

City of Kelowna

Regular Council Meeting

AGENDA



Monday, August 29, 2016
1:30 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order

This meeting is open to the public and all representations to Council form part of the public record. A live audio and video feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

2. Confirmation of Minutes

3 - 7

PM Meeting - August 22, 2016

3. Public in Attendance

3.1 Imagine Kelowna Speaker Series -Interior Health: Board Chair Erwin Malzer and CEO Chris Mazurkewich

8 - 21

To receive a presentation from Interior Health's Board Chair Erwin Malzer and CEO Chris Mazurkewich on the future of health as the second talk of the Imagine Kelowna guest speaker series.

4. Development Application Reports & Related Bylaws

4.1 3470 Casorso Road, A16-0002 - 678923 BC Ltd.

22 - 32

Mayor to invite the Applicant, or Applicant's Representative, to come forward.

To consider a Staff recommendation NOT to seek a resolution from the Agricultural Land Commission for a Non-Farm Use to allow a farm yard footprint to be used for non-farm uses of retail sales of non-farm products and landscape construction business on the subject parcel.

4.2 866 Glenmore Drive, Z16-0044 - Urban Options Planning & Permits

33 - 45

To rezone the subject property from RU1, Large Lot Housing to RU1c, Large Lot Housing with Carriage House to facilitate the development of a carriage house.

4.3 866 Glenmore Drive, BL11273 (Z16-0044) - Urban Options Plannings & Permits **46 - 46**

To give Bylaw No. 11273 first reading in order to rezone the subject property to facilitate the development of a carriage house.

5. Non-Development Reports & Related Bylaws

5.1 Revitalization Tax Exemption Bylaw Update **47 - 50**

To amend the Revitalization Tax Exemption Program Bylaw to direct the 95,000 square feet of remaining floor area in Tax Incentive Area 3 to housing projects.

5.2 Amendment No. 4 to Revitalization Tax Exemption Bylaw No. 9561 **51 - 52**

To give Bylaw No. 11269 first, second and third readings in order to direct 95,000 square feet of remaining floor area in Tax Incentive Area 3 to housing projects.

5.3 Transit Future Plan, Technology, and Infrastructure updated **53 - 74**

To provide information on a number of transit projects underway, or planned to be initiated in the near future.

5.4 Board of Variance Member Appointment **75 - 76**

To appoint a new member to the Board of Variance.

6. Bylaws for Adoption (Non-Development Related)

6.1 BL11258, City of Kelowna Municipal and Regional District Tax Bylaw **77 - 77**

To adopt Bylaw No. 11258 in order to increase the accommodation tax rate from 2% to 3%.

7. Mayor and Councillor Items

8. Termination



City of Kelowna Regular Council Meeting Minutes

Date: Monday, August 22, 2016
 Location: Council Chamber
 City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Ryan Donn, Gail Given, Tracy Gray, Charlie Hodge, Brad Sieben, Mohini Singh and Luke Stack*

Members Absent Councillor Maxine DeHart

Staff Present City Manager, Ron Mattiussi; City Clerk, Stephen Fleming; Community Planning Department Manager, Ryan Smith*; Suburban & Rural Planning Manager, Todd Cashin*; Divisional Director, Community Planning & Real Estate, Doug Gilchrist*; Planner Specialist, Ross Soward*; Policy & Planning Department Manager, James Moore*; Acting Revenue Manager, Matt Friesen*; Council Recording Secretary, Arlene McClelland

(* Denotes partial attendance)

1. Call to Order

Mayor Basran called the meeting to order at 1:33 p.m.

Mayor Basran advised that the meeting is open to the public and all representations to Council form part of the public record. A live audio and video feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

2. Confirmation of Minutes

Moved By Councillor Hodge/Seconded By Councillor Gray

R614/16/08/22 THAT the Minutes of the Regular Meetings of August 8, 2016 be confirmed as circulated.

Carried

3. Development Application Reports & Related Bylaws

3.1 2486 Highway 97N, Z16-0001 - Kelowna Hwy 97/33 Holdings Ltd.

Staff:

- Displayed a PowerPoint presentation summarizing the application.

Moved By Councillor Donn/Seconded By Councillor Sieben

R615/16/08/22 THAT Rezoning Application No. Z16-0001 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 1 DL 125 ODYD Plan 18724 Except Plans KAP78413 and KAP80632 located at 2486 Hwy 97 North, Kelowna, BC from the C9 - Tourist Commercial zone to the C4 - Urban Center Commercial zone be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated August 8, 2016.

Carried

3.2 2486 Highway 97N, BL11268 (Z16-0001) - Kelowna Hwy 97/33 Holdings Ltd.

Moved By Councillor Hodge/Seconded By Councillor Gray

R616/16/08/22 THAT Bylaw No. 11268 be read a first time.

Carried

3.3 361 Yates Road, Z16-0031 - Cheryl Homes Medical Services Ltd.

Staff:

- Displayed a PowerPoint presentation summarizing the application and responded to questions from Council.

Moved By Councillor Sieben/Seconded By Councillor Gray

R617/16/08/22 THAT Rezoning Application No. Z16-0031 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 10, Section 5, Township 23, ODYD, Plan 15293, located at 361 Yates Road, Kelowna, BC from the RU1 - Large Lot Housing zone to the RU1c - Large Lot Housing with Carriage House zone be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated June 24, 2016.

Carried

3.4 361 Yates Road, BL11271 (Z16-0031) - Cheryl Homes Medical Services Ltd.

Moved By Councillor Gray/Seconded By Councillor Hodge

R618/16/08/22 THAT Bylaw No. 11271 be read a first time.

Carried

3.5 4491 Stewart Road West, Z16-0034 - Delauralyn Pihl

Staff:

- Displayed a PowerPoint presentation summarizing the application and responded to questions from Council.

Moved By Councillor Given/Seconded By Councillor Singh

R619/16/08/22 THAT Rezoning Application No. Z16-0034 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 221 Section 32 Township 29 ODYD Plan 1247, located at 4491 Stewart Road West, Kelowna BC from the A1 - Agriculture 1 zone to the A1c - Agriculture with Carriage House zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered subsequent to the issuance of a Farm Protection Development Permit for the subject property.

Carried

3.6 4491 Stewart Road West, BL11270 (Z16-0034) - Delauralyn Pihl

Moved By Councillor Given/Seconded By Councillor Donn

R620/16/08/22 THAT Bylaw No. 11270 be read a first time.

Carried

4. Non-Development Reports & Related Bylaws

4.1 Housing Policy Options

Councillor Stack declared a perceived conflict of interest as his employer received grants for this program in 2016 and may receive grants in the future and departed the meeting at 1:47 p.m.

Staff:

- Displayed a PowerPoint presentation summarizing the Housing Policy options and responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor Donn

R621/16/08/22 THAT Council receives for information, the report from the Planner Specialist dated August 22, 2016, identifying strategies to encourage housing diversity in Kelowna;

AND THAT Council directs staff to prepare the amendments to the Rental Housing Grants Council Policy No. 335 and Housing Opportunities Reserve Fund Bylaw No. 8593 as described in the report from the Planner Specialist dated August 22, 2016;

AND THAT Council approves in principle a 2017 budget amendment of \$200,000 from the Housing Opportunities Reserve Fund to fund the Rental Housing Grants Program as described in the report from the Planner Specialist dated August 22, 2016;

AND FURTHER THAT Council directs staff to prepare the amendments to the RM5 - Medium Density Multiple Housing zone as described in the report from the Planner Specialist dated August 22, 2016.

Carried

Councillor Stack rejoined the meeting at 2:15 p.m.

4.2 Transit 2016/2017 Annual Operating Agreement

Staff:

- Provided an overview of the Transit Annual Operating Agreement.

Moved By Councillor Donn/Seconded By Councillor Singh

R622/16/08/22 THAT Council approve the 2016/2017 Annual Operating Agreement between BC Transit and City of Kelowna for Conventional, Community, and Custom transit;

AND THAT the Mayor and City Clerk be authorized to execute the Operating Agreements between BC Transit, the City of Kelowna and FirstCanada ULC covering the period April 1, 2016 to March 31, 2017.

Carried

5. Mayor and Councillor Items

Councillor Given:

- Spoke to her appreciation for the City Manager and staff who attend the EOC Centre at all hours of the day and night.

Councillor Donn:

- Expressed his excitement at the announcement of the Duke and Duchess of Cambridge visit to Kelowna in September.
- Expressed his disappointment at the recent provincial announcement regarding Carbon Tax.

Councillor Gray:

- Spoke to the luncheon on August 23rd with the delegation from Kasugai Sister City.
- Spoke to the vibrancy of downtown Kelowna over the past weekend.

Councillor Hodge:

- Spoke to the outstanding job City staff do to maintain the city's parks and greenspaces.

Councillor Sieben:

- Spoke to the success of local athletes who participated during the Olympic Summer Games.

Councillor Singh:

- Spoke to her attendance, on behalf of the Mayor, with the delegation from Jamaica.

Councillor Stack:

- Displayed an Ogopogo Pin and requested a new Ogopogo Pin be reproduced.

Moved By Councillor Stack/Seconded By Councillor Hodge

R623/16/08/22 THAT Council direct staff to initiate a new Ogopogo Pin for distribution to the public.

Carried

Mayor Basran:

- Advised that City staff are cleaning City roads and lands from debris due to the wind storm the previous evening and encouraged public to identify areas needing service through the service request system.
- Confirmed that the Duke and Duchess of Cambridge will visit Kelowna Tuesday, September 27th, 2016; there are no other details to date.
- Thanked organizers of the Kelowna Triathlon.

6. Termination

This meeting was declared terminated at 2:29 p.m.

Mayor

/acm



City Clerk

Report to Council



Date: August 24, 2016
File: 0610-50
To: City Manager
From: Rafael Villarreal, Manager, Integrated Transportation (Project Manager for Strategic Visioning Project)
Subject: Imagine Kelowna Speaker Series (Guest #2 Interior Health: Board Chair Erwin Malzer and CEO Chris Mazurkewich)

Recommendation:

THAT Council receives for information, the presentation from Interior Health's Board Chair Erwin Malzer and CEO Chris Mazurkewich, dated August 24, 2016, regarding the Future of health, challenges and Opportunities

Purpose:

To receive a presentation from Interior Health's Board Chair Erwin Malzer and CEO Chris Mazurkewich on the future of health as the second talk of the Imagine Kelowna guest speaker series.

Background:

As part of the Imagine Kelowna initiative, a series of prominent guest speakers and experts will be sharing their knowledge, experiences and expertise with Council and the community. This presentation, as part of the Imagine Kelowna Speaker Series, will look forward to Health Care in 2040 and the transformational opportunities that will present themselves for health systems across Canada and around the world.

Guest speakers Mr. Erwin Malzer, Interior Health Board Chair and Mr. Chris Mazurkewich, Interior Health CEO, will discuss the opportunities and challenges associated with increasing pressures Canadian health care systems are facing due to a growing and aging population, rising cost burdens related to chronic disease and advances in technology.

Erwin Malzer has served on the Interior Health Board of Directors since 2007, and was appointed as Board Chair January 2015. He has a Bachelor of Commerce (Hons.) and an MBA degree and is a former Business Consulting partner with IBM based in Vancouver.

Chris Mazurkewich was appointed as President and CEO of Interior Health in October 2015. He holds a Bachelor of Commerce (Accounting) from the University of Saskatchewan, a Master of Administration (Health) from Central Michigan University, and a Chartered Accountant designation. Chris rejoined Interior Health after spending four years at Alberta Health

Services, most recently as Executive Vice President and Chief Operating Officer for the provincial agency.

Internal Circulation:

Divisional Director, Infrastructure
Divisional Director, Community Planning & Real Estate
Divisional Director, Divisional Director, Communications & Information Services

Considerations not applicable to this report:

Legal/Statutory Authority
Legal/Statutory Procedural Requirements
Existing Policy
Financial/Budgetary Considerations
Personnel Implications
External Agency/Public Comments
Communications Comments
Alternate Recommendation

Submitted by:

R. Villarreal, Manager, Integrated Transportation (Project Manager for Strategic Visioning Project)

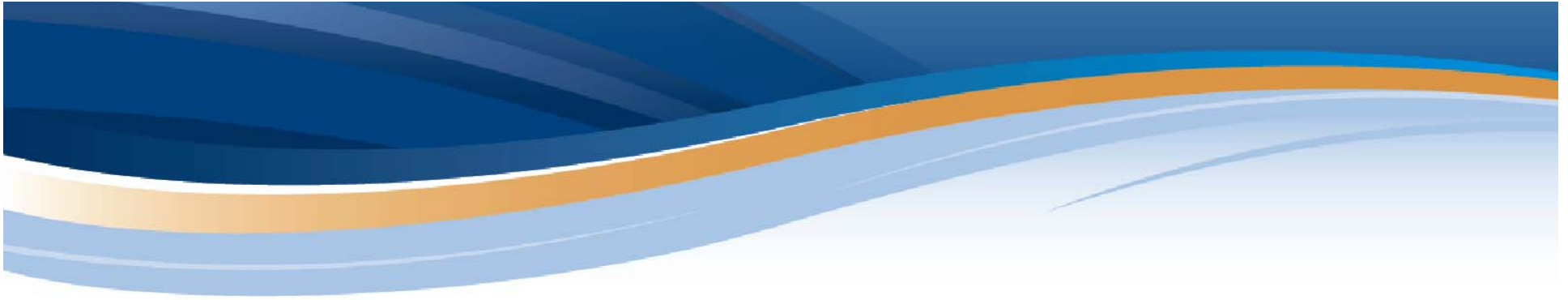
Approved for inclusion:



A. Newcombe, Divisional Director Infrastructure

Attachments: Slides from Interior Health

cc: Divisional Director, Community Planning & Real Estate
Divisional Director, Divisional Director, Communications & Information Services
Divisional Director, Human Resources & Corporate Performance
Divisional Director, Civic Operations
Divisional Director, Active Living & Culture
Divisional Director, Corporate & Protective Services
Director, Business and Entrepreneurial Development



Imagine Kelowna

Health care in 2040

August 29, 2016

Erwin Malzer
Board Chair

Chris Mazurkewich
President & CEO



Interior Health
Every person matters

Topics

- Organizational Overview
- System Pressures
- *Imagine ... status quo*
- *Imagine if*

Interior Health Scope

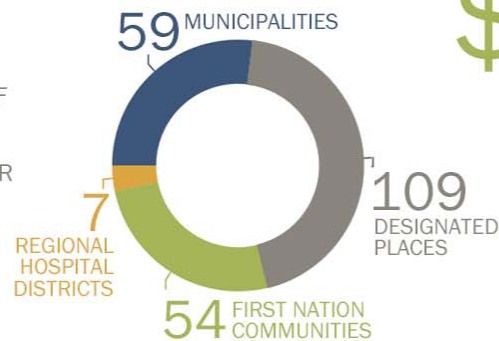
 **Quick Facts**
A SNAPSHOT OF INTERIOR HEALTH

