City of Kelowna Regular Council Meeting AGENDA

Tuesday, September 21, 2021

City Hall, 1435 Water Street

7:50 pm

Council Chamber

FRUITFUL IN UNITY

Pages Call to Order 1. **Reaffirmation of Oath of Office** 2. The Oath of Office will be read by Councillor SIngh. **Confirmation of Minutes** 1 - 14 3. Public Hearing - August 24, 2021 Regular Meeting - August 24, 2021 **Development Permit and Development Variance Permit Reports** 4. Mayor to invite anyone participating online or in the public gallery who deems themselves affected by the required variance(s) to come forward for each item. 15 - 81 START TIME 7:50 PM - Abbott St 1815 - HAP21-0001 - Diane Duckett 4.1. To consider the form and character of an addition to the existing home in the Heritage Conservation Area and to vary the minimum rear yard setback for the proposed garage. START TIME 7:50 PM - Hemmerling Crt 1958 - DVP21-0126 - Maxwell House 82 - 100 4.2. Developments Ltd., Inc.No. C0756620 To issue a Development Variance Permit to vary the front yard setback, the front yard setback to a garage and to the rear yard setback to facilitate the construction of a single-family home. 101 - 116 START TIME 7:50 PM - Garner Rd 1625 - DVP21-0145 - Robert Willy Deubner and 4.3. Sherry Lee Deubner To vary the front yard setback for an accessory building from 6.0m required to 4.0m proposed to facilitate a proposed accessory building.

4.4. START TIME 7:50 PM - (N OF) Shayler Road - DVP21-0160 - Azhadi Vineyards Ltd., 117 - 172 Inc. No. BC1155440

To vary the maximum building height of a proposed Alcohol Production Facility (Winery) from 9.5m to 19.5m to accommodate a proposed vineyard observation structure.

4.5. START TIME 8:30 PM - Swick Rd 160 - DVP21-0165 - EJF Holdings Ltd., Inc. No. 173 - 202 B0778933

To vary the side yard setback of the principal dwelling from 3.0m permitted to 2.38m proposed to facilitate the construction of a new addition.

4.6. START TIME 8:30 PM - Braemar St 1400 - DVP21-0177 - Damien Ignace Prud'homme 203 - 224 and Stephanie Anne Edwards

To consider a Development Variance Permit to vary the rear yard setback from 7.5 m permitted to 2.3 m proposed to facilitate the construction of a second single-family dwelling.

4.7. START TIME 8:30 PM - Valley Rd 252 - BL11641 (OCP18-0008) - Vanmar 225 - 225 Developments Glenpark 2 Ltd., Inc. No. BC1155488 225 - 225

Requires a majority of all Council (5).

To amend and adopt Bylaw No. 11641 in order to change the Future Land Use Designation on the subject property from the S2RES - Single / Two Unit Residential and EDINST – Educational/Major Institutional designations to the MRL – Multiple Unit Residential (Low Density) designation.

4.8. START TIME 8:30 PM - Valley Rd 252 - BL11642 (Z18-0042) - Vanmar Developments 226 - 226 Glenpark 2 Ltd., Inc. No. BC1155488

To amend and adopt Bylaw No. 11642 in order to rezone the subject property from the RU2 – Medium Lot Housing, P2 – Education and Minor Institutional and RR3 – Rural Residential zones to the RM3 – Low Density Multiple Housing zone.

4.9. START TIME 8:30 PM - Valley Rd 252 - DP18-0086 DVP21-0187- Vanmar 227 - 287 Developments Glenpark 2 Ltd., Inc. No. BC1155488 227 - 287

To consider the form and character of a multiple dwelling housing development and to vary the building height for a portion of one building on the subject property.

5. Reminders

6. Termination



City of Kelowna Public Hearing and Associated Regular Meeting

Minutes

Date: Location: Tuesday, August 24, 2021 Council Chamber City Hall, 1435 Water Street

Members Present

Members Absent

Staff Present

Mayor Colin Basran, Councillors Maxine DeHart, Gail Given, Mohini Singh, Luke Stack and Loyal Wooldridge

Members participating Councillors Charlie Hodge and Brad Sieben remotely

Councillor Ryan Donn

City Manager, Doug Gilchrist; City Clerk, Stephen Fleming; Deputy City Clerk, Laura Bentley; Divisional Director, Planning & Development Services, Ryan Smith; Community Planning & Development Manager, Dean Strachan*; Urban Planning Manager, Jocelyn Black*

Staff participating remotely

Legislative Coordinator (Confidential), Arlene McClelland

(* Denotes partial attendance)

- 1. Due to COVID-19 a Public Hearing Agenda will also include Regular Meeting Items
- 2. Call to Order the Public Hearing START TIME 6:00 PM Fraser Rd 605 Leathead Rd 460 OCP20-0013 Z20-0066 Supplemental Report Following Neighbourhood Notification

Mayor Basran called the Hearing to order at 6:07 p.m.

Mayor Basran advised that the purpose of the Hearing is to consider certain bylaws which, if adopted, will amend "Kelowna 2030 - Official Community Plan Bylaw No. 10500" and Zoning Bylaw No. 8000", and all submissions received, either in writing or verbally, will be taken into consideration when the proposed bylaws are presented for reading at the Regular Council Meeting which follows this Public Hearing.

- 3. Individual Bylaw Submissions
 - 3.1 START TIME 6:00 PM Fraser Rd 605 Leathead Rd 460 OCP20-0013 Z20-0066 -Supplemental Report Following Neighbourhood Notification

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Brad Veenstra, Blue Vision Design Inc., Applicant Representative

- Displayed a PowerPoint Presentation.
- Spoke to the design characteristics of the proposal.
- Spoke to on-site units having tandem parking single garages as well as double car garages and bike storage; accommodating minimum parking requirements as well as minimum visitor parking requirements.
- Confirmed there is no direct access onto Leathead Road.
- Commented on site upgrades the development would trigger such as sidewalks and significant landscape upgrades.
- Believes a development of this size is fitting especially on a main artery.
- Trying to create an alternative to condo living and single family homes for young families.
- Spoke to the proximity of transit, schools and shopping to this site.
- Spoke to neighbourhood communication efforts and outreach to mitigate any concerns.
- Will meet all step code requirements to ensure sustainability.
- Responded to questions from Council.

Tony KuhnKuhn, Applicant

- Spoke to previous neighbourhood consultation and notification errors which brings the application back before Council today.
- Commented on neighbourhood opposition and concerns and urged Council to disregard those concerns that are not near this property.
- Responded to questions from Council.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

Online Participants

Justin McMichael, Fraser Road

- Made reference to previously circulated correspondence to Council.
- Raised concerns with on site parking and overflow of on-street parking.
- Raised concerns with loss of large trees and loss of privacy on their property.
- Made reference to the proposed 2040 OCP and would prefer this site be preserved until the proposed OCP is adopted.
- Opposed to this application.

Alena Krizek, Fraser Road

- Raised concern with the numbers of trees that will be removed; suggested trees for replacement are not sufficient.
- Raised concern that construction may negatively impact a large Blue Spruce tree on their property.
- Raised concern with traffic impacts and parking.
- Raised concerns with slope stability.
- Raised fire concerns with the proposed buildings transferring fire to their property.
- Made reference to the correspondence and petition submitted noting all signatures collected were those affected in the neighbourhood.
- Opposed to this application.

Pauline Bonk, The Embassy Church, Leathead Road

- Provided comments on interaction with the applicant that only occurred when the speaker contacted the applicant a week prior to the Public Hearing.
- Congregation had discussed their opposition of the proposed application.
- Made reference to previously submitted correspondence identifying concerns.
- Responded to questions from Council.

Tony KuhnKuhn, Applicant and Brad Veenstra, Applicant Representative

- Expressed desire to work with the neighbourhood regarding suitable tree replacement.
- Made comment that water drainage and fire protection standards will be upheld to code.
- Will work with the adjacent neighbour to ensure their Blue Spruce is not lost during construction.
- Spoke to efforts on communication with The Embassy Church.
- Believes the proposed design fits perfectly with the neighbourhood.
- Spoke to landscaping plans and noted that most concerns raised can be addressed at the development permit stage.
- Responded to questions from Council.

There were no further comments.

4. Termination

The Hearing was declared terminated at 6:51 p.m.

5. Call to Order the Regular Meeting

Mayor Basran called the meeting to order at 6:51 p.m.

- 6. Bylaws Considered at Public Hearing
 - 6.1 START TIME 6:00 PM Leathead Rd 460 and Fraser Rd 605 BL12129 (OCP20-0013) - 0725353 BC Ltd, 1032308 Alberta Ltd

Moved By Councillor Wooldridge/Seconded By Councillor Singh

R0832/21/08/24 THAT Bylaw No. 12129 be read a second and third time.

Carried

6.2 START TIME 6:00 PM Leathead Rd 460 and Fraser Rd 605 - BL12130 (Z20-0066) -0725353 BC Ltd, 1032308 Alberta Ltd

Moved By Councillor Singh/Seconded By Councillor Wooldridge

Ro833/21/08/24 THAT Bylaw No. 12130 be read a second and third time.

Carried

7. Termination

The meeting was declared terminated at 7:01 p.m.

8. Call to Order the Public Hearing - START TIME 6:30 PM - Mantle Crt 1870 Walburn Rd 2903 Gallagher Rd 2975 - OCP21-0005 (BL12258) Z21-0010 (BL12259) - RDCO, David and Laura Geen

Mayor Basran called the Hearing to order at 7:01 p.m.

9. Individual Bylaw Submissions

9.1 START TIME 6:30 PM - Mantle Crt 1870 Walburn Rd 2903 Gallagher Rd 2975 -OCP21-0005 (BL12258) Z21-0010 (BL12259) - RDCO, David and Laura Geen

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Jordan Hettinga, Kent MacPherson, Applicant

- Responded to questions from Council.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one participating online or in the gallery indicated they wished to speak.

There were no further comments.

10. Termination

The Hearing was declared terminated at 7:06 p.m.

11. Call to Order the Regular Meeting

Mayor Basran called the meeting to order at 7:06 p.m.

- 12. Bylaws Considered at Public Hearing
 - 12.1 START TIME 6:30 PM Mantle Crt 1870 Walburn Rd 2903 Gallagher Rd 2975 -BL12258 (OCP21-0005) - RDCO, David and Laura Geen

Moved By Councillor Given/Seconded By Councillor Singh

Ro834/21/08/24 THAT Bylaw No. 12258 be read a second and third time.

Carried

12.2 START TIME 6:30 PM - Mantle Crt 1870 Walburn Rd 2903 Gallagher Rd 2975 -BL12259 (Z21-0010) - RDCO, David and Laura Geen

Moved By Councillor Given/Seconded By Councillor Singh

Ro835/21/08/24 THAT Bylaw No. 12259 be read a second and third time.

Carried

13. Termination

The meeting was declared terminated at 7:08 p.m.

14. Call to Order the Public Hearing - START TIME 6:30 PM - TA21-0009 (BL12263) - Section 13 -Urban Residential Zones - Carriage House Text Amendment - City of Kelowna

Mayor Basran called the Hearing to order at 7:08 p.m.

15. Individual Bylaw Submissions

15.1 START TIME 6:30 PM - TA21-0009 (BL12263) - Section 13 - Urban Residential Zones - Carriage House Text Amendment - City of Kelowna

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

<u>Gallery</u>

Gord Lovegrove, Abbott Street

- Supportive of the proposed application.
- Raised concern regarding notification of neighbours and urge staff to let neighbours know before placing a building permit sign to avoid potential neighbour complaints.
- Believes this amendment will have a very positive impact and will provide a solution for people to age in place.

Jocelyn Seabray, Vernon BC

- Supportive of the proposed application.

There were no further comments.

16. Termination

The Hearing was declared terminated at 7:21, p.m.

17. Call to Order the Regular Meeting

Mayor Basran called the meeting to order at 7:21 p.m.

18. Bylaws Considered at Public Hearing

18.1 START TIME 6:30 PM - BL12263 (TA21-0009) - Section 13 - Urban Residential Zones - Carriage House Text Amendment - City of Kelowna

Moved By Councillor Stack/Seconded By Councillor DeHart

R0836/21/08/24 THAT Bylaw No. 12263 was read a second and third time.

Carried

19. Termination

The meeting was declared terminated at 7:31 p.m.

20. Public Hearing will re-open for McKinley Road Item at 7:30 PM

Note: See Tuesday, August 24, 2021 Meeting for Public Hearing minutes for McKinley Road application. Link to Public Hearing Minutes

City Clerk

Mayor Basran

/acm



City of Kelowna Regular Meeting and Public Hearing Minutes

Tuesday, August 24, 2021 Date: Council Chamber Location: City Hall, 1435 Water Street Mayor Colin Basran, Councillors Maxine DeHart, Gail Given, Mohini Singh, Members Present Luke Stack and Loyal Wooldridge Members participating Councillors Charlie Hodge and Brad Sieben remotely Members Absent Councillor Ryan Donn City Manager, Doug Gilchrist; City Clerk, Stephen Fleming; Deputy City Staff Present Clerk, Laura Bentley; Divisional Director, Planning & Development Services, Ryan Smith; Community Planning & Development Manager, Dean Strachan*; Urban Planning Manager, Jocelyn Black*; Divisional Director, Infrastructure, John Vos*; Divisional Director, Partnership & Investments, Derek Edstrom* Legislative Coordinator (Confidential), Arlene McClelland Staff participating remotely

(* Denotes partial attendance)

1. Call to Order

Mayor Basran called the meeting to order at 7:45 p.m.

2. Reaffirmation of Oath of Office

The Oath of Office was read remotely by Councillor Sieben.

3. Confirmation of Minutes

Moved By Councillor Hodge/Seconded By Councillor DeHart

<u>Ro837/21/08/24</u> THAT the Minutes of the Public Hearing and Regular Meeting of August 10, 2021 be confirmed as circulated.

Carried

4. Liquor License Application Reports

4.1 START TIME 7:15 PM - Lakeshore Rd 3477-3499 - LL21-0007 - 0984342 BC Ltd., Inc. No. BC0984342

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Lenny Cabrera Holguin, Applicant

Present and available for questions.

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one participating online or in the gallery indicated they wished to speak.

There were no further comments.

Moved By Councillor Wooldridge/Seconded By Councillor Singh

<u>Ro838/21/08/24</u> THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with Section 10 of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

- 1. Council recommends support of an application from The Sweet Spot Beauty Bar Ltd. for a liquor license application for Lot A District Lot 134 ODYD Plan EPP65105, located at 3477-3499 Lakeshore Road, Kelowna, BC for the following reasons:
 - a. Liquor Licensing Laws allow for barbershops, salons, and other establishments to apply for a liquor primary license;
 - b. Council Policy No. 359 recommends supporting alternative entertainment options and/or establishments which are less focused on alcohol consumption;
 - c. The maximum capacity is 50 persons which will have minimal impact on the community.

2. Council's comments on LCRB's prescribed considerations are as follows:

- a. The location of the establishment:
 - The proposal of the establishment is suitable for a small establishment liquor primary license.
- b. <u>The person capacity and hours of liquor service of the establishment:</u> The hours of liquor service is suitable given the low occupancy of 50 persons;
- c. <u>The impact of noise on the community in the immediate vicinity of the establishment:</u> There is a minimal risk of an impact of noise to the community;
- d. <u>The impact on the community if the application is approved:</u> The overall impact on the community will be minimal;
- 3. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures".

Carried

5. Development Permit and Development Variance Permit Reports

5.1 START TIME 7:15 PM - Glenmore Dr 888 - BL12184 (Z20-0071) - 1296423 B.C. Ltd., Inc. No. BC1296423

Moved By Councillor DeHart/Seconded By Councillor Stack

<u>**Ro839/21/08/24</u>** THAT Bylaw No. 12184 be amended at third reading by deleting the legal description that reads:</u>

- Lot 12 Section 29 Township 26 ODYD Plan 4101 & Lot 13 Section 29 Township 26 ODYD Plan 4101.

And replacing with:

Lot A Section 29 Township 26 ODYD Plan EPP110821.

Carried

Moved By Councillor DeHart/Seconded By Councillor Stack

R0840/21/08/24 THAT Bylaw No. 12184 as amended, be adopted.

Carried

5.2 START TIME 7:15 PM - Glenmore Dr 888 - DP20-0164 DVP21-0052 - 1296423 B.C. Ltd., Inc. No. BC1296423

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

Jesse Alexander, New Town Architecture & Engineering, Applicant

Present and available for questions.

Mayor Basran invited anyone particip<mark>atin</mark>g online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

No one participating online or in the gallery indicated they wished to speak.

There were no further comments.

Moved By Councillor Wooldridge/Seconded By Councillor Given

<u>**R0841/21/08/24</u>** THAT Rezoning Bylaw No. 12184 be amended at third reading to revise the legal description of the subject</u>

properties from Lot 12 Section 29 Township 26 ODYD Plan 4101 & Lot 13 Section 29 Township 26 ODYD Plan 4101 to Lot A Section 29 Township 26 ODYD Plan EPP110821;

AND THAT final adoption of Rezoning Bylaw No. 12184 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP20-0164 and Development Variance Permit DVP21-0052 for Lot A Section 29 Township 26 ODYD Plan EPP110821, located at 888 Glenmore Drive, Kelowna, BC subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";

4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Variances to the following sections of Zoning Bylaw No. 8000 be granted:

<u>Section 13.9.6(f): RM3 – Low Density Multiple Housing Development Regulations</u> To vary the minimum rear yard setback from 7.5 m required to 3.04 m proposed.

<u>Section 8.2.3: Section 8 – Parking and Loading, Off-Street Parking Regulations, Parking</u> <u>Setbacks</u>

To vary the minimum side yard parking setback from 1.5 m required to 0.5 m proposed.

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

The meeting was declared terminated at 7:57 p.m.

6. Re-Opening of Public Hearing

6.1 Call to Order the Public Hearing - START TIME 7:30 PM - McKinley Rd 1890 1988 Glenmore Rd N 3850 3912 - OCP21-0004 (BL12251) TA21-0002 (BL12252) Z21-0005 (BL12253) - Kinnikinnik

Mayor Basran called the Hearing to order at 7:57 p.m.

Mayor Basran made introductory comments on the continuation of the Public Hearing.

7. Individual Bylaw Submissions

7.1 START TIME 7:30 PM - McKinley Rd 1890 1988 Glenmore Rd N 3850 3912 - OCP21-0004 (BL12251) TA21-0002 (BL12252) Z21-0005 (BL12253) - Kinnikinnik

Mayor Basran invited anyone participating online or in the gallery who deemed themselves affected to indicate they wish to speak followed by comments from Council.

Online Participants

Rosa Perretta, Glenmore Road

- Unable to unmute microphone due to technical difficulties at their end.

Scott Anderson, Wild Rose Road

- As a resident of the community am directly impacted by the proposed amendments.
- Opposed to this application.
- Raised concerns with impacts of ongoing construction.
- Raised concerns with traffic on Glenmore Road and parking impacts.
- Raised environmental concerns.
- Raised concerns with clearcutting.
- In favour of the neighbourhood becoming higher density.
- Asked Council to consider four terms to be imposed should the development proceed:
 - 1. More significant contribution to Glenmore Road.
 - 2. No further subdivision until amenities are constructed.
 - 3. New construction be phased.
 - 4. Neighbourhood specific construction bylaw.

Robert Stupka, Scott Road

- Shared a PowerPoint Presentation.
- Addressed impacts of change from multi-family to single family neighbourhoods.
- Believes the ecological impact of developing additional lands is far greater than the benefits of the gifted land.
- Made comment that the applicant has acknowledged the existing plan with multi-family units is feasible.
- Believes the Applicant's information letter to homeowners was misleading as density has changed and was not stated.
- Made comment that greenhouse gas, environmental and transportation impacts to single family homes would be multiple times greater.
- Asked Council to reject this proposal and stay with the original plan for this area.
- Opposed to this application.

Tracey Davis, Lake Avenue

- Spoke to the benefits of her energy efficient apartment downtown that allows walking access to transportation and shops and noted that McKinley Beach has none of that.
- Believes the proposed application is not in line with the Official Community Plan or Growth Strategy.
- Made reference to development denied in the District of Lake Country near the City boundary to avoid urban sprawl.
- Believes a forest is being sacrificed for the proposed development.
- Also representing Okanagan Climate Hub that are requesting Council to vote against this Official Community Plan amendment.
- Opposed to this application.

Rosa Perretta, Glenmore Road

- Comments read by staff due to technical issues at the speakers end.
- Supportive of the proposed application.

Gallery

Nicholas Wall, Edgewood Drive

- Referenced the City's Climate Action Plan; this proposal is at odds with this plan.
- This proposed application is not in line with the Official Community Plan.
- Raised concerns with negative environmental impacts and urban sprawl.
- Raised concern with GHG emissions.
- Opposed to this proposed application.
- Responded to questions from Council.

Rob Bedsworth, McKliney Beach

- President of Strata in their neighbourhood.
- Local business owner and operator in Kelowna.
- Spoke to reasons they chose to live at McKinley Beach and desire to live in a single family residence.
- Believes the City owning the parkland and having control over it is a win.
- Supportive of the proposed application.

Brad Dahl, Past President McKinley Landing Residents Association

- Displayed pages from the Residents Association website.
- Raised concerns with estimated costs of road improvements and the apparent veto of the 2009 Service Agreement.
- Raised concerns with the traffic impacts and assumptions that went into the Traffic Impact Assessment.
- Made comment on impacts to annual city property tax and property value.
- Made comment that many access routes to public beaches have been privatized and with the future moorage scenario restricts access and usability.
- Raised concerns with renting of the founders' units.

- Made comment that McKinley beach is being advertised as a community and residential area and not as a Resort.
- Opposed to this proposed application.

Stephen Vallentyne, Cook Road

- Raised concerns with impacts to climate change.
- Asked Council to reaffirm their commitment to sustainability and optimize densification and minimize unnecessary transportation.
- Opposed to this proposed application.

Michael Russello, Dewdney Road

- Professor of Biology at UBCO.
- Opposed to this application.
- Spoke to habitat fragmentation, species and ecosystems at risk in the Okanagan.
- Raised concern that multi-family housing will further urban sprawl.
- Made comment that the City would receive a park that is already designated ALR land that cannot be developed.
- Responded to questions from Council.

Ralph Stapleton, Swan Drive

- Owns property at McKinley Landing.
- Will be opening a café in the McKinley neighbourhood; people need to be there before businesses succeed.
- Believes that cleaning up the brush and developing will assist in not having forest fires.
- Made comment that the Marina has no impact on that beach and sees people on the beach every day.
- Fully supportive of the proposed application.
- Responded to questions from Council.

Mathieu Bourbonnais, Ranchhill Court

- Professor at UBCO and former fire fighter.
- Spoke to this year's fire season and the urgent need to mitigate wildfires.
- Spoke to the importance of the fire resistance of the flora currently existing on the subject property.
- Made comment that the proposed development contains several wetlands, which is a natural fire break when a fire occurs.
- Focus should be on retaining rather than removing such landscape.
- Asked Council to lead by example and not support the suggested OCP amendment.
- Opposed to this application.

Lael Parrott, Kyndree Court

- Professor at UBCO and Director of Okanagan Institute for Biodiversity.
- Displayed a PowerPoint Presentation.
- Raised concern that the ecological corridor that runs through the lands will be fragmented and cannot be replaced.
- Spoke to the ecological impacts of the proposed development and the importance of preserving the ecosystems for the future; the connectivity of the ecosystems need to be saved.
- This proposal is contrary of the vision expressed in the 2030 OCP and Draft 2040 OCP.
- Asked Council to be progressive and oppose this OCP amendment.
- Opposed to this proposed application.
- Responded to questions from Council.

Paresa Rosamenti, Clifton Road N

- Made reference to the 107 letters in opposition of the OCP amendment.
- Raised concerns with global warming and GHG emissions.
- Made comment that thought has to be given to the future and younger generation.
- Urged Council to reject the proposed OCP amendment.
- Opposed to this proposed application.

Olson Russello, Dewdney Road

- Raised concern with global warming and the effects on younger generations.
- Spoke to the importance of keeping the existing Ponderosa Pine forest.
- Asked Council to be progressive and oppose this OCP amendment.
- Opposed to this proposed application.

Hugh Falloon, McKinley Beach

- Moved to Kelowna in 2017 and purchased a 1 acre lot at McKinley Beach.
- Spoke to the restrictive covenant on his property that restricts the building envelope and preserves the ecosystem.
- Have walked most of the area the developer wants to expand and noted there is a lot of open area; some trees need to be removed but expressed doubts there will be clear cutting of this area.
- Raised concerns regarding potential fires at McKinley and believes there are benefits of more development spread out with better road systems to provide access to extinguish any fires.
- Made comment that not everyone wants to live in a highrise and need homes that attract appropriate families.
- Supportive of the proposed application.

Scott Gerla, McKinley Beach

- Moved from Calgary in 2020 to McKinley Beach and the family loves the area.
- Have no concerns at this time with the lack of retail space and realize it is a work in progress.
- Supportive of a City Park in the neighbourhood.
- Supportive of the proposed application.

Glen Snowden, Blue Grass Lane

- Resides in McKinley Beach neighbourhood.
- Spoke in response to some of the previous comments made.
- Made comment that this proposal is not urban sprawl, the development already exists and this is just an amendment; no additional housing is going in.
- Believes the applicant cares about the environment by limiting the types of plants that can be grown on our properties.
- Believes dedicated parkland run by the city will benefit McKinley Beach and all of Kelowna.
- McKinley is close to some of the city's biggest employers; there are opportunities for suites in this area to assist with housing needs.
- Made comment that people are now looking for a place to work from home.
- Supportive of this proposed application.

Chris Vasenko, Valley Road

- Believes housing diversity is greatly needed.
- Supportive of the proposed application.
- Responded to questions from Council.

Sorma Amadi, Clifton Road

- Raised concerns with the impacts on the environment.
- Raised concerns with the impact of GHG emissions in the future that will affect younger generations.
- Asked Council to reject this OCP amendment.
- Opposed to this proposed application.

Russ Watson, Blue Grass Lane

- Works for the developer but speaking as a resident of McKinley Beach.
- Made comment that Ponderosa Pines and wildlife corridors will be preserved.
- Supportive of the proposed park.
- Supportive of the proposed application.

Kalyen Wong, Traditions Crescent

- Made comment that protection of this land and environment is very important and that densifying is required to stop urban sprawl.
- Believes the proposal is not aligned with the City's policies.
- Strongly opposed to this application.

Peter Trusch, Coulder Court

- Displayed a PowerPoint Presentation.
- Raised concerns with public consultation process and believed elements were misleading.
- Raised concerns with transportation impacts and traffic volumes.
- Strongly recommend that Council vote against this proposed application.

Grace Pointer, Craig Road

- Opposed to this proposed application.

Shayne Meechan, Verde Vista Road

- Representing Green Okanagan.
- Referenced the almost 200 emails sent in opposition.
- Asked Council to show leadership in opposing this bad deal development.
- Believes support of this OCP amendment will set a precedent for future decisions.
- Thanked Council for the opportunity to speak on this matter.
- Opposed this proposed application.

Tom Warshawski, McKenna Road

- Displayed a PowerPoint Presentation.
- Provided comments on the McKinley Biologist report and questioned the conclusions.
- Displayed a map outlining proposed development through wildlife corridors.
- Spoke to the importance of adhering to City policies regarding climate action and environmental policy.
- Opposed to this proposed application.

<u>Gord Lovegrove, Abbott Street</u>

- Professor in Civil Engineering.
- Believes that Council's decision on this proposal will leave a legacy
- Made reference to the recent Code Red report on environment.
- Believes that unless a developer has a net positive to the climate these types of applications need to be turned down.
- Made reference to an exploratory cost benefit analysis report submitted by Professor of Economics John Janmaat as correspondence.
- Believes this housing the applicant is proposing is not the missing middle and is not necessary to expand into this area.
- Opposed this proposed application.

<u>Andrew Gaucher, Applicant</u>

- Read a prepared response regarding concerns raised.
- Made comment that there are no suites planned for this proposed area.
- Committed to any increase in Service Agreement contribution for Glenmore Road upgrades should there be one determined between their traffic consultant and the city.
- Made comment that they pay for offsite upgrades in the Service Agreement as well have paid for all DCC's for the units that have been developed.
- Clarified that the proposed parkland would extend and protect Knox Mountain corridor to the north and when designed there is a literal connection for both pedestrians and wildlife between the two parks.
- Responded to questions from Council.

Trevor Ward, Traffic Engineer

- Author of several traffic studies on this project since 2003.
- Responded to questions from Council.

Staff:

- Responded to questions from Council.

8. Termination

The Hearing was declared terminated at 10:54 p.m.

9. Call to Order the Regular Meeting

Mayor Basran called the meeting to order at 10:54 p.m.

Moved By Councillor DeHart/Seconded By Councillor Singh

<u>Ro842/21/08/24</u> THAT Council approves the Regular Meeting to continue past 11:00 p.m.

Carried

10. Bylaws Considered at Public Hearing

10.1 START TIME 7:30 PM - McKinley Rd 1890 1988 Glenmore Rd N 3850 3912 - BL12251 (OCP21-0004) - Kinnikinnik

Moved By Councillor Stack/Seconded By Councillor DeHart

Ro843/21/08/24 THAT Bylaw No. 12251 be read a second and third time.

Defeated

Councillors Hodge, Singh, Stack and Wooldridge - Opposed

10.2 START TIME 7:30 PM - McKinley Rd 1890 1988 Glenmore Rd N 3850 3912 - BL12252 (TA21-0002) - Kinnikinnik

Bylaw was not considered due to OCP Bylaw being defeated.

10.3 START TIME 7:30 PM - McKinley Rd 1890 1988 Glenmore Rd N 3850 3912 - BL12253 (Z21-0005) - Kinnikinnik

Bylaw was not considered due to OCP Bylaw being defeated.

11. Termination

The meeting was declared terminated at 11:40 p.m.

3th the

Mayor Basran

/acm

City Clerk





Date:	September 21,	2021		
То:	Council			
From:	City Manager			
Department:	Development Planning			
Application:	HAP21-0001		Owner:	Diane Duckett
Address:	1815 Abbott St		Applicant:	Diane Duckett
Subject:	Heritage Alteration Permit Application - Major			
Existing OCP Designation:		S2RES – Single / Two U	Init Residential	
Existing Zone:		RU1 - Large Lot Housing	g	

1.0 Recommendation

THAT Council authorizes the issuance of Heritage Alteration Permit No. HAP21-0001 for Lot 10, Block B, District Lot 14, ODYD, Plan 2220, located at 1815 Abbott Street, Kelowna, BC subject to the following:

- The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- 2. The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 13.1.6(e): RU1 – Large Lot Housing, Development Regulations

To vary the minimum rear yard setback from 7.5 m required to 5.5 m proposed.

AND THAT a certified arborist be retained during construction to ensure a rootzone barrier is established and maintained during construction as well as to follow the other Arborist's recommendations attached to this report in order to protect the silver maple tree located on the north side of the property.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Heritage Alteration Permit Application in order for the permits to be issued;

AND FURTHER THAT this Heritage Alteration Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider the form and character of an addition to the existing home in the Heritage Conservation Area and to vary the minimum rear yard setback for the proposed garage.

3.0 Development Planning

Staff supports the proposed Heritage Alteration Permit (HAP) on the subject property. The proposal is consistent with the Heritage Alteration Permit Guidelines (Attachment A). The applicant retained the services of a Registered Heritage Professional (Consultant) to review and comment on the proposed design (Attachment A) in relation to Chapters 14 and 16 of the OCP Heritage Conservation Area Guidelines and to the "*Standards and Guidelines for the Conservation of Historic Places in Canada*" (Canadian Standards and Guidelines). In the report, the Consultant identified that the proposal met several key OCP Heritage Conservation Area Guidelines. Key conclusions from the heritage analysis and report were:

"The addition has been designed in a style that is respectful of the heritage values of the existing house and of the Conservation Area, specifically through its overall massing, gable roof and a contemporary interpretation of traditional materials. The overall proposal is compatible with the neighbourhood and is a context-sensitive project.

Of great importance to the principles of heritage conservation is that the new addition must not mimic the historic house on the property, nor the other historic houses around it. It must not pretend to be old. The proposed design and positioning of the addition will successfully integrate it on the property and offer a continuity of the 'sense-of-place' in the neighbourhood. It will be a context sensitive development. In conclusion, the proposal meets and exceeds the above guidelines."

Figure 1: Rendered image of proposed addition at 1815 Abbott Street.



Staff requested a tree analysis performed by a certified arborist to evaluate whether the mature vegetation could be maintained safely during construction of the addition or whether the tree needed to be removed. The conclusion of the report was the tree could be saved and the overall health impact on the tree should be minimal only if certain construction techniques are followed, such as: no excavation within the dripline, establishment of a rootzone barrier, and other recommendations outlined within the Arborist Tree Report. Staff are recommending a condition be added to the permit that states a certified arborist shall be retained during construction to ensure these techniques are followed. The report can be viewed in Attachment 'C'.

To fulfil Council Policy No. 367, the applicant submitted a Neighbour Consultation Summary Form to staff on February 8, 2021, outlining that the neighbours within 50 m of the subject property were notified.

Variances

The applicant is requesting one variance to the minimum rear yard setback for the proposed garage from 7.5 metres to 5.5 metres.

Staff are recommending support for this variance as it only applies to the garage and the proposed living areas of the home have the appropriate setbacks. Further, the resulting 5.5 metre distance to the edge of the lane is large enough to have a standard car to be parked in the driveway without overhanging the property and intruding into the lane. The standard parking length for regular parking stalls is 6.0 metres and the standard parking length for small parking stalls is 4.8 metres.

4.0 Proposal

4.1 <u>Background</u>

The property is in the City's Heritage Conservation Area; and therefore, any change to the property, including the addition of new buildings, requires an HAP. Under the Terms of Reference for the City's Heritage Advisory Committee (HAC), a new build that is visible from a street, as the proposal is, would be subject to the Committee's review. Due to health measures related to the COVID-19 Pandemic, the HAC was not in operation. In lieu of a Committee review, the applicant retained the services of a Registered Heritage Professional to review and comment on the proposed development, and to help Staff and Council determine whether the proposal is consistent with the City's Heritage Conservation Area Guidelines.

4.2 <u>Project Description</u>

The proposal is to add a double garage, 2 new bedrooms and a bonus/transition area that will flow five steps down into the kitchen (existing). The original house has 2.5 storeys with a basement. The new addition will have 2 storeys, observing the Flood Construction Level rules. The main floor of the old part of the house contains living/dining areas, the kitchen, a bathroom and one bedroom that will become an office and transition to the second floor. The owner's goal is to create one larger home, relocating the secondary suite to grade level and making it partially handicap accessible. The improved home will comfortably accommodate family and guests, and, ultimately, a live-in caregiver and/or housekeeper if necessary. The existing upper floor suite will simply merge with the rest of the house and its small kitchen will be turned into a laundry/storage room.

4.3 <u>Site Context</u>

The subject property, outlined in red below, is located at 1815 Abbott Street. The property is within the Abbott Street Heritage Conservation Area. The house is not identified by the City of Kelowna as having heritage value and is not listed on the Heritage Register. The property is a corner lot at Abbott Street and Riverside Avenue, on the southeast corner of the intersection. To the rear of and across the street from the subject properties are single-family homes on relatively similar sized and shaped properties. Across from the

subject property, to the north at 1781 Abbott Street, is a Heritage Revitalization Agreement re-development project.



Subject Property Map: 1815 Abbott Street

4.4 Zoning Analysis Table

CRITERIA	RU1 ZONE REQUIREMENTS	PROPOSAL
	Development Regulations	
Max. Site Coverage (buildings)	40%	26%
Max. Site Coverage (buildings, parking, driveways)	50%	33%
Max. Height	9.5m or 2.5 storeys	6.6 m or 2 storeys
Min. Front Yard	4.5 M	8.6 m
Min. Flanking Side (north – Riverside Ave)	4.5 m	7.85 m
Min. Side Yard (south)	2.3 M	2.3 M
Min. Rear Yard	7.5 m	7.5 m to house 5.5 m to garage 0
	Other Regulations	
Min. Parking Requirements	3	4

5.1 Kelowna Official Community Plan (OCP)

Chapter 16: Heritage Conservation Area Guidelines

Objectives: Encourage new development, additions and renovations to existing development which are compatible with the form and character of the existing context.

The purpose of the Heritage Conservation Area is to sustain the historical legacy of the neighbourhoods shown on Map 9.1. The special qualities of these neighbourhoods will be preserved by ensuring changes complement the established streetscape and maintain the integrity of traditional architectural forms.

6.o Application Chronology

Date of Application Received:	January 15, 2021
Date Public Consultation Completed:	February 8, 2021
Date of Revised Plans Received:	August 17, 2021

Heritage Advisory Committee:

The application was not reviewed by the Heritage Advisory Committee for reasons given above in Section 4.1: Background.

Report prepared by:	Adam Cseke, Planner Specialist
Reviewed by:	Jocelyn Black, Urban Planning Manager
Approved for Inclusion:	Terry Barton, Development Planning Department Manager

Attachments:

Attachment A: Draft Development Permit HAP21-0001 & Rationale Letter

Schedule A: Site Plan

Schedule B: Elevations, Materials and Colour Board

Attachment B: Heritage Report & Heritage Design Guidelines Checklist

Attachment C: Arborist Tree Report

DRAFT Heritage Alteration Permit HAP21-0001



This permit relates to land in the City of Kelowna municipally known as 1815 Abbott Street

and legally known as for Lot 10, Block B, District Lot 14, ODYD, Plan 2220

and permits the land to be used for the following development: a single family dwelling with secondary suite consistent with the RU1 – Large Lot Housing zone

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision	September 21 st , 2021
Decision By:	Council
Issued By:	TBD
Development Permit Area:	Abbott Street and Marshall Street heritage Conservation Area
Existing Zone:	RU1 – Large lot Housing
Future Land Use Designation:	S2RES – Single / Two Unit Residential

This is NOT a Building Permit.

In addition to your Heritage Alteration Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:	Diane Duckett

Applicant: Diane Duckett

Terry Barton Development Planning Development Manager Planning & Development Services Date

1. SCOPE OF APPROVAL

This Heritage Alteration Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Heritage Alteration Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Heritage Alteration Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land in accordance with Schedule "B";
- c) THAT a certified arborist be retained during construction to ensure a rootzone barrier is established and maintained during construction as well as to follow the other Arborist's recommedationas attached to this report in order to protect the silver maple tree located on the north side of the property.

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted in accordance with Schedule "A": <u>Section 13.1.6(e): RU1 - Large Lot Housing, Development Regulations</u> To vary the minimum rear yard setback from 7.5 m required to 5.5 m proposed.

This Heritage Alteration Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

n/a

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by

reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.





To: City of Kelowna Planning Department

RATIONALE FOR NEW ADDITION TO REAR OF

1815 Abbott Street, Kelowna, BC V1Y 1B6 PID 004-552-059, Lot 10, Block B, Plan 2220

The proposed addition will blend pleasantly on to the rear of 1815 Abbott Street, while retaining the original property and its charm. The owner wishes to add a double garage, 2 new bedrooms and a bonus/transition area that will flow five steps down into the kitchen (existing). The original house has 2.5 storeys with a basement. The new addition will have 2 storeys, observing the Flood Construction Level rules. The main floor of the old part of the house contains living/dining areas, the kitchen, a bathroom and one bedroom that will become an office and transition to the second floor. The owner's goal is to create one larger home, relocating the secondary suite to grade level and making it partially handicap accessible, where she can house and care for her mother (96) and age in place herself. The improved home will comfortably accommodate family and guests, and, ultimately, a live-in caregiver and/or housekeeper if necessary. The existing upper floor suite will simply merge with the rest of the house and its small kitchen will be turned into a laundry/storage room.

The Heritage Consultant's report concludes that this proposal meets and exceeds guidelines. The development under construction at 1781 Riverside Avenue includes the repurposing of the old heritage home as a commercial office and the construction of a modern duplex that will be directly opposite this new addition.

Below: Front of house on Abbott Street (West) and Rear (East) with back alley





Below: Development under construction on opposite corner (1781 Riverside Avenue) by Davara



Diane Duckett Homeowner 403 890 1314 <u>diane.duckett@shaw.ca</u>



GENERAL SPECIFICATIONS

CODES & STANDARDS

ALL WORKMANSHIP TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD NORTH AMERICAN BUILDING PRACTICES. AT TIME OF PREPARATION. THESE DRAWINGS WERE MADE IN ACCORDANCE TO NATIONAL BUILDING CODE STANDARDS. B.C. BUILDING CODE STANDARDS AS WELL AS LOCAL BUILDING CODE REQUIREMENTS FOR SPECIFIC CONDITIONS. IT IS THE RESPONSIBILITY OF THE PLAN HOLDER (OWNER OR BUILDER) TO ENSURE THAT ANY CHANGES OR AMENDMENTS TO CODE STANDARDS BE INCORPORATED INTO THESE DRAWINGS. ALL WORK SHALL CONFORM TO LOCAL OR REGIONAL BUILDING CODES AND ANY LOCAL BYLAW WHICH MAY TAKE PRECEDENCE.

THE BUILDER IS RESPONSIBLE TO VERIFY ALL INFORMATION. DIMENSIONS & SPECIFICATIONS REGARDING THESE PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

WRITTEN DMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. ANY VARIATION REGARDING STRUCTURAL ELEMENTS OR SPECIFICATIONS OF THESE DRAWINGS DUE TO VARIATIONS IN SITE CONDITIONS SHALL BE. RESOLVED BY THE BUILDER OR OWNER. SUCH RESOLUTIONS ARE TO BE THEIR SOLE RESPONSIBILITY.

CONCRETE FOUNDATIONS:

ALL CAST-IN-PLACE CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2900 PSI (20MPA) AT 28 PAYS.

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED SOLL OR COMPACTED SOLL TO AN ELEVATION BELOW FROST LEVEL. FOOTINGS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR A SOLL BEARING CAPACITY OF 2500 PSF. IT IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO HAVE THE FOOTINGS REDESIGNED BY QUALIFIED PERSONS TO SUIT ANY LESSER BEARING CAPACITY CONDITIONS WHICH MAY BE ENCOUNTERED ON SITE.

FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL CONCRETE OR MASONRY GROUT HAS REACHED ITS SPECIFIC 28 DAY STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING SUB-FLOOR) REQUIRED TO STABILIZE WALLS IS COMPLETELY & FULLY NAILED & ANCHORED. ALL CONCRETE & MASONRY FOUNDATION WALLS REQUIRED TO EXCEED THE LIMITS STATED IN THE NATIONAL BUILDING G CODE ARE REQUIRED TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER. ALL FOUNDATION WALLS 24" (GOOM) AND HIGHER TO HAVE ONE HORIZONTAL IOM REINFORCING BAR 3" (75M) FROM TOP OF WALL. CENTRE REINFORCING TO BE LAPPED A MINIMUM OF 24" (GOOM).

ALL FOOTINGS SHALL HAVE TWO (2) IOM REINFORCING BARS. THESE REINFORCING BARS ARE TO BE LOCATED SUCH THAT ONE BAR IS 3" (75M) CLEAR DISTANCE OF THE SIDE & BOTTOM OF THE FOOTING AT BOTH SIDES OF THE FOOTING.

GRADE LEVELS SHOWN ON THESE DRAWINGS ARE ESTIMATES ONLY. ADJUSTMENTS AS REQUIRED ARE TO BE MADE ON SITE. RETAINING WALLS OTHER THAN THE FOUNDATIONS WALLS OF THE RESIDENCE ARE BEYOND THE SCOPE OF THESE DRAWINGS UNLESS OTHERWISE NOTED.

DEPTHS OF FOUNDATIONS:

DEPTHS OF FOUNDATIONS TO BE AS PER NATIONAL BUILDING CODE STANDARDS AND IN CONJUNCTION WITH STANDARDS ACCEPTABLE TO LOCAL BUILDING AUTHORITY.

MASONRY ABOVE GRADE:

ALL ABOVE GRADE MASONRY IS TO CONFORM TO STANDARDS OF THE NATIONAL BUILDING CODE. WHERE BRICK VENEER IS INSTALLED. COUNTERFLASHINGS SHALL BE INSTALLED TO A MINIMUM 8" (200M) UP BEHIND BUILDING FELTS & BELOW THE BOTTOM COURSE WITH VERTICAL JOINTS RACKED CLEAN. WEEPHOLES AT MINIMUM 24" (600M) OC.

CARPENTRY:

FRAMNG LUMBER SHALL BE NO. 2 SPF. OR BETTER UNLESS OTHER VISE SPECIFIED. FOR OTHER COMMON SPECIES. REFER TO SPAN TABLES OF THE CURRENT EDITION OF THE NATIONAL OR B.C. BUILDING CODES. ALL BEAM & LINTEL SIZES SHOWN ON THE DRAWINGS ARE BASED ON NO.2 SPF. & ARE TO BE 2 X 12 BUILT-UP UNLESS OTHERWISE SPECIFIED. JOISTS ARE TO BE DOUBLED UNDER INTERIOR PARTITION WALLS JOISTS SHALL BE PLACED TO MINIMZE INTERFERENCE WITH HEATING &

PLUMBING ELEMENTS. ALL HEADERS & TRIMMERS ARE TO COMPLY WITH CURRENT EDITION OF THE NATIONAL & B.C. BUILDING CODES.

THE BUILDER OR OWNER ARE TO OBTAIN NECESSARY CERTIFICATES FROM FLOOR JOIST. ROOF TRUSS. LVL & GLULAM AMNUFACTURERS FOR STRUCTURAL COMPLIANCE. FLOOR & ROOF JOIST SPANS OF MORE THAN 7-0" (2135mm) SHALL BE BRIDGED AT MIDSPAN OR AT 7-0" (2135mm) OC. MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD. BRIDGING SHALL BE A 2: X 2: DIAGONAL TYPE WHENEVER POSSIBLE. WOOD IN CONTACT WITH CONCRETE SHALL E DAMPROOFED WITH 45# FELT OR CLOSED CELL GASKET MATERIAL. OR PRESSURE TREATED WOOD USING A WATERBOUNE PRESERVATIVE OR OTHER APPROVED METHOD. INTERIOR FRAMING TO BE 4" (DOWN) CLEAR OF BACK & SIDES OF ANY FIREBOX AND 2" (SOMM) CLEAR OF BRICK CHIMNEYS. FRAME INTERIOR WALLS I" (25mm) CLEAR FROM EXTERIOR FIREPLACES.

SILL PLATES TO BE ANCHORED TO CONCRETE WITH 5/8" OD. (8MM) ANCHOR BOLTS @ MINMUM 8'-O" (2400M) OC. OR OTHER APPROVED METHOD. FLUSH FRAMED WOOD MEMBERS SHALL BE ANCHORED WITH 2000# (90KG) RATED JOIST HANGERS UNLESS OTHERWISE SPECIFIED. DIMENSIONS ARE FROM THE OUTSIDE FACE OF SHEATHING TO THE CENTRE OF PARTITION WALL.

VAPOUR BARRIER & MOISTURE RETARDATION:

ALL JONTS IN VAPOUR BARRIER TO BE LAPPED MIN 4" & TO OCCUR OVER FRAMING MEMBERS OR SEALED WITH CAULKING. ALL HOLES THROUGH VAPOUR BARRIER FOR WIRES. ELECTRICAL BOXES, PIPING, DUCTS, ETC. SHALL BE SEALED. SILL PLATES TO BE PRESSURE TREATED OR SEPARATED FROM CONCRETE BY DAMPROOFING MATERIAL. MOISTURE RESISTANT BACKING IS REQUIRED AROUND ALL BATHTUBS OR SHOWERS WHER CERAMIC TILE & PLASTIC SHEET IS TO BE INSTALLED.

MISCELLANE0US:

NON-HARDENING CAULKING COMPOUND SHALL BE APPLIED OVER & AROUND ALL EXTERIOR OPENINGS. ALL AREAS SHALL BE PROPERLY FLASHED WHERE A CHANGE IN

EXTERIOR MATERIALS OCCUR OR DISSIMILAR MATERIALS ARE USED. FLASHING REQUIRED OVER ALL EXTERIOR OPENINGS.

ALL SIDING OR STUCCO TO BE A MINIMUM 8" ABOVE FINISHED GRADE LEVEL. CAST IRON CHIMNEY FLUES ARE REQUIRED TO BE APPROVED FOR ALL FIREPLACES ALL BALCONY RAILINGS TO BE 3-6" IN HEIGHT WITH A MAXIMUM SPACING OF 4" BETWEEN VERTICAL MEMBERS. MINIMUM DISTANCE BETWEEN HORIZONTAL RAILS TO BE 32" WITH A TOP RAIL ABILITY TO SUSTAIN OUTWARD APPLIED LOAD OF 40 POUNDS PER LINEAL FOOT.

CLOTHES CLOSETS SHALL HAVE AT LEAST ONE ROD & SHELF AND A MINIMUM DEPTH OF 24" (945 M) UNLESS OTHERWISE STATED LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES. WHEREVER POSSIBLE, BROOM CLOSETS SHALL HAVE AT LEAST ONE SHELF.

INSULATION - VENTILATION:

MINIMUM INSULATION REQUIREMENTS ARE AS FOLLOWS: - ROOF / CEILING: R-44 (RSI -7.75)

- WALLS (2 X 4) R-14 (R5 - 25) (2 X 6) R-22 (R5 - 39)

CEILING NSULATION MAY BE LOOSE FILL OR BATT TYPE. WALL & FLOOR INSULATION MUST BE BATT TYPE. WALLS & CEILINGS BETWEEN RESIDENCE & ATTACHED GARAGE SHALL BE INSULATED. INSULATION REQUIREMENTS MAY VARY WITH HEATING SYSTEMS & LOCAL CONDITIONS. ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT. ROOF OR GABLE VENTS. OR IN COMBINATION THEREOF. VENTING SHALL BE EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACES & SOFFITS. ALL VENTILATION OF CRAWL SPACES SHALL CONFORM TO STANDARDS OF THE

NATIONAL & B.C. BUILDING CODE REQUIREMENTS.

STUCCO PROJECTIONS:

STUCCO PROJECTIONS & STUCCO CORBELLING TO BE CONSTRUCTED FROM 2 X 4 LUMBER ON FLAT WITH 3/4" PLYWOOD OVER CORNER BEAD WITH WIRE MESH OR STUCCO WIRE FINISH OVER. ALL EXPOSED HORIZONTAL PROJECTIONS TO BE SLOPED A MINMUM OF 15 DEGREES TO EXTERIOR SIDE FOR DRAINAGE.

EXTERIOR ENTRY DOORS:

ALL EXTERIOR ENTRY DOORS TO BE INSTALLED WITH THE FOLLOWING MINIMUM REQUIREMENTS.

