

# City of Kelowna

## Regular Council Meeting

### AGENDA



Tuesday, April 9, 2019  
6:00 pm  
Council Chamber  
City Hall, 1435 Water Street

#### Pages

1. **Call to Order**
2. **Reaffirmation of Oath of Office**  
The Oath of Office will be read by Councillor Donn.
3. **Confirmation of Minutes** 1 - 10  
Public Hearing - March 26th, 2019  
Regular Meeting - March 26th, 2019
4. **Bylaws Considered at Public Hearing**
  - 4.1 **Hall Rd, Fairhall Rd and Packers Rd, BL11761 (LUCT18-0011) - Various Owners** 11 - 13  
To give Bylaw No. 11761 second and third reading and adopt in order to early terminate Land Use Contract LUC76-1080 and revert the subject properties identified in Schedule A to their appropriate underlying zones.
  - 4.2 **Bernard Ave 547-559, BL11775 (Z19-0005) - Salco Management Ltd, Inc. No. BC0744182** 14 - 14  
To give Bylaw No. 11775 second and third reading in order to rezone the subject property from C7 - Central Business Commercial zone to the C7rcs - Central Business Commercial (Retail Cannabis Sales) zone.
  - 4.3 **Glenmore Rd 401, BL11778 (Z19-0006) - 653332 BC Ltd, Inc. No. 653332** 15 - 15  
To give Bylaw No. 11778 second and third reading in order to rezone the subject property from the C3 - Community Commercial zone to the C3rcs - Community Commercial (Retail Cannabis Sales) zone.

<b>4.4</b>	<b>Rutland Rd S 140-160, BL11779 (Z19-0026) - Canada West Realty Ltd, Inc. No. 71313</b>	<b>16 - 16</b>
	To give Bylaw No. 11779 second and third reading in order to rezone the subject property from the C4 - Urban Centre Commercial zone to the C4rcs - Urban Centre Commercial (Retail Cannabis Sales) zone.	
<b>4.5</b>	<b>Springfield Rd 2121, BL11780 (Z19-0029) - 417414 BC Limited, Inc No 417414</b>	<b>17 - 17</b>
	To give Bylaw No. 11780 second and third reading in order to rezone the subject property from the C4 - Urban Centre Commercial zone to the C4rcs - Urban Centre Commercial (Retail Cannabis Sales) zone.	
<b>4.6</b>	<b>Gordon Drive 3818, BL11782 (TA19-0008) - Save on Shoes Ltd Inc No 397854</b>	<b>18 - 19</b>
	To give Bylaw No. 11782 second and third reading to amend Zoning Bylaw No. 8000 by correcting the wording on the C2 Neighbourhood Commercial subzones in Section 14.2, and creating a C1orls/rcs subzone combination in both Section 01 and Section 14.10.	
<b>4.7</b>	<b>Gordon Dr 3818, BL11783 (Z19-0013) - Save on Shoes Ltd Inc No 397854</b>	<b>20 - 20</b>
	To give Bylaw No. 11783 second and third reading in order to rezone the subject property from the C2 - Neighbourhood Commercial zone to the C2rcs - Neighbourhood Commercial (Retail Cannabis Sales) zone.	
<b>4.8</b>	<b>Kyndree Ct 1222, BL11787 (Z19-0042) - Hans and Krystyna Schubel</b>	<b>21 - 21</b>
	To give Bylaw No. 11787 second and third reading in order to rezone the subject property from the A1 – Agriculture 1 zone to the RR3 – Rural Residential 3 zone to facilitate a future 2 lot subdivision.	
<b>4.9</b>	<b>Via Centrale 3200, BL11789 (OCP18-0020) - 0971205 B.C. Ltd.</b>	<b>22 - 23</b>
	<b>Requires a majority of all members of Council (5).</b> To give Bylaw No. 11789 second and third reading in order to change the future land use designation of the subject property.	
<b>4.10</b>	<b>Via Centrale 3200, BL11791 (Z18-0113) - 0971205 B.C. Ltd.</b>	<b>24 - 25</b>
	To give Bylaw No. 11791 second and third reading in order to rezone the subject property from the P3LP – Parks and Open Space (Liquor Primary) zone to the RM3 – Low Density Multiple Housing zone.	
<b>4.11</b>	<b>McCarthy Rd 9670, BL11790 (Z18-0122) - The Flowr Group (Okanagan) Inc., Inc. No. BC0974062</b>	<b>26 - 26</b>
	To give Bylaw No. 11790 second and third reading in order to rezone the subject property from the I3 – Heavy Industrial zone to the I2 – General Industrial zone to facilitate the construction of a new industrial building.	

<b>4.12</b>	<b>Harvey Ave 1455-1475, BL11792 (Z19-0010) - 449048 British Columbia Ltd, 1145399</b>	<b>27 - 27</b>
	To give Bylaw No. 11792 second and third reading in order to rezone the subject property from the C3 - Community Commercial zone to the C3rcs - Community Commercial (Retail Cannabis Sales) zone.	
<b>4.13</b>	<b>Harvey Ave 2090, BL11793 (Z19-0008) - T 252 Enterprises Ltd Inc No BC1184462</b>	<b>28 - 28</b>
	To give Bylaw No. 11793 second and third reading in order to rezone the subject property from the C4 - Urban Centre Commercial zone to the C4rcs - Urban Centre Commercial (Retail Cannabis Sales) zone.	
<b>5.</b>	<b>Notification of Meeting</b>	
	The City Clerk will provide information as to how the following items on the Agenda were publicized.	
<b>6.</b>	<b>Liquor License Application Reports</b>	
<b>6.1</b>	<b>Pooley Rd 3240, LL18-0019 - Wyn and Marion Lewis</b>	<b>29 - 35</b>
	<b>City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the liquor license application to come forward.</b>	
	To consider a change in hours to two areas of the special event area endorsement on an existing manufacturing licence for a winery to extend the hours events can be held, and to hold events on Sundays and some Mondays.	
<b>7.</b>	<b>Development Permit and Development Variance Permit Reports</b>	
<b>7.1</b>	<b>Cawston Ave 1044-1074, OCP18-0002 (BL11595) - Sukhdarshan Singh Pannu</b>	<b>36 - 36</b>
	<b>Requires a majority of Council (5).</b>	
	To amend Bylaw No. 11595 at third reading and adopt in order to change the future land use designation of the subject property to facilitate the development of multiple dwelling housing.	
<b>7.2</b>	<b>Cawston Ave 1044-1074, Z18-0008 (BL11596) - Sukhdarshan Singh Pannu</b>	<b>37 - 37</b>
	To amend Bylaw No. 11596 at third reading and adopt in order to rezone the subject properties to facilitate the development of multiple dwelling housing.	

<b>7.3</b>	<b>Cawston Ave 1044-1074, DP18-0018 DVP18-0019 - Sukhdarshan Singh Pannu</b>	<b>38 - 63</b>
	City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.	
	To consider the form and character of a proposed 4 ½ storey apartment building and to consider two variances for increases in site coverage, as well as a variance to increase the ratio of medium size parking stalls.	
<b>7.4</b>	<b>Gore Street 2627-2643, Z18-0106 (BL11721) - Teano Holdings Ltd., Inc.No. BC1090038</b>	<b>64 - 64</b>
	To amend Bylaw No. 11721 at third reading and adopt in order to rezone the subject property from the RU6 – Two Dwelling Housing zone to the RM5 – Medium Density Multiple Housing zone .	
<b>7.5</b>	<b>Gore St 2627-2643, DP18-0196 DVP18-0197 - Teano Holdings Ltd., Inc.No. BC0190038</b>	<b>65 - 91</b>
	City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.	
	To consider the form and character of a 19 unit four storey apartment building and to consider a setback variance for the parkade along the southern property line.	
<b>7.6</b>	<b>Carion Rd 230, DVP18-0202 - Northok Properties Inc., Inc. No. BC1172950</b>	<b>92 - 99</b>
	City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.	
	To consider a Staff recommendation to <u>NOT</u> issue a Development Variance Permit to vary the fence height for an Industrial property from 2.4 m maximum to 3.66 m proposed and to allow razor wire for a facility not associated with penitentiaries, jails or places of incarceration.	
<b>7.7</b>	<b>Cadder Ave 869, DVP19-0053 - Chad Gould</b>	<b>100 - 106</b>
	City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.	
	To vary the location of two required parking stalls to be located within 1.5m of the west side property line and within 1.5m of the rear property line and to vary the requirement to screen a parking stall parallel to and flanking a lane by a physical barrier.	

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To vary the required minimum north side yard setback from 2.0m permitted to 1.53m proposed.

**8. Reminders**

**9. Termination**



## City of Kelowna Public Hearing Minutes

Date: Tuesday, March 26, 2019

Location: Council Chamber  
City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Charlie Hodge, Luke Stack and Loyal Wooldridge

Members Absent Councillors Gail Given, Brad Sieben and Mohini Singh

Staff Present Acting City Manager, Genelle Davidson; City Clerk, Stephen Fleming; Suburban and Rural Planning Manager, Dean Strachan; Community Planning Supervisor, Laura Bentley; Legislative Coordinator (Confidential), Rebecca Van Huizen

### 1. Call to Order

Mayor Basran called the Hearing to order at 6:02 p.m.

Mayor Basran advised that the purpose of the Hearing is to consider certain bylaws which, if adopted, will amend "Kelowna 2030 - Official Community Plan Bylaw No. 10500" and Zoning Bylaw No. 8000", and all submissions received, either in writing or verbally, will be taken into consideration when the proposed bylaws are presented for reading at the Regular Council Meeting which follows this Public Hearing.

### 2. Notification of Meeting

The City Clerk advised that Notice of this Public Hearing was advertised by being posted on the Notice Board of City Hall on Tuesday, March 12, 2019 and by being placed in the Kelowna Daily Courier issues on Friday, March 15 and Wednesday, March 20, and by sending out or otherwise delivering 572 letters to the owners and occupiers of surrounding properties on Tuesday, March 12, 2019

The correspondence and/or petitions received in response to advertising for the applications on tonight's agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

### 3. Individual Bylaw Submissions

#### 3.1 HWY 97 N 7770, 7782, 7800 and 7810, LUCT18-0006 (BL11762) - Multiple Owners

Staff:

- Displayed a PowerPoint presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

No one from the gallery came forward.

There were no further comments.

**3.2 Pioneer Rd 1485 & 1535, LUCT18-0008 (BL11764) - Patricia Phelan and Michael & Cathy Kosick**

Staff:

- Displayed a PowerPoint presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

No one from the gallery came forward.

There were no further comments.

**3.3 Slater Rd 3308 & 3318, LUCT18-0004 (BL11765) - Steven & Adele Williams and Gerald Bugera and Sandra Cooney**

Staff:

- Displayed a PowerPoint presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

No one from the gallery came forward.

There were no further comments.

**3.4 Snowsell St 155, LUCT18-0010 (BL11767) - Joanne & Kevin Tribiger**

Staff:

- Displayed a PowerPoint presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

No one from the gallery came forward.

There were no further comments.

**3.5 Tronson Ct 841, LUCT18-0005 (BL11768) - Isaac Potash & Jennifer Large**

Staff:

- Displayed a PowerPoint presentation summarizing the application and responded to questions from Council.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

No one from the gallery came forward.

There were no further comments.

**3.6 Yates Rd 373 & 379, LUCT18-0009 (BL11769) - Kenneth & Holly Finney and Jordan Huculak & Kayla Madsen**

Staff:

- Displayed a PowerPoint presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

No one from the gallery came forward.

There were no further comments.

**3.7 Nickel Rd 240, 250, 260 - Z18-0033 (BL11772) - 1129410 BC Ltd.**

Staff:

- Displayed a PowerPoint presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Applicant was present and available for questions.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

No one from the gallery came forward.

There were no further comments.

**3.8 Union Rd (W of), Clifton Rd N 225, Begbie Rd 2025, OCP17-0023 (BL11781) Z17-0098 (BL11785) - Blenk Development Corp**

Staff:

- Displayed a PowerPoint presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received.

Letters of Support:

- Bryce Traister, Dean, Faculty of Creative and Critical Studies, UBC
- David Waddis, Planning Manager, Central Okanagan Public Schools
- Dr. M Shahria Alam, P. Eng. School of Engineering, UBC

Letters of Opposition and Concern:

- Robert Brooks, Long Ridge Dr
- Holly Roy, Long Ridge Dr
- David Fowler, Hidden Hills Dr
- Sonia Szombathy, Long Ridge Dr

Applicant, Paul Fenske, Ekistics Town Planning Inc:

- Displayed a PowerPoint presentation.

- Spoke to rationale for proposed changes.
- Spoke to parks and trails layouts.
- Spoke to traffic layout.
- The parks space will have an opportunity to share with the school and the public.
- Spoke to and compared the original plan and the proposed and how the new plan will better fit the community.
- Responded to questions from Council.

Owner, Russ Foster, Blenk Developments:

- Noted the plan would be to build the park sooner rather than later.
- Responded to questions from Council.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

Doug Gossoo, Begbie Rd:

- Resident of the area.
- Raised concerns with the proposed increase in density.
- Support the village proposal itself but not the increased density.

Nasser Yalpani, Union Rd

- Raised concern with parking and that the proposal will increase parking requirements.
- Inquired as to how parking will be addressed.
- Quite a bit of overnight parking on Union Rd already.
- Questioned how will they address parking issues.

Mark McNara, Union Rd:

- Raised concerns with water being channeled towards the ponds.

Applicant, in response:

- Increase in density part of a general trend to where density is to be located.
- Parking will be within City requirements; underground parking will be available in the village.
- Pond hydrology not changing.

There were no further comments.

**4. Termination**

The Hearing was declared terminated at 7:15 p.m.

\_\_\_\_\_  
Mayor Basran

sf/rvh

\_\_\_\_\_  
City Clerk



## City of Kelowna Regular Meeting Minutes

Date: Tuesday, March 26, 2019

Location: Council Chamber  
City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxines DeHart, Ryan Donn, Charlie Hodge, Luke Stack and Loyal Wooldridge

Members Absent Councillors Gail Given, Brad Sieben and Mohini Singh

Staff Present Acting City Manager, Genelle Davidson; City Clerk, Stephen Fleming; Suburban and Rural Planning Manager, Dean Strachan; Community Planning Supervisor, Laura Bentley; Legislative Coordinator (Confidential), Rebecca Van Huizen

### 1. Call to Order

Mayor Basran called the meeting to order at 7:22 p.m.

### 2. Reaffirmation of Oath of Office

The Oath of Office was read by Councillor DeHart.

### 3. Confirmation of Minutes

Moved By Councillor Hodge/Seconded By Councillor Donn

(R0324/19/03/26) THAT the Minutes of the Public Hearing and Regular Meeting of March 12, 2019 be confirmed as circulated.

Carried

### 4. Bylaws Considered at Public Hearing

4.1 HWY 97 N 7770, 7782, 7800 and 7810, LUCT18-0006 (BL11762) - Multiple Owners

Moved By Councillor Stack/Seconded By Councillor DeHart

(R0325/19/03/26) THAT Bylaw No. 11762 be read a second and third time.

Carried

- 4.2 Pioneer Rd 1485 & 1535, LUCT18-0008 (BL11764) - Patricia Phelan and Michael & Cathy Kosick**

Moved By Councillor DeHart/Seconded By Councillor Stack

(R0326/19/03/26) THAT Bylaw No. 11764 be read a second and third time and be adopted.

Carried

- 4.3 Slater Rd 3308 & 3318, LUCT18-0004 (BL11765) - Steven & Adele Williams and Gerald Bugera and Sandra Cooney**

Moved By Councillor Donn/Seconded By Councillor DeHart

(R0327/19/03/26) THAT Bylaw No. 11765 be read a second and third time and be adopted.

Carried

- 4.4 Snowsell St 155, LUCT18-0010 (BL11767)- Joanne & Kevin Tribiger**

Moved By Councillor Donn/Seconded By Councillor DeHart

(R0328/19/03/26) THAT Bylaw No. 11767 be read a second and third time and be adopted.

Carried

- 4.5 Tronson Ct 841, LUCT18-0005 (BL11768) - Isaac Potash & Jennifer Large**

Moved By Councillor Donn/Seconded By Councillor DeHart

(R0329/19/03/26) THAT Bylaw No. 11768 be read a second and third time and be adopted.

Carried

- 4.6 Yates Rd 373 & 379, LUCT18-0009 (BL11769) - Kenneth & Holly Finney and Jordan Huculak & Kayla Madsen**

Moved By Councillor Hodge/Seconded By Councillor Wooldridge

(R0330/19/03/26) THAT Bylaw No. 11769 be read a second and third time and be adopted.

Carried

- 4.7 Nickel Rd 240, 250, 260, Z18-0033 (BL11772) - 1129410 BC Ltd.**

Moved By Councillor Wooldridge/Seconded By Councillor Hodge

(R0331/19/03/26) THAT Bylaw No. 11772 be read a second and third time.

Carried

**4.8 Union Rd (W of), Clifton Rd N 225, Begbie Rd 2025, OCP17-0023 (BL11781) - Blenk Development Corp**

Moved By Councillor Hodge/Seconded By Councillor Wooldridge

(R0332/19/03/26) THAT Bylaw No. 11781 be read a second and third time.

Carried

**4.9 Union Rd (W of), Clifton Rd N 225, Begbie Rd 2025, Z17-0098 (BL11785) - Blenk Development Corp**

Moved By Councillor Wooldridge/Seconded By Councillor Hodge

(R0333/19/03/26) THAT Bylaw No. 11785 be read a second and third time.

Carried

**5. Notification of Meeting**

Notice of these Liquor License Applications were advertised by being posted on the Notice Board at City Hall on Tuesday, March 12, 2019, and by being placed in the Kelowna Daily Courier issues on Friday, March 15 and Wednesday, March 20 and by sending out or otherwise mailing 48 statutory notices to the owners and occupiers of surrounding properties on Tuesday, March 12, 2019.

The City Clerk advised that Notice of Council's consideration of the Development Variance Permit Application was given by sending out or otherwise mailing 19 statutory notices to the owners and occupiers of surrounding properties on Tuesday, March 12, 2019.

The correspondence and/or petitions received in response to advertising for the applications on tonight's Agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

**6. Liquor License Application Reports**

**6.1 Kirschner Rd 1851, LL18-0034 - Whitworth Holdings Ltd., Inc. No. 1059455**

Staff:

- Displayed a PowerPoint presentation summarizing the application.

The City Clerk advised that no correspondence was received.

The applicant was present and available for comment.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

No one from the gallery came forward.

There were no further comments.

Moved By Councillor Donn/Seconded By Councillor Hodge

(R0334/19/03/26) THAT Council directs Staff to forward the following recommendation to the Provincial Liquor & Cannabis Regulation Branch (LCRB):

In accordance with Section 71 of the *Liquor Control and Licensing Regulation* and Council Policy #359, BE IT RESOLVED THAT:

1. Council recommends support of an application from Copper Brewing Company Ltd. located at #102 – 1851 Kirschner Road, Kelowna, BC, legally described as Lot 1 District Lot 129 ODYD Plan EPP18842, for a manufacturer lounge from:

(a) "9:00 AM to Midnight Sunday to Saturday" for the indoor service areas; and

(b) "9:00 AM to 11:00 PM Sunday to Saturday" for the patio service areas

2. That Council's comments on the prescribed considerations are as follows:

(a) The location of the brewery: The brewery is located in a mixed-use urban centre along a collector route;

(b) The person capacity of the brewery lounge: The person capacity is 70 persons for the indoor area, and 40 persons on the exterior patio;

(c) Traffic, noise, parking and zoning: The brewery is located in an urban centre and will have minimal negative impact on traffic, noise, parking, and the property is zoned appropriately. There are minimal residential dwellings nearby and the noise from the patio should not be a nuisance. The recommendation is to allow the patio's hours to 11:00pm;

(d) The impact on the community if the application is approved: The potential for negative impact is considered to be minimal;

AND THAT Council's comments on the view of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures".

**Carried**

## **6.2 Richter St 1033, LL19-0001 - Cellar-Tek Development Ltd., Inc. No. BCo880427**

Staff:

- Displayed a PowerPoint presentation summarizing the application.

The City Clerk advised that no correspondence was received.

The applicant was present and available for comment.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

No one from the gallery came forward.

There were no further comments.

Moved By Councillor Stack/Seconded By Councillor DeHart

**(R0335/19/03/26)** THAT Council directs Staff to forward the following recommendations to the Provincial Liquor and Cannabis Regulation Branch (LCRB):

In accordance with Section 71 of the *Liquor Control and Licensing Branch* and Council Policy #359, BE IT RESOLVED THAT:

1. Council recommends support of an application from Cellar-Tek Developments Ltd., Inc. No. BCo880427 located at 1033 Richter St, Kelowna, BC, legally described as Parcel B (Being a Consolidation of Lots 41 and 42, See LB356341) Section 30 Township 26 ODYD Plan 1014, for a structural change to an existing manufacturer lounge from:

(a) "10:00 AM to 11:00 PM Sunday to Saturday" for the patio service area

2. That Council's comments on the prescribed considerations are as follows:

(a) The location of the brewery: The brewery is located in a mixed-use area across from an urban centre along a major collector route;

(b) The person capacity of the brewery lounge patio: The person capacity is 22 persons on the exterior patio;

(c) Traffic, noise, parking and zoning: The brewery is located across the street from the City Centre urban centre boundary in a general industrial area and will have minimal negative impact on traffic, noise, parking, and the property is zoned appropriately. There are minimal residential dwellings nearby and the noise from the patio should not be a nuisance. The recommendation is to allow the patio's hours to 11:00pm;

(d) The impact on the community if the application is approved: The potential for negative impact is considered to be minimal;

AND THAT Council's comments on the view of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures"

Carried

## **7. Development Permit and Development Variance Permit Reports**

### **7.1 Venus Rd 165, DVP18-0246 - Andrew Bergestad**

Staff:

- Displayed a PowerPoint presentation summarizing the application.

The City Clerk advised that no correspondence was received.

The applicant was not present.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments from Council.

Michael Horvat, Venus Rd:

- Not opposed to building a carriage house.
- Raised concern with increase in footprint size being requested.
- Concerned the variance will negatively impact their privacy, due to the size of what is being proposed.

Sheri Nelson, Venus Rd:

- Raised concern with size of variance being requested as this will negatively impact their privacy.
- Feels this will set a precedent for the neighbourhood.
- Read letter of opposition from neighbour unable to attend.
- Read letter also from herself and Michael Horvak.

Staff:

- Responded to questions from Council.

Moved By Councillor Donn/Seconded By Councillor Stack

**(R0335/19/03/26)** THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0246 for Lot 62, Section 23, Township 26, ODYD, Plan 22418, located at 165 Venus Rd, Kelowna, BC;

AND THAT a variance to the following section of Zoning Bylaw No. 8000 be granted:

**Section 9.5b.1(b): RU1C – Carriage House Development Regulations**

To vary the required maximum combined site coverage of a carriage house and all other accessory buildings or structures from 90m<sup>2</sup> to 114.5m<sup>2</sup>;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

**Defeated**

Mayor Basran, Councillors DeHart, Hodge, Stack and Wooldridge - Against

8. **Reminders** – none

9. **Resolution Closing the Meeting to the Public**

Moved By Councillor Donn/Seconded By Councillor DeHart

(R0336/19/03/26) THAT this meeting be closed to the public pursuant to Section 90(1)(j) and (k) of the Community Charter for Council to deal with matters relating to the following:

- confidential third-party business information.
- proposed municipal service.

10. **Adjourn to Closed Session**

The meeting adjourned to a closed session at 8:07 p.m.

11. **Reconvene to Open Session**

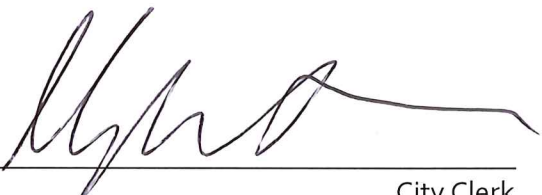
The meeting reconvened to an open session at 8:20 p.m.

12. **Termination**

The meeting was declared terminated at 8:20 p.m.

\_\_\_\_\_  
Mayor Basran

sf/rvh

\_\_\_\_\_  
  
City Clerk

# CITY OF KELOWNA

## BYLAW NO. 11761

LUCT18-0011

### Early Termination of Land Use Contract - LUC76-1080 Hall Road, Fairhall Road and Packers Road

---

WHEREAS a land use contract (the "Land Use Contract LUC76-1080") is registered at the Kamloops Land Title Office under the charge numbers L67063 and L67064 and all amendments thereto against lands in the City of Kelowna particularly known and described as in Schedule "A" attached (the "Lands"), located on Hall Road, Fairhall Road and Packers Road, Kelowna, B.C.;

AND WHEREAS Section 548 of the *Local Government Act* provides that a local government may impose an early termination to land use contracts registered in a Land Title Office that applies to land within the jurisdiction of the local government;

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. This Bylaw may be cited for all purposes as "Early Termination of Land Use Contract LUC76-1080 Bylaw";
2. Land Use Contract LUC76-1080 is hereby terminated as of the date of adoption; and
3. This bylaw will come into force and effect one year after the adoption date.

Read a first time by the Municipal Council this 18<sup>th</sup> day of March, 2019.

Considered at a Public Hearing this

Read a second and third time by Municipal Council this

Adopted by the Municipal Council this

---

Mayor

---

City Clerk

Schedule A: Land Use Contract: **LUC76-1080**

Charge Number: **L67063**

No.	Legal Description	Address	Parcel Identifier Number	Land Use Contract	Underlying Zone
1	Lot 12 Section 16 Township 26 ODYD Plan 27463	3361 Hall Rd	004-832-396	LUC76-1080	RR3 - Rural Residential 3
2	Lot 13 Section 16 Township 26 ODYD Plan 27463	3367 Hall Rd	004-832-400	LUC76-1080	RR3 - Rural Residential 3
3	Lot 14 Section 16 Township 26 ODYD Plan 27463	3379 Hall Rd	004-832-418	LUC76-1080	RR3 - Rural Residential 3
4	Lot A Section 16 Township 26 ODYD Plan 40069	3397 Hall Rd	011-821-507	LUC76-1080	RR3 - Rural Residential 3
5	Lot B Section 16 Township 26 ODYD Plan 40069	3399 Hall Rd	011-821-515	LUC76-1080	RR3 - Rural Residential 3
6	Lot 15 Section 16 Township 26 ODYD Plan 27463	2406 Fairhall Rd	004-832-426	LUC76-1080	RR3 - Rural Residential 3
7	Lot 16 Section 16 Township 26 ODYD Plan 27463	2418 Fairhall Rd	004-832-442	LUC76-1080	RR3 - Rural Residential 3
8	Lot 17 Section 16 Township 26 ODYD Plan 27463	2430 Fairhall Rd	004-832-451	LUC76-1080	RR3 - Rural Residential 3
9	Lot A Section 16 Township 26 ODYD Plan 33880	2435 Fairhall Rd	003-063-739	LUC76-1080	RR3 - Rural Residential 3
10	Lot 18 Section 16 Township 26 ODYD Plan 27463	2442 Fairhall Rd	004-832-469	LUC76-1080	RR3 - Rural Residential 3
11	Lot B Section 16 Township 26 ODYD Plan 33880	2447 Fairhall Rd	003-063-755	LUC76-1080	RR3 - Rural Residential 3
12	Lot 19 Section 16 Township 26 ODYD Plan 27463	2454 Fairhall Rd	002-693-691	LUC76-1080	RR3 - Rural Residential 3
13	Lot A Section 16 Township 26 ODYD Plan 43942	2455 Fairhall Rd	016-589-092	LUC76-1080	RR3 - Rural Residential 3
14	Lot B Section 16 Township 26 ODYD Plan 43942	2463 Fairhall Rd	016-589-131	LUC76-1080	RR3 - Rural Residential 3
15	Lot 20 Section 16 Township 26 ODYD Plan 27463	2466 Fairhall Rd	004-832-477	LUC76-1080	RR3 - Rural Residential 3
16	Lot 21 Section 16 Township 26 ODYD Plan 27463	2478 Fairhall Rd	004-832-485	LUC76-1080	RR3 - Rural Residential 3
17	Lot A Section 16 Township 26 ODYD Plan 36417	2481 Fairhall Rd	003-445-941	LUC76-1080	RR3 - Rural Residential 3
18	Lot B Section 16 Township 26 ODYD Plan 36417	2485 Fairhall Rd	003-445-976	LUC76-1080	RR3 - Rural Residential 3
19	Lot 5 Section 16 Township 26 ODYD Plan 27463	2489 Fairhall Rd	004-832-311	LUC76-1080	RR3 - Rural Residential 3
20	Lot 6 Section 16 Township 26 ODYD Plan 27463	2490 Fairhall Rd	004-832-329	LUC76-1080	RR3 - Rural Residential 3
21	Lot 4 Section 16 Township 26 ODYD Plan 27463	2497 Fairhall Rd	004-832-302	LUC76-1080	RR3 - Rural Residential 3
22	Lot 11 Section 16 Township 26 ODYD Plan 27463	2421 Packers Rd	004-832-388	LUC76-1080	RR3 - Rural Residential 3
23	Lot 10 Section 16 Township 26 ODYD Plan 27463	2437 Packers Rd	002-267-217	LUC76-1080	RR3 - Rural Residential 3
24	Lot 9 Section 16 Township 26 ODYD Plan 27463	2453 Packers Rd	004-832-361	LUC76-1080	RR3 - Rural Residential 3
25	Lot 8 Section 16 Township 26 ODYD Plan 27463	2469 Packers Rd	004-832-353	LUC76-1080	RR3 - Rural Residential 3
26	Lot 7 Section 16 Township 26 ODYD Plan 27463	2485 Packers Rd	004-832-337	LUC76-1080	RR3 - Rural Residential 3
27	Lot 22 Section 16 Township 26 ODYD Plan 27463	2448 Fairhall Rd	004-832-493	LUC76-1080	P3 – Parks and Open Space

Land Use Contract: LUC76-1080

Charge Number: L67064

No.	Legal Description	Address	Parcel Identifier Number	Land Use Contract	Underlying Zone
28	Lot 3 Section 16 Township 26 ODYD Plan 27463	2513 Packers Rd	004-832-299	LUC76-1080	RR3 - Rural Residential 3 zone
29	Lot 2 Section 16 Township 26 ODYD Plan 27463	2521 Packers Rd	004-832-256	LUC76-1080	RR3 - Rural Residential 3 zone
30	Lot 1 Section 16 Township 26 ODYD Plan 27463	2527 Packers Rd	004-832-221	LUC76-1080	RR3 - Rural Residential 3 zone

**CITY OF KELOWNA**  
**BYLAW NO. 11775**  
**Z19-0005 – 547-559 Bernard Ave**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A District Lot 139 Osoyoos Division Yale District Plan 5470, located on Bernard Avenue, Kelowna, BC from the C7 – Central Business Commercial zone to the C7rcs – Central Business Commercial (Retail Cannabis Sales) zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 25<sup>th</sup> day of March, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this .