2016/17

 ESTIMATED POPULATION OF
750,000
IN THE SOUTHERN INTERIOR



WE COVER OVER
215,000
SQ. KILOMETRES



\$2.0 billion
ANNUAL BUDGET



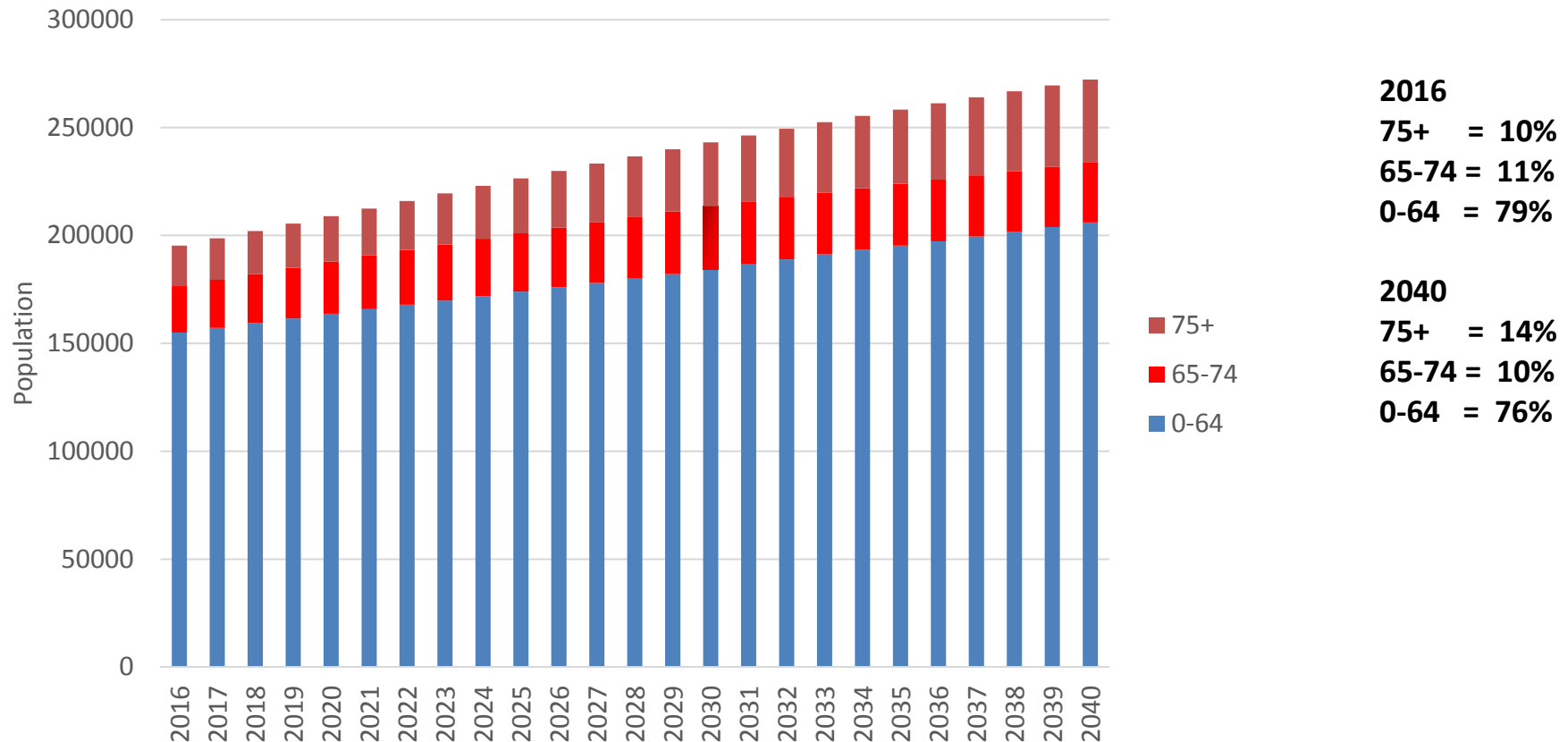
Population Needs / System Pressures

Select* Population Segment	Share of IH Population	Share of Publicly Funded Health Care Resources
Non-User	13%	0%
Healthy	36%	5%
Chronic Conditions	38%	35%
MHSU	2%	4%
Cancer	1%	5%
Maternity	2%	3%
Frail in Community	2%	13%
Frail in Care	1%	22%
End of Life	1%	6%

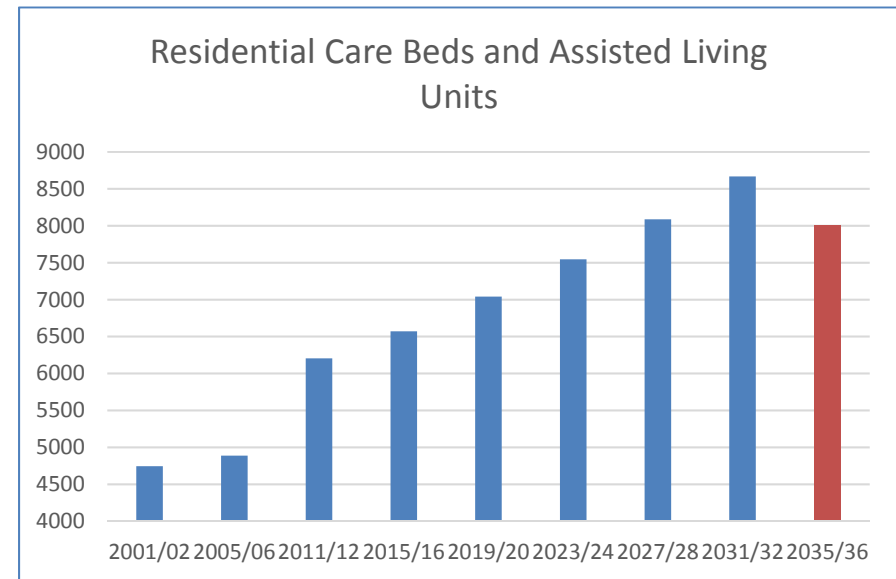
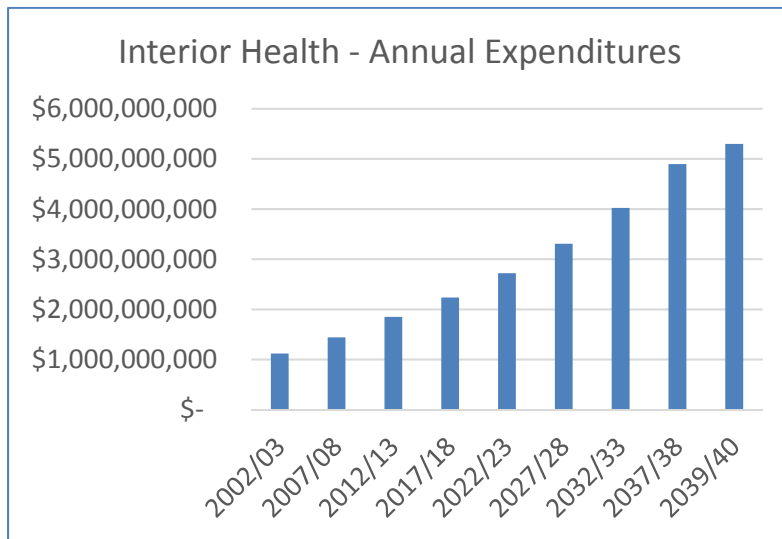
**Does not include major episodic care needs or unattached populations.*

Source: Health System Matrix 6.1

Central Okanagan Local Health Area Population Growth (by age grouping)



Imagine . . . the status quo



Note: Projections are straight-line estimates and not reflective of anticipated results. They are purely for descriptive purposes.

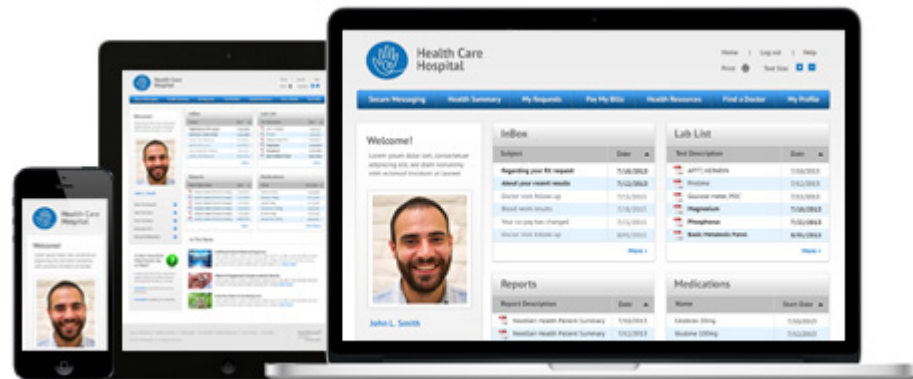
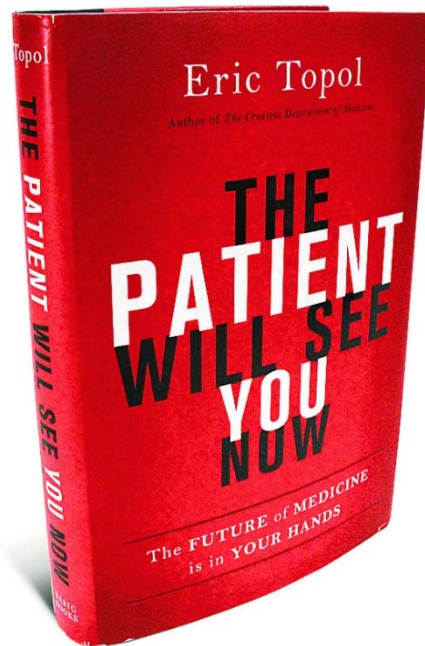


Imagine ... the status quo



???

Imagine if



8/24/2016

8

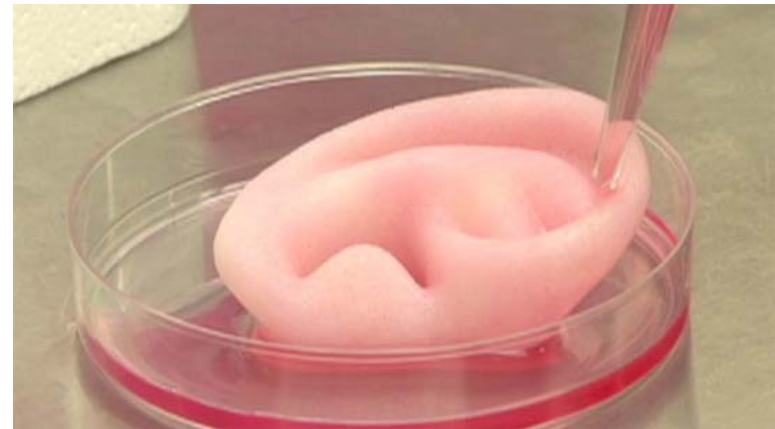
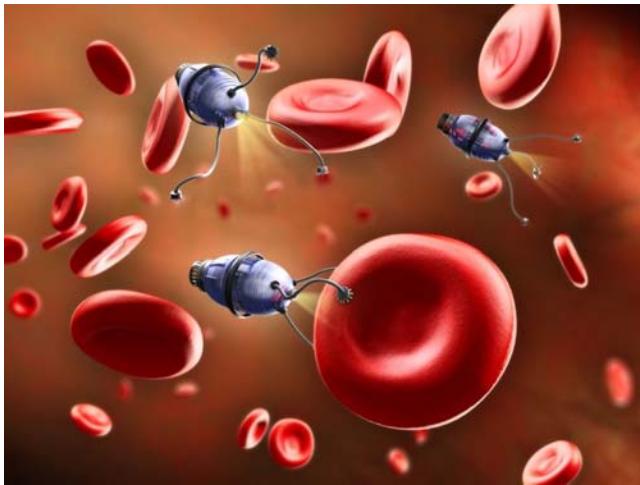
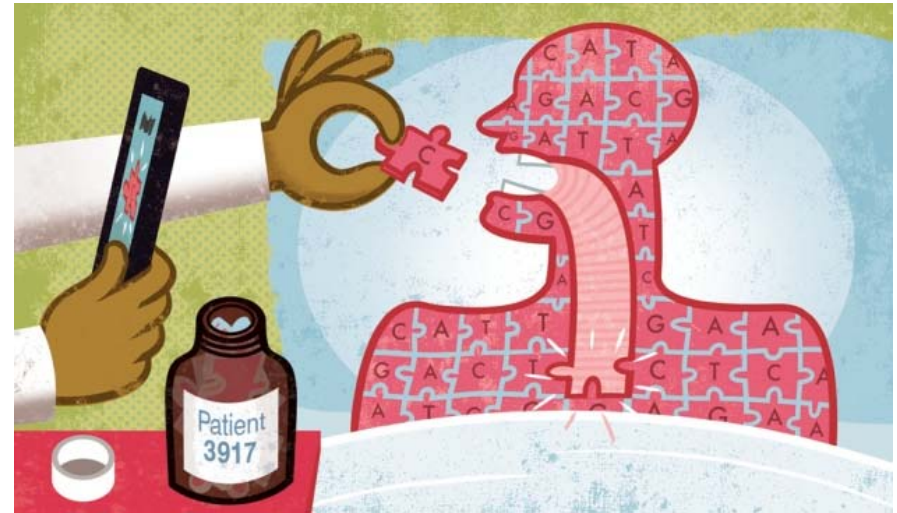
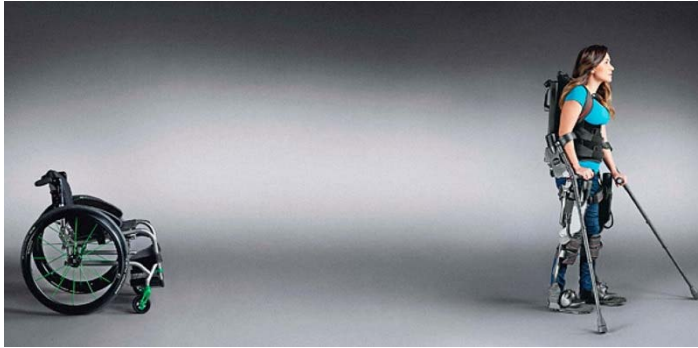
Imagine if



8/24/2016

9

Imagine if ...



Imagine ... the ethical conversations



Discussion



REPORT TO COUNCIL



Date: August 29, 2016

RIM No. 1210-21

To: City Manager

From: Community Planning Department (TY)

Application: A16-0002 **Owner on Lease :** 678923 B.C. LTD.
(Neway Landscape & Irrigation Ltd)

Address: 3740 Casorso Road **Applicant:** Urban Options Planning & Permits

Subject: Non-Farm Use Application to the Agricultural Land Reserve

Existing OCP Designation: REP - Resource Protection Area

Existing Zone: A1 - Agriculture 1

1.0 Recommendation

THAT Agricultural Land Reserve Appeal Application No. A16-0002 for The East ½ Lot C District Lot 133 ODYD Plan 1829, located at 3740 Casorso Road, Kelowna, BC for a Non-Farm Use of agricultural land in the Agricultural Land Reserve pursuant to Section 20(3) of the Agricultural Land Commission Act, NOT be supported by Council;

AND THAT the Municipal Council directs Staff to NOT forward the subject application to the Agricultural Land Commission for consideration.

2.0 Purpose

To consider a Staff recommendation NOT to seek a resolution from the Agricultural Land Commission for a Non-Farm Use to allow a farm yard footprint to be used for non-farm uses of retail sales of non-farm products and landscape construction business on the subject parcel.

3.0 Community Planning

The applicant is requesting a Non-Farm Use application under Section 20(3) of the Agricultural Land Commission (ALC) Act to allow a farm yard footprint for two non-farm uses on the subject property. The two non-farm uses proposed are a) retail sales of non-farm product in an area 490 sq.m. in size and b) operation of a landscape and irrigation construction business on the subject property.

The ALC Non-Farm Use application is required as:

- Retail sales of non-farm product (when accompanied by retail sales of farm product) may not exceed 150 sq.m. in size, and

- Operating a landscape & irrigation construction company is not a permitted land use on Agricultural lands.

The Non-Farm Use application is to seek the appropriate provincial and municipal approvals. In order to permit the following uses, on the subject parcel the applicant proposes to:

Register a Farm Yard Footprint of 4,120 sq.m as shown on Attachment A of this report. The purpose of this footprint is to establish an area on the parcel where the two non-farm uses (A & B below) may occur, including:

- A. Nursery Related Retail Sales of Non-Farm product of mulch and decorative rock sales, and garden accessories such as but not limited to soil additives, spades, gardening gloves etc.; and
- B. Operation of Landscape & Irrigation Construction Company *Neway Landscape & Irrigation Ltd*, solely used for office space and storage of vehicles and equipment.

According to Zoning Bylaw No. 8000 "Greenhouses and Plant Nurseries" expressly does not include landscaping operations, and as such, are not a permitted use in the A1 - Agriculture 1 zone^{1 2}.

In addition, the proposal does not correspond or support with the following Official Community Plan Policies:

- Increase local food production ³;
- Protect Agricultural Land ⁴; or
- Urban Uses - Direct urban uses to lands within the Permanent Growth Boundary ⁵.

