

City of Kelowna

Regular Council Meeting

AGENDA



Tuesday, May 7, 2019
6:00 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. **Call to Order**
2. **Reaffirmation of Oath of Office**
The Oath of Office will be read by Councillor Hodge.
3. **Confirmation of Minutes** 1 - 10
Public Hearing - April 23, 2019
Regular Meeting - April 23, 2019
4. **Bylaws Considered at Public Hearing**
 - 4.1 **Rutland Rd S 330, BL11794 (Z18-0115) - Keith Robertson** 11 - 11
To give Bylaw No. 11794 second and third reading in order to rezone the subject property from the RU1 – Large Lot Housing zone to the RU1c - Large Lot Housing with Carriage House zone.
 - 4.2 **Laurier Ave 913, BL11798 (Z18-0105) - 1128826 B.C. Ltd, Inc.No. BC1128826** 12 - 12
To give Bylaw No. 11798 second and third reading in order to rezone the subject property from RU6 – Two Dwelling Housing to RM3 – Low Density Multiple Housing to facilitate the development of six dwelling housing.
 - 4.3 **Laurier Ave 934, BL11799 (Z18-0103) - 1079687 B.C. Ltd, Inc.No. BC1079687** 13 - 13
To give Bylaw No. 11799 second and third reading in order to rezone the subject property from RU6 – Two Dwelling Housing to RM1 – Four Dwelling Housing to facilitate the development of four dwelling housing.
 - 4.4 **Farris Rd 454, BL11812 (Z19-0048) - Scott Cramp and Lei Zhang** 14 - 14
To give Bylaw No. 11812 second and third reading and adopt in order to rezone the subject property from RU1 - Large Lot Housing to RU1c – Large Lot Housing with Carriage House to facilitate the development of a carriage house.

4.5	Froelich Rd 540, BL11813 (Z18-0125) - Gurvinder Singh Dhanwant	15 - 15
	To give Bylaw No. 11813 second and third reading in order to rezone the subject property from the RU1 - Large Lot Housing zone to the RM3 - Low Density Multiple Housing zone to facilitate the development of four-unit row housing.	
5.	Notification of Meeting	
	The City Clerk will provide information as to how the following items on the Agenda were publicized.	
6.	Liquor License Application Reports	
6.1	Water St 1481, LL19-0003 - 0724591 B.C. Ltd., Inc.No. 0724591	16 - 23
	City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the liquor license application to come forward.	
	To seek Council's support for a structural change to an existing Liquor Primary License at the subject property.	
7.	Development Permit and Development Variance Permit Reports	
7.1	Clement Ave 726, OCP17-0021 (BL11604) - PC Urban Clement Holdings Ltd., Inc.No.BC1099980	24 - 25
	Requires a majority of all members of Council (5)	
	To amend the legal description and adopt Bylaw No. 11604 in order to change the Future Land Use designation for portions of the subject property from the IND - Industrial designation to the MXR - Mixed Use (Residential/Commercial) designation as per Map B.	
7.2	Clement Ave 726, Z17-0093 (BL11605) - PC Urban Clement Holdings Ltd., Inc.No. BC1099980	26 - 27
	To amend the legal description and adopt Bylaw No. 11605 in order to change the zoning for portions of the subject property from the I4 – Central Industrial and I2 – General Industrial zones to C4 – Urban Centre Commercial zone as per Map B.	

- 7.3 Clement Ave 726, DP17-0212 DVP17-0213 - PC Urban Clement Holdings Ltd., Inc.No. BC1099980 28 - 68

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider a Staff recommendation to NOT issue a Development Permit and Development Variance Permit for two mixed use six storey buildings with ground floor commercial, rental residential and surface parking.

- 7.4 Stellar Dr 392, DVP18-0215 - Steve Moore and Elizabeth Moore 69 - 83

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To vary the height of a retaining wall, parking for a secondary suite and the front yard setback on the subject property.

- 7.5 Richter St 2428-2430, DVP18-0216 - Christopher J. Roth and Jennifer L. Roth 84 - 94

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To vary the required minimum rear yard setback of an existing building from 7.5 m permitted, to 3.05 m proposed.

8. Reminders

9. Termination



City of Kelowna Public Hearing Minutes

Date: Tuesday, April 23, 2019
 Location: Council Chamber
 City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart, Gail Given, Charlie Hodge, Brad Sieben*, Mohini Singh, Luke Stack and Loyal Wooldridge

Members Absent Councillor Ryan Donn

Staff Present City Manager, Doug Gilchrist; Deputy City Clerk, Karen Needham; Divisional Director, Community Planning & Development, Ryan Smith; Urban Planning Manager, Terry Barton; Community Planning Supervisor, Laura Bentley; Planner, Barbara Crawford; Legislative Coordinator (Confidential), Arlene McClelland

(* Denotes partial attendance)

1. Call to Order

Mayor Basran called the Hearing to order at 6:00 p.m.

Mayor Basran advised that the purpose of the Hearing is to consider certain bylaws which, if adopted, will amend "Kelowna 2030 - Official Community Plan Bylaw No. 10500" and Zoning Bylaw No. 8000", and all submissions received, either in writing or verbally, will be taken into consideration when the proposed bylaws are presented for reading at the Regular Council Meeting which follows this Public Hearing.

2. Notification of Meeting

The City Clerk advised that Notice of this Public Hearing was advertised by being posted on the Notice Board at City Hall on Tuesday, April 9, 2019 and by being placed in the Kelowna Daily Courier issues on Friday April 12 and Wednesday, April 17 and by sending out or otherwise mailing 597 statutory notices to the owners and occupiers of surrounding properties on Tuesday, April 9, 2019.

The correspondence and/or petitions received in response to advertising for the applications on tonight's agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

3. Individual Bylaw Submissions

3.1 Commercial Frontage Amendment, BL11796 (TA19-0005) - City of Kelowna

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

No one from the gallery came forward.

There were no further comments.

3.2 Kelly Rd 1050, BL11797 (Z18-0112) - Jonathan D.C. Tyre and Heather E. Tyre

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

No one from the gallery came forward.

There were no further comments.

Mayor Basran advised that Items 3.3 and 3.4 will be deferred to the May 7, 2019 Public Hearing.

3.3 Laurier Ave 913, BL11798 (Z18-0105) - 1128826 B.C. Ltd, Inc. No. BC1128826

3.4 Laurier Ave 934, BL11799 (Z18-0103) - 1079687 B.C. Ltd, Inc. No. BC1079687

3.5 Groves Ave 448, 458 and 460, BL11801 (OCP18-0019) & BL11802 (Z17-0032) - Abbott Park Holdings Inc., Inc. No. BC1096096

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letters of Opposition and Concern:

Rich and Joyce Philpott, Abbott Street
 Glen Shuttleworth, West Avenue
 Colin and Lynn Banfield, Pandosy Street
 Gail Debnam, Abbott Street
 Dave & Brenda Pack, Groves Avenue
 Jacqueline Dzuba, West Avenue
 Robert and Marilyn Scott – Groves Avenue
 Kim Wall, West Avenue
 Sandra S. Broughton, - Abbott Street
 Marshall McAnerney – HM Commercial Group
 Larry Kelly, Pandosy Street
 Pirjo Boucher, Groves Avenue
 Margaret & Brad White, Groves
 Marie and Peter Baigent, West Avenue
 Al Merrick, West Avenue
 Chris and John Baker, Groves Avenue

Lori Samuels (Johnson Legacy Wealth Management), Groves Avenue
 Laura and Alvin Boyer, Groves Avenue
 Lori and Robert Briggs, Abbott Street
 Mr. and Mrs. Taylor, Groves Avenue
 Helen Schiele, Kelowna
 Walley Lightbody, Abbott Street
 Al Janusas, Kelowna
 Richard Drinnan, Greene Road
 Michael & Gayle Stevens-Guille, Abbott Street
 Michael Le Feuvre and Annae De Rosa, Groves Avenue
 Petition of Opposition, Submitted by Kim McKergow – 20 Signatures

Letters of Support with recommendations:

Richard Person, Pandosy Street
 Les Gordichuk, Westpoint Drive
 Dr. Allan Larter, Westpoint Drive
 Tom Smithwick, Christina Place
 Erica Mueller (Okanagan Ayurveda), Lower Mission
 Todd Knutson, Lydford Place
 Lisa Bodnarchuk (Dwell Organized), Lydford Place
 Greg Portas (Pinnacle Roofing), Appaloosa Road
 Clayton Parks, Pandosy area
 Colin Kirbyson, Southwind
 Ryan Delaurier, Lake Country
 Rob and Sue Van Rycke and Tim Karila (Lights ON Banks), Kelowna
 Steve Nicholson, Abbott Street
 Lee Portas (Frisbee Studios), Kelowna
 Lance Croteau (Innovation Drywall Ltd) Beaver Lake Road
 Lindsay Sill (WestGrid), Markham Court
 Kimberly Pflieger, South Pandosy area
 Greg and Marilyn Mack (Snapdragon Interiors), Springfield Road

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

Craig Mohr, Owner, Tyler Loewenhardt, Zeidler BKDI Architects

- Displayed a PowerPoint Presentation, re: Abbott Park.
- Long term resident of Kelowna for 23 years and heavily invested in the community.
- Spoke to history and rationale for this application.
- Proposing an RM6 development with a restrictive covenant to limit to 6 storeys.
- The development consists of 22 high scale residences with strong pedestrian friendly edges to the site with buffers to mediate the parkade.
- Wanted to provide a quality building that is part of the community; similar to those already in the south Pandosy area.
- Efforts have been made to reduce the scale of the building.
- Tiered landscape planters and trees on the south side that will create a street edge like Abbott House which will create a sense of privacy.
- The existing lane that abuts Abbott Park will be closed and will be a landscaped park area.
- Displayed contextual mapping of the area.
- Spoke to the efforts made to mediate the height of this proposal.
- Responded to questions from Council.

Gallery:

Cathy Richards, Groves Road

- Resides one lot from proposed development.
- Expected the developer to provide a public information meeting prior to rezoning.
- Expected the same public process as the Abbott House; the Abbott House required two meetings.

- Not in favour of RM6; thought the street was designated RM3 as per the OCP; could be in favour of RM4 or RM5.
- Believes there needs to be more ground oriented family units built.
- Opposed to this application.

Mike Le Feuvre, Groves Avenue

- Raised concerns that the Restrictive Covenant could be removed.
- Development needs to be consistent with the neighbourhood.
- Opposed to this application.

Marie Baigent, West Avenue

- Home backs onto the park; believes the building is nice but too high.
- Built our home in 2010 and were told the density was 4.5 storeys which we could accept.
- The trees in the park are higher than the Abbott House and with this building of 6.5 storeys the park will appear like a tunnel.
- Raised concerns with lack of sunshine and shadowing.
- Not against densification as long as it stays within the zoning.
- Raised concerns with on street parking.
- Raised concerns with water table and whether it could handle this density.
- Raised concerns with construction noise in the residential area.
- Believes the developer should contribute more in off-site enhancement.
- Opposed to this application.

Brian Ged, on behalf of Judy Matheson, Groves Avenue

- Believes there was not enough time for people to prepare for this Hearing.
- Raised concern that there was no consultation with neighbours.
- Believes the proposed building is too huge for this lot.
- Raised concern that the RM6 zone will allow for more density.
- Raised concern with on street parking.
- Raised concern with water table and with pile driving and shoring, who would be liable for damage to neighbours homes.
- Opposed to this application.

Anne Laurie, Abbott Street

- Resident for 19 years and has seen a lot of change; not opposed to change or high density but believes that 4.5 storeys is a good transition from single family dwellings.
- Believes this proposal will impose on residents on Groves Avenue and Abbott Park.
- Opposed to this application.

Marshall Mcanerney, Groves Avenue

- Raised concern with high density precedent in the area.
- Works in commercial real estate and has worked with developers; believes that if this development goes to high in density others will want high density as well.
- Believes that density does not belong on Abbott Street and that the Abbott corridor will be ruined by this development.
- Supportive of high density in the right areas but believes that 6 storeys is too high for this location.
- Believes this development will change the character of the neighbourhood.
- Believes the proposed building will create a lot of shade.
- Responded to questions from Council.

Robert Scott, Groves Avenue

- New resident in the Pandosy Village area; moved here for the obvious feel and attraction.
- Raised concern that this development will open the door to 16 storeys in the future which would destroy the character.
- Opposed to this application.

Robert Briggs, Abbott Street

- New resident for 1 year and located at the opposite end of the park facing east.

- Main concern is the park itself as it is becoming a bit of a tunnel; with this higher density proposal the park will be in the dark.
- Opposed to going above the RM5 zone.
- Would prefer to see townhomes built or another Abbott House.

Garth Vickers Groves Avenue

- Believes the current land use is working well.
- Raised concerns with the footprint on this lot becoming larger.
- Believes this proposed building will be an imposing structure.
- Opposed to this application.

Ed Grifone, Lequime Road

- Raised concern that the RM6 zone could set a precedent for higher density in the area.
- Believes the appropriate zoning would be RM5 or less; supporter of density in the right place but no here.
- Suggested in the future with this area that it should be done more in context and with public consultation.
- Responded to questions from Council.

Ed Macaranco, Groves Avenue

- Raised concern with traffic on Groves Avenue; impossible to turn left from Groves Avenue onto Pandosy.
- Raised concern with parking and congestion on Groves Avenue.
- Raised concern that the park will be shaded a lot by this development.

Cathy Richards, Groves Avenue

- Raised concern with traffic turning left onto Pandosy from Groves Avenue.
- Believes this development will put pressure on the Abbott Street corridor and Pandosy Street.
- Believes the applicant will ask for more height to accommodate parking as did the Abbott House.

Marie Baigent, West Avenue

- Asked for clarification regarding commercial in the building.

Craig Mohr, Owner, Tyler Loewenhardt, Zeidler BKDI Architects

- Confirmed there are no 1 bedroom units; there are 2 bedrooms and 2 bedrooms plus den units to create homes in a community.
- Public notification was completed at the end of November 2018 as per City requirements.
- In reference to water table and parking an engineering and water table study has been completed and will not be asking for any further height.
- The lane closure will be an improvement to Abbott Park and will create more activity and will make the park safer with more eyes on the park.
- There will be no shadowing on the Park as the setbacks will be in the rear.
- Will defer to staff regarding the zoning of RM5/RM6.
- The contribution to the community is \$200,000 for the park; asphalt to the laneway must be removed and park widening.
- We are not asking for commercial use.
- This is not a high density development as the size of the units are large 1500-1600 sq. ft.
- Made efforts to amalgamate all the properties; multiple offers were made to neighbours for their properties.
- Responded to questions from Council.

Staff:

- Provided information on limits to current zones for this type of development.
- Confirmed a shade study had been completed; trees will receive 5 or 6 hours of sunlight and were satisfied that 6 storeys would not create undue harm to the trees.
- The dissolution of restrictive covenants rests with Council.
- Confirmed that Restrictive Covenants run with the land and not the owners.

- Confirmed the threshold for Council Policy 367 Consultation with the neighbourhood is for 50 units and this proposal is for 22 units and by definition this is minor.

There were no further comments.

3.6 Byrns Rd 2089, BL11810 (OCP18-0018) & BL11811 (Z18-0094) - Mohammed Maizal Munif

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Form Letters of Support

Submitted by Birte Decloux – 9 form letters

Submitted by Maizal Munif – 7 form letters

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

Birte Decloux, Urban Options Planning and Permits

- Displayed a PowerPoint Presentation - 2089 Byrnes Road
- Spoke to the sustainability focus of the application.
- There was intensive neighbourhood consultation; in January 2018 door to door canvass completed in preparation for rezoning; November 2018 full open house meeting in accordance with Council Policy 367; April 2019 a personal canvass of the neighbourhood in the past 2 weeks advising of neighbours of this Public Hearing.
- Relocating an existing home and saving it from the landfill.
- The owner will live on site and rent the other home.
- Urban services are in place and no additional burden is expected on infrastructure.
- Parking and open space is easily accommodated on site; room to maneuver and exit into Byrns Road in forward direction.
- There is no change to streetscape from the addition of the dwelling.
- Responded to questions from Council.

No one from the gallery came forward.

There were no further comments.

4- Termination

The Hearing was declared terminated at 8:24 p.m.

Mayor Basran

/acm

Deedham
Deputy City Clerk



City of Kelowna Regular Meeting Minutes

Date: Tuesday, April 23, 2019
Location: Council Chamber
City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart, Gail Given, Charlie Hodge, Brad Sieben, Mohini Singh, Luke Stack and Loyal Wooldridge

Members Absent Councillor Ryan Donn

Staff Present City Manager, Doug Gilchrist; Deputy City Clerk, Karen Needham; Divisional Director, Community Planning & Development, Ryan Smith; Urban Planning Manager, Terry Barton; Community Planning Supervisor, Laura Bentley; Planner, Barbara Crawford; Legislative Coordinator (Confidential), Arlene McClelland

(* Denotes partial attendance)

1. Call to Order

Mayor Basran called the meeting to order at 8:35 p.m.

2. Reaffirmation of Oath of Office

The Oath of Office was read by Councillor Given.

3. Confirmation of Minutes

Moved By Councillor Hodge/Seconded By Councillor Wooldridge

R445/19/04/23 THAT the Minutes of the Public Hearing and Regular Meeting of April 9, 2019 be confirmed as circulated.

Carried

4. Bylaws Considered at Public Hearing

4.1 Commercial Frontage Amendment, BL11796 (TA19-0005) - City of Kelowna

Moved By Councillor Hodge/Seconded By Councillor Singh

R446/19/04/23 THAT Bylaw No. 11796 be read a second and third time.

Carried

4.2 Kelly Rd 1050, BL11797 (Z18-0112) - Jonathan D.C. Tyre and Heather E. Tyre

Moved By Councillor Hodge/Seconded By Councillor Singh

R447/19/04/23 THAT Bylaw No. 11797 be read a second and third time and be adopted.

Carried

Item 4.3 and 4.4 will be deferred to the May 7 2019 Public Hearing.

4.3 Laurier Ave 913, BL11798 (Z18-0105) - 1128826 B.C. Ltd, Inc. No. BC1128826

4.4 Laurier Ave 934, BL11799 (Z18-0103) - 1079687 B.C. Ltd, Inc. No. BC1079687

4.5 Groves Ave 448,458 and 460, BL11801 (OCP18-0019) - Abbott Park Holdings Inc., Inc. No. BC1096096

Moved By Councillor Wooldridge/Seconded By Councillor Given

R448/19/04/23 THAT Bylaw No. 11801 be read a second and third time.

Defeated

Councillors DeHart, Hodge, Singh and Stack - Opposed

Item 4.6 was not read as the Official Community Plan amendment was defeated.

4.6 Groves Ave 448,458 and 460, BL11802 (Z17-0032) - Abbott Park Holdings Inc., Inc. No. BC1096096

4.7 Byrns Rd 2089, BL11810 (OCP18-0018) - Mohammed Maizal Munif

Moved By Councillor Stack/Seconded By Councillor DeHart

R449/19/04/23 THAT Bylaw No. 11810 be read a second and third time.

Carried

Mayor Basran, Councillors Hodge and Stack - Opposed

4.8 Byrns Rd 2089, BL11811 (Z18-0094) - Mohammed Maizal Munif

Moved By Councillor Stack/Seconded By Councillor DeHart

R450/19/04/23 THAT Bylaw No. 11811 be read a second and third time.

Carried

Mayor Basran, Councillors Hodge and Stack - Opposed

5. Notification of Meeting

The City Clerk advised that Notice of Council's consideration of the Development Variance Permit Applications were given by sending out or otherwise mailing 37 statutory notices to the owners and occupiers of surrounding properties on Tuesday, April 9, 2019.

The correspondence and/or petitions received in response to advertising for the applications on tonight's Agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

6. Development Permit and Development Variance Permit Reports

6.1 Altura Rd 30, DVP18-0190 - David & Camille Harkins

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letters of Opposition and Concern:

Brent Kelly and Joanne Takahashi, 44 Caramillo Road

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

Birte Decloux, Urban Options Planning & Permits

- Displayed a PowerPoint Presentation outlining the proposed design.
- Property is zoned RU2c – Medium Lot Housing with Carriage House.
- The property is 2,630.4 m² in size.
- The first variance is being sought as the accessory buildings will exceed the maximum of 90m² by 27m² for a total area coverage of 117m² (1259 sq. ft.).
- The second variance is being requested for a front yard setback for the carriage house.
- Provided intensive neighbourhood consultation.
- The house is being relocated and saving it from the landfill.
- The owners will be living on the property and the other house will be a rental.
- Responded to questions from Council.

No one from the gallery came forward.

There were no further comments.

Moved By Councillor Sieben/Seconded By Councillor Stack

R451/19/04/23 THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0190 for Lot 1 Section 32 Township 26 ODYD Plan 35716, located at 30 Altura Rd, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 6.5.3(a) – Accessory Buildings in Residential Zones

To vary the allowable lot coverage from 90m² to 117m²

Section 6.5.3(d) – Accessory Buildings in Residential Zones

To vary the minimum front yard setback of an accessory building from 9.0m to 5.5m.

AND THAT Council's consideration of this Development Permit be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated April 23, 2019;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Variance Permit in order for the permits to be issued;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

6.2 Parkridge Dr 4675, DVP19-0039 - Monika Klanyi-Nebojsza

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

The Applicant was present and available for questions.

No one from the gallery came forward.

There were no further comments.

Moved By Councillor Hodge/Seconded By Councillor Wooldridge

R452/19/04/23 THAT Council authorizes the issuance of Development Variance Permit No. DVP19-0039 for Lot 17 Section 29 Township 29 ODYD Plan 34978, located at 4675 Parkridge Drive, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 12.3.6(c): RR3 – Rural Residential 3 Development Regulations

To vary the required minimum front yard from 6.0 m permitted to 5.8 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

7. Reminders

There were no reminders.

8. Termination

The meeting was declared terminated at 9:25 p.m.

Mayor Basran

/acm

Kneedham
Deputy City Clerk

CITY OF KELOWNA
BYLAW NO. 11794
Z18-0115 – 330 Rutland Road S

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 5 Section 23 Township 26 ODYD Plan 12078 located on Rutland Road South, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House Zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 15th day of April, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11798
Z18-0105 – 913 Laurier Ave

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A District Lot 138, ODYD, Plan 2255 located on Laurier Avenue, Kelowna, BC from the RU6 – Two Dwelling Housing zone to the RM3 – Low Density Multiple Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 8th day of April, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11799
Z18-0103 – 934 Laurier Avenue

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 4 District Lot 138, ODYD, Plan 2819 located on Laurier Avenue, Kelowna, BC from the RU6 – Two Dwelling Housing zone to the RM1 – Four Dwelling Housing Zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 8th day of April, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11812
Z19-0048 – 454 Farris Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot B Section 25 Township 28 SDYD Plan EPP82795, located on Farris Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 15th day of April, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11813
Z18-0125 – 540 Froelich Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 1, Section 26, Township 26, ODYD, Plan 17602, located on Froelich Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the RM3 – Low Density Multiple Housing zone
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 15th day of April, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL



Date: May 7, 2019

RIM No. 0930-60

To: City Manager

From: Community Planning Department (WM)

Application: LL19-0003

Owner: 0724591 B.C. LTD., Inc. No.
0724591

Address: 1481 Water Street

Applicant: Kyle James and Carolyn
Suzanne Nixon

Subject: Liquor License Application

Existing OCP Designation: MXR – Mixed Use (Residential/Commercial)

Existing Zone: C7 – Central Business Commercial

1.0 Recommendation

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor Control and Licensing Branch (LCLB):

In accordance with Section 53 of the *Liquor Control and Licensing Regulation* and Council Policy #359, BE IT RESOLVED THAT:

1. Council recommends support of an application from 0724591 B.C. LTD., Inc. No. 0724591 for Lot A District Lot 139 ODYD Plan 27756 located at 1481 Water Street, Kelowna, BC, for a Liquor Primary License with a capacity of 124 persons and hours of sales from 9:00 AM to 1:00 AM Sunday to Saturday for License Number 307841.
2. That Council's comments on the prescribed considerations are as follows:
 - (a) The impact of noise on the community in the immediate vicinity of the establishment if the application is approved;
The potential impact for noise is minimal and would be compatible with surrounding land uses.
 - (b) The impact on the community if the application is approved:
The potential for negative impacts is considered to be minimal.
3. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures".

2.0 Purpose

To seek Council's support for a structural change to an existing Liquor Primary License at the subject property.

3.0 Community Planning

The application proposes to change an existing Liquor Primary License to accommodate an expansion and new restaurant/bar concept. The establishment was previously run as Imperial Barroom and Sturgeon Hall Restaurant which operated at this location for approximately the past 22 years.

The new establishment, Spoonie Gee's Glorious Emporium, will have a 70's based theme and serve a full dinner menu until 11pm with minors permitted until 10pm. It will also offer local craft beer, wine, specialty cocktails and beer choices from the previous Sturgeon Hall menu. Noise is not a concern as the building is free-standing and the existing windows do not open. There are no existing residential uses within the immediate vicinity.

The proposed licensed hours of operation will remain the same as the previous license hours of operation (9:00 am - 1:00 am) as the applicant agrees to implement the following safety measures:

- Security staff must be on duty after 8:00 pm daily at a minimum ratio of 1:50 patrols. Designated security staff must have completed a minimum of BST level training and possess a valid license while employed in the capacity of Security Staff.
- The applicant must install and operate a patron identification system, Servall Biometrics, after 9pm daily.
- The applicant must install and operate a high definition security camera which records and retains data for a period of no less than 7 days. The camera system must provide video coverage of the entire floor space and immediate area outside their establishment including all entrances and exits.

Discussion of the LCLB's regulatory criteria for Local Government comment on liquor license endorsement applications is as contained within Staff's recommendation at the beginning of this report.

Outdoor Patio

The existing outdoor patio area will maintain the existing operating hours which are consistent with the Bernard Avenue Sidewalk Program and other outdoor patio areas downtown:

- Patio hours of operation: 9:00 am – 11:00 pm
- Last Call for drinks: 10:30 pm
- Alcohol to be cleared from the patio area by 11:00 pm
- Patrons must exit patio by 12:00 am

4.0 Proposal

4.1 Background

An application has been forwarded by the licensee to the Provincial Liquor Control and Licensing Branch (LCLB) for their approval. Procedurally, all these applications need Local Government comment prior to the LCLB making a final decision:

- Structural change to liquor primary licensed establishments.

4.2 Project Description

Proposed Hours of Sale for Spoonie Gee's Glorious Emporium (Liquor Primary License # 307841):

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Open	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM	9:00 AM
Close	1:00 AM	1:00 AM	1:00 AM	1:00 AM	1:00 AM	1:00 AM	1:00 AM

Spoonie Gees Glorious Emporium:

Licensed Area	Net Floor Area	Proposed Capacity
Lounge Seating area	85.2 m ²	71 persons
Main floor outdoor patio area	28.8 m ²	24 persons
2 nd Floor Lounge Seating area	34.8 m ²	29 persons
Total Person Capacity	148.8 m²	124 persons*

*The proposed capacity is based on preliminary floor plans, which are subject to approval by the Building & Permitting Branch and the LCLB.

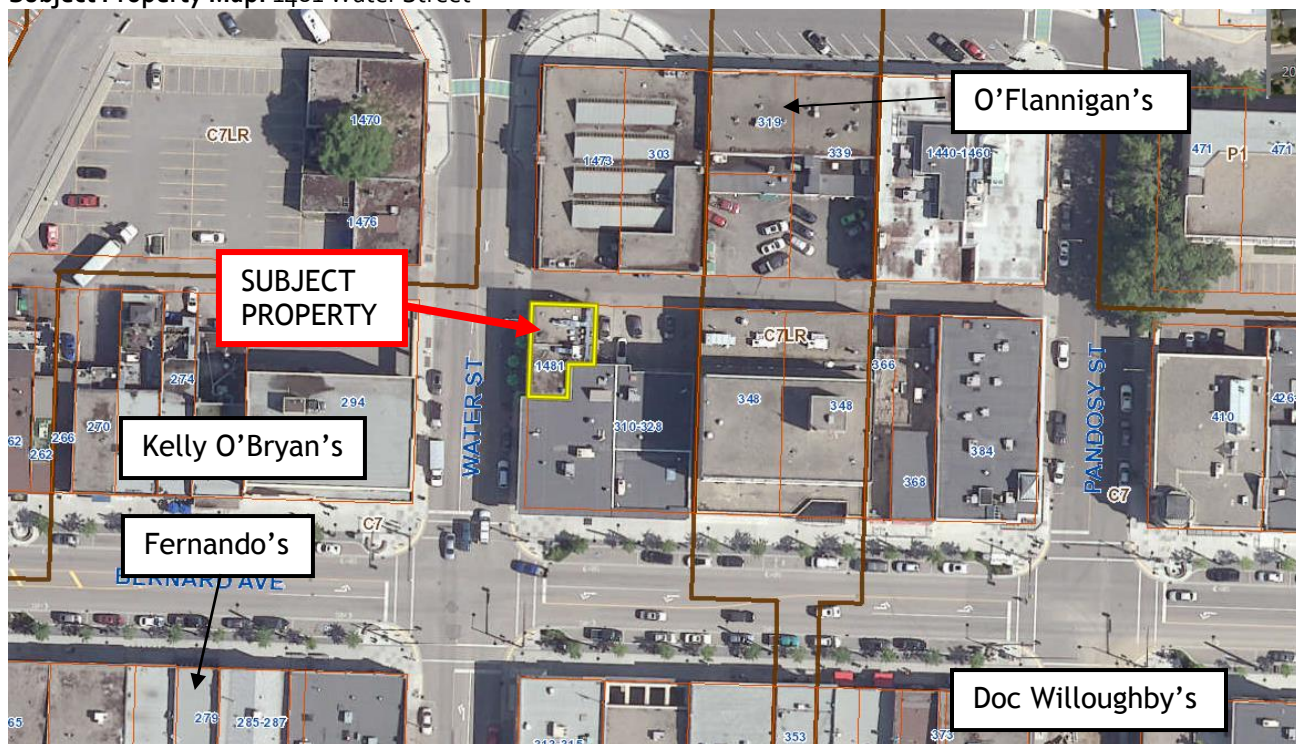
4.3 Site Context

The subject property is located downtown on Water Street between Bernard Avenue and Queensway. The adjacent businesses are BC Tree Fruits to the north and CIBC to the south.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C7 – Central Business Commercial	Offices
East	C7 - Central Business Commercial	Retail Stores
South	C7 - Central Business Commercial	Financial Institution
West	C7 - Central Business Commercial	Financial Institution

Subject Property Map: 1481 Water Street



5.0 Current Development Policies

5.1 Council Policy #359 – Liquor Licensing Policy & Procedures

The following sections of Policy #359 are applicable to this application:

Liquor Primary Establishments

1. Siting/Density Guidelines:
 - a. No establishment with a person capacity greater than 500 persons should be permitted.
 - b. Large establishments (with person capacity greater than 249 persons):
 - i. Should only be located within an Urban Centre.
 - ii. Should be located a minimum of 250m from another Large establishment.
 - iii. Should be located a minimum of 100m from a Medium establishment.
 - iv. Should not be located beside a Small establishment.
 - c. Medium establishments (with person capacity between 100-249 persons):
 - i. Should only be located within an Urban or Village Centre.
 - ii. Should be located a minimum of 100m from a Large or Medium establishment.
 - iii. Should not be located beside a Small establishment.
 - d. Small establishments (with person capacity less than 100 persons):
 - i. Should not be located beside another liquor primary establishment

For the purposes of determining proximity, the shortest walking distance (door-to-door) will be applied. These distances are meant to guide staff in their recommendations for particular applications, however, a number of other factors should be considered, including (but not limited to):

- a. Pertinent input from the RCMP;
- b. Vehicular and pedestrian traffic patterns for area and current zoning;

- c. Availability of on-site and off-site parking; proximity of playgrounds, schools, and other social facilities;
- d. Surrounding land-uses, and general impact on the local neighbourhood;
- e. Correspondence received from abutting property owners;
- f. Past licensee compliance and performance issues as may be provided by the LCLB.

2. Other Policies:

Where appropriate, support alternative entertainment options, and/or establishments which are less focused on alcohol consumption (including event-driven establishments, and Food Primary establishments with the Patron Participation Entertainment Endorsement) to add a mix of entertainment options in Urban Centres. Consider limiting potential community impacts via license terms and conditions (hours, capacity, etc).