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11778**  
**Z19-0006 – 401 Glenmore Rd**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Strata Lot 1 Section 32 Township 26 Osoyoos Division Yale District Strata Plan KAS3545 Together With An Interest In The Common Property In Proportion To The Unit Entitlement Of The Strata Lot As Shown On Form V, located on Glenmore Road, Kelowna, BC from the C<sub>3</sub> – Community Commercial zone to the C<sub>3</sub>cs – Community Commercial (Retail Cannabis Sales) zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 25<sup>th</sup> day of March, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11779**  
**Z19-0026 – 140-160 Rutland Rd South**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 1 Section 23 Township 26 Osoyoos Division Yale District Plan 18642, located on Rutland Road South, Kelowna, BC from the C4 – Urban Centre Commercial zone to the C4rcs – Urban Centre Commercial (Retail Cannabis Sales) zone.

This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 25<sup>th</sup> day of March, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this .

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11780**  
**Z19-0029 – 2121 Springfield Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 2 District Lot 128 Osoyoos Division Yale District Plan 18971 Except Plan 20452 and 42606, located on Springfield Road, Kelowna, BC from the C4 – Urban Centre Commercial zone to the C4rcs – Urban Centre Commercial (Retail Cannabis Sales) zone.

This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 25<sup>th</sup> day of March, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this .

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

# CITY OF KELOWNA

## BYLAW NO. 11782

### TA19-0008 – Commercial Zones Cannabis Amendments

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT **Section 1 – General Administration, 1.3 – Zoning Map, 1.3.1 Section 14 – Commercial Zones** be amended by adding the following subzone in its appropriate location:

**"C1orls/rcs – Service Commercial (Retail Liquor Sales/Retail Cannabis Sales)"**

2. AND THAT **Section 14 – Commercial Zones, 14.2 C2 – Neighbourhood Commercial**, title be amended by deleting:

**"C2rcs – Community Commercial (Retail Cannabis Sales)"**

**"C2rls/rcs – Community Commercial (Retail Liquor Sales/Retail Cannabis Sales)"**

And replacing it with:

**"C2rcs – Neighbourhood Commercial (Retail Cannabis Sales)"**

**"C2rls/rcs – Neighbourhood Commercial (Retail Liquor Sales/Retail Cannabis Sales)"**

3. AND THAT **Section 14 – Commercial Zones, 14.10 Service Commercial** be amended by adding the following subzone in its appropriate location:

**"C1orls/rcs – Service Commercial (Retail Liquor Sales/Retail Cannabis Sales)"**

4. AND THAT **Section 14 – Commercial Zones, 14.10 Service Commercial, 12.10.2 Principal Uses** be amended by deleting:

**"(ii) retail cannabis sales establishment (C1orcs, C1olp/rcs, and C1olp/rs/rcs only)"**

And replacing it with:

**"(ii) retail cannabis sales establishment (C1orcs, C1orls/rcs, C1olp/rcs, and C1olp/rls/rcs only)"**

5. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 25<sup>th</sup> day of March, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

\_\_\_\_\_  
(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11783**  
**Z19-0013 – 3818 Gordon Drive**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of of Lot B District Lot 134 Osoyoos Division Yale District Plan 40137, located on Gordon Drive, Kelowna, BC from the C2 – Neighbourhood Commercial zone to the C2rcs – Neighbourhood Commercial (Retail Cannabis Sales) zone.

This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 25<sup>th</sup> day of March, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this .

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11787**  
**Z19-0042 – 1222 Kyndree Ct**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A, Section 8, Township 23, ODYD, Plan 33589 located on Kyndree Ct, Kelowna, BC from the A1 – Agriculture 1 zone to the RR3 – Rural Residential 3 zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 18<sup>th</sup> day of March, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

# **CITY OF KELOWNA**

## **BYLAW NO. 11789**

### **Official Community Plan Amendment No. OCP18-0020 3200 Via Centrale**

---

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

THAT Official Community Plan Map Amendment Application No. OCP18-0020 to amend Map 4.1 in the Kelowna 2030 – Official Community Plan Bylaw No. 10500 by changing the Future Land Use designation for a portion of Lot A Sections 14, 15, 22 and 23 Township 23 Osoyoos Division Yale District Plan KAP56201 Except Plans KAP68068 and KAP80682 located on Via Centrale, Kelowna, BC from the REC – Private Recreation designation to the MRL – Multiple Unit Residential (Low Density) designation, as shown on Map "A" attached to and forming part of this bylaw.

2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 18<sup>th</sup> day of March, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

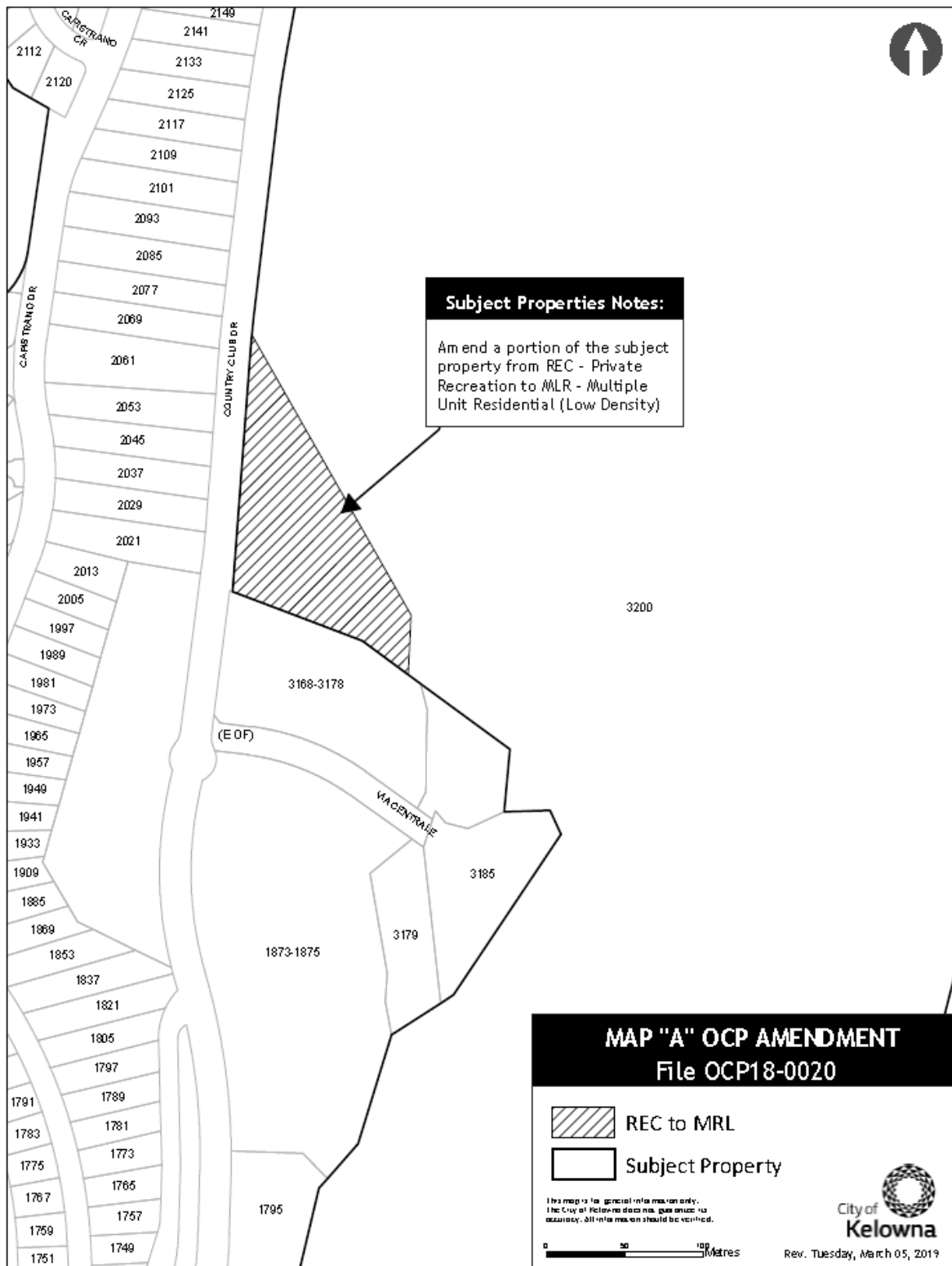
Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



**CITY OF KELOWNA**  
**BYLAW NO. 11791**  
**Z18-0113 – 3200 Via Centrale**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classifications for a portion of Lot A Sections 14, 15, 22 and 23 Township 23 Osoyoos Division Yale District Plan KAP56201 Except Plans KAP68068 and KAP80682 located on Via Centrale, Kelowna, BC from P3LP – Parks and Open Space (Liquor Primary) to RM3 – Low Density Multiple Housing, as shown on Map "B" attached to and forming part of this bylaw;
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 18<sup>th</sup> day of March, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

---

(Approving Officer – Ministry of Transportation)

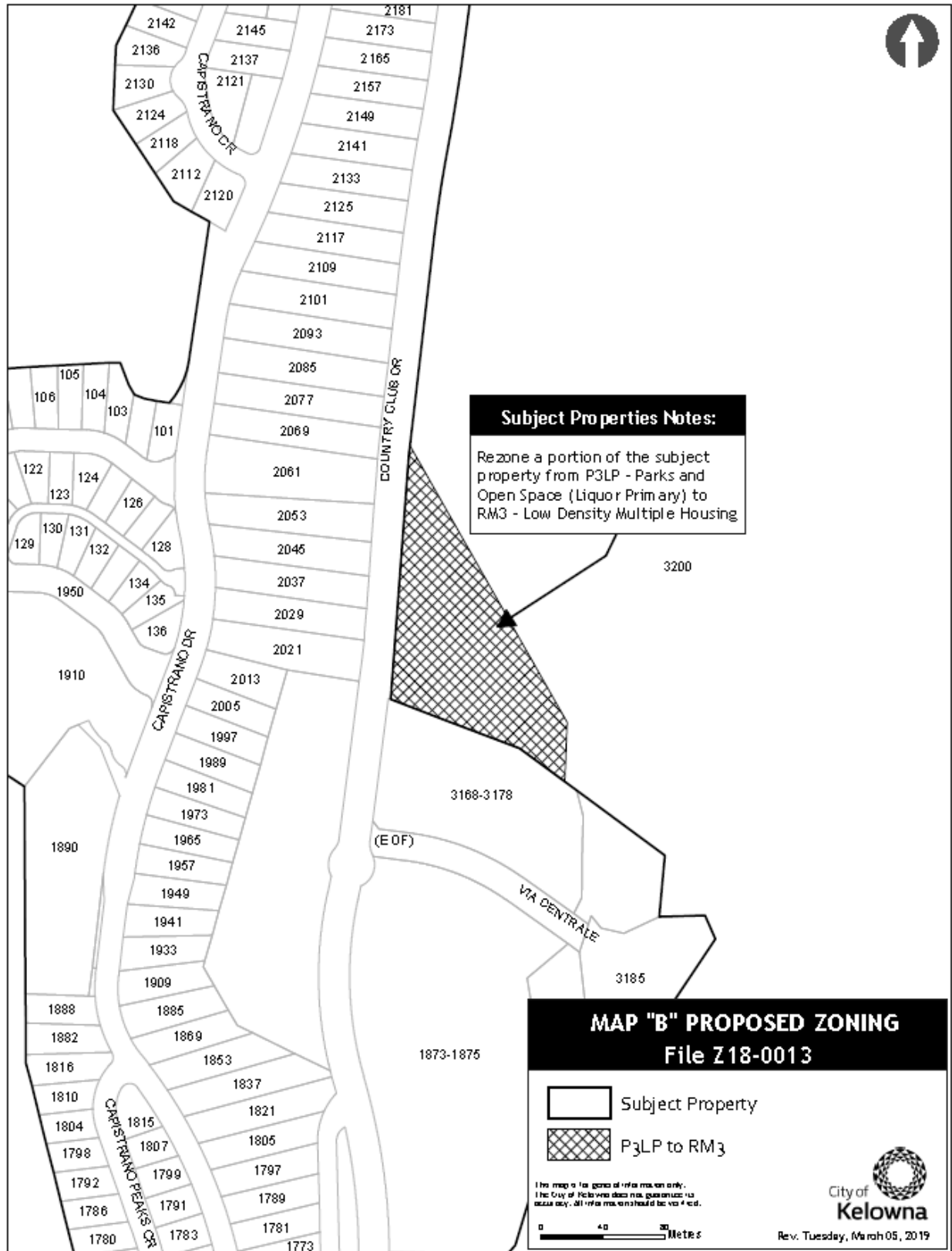
Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



**CITY OF KELOWNA**  
**BYLAW NO. 11790**  
**Z18-0122 – 9670 McCarthy Rd**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 1 Section 11 Township 20 ODYD Plan 3997, located on McCarthy Road, Kelowna, BC from the I3 – Heavy Industrial zone to the I2 – General Industrial zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 18<sup>th</sup> day of March, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11792**  
**Z19-0010 – 1455-1475 Harvey Ave**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A District Lot 137 Osoyoos Division Yale District Plan KAP54811, located on Harvey Avenue, Kelowna, BC from the C<sub>3</sub> – Community Commercial zone to the C<sub>3</sub>rcs – Community Commercial (Retail Cannabis Sales) zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 25<sup>th</sup> day of March, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this .

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11793**  
**Z19-0008 – 2090 Harvey Ave**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 6 District Lot 127 Osoyoos Division Yale District Plan 34162 Except Plan EPP5106, located on Harvey Avenue, Kelowna, BC from the C<sub>4</sub> – Urban Centre Commercial zone to the C<sub>4</sub>rcs – Urban Centre Commercial (Retail Cannabis Sales) zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 25<sup>th</sup> day of March, 2019.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this .

---

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

# REPORT TO COUNCIL



**Date:** April 9, 2019

**RIM No.** 0930-50

**To:** City Manager

**From:** Community Planning Department (TH / LB)

**Application:** LL18-0019

**Owner:** Wyn and Marion Lewis

**Address:** 3240 Pooley Road

**Applicant:** MJB Lawyers

**Subject:** Liquor License Application

Existing OCP Designation: REP – Resource Protection

Existing Zone: A1 – Agriculture 1

Agricultural Land Reserve: Yes

---

## 1.0 Recommendation

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor & Cannabis Regulation Branch (LCRB):

In accordance with Section 71 of the Liquor Control and Licensing Regulation and Council Policy #359, BE IT RESOLVED THAT:

1. Council recommends support of an application from MJB Lawyers for a Special Event Area (SEA) Endorsement Change for Lot 2 Section 15 Township 26 ODYD Plan 3379, located at 3240 Pooley Road, Kelowna, BC for the following reasons:
  - the change of hours for SEAs 2 and 3 does not increase the total area on the property that can be used for special events;
  - the requested change of hours introduces a maximum person capacity for the SEAs; and
  - the requested change of hours is in keeping with how the licensee has previously operated special events.
2. Council's comments on the LCRB's prescribed considerations are as follows:
  - a. **The location of the special event area:** SEA 2 is within 60 m of a neighbouring residence, and SEA 3 is within 70 m of a neighbouring residence.
  - b. **The proximity of the special event area to other social or recreational facilities and public buildings:** The subject property is within 1 km of East Kelowna Park, East Kelowna Hall, Harvest Golf Club, Orchard Greens Golf Club, McCulloch Station Pub, and Okanagan Montessori School. It is also within 1 km of several wineries and cideries.

- c. **The person capacity of the winery related uses on the subject parcel:** Existing maximum person capacities for the licenced areas are as follows: tasting room and retail sales area – 40 persons; lounge (indoor) – 78 persons; and lounge (outdoor patio) – 60 persons. These are in addition to the proposed person capacities for the SEA endorsements: SEA 1 – 75 persons; SEA 2 – 300 persons; and SEA 3 – 75 persons. The total person capacity of the winery related uses is 628 when events are taking place.
  - d. **Traffic, noise, parking and zoning:** The subject parcel has generated numerous noise complaints from neighbouring residents regarding amplified music and voice. Parking has also been an issue, with cars impeding regular two-way traffic along Pooley Road during events. These impacts are expected to continue though not likely increase significantly with this application to change hours. A 2,990 m<sup>2</sup> area was converted from agriculture to permanent parking to add parking for the winery and associated uses. This was permitted to be overflow parking only and was not to be a permanent (e.g. gravel or paved) surface.
  - e. **The impact on the community if the application is approved:** The existing SEAs and other ancillary winery uses generate noise and parking concerns and impacts to the community. These impacts are expected to continue if the requested change in hours is approved.
2. Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. A sign was posted on the property notifying neighbours 10 days in advance of the Council meeting. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures."

## 2.0 Purpose

To consider a change in hours to two areas of the special event area endorsement on an existing manufacturing licence for a winery to extend the hours events can be held, and to hold events on Sundays and some Mondays.

## 3.0 Community Planning

Staff support the application to allow the existing special event area 2 (SEA 2) and special event area 3 (SEA 3) to increase hours of operation through the Liquor and Cannabis Regulation branch (LCRB) to allow the licensee to hold events an hour later on Thursdays through Saturdays, and to operate during the day on Sundays and holiday Mondays. The change in hours also specifies restrictions on the maximum person capacity for each SEA. The extended hours generally align with the winery's previous special event operations and offer the opportunity to have live music or other events on Sundays and holidays Mondays during daytime hours in the summer months.

The winery and endorsement areas allow for over 600 people on the property at a given time when events are taking place, impacting the community and putting added pressure on the use of the land. The existing SEA endorsement and other ancillary winery uses cause impacts to the community, notably through noise and parking issues. Bylaw Services staff have responded to several noise and parking complaints over the last couple of years, related to events in the summer. The proposed changes, however, are not expected to further increase existing concerns.

Staff are also concerned with the overall decrease in active agriculture resulting from the increase in ancillary uses on the property over the last several years. These are intended to complement the main agricultural use and not detract from farming operations. However, the change in the hours does not directly increase the amount of land used for events or other ancillary uses.

## 4.0 Proposal

### 4.1 Background

The property is known as Vibrant Vines and currently has a manufacturer licence, indoor and outdoor wine tasting, and an indoor and outdoor lounge that can operate seven days a week, 11 am to 10 pm. The combined capacity of these areas is 178 people. The property also currently holds a SEA endorsement for three separate areas that operate Thursday, Friday and Saturday from 11 am to 8 pm. The property and the SEA areas are shown in the images below.



It should be noted the parking area west of SEA 3 was permitted to be overflow parking only, intended to be between rows of crops in accordance with ALC policies. A permit for placement of fill for the parking area was not applied for or issued, and staff are reviewing this in the context of other policies. Staff will continue to work with the property owner to address the matters of non-compliance such as the permanent parking area and the outstanding gate for the second vehicle access to Pooley Road.

Several formal complaints have been recorded with Bylaw services, including:

- 2017: 8 noise complaints generated on Thursdays or Fridays
- 2018: 3 noise complaints generated on Saturdays
- 2018: 2 traffic complaints of vehicles parked on road, blocking two-way traffic

### Special Event Area Regulations

SEAs differ from picnic areas in that amplified sound is allowed, and they are not limited to a maximum of 30 people. To address public interest concerns around noise and community impact, the LCRB now requires all new or changed outdoor SEA endorsements to have a maximum person capacity. Additionally, lounge endorsement areas and SEAs are not limited to the ALC's gathering for event regulations of up to 10 events per year with up to 150 people each, making it more important to consider the potential community impacts from events held in these areas.

#### 4.2 Project Description

The original application was to extend the SEA hours to 11 am to 10 pm seven days a week, and staff worked with the applicant to determine hours that would limit additional community impacts while meeting the winery's intended uses. The existing hours for the various liquor licence components are shown below, followed by the proposed change in hours for SEAs 2 and 3. The other areas would keep the same hours that are in place today, and SEA 1 would have a maximum capacity of 75 people.

#### Existing Liquor Licence Hours

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
<b>Manufacturer/Winery Tasting Room</b>				<b>Max Persons Indoor &amp; Outdoor Combined: 40</b>			
Open	11 am	11 am	11 am	11 am	11 am	11 am	11 am
Close	10 pm	10 pm	10 pm	10 pm	10 pm	10 pm	10 pm
<b>Lounge</b>				<b>Max Persons Indoor: 78 Outdoor: 60</b>			
Open	11 am	11 am	11 am	11 am	11 am	11 am	11 am
Close	10 pm	10 pm	10 pm	10 pm	10 pm	10 pm	10 pm
<b>Special Event Areas</b>				<b>Max Persons: SEA 1: 75 SEA 2: 300 SEA 3: 75</b>			
Open	-	-	-	11 am	11 am	11 am	-
close	-	-	-	8 pm	8 pm	8 pm	-

#### Proposed Liquor Licence Hours for Special Event Areas 2 and 3

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
<b>Special Event Area 2</b>				<b>Max Persons: 300</b>			
Open	-	-	-	11 am	11 am	11 am	-
Close	-	-	-	9 pm	9 pm	9 pm	-
<b>Special Event Area 3</b>				<b>Max Persons: 75</b>			
Open	11 am*	-	-	11 am	11 am	11 am	11 am
Close	6 pm*	-	-	9 pm	9 pm	9 pm	6 pm

\* Maximum four times per year on Mondays from May-September

#### 4.3 Site Context

The parcel is 4.6 ha (11.3 acres) in area, is designated REP – Resource Protection Area, zoned A1 – Agriculture, and is within the Agricultural Land Reserve. The surrounding properties in Southeast Kelowna are also agricultural.

A variety of uses related to the residence and winery are on the property. The SEA endorsement consists of three areas on the property: SEA 1 (1,700 m<sup>2</sup>) and SEA 2 (1,300 m<sup>2</sup>) are within the residential footprint area, and SEA 3 (150 m<sup>2</sup>) is adjacent to the wine shop. In total, the SEAs cover 3,150 m<sup>2</sup> or 7% of the parcel. Active agriculture covers approximately 1.9 ha or 42% of the parcel. The amount of land used for agriculture has decreased over the last several years as the winery and ancillary uses have grown with more buildings, parking and driveways, and event space on the property. The property owner has indicated that approximately 0.5 ha will be replanted with fruit in 2019.

#### 5.0 Current Development Policies

##### 5.1 City of Kelowna Official Community Plan (OCP)

#### Chapter 5: Development Process

##### Objective 5.33 Protect and Enhance Local Agriculture

*Policy .1 Protect Agricultural Land.* Retain the agricultural land base by supporting the ALR and by protecting agricultural lands from development, except as otherwise noted in the City of Kelowna Agricultural Plan. Ensure that the primary use of agricultural land is agriculture, regardless of parcel size.

*Policy .3 Urban Uses.* Direct urban uses to lands within the urban portion of the Permanent Growth Boundary, in the interest of reducing development and speculative pressure on agricultural lands.

*Policy .5 Agri-Tourism, Wineries, Cideries, Retail Sales.* Support agri-tourism uses that can be proven to be in aid of and directly associated with established farm operations. Permit wineries, cideries and farm retail sales (inside and outside the ALR) only where consistent with existing ALC policies and regulations.

##### 5.2 City of Kelowna Agriculture Plan (2017)

*Theme 1:* Strengthening local policies and actions to protect agriculture.

*Action 1.2d* On agricultural lands, locate farm retail sales, wineries, cideries, breweries, distilleries, and any other structures and services related to the public that are defined as farm uses under the ALC Act near the road or entrance (or where geographically appropriate), in order to reduce the footprint and extent of services through the property with the intent of maximizing agricultural potential.

##### 5.3 Agricultural Land Commission

Policy L-04 Activities Designated as Farm Use: Agri-tourism Activities in the ALR (excerpts):

- The highest priority is the agricultural activity that takes place on the farm.
- Parking areas must not be permanent (asphalt, concrete, gravel, etc) and parking must not interfere with the farm's agricultural productivity. All vehicles visiting the farm for agri-tourism activity must be parked on site. To minimize impacting farm land, parking should be along field edges, adjacent to internal farm driveways and roads and in farm yard areas or immediately adjacent to farm buildings and structures.

## **6.0 Technical Comments**

### **6.1 Building & Permitting Department**

An outstanding issue remains for the construction of an outdoor event stage/structure without Building Permits. This structure is not suitable for use of any kind, public or private.

### **6.2 Bylaw Services**

Numerous noise complaint files exist on this parcel specific to amplified sound on Thursday, Friday and Saturdays.

### **6.3 Fire Department**

Ensure appropriate exiting for the occupant loads are appropriate.

## **7.0 Application Chronology**

Date of Application Received: July 26, 2018

Date of Application Revision: January 7, 2019

**Report prepared by:** Tracey Hillis, Planner &  
Laura Bentley, Community Planning Supervisor

**Reviewed & approved for Inclusion:** Ryan Smith, Community Planning Department Manager

### **Attachments:**

Attachment A: Applicant Rationale

# Attachment A: Applicant Rationale

The Thurs/Fri/Sat hours are primarily to allow us to host our annual Phantom of the Villa (within the enclosed courtyard of our home) for three nights in August as we have done for five years. The requested change from 8 pm to 9 pm is to allow us to extend our intermission by 30 mins so that we close the production in the dark to maximize the theatrical impact.

The Monday and Sunday changes are for us to continue to host our “Vibes on the Lawn” afternoon entertainment on the South Lawn next to Pooley Rd as we have done for seven years using our picnic license. Last year, the regulations changed in that picnic licenses are now subject to a maximum of 30 people and no amplification is allowed. Last year we tried to comply by asking our performers to use only acoustic instruments but almost every guest complained that they could not hear the performers because their sound was drowned out by cars driving by on Pooley Rd and Tractors operating sprayers in the neighborhood etc. Everyone thought the whole restriction was ridiculous and it made us look foolish for even trying to comply with the regulation.

The solution is for us to simply operate under our SEA every Sunday afternoon (we offer music from 1pm-4pm) and on the Mondays that are Bank Holidays.

Wyn Lewis

# CITY OF KELOWNA

## BYLAW NO. 11595

### Official Community Plan Amendment No. OCP18-0002 1044 Cawston Avenue

---

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of Lot A District Lot 138 ODYD Plan EPP85234 located on Cawston Avenue, Kelowna, B.C., from the SIH – Sensitive Infill Housing designation to the MRM – Multiple Housing Residential (Medium Density) designation.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 9th day of April, 2018.

Considered at a Public Hearing on the 1<sup>st</sup> day of May, 2018.

Read a second and third time by the Municipal Council this 1<sup>st</sup> day of May, 2018.

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11596**  
**Z18-0008**  
**1044, 1052 & 1074 Cawston Avenue**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A District Lot 138 ODYD Plan EPP85234 located on Cawston Avenue, Kelowna, B.C., from the RU6 – Two Dwelling Housing zone to the RM5 – Medium Density Multiple Housing zone.
2. AND THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A District Lot 138 ODYD Plan EPP85234 on Cawston Avenue, Kelowna, B.C., from the RU7 – Infill Housing zone to the RM5 – Medium Density Multiple Housing zone.
3. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 9th day of April, 2018.

Considered at a Public Hearing on the 1<sup>st</sup> day of May, 2018.

Read a second and third time by the Municipal Council this 1<sup>st</sup> day of May, 2018.

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

# REPORT TO COUNCIL



**Date:** April 9, 2019

**RIM No.** 0940-50

**To:** City Manager

**From:** Community Planning Department (LK)

**Application:** DP18-0018 & DVP18-0019      **Owner:** Sukhdarshan Singh Pannu

**Address:** 1044-1074 Cawston Avenue      **Applicant:** New Town Services Inc.

**Subject:** Development Permit and Development Variance Permit Applications

Existing OCP Designation: SIH – Sensitive Infill Housing, MRM – Multiple Unit Residential (Medium Density)

Proposed OCP Designation: MRM – Multiple Unit Residential (Medium Density)

Existing Zone: RU7 – Infill Housing, RU6- Two Dwelling Housing

Proposed Zone: RM5 – Medium Density Multiple Housing

---

## 1.0 Recommendation

THAT Official Community Plan Map Amending Bylaw No. 11595 be amended at third reading to revise the legal description of the subject property from Lot 2 District Lot 138 ODYD Plan 3857 to Lot A District Lot 138 ODYD Plan EPP85234;

THAT Rezoning Bylaw No. 11596 be amended at third reading to revise the legal description of the subject properties from Lot 1 & Lot 2 District Lot 138 ODYD Plan 4315 and Lot 2 District Lot 138 ODYD Plan 3857 to Lot A District Lot 138 ODYD Plan EPP85234;

AND THAT final adoption of Official Community Plan Map Amending Bylaw No. 11595 and Rezoning Bylaw No. 11596 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP18-0018 for Lot A District Lot 138 ODYD Plan EPP85234, located at 1044-1074 Cawston Ave, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0019 for Lot A District Lot 138 ODYD Plan EPP85234, located at 1044-1074 Cawston Ave, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

**Section 13.11.6(b): RM5 – Medium Density Multiple Housing Development Regulations**

To vary the maximum site coverage from 40% to 45.4% proposed; and the maximum site coverage of buildings, driveways and parking areas from 65% to 71.9% proposed;

**Section 8.1.11(b): Parking and Loading Regulations**

To vary the ratio of medium size parking stalls from 40% maximum to 48% proposed.

AND THAT Council's consideration of this Development Permit and Development Variance Permit be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated April 9, 2019;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## 2.0 Purpose

To consider the form and character of a proposed 4 ½ storey apartment building and to consider two variances for increases in site coverage, as well as a variance to increase the ratio of medium size parking stalls.

## 3.0 Community Planning

Community Planning Staff are supportive of the Development Permit and associated variances as it meets many of the objectives and supporting policies of the Official Community Plan (OCP), as well as the applicable urban design guidelines. These include:

- Promote interesting, pedestrian friendly streetscape design and pedestrian linkages;
- Provide for a scale and massing of buildings that promotes a safe, enjoyable living, pedestrian and working experience;
- Incorporate architectural features and detailing of buildings and landscapes that define an area's character;
- Provide outdoor spaces, including rooftops, balconies, patios and courtyards;
- Mitigate the actual and perceived bulk of buildings by utilizing appropriate massing, including:
  - Architectural elements (e.g. balconies, bay windows, cantilevered floors, cupolas, dormers);
  - Step back upper floors to reduce visual impact;
  - Detailing that creates a rhythm and visual interest along the line of the building;
  - Wall projections and indentations, windows and siding treatments as well as varied material textures should be utilized to create visual interest and to articulate building facades.

