City of Kelowna
Regular Council Meeting
AGENDA

Tuesday, June 4, 2019
6:00 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order

2. Reaffirmation of Oath of Office

The Oath of Office will be read by Councillor Stack.

3. Confirmation of Minutes

4. Bylaws Considered at Public Hearing

4.1 TA18-0007 (BL11672) - Energy Step Code Amendment - City of Kelowna 1 - 1

To give Bylaw No. 11672 second and third reading to amend Zoning Bylaw No. 8000 Section 6 - General Development Regulations by adding a new Section 6.17 Energy Efficiency.

4.2 West Ave 454-464, OCP18-0021 (BL11826) - West Avenue - Mission Group Rentals Ltd 2 - 2

Requires a majority vote of Council (5).

To give Bylaw No. 11826 second and third reading to change the future land use designation of the subject properties from MRM - Multiple Unit Residential (Medium Density) to the MXR - Mixed Use (Residential/Commercial) designation.

4.3 West Ave 454-464, Z18-0118 (BL11827) - West Avenue - Mission Group Rentals Ltd 3 - 3

To give Bylaw No. 11827 second and third reading in order to rezone the subject properties from the RU6 - Two Dwelling Housing and the RU1 - Large Lot Housing zones to the C4 - Urban Centre Commercial zone.

4.4 Sexsmith Rd 3130, Z18-0049 (BL11832) - DL Capital Inc., Inc. No. BC0820774 4 - 4

To give Bylaw No. 11832 second and third reading in order to rezone the subject property from the A1 – Agriculture 1 Zone to the I6 – Low Impact Transitional Industrial Zone.

5. Notification of Meeting

The City Clerk will provide information as to how the following items on the Agenda were publicized.

6. Development Permit and Development Variance Permit Reports

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

6.1 Black Mountain Dr 1150 - DP18-0103 & DVP19-0088 - 1152712 B.C. Ltd. 5 - 29

To consider the form and character of a multi-family residential development and to consider a variance to increase the maximum height of a retaining wall.

6.2 Lindahl St. 2005 - DVP18-0154 - Nicholas and Cheryl Kirschner 30 - 40

To consider a rear yard setback variance from 7.5 metres to 3.0 metres for the second dwelling on the subject property.

6.3 Aberdeen St 2331 - DVP19-0025 - Gary Carpendale, Ruth Carpendale, Riley Darke and Casey Darke 41 - 46

To vary the maximum site coverage for accessory buildings from 90m2 to 97.2m2 on the subject property.

6.4 Pooley Rd 3060 - DVP19-0080 - Michael Neid 47 - 53

To consider a Development Variance Permit application to reduce the minimum lot area from 4.0 ha to 0.6 ha to subdivide the subject lot for the purpose of creating a new lot for a water reservoir and pump station.

6.5 Airport Way 5505-5507 - DVP19-0086 - Midwest Ventures Ltd. BC0046021 54 - 65

To consider a Staff recommendation to NOT issue a Development Variance Permit to vary the prohibition on off-site signs.

7. Reminders

8. Termination

CITY OF KELOWNA

BYLAW NO. 11672
TA18-0007 – Energy Step Code Amendment

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT **Section 6 – General Development Regulations,** be amended by adding a new **Section 6.17 Energy Efficiency** in its appropriate location that reads as follows:

   "**Section 6.17 Energy Efficiency**

   6.17.1 Any Part 9 residential building, as defined by the BC Building Code, that is constructed to Step 5 of the BC Buiding Code's Energy Step Code or is constructed as a certified Passive House, may reduce the minimum **side yard, rear yard, front yard**, and/or **flanking street** requirements of the zone by up to 0.25 metres, except:

   (a) Where there is a minimum requirement of 6.0 m for a **front yard** or from a **flanking street** to a garage or **carport**, that 6.0 m may not be reduced;
   (b) Where there is a minimum requirement of 1.2 m for a **side yard**, that 1.2 m may not be reduced; and
   (c) Where there is a minimum requirement of 1.5 m or less for a **rear yard**, that 1.5 m or less may not be reduced."

2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 13th day of May, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

_____
(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

_____
Mayor

_____
City Clerk

CITY OF KELOWNA

BYLAW NO. 11826

Official Community Plan Amendment No. OCP18-0021
454 & 464 West Avenue

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of Amended Lot 3 (DD 138121F) District Lot 14 ODYD Plan 3056 and Amended Lot 4 (DD 138122F) District Lot 14 ODYD Plan 3056 located on West Ave, Kelowna, BC from the MRM – Multiple Unit Residential (Medium Density) designation to the MXR – Mixed Use (Residential/Commercial) designation.

2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 6th day of May, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

_____
Mayor

_____
City Clerk

CITY OF KELOWNA

BYLAW NO. 11827
Z18-0118
454 & 464 West Ave

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Amended Lot 3 (DD 138121F) District Lot 14 ODYD Plan 3056 and Amended Lot 4 (DD 138122F) District Lot 14 ODYD Plan 3056, located on West Avenue, Kelowna, BC from the RU6 – Two Dwelling Housing and the RU1 – Large Lot Housing zones to the C4 – Urban Centre Commercial zone.

2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 6th day of May, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA

BYLAW NO. 11832
Z18-0049 – 3130 Sexsmith Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 28, Section 3, Township 23, ODYD, Plan 18861, located on Sexsmith Rd, Kelowna, BC from the A1 – Agriculture 1 Zone to the I6 – Low Impact Transitional Industrial Zone.

2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this 13th day of May, 2019.

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL

Date:	June 4, 2019		
RIM No.	0940-00		
To:	City Manager		
From:	Community Planning Department (WM)		
Application:	DP18-0103/DVP19-0088	**Owner:**	1152712 BC Ltd.
Address:	1150 Black Mountain Drive	**Applicant:**	Patrick McCusker Architecture Inc.
Subject:	Development Permit and Development Variance Permit Application		
Existing OCP Designation:	MRL – Multiple Unit Residential (Low Density)		
Existing Zone:	RM3 – Low Density Multiple Housing		

1.0 Recommendation

THAT Council authrozes the issuance of Development Permit No. DP18-0103 for Lot 1 Section 19 Township 27 Osoyoos Division Yale District Plan KAP81890, located at 1150 Black Mountain Drive, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP19-0088 for Lot 1 Section 19 Township 27 Osoyoos Division Yale District Plan KAP81890, located at 1150 Black Mountain Drive, Kelowna, BC;

AND THAT variance to the following section of Zoning Bylaw No. 8000 be granted:

<u>Section 7.5.9: Fencing and Retaining Walls</u>

To vary the maximum height of a retaining wall from 1.2 metres to 2.5 metres proposed.

AND THAT Council's consideration of this Development Permit and Development Variance Permit be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated June 4, 2019;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider the form and character of a multi-family residential development and to consider a variance to increase the maximum height of a retaining wall.

3.0 Community Planning

Community Planning is recommending support for the proposed 26 unit multi-family residential development project. The application meets the Official Community Plan (OCP) Comprehensive Development Permit Area design guidelines and the intent of the original Bell Mountain Area Structure Plan. The proposed town house style development provides for a greater variety of housing within the Black Mountain area and is considered compatible with the existing neighborhood.

4.0 Proposal

4.1 Project Description

The applicant is proposing a multi-family residential development consisting of 26 units in row house form. Each unit would contain three bedrooms and vary in size from approximately 1,430 ft^2 to 1,807 ft^2. The 26 units would be contained in four separate buildings. Buildings 2 and 3, which front on Black Mountain Drive, will have entrance ways oriented off of the public street frontage. Buildings 1 and 4 will be accessed internally from the common access road.

The project meets the parking requirements of the Zoning Bylaw. Four visitor parking stalls are located at the end of the internal access route and hammerhead turnaround. The majority of the parking for residents is provided in garages and driveways in tandem configuration with three end units having side by side configuration.

The form and character of the buildings have a contemporary exterior using natural colours and materials such as brick and wood. The four buildings are staggered and stepped to provide greater visual interest from Black Mountain Road.

ILLUSTRATION 01 (VIEW FROM BLACK MOUNTAIN DRIVE)

Variance – Retaining Wall Height

The applicant is requesting a variance to the maximum permitted height of a retaining wall from 1.2 m to 2.5 m to accommodate entrance ways and an internal pedestrian walkway along Black Mountain Drive for Buildings 2 and 3. Given the site conditions and the existing multi-use path on the west side of Black Mountain Drive there is limited space to grade or tier a retaining wall to meet the bylaw requirements. The proposed wall would be overheight for approximately 27 m along the Black Mountain Drive frontage.

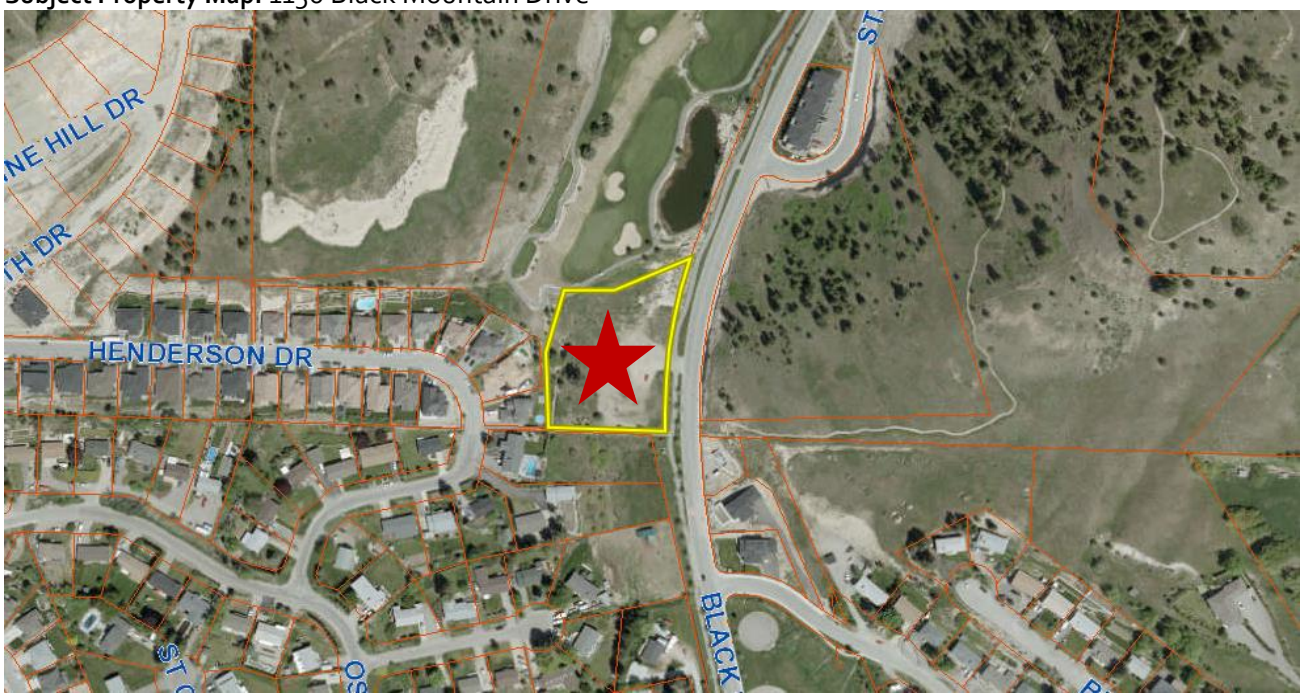
The positioning and height of the proposed retaining wall supports the associated pedestrian oriented entrance ways along the fronting street. As the provision of the features aids in meeting the objectives and guidelines of the OCP's Comprehensive Development Permit Area, staff are supportive of the variance. Further, the wall is not anticipated to have any significant negative visual impact.

4.2 Site Context

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	P3 – Parks and Open Space	Black Mountain Golf Course
East	RM3 – Low Density Multiple Housing	Vacant
South	A1 - Agriculture	Residential
West	RU1h – Large Lot Housing (Hillside Area)	Residential

Subject Property Map: 1150 Black Mountain Drive



4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	**RM3 ZONE REQUIREMENTS**	**PROPOSAL**
Development Regulations		
Floor Area Ratio	0.77	0.59
Site Coverage (buildings)	40%	26%
Site Coverage (including buildings, driveways, and parking areas)	65%	48%
Height	10 m / 3 storeys	10 m / 3 storeys
Front Yard	4.5 m	4.5 m
Side Yard (south)	4.0 m	4.0 m
Side Yard (north)	4.0 m	4.0 m
Rear Yard	7.5 m	7.5 m
Other Regulations		
Minimum Parking Requirements	2 stalls / 3 bedroom = 52 1 stall / 7 unit visitor = 4 **Total = 56 stalls**	Total: 56 stalls
Private Open Space	25 m² per 3 bedroom **Total: 650 m²**	766 m²
Minimum drive aisle width	6.0 m	6.0 m
Maximum Retaining Wall Height	1.2 m	2.5 m❶
❶ Indicates a requested variance to Section 7.5.9: Fencing and Retaining Walls		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Development Process

Compact Urban Form.[1] Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

6.0 Technical Comments

6.1 Development Engineering Department.

See Attachment A.

7.0 Application Chronology

Date of Application Received: May 8, 2018
Date Public Consultation Completed: February 5, 2019

[1] City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

Prepared by: Wesley Miles, Planner Specialist
Approved for Inclusion: Terry Barton, Urban Planning Manager

Attachments:

Draft Development and Development Variance Permit DP18-0103/DVP19-0088
Schedule A – Site Plan / Layout
Schedule B – Elevations / Renderings / Section Drawings
Schedule C- Landscape Plan
Attachment A: Development Engineering Memorandum

Development Permit & Development Variance Permit DP18-0103/DVP19-0088

This permit relates to land in the City of Kelowna municipally known as

1150 Black Mountain Drive

and legally known as

Lot 1 Section 19 Township 27 Osoyoos Division Yale District Plan KAP81890

and permits the land to be used for the following development:

Multi-family Residential Development

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision

Decision By: COUNCIL

Issued Date:

Development Permit Area: Comprehensive Development Permit Area

This permit will not be valid if development has not commenced by June, 2021.

Existing Zone: RM3 – Low Density Multiple Housing
Future Land Use Designation: MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1152712 BC Ltd.

Applicant: Patrick McCusker Architecture Inc.

_____ _____

Terry Barton
Urban Planning Manager
Community Planning & Strategic Investments

Date

DRAFT

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

c) Landscaping to be provided on the land be in accordance with Schedule "C"; and

d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years **from the date of Council approval**, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

a) An Irrevocable Letter of Credit in the amount of **$354,150**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

5. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.

DRAFT

ILLUSTRATION 01: (BUILDING 1)

SCHEDULE **A**

This forms part of application
DP18-0103/DVP19-0088

Planner Initials WW

City of Kelowna
COMMUNITY PLANNING

Notes:

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All drawings shall be read in conjunction with specifications and consultant details.

All work shall be carried out in accordance with Canadian standards, specifications, British Columbia Building Code (Current Edition) and local authority by-laws and regulations.

Tabulated scales refer to Arch D size drawing sheet.

This drawing must not be scaled.

Contractors shall verify all dimensions prior to commencement of work.

Any omissions or discrepancies shall be reported to the architect.

Seal

AERIAL CONTEXT PHOTO:

STATISTICS SHEET:

Address:	1150 Black Mountain Drive, Kelowna B.C.
Legal:	KID 6631443 PLAN 81890 LOT 1
Zoning:	RM3
Permitted Use:	Multi Family Housing

Site Area:	**6,628.8 sq.m.**	
	71,351 sq.ft.	
	1.6380 acres	(C.O.K Property Report)

	ALLOWED		PROPOSED	
Min Lot Width	30.0	m	>30	m
Min Lot Depth	30.0	m	>30	m

Setbacks	ALLOWED	PROPOSED
	Front yard 4.5 m	4.5 m
	Side yard 4.0 m	4.0 m
	Rear yard 7.5 m	7.5 m

	LANDSCAPE BUFFER		
Front	Level	3.0	m
	2	10	ft
Side	Level	1.5	m
	3	5	ft
Rear	Level	1.5	m
	3	5	ft

		ALLOWED/REQUIRED		PROPOSED	
Site Coverage	Maximum 40% (Building Footprint)	**2,651**	sq.m.	**1,751**	sq.m.
		28,541	sq.ft.	**18,845**	sq.ft.
Total Coverage	Maximum 70% (Building + Driveway + Parking)	**4,640**	sq.m.	**3,190**	sq.m.
		49,946	sq.ft.	**34,338**	sq.ft.
Floor Area Ratio	(Maximum 0.77) (Proposed FAR of 0.59)	**5,104**	sq.m.	**3,889**	sq.m.
	(0.75+0.02 Parking Bonus)	**54,940**	sq.ft.	**41,859**	sq.ft.
Height	Principal buildings 10 m max or 3.0 stories	**10.0**	m	**10.0**	m
		32.8	ft	**32.8**	ft
Private Open Space Area	Required (minimum) 25 sq.m/two bed + unit @ 26	**650**	sq.m.	**766**	sq.m.
		6,997	sq.ft.	**8,245**	sq.ft.
Parking	2.0 stalls per 3 bed x 26 = 52	**Required**		**52**	spaces
		Provided		**10**	spaces (surface)
				42	spaces (covered)
				52	spaces (TOTAL)
Parking Size Breakdown		**Size Small**		**4**	
		Size Regular		**48**	
Visitor Parking	1 per 7 units (Required Minimum)	**Required**		**4**	
		Provided		**5**	
Bicycle Parking	Class I - 0.5 stalls per unit (26 Units) Class II - 0.1 stalls per unit (26 Units)	**Class I - Required**		**13.0**	spaces
		Class II - Required		**3.0**	spaces
		Total Required		**16**	spaces
		Total Proposed		**30**	spaces

1 Building

Area Analysis (BUILDING 01)	UNIT TYPE	count	per unit	total		deck (sf)
	UNIT A	2	1873	3746	sf	228
	UNIT B1	8	1430	11440	sf	432
SITE COVERAGE	TOTAL	10		15,186	sf	
FOOTPRINT (SF) = 7396						

2 Building

Area Analysis (BUILDING 02)	UNIT TYPE	count	per unit	total		deck (sf)
	UNIT B2	4	1690	6760	sf	224
	UNIT B3	1	1807	1807	sf	56
SITE COVERAGE	TOTAL	5		8,567	sf	
FOOTPRINT (SF) = 3455						

3 Building

Area Analysis (BUILDING 03)	UNIT TYPE	count	per unit	total		deck (sf)
	UNIT B2	3	1685	5055	sf	168
	UNIT B3	1	1807	1807	sf	56
SITE COVERAGE	UNIT B4	1	1778	1778	sf	56
FOOTPRINT (SF) = 3485	TOTAL	5		8,640	sf	

4 Building

Area Analysis (BUILDING 04)	UNIT TYPE	count	per unit	total		deck (sf)
	UNIT A	2	1873	3746	sf	228
	UNIT B1	4	1430	5720	sf	216
SITE COVERAGE	TOTAL	6		9,466	sf	
FOOTPRINT (SF) = 4509						

TOTAL BUILDING FOOTPRINTS	TOTAL UNITS	TOTAL SF	TOTAL DECK SF
18,845	26	41,859	1,664

CONSULTANTS:

ARCHITECTURAL:
PATRICK MCCUSKER ARCHITECTURE INC
3430 BENVOULIN ROAD
KELOWNA, B.C. V1W 4M5
TEL: 778.484.0223

LANDSCAPE :
OUTLAND DESIGN LANDSCAPE ARCHITECTURE
206-1889 SPALL ROAD
KELOWNA, B.C. V1Y 4R2
CONTACT: FIONA BARTON
TEL: 250.868.9270 e-mail: fiona@outlanddesign.ca

