

**City of Kelowna**  
**Regular Council Meeting**  
**AGENDA**



Monday, April 23, 2018  
1:30 pm  
Council Chamber  
City Hall, 1435 Water Street

**Pages**

**1. Call to Order**

This meeting is open to the public and all representations to Council form part of the public record. A live audio and video feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

**2. Confirmation of Minutes**

4 - 14

PM Meeting - April 16, 2018

**3. Development Application Reports & Related Bylaws**

**3.1 Cross Road 1967 and 1973 Z17-0083 Protech Consultants**

15 - 32

To rezone the subject properties to facilitate a 15 lot residential subdivision.

**3.2 Cross Rd 1967, 1969 & 1973 Z17-0083 (BL11603) - Maxwell House Developments Ltd, Glen Park Village Inc & City of Kelowna**

33 - 34

To give Bylaw No. 11603 first reading in order to rezone the subject properties as per Map A.

**3.3 Clement Ave 726 OCP17-0021 and Z17-0093 - PC Urban Clement Holdings Ltd**

35 - 71

To amend the Official Community Plan to change the future land use designation of a portion of the subject properties from IND – Industrial to MXR - Mixed Use (Residential / Commercial) and to rezone a portion of the subject properties from I4 – Central Industrial zone & I2 – General Industrial zone to C4 – Urban Centre Commercial zone to facilitate the construction of mixed use commercial & residential buildings.

<b>3.4</b>	<b>Clement Ave 726 OCP17-0021 (BL11604) - PC Urban Clement Holdings Ltd</b>	<b>72 - 74</b>
	<b>Requires a majority of Council (5)</b>	
	To give Bylaw No. 11604 first reading in order to change the Future Land Use designation for portions of the subject property from the IND - Industrial designation to the MXR - Mixed Use (Residential/Commercial) designation as per Map B.	
<b>3.5</b>	<b>Clement Ave 726 Z17-0093 (BL11605) - PC Urban Clement Holdings Ltd</b>	<b>75 - 76</b>
	To give Bylaw No. 11605 first reading in order to change the zoning for portions of the subject property from the I4 – Central Industrial and I2 – General Industrial zones to C4 – Urban Centre Commercial zone as per Map B.	
<b>3.6</b>	<b>1642 Commerce Avenue, DP17-0255 - Horizon North on behalf of BC Housing</b>	<b>77 - 113</b>
	To consider the form and character of the proposed 46-unit supportive housing project with support services on the subject property.	
<b>4.</b>	<b>Non-Development Reports &amp; Related Bylaws</b>	
<b>4.1</b>	<b>500 Valley Road – Farm Lease</b>	<b>114 - 135</b>
	To obtain Council support to enter into a 20-year farm lease of 500 Valley Road as required by the Agricultural Land Commission for development of the Glenmore Recreation Park.	
<b>4.2</b>	<b>Amendment to the Tax Prepayment Plan Bylaw No. 10685</b>	<b>136 - 140</b>
	To seek Council's approval to amend the Tax Prepayment Plan Bylaw for the clarification and updating of current terms and processes.	
<b>4.3</b>	<b>BL11602 - Amendment No. 1 to Tax Prepayment Plan Bylaw No. 10685</b>	<b>141 - 142</b>
	To give Bylaw No. 11602 first, second and third readings in order to amend the Tax Prepayment Plan Bylaw No. 10685.	
<b>4.4</b>	<b>Proposed Road Closure – Adjacent to 2-477 Curlew Drive</b>	<b>143 - 145</b>
	To close a 89.3 square meter portion of Curlew Drive for consolidation with the adjacent residential property at 2-477 Curlew Drive.	
<b>4.5</b>	<b>Curlew Road (Portion of), BL11557 - Road Closure Bylaw</b>	<b>146 - 147</b>
	To give Bylaw No. 11557 first, second and third readings in order to authorize the City to permanently close and remove the highway dedication of a portion of Highway on Curlew Road.	



**5. Bylaws for Adoption (Non-Development Related)**

**5.1 BL11582 - Amendment No. 1 to Five Year Financial Plan 2017-2021 BL11394 148 - 149**

To adopt Bylaw No. 11582 in order to amend the Five Year Financial Plan 2017-2021 Bylaw No. 11394.

**5.2 BL11589 - Amendment No. 1 to Sale of City-Owned Land Reserve Fund Expenditure Bylaw, 2017 No. 11398 150 - 151**

To adopt Bylaw No. 11398 in order to amend the Sale of City-Owned Land Reserve Fund Expenditure Bylaw, 2017 No. 11398.

**5.3 BL11593 - Sterile Insect Release Program Parcel Tax Bylaw No. 2018 152 - 163**

To adopt Bylaw No. 11593 in order to impose the Sterile Insect Release Program Parcel Tax Bylaw.

**5.4 BL11540 - Sewer Connection Charge Bylaw 164 - 183**

To adopt Bylaw No. 11540 in order to create a new Sewer Connection Charge Bylaw.

**6. Mayor and Councillor Items**

**7. Termination**



## City of Kelowna Regular Council Meeting Minutes

Date: Monday, April 16, 2018  
 Location: Council Chamber  
 City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn\*, Gail Given, Tracy Gray, Charlie Hodge, Brad Sieben\*, Mohini Singh\* and Luke Stack\*

Staff Present Acting City Manager, Joe Creron; Deputy City Clerk, Karen Needham, Cultural Services Manager, Christine McWillis\*; Community Planning Department Manager, Ryan Smith\*; Urban Planning Manager, Terry Barton\*; Community Planning Supervisor, Laura Bentley\*; Suburban & Rural Planning Manager, Dean Strachan\*; Planner, Trisa Atwood\*; Divisional Director, Infrastructure, Alan Newcombe\*; Policy & Planning Department Manager, Danielle Noble-Brandt\*; Budget Supervisor, Melanie Antunes\*; Revenue Supervisor, Angie Schumacher\*; Transit Service Coordinator, Mike Kittmer\*; Transit and Programs Manager, Jerry Dombowsky\*; Parks & Buildings Planning Manager, Robert Parlane\*; Park & Landscape Planner, Lindsay Clement\*; Utility Planning Manager, Rod MacLean\*; Infrastructure Engineering Manager, Joel Shaw\*; Infrastructure Operations Department Manager, Ian Wilson\*; Fleet Services Manager, Alf Soros\*; Legislative Coordinator (Confidential), Arlene McClelland

(\* Denotes partial attendance)

### 1. Call to Order

Mayor Basran called the meeting to order at 1:35 p.m.

Mayor Basran advised that the meeting is open to the public and all representations to Council form part of the public record. A live audio and video feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

### 2. Confirmation of Minutes

Moved By Councillor Gray/Seconded By Councillor Hodge

R363/18/04/16 THAT the Minutes of the Regular Meetings of April 9, 2018 be confirmed as circulated.

Carried

### 3. Public in Attendance

### 3.1 Alternator Centre for Contemporary Arts

Staff:

- Introduced Lorna McParland, Artistic & Administrative Director

Artistic & Administrative Director, Lorna McParland

- Displayed a PowerPoint Presentation summarizing the annual activities of the Alternator Centre.
- Responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor DeHart

**R364/18/04/16** THAT Council receives, for information, the annual activities presentation from Artistic & Administrative Director of the Alternator Centre, dated April 16, 2018.

Carried

Councillor Stack joined the meeting at 1:59 p.m.

### 4. Development Application Reports & Related Bylaws

#### 4.1 Bennett Rd 1602, OCP17-0026 Z17-0105 - Lakeside Communities Inc., Inc. No. A57531

Councillor Singh declared a conflict of interest as she resides in the neighbourhood of the proposed application and departed the meeting at 1:59 p.m.

Staff:

- Displayed a PowerPoint Presentation summarizing the application and providing rationale for non-support
- Responded to questions from Council.

Andrew Bruce, Melcor Developments, Applicant

- Displayed a PowerPoint Presentation, re: North Clifton Estates
- In support of this application, engineering designs, geotechnical reports, environmental impact and restoration recommendations have been provided to the City.
- The internal circulation has not resulted in any technical reasons that the proposed design cannot move forward.
- Understand and respect that leniency is being requested regarding OCP policies with developments on steep slopes, however, believes that the request is dealing with small areas of impact and that impacts can be restored and mitigated to the point that this proposal is not significantly inconsistent with how hillside development occurs on a regular basis.
- The area in questions is limited to Phase 1; this amendment would not change the overall parameters of the Approved ASP – still allows for up to 200 units.
- Displayed a drawing of the proposed area of change from Park and Open Space to RU1H zoned land for single family residential use and noted the boundaries shown include all of the land required to accommodate the grading of the proposed lots.
- A Master Parks Plan was prepared to show the trails, open space and public park dedications and tied them to each phase of subdivision registration.
- The waterfront park is surveyed; in the process of subdividing and transferring it to the City; will be City owned within a couple of months.
- The proposed zoning changes do reduce the open space dedication associated with Phase 5 but it does not affect any of the planned trails or functionality of the open space.
- The Current Phase 1 layout shows 42 lots; most of the grading work for the lots east of Clifton Road has been completed; the lot grading west of Clifton has been on hold pending the outcome of this application.
- Spoke to various lots and required cuts to existing natural grade and maximum height of cut.



- Displayed before and after photos of visual impact modelling.
- In summary noted:
  - o The proposed changes would allow a more efficient use of infrastructure by adding eight additional lots to the development yield
  - o Impacts have been minimized by design and mitigation/restoration plans would restore the new fill slopes to a vegetated condition;
  - o No new retaining walls required for the rear fill slopes
  - o General public support;
  - o No fundamental change to approved ASP.
- Responded to questions from Council.

Moved By Councillor Stack/Seconded By Councillor Given

**R365/18/04/16** THAT Official Community Plan Map Amendment Application No. OCP17-0026 to amend Map 4.1 in the Kelowna 2030 – Official Community Plan Bylaw No. 10500 by changing the Future Land Use designation of a portion of Lot 2 Section 17 Township 23 ODYD Plan KAP65503, located at 1602 Bennett Road, Kelowna, BC from the PARK – Major Park / Open Space (Public) designation to the S2RESH – Single / Two Unit Residential – Hillside designation NOT be considered by Council;

AND THAT Rezoning Application No. Z17-0105 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of a portion of Lot 2 Section 17 Township 23 ODYD Plan KAP65503, located at 1602 Bennett Road, Kelowna, BC from the P3 – Parks and Open Space zone to the RU1h – Large Lot Housing (Hillside Area) zone NOT be considered by Council.

Carried

Councillor Singh rejoined the meeting at 2:33 p.m.

**4.2 Old Vernon Rd 144 - LUC17-0003 - Serra Holdings (No. 9) Ltd Inc. No BC0950182**

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Sieben/Seconded By Councillor Stack

**R366/18/04/16** THAT Application No. LUC17-0003 to discharge LUC77-1015 from Lot A (X26413) Section 2, Township 23, ODYD, Plan 7301, located at 144 Old Vernon Road, Kelowna, BC, be considered by Council;

AND THAT the Land Use Contract Discharge be forwarded to a Public Hearing for further consideration.

Carried

**4.3 Old Vernon Rd 144 - LUC17-0003 (BL11598) - Serra Holdings (No. 9) Ltd Inc. No BC0950182**

Moved By Councillor Gray/Seconded By Councillor Hodge

**R367/18/04/16** THAT Bylaw No. 11598 be read a first time.

Carried

**4.4 Old Vernon Rd 155-165 Rutland Ct 2155-2165, LUCT17-0003 Z18-0005 - Cornel Epp, Terra Landscaping & CGSB Automotive Group**

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Hodge/Seconded By Councillor Gray

**R368/18/04/16** THAT Application No. LUCT17-0003 to terminate LUC77-1015 from Lot 1, Section 35, Township 26, ODYD, Plan EPP60557, located at 155-165 Old Vernon Road, Kelowna, BC, be considered by Council;

AND THAT Application No. LUCT17-0003 to terminate LUC77-1082 from Lot 1, Section 35, Township 26, ODYD, Plan 9018, located at 2155-2165 Rutland Court, Kelowna, BC, be considered by Council;

AND THAT the Land Use Contract Termination LUCT17-0003 be forwarded to a Public Hearing for further consideration;

AND THAT Rezoning Application No. Z18-0005 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of, Lot 1, Section 35, Township 26, ODYD, Plan EPP60557, located at 155-165 Old Vernon Road, Kelowna, BC, from C2 – Neighbourhood Commercial to C10 – Service Commercial be considered by Council;

AND THAT Rezoning Application No. Z18-0005 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 1, Section 35, Township 26, ODYD, Plan 9018, located at 2155-2165 Rutland Court, Kelowna, BC, from C2 – Neighbourhood Commercial to C10 – Service Commercial, be considered by Council;

AND FURTHER THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration.

Carried

**4.5 Old Vernon Rd 155-165 Rutland Ct 2155-2165, LUCT17-0003 (BL11599) - Cornel Epp, Terra Landscaping & CGSB Automotive Group**

Moved By Councillor Gray/Seconded By Councillor Hodge

**R369/18/04/16** THAT Bylaw No. 11599 be read a first time.

Carried

**4.6 Old Vernon Rd 155-165 Rutland Ct 2155-2165, Z18-0005 (BL11600) - Cornel Epp, Terra Landscaping & CGSB Automotive Group**

Moved By Councillor Hodge/Seconded By Councillor Gray

**R370/18/04/16** THAT Bylaw No. 11600 be read a first time.

Carried

**4.7 Capri Centre Compressive Development, Master DP17-0252 - RG Properties Ltd. Inc. No. BC0812619**

Staff:

- Displayed a PowerPoint Presentation.
- The Master Development Permit will be a framework to guide future phased development.
- Spoke to the design objectives and that they were created through the original DP that established the design guidelines that form part of the zone. This Master DP is meant to create a framework within the design guidelines in order to frame future phases of development as they occur.



- This is a broad, general, site plan that will evolve and change over time.
- Staff anticipate amendments over the 30 year intended build out.
- The site plan shows the large community amenity park and hockey rink, retention of the existing hotel and creation of mixed use residential and commercial buildings.
- The purpose is to create an Urban Interface between Capri Centre and Harvey Avenue with retail at grade with office and residential above; pedestrian linkages with wide sidewalks.
- Responded to questions from Council.

Moved By Councillor Sieben/Seconded By Councillor Given

**R371/18/04/16** THAT Council hear from the Applicant.

**Carried**

Leo Mariotto, ICR Projects Inc.

- This Master Plan as presented is just another evolution of the original Master Plan approved two years ago.
- Will not be changing any amenities that were promised and provided two years ago.
- The reason this plan slightly changed is to provide more pedestrian public access. The previous plan had more roads.
- Proposing a larger ice surface where public can play hockey and invite hockey teams to play as well to be used as a skating facility.
- There will also be shopping and restaurants in the area and need the public to be there.
- The main focus now is to begin our first tower on site at Capri Street and Sutherland Avenue. Then will move toward the highway with 2 more towers.
- The next phase will be residential development on Sutherland that will require the food store to relocate.
- What was decided upon in negotiations 2 years ago is still in place and will not change; willing to enter into new negotiations to address concerns of Council
- Cannot commit to a date when amenities will be constructed.
- Responded to questions from Council.

Staff:

- Provided information on City owned park sites and public private partnerships and noted that this is not considered part of the City park system
- A Master Plan was established to guide development as the project moves forward in phases and to allow check-in point of the original plan.

Moved By Councillor Stack/Seconded By Councillor Hodge

**R372/18/04/16** THAT Council defer the issuance of Development Permit No. DP17-0252, located at 1835 Gordon Drive, 1171 Harvey Avenue and 1755 Capri Street, RG Properties Ltd.

**Carried**

Mayor Basran, Councillors Given and Sieben - Opposed

Moved By Councillor Stack/Seconded By Councillor Hodge

**R373/18/04/16** THAT Council directs staff to report back with further information on the Master Development Permit No. DP17-0252 with respect to;

- Ice rink ownership model; uses being proposed and public access;
- internal road system with respect to public or private accessibility, upkeep and maintenance.
- Bicycle routes and their connectivity to and within the site;
- Provision of public park space, consideration of park dedication and implication;
- Proposed phases of construction with public amenities.

**Carried**

Councillors Given and Sieben - Opposed

The meeting recessed at 5:00 p.m.

Councillor Sieben left the meeting at 5:00 p.m.

The meeting reconvened at 5:12 p.m.

#### **4.8 Capri Centre Phase 1, DP17-0253 - RG Properties Ltd. Inc. No. BCo812619**

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Donn/Seconded By Councillor Given

**R374/18/04/16** THAT Council authorizes the issuance of Development Permit No. DP17-0253 for Lot A, District Lot 137, ODYD, Plan KAP64836 Except Plan EPP33990, located at 1835 Gordon Drive, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

**Carried**

Councillor Hodge – Opposed

Councillor Donn left the meeting at 5:49 p.m.

#### **5. Bylaws for Adoption (Development Related)**

##### **5.1 Terai Ct 265, Z17-0111 (BL11560) - Marty and Denise Hoglin**

Moved By Councillor Given/Seconded By Councillor Hodge

**R375/18/04/16** THAT Bylaw No. 11560 be adopted.

**Carried**

##### **5.2 Valley Road 276-292, (BL11523) Vanmar Developments Glenpark Ltd.**

Moved By Councillor Gray/Seconded By Councillor Given

**R376/18/04/16** THAT Bylaw No. 11523 be adopted.

**Carried**

Councillor Stack departed the meeting at 5:50 p.m.



## 6. Non-Development Reports & Related Bylaws

### 6.1 Minister of Agriculture's Advisory Committee Revitalizing the Agricultural Land Reserve and the Agricultural Land Commission Discussion Paper for Stakeholder Consultation and Public Engage

Staff:

- Displayed a PowerPoint Presentation summarizing the Minister of Agriculture's discussion paper and responded to questions from Council.

Moved By Councillor Given/Seconded By Councillor Gray

**R377/18/04/16** THAT Council receives, for information, the report from the Policy and Planning Department dated April 16, 2018, with respect to a response to the Minister of Agriculture's Advisory Committee Revitalizing the Agricultural Land Reserve and the Agricultural Land Commission Discussion Paper for Stakeholder consultation and Public Engagement;

AND THAT Council directs staff to forward the response to the Ministry of Agriculture's Advisory Committee for their consideration.

Carried

### 6.2 Amendment No. 1 to the Five Year Financial Plan 2017-2021 Bylaw No. 11582

Staff:

- Provided an overview of the amendment to the 5-year Financial Plan and responded to questions from Council.

Moved By Councillor Given/Seconded By Councillor Gray

**R378/18/04/16** THAT Council receives, for information, the Report from the Budget Supervisor dated April 16, 2018 with respect to amendments to the Five Year Financial Plan 2017-2021 Bylaw;

AND THAT Bylaw No. 11582 being Amendment No. 1 to the Five Year Financial Plan 2017-2021 Bylaw No. 11394 be advanced for reading consideration.

Carried

### 6.3 BL11582 - Amendment No. 1 to Five Year Financial Plan 2017-2021 BL11394

Moved By Councillor Singh/Seconded By Councillor DeHart

**R379/18/04/16** THAT Bylaw No. 11582 be read a first, second and third time.

Carried

### 6.4 Amendment No. 1 to the 2017 Sale of City-Owned Land Reserve Fund Expenditure Bylaw No. 11398

Staff:

- Provided an overview of the amendment in the Land Reserve Fund Expenditure Bylaw.

Moved By Councillor DeHart/Seconded By Councillor Hodge

**R380/18/04/16** THAT Council receives, for information, the Report from the Budget Supervisor dated April 16, 2018 with respect to amendments to the Sale of City-Owned Land Reserve Fund Expenditure Bylaw;



AND THAT Bylaw No. 11589 being Amendment No. 1 to the Sale of City-Owned Land Reserve Fund Expenditure Bylaw, 2017 No. 11398 be advanced for reading consideration.

Carried

**6.5 BL11589 - Amendment No. 1 to Sale of City-Owned Land Reserve Fund Expenditure Bylaw, 2017 No. 11398**

Moved By Councillor DeHart/Seconded By Councillor Singh

R381/18/04/16 THAT Bylaw No. 11398 be read a first, second and third time.

Carried

**6.6 2018 Tax Distribution Policy**

Staff:

- Displayed a PowerPoint Presentation summarizing the 2018 Tax Distribution Policy.

Moved By Councillor Given/Seconded By Councillor DeHart

R382/18/04/16 THAT Council approve a Municipal Tax Distribution Policy as outlined in the Report dated April 16, 2018, for the year 2018 that will result in a modification of the 2017 Tax Class Ratios to reflect the uneven market value changes which have been experienced between property classes, as follows:

**2017 Tax 2018 Tax  
Property Class Class Ratios Class Ratios**

Residential/Rec/NP/SH	1.0000:1	1.0000:1
Utilities	5.3182:1	5.5475:1
Major Industrial	5.8019:1	6.6176:1
Light Industrial/Business/Other	2.2967:1	2.3777:1
Farm Land	0.1357:1	0.1524:1
Farm Improvements	0.4810:1	0.4987:1

AND THAT Council approve development of 2018 tax rates to reflect the 2018 assessment changes in property market values.

Carried

**6.7 2018 Sterile Insect Release (SIR) parcel tax**

Staff:

- Displayed a PowerPoint Presentation summarizing the 2018 Sterile Insect Release Parcel Tax levy.

Moved By Councillor Given/Seconded By Councillor Hodge

R383/18/04/16 THAT Council approve the Sterile Insect Release Program as outlined in the report dated April 16, 2018, charging the 2018 Sterile Insect Release (SIR) Parcel Tax to individual property tax rolls in accordance with the 2018 SIR Parcel Tax Assessment Roll provided to the City of Kelowna by SIR administration.

AND THAT Bylaw No. 11593 being the Sterile Insect Release Program Parcel Tax Bylaw 2018 be forwarded for reading consideration.

Carried

## 6.8 BL11593 - Sterile Insect Release Program Parcel Tax Bylaw No. 2018

Moved By Councillor Singh/Seconded By Councillor DeHart

R384/18/04/16 THAT Bylaw No. 11593 be read a first, second and third time.

Carried

## 6.9 2018 Transit Capital Program

Staff:

- Displayed a PowerPoint Presentation summarizing the 2018 Transit Capital Program and responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor Given

R385/18/04/16 THAT Council receives, for information, the report from the Transit and Programs Manager dated April 16, 2018, with respect to the 2018 Transit Capital Program; AND THAT the 2018 Financial Plan be amended to reflect the reprioritization of transit capital projects;

AND FURTHER THAT Council authorizes the Integrated Transportation Department to initiate the design and construction of a new bus bay and passenger waiting area on Enterprise Way east of Spall Road.

Carried

## 6.10 Community for All - Parks and Building Assessment

Staff:

- Displayed a PowerPoint Presentation outlining the Parks and Buildings Assessments program and responded to questions from Council.

Moved By Councillor Given/Seconded By Councillor Hodge

R386/18/04/16 THAT Council receives, for information, the report from the Park and Landscape Planner dated April 16, 2018, with respect to the Community for All – Parks and Buildings Assessment.

Carried

## 6.11 UBCM Community Emergency Preparedness Fund (CEPF) - Structural Flood Mitigation Program Application

Staff:

- Provided an overview and summarized background information for the UBCM Structural Grant Application.

Moved By Councillor Hodge/Seconded By Councillor Gray

R387/18/04/16 THAT Council receives, for information, the report from the Utilities Planning Manager dated April 16, 2018, with respect to the UBCM Community Emergency Preparedness Fund (CEPF) - Structural Flood Mitigation Program Application;

AND THAT Council authorizes staff to apply for a UBCM CEPF Structural Flood Mitigation grant as outlined in this report,

AND THAT Council authorizes the Mayor and City Clerk to execute the UBCM CEPF Structural Flood Mitigation grant, if the application is successful,

AND FURTHER THAT the 2018 Financial Plan be amended to include the grant funding for the Spencer Road Mill Creek Drainage Improvement Project if the application is successful.

Carried

#### **6.12 New Sewer Connection Charge Bylaw 11540**

Staff:

- Displayed a PowerPoint Presentation summarizing the revisions to both the number of sewer connection areas and the connections fees and responded to questions from Council.

Moved By Councillor Given/Seconded By Councillor Hodge

**R388/18/04/16** THAT Council receives for information, the report from the Utility Planning Manager dated April 16, 2018, recommending that Council adopt a new Sewer Connection Charge Bylaw No. 11540;

AND THAT Bylaw No. 11540, being Sewer Connection Charges be forwarded for reading consideration;

AND THAT after adoption of Bylaw No. 11540 Sewer Connection Charge, Bylaw No. 846g being Sewer Connection Charges, and all amendments, be repealed.

Carried

#### **6.13 BL11540 - Sewer Connection Charge Bylaw**

Moved By Councillor Hodge/Seconded By Councillor Singh

**R389/18/04/16** THAT Bylaw No. 11540 be read a first, second and third time.

Carried

#### **6.14 2017 Organization Development Grant Summary and 2018 Organization Development Grant Guidelines**

Staff:

- Displayed a PowerPoint Presentation summarizing the 2017 Organization Development Grant funds and revised guidelines for 2018.
- Responded to questions from Council.

Moved By Councillor Hodge/Seconded By Councillor Singh

**R390/18/04/16** THAT Council receives for information the report of the Cultural Services Manager dated April 16, 2018 regarding the administration and distribution of the 2017 Organization Development Grants.

AND THAT Council approves the 2018 Organization Development Grant Guidelines as proposed in the report of the Cultural Services Manager dated April 16, 2018.

Carried

#### **6.15 Modo Car Share Agreement April 16 2018**



Staff:

- Displayed a PowerPoint Presentation summarizing the 2018 Modo Car Share Agreement with the City and responded to questions from Council

Moved By Councillor Hodge/Seconded By Councillor Singh

**R391/18/04/16** THAT Council receive for information, the report from the Infrastructure Operations Manager, dated April 16, 2018 regarding a Car Sharing Agreement between Modo Co-operative and the City of Kelowna;

AND THAT Council authorizes the Mayor and City Clerk to sign the aforementioned Agreement (Appendix 1).

Carried

#### **6.16 Road Closure & Sale Adjacent to 1155 & 1165 St. Paul Street**

Moved By Councillor Given/Seconded By Councillor Gray

**R392/18/04/16** THAT Council receives for information, the Report from the Manager, Real Estate Services, dated April 16, 2018, recommending that Council adopt the proposed closure of a portion of laneway adjacent to 1155 and 1165 St. Paul Street;

AND THAT Bylaw 11592, being the proposed closure of a portion of laneway adjacent to 1155 and 1165 St. Paul Street, be given reading consideration;

AND FURTHER THAT the Mayor and City Clerk be authorized to execute all document necessary to complete this transaction.

Carried

#### **6.17 Portion of Laneway Adjacent to St. Paul St, BL11592 - Road Closure Bylaw**

Moved By Councillor DeHart/Seconded By Councillor Singh

**R393/18/04/16** THAT Bylaw No. 11592 be read a first, second and third time.

Carried

### **7. Bylaws for Adoption (Non-Development Related)**

#### **7.1 BL11572 - Parcel Tax Bylaw for Aspen Road Local Area Service**

Moved By Councillor Hodge/Seconded By Councillor DeHart

**R394/18/04/16** THAT Bylaw No. 11572 be adopted.

Carried

### **8. Mayor and Councillor Items - Nil**

### **9. Termination**

This meeting was declared terminated at 6:52 p.m.

\_\_\_\_\_  
Mayor Basran

/acm



\_\_\_\_\_  
Deputy City Clerk

# REPORT TO COUNCIL



**Date:** April 23, 2018

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (AW)

**Application:** Z17-0083

**Owners:**

Maxwell House Developments  
Ltd., Inc. No. C756620, Glen Park  
Village Inc., Inc. No. 378493 &  
City of Kelowna

**Address:** 1967, 1969, & 1973 Cross Rd

**Applicants:** Protech Consulting

**Subject:** Rezoning Application

Existing OCP Designation: S2RES – Single/Two Unit Residential

Existing Zones: RU1 – Large Lot Housing & A1 – Agriculture 1

Proposed Zones: RU2 – Medium Lot Housing, RU2c – Medium Lot Housing with  
Carriage House, RU6 – Two Dwelling Housing

---

## 1.0 Recommendation

THAT Rezoning Application No. Z17-0083 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of portions of:

- Lot 2 Section 4 Township 23 ODYD Plan KAP84464, located at 1967 Cross Rd, Kelowna, BC, from the RU1 – Large Lot Housing zone to the RU2 Medium Lot Housing and RU2C Medium Lot Housing with Carriage House zones;
- That Part of Lot 11 Block 6 Section 4 Township 23 ODYD Plan 986 Except Plan 10134 Shown Green on Plan H8323, located at 1969 Cross Rd, Kelowna, BC, from the A1 – Agricultural 1 zone to the RU2C Medium Lot Housing with Carriage House zone;
- The portion of road between That Part of Lot 11 Block 6 Section 4 Township 23 ODYD Plan 986 Except Plan 10134 Shown Green on Plan H8323, located at 1969 Cross Rd, Kelowna, BC and Lot 39 Section 4 Township 23 ODYD Plan KAP48643, located at 1973 Cross Rd, Kelowna, BC, from the A1 – Agricultural 1 and RU1 – Large Lot Housing zones to the RU2 Medium Lot Housing and RU2C Medium Lot Housing with Carriage House zones;

- Lot 39 Section 4 Township 23 ODYD Plan KAP48643, located at 1973 Cross Rd, Kelowna, BC, from the RU1 – Large Lot Housing zone to the RU2 Medium Lot Housing, RU2C Medium Lot Housing with Carriage House and RU6 – Two Dwelling Housing zones;

as shown on Map “A” attached to the Report from the Community Planning Department dated April 23, 2018, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Zone Amending Bylaw be considered subsequent to the discharge of Covenant (KF124772) and the outstanding conditions of approval as set out in Schedule “A” attached to the Report from the Community Planning Department dated April 23, 2018;

AND FURTHER THAT final adoption of the Zone Amending Bylaw be considered subsequent to the issuance of a Preliminary Layout Review Letter by the Approving Officer.

## 2.0 Purpose

To rezone the subject properties to facilitate a 15 lot residential subdivision.

## 3.0 Community Planning

Staff are supportive of rezoning of the subject properties to accommodate the proposed 15 lot residential subdivision. The proposal includes the use of several urban residential zones that will provide a mix of unit types and add additional density to this village centre location. The subject properties are the last vacant sites designated Single/Two Unit Residential within the ‘Glenmore Valley’ village centre. The proposal fits within the OCP’s future land use designation and meets expectations for development at this location. At build-out the project will likely include duplex housing, single family dwellings, secondary suites and carriage houses. The proposed lot layout and road network also ties in with the single / two family subdivision located to the east that is currently being developed.

## 4.0 Proposal

### 4.1 Project Description

The proposal includes the creation of 15 new residential lots, as follows:

Proposed Zone	# of Lots
RU2 – Medium Lot Housing	10
RU2c – Medium Lot Housing with Carriage House	3
RU6 – Two Dwelling Housing	2

Pedestrian access will be facilitated through the development by way of a walkway connecting from the northern edge of the site through to Cross Road. At the southern edge access of the trail along Brandt Creek will be maintained and the treatment will be improved. The proposed subdivision will also connect to and complete the road network with the recently approved subdivision to the east at 1982 Cross Road.

### 4.2 Site Context

The subject properties are located in the ‘Glenmore Valley’ Village Centre at the corner of Cross Rd and Glenmore Rd. The lots have an approximate combined area of 1.0 hectare. Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RM2 – Low Density Row Housing	Multiple Dwelling Housing
East	RU2 – Medium Lot Housing	Single Dwelling Housing
South	P3 – Parks and Open Space RU1 – Large Lot Housing	Public Park (Brandt's Creek Linear Park) Single Dwelling Housing
West	A1 – Agriculture 1	Vacant

#### Subject Property Map: 1967, 1969, & 1973 Cross Rd



#### 4.3 Zoning Analysis

The proposed lot layout conforms with the lot dimensions and area of the RU2 – Medium Lot Housing, RU2c – Medium Lot Housing with Carriage House, RU6 – Two Dwelling Housing zones.

#### 5.0 Current Development Policies

##### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

## **6.0 Technical Comments**

### **6.1 Building & Permitting Department**

- No comment.

### **6.2 Development Engineering Department**

- See Attached.

### **6.3 Fire Department**

- No concerns. Ensure lots are addressed off of the street that they are accessed from.

### **6.4 Glenmore- Ellison Improvement District**

- Glenmore-Ellison Improvement District (GEID) does not require fees and conditions prior to rezoning approval; however, GEID will have fees and conditions required prior to issuance of a Water Service Certificate to facilitate subdivision approval.

## **7.0 Application Chronology**

Date of Application Received: August 11, 2017

Date Public Consultation Completed: October 19, 2017

**Report prepared by:** Alec Warrender, Property Officer Specialist

**Reviewed by:** Terry Barton, Urban Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

### **Attachments:**

Map 'A'

Development Engineering Memorandum dated September 13, 2017.