USE SOLID WOOD BLOCKING @ LOCK HEIGHT ON BOTH SIDE OF DOOR JAMBS FOR TWO (2) STUD SPACES (EXCEPT WHERE SIDELIGHTS OCCUR) DEADBOLT LOCK WITH A MINIMUM I' (25MM) THROW. HINGES SECURED TO DOOR WITH I' (25MM) SCREWS & INTO FRAME WITH 3" (75MM) SCREWS INTO SOLID WOOD BLOCKING. MAIN ENTRANCE DOORS TO HAVE A DOOR VIEWER WITH

180 DEGREE VIEW ANGLE OR DOORLIGHT OR SIDELIGHT WITH A PORTION OF CLEAR GLAZING FOR VIEWING. SIDELIGHTS OR WINDOWS WITHIN 36" (915MM) OF AN EXTERIOR LOCKING

DOOR SHALL HAVE SAFETY LAMINATED. TEMPERED OR WIRED GLAZING. SLIDING TYPE PATIO DOORS MUST HAVE A PIN TYPE LOCKING

DEVICE (IE. TOE LOCK) WITH A MINIMUM I' (25mm) THROW.

LINTELS & BEARING WALL:

PERMIT 12 JULY 2021

ALL LINTELS IN EXTERIOR FRAME WALLS TO BE 2 X 10 SPF. UNLESS OTHER WISE SPECIFIED.

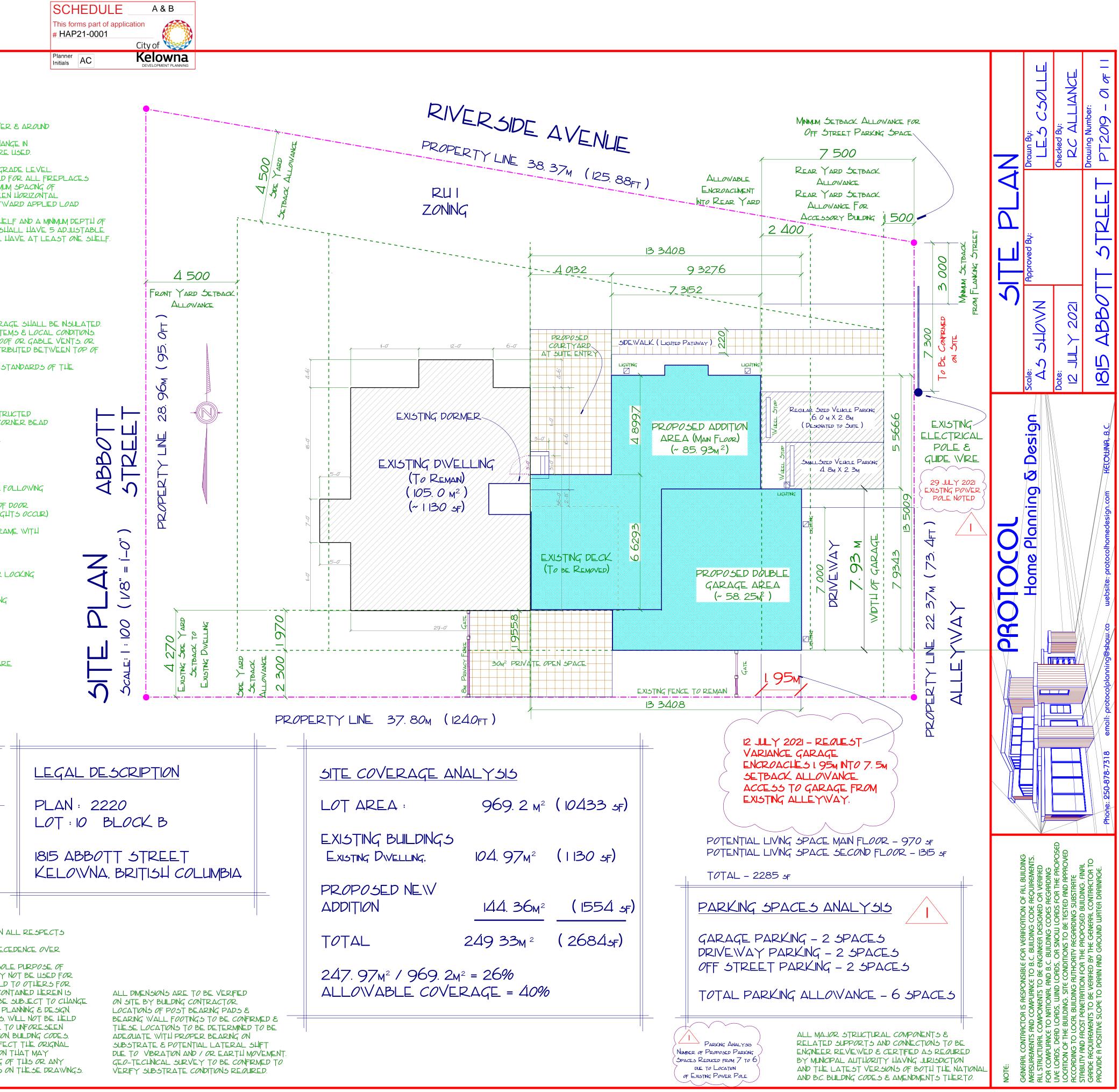
ALL SUPPORT COLUMNS FOR GIRDER TRUSSES & BEAMS ARE TO BEAR SECURELY ONTO FOUNDATION.

GROUND SNOW LOAD TAKEN AT 40 PSF (19 KN/M).

RE-135UED TO OVVINER FOR BUILDING

GENERAL NOTES: ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN IS TO BE A GUIDE ONLY AND CAN BE SUBJECT TO CHAM

TO BE A GUIDE ONLY AND CAN BE SUBJECT TO CHANGE AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN. ITS EMPLOYEES OR PRINCIPALS. WILL NOT BE HELD LIABLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION. BUILDING CODES. OR ENGINEERING THAT MAY AFFECT THE ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR ANY OTHER RELATED STRUCTURES ON THESE DRAWINGS.



SCHEDUL	E A & B
This forms part of a # HAP21-0001	application
Planner Initials AC	City of Kelowna Development planning

PATIO DECK SLAB:-4" CONCRETE DECK SLAB WIRE MESH REINFORCING 4" COMPACTED GRANULAR SETTING BED UNDISTURBED SOIL OR TAMPED SUBSTRATE (SLOPE SLAB TO OUTSDE MIN 1/8" PER FOOT).

8" REINFORCED CONCRETE FOUNDATION WALL 5/8" 00. X 8" EMBEDDED LAG BOLTS @ 8 FT 0.C. 3" RIGID POLYSTYRENE INSULATION 16" X 8" REINFORCED CONCRETE FOOTING W/ CENTRE KEYWAY EXTERIOR DAMPROOFING COAT

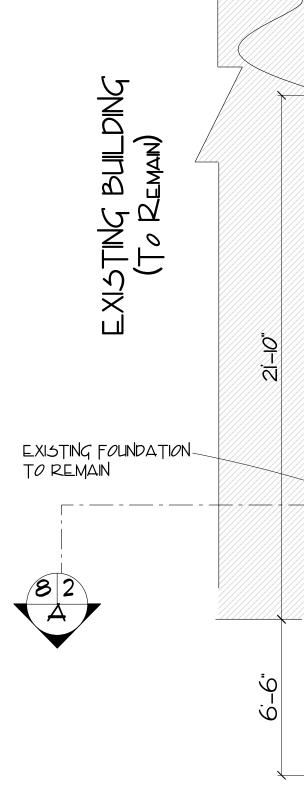
4" OD. CORRUGATED PIPE WEEPING TILE (DOWNSLOPE TO DRAIN) 6" CLEAR CRUSHED ROCK DRAIN BED

PERMEABLE SEPARATION SHEET TAMPED SUBSTRATE OR UNDISTURBED SOIL

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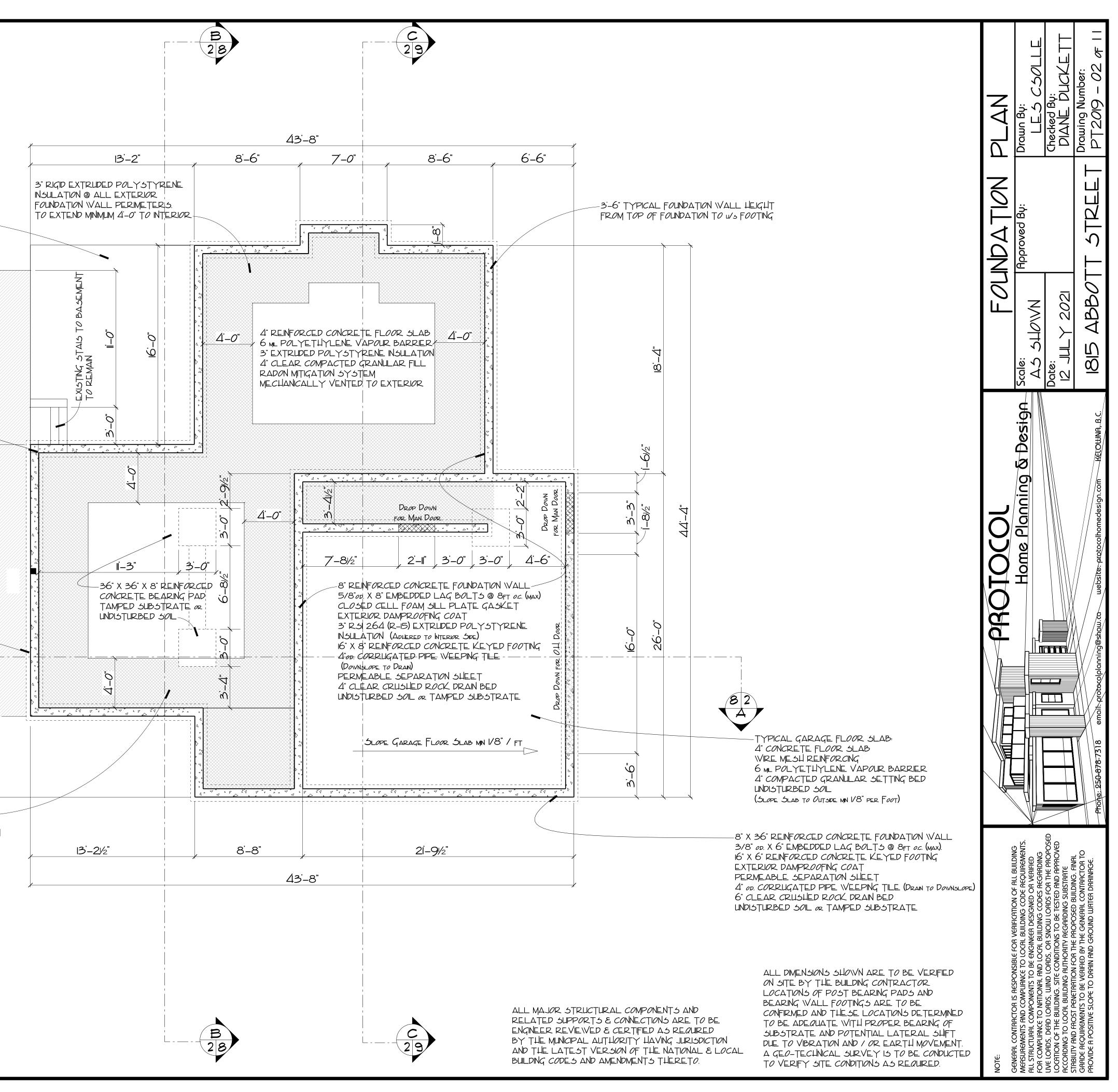
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4" REINFORCED CONCRETE FLOOR SLAB-6 ML POLYETHYLENE VAPOUR BARRIER 3" EXTRUDED POLYSTYRENE NOULATION 4" CLEAR COMPACTED GRANULAR FILL RADON MITIGATION SYSTEM MECHANICALLY VENTED TO EXTERIOR

GENERAL NOTES ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN 15 TO BE A GLIDE ONLY AND 13 SUBJECT TO CHANGE AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN, ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION, BUILDING CODES, ENGINEERING. ORIGINAL DEJIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.



24

SCHEDULE	A & B
This forms part of applic # HAP21-0001	cation
Planner Initials AC	City of Kelowna

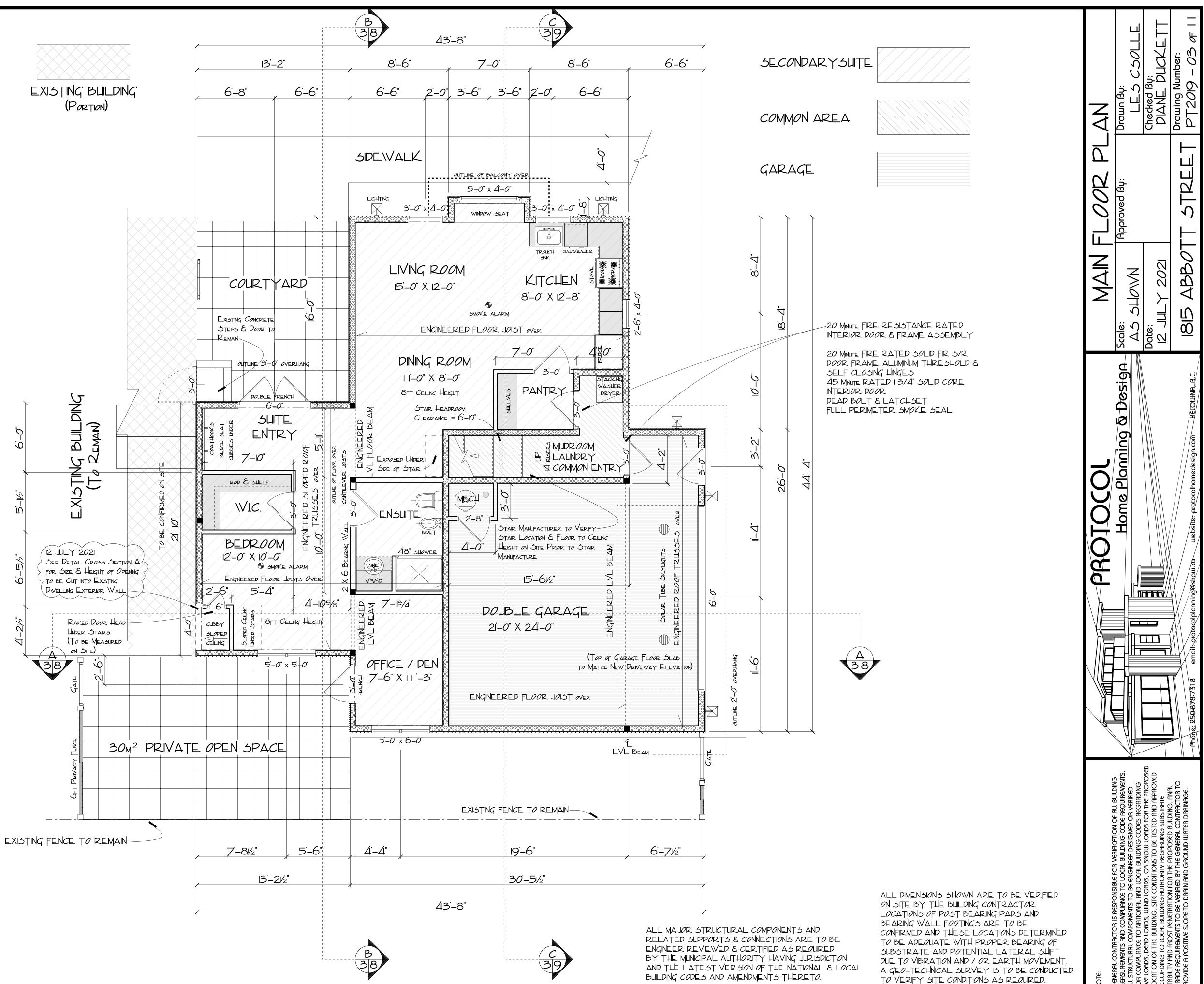
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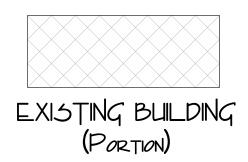
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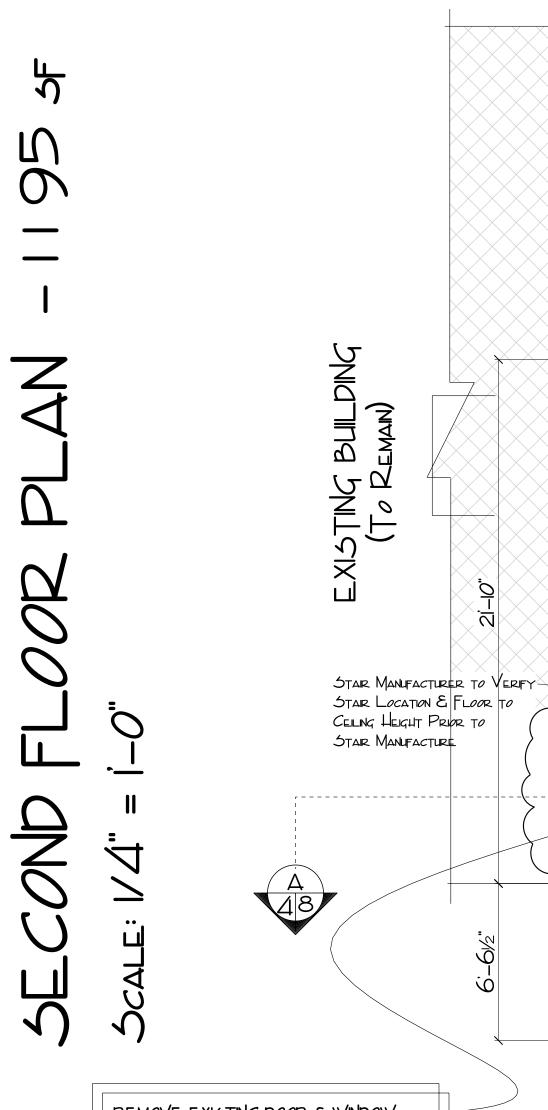
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GENERAL NOTES: ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN 15 TO BE A GUIDE ONLY AND 15 SUBJECT TO CHANGE AT ANY TIME PROTOCOL HOME PLANNING & DESIGN, ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION, BUILDING CODES, ENGINEERING. ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.





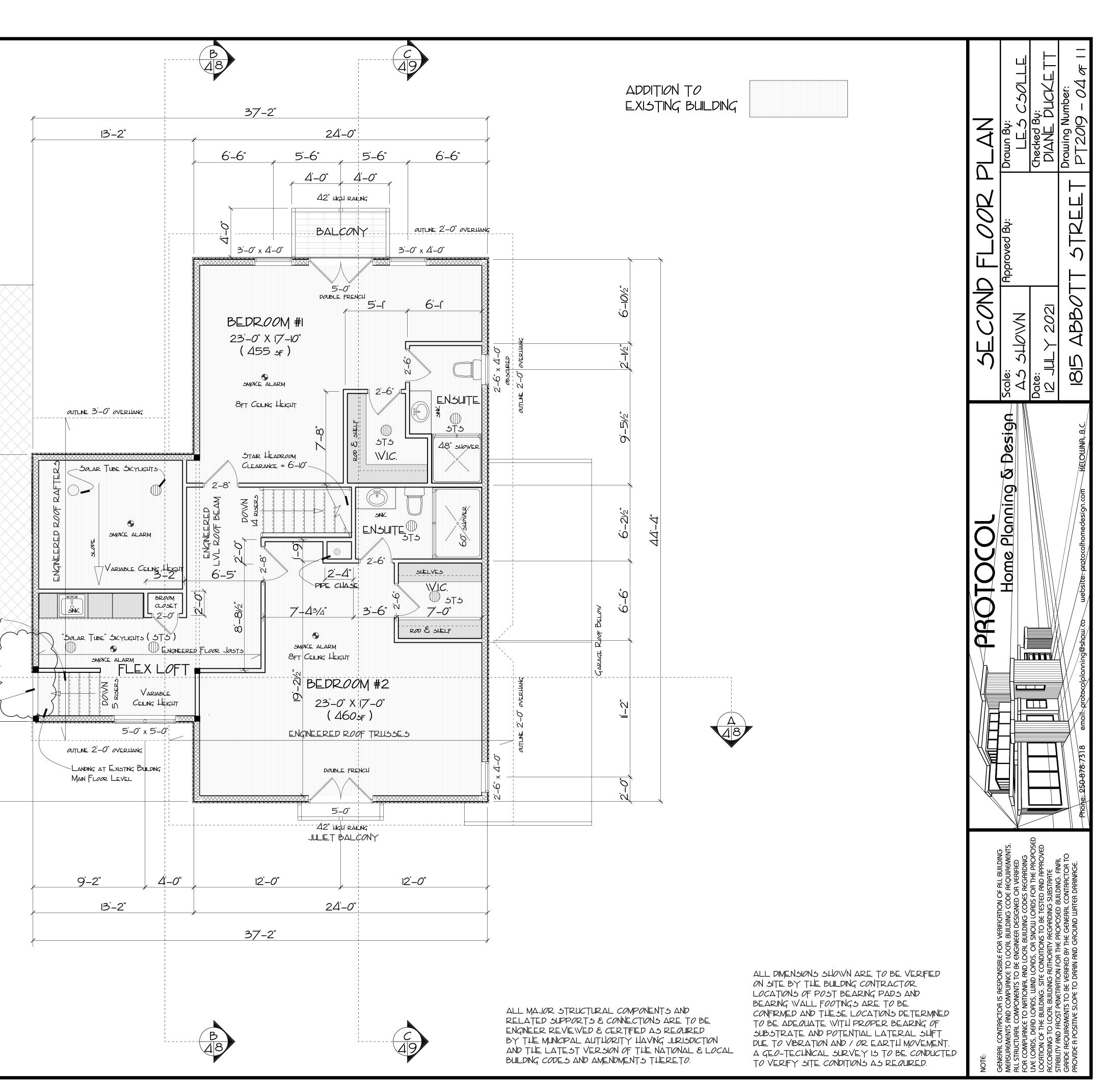
REMOVE EXISTING DOOR & WINDOW. PROVIDE NEW FRAMING & LINTEL FOR NEW 4-2" X 6'-10" CLEAR OPENING CONNECTION FROM PROPOSED ADDITION TO EXISTING DWELLING.

> 08 JULY 2021 CLARIFICATION MADE RE: CONNECTION FROM EXISTING DWELLING TO PROPOSED NEW ADDITION.

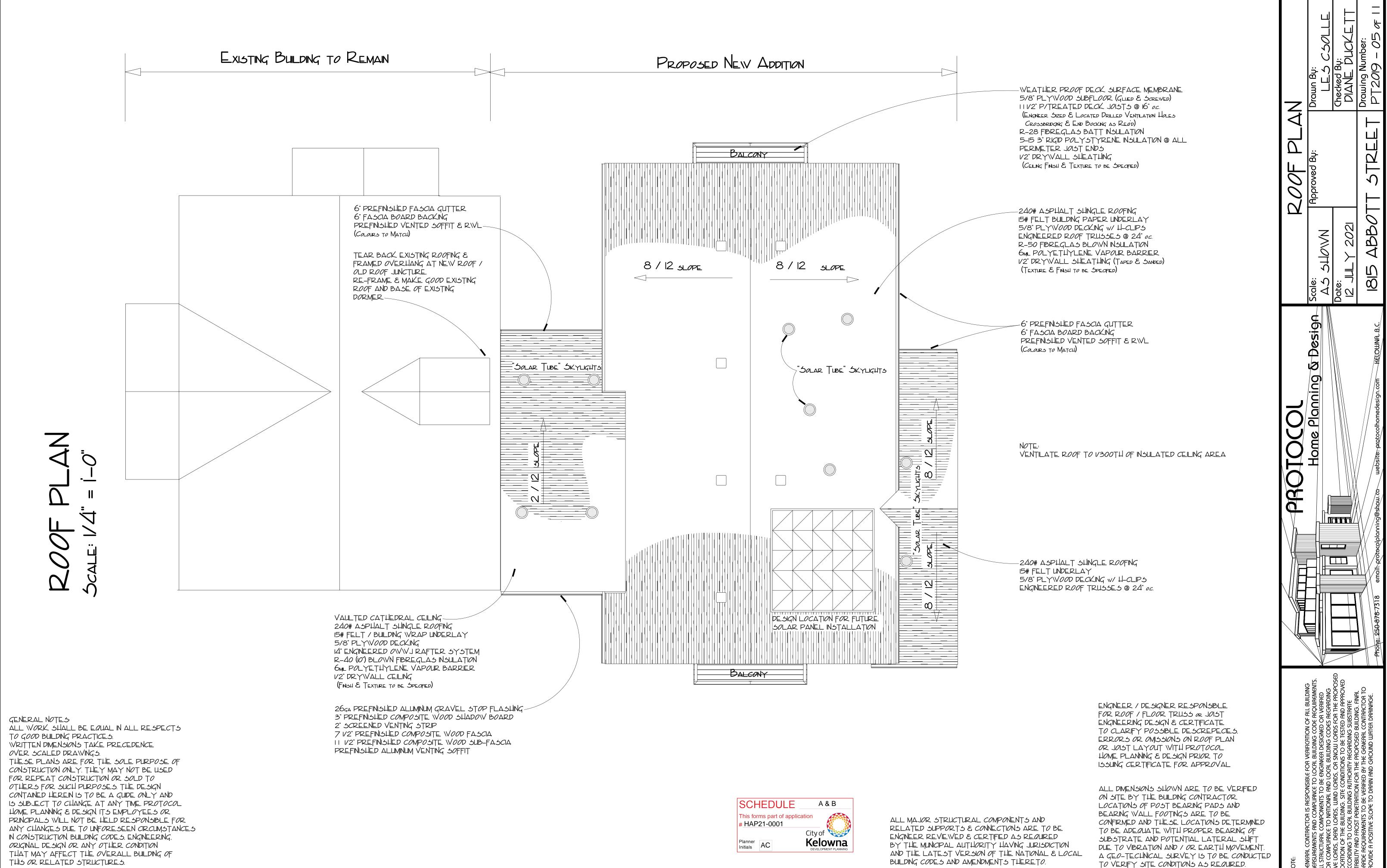
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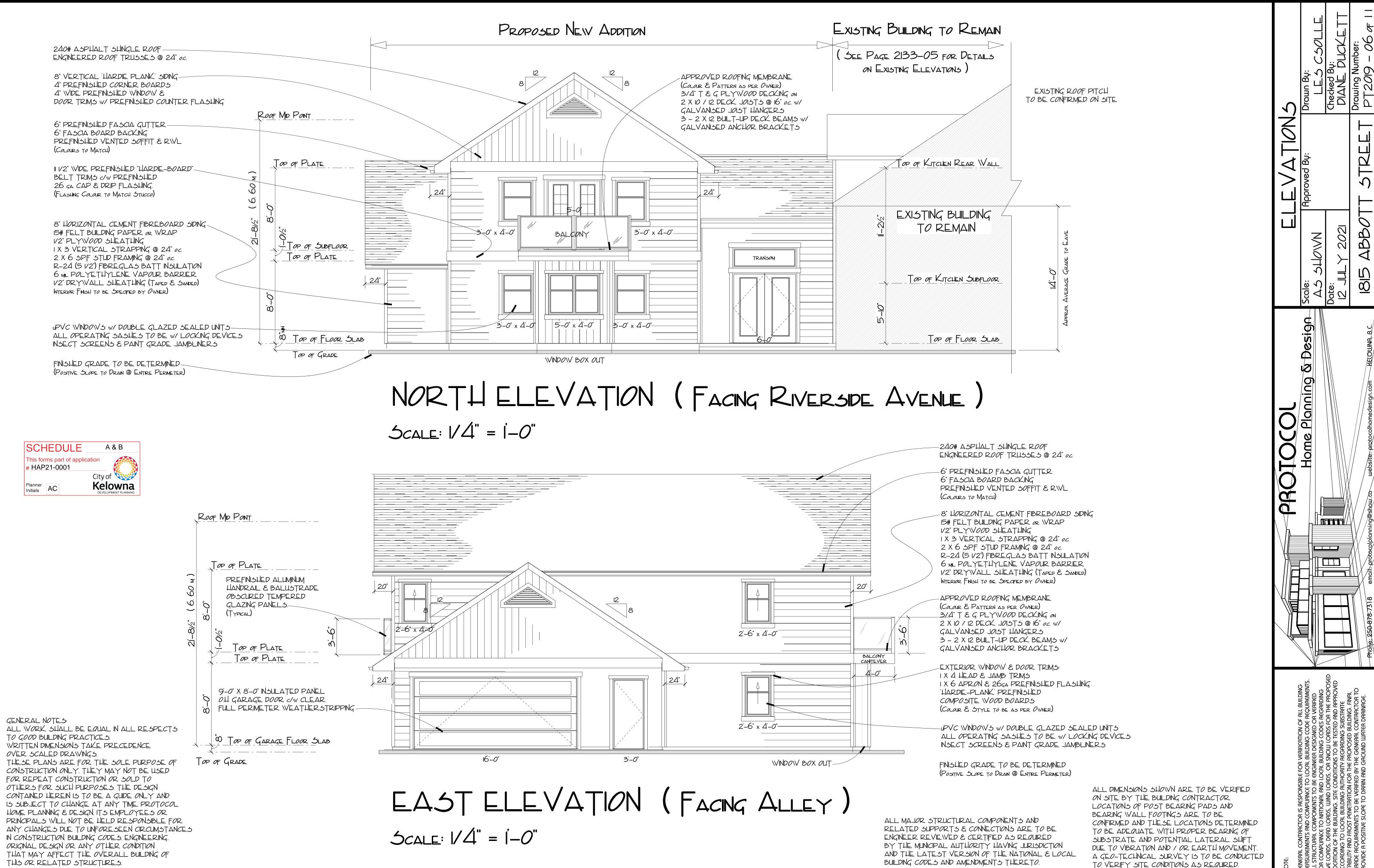
GENERAL NOTES

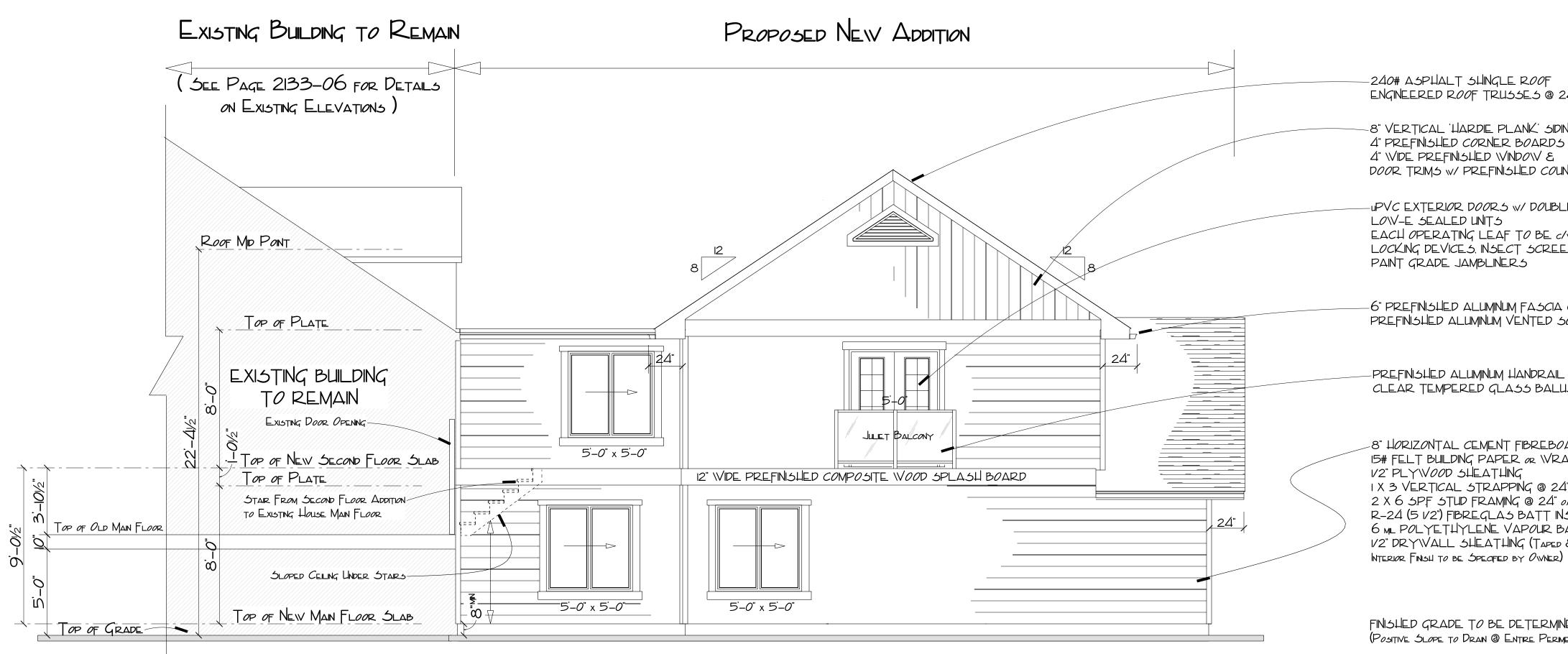
ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN 13 TO BE A GUIDE ONLY AND 15 SUBJECT TO CHANGE AT ANY TIME. PROTOCOL HOME PLANNING & DESIGN, ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION, BUILDING CODES, ENGINEERING, ORIGINAL DEJIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.



26







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50UTH ELEVATION $5_{CALE} | / 4" = 1 - 0"$



ALL MAJOR STRUCTURAL COMPONENTS AND RELATED SUPPORTS & CONNECTIONS ARE TO BE ENGINEER REVIEWED & CERTIFIED AS REQUIRED BY THE MUNICIPAL AUTHORITY HAVING JURISDICTION AND THE LATEST VERSION OF THE NATIONAL & LOCAL BUILDING CODES AND AMENDMENTS THERETO.

ENGINEERED ROOF TRUSSES @ 24" O.C.

-8" VERTICAL HARDIE PLANK' SIDING DOOR TRIMS W/ PREFINISHED COUNTER FLASHING

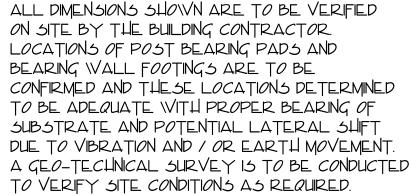
- UPVC EXTERIOR DOORS W/ DOUBLE GLAZED EACH OPERATING LEAF TO BE C/W LOCKING DEVICES, INSECT SCREENS &

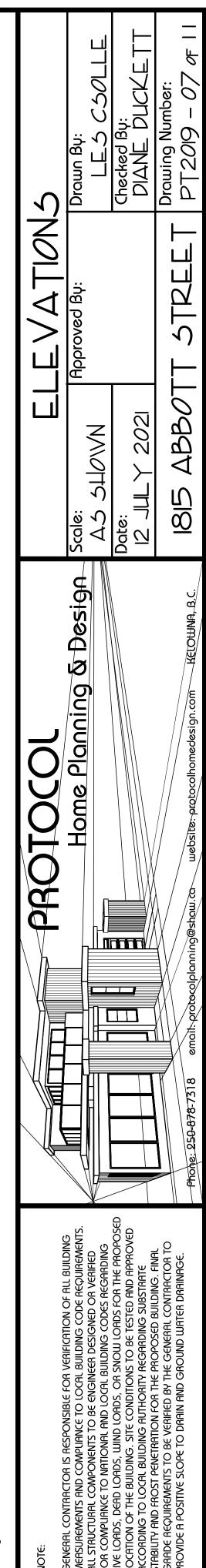
-6" PREFINISHED ALUMINUM FASCIA GUTTER PREFINISHED ALLIMINUM VENTED 50FFIT & R.VL

PREFINISHED ALLIMINUM HANDRAIL & CLEAR TEMPERED GLASS BALUSTRADE

-8" HORIZONTAL CEMENT FIBREBOARD SIDING 15# FELT BUILDING PAPER OR WRAP IX 3 VERTICAL STRAPPING @ 24" oc. 2 X 6 3PF 3TUD FRAMING @ 24" oc. R-24 (5 1/2") FIBREGLAS BATT INSULATION 6 ME POLYETHYLENE VAPOUR BARRIER 1/2" DRYWALL SHEATHING (TAPED & SANDED)

FINISHED GRADE TO BE DETERMINED (POSITIVE SLOPE TO DRAN @ ENTIRE PERMETER)





8" HORIZONTAL VINYL SIDING-IX 3 VERTICAL STRAPPING @ 24" o.c. 15# FELT BUILDING PAPER / WRAP 1/2" PLYWOOD SHEATHING 2 X 6 3.P.F. STUD FRAMING @ 24" o.c. R-24 (5 1/2") FIBREGLAS BATT INSULATION 6ML POLYETHYLENE VAPOUR BARRIER 1/2" DRYWALL SHEATHING (TAPED & SANDED) (INTERIOR FINISH TO BE SPECIFIED)

FLOOR OVER UNHEATED GARAGE-FINISHED FLOORING MATERIAL (AS PER SPECIFICATIONS) 5/8" PLYW00D JUB-FL00R (GLUED & JOREWED) 6ML POLYETHYLENE VAPOUR BARRIER ENGINEERED FLOOR JOIST SYSTEM W/ ENGNEER SIZED & LOCATED DRILLED VENTILATION HOLES (CROSSBRIDGING & END BLOCKING AS READ) R-24 BLOVVN IN FIBREGLAS INSULATION R-15 3" RIGID POLYSTYRENE INSULATION @ ALL PERIMETER JOIST ENDS 5/8" TYPE X DRYVALL SHEATHING (CEILING FINISH & TEXTURE TO BE SPECIFIED)

UNNSULATED FROST WALL-8" REINFORCED CONCRETE WALL

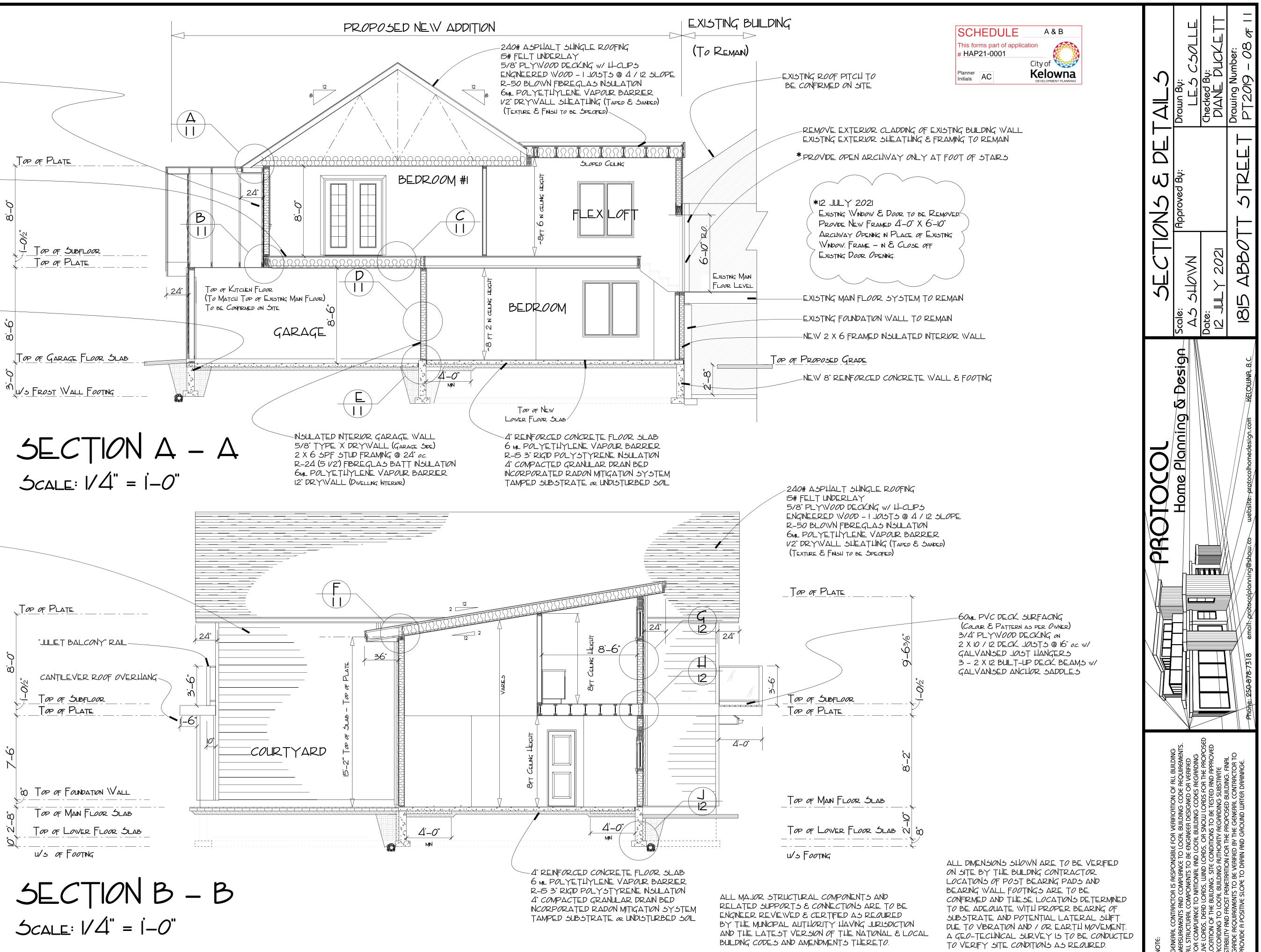
EMBEDDED 1/2" OD. X 6" LAG BOLTS @ 8 FT O.C. (MAX) CLOSED CELL FOAM SILL PLATE GASKET 16" X 8" REINFORCED CONCRETE KEYED FOOTING EXTERIOR DAMPROOFING COAT 4" OD. CORRUGATED PIPE WEEPING TILE (DOWNSLOPE TO DRAIN) PERMEABLE SEPARATION SHEET 6" CLEAR CRUSHED ROCK DRAN BED UNDISTURBED SOIL OR TAMPED SUBSTRATE

 Δ TOP OF PLATE B TOP OF SUBFLOOR TOP OF PLATE 24 TOP OF GARAGE FLOOR SLAB 4.4 UNS FROST WALL FOOTING

8" HORIZONTAL VINYL SIDING-IX 3 VERTICAL STRAPPING @ 24" o.c. 15# FELT BUILDING PAPER / WRAP 1/2" PLYWOOD SHEATHING 2 X 6 S.P.F. STUD FRAMING @ 24" oc. R-24 (5 1/2") FIBREGLAS BATT INSULATION 6ML POLYETHYLENE VAPOUR BARRIER 1/2" DRYVALL SHEATHING (TAPED & SANDED) (INTERIOR FINISH TO BE SPECIFIED)

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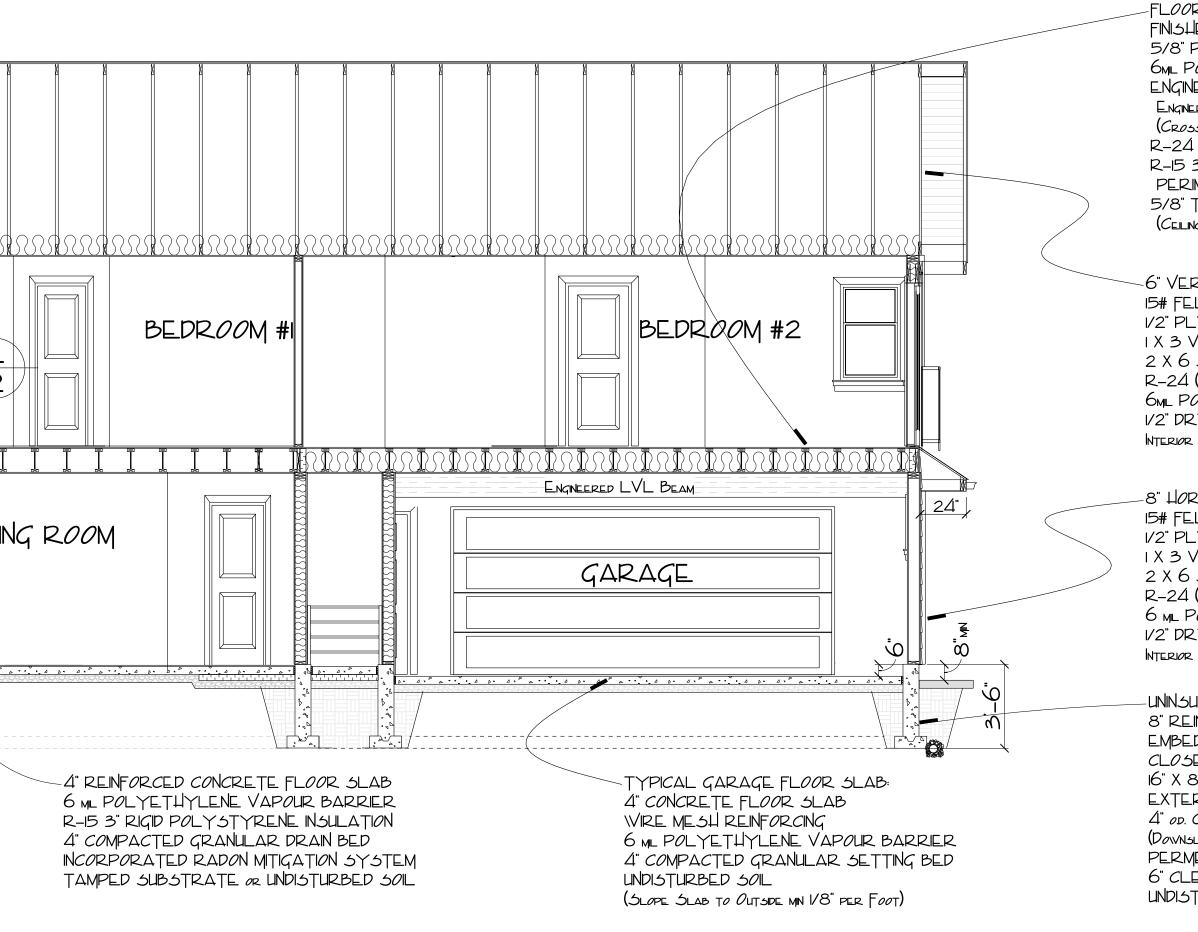
THIS OR RELATED STRUCTURES.



240# ASPHALT SHINGLE ROOFING-15# FELT BUILDING PAPER UNDERLAY 5/8" PLYWOOD DECKING W/ H-CLIPS ENGINEERED ROOF TRUSSES @ 24" o.c. R-50 FIBREGLAS BLOVN INSULATION 6ML POLYETHYLENE VAPOUR BARRIER 1/2" DRYWALL SHEATHING (TAPED & SANDED) (Texture & FINISH TO BE SPECIFIED) PREFINISHED ALLMINUM HANDRAIL & BALUSTRADE (COLOUR, TYPE & STYLE TO BE DETERMINED.) OBSCURED TEMPERED GLAZING PANELS JOP OF PLATE GRANULAR SURFACED ROLL ROOFING MEMBRANE 5/8" PLYWOOD DECKING W/ H-CLIPS 117/8" ENGINEERED WOOD-1 JOISTS @ 16" o.c. ENGINEER SIZED & LOCATED DRILLED VENTILATION HOLES 0 R.51 4.4 (R-25.0) RIGID POLYSTYRENE INSULATION S 6ML POLYETHYLENE VAPOUR BARRIER 12 = 1/2" DRYVALL SHEATHING (TAPED & SANDED) (TEXTURE & FINSH TO BE SPECIFIED) TOP OF SUBFLOOR OP OF PLATE MAN FLOOR SYSTEMj–6" FINISHED FLOOR MATERIAL (AS PER SPECIFICATIONS) LIVING / DINNG ROOM 5/8" PLYW00D 5UB-FL00R W/ ACOUSTIC SEALANT FIXED TO JOISTS SYSTEM CROSSBRIDGING & END BLOCKING AS READ R-15 3" RIGID POLYSTYRENE INSULATION @ ALL m PERIMETER JOIST ENDS 1/2" DRYWALL CEILING (TAPED, SANDED & FINISHED TO SPECIFICATIONS) 0 TOP OF MAIN FLOOR SLAB W/S OF FOOTING **0**: _____

SECTION C - CScale: $1/4^{"} = 1-0^{"}$

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FLOOR OVER UNHEATED GARAGE. FINISHED FLOORING MATERIAL (AS PER SPECIFICATIONS) 5/8" PLYWOOD SUB-FLOOR (GLIED & SCREWED) 6ML POLYETHYLENE VAPOUR BARRIER ENGINEERED FLOOR JOIST SYSTEM W/ ENGINEER SIZED & LOCATED DRILLED VENTILATION HOLES (CROSSBRIDGING & END BLOCKING AS RED) R-24 BLOWN IN FIBREGLAS INSULATION R-15 3" RIGID POLYSTYRENE INSULATION @ ALL PERIMETER JOIST ENDS 5/8" TYPE X DRYWALL SHEATHING (CEILING FINSH & TEXTURE TO BE SPECIFIED)

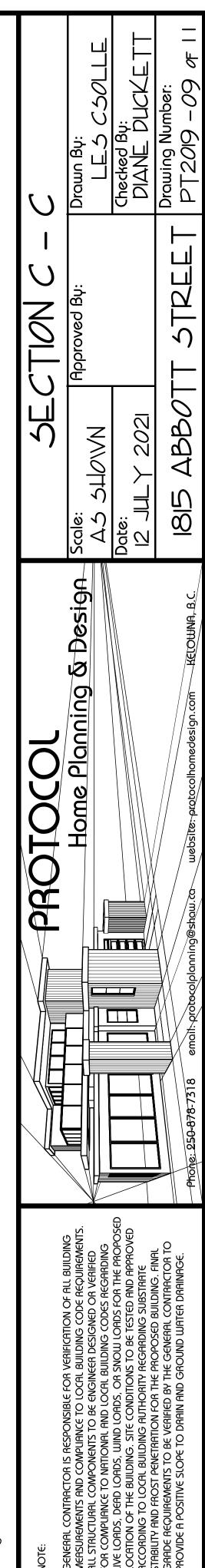
-6" VERTICAL CEMENT FIBREBOARD SIDING 15# FELT BUILDING PAPER OR WRAP 1/2" PLYWOOD SHEATHING 1 X 3 VERTICAL STRAPPING @ 24" O.C. 2 X 6 SP.F STUD FRAMING @ 24" O.C. R-24 (5 1/2") FIBREGLAS BATT INSULATION 6ML POLYETHYLENE VAPOUR BARRIER 1/2" DRYWALL SHEATHING (TAPED & SANDED) INTERIOR FINISH TO BE SPECIFIED BY OWNER)

-8" HORIZONTAL CEMENT FIBREBOARD SIDING 15# FELT BUILDING PAPER OR WRAP 1/2" PLYWOOD SHEATHING 1 X 3 VERTICAL STRAPPING @ 24" O.C. 2 X 6 S.P.F STUD FRAMING @ 24" O.C. R-24 (5 1/2") FIBREGLAS BATT INSULATION 6 ML POLYETHYLENE VAPOUR BARRIER 1/2" DRYWALL SHEATHING (TAPED & SANDED) INTERIOR FINISH TO BE SPECIFIED BY OWNER)

UNINSULATED FROST WALL 8" REINFORCED CONCRETE WALL EMBEDDED 1/2" OD. X 6" LAG BOLTS @ 8 FT O.C. (MAX) CLOSED CELL FOAM SILL PLATE GASKET 16" X 8" REINFORCED CONCRETE KEYED FOOTING EXTERIOR DAMPROOFING COAT 4" OD. CORRUGATED PIPE WEEPING TILE (DOWNSLOPE TO DRAN)

PERMEABLE SEPARATION SHEET 6" CLEAR CRUSHED ROCK DRAIN BED UNDISTURBED SOIL OR TAMPED SUBSTRATE

> ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE BY THE BUILDING CONTRACTOR. LOCATIONS OF POST BEARING PADS AND BEARING WALL FOOTINGS ARE TO BE CONFIRMED AND THESE LOCATIONS DETERMINED TO BE ADEQUATE WITH PROPER BEARING OF SUBSTRATE AND POTENTIAL LATERAL SHIFT DLE TO VIBRATION AND / OR EARTH MOVEMENT. A GEO-TECHNICAL SURVEY IS TO BE CONDUCTED TO VERIFY SITE CONDITIONS AS REQUIRED.