The uses of landscaping companies (general contractors), and outdoor storage is permitted in the I2 - General Industrial zone and the I6 - Low Impact Transitional Industrial zone. Staff shares the Agricultural Advisory Committee (AAC) concern with the proposal regarding precedent for other operations, and notes that the use is legal in other zones within the city.

4.0 Proposal

4.1 Background

Neway Landscape & Irrigation Ltd has leased the parcel from the Property owners since 2003. In this time, Neway has operated with a Business Licence of "Landscaping/Garden including the sale of shrubs" which is permitted in Kelowna's A1 - Agriculture 1 Zone and meets ALC regulations. Since 2003, the business expanded, creating non-conforming uses on the parcel which include the retail sales of imported non-farm product (topsoil, mulch, gravels) as well as landscape construction equipment storage and granular material stockpiling.

In 2015, the applicant was notified that the extent of the commercial operation (rock and mulch sales, outdoor storage and storage of heavy equipment) on the property exceeded the original business license and allowable uses by the ALC and Kelowna Zoning Bylaw No. 8000. Neway was instructed to terminate operations or apply for a non-farm use to legalize the non-conformity on the site.

¹ City of Kelowna Zoning Bylaw No. 8000 Section 2.1 p. 2-19

² City of Kelowna Zoning Bylaw No. 8000 Section 11 p. A1-1

³ City of Kelowna 2030 Official Community Plan Development Process Chapter p. 5.14

⁴ City of Kelowna 2030 Official Community Plan Development Process Chapter p. 5.35

⁵ City of Kelowna 2030 Official Community Plan Development Process Chapter p. 5.35

Non-Farm Use application A16-0002 was applied for in January of 2016. In May 2016, a site plan was presented to the AAC (see *Attachment B: May 2016 Site Plan*).

The AAC did not recommend Council support to legalize the existing operation which included a nursery, landscape and irrigation construction company, and retail sales of non-farm product.

AAC Comment Summary:

- Concerns with other surrounding non-compliant properties.
- Acknowledged the applicant has made effort to bring the property closer to compliance.
- Concerned with setting a precedent for others in the area (allowing non-compliance).
- Concerned with non-farm uses spread over a large, non-contiguous area.
- Strongly encouraged the applicant to reconfigure the uses on site to increase agriculture, bringing all non-farm uses to the front property line.

The applicant considered the AAC recommendation and has submitted a revised Proposed Site Plan (See Image 2) based on AAC comments. The current proposed site plan increases nursery, decreasing the area of non-farm retail product.

4.2 Agricultural Land Capability

The soils are improvable (via ditching and irrigation) to Class 2 which is considered prime agricultural land and relatively rare in the Okanagan.

4.3 Project Description

The applicant is proposing one contiguous farm yard footprint for all proposed non-farm uses. This footprint as proposed in Image 2 (*Attachment A*) is 30 % of the property and would include drive aisles, parking, storage sheds, retail for non-farm product, artificial putting green, storage of heavy equipment and materials for the nursery and landscape and irrigation construction company.

The remainder of the property outside of the farm yard footprint is proposed for farm uses only. On the subject parcel the farm use as proposed is ornamental plant nursery, such as greenhouses, indoor or outdoor plant inventory and a potting areas.

As part of this application, no storage or stockpiling of any equipment or material for the nursery or landscape construction company are permitted outside the farm yard footprint.

Although the proposed site plan does take AAC comments into consideration, there are a number of City of Kelowna and ALC Regulations and Policies that are not met with the application as proposed and therefore are before Council for consideration. The Zoning Analysis Table identifies where the application meets or does not meet ALC and City of Kelowna regulations and policies. Section 5.0 of this report provides further details on these current development policies.

4.4 Agricultural Use Analysis Table

CRITERIA	PERMITTED	PROPOSED	ACHIEVES
AGRICULTURAL LAND COMMISSION REGULATION			
<i>A Agricultural Activities</i>	Ornamentals (floriculture, horticultural, nursery crops)	Ornamentals (floriculture, horticultural, nursery crops)	✓
<i>B Permitted Farm Uses</i>	Farm Retail Sales (of farm product listed above) (Maximum 150 sq.m.)	Farm Retail Sales (of farm product listed above) (Maximum 150 sq.m.)	✓
	Non-Farm Product Retail Sales: • Accessory to farm retail sales • maximum 150 sq.m.	• Accessory to farm retail sales • 490 sq.m. (more than 3 times the allowable area)	✓ X
<i>C Permitted Uses</i>		Landscape and Irrigation Construction (Construction business is not a permitted use on ALR land)	X
AGRICULTURAL LAND COMMISSION GUIDELINES			
Farm Yard Footprint	For Single Family Dwelling & Associated Accessory Buildings	Non-Farm Uses	X
CITY OF KELOWNA A1 ZONE REGULATION			
Lot Area	2.0 HA / 4.9 ACRE	1.3 HA / 3.3 AC	
Lot Width	40.0 m	90.3 m	
A1 Zone Principal Uses	Greenhouses and Plant Nurseries	Greenhouses and Plant Nursery	✓
A1 Zone Secondary Uses		Landscape / Irrigation Construction (Construction business is not a permitted use in the A1 Zone)	X
CITY OF KELOWNA POLICY			
Farm Yard Footprint	Contain all non-farm uses in a contiguous area	Contiguous	✓

Image 2 - Proposed Site Plan

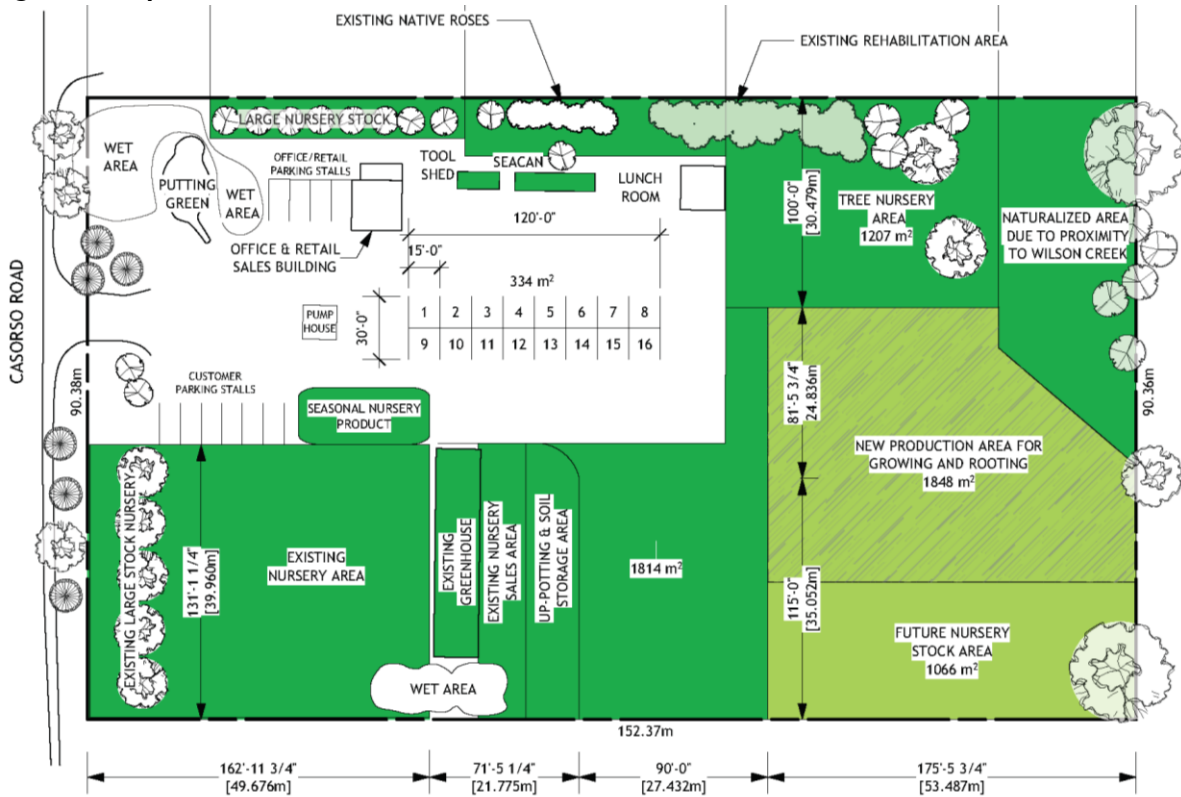
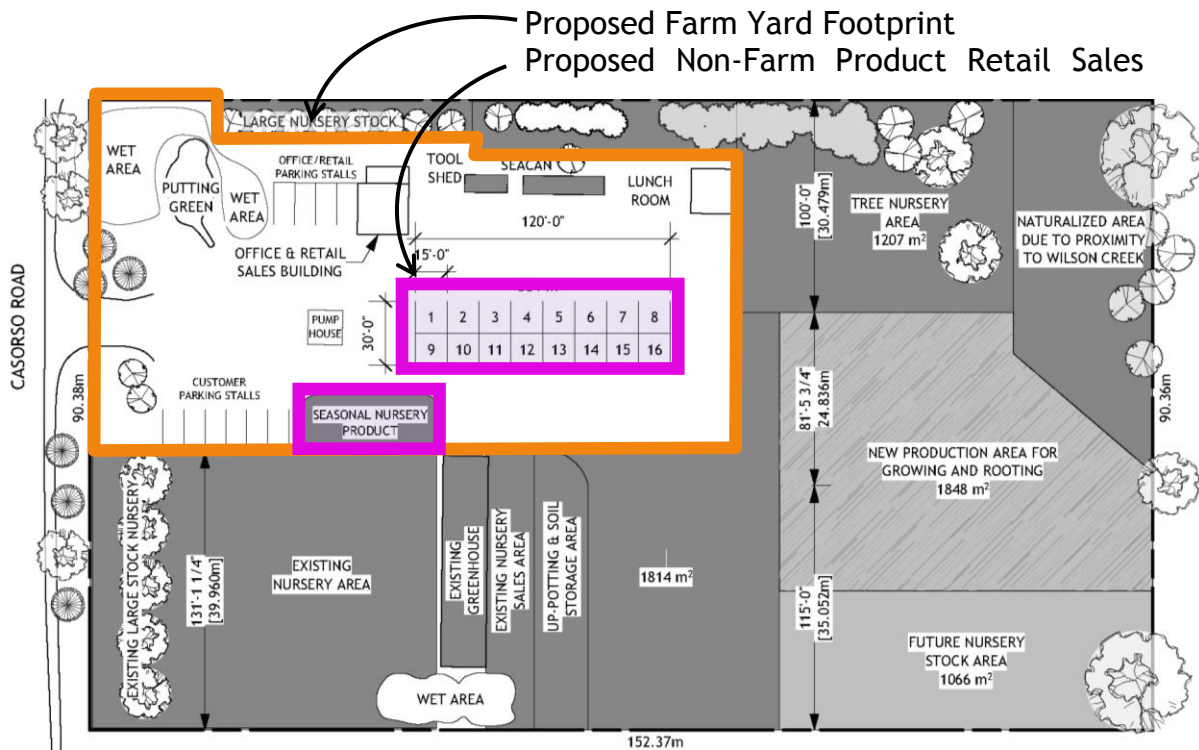


Image 3 - Proposed Site Plan - Non Farm Uses



4.5 Site Context

The subject property is located in the South Pandosy - KLO Sector of Kelowna. It is surrounded by land in the ALR and is adjacent to Wilson Creek in the southeast corner. The parcel is relatively flat, with low, wet areas to the southeast closest to Wilson Creek. As the property has little to no slope allowing water to drain, throughout the spring, fall and winter seasons water does pool around the perimeter of the property. It is outside the Permanent Growth Boundary as identified in Kelowna's Official Community Plan.

Subject Property Map 2015



Subject Property Map 2000



Specifically, adjacent land uses are as follows:

Orientation	Zoning	ALR	Land Use
North	A1 - Agriculture 1	Yes	Hay
East	A1 - Agriculture 1	Yes	Pasture
South	A1 - Agriculture 1	Yes	Vacant Land
West	A1 - Agriculture 1	Yes	Fruit / Vegetable

Agricultural Land Reserve Map



5.0 Current Development Policies

5.1 Kelowna Agriculture Plan (1998)

ALR Application Criteria⁶

Exclusion, subdivision, or non-farm use of ALR lands will generally not be supported. General non-support for ALR applications is in the interest of protecting farmland through retention of larger parcels, protection of the land base from impacts of urban encroachment, reducing land speculation and the cost of entering the farm business, and encouraging increased farm capitalization.

5.2 Kelowna Official Community Plan (OCP)

Agricultural Land Use Policies

Objective 5.33 Protect and enhance local agriculture⁷.

⁶ City of Kelowna Agriculture Plan. 1998. P. 130.

⁷ City of Kelowna 2030 Official Community Plan: Agricultural Land Use Policies Chapter. P. 5.35.

Policy .1 Protect Agricultural Land. Retain the agricultural land base by supporting the ALR and by protecting agricultural lands from development, except as otherwise noted in the City of Kelowna Agricultural Plan. Ensure that the primary use of agricultural land is agriculture, regardless of parcel size.

Policy .3 Urban Uses. Direct urban uses to lands within the urban portion of the Permanent Growth Boundary, in the interest of reducing development and speculative pressure on agricultural lands.

5.3 *Agricultural Land Commission Act (ALCA)*

Purposes of the commission - Section 6 of the ALCA

The following are the purposes of the commission:

- (a) to preserve agricultural land;
- (b) to encourage farming on agricultural land in collaboration with other communities of interest;
- (c) to encourage local governments, first nations, the government and its agents to enable and accommodate farm use of agricultural land and uses compatible with agriculture in their plans, bylaws and policies.

6.0 Technical Comments

6.1 Development Engineering Department

No comments at this time. A comprehensive report will be provided at the time of application if the Agricultural Land Commission agrees to the proposed land use on the subject property.

6.2 Bylaw Services

Should the ALC approve the continuation of this business, signage on the subject property will need to be brought into compliance which includes applying for a Sign Permit.

7.0 Application Chronology

Application Received:	January 28, 2016
Agricultural Advisory Committee:	May 12, 2016
Revised Site Plan:	July 19, 2016

8.0 Agricultural Advisory Committee

The above noted application was reviewed by the Agricultural Advisory Committee at the meeting held on May 12, 2016 and the following recommendations was *DEFEATED*:

THAT the Agricultural Advisory Committee recommends that Council support an application to the Agricultural Land Commission under Section 25 of the Agricultural Land Commission Act for "non-farm use" on the subject property at 3740 Casorso Road legalize an existing non-conforming nursery and landscape company and proposed nursery expansion.

ANECDOTAL COMMENTS:

- The Agricultural Advisory Committee did not support the request to legalize an existing nonconforming nursery and landscape company and proposed nursery

expansion on this property, however, acknowledge that the applicant has done a lot to enhance the property.

- The Agricultural Advisory Committee raised concern with setting a precedent for others in the area that are non-compliant.
- The Agricultural Advisory Committee strongly encourages the Applicant to relook at the site and reconfigure in order to increase farmland; suggested the gravel operation be moved to the front of the property to increase the agriculture footprint.
- The Agricultural Advisory Committee recommend more resources be put towards compliance enforcement.

9.0 Alternate Recommendation

THAT Agricultural Land Reserve Appeal Application No. A16-0002 for The East ½ Lot C District Lot 133 ODYD Plan 1829, located at 3740 Casorso Road, Kelowna, BC for a Non-Farm Use of agricultural land in the Agricultural Land Reserve pursuant to Section 20(3) of the Agricultural Land Commission Act, be supported by Council, subject to the ALC imposing a condition that a Temporary Use Permit application to eliminate all non-farm uses over a three-year period be considered;

AND THAT the Municipal Council directs Staff to forward the subject application to the Agricultural Land Commission for consideration.