5.2 Kelowna Official Community Plan (OCP)

Entertainment Venues.¹ Within designated Urban Centres, encourage private-sector provision of facilities which diversify the selection of venues and entertainment opportunities throughout the city.

6.o Application Chronology

Date of Application Received: March 1, 2019

Report Prepared by: Wesley Miles, Planner Specialist
Reviewed by: Terry Barton, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

LCLB Application

¹ Policy 5.17.1 (Development Process Chapter 5, page 5.21)

SPOONIE GEE'S GLORIOUS EMPORIUM

To whom it may concern,

The original operating and investment team from BNA Brewing Co. is excited for the opportunity to outfit and operate an entirely new restaurant/bar concept in one of Downtown Kelowna's oldest buildings. The owners of what was Sturgeon Hall, came to us with an offer on their business that was too good to turn down. During the negotiations, we were also able to secure an accepted contract to purchase the building of 1481 Water Street. To say we are excited to unleash one of our other restaurant concepts on this property is an understatement.

The name of our new concept is Spoonie Gee's Glorious Emporium. Spoonie Gee was a 1970's rapper who never caught his "big break" but inspired many other aspiring musicians to create music that was yet to be heard in mainstream music, Beastie Boys being one of them.

The nostalgic influence of the 1970s will be felt throughout the atmosphere. From the décor on the walls to the carpets on the floor, our guest will wonder if they entered a time machine back to the 1970's. Yet the execution of detail will have a timelessness that will appeal to any age group. The inspiration of retro Robert Redford, Lou Reed and Stevie Nicks will allow us to recreate this timeless era.

Our guests will have a plethora of seating options when they arrive. They can choose to sit in crushed velvet booths, sit front row by the forno pizza oven, grab a stool at the bar, or enjoy a cozy seat over seeing Water Street from the upstairs dining room. Wherever our guests choose to sit, they will be offered a menu consisting of house made dishes with an Asian influence and thoughtfully curated pizzas. We plan to offer our full menu daily until 11pm.

Along with gastronomic food, we will offer local craft beer, local wine and specialty made cocktails served in Tiki cups. To give homage to the Sturgeon Hall we will continue to carry some of the same beers they carried so those longtime customers can return to find their favorites.

To complete the experience for our guests, the entire building will have nostalgic items from many decades on display to give the emporium feeling. Our décor will give a memory burst for our guest allowing them to share stories with their families and friends.

Spoonie Gee's Glorious Emporium, will offer guests of all ages, minors welcome until 10pm, a unique dining and outing experience like none other offered in Kelowna at this time. Currently, we seek approval for an increase of interior seated capacity from 71 to 100.

Kindly,

Carolyn Nixon

1250 Ellis Street
Kelowna BC
V1Y1Z4
236-420-0025

GP1949

1481 WATER ST

RECEIVED

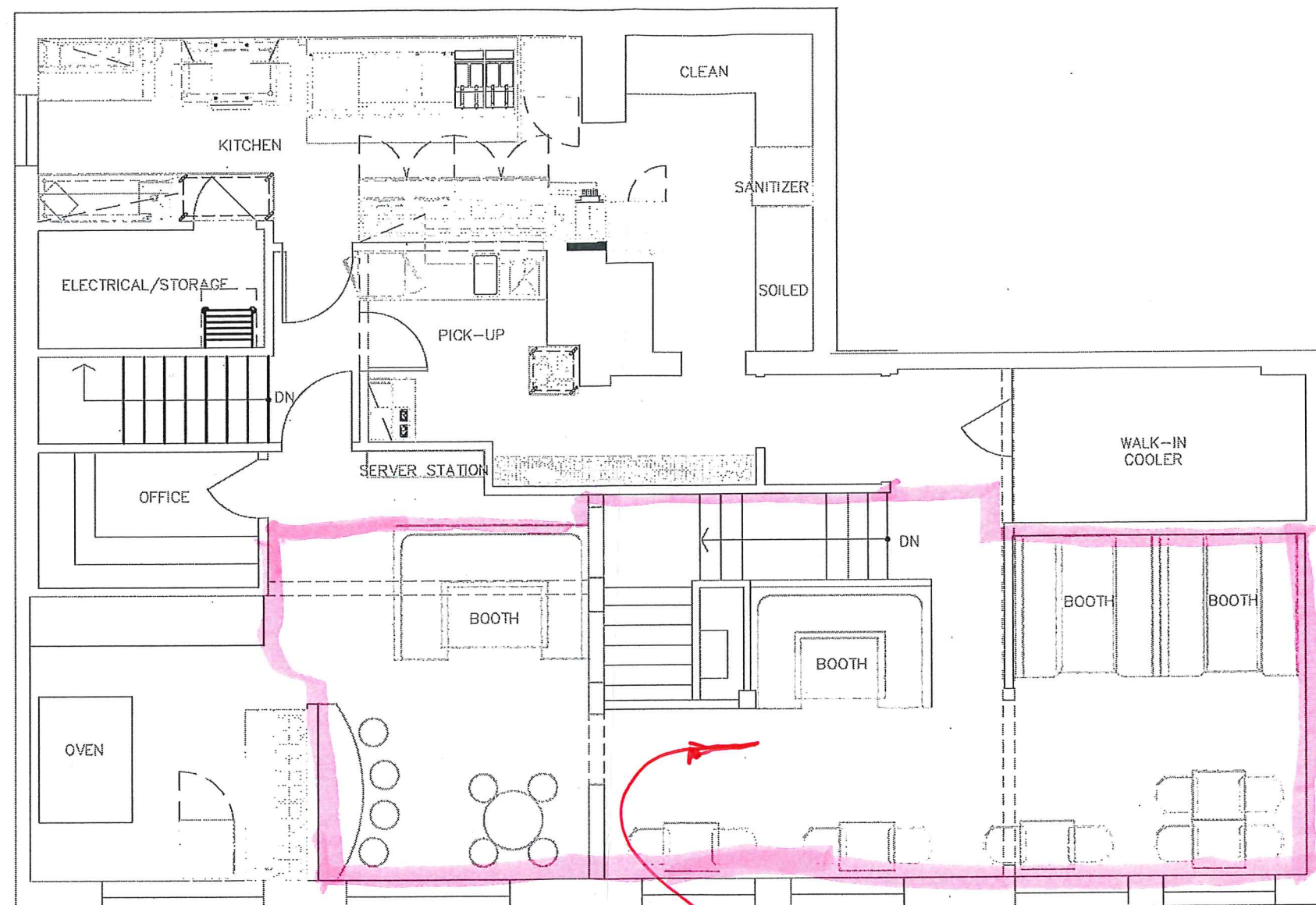
FEB 15 2019

CITY OF KEOHNA
Development Services Department

Reviewed
by City of Kelowna
Development Services

Areas based on plans
not site verified.

BNA Brewing has not
applied for a building
permit. This review is
for occupant load
ONLY.



The LOUNGE
has a net floor area of
34.8 m². The maximum
occupant load shall be
29 persons, based on
1.2 m²/person

2nd FLOOR PLAN
1481 WATER STREET
12 FEB 2019

SCALE: 1/8" = 1'-0"

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INTERIOR DESIGN

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1481 WATER ST

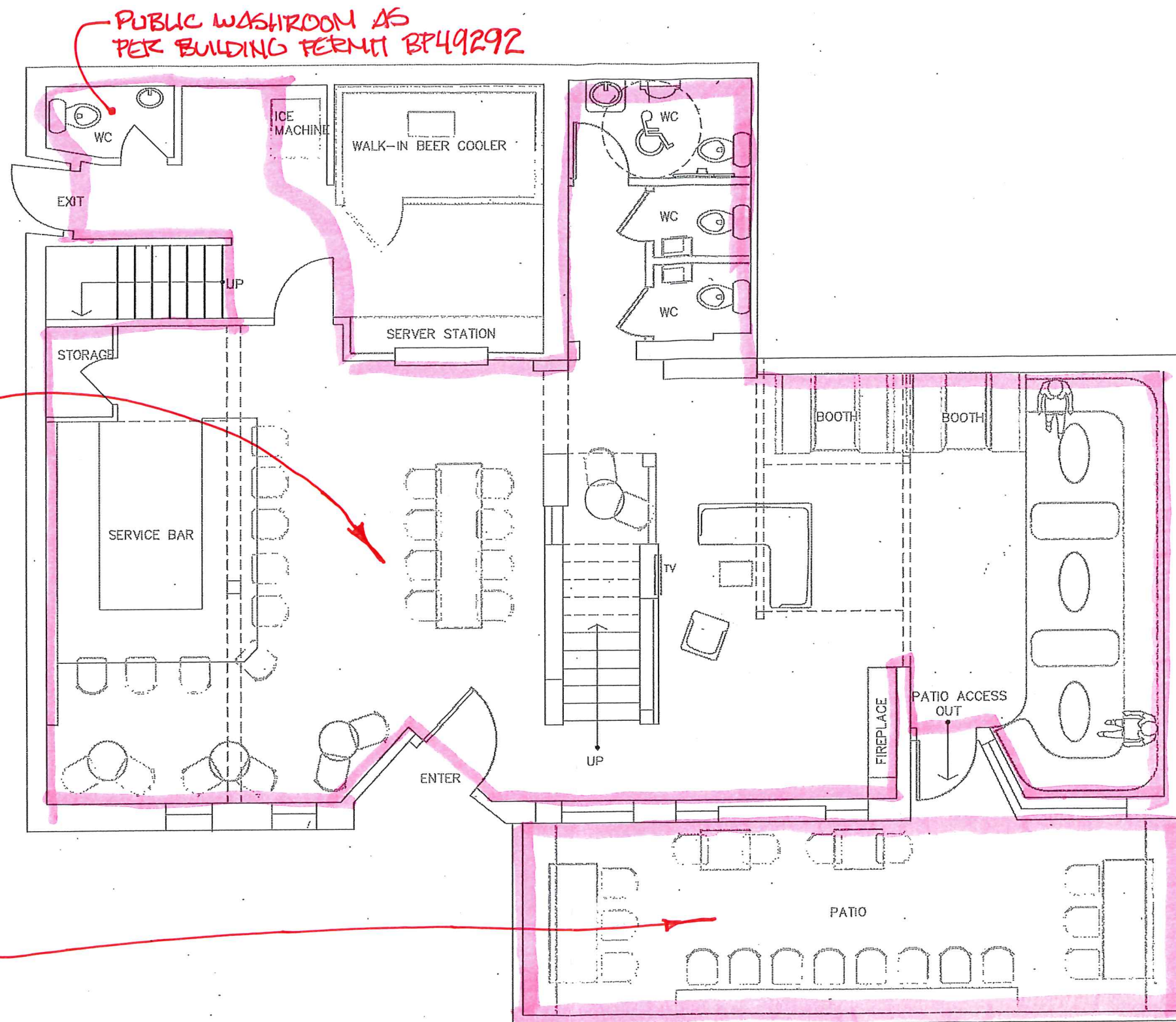
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FEB 15 2019

CITY OF KELOWNA
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by City of Kelowna
Development ServicesAreas based on plans
not site verified.* BNA Brewing has not
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ONLY. *

The LOUNGE
has a net floor area of
85.2 m². The maximum
occupant load shall be
71 persons, based on
1.2 m²/person

The PATIO
has a net floor area of
28.8 m². The maximum
occupant load shall be
24 persons, based on
1.2 m²/person



MAIN FLOOR PLAN
1481 WATER STREET
12 FEB 2019

SCALE: 1/8" = 1'-0"

* NOTE: Ensure proper
approval for exterior
patio is obtained from
City of Kelowna "Real
Estate and Property-
Services" department.
This review is for
occupant load ONLY. *

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INTERIOR DESIGN

CITY OF KELOWNA

BYLAW NO. 11604

Official Community Plan Amendment No. OCP17-0021 726 Clement Avenue

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of portions of Lot A, Section 30, Township 26, ODYD, Plan EPP83554 located at Clement Ave, Kelowna, BC from the IND – Industrial designation to the MXR – Mixed Use (Residential / Commercial) designation as shown on Map A attached.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 23rd day of April, 2018.

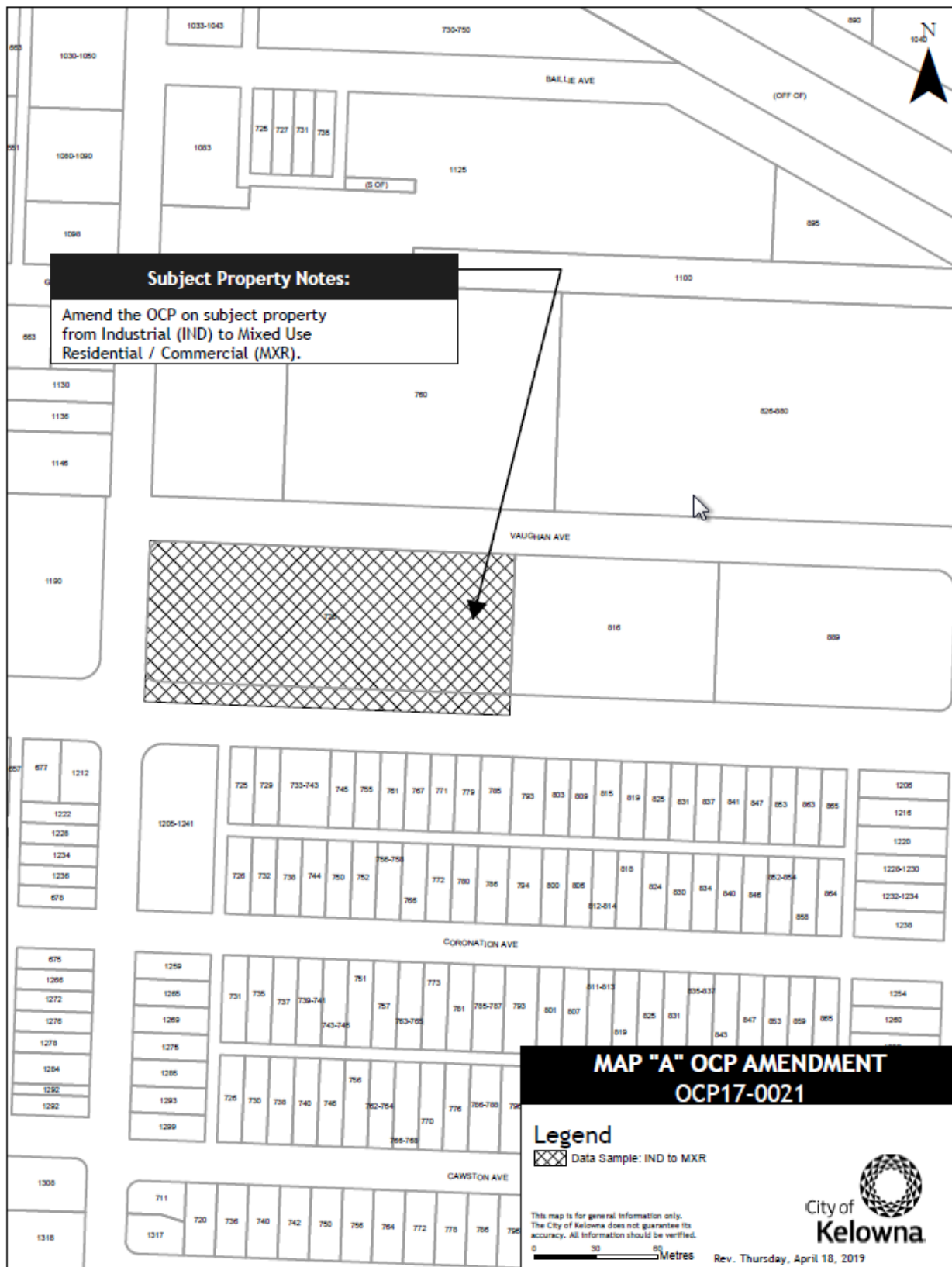
Considered at a Public Hearing on the 15th day of May, 2018.

Read a second and third time by the Municipal Council this 15th day of May, 2018.

Amended at third reading and adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



CITY OF KELOWNA
BYLAW NO. 11605
Z17-0093 – 726 Clement Avenue

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of:
 - Lot A, Section 30, Township 26, ODYD Plan EPP83554as per Map B attached to and forming part of this bylaw.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 23rd day of April, 2018.

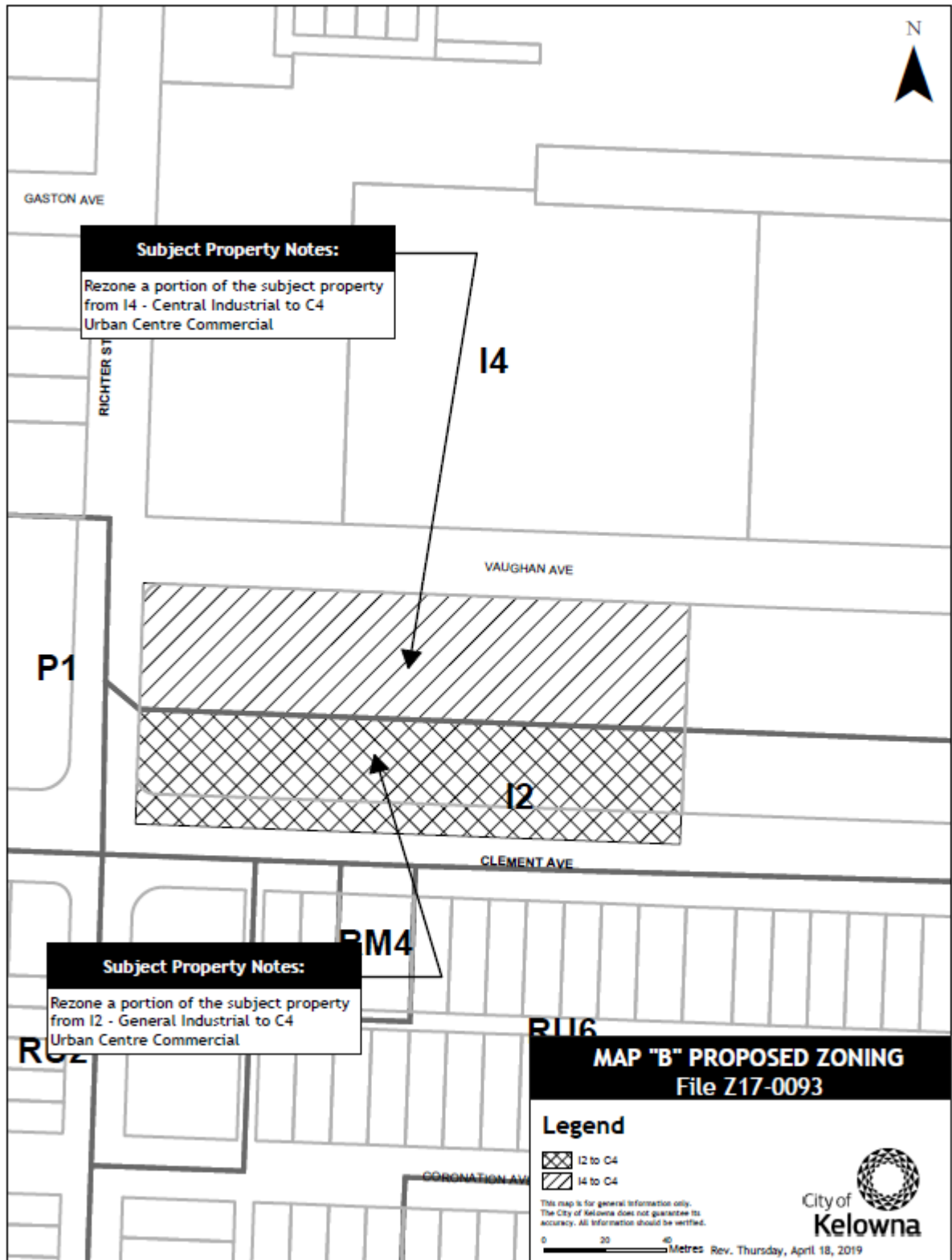
Considered at a Public Hearing on the 15th day of May, 2018.

Read a second and third time by the Municipal Council this 15th day of May, 2018.

Amended at third reading and adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



REPORT TO COUNCIL



Date: May 7, 2019

RIM No. 0940-00 & 0940-50

To: City Manager

From: Community Planning Department (AC)

Application: DP17-0212 / DVP17-0213 **Owner:** PC Urban Clement Holdings Ltd., Inc. No. BC 1099980

Address: 726 Clement Ave **Applicant:** PC Urban – Shawn Oh

Subject: Development Permit & Development Variance Permit Application

OCP Designation: MXR – Mixed Use (Residential/Commercial)

Zoning: C4 – Urban Centre Commercial

1.0 Recommendation

THAT Official Community Plan Map Amendment Bylaw No. 11604 (OCP17-0021) and Rezoning Bylaw No. 11605 (Z17-0093) be amended at third reading to revise the legal description of the subject property(ies) from:

1. Lot A, Section 30, Township 26, ODYD Plan KAP55948, located at 726 Clement Ave, Kelowna, BC; and
2. Block 29, Section 30, Township 26, ODYD Plan 202 Except Plans 5011 and KAP55948 located at 726 Clement Ave, Kelowna, BC;

To:

1. Lot A, Section 30, Township 26, ODYD Plan EPP83554, located at 726 Clement Ave, Kelowna, BC.

AND THAT final adoption of OCP Amending Bylaw No. 11604 (OCP17-0021) and Rezoning Bylaw No. 11605 (Z17-0093) be considered by Council;

AND THAT Council NOT authorizes the issuance of Development Permit No. DP17-0212 and Development Variance Permit No. DVP17-0213 for Lot A, Section 30, Township 26, ODYD Plan EPP83554, located at 726 Clement Ave, Kelowna, BC.

2.0 Purpose

To consider a Staff recommendation to NOT issue a Development Permit and Development Variance Permit for two mixed use six storey buildings with ground floor commercial, rental residential and surface parking.

3.0 Community Planning

The subject property has had a long history of varied development proposals following the sale of the former BC Packing house. The rezoning report outlined the previous proposals on this site (Z17-0093). Since public

hearing on the rezoning bylaw, the applicant has been working to complete the final conditions including: road dedication, paying for the off-site frontage improvements, and signing the engineering Servicing Agreement. These conditions have been satisfied resulting in consideration of the Development Permit and Development Variance Permit.

3.1 Development Permit

A major weakness in the proposal is the proposed site plan and the amount of surface parking. The parking lot and driveway areas represent approximately 62% of the total 12,106 m² site area. The City's Urban Design objectives for mixed-use developments promote the use of underground or structured parking hidden from public view. Large surface parking lots represent an underutilization of the development potential of the site, and a significant dedication of land to the automobile. This is of concern due to the project's close proximity to the Downtown and the City's desire to achieve walkable neighbourhoods that increase the vibrancy and attractiveness of the area. Upon multiple requests by Staff to include structured parking and utilize the land more intensively, the applicant insisted on surface parking as a cost effective solution in consideration of delivering purpose built rental. However, it is staff's experience in working with many other developers on rental buildings, that structured parking is feasible including Central Green, Parto Square, the Flats 1 & 2, the Mission Group's Enterprise Way, High Street on KLO and the many apartment buildings in the University South area. The developer also cites the subject property's large amount of road frontage, at 418 metres and the associated costs with urbanizing it.

The rezoning report that went to Council on May 15th 2018 warned the applicant the proposal did not meet the urban design guidelines:

"The magnitude and size of the surface parking lot are a further concern of Staff and will be issues to be resolved with the applicant during the upcoming Form & Character Development Permit. There are no other mixed-use C4 developments in the City that do not contain a portion of either underground parking or structured parking. As a form of land use, the proposed surface parking lot occupies more than 60% of the site prohibiting the project from having more green space and amenities for residents. In order for the applicant to achieve Community Planning's support for the upcoming Development Permit, Staff will be requesting substantial changes to the parking solution and anticipate changes to the current site plan."

The applicant's revisions and changes to the project since the Public Hearing for the rezoning bylaw on May 8th 2018 are summarized as follows:

- i. Addition of more green space in the south east corner (412 m²). This change allows the possibility of the property owner to attract a daycare to the eastern commercial unit as the outdoor area is now consistent with Provincial day-care licensing regulations. The revision resulted in 11 less parking stalls.
- ii. Addition of more landscape islands, trees and dedicated pedestrian routes through the parking area.
- iii. Inclusion of a small publicly accessible plaza at the corner of Richter and Clement Ave along the ground floor of Building 1.
- iv. Addition of end-of-trip facilities to commercial areas for tenants and visitors to promote cycling use.
- v. Improved building design with setbacks on the upper floors and greater articulation in the six storey building in an effort to mitigate overall building bulk and mass.

Aside from the surface parking lot, there are some design features that meet the City's urban design guidelines such as:

1. Locating buildings and courtyards on the prominent corner of Richter Street and Clement Avenue;
2. There are open spaces on-site including a publicly accessible plaza and courtyard; and

3. There is significant amount of tree planting throughout the site.



Original Design



Revised Design

Staff do acknowledge the contribution that 158 purpose-built rental units would have on the Downtown as well as the addition of commercial spaces to serve the surrounding neighbourhood. However, the purpose of Development Permits is to provide the public and development community with guidelines, expectations, and standards with respect to site layout, building form and character, and landscaping. The current policies and design guidelines do not suggest a lower standard for rental buildings. Therefore, Staff are recommending against the Development Permit and Development Variance Permit due to the project's inconsistency with major and key design guidelines such as the provision of surface parking within a prominent urban area.

3.2 Development Variance Permit

The height variance is a common variance request within the C₄ zone. Council has asked Staff to permit six storey wood framed buildings within the Zoning Bylaw and Staff will be bring forth an amending bylaw as resources within the department permit.

The parking variance is considered minimal. The applicant wishes to have the visitor parking combined with a portion of the commercial parking. Staff are proposing this rule change in the upcoming parking changes as a way to provide incentives for affordable mixed use housing with concurrent parking demands in order to not require an excess amount of parking. Commercial parking primary demand is during the day where visitor parking primary demand is in the evenings and weekends.

4.0 Proposal

4.1 Project Description

The application is to construct two six storey rental apartment buildings with ground floor commercial. The building materials on the residential portion include corrugated metal panel mixed with hardie siding as well as a longboard wood textured siding. These materials are an economical choice for rental apartments. The base building contains shop front windows alongside exposed painted concrete block walls with brick veneer columns and charcoal black aluminium flashing, guardrails, and window frames.

Subject Property Map: 726 Clement Ave

4.2 Zoning Analysis Table

Zoning Analysis Table			
CRITERIA	C4 ZONE REQUIREMENTS	PROPOSAL	
Project Stats			
		Bldg 1	Bldg 2
1 bedroom units	n/a	53	37
2 bedroom units	n/a	27	40
3 bedroom units	n/a	1	0
Total Units	n/a	81	77
Development Regulations			
Height	15.0 m / 4.0 storeys	20.52 m / 6 storeys ❶	
Front Yard (north)	0.0 m	1.85 m	
Side Yard (east)	0.0 m	63.42 m	
Side Yard (west)	2.0 m	4.19 m	
Rear Yard (south)	6.0 m	1.8 m	

Zoning Analysis Table		
CRITERIA	C4 ZONE REQUIREMENTS	PROPOSAL
Site coverage of buildings	75 %	29 %
FAR	1.3	1.19
Parking Regulations		
Minimum Parking Requirements	<u>158 Res + 23 visitor + 32 Comm</u> =213 parking stalls	<u>158 Res + 32 Comm / Visitor</u> = 190 parking stalls ^❷
Minimum Loading Spaces	1 spaces	1 spaces
Ratio of Parking Stalls	Full size: 50% Min Medium Size: 40% Max Small Size: 10% Max	Full size: 82% (154 stalls) Medium Size: 18% (36 stalls) Small Size: 0% (0 stalls)
Minimum Drive Aisle Width	7.0 m	7.0 m
Other Regulations		
Minimum Bicycle Parking Requirements	Class 1: 41 bikes Class 2: 13 bikes	Class 1: 51 bikes Class 2: 13 bikes
Private Open Space	1,905 m ²	2,585 m ²
^❶ A variance to increase the permitted height by 5.52m and 2 storeys; ^❷ A variance to count the visitor and commercial parking together.		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Contain urban growth.¹ Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

Housing Mix.² Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

Objective 5.5: Ensure appropriate and context sensitive built form.

Building Height.³ In determining appropriate building height, the City will take into account such factors as:

- Contextual fit into the surrounding neighbourhood;
- Shadowing of the public realm;
- View impacts;
- Overlook and privacy impact on neighbouring buildings;
- Impacts on the overall skyline;
- Impacts on adjacent or nearby heritage structures;

¹ City of Kelowna Official Community Plan, (Chapter 1 Introduction).

² City of Kelowna Official Community Plan, Policy 5.27.11 (Development Process Chapter)

³ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter). ³ City of Kelowna Official Community Plan, Chapter 14 (Urban Design Development Permits Area).

Chapter 14: Urban Design Guidelines Amenities, ancillary Services and Utilities.⁵

- Locate loading, garbage, storage, utilities and other ancillary services away from public view. All such areas shall be screened and designed as an integral part of the building to minimize impact;
- Create attractive rear alley facades with high quality materials on buildings facing residential areas (e.g. rear building entrances, windows, balconies, plazas, and plantings).

6.0 Technical Comments

6.1 Building & Permitting Department

Building & Permitting supports this application for development as part of the Development permit process for form and character. This is not a plan review but the following items may apply at time of Building Permit application stage.

1. Permits are required for any sales or office trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
2. A Hoarding permit is required and protection of the public from the staging area and the new building area during construction.
3. Requirements of the City of Kelowna fire prevention regulations bylaw No. 10760 for buildings 6 stories and greater are to be shown on the building permit drawings.
4. A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - a. Any alternative solution must be accepted by the Chief Building Inspector prior to the release of the Building Permit.
 - b. Location, Heights, Colors of mechanical systems and the required screening are to be determined at time of DP.
 - c. Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - d. Access to the roofs are required per NFPA and guard rails may be required and should be reflected in the plans if required.
5. This property falls within the Okanagan flood plain limits of a minimum Geodetic Elevation of 343.66 meters. This minimum elevation is required for all habitable spaces including the parking garage(s). Minimum building elevations are required to be established prior to the release of the Development Permit.
6. We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent properties is a civil matter and is the sole responsibility of the owner(s). The items of potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, undermining & underpinning of existing foundation, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work, water infiltration systems, etc.
7. Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
8. Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

6.2 Development Engineering Department

All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z17-0093. The request to increase the height from 4 stories to 6 stories does not compromise any municipal services.

7.0 Alternate Recommendation

THAT Official Community Plan Map Amendment Bylaw No. 11604 (OCP17-0021) and Rezoning Bylaw No. 11605 (Z17-0093) be amended at third reading to revise the legal description of the subject property(ies) from:

1. Lot A, Section 30, Township 26, ODYD Plan KAP55948, located at 726 Clement Ave, Kelowna, BC; and
2. Block 29, Section 30, Township 26, ODYD Plan 202 Except Plans 5011 and KAP55948 located at 726 Clement Ave, Kelowna, BC;

To:

1. Lot A, Section 30, Township 26, ODYD Plan EPP83554, located at 726 Clement Ave, Kelowna, BC.

AND THAT final adoption of OCP Amending Bylaw No. 11604 (OCP17-0021) and Rezoning Bylaw No. 11605 (Z17-0093) be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP17-0212 for Lot A, Section 30, Township 26, ODYD Plan EPP83554, located at 726 Clement Ave, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorize the issuance of Development Variance Permit DVP17-0213 for Lot A, Section 30, Township 26, ODYD Plan EPP83554, located at 726 Clement Ave, Kelowna, BC;

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B, & C":

Section 14.4.5 (c) C4 – Urban Centre Commercial Development Regulations

To vary the maximum height from 15.0m / 4storeys to 20.52m / 6 storeys.