Site Plan





# Z17-0083 1967, 1969 & 1973 Cross Road

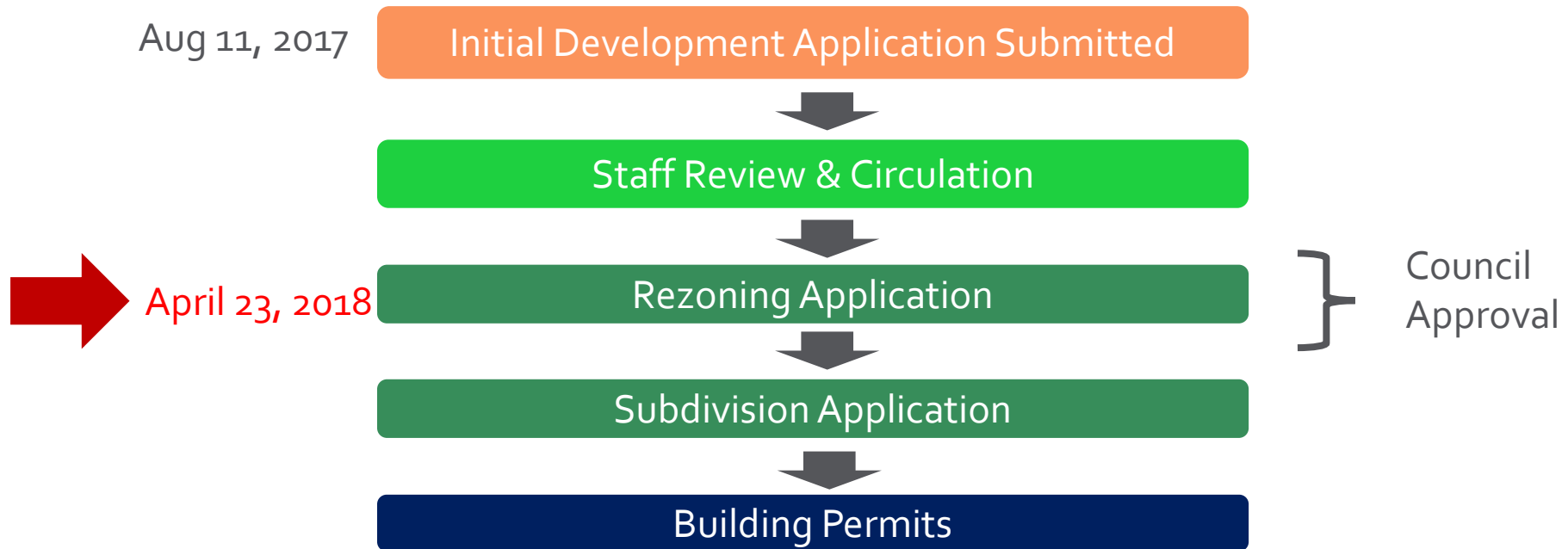
Rezoning Application



# Proposal

To rezone the subject properties to facilitate a 15 lot residential subdivision.

# Development Process





# Subject Property Map



N

LOT A  
PLAN 13346

PLAN 88014

GLENMORE ROAD BYPASS

CROSS ROAD

LOT 11  
PLAN 896  
SEC 4 TWP 23

LOT 30  
PLAN 48643

LOT 2  
PLAN 10134

BRANDT'S CREEK

STATUTORY RIGHT OF WAY

LOT 38

LOT 37

LOT 14  
400.00m<sup>2</sup>

LOT 13  
394.01m<sup>2</sup>

LOT 12  
406.21m<sup>2</sup>

LOT 11  
401.04m<sup>2</sup>

LOT 10  
406.00m<sup>2</sup>

LOT 9  
645.29m<sup>2</sup>

LOT 8  
705.01m<sup>2</sup>

LOT 7  
400.00m<sup>2</sup>

LOT 6  
400.00m<sup>2</sup>

LOT 5  
400.00m<sup>2</sup>

LOT 4  
400.00m<sup>2</sup>

LOT 3  
400.00m<sup>2</sup>

LOT 2  
400.00m<sup>2</sup>

LOT 1  
400.00m<sup>2</sup>

LOT 15  
426.29m<sup>2</sup>

LOT 16  
877.99m<sup>2</sup>

LOT 17  
784.01m<sup>2</sup>

LOT 18  
406.21m<sup>2</sup>

LOT 19  
401.04m<sup>2</sup>

LOT 20  
406.00m<sup>2</sup>

LOT 21  
645.29m<sup>2</sup>

LOT 22  
705.01m<sup>2</sup>

LOT 23  
400.00m<sup>2</sup>

LOT 24  
400.00m<sup>2</sup>

LOT 25  
400.00m<sup>2</sup>

LOT 26  
400.00m<sup>2</sup>

LOT 27  
400.00m<sup>2</sup>

LOT 28  
400.00m<sup>2</sup>

LOT 29  
400.00m<sup>2</sup>

LOT 30  
400.00m<sup>2</sup>

LOT 31  
400.00m<sup>2</sup>

LOT 32  
400.00m<sup>2</sup>

LOT 33  
400.00m<sup>2</sup>

LOT 34  
400.00m<sup>2</sup>

LOT 35  
400.00m<sup>2</sup>

LOT 36  
400.00m<sup>2</sup>

LOT 37  
400.00m<sup>2</sup>

LOT 38  
400.00m<sup>2</sup>

LOT 39  
400.00m<sup>2</sup>

LOT 40  
400.00m<sup>2</sup>

LOT 41  
400.00m<sup>2</sup>

LOT 42  
400.00m<sup>2</sup>

LOT 43  
400.00m<sup>2</sup>

LOT 44  
400.00m<sup>2</sup>

LOT 45  
400.00m<sup>2</sup>

LOT 46  
400.00m<sup>2</sup>

LOT 47  
400.00m<sup>2</sup>

LOT 48  
400.00m<sup>2</sup>

LOT 49  
400.00m<sup>2</sup>

LOT 50  
400.00m<sup>2</sup>

LOT 51  
400.00m<sup>2</sup>

LOT 52  
400.00m<sup>2</sup>

LOT 53  
400.00m<sup>2</sup>

LOT 54  
400.00m<sup>2</sup>

LOT 55  
400.00m<sup>2</sup>

LOT 56  
400.00m<sup>2</sup>

LOT 57  
400.00m<sup>2</sup>

LOT 58  
400.00m<sup>2</sup>

LOT 59  
400.00m<sup>2</sup>

LOT 60  
400.00m<sup>2</sup>

LOT 61  
400.00m<sup>2</sup>

LOT 62  
400.00m<sup>2</sup>

LOT 63  
400.00m<sup>2</sup>

LOT 64  
400.00m<sup>2</sup>

LOT 65  
400.00m<sup>2</sup>

LOT 66  
400.00m<sup>2</sup>

LOT 67  
400.00m<sup>2</sup>

LOT 68  
400.00m<sup>2</sup>

LOT 69  
400.00m<sup>2</sup>

LOT 70  
400.00m<sup>2</sup>

LOT 71  
400.00m<sup>2</sup>

LOT 72  
400.00m<sup>2</sup>

LOT 73  
400.00m<sup>2</sup>

LOT 74  
400.00m<sup>2</sup>

LOT 75  
400.00m<sup>2</sup>

LOT 76  
400.00m<sup>2</sup>

LOT 77  
400.00m<sup>2</sup>

LOT 78  
400.00m<sup>2</sup>

LOT 79  
400.00m<sup>2</sup>

LOT 80  
400.00m<sup>2</sup>

LOT 81  
400.00m<sup>2</sup>

LOT 82  
400.00m<sup>2</sup>

LOT 83  
400.00m<sup>2</sup>

LOT 84  
400.00m<sup>2</sup>

LOT 85  
400.00m<sup>2</sup>

LOT 86  
400.00m<sup>2</sup>

LOT 87  
400.00m<sup>2</sup>

LOT 88  
400.00m<sup>2</sup>

LOT 89  
400.00m<sup>2</sup>

LOT 90  
400.00m<sup>2</sup>

LOT 91  
400.00m<sup>2</sup>

LOT 92  
400.00m<sup>2</sup>

LOT 93  
400.00m<sup>2</sup>

LOT 94  
400.00m<sup>2</sup>

LOT 95  
400.00m<sup>2</sup>

LOT 96  
400.00m<sup>2</sup>

LOT 97  
400.00m<sup>2</sup>

LOT 98  
400.00m<sup>2</sup>

LOT 99  
400.00m<sup>2</sup>

LOT 100  
400.00m<sup>2</sup>

LOT 101  
400.00m<sup>2</sup>

LOT 102  
400.00m<sup>2</sup>

LOT 103  
400.00m<sup>2</sup>

LOT 104  
400.00m<sup>2</sup>

LOT 105  
400.00m<sup>2</sup>

LOT 106  
400.00m<sup>2</sup>

LOT 107  
400.00m<sup>2</sup>

LOT 108  
400.00m<sup>2</sup>

LOT 109  
400.00m<sup>2</sup>

LOT 110  
400.00m<sup>2</sup>

LOT 111  
400.00m<sup>2</sup>

LOT 112  
400.00m<sup>2</sup>

LOT 113  
400.00m<sup>2</sup>

LOT 114  
400.00m<sup>2</sup>

LOT 115  
400.00m<sup>2</sup>

LOT 116  
400.00m<sup>2</sup>

LOT 117  
400.00m<sup>2</sup>

LOT 118  
400.00m<sup>2</sup>

LOT 119  
400.00m<sup>2</sup>

LOT 120  
400.00m<sup>2</sup>

LOT 121  
400.00m<sup>2</sup>

LOT 122  
400.00m<sup>2</sup>

LOT 123  
400.00m<sup>2</sup>

LOT 124  
400.00m<sup>2</sup>

LOT 125  
400.00m<sup>2</sup>

LOT 126  
400.00m<sup>2</sup>

LOT 127  
400.00m<sup>2</sup>

LOT 128  
400.00m<sup>2</sup>

LOT 129  
400.00m<sup>2</sup>

LOT 130  
400.00m<sup>2</sup>

LOT 131  
400.00m<sup>2</sup>

LOT 132  
400.00m<sup>2</sup>

LOT 133  
400.00m<sup>2</sup>

LOT 134  
400.00m<sup>2</sup>

LOT 135  
400.00m<sup>2</sup>

LOT 136  
400.00m<sup>2</sup>

LOT 137  
400.00m<sup>2</sup>

LOT 138  
400.00m<sup>2</sup>

LOT 139  
400.00m<sup>2</sup>

LOT 140  
400.00m<sup>2</sup>

LOT 141  
400.00m<sup>2</sup>

LOT 142  
400.00m<sup>2</sup>

LOT 143  
400.00m<sup>2</sup>

LOT 144  
400.00m<sup>2</sup>

LOT 145  
400.00m<sup>2</sup>

LOT 146  
400.00m<sup>2</sup>

LOT 147  
400.00m<sup>2</sup>

LOT 148  
400.00m<sup>2</sup>

LOT 149  
400.00m<sup>2</sup>

# Project Details

## ► 15 Lot Subdivision:

Proposed Zone	# of Lots
RU2 – Medium Lot Housing	10
RU2c – Medium Lot Housing <u>w</u> Carriage House	3
RU6 – Two Dwelling Housing	2

- Duplex housing, single family dwellings, secondary suites and carriage houses;
- Walkway for public access.

**Walk Score®** 



**Car-Dependent**

Most errands require a car.



**Some Transit**

A few nearby public transportation options.

# Public Notification Policy #367

- ▶ The applicant completed appropriate notification;
  - ▶ Submitted October 19, 2017.

# Staff Recommendation

- ▶ Staff recommend support for the proposed Rezoning:
  - ▶ Consistent with OCP Designation;
  - ▶ Last Single/Two Unit Residential site within the 'Glenmore Valley' village;
  - ▶ Provides variety of housing options.





## *Conclusion of Staff Remarks*



**Subject Properties Notes:**

Rezone the subject properties from RU1 Large Lot Housing to RU2C Medium Lot Housing with Carriage House.

**Subject Properties Notes:**

Rezone the subject properties from RU1 Large Lot Housing to RU2 Medium Lot Housing.

**Subject Properties Notes:**

Rezone the subject properties from A1 Agricultural 1 to RU2C Medium Lot Housing with Carriage House.

**Subject Properties Notes:**

Rezone the subject properties from A1 Agricultural 1 to RU2 Medium Lot Housing.

**Subject Properties Notes:**

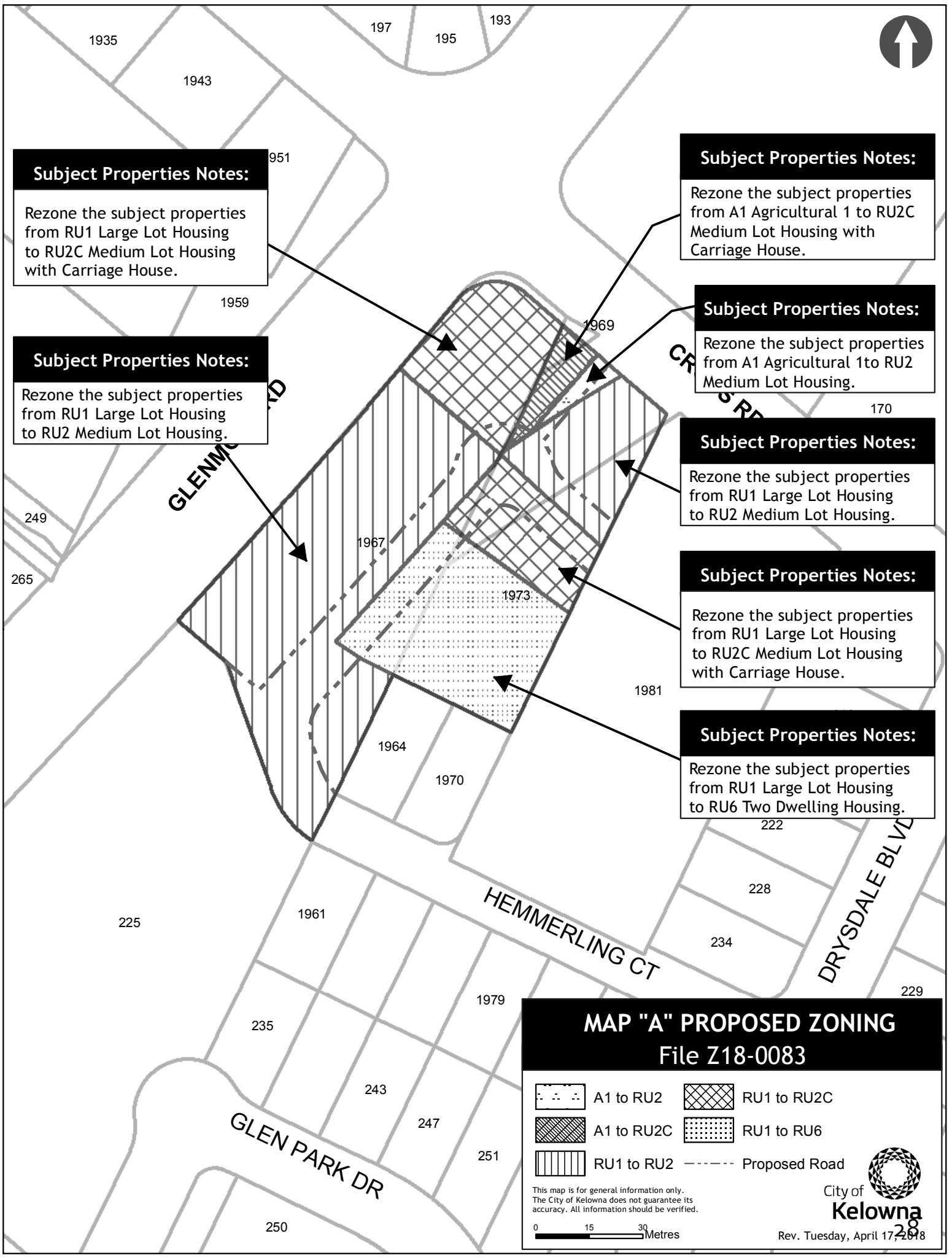
Rezone the subject properties from RU1 Large Lot Housing to RU2 Medium Lot Housing.

**Subject Properties Notes:**

Rezone the subject properties from RU1 Large Lot Housing to RU2C Medium Lot Housing with Carriage House.

**Subject Properties Notes:**

Rezone the subject properties from RU1 Large Lot Housing to RU6 Two Dwelling Housing.



### MAP "A" PROPOSED ZONING

#### File Z18-0083

	A1 to RU2		RU1 to RU2C
	A1 to RU2C		RU1 to RU6
	RU1 to RU2		Proposed Road

This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.

City of Kelowna

0 15 30 Metres

Rev. Tuesday, April 17, 2018

---

**CITY OF KELOWNA**

**MEMORANDUM**

---

**Date:** September 13, 2017

**File No.:** Z17-0083

**To:** Community Planning Department (EW)

**From:** Development Engineering Manager (JK)

**Subject:** 1973,1967 Cross Rd Hemmerling Ct Plan 10134 Lot 2,39 Plan 48943

---

Development Engineering has the following comments and requirements associated with this application to rezone from RU1 to RU2 RU2C and RU6  
The road and utility upgrading requirements outlined in this report will be a requirement of this application. All servicing and Road requirements will be address in S17-0088.

The Development Engineering Technologist for this project is Ryan O'Sullivan

**.1) General**

- a) The postal authorities must be contacted to determine whether or not a "community mailbox" will be utilized, and if so, its location should be determined and the proposed location shown on the construction plans. Please contact the Canadian Post Corporation, Delivery Services, P.O. Box 2110, Vancouver, B.C. V6B 4Z3 (604) 662-1381 in this regard.

**.2) Domestic Water and Fire Protection**

- a) The property is located within the Glenmore Ellison Irrigation District (GEID) service area. The developer is required to make satisfactory arrangements with the GEID for these items. All charges for service connection and upgrading costs are to be paid directly to the GEID.
- b) Provide an adequately sized domestic water and fire protection system. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. Provide water calculations for this development to confirm this. Ensure every building site is located at an elevation that ensures water pressure is within the bylaw pressure limits. Note: Private pumps are not acceptable for addressing marginal pressure.

**.3) Sanitary Sewer**

- a) Provide an adequately sized sanitary sewer system.
- b) Provide sanitary routing design complete with calculations ensuring the downstream infrastructure is capable of supporting this rezoning

**.4) Storm Drainage**

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems.

**.5) Roads Improvements and Dedication**

- (a) All road requirements will be addressed in S17-0088.

**.6) Power and Telecommunication Services and Street Lights**

- (a) The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

**.7) Design and Construction**

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

**.8) Servicing Agreements for Works and Services**

- c) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.

- d) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

**.9) Other Engineering Comments**

- e) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- f) Dedicate 2.72m road widening along the full frontage of Cross Road.
- g) Remove existing road right of way from Glenpark development area.
- h) 4.5m SRW will be need to maintain proposed GEID water Main and In order to promote pedestrian connectivity in this neighbourhood between proposed Proposed Road A and the existing concrete sidewalk on Cross Road, construction of a 3 metre wide asphalt pathway between lots 118 and 126 is requested. To delineate both sides of the pedestrian pathway a 1.2m high black vinyl coated chain link fence to City of Kelowna standards should be installed by the developer 15 cm inside both private property lines.
- i) Provide a sidewalk connection on Hemmerling Court by extending the existing sidewalk on Hemmerling Court to the new sidewalk fronting this development.

**.10) Other Engineering Comments**

- (a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- (b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

**.11) Development Permit and Site Issues**

- (a) Access and Manoeuvrability
  - (i) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.
  - (ii) Perimeter access must comply with the BC Building Code. Fire Truck access designs and proposed hydrant locations will be reviewed by the Fire Protection Officer.

---

James Kay, P.Eng.  
Development Engineering Manager  
RO



**CITY OF KELOWNA**  
**BYLAW NO. 11603**  
**Z17-0083 – 1967, 1969 & 1973 Cross Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of:
  - Lot 2 Section 4 Township 23 ODYD Plan KAP84464, located at 1967 Cross Rd, Kelowna, BC, from the RU1 – Large Lot Housing zone to the RU2 Medium Lot Housing and RU2C Medium Lot Housing with Carriage House zones;
  - That Part of Lot 11 Block 6 Section 4 Township 23 ODYD Plan 986 Except Plan 10134 Shown Green on Plan H8323, located at 1969 Cross Rd, Kelowna, BC, from the A1 – Agricultural 1 zone to the RU2C Medium Lot Housing with Carriage House zone;
  - The portion of road between That Part of Lot 11 Block 6 Section 4 Township 23 ODYD Plan 986 Except Plan 10134 Shown Green on Plan H8323, located at 1969 Cross Rd, Kelowna, BC and Lot 39 Section 4 Township 23 ODYD Plan KAP48643, located at 1973 Cross Rd, Kelowna, BC, from the A1 – Agricultural 1 and RU1 – Large Lot Housing zones to the RU2 Medium Lot Housing and RU2C Medium Lot Housing with Carriage House zones; and
  - Lot 39 Section 4 Township 23 ODYD Plan KAP48643, located at 1973 Cross Rd, Kelowna, BC, from the RU1 – Large Lot Housing zone to the RU2 Medium Lot Housing, RU2C Medium Lot Housing with Carriage House and RU6 – Two Dwelling Housing zones;as per Map A attached to and forming part of this bylaw.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

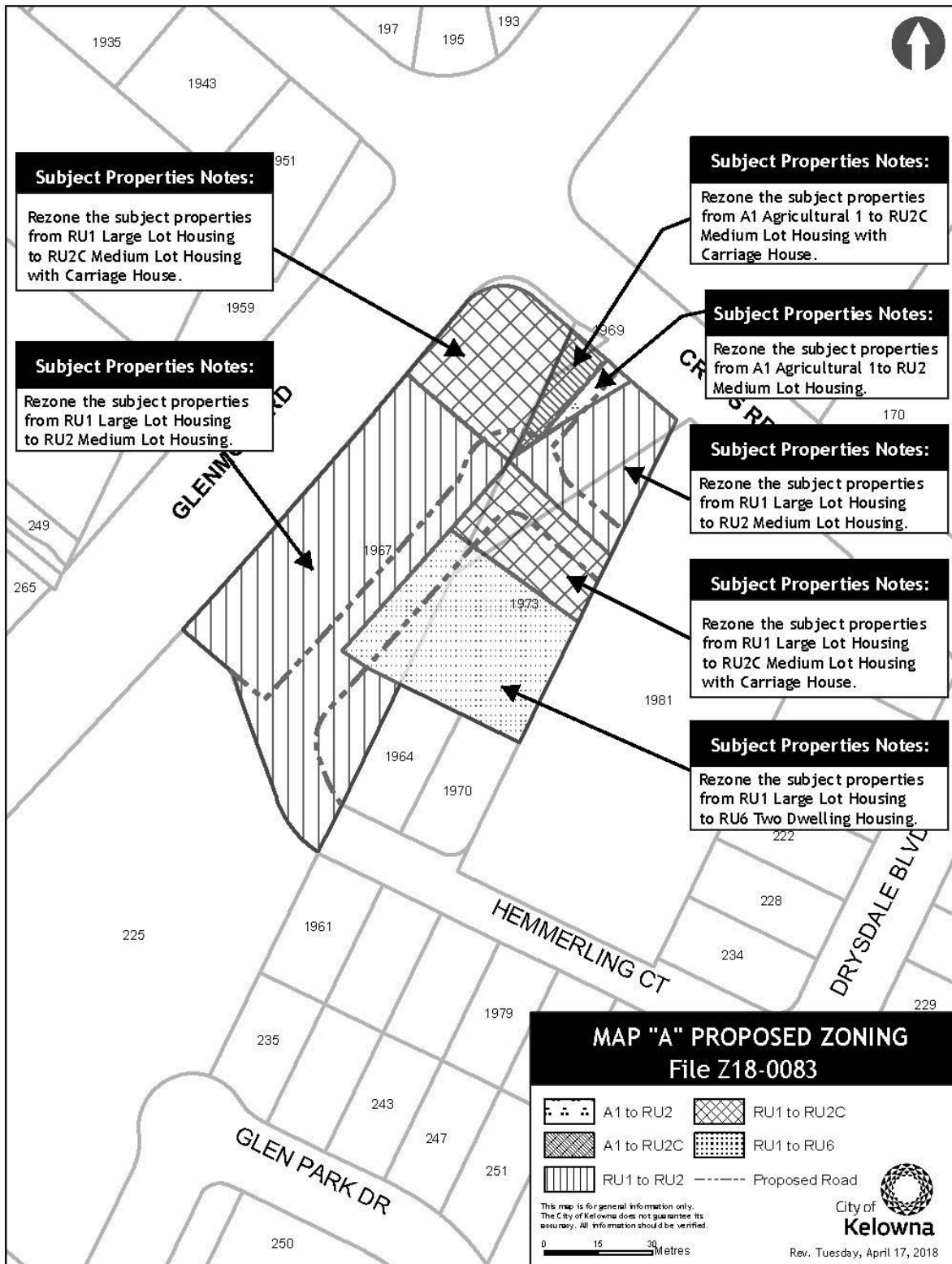
Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk





# REPORT TO COUNCIL



**Date:** April 23<sup>rd</sup>, 2018

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (AC)

**Application:** OCP17-0021 Z17-0093

**Owners:** PC Urban Clement Holdings Ltd., Inc. No. BC 1099980

**Addresses:** 726 Clement Ave

**Applicant:** PC Urban – Robert Spencer

**Subject:** Official Community Plan Amendment and Rezoning Application

Existing OCP Designation: IND – Industrial

Proposed OCP Designation: MXR – Mixed Use (Residential / Commercial)

Existing Zone: I<sub>4</sub> – Central Industrial

Proposed Zone: C<sub>4</sub> – Urban Centre Commercial

---

## 1.0 Recommendation

THAT Official Community Plan Map Amendment Application No. OCP17-0021 to amend Map 4.1 in the Kelowna 2030 – Official Community Plan Bylaw No. 10500 by changing the Future Land Use designation of portions of Lot A, Section 30, Township 26, ODYD Plan KAP55948, and portions of Block 29, Section 30, Township 26, ODYD Plan 202 Except Plans 5011 and KAP55948 located at 726 Clement Ave, Kelowna, BC from the IND – Industrial designation to the MXR – Mixed Use (Residential / Commercial) designation, as shown on Map "A" attached to the Report from the Community Planning Department dated April 23<sup>rd</sup> 2018, be considered by Council;

AND THAT the Official Community Plan Map Amending Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT Council considers the Public Information Session public process to be appropriate consultation for the Purpose of Section 475 of the *Local Government Act*, as outlined in the Report from the Community Planning Department dated April 23<sup>rd</sup>, 2018;

THAT Rezoning Application No. Z17-0093 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of portions of:

1. Lot A, Section 30, Township 26, ODYD Plan KAP55948, located at 726 Clement Ave, Kelowna, BC, from the I<sub>4</sub> – Central Industrial zone to the C<sub>4</sub> – Urban Centre Commercial zone; and

2. Block 29, Section 30, Township 26, ODYD Plan 202 Except Plans 5011 and KAP55948 located at 726 Clement Ave, Kelowna, BC, from the I2 – General Industrial zone to the C4 – Urban Centre Commercial zone;

as shown on Map “B” attached to the Report from the Community Planning Department dated April 23<sup>rd</sup> 2018, be considered by Council.

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Official Community Plan Map Amending Bylaw and the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Attachment “A” attached to the Report from the Community Planning Department dated April 23<sup>rd</sup> 2018;

AND FURTHER THAT final adoption of Official Community Plan Map Amending Bylaw and the Rezoning Bylaw be considered in conjunction with Council’s consideration of a Development Permit for the subject property.

## 2.0 Purpose

To amend the Official Community Plan to change the future land use designation of a portion of the subject properties from IND – Industrial to MXR - Mixed Use (Residential / Commercial) and to rezone a portion of the subject properties from I4 – Central Industrial zone & I2 – General Industrial zone to C4 – Urban Centre Commercial zone to facilitate the construction of mixed use commercial & residential buildings.

## 3.0 Community Planning

The subject properties are currently vacant as the former BC Tree Fruit Packinghouse was demolished in 2017. The properties represent 3.6 acres (1.5 ha) of under-developed land in a strategic location on the edge of the ‘City Centre’ Urban Centre at the corner of Clement Avenue and Richter Street. The properties are currently zoned for industrial uses and the Staff have fielded a number of development inquiries over the past few years for potential uses from steel storage containers to self-storage businesses to outdoor vehicle storage. Staff felt the land use of urban mixed-use with an industrial transition was the best suited for this property due to the adjacency of a major gateway into the Downtown and within close proximity to transit stops, urban services, and amenities. PC Urban, the current property owner and developer, acquired the site in late 2016 and have been working with staff on their development scenario. Their rationale behind the land use change to C4 – Mixed-use Commercial is as follows:

*The proposed land uses were carefully considered following detailed market analysis and is attempting to respond to a severe lack of purpose built, long-term, residential rental supply as well as the desire to transform the downtown north industrial area into a part of the vibrant downtown core.*

Staff are in support of the land use change and acknowledge that the Clement Avenue corridor is under transition with a number of other proposed large residential apartment building projects currently under application as well as the recently completed Police Services Building. In addition, once fully upgraded, Clement Avenue will be a five-lane arterial road acting as a major urban gateway into the north part of the Downtown.

Staff’s recommendation of support does not come without some concern for how the residential/commercial land uses will adequately integrate within the larger north-end industrial area and not undermine its viability. Maintaining an adequate supply of centrally located industrial land is also an important objective for the long-term success of the City. The applicant is currently working on providing a sensitive land use

transition to the industrial lands to the east (889 Clement Ave) and a portion of the applicant's property (816 Clement Avenue) is not included in this application in order to provide additional time to resolve this issue. After looking into adjacent nuisance conflicts (See Section 3.1), Staff believe the proposed mixed use development can integrate effectively into the north end industrial area and the applicant can provide an appropriate land use transition to the East. However, Staff would have preferred if the applicant applied for a comprehensively planned site including the industrial transition area rather than focusing on the mixed use portion first.

The proposed site plan shows two mix-use buildings totalling 148 rental residential units located in the south-west corner of the consolidated site at the corner of Richter Street and Clement Avenue. The proposed development plan provides a number of benefits including:

1. A strong urban edge and street wall at the Clement Ave and Richter St intersection;
2. Increasing the supply of much needed rental housing in close proximity to the Downtown and helps with the housing diversity objectives stated in the OCP (see Section 3.2 for a current rental housing overview); and
3. Mitigates the land use conflict potential by locating the parking along the northern portion of the property which adds a significant transition area in conjunction with Vaughn Avenue between the proposed development and the industrial properties to the north.

The magnitude and size of the surface parking lot are a further concern of Staff and will be issues to be resolved with the applicant during the upcoming Form & Character Development Permit. There are no other mixed-use C4 developments in the City that do not contain a portion of either underground parking or structured parking. As a form of land use, the proposed surface parking lot occupies a large portion of the site prohibiting the project from having more green space and amenities for residents. In order for the applicant to achieve Community Planning's support for the upcoming Development Permit, Staff will be requesting substantial changes to the parking solution and anticipate changes to the current site plan.

### 3.1 Industrial / Residential Nuisance & Land Use Conflict Potential

This block of Clement Avenue is a key transitional area that has the potential to integrate well into the surrounding North End industrial area but it also has the potential to undermine the security of the surrounding industrial lands without a broader vision. The intention was to allocate a certain amount of residential in the south-west corner of the site while providing the necessary and effective industrial / commercial transition.

The concern of adding residential land uses north of Clement Avenue within the designated Industrial area is the potential for other property owners to speculate that they could achieve residential units too. This could increase adjacent industrial land prices leading to more unaffordable industrial land and provide uncertainty of existing and future industrial businesses. Staff felt it is important to signal to the North End area that residential land uses are only acceptable in the south-west corner of the subject property and not to expect any further encroachment of residential land uses within the North End industrial lands. This is why a portion of the subject property and the property to the East were not recommended for a zoning change.

The uncertainty for current or future industrial businesses would be if adjacent residential units (or potential residential units) complain about their businesses due to industrial nuisances that may restrict their operations. Staff have reviewed the history of recent bylaw complaints in the industrial North End along Richter Street, Baillie Avenue, Vaughn Avenue, and Gaston Avenue. A summary of the type of complaints the City has received are as follows:

- Vehicles and pallets placed in the laneway that need to be removed.
- Storing pallets in alley
- Commercial blocking vehicles for long periods of time.
- Semi blocking roads.
- Garbage bin and leaking onto the back lane and the adjoining property.
- Transport trucks parking on street for days on end.
- Junk, odours and toxic mold from waste.
- Beer (from brewery) is being dumped into a garbage bin (odour).

These complaints are from the area which currently do not contain residential land uses and the frequency / intensity of these complaints could potentially increase by locating residential units in close proximity to industrial uses. However, after analysing the potential land use conflicts, Staff felt rental residential housing in the south-west corner of this site can integrate in the north end provided this does not lead to any other residential expansion. Further, rental housing will likely have less complaints from adjacent industrial or commercial land uses as tenants will know what neighbourhood they are moving into and tend to be more transient compared to home owners if issues were to arise.

### 3.2 Rental Housing Summary

In late 2016, when initial discussion with PC Urban took place, the City strongly encouraged rental housing and the hope was PC Urban could effectively transition rental housing to the surrounding industrial uses. Planning did a review of all rental projects (both market & non-market housing from 2016 to current (end of March 2018) in order to analyse how many rental units have been: recently occupied, under construction, approved but no building permit, and in the approval process. The summary graphs can be viewed in 'Attachment B' and a summary chart is provided below.

#### **Total Rental Housing**

	Student Bedroom	Micro	Studio	1 Bedroom	2 Bedroom	3 Bedroom	Total # of Units
Occupied	97	343	18	209	208	35	910
Under Construction	0	380	30	480	556	33	1,479
Approved but no BP	0	0	4	111	44	16	175
In Approval Process	0	104	5	71	166	27	373
<b>Total</b>	97	827	57	871	974	111	2,937

The City has 2,937 rental units either recently occupied, under-construction, approved, or in the approval process. This summary includes the number of units proposed by PC Urban on this site. Over 50% of those rental units (1,479) are currently under construction which should relieve some pressure on the supply side of the rental housing market once those units become occupied. This represents an increase of 22% increase in the supply of primary rental housing market<sup>1</sup>.

<sup>1</sup> Note that the total Primary Housing Market is calculated from the CORD area including Peachland, West Kelowna, & Lake Country while the increase in supply is only calculated from the City of Kelowna area.

**Primary Rental Housing (Existing + Under Construction)**

	Bachelor	1 bedroom	2 bedroom	3 Bedroom	Total # of Units
Existing Rental Housing in CMA (Oct 2017)	447	1946	2632	227	5252
Under Construction in Kelowna (April 2018)	410	480	556	33	1479
Total units	857	2426	3188	260	6731
Percent Increase	47.8%	19.8%	17.4%	12.7%	22.0%

The 148 units within this proposed project represents approximately 2.8% increase in the supply of rental housing within the CMA (Central Metropolitan Area). Staff have encouraged this developer and other developers to continue to increase the amount of rental housing especially when sites are in close proximity to the Downtown Urban Centre.

### 3.3 Public Notification & Other City Plans

Staff have reviewed this application and it may proceed without affecting either the City's Financial Plan or Waste Management Plan.

To fulfill Council Policy No. 367 for 'OCP Minor' and 'Zoning Major' applications, the applicant held a public information session on January 23, 2018 at the Rotary Centre for the Arts from 4:30pm to 6:30pm. The applicant also completed the neighbourhood notification process by contacting all properties within 50m of the subject properties.