Report prepared by: Tracey Yuzik, Planner

Reviewed by: Todd Cashin, Suburban and Rural Planning Manager

Reviewed by Ryan Smith, Community Planning Department Manager

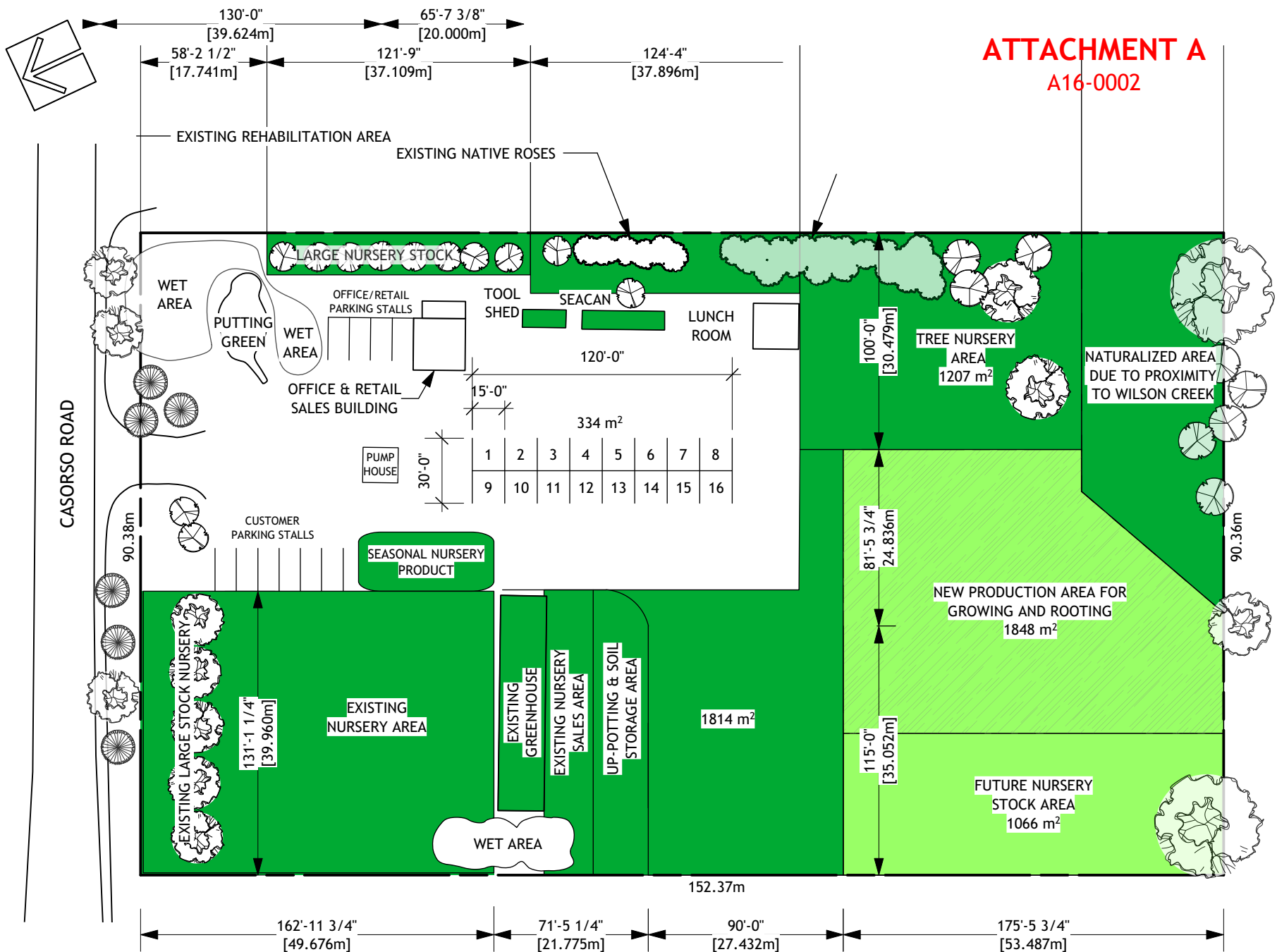
Approved for Inclusion: Doug Gilchrist, Divisional Director, Community Planning & Real Estate

Attachments:

Attachment A Current Proposed Site Plan

Attachment B May 2016 Site Plan

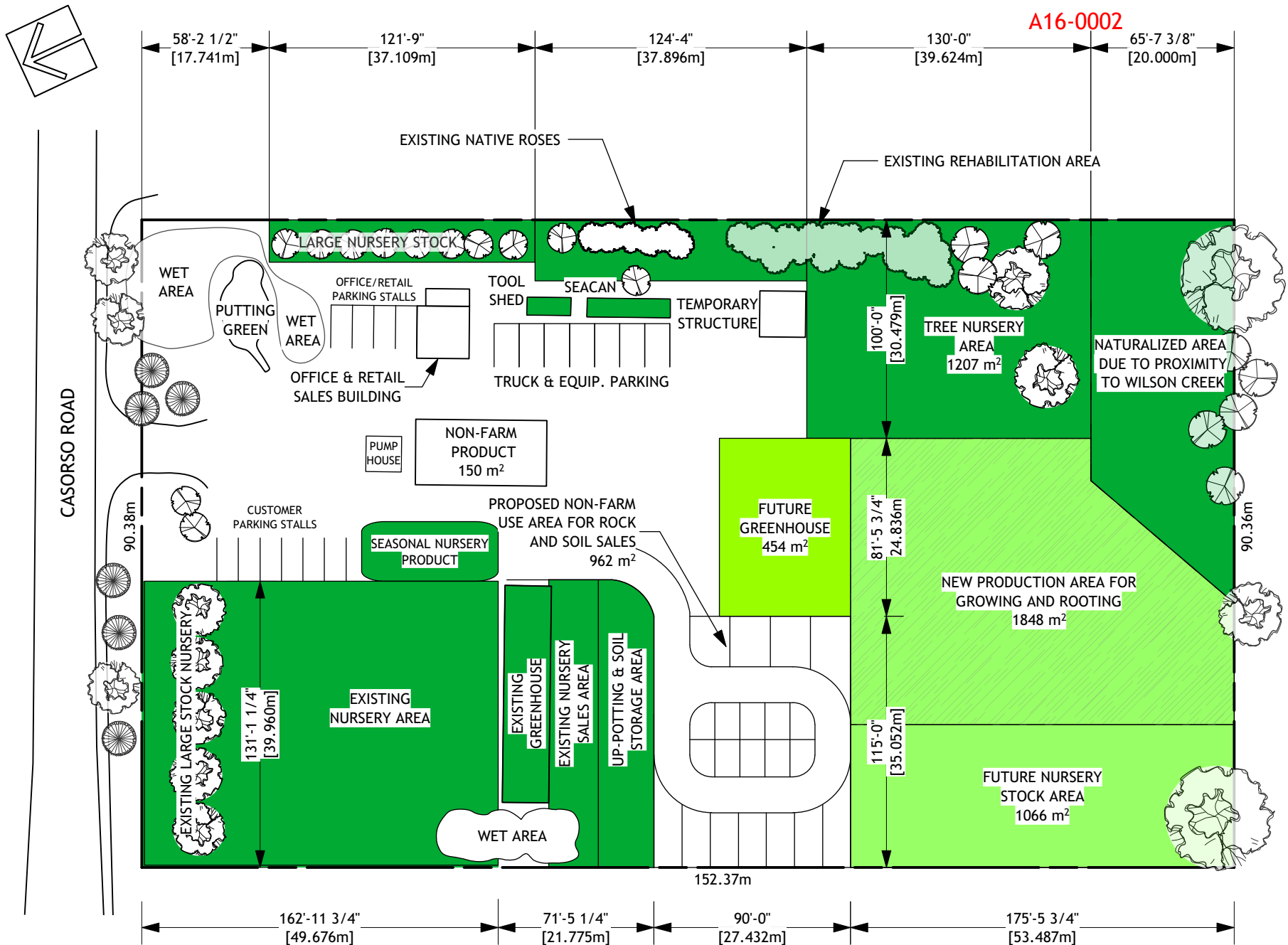
ATTACHMENT A A16-0002



1

3740 CASORSO SITE PLAN
Scale: 1:750





1

3740 CASORSO SITE PLAN

Scale: 1:750



REPORT TO COUNCIL



Date: August 29, 2016

RIM No. 1250-30

To: City Manager

From: Community Planning Department (KB)

Application: Z16-0044 **Owner:** Jefferey Todd Giebelhaus,
Linda Marie Giebelhaus

Address: 866 Glenmore Drive **Applicant:** Urban Options Planning &
Permits

Subject: Rezoning Application

Existing OCP Designation: MRL - Multiple Unit Residential (Low Density)

Existing Zone: RU1 - Large Lot Housing

Proposed Zone: RU1c - Large Lot Housing with Carriage House

1.0 Recommendation

THAT Rezoning Application No. Z16-0044 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 9, Section 29, Township 26, ODYD Plan 4101, located at 866 Glenmore Drive, Kelowna, BC from the RU1 - Large Lot Housing zone to the RU1c - Large Lot Housing with Carriage House zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated July 25, 2016.

2.0 Purpose

To rezone the subject property from RU1, Large Lot Housing to RU1c, Large Lot Housing with Carriage House to facilitate the development of a carriage house.

3.0 Community Planning

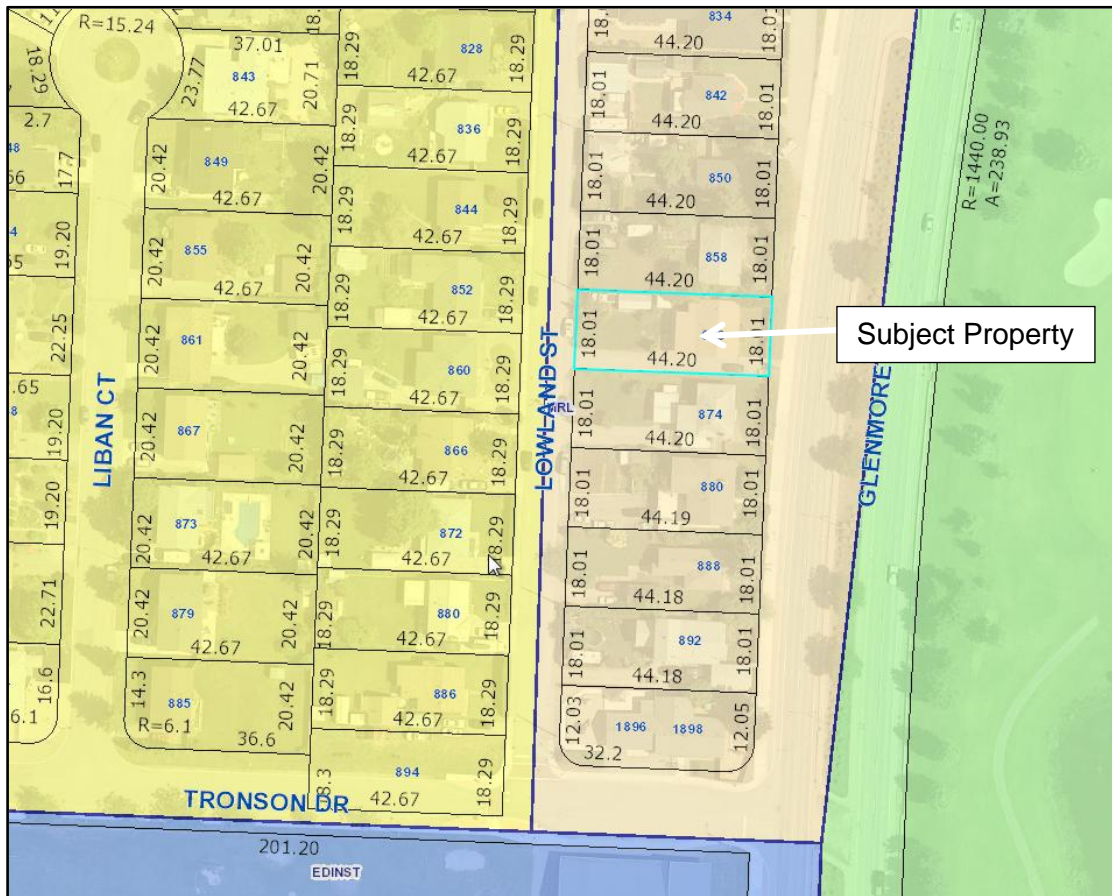
Community Planning Staff supports the proposed rezoning application to allow the development of a carriage house on the subject property.

The Future Land Use designation of the subject parcel is MRL - Multiple Unit Residential (Low Density). The purpose of MRL is low density, multi-family housing, such as townhouses, garden

apartments, and buildings containing three or more residential units. This rezoning does not meet that objective and is considered to be an underdevelopment by staff. However, there has been no demonstrated demand for MRL in this specific area, and there is OCP policy to encourage small infill housing, albeit at the expense of potential lot consolidation and longer-term comprehensive redevelopment.

In accordance with Council Policy No. 367, the applicant completed neighbourhood consultation by contacting all neighbouring properties within a 50 m radius. Neighbours were provided with a circulation package that was delivered in person on July 16, 2016 and July 17, 2016. To date, staff has received no comments.

OCP Future Land Use Map: 866 Glenmore Drive



4.0 Proposal

4.1 Project Description

The proposed one storey carriage house meets all of the zoning requirements for RU1c - Large Lot Housing with Carriage House. All access to the property is off Lowland Street, and parking requirements are met with an attached garage to the carriage house as well as stalls adjacent to the carriage house and the principal dwelling. The existing 1 ½ storey dwelling was constructed in the late 1950's/early 1960's and access to both dwellings is from Lowland Street. Private open space is provided for the carriage house directly off a covered patio to the north, and privacy is maintained between the two dwellings through the use of landscaping.

The close proximity to parks, schools, downtown and nearby transit on Glenmore Drive makes this an ideal location for increased density as per the OCP urban policies for Compact Urban Form and Sensitive Infill. The Walkability score of this subject property is 34/100 meaning that most errands require a car. The Transit score is 28/100 which means there are a few nearby transit options.

4.2 Site Context

The subject property is located east of Glenmore Drive and north of Tronson Drive in Glenmore within the permanent growth boundary. The surrounding residential neighbourhood is predominately RU1, however an increase in density to RU1c lots of has occurred in the area with three RU1c lots in close proximity, and one RU6 lot also fronting on Lowland Street.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 - Large Lot Housing	MRL - Multiple Unit Residential (Low Density)
East	P3 - Parks and Open Space	REP - Resource Protection Area
South	RU1 - Large Lot Housing	MRL - Multiple Unit Residential (Low Density)
West	RU1 - Large Lot Housing	S2RES - Single / Two Unit Residential

Subject Property Map: 866 Glenmore Drive



4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU1c ZONE REQUIREMENTS	PROPOSAL
Existing Lot		
Minimum Lot Area	550 m ²	809 m ²
Minimum Lot Width	16.5 m	18.01 m
Minimum Lot Depth	30.0 m	44.20 m
Development Regulations		
Maximum Total Site Coverage (buildings)	40%	34.4%
Maximum Total Site Coverage (buildings, driveways & parking)	50%	48.0%
Maximum Accessory Site Coverage	20%	16.3%
Maximum Net Floor Area	100 m ²	89.7 m ²
Maximum Net Floor Area to Principal Building	75%	46.7 %
Maximum Height (to mid-point)	4.8 m	3.49 m
Maximum Height (to peak)	Peak of Principal Dwelling (7.2 m)	4.22 m
Minimum Front Yard	4.5 m	4.53 m
Minimum Side Yard (north)	2.0 m	2.01 m
Minimum Side Yard (south)	2.0 m	3.68 m
Minimum Rear Yard	2.0 m	> 20.0 m
Minimum Setback from Principal Building	3.0 m	4.23 m
Other Regulations		
Minimum Parking Requirements	3 stalls	> 3 stalls
Minimum Private Open Space	30 m ² per dwelling	>30 m ² per dwelling

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 5: Development Process

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Sensitive Infill.² Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

¹ City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

6.0 Technical Comments

6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications.

6.2 Development Engineering Department

- Please see attached Development Engineering Memorandum dated July 25, 2016.