CIVIL:
ECORA ENGINEERING AND RESOURCE GROUP LTD
579 LAWRENCE AVENUE
KELOWNA, B.C. V1Y 6L8
TEL: 250.469.9757

DRAWING INDEX:

ARCHITECTURAL:

DRAWING NO.	DRAWING NAME
DP0.01	COVER SHEET
DP1.00	PLAN: SITE TOPOGRAPHIC SURVEY
DP1.01	PLAN: SITE @ LEVEL 01
DP2.01	PLAN: OVERALL BUILDING - BLDG 01 @ LEVEL 01 AND LEVEL 02
DP2.02	PLAN: OVERALL BUILDING - BLDG 01 @ LEVEL 03 AND ROOF
DP2.03	PLAN: OVERALL BUILDING - BLDG 02 @ LEVEL 01 AND LEVEL 02
DP2.04	PLAN: OVERALL BUILDING - BLDG 02 @ LEVEL 03 AND ROOF
DP2.05	PLAN: OVERALL BUILDING - BLDG 03 @ LEVEL 01 AND LEVEL 02
DP2.06	PLAN: OVERALL BUILDING - BLDG 03 @ LEVEL 03 AND ROOF
DP2.07	PLAN: OVERALL BUILDING - BLDG 04 @ LEVEL 01 AND LEVEL 02
DP2.08	PLAN: OVERALL BUILDING - BLDG 04 @ LEVEL 03 AND ROOF
DP2.11	PLANS: UNIT A
DP2.12	PLANS: UNIT B1
DP2.13	PLANS: UNIT B2
DP2.14	PLANS: UNIT B3
DP2.15	PLANS: UNIT B4
DP3.01	ELEVATIONS: BLDG 01
DP3.02	ELEVATIONS: BLDG 02
DP3.03	ELEVATIONS: BLDG 03
DP3.03	ELEVATIONS: BLDG 04
DP3.11	ELEVATIONS: BLDG 01 (COLOURED)
DP3.12	ELEVATIONS: BLDG 02 (COLOURED)
DP3.13	ELEVATIONS: BLDG 03 (COLOURED)
DP3.14	ELEVATIONS: BLDG 04 (COLOURED)
DP3.20	ELEVATIONS: STREETSCAPE
DP4.01	SECTION - SITE

No.	Date	Description
04	2019.01.23	Re-Issued for Development Permit
03	2018.11.21	Re-Issued for Development Permit
02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit

Revisions

PATRICK McCUSKER ARCHITECTURE INC.
AAA MAIBC MRAIC
3430 BENVOULIN ROAD
KELOWNA BC V1W 4M5
~ Phone:778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

project no. 3380

drawing title
COVER SHEET
AND STATISTICS

designed	PMC	scale
drawn	PMC/JB	
checked	PMC	

drawing no.
DP0.01

plotted February 25, 2019 08:49 AM

SCHEDULE A

This forms part of application
DP18-0103/DVP19-0088

Planner Initials WM

City of Kelowna
COMMUNITY PLANNING

Notes:

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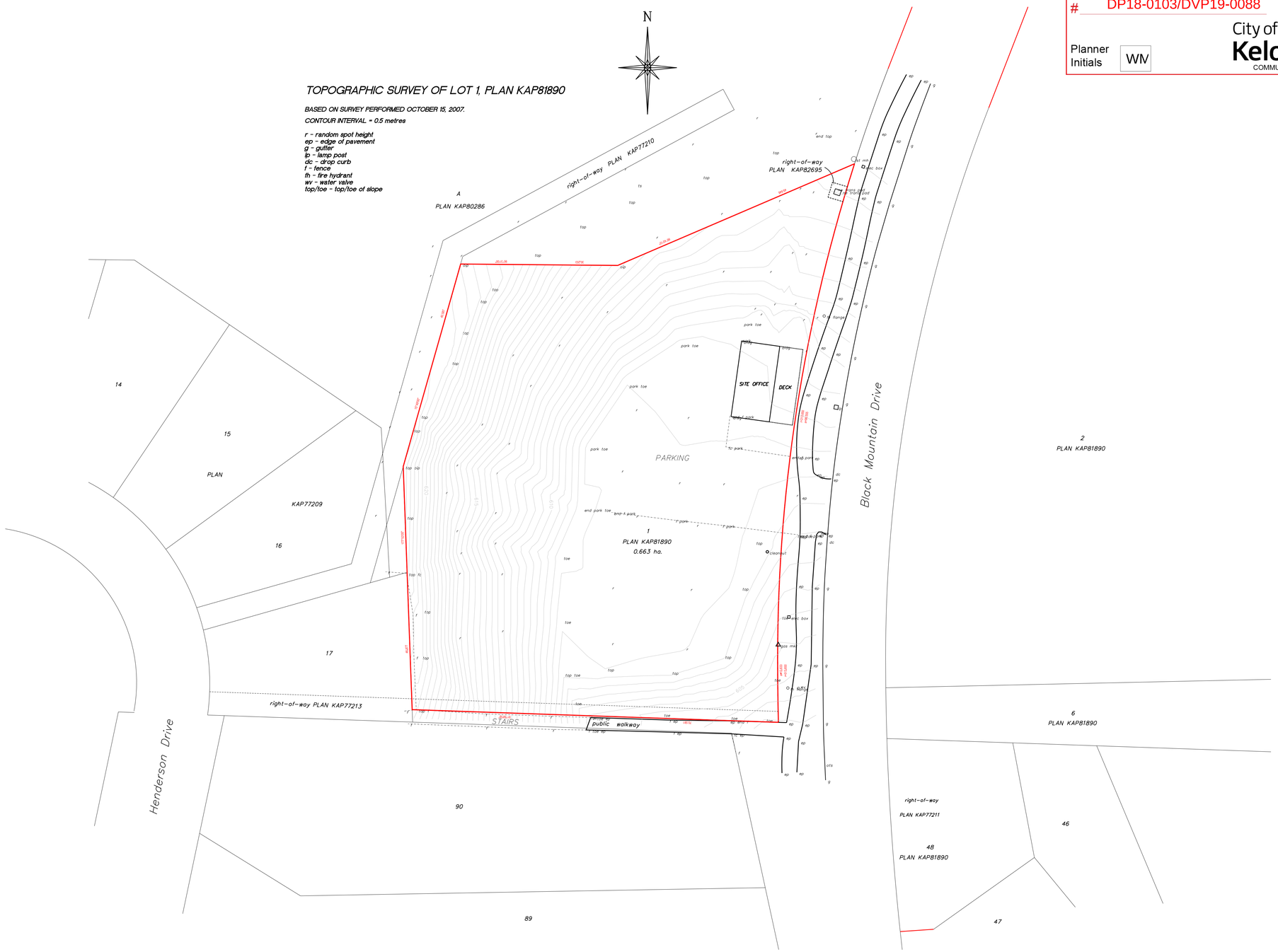
Seal



D.A. Goddard Land Surveying Inc.
103-1358 St. PAUL STREET KELOWNA PHONE 763-3733

No.	Date	Description
04	2019.01.23	Re-Issued for Development Permit
03	2018.11.21	Re-Issued for Development Permit
02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit

Revisions

PATRICK McCUSKER ARCHITECTURE INC.
AAA MAIBC MRAIC
3430 BENVOULIN ROAD
KELOWNA BC V1W 4M5
~ Phone:778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

project no. 3380

drawing title
SITE TOPOGRAPHIC SURVEY

designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		

drawing no.
DP1.00

plotted January 24, 2019 02:46 PM

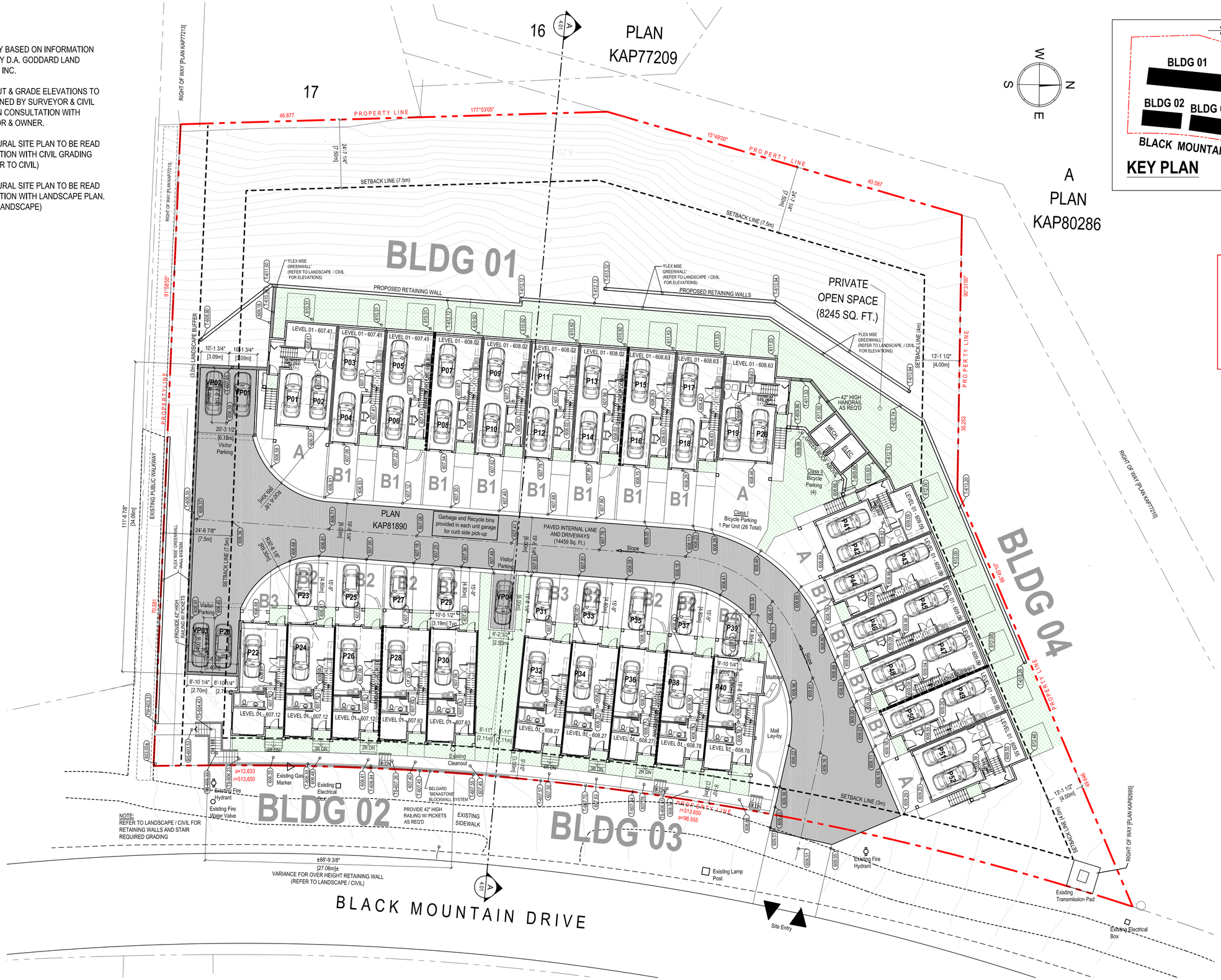
NOTES:

SITE SURVEY BASED ON INFORMATION PROVIDED BY D.A. GODDARD LAND SURVEYING INC.

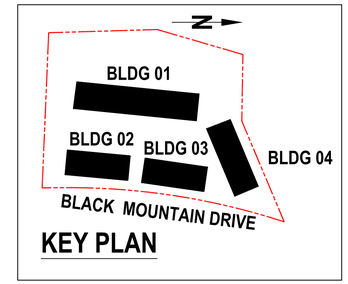
FINAL LAYOUT & GRADE ELEVATIONS TO BE DETERMINED BY SURVEYOR & CIVIL ENGINEER IN CONSULTATION WITH CONTRACTOR & OWNER.

ARCHITECTURAL SITE PLAN TO BE READ IN CONJUNCTION WITH CIVIL GRADING PLAN. (REFER TO CIVIL)

ARCHITECTURAL SITE PLAN TO BE READ IN CONJUNCTION WITH LANDSCAPE PLAN. (REFER TO LANDSCAPE)



1 DP 1.01 SITE AT LEVEL 01 (GARAGE)
SCALE: 1/16" = 1'-0"
SITE AREA: 71351 SF (PER PROPERTY REPORT)



Notes:

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Seal

SCHEDULE A
This forms part of application
DP18-0103/DVP19-0088
Planner Initials WM
City of Kelowna
COMMUNITY PLANNING

No.	Date	Description
04	2019.01.23	Re-Issued for Development Permit
03	2018.11.21	Re-Issued for Development Permit
02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit

Revisions

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AAA MAIBC MRAIC
3430 BENVOULIN ROAD
KELOWNA BC V1W 4M5
~Phone:778-484-0223~
pat@pmccarch.com
www.pmccarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

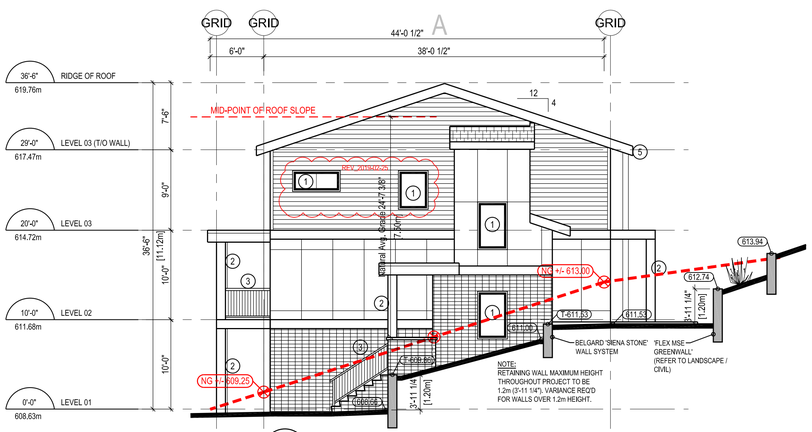
project no. 3380

drawing title
SITE @ LEVEL 01 (GARAGE)

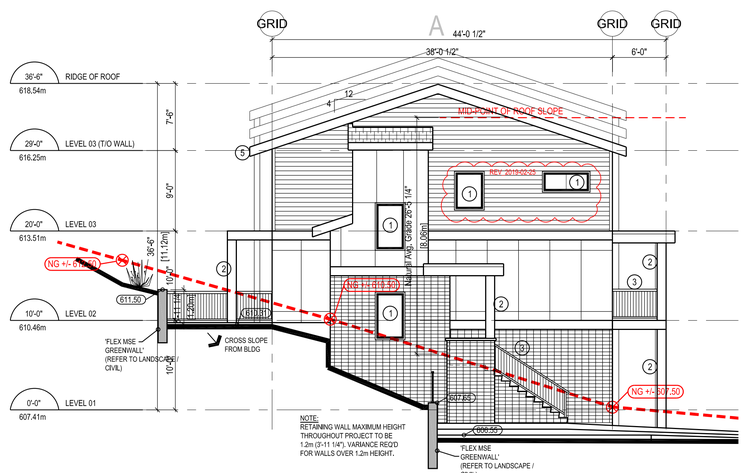
designed PMC
drawn JB
checked PMC
scale AS NOTED
drawing no. DP1.01
plotted February 25, 2019 08:56 AM

04 DP 3.01 ELEVATION - BLDG 01 (FRONT)
SCALE: 1/8" = 1'-0"

03 DP 3.01 ELEVATION - BLDG 01 (REAR)
SCALE: 1/8" = 1'-0"



02 DP 3.01 ELEVATION - BLDG 01 - RIGHT SIDE
SCALE: 1/8" = 1'-0"

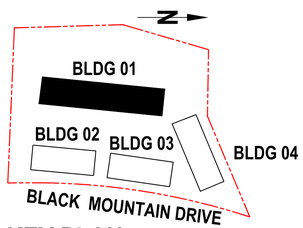


01 DP 3.01 ELEVATION - BLDG 01 - LEFT SIDE
SCALE: 1/8" = 1'-0"

MATERIALS LEGEND:

- FIBREGLASS LAMINATE SHINGLES
- WALL PANEL (HARDIE PRODUCT - 'GRAY SLATE')
- WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE')
- HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL
- BRICK (STACKING BOND)

1. - DOUBLE GLAZED THERMALLY BROKEN, VINYL WINDOWS (BLACK FRAMES)
2. - BUILT-UP COLUMNS
3. - ALUMINUM GUARDRAIL AND PICKETS (BLACK)
4. - INSULATED METAL SECTIONAL OVERHEAD DOOR (STAINED FAUX WOOD)
5. - PRE-FINISHED ALUMINUM FASCIA GUTTER AND DOWN-SPOUTS (BLACK)



KEY PLAN

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SCHEDULE B

This forms part of application
DP18-0103/DVP19-0088

Planner Initials WW

City of Kelowna
COMMUNITY PLANNING

No.	Date	Description
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01	2018.04.30	Issued for Development Permit

Revisions

PATRICK McCUSKER ARCHITECTURE INC.
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3430 BENVOULIN ROAD
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~ Phone:778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

project no. 3380

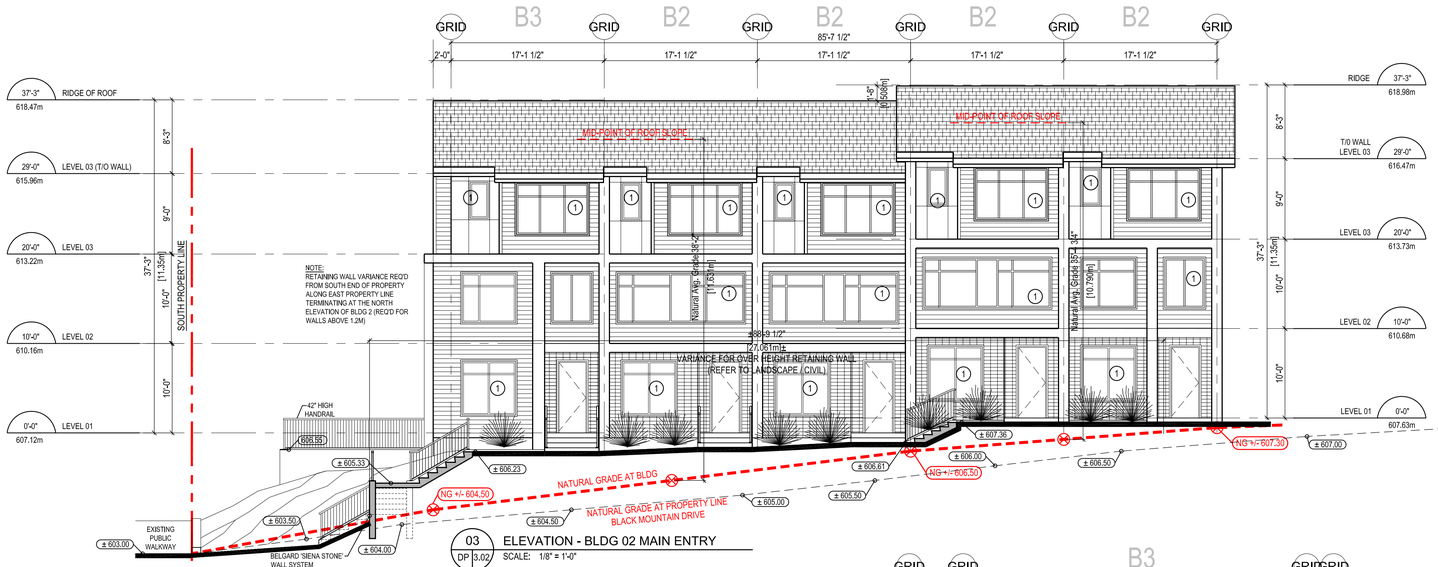
drawing title
ELEVATIONS
BUILDING 01

designed PMC
drawn JB
checked PMC
scale AS NOTED

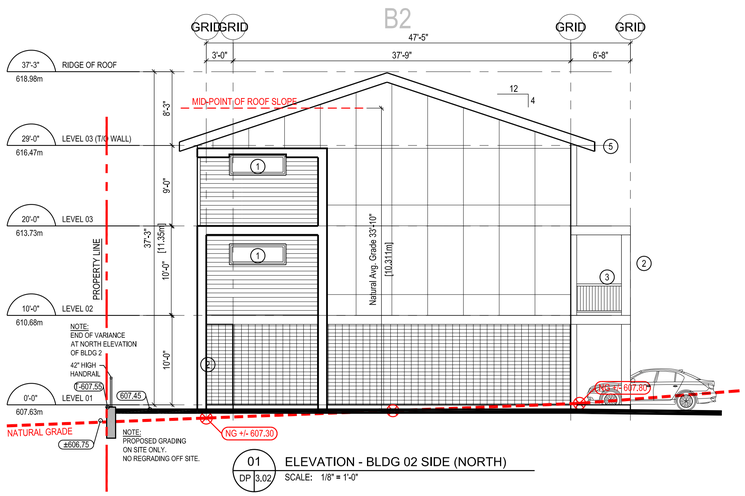
drawing no. DP3.01

plotted February 25, 2019 09:56 AM

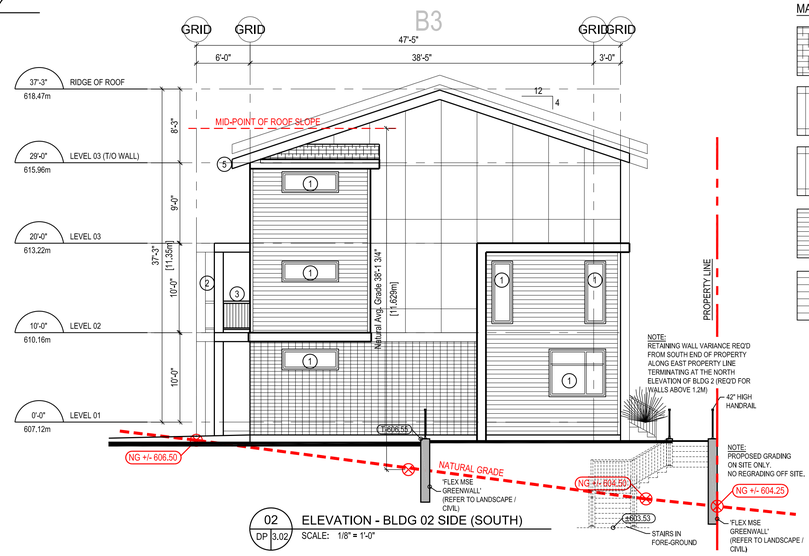
04 DP 3.02 ELEVATION - BLDG 02 GARAGE ENTRY
SCALE: 1/8" = 1'-0"



03 DP 3.02 ELEVATION - BLDG 02 MAIN ENTRY
SCALE: 1/8" = 1'-0"



01 DP 3.02 ELEVATION - BLDG 02 SIDE (NORTH)
SCALE: 1/8" = 1'-0"

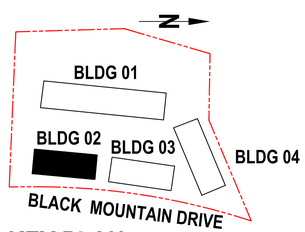


02 DP 3.02 ELEVATION - BLDG 02 SIDE (SOUTH)
SCALE: 1/8" = 1'-0"

MATERIALS LEGEND:

- FIBREGLASS LAMINATE SHINGLES
- WALL PANEL (HARDIE PRODUCT - 'GRAY SLATE')
- WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE')
- HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL
- BRICK (STACKING BOND)

1. - DOUBLE GLAZED THERMALLY BROKEN, VINYL WINDOWS (BLACK FRAMES)
2. - BUILT-UP COLUMNS
3. - ALUMINUM GUARDRAIL AND PICKETS (BLACK)
4. - INSULATED METAL SECTIONAL OVERHEAD DOOR (STAINED FAUX WOOD)
5. - PRE-FINISHED ALUMINUM FASCIA GUTTER AND DOWN-SPOUTS (BLACK)



KEY PLAN

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Seal

SCHEDULE B

This forms part of application
DP18-0103/DVP19-0088

Planner Initials WM

City of Kelowna
COMMUNITY PLANNING

No.	Date	Description
04	2019.01.23	Re-Issued for Development Permit
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01	2018.04.30	Issued for Development Permit

Revisions

PM
PATRICK McCUSKER ARCHITECTURE INC.
AAA MAIBC MRAIC
3430 BENVOULIN ROAD
KELOWNA BC V1W 4M5
~ Phone:778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

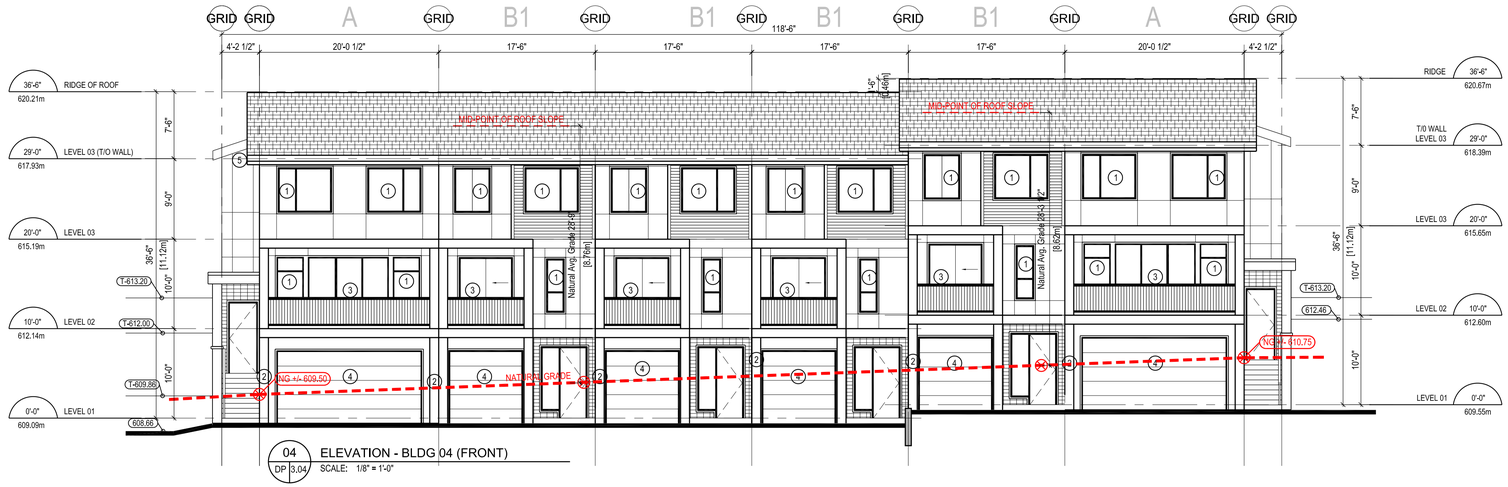
project no. 3380

drawing title
ELEVATIONS
BUILDING 02

designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		

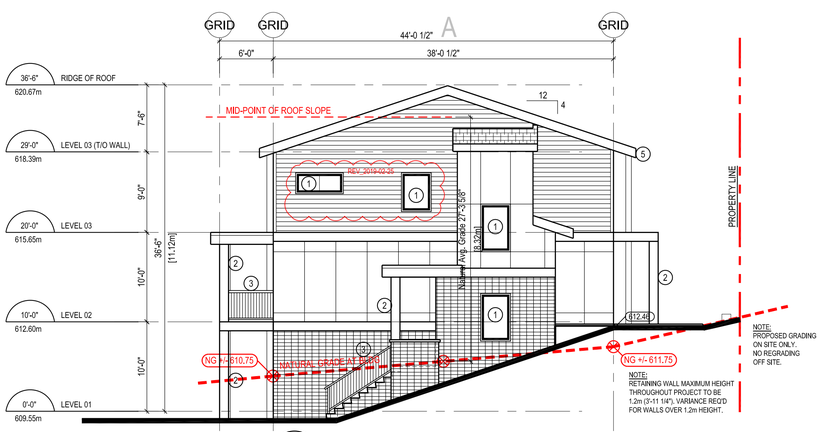
drawing no. DP3.02

plotted January 24, 2019 04:08 PM

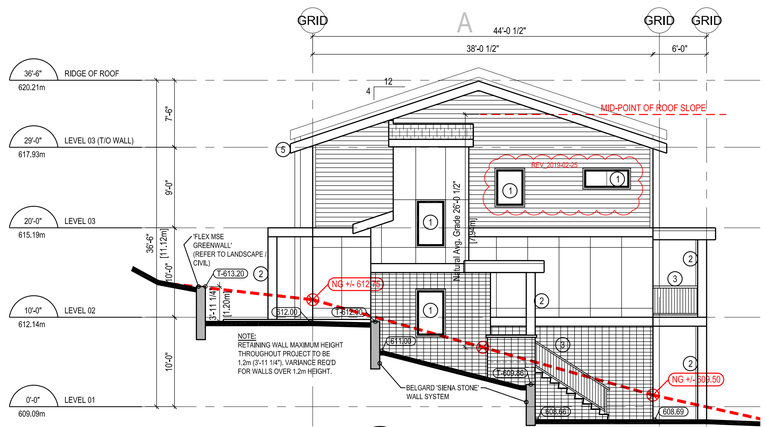


04 DP 3.04 ELEVATION - BLDG 04 (FRONT)
SCALE: 1/8" = 1'-0"

03 DP 3.04 ELEVATION - BLDG 04 (REAR)
SCALE: 1/8" = 1'-0"



02 DP 3.04 ELEVATION - BLDG 04 - RIGHT SIDE
SCALE: 1/8" = 1'-0"

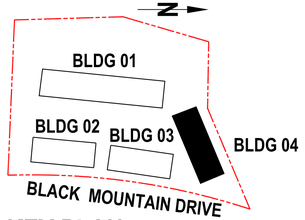


01 DP 3.04 ELEVATION - BLDG 04 - LEFT SIDE
SCALE: 1/8" = 1'-0"

MATERIALS LEGEND:

- FIBREGLASS LAMINATE SHINGLES
- WALL PANEL (HARDIE PRODUCT - 'GRAY SLATE')
- WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE')
- HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL
- BRICK (STACKING BOND)

1. - DOUBLE GLAZED THERMALLY BROKEN, VINYL WINDOWS (BLACK FRAMES)
2. - BUILT-UP COLUMNS
3. - ALUMINUM GUARDRAIL AND PICKETS (BLACK)
4. - INSULATED METAL SECTIONAL OVERHEAD DOOR (STAINED FAUX WOOD)
5. - PRE-FINISHED ALUMINUM FASCIA GUTTER AND DOWN-SPOUTS (BLACK)



KEY PLAN

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Seal

SCHEDULE B

This forms part of application
DP18-0103/DVP19-0088

Planner Initials WV

City of Kelowna
COMMUNITY PLANNING

No.	Date	Description
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02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit

Revisions

PATRICK McCUSKER ARCHITECTURE INC.
AAA MAIBC MRAIC
3430 BENVOULIN ROAD
KELOWNA BC V1W 4M5
~ Phone:778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

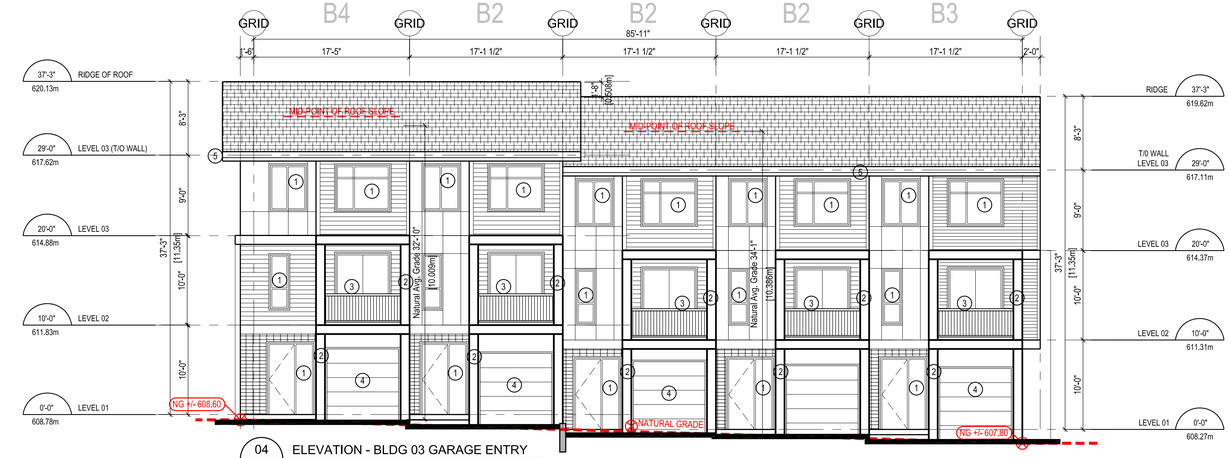
project no. 3380

drawing title
ELEVATIONS
BUILDING 04

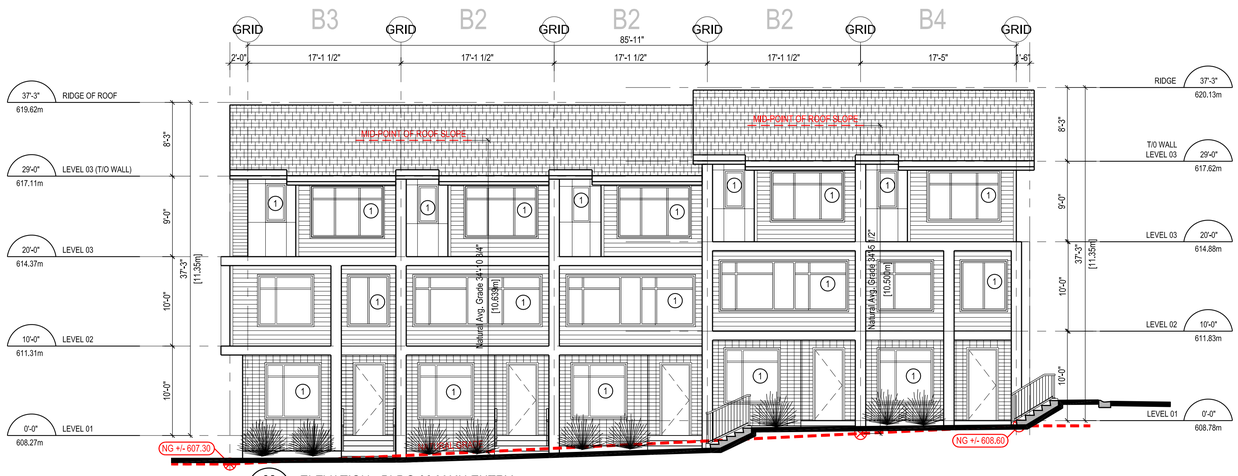
designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		

drawing no.
DP3.04

plotted February 25, 2019 09:57 AM

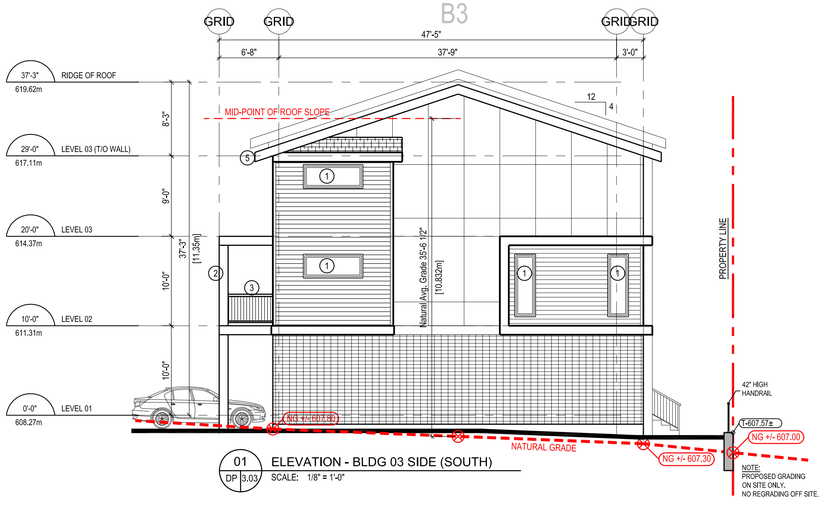


04 DP 3.03 ELEVATION - BLDG 03 GARAGE ENTRY
SCALE: 1/8" = 1'-0"



03 DP 3.03 ELEVATION - BLDG 03 MAIN ENTRY
SCALE: 1/8" = 1'-0"

02 DP 3.03 ELEVATION - BLDG 03 SIDE (NORTH)
SCALE: 1/8" = 1'-0"

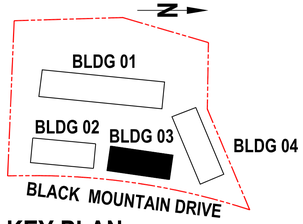


01 DP 3.03 ELEVATION - BLDG 03 SIDE (SOUTH)
SCALE: 1/8" = 1'-0"

MATERIALS LEGEND:

- FIBREGLASS LAMINATE SHINGLES
- WALL PANEL (HARDIE PRODUCT - 'GRAY SLATE')
- WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE')
- HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL
- BRICK (STACKING BOND)

1. DOUBLE GLAZED THERMALLY BROKEN, VINYL WINDOWS (BLACK FRAMES)
2. BUILT-UP COLUMNS
3. ALUMINUM GUARDRAIL AND PICKETS (BLACK)
4. INSULATED METAL SECTIONAL OVERHEAD DOOR (STAINED FAUX WOOD)
5. PRE-FINISHED ALUMINUM FASCIA GUTTER AND DOWN-SPOUTS (BLACK)



KEY PLAN

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Seal

SCHEDULE B

This forms part of application
DP18-0103/DVP19-0088

City of Kelowna
COMMUNITY PLANNING

Planner Initials WW

No.	Date	Description
04	2019.01.23	Re-Issued for Development Permit
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01	2018.04.30	Issued for Development Permit

Revisions

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~ Phone:778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

project no. 3380

drawing title
ELEVATIONS
BUILDING 03

designed PMC
drawn JB
checked PMC
scale AS NOTED

drawing no. DP3.03

plotted January 24, 2019 04:09 PM

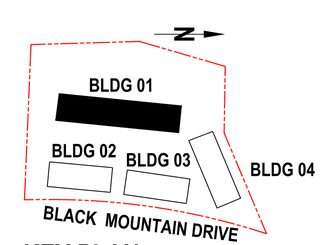
03 ELEVATION - BLDG 01 (FRONT)
SCALE: 1/8" = 1'-0"

02 ELEVATION - BLDG 01 (REAR)
SCALE: 1/8" = 1'-0"

01 ELEVATION - BLDG 01 (TYPICAL SIDE)
SCALE: 1/8" = 1'-0"

MATERIALS LEGEND:

- FIBREGLASS LAMINATE SHINGLES
- WALL PANEL (HARDIE PRODUCT - 'GRAY SLATE')
- WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE')
- HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL
- BRICK



KEY PLAN

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Seal

SCHEDULE B

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DP18-0103/DVP19-0088

City of Kelowna
COMMUNITY PLANNING

Planner Initials WM

No.	Date	Description
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Revisions

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~ Phone:778-484-0223 ~
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www.pmccarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

project no. 3380

drawing title
ELEVATIONS
BUILDING 01
(COLOURED)

designed PMC
drawn JB
checked PMC
scale AS NOTED

drawing no. DP3.11

plotted January 24, 2019 04:12 PM

04 ILLUSTRATION - BLDG 02 FROM BLACK MOUNTAIN DRIVE
SCALE: NTS

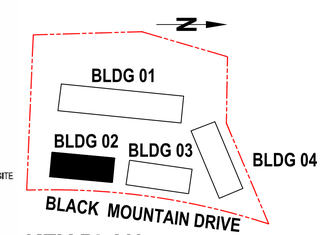
03 ILLUSTRATION - BLDG 02 FROM DRIVE AISLE
SCALE: NTS

02 ILLUSTRATION - BLDG 02 FROM SOUTHEAST CORNER
SCALE: NTS

01 ILLUSTRATION - BLDG 02 FROM NORTHHEAST CORNER
SCALE: NTS

MATERIALS LEGEND:

- FIBREGLASS LAMINATE SHINGLES
- WALL PANEL (HARDIE PRODUCT - 'GRAY SLATE')
- WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE')
- HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL
- BRICK



KEY PLAN

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Planner Initials WM

City of Kelowna
COMMUNITY PLANNING

No.	Date	Description
04	2019.01.23	Re-Issued for Development Permit
03	2018.11.21	Re-Issued for Development Permit
02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit

Revisions

PM

PATRICK McCUSKER ARCHITECTURE INC.

AAA MAIBC MRAIC

3430 BENVOULIN ROAD
KELOWNA BC V1W 4M5
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pat@pmccarch.com
www.pmccarch.com

project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

project no. 3380

drawing title
ELEVATIONS
BUILDING 02
(COLOURED)

designed PMC	scale AS NOTED
drawn JB	
checked PMC	

drawing no.
DP3.12

plotted January 24, 2019 04:20 PM

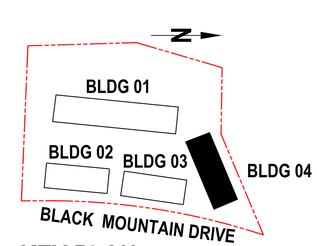
03 ELEVATION - BLDG 04 (FRONT)
SCALE: 1/8" = 1'-0"

02 ELEVATION - BLDG 04 (REAR)
SCALE: 1/8" = 1'-0"

01 ELEVATION - BLDG 04 (TYPICAL SIDE)
SCALE: 1/8"=1'-0"

MATERIALS LEGEND:

- FIBREGLASS LAMINATE SHINGLES
- WALL PANEL (HARDIE PRODUCT - 'GRAY SLATE')
- WALL PANEL (HARDIE PRODUCT - 'COBBLESTONE')
- HORIZONTAL WOOD TEXTURED COMPOSITE MATERIAL
- BRICK



KEY PLAN

Notes:

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Tabulated scales refer to Arch D size drawing sheet.

This drawing must not be scaled.

Contractors shall verify all dimensions prior to commencement of work.

Any omissions or discrepancies shall be reported to the architect.

Seal

SCHEDULE B

This forms part of application
DP18-0103/DVP19-0088

Planner Initials WM

City of Kelowna
COMMUNITY PLANNING

No.	Date	Description
04	2019.01.23	Re-Issued for Development Permit
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02	2018.09.21	Re-Issued for Development Permit
01	2018.04.30	Issued for Development Permit

Revisions

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project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

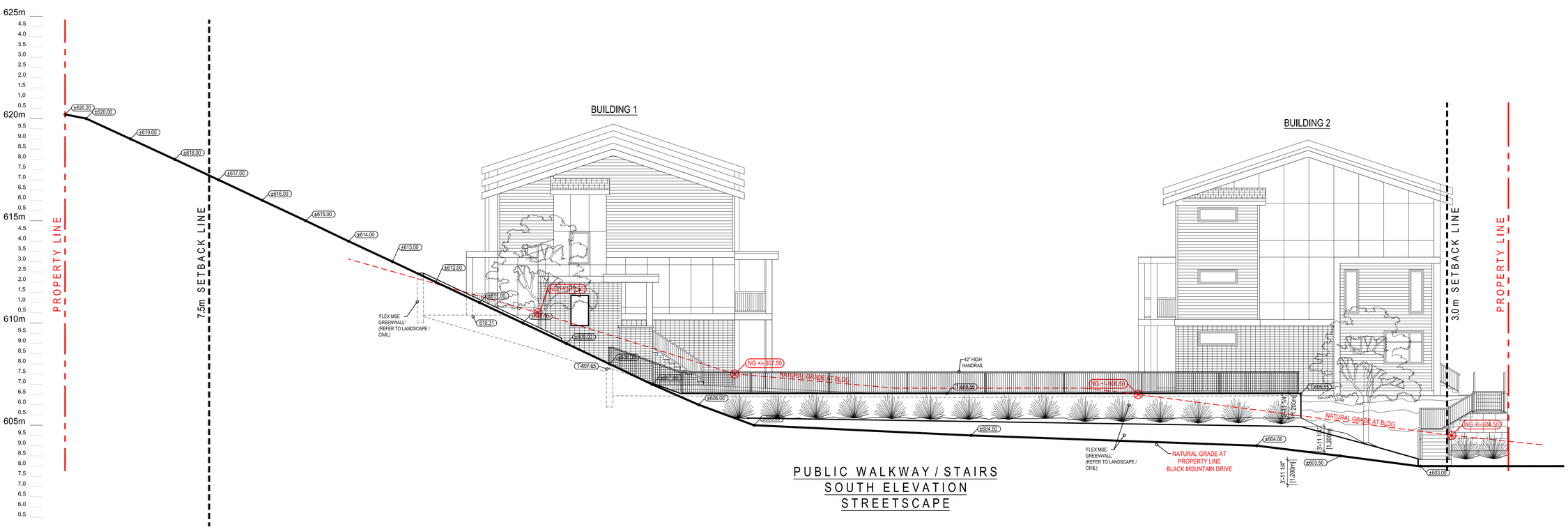
project no. 3380

drawing title
ELEVATIONS
BUILDING 04
(COLOURED)

designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		

drawing no. DP3.14

plotted January 24, 2019 04:26 PM



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Seal

SCHEDULE B

This forms part of application
DP18-0103/DVP19-0088

Planner Initials WM

City of Kelowna
COMMUNITY PLANNING

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Revisions

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project title
BLACK MOUNTAIN
MULTI-FAMILY RESIDENTIAL
1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

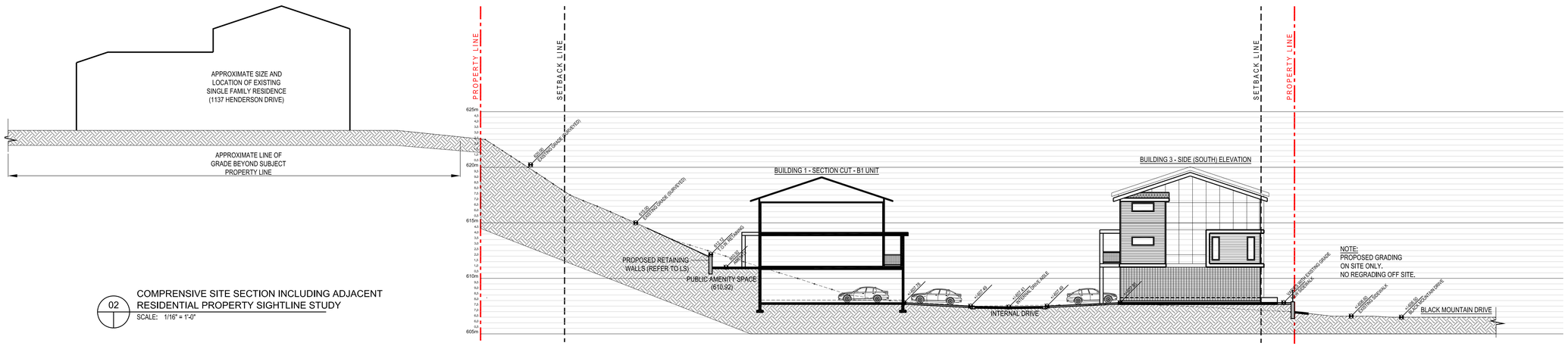
project no. 3380

drawing title
STREETSCAPE ELEVATIONS

designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		

drawing no.
DP3.20

plotted January 24, 2019 04:31 PM



02 COMPRENSIVE SITE SECTION INCLUDING ADJACENT RESIDENTIAL PROPERTY SIGHTLINE STUDY

SCALE: 1/16" = 1'-0"

LEGEND

EXISTING GRADE (VERIFY WITH SURVEY)

PROPOSED GRADE

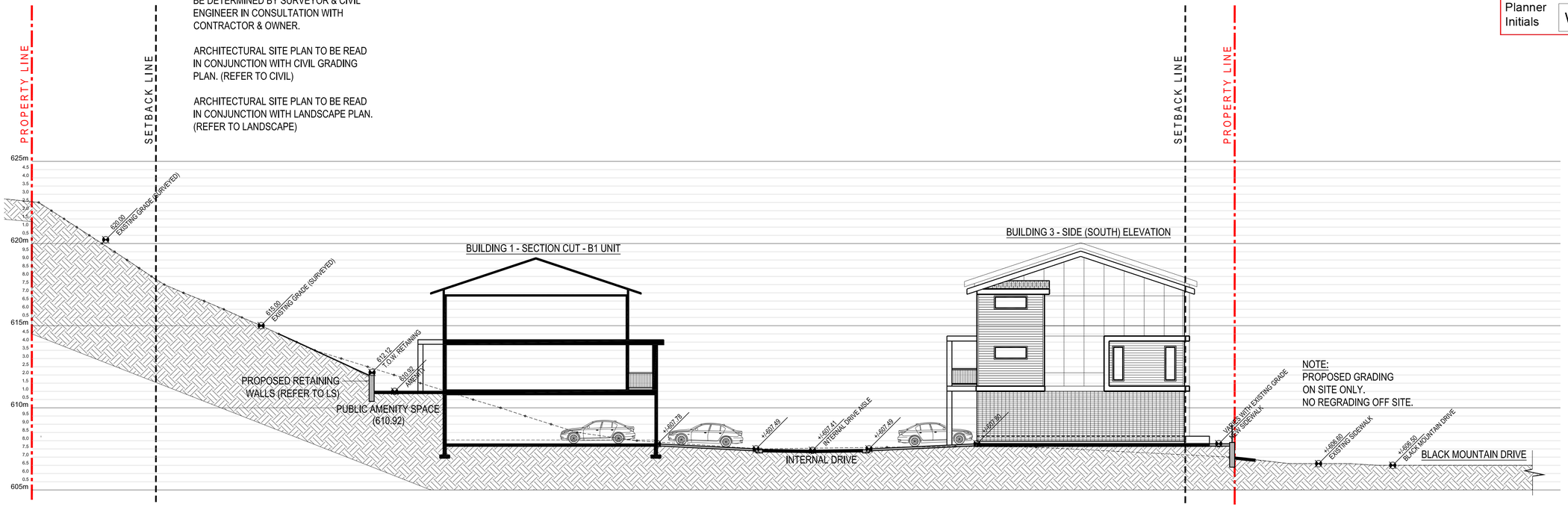
NOTES:

SITE SURVEY BASED ON INFORMATION PROVIDED BY D.A. GODDARD LAND SURVEYING INC.

FINAL LAYOUT & GRADE ELEVATIONS TO BE DETERMINED BY SURVEYOR & CIVIL ENGINEER IN CONSULTATION WITH CONTRACTOR & OWNER.

ARCHITECTURAL SITE PLAN TO BE READ IN CONJUNCTION WITH CIVIL GRADING PLAN. (REFER TO CIVIL)

ARCHITECTURAL SITE PLAN TO BE READ IN CONJUNCTION WITH LANDSCAPE PLAN. (REFER TO LANDSCAPE)



01 SITE SECTION A-A

SCALE: 3/32" = 1'-0"

LEGEND

EXISTING GRADE (VERIFY WITH SURVEY)

PROPOSED GRADE

Notes:

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Any omissions or discrepancies shall be reported to the architect.

Seal

SCHEDULE B

This forms part of application

DP18-0103/DVP19-0088

City of Kelowna
COMMUNITY PLANNING

Planner Initials WW

No.	Date	Description
04	2019.01.23	Re-Issued for Development Permit
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Revisions

PATRICK McCUSKER ARCHITECTURE INC.

AAA MAIBC MRAIC

3430 BENVOULIN ROAD
KELOWNA BC V1W 4M5
~ Phone:778-484-0223 ~
pat@pmccarch.com
www.pmccarch.com

project title

BLACK MOUNTAIN

MULTI-FAMILY RESIDENTIAL

1150 BLACK MOUNTAIN DRIVE
KELOWNA, B.C.

project no. 3380

drawing title

SECTION - SITE

designed	PMC	scale	AS NOTED
drawn	JB		
checked	PMC		

drawing no.

DP4.01

plotted January 24, 2019 04:37 PM

SCHEDULE C

This forms part of application
DP18-0103/DVP19-0088

Planner Initials WM

City of Kelowna
COMMUNITY PLANNING

OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

303 - 590 KLO Road
Kelowna, BC V1Y 7S2
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www.outlanddesign.ca

LEGEND

- DECIDUOUS TREE
- CONIFEROUS TREE
- EXISTING TREE

PLANTING AREAS

- HEUCHERA 'FROSTED VIOLET', DICENTRA SPICTABILIS 'ALBA', TAXUS MEDIA 'HICKSII', ATHYRIUM FILIX-FEMINA 'LADY IN RED', HOSTA 'HALYON'
- MUGO PINE 'MOPS', PEROVSKIA ATRIPLICIFOLIA, DECHAMPSIA CAESPITOSA, SALVIA NEMOROSA 'SNOW HILL', HELICTOTRICHON SEMPERVIREUS
- HEUCHERA 'FROSTED VIOLET', DICENTRA SPICTABILIS 'ALBA', TAXUS MEDIA 'HICKSII', ATHYRIUM FILIX-FEMINA 'LADY IN RED', HOSTA 'HALYON'
- FLEX MSE GREEN WALL PLANTED WITH NATIVE PLANTINGS AND A DRYLAND SEED MIX
- SIENASTONE RETAINING WALL
- OVER HEIGHT SIENASTONE RETAINING WALL

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CSLA STANDARDS.

2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.

3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 60mm DOUGLAS RED FIR MULCH OR ROCK MULCH, AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.

4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 450mm DEPTH TOPSOIL PLACEMENT.

5. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
PINUS CONTORTA LATIFOLIA	LODGEPOLE PINE	7	2m HT.
POPULUS TREMULOIDES 'NE-ARB'	PRAIRIE GOLD ASPEN	10	6cm CAL
QUERCUS ROBUR X BICOLOR 'LONG'	REGAL PRINCE OAK	17	6cm CAL
SHRUBS, PERENNIALS & GRASSES			
AMELANCHIER ALNIFLORA 'REGENT'	REGENT SASKATOON	23	#01 CONT. /2.0M O.C. SPACING
ATHYRIUM FILIX-FEMINA 'LADY IN RED'	LADY IN RED FERN	124	#01 CONT. /0.6M O.C. SPACING
COREOPSIS GRANDIFLORA 'BABY SUN'	BABY SUN COREOPSIS	124	#01 CONT. /0.6M O.C. SPACING
DECENTRA SPECTABILIS 'ALBA'	WHITE BLEEDING HEART	80	#01 CONT. /0.75M O.C. SPACING
DECHAMPSIA CAESPITOSA 'BRONZESCHLEIER'	BRONZE TUFTED HAIR GRASS	124	#01 CONT. /0.6M O.C. SPACING
ECHINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	124	#01 CONT. /0.6M O.C. SPACING
HELICTOTRICHON SEMPERVINEUS	BLUE OAT GRASS	80	#01 CONT. /0.75M O.C. SPACING
HEUCHERA 'FROSTED VIOLET'	FROSTED VIOLET CORAL BELLS	80	#01 CONT. /0.75M O.C. SPACING
HOSTA 'HALYON'	HALYON HOSTA	45	#01 CONT. /1.0M O.C. SPACING
JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	64	#02 CONT. /1.2M O.C. SPACING
LEUCANTHEMUM SUPERBUM 'BECKY'	BECKY SHASTA DAISY	124	#01 CONT. /0.6M O.C. SPACING
LONICERA XYLOSTEOIDES 'MINIGLOBE'	MINIGLOBE HONEYSUCKLE	64	#01 CONT. /1.2M O.C. SPACING
MUGOPINE 'MOPS'	MOPS MUGO PINE	45	#02 CONT. /1.0M O.C. SPACING
PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	45	#01 CONT. /1.0M O.C. SPACING
RHUS AROMATICA 'GROW-LOW'	GROW-LOW FRAGRANT SUMAC	23	#01 CONT. /2.0M O.C. SPACING
ROSA 'NEARLY WILD'	NEARLY WILD ROSE	80	#01 CONT. /0.75M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	124	#01 CONT. /0.6M O.C. SPACING
SALVIA MEMOROSA 'SNOW HILL'	SNOW HILL SALVIA	124	#01 CONT. /0.6M O.C. SPACING
TAXUS MEDIA 'HICKSII'	HICK'S YEW	45	#01 CONT. /1.0M O.C. SPACING

N

PROJECT TITLE

1150 BLACK MOUNTAIN DRIVE

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION

1	18.08.22	Review
2	18.09.13	Review
3	18.11.20	Review
4	18.11.21	Review
5	19.01.22	Review

PROJECT NO	17-128
DESIGN BY	RW/FB
DRAWN BY	SR/RW
CHECKED BY	FB
DATE	JAN. 22, 2019
SCALE	1:200
PAGE SIZE	24" x 36"

SEAL

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
FIONA BARTON
334

DRAWING NUMBER

L1/2

ISSUED FOR REVIEW ONLY

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IRRIGATION LEGEND

ZONE #1: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 104 sq.m.
MICROCLIMATE: EAST EXPOSURE, FULL SUN
ESTIMATED ANNUAL WATER USE: 149 cu.m.

ZONE #2: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 92 sq.m.
MICROCLIMATE: EAST EXPOSURE, FULL SUN
ESTIMATED ANNUAL WATER USE: 131 cu.m.

ZONE #3: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 70 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 100 cu.m.

ZONE #4: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 89 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 127 cu.m.

ZONE #5: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 100 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 143 cu.m.

ZONE #6: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 92 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 131 cu.m.

ZONE #7: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 200 sq.m.
MICROCLIMATE: SOUTH EAST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 111 cu.m.

ZONE #8: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 198 sq.m.
MICROCLIMATE: SOUTH WEST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 110 cu.m.

ZONE #9: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 34 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 19 cu.m.

ZONE #10: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 160 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 81 cu.m.

ZONE #11: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 137 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY WALLS
ESTIMATED ANNUAL WATER USE: 76 cu.m.

ZONE #12: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 41 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 23 cu.m.

ZONE #13: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 206 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY BUILDING/TREES
ESTIMATED ANNUAL WATER USE: 114 cu.m.

ZONE #14: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 73 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 41 cu.m.

ZONE #15: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 154 sq.m.
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY BUILDING
ESTIMATED ANNUAL WATER USE: 86 cu.m.

ZONE #16: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 78 sq.m.
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 43 cu.m.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 1759 cu.m. / year

ESTIMATED LANDSCAPE WATER USE (WU) = 1443 cu.m. / year

WATER BALANCE = 316 cu.m. / year

IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).

2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.

3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.

4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.

5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.

6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.

7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.

8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

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Kelowna, BC V1Y 7S2
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www.outlanddesign.ca

SCHEDULE C
This forms part of application
DP18-0103/DVP19-0088
Planner Initials WW
City of Kelowna
COMMUNITY PLANNING

N

PROJECT TITLE

1150 BLACK MOUNTAIN

Kelowna, BC

DRAWING TITLE

WATER CONSERVATION/ IRRIGATION PLAN

ISSUED FOR / REVISION

1	18.08.22	Review
2	18.09.13	Review
3	18.11.20	Review
4	18.11.21	Review
5	19.01.22	Review

PROJECT NO.	17-128
DESIGN BY	FB/SR
DRAWN BY	RW/MC
CHECKED BY	FB
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SEAL

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
FIONA BARTON
334

DRAWING NUMBER

L2/2

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ATTACHMENT A
This forms part of application
DP18-0103/DVP19-0088
Planner Initials WM
City of Kelowna
COMMUNITY PLANNING

CITY OF KELOWNA

MEMORANDUM

Date: May 18, 2018

File No.: DP18-0103

To: Urban Planning Management (TH)

From: Development Engineering Manager (JK)

Subject: 1150 Black Mountain Dr.

The Development Engineering Department has the following comments and requirements associated with this Development Permit application DP18-0103. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Andy Marshall

1. Domestic Water and Fire Protection

a) This development is within the service area of the Black Mountain Irrigation District (BMID). The developer is required to make satisfactory arrangements with the BMID for these items. All charges for service connection and upgrading costs are to be paid directly to BMID.

2. Sanitary Sewer

(a) The developer's consulting mechanical engineer will determine the requirements of this proposed development and establish the required size and preferred location of the new service. Only one service will be permitted for this development. The applicant, at his cost, will arrange for installation of a new service.

3. Storm Drainage

The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the installation of one overflow service if required.

4. Road Improvements

a) This development application will be limited to one access to Black Mountain Dr. maximum 6m wide.

5. Electric Power and Telecommunication Services

All proposed service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

6. Design and Construction

a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.

b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.

c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (Part 5 and Schedule 3).

d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.

e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

7. Servicing Agreements for Works and Services

a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.

b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than $5,000,000 and the City is to be named on the insurance policy as an additional insured.

8. Other Engineering Comments

a) Provide all necessary Statutory Rights-of-Way for any utility corridors as required.

9. Geotechnical Report

a) Provide a comprehensive geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the

items below: NOTE**: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed development**.

- Overall site suitability for development.
- Presence of ground water and/or springs.
- Presence of fill areas.
- Presence of swelling clays.
- Presence of sulphates.
- Potential site erosion.
- Provide specific requirements for footings and foundation construction.
- Provide specific construction design sections for roads and utilities over and above the City's current construction standards

10. <u>Development Permit and Site Related Issues</u>

Access and Manoeuvrability

(i) Ensure acceptable turning movements onsite for MSU design vehicle.

11. <u>Charges and Fees</u>

a) Development Cost Charges (DCC's) are payable.

b) Fees per the "Development Application Fees Bylaw" include:

i) Engineering and Inspection Fee: 3.5% of offsite construction value (plus GST).

James Kay, P. Eng.
Development Engineering Manager

agm

REPORT TO COUNCIL

Date:	June 4th 2019		
RIM No.	0940-00		
To:	City Manager		
From:	Community Planning Department (AC)		
Application:	DVP18-0154	**Owner:**	Nicholas and Cheryl Kirschner
Address:	2005 Lindahl Street	**Applicant:**	Urban Options Planning and Permits
Subject:	Development Variance Permit		
Existing OCP Designation:	S2RES – Single / Two Unit Residential		
Existing Zone:	RU6 – Two Dwelling Housing		

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0154 for Lot 4, Section 19, Township 26, ODYD, Plan 19208, located at 2005 Lindahl Street, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted as identified within Schedule 'A':

> **Section 13.6.6 (h): [RU6 – Two Dwelling Housing Development Regulations]**
> To vary the required minimum rear yard setback from 7.5 m permitted to 3.0 m proposed.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Variance Permit application in order for the permit to be issued;

AND THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider a rear yard setback variance from 7.5 metres to 3.0 metres for the second dwelling on the subject property.

3.0 Community Planning

Council approved a rezoning to the subject property to the RU6 zone on August 28th 2018 which permits one additional single family dwelling on the subject property. The applicant wishes to retain the existing single family dwelling and construct a new single family dwelling at the rear of the property.

The subject parcel is an irregular shaped lot 1,416 m^2 in size, the width measures 30.0 m, depth 35.0 m. The second dwelling's access is proposed to be constructed with vehicle access from the existing driveway. Due to the irregular shape of the parcel, the proposed site plan for a second single family dwelling does show the need for a rear yard variance (from 7.5 metres required to 3.0 metres proposed).

The neighbour to the east (1402 – 1404 Inkar Rd) applied for and was approved for the same setback variance for a second dwelling in 2010. Staff are recommending support for this variance to be consistent with previous recommendations in this area.

4.0 Proposal

4.1 Project Description

A single family dwelling was constructed in the 1960's on the subject property. Due to the addition of a second dwelling, the owner may apply to stratify each dwelling. In order to stratify, the existing dwelling would need to substantially be brought up to current BC Building Code standards. The existing dwelling was constructed in the 1960's meaning substantial upgrades may be required. As such, if the owner wishes to stratify the two dwellings, the upgrades to the existing dwelling fronting Lindahl Street would improve the streetscape in the neighbourhood.

4.2 Site Context

The subject parcel is located on Lindahl Road, which is accessed off of Wilkinson Street in the Capri Landmark Urban Centre. Official Community Plan designations of S2RES and PARK exists in the immediate neighbourhood. The subject parcel is located walking distance to two different bus routes, one located on Sutherland Avenue (400 m), the second on Springfield Avenue (200 m).

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU2	Single Family Dwelling
East	RU6	Two Dwelling Housing
South	RU2	Single Family Dwelling
West	RU1	Single Family Dwelling

Neighbourhood Map: 2005 Lindahl Street

Subject Property Map: 2005 Lindahl Street

4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	**RU6 ZONE REQUIREMENTS**	**EXISTING CONDITIONS**
Existing Lot/Subdivision Regulations for Two Dwelling Housing		
Lot Area	800 m2	1,416 m2
Lot Width	18.0 m	30.0 m
Lot Depth	30.0 m	35.0 m
Development Regulations		
Max Site Coverage	40%	21.7%
Max Site Coverage incl. driveways & parking areas	50%	32.0%
Max Height	9.5 m / 2.5 storey	2 storey
Min Front Yard	4.5 m and 6.0 to garage	24.3 m
Min Side Yard (south)	2.0 m / 2.3 m	3.45 m
Min Side Yard (north)	2.0 m / 2.3 m (one side yard must be 3.0 m)	27.68 m
Min Rear Yard	7.5 m	3.0 m ❶
Other Regulations		
Min Parking Requirements	2 per dwelling (4)	Adequate Space for 4
Min Private Open Space	30 m2 per dwelling (60 m2)	Adequate space for 30 m2
Min distance between Two Single Detached Dwellings	4.5 m	7.24 m
❶ Variance to reduce the rear yard setback		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Development Process

Future Land Use Single / Two Unit Residential (S2RES) [1] Single detached homes for occupancy by one family, single detached homes with a secondary suite or carriage house, semi-detached buildings used for two dwelling units. The RU6 zone is the highest density form of residential permitted within the S2RES designation.

Compact Urban Form[2] Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

The subject parcel is located near BC Transit bus stops, and commercial businesses as noted in this report.

6.0 Technical Comments

None

7.0 Application Chronology

Date of Application Received:	April 24th, 2018
Date Public Consultation Completed:	May 22nd, 2018
Date First Reading:	August 13th, 2018
Date Public Hearing:	August 28th, 2018

Report prepared by:	Adam Cseke, Planner Specialist
Reviewed by:	Terry Barton, Urban Planning Manager
Approved for Inclusion:	Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development Variance Permit DVP18-0154

Draft Development Variance Permit

This permit relates to land in the City of Kelowna municipally known as

2005 Lindahl Street

and legally known as

Lot 4, Section 19, Township 26, ODYD, Plan 19208

and permits the land to be used for the following development: Multi-Family Housing and Commercial

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted as described in Schedule 'A' and according to the following:

Section 13.6.6 (h): [RU6 – Two Dwelling Housing Development Regulations]

To vary the required minimum rear yard setback from 7.5 m permitted to 3.0 m proposed.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision:

Decision By: CITY COUNCIL

Issued Date:

Development Permit Area: Comprehensive

Existing Zone: RU6 – Two Dwelling Housing
Future Land Use Designation: S2RES – Single / Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Nicholas and Cheryl Kirschner

Applicant: Urban Options Planning and Permits

_____

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "A";

c) Landscaping to be provided on the land be in accordance with Schedule "A"; and

This Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

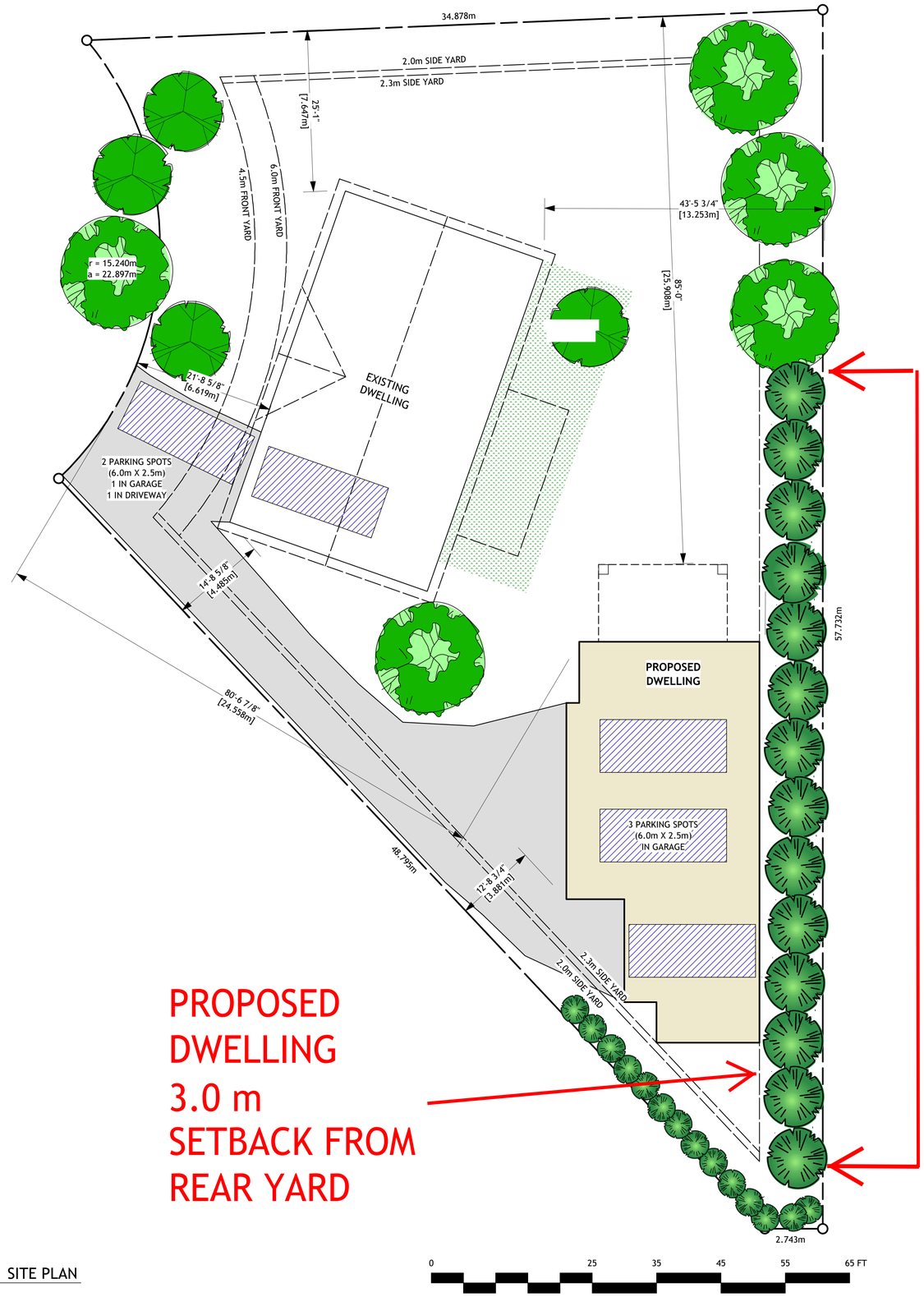
a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>.
Security shall <u>ONLY</u> be returned to the signatory of the
Landscape Agreement or their designates.

PROJECT DATA: CIVIC ADDRESS 2005 LINDAHL STREET
KELOWNA, BC V1Y 3Z7
LEGAL ADDRESS LOT 4 PLAN KAP19208
CURRENT ZONING RU2 MEDIUM LOT HOUSING

	PERMITTED	PROPOSED
SITE AREA	700.00m2	1395.46m2
EXISTING DWELLING FOOTPRINT AT GRADE		164.56m2
EXISTING DWELLING COVERED PATIO		19.51m2
PROPOSED DWELLING FOOTPRINT AT GRADE		118.92m2
PROPOSED DRIVEWAY & WALKWAY AREA		143.70m2
SITE COVERAGE	40.0%	21.7%
SITE COVERAGE W/ DRIVEWAY	50.0%	32.0%
DISTANCE BETWEEN BUILDINGS	4.500m	7.236m
FRONT (WEST) YARD SETBACK (GARAGE TO P.L.)	6.000m	24.333m
REAR (EAST) YARD SETBACK	3.000m	3.000m
SIDE (NORTH) YARD SETBACK	2.300m	27.684m
SIDE (SOUTH) YARD SETBACK	2.300m	3.448m



SCHEDULE A
This forms part of application
DVP18-0154
Planner Initials AC
City of Kelowna COMMUNITY PLANNING

REQUIRED LANDSCAPE BUFFER. PLANT MATERIAL TO BE MINIMUM 3.0 M MATURE HEIGHT. TO BE PLANTED CONTIGUOUSLY.

PROPOSED DWELLING 3.0 m SETBACK FROM REAR YARD

1 SITE PLAN

IHS DESIGN
1392 MINE HILL DRIVE
KELOWNA, BC V1P 1S5
www.ihsdesign.com
(250) 212-7938

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF IHS DESIGN AND MAY NOT BE REPRODUCED OR USED WITHOUT EXPRESSED WRITTEN PERMISSION FROM THE SAME.

PROJECT NORTH

REVISION	DATE	DISCRIPTION

PROJECT
RU6 DEVELOPMENT
2005 LINDAHL STREET
KELOWNA, BC V1Y 3Z7
LOT 4 PLAN KAP19208

DRAWING TITLE
SITE PLAN

DATE
MARCH 15, 2018

DRAWING NUMBER
1 of 1

SCHEDULE A

This forms part of application

DVP18-0154

Planner Initials AC

City of Kelowna
COMMUNITY PLANNING

2005 LINDAHL STREET, KELOWNA, BC

CONCEPTUAL DESIGN

RENDERINGS

IHS DESIGN
1392 MINE HILL DRIVE
KELOWNA, BC V1P 1S5
(250) 212-7938
www.ihsdesign.com

OCTOBER 17, 2018

SCALE : 1/8" = 1'-0"

SCHEDULE A

This forms part of application

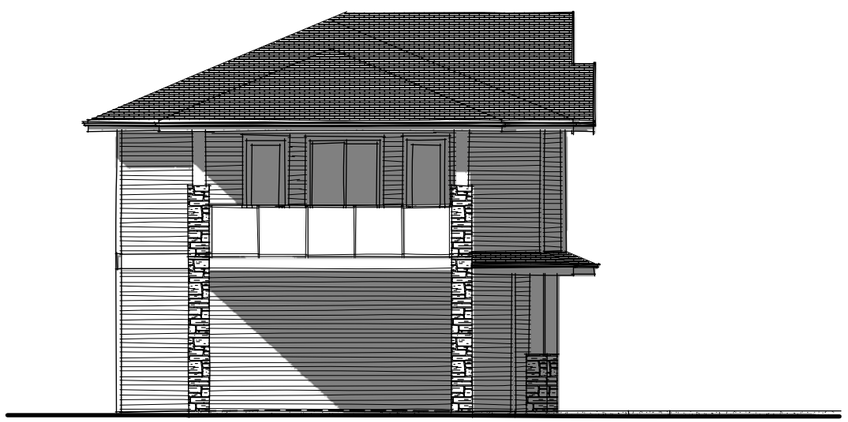
DVP18-0154

Planner Initials AC

City of Kelowna
COMMUNITY PLANNING

SOUTH ELEVATION

WEST ELEVATION



NORTH ELEVATION

EAST ELEVATION

REAR ELEVATION WITH MINIMAL WINDOWS

2005 LINDAHL STREET, KELOWNA, BC

CONCEPTUAL DESIGN

ELEVATIONS

IHS DESIGN
1392 MINE HILL DRIVE
KELOWNA, BC V1P 1S5
(250) 212-7938
www.ihsdesign.com

OCTOBER 17, 2018

SCALE : 1/8" = 1'-0"

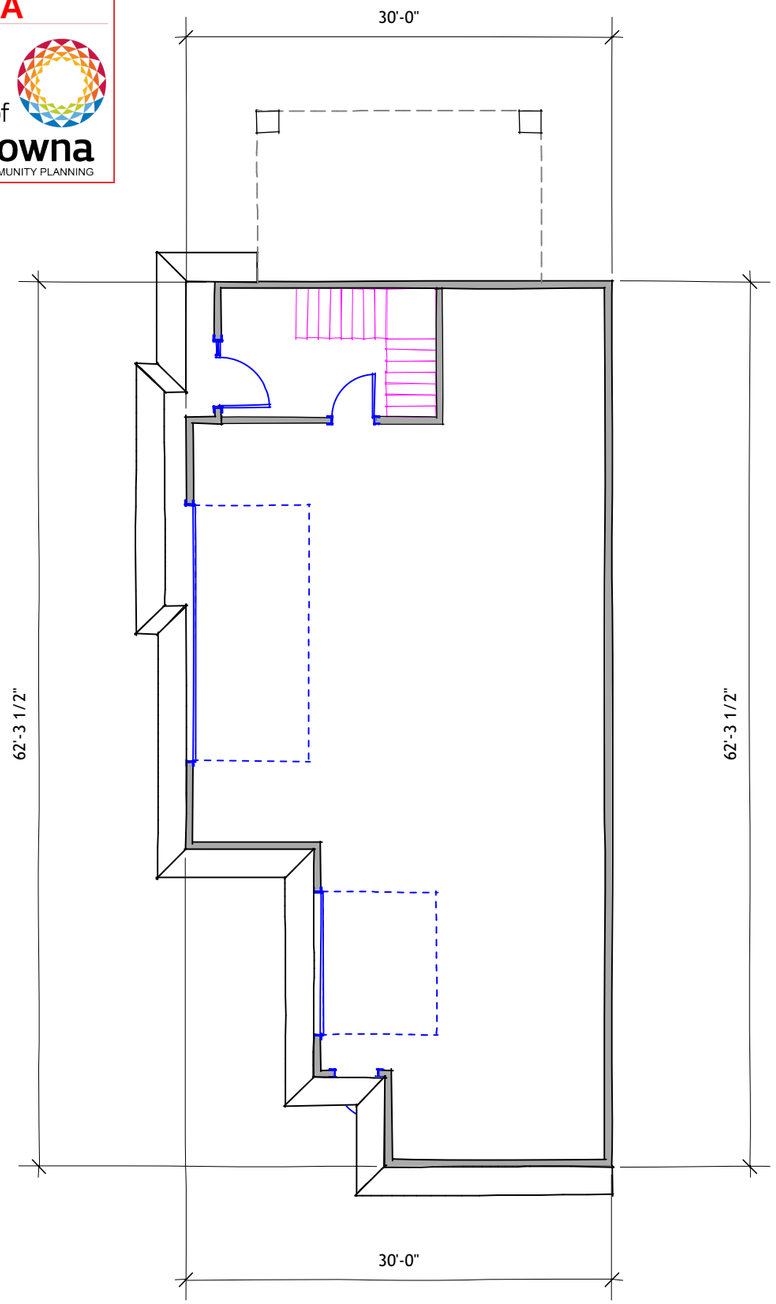
SCHEDULE **A**

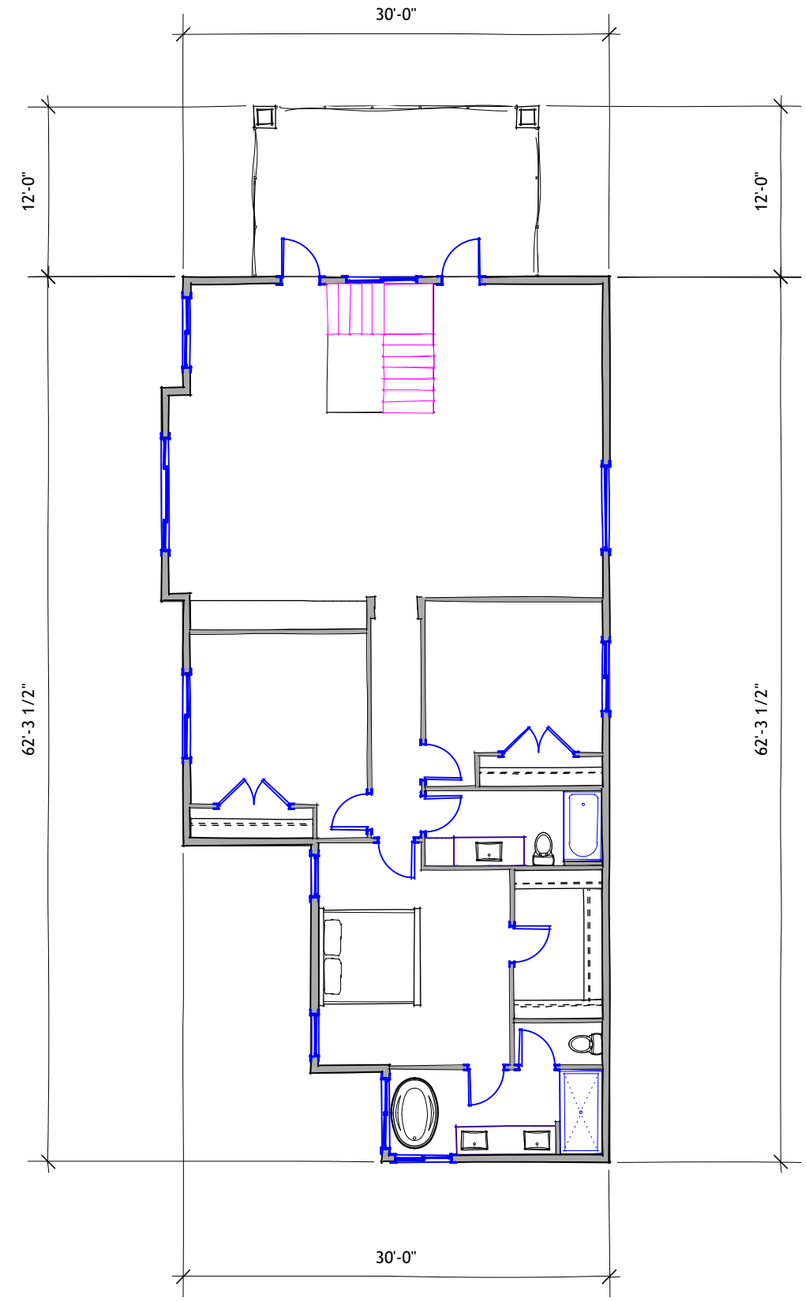
This forms part of application

DVP18-0154

City of Kelowna
COMMUNITY PLANNING

Planner Initials AC





2005 LINDAHL STREET, KELOWNA, BC

CONCEPTUAL DESIGN

FLOOR PLANS

IHS DESIGN
1392 MINE HILL DRIVE
KELOWNA, BC V1P 1S5
(250) 212-7938
www.ihsdesign.com

OCTOBER 17, 2018

SCALE : 1/8" = 1'-0"

REPORT TO COUNCIL

Date:	June 4, 2019		
RIM No.	0940-00		
To:	City Manager		
From:	Community Planning Department (AJ)		
Application:	DVP19-0025	**Owner:**	Gary William Carpendale, Ruth Anne Carpendale, Riley Tyler Darke & Casey Taylor Darke
Address:	2331 Aberdeen Street	**Applicant:**	Gary Carpendale
Subject:	Development Variance Permit Application		
Existing OCP Designation:	SIH – Sensitive Infill Housing		
Existing Zone:	RU7 – Infill Housing		

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP19-0025 for Lot 1, District Lot 136, ODYD, Plan 9138, located at 2331 Aberdeen Street, Kelowna, BC;

AND THAT variances to the following section of the Zoning Bylaw No. 8000 be granted:

> **Section 6.5.3 (a): General Development Regulations - Accessory Buildings in Residential Zones**
> To vary the maximum site coverage for accessory buildings from 90m² permitted to 97.2m² proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the maximum site coverage for accessory buildings from 90m2 to 97.2m2 on the subject property.

3.0 Community Planning

The applicant is seeking a variance to increase the size of the garage from 90.0m² permitted to 97.2m² proposed. The variance will allow for the accommodation of four full sized vehicle stalls separated by walls. The intention of the variance request is to provide increased garage functionality and security. The requested variance has minimal impact on the private open space of this development as each unit has a private rear yard area in the eastern portion of the property. Community Planning Staff are supportive of the variance request.

4.0 Proposal

4.1 Background

The subject property is zoned RU7 and is located on the corner of Aberdeen Street and Grenfell Avenue. A single family dwelling previously on the property has been demolished.

4.2 Project Description

The applicant is seeking to densify the subject property with a four-unit infill development. To accommodate the four-unit housing project, driveway access from Aberdeen Street is proposed to be removed, and all parking is to be accessed from the rear laneway. Other than the variance being considered in this report, the proposal is compliant with Zoning Bylaw No. 8000 and meets other regulations for sensitive infill development.

4.3 Variance

4.4 Site Context

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6	Single Dwelling Housing
East	RU7	Four Dwelling Housing
South	RU7	Single Dwelling Housing
West	P3	Public Parks

Subject Property Map: 2331 Aberdeen Street

4.5 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	**RU7 ZONE REQUIREMENTS**	**PROPOSAL**
Development Regulations		
Floor Area Ratio	0.8	0.8
Height	8.0m	7.65m
Front Yard	4.0m	4.0m
Side Yard (east)	2.0m	3.15m
Side Yard (west)	3.0m	3.0m
Rear Yard	0.9m	2.2m
Other Regulations		
Minimum Parking Requirements	4 medium stalls	4 full sized stalls

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Development Process

Compact Urban Form.[1] Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Sensitive Infill.[2] Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character or the neighbourhood with respect to building design, height, and siting.

6.0 Technical Comments

6.1 Building & Permitting Department

- The site servicing and offsite requirements have been identified in DP19-0024.
- The variance on the site coverage of the proposed accessory building does not conflict with any existing City infrastructure or easements.

7.0 Application Chronology

Date of Application Received: January 14, 2019
Date Public Consultation Completed: February 11, 2019

Report prepared by: Arlene Janousek, Planner
Approved for Inclusion: Terry Barton, Urban Planning Manager

Attachments:

Draft Development Variance Permit DVP19-0025
Schedule A: Site Plan

[1] City of Kelowna Official Community Plan, Policy 5.2.3 (Chapter 5).
[2] City of Kelowna Official Community Plan, Policy 5.22.6 (Chapter 5).

Development Variance Permit
DVP19-0025

This permit relates to land in the City of Kelowna municipally known as

2331 Aberdeen Street, Kelowna, BC

and legally known as

Lot 1, District Lot 136, ODYD, Plan 9138

and permits the land to be used for the following development:

RU7 – Infill Housing

with a variance to the following section of Zoning Bylaw No. 8000 in general accordance with Schedule "A":

> **Section 6.5.3 (a): General Development Regulations – Accessory Buildings in Residential Zones**
> To vary the maximum site coverage for accessory buildings from 90m² permitted to 97.2m² proposed.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision:

Decision By: Council

This permit will not be valid if development has not commenced within two years of the issuance date.

Existing Zone: RU7 Future Land Use Designation: SIH

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owners: Gary William Carpendale, Ruth Anne Carpendale, Riley Tyler Darke & Casey Taylor Darke

Applicant: Gary Carpendale

_____ _____

Terry Barton
Urban Planning Manager

Date

DRAFT

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A".

This Development Permit is valid for two (2) years **from the date of Council approval**, with no opportunity to extend.

5. INDEMNIFICATION

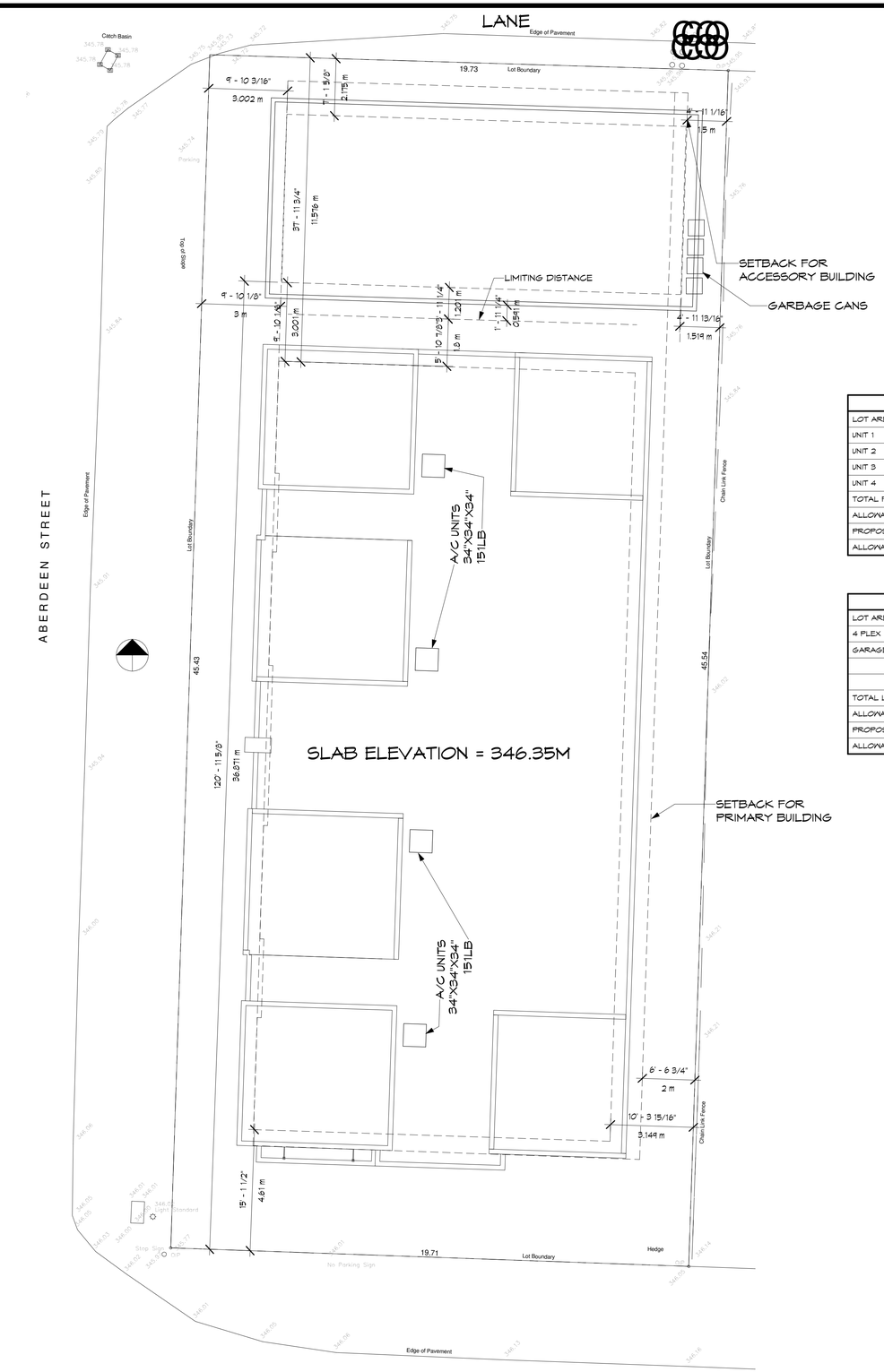
Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the Landscape Agreement or their designates.

DRAFT



1 Site
1/8" = 1'-0"

FLOOR AREA RATIO		
LOT AREA	9671.42 SF	898.504 SM
UNIT 1	1922 SF	178.56 SM
UNIT 2	1920 SF	178.374 SM
UNIT 3	1920 SF	178.374 SM
UNIT 4	1922 SF	178.56 SM
TOTAL FLOOR AREA	7684 SF	713.87 SM
ALLOWABLE FLOOR AREA	7737.14 SF	7.188 SM
PROPOSED FLOOR AREA RATIO	0.795	
ALLOWABLE FLOOR AREA RATIO	0.8	

LOT COVERAGE		
LOT AREA	9671.42 SF	898.504 SM
4 PLEX	4252.17 SF	395.04 SM
GARAGE	1047 SF	97.264 SM
	0 SF	0 SM
	0 SF	0 SM
TOTAL LOT COVERAGE	5299.17 SF	492.31 SM
ALLOWABLE LOT COVERAGE	5319.28 SF	494.177 SM
PROPOSED LOT COVERAGE	54.79%	
ALLOWABLE LOT COVERAGE	55 %	

Variance to accessory building site coverage from 90m² to 97.2m²

SCHEDULE A

This forms part of application # DVP19-0025

Planner Initials AJ

City of Kelowna
COMMUNITY PLANNING

ISSUED FOR CONSTRUCTION

HARMONY HOMES

PHONE: (250)765-5191
#201 - 833 FINNS ROAD, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
2331 Aberdeen
KELOWNA, B.C.

DRAWING SCALE: 1/8" = 1'-0"

DATE: NOVEMBER 13, 2018

REV. DATE:MAR 25, 2019

DRN. BY:J.A.S.

8

AWARD WINNING BUILDER

REPORT TO COUNCIL

Date:	June 4th 2019		
RIM No.	0940-50		
To:	City Manager		
From:	Community Planning Department (AK)		
Application:	DVP19-0080	**Owner:**	Michael Neid
Address:	3060 Pooley Rd	**Applicant:**	City of Kelowna
Subject:	Development Variance Permit		
Existing OCP Designation:	REP – Resource Protection Area		
Existing Zone:	A1 – Agriculture 1		

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP19-0080 for Lot 2 Section 15, Township 26 ODYD Plan 6585, located at 3060 Pooley Rd, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 11.1.5(b): A1 – Agriculture 1 Subdivision Regulations

To reduce the minimum lot area from 4.0 ha required to 0.6 ha proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider a Development Variance Permit application to vary Zoning Bylaw No. 8000 to reduce the minimum lot size from 4.0 ha to 0.6 ha to subdivide the subject lot for the purpose of creating a new lot for a water reservoir and pump station.

3.0 Community Planning

Staff support the request for a Development Variance Permit as it is meant to create a new lot in order to facilitate a water reservoir and pump station facility. This proposal is part of the City's Integrated Water Supply Plan. City policies generally protect agricultural land and only support non-farm uses and subdivision on agricultural land where a benefit to agriculture can be demonstrated. The project as a whole benefits agricultural interests by separating agricultural and domestic water infrastructure in South East Kelowna.

The Agricultural Land Use Inventory identifies the portion of the property proposed to be subdivided for the reservoir as having limited potential for farming due to site limitations. Specifically, the site has steep slopes and part of the area was previously used for gravel extraction. The reservoir is not expected to negatively impact adjacent farm operations, including those on the subject property. The site will be used as a water reservoir and pump station in the long term and the proposed 0.6 ha lot includes sufficient space for the reservoir, parking and access without impacting any land that is currently being farmed.

4.0 Proposal

4.1 Background

In 2018 Council supported a non-farm use and subdivision application (A17-0011) for the proposed water reservoir and pump house, the applications were sent to the Agricultural Land Commission (ALC) for consideration. The ALC also supported the non-farm use and subdivision applications. During the non-farm process it was noted that 'utility services, minor impact' is a permitted use in the A1 zone but that once the final design is determined, a Development Variance Permit may be required to address non-compliant development regulations.

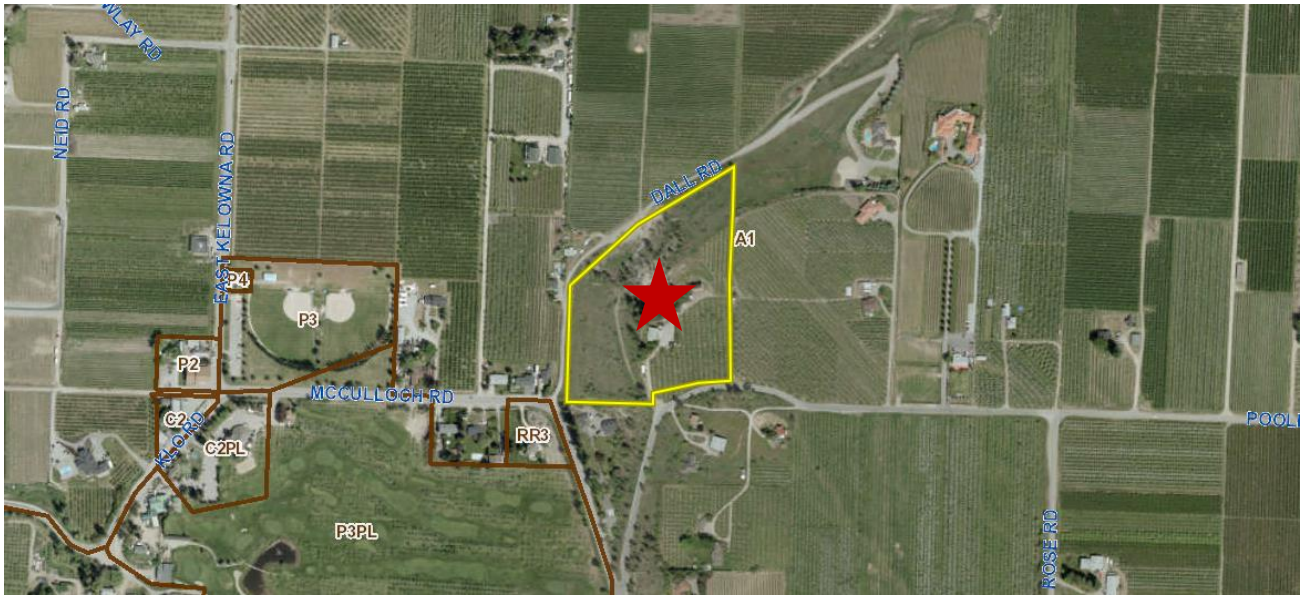
4.2 Project Description

The subject lot is a 4.4 ha agricultural parcel. The property is zoned A1 – Agriculture 1. The subdivision regulations of the Zoning Bylaw for the A1 zone require a minimum lot size of 4.0 ha. The proposed utility lot is 0.6 ha. A Development Variance Permit is required to be approved by Council prior to final subdivision approval. If approved the remaining agricultural lot will have an area of approximately 3.8 ha; a Development Variance Permit is not required for this portion of the subdivision as Section 1.8 of the Zoning Bylaw Zoning Bylaw states: *Where a lot is reduced in size as a result of a taking for public use by the City…the lot and buildings and structures thereon are deemed to conform with the provisions of this Bylaw and the lot shall be considered to exist as it did prior to the taking.*

4.3 Site Context

The subject property is located at 3060 Pooley Rd and is within the Southeast Kelowna City Sector. The area is characterized primarily by other agricultural properties. The subject property is adjacent to Dall Rd and Pooley Rd. Adjacent parcels are zoned A1 and designated REP – Resource Protection Area.