## 4.0 **Proposal**

### 4.1 Background

This site has a long history of varied development proposals following the sale of the former BC Tree Fruit Packing House. Under the original proposal (in 2012/2013), the entire block (from Richter St to Ethel St) was intended to be divided into three lots. The first was to include a large brewery facility. The middle lot was intended to contain a restored packinghouse repurposed as a commercial market. The third and westernmost parcel was proposed to contain some commercial office and residential. Given its adjacency to the City Centre, Staff were supportive of the westernmost portion of the site being designated/zoned for mixed-use commercial and residential uses. This was understood to be set within a broader redevelopment of the site that saw the conservation of an important building and a major industrial development, all of which functioned comprehensively.

In 2016, after most of the redevelopment plans failed, Staff took a number of inquiries for potential uses. At the time, the Starkhund Brewery was still planned for the eastern portion of the site and Staff took inquiries from steel storage container companies as well as a UHaul self-storage model for the middle and western lots. There was zoning issues between the I2-General Industrial and I4 – Central Industrial zones that proved those proposals unviable. Staff felt a better comprehensive development that included some retail and residential blend of land uses was more suited for the site than strictly industrial land uses especially with all of the development going on downtown and the rapid transformation of Clement Avenue.

In late 2016 and early 2017 Staff took early inquiries from PC Urban regarding potential rental housing on the site in addition to comprehensive commercial redevelopment of the site, including modest amounts of residential in the west and transitional industrial uses. The original vision has not come to fruition and the

proposed Starkhund Brewery on the easternmost lot, owned now by a separate party, is currently being marketed as a strata light industrial project. Staff have been communicating that it would be best to have an industrial and / or commercial land use that provides a transition away from the proposed residential land use. Without knowing what is proposed for the middle lot, Staff informed the applicant that we could not support a rezoning away from the current land uses unless a comprehensive plan was submitted. The applicant wanted to proceed with the zoning for the western lot while they worked on industrial transition proposals for the middle lot.

#### 4.2 Project Description

The purpose of the OCP amendment and the rezoning application is to move away from industrial land uses on the subject property and to allow for residential units mixed with commercial units. If the zoning is acceptable, the plan is to construct two purpose built mixed-use rental buildings on the southwest corner of the site fronting Clement and Richter. The western building façade faces Richter Street and the eastern building façade faces Clement Avenue. Summary of the proposal are listed below:

- The proposed FAR after City dedication is 1.16, the maximum FAR in the C4 zone varies from 1.3 to 2.35 depending on bonuses. The proposal does not qualify for any bonuses therefore the maximum FAR is 1.3.
- 231 at-grade parking spaces are proposed (176 spaces required), and 2 loading bays are provided.
- A ground level public open space plaza connects the two buildings and provides unobstructed access across the site from Clement Avenue.
- 1,784 m<sup>2</sup> of commercial ground floor units and 148 residential rental units on floors two to six.

Should Council support the OCP Amendment and Rezoning bylaws, staff will bring forward a detailed report evaluating the design guidelines for the Development Permit for Council's consideration.

#### 4.3 Site Context

The subject properties are located on the edge of an Urban Centre (City Centre) on the north side of Clement Ave. The neighbourhood has a mix of residential, industrial, and institutional uses. Specifically, the site is bounded by industrial users to the north (BC Tree Fruits, Sun Ripe, Sandhill Wines), a vacant industrial lot to the east, single family residential to the south, and a new regional RCMP station to the west. In the larger context, the site is a few blocks northeast of the downtown core, Bernard Street commercial corridor, and several large scale residential and mixed-use developments.

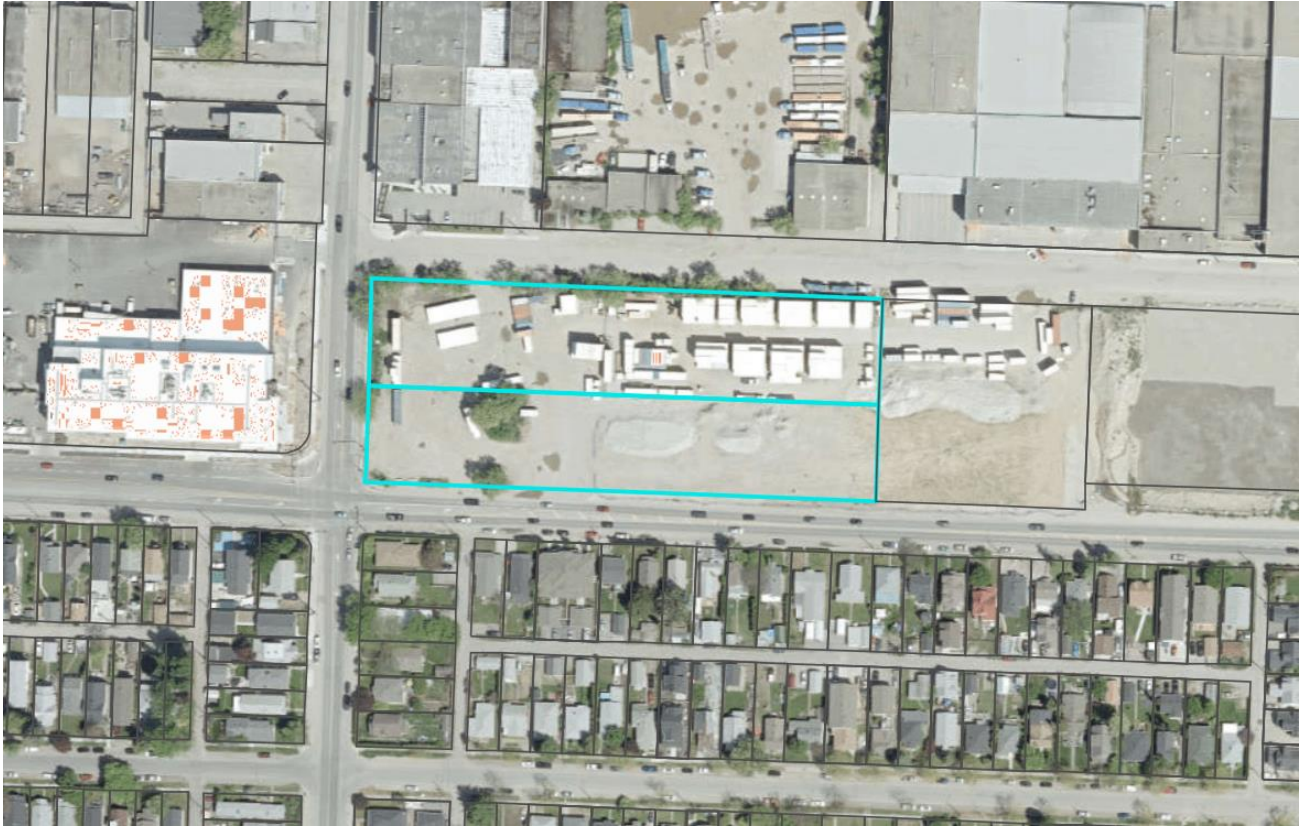
The site is connected to urban services and is located within the Permanent Growth Boundary.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	I4 – Central Industrial	Industrial
East	I4 – Central Industrial	Industrial
South	RU6 – Two Dwelling Housing & In-stream RM6 – High Rise Apartment Housing	Single family dwellings Potential 6 storey apartment building
West	P1 – Major Institutional	RCMP Building

**Subject Properties Map:** 726 Clement Ave





## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Goals for A Sustainable Future

Contain Urban Growth.<sup>2</sup> Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

#### Development Process

Complete Communities.<sup>3</sup> Support the development of complete communities with a minimum intensity of approximately 35-40 people and/or jobs per hectare to support basic transit service – a bus every 30 minutes. (approx. 114 people / hectare proposed).

Compact Urban Form.<sup>4</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

North End Industrial (High Tech and Incubator).<sup>5</sup> Encourage the redevelopment of industrially designated lands north of the Downtown Urban Centre for high-tech projects and buildings, including the potential for “incubator space” for smaller businesses.

<sup>2</sup> Goal 1. (Introduction Chapter 1).

<sup>3</sup> Policy 5.2.4 (Development Process Chapter 5).

<sup>4</sup> Policy 5.3.2 (Development Process Chapter 5).

<sup>5</sup> Policy 5.19.6 (Development Process Chapter 5).

## **Residential Land Use Policies**

Non-compatible Industrial.<sup>6</sup> Restrict the encroachment of residential uses in areas adjacent to non-compatible industrial sites

Neighbourhood Impact.<sup>7</sup> When considering an OCP Amendment, the City will seek information with respect to the impact on land values related to the likelihood that other properties in the immediate neighbourhood will remain or develop as indicated in the OCP.

Embracing Diversity.<sup>8</sup> Increase understanding of various forms of housing needs and styles toward increasing acceptance of housing meeting the needs of diverse populations by encouraging applicants to undertake early and on-going consultation relating to their project, including provision of support material where appropriate.

Housing Mix.<sup>9</sup> Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

Ground-Oriented Housing.<sup>10</sup> Encourage all multiple-unit residential buildings in neighbourhoods with schools and parks to contain ground-oriented units with 2 or more bedrooms so as to provide a family housing choice within the multi-unit rental or ownership markets. High density residential projects in the Downtown area are encouraged to include a ground-oriented housing component, especially where such can be provided on non-arterial and non-collector streets.

Objective 5.9. Support the creation of affordable and safe rental, non-market and/or special needs housing.

## **Industrial Land Use Policies**

Objective 5.28. Focus industrial development to areas suitable for industrial use.

Objective 5.29. Ensure efficient use of industrial land supply.

Industrial Land Use Intensification.<sup>11</sup> Encourage more intensive industrial use of currently under-utilized industrial sites during site redevelopment or by permitting lot subdivision where new lots can meet the minimum lot size requirements of the Zoning Bylaw.

Secondary Housing in Light Industrial Areas.<sup>12</sup> Consider the limited expansion of housing as a secondary use within industrial buildings in light or transitional industrial areas.

Objective 5.30. Ensure adequate industrial land supply.

Industrial Supply Protection. Protect existing industrial lands from conversion to other land uses by not supporting the rezoning of industrial land to preclude industrial activities unless there are environmental reasons for encouraging a change of use

---

<sup>6</sup> Policy 5.22.4 (Development Process Chapter 5).

<sup>7</sup> Policy 5.22.9 (Development Process Chapter 5).

<sup>8</sup> Policy 5.22.8 (Development Process Chapter 5).

<sup>9</sup> Policy 5.22.11 (Development Process Chapter 5).

<sup>10</sup> Policy 5.23.1 (Development Process Chapter 5).

<sup>11</sup> Policy 5.29.1 (Development Process Chapter 5).

<sup>12</sup> Policy 5.29.2 (Development Process Chapter 5).

## **6.0 Technical Comments**

### **6.1 Building & Permitting Department**

- Full plan check for Building Code related issues will be done at time of Building Permit applications.

### **6.2 Development Engineering Department**

- See Attachment 'A', memorandum dated October 31, 2017.

### **6.3 Fire Department**

- No comments related to zoning.

## **7.0 Application Chronology**

Date of Application Received: September 27, 2017

Date Public Consultation Completed: January 23, 2018

**Report prepared by:**

Adam Cseke, Planner Specialist

**Reviewed by:**

Terry Barton, Urban Planning Manager

**Reviewed by:**

Ryan Smith, Community Planning Department Manager

**Approved for Inclusion:**

Doug Gilchrist, Divisional Director Community Planning & Strategic Investments

### **Attachments:**

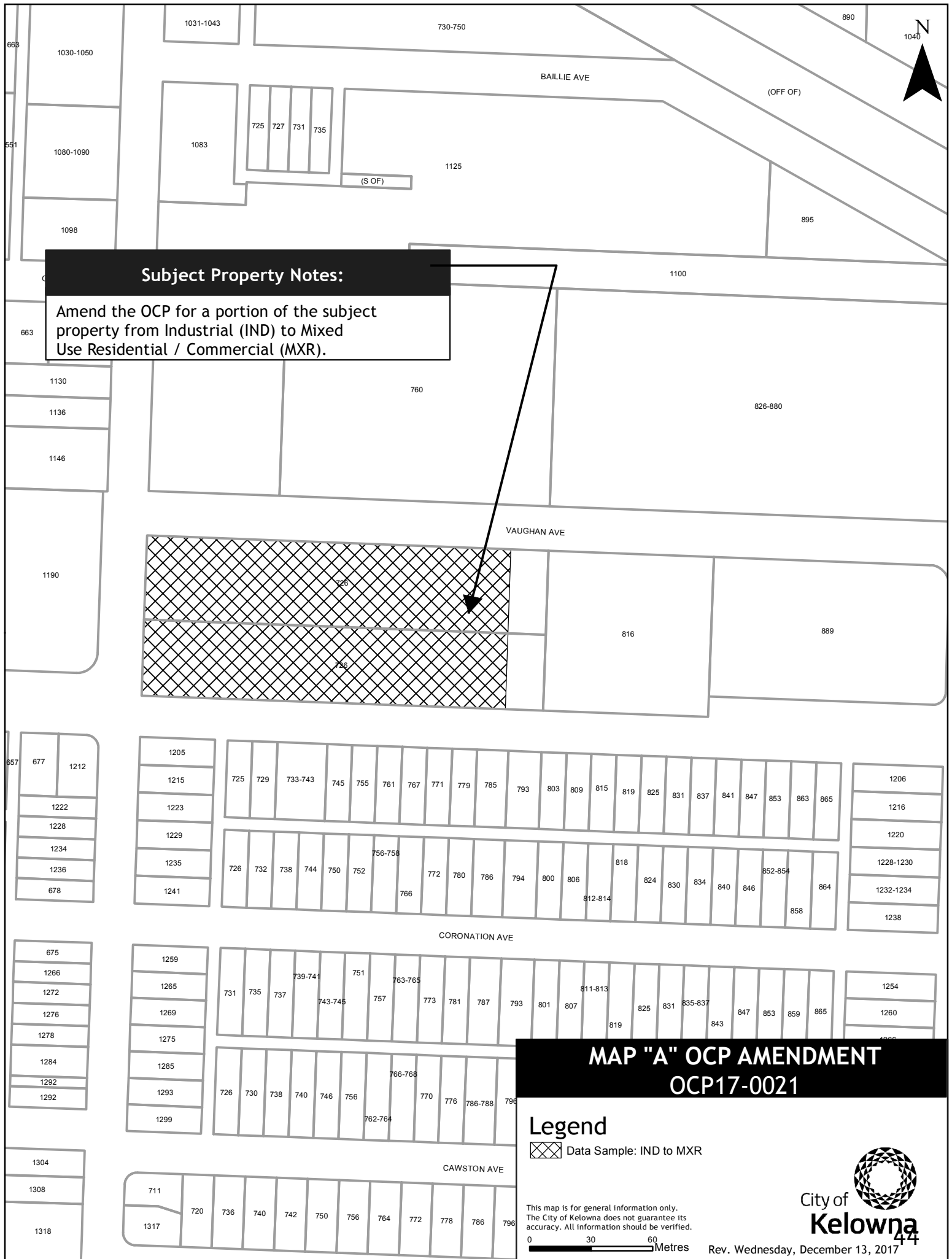
MAP 'A' OCP Amendment

MAP 'B' Rezoning

Attachment 'A' – Development Engineering Memorandum dated November 21, 2017

Attachment 'B' – Rental Housing Summary Graphs

Schedule 'A & B' – Site Plan and Conceptual Renderings



N



GASTON AVE

RICHTER ST

**Subject Property Notes:**

Rezone a portion of the subject property from I4 - Central Industrial to C4 Urban Centre Commercial

I4

VAUGHAN AVE

P1

I2

CLEMENT AVE

RM4

RU6

**Subject Property Notes:**



Rezone a portion of the subject property from I2 - General Industrial to C4 Urban Centre Commercial

CORONATION AVE

RU2

**MAP "B" PROPOSED ZONING**  
File Z17-0093

**Legend**

-  I2 to C4
-  I4 to C4

This map is for general information only.  
The City of Kelowna does not guarantee its  
accuracy. All information should be verified.

0 20 40 Metres

Rev. Monday, April 02, 2018





CITY OF KELOWNA

Planner  
Initials

AC

**MEMORANDUM**

**Date:** October 31, 2017  
**File No.:** Z17-0093

**To:** Community Planning (AC)

**From:** Development Engineering Manager (JK)

**Subject:** 726 Clement Ave (REVISED) I4 to C4

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Jason Angus.

**.1) General**

- a) Where there is a possibility of a high water table or surcharging of storm drains during major storm events, non-basement buildings may be required. This must be determined by the engineer and detailed on the Lot Grading Plan required in the drainage section.
- b) Provide easements as may be required.
- c) The proposed Development triggers a traffic impact assessment. The applicant's transportation engineer shall contact the City's Transportation & Mobility group who will determine the terms of reference for the study. Recommendations from the Traffic Impact Analysis (TIA) will become requirements of rezoning.

**.2) Road Dedication and Subdivision Requirements**

- a) On the Clement Ave frontage, provide a 10m dedication for a roadway allowance totalling 30m road right of way.
- b) Provide corner rounding or truncation dedication of 10m radius at Clement Ave and Richter Street.
- c) Lot consolidation.
- d) Access to the development should be via Vaughan Ave and the proposed lane.
- e) All access points should be designed to the SS-C7 standard with a continuous sidewalk at property line.



**.3) Geotechnical Study.**

- (a) Provide a geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed subdivision. The Geotechnical reports must be submitted to the Development Services Department for distribution to the Development Engineering Branch and Inspection Services Division prior to submission of Engineering drawings or application for subdivision approval:

- i. Area ground water characteristics, including any springs and overland surface drainage courses traversing the property. Identify any monitoring required.
- ii. Site suitability for development.
- iii. Site soil characteristics (i.e. fill areas, sulphate content, unsuitable soils such as organic material, etc.).
- iv. Any special requirements for construction of roads, utilities and building structures.
- v. Recommendations for items that should be included in a Restrictive Covenant.
- vi. Recommendations for roof drains, perimeter drains and septic tank effluent on the site.
- vii. Any items required in other sections of this document.

Additional geotechnical survey may be necessary for building foundations, etc

**.4) Water**

- a) The properties are located within the City of Kelowna service area. The existing lots are serviced with small -diameter water services (6). Only one service will be permitted to the site or per property. The applicant, at his cost, will arrange for the removal of all existing services and the installation of one new larger metered water service.
- b) The developer's consulting engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs. The bylaw requirement for commercial zoning is 150l/s and is available at the site. If it is determined that upgrades to any other existing water distribution system must be made to achieve the required fire flows, additional bonding will be required.
- c) An approved backflow protection device must also be installed on site as required by the City Plumbing Regulation and Water Regulation bylaws.
- d) A water meter is mandatory for this development and must be installed inside a building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or



building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost

#### **.5) Sanitary Sewer**

- a) The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services (5) and the installation of one new larger service.
- b) A flow analysis check is required by the developer's civil engineering consultant to determine if there are any down stream impacts to the sewer system triggered by this development.

#### **.6) Drainage**

- a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems.
- b) It will be necessary for the developer to construct storm drainage facilities on Clement Ave, Vaughan Ave, and Richter Street to accommodate road drainage fronting the proposed development.
- c) Provide a detailed Stormwater Management Plan for this development as per the Subdivision, Development and Servicing Bylaw #7900.
- d) There is a possibility of a high water table or surcharging of storm drains during major storm events. This should be considered in the design of the onsite system.

#### **.7) Roads**

- a) Clement Ave is designated an urban arterial road. Frontage improvements required include curb and gutter, separate sidewalk, piped storm drainage system, road works, landscaped boulevard complete with underground irrigation system, street lights, treed middle median and left turn bays. A modified SS-R9 cross section will be used and provided at the time of design.
- b) Richter Street is designated an urban collector road. Frontage improvements required include curb and gutter, separate sidewalk, piped storm drainage system, road works, left turn bays, landscaped boulevard complete with underground irrigation system, and street lights, traffic signal upgrades and re-location or adjustment of existing utility appurtenances if required to accommodate the upgrading. A modified SS-R6 cross section will be used and provided at the time of design.
- c) Vaughan Ave is designated an urban local road. Frontage improvements required include Curb and Gutter, separate sidewalk, piped storm drainage system, landscaped boulevard complete with underground





irrigation system, curb extensions at the intersections and access points, and street lights. Parallel parking only is permitted on Vaughan Ave. A modified SS-R5 cross section will be used and provided at the time of design.

- d) Proposed lane from the development will be restricted to a right in and right out at the intersection of the lane and Clement Ave.
- e) Provide a Street Sign, Markings and Traffic Control Devices design drawing for review and costing.
- f) Landscaped boulevards, complete with underground irrigation design drawing as per bylaw, is required on Clement Ave, Vaughan Ave & Richter Street.

#### **.9) Power and Telecommunication Services and Street Lights**

- a) All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground as the subject properties are within the "City Center Urban Center".
- b) Streetlights must be installed on all roads.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- d) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

#### **.10) Design and Construction**

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.



**.11) Other Engineering Comments**

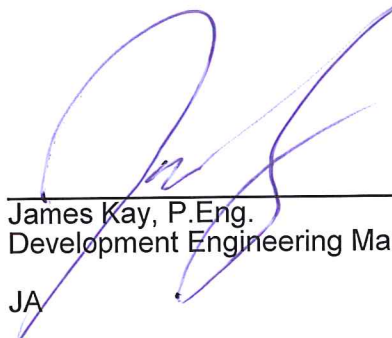
- a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands, and for public access to Vaughan Ave via the proposed lane.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

**.12) Servicing Agreements for Works and Services**

- b) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- c) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

**.13) Charges and Fees**

- a) Development Cost Charges (DCC's) are payable
- b) Fees per the "Development Application Fees Bylaw" include:
  - i) Street/Traffic Sign Fees: at cost if required (to be determined after design).
  - ii) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
  - iii) Engineering and Inspection Fee: 3.5% of construction value (plus GST).
- c) A hydrant levy charge of **\$250.00** (\$250.00 per new lot)

  
James Kay, P.Eng.  
Development Engineering Manager

JA

**ATTACHMENT A**

This forms part of application

# OCP17-0021 & Z17-0093

Planner  
Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING



**City of Kelowna Recent Rental Housing Summary**

Name	Address	Student Bedroom	Micro	Studio	1 Bedroom	2 Bedroom	3 Bedroom	Total # of Units	Type	Status	Date
Karis Support Society	550 Rowcliffe	0	0	0	20	8	2	30	Social Housing	Occupied	Occupied Aug 2015
Homer Rd Townhomes	305 Homer Rd	0	0	0	0	0	9	9	Market Housing	Occupied	Occupied April 2017
Friendship Housing (Central Green)	1745 Chapman Pl	0	0	8	38	32	8	86	Social Housing	Occupied	Occupied Oct 2016
Apple Valley Bldg 2	2065 Benvoulin Ct	0	0	0	64	14	0	78	Senior Non-Market Housing	Occupied	Occupied Dec 2016
Apple Valley Bldg 3	2075 Benvoulin Ct	0	0	0	33	14	0	47	Senior Non-Market Housing	BP - Under Construction	Occupancy Approx. Spring 2018
Central Green Bldg B	1740 Richter St	0	15	0	85	8	0	108	Market Housing	BP - Under Construction	BP Issued Nov 2017
Central Green Bldg F	1730 Richter St	0	20	5	35	20	0	80	Market Housing	BP - Under Construction	BP Issued Nov 2017
Mission Flats	1459 - 1469 KLO Rd	0	0	0	95	165	20	280	Market Housing	BP - Under Construction	BP Issued May 2017
Regency KLO	1360 KLO	0	0	4	111	39	0	154	Seniors Market Housing - Independent Living	DP Approved	No BP
The Flats	1525 Dickson Ave	0	44	10	19	17	0	90	Market Housing	Occupied	Occupied Jan 2017
The Flats 2	1545 Bedford Ave	0	24	0	43	0	0	67	Market Housing	Occupied	Occupied Dec 2017
Mission Group Rentals	1920 Enterprise	0	19	0	17	51	0	87	Market Housing	BP - Under Construction	BP Issued Sept 2017
Train Rentals	720 Valley Rd	0	0	12	55	91	8	166	Market Housing	BP - Under Construction	BP Issued Sept 2017
Conservatory Rentals	775 Glenmore Rd	0	0	0	35	48	4	87	Market Housing	BP - Under Construction	BP Issued June 2017
The Artium	125 Dundas	97	0	0	0	0	0	97	Market Housing - Student Housing	Occupied	Occupied Nov 2017
Society of Hope	165 Celano Cr	0	0	0	0	5	16	21	Non-Market Housing	DP Approved	No BP, DP Approved Jan 2018
Viking 4-plex	2150-2166 Richter St	0	0	0	0	8	0	8	Market Housing	BP - Under Construction	BP Issued Feb 2018
4-Plex	1432 McInnes Ave	0	0	0	0	4	0	4	Market Housing	Occupied	Occupied Nov 2016
The Garden House	205 Hwy 33 E	0	2	0	3	5	1	11	Market Housing	BP - Under Construction	BP Issued Oct 2017
BroadStreet	1975 Kane Rd	0	0	0	17	78	16	111	Market Housing	Occupied	Occupied Dec 2017
U3a	805 Academy Way	0	0	0	8	55	0	63	Market Housing	Occupied	Occupied Aug 2017
U5a	755 Academy Way	0	8	0	14	86	0	108	Market Housing	BP - Under Construction	BP Issued March 2017
Veda 1	840-842 Academy Way	0	251	0	0	0	0	251	Market Housing	Occupied	Occupied May 2017
Veda 2	800-802 Academy Way	0	316	0	0	0	0	316	Market Housing	BP - Under Construction	BP Issued Oct 2016
OMAHS	150 Kneller	0	0	9	52	17	0	78	Non-Market Housing	BP - Under Construction	BP Issued April 2018
Nickel Townhouses	200 Nickel Rd	0	0	0	0	9	10	19	Market Housing	DP Rejected by Council	No BP
Freedom's Door	130 McCurdy	0	49	0	0	0	0	49	Non-Market Housing	Zoning Approved, DP not approved yet	No BP
Worman Townhouses	2127 Ethel St	0	24	0	0	0	0	24	Market Housing	Occupied	Occupied May 2016
The Shore	650 Swordy Ave	0	0	4	56	43	0	103	Market Housing	BP - Under Construction	BP Issued Nov 2017
PC Urban	726 Clement Ave	0	0	0	60	87	1	148	Market Housing	Zoning submitted, no DP	No BP
Anagram	573-603 Clement Ave	0	0	0	2	45	11	58	Market Housing	Zoning Approved, no DP	No BP
Pacific Apartments	1155 Pacific Ave	0	0	5	3	6	0	14	Market Housing	Zoning Approved, no DP	No BP
Anagram Pacific	1145 Pacific Ave	0	0	0	6	19	5	30	Market Housing	Zoning submitted, no DP	No BP
BC Housing Shelter	1642 Commerce Ave	0	55	0	0	0	0	55	Non-Market Housing	DP not approved	No BP
Totals:		97	827	57	871	974	111	2937			

DP= Development Permit  
BP= Building Permit

ATTACHMENT

B

This forms part of application  
# OCP17-0021 & Z17-0093

Planner Initials

AC

City of Kelowna

COMMUNITY PLANNING

**Non-Market Rental Housing**

	Student Bedroom	Micro	Studio	1 bedroom	2 bedroom	3 Bedroom	Total # of Units
Occupied	0	0	8	122	54	10	194
Under Construction	0	0	9	85	31	0	125
Approved but no BP	0	0	0	0	5	16	21
In Approval Process	0	104	0	0	0	0	104
<b>Total</b>	0	49	17	207	90	26	444

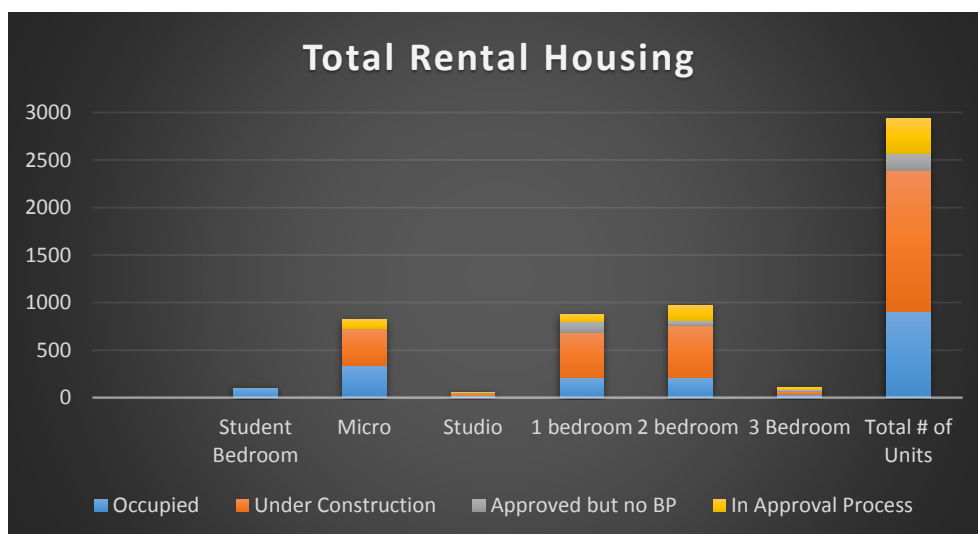
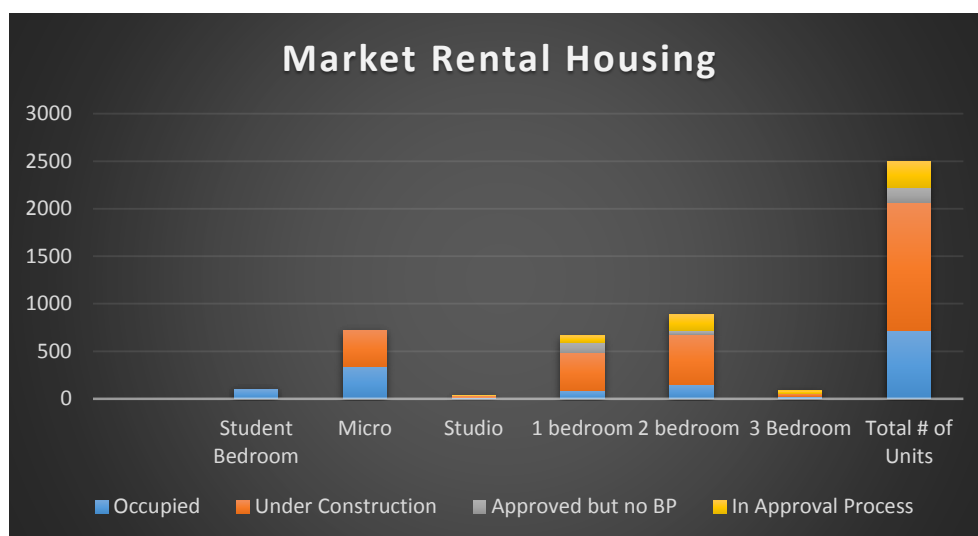
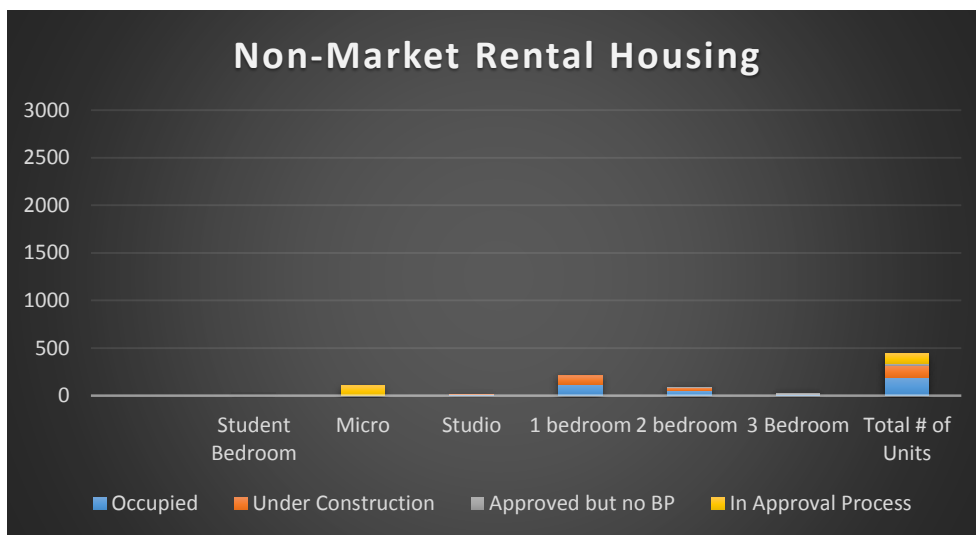
**Market Rental Housing**

	Student Bedroom	Micro	Studio	1 bedroom	2 bedroom	3 Bedroom	Total # of Units
Occupied	97	343	10	87	154	25	716
Under Construction	0	380	21	395	525	33	1354
Approved but no BP	0	0	4	111	39	0	154
In Approval Process	0	0	5	71	166	27	269
<b>Total</b>	97	723	40	664	884	85	2493

**Total Rental Housing**

	Student Bedroom	Micro	Studio	1 bedroom	2 bedroom	3 Bedroom	Total # of Units
Occupied	97	343	18	209	208	35	910
Under Construction	0	380	30	480	556	33	1479
Approved but no BP	0	0	4	111	44	16	175
In Approval Process	0	104	5	71	166	27	373
<b>Total</b>	97	827	57	871	974	111	2937

<b>ATTACHMENT B</b>	
This forms part of application # OCP17-0021 & Z17-0093	
Planner Initials	AC
 City of Kelowna COMMUNITY PLANNING	





March 2, 2018

City of Kelowna  
1435 Water Street  
Kelowna, BC V1Y 1J4

<b>SCHEDULE A &amp; B</b>	
This forms part of application # OCP17-0021 & Z17-0093	
Planner Initials	AC
 <b>City of Kelowna</b> COMMUNITY PLANNING	

**Attn: Adam Cseke**

**Re: Submission of Revised Development Proposal Drawings for 726 Clement Ave., Kelowna**

Dear Mr. Cseke,

Further to your email on November 2, 2017, please find below list of revisions made to Development Proposal for 726 Clement Avenue (the "Site"). Revised drawings have been submitted to you on March 2, 2018 via email.