The inclusion of ground-oriented units facing onto Cawston Avenue helps to provide a pedestrian-oriented scale and connection along the streetscape. This enhances the public realm at the street level as well as providing connectivity and privacy for the private realm. The provision of terraced landscaping separates the private and public areas while disguising the above-grade portion of the parkade level. This aids in enhancing the over-all look and feel of the building and its connection to the street.

The property is close to the Downtown between Graham Street and Gordon Drive. The site is located on the north side of the Cawston Avenue multi-use corridor which will provide good cycling and pedestrian connectivity to downtown, the Ethel St multi-use corridor, and the Rail Trail. The property has a Walk Score of 67 (Somewhat Walkable- some errands can be accomplished on foot) and a Transit Score of 43 (Some Transit - a few nearby public transportation options). The proximity to downtown provides nearby amenities including parks, restaurants, shops and recreational opportunities in the immediate area.

#### **4.0 Proposal**

##### **4.1 Background**

The project site consisted of three parcels which have been consolidated to a single title lot. The existing structures will be demolished to facilitate the construction.

##### **4.2 Project Description**

The applicant is proposing the construction of a 4 ½ storey, 40-unit purpose built rental apartment building. The project is funded by BC Housing and will be operated by the NOW Canada Society to provide below market rental homes for women and their children. The building has a mix of unit types including: 3 studio, 20 – 1 bedroom, 8 – 2 bedroom and 9- 3 bedroom units.

Zoning Bylaw parking requirements have been met through the provision of 62 parking stalls with the site access from the rear laneway. The parking has been divided with half of the stalls provided in a partially underground parking structure and the remainder as at-grade parking stalls adjacent to the rear lane.



### Form and Character

The buildings' architectural design has strong modern lines with a flat roof design. The main floor has ground-oriented units with entry doors facing onto Cawston Avenue. The building massing steps back above 2 ½ storeys, which aids in providing a more pedestrian scaled development, reduces the over-all scale of the building and provides a height transition to the single-family dwellings located to the west. The setbacks and articulation allows for the provision of generous patios and balconies to meet the outdoor amenity space requirements.

The building utilizes a natural colour palette for the exterior finishes. This includes low-maintenance hardie panel in varying colours: gray as the primary colour with dark brown and white as accent colours. Brick is used to anchor the corners of the building and to provide warmth to the modern design. Tiered landscaping and patios have been utilized to disguise the partially above-grade parkade. The landscaping also aids in distinguishing the patios as private amenity area from the public multi-use corridor at street-level.

### Variances

The applicant is requesting site coverage variances for the building from 40% to 45.4% and to the combined site coverage of building, driveways and parking areas from 65% to 71.9% proposed. This variance is requested in order to accommodate the partially above-ground parking structure as it is included in the calculation of building area. The parkade is partially above-grade due to the high-water table experienced in the neighbourhood. The second part of this variance is for the provision of some at-grade parking stalls at the rear of the building which increased the sites' over-all site coverage. The applicant is using permeable pavers as a way of mitigating the amount of hard surfacing on the site and will provide water permeability. It also provides visual interest and delineates the parking stalls from the asphalt drive aisles.

The second variance request is to increase the ratio of medium size parking stalls from 40% maximum to 48% proposed. The development proposes 62 stalls and the Zoning Bylaw requirement is for 58 parking stalls. The Zoning Bylaw allows for a ratio of 50% full size, 40% medium and 10% compact stalls. This means an increase of 5 medium sized stalls from the maximum of 25 (40%) allowed for a total of 30 (48%) medium size parking stalls proposed. The project also provides 26 (42%) full size stalls and 6 (10%) compact stalls. As this is a below market rental project, the applicant believes the residents are more likely to operate more compact and less costly vehicles.

Staff are supportive of these variances to facilitate this development. The provision of tiered landscaping along the Cawston Avenue streetscape aids in disguising the raised parking structure and also provides a natural division of the public and private realm.

The parking ratio variance is considered nominal as many people are moving towards more affordable car ownership in the form of compact cars. The development directly accesses the Cawston multi-use corridor and encourages alternate forms of transportation which will appeal to some residents and aid in reducing motor vehicle use.

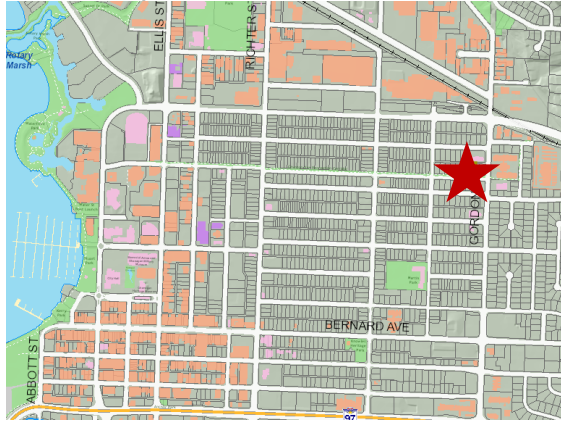
### 4.3 Site Context

The project site consists of three parcels which have been consolidated to a single legal lot. It is located on the north side of Cawston Avenue between Graham Street and Gordon Drive. The properties are connected to urban services and are located within the Permanent Growth Boundary.

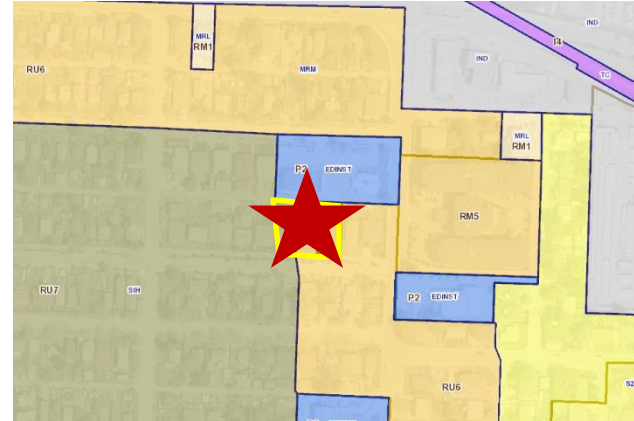
Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	P2 – Education and Minor Institutional	Religious Assemblies (Catholic Church)
East	RU6 – Two Dwelling Housing RM5 – Medium Density Multiple Housing	Single & Semi-detached housing Supportive Housing (Northwood)
South	RU6 – Two Dwelling Housing	Duplex Housing
West	RU7 – Infill Housing	Duplex Housing

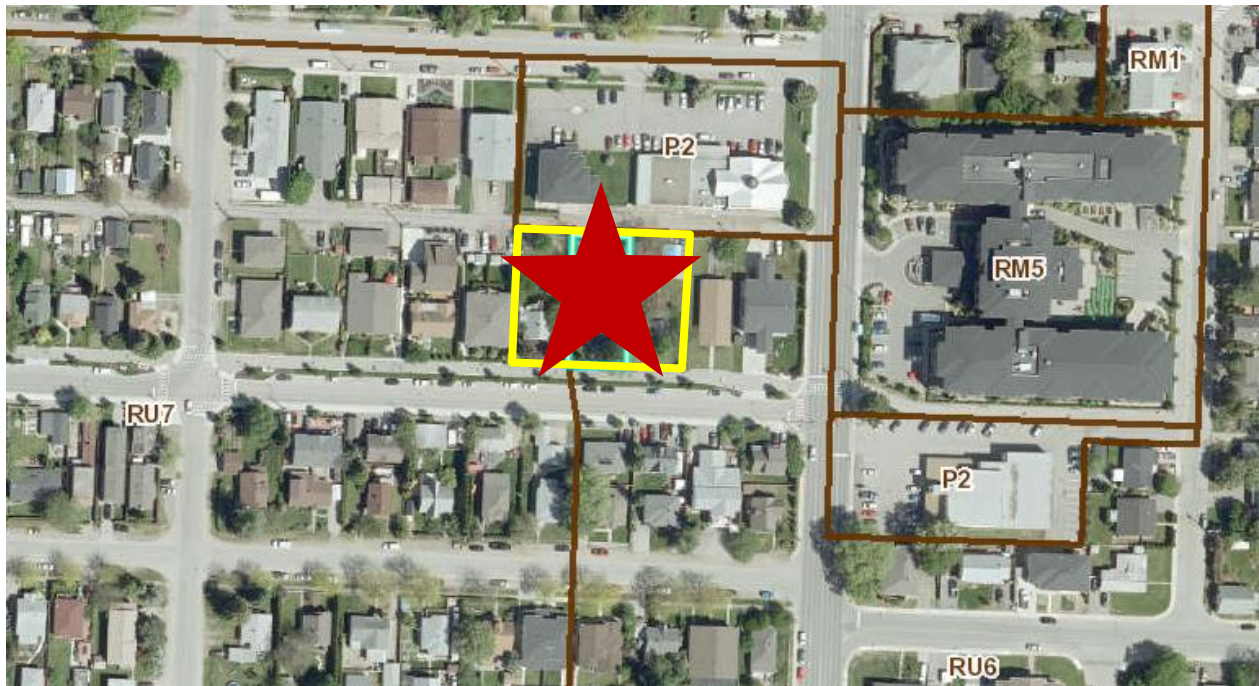
Context Map:



Future Land Use:



Subject Property Map: 1044, 1052 & 1074 Cawston Avenue



#### 4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM5 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	1400 m <sup>2</sup>	2371.5 m <sup>2</sup>
Lot Width	30 m	55.8 m
Lot Depth	35 m	42.5 m
Development Regulations		
Site Coverage (Building) and;	40%	44%❶
Site Coverage (Building, driveway & parking)	65%	73.6%❶
Floor Area Ratio	1.155	1.155
Height (the lessor of)	4.5 storeys or 18 m	4.5 storeys & 14.9 m
Front Yard	Up to 2.5 storeys - 1.5 m Over 2.5 storeys – 6.0 m	3.66 m 6.0 m
Side Yard (east)	Up to 2.5 storeys - 4.5 m Over 2.5 storeys – 7.0 m	4.5 m 7.0 m
Side Yard (west)	Up to 2.5 storeys - 4.5 m Over 2.5 storeys – 7.0 m	4.5 m 7.0 m
Rear Yard	7.0 m	18.0 m
Other Regulations		
Minimum Parking Requirements	49 stalls	49 stalls
Parking Stall Size Ratios	50% Full 40% Medium 10% Compact	42% Full 48% Medium❷ 10% Compact
Bicycle Parking	Class I – 20 Class II - 4	Class I – 20 Class II - 4
Private Open Space	580 m <sup>2</sup>	1092 m <sup>2</sup>
❶ Indicates a requested variance to the site coverage of building from 40% maximum to 44% proposed. And a variance to the site coverage of building, driveways and parking areas from 65% maximum to 73.6% proposed.		
❷ Indicates a requested variance to the parking stall ratio for medium stalls from 40% maximum to 48% proposed.		

#### 5.0 Current Development Policies

##### 5.1 Kelowna Official Community Plan (OCP)

##### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400-metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill.**<sup>2</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

**Healthy Communities.**<sup>3</sup> Through current zoning regulations and development processes, foster healthy, inclusive communities and a diverse mix of housing forms, consistent with the appearance of the surrounding neighbourhood.

**Housing Mix.**<sup>4</sup> Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed-use developments.

#### **6.o Application Chronology**

Date of Application Received:	January 23, 2018
Date Public Consultation Completed:	February 15, 2019
Date of Rezoning Public Hearing:	April 9, 2018

<b>Report prepared by:</b>	Lydia Korolchuk, Planner
<b>Reviewed by:</b>	Terry Barton, Urban Planning Manager
<b>Approved for Inclusion by:</b>	Ryan Smith, Community Planning Department Manager

#### **Attachments:**

OCP Comprehensive Design Guidelines  
Draft Development Permit and Development Variance Permit: DP18-0018 & DVP18-0019  
Schedule A: Site Plan and Floor Plans  
Schedule B: Conceptual Elevations & Finish Schedule  
Schedule C: Landscape Plan

---

<sup>3</sup> City of Kelowna Official Community Plan, Policy 5.22.7 (Development Process Chapter).

<sup>4</sup> City of Kelowna Official Community Plan, Policy 5.27.11 (Development Process Chapter).

## DEVELOPMENT PERMIT GUIDELINES

### Comprehensive Development Permit Area

Consideration has been given to the following guidelines as identified in Section 14.A. of the City of Kelowna Official Community Plan relating to Comprehensive Development Permit Areas:

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
<b>Authenticity and Regional Expression</b>			
Do landscaping and building form convey a character that is distinct to Kelowna and the Central Okanagan?	✓		
Are materials in keeping with the character of the region?	✓		
Are colours used common in the region's natural landscape?	✓		
Does the design provide for a transition between the indoors and outdoors?	✓		
<b>Context</b>			
Does the proposal maintain the established or envisioned architectural character of the neighbourhood?	✓		
Does interim development consider neighbouring properties designated for more intensive development?	✓		
Are façade treatments facing residential areas attractive and context sensitive?	✓		
Are architectural elements aligned from one building to the next?			✓
For exterior changes, is the original character of the building respected and enhanced?			✓
Is the design unique without visually dominating neighbouring buildings?	✓		
For developments with multiple buildings, is there a sense of architectural unity and cohesiveness?			✓
<b>Relationship to the Street</b>			
Do buildings create the desired streetscape rhythm?	✓		
Are parkade entrances located at grade?	✓		
For buildings with multiple street frontages, is equal emphasis given to each frontage?			✓
<b>Massing and Height</b>			
Does the design mitigate the actual and perceived mass of buildings?	✓		
Does the height consider shading and view impacts for neighbouring properties and transition to less intensive areas?	✓		
<b>Human Scale</b>			
Are architectural elements scaled for pedestrians?	✓		
Are façades articulated with indentations and projections?	✓		

<b>COMPREHENSIVE DEVELOPMENT PERMIT AREA</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>
Are top, middle and bottom building elements distinguished?	✓		
Are building facades designed with a balance of vertical and horizontal proportions?	✓		
Are horizontal glazed areas divided into vertically proportioned windows separated by mullions or building structures?	✓		
Does the design incorporate roof overhangs and the use of awnings, louvers, canopies and other window screening techniques?	✓		
Is the visual impact of enclosed elevator shafts reduced through architectural treatments?			✓
<b>Exterior Elevations and Materials</b>			
Are buildings finished with materials that are natural, local, durable and appropriate to the character of the development?	✓		
Are entrances visually prominent, accessible and recognizable?	✓		
Are higher quality materials continued around building corners or edges that are visible to the public?	✓		
Are a variety of materials used to create contrast, enhance the pedestrian environment and reduce the apparent mass of a building?	✓		
Are elements other than colour used as the dominant feature of a building?	✓		
<b>Public and Private Open Space</b>			
Does public open space promote interaction and movement through the site?	✓		
Are public and private open spaces oriented to take advantage of and protect from the elements?	✓		
Is there an appropriate transition between public and private open spaces?	✓		
Are amenities such as benches, garbage receptacles, bicycle stands and community notice boards included on site?	✓		
<b>Site Access</b>			
Is the safe and convenient movement of pedestrians prioritized?	✓		
Are alternative and active modes of transportation supported through the site design?	✓		
Are identifiable and well-lit pathways provided to front entrances?	✓		
Do paved surfaces provide visual interest?	✓		
Is parking located behind or inside buildings, or below grade?	✓		
Are large expanses of parking separated by landscaping or buildings?			✓
Are vehicle and service accesses from lower order roads or lanes?	✓		
Do vehicle and service accesses have minimal impact on the streetscape and public views?	✓		

<b>COMPREHENSIVE DEVELOPMENT PERMIT AREA</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>
Is visible and secure bicycle parking provided in new parking structures and parking lots?	✓		
<b>Environmental Design and Green Building</b>			
Does the proposal consider solar gain and exposure?	✓		
Are green walls or shade trees incorporated in the design?	✓		
Does the site layout minimize stormwater runoff?	✓		
Are sustainable construction methods and materials used in the project?	✓		
Are green building strategies incorporated into the design?	✓		
<b>Decks, Balconies, Rooftops and Common Outdoor Amenity Space</b>			
Are decks, balconies or common outdoor amenity spaces provided?	✓		
Does hard and soft landscaping enhance the usability of decks, balconies and outdoor amenity spaces?	✓		
Are large flat expanses of roof enhanced with texture, colour or landscaping where they are visible from above or adjacent properties?	✓		
<b>Amenities, Ancillary Services and Utilities</b>			
Are loading, garage, storage, utility and other ancillary services located away from public view?	✓		
Are vents, mechanical rooms / equipment and elevator penthouses integrated with the roof or screened with finishes compatible with the building's design?	✓		
<b>Landscape Development and Irrigation Water Conservation</b>			
Does landscaping:	-	-	-
<ul style="list-style-type: none"> <li>Compliment and soften the building's architectural features and mitigate undesirable elements?</li> </ul>	✓		
<ul style="list-style-type: none"> <li>Maintain the dominant pattern of landscaping along the street and surrounding properties?</li> </ul>		✓	
<ul style="list-style-type: none"> <li>Enhance the pedestrian environment and the sense of personal safety?</li> </ul>	✓		
<ul style="list-style-type: none"> <li>Screen parking areas, mechanical functions, and garbage and recycling areas?</li> </ul>	✓		
<ul style="list-style-type: none"> <li>Respect required sightlines from roadways and enhance public views?</li> </ul>	✓		
<ul style="list-style-type: none"> <li>Retain existing healthy mature trees and vegetation?</li> </ul>		✓	
<ul style="list-style-type: none"> <li>Use native plants that are drought tolerant?</li> </ul>	✓		
<ul style="list-style-type: none"> <li>Define distinct private outdoor space for all ground-level dwellings?</li> </ul>	✓		
Do any fences and retaining walls create visual interest and enhance the pedestrian environment?	✓		

<b>COMPREHENSIVE DEVELOPMENT PERMIT AREA</b>	<b>YES</b>	<b>NO</b>	<b>N/A</b>
Do parking lots have one shade tree per four parking stalls?		✓	
Does the Landscape Architect's Landscape Water Conservation Report:	-	-	-
<ul style="list-style-type: none"> <li>Meet the requirements for Landscape Water Budget calculations for the landscaped area?</li> </ul>	✓		
<ul style="list-style-type: none"> <li>Indicate how the development complies with or varies from the Landscape Water Conservation Guidelines?</li> </ul>	✓		
<i>Landscape Water Conservation Guidelines</i>			
Are plants grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas?	✓		
Does at least 25% of the total landscaped area require no irrigation / watering?		✓	
Does at least 25% of the total landscaped area require low water use?	✓		
Does at most 50% of the total landscaped area require medium or high water use?	✓		
Is mulch cover provided for shrubs and groundcover to reduce soil evaporation?	✓		
Do water features such as pools and fountains use recirculated water systems?			✓
Do landscape installation standards meet the requirements of the BC Landscape Standard and / or the Master Municipal Construction Document?	✓		
<i>Irrigation System Guidelines</i>			
Is the Irrigation Plan prepared by a Qualified Professional?	✓		
Are irrigation circuits grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas consistent with the landscaping plan?	✓		
Is drip or low volume irrigation used?	✓		
Are the required written declarations signed by a qualified Certified Irrigation Designer?		✓	
<b>Crime prevention</b>			
Are CPTED practices as related to landscaping, siting, form and exterior design included in the design?	✓		
Are building materials vandalism resistant?	✓		
<b>Universal Accessible Design</b>			
Is access for persons with disabilities integrated into the overall site plan and clearly visible from the principal entrance?		✓	
Are the site layout, services and amenities easy to understand and navigate?	✓		

# Development Permit & Development Variance Permit DP18-0018/DVP 18-0019



This permit relates to land in the City of Kelowna municipally known as  
1044-1074 Cawston Avenue  
and legally known as

and permits the land to be used for the following development:

## **Multiple Dwelling Housing**

USE as per Zoning Bylaw

## **Apartment Housing**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision April 9, 2019

Decision By: COUNCIL

Development Permit Area: Comprehensive

**This permit will not be valid if development has not commenced by April 9, 2021.**

Existing Zone: Future Land Use Designation:

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Sukhdarshan Singh

Applicant: New Town Services Inc.

---

Ryan Smith  
Community Planning Department Manager  
Community Planning & Strategic Investments

---

Date

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years **from the date of Council approval**, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **\$113,437.50**
- b) A certified cheque in the amount of **\$113,437.50**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

NOW CANADA | 40-UNIT MULTI-FAMILY

ADDRESS: 1044, 1052, & 1074 CAWSTON AVE., KELOWNA, BC

ARCHITECTURAL DRAWING LIST

NEW TOWN ARCHITECTURE & ENGINEERING INC.  
1464 St. Paul Street Kelowna, B.C., V1Y 2E6  
Roman Yarmchshikov, Architect AIBC  
ph: 250 860 8185, fax: 250 860 0985  
roman@newtownservices.net

A001	COVER PAGE AND DWG LIST
A002	ZONING & CODE ANALISYS
A102	RENDERINGS
A103	RENDERINGS
A200	SITE PLAN
A300	PARKADE FLOOR PLAN
A301	FIRST FLOOR PLAN
A302	SECOND FLOOR PLAN
A303	THIRD FLOOR PLAN
A304	FOURTH FLOOR PLAN
A400	EXTERIOR ELEVATIONS
A500	BUILDING SECTIONS

LANDSCAPE DRAWING LIST

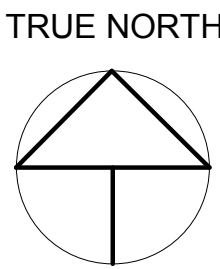
WSP INC.  
700-1631 Dickson Ave. Kelowna, B.C., V1Y 0B5  
Teri Canteen  
ph: 250 980 5520  
teri.cantin@wsp.com

LDP-1	SITE PLAN
LDP-2	HYDROZONE PLAN

CIVIL DRAWING LIST

NEW TOWN ARCHITECTURE & ENGINEERING INC.  
1464 St. Paul Street Kelowna, B.C., V1Y 2E6  
ph: 250 860 8185, fax: 250 860 0985  
jacob@newtownservices.net

STORM WATER MANAGEMENT PLAN



GROSS CONSTRUCTION AREA		
Level	Name	Area
PARKADE	PARKADE GROSS AREA	11439 SF
LEVEL 1	L1 GROSS AREA	9389 SF
LEVEL 2	L2 GROSS AREA	9189 SF
LEVEL 3	L3 GROSS AREA	8253 SF
LEVEL 4	L4 GROSS AREA	8266 SF
		46537 SF

UNIT TYPOLOGY AND COUNT		
Name	Count	Area
1BR ACC	8	589 SF ... 603 SF
1BR AD	4	542 SF ... 548 SF
1BR AD 2	2	534 SF ... 535 SF
1BR AD 3	1	668 SF
1BR AD 4	1	531 SF
1BR+D AD	4	678 SF ... 770 SF
2BR AD 2	3	839 SF ... 921 SF
2BR AD 3	2	749 SF ... 751 SF
2BR AD 4	3	723 SF ... 986 SF
3BR AD	4	1038 SF ... 1053 SF
3BR AD 2	3	921 SF ... 932 SF
3BR AD 3	2	944 SF ... 945 SF
STUDIO AD	3	353 SF ... 397 SF
40		
ACC	ACCESSIBLE	
AD	ADAPTABLE	



CONTEXT PLAN: 1044, 1052, & 1074 CAWSTON AVE., KELOWNA

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA  
This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.  
This drawing must not be scaled  
Verify all dimensions and datums prior to commencement of work.  
Report all errors and omissions to the Architect.



**NEW TOWN**  
ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING  
www.newtownservices.ca

SEAL

Revisions		
No	Date	Description
3	JAN 10, 2019	RE-ISSUED FOR DP

project title  
**NOW CANADA  
40-UNIT MULTI-FAMILY**

project address  
**1044, 52, & 74 CAWSTON AVE., KELOWNA, BC**

project no. **4068**

file no.

drawing title  
**COVER PAGE AND DWG LIST**

designed

scale

drawn

R.B./R.Y.

checked

R.Y.

drawing no.

**A001**

plotted

JAN 10, 2019

ZONING ANALYSIS:

EXISTING	PROPOSED
ZONING:	
RU6 & RU7	RM5

RM5 ZONING REQUIREMENTS:  
ALLOWEDPROPOSED

FAR:		
1.1 (1.2 IF PARKING IS ENTIRELY UNDER LIVING SPACE)		1.155
SITE AREA:		
2371.5 m2 (25,526.61 sf)		
NET BUILDING AREA:		
2739.0 m² (29,482 sf) BASED ON 1.155 FAR		2523.43 m² (27,161.97 sf)
MAX SITE COVERAGE FOR BUILDINGS:		
40%		45.4%
MAX SITE COVERAGE INCL PARKING & DRIVEWAYS:		
65%		71.9%
BUILDING HEIGHT:		
4.5 STOREYS OR 18m		4.5 STOREYS / 15.2m
SETBACKS:		
FRONT:	1.5m FOR FIRST 2.5 STOREYS 6.0m FOR UPPER 2 STOREYS	3.66m FOR FIRST 2 STOREYS 6.0m FOR UPPER 2 STOREYS
SIDE:	4.5m FOR FIRST 2.5 STOREYS 7.0m FOR UPPER 2 STOREYS	4.5m FOR FIRST 2 STOREYS 7.0m FOR UPPER 2 STOREYS
REAR:	7.0m	16.9m
PRIVATE OPEN SPACE:		
REQUIRED: 747.5 m²	BALCONIES/ PATIOS: OPEN PRIVATE SPACE AT GROUND LEVEL: TOTAL PROVIDED:	478.36 m² 614.37 m² 1092.73 m²
PARKING AND LOADING:		
BACHELOR (STUDIO):	3 x 1.0 = 3 STALLS	PROVIDED: 62 STALLS
1 BEDROOM:	20 x 1.25 = 25 STALLS	FULL-SIZE: 26 STALLS (42%)
2 BEDROOM:	8 x 1.5 = 12 STALLS	MEDIUM-SIZE: 30 STALLS (48%)
3 BEDROOM:	9 x 2.0 = 18 STALLS	SMALL CAR: 6 STALLS (10%)
TOTAL:	58 STALLS	
BICYCLE		
40 UNITS x 0.5 STALLS = 20 STALLS (CLASS I)		PROVIDED: 24 BIKE STALLS
40 UNITS x 0.1 STALLS = 4 STALLS (CLASS II)		
TOTAL:	24 STALLS	

BUILDING STATISTICS:

BUILDING AREA: 1,063 SM (11,445 SF)	
GROSS CONSTRUCTION AREA: 3,264.6 SM (35,140 SF)	
UNIT TYPOLOGY & COUNT:	
BACHELOR (STUDIO):	3
1 BEDROOM:	20
2 BEDROOM:	8
3 BEDROOM:	9
TOTAL:	40
NUMBER OF STOREYS: 4	

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



SEAL

Revisions		
No	Date	Description
3	JAN 10, 2019	RE-ISSUED FOR DP

project title

NOW CANADA  
40-UNIT MULTI-FAMILY

project address

1044, 52, & 74 CAWSTON  
AVE., KELOWNA, BC

project no.

4068

file no.

drawing title

ZONING & CODE  
ANALISYS

designed

scale

drawn

R.B./R.Y.

checked

R.Y.

drawing no.

A002

plotted

JAN 10, 2019



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



**NEW TOWN**  
ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING  
[www.newtownservices.ca](http://www.newtownservices.ca)

SEAL

Revisions		
No	Date	Description
3	JAN 10, 2019	RE-ISSUED FOR DP

project title  
NOW CANADA  
40-UNIT MULTI-FAMILY

project address  
1044, 52, & 74 CAWSTON  
AVE., KELOWNA, BC  
project no. 4068

file no.  
drawing title  
RENDERINGS

designed	scale
drawn	R.B./R.Y.
checked	R.Y.
drawing no.	

**A102**  
plotted JAN 10, 2019



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



**NEW TOWN**  
ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING  
[www.newtownservices.ca](http://www.newtownservices.ca)

SEAL

Revisions		
No	Date	Description
3	JAN 10, 2019	RE-ISSUED FOR DP

project title  
NOW CANADA  
40-UNIT MULTI-FAMILY

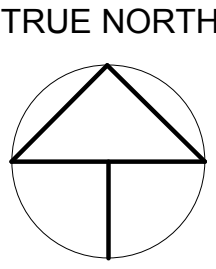
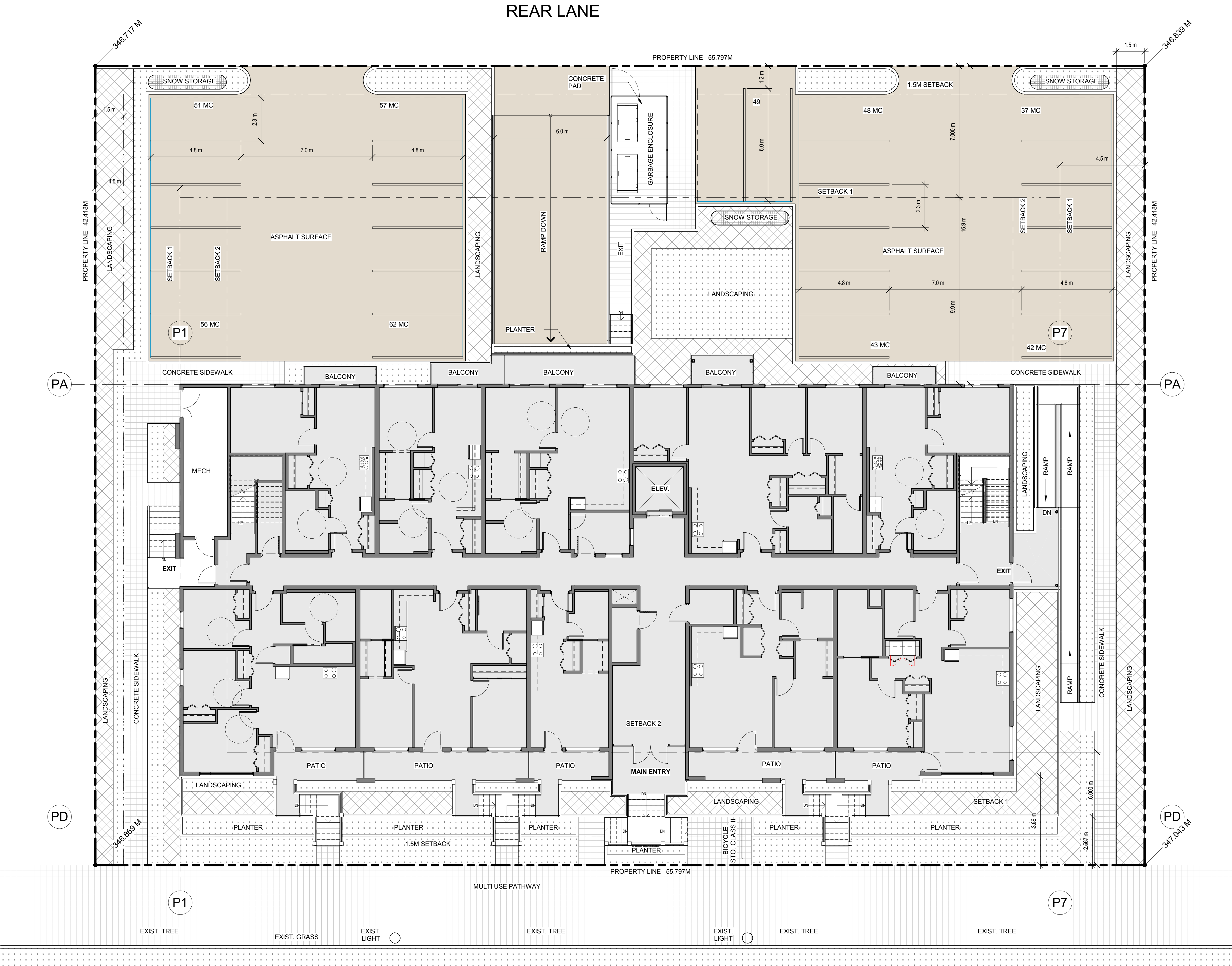
project address  
1044, 52, & 74 CAWSTON  
AVE., KELOWNA, BC

project no. 4068

file no.

drawing title  
RENDERINGS

designed	scale
drawn	R.B./R.Y.
checked	R.Y.
drawing no.	<b>A103</b>
plotted	JAN 10, 2019



**SCHEDULE A**  
This forms part of application  
# DP18-0018 DVP18-0019  
Planner Initials LK  
City of Kelowna  
COMMUNITY PLANNING

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.