Section 8: Parking and Loading - Table 8.1 Parking Schedule

To vary the minimum number of parking stalls from 213 stalls to 190 stalls.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

8.0 Application Chronology

Date of Application Received: Sept 27th 2017
Date Public Consultation Completed: January 23, 2018
Date of Public Hearing: May 15th 2018

Report prepared by: Adam Cseke, Planner Specialist
Reviewed by: Terry Barton, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Rationale Letter
Draft Development Permit/Development Variance Permit
Schedule 'A'
Schedule 'B'
Schedule 'C'

Development Permit & Development Variance Permit



This permit relates to land in the City of Kelowna municipally known as

726 Clement Ave

and legally known as

Lot A, Section 30, Township 26, ODYD Plan EPP83554

and permits the land to be used for the following development: Multi-Family Housing and Commercial

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted as described in Schedule 'A' and according to the following:

Section 14.4.5 (c) Development Regulations

To vary the maximum height from 15.0m / 4storeys to 20.52m / 6 storeys.

Table 8.1 Parking Schedule

To vary the minimum number of parking stalls from 213 stalls to 190 stalls.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision:

Decision By: CITY COUNCIL

Issued Date:

Development Permit Area: Comprehensive

This permit will not be valid if development has not commenced by December 5, 2019.

Existing Zone: C4 – Urban Centre Commercial

Future Land Use Designation: MXR – Mixed Use (Residential/Commercial)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: PC Urban Clement Holdings Ltd., Inc. No. BC 1099980

Applicant: PC Urban – Shawn Oh

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **\$1,038,757.50**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

July 26, 2018

Mr. Adam Cseke, Planner
City of Kelowna Planning Department
1435 Water Street
Kelowna, BC V1Y 1J4

**RE: OCP Amendment, Rezoning, and Development Application Resubmission
Development Rationale**

ADDRESS: 726 & 816 Clement Avenue, Kelowna, BC

Dear Adam:

Further to our prior meetings and correspondence, we hereby submit this rationale letter in support of subdivision application at 726 & 816 Clement Avenue in conjunction with development proposal for a mixed-use purpose built rental housing at 726 Clement Avenue. The attached drawings have been revised following comments from 2nd and 3rd council reading before advancing to 4th reading. Under PC Urban's direction, the proposal reflects consultation with City of Kelowna representatives as well as neighbours and businesses.

Introduction

The subject property is located at the northeast corner of Clement Avenue and Richter Street in Kelowna, BC (the "Property"). The Property is comprised of three legal lots that are approximately 5.34 acres (2.16 ha) combined and is currently zoned I2 (General Industrial) and I4 (Central Industrial).

PC Urban is applying to consolidate and subdivide the Property into two legal lots including a road dedication to the City: Lot A (1.21 ha), Lot B (0.675 ha), and road dedication (0.277 ha) along Clement Ave to allow for second lane expansion. In addition, we will be seeking to rezone Lot A to C4 – Urban Center Commercial to allow for two 6-storey purpose built residential buildings with retail at grade. Development application with I2 rezoning on Lot B has been submitted separately in May 2018. While existing Official Community Plan (OCP) designates the site as Industrial (IND), based on pre-application discussions with Planning and Engineering

departments, we understand the proposed form of development is strongly aligned with the City's objectives of revitalizing the urban core and improving an all-time low housing vacancy rates. This development proposal application reflects these previous discussions with Staff.

The development site is fairly flat with all former improvements on the Property removed. The Property has been remediated with three commercial Certificates of Compliance ("CoC") issued from the Ministry of Environment.

This Property is bounded by industrial users to the north (BC Tree Fruits, Sun Ripe, Sandhill Wines), a vacant lot to the east, single family residential to the south, and a new regional RCMP station to the west. In larger context, the Property is a few blocks northeast of the downtown core, Bernard Street commercial corridor, and several large scale residential and mixed-use developments. Our proposed plan takes into consideration the strong support for rezoning the Property into a higher density urban zone and gateway into the downtown core. PC Urban has developed a similar project at 972 Marine Drive in North Vancouver which has been well received by the community and provides a medium density residential option located in a highly walkable and vibrant area.

Development Rationale

The proposed plan is to construct two purpose built mixed-use rental buildings on the southwest corner of the site fronting Clement and Richter. The western building façade faces Richter Street and the eastern building façade faces Clement Avenue. A ground level open space plaza connects the two buildings and provides unobstructed access across the site from Clement Avenue. Second plaza on the east end of the building provides further landscaping and open space, encouraging pedestrian traffic.

The two buildings will resemble each other in design and consist of commercial retail space on the first level and residential rental units above. The size of two buildings combined is approximately 14,429 m², with +/- 158 residential units and +/- 1,778 m² of commercial retail space. Ground floor façade is carried up to 2nd level to bring character and charm to the streetscape. This also brings sense of human scale to retail space and distinguishes it from the residential space above. All residential units include outdoor deck space with 2nd level units enjoying larger walkout decks. Recessed balconies on levels 3 through 6 reduce the bulkiness of the buildings as well as provide shading for hot sunny days in Kelowna. Columns of balconies have been vertically banded together to introduce building mass articulation and rhythm, and to introduce different materials and colours on the façade. Street level commercial units bring

active interaction to this site and make a strong link between public and private spaces. Ground floor corner at Richter St. and Clement Ave. is recessed to facilitate pedestrian flow.

The two buildings share common surface parking with entrances from Vaughan Avenue and Clement Avenue. Majority of the parking surface will be located on the interior of the site and shielded from street view by the two buildings. On the south-east corner of the lot, a trellis structure will run along Clement Avenue and extend into the open plaza to not only screen the remainder of parking lot but also add visual interest. A breezeway cutting through the middle of first floor connects the parking lot to the sidewalk and allows for pedestrian access.

The proposed uses were carefully developed following detailed market analysis and responds to a severe lack of purpose built, long-term, residential rental supply as well as the desire to transform the downtown north industrial area into a part of the vibrant downtown core.

The development proposal is based on our extensive urban experience and we believe it achieves a balance of uses, site coverage, massing, parking, and overall design as the basis of this application. Some of the fundamentals we ask that be taken into consideration in your assessment are summarized below and in the attached drawing submission.

Site Uses, Layout & Density

- The proposed uses for the site are consistent with those outlined in the C4 Urban Center Commercial bylaw.
- Proposed Floor-Area-Ratio after City dedication is 1.19 (after lot dedication to City) which is below 1.3 permitted under C4 zoning.
- Per the comments from councilmembers and Planning to increase pervious surface, parking stalls are reduced from 231 to 190 spaces (190 spaces required), and 2 loading bays are provided.
- Statutory right of way allowing public access through the site will be registered on the internal road dividing Lot A and B.
- Two open space plazas are proposed to serve as social gathering area for building residents and commercial customers.

Building Design & Massing

- Setbacks:
 - Façade are setback 3.7m on first floor and 5.8m on second to sixth floor at building 1, and 1.8m on first floor and 3.4m on second to sixth floor at building 2. All setbacks adhere to the requirements set under zoning bylaws.

- Height:
 - The development will require a variance to the maximum height under the C4 zoning bylaw. The proposed buildings are 6-storeys and approximately 20.5 meters (67'-3") in height which allows the necessary density to provide the City of Kelowna with a purpose-built rental building. We see the location of Property being ideal for renters seeking vibrant urban lifestyle as it is within a 15-minute walk to the downtown business district, Knox Mountain Park and Okanagan Lake.
- Sustainability:
 - Sustainable design elements have been incorporated during the schematic design of this proposal and will continue to be the focal point in design development phase. The urban location and mixed-uses on the site is anticipated to reduce car travel. Additionally, the added density reinforces a pedestrian-centered community with easy access to shopping, beaches, parks, and bike paths. From oversized balconies in every unit to the public plaza at grade, the Property's planning strategy maximizes access to open space as much as possible. The building's exterior has been designed for low maintenance and has a durable timeless aesthetic.
 - Energy efficiency will be achieved through passive building design principles. Windows are operable for ample ventilation, and window sizes and glazing types will be optimized for natural light energy performance.
 - End of trip facilities including lockers, bike storages, and a washroom are designed for commercial space tenants to encourage alternative transit modes than personal automobiles.
 - The site has been designed with a third building in mind on the eastern end of the property line, adding an additional 70-80 units in the future. This will be further developed as the two proposed buildings become fully tenanted and the urban potential of the area is fully realized, thereby increasing demand for walkable downtown rental apartments.
- Landscape:
 - Landscape elements will reference and reinforce the history of the land by featuring paving with wood pattern, chunky timber elements, and weathered steel to express and reflect the historic patterns and materials of the area.

- Plantings will also help the project fit in with the context and the local ecology. Drought tolerant, local, and native plant choices will be expressive of a Kelowna feeling, while being durable and attractive in all seasons. Mixed with natural stone and wood elements, plantings will feel very expressive of the area.
- Plant materials are in addition selected based on low-maintenance and highly attractive characteristics, with low water requirements to maximize the year-round visual interest and function of the landscape designs.
- Civil & Storm Water Management
 - A schematic design report and draft civil drawings have been included in the submission. Further detailed design will be provided at the building permit phase.
 - Stormwater servicing is proposed to be in compliance with the City of Kelowna by-law 7900.

We believe the proposed form of development is consistent with and strengthens the existing neighborhood; provides employment generating opportunities to the City; maintains continuity of the urban environment; and based on the successful completion of other urban mixed-use projects, we are confident that the form of development is balanced and will function well for land use, parking, and tenant livability.

Thank you for your consideration. We can expand further upon our findings and answer any questions that have not been addressed in the application. We look forward to moving through the process with you and will provide quick turnaround time to expedite the process.

Respectfully submitted,
PC Urban Clement Holdings Ltd.



Shawn Oh
Assistant Development Manager

/attachments

CLEMENT AVE MIXED USE DEVELOPMENT

SCHEDULE A & B

This forms part of application # D17-0212 / DVP17-0212

City of Kelowna

Planner Initials AC

Consultants

Date: 19/04/20
Issue / Revision: Revised DP



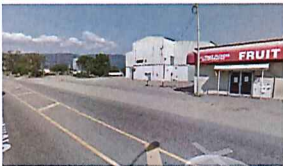
P3: Existing site bird's eye view looking from southwest



P3: Existing site bird's eye view looking from southwest



P1: Existing Site view from corner of Clement Ave and Richter St



P2: Existing Site view from Clement Ave looking west



P3: Existing Site view from corner of Vaughan Ave and Richter St



P4: Existing Site view from corner of Vaughan Ave and Richter St looking northwest



P5: Existing Site view from Vaughan Ave looking west



V1: Proposed B1 & B2 view from corner of Clement Ave and Richter St



V2: B1 & B2 view from southwest corner



V3: B1 Commercial Level View

Project Data:

Project Address: 726 Clement Ave,
Kelowna, BC

Legal Description:

BLK 20 DIVISION 36 TOWNSHIP 26 D010
PLAN 202 C/DEPT PLANS B11 1460 R/W/STAIRS
LOT 4 SECTION 36 TOWNSHIP 26 D010 PLANS 202/203
LOT 1 1460 LOT 2 SECTION 36 TOWNSHIP 26 D010/203
GARSON VALE DISTRICT PLANS 202/203

Project Team:

Developed by: PC Urban Properties Corp.
800 - 100100 George St. Vancouver, BC
V 604 681 3467

Architecture: NSDA Architects
205-134 Abbott St. Vancouver, BC
V 604 681 1015

Landscape: Connect Landscape Architecture
2307 Main St. Vancouver, BC
V 604 681 3363

Civil: True Consulting

205-134 Abbott St. Vancouver, BC
V 604 681 1015
F 604 681 2410

Survey: Vector Geometric Land Surveying

510-1800 Industrial Pk. Kelowna BC
V 250 628 0712

Drawings List

- A001.....Cover Sheet
.....Survey Plan
A002.....Site Plan
A003.....Roof Plan
A005.....Site Plan (Parking Level 1, B3)
A006.....Site Plan (Parking Level 2, B3)
A101.....Floor Plans B1
A102.....Floor Plans B2
A103.....Future FSR (B3 Floor Plans)
A301.....Elevations B1
A302.....Elevations B2
L1.0 to L3.0.....Landscape
1 to 13.....Civil



PCurban
property reimagined

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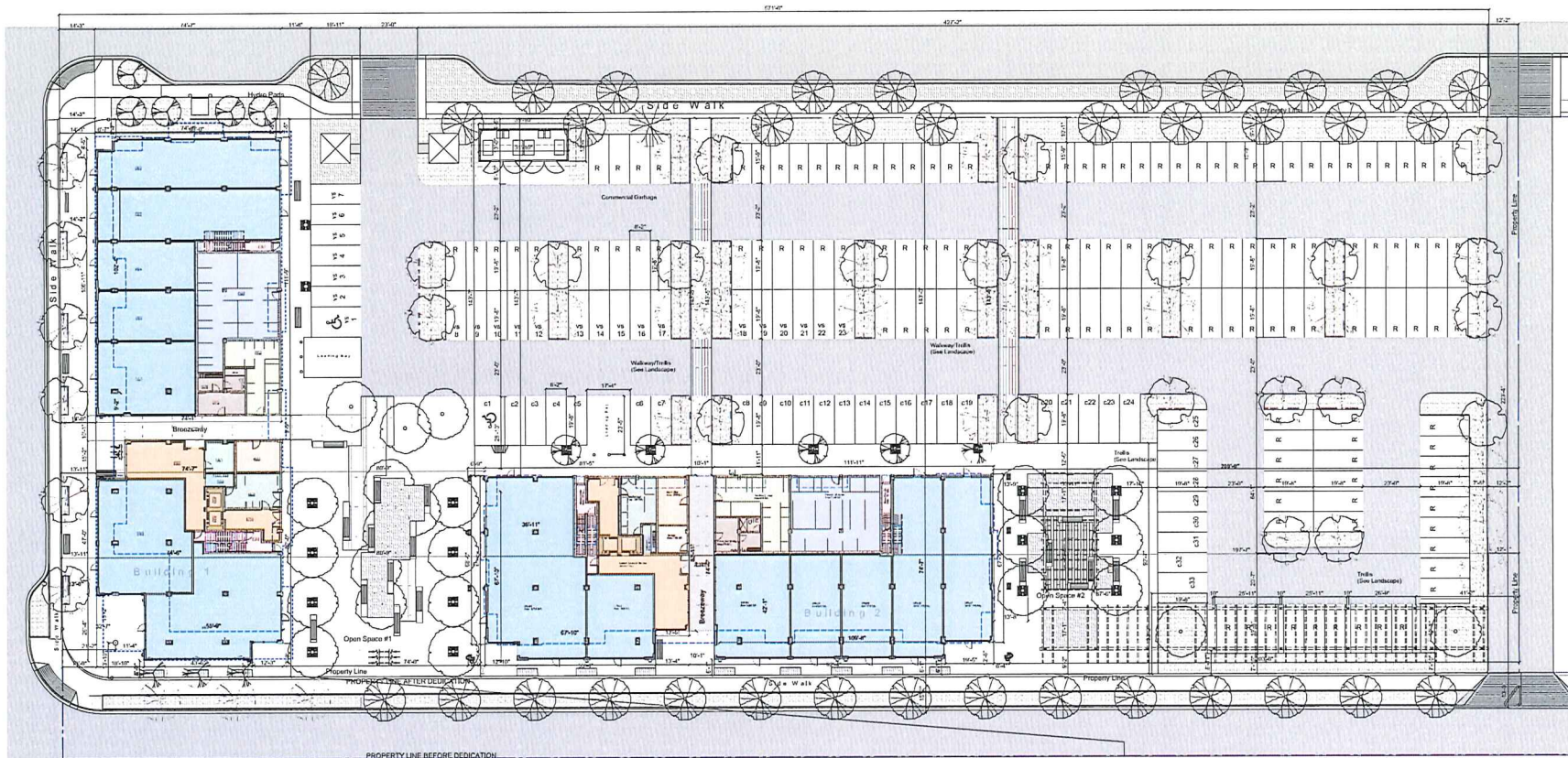
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Project:
Clement Ave Mixed Use
Development

Sheet Title:
Cover Sheet

Project Number:
16049
Scale:
N.T.S.
Sheet Number:
A-001



Complan

Date: 10/01/15
Issue: Plan/Spec
Revised: Parking



Scale

pcurban
property re:imagined

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Project:
Clement Ave Mixed Use Development

Sheet Title:
Site Plan/Statistics

Project Number:
16049
Scale:
1/250
Sheet Number:
A-002

Site Statistics		Parking		Required No. of Parking	Proposed Parking Area
Project Address: 201-124 Abbott St, Kelowna, B.C.		Building 1 Residential		21 units	
City of Kelowna Application: 17-0212 / DVP17-0212		Building 2 Commercial		12 units	
Lot Area: 10,000 sq. ft.		Building 3 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 4 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 5 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 6 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 7 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 8 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 9 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 10 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 11 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 12 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 13 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 14 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 15 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 16 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 17 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 18 Commercial		12 units	
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Proposed FSI: 10,000 sq. ft.		Building 26 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 27 Commercial		12 units	
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Proposed FSI: 10,000 sq. ft.		Building 30 Commercial		12 units	
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Proposed FSI: 10,000 sq. ft.		Building 34 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 35 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 36 Commercial		12 units	
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Proposed FSI: 10,000 sq. ft.		Building 38 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 39 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 40 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 41 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 42 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 43 Commercial		12 units	
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Proposed FSI: 10,000 sq. ft.		Building 68 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 69 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 70 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 71 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 72 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 73 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 74 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 75 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 76 Commercial		12 units	
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Proposed FSI: 10,000 sq. ft.		Building 96 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 97 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 98 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 99 Commercial		12 units	
Proposed FSI: 10,000 sq. ft.		Building 100 Commercial		12 units	



Seal

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Project

Clement Ave Mixed Use Development

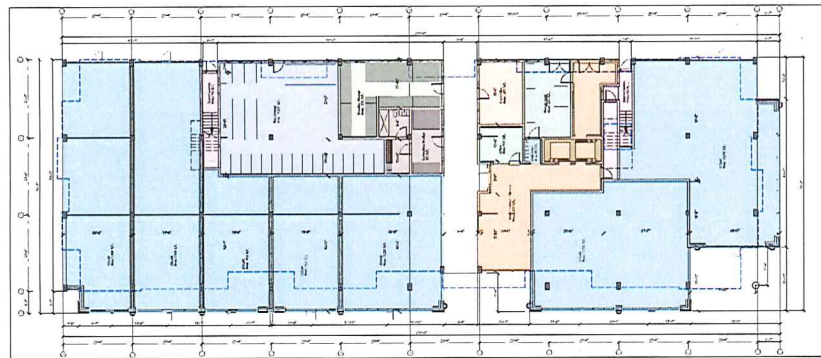
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Roof Plan

Project Number
16049

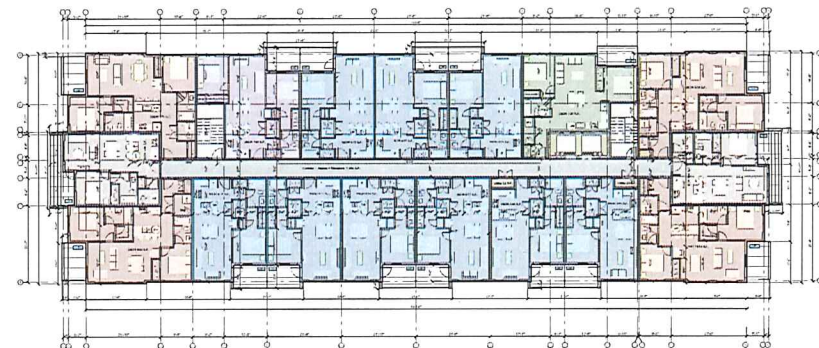
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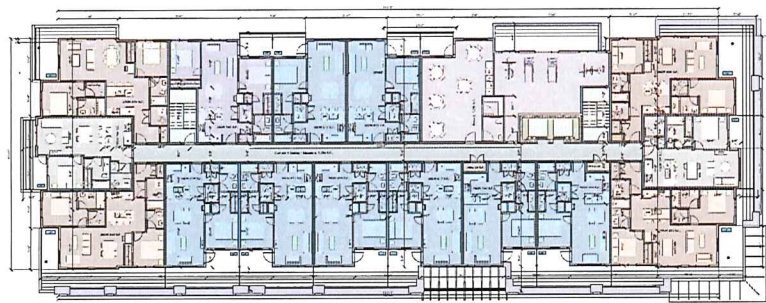
Consultants



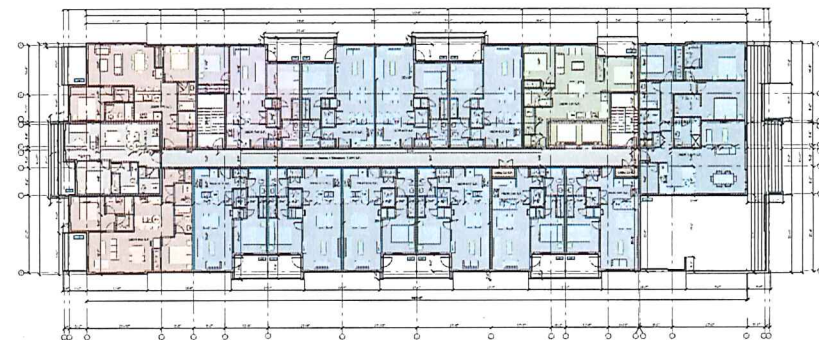
Ground Floor Plan Building 1



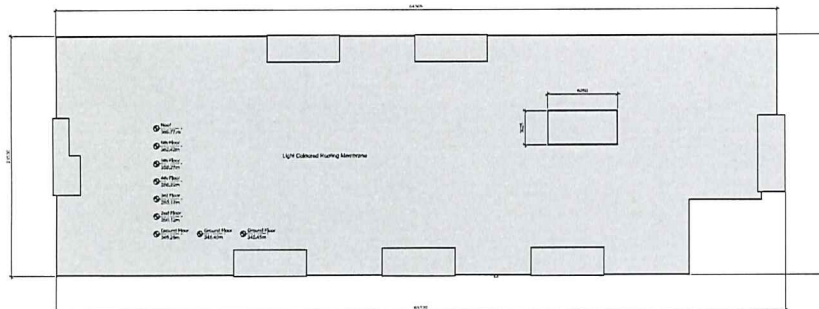
Typ. 3rd, 4th & 5th Floor Plan Building 1



2nd Floor Plan Building 1



6th Floor Plan Building 1



Legend:

	One Bedroom type I		Three Bedroom
	One Bedroom type II		Commercial Hotel Unit (CHU)
	Two Bedroom type I		Resident of Common Area
	Two Bedroom type II		Amenity Area
	Two Bedroom type III		Heat Pump
	Two Bedroom type IV		Heat Pump
	Two Bedroom type V		Heat Pump



Date: 18/07/2016
Issue / Revision: Revised DP



Scale

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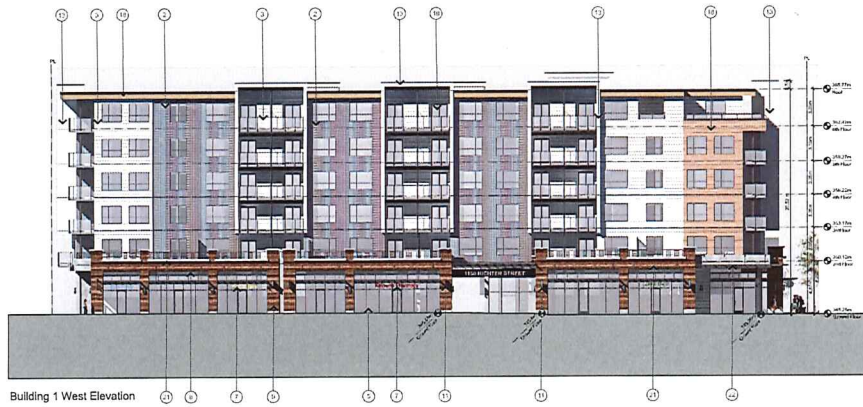
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Project:
Clement Ave Mixed Use Development

Sheet Title:
Floor Plans Building 1

Project Number:
16049
Scale:
1/200
Sheet Number:
A-101



Building 1 West Elevation



Building 1 North Elevation



Building 1 East Elevation

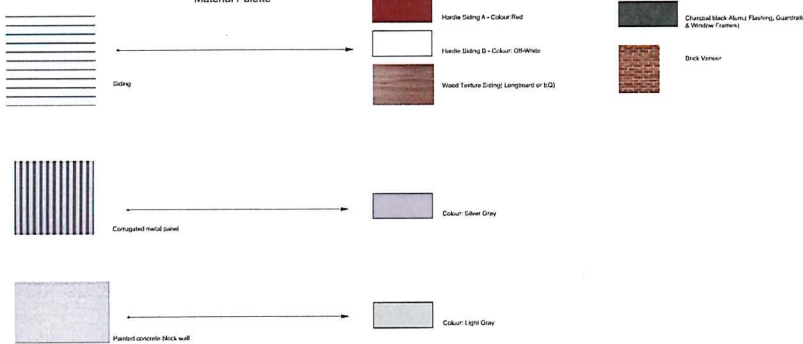


Building 1 South Elevation

Material List:

- 1- Hardie Siding A - Hardie Fascia A
- 2- Corrugated Metal Panel
- 3- Hardie Siding B
- 4- Alum. Flashing (Black)
- 5- Shop Front Windows
- 6- Exposed Concrete/Concrete Block painted
- 7- Charred Lumber Sign
- 8- Alum. Louver
- 9- Brick Veneer
- 10- Exterior Light Fixture
- 11- Multi-colored Sign
- 12- Stained Wood Panel on Concrete Base
- 13- Hardie Panel (GR/White)
- 14- Aluminum - Glass Canopy
- 15- Glass Central W. Alum. Frame
- 16- Metal Door
- 17- Alum. Overhead
- 18- Wood Texture String (onboard or T/G) Matching Hardie Fascia
- 19- Vinyl Window (Gate Door/Black)
- 20- Concrete Post
- 21- Concrete Cap

Material Palette

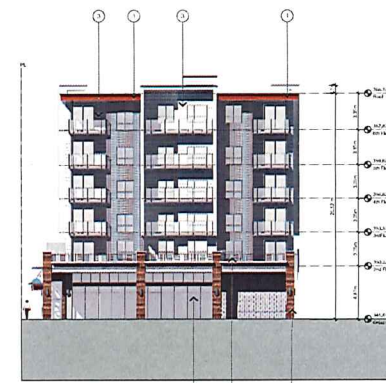




Building 2 South Elevation



Building 2 North Elevation



Building 2 East Elevation

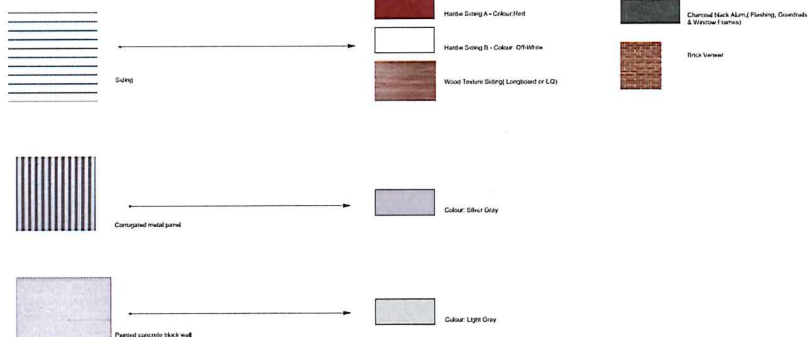


Building 2 West Elevation

Material List:

- 1- Hardie Siding A - Hardie Fascia A
- 2- Corrugated Metal Panel
- 3- Hardie Siding B
- 4- Alum. Flashing (Black)
- 5- Shop Front Windows
- 6- Exposed Concrete Concrete Block (permitted)
- 7- Charred Lath Sigs
- 8- Alum. Louver
- 9- Brick Veneer
- 10- Exterior Light Fixture
- 11- Wall-mounted Sign
- 12- Stained Wood Post on Concrete Base
- 13- Hardie Panel (DR White)
- 14- Aluminum - Glass Canopy
- 15- Glass Quonset W/Alum. Frame
- 16- Metal Door
- 17- Alum. Quonset
- 18- Wood Texture Siding (Longwood or L2)
- 19- Vinyl Window/Patio Door (Black)
- 20- Concrete Post
- 21- Concrete Cap

Material Palette



Consultants

Date: 19-07-2016
Issue / Revision: Revised DDP



Seal

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NSDA
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Project:
Clement Ave
Mixed Use
Development

Sheet Title:
Elevations Building2

Project Number:
16049
Scale:
1/200
Sheet Number:
A-302

CLEMENT AVENUE

KELOWNA, BRITISH COLUMBIA

LANDSCAPE OFFSITE - ISSUED FOR REVIEW

LANDSCAPE DRAWING INDEX

SHEET No.	SHEET NAME
1 OF 6	COVER PAGE
2 OF 6	NOTES & LEGENDS
3 OF 6	VAUGHAN AVENUE LAYOUT & PLANTING
4 OF 6	RICHTER STREET LAYOUT & PLANTING
5 OF 6	CLEMENT AVENUE LAYOUT & PLANTING
6 OF 6	SOFTSCAPE DETAILS



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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VAUGHAN AVE

RICHTER ST

CLEMENT AVE

0 8 15 M

1 ISSUED FOR CLIENT REVIEW 18-07-17
REVISIONS

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Clement Avenue and
Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia
Scale: 1:250
Drawn: KW
Reviewed: DS
Project No. 06-545

COVER PAGE

1 OF 6

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DETAILS, SPECIFICATIONS, AND/OR OTHER CORRESPONDENCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

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ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

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ALL EXISTING TREES TO BE PROTECTED PER DRAWINGS AND CITY OF KELOWNA REQUIREMENTS.

ALL OFF-SITE PLANTING TO KELOWNA STANDARDS AND SPECIFICATIONS. TREE SPECIES TO BE CONFIRMED PRIOR TO INSTALLATION.














THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL OFF-SITE WORKS TO CONFORM TO CITY OF KELOWNA STANDARDS.

LAYOUT AND MATERIALS NOTES

1. ALL DIMENSIONS ARE METRIC (METRES) UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
3. ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
4. THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
5. REPAIR / OR REMOVE AND REPLACE - EXISTING LANDSCAPE WORKS AS REQUIRED TO MATCH PRE-EXISTING CONDITIONS - AT LIMIT OF WORK LINE, TYPICAL.
6. THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. ALL OFF-SITE WORKS TO CONFORM TO CITY OF KELOWNA STANDARDS.
8. INSTALL LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, WALLS, PLANTING, ETC., TO BE CONFIRMED WITH CITY OF KELOWNA PRIOR TO INSTALLATION.
9. CONCRETE CUT LINES PER LANDSCAPE IFC DRAWINGS.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	SUN EXP.
Trees						
	37	<i>Acer rubrum</i> 'Armstrong'	Armstrong Red Maple	7cm cal. 1.8m std. Full branching B&B	As Shown	☉
	5	<i>Acer saccharum</i> 'Apollo'	Apollo Fastigate Sugar Maple	6cm cal. 1.8m std. Full branching B&B	As Shown	☉
Shrubs						
	44	<i>Berberis</i> 'Ruby Glow'	Dwarf Red Barberry	#3 pot	@600mm O.C.	☉
	8	<i>Clethra alnifolia</i>	Sweet Pepper Bush	#2 pot	@1200mm O.C.	☉
	39	<i>Cornus sericea</i> 'Arcle Fire'	Dwarf Dogwood	#2 pot	@750mm O.C.	☉
	39	<i>Ericameria nauseosus</i>	Rabbit Bush	#2 pot	@600mm O.C.	☉
	6	<i>Picea abies</i> 'Nidiformis'	Bird's Nest Spruce	#2 pot	@600mm O.C.	☉
	34	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	#2 pot	@750mm O.C.	☉
Ornamental Grasses						
	61	<i>Calamagrostis x Acutiflora</i>	Feather Reed Grass	#2 pot	@750mm O.C.	☉
	20	<i>Pennisetum alopecuroides</i>	Dwarf Fountain Grass	#2 pot	@750mm O.C.	☉
	18	<i>Sporobolus heterolepis</i>	Prairie Dropseed	#2 pot	@600mm O.C.	☉
Perennials						
	4	<i>Rudbeckia triloba</i>	Brown-eyed Susan	#1 pot	@600mm O.C.	☉
	780m ²	Sod Lawn				
Full Sun ☉ Part Sun / Shade ☉ Shade ●						

PLANTING NOTES

1. PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION, IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
2. ALL PLANTING PLANS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DETAILS AND SPECIFICATIONS.
3. CONTRACTOR TO LAYOUT TREES FOR APPROVAL BY THE CONSULTANT AND/OR THE CITY OF KELOWNA PRIOR TO COMMENCEMENT OF WORK.
4. ALL PLANTING BEDS TO BE MULCHED, SMOOTHED, AND RAKED IN ACCORDANCE WITH SPECIFICATIONS.
5. ALL UTILITIES ARE TO BE IDENTIFIED AND STAKED OUT BY CONTRACTOR BEFORE CONSTRUCTION. CONFLICTING UTILITIES TO BE PROTECTED BY CONTRACTOR PRIOR TO PLANTING.
6. ALL EXISTING TREES TO BE PROTECTED PER DRAWINGS AND CITY OF KELOWNA REQUIREMENTS.
7. DAMAGE TO EXISTING VEGETATION TO BE REPLACED AND REPAIRED.
8. ALL PLANTING IS TO BE COMPLETED IN SUCH A MANNER AS TO PREVENT THE RELEASE OF SILT, SEDIMENT, OR SEDIMENT LADEN WATER, OR ANY OTHER DELETERIOUS SUBSTANCES INTO ANY STREET OR STORM SEWER.
9. ALL OFF-SITE PLANTING TO KELOWNA STANDARDS AND SPECIFICATIONS. TREE SPECIES TO BE CONFIRMED PRIOR TO INSTALLATION.