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ROOF ASSEMBLY EFFECTIVE THERMAL RESISTANCE

READ EFFECTIVE THERMAL RESISTANCE – R.SI 9.67 (R–49.23) (Without an HRV)

	R51	R-Value
0UTSIDE AIR FILM	0.03	0.17
ASPHALT SHINGLES	0.08	0.44
15# BUILDING PAPER UNDERLAY	0.01	0.06
16MM (5/8") PLYV00D DECKING	0.02	0.14
420mm (1512) FIBREGLAS BATT INSULATION ENGINEERED ROOF TRUSSES @ 24" O.C. 140mm (51/2" BOTTOM CHORD HEIGHT)	*8.71	*49.48
6ml POLYETHYLENE VAPOUR BARRIER	*0.0	*0 <u>.0</u>
125 (1/2") DRYWALL SHEATHING	*0.08	*0.45
INTERIOR AIR FILM	*0.12	*0.68
Total Effective RGI / R–Valle Entire Roof Assembly	9.05	51.42
Total Effective RGI / R–Valle Ceiling Below Attic	(*8.91)	(*50.63)

SECTION DETAIL	Δ
$5_{CALE} = 1 - 0$	9

FLOORS OVER UNHEATED SPA RED EFFECTIVE THERMAL RESISTAN RSI 4.67 (R-VALUE 26.52) W	CE	
	R.31	R-VALLE
INSIDE AIR FILM 16mm (5/8") PLY\V <i>00</i> D SUBFL <i>00</i> R	0.12 0.02	0.68
204mm (8") RJI 4.93 (R-28) FIBREGLAS BATT I 30mm (117/8") WOOD-I FLOOR JOISTS @ 16" o.c.	NSUL. 4.53	25.74

0.0 0.0 0.08 0.45 0.03 0.17

TOTAL EFFECTIVE R.51 / R-VALUE ENTIRE FLOOR ASSEMBLY 4.78 27.15

6ML POLYETHYLENE VAPOUR BARRIER 15.8MM (5/8") TYPE X DRYVALL CEILING EXTERIOR AIR FILM

SECTION DETAIL	B
\mathcal{S}_{CALE} : $ = 1 - 0 = 0$	9

FLOORS OVER UNHEATED SPACES ASSEMBLY READ EFFECTIVE THERMAL RESISTANCE -

R.31 4.67 (R-value 26.52) (V_{IT} an HRV)		
	R.51	R-Value
NSIDE AIR FILM 16mm (5/8") PLYWOOD SUBFLOOR 204mm (8") R28 FIBREGLAS BATT INSULATION 30mm (11 7/8") WOOD-1 ROOF JOISTS @ 16" OC. 6ml POLYETHYLENE VAPOUR BARRIER 15.8mm (5/8") TYPE 'X DRYWALL SHEATHING INTERIOR AIR FILM	012 0.02 4.53 0.0 0.08 012	0.68 011 25.74 0.0 0.45 0.68

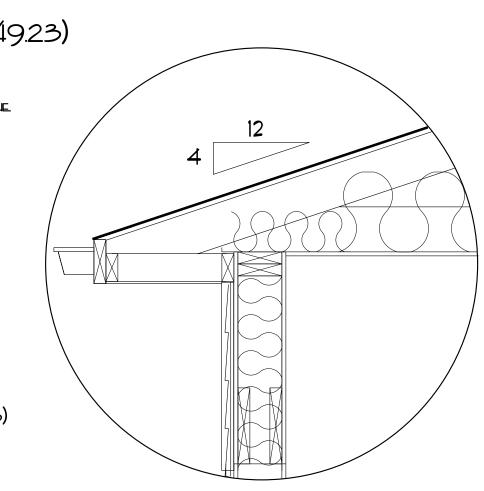
TOTAL EFFECTIVE R.SI / R-VALLE ENTIRE FLOOR ASSEMBLY 487 27.66

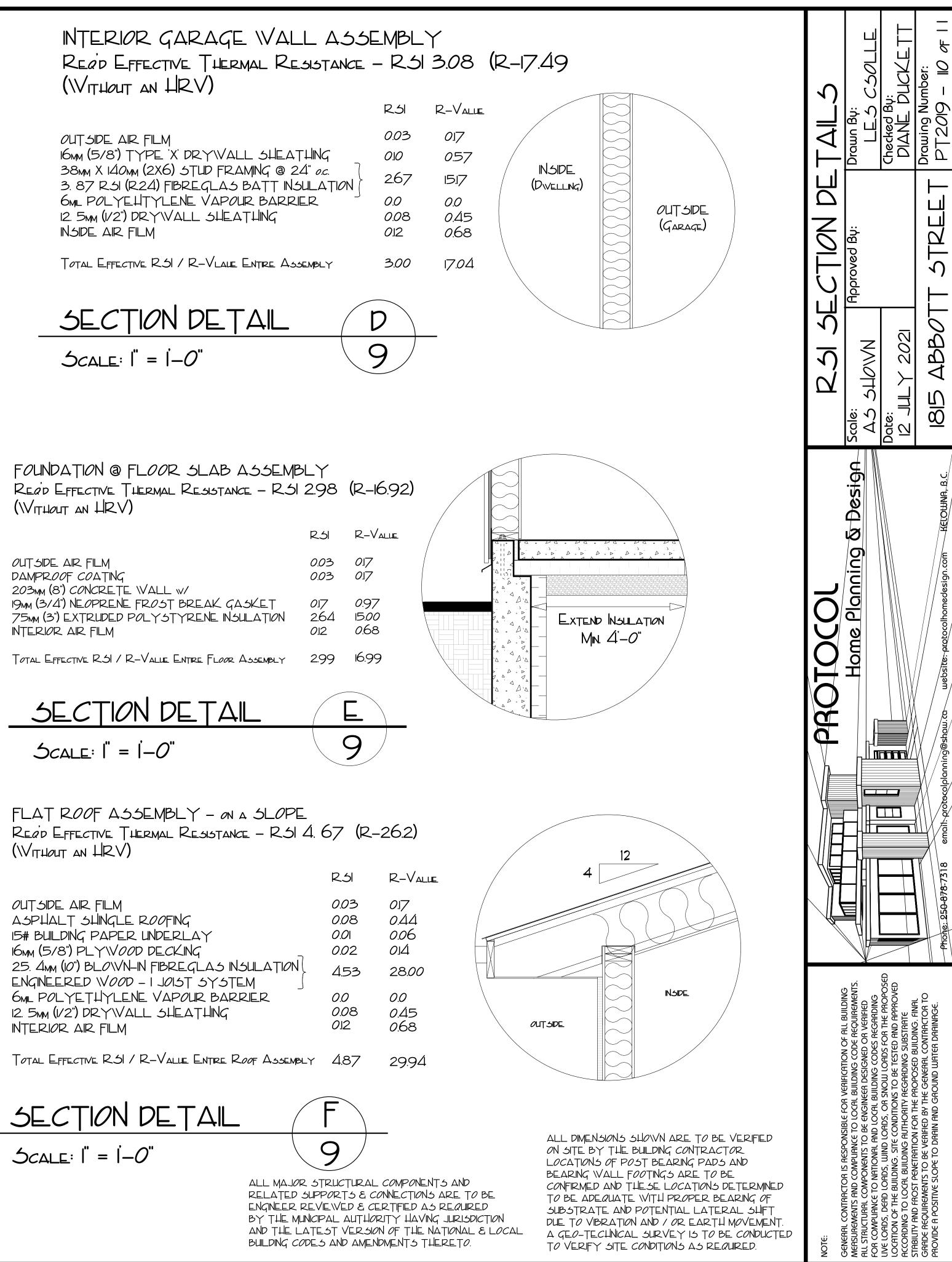
SECTION DETAIL 9 $5_{CALE} = 1 - 0$

GENERAL NOTES

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FOUNDATION @ FLOOR SLAB ASSEMB Read Effective Thermal Resistance – RSI (Without an HRV)	•	(R-16
	R.51	R-Va
OUTSIDE AIR FILM DAMPR <i>OO</i> F COATING 203mm (8") CONCRETE WALL W/	0.03 0.03	0.17 0.17
19mm (3/4") NEOPRENE FROST BREAK GASKET 75mm (3") EXTRUDED POLYSTYRENE INSULATION INTERIOR AIR FILM	0.17 2.64 0.12	0.97 15.00 0.68
TOTAL EFFECTIVE RGI / R-VALUE ENTIRE FLOOR ASSEMBLY	2.99	16.99

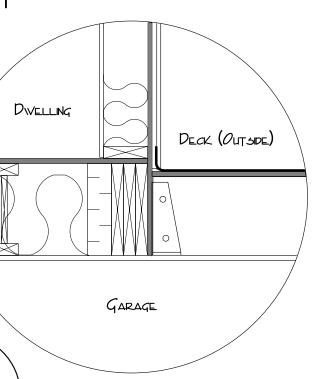
<u>SECTION DETAIL</u> $5_{CALE} = 1 - 0$

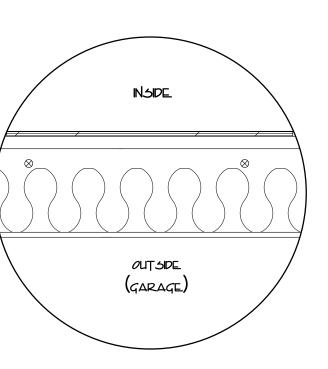
(WITHOUT AN LIRV)

OUTSIDE AIR FILM	0.03
ASPHALT SHINGLE R <i>OO</i> FING	0.08
15# BUILDING PAPER UNDERLAY	0.01
IGMM (5/8") PLY VOOD DECKING	0.02
25. 4mm (10") BLOVVN-IN FIBREGLAS INSULATION (ENGINEERED VOOD - I JOIST SYSTEM	4.53
6ML POLYETHYLENE VAPOUR BARRIER	0.0
12.5MM (1/2") DRYVALL SHEATHING	0.08 0.12
INTERIOR AIR FILM	0.12

TOTAL EFFECTIVE R.SI / R-VALUE ENTIRE ROOF ASSEMBLY 4.87

SECTION DETAIL $5_{CALE} = 1 - 0$

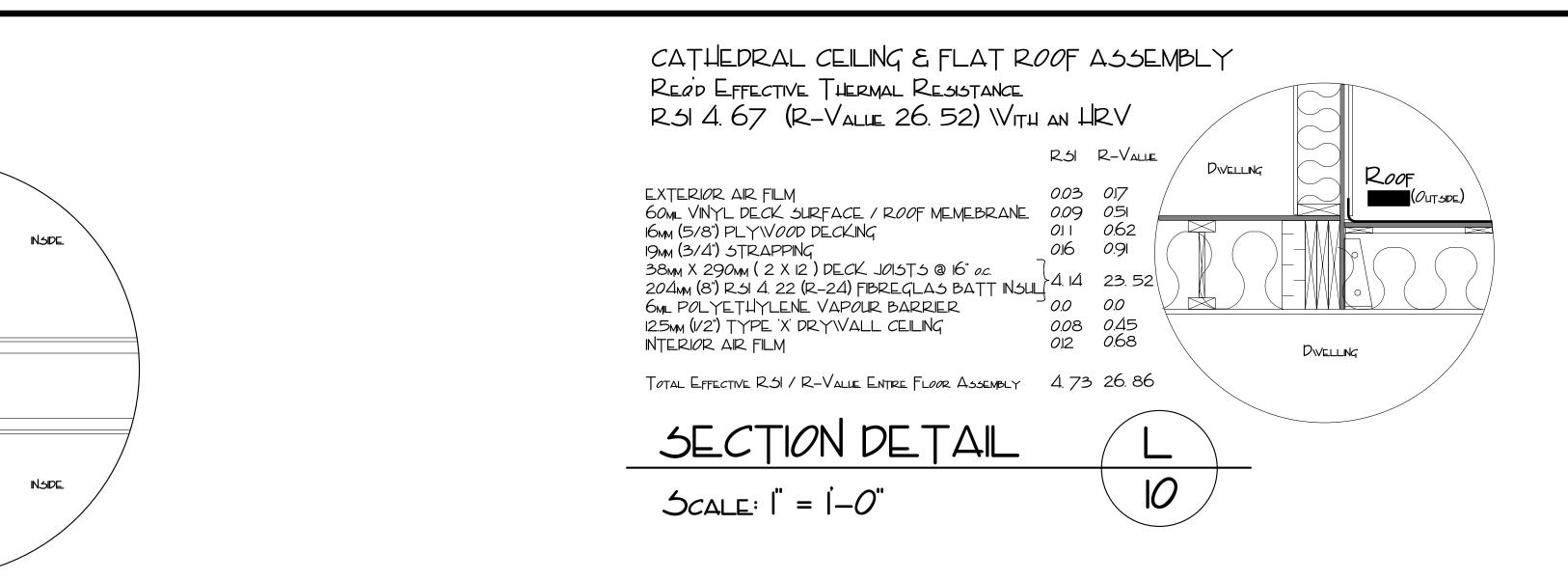


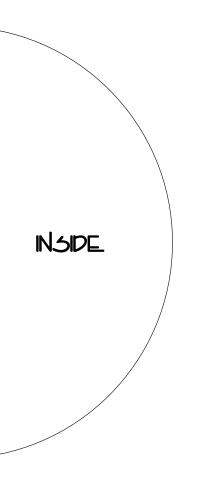


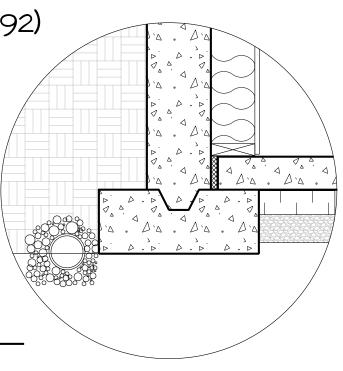
EXTERIOR FRAME WALL ASSEMBLY - (SIDING FINISH) EFFECTIVE THERMAL RESISTANCE READ EFFECTIVE THERMAL RESISTANCE - R.S. 3.08 (R 17.49) $(V_{1THOUT} AN \perp RV)$ R51 R-VALUE 0.03 EXTERIOR AIR FILM 0.17 0.03 79MM (5 / 16") FIBRE CEMENT BOARD 0.17 19MM (3/4") AIR SPACE (STRAPPING THICKNESS) 0.16 0.91 (Winter / Summer Average) 15# PERMEABLE FELT BUILDING PAPER 0.06 0.01 0.63 12.5MM (1/2) PLYW00D 3HEATHING 0.11 0UT51DE 38MM X 140MM (2 X 6) 3.P.F. FRAMING @ 24" O.C. 2.80 15.91 W/ 140mm (5 1/2") FIBREGLAS BATT INSULATION 6ML POLYETHYLENE VAPOUR BARRIER 0.0 0.0 12.5MM (1/2") DRYWALL SHEATHING 0.45 0.08 0.68 INTERIOR AIR FILM 0.12 TOTAL EFFECTIVE R.SI / R_VALUE ENTIRE ASSEMBLY 3.34 18.98 SECTION DETAIL 4 9 $5_{CALE} = 1 - 0$ EXTERIOR FRAME WALL ASSEMBLY - (SIDING FINISH) EFFECTIVE THERMAL RESISTANCE REDD EFFECTIVE THERMAL RESISTANCE - R.SI 3.08 (R-17.49) $(V_{ITHOUT} AN \parallel RV)$ R–Value R.51 0.17 EXTERIOR AIR FILM 0.03 0.03 79MM (5/16") FIBRE CEMENT BOARD 0.17 19MM (3/4") AIR SPACE (STRAPPING THICKNESS) 0.16 0.91 (WINTER / SUMMER AVERAGE) 15# PERMEABLE FELT BUILDING PAPER 0.06 0.0 OUT SIDE 12.5mm (1/2") PLYW00D SHEATHING 011 0.63 38MM X 140MM (2 X 6) 3.P.F. FRAMING @ 24" O.C. 15.91 2.80 W/ 140MM (5 1/2") FIBREGLAS BATT INSULATION 6ML POLYETHYLENE VAPOUR BARRIER 0.0 0.0 0.45 12.5MM (1/2") DRYVALL SHEATHING 0.08 0.68 INTERIOR AIR FILM 0.12 TOTAL EFFECTIVE R.SI / R-VALUE ENTIRE ASSEMBLY 3.34 18.98 SECTION DETAIL Ц 9 \mathcal{S}_{CALE} : $\vec{I} = \vec{I} - O$ FOUNDATION @ FLOOR SLAB ASSEMBLY REDD EFFECTIVE THERMAL RESISTANCE - R.SI 2.98 (R-16.92) (WITH aunt HRV) R51 R-VALUE OUTSIDE AIR FILM 0.17 0.03 GENERAL NOTES: DAMPROOFING COAT 0.7 0.97 0.03 ALL WORK SHALL BE EQUAL IN ALL RESPECTS 203mm (8") CONCRETE WALL W/ FROST BREAK 0.17 TO GOOD BUILDING PRACTICES. 75MM (3") EXTRUDED POLYSTYRENE INSULATION 2.64 15.00 WRITTEN DIMENSIONS TAKE PRECEDENCE NTERIOR AIR FILM 0.68 0.12 OVER SCALED DRAWINGS. THESE PLANS ARE FOR THE SOLE PURPOSE OF TOTAL EFFECTIVE R.ST / R-VALLE ENTRE WALL ASSEMBLY 2.99 16.99 CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN 13 TO BE A GUIDE ONLY AND SECTION DETAIL 15 SUBJECT TO CHANGE AT ANY TIME. PROTOCOL J

 $5_{CALE} = 1 - 0$

HOME PLANNING & DESIGN. ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION. BUILDING CODES. ENGINEERING. ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.



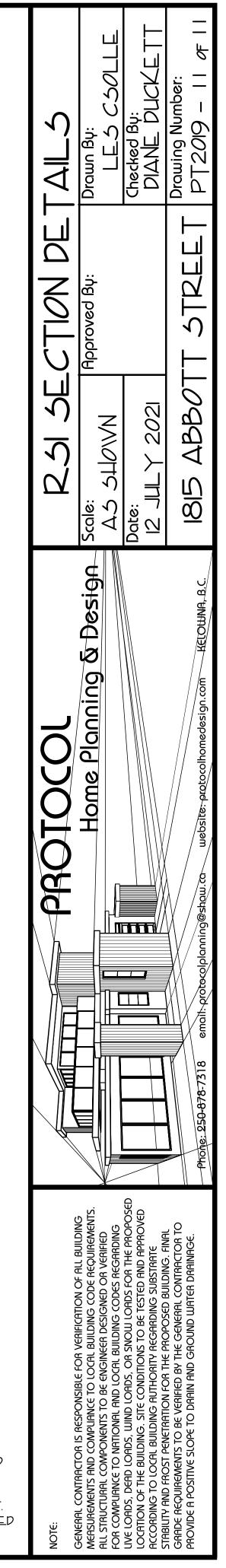




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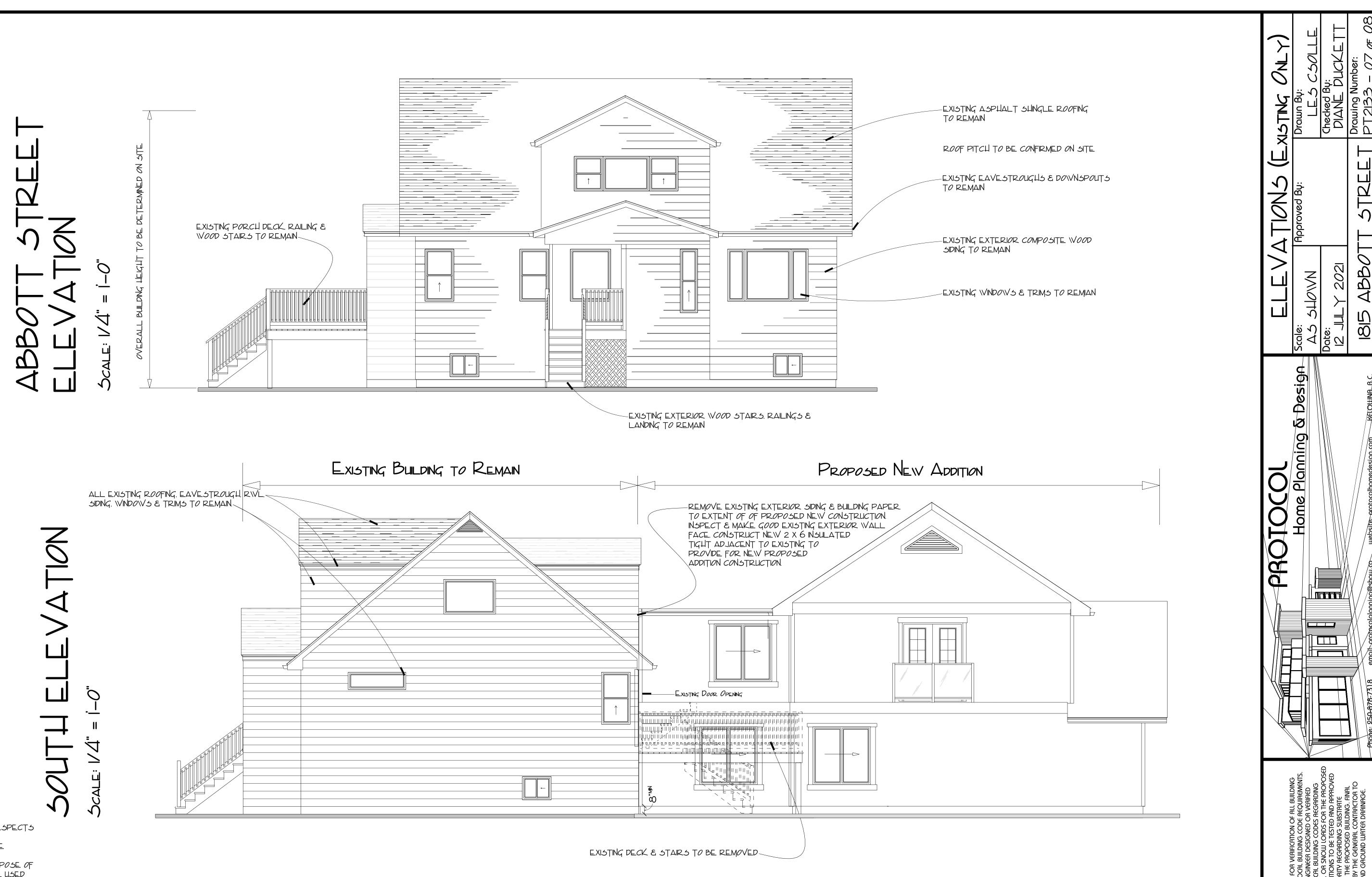
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Initials	DEVELOPMENT PLANNING

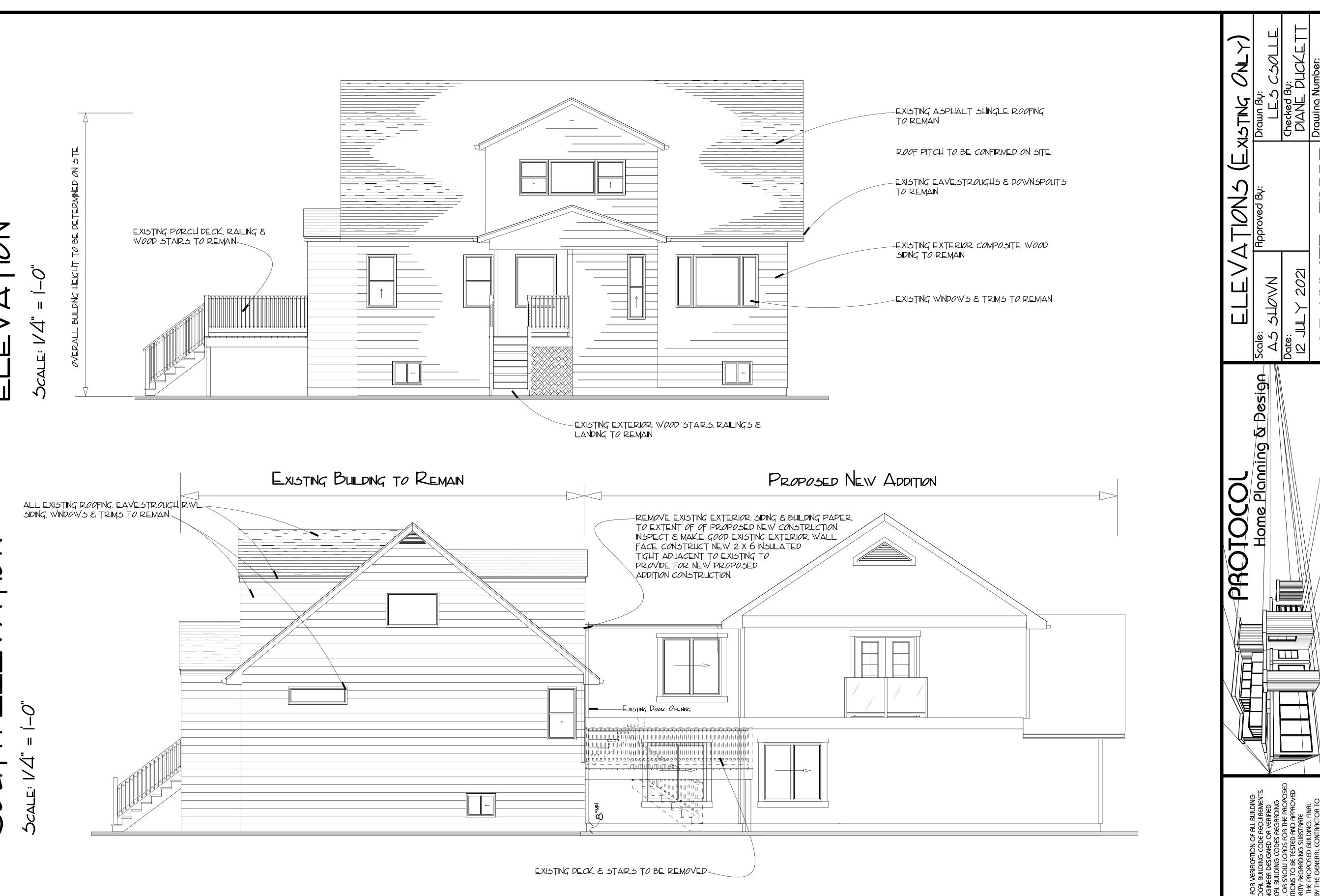
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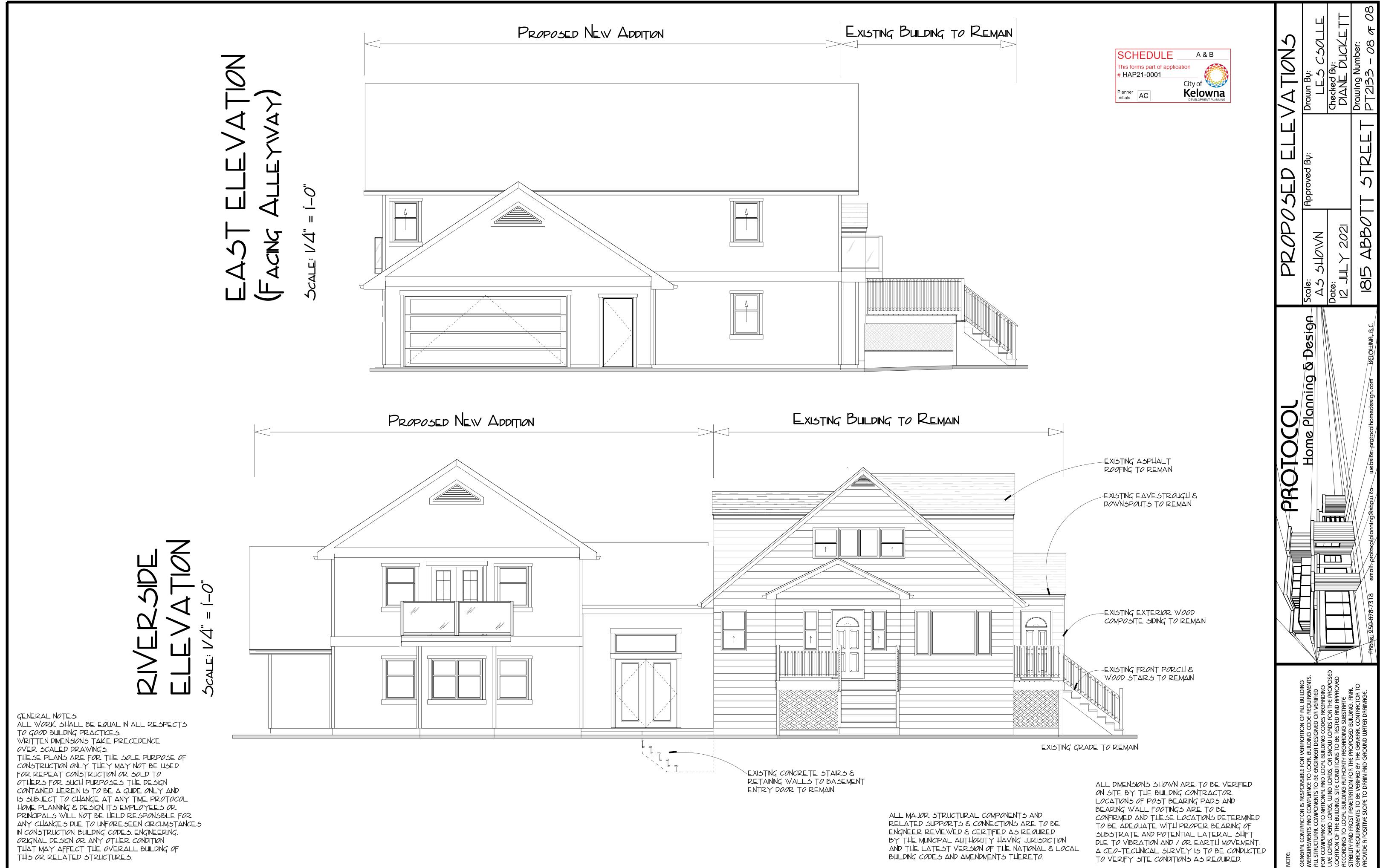


GENERAL NOTES: ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. THESE PLANS ARE FOR THE SOLE PURPOSE OF CONSTRUCTION ONLY. THEY MAY NOT BE USED FOR REPEAT CONSTRUCTION OR SOLD TO OTHERS FOR SUCH PURPOSES. THE DESIGN CONTAINED HEREIN 13 TO BE A GUIDE ONLY AND 13 SUBJECT TO CHANGE AT ANY TIME PROTOCOL HOME PLANNING & DESIGN, ITS EMPLOYEES OR PRINCIPALS WILL NOT BE HELD RESPONSIBLE FOR ANY CHANGES DUE TO UNFORESEEN CIRCUMSTANCES IN CONSTRUCTION, BUILDING CODES, ENGINEERING. ORIGINAL DESIGN OR ANY OTHER CONDITION THAT MAY AFFECT THE OVERALL BUILDING OF THIS OR RELATED STRUCTURES.

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Heritage Report 1815 Abbott Street, Kelowna, BC Updated May 2021

Introduction

The property, located at 1815 Abbott Street in Kelowna, British Columbia, is within the Abbott Street Heritage Conservation Area. The house is not identified by the City of Kelowna as having heritage value and is not listed on the Heritage Register. The proposal is to build an addition to the rear of the existing house in order to add a garage, bedrooms and an easily accessible main floor suite where the owner can relocate and care for her elderly mother. The application process for properties within the Heritage Conservation Area includes the submission of a heritage report that must contain the following information:

- a) An understanding of the past historic value of the subject property
- b) An evaluation of the heritage values and significance of the subject property
- c) Identification of character-defining elements of the neighbouring properties
- d) Development of recommendations and strategies that can inform the design of the new building.

This report is presented in four sections, followed by the Appendices:

- 1) Context
- 2) Heritage Evaluation
- 3) Patterns/Materials Study of Neighbouring Houses
- 4) Design Assessment

Historic research into the subject property and the neighbouring properties has been limited due to the COVID-19 pandemic. On-line research has been carried out with limited success.

Photographs of the subject and neighbouring properties has been provided by Shoot the Breeze (Marrisa Baecker). Google Street View and Maps has also been used. All architectural drawings and renderings are courtesy of Protocol Home Planning & Design.

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1 - Context

The subject property, outlined in red below, is located at 1815 Abbott Street. The property is a corner lot at Abbott Street and Riverside Avenue, on the southeast corner of the intersection. To the rear of and across the street from the subject properties are single-family homes on relatively similar sized and shaped properties. Across from the subject property, to the north at 1781 Abbott Street, is a Heritage Revitalization Agreement re-development project (that will see the existing house retained, relocated to the front of the property, given a change-of-use from single-family residential to commercial, and a new duplex constructed at the rear of the lot).



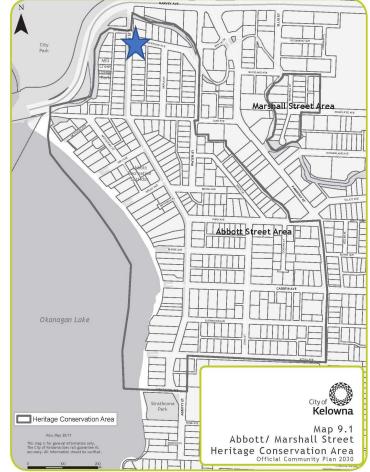
The subject property is zoned RU1C – Large Lot Housing with Carriage House, the purpose of which is "to provide a zone for single detached housing, and compatible secondary uses, on larger services urban lots"¹.



¹Section 13 of the City of Kelowna Consolidated Zoning Bylaw No. 8000. www.kelowna.ca/city-hall/city-government/bylaws-policies/zoning-bylaw



In the Official Community Plan, the property is designated as "Single / Two Unit Residential (S2RES)" with the following definition: "Single detached homes for occupancy by one family, single detached homes with a secondary suite or carriage house, semi-detached buildings used for two dwelling units, modular homes, bare land strata, and those complementary uses (i.e. minor care centres, minor public services/utilities, convenience facility and *neighbourhood parks), which are integral* components of urban neighbourhoods. Suitability of non-residential developments within the neighbourhood environment will be determined on a site-specific basis. Non-residential developments causing increases in traffic, parking demands or noise in excess of what would typically be experienced in a low-density neighbourhood would not be considered suitable."²



The subject property (identified with a blue star on the map at right) is within

Map from the City of Kelowna OCP, Chapter 9 is

the Abbott Street Heritage Conservation Area and therefore located within an area of heritage protection. Any work proposed for the site must follow the heritage guidelines that form Chapter 16 in the City of Kelowna Official Community Plan³.

According to the Development Guidelines for the Conservation Area, the neighbourhood was established in about 1904 when it was formally subdivided, and by the 1920/30s it was considered to be a prestigious area to live. This is evident today from the age and architectural designs of the majority of the 325 noted houses, the mature gardens and trees, and the overall pattern of the neighbourhood. The boundaries of the Conservation Area are Mill Creek (north), Royal Avenue (South), Pandosy Street (east) and Okanagan Lake (west).



² www.kelowna.ca/city-hall/city-government/bylaws-policies/kelowna-2030-official-community-plan



³ Chapter 16 of the City of Kelowna 2030 Official Community Plan. www.kelowna.ca/our-community/planningprojects/long-range-planning/official-community-plan

2 - Heritage Evaluation

The heritage value of a place is determined by assessing it for aesthetic, cultural, historic, scientific, social and/or spiritual importance or significance for past, present and future generations. *Please see Appendix A for definitions.* This method of assessing heritage value is taken from "The Standards and Guidelines for the Conservation of Historic Places in Canada"⁴ (Standards & Guidelines), a pan-Canadian document created to guide heritage conservation work in Canada. If present, the heritage values of a place would be embodied by character-defining elements typically identified as materials, forms, location, spatial configurations, uses and cultural associations or meanings. The level of value can range from high (using such terms as 'significant' or 'very') to low (using such terms as 'some' or 'minor'), and for some value categories, there may be no heritage value at all.

The heritage evaluation has been written using the format of a Statement of Significance, which is a methodology developed for this purpose in Canada. The resulting document summarizes the heritage values and character-defining elements, using a particular format for the presentation of this material:

- a brief description of the historic place
- an identification of the key heritage values assigned to the historic place
- a list of its principal character-defining elements

The architectural design category of the houses being analysed has been taken from the Style Inventory that forms part of the "Abbott Street & Marshall Street Heritage Conservation Areas Development Guidelines"⁵, which were developed in August 1997 and on which the current Official Community Plan's Chapter 16 is based. It divides the houses in the Conservation Area into one of four civic phases. The years in the Style Inventory for the different phases are approximate, and the author has taken the liberty of naming the phases.

• 1904 – 1918 Revival Period

Style: Victorian, Dutch, Mediterranean, Tudor, and Colonial Revival; Early Arts & Crafts

- 1918 1932 Traditional Period Style: Late Arts & Crafts and Early Vernacular Cottage
- 1933 1945 Transition Period Style: Late Vernacular Cottage and Moderne
- 1946 1960 Post-World War Two Period Style: Early Suburban



⁴ "The Standards and Guidelines for the Conservation of Historic Places in Canada", Second Edition, 2010. www.historicplaces.ca/en/pages/standards-normes.aspx

⁵ "The Abbott Street & Marshall Street Heritage Conservation Areas Development Guidelines" August 1997.

Generalized Statement of Significance for 1815 Abbott Street

The following is a generalized Statement of Significance for the subject house.

Description

Constructed circa 1945⁶, the house at 1815 Abbott Street is a 2 1/2 storey, wood frame house designed in the Late Arts & Crafts style⁷ of architecture. It is clad in wide horizontal aluminum siding, has a prominent brick chimney, and a medium-pitched side gable roof and a large dormer centred on the front elevation. The partially enclosed front porch has a front facing gable roof and is accessed by a set of wooden steps.



Heritage Value

Aesthetic: The house has aesthetic value for its architectural style, roof form and horizontal cladding style.

Cultural and Historic: The house has cultural and historic value for its age (likely constructed in 1945), for retaining much of its original design, and for its association with the Heritage Conservation Area and the importance that this Area has for residents of Kelowna.

Scientific Value: There is some scientific value associated with the house as it provides information that helps people understand and appreciate the era in which the house was built.

Social Value: There is some social value for its connection to the community today and the way it contributes to the community's sense of identity by providing architectural variety and interest and by being a well-maintained historic house on an historic streetscape.

Spiritual Value: There is no apparent spiritual value as this streetscape has not been identified as a sacred or spiritual place.⁸

Character-defining Elements

The character-defining elements of the house include:

- Location on a corner lot at Abbott Street and Riverside Avenue.
- The form, scale and massing as expressed by its:





⁶ Information provided by the homeowner.

⁷ Based on information in the "The Abbott Street & Marshall Street Heritage Conservation Areas Development Guidelines" August 1997.

⁸ To determine if there is spiritual value as it relates to local Indigenous culture, consultation with the local First Nations people would be required.

- 2 ½ storey height
- Square massing
- Medium-pitched gable roof with front-facing dormer
- The overall representation of the Late Arts & Crafts architectural style, through such elements as the:
 - Stick-built feel to the building
 - Gable roof form
 - Wide horizontal siding
 - Multi-sash window assemblies
 - Asymmetrical front elevation







3 - Patterns/Materials Study of Neighbouring Houses

Six properties adjacent to and across the street from the subject property and the subject property have been analysed. They are (on the west side) 1806, 1814, 1820 and 1826 Abbott Street, and (on the east side) 1781, 1815 and 1825 Abbott Street.

The style identified for each house and the design characteristics are taken from the City of Kelowna "Abbott Street & Marshall Street Heritage Conservation Areas Development Guidelines" (August 1997)⁹.

The properties that have been analysed are identified with blue circles on this map excerpt from the Abbott Street & Marshall Street Heritage Conservation Areas Building Styles Map. The subject property is identified with a blue star. (Black dots indicate that those properties are listed on the Heritage Register.)



For the full map and a legend of the colours, please see Appendix B.

According to the map above, the study houses falling into the following categories:

Mediterranean Revival: Early Arts & Crafts: Late Arts & Crafts: Late Vernacular Cottage: Early Suburban: 1781 Abbott Street 1806 and 1814 Abbott Street 1815 Abbott Street (the subject house) 1825 and 1826 Abbott Street 1820 Abbott Street



The style characteristics of the categories used in the following analysis is taken from the Guidelines. If present, the particular elements of that design style for each house will be listed.

7

Schueck

⁹ https://www.kelowna.ca/homes-building/property-development/heritage-development

Mediterranean Revival Characteristics

- Masonry feel to the architecture
- Stepped parapet about a flat roof
- Shed & high-gable roof sub-forms
- Flush eaves & stucco detail at roof edges
- Cascading building mass
- 1 or 2 storeys massing
- Vertical double-hung window openings
- Single & multi-sash window assembly
- Multiple pane windows (munton bars)
- Asymmetrical front facade
- Clay tile roofing
- Side or rear yard parking

Early Arts & Crafts Characteristics

- Stick-built feel to the architecture
- Medium gable and hip roof form
- Decorated soffit & brackets
- Open front verandah
- Up to 1 ½ storeys
- Horizontal wood siding & corner-boards
- Upper storey belting (cladding may vary)
- Ornamental crafted wood
- Vertical double-hung window openings
- Single & multi-sash window assembly
- Wide window & door surrounds
- Multiple pane windows
- Asymmetrical front facade
- Side or rear yard parking

Late Arts & Crafts Style Characteristics

- Stick-built feel to the architecture
- Medium gable and hip roof form
- Decorated soffit & brackets
- Enclosed front porch or portico
- Up to 2 ½ storeys
- Horizontal wood siding & corner-boards
- Upper storey belting (cladding may vary)
- Ornamental crafted wood
- Vertical double-hung window openings
- Multi-sash window assembly
- Wide window & door trim
- Multiple pane windows
- Asymmetrical front facade
- Wood shingle roofing



• Side or rear yard parking

Early Vernacular Cottage Characteristics

- Fanciful feel to the architecture
- Narrow eave verges
- Stucco cladding and detailing
- Stucco cove at soffit
- Up to 1 ½ storey massing
- Vertical window openings
- Balanced asymmetrical facade
- Porch or Portico at Front Entrance
- Arched transom & feature windows
- Multi-sash window assembly
- Gable roof forms
- Stucco 'tuck' at the foundation line
- Wood or interlocking asphalt shingle
- Side or rear yard parking

Early Suburban Bungalow Characteristics

- Horizontal feel to the architecture
- Low gable and hip roof form
- Plain soffit & brackets
- 1&2 storey massing
- Wide siding below belt-line / stucco above
- Horizontal multi-sash and picture windows
- Narrow window & door surrounds
- Asymmetrical front facade
- Side or front yard parking
- Asphalt shingle
- Front driveway access





On the West Side of Abbott Street:

Address: 1806 Abbott Street





Style: Early Arts & Crafts – horizontal massing, medium cross gable roof form, flush gable verges with a gabled dormer centered on the main side gable roof, full-width open front verandah, vertical window sashes, single and multi-sash window assemblies, wide window and door frames.

Contrary to the listed characteristics, this house is 2-storeys, has wood shingle siding, a symmetrical façade design, and the parking is at the rear corner of the lot and accessed from Riverside Avenue.

Materials: Body – wood shingle siding, medium brown; Trim – wood, white; Roof - asphalt shingle, dark

Fenestration: The windows on the front elevation appear to be original. To the left of the front door is a 3-bay window with a 5 over 1 sash window in each bay. There is a single 5 over 1 casement window to the right of the door. On the dormer on the front elevation is a side by side single 3 over 1 casement window. All the windows have narrow wood casings in dark blue and have wide wood frames in white.

Landscape: The front yard is flat with grass and beds of mature perennials and shrubs. There is a curving stone path leading from the sidewalk to the steps of the front porch. There are also some mature trees on the property.

Listed: The house is listed on the Heritage Register and on the Heritage Inventory.

Address: 1814 Abbott Street



Style: Early Arts & Crafts - 1 ½ storey square massing, side gable roof with shallow front dormer, upper story belting, wood brackets, full width open front verandah, asymmetrical façade, side yard parking.

Contrary to the listed characteristics, this house is clad in stucco and has two front doors (indicating that the house has been split into two units). The roof over the porch is a continuation of the primary roof.

Materials: Body – stucco, white; Trim – dark and narrow; Roof – dark asphalt shingles

Fenestration: The large, 3-part picture window on the right side of the front elevation is a newer insert. It is difficult to tell, but likely it is a larger opening than what was originally there. The small window in



the front dormer looks to be original as it still has its original-looking wood frame and wide casing. This window is a paired, 3 over 1 unit that appears to be in the casement style.

Landscape: Large and open grassy area, with some shrubs along one side of the house.

Listed: The house is not listed on the Heritage Register nor on the Heritage Inventory.

Address: 1820 Abbott Street



Style: Early Suburban – 1 ½ storey horizontal massing, low side gable roof (in two sections with one being at a higher level and slightly overhanging the other), balanced asymmetrical façade, asphalt shingle roofing.

Contrary to the listed characteristics, the front door is centred on the façade (although the façade itself reads more asymmetrical), there is a 3-sided bay window to

the right of the front door (which could be labelled as a 'feature window'), and there is a large exterior brick chimney on the end wall.

Materials: Body – combination of wide horizontal and narrow vertical siding (possibly vinyl) and brick veneer on the front elevation, with rough stucco and wide horizontal siding on the side elevations; Trim – white, likely vinyl with some wood; Roof – medium grey asphalt shingles

Fenestration: The windows on the left side of the front façade have a horizontal orientation and are paired, with one or both being operable. There is a 3-sided bay window on the right side that is multipaned. All have narrow white casings and frames.

Landscape: Large and open grassy area, with some mature shrubs and perennials in front of the house.

Listed: The house is not listed on the Heritage Register nor on the Heritage Inventory.

Address: 1826 Abbott Street



Style: Late Vernacular Cottage - Flush gable verges, stucco siding, 2-storey horizontal massing, clustered vertical window sashes, asymmetrical façade design, flush front entrance, twin-gable roof form, interlocking asphalt shingled roofing. There is an attached garage which is accessed from the front of the property, along one side.

Materials: Body – Stucco - pink; Trim – white wood; Roof – medium grey asphalt shingles



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Fenestration: There are a variety of window shapes, styles and sizes. The main ones are on the front elevation and are 4/1 vertical lites (typical between 1916 and 1945 in North America¹⁰), single-hung, one set double and one single.

Landscape: Large grassy area, edged with mature perennials, shrubs and trees.

Listed: The house is not listed on the Heritage Register nor on the Heritage Inventory.

On the East Side of Abbott Street:

Address: 1781 Abbott Street



Style: Mediterranean Revival

This house has had a Statement of Significance written for it and identified the following characteristics:

- Yard has mature trees and shrubs
- Good example of Moderne architectural style
- Semi-circular door opening at the entrance off the raised landing

- Simple design with two projecting bands of trim below the roof parapet

- Large textured stucco finish throughout unifies the design
- Straight stepped chimney
- Central symmetrical window faces Abbott Street with a central fixed four component unit and double hung windows on both sides
- Original features appear unaltered
- A decorative, repeated motif runs between the two projecting bands¹¹

Materials: Body - stucco, white; Trim - wood, dark; Roof - flat (colour not visible)

Fenestration: As per the Statement of Significance – "Central symmetrical window faces Abbott Street with a central fixed four component unit and double hung windows on both sides".

Landscape: The front yard is large and flat with grass and mature shrubs and trees.

Listed: The house is listed on the Heritage Register and on the Heritage Inventory. It is or will soon be protected legally through heritage bylaws.



¹⁰ Herbert Gottfried and Jan Jennings. <u>American Vernacular Architecture: Buildings and Interiors 1870-1960</u>. W.W. Norton & Company Inc. New York/London, 2009, p. 360.



¹¹ https://www.kelowna.ca/our-community/arts-culture-heritage/heritage/heritage-register/murchison-house



Address: 1815 Abbott Street (the subject property)



Style: Late Arts & Crafts - 2 1/2 storeys, square massing, stick-built feel to the architecture, partly enclosed front porch, medium-pitch side gable roof, horizontal siding, multi-sash window assembly, asymmetrical front facade, rear yard parking.

Contrary to the listed characteristics, this house has a large dormer on the front façade, a prominent brick chimney, a front-facing gable over the partly enclosed front porch, and the horizontal siding is used on the entire height of the elevations, although the dormer and the gable end of the porch roof are

painted a darker colour.

Materials: Body – horizontal aluminum siding, medium colour; Trim – white wood; Roof – medium dark asphalt shingles

Fenestration: There are a variety of window styles and sizes on the house that range from single sash casement to triple sashes. There is a tall narrow window on the front of the enclosed portion of the porch. All of the casements and frames are narrow and painted white.

Landscape: The front yard is large and flat with grass and mature shrubs and trees.