**NEW TOWN**  
ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING  
www.newtownservices.ca

SEAL

Revisions		
No	Date	Description
3	JAN 10, 2019	RE-ISSUED FOR DP

project title  
**NOW CANADA  
40-UNIT MULTI-FAMILY**

project address  
**1044, 52, & 74 CAWSTON  
AVE., KELOWNA, BC**

project no. **4068**

file no.

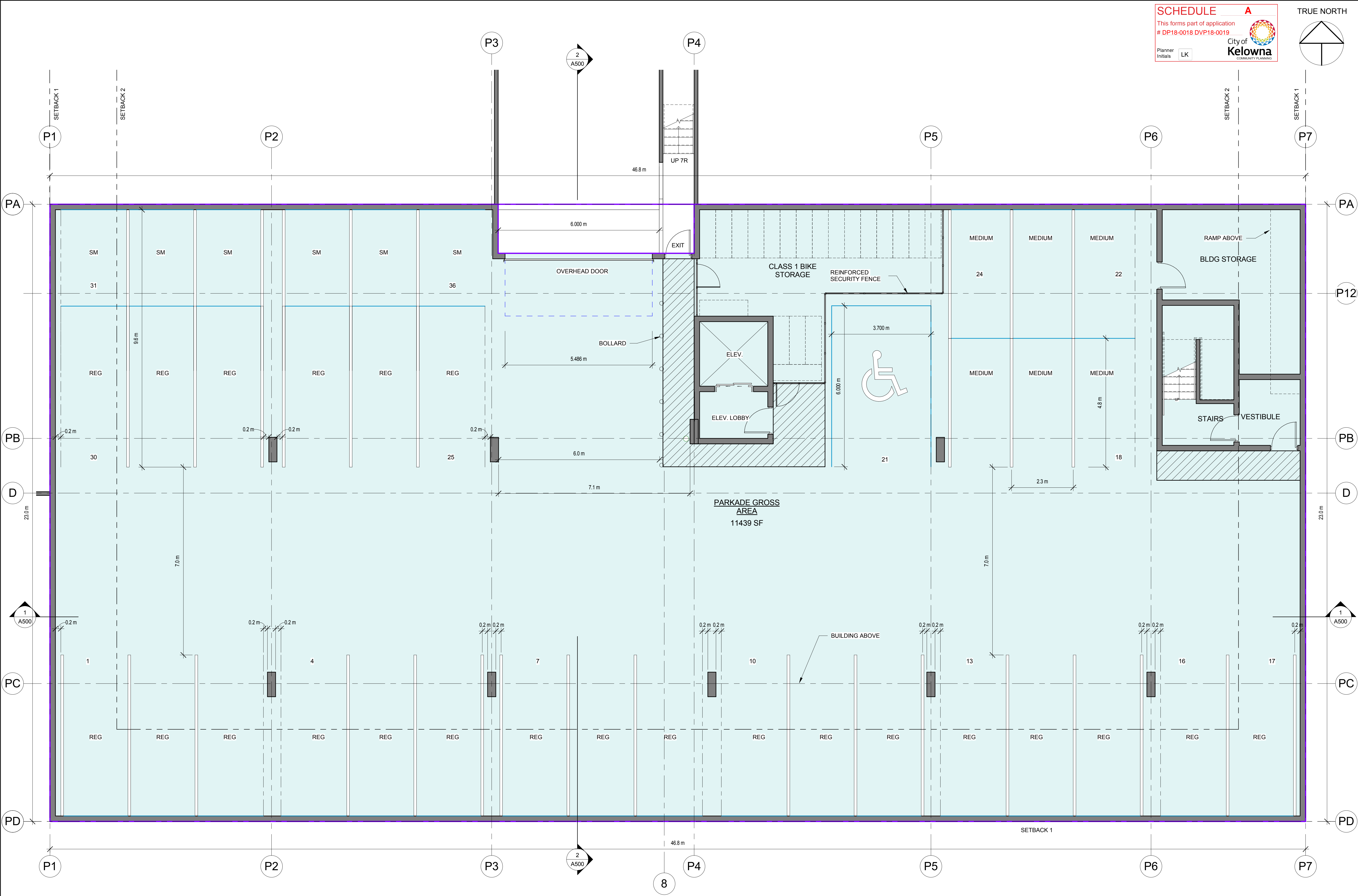
drawing title  
**SITE PLAN**

designed	scale	1 : 100
drawn	R.B./R.Y.	
checked	R.Y.	
drawing no.		

**A200**

plotted JAN 10, 2019

1 SITE PLAN  
1 : 100



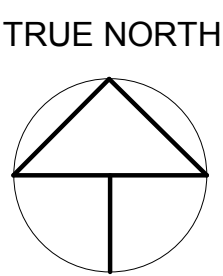
SCHEDULE

A

This forms part of application  
# DP18-0018 DVP18-0019

City of Kelowna  
COMMUNITY PLANNING

Planner  
Initials LK



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



NEW TOWN  
ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING  
www.newtownservices.ca

SEAL



Revisions		
No	Date	Description
3	JAN 10, 2019	RE-ISSUED FOR DP

project title

NOW CANADA  
40-UNIT MULTI-FAMILY

project address

1044, 52, & 74 CAWSTON  
AVE., KELOWNA, BC

project no.

4068

file no.

drawing title

PARKADE FLOOR  
PLAN

designed

scale 3/16" = 1'-0"

drawn

R.B./R.Y.

checked

R.Y.

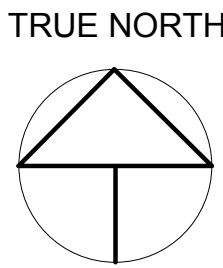
drawing no.

A300

plotted

JAN 10, 2019

1 PARKADE PLAN  
3/16" = 1'-0"



1 LEVEL 1  
3/16" = 1'-0"

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA  
This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.  
This drawing must not be scaled  
Verify all dimensions and datums prior to commencement of work.  
Report all errors and omissions to the Architect.



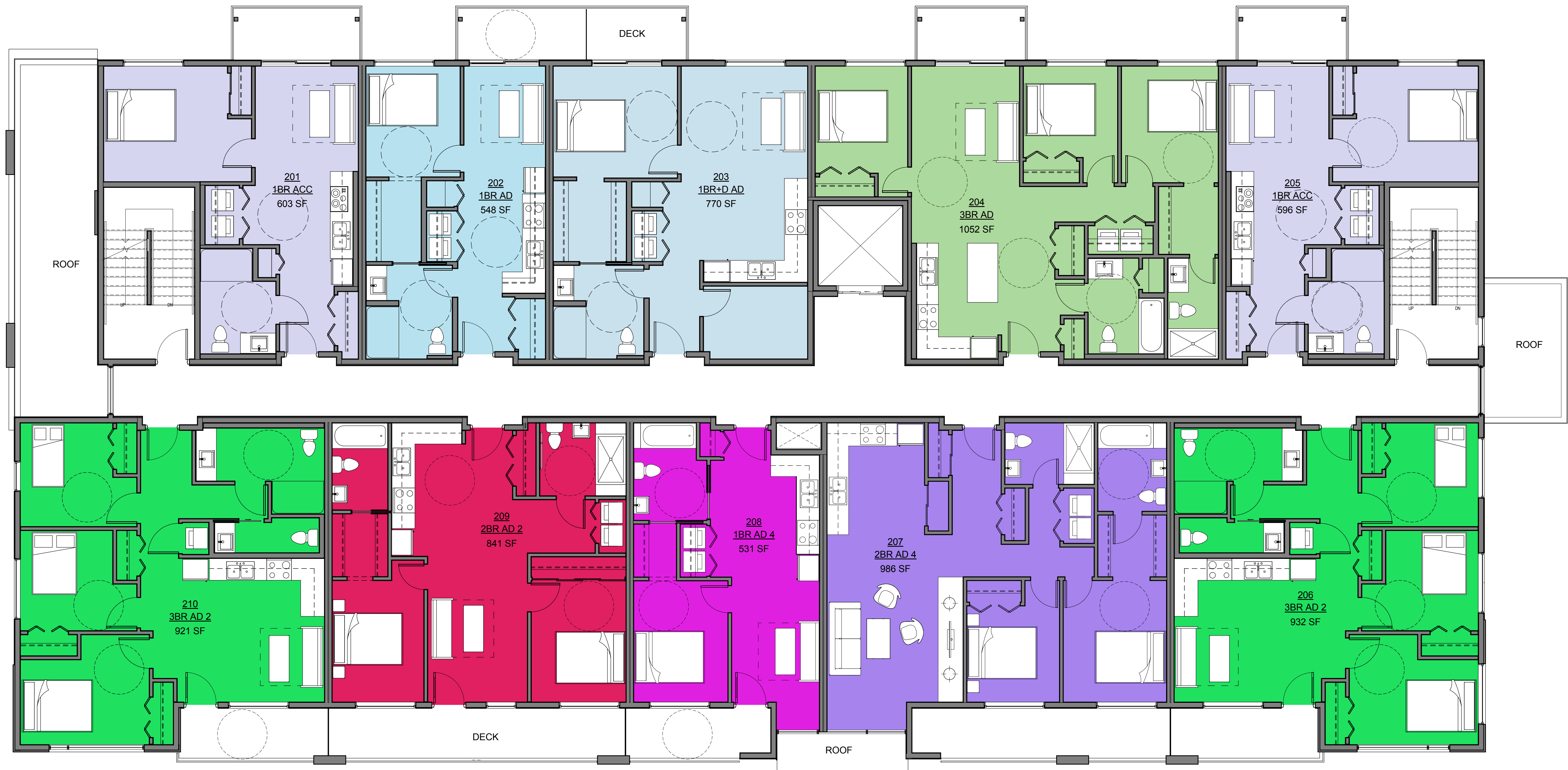
NEW TOWN  
ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING  
www.newtownservices.ca

SEAL

Revisions		
No	Date	Description
3	JAN 10, 2019	RE-ISSUED FOR DP

project title  
NOW CANADA  
40-UNIT MULTI-FAMILY  
project address  
1044, 52, & 74 CAWSTON  
AVE., KELOWNA, BC  
project no. 4068  
drawing title  
FIRST FLOOR PLAN

designed scale 3/16" = 1'-0"  
drawn R.B./R.Y.  
checked R.Y.  
drawing no. A301  
plotted JAN 10, 2019

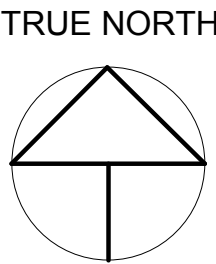


SCHEDULE A

This forms part of application  
# DP18-0018 DVP18-0019

Planner  
Initials LK

City of Kelowna  
COMMUNITY PLANNING



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.

NEW TOWN  
ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING  
www.newtownservices.ca

SEAL

Revisions		
No	Date	Description
3	JAN 10, 2019	RE-ISSUED FOR DP

1 LEVEL 2  
3/16" = 1'-0"

project title  
NOW CANADA  
40-UNIT MULTI-FAMILY

project address  
1044, 52, & 74 CAWSTON  
AVE., KELOWNA, BC

project no. 4068

file no.

drawing title  
SECOND FLOOR  
PLAN

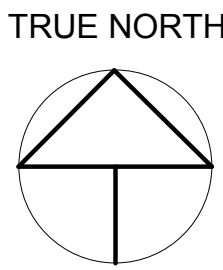
designed scale 3/16" = 1'-0"

drawn R.B./R.Y.

checked R.Y.

drawing no. A302

plotted JAN 10, 2019



1 LEVEL 3  
3/16" = 1'-0"

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



SEAL

Revisions		
No	Date	Description
3	JAN 10, 2019	RE-ISSUED FOR DP

project title  
NOW CANADA  
40-UNIT MULTI-FAMILY

project address  
1044, 52, & 74 CAWSTON  
AVE., KELOWNA, BC

project no. 4068

file no.

drawing title  
THIRD FLOOR PLAN

designed	scale	3/16" = 1'-0"
drawn	R.B./R.Y.	
checked	R.Y.	
drawing no.		

**A303**

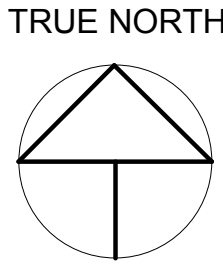
plotted JAN 10, 2019

SCHEDULEA

This forms part of application  
# DP18-0018 DVP18-0019

Planner  
Initials LK

  
City of  
Kelowna  
COMMUNITY PLANNING



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



NEW TOWN  
ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING  
www.newtownservices.ca

SEAL

Revisions		
No	Date	Description
3	JAN 10, 2019	RE-ISSUED FOR DP

project title  
NOW CANADA  
40-UNIT MULTI-FAMILY

project address  
1044, 52, & 74 CAWSTON  
AVE., KELOWNA, BC

project no.4068

file no.

drawing title  
FOURTH FLOOR  
PLAN

designedscale3/16" = 1'-0"

drawnR.B./R.Y.

checkedR.Y.

drawing no.

A304

plottedJAN 10, 2019

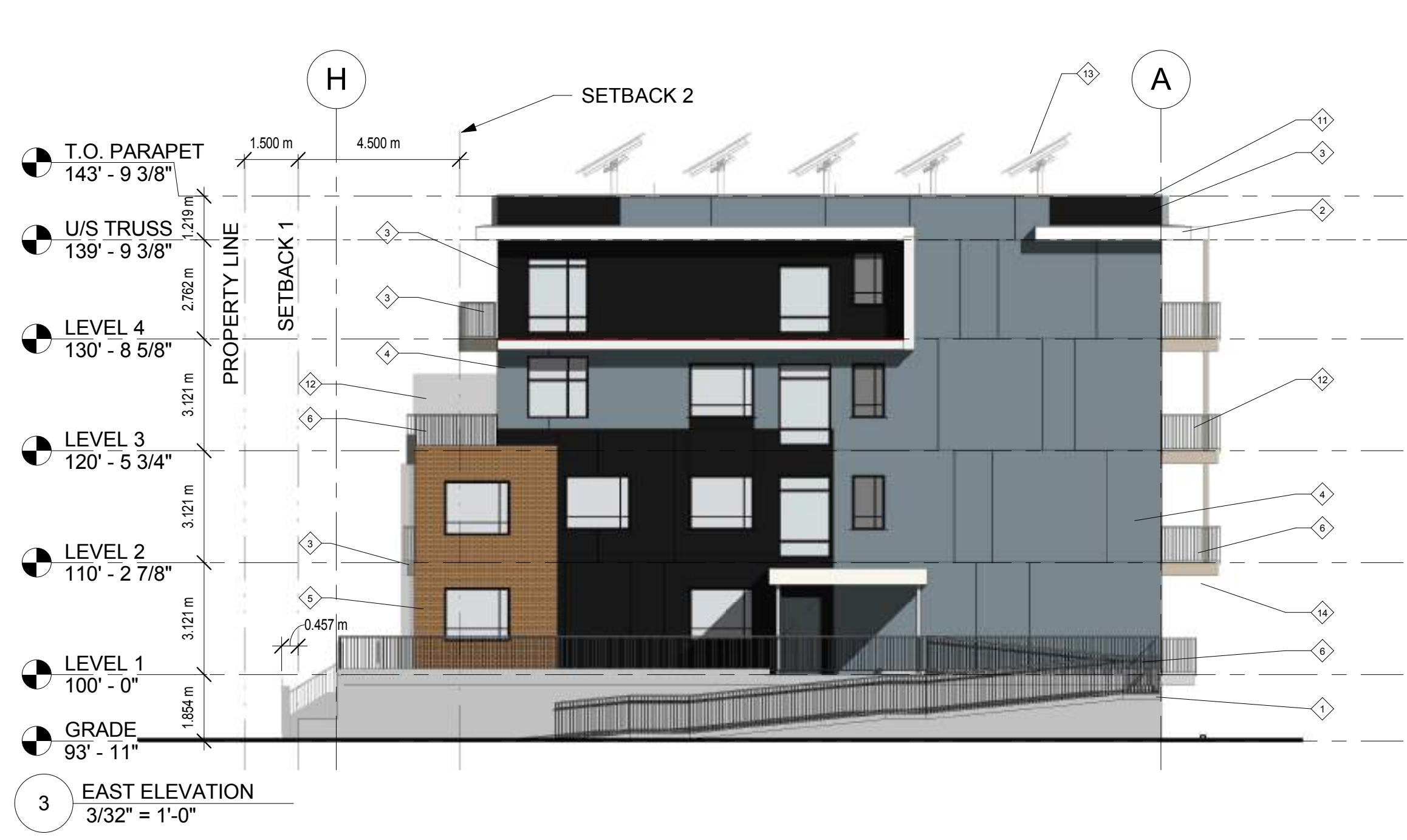


1 LEVEL 4  
3/16" = 1'-0"



- EXTERIOR MATERIAL LEGEND**
1. ARCHITECTURAL CONCRETE
  2. HARDI PANEL - WHITE
  3. HARDI PANEL - DARK BROWN
  4. HARDI PANEL - GRAY-BLUE
  5. BRICK VANEER - BROWN
  6. ALUMINUM RAILINGS - BLACK
  7. ALUMINUM CURTAIN WALL
  8. EXTERIOR ALUMINUM ENTRY DOORS
  9. ROOF TOP UNIT
  10. METAL GARAGE DOOR - INSULATED
  11. METAL CAP-FLASHING
  12. PRIVACY SCREEN
  13. PHOTOVOLTAIC PANELS
  14. STRUCTURAL COLUMN

**SCHEDULE B**  
This forms part of application  
# DP18-0018 DVP18-0019  
Planner Initials LK  
City of Kelowna  
COMMUNITY PLANNING



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA  
This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.  
This drawing must not be scaled  
Verify all dimensions and datums prior to commencement of work.  
Report all errors and omissions to the Architect.



SEAL

Revisions		
No	Date	Description
3	JAN 10, 2019	RE-ISSUED FOR DP

project title  
**NOW CANADA  
40-UNIT MULTI-FAMILY**

project address  
**1044, 52, & 74 CAWSTON  
AVE., KELOWNA, BC**

project no. **4068**

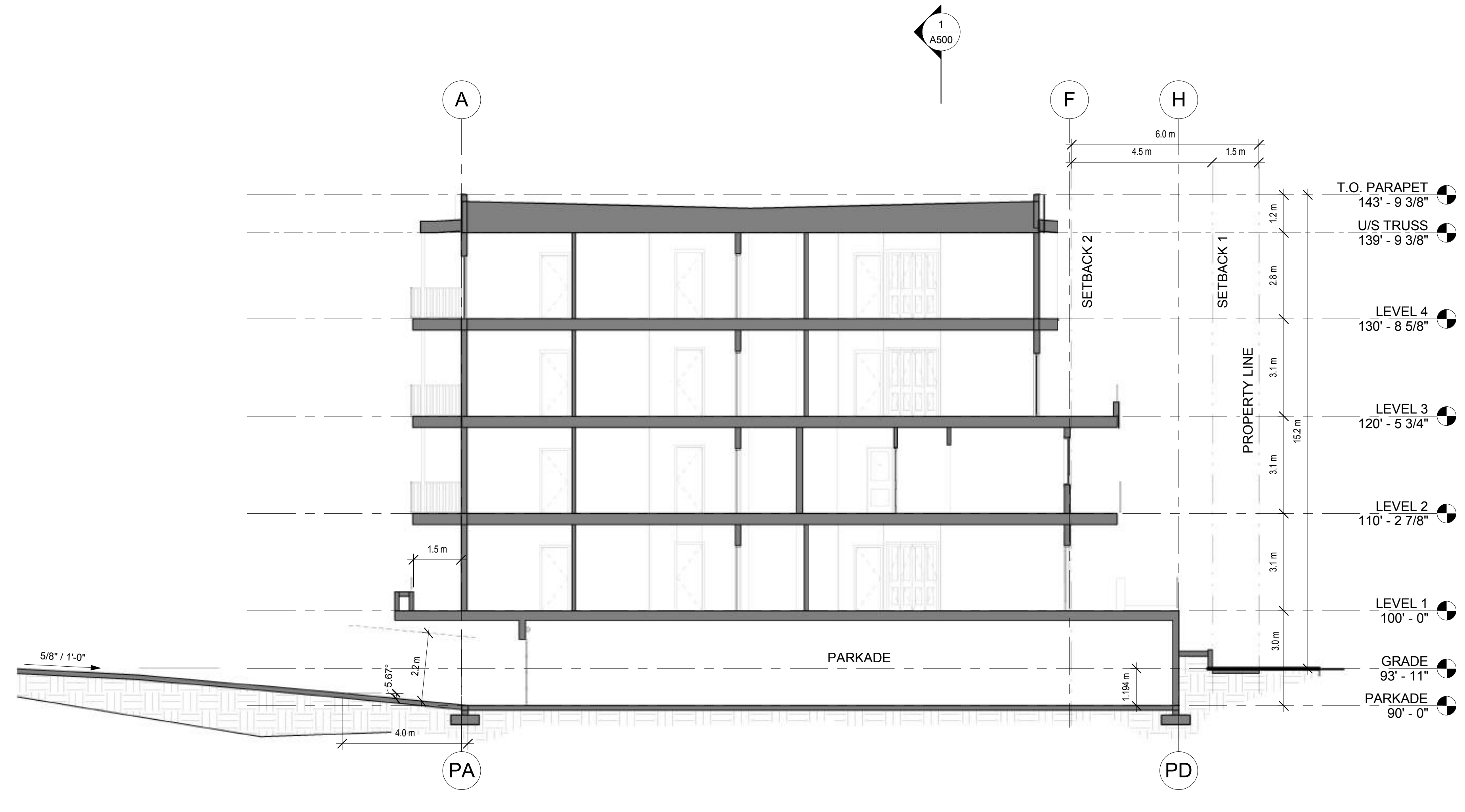
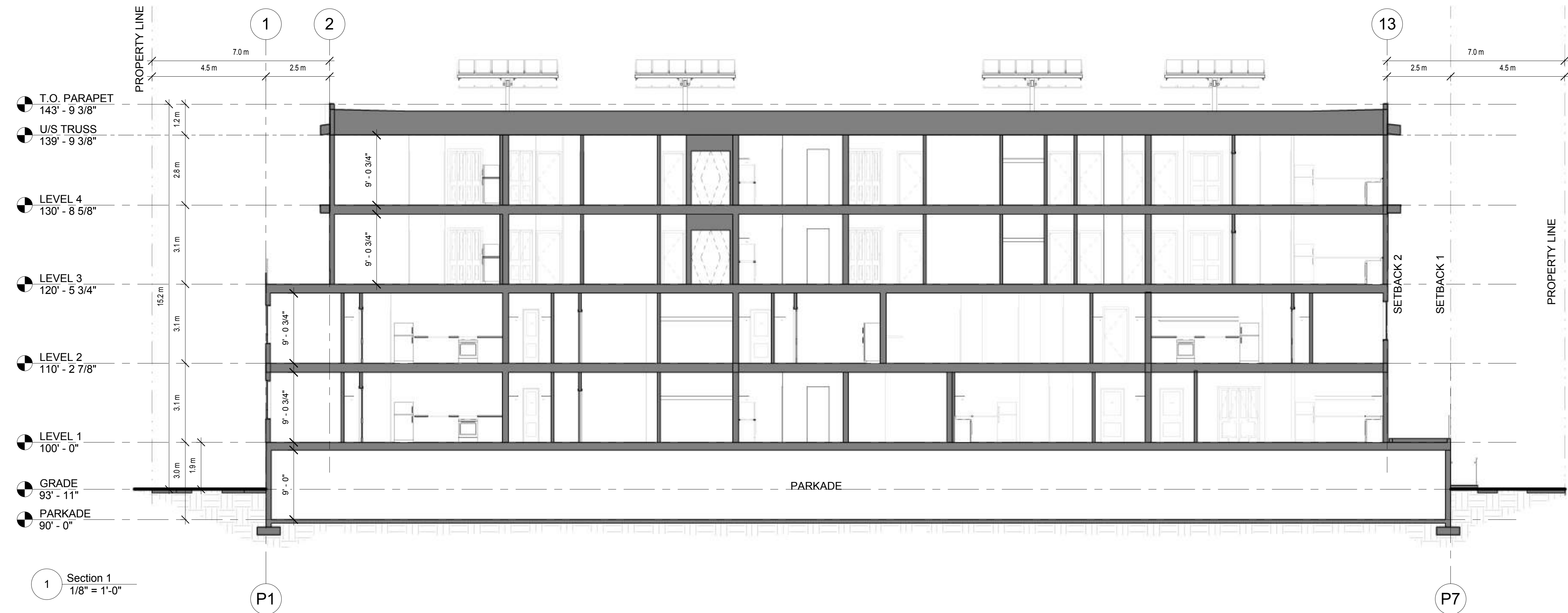
file no.

drawing title  
**EXTERIOR  
ELEVATIONS**

designed	scale	As Indicated
drawn		R.B./R.Y.
checked		R.Y.
drawing no.		

**A400**

plotted JAN 10, 2019



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



SEAL

Revisions		
No	Date	Description
3	JAN 10, 2019	RE-ISSUED FOR DP

project title  
**NOW CANADA  
40-UNIT MULTI-FAMILY**

project address  
**1044, 52, & 74 CAWSTON  
AVE., KELOWNA, BC**

project no. **4068**

file no.

drawing title  
**BUILDING SECTIONS**

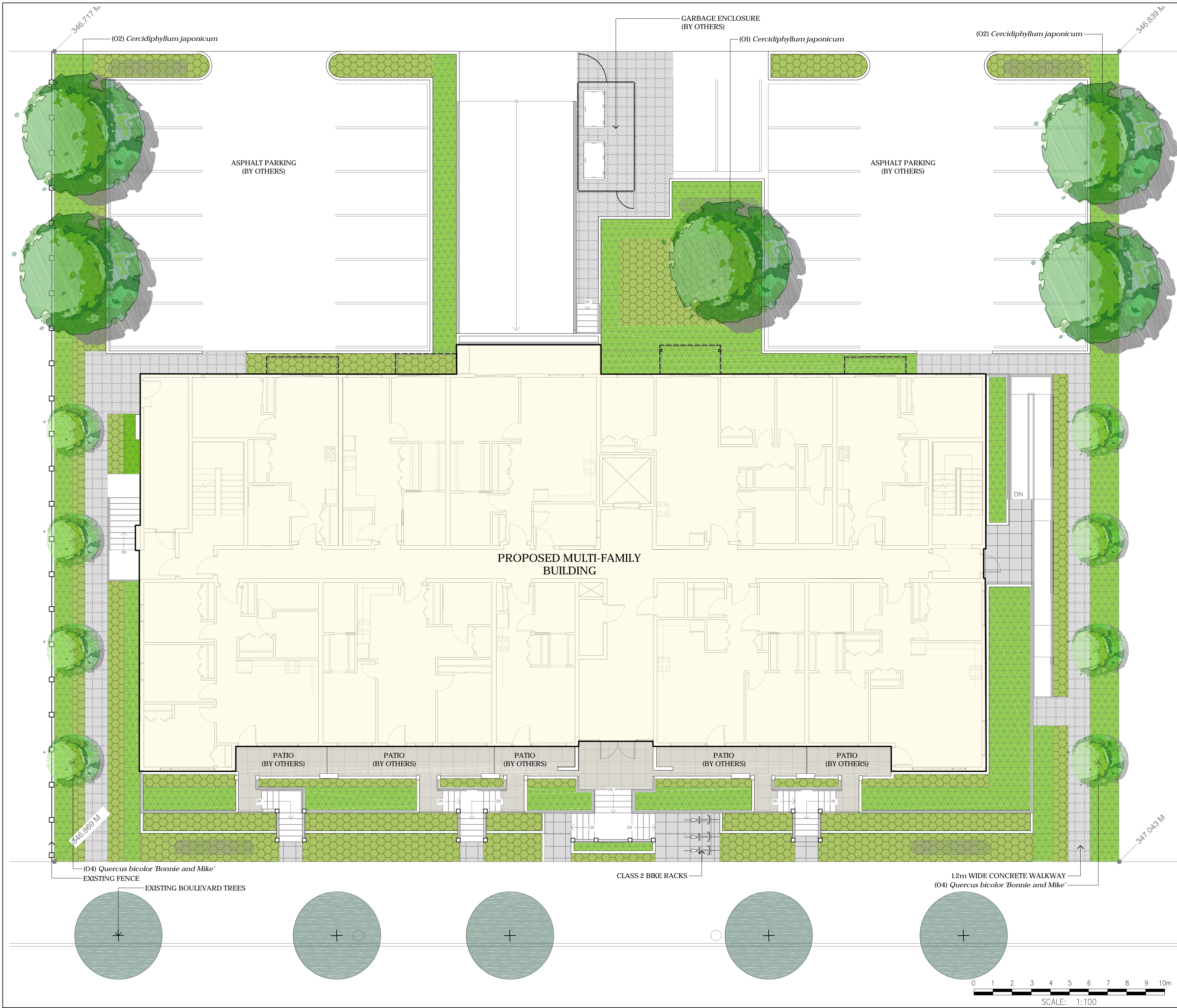
designed \_\_\_\_\_ scale 1/8" = 1'-0"

drawn \_\_\_\_\_ R.B./R.Y.

checked \_\_\_\_\_ R.Y.

drawing no. **A500**

plotted JAN 10, 2019



SITE PLAN LEGEND:

- DECIDUOUS TREE
- PROPERTY LINE
- GRASS / PERENNIAL MULCHED PLANTING BEDS
- SHRUB PLANTING MULCHED PLANTING BEDS
- PATIO (BY OTHERS)
- CONCRETE WALKWAY
- BIKE RACK


LANDSCAPE DEVELOPMENT DATA:

- PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
- THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
- PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
- ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
- THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.