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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1. ISSUED FOR CLIENT REVIEW 18-03-17
REVISIONS

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Clement Avenue and
Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale: N/A
Drawn: KW
Reviewed: DS
Project No. 06-545

NOTES & LEGENDS



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTINUATION IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.



1. ISSUED FOR CLIENT REVIEW 28-03-17
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726 Clement Avenue
Kelowna, British Columbia

Scale: AS SHOWN
Drawn: KW
Reviewed: DS
Project No. 06-545

VAUGHAN AVENUE
LAYOUT & PLANTING

3 OF 6

VAUGHAN AVE

CIP CONCRETE SIDEWALK

SEE PLANTING PLAN ENLARGEMENT 1

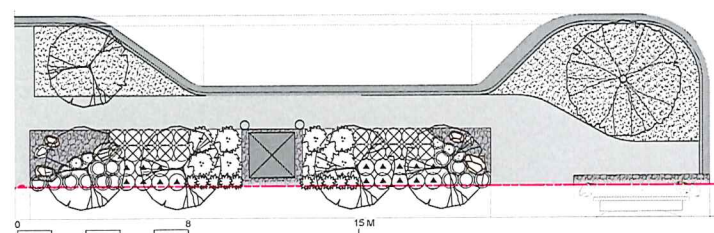
SEE PLANTING PLAN ENLARGEMENT 2

SEE PLANTING PLAN ENLARGEMENT 3

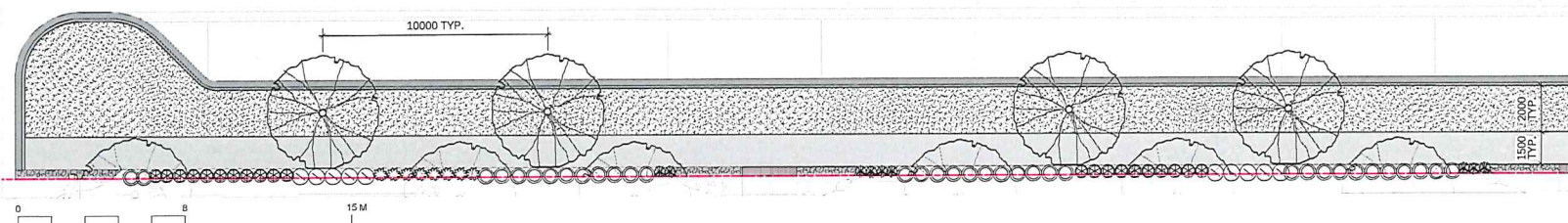
RIVER COBBLE AND BOULDERS

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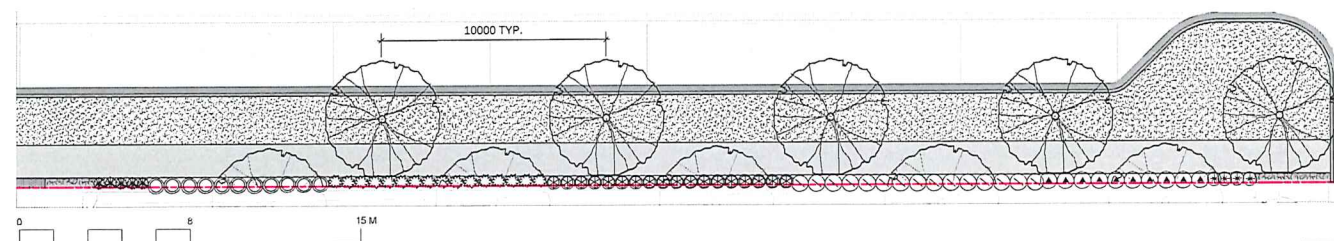
LAYOUT PLAN
1:250



PLANTING PLAN ENLARGEMENT 1
1:100



PLANTING PLAN ENLARGEMENT 2
1:100



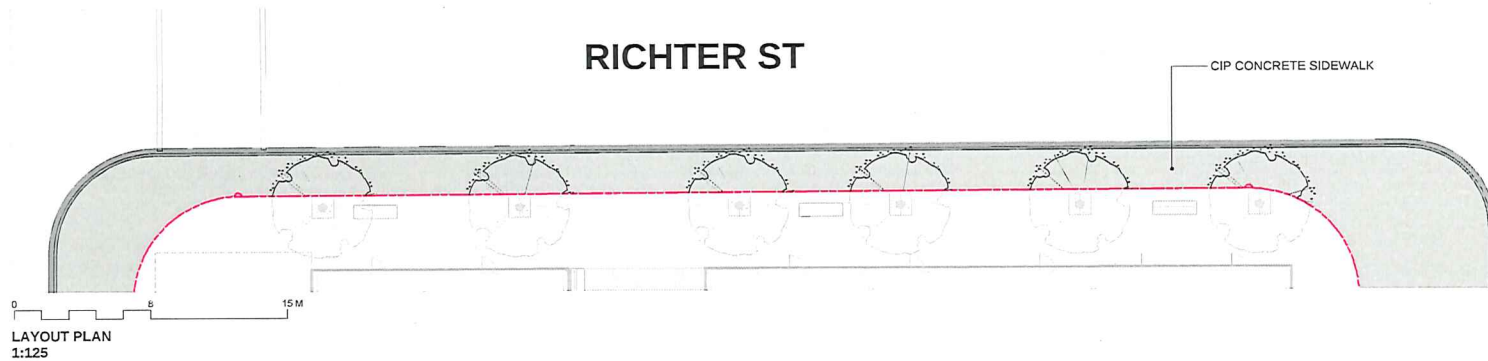
PLANTING PLAN ENLARGEMENT 3
1:100

NOTE:
1. SEE PAGE 2 OF 7 FOR PLANT LIST AND COUNT.



RICHTER ST

CIP CONCRETE SIDEWALK



LAYOUT PLAN
1:125

CONNECT LANDSCAPE ARCHITECTURE B.C. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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726 Clement Avenue
Kelowna, British Columbia

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Project No. 06-545

RICHTER AVENUE
LAYOUT & PLANTING

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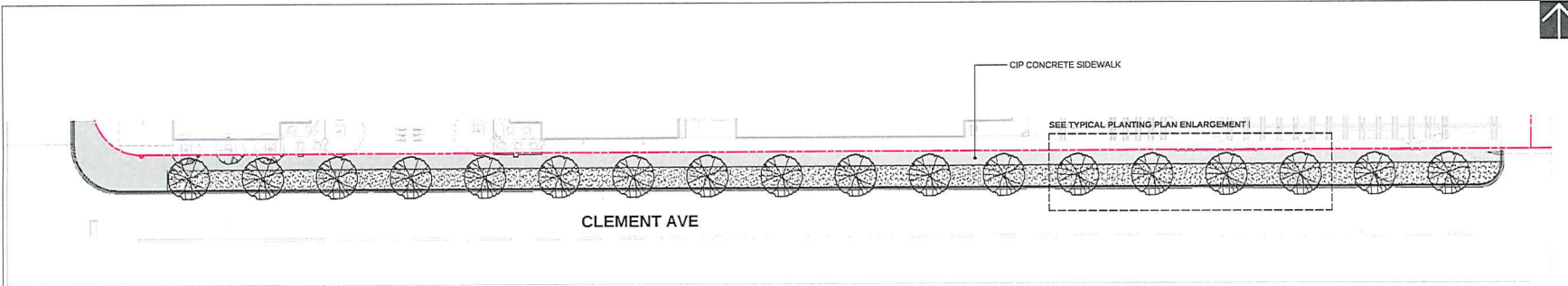
Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

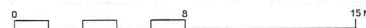
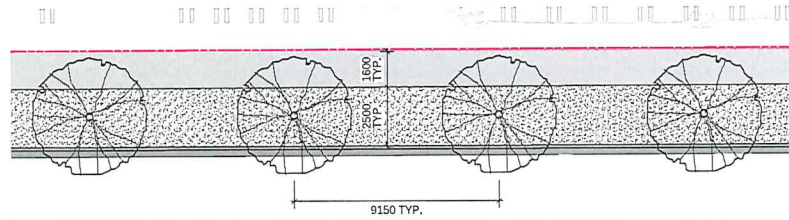
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Drawn: KW
Reviewed: DS
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CLEMENT AVENUE
LAYOUT & PLANTING

5 OF 6

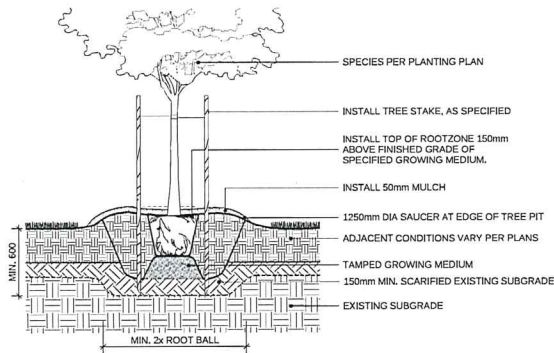


LAYOUT PLAN
1:250

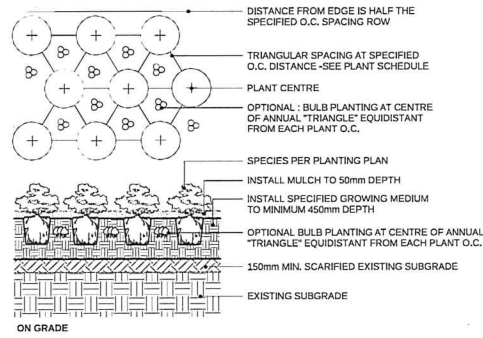


TYPICAL PLANTING PLAN ENLARGEMENT
1:100

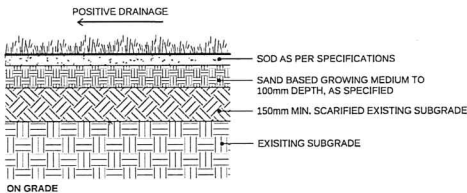
NOTE:
1. SEE PAGE 2 OF 7 FOR PLANT LIST AND COUNT.



1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



2 SHRUB AND GROUNDCOVER PLANTING (TYPICAL)
Scale: 1:25



3 SOD LAWN (TYPICAL)
Scale: 1:10

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Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale: AS SHOWN
Drawn: KWDS
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Project No. 06-545

OFFSITE DETAILS
SOFTSCAPE

Clement Avenue and Richter Street Mixed-Use

LANDSCAPE ARCHITECTURAL SET - ISSUED FOR REVIEW - 6 JULY 2018



connect
LANDSCAPE ARCHITECTURE

LANDSCAPE DRAWING INDEX

SHEET No.	SHEET NAME
L1.0	COVER SHEET AND CONTEXT PLAN
L1.1	CONCEPT PLAN - WEST SIDE
L1.2	CONCEPT PLAN - EAST SIDE
L1.3	LANDSCAPE CONCEPT WEST PLAZA
L1.4	LANDSCAPE CONCEPT EAST PLAZA
L2.0	PRECEDENT MATERIALS
L2.1	PLANT MATERIALS AND SCHEDULE
L2.2	PLANTING PLAN - WEST SIDE
L2.3	PLANTING PLAN - EAST SIDE
L3.0	IRRIGATION PLAN
L3.1	FEATURE TRELLIS DETAILS
L3.2	FEATURE TRELLIS DETAILS

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LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

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FINAL SPACING, SELECTION, TREE SPECIES TO THE SATISFACTION OF THE CITY OF KELOWNA.

ALL PUBLIC REALM DETAILS TO CITY OF KELOWNA STANDARDS



5. REISSUED FOR REVISED DP	18-02-02
4. ISSUED FOR CLIENT REVIEW	17-09-18
3. ISSUED FOR CLIENT REVIEW	17-06-27
2. ISSUED FOR CLIENT REVIEW	17-05-31
1. ISSUED FOR CLIENT REVIEW	17-05-24

REVISIONS

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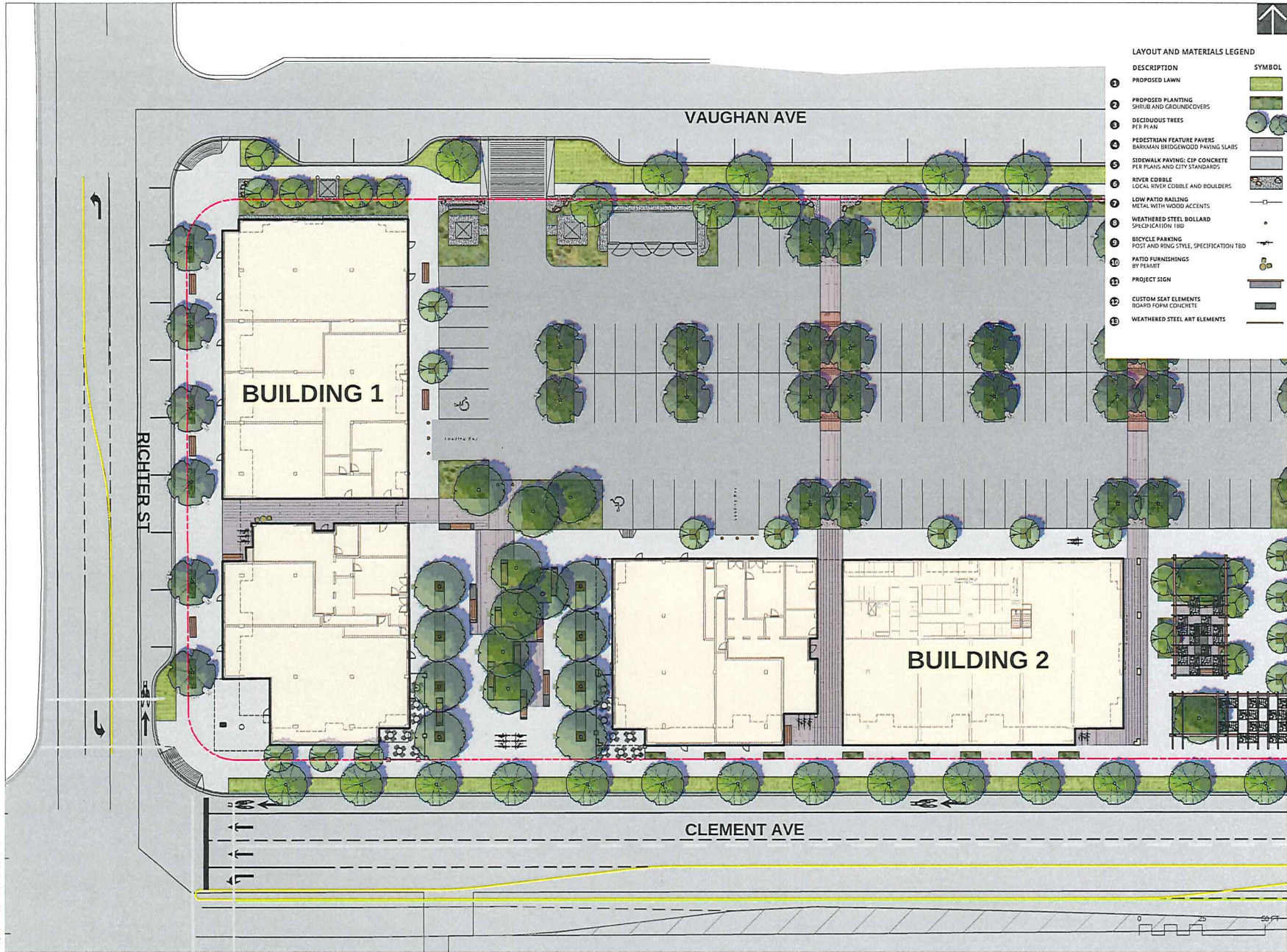
Clement Avenue and
Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale: 1/16"=1'-0"
Drawn: KD
Reviewed: DS
Project No. 06-545

LANDSCAPE COVER PAGE
AND CONTEXT PLAN

L1.0



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LAYOUT AND MATERIALS LEGEND

DESCRIPTION	SYMBOL
1 PROPOSED LAWY	
2 PROPOSED PLANTING SHRUB AND GROUNDCOVERS	
3 DECIDUOUS TREES PER PLAN	
4 PEDESTRIAN FEATURE PAVES BARKMAN BRIDGEWOOD PAVING SLABS	
5 SIDEWALK PAVING: CIP CONCRETE PER PLANS AND CITY STANDARDS	
6 RIVER COBBLE LOCAL RIVER COBBLE AND BOULDERS	
7 LOW PATIO RAILING METAL WITH WOOD ACCENTS	
8 WEATHERED STEEL BOLLARD SPECIFICATION TBD	
9 BICYCLE PARKING POST AND RING STYLE, SPECIFICATION TBD	
10 PATIO FURNISHINGS BY PERMIT	
11 PROJECT SIGN	
12 CUSTOM SEAT ELEMENTS BOARD FORM CONCRETE	
13 WEATHERED STEEL ART ELEMENTS	



REVISIONS	
5	REVISED FOR REVISED DP 18-02-02
4	ISSUED FOR CLIENT REVIEW 17-09-18
3	ISSUED FOR CLIENT REVIEW 17-06-27
2	ISSUED FOR CLIENT REVIEW 17-05-31
1	ISSUED FOR CLIENT REVIEW 17-05-24

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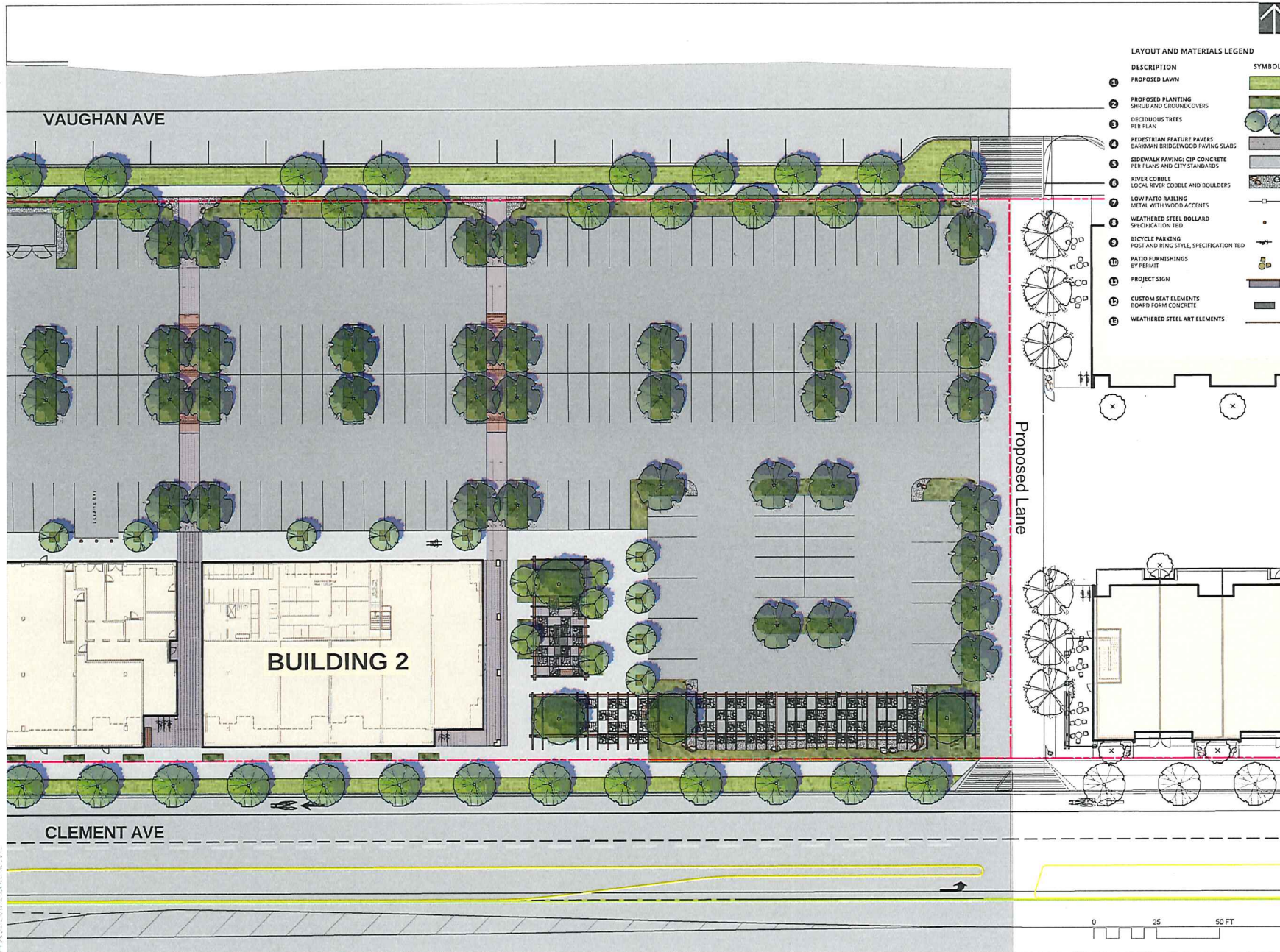
Clement Avenue and
Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale: 1:200
Drawn: KD
Reviewed: DS
Project No. 06-545

LANDSCAPE CONCEPT
WEST SIDE

L1.1





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5. REISSUED FOR REVISED DP	18-02-02
4. ISSUED FOR CLIENT REVIEW	17-09-18
3. ISSUED FOR CLIENT REVIEW	17-06-27
2. ISSUED FOR CLIENT REVIEW	17-05-31
1. ISSUED FOR CLIENT REVIEW	17-05-24
REVISIONS	

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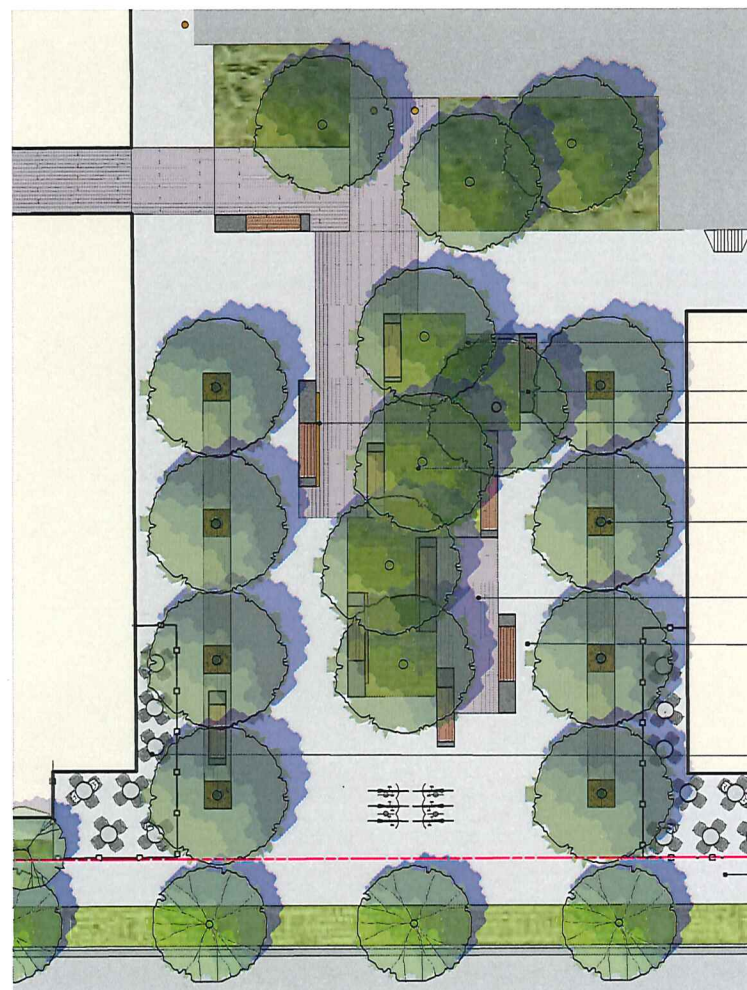
Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale:	1:100
Drawn:	KD
Reviewed:	DS
Project No.	06-545

LANDSCAPE CONCEPT
WEST PLAZA

L1.3



- SHADE TREES
- CUSTOM SEATING
- POTENTIAL ART PANEL LOCATIONS
- CENTRAL PLANTING AREA WITH SHADE TREES
- TREES IN TREE GRATES
- SPECIAL PAVING DEFINES SEATING ZONES
- CIRCULATION ZONE
- POSSIBLE RESTAURANT PATIO
- SIDEWALK

0 5 15 M



LANDSCAPE CHARACTER AND PRECEDENTS

DETAILED WEST COURTYARD PLAN - 1:100



CONNECT LANDSCAPE ARCHITECTURE B.C. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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SHADE TREE
AND PLANTING
BED BELOW

TREE WITH LAYERED
PLANTING BED

TABLE

BENCH SEATING

SHADE TREE
AND PLANTING
BED BELOW

FEATURE METAL PANELS ON
TOP OF TIMBER TRELLIS

0 8 15 M

DETAILED EAST COURTYARD PLAN - 1:100



LANDSCAPE CHARACTER AND PRECEDENTS

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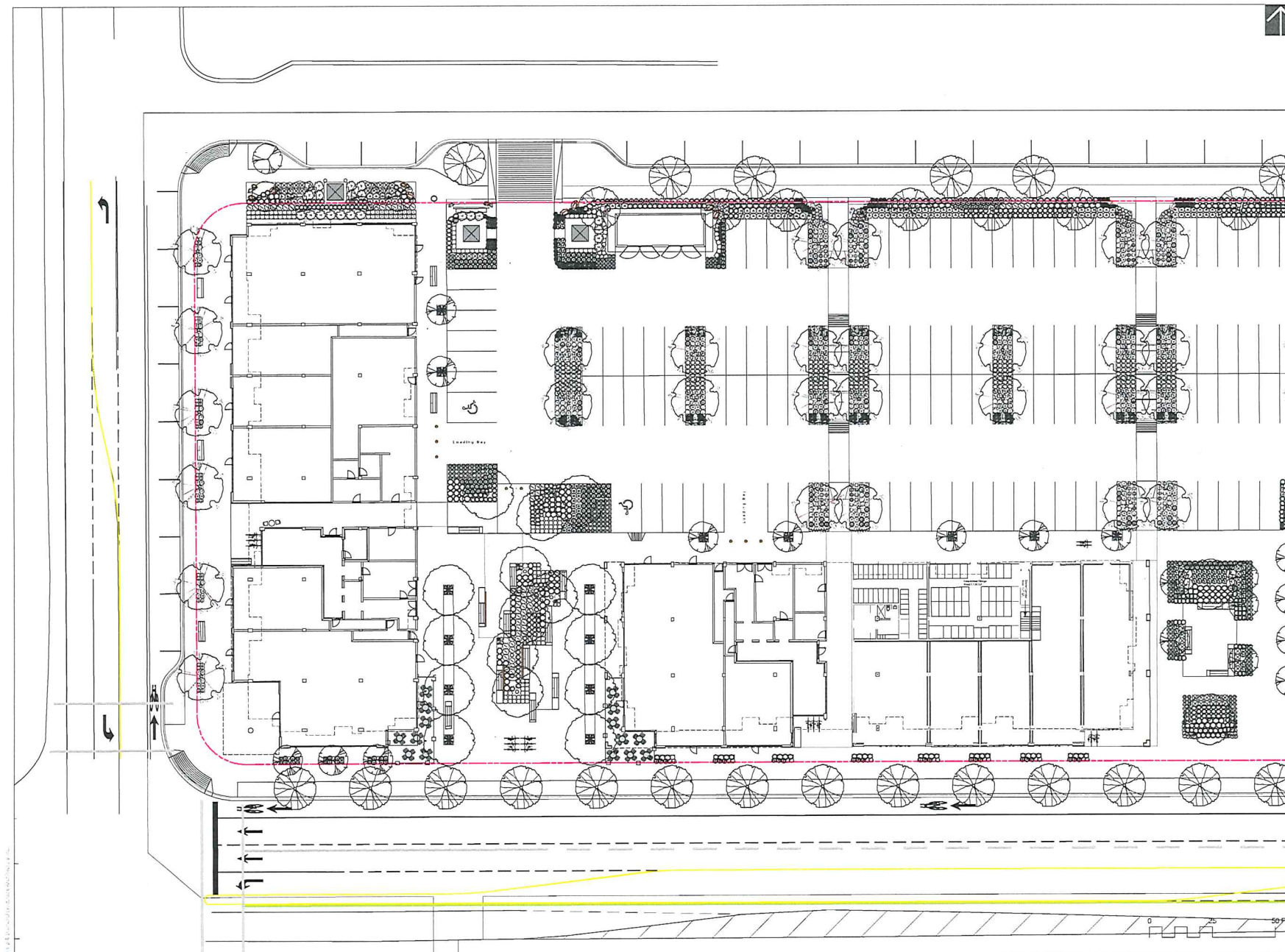
Clement Avenue and
Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale: 1:200
Drawn: KD
Reviewed: DS
Project No. 06-545

LANDSCAPE CONCEPT
EAST PLAZA

L1.4



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5. REISSUED FOR REVISED DP	18-02-02
4. ISSUED FOR CLIENT REVIEW	17-09-18
3. ISSUED FOR CLIENT REVIEW	17-06-27
2. ISSUED FOR CLIENT REVIEW	17-05-31
1. ISSUED FOR CLIENT REVIEW	17-05-21

REVISIONS

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**Clement Avenue and
Richter Street Mixed-Use**

726 Clement Avenue
Kelowna, British Columbia

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**LANDSCAPE PLANTING
PLAN WEST SIDE**

L2.2

LANDSCAPE CHARACTER

- RUSTIC MATERIALS COMBINED WITH DROUGHT-TOLERANT PLANTS.
- ATTRACTIVE ORNAMENTAL GRASSES.
- LOCAL MATERIALS, RIVER COBBLE, BOULDERS, TIMBERS.



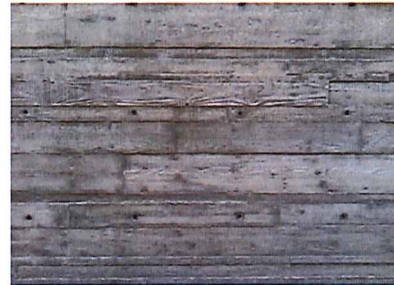
SEATING AND WALLS

- LARGE AND SIMPLE FORMS.
- COLOURS THAT CONTRAST WITH THE PLANTING MATERIALS.
- BOARD-FORM CONCRETE FOR CUSTOM SEATS AND WALLS, TO RELATE TO PACKING BOX THEME.
- POTENTIAL FOR TIMBERS INTEGRATED AS SEAT TOPS



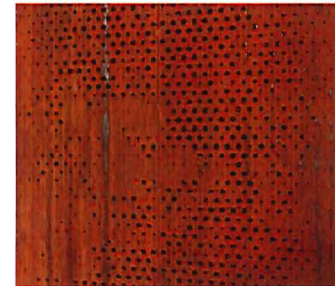
MATERIALS

- TEXTURED CONCRETE PAVING - MIX OF BROOMED AND SAND-BLASTED FINISHES.
- BOARD-FORM CONCRETE FOR WALLS, PLANTERS, SEAT ELEMENTS.
- WOOD-LOOK CONCRETE PAVERS IN FEATURE AREAS TO ADD TO TEXTURE AND CHARACTER.



