusion of Staff Remarks





Development Process Timeline

2003 - Purchased House

2007 - Initiated Downzoning

2008 - Property Rezoned

2014 - Land Purchase Initiated

2017 - Land Purchase and Lot Consolidation Completed

2019 - Multi-Use Pathway Construction

2021 - Application for Carriage House Submitted to City





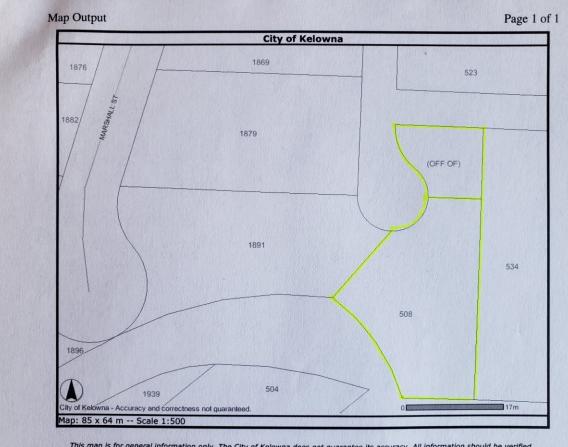




Property Purchase

- Property consisted of two titled lots
- Zoning was RM5





This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.





Rezoning

2007 - Downgraded zoning from RM5 to RU6

October 18, 2007

Planning and Development Services City of Kelowna 1435 Water Street Kelowna, BC V1Y 1J4

Attention: David Shipclark

Acting Director of Planning & Development Services

Dear Mr. Shipclark,

RE: 1859 Marshall Street 1879 Marshall Street 1891 Marshall Street and 508 Sutherland Avenue, Kelowna (refered to collectively as the "Properties")

I am writing this letter on behalf of the owners of the above mentioned Properties. Please accept the attached letter dated March 19, 2007, and signed by each property owner, as a letter of authorization. This letter was first submitted to the City of Kelowna Planning Department in March of 2007. Based on discussions with Planning Technician Ryan Smith, the City of Kelowna Planning Department indicated firstly, that it would support rezoning the Properties from their current RM5 to RU6 and secondly, that it would facilitate the rezoning at the City's initiative and expense provided the Property owners were willing to pursue the rezoning collectively and concurrently. According to Mr. Smith, the proposed RU6 zoning is consistent with the City's objectives for this area.

After waiting for the application to be processed and receiving no response, an inquiry was made to the Planning Department on October 11th as to the status of the rezoning application. We were informed by Ms. Rose Hughes that although Ms. Shelley Gambacort was aware of the application, no documentation could be found. In addition, we were asked to complete the "Zoning Bylaw Amendments & Official Community Plan Amendments Application Form" and return it to the Planning Department. This application form has been completed and submitted along with this letter. We are requesting that, in light of the past delay, this rezoning application be processed in as timely a manner as possible.

We trust that the information provided is sufficient to satisfy your requirements at this time. If you have any questions or require additional information, please contact either Jason Marzinzik at 869-4787 or David Bach at 868-2972. We look forward to hearing from you at your earliest convenience.

Regard

Jason Marzinzil

cc. Shelley Gambacort Current Planning Supervisor









2007 - Downgraded zoning from RM5 to RU6

2008 - Rezoning application approved





Corporate Services

City Clerks Office 1435 Water Street Kelowna, BC V1Y 1J4 Tel: (250) 469-8645 Fax: (250) 862-3315

February 20, 2008

Mr. Jason Marzinzik 508 Sutherland Avenue Kelowna, BC

Dear Mr. Marzinzik:

Bylaw No. 9923 - Rezoning Application No. Z07-0098 - Dale Riddell, David Bach, Nicole and Jason Marzinzik, Thieu Vu (Jason Marzinzik) – 1859, 1879 and 1891 Marshall Street and 508 Sutherland Avenue and off of Rowcliffe Avenue

Rezoning Authorization Bylaw No. 9923 received second and third readings by Kelowna City Council at a Regular Meeting held on Tuesday, February 19th, 2008.