REPRESENTATIVE PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plant Size (HtxWd.)
<b>Trees Deciduous</b>				
<i>Cercidiphyllum japonicum</i>	Katsura Tree	6cm Cal	B&B	12.0m x 8.0m
<i>Quercus bicolor 'Bonnie and Mike'</i>	Beacon Oak	6cm Cal	B&B	12.0m x 4.5m
<b>Shrubs / Grasses</b>				
<i>Buxus 'Green Gem'</i>	Green Gem Boxwood	#01	Potted	1.0m x 1.0m
<i>Cornus alba 'Bailhalo'</i>	Ivory Halo Dogwood	#01	Potted	1.50m x 1.50m
<i>Euonymus alatus 'Compactus'</i>	Dwarf Burning Bush	#01	Potted	2.0m x 2.0m
<i>Miscanthus sinensis 'Gracillimus'</i>	Maiden Hair Grass	#01	Potted	1.0m x 1.5m
<i>Pennisetum alopecuroides 'Red Head'</i>	Red Head Fountain Grass	#01	Potted	1.2m x 1.2m
<b>Perennials</b>				
<i>Allium 'Globemaster'</i>	Persian Onion		bulb	
<i>Echinacea purpurea 'Magnus'</i>	Magnus Coneflower	#01	Potted	1.0m x 0.75m
<i>Nepeta x fassenii 'Walker's Low'</i>	Walker's Low Catmint	#01	Potted	0.90m x 0.90m
<i>Rudbeckia hirta 'Indian Summer'</i>	Black Eyed Susan	#01	Potted	0.75m x 1.0m


REPRESENTATIVE IMAGES




*Cercidiphyllum japonicum*




*Quercus bicolor 'Bonnie and Mike'*




*Euonymus alatus 'Compactus'*




*Buxus 'Green Gem' with Allium*




*Cornus alba 'Bailhalo'*




*Echinacea purpurea 'Magnus'*




*Nepeta x fassenii 'Walker's Low'*




*Rudbeckia hirta 'Indian Summer'*



*Pennisetum alopecuroides 'Red Head'*



*Miscanthus sinensis 'Gracillimus'*



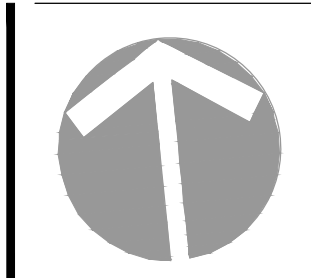
*Bike Racks*

**SCHEDULE C**

This forms part of application  
# DP18-0018 DVP18-0019

Planner Initials **LK**

City of Kelowna  
COMMUNITY PLANNING



REVISIONS / ISSUED		
NO.	DATE	DESCRIPTION
2	JAN 04/18	RE - ISSUED FOR DP
1	NOV 08/17	ISSUED FOR DP

PROJECT  
**NOW CANADA 40-UNIT MULTI - FAMILY**

CLIENT  
**NEWTOWN SERVICES**

LOCATION  
1044, 52, & 74 CAWSTON AVENUE, KELOWNA, B.C.



WSP

Suite 700-1631 Dickson Leon Avenue,  
Kelowna, BC V1Y 0B5 T. 250.869.1334, wsp.com

DESIGN BY	BD/TC
DRAWN BY	YY
CHECKED BY	RF
PROJECT NO.	17M-02133
SCALE	1:100

SHEET TITLE

**SITE PLAN**

SHEET NO.

**LDP-1**

1 OF 2

# **CITY OF KELOWNA**

## **BYLAW NO. 11721**

### **Z18-0106 – 2627 - 2643 Gore Street**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A District Lot 14 ODYD Plan EPP89269 located on Gore Street, Kelowna, BC from the RU6 – Two Dwelling Housing zone to the RM5 – Medium Density Multiple Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 10<sup>th</sup> day of December, 2018.

Considered at a Public Hearing on this 15<sup>th</sup> day of January, 2019.

Read a second and third time by the Municipal Council this 15<sup>th</sup> day of January, 2019.

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

# REPORT TO COUNCIL



**Date:** April 9<sup>th</sup> 2019

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (AC)

**Application:** DP18-0196 & DVP18-0197

**Owner:** Teano Holdings Ltd., Inc. No.  
BC1090038

**Address:** 2627 – 2643 Gore St.

**Applicant:** Worman Resources Inc.

**Subject:** Development Permit and Development Variance Permit Application

Existing OCP Designation: MRM – Multiple Unit Residential (Medium Density)

Existing Zone: RM5 –Medium Density Multiple Housing

---

## 1.0 Recommendation

THAT Rezoning Bylaw No. 11721 be amended at third reading to revise the legal description of the subject properties from Lot 7 & Lot 8 District Lot 14 ODYD Plan 7927 to *Lot A, District Lot 14, ODYD, Plan EPP89269*;

AND THAT final adoption of Rezoning Bylaw No. 11721 (Z18-0106) be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP18-0196 for *Lot A, District Lot 14, ODYD, Plan EPP89269*, located at 2627 – 2643 Gore St, Kelowna, BC, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0197 for *Lot A, District Lot 14, ODYD, Plan EPP89269*, located at 2627 – 2643 Gore St, Kelowna, BC;

AND THAT variances to the following section[s] of Zoning Bylaw No. 8000 be granted:

### **Section 13.11.6(e): RM5 – Medium Density Multiple Housing Development Regulations**

- To vary the required side yard setback along the south property line, as described in Schedule 'A', only for the parkade from 4.5m to 1.52m;

AND FURTHER THAT this Development Permit / Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

#### **2.0 Purpose**

To consider a form and character of a 19 unit four storey apartment building and to consider a setback variance for the parkade along the southern property line.

#### **3.0 Community Planning**

Staff support the development permit with the associated variance. The proposed infill apartment building is consistent with the future land use MRM - Multiple Unit Residential (Medium Density) designation within this transitional neighbourhood.

The proposal reflects several objectives of the Official Community Plan (OCP) for the South Pandosy Urban Centre, including:

- **South Pandosy**<sup>1</sup>. Build to generally 4 storeys.
- **South Pandosy Urban Design**<sup>2</sup>. Encourage urban design that differentiates this a “grander” or more “stately” image than other residential areas which will enhance the desired character of the corridor.

The application meets the Comprehensive Development Permit Guidelines<sup>3</sup> through its effective street edge, open spaces that take advantage of sunlight, public and private transition, recognizable entrances and durable materials. The front yard patios provide a smooth transition to the street, with landscaping that softens the building form. Balconies, canopies, window treatments and articulated rooflines provide variation to the building mass. The top story is setback which lightens the sense of mass. The material textures are varied, and there is pedestrian movement around the site and through to the laneway. The parking is accessed from the rear and side lane. There will be no vehicular access to the lane from Gore Street as the development will provide a bicycle chicane.

The proposal is consistent with the RM5 zone except for one side yard setback. The reduced setback is to the southern property line but the variance is only for the parkade. The residential units meet the required setback. The variance is only needed to a height of 2 metres above grade, which is the same height as the side-yard fence. The variance is anticipated to have minimal impact to the adjacent neighbour as the parkade will be hidden by a fence.

Despite the parkade setback variance, the form of the building achieves many of the OCP's design guidelines objectives such as: extensive open spaces, ground oriented units with identifiable front entries, as well as the variation in both materials and building form. Articulation through window detailing, roof definition and cornice treatments further refine the character of the building and reflect a high quality of design.

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.5.1 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.20.2 (Development Process Chapter).

<sup>3</sup> City of Kelowna Official Community Plan, Chapter 14. Comprehensive Development Permit Area Guidelines

Overall, Staff are supportive of the Development Permit and Development Variance Permit.

### 3.1 Project Description

The proposal is for a 19 unit, 4 story apartment building. The development features two ground oriented units facing Gore Street. The rest of the units are accessible from common lobbies and elevator. There is a mix of one and two bedroom units with spacious balconies. Parking for the development is a mix of underbuilding parking (18 stalls) and exterior at grade stalls accessed from the rear lane.

High quality building materials are being used throughout the building with the predominant material being brick. The off-site and on-site landscaping was coordinating with Staff to bring high quality design elements including stepped planters which soften the building's front along Gore Street.

**Proposed Rendering:** 2627 Gore St.



**Subject Property Map: 2627-2643 Gore Street****3.3 Zoning Analysis Table**

The zoning analysis is included in the table below.

Zoning Analysis Table		
CRITERIA	RM5 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Floor Area Ratio	1.3	0.97
Height	18m / 4.5 storeys	16.0m / 4.5 storeys
Front Yard	2½ storeys = 1.5m Over 2½ storeys = 6.0m	2½ storeys = 3.56 m Over 2½ storeys = 6.42m
Side Yard (south)	4.5m below 2 ½ storeys 7.0m above 2 ½ storeys	1.52 m / 4.57 m / 7.4 m <span style="color: red;">❶</span>
Side Yard (north)	4.5m below 2 ½ storeys 6.0m above 2 ½ storeys	4.5 m / 6.0 m
Rear Yard	7.0m	7.21 m
Site Coverage (w/ bonus for POS)	50% w/ POS	50%
Site Coverage incl. driveways and parking	65% + 5% bonus	69%
Other Regulations		
Minimum Parking Requirements	(13 x 1.25) + (6 x 1.5) = 25.25 stalls	30
Bicycle Parking	Class I @ .5/unit x 19 units = 9.5 Class II @ .1/unit x 19 units = 1.9	18 4
Private Open Space (POS)	(15m² / unit x 13 units) + (25m² / unit x 6 units) = 345m²	660m²
<span style="color: red;">❶</span> Variance to reduce the side yard setback (south)		

#### 4.0 Current Development Policies

##### 4.1 Kelowna Official Community Plan (OCP)

#### **Comprehensive Development Permit Area Guidelines**

##### **OBJECTIVES**

- Convey a strong sense of authenticity through urban design that is distinctive for Kelowna;
- Promote a high urban design standard and quality of construction for future development that is coordinated with existing structures;
- Integrate new development with existing site conditions and preserve the character amenities of the surrounding area;
- Promote interesting, pedestrian friendly streetscape design and pedestrian linkages;
- Provide for a scale and massing of commercial buildings that promotes a safe, enjoyable living, pedestrian, working, shopping and service experience;
- Incorporate architectural features and detailing of buildings and landscapes that define an area's character;
- Promote alternative transportation with enhanced streetscapes and multimodal linkages;
- Highlight the significance of community institutional and heritage buildings; and
- Protect and restore the urban ecology (i.e. architectural and site consideration with respect to the ecological impact on urban design).
- Moderate urban water demand in the City so that adequate water supply is reserved for agriculture and for natural ecosystem processes.
- Reduce outdoor water use in new or renovated landscape areas in the City by a target of 30%, when compared to 2007

#### 5.0 Application Chronology

Date of Application Received:	Oct 12 <sup>th</sup> , 2018
Date Public Consultation Completed:	Nov 5 <sup>th</sup> , 2018
Date of Initial Consideration:	Dec 10 <sup>th</sup> , 2018
Date of Public Hearing:	Jan 15 <sup>th</sup> , 2019

<b>Report prepared by:</b>	Adam Cseke, Planner Specialist
<b>Reviewed by:</b>	Terry Barton, Urban Planning Manager
<b>Approved for Inclusion:</b>	Ryan Smith, Community Planning Department Manager

##### **Attachments:**

Applicant's Letter of Rationale  
 Draft Development Permit / Development Variance Permit  
 Development Engineering Memo



WORMAN  
WORMAN HOMES | WORMAN COMMERCIAL

Sept. 14, 2018

Re: 2627 & 2643 Gore Street  
Development and Variance Rationale Letter

Dear City Staff and Council,

The attached application for the two lots at 2627 & 2643 Gore Street is for a 19 unit, 4 storey apartment building. The development features 2 main floor, 2 bedroom units facing Gore with both external access from the street and internal access. The balance of the units are all accessible from common lobbies and elevator. There is a good mix of 1 & 2 bedroom units all with oversized balconies. Parking for the development is a mix of underbuilding parking (18 stalls) and exterior at grade stalls accessed from the rear lane.

The building using high quality building materials with the bulk of the building being brick. High quality landscape design with stepped planters have been used to soften the building's front on Gore, similar to the way Abbott House has softened their front to Abbott just around the corner.

The future land use designation for this property is MRL so our application features the RM5 zone which is consistent with this designation.

Our proposal meets all the requirements under the RM5 zone except for one sideyard setback. This reduced setback, to the south side of the lot, allows for an extra 2 underground covered parking stalls. The variance is only required to a height of 2 m above grade, which is the same height as a sideyard fence. We felt this minor variance would have no impact on the neighbour to the south (as it is the same height as the fence) and yet provide 2 more covered and hidden parking stalls which would be an overall benefit to the neighbourhood.

Our application maintains our design philosophy of creative solutions to density on small lots. We hope you will see this as an asset to the South Pandosy urban fabric and look forward to the application's approval.

Sincerely,

Shane Worman  
Worman Homes/ Worman Commercial

# Development Permit & Development Variance Permit



This permit relates to land in the City of Kelowna municipally known as

2627 – 2643 Gore Street

and legally known as

*Lot A, District Lot 14, ODYD, Plan 89269*

and permits the land to be used for the following development: Multi-Family Housing

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted as described in Schedule 'A' and according to the following:

## **Section 13.11.6(e): Side Yard Setbacks**

To vary the required side yard setback along the south property line, as described in Schedule 'A', only for the parkade from 4.5m to 1.52m;

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision:

Decision By: CITY COUNCIL

Issued Date:

Development Permit Area: Comprehensive

**This permit will not be valid if development has not commenced by December 5, 2019.**

Existing Zone: RM5 – Medium Density Multiple Housing      Future Land Use Designation: MRM – Multiple Unit Residential (Medium Density)

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Teano Holdings Ltd. Inc. No. BC 1090038

Applicant: Shane Worman

---

Ryan Smith  
Community Planning Department Manager  
Community Planning & Strategic Investments

Date

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of December 5, 2017 approval, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of **\$36,490.63**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

# 2627 GORE ST. APARTMENTS, KELOWNA, BC



## PROPERTY DESCRIPTION

C/MC: 2627 Gore Street, Kelowna, BC  
LEGAL: Plan 7927; Lot 7  
C/MC: 2643 Gore Street, Kelowna, BC  
LEGAL: Plan 7927; Lot 8  
(Lots 7 & 8 to be consolidated)

## ZONING CALCULATIONS:

CURRENT: City of Kelowna RU6 Zoning  
PROPOSED: City of Kelowna, RMS Zoning

## SITE INFORMATION:

Gross Site Area = 13,750 d [1,277 sm]  
Allowable Site Coverage = 50% (6,875 sf) \*  
\*Increased to 50% coverage with additional private open space 20% above below requirement  
Coverage + Hardscaping = 70% (9,625 sf)  
F.A.R. = 1.1 + .2 = 1.3 (17,875 sf) 1.01 (13,830 sf)

## Unit Area Calculations:

	UNIT AREA	PRIVATE OPEN SPACE
<b>ENTRY LEVEL</b>		
UNIT 1 - 2 BEDROOM	968 SF (89.9 SM)	369 SF (34.2 SM)
UNIT 2 - 1 BEDROOM	566 SF (52.6 SM)	364 SF (33.8 SM)
UNIT 3 - 1 BEDROOM	523 SF (48.6 SM)	175 SF (16.2 SM)
UNIT 4 - 1 BEDROOM	566 SF (52.6 SM)	540 SF (50.1 SM)
UNIT 5 - 2 BEDROOM	943 SF (87.6 SM)	885 SF (82.2 SM)
<b>SECOND LEVEL</b>		
UNIT 6 - 1 BEDROOM	510 SF (47.4 SM)	380 SF (35.3 SM)
UNIT 7 - 1 BEDROOM	437 SF (40.5 SM)	186 SF (17.3 SM)
UNIT 8 - 1 BEDROOM	566 SF (52.6 SM)	372 SF (34.6 SM)
UNIT 9 - 1 BEDROOM	523 SF (48.6 SM)	175 SF (16.2 SM)
UNIT 10 - 1 BEDROOM	566 SF (52.6 SM)	372 SF (34.6 SM)
UNIT 11 - 1 BEDROOM	564 SF (52.4 SM)	186 SF (17.3 SM)
UNIT 12 - 1 BEDROOM	476 SF (44.2 SM)	380 SF (35.3 SM)
<b>THIRD LEVEL</b>		
UNIT 13 - 2 BEDROOM	968 SF (89.9 SM)	566 SF (52.6 SM)
UNIT 14 - 1 BEDROOM	566 SF (52.6 SM)	372 SF (34.6 SM)
UNIT 15 - 1 BEDROOM	523 SF (48.6 SM)	175 SF (16.2 SM)
UNIT 16 - 1 BEDROOM	566 SF (52.6 SM)	372 SF (34.6 SM)
UNIT 17 - 2 BEDROOM	943 SF (87.6 SM)	566 SF (52.6 SM)
<b>FOURTH LEVEL</b>		
UNIT 18 - 2 BEDROOM	1513 SF (140.6 SM)	351 SF (32.6 SM)
UNIT 19 - 2 BEDROOM	1523 SF (141.5 SM)	323 SF (30.0 SM)
<b>TOTAL</b>	<b>13,830 SF (1,285 SM)</b>	<b>7,189 SF (664.5 SM)</b>

Building Height: Allowed: 18m (59.1 ft) or 4.5 stories  
Max. Height = 15.98m (52.5 ft) or 4.5 stories

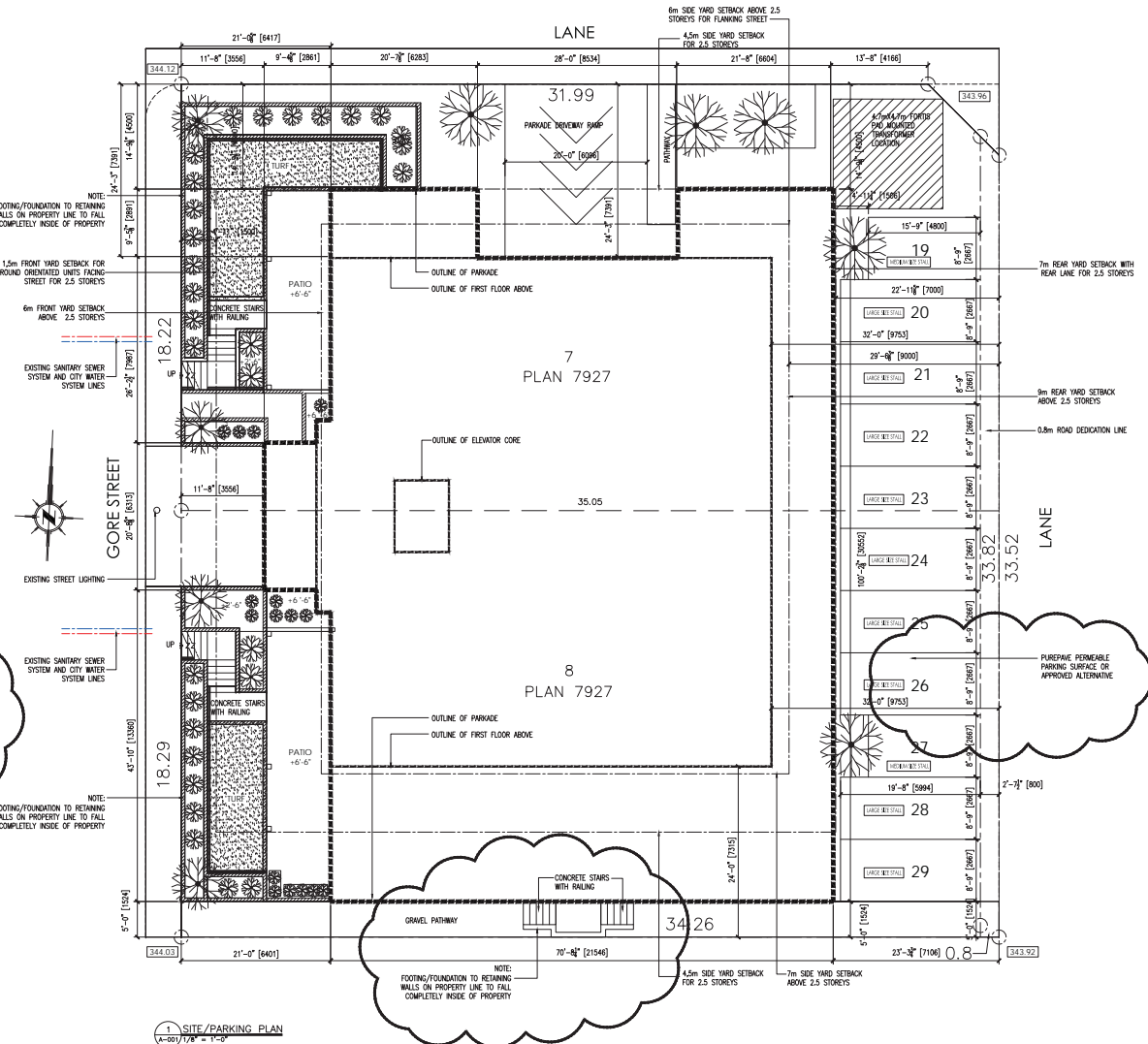
Yard setbacks: Allowed: 1.5m Ground Oriented Entry for 2.5 stories/ 6m above 2.5 stories  
Front yard - 4.5m for 2.5 stories / 6m (Parking street) / 7m above 2.5 stories  
Side yard - 9m / 7m Rear Lane / 1.5m for parking structure 2m above grade  
Rear yard -

Parking Calculations: Required: 1.25 per 1 bedroom = 1.5 per 2 bedroom =  
Parking Stall Size Ratio = Full 50% / Medium 40% / Compact 10%

Bicycle Storage: Required: 5X18=9 (Required)  
Class II, 1/Unit  
Class III, 1/Unit  
Proposed: 29  
Full 36% / Medium 42%  
Proposed: 18 (dedicated bike storage)  
2

## DRAWINGS:

- ARCHITECTURAL
- PROJECT & SITE INFORMATION
- A-100 PARADE LEVEL
- A-101 ENTRY LEVEL PLAN
- A-102 SECOND LEVEL PLAN
- A-103 THIRD LEVEL PLAN
- A-104 FOURTH LEVEL PLAN
- A-105 ROOF PLAN LAYOUT
- A-200 ELEVATIONS
- A-201 ELEVATIONS
- A-300 SECTIONS
- A-400 RENDERERS



1 SITE/PARKING PLAN  
A-001 1/8" = 1'-0"

## SCHEDULE A & B

This forms part of application

# DP18-0196 / DVP18-0197

Planner Initials AC

City of Kelowna  
COMMUNITY PLANNING



**DISTINCT SOLUTIONS INC.**  
phone: 250-448-7801  
205-1426 Richter Street  
Kelowna, BC V1Y 2A3  
www.distinctsolutions.ca

**WORMAN**  
ARCHITECTS  
205-1426 Richter Street  
Kelowna, BC V1Y 2A3  
P: 250-762-2000  
F: 250-762-2001  
www.wormanarchitects.ca

**COPYRIGHT**  
ALL RIGHTS RESERVED  
All plans, designs, drawings and specifications are the exclusive property of the architect. No part of this document may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission from the architect. The architect assumes no responsibility for the handling and protection of all other and design documents, plans and specifications, and shall retain the right to use any documents from this drawing.

**Revision No., Date and Description**  
06.25.18 - CLIENT REVIEW  
07.23.18 - PROGRESS REVIEW  
07.31.18 - PROGRESS REVIEW  
09.11.18 - FOR DVP  
03.18.19 - UPDATED FOR DVP

**Plot Date**  
18-Mar-19

**Drawing No.**  
A-001

**PROJECT**  
2627 GORE STREET  
APARTMENTS

**DRAWING TITLE**  
PROJECT INFORMATION

FOR DVP

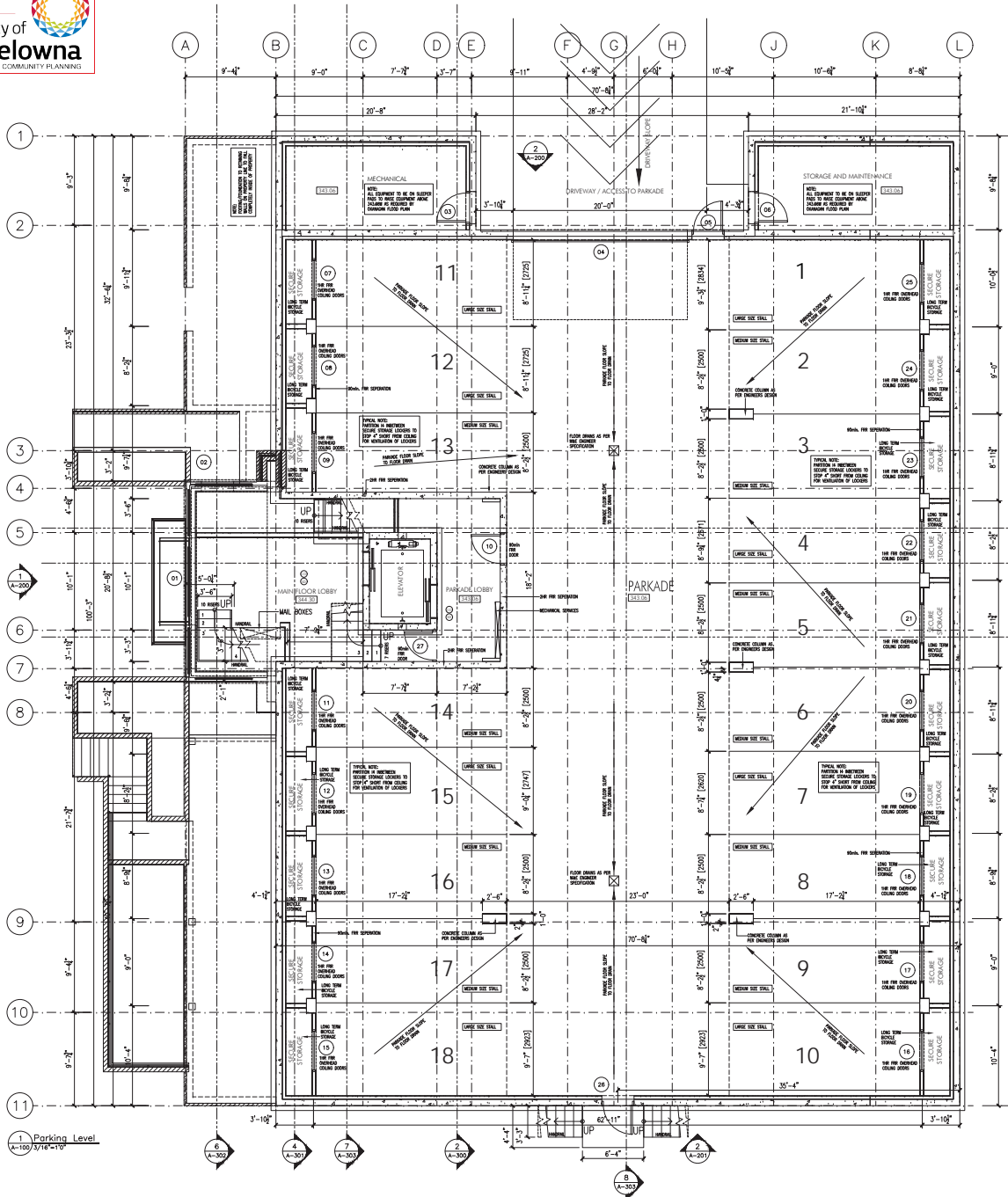
# SCHEDULE A & B

This forms part of application  
# DP18-0196 / DVP18-0197

Planner Initials AC



City of Kelowna  
COMMUNITY PLANNING



DOOR SCHEDULE					
MARK	DOOR	SIZE	Style	NOTES	LOCK
1	1A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
2	2A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
3	3A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
4	4A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
5	5A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
6	6A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
7	7A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
8	8A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
9	9A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
10	10A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
11	11A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
12	12A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
13	13A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
14	14A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
15	15A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
16	16A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
17	17A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes
18	18A-300	3'-0" x 7'-0"	Standard - Single - Full Lin	See Notes	See Notes

**INTERIOR DOORS:**  
DOOR ROUGH OPENINGS VERSUS ACTUAL DOOR DIMENSIONS AS FOLLOWS (CONFORM WITH MANUFACTURER):

DOOR TYPE	ADDITIONAL HEIGHT	ADDITIONAL WIDTH
STANDARD SINGLE SWING:	+2-1/2"	+2"
B-FOLD:	+1-1/2"	+1-1/4"
B-PASS (WITH GLASS DOORS):	+1-1/2"	+1-1/4"
B-PASS (WITHOUT GLASS):	+1-1/2"	+0 (DOOR WIDTH)

**WINDOWS/EXTERIOR DOORS:**  
WINDOW ROUGH OPENINGS VERSUS ACTUAL WINDOW/DOOR DIMENSIONS AS FOLLOWS (CONFORM WITH MANUFACTURER):

TYPE	ADDITIONAL HEIGHT	ADDITIONAL WIDTH
STANDARD EXTERIOR WINDOW:	+1/2"	+1/2"
SLIDING EXTERIOR DOORS:	+1/2"	+1/2"
STANDARD EXTERIOR DOOR:	+1"	+1"

**LEGEND:**  
 SMOKE DETECTOR  
 CARBON MONOXIDE DETECTOR  
 FAN

**DISTINCT SOLUTIONS INC.**  
phone: 250-448-7801  
205-1426 Richter Street  
Kelowna, BC V1Y 2M3  
www.distinctsolutions.ca

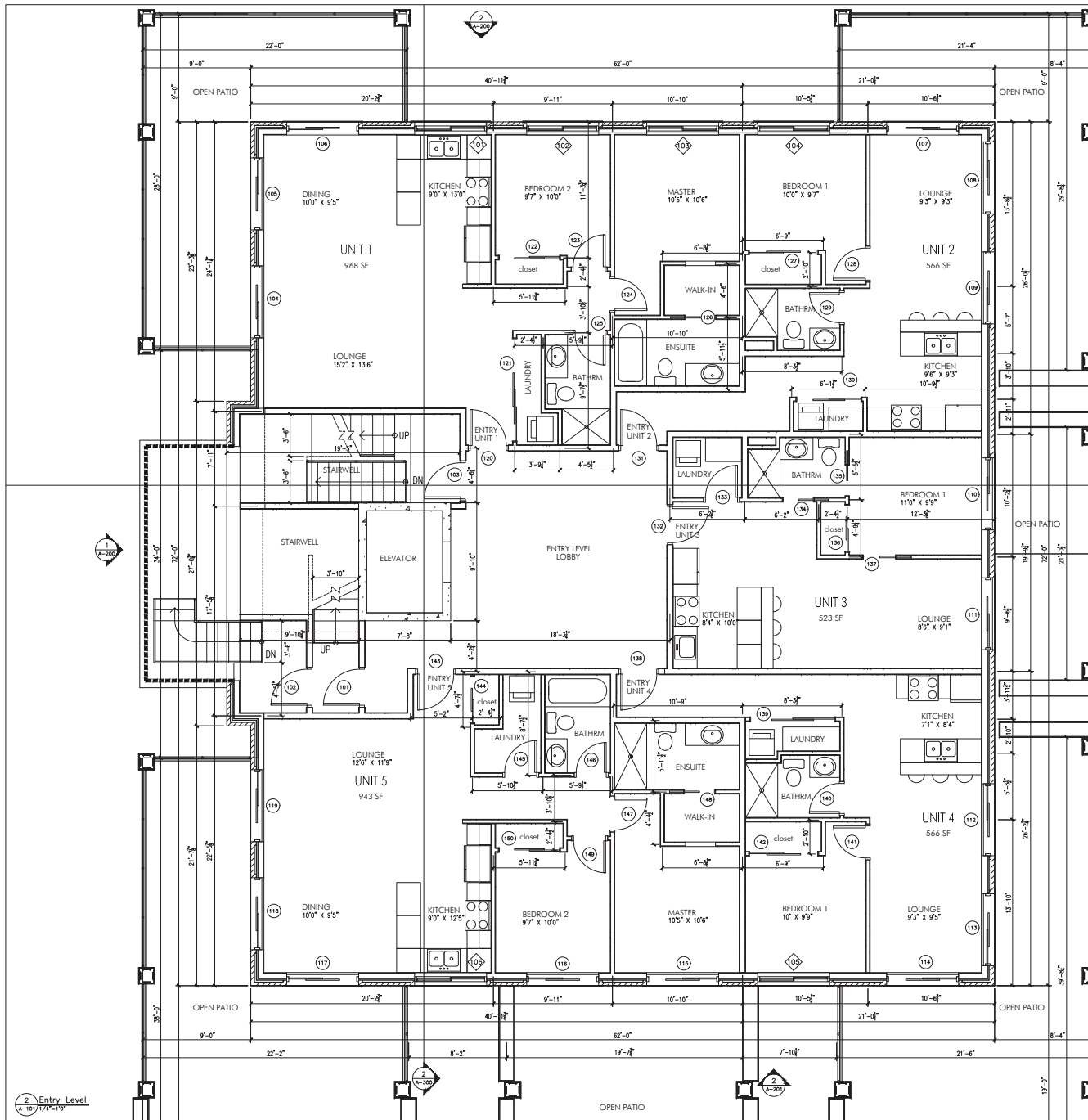
**WORMAN**  
1880 - 1880-1880  
Kelowna, BC V1Y 2M3  
P: 250-762-2076  
www.worman.ca

**COPYRIGHT:**  
ALL RIGHTS RESERVED  
All ideas, designs, drawings and specifications are the exclusive property of the architect. Any reproduction or use of these drawings without the written consent of the architect is strictly prohibited. The architect assumes no responsibility for the construction of any work. Any deviations are to be reported immediately to the architect. Scale any drawings from this drawing.

**Revision No., Date and Description**  
 12.06.19 - F&P PERMIT ONLY  
 01.08.19 - FOR COORDINATION  
 01.21.19 - FOR COORDINATION  
 01.28.19 - FOR COORDINATION  
 02.20.19 - ADDENDUM NO.1  
 02.25.19 - FOR REVIEW  
 03.06.19 - FOR BP  
 03.16.19 - UPDATED FOR DVP

**Plot Date** 18-Mar-19 **Drawing No.** A-100  
**PROJECT** 2627 GORE STREET APARTMENTS  
**DRAWING TITLE** PARKADE LEVEL

FOR DVP



DOOR SCHEDULE				
MARK	SIZE		Style	NOTES
	WD	HGT		
101	3'-0"	6'-8"	Standard	---
102	3'-0"	6'-8"	Standard	---
103	3'-0"	6'-8"	Standard	---
104	5'-8"	7'-10"	Sliding - Double - Full Lite	---
105	5'-8"	7'-10"	Sliding - Double - Full Lite	---
106	5'-8"	7'-10"	Sliding - Double - Full Lite	---
107	5'-8"	7'-10"	Sliding - Double - Full Lite	---
108	5'-8"	7'-10"	Sliding - Double - Full Lite	---
109	5'-8"	7'-10"	Sliding - Double - Full Lite	---
110	5'-8"	7'-10"	Sliding - Double - Full Lite	---
111	5'-8"	7'-10"	Sliding - Double - Full Lite	---
112	5'-8"	7'-10"	Sliding - Double - Full Lite	---
113	5'-8"	7'-10"	Sliding - Double - Full Lite	---
114	5'-8"	7'-10"	Sliding - Double - Full Lite	---
115	5'-8"	7'-10"	Sliding - Double - Full Lite	---
116	5'-8"	7'-10"	Sliding - Double - Full Lite	---
117	5'-8"	7'-10"	Sliding - Double - Full Lite	---
118	5'-8"	7'-10"	Sliding - Double - Full Lite	---
119	5'-8"	7'-10"	Sliding - Double - Full Lite	---
120	3'-0"	6'-8"	Standard	---
121	6'-0"	6'-8"	Sliding - Triple - Full Lite	---
122	5'-8"	7'-10"	Sliding - Double	---
123	2'-0"	6'-8"	Standard	---
124	2'-0"	6'-8"	Standard	---
125	2'-0"	6'-8"	Standard	---
126	5'-8"	7'-10"	Pocket - Double	---
127	5'-8"	7'-10"	Sliding - Double	---
128	5'-8"	7'-10"	Standard	---
129	5'-8"	7'-10"	Standard	---
130	5'-4"	8'-0"	Sliding - Double	---
131	3'-0"	6'-8"	Standard	---
132	3'-0"	6'-8"	Standard	---
133	5'-8"	7'-10"	Pocket - Single	---
134	5'-8"	7'-10"	Pocket - Single	---
135	5'-8"	7'-10"	Sliding - Double	---
136	5'-8"	7'-10"	Sliding - Double	---
137	5'-8"	7'-10"	Standard	---
138	5'-8"	7'-10"	Sliding - Double	---
139	5'-8"	7'-10"	Standard	---
140	5'-8"	7'-10"	Standard	---
141	5'-8"	7'-10"	Standard	---
142	5'-8"	7'-10"	Sliding - Double	---
143	5'-8"	7'-10"	Standard	---
144	5'-8"	7'-10"	Sliding - Double	---
145	5'-8"	7'-10"	Standard	---
146	5'-8"	7'-10"	Standard	---
147	5'-8"	7'-10"	Standard	---
148	5'-8"	7'-10"	Pocket - Single	---
149	5'-8"	7'-10"	Sliding - Double	---
150	5'-8"	7'-10"	Sliding - Double	---

WINDOW SCHEDULE				
MARK	SIZE		Head Height	Sill Height
	Width	Height		
101	6'-0"	4'-4"	6'-8"	2'-4"
102	6'-0"	4'-4"	6'-8"	2'-4"
103	6'-0"	4'-4"	6'-8"	2'-4"
104	6'-0"	4'-4"	6'-8"	2'-4"
105	6'-0"	4'-4"	6'-8"	2'-4"
106	6'-0"	4'-4"	6'-8"	2'-4"
107	6'-0"	4'-4"	6'-8"	2'-4"
108	6'-0"	4'-4"	6'-8"	2'-4"
109	6'-0"	4'-4"	6'-8"	2'-4"
110	6'-0"	4'-4"	6'-8"	2'-4"
111	6'-0"	4'-4"	6'-8"	2'-4"
112	6'-0"	4'-4"	6'-8"	2'-4"
113	6'-0"	4'-4"	6'-8"	2'-4"
114	6'-0"	4'-4"	6'-8"	2'-4"
115	6'-0"	4'-4"	6'-8"	2'-4"
116	6'-0"	4'-4"	6'-8"	2'-4"
117	6'-0"	4'-4"	6'-8"	2'-4"
118	6'-0"	4'-4"	6'-8"	2'-4"
119	6'-0"	4'-4"	6'-8"	2'-4"
120	6'-0"	4'-4"	6'-8"	2'-4"
121	6'-0"	4'-4"	6'-8"	2'-4"
122	6'-0"	4'-4"	6'-8"	2'-4"
123	6'-0"	4'-4"	6'-8"	2'-4"
124	6'-0"	4'-4"	6'-8"	2'-4"
125	6'-0"	4'-4"	6'-8"	2'-4"
126	6'-0"	4'-4"	6'-8"	2'-4"
127	6'-0"	4'-4"	6'-8"	2'-4"
128	6'-0"	4'-4"	6'-8"	2'-4"
129	6'-0"	4'-4"	6'-8"	2'-4"
130	6'-0"	4'-4"	6'-8"	2'-4"
131	6'-0"	4'-4"	6'-8"	2'-4"
132	6'-0"	4'-4"	6'-8"	2'-4"
133	6'-0"	4'-4"	6'-8"	2'-4"
134	6'-0"	4'-4"	6'-8"	2'-4"
135	6'-0"	4'-4"	6'-8"	2'-4"
136	6'-0"	4'-4"	6'-8"	2'-4"
137	6'-0"	4'-4"	6'-8"	2'-4"
138	6'-0"	4'-4"	6'-8"	2'-4"
139	6'-0"	4'-4"	6'-8"	2'-4"
140	6'-0"	4'-4"	6'-8"	2'-4"
141	6'-0"	4'-4"	6'-8"	2'-4"
142	6'-0"	4'-4"	6'-8"	2'-4"
143	6'-0"	4'-4"	6'-8"	2'-4"
144	6'-0"	4'-4"	6'-8"	2'-4"
145	6'-0"	4'-4"	6'-8"	2'-4"
146	6'-0"	4'-4"	6'-8"	2'-4"
147	6'-0"	4'-4"	6'-8"	2'-4"
148	6'-0"	4'-4"	6'-8"	2'-4"
149	6'-0"	4'-4"	6'-8"	2'-4"
150	6'-0"	4'-4"	6'-8"	2'-4"

## SCHEDULE A & B

This forms part of application  
# DP18-0196 / DVP18-0197

Planner Initials

AC

**City of Kelowna**  
COMMUNITY PLANNING

**DISTINCT SOLUTIONS INC.**  
phone: 250-448-7801  
205-1426 Richter Street  
Kelowna, BC V1Y 2A3  
www.distinctsolutions.ca

COPYRIGHT  
ALL RIGHTS RESERVED  
All ideas, designs, drawings and specifications are the exclusive property of Distinct Solutions Inc. All instruments of service, drawings, reports, etc. are the property of Distinct Solutions Inc. and shall remain the property of Distinct Solutions Inc. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Distinct Solutions Inc. The user of this document is advised that it is not to be used for any purpose other than that for which it was prepared. Distinct Solutions Inc. is not responsible for any errors or omissions in this document. Distinct Solutions Inc. is not responsible for any consequences arising from the use of this document. Distinct Solutions Inc. is not responsible for any damages, including but not limited to, direct, indirect, or consequential damages, arising from the use of this document.

Revision No., Date and Description

06.25.18 - CLIENT REVIEW	07.03.18 - PROGRESS REVIEW
07.25.18 - PROGRESS REVIEW	07.30.18 - REVISIONS
09.11.18 - FOR DVP REVIEW	

Plot Date: 11-Sep-18      Drawing No.: A-101

PROJECT: 2627-2643 GORE STREET

DRAWING TITLE: ENTRY LEVEL

FOR DVP

Copyright © 2018  
All rights reserved.  
All ideas, designs, drawings and specifications are the exclusive property of Architectural Distinct Solutions Inc. All trademarks of services may not be used or reproduced in any manner without the written consent of Architectural Distinct Solutions Inc. All drawings, plans and specifications are for the use of the client only and are not to be used for any other purpose without the written consent of Architectural Distinct Solutions Inc. No part of this drawing shall be reproduced or transmitted in any form or by any means electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Architectural Distinct Solutions Inc. No part of this drawing shall be reproduced or transmitted in any form or by any means electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Architectural Distinct Solutions Inc.

DOOR SCHEDULE				
MARK	SIZE	Style	NOTES	LOCK
201	3'-0" x 6'-8"	Standard	---	---
202	3'-0" x 6'-8"	Standard	---	---
203	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
204	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
205	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
206	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
207	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
208	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
209	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
210	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
211	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
212	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
213	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
214	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
215	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
216	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
217	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
218	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
219	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
220	5'-8" x 7'-10"	Sliding - Double	Full Lite	---
221	3'-0" x 6'-8"	Standard	---	---
222	3'-0" x 6'-8"	Standard	---	---
223	2'-4" x 6'-8"	Standard	---	---
224	2'-4" x 6'-8"	Standard	---	---
225	2'-4" x 6'-8"	Standard	---	---
226	2'-4" x 6'-8"	Standard	---	---
227	2'-4" x 6'-8"	Standard	---	---
228	2'-4" x 6'-8"	Standard	---	---
229	2'-4" x 6'-8"	Standard	---	---
230	2'-4" x 6'-8"	Standard	---	---
231	2'-4" x 6'-8"	Standard	---	---
232	2'-4" x 6'-8"	Standard	---	---
233	2'-4" x 6'-8"	Standard	---	---
234	2'-4" x 6'-8"	Standard	---	---
235	2'-4" x 6'-8"	Standard	---	---
236	2'-4" x 6'-8"	Standard	---	---
237	2'-4" x 6'-8"	Standard	---	---
238	2'-4" x 6'-8"	Standard	---	---
239	2'-4" x 6'-8"	Standard	---	---
240	2'-4" x 6'-8"	Standard	---	---
241	2'-4" x 6'-8"	Standard	---	---
242	2'-4" x 6'-8"	Standard	---	---
243	2'-4" x 6'-8"	Standard	---	---
244	2'-4" x 6'-8"	Standard	---	---
245	2'-4" x 6'-8"	Standard	---	---
246	2'-4" x 6'-8"	Standard	---	---
247	2'-4" x 6'-8"	Standard	---	---
248	2'-4" x 6'-8"	Standard	---	---
249	2'-4" x 6'-8"	Standard	---	---
250	2'-4" x 6'-8"	Standard	---	---
251	2'-4" x 6'-8"	Standard	---	---
252	2'-4" x 6'-8"	Standard	---	---
253	2'-4" x 6'-8"	Standard	---	---
254	2'-4" x 6'-8"	Standard	---	---
255	2'-4" x 6'-8"	Standard	---	---
256	2'-4" x 6'-8"	Standard	---	---
257	2'-4" x 6'-8"	Standard	---	---
258	2'-4" x 6'-8"	Standard	---	---
259	2'-4" x 6'-8"	Standard	---	---

WINDOW SCHEDULE				
MARK	Width	Height	Head Height	Sill Height
201	3'-0"	6'-8"	8'-0"	2'-0"
202	3'-0"	6'-8"	8'-0"	2'-0"
203	5'-8"	7'-10"	8'-0"	2'-0"
204	5'-8"	7'-10"	8'-0"	2'-0"
205	5'-8"	7'-10"	8'-0"	2'-0"
206	5'-8"	7'-10"	8'-0"	2'-0"
207	5'-8"	7'-10"	8'-0"	2'-0"
208	5'-8"	7'-10"	8'-0"	2'-0"
209	5'-8"	7'-10"	8'-0"	2'-0"
210	5'-8"	7'-10"	8'-0"	2'-0"
211	5'-8"	7'-10"	8'-0"	2'-0"
212	5'-8"	7'-10"	8'-0"	2'-0"
213	5'-8"	7'-10"	8'-0"	2'-0"
214	5'-8"	7'-10"	8'-0"	2'-0"
215	5'-8"	7'-10"	8'-0"	2'-0"
216	5'-8"	7'-10"	8'-0"	2'-0"
217	5'-8"	7'-10"	8'-0"	2'-0"
218	5'-8"	7'-10"	8'-0"	2'-0"
219	5'-8"	7'-10"	8'-0"	2'-0"
220	5'-8"	7'-10"	8'-0"	2'-0"
221	3'-0"	6'-8"	8'-0"	2'-0"
222	3'-0"	6'-8"	8'-0"	2'-0"
223	2'-4"	6'-8"	8'-0"	2'-0"
224	2'-4"	6'-8"	8'-0"	2'-0"
225	2'-4"	6'-8"	8'-0"	2'-0"
226	2'-4"	6'-8"	8'-0"	2'-0"
227	2'-4"	6'-8"	8'-0"	2'-0"
228	2'-4"	6'-8"	8'-0"	2'-0"
229	2'-4"	6'-8"	8'-0"	2'-0"
230	2'-4"	6'-8"	8'-0"	2'-0"
231	2'-4"	6'-8"	8'-0"	2'-0"
232	2'-4"	6'-8"	8'-0"	2'-0"
233	2'-4"	6'-8"	8'-0"	2'-0"
234	2'-4"	6'-8"	8'-0"	2'-0"
235	2'-4"	6'-8"	8'-0"	2'-0"
236	2'-4"	6'-8"	8'-0"	2'-0"
237	2'-4"	6'-8"	8'-0"	2'-0"
238	2'-4"	6'-8"	8'-0"	2'-0"
239	2'-4"	6'-8"	8'-0"	2'-0"
240	2'-4"	6'-8"	8'-0"	2'-0"
241	2'-4"	6'-8"	8'-0"	2'-0"
242	2'-4"	6'-8"	8'-0"	2'-0"
243	2'-4"	6'-8"	8'-0"	2'-0"
244	2'-4"	6'-8"	8'-0"	2'-0"
245	2'-4"	6'-8"	8'-0"	2'-0"
246	2'-4"	6'-8"	8'-0"	2'-0"
247	2'-4"	6'-8"	8'-0"	2'-0"
248	2'-4"	6'-8"	8'-0"	2'-0"
249	2'-4"	6'-8"	8'-0"	2'-0"
250	2'-4"	6'-8"	8'-0"	2'-0"
251	2'-4"	6'-8"	8'-0"	2'-0"
252	2'-4"	6'-8"	8'-0"	2'-0"
253	2'-4"	6'-8"	8'-0"	2'-0"
254	2'-4"	6'-8"	8'-0"	2'-0"
255	2'-4"	6'-8"	8'-0"	2'-0"
256	2'-4"	6'-8"	8'-0"	2'-0"
257	2'-4"	6'-8"	8'-0"	2'-0"
258	2'-4"	6'-8"	8'-0"	2'-0"
259	2'-4"	6'-8"	8'-0"	2'-0"

**SCHEDULE A & B**

This forms part of application  
# DP18-0196 / DVP18-0197

Planner Initials **AC**

City of Kelowna  
COMMUNITY PLANNING

Revision No., Date and Description  
06.25.18 - CLIENT REVIEW  
07.03.18 - PROGRESS REVIEW  
07.25.18 - PROGRESS REVIEW  
07.30.18 - REVISIONS  
09.11.18 - FOR DVP REVIEW

Plot Date 11-Sep-18 Drawing No. A-102  
PROJECT 2627-2643 GORE STREET  
DRAWING TITLE SECOND LEVEL

FOR DVP



MARK	SIZE		Head Height	Sill Height	NOTES
	Width	HEIGHT			
301	6'-0"	7'-0"	8'-0"	1'-0"	EXIST
302	6'-0"	7'-0"	8'-0"	1'-0"	EXIST
303	3'-0"	5'-4"	8'-0"	2'-8"	EXIST
304	6'-0"	5'-4"	8'-0"	2'-8"	EXIST
305	6'-0"	5'-4"	8'-0"	2'-8"	EXIST
306	6'-0"	5'-4"	8'-0"	2'-8"	EXIST

AC



**architectural**  
**DISTINCT**  
**SOLUTIONS INC.**  
phone: 250-448-7800  
205-1626 Richter Street  
Kelowna, BC V1Y 2M6  
[www.distinctsolutions.ca](http://www.distinctsolutions.ca)

ALL TRADES, DESIGN, DRAWINGS AND SPECIFICATIONS  
 TO BE PROVIDED BY THE CONTRACTOR TO THE DISTRICT  
 SOUTHERN ILL. AS INSTRUMENTS OF  
 SERVICE, THEY MAY NOT BE COPIED OR REPRODUCED  
 IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF  
 ARCHITECTURAL DISTRICT SOUTHERN ILL.  
 ALL CONTRACTING TRADES SHALL CHECK AND VERIFY ALL  
 DIMENSIONS, CONDITIONS AND CONDITIONS OF THE  
 SITE PRIOR TO COMMENCEMENT OF ANY WORK. ANY  
 DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY  
 TO THE ARCHITECTURAL DISTRICT SOUTHERN ILL. DO NOT  
 SCALE ANY DIMENSIONS FROM THIS DRAWING.

ALL TRADES ARE TO EXECUTE THE WORK IN  
 ACCORDANCE WITH THE CURRENT MUNICIPAL  
 BUILDING CODES AND ORDINANCES AND THE  
 LOCAL AUTHORITIES having jurisdiction as well as  
 the BRITISH COLUMBIA BUILDING CODE - (most  
 recent edition) including all published revisions  
 and amendments. All trades shall assume full  
 responsibility for the locations and protection of  
 all water and above ground gas utilities, wires and  
 conduit connections, including but not limited  
 to sewer, sewer gas, hydro and telephone.

Revision No., Date and Description
06.25.18 - CLIENT REVIEW
07.03.18 - PROGRESS REVIEW
07.25.18 - PROGRESS REVIEW
07.30.18 - REVISIONS
09.11.18 - FOR DVP REVIEW

Plot Date 11-Sep-18	Drawing No. A-103
------------------------	----------------------

PROJECT	2627-2643 GORE STREET
DRAWING TITLE	THIRD LEVEL

DOOR SCHEDULE					
MARK	SIZE		Style	NOTES	LOCK
	WD	HGT			
401	3'-0"	8'-0"	Standard	---	---
402	3'-0"	8'-0"	Standard	---	---
403	3'-0"	8'-0"	Standard	---	---
404	3'-0"	8'-0"	Standard	---	---
405	3'-0"	8'-0"	Standard	---	---
406	3'-0"	8'-0"	Standard	---	---
407	3'-0"	8'-0"	Standard	---	---
408	3'-0"	8'-0"	Standard	---	---
409	3'-0"	8'-0"	Standard	---	---
410	3'-0"	8'-0"	Standard	---	---
411	3'-0"	8'-0"	Standard	---	---
412	3'-0"	8'-0"	Standard	---	---
413	3'-0"	8'-0"	Standard	---	---
414	3'-0"	8'-0"	Standard	---	---
415	3'-0"	8'-0"	Standard	---	---
416	3'-0"	8'-0"	Standard	---	---
417	3'-0"	8'-0"	Standard	---	---
418	3'-0"	8'-0"	Standard	---	---
419	3'-0"	8'-0"	Standard	---	---
420	3'-0"	8'-0"	Standard	---	---
421	3'-0"	8'-0"	Standard	---	---
422	3'-0"	8'-0"	Standard	---	---
423	3'-0"	8'-0"	Standard	---	---
424	3'-0"	8'-0"	Standard	---	---
425	3'-0"	8'-0"	Standard	---	---
426	3'-0"	8'-0"	Standard	---	---

WINDOW SCHEDULE					
MARK	SIZE		Head Height	Sill Height	NOTES
	Width	HEIGHT			
401	10'-0"	8'-0"	8'-0"	3'-0"	---
402	10'-0"	8'-0"	8'-0"	3'-0"	---
403	10'-0"	8'-0"	8'-0"	3'-0"	---
404	10'-0"	8'-0"	8'-0"	3'-0"	---
405	10'-0"	8'-0"	8'-0"	3'-0"	---
406	10'-0"	8'-0"	8'-0"	3'-0"	---
407	10'-0"	8'-0"	8'-0"	3'-0"	---
408	10'-0"	8'-0"	8'-0"	3'-0"	---
409	10'-0"	8'-0"	8'-0"	3'-0"	---
410	10'-0"	8'-0"	8'-0"	3'-0"	---
411	10'-0"	8'-0"	8'-0"	3'-0"	---
412	10'-0"	8'-0"	8'-0"	3'-0"	---
413	10'-0"	8'-0"	8'-0"	3'-0"	---
414	10'-0"	8'-0"	8'-0"	3'-0"	---
415	10'-0"	8'-0"	8'-0"	3'-0"	---
416	10'-0"	8'-0"	8'-0"	3'-0"	---
417	10'-0"	8'-0"	8'-0"	3'-0"	---
418	10'-0"	8'-0"	8'-0"	3'-0"	---
419	10'-0"	8'-0"	8'-0"	3'-0"	---
420	10'-0"	8'-0"	8'-0"	3'-0"	---
421	10'-0"	8'-0"	8'-0"	3'-0"	---
422	10'-0"	8'-0"	8'-0"	3'-0"	---
423	10'-0"	8'-0"	8'-0"	3'-0"	---
424	10'-0"	8'-0"	8'-0"	3'-0"	---
425	10'-0"	8'-0"	8'-0"	3'-0"	---
426	10'-0"	8'-0"	8'-0"	3'-0"	---

## SCHEDULE A & B

This forms part of application  
# DP18-0196 / DVP18-0197

Planner Initials

AC

City of Kelowna  
COMMUNITY PLANNING

Revision No.	Date	Description
06.25.18	CLIENT REVIEW	
07.03.18	PROGRESS REVIEW	
07.25.18	PROGRESS REVIEW	
07.30.18	REVISIONS	
09.11.18	FOR DVP REVIEW	

Plot Date 11-Sep-18	Drawing No. A-104
PROJECT 2627-2643 GORE STREET	
DRAWING TITLE FOURTH LEVEL	

FOR DVP





#### PROJECT MATERIALS :



## SCHEDULE A & B

This forms part of application  
# DP18-0196 / DVP18-0197

Planner  
Initials

AC

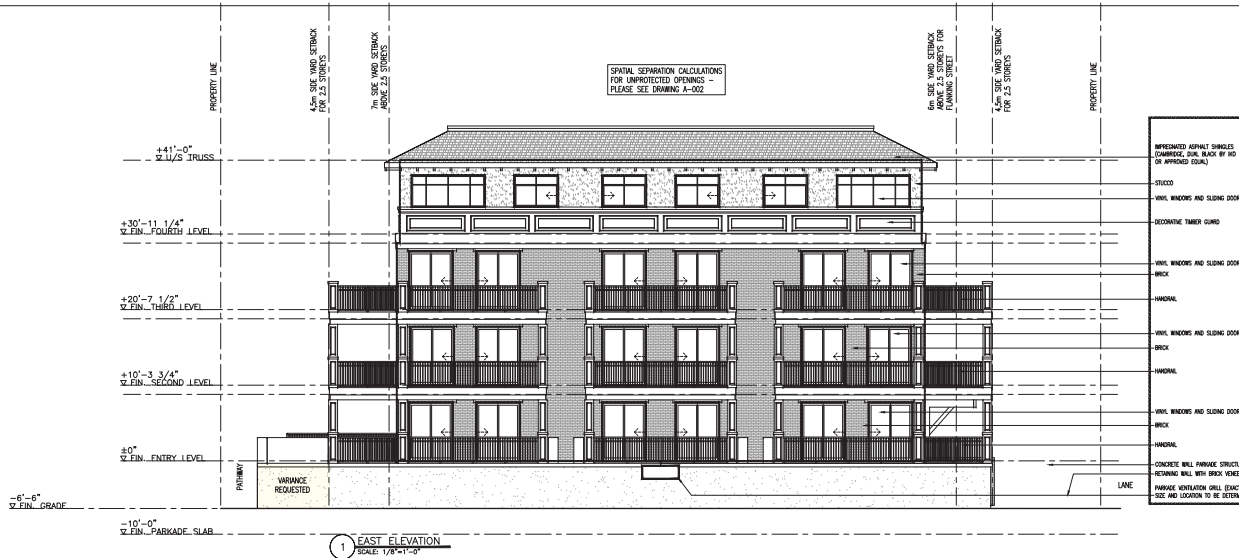


Revision No., Date  
and Description  
06.25.18 - CLIENT REVIEW  
07.03.18 - PROGRESS REVIEW  
07.26.18 - PROGRESS REVIEW  
07.31.18 - PROGRESS REVIEW  
09.12.18 - FOR DVP REVIEW

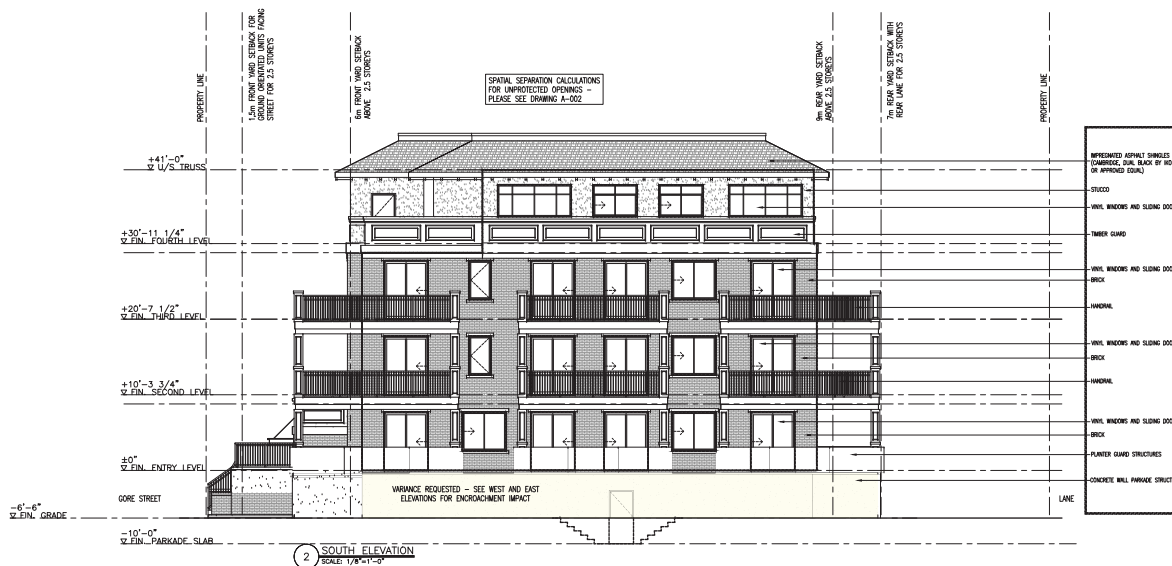
Plot Date  
12-Sep-18  
Drawing No.  
A-200

PROJECT  
2627-2643 GORE STREET  
DRAWING TITLE  
ELEVATIONS

FOR DVP



#### PROJECT MATERIALS :



## SCHEDULE A & B

This forms part of application  
# DP18-0196 / DVP18-0197

Planner  
Initials AC

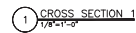


Revision No.	Date	Description
06.25.18	06.25.18	CLIENT REVIEW
07.03.18	07.03.18	PROGRESS REVIEW
07.26.18	07.26.18	PROGRESS REVIEW
07.31.18	07.31.18	PROGRESS REVIEW
08.12.18	08.12.18	FOR DVP REVIEW
10.10.18	10.10.18	DVP ADJL INFO
11.07.18	11.07.18	FOR COORDINATION
12.05.18	12.05.18	FAB PRESENT ONLY
01.28.19	01.28.19	FOR COORDINATION
02.28.19	02.28.19	FOR REVIEW
02.28.19	02.28.19	ADDENDUM NO.1
03.06.19	03.06.19	FOR BP

Plot Date	Drawing No.
18-Mar-19	A-201

PROJECT
2827 GORE STREET APARTMENTS
DRAWING TITLE
ELEVATIONS

FOR BP



ation  
197

City of  
**Kelowna**  
COMMUNITY PLANNING

---



VIEW 1



VIEW 2

## SCHEDULE A & B

This forms part of application

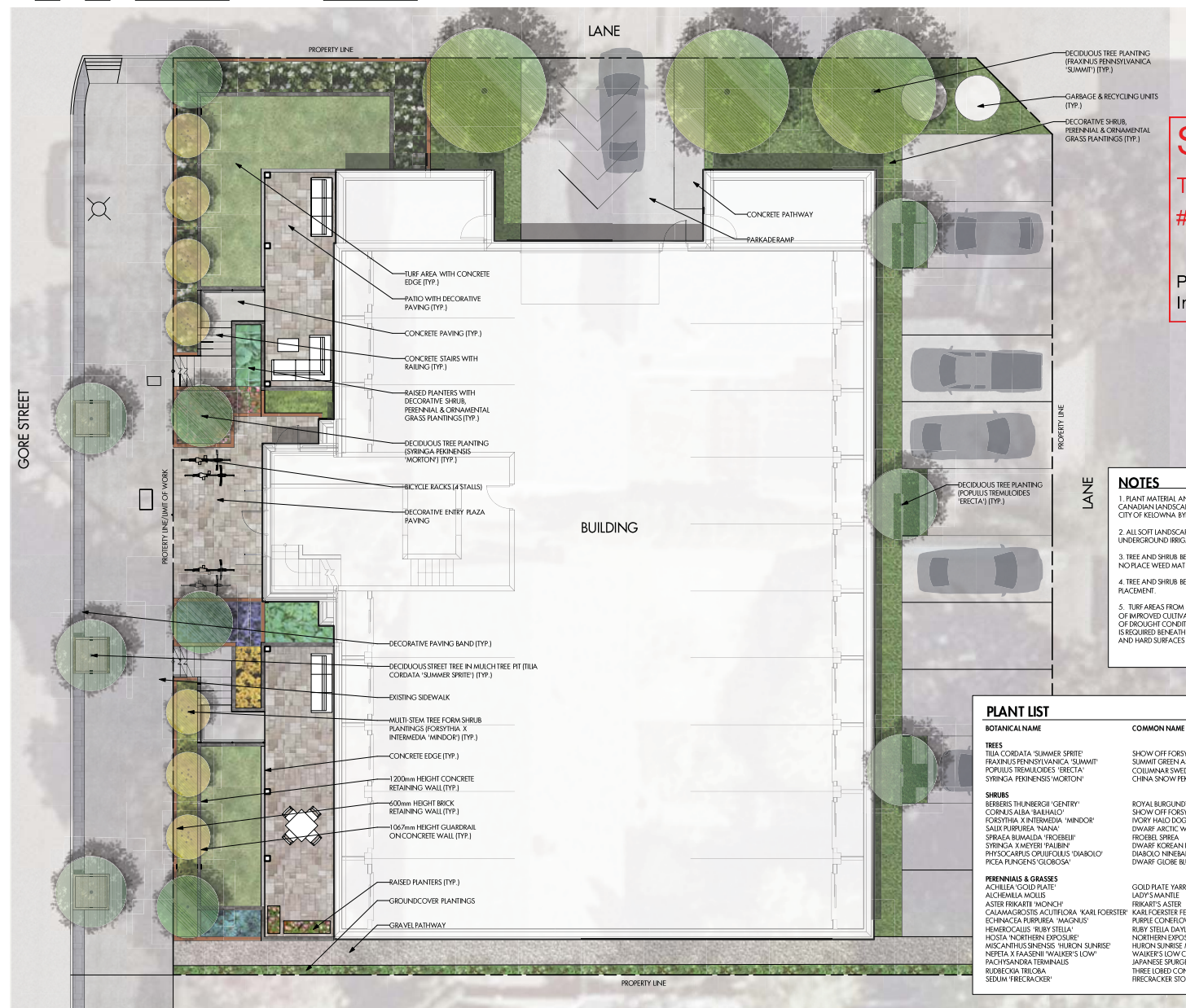
# DP18-0196 / DVP18-0197

Planner  
Initials

AC



FOR DVP



## SCHEDULE

C

This forms part of application  
# DP18-0196 / DVP18-0197

Planner  
Initials AC



City of  
**Kelowna**  
COMMUNITY PLANNING

### NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD. ALL OFF-SITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 7900 STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOG SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF APPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

### PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
<b>TREES</b>			
TILIA CORDATA 'SUMMER SPRITE'	SHOW OFF FORSYTHIA	3	5m CAL
FRAXINUS PENNSYLVANICA 'SUMMIT'	SUMMIT GREEN ASH	3	5m CAL
POPULUS TREMULOIDES 'ERECTA'	COLUMBIAN SWEDISH ASPEN	3	5m CAL
SYRINGA PEKINENSIS 'MORTON'	CHINA SNOW PINK LILAC	4	5m CAL
<b>SHRUBS</b>			
BERBERIS THUNBERGII 'GENTRY'	ROYAL BURGUNDY BARBERRY	15	#01 CONT. / 1.0M O.C. SPACING
CORNUS ALBA 'SAFARI'	SHOW OFF FORTYTH	7	#15 CONT. / MULTISTEM
FORSYTHIA X INTERMEDIA 'MINDOR'	IVORY HALO DOGWOOD	7	#02 CONT. / 1.5M O.C. SPACING
SAUX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	7	#02 CONT. / 1.5M O.C. SPACING
SPIRAEA BUNAUADA 'FROEBEL'	PROBEL SPIREA	10	#02 CONT. / 1.25M O.C. SPACING
SYRINGA X MEYERI 'PAUBIN'	DWARF KOREAN LILAC	7	#02 CONT. / 1.5M O.C. SPACING
PHYSCARPUS OPILOIDES 'DIABOLO'	DIABOLO NINEBARK	7	#02 CONT. / 1.5M O.C. SPACING
PICEA FENSCHER 'GLOBOSA'	DWARF GLOBE BLUE SPRUCE	4	#02 CONT. / 2.0M O.C. SPACING
<b>PERENNIALS &amp; GRASSES</b>			
ACHILLEA 'GOLD PLATE'	GOLD PLATE YARROW	17	#01 CONT. / 0.6M O.C. SPACING
ALCHEMILLA MOELLIS	LADY'S MANTLE	17	#01 CONT. / 0.6M O.C. SPACING
ASTER FRIKARTII 'WONCH'	WONCH'S ASTER	11	#01 CONT. / 0.75M O.C. SPACING
CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	11	#01 CONT. / 0.75M O.C. SPACING
ECHINACEA PURPUREA 'MAGNUS'	PURPLE CONEFLOWER	11	#01 CONT. / 0.75M O.C. SPACING
HEMIOCALYX 'RUBY STELLA'	RUBY STELLA DAYLILY	17	#01 CONT. / 0.6M O.C. SPACING
HOSTA 'NORTHERN EXPOSURE'	NORTHERN EXPOSURE HOSTA	6	#01 CONT. / 1.0M O.C. SPACING
MISCANTHUS SHENSIIS 'HURON SUNRISE'	HURON SUNRISE MAIDEN GRASS	4	#02 CONT. / 1.2M O.C. SPACING
NEPETA X FAASCHII 'WALKER'S LOW'	WALKER'S LOW CATMINT	11	#01 CONT. / 0.75M O.C. SPACING
PACHYSANDRA TERMINALIS	JAPANESE SURGE	11	#01 CONT. / 0.75M O.C. SPACING
RUBROCKA TRILOBATA	THREE LOBED CONEFLOWER	17	#01 CONT. / 0.6M O.C. SPACING
SEDUM 'FIRE CRACKER'	FIRE CRACKER SEDUM	17	#01 CONT. / 0.6M O.C. SPACING



OUTLAND DESIGN  
LANDSCAPE ARCHITECTURE

303-590 KLO Road  
Kelowna, BC V1Y 7S2  
T (250) 868-9270  
www.outlanddesign.ca



PROJECT TITLE  
**2627-2643 GORE STREET**

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL  
LANDSCAPE PLAN**

REVISION / REVIEW	DATE	BY
1	10/10/20	Review
2		
3		
4		
5		

PROJECT NO.	18009
DESIGN BY	ND
DRAWN BY	ND/ANC
CHECKED BY	JB
DATE	09/30/2019
SCALE	1/2"

SEAL



DRAWING NUMBER

**L1/2**

ISSUED FOR REVIEW ONLY  
This drawing is the property of Outland Design  
Landscape Architecture Limited and shall not be reproduced, copied, or  
modified without permission.

# SCHEDULE

## C

This forms part of application  
# DP18-0196 / DVP18-0197

Planner Initials **AC**



City of  
**Kelowna**  
COMMUNITY PLANNING




OUTLAND DESIGN  
LANDSCAPE ARCHITECTURE


303-590 KLO Road  
Kelowna, BC V1Y 7S2  
T (250) 868-9270  
www.outlanddesign.ca


### WATER CONSERVATION CALCULATIONS


LANDSCAPE MAXIMUM WATER BUDGET (WB) = 229 cu.m. / year  
ESTIMATED LANDSCAPE WATER USE (WU) = 169 cu.m. / year  
WATER BALANCE = 60 cu.m. / year  
\*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS


### IRRIGATION LEGEND


- 

ZONE #1: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS  
TOTAL AREA: 53 sq.m.  
MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES  
ESTIMATED ANNUAL WATER USE: 29 cu.m.
- 

ZONE #2: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS  
TOTAL AREA: 68 sq.m.  
MICROCLIMATE: NORTH EAST EXPOSURE, PARTIALLY SHADED BY TREES  
ESTIMATED ANNUAL WATER USE: 38 cu.m.
- 

ZONE #3: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS  
TOTAL AREA: 41 sq.m.  
MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES  
ESTIMATED ANNUAL WATER USE: 23 cu.m.
- 

ZONE #4: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS  
TOTAL AREA: 14 sq.m.  
MICROCLIMATE: EAST AND WEST EXPOSURES, FULL SUN  
ESTIMATED ANNUAL WATER USE: 8 cu.m.
- 

ZONE #5: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS  
TOTAL AREA: 2 sq.m.  
MICROCLIMATE: NORTH EAST EXPOSURE, PARTIALLY SHADED BY TREES  
ESTIMATED ANNUAL WATER USE: 1 cu.m.
- 

ZONE #6: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREA  
TOTAL AREA: 48 sq.m.  
MICROCLIMATE: WEST EXPOSURE, FULL SUN  
ESTIMATED ANNUAL WATER USE: 69 cu.m.

### IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THEREQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7 / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.



PROJECT TITLE  
**2627-2643 GORE STREET**

Kelowna, BC  
DRAWING TITLE  
**WATER CONSERVATION / IRRIGATION PLAN**

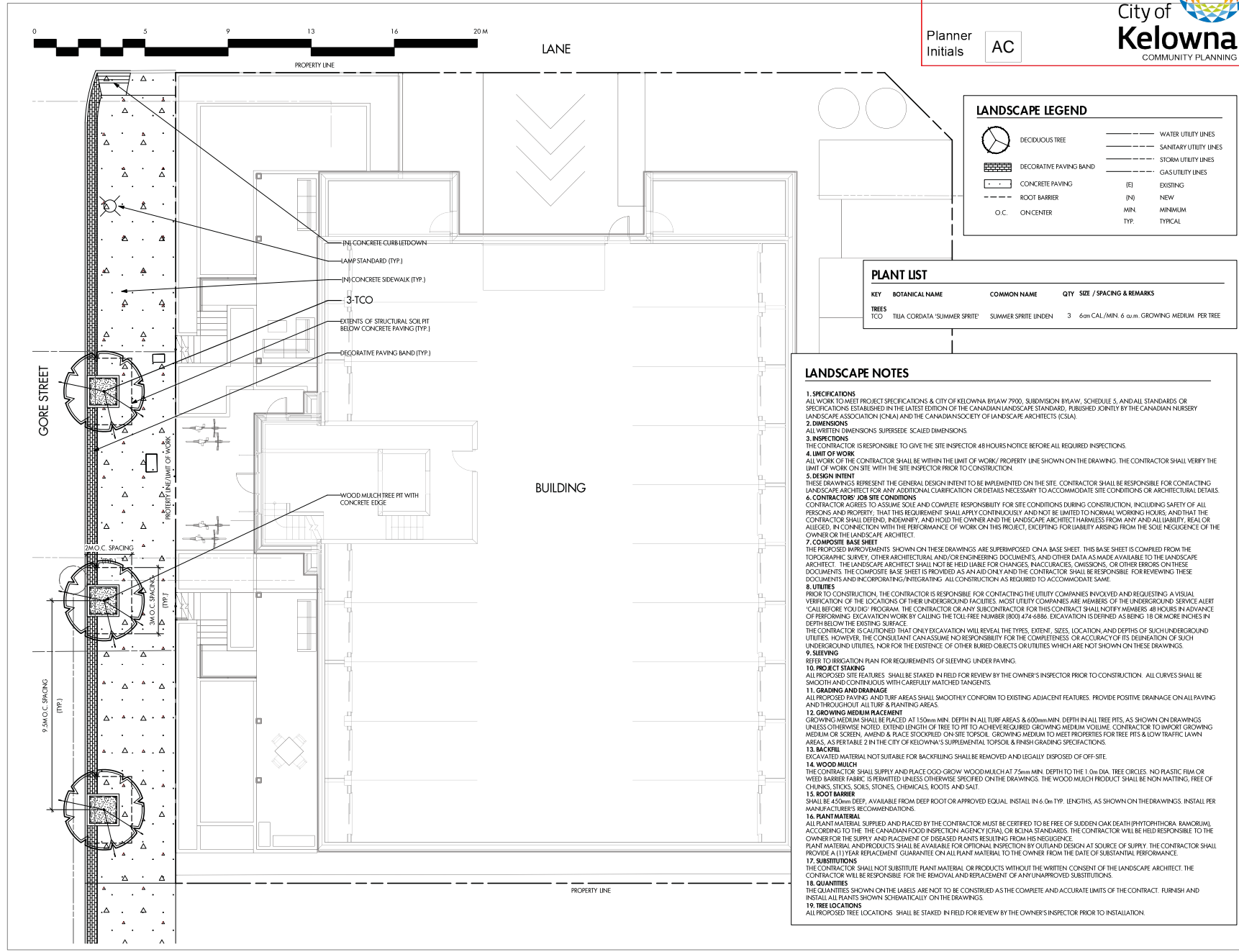
SCHEDULE / REVISION	
1	19.02.01 Review
2	
3	
4	
5	
PROJECT NO. 18059	
DESIGN BY	NG
DRAWN BY	NG
CHECKED BY	RL
DATE	Feb. 1, 2019
SCALE	1/2"

SCALE



DRAWING NUMBER  
**L2/2**

ISSUED FOR REVIEW ONLY  
This drawing is the property of Outland Design Landscape Architecture Limited and shall not be reproduced, copied, or modified without permission.



N

PROJECT TITLE

2627-2643 GORE STREET OFFSITES

Kelowna, BC

DRAWING TITLE

LANDSCAPE PLAN

ISSUED FOR / REVISION

1	19.02.01	Revise
2		
3		
4		
5		

PROJECT NO.

18059

DESIGN BY

FB

DRAWN BY

WVC

CHECKED BY

FB

DATE

18.1.2019

SCALE

1/2"

SCALE BAR

24'x30'

SEAL

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

FIONA BARTON

334

DRAWING NUMBER

L1/2

ISSUED FOR REVIEW ONLY

This drawing is the property of Outland Design Landscape Architecture Limited and shall not be reproduced, used, or modified without permission.

# SCHEDULE

## C

This forms part of application

# DP18-0196 / DVP18-0197



City of  
**Kelowna**  
COMMUNITY PLANNING

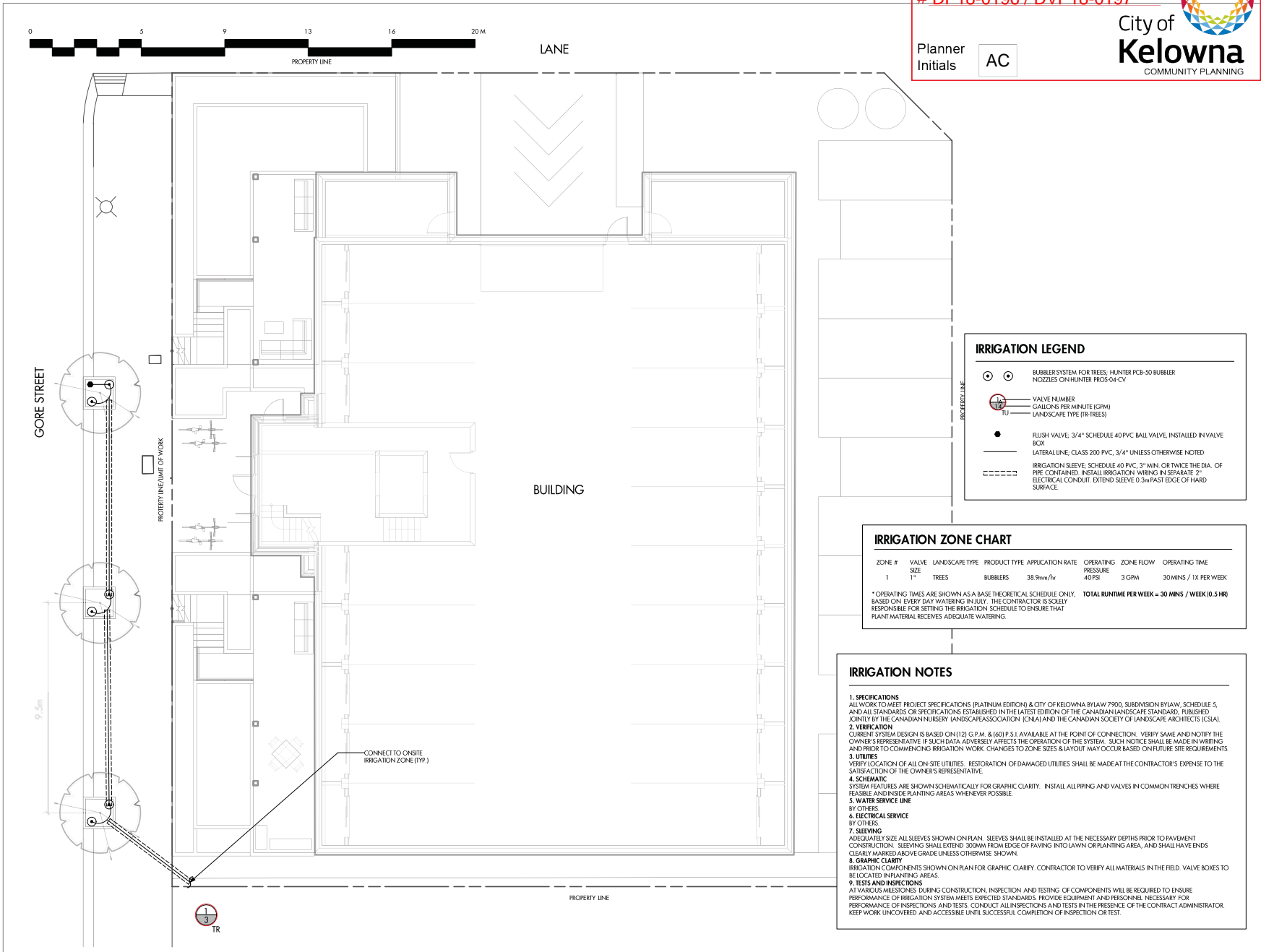
Planner  
Initials


AC



OUTLAND DESIGN  
LANDSCAPE ARCHITECTURE

303 - 590 KLO Road  
Kelowna, BC V1Y 7S2  
T (250) 868-9270  
www.outlanddesign.ca





PROJECT TITLE

**2627-2643 GORE STREET OFFSHOTS**

Kelowna, BC

DRAWING TITLE

**IRRIGATION PLAN**

ISSUED FOR / REVISION

NO.	DATE	REVISION
1	19.02.01	Issue
2		
3		
4		

PROJECT NO. 18059

DESIGN BY: SB

DRAWN BY: VVC


CHECKED BY: TB

DATE: FEB. 1, 2019

SCALE: 1/2"

PRICE: \$25,000\*

SEAL



REGISTERED PROFESSIONAL ENGINEER  
FIONA BARTON  
334  
LANDSCAPE ARCHITECT

DRAWING NUMBER

**L2/2**

ISSUED FOR REVIEW ONLY

This drawing is the property of Outland Design Landscape Architecture Limited and shall not be reproduced, copied, or modified without permission.



OUTLAND DESIGN  
LANDSCAPE ARCHITECTURE

## SCHEDULE

C

This forms part of application

# DP18-0196 / DVP18-0197



City of  
**Kelowna**  
COMMUNITY PLANNING

Planner  
Initials

AC

Friday, February 1, 2019

2627-2643 Gore Street  
Worman Commercial  
401-590 KLO Road  
Kelowna, B.C., V1Y 7S2  
Attn: Shane Worman

Re: Proposed Gore Street Development – Preliminary Cost Estimate for Bonding

Dear Shane:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the **2627-2643 Gore Street** conceptual landscape plan dated 19.02.01;

- 254 square metres (2,734 square feet) of improvements = \$29,192.50

This preliminary cost estimate is inclusive of trees, shrubs, turf, mulch, topsoil, irrigation, bicycle racks, and entry paving.

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,

Kim McNamee, MBCSLA, CSLA

as per

Outland Design Landscape Architecture



**OUTLAND DESIGN**  
LANDSCAPE ARCHITECTURE

Friday, February 1, 2019

**2627-2643 Gore Street**  
Worman Commercial  
401-590 KLO Road  
Kelowna, B.C., V1Y 7S2  
Attn: Shane Worman

**Re: Proposed Gore Street Off-Site Improvements – Preliminary Cost Estimate for Bonding**

Dear Shane:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the 2627-2643 Gore Street Off-Sites conceptual landscape plan dated 19.02.01;

- Total of improvements = \$4,700.00

This preliminary cost estimate is inclusive of trees, mulch, topsoil, & irrigation.

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,

Kim McNamee, MBCSLA, CSLA

*as per*

Outland Design Landscape Architecture

303-590 KLO Road, Kelowna, BC, V1Y 7S2 P 250.868.9270  
[outlanddesign.ca](http://outlanddesign.ca)

---

**CITY OF KELOWNA**

**MEMORANDUM**

---

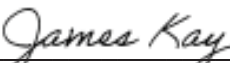
**Date:** September 26, 2018  
**File No.:** DP18-0196  
**To:** Community Planning (AC)  
**From:** Development Engineer Manager (JK)  
**Subject:** 2627-2643 Gore Street

---

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. **General.**

- a) All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z18-0106.

  
\_\_\_\_\_  
James Kay, P.Eng.  
Development Engineering Manager

JA

---

**CITY OF KELOWNA**

**MEMORANDUM**

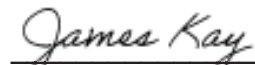
---

**Date:** September 26, 2018  
**File No.:** DVP18-0197  
**To:** Community Planning (AC)  
**From:** Development Engineer Manager (JK)  
**Subject:** 2627-2643 Gore Street

---

The Development Engineering comments and requirements regarding this DVP application are as follows:

This development variance permit application to reduce the side yard setback for the parkade from 4.5m to 1.5m, does not compromise any municipal services.



---

James Kay, P. Eng.  
Development Engineering Manager

JA

# REPORT TO COUNCIL



**Date:** April 9, 2019

**RIM No.** 0940-50

**To:** City Manager

**From:** Community Planning Department (LK)

**Application:** DVP18-0202      **Owner:** Northok Properties Inc., Inc.  
No. BC1172950

**Address:** 230 Carion Road      **Applicant:** Valens Agritech Ltd.

**Subject:** Development Variance Permit

Existing OCP Designation: IND - Industrial

Existing Zone: I3 – Heavy Industrial

---

## 1.0 Recommendation

THAT Council NOT authorize the issuance of Development Variance Permit No. DVP18-0202 for Lot 5 Section 2 Township 20 ODYD Plan KAP57943, located at 230 Carion Road, Kelowna, BC.

## 2.0 Purpose

To consider a Staff recommendation to NOT issue a Development Variance Permit to vary the fence height for an Industrial property from 2.4 m maximum to 3.66 m proposed and to allow razor wire for a facility not associated with penitentiaries, jails or places of incarceration.

## 3.0 Community Planning

Community Planning Staff do not support the requested variances to allow a Cannabis Production Facility to increase the maximum fence height from 2.4 m maximum to 3.66 m proposed and to allow razor wire for a site that is not associated with penitentiaries, jails or places of incarceration.

## 4.0 Proposal

### 4.1 Background

The existing industrial building was constructed in 2004 with an addition and renovation occurring in 2017. The renovation included interior building modifications for Health Canada's Access to Cannabis for Medical Purposes Regulations (ACMPR).

#### 4.2 Project Description

With the legalization of cannabis in 2018, Kelowna is now seeing a number of applications for Cannabis Production Facilities. Health Canada has regulations regarding product security and site/perimeter security. This is the first application to request these types of variances as a means to achieve the perimeter security requirements. The applicant's proposal is intended to meet Health Canada's minimum security site plan requirement: the perimeter of the site must be surrounded by a physical barrier that prevents unauthorized access.

The applicant is seeking variances to increase the maximum fence height and to allow the use of razor wire as a fence topper for a cannabis production facility. Fencing and Retaining Wall regulations are contained within Section 7 of the Zoning Bylaw No. 8000, which has a standard allowable fence height of 2.4 m (7'-10") for sites zoned as Commercial, Public, Institutional or Industrial.

The first variance requested is to increase the allowable fence height from 2.4 m (7'-10") maximum to 3.66 m (12'-0") proposed. Fence height within residential zones is limited to 2.0 m in height. The increase in height for Commercial, Public, Institutional or Industrial sites is to allow for both screening to surrounding properties and additional security for the subject parcel. Increasing the height by an additional 1.26 m would be well beyond what Staff and Council have been supportive of in the past.

The second variance is to allow the use of razor wire as a fence topper. The Zoning Bylaw has restrictions for the use of barbed wire fencing for either livestock enclosures or where the use is for detention and correctional services. The Zoning Bylaw is very specific in the allowance of razor wire fences only for the purposes of penitentiaries, jails or places of incarceration. Allowing its use outside of these purposes, while a natural visual deterrent, can be viewed as inhumane, as it is intended to rip and cling to both clothing and flesh.

Staff is not supportive of the requested variances and believe effective site/perimeter security can be achieved without the use of razor wire fencing, which to date, is limited only to penitentiaries, jails or places of incarceration.

#### 4.3 Site Context

The double-fronting property has street frontages facing both Beaver Lake Rd and Carion Rd. The property is within Kelowna's north end industrial area. The site is surrounded by General Industrial uses, WFN lands to the west and Lake Country agricultural land to the north.

**Subject Property Map: 230 Carion Road**



#### 4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	SECTION 7 – LANDSCAPE AND SCREENING REQUIREMENTS	PROPOSAL
Fences and Retaining Walls		
Maximum fence height for Industrial	2.4 m	3.66 m ❶
Razor Wire Fence	Allowed only where associated with penitentiaries, jails or places of incarceration.	To allow razor wire for a cannabis production facility ❷
❶ Indicates a requested variance to increase the height of a fence from 2.44 m maximum to 366 m proposed. ❷ Indicates a requested variance to allow razor wire for a site not associated with penitentiaries, jails or places of incarceration to allow razor wire at a cannabis production facility.		

#### 5.0 Application Chronology

Date of Application Received: November 19, 2018

Date Public Consultation Completed: February 14, 2019

#### 6.0 Alternate Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0202 for Lot 5 Section 2 Township 20 ODYD Plan KAP57943, located at 230 Carion Road, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

**Section 7.5.4: Landscaping and Screening – Fencing and Retaining Walls**

To vary the maximum fence height in a Commercial, Public and Institutional or Industrial Zone from 2.4 m permitted to 3.66 m proposed;

**Section 7.5.7: Landscaping and Screening - Fencing and Retaining Walls**

To vary the requirement of no razor wire fences allowed in any zone except where associated with penitentiaries, jails or places of incarceration.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

**Report prepared by:** Lydia Korolchuk, Planner

**Reviewed by:** Dean Strachan, Suburban and Rural Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

**Attachments:**

Schedule A: Project Rationale

Draft Development Variance Permit: DVP18-0202



<b>SCHEDULE</b>		<b>A</b>
This forms part of application		
# DVP18-0202		
Planner Initials	LK	 City of <b>Kelowna</b> COMMUNITY PLANNING

RE: Development Variance application DVP18-0202

To Whom It May Concern

The security systems installed at the Valens Agritech facility located at 230 Carion Road have been designed to be compliant with Health Canada's *Physical Security Directive* with guidance from the most recognized North American standard *Facilities Physical Security Measures Guideline - ASIS GDL FPSM-2009*. The guidance document is published by ASIS International which is the world's largest security industry association.

There are 8 categories of physical security measures that the guidance document notes with the first two related to the perimeter of a property. These are referred to as:

- Crime Prevention Through Environmental Design (CPTED)
- Physical Barriers and Site Hardening

CPTED is based on the premise that there is a direct relationship between the physical (built) environment, human behaviour, the appropriate use of space, and the prevention of crime. Desired behavioural effects can be accomplished by reducing the propensity of the physical environment to support illegal and adverse behaviours. The first step in accomplishing this is deterrence which is especially helpful in discouraging illegal entry by casual adversaries.

Given the industry Valens is a member of and the value of the products generated inside the building on the illicit markets, a robust security system, including a 12' fence equipped with both barbed and razor wire, reduces the possible threats to the facility which ultimately reduces required police intervention despite the potential risks associated with the industry.

Sincerely,

Anderson Smith

Head of Licensing and Regulatory Affairs

As shown in the Google Earth view below, Figure 3, the proposed facility (#1) is an existing industrial type building, with a partial upper (mezzanine) level. The building has been purpose-built to the standards of the ACMPR and Security Directive with a fully fenced, secure site perimeter (#2).

The proposed site will feature one electronically controlled motorized vehicle entrance gate (#3) in order to restrict unauthorized access to the shipping/receiving and main entrance areas. A second manually-operated vehicle gate is also present (#4). These areas, as well as other areas around the site perimeter, will be monitored by video surveillance as described in the next section of this report.

**Figure 3**

The photos overleaf show portions of the site fence and vehicle gates. The fence is a 6-foot chain link fence with a 1-foot topper comprised of coiled razor wire set within outriggers.

The fenced site perimeter is demarcated with “PRIVATE PROPERTY – NO TRESPASSING” signs, monitored by a number of video surveillance cameras and further demarcated with “PROTECTED BY VIDEO SURVEILLANCE” signs around the site boundary.

As can be seen, the proposed site is designed in such a manner as to prevent unauthorized access.



### 3.3 Section 54 ACMPR Requirements

Sections 54 (1) and 54 (2) of the ACMPR under 'Perimeter of Site' are entitled 'Visual Monitoring' and 'Visual Recording Devices' respectively, and state that:

***(1) "The perimeter of the licensed producer's site must be visually monitored at all times by visual recording devices to detect any attempted or actual unauthorized access."***

***(2) "The devices must, in the conditions under which they are used, be capable of recording in a visible manner any attempted or actual unauthorized access."***

# Development Variance Permit

## DVP # 18-0202



This permit relates to land in the City of Kelowna municipally known as

**230 Carion Road**

and legally known as

**Lot 5 Section 2 Township 20 ODYD Plan KAP57943, located at 230 Carion Road, Kelowna, BC.**

and permits the land to be used for the following development:

### **Industrial**

USE as per Zoning Bylaw

### **Cannabis Production Facility**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Decision April 9, 2019

Decision By: COUNCIL

Development Permit Area: N/A

**This permit will not be valid if development has not commenced by April 9, 2021.**

Existing Zone: I3 Future Land Use Designation: Industrial

### **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

### **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Northok Properties Inc., Inc. No. BC1172950

Applicant: Valens Agritech Ltd.

\_\_\_\_\_  
Ryan Smith  
Community Planning Department Manager  
Community Planning & Strategic Investments

\_\_\_\_\_  
Date

### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

### 3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

# REPORT TO COUNCIL



**Date:** April 9, 2019

**RIM No.** 0940-00

**To:** City Manager

**From:** Community Planning Department (AJ)

**Application:** DVP19-0053      **Owner:** Chad Gould

**Address:** 869 Cadder Avenue      **Applicant:** Chad Gould

**Subject:** Development Variance Permit Application

Existing OCP Designation: SIH – Sensitive Infill Housing

Existing Zone: RU7 – Infill Housing

---

## 1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP19-0053 for Lot 30 Section 19 Township 26, ODYD, Plan 700, located at 869 Cadder Avenue, Kelowna, BC;

AND THAT variances to the following section of the Zoning Bylaw No. 8000 be granted:

### Section 8.1.9(c) Parking and Loading: Location

To allow two required parking stalls to be located within 1.5m of the west side property line and within 1.5m of the rear property line.

### Section 8.1.9(e) Parking and Loading: Location

To remove the requirement to screen a parking stall parallel to and flanking a lane by a physical barrier.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## 2.0 Purpose

To consider varying the location of two required parking stalls to be located within 1.5m of the west side property line and within 1.5m of the rear property line and to consider varying the requirement to screen a parking stall parallel to and flanking a lane by a physical barrier.

## 3.0 Community Planning

Community Planning staff support the Development Variance Permit on the subject property as it is consistent with Official Community Plan (OCP) policies regarding urban growth and infill. The two

variances are to allow all required parking to be accessed from the rear lane of the property and should have a nominal impact.

#### 4.0 Proposal

##### 4.1 Background

A carriage house was approved and built on the subject property in 2016, when the property was zoned RU6 – Two Dwelling Housing. Following the Infill Challenge, the subject property was rezoned to RU7 to allow for further infill development. The applicant is proposing to further densify the subject property; however, parking challenges have arisen due to the location of the existing carriage house.

##### 4.2 Project Description

This application proposes building a duplex fronting Cadder Avenue, which would require demolishing the existing single family dwelling on the north portion of the lot. To accommodate the duplex, driveway access off Cadder Avenue is proposed to be removed, and all parking is to be accessed from the rear laneway. Other than the variances being considered in this report, the proposal is compliant with Zoning Bylaw No. 8000 and meets other guidelines for sensitive infill development.

##### 4.3 Variances

Three medium sized parking stalls are required: one for the existing carriage house and two for the proposed duplex. Parking for the carriage house is accommodated by an attached garage. One required parking stall for the duplex is proposed to be located perpendicular to the lane west of the carriage house, and the other is proposed to be parallel to the lane south of the carriage house. The west duplex parking stall would be within the west side yard setback, and the south duplex parking stall would be within the rear yard setback, requiring a variance.

The applicant is also requesting a variance to remove the requirement to screen the proposed south parallel parking stall from the lane. Due to the configuration of parking stalls, Community Planning staff determined that the requirement to screen the parallel parking stall from the laneway would hinder vehicle movement and may present a safety concern. The proposed west parking stall would be screened by existing fencing on west side of the property.

##### 4.4 Site Context

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing	Single Family Dwelling
East	RU7 – Infill Housing	Single Family Dwelling
South	RU7 – Infill Housing	Two Dwelling Housing
West	RU7 – Infill Housing	Two Dwelling Housing

**Subject Property Map: 869 Cadder Avenue****4.5 Zoning Analysis Table**

Zoning Analysis Table		
CRITERIA	RU7 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Floor Area Ratio	0.8	0.8
Height	8.0m	8.0m
Front Yard	4.0m	4.0m
Side Yard (west)	1.2m	1.2m
Side Yard (east)	1.2m	1.2m
Rear Yard	0.9m	3.0m
Other Regulations		
Minimum Parking Requirements	3 medium stalls	3 medium stalls

**5.0 Current Development Policies****5.1 Kelowna Official Community Plan (OCP)****Development Process**

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Chapter 5).

within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill.**<sup>2</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character or the neighbourhood with respect to building design, height, and siting.

## **6.0 Technical Comments**

### **6.1 Development Engineering Department**

- Application does not compromise any municipal services.

## **7.0 Application Chronology**

Date of Application Received: February 19, 2019

Date Public Consultation Completed: March 6, 2019

**Report prepared by:** Arlene Janousek, Planner

**Reviewed by:** Terry Barton, Urban Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

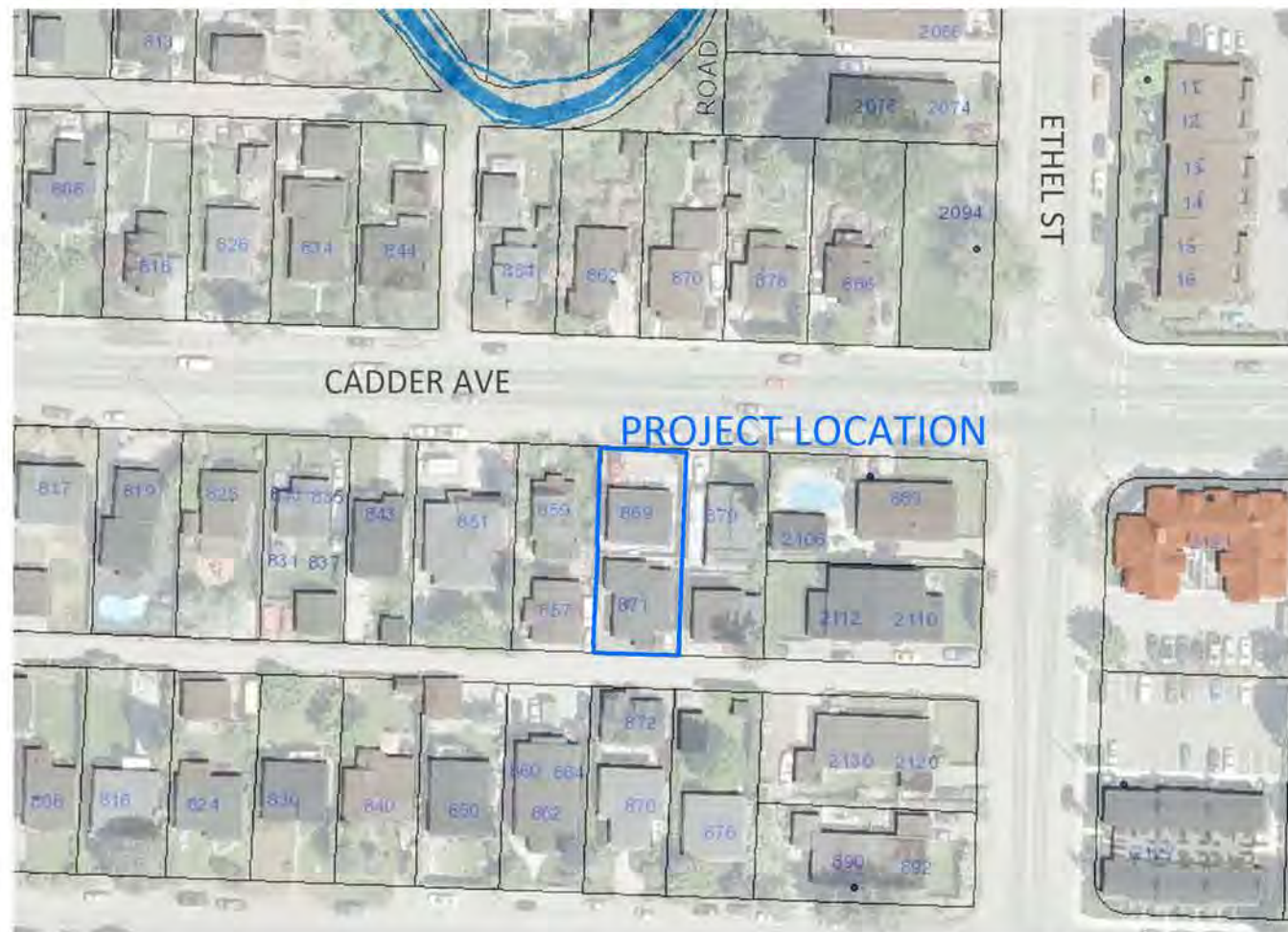
### **Attachments:**

Draft Development Variance Permit DVP19-0053

Schedule A: Site Plan

---

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.22.6 (Chapter 5).



869 CADDER AVE  
KELOWNA, BC

RU7

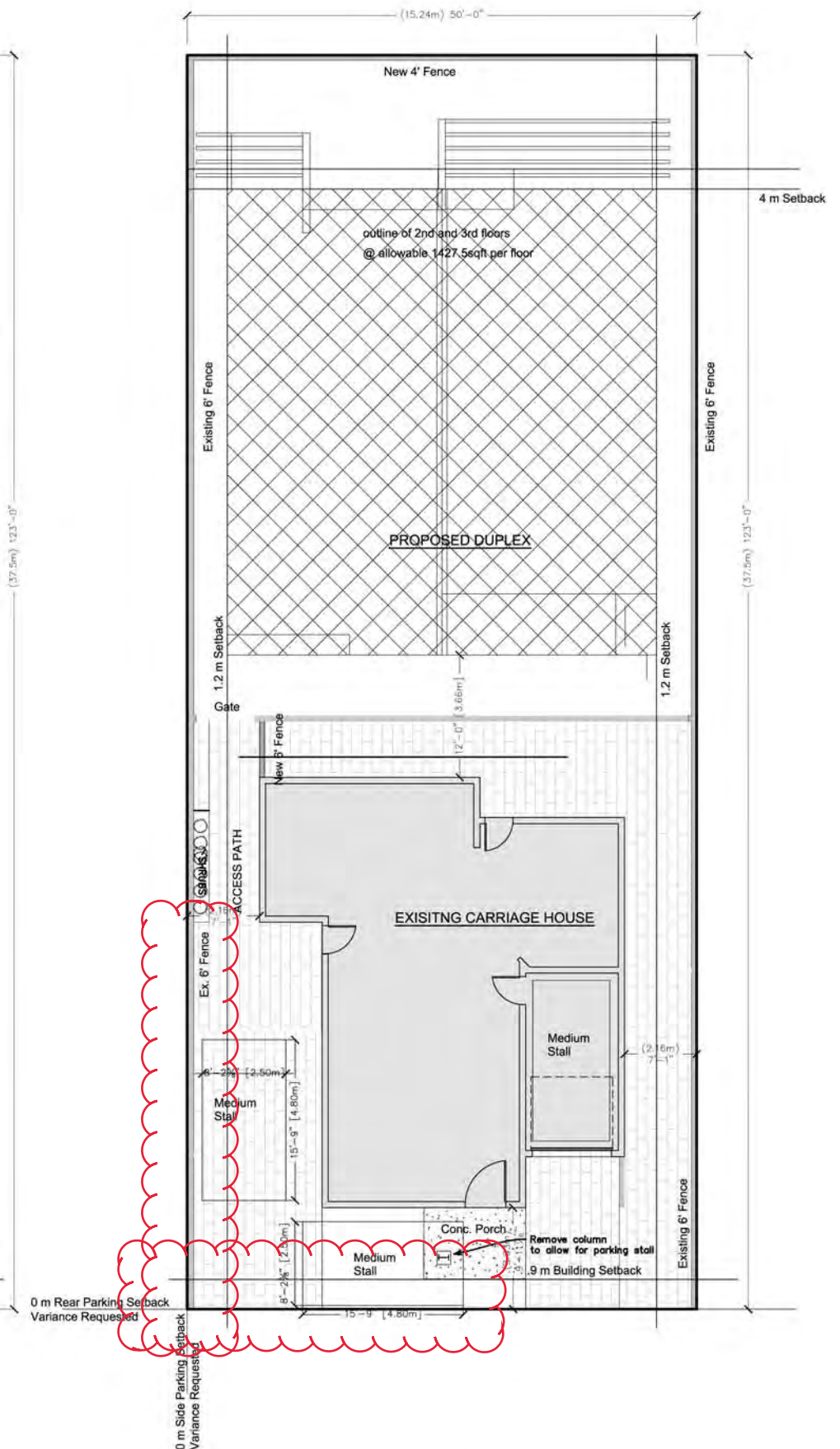
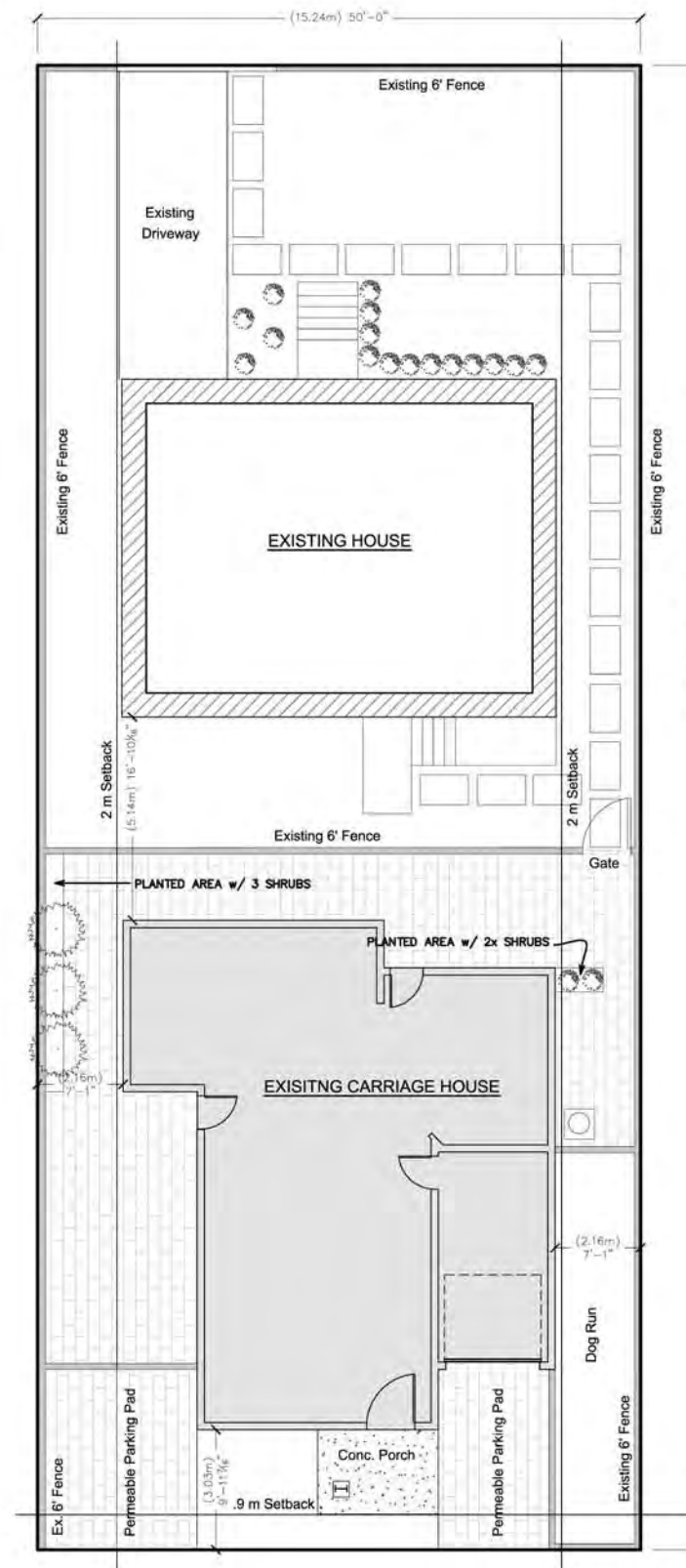
lot area = 571.5sqm  
proposed site coverage 48.8%  
proposed FAR = .8  
allowable net floor area = 457.2sqm  
existing carriage house net floor area = 98.2sqm  
proposed duplex net floor area = 359sfm  
proposed building height = 8.0m  
proposed front yard = 4m  
proposed side yard = 1.2m  
proposed parking = 3 medium stalls

## SCHEDULE A

This forms part of application  
# DVP19-0053

Planner  
Initials AJ

City of  
**Kelowna**  
COMMUNITY PLANNING



SITE PLAN

869 CADDER AVE.

NOVEMBER 2018 104

# Development Variance Permit

## DP19-0053



This permit relates to land in the City of Kelowna municipally known as

869 Cadder Avenue, Kelowna BC

and legally known as

PLAN KAP 700 Lot 30 Section 19 Township 26

and permits the land to be used for the following development:

### **RU7 Development**

with variances to the following sections of Zoning Bylaw No. 8000 in general accordance with Schedule "A":

#### **Section 8.1.9(c) Parking and Loading: Location**

To allow two required parking stalls to be located within 1.5m of the west side property line and within 1.5m of the rear property line.

#### **Section 8.1.9(e) Parking and Loading: Location**

To remove the requirement to screen a parking stall parallel to and flanking a lane by a physical barrier.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Decision Date:

Decision By:

Council

**This permit will not be valid if development has not commenced within two years of the issuance date.**

Existing Zone: RU7

Future Land Use Designation: SIH

### **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

### **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Chad Gould

Applicant: Chad Gould

---

Ryan Smith  
Community Planning Department Manager  
Community Planning & Strategic Investments

---

Date

### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

This Development Permit is valid for two (2) years from the date of issuance, with no opportunity to extend.

### 3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

# REPORT TO COUNCIL



**Date:** April 9, 2019

**RIM No.** 0940-50

**To:** City Manager

**From:** Community Planning Department (LKC)

**Application:** DVP19-0054

**Owner:** Ian Ferguson & Suzanne Thorpe

**Address:** 904 Tronson Dr

**Applicant:** Ian Ferguson

**Subject:** Development Variance Permit

Existing OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

---

## 1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP19-0054 for Lot 26, Section 29, Township 26, ODYD Plan 24924, located at 904 Tronson Dr, Kelowna, BC;

THAT variance to the following section of Zoning Bylaw No. 8000 be granted:

### Section 13.1.6(d): RU1 – Large Lot Housing Development Regulations

To vary the required minimum north side yard setback from 2.0m permitted to 1.53m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## 2.0 Purpose

The purpose of this application is to vary the north side yard setback to 1.53m for the purpose of building an enclosed two car garage that will support the necessary parking requirements to allow for a secondary suite in the existing home.

## 3.0 Community Planning

Staff are recommending support for the proposed variance to allow for a north side yard setback to be varied from the required 2.0m to 1.53m in order to construct a two car garage for the purpose of meeting the parking requirements to allow for a legal secondary suite in the existing home. This variance will not impact any neighbours as the subject property is located next to a public path. There is an existing fence that will remain between the proposed garage and the walkway and will mitigate any possible intrusion the variance would bring to the public walkway. The project complies with all other zoning regulations and OCP policies.

#### 4.0 Proposal

##### 4.1 Background

The subject property is located in a Glenmore single family area and has an existing one and a half story single family dwelling with a single car carport.

##### 4.2 Project Description

The applicant pursues a variance in order to construct a two car garage for the purpose of meeting the parking requirements to allow for a legal secondary suite in the existing home. The proposed garage will take the place of the existing carport. In addition, the proposed garage conforms with the existing character of the home and will not look out of place.

##### 4.3 Site Context

The subject property is designated S2RES – Single / Two Unit Residential, is zoned RU1- Large Lot Housing and is in the Glenmore sector of the city.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1	S2RES
East	RU1	S2RES
South	RU1	S2RES
West	RU1	S2RES

#### Subject Property Map: 904 Tronson Drive



## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

### 6.2 Development Engineering Department

See Development Engineering Department Memorandum

## 7.0 Application Chronology

Date of Application Received:	January 14, 2019
Date Public Consultation Completed:	March 3, 2019

**Report prepared by:** Levan King Cranston

**Reviewed by:** Dean Strachan, Suburban and Rural Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

#### Attachments:

Attachment A: Development Variance Permit Draft

Schedule A: Site Plan & Renderings

Schedule B: Development Engineering Memorandum

---

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

# DEVELOPMENT VARIANCE PERMIT



## APPROVED ISSUANCE OF DEVELOPMENT VARIANCE PERMIT

**File Number** DVP19-0054  
**Issued To:** Ian Ferguson  
**Site Address:** 904 Tronson Dr  
**Legal Description:** Lot 26, Section 29, Township 26 ODYD Plan KAP 24924  
**Zoning Classification:** RU1- Large Lot Housing

### SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 1. TERMS AND CONDITIONS

THAT Development Variance Permit No. DVP19-0054, located at 904 Tronson Dr, Kelowna, BC be approved subject to general conformance to the drawings (Schedule "A") attached to this permit.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

### 2. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

**This Permit IS NOT a Building Permit.**

The issuance of this Permit grants to the municipality a save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

### 3. APPROVALS

Issued and approved by Council on the 9<sup>th</sup> day of April, 2019.

---

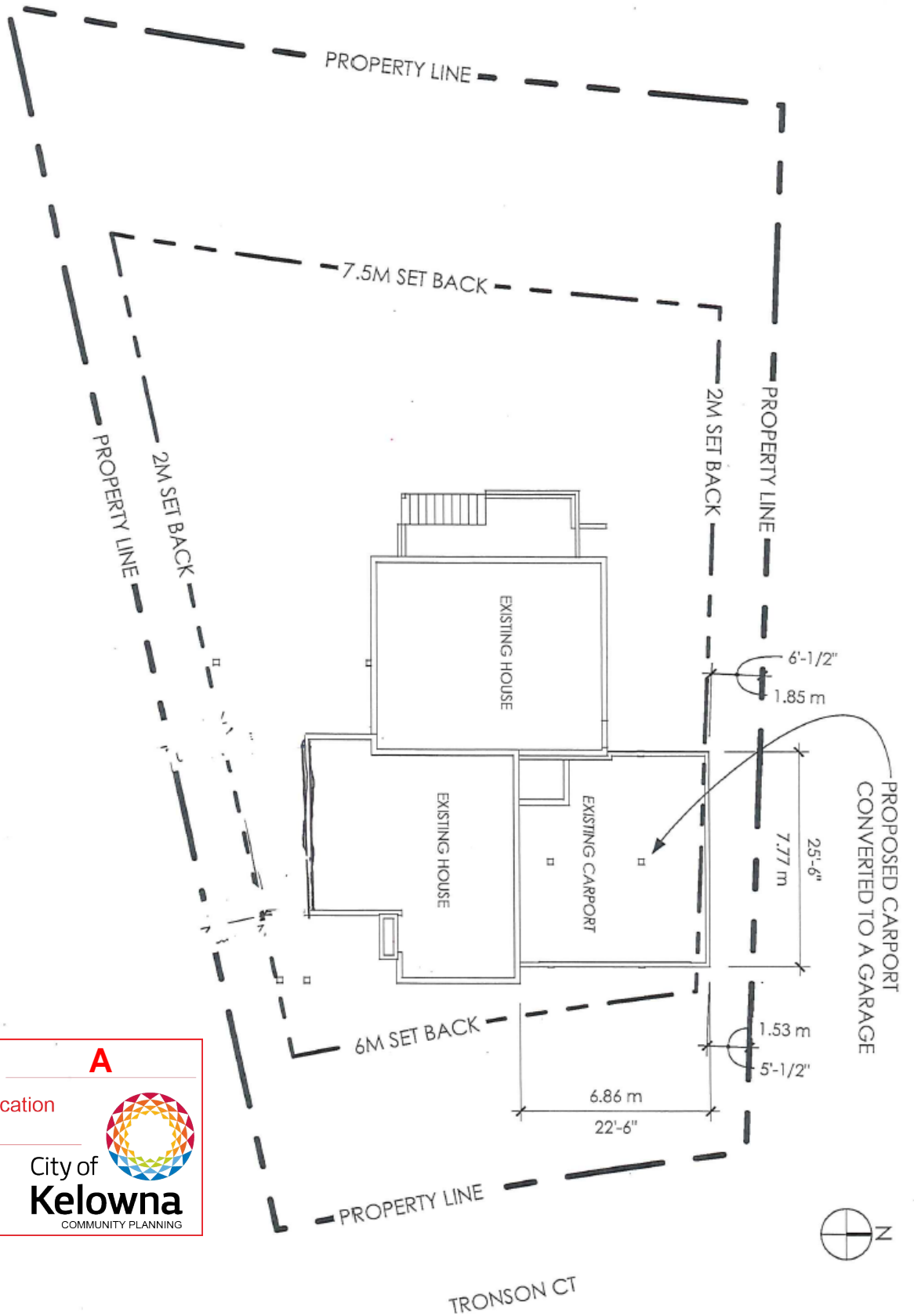
Ryan Smith, Community Planning Department Manager

---

Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall be returned to the PERMIT HOLDER.**

1 SITE PLAN  
ASK-01 / Scale: 1/16" = 1'-0"



## SCHEDULE A

This forms part of application  
# DVP19-0054

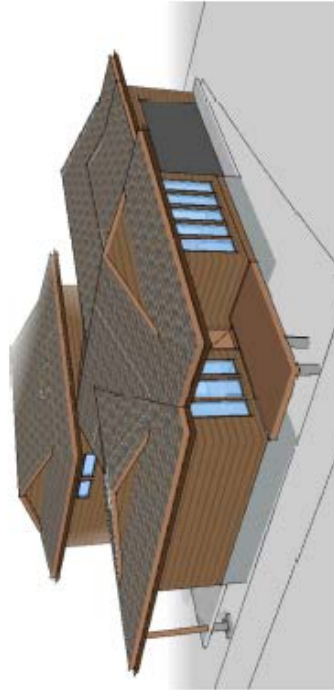
Planner  
Initials

LKC

City of  
**Kelowna**  
COMMUNITY PLANNING



<b>FERGUSON RESIDENCE</b> PERSPECTIVES 904 TROUSON DR., KELOWNA, BC V1Y 4E1 LOT: 26, PLAN: EAP24924, SEC 29, TOWN 26 KID: 291005, PID: 005-770-664, ZONING: RUI		SCALE: AS NOTED SHEET: <b>ASK-02</b>
18-12-13 DVP	18-12-12 DVP	ISSUED FOR YVAM-D0
DEAN@KNOWLTONCONCEPTS.COM (250) 575-0128 <b>KNOWLTON</b> CONCEPTS™		



<b>SCHEDULE</b>	<b>A</b>
This forms part of application # <b>DVP19-0054</b>	
Planner Initials <b>LKC</b>	 <b>City of Kelowna</b> COMMUNITY PLANNING

---

**CITY OF KELOWNA**

**MEMORANDUM**

---


**Date:** February 21, 2019  
**File No.:** DVP19-0054  
**To:** Community Planning (LKC)  
**From:** Development Engineering Manager (JK)  
**Subject:** 904 Tronson Drive

---

The Development Engineering comments and requirements regarding this DVP application are as follows:

This Development Variance permit to reduce the north side yard setback from 2m to 1.53m for the addition of a garage for the purpose of meeting parking requirements to allow for a legal secondary suite does not compromise any municipal services.

The appicate must use caution when constructing the addition due to a 1973 Asbestos Cement water main is within the walkway. Any vibration may cause the main to break.

  
James Kay, P. Eng.  
Development Engineering Manager

JA

<b>SCHEDULE</b>		<b>B</b>
This forms part of application # <b>DVP19-0054</b>		
Planner Initials	<b>LKC</b>	 <b>City of Kelowna</b> COMMUNITY PLANNING