- 1) In order to permit an access onto Clement, we are hoping you will agree to register a statutory RoW to allow public access through your site to Vaughan.

**Response:** Yes, we agree to provide a right of way through the site.

- 2) Vaughan is to have parallel parking only (no angled parking).

**Response:** Drawings are revised to show parallel parking on Vaughan Avenue. Please see revised civil set page 9 and architectural A-002.

- 3) We are concerned with the stormwater implications with the large amounts of impervious surfaces. Can you provide some level of detail how you plan on mitigating the stormwater impact?

**Response:** We are including stormwater tank design in our civil set. Please see Servicing Plans on page 10 and 11. Further detail of the design will be provided at the building permit phase.

- 4) A major concern remains the amount of surface parking. We do not have any recent urban mixed used (commercial / residential) developments that have not provided structured parking of some kind. You are also over your parking count by approximately 15%. This is seen as a negative when providing surface parking as it increases the amount of impervious surfaces. Can you provide parking down to the bylaw minimum and create a green space?

**Response:** We have reduced parking stalls by 16% from 231 to 194 as well as converted several stalls into landscaping islands. Amount of landscaping and trees along Vaughan Avenue has been increased as well.

- 5) Further, can you add more bicycle spaces for the commercial tenants as well as washroom / change room facility with lockers. This will encourage the commercial employees to bike to and from work?

**Response:** We have added end of trip facilities to both buildings including lockers, bike storages, and a washroom. Number of Class 1 bicycle parking also increased by 17 stalls.

- 6) The height of the buildings is a concern relative to the proposed design. In order to support a height variance to 6 stories we do not want to see buildings without significant setbacks after the first couple of floors and/or setbacks at the upper floors. Further, it will be difficult to support the increase in height from 4 storeys to 6 when no structured parking is provided.

**Response:** We have setback the façade ranging from 1895mm to 2555mm on second floor and higher in both buildings.

- 7) Can you please confirm the proposal for the area on the east side of the lane. We would prefer to consider this project comprehensively. Otherwise, will it be ok if we only did the rezoning / OCP amendment for the west side of the lane?

**Response:** We will submit rezoning of the east parcel as a comprehensive development at a later date.

We can expand further or answer any questions that have not been addressed in the revision. We look forward to moving through the process with you and will provide quick turnaround time to expedite the process.

Respectfully submitted,  
PC URBAN CLEMENT HOLDINGS LTD.



Robert Spencer  
Sr. Development Manager

<b>SCHEDULE</b>		<b>A &amp; B</b>
This forms part of application # <u>OCP17-0021 &amp; Z17-0093</u>		
Planner Initials	AC	 City of <b>Kelowna</b> COMMUNITY PLANNING



CLEMENT AVE MIXED USE DEVELOPMENT/  
PACKING DISTRICT

SCHEDULE

A & B

This forms part of application

# OCP17-0021 & Z17-0093

Planner

Initials

AC

City of Kelowna

COMMUNITY PLANNING

Date  
Sep/20/2017  
Feb/23/2018

Issue / Revisions  
Development Permit Application  
Revised Development  
Permit Application



P3: Existing site bird's eye view looking from southwest



P3: Existing site bird's eye view looking from southeast



P1: Existing Site view from corner of Clement Ave and Richter St



P2: Existing Site view from Clement Ave looking west



P3: Existing Site view from corner of Vaughan Ave and Richter St



P4: Existing Site view from corner of Vaughan Ave and Richter St looking northeast



P5: Existing Site view from Vaughan Ave looking west



V1: Proposed B1 & B2 view from corner of Clement Ave and Richter St



V2: Proposed B2 view from southwest corner



V3: Proposed Open Space Area

Project Data:

Project Address: 726 Clement Ave,  
Kelowna , BC

Legal Description:

BLOCK 29 SECTION 30 TOWNSHIP 26 ODDY  
PLAN 202 EXCEPT PLANS 5011 AND KAP55948;  
LOT A SECTION 30 TOWNSHIP 26 ODDY'S PLAN KAP55948  
LOT 1 AND LOT 2 SECTION 30 TOWNSHIP 26 ODDY'S  
DIVISION YALE DISTRICT PLAN EPP34493

Project Team:

Developed by: PC Urban Properties Corp.

880 - 1090 W. Georgia St. Vancouver, BC  
t: (604) 408 5687

Architecture: NSDA Architects

201- 134 Abbott St. Vancouver, BC  
t: (604) 669 1926

Landscape: Connect Lanscape Architecture

2305 Hemlock St. Vancouver, BC  
t: (604) 681 3303

Civil: True Consulting

203- 570 Raymer Ave. Kelowna, BC  
t: (250) 861 8783  
c: (250) 470 2418

Survey: Vector Geometric Land Surveying

170-1855 Kitchner Rd. Kelowna BC  
t: (250) 868 0172

Drawings List

A001.....	Cover Sheet
.....	Survey Plan
A002.....	Site Plan
A003.....	Roof Plan
A005.....	Site Plan (Parking Level 1, B3)
A006.....	Roof Plan(Parking Level2, B3)
A101.....	Floor Plans B1
A102.....	Floor Plans B2
A301.....	Elevations B1
A302.....	Elevations B2
L1.0 to L3.0.....	Landscape
1 to 13.....	Civil

PCurban  
property re-imagined™

NSDA  
ARCHITECTS

201-134 Abbott St  
Vancouver BC  
Canada V6B 2K4  
T 604.669.1926  
F 604.683.2241  
info@nsda.bc.ca  
www.nsda.bc.ca

Copyright Reserved. This plan and design is and at all times remains  
the exclusive property of NSDA Architects and cannot be used  
without the architects' written consent.

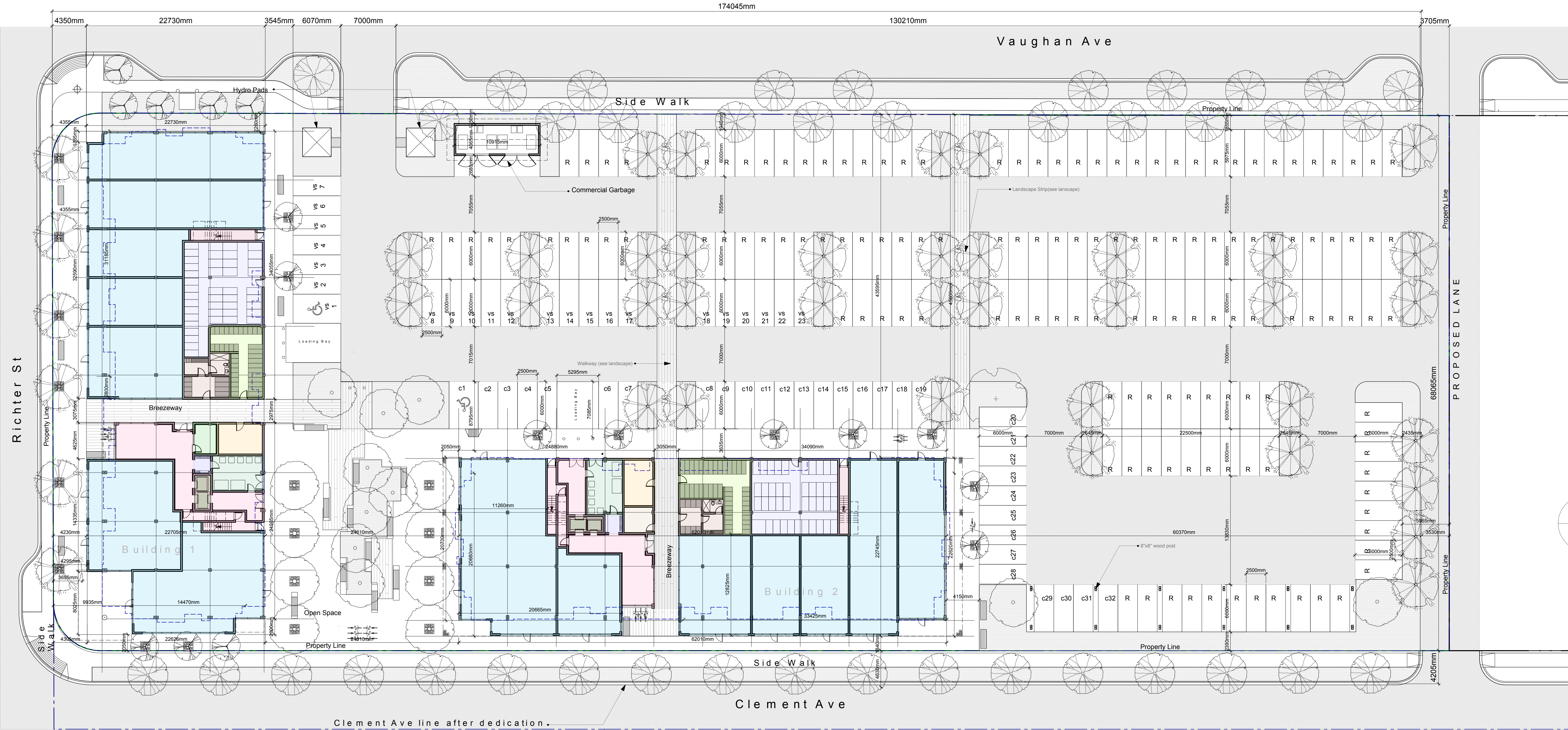
Project  
Clement Ave Mixed Use  
Development

Sheet Title  
Cover Sheet

Project Number  
16049  
Scale  
N.T.S  
Sheet Number

A-001





Consultants

Date  
Sep/20/2017  
Feb/23/2018

Issue / Revisions  
Development Permit Application  
Revised Development  
Permit Application

Seal

PCurban  
property re-imagined™

NSDA  
ARCHITECTS

201-134 Abbott St  
Vancouver BC  
Canada V6B 2K4  
T 604.669.1926  
F 604.683.2241  
info@nsda.bc.ca  
www.nsda.bc.ca

Copyright Reserved. This plan and design is and at all times remains  
the exclusive property of NSDA Architects and cannot be used  
without the architect's written consent.

Project  
Clement Ave Mixed Use  
Development

Sheet Title  
Site Plan/Statistics

Project Number  
16049  
Scale  
1/250  
Sheet Number  
A-002

Site Statistics			Parking	Required No. of Parking	Proposed Parking Area
Project Address: 726 Clement Ave Kelowna, B.C.					
Lot area before dedication: 13,900.33 S.M.[149,622 S.F.1]			Building 1 Residential	71 Stalls	
Lot area after dedication: 12,106.32 S.M.[130,307 S.F.]			Building 1 Commercial	1.75 x 894/100 = 16	
Allowable FSR: 1.3			Building 2 Residential	77 Stalls	
Proposed FSR based on lot area after dedication: 1.19			Building 2 Commercial	1.75 x 893.9/100 = 16	
			Total No. of Req. parking B1&2	180 Stalls Incl. 22 visitor	Total provided parking : 194 stalls
Residential Units	Building 1	Building 2	Required Landscape open space on parking	180 x 2 ( 2 s.m. per stall)=360s.m.[3,875 s.f.]	
1 Bedroom	23 Units	37 Units	Provided Landscape open space on parking	1,259 s.m.[13,557 s.f.]	
2 Bedroom	40 Units	40 Units	Required Loading	1 per 1900 S.M. of commercial=1	2
3 Bedroom	1	0	Bicycle Parking	Class 1(Req/Proposed)	Class 2(Req/Proposed)
Total	71 Units	77 Units	Building 1 Residential	Required / Provided	Required / Provided
Ground Floor Area	1,300.45 s.m.[13,998 s.f.]+Breezway:58.8 s.m.[633s.f.]	1,287 s.m.[13,853 s.f.]+Breezway:60.2 s.m.[649s.f.]	Building 1 Commercial	0.5 x 71 = 36/37	0.1 x 71= 8 / 8
Commercial Space	894 s.m.[9,624s.f.]	889.7 s.m.[9,577 s.f.]	Building 1 Residential	0.2 x 768.5/100 = 2 /8	0.6 x 893/100 = 5 / 5
Res.Indoor Amenities on F2	114.45s.m.[1232 s.f.]	100.33 s.m.[1080 s.f.]	Total	38/45	13/13
Floor Area F.2	1,194 s.m.[12,852 s.f.]	1,194.7 s.m.[12,860 s.f.]	Building 2 Residential	0.5 x 77 = 39/43	0.1 x 77 = 8 / 8
Floor Area F.3-5	1,202.44 s.m.[12,943 s.f.] x 3	1,205.8 s.m.[12,980 s.f.] x 3	Building 2 Commercial	0.2 x 768.22/100 = 2/8	0.6 x 768.22/100 = 5 / 5
Floor Area F.6	1,114.8 s.m.[12,000 s.f.]	1,181 s.m.[12,713 s.f.]	Total	41/51	13/13
Total Residential Area	5,916.1 s.m. [63,681 s.f.]	5,968.37 s.m. [64,243 s.f.]			
Total Residential Area B1 + B2	11,884.5 s.m.[127,924 sf.]				
Total Area B1+B2	14,472 s.m.[155,775 sf.]				
Private Open Space Area	Building 1	Building 2			
Required	23(1BDR)x10+47(2BDR)x15=935 s.m.[10,064 s.f.]	37(1BDR)x10+40(2&3BDR)x15=970 s.m.[10,441 s.f.]			
Provided 2nd Floor Deck	2nd F.Deck :200.3 s.m.[2,157 s.f.]	2nd F.Deck :271.2 s.m.[2,920 s.f.]			
Provided Deck on Floor 3,4 & 5	118 s.m.[1,271 s.f.] x 3 = 354 [3,813 s.f.]	1113 s.m.[1,217 s.f.] x 3 = 339 s.m.[3,651 s.f.]			
Floor 6	Decks:201.4 s.m. [2,168 s.f.]	Decks:113.8 s.m.[1,225 s.f.]			
Open Space between B1 & B2 : 698s.m.[7514 s.f.]	Building 1 share: 698/2= 349s.m.[3,754 s.f.]	Building 2 share: 698/2= 349s.m.[3,754 s.f.]			
Total provided open space	1,104.8 s.m.[11,892 s.f.]	1,073 s.m.[11,550 s.f.]			

Parking Legend:

R: Residential full size parking

VS : Residential full size visitor parking

C: Commercial full size parking





SCHEDULE

A & B

This forms part of application

# OCP17-0021 & Z17-0093

Planner

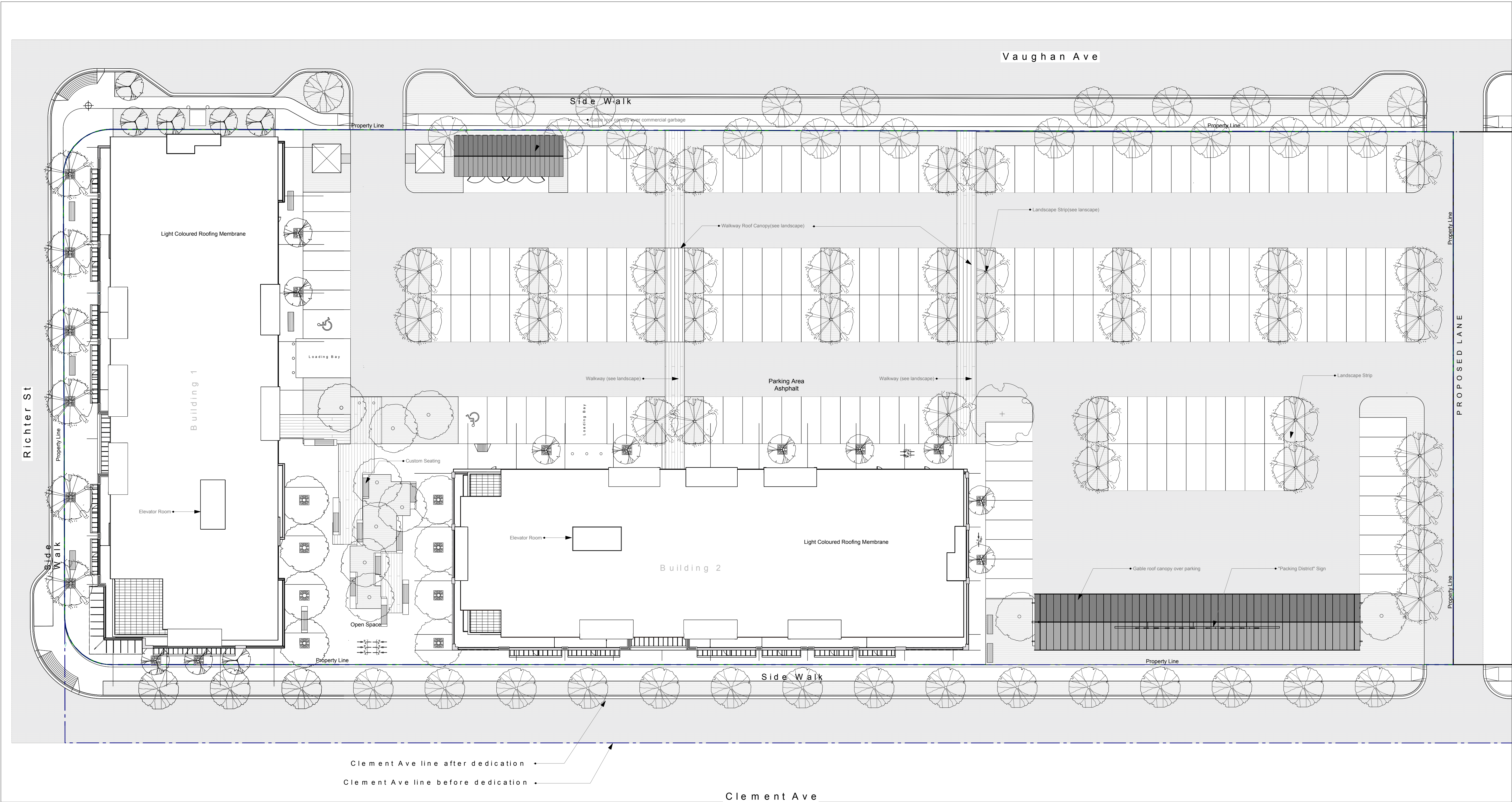
Initials

AC

City of Kelowna

COMMUNITY PLANNING

Date	Issue / Revisions
Sep/20/2017	Development Permit Application
Feb/23/2018	Revised Development Permit Application



Seal

pcurban  
property re-imagined™

NSDA  
ARCHITECTS

201-134 Abbott St  
Vancouver, BC  
Canada V6B 2K4  
T 604.669.1926  
F 604.683.2241  
info@nsda.bc.ca  
www.nsda.bc.ca

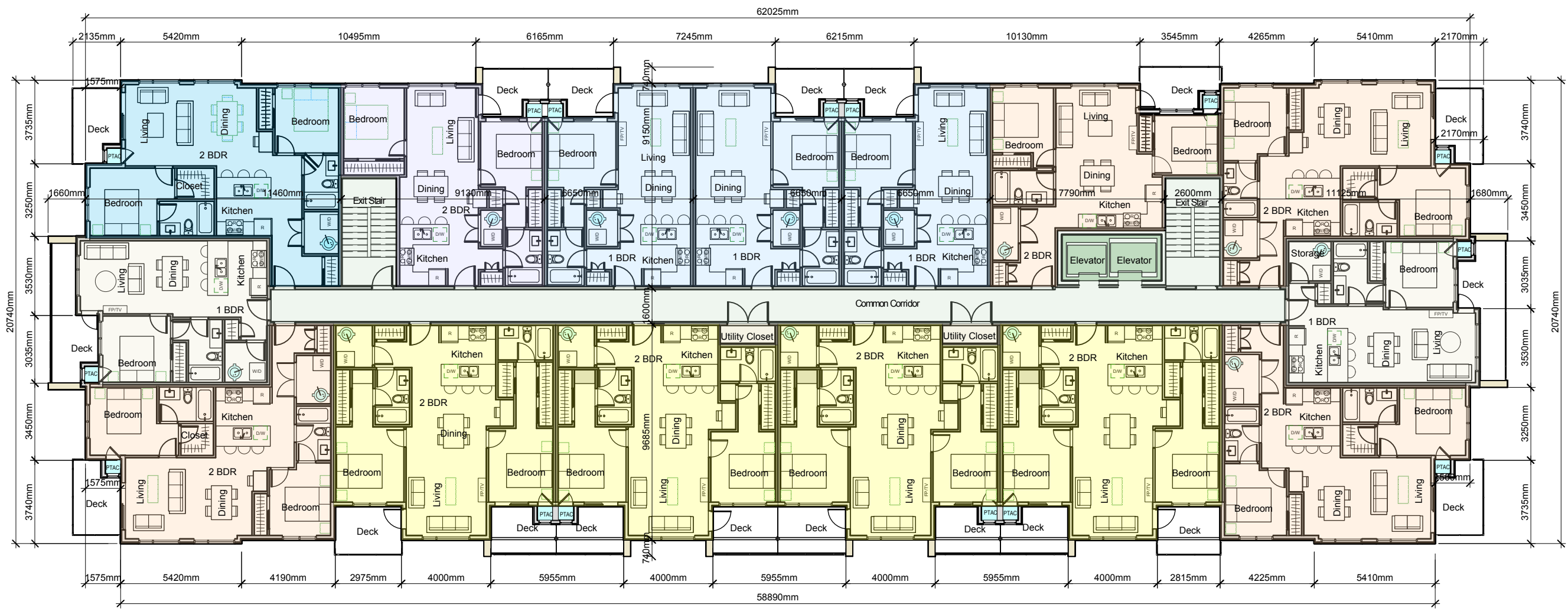
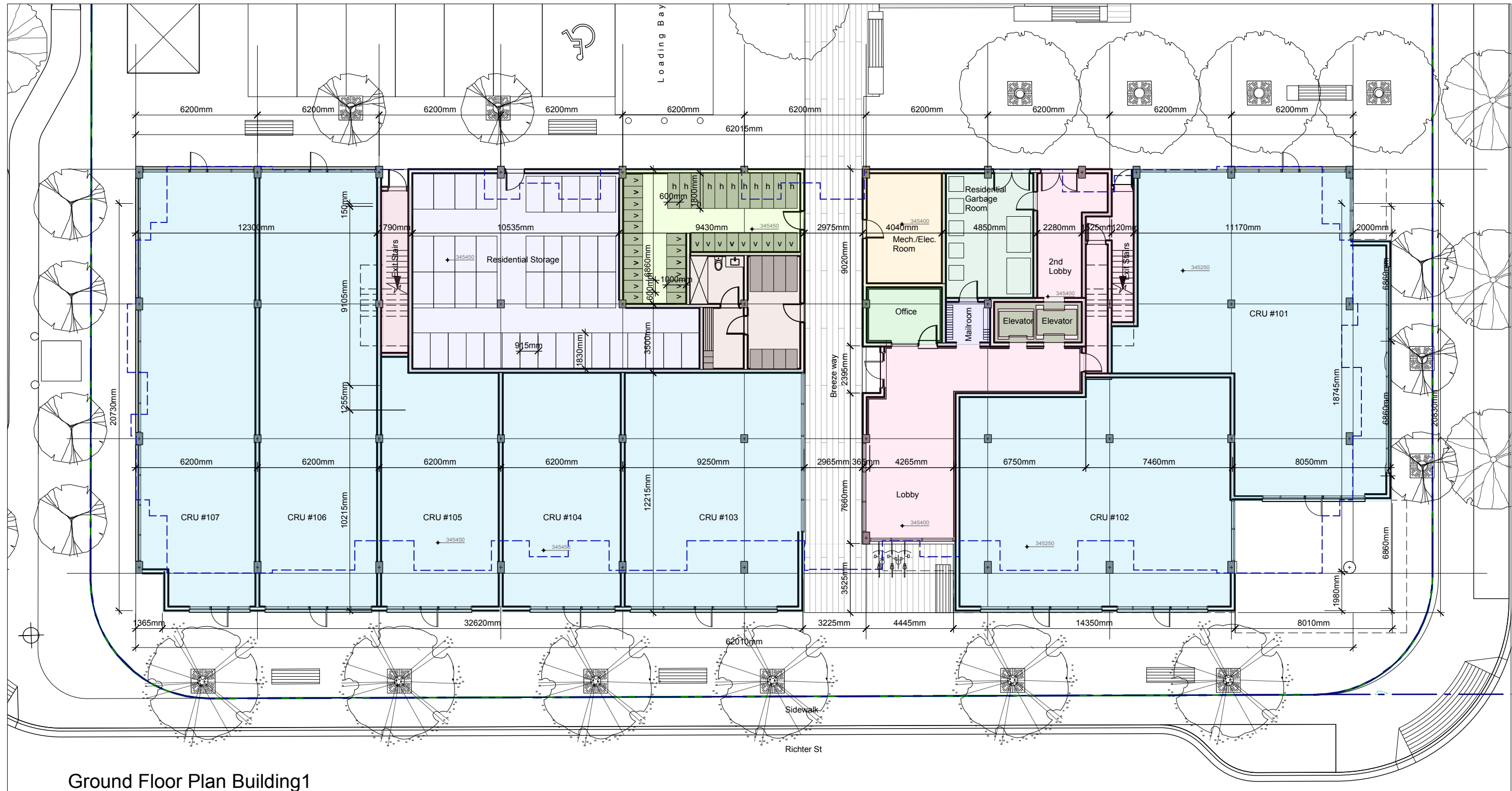
Copyright Reserved. This plan and design is and at all times remains the exclusive property of NSDA Architects and cannot be used without the architect's written consent.

Project  
Clement Ave Mixed Use  
Development

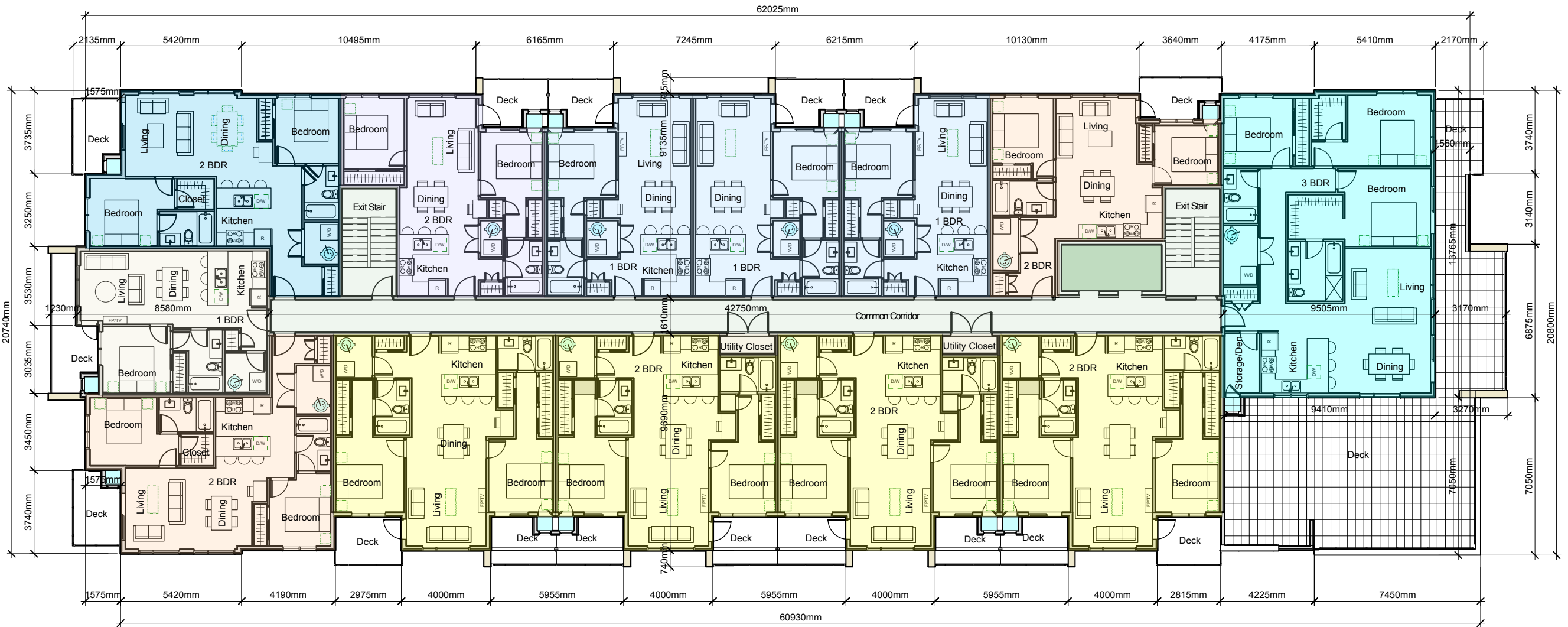
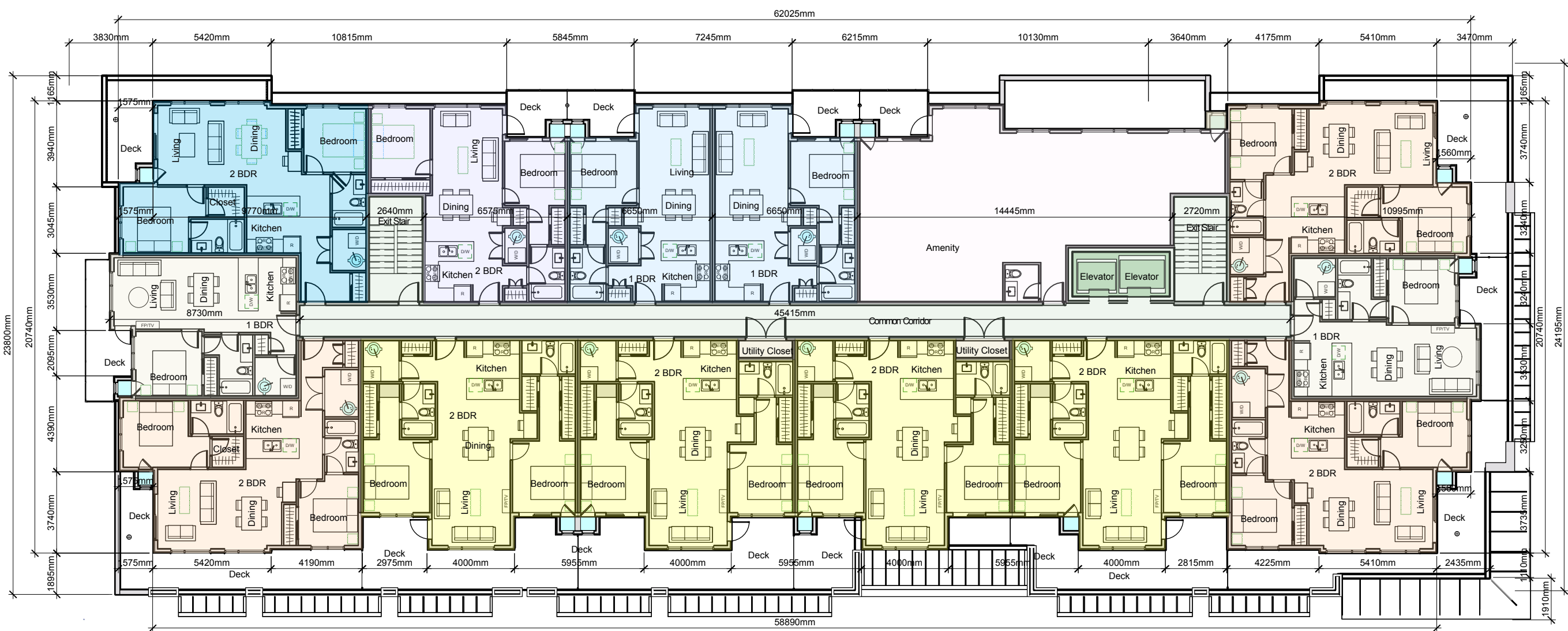
Sheet Title  
Roof Plan

Project Number  
16049  
Scale  
1/250  
Sheet Number  
A-003

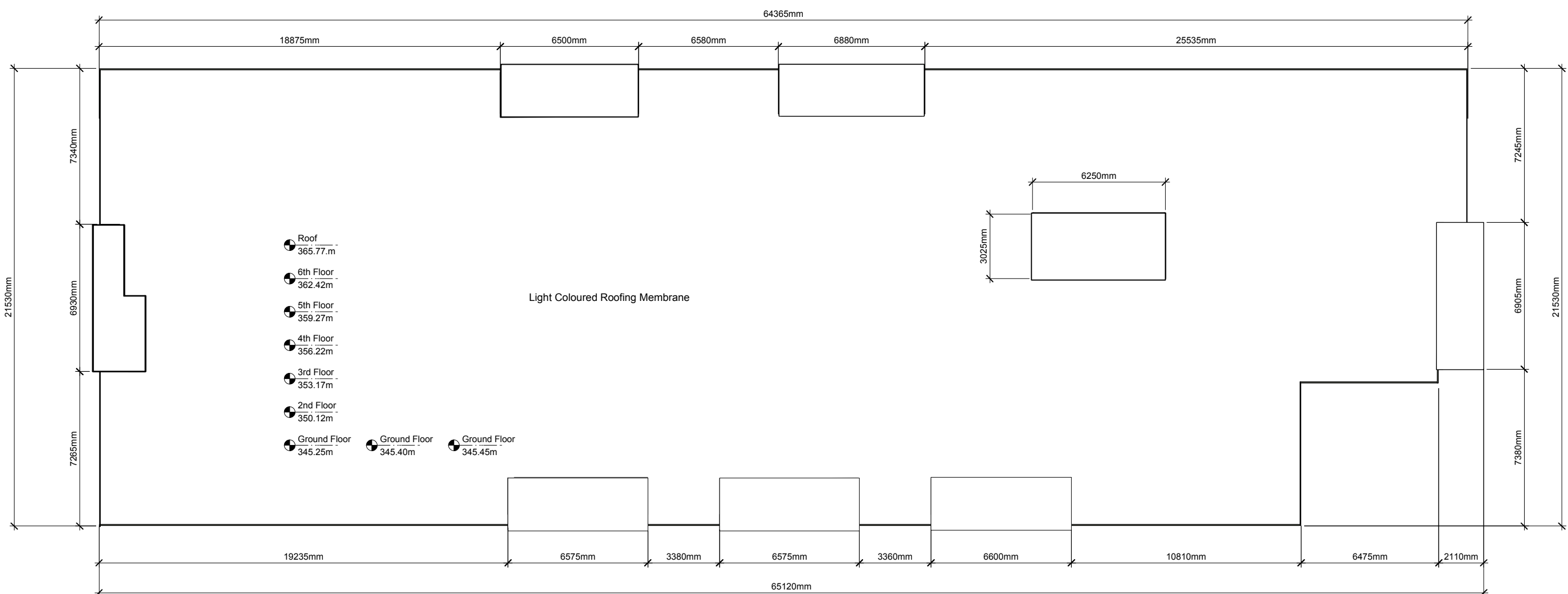




Typ. 3rd, 4th & 5th Floor Plan Building 1



6th Floor Plan Building 1



Roof Plan Building 1



Legend:

	One Bedroom type I		Three Bedroom
	One Bedroom type II		Commercial Retail Unit (CRU)
	Two Bedroom type I		Residential Common Areas
	Two Bedroom type II		Amenity Area
	Two Bedroom type III		
	Two Bedroom type IV		
	Two Bedroom type V		

Seal

PCurban  
property re-imagined™

NSDA  
ARCHITECTS

201-134 Abbott St  
Vancouver, BC  
Canada V6B 2K4  
T 604.669.1926  
F 604.683.2241  
info@nsda.bc.ca  
www.nsda.bc.ca

Copyright Reserved. This plan and design is and at all times remains the exclusive property of NSDA Architects and cannot be used without the architect's written consent.