MATERIALS

- WEATHERED STEEL (CORE-TEN) TO BRING COLOUR AND TEXTURE.
- PATTERNS OR SIMPLE CUT-OUTS FOR IMAGES AND LOGOS.
- TREE GRATES AND OTHER ELEMENTS TO MATCH STEEL AND BRING COLOUR TO DIFFERENT SURFACES.



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MATERIALS AND
CHARACTER
























L2.0

LANDSCAPE CHARACTER

- RUSTIC MATERIALS COMBINED WITH DROUGHT-TOLERANT PLANTS.
- ATTRACTIVE ORNAMENTAL GRASSES MIXED WITH NATIVE AND DROUGHT-TOLERANT SHRUBS AND PERENNIALS
- LOCAL MATERIALS, RIVER COBBLE, BOULDERS



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	SUN EXP.
Trees						
	39	<i>Acer rubrum</i> 'Armstrong'	Armstrong Red Maple	7cm cal. 1.8m std. Full branching B&B	As Shown	○●
	24	<i>Acer saccharum</i> 'Apollo'	Apollo Fastigate Sugar Maple	6cm cal. 1.8m std. Full branching B&B	As Shown	○
	46	<i>Fraxinus pennsylvanica</i> 'Prairie Spire'	Prairie Spire Ash	7cm cal. 1.8m std. Full branching B&B	As Shown	○●
	20	<i>Robinia pseudoacacia</i> 'Frisia'	Golden Locust	7cm cal. 1.8m std. Full branching B&B	As Shown	○●
	20	<i>Tilia cordata</i> 'Greenspire'	Greenspire Linden	7cm cal. 1.8m std. Full branching B&B	As Shown	○●
Shrubs						
	4	<i>Artemisia tridentata</i>	Mountain Sage	#2 pot	@600mm O.C.	○
	694	<i>Berberis</i> 'Ruby Glow'	Dwarf Red Barberry	#3 pot	@600mm O.C.	○
	33	<i>Clethra alnifolia</i>	Sweet Pepper Bush	#2 pot	@1200mm O.C.	○●●
	105	<i>Cornus sericea</i> 'Arctic Fire'	Dwarf Dogwood	#2 pot	@750mm O.C.	○●
	793	<i>Cotoneaster dammeri</i>	Little Leaf Cotoneaster	#2 pot	@600mm O.C.	○●
	120	<i>Ericameria nauseosus</i>	Rabbit Bush	#2 pot	@600mm O.C.	○●
	352	<i>Picea abies</i> 'Nidiformis'	Bird's Nest Spruce	#2 pot	@600mm O.C.	○●
	184	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	#2 pot	@750mm O.C.	○●
	31	<i>Ribes alpinum</i>	Alpine Flowering Currant	#3 pot	@900mm O.C.	○●
	346	<i>Symphoricarpos albus</i>	Snowberry	#3 pot	@600mm O.C.	○●
	72	<i>Taxus X Media</i> 'Hicksii'	Hick's Yew	1.2m High, B&B	@600mm O.C.	○●●
Ornamental Grasses						
	299	<i>Calamagrostis x Acutiflora</i>	Feather Reed Grass	#2 pot	@750mm O.C.	○●
	132	<i>Pennisetum alopecuroides</i>	Dwarf Fountain Grass	#2 pot	@750mm O.C.	○●
	560	<i>Sporobolus heterolepis</i>	Prairie Dropseed	#2 pot	@600mm O.C.	○
Perennials						
	95	<i>Achillea millefolium</i>	Yarrow	10cm pot	@450mm O.C.	○
	110	<i>Echinacea purpurea</i>	Purple Cone Flower	#1 pot	@600mm O.C.	○●
	44	<i>Rudbeckia triloba</i>	Brown-eyed Susan	#1 pot	@600mm O.C.	○
	370	<i>Salvia nemerosa</i> 'Caradonna'	Midnight Salvia	10cm pot	@450mm O.C.	○
Full Sun ○ Part Sun / Shade ● Shade ●						

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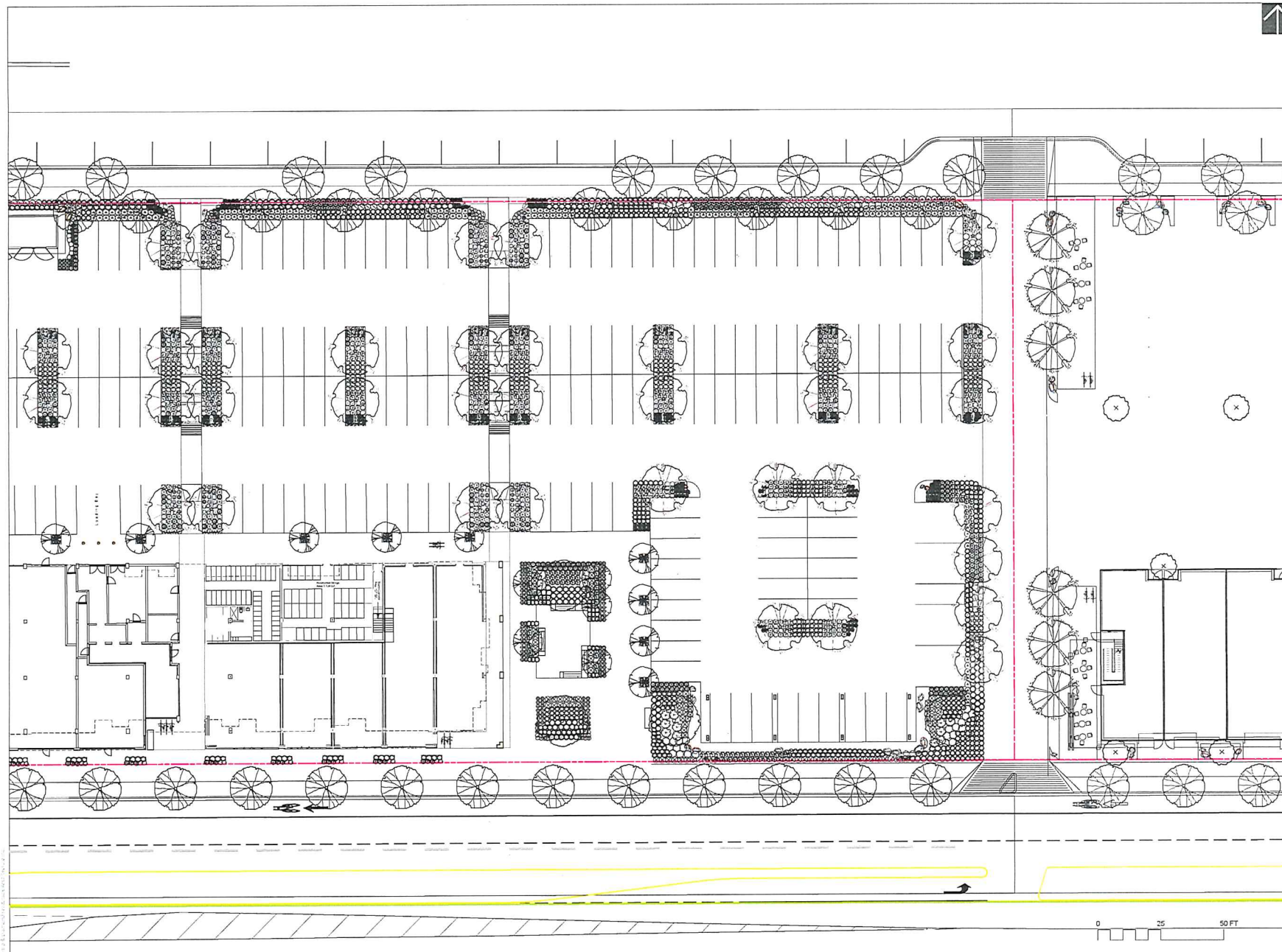
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Clement Avenue and
Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale:	As Shown
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PLANT SCHEDULE



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REVISIONS

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Clement Avenue and Richter Street Mixed-Use

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**LANDSCAPE PLANTING
PLAN EAST SIDE**

L2.3

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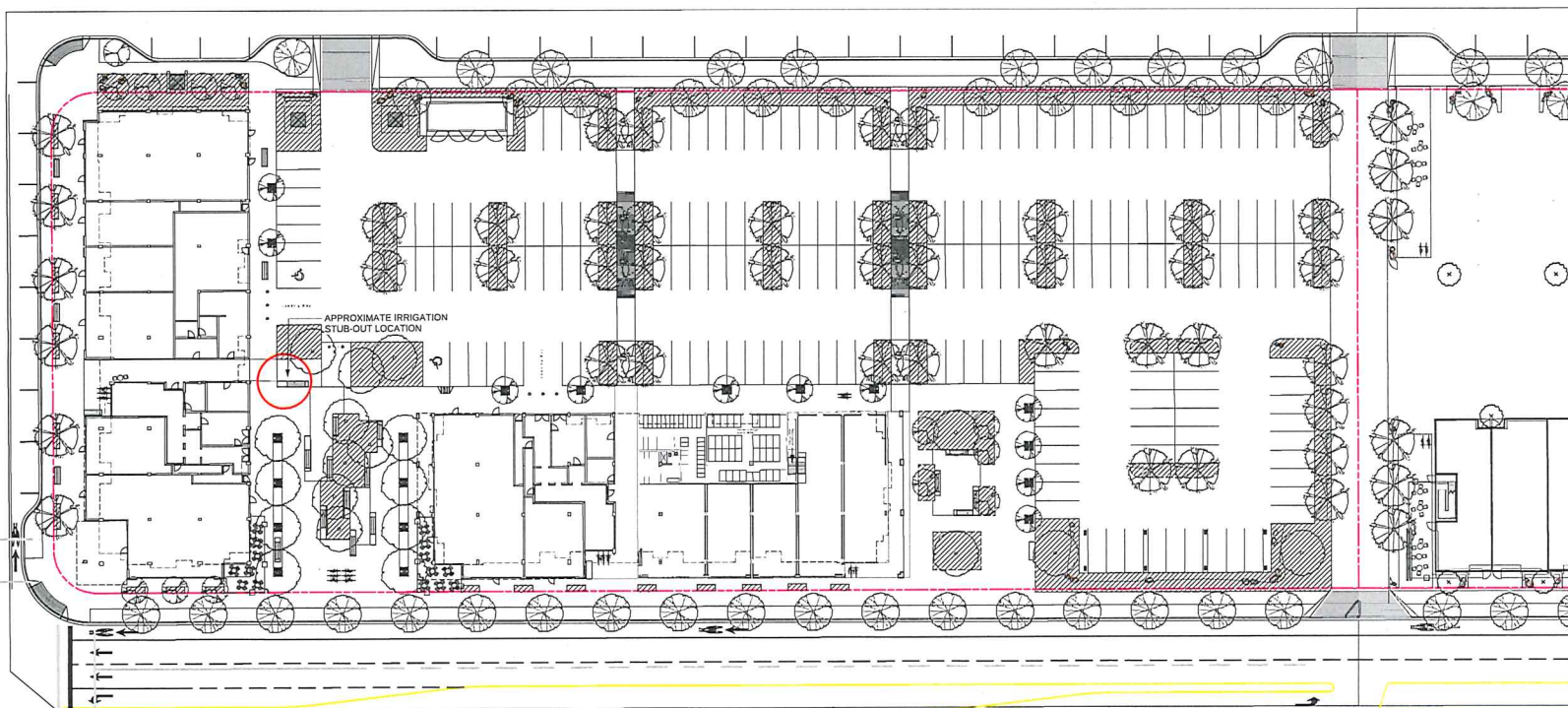
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WATER CONSERVATION
AND IRRIGATION PLAN

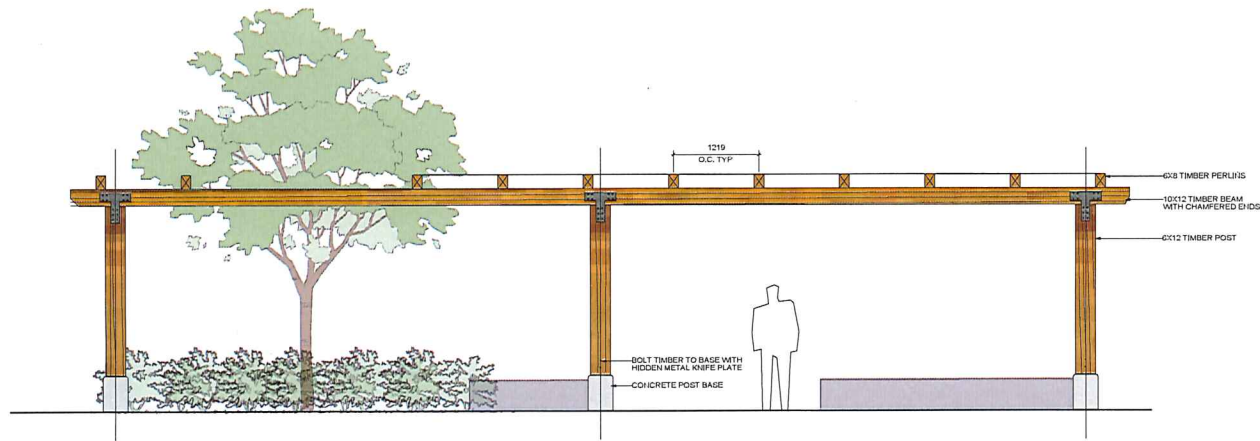
L3.0



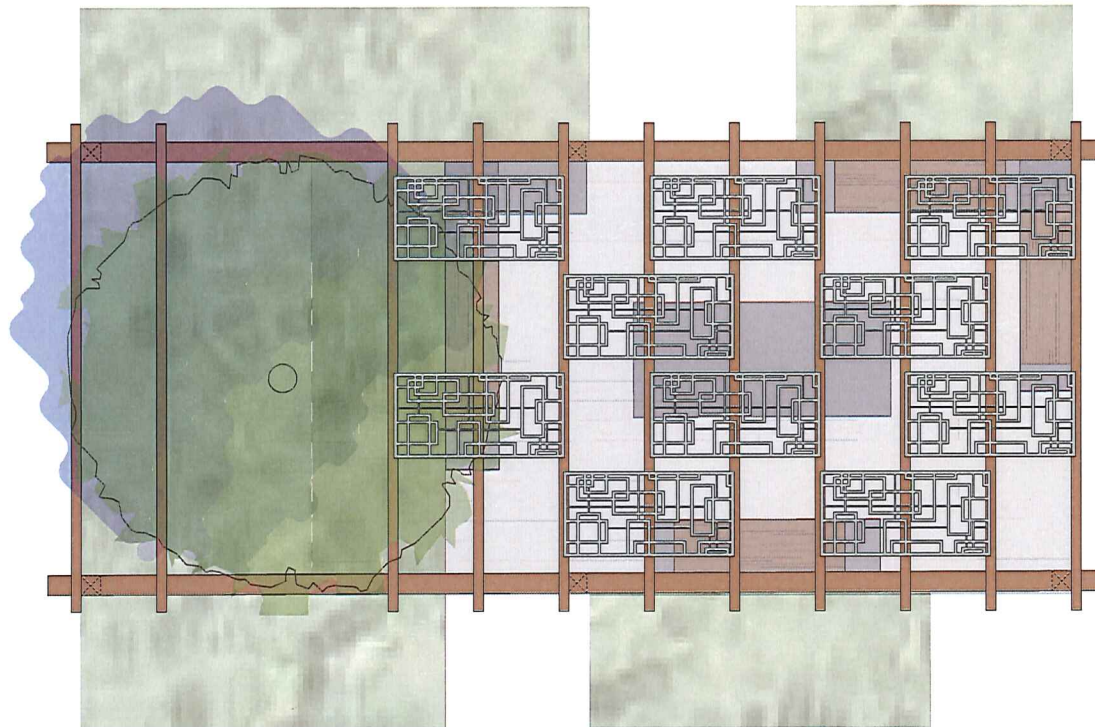
DESIGN-BUILD IRRIGATION NOTES

1. LANDSCAPE CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD SERVICES FOR ALL AUTOMATIC SITE IRRIGATION WORKS.
2. IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (5) FIVE YEARS DOCUMENTED EXPERIENCE, AND A MEMBER IN GOOD STANDING OF THE IABC (IRRIGATION INDUSTRY ASSOCIATION OF BC).
3. IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
4. IRRIGATION TO CONFORM TO ALL BASIC STANDARDS WITH THE FOLLOWING EXCEPTIONS:
 - A. MATERIALS SECTION 88: ALL PIPE TO BE MINIMUM CLASS 200
 - B. MATERIALS SECTION 50: NO WIRE SMALLER THAN 14 GAUGE DIRECT BURIAL
5. COORDINATE WITH CIVIL CONTRACTOR TO PROVIDE PVC SLEEVING WHERE REQUIRED.
6. IRRIGATION STUB-OUTS AND HOSE BIBS PER MECHANICAL PLANS.
7. PROVIDE SHOP DRAWINGS FOR IRRIGATION LAYOUT TO CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION. INCLUDE SLEEVING, DRIP LINE, PIPE SIZE, VALVE BOXES, ETC., AND ALL IRRIGATION COMPONENT SPECIFICATIONS. VALVE BOXES TO BE LOCATED IN LOW-VISIBLE, PLANTED AREAS ONLY AND LOCATIONS TO BE APPROVED.
8. HIGH EFFICIENCY IRRIGATION TECHNOLOGY TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO, CENTRAL SHUT-OFF VALVE, HIGH EFFICIENCY DRIP IRRIGATION LINES AND MOTION SENSOR/RAIN DELAY CONTROLLER
9. TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET STANDARDS (LEAKS SHALL NOT BE REPAIRED BY PATCHING).
10. PROVIDE COVERAGE AND CONTROLLER TEST WHEN SYSTEM IS COMPLETE AND MAKE ADJUSTMENTS AS REQUIRED.
11. PROVIDE AS-BUILT RECORD DRAWINGS TO SCALE SHOWING LOCATIONS OF ALL CONCEALED COMPONENTS, PIPING SYSTEM AND CONDUIT.
12. MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS THROUGHOUT WARRANTY PERIOD - WINTERIZE AS REQUIRED.
13. PROVIDE (3) COPIES OF INSTRUCTIONS MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM AND CONTROLS, SEASONAL ACTIVITY AND SHUTDOWN AND MANUFACTURER'S PARTS CATALOGUE.
14. INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF SYSTEM, INCLUDING ADJUSTING OF SPRINKLER HEADS. USE OPERATION AND MAINTENANCE MATERIAL AS BASIS FOR DEMONSTRATION.

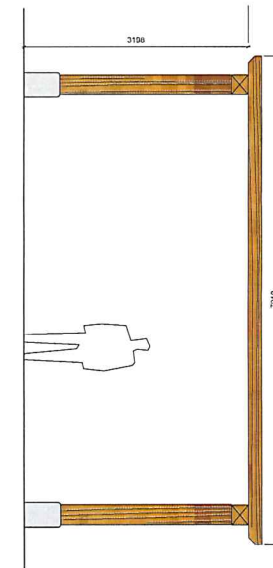
0 25 50 FT



1 TRELLIS - SIDE ELEVATION
Scale: 1:32



2 TRELLIS - PLAN
Scale: 1:32



3 TRELLIS - FRONT ELEVATION
Scale: 1:32

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1	ISSUED FOR CLIENT REVIEW	17-05-24
REVISIONS		

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Clement Avenue and
Richter Street Mixed-Use

726 Clement Avenue
Kelowna, British Columbia

Scale: AS SHOWN
Drawn: KW/DS
Reviewed: DS
Project No. 06-545

LANDSCAPE DETAILS
FEATURE TRELLIS

CONNECT LANDSCAPE ARCHITECTURE S.E.L. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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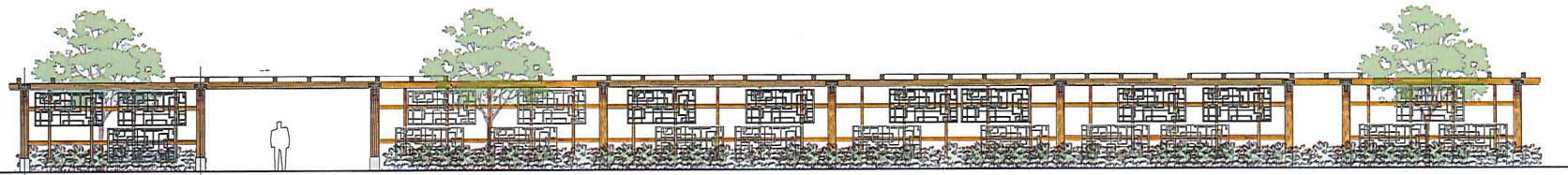
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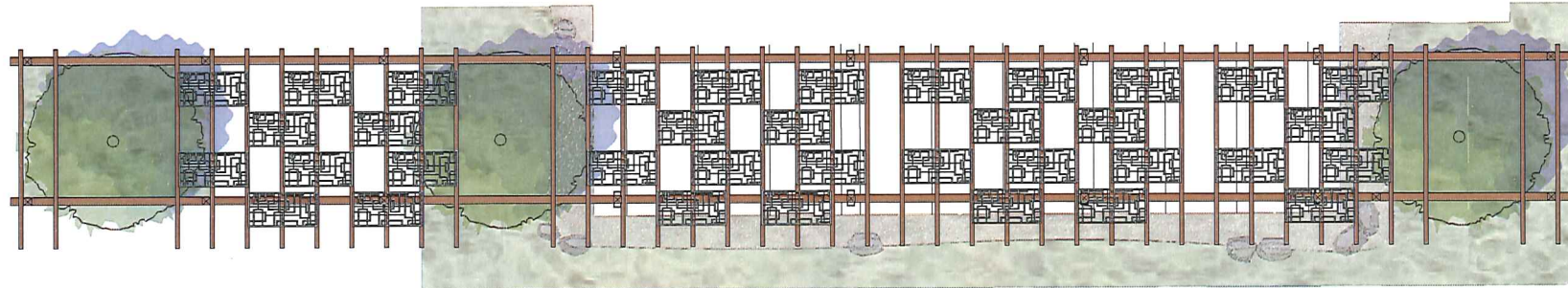
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LANDSCAPE DETAILS
FEATURE TRELLIS

L3.2



1 CLEMENT STREET TRELLIS - FRONT ELEVATION
Scale: 1:7.5



2 CLEMENT STREET TRELLIS - PLAN
Scale: 1:7.5

ON-SITE LANDSCAPE COST ESTIMATE

PROJECT: Clement Avenue and Richter Street Mixed-Use
 DATE: August 16, 2018
 PREPARED BY: Katharine Walker
 REVIEWED BY: David Stoyko



2305 Hemlock St
 Vancouver, B.C. V6H 2V1
 Phone: (604) 681-3303 Fax: 681-3307

LANDSCAPE

ITEM	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL \$
1	FURNISHINGS				
1.1	BENCHES	EA	8	\$2,000	\$16,000
1.2	PLAZA BENCHES	EA	16	\$2,500	\$40,000
1.3	BIKE RACKS	EA	11	\$2,000	\$22,000
1.4	BOLLARDS	EA	8	\$600	\$4,800
1.5	LOW PATIO RAILING	/M	44	\$120	\$5,280
1.6	ART PANELS	EA	68	\$1,313	\$89,284
1.7	WOOD TRELLIS	ALLOW	1	\$75,000	\$75,000
1.8	EAST PLAZA CONCRETE COFFEE TABLE	EA	1	\$2,000	\$2,000
2	PAVING				
2.1	CIP CONCRETE	/M2	1,650	\$60	\$99,000
2.2	UNIT PAVERS	/M2	686	\$75	\$51,450
2.3	DECORATIVE ROCK AND BOULDERS	/M2	190	\$40	\$7,600
2.4	TREE GRATES	EA	28	\$650	\$18,200
3	PLANTING				
3.1	DECIDUOUS TREES	EA	160	\$750	\$120,000
3.2	PLANTING (INC. GROWING MEDIUM IRRIGATION)	/M2	1,720	\$100	\$172,000
SUB TOTAL					\$722,614
15% Contingency					\$108,392
TOTAL					\$831,006

NOTES:

1. CONNECT LANDSCAPE ARCHITECTURE INC., DOES NOT GUARANTEE THE ACCURACY OF THESE ESTIMATES.
2. COSTS ARE PRELIMINARY ONLY AND ARE BASED ON CONNECT LANDSCAPE ARCHITECTURE INC., DP DRAWINGS DATED MARCH 2016.
3. THE COST OF WORK AND TIME ESTIMATES PROVIDED ARE SUBJECT TO CHANGE IN UNIT PRICES AND THE VOLATILITY OF TRADES AND AS SUCH COSTS ARE CONTINGENT UPON FACTORS WHICH CONNECT LANDSCAPE ARCHITECTURE HAS NO CONTROL.
4. EXACT COSTS TO BE DETERMINED ONLY WHEN TENDERS HAVE BEEN RECEIVED FOR THE WORK.
5. EXCLUSIONS INCLUDE, BUT NOT LIMITED TO: SITE SERVICING (CIVIL/ELECTRICAL), ROAD AND CURB RENOVATION, DEMOLITION, OFF-SITE DISPOSAL, CONTAMINATED MATERIALS, LIGHTING, MAINTENANCE, ROUGH GRADING AND CONSULTANT FEES.
6. COSTS REFLECTS 2016 PRICES AND INCLUDES DELIVERY AND INSTALLATION, UNLESS OTHERWISE NOTED.

SCHEDULE

C

This forms part of application

DP17-0212 / DVP17-0213

Planner Initials

AC

City of Kelowna

COMMUNITY PLANNING

REPORT TO COUNCIL



Date: May 7, 2019

RIM No. 0940-50

To: City Manager

From: Community Planning Department (SS)

Application: DVP18-0215

Owner: Steve & Elizabeth Moore

Address: 392 Stellar Drive

Applicant: Gary Carpendale – Harmony Homes

Subject: Development Variance Permit

Existing OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0215 for Lot A Section 23 Township 28 SDYD Plan KAP81216, located at 392 Stellar Drive, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 7.5.9 – Landscaping and Screening Fencing and Retaining Walls

- a) To vary the maximum height of the retaining wall from 1.2 m required to 3.4 m proposed in accordance with Schedule "A" and Schedule "B".

Section 8.1 – Parking and Loading Parking Schedule

- b) To vary the designated secondary suite parking space from one required to none proposed in accordance with Schedule "A".

Section 13.1.6(c) – RU1 – Large Lot Housing Development Regulations

- c) To vary the minimum front yard setback from 4.5 m required to 3.5 m proposed in accordance with Schedule "A".
- d) To vary the minimum front yard setback from a garage having vehicular entry from the front from 6.0 m required to 3.75 m proposed in accordance with Schedule "A".

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

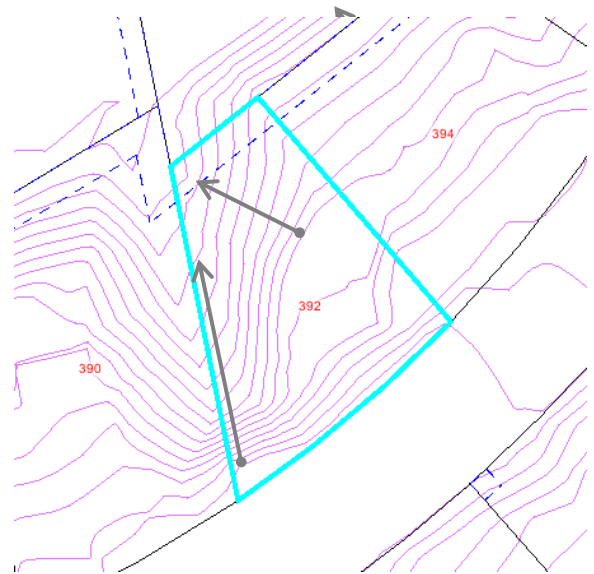
2.0 Purpose

To vary the height of a retaining wall, parking for a secondary suite and the front yard setback on the subject property.

3.0 Proposal

3.1 Background

The subject property has been vacant since the lot was created in 2006. The subject parcel was part of the lot to the east and was subdivided to create the two current lots. Topography of the lot is a challenge, and since 2007 City Staff has been answering questions regarding retaining walls and variances in order to accommodate an appropriate dwelling. In 2015 a Development Variance Permit DVP15-0129 was approved but construction did not proceed and the permit expired.



3.2 Project Description

The applicant's proposal has been revised due to staff and public concern with the variances sought and hence has brought forward the variances previously approved in 2015 which suit the property as mentioned. The topography of the subject property presents challenges as the existing grade at the front of the property slopes steeply down towards the rear property line.

The applicant is proposing a two storey home with a walk out basement. The home is designed with one storey along Stellar Drive, and is a total of 7.8 m in height with a secondary suite located in the walk out basement. Garage doors facing the street are slightly recessed from the front door.

The house is proposed to sit 3.5 m from the front property line which is 7.5 m from the back of curb along Stellar Drive. The garage is proposed at 3.75 m from the front property line, 7.75 m from the back of curb. RU1h zoning regulations require a minimum of 6.0 m from the back of curb.

A retaining wall is proposed along the east property line, and has a maximum height of 3.0 m. The wall begins at the front property line at 0.3 m in height and increases to 3.4 m before turning in to meet the house. The top of wall will be the same height as the grade along Stellar Drive. The bottom of the wall will follow the existing grade which drops off towards the interior of the lot.

Where the garage is located only 3.75 m from the front property line, there is not enough room for the required parking space for the secondary suite to be located on the subject property. The applicant is seeking a variance as they are not providing the required space on the property. The parking for the secondary suite is proposed on the driveway from the garage to the back of curb which measures over 7.5m.

Private open space in the form of a balcony and at-grade patio are provided for the principal dwelling and secondary suite.

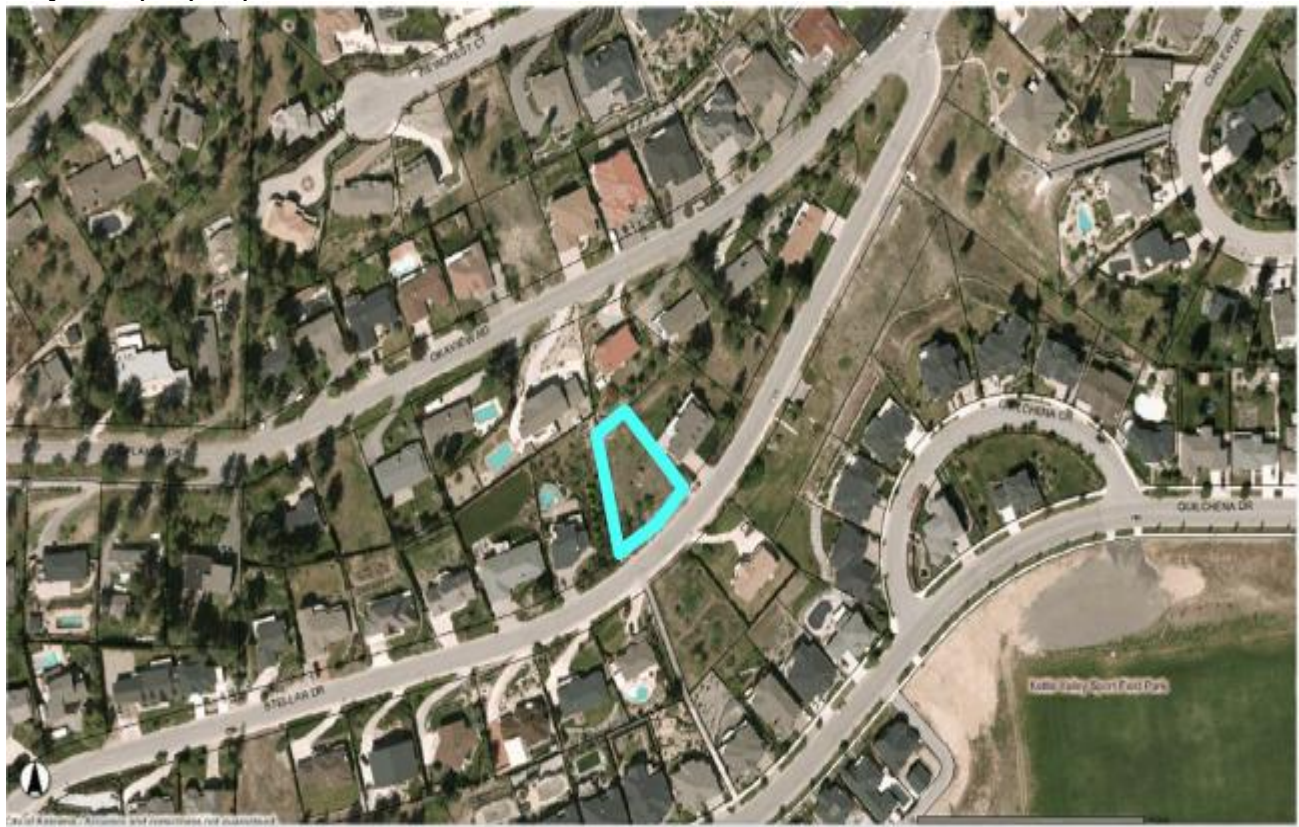
3.3 Site Context

The subject property is located on the north side of Stellar Drive, close to the intersection of Stellar Drive and Oakview Road in the Southwest Mission sector of Kelowna. The subject property is zoned RU1 with a Future Land Use designation of S2RES, and is in the Permanent Growth Boundary.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU ₁	Single Family Residential
East	RU ₁	Single Family Residential
South	RU ₁	Single Family Residential
West	RU ₁	Single Family Residential

Subject Property Map:



3.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU ₁ ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Front Yard (to a dwelling)	4.5m	3.5 m ^①
Front Yard (to a garage)	6.0m	3.75 m ^②
Side Yard (west)	2.3m	11.48m
Side Yard (east)	2.3m	3.38m
Rear Yard	7.5m	22.8m
Other Regulations		
Minimum Parking Requirements	3 spaces	2 spaces ^③
Maximum Retaining Wall Height	1.2m	3.0 m ^④
^① Indicates a requested variance to the front yard setback to a dwelling ^② Indicates a requested variance to the front yard setback to a garage ^③ Indicates a requested variance to parking for a secondary suite ^④ Indicates a requested variance to the height of a retaining wall		

4.0 Current Development Policies

4.1 Kelowna Official Community Plan (OCP)

Development Process

Ensure environmentally sustainable development.¹ Steep Slopes. Prohibit development on steep slopes (+30% or greater for a minimum distance of 10 metres) except where provided for in ASPs adopted or subdivisions approved prior to adoption of OCP Bylaw 10500.