I note that a previous resolution of Council states in part:

THAT Rezoning Application No. Z07-0098 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 7, District Lot 14, ODYD, Plan 3286, located at 1859 Marshall Street, Lot 9, District Lot 14, ODYD, Plan 3286, located at 1879 Marshall Street, Lot 2, District Lot 139, ODYD, Plan 3957, located at 508 Street, Kelowna, B.C. from the RM5 – Medium Density Multiple Housing zone to the RIS – Two Dwelling Housing zone be considered by Council:

AND THAT the zone amending bylaw be forwarded to a Public Hearing for further

Accordingly, this application will be kept in-stream pending confirmation that all conditions are met. If you have any questions about this procedure, please contact Mr. Alec Warrender of the Planning Department (469-8776).

Please remove the Development Notice sign from the property, if you have not already done so.

Development Planner (A. Warrender) Development Engineering Manager (S. Muenz)

D. Scott Riddell, 1859 Marshall Street, Kelowna, BC V1Y 2B8 David Bach, 1879 Marshall Street, Kelowna, BC V1Y 2B8 Thieu Vu, 1891 Maarshall Street, Kelowna, BC V1Y 2B8

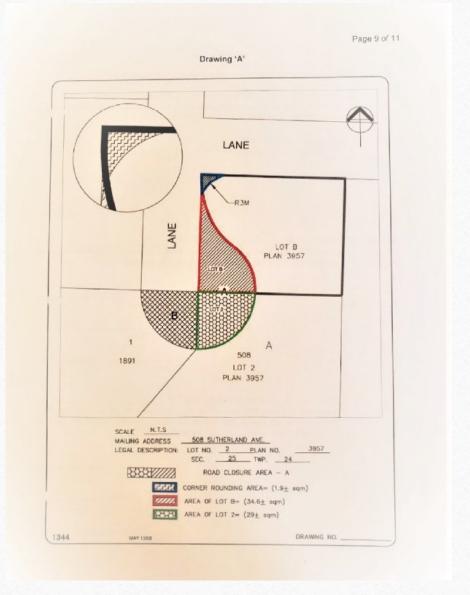






Land Purchase and Lot Consolidation

From 2014 to 2017 I completed a purchase of a portion of the back lane in order to facilitate construction of a carriage house with appropriate setbacks.



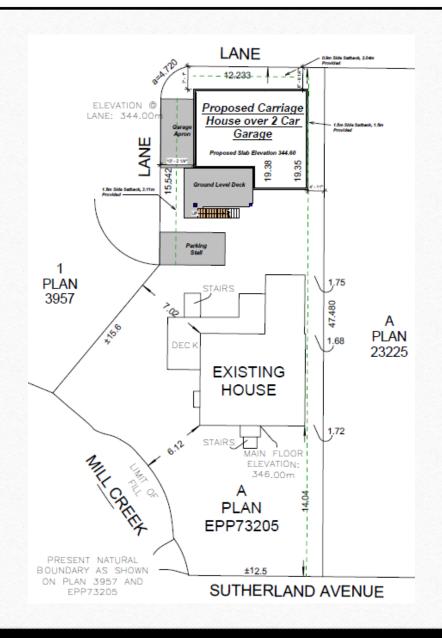






Proposed Development

I am proposing to build a carriage house at the back of my property with a two bedroom suite atop a two car garage.









Variances Required

Variance 1: S.9.5b.1(g) The maximum height is the lesser of 4.8m or the height of the principal dwelling, as measured to the midpoint of the roof.

I will require a height variance from 4.8m to 6.65m.











Variances Required

Variance 2: S.9.5b.1(f) The maximum upper storey floor area is 75% of the carriage house footprint area.