Listed: The house is not listed on the Heritage Register nor on the Heritage Inventory.

Address: 1825 Abbott Street



Style: Late Vernacular Cottage - Stucco and horizontal siding, 2-storey square massing, asymmetrical façade design, centre-gable roof form, interlocking asphalt shingles, narrow eave verges, porch at front entrance, side yard parking. Note this house appears to have more Early Suburban design characteristics.

Materials: Body – white stucco and yellow horizontal siding; Trim – white (minimal amount, possibly vinyl); Roof – medium dark asphalt shingles

Fenestration: 2 large picture windows at centre and left of front elevation, 1 large double window on right. All have minimal frames. The picture windows appear to be fixed; the double window appears to be a slider.

Landscape: large grassy area lined with mature perennial beds, shrubs and trees.

Listed: The house is not listed on the Heritage Register nor on the Heritage Inventory.

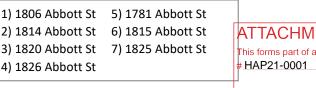
Common Characteristics:

The following are characteristics derived from the seven houses analysed above.

- The dominant massing form is square
- Height ranges from 1 to 2 ½ storeys with the majority being at least 2 storeys
- The dominant roof form is gable
- The dominant style of eaves is minimal to medium overhangs
- The dominant roofing material is medium to dark coloured asphalt
- All of the study houses have asymmetrical front facades
- The exterior cladding is almost split evenly between stucco and horizontal wood siding
- Window orientation ranges from vertical to horizontal, with some having a mixture there is no dominant orientation
- Window styles range from single-hung, to sash, to multi-pane there is no dominant style
- If there is a front porch, the dominant style is open
- Colour schemes: slightly more had medium body colours with light coloured trim, the remaining had the opposite colour scheme
- Front yard setbacks along both sides of Abbott Street are consistent with each other
- The dominant landscape is an open front yard, mostly grass, with mature trees and shrubs
- The dominant planting material is mature shrubs and trees, with minimal perennial plantings
- Access to off-street parking is typically either from the front street or from the rear lane











4 - Design Assessment



The following design assessment for the proposed project are based on the following:

- Abbott Street & Marshall Street Heritage Conservation Guidelines: Official Community Plan, Chapter 16
- The Standards and Guidelines for the Conservation of Historic Places in Canada, Second Edition, 2010

The Official Community Plan, adopted by City Council in May 2011, acknowledges the value of heritage resources within the City of Kelowna. Chapter 16 deals with the Abbott Street & Marshall Street Heritage Conservation Areas (Conservation Areas) and provides guidelines for renovations and new construction of single-family dwellings within the Conservation Areas. It is based on the guidelines that were completed in August 1997 as part of the creation of the Conservation Areas. The purpose of the guidelines is to have buildings that are compatible with the heritage value of the neighbourhood, in particular with its existing form and character.

The "Standards and Guidelines for the Conservation of Historic Places in Canada" (Second Edition, 2010), is a pan-Canadian document used by heritage professionals and local governments for assessing heritage value and for providing best practices that can guide development projects which incorporate historic buildings. Intended primarily for projects that retain heritage resources, there are, however, some sections that are relevant to new construction within an historic area.

A house-by-house analysis of adjacent houses has been conducted and the results have also been used to inform the following design assessment.

The Assessment

The author is not an architect, and this is not a peer review. This analysis is based solely on heritage conservation principles.

Please note that this heritage report has been based on the attached drawings (*found in Appendix C*), but it is possible that the drawings attached to the application might be different. The inclusion of this version of the drawings should not be interpreted as the final design.

The italicized sentences are taken directly from Chapter 16 of the Kelowna Official Community Plan and comments on the design strategies follow.

Guidelines from Chapter 16 of the Kelowna Official Community Plan

It is worth noting the four objectives of Chapter 16 and how the proposed design for a new addition to the existing house has responded to them.



- 1) Maintain the residential and historical character of the Marshall Street and the Abbott Street Heritage Conservation Areas.
- 2) Encourage new development, additions and renovations to existing development which are compatible with the form and character of the existing context.
- 3) Ensure that change to buildings and streetscapes will be undertaken in ways which offer continuity of the 'sense-of-place' for neighbours, the broader community.
- 4) Provide historical interest for visitors through context sensitive development.

- The design for the proposed new addition meets all four of these general guidelines. The addition has been designed in a style that is respectful of the heritage values of the existing house and of the Conservation Area, specifically through its overall massing, gable roof and a contemporary interpretation of traditional materials. The overall proposal is compatible with the neighbourhood and is a context-sensitive project.

General Introductory Comments:

The established context of the Conservation Area should serve as the inspiration for new development. - This general guideline has been met with the proposed design of the new addition, through the use of the gable roof form and its overall massing.

Dominant patterns and key elements occurring on the streetscape of the subject site should be noted and used as the general basis for the design of a new house. However, it is not required that the architectural style of new buildings be consistent with the dominant style of the block.

- The general patterns and key elements of the streetscape have been used to inform the proposed design of the new addition, in particular the typical massing, height, and roof form.

Site Layout & Parking:

Maintain the established front yard setback by placing additions and new constructions within 10% of the adjacent or average building setback.

- The front yard setback for the existing house is not being altered.

New front drives and garage doors facing the street are discouraged in areas where they are not common and particularly where rear lane access is available. Where no lane is available, front drives with rear garages are encouraged.

- All off-street parking will be accessed from the rear lane.

Spacing between buildings should retain the established pattern.

- The new addition would maintain the established pattern of spacing between houses along this section of Abbott Street, given that it is directly behind the existing house.



Rear setbacks may vary from the established pattern, within the limits of the Zoning Bylaw, to accommodate additions to the residential building footprint.

- The addition to the house will sit within the required Side and Rear Yard Setback Allowances.

Secondary suites over garages, when permitted, are encouraged to draw architectural design inspiration from the principal residence.

- The secondary suite would be within the proposed new addition and on the ground floor.

Building Massing (Envelope):

New construction or additions to existing structures are encouraged to maintain the established massing of the streetscape.

- The proposed design for the addition will maintain the established massing of the streetscape. The dominant massing of the neighbouring houses is square, as is the proposed addition.

Larger buildings should use architectural design techniques to reduce the apparent massing and emulate the established neighbouring building massing.

- The proposed addition is within the maximum height and massing for the neighbourhood and responds to the established neighbouring building massing. The use of multi-gables and the setting back of a portion of the new addition and the creation of a courtyard between the old and new portions will all work to visually reduce the overall massing.

Architectural Pattern

Established block face building spacing, foundation height, proportion, wall to window/door ratio and setbacks of adjacent development are to be considered with new development or additions to existing buildings.

- The proposed design for the addition will meet Zoning for its siting on the lot. The foundation height and proportion, as well as the wall-to-window ratio are all comparable to the existing and to neighbouring houses.

Roof Forms, Dormers & Chimneys:

The dominant neighbourhood roof pattern is encouraged, particularly for buildings of the same architectural style, by new or renovated development.

- The dominant roof pattern along the streetscape is gabled. The proposed addition is also gabled.

Roof form complexity, roof line silhouette, and the use of secondary elements (dormers, gables, chimneys, etc.) should be consistent with the building style.

- The proposed design for the addition meets this guideline.

Skylights which are visible from the public street or walkway are discouraged.

- Solar tube skylights are being considered for the new addition but would not be visible from the street.





High quality, low maintenance roofing materials, of similar design to traditional materials, may be used for buildings not being restored to period authenticity.

- The new addition will be roofed with asphalt shingles, which has a similar design to traditional wood shingles, and which would match the roofing material of the existing house.

Soffit overhang, rafter shape, bracket detail and rainwater drainage are encouraged to be similar to the original building design or be consistent with the established methods characteristic of the architectural style of the building.

- The soffit overhang and rainwater drainage will be consistent with the architectural style of the existing building. The new addition will not have any exposed rafters or brackets.

Secondary roof elements, such as dormers, cupolas and gables, are encouraged to have similar roof slope as the principal roof.

- The secondary roof elements on the addition will have slopes that match the principal roof.

Chimneys are encouraged to be consistent with those found on buildings of similar architectural style. - No chimneys are proposed for the addition.

Cladding Materials:

Low maintenance materials, of similar design to traditional materials, may be used for buildings not being restored to period authenticity.

- The primary cladding material proposed for the new addition is Hardie Board, which is low maintenance and appropriate to new-builds. All the cladding choices reflect traditional materials and will be of a similar width to that on the existing house.

Exterior paint or prefinished exterior material colours which are similar to the traditional tones for the building's architectural style are encouraged.

- The addition will have complimentary colour palette to the existing house. The existing house is currently blue and taupe with white trim and a dark roof. The addition would be a light grey with white trim and a dark roof. At some point, the existing house will be painted to match the colour scheme of the addition.

Doors & Windows:

Window and door-to-wall area ratio, placement and style are encouraged to adhere to the pattern of the established architectural style.

- The proposed design meets this guideline.

Main entrances should be prominent from the street and are encouraged to adhere to the pattern of the established architectural style.

- The style and location of the main door of the house is not being changed. This guideline does not apply to this application.





Door and window shape, sash design, trim, casements and sills are encouraged to be of similar finish as the established architectural style.

- The proposed design meets this guideline.

Front steps leading to the principal entrance are encouraged to be constructed in a style and of materials consistent with the established architectural style of the home.

- The path and landing for the front door are not being changed. This guideline does not apply to this application.

Landscaping, Walks & Fences:

Healthy, mature trees are encouraged to be maintained and protected during and after construction. - Some trees will need to be removed as part of this application. One tree is dead. An attempt will be made to relocate any healthy trees that will be impacted by the construction.

Front steps leading to the principal entrance are encouraged to be constructed in a style and of materials consistent with the established architectural style of the home. - See above.

Front yard landscape plantings, walkways and other landscape installations are encouraged to be derived from the context of the adjacent sites.

- The front yard landscape is not being changed.

Fences or screening landscaping, greater than 1.0 metre in height, are discouraged in front yards unless inconsistent with treatment derived from the context of the adjacent sites. - No new fencing is proposed along the front property line of this project.

Streetscape Guidelines:

Fences or screening landscaping, greater than 1.0 metre in height, are discouraged in front yards unless inconsistent with treatment derived from the context of the adjacent sites. - See note above.

The established road right-of-way for existing streets should be retained at current dimensions. Council may consider variances of the City's servicing standards for roads within the Heritage Conservation Areas via a Development Variance Permit, Heritage Revitalization Agreement or Major Heritage Alteration Permit.

- The road right-of-way will not be impacted by the project.

Character street lighting, in the form of the standard King Louminaire and decorative pole, is encouraged within the Heritage Conservation Areas, potentially funded through a Specified Area Bylaw for cost recovery of the incremental costs in excess of the conventional streetlight service.

- The installation of new or replacement street lighting is not required for this project.



All healthy, mature boulevard trees within the public right-of-way are encouraged to be retained and protected during construction.

- The boulevard trees will not be impacted by this project.

Any tree pruning required, for overhead wire clearances, public safety or any other reason, is encouraged to be undertaken under the direction of a Landscape Architect or arborist certified by the International Society of Arboriculture.

- Some trees on the south side of the property may require pruning to provide a clear area for the construction process.

Privacy & Shadowing Guidelines:

The design of front yards should provide for sight lines to the front yard and residence from the front street.

- This guideline does not apply to this application as there are no changes proposed for the front yard of the existing house.

Casting of shadow on adjacent yards is minimized by stepping second storey elevations back to satisfy the sunlight requirements of the City's Zoning Bylaw. In cases where the architectural authenticity does not accommodate a stepped building form, overshadowing may be managed through other design solutions, such as locating the building on the site in ways which satisfy the Zoning Bylaw daylighting standards.

- The addition has a stepped back design with a gable roof form to minimize possible shadows being cast on adjacent properties.

<u>Guidelines from the Standards and Guidelines for the Conservation of Historic Places in Canada</u> The Standards and Guidelines provide a list of 14 standards, most all of which apply to changes proposed to an extant heritage building, however the following standard does apply to this project.

"Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted."

- The proposed new addition does not create a false sense of historical development. It is a contemporary design that will read as such through the choice of materials and the design elements.

The Standards and Guidelines also provides a series of guidelines for various heritage conservation scenarios. For this project, the most relevant section is 4.1 "Guidelines for Cultural Landscapes, Including Heritage Districts". The subsection numbers are provided in brackets for reference.

Understand and respect how the relationships of the land use, buildings, streets and topography have affected the spatial organization of the neighbourhood (4.1.4)

- The proposed new addition has been designed and positioned on the property in such a way that it will fit in well with the existing spatial organization of the street and of the neighbourhood.



julie@schueckconsulting.com

Schueck

Respect and maintain the visual relationships of the neighbourhood (4.1.5)

- Through a contemporary interpretation of the neighbourhood's housing styles and massing, this project will both respect and maintain the visual relationships of the neighbourhood.

Respect and maintain the existing circulation pattern of the neighbourhood (4.1.6) – The circulation pattern of the neighbourhood will not be changed.

Use vegetation (trees, shrubs, herbaceous plants, grasses, vines, etc.) that are typical of Kelowna and that are typical in the neighbourhood (4.1.8)

- This guideline will be met, although a landscape plan is not required as part of this application process.

Design the new building so that it is compatible with the heritage value associated with the neighbourhood (4.1.11)

- The new addition is compatible with the heritage value associated with the house and the neighbourhood, through its overall massing, roof form, cladding, and colour scheme.

Conclusions:

Of great importance to the principles of heritage conservation is that the new addition must not mimic the historic house on the property, nor the other historic houses around it. It must not pretend to be old. The proposed design and positioning of the addition will successfully integrate it on the property and offer a continuity of the 'sense-of-place' in the neighbourhood. It will be a context sensitive development. In conclusion, the proposal meets and exceeds the above guidelines.



Appendix A: Definitions of Heritage Values

The following definitions of heritage value are quoted directly from the "Canadian Register of Historic Places: Writing Statements of Significance" Guide¹² and have been used in the writing of the Statements of Significance of the subject properties.

<u>Aesthetic value</u> refers to the sensory qualities of a historic place (seeing, hearing, touching, smelling and tasting) in the context of broader categories of design and tradition. A place may have aesthetic significance because it evokes a positive sensory response, or because it epitomizes a defined architectural style or landscape concept. Visual aesthetic value is typically expressed through form, colour, texture or materials. It is possible for historic places to have other aesthetic values as well, such as auditory ones. Historic places with aesthetic significance may reflect a particular style or period of construction or craftsmanship, or represent the work of a well-known architect, planner, engineer or builder.

<u>Cultural and Historical values</u> are sometimes combined and refer to the associations that a place has with past events and historical themes, as well as its capacity to evoke a way of life or a memory of the past. Historical or cultural value may lie in the age of a heritage district, its association with important events, activities, people or traditions; its role in the development of a community, region, province, territory or nation; or its patterns of use. Historical or cultural value can lie in natural or ecological features of the place, as well as in built features.

<u>Scientific value</u> refers to the capacity of a historic place to provide evidence that can advance our understanding and appreciation of a culture. The evidence is found in the form, materials, design and/or experience of the place. Scientific value can derive from various factors, such as age, quality, completeness, complexity or rarity. Scientific value may also be present when the place itself supplements other types of evidence such as written sources, such as in archaeological sites.

<u>Social value</u> considers the meanings attached to a place by a community in the present time. It differs from historical or cultural value in that the value may not have an obvious basis in history or tradition and relates almost entirely to the present time. Social value may be ascribed to places that perform a key role within communities, support community activities or traditions, or contribute to the community's sense of identity. Places with social value include sites that bring the community together and create a sense of shared identity and belonging.

<u>Spiritual value</u> is ascribed to places with religious or spiritual meanings for a community or a group of people. Sacred and spiritual places could include places of mythological significance, landscape features associated with myth and legends, burial sites, rock cairns and alignments, fasting/vision quest sites etc., places representing particular belief system(s) or places associated with sacred traditions, ceremonial practices or rituals of a community/group of people.

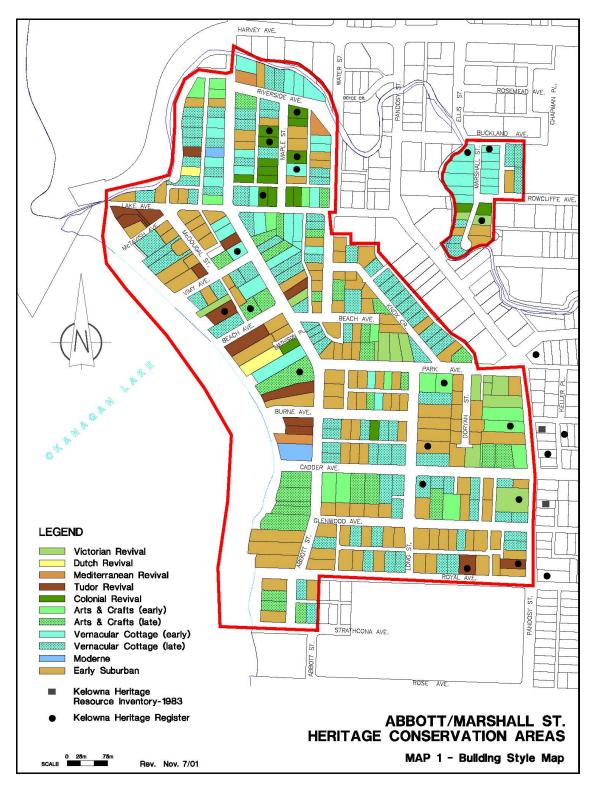


¹² Historic Places Program Branch, "Canadian Register of Historic Places: Writing Statements of Significance," Parks Canada, November 2006, pp. 12-13.





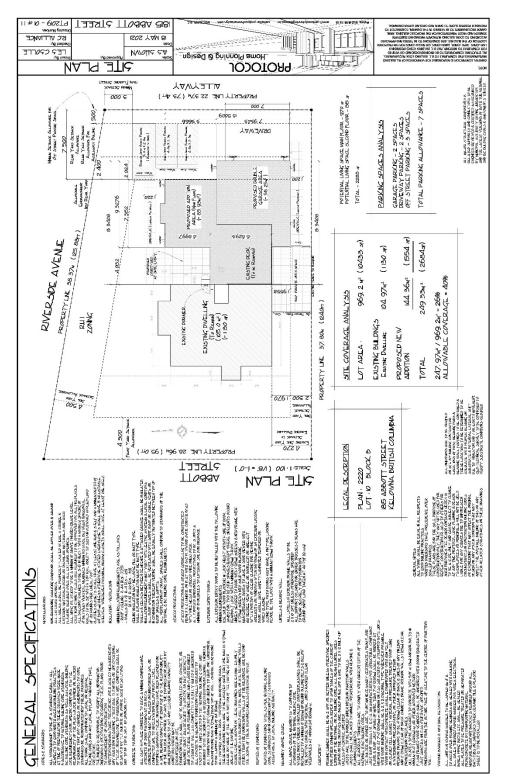
Appendix B: Building Style Map from the City of Kelowna Abbott Street & Marshall Street Heritage Conservation Areas Development Guidelines (August 1997)



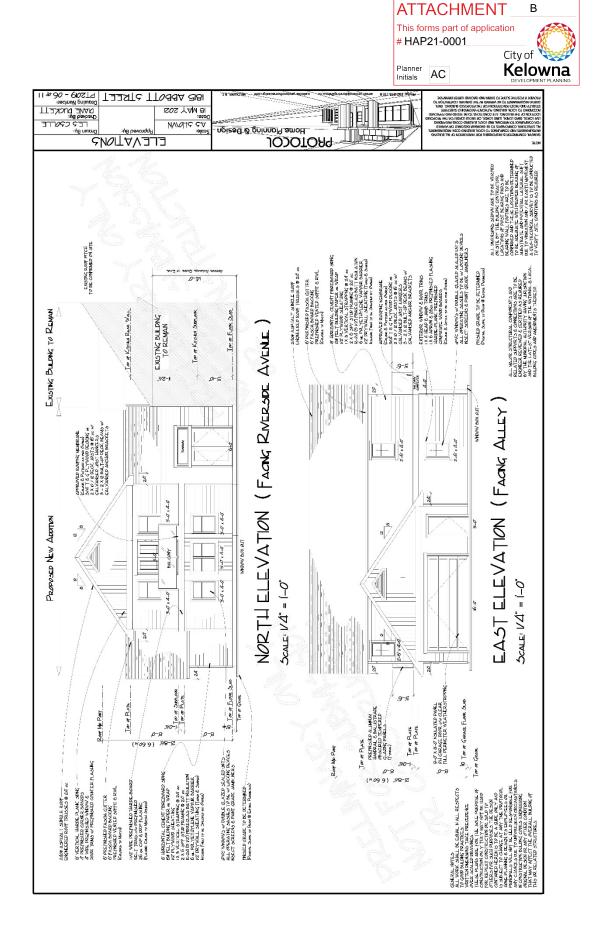




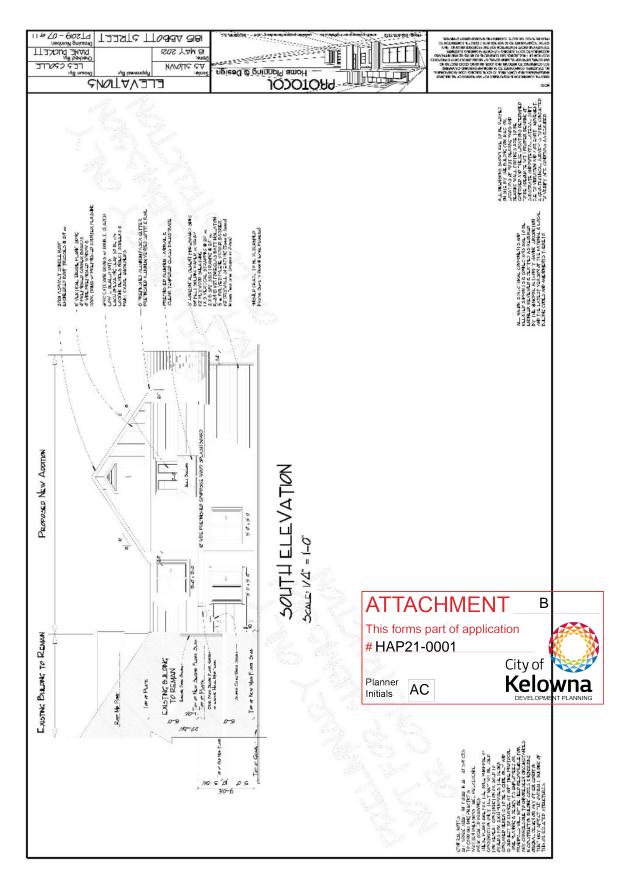
Appendix C: Design Drawings Used for Analysis













Appendix D: Resources:

"The Abbott Street & Marshall Street Heritage Conservation Areas Development Guidelines" August 1997.

"Canadian Register of Historic Places: Writing Statements of Significance," Historic Places Program Branch, Parks Canada, November 2006, pp. 12-13.

City of Kelowna Consolidated Zoning Bylaw No. 8000, Section 13. www.kelowna.ca/city-hall/city-government/bylaws-policies/zoning-bylaw

City of Kelowna 2030 Official Community Plan, Section 16. www.kelowna.ca/our-community/planning-projects/long-range-planning/official-community-plan

Gottfried, Herbert and Jan Jennings. <u>American Vernacular Architecture: Buildings and Interiors 1870-1960</u>. W.W. Norton & Company Inc. New York/London, 2009.

McAlester, Virginia Savage. <u>A Field Guide to American Houses.</u> Alfred A. Knopf. New York, 2018

"The Standards and Guidelines for the Conservation of Historic Places in Canada", Second Edition, 2010. www.historicplaces.ca/en/pages/standards-normes.aspx







August 16, 2021

Client: Diane Duckett 1815 Abbott St Kelowna, BC

Site: 1815 Abbott St., Kelowna BC

Re: Construction Impact on Silver maple (*Acer saccharinum*), DBH 124", located on the left side of the property beside the road, outside of the fence line.

The excavations for the foundation of the new addition to the house located at 1815 Abbott St., will be occurring approximately 9m in from the main stem of the tree which puts the foundation footprint at the outer canopy dripline. So long as excavations do not take place within the dripline, impact on the root zone and overall health of the tree should be minimal.

Recommend steps to ensure minimal damage include, establishing a rootzone barrier around the dripline, avoid driving heavy equipment over the rootzone area, or staging excess debris and/or building materials on the rootzone and all other items listed within Bylaw No. 8042, Section "C".

ISA Certified Arborist PN-5606A Simon Carrol





Liability Statement Disclaimer

As trees are living entities and conditions within them are subject to environmental conditions and forces, tree risk assessments are conducted for real time information purposes only. Site conditions and weather events change and alter trees and as such new assessments are required after such events. The purpose of a report is to establish a Duty of care for the owner of the trees so they can then establish a standard of care. Cody Tree Services 2005 Ltd. accepts no liability as a result of this report. No reproduction for distribution other than for the intended client is permissible, without consent from Cody Tree Service 2005 Ltd.



HAP21-0001 1815 Abbott Street

Heritage Alteration Permit - Major





Proposal

To consider the form and character of an addition to the existing home in the Heritage Conservation Area and to vary the minimum rear yard setback for the proposed garage.



Development Process





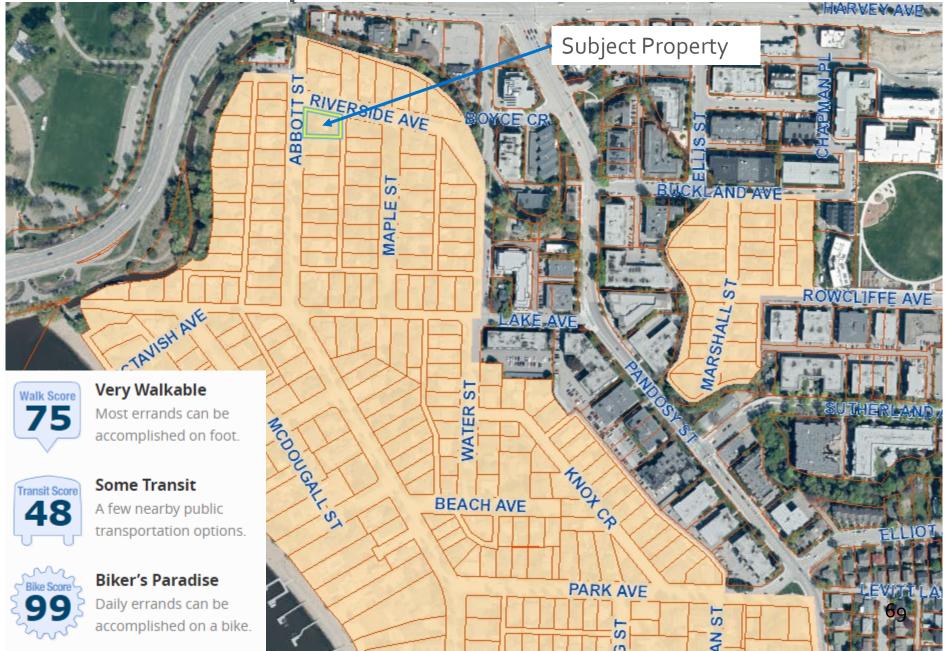




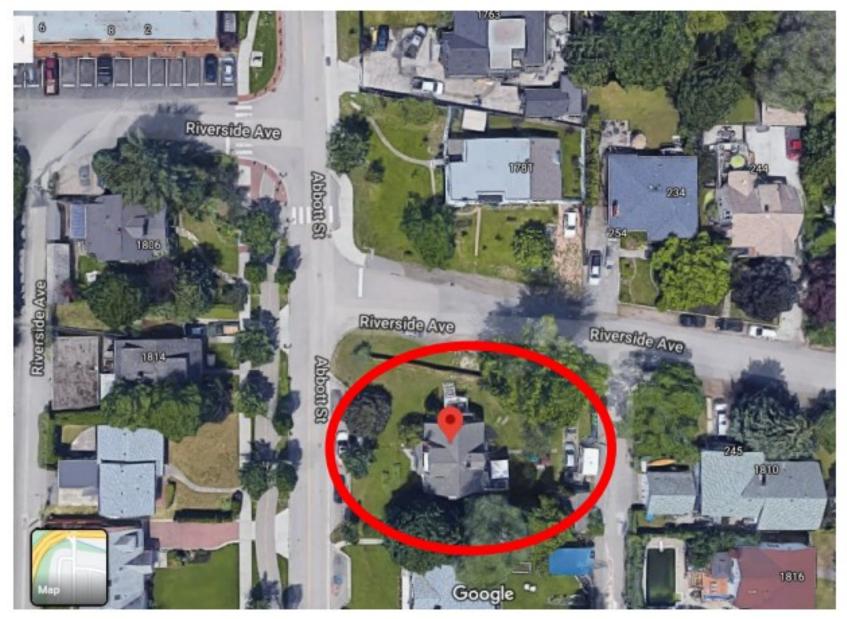
 Abbott Street and Marshall Street Heritage Conservation Area Development Guidelines
 Heritage Alteration Permit Guidelines (OCP)



Context Map



Subject Property Map



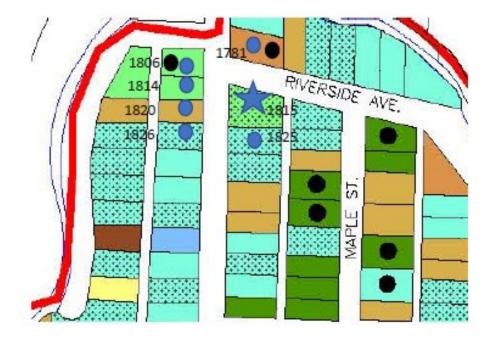
Existing Home

- Heritage Value
 - Aesthetic value for architectural style, roof form, and horizontal siding
 - Corner Lot
 - Late Arts & Crafts Style
 - Stick-Built feel to the building
 - Gable roof form
 - Wide horizontal siding
 - Multi-sash window assemblies
 - Asymmetrical front elevation





Existing Context



According to the map above, the study houses falling into the following categories:

Mediterranean Revival: Early Arts & Crafts: Late Arts & Crafts: Late Vernacular Cottage: Early Suburban: 1781 Abbott Street 1806 and 1814 Abbott Street 1815 Abbott Street (the subject house) 1825 and 1826 Abbott Street 1820 Abbott Street



City of Kelowna

Project and Technical Details



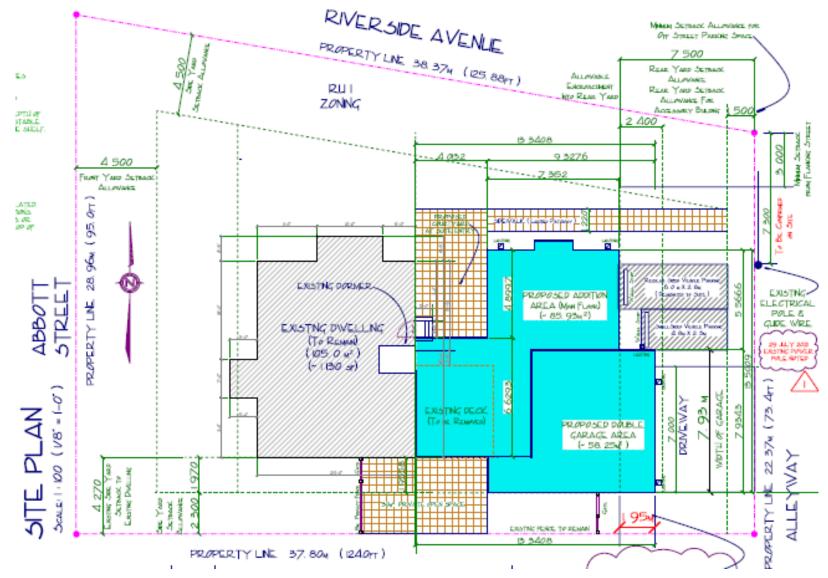
SFD Addition

- Double Garage
 - 2 new bedrooms, bonus / transition area
 - Relocate secondary suite to new addition

Registered Heritage Consultant; Meet OCP Heritage Conservation Area Guidelines; Keeping with the Canadian Standards and Guidelines.

kelowna^{7.}?a

Site Plan



74

Conceptual Rendering



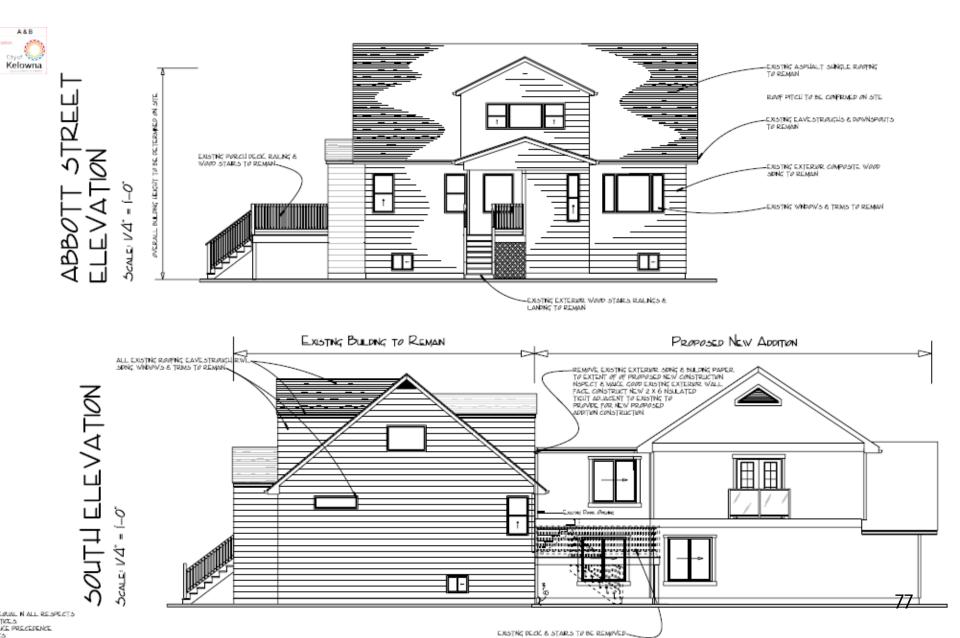




Elevations

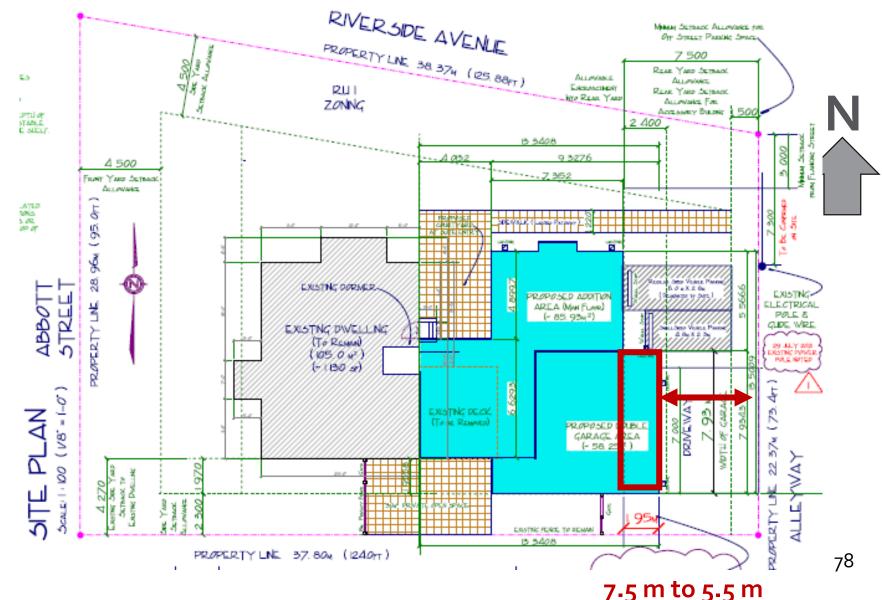


Elevations



Proposed Variances

Minimum Rear yard from 7.5 metres to 5.5 metres



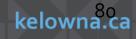
Silver Maple Tree



Staff Recommendation



- Staff recommend support for the Heritage Alteration Permit Application – Major
 - Consistent with the Heritage Alteration Permit Guidelines;
 - Overall, in keeping with the Canadian Standards and Guidelines;
 - Add Condition that construction follows arborist report construction guidelines.
- Variances are not expected to impact the surrounding properties.





Conclusion of Staff Remarks





Date:	September 21 ^{st,} 2021			
То:	Council			
From:	City Manager			
Department:	Development Planning			
Application:	DVP21-0126		Owner:	Maxwell House Developments Ltd. Inc.No. Co756620
Address:	1958 Hemmerling Court		Applicant:	LIME Architecture Inc.
Subject:	Development Variance Permit Application			
Existing OCP Designation:		S2RES – Single/Two Unit Residential		
Existing Zone: RU ₂ – Med		RU2 – Medium Lot Hou	using	

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0126 for Lot 15 Section 4 Township 23 ODYD Plan EPP95497, located 1958 Hemmerling Court, Kelowna, BC;

AND THAT variance to the following sections of Zoning Bylaw No. 8000 be granted:

Section 13.2.6(c): RU2: Medium Lot Housing - Development Regulations

To vary the front yard setback from 4.5 m required to 1.8 m proposed and to vary the front yard setback from a garage from 6.0 m required to 2.2 m proposed.

Section 13.2.6(e): RU2: Medium Lot Housing - Development Regulations

To vary the rear yard setback from 7.5 m required to 3.5 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Variance Permit to the front yard setback, the front yard setback to a garage and to the rear yard setback to facilitate the construction of a single-family home.

3.0 Development Planning

Staff support the Development Variance Permit for the front yard and rear yard setbacks for the proposed construction of a single-family dwelling with a secondary suite. The subject property is located on the curve

of Hemmerling Court, which makes the property narrow and challenging to develop. The irregular shape has led to the variances being proposed, and the applicant tried limiting the impact on neighbouring properties by varying the front yard setback as opposed to the side yard. The driveway length is +/-1.8m which does allow for any vehicular parking and all parking will be in the garage. A third parking stall is provided beside the garage for the secondary suite. Staff do not anticipate any negative neighbourhood impacts to be caused by the proposed variances.

4.0 Proposal

4.1 Project Description

The applicant is seeking two variances to facilitate the construction of a two-storey residence with a secondary suite. The irregular lot has led to many design challenges and the proposed variances will allow for a well-functioning design. The applicant has proved they can meet all other Zoning Bylaw requirements including three parking spaces on-site.

4.2 <u>Site Context</u>

The subject property is zoned RU₂ – Medium Lot Housing and has a Future Land Use Designation of S₂RES – Single/Two Unit Residential. The property is located on Hemmerling Court and is in the Glenmore – Clifton – Dilworth OCP Sector. The surrounding area is primarily zoned RU₂ – Medium Lot Housing, RU₆ – Two Dwelling Housing, RU₁ – Large Lot Housing and P₃ – Parks and Open Space.

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing	Vacant
East	RU1 — Large Lot Housing	Single-Family Dwelling
South	RM3 – Low Density Multiple Housing & P3 – Parks and Open Space	Semi-Detached Housing and Brandt Creek
West	RU2 – Medium Lot Housing	Vacant

Specifically, adjacent land uses are as follows:

Subject Property Map: 1958 Hemmerling Court



4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU2 ZONE REQUIREMENTS	PROPOSAL
	Development Regulations	
Max. Site Coverage (buildings)	40%	37%
Max. Site Coverage (buildings, parking, driveways)	50%	44%
Max. Height	9.5M	7.2M
Min. Front Yard	4.5m	0 1.8m
Min. Front Yard from Garage	6.om	0 1.8m
Min. Side Yard (East)	1.9M	1.8m
Min. Rear Yard	7.5M	2 3.5m
Other Regulations		
Min. Parking Requirements	3	3
 Indicates a requested variance to the front yard setback from Section 13.2.6d: RU2 – Medium Lot Housing – Front yard setbacks Indicates a requested variance to the front yard setback from Section 13.2.6e: RU2 – Medium Lot Housing – Rear yard setbacks 		

5.0 Application Chronology

Date of Application Accepted:	June 2 nd , 2021
Date Public Consultation Completed:	June 24 th , 2021

Report prepared by:	Tyler Caswell, Planner
Reviewed by:	Jocelyn Black, Urban Planning Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Variance Permit DVP21-0126 Schedule A: Site Plan



This permit relates to land in the City of Kelowna municipally known as

1958 Hemmerling Court

and legally known as

Lot 15 Section 4 Township 23 ODYD Plan EPP95497

and permits the land to be used for the following development:

RU2 – Medium Lot Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision	September 21 st , 2021
Decision By:	COUNCIL
Existing Zone:	RU2 – Medium Lot Housing
Future Land Use Designation:	S2RES – Single/Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Maxwell House Developments Ltd. Inc.No. Co756620

Applicant: LIME Architecture Inc.

Terry Barton Development Planning Department Manager Planning & Development Services Date



1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 13.2.6(c): RU2: Medium Lot Housing - Development Regulations

To vary the front yard setback from 4.5 m required to 1.8 m proposed and to vary the front yard setback from a garage from 6.0 m required to 2.2 m proposed.

Section 13.2.6(e): RU2: Medium Lot Housing - Development Regulations

To vary the rear yard setback from 7.5 m required to 3.5 m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



LOT 15 HEMMERLING COURT, KELOWNA

PROPERTY DESCRIPTION

CMC: 1958 HEMMERLING COURT, KELOWNA, BC LEGAL: LOT 15, PLAN EPP95497

BC ENERGY STEP CODE COMPLIANCE: STEP 1

ZONING CALCULATIC CURRENT: SITE INFORMATION:		/NA RU2 ZONING	
		ALLOWED	PROPOSED
GROSS SITE AREA= ALLOWABLE SITE COVERAGE= COVERAGE + HARDSCAPING=	4,538 SF (421.6 SM)	40% (1,8155F) 50% (2,2695F)	37% (1,682SF) 44% (2,016 SF)
UNIT AREA CALCULATIONS: ENTRY LEVEL: UPPER LEVEL: SECONDARY SUITE: TOTAL:	344 SF 1,226 SF (EXCLUDING STAIRS) 667 SF 2,237 SF		
MAX. HEIGHT = YARD SETBACKS:		ALLOWED 9.5M (31.2 FT) OR 2-1/2 STOREYS	PROPOSED 7.2M (2 STOREYS)
FRONT YARD -		4.5M	4.5M / 1.8M
FRONT YARD TO GARAGE		6.0M	2.2M
SIDE YARD - REAR YARD -		1.8M 7.5M	1.8M
No 15 11 902 -		7.00	U.U.I
PARKING CALCULATIONS: SINGLE DWELLING UNIT WITH SU	ITE	REQUIRED 3	PROPOSED 3



 ARCHITECTURAL DRAWINGS:

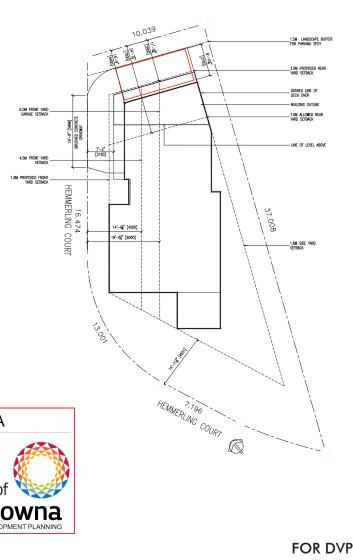
 A001
 PROJECT & SITE INFORMATION

 A101
 ENTRY LEVEL PLAN

 A-102
 UPPER LEVEL PLAN

 A200
 ELEVATIONS

 A-201
 ELEVATIONS



GENERAL NOTES - ARCHITECTURAL:

ALL WORK SHALL CONFORM TO THE STANDARDS OF THE N.B.C. OF CANADA 2015 (ALL APPLICABLE SECTIONS), THE B.C. BUILDING CODE (BCBC) 2018 AND ALL LOCAL CODES, BYLAWS AND AWENDMENTS. -DO NOT SCALE DRAWINGS; DIMENSIONS ALWAYS TAKE PRECEDENCE. -ALL TRADES SHALL VENIFY ALL DATUMS; DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK -ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO LINE ARCHITECTURE. -WAIATIONS AND MODIFICATIONS TO THE WORK SHOWN ON DRWINGS SHALL NOT BE CARRIED OUT WITHOUT THE EXPRESS WRITTEN PERMISSION OF LINE ARCHITECTURE. -THESE DRAWINGS ARE THE BICULSINE PROFERTY OF LINE ARCHITECTURE AND CANNOT BE REPRODUCED WITHOUT THE BRRESSED WRITTEN PERMESSION OF LINE ARCHITECTURE -ALL WORK TO BE PERFORMED TO CURRENT GOOD TRADE PRACTICE STANDARDS BY WORKNEN SKILLED IN THER TRADES. -ALL MATERIALS TO BE OF GOOD QUALITY, PROPERLY TRANSPORTED, STORED AND PROTECTED. -ALL EXTERIOR DIMENSIONS TAKEN FROM OUTSIDE FACE OF WOOD STUDS AND EXTERIOR FACE OF CONCRETE UNLESS NOTED OTHERWISE -ALL INTERIOR DIMENSIONS TAKEN FROM CENTER LINE OF STUDS U.N.O. -ALL LOAD BEARING LUMBER TO BE SPF #2 OR BETTER U.N.O. ALL LOAD REARING WOOD REAMS TO RESPERE OR RETTER LLN O ALL EXTERIOR WALLS TO BE 2 X 6 @ 24" O.C., U.N.O. INTERIOR WALLS TO BE 2 X 4 @ 24" O.C., U.N.O.; INTERIOR LOAD BEARING WALLS TO BE 2% @ 16" O.C., U.N.O. (SHOWN SHADED ON PLAN DRAWINGS) USE DOUBLE JOISTS UNDER PARTITIONS PARALLEL TO JOISTS UNLESS NOTED OTHERWISE (U.N.O.). -ALL LOAD BEARING COLUMINS TO BE AT LEAST EQUAL TO WIDTH OF BEAMS AND OF SOLID LUMBER OR LAMINATED STUDS JUNTELS UP TO 6-0' WIDE TO BE 2-2 X 10 SPF #2 OR BETTER U.N.O. TO BE BUILT UP TO EQUAL WIDTH OF WALL FRAMING. UNTELS OVER # 01 TO BE 2-2 X 12 SPE #1 OR BETTER OR ENGINEERED UNLESS NOTED OTHERWISE ULN O.). TAINED FOR TO BE 24 AF # 10 KE THE VIOLE THE VIOLENT AND THE THE TO THE ATTEMPT TO THE TO THE ATTEMPT ATTEMPT TO THE ATTEMPT ANNAULIC CONCRETE STRENGTH AT 28 DAYS - FOOTINGS, SLABS, FOURDATION WALLS: 3000PB, UGHTWEIGHT CONCRETE TOPING- 4000PSL ANNAULIK PAD FOOTING SLES AS PR STRUCTURAL NOTES BLOW AND/OR AS NOTED ON PLAN DRAWINGS (JARGEST PAD AND RINFOREING SLESS TO TAKE PRECEDENCE WHERE CONTRADICTION DISTS). ANNUME TO FORMATION OF A STATE AND A STATE -PROVIDE DAWRPOOFING TO ALL EXTERIOR FOUNDATION WALLS (INCLUDING RE. DAWRPOOFING IN ACCORDANCE WITH BCBC 2018. -PROVIDE A MINIMUM OF & CLEARANCE BETWEEN SOL AND ANY WOOD MEMBER. -ALLOWARE SOL BEARING PRESSURE 2000 PSF ASSUMED FOR DESIGN AND TO BE CONFIRMED AT EXCAVATION BY A QUALIFED ENGINEER. -PROVIDE ALLWINUM FLASHINGS OVER ALL EXTERIOR OFENINGS. CAULK AND SEAL ALL EXTERIOR OPENINGS IN ACCORDANCE WITH BEBC 2018. VENTILATION REQUIREMENTS TO CONFORM TO BEBC 9.32.3 AND TABLE 9.32.3.5. -UNFORMLY DETAILUTE VENTILATION TO ROOFS AS PER BCBC 9.19.1.2. -PROVIDE A MINIMUM CLEARANCE BETWEEN TOP OF ROOF INSULATION AND UNDERSIDE OF ROOF SHEATHING AS PER BCBC 9.19.1.3. DWRIJING GUZING SECURITY REQUIREMENTS TO CONFORM TO BCBC 9.7.6 AND APPENDIX (A)9.7.5.3.(1), ALL EXTERIOR AND REQUIRED GUARDS TO BE 3-6' [1070MM] HIGH WITH MAX. 3.9' [100MM] CLEAR OPENINGS. ALL HANDRAILS SHALL BE A MINIMUM 2-8" HIGH ABOVE THE NOSINGS. -ALL STAIR TREADS TO BE 10 Å INCH MINIMUM AND AN [‡]" NOSING. ALARMS AND DETECTION SYSTEMS TO BE AS PER 3.2.4.1 OF THE BCBC



Plot Date Drawing 25-Aug-21 A-001

HEMMERLING COURT - LOT 1

ROJECT INFORMATION

LIME

PHONE:358-448-78 325-1636 Bichter Street Kalowina, BC VTT 38

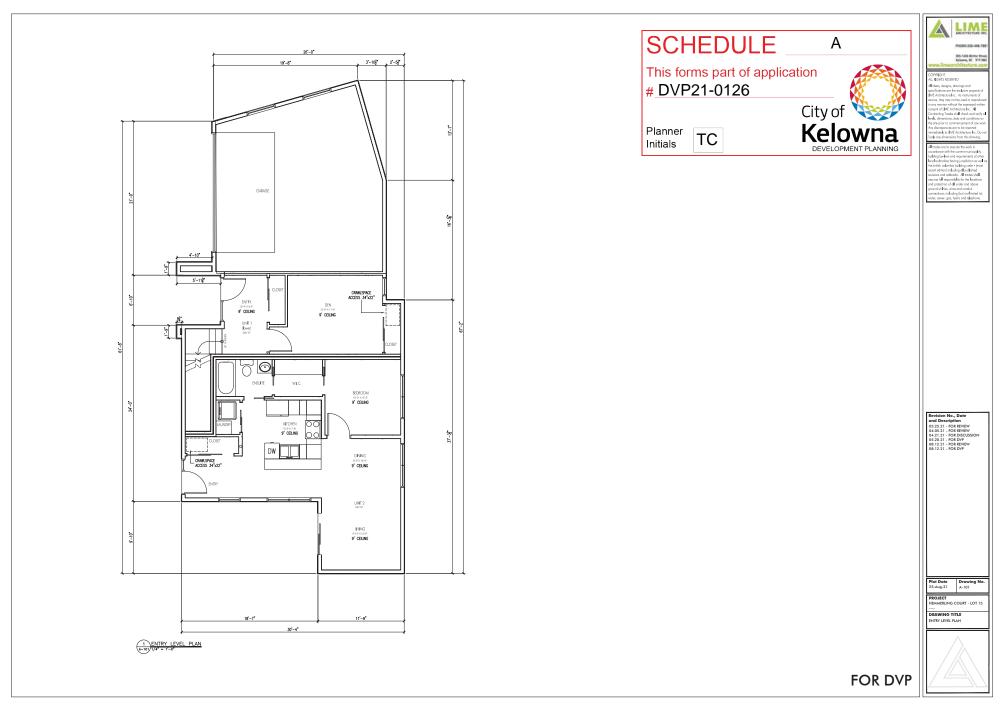
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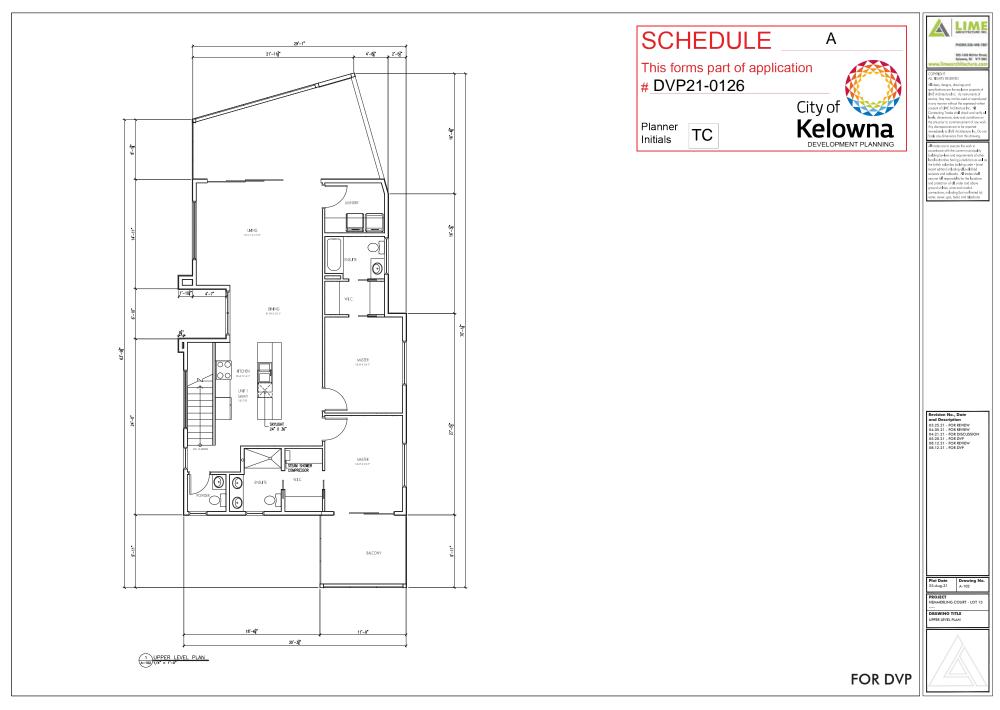
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DVP21-0126 1958 Hemmerling Court

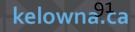
Development Variance Application





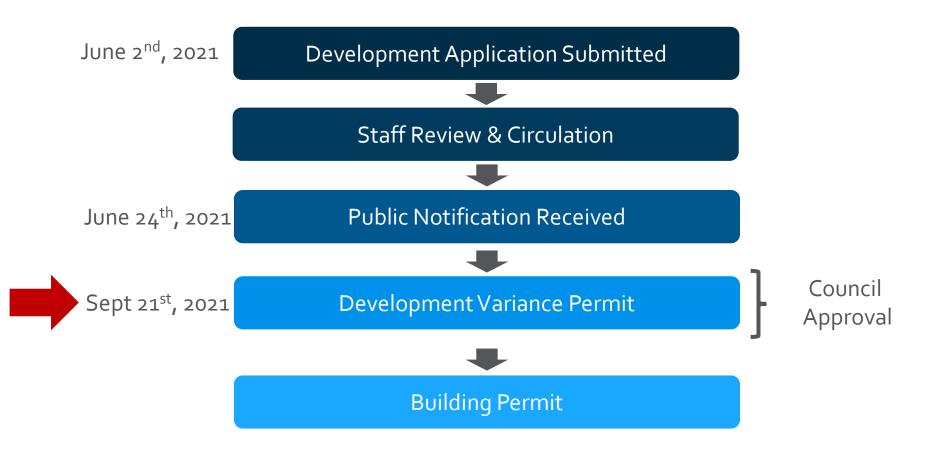
Proposal

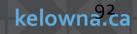
To consider a Development Variance Permit to vary the front yard setback from 4.5m required to 1.8m proposed, to vary the front yard setback to a garage from 6.0m required to 1.8m proposed and to vary the rear yard setback from 7.5m required to 3.5m proposed.