6.3 Fire Department

- There does not appear to be vehicular access to the existing house from Glenmore Dr for emergency response. The carriage house and existing house should be addressed off of Lowland St. - in the event of an emergency it will be difficult to find the carriage house.
- Requirements of section 9.10.19 Smoke Alarms and Carbon Monoxide alarms of the BCBC 2012 are to be met.

6.4 FortisBC Inc - Electric

- There are FortisBC Inc (Electric) ("FBC(E)") primary distribution facilities along Lowland Street adjacent the subject's west property line. The applicant is responsible for costs associated with any change to the subject property's existing service, if any, as well as the provision of appropriate land rights where required.
- Otherwise, FBC(E) has no concerns with this circulation.
- In order to initiate the design process, the customer must call 1-866-4FORTIS (1-866-436-7847). It should be noted that additional land rights issues may arise from the design process but can be dealt with at that time, prior to construction.

6.5 Shaw Cable

- Shaw's interests are unaffected subject to owner/developer installing a conduit system to allow for the installation Shaw services.

7.0 Application Chronology

Date of Application Received: July 7, 2016
Date Public Consultation Completed: July 21, 2016

Report prepared by:

Kim Brunet, Planner I

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Schedule "A": Development Engineering Memorandum dated July 25, 2016
Floor Plans and Conceptual Elevations
Site Plan and Landscape Plan
Context/Site Photos
Colour Board

CITY OF KELOWNA

MEMORANDUM

Date: July 25, 2016
File No.: Z16-0044

To: Community Planning (KB)

From: Development Engineering Manager(PI)

Subject: 866 Glenmore Drive

RU1c

Development Engineering has the following comments and requirements associated with this application to rezone from RU1 to RU1c.

1. Domestic Water and Fire Protection

Our records indicate this property is currently serviced with a 19mm-diameter water service. The service is adequate for the proposed application.

2. Sanitary Sewer

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. An inspection chamber (IC) complete with brooks box should be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost. **The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade.** For estimate inquiry's please contact Sergio Sartori, by email ssartori@kelowna.ca or phone, 250-469-8589.

3. Development Permit and Site Related Issues

Direct the roof drains into on-site splash pads.
Access to the site is permitted from Lowland Street.

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.



Purvez Irani, MS, P Eng., PTOE
Development Engineering Manager

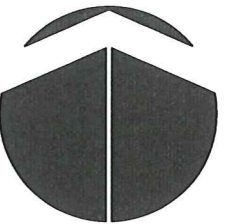
SS

SCHEDULE <u> A </u>
This forms part of development
Permit # <u> Z16 - 0044 </u>



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PROJECT NORTH

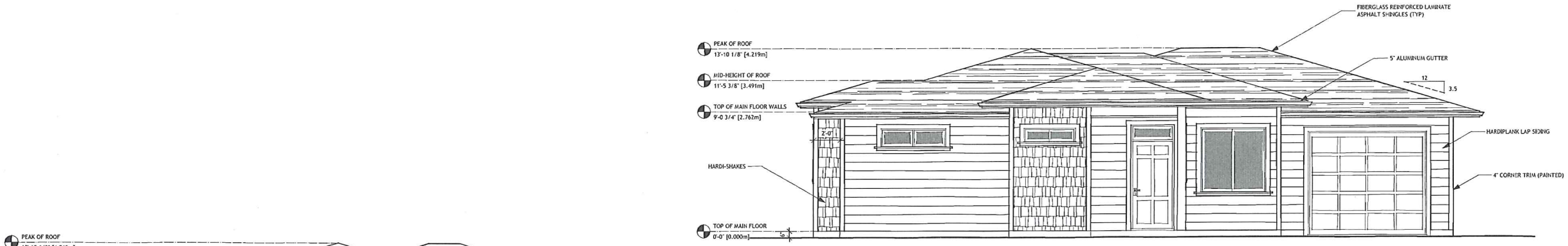
REVISION	DATE	DISCUSSION
A	05 JUL 2016	ISSUED FOR DEVELOPMENT PERMIT AND REZONING

PROJECT
CARRIAGE HOUSE DEVELOPMENT
866 GLENMORE DRIVE
KELOWNA, BC V1Y 4N9
LOT 9 PLAN KAP4101

DRAWING TITLE
ELEVATIONS

DATE
JUNE 14, 2016

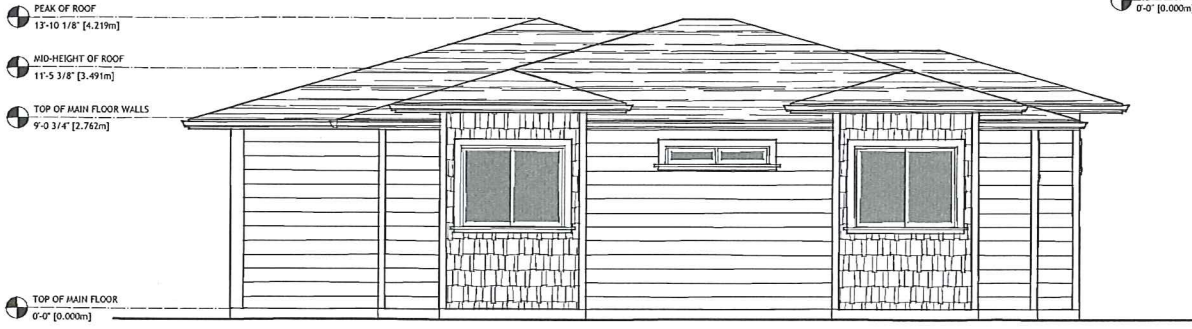
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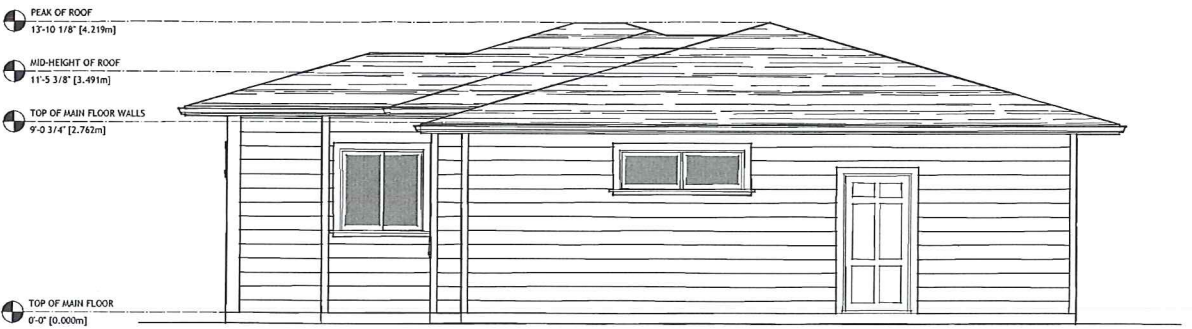
2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"

PROJECT DATA: CIVIC ADDRESS 866 GLENMORE DRIVE
KELOWNA, BC V1Y 4N9
LEGAL ADDRESS LOT 9 PLAN KAP4101
CURRENT ZONING RU-1 LARGE LOT HOUSING
PROPOSED ZONING RU-6 TWO DWELLING HOUSING
FUTURE LAND USE ARL - MULTIPLE UNIT RESIDENTIAL (LOW DENSITY)

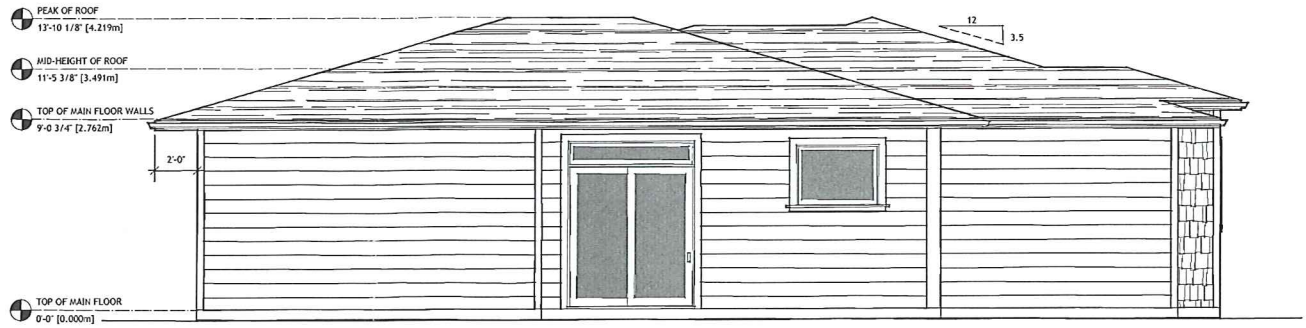
ZONING ANALYSIS		
	RU6 ZONE STANDARDS	PROPOSED
SITE AREA	400.00m ²	796.00m ²
EXISTING BUILDING FOOTPRINT AT GRADE		96.00m ²
EXISTING BUILDING COVERED DECK		36.40m ²
EXISTING BUILDING TOTAL FINISHED FLOOR AREA		192.00m ²
PROPOSED SUITE AREA		89.70m ²
PROPOSED ACCESSORY BUILDING FOOTPRINT		129.60m ²
PROPOSED ACCESSORY COVERED PATIO		12.00m ²
PROPOSED DRIVEWAY AREA (CONCRETE)		13.50m ²
EXISTING DRIVEWAY AREA (CONCRETE)		130.92m ²
ACCESSORY BUILDING SITE COVERAGE	20%	16.3%
SUITE AREA TO MAIN DWELLING AREA	75%	46.7%
SITE COVERAGE	40.0%	34.4%
SITE COVERAGE INCLUDING HARD SURFACES	50.0%	48.0%
BUILDING HEIGHT OF EXISTING HOUSE	9.5m/2 1/2 STOREYS	5.885m/2 STOREYS
BUILDING HEIGHT OF PROPOSED CARRIAGE HOUSE	4.8m/1 1/2 STOREYS	3.491m/1 1/2 STOREYS
PEAK OF CARRIAGE HOUSE ROOF		4.219m
PEAK OF EXISTING DWELLING ROOF		7.200m
PARKING STALLS PROVIDED	3	4
PRIVATE OPEN SPACE CARRIAGE HOUSE	30.00m ²	40.80m ²
SETBACK TO PRINCIPLE BUILDING	3.000m	4.225m
FRONT (WEST) YARD SETBACK	4.500m	4.530m
SIDE (NORTH) YARD SETBACK	2.000m	2.011m
SIDE (SOUTH) YARD SETBACK	2.000m	3.680m
1 IN 200 YEAR FLOOD CONSTRUCTION LEVEL	343.660m	372.000m



1 WEST ELEVATION
Scale: 1/4" = 1'-0"



3 EAST ELEVATION
Scale: 1/4" = 1'-0"

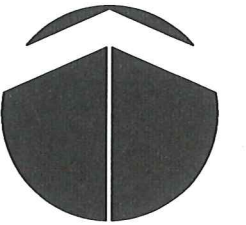


4 NORTH ELEVATION
Scale: 1/4" = 1'-0"



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PROJECT NORTH

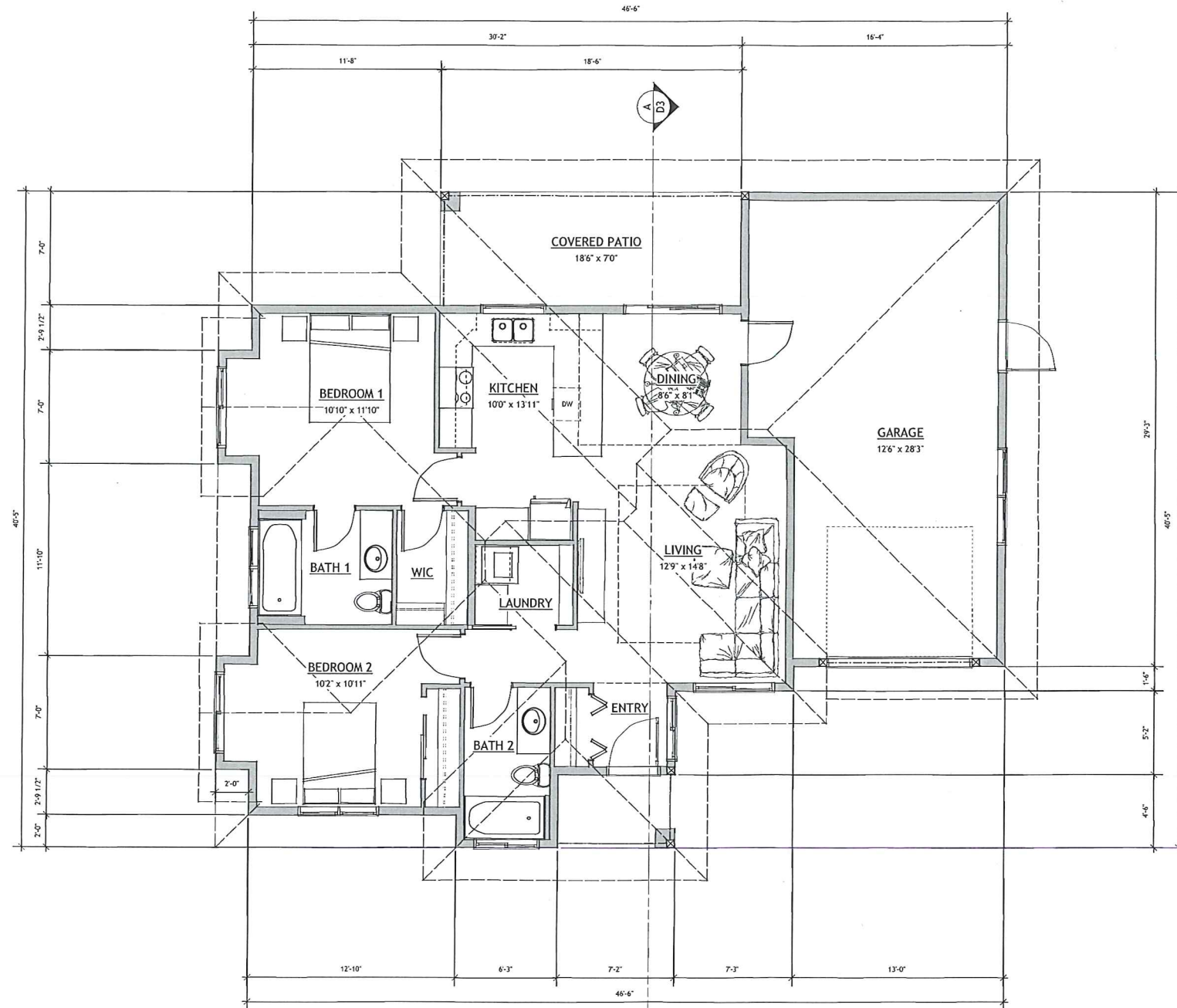
REVISION	DATE	DESCRIPTION
A	05.JUL.2016	ISSUED FOR DEVELOPMENT PERMIT AND REZONING

PROJECT
CARRIAGE HOUSE DEVELOPMENT
866 GLENMORE DRIVE
KELOWNA, BC V1Y 4N9
LOT 9 PLAN KAP4101

DRAWING TITLE
MAIN FLOOR PLAN

DATE
JUNE 14, 2016

DRAWING NUMBER
2
of
4

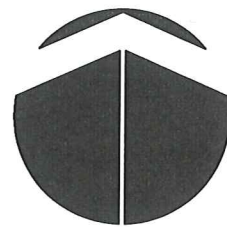


1 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0" FFA = 965 SQ.FT.



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PROJECT NORTH

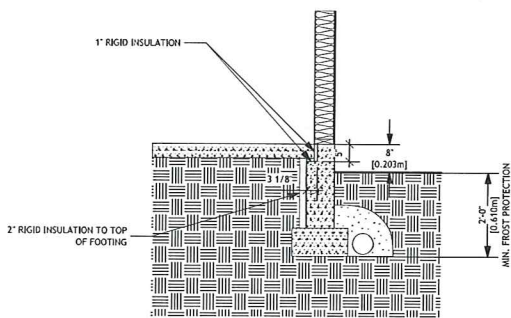
REVISION	DATE	DISCUSSION
A	05JUL2016	ISSUED FOR DEVELOPMENT PERMIT AND REZONING

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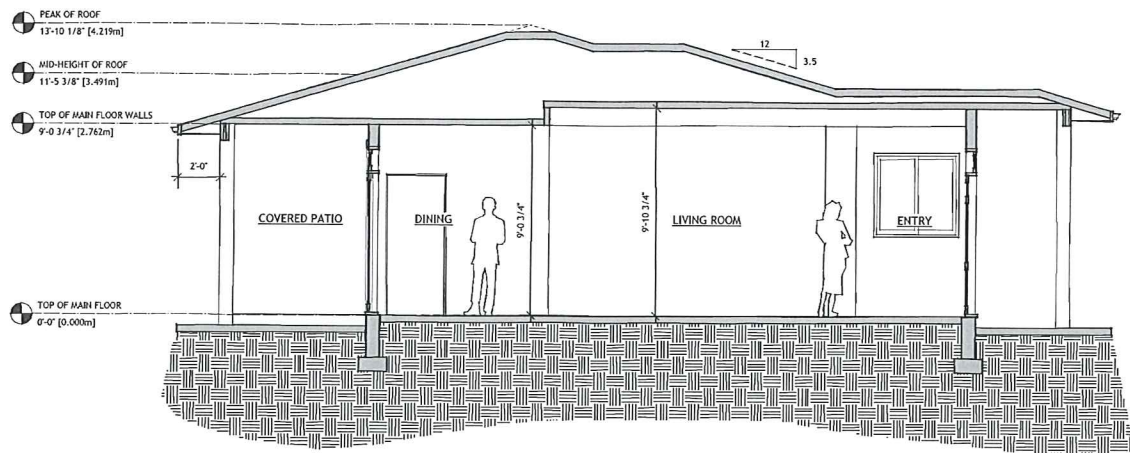
DRAWING TITLE
SECTION

DATE
JUNE 14, 2016

DRAWING NUMBER
3 of 4



1 SLAB ON GRADE (CONDITIONED SPACE)
Scale: 1/2" = 1'-0"



A SECTION
Scale: 1/4" = 1'-0"

GENERAL NOTES

- THE DESIGNER MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS AND/OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS IT IS INCUMBENT ON YOU TO ADVISE OUR OFFICE AS SOON AS POSSIBLE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM REOCCURRING.
- ALL FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOILS AND BELOW THE FROST LINE. FOUNDATION WALL HEIGHTS AND THICKNESSES AS WELL AS FOOTING SIZES MAY NEED TO BE ADJUSTED AND/OR REINFORCED DUE TO SITE CONDITIONS. ANY ENGINEERING SERVICES REQUIRED ARE THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- APPROVED SMOKE ALARMS TO BE INSTALLED AND INTERCONNECTED.
- BUILDER TO CHECK SNOW LOAD REQUIREMENTS FOR THEIR LOCAL AREA AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO CONSTRUCTION.
- CARBON MONOXIDE ALARMS SHALL CONFORM TO CSA 6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES".
- DAMP-PROOFING OF 6 MIL POLYETHYLENE, WITH SEAMS LAPPED, OVER 4" OF GRANULAR FILL SHALL BE LAID UNDER CONCRETE SLABS. A FLEXIBLE SEALANT SHALL BE PLACED WHERE THE SLAB AND FOUNDATION WALL MEET.
- DIMENSIONS TAKE PRECEDENCE TO SCALE.
- DRAINAGE AROUND FOUNDATION TO CONSISTING OF A 4" DIAMETER PIPED COVERED WITH A MINIMUM OF 6" CRUSHED STONE SHALL BE PLACED AROUND THE PERIMETER OF THE BUILDING.
- ENSURE THAT WINDOWS IN FUTURE BEDROOMS HAVE A MINIMUM AREA OF .35m² (3.75 FT²) WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 300mm (15"). THE WINDOW OPENING SHALL BE A MAXIMUM OF 1.5m (5') ABOVE THE FLOOR.
- EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING.
- EXTERIOR WALLS ARE DRAWN AT 5/8"
- FOUNDATION WALLS TO HAVE 1 1/2" RIGID INSULATION TO MIN 24" BELOW GRADE. ATTIC SPACES TO HAVE MIN. R-44. ROOF JOISTS AND CANTILEVERED FLOORS MIN R-28. EXTERIOR 2X6 WALLS MIN. R-22. INTERIOR BASEMENT 2X4 WALLS MIN. R-14.
- LIGHTING AND ELECTRICAL LAYOUTS TO BE SPECIFIED BY THE OWNER OR BUILDER AND MUST MEET WITH 1998 BCBC REQUIREMENTS.
- PLANS ARE BASED ON THE USE OF #2 OR BETTER SPF, UNLESS OTHERWISE STATED. LAMINATED BEAMS WILL REQUIRE AN ENGINEER'S CERTIFICATION. THIS IS THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- REFER TO ENGINEERED FLOOR JOIST AND ROOF TRUSS LAYOUT TO CONFIRM BEAM, POST AND PAD FOOTING LOCATION AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL BEAMS.
- ROOF SPACES SHALL BE VENTED WITH ROOF, EAVE AND/OR GABLE END TYPE VENTS TO A MIN OF 1:300 OF THE INSULATED AREA.
- SITING OF THE HOME IS THE RESPONSIBILITY OF THE BUILDER IN CONJUNCTION WITH THE HOMEOWNER.
- THE DRAWINGS HAVE BEEN PREPARED TO CONFORM TO THE 2012 EDITION OF THE BRITISH COLUMBIA BUILDING CODE. THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO THE BCBC AND LOCAL BUILDING CODES AND BYLAWS. ALL CONSTRUCTION AND INSTALLATION OF MATERIALS SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICES AND MANUFACTURERS INSTRUCTIONS. LOCAL BUILDING DEPARTMENTS MAY REQUIRE CERTIFICATION FROM A STRUCTURAL ENGINEER FOR PART OR ALL OF THE STRUCTURE. ANY ENGINEERING FEES ARE THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- THE INSTALLATION OF ALL PLUMBING, HVAC AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE 2012 BCBC.
- THE SITING OF THE HOME MUST BE IN COMPLIANCE WITH CITY OF KELOWNA BYLAWS. BEFORE COMMENCEMENT OF CONSTRUCTION, ENSURE THAT THE SITE PLAN HAS BEEN APPROVED BY A CITY OF KELOWNA BUILDING OFFICIAL.
- VANITY SIZES ARE FOR REFERENCE ONLY. REFER TO APPROVED KITCHEN LAYOUT FOR CABINET SIZES.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT, SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADINGS.
- CONFIRM ALL DIMENSIONS ON-SITE PRIOR TO BEGINNING CONSTRUCTION.
- EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHERSTRAPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS AND HOUSE SITING MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- MIN. 25% OF UNOBSTRUCTED ROOF VENT AREA SHALL BE AT BOTH THE SOFFIT AND TOP OF ATTIC. ROOF VENTING SHALL BE IN ACCORDANCE WITH BCBC 9.19.1.2.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- THE FACE OF SHEATHED EXTERIOR WALLS SHALL BE FLUSH WITH FOUNDATION WALLS.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH SRL GASKET OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE FOUNDATION WITH 1/2" DIA. A307 ANCHOR BOLTS AT 4'-0" O.C.

1 ROOF SYSTEM

- LAMINATE SHINGLES
- BITUMEN SATURATED ROOFING PAPER
- 7/16" SHEATHING W/ H-CLIPS
- ENGINEERED ROOF TRUSSES @ 24" O.C.
- LOOSE FILL INSULATION
- 6 MIL POLY VAPOUR & AIR BARRIER
- 1/2" CEILING BOARD (TEXTURED)

2 EXTERIOR WALL

- HARDPLANK LAP SIDING/BOARD & BATTEN
- BUILDING PAPER
- 3/8" SHEATHING
- 2X6 STUD WALL - STUDS @ 16" O.C.
- BATT TYPE INSULATION
- 6 MIL POLY VAPOUR & AIR BARRIER
- 1/2" DRYWALL (PAINTED)

3 INTERIOR LOAD BEARING WALL

- 1/2" DRYWALL (PAINTED)
- 2X4 STUD WALL - STUDS @ 16" O.C.
- 1/2" DRYWALL (PAINTED)

4 INTERIOR NON-LOAD BEARING WALL

- 1/2" DRYWALL (PAINTED)
- 2X4 STUD WALL - STUDS @ 16" O.C.
- 1/2" DRYWALL (PAINTED)

5 FLOOR SYSTEM

- INTERIOR FLOOR COVERINGS
- 3/4" T & G PLYWOOD SUBFLOOR
- 11 7/8" TJI SILENT FLOOR (SEE APPROVED LAYOUT FOR JOIST SPACING AND PLACEMENT)
- 1/2" DRYWALL (TEXTURED) IN FINISHED AREAS ONLY
- REFER TO APPROVED FLOOR LAYOUT DIAGRAM

6 CONCRETE FOUNDATION

- 8" CONCRETE FROST WALL
- MIN. 20 MPa 28 DAY CONCRETE STRENGTH
- 10M BAR (HORIZ.) @ 18" O.C.
- 10M BAR (VERT.) @ 48" O.C. ALTERNATING
- 24" X 24" 15M CORNER BARS @ ALL CORNERS
- 1 1/2" CLEAR TO REBAR FROM INSIDE OF WALL
- 1/2" A307 ANCHOR BOLTS REQ'D @ 4'-0" O.C.
- RIGID INSULATION

- 8" X 16" CONTINUOUS CONCRETE FOOTING
- 2 ROWS 15M BAR CONTINUOUS
- 2" CLEAR TO REBAR FROM BOTTOM OF FOOTING

- UNEXCAVATED EARTH
- PROVIDE MINIMUM 24" FROST PROTECTION

7 BASEMENT CONCRETE SLAB

- 4" CONCRETE SLAB (20 MPa MIN)
- 10M BARS @ 16" E.W. IN TILED FLOOR AREAS
- 6 MIL POLY LAPPED NOT LESS THAN 12" & ALL JOINTS SEALED TO PREVENT AIR LEAKAGE
- RIGID INSULATION
- MINIMUM 4" CLEAN GRANULAR MATERIAL

- PROVIDE ROUGH-IN FOR FUTURE SUBFLOOR DEPRESSURIZATION SYSTEM TO CONTROL SOIL GAS AS PER BCBC 9.13.4.3

8 GARAGE CONCRETE SLAB

- 4" CONCRETE SLAB (32 MPa MIN)
- MIN. 2% SLOPE TO FRONT OF GARAGE
- 5% MIN AIR ENTRAINMENT
- 10M BARS @ 18" E.W.
- 6" MIN WELL COMPACTED GRANULAR FILL
- UNEXCAVED EARTH

PROJECT DATA: CIVIC ADDRESS
LEGAL ADDRESS
CURRENT ZONING
PROPOSED ZONING
FUTURE LAND USE

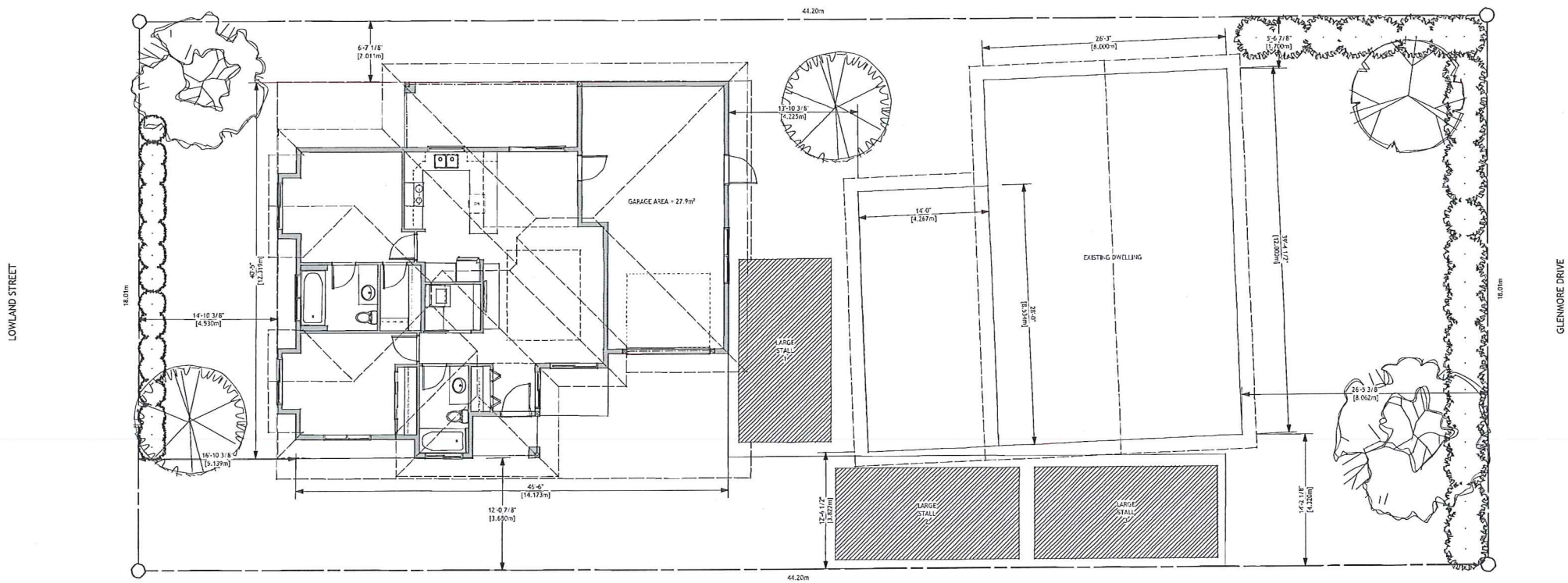
866 GLENMORE DRIVE
KELOWNA, BC V1Y 4N9
LOT 9 PLAN KAP4101
RU-1 LARGE LOT HOUSING
RU-S TWO DWELLING HOUSING
ARL - MULTIPLE UNIT RESIDENTIAL (LOW DENSITY)

ZONING ANALYSIS		
	RUB ZONE STANDARDS	PROPOSED
SITE AREA	400.00m ²	796.00m ²
EXISTING BUILDING FOOTPRINT AT GRADE		96.00m ²
EXISTING BUILDING COVERED DECK		36.40m ²
EXISTING BUILDING TOTAL FINISHED FLOOR AREA		192.00m ²
PROPOSED SUITE AREA		89.70m ²
PROPOSED ACCESSORY BUILDING FOOTPRINT		129.60m ²
PROPOSED ACCESSORY COVERED PATIO		12.00m ²
PROPOSED DRIVEWAY AREA (CONCRETE)		13.50m ²
EXISTING DRIVEWAY AREA (CONCRETE)		130.92m ²
ACCESSORY BUILDING SITE COVERAGE	20%	16.3%
SUITE AREA TO MAIN DWELLING AREA	75%	46.7%
SITE COVERAGE	40.0%	34.4%
SITE COVERAGE INCLUDING HARD SURFACES	50.0%	48.0%

BUILDING HEIGHT OF EXISTING HOUSE	9.5m/2 1/2 STOREYS	5.885m/2 STOREYS
BUILDING HEIGHT OF PROPOSED CARRIAGE HOUSE	4.8m/1 1/2 STOREYS	3.491m/1 1/2 STOREYS
PEAK OF CARRIAGE HOUSE ROOF		4.219m
PEAK OF EXISTING DWELLING ROOF		7.200m
PARKING STALLS PROVIDED	3	4
PRIVATE OPEN SPACE CARRIAGE HOUSE	30.00m ²	40.80m ²

SETBACK TO PRINCIPLE BUILDING	3.000m	4.225m
FRONT (WEST) YARD SETBACK	4.500m	4.930m
SIDE (NORTH) YARD SETBACK	2.000m	2.011m
SIDE (SOUTH) YARD SETBACK	2.000m	3.680m

1 IN 200 YEAR FLOOD CONSTRUCTION LEVEL	343.660m	372.000m
--	----------	----------



1 SITE PLAN
Scale: 1:75



IHS DESIGN
1392 WINE HILL DRIVE
KELOWNA, BC V1P 1S5
www.ihsdesign.com
(250) 212-7938

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF IHS DESIGN AND MAY NOT BE REPRODUCED OR USED WITHOUT EXPRESSED WRITTEN PERMISSION FROM THE SAME.