Due to the flat roof design, the upper storey will be equal to the carriage house footprint.











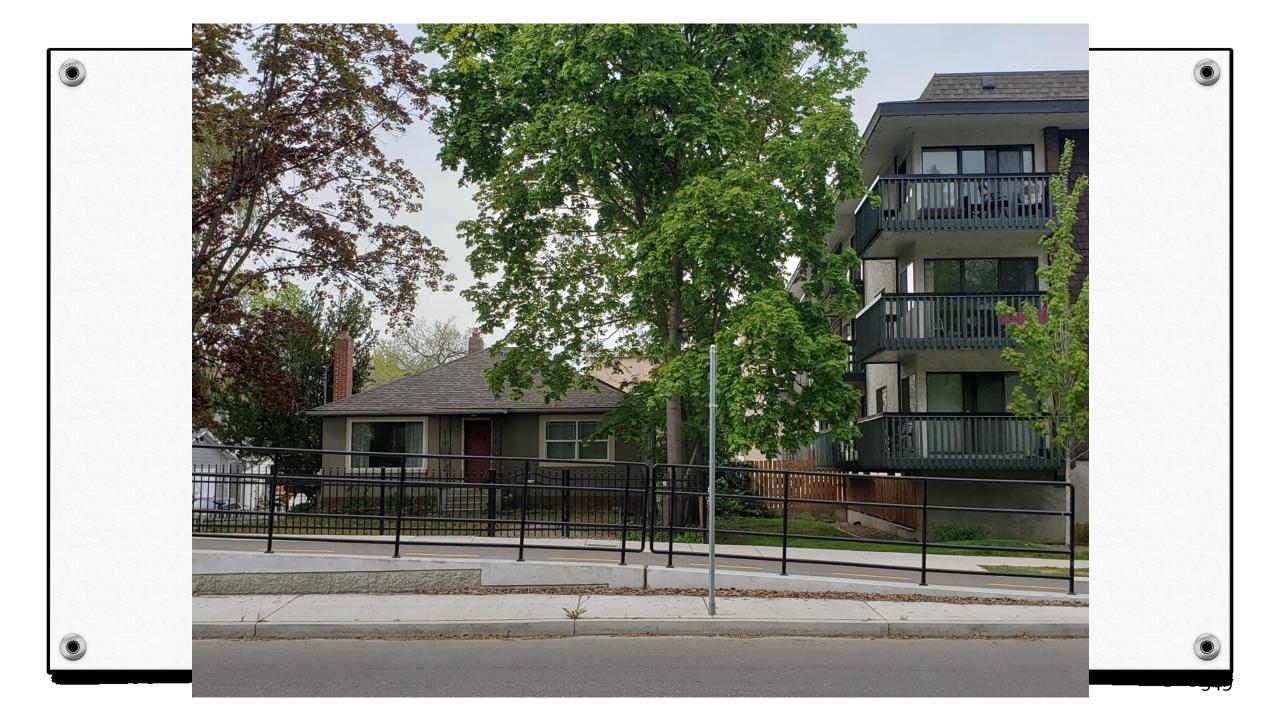
Site Context

- Surrounded by 4-story apartment complexes on three sides.
- Commercial businesses are located to the south-west.
- Several residential houses to the west.