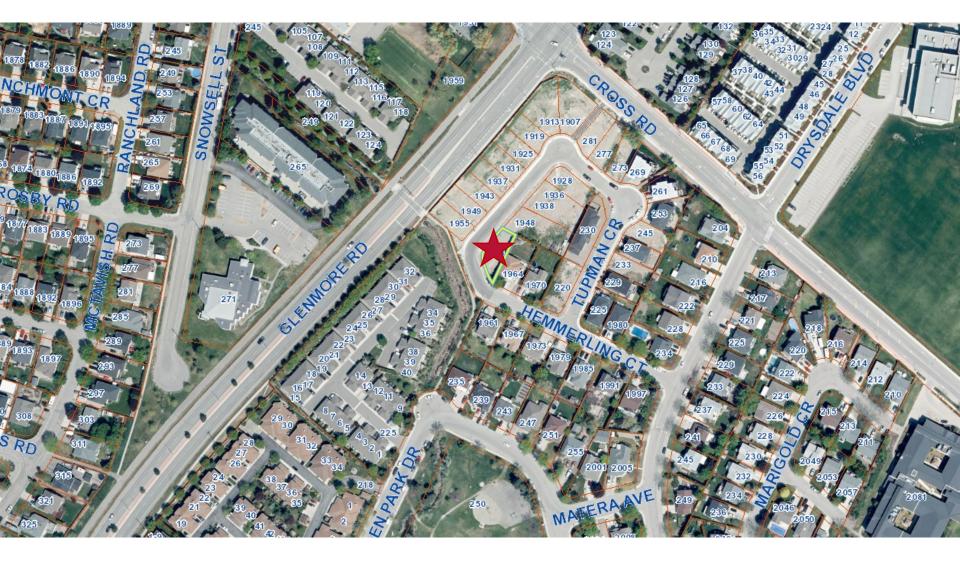
Development Process







Context Map



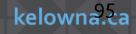
Site Map



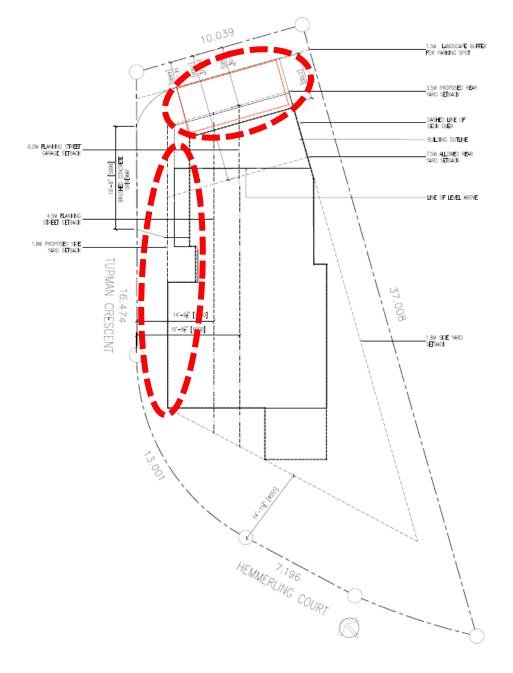


Project/technical details

- The applicant is seeking twos variance to facilitate the construction of a new dwelling:
 - To vary the front yard setback from 4.5m required to 1.8m proposed and to vary the front yard setback from a garage from 6.0m required to 1.8m proposed.
 - To vary the rear yard setback from 7.5m required to 3.5m proposed.
- The irregular shape has to the variances being proposed.

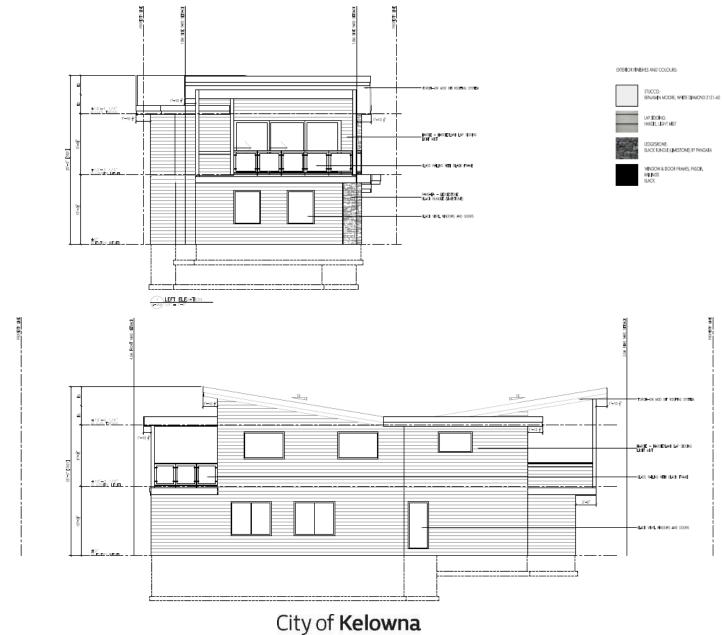


Site Plan

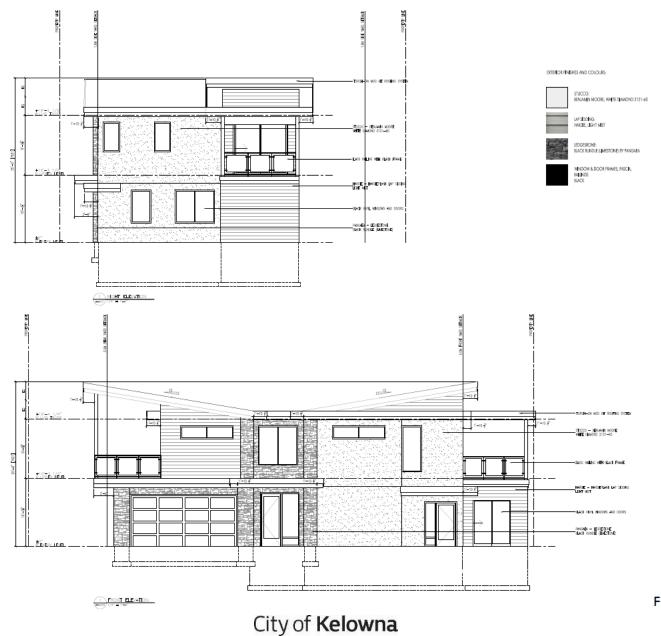


City of Kelowna

Conceptual Design



Conceptual Design

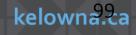


FOR DVP



Staff Recommendation

- Staff recommend support of the proposed Development Variance Permit application.
 - The property is on a curve of Hemmerling Court and is an irregular lot.
 - The property is challenging to build on and the building envelope is small.
 - Secondary suite will bring another needed rental.
 - Minimal neighbourhood impacts are anticipated.





Conclusion of Staff Remarks





Date:	September 21, 2021			
То:	Council			
From:	City Manager			
Department:	Development Planning Department			
Application:	DVP21-0145		Owner:	Robert Willy Deubner and Sherry Lee Deubner
Address:	1625 Garner Road		Applicant:	Summit Land Surveying
Subject:	Development Variance Permit Application		tion	
Existing OCP De	esignation:	REP – Resource Protec	tion Area	
Existing Zone:	g Zone: A1 – Agriculture 1			

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0145 for Lot 1 Section 17 Township 26 ODYD Plan KAP53187, located at 1625 Garner Road, Kelowna BC;

AND THAT variance to the following sections of Zoning Bylaw No. 8000 be granted:

Section 11.1.6(Table 11.1): A1 – Agriculture 1, Development Regulations

To vary the front yard setback of an accessory building from 6.om permitted to 4.om proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 **Purpose**

To vary the front yard setback for an accessory building from 6.0m required to 4.0m proposed to facilitate a proposed accessory building.

3.0 Development Planning

Staff support the Development Variance Permit for the front yard setback for a proposed garage. The variance is being requested because the location of the existing house and driveway, coupled with the irregular size and shape of the lot, does not provide adequate space within the existing building envelope for the construction of a garage. The purpose of the 6-meter front setback in the A1 zone is to maintain a consistent streetscape, the subject lot has an irregular shape and size, as well as a 6-meter grade difference from the street which would mitigate any impact of the proposed building. Further, the proposed garage will

be accessed on the side via a driveway that runs parallel to the front of the property, rather than being accessed directly from the street. Any impact that would result from the reduced setback would be negated by the elevation and driveway configuration of the lot.

4.0 Proposal

4.1 Project Description

The applicant is seeking a front yard variance from 6.0 metres to 4.0 metres for a proposed garage that will have a total footprint of 102.2 m² with an entrance off an existing driveway the is parallel to Garner Road. The subject parcel is elevated several metres higher than the roadway at the location where a proposed garage is planned, there is also an existing tree buffer between the proposed garage and Garner Road.

4.2 <u>Site Context</u>

The site is zone A1 and has a Future Land Use Designation of REP – Resource Protection Area. The property is located on Garner Road in the Belgo – Black Mountain OCP Sector. The surrounding area is primarily zoned A1 – Agriculture 1, and P2 – Education and Minor Institutional.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	A1 – Agriculture 1	Agriculture
East	A1 – Agriculture 1	Agriculture
South	A1 – Agriculture 1	Agriculture
West	P2 – Education and Minor Institutional	Religious assemblies

Subject Property Map: 1625 Garner Rd



4.3 Zoning Analysis Table

Zoning Analysis Table			
CRITERIA	A1 ZONE REQUIREMENTS	PROPOSAL	
	Development Regulations		
Max. Site Coverage (residential buildings)	10%	6.8%	
Max. Site Coverage (accessory buildings)	14%	3.8%	
Min. Front Yard	6.om	4.0m 0	
Min. Side Yard	3.om/ 4.om	3.05m	
Min. Rear Yard	10.0 m 4.5 m (lot width > lot depth) 3.0m (Accessory/carriage house)	14.95m	
Indicates a requested variance to the front yard setback.			

5.0 Application Chronology

Date of Application Received:	June 9, 2021
Date Public Consultation Completed:	July 11, 2021

Report prepared by:	Graham Allison, Planner 1
Reviewed by:	Dean Strachan, Community Planning & Development Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

Attachments

Attachment A: Draft Development Permit DVP21-0145

Attachment B: Applicant's Rationale

Schedule A: Site Plan

Development Variance Permit DVP21-0145



This permit relates to land in the City of Kelowna municipally known as

1625 Garner Road

and legally known as

Lot 1 Section 17 Township 26 ODYD District Plan KAP53187

and permits the land to be used for the following development:

Accessory Building (A1 – Agriculture 1)

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

September 21st, 2021
COUNCIL
A1 – Agriculture 1
REP-Resource Protection Area

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Robert Willy Deubner and Sherry Lee Deubner

Applicant: Summit Land Surveying

Terry Barton Development Planning Department Manager Planning & Development Services Date



1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 11.6 Agricultural Zones, A1 – Agriculture 1, Development Regulations

To vary the front yard setback of an accessory building from 6.om required to 4.1om proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



Robert Willy Deubner Sherry Lee Deubner 1625 Garner Road Kelowna, B.C. V1P 1E5

August 10, 2021

City of Kelowna Planning Department 1435 Water Street Kelowna, B.C. V1Y 1J4

Dear Sir/Madam:

Re: Property: 1625 Garner Road, Kelowna, B.C.

We are the registered owners of 1625 Garner Road, Kelowna, British Columbia. We are writing to seek a setback variance for a detached garage. The current setback is 6 meters, and we are respectively requesting a setback of 4 meters.

The property is .655 acres in size which is a large lot but is an irregular shape. It has three sides which make it not possible to build a detached garage without a variance. The frontage is 84.2 meters. The garage is 6 meters in elevation from the road. We have spoken to all our neighbors and they support my request.

We hope that you agree with our request as it will create an aesthetically appealing detached garage.

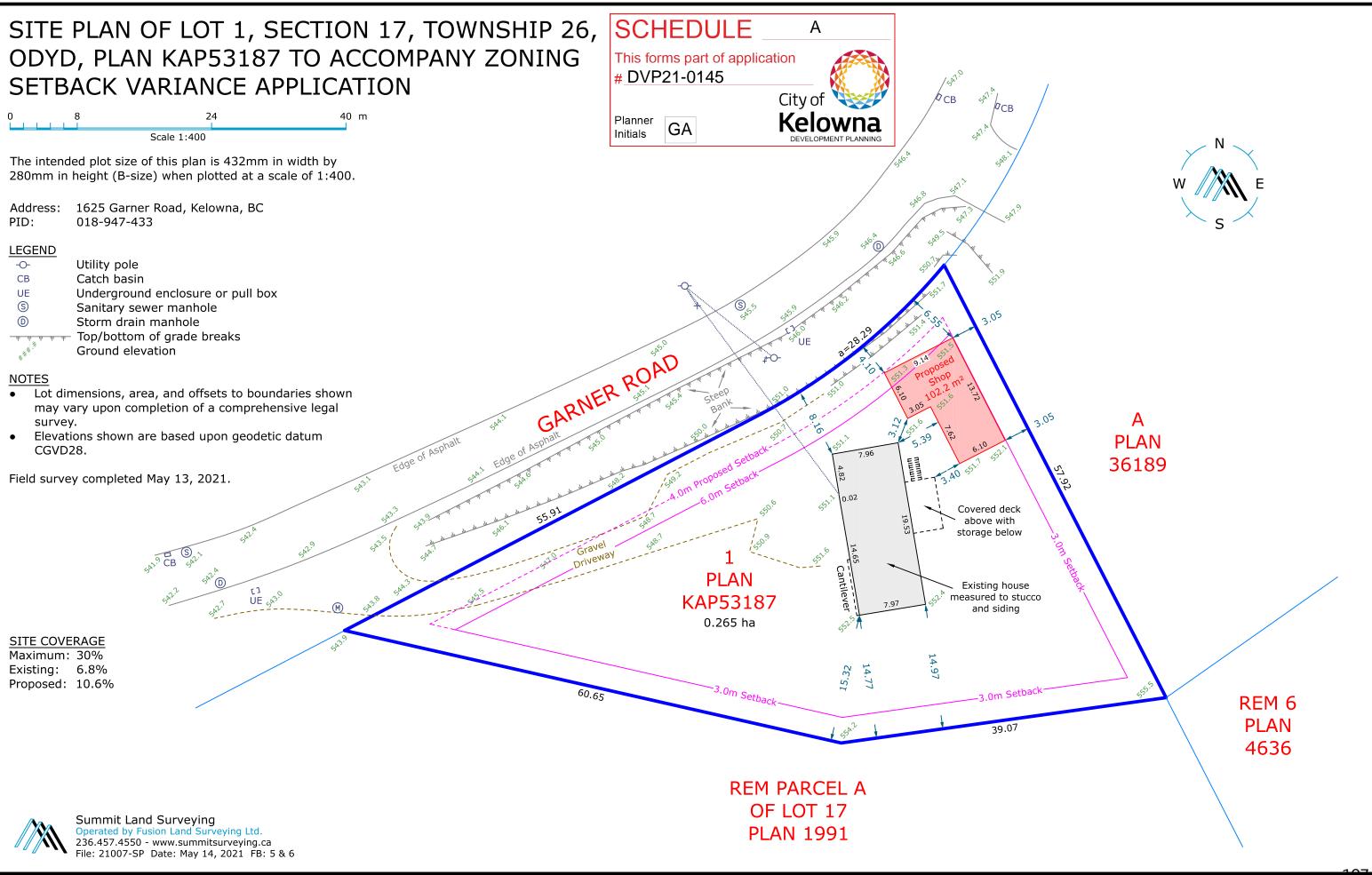
Should you have any questions, please do not hesitate to call Bob @ (250) 869-6285.

Thank you for your consideration.

Yours truly,

Bob and Sherry Deubner









DVP21-0145 1625 Garner Road

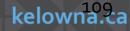
Development Variance Permit





Proposal

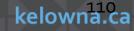
 To vary the front yard setback for an accessory building from 6.om required to 4.om proposed to facilitate a proposed accessory building.





Development Process





Context Map



Site Map





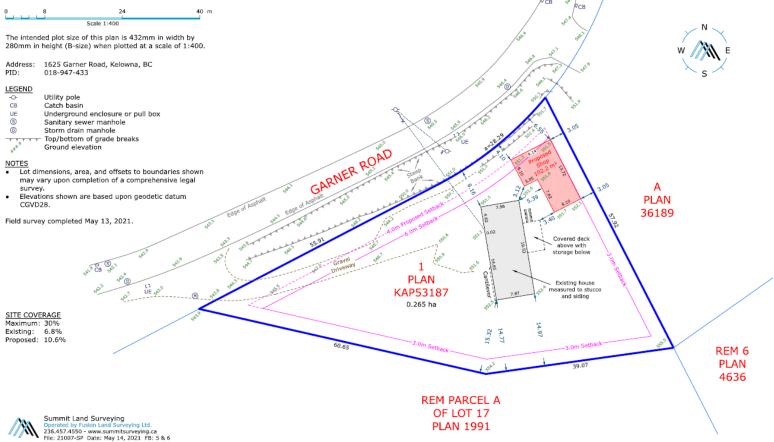
Project/technical details

- The applicant is seeking a front yard variance from 6.om to 4.om to facilitate the construction of an accessory building
- The Variance is being requested due to the irregular size and shape of the lot
- The orientation of the driveway combined with a grade difference between Garner Road and the Proposed building will mitigate the impact of the variance



Site Plan

SITE PLAN OF LOT 1, SECTION 17, TOWNSHIP 26, ODYD, PLAN KAP53187 TO ACCOMPANY ZONING SETBACK VARIANCE APPLICATION

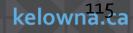


kelowna.ca



Staff Recommendation

- Staff recommend support of the proposed Development Variance Permit Application.
 - Lot size and shape limits building envelope
 - Site elevation and configuration mitigates potential impacts of the proposed building





Conclusion of Staff Remarks





Date:	September 21 ^s		
То:	Council		
From:	City Manager		
Department:	Development Planning		
Application:	DVP21-0160		Owner: Azhadi Vineyards Ltd, Inc.No. BC1155440
Address:	(N OF) Shayler Road		Applicant: Kevin Johnson – Bear Land Development Ltd.
Subject:	Development Variance Permit		
Existing OCP Designation:		REP – Resource Protection Area	
Existing Zone:		A1 – Agriculture 1	

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0160 for Lot 2, Section 33, Township 23, ODYD, Plan EPP8753, located at (N OF) Shayler Road, Kelowna;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 11.1.6(Table 11.1): A1 – Agriculture 1, Development Regulations

To vary the maximum building height from 9.5m permitted to 19.5 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the maximum building height of a proposed Alcohol Production Facility (Winery) from 9.5m to 19.5m to accommodate a proposed vineyard observation structure.

3.0 Development Planning

Staff support the proposed variance to increase the maximum allowable building height. The majority of the proposed winery building is compliant with the City's Zoning Bylaw height regulations except for a portion of the proposed winery building described as a 'Vineyard Observation Tower' which has been architecturally designed to resemble a Persian wind catcher/passive cooling tower. To achieve this architecturally unique design a variance to increase the maximum allowable building height from 9.5m to 19.5m is required.

Observation Towers/stairway entrances are typically exempted from being included in building height calculations under section 6.6.1 of the City's Zoning Bylaw; however, a development variance permit is required to allow this portion of the building as it is integrally connected with the winery building and it is designed to create additional floor space meant to be used by winery guests.

The building is located in an area of least agricultural impact to the land on a large rocky/bedrock knoll in the centre of the property. The proposed variance is not anticipated to impact any views from existing or future structures or home sites due the topography of the site and distance from any residential areas.

4.0 Proposal

4.1 <u>Background</u>

A winery at this location was envisioned since the 'Vintage Landing Area Structure Plan' was created in 2005. In 2018/2019 the property owners established roughly 5 hectares (12.5 acres) of vines/grapes on the subject property. In the Spring of 2021, an additional 5 acres were planted and the remaining arable areas of the site are currently in the process of being prepared for planting. There are no structures on the property except for a cold storage building permitted in 2020 which the owners plan to use for the manufacturing of wine on a temporary basis until the winery building under consideration is completed.

In Spring of 2021 the property owners submitted a 'Farm Protection Development Permit' for the new winery. The building is located in an area of least agricultural impact as the location chosen for the building is on a large rocky/bedrock knoll. As part of the Development Permit process staff have reviewed the proposal for compliance with applicable agricultural regulations. The proposed winery is compliant with the City's Development Permit guidelines and zoning bylaw regulations except that the proposed building features a 'Vineyard Observation Tower' which exceeds the maximum building height stated in the City's Zoning Bylaw.

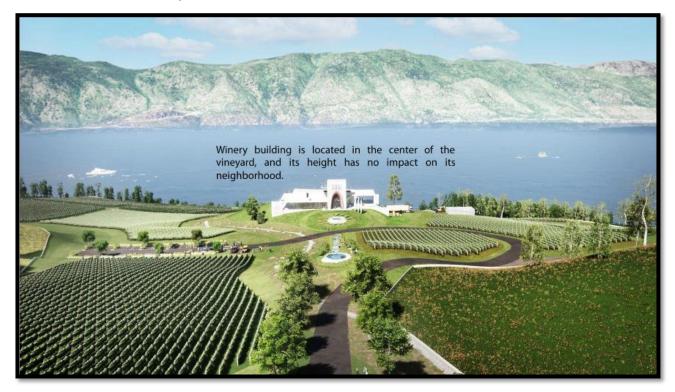


4.2 <u>Project Description</u>

The proposed winery includes significant architectural motifs from Iranian architecture combined with modern western architectural features. To achieve this architecturally unique design, a variance to height is required for the portion of the building deemed to be a 'Vineyard Observation Tower' which has been architecturally designed to resemble a Persian wind catcher/passive cooling tower. A detailed design rational letter and architectural drawings are attached as 'Attachment B'

The proposed observation tower is meant to be used to monitor vineyard growth, ground cover, drainage, irrigation, wildlife, but also for wine tours for guests. Observation Towers/stairway entrances are typically exempted from being included in building height calculations under section 6.6.1 of the City's Zoning Bylaw; however, a development variance permit is required as the space under consideration forms an integral part of the winery building design/entryway and provides approximately 500sqft of additional floor space and a 500sqft un-enclosed deck meant to used by winery guests.

There is little to no visual impact anticipated with the proposed height of the winery building or the vineyard observation structure. This proposed building location is in the middle of the property which will not result in a reduction of productive farm/vineyard area and is more than 300m away from the existing residential areas of McKinley Beach.



4.3 <u>Site Context</u>

The subject property is located in the McKinley City Sector and designated REP – Resource Protection Area in the context of the Official Community Plan. The property is zoned A_1 – Agriculture and located within the Agricultural Land Reserve. The site is surrounded by vacant land zoned A_1 – Agriculture with the exception to the south of the site a portion of the lot abuts lands zoned CD18 which are intended to be used for a mix of residential/commercial uses (McKinley Beach Neighourhood).

Subject Property Map: (N of) Shayler Rd



5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 15: Farm Protection DP Guidelines

Section 1.10 On agricultural lands, locate farm retail sales, wineries, cideries, breweries, distilleries, and any other structures and services related to the public that are defined as farm uses under the ALC Act near the road entrance or in a location that minimizes road construction to reduce the footprint and extent of services through the lot with the goal of reducing impact on the agriculture potential.

Technical Comments

5.2 <u>Development Engineering Department</u>

No comments or requirements associated with this Development Variance Permit

5.3 Ministry of Agriculture

- The size of the vineyard, topography and proposed location of the winery appear to provide sufficient distance such that the winery will not be visually obtrusive to surrounding properties.
- Provided that the observation tower does not require an increase in the footprint of the winery, Ministry staff have no objections.

6.0 Application Chronology

Date of Application Received:June 17th 2021Date Public Consultation Completed:July 8th 2021

Report prepared by:	Alex Kondor, Planner Specialist
Reviewed by:	Dean Strachan, Community Planning & Development Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Variance Permit DVP21-0160

Attachment B: Applicant's Letter of Rational

Development Variance Permit DVP21-0160

Planner AK Initials

DVP21-0160

ATTACHMENT

This forms part of application

А

City of



This permit relates to land in the City of Kelowna municipally known as

(N of) Shayler Road

and legally known as

Lot 2, Section 33, Township 33, ODYD, Plan EPP8753

and permits a variance to following Section of Zoning Bylaw No. 8000:

Section 11.1.6 Table 11.1: A1 – Agriculture 1 Zone Development Regulations

To vary the maximum building height from 9.5m permitted to 19.5 m proposed.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision	September 21 st 2021
Decision By:	COUNCIL
Development Permit Area:	N/A
Existing Zone:	A1 – Agriculture 1 Zone
Future Land Use Designation:	REP – Resourse Protection Area

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Azhadi Vineyards Ltd. Kevin Johnson – Bear Land Development Ltd. Applicant: Planner: Alex Kondor - Planner Specialist

Terry Barton Community Planning Department Manager Planning & Development Services

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

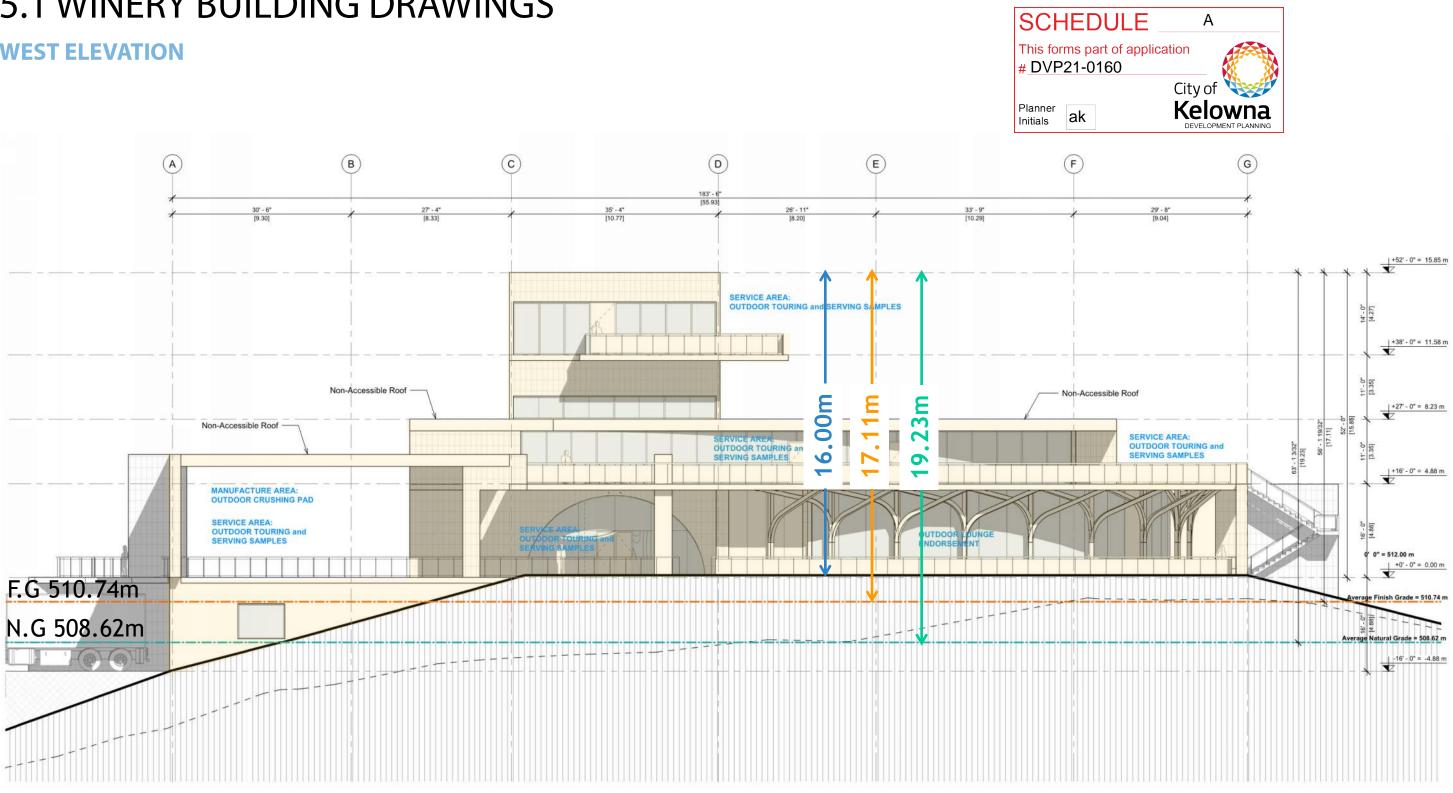
a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

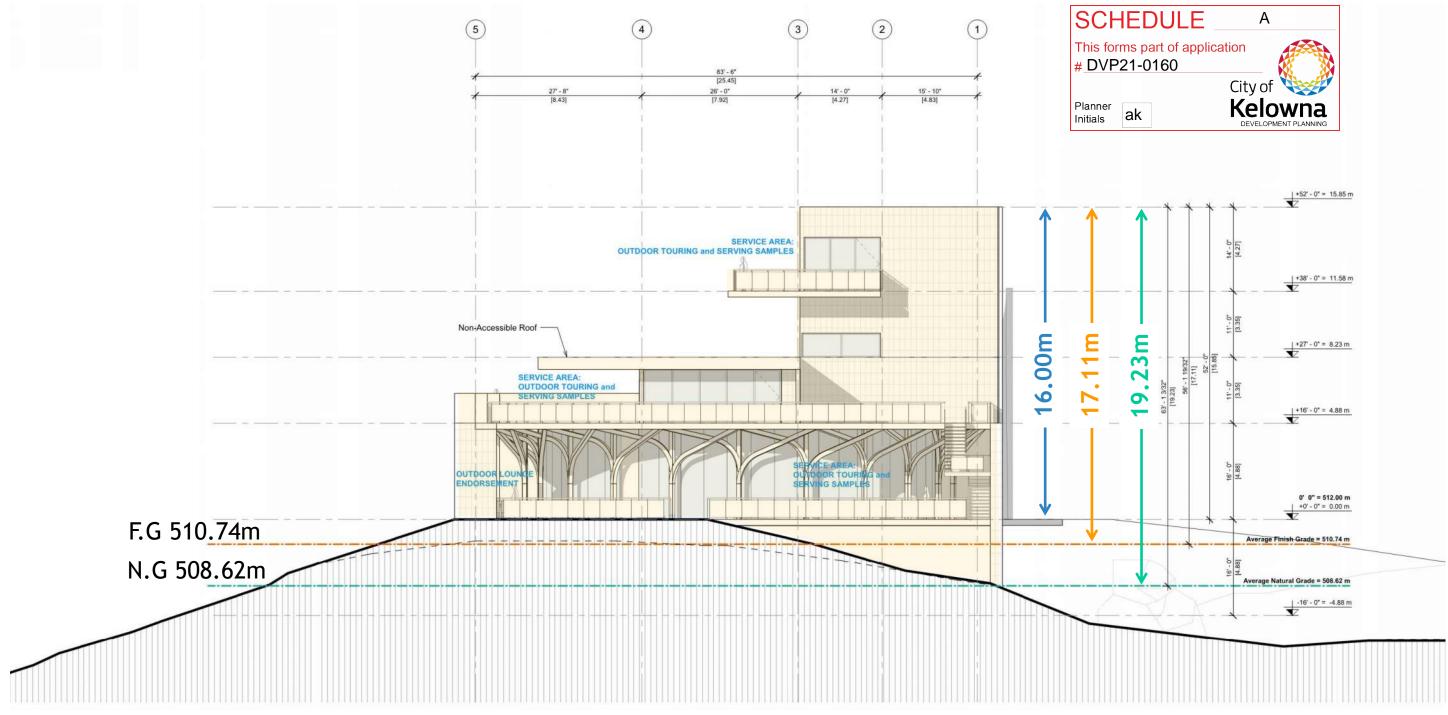
The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



WEST ELEVATION

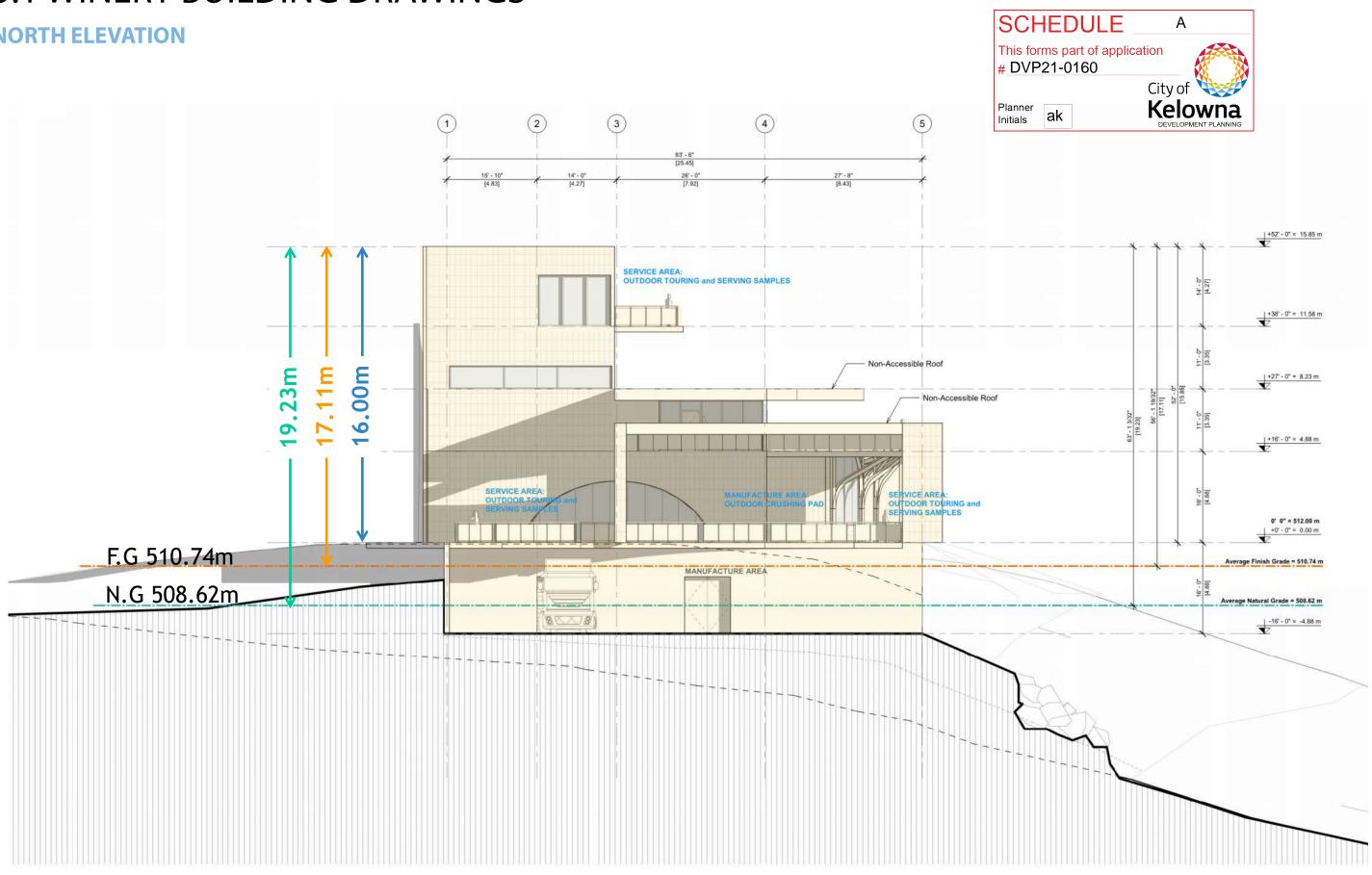


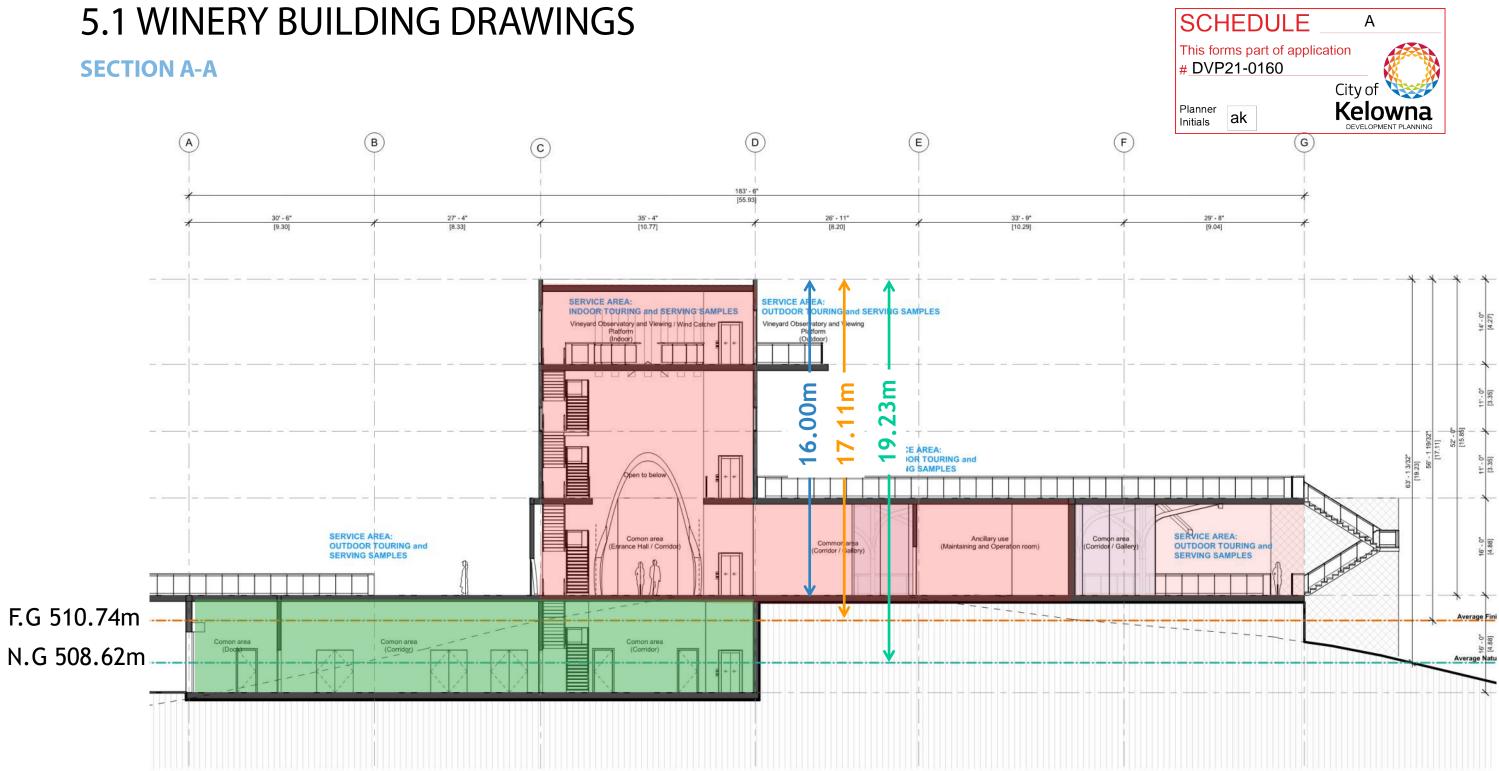




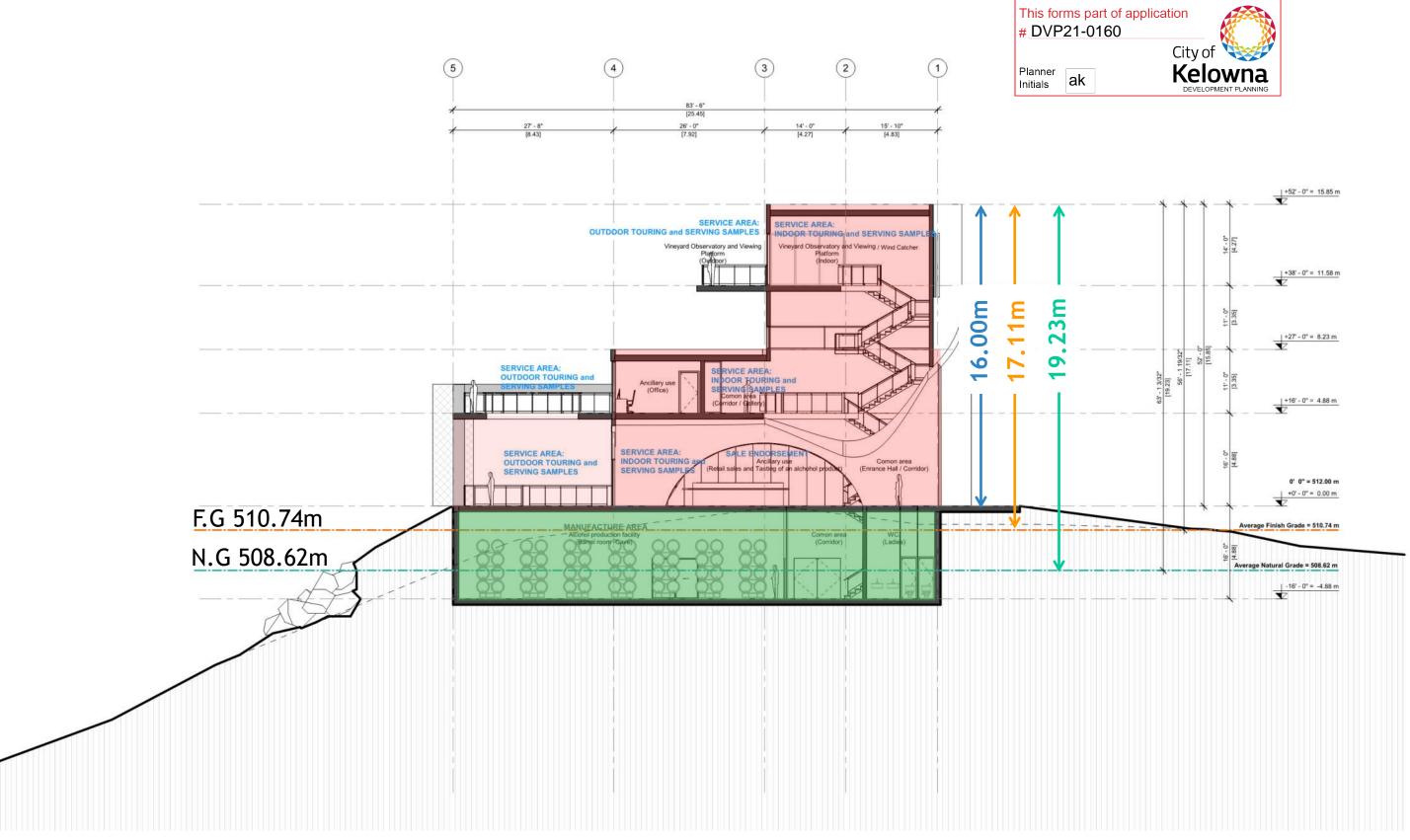


NORTH ELEVATION



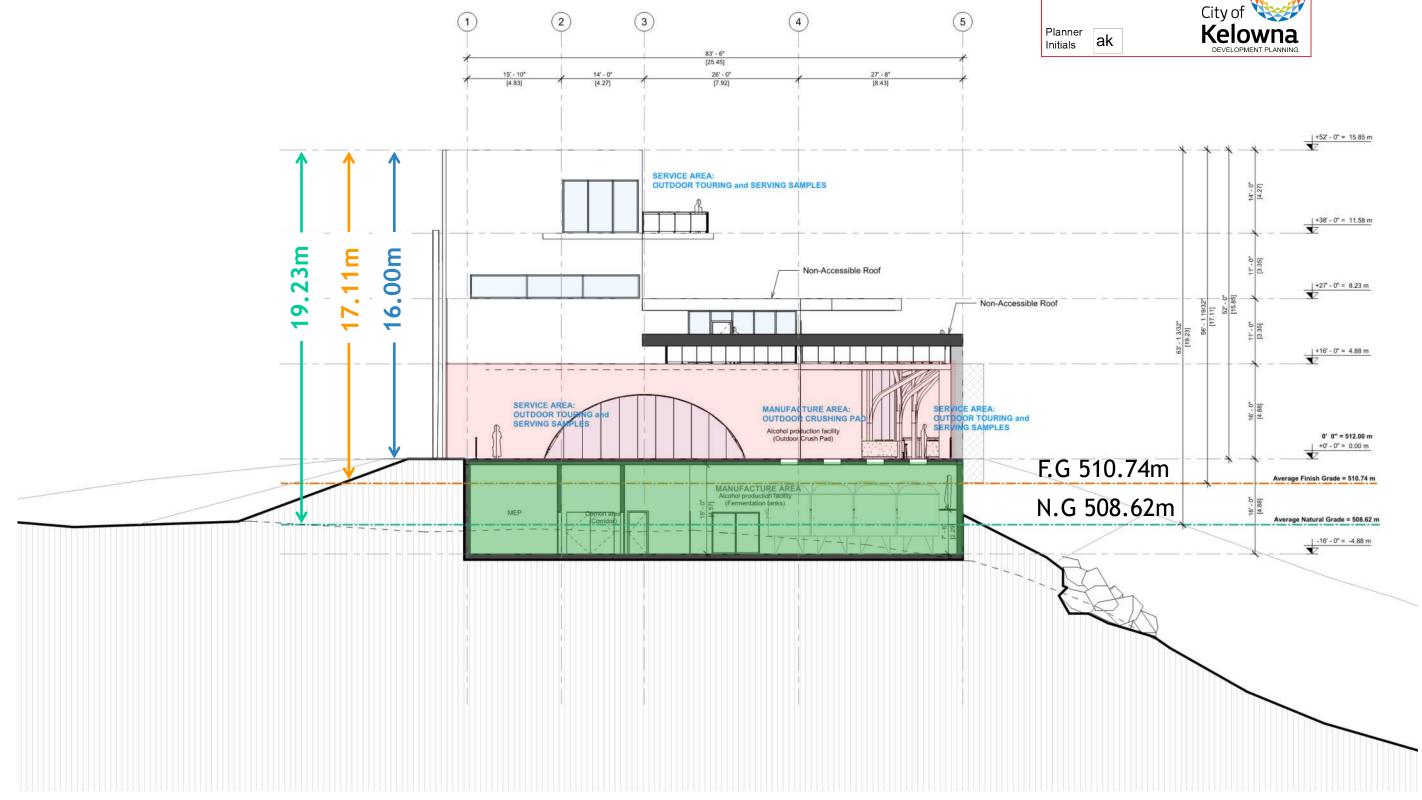


SECTION B-B





SECTION C-C





ATTN: Mayor and Council

Development Variance Permit - Rational

A Development Variance Permit (DVP) is being kindly requested to increase the height of the proposed alcohol production facility (aka. the Azhadi Winery building) to accommodate a vineyard observation structure AND due to the average Natural Grade calculation for the proposed winery building. Additional renderings, figures, videos, and discussion points are included in the Farm Protection Development Permit (Farm DP) and the DVP application package. Below is a summary of key items for Staff and Council's consideration.