- Kelowna 2030 OCP (Bylaw 10500) was adopted by City Council on May 30, 2011. The subject property was created in 2006, allowing a parcel with slopes over 30% to be created. City staff would like to see this lot developed in a manner that reduces the impact of grades around adjacent property lines. The proposed grading plan and site plan isolate changes in the existing grade to the south east portion of the property.

Hillside Objectives.² Promote the siting of buildings and designs that are compatible with the steep slope context; Ensure compatibility with existing neighbourhood or streetscape;

- The single storey design along Stellar Drive is compatible with single family homes along the north side of Stellar Drive.

Context Considerations.³ Design and locate buildings so the hillside landscape rather than the sky serves as a backdrop;

5.0 Technical Comments

5.1 Development Engineering Department

See attached Memorandum dated March 29, 2019

¹ City of Kelowna Official Community Plan, Policy 5.5.12 (Development Process Chapter).

² City of Kelowna Official Community Plan, E (Urban Design Development Permit Areas).

³ City of Kelowna Official Community Plan, Policy 1.5 (Urban Design Development Permit Areas).

6.o Application Chronology

Date of Application Received:	November 2, 2018
Date of Revised Variances, Site Plan and Engineered Retaining Wall Received:	February 25, 2019
Date Public Consultation Completed:	December 5, 2018

Report prepared by: Sergio Sartori, Development Technician

Reviewed by: Dean Strachan, Subdivision, Suburban and Rural Planning Manager

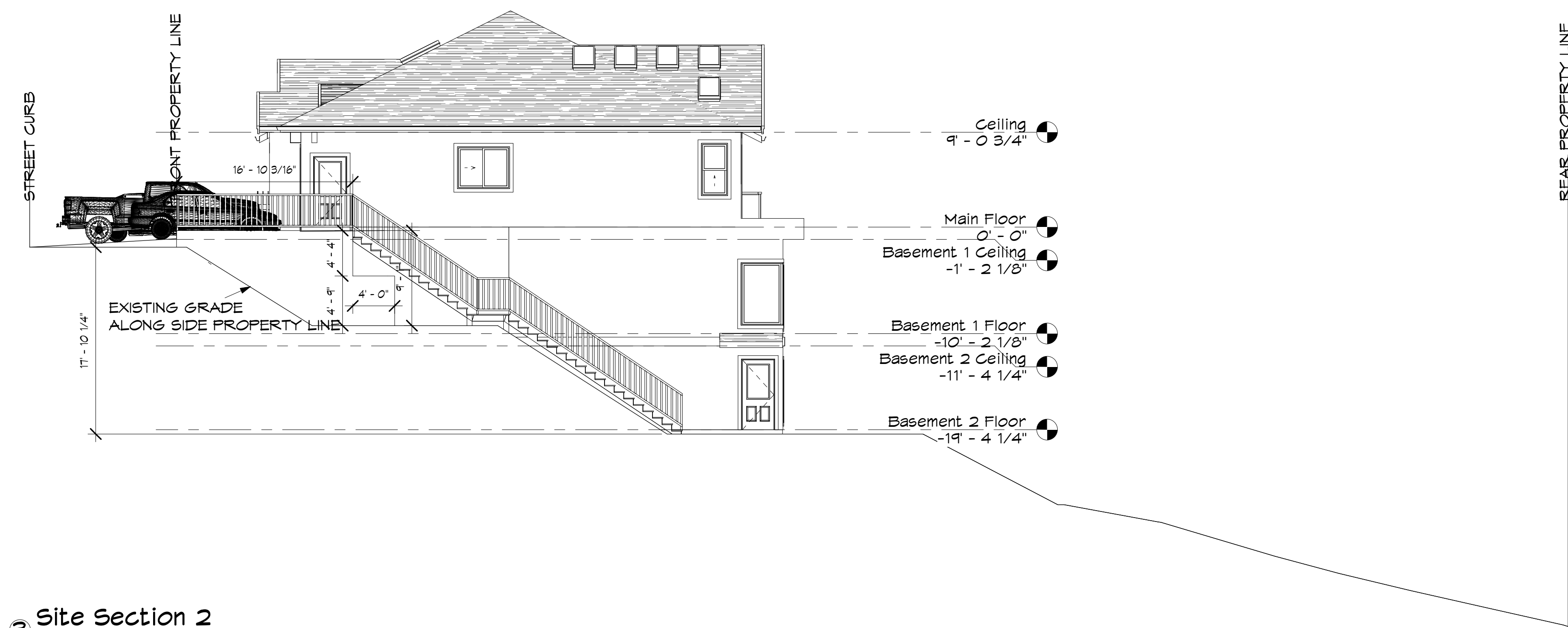
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

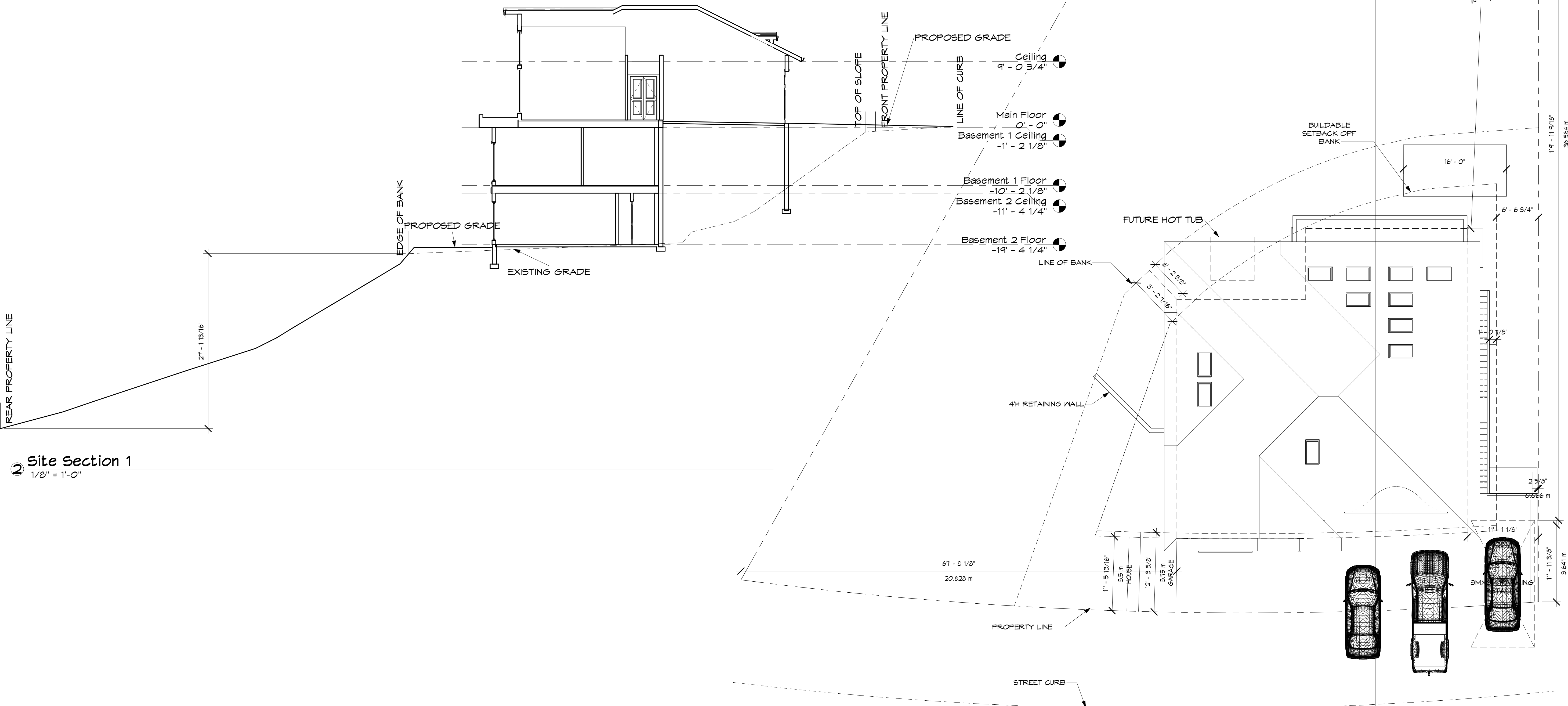
Schedule "A" Site Plan

Schedule "B" Elevations

Attachment "A" Development Engineering Services Memo dated March 29, 2019



③ Site Section 2
1/8" = 1'-0"



② Site Section 1
1/8" = 1'-0"

① Site
1/8" = 1'-0"

SCHEDULE A

This forms part of application
DVP18-0215

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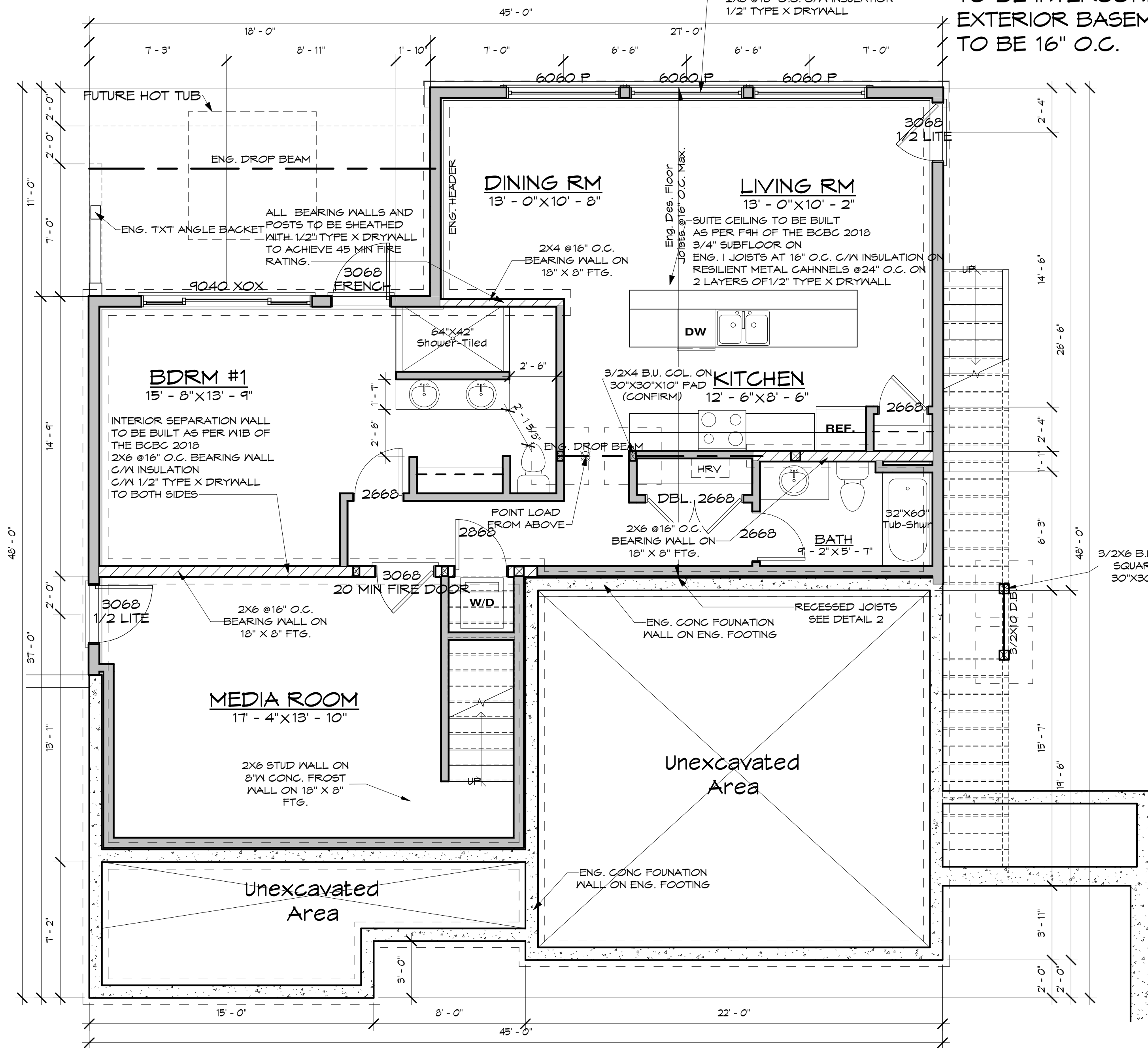
HARMONY HOMES
PHONE: (250)765-5191
#201 - 833 FINNS ROAD, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
MR. & MRS. MOORE
KELOWNA, B.C.

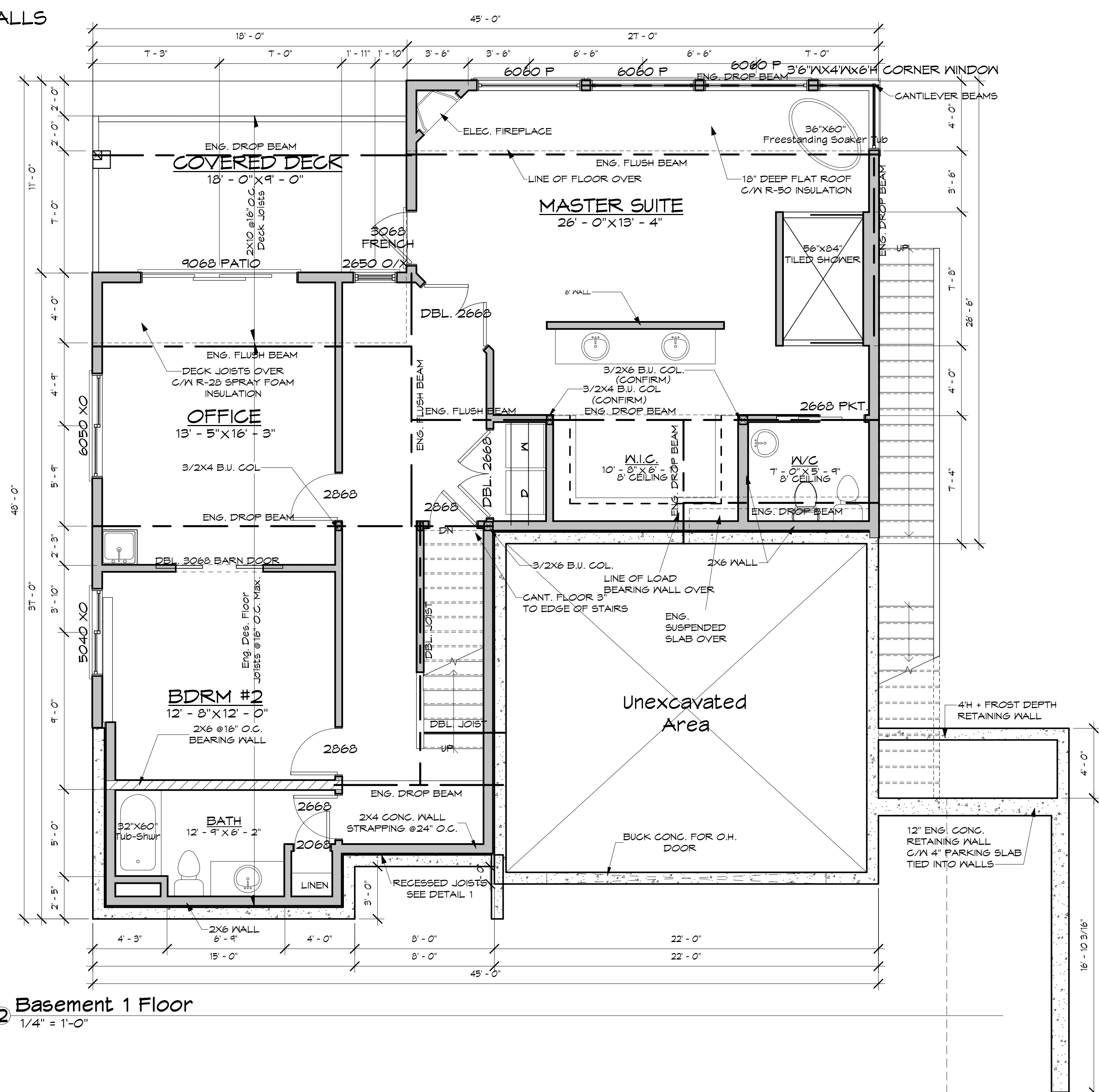
DRAWING SCALE: 1/8" = 1'-0"
DATE: JANUARY 27, 2015
REV. DATE: FEB 25, 2019
DRN. BY: J.A.S.

5
AWARD WINNING BUILDER

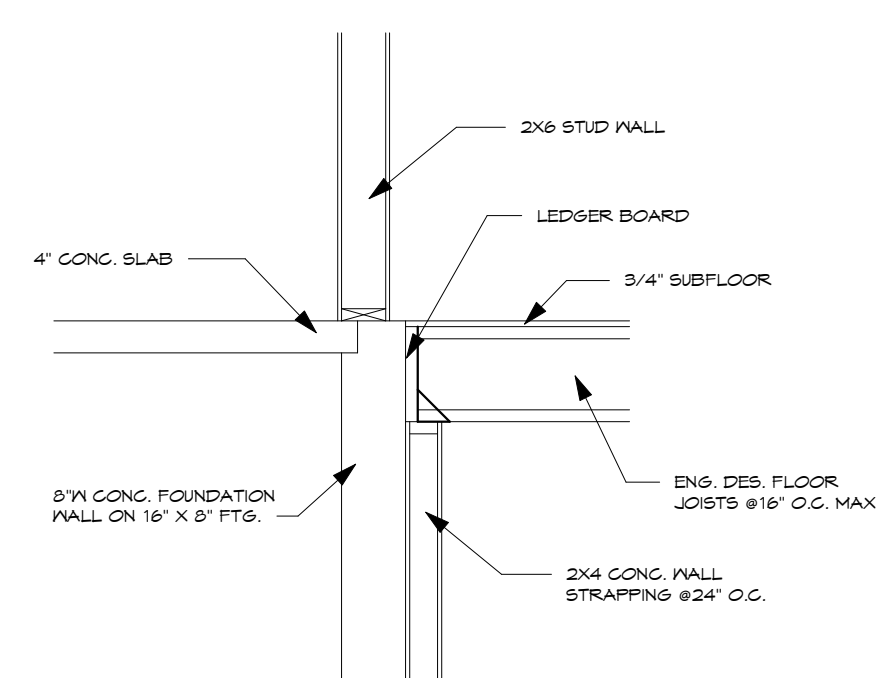
NOTE:
ALL SMOKE DETECTORS ARE
TO BE INTERCONNECTED
EXTERIOR BASEMENT 2 WALLS
TO BE 16" O.C.



1 Basement 2 Floor
1/4" = 1'-0"



2 Basement 1 Floor
1/4" = 1'-0"



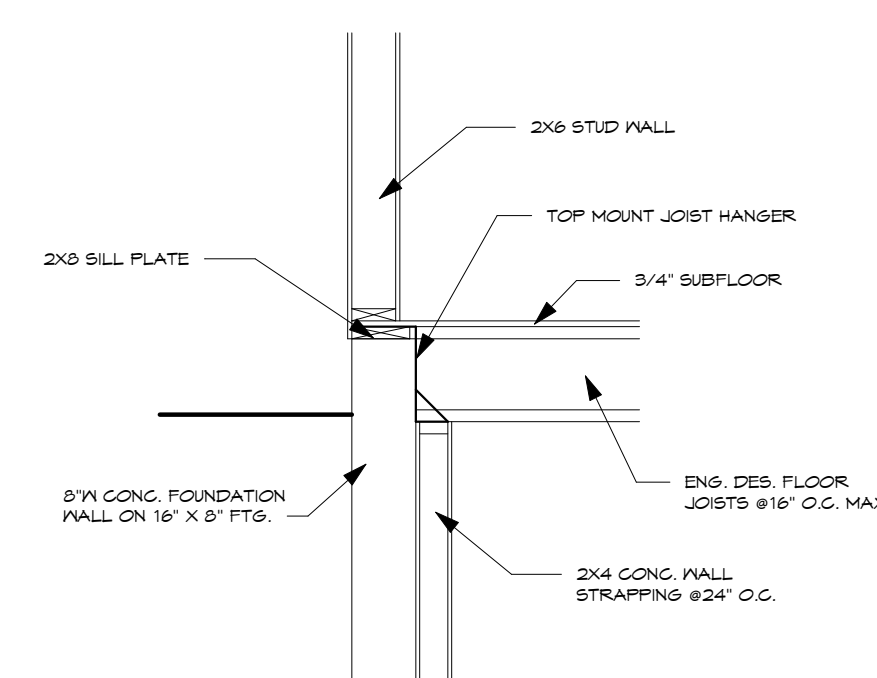
4 Recessed Joist Detail 2
1/2" = 1'-0"

TYPICAL FOUNDATION ASSEMBLY		
HRVYES	MATERIAL	RSI
OUTSIDE AIR FILM		0.03
OUTSIDE INSULATION	N/A	0
DAMP PROOFING	YES	0
FOUNDATION WALL	200mm CONCRETE	0.08
AIR SPACE	1"	0.18
STRAPPING WALL	2X6 @24" O.C.	2.11
INSULATION	R20	0
VAPOUR BARRIER	6 MIL POLY	0
INTERIOR SHEATHING	1/2" DRYWALL	0.08
INSIDE AIR FILM		0
TOTAL EFFECTIVE RSI VALUE:		3.2
REQUIRED RSI VALUE:		2.98

TYPICAL CEILING ASSEMBLY		
HRVYES	MATERIAL	RSI
OUTSIDE AIR FILM		0.03
ROOFING	ASPHALT SHINGLES	0.08
STRAPPING	N/A	0
SHEATHING MEMBRANE	15# FELT	0.11
SHEATHING	1/16" OSB	0.11
INSULATION ABOVE TRUSS	R40	4.82
TRUSS SPACING	24" O.C.	0
BOTTOM CHORD HEIGHT	2X4	1.96
VAPOUR BARRIER	6 MIL POLY	0
INTERIOR SHEATHING	1/2" DRYWALL	0.08
INSIDE AIR FILM		0.11
TOTAL EFFECTIVE RSI VALUE:		7.19
REQUIRED RSI VALUE:		6.91

TYPICAL WALL ASSEMBLY		
HRVYES	MATERIAL	RSI
OUTSIDE AIR FILM		0.03
CLADDING	STUCCO	0.02
STRAPPING		0
SHEATHING MEMBRANE	BUILDING PAPER	0
SHEATHING	1/16" OSB	0.11
STUD WALL	2X6 @24" O.C.	2.67
INSULATION	R22	0
VAPOUR BARRIER	6 MIL POLY	0
INTERIOR SHEATHING	1/2" DRYWALL	0.08
INSIDE AIR FILM		0.12
TOTAL EFFECTIVE RSI VALUE:		3.03
REQUIRED RSI VALUE:		2.97

TYPICAL WALL ASSEMBLY		
HRVYES	MATERIAL	RSI
OUTSIDE AIR FILM		0.03
CLADDING	STUCCO	0.02
STRAPPING		0
SHEATHING MEMBRANE	BUILDING PAPER	0
SHEATHING	1/16" OSB	0.11
STUD WALL	2X6 @16" O.C.	2.68
INSULATION	R24	0
VAPOUR BARRIER	6 MIL POLY	0
INTERIOR SHEATHING	1/2" DRYWALL	0.08
INSIDE AIR FILM		0.12
TOTAL EFFECTIVE RSI VALUE:		3.02
REQUIRED RSI VALUE:		2.97



3 Recessed Joist Detail 1
1/2" = 1'-0"

SCHEDULE

A

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Initials

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HARMONY
HOMES

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PROPOSED RESIDENCE OF:
MR. & MRS. MOORE
KELOWNA, B.C.
DRAWING SCALE: As indicated
DATE: JANUARY 27, 2015
REV. DATE: FEB 25, 2019
DRN. BY: J.A.S.

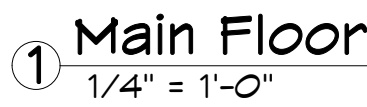
3
AWARD WINNING BUILDER

A

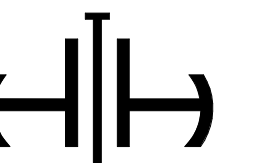


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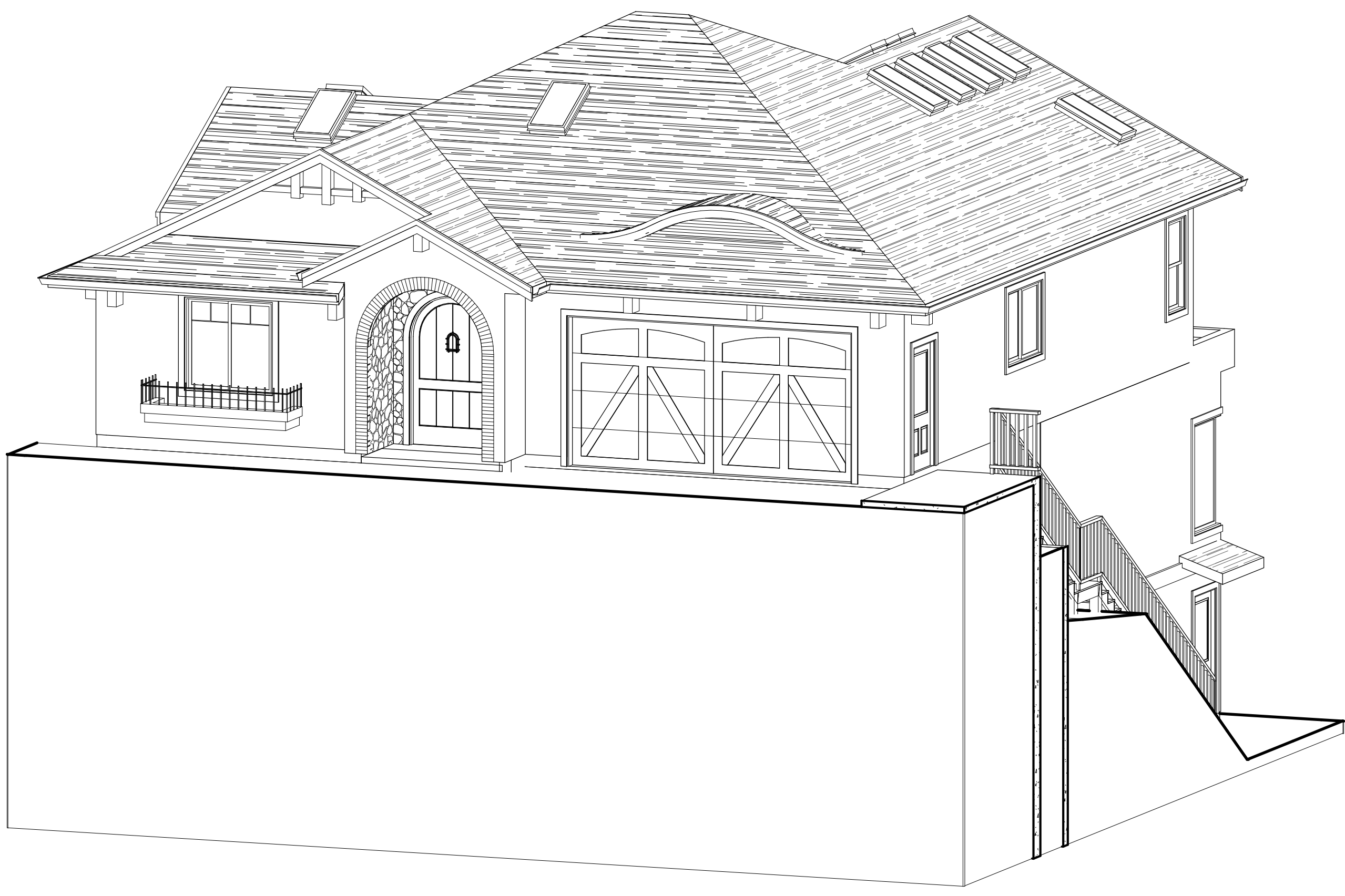
DRAWING SCALE: 1/4" = 1'-0"

DATE: JANUARY 27, 2015

REV. DATE:FEB 25, 2019	4
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ORN. BY:J.A.S. 4

AWARD WINNING BUILDER



① Front 3D



② Rear 3D

Table of Contents

Orthographic 3Ds	1
Elevation	2
Basement Floors	3
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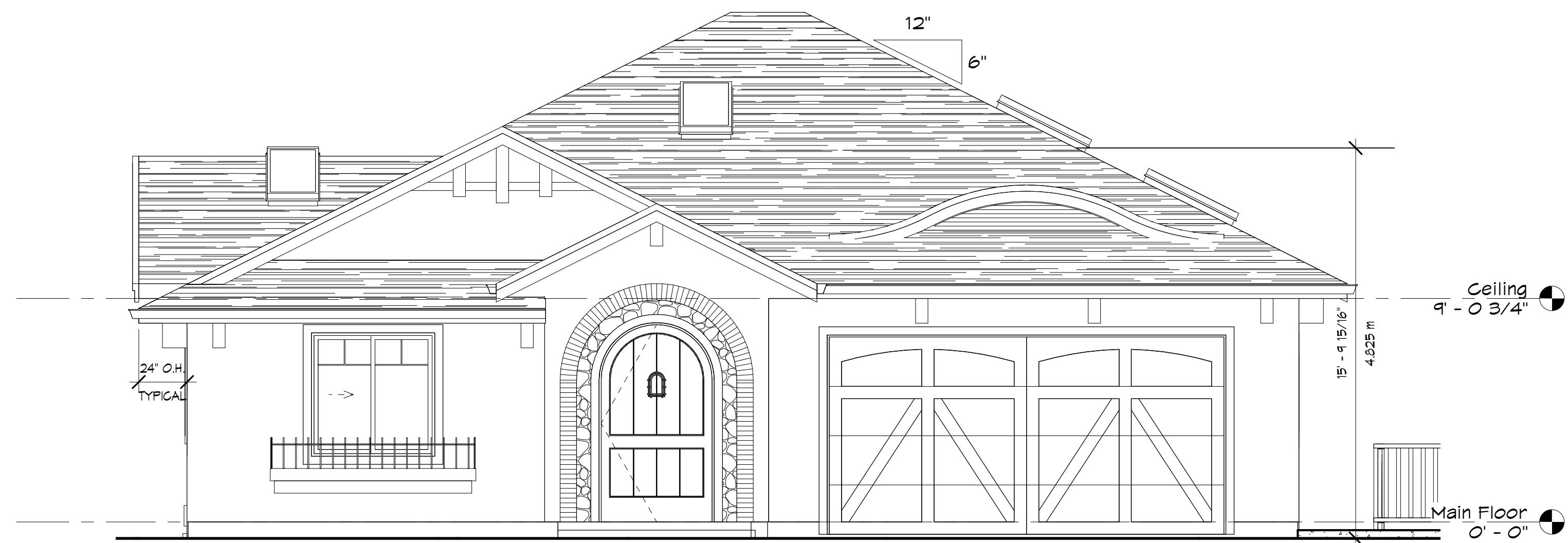
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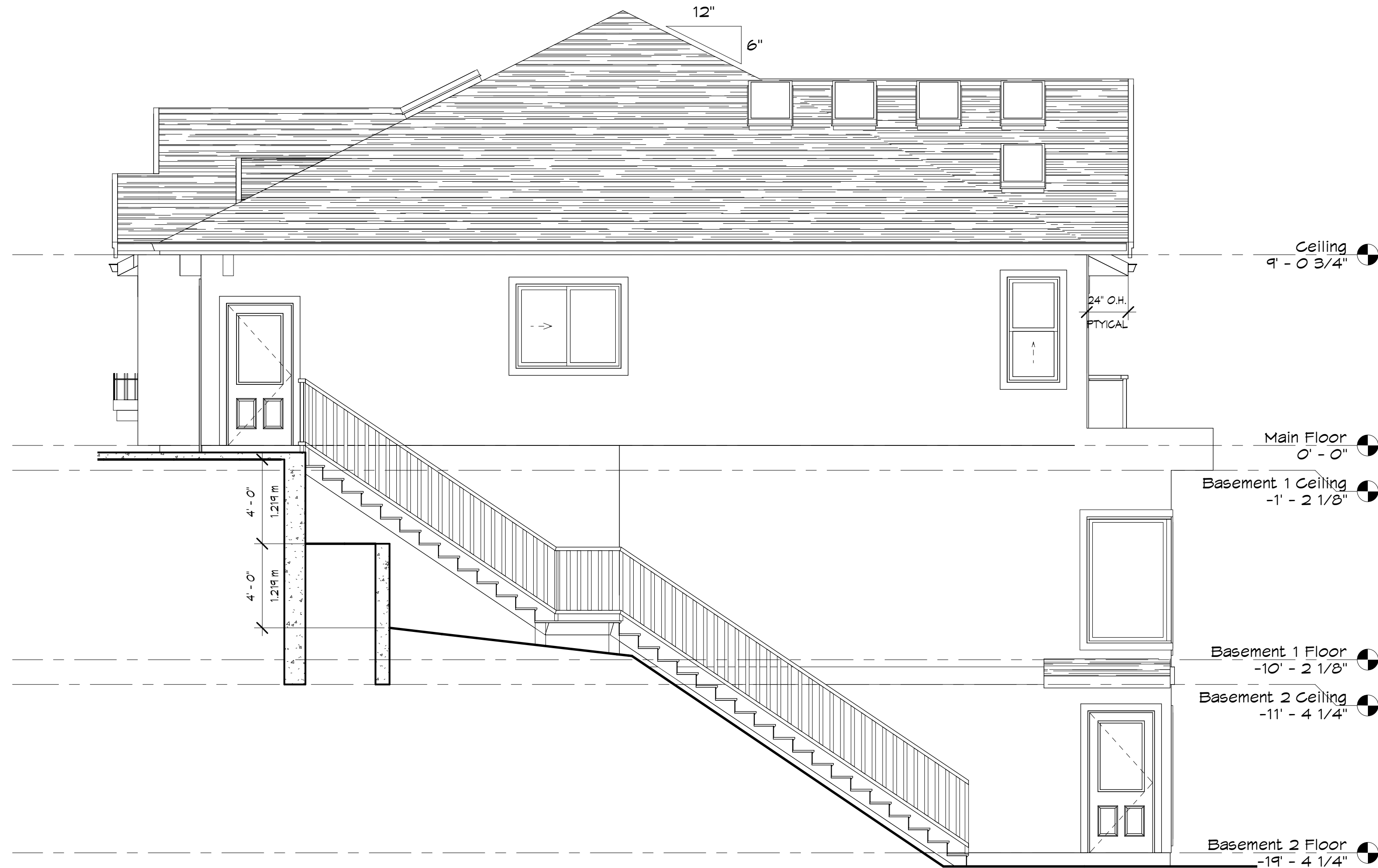
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DATE: JANUARY 27, 2015
REV. DATE: FEB 25, 2019
DRN. BY: J.A.S.