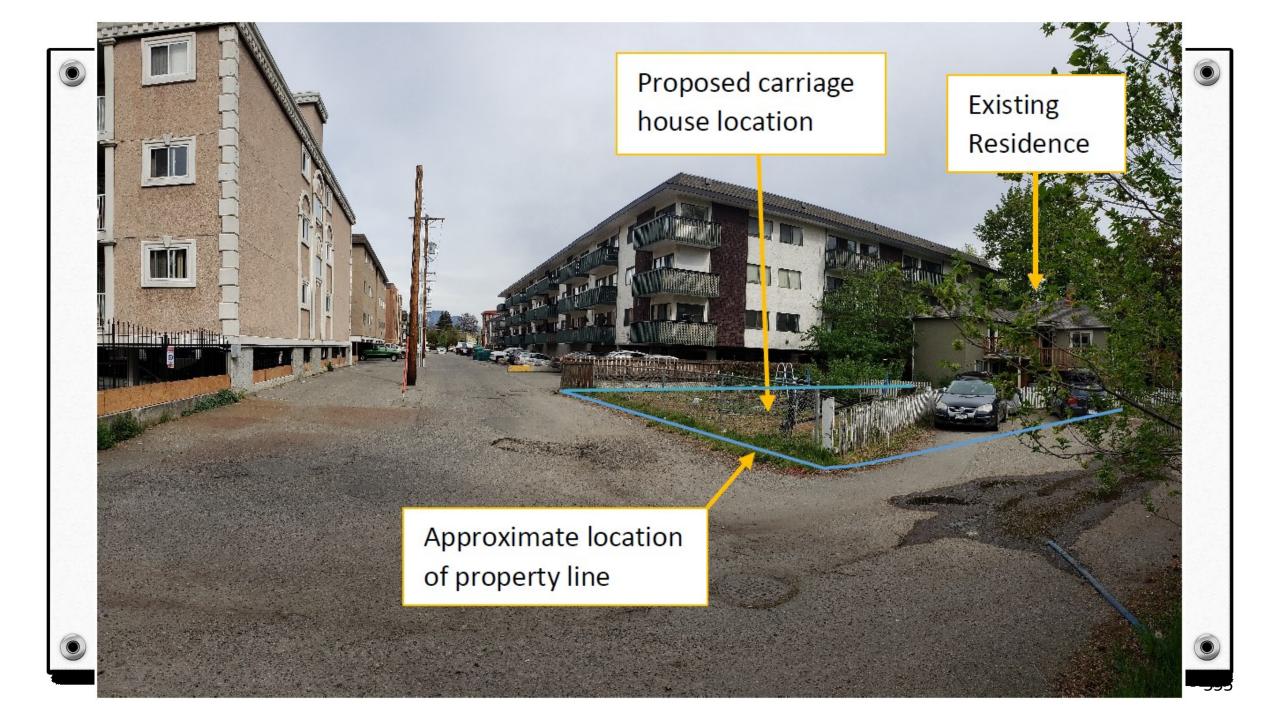








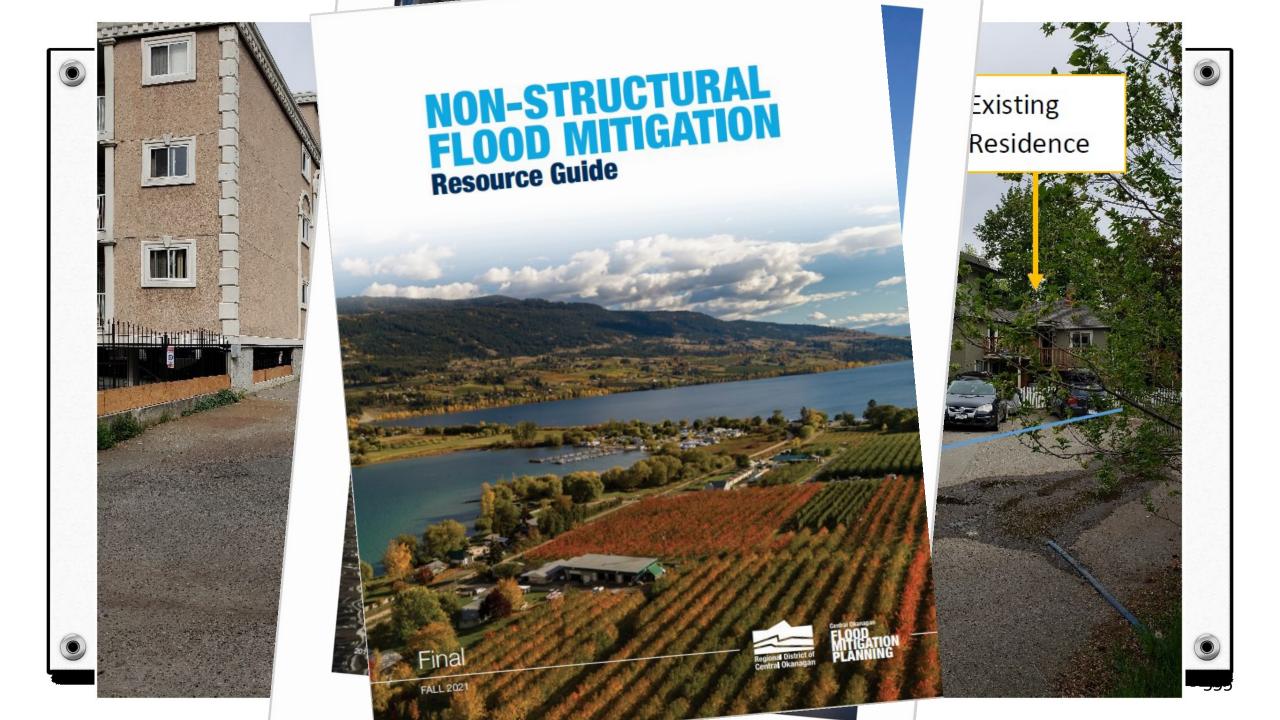


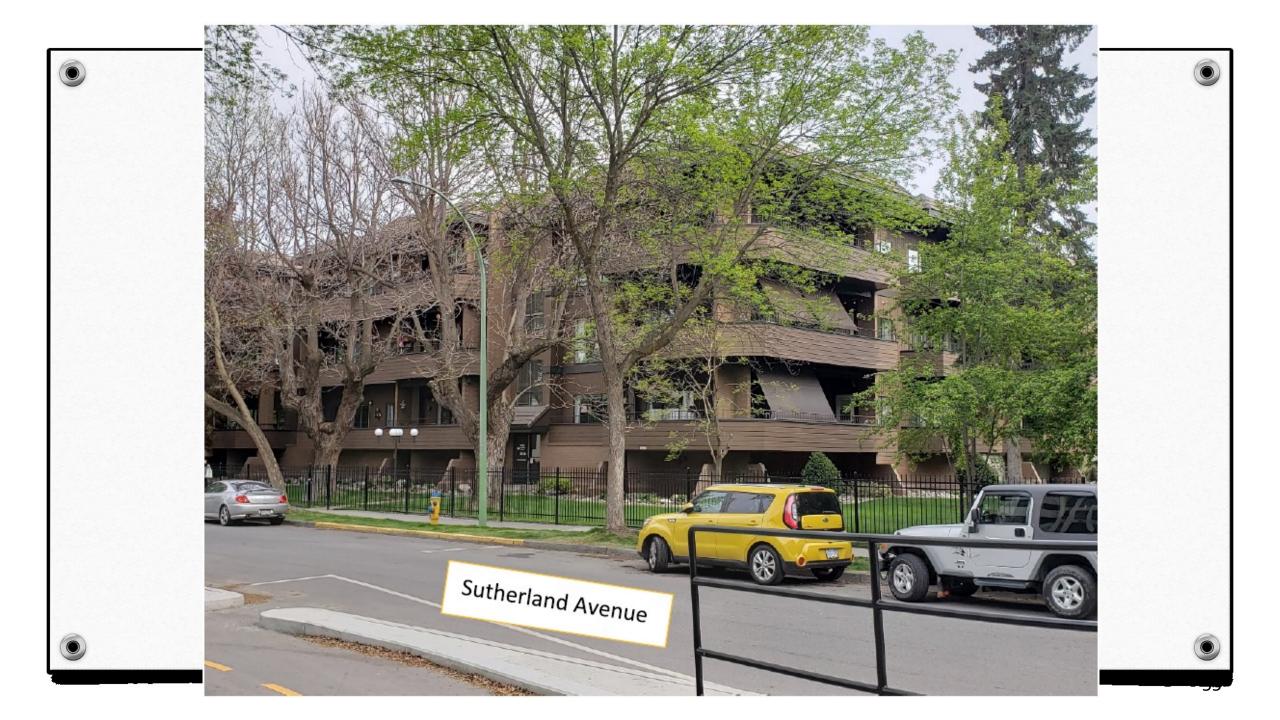


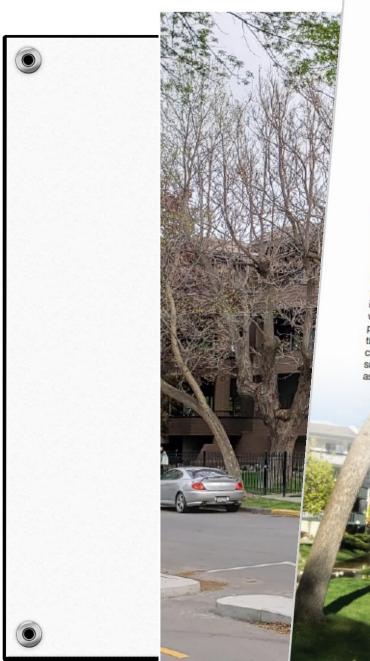












Introduction

2017 flooding in Kelowna

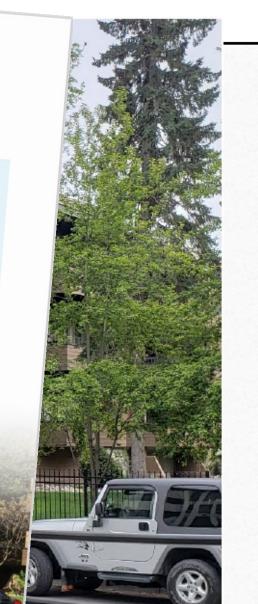
Flood is a natural and regular process that has shaped the physical geography of the Okanagan Valley since time immemorial. With more people and development in the region, these floodwaters now cause more damage and devastation, most recently in 2017 when high lake levels caused widespread flooding along the shorelines in the region, and in 2018 when the lake and creeks spilled their banks onto adjacent floodplains.

For the last century, flood risk has been primarily managed using large structural engineering works such as the Okanagan Lake Dam, and dikes along creeks and rivers. With climate change and increasing development pressures, these hazard reduction measures are being tested to their limits.

With recognition that existing structural mitigation has limits and that alternative measures will be needed to mitigate flood damages in the future, the Regional District of Central Okanagan (RDCO) has worked with partners and stakeholders to better understand the potential to implement non-structural flood mitigation options in the region. This resource guide outlines a 'toolbox' of options that could be applied within the Central Okanagan and is intended to support discussions of benefits, challenges, and potential tradeoffs associated with them.

NON-STRUCTURAL FLOOD MITIGATION

Flood mitigation can be achieved through a wide variety of actions. The broad toolbox of actions that are NOT large, engineered structures (e.g., dikes and dams) are collectively called non-structural flood mitigation options.















My property is located in the Mill Creek Floodplain.

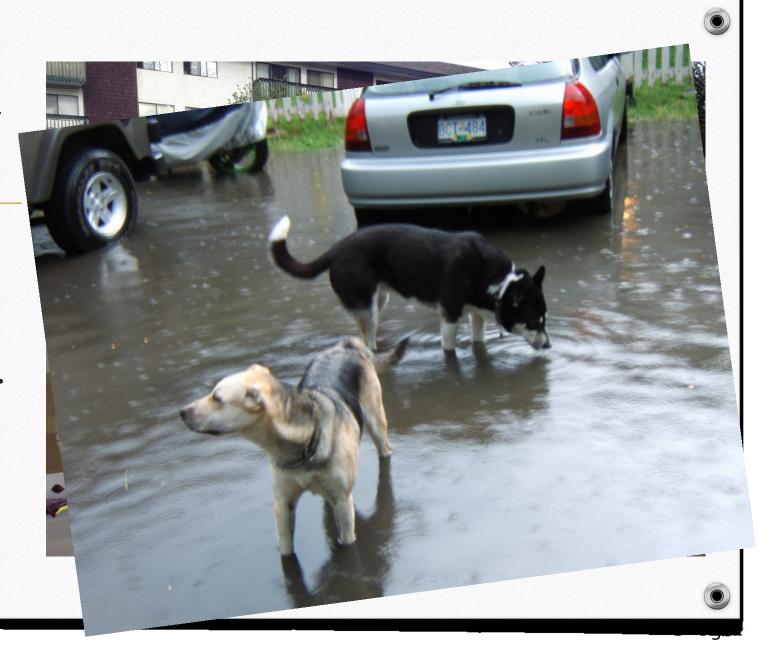








My property is located in the Mill Creek Floodplain.







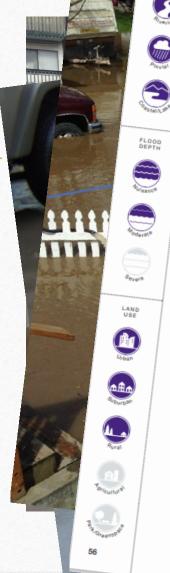
My property is located in the Mill Creek Floodplain.







My property is located in the Mill Creek Floodplain.





BUILDING CONTROLS FOR NEW BUILDS

With flood hazard areas increasing in size, and increasing development pressures, it is not always possible to sterilize land use within flood hazard areas. Changing the built form so that damages to structures are limited, or more easily recoverable is an effective means of reducing risk. This can be relatively easily achieved for new



18. Elevate Structures (New Builds)

The elevation of an individual building above the expected flood level using fill, stilts, or

EFFECTIVENESS	05.00	s in, stits, or
PEOPLE	OF OPTION FOR RISK REDUCTION AND RESILIENCE DURING A FLOO Reduce risks to health and safety of people	
STRUCTURES	Reduce risks to health and safety of people	D EVENT
DISRUPTION	damage to et	
FOOM		Ineffective
ECONOMY	electricity, gas, communications) Minimize description of services and mobility (e.g.,	Highly effective
EMERGENCY RESPO	Minimize damage to local economy including agriculture	Highly effective
CLIMATE	the effectiveness	Highly effective
	adaptability of option	
EFFECT OF OPTION I	TSELF ON ITS SURPORTED	Highly effective
COMM	TOELF UNITS SUPPORTED	Ineffective

THE OF OPT	ION ITSELF ON ITS OUT	or option to multiple climate fu	tures Ineffective
COMMUNITY	ION ITSELF ON ITS SURROUNDIN	GS	errective
	nousing		
Estan	Social connects	***************************************	
ENVIRONMENT	Social connectedness a	nd supports	Manus
***************************************	mabitat health (aquatic s	tion!	Negative
CULTURE	quality , , , , , , , , , , , , , , , , , , ,	nd supports wetland, and riparian) and wat	Neutral Neutral
OBSTACLES	Recreation and outdoor II	festyle	er
POLYCES	Regulatory	festyle	Neutral

COST	Political and public will		Neutral
	Political and public will Implementation cost		Relatively easy
	Manual Cost		Relations
PPOPTIME	maintenance cost		Relatively easy
PPORTUNITIES			\$

 Standard approach currently applied in BC. Well understood and relatively easy to CHALLENGES

- Creates challenges for accessibility and servicing.
- Potential for reduced aesthetics when neighbouring sites are at different elevations.