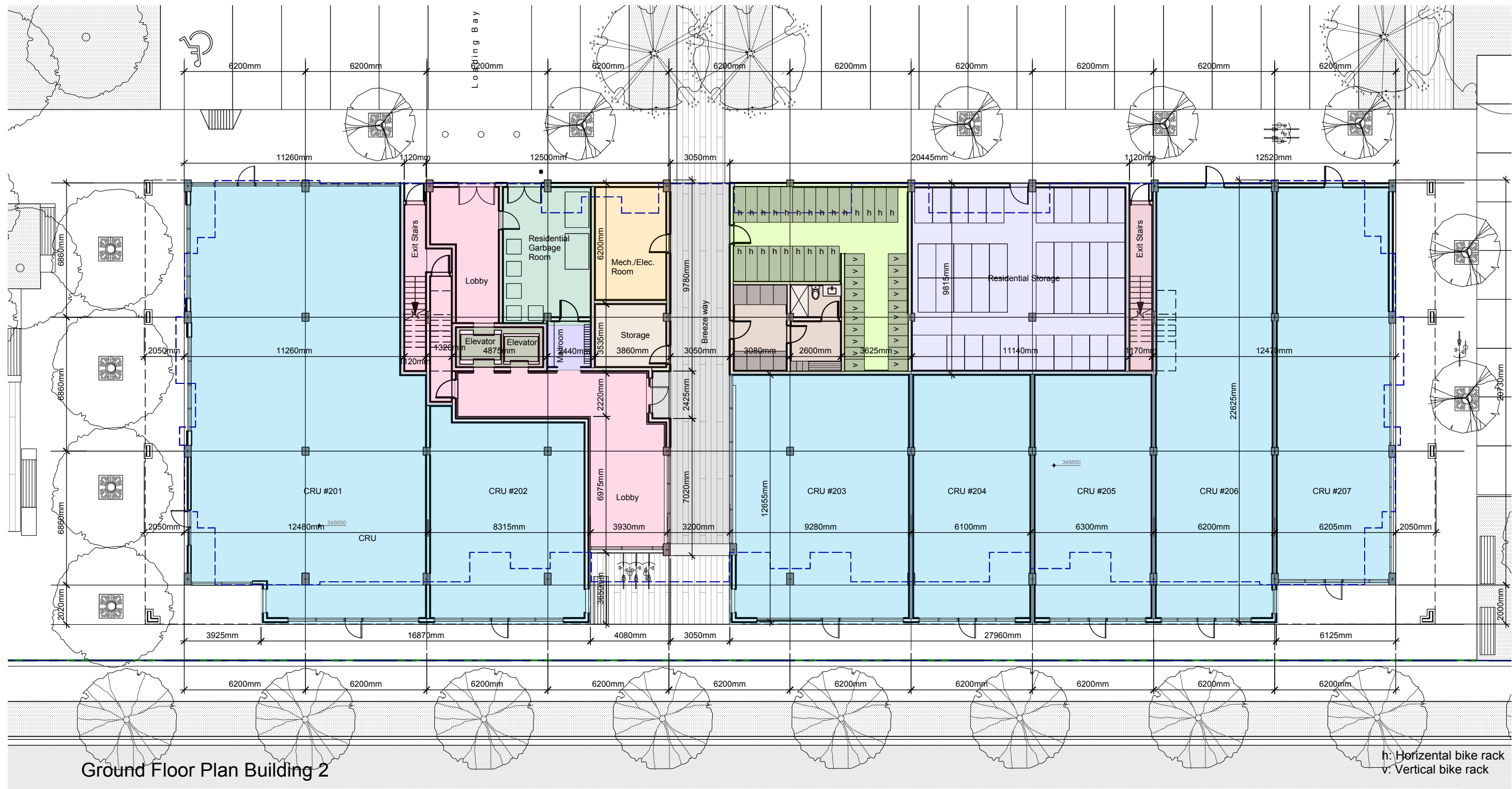
Project  
Clement Ave Mixed Use  
Development

Sheet Title  
Floor Plans Building 1

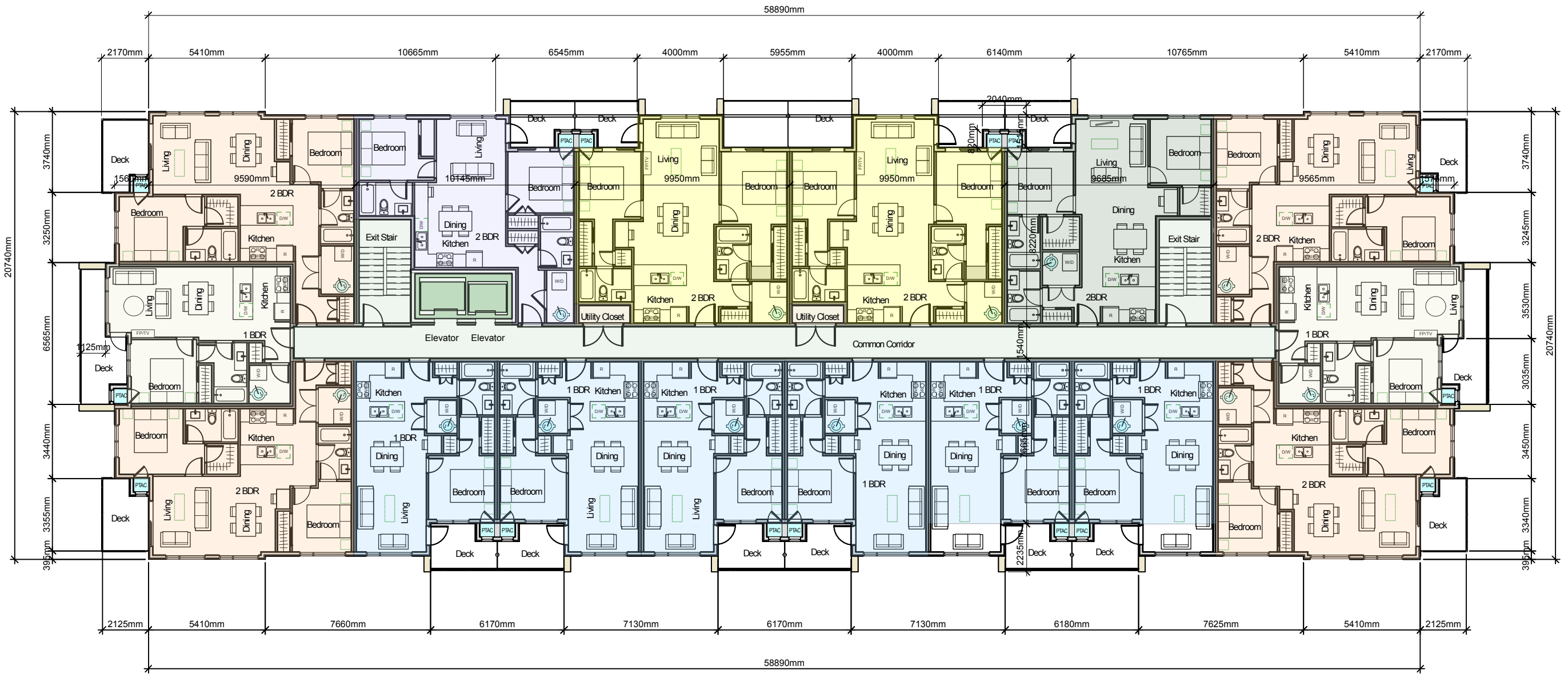
Project Number  
16049  
Scale  
1/200  
Sheet Number

A-101

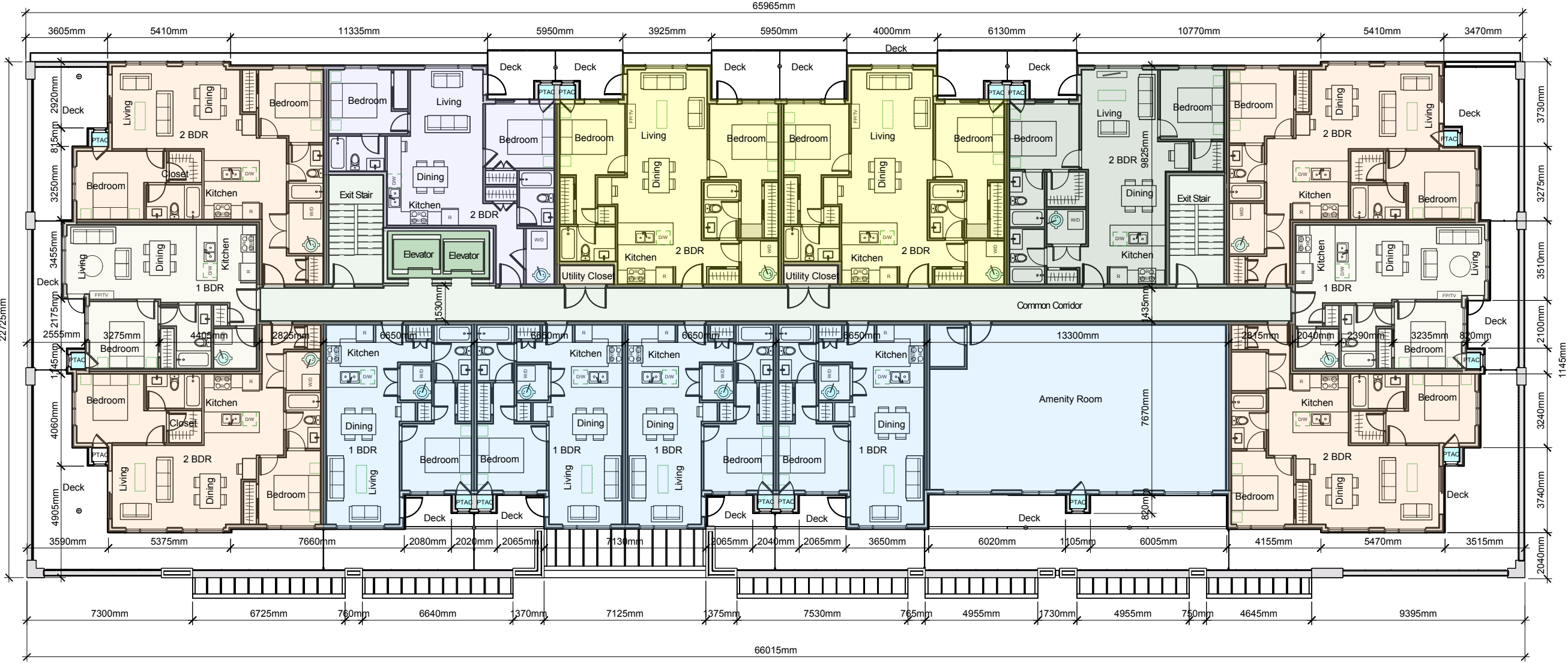




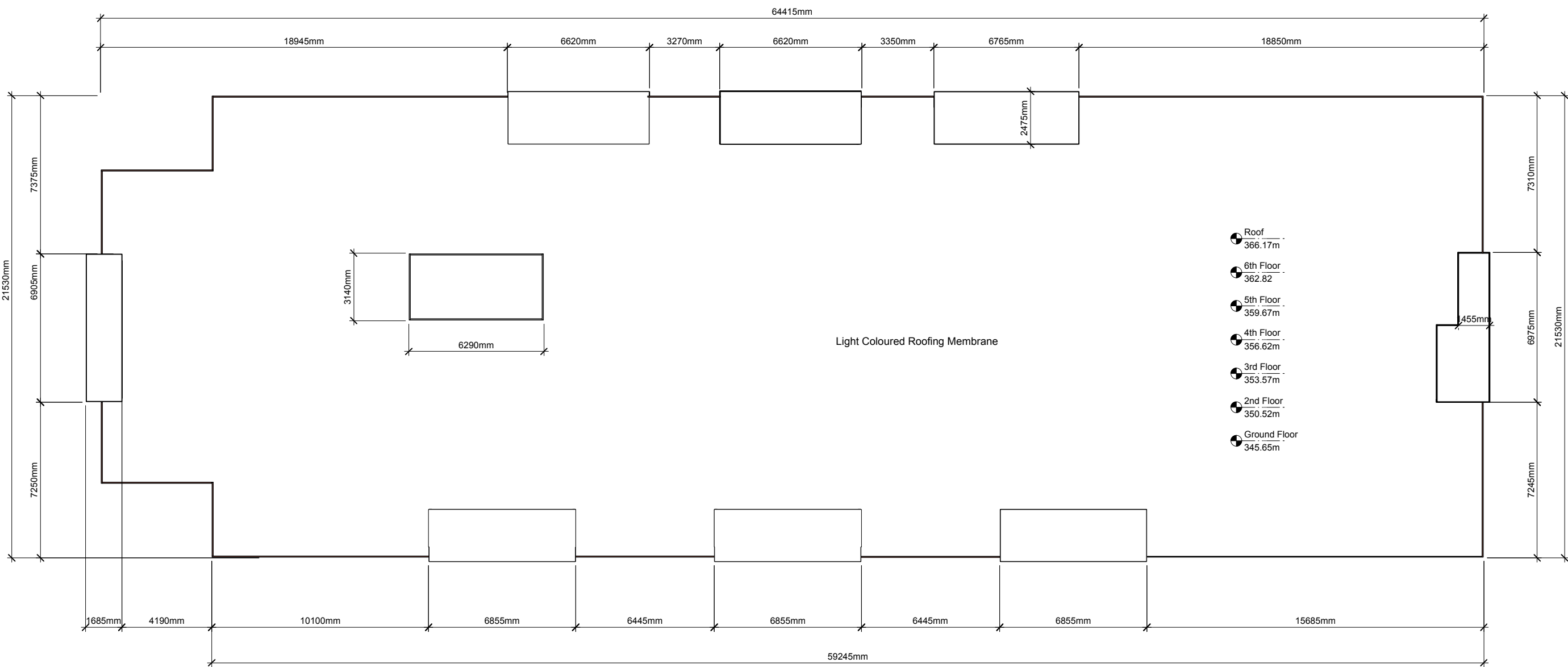
Ground Floor Plan Building 2



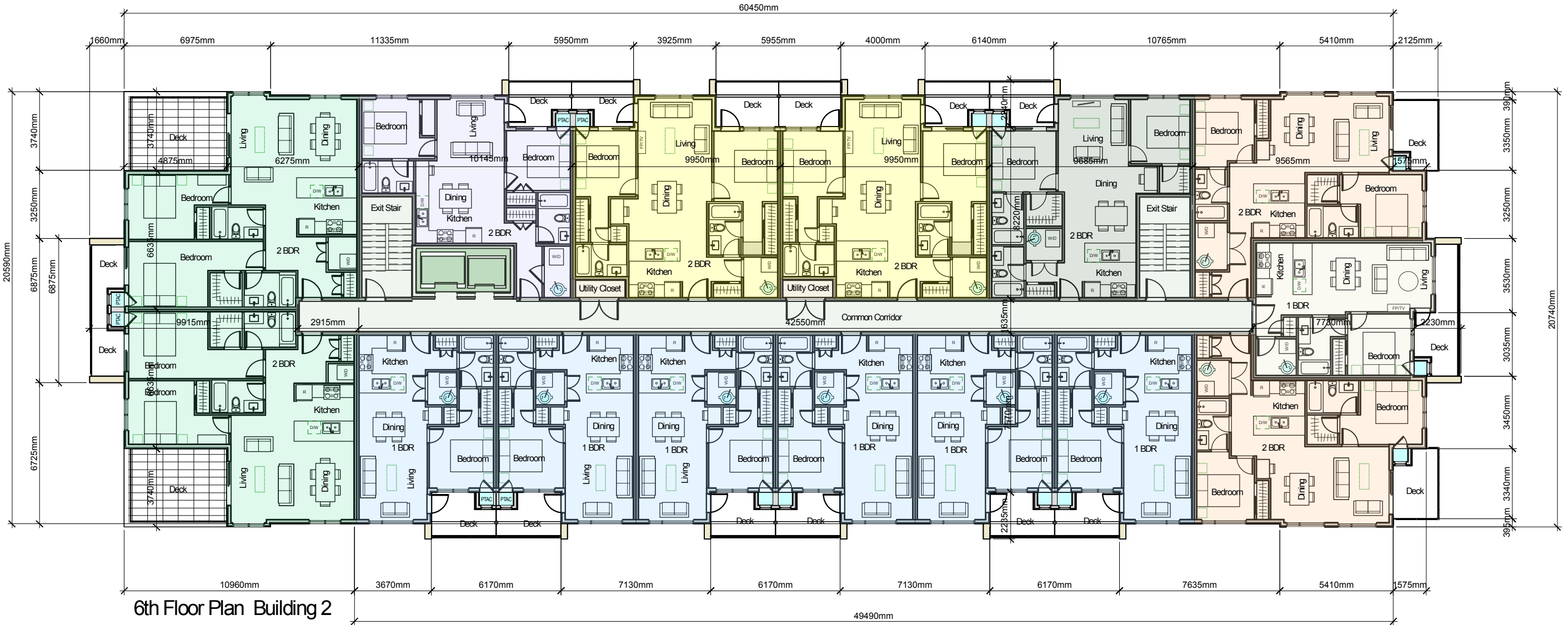
Typ. 3rd, 4th and 5th Floor Plan Building 2



2nd Floor Plan Building 2



Roof Plan Building 2



6th Floor Plan Building 2

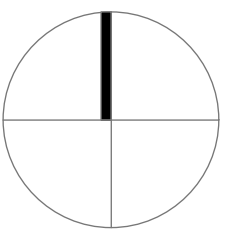
Legend:

	One Bedroom type I		Commercial Retail Unit (CRU)
	One Bedroom type II		Residential Common Areas
	Two Bedroom type I		Amenity Area
	Two Bedroom type II		
	Two Bedroom type III		
	Two Bedroom type IV		
	Two Bedroom type V		

Consultants

Date  
Sep/20/2017  
Feb/23/2018

Issue / Revisions  
Development Permit Application  
Revised Development  
Permit Application



Seal

**pcurban**  
property re-imagined™

**NSDA**  
ARCHITECTS

201-134 Abbott St  
Vancouver, BC  
Canada V6B 2K4  
T 604.669.1926  
F 604.683.2241  
info@nsda.bc.ca  
www.nsda.bc.ca

Copyright Reserved. This plan and design is and at all times remains the exclusive property of NSDA Architects and cannot be used without the architect's written consent.

Project  
Clement Ave Mixed Use  
Development

Sheet Title  
Floor Plans Building 2

Project Number  
16049

Scale  
1/200

Sheet Number

A-102



Date  
Sep/20/2017  
Feb/23/2018

Issue / Revisions  
Development Permit Application  
Revised Development  
Permit Application



**SCHEDULE A & B**  
This forms part of application  
# OCP17-0021 & Z17-0093

Planner Initials AC

City of Kelowna  
COMMUNITY PLANNING

Seal

**pcurban**  
property re-imagined™

**NSDA**  
ARCHITECTS

201-134 Abbott St  
Vancouver BC  
Canada V6B 2K4  
T 604.669.1926  
F 604.683.2241  
info@nsda.bc.ca  
www.nsda.bc.ca

Copyright Reserved. This plan and design is and at all times remains the exclusive property of NSDA Architects and cannot be used without the architect's written consent.

Project  
**Clement Ave  
Mixed Use  
Development**

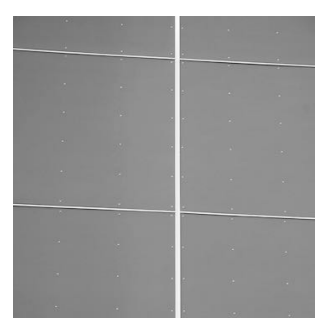
Sheet Title  
**Elevations Building1**

Project Number  
**16049**  
Scale  
**1/200**  
Sheet Number  
**A-301**

**Material List:**

- 1- Hardie Panel A + Hardie Fascia A
- 2- Corrugated Metal Panel
- 3- Hardie Panel B
- 4- Alum. Flashing
- 5- Shop Front Windows
- 6- Exposed Concrete/Concrete Block painted
- 7- Sign Band
- 8- Alum.Louver
- 9- Brick Veneer
- 10- Exterior Light Fixture
- 11- Standing Sim Metal Roof
- 12- Stained Wood Post on Concrete Base
- 13- "Packing District Sign"
- 14- Hardie Panel C
- 15- Glass Guardrail W/Alum. Frame
- 16- Metal Door
- 17- Alum. Guardrail
- 18- Hardie Panel D
- 19- Vinyl Window/Patio Door(Black)
- 20- Concrete Post
- 21- Alum. Canopy
- 22- Glass Canopy

**Material Palette**



Hardie Panel



Corrugated metal panel



Painted concrete block wall



Hardie Panel A - Colour: Red



Hardie Panel B - Colour: Off-White



Hardie Panel C - Colour: Light Gray



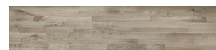
Hardie Panel D - Colour: Green



Colour: Silver Gray



Colour: Off-White



Packing District Sign wood texture



Charcoal black Alum. ( Flashing, Guardrails  
& Window Frames)



Brick Veneer



Date  
Sep/20/2017  
Feb/23/2018

Issue / Revisions  
Development Permit Application  
Revised Development  
Permit Application



Building 2 South Elevation



Building 2 West Elevation



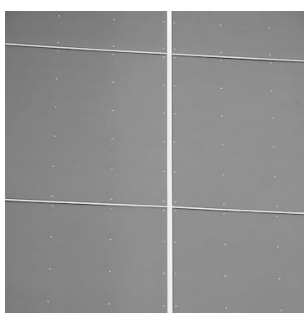
Building 2 East Elevation

**SCHEDULE A & B**  
This forms part of application  
# OCP17-0021 & Z17-0093  
City of Kelowna  
COMMUNITY PLANNING  
Planner Initials AC

Material List:

- 1- Hardie Panel A + Hardie Fascia A
- 2- Corrugated Metal Panel
- 3- Hardie Panel B
- 4- Alum. Flashing
- 5- Shop Front Windows
- 6- Exposed Concrete/Concrete Block painted
- 7- Sign Band
- 8- Alum.Louver
- 9- Brick Veneer
- 10- Exterior Light Fixture
- 11- Standing Slim Metal Roof
- 12- Stained Wood Post on Concrete Base
- 13- "Packing District Sign"
- 14- Hardie Panel C
- 15- Glass Guardrail W/Alum. Frame
- 16- Metal Door
- 17- Alum. Guardrail
- 18- Hardie Panel D
- 19- Vinyl Window/Patio Door(Black)
- 20- Concrete Post
- 21- Alum. Canopy
- 22- Glass Canopy

Material Palette



Hardie Panel



Corrugated metal panel



Painted concrete block wall



Hardie Panel A - Colour: Red



Hardie Panel B - Colour: Off-White



Hardie Panel C - Colour: Light Gray



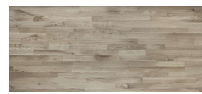
Hardie Panel D - Colour: Green



Colour: Silver Gray



Colour: Off-White



Packing District Sign wood texture



Charcoal black Alum. (Flashing, Guardrails & Window Frames)



Brick Veneer

Seal

**pcurban**  
property re-imagined™

**NSDA**  
ARCHITECTS

201-134 Abbott St  
Vancouver, BC  
Canada V6B 2K4  
T 604.669.1926  
F 604.683.2241  
info@nsda.bc.ca  
www.nsda.bc.ca

Copyright Reserved. This plan and design is and at all times remains the exclusive property of NSDA Architects and cannot be used without the architect's written consent.

Project  
Clement Ave  
Mixed Use  
Development

Sheet Title  
Elevations Building2

Project Number  
16049

Scale  
1/200

Sheet Number  
A-302



# Clement Avenue and Richter Street Mixed-Use

LANDSCAPE ARCHITECTURAL SET - ISSUED FOR REVIEW - 2 FEBRUARY 2018

### LANDSCAPE DRAWING INDEX

SHEET No.	SHEET NAME
L1.0	COVER SHEET AND CONTEXT PLAN
L1.1	CONCEPT PLAN - WEST SIDE
L1.2	CONCEPT PLAN - EAST SIDE
L1.3	PLAZA CONCEPT OPTIONS
L2.0	PRECEDENT MATERIALS
L2.1	PLANT MATERIALS AND SCHEDULE
L2.2	PLANTING PLAN - WEST SIDE
L2.3	PLANTING PLAN - EAST SIDE
L3.0	IRRIGATION PLAN

### GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SPACING, SELECTION, TREE SPECIES TO THE SATISFACTION OF THE CITY OF KELOWNA.

ALL PUBLIC REALM DETAILS TO CITY OF KELOWNA STANDARDS

SCHEDULEA & B

This forms part of application  
# OCP17-0021 & Z17-0093

Planner  
Initials

AC

City of  
Kelowna

COMMUNITY PLANNING



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

5	REISSUED FOR REVISED DP	18-02-02
4	ISSUED FOR CLIENT REVIEW	17-09-18
3	ISSUED FOR CLIENT REVIEW	17-06-27
2	ISSUED FOR CLIENT REVIEW	17-05-31
1	ISSUED FOR CLIENT REVIEW	17-05-24

#### REVISIONS



### Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue  
Kelowna, British Columbia

Scale:	1/16"=1'-0"
Drawn:	KD
Reviewed:	DS
Project No.	06-545

### LANDSCAPE COVER PAGE AND CONTEXT PLAN

L1.0



SCHEDULE A & B

This forms part of application  
# OCP17-0021 & Z17-0093

Planner  
Initials AC

City of Kelowna  
COMMUNITY PLANNING

RICHTER ST

BUILDING 1

BUILDING 2

VAUGHAN AVE

CLEMENT AVE

LAYOUT AND MATERIALS LEGEND	
DESCRIPTION	SYMBOL
1 PROPOSED LAWN	
2 PROPOSED PLANTING SHRUB AND GROUNDCOVERS	
3 DECIDUOUS TREES PER PLAN	
4 PEDESTRIAN FEATURE PAVERS BARKMAN BRIDGEWOOD PAVING SLABS	
5 SIDEWALK PAVING: CIP CONCRETE PER PLANS AND CITY STANDARDS	
6 RIVER COBBLE LOCAL RIVER COBBLE AND BOULDERS	
7 LOW PATIO RAILING METAL WITH WOOD ACCENTS	
8 WEATHERED STEEL TREE GRATE SPECIFICATION TBD	
9 WEATHERED STEEL BOLLARD SPECIFICATION TBD	
10 BICYCLE PARKING POST AND RING STYLE, SPECIFICATION TBD	
11 PATIO FURNISHINGS BY PERMIT	
12 PROJECT SIGN	
13 CUSTOM SEAT ELEMENTS BOARD FORM CONCRETE	
14 WEATHERED STEEL ART ELEMENTS	

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

5	REISSUED FOR REVISED DP	18-02-02
4	ISSUED FOR CLIENT REVIEW	17-09-18
3	ISSUED FOR CLIENT REVIEW	17-06-27
2	ISSUED FOR CLIENT REVIEW	17-05-31
1	ISSUED FOR CLIENT REVIEW	17-05-24
REVISIONS		

Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue  
Kelowna, British Columbia

Scale:	1:200
Drawn:	KD
Reviewed:	DS
Project No.	06-545

LANDSCAPE CONCEPT WEST SIDE



SCHEDULE A & B

This forms part of application  
# OCP17-0021 & Z17-0093

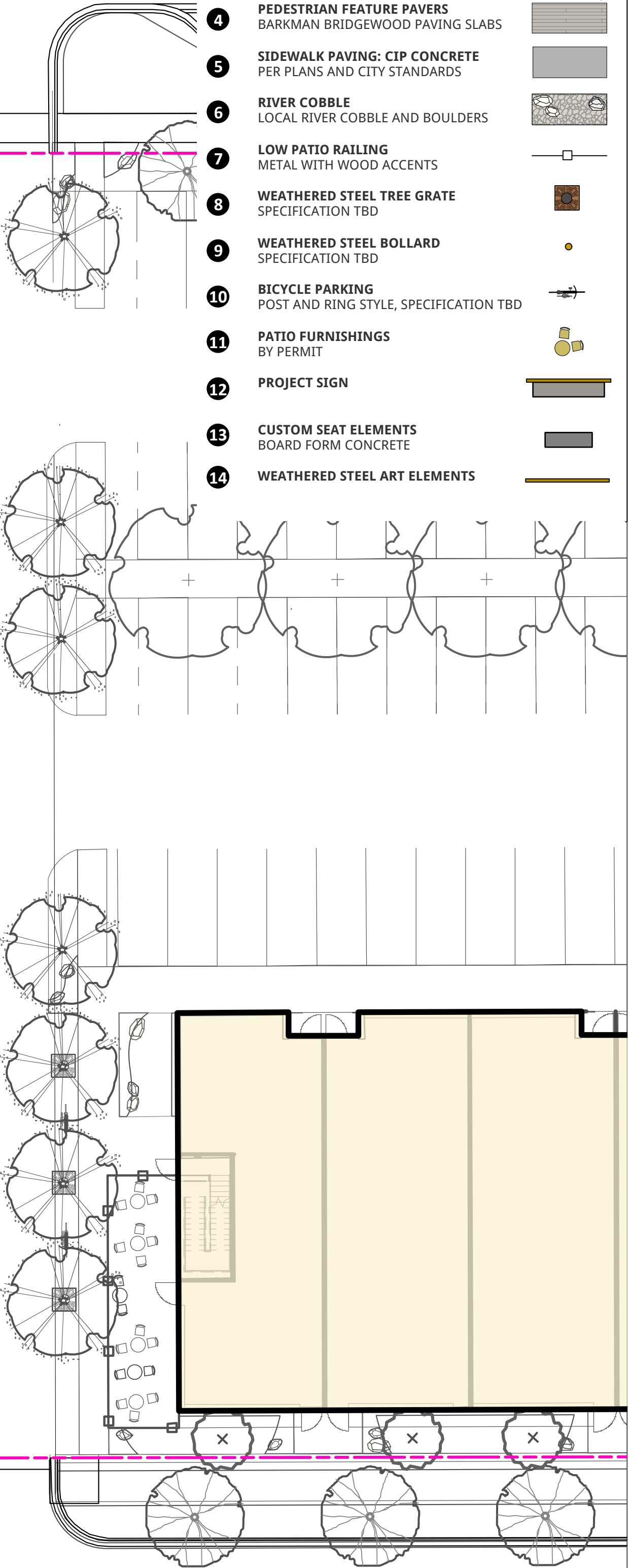
Planner Initials AC

City of Kelowna

COMMUNITY PLANNING



LAYOUT AND MATERIALS LEGEND	
DESCRIPTION	SYMBOL
1 PROPOSED LAWN	[Symbol]
2 PROPOSED PLANTING SHRUB AND GROUNDCOVERS	[Symbol]
3 DECIDUOUS TREES PER PLAN	[Symbol]
4 PEDESTRIAN FEATURE PAVERS BARKMAN BRIDGEWOOD PAVING SLABS	[Symbol]
5 SIDEWALK PAVING: CIP CONCRETE PER PLANS AND CITY STANDARDS	[Symbol]
6 RIVER COBBLE LOCAL RIVER COBBLE AND BOULDERS	[Symbol]
7 LOW PATIO RAILING METAL WITH WOOD ACCENTS	[Symbol]
8 WEATHERED STEEL TREE GRATE SPECIFICATION TBD	[Symbol]
9 WEATHERED STEEL BOLLARD SPECIFICATION TBD	[Symbol]
10 BICYCLE PARKING POST AND RING STYLE, SPECIFICATION TBD	[Symbol]
11 PATIO FURNISHINGS BY PERMIT	[Symbol]
12 PROJECT SIGN	[Symbol]
13 CUSTOM SEAT ELEMENTS BOARD FORM CONCRETE	[Symbol]
14 WEATHERED STEEL ART ELEMENTS	[Symbol]



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

5	REISSUED FOR REVISED DP	18-02-02
4	ISSUED FOR CLIENT REVIEW	17-09-18
3	ISSUED FOR CLIENT REVIEW	17-06-27
2	ISSUED FOR CLIENT REVIEW	17-05-31
1	ISSUED FOR CLIENT REVIEW	17-05-24

REVISIONS

PCurban

property re-imagined™

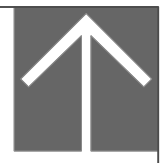
Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue Kelowna, British Columbia	
Scale:	1:200
Drawn:	KD
Reviewed:	DS
Project No.	06-545

LANDSCAPE CONCEPT  
EAST SIDE

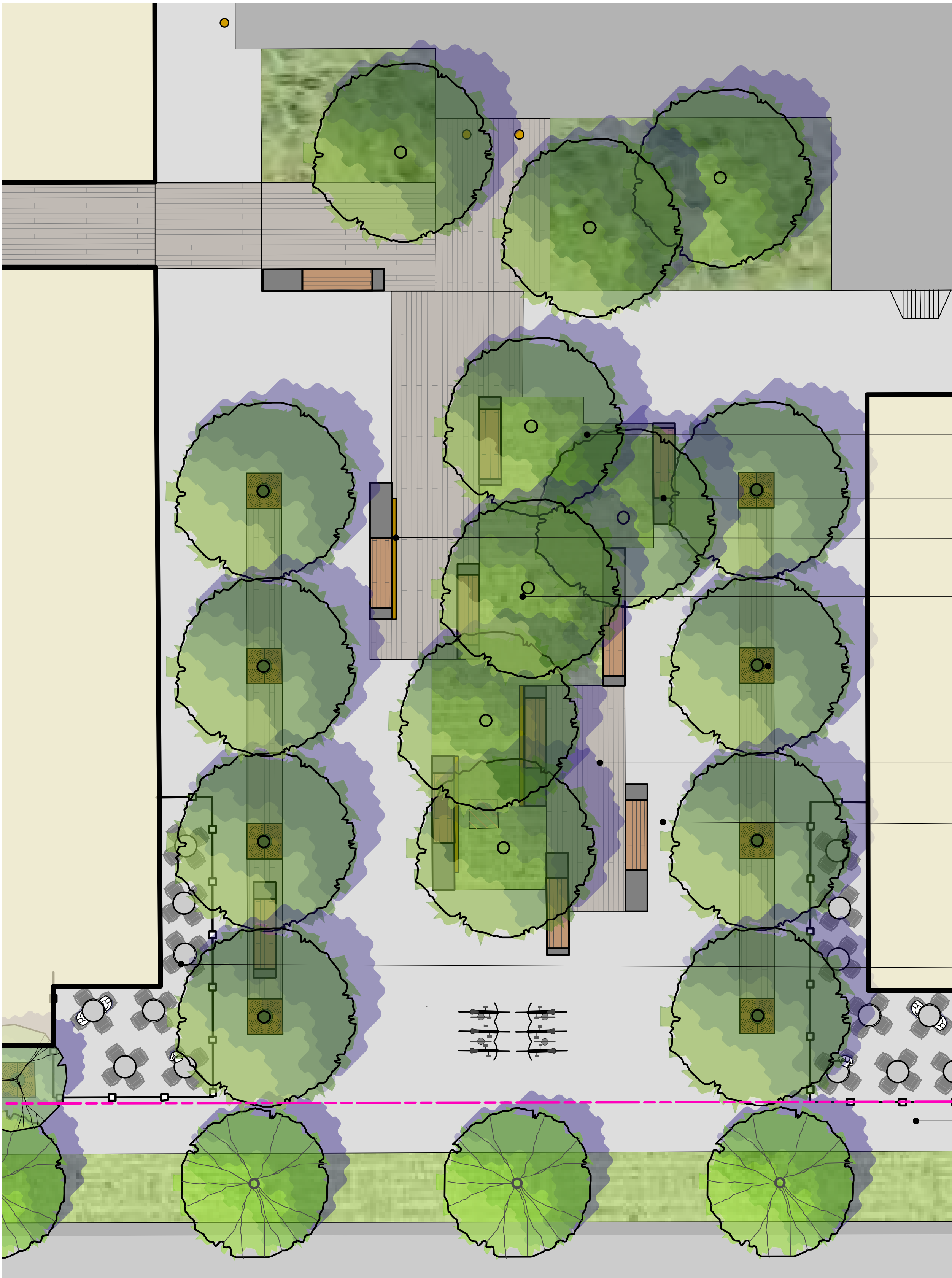






CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.