The architectural and vineyard observation tower design works in harmony with sustainable vineyard management and winemaking. Space utilization and efficient equipment layout is highly valued. Operational efficiency metrics are critical to operating a successful business and maximizing vineyard potential.

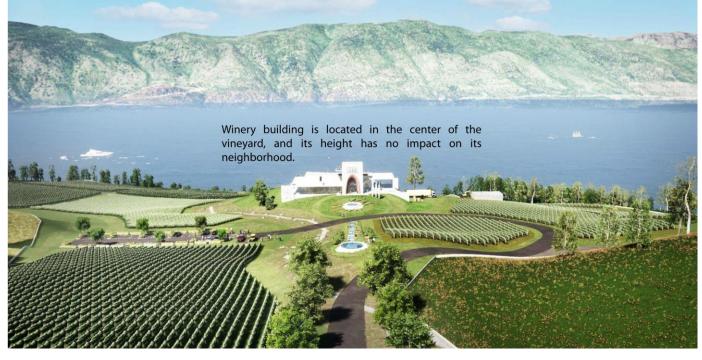
elements, natural shapes, and colors to highlight and complement the land, the sky, and water.

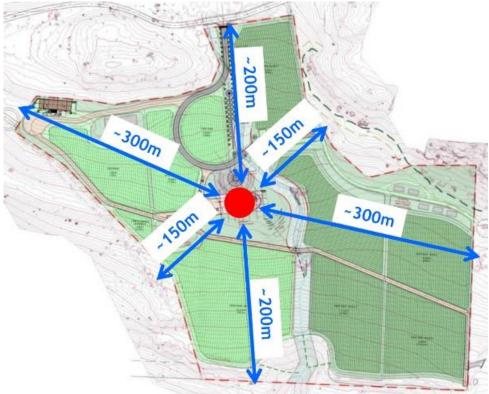
Limited Visual Impact – The Azhadi Vineyard site is roughly 41 acres in size. The principal winery building is located in the center of a large sloping site on top of a large bedrock knoll. The winery is more than 300m from any adjacent buildings or residences in the McKinley area. Due to the site topography characteristics (steep slopes), the winery does not impact any views from existing or future structures or home sites. Initial feedback on the winery building from McKinley Beach development group has been extremely positive, exceeding initial expectations. There is little to no visual impact associate with the proposed height of the winery building or the vineyard observation structure.











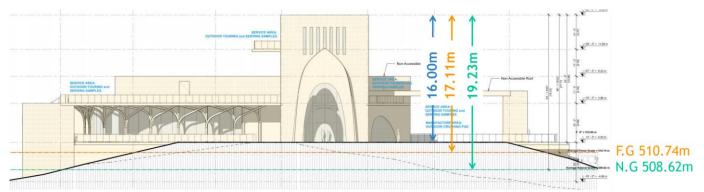
Site Topography and Distance from Neighbouring Properties – Limited to No Visual Impact

Vertical Building and Gravity Process – By way of providing a vertical structure, we are limiting the footprint of the building and maximizing the vineyard potential of the site. The goal is to maximize vineyard area onsite, while utilizing the bedrock outcrops and steep sloped areas for supporting agricultural structures. The slope adaptive and vertical building design also provides opportunity to provide for a gravity wine making process, which helps elevate the quality of the wine produced onsite. The winery layout is based on a Fit-Form-Function approach, while maintaining compliance with the City of Kelowna zoning bylaw requirements, ALC and BCLB regulations.

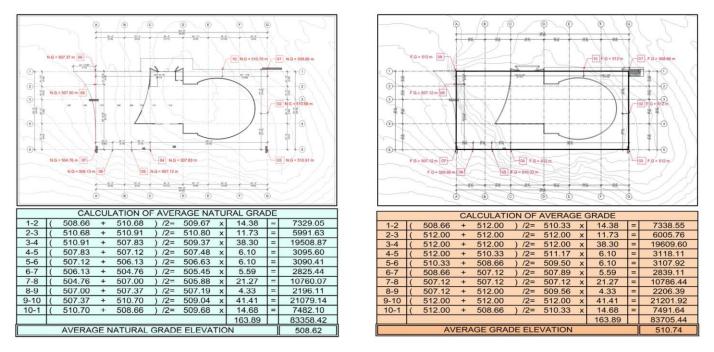


A1 Zone Regulations – respectfully, it should be noted that the actual height of the Vineyard Observation Structure measured from the main/ground floor level is roughly 16m. This complies with the A1 – Agriculture Zoning Bylaw height regulations for Agricultural Structures, which are permitted up to 16m in height. Similarly, the Alcohol Production Facilities (winery) maintains the height regulations of 9.5m (2 ½ storeys), when compared to the main floor elevation. Due to the sloping topography and the way the City calculates Building Grade (Section 6.6.3), a height variance from **9.5m to 19.5m** is required to accommodate the Building Grade calculation for the winery and the proposed vineyard observation tower.

Maintaining Natural Grade – the proposed height variance will also reduce the need for large fill slopes and engineered retaining walls adjacent to the winery building, which is situated on a sloping and irregular site atop a large bedrock outcrop/knoll. The proposed/calculated 19.5m height variance is based on maintaining the majority of the Natural Grade around the perimeter of the winery building.



Height Variance – Average Natural Grade and Average Building Grade Calculation Comparison



Average Natural Grade and Average Building Grade Calculations



Vineyard Observation Tower - The proposed winery building location boast expansive 360° views of the entire property from the center of the site, which provides opportunity for a vineyard observation tower. The Observation tower is used to monitor vineyard growth, ground cover, drainage, irrigation, wildlife, and the occasional wine tour for VIP guests. Respectfully, it should be noted that Section 6.6.1 of the zoning bylaw states that observation towers, elevator housings, and roof stairway entrances shall not be considered for the purposes of determining the height. However, based on collaborative discussions with staff, a height variance was determined to be the best way to move the project forward, without setting any unwanted precedence.

On behalf of the entire Azhadi Vineyard team and Azhadi family, we thank you for your consideration. If there are any additional questions for comments you would like addressed, we are happy to do so. We appreciate the collaborative approach and feedback from City staff to date. We look forward to presenting our vision to Council in the near future.

Regards,

Kevin Johnson, P. Eng. Principal - Project Engineer (Agent)

CC: Mike Azhadi – Azhadi Vineyards Ltd. Manoochehr Azizi – Azizi Architects Ltd. Alex Kondor – City of Kelowna



DVP21-0160 (N of) Shayler Road

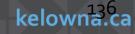
Development Variance Permit





Proposed Variance:

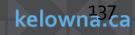
To vary the maximum building height of a proposed Alcohol Production Facility (Winery) from 9.5m to 19.5m to accommodate a proposed Vineyard Observation Structure.



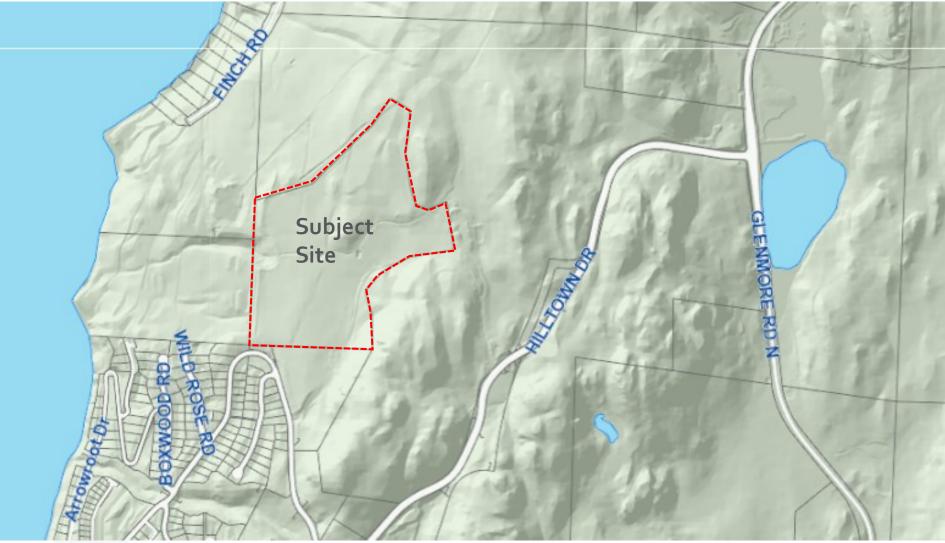
Development Process







Context Map



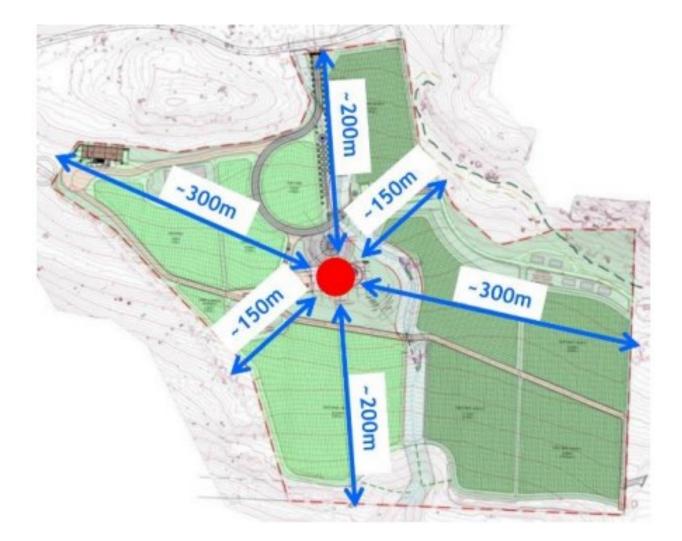




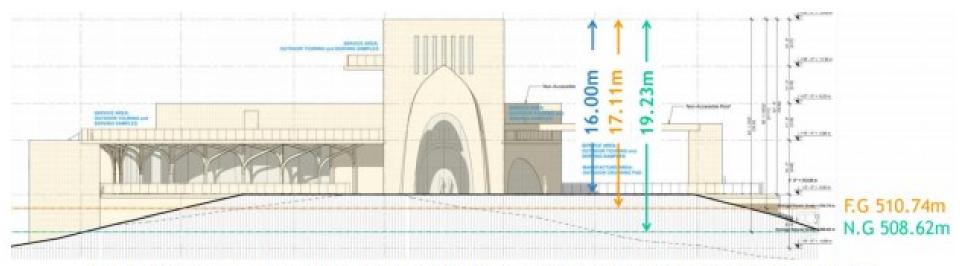
View Looking West Toward Lake Okanagan

Winery building is located in the center of the vineyard, and its height has no impact on its neighborhood.

Proposed Location



Building Height



Height Variance – Average Natural Grade and Average Building Grade Calculation Comparison



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

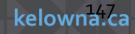




Development Policy

OCP Policy:

On agricultural lands wineries, cideries, breweries, distilleries, and any other structures and services related to the public that are defined as farm uses under the ALC Act near the road entrance or in a location that minimizes road construction to reduce the footprint and extent of services through the lot with the goal of reducing impact on the agriculture potential.





Staff Recommendation

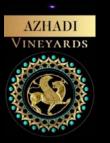
- Staff recommend <u>support</u> for the proposed application:
 - To achieve an architecturally unique design a variance to height is required for the portion of the building deemed to be the 'Vineyard Observation Tower.'
 - The building is located in an area of least agricultural impact on a large rocky/bedrock knoll in the centre of the property.
 - The proposed winery in not anticipated to impact any views from existing or future structures or home sites due the topography of the site and distance from any residential areas.





Conclusion of Staff Remarks







AZHADI VINEYARDS 3778 HILLTOWN DRIVE, KELOWNA, BC.

Development Variance Permit Public Hearing September 21, 2021

2.1 AZHADI WINES VISION

Celebration of unique culture of Canada

- The story of the vineyard and winery will embody East and Western historical influences. In Canada, we celebrate our diverse backgrounds
- Historically integrative design elements are appreciated, ie the ancient Persian origins of wine and architecture
- Mike & Janet Azhadi along with their extended families are proud Canadians. They have a personal and emotional connection to Canada and call Okanagan home while their original roots are from Iran and Europe.

Creating a Place of Gratitude

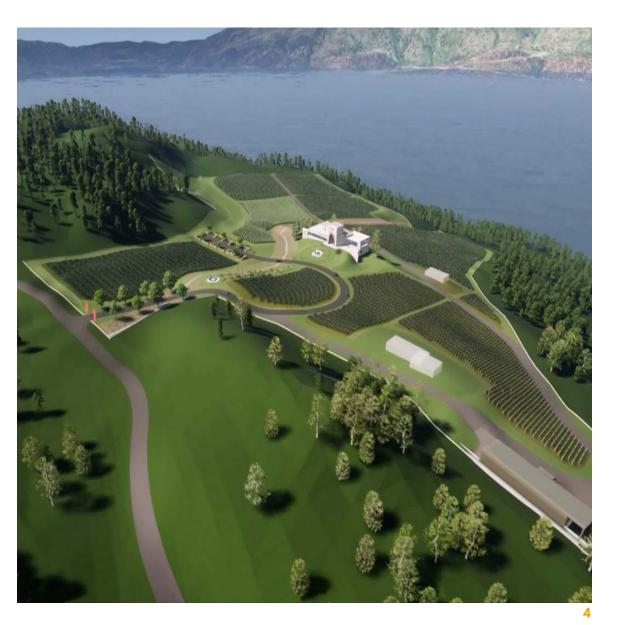
- Winery is to be an intimate sanctuary
- Ancient Persian teaching: Good thoughts, Good deeds, Good words
- Organic elements, natural shapes and colors are preferred
- The expansive view of the lake, mountains & vineyard instills a deep sense of gratitude.

Establishing a Gathering Place

- Winery to be accessible & enjoyable for people to celebration of agriculture.
- Sustainable farming practice and ultimately the wine act as catalysts to bring people together to celebrate life and appreciate humanity
- Winery is to be a philanthropic catalyst Members are acknowledged, as a portion of profits from purchasing cases of wine goes to charities.
- Creating a venue/space for continued support to multiple NGO's.

Fit-Form-Function

- Architectural design works in harmony with sustainable vineyard management and wine making
- Space utilization & efficient equipment layout is highly valued
- Operational efficiency metrics are critical to operating a successful business, maximizing vineyard potential
- Thoughtful Phasing & Expandability will be required.



3.2 MASTER PLAN GENERAL VIEW



3.2 MASTER PLAN GENERAL VIEW



4.3 WINERY BUILDING – BUILDING HEIGHT

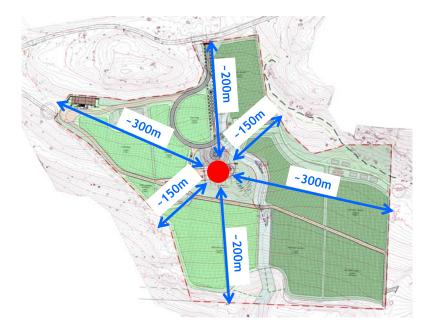
The Winery building will be a mixed-use building of "Agricultural Structure" and "Alcohol Production Facilities" use. Per City of Kelowna's Zoning bylaw Section 11 - Agricultural Zones, table 11.1 to accompany section 11.1.6 Development Regulations, the maximum allowed building height is <u>16.0m for</u> "<u>Agriculture Structure" and 9.5m for "Alcohol Production Facilities building"</u>.

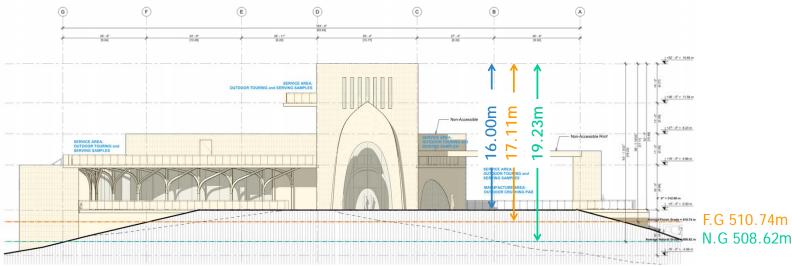
Per building height definition on 6.6.1 of City of Kelowna's Section 6 – General Development regulations:

In determining whether a development conforms to the maximum height permitted in any zone, structures such as chimney stacks, aerials, antennae, water towers, wind machines, monuments, <u>observation and transmission</u> <u>towers</u>, farm silos, steeples, <u>elevator housings</u>, <u>roof stairway entrances</u>, ventilating equipment, firewalls, skylights, or flagpoles for federal, provincial, or municipal flags shall not be considered for the purpose of determining the height.

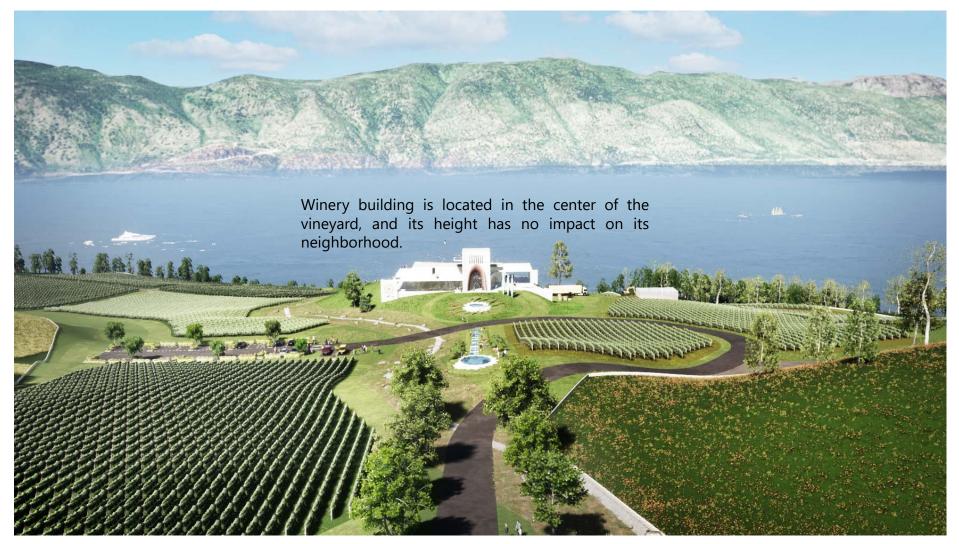
Although the "observation and Transmission Tower" is not considered for the purpose of determining the height, but to reduce the budling footprint and increase landscape and planting area, it is combined with the main winery building, which has increased the total building height to 19.5m.

Winery building is located in the center of the vineyard, where its height has

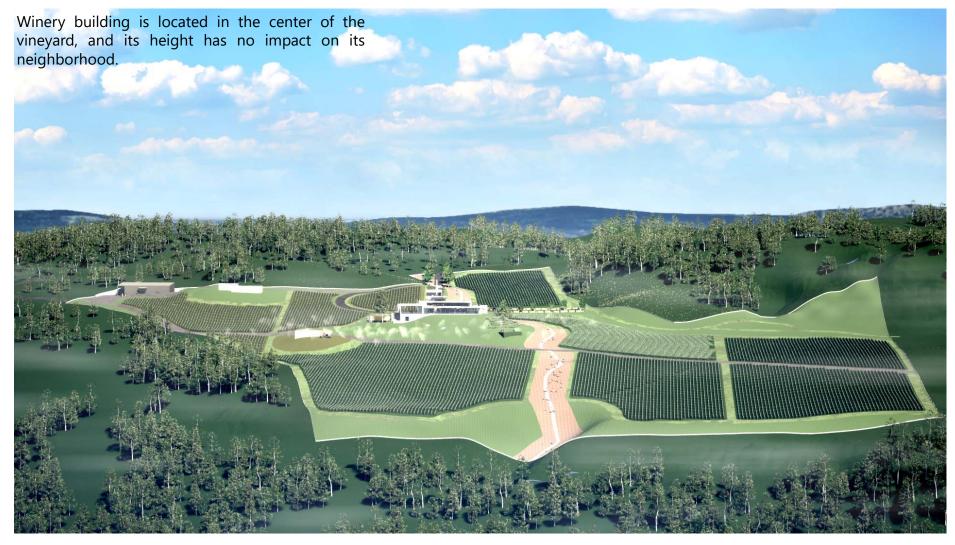




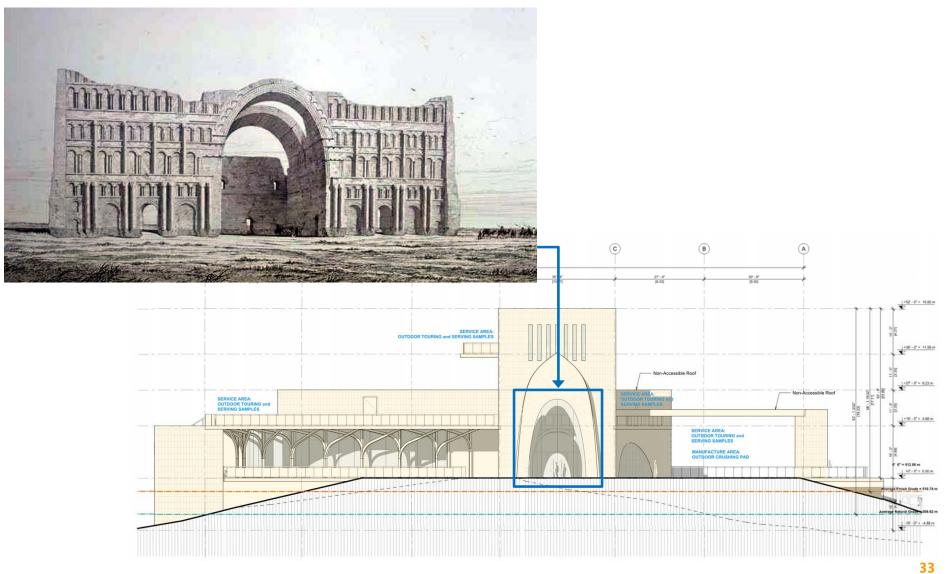
FROM VINEYARD'S MAIN ENTRANCE TO THE WEST



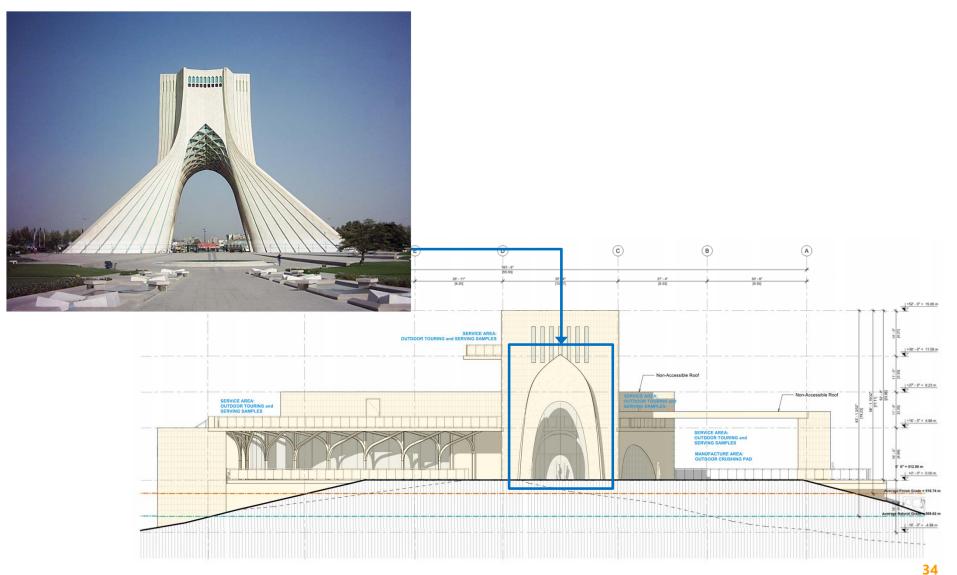
FROM WEST TO THE EAST



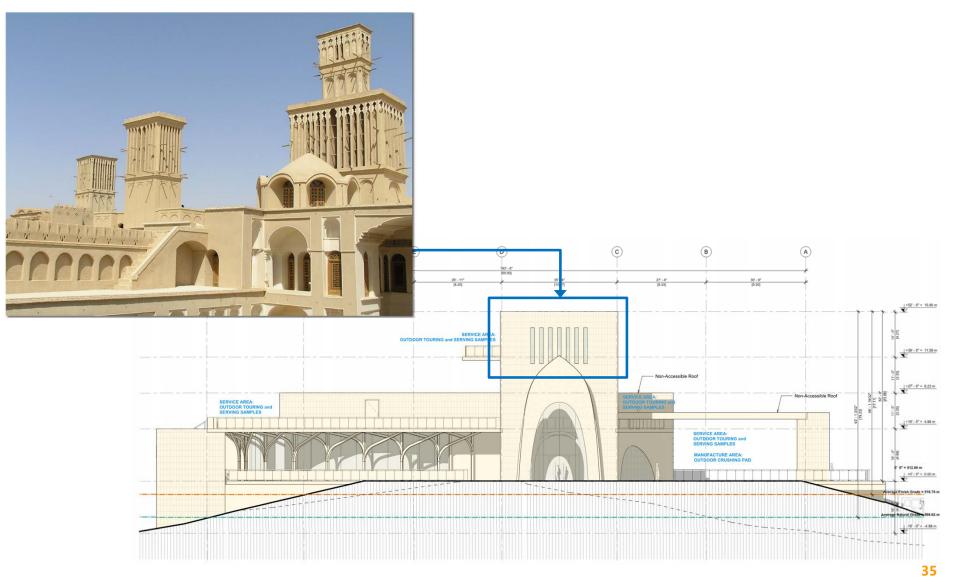
Taq Kasra – Architect: Unknown



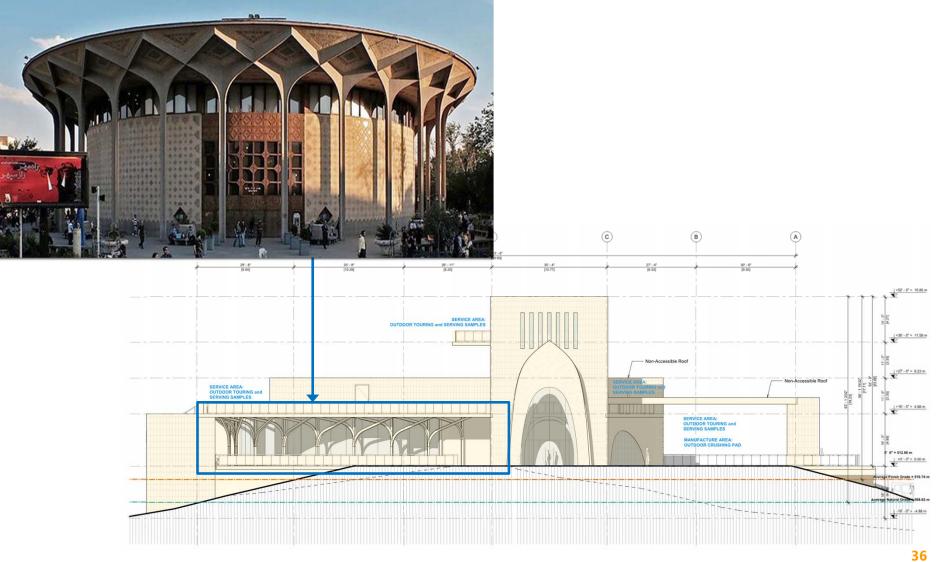
Azadi Monument – Architect: Hossein Amanat



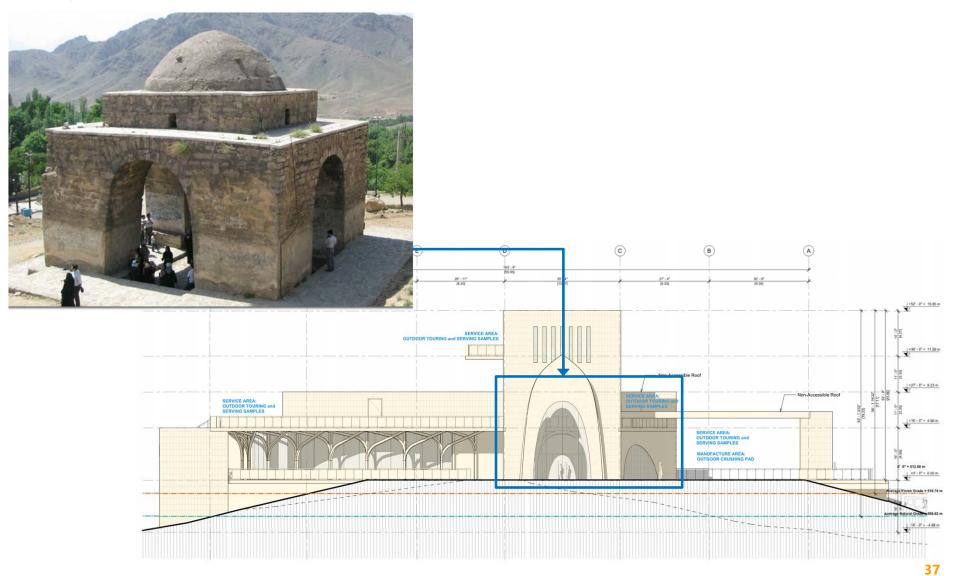
Wind Catcher – Architect: Unknown



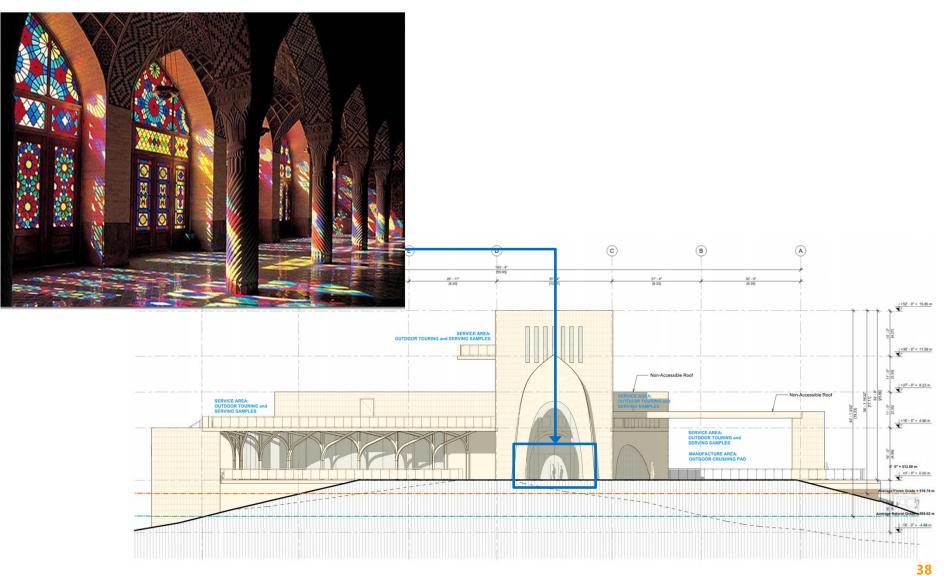
Tehran City Theater – Architect Amir Ali Sardar Afkhami



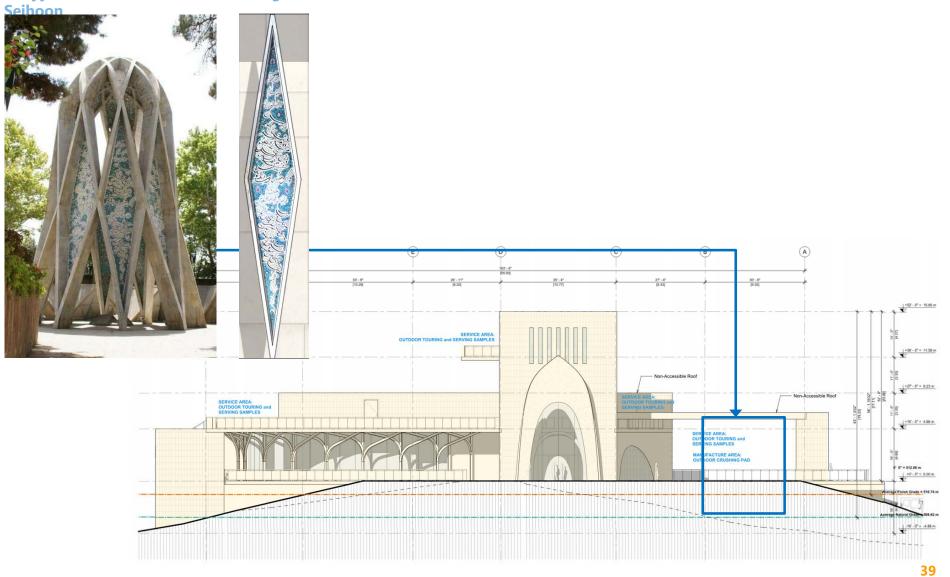
Fire Temple – Architect: Unknown



Stain Glass – Architect: Unknown



Khayyam Tomb – Architect: Houshang



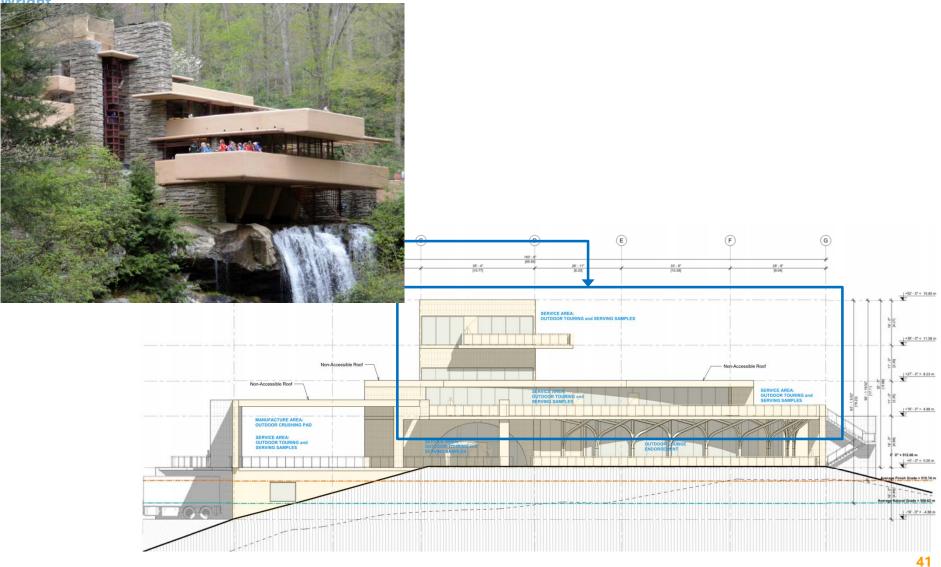
6.2 Reflecting Modern Architectural Motifs

Hillborn House- Architect: Arthour



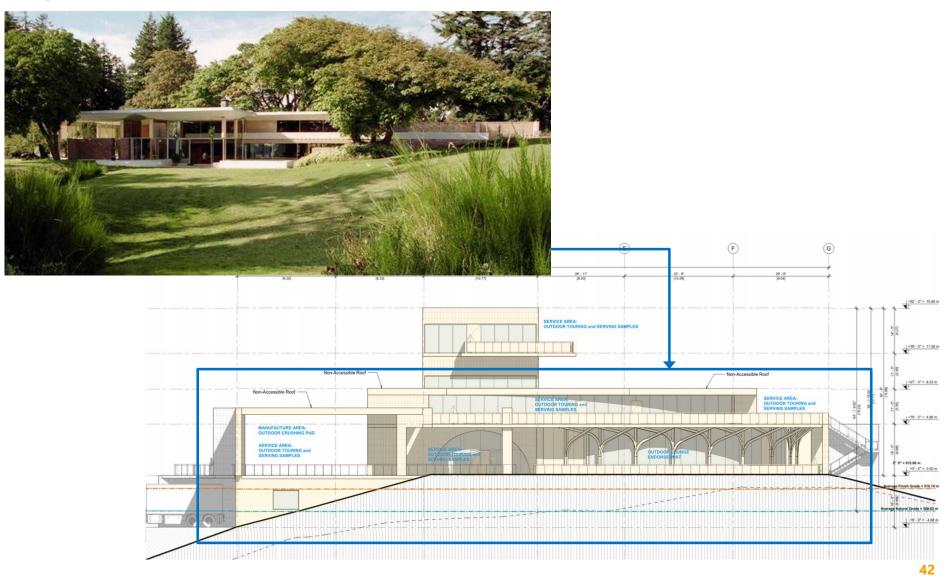
6.2 Reflecting Modern Architectural Motifs

Fallingwater House – Architect: Frank Lloyd



6.2 Reflecting Modern Architectural Motifs

Filberg House – Architect: Arthur Erickson



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



FROM THE LAKE TO THE VINEYARD



GRATITUDE

Any Questions regarding the Building Height - DVP?

Any Other Questions are welcome?





Date:	September 21 st , 2021			
То:	Council			
From:	City Manager			
Department:	Development Planning			
Application:	DVP21-0165		Owner:	EJF Holdings Ltd., Inc.No. BC0778933
Address:	160 Swick Road		Applicant:	Urban Options Planning Corp.
Subject:	Development Variance Permit			
Existing OCP Designation:		REP – Resource Protection Area		
Existing Zone:		RR2 – Rural Residential 2		

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0165 for Lot 1 Section 16 Township 28 SDYD Plan 39170, located at 160 Swick Road, Kelowna, BC;

AND THAT variance to the following sections of Zoning Bylaw No. 8000 be granted:

Section 12.2.6(d): RR2 – Rural Residential 2 – Development Regulations:

To vary the side yard setback of the principal dwelling from 3.0m required to 2.38m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the side yard setback of the principal dwelling from 3.0m permitted to 2.38m proposed to facilitate the construction of a new addition.

3.0 Development Planning

Staff support the proposed Development Variance Permit for the side yard setback for the principal dwelling to facilitate a new addition. The existing building was constructed in 1993 and met all the setbacks of the former Zoning Bylaw. The property currently has an existing side yard setback of 1.90m, which is considered legal non-conforming. The applicant is proposing an addition for a new garage and gym on the second floor with a setback of 2.38m. Although they are moving the structure further back from the existing setback, they are required to apply for a variance. The steep grade and environmentally sensitive

areas make this area the most appropriate area for a house addition. No neighbourhood impacts are anticipated with the proposed location of the detached garage.

4.0 Proposal

4.1 <u>Project Description</u>

The applicant is seeking a Development Variance Permit to facilitate a new addition to the existing singlefamily dwelling. The proposal is to build an addition for a new garage, which will be on the main floor and a gym on the second floor. The existing building was built with a 1.9m setback and the applicant is proposing to move the building further back to 2.38m. The applicant has indicated that all other regulations of the Zoning Bylaw can be met.

4.2 <u>Site Context</u>

The subject property is zoned RR₂ – Rural Residential 2 and has a Future Land Use Designation of REP – Resource Protection Area. The property is located on Swick Road in the Southwest Mission OCP Sector. The surrounding area is primarily zoned RR₂ – Rural Residential 2, RR₁ – Rural Residential 1 and A₁ – Agriculture 1.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	W1 – Recreational Water Use	Okanagan Lake
East	RR2 – Rural Residential 2	Single-Family Home
South	RR2 – Rural Residential 2	Single-Family Home
West	N/A	City of Kelowna Pumphouse

Subject Property Map: 160 Swick Road



4.3 Zoning Analysis Table

Zoning Analysis Table				
RR2 ZONE REQUIREMENTS	PROPOSAL			
Existing Lot/Subdivision Regulations				
1.oha	6,250m² (0.625ha)			
36.om	54.51M			
30.om	109.66m			
Development Regulations				
20%	7.3%			
9.5m	7.32m			
6.om	29.6mm			
3.om	9.66m			
3.om	2.38m 0			
	RR2 ZONE REQUIREMENTS xisting Lot/Subdivision Regulation 1.oha 36.om 30.om Development Regulations 20% 9.5m 6.om 3.om			

5.0 Application Chronology

Date of Application Received:	June 29, 2021
Date Public Consultation Completed:	July 14, 2021

Report prepared by:	Tyler Caswell, Planner I
Reviewed by:	Dean Strachan, Community Planning & Development Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

Attachment A: Draft Development Permit DVP21-0165

Attachment B: Applicant's Rationale

Attachment C: Conceptual Elevations

Schedule A: Drawing Package / Site Plan



This permit relates to land in the City of Kelowna municipally known as

160 Swick Road

and legally known as

Lot 1 Section 16 Township 28 SDYD Plan 39170

and permits the land to be used for the following development:

Single-Family Dwelling (RR2 – Rural Residential 2)

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision	September 21 st , 2021
Decision By:	COUNCIL
Existing Zone:	RR2 – Rural Residential 2
Future Land Use Designation:	REP – Resource Protection Area

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: EKF Holdings Ltd., Inc.No. BC0778933

Applicant: Urban Options Planning Corp.

Terry Barton Development Planning Department Manager Planning & Development Services Date



1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

<u>Section 12.2.6(d): RR2 – Rural Residential 2 – Development Regulations:</u>

To vary the side yard setback of the principal dwelling from 3.0m required to 2.38m proposed.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.







June 18, 2021

City of Kelowna Urban Planning Department 1435 Water Street Kelowna, BC

Development Variance Permit Application to Construct a Garage Addition at 160 Swick Road

Dear Planning Staff,

The purpose of this application is to secure a Development Variance Permit to allow for an addition to the existing house, containing a garage on the lower storey and a gym on the upper storey. The property at 160 Swick Road has existed since before the 1960's, and the house was originally constructed in 1962. Due to the age of the house, the landowner wishes to upgrade while maintaining the original design and character of the façade. As many mid-century modern homes in Kelowna have been demolished, it is important to preserve the existing house on the subject property, as it provides a sense of character and historical significance to the neighbourhood. Structurally, the existing carport is beginning to fracture and therefore needs to be replaced.

Under the previous and current configuration of the property, the driveway access to the carport encroaches onto the land designated as Swick Road, which was once part of the subject property. Although undeveloped as a road, this land was taken from the subject property by the City as part of a previous subdivision. This portion of Swick Road is currently used as a path for City Staff or Water Technologist to access the water pump station at the foreshore. As shown on the attached drawings, the proposed garage has been designed to take direct access from the driveway, therefore any encroachment onto Swick Road will no longer occur. In addition, the ALR land on the west side of the property will not be affected by the proposal.

Before the Building Permit application can occur, a DVP application will be necessary to reduce the side yard setback from 4.5m to 2.38m to allow for the addition. Although a Variance is being requested, the proposal provides less of an encroachment than the existing carport, which is legal non-conforming and located 1.90m from the east property line. The Swick Road pathway is separated from the subject property by trees, this Development Variance application will allow for a greater separation of structures and vehicles on the subject property from the Swick Road pathway. Since this portion of land has already been developed, no further land disturbance will occur.

On the east edge of the subject property, there is an underground water drainage line which runs parallel to the Swick Road pathway from the cul-de-sac to the lake. However, after conversation with the City's Environmental Technician, we have confirmed that the proposed setback will not impact the area nor require an Environmental DP.

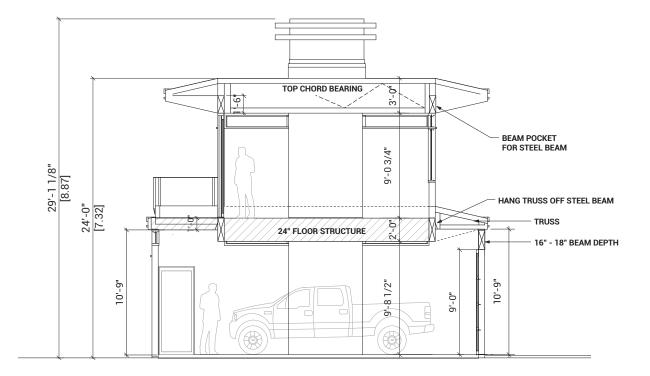
In conclusion, we believe this Development Variance Permit application will benefit the landowners, the neighbourhood, and the City of Kelowna by allowing for the upgrade and preservation of a beautiful mid-century modern home. In addition, the driveway access will be modified, therefore removing the existing encroachment onto the Swick Road pathway and bringing the property into conformance.

Regards,

Birte Decloux, RPP MCIP Urban Options Planning Corp.