1

AWARD WINNING BUILDER



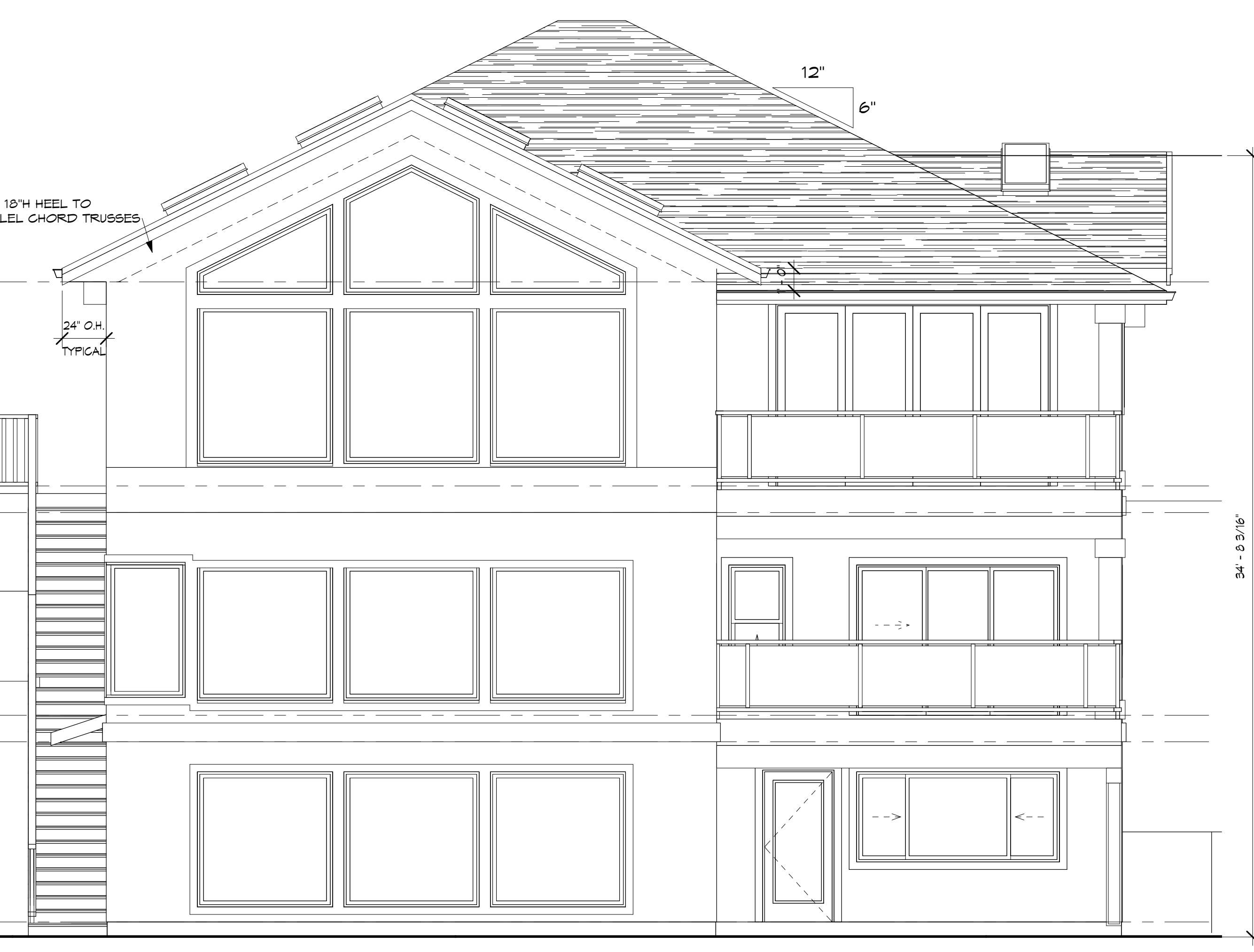
① Front
1/4" = 1'-0"



④ Right
1/4" = 1'-0"



② Left
1/4" = 1'-0"



③ Rear
1/4" = 1'-0"

SCHEDULE B

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SCHEDULE

B

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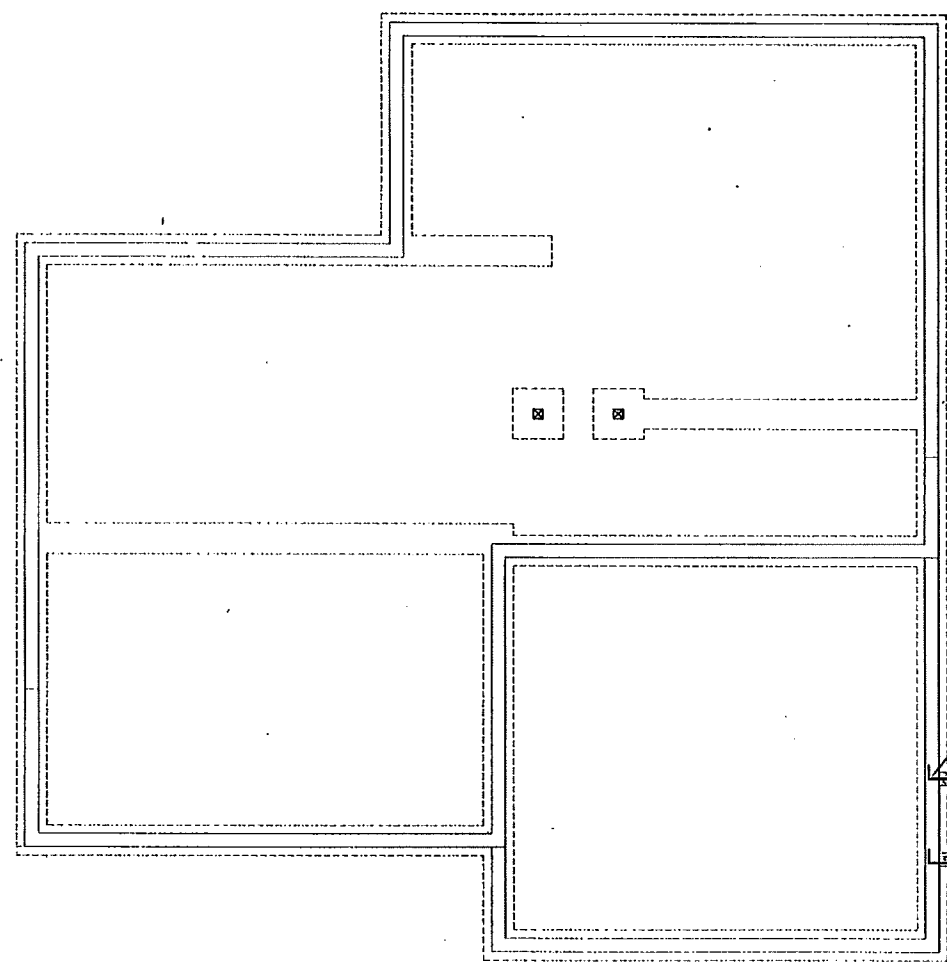
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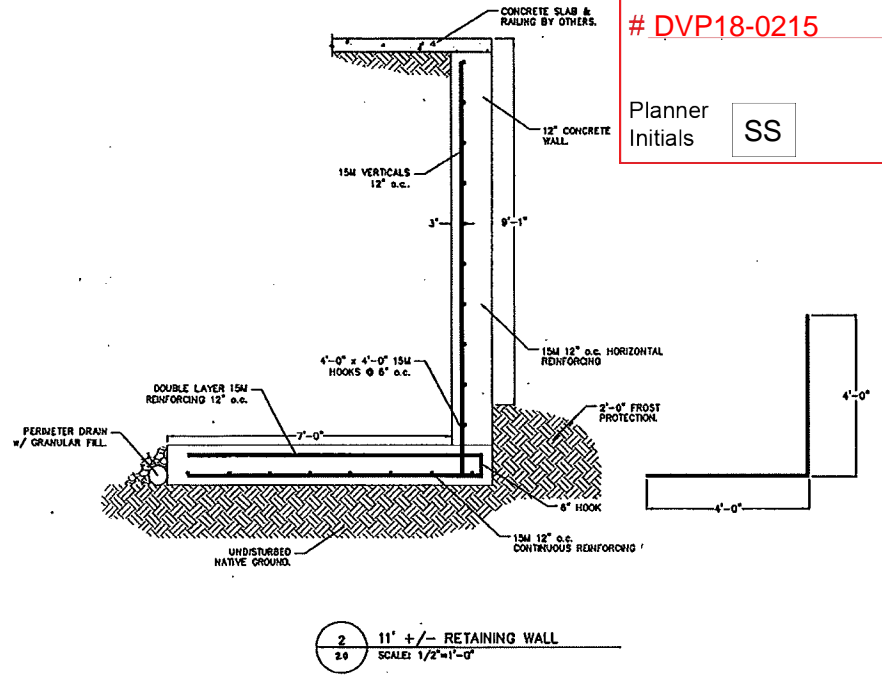
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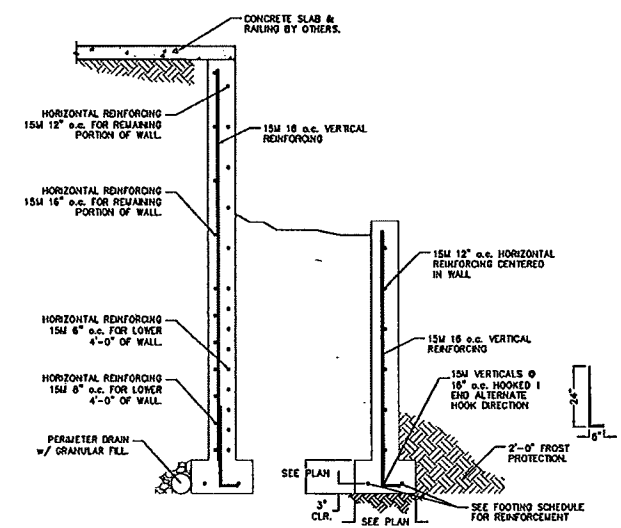
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1 LOWER BASEMENT FLOOR
S2.0 3/16" = 1'0"



2 11' +/- RETAINING WALL
S2.0 SCALE: 1/2"=1'-0"



3 STAGGERED RETAINING WALL
S2.0 SCALE: 1/2"=1'-0"

FOOTING SCHEDULE		
TYPE	SIZE	REINFORCING
1	18" x 8" DP. STRIP FOOTING	2-10M CONTINUOUS
2	18" x 10" DP. STRIP FOOTING	3-10M OR 2-15M CONTINUOUS
3	30" x 30" x 12" PAD FOOTING	2-15M OR 3-10M EACH WAY
4	36" x 36" x 12" PAD FOOTING	3-15M OR 5-10M EACH WAY
5	42" x 42" x 12" PAD FOOTING	3-15M OR 5-10M EACH WAY
6	48" x 48" x 12" PAD FOOTING	4-15M OR 6-10M EACH WAY
7	54" x 54" x 12" PAD FOOTING	5-15M OR 8-10M EACH WAY
8	60" x 60" x 12" PAD FOOTING	5-15M OR 8-10M EACH WAY

JUL 13 2015

1 JULY 13/15
ISS. DATE ISSUED FOR:

Structural Engineering Division
2003 - 43rd STREET TEL: (250) 545-3215
VERNON, B.C. V1T 6K7 FAX: (250) 545-2953
WebSite: www.acutruss.com
Email: engineering@acutruss.com

PROJECT:
HARMONY HOMES
MOORE RESIDENCE

DRAWING TITLE:
RETAINING WALL

SEAL:

SCALE
AS NOTED

DRAWING NO.
S-2.0

DRAFTING: SS

DESIGN: SS

CHECKED: K.O.

PROJECT No.
N/A

REVISION
A

GENERAL NOTES

THE STRUCTURAL MEMBERS INDICATED ON THE ISSUED DRAWINGS HAVE BEEN DESIGNED TO SUBSTANTIALLY CONFORM WITH THE BC BUILDING CODE 2012 EDITION.

STRUCTURAL DESIGN ONLY APPLICABLE FOR PROJECT AT THE FOLLOWING ADDRESS:

MOORE RESIDENCE
392 STELLAR DRIVE
KELOWNA, BC

REFER TO THE ARCHITECTURAL PLANS FOR ALL DIMENSIONS.

THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING REQUIRED FOR CONSTRUCTION LOADINGS AND STABILITY UNTIL THE PROJECT IS COMPLETED, AND IS RESPONSIBLE FOR JOB SITE SAFETY AND CONFORMANCE TO MCB REGULATIONS DURING CONSTRUCTION.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERING ANY DISCREPANCIES FOR ADDITIONAL INSTRUCTIONS. ANY DISCREPANCIES NOT REPORTED BECOME THE RESPONSIBILITY OF THE CONTRACTOR.

STRUCTURAL INFORMATION PRESENTED ON THESE DRAWINGS DOES NOT INCLUDE THE DESIGN AND DETAILING OF ANY WATERPROOFING OR BUILDING ENVELOPE SYSTEMS. DESIGN AND DETAILING OF SUCH SYSTEMS IS THE RESPONSIBILITY OF THE ARCHITECT AND/OR THE AUTHORITY HAVING JURISDICTION.

IF THE CONTRACTOR HAS QUESTIONS CONCERNING THE SCOPE OR INTENT OF THE WORK ON THESE DRAWINGS, THE CONTRACTOR SHOULD SEEK CLARIFICATION FROM THE OWNER OR THE PROJECT ENGINEER.

AS PART OF THE BC BUILDING CODE REQUIREMENTS, THE ENGINEER MUST PERFORM PERIODIC FIELD REVIEWS OF THE WORK, AND PROVIDE PROFESSIONAL ASSURANCE THAT SUCH WORK SUBSTANTIALLY MEETS THE REQUIREMENTS OF THE BC BUILDING CODE. GIVE 48 HOURS NOTICE TO THE PROJECT ENGINEER AT THE FOLLOWING APPLICABLE STAGES OF CONSTRUCTION:

PLACEMENT OF REINFORCEMENT IN FOOTINGS BUT BEFORE CONCRETE IS POURED

PLACEMENT OF REINFORCEMENT IN RETAINING WALLS BUT BEFORE FORMS ARE CLOSED

DESIGN LOADS

GROUND SNOW LOAD:	37.8 PSF
RAIN LOAD:	2.1 PSF
ROOF LIVE LOAD:	22.8 PSF
ROOF DEAD LOAD:	20 PSF
FLOOR LIVE LOAD:	40 PSF
FLOOR DEAD LOAD:	12 PSF
WIND LOAD:	6.4 PSF
MEZZANINE LIVE LOAD:	100 PSF
*ALLOWABLE SOIL BEARING PRESSURE:	2000 PSF
*SPECIFIED LATERAL SOIL BEARING PRESSURE:	43 PSF
*ASSUMED VALUES	

EXCAVATION & BACKFILL

REMOVE ALL TOPSOIL AND ORGANIC MATERIAL FROM THE BUILDING SITE.

FOUNDATIONS SHALL EXTEND TO UNDISTURBED SOIL, 450 mm (18") MINIMUM COVERAGE FOR FROST PROTECTION, OR AS DETERMINED BY THE LOCAL BUILDING AUTHORITY.

FOUNDATIONS SHALL BE CONSTRUCTED TO PROVIDE ADEQUATE DRAINAGE, USING CLEAN DRAIN ROCK OVER 100 mm (4") DRAIN TILE AS A MINIMUM REQUIREMENT.

ALL CONCRETE FOUNDATION WALLS SHALL PROJECT A MINIMUM OF 150 mm (6") ABOVE THE FINISHED GRADE, OR 50 mm (2") ABOVE EXTERIOR CONCRETE SLABS.

BOTTOM OF FOOTINGS SHALL BE LEVEL.

DO NOT BACKFILL FOUNDATION WALLS UNTIL FLOOR SYSTEM IS IN PLACE AND SHEATHED.

USE CLEAN GRANULAR BACKFILL AT LEAST 1/3 OF THE FOUNDATION WALL HEIGHT BACK FROM FOUNDATION WALL.

CONCRETE ACCESSORIES

PRE-MOULDED JOINT FILLERS SHALL BE BITUMINOUS FIBRE BOARD.

POLYETHYLENE DAMPROOF MEMBRANES SHALL BE 0.15 mm THICK AS PER CAN/COSB-51.33-MB8.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSPECTION OF ALL FORMWORK, FALSEWORK TIES, SHORING AND RESHORING TO MAINTAIN STRUCTURAL INTEGRITY AND STABILITY TO WITHSTAND ANY LOADS LIKELY TO BE IMPOSED UPON THEM. ADHERE TO WORKER'S COMPENSATION BOARD REGULATIONS.

FORM RELEASE AGENT SHALL BE MINERAL OIL TYPE - USE UNIFORM D BY UNIVERSAL CONCRETE ACCESSORIES, NOXCEMTE, DOUGARD OR OTHER PRE-APPROVED FORM RELEASE AGENT. APPLICATION IS TO BE ACCORDING TO MANUFACTURER'S DIRECTIONS. A CONSISTENCY OF COLOUR ON ALL EXPOSED WALLS WILL BE INSISTED UPON BY THE CONSULTANT, AND IN ORDER TO OBTAIN THE SAME, THE PROPER USE OF FORM RELEASE AGENT IS MANDATORY.

TIES AND SPREADERS SHALL BE COMMERCIAL MANUFACTURED TYPES, MINIMUM TENSILE STRENGTH OF 13 kN (2925 LBS), ADJUSTABLE TO PERMIT TIGHTENING OF FORMS, NOT LEAVING ANY METAL WITHIN 25 mm (1") OF THE CONCRETE SURFACE. WIRE TIES ARE NOT ACCEPTABLE.

UNLESS OTHERWISE SPECIFICALLY AUTHORIZED OR ORDERED BY THE CONSULTANT, NO FORMWORK, SHORING, BRACING OR OTHER DEVICE USED IN RETENTION OF AND SUPPORT OF CAST CONCRETE SHALL BE REMOVED BEFORE A LAPSE OF 7 FULL AND NORMAL CURING DAYS (28 DAYS OF SUSPENDED SLABS) FROM THE TIME OF PLACEMENT OF CONCRETE.

CONCRETE REINFORCEMENT

IF REQUESTED BY THE ENGINEER, THE CONTRACTOR SHALL SUBMIT ACCEPTABLE EVIDENCE THAT THE MATERIAL CONFORMS TO THE APPLICABLE STANDARDS. A CERTIFIED PROPERLY CORRELATED MILL TEST FROM CANADIAN MILLS, SHOWING PHYSICAL AND CHEMICAL ANALYSIS IS ACCEPTABLE EVIDENCE.

ALL REINFORCING STEEL AND PLACEMENT IS SUBJECT TO THE APPROVAL OF THE ENGINEER, AND NO WORK SHALL BE COVERED OR CONCRETE PLACED PRIOR TO APPROVAL OF THE ENGINEER.

ALL REINFORCING SHALL BE KEPT FREE OF ALL OIL, MUD, ETC., AND CONTAMINATING MATERIAL AT ALL TIME. NO CONTAMINATED STEEL WILL BE PERMITTED TO BE USED DURING CONSTRUCTION.

REINFORCING STEEL 10M AND LARGER SHALL BE DEFORMED AND SHALL BE NEW BILLET STOCK CONFORMING TO CSA G30.18 GRADE 400.

WELDED WIRE MESH SHALL CONFORM TO CSA STANDARD G305 AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 450 MPa.

THE WIRE SHALL BE 1.52 MM ANNEALED IRON WIRE.

REINFORCEMENT IS TO BE ACCURATELY POSITIONED TO THE DRAWINGS AND PROUDLY SUPPORTED AND SECURED IN PLACE WITH APPROVED CHAIRS, BOLSTERS, SPACERS, HANGERS AND/OR RISERS, TIE AND SUPPORT BARS, AND OTHER APPROVED DEVICES, AND ALL TIED IN PLACE WITH 1.52 MM ANNEALED IRON WIRE. ALL REINFORCEMENT SHALL BE PLACED WITH THE PERMITTED TOLERANCES OF CSA A23.1.

REINFORCEMENT IN FOOTINGS MUST BE BLOCKED UP WITH APPROVED MASONRY BLOCKS OR SUSPENDED FROM FORMWORK WITH TIE-WIRE.

DO NOT FIELD BEND REINFORCEMENT UNLESS APPROVED BY THE CONSULTANT.

MINIMUM LAP SPICES AND BENDING DIAMETERS:

10M BARS	14" LAP	2-1/2" BEND DIAMETER
15M BARS	20" LAP	3-1/2" BEND DIAMETER
20M BARS	24" LAP	4" BEND DIAMETER
25M BARS	40" LAP	6" BEND DIAMETER

DIMENSIONS SHOWN FOR LOCATION OF REINFORCING ARE TO THE FACE OF THE MAIN BARS AND DENOTES CLEAR COVERAGE. COVERAGE SHALL BE AS FOLLOWS:

CAST AGAINST & PERMANENTLY EXPOSED TO EARTH:	75mm (3")
BEAMS, ORDERS, COLUMNS AND PILES (EXPOSED):	40mm (1-1/2")
BEAMS, ORDERS, COLUMNS AND PILES (NOT EXPOSED):	30mm (1-1/4")
SLABS, WALLS, JOISTS, SHELLS (EXPOSED):	40mm (1-1/2")
SLABS, WALLS, JOISTS, SHELLS (NOT EXPOSED):	20mm (3/4")

CAST-IN-PLACE CONCRETE

CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARDS A23.1 AND CSA A23.2.

CONTRACTOR TO SUBMIT COMPLETE MANUFACTURER'S PRODUCT DETAILS TO THE ENGINEER IF ANY CURING COMPOUNDS ARE USED.

CONCRETE TESTING SHALL BE DONE BY A TESTING LABORATORY APPOINTED BY THE ENGINEER AT THE OWNER'S EXPENSE.

FOR HIGH FOUNDATION WALLS (>24") USE HIGH FREQUENCY VIBRATION TO PLACE CONCRETE.

CONCRETE SHALL BE PROTECTED FROM DAMAGE THAT MAY RESULT FROM RAIN, SNOW, SUN AND TEMPERATURE DURING AND AFTER PLACING.

CURING MATERIALS SHALL BE MEMBRANE TYPE POLYETHYLENE WITH LAPPED AND SEALED JOINTS. APPROVED SPRAY TYPE MAY BE USED ONLY IF COMPATIBLE WITH FINISH FLOORING AND ADHESIVES.

SEALER, CURING COMPOUND: TWO COATS OF STERNSON FLORESEAL MASTER BUILDERS MATERIAL, TARGET CLEAR ACRYLIC SEALER, OR APPROVED EQUAL. SEALER MUST BE COMPATIBLE WITH FINISH FLOORING AND ADHESIVES.

EXPANSION JOINT FILLERS SHALL BE PRE-MOULDED, NON-EXTENDING RESILIENT PRODUCTS, BITUMINOUS ASPHALT WITH MINERAL FIBRES AND/OR CORK.

WATERSTOPS SHALL BE EXTRUDED POLY(VINYL CHLORIDE) 100 mm OR 150 mm WIDE FOR CONSTRUCTION JOINTS AS DETAILED ON DRAWINGS. WYLOK BY BURKE, DURA-JOINT BY STERNSON, KOROSEAL BY W.R. MEADOWS, OR APPROVED EQUAL.

GROUT UNDER BASE PLATES SHALL BE NON-SHRINK, NON-FERROUS GROUT SUCH AS EMBOU BY MASTER BUILDERS, IN-PAK GROUT, TARGET EXPANDING GROUT OR APPROVED EQUAL.

THE CONCRETE MIX SHALL BE IN CONFORMANCE WITH CSA A23.1. STRENGTH, WATER CEMENT RATIO, AGGREGATE, AND AIR CONTENT SHALL CONFORM TO TABLES 7, 8, AND 9 OF CSA A23.1:

LOCATION	f' _c MPa	RATIO W/C	AGG. IN. IN.	AIR %	SLUMP IN.	CLASS
PERIMETER FOOTINGS	25	0.55	3/4"	4 - 7	22.0	F2
INTERIOR FOOTINGS	25	0.55	3/4"	4 - 7	22.0	F2
PERIMETER WALLS	32	0.55	3/4"	4 - 7	22.0	F2
INTERIOR WALLS	25	0.55	3/4"	4 - 7	22.0	F2
EXTERIOR SLABS ON GRADE	30	0.45	3/4"	5 - 8	34.0	C2
INTERIOR SLABS ON GRADE	30	0.55	3/4"	4 - 7	34.0	N
INTERIOR (SLABS, BEAMS, COLUMNS)	35	0.55	3/4"	4 - 7	34.0	N
EXTERIOR (SLABS, BEAMS, COLUMNS)	35	0.55	3/4"	5 - 8	22.0	F2
FILL FOR STEEL DECKING	20	0.55	3/4"	5 - 8	22.0	F2
RETAINING WALLS	30	0.55	3/4"	5 - 8	22.0	F2
PILES AND PIERS	25	0.55	3/4"	5 - 8	22.0	F2

CONCRETE FINISHES

PROVIDE STEEL TROWEL FINISH FOR SLABS TO BE LEFT EXPOSED OR TO RECEIVE APPLIED FLOOR FINISH.

WHERE FLOOR DRAINS OCCUR, FINISH FLOOR LEVEL AT WALLS AND PROVIDE A MINIMUM OF 3 mm PER METER (1/16" PER FOOT) UNIFORM SLOPE TO DRAINS, UNLESS INDICATED OTHERWISE ON DRAWINGS.

IF NOTED ON DRAWINGS, SAW CUT CONTROL JOINTS WITHIN 24 HOURS AFTER FINISHING WITH 5 mm (3/16") BLADE CUT TO A DEPTH OF 1/3 OF THE SLAB THICKNESS.

COLD WEATHER PROTECTION RECOMMENDATIONS FOR CONCRETE

COLD WEATHER REQUIREMENTS ARE IN EFFECT WHEN THE FORECASTED OR ACTUAL AIR TEMPERATURE FALLS BELOW 5°C.

DO NOT PLACE CONCRETE AGAINST FROZEN GROUND, CONCRETE, MASONRY OR INTO FORMWORK THAT IS AT OR BELOW 0°C.

PROVIDE PROTECTION AND SUPPLEMENTARY HEAT AS REQUIRED IN CONCRETE MIX WHEN AIR TEMPERATURE IS BELOW 5°C.

MINIMUM CONCRETE TEMPERATURES AT TIME OF PLACING:
-CONCRETE LESS THAN 36" THICK MUST BE AT LEAST 10°C.
-CONCRETE GREATER THAN 36" THICK MUST BE AT LEAST 5°C.

MAINTAIN ALL NEWLY PLACED CONCRETE TEMPERATURE AT 10°C OR HIGHER FOR AT LEAST 36 HOURS OR UNTIL A MINIMUM OF 500 PSI CONCRETE STRENGTH IS ACHIEVED.

WHERE SUPPLEMENTARY HEAT IS PROVIDED, USE APPROVED CONCRETE HEATERS WITH EXHAUST VENTED AWAY FROM THE SURFACE OF CONCRETE.

COLD WEATHER PROTECTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CSA A23.1 AND A23.2.

TIMBER

ALL STRUCTURAL FRAMING LUMBER SHALL CONFORM TO THE REQUIREMENTS OF CSA O88.1, AND HAVE A MOISTURE CONTENT OF LESS THAN 19%.