PROJECT NORTH

REVISION	DATE	DESCRIPTION
A	05 JUL 2018	ISSUED FOR DEVELOPMENT PERMIT AND ZONING

PROJECT
CARRIAGE HOUSE DEVELOPMENT
866 GLENMORE DRIVE
KELOWNA, BC V1Y 4N9
LOT 9 PLAN KAP4101

DRAWING TITLE
SITE PLAN

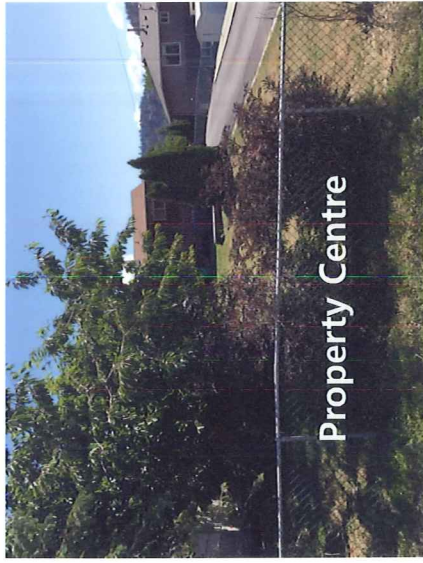
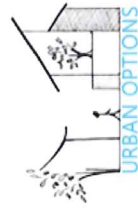
DATE
JUNE 14, 2016

DRAWING NUMBER
4
of
4

866 Glenmore Road Site and context



View to North



Property Centre



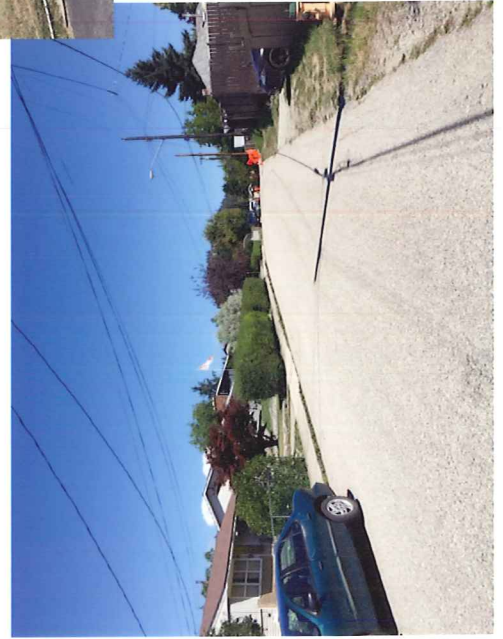
Property viewed from South Neighbour



View to south



View along Lowland showing neighbours across the street.





866 GLENMORE DRIVE, KELOWNA, BC

COLOUR BOARD



1392 MINE HILL DRIVE
KELOWNA, BC V1P 1S5
(250) 212-7938
www.ihsdesign.com

JULY 7, 2016

SCALE : 3/16" = 1'-0"

1 OF 1

CITY OF KELOWNA
BYLAW NO. 11273
Z16-0044 - Jeffery & Linda Giebelhaus
866 Glenmore Drive

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 9, Section 29, Township 26, ODYD, Plan 4101 located on Glenmore Drive, Kelowna, B.C., from the RU1 - Large Lot Housing zone to the RU1c - Large Lot Housing with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Report to Council



Date: August 29, 2016
File: 1220-02
To: City Manager
From: Ross Soward, Planner Specialist
Subject: Revitalization Tax Exemption Bylaw Update

Recommendation:

THAT COUNCIL receives for information, the report from the Planner Specialist, dated August 29th, 2016, recommending that Bylaw No. 9561 be amended as per the report from the Planner Specialist on July 25th, 2016.

AND THAT Bylaw No.11269 being Amendment No. 4 to the Revitalization Tax Exemption Program Bylaw No.9561 be forwarded for reading consideration.

Purpose:

To amend the Revitalization Tax Exemption Program Bylaw to direct the 95,000 square feet of remaining floor area in Tax Incentive Area 3 to housing projects.

Background:

On July 25th staff provided the annual update to Council on the Revitalization Tax Exemption (RTE) Bylaw Program. Staff reviewed key downtown development trends and described the strong performance of the Tax Incentive Area Three. Staff confirmed that there is 95,000 square feet of remaining capacity within this Tax Incentive Area and discussed the significant amount (over 200,000 square feet) of commercial construction within the Downtown. Based on the growing market confidence for residential development and the City's efforts to increase the residential population in the downtown staff proposed the remaining 95,000 square feet of revitalization capacity be directed toward residential projects in Tax Incentive Area Three. Council endorsed staff's recommendation to amend the Revitalization Tax Exemption Program Bylaw.

The attached Bylaw identifies the changes to Section 5 (C) to support Council's resolution.

Internal Circulation:

City Clerk
Director, Financial Services
Department Manager, Community Planning
Director, Real Estate Services
Divisional Director, Community Planning & Real Estate
Department Manager, Policy & Planning

Legal/ Statutory Authority:

Revitalization Tax Exemption Program Bylaw No. 9561, 2006
Community Charter, Division , Section 226

Legal/Statutory Procedural Requirements

According to the Revitalization Tax Exemption Bylaw No. 9561, no further applications for tax exemption in Tax Incentive Area 3 will be accepted, once the threshold of 200,000 ft² has been reached.

Existing Policy:

Official Community Plan Bylaw No. 10500

Objective 5.9 - support the creation of affordable and safe rental, non-market and/or special needs housing.

Policy 5.1.3 Rutland & downtown Revitalization Tax Exemption Program. Provide a revitalization tax exemption for the municipal portion of the annual taxes on improvements for development within the City Centre and Rutland Town Centre as per Revitalization Tax Exemption Bylaw No. 9561

Downtown Plan

Action Item 16 - Provide financial incentives for affordable housing

Submitted by: R. Soward, Planner Specialist

Approved for inclusion:

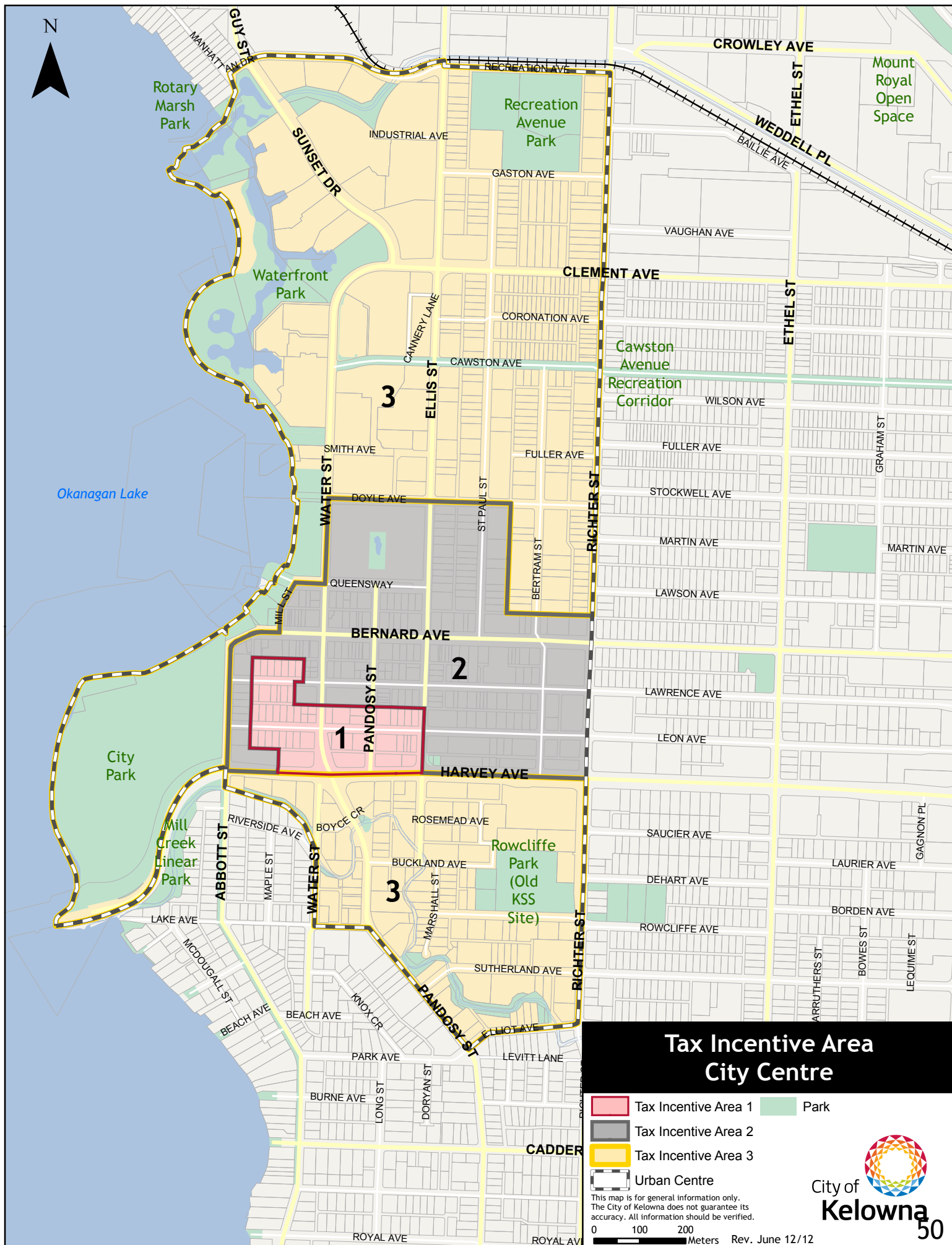


J. Moore, Department Manager of Policy & Planning

Attachments:

Attachment 1 - Map of the Downtown Tax Incentive Areas

cc:
City Clerk
Director, Financial Services
Department Manager, Community Planning
Director, Real Estate Services
Divisional Director, Community Planning & Real Estate
Department Manager, Policy & Planning



- Tax Incentive Area 1
- Tax Incentive Area 2
- Tax Incentive Area 3
- Urban Centre
- Park

This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.

0 100 200 Meters

Rev. June 12/12

CITY OF KELOWNA

BYLAW NO. 11269

Amendment No. 4 to Revitalization Tax Exemption Bylaw No. 9561

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that the City of Kelowna Revitalization Tax Exemption Bylaw No. 9561 be amended as follows:

1. THAT Section 5 (c) be deleted that reads:

"5(c) For "Tax Incentive Area 3", 50% of Revitalization Amount on the parcel, for a project with a minimum floor area of 3,716 m² (40,000 sq. ft.);"

And replaced with:

"5(c) For "Tax Incentive Area 3", 50% of the Residential portion of **Revitalization Amount** on the parcel, for a project with a minimum floor area of 3,716 m² (40,000 sq. ft.);"

2. AND THAT Schedule "B" Revitalization Tax Exemption Agreement, Section 6(c) be deleted that reads:

"6(c) For "Tax Incentive Area 3", 50% of Revitalization Amount on the parcel, for a project with a minimum floor area of 3,716 m² (40,000 sq. ft.);"

And replaced with:

"6(c) For "Tax Incentive Area 3", 50% of the Residential portion of **Revitalization Amount** on the parcel, for a project with a minimum floor area of 3,716 m² (40,000 sq. ft.);"

3. AND FURTHER THAT Schedule "C" Tax Exemption Certificate, Section 3 be deleted that reads:

"3. "Tax Incentive Area 3," 50% of the Revitalization Amount attributed to building Permit No. _____ between 20__ (the calendar year before the commencement of construction of the project) and 20__ (the calendar year in which the Revitalization Tax Exemption Certificate is issued);"

And replaced with:

"3. "Tax Incentive Area 3," 50% of the Residential portion of the Revitalization Amount attributed to building Permit No. _____ between 20__ (the calendar year before the commencement of construction of the project) and 20__ (the calendar year in which the Revitalization Tax Exemption Certificate is issued);"

4. This bylaw may be cited for all purposes as "Bylaw No. 11269, being Amendment No. 4 to Revitalization Tax Exemption Bylaw No. 9561."

5. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

Report to Council



Date: August 23, 2016
File: 1405-01
To: City Manager
From: Jerry Dombowsky, Regional Programs Manager
Subject: Transit Future Plan, Technology, and Infrastructure updated

Recommendation:

THAT Council receives, for information, the report of the Regional Programs Manager dated August 23, 2016 with respect to BC Transit's Transit Future Action Plan and City's Integrated Transportation Planning, Custom Transit expansion, Bus Technology, Operator Safety Initiative, and Infrastructure Project update.

Purpose:

To provide information on a number of transit projects underway, or planned to be initiated in the near future.

Background:

A number of transit related initiatives are underway or planned to be implemented in the near future. This report provides information and updates for Council's information.

BC Transit's Transit Future Action Plan

Many of the projects identified in BC Transit's 2012 Transit Future Plan are now complete and a new version, which will continue to guide decision-making over the next one to five years and beyond, is underway. This City is working with BC Transit on this Transit Future Action Plan and the deliverables will include: network and land use update; service standards and performance guidelines; and detailed short-term implementation details.

Integrated Transportation Planning

The Transit Future Plan is integrated with the goals and objectives of the Regional Strategic Transportation Plan and the City Transportation Plan, which will provide a balanced transportation strategy for the City. Transportation impacts the social, economic, and environmental goals of the region. Transit service will be evaluated and planned as an important component of this comprehensive regional and City transportation strategy.

Custom Transit Expansion

In June 2016, Council approved a 2,000-hour expansion of handyDART service, representing a 5% increase. The plan for this service expansion is that additional hours will be applied to: improving weekday evening service (6:00-8:00pm); improving weekday afternoon service (2:00-6:00pm); extending Saturday hours of operation until 6:00pm. The expanded service will start September 2016.

Smart Bus Project

A number of technology enhancements are planned to improve efficiency and increase customer experience. In July the Mayor, Premier, and federal MP announced funding for this initiative. The technology improvements include Automated Vehicle Locator (AVL); Automated Passenger Counting (APC); and on-board Closed Circuit TV (CCTV). The CCTV project is underway. The AVL and APC projects are in the development stage at present.

Operator Safety Initiative

Along with cameras on buses, BC Transit is currently working on a driver shield prototype that will be piloted on select buses within the Kelowna Transit system starting in Fall 2016. A complete training program is also being initiated for drivers, transit supervisors, and front line staff.

UBCO Exchange

Funding for a new UBCO transit exchange was also announced in July and is the result of a federal/provincial/UBCO partnership. The project will commence in the coming weeks with the first phase confirming the design and then on to the construction award stage with completion slated for 2017.

The above updates and accompanying presentation are respectfully submitted for Council's information.

Internal Circulation:

Communications Advisor, Communications
Divisional Director, Infrastructure
Manager, Integrated Transportation

External Agency/Public Comments:

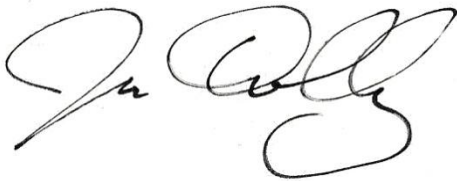
BC Transit has reviewed the report and provided accompanying Power Point presentation.