SCHEDULE

A & B

This forms part of application

# OCP17-0021 & Z17-0093

Planner

Initials

AC

City of

Kelowna

COMMUNITY PLANNING

- SHADE TREES
- CUSTOM SEATING
- POTENTIAL ART PANEL LOCATIONS
- CENTRAL PLANTING AREA WITH SHADE TREES
- TREES IN TREE GRATES
- SPECIAL PAVING DEFINES SEATING ZONES
- CIRCULATION ZONE
- POSSIBLE RESTAURANT PATIO
- SIDEWALK

DETAILED COURTYARD PLAN - 1:100



LANDSCAPE CHARACTER AND PRECEDENTS


5	REISSUED FOR REVISED DP	18-02-02
4	ISSUED FOR CLIENT REVIEW	17-09-18
3	ISSUED FOR CLIENT REVIEW	17-06-27
2	ISSUED FOR CLIENT REVIEW	17-05-31
1	ISSUED FOR CLIENT REVIEW	17-05-24
REVISIONS		



Clement Avenue and  
Richter Street Mixed-Use

726 Clement Avenue  
Kelowna, British Columbia

Scale:	1:100
Drawn:	KD
Reviewed:	DS
Project No.	06-545

LANDSCAPE CONCEPT  
MEZZANINE - LEVEL 3



LANDSCAPE CHARACTER

- RUSTIC MATERIALS COMBINED WITH DROUGHT-TOLERANT PLANTS.
- ATTRACTIVE ORNAMENTAL GRASSES.
- LOCAL MATERIALS, RIVER COBBLE, BOULDERS, TIMBERS.



SEATING AND WALLS

- LARGE AND SIMPLE FORMS.
- COLOURS THAT CONTRAST WITH THE PLANTING MATERIALS.
- BOARD-FORM CONCRETE FOR CUSTOM SEATS AND WALLS, TO RELATE TO PACKING BOX THEME.
- POTENTIAL FOR TIMBERS INTEGRATED AS SEAT TOPS



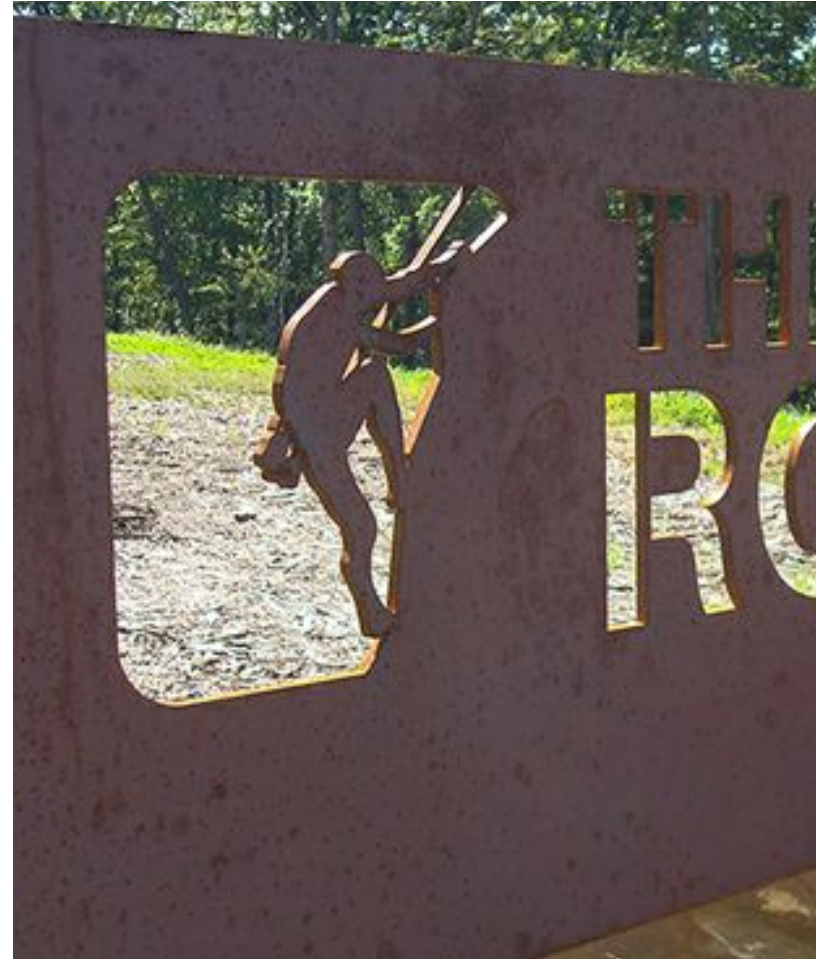
MATERIALS

- TEXTURED CONCRETE PAVING - MIX OF BROOMED AND SAND-BLASTED FINISHES.
- BOARD-FORM CONCRETE FOR WALLS, PLANTERS, SEAT ELEMENTS.
- WOOD-LOOK CONCRETE PAVERS IN FEATURE AREAS TO ADD TO TEXTURE AND CHARACTER.



MATERIALS

- WEATHERED STEEL (CORE-TEN) TO BRING COLOUR AND TEXTURE.
- PATTERNS OR SIMPLE CUT-OUTS FOR IMAGES AND LOGOS.
- TREE GRATES AND OTHER ELEMENTS TO MATCH STEEL AND BRING COLOUR TO DIFFERENT SURFACES.



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.


5	REISSUED FOR REVISED DP	18-02-02
4	ISSUED FOR CLIENT REVIEW	17-09-18
3	ISSUED FOR CLIENT REVIEW	17-06-27
2	ISSUED FOR CLIENT REVIEW	17-05-31
1	ISSUED FOR CLIENT REVIEW	17-05-24

REVISIONS



Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue  
Kelowna, British Columbia

Scale:	As Shown
Drawn:	DS
Reviewed:	DS
Project No.	06-545

MATERIALS AND CHARACTER



LANDSCAPE CHARACTER

- RUSTIC MATERIALS COMBINED WITH DROUGHT-TOLERANT PLANTS.
- ATTRACTIVE ORNAMENTAL GRASSES MIXED WITH NATIVE AND DROUGHT-TOLERANT SHRUBS AND PERENNIALS
- LOCAL MATERIALS, RIVER COBBLE, BOULDERS



SCHEDULE

A & B

This forms part of application

# OCP17-0021 & Z17-0093

Planner

Initials

AC

City of

Kelowna

COMMUNITY PLANNING

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	SUN EXP.
Trees						
	39	<i>Acer rubrum 'Armstrong'</i>	Armstrong Red Maple	7cm cal. 1.8m std. Full braching B&B	As Shown	○●
	17	<i>Acer saccharum 'Apollo'</i>	Apollo Fastigate Sugar Maple	6cm cal. 1.8m std. Full braching B&B	As Shown	○
	44	<i>Fraxinus pennsylvanica 'Prairie Spire'</i>	Prairie Spire Ash	7cm cal. 1.8m std. Full braching B&B	As Shown	○●
	18	<i>Robinia pseudoacacia 'Frisia'</i>	Golden Locust	7cm cal. 1.8m std. Full braching B&B	As Shown	○●
	18	<i>Tilia cordata 'Greenspire'</i>	Greenspire Linden	7cm cal. 1.8m std. Full braching B&B	As Shown	○●
Shrubs						
	0	<i>Artemesia tridentata</i>	Mountain Sage	#2 pot	@600mm O.C.	○
	639	<i>Berberis 'Ruby Glow'</i>	Dwarf Red Barberry	#3 pot	@600mm O.C.	○
	31	<i>Clethra alnifolia</i>	Sweet Pepper Bush	#2 pot	@1200mm O.C.	○●●
	105	<i>Cornus sericea 'Arctic Fire'</i>	Dwarf Dogwood	#2 pot	@750mm O.C.	○●
	698	<i>Cotoneaster dammeri</i>	Little Leaf Cotoneaster	#2 pot	@600mm O.C.	○●
	120	<i>Ericameria nauseosus</i>	Rabbit Bush	#2 pot	@600mm O.C.	○●
	304	<i>Picea abies 'Nidiformus'</i>	Bird's Nest Spruce	#2 pot	@600mm O.C.	○●
	184	<i>Rhus aromatica 'Gro-Low'</i>	Gro'Low Sumac	#2 pot	@750mm O.C.	○●
	30	<i>Ribes alpinum</i>	Alpine Flowering Current	#3 pot	@900mm O.C.	○●
	321	<i>Symphoricarpos albus</i>	Snowberry	#3 pot	@600mm O.C.	○●
	72	<i>Taxus X Media 'Hicksii'</i>	Hick's Yew	1.2m High, B&B	@600mm O.C.	○●●
Ornamental Grasses						
	247	<i>Calamagrostis x Acutiflora 'Karl Foerster'</i>	Feather Reed Grass	#2 pot	@750mm O.C.	○●
	102	<i>Pennisetum alopecuroides 'Hameln'</i>	Dwarf Fountain Grass	#2 pot	@750mm O.C.	○●
	580	<i>Sporobolus heterolepis</i>	Prairie Dropseed	#2 pot	@600mm O.C.	○
Perennials						
	84	<i>Achillea millefolium</i>	Yarrow	10cm pot	@450mm O.C.	○
	93	<i>Echinacea purpurea</i>	Purple Cone Flower	#1 pot	@600mm O.C.	○●
	44	<i>Rudbeckia triloba</i>	Browneyed Susan	#1 pot	@600mm O.C.	○
	202	<i>Salvia nemerosa 'Caradonna'</i>	Midnight Salvia	10cm pot	@450mm O.C.	○
Full Sun ○ Part Sun / Shade ● Shade ●						

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

5

REISSUED FOR REVISED DP

18-02-02

4

ISSUED FOR CLIENT REVIEW

17-09-18

3

ISSUED FOR CLIENT REVIEW

17-06-27

2

ISSUED FOR CLIENT REVIEW

17-05-31

1

ISSUED FOR CLIENT REVIEW

17-05-24

REVISIONS

PC

curban

property re-imagined™

Clement Avenue and Richter Street Mixed-Use

726 Clement Avenue  
Kelowna, British Columbia

Scale:

As Shown

Drawn:

KD

Reviewed:

DS

Project No.

06-545

PLANT SCHEDULE

L2.1



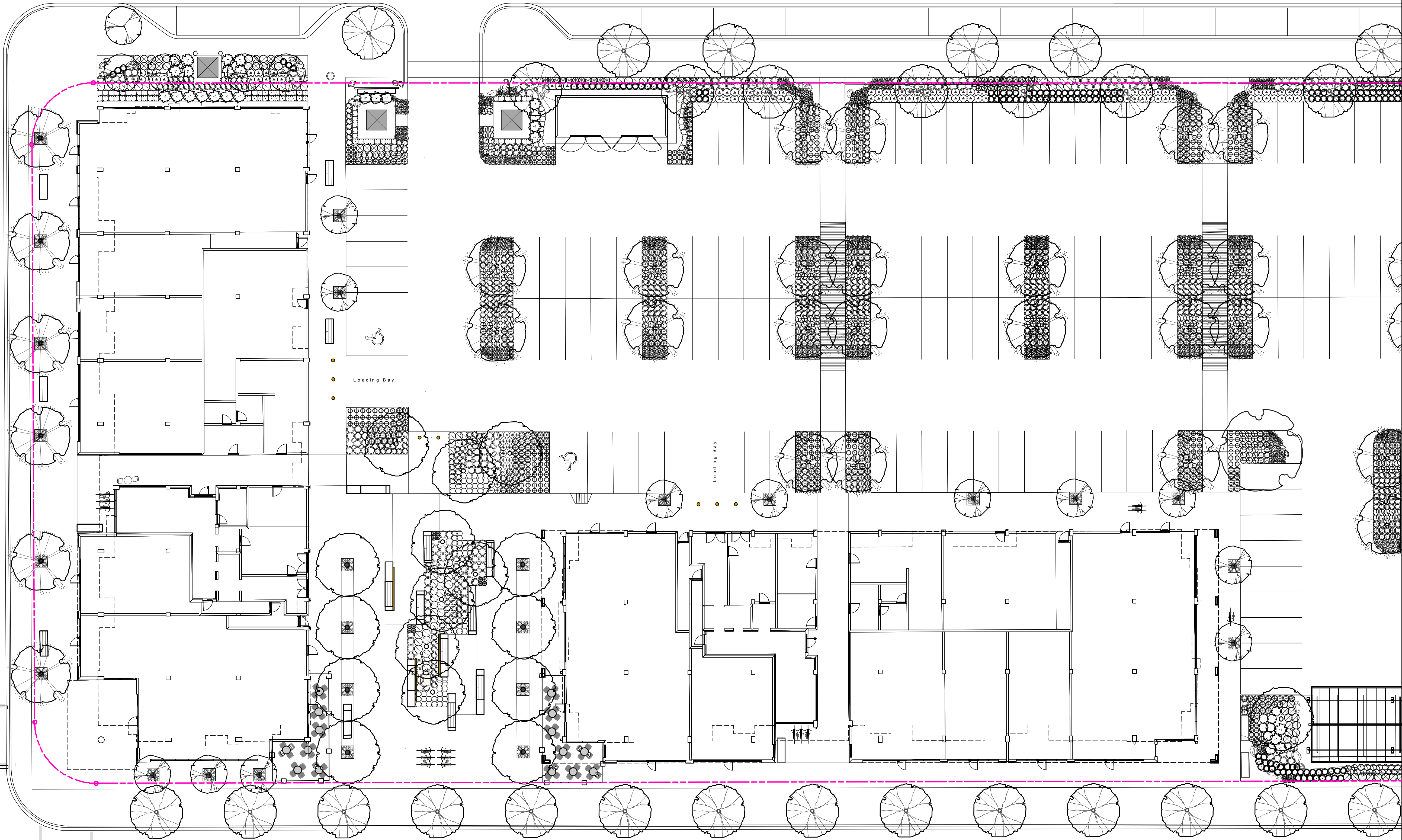


SCHEDULE A & B

This forms part of application  
# OCP17-0021 & Z17-0093

Planner Initials AC

City of Kelowna  
COMMUNITY PLANNING



CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

5	REISSUED FOR REVISED DP	18-02-02
4	ISSUED FOR CLIENT REVIEW	17-09-18
3	ISSUED FOR CLIENT REVIEW	17-06-27
2	ISSUED FOR CLIENT REVIEW	17-05-31
1	ISSUED FOR CLIENT REVIEW	17-05-24

REVISIONS

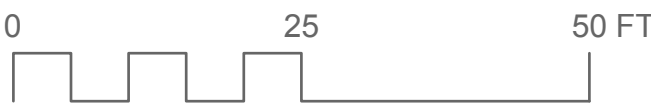


Clement Avenue and Richter Street Mixed-Use

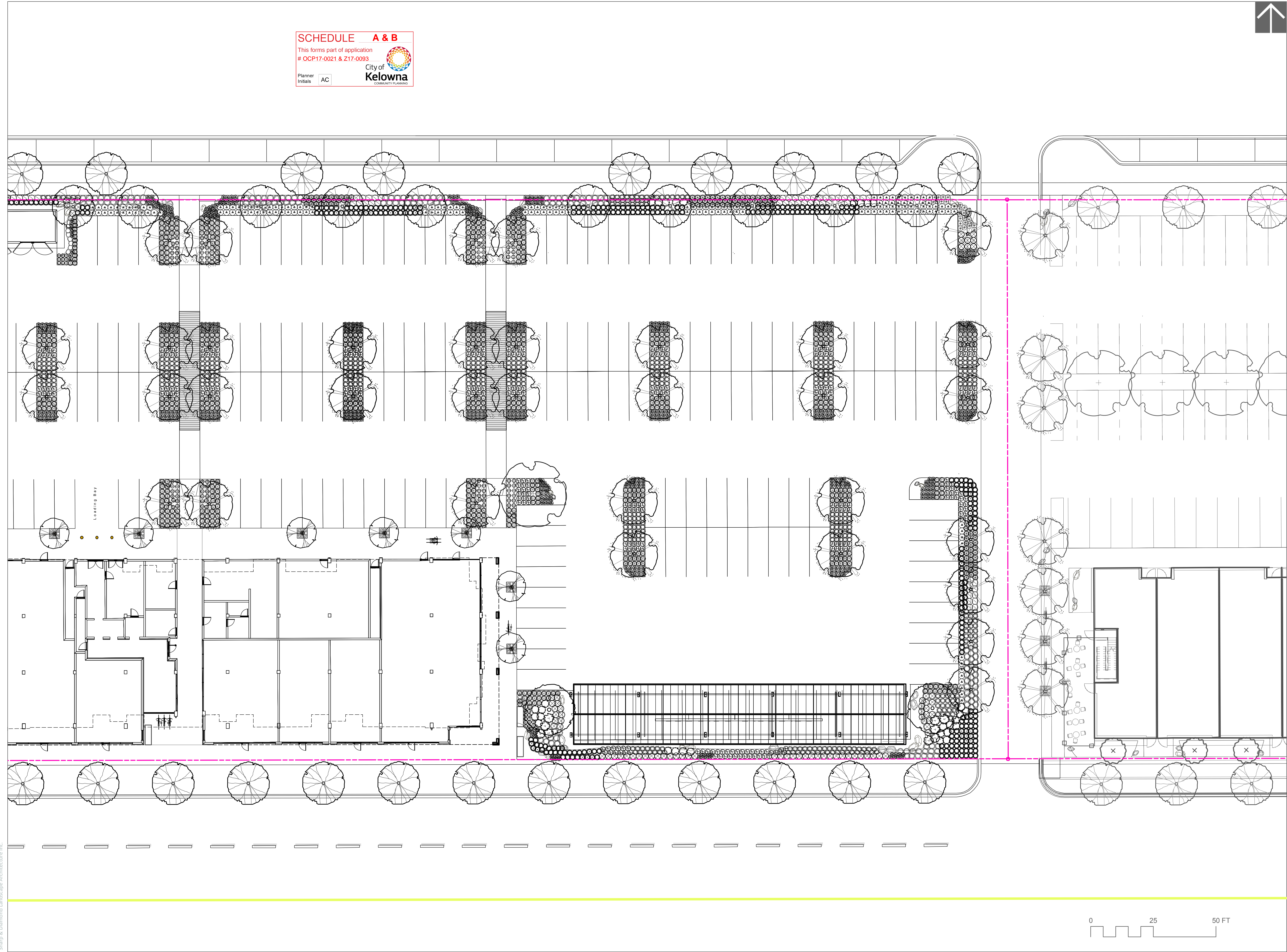
726 Clement Avenue  
Kelowna, British Columbia

Scale:	1:200
Drawn:	KD
Reviewed:	DS
Project No.	06-545

LANDSCAPE PLANTING  
PLAN WEST SIDE







Sharp & Diamond Landscape Architecture Inc.

SCHEDULE

A & B

This forms part of application

# OCP17-0021 & Z17-0093

Planner

Initials

AC

City of

Kelowna

COMMUNITY PLANNING

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

5	REISSUED FOR REVISED DP	18-02-02
4	ISSUED FOR CLIENT REVIEW	17-09-18
3	ISSUED FOR CLIENT REVIEW	17-06-27
2	ISSUED FOR CLIENT REVIEW	17-05-31
1	ISSUED FOR CLIENT REVIEW	17-05-24

REVISIONS

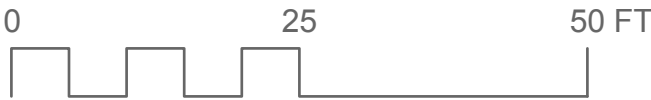


Clement Avenue and Richter Street Mixed-Use

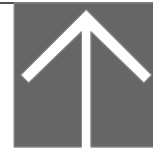
726 Clement Avenue  
Kelowna, British Columbia

Scale:	1:200
Drawn:	KD
Reviewed:	DS
Project No.	06-545

LANDSCAPE PLANTING  
PLAN EAST SIDE

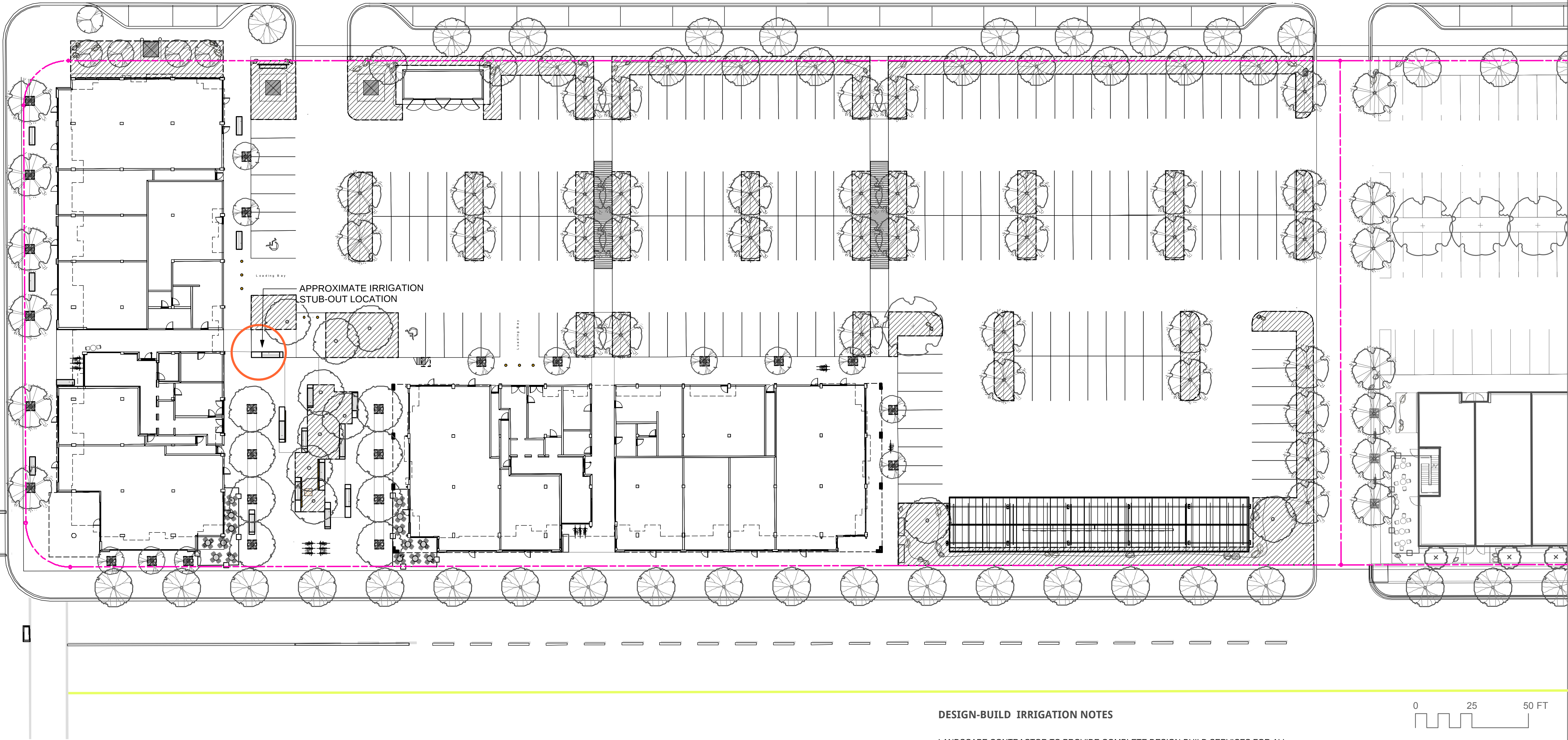






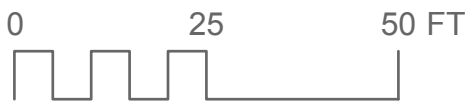
CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.



DESIGN-BUILD IRRIGATION NOTES

- LANDSCAPE CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD SERVICES FOR ALL AUTOMATIC SITE IRRIGATION WORKS.
- IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (5) FIVE YEARS DOCUMENTED EXPERIENCE, AND A MEMBER IN GOOD STANDING OF THE IIABC (IRRIGATION INDUSTRY ASSOCIATION OF BC).
- IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
- IRRIGATION TO CONFORM TO ALL IIABC STANDARDS WITH THE FOLLOWING EXCEPTIONS:
  - MATERIALS SECTION 8B: ALL PIPE TO BE MINIMUM CLASS 200
  - MATERIALS SECTION 5G: NO WIRE SMALLER THAN 14 GAUGE DIRECT BURIAL
- COORDINATE WITH CIVIL CONTRACTOR TO PROVIDE PVC SLEEVING WHERE REQUIRED.
- IRRIGATION STUB-OUTS AND HOSE BIBS PER MECHANICAL PLANS.
- PROVIDE SHOP DRAWINGS FOR IRRIGATION LAYOUT TO CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION. INCLUDE SLEEVING, DRIP LINE, PIPE SIZE, VALVE BOXES, ETC., AND ALL IRRIGATION COMPONENT SPECIFICATIONS. VALVE BOXES TO BE LOCATED IN LOW-VISIBLE, PLANTED AREAS ONLY AND LOCATIONS TO BE APPROVED.
- HIGH EFFICIENCY IRRIGATION TECHNOLOGY TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO: CENTRAL SHUT-OFF VALVE, HIGH EFFICIENCY DRIP IRRIGATION LINES AND MOTION SENOR/RAIN DELAY CONTROLLER
- TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET STANDARDS (LEAKS SHALL NOT BE REPAIRED BY PATCHING).
- PROVIDE COVERAGE AND CONTROLLER TEST WHEN SYSTEM IS COMPLETE AND MAKE ADJUSTMENTS AS REQUIRED.
- PROVIDE AS-BUILT RECORD DRAWINGS TO SCALE SHOWING LOCATIONS OF ALL CONCEALED COMPONENTS, PIPING SYSTEM AND CONDUIT.
- MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS THROUGHOUT WARRANTY PERIOD - WINTERIZE AS REQUIRED.
- PROVIDE (3) COPIES OF INSTRUCTIONS MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM AND CONTROLS. SEASONAL ACTIVITY AND SHUTDOWN AND MANUFACTURER'S PARTS CATALOGUE.
- INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF SYSTEM, INCLUDING ADJUSTING OF SPRINKLER HEADS. USE OPERATION AND MAINTENANCE MATERIAL AS BASIS FOR DEMONSTRATION.



Clement Avenue and  
Richter Street Mixed-Use

726 Clement Avenue  
Kelowna, British Columbia

Scale:	1:200
Drawn:	KD
Reviewed:	DS
Project No.	06-545

WATER CONSERVATION  
AND IRRIGATION PLAN

L3.0

# CITY OF KELOWNA

## BYLAW NO. 11604

### Official Community Plan Amendment No. OCP17-0021 726 Clement Avenue

---

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of portions of Lot A, Section 30, Township 26, ODYD Plan KAP55948, and portions of Block 29, Section 30, Township 26, ODYD Plan 202 Except Plans 5011 and KAP55948 located at Clement Ave, Kelowna, BC from the IND – Industrial designation to the MXR – Mixed Use (Residential / Commercial) designation as shown on Map A attached.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

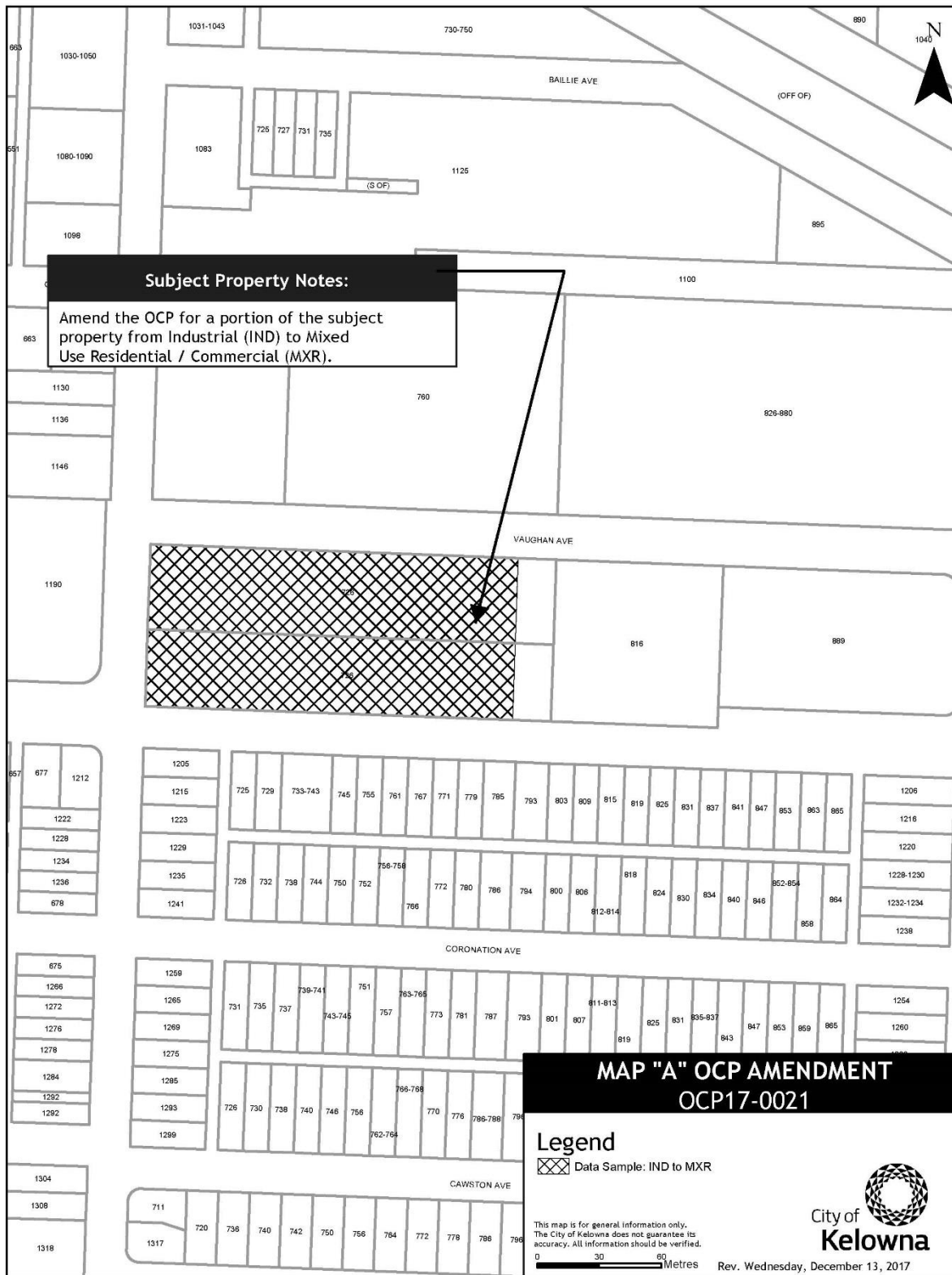
---

Mayor

---

City Clerk







---

**CITY OF KELOWNA**  
**BYLAW NO. 11605**  
**Z17-0093 – 726 Clement Avenue**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of:
  - Lot A, Section 30, Township 26, ODYD Plan KAP55948, located at Clement Avenue, Kelowna, BC, from the I<sub>4</sub> – Central Industrial zone to the C<sub>4</sub> – Urban Centre Commercial; and
  - Block 29, Section 30, Township 26, ODYD Plan 202 Except Plans 5011 and KAP55948 located at Clement Ave, Kelowna, BC, from the I<sub>2</sub> – General Industrial zone to the C<sub>4</sub> – Urban Centre Commercial zone;

as per Map B attached to and forming part of this bylaw.

2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

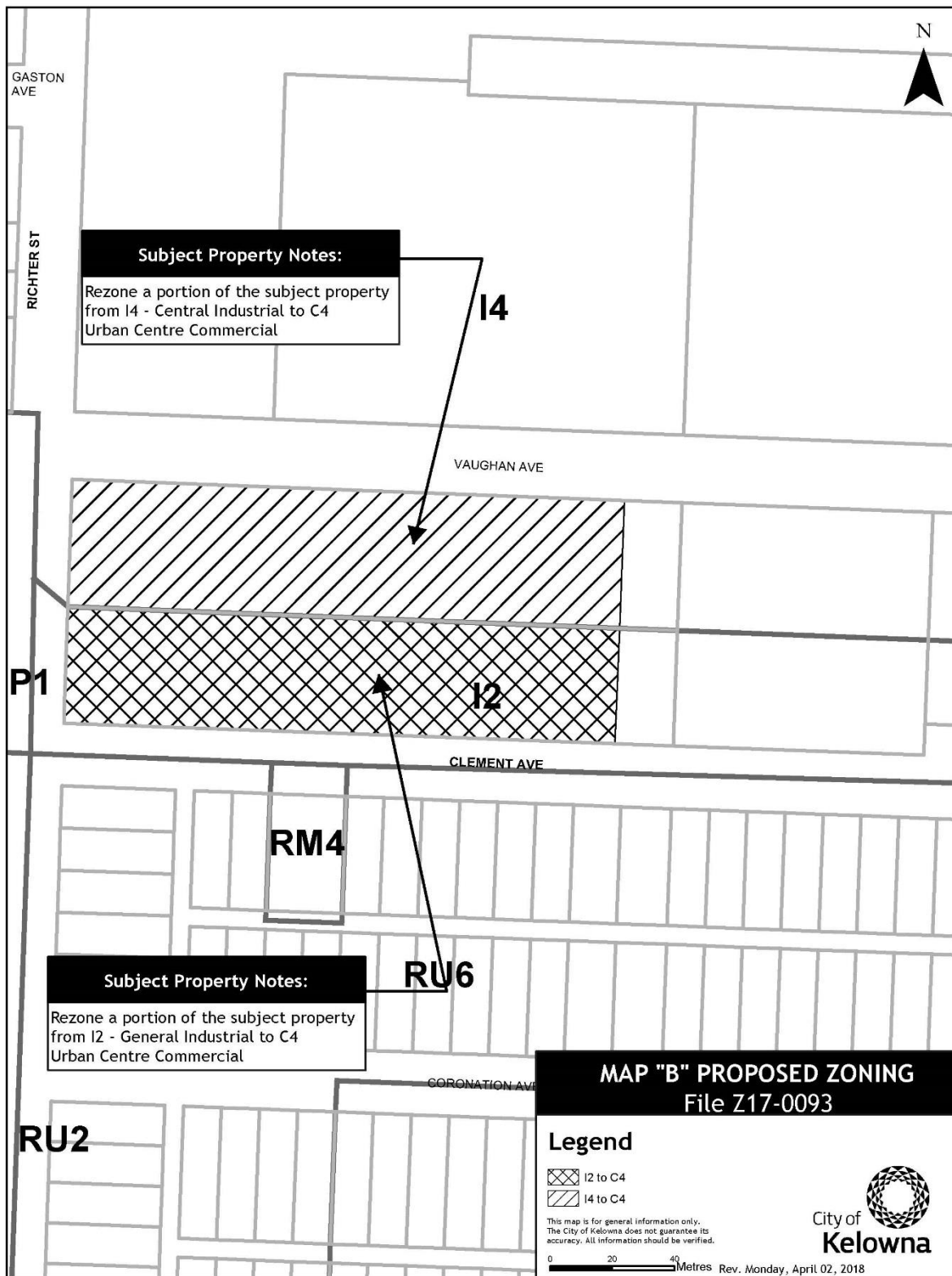
Adopted by the Municipal Council this

---

Mayor

---

City Clerk



# REPORT TO COUNCIL



**Date:** 04/23/2018

**To:** City Manager

**From:** Community Planning Department (AW)

**Application:** DP17-0255

**Owner:** 612333 BC Ltd.

**Address:** 1642 Commerce Avenue

**Applicant:** Horizon North on behalf of BC Housing

**Subject:** Development Permit Application

Existing OCP Designation: Service Commercial

Existing Zone: C10 – Service Commercial

---

## 1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP17-0255 for Lot 5 District Lot 125 ODYD Plan KAP73825, located at 1642 Commerce Avenue, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping;

AND THAT the Development Permit be issued subsequent to the Development Engineering requirements as set out in attached document to the Report from the Community Planning Department dated April 23, 2018;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.



## 2.0 Purpose

To consider the form and character of the proposed 46-unit supportive housing project with support services on the subject property.

## 3.0 Community Planning

Community Planning staff are supportive of the proposed 46-unit supportive housing project. The form and character of the temporary facility meets staff's basic expectations for a project of this nature as described in the Official Community Plan (Chapter 14). The applicant's primary goal is to provide a temporary (up to 7 years) and rapid form of housing that is currently in high demand. The applicant's intention is for this facility to operate for a few years while permanent housing projects are developed. The applicant has worked with staff to help screen and provide appropriate setbacks and space for the facility. The proposal meets all of the Zoning Bylaw Regulations for the C10 – Service Commercial Zone.

BC Housing has made significant positive improvements to the proposed design to help mitigate concerns from neighbouring business and building owners. A modular form of construction that will be newly assembled onsite rather than trailers relocated from other sites is now proposed. The proposed landscaping has also been further developed and improved upon. These revisions have had a big impact on the overall design of the project and staff believe that with the mix of adjacent light industrial and commercial uses the form of the proposed facility will be acceptable in this location on a temporary basis. Staff understand that the housing operator will aim to minimize any possible negative visual and operating impacts on neighbouring properties. The subject property is accessible by transit and the operator will work with existing shelters and housing providers to utilize this service. This project will help existing providers that are currently experiencing significant overcrowding pressures and will also help ensure that members of the community are able to access safe and secure housing.

## 4.0 Proposal

### 4.1 Background

BC Housing has identified 1642 Commerce Avenue, a vacant 1-acre commercially zoned parcel, as a temporary supportive housing site for vulnerable residents of the community. They have worked with the owners to secure a lease to operate the proposed facility for the next 4 years with an option to extend for a further 3 years. The housing units would be operational by late 2018 and would be managed 24/7 by the John Howard Society, an experienced local supportive housing operator. The project will provide rapid, safe and affordable housing, together with the necessary support services, to individuals who are experiencing homelessness or are at risk of homelessness and will be funded by BC Housing's Rapid Response to Homelessness (RRH) Program.

In recognition of concerns expressed by neighbouring business and building owners, with regards to the form and character of the project, BC Housing has revised the concept and made significant improvements to the building and landscape design in an attempt to work with the surrounding owners and occupants. BC Housing hosted an open house and public information session on March 19, 2018 to ensure that there is better communication and information available as the revised project moves forward for Council consideration.

### 4.2 Project Description

The proposed 2,157m<sup>2</sup> project will consist of 46 studio units complete with dining area and support services. As a temporary and short-term housing facility the building is comprised of modular building units on a temporary foundation and can be relocated to another site or community once the lease has expired. The studio rooms provide a sitting area and are complete with private bathrooms. Onsite support services are

located on the ground floor fronting Commerce Avenue and include a 44 seat dining facility, commercial kitchen, lounge, washrooms, laundry and offices. This space will act as reception hall, provide support services and a gathering space for residents.

Outside of the amenity building a gathering area provides outdoor amenity space for occupants of the facility. A secure storage area will be included for personal possessions and bicycles. The property will be surrounded by a fence to control the grounds. Parking is provided for staff as well as for people staying at the facility along with ample bicycle parking.

To enhance safety at the facility a CCTV system, staged fencing, controlled access, and continuous monitoring are all part of the proposed facility. It will be continuously staffed and a medical services room is also being provided onsite.

#### 4.3 Site Context

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C10 – Service Commercial	Commercial
East	I1 – Business Industrial	Commercial / Industrial
South	C10 – Service Commercial	Commercial
West	C10 – Service Commercial	Commercial

#### Subject Property Map:



Context Map:



Zoning Map:



#### 4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	C10 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Floor Area Ratio	0.65	0.36
Site Coverage	60%	11.9%
Height	12.0m / 3 storeys	10.5m / 3 storeys
Front Yard	2.0m	24m
Side Yard (north)	0.0m	7.5m
Side Yard (south)	0.0m	4.5m
Rear Yard	0.0m	48m
Other Regulations		
Minimum Parking Requirements	16 stalls	16 stalls
Loading Stall	1 stall	1 stall
Bicycle Parking	Class 1: 1 stalls Class 2: 5 stalls	Class 1: 48 stalls Class 2: 5 stalls
Private Open Space	N/A	provided

### 5.0 Current Development Policies

#### 5.1 Kelowna Official Community Plan (OCP)

##### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).



## Social Sustainability

**Housing Availability.**<sup>2</sup> Support the provision of housing for all members of the community, including those in core housing need or requiring special needs housing (transitional, age in place, emergency or shelter).

### Development Permit Guidelines.<sup>3</sup>

#### Comprehensive Development Permit Area

Consideration has been given to the following guidelines as identified in Section 14.A. of the City of Kelowna Official Community Plan relating to Comprehensive Development Permit Areas:

COMPREHENSIVE DEVELOPMENT PERMIT AREA	YES	NO
<b>Authenticity and Regional Expression</b>		
Do landscaping and building form convey a character that is distinct to Kelowna and the Central Okanagan?		X
Are materials in keeping with the character of the region?		X
Are colours used common in the region's natural landscape?	X	
Does the design provide for a transition between the indoors and outdoors?	X	
<b>Context</b>		
Does the proposal maintain the established or envisioned architectural character of the neighbourhood?	X	
Does interim development consider neighbouring properties designated for more intensive development?	X	
Is the design unique without visually dominating neighbouring buildings?	X	
<b>Human Scale</b>		
Are architectural elements scaled for pedestrians?	X	
Are façades articulated with indentations and projections?	X	
Are building facades designed with a balance of vertical and horizontal proportions?	X	
Are horizontal glazed areas divided into vertically proportioned windows separated by mullions or building structures?	X	
Does the design incorporate roof overhangs and the use of awnings, louvers, canopies and other window screening techniques?	X	
<b>Exterior Elevations and Materials</b>		
Are buildings finished with materials that are natural, local, durable and appropriate to the character of the development?		X
Are entrances visually prominent, accessible and recognizable?	X	
Are higher quality materials continued around building corners or edges that are visible to the public?		X

<sup>2</sup> City of Kelowna Official Community Plan, Policy 10.3.1 (Social Sustainability Chapter).

<sup>3</sup> City of Kelowna Official Community Plan, Chapter 14.

<b>COMPREHENSIVE DEVELOPMENT PERMIT AREA</b>	<b>YES</b>	<b>NO</b>
Are a variety of materials used to create contrast, enhance the pedestrian environment and reduce the apparent mass of a building?		X
Are elements other than colour used as the dominant feature of a building?		X
<b>Public and Private Open Space</b>		
Does public open space promote interaction and movement through the site?		X
Are public and private open spaces oriented to take advantage of and protect from the elements?	X	
Is there an appropriate transition between public and private open spaces?	X	
Are amenities such as benches, garbage receptacles, bicycle stands and community notice boards included on site?	X	
<b>Site Access</b>		
Is the safe and convenient movement of pedestrians prioritized?		X
Are alternative and active modes of transportation supported through the site design?	X	
Are identifiable and well-lit pathways provided to front entrances?	X	
Do paved surfaces provide visual interest?	X	
Is parking located behind or inside buildings, or below grade?		X
Do vehicle and service accesses have minimal impact on the streetscape and public views?	X	
Is visible and secure bicycle parking provided in new parking structures and parking lots?	X	
<b>Environmental Design and Green Building</b>		
Does the proposal consider solar gain and exposure?	X	
Are green walls or shade trees incorporated in the design?		X
Does the site layout minimize stormwater runoff?	X	
Are sustainable construction methods and materials used in the project?	X	
Are green building strategies incorporated into the design?	X	
<b>Decks, Balconies, Rooftops and Common Outdoor Amenity Space</b>		
Are decks, balconies or common outdoor amenity spaces provided?	X	
Does hard and soft landscaping enhance the usability of decks, balconies and outdoor amenity spaces?	X	
Are large flat expanses of roof enhanced with texture, colour or landscaping where they are visible from above or adjacent properties?		X
<b>Amenities, Ancillary Services and Utilities</b>		
Are loading, garage, storage, utility and other ancillary services located away from public view?		X



<b>COMPREHENSIVE DEVELOPMENT PERMIT AREA</b>	<b>YES</b>	<b>NO</b>
Are vents, mechanical rooms / equipment and elevator penthouses integrated with the roof or screened with finishes compatible with the building's design?	X	
<b>Landscape Development and Irrigation Water Conservation</b>		
Does landscaping:	-	-
<ul style="list-style-type: none"> <li>Compliment and soften the building's architectural features and mitigate undesirable elements?</li> </ul>	X	
<ul style="list-style-type: none"> <li>Maintain the dominant pattern of landscaping along the street and surrounding properties?</li> </ul>	X	
<ul style="list-style-type: none"> <li>Enhance the pedestrian environment and the sense of personal safety?</li> </ul>	X	
<ul style="list-style-type: none"> <li>Screen parking areas, mechanical functions, and garbage and recycling areas?</li> </ul>	X	
<ul style="list-style-type: none"> <li>Respect required sightlines from roadways and enhance public views?</li> </ul>	X	
<ul style="list-style-type: none"> <li>Use native plants that are drought tolerant?</li> </ul>	X	
Do parking lots have one shade tree per four parking stalls?		X
<i>Irrigation System Guidelines</i>		
Is the Irrigation Plan prepared by a Qualified Professional?	X	
Are irrigation circuits grouped into "hydro-zones" of high, medium and low or unirrigated / unwatered areas consistent with the landscaping plan?	X	
Is drip or low volume irrigation used?	X	
Are the required written declarations signed by a qualified Certified Irrigation Designer?	X	
<b>Crime prevention</b>		
Are CPTED practices as related to landscaping, siting, form and exterior design included in the design?	X	
Are building materials vandalism resistant?	X	
<b>Universal Accessible Design</b>		
Is access for persons with disabilities integrated into the overall site plan and clearly visible from the principal entrance?	X	
Are the site layout, services and amenities easy to understand and navigate?	X	
<b>Lighting</b>		
Does lighting enhance public safety?	X	
Is "light trespass" onto adjacent residential areas minimized?	X	
Does lighting consider the effect on the façade, neighbouring buildings and open spaces?	X	
Is suitably scaled pedestrian lighting provided?	X	

## 6.0 Technical Comments

### 6.1 Building & Permitting

- 1) Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- 2) A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
  - a. An alternative solution accepted by the Chief Building Inspector in lieu of the required fire separations at both main entrances are required prior to the release of the Building Permit.
  - b. Proof of modular certification for multilevel units are required from the supplier of the units
  - c. Fire prevention department to provide comment of access to the building
  - d. Hard surfaced paths leading from the egress stairwells to a safe area are to be clearly defined as part of the DP
  - e. Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
- 3) Access to the roof is required per NFPA and guard rails may be required and should be reflected in the plans if required.
- 4) A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application.
- 5) Fire resistance ratings are required for units, storage, janitor and/or garbage enclosure room(s) at time of building permit application. The drawings submitted for building permit is to clearly identify how this rating will be achieved and where these area(s) are located.
- 6) An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units, number of required exits per area
- 7) Full Plan check for Building Code related issues will be done at time of Building Permit applications.

### 6.2 Development Engineering

See Attached.

### 6.3 Fire Department

- Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required.
  - Fire Department access is to be met as per BCBC 3.2.5. and accommodate the largest apparatus;
  - a fire alarm meeting the requirements of CAN/ULC S-524 shall be installed;
  - If a sprinkler system is installed it is to be monitored by an agency meeting the CAN/ULC S561 Standard.
  - Fire department connection is to be within 45M of a fire hydrant - unobstructed and ensure FD connection is clearly marked and visible from the street. Upon completion an owners certificate and copy of NFPA 25 shall be provided for the sprinkler system.
- A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD as well as a fire pre-plan as per bylaw 10760
- Approved Fire Department steel lock box acceptable to the fire dept. is required by the fire dept. entrance and shall be flush mounted



- dumpster/refuse container must be 3 meters from structures or overhangs or in a rated room in parkade

## **7.0 Application Chronology**

Date of Application Received: November 27, 2017

BC Housing Open House: March 19, 2018

Revised Application Received: March 29, 2018

**Report prepared by:** Alec Warrender, Property Officer Specialist

**Reviewed by:** Ryan Smith, Community Planning Department Manager

**Approved for Inclusion:** Doug Gilchrist, Divisional Director, Community Planning & Strategic Initiatives

### **Attachments:**

Development Engineering Memorandum

Applicants Letter of Rationale

Draft Development Permit DP17-0255

Schedule A: Site Plan

Schedule B: Conceptual Elevations

Schedule C: Landscape Plan



# DP17-0255 1642 Commerce Ave

Development Permit

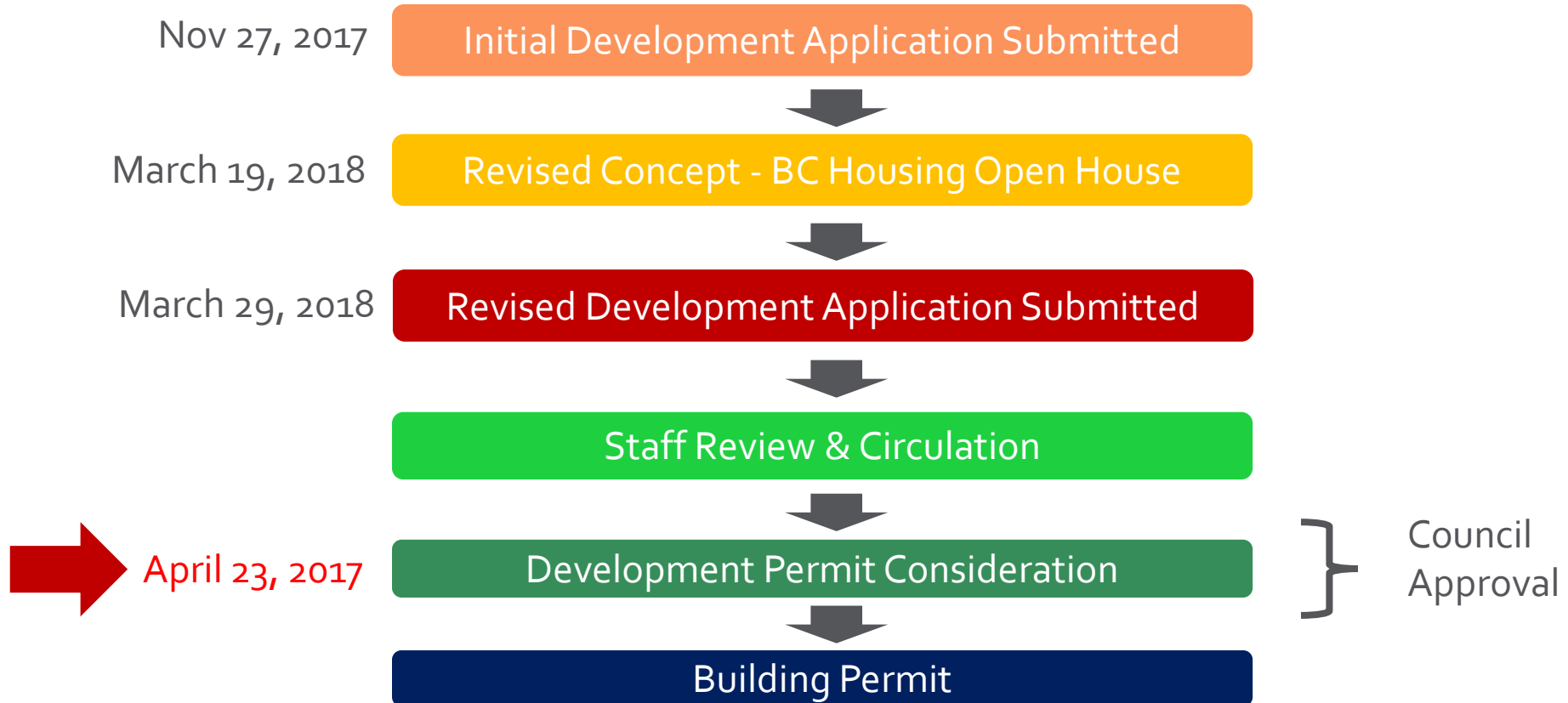




# Proposal

- ▶ To consider a Form & Character Development Permit for a 46-unit housing project with support services.

# Development Process

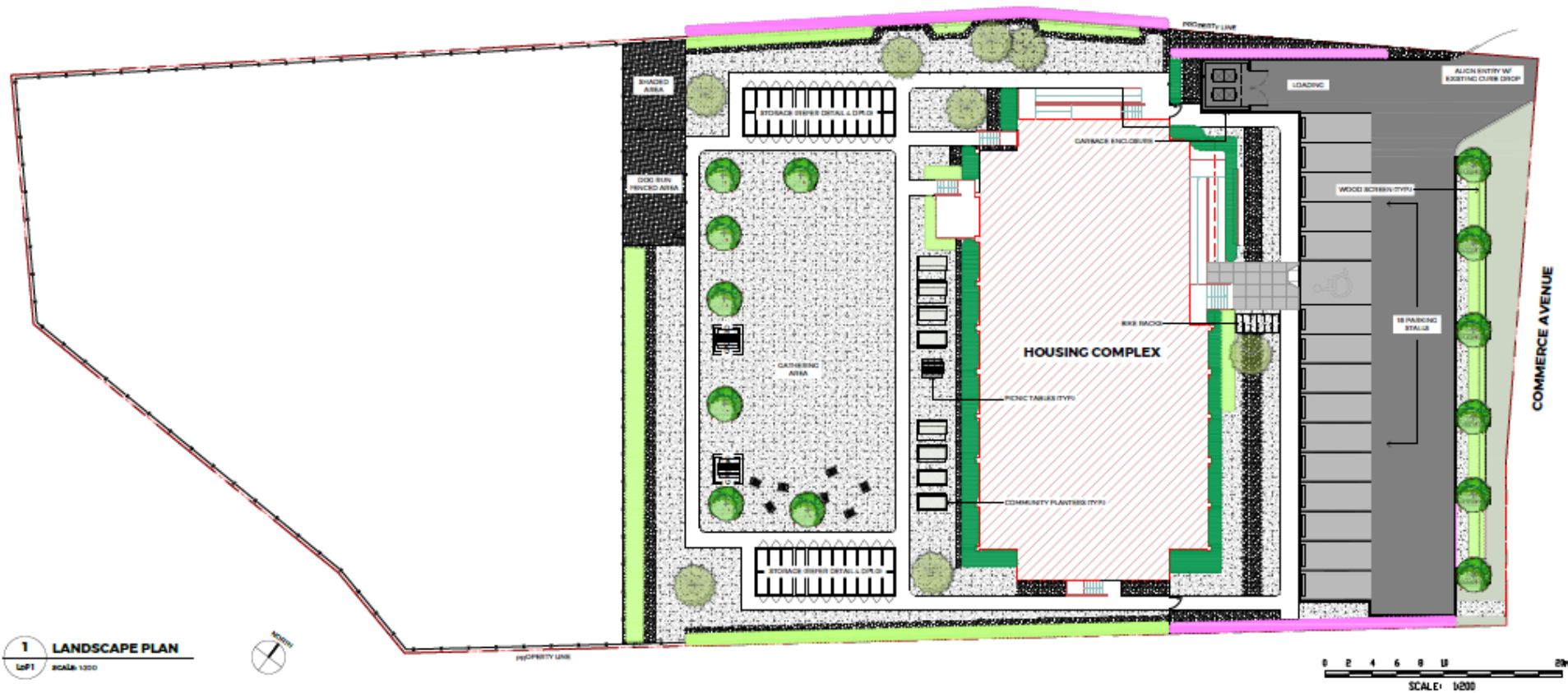




# Subject Property Map



# Site Plan





# Elevations



# Technical Details

- ▶ 46-Unit Modular building with support services
  - ▶ Modular Units on temporary foundation
  - ▶ Amenity Building facing Commerce Avenue
  - ▶ Provided necessary landscape buffers
  - ▶ Large amenity space and appropriate storage
  - ▶ 16 parking stalls required & 16 provided



## **Somewhat Walkable**

Some errands can be accomplished on foot.



## **Some Transit**

A few nearby public transportation options.



# Development Policy

## Development Process

- ▶ **Compact Urban Form.** Develop a compact urban form that maximizes the use of existing infrastructure.

## Social Sustainability

- ▶ **Housing Availability.** Support the provision of housing for all members of the community, including those in core housing need or requiring special needs housing (transitional, age in place, emergency or shelter).

# Public Notification Policy #367

- ▶ Development Permits do not have any notification requirements;
  - ▶ BC Housing hosted an Open House on March 19<sup>th</sup>, 2018.



# Staff Recommendation

- ▶ Staff recommend support for the Development Permit:
  - ▶ Meets staff expectations for a temporary and rapid response to housing project funded by BC Housing



## *Conclusion of Staff Remarks*



---

## CITY OF KELOWNA

# MEMORANDUM

---

**Date:** March 29, 2018  
**File No.:** DP17-0255 revised  
**To:** RESB (AW)  
**From:** Development Engineering Manager (JK)  
**Subject:** 1642 Commerce Avenue ZONE: C10

---

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Ryan O'Sullivan

1. Domestic Water and Fire Protection

- a) The property is located within the Rutland Waterworks District (RWD)
- b) Provide an adequately sized domestic water and fire protection system complete with individual lot connections. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. Provide water calculations for this subdivision to confirm this. Ensure every building site is located at an elevation that ensures water pressure is within the bylaw pressure limits.
- a) The developer is required to make satisfactory arrangements with the RWD for these items. All charges for service connection and upgrading costs, as well as any costs to decommission existing services are to be paid directly to RWD.
- c) Design drawings must be reviewed by the Rutland Waterworks District prior to the City issuing the drawings for construction. Confirmation of their review must be provided to the City.

2. Sanitary Sewer

- (a) Our records indicate that this proposed development site is connected with a 150mm diameter sewer service. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing service and the installation of one new larger service if necessary.

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision, Development and Servicing Bylaw 7900. The storm water

management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.

- (b) Only one service will be permitted for this development. The applicant, at his cost, will arrange for the installation of one new overflow service if required.

4. Road Improvements

- (a) Frontage on Commerce is at a urban standard with exception of landscaping. Landscaped fronting this development will be included in the onsite landscape plans. Irrigation will be tied into 1642 Commerce Avenue water service.

- (b) Only one driveway access per lot, please adjust parking lot.

5. Transportation

- a) These Development Engineering comments/requirements are subject to the review and requirements from the Ministry of Transportation (MOT) Infrastructure Branch.

6. Subdivision

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) Dedication for the Harvey Ave right turn lane may be required. Confirmation by design drawing is necessary.
- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

7. Electric Power and Telecommunication Services

- a) All proposed distribution and service connections are to be installed underground.
- b) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.

8. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the city engineering department for review and marked "issued for construction" by the city engineer before construction may begin.

9. Design and Construction



- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

11. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.

- (e) Additional geotechnical survey may be necessary for building foundations, etc.

12. Development Permit and Site Related Issues

Access and Manoeuvrability

- (i) An MSU size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways.
- (ii) Indicate on the site, the locations of loading bays as well as the garbage and recycle bins.

---

James Kay, P. Eng.  
Development Engineering Manager

RO





## HORIZON NORTH

March 28, 2018

City of Kelowna  
1435 Water St  
Kelowna, BC  
V1Y 1J4

Re: Rationale for Project  
Modular Housing Facility – 46 Dorm Modular Building with Kitchen at 1642 Commerce Avenue

### Overview

The building at 1642 Commerce Ave is a 23,212 sq ft (2,156 square meter), 46 bed supportive housing center complete with dining area, and support service offices on 63,776 sq ft (5,925 square meters) of land, and located between Enterprise Way and Highway 97. The C-10 zoning supports this type of use.

### The Site

The location is close to transit routes along Enterprise Way, Highway 97, and highway 33, and is a short distance from the Rail to Trail corridor allowing for relatively easy access to and from the site, especially from both the Downtown and Rutland Town Centres while not bringing people directly to those areas.

The property is level and suitable for outdoor use.

### The Building

The building itself comprised of modular building units on a temporary wood frame foundation to meet BC Housings needs for rapid response supportive housing and is intended to be relocated to another town or neighbourhood as their needs shift.

The dwelling units are approximately 250 square foot studio-style rooms in a three storey building, complete with their own private bathrooms. Shared laundry is available within the public space.

The amenity space, or core of the building, is on the first floor with a 44 seat dining facility, commercial kitchen, lounge, washrooms and offices. This space is to act as reception hall, and support service facility in addition to being a gathering space for residents.

### The Grounds

Outside of the amenity building a gathering area behind the amenity core to provides some privacy to the occupants of the facility and allows them room to safely move about. Storage lockers will be provided to secure bicycles and extra belongings as well. The property will be surrounded by a fence to control where people access the building, and the grounds will be monitored by CCTV for the safety of the occupants.

A fenced dog run is provided for those occupants that have them. The area will be large enough to hold several animals while

Parking is provided for the staff as well as for people staying at the facility along with ample bicycle parking and shower facilities.

## Safety

Safety of the tenants is paramount as many of them are at risk people. Between CCTV system, staged fencing, controlled access, and continuous monitoring issues can be spotted and de-escalated. The facility will be continuously staffed, and a medical services room is being provided.



# Development Permit

## DP17-0255



This permit relates to land in the City of Kelowna municipally known as

1642 Commerce Avenue

and legally known as

Lot 5 District Lot 125 ODYD Plan KAP73825

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: April 23<sup>rd</sup>, 2018

Decision By: CITY COUNCIL

Issued Date: Tbd

Development Permit Area: Comprehensive Development Permit Area

File Manager: Alec Warrender

**This permit will not be valid if development has not commenced by April 23, 2020.**

Existing Zone: C10 – Service Commercial

Future Land Use Designation: Service Commercial

### **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

### **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner's Agent: Horizon North on behalf of BC Housing

Address: 540 Athabasca Street

City: Kamloops, BC

Phone: 250-371-1300

\_\_\_\_\_  
Ryan Smith, Community Planning Department Manager  
Community Planning & Strategic Investments

\_\_\_\_\_  
Date

#### **1. SCOPE OF APPROVAL**

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be

granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## **2. CONDITIONS OF APPROVAL**

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## **3. PERFORMANCE SECURITY**

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of tbd.