THE SPECIES AND GRADE OF STRUCTURAL LUMBER, UNLESS OTHERWISE NOTED, SHALL BE AS FOLLOWS:

WALL STUDS	SPF	No. 2 OR BETTER
BEARING WALL PLATES	SPF	No. 2 OR BETTER
FLOOR JOISTS	SPF	No. 2 OR BETTER
BUILT-UP BEAMS	SPF	No. 2 OR BETTER
BUILT-UP POSTS	SPF	No. 2 OR BETTER

ANY LUMBER NOT GRADED WILL BE REJECTED

ALL FRAMING EXPOSED TO WEATHER SHALL BE PRESSURE TREATED FOR EXTERIOR USE.

FLOOR SHEATHING SHALL BE CSP PLYWOOD, MINIMUM 5/8" THICKNESS OR AS NOTED ON PLANS, GRADED TO CSA O21 - M78 EXTERIOR GRADE, UNLESS OTHERWISE NOTED. TONGUE AND GROOVE PANELS SHALL BE USED FOR ALL FLOORS, GLEUED AND FASTENED WITH 2x4 NAILS @ 6" o.c. ALONG ALL SUPPORTED PANEL EDGES AND 10" ALONG INTERMEDIATE SUPPORT MEMBERS, UNLESS NOTED OTHERWISE. ALL PANEL TONGUES SHALL BE GLEUED.

WALL, ROOF AND UNDERSHEATHING SHALL BE ORIENTED STRAND BOARD, MINIMUM 5/8" THICKNESS, OR AS NOTED ON PLANS, GRADED TO CAN/CSA - O43.0, FASTENED TO FRAMING MEMBERS WITH 2" NAILS @ 6" o.c. AT SUPPORTED PANEL EDGES AND AT 12" o.c. ALONG INTERMEDIATE SUPPORT MEMBERS.

ALL NAILS SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD B11.

CONSTRUCT ALL WOOD FRAMING TO THE REQUIREMENTS OF THE BC BUILDING CODE, PART 9, SECTION 9.2.4 AS A MINIMUM STANDARD, AND AS NOTED ON THE DRAWINGS. SEE NBC-95 HANGING SCHEDULE FOR NAILED CONNECTIONS.

ALL BUILT-UP POSTS FROM STUDS TO BE LAMINATED WITH 2 ROWS OF 3" NAILS @ 6" o.c.

ALL BUILT-UP POSTS NOTED ON PLANS INDICATE THE REQUIRED NUMBER OF CRIPPLE STUDS BELOW BEAM ENDS. PROVIDE MINIMUM OF ONE CRIPPLE BELOW BEAM ENDS UNLESS NOTED OTHERWISE. PROVIDE ADDITIONAL FULL HEIGHT STUD BESIDE THE CRIPPLE BELOW BEAM ENDS UNLESS OTHERWISE NOTED.

ALL BUILT-UP BEAMS OF HEADERS TO BE NAILED TOGETHER WITH 2 ROWS OF 3x4" NAILS @ 16" o.c. UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE CONSTRUCTED USING 2-2x10'S UNLESS OTHERWISE NOTED.

INDIVIDUAL MEMBERS OF BUILT-UP BEAMS OR HEADERS TO BE UNSPLICED BETWEEN SUPPORTS. HOLES OR OTHER PENETRATIONS ARE NOT ALLOWED THROUGH ANY BEAM.

ALL NON-LOADBEARING WALLS PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY AN ADDITIONAL FLOOR JOIST BELOW, OR BY MINIMUM 2x8 BLOCKING PLACED BETWEEN JOISTS WITH SPACING NOT TO EXCEED 4'-0" o.c.

LOADBEARING WALLS SHALL BE SUPPORTED BY WALLS, BEAMS, OR JOISTS RUNNING PERPENDICULAR TO WALLS. PROVIDE BLOCKING EQUAL TO THE JOIST DEPTH FOR DROPPED BEAMS AND WALLS BELOW. PROVIDE DOUBLE BLOCKING BETWEEN LOADBEARING FLOOR JOISTS RUNNING PERPENDICULAR TO WALLS.

PROVIDE SOLID BLOCKING TO TRANSFER POINT LOADS THROUGH THE FLOOR.

ALL TOP WALL PLATES SHALL BE DOUBLE AND CONTINUOUS, WITH SPICES STAGGERED NOT LESS THAN 32". TOP PLATES MAY BE OMITTED FOR FLUSH BEAMS PROVIDED METAL STRIPS ARE USED TO PROVIDE CONTINUITY. SEE STRUCTURAL DETAILS FOR OCCURRENCE.

BEAMS AND LINTELS SHALL BE SECURED AGAINST UPLIFT AS MAY OCCUR IN THE DESIGN.

ALL LOADBEARING & EXTERIOR WALL STUDS TO BE ANCHORED TO CONCRETE AT THE BASE WITH 5/8" DIAMETER BOLTS @ 4'-0" o.c. MAXIMUM SPACING, UNLESS NOTED OTHERWISE.

INSTALL ALL LIGHT GAUGE CONNECTION HARDWARE AS PER MANUFACTURER'S RECOMMENDATIONS.

INSPECTIONS: NOTIFY ENGINEER 36 HOURS IN ADVANCE FOR INSPECTION OF STRUCTURAL WOOD FRAMING. ENSURE THAT ALL HOLD DOWNS, ANCHORS AND CONNECTION HARDWARE IS UNCOVERED AND VISIBLE BEFORE INSPECTIONS.

STRUCTURAL COMPOSITE LUMBER

PARALLAM, TIMBERSTRAND AND PARALLAM STRUCTURAL COMPOSITE LUMBER SHALL BE AS MANUFACTURED BY TRUJOIST MACULAN WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:

PARALLAM PSL - BEAM	
E	= 2,200,000 psi
F _b	= 5,360 psi
F _v	= 540 psi
F _c (PARALLEL)	= 4,830 psi
F _c (PERP.)	= 1,363 psi
PARALLAM PSL - COLUMN	
E	= 1,800,000 psi
F _b	= 4,445 psi
F _v	= 355 psi
F _c (PARALLEL)	= 3,990 psi
F _c (PERP.)	= 1,300 psi
WESTFRASER LVL	
E	= 2,000,000 psi
F _b	= 5,729 psi
F _v	= 647 psi
F _c (PARALLEL)	= 3,000 psi
F _c (PERP.)	= 1,300 psi
TIMBERSTRAND LVL	
E	= 1,550,000 psi
F _b	= 4,295 psi
F _v	= 575 psi
F _c (PARALLEL)	= 3,270 psi
F _c (PERP.)	= 1,455 psi

ALTERNATES SHALL BE SUBMITTED IN WRITING FOR APPROVAL.

ALL LAMINATED WESTFRASER LVL BEAMS TO BE NAILED AS PER ENGINEER DRAWINGS

GLULAM LUMBER

ALL GLULAM BEAMS SHALL BE D.F.R SPECIES AND STRESS GRADED TO 24F-E ACCORDING TO CAN/CSA-O122.

CONTRACTOR TO ENSURE THAT ALL GLULAM BEAMS ARE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND ARE NOT INVERTED.

ALL GLULAM COLUMNS SHALL BE D.F.R SPECIES AND STRESS GRADED TO 16C-E ACCORDING TO CAN/CSA-O122.

ENGINEERED ROOF TRUSSES

DESIGN ROOF TRUSSES IN ACCORDANCE WITH "TRUSS DESIGN PROCEDURES AND SPECIFICATIONS FOR LIGHT METAL CONNECTED WOOD TRUSSES" TPIC - 1998.

DESIGN ROOF TRUSSES USING THE FOLLOWING MINIMUM CRITERIA:

TOP/BOTTOM CHORD	2x4 SPF No. 2
WEBS	2x4 SPF STUD GRADE
BOTTOM CHORD (GROGERS)	2x6 D.F.R No. 2
TOP CHORD LIVE LOAD	30 psf
TOP CHORD DEAD LOAD	10 psf
BOTTOM CHORD LIVE LOAD	7 psf
BOTTOM CHORD DEAD LOAD	1/360
LIVE LOAD DEFLECTION	L/240
DEAD LOAD DEFLECTION	L/240
MAXIMUM CAMBER	3"
*ADDITIONAL LOAD CASE AS PER CBCO TABLE 4.1.6.3	

DESIGN ALL ROOF TRUSSES WITH A MINIMUM BUTT OUT OF 18" UNLESS NOTED OTHERWISE.

FASTEN EACH END OF TRUSS USING ONE METAL FRAMING ANCHOR UNLESS NOTED OTHERWISE.

FIELD DRILLING, DROPPING, CUTTING OR OTHER MODIFICATIONS TO TRUSSES IS NOT PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE TRUSS MANUFACTURER'S PROFESSIONAL ENGINEER AND THE ACCEPTANCE OF THE ENGINEER.

ALIGN WEB PATTERNS ON ADJACENT TRUSSES FOR MECHANICAL DUCT ALIGNMENTS, ETC.

SUBMIT SHOP DRAWINGS TO ENGINEER AND RECEIVE REVIEWED SHOP DRAWINGS PRIOR TO FABRICATION. SHOP DRAWINGS SHALL SHOW DESIGN LOADS (INCLUDING UPLIFT), CAMBER, DIMENSIONS, MEMBER SIZES, GRADE AND SPECIES OF MATERIAL, CONNECTORS, TIEDOWNS, BRACING AND DETAILS INCLUDING FRAMING AND CONNECTIONS TO FRAME OPENINGS IN THE ROOF. A PROFESSIONAL ENGINEER REGISTERED IN BC SHALL SEAL AND SIGN THE SHOP DRAWINGS PRIOR TO SUBMISSION.

STRUCTURAL STEEL

FABRICATE AND ERECT STRUCTURAL STEEL TO CSA-S16.

TIGHTEN ALL BOLTS WITH IMPACT WRENCH

FRAME OPENINGS IN STEEL DECK GREATER THAN 18" WITH L 3 3-1/2x3-1/2x1/4 MINIMUM. SUPPLY ALL EMBEDDED METAL CONNECTORS SHOWN ON DRAWINGS.

PAINT STEEL SURFACES INTENDED FOR HEATED INTERIOR AREAS WITH ONE COAT OF PRIMER TO CISC/CPMA 1-73A. USE ONE COAT OF EXTERIOR APPROVED PRIMER FOR ALL STEEL SURFACES EXPOSED DIRECTLY TO WEATHER AND FOR STEEL IN UNHEATED BUT COVERED AREAS SUCH AS CANOPIES. PRIMERS MAY BE EXCLUDED ONLY WHERE SPRAYED FIRE PROOFING IS SPECIFIED OR SPECIFICALLY APPROVED BY THE OWNER AND THE ENGINEER.

SUBMIT FOUR SETS OF SHOP DRAWINGS TO THE ENGINEER AND RECEIVE APPROVAL PRIOR TO FABRICATION. SHOW ALL DETAILS, INCLUDING FIELD WELDS, AND MATERIAL SPECIFICATIONS. SHOP DRAWINGS TO BE SEALED BY A B.C. PROFESSIONAL ENGINEER FOR DESIGN OF CONNECTIONS.

WELD TO CSA W59 BY FABRICATORS QUALIFIED TO CSA W47.1.

STEEL DECKING

DESIGN, FABRICATE AND INSTALL STEEL DECK TO CSA S136 AND CANADIAN SHEET STEEL BUILDING INSTITUTE STANDARDS UNLESS OTHERWISE NOTED.

DECKING PROFILE AS SPECIFIED ON DRAWINGS, MINIMUM 22 ga. (0.030") STEEL CONFORMING TO ASTM A583/ASTM 37078 NPE COAT OR 2275 (G90), SEE DRAWINGS FOR DESIGN LOAD, METAL GAUGE, FASTENINGS SCHEDULE AND GALVANIZED.

PROVIDE DRAIN HOLES AS REQUIRED TO PREVENT RAINWATER ACCUMULATION DURING INSTALLATION.

INSTALL DECKING CONTINUOUS OVER MINIMUM THREE SPANS EXCEPT WHERE OTHERWISE APPROVED.

FASTEN DECK TO SUPPORTING STEEL WITH POWER DRIVE NAILS, SELF-DRILLING SCREWS, OR WELDS IN ACCORDANCE WITH THE DRAWINGS. FASTEN SIDE LAPS WITH SELF-DRILLING SCREWS AS SCHEDULED. USE GALV. FASTENERS FOR EXTERIOR EXPOSURE AND UNHEATED AREAS.

PROVIDE HEADED SHEAR STUDS WHERE INDICATED ON THE DRAWINGS. FIELD INSTALL THROUGH THE DECK AND TEST IN ACCORDANCE WITH CSA W59.

CUT AND FRAME OPENINGS BETWEEN 6" AND 18" WITH STEEL STUDS PERPENDICULAR TO FLUTES. OPENINGS LARGER THAN 18" FRAMED BY STRUCTURAL STEEL ERECTOR.

SUBMIT FOUR SETS OF SHOP DRAWINGS TO THE ENGINEER AND RECEIVE APPROVAL PRIOR TO FABRICATION. SHOW ALL DETAILS, MATERIALS SPECIFICATIONS AND DESIGN LOADS.

TYPICAL 36" DECKING DIMENSIONS	
ROOF DECK FASTENING SCHEDULE	
ZONE GAUGE	FASTENING SCHEDULE
1 22 (0.030")	36/7 12" o/c
2 22 (0.030")	36/7 6" o/c
3 22 (0.030")	36/8 6" o/c
4 22 (0.030")	36/11 6" o/c
5 20 (0.036")	36/7 6" o/c
6 20 (0.036")	36/8 6" o/c
7 20 (0.036")	36/11 6" o/c
8 18 (0.048")	36/11 6" o/c
9 18 (0.050")	36/11 4" o/c
10 18 (0.048")	36/7 12" o/c

LEGEND	
	2x8 OR 2x4 SPF No.2 LOAD-BEARING WALL (16" o.c. U.N.O.)
	SHEARWALL PER PLAN AND SCHEDULE
	NON LOAD BEARING WOOD-FRAMED WALL
	CONCRETE ICF WINDOW LINTEL - SEE LINTEL SCHEDULE FOR REINFORCEMENT
	TALL FOUNDATION WALL PER PLAN AND SCHEDULE
	FOUNDATION WALL PER PLAN AND SCHEDULE
	FOOTING PER PLAN AND SCHEDULE
	HEADER/BEAM PER PLAN AND SCHEDULE
	PREFABRICATED ROOF TRUSS
	BUILT UP POST LEGEND USE: [2][6][1] UNLESS OTHERWISE NOTED
	JOISTS / PREFABRICATED ROOF TRUSSES PER PLAN AND SCHEDULE
	POST PER PLAN AND SCHEDULE
	POINT LOAD FROM ABOVE
	LINE LOAD FROM ABOVE

SCHEDULE

This forms part of application

DVP18-0215

Planner Initials SS

City of
Kelowna
COMMUNITY PLANNING

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CITY OF KELOWNA

MEMORANDUM

Date: March 29, 2019 (Revised)
File No.: DVP18-0215
To: Land Use Management (SS)
From: Development Engineering Manager (JK) (Amended)
Subject: 392 Stellar Drive Lot A Plan 81216 Multiple Variances

Development Engineering has the following comments and requirements associated with this amended Development Variance Application.

1. The application to vary the minimum front yard setback from 4.5m required to 3.5m proposed and to vary the minimum front yard setback for a garage (having vehicular entry from the front) from 6.0m required to 3.75m proposed, can be supported if the required parking stall requirements are met.
2. The application for a development variance permit to vary the maximum height of a retaining wall from 1.25m to 3.4m does not compromise municipal servicing, provided it complies with the new EGBC retaining wall requirements including peer review.
3. The property is within Water Extended Service Area 14 as well as Sewer Spec area 28A. Additional fee amounts may be required and will be determined at Building Permit stage.


James Kay, P. Eng.
Development Engineering Manager

Development Variance Permit

DVP18-0215



This permit relates to land in the City of Kelowna municipally known as

392 Stellar Drive

and legally known as

Lot A Section 23 Township 28 SDYD Plan KAP81216

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

Section 7.5.9 – Landscaping and Screening Fencing and Retaining Walls

- a) To vary the maximum height of the retaining wall from 1.2 m required to 3.4 m proposed.
- b) **Section 8.1 – Parking and Loading Parking Schedule**
- c) To vary the designated secondary suite parking space from one required to none proposed.

Section 13.1.6(c) – RU1 – Large Lot Housing Large Lot Housing Development Regulations

- d) To vary the minimum front yard setback from 4.5 m required to 3.5 m proposed.
- e) To vary the minimum front yard setback from a garage having vehicular entry from the front from 6.0 m required to 3.75 m proposed.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: May 7, 2019

Decision By: CITY COUNCIL

Issued Date: **DATE**

Development Permit Area: N/A

File Manager: SS

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: RU1 – Large Lot Housing

Future Land Use Designation: S2RES – Single Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Steve & Elizabeth Moore

Applicant: Gary Carpendale – Harmony Homes

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The retaining wall to comply with the new EGBC retaining wall requirements including peer review in accordance with Schedule "B";

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of \$ n/ao

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

REPORT TO COUNCIL



Date: May 7, 2019

RIM No. 0940-00

To: City Manager

From: Community Planning Department (BBC)

Application: DVP18-0216

Owner: Christopher J. Roth and
Jennifer L. Roth

Address: 2428 - 2430 Richter Street

Applicant: Urban Options Planning and
Permits

Subject: Development Variance Permit Application

Existing OCP Designation: MRL – Multiple Unit Residential (Low Density)

Existing Zone: RU6 – Two Dwelling Housing

1.0 Recommendation

THAT Council authorize the issuance of Development Variance Permit DVP18-0216 for Lot 8, District Lot 14, Osoyoos Division, Yale District, Plan 1141, located on 2428-2430 Richter Street, Kelowna, BC.

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted, as shown in Schedule "A":

Section 13.6.6(h): RU6 – Two Dwelling Housing Development Regulations:

To vary the required minimum rear yard setback of an existing building from 7.5 m permitted, to 3.05 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the required minimum rear yard setback of an existing building from 7.5 m permitted, to 3.05 m proposed.

3.0 Community Planning

Community Planning Staff supports the development variance permit to vary the required minimum rear yard setback of an existing building from 7.5 m required, to 3.05 m proposed.

The rear yard setback variance is being requested in order for the applicant to construct an addition between an existing dwelling and an existing accessory structure to create a single, contiguous dwelling.

The proposed addition is appropriate for this location. The requested variance will not compromise any municipal infrastructure or services, and will not negatively impact the adjacent parcels.

To fulfill Council Policy No. 367, the applicant submitted a Neighbour Consultation Summary Form to staff on January 30, 2019, outlining that the neighbours within 50 m of the subject property were notified.

4.0 Proposal

4.1 Background and Project Description

The subject property currently has an existing single family dwelling, a detached accessory structure which is large enough to be used as a single car garage, and a two-level secondary accessory structure permitted to be used as a carriage house. The applicant is planning to construct a new addition between the existing principal dwelling and the carriage house, connecting the two structures, thus creating a single, contiguous dwelling.

According to the City records, the existing carriage house was permitted for construction in 2002. Under the current Zoning Bylaw, the two-story carriage house is considered non-compliant. The carriage house effectively becomes a secondary suite when the existing principal dwelling is connected to it, thus legalizing the non-conforming structure.

Adequate parking is achieved for both the principal dwelling and the secondary suite with the use of the detached single car garage and existing on-site surface parking accessed from the rear lane.

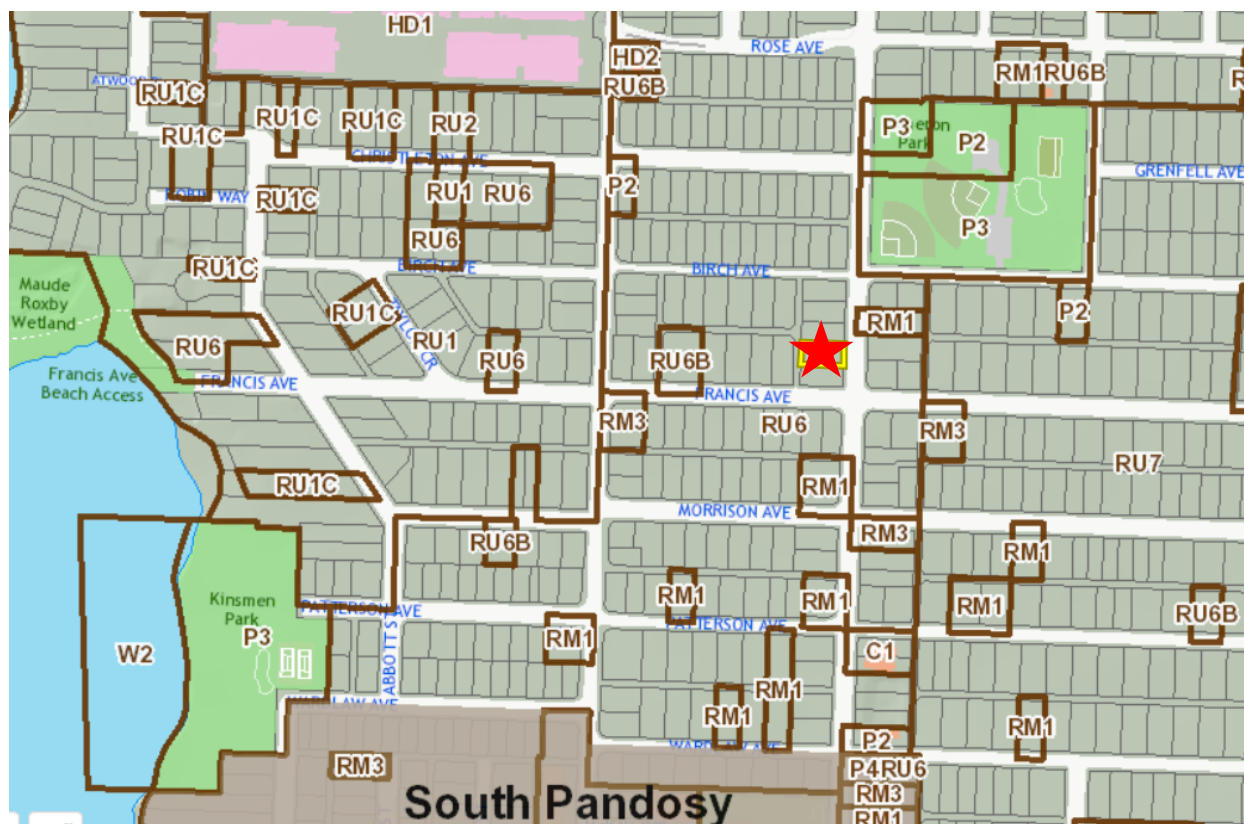
4.2 Site Context

The subject property is located within the Permanent Growth Boundary in the South Pandosy – KLO neighbourhood. The parcel is located adjacent to a corner lot within a short residential block, and is accessed from a rear lane. The surrounding residential area is characterized mainly by a mix of single family and secondary dwelling units developed in various housing forms including duplexes, second dwellings, and low density multiple housing. There are public schools, transit and a number of parks within a short walking distance. The South Pandosy Urban Center is located within 350 m south of the property.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing P2/3 – Educational & Minor Institutions/Parks and Open Space	Residential Park
East	RU6 – Two Dwelling Housing RM1 – Four Dwelling Housing RM3 – Low Density Multiple Housing	Residential
South	RU6 – Two Dwelling Housing RM1 – Four Dwelling Housing	Residential
West	RU6 – Two Dwelling Housing RM3 – Low Density Multiple Housing -	Residential

Subject Property Map: 2428 – 2430 Richter Street



4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU6 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	400 m ²	668.9 m ²
Lot Width	13.0 m	18.29 m
Lot Depth	30.0 m	36.6 m
Development Regulations		
Site Coverage (buildings)	40%	30%
Maximum total site coverage (buildings, driveways, & parking)	50%	35%
Maximum Height of Principal Dwelling	9.5 m or 2.5 storey	7.0 m
Front Yard Setback	4.5 m	8.60 m
Side Yard Setback (south)	2.0 m for 1-1/2 storey portion or, 2.3 m for 2 storey portion	2.55 m
Side Yard Setback (north)		4.45 m
Rear Yard Setback	7.5 m	3.05 m ❶
Other Regulations		
Minimum Parking Requirements	3	3

❶ Indicates a requested variance to the required minimum rear yard setback of an existing building from 7.5 m required, to 3.05 m proposed

5.0 Current Development Policies

5.1 Zoning Bylaw No: 8000 – Section 6: General Development Regulations

Section 13.6.6(h) – Two Dwelling Housing Regulations

The minimum site rear yard is 7.5m, except it is 1.5 m for accessory buildings. Where the lot width exceeds the lot depth, the minimum rear yard is 4.5 m provided that one side yard shall have a minimum width of 4.5 m.

6.0 Technical Comments

6.1 Building & Permitting Department

- Full Plan check for Building Code related issues will be done at time of Building Permit applications.

6.2 Development Engineering Department

- Refer to Attachment A, dated November 9, 2018

7.0 Application Chronology

Date of Application Received: November 5, 2018
Date Public Consultation Completed: January 30, 2019
Supplemental Drawings Received: March 15, 2019

Report prepared by: Barbara B. Crawford, Planner
Reviewed by: Dean Strachan, Suburban and Rural Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Attachment A – Development Engineering Memorandum, dated November 9, 2018
Schedule A – Rationale Letter, Site and Elevation Plans

CITY OF KELOWNA
MEMORANDUM

ATTACHMENT		A
This forms part of application # DVP18-0216		
Planner Initials	BC	 City of Kelowna COMMUNITY PLANNING

Date: November 9, 2018
File No.: DVP18-0216
To: Community Planning (TA)
From: Development Engineering Manager (JK)
Subject: 2428-2430 Richter Street

Development Engineering comments and requirements regarding this development permit application are as follows:

This development variance permit application to vary the rear yard setback from 7.5m required to 3.05m existing for an addition to a single family dwelling, does not compromise any municipal services.



James Kay, P. Eng.
Development Engineering Manager

JA



SCHEDULE		A
This forms part of application		
# DVP18-0216		
Planner Initials	BC	 City of Kelowna COMMUNITY PLANNING

October 11, 2018

City of Kelowna
Urban Planning Department
1435 Water Street
Kelowna, BC

RE: Application for a Development Variance Permit to reduce rear yard from 7.5m Required to 3.05m Proposed at 2430 Richter Street

Dear Urban Planner:

We are planning to construct a new solarium/dining room to connect an existing carriage house to the existing dwelling located at 2430 Richter Street in order to create one building. This new link will be designed with easy access to both the former carriage house and the dwelling. The current home is quite small and the additional space will increase the liveability of the dwelling.

The existing carriage house was constructed sometime around 2003 as a full 2-storey building with a flat roof, a configuration that does not comply with current zoning bylaw regulations. By connecting the two buildings, the former carriage house becomes part of the principal dwelling and former carriage house becomes a secondary suite. In this configuration, the resulting building height would meet current zoning bylaw regulations of 2 ½ storeys in height, up to a maximum of 9.5m.

However, when the existing carriage house is attached to the principal dwelling, the required rear yard setback would have to be 7.5m. As the existing carriage house has a rear yard setback of only 3.05m. this application for a Development Variance Permit has been made to vary the rear yard setback from 7.5m required to 3.05m existing.

The existing free-standing garage is to remain and will provide parking for two vehicles. The space between the existing garage and the former carriage house is large enough to provide access to two tandem parking stalls.

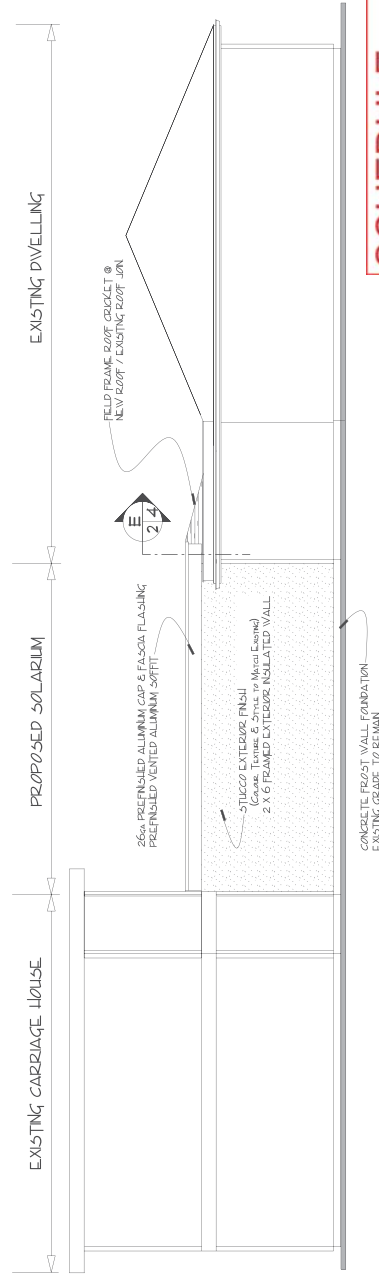
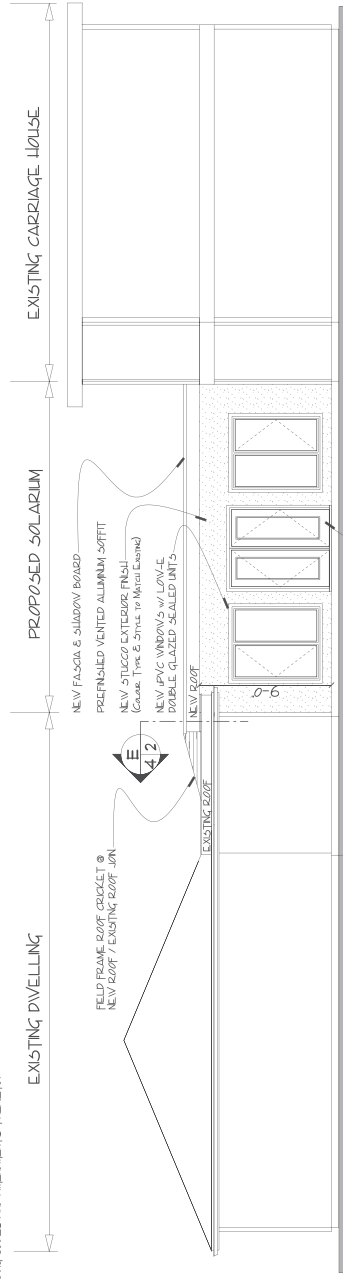
This area has a good mix of single family, and dwelling with secondary suites in the area. The area is close to multiple bus routes and transportation options. The proposal to connect the buildings increases the liveability of the existing dwelling and retains existing housing stock while legalized a non-conforming carriage house. Please support this project.

Regards

Birte Decloux on behalf of Jen and Chris Roth

FRONT
ELEVATION
(SOLARIUM FRONT)
SCALE: 1/4" = 1'-0"

REAR
ELEVATION
(SOLARIUM REAR)
SCALE: 1/4" = 1'-0"



SCHEDULE

A

This forms part of application

DVP-18-0216

City of Kelowna

COMMUNITY PLANNING

Planner Initials

BC

[illegible]

Development Variance Permit

DVP18-0216



This permit relates to land in the City of Kelowna municipally known as **2428-2430 Richter Street**

and legally known as **Lot 8, District Lot 14, Osoyoos Division, Yale District, Plan 1141**

and permits the land to be used for the following development: **A variance for the rear yard setback of an existing building.**

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted, as shown in Schedule "A":

Section 13.6.6(h) – Two Dwelling Housing Regulations:

To vary the required minimum rear yard setback of an existing building from 7.5 m permitted, to 3.05 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: XXXX

Decision By: CITY COUNCIL

Issued Date: XXXX

This permit will not be valid if development has not commenced by XXX, 2020.

Existing Zone: RU6

Future Land Use Designation: MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Christopher J. Roth and Jennifer L. Roth

Applicant: Urban Options Planning and Permits

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Variance Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Variance Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Variance Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorize the issuance of Development Variance Permit DVP18-0216 for Lot 8, District Lot 14, Osoyoos Division, Yale District, Plan 1141, located on 2428-2430 Richter Street, Kelowna, BC.

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted, as shown in Schedule "A":

Section 13.6.6(h) – Two Dwelling Housing Regulations:

To vary the required minimum rear yard setback of an existing building from 7.5 m permitted, to 3.05 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend

This Development Permit is valid for two (2) years from the date of XXXX, 2019 approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

Not required.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**