Regional Transit Manager, BC Transit
Senior Transit Planner, BC Transit

Considerations not applicable to this report:

Legal/Statutory Authority:
Legal/Statutory Procedural Requirements:
Existing Policy:
Financial/Budgetary Considerations:
Personnel Implications:
Alternate Recommendation:

Submitted by:



J. Dombowsky, Regional Programs Manager

Approved for inclusion:



A. Newcombe, Director, Infrastructure

Attachments: Public Transit Update presentation

cc: Manager Integrated Transportation Department
Regional Transit Manager, BC Transit
Senior Transit Planner, BC Transit

Public Transit Update

August 29th, 2016



TRANSITfuture
actionplan



Outline

1. Transit Future Action Plan
2. Integrated Transportation Planning with CoK
3. Engagement Plan
4. Smart Bus Project
5. Operator Safety Initiative
6. UBCO Exchange
7. Custom Transit Expansion

Transit Future Action Plan



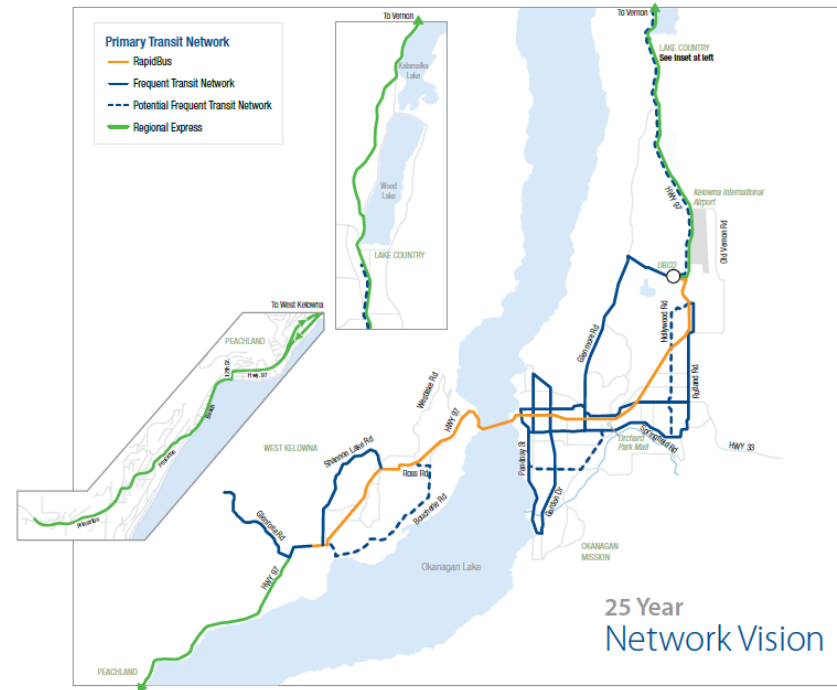
TRANSITfuture
actionplan



Transit Future Action Plan



Transit Future Plan
CENTRAL OKANAGAN REGION | May 2012



- Most short-term projects from previous Future Plan completed. Time to update the priorities.

Transit Milestones Since 2010...

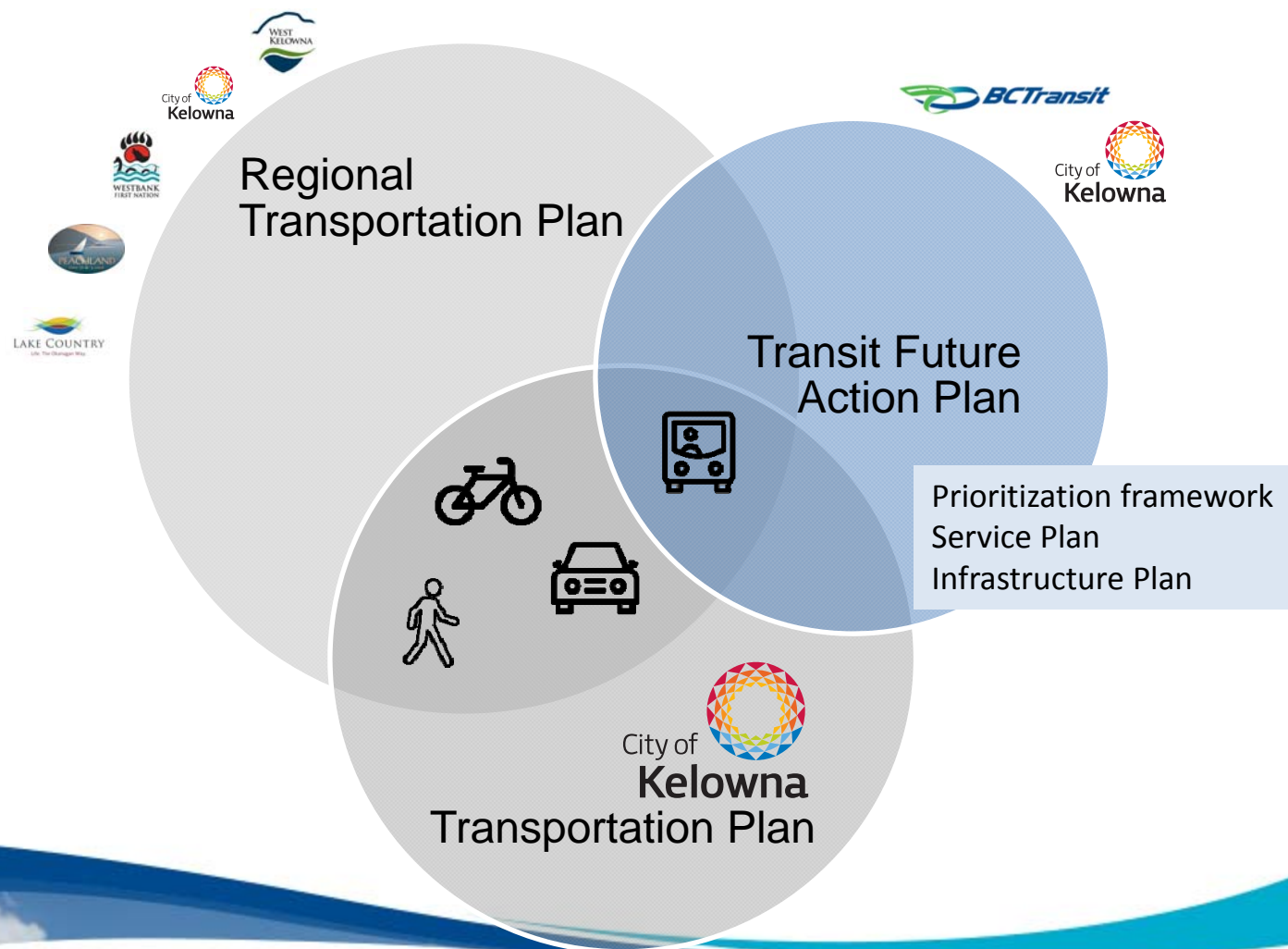
Year	Sub-Region	Service Change
2010	City of Kelowna	<ul style="list-style-type: none"> •97 RapidBus service introduced between UBCO and downtown Kelowna •Route 8 University restructured to connect to Rutland Town Centre in coordination with 97 RapidBus •Route 10 Rutland restructured to service Enterprise in coordination with 97 RapidBus and 8 University changes •Route 7 Glenmore has minor routing and schedule changes to accommodate Glenmore Bypass Road
	Lake Country	<ul style="list-style-type: none"> •Route 23 Lake Country scheduled to serve the airport on most weekday trips
2011	City of Kelowna	<ul style="list-style-type: none"> •Route 4 Pandosy/UBCO Express introduced
2012	City of Kelowna	<ul style="list-style-type: none"> •Route 1 Lakeshore restructured to terminate at Mission Recreation Exchange/H2O Centre •Route 6 Glenmore/UBCO introduced •Route 15 Crawford and Route 16 Kettle Valley restructured to connect with Route 1 Lakeshore at Mission Recreation Exchange •Route 17 Southridge introduced to provide more direct service in Mission. •Route 13 Quail Ridge service introduced •Service improvements on the Route 1 Lakeshore •Introduction of late night service on Friday and Saturday night on the 97 RapidBus
	Westside	<ul style="list-style-type: none"> •97 RapidBus service extended to Westbank Town Centre •As a result of 97 RapidBus extensions, many of the routes on the Westside were optimized to better match service to ridership levels and reduce duplication, including the truncation of the Route 21 Glenrosa at Westbank Town Centre
	Lake Country	<ul style="list-style-type: none"> •Route 23 Lake Country improvements during the weekday, midday and afternoon peak period
2013	City of Kelowna	<ul style="list-style-type: none"> •Route 14 Black Mountain service optimized and rerouted to Rutland Exchange •Route 17 Southridge service optimized and rerouted to serve new development
	Lake Country	<ul style="list-style-type: none"> •Route 23 Lake Country rerouted to serve Innovation Drive
2014	City of Kelowna	<ul style="list-style-type: none"> •Introduction of the frequent route 5 Gordon •Route 8 University rerouted to improve access and connections to Kelowna General Hospital •Midday service on the 97 Okanagan improved to every 15 minutes between UBCO and Queensway Exchange •On-time performance improvements
	Westside	<ul style="list-style-type: none"> •All service on the Westside integrated with new RapidBus Stops and Exchanges at Boucherie Mountain and Westbank Exchange •97 Okanagan rerouted to operate only via Highway 97 •Express trips on Route 20 Lakeview and 24 Shannon Lake with direct service to downtown Kelowna discontinued and re-invested into local service •Service on Route 28 Smith Creek rerouted to serve new Ironridge development •On-time performance improvements
	Lake Country	<ul style="list-style-type: none"> •New local route 32 The Lakes introduced
	Peachland	<ul style="list-style-type: none"> •Sunday/holiday service improved to match Saturday service

Transit Future Action Plan Deliverables

- Executive Summary
- Introduction and Overview of Transit Future Plan
- Customer Survey
- Network and Land Use Update
- Existing System Challenges and Opportunities
- Service Standards and Performance Guidelines
- Detailed Short-Term Implementation Details
- Infrastructure Plan
- Funding and Governance Update

Linkage with Regional & City Transportation Plan

Integrated Approach to Multi-modal Transportation Planning



Transit Future Action Plan Timeline



 = Community Participation

Key Milestones:

- Customer Survey: Spring 2016
- **First phase of public Consultation: Fall 2016**
- Short term priorities (3 years): Early 2017
- Plan Completion: Summer 2017



Customer Survey

- April 2016
- Collaboration between BC Transit and Local Partners
- Over 1,700 surveys complete



Kelowna Regional Transit Performance 2016

IMPORTANCE VS. SATISFACTION ANALYSIS



Service Standards and Performance Guidelines

- ✓ Consistency in planning
- ✓ Informed decision-making
- ✓ Evaluation of system performance
- ✓ Efficient utilization of resources
- ✓ Managing community expectations
- ✓ Rationale for service adjustments (increases, decreases, other corrective action)



Stakeholder and Public Engagement

Strategically Coordinated with Regional & City Transportation Plan

Strategies include:

- Presenting proposed service changes and enhancements at public open houses (& online)
- Educating stakeholders in the decision-making process
- Initiating an ongoing Custom Transit engagement strategy



Upcoming Events

- Events planned based on the Engagement Plan
 - Open houses throughout the region and online surveys
 - Education opportunities
 - Custom Transit engagement
- 40th Anniversary events planned for 2017

Other Initiatives

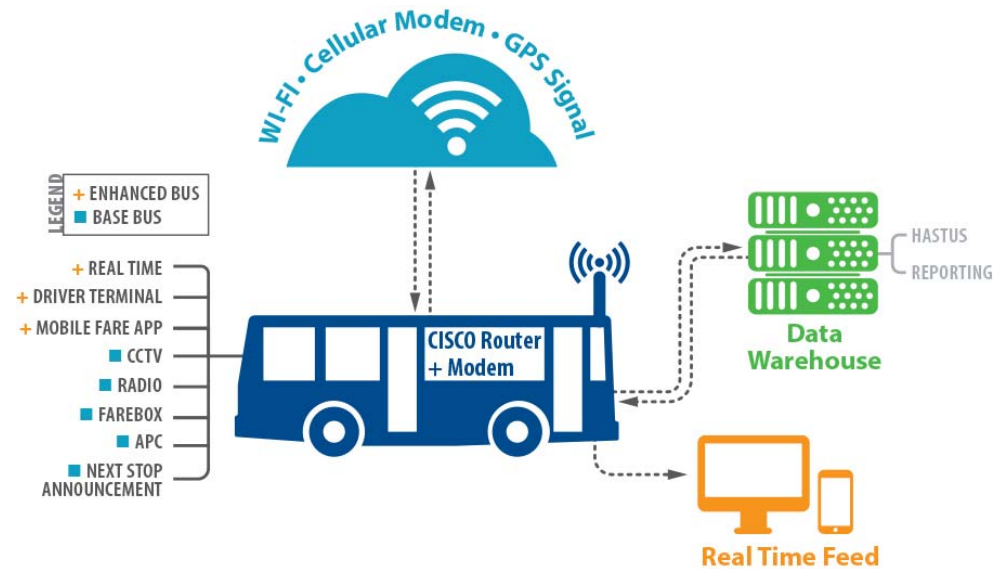


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Smart Bus Project

- Automatic Vehicle Locator (AVL – real time information)
- Automated Passenger Counter (APC)
- Closed Circuit Television (CCTV)



Operator Safety Initiatives

- Operator Training
- Safety Day
- Safety Task Force
- CCTV
- Driver Shields Pilot



2017

 **TRANSIT** future
▶ actionplan

 **BC Transit**

17



- 2017

 **TRANSIT** future
▶ actionplan

 **BC Transit**

17

Custom Transit (handyDART) Expansion

- Service expansion begins in September 2016
 1. Improve weekday evening service (6:00-8:00pm)
 2. Improve weekday afternoon service (2:00-6:00pm)
 3. Extend Saturday hours of operation until 6:00pm

Thank You



TRANSITfuture
actionplan



Report to Council



Date: August 29, 2016
File: 0615-20
To: City Manager
From: City Clerk
Subject: Board of Variance Member Appointment

Recommendation:

THAT Council received the report for information from the City Clerk dated August 29, 2016 regarding a committee member appointment to the Board of Variance;

AND THAT Council appoint Tony Markoff to the Board of Variance for the 2016-2018 term.

Purpose:

To appoint a new member to the Board of Variance.

Background:

The Board of Variance is an independent body that may hear appeals for relaxation of minor zoning regulations where compliance would cause an undue hardship. Under the *Local Government Act*, in order for the Board to consider an application, both the "minor" and "hardship" tests must be met. Variance requests that do not meet these requirements must be heard by Council.

The Board consists of five members from the public, appointed by Council. This appointment will fill the current vacancy on the Board of Variance. The Board of Variance meets only if a complete application has been submitted to the Office of the City Clerk.

Legal/Statutory Authority:

Local Government Act s.536

Considerations not applicable to this report:

Internal Circulation:

Legal/Statutory Procedural Requirements:

Existing Policy:

Financial/Budgetary Considerations:
Personnel Implications:
External Agency/Public Comments:
Communications Comments:
Alternate Recommendation:

Submitted by:

S. Fleming, City Clerk

CITY OF KELOWNA

BYLAW NO. 11258

City of Kelowna Municipal and Regional District Tax Bylaw

A Bylaw for the renewal of the City of Kelowna Municipal and Regional District Tax Bylaw under the provisions of the Provincial Sales Tax Act

WHEREAS the Council of the City of Kelowna wishes to raise revenue for the purposes of financing tourism development programs;

AND WHEREAS under section 123(1) of the Provincial Sales Tax Act, a municipality may request by bylaw, that the Lieutenant Governor in Council make a regulation providing for an additional tax levy, not exceeding three (3) percent on sales of accommodation within the municipality;

NOW THEREFORE, the Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. The Lieutenant Governor in Council is hereby requested to make a regulation under section 240(1)(c) of the Provincial Sales Tax Act declaring that effective April 1, 2017, section 123(1) of the said Act applies in respect of accommodation purchased within the City of Kelowna.
2. The tax to be imposed under the provisions of the regulation is requested to be three (3) percent of the purchase price of accommodation.
3. The funds paid to the City of Kelowna under the provisions of the regulation shall be applied to destination marketing programs that are developed and administered by Tourism Kelowna and reviewed by Council on an annual basis.
4. This bylaw may be cited for all purposes as "City of Kelowna Municipal and Regional District Tax Bylaw No. 11258".
5. The City of Kelowna Additional Hotel Room Tax Bylaw No. 10853, and all amendments thereto, are hereby repealed.
6. This bylaw shall come into full force and effect upon the date of adoption.

Read a first, second and third time by the Municipal Council this 8th August, 2016.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk