

# City of Kelowna Public Hearing AGENDA



Tuesday, May 29, 2018  
6:00 pm  
Council Chamber  
City Hall, 1435 Water Street

Pages

## 1. Call to Order

THE CHAIR WILL CALL THE HEARING TO ORDER:

1. (a) The purpose of this Hearing is to consider certain bylaws which, if adopted, shall amend Kelowna 2030 - Official Community Plan Bylaw No. 10500 and Zoning Bylaw No. 8000.

(b) All persons who believe that their interest in property is affected by the proposed bylaws shall be afforded a reason-able opportunity to be heard or to present written submissions respecting matters contained in the bylaws that are the subject of this hearing. This Hearing is open to the public and all representations to Council form part of the public record. A live audio feed may be broadcast and recorded by Castanet.

(c) All information, correspondence, petitions or reports that have been received concerning the subject bylaws have been made available to the public. The correspondence and petitions received after May 16, 2018(date of notification) are available for inspection during the course of this hearing and are located on the information table in the foyer of the Council Chamber.

(d) Council debate on the proposed bylaws is scheduled to take place during the Regular Council meeting after the conclusion of this Hearing. It should be noted, however, that for some items a final decision may not be able to be reached tonight.

(e) It must be emphasized that Council will not receive any representation from the applicant or members of the public after conclusion of this Public Hearing.

## 2. Notification of Meeting

The City Clerk will provide information as to how the Hearing was publicized.

### **3. Individual Bylaw Submissions**

- |            |                                                                                                                                                                     |                |
|------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|
| <b>3.1</b> | <b>Sarsons Road 424, Z18-0013 (BL11613) - JK Quest Ltd., Inc.No. BC1108914</b>                                                                                      | <b>4 - 13</b>  |
|            | To rezone the subject property from RU1 – Large Lot Housing to RU2 – Medium Lot Housing, to facilitate a two-lot subdivision.                                       |                |
| <b>3.2</b> | <b>Dougall Rd N 490, Z17-0101 (BL11614) - Jaspreet Sekhon</b>                                                                                                       | <b>14 - 28</b> |
|            | To rezone the subject property from RU1 – Large Lot Housing to RU1c – Large Lot Housing with Carriage House zone to facilitate the development of a Carriage House. |                |
| <b>3.3</b> | <b>Hubbard Rd 814, Z18-0014 (BL11615) - James and Robin Wilson</b>                                                                                                  | <b>29 - 34</b> |
|            | To rezone the subject property from RU1 – Large Lot Housing to RU2 – Medium Lot Housing to facilitate a proposed two lot subdivision.                               |                |

### **4. Termination**

### **5. Procedure on each Bylaw Submission**

- (a) Brief description of the application by City Staff (Land Use Management);
- (b) The Chair will request that the City Clerk indicate all information, correspondence, petitions or reports received for the record.
- (c) The applicant is requested to make representation to Council regarding the project and is encouraged to limit their presentation to 15 minutes.
- (d) The Chair will call for representation from the public in attendance as follows:
  - (i) The microphone at the public podium has been provided for any person(s) wishing to make representation at the Hearing.
  - (ii) The Chair will recognize ONLY speakers at the podium.
  - (iii) Speakers are encouraged to limit their remarks to 5 minutes, however, if they have additional information they may address Council again after all other members of the public have been heard a first time.
- (e) Once the public has had an opportunity to comment, the applicant is given an opportunity to respond to any questions raised. The applicant is requested to keep the response to a total of 10 minutes maximum.
- (f) Questions by staff by members of Council must be asked before the Public Hearing is closed and not during debate of the bylaw at the Regular Meeting, unless for clarification.

(g) Final calls for representation (ask three times). Unless Council directs that the Public Hearing on the bylaw in question be held open, the Chair shall state to the gallery that the Public Hearing on the Bylaw is closed.

Note: Any applicant or member of the public may use visual aids (e.g. photographs, sketches, slideshows, etc.) to assist in their presentation or questions. The computer and ELMO document camera at the public podium are available. Please ask staff for assistance prior to your item if required.

# REPORT TO COUNCIL



**Date:** May 7, 2018

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (BBC)

**Application:** Z18-0013      **Owner:** JK Quest Ltd., Inc. No. BC1108914

**Address:** 424 Sarsons Road      **Applicant:** Urban Options Planning & Permits

**Subject:** Rezoning Application – Z18-0013

Existing OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: RU1 - Large Lot Housing

Proposed Zone: RU2 – Medium Lot Housing

---

## 1.0 Recommendation

THAT Rezoning Application No. Z18-0013 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 17, District Lot 167, Osoyoos Division, Yale District, Plan 8049, located at 424 Sarsons Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Attachment "A" from the Development Engineering Department dated February 13, 2017;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered subsequent to the issuance of a Preliminary Layout Review Letter by the Approving Officer.

## 2.0 Purpose

Community Planning supports the proposed rezoning from RU1 – Large Lot Housing to RU2 – Medium Lot Housing, to facilitate a two-lot subdivision.

### 3.0 Community Planning

Community Planning supports the proposed rezoning from RU1 – Large Lot Housing to RU2 – Medium Lot Housing, to facilitate a two-lot subdivision.

The property is located within the Permanent Growth Boundary in the Mission neighbourhood of Kelowna. The parcel is designated as S2RES - Single/Two Unit Residential in the Official Community Plan (OCP). The application to rezone the parcel meets the OCP urban infill policy of supporting the densification of neighbourhoods through appropriate infill development, including the use of smaller lots. The modest increase in density is supported by local amenities such as parks, schools, transit and recreational opportunities in the immediate area. Recently a similar rezoning application to facilitate a two-lot subdivision on an adjacent lot to the subject property was supported by Council.

To fulfill Council Policy No. 367, the applicant submitted a Neighbour Consultation Summary Form to staff on February 20, 2018, outlining that the neighbours within 50 m of the subject property were notified.

### 4.0 Proposal

#### 4.1 Project Description

The proposal is to rezone the parcel from the existing RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing zone. Should the rezoning be successful, the applicant is planning to subdivide the parcel into two parcels to facilitate the development of one single family dwelling on each of the two new lots.

Should the rezoning be supported by Council, the applicant could proceed with the subdivision application and then directly to building permit applications to construct a single family dwelling on each of the lots. The Zoning Bylaw Development Regulations and parking requirements would be reviewed at time of Building Permit application to ensure compliance.

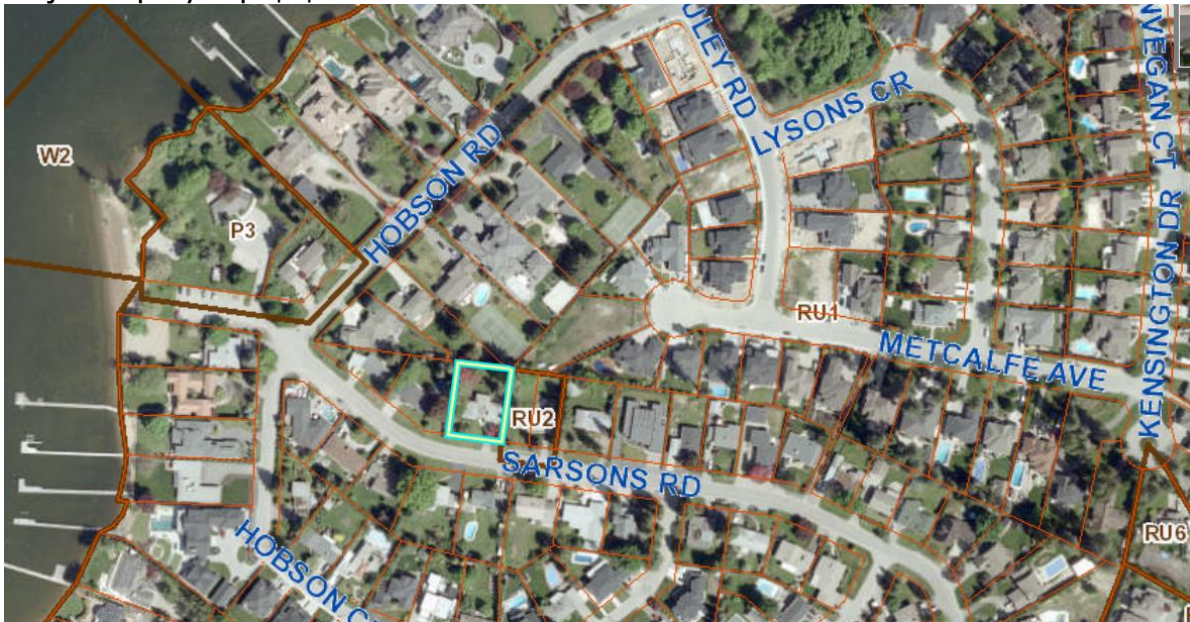
#### 4.2 Site Context

The subject property is located near the corner of Sarsons Road and Hobson Road within the North Mission City Sector. The area is characterized primarily by single family dwellings, with several parks within walking distance, including a park accessing the Okanagan Lake located within 100 m to the west.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single Dwelling Housing
East	RU1 – Large Lot Housing P3 – Parks and Open Spaces	Single Dwelling Housing Park Area
South	RU1 - Large Lot Housing	Single Dwelling Housing
West	RU2 – Medium Lot Housing RU1 - Large Lot Housing	Single Dwelling Housing

Subject Property Map: 424 Sarsons Road



## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill.**<sup>2</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

- No Comment

### 6.2 Development Engineering Department

- Please see attached Development Engineering Memorandum (Attachment A).

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.27.6 (Development Process Chapter)

## **7.0 Application Chronology**

Date of Application Received: January 17, 2018  
Date Public Consultation Completed: February 20, 2018

**Report prepared by:** Barbara B. Crawford, Planner  
**Reviewed by:** Terry Barton, Urban Planning Manager  
**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

### **Attachments:**

Attachment A – Development Engineering Memorandum  
Attachment B – Applicant’s Rationale Letter

---

**CITY OF KELOWNA**  
**MEMORANDUM**

---

**Date:** February 13, 2018  
**File No.:** Z18-0013  
**To:** Community Planning (BC)  
**From:** Development Engineering Manager (JK)  
**Subject:** 424 Sarsons Road RU1 to RU2

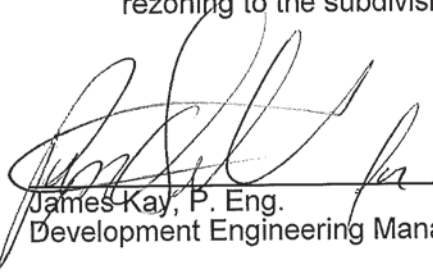
---

Development Engineering has the following comments and requirements associated with this application.

1. General

Road frontage improvements are triggered by this rezoning application. The requirements include curb and gutter, storm drainage system and pavement widening. Also required is a landscaped boulevard, street lighting and the re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The cost of this construction is at the applicant's expense.

The proposed redevelopment includes the subject parcel being subdivided into two lots. A subdivision application will require service upgrades that include the installation of additional services. The work will require road cuts and boulevard and pavement restoration. Development Engineering is prepared to defer the requirements of the rezoning to the subdivision stage.

  
James Kay, P. Eng.  
Development Engineering Manager

JA

## CITY OF KELOWNA

# MEMORANDUM

**Date:** February 13, 2018  
**File No.:** S18-0011  
**To:** Community Planning (BC)  
**From:** Development Engineering Manager (JK)  
**Subject:** Subdivision Application – PLR Requirements (REVISED)

**LOCATION:** 424 Sarsons Road  
**APPLICANT:** JK Quest Ltd.  
**LEGAL:** Lot 17 Plan 8049

### WORKS AND SERVICES REQUIREMENTS

The City's Development Engineering Department will handle the Works & Services requirements identified below between time of Preliminary Layout Review (PLR) and application for Subdivision Approval. Arrangements for construction must be made before making application for Final Approval of a subdivision plan. The Development Engineering Technologist for this project is Jason Angus. The following Works & Services are required for this subdivision:

#### .1) General

The postal authorities must be contacted to determine whether or not a "community mailbox" will be utilized. Please contact the Canadian Post Corporation, Delivery Services, P.O. Box 2110, Vancouver, B.C. V6B 4Z3 (604) 662-1381 in this regard.

#### .2) Geotechnical Report

- (a) Provide a geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision.
- (b) The Geotechnical reports must be submitted to the Development Services Department (Subdivision Approving officer) for distribution to the Development Engineering Branch and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval.

- (i) Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
- (ii) Site suitability for development.
- (iii) Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- (iv) Any special requirements for construction of roads, utilities and building structures.
- (v) Recommendations for items that should be included in a Restrictive Covenant.
- (vi) Recommendations for roof drains, perimeter drains and septic tank effluent on the site.
- (vii) Any items required in other sections of this document.

### **.3) Water**

- a) The property is located within the City of Kelowna service area. The existing PVC water service will need to be upgraded to a 19mm copper service.
- b) Two new water services can be provided at the applicant's cost prior to subdivision approval. **The applicant will be required to sign a Third Party Work Order for the cost of the new service requirements.** For estimate inquiry's please contact Jason Angus at [jangus@kelowna.ca](mailto:jangus@kelowna.ca) or phone 250-469-8783. Or arrange for lot connections before submission of the subdivision plan.

### **.4) Sanitary Sewer**

- a) The existing 100mm diameter service will be utilised to service one of the proposed lots.
- b) A new sanitary service can be provided at the applicant's cost prior to subdivision approval. **The applicant will be required to sign a Third Party Work Order for the cost of the new service requirements.** For estimate inquiry's please contact Jason Angus at [jangus@kelowna.ca](mailto:jangus@kelowna.ca) or phone 250-469-8783.

### **.5) Drainage**

- a) The property is located within the City of Kelowna drainage service area. The Subdivision, Development and Servicing Bylaw requires that each lot be provided with an individual connection; however, the City Engineer may permit use of individual ground water disposal systems, where soils are suitable. For on-site disposal of drainage water, a hydrogeotechnical report will be required complete with a design for the disposal method (i.e. trench drain / rock pit). The Lot Grading Plan must show the design and location of these systems for each lot.
- b) The development is required to contain and dispose of site generated storm drainage on the site by installing a ground recharge system

designed by the consulting civil engineer. The existing lots do not presently have storm drainage services.

**.6) Roads**

- a) Sarsons Road frontage must be upgraded to a full urban standard including curb, gutter, sidewalk, fillet pavement, street lights, storm drainage, and adjustment and/or re-location of existing utility appurtenances if required to accommodate this construction.

**.7) Power and Telecommunication Services and Street Lights**

- a) If the existing area is served by overhead wiring, the service connections may be provided overhead provided that there are no new poles required and service trespasses will not be created. If either of these conditions is not satisfied, then underground service will be required for that lot.
- b) Streetlights must be installed on all roads.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- d) Before making application for approval of your subdivision plan, please make arrangements with Fortis for the pre-payment of applicable charges and tender a copy of their receipt with the subdivision application for final approval.
- e) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

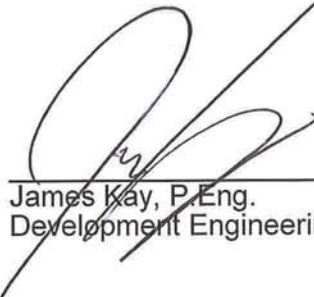
**.8) Other Engineering Comments**

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as B.C. Gas, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.
- c) Only the service upgrades must be completed at this time. The City wishes to defer the remainder of the upgrades to Sarsons Road fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule.

Item	Cost
Drainage	\$4,804.00
Curb &Gutter	\$3,048.00
Sidewalk	\$3,810.00
Street Lighting	\$1,410.00
Landscape Boulevard	\$1,143.00
Road Fillet	\$3,200.00
<b>Total</b>	<b>\$17,415.00</b>

**.9) Charges and Fees**

- a) Development Cost Charges (DCC's) are payable
- b) Fees per the "Development Application Fees Bylaw" include:
  - i) Survey Monument Fee: **\$50.00** (\$50.00 per newly created lot GST exempt).
  - ii) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
- c) A hydrant levy charge of **\$250.00** (250.00 per new lot).
- d) New water services for the lots; **to be determined.**
- e) New sanitary service for the new lot; **to be determined.**
- f) The City wishes to defer the construction of frontage improvements on Sarsons Road which is premature at this time. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule. The cash-in-lieu amount is determined to be **\$17,415.00**



---

James Kay, P.Eng.  
Development Engineering Manager

JA



January 15, 2018

City of Kelowna  
**Planning Department**  
1435 Water Street  
Kelowna, BC

**RE: Rezoning/Subdivision at 424 Sarsons Road**

Dear Urban Planning Department:

This application seeks to rezone the property at 424 Sarsons Road to the RU2 – Medium Lot Housing zone to facilitate a two-lot subdivision. The property is located within the Permanent Growth Boundary with an recently rezoned example of the RU2 – Medium Lot Housing zone next door.

The property is large enough to meet the frontage and area requirements for the RU2- Medium Lot Housing zone. The proposed subdivision is an even division of the land resulting in two 15.27m wide lots with an area of 629.4m<sup>2</sup>. The existing dwelling will be demolished to allow the plans to proceed.

Many of the Official Community Plan objectives are met with the planned project, including:

- Contributing housing stock for growth projections for this city sector
- Compact infill
- Sensitive design

Given the proximity of Sarsons Beach park and schools, this area will continue to be a desirable family neighbourhood. The area has seen many new single-family dwellings and renovations of the existing housing stock as the previous land owners age and move out. The proposal is a good fit for the area as there is a diversity in built forms and property sizes and it adds much needed housing stock.

Sincerely yours,



Birte Decloux

# REPORT TO COUNCIL



**Date:** May 7, 2018

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (LK)

**Application:** Z17-0101 **Owner:** Jaspreet Singh Sekhon

**Address:** 490 Dougall Road N. **Applicant:** Urban Options

**Subject:** Rezoning Application

Existing OCP Designation: MRM – Multiple Unit Residential (Medium Density)

Existing Zone: RU1 – Large Lot Housing

Proposed Zone: RU1c – Large Lot Housing with Carriage House

---

## 1.0 Recommendation

THAT Rezoning Application No. Z17-0101 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 17 Section 26 Township 26 ODYD Plan 3476, located at 490 Dougall Road North, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU1 c– Large Lot Housing with Carriage House zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Attachment “A” attached to the Report from the Community Planning Department dated November 20, 2017.

## 2.0 Purpose

To rezone the subject property from RU1 – Large Lot Housing to RU1c – Large Lot Housing with Carriage House zone to facilitate the development of a Carriage House.

## 3.0 Community Planning

Community Planning Staff support the proposed rezoning application from RU1 – Large Lot Housing to RU1c – Large Lot Housing with Carriage House zone to facilitate the development of a Carriage House on the subject property.

The Official Community Plan (OCP) Future Land Use designation of the subject property and neighbouring properties is MRM- Multiple Unit Residential (Medium Density). To achieve this vision will require the

assembly of multiple properties and consolidation and none along this street has been achieved to-date. The requested modest increase in density to allow a carriage house is viewed by staff as relatively minor, and should not prevent the longer-term OCP vision to be achieved.

Council Policy No. 367 with respect to public consultation was undertaken by the applicant and all neighbours within 50 m radius of the subject parcel.

#### **4.0 Proposal**

##### **4.1 Background**

The subject property has an existing modest size single storey dwelling and garage. Both structures are dated and would be demolished to allow for the construction of a new single family dwelling and carriage house.

##### **4.2 Project Description**

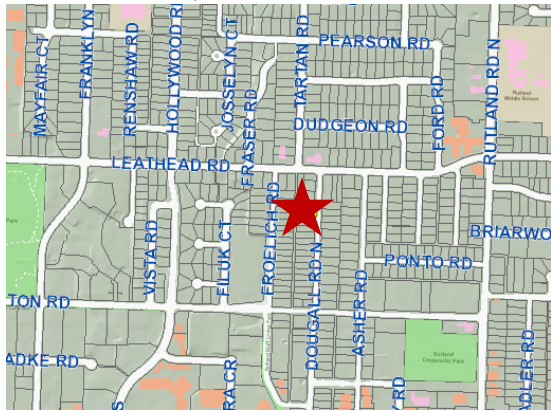
The applicant has provided preliminary plans for a new single family dwelling and a 1 ½ storey carriage house. The owner has a home based business – major (aesthetics) which will operate out of one room located on the main floor of the house. The business will be owned and operated by two family members and will not employ additional staff. All parking requirements for both the business and residences have been met through the provision of four parking stalls. Two parking stalls are within the carriage house and two at-grade stalls are provided in tandem beside the carriage house with access from the rear lane. The proposal for the dwelling, carriage house and home based business meets all of the Zoning Bylaw regulations and does not require any variances.

##### **4.3 Site Context**

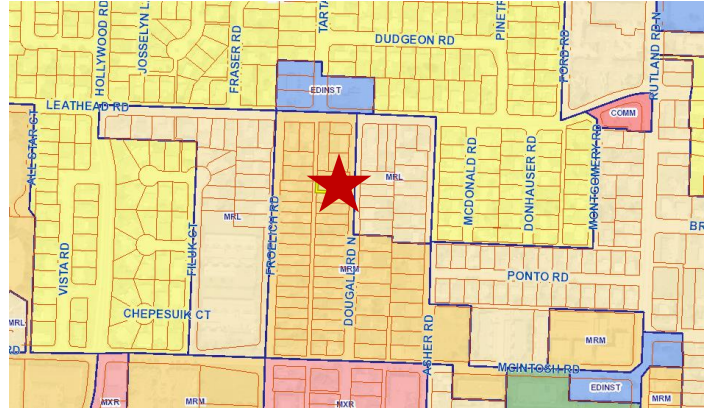
Specifically, adjacent land uses are as follows:

<b>Orientation</b>	<b>Zoning</b>	<b>Land Use</b>
North	RU1 – Large Lot Housing	Single Dwelling Housing
East	RU1 – Large Lot Housing	Single Dwelling Housing
South	RU1 – Large Lot Housing	Single Dwelling Housing
West	RU1 – Large Lot Housing	Single Dwelling Housing

Site Context Map:



Future Land Use:



Subject Property Map: 490 Dougall Road



## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Complete Suburbs:**<sup>1</sup> Support a mix of uses within Kelowna's suburbs (see Map 5.1 - Urban Core Area), in accordance with "Smart Growth" principles to ensure complete communities. Uses that should be present in all areas of the City (consistent with Map 4.1 - Future Land Use Map), at appropriate locations, include: commercial, institutional, and all types of residential uses (including affordable and special needs housing) at densities appropriate to their context.

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

**Compact Urban Form.**<sup>2</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill.**<sup>3</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighborhood with respect to building design, height and siting.

**Carriage Houses and Accessory Apartments.**<sup>4</sup> Support carriage houses and accessory apartments through appropriate zoning regulations.

**Entrepreneurial Initiatives.**<sup>5</sup> Continue to encourage self-employment initiatives, including home-based business, while ensuring neighbourhood fit through the zoning regulations, and work with pertinent agencies to raise awareness of these opportunities.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permits.
- A third party work order may be required with the Development Engineering Department for an upgraded water line and sewage connection. These requirements are to be resolved prior to issuance of the Building Permit.

### 6.2 Development Engineering Department

- Refer to Attachment 'A'. dated November 20, 2017.

### 6.3 Fortis BC - Electric

- There are FortisBC Inc (Electric) ("FBC(E)") primary distribution facilities along Dougall Road N and within the lane adjacent the subject's west property line. Based on the plans provided the proposed carriage house appears to be outside the safe limits of approach for the adjacent overhead line in the lane. Notwithstanding, it is recommended that FBC(E) be contacted as soon as possible to ensure the proposed building height meets with overhead design requirements. The design as presented should NOT be approved until this is confirmed.
- The applicant is responsible for costs associated with any change to the subject property's existing service, if any, as well as the provision of appropriate land rights where required.

### 6.4 Fire Department

- No comments relevant to Rezoning.

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

<sup>3</sup> City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

<sup>4</sup> City of Kelowna Official Community Plan, Policy 5.22.12 (Development Process Chapter).

<sup>5</sup> City of Kelowna Official Community Plan, Policy 5.22.12 (Development Process Chapter).

6.5 Rutland Water District

- Refer to Attachment 'B'.

7.0 **Application Chronology**

Date of Application Received: October 30, 2017

Date of Amended Drawings Received: March 8, 2018

Date Public Consultation Completed: March 27, 2018

**Report Prepared by:** Lydia Korolchuk, Planner

**Reviewed by:** Terry Barton, Urban Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

**Attachments:**

Attachment A: Development Engineering Memorandum

Attachment B: Rutland Water District Letter

Schedule A: Site Plan & Floor Plans

Schedule B: Elevations

**CITY OF KELOWNA**  
**MEMORANDUM**

**Date:** Nov 20, 2017  
**File No.:** Z17-0101

**To:** Community Planning Management (LK)

**From:** Development Engineering Manager (JK)

**Subject:** 490 Dougall Rd N

RU1 to RU1c

Development Engineering has the following comments and requirements associated with this application to rezone from RU1 to RU1c to facilitate the development of a carriage house. The servicing requirements outlined in this report will be a requirement of this development.

1. Domestic Water and Fire Protection

The property is located within the Rutland Water District (RWD) service area. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. The developer is responsible, if necessary, to arrange with RWD staff for any service improvements.

2. Sanitary Sewer

- a) Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service which is adequate for this application.
- b) This property is located within Sewer Specified Area #20. 1 Single Family Equivalent (SFE) is paid for annually with property taxes and is required to be paid in full as part of this rezoning application in addition to 0.5 SFE for the proposed carriage house. The total sewer Specified Area fee in 2017 will be calculated based on 1.5 SFE at \$2045.50 per SFE = **\$3068.25**

3. Development Permit and Site Related Issues

- a) Direct the roof drains onto splash pads.
- b) Maximum driveway width permitted is 6m.

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

James Kay, P. Eng.  
Development Engineering Manager  
agm



106 – 200 Dougall Road North  
Kelowna, BC V1X 3K5  
www.rutlandwaterworks.com

p: (250) 765-5218  
f: (250) 765-7765  
e: info@rutlandwaterworks.com

December 8, 2017

Jaspreet Sekhon  
1828 Split Rail Pl  
Kelowna, BC V1X 3K5

**RE: Lot 17, Plan 3476 – 490 Dougall Rd N (Zoning)**  
**File # Z17-0101, RWD File 17/23**

In response to City of Kelowna request for comment the following is a summary of Rutland Waterworks District requirements:

1. Capital Expenditure Charges	<u>\$2,200.00</u>
<b>Total Fees Payable</b>	<b>\$2,200.00</b>

Water service for the carriage house is to be extended from the existing single family dwelling (through the existing water meter).

Any outstanding accounts must be brought to current status.

Upon receipt of these fees, a water certificate will be issued.

Should you have any questions or require further information, please contact the undersigned.

Sincerely,

Kevin Reynolds  
Manager

c. Lydia Korolchuk (City of Kelowna)

CODE AND STANDARDS

ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.

AT THE TIME OF PREPARATION, THIS PLAN WAS DRAWN IN ACCORDANCE WITH THE CURRENT EDITION OF THE NATIONAL BUILDING CODE. IT IS THE RESPONSIBILITY OF THE BUILDER TO INSURE THAT CHANGES MADE TO THE CODE ARE COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO THE LOCAL BUILDING CODES AND BYLAWS WHICH TAKE PRECEDENCE.

PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATION OF THIS PLAN.

GENERAL NOTES - ARCHITECTURAL

ROOF SPACE VENTILATION - PROVIDE UNIFORM VENTILATION TO 1/300 OF INSULATED CEILING AREA c/w TWO-WAY VENTING

ROOF SPACE - VENTS - PROVIDE UNIFORM DISTRIBUTION OF VENTS WITH 25% MIN. IN THE EAVES AND 15% IN THE ROOF TOP

ROOF SPACE INSULATED - SHALL BE 1" MIN. DISTANCE BELOW THE TOP OF JOISTS

GLASS DETAILS  
- WINDOW FRAMES TO BE THERMALLY BROKEN  
- GLASS IN SIDELIGHT WITHIN 36" OF THE DOOR LOCKS TO BE SAFETY GLASS  
- WINDOWS IN THE ENTRANCE, SHOWER AND SLIDING DOORS TO BE SAFETY GLASS  
- WINDOWS IN BEDROOMS TO BE 4'-11" MAX. ABOVE FLOOR AND TO HAVE A MIN. OPENING DIMENSION OF 15" WITH AN AREA OF 3/75 SFT  
- PROVISION FOR SAFETY GLASS SKYLIGHT IN THERMALLY BROKEN ALUMINUM FRAME

WALL ASSEMBLY INSULATION - MIN. R-VALUE OF R-14 FOR WALLS, R-28 FOR FLAT OR VAULTED CEILINGS AND R-40 FOR ATTICS

WALL ASSEMBLY - WATERPROOF WALLBOARD IS REQUIRED AS TILE BASE AROUND ALL TUBS AND SHOWERS.

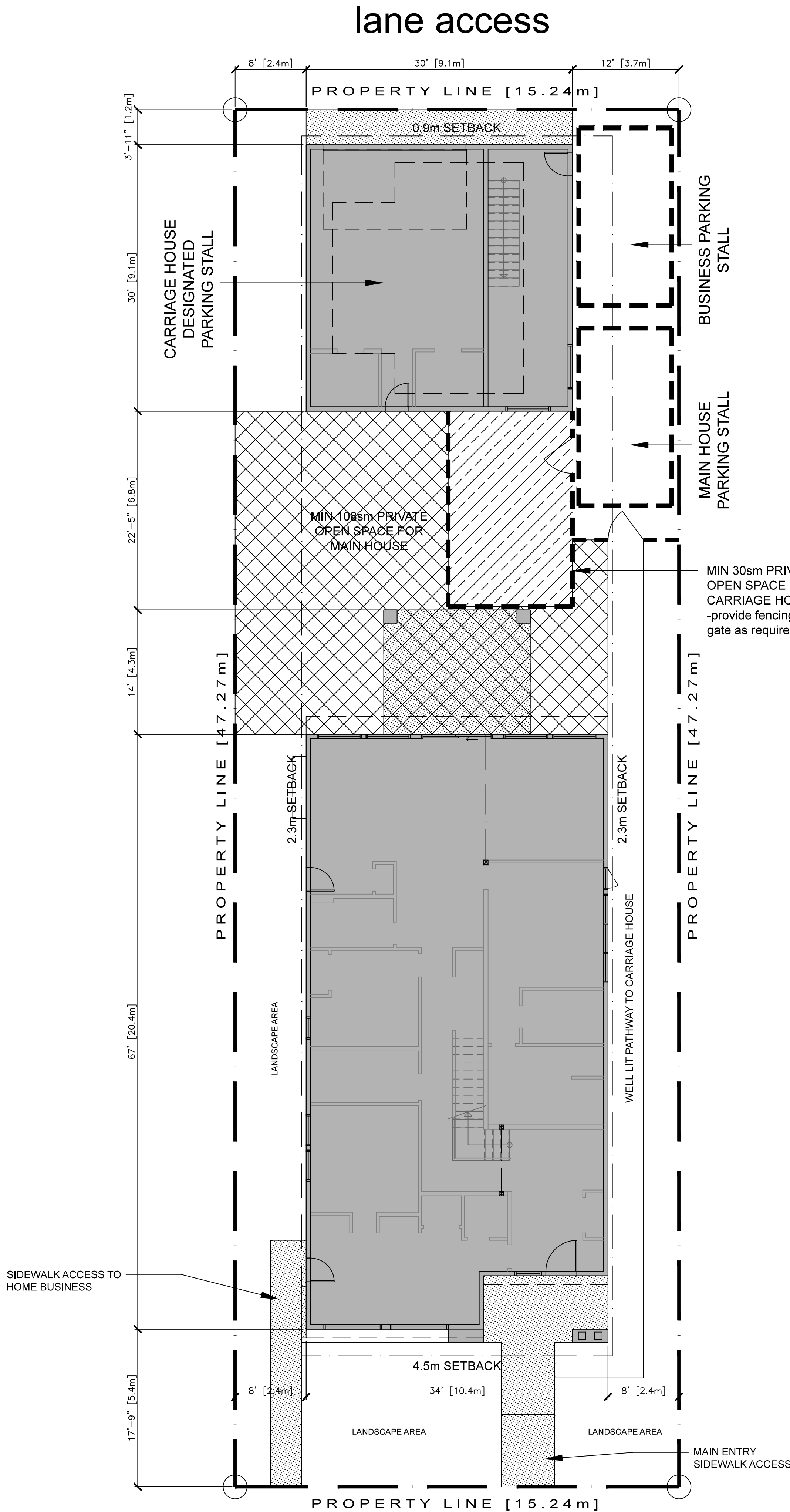
CEILINGS - MIN. 5/8" GWB THICKNESS WHERE THE SPACING MEMBERS IS GREATER THAN 16" O.C.

VENTILATION  
- NATURAL VENTILATION TO ALL ROOMS  
- AIR SHALL BE MECHANICALLY EXHAUSTED FROM KITCHENS, LAUNDRY AND BATHROOMS THAT HAVE NO VENTED WINDOWS  
- ALL DOORS SHALL BE UNDERCUT 1/2" FOR AIR FLOW

RESIDENTIAL STRUCTURAL NOTES

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED SOIL AT AN ELEVATION BELOW FROST PENETRATION.
- PAD AND STRIP FOOTINGS ARE TO BE CENTERED UNDER COLUMNS AND WALLS ABOVE UNLESS OTHERWISE SHOWN. STEPS IN FOOTINGS ARE TO BE A MAXIMUM OF 24" HIGH AND A MINIMUM OF 24" APART. FOOTINGS ARE TO BE PLACED BELOW FROST LINE AS PER CODE, OR ON FIRM BEARING SOIL, WHICHEVER IS DEEPER  
- TO BE VERIFIED BY GEOTECHNICAL ENGINEER.
- FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL THE CONCRETE HAS REACHED A MINIMUM 14 DAY COMPRESSIVE STRENGTH AND ALL STRUCTURAL FRAMING, INCLUDING PLYWOOD SUB FLOOR, REQUIRED TO PROVIDE LATERAL SUPPORT TO THE FOUNDATION WALLS, IS COMPLETE, FULLY NAILED AND ANCHORED.
- ALL FOUNDATION WALLS OVER 8'-0" IN HEIGHT MUST BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER.

ALL PAD FOOTINGS TO BE SIZED AND DESIGNED BY A STRUCTURAL ENGINEER



DRAWING LIST

- |       |                                       |
|-------|---------------------------------------|
| A2.01 | SITE PLAN & WALL ASSEMBLY RSI VALUES  |
| A3.01 | MAIN FLOOR & UPPER FLOOR PLAN         |
| A3.02 | DETACHED GARAGE & CARRIAGE HOUSE PLAN |
| A3.03 | ROOF PLAN                             |
| A4.01 | FRONT & REAR ELEVATIONS               |
| A4.02 | SIDE ELEVATIONS ELEVATIONS            |
| A4.03 | DETACHED GARAGE/CARRIAGE HOUSE ELEVS  |
| A5.01 | BUILDING SECTIONS & DETAILS           |

DOUGALL RD NORTH

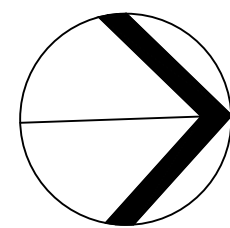
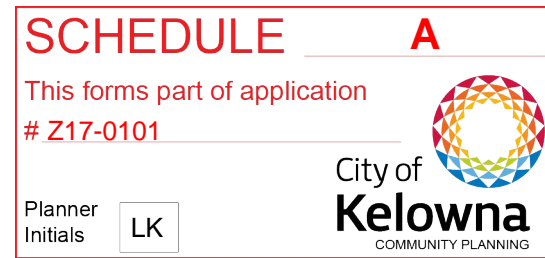
1 SITE PLAN  
A2.01 SCALE: 1/8" = 1'-0"

defined by lines

PARM HUNDAL CONCEPTS

WWW.HUNDALHOMES.COM  
parm@hundalhomes.com

(250)899 0504



PROJECT  
SEKHON HOUSE

490 N. DOUGALL RD, KELOWNA, BC

DRAWING NUMBER

A2.01

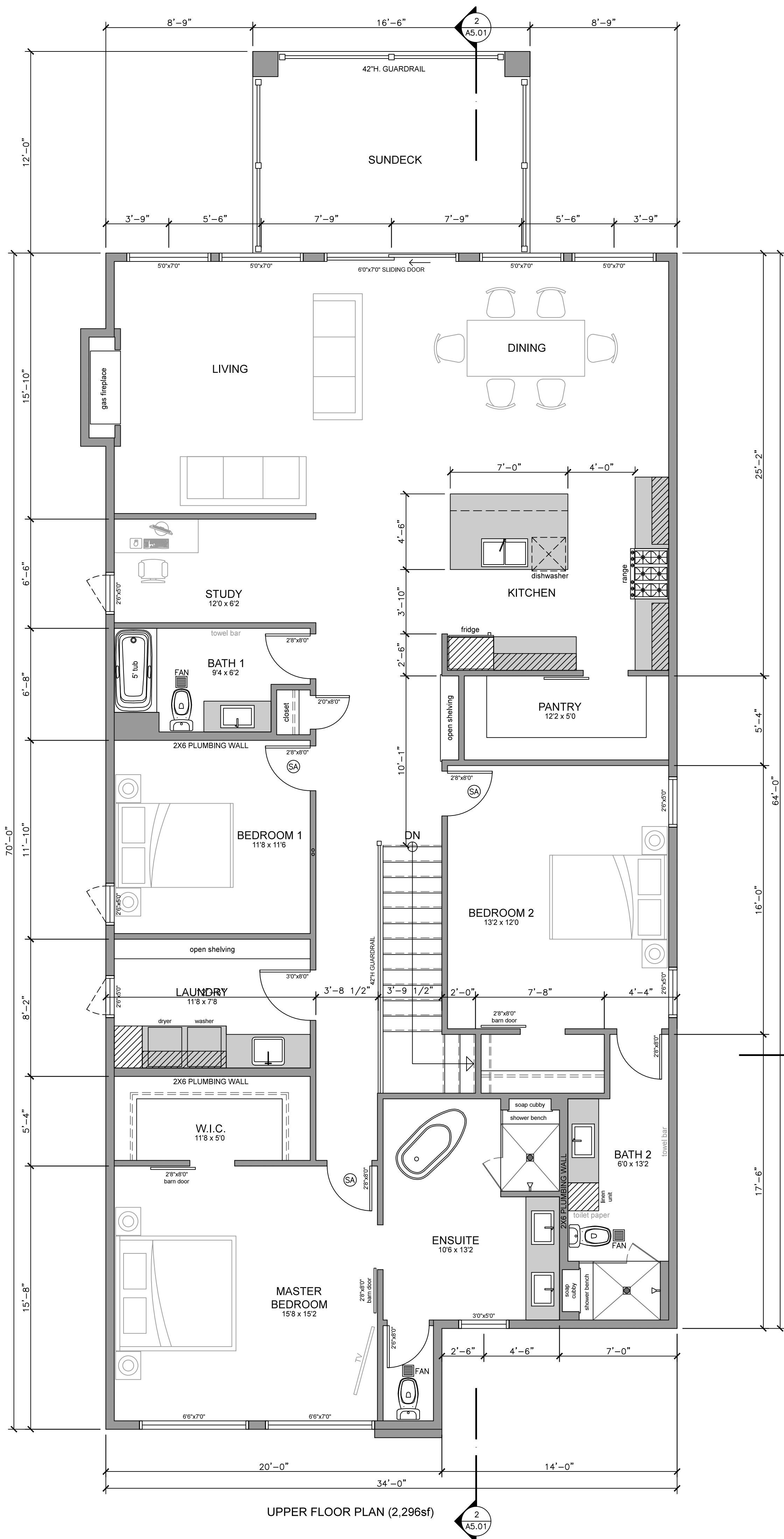
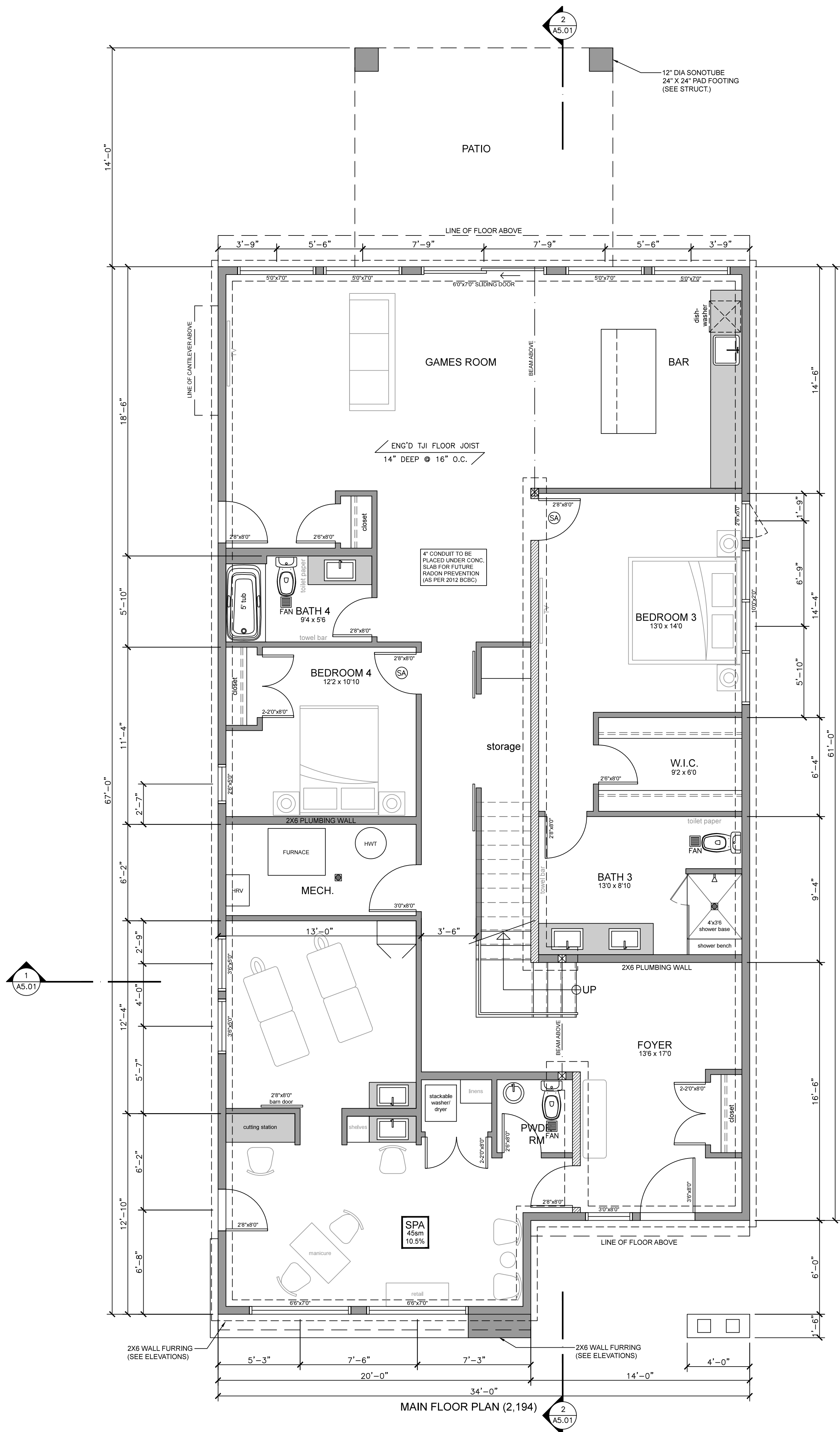
DRAWINGS ARE NOT TO BE SCALED  
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

DRAWING TITLE

SITE PLAN

No.	Date	Revision
01	2017-10-03	issued for DP
02	2018-02-23	revisions for DP
Date	2018-02-23	
Job #	17-081	
Scale	As Shown	
Drawn	PH	

Copyright reserved. This plan and design is the exclusive property of HUNDAL LEGACY HOMES Ltd. and may not be used or reproduced without the designers written permission.  
All information shown on this drawing is for the use on this specific project only.



defined by lines  
PARM HUNDAL CONCEPTS  
WWW.HUNDALHOMES.COM  
parm@hundalhomes.com  
(250) 899 0504

**SCHEDULE A**  
This forms part of application  
# Z17-0101  
Planner Initials LK  
City of Kelowna  
COMMUNITY PLANNING

PROJECT  
SEKHON HOUSE  
490 N. DOUGALL RD, KELOWNA, BC  
DRAWING NUMBER

A3.01

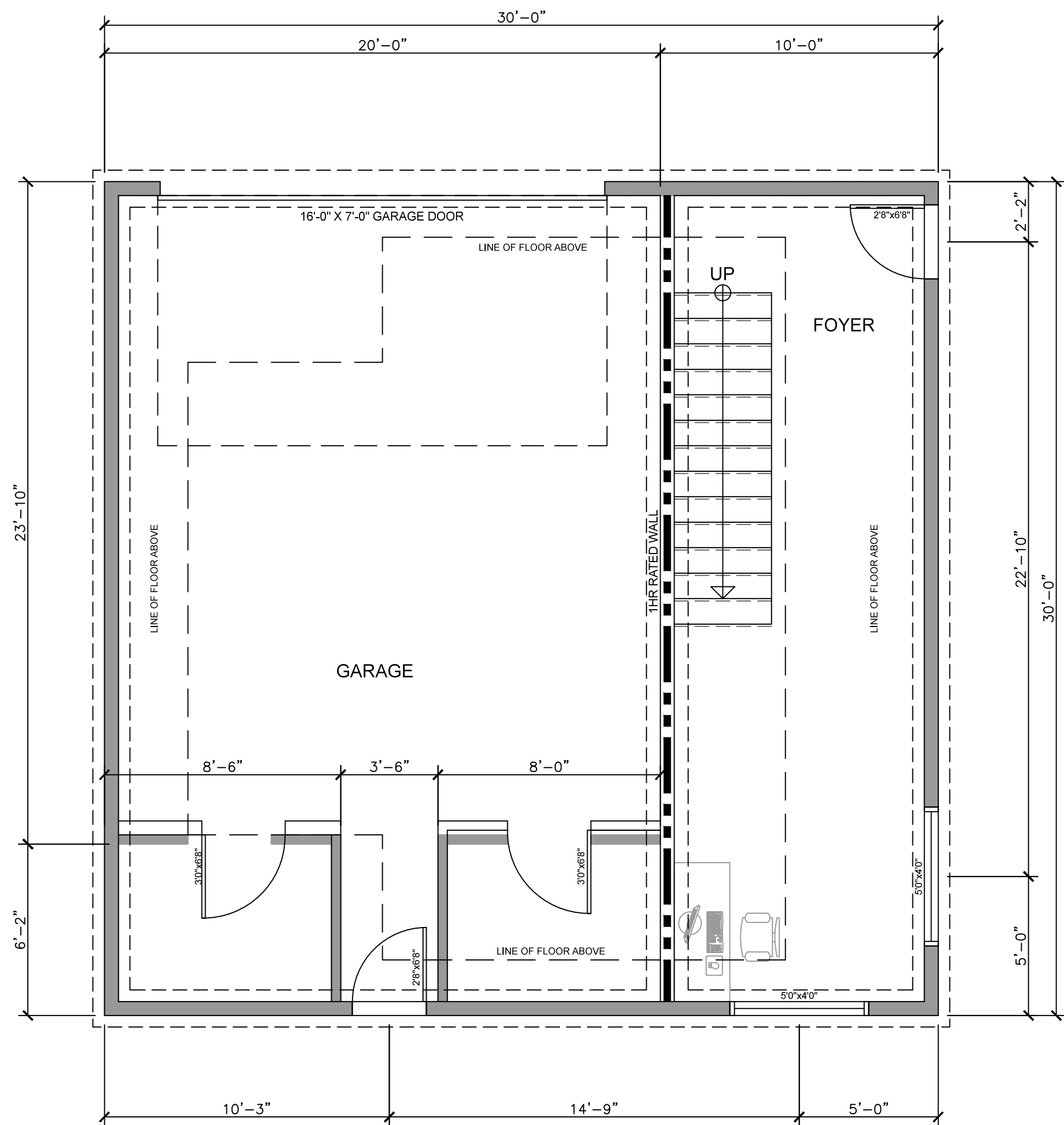
DRAWINGS ARE NOT TO BE SCALED  
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

DRAWING TITLE  
MAIN & UPPER  
FLOOR PLAN

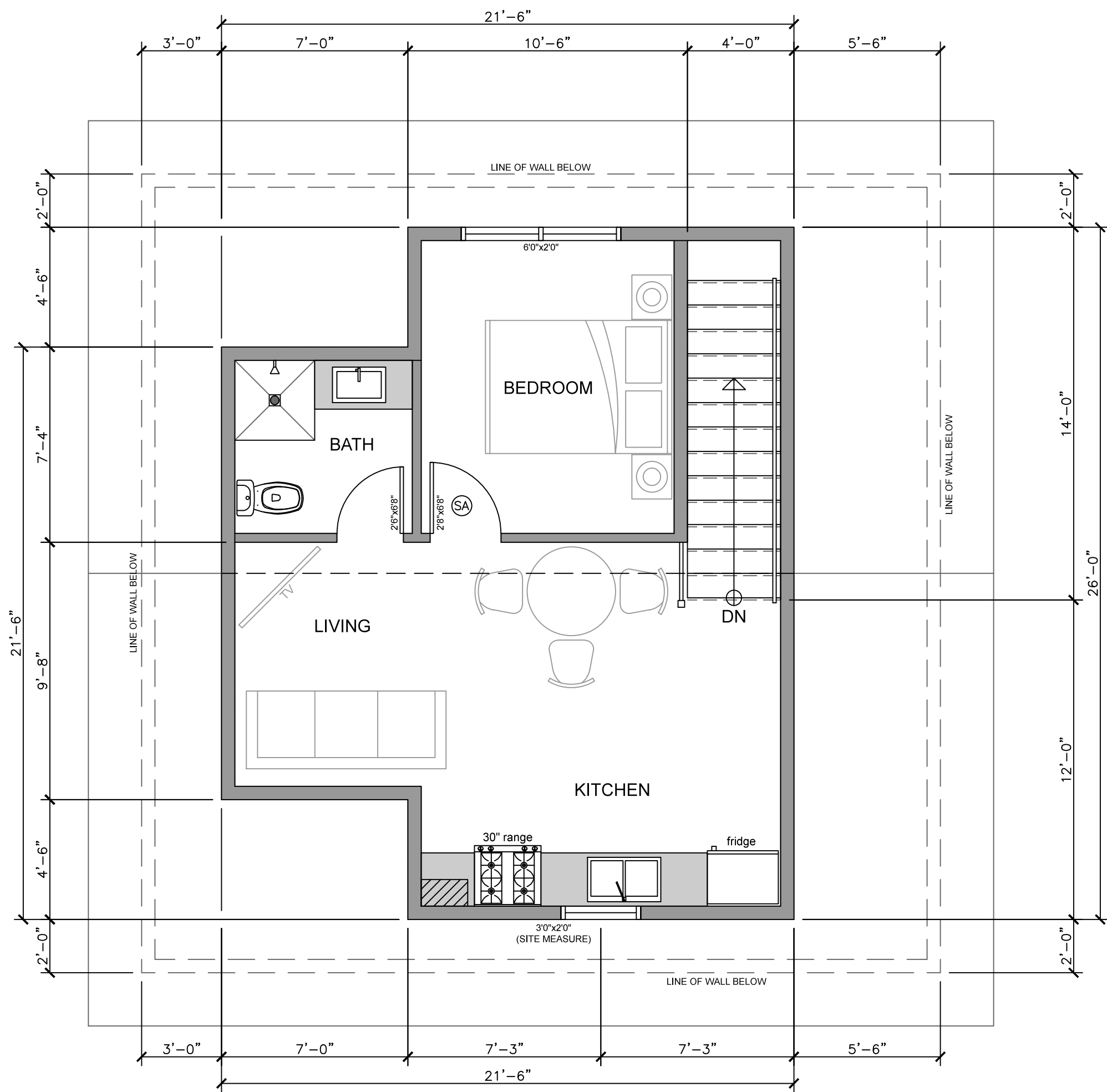
No.	Date	Revision
01	2017-10-03	issued for DP
02	2018-02-23	revisions for DP

Date	2018-02-23
Job #	17-081
Scale	As Shown
Drawn	PH

Copyright reserved. This plan and design is the exclusive property of HUNDAL LEGACY HOMES Ltd, and may not be used or reproduced without the designers written permission.  
All information shown on this drawing is for the use on this specific project only.

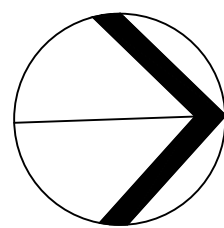


DETACHED GARAGE (607sft)  
CARRIAGE HOUSE MAIN FLOOR (292sft)



CARRIAGE HOUSE  
UPPER FLOOR PLAN (496sft)

**SCHEDULE A**  
This forms part of application  
# Z17-0101  
Planner Initials LK  
City of Kelowna  
COMMUNITY PLANNING



PROJECT  
SEKHON HOUSE  
490 N. DOUGALL RD, KELOWNA, BC  
DRAWING NUMBER

## A3.02

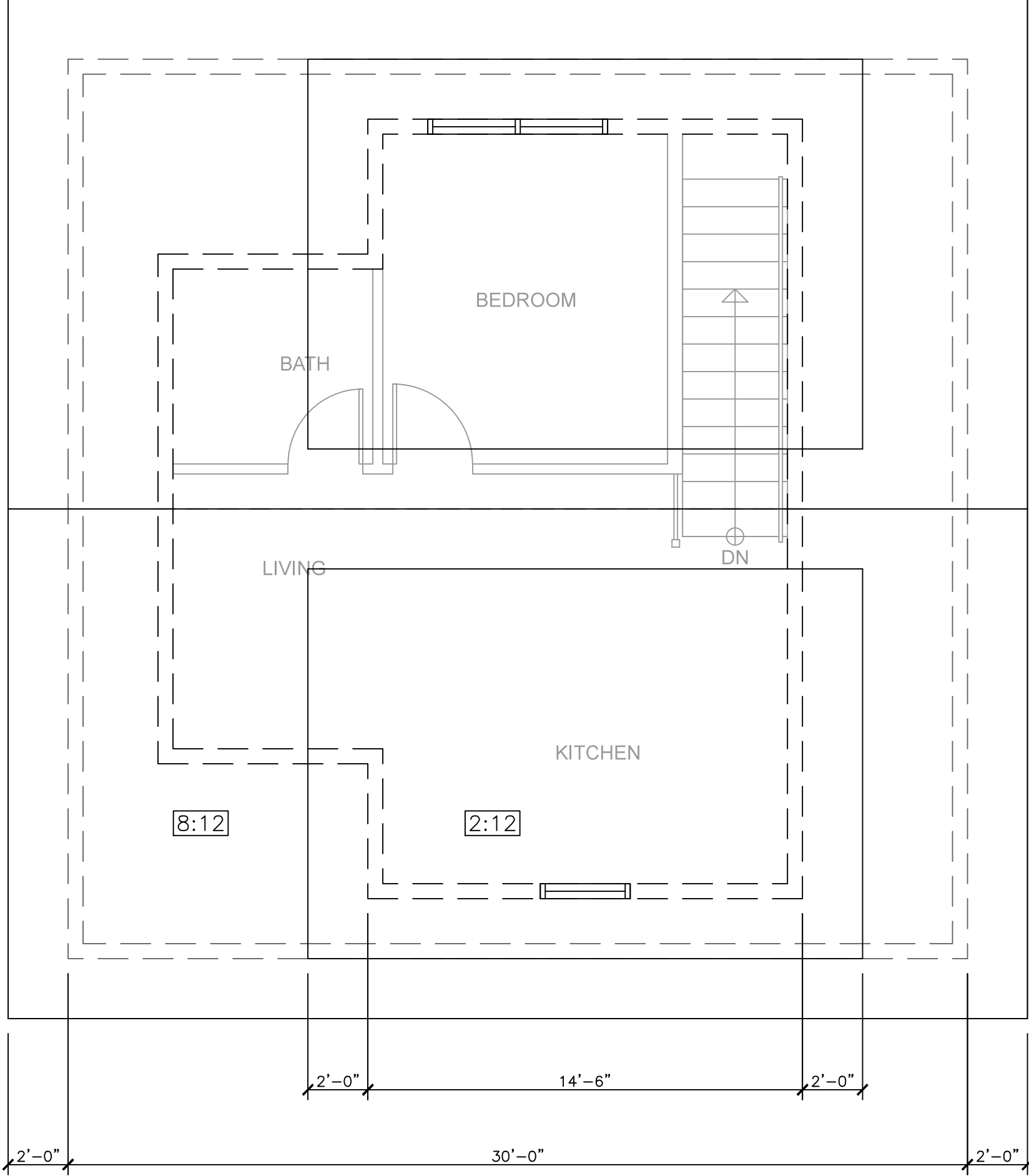
DRAWINGS ARE NOT TO BE SCALED  
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

DRAWING TITLE  
DETACHED GARAGE  
& CARRIAGE HOUSE

No.	Date	Revision
01	2017-10-03	issued for DP
02	2018-02-23	revisions for DP

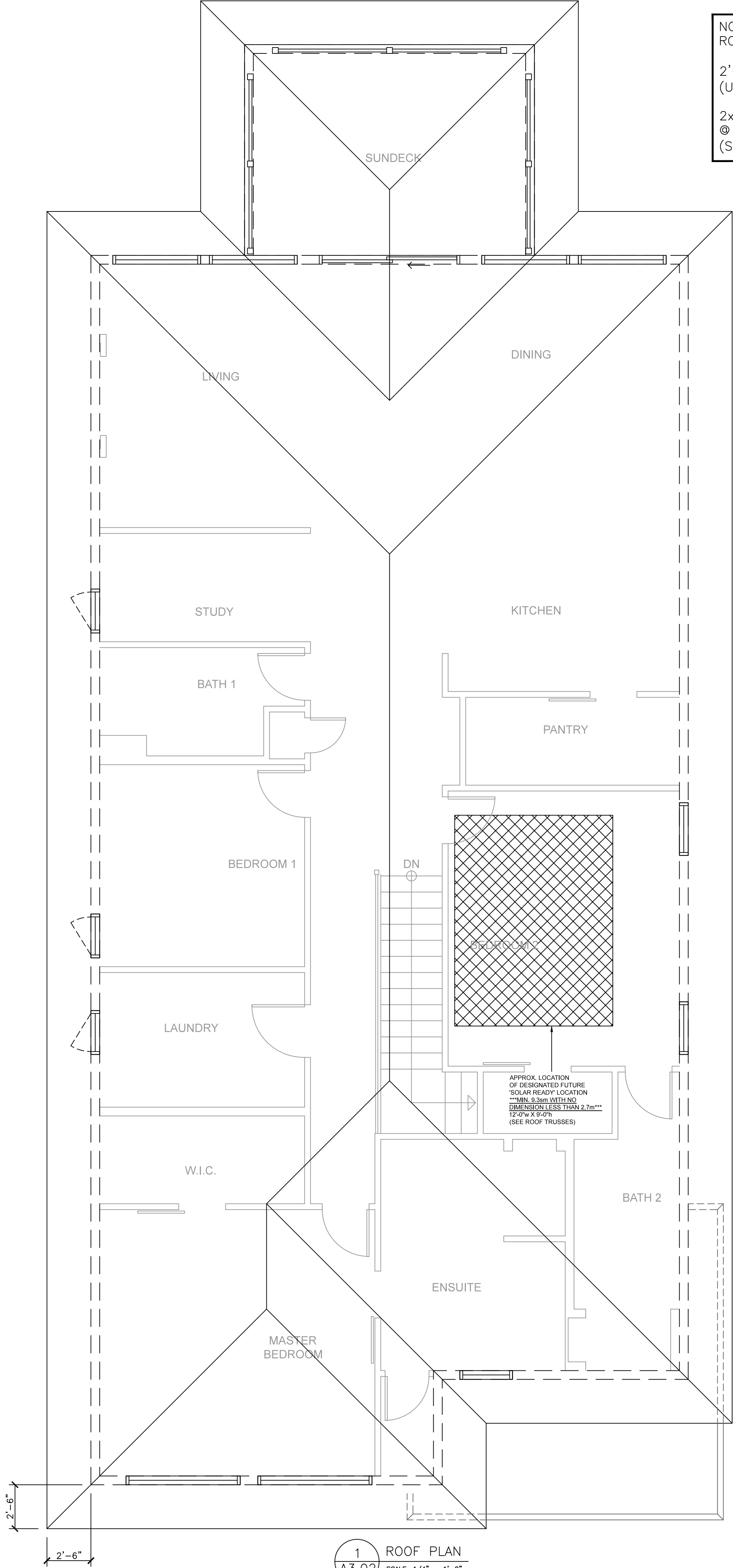
Date	2018-02-23
Job #	17-081
Scale	As Shown
Drawn	PH

Copyright reserved. This plan and design is the exclusive property of HUNDAL LEGACY HOMES Ltd, and may not be used or reproduced without the designers written permission.  
All information shown on this drawing is for the use on this specific project only.



NOTE:  
MAIN ROOF SLOPE: 8:12  
UPPER ROOF SLOPE: 2:12  
2'-0" TYPICAL OVERHANG  
(UNLESS NOTED OTHERWISE)  
2x6 CONTIN. WOOD NAILER  
⊙ PERIMETER OF TRUSS  
(SEE DETAIL)

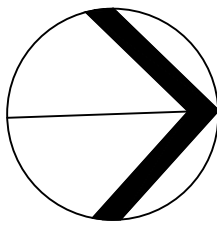
2 CARRIAGE HOUSE ROOF PLAN  
A3.02 SCALE: 1/4" = 1'-0"



NOTE:  
ROOF SLOPE @ 4:12  
2'-6" TYPICAL OVERHANG  
(UNLESS NOTED OTHERWISE)  
2x6 CONTIN. WOOD NAILER  
⊙ PERIMETER OF TRUSS  
(SEE DETAIL)

1 ROOF PLAN  
A3.02 SCALE: 1/4" = 1'-0"

**SCHEDULE A**  
This forms part of application  
# Z17-0101  
Planner Initials LK  
City of Kelowna  
COMMUNITY PLANNING



PROJECT  
SEKHON HOUSE  
490 N. DOUGALL RD, KELOWNA, BC  
DRAWING NUMBER

A3.03

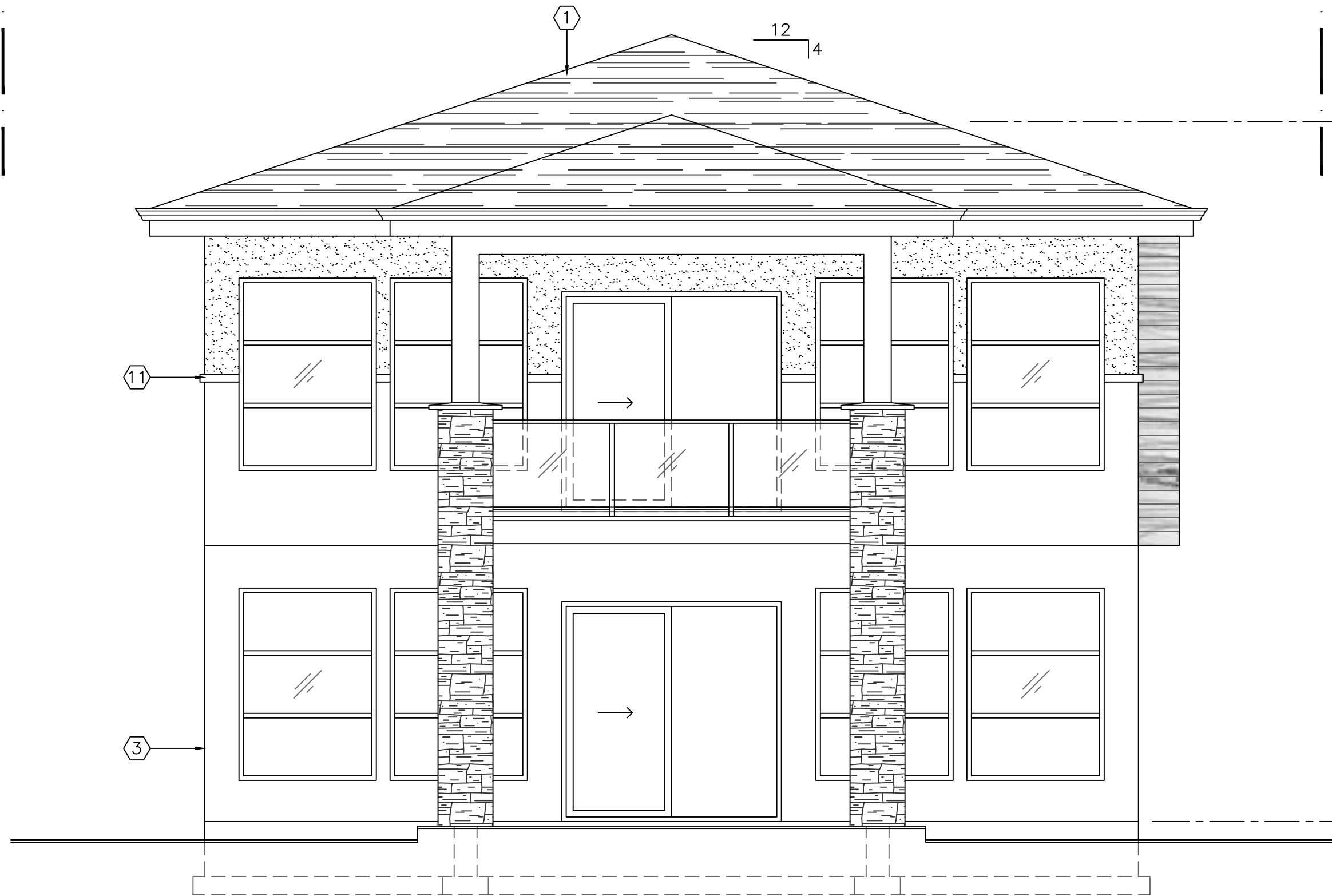
DRAWINGS ARE NOT TO BE SCALED  
ALL DIMENSIONS SHALL BE VERIFIED ON JOB  
DRAWING TITLE

ROOF PLANS

No.	Date	Revision
01	2017-10-03	issued for DP
02	2018-02-23	revisions for DP
Date	2018-02-23	
Job #	17-081	
Scale	As Shown	
Drawn	PH	

Copyright reserved. This plan and design is the exclusive property of HUNDAL LEGACY HOMES Ltd. and may not be used or reproduced without the designers written permission.  
All information shown on this drawing is for the use on this specific project only.

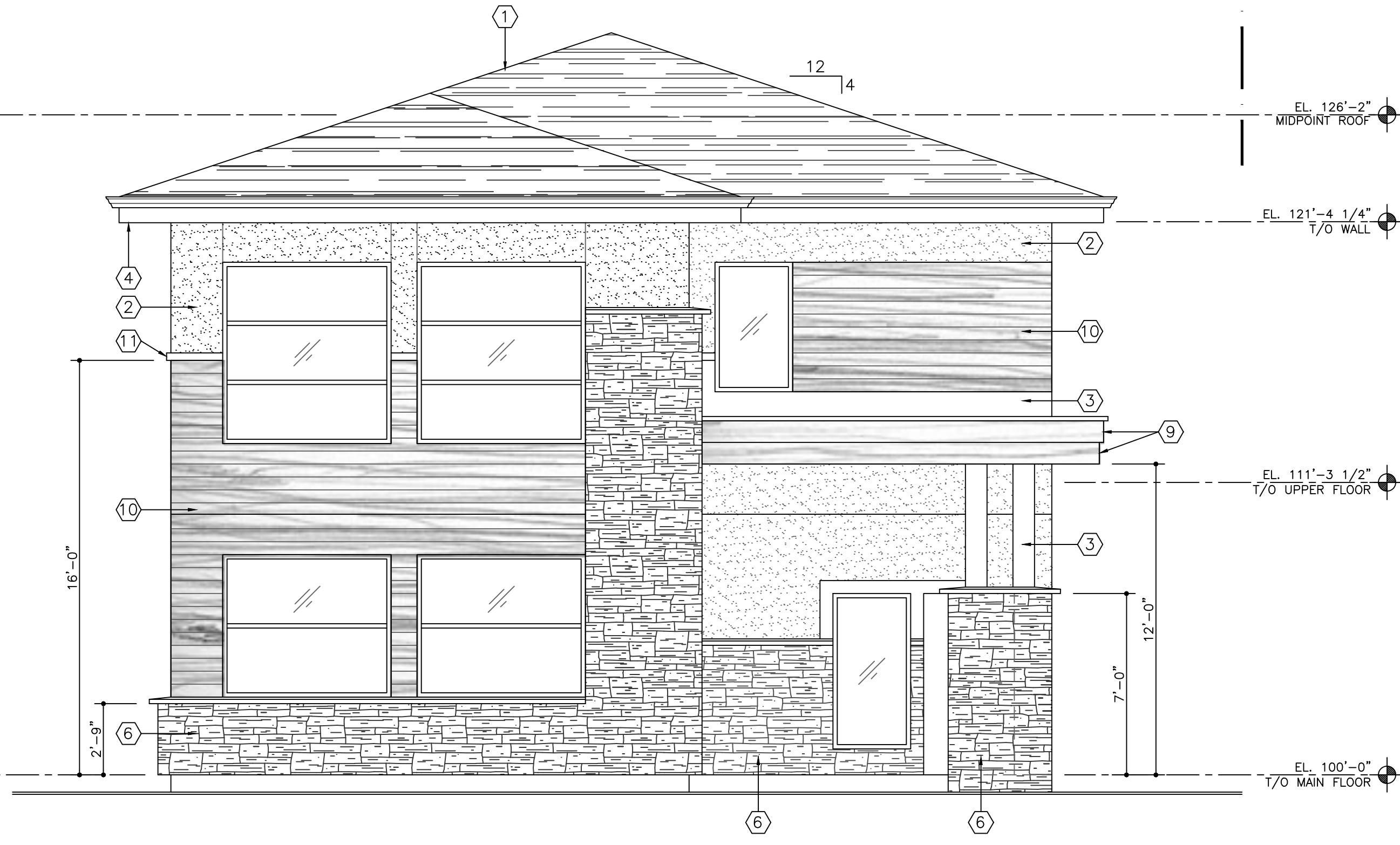
PROPERTY LINE



2 REAR ELEVATION (WEST)  
A4.01 SCALE: 1/4" = 1'-0"

PROPERTY LINE

PROPERTY LINE



1 FRONT ELEVATION (EAST)  
A4.01 SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES SCHEDULE

1	ASPHALT SHINGLES
2	HARDIE PANEL SIDING (PAINTED BLACK)
3	STUCCO FINISH (COLOUR TO BE SELECTED BY OWNER)
4	PREFIN. METAL GUTTER OVER 1X12 PAINTED FASCIA BOARD
5	VINYL WINDOWS
6	STONE VENEER SELECTED BY OWNER
7	SAFETY GLASS RAILING
8	OVERHEAD GARAGE DOORS
9	1X12 WOOD FASCIA (STAIN FINISH)
10	1X6 WOOD SIDING (STAIN FINISH)
11	2" X 4" FOAM TRIM BAND
12	

defined by lines

PARM HUNDAL CONCEPTS

WWW.HUNDALHOMES.COM  
parm@hundalhomes.com

(250)899 0504

SCHEDULE

B

This forms part of application  
# Z17-0101

Planner  
Initials LK

City of Kelowna

COMMUNITY PLANNING

PROJECT  
SEKHON HOUSE

490 N. DOUGALL RD, KELOWNA, BC

DRAWING NUMBER

A4.01

DRAWINGS ARE NOT TO BE SCALED  
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

DRAWING TITLE

FRONT & REAR  
ELEVATIONS

No.	Date	Revision
01	2017-10-03	issued for DP
02	2018-02-23	revisions for DP

Date 2018-02-23

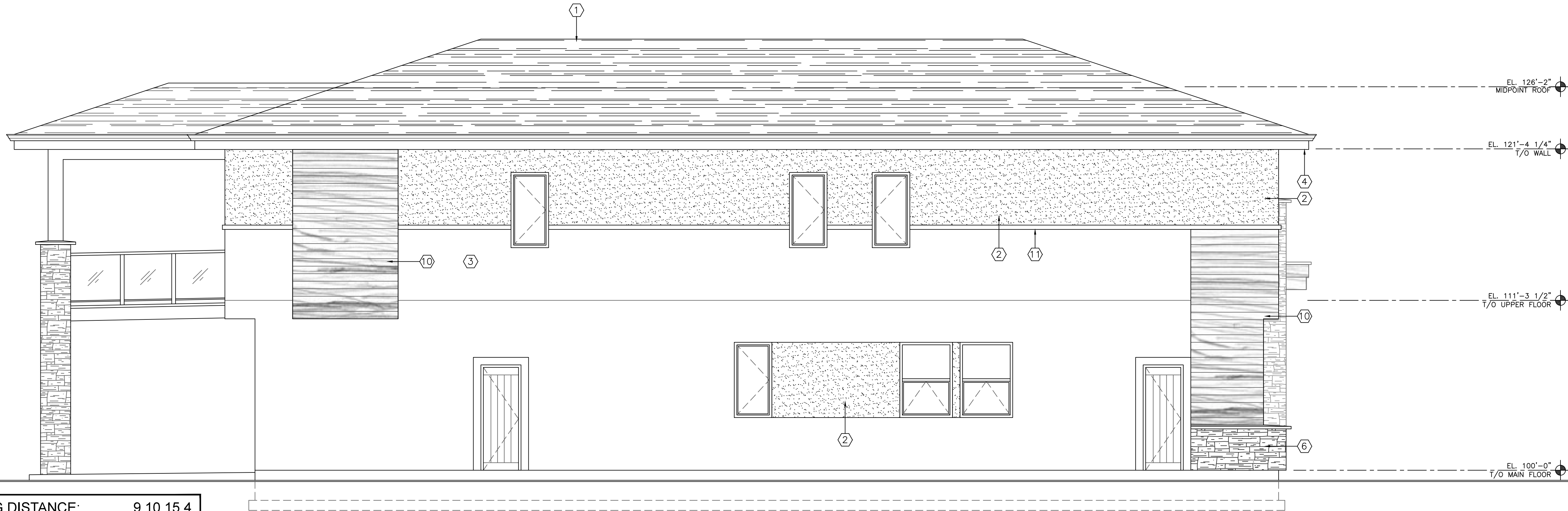
Job # 17-081

Scale As Shown

Drawn PH

Copyright reserved. This plan and design is the exclusive property of HUNDAL LEGACY HOMES Ltd. and may not be used or reproduced without the designers written permission.

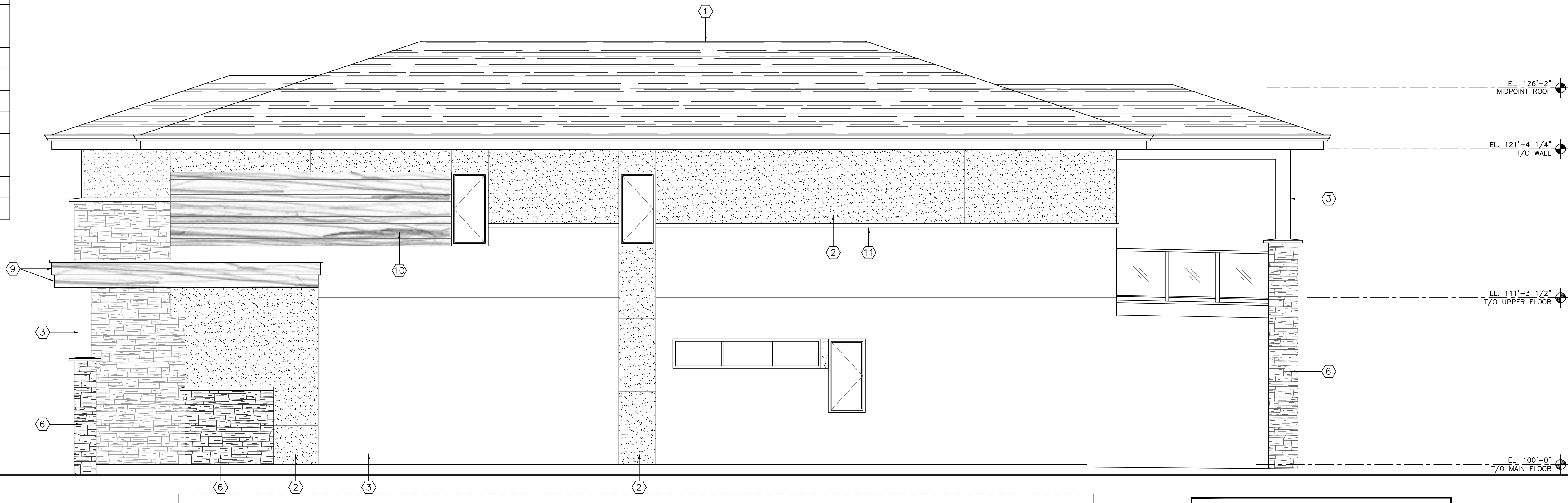
All information shown on this drawing is for the use on this specific project only.



LIMITING DISTANCE:	9.10.15.4
TOTAL WALL AREA	138.6sm
MAX. ALLOWABLE (8%)	11.1sm
PROPOSED (glazing)	7.9sm
PROPOSED (doors)	3.45sm

1 SIDE ELEVATION (SOUTH)  
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES SCHEDULE	
①	ASPHALT SHINGLES
②	HARDIE PANEL SIDING (PAINTED BLACK)
③	STUCCO FINISH (COLOUR TO BE SELECTED BY OWNER)
④	PREFIN. METAL GUTTER OVER 1X12 PAINTED FASCIA BOARD
⑤	VINYL WINDOWS
⑥	STONE VENEER SELECTED BY OWNER
⑦	SAFETY GLASS RAILING
⑧	OVERHEAD GARAGE DOORS
⑨	1X12 WOOD FASCIA (STAIN FINISH)
⑩	1X6 WOOD SIDING (STAIN FINISH)
⑪	2" X 4" FOAM TRIM BAND
⑫	



2 SIDE ELEVATION (NORTH)  
SCALE: 1/4" = 1'-0"

LIMITING DISTANCE:	9.10.15.4
TOTAL WALL AREA	126.7sm
MAX. ALLOWABLE (8%)	10.1sm
PROPOSED (glazing)	4.9sm

SCHEDULE B

This forms part of application  
# Z17-0101

Planner Initials LK

City of Kelowna  
COMMUNITY PLANNING

PROJECT  
SEKHON HOUSE  
490 N. DOUGALL RD, KELOWNA, BC

DRAWING NUMBER

A4.02

DRAWINGS ARE NOT TO BE SCALED  
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

DRAWING TITLE  
SIDE (NORTH&SOUTH)  
ELEVATIONS

No.	Date	Revision
01	2017-10-03	issued for DP
02	2018-02-23	revisions for DP

Date	2018-02-23
Job #	17-081
Scale	As Shown
Drawn	PH

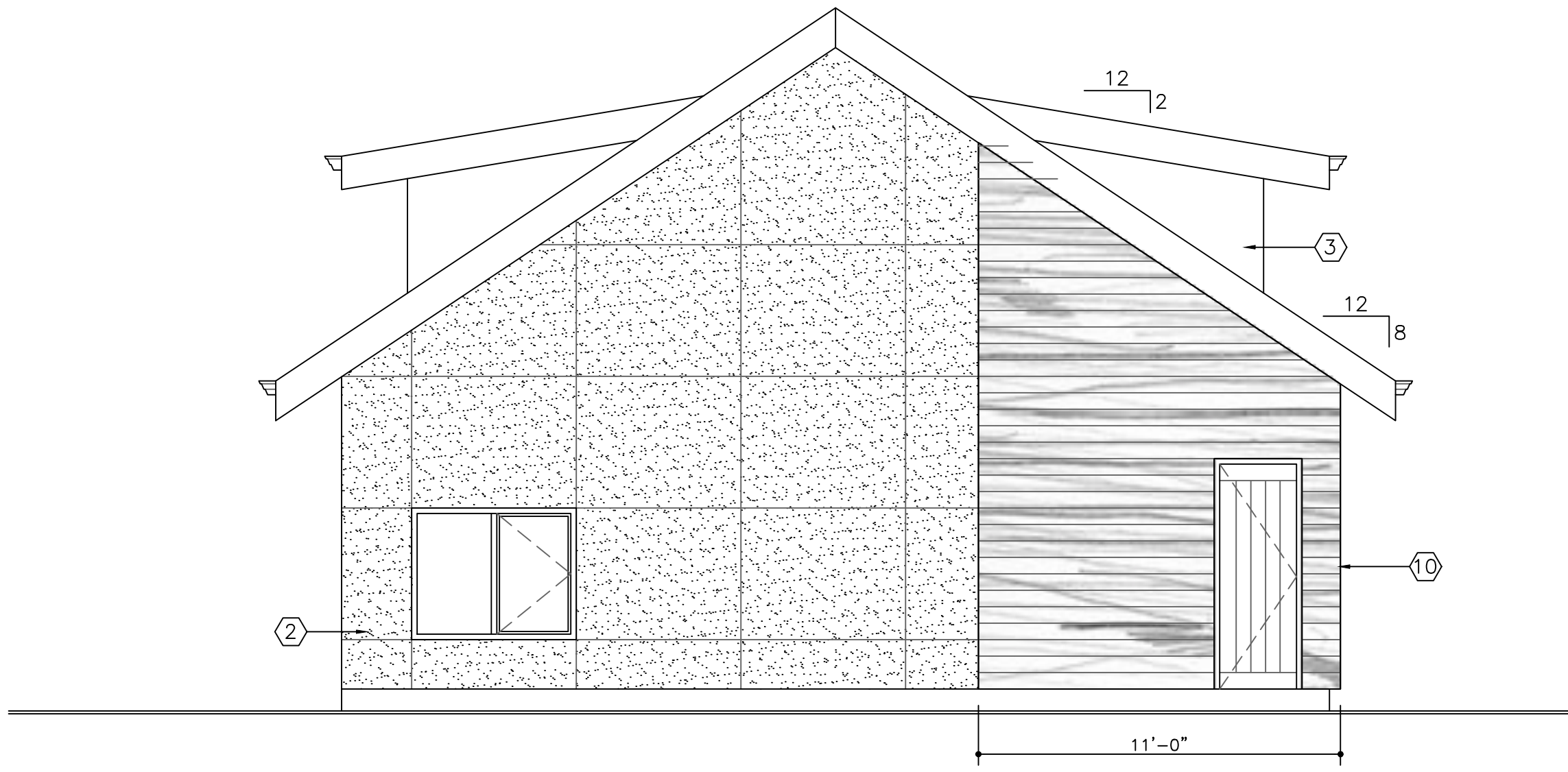
Copyright reserved. This plan and design is the exclusive property of HUNDAL LEGACY HOMES Ltd. and may not be used or reproduced without the designers written permission.  
All information shown on this drawing is for the use on this specific project only.

defined by lines

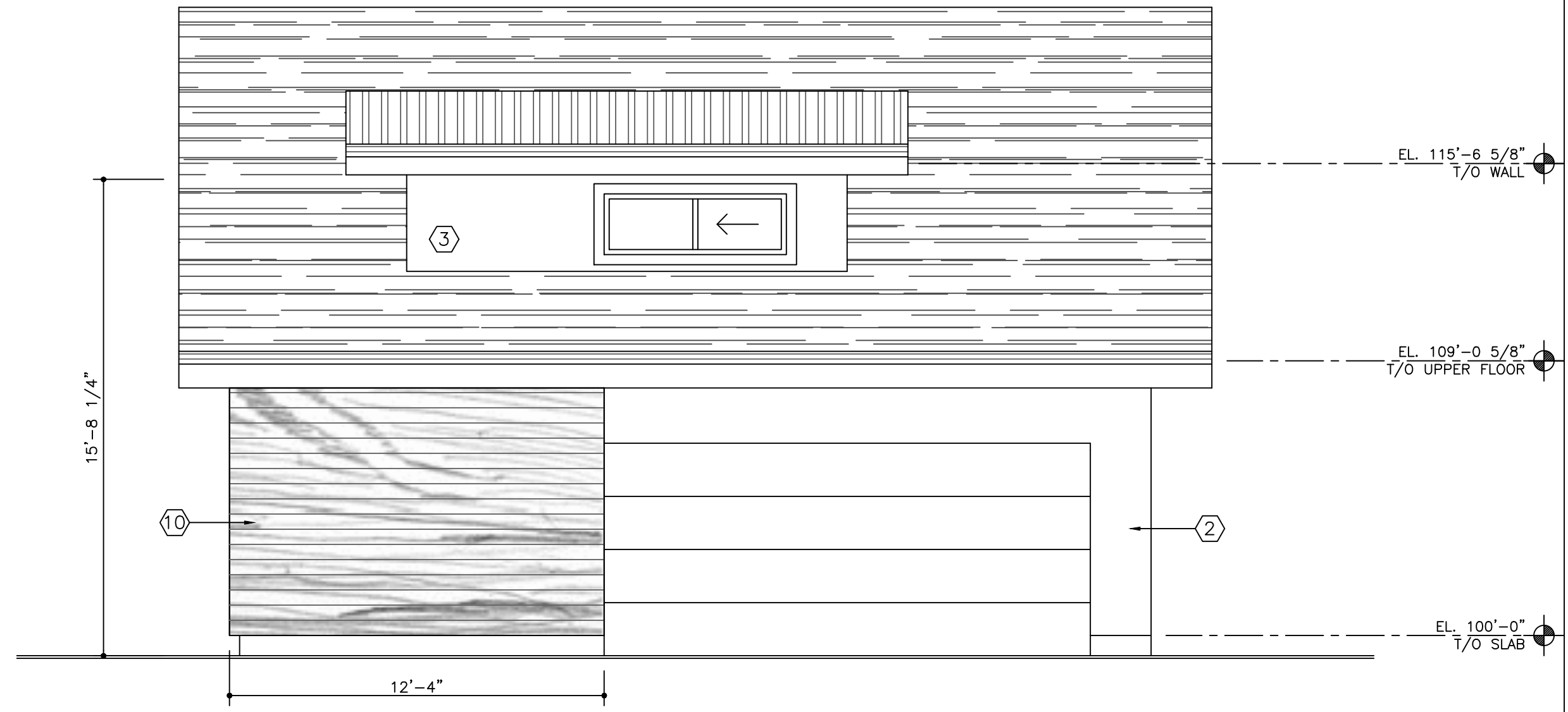
PARM HUNDAL CONCEPTS

WWW.HUNDALHOMES.COM  
parm@hundalhomes.com

(250)899 0504

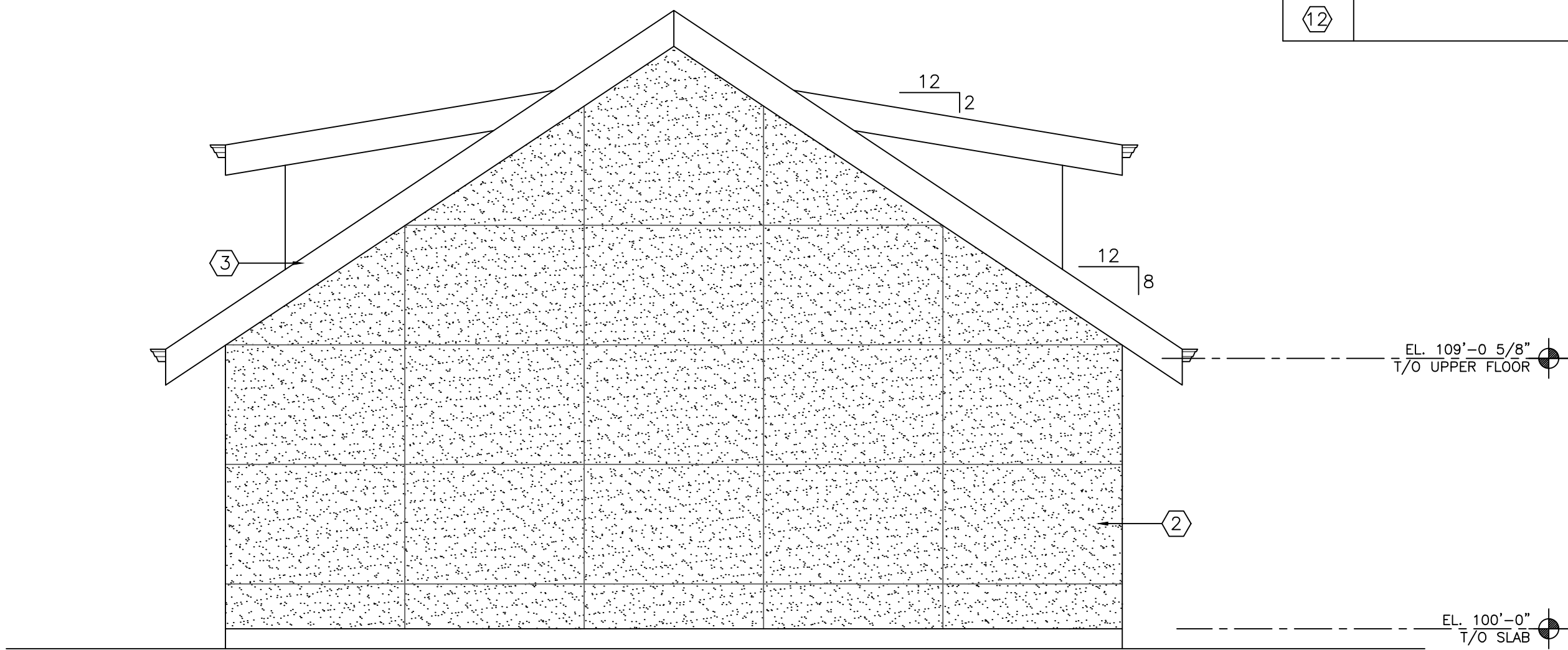


3 SIDE ELEVATION (NORTH)  
A4.03 SCALE: 1/4" = 1'-0"

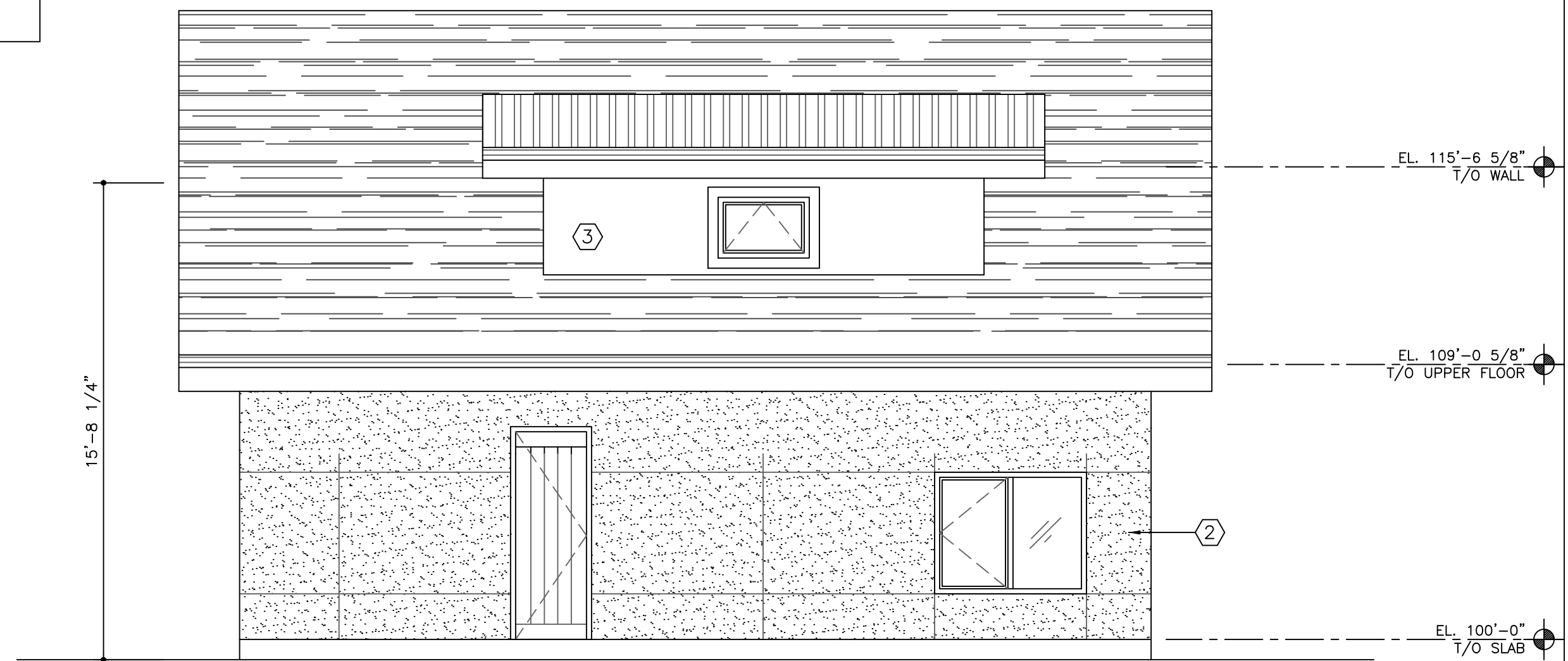


1 LANE ACCESS/REAR ELEV (WEST)  
A4.03 SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES SCHEDULE	
1	ASPHALT SHINGLES
2	HARDIE PANEL SIDING (PAINTED BLACK)
3	STUCCO FINISH (COLOUR TO BE SELECTED BY OWNER)
4	PREFIN. METAL GUTTER OVER 1X12 PAINTED FASCIA BOARD
5	VINYL WINDOWS
6	STONE VENEER SELECTED BY OWNER
7	SAFETY GLASS RAILING
8	OVERHEAD GARAGE DOORS
9	1X12 WOOD FASCIA (STAIN FINISH)
10	1X6 WOOD SIDING (STAIN FINISH)
11	2" x 4" FOAM TRIM BAND
12	



4 SIDE ELEVATION (SOUTH)  
A4.03 SCALE: 1/4" = 1'-0"



2 'FRONT' ELEV (EAST)  
A4.03 SCALE: 1/4" = 1'-0"

SCHEDULE **B**

This forms part of application  
# Z17-0101

Planner Initials LK

City of Kelowna  
COMMUNITY PLANNING

PROJECT  
SEKHON HOUSE  
490 N. DOUGALL RD, KELOWNA, BC  
DRAWING NUMBER

A4.03

DRAWINGS ARE NOT TO BE SCALED  
ALL DIMENSIONS SHALL BE VERIFIED ON JOB  
DRAWING TITLE

DETACHED GARAGE  
& CARRIAGE HOUSE

No.	Date	Revision
01	2017-10-03	issued for DP
02	2018-02-23	revisions for DP

Date	2018-02-23
Job #	17-081
Scale	As Shown
Drawn	PH

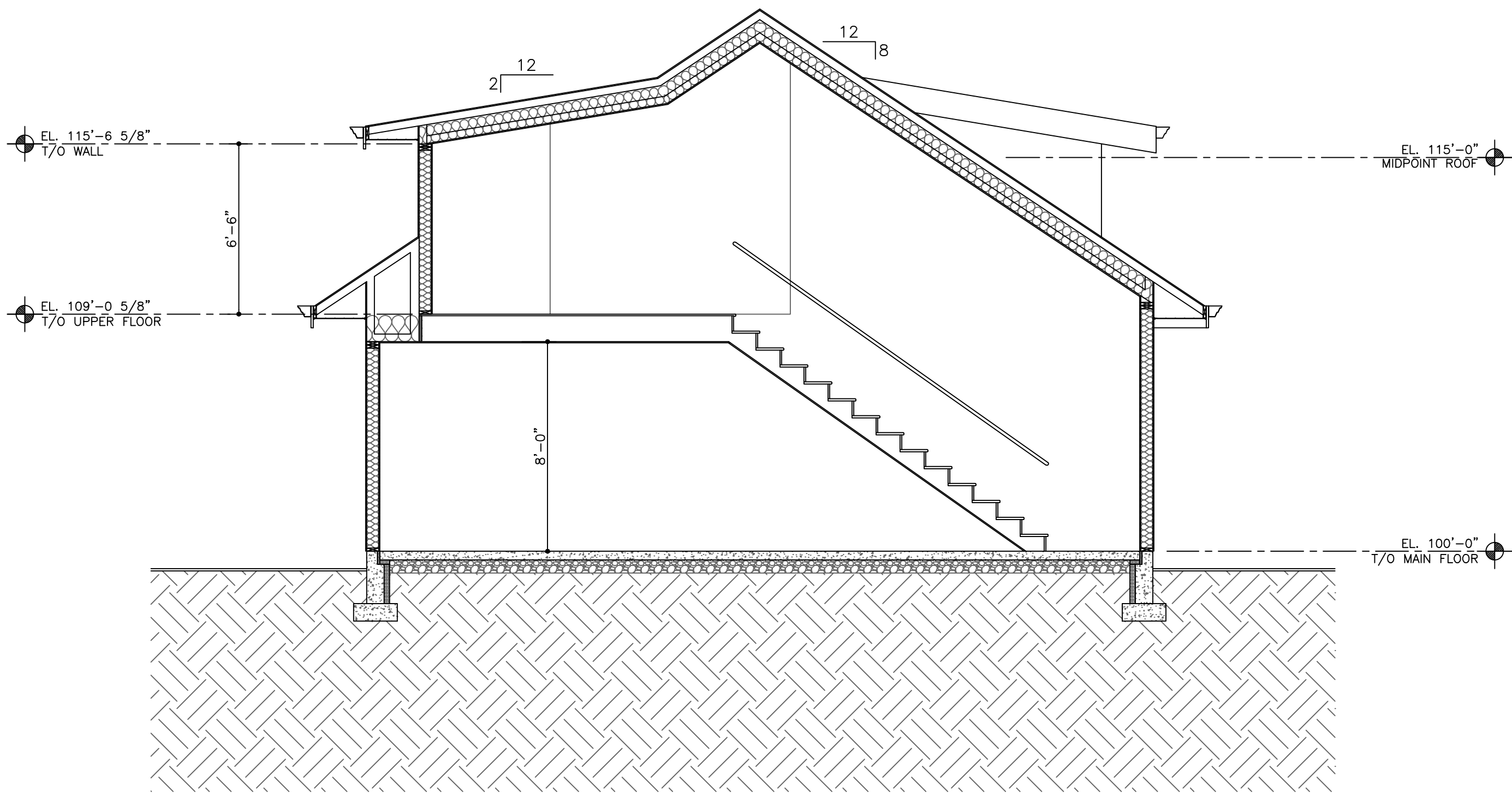
Copyright reserved. This plan and design is the exclusive property of HUNDAL LEGACY HOMES Ltd. and may not be used or reproduced without the designers written permission.  
All information shown on this drawing is for the use on this specific project only.

defined by lines

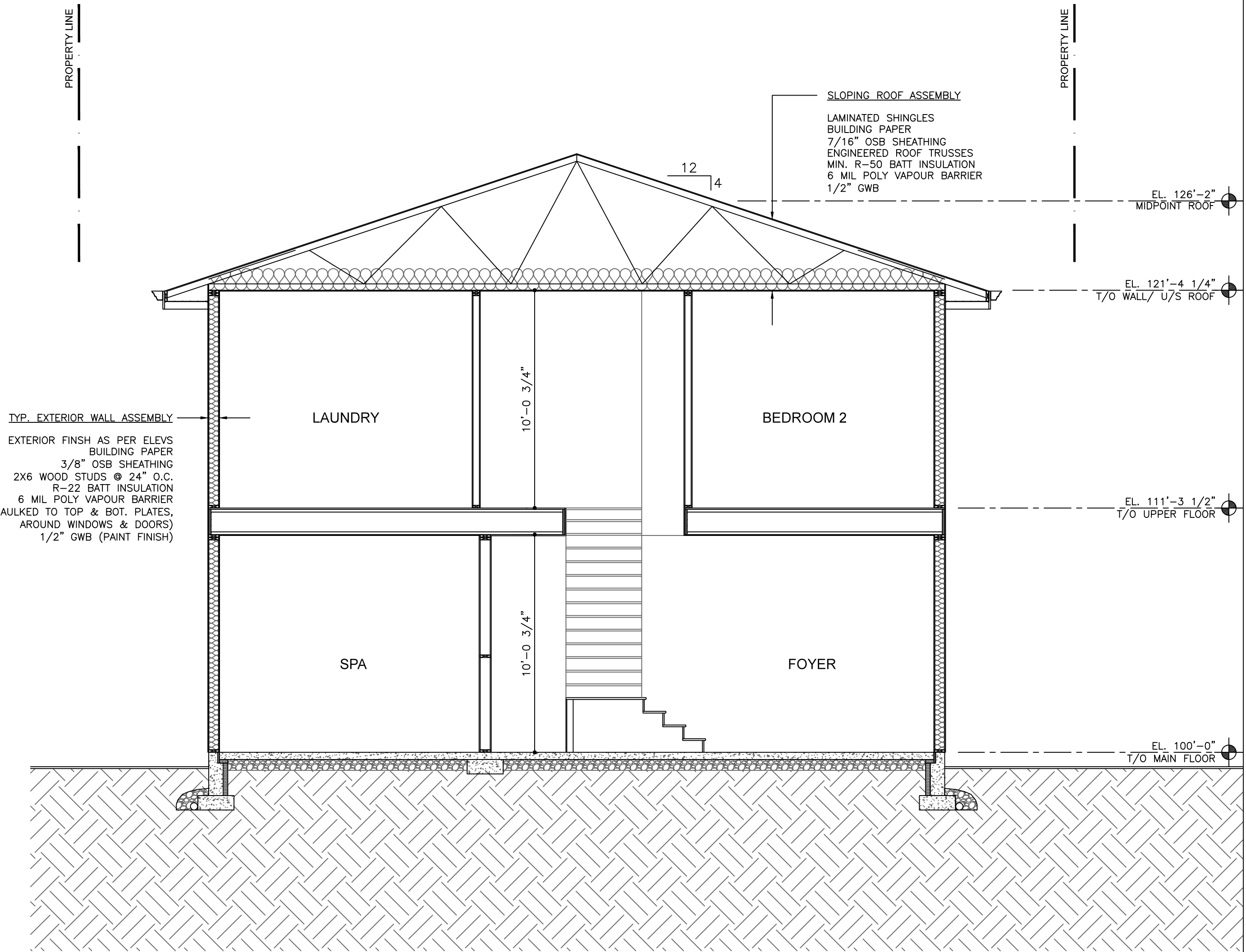
PARM HUNDAL CONCEPTS

WWW.HUNDALHOMES.COM  
parm@hundalhomes.com

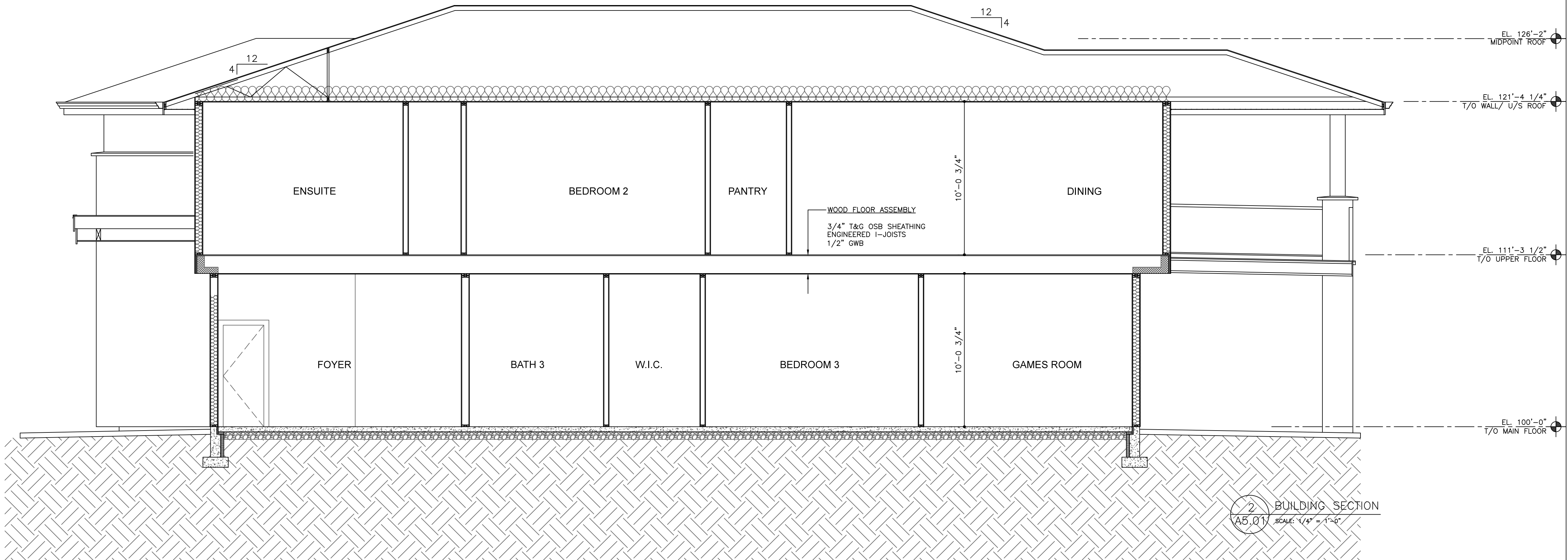
(250)899 0504



**3**  
**A5.01**  
BUILDING SECTION  
(DETACHED GARAGE/CARRIAGE HOUSE)  
SCALE: 1/4" = 1'-0"



**1**  
**A5.01**  
BUILDING SECTION  
SCALE: 1/4" = 1'-0"



**2**  
**A5.01**  
BUILDING SECTION  
SCALE: 1/4" = 1'-0"

defined by lines

PARM HUNDAL CONCEPTS

WWW.HUNDALHOMES.COM  
parm@hundalhomes.com

(250)899 0504

PROJECT  
**HARI RESIDENCE**  
875 MAYFAIR RD, KELOWNA, BC  
DRAWING NUMBER

**A5.01**

DRAWINGS ARE NOT TO BE SCALED  
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

DRAWING TITLE

**BUILDING SECTIONS**

No.	Date	Revision
01	2016-09-11	preliminary approval
02	2016-09-25	issued for coord/BP
Date	2016-09-27	
Job #	16-065	
Scale	As Shown	
Drawn	PH	

Copyright reserved. This plan and design is the exclusive property of Parm Hundal Concepts and may not be used or reproduced without the designers written permission. All information shown on this drawing is for the use on this specific project only.

# REPORT TO COUNCIL



**Date:** May 7, 2018

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (AF)

**Application:** Z18-0014

**Owner:** James Brigham Wilson  
Robin Leslie Wilson

**Address:** 814 Hubbard Road

**Applicant:** Damien Burggraeve

**Subject:** Rezoning Application

Existing OCP Designation: S2RES – Single/Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

Proposed Zone: RU2 – Medium Lot Housing

---

## 1.0 Recommendation

THAT Rezoning Application No. Z18-0014 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 2, District Lot 580A, SDYD, Plan 17390, located at 814 Hubbard Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing zone be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Attachment "A" attached to the Report from the Community Planning Department dated May 7, 2018;

## 2.0 Purpose

A development application to rezone the subject property from RU1 – Large Lot Housing to RU2 – Medium Lot Housing to facilitate a proposed two lot subdivision.

## 3.0 Community Planning

Community Planning supports the proposed rezoning from RU1 – Large Lot Housing to RU2 – Medium Lot Housing as it is in line with the Official Community Plan (OCP) Future Land Use Designation of S2RES – Single/Two Unit Residential for the subject property and is located within the Permanent Growth Boundary. The property is fully serviced and is in close proximity to transit, parks, and schools. It is

therefore consistent with the Compact Urban Growth and Sensitive Infill Housing OCP Land Use Policies. These policies state that growth should occur in areas that are already serviced and have access to transit, and that growth should be designed to be sensitive to the existing character of the neighbourhood.

As a condition of rezoning, the applicant will be required to upgrade the adjacent frontage by installing curb and gutter, storm drainage and pavement widening or by providing cash in lieu for the frontage improvements.

#### 4.0 Proposal

##### 4.1 Background

The subject property currently has an existing one and a half storey single family dwelling with two accessory buildings located at the rear of the property.

##### 4.2 Project Description

The proposed rezoning from RU1 to RU2 would facilitate the development of a two lot subdivision of the subject property. The proposed rezoning meets all of the zoning regulations and does not require any variances.

In order to facilitate the proposed subdivision, the existing single family dwelling and accessory buildings will be demolished and subsequently removed.

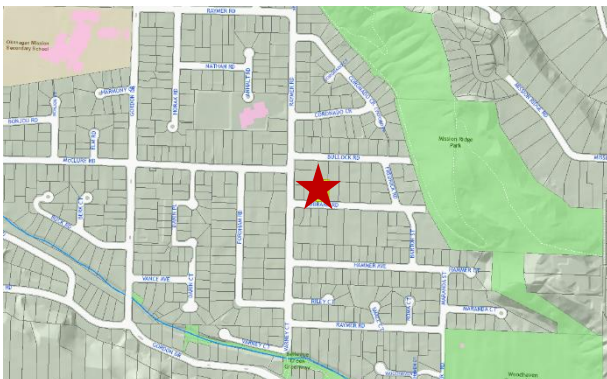
##### 4.3 Site Context

The subject property is located in North Okanagan Mission near the intersection of Raymer Road and McClure Road and just west of Mission Ridge Park. It is in close proximity to transit routes located along Gordon Drive and is within walking distance to Mission Ridge Park. The surrounding neighborhood is comprised largely of RU1 – Large Lot Housing zoned properties. Currently, there are two other RU2 – Medium Lot Housing zoned properties within the neighborhood. Other surrounding zones include several RU6 – Two Dwelling Housing and RU1c – Large Lot Housing with Carriage House zoned properties.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Residential
East	RU1 – Large Lot Housing	Residential
South	RU1 – Large Lot Housing	Residential
West	RU1 – Large Lot Housing	Residential

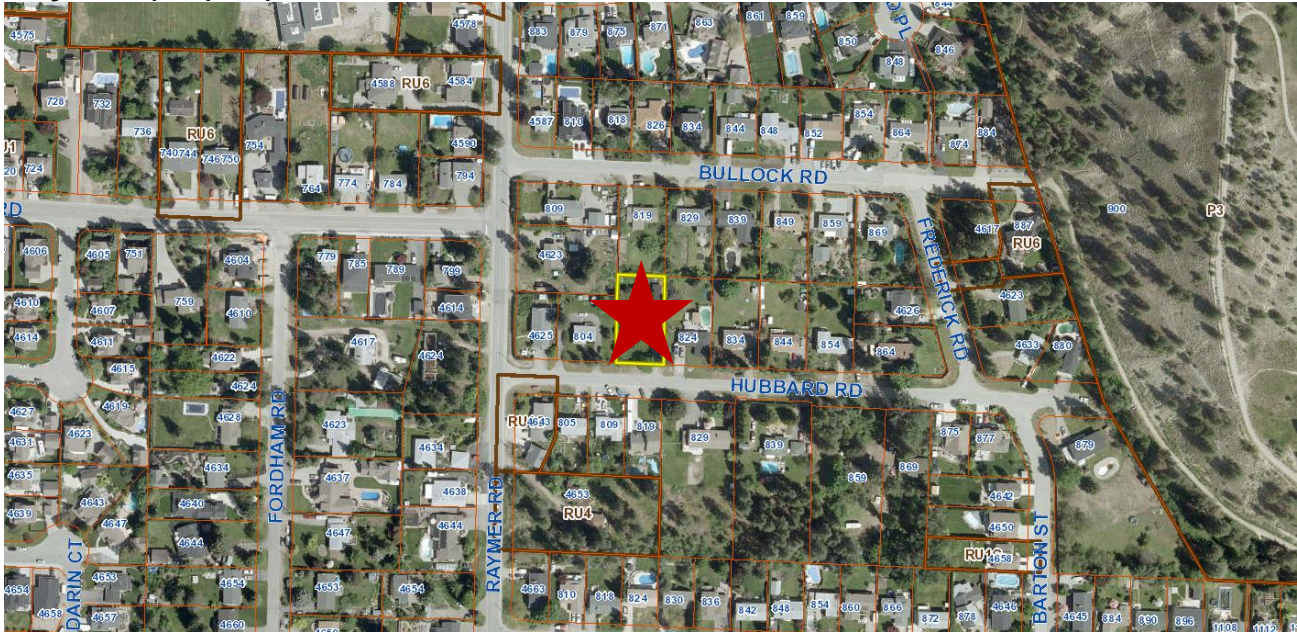
**Site Context Map**



**Future Land Use Map**



### Subject Property Map: 814 Hubbard Road



## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill.**<sup>2</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

- No comment

### 6.2 Development Engineering Department (see attached Dev. Eng. memo dated February 26, 2018)

- Road frontage improvements are triggered by this rezoning application. The requirements include curb and gutter, storm drainage system and pavement widening. Also required is a landscaped boulevard, street lighting and the re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The cost of this construction is at the applicant's expense.
- The proposed redevelopment includes the subject parcel being subdivided into two lots. A subdivision application will require service upgrades that include the installation of additional

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

services. The work will require road cuts and boulevard and pavement restoration. Development Engineering is prepared to defer the requirements of the rezoning to the subdivision stage.

#### **7.0 Application Chronology**

Date of Application Received: January 18, 2018

Date Public Consultation Completed: March 28, 2018

**Report prepared by:** Andrew Ferguson, Planner

**Reviewed by:** Terry Barton, Urban Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

#### **Attachments:**

Attachment A: Development Engineering Technical Comments

Attachment B: Site Plan

---

## CITY OF KELOWNA

# MEMORANDUM

---

**Date:** February 26, 2018 \_ *REVISED*

**File No.:** Z18-0014

**To:** Community Planning (EW)

**From:** Development Engineering Manager (JK)

**Subject:** 814 Hubbard Rd. RU1 – RU2

---



The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Aaron Sangster.

1. General

Road frontage improvements are triggered by this rezoning application. The requirements include curb and gutter, storm drainage system and pavement widening. Also required is a landscaped boulevard, street lighting and the re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The cost of this construction is at the applicant's expense.

The proposed redevelopment includes the subject parcel being subdivided into two lots. A subdivision application will require service upgrades that include the installation of additional services. The work will require road cuts and boulevard and pavement restoration. Development Engineering is prepared to defer the requirements of the rezoning to the subdivision stage.



---

James Kay, P. Eng.  
Development Engineering Manager

AS

**PROPOSED SUBDIVISION OF LOT 2  
DL 580A SDYD PLAN 17390**

CIVIC ADDRESS: 814 HUBBARD ROAD, KELOWNA, BC

Proposed zoning is RU2.

Lot dimensions and areas subject to minor  
change at time of actual survey.

Scale 1:500

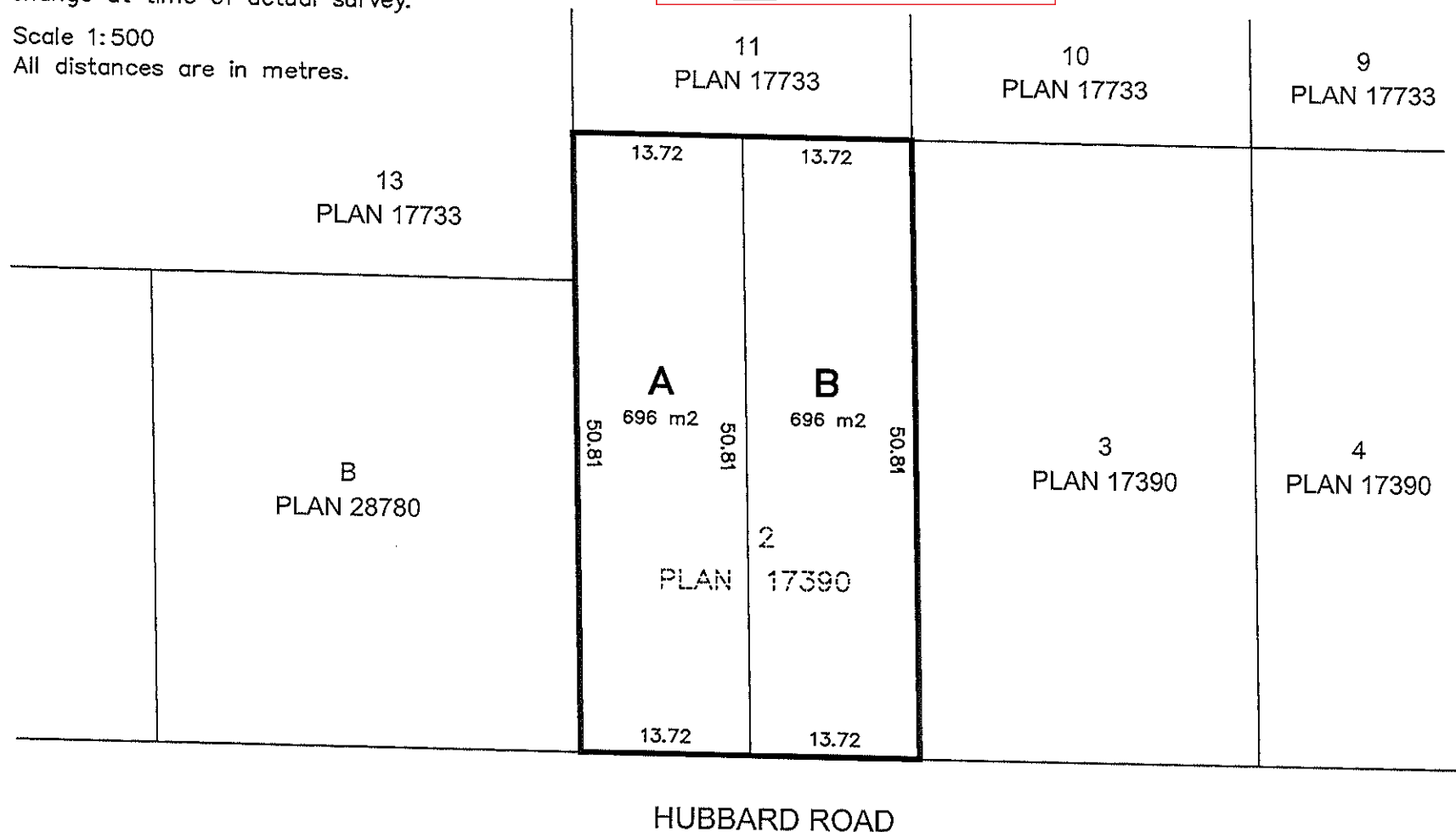
All distances are in metres.

**ATTACHMENT B**

This forms part of application

# Z18-0014

Planner  
Initials **AF**



DA Goddard Surveys  
File: 418007  
January 18, 2018.