SECTION AA

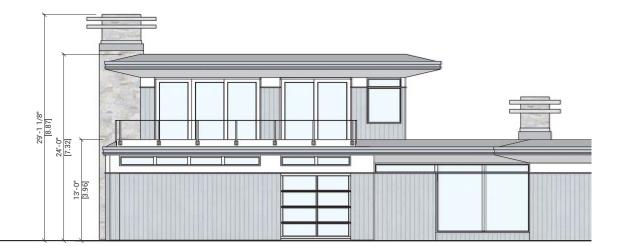
JUN 16, 2021 WEST COAST DESIGN



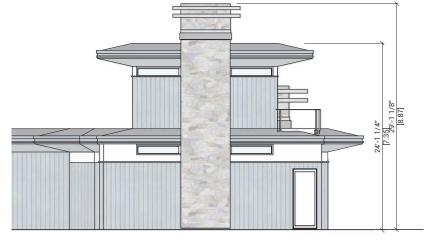


SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION SCALE: 1/8" = 1'-0"



JUN 16, 2021

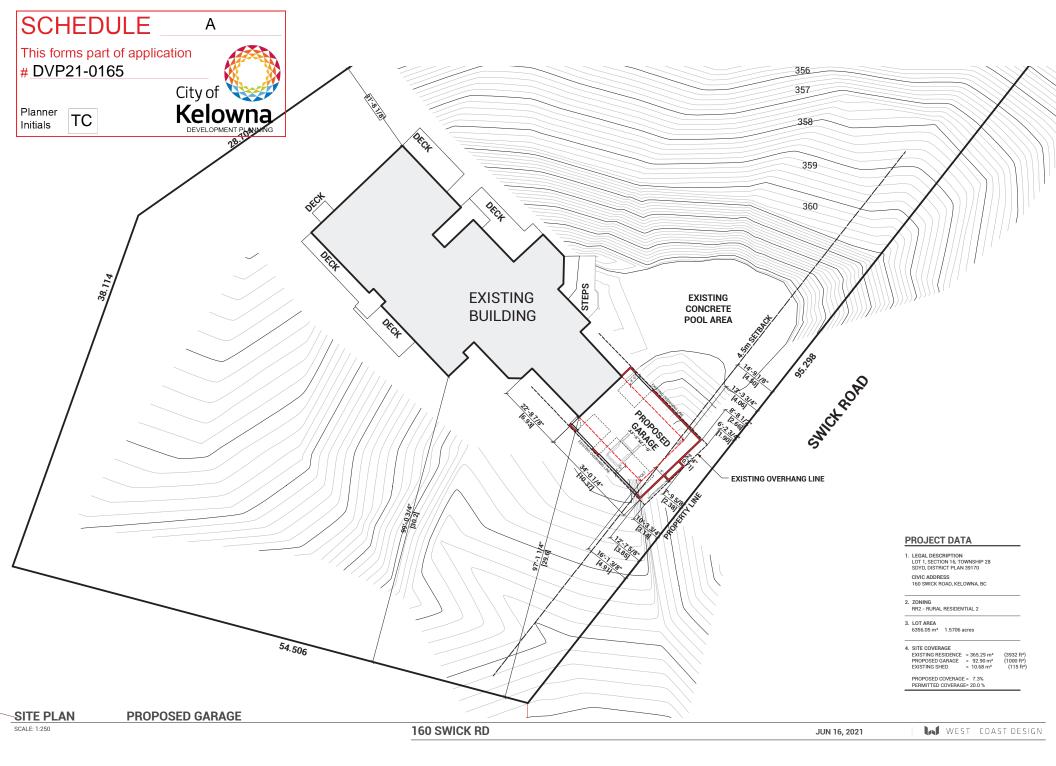
EAST ELEVATION SCALE: 1/8" = 1'-0"

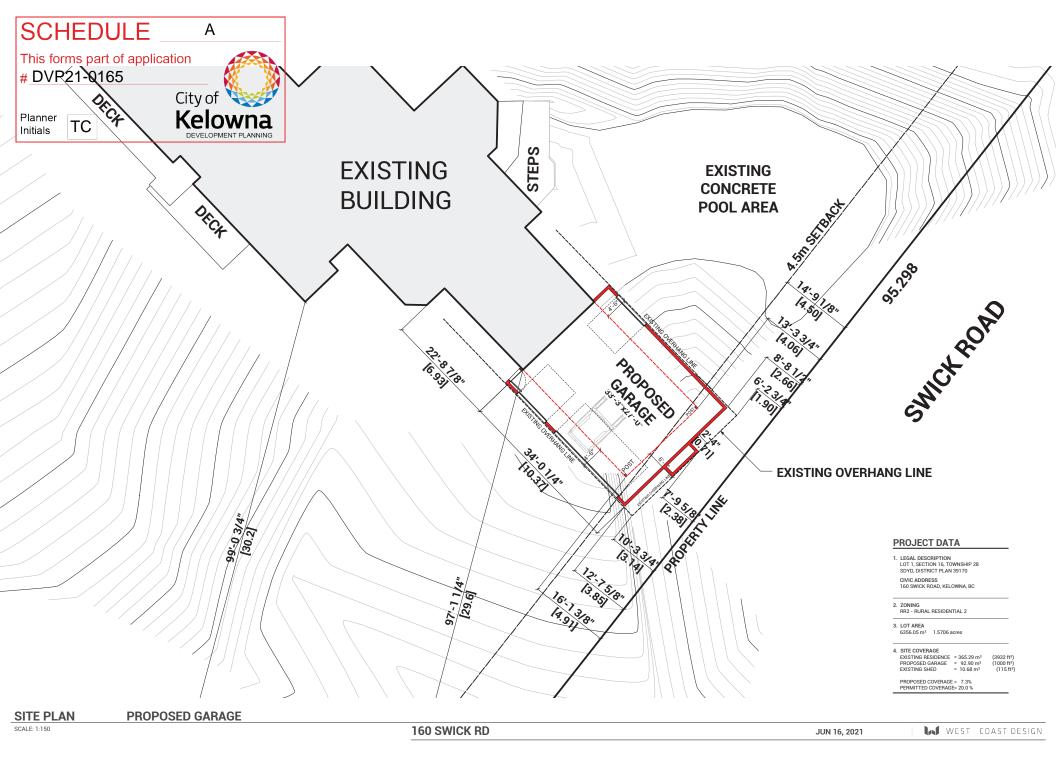
WEST | COAST DESIGN

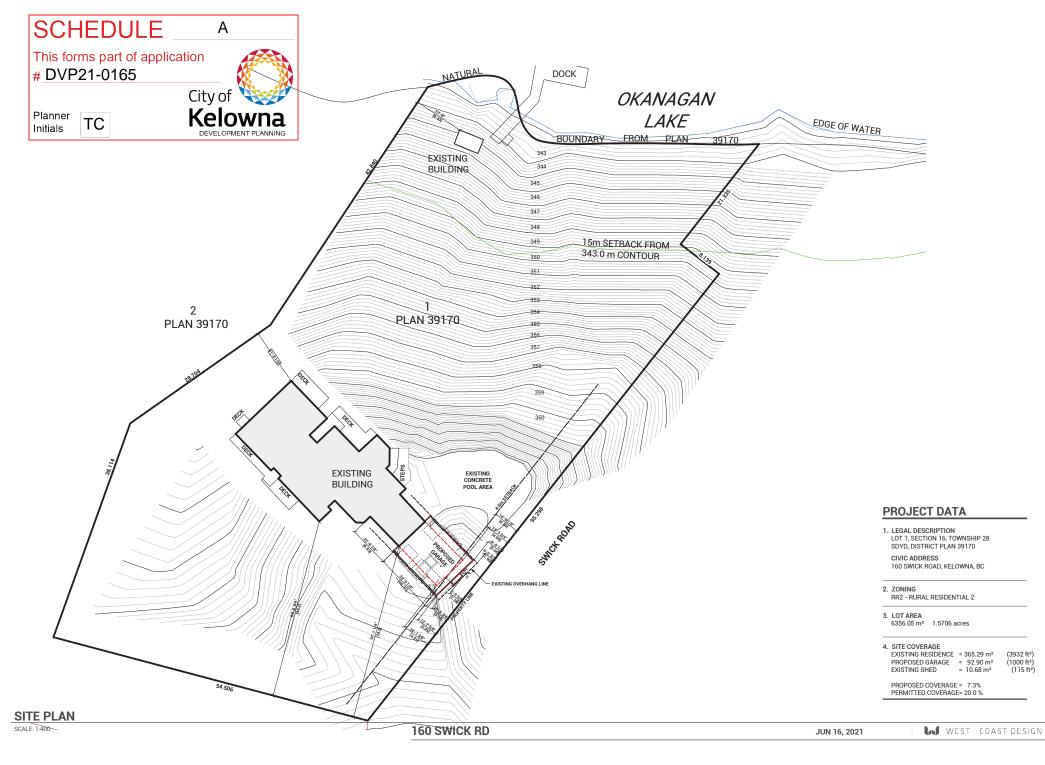
160 SWICK RD

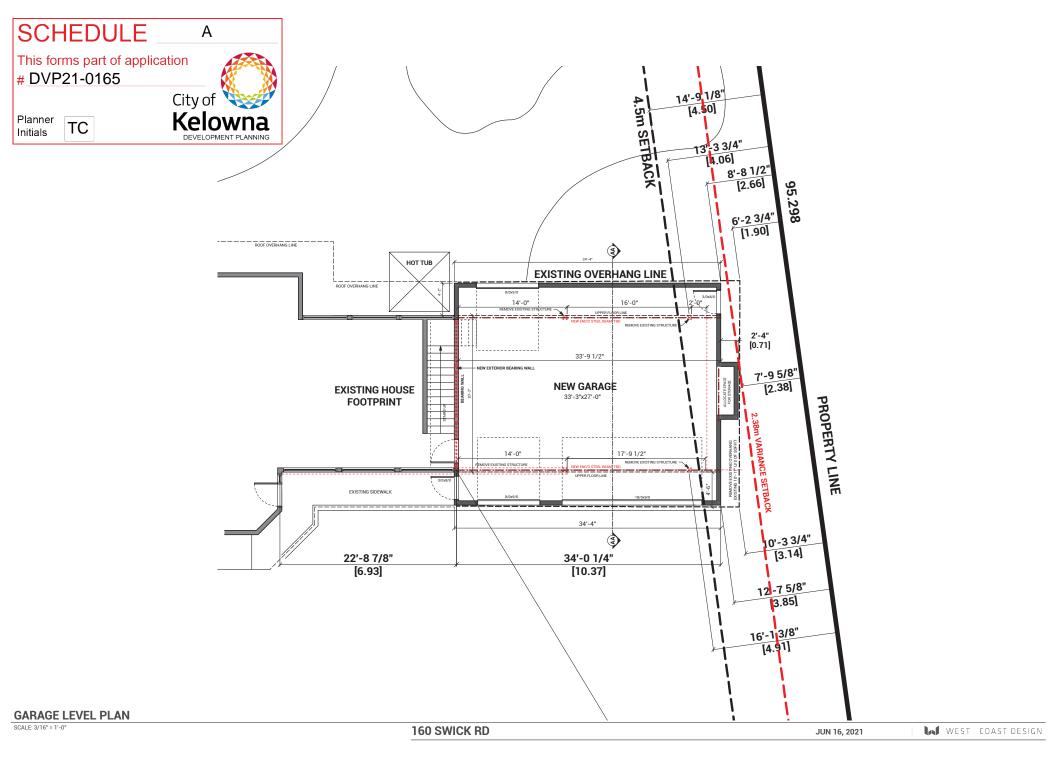














DVP21-0165 160 Swick Road

Development Variance Application





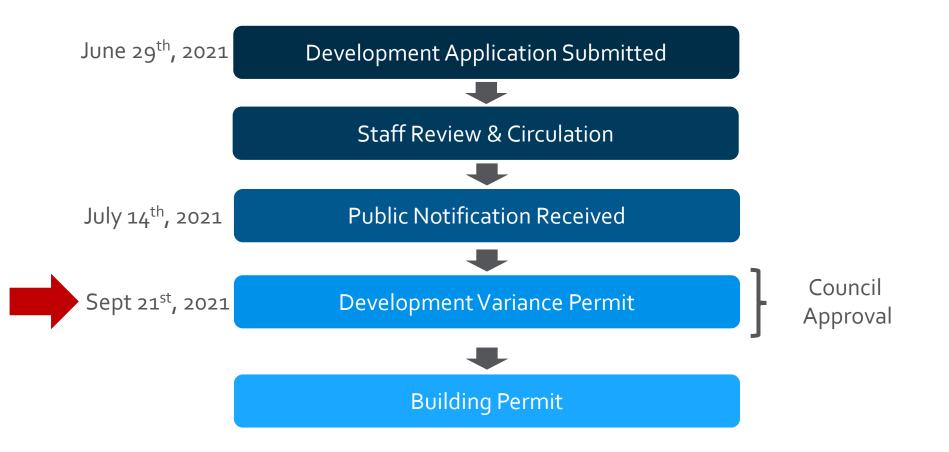
Proposal

To consider a Development Variance Permit to vary the side yard setback of the principal dwelling from 3.om permitted to 2.38m proposed to facilitate the construction of a new addition.



Development Process





kelowna.ca

Context Map



Site Map



Site Photos

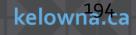


Frontage & Access to the Existing Dwelling

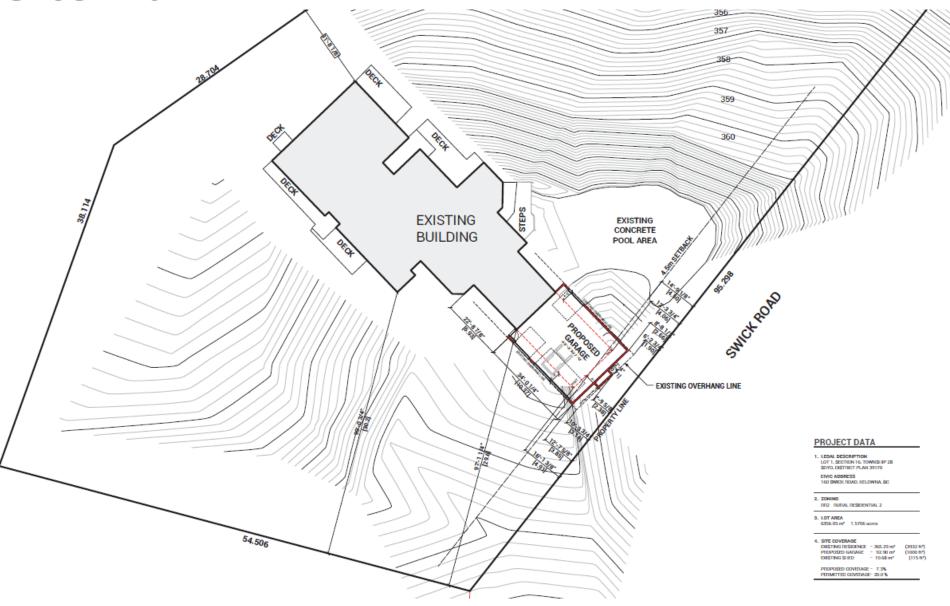


Project/technical details

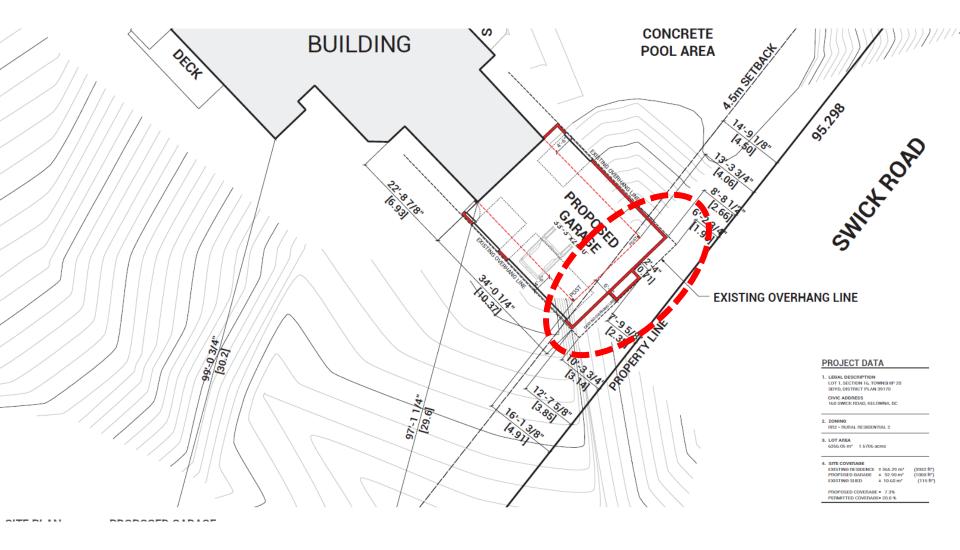
- The applicant is seeking one variance to facilitate the construction of a new addition:
 - A variance the side yard setback for the principal dwelling from 3.0m to 2.38m.
- The existing structure is built at 1.9m and the setback is moving it further away from the lot line.
- The new addition will be used for a garage and a gym within the principal dwelling.



Site Plan

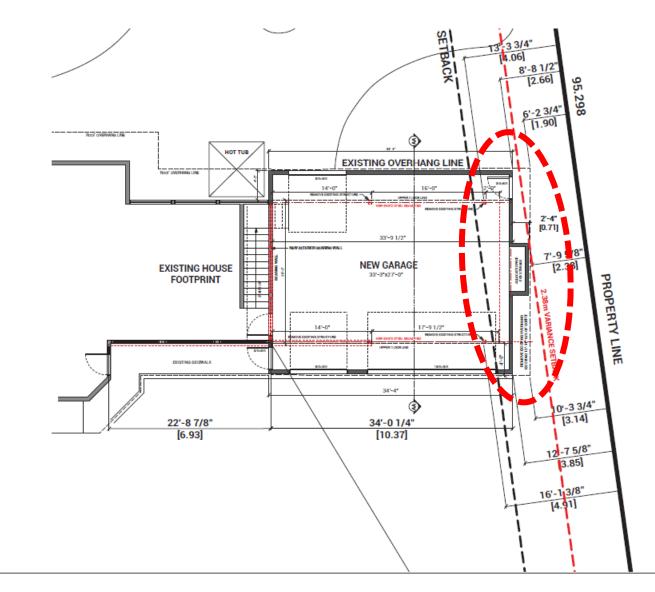


Proposed Variance



Proposed Variance

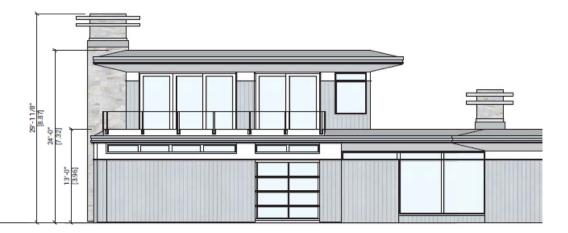
GARAGE LEVEL PLAN



Conceptual Design



SOUTH ELEVATION





EAST ELEVATION SCALE: 1/8" = 1'-0"

NORTH ELEVATION SCALE: 1/8" = 1'-0"

City of Kelowna

Conceptual Design



Conceptual Design





Staff Recommendation

- Staff recommend support of the proposed Development Variance Permit application.
 - The setback is getting less impactful from 1.9m existing to 2.38m proposed.
 - No/Minimal neighbourhood impacts are anticipated.





Conclusion of Staff Remarks





Date:	September 21 st , 2021			
То:	Council			
From:	City Manager			
Department:	Development Planning			
Application:	DVP21-0177		Owner:	Damien Ignace Prud'homme & Stephanie Anne Edwards
Address:	1400 Braemar St		Applicant:	Damien Prud'homme
Subject:	Development Variance Permit Application			
Existing OCP Designation:		S2RES – Single/Two Unit Residential		
Existing Zone:		RU6 – Two Dwelling Housing		

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0177 for Lot 13 Section 20 Township 26 ODYD Plan 14090, located at 1400 Braemar Street, Kelowna, BC;

AND THAT variance to the following section of the Zoning Bylaw no. 8000 be granted:

Section 13.6.6(h): RU6 – Two Dwelling Housing – Development Regulations:

To vary the rear yard setback of a dwelling from 7.5 m required to 2.3 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To issue a Development Variance Permit for the rear yard setback from 7.5 m permitted to 2.3 m proposed to facilitate the construction of a second single-family dwelling.

3.0 Development Planning

Staff support the proposed Development Variance Permit for the rear yard setback for an additional singlefamily dwelling. The RU6 zone requires all residences to have 7.5m rear yard setback because the majority of RU6 properties do not have a laneway. If the property does not have a laneway, the 7.5m setback protects the privacy of the neighbouring property. However, this small area in the Bankhead Community is zoned RU6 with laneway access. In comparison, both carriage houses and RU7 developments are permitted to have a o.9m setback from any laneway because laneway-oriented units will give the laneway a street-feel and add to the character of the neighbourhood. Staff believe the treatment of an additional residence on an RU6 property with a laneway may be similar to how we interpret the other zones that encourage smaller laneway setbacks.

4.0 Proposal

4.1 <u>Project Description</u>

The applicant is seeking a rear yard setback variance to allow for a second single-family home on the subject property. The second dwelling will be consisting of a double car garage, will be designed to be modern craftsman style and is proposed to be two bedrooms and two-storeys with a rooftop deck. The second dwelling and will be connected to all municipal services. The variance will allow the dwelling to go closer to the laneway to allow easy access into the garage and allow for more landscaping and less hardscaping. The rear yard of the property currently has a garage, which will be removed to facilitate the construction of the proposed dwelling.

4.2 <u>Site Context</u>

The subject property is zoned RU6 – Two Dwelling Housing and has a Future Land Use Designation of S2RES – Single/Two Unit Residential. The property is on Braemar Street and is in the Glenmore – Clifton – Dilworth OCP Sector. The surrounding area is almost entirely zoned RU6 – Two Dwelling Housing.

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing	Single-Family Dwelling
East	RU6 – Two Dwelling Housing	Single-Family Dwelling
South	RU6 – Two Dwelling Housing	Single-Family Dwellings
West	RU6 – Two Dwelling Housing	Single-Family Dwelling

Specifically, adjacent land uses are as follows:

Subject Property Map: 1400 Braemar Street



4.3 Zoning Analysis Table

Zoning Analysis Table				
CRITERIA	RU6 ZONE REQUIREMENTS	PROPOSAL		
Existing Lot/Subdivision Regulations				
Min. Lot Area	700m²	747.2m²		
Min. Lot Width	18.om	19.20M		
Min. Lot Depth	30.om	38.51m		
Development Regulations				
Max. Site Coverage (buildings)	40%	30.9%		
Max. Site Coverage (buildings, parking, driveways)	50%	37.8%		
Max. Height	9.5m	9.5m		
Min. Front Yard	4.5m	8.53m		
Min. Side Yard (south)	2.3M	7.1M		
Min. Side Yard (north)	2.3M	2.3M		
Min. Rear Yard	7.5M	2.3m 0		
Min. Distance Between Two Dwellings	4.5m	8.om		
Other Regulations				
Min. Parking Requirements	4	4		
• Indicates a requested variance to Section 13.6.6h: Two Dwelling Housing – Development Regulations				

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 5: Development Process

Objective 5.3 Focus development to designated growth areas

Policy .2 Compact Urban Form. Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and redevelopment within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1

Objective 5.22 Ensure context sensitive housing development

Policy .6 *Sensitive Infill.* Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

6.0 Application Chronology

Date of Application Accepted:July 9, 2021Date Public Consultation Completed:Aug 11, 2021

Report prepared by:	Tyler Caswell, Planner I
Reviewed by:	Jocelyn Black, Urban Planning Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Variance Permit DVP21-0177

Attachment B: Applicant's Rationale

Attachment C: Elevation Drawings

Schedule A: Site Plan / Floor Plan

Development Variance Permit DVP21-0177



This permit relates to land in the City of Kelowna municipally known as

1400 Braemar Street

and legally known as

Lot 13 Section 20 Township 26 ODYD Plan 14090

and permits the land to be used for the following development:

RU6 – Two Dwelling Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision	September 21 st , 2021
Decision By:	COUNCIL
Existing Zone:	RU6 – Two Dwelling Housing
Future Land Use Designation:	S2RES – Single/Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Damien Ignace Prud'homme & Stephanie Anne Edwards

Applicant: Damien Prud'homme

Terry Barton Development Planning Department Manager Planning & Development Services Date



1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

That variances to the following section of the Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 13.6.6h: RU6 – Two Dwelling Housing – Development Regulations

To vary rear yard setback of a dwelling from 7.5m required to 2.3m requested.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



1400 Braemar Street - Laneway House

Design Rationale Statement

Our purpose is to build a second single-detached dwelling on our property (1400 Braemar Street). We will remove the single garage that's currently on the property and build the second dwelling over a double car garage. The second dwelling will be connected to city sewage, water and electricity.

Supporting the demand for rental housing in Kelowna

We plan to rent our main home as an additional source of income and contribute to the City's need for suitable rental homes. Our property is close to bus stops, schools and active transportation corridors.

Exterior design elements

- Modern craftsman design
- Siding: Lower "Deep Ocean" Hardiepanel w/ metal channel and upper "Gray Slate" Hardiepanel board & batten
- Guardrail 42" above roof top cedar plank with 4x4 posts
- Only one window facing neighbouring property
- Double garage (1 single, 1 tandem)
- Propose private greenspace south of the house to allow both residence ample room
- Patio off the living room and roof-top patio to maximize outdoor space
- Motion-activated recessed lighting will be installed on the front and side of the proposed second dwelling for safety
- Landscaping: existing landscaping surrounding property will provide screening

Interior design elements

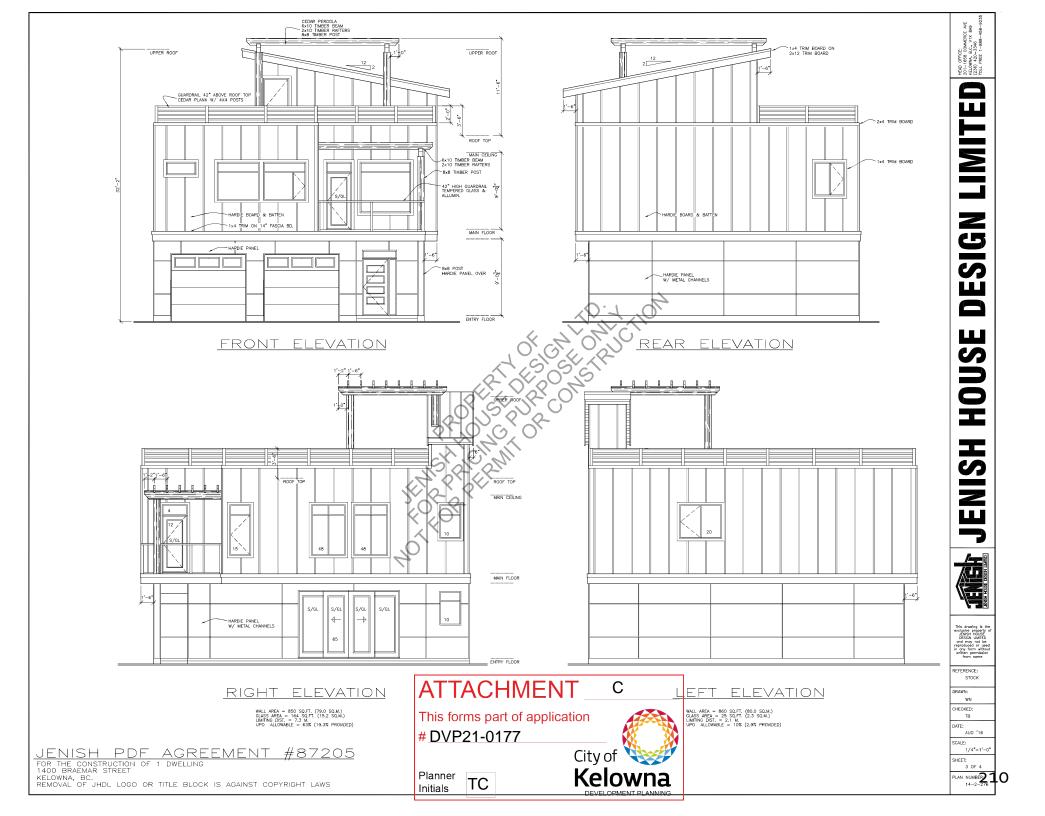
- Two bedrooms
- Full bathroom
- Open concept kitchen and living room

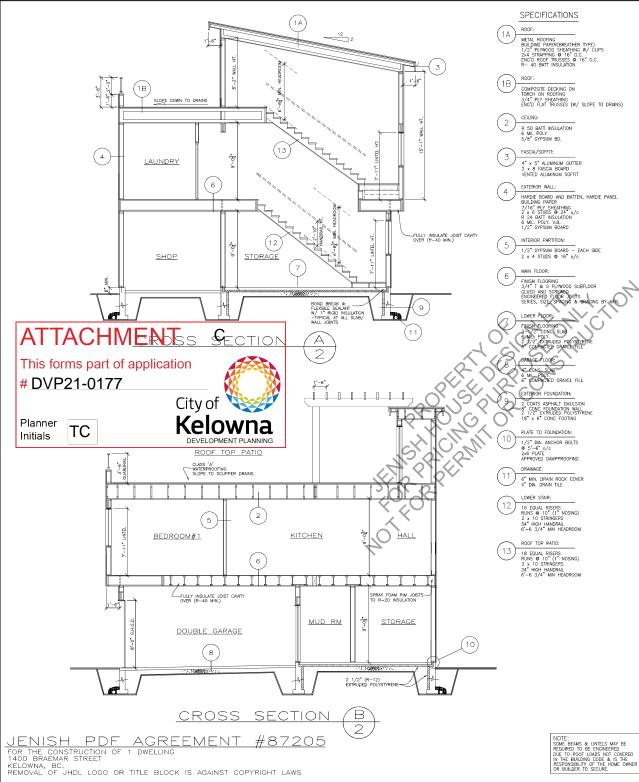
Our proposed design includes one bylaw variance that needs to be taken into consideration. This is the distance from the second dwelling and the setback from the alley. As we live centrally and have access to public transportation, the active transportation corridors and have more than sufficient parking for ourselves and guests with the double car garage, this would not negatively affect our neighbourhood.

Thank you for your consideration of our project,

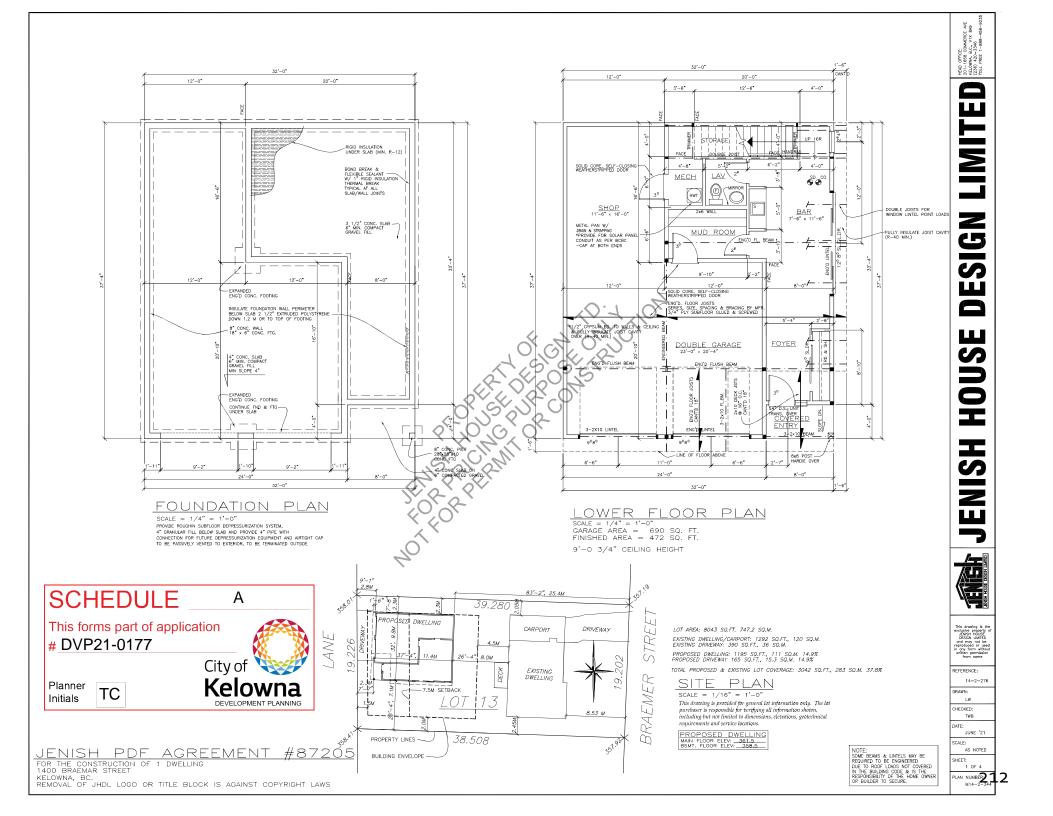
Stephanie and Damien

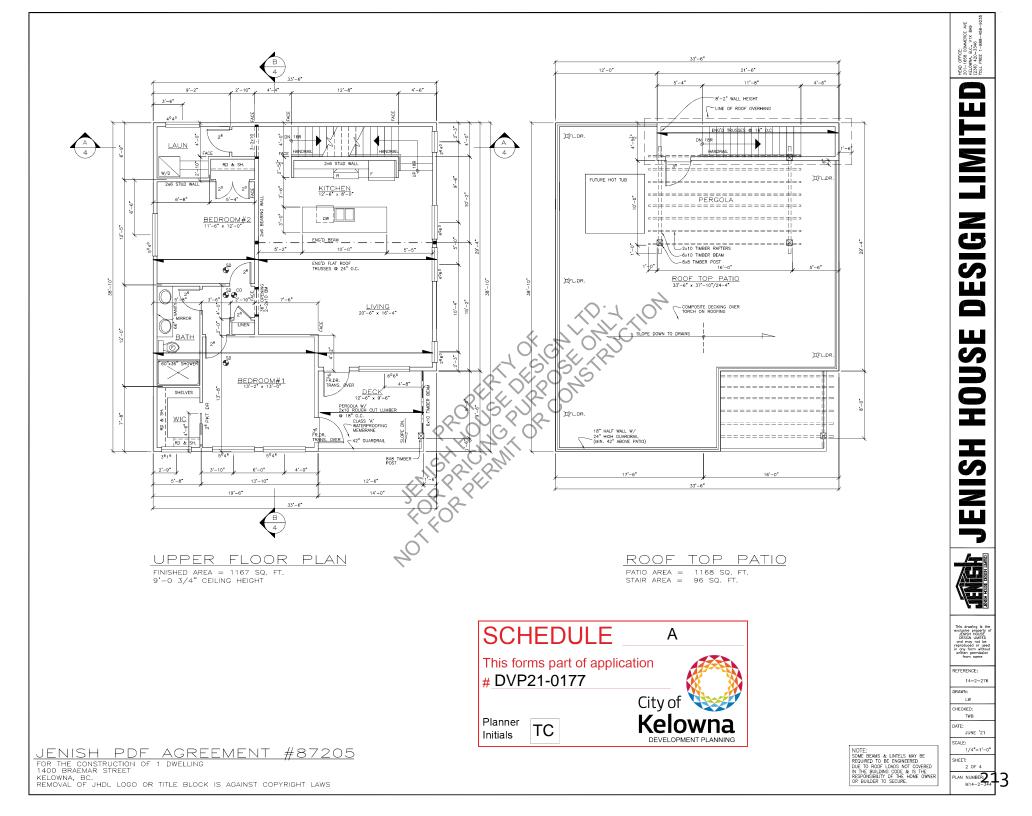














DVP21-0177 1400 Braemar Street

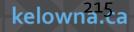
Development Variance Application





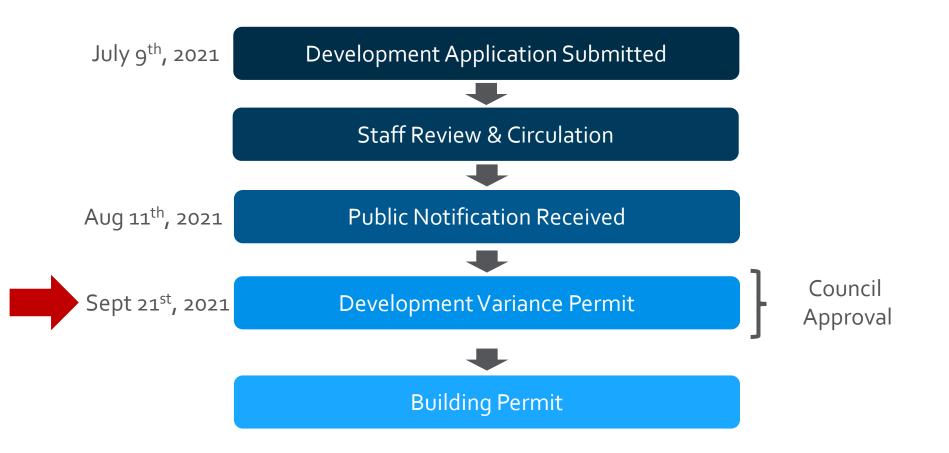
Proposal

To consider a Development Variance Permit to vary the rear yard setback from 7.5m permitted to 2.3m proposed to facilitate the construction of a second single-family dwelling.



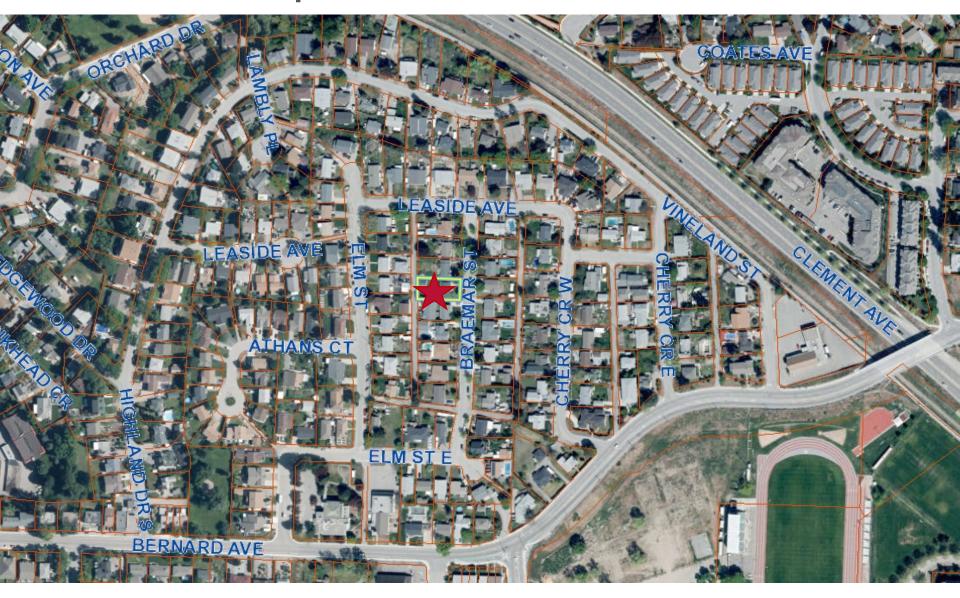
Development Process



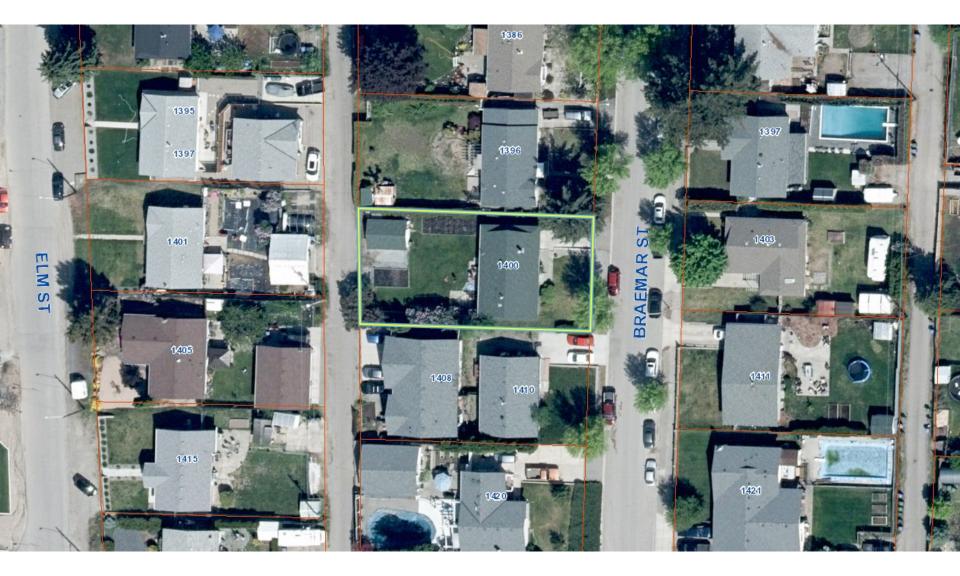


kelowna.ca

Context Map



Site Map

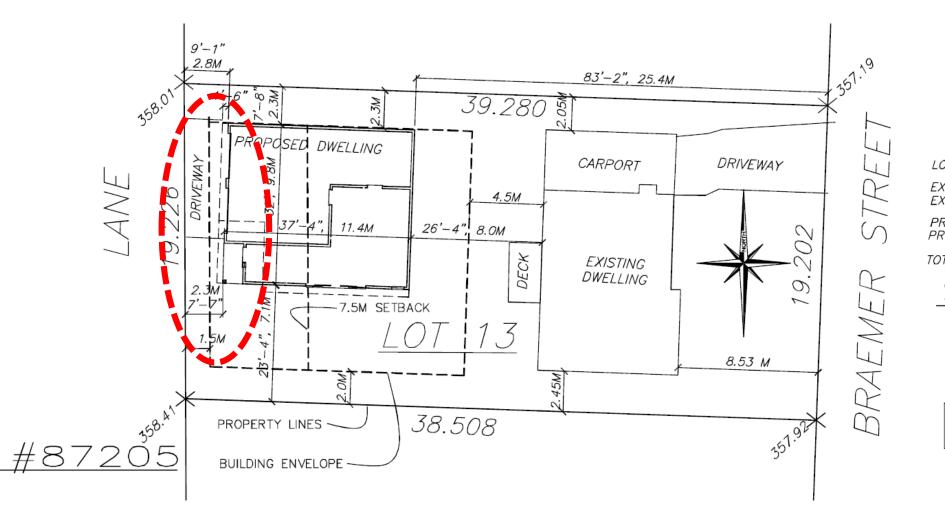




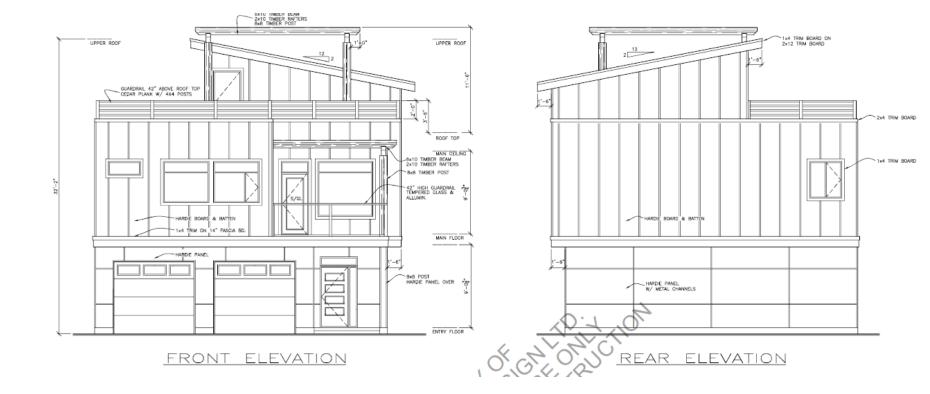
Project/technical details

- The applicant is seeking one variance to facilitate the construction of a new single-family home:
 - A variance the rear yard setback from 7.5. to 2.3m.
- The dwelling is proposed to be 2 storeys with a rooftop balcony and consists of 2 bedrooms.
- The property has laneway access, which is unique to the RU6 zone.
- Other zones with laneway access allow the rear yard setbacks as low as 0.9m.

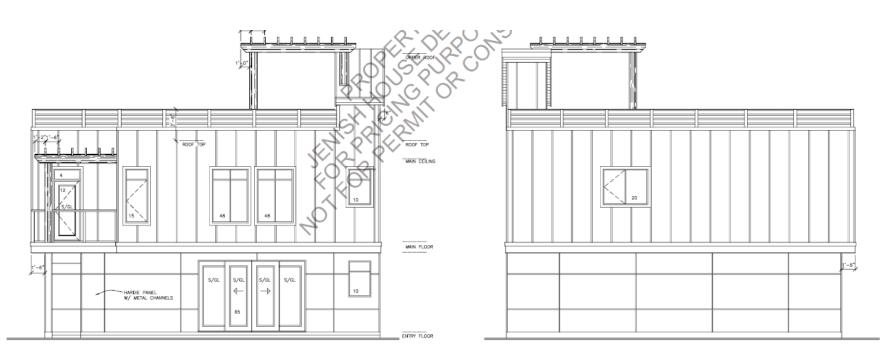
Site Plan and Variance



Conceptual Design



Conceptual Design



RIGHT ELEVATION

WALL AREA = 850 SQ.FT. (79.0 SQ.M.) GLASS AREA = 164 SQ.FT. (15.2 SQ.M.) LIMTING DIST. = 7.3 M. UPO ALLOWABLE = 63% (19.3% PROVIDED)

ELEVATION IFFT

WALL AREA = 860 SQ.FT. (80.0 SQ.M.) GLASS AREA = 25 SQ.FT. (2.3 SQ.M.) LIMITING DIST. = 2.1 M. UPO ALLOWABLE = 10% (2.9% PROVIDED)



Staff Recommendation

- Staff recommend support of the proposed Development Variance Permit application.
 - The setback is consistent with other laneway development (carriage home & RU7).
 - Allows for lanescaping and lane-oriented development.





Conclusion of Staff Remarks

CITY OF KELOWNA

BYLAW NO. 11641

Official Community Plan Amendment No. OCP18-0008 252 Valley Road

A bylaw to amend the "Kelowna 2030 – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- THAT Map 4.1 GENERALIZED FUTURE LAND USE of "Kelowna 2030 Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of Lot 1 Section 4 Township 23 and of Section 33 Township 26 ODYD Plan EPP111632 located at Valley Road, Kelowna, BC from the S2RES - Single / Two Unit Residential and EDINST – Educational/Major Institutional designations to the MRL – Multiple Unit Residential (Low Density) designation.
- 2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 16th day of July, 2018.

Considered at a Public Hearing on the 14th day of August, 2018.

Read a second and third time by the Municipal Council this 14th day of August, 2018.

Amended at third reading and adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA

BYLAW NO. 11642 Z18-0042 252 Valley Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 1 Section 4 Township 23 and of Sections 33 Township 26 ODYD Plan EPP111632 located at Valley Road, Kelowna, BC from the RU2 – Medium Lot Housing, RR3 – Rural Residential 3 zone and P2 – Education and Minor Institutional zones to the RM3 – Low Density Multiple Housing zone.
- 2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 16th day of July, 2018.

Considered at a Public Hearing on the 14th day of August, 2018.

Read a second and third time by the Municipal Council this 14th day of August, 2018.

Amended at third reading and adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk





Date:	September 21,	2021		
То:	Council			
From:	City Manager			
Department:	Development P	Planning		
Application:	DP18-0086, DV	'P21-0187	Owner:	Vanmar Developments Glenpark 2 Ltd., Inc. No. BC1155488
Address:	252 Valley Road	d	Applicant:	Vanmar Developments Glenpark 2 Ltd
Subject:	Development P	Permit		
Existing OCP De	esignation:	S2RES – Single/ Two U Institutional	nit Residential 8	& EDINST – Education/Major
Proposed OCP I	Designation:	MRL – Multiple Unit Re	sidential (Low I	Density)
Existing Zone:		RR3 – Rural Residential P2 – Education & Minor	•	um Lot Housing &
Proposed Zone:	1	RM3 – Low Density Mu	ltiple Housing	

1.0 Recommendation

THAT Official Community Plan Map Amending Bylaw No. 11641 and Rezoning Bylaw No. 11642 be amended at third reading to revise the legal description of the subject properties from Lots 6, 5 & 4 Section 4 Township 23 and of Section 33 Township 26 ODYD Plan 18062 and Lot 2 Section 4 Township 23 ODYD Plan EPP64488 to Lot 1 Section 4 Township 23 and of Section 33 Township 26 ODYD Plan EPP111632;

AND THAT final adoption of Official Community Plan Map Amending Bylaw No. 11641 and Rezoning Bylaw No. 11642 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP18-0086 for Lot 1 Section 4 Township 23 and of Section 33 Township 26 ODYD Plan EPP111632, located at 252 Valley Road, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"

2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";

3. Landscaping to be provided on the land be in accordance with Schedule "C";

4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP21-0187 for Lot 1 Section 4 Township 23 and of Section 33 Township 26 ODYD Plan EPP111632, located at 252 Valley Road, Kelowna, BC;

AND THAT a variance to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.9.6(c): RM3 – Low Density Multiple Housing, Development Regulations

To vary the maximum building height for a building within 7.5 m of an abutting lot with a Single/Two Unit Residential Designation in the City's Official Community Plan from 9.5 m or 2 ½ storeys to 10 m and 3 storeys proposed.

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider the form and character of a multiple dwelling housing development and to vary the building height for a portion of one building on the subject property.

3.0 Development Planning

Staff support the form and character development permit and associated variance for the 77-unit townhouse development on the subject property. The proposal includes ground-oriented units which front onto Valley Road. The development meets the majority of the Official Community Plan (OCP) Urban Design Guidelines with respect to Compact Urban Form and Sensitive Infill. Additional density at this location is supported by various local amenities such as schools, parks, transit, shopping and recreational opportunities in the immediate area.

Some of the Urban Design Guidelines the proposal meets are:

- Design developments with multiple buildings such that there is a sense of architectural unity or cohesiveness
- Design buildings with multiple street frontages to give equal emphasis to each frontage with respect to building massing, materials, details, and landscaping.
- Mitigate the actual and perceived bulk of buildings by utilizing appropriate massing, including:
 - Architectural elements (e.g. balconies, bay windows, cantilevered floors, cupolas, dormers);
 - Visually interesting rooflines (e.g. variations in cornice lines and roof slopes);
 - Step back upper floors to reduce visual impact;
 - o Detailing that creates a rhythm and visual interest along the line of the building;
 - Wall projections and indentations, windows and siding treatments as well as varied material textures should be utilized to create visual interest and to articulate building facades;
 - Building frontages that vary architectural treatment in regular intervals in order to maintain diverse and aesthetically appealing streets

4.0 Proposal

4.1 <u>Background</u>

Phase one of Glenpark Row was approved by Council last year. All building permits are under review with onsite construction to proceed in the near future. There are two separate development projects on both sides of the future Glen Park Drive. They have triggered the construction of the road to provide the connection thru to Valley Road from Drysdale Blvd. Glen Park Drive will provide the primary access point to both phase 1 and the proposed phase 2 townhouse site.

The current application encompasses the second and final phase of the development. Public Hearing, 2nd and 3rd readings of the OCP Amendment and Rezoning Bylaws occurred on August 14, 2018. Since then, Council has granted multiple extensions of the bylaws to allow the applicant time to complete the required conditions for adoption of the bylaws. All Development Engineering requirements have now been completed (this includes a development servicing agreement and associated security). The four affected properties have been consolidated into a single title parcel and the required road dedications have been registered.

4.2 <u>Project Description</u>

The proposed development is for the construction of 77 three-storey townhouses with attached garages. The development will include thirteen buildings: 5 five-unit buildings, 6 six-unit buildings and 2 eight-unit buildings. All units provide private amenity space in the form of balconies and meet on-site parking requirements. Thirteen visitor stalls are provided and are located throughout the site for easy access to all units. Access to the development is thru Phase 1 from Glenpark Drive, with a secondary emergency access only provided via Zinnia Road.

The project is oriented towards families with children through the provision of all units having 3-bedrooms, along with an additional den that could be developed into a fourth bedroom if needed. The townhouses have been designed with a children's play area, and multiple green spaces with an internal 'mews courtyard' that is a pedestrian only area. The site provides extensive landscaping and walkways to provide multiple small gathering areas for the residents. A strong pedestrian interface is provided along Valley Road with walkway connections throughout the site.

Form and Character

The development has a contemporary 'farmhouse' architectural feel. The large windows, and outdoor space provide access to both natural light and shade. The balconies serve to lessen the visual impact of the garage doors below while providing an amenity space for the unit. The garage entry doors are oriented to the interior of the site which allows the development to have ground-oriented units fronting onto the street rather than being oriented to the interior of the site. Each unit has a front landscaped terrace area to delineate the private space from the public street. The units have prominent at-grade entries with walkways leading to the street frontage which provides a welcoming, activated streetscape.

The natural colour scheme has touches of colour to provide individuality to the units, while providing a cohesiveness to the multiple buildings within both phases of the development. A combination of lap siding along with board and batten siding has been utilized to create a visually appealing façade.

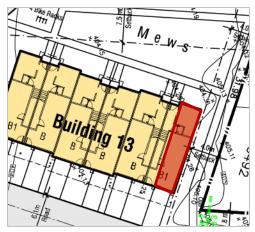
<u>Variance</u>

The applicant is requesting one variance which will apply to a portion of one building only (Building 13). The variance is to allow a building that is located within 7.5 m of an adjacent property with S2RES as the FLU to be 3-storeys in height rather than 2 $\frac{1}{2}$ storeys allowed. The applicant is adding additional landscaping in the form of trees along with the fence to ensure privacy is provided to the adjacent property as well as to the subject site.

4.3 <u>Site Context</u>

The subject proposal is located in the Glenmore Valley area along Valley Road, connected to urban services, and located within the Permanent Growth Boundary.

Specifically, adjacent land uses are as follows:



Orientation	Zoning	Land Use
North	P2 – Education and Minor Institutional	Religious Assembly
NOTUT	RU2 – Medium Lot Housing	Single Dwelling Housing
East	P5 – Municipal District Park	Future Glenmore Recreation Park
South	A1 – Agriculture 1	Farm
West	RU2 – Medium Lot Housing	Single Dwelling Housing

Subject Property Map: 252 Valley Road



4.4 Zoning Analysis Table

	Zoning Analysis Table	
CRITERIA	RM ₃ ZONE REQUIREMENTS	PROPOSAL
I	Existing Lot/Subdivision Regulations	
Min. Lot Area	900 m²	3.28 ac
Min. Lot Width	30 m	155.06 m
Min. Lot Depth	30 m	106.70 m
	Development Regulations	
Max. Floor Area Ratio	0.80	0.78
Max. Site Coverage (buildings)	60%	35 %
Max. Site Coverage (buildings, parking, driveways)	65%	43 %
Max. Height	10 m or 3 storeys 9.5 m or 2 ½ storeys (within 7.5 m of S2RES)	10 M
	9.5 m or 2 ½ storeys (within 7.5 m of S2RES)	10 M O
Min. Front Yard	1.5 m (ground oriented)	4.0 m
Min. Side Yard (south)	4.0 m	4.0 M
Min. Side Yard (north)	4.0 m	4.0 M
Min. Rear Yard	7.5 M	7.5 M
	Other Regulations	
Min. Parking Requirements	154	154
Visitor Parking Stalls	11	13
Min. Bicycle Parking (short term)	15	15
Min. Private Open Space	1925 m ²	2457 m ²
Indicates a requested variance to the maximum	um building height from 9.5 m or 2 ½ storeys for build	dings within 7.5 m of S2RES properties.

5.0 Current Development Policies

5.1 <u>Kelowna Official Community Plan (OCP)</u>

Chapter 5: Development Process

Objective 5.2 Develop Sustainably

Policy .4 Complete Communities. Support the development of complete communities with a minimum intensity of approximately 35-40 people and/or jobs per hectare to support basic transit service – a bus every 30 minutes. (approx. 114 people / hectare proposed).

Objective 5.3 Focus development to designated growth areas

Policy .2 Compact Urban Form. Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and redevelopment within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Objective 5.22 Ensure context sensitive housing development

Policy .6 Sensitive Infill. Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

6.0 Application Chronology

Date of Application Accepted:	April 27, 2018
Date of Rezoning 3 rd Reading:	June 10, 2019
Date Public Consultation Completed:	July 20, 2021

Report prepared by:	Lydia Korolchuk, Planner Specialist
Reviewed by:	Jocelyn Black, Urban Planning Manager
Reviewed by:	Terry Barton, Development Planning Department Manager
Approved for Inclusion:	Ryan Smith, Divisional Director, Planning & Development Services

Attachments:

Attachment A: Draft Development Permit DP18-0086 & DVP21-0087

Schedule A: Site Plan

Schedule B: Elevations and Colour Board

Schedule C: Landscape Plan

Development Permit & Development Variance Permit DP18-0086/DVP21-0187



This permit relates to land in the City of Kelowna municipally known as

252 Valley Road

and legally known as

Lot 1 Section 4 Township 23 and of Section 33 Township 26 ODYD Plan EPP111632

and permits the land to be used for the following development:

Multiple Dwelling Housing

USE as per Zoning Bylaw

Row Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision	September 21, 2021
Decision By:	COUNCIL
Development Permit Area:	Multi-Family
Existing Zone:	RM3 – Low Density Multiple Housing
Future Land Use Designation:	MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Vanmar Developments Glenpark 2 Ltd

Applicant: Vanmar Constructors Inc.

Planner: Lydia Korolchuk

Terry Barton

Community Planning Department Manager Planning & Development Services Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B & C":

Section 13.9.6(c): RM3 - Low Density Multiple Housing, Development Regulations]

To vary the maximum building height for a building within 7.5 m of an abutting lot with a Single/Two Unit Residential Designation in the City's Official Community Plan from 9.5 m or 2 ½ storeys to 10 m and 3 storeys proposed,

This Development Permit and Development Variance Permit is valid for two (2) years <u>from the date of approval</u>, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit OR certified cheque in the amount of \$372, 918.75

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.









2

Context Plan July 8, 2021 A-1.0











VACHIECTS INCORPORATED

April 16, 2018 Issued For Development Permit, Rezoning and OCP Amendment July 8, 2021 Re-Issued For Development Permit, Rezoning and OCP Amendment



ARCHITECTURAL EXPRESSION

- The steries an interesting locational context. It is within easy waiting distance of everyday duration and or stores, dargeneral enders), while stores adjacent to fumiliar and or orthsis. The architectural delayes is stored to store to grant ordinary or transmit activity and the stores with interstance physical contemporate by any ordinary activity. The physical ordinary physical contemporate architectural delay that a evocative of the routidar physical systemy of the area.
 - The architectural expression of the A, B and C units is related and follows an integrat theme, but is also sufficiently differentiated to provide some varietly.
 - Several colour variations for the building exteriors are used to create v throughout the community.
- A strong front entry condition that is defined by a highly visible front door, an attractive front varia and early visible street and afters number.
 B, Each transhoure braining its individual identity expressed architecturally in gable roof from stard by written median real metian.
- Using a mix of attractive and distinct, but complimentary, colours for the siding and windows on each of the combinauses. In the attrain all indication of the Colourgian inform the base colour packite of the design, with more explanatic colour accent used in containances to expense the individually of each home and the front entry.

2021-07-05

MASSING AND THE OVERALL FEEL OF THE COMMUNITY

- To ensure that the Glenpark Row community (is: both Glenpark 1 and Glenpark 2) feels induce and french vertors have been made to reduce the overall perception of buildin mass through the following deas:

- a. The community is comprised of both A, B and C type to wholeves which have differ strategy calanatomics. This provide a vietery ob liable form. In the compares on the interior of the community true a ranged around moves county and which seek to create mini-inegitocurihoods within the community. C. The community has been arranged so that most blocks of buildings have to once the of both most set.

Client

- c) the block of homebase balding is local convolution based will have an integrated of the block of homebase balding is local reast and a vartery of "accent" materials to ensure visual interest along Valley Road.
- The yard in front of each townhouse provides a delineation between the public and private realm but does so in a friendly and inclusive fashion and without the need to excessive barriers.
- Attention is paid to roof form and bay window elements to create "strong come particularly at the most visible building ends.

Glenpark Row 2

244, 252, 260, 268 Valley Road Kelowna, BC

- h. Each home has a balcony directly accessed from the principal living space. As well as provide an accessed provide and provide and provide and provide and provide and accession of the balcony provides and opportunity for including direct access the balcony directly and accessing and community overbook which improves security and safety in the parking/dire aid accessing accessing

- a. Is well integrated with the architectural design, and is mindful of the hot and dry Changaan change. The latoscape design thruces canopy trees to reduce heat gain and, where possible lighten regulations on furth-basing trees), these trees are exord of the pear and apple ordeard history of this part of determore.
- - Will provide a pedestrian friendly boulevard treatment along Valley Road, achieved through the installation of deciduous shade trees and a turf boulevard.
 - Will introduce an element of public art to provide points of visual interest at various locations.

Design Rationale

July 8, 2021

- d. Will integrate children's play features into the courtyards.
 e. Where possible trees and low level planting are introduced to complement and enhance the streetscape and delineate the public and private outdoor areas.

Lot 2, Sec 4, Township 23, Plan EPP64488 Lots 4, 58 6, Sec 4, Township 23, and Of Sec 33, Township 26, Plan 18062, ODYD

- 26. The landscape design:

Part I: Identification of the relevant considerations that the design needs to respond to...

Part II: Proposed design response to these considerations...

SUMMARY OF OUR PROPOSED DESIGN APPROACH

RATIONALE

DESIGN

THE SITE AND ITS LOCATIONAL CONTEXT

The development site is at 244, 252, 260 and 268 Valley Road. It is a 3.3 acre, reasonably flat parcel that currently comprises 4 single-family lots. It is located in an established community that is within close proximity to a retail village, a new sports complex and schools. The site is located immediately to the North of VanMar Developments' existing 'Glenpark' Row' project(which, for the purposes of this document, will be called Glenpark 1).

ntroduction

- The site has an interesting locational context, it is within easy walking distance of everyday urban americk (schools, shops, daycare and parks), while also being adjacent to finamiand and orchards.
 - To the West of the development site is an attractive neighbourhood of single-family homes and duplexes accessed from Drysdale Boulevard.

The Glenpark 2 project is intended to integrate into the existing Glenpark 1 project as a subsequent phase.

- To the East of the development site the City is developing the new 'Giermore Recreation Park's sports facility which is now under construction. Beyond this new sports facility, there are attractive veews of orchards and hills.
- 1. Does share for the development late is a sorting angle and an enclosed and a befolder. 1. Does not built the \$200C, The extend is appendix by lange, time relident, a perior of karacular on M. Auranavious and particle reliant and a lange with community legisland fast central as vibrar and built write (De Mould community legisland fast central as vibrar and built virgiblouthoot real village. And S. Save or FOR Storeport Digg data fact and the sortic and head and vibra real is vibrar and built virgiblouthoot real vibrar. The real vibra real is vibrar and built vibrar and built vibrar.

Like Glenpark 1, the development proposal is in response to Council's priority to see more tamily-oriented housing, particularly 3-bedroom ground-oriented townhouses, in location: clean to schools, shops and services.

Given its recent success with the nearby 'Drysdale Row' townhouse development project VanMar Developments recognises the opportunity to create a highly livable townhouse community that near contraints positively to the Glemone community and appeal to a broad range of people, and prictuality families with children. The intent is that Glenpark 1 and Glenpark 2 will function as a single townhouse community to be known collectively as 'Glenpark Row'.

The site is writin close proximity to high quality schools, including Dr Knox Middle School and North Glemone Elementary School. Dr Knox is writin reasy walking distance of the school.

ADVICE FROM THE CITY OF KELOWNA PLANNING DEPARTMENT

Given the locational context, and the algoment with City policy priorities, City planning staff are supportive towards the idea of recommending to Council that this site be developed for townhouses, subject to the following conditions and provisos:

This 'Design Rationale' document has guided VanMar's approach to the design of this new community. The document seeks to first thenthy the relevant ordiserations that the engine needs to respond to Lavia deshifted all of the relevant considerations, the document then dealls a design that appropriately responds to three considerations.

Jurpose of this document

- That the tormhouses are designed to be appealing to families given Council's derice to see more family-oriented housing, particularly 3-bedroom proto-doriented normhouses. This call be to Adown an currently gioing through a period of gooth and three being a shortage of housing that is suitable and affordable for families with school-aged children.
- That the development integrates with the local context of growing family-oriented amenities fincluding the new Glemmore Recreation Park and the retail village, and is sentive to the adjacent single-family homes to the West.
- That the design should be welcoming and inclusive of the surrounding community, and should activate the perimeter streets with outward (rather than inward) facing homes and strong corner elements on the ends of buildings.

 - That the development includes contraction of a new portion of Glengark Dive that interests with Marge National Standing inguisment with the assess of Glengark electration Park contracted portion of Glengark Dive be devicated to the Civi-constructed portion of Glengark Dive be devicated to the Civi-constructed portion of Glengark Dive be devicated to the Civi-
 - That vehicle access to the Glenpark Row community (le. both Glenpark 1 and Glen 2) is provided from this new section of Glenpark Drive, and not from Valley Road o from Marigold Road or Zinnia Road.
 - That the development's landscape design responds appropriately to views put for by Council regarding play areas for children.
- Burning staff have adviced that the development approval process for the project will be advice the development of the development approval process for the project will be consistent of the terminal strain statistical for the SLA to MA and an anterdent to the VaMA of the required steps and public consultation requirements that this process will require

- 17. The community is predominantly oriented towards families with children. There are three types of townhouse and in. An Avyte windhouse, a Brype townhouse and a Citype townhouse. All of the townhouses have:

Our design responds to the above-listed contextual considerations through a thoughtfully designed development of 77 townhouses organized in 13 separate buildings with an overall FAR of 0.50.

- J bedrooms
 D. Aden, which can also be converted into a 4th bedroom.
 C. Pring for 2 cars land we have also provided a good revel of visitor parking around the site).
 - d. A balcony directly accessed from the principal living space.
 - A front yard garden area.
 Approximately 1,500 sf of living space.
- 18. The design is compliant with the RM-3 By-law and has no variances.
- 13. The community has been designed to be self-sufficient with regards to parking, and to not place any princing burden on the arrounding stretes. Each townhouse has 2 parking stalls. The net are visitor parking stalls distributed around the community, as well as on-street parking on the new section of Gengraf Nine.

LAYOUT AND ORGANIZATION OF THE COMMUNITY

- 20. The organization and layout of the community is driven by the following four ideas:
- a. Verbale access: a. Verbale access: b. Verbale access: Access to the development will be from Garopart Drive, with an emergency which can access to the development will be from the development or the development of the from the from the development community will only be from the new section of detexant Drive. There will be no which access to the access of the development will be the constraints to the community from Murgoid Ilead or Tamia Road, other which for the rest energieric Detrover.
- Outward-facing Design... The townhouses located parallel to Valley road have front doors directly facing Valley road. This approach activates Valley Road and presents a welcoming face to the surrounding neighbourhood.
- Mews Courtyard...
- The provincianes on the heater of the commutity are organized around a "innov counsyst" constrained council and appending attention of the first from the before these councyst donotes an appending attention of an indication. We constrained council before indication and an indication of the indication of the second second and appending attention of a second path indication of the second second second and a second second and revealed for and second for community, which and followed and the events prior of and first right children of the second second second revealed prior of the second second second second second second second first first second second second second second second second second second revealed prior of the second research second secon
- Sensitivity to the privacy of the neighbours to the West. The event of the project rate model to a search was possible to the respecting the privacy of neighbourng promets to the West. Where prossible dimensions separate to inductory elegan service and painting to provide privacy buffers wherever a disactory elegan sets to use these and planting to provide privacy buffers wherever the privacy of neighbourir townhouses from neighbo landscape design seeks to possible.



MMM



Development Statistics

nevelopilielit			orduorio	ПСО					
Civic Address:		2	244, 252, 260 & 268 Valley Road, Kelowna BC	ey Road, Kelowna BC	~				
Legal Description:			Lot 2, Section 4, Township 23, Plan EPP64488. Lots 4, 5 8 6, Section 4, Township 23, and of Section 33, Township 26, Plan 18082, ODYD	ip 23, Plan EPP6448 Township 23, and of:	8; Section 33, Township	o 26, Plan 18062,	0,00		
Gross Site Area:			3.28 Acres	143,050 sf	13,289 SM				
Zoning Classification		Ľ	Rezoning from RR-3 to RM-3	6 R.M-3					
Permitted FAR: (Parking spaces screened from public view)	1		0.75	107,287 st 7,152 st	9,967 SM 664 SM				
Proposed FAR:			0.80 0.78 Net	114,440 sf 111,909 sf	10,631 SM 10,396 SM				
Permitted Building Site Coverage: Proposed Buiding Site Coverage:			40%						
Permitted Maximum Site Coverage of Buildings, Driveways, Parking Areas. Proposed Maximum Site Coverage of Buildings, Driveways, Parking Areas.	dings, Drivew Idings, Drivew	ays, Parking Areas: ays, Parking Areas:	909 13 %						
Permitted Height: Proposed Height:			10 M or 3 Storeys (the lesser of the fwo) 3 Stories	ie lesser of the two)					
Permitted Sethacks: Front - East (Milly Road) Sola - South (adjacent to Glenpark 1 development) Rear - Weat Sola - Arch	k 1 developmen	6	15 M 40 M 75 M 40b75 M						
Propeed Sethacks: Front - East (Alley Road) Front - East (Alley Road) Solo - Sound (adjacent to Clempark 1 development) Roar - Vivat Roar - Vivat Solo - Inton (258 & 250) Margold Creacent) Solo - North (258 & 250) Margold Creacent)	k 1 developmen Crescent)	-	3.5 to 4.5 M ground criterled units facing sheet 4.0 M 7.5 M 4.0 M requires variance, see site plan	l oriented unfis facing es variance, see sit	street e plan				
Required Private Open Space Per Dwelling:	:6		25 SM	269 sf (for d)	269 sf (for dwellings more fhan one bedroom)	(mootped et			
// Gwellings.txtal Proposed Private Open Space Per Dwelling (includes balconies);	ng (includes ba	alconies):	1,457 SM	20,/21 st 26,443 sf total 1	20,721 st 26,443 sf total for 77 dwellings				
Proposed Development: Type Lower Fir	Main FIr	Upper Fir T	Total (Exclu, garage)	No. of Units To	Total FAR Area Lowe	rt Fir Gross Gro	ss Fir Area Garage	- Parking Driveway	r Parking
			1,408 sf		39,424 sf			2 cars	0 car
		666 sf 661 sf	1,469 sf 1,460 sf	ao ao	11,752 sf 11,680 sf	629 st 629 st	15,568 sf 15,496 sf	2 cars 2 cars	0 car 0 car
B 3-Bedm 274 st B1 3-Bedm 276 st	586 sf 617 sf	602 sf 633 sf 555 - 5	1,462 st 1,526 st	5 6 ·	33,626 sf 13,734 sf - 200 - 1	586 st 592 st	40,802 sf 16,578 sf	1 car 1 car	1 car 1 car
		15 000	1,085 8	17 units	1,093 81 111,909 sf FSR Net	60 33	1,840 ST 142,323 sf Gross	1 CBL	1 CBL
Proposed Building and Site Coverage Summary:	mmary:					je i	13,222 sm Gross		
Building No. Lower Fir Building 1 3.044 st	a Main Hr 3 128 si		Building Site Coverage 3310 st	5		Wsitor Parking Coverage			
		3,310 sf	3,310 sf	200 al					
		3,971 sf	3,371 st	403 S					
		3,971 sf 3,971 sf	3,971 st 3,971 st	576 sf 913 sf					
		3,105 sf 3,675 sf	3,105 sf 3,675 sf	751 sf 914 sf					
		4,879 sf 4,879 sf	4,879 st 4,879 st	1,211 sf 1,206 sf					
Building 11 3,044 sf Building 12 3,640 sf Puntaion 49 250 of	3,128 sf 3,738 sf 2,2014 of	3,310 sf 3,971 sf 2,876 of	3,310 sf 3,971 sf 9,676 of	455 sf 554 sf 554 sf					
		le c/n/c	49,397 sf	9,642 sf		2,640 sf			
Required Parking: 2.0 spacesper 3 bedrooms unit 0.14 vistor spaces per dwelling unit			154 spaces 11 spaces						
Total Required Parking Required Accessible Parking (Table 8.2.19)	6		165 cars						
Accessible space (part of total required parking) Van-Accessible space (part of total required parking)	parking) lired parking)		5 spaces 1 spaces						
Proposed Parking: Double garages (Types A. Al, A2) Single garages (Types B, B1, C)			88 spaces 33 spaces	(regualr size) (regualr size)					
Todal in Garages Driveway Parking (Typos B, B1, C)			121 spaces 33 spaces	(regular size) (18 regular size and 15 small size 9%)	115 small size 9%)				
Overall Residential Parking Visitor Parking			154 spaces 7 spaces	(recular size)					
Accessible space Van-Accessible space			5 spaces 1 spaces	(3.7x6.0 M) (4.8x6.0 M)					
Total Provided Parking			167 spaces						
Required Long-Term Bicycle Parking: Townhomes with attached garage			0 spaces	No requirement					
Required Short-Term Bicycle Parking: 1 bits per 5 dwelling units Dowidaed Short Term Bicycle Davidien			15 sepces 15 envices						
Frowing another citil bicycle Farming.			o sparre						









Clert

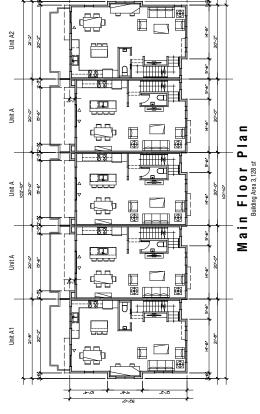
Development Summary & Zoning Analysis Table

A-1.4

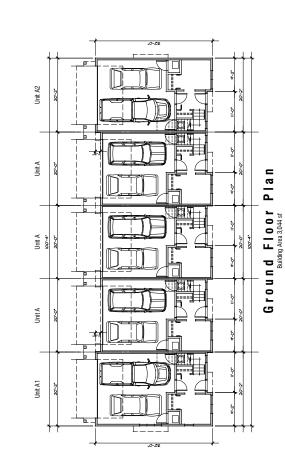


A-1.5





.9-.b







2021-07-05





A-2.0



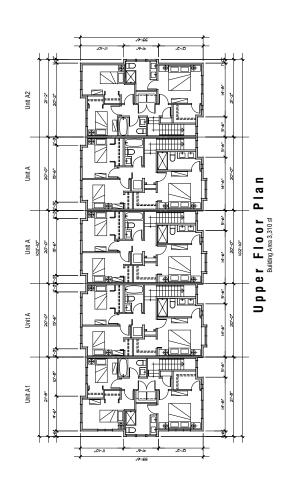








A-2.1





City of Kelowna

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Planner Initials

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SCHEDULE

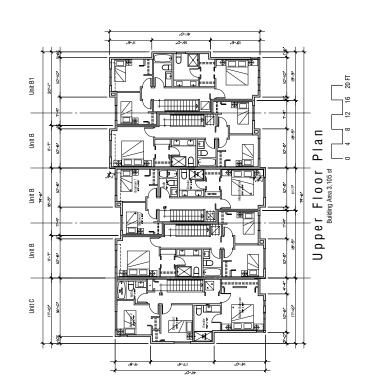
This forms part of application # DP18-0086 DVP21-0187

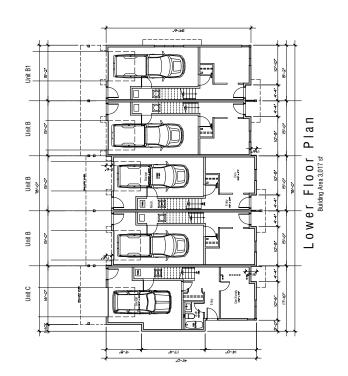


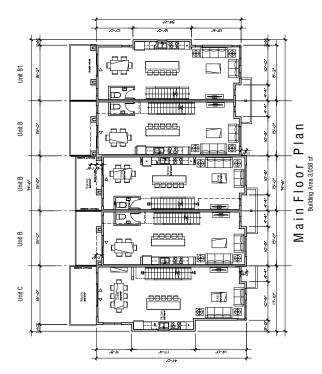
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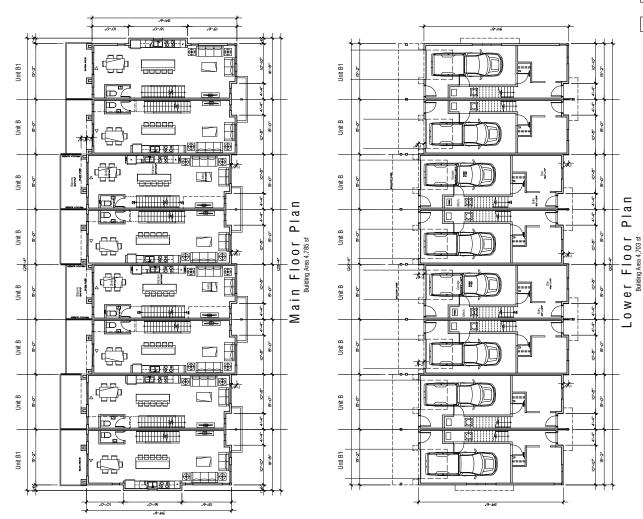
A-3.0













243



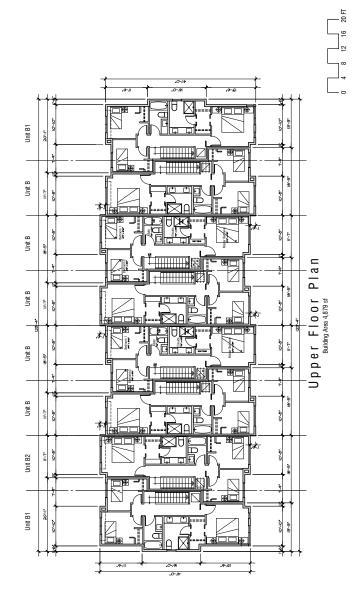






Pain 1 accs, 30 you man p 26, Buildings 9 & 10 (8-plex) Buildings 8 & 13 Similar Plans tor = 1-2 by 8.2001

A-4.1





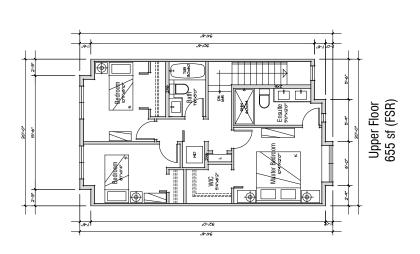


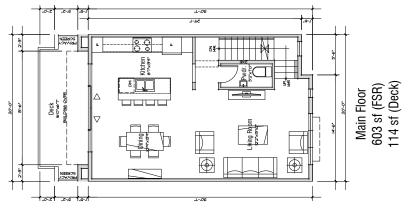


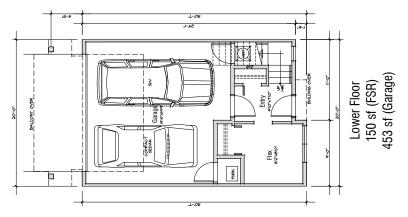
A-5.0

Type A Unit Plans









Type A 1,408 sf FSR



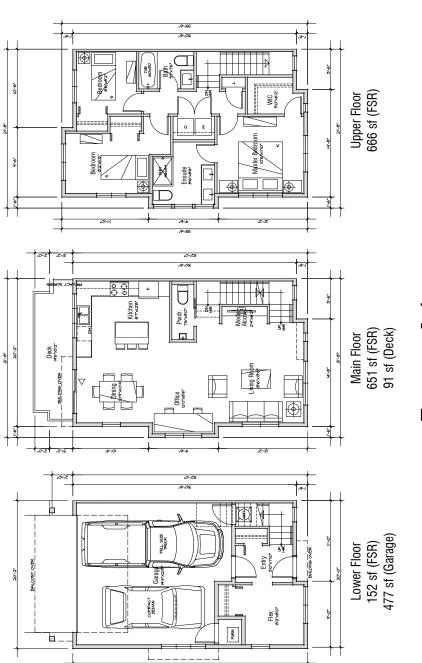




A-5.1

Type A1 Unit Plans







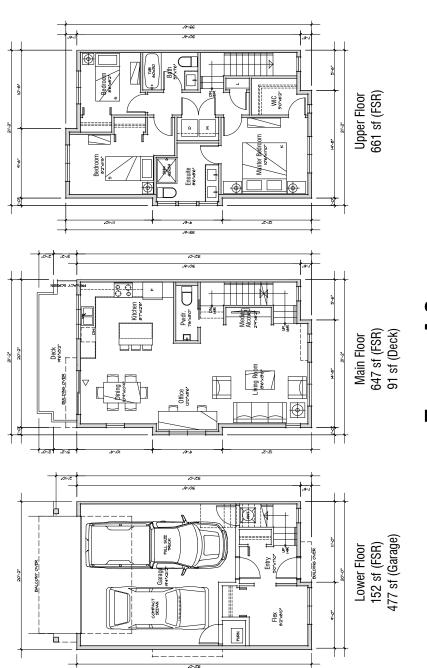




A-5.2

Type A2 Unit Plans





T y p e A 2 1,460 sf FSR



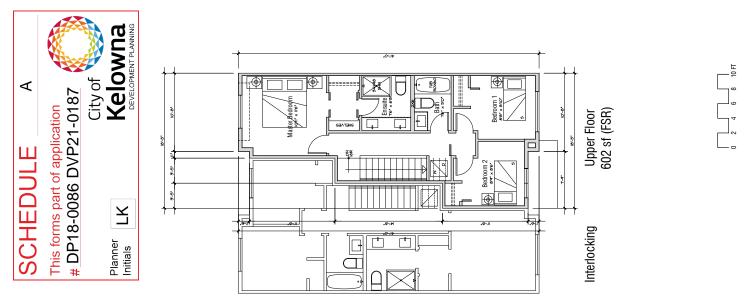


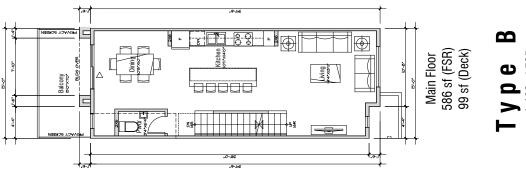


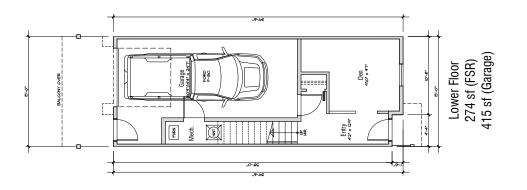
A-5.3

Type B Unit Plans

1,4" = 1'-0" July 8, 2021







T y p e 1,462 sf FSR



67.5



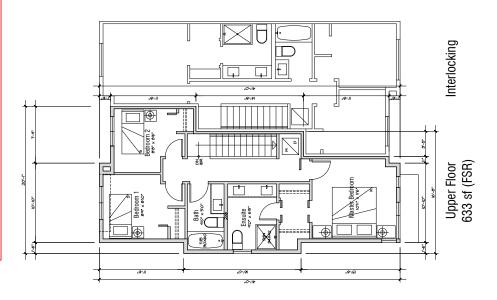


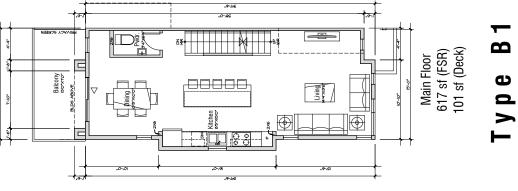
A-5.4

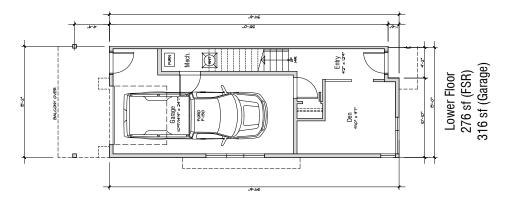
Type B1 Unit Plans

1/4" = 1-0" July 8, 2021









Type B1 1,526 sf FSR

249



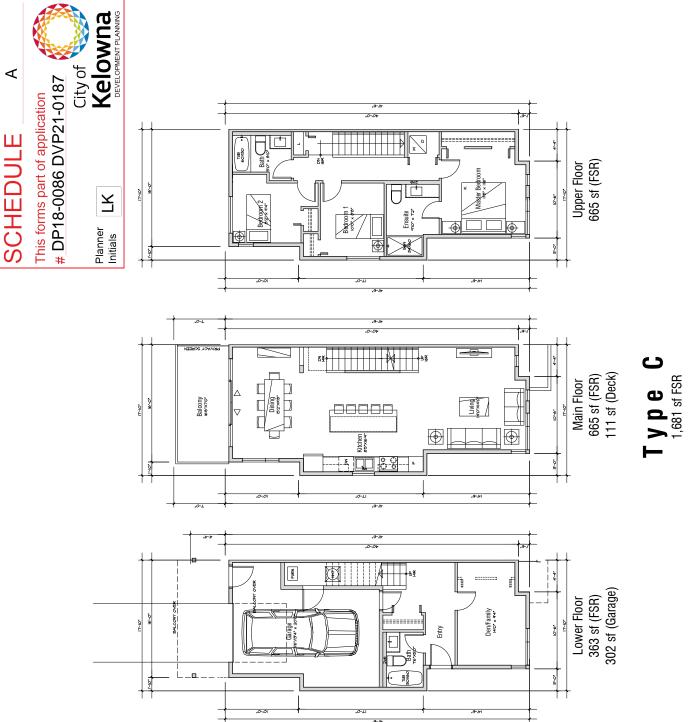




Type C Unit Plans

A-5.5

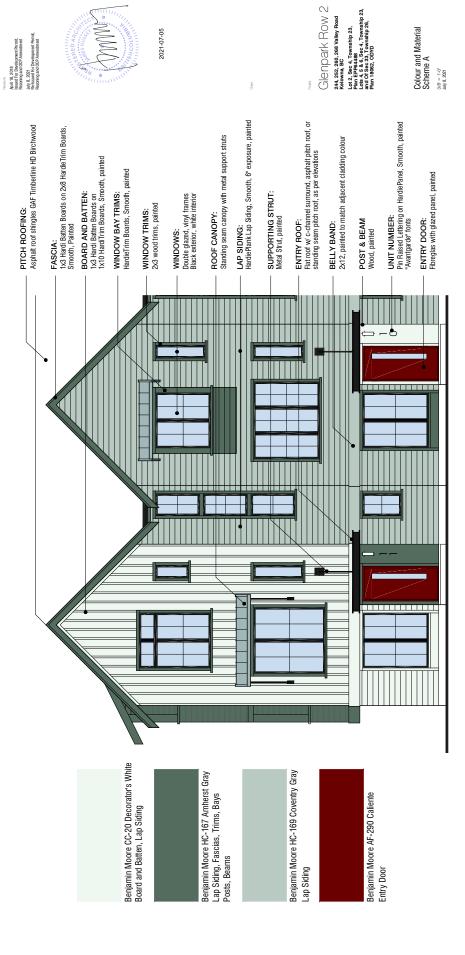






Colour Scheme A

ACHIECTS INCORPORATE





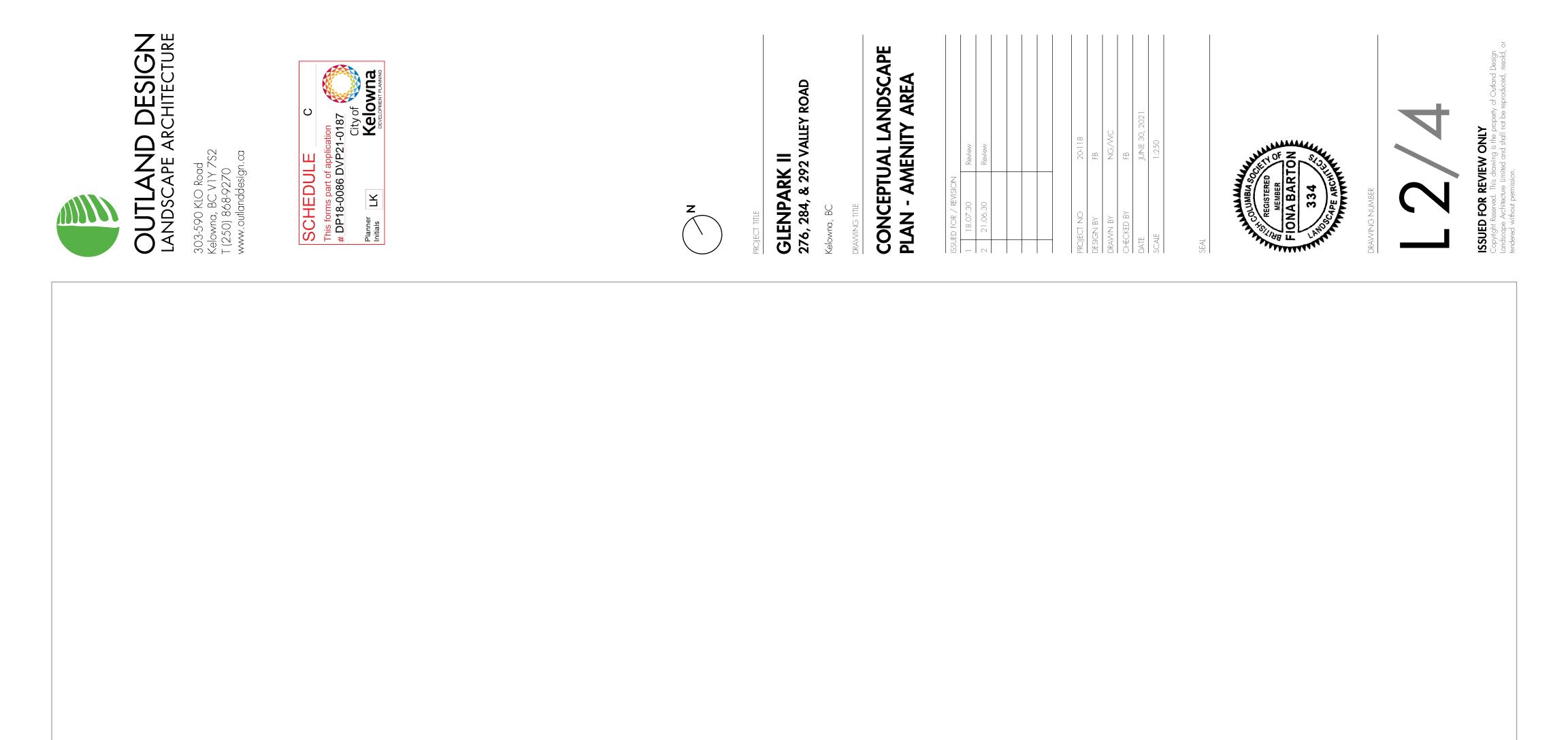
ICHIECTS INCORPORATE

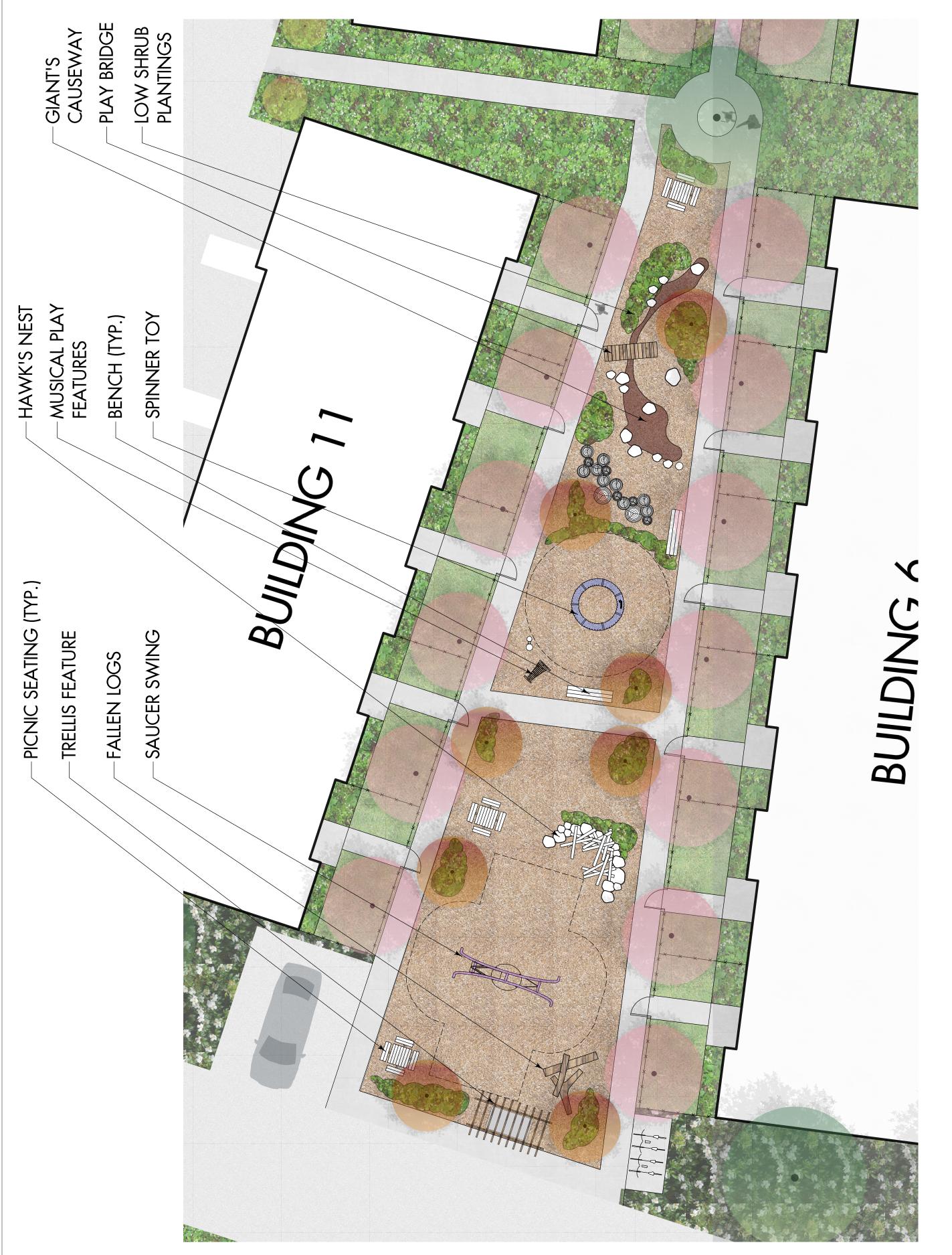
Colour Scheme



A-7.1



















DP18-0086 DVP21-0187 252 Valley Road

Development Permit and Development Variance Permit Application

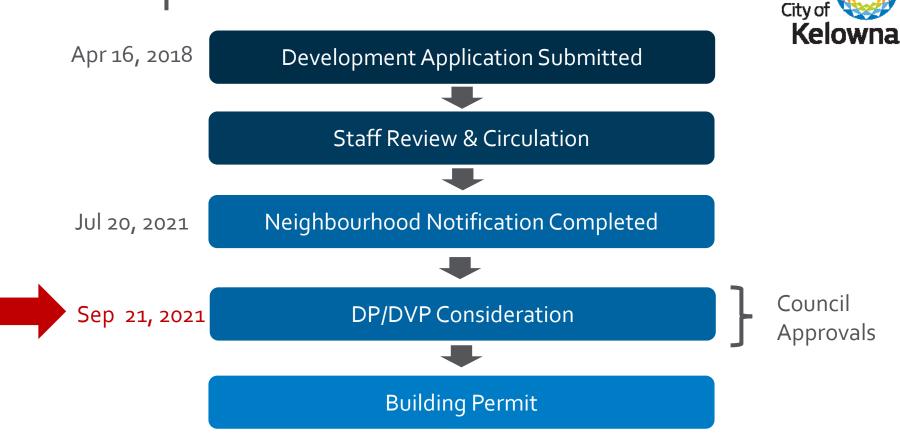


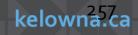
Proposal

To consider the form and character of a multiple dwelling housing development and to vary the building height for a portion of the subject property.

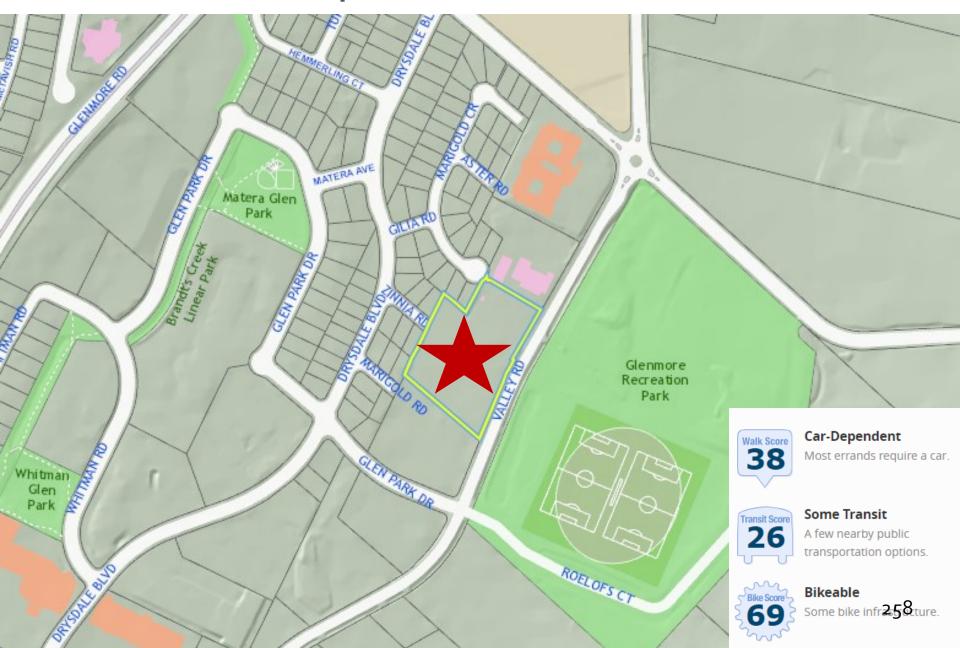


Development Process





Context Map



Subject Property Map



Technical Details



- ► 77 3-storey townhouse units
 - 3 bedrooms (many with an additional den/ fourth bedroom)
- All street facing units are ground oriented
 Front doors facing Valley Rd
- All units have balconies as private amenity space
- Parking is provided in private, attached garages
- ▶ 13 visitor parking spaces
- Vehicular access from Glenpark Dr.
- Emergency vehicle access only via Zinnia Rd.





Rendering

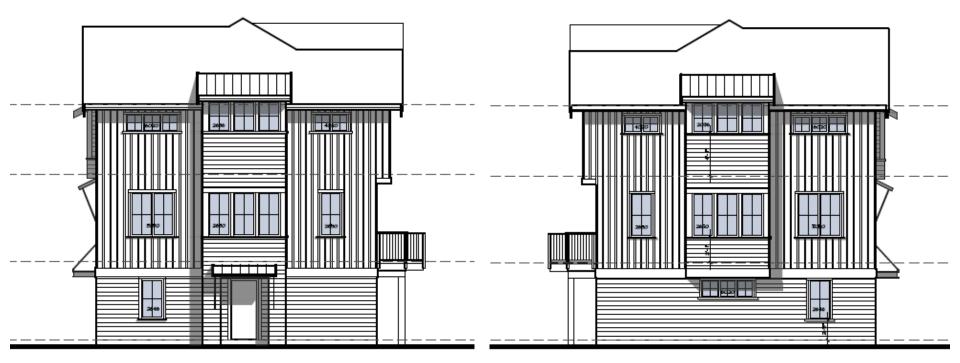


Elevations









Finish Schedule

Colour Scheme A



Finish Schedule

Colour Scheme B



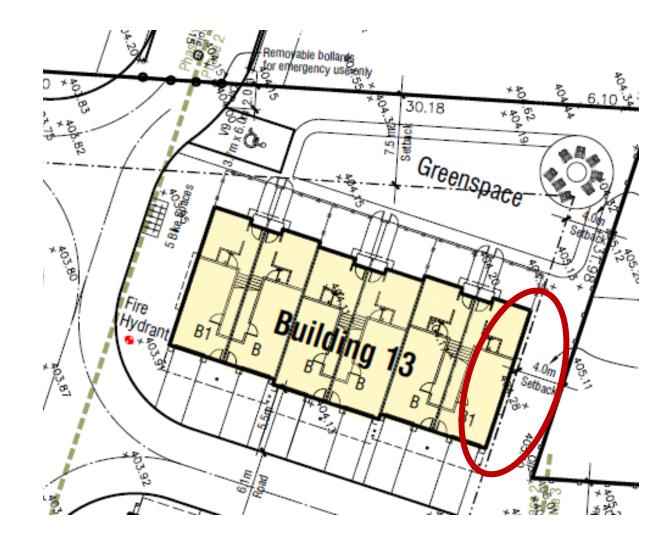
Variance

Height variance from 9.5m or 2 ¹/₂ storeys to 10m and 3 storeys



Variance

Height variance from 9.5m or 2 ¹/₂ storeys to 10m and 3 storeys





Development Policy

- The proposed development achieves the many of the City's Comprehensive Design Guidelines including:
 - Architectural unity and cohesiveness
 - Complete Communities
 - Housing Mix
 - Ground Oriented Housing
- Consistent with the Future Land Use designation





Staff Recommendation

- Staff recommend support for the DP & DVP application
 - Consistent with OCP Design Guidelines
 - Urban Infill Policies
 - Consistent with Future Land Use Designation
 - Appropriate location for adding residential density
 - Proximity to Brandt's Creek shopping area, parks & cycling corridors, transit and schools.



Conclusion of Staff Remarks

GLENPARK PHASE 2



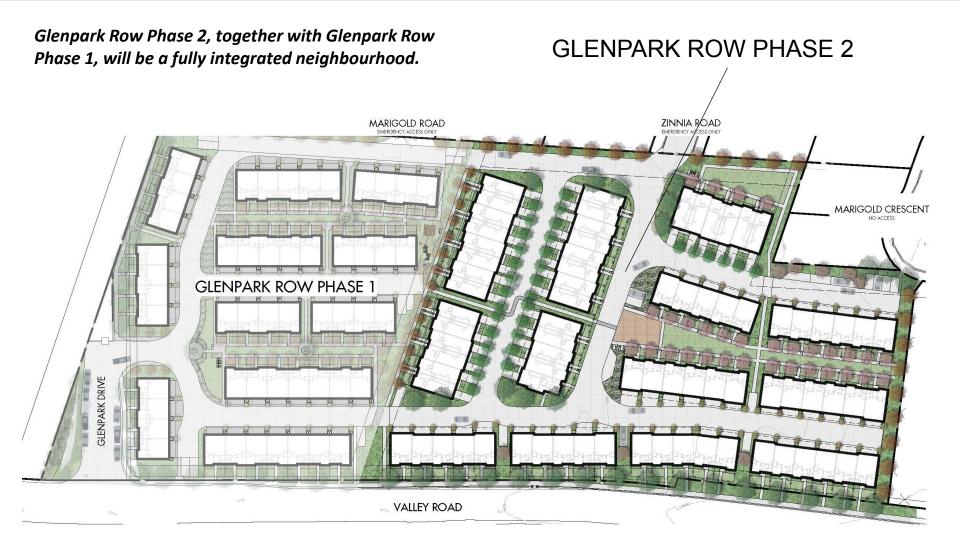


GLENPARK 2 - Neighbourhood





GLENPARK 1 & 2





GLENPARK 1 & 2





GLENPARK 2 – Conceptual Landscape Plan





GLENPARK 2 – Landscape Detail



KEY MAP 1:2000





CORNUS STOLONIFERA "FARROW"

VIBURNUM OPULUS 'COMPACTUM'

TUM' EUONYMUS ALATUS 'SELECT

QUERCUS "CRIMSON SPIRE

BOTANICAL NAME	COMMON NAME	SIZE / SPACING & REMARKS
TREES		
QUERCUS 'CRIMSON SPIRE'	CRIMSON SPIRE OAK	6cm CAL.
SHRUBS		
CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	#02 CONT. /1.2M O.C. SPACING
EUONYMOUS ALATUS 'SELECT'	FIRE BALL BURNING BUSH	#02 CONT. /1.5M O.C. SPACING
VIBURNUM OPULUS 'COMPACTUM'	COMPACT EUROPEAN CRANBERRY	#02 CONT. /1.8M O.C. SPACING

LANDSCAFE SVETCH REF. NO: LSK #1	PROJECT TITLE GLENPARK II CLENT VANMAR CONSTRUCTORS	THESE DRAWINGS RERESENT THE GENERAL DESIGN INTENT TO BE AVELARITED ON THE STEL CONTRACTOR SHALL BE REPORTING FOR CONTRACTING MADISCARE ARCHITECT FOR ANY ADDITIONAL CHARGENTICH OR BETALS NECESSARY TO ADDOMINGALE STEL CONDUCTIONS OR ARCHITECTURAL DETALS.		
	PROJECT #: 20-118	DATE 21.07.15	SCALE: 1:150	303 - 590 KLO Road Kalowno, BC V1Y 752
SHEET IND: 1 of 1	CRAVING REFERENCE SHEET L1, CONCEPTUAL LANDSCAPE PLAN	ISSUE REFERENCE: DP 21.06.30	PAGE SIZE: 11"X17"	T (250) 858/9270 www.cutlanddesign.ca





GLENPARK 2 – Landscape Detail





GLENPARK 1 & 2 ACCESS & CIRCULATION

Glenpark Row Phase 2 will be serviced through Glenpark Phase 1

Both Glenpark Row Phase 1 and Glenpark Row Phase 2 will be accessed through Glenpark Row Phase 1, from a new portion of **Glenpark Drive**, to be constructed in conjunction with Phase 1.

There will be a limitation on Marigold Road and Zinnia Road to pedestrian, bicycle and emergency use only. Removable bollards will be used.

A Statutory Right of Way has been registered on the northern property line, **linking Marigold Crescent and Valley Road** for pedestrian and bicycle use.



Legend	Street Name	Access Type
$ \Longleftrightarrow $	Glenpark Drive	Vehicle, Bicycle, Pedestrian
	Internal Circulation	Vehicle, Bicycle, Pedestrian
X	Marigold Rd, Zinnia Rd, Marigold Crescent, Valley Rd	Bicycle, Pedestrian & Emergency Access Only