Subject Property Map: 3060 Pooley Rd



5.0 Current Development Policies

Kelowna Official Community Plan (OCP)

Chapter 4: Future Land Use

Resource Protection Area[1]

Generally, land areas within this designation (whether they are within the permanent growth boundary or not) will not be supported for exclusion from the ALR or for more intensive development than that allowed under current zoning regulations, except in specific circumstances where the City of Kelowna will allow exceptions to satisfy civic objectives for the provision of park/recreation uses.

Chapter 5: Development Process

Objective 5.33 Protect and enhance local agriculture[2].

Policy .1 Protect Agricultural Land. Retain the agricultural land base by supporting the ALR and by protecting agricultural lands from development, except as otherwise noted in the City of Kelowna Agricultural Plan. Ensure that the primary use of agricultural land is agriculture, regardless of parcel size.

Policy .3 Urban Uses. Direct urban uses to lands within the urban portion of the Permanent Growth Boundary, in the interest of reducing development and speculative pressure on agricultural lands.

Policy .7 Subdivision. Maximize potential for the use of farmland by not allowing the subdivision of agricultural land into smaller parcels (with the exception of Homesite Severances approved by the ALC) except where significant positive benefits to agriculture can be demonstrated.

Chapter 7: Infrastructure

Objective 7.20 Ensure an adequate supply of high quality water.[3]

Policy .1 Water Availability for Agriculture. Work with stakeholders to ensure the continued delivery of sufficient quantities of water as per best practices for water conservation to ensure continued agricultural productivity.

6.0 Application Chronology

Date of Application Received:	February 26, 2019
Date Public Consultation Completed:	April 9, 2019

Report prepared by: Alex Kondor, Planning Specialist

Reviewed by: Laura Bentley, Community Planning Supervisor

Attachments:

Schedule A: Subdivision Plan
Attachment A: Draft Development Variance Permit

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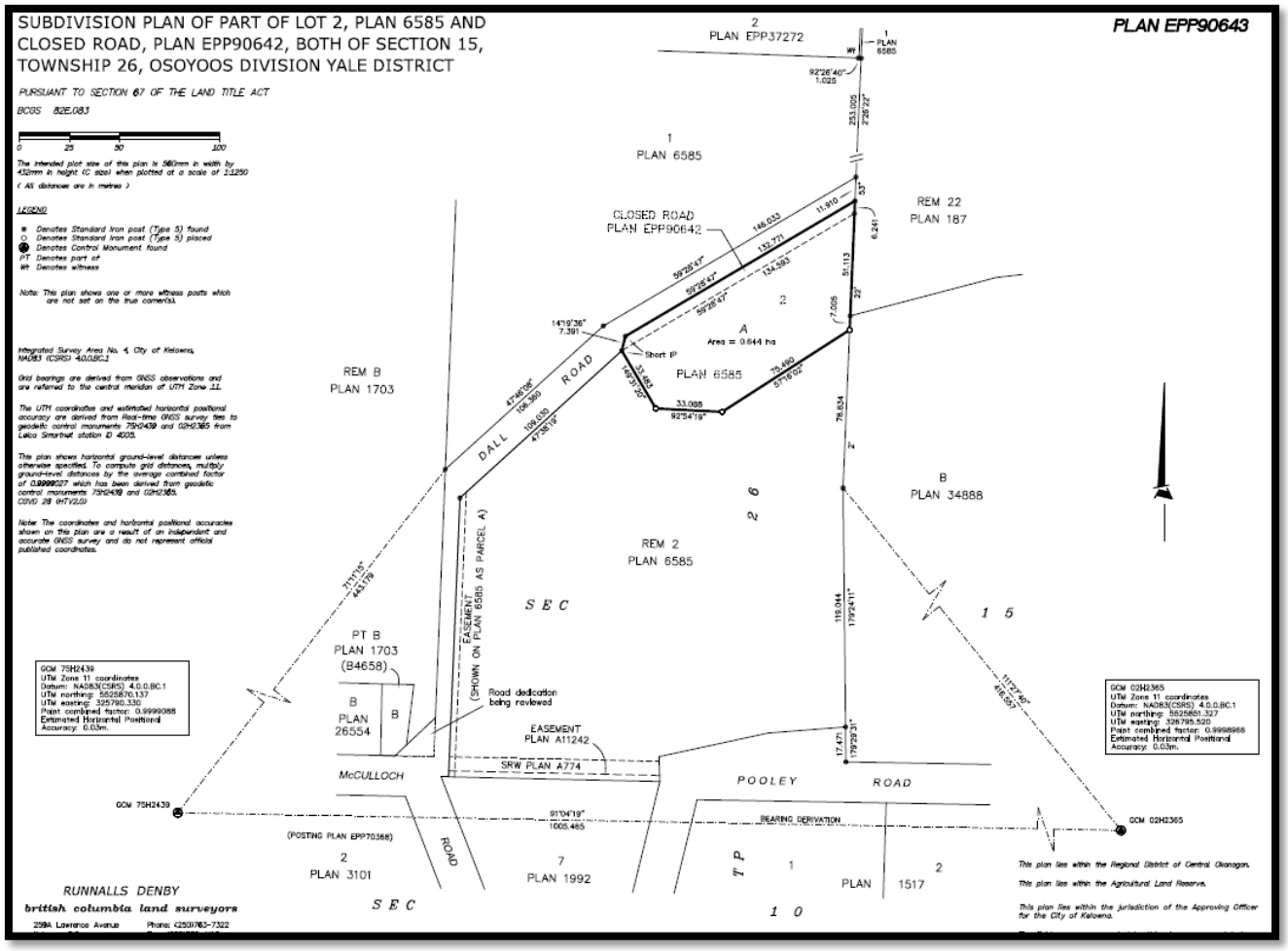
[1] City of Kelowna 2030 Official Community Plan. Future Land Use Chapter. P. 4.2.
[2] City of Kelowna 2030 Official Community Plan: Development Process Chapter. P. 5.35.
[3] City of Kelowna 2030 Official Community Plan: Infrastructure Chapter. P. 7.12.

Schedule A – Proposed Subdivision Plan



Development Variance Permit
DVP19-0080

This permit relates to land in the City of Kelowna municipally known as

3060 Pooley Road

and legally known as

Lot 2 Section 15, Township 26 ODYD Plan 6585

and permits the land to be used for the following development:

To vary Zoning Bylaw No. 8000 Section 11.1.5(b) to reduce the minimum lot area from 4.0 ha to 0.6 ha

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision	June 4th 2018
Decision By:	COUNCIL
Development Permit Area:	N/A

This permit will not be valid if development has not commenced by June 4th 2021.

Existing Zone: A1 Future Land Use Designation: REP

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Michael Neid

Applicant: City of Kelowna

_____ _____

Ryan Smith
Divisional Director
Community Planning & Development

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) The dimensions of the proposed lot shall be in accordance with Schedule "A";

This Development Variance Permit is valid for two (2) years **from the date of Council approval**, with no opportunity to extend.

3. INDEMNIFICATION

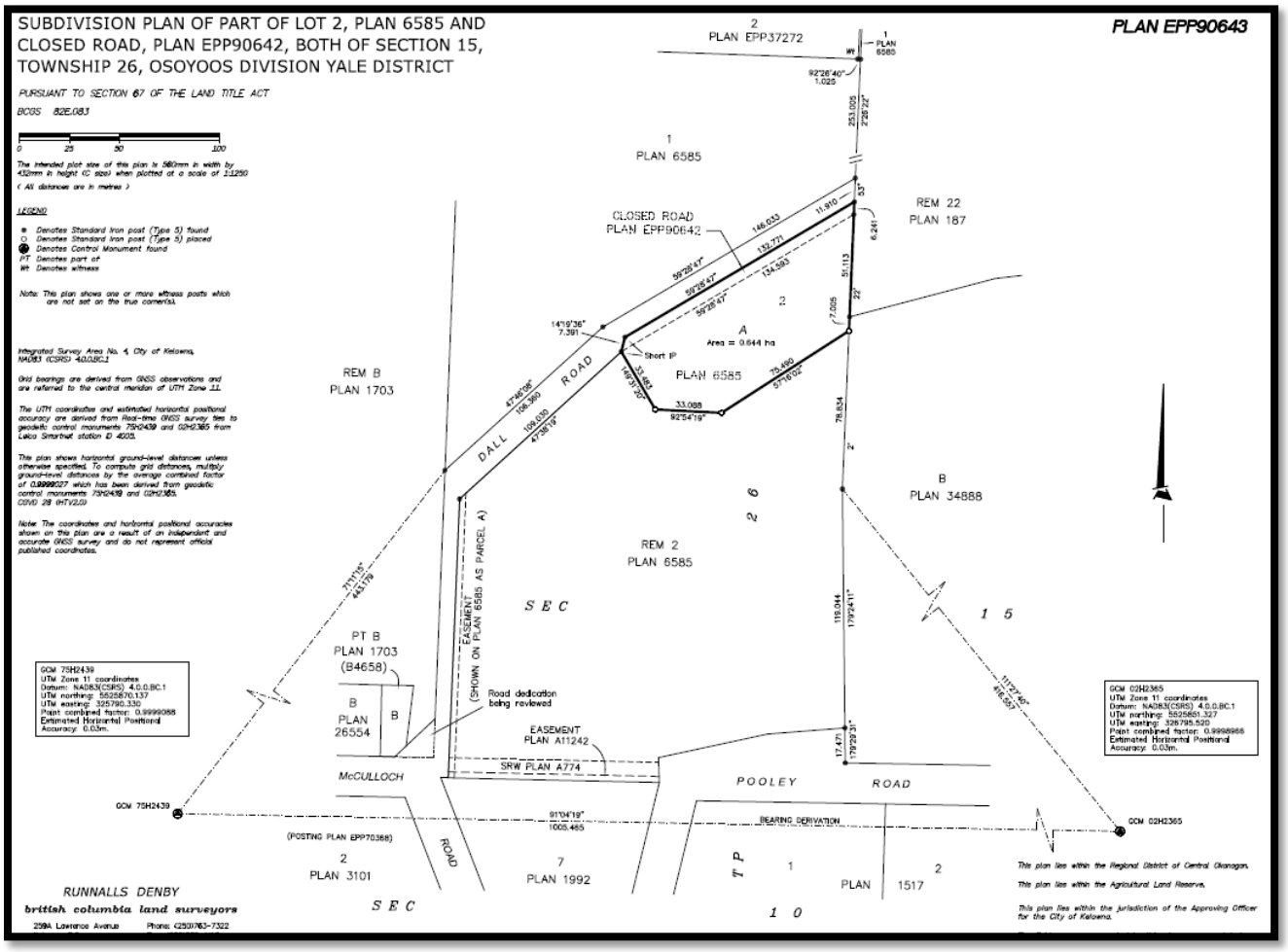
Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the Landscape Agreement or their designates.

Schedule "A" – Proposed Subdivision



REPORT TO COUNCIL

Date:	May 7th 2019		
RIM No.	0940-50		
To:	City Manager		
From:	Community Planning Department (AC)		
Application:	DVP19-0086	**Owner:**	Midwest Ventures Ltd., Inc. No. BC0046021
Address:	5505-5507 Airport Way	**Applicant:**	Argus Properties – Darren Schlamp
Subject:	Development Variance Permit		
Existing Zone:	CD15 – Airport Business Park		
Existing OCP Designation:	COMM - Commercial		

1.0 Recommendation

THAT Council NOT authorize the issuance of Development Variance Permit DVP19-0086 for Lot A, Section 14, Township 23, ODYD, Plan EPP23036, located at 5505-5507 Airport Way, Kelowna, BC;

2.0 Purpose

To consider a Staff recommendation to NOT issue a Development Variance Permit to vary the prohibition on off-site signs.

3.0 Community Planning

The application is to have the commercial tenant located at 1708 Innovation Drive advertise on a pylon sign at a separate location at 5505-5507 Airport Way. The Sign Bylaw references this type of signage as 'third party' and prohibits such signage in order to establish a level regulatory playing field across the municipality; reduce wayfinding confusion, minimize the amount and proliferation of signage and overall establish a positive visual aesthetic within the City. The concern from the commercial tenant at 1708 Innovation Drive is the limited visibility from the highway and is why they did not want to only advertise on the subject property's pylon sign.

Staff do not support advertising on off-site locations. Staff are recommending the off-site sign regulations be enforced and protected especially along the highway corridor in order to not set any precedent for third-party advertising.

Sign Location Map

Subject Property Map: 5505-5507 Airport Way

4.0 Current Development Policies

4.1 Kelowna Official Community Plan (OCP)

Chapter 14 Urban Design Guidelines - Signs:
[1] Integrate signage that contributes to the overall quality and unique character of a development (e.g. coordinate proportion, materials, and colour);
[2] Do not compromise the scale and visual qualities of a building with the size and number of signs;
[3] Locate, size, and format signs such that they can be easily read by pedestrians.
[4] Where signage is proposed for buildings with historical character or heritage significance (i.e. Listed on the Heritage Register, with Heritage Designation and/or located in the Abbott Street and Marshall Street Heritage Conservation Areas) that signage should use design inspiration from historical influences (e.g. non-illuminated and non-animated.)

5.0 Technical Comments

None

6.0 Application Chronology

Date of Application Received: April 5th 2019
Date Public Consultation Completed: April 18th 2019

7.0 Alternate Recommendation

THAT Council authorize the issuance of Development Variance Permit DVP19-0086 for Lot A, Section 14, Township 23, ODYD, Plan EPP23036, located at 5505-5507 Airport Way, Kelowna, BC;

AND THAT the variances to the following sections of Sign Bylaw No. 11530 be granted, as shown on Schedule "A":

> **Section 2.3.2 Prohibitions**
> To vary the prohibitions for off-site signs to allow a tenant from 1708 – 1720 Innovation Drive to locate a sign on a communal pylon sign located on 5505-5507 Airport Way.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend

Report prepared by: Adam Cseke, Planner Specialist
Reviewed by: Terry Barton, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Applicant Rationale
Draft Development Variance Permit

[1] City of Kelowna Official Community Plan, Policy 14.17.1 (Chapter 14 Urban Design Guidelines).
[2] City of Kelowna Official Community Plan, Policy 14.17.2 (Chapter 14 Urban Design Guidelines).
[3] City of Kelowna Official Community Plan, Policy 14.17.3 (Chapter 14 Urban Design Guidelines).
[4] City of Kelowna Official Community Plan, Policy 14.17.4 (Chapter 14 Urban Design Guidelines).

March 29, 2019

City of Kelowna
1435 Water Street
Kelowna, BC V1Y 1J4

Attention: Ryan Smith, Department Manager, Community Planning

Dear Mr. Smith

RE: Development Variance Permit Application – 5505-5507 Airport Way

Please find attached an application for a Development Variance Permit (DVP) to vary the Sign Bylaw No. 11530 to allow the display of signs from a separate parcel.

The property located at 5505-5507 Airport Way has an existing freestanding (pylon) sign near the intersection of Airport Way and Highway 97, in the northeast corner of the property. Paragraph 2.3.2 of Sign Bylaw No. 11530 reads as follows:

> *No off-site signs are permitted except for directional signs and agricultural product signs, real estate signs, and project signs, in conformance with the provisions of this Bylaw.*

This application requests a variance to paragraph 2.3.2 of the Sign Bylaw, to allow tenant signs from 1708 Innovation Drive to be displayed on the existing freestanding sign at 5505-5507 Airport Way.

Information on the Development Variance Permit application is provided below, including a project rationale.

1. Development Variance Permit Application

In accordance with the Development Application Procedures Bylaw No. 10540, the following items are provided for the DVP application (numbering as per the bylaw):

a) Application Form
b) State of Title Certificate
c) Owner's Authorization form
d) Site Profile
e) Zoning Analysis Table

f) Project Rationale (below)
g) Photographs
i) Site Plan
k) Elevation Drawings (*no change to existing sign*)

2. Neighbourhood Context

In order to ensure the industrial nature of the Airport Business Park, the area allowed for CD15 Commercial use was limited to the parcels on Airport Way.

In accordance with the City's expectations, commercial development in the area has been limited to tourist commercial in support of the Kelowna International Airport, and neighbourhood commercial which primarily serves Quail Ridge, industrial park employees, UBCO, and airport employees. The retail businesses located in the Airport Business Park do not draw customers from the inner city, as they either have alternative locations within the inner City areas, or numerous competitors within existing urban centres.

All other CD15 Commercial lands have frontage on Highway 97, with freestanding signs on Highway 97 and Airport Way. The Dairy Queen and Tim Hortons quick service restaurants with drive-thrus at 1730-1756 Airport Way are featured on both of the freestanding (pylon) signs on the property.

3. Project Rationale

Argus Properties Ltd. and affiliated companies have owned the multiple parcels located between Airport Way and Fleet Court in Airport Business Park for over a decade. Over this time, Argus has continuously planned these parcels as a single site, and has managed the development and servicing of these lands in this manner.

The existing freestanding (pylon) sign at 5505-5507 Airport Way is located at the intersection of Airport Way and Highway 97, as shown in the attached site plan and elevation drawing. An elevation drawing is also attached for a proposed sign at 1708 Innovation Drive, with a consistent design to match the sign at 5505-5507 Airport Way. In addition to the signs, other shared design details between 5505-5507 Airport Way and 1708 include the building colour palettes and other finishes.

The original uses contemplated for the CD15 commercial zone included uses such as a gas bar, drive-thru restaurants, and retail. The limited visibility from the highway has been consistently raised by various nationally branded retail tenants, who have highlighted the competitive disadvantage that they would face at 1708 Innovation Drive compared to other commercially zoned lands in the area. It is worth noting that 1708 Innovation Drive has remained unleased and undeveloped until 2019, even though commercial zoning was in place since ~2007. In comparison, the commercial lands with highway frontage on the north side of Airport Way were developed and leased immediately after rezoning took place in 2015. Visibility continues to be a major factor in business decisions for the type of retail tenants who operate in car dependent areas such as Airport Business Park.

In order to overcome these tenant concerns, Argus proposes that tenant signage from 1708 Innovation Drive be permitted on the existing pylon sign at 5505-5507 Airport Way.

This variance will not increase the number of signs or sign area on either property beyond that allowed under sign bylaws in place at the time of sign permit application. Instead, any freestanding sign area which is reallocated to tenants of 1708 Innovation Drive will be unavailable to existing or future tenants of 5505-5507 Airport Way. As such, there is no net negative visual impact upon the neighbourhood's presence as a gateway to the city, which we understand is a concern of City staff.

Due to the consistent design approach and visual identity of the signs and buildings across the two parcels, we do not foresee this variance leading to any significant confusion for customers. The smaller sign on 1708 Innovation Drive will be become visible as potential customers head west on Airport Way, and will direct them to the correct property which contains the business they seek.

4. Conclusion

We trust that the above information clearly outlines the intent Thank you for your consideration in reviewing the attached application. Should you have any questions or require additional information, please do not hesitate to contact the undersigned.

Yours truly,

ARGUS PROPERTIES LTD.

Darren Schlamp
Development Manager

DKS/

Draft Development Variance Permit

This permit relates to land in the City of Kelowna municipally known as

5505-5507 Airport Way

and legally known as

Lot A, Section 14, Township 23, ODYD, Plan KAP823036

AND THAT the variances to the following sections of Sign Bylaw No. 11530 be granted, as shown on Schedule "A":

Section 2.3.2 Prohibitions

To vary the prohibitions for off-site signs to allow a tenant from 1708 – 1720 Innovation Drive to locate a sign on a communal pylon sign located on 5505-5507 Airport Way.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision:	
Decision By:	CITY COUNCIL
Issued Date:	
Development Permit Area:	n/a
Existing Zone:	CD15 – Aiport Business Park
Future Land Use Designation:	Industrial

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Nicholas and Cheryl Kirschner

Applicant: Urban Options Planning and Permits

_____

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "A";

c) Landscaping to be provided on the land be in accordance with Schedule "A"; and

This Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>.
Security shall <u>ONLY</u> be returned to the signatory of the
Landscape Agreement or their designates.

ARGUS PROPERTIES LTD.

Site Plan
5505-5507 Airport Way
Development Variance Permit Application
March 28, 2019

0 10 20 30 40 50 m

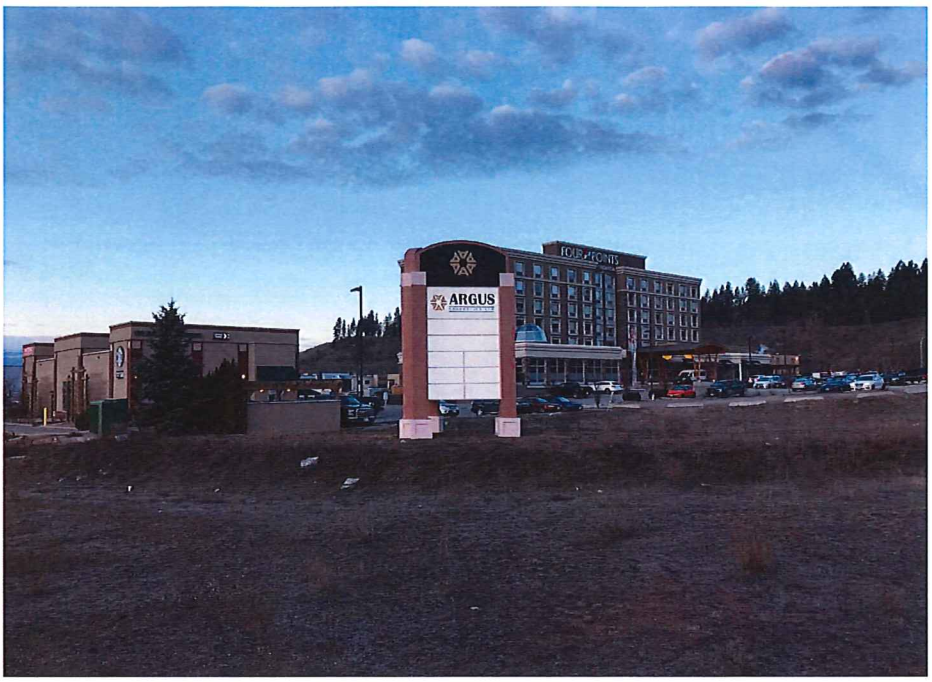
1:1500

SCHEDULE A
This forms part of application
DVP19-0086

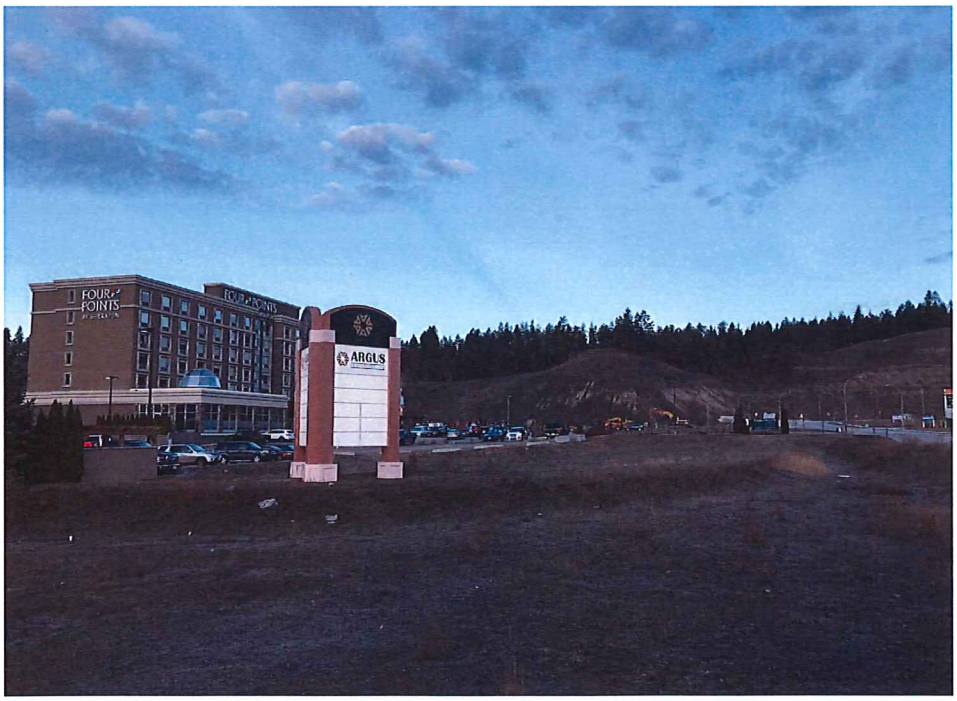
City of Kelowna
COMMUNITY PLANNING

Planner Initials AC

Site Photographs – 5505 – 5507 Airport Way – Development Variance Permit Application, March 2019



View of existing freestanding (pylon) sign at 5505-5507 Airport Way from intersection of Airport Way and Highway 97, facing southwest



View of existing freestanding (pylon) sign at 5505-5507 Airport Way from intersection of Airport Way and Highway 97, facing west

SCHEDULE A

This forms part of application

DVP19-0086

City of Kelowna
COMMUNITY PLANNING

Planner Initials AC

SCHEDULE A

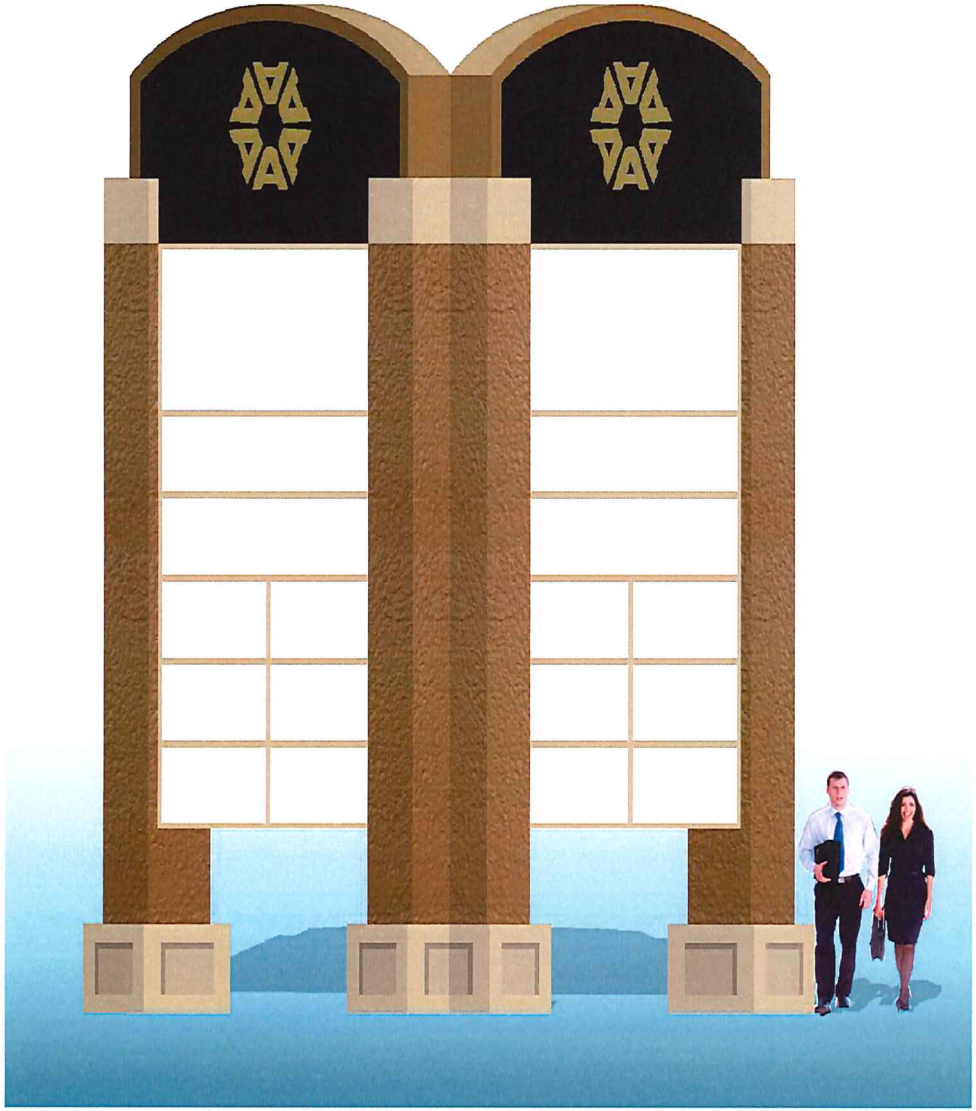
This forms part of application

DVP19-0086

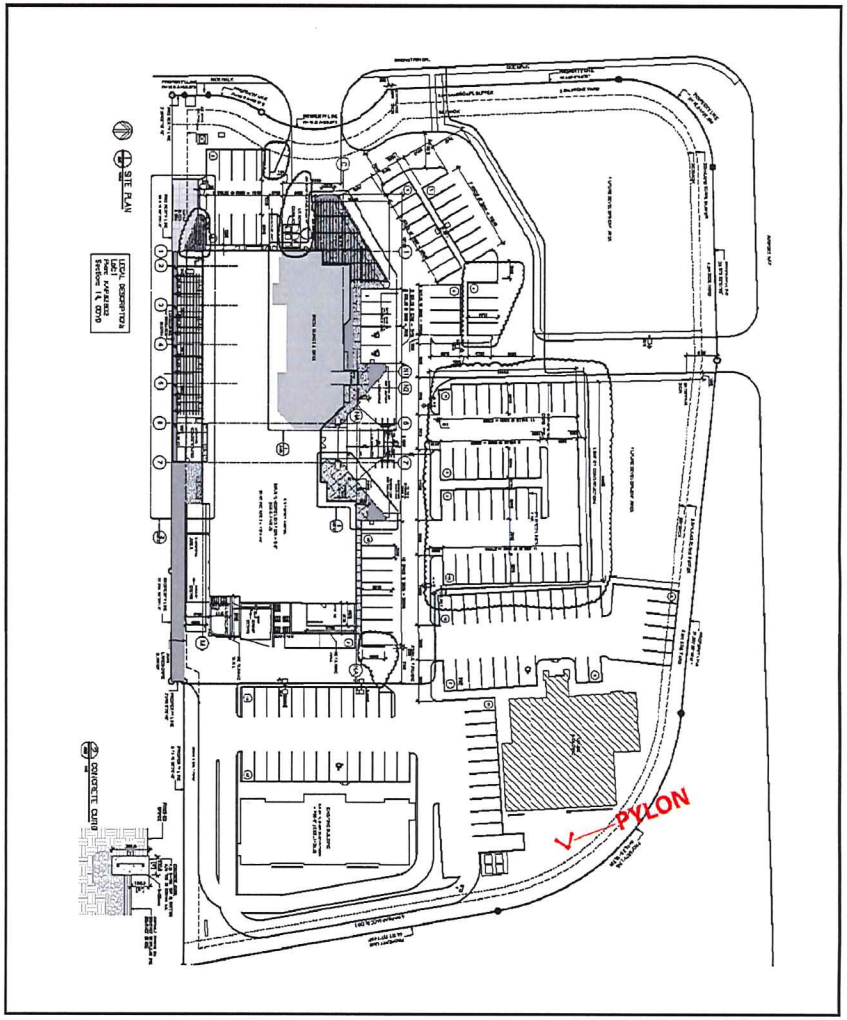
Planner Initials AC

City of Kelowna
COMMUNITY PLANNING

Elevation View - Existing Sign
5505-5507 Airport Way



ONE (1) NEW V SHAPE (2 SIDES) ILLUMINATED PYLON SIGN



Pattison Sign Group
Powering Your Brand

#309, 14928 - 56 Avenue, Surrey BC, Canada V3S 2N5
(Toll Free) 1.866.635.1110 (Fax) 1.855.215.0696
www.pattisonsign.com

This sign to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Fluorescent, Neon and HID lamps contain Mercury (HG). Dispose of the lamps according to Local, Provincial, State or Federal Laws.

SCHEDULE A

This forms part of application

DVP19-0086

Planner Initials AC

City of Kelowna
COMMUNITY PLANNING

V-Shaped Single Sided Illuminated Pylon Display

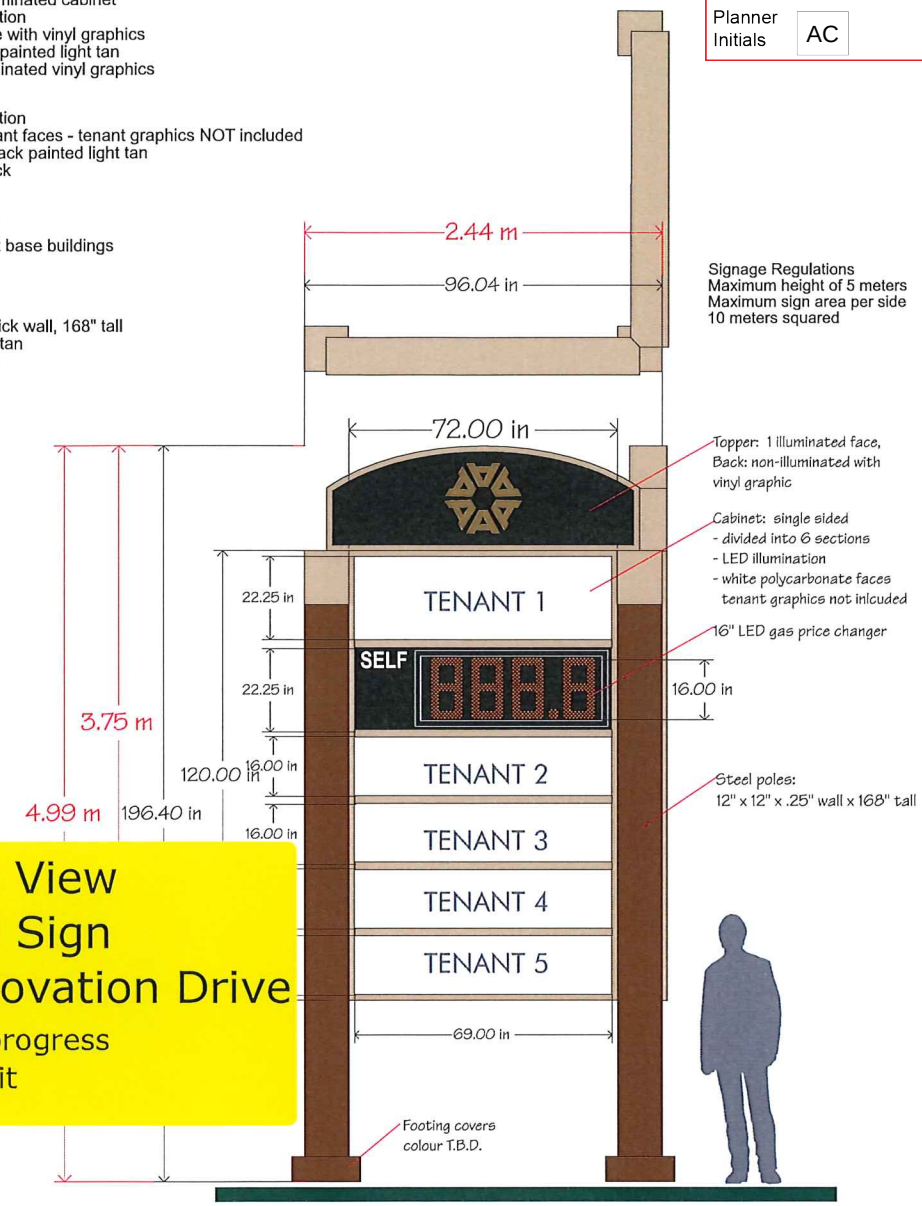
Topper: shaped illuminated cabinet
- white LED illumination
- polycarbonate face with vinyl graphics
- cabinet and frame painted light tan
- back has non-illuminated vinyl graphics

Cabinet:
- white LED illumination
- polycarbonate tenant faces - tenant graphics NOT included
- cabinet, frame & back painted light tan
- .100 aluminum back

Gas Price Changer:
- Hyoco 16"
- set up & training at base buildings NOT included

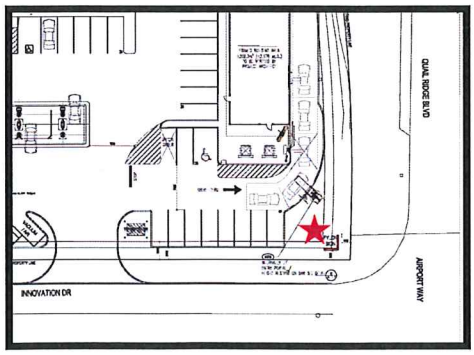
3 - Steel Posts
- 12" x 12" x .25" thick wall, 168" tall
- paint light & dark tan
- with footing cover

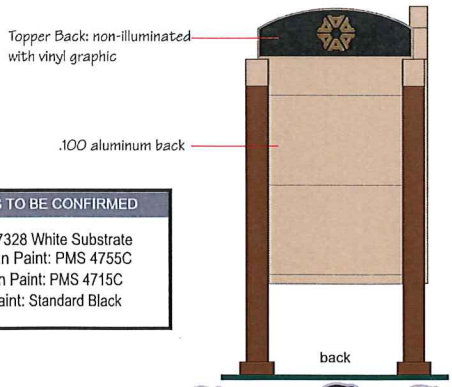
Signage Regulations
Maximum height of 5 meters
Maximum sign area per side
10 meters squared



Elevation View
Proposed Sign
1708 Innovation Drive

Currently in progress for sign permit





ALL COLOURS TO BE CONFIRMED

- White: 7328 White Substrate
- Light Tan Paint: PMS 4755C
- Dark Tan Paint: PMS 4715C
- Black Paint: Standard Black

Date: February 11, 2019
Designer: Marla

SignCraft