City of Kelowna Regular Council Meeting AGENDA



Tuesday, May 29, 2018 6:00 pm Council Chamber City Hall, 1435 Water Street

			Pages
1.	Call to	Order	
2.	Reaffir	mation of Oath of Office	
	The Oa	ath of Office will be read by Councillor Sieben.	
3.	Confir	mation of Minutes	1 - 11
		Hearing - May 15, 2018 or Meeting - May 15, 2018	
4.	Bylaws Considered at Public Hearing		
	4.1	Sarsons Road 424, Z18-0013 (BL11613) - JK Quest Ltd., Inc.No. BC1108914	12 - 12
		To give Bylaw No. 11613 second and third readings in order to rezone the subject property from the RU1 - Large Lot Housing zone to the RU2 - Medium Lot Housing zone.	
	4.2	Dougall Rd N 490, Z17-0101 (BL11614) - Jaspreet Sekhon	13 - 13
		To give Bylaw No. 11614 second and third readings in order to rezone the subject property from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.	
	4-3	Hubbard Rd 814, Z18-0014 (BL11615), James and Robin Wilson	14 - 14
		To give Bylaw No. 11615 second and third readings in order to rezone the subject property from the RU1 - Large Lot Housing zone to the RU2 - Medium Lot Housing zone.	

5. Notification of Meeting

The City Clerk will provide information as to how the following items on the Agenda were publicized.

Development Permit and Development Variance Per	ermit Keborts
---	---------------

6.1 Old Vernon Rd 144 - LUC17-0003 (BL11598) - Serra Holdings (No. 9) Ltd Inc No BC0950182

15 - 15

To adopt Bylaw No. 11598 in order to discharge Land Use Contract LUC77-1015 on the subject property.

6.2 Old Vernon Rd 120 &144, DP17-0223 DVP17-0224 - Serra Holdings (No 9) Ltd Inc No BC0950182

16 - 47

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider the form and character of a food primary establishment (McDonald's Restaurant) with a variance to allow drive-in food services as a form of development, and a variance to the maximum height of a free-standing sign from 3.0m required to 5.0m proposed.

6.3 Pier Mac Way 1805, 3515 and 3525 Kel Mac Ct, DP18-0009 & DVP18-0010 - The Armstrong Land Corp. Inc. No. BC1113050

48 - 109

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To review the Form & Character Development Permit of a phased self-storage facility, outdoor storage, and fleet services project.

6.4 Finns Rd 743-745, DVP18-0069 - Jeffrey and Yvonne Brown

110 - 115

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To vary the required minimum front yards (north and south) on the subject property.

- 7. Reminders
- 8. Termination



City of Kelowna

Public Hearing

Minutes

Date: Location: Tuesday, May 15, 2018

Council Chamber

City Hall, 1435 Water Street

Council Members

Present:

Deputy Mayor Given and Councillors Maxine DeHart, Ryan Donn, Tracy

Gray, Charlie Hodge, Brad Sieben*, Mohini Singh and Luke Stack

Council Members

Absent:

Mayor Colin Basran

Staff Present:

Acting City Manager, Joe Creron; City Clerk, Stephen Fleming; Divisional Director, Community Planning & Strategic Investments, Doug Gilchrist; Urban Planning Manager, Terry Barton; Suburban and Rural Planning Manager, Dean Strachan; and FOI Legislative Coordinator, Sandi Horning

(* denotes partial attendance)

Call to Order

Deputy Mayor Given called the Hearing to order at 6:00 p.m.

Deputy Mayor Given advised that the purpose of the Hearing is to consider certain bylaws which, if adopted, will amend "*Kelowna 2030* - Official Community Plan Bylaw No. 10500" and Zoning Bylaw No. 8000", and all submissions received, either in writing or verbally, will be taken into consideration when the proposed bylaws are presented for reading at the Regular Council Meeting which follows this Public Hearing.

2. Notification of Meeting

The City Clerk advised that Notice of this *Public Hearing* was advertised by being posted on the Notice Board at City Hall on Tuesday, May 1, 2018 and by being placed in the Kelowna Daily Courier issues on Friday May 4 and Wednesday, May 9 and by sending out or otherwise mailing 390 statutory notices to the owners and occupiers of surrounding properties on Tuesday, May 1, 2018.

The correspondence and/or petitions received in response to advertising for the applications on tonight's agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

Councillor Sieben joined the meeting at 6:05 p.m.

3. Individual Bylaw Submissions

3.1 Cross Road 1967, 1969 and 1973 Z17-0083 (BL11603) Protech Consultants

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Deputy Mayor Given invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions. No one from the gallery came forward. There were no further comments.

3.2 Clement Ave 726 OCP17-0021 (BL11604) and Z17-0093 (BL11605) - PC Urban Clement Holdings Ltd

Staff:

 Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letters of Support:

- Yarden D. Gershony, Begbie Road
- Steven Wallouch, Parkridge Drive
- Dan Assam, Stremel Road
- Russ Watson, Manager, Partner, North American Development Group, Edmonton, Alberta
- Mike Hoffman, Director of Development & Construction, Faction Projects Inc., Lakeshore Road
- John Oughtred, Ellis Street
- Mark Ellery, Vice President Okanagan Region, Pacific Quorum Okanagan Properties Inc., Bredin Road

- Grant Miller, Denali Court
- Howard Arsenault, Raymer Road

Deputy Mayor Given invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Brent Sawchyn, PC Urban, Applicant's Representative

- Displayed a PowerPoint presentation setting out the rationale for the development.
- Introduced the project team.
- Spoke to vacancy rates and corporate initiatives to develop rental units.
- Responded to questions from Council.

Rob, Cornerstone Drive, West Kelowna

- Supports the application

Gary Tebbutt, Lequime Road

- Adjacent property owner.
- Looking for consistency in building site location along the entire block.
- Fully supports the application.

Jill Buffy

- Referenced letter of support that was emailed to Council members directly.
- Supports the application.

There were no further comments.

3.3 Casorso Rd 3596 Z18 0012 (BL11608) - Cheryl & Enzo Nanci

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Deputy Mayor Given invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions. No one from the gallery came forward. There were no further comments.

4. Termination

The Hearing was declared terminated at 6:40 p.m.

Deputy Mayor Given /slh

City Clerk



City of Kelowna

Regular Meeting

Minutes

Date:

Tuesday, May 15, 2018

Location:

Council Chamber

City Hall, 1435 Water Street

Council Members

Deputy Mayor Given and Councillors Maxine DeHart*, Ryan Donn, Tracy

Present:

Absent:

Gray, Charlie Hodge, Brad Sieben*, Mohini Singh and Luke Stack

Council Members

.concil Members

Mayor Colin Basran

Staff Present:

Acting City Manager, Joe Creron; City Clerk, Stephen Fleming; Divisional Director, Community Planning & Strategic Investments, Doug Gilchrist; Urban Planning Manager, Terry Barton; Suburban and Rural Planning Manager, Dean Strachan; and FOI Legislative Coordinator, Sandi Horning

(* denotes partial attendance)

1. Call to Order

Deputy Mayor Given called the meeting to order at 6:40 p.m.

2. Reaffirmation of Oath of Office

The Oath of Office was read by Councillor Hodge.

3. Confirmation of Minutes

Moved By Councillor Gray/Seconded By Councillor DeHart

<u>R510/18/05/15</u> THAT the Minutes of the Public Hearing and Regular Meeting of May 1, 2018 be confirmed as circulated.

Carried

- 4. Bylaws Considered at Public Hearing
 - 4.1 Cross Rd 1967, 1969 & 1973 Z17-0083 (BL11603) Maxwell House Developments Ltd, Glen Park Village Inc & City of Kelowna

Moved By Councillor Gray/Seconded By Councillor Hodge

R511/18/05/15 THAT Bylaw No. 11603 be read a second and third time.

Carried

4.2 Clement Ave 726 OCP17-0021 (BL11604) - PC Urban Clement Holdings Ltd

Moved By Councillor Gray/Seconded By Councillor Donn

R512/18/05/15 THAT Bylaw No. 11604 be read a second and third time.

Carried

4.3 Clement Ave 726 Z17-0093 (BL11605) - PC Urban Clement Holdings Ltd

Moved By Councillor Singh/Seconded By Councillor DeHart

R513/18/05/15 THAT Bylaw No. 11605 be read a second and third time.

Carried

4.4 Casorso Rd 3596 Z18-0012 (BL11608) - Cheryl & Enzo Nanci

Moved By Councillor Stack/Seconded By Councillor DeHart

R514/18/05/15 THAT Bylaw No. 11608 be read a second and third time and be adopted.

Carried

5. Notification of Meeting

The City Clerk advised that Notice of Council's consideration of these *Development Variance Permit Applications* was given by sending out or otherwise mailing 68 statutory notices to the owners and occupiers of surrounding properties on Tuesday, May 1, 2018.

Notice of these (amendments to Liquor Primary Licences) were advertised by being posted on the Notice Board at City Hall on Tuesday, May 1, 2018, and by being placed in the Kelowna Daily Courier issues on Friday, May 4 and Wednesday, May 9 and by sending out or otherwise mailing 479 statutory notices to the owners and occupiers of surrounding properties on Tuesday, May 1, 2018.

The correspondence and/or petitions received in response to advertising for the applications on tonight's Agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

6. Liquor License Application Reports

6.1 Water St 1300-1306, LL18-0002 - DHL No. 48 Holdings LTD., INC. NO. C1105825

Councillor Sieben declared conflict of interest as the subject property is in close proximity to another liquor establishment he has an ownership interest in and left the meeting at 6:58 p.m.

Staff:

 Displayed a PowerPoint Presentation summarizing the application and responded to question from Council.

The City Clerk advised that no correspondence was received.

Deputy Mayor Given invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The App<mark>licant was present and available for questions. No one from the gallery came forward. There were no further comments.</mark>

Moved By Councillor Hodge/Seconded By Councillor DeHart

<u>R515/18/05/15</u> THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor Control and Licensing Branch (LCLB):

In accordance with Section 53 of the *Liquor Control and Licensing Regulation* and Council Policy #359, BE IT RESOLVED THAT:

1. Council recommends support of an application from DHL NO. 48 Holdings LTD., INC. No. C1105825 for Lot 1 District Lots 139, 4041 and 4082 ODYD Plan KAP73542 located at 1310 Water Street, Kelowna, BC, for a Liquor Primary license with a capacity of 199 persons and hours of sales from 10:00 AM to 2:00 AM Sunday to Saturday for License Number 301837 (Match Eatery & Public House).

- 2. That Council's comments on the prescribed considerations are as follows:
 - a) The impact of noise on the community in the immediate vicinity of the establishment if the application is approved;

The potential impact for noise is minimal and would be compatible with surrounding land uses.

b) The impact on the community if the application is approved:

The potential for negative impacts is considered to be minimal.

AND FURTHER THAT Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures".

Carried

Councillor Sieben rejoined the meeting at 7:05 p.m.

6.2 Hwy 97 North 2629 LL18-0003 - SKJJ Holdings Inc.

Councillor DeHart declared a conflict of interest as the Applicant is part of the same ownership group as her employer and left the meeting at 7:06 p.m.

Staff:

Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Deputy Mayor Given invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Saudagar Sekhon, Applicant

- Spoke to the hours of operation and how the area will be utilized.

No one from the gallery came forward. There were no further comments.

Moved By Councillor Sieben/Seconded By Councillor Stack

<u>R516/18/05/15</u> THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor Control and Licensing Branch (LCLB):

In accordance with Section 53 of the *Liquor Control and Licensing Regulation* and Council Policy #359, BE IT RESOLVED THAT:

- 1. Council recommends support of an application from SKJJ Holdings Inc. for Lot 2, District Lot 125, ODYD, Plan 3246 Except Plans H8110, 9504 and EPP47107 located at 2629 Hwy 97 North, Kelowna, BC, for a new Liquor Primary license with a capacity of 100 persons and hours of sales from 9:00 AM to 1:00 AM, 7 days a week.
- 2. That Council's comments on the prescribed considerations are as follows:
 - a) The location of the establishment:
 - The application is for a new Liquor Primary License to be associated with a new hotel development located on Highway 97 North.
 - b) The proximity of the establishment to other social or recreational facilities and public buildings:
 - The subject property is located on the Highway 97 corridor and isn't near any social or recreational facilities and public buildings.
 - c) The person capacity and hours of liquor service of the establishment:
 - The application is for a 100 seat establishment open 7 days a week from 9:00am to 1:00am.
 - d) The number and market focus or clientele of liquor-primary license establishments within a reasonable distance of the proposed location:
 - There aren't any other Liquor Primary facilities nearby, the closest facilities are also associated with hotel operations.
 - e) The impact of noise on the community in the immediate vicinity of the establishment if the application is approved;
 - The potential impact for noise is minimal and would be compatible with surrounding land uses.
 - f) The impact on the community if the application is approved:

The potential for negative impacts is considered to be minimal.

AND FURTHER THAT Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures".

Carried

Councillor DeHart rejoined the meeting at 7:10 p.m.

7. Development Permit and Development Variance Permit Reports

7.1 Flemish St 1320, DVP18-0027 - Oliver Bailey Balske and Anne Christine Balske

Staff:

 Displayed a PowerPoint presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letters of Opposition or Concern:

• Chris Bowerman, Flemish Street

Deputy Mayor Given invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Oliver Balske, Applicant

- Responded to questions from Council.

No one from the gallery came forward. There were no further comments.

Moved By Councillor Hodge/Seconded By Councillor Donn

R517/18/05/15 THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0027 for Lot 20, District Lot 137, Osoyoos Division Yale District, Plan 15035, located at 1320 Flemish Street, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with Attachment A:

Section 13.6.6(g)(i.): RU6 – Two Dwelling Housing Development Regulations
To vary the required minimum side yard for a garage accessed from a flanking street from 6.0 m permitted to 4.8 m proposed.

Section 13.6.6(h): RU6 – Two Dwelling Housing Development Regulations
To vary the required minimum rear yard from 7.5 m permitted to 3.5 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

7.2 St Paul St 1215, Clement Ave 557 & 567 DP18-0044 & DVP18-0045 - Joseph Higgins, Retaine Financial Corporation Inc. & Fresh Start Enterprises Inc.

Staff:

- Displayed a PowerPoint presentation summarizing the application and responded to question from Council.

The City Clerk advised that no correspondence was received.

Deputy Mayor Given invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Paul Pasutto, Applicant's Representative

- The development team is present and available for questions.
- Advised that this development grew out of their experiences with their development on Stockwell Avenue.
- Responded to questions from Council.
- Spoke to the rationale for the public space on top of the parking area.
- Provided the rationale for the requested parking variance.

No one from the gallery came forward. There were no further comments.

Moved By Councillor Singh/Seconded By Councillor Donn

R518/18/05/15 THAT Council authorizes the issuance of Development Permit No. DP18-0044 and DVP18-0045 for the following properties:

- a) Lot 26, DL 139, ODYD, Plan 1303, Except Plan EPP40116, located at 1215 St Paul Street, Kelowna, BC;
- b) Lot 27, DL 139, ODYD, Plan 1303, Except Plan EPP40116, located at 557 Clement Avenue, Kelowna, BC;
- c) Lot 28, DL 139, ODYD, Plan 1303, Except Plan EPP40116, located at 567 Clement Avenue, Kelowna, BC;

subject to the following:

- The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 14.7.5 (h.i): Central Business Commercial Development Regulations
To vary the minimum setback along the north flanking street (Clement Ave) for portions of a building over 16.0 m from 3.0 m required to 0.1 m proposed;

Section 14.7.5 (h.ii): Central Business Commercial Development Regulations

To vary the minimum setback along a property line (east) for portions of a building over 16.0 m from 4.0 m required to 0.0 m proposed;

Section 8.1.11 (b): Parking and Loading Size and Ratio

To vary the maximum ratio of compact stalls from 10% to 20.3%;

AND THAT Council authorizes issuance of this Development Permit and Development Variance Permit subsequent to the outstanding conditions of approval as set out in Attachment "A" attached to the Report from the Community Planning Department dated May 15, 2018;

AND THAT Council authorizes issuance of this Development Permit and Development Variance Permit subsequent to consolidation of the subject properties;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Applications in order for the permit to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

- 8. Reminders Nil.
- Termination

The meeting was declared terminated at 8:03 p.m.

Deputy Mayor Given

/slh

Ma Wer

BYLAW NO. 11613

Z18-0013 – 424 Sarsons Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 17, District Lot 167, ODYD, Plan 8049, located at Sarsons Road, Kelowna, BC from the RU1 Large Lot Housing zone to the RU2 Medium Lot housing zone.
- 2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 7th day of May, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council this

Mayor
•
City Clerk

BYLAW NO. 11614 Z17-0101 490 Dougall Road North

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:
 THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 17 Section 26 Township 26 ODYD Plan 3476, located at Dougall Road North, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.
This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.
Read a first time by the Municipal Council this 7 th day of May, 2018.
Considered at a Public Hearing on the
Read a second and third time by the Municipal Council this
Approved under the Transportation Act this

Mayor
City Clerk

BYLAW NO. 11615

Z18-0014-815 Hubbard Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 2 District Lot 580A SDYD Plan 17390, located at Hubbard Road, Kelowna, BC from the RU1 Large Lot Housing zone to the RU2 Medium Lot Housing zone.
- 2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 7th day of May, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council this

Mayor	Mayor
•	,
City Clerk	City Clerk

BYLAW NO. 11598

Discharge of Land Use Contract LUC77-1015 (N56848) 144 Old Vernon Road

WHEREAS a land use (the "Land Use Contract") is registered at the Kamloops Land Title Office under number N₅68₄8 against lands in the City of Kelowna particularly known and described as Lot A (X₂6₄1₃) Section ₂ Township ₂₃ ODYD Plan ₇₃01 (the "Lands"), located at Old Vernon Road, Kelowna, B.C.;

WHEREAS Section 546 of the Local Government Act provides that a land use contract that is registered in a Land Title Office may be discharged in the manner specified in the Land Use Contract, by bylaw following a public hearing on the proposed bylaw;

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

- This Bylaw may be cited for all purposes as "Land Use Contract LUC77-1015 Discharge Bylaw". 1.
- The Land Use Contract is hereby cancelled and of no further force and effect and the City of 2. Kelowna is hereby authorized and empowered to apply for the discharge of the Land Use Contract from the Lands.

Read a first time by the Municipal Council this 16th day of April, 2018.

Considered at a Public Hearing on the 1st day of May, 2018.

Read a second and third time by the Municipal Council this 1st day of May, 2018.

Approved under the Transportation Act this 1st day of M	ay, 2018.
Melissa Graydon (Approving Officer-Ministry of Transportation)	
Adopted by the Municipal Council of the City of Kelown	a this
	Mayor
	Mayor
	City Clerk

REPORT TO COUNCIL



Date: May 29, 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (TA)

Application: DP17-0223 & DVP17-0224 Owner: Serra Holdings (No. 9) Ltd. Inc.

No. BC0950182

Address: 120 – 144 Old Vernon Road Applicant: Urban Design Group Architects

" Ltd

Subject: Development Permit and Development Variance Permit

Existing OCP Designation: IND - Industrial

Existing Zone: C2 – Neighbourhood Commercial

1.0 Recommendation

THAT final adoption of Land Use Contract Discharge Bylaw No. 11598 (LUC17-0003) be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP17-0223 and DVP17-0224 for Lot 1, Section 2, Township 23, ODYD, Plan 7301 located at 120 Old Vernon Road, Kelowna, BC; and Lot A (X26413), Section 2, Township 23, ODYD, Plan 7301, located at 144 Old Vernon Road, Kelowna, BC; subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
- 2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- 3. Landscaping to be provided on the land be in accordance with Schedule "C";
- 4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT a variance to the following section of Zoning Bylaw No. 8000 be granted:

Section 14.2.6 (g): C2 - Neighbourhood Commercial Other Regulations

To permit drive-in food services as a form of development;

AND THAT a variance to the following section of the Sign Bylaw No. 8235 be granted:

Section 6.1: Sign Bylaw - Specific Zone Regulations (C2)

To vary the maximum height of a free-standing sign from 3.0m to 5.0m;

AND THAT the subject properties are required to be consolidated;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider the form and character of a food primary establishment (McDonald's Restaurant) with a variance to allow drive-in food services as a form of development, and a variance to the maximum height of a free-standing sign from 3.0m required to 5.0m proposed.

3.0 Community Planning

Community Planning supports the development permit for the form and character of a food primary establishment with drive-in food services (McDonald's Restaurant) as it is in general accordance with the Official Community Plan Comprehensive Design Guidelines (Attachment "A") and is a typical design for this type of establishment. The associated variance requests are also supported as a drive-in food service and larger free-standing sign are in keeping with the surrounding service commercial area and is not located in an Urban Centre.

3.1 Form and Character

Site layout and circulation has been designed such that the drive-through is mostly shielded from the public road, and any potential stacking would be screened by the building and landscaping. While the position of the building located far back from Old Vernon Road is not consistent with the envisioned streetscape rhythm, it allows potential stacking of cars to be screened from view. There is a right-in right-out access point along Old Vernon Road, and an additional entrance and exit on Rutland Rd N. The drive-through exits behind the building onto Rutland Road N. A pedestrian connection is provided through the parking lot to connect to Old Vernon Road, and a public patio has been provided to activate the site with pedestrian activity. Care has been taken to locate the loading area with easy vehicle access and so as not to interfere with pedestrian safety or circulation.

The exterior elevations and materials have been designed with bold colours and bold architectural elements, that are used to provide visual interest and strongly identify the main entrance and pedestrian areas. The design is a modern design for McDonald's consistent with the evolution of their brand over the years. Durable brick in varying regional colours are used on the facades of buildings that are visible from the public street and are wrapped around the building to ensure a high level of detail on all street facing facades. Signage is incorporated into the facades of the building, with directional signage provided on site, and one free-standing sign.

3.2 <u>Variances</u>

Two variances are requested in the design proposal for McDonald's; to allow drive-in food services in the C2 – Neighbourhood Commercial Zone, and to vary the maximum free-standing sign height from 3.om maximum to 5.om requested.

The surrounding area is predominantly industrial zoned I2 and automobile focused, and therefore a drive-in food service will have minimal impact from a traffic perspective. The building has been sited on the northern portion of the site in order to create a visual screen for any potential stacking of vehicles. The site layout is such that pedestrian safety is prioritized by locating the main pedestrian pathway, entrance, and patio in a different location than the drive-in food service. Staff are recommending support for this proposed variance given the above rationale.

Staff are also recommending support for the proposed variance for sign height, to allow a free-standing sign at 5.0m in height. The maximum sign height in the C2 zone is 3.0m, however, in the I2 zone that predominantly surrounds the subject parcel, the maximum is 8.0m. It is anticipated with upcoming changes to the zoning bylaw the maximum sign height for an I2 parcel will be 5.0m. Therefore, the request to allow the maximum sign height of 5.0m is consistent with the new bylaw and with the surrounding area.

4.0 Proposal

4.1 Background

The subject properties are currently being for a second hand automobile dealer. In the past they have been used for a variety of service commercial and food primary businesses. The eastern property was under Land Use Contract LUC17-1015 which defined specific uses that were allowed on the property. As a function of this development, the applicant has applied to have the Land Use Contract discharged and absorb the underlying zone of C2 – Neighbourhood Commercial. The C2 zone allows for food-primary establishments, but does not allow for drive-in food services.

The sign bylaw is currently under review for updating and amending. Under the current regulations, the maximum height for a free-standing sign in the C2 zone is 3.0m, and this is not anticipated to change with the new regulations.

4.2 Project Description

The proposed development is for a single-storey commercial building of 411m² with surface parking for a food primary establishment with drive-in food services (McDonald's Restaurant). With recent road upgrades to Old Vernon Road, site access will be from a right-in right-out driveway access along Old Vernon Road, with a secondary entrance along Rutland Road North. There is an additional exit on the north-west portion of the site for the drive-through exit.

The building is oriented to the north of the site, with parking to the south and a public patio area in front of the building. A sidewalk connection is provided from Old Vernon Road to the main entrance of the building through the 51 stall parking lot. Landscape design includes hardscaping and softscaping with a variety of trees and shrubs and meets the minimum zoning requirements. The development requires a variance to allow drive-in food services which is currently not allowed in the majority of Commercial zones.

Several signs are proposed for the development including fascia signs, menu boards, directional signs, and one free-standing sign. The free-standing sign does require a variance to the Sign Bylaw to increase the maximum height from 3.0m to 5.0m.

4.3 Site Context

The subject property is located east of Highway 97 N at the corner of Rutland Road N and Old Vernon Road, nearly the new round-about for Rutland Rd N.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	12 — General Industrial	Auctioneering Establishment
East	I2 — General Industrial	Automotive and Minor Recreation Vehicle Sales/Rentals
South	C2 — Neighbourhood Commercial LUC77-1015, LUC77-1082	General Industrial
West	NA	Ministry of Transportation Highway Buffer



4.4 Zoning Analysis Table

Zoning Analysis Table				
CRITERIA	C2 ZONE REQUIREMENTS	PROPOSAL		
	Development Regulations			
Floor Area Ratio	0.30	.11		
Site Coverage of Buildings	40%	10%		
Height	10.5 m / 2 ½ storeys	5.9 m / 1 storey		
Front Yard	4.5 m	40.9 m		
Side Yard (east)	2.0 M	15.1 m		
Side Yard (west)	4.5 m	11.5 m		
Rear Yard	3.0 m	9.1 m		
	Other Regulations			
Minimum Parking Requirements	11 Stalls	51 Stalls		
Bicycle Parking	1 Stall	5 Stalls		
Loading Space	1 Stall	1 Stall		
Maximum Sign Height	3.0 m	5.0 m 0		
• Indicates a requested variance to Sign Bylaw N	lo. 8235 to vary the maximum sign height from 3	.o m to 5.o m.		

5.0 Technical Comments

5.1 <u>Building & Permitting Department</u>

- 1) Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s).
- 2) Demolition Permit required for any existing structures
- 3) Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- 4) Fire resistance ratings are required for storage, janitor and/or garbage enclosure room(s) / area(s). The drawings submitted for building permit is to clearly identify how this rating will be achieved and where these area(s) are located.
- 5) A Hoarding permit is required and protection of the public from the staging area and the new building area during construction. Location of the staging area and location of any cranes should be established at time of DP.
- 6) A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - a. Any alternative solution must be accepted by the Chief Building Inspector prior to the release of the Building Permit
 - b. Location, heights, colours of mechanical systems and the required screening are to be determined at time of DP
 - c. Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - d. If there is to be a caretaker unit located on this lot, it should be defined as part of the DP.
- 7) A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. Minimum building elevations are required to be established prior to the release of the Development Permit. If a soil removal or deposit permit is required, this must be provided at time of Development Permit application.

- 8) We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent properties is a civil action which does not involve the city directly. The items of potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, undermining & underpinning of existing foundation, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work, water infiltration systems, etc.
- g) Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
- An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units and all corridors, number of required exits per area, door swing direction, handrails on each side of exit stairs, width of exits, spatial calculation for any windows in exit stairs, etc.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

5.2 <u>Development Engineering Department</u>

Please see Attachment "B" for Development Engineering Memorandum requirements to be met prior to issuance of Building Permit.

5.3 Fire Department

- Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required.
- The building shall be addressed off of road it is accessed from.
- Fire Department access is to be met as per BCBC 3.2.5.
- Ensure appropriate hydrants are installed prior to the start of construction
- Dumpster/refuse container must be 3 meters from structures or overhangs

6.0 Application Chronology

Date of Application Received: October 14, 2017
Date of Public Notification: November 27, 2017

Date of Public Hearing for LUC17-0003 Discharge: May 1, 2018

Report prepared by: Trisa Atwood, Planner II

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Attachment "A": Comprehensive Development Permit Design Guidelines

Attachment "B": Development Engineering Memorandum

DRAFT Development Permit and Development Variance Permit DP17-0223 and DVP17-0224

Schedule "A": Siting and Dimensions Schedule "B": Elevations and Materials

Schedule "C": Landscape Plan



Comprehensive Development Permit Area

Consideration has been given to the following guidelines as identified in Section 14.A. of the City of Kelowna Official Community Plan relating to Comprehensive Development Permit Areas:

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Authenticity and Regional Expression			
Do landscaping and building form convey a character that is distinct to Kelowna and the Central Okanagan?		✓	
Are materials in keeping with the character of the region?	✓		
Are colours used common in the region's natural landscape?	✓		
Does the design provide for a transition between the indoors and outdoors?	✓		
Context			•
Does the proposal maintain the established or envisioned architectural character of the neighbourhood?	✓		
Does interim development consider neighbouring properties designated for more intensive development?			✓
Are façade treatments facing residential areas attractive and context sensitive?			√
Are architectural elements aligned from one building to the next?			✓
For exterior changes, is the original character of the building respected and enhanced?			✓
Is the design unique without visually dominating neighbouring buildings?		\checkmark	
For developments with multiple buildings, is there a sense of architectural unity and cohesiveness?			√
Relationship to the Street			
Do buildings create the desired streetscape rhythm?		√	
Are parkade entrances located at grade?			✓
For buildings with multiple street frontages, is equal emphasis given to each frontage?	✓		
Massing and Height			
Does the design mitigate the actual and perceived mass of buildings?	✓		
Does the height consider shading and view impacts for neighbouring properties and transition to less intensive areas?	✓		
Human Scale			
Are architectural elements scaled for pedestrians?	✓		
Are façades articulated with indentations and projections?	✓		



Planner Initials

COMPREHEINE OF APMENT PERMIT AREA	YES	NO	N/A
Are top, middle and bottom building elements distinguished?			✓
Do proposed buildings have an identifiable base, middle and top?			✓
Are building facades designed with a balance of vertical and horizontal proportions?	✓		
Are horizontal glazed areas divided into vertically proportioned windows separated by mullions or building structures?	√		
Does the design incorporate roof overhangs and the use of awnings, louvers, canopies and other window screening techniques?	✓		
Is the visual impact of enclosed elevator shafts reduced through architectural treatments?			✓
Exterior Elevations and Materials			
Are buildings finished with materials that are natural, local, durable and appropriate to the character of the development?	✓		
Are entrances visually prominent, accessible and recognizable?	✓		
Are higher quality materials continued around building corners or edges that are visible to the public?	✓		
Are a variety of materials used to create contrast, enhance the pedestrian environment and reduce the apparent mass of a building?	✓		
Are elements other than colour used as the dominant feature of a building?	✓		
Public and Private Open Space		'	•
Does public open space promote interaction and movement through the site?	✓		
Are public and private open spaces oriented to take advantage of and protect from the elements?	✓		
Is there an appropriate transition between public and private open spaces?	✓		
Are amenities such as benches, garbage receptacles, bicycle stands and community notice boards included on site? Site Access			✓
Is the safe and convenient movement of pedestrians prioritized?	√		
Are alternative and active modes of transportation supported through the site design?		✓	
Are identifiable and well-lit pathways provided to front entrances?	✓		
Do paved surfaces provide visual interest?		√	
Is parking located behind or inside buildings, or below grade?		√	
Are large expanses of parking separated by landscaping or buildings?	✓		
	+	 	1



Planner Initials

1,2010 111100	YES	NO	N/
<u>Do vehicle and segwice accesses</u> have minimal impact on the streetscape and	√		
public views? Is visible and secure bicycle parking provided in new parking structures and			
parking lots?		✓	
Environmental Design and Green Building		•	•
Does the proposal consider solar gain and exposure?	✓		
Are green walls or shade trees incorporated in the design?		✓	
Does the site layout minimize stormwater runoff?	✓		
Are sustainable construction methods and materials used in the project?	✓		
Are green building strategies incorporated into the design?		√	
Decks, Balconies, Rooftops and Common Outdoor Amenity Space		1	<u>I</u>
Are decks, balconies or common outdoor amenity spaces provided?	✓		
Does hard and soft landscaping enhance the usability of decks, balconies and outdoor amenity spaces?	✓		
Are large flat expanses of roof enhanced with texture, colour or landscaping		1	
where they are visible from above or adjacent properties?		•	
Amenities, Ancillary Services and Utilities		•	ı
Are loading, garage, storage, utility and other ancillary services located away from public view?		√	
Are vents, mechanical rooms / equipment and elevator penthouses integrated			✓
with the roof or screened with finishes compatible with the building's design?			
Landscape Development and Irrigation Water Conservation			l
Does landscaping:	-	-	-
Compliment and soften the building's architectural features and mitigate	✓		
·			
 undesirable elements? Maintain the dominant pattern of landscaping along the street and surrounding properties? 	✓		
 undesirable elements? Maintain the dominant pattern of landscaping along the street and 	✓ ✓		
 undesirable elements? Maintain the dominant pattern of landscaping along the street and surrounding properties? 	✓ ✓ ✓		
 undesirable elements? Maintain the dominant pattern of landscaping along the street and surrounding properties? Enhance the pedestrian environment and the sense of personal safety? Screen parking areas, mechanical functions, and garbage and recycling 	✓ ✓ ✓		
 undesirable elements? Maintain the dominant pattern of landscaping along the street and surrounding properties? Enhance the pedestrian environment and the sense of personal safety? Screen parking areas, mechanical functions, and garbage and recycling areas? 	✓ ✓ ✓		·
 undesirable elements? Maintain the dominant pattern of landscaping along the street and surrounding properties? Enhance the pedestrian environment and the sense of personal safety? Screen parking areas, mechanical functions, and garbage and recycling areas? Respect required sightlines from roadways and enhance public views? 	✓ ✓ ✓		✓
 undesirable elements? Maintain the dominant pattern of landscaping along the street and surrounding properties? Enhance the pedestrian environment and the sense of personal safety? Screen parking areas, mechanical functions, and garbage and recycling areas? Respect required sightlines from roadways and enhance public views? Retain existing healthy mature trees and vegetation? 	✓ ✓ ✓ ✓		✓



Planner Initials

City of COMPREHENSIXE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Do parking lots have one shade tree per four parking stalls?		√	
Crime prevention			
Are CPTED practices as related to landscaping, siting, form and exterior design included in the design?	✓		
Are building materials vandalism resistant?	√		
Universal Accessible Design		I	
Is access for persons with disabilities integrated into the overall site plan and clearly visible from the principal entrance?	✓		
Are the site layout, services and amenities easy to understand and navigate?	✓		
Lakeside Development			
Are lakeside open spaces provided or enhanced?			✓
Are lake views protected?			✓
Does lakeside development act as a transition between the lake and inland development?			✓
Signs			
Do signs contribute to the overall quality and character of the development?	✓		
Is signage design consistent with the appearance and scale of the building?	✓		
Are signs located and scaled to be easily read by pedestrians?	✓		
For culturally significant buildings, is the signage inspired by historical influences?			✓
Lighting		•	•
Does lighting enhance public safety?	✓		
Is "light trespass" onto adjacent residential areas minimized?	✓		
Does lighting consider the effect on the façade, neighbouring buildings and open spaces?	✓		
Is suitably scaled pedestrian lighting provided?	✓		
Does exterior street lighting follow the International Dark Sky Model to limit light pollution?			✓



MEMORANDUM

Date:

October 31, 2017

File No .:

DP17-0223 - Rovised.

To:

Community Planning (LB)

From:

Development Engineering Manager (JK)

Subject:

120-144 Old Vernon Road

C2

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Ryan O'Sullivan

1. Domestic Water and Fire Protection

- a) The property is located within the Black Mountain Irrigation District (BMID)
- b) Provide an adequately sized domestic water and fire protection system complete with individual lot connections. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. Provide water calculations for this subdivision to confirm this. Ensure every building site is located at an elevation that ensures water pressure is within the bylaw pressure limits.
- c) Arrange for individual lot connections before submission of the subdivision plan; including payment of connection fees (provide copy of receipt).
- d) Remove or relocate any existing service connections encroaching on the proposed lots.
- Design drawings must be reviewed by the Black Mountain Irrigation District prior to the City issuing the drawings for construction. Confirmation of their review must be provided to the City.

Sanitary Sewer

- (a) Our records indicate that this proposed development site is connected with a 150mm diameter sewer service. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing service and the installation of one new larger service if necessary.
- (b) One of the two sanitary service connections to consolidated lots must be removed.

City of

В

2 -

Planner Initials

(c)

ATTACHMENT

TΑ

Kelownadministration fee of \$250.00 is required for 120 Old Vernon Road.

Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision, Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.
- (b) Only one service will be permitted for this development. The applicant, at his cost, will arrange for the installation of one new overflow service if required.

4. Road Improvements

- (a) Old Vernon road frontages will be taken care of with MOTi 6 laning project.
- (b) Rutland Road service road will be closed from accessing Hwy 97 to the north and right in, right out onto Old Vernon road. These upgrades will be under the Hwy 97 6 Laning project with MOTi.
- (c) A right in, right out access from Old Vernon road and access from Rutland road service road will be only points of access to development.
- (d) Frontage on both Old Vernon road and Rutland service road must be landscaped to City of Kelowna By-Law 9700.

Transportation

- a) These Development Engineering comments/requirements are subject to the review and requirements from the Ministry of Transportation (MOT) Infrastructure Branch.
- 3.0m of frontage from both 120-144 Old Vernon Road will have to be dedicate to road right of way.

6. Subdivision

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

7. Electric Power and Telecommunication Services

- a) All proposed distribution and service connections are to be installed underground.
- b) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.



Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the city engineering department for review and marked "issued for construction" by the city engineer before construction may begin.

9. Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.



As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install pisometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

12. Development Permit and Site Related Issues

Access and Manoeuvrability

- (i) An WB 20 size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways.
- (ii) Indicate on the site, the locations of loading bays as well as the garbage and recycle bins.

James Kay, P. Eng

Development Engineering Manager

ŔΟ

Development Permit & Development Variance Permit



This permit relates to land in the City of Kelowna known as Lot 1, Section 2, Township 23, ODYD, Plan 7301 located at 120 Old Vernon Road, Kelowna, BC; and Lot A (X26413), Section 2, Township 23, ODYD, Plan 7301, located at 144 Old Vernon Road, Kelowna, BC;

and permits the land to be used for the following development:

Food Primary Establishment with Drive-in Food Services.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

<u>Date of Decision:</u> May 29, 2018 <u>Decision By:</u> City Council

Issued Date:

<u>Development Permit Area:</u> Comprehensive Development Permit Area

This permit will not be valid if development has not commenced by May 29, 2019.

Existing Zone: C2 – Neighbourhood Commecial

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Serra Holdings (No. 9) Ltd., Inc. No. 0950182

Applicant: Urban Design Group Architects Ltd.

Community Planning & Strategic Investments

Ryan Smith Date:
Community Planning Department Manager

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$83,480.50;

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

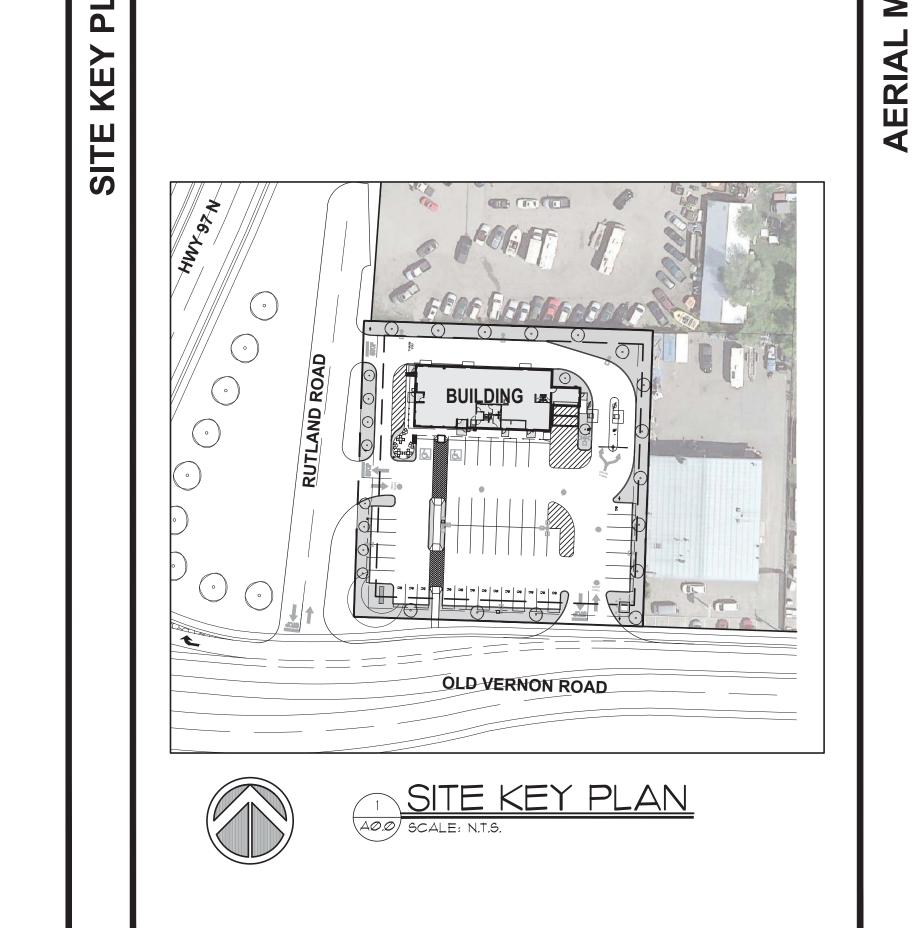
All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



COMMERCIAL DEVELOPMENT

120 & 144 OLD VERNON ROAD, KELOWNA, BC For SERRACAN PROPERTIES LTD.





	CONSU	ILTANTS		ARCHITECTURAL	LANDSCAPE	N
ACT LIST	OWNER OWNER CONTACT	SERRA HOLDINGS NO. 9 LTD Suite 1010 - 510 Seymour Street Vancouver, BC V6B 3J5 SERRACAN PROPERTIES LTD. Eaman Rezvani, Development Coordinator Suite 1010 - 510 Seymour Street Vancouver, BC V6B 3J5		A-0.0 COVER SHEET A-0.1 CONTEXT PLAN A-1.1 SITE PLAN A-1.1C COLOURED SITE PLAN A-1.2 SITE SIGNAGE PLAN	L1.1 CONCEPTUAL LANDSCAPE PLAN	ORMATIO
CONT	ARCHITECT	Phone: 604-683-0066 ext. 109 Email: erezvani@serracan.com URBAN DESIGN GROUP ARCHITECTS LTD. Paul Chiu, Architect AIBC, Principal *420 - 145 Thurlow Street Vancouver, BC V6E 0C5 Phone: 604-681-2334 E-mail: paulc@udga.com	DRAWI	A-1.3 SITE PLAN CONSTRUCTION STAGING A-2.1 FLOOR PLAN A-2.2 ROOF PLAN A-3.1 ELEVATIONS A-3.1C COLOURED ELEVATIONS A-3.2 BUILDING SIGNAGE	ELECTRICAL E1.0 SITE PLAN E2.0 ONE LINE DIAGRAM	ECT INFO
	CIVIL	STANTEC Jordan Peterson, EIT 400-1620 Dickson Avenue, Kelowna, BC VIY 9Y2 Phone: 250-470-4490 E-mail: Jordan.Peterson@stantec.com		A-3.3 MATERIALS AND FINISHES A-3.4 RENDERINGS	E3.0 SPECIFICATIONS	PROJE
	ELECTRICAL	NEMETZ (S/A) & ASSOCIATES LTD. Steve Nemetz, P.Eng Darren Neuman, Project Contact 2009 West 4th Avenue, Vancouver, BC V6J IN3 Phone:604-736-6562 Fax: 604-736-9805 E-mail: darren@nemetz.com				
	SURVEYOR	ALLTERRA LAND SURVEYING LTD. Linden Fritsch, BCLS CLS 202 - 586 Leon Avenue Kelowna, BC VIY 6J6 Phone: (250) 762-0122 E-mail: Ifritsch@allterrasurvey.ca			CIVIL C101 SITE SERVICING & SITE GRADING PLANS C111 WB-19 TURNING MOVEMENT	
	LANDSCAPE ARCHITECT	OUTLAND DESIGN LANDSCAPE ARCHITECTURE Fiona Barton, MBCSLA, CSLA 206-1889 Spall Road, Kelowna, BC VIY 4R2 Phone: 250-868-9270 E-mail-fiona qoutland design.ca			C112 WB-19 TURNING MOVEMENT)
	STRUCTURAL	WEILER SMITH BOWERS Darryl Bowers, P. Eng #18-3855 Henning Drive Burnaby, BC, V5C 6N3 Phone: 604-294-3753 Fax: 604-294-3754 E-mail: bowers@wsb-eng.com				
	MECHANICAL	BYCAR ENGINEERING LTD. Daryl Keturakis, P. Eng. 105a - 7808 132nd Street Surrey, BC, V3W 4N1 Tel: 604-591-2766 Fax:604-591-2733 E-mail: darylk@bycar.ca				

GEN	ERAL	NOTE:	

DETERMINATION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES.

CIVIC ADDRESS

120 & 144 OLD VERNON ROAD, KELOWNA, BC

LEGAL DESCRIPTION

LOT 1, SECTION 2, TOWNSHIP 23, ODYD, PLAN 7301 AND LOT A (X26413), SECTION 2, TOWNSHIP 23, ODYD, PLAN 7301.

ZONING

C2 - NEIGHBOURHOOD COMMERCIAL

DEVELOPMENT PERMIT APPLICATION FOR:

PROPOSED SINGLE STOREY COMMERCIAL BUILDING WITH DRIVE-THROUGH FACILITIES AND SITE WORKS.

COVER SHEET

architects Ital

420 - 745 THURLOW ST VANCOUVER, BC V6E0C5 TELEPHONE (604) 687:2334

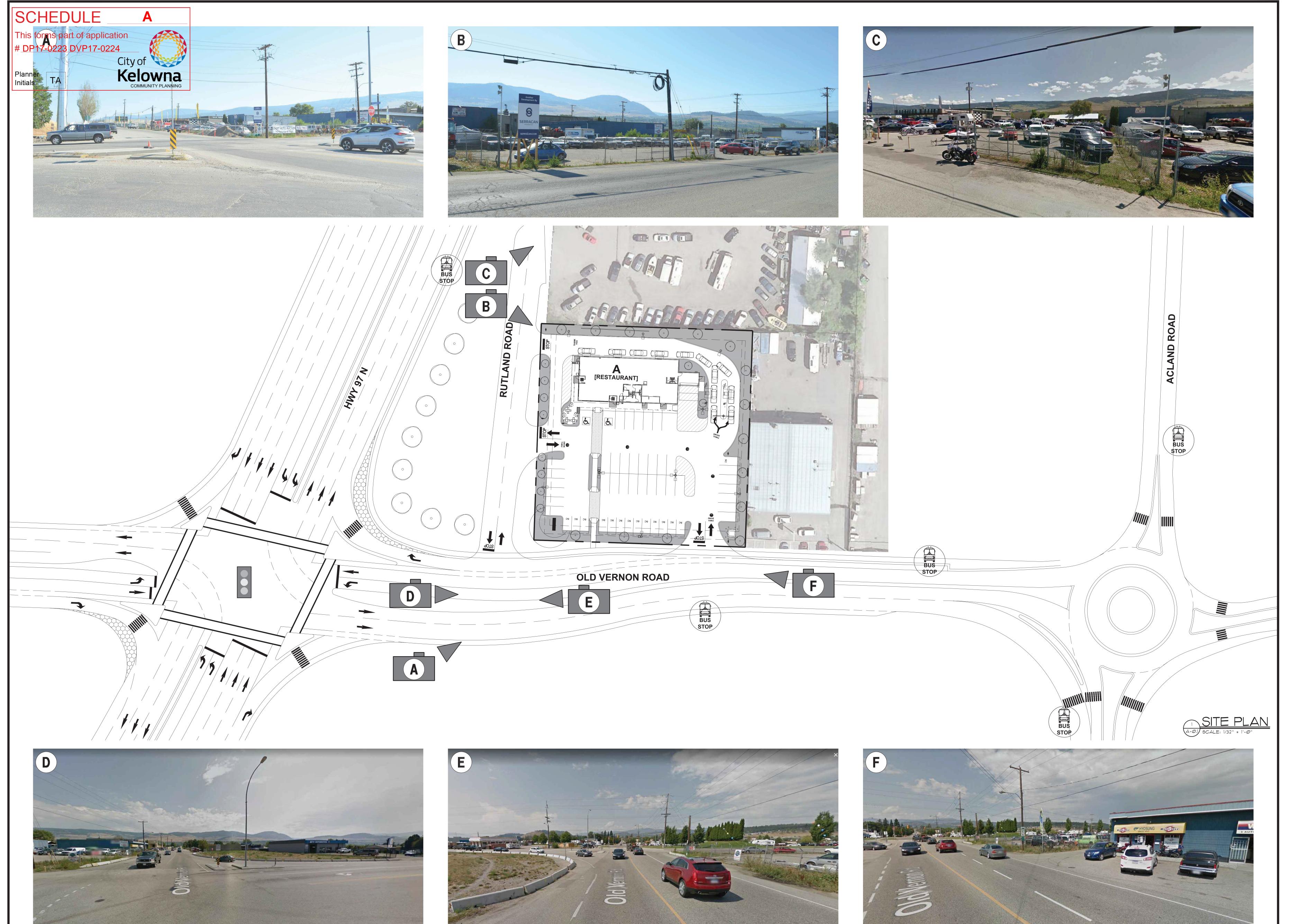
scale
AS NOTED

drawn
YG/CDC

checked
AV

P:\4206\4206A-000.dwg PRINTED BY WS114 ON January 19, 2018 11:13:41 AM

This drawing, as an instrument of service, is the property of Urban Design Group Architects Ltd., and may not be reproduced, copied or loaned without written permission. All designs, concepts, and other in— formation shown on this drawing, are for use on this project only, and shall not be used otherwise without written



2 18/01/19 ISSUED FOR DP 1 17/09/28 ISSUED FOR DP 0 yy/mm/dd description

revisions

This drawing, as an instrument of service, is the property of Urban Design Group Architects Ltd., and may not be reproduced, copied or loaned without written permission.

All designs, concepts, and other information shown on this drawing, are for use on this project only, and shall not be used otherwise without written permission.

COMMERCIAL DEVELOPMENT 120 & 144 OLD VERNON ROAD, KELOWNA, BC For SERRACAN PROPERTIES LTD.



architects Ito.

420 - 745 THURLOW ST VANCOUVER, BC V6E 0C5 TELEPHONE (604) 687:2334

project number 4206
sheet title
CONTEXT
SITE PLAN

scale AS NOTED drawn CDC checked AV

SITE INFORMATION:	GROSS FLOOR AREAS:	PARKING REQUIREMENTS:	PARKING SIZES:	
LEGAL DESCRIPTION: LOT 1, SECTION 2, TOWNSHIP 23, ODYD, PLAN 7301 AND LOT A (X26413), SECTION 2, TOWNSHIP 23, ODYD, PLAN 7301. CIVIC ADDRESSES: 120 & 144 OLD VERNON ROAD, KELOWNA, BC ZONING: C2 - NEIGHBOURHOOD COMMERCIAL	BUILDING A [D/T REST.]: 4,421 SF TOTAL BUILDING AREA: 4,421 SF	DRIVE-IN FOOD SERVICES: 2.5 PER 100SM (1,076SF); MINIMUM 5	REGULAR CAR STALL (BYLAW MINIMUM) REGULAR CAR STALL (PROVIDED SIZE) HANDICAP CAR STALL (1 PER 100 STALLS) SMALL CAR STALL (BYLAW MIN. (MAX 40%)) SMALL CAR STALL (PROVIDED SIZE) SMALL CAR STALL (PROVIDED SIZE) SMALL CAR STALL (PROVIDED SIZE) 8'-3" (2.5m) x 19'-8" (6.0m) 7'-6" (2.3m) x 15'-9" (4.8m) 8'-3" (2.5m) x 16'-5" (5.0m)	OAD N OAD N OAD N
LOT AREA: LOT 1: 21,625 SF (0.5 ACRES) LOT A: 20,867 SF (.0479 ACRES)	PARKING REQUIREMENTS:	41	CAR STALL (ADJ. TO STRUCTURE - ONE SIDE) 8'-10" (2.7m) x 19'-8" (6.0m) CAR STALL (ADJ. TO STRUCTURE - TWO SIDE) 9'-10" (3.0m) x 19'-8" (6.0m)	SITE SITE
TOTAL AREA: 42,492 SF (0.979 ACRES) BUILDING AREA: 4,421 SF	TOTAL PARKING REQUIRED: 11 STALLS TOTAL PROPOSED PARKING: 51 STALLS	PARKING CALCULATIONS (MUST ROUND UP):	LOADING SPACE (MINIMUM SIZE) 9'-10" (3.0m) x 30'-0" (9.2m) MANOEUVERING AISLE(REGULAR STALL) 23'-0" (7.0m)	OLD VERNON ROAD
LOT COVERAGE: 4,421 SF/ 42,492 SF X 100% = 10.4%	PARKING RATIO: 11.5 STALLS/1,0005	<u>DRIVE-IN FOOD SERV.</u> : (4,421 SF / 1,076 SF) x 2.5 = 10.27		
GENERAL NOTE: BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY BURVEY PRIOR TO THE DETERMINATION OF DIMENSIONS				
SCHEDULE A			ENGLIEF:	2 A-1.1 SCALE: N/A NORTH
City of Kelowna Community Planning				
		DIRECTIONAL SIGN SIGN SIGN	62.1M [203'-8"] BUILDING & LANDSCAPE SETBACK 3M (9'-10") LIGHT STANDARD PROPERTY IS A CONTROL OF THE PROPERTY IS A CONTROL OF TH	INE LIGHT STANDARD Wood
		BOLLARD BOLLARD 0.2M[37]	5M	LAND.
		Dead End 3.5M GARBAGE RECEPTABLE PULL FORWARD STALLS C/W SIGNAGE (x2)	2.8M PRESENT SOOTH 37.4M BOOTH [9'-2"] [6'-8"] 29.3M Service 8 [96'-3"] INTERNAL GARBAGE RECYCLING	21.2M 3 A A A A A A A A A A A A A A A A A A
		CLASS II BIKE RACK (5/STALLS) DIRECTIONAL SIGN	[RESTAURANT] 4,421 SF CONCRETE APRON Concrete [20] Conc. SIDEWALK SO TO CONCRETE APRON Conc. SIDEWALK Co	SPEAKER BOX C/W CANOP 3.7M 1.8M 3.2M [12" [6"] [12] DIGITAL PRE-SELL MENU BOARD CONCRETE ISLAND
		PROPERTY LINE PROPOSED ACCESS DIRECTIONAL SIGN	BARBAGE RECEPTABLE WO'L Service Box RAMP MOBILE ORDER STALLS C/W SIGNAGE (x3)	HEIGHT RESTRICTOR BAR REDUCED HEIGHT BOLLARD (3FT) LIGHT STANDARD THRU DRIVE THRU
		SIDE YARD SETBACK IF 1 TO 1.5 STOREYS	3.6M GARBAGE RECEPTABLE LIGHT STANDARD SINGE SIN	\$\frac{3.0M}{[9'-10"]} = \text{EXISTING} \\ \frac{5.2M}{[17'-2"]} = \text{SIDE YARD SETBACK} \\ \text{IF 1 TO 1.5 STOREYS}
		SIDE YARD SETBACK IF 2 TO 2.5 STOREYS LIGHT STANDARD BUILD 4.5M ([3'-4"] [5] [3'-4"] EXISTING PROPERT LINE OING SETBACK TOTAL PARKING = SET STALLS 51 STALLS	7.0M [23'] LIGHT STANDARD SIDE YARD SETBACK F 2 TO 2.5 STOREYS PAINTED D
		SETBACK 3M (9'-10") Service Box Vent Ppe	Delication Delicat	DRIVE SETBACK 3M (9'-10") LAND. P.M.T. DIRECTIONAL SIGN
		Water Valve Water Valve PROPOSED PYLON SIGN	62.1M RECEPTABLE For 1203'-8" For 1203'-8"	Water Valves 14.3M 4.6M [46'-10"] [15'-1"]
ALL TURNS SIGNALIZED INTERSECTION			OLD VERNON ROAD	
		Fog Line 1	Fog Line 1.1	
		NOTA NOTA MANAGEMENT OF THE PROPERTY OF THE PR	Gas Valve	SITE PLA

2 18/01/19 ISSUED FOR DP
1 17/09/28 ISSUED FOR DP
no yy/mm/dd description
revisions

NORTH

This drawing, as an instrument of service, is the property of Urban Design Group Architects Ltd., and may not be reproduced, copied or loaned without written permission.

All designs, concepts, and other information shown on this drawing, are for use on this project only, and shall not be used otherwise without written

COMMERCIAL DEVELOPMENT
120 & 144 OLD VERNON ROAD, KELOWNA, BC
For SERRACAN PROPERTIES LTD.

2018-01-19 COLUMBIA

architects Itol.

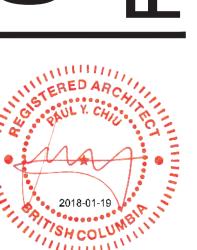
420 - 745 THURLOW ST VANCOUVER, BC V6E0C5 TELEPHONE (604) 687:2334

> ect number **4206** et title

SITE PLAN

scale AS NOTED drawn CDC checked AV

OLD VERNON ROAD





architects l

420 - 745 THURLOW ST VANCOUVER, BC V6E0C5 TELEPHONE (604) 687:2334

sheet title
SITE PLAN

scale SITE PLAN drawn CDC

This drawing, as an instrument of service, is the property of Urban Design Group Architects Ltd., and may not be reproduced, copied or loaned without written permission. All designs, concepts, and other in— formation shown on this drawing, are for use on this project only, and shall not be used otherwise without written





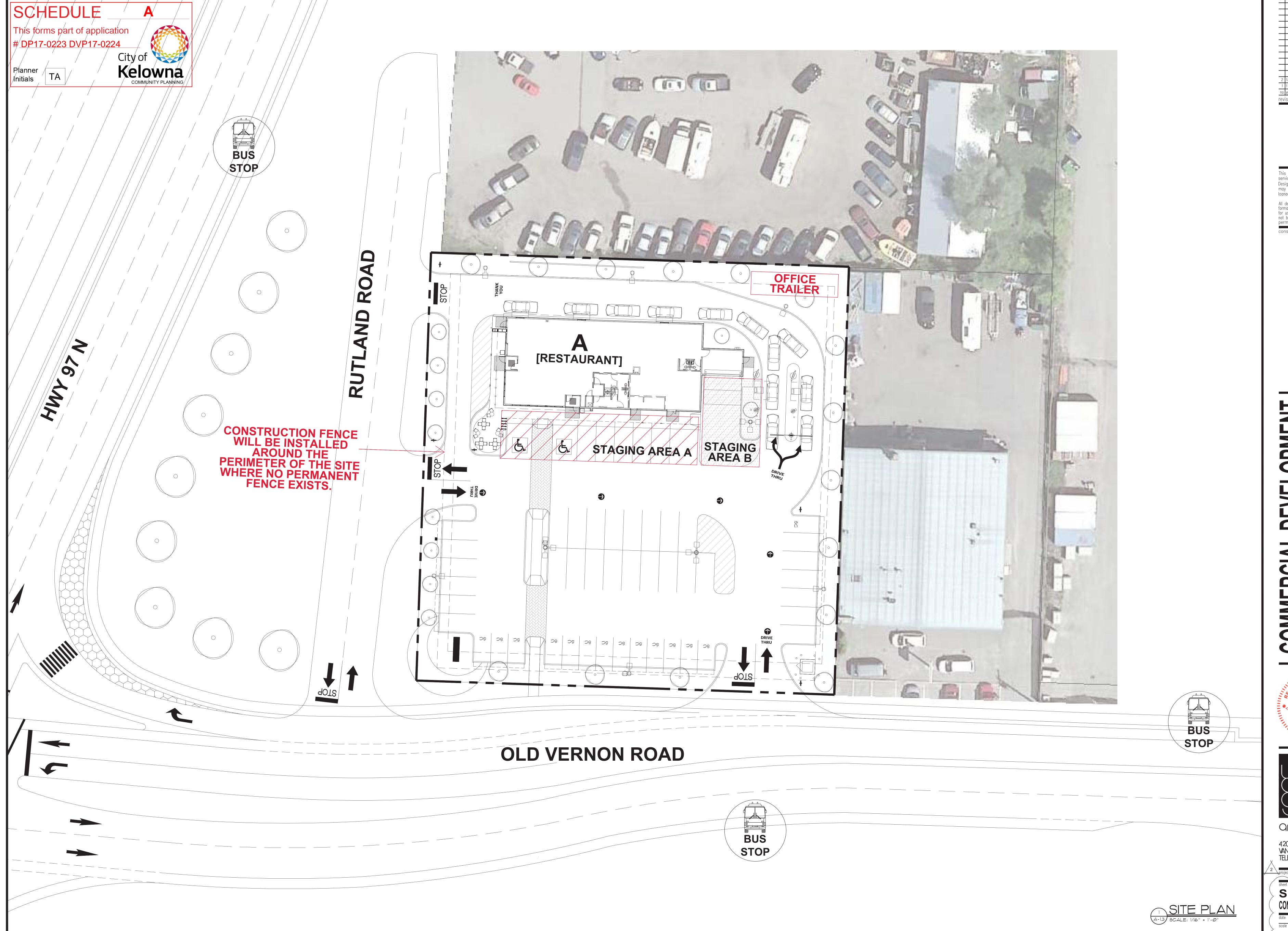
architects Ital

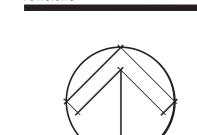
420 - 745 THURLOW ST VANCOUVER, BC V6E0C5 TELEPHONE (604) 687:2334

SITE SIGNAGE

PLAN

***SIGNAGE NOT TO SCALE**





This drawing, as an instrument of service, is the property of Urban Design Group Architects Ltd., and may not be reproduced, copied or loaned without written permission. All designs, concepts, and other in—formation shown on this drawing, are for use on this project only, and shall not be used otherwise without written permission.



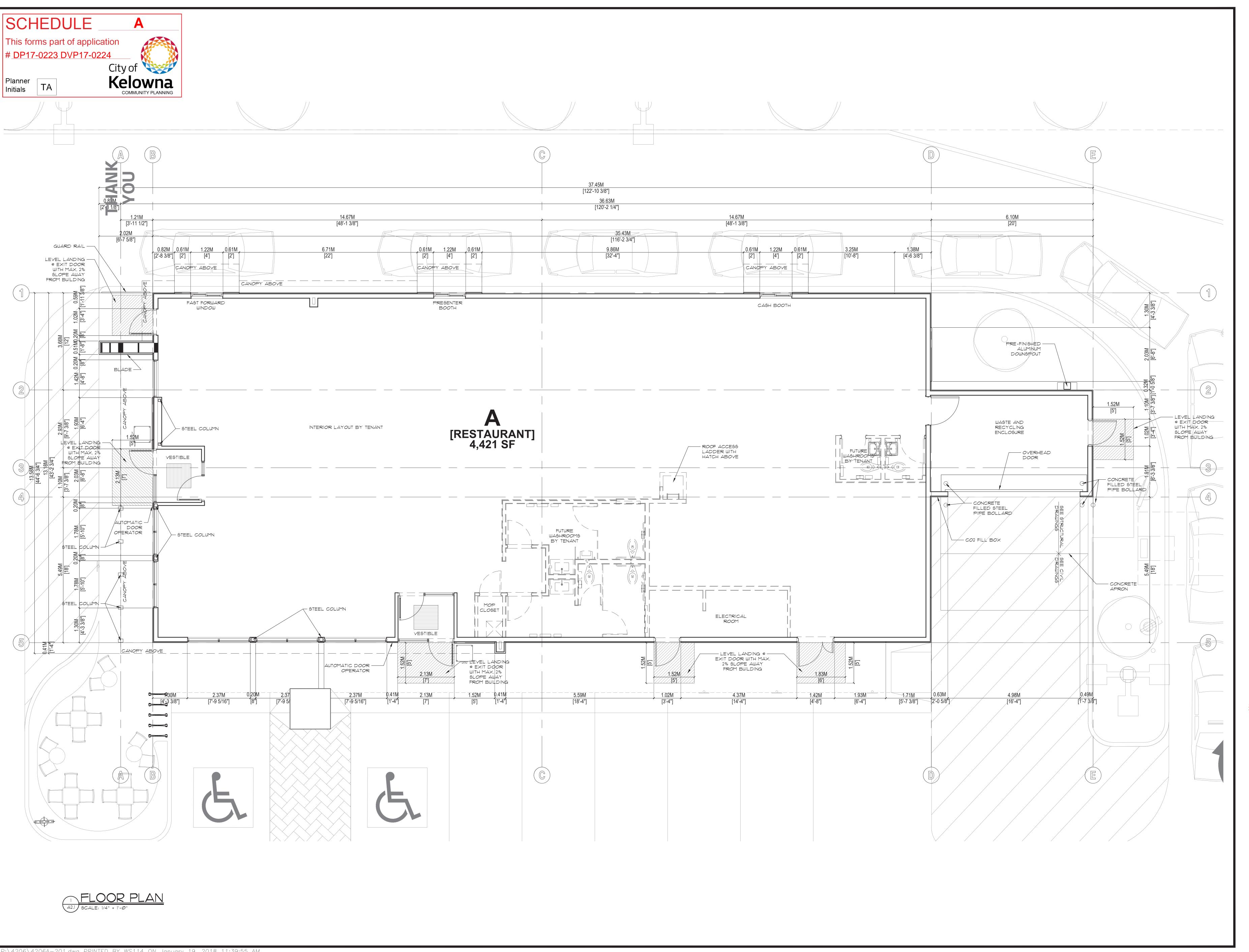


420 - 745 THURLOW ST VANCOUVER, BC V6E0C5 TELEPHONE (604) 687:2334

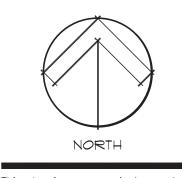
SITE PLAN CONSTRUCTION STAGING

scale AS NOTED drawn CDC checked AV

P:\4206\4206A-103.dwg PRINTED BY WS114 ON January 19, 2018 11:39:09 AM

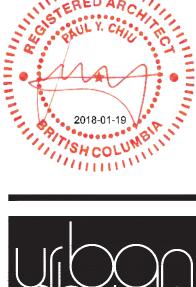


2 18/01/19 ISSUED FOR DP
1 17/09/28 ISSUED FOR DP
no yy/mm/dd description



This drawing, as an instrument of service, is the property of Urban Design Group Architects Ltd., and may not be reproduced, copied or loaned without written permission. All designs, concepts, and other in-formation shown on this drawing, are for use on this project only, and shall not be used otherwise without written

VERNON ROAD, KELOWNA, BC AN PROPERTIES I AC AC COMMEF 120 & 144 C For SERR/ For



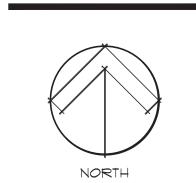


architects Itd.

420 - 745 THURLOW ST VANCOUVER, BC V6E0C5 TELEPHONE (604) 687:2334

FLOOR PLAN

P:\4206\4206A-201.dwg PRINTED BY WS114 ON January 19, 2018 11:39:55 AM



This drawing, as an instrument of service, is the property of Urban Design Group Architects Ltd., and may not be reproduced, copied or loaned without written permission. All designs, concepts, and other in— formation shown on this drawing, are for use on this project only, and shall not be used otherwise without written

VERNON ROAD, KELOWNA, BC, AN PROPERTIES L AC AC COMMEF 120 & 144 C For SERR/ For





architects Ital

420 - 745 THURLOW ST VANCOUVER, BC V6E 0C5 TELEPHONE (604)687:2334

ROOF PLAN

scale AS NOTED
drawn CDC
checked AV

P:\4206\4206A-201.dwg PRINTED BY WS114 ON January 19, 2018 11:40:11 AM



EXTERIOR MATERIAL & FINISHES

ALI MITSUBISHI ALPOLIC ACM COLOUR "BNT - WHITE"

AL2 MITSUBISHI ALPOLIC ACM COLOUR "RON-RED"

2 18/01/19 ISSUED FOR DP
1 17/09/28 ISSUED FOR DP
no yy/mm/dd description

This drawing, as an instrument of service, is the property of Urban

Design Group Architects Ltd., and

may not be reproduced, copied or

All designs, concepts, and other in-

formation shown on this drawing, are for use on this project only, and shall

not be used otherwise without written

OPME

RTIE

SP,

RNON RO N PRC

vec)

120 & SE

0

4

4

For

loaned without written permission.

COLOUR MATCH ALPOLIC MFR. "MZG-GREY"

VICWEST AD-150 METAL PANEL SYSTEM -

COLOUR MATCH ALPOLIC MFR. "MZG-GREY"

VICWEST AD-300 METAL PANEL SYSTEM COLOUR MATCH ALPOLIC MFR. "MZG-GREY"

PREFINISHED ANODIZED ALUMINUM OPEN FACE
AD METAL DOWNSPOUT AND SCUPPER W/ DE-ICING
HEAT CABLE - SEE ELECTRICAL

BLI ENDICOTT BRICK - MANGANESE IRONSPOT

ENDICOTT BRICK - GREY BLEND

ENDICOTT BRICK - EXECUTIVE IRONSPOT

INSULATED HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF ADJACENT MATERIAL

AUTOMATIC DOOR OPERATOR, (1) AT 36" A.F.F.

FB CO2 CO2 FILL BOX

GP GREASE INTERCEPTOR PORT

L LIGHT FIXTURE - SEE ELECTRICAL

MFI METAL FASCIA COLOUR "CHARCOAL GREY"

METAL FASCIA COLOUR TO MATCH MITSUBISHI
ALPOLIC ACM COLOUR "RON-RED"

METAL FASCIA COLOUR TO MATCH MITSUBISHI ALPOLIC ACM COLOUR "BNT - WHITE"

PREFINISHED MECHANICAL LOUVER - COLOUR TO MATCH ADJACENT BRICK

+ + | STEEL PIPE BOLLARD W/ SUREGUARD BOLLARD

(RMHC) COIN COLLECTOR UNIT #WPT DT2000 STD

CALL 1-888-743-7435 TO ORDER

S McDONALD'S SIGNAGE

STEEL COLUMN W/ PREFINISHED ELECTROSTATIC
COATING TO MATCH - "RON-RED"

W DBL GLAZED THERMALLY BROKEN STOREFRONT

SS SPRINKLER STANDPIPE, SIAMESE CONNECTION

GM GAS METER

BM BREAK METAL

BUILDING ADDRESS, 6" H. CHARACTERS AND 3/4"

STROKE BY G.C.

SP SPANDREL PANEL

METAL PANEL NOTES:

 GC TO PROVIDE METAL PANEL SYSTEM SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING.

• ALL DIMENSIONS SHOWN ON THIS SHEET ARE ACTUAL PANEL DIMENSIONS: ALL DIMENSIONS ARE EXTERIOR DIMENSIONS UNLESS OTHERWISE NOTED.

DIMENSIONS DO NOT ACCOUNT FOR ANY REQUIRED SPACES AND/ OR TOLERANCES REQUIRED FOR FRAMING ELEMENTS.

ALL PANEL CORNERS ARE BENT AT 90 DEGREES
UNLESS OTHERWISE SHOWN ON THESE DRAWINGS: NO

SITE BENDING ALLOWED.

PROVIDE MINIMUM 4" RETURN ON ALL CANOPY

 ALL PANELS AND SHEET METAL TO BE FABRICATED ONLY AFTER FIELD DIMENSIONS HAVE BEEN VERIFIED BY CONTRACTOR.

 GC TO ENSURE THAT ALL FRAMING DIMENSIONS SHOWN ON ISSUED FOR TENDER DRAWINGS ARE

MAINTAINED ON SITE

MAINTAINED ON SITE.

REFER TO McDONALD'S ALUMINUM COMPOSITE
METAL (ACM) PANEL SPECIFICATION.

ALL SPACING BETWEEN CONSECUTIVE METAL
PANELS TO BE 1/2"± MINIMUM SPACING BETWEEN

METAL PANELS AND ADJACENT FINISHES IS 1/2".

• REFER TO STANDARD DETAILS ON DRAWINGS A300

 DRAWINGS WERE PREPARED WITH THE INTENT OF STANDARD PANEL SIZES BEING UTILIZED # SITE ADJUSTMENT OF STANDARD PANELS REQUIRED EXPLICIT PERMISSION OF DESIGN TEAM AND NATIONAL DESIGN # SUCH ALTERATIONS MAY INDICATE PROBLEMS WITH FRAMING ELEMENTS. architects Ito.

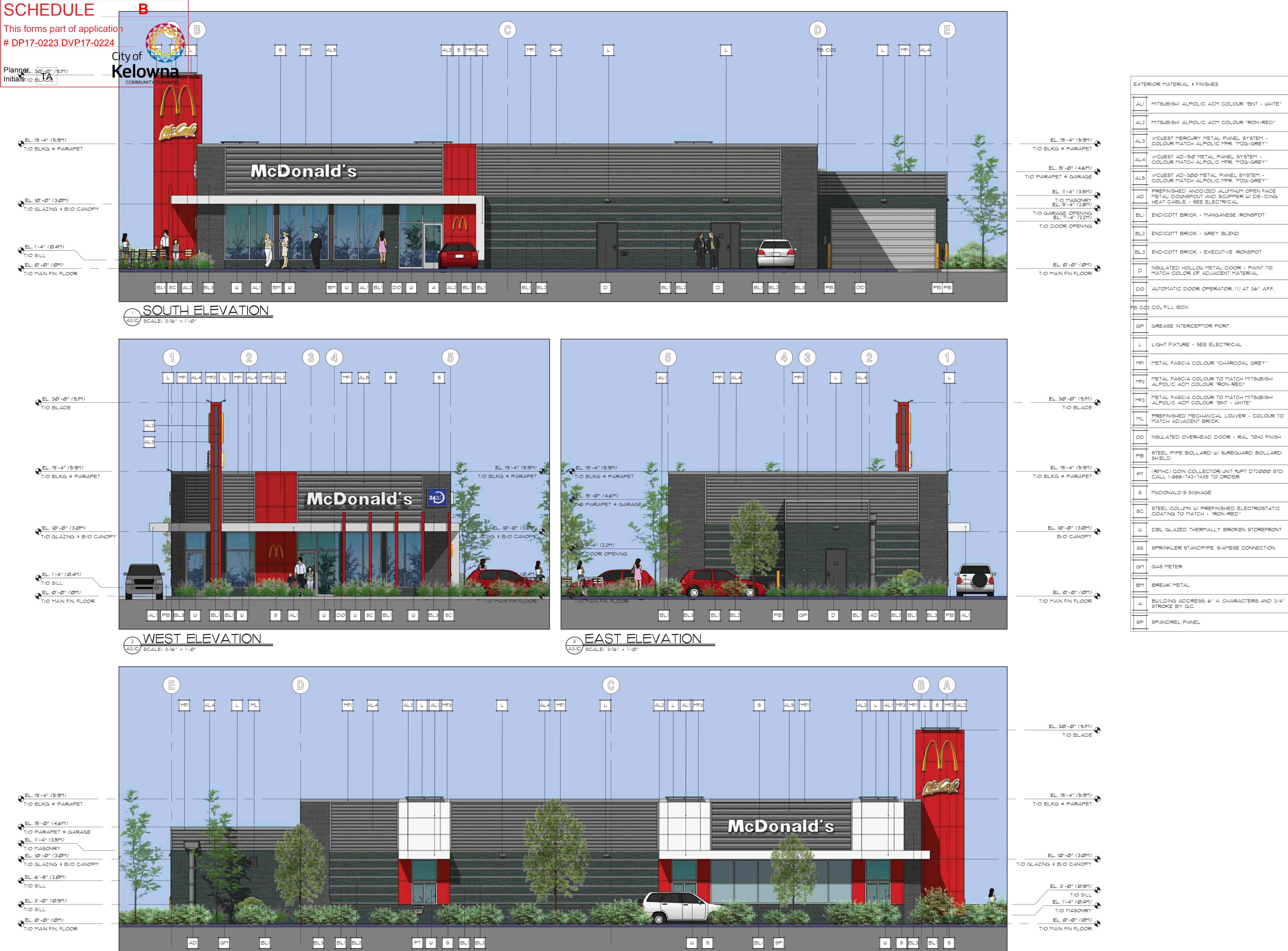
420 - 745 THURLOW ST VANCOUVER, BC V6E05
TELEPHONE (604) 687:2334

2018-01-19

date 2017-09-27 scale AS NOTED drawn CDC

ELEVATIONS

P:\4206\4206A-301.dwg PRINTED BY WS114 ON January 19, 2018 12:12:45 PM



EXTERIOR MATERIAL & FINISHES ALI MITSUBISHI ALPOLIC ACM COLOUR "BNT - WHITE" AL2 MITSUBISHI ALPOLIC ACM COLOUR "RON-RED" VICWEST MERCURY METAL PANEL SYSTEM COLOUR MATCH ALPOLIC MFR. "MZG-GREY" VICWEST AD-150 METAL PANEL SYSTEM -COLOUR MATCH ALPOLIC MFR. "MZG-GREY" VICWEST AD-300 METAL PANEL SYSTEM -COLOUR MATCH ALPOLIC MFR. "MZG-GREY" THE PREFINISHED ANODIZED ALUMINUM OPEN FACE AD METAL DOWNSPOUT AND SCUPPER W/ DE-ICING HEAT CABLE - SEE ELECTRICAL BLI ENDICOTT BRICK - MANGANESE IRONSPOT ENDICOTT BRICK - GREY BLEND ENDICOTT BRICK - EXECUTIVE IRONSPOT INSULATED HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF ADJACENT MATERIAL AUTOMATIC DOOR OPERATOR, (1) AT 36" A.F.F. FB CO2 CO2 FILL BOX GP | GREASE INTERCEPTOR PORT LIGHT FIXTURE - SEE ELECTRICAL MFI | METAL FASCIA COLOUR "CHARCOAL GREY" METAL FASCIA COLOUR TO MATCH MITSUBISHI ALPOLIC ACM COLOUR "RON-RED" METAL FASCIA COLOUR TO MATCH MITSUBISHI ALPOLIC ACM COLOUR "BNT - WHITE" PREFINISHED MECHANICAL LOUVER - COLOUR TO MATCH ADJACENT BRICK INSULATED OVERHEAD DOOR - RAL 7042 FINISH STEEL PIPE BOLLARD W/ SUREGUARD BOLLARD SHIELD (RMHC) COIN COLLECTOR UNIT #WPT DT2000 STD CALL 1-888-743-7435 TO ORDER McDONALD'S SIGNAGE STEEL COLUMN W/ PREFINISHED ELECTROSTATIC COATING TO MATCH - "RON-RED"

W 5 BL3 BL1 5

BL1 SP

ws

For

service, is the property of Urban

Design Group Architects Ltd., and

may not be reproduced, copied or

All designs, concepts, and other in-

formation shown on this drawing, are for use on this project only, and shall

not be used otherwise without written

OPMEN

VERNON ROAD, KELOWNA, JAN PROPERTIES

OFD AC

loaned without written permission.

architects Itol.

420 - 745 THURLOW ST VANCOUVER, BC V6E0C5 TELEPHONE (604) 687:2334

project number 4206 **ELEVATIONS**

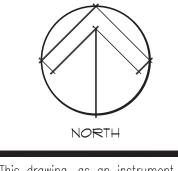
scale AS NOTED drawn CC/YG checked AV

4 NORTH ELEVATION

A3.IC SCALE: 3/16" = 1'-0"

BL3 BL1 BL2

BLI



This drawing, as an instrument of service, is the property of Urban Design Group Architects Ltd., and may not be reproduced, copied or loaned without written permission. All designs, concepts, and other information shown on this drawing, are for use on this project only, and shall not be used otherwise without written

120 & 144 OLD VERNON ROAD, KELOWNA, BC SERRACAN PROPERTIES L

For



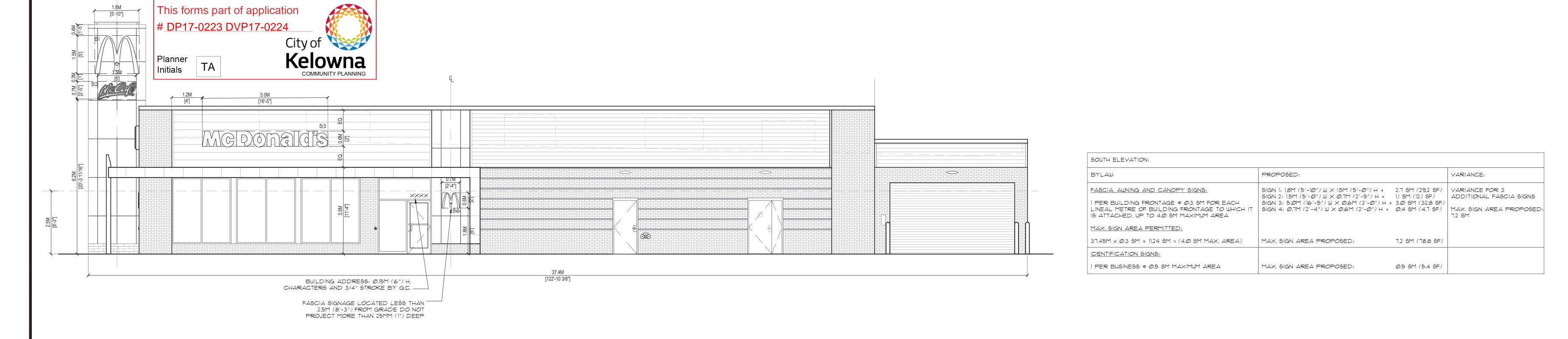
architects Ital

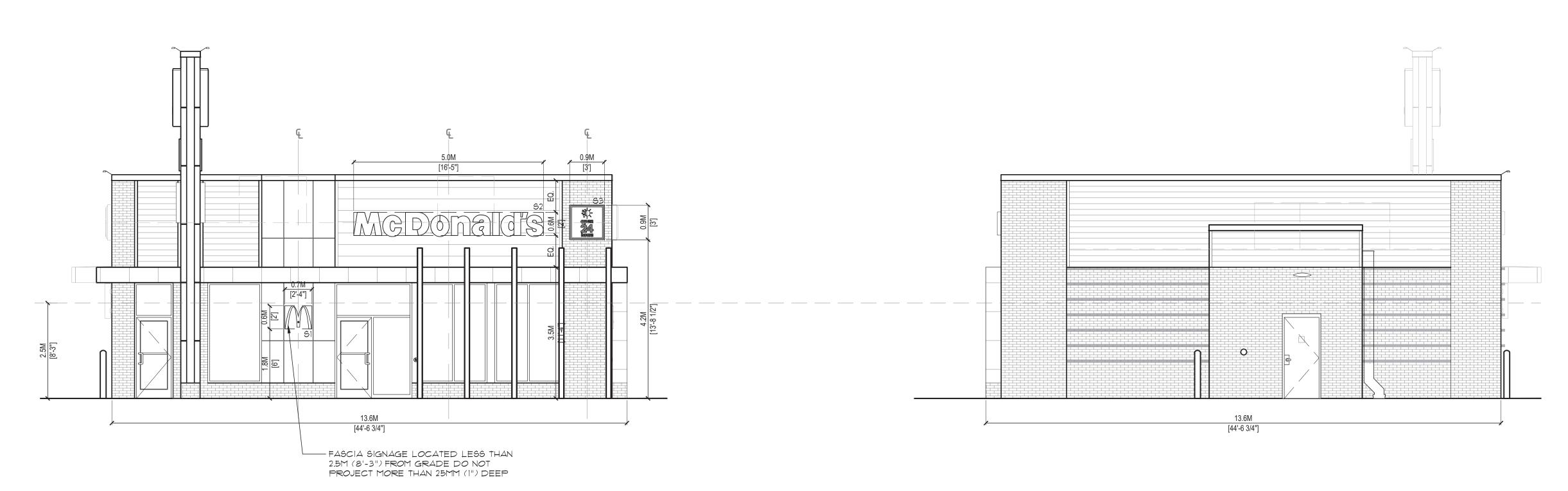
420 - 745 THURLOW ST VANCOUVER, BC V6E0C5 TELEPHONE (604) 687:2334

sheet title

BUILDING
SIGNAGE

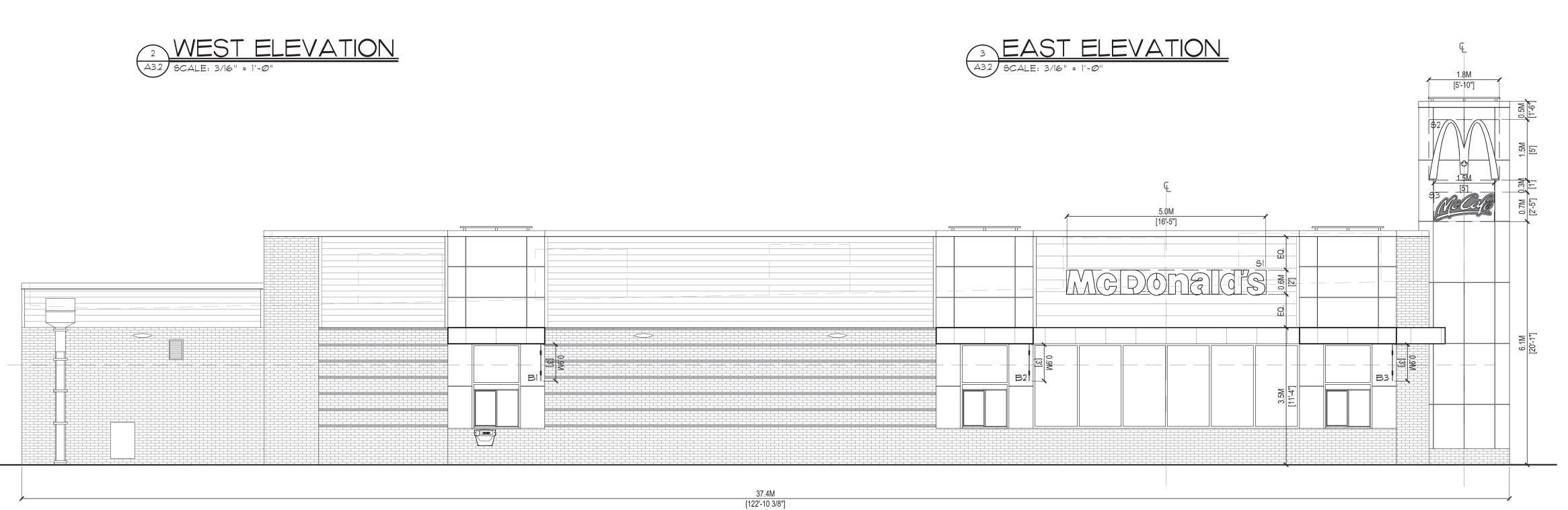
date 2017-09-27
scale AS NOTED drawn CDC
checked AV





WEST ELEVATION:			
BYLAW:	PROPOSED:		VARIANCE:
FASCIA, AWNING AND CANOPY SIGNS:	SIGN 1: Ø.7M (2'-4") W X Ø.6M (2'-0") H = SIGN 2: 5.0M (16'-5") W X Ø.6M (2'-0") H =		VARIANCE FOR 2 ADDITIONAL FASCIA SIGNS
I PER BUILDING FRONTAGE @ 0.3 SM FOR EACH	SIGN 3: 0.9M (3'-0") W × 0.9M (3'-0") H =		
LINEAL METRE OF BUILDING FRONTAGE TO WHICH IT IS ATTACHED, UP TO 4.0 SM MAXIMUM AREA			MAX. SIGN AREA PROPOSE: 4.2 SM
MAX. SIGN AREA PERMITTED:			
13.58 M × Ø.3 SM = 4.05 SM (4.0 SM MAX. AREA)	MAX. SIGN AREA PROPOSED:	4.2 SM (46.5 SF)	

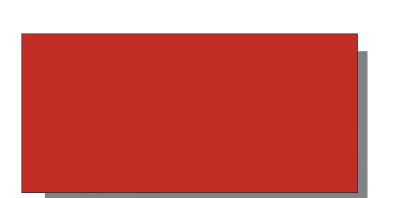
BYLAW:	PROPOSED:	VARIANCE:
FASCIA, AWNING AND CANOPY SIGNS:	NONE	N/A
I PER BUILDING FRONTAGE @ 0.3 SM FOR EACH LINEAL METRE OF BUILDING FRONTAGE TO WHICH IT IS ATTACHED, UP TO 4.0 SM MAXIMUM AREA		
MAX. SIGN AREA PERMITTED:		
13.58 M × 0.3 SM = 4.05 SM (4.0 SM MAX. AREA)		



(MS.0	0.2M	0.2M Weserved 1 # 0.9M	
	BL	4DE	SIGN ELEVATIONS:	

NORTH ELEVATION:			
BYLAW:	PROPOSED:		VARIANCE:
FASCIA, AWNING AND CANOPY SIGNS: 1 PER BUILDING FRONTAGE @ 0.3 SM FOR EACH LINEAL METRE OF BUILDING FRONTAGE TO WHICH IT IS ATTACHED, UP TO 4.0 SM MAXIMUM AREA MAX. SIGN AREA PERMITTED:	SIGN 2: 1.8M (5'-10") W X 1.5M (5'-0") H = SIGN 3: 1.5M (5'-0") W X 0.7M (2'-5") H = BLADE 1: 0.2M (8") W X 0.9M (3'-0") H=	3.0 SM (32.8 SF) 2.7 SM (29.2 SF) 1.1 SM (12.1 SF) 0.2 SM (2.0 SF) 0.2 SM (2.0 SF) 0.2 SM (2.0 SF)	VARIANCE FOR 2 ADDITIONAL FASCIA SIGNS AND 3 BLADE SIGNS MAX. SIGN AREA PROPOSED: 1.4 SM
37.45 M x Ø.3 SM = 11.24 SM = (4.0 SM MAX. AREA)	MAX. SIGN AREA PROPOSED:	7.4 SM (80.1 SF)	

SCHEDULE

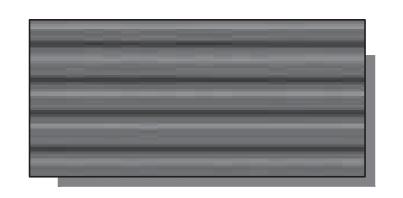






IRONSPOT

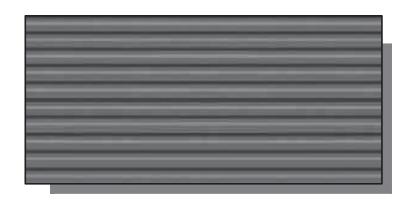
- ENDICOTT BRICK - EXECUTIVE



VICWEST AD-300 METAL PANEL SYSTEM -COLOUR MATCH ALPOLIC MFR. "MZG-GREY"



VICWEST AD-150 METAL PANEL SYSTEM -COLOUR MATCH ALPOLIC MFR. "MZG-GREY"



VICWEST AD-150 METAL PANEL SYSTEM -COLOUR MATCH ALPOLIC MFR. "MZG-GREY"



ENDICOTT BRICK - MANGANESE IRONSPOT



MITSUBISHI ALPOLIC ACM COLOUR "RON-RED"



METAL FASCIA COLOUR "CHARCOAL GREY"

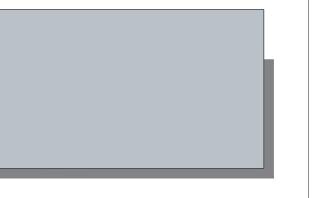


SOUTHWEST VIEW

MITSUBISHI ALPOLIC ACM COLOUR "BNT - WHITE"







PRE-FINISHED ALUM STOREFRONT **CLEAR ANODIZED**



ENDICOTT BRICK - MANGANESE IRONSPOT



- WALL SCONCE

- ENDICOTT BRICK - GREY BLEND



ENDICOTT BRICK - MANGANESE



ENDICOTT BRICK - EXECUTIVE IRONSPOT





MITSUBISHI ALPOLIC ACM COLOUR "BNT - WHITE"

420 - 745 THURLOW ST VANCOUVER, BC V6E 0C5 TELEPHONE (604)687:2334

architects Ital

project number 4206 **MATERIALS** & FINISHES

scale AS NOTED drawn YG

P:\4206\4206A-303.dwg PRINTED BY WS114 ON January 19, 2018 12:14:35 PM

This drawing, as an instrument of service, is the property of Urban Design Group Architects Ltd., and may not be reproduced, copied or loaned without written permission. All designs, concepts, and other in— formation shown on this drawing, are for use on this project only, and shall not be used otherwise without written



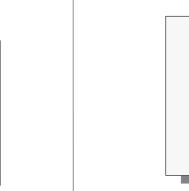


NORTHEAST VIEW

WALL SCONCE

WALL SCONCE

- ENDICOTT BRICK - GREY BLEND



SIGNAGE



NORTHWEST VIEW



SOUTHWEST VIEW



SOUTHEAST VIEW



NORTHEAST VIEW

This drawing, as an instrument of service, is the property of Urban Design Group Architects Ltd., and may not be reproduced, copied or loaned without written permission. All designs, concepts, and other in— formation shown on this drawing, are for use on this project only, and shall not be used otherwise without written permission.





architects Itd.

420 - 745 THURLOW ST VANCOUVER, BC V6E0C5 TELEPHONE (604)687:2334

project number 4206 **RENDERINGS**



OLD VERNON ROAD



206 - 1889 Spall Road Kelowna, BC V1Y 4R2 T (250) 868-9270 www.outlanddesign.ca



PROJECT TITLE

120 & 144 OLD **VERNON ROAD**

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE **PLAN**

ISS	ued for / revision	
1	17.09.15	Review
2	17.09.29	Development Permit
3	18.01.18	Development Permit
4	18.04.11	Re-Issued for Development Permit
5		

PROJECT NO	17-099
DESIGN BY	FB
DRAWN BY	MC
CHECKED BY	FB
DATE	APR. 11, 2018
SCALE	1:200



DRAWING NUMBER

ISSUED FOR REVIEW ONLY

Copyright Reserved. This drawing is the property of Outland Design Landscape Architecture Limited and shall not be reproduced, resold, or tendered without permission.

PLANT LIST

BOTANICAL NAME QUERCUS PALUSTRIS 'PRINGREEN' SORBUS AMERICANA 'DWARFCROWN' AMELANCHIER ALNOFOLIA

SHRUBS, PERENNIALS, GRASSES, GROUND COVER & VINES

ARCTOSTAPHYLOS UVA-URSI ASTILBE ARENDSII 'DEUTSCHLAND' BERBERIS THUNBERGI 'GENTRY' CORNUS STOLONIFERA 'FARROW' COTONEASTER ACUTIFOLIA ECHINACEA PURPUREA 'MAGNUS' HOSTA 'BLUE MAMMOTH' LAVANDULA ANGUSTIFOLIA 'HIDCOTE' PANICUM VIRGATUM 'ROSTRAHLBUSCH' PHYSOCARPUS OPULIFOLIUS 'MINDIA' PINUS STROBUS 'MERRIMACK' RUDBECKIA FULGIDA 'GOLDSTURM' SALVIA NEMEROSA 'MAY NIGHT' SEDUM SPECTABILE 'AUTUMN JOY' SYRINGA MEYERI 'PALIBIN' TAXUS CUSPIDATA 'NANA'

COMMON NAME GREEN PILLAR OAK

SASKATOON

RED CASCADE MOUNTAIN ASH

170 #01 CONT. /0.6M O.C. SPACING KINNIKINNICK EARLY WHITE ASTILBE 170 #01 CONT. /0.6M O.C. SPACING ROYAL BURGUNDY BARBERRY 53 #01 CONT. /1.2M O.C. SPACING ARCITC FIRE DOGWOOD 53 #01 CONT. /1.2M O.C. SPACING PEKING COTONEASTER 19 #01 CONT. /2.0M O.C. SPACING MAGNUS CONEFLOWER 42 #01 CONT. /0.6M O.C. SPACING BLUE MAMMOTH HOSTA 53 #01 CONT. /1.2M O.C. SPACING HIDCOTE ENGLISH LAVANDER 170 #01 CONT. /0.6M O.C. SPACING RED SWITCH GRASS 53 #01 CONT. /1.2M O.C. SPACING COPPERTINA NINEBARK 19 #01 CONT. /2.0M O.C. SPACING MERRIMACK EASTERN WHITE PINE 61 #01 CONT. /1.0M O.C. SPACING 110 #01 CONT. /0.75M O.C. SPACING 170 #01 CONT. /0.6M O.C. SPACING

GOLDSTURM CONEFLOWER MAYNIGHT SALVIA AUTUMN JOY STONE CROP DWARF KOREAN LILAC NANA JAPANESE YEW

170 #01 CONT. /0.6M O.C. SPACING 34 #01 CONT. /1.5M O.C. SPACING 34 #01 CONT. /1.5M O.C. SPACING

QTY SIZE/SPACING & REMARKS

23 6cm CAL.

2 6cm CAL.

4 4 cm CAL.





Wednesday, April 11, 2018

Urban Design Group Architects Ltd 420 – 745 Thurlow Street Vancouver, BC V6E OC5 Attn: Aaron Vornbrock, Principal

Re: Landscape Architectural Services Proposal – 120 & 144 Old Vernon Road Commercial Development, Kelowna BC

Dear Aaron:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the 120 & 144 Old Vernon Road conceptual landscape plan dated 18.04.11;

• 1,273 square metres (13,702 square feet) of improvements = \$83,480.50

This preliminary cost estimate is inclusive of trees, shrubs, turf, mulch, topsoil, irrigation & a five stall bike rack.

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,

Fiona Barton, MBCSLA, CSLA

as per

Outland Design Landscape Architecture

206-1889 Spall Road, Kelowna, BC, V1Y 4R2 P 250.868.9270 outlanddesign.ca

REPORT TO COUNCIL



Date: 5/7/2018

RIM No. 0940-00 & 0940-50

To: City Manager

From: Community Planning Department (AC)

Application: DP18-0009 & DVP18-0010 Owner: The Armstrong Land Corp. Inc.

No. BC1113050

Address: 1805 Pier Mac Way, 3515 Kel Mac Ct,

& 3525 Kel Mac Ct

Applicant: Krahn Engineering Ltd. –

Darren Cruikshanks

Subject: Development Permit & Development Variance Permit

OCP Designation: Industrial (IND)

Zone: CD15 – Airport Business Park (IND)

1.0 Recommendation

THAT Council authorize the issuance of Development Permit No. DP18-0009 for:

- Lot 1, Section 14, Township 23, ODYD, Plan EPP56391 located at 1805 Pier Mac Way, Kelowna, BC;
- Lot 2, Section 14, Township 23, ODYD, Plan EPP56391 located at 3515 Kel Mac Ct, Kelowna, BC; &
- Lot 3, Section 14, Township 23, ODYD, Plan EPP56391 located at 3525 Kel Mac Ct, Kelowna, BC.

subject to the following:

- 1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
- 2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
- 3. Landscaping to be provided on the land to be in general accordance with Schedule "C";
- 4. That the applicant be required to post with the City, a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;
- 5. That the applicant consolidates the lots prior to Development Permit issuance and update the legal description of the resulting lot in order for the Development Permit and Development Variance Permit to be registered on the consolidated lot.

AND THAT Council authorize the issuance of Development Variance Permit DVP18-0010 for:

- Lot 1, Section 14, Township 23, ODYD, Plan EPP56391 located at 1805 Pier Mac Way, Kelowna, BC;
- Lot 2, Section 14, Township 23, ODYD, Plan EPP56391 located at 3515 Kel Mac Ct, Kelowna, BC; &
- Lot 3, Section 14, Township 23, ODYD, Plan EPP56391 located at 3525 Kel Mac Ct, Kelowna, BC

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted:

S.8 Table 8.1 Parking Schedule

To vary the minimum number of parking stalls provided from 55 stalls to 20 stalls.

AND THAT the Development Permit and Development Variance Permit is issued subsequent to the outstanding conditions set out in Attachment "A" attached to the Report from the Community Planning Department dated May 7th 2018;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit application in order for the permit to be issued;

AND FURTHER THAT the Development Permit and Development Variance Permit be valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To review the Form & Character Development Permit of a phased self-storage facility, outdoor storage, and fleet services project.

3.0 Community Planning

Staff are recommending support for the proposed Development Permit and associated variance due to the proposal's consistency with the majority of the Official Community Plan's (OCP) urban design guidelines. Overall, the form and character of this self-storage industrial building is above average compared to other existing self-storage buildings in Kelowna. The proposed reduction in parking is in keeping with the operational needs of self-storage businesses.

3.1 <u>Development Permit</u>

The buildings are mainly one storey in height and fit within the massing and height regulations of the CD15 zone. The layout of the various proposed buildings work well with the sloping topography on-site as well as the building orientation facing Hwy 97 and the public realm. The quality of the elevations facing Pier Mac Way and Highway 97 are most important due to their high profile nature. In response, the applicant is proposing site-cast tilt panel construction intended to be durable and substantial in appearance. The building design is in a contemporary modern style with flat roofs. Visual interest and detailing is provided through the stepping nature of the individual units along the sloping grades, variation in roof heights, parapet projects, corner accents and colours, and graphics and surface textures along the principal elevations. Overall, the colours and materials of the development are consistent with other recent developments in the Airport Village area including the commercial development to the south of the site.

The landscape design meets the requirements of the CD15 zone including the minimum 20% coniferous tree species requirement in order to provide seasonal year round interest. The amount of landscaping is increased at the corner of Pier Mac and Kel Mac near the main office building and the primary public entry. As well, significant tree plantings are proposed along the Highway 97 road frontage.

3.2 Development Variance Permit:

The intended land use (self-storage) is compliant with the current CD15 zone designation in all regulations except parking which is proposed to be reduced from the required 55 to 20 stalls due to the specific purpose of the development. As is evident with many self-storage facilities across the City, they generate a much lower need for formal parking than the Zoning Bylaw states. The applicant is proposing over-width internal drive isles which provide opportunity for users of the facility to park directly in front of their storage unit for easier transfer of storage items. The 20 parking spaces that are provided on-site will primarily serve the small sales office immediately adjacent to the access frontage, both employees and customers.

4.0 Proposal

4.1 <u>Project Description</u>

The proposed self-storage facility occupies approximately 2.1 hectares of land. The development consists of ten buildings to be constructed in two phases. The site will be fully secured and access to the storage buildings (with the exception of the office use) will be controlled. Since the south half of the street elevation is designated for phase 2 of the development, the project will provide an enhanced graphic fencing until the entire elevation is unified at the conclusion of phase 2. In the meantime, the phase 2 area will be occupied by outdoor storage and 'The National' car rental fleet. Currently, 'The National' has an office location in the Airport Village commercial area and they will need to relocate once phase 2 of this project occurs as the storage of their vehicles is not permitted in the commercial CD15 zone (i.e. the Airport Village commercial lot).

4.2 Site Context

The subject parcels are located within the Airport Business Park area. The subject property is designated as Industrial (IND) in the OCP and the lot is within the Permanent Growth Boundary. Specifically, the adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	CD15 - Airport Business Park (Industrial)	Vacant / Industrial
East	CD12 Airport	Airport
South	CD15 - Airport Business Park (Commercial)	Airport Village (Strip Mall)
West	CD15 - Airport Business Park (Industrial)	Vacant / Industrial

Subject Property Map: 1805 Pier Mac Way, 3515 Kel Mac Ct, & 3525 Kel Mac Ct



4.3 Zoning Analysis Table

Zoning Analysis Table					
CRITERIA	CD15 ZONE REQUIREMENTS	PROPOSAL			
	Development Regulations				
Height	18.0 m / 4 storeys	6.62 m / 1 storey			
Front Yard (Pier Mac Way)	6.0m	6.0m			
Side Yard (north)	0.0 m	4.55m			
Side Yard (south)	0.0 m	0.0m			
Rear Setback (Hwy 97)	Min 7.0m Max 10.0m	7.0m			
Site coverage of buildings	n/a	43.64%			
FAR	1.5 Max	0.44			
	Parking Regulations				
Minimum Parking Requirements	55 stalls	20 stalls •			
Minimum Loading spaces	2 spaces	2 spaces			

Zoning Analysis Table					
CRITERIA	CD15 ZONE REQUIREMENTS	PROPOSAL			
Ratio of Parking Stalls	Full size: 50% Min Medium Size: 40% Max Small Size: 10% Max	Full size: 100% (6 stalls) Medium Size: 0% (0 stalls) Small Size: 0% (0 stalls)			
Minimum Drive Aisle Width	7.0 m	7.0 m			
Setback (Parking) from a property line abutting a street	2.0 m	3.05m			
Other Regulations					
Landscape Buffer	3.0 m	>3.0 m			
Minimum Percentage of coniferous trees	20%	20%			
Primary Building Facades	Min 30% glazing or other relief	>30% glazing or other relief			
Variance requested to red	Variance requested to reduce the number of parking stalls.				

5.0 Current Development Policies

5.1 <u>Kelowna Official Community Plan (OCP)</u>

DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Section 14.A. of the City of Kelowna Official Community Plan relating to Comprehensive Development Permit Areas:

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Authenticity and Regional Expression			
Do landscaping and building form convey a character that is distinct to Kelowna and the Central Okanagan?	х		
Are materials in keeping with the character of the region?	x		
Are colours used common in the region's natural landscape?	x		
Does the design provide for a transition between the indoors and outdoors?	х		
Context			
Does the proposal maintain the established or envisioned architectural character of the neighbourhood?	х		
Does interim development consider neighbouring properties designated for more intensive development?	х		
Are façade treatments facing residential areas attractive and context sensitive?			Х
Are architectural elements aligned from one building to the next?	х		
For exterior changes, is the original character of the building respected and enhanced?			х

Is the design unique without visually dominating neighbouring buildings?	x		
For developments with multiple buildings, is there a sense of architectural unity and cohesiveness?	х		
Relationship to the Street			
Do buildings create the desired streetscape rhythm?	х		
Are parkade entrances located at grade?			x
For buildings with multiple street frontages, is equal emphasis given to each frontage?	х		
Massing and Height			
Does the design mitigate the actual and perceived mass of buildings?	х		
Does the height consider shading and view impacts for neighbouring properties and transition to less intensive areas?	х		
Human Scale		Т	1
Are architectural elements scaled for pedestrians?	х		
Are façades articulated with indentations and projections?	х		
Are top, middle and bottom building elements distinguished?			Х
Do proposed buildings have an identifiable base, middle and top?			Х
Are building facades designed with a balance of vertical and horizontal proportions?	х		
Are horizontal glazed areas divided into vertically proportioned windows separated by mullions or building structures?	х		
Does the design incorporate roof overhangs and the use of awnings, louvers, canopies and other window screening techniques?	х		Х
Is the visual impact of enclosed elevator shafts reduced through architectural treatments?			Х
Exterior Elevations and Materials		l	1
Are buildings finished with materials that are natural, local, durable and appropriate to the character of the development?	Х		
Are entrances visually prominent, accessible and recognizable?	Х		
Are higher quality materials continued around building corners or edges that are visible to the public?	х		
Are a variety of materials used to create contrast, enhance the pedestrian environment and reduce the apparent mass of a building?	х		
Are elements other than colour used as the dominant feature of a building?	Х		
Public and Private Open Space		l	1
Does public open space promote interaction and movement through the site?	Х		

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Are public and private open spaces oriented to take advantage of and protect from the elements?	Х		
Is there an appropriate transition between public and private open spaces?	Х		
Are amenities such as benches, garbage receptacles, bicycle stands and community notice boards included on site? Site Access			Х
Is the safe and convenient movement of pedestrians prioritized?			Х
Are alternative and active modes of transportation supported through the site design?			х
Are identifiable and well-lit pathways provided to front entrances?	Х		
Do paved surfaces provide visual interest?	х		
Is parking located behind or inside buildings, or below grade?	х		
Are large expanses of parking separated by landscaping or buildings?	х		
Are vehicle and service accesses from lower order roads or lanes?	х		
Do vehicle and service accesses have minimal impact on the streetscape and public views?	Х		
Is visible and secure bicycle parking provided in new parking structures and parking lots?			Х
Environmental Design and Green Building			
Does the proposal consider solar gain and exposure?			Х
Are green walls or shade trees incorporated in the design?			Х
Does the site layout minimize stormwater runoff?			Х
Are sustainable construction methods and materials used in the project?	unknown		n
Are green building strategies incorporated into the design?		Х	
Decks, Balconies, Rooftops and Common Outdoor Amenity Space			
Are decks, balconies or common outdoor amenity spaces provided?			x
Does hard and soft landscaping enhance the usability of decks, balconies and outdoor amenity spaces?			х
Are large flat expanses of roof enhanced with texture, colour or landscaping where they are visible from above or adjacent properties?			Х
Amenities, Ancillary Services and Utilities			
Are loading, garage, storage, utility and other ancillary services located away from public view?	х		
Are vents, mechanical rooms / equipment and elevator penthouses integrated with the roof or screened with finishes compatible with the building's design?			Х

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO	N/A
Crime prevention			
Are CPTED practices as related to landscaping, siting, form and exterior design included in the design?			х
Are building materials vandalism resistant?	unknown		
Universal Accessible Design			
Is access for persons with disabilities integrated into the overall site plan and clearly visible from the principal entrance?	х		
Are the site layout, services and amenities easy to understand and navigate?	x		
Signs			
Do signs contribute to the overall quality and character of the development?	х		
Is signage design consistent with the appearance and scale of the building?	х		
Are signs located and scaled to be easily read by pedestrians?	х		
For culturally significant buildings, is the signage inspired by historical influences?			х
Lighting		•	1
Does lighting enhance public safety?	х		
Is "light trespass" onto adjacent residential areas minimized?			Х
Does lighting consider the effect on the façade, neighbouring buildings and open spaces?			Х
Is suitably scaled pedestrian lighting provided?			х
Does exterior street lighting follow the International Dark Sky Model to limit light pollution?	х		

6.0 Technical Comments

6.1 <u>Building & Permitting Department</u>

- a) Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s).
- b) Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- c) A Hoarding permit is required and protection of the public from the staging area and the new building area during construction.
- d) A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - Any alternative solution must be accepted by the Chief Building Inspector prior to the release of the Building Permit.
 - Location, Heights, Colours of mechanical systems and the required screening are to be determined at time of DP

- Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
- Access to the roofs are required per NFPA and guard rails may be required and should be reflected in the plans if required.
- Additional man doors are required to meet exiting requirements
- o Building setbacks may be affected once code analysis is provided which may affect the ability to issue a permit and may require amendment to the DP. We have tried for over two weeks to contact the architect of record. If the Architect is attempting to use the Alberta Standata for mini storages as the basis of alternative solution discussions should occur since changes may be required to the layouts.
- This property falls outside of the 10-minute response time outlined in BCBC for the fire department which will affect setbacks and spatial allowances
- e) A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. Minimum building elevations are required to be established prior to the release of the Development Permit. If a soil removal or deposit permit is required, this must be provided at time of Development Permit application.
- f) We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent properties is a civil action which does not involve the city directly. The items of potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, undermining & underpinning of existing foundation, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work, water infiltration systems, etc.
- g) Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

6.2 <u>Development Engineering</u>

See attached Memo dated January 12th 2018.

6.3 Fire Department

- a) Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required.
- b) The building shall be addressed off of road it is accessed from -Kel Mac Ct appears to be main access.
- c) Ensure appropriate travel distance to exit doors (not overhead doors) is met and that those exit doors swing in the direction of travel.
- d) Fire Department access is to be met as per BCBC 3.2.5. and accommodate the largest apparatus. ensure that the appropriate travel distance to the centre of the 1 story buildings is met.
- e) A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD as well as a fire pre-plan as per bylaw 10760.
- f) Approved Fire Department steel lock box (Knoxbox) acceptable to the fire dept. is required by the fire dept.
- q) All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met.
- h) The fire alarm system is to be monitored by an agency meeting the CAN/ULC S561 Standard
- i) Fire department connection is to be within 45M of a fire hydrant unobstructed.
- j) Ensure FD connection is clearly marked and visible from the street.

DP18-0009 & DVP18-0010 - Page 10

- k) Upon completion an owners certificate and copy of NFPA 25 shall be provided for the sprinkler system.
- l) Upon completion, a certificate is required to verify CANULC 561 Compliance.
- m) Dumpster/refuse container must be 3 meters from structures or overhangs or in a rated room in parkade.

7.0 Application Chronology

Date of Application Received: Jan 9th 2018

Date of Public consultation: n/a

Report Prepared by: Adam Cseke, Urban Planner

Reviewed by: Terry Barton, Urban Planning Manager
Approved by: Ryan Smith, Community Planning Manager

Attachments:

Applicant Rationale

Development Engineering Comments dated January 12th 2018 (Attachment 'A')

Development Permit & Development Variance Permit (Schedule A, B, & C)

larry podhora / architecture inc

November 17 2017 170522

DESIGN RATIONALE – 1805 PIER MAC WAY, KELOWNA

The proposed self-storage facility at 1805 Pier Mac Way occupies approximately 2.1 hectares of unencumbered land. The site is bounded by Highway 97 to the east, an existing commercial, multibuilding development to the south, Pier Mac Way to the east and an access cul-de-sac at the north. The site access/egress is via the Kel Mac Court cul-de-sac and there is an egress only facility at Pier Mac Way. The development consists of ten buildings to be constructed in two phases. The site will be fully secured and access to the storage buildings (with the exception of the office use) will be controlled.

The intended use is compliant with the current CD15 zone designation in all requirements except parking which is proposed to be reduced from the required 55 to 20 due to the specific purpose of the development. Self-storage facilities do not require any parking at the units other than sufficient maneuvering isle for access. Essentially, the entire site is a loading/parking facility without designation. The 20 parking spaces required serve the small sales office immediately adjacent to the access frontage. There is virtually no shadow-casting onto neighbouring properties due to the reduced massing of the structures and their orientation on site.

Although the mainly one-storey buildings are relatively small and well within the massing height envelope of the applicable zone, they are nonetheless substantial and work well with the sloping topography. The construction material is intended to be site cast tilt panel construction which results in a durable and substantial appearance and function. The massing of the buildings follows an efficient circulation network within the site and optimal storage unit sizing while presenting a public image of permanence, durability, security and visual variety. The modern design idiom results in buildings with flat roofs concealed by parapets. These simple massing elements are modified and relieved by stepping of units along sloping grades, parapet projections and corner modulations colour, graphics and cast texture also provide visual interest and some architectural 'play' along the principal elevations.

larry podhora / architecture inc

The colours and materials of the development reference the architecture of the immediate context – specifically the retail commercial development south of the site. The painted concrete surfaces will feature 3-tone warm taupe palette with a counterpoint in a wood-grain metal panel (longboard) material. This provides a strong visual contrast to the background palette as well as the warmth of wood and the permanence of metal panelling. Although derived to be very contextual with its southern neighbour, the colour selection also reinforces a simpler, more austere architecture that is appropriate to the building typology of the self-storage facility.

The main access orientation from Kel Mac Court at the north of the site presents an image of quality and modern simplicity through its use of two storey curtainwall glazing, concrete panels, steel/glass canopies and significant landscaping. This access elevation is set back along the required landscape strips at the street corner and marked as the access point with a corporate monument sign near that corner. The north orientation of the glazing allows for insolation and glare control.

The Pier Mac Way street frontage seizes on the architectural opportunity provided by the sloping property line frontage meeting the orthogonal unit layout by providing a consistent 'rhythm' of projecting corners that have the visual effect of modulating the entire elevation of the storage buildings terminating in the two storey office component at the north side. Since the south half of the street elevation (B2) is designated for phase 2 of the development, the project will provide an enhanced graphic fencing until the entire elevation is unified at the conclusion of phase 2. (see architectural elevations).

The south elevation is in very close proximity to the south property and for this, and internal functional reasons, must be simple in form and rendering yet still consistent with the entire development. As well, this elevation provides the 'back-drop' to the parking area of the neighbouring retail commercial centre and as such must be appropriate to that environment. As a result, the south elevation (when complete at the conclusion of phase 2) relies on colour, graphic treatment and complementary materials to provide an architectural response and consistency to both: the neighbour to the south as well as the self-storage development.

Finally, the elevation frontage to Highway 97 recognizes the importance of its exposure and treats the orientation with large panels containing information graphics that break up the parapet line and result in a rhythmical massing that is fun, memorable and yet composed showing a sense of permanence and substance. The elevation will be viewed at high velocity by the passing traffic so its impact must be simple – nearly iconic. Naturally, this elevation is an ideal opportunity for signage and rather than providing free-standing pylon signs, the approach here is to integrate the signage with the architecture of the project by locating it at the exposed corners of B9 (highway elevation).

The nighttime imaging of the project will include subtle architectural lighting on all public elevations ensuring that glare and strong up-lighting is avoided to assist in 'dark sky' measures conformance as well

1952 brackman way, north saanich, b.c., v9l 0c2

larry podhora / architecture inc

as the recognition of ensuring that the project does not impede the guide-way lighting of the near-by airport. As much as possible, lighting will be achieved by low intensity wall-washers and soffit pots and in-ground lighting bollards.

Landscape design is treated so that it allows the full expression of the massing and graphic details of the architectural elevations on the public elevations. The rhythm of those surfaces will be complemented by similarly spaced columnar trees and ground cover. The landscaping variety will be increased at the corner of Pier Mac and Kel Mac near the office building and the main public entry.

Yours truly,

Larry Podhora, Architect AIBC, MRAIC Principal

CITY OF KELOWNA

MEMORANDUM

Date:

January 12, 2018

File No.:

DP18-0009 REVISED

To:

Urban Planning Management (AC)

From:

Development Engineer Manager (JK)

Subject:

1805 Pier Mac Way



The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. Road Dedication and Subdivision Requirements

- (a) Provide Right of Way and Easement as may be required for utility services.
- (b) The developer must consolidate the following properties: 3525 Kel Mac Ct., 3515 Kel Mac Ct., and 1805 Pier Mac Way.

2. Geotechnical Study.

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install pisometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, Identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc



DP18-0009 January 12, 2018 Initials

Page 2 of 3

3. Domestic water and fire protection.

This development is within the service area of the Glenmore Ellison Improvement District (GEID). The developer is required to make satisfactory arrangements with the GEID for these items. All charges for service connection and upgrading costs are to be paid directly to the GEID. The developer is required to provide a confirmation that the district is capable of supplying fire flow in accordance with current requirements for the proposed development.

4. Sanitary Sewer.

The existing lot is serviced with sanitary service. The developer's consulting mechanical engineer will determine the requirements of this proposed development and establish the required size and preferred location of the new service if needed. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal of all existing service and the installation of a new larger service.

5. Stormwater Management plan.

The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems. The existing lot is serviced with a 150mm diameter storm service. Only one service will be permitted for this development. The applicant, at his cost, will arrange the installation of one overflow service if required.

6. Power and Telecommunication Services.

The services to this development are to be installed underground. It is the developer's responsibility to make a servicing application to the respective utility companies. The utility companies are then required to obtain the city's approval before commencing their works.

7. Development Permit and Site Related Issues

Access and Manoeuvrability

- (a) A MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.
- (b) Perimeter access must comply with the BC Building Code. Fire Truck access designs and proposed hydrant locations will be reviewed by the Fire Protection Officer.

8. Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

9. Road Improvements

- (a) 3525 Kel Mac Court existing driveway letdown in the cul-de-sac must be removed during phase 1 construction. Sidewalk, curb and gutter, and boulevard to match the existing adjacent design must be installed.
- (b) 1805 Pier Mac Way existing driveway letdown must be removed during phase 2 construction. Sidewalk, curb and gutter, and boulevard to match the existing adjacent design must be installed.

ATTACHMENT A

This forms part of application

DP18-0009 / DVP18-0010

City of

Planner Initials

AC

Kelowna

COMMUNITY PLANNING

lames Kay, P.Eng.

Development Engineering Manager

AS

Development Permit & Development Variance Permit DP18-0009 & DVP18-0010



This permit relates to land in the City of Kelowna municipally known as

1805 Pier Mac Way, 3515 Kel Mac Ct, & 3525 Kel Mac Ct

and legally known respectively as

Lot 1, Section 14, Township 23, ODYD, Plan EPP56391

Lot 2, Section 14, Township 23, ODYD, Plan EPP56391

Lot 3, Section 14, Township 23, ODYD, Plan EPP56391

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

S.8 Table 8.1 Parking Schedule

To vary the minimum number of parking stalls provided from 55 stalls to 20 stalls.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: _____, 2018

Decision By: CITY COUNCIL

Issued Date: DATE

<u>Development Permit Area:</u> Comprehensive Development Permit Area

<u>File Manager:</u> AC

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: CD15 – Airport Business Park (IND) Future Land Use Designation: IND – Industrial

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: The Armstrong Land Corp. Inc. No. BC 1113050

Address: 1145 Industrial Drive
City: Armstrong, BC

Phone: n/a

Ryan Smith, Community Planning Department Manager Community Planning & Strategic Investments Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$132,522.50 [Phase 1 (\$78,311) + Phase 2 (\$27,707.00) x 1.25]
- OR
- b) An Irrevocable Letter of Credit in the amount of \$\$132,522.50 [Phase 1 (\$78,311) + Phase 2 (\$27,707.00) X 1.25]

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



L1.0 OVERALL LANDSCAPE PLAN, AND NOTES
L1.1 ENLARGEMENT PLANS AND NOTES
L1.2 ENLARGEMENT PLAN AND DETAILS

LANDSCAPE

SHEET LIST

ARCHITECTURAL

- ARCHITECTURAL

 AIT OURS PME

 AIZ PRESPECTIVES

 AID PRESPECTIVES

 A

- Planner AC Initials

SCHEDULE

A & B

This forms part of application # DP18-0009 / DVP18-0010

City of

PROJECT TEAM

ARCHITECT OF RECORD

LARRY PODHORA ARCHITECT 1952 BRACKMAN WAY SAANICH B.C. V8L 0C2

CONTACT: LARRY PODHORA

BUILDING DESIGN

KRAHN ENGINEERING LTD. 400 - 34077 GLADYS AVENUE ABBOTSFORD B.C. V2S 2E8 P. 604.853.8831 F. 604.853.1580

CONTACT: DARREN CRUICKSHANKS

STRUCTURAL

KRAHN ENGINEERING LTD. 400 - 34077 GLADYS AVENUE ABBOTSFORD B.C. V2S 2E8 P. 604.294.6662 F. 604.294.6665

CONTACT: PETER KIDDIE

CIVIL

KM CIVIL CONSULTANTS LTD. 400 - 34077 GLADYS AVENUE ABBOTSFORD B.C. V2S 2E8 P. 604.853.8831 F. 604.853.1580

CONTACT: STUART MACGREGOR

MECHANICAL

KD MECHANICAL CONSULTANTS LTD. 400 - 34077 GLADYS AVENUE ABBOTSFORD B.C. V2S 2E8 P. 604.853.8831 F. 604.853.1580

CONTACT: CHAD NIWRANSKI

LANDSCAPE

KM CIVIL CONSULTANTS LTD. 400 - 34077 GLADYS AVENUE ABBOTSFORD B.C. V2S 2E8 P. 604.853.8831 F. 604.853.1580

CONTACT: SHAN TENNYSON

ELECTRICAL

KD ELECTRICAL CONSULTANTS LTD. 400 - 34077 GLADYS AVENUE ABBOTSFORD B.C. V2S 2E8 P. 604.853.8831 F. 604.853.1580

CONTACT: RODRIGUE ROUHANNA

INTERIOR DESIGNER KG INTERIOR DESIGN LTD. 400 - 34077 GLADYS AVENUE ABBOTSFORD B.C. V2S 2E8 P. 604.853.8831 F. 604.853.1580

CONTACT: SUZANNE GRATHAM

larry podhora/ architect

1 19.12.17 ISSUED FOR DP NO. DATE YIM/D DESCRIPTION

KELOWNA SELF-STORAGE

1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

COVER PAGE

A0.1





1 19.12.17 ISSUED FOR DP NO. DATE YIM/D DESCRIPTION

larry podhora/ architect

KELOWNA SELF-STORAGE

SIGNAGE SIGNA

3 NORTH-EAST PERSPECTIVE - ALL PHASES

1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

PERSPECTIVES

SCALE
DRAWN LSLW
CHECKED LPIDC
DRAWN 170522A

DRAWING NO.

HIS DRAWING IS PROPERTY OF KRAHN GROUP F COMPANIES AND SHOULD NOT BE COPIED OR

A0.2





1 NORTH-EAST PERSPECIVE - B1

SCALE:



1 19.12.17 ISSUED FOR DI NO. DATE YIMID DESCRIPTION

2 NORTH-WEST PERSPECTIVE - B1

3 NORTH-WEST PERSPECTIVE (PIER MAC WAY) - B1

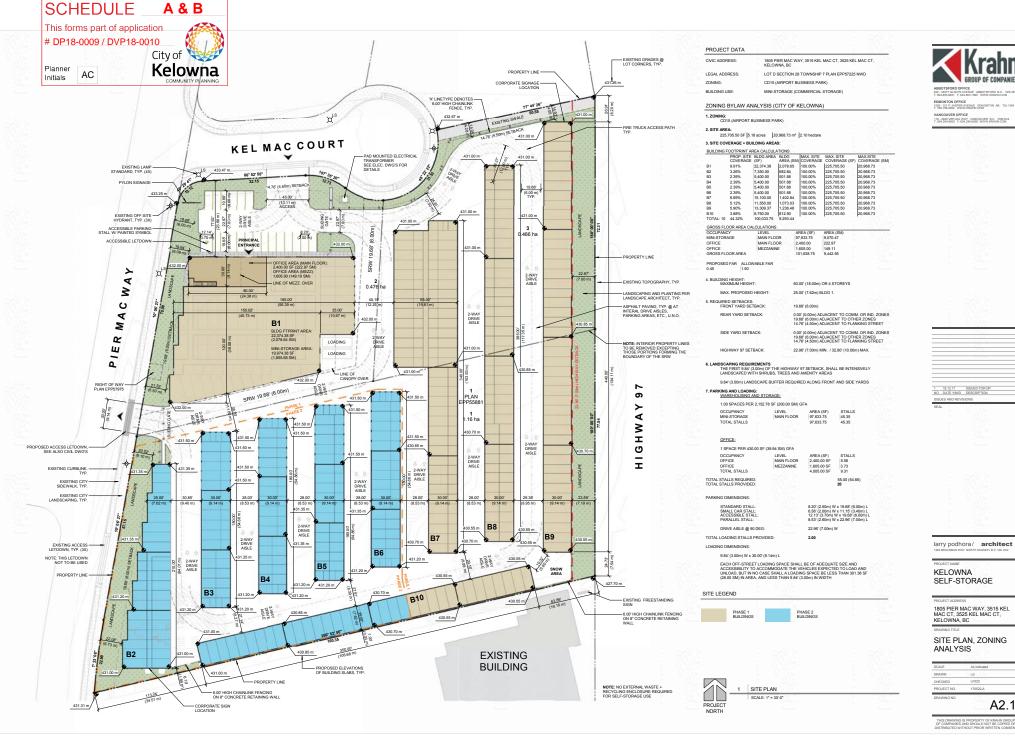
larry podhora/ architect

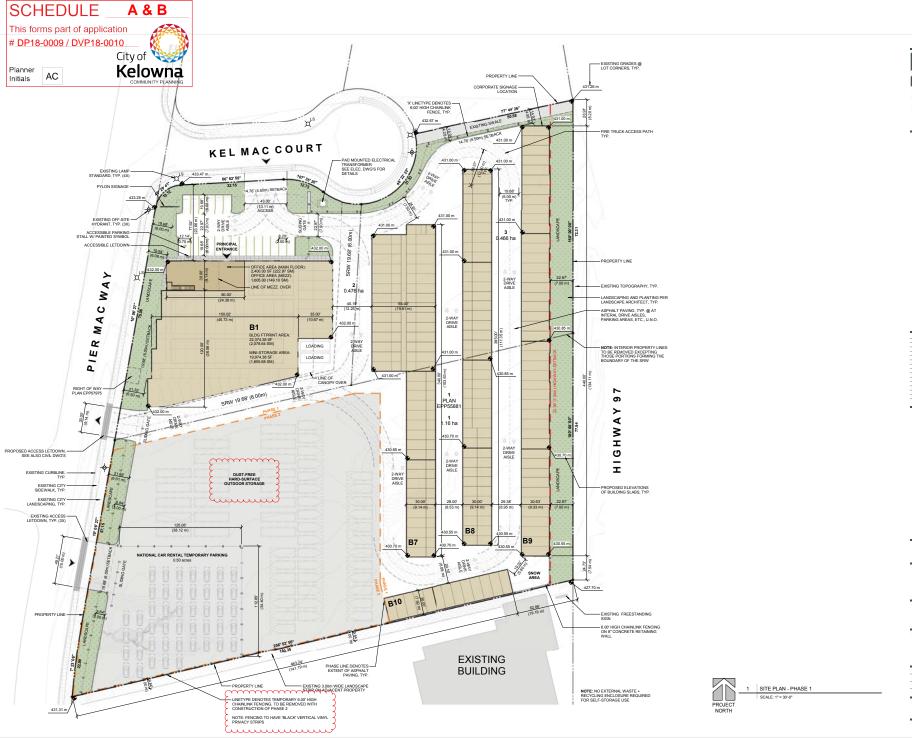
KELOWNA SELF-STORAGE

1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

PERSPECTIVES

A0.3





SROUP OF COMPANIE
ASSOCIATION OFFICE
HOLD ON OFFI
HOLD ON ON OFFI
HOLD ON OFFI
HOLD ON

2 12-01-18 RESSUED FOR IP 1 19-12-17 ESUED FOR IP NO DATE VARIO DESCRIPTION ISSUES AND REVISIONS SEAL

larry podhora/ architect

KELOWNA SELF-STORAGE

1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

SITE PLAN - PHASE 1

SCALE 1" = 30"-0"

DRAWN Author

A2.2

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OF

CONTEXT PHOTOS

CONTEXT PHOTO 1 PHOTO TAKEN ON AIRPORT WAY LOOKING SOUTH TOWARDS EXISTING HOTEL DEVELOPMENT



CONTEXT PHOTO 2

PHOTO TAKEN ON KEL MAC COURT LOOKING SOUTH OVER PROPOSED SITE AND EXISTING ADJACENT DEVELOPMENT



CONTEXT PHOTO 3

PHOTO TAKEN ON-SITE LOOKING SOUTH TOWARDS EXISTING ADJACENT DEVELOPMENT



CONTEXT PHOTO 4

PHOTO TAKEN ON-SITE LOOKING EAST ACROSS HWY 97 AND TOWARDS KELOWNA INTERNATIONAL AIRPORT



CONTEXT PHOTO 5 PHOTO TAKEN ON-SITE LOOKING WEST ACROSS PIER MAC WAY

CONTEXT PLAN

Initials

PROJECT NORTH



larry podhora/ architect

1 19.12.17 ISSUED FOR DP NO. DATE YIM/D DESCRIPTION

EDMONTON OFFICE 1000 - 10117 JASPER AVENUE EDMONTON AB. TSJ 1WB 1: 780.758.2602 WWW.KRAHN.COM VANCOUVER OFFICE 110 - 2920 VIRTUAL WAY VANCOUVER B.C. VSM 0C4 1: 604 294 6962 1: 604 294 6965 WWW KRAHN COM

KELOWNA SELF-STORAGE

1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

CONTEXT PLAN, PHOTOS

SCALE	As indicated	
DRAWN	LS	
CHECKED	LP/DC	
PROJECT NO.	170522-A	

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR

A2.3

SCHEDULE **A & B** This forms part of application # DP18-0009 / DVP18-0010 City of Planner AC

Kelowna

71



Krahn
GROUP OF COMPANIES
ABBOTSFORD OFFICE

ABBOTSFORD OFFICE

400 - 3407 GLADYS AVENUE ABBOTSFORD B.C. V2
T: 604 853.8531 F: 604.853.1580 WWW XRAHN COM

EDMONTON OFFICE

1000 - 101 IT JASPIER AVENUE: EDMONTON AB. TSJ 1
T: 780 758.2002 WWW XRAHN COM

T: 780.758.2002 WWW.KRAHN.COM

VANCOUVER OFFICE

110 - 2920 VIRTUAL WAY VANCOUVER B.C. V5M 0C4

1: 604.294.6868 WWW.KRAHN.COM

SSUES AND REVISIONS

larry podhora/ architect

KELOWNA SELF-STORAGE

1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

STREETSCAPES

01112210071120

 SCALE
 1/16" = 1·0"

 DRAWN
 LWLS

 CHECKED
 LPIDC

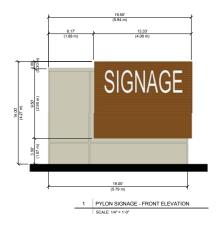
 PROJECT NO.
 170522-A

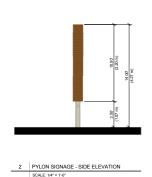
DRAWING NO.

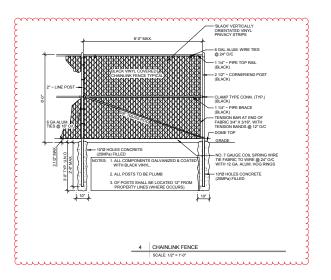
A2.4

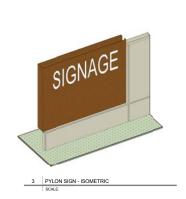
THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OF













T 1201 18 RESSUED FOR DP T 1201 18 RESSUED FOR DP T 100 T 10

larry podhora/ architect

KELOWNA SELF-STORAGE

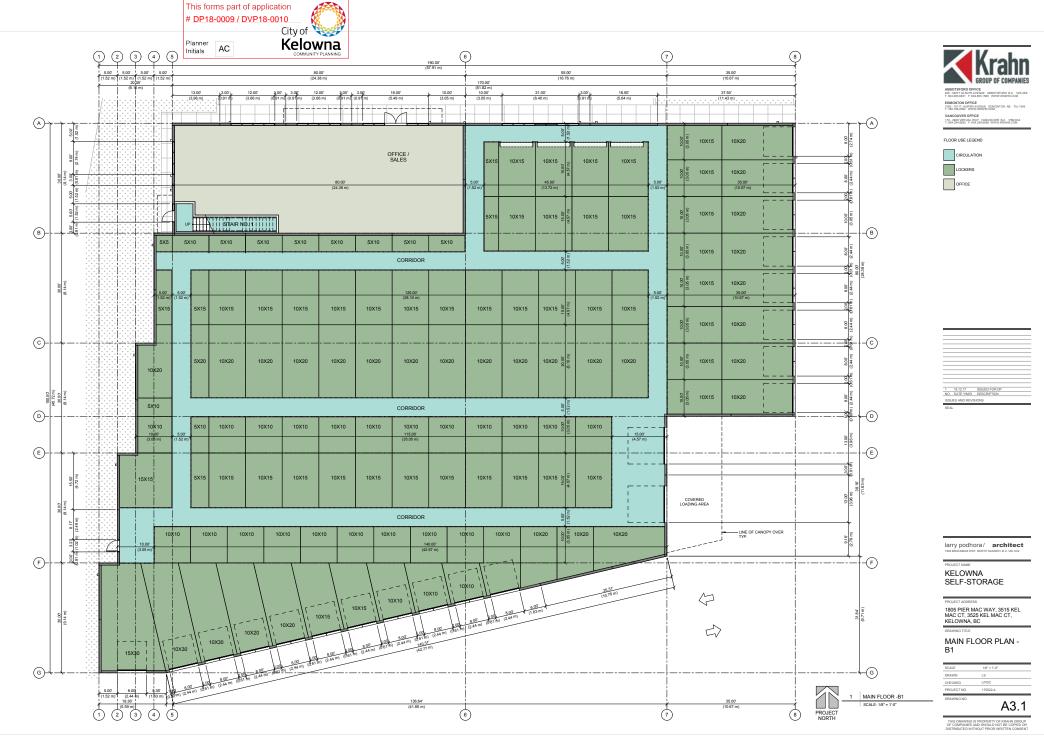
1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

SITE DETAILS

SCALE As indicated

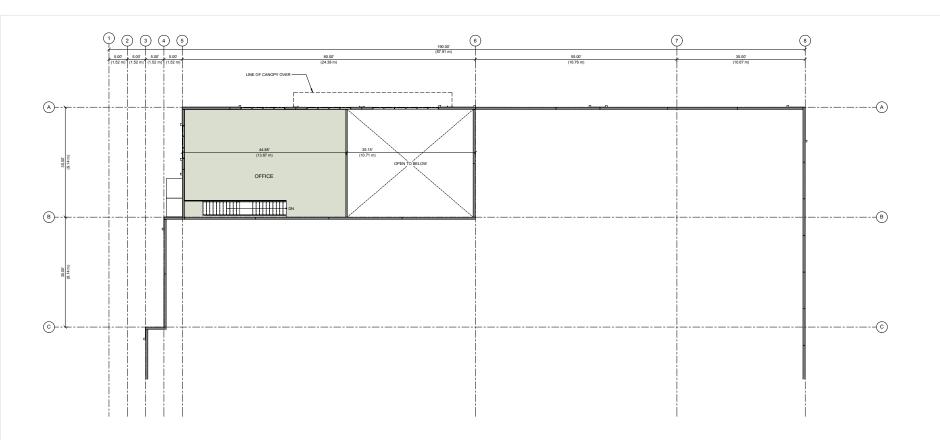
HIS DRAWING IS PROPERTY OF KRAHN GROUP F COMPANIES AND SHOULD NOT BE COPIED OF

A2.5



SCHEDULE

A & B



Krahn

6ROUP OF COMPANIES

ABSOTITION OFFICE
1912 SECTION OFFICE
1913 SECTION OFFI

2 1201 18 RESISTED FOR OP
1 19 12 17 SISTED FOR OP
NO. DATE YMO. DESCRIPTION
BISILES MOD REVISIONS
SEAL.

larry podhora/ architect

PROJECT NAME
KELOWNA
SELF-STORAGE

PROJECT ADDRESS

1805 PIER MAC WAY, 3515 KEL
MAC CT, 3525 KEL MAC CT,
KELOWNA, BC

MEZZANINE PLAN - B1

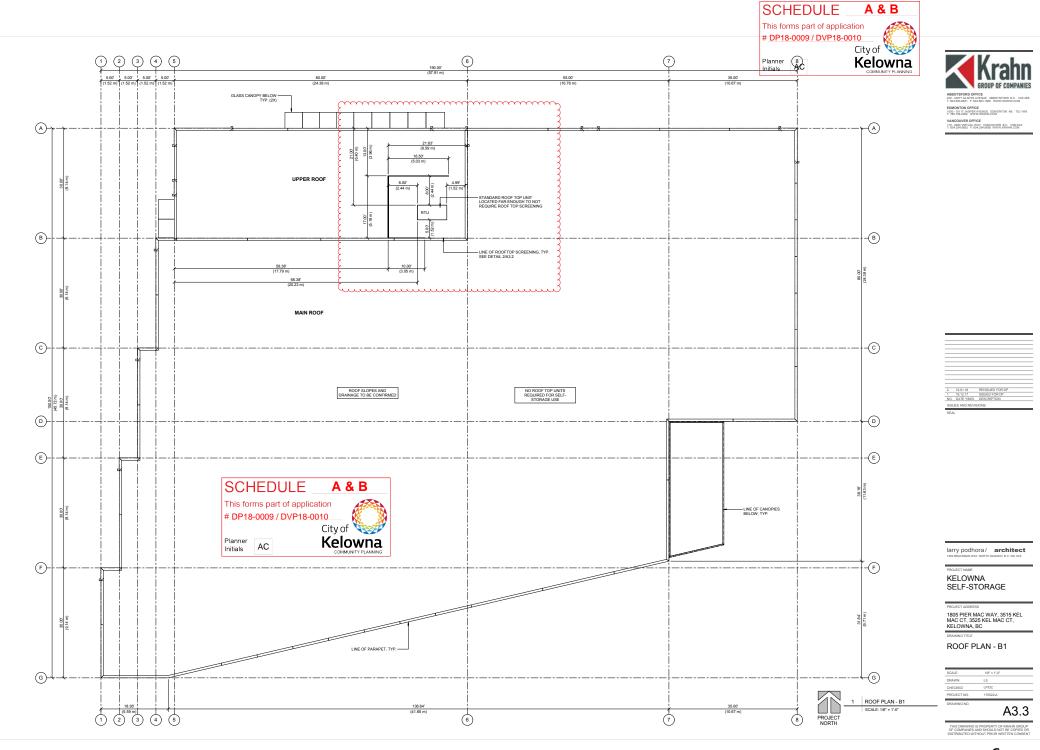
SCALE	As indicated
DRAWN	LS
CHECKED	LP/DC

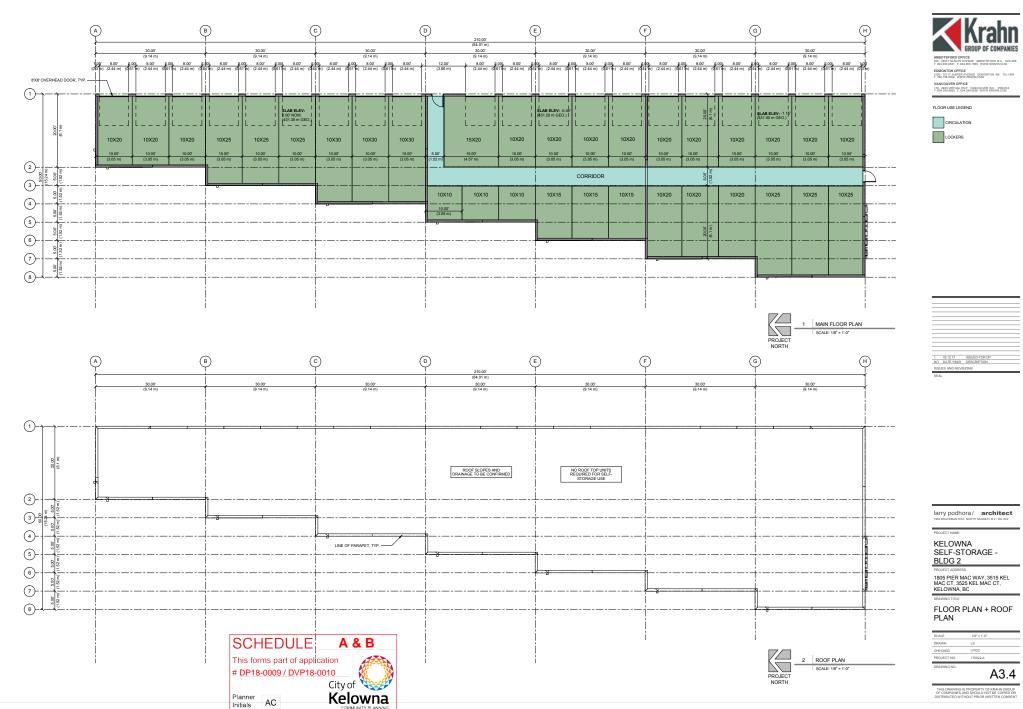
A3.2

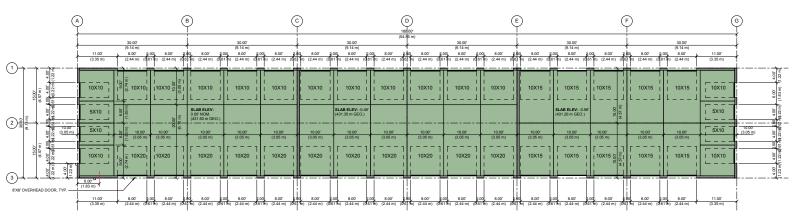
THIS DRAWING IS PROPERTY OF KRAHN GROU OF COMPANIES AND SHOULD NOT BE COPIED O



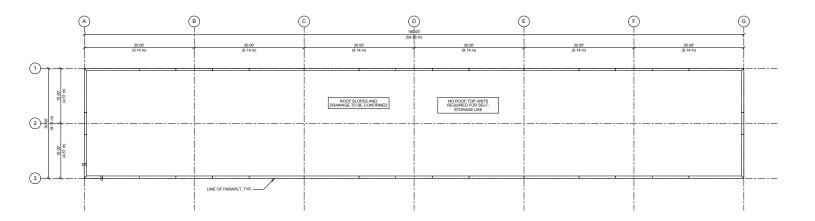
1 MEZZANINE















Krahn
GROUP OF COMPANIES
ABSOTSFORD OFFICE

ABBOTISH DIVID OF FIGURE ABBOTISH ORD BIG. V25.
15.04 523 1820 1 F 1004 823 1820 WWW ARRANG COM
EDMONTON OFFICE
17.15 252 252 WWW ARRANG COM
VANOUUTER OFFICE
19.2 222 WRITHIN WAY VANCOUVER BIG. VENOUE TO 15.04 223 WRITHIN WAY WAY VANCOUVER BIG. VANCOUVER BIG.

FLOOR USE LEGEND

LOCKERS

1 19.12.17 ISSUED FOR DP NO. DATE YIM/D DESCRIPTION

larry podhora/ architect

KELOWNA SELF-STORAGE -BLDG 3-6

1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

FLOOR PLANS

SCALE 18" = 1".0"

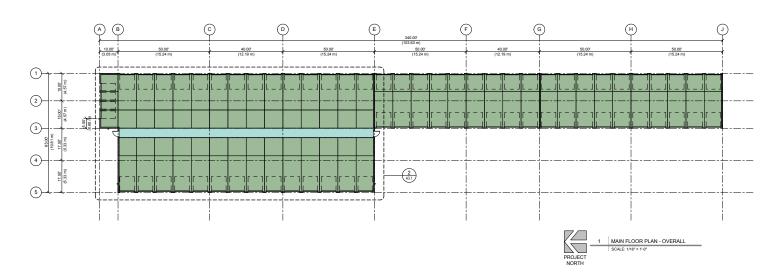
DRAWN LS

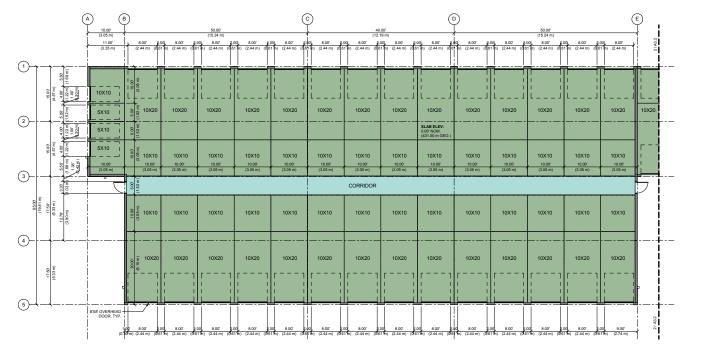
CHECKED LEDG

DRAWING NO.

A3.5

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OF









VANCOUVER OFFICE
190 - 2929 VIRTUAL WAY: VANCOUVER B.C. VSM 0C4
1: 604 294 6982 F: 604 294 6985 WWW.XRAHN.COM

FLOOR USE LEGEND

CIRCULATION

LOCKERS

Calculating.

larry podhora/ architect

PROJECT NAME

KELOWNA SELF STORAGE - BLDG 7

1 19.12.17 ISSUED FOR DP NO. DATE Y/M/D DESCRIPTION

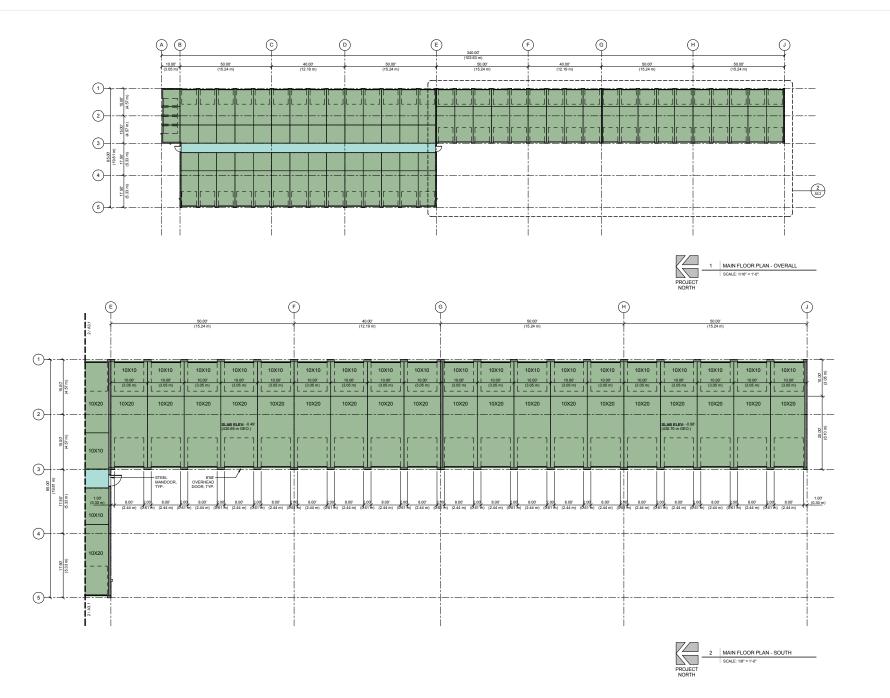
1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

FLOOR PLANS

		_
SCALE	As indicated	
DRAWN	LSLW	
CHECKED	LP/DC	
PROJECT NO.	170522-A	

A3.6

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



ABOTEPORO OFFICE

AND OFFICE OFFICE

OFFICE OFFICE

OFFICE OFFICE

OFFICE OFFICE

OFFICE OFFICE

OFFICE OFFI

FLOOR USE LEGEND

CIRCULATION

Calculating.

1 1911 V SSIED FOR DP

10 DATE VAND GESCRITION

SIGNE AND REVISIONS

SEA

larry podhora/ architect

PROJECT NAME

KELOWNA SELF STORAGE - BLDG 7

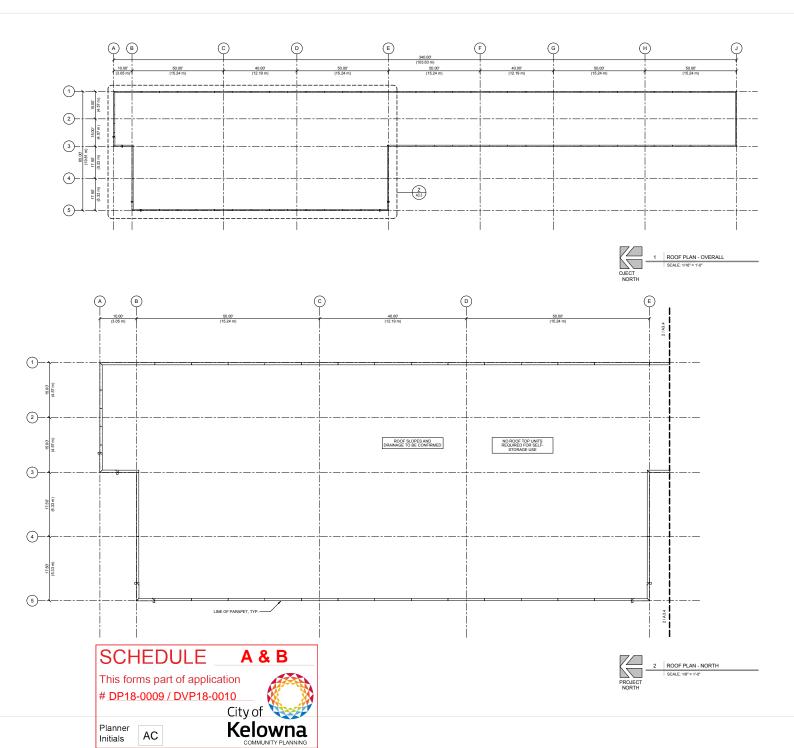
1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

FLOOR PLANS

SCALE	As indicated
DRAWN	LSLW
CHECKED	LP/DC
PROJECT NO.	170522-A

A3.7

THIS DRAWING IS PROPERTY OF KRAHN GROUL OF COMPANIES AND SHOULD NOT BE COPIED O DISTRIBUTED WITHOUT PRIOR WRITTEN CONSEI



VANCOUVER OFFICE 110 - 2929 VRTUAL WAY VANCOUVER B.C. VSM 0C4 1: 604 294 6962 1: 604 294 6965 WWW XRAHIN COM

1 19.12.17 ISSUED FOR DP NO. DATE YIMID DESCRIPTION

larry podhora/ architect

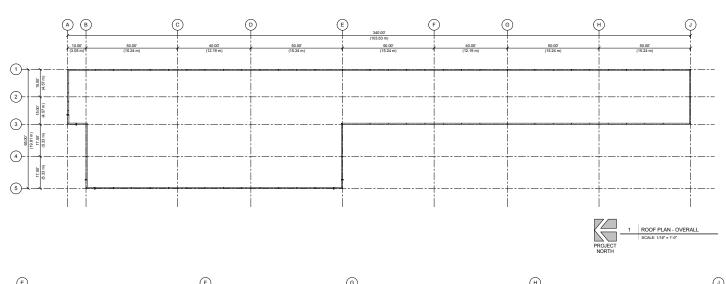
KELOWNA SELF STORAGE - BLDG 7

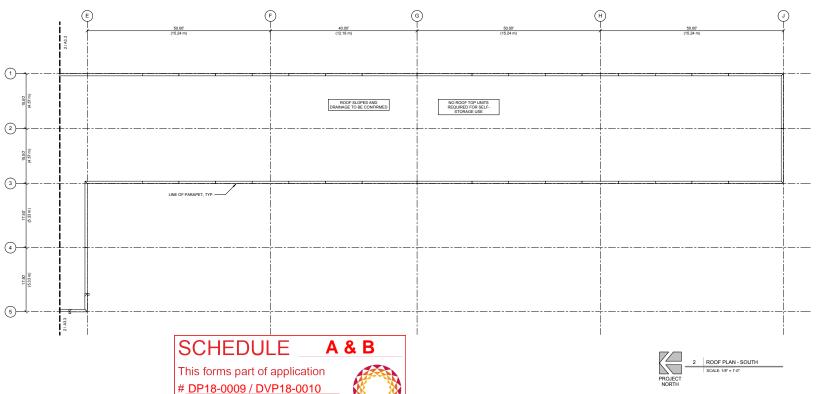
1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

ROOF PLAN

A3.8

Initials





City of Kelowna

Planner

Initials

AC

PROJECT ADDRESS
1805 PIER MAC WAY, 3515 KEL
MAC CT, 3525 KEL MAC CT,
KELOWNA, BC

ROWNO TITLE

ROOF PLAN

ROUF PLAN

1 19.12.17 ISSUED FOR DP NO. DATE YIM/D DESCRIPTION

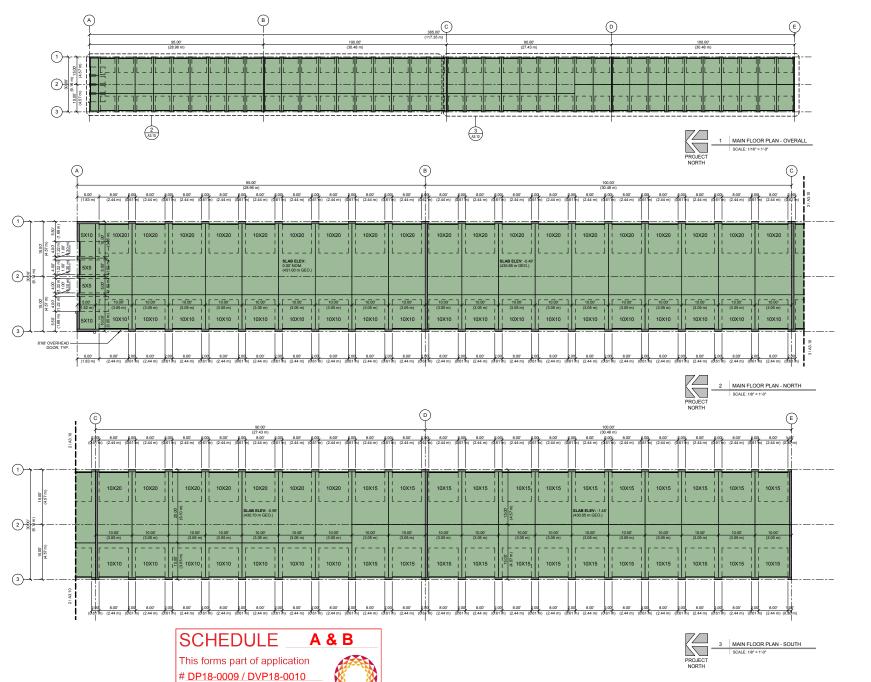
SCALE	As indicated
DRAWN	LSLW
CHECKED	LP/DC
PROJECT NO.	170522-A

VANCOUVER OFFICE 110 - 2920 VERTUAL WAY VANCOUVER B.C. V5M 0C4 1: 604 294 6662 F: 604 294 6665 WWW XRAHIN COM

A3.9

larry podhora/ architect

KELOWNA SELF STORAGE - BLDG 7



City of

Planner

Initials

AC

Kelowna COMMUNITY PLANNING Krahn GROUP OF COMPANIES

ABBOTSFORD OFFICE
400 - 34077 GLADYS AVENUE ABBOTSFORD B.C.
1: 604-853,8801 F: 604-853,1590 WWW XIRAHIN CC

EDMONTON OFFICE
1000 - 100 117 JASSPER AVENUE EDMONTON AB. T
1: 750.758-2002 WWW KIRAHIN COM

110 - 2929 VERTUAL WAY VANCOUVER B.C. VSM 0C4 T: 804 294 8982 F: 804 294 8985 WWW ARRAHN COM

FLOOR USE LEGEND

VANCOUVER OFFICE

Calculating

larry podhora/ architect

JECT NAME

1 19.12.17 ISSUED FOR DP NO. DATE YIM/D DESCRIPTION

KELOWNA SELF STORAGE - BLDG 8

1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

FLOOR PLANS

SCALE As indicated

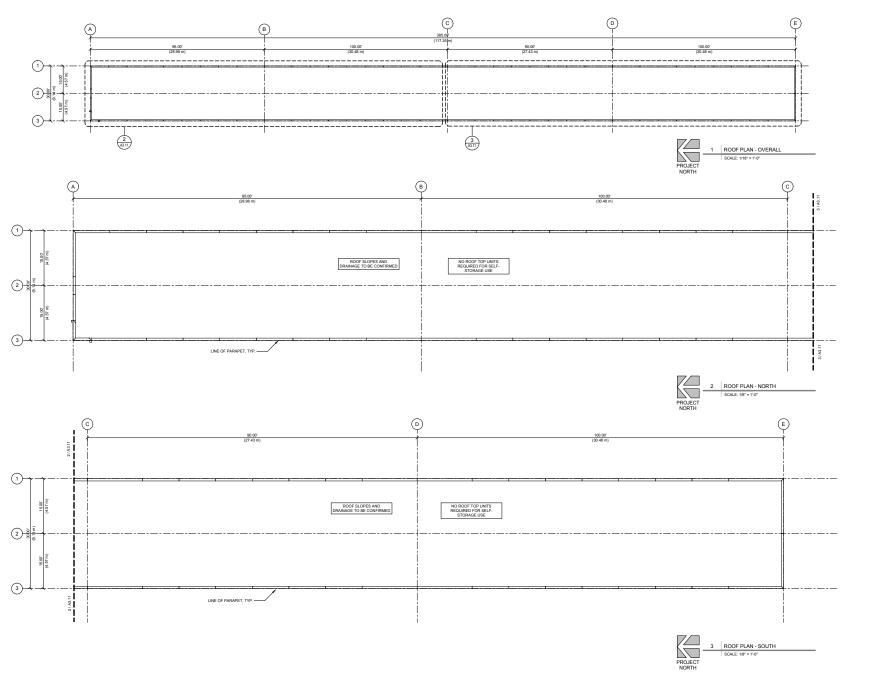
DRAWN LSLW

CHECKED LPICC

PROJECT NO. 170522-A

A3.10

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR ISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



ISSUES AND REVISIONS
SEAL

1 19.12.17 ISSUED FOR DP NO. DATE YIM/D DESCRIPTION

larry podhora/ architect

ROJECT NAME

KELOWNA SELF STORAGE - BLDG 8

1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

ROOF PLAN

 SCALE
 As indicated

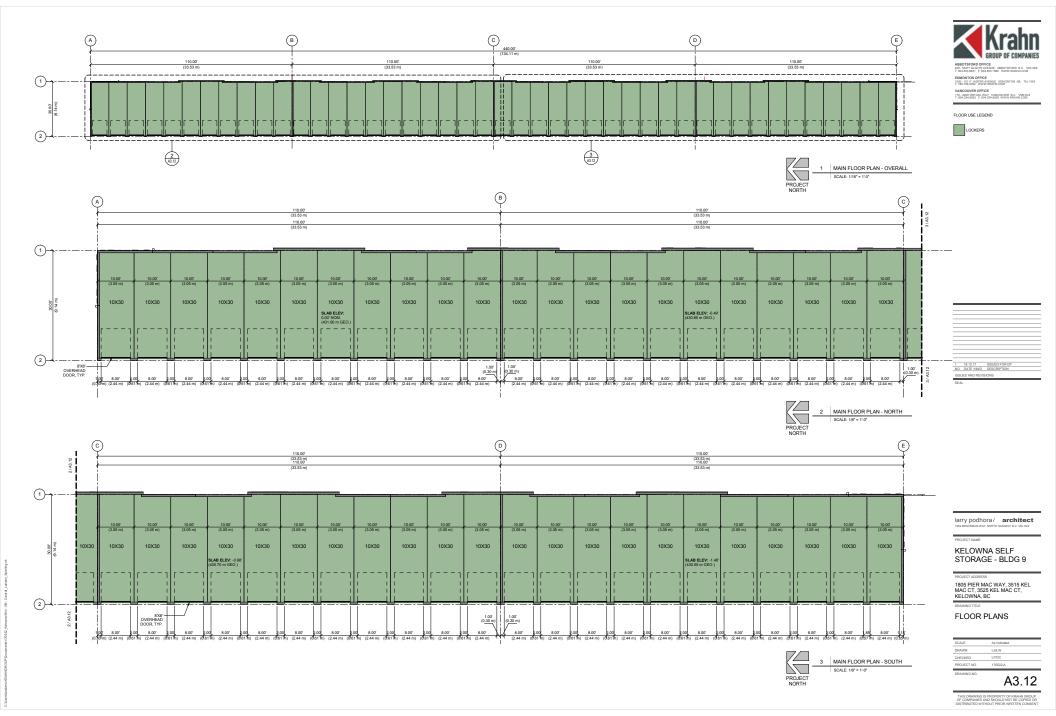
 DRAWN
 LSLW

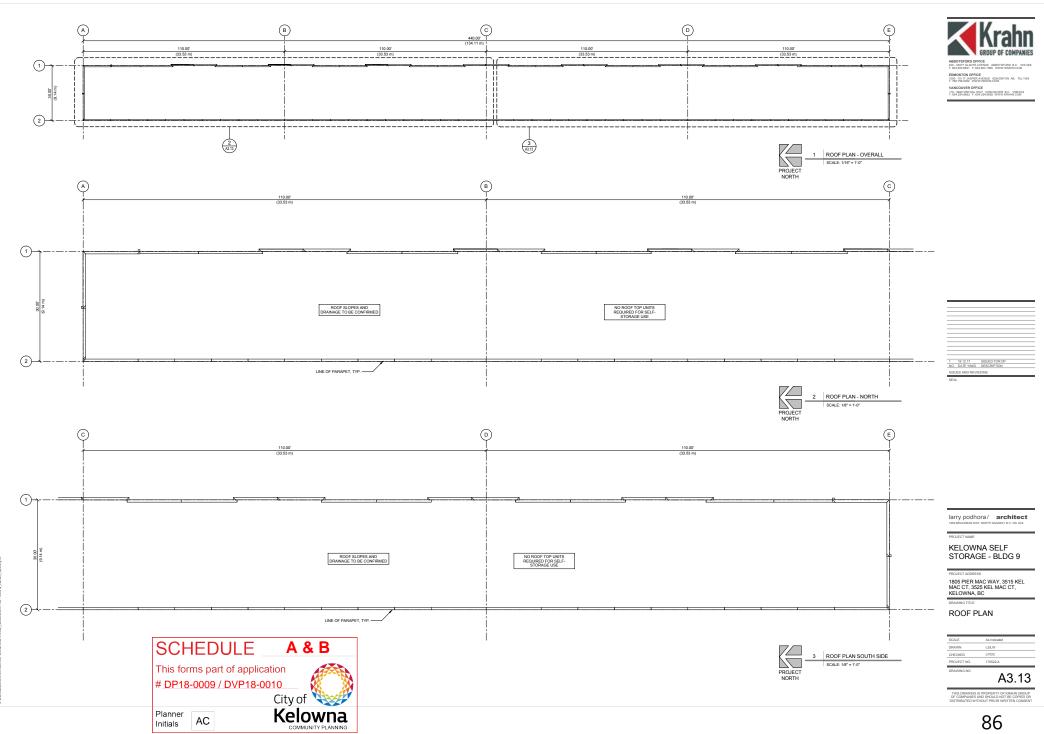
 CHECKED
 LPIDC

 PROJECT NO.
 170522-A

A3.11

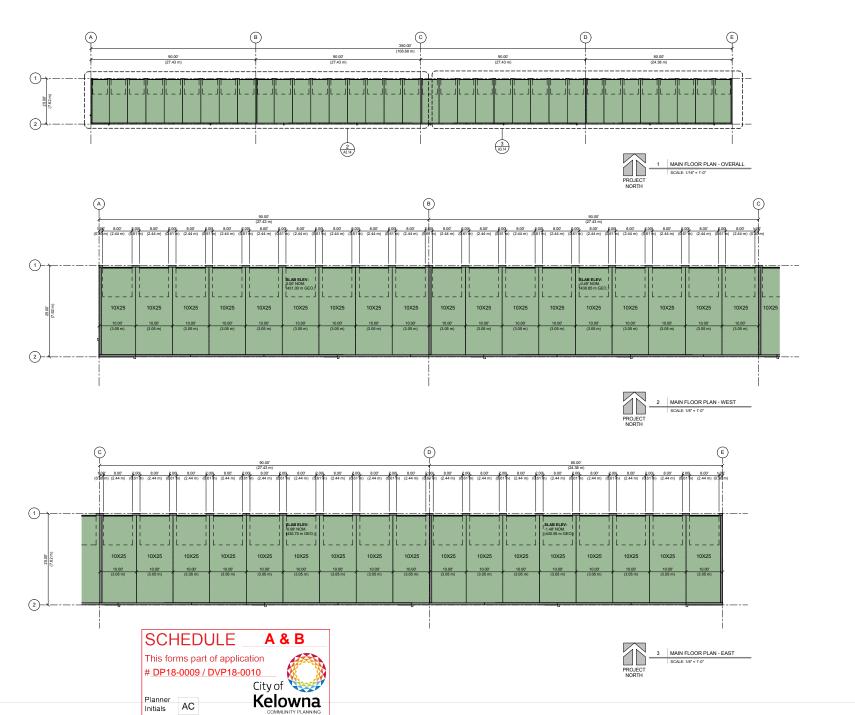
THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OF





AC

Initials



Krahr GROUP OF COMPANIE

ABBOTSFORD OFFICE

100-9407 GADYS AVENUE ABBOTSFORD B.C. V25
T: 604.853.8531 F: 604.853.1500 WWW KRAHN COM

EDMONTON OFFICE

1000-101 IT: JASPER AVENUE EDMONTON AB. T5J I'
T: 76J.785.2002 WWW KRAHN COM

VANCOUVER OFFICE 110 - 2020 VIRTUAL WAY: VANCOUVER B.C. V5M 0C4 1: 604.234.6562; P: 604.234.6565; WWW.KRAHN.COM

FLOOR USE LEGEND

LOCKERS

Calculating.

1 19.12.17 ISSUED FOR DP NO. DATE YIM/D DESCRIPTION

larry podhora/ architect

OJECT NAME

KELOWNA SELF STORAGE - BLDG 10

1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

FLOOR PLANS

 SCALE
 As indicated

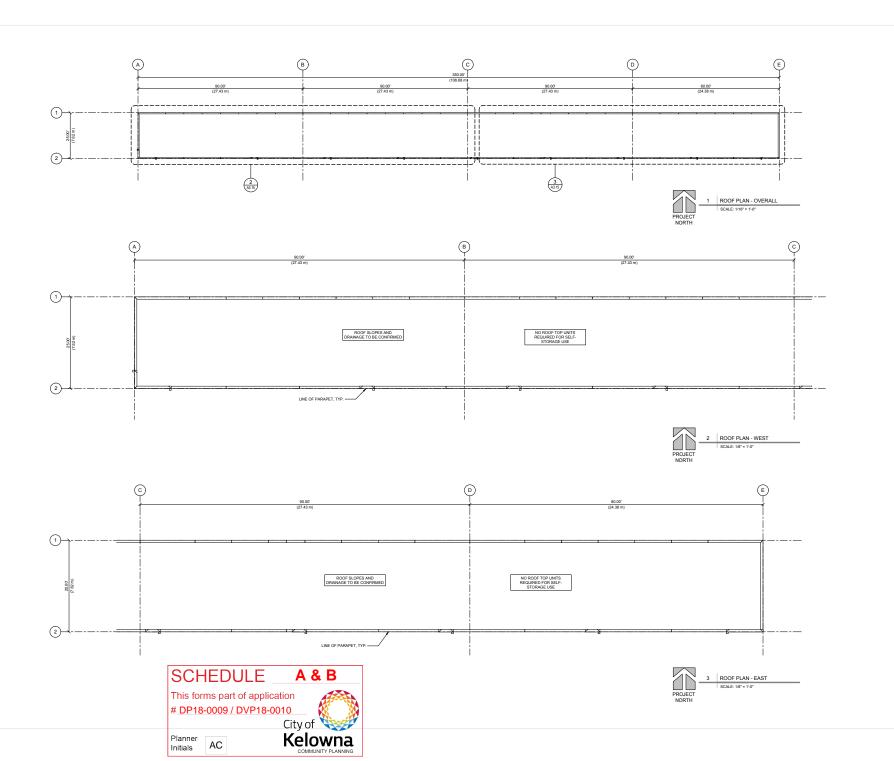
 DRAWN
 LS

 CHECKED
 LPIOC

 PROJECT NO.
 170522-A

A3.14

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OF DISTRIBUTED WITHOUT PRIOR WRITTEN CONSEN



Krahn
SROUP OF COMPANIES
ABBOTROO OFFICE
DEMONTO OFFI

DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEMONTO OFFI
DEM

1 912 T SIGNET PRO OP NO DATE YMO DECEMPTION ISSUES AND REVISIONS

SEA.

larry podhora/ architect

PROJECT NAME

KELOWNA SELF STORAGE - BLDG 10

1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

ROOF PLAN

 SCALE
 As indicated

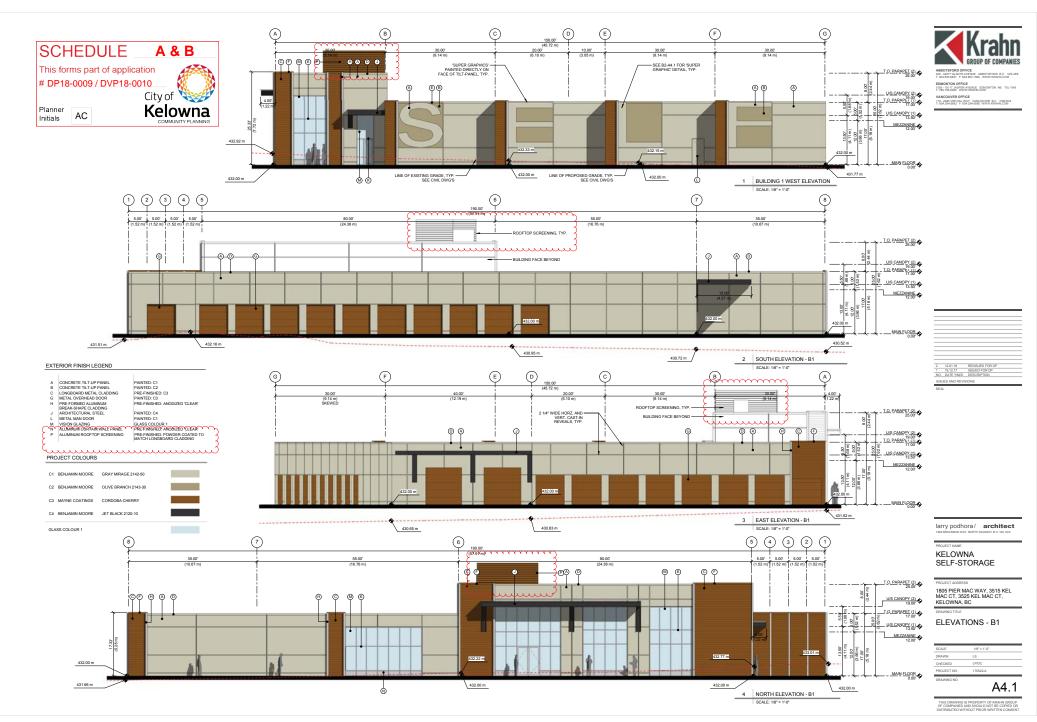
 DRAWN
 LS

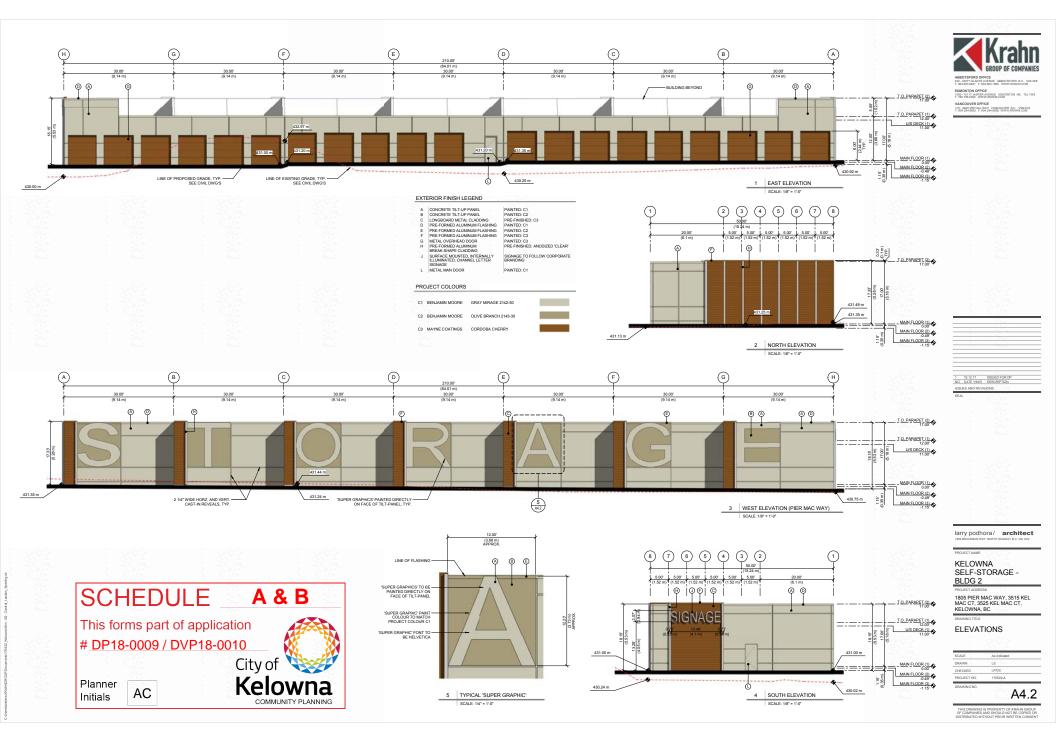
 CHECKED
 LPIDC

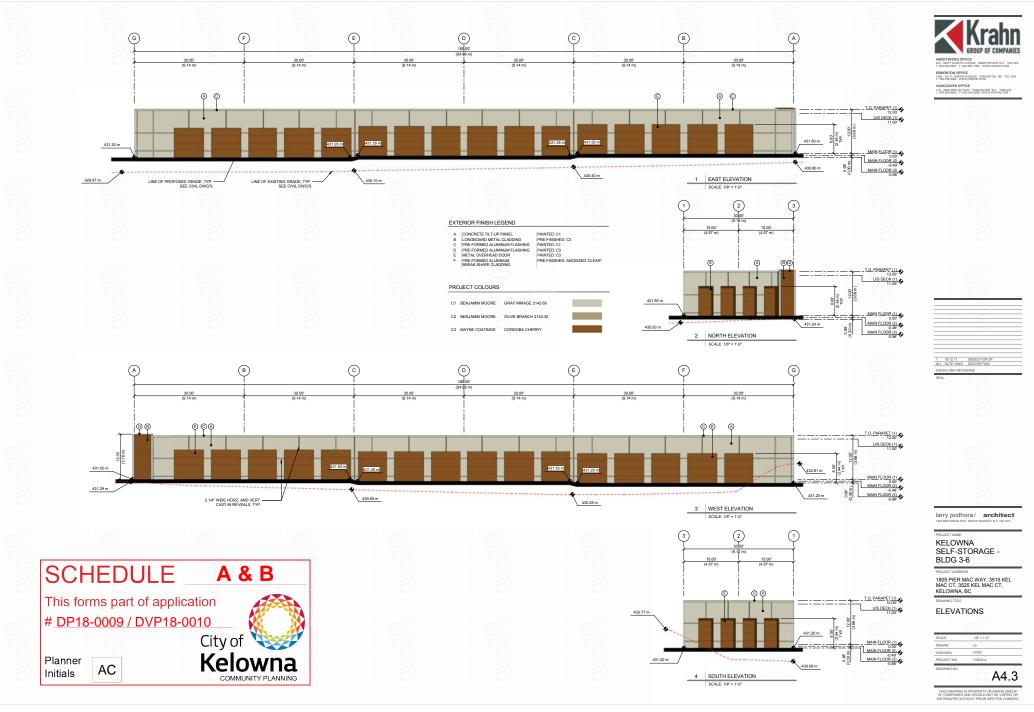
 PROJECT NO.
 170522-A

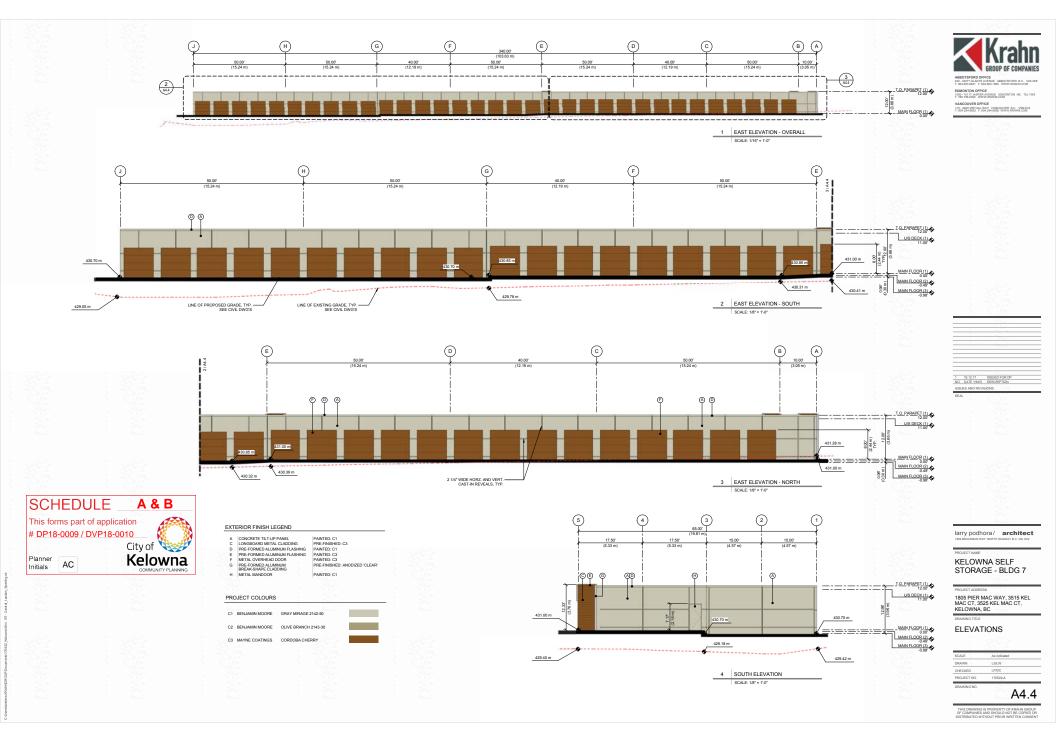
A3.15

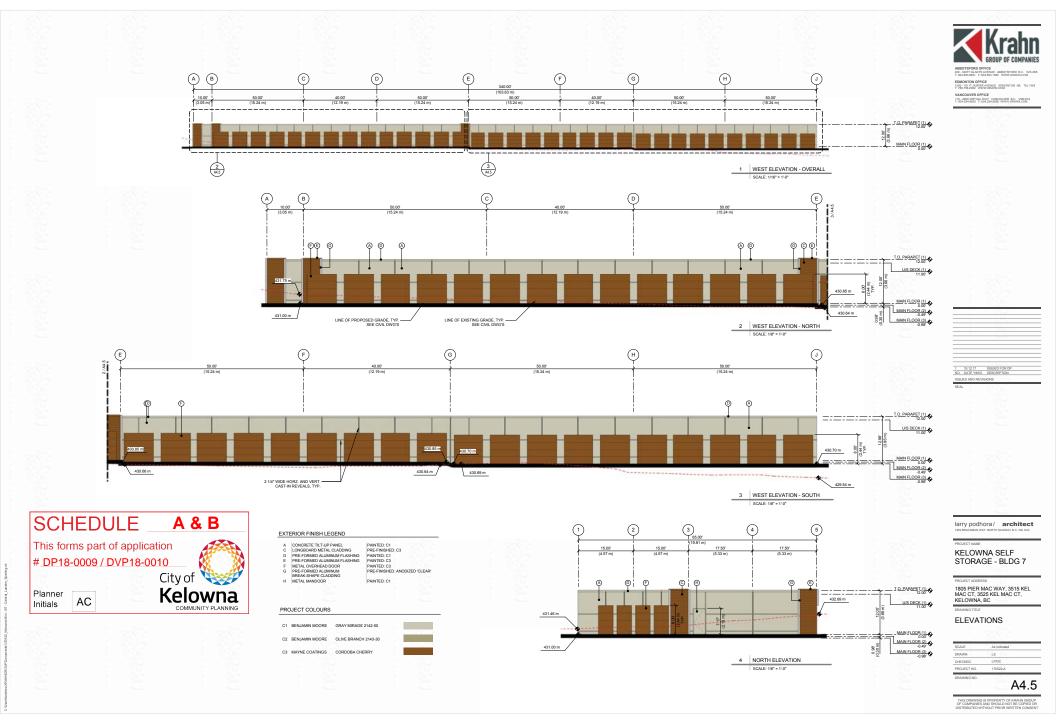
THIS DRAWING IS PROPERTY OF KRAHN GROUI OF COMPANIES AND SHOULD NOT BE COPIED O

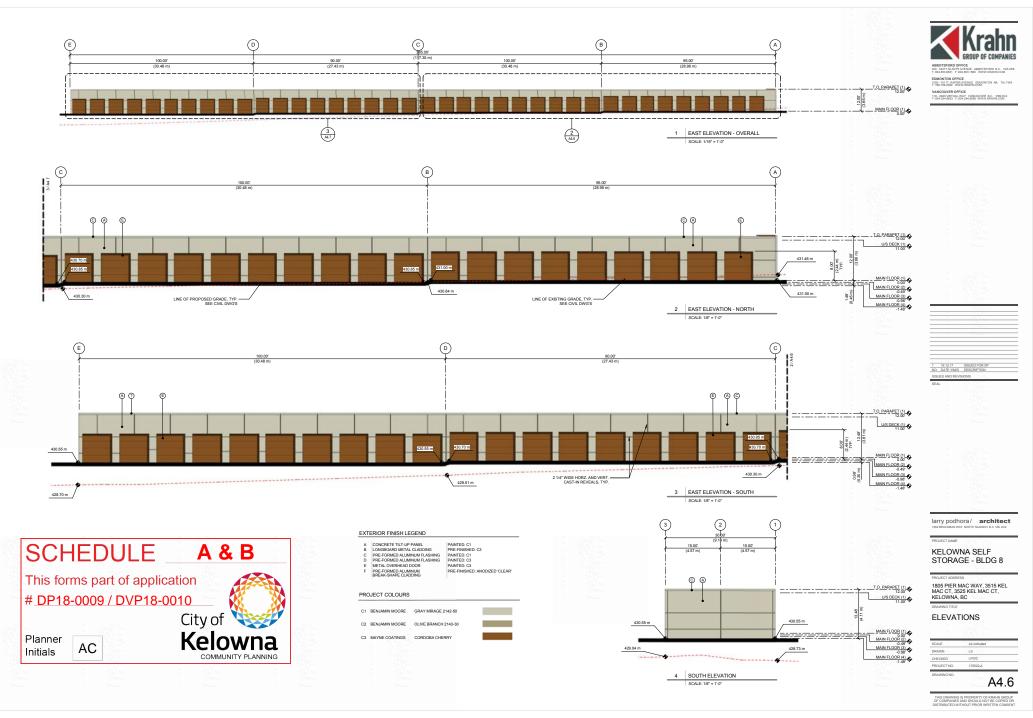


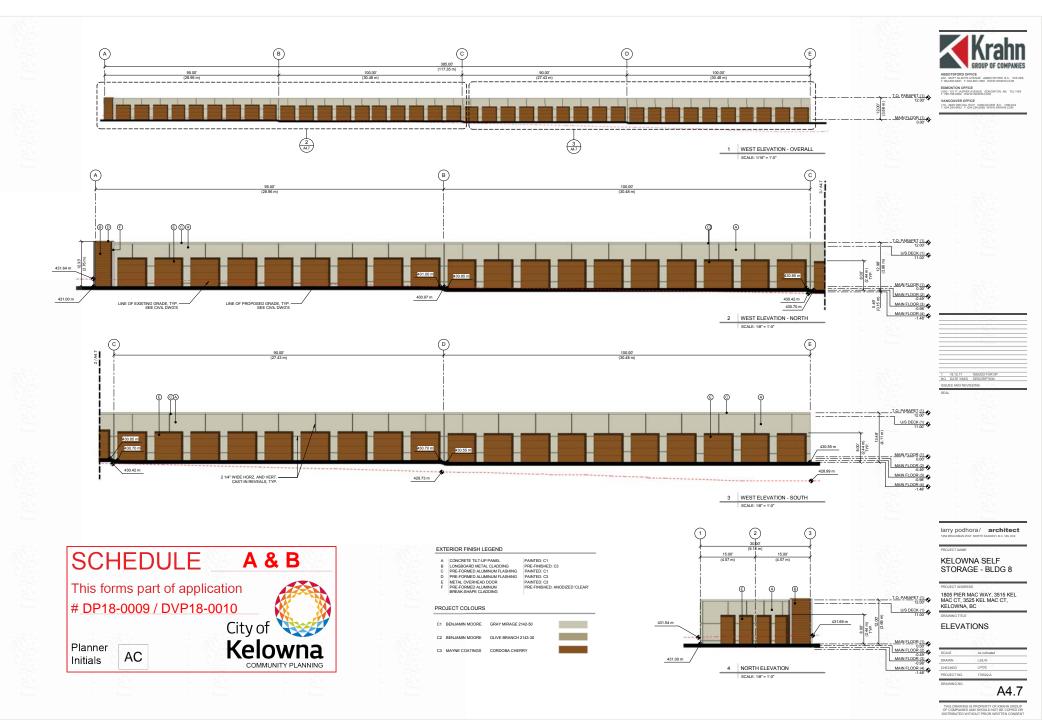


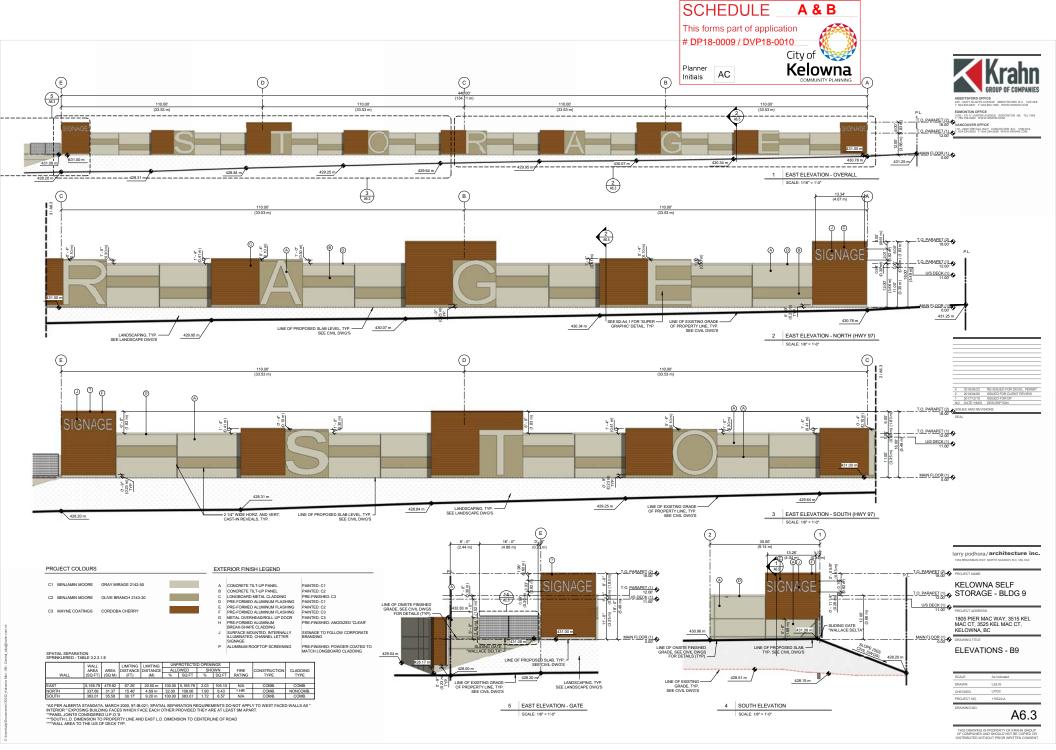


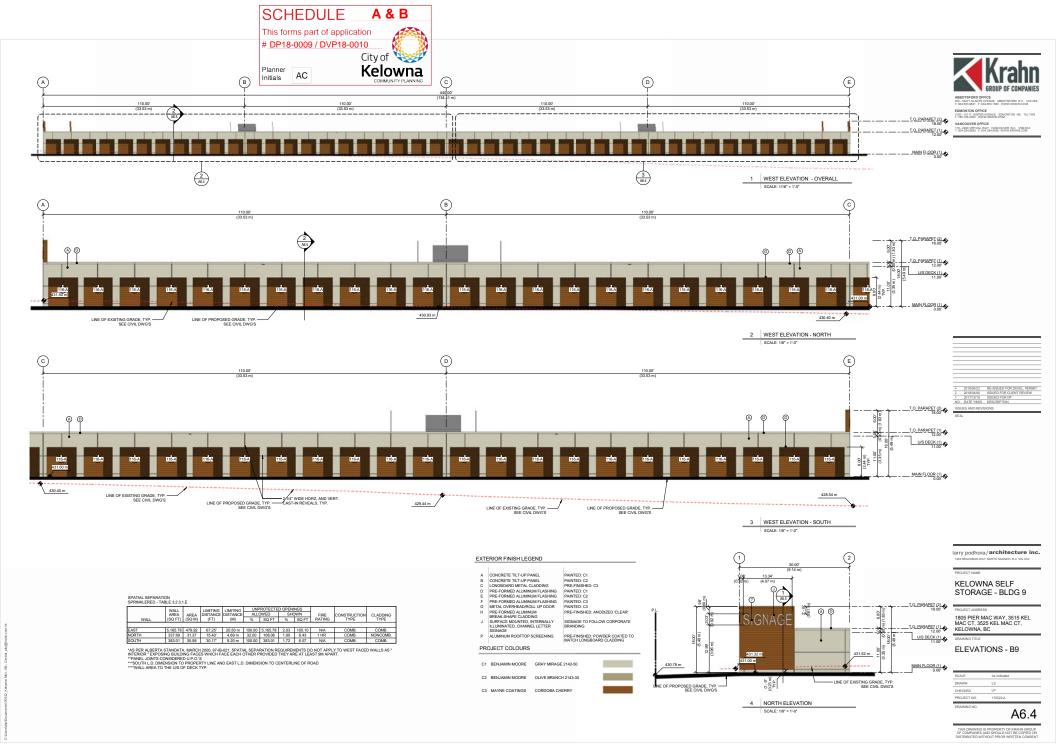
















STREET VIEW- SOUTH-EAST CORNER - HIGHWAY 97



STREET VIEW- NORTH-EAST CORNER - HIGHWAY 97



STREET VIEW- NORTH-EAST CORNER - HIGHWAY 97



EAST STREET ELEVATION- BLDG 9- HIGHWAY 97

SCHEDULE A & B
This forms part of application
DP18-0009 / DVP18-0010
City of
Planner Initials AC
Kelowna

5 201904/23 RE-SSUED FOR DEVEL PERMIT NO DATE YMID DESCRETION ISSUES AND REVISIONS

larry podhora/architecture inc.

PROJECT NAME

KELOWNA SELF-STORAGE

1805 PIER MAC WAY, 3515 KEL MAC CT, 3525 KEL MAC CT, KELOWNA, BC

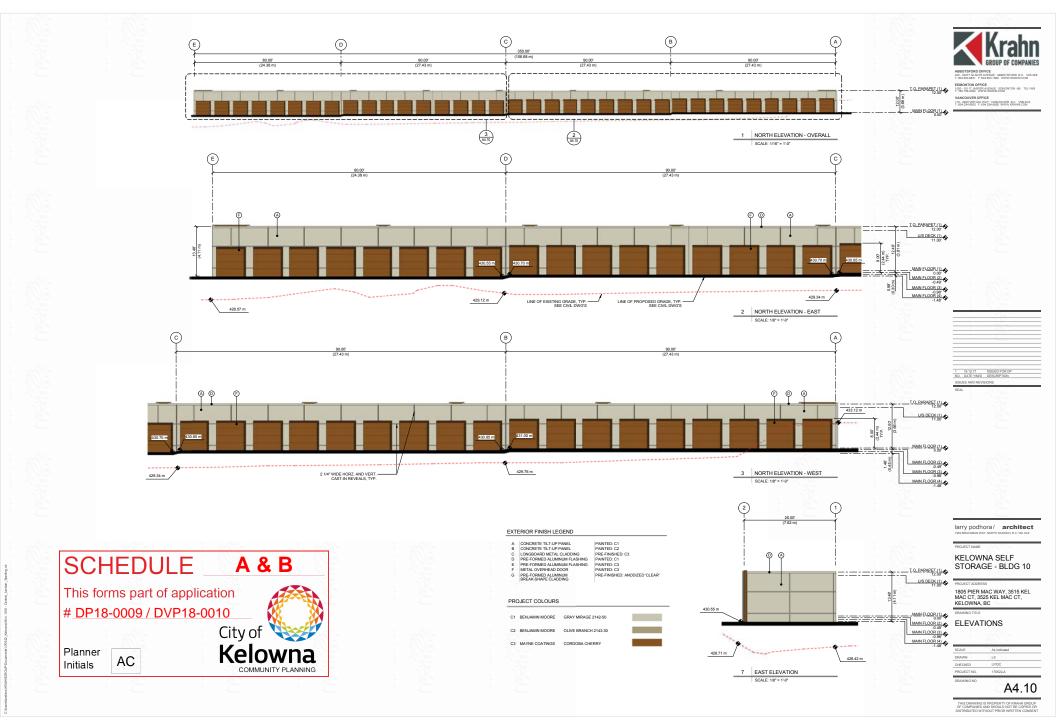
STREET VIEWS

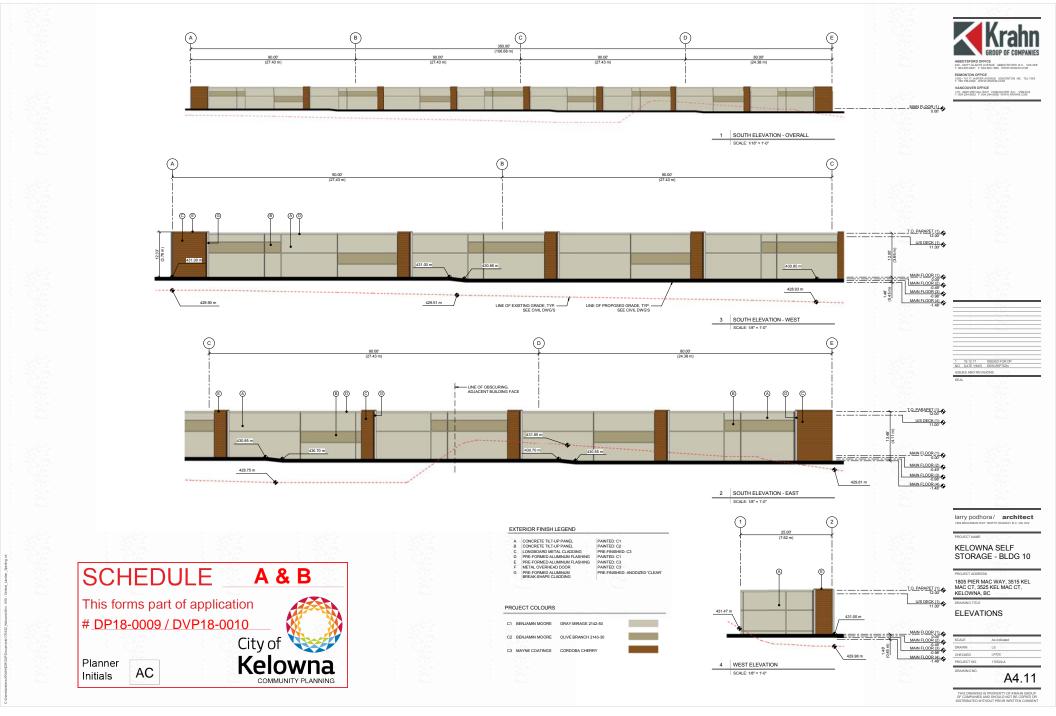
DRAWN Author

RAWING NO.

A0.4

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR







KELOWNA SELF-STORAGE

larry podhora/ architect

AC

Initials



Date: 1-May-18 Project No. 170522-L

LANDSCAPE PROPOSAL OF COSTS

FOR KELOWNA MINI STORAGE - PHASE 1 1805 PIER MAC WAY, 3515 & 3525 KEL MAC CT. Kelowna, British Columbia

NO.	ITEM	QUANTITY	UNIT	UNIT COST	TOTAL COST
	Supplied and Installed with 1 year warranty				
	Softscape				
1.0	Deciduous trees 50mm cal.		each	\$325.00	\$0.00
2.0	Deciduous trees 60mm cal.	16	each	\$350.00	\$5,600.00
3.0	Deciduous trees 75mm cal.		each	\$375.00	\$0.00
4.0	Coniferous trees 3m ht.	25	each	\$375.00	\$9,375.00
5.0	Coniferous trees 3.5m ht.		each	\$400.00	\$0.00
6.0	Shrubs 30cm ht. #1 pot		each	\$20.00	\$0.00
7.0	Shrubs 40-50cm ht. #2 pot	149	each	\$25.00	\$3,725.00
8.0	Shrubs 60cm ht. #3 pot	350	each	\$30.00	\$10,500.00
9.0	Shrubs 150cm ht. #5 pot		each	\$70.00	\$0.00
10.0	Hedge Cedar 150cm ht. #5 pot		each	\$50.00	\$0.00
11.0	Perennials, Grasses, Groundcovers #1 pot	914	each	\$15.00	\$13,710.00
12.0	Vines #2 pot		each	\$15.00	\$0.00
				Plant Sub-total	\$42,910.00
13.0	Garden soil	584	cub.m.	\$30.00	\$17,520.00
14.0	Hydroseed	478	sq.m.	\$7.00	\$3,346.00
15.0	Turf Grass over 150mm topsoil - On Site	440	sq.m.	\$18.00	\$7,920.00
16.0	Turf Grass over 150mm topsoil - Off Site	247	sq.m.	\$18.00	\$4,446.00
	Site Furniture				
17.0	Bike Rack		each	\$800.00	\$0.00
18.0	Bench		each	\$1,200.00	\$0.00

LANDSCAPE PROPOSED TOTAL

\$76,142.00 Plus applicable taxes





Date: 1-May-18 Project No. 170522-L

LANDSCAPE PROPOSAL OF COSTS

FOR KELOWNA MINI STORAGE - PHASE 2 1805 PIER MAC WAY, 3515 & 3525 KEL MAC CT.

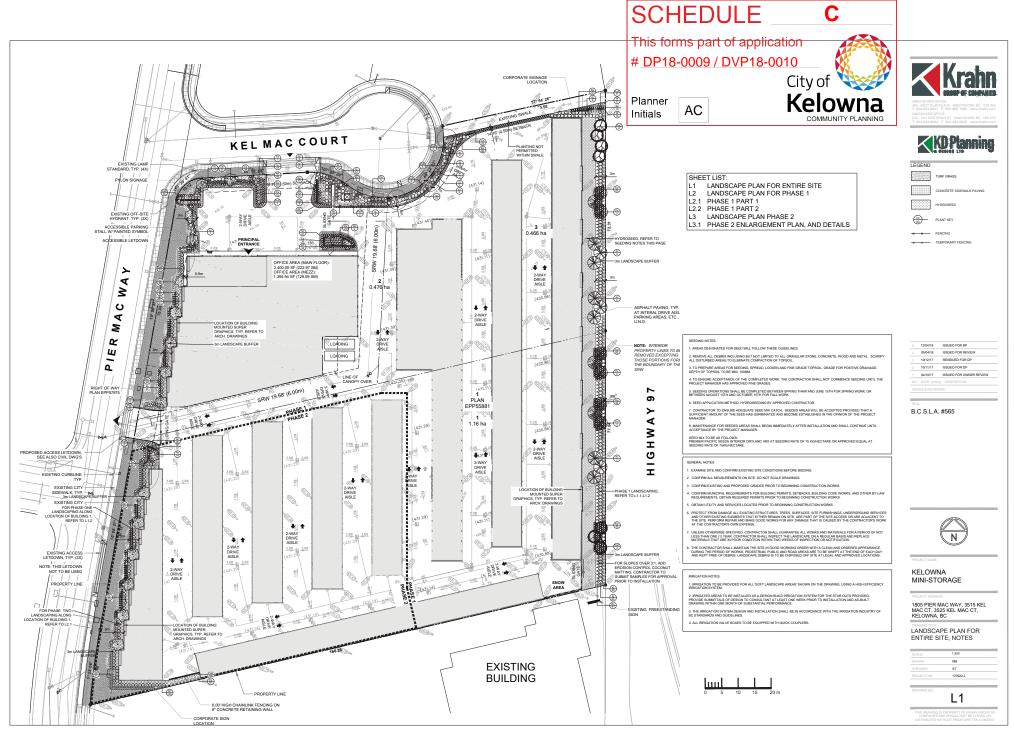
Kelowna, British Columbia

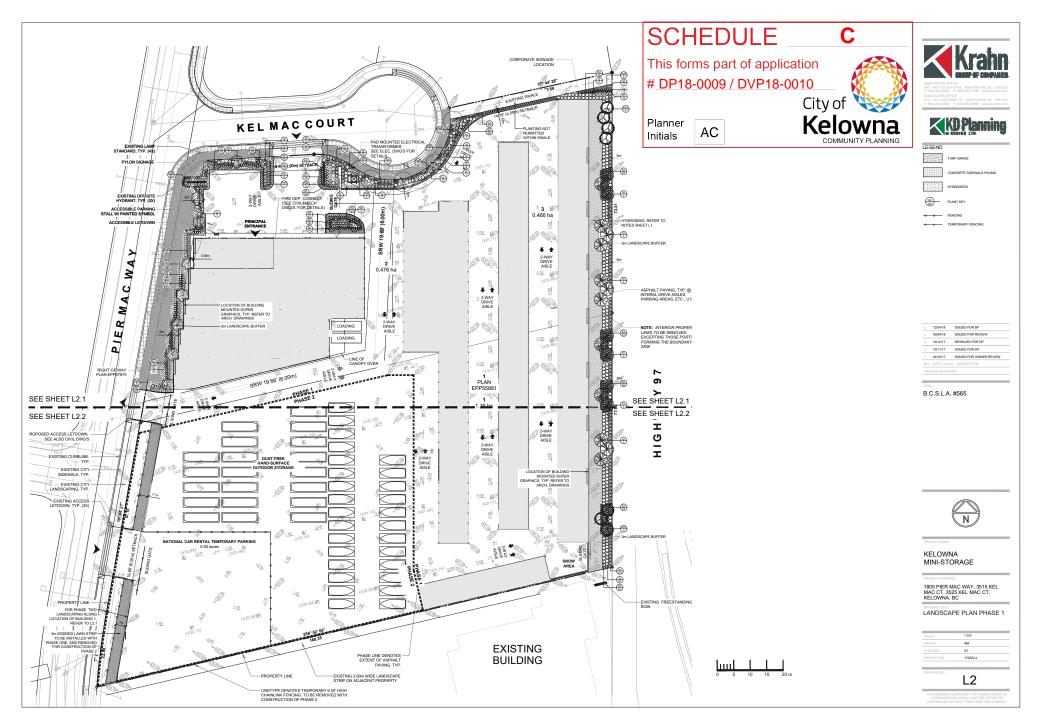
NO.	ITEM	QUANTITY	UNIT	UNIT COST	TOTAL COST
	Supplied and Installed with 1 year warranty				
	Softscape				
1.0	Deciduous trees 50mm cal.		each	\$325.00	\$0.00
2.0	Deciduous trees 60mm cal.	8	each	\$350.00	\$2,800.00
3.0	Deciduous trees 75mm cal.		each	\$375.00	\$0.00
4.0	Coniferous trees 2.5m ht.		each	\$350.00	\$0.00
5.0	Coniferous trees 3.5m ht.		each	\$400.00	\$0.00
6.0	Shrubs 30cm ht. #1 pot		each	\$20.00	\$0.00
7.0	Shrubs 40-50cm ht. #2 pot	97	each	\$25.00	\$2,425.00
8.0	Shrubs 60cm ht. #3 pot		each	\$30.00	\$0.00
9.0	Shrubs 150cm ht. #5 pot		each	\$70.00	\$0.00
10.0	Hedge Cedar 150cm ht. #5 pot		each	\$50.00	\$0.00
11.0	Perennials, Grasses, Groundcovers #1 pot	504	each	\$15.00	\$7,560.00
12.0	Vines #2 pot		each	\$15.00	\$0.00
				Plant Sub-total	\$12,785.00
13.0	Garden soil	154	cub.m.	\$30.00	\$4,620.00
14.0	Hydroseed		sq.m.	\$7.00	\$0.00
15.0	Turf Grass over 150mm topsoil - On Site	325	sq.m.	\$18.00	\$5,850.00
16.0	Turf Grass over 150mm topsoil - Off Site	204	sq.m.	\$18.00	\$3,672.00
	Site Furniture				
17.0	Bike Rack		each	\$800.00	\$0.00
18.0	Bench		each	\$1,200.00	\$0.00
18.0	Bench		each	\$1,200.00	

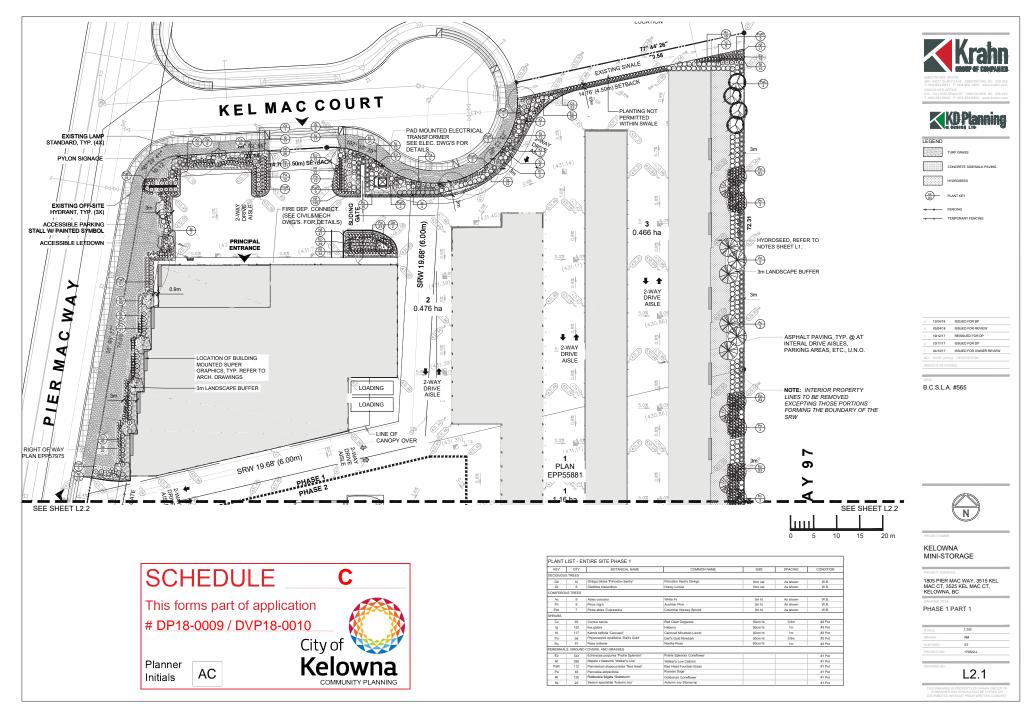
LANDSCAPE PROPOSED TOTAL

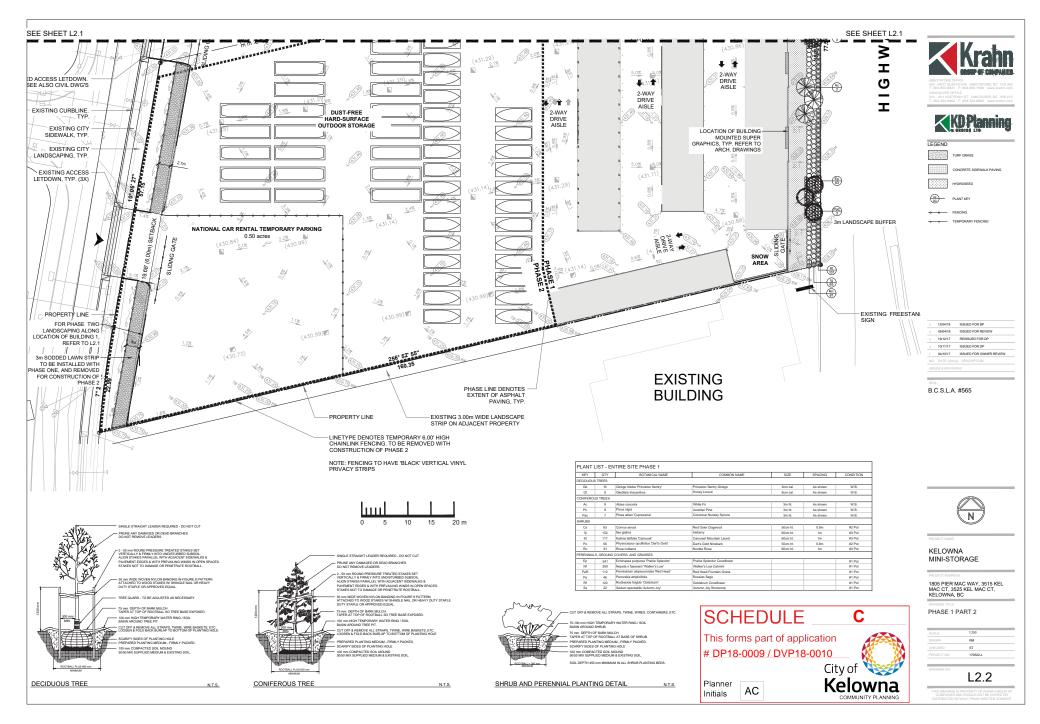
\$26,927.00 Plus applicable taxes

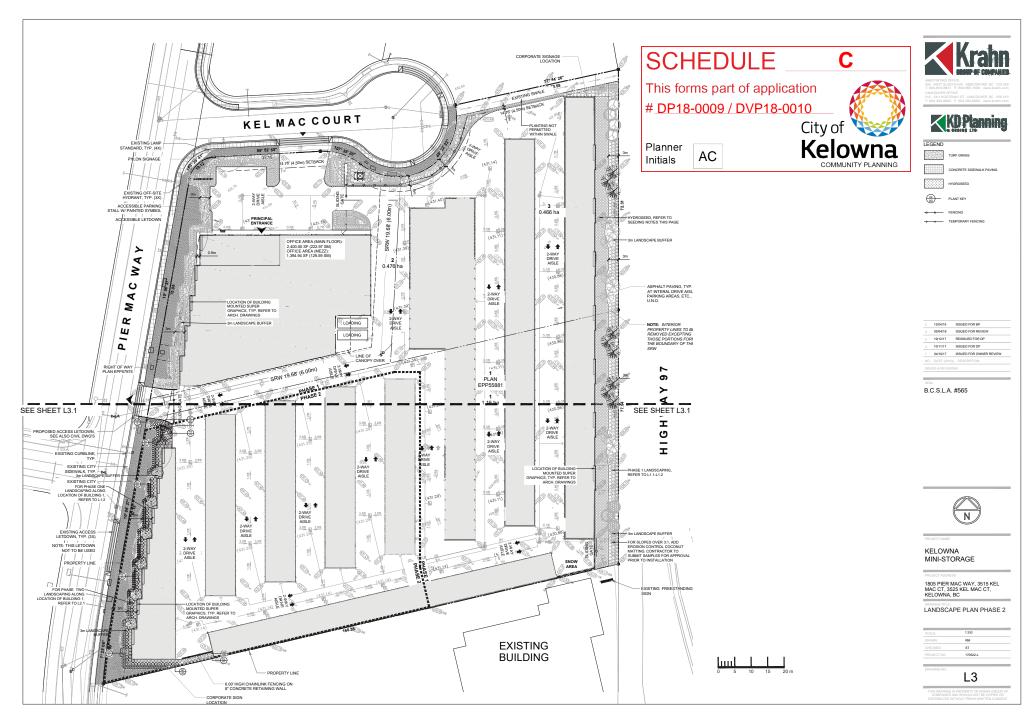


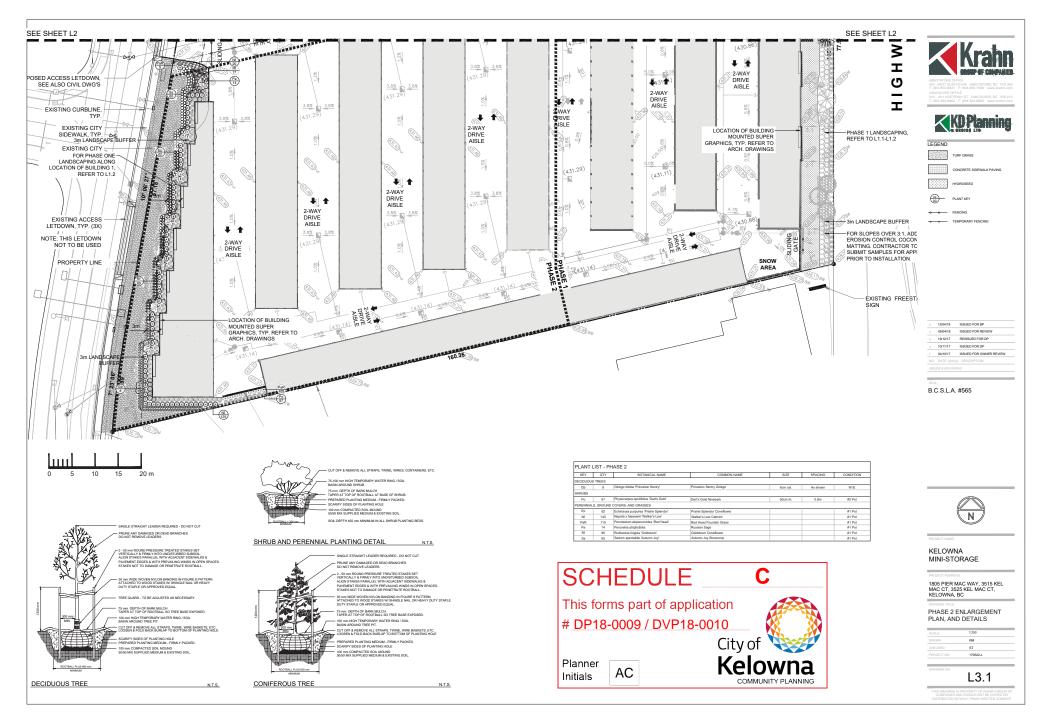












REPORT TO COUNCIL



Date: May 29, 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (KB)

Yvonne Nicole Brown

Address: 743-745 Finns Road Applicant: Urban Options Planning and

Permits

Subject: Development Variance Permit

Existing OCP Designation: COMM - Commercial

Existing Zone: I2 – General Industrial

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0069 for Lot 1 Section 34 Township 26 Osoyoos Division Yale District Plan 3389, located at 743-745 Finns Road, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted in general accordance with Schedule "A":

Section 15.2.5(d): I2 – General Industrial Development Regulations

To vary the required minimum front yard (north) from 7.5 m permitted to 6.0 m proposed.

Section 15.2.5(d): I2 - General Industrial Development Regulations

To vary the required minimum front yard (south) from 7.5 m permitted to 6.0 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the required minimum front yards (north and south) on the subject property.

3.0 Community Planning

Community Planning Staff support the requested variances to the north and south front yard setbacks. The lot is double fronting on both Finns Road and Fitzpatrick Road, and is relatively small (approximately 607 m²) in area. Due to the unconventional property lines, if the applicant were to develop a building without

variances, it would result in a small allowable building footprint. Staff do not anticipate the requested variances to have any significant impact on the context of the neighbourhood.

4.0 Proposal

4.1 Project Description

The applicant is requesting variances to the north and south front yard setbacks to facilitate the development of a new industrial building. All existing structures on the subject property are proposed to be removed. Parking for the new building is proposed to be located off of Fitzpatrick Road.

4.2 Site Context

The subject property is a double fronting lot between Finns Road and Fitzpatrick Road in the City's Rutland Sector. It is approximately 0.15 acres (607 m²) in area and there is currently an active license for an automotive sales business, which is a permitted use in the I2 zone.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use	Future Land Use
North	I2 — General Industrial	Industrial	Industrial
East	I2 — General Industrial	Industrial	Commercial
South	I2 – General Industrial & A1 – Agriculture 1	Industrial and Residential	Industrial
West	I2 — General Industrial	Vacant Land	Commercial & Industrial



4.3 Zoning Analysis Table

CRITERIA	I2 ZONE REQUIREMENTS	PROPOSAL
	Development Regulations	
Front Yard (north)	7.5 M	6.o m o
Front Yard (south)	7.5 M	6.o m ②
Side Yard (east)	o.o m	o.3 m
Side Yard (west)	0.0 m	4.5 m

5.0 Technical Comments

5.1 <u>Development Engineering Department</u>

This Development Variance Permit application does not compromise any municipal services.

6.0 Application Chronology

Date of Application Received: March 8, 2018
Date Public Consultation Completed: May 1, 2018

Report prepared by: Kimberly Brunet, Planner

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development Variance Permit No. DVP18-0069 Schedule "A" - Site Plan

Development Variance Permit No. DVP18-0069



This permit relates to land in the City of Kelowna municipally known as

743-745 Finns Road

and legally known as

Lot 1 Section 34 Township 26 Osoyoos Division Yale District Plan 3389

and permits the land to be used for the following development:

General Industrial Uses

With variances to the following section of Zoning Bylaw No. 8000

Section 15.2.5(d): I2 — General Industrial Development Regulations

To vary the required minimum front yard (north) from 7.5 m permitted to 6.0 m proposed.

Section 15.2.5(d): I2 - General Industrial Development Regulations

To vary the required minimum front yard (south) from 7.5 m permitted to 6.0 m proposed.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: May 29, 2018

City Council Decision By:

Issued Date: May 29, 2018

Development Permit Area: N/A

This permit will not be valid if development has not commenced by May 29, 2020.

Future Land Use Designation: COMM - Commercial Existing Zone: I2 – General Industrial

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Jeffrey Neil Brown and Yvonne Nicole Brown Owner:

Applicant: **Urban Options Planning and Permits**

Ryan Smith

Community Planning Department Manager Community Planning & Strategic Investments Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None Required

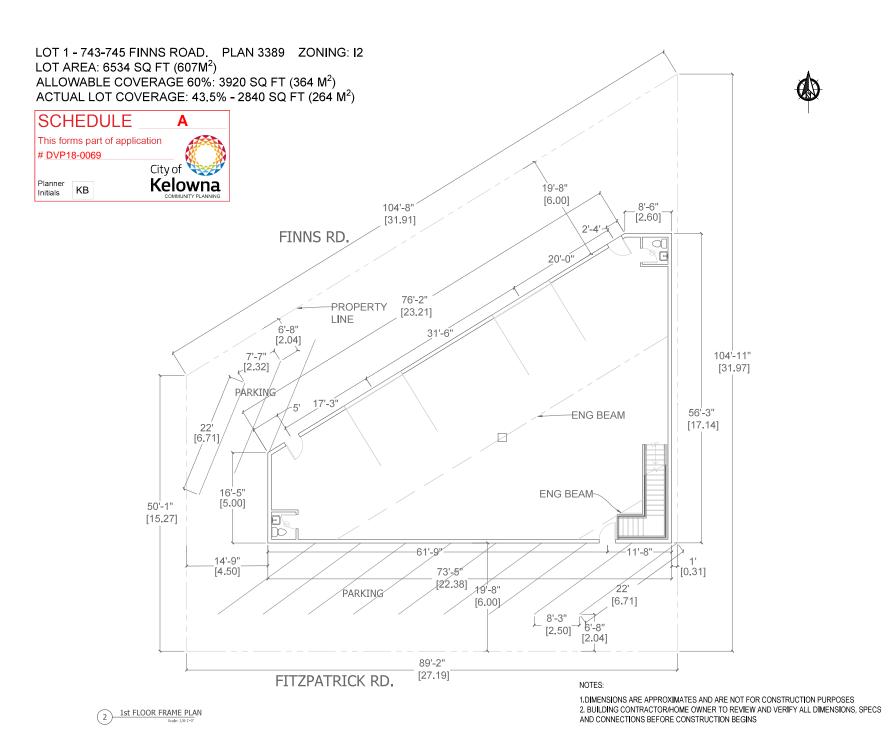
4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the <u>CURRENT LAND OWNER</u>. Security shall <u>ONLY</u> be returned to the signatory of the Landscape Agreement or their designates.



GENERAL NOTES 1.DIMENSIONS ARE APPROXIMATES AND ARE NOT FOR CONSTRUCTION PURPOSES 2. BUILDING CONTRACTOR TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS AND CONNECTIONS BEFORE CONSTRUCTION BEGINS REVISE LOT INFO ADDED EXTRA STALLS FEB 26/18

Project Name and Address ZONING CHANGE PROPOSAL MAXUM AUTOBODY 743-745 FINNS ROAD KELOWNA, BC LOT 1 PLAN # 3389

Revision/Issue

Project Date JAN 19/18 Scale As Noted