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## **4. Indemnification**

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**



# BC HOUSING TRANSITIONAL HOUSING

1642 COMMERCE AVENUE  
KELOWNA, BC

MARCH 28, 2018



**SCHEDULE A**

This forms part of application  
# DP17-0255

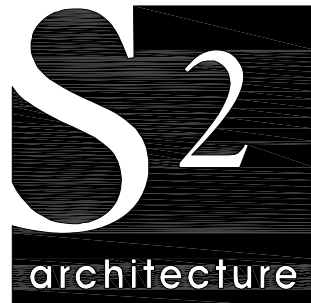
Planner  
Initials

AW



THESE DRAWINGS AND  
DESIGNS ARE THE SOLE  
PROPERTY OF HORIZON  
NORTH AND MAY NOT BE  
REPRODUCED OR SUBMITTED  
TO OUTSIDE PARTIES WITHOUT  
THE EXPRESSED WRITTEN  
CONSENT OF HORIZON NORTH

1.	18/03/28	Issued For DP Submission	MEH	CZ	
No.	Y	MD	REVISION	BY	CHKD



PROJ # :	P24147
TN # :	TN#
SCALE :	AS INDICATED
DRAWN BY :	MEH
CHECKED :	CZ

**BC HOUSING  
TRANSITIONAL HOUSING  
KELOWNA, BC  
COVER SHEET**

DWG No.:

**DP0.0**



Drawing List
DP 0.0    COVER PAGE
DP 0.1    PROJECT STATISTICS
DP 1.0    SITE PLAN / SITE DETAILS
DP 2.0    FLOOR PLANS
DP 3.0    ELEVATIONS

Municipal Address
1642 COMMERCE AVE KELOWNA, BC

Legal Address
KID: 605371 PLAN: 73825 LOT: 5

Site Summary
PARCEL AREA: 5,924.9m² 0.59 ha 1.46 acres

By-Law Zoning
COMMERCIAL ZONE - C10

Proposed Development
PERMITTED USES: (kk)    supportive housing
PROVIDED USE: supportive housing

Subdivision Regulations
MINIMUM LOT WIDTH: 30.0m PROVIDED LOT WIDTH: +/-51.7m AT CENTER OF SITE
MINIMUM LOT DEPTH: 30.0m PROVIDED LOT DEPTH: +/-125.0m AT CENTER OF SITE
MINIMUM LOT AREA: 1,000m² PROVIDED LOT AREA: 5,924.9m²

Floor Area Ratio/ Site Coverage
MAXIMUM PERMITTED F.A.R. 0.65 PROPOSED F.A.R. 0.36
MAXIMUM SITE COVERAGE 60% PROPOSED SITE COVERAGE 11.9%

Building Height
MAXIMUM BUILDING HEIGHT Is the lesser of 12.0m or 3 Storeys
PROPOSED BUILDING HEIGHT 10.5m 3 Storeys

By-Law Setback Summary
MINIMUM SETBACK AREAS FRONT YARD: 2.0m
SIDE YARD: 0m 2.0m when abutting or flanking a street 4.5m when adjacent to a residential, agricultural, or industrial zone
REAR YARD: 0m
NOTE: side yards do not abut or flank a street adjacent properties are as follows: industrial to east commercial to south commercial to west

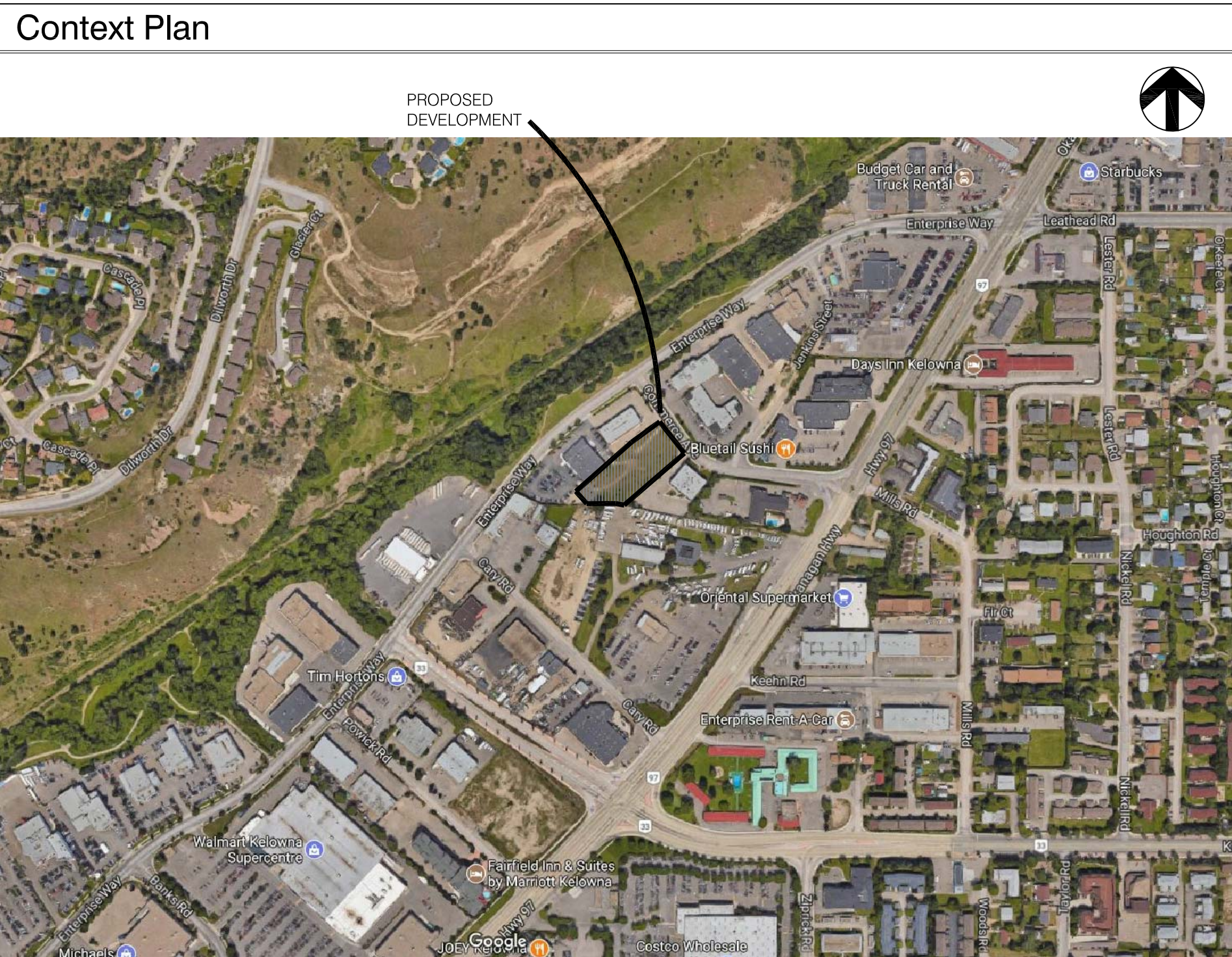
Dwelling Unit Count
MAIN FLOOR 10 Studio Units SECOND FLOOR 18 Studio Units THIRD FLOOR 18 Studio Units TOTAL: 46 Studio Units

Area Summary		
GROSS FLOOR AREA		
LEVEL		AREA
BUILDING MAIN FLOOR		703.5m²
BUILDING 2nd FLOOR		726.5m²
BUILDING 3rd FLOOR		726.5m²
TOTAL GROSS FLOOR AREA		2156.5m²

Motor Vehicle Parking Requirement
REQUIRED: Supportive Housing: 1 stall per 3 dwelling units: 46 units / 3 = 16 stalls
Provided Parking: 16 Stalls

Loading Requirement
REQUIRED: Commercial Uses: 1 per 1,900m² GFA
Provided: 1 Stall

Bicycle Parking Requirement
REQUIRED: Congregate Housing: Class 1: 1 per 25 employees Class 2: 5 per building public entrance
Provided: Class 1: 48 storage units provided in lieu of class 1 bicycle stalls Class 2: 5 bicycle stalls



SCHEDULE

A

This forms part of application  
# DP17-0255

Planner  
Initials

AW

City of  
Kelowna

COMMUNITY PLANNING



1 Property Overall  
DP0.1



2 Frontage Looking South  
DP0.1



3 Property Line on Left Side of Site  
DP0.1



4 Property Line on Right Side of Site  
DP0.1



5 Rear Lot Looking North  
DP0.1



6 Rear Lot Looking South  
DP0.1

THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH

1.	18/03/28	Issued For DP Submission	MEH	CZ	
No.	Y	M	D	REVISION	BY
					CHKD



PROJ # :	P24147
TN # :	TN#
SCALE :	AS INDICATED
DRAWN BY :	MEH
CHECKED :	CZ

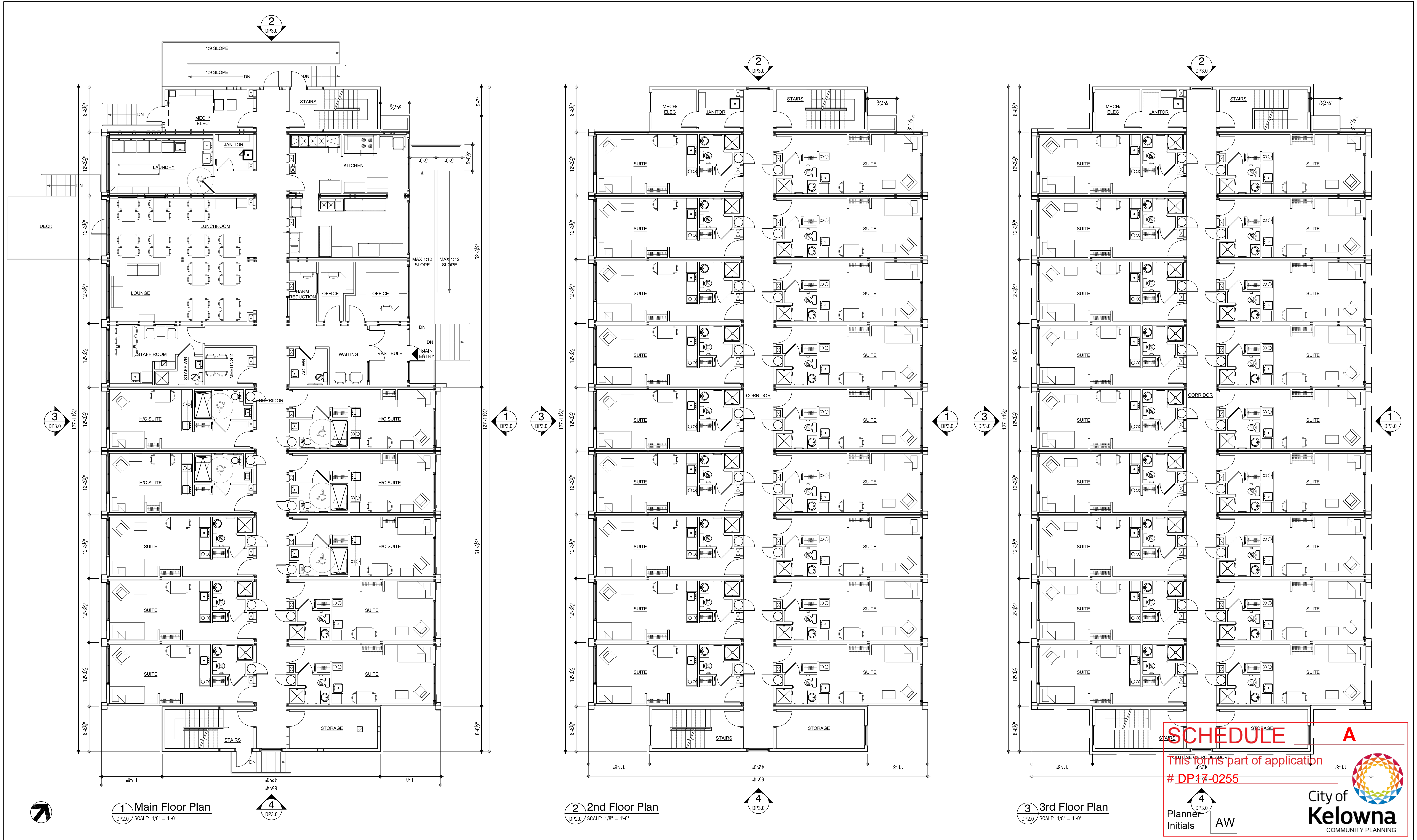
BC HOUSING  
TRANSITIONAL HOUSING  
KELOWNA, BC  
PROJECT STATISTICS

DWG No.:  
DP0.1









THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH	1. 18/03/28 Issued For DP Submission		MEH	CZ		
	No.	Y	M	D	REVISION	BY



HORIZON NORTH



BC HOUSING



S2  
architecture

PROJ # :	P24147
TN # :	TN#
SCALE :	AS INDICATED
DRAWN BY :	MEH
CHECKED :	CZ

**BC HOUSING**  
**TRANSITIONAL HOUSING**  
**KELOWNA, BC**  
**FLOOR PLANS**

DWG No.:

**DP2.0**



SCHEDULE

This forms part of application

# DP17-0255

Planner Initials

AW

City of Kelowna

COMMUNITY PLANNING

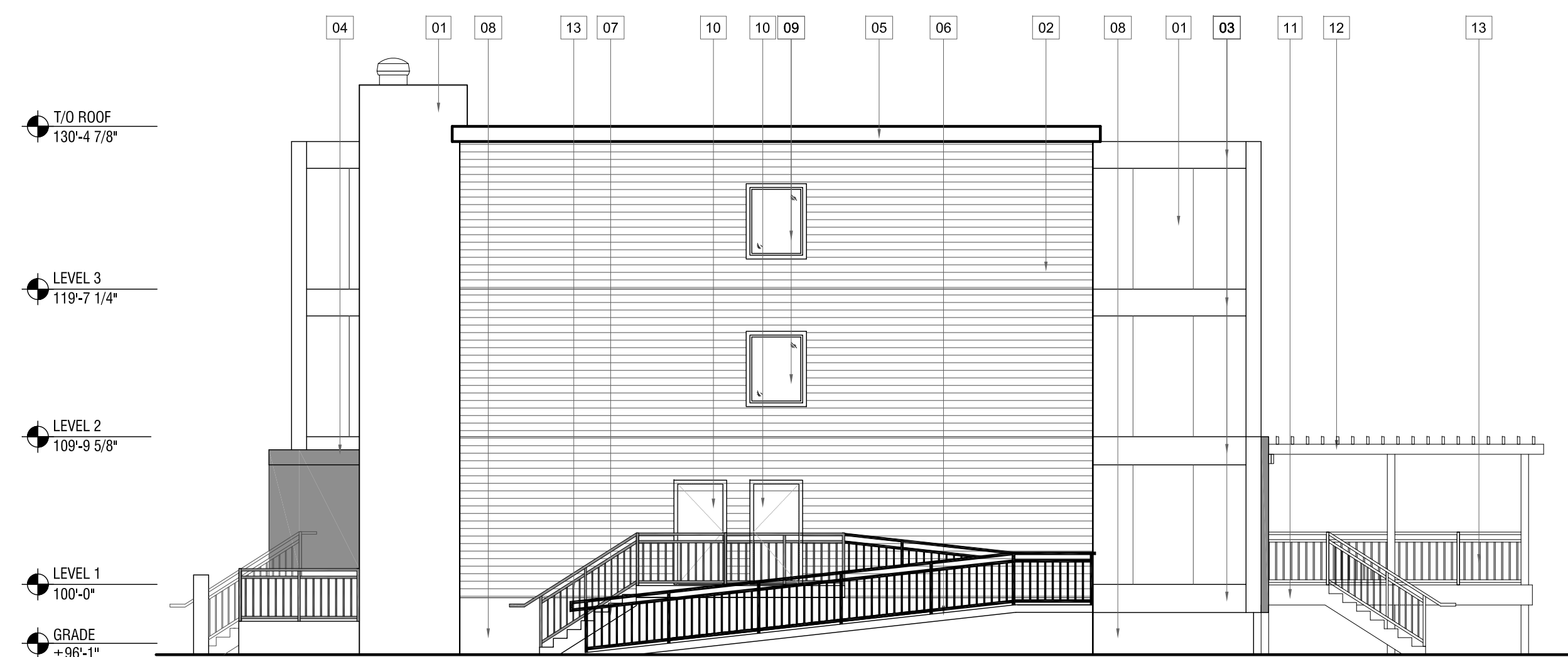


Elevations - Code Legend

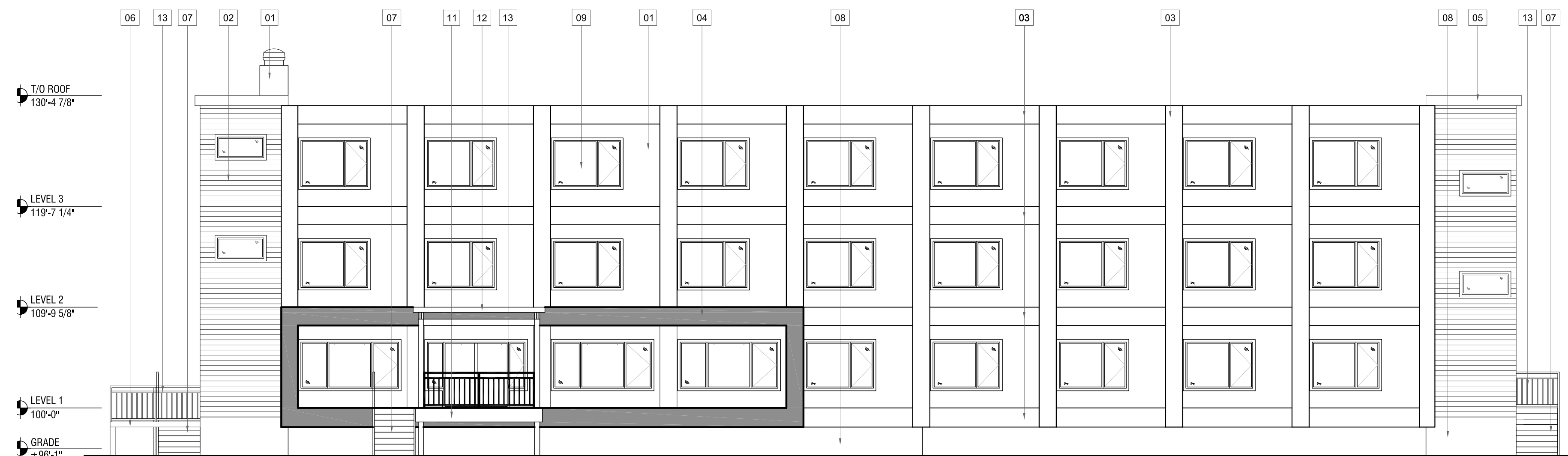
- 01 FIBRE CEMENT PANEL - WHITE
- 02 FIBRE CEMENT PLANK - CHARCOAL
- 03 FIBRE CEMENT BAND - WHITE
- 04 FIBRE CEMENT BAND - YELLOW
- 05 FIBRE CEMENT FASCIA - CHARCOAL
- 06 P.T. WOOD RAMP
- 07 P.T. WOOD STAIRS
- 08 CORRUGATED METAL SIDING
- 09 PVC WINDOW - WHITE
- 10 STEEL DOORS - WHITE
- 11 P.T. WOOD DECK
- 12 P.T. WOOD TRELLIS
- 13 ALUMINUM HANDRAIL/GUARD



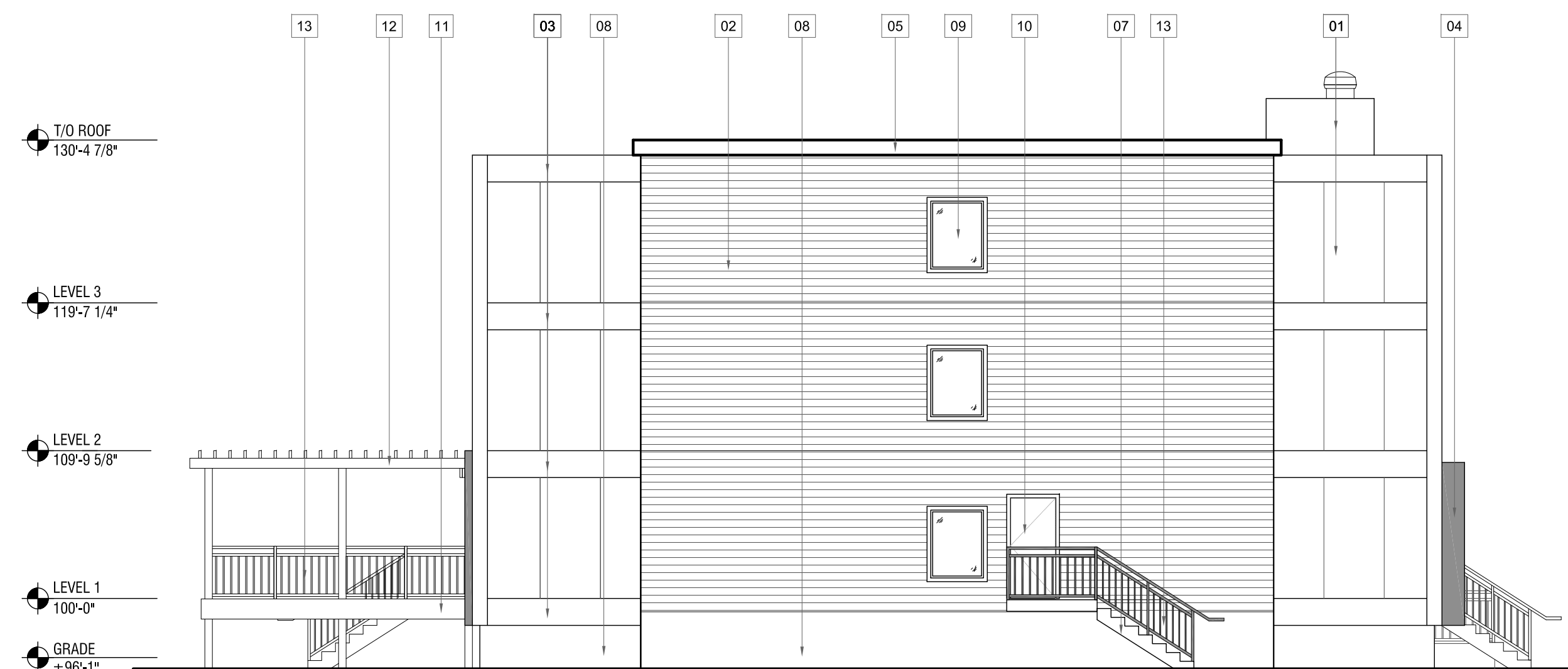
1 Building Northeast Elevation  
DP3.0 SCALE: 1/8" = 1'-0"



2 Building Northwest Elevation  
DP3.0 SCALE: 1/8" = 1'-0"



3 Building Southwest Elevation  
DP3.0 SCALE: 1/8" = 1'-0"



4 Building Southeast Elevation  
DP3.0 SCALE: 1/8" = 1'-0"

THESE DRAWINGS AND DESIGNS ARE THE SOLE PROPERTY OF HORIZON NORTH AND MAY NOT BE REPRODUCED OR SUBMITTED TO OUTSIDE PARTIES WITHOUT THE EXPRESSED WRITTEN CONSENT OF HORIZON NORTH

1.	18/03/28	Issued For DP Submission	MEH	CZ	
No.	Y	M	D	REVISION	BY
					CHKD



PROJ # :	P24147
TN # :	TN#
SCALE :	AS INDICATED
DRAWN BY :	MEH
CHECKED :	CZ

BC HOUSING  
TRANSITIONAL HOUSING  
KELOWNA, BC  
ELEVATIONS

DWG No.:  
DP3.0

# SCHEDULE

This forms part of application  
# DP17-0255

Planner  
Initials

B



City of  
**Kelowna**  
COMMUNITY PLANNING

AW

An architectural rendering of a modern, multi-story residential building. The building features a light-colored facade with prominent vertical and horizontal white lines creating a grid-like pattern around the windows. The windows are rectangular and appear to be double-paned. To the left of the main building, there is a section with dark brown horizontal siding. In the foreground, there is a paved parking lot with white parking lines. A red sports car is parked in one space, and a green pickup truck is parked in another. Two people are walking on a sidewalk to the left, and two more people are standing near a wooden ramp or staircase on the right side of the building. The sky is blue with scattered white clouds.

ed by S2 Architecture  
istic representations and are subject to change

110



SCHEDULE

This forms part of application

# DP17-0255

Planner Initials

AW

B

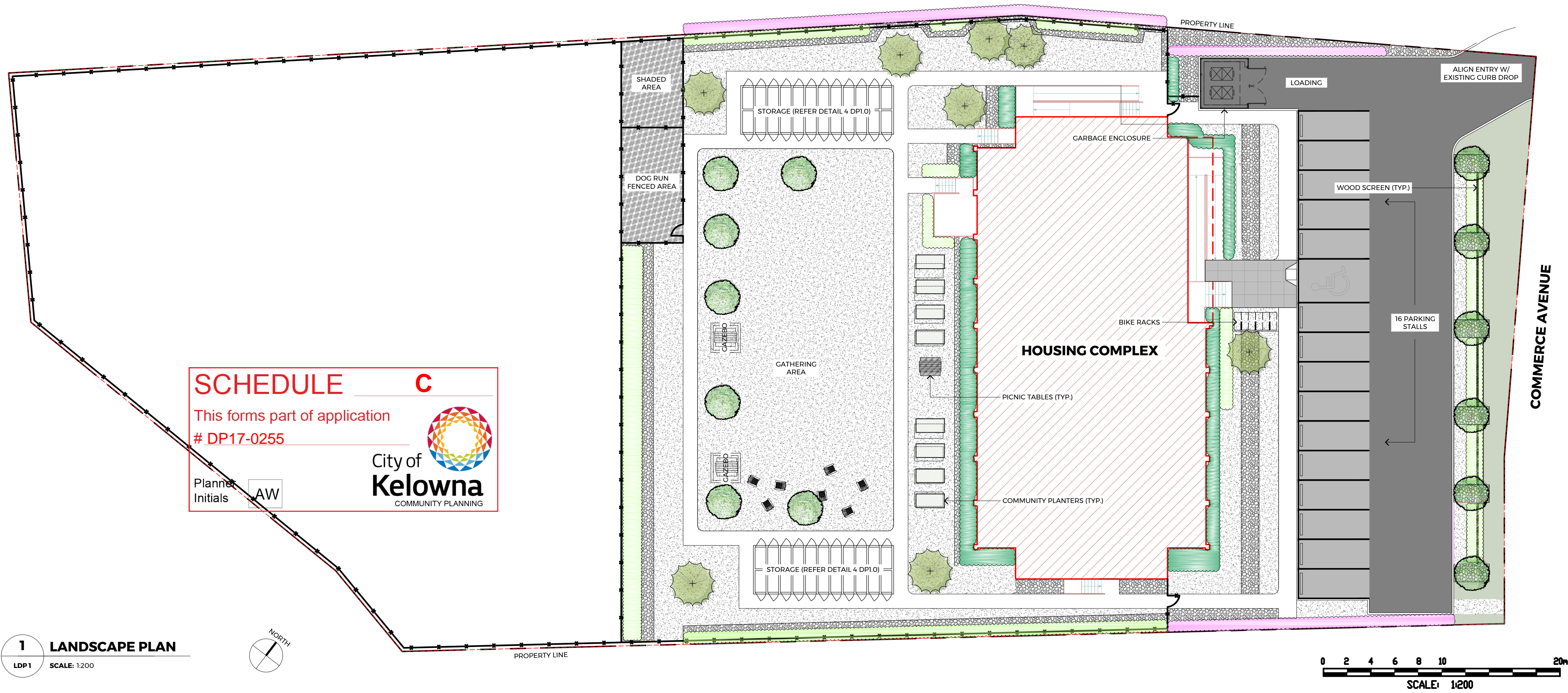


City of Kelowna

COMMUNITY PLANNING







SCHEDULE

C

This forms part of application

# DP17-0255

Planner Initials

AW

City of Kelowna

COMMUNITY PLANNING



Pennisetum alopecuroides 'Little Bunny'



Pinus sylvestris



Populus x jackii 'Northwest'

LANDSCAPE PLAN LEGEND:

- LIMIT OF WORK
- PROPERTY LINE
- SET BACK
- 1.8m HGT. OPAQUE CHAIN LINK FENCE w/ GATE
- C.I.P. CONCRETE PAVING
- SOD AREA
- GREY CRUSHER CHIP PAVING
- DECORATIVE COBBLE
- BARK MULCH
- ROSE HEDGE
- ORNAMENTAL GRASS / PERENNIAL PLANTING
- EVERGREEN FOUNDATION PLANTING
- BIKE RACKS
- ADIRONDACK CHAIR (OPTIONAL)

REPRESENTATIVE PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE PLANT SIZE (H X W)
TREES				
Populus x jackii 'Northwest'	Northwest Poplar	60mm Cal.	B&B	15.00m x 6.00m
Pinus sylvestris	Scotch Pine	2.5m HGT.	B&B	15.00m x 11.00m
SHRUBS				
Juniperus chinensis 'Seagreen'	Sea Green juniper	#02	Potted	1.80m x 2.40m
Rosa rugosa 'Hansa'	Hansa Rose	#02	Potted	0.30 x 1.50m
PERENNIALS GRASSES				
Miscanthus sinensis 'Gracillimus'	Maiden Grass	#01	Potted	1.80m x 2.10m
Rudbeckia fulgida 'Goldsturm'	Goldsturm Coneflower	#01	Potted	0.75m x 0.60m
Pennisetum alopecuroides 'Little Bunny'	Fountain Grass	#01	Potted	0.45m x 0.60m
Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	#01	Potted	0.75m x 0.90m



BIKE RACKS



Rosa rugosa 'Hansa'



WOOD SCREENING



Rudbeckia fulgida 'Goldsturm'



Nepeta racemosa 'Walkers Low'



Miscanthus sinensis 'Gracillimus'



Juniperus chinensis 'Seagreen'



LARGE AND SMALL CRUSHED STONE

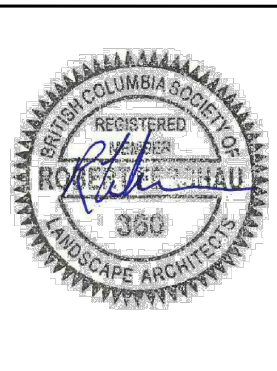
- LANDSCAPE DEVELOPMENT DATA:
- PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARDS (CURRENT EDITION).
  - THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.
  - PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
  - ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.
  - ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
  - THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

© 2018, Horizon North Modular Solutions Inc. ("Horizon"). All rights reserved. This document contains confidential information of Horizon and may not be used or disclosed, other than for the limited purpose(s) for which it is furnished, except with the written permission of Horizon.

2	18/04/03	DP RESUBMISSION	CR	AS	
1	18/03/27	DP SUBMISSION	CR	AS	
No.	Y M D	REVISION	BY	CHKD	

HORIZON NORTH

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING  
540 Leon Ave. Kelowna, BC V1Y 6J6 t: 250.869.1334 www.wsp.com



PROJ # :	####
M# :	
SCALE :	1:200
DRAWN BY :	CR

BC HOUSING - TRANSITIONAL HOUSING

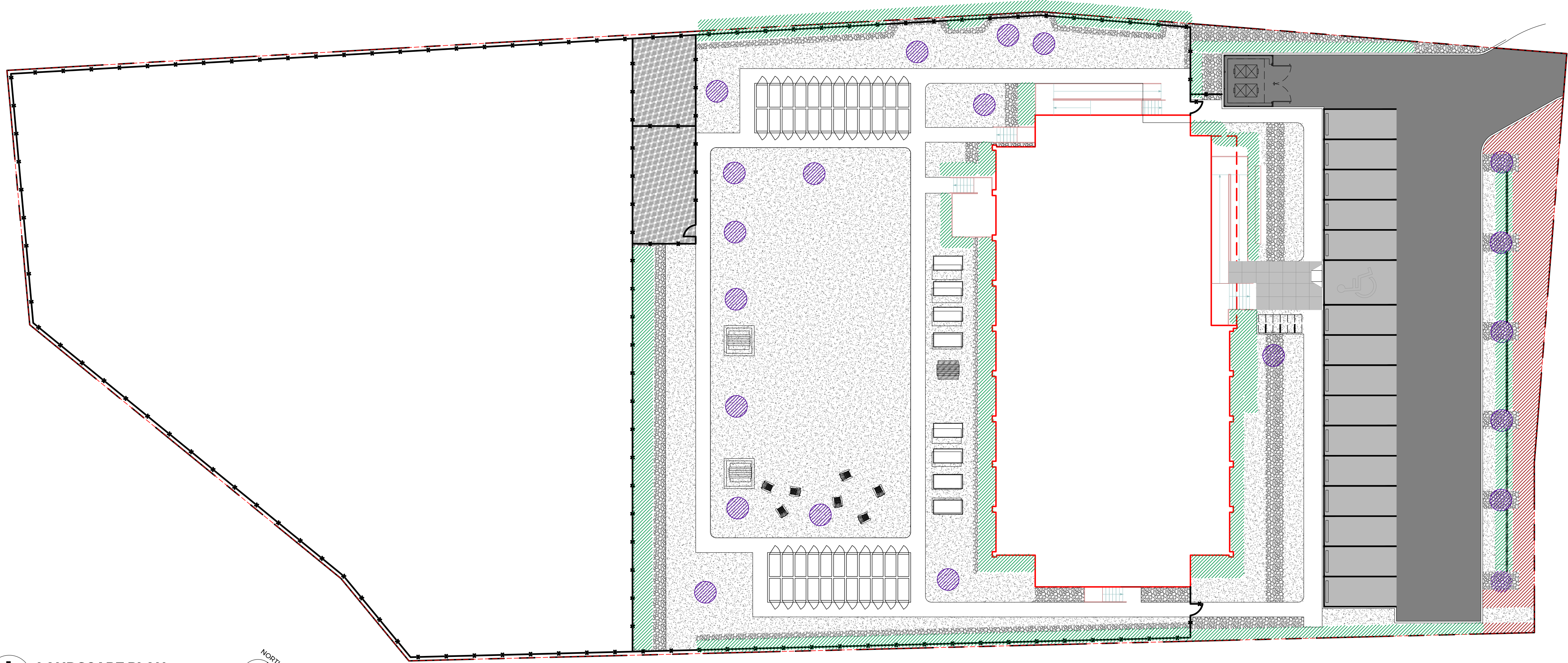
1642 COMMERCE AVE, KELOWNA

LANDSCAPE PLAN

DWG No.:

LDP1





HYDROZONE LEGEND:

- LOW WATER REQUIREMENTS (313.0m. sq.)
- MEDIUM WATER REQUIREMENTS (53.0m. sq.)
- HIGH WATER REQUIREMENTS (113.0m. sq.)

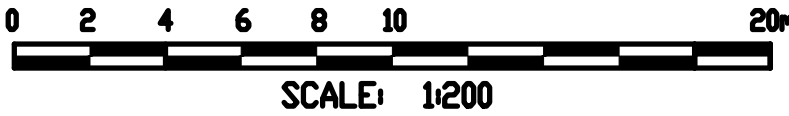
SCHEDULE C

This forms part of application  
# DP17-0255

Planner Initials AW

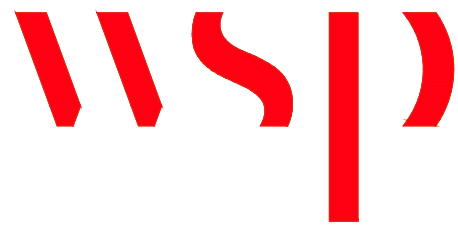


1 LANDSCAPE PLAN  
LDP1 SCALE: 1:200



© 2018, Horizon North Modular Solutions Inc. ("Horizon"). All rights reserved. This document contains confidential information of Horizon and may not be used or disclosed, other than for the limited purpose(s) for which it is furnished, except with the written permission of Horizon.

2	18/04/03	DP RESUBMISSION	CR	AS	
1	18/03/27	DP SUBMISSION	CR	AS	
No.	Y   M   D	REVISION	BY	CHKD	



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING  
540 Leon Ave. Kelowna, BC V1Y 6J6 t: 250.869.1334 www.wsp.com



PROJ # :	####
M# :	
SCALE :	1:200
DRAWN BY :	CR

BC HOUSING - TRANSITIONAL HOUSING  
1642 COMMERCE AVE, KELOWNA  
HYDROZONE PLAN

DWG No.:

LDP2



# Report to Council



**Date:** April 23, 2018  
**File:** 1140-50  
**To:** City Manager  
**From:** M. Olson, Manager, Property Management  
**Subject:** 500 Valley Road – Farm Lease

---

## **Recommendation:**

THAT Council receives, for information, the Report from the Manager, Property Management, dated April 23, 2018, regarding a farm lease of 500 Valley Road;

AND THAT Council approve the farm lease at 500 Valley Road for a term of 20-years as required by the Agricultural Land Commission for the rehabilitation of existing sports fields to agriculture as part of the Agricultural Land Commission Non-Farm Use Approval for development of the Glenmore Recreation Park.

## **Purpose:**

To obtain Council support to enter into a 20-year farm lease of 500 Valley Road as required by the Agricultural Land Commission for development of the Glenmore Recreation Park.

## **Background:**

In 2011, the Agricultural Land Commission (ALC) granted a Non-Farm use approval for the development of Glenmore Recreation Park, subject to a number of agricultural mitigation measures. These measures included the rehabilitation of existing sports fields at 500 Valley Road to an agricultural standard for a future farming operation. The ALC supported the rehabilitation of the current sports fields to an agricultural standard, and a subsequent long-term lease for agricultural uses, as it represents a significant benefit to agriculture. An additional requirement was the registration of a covenant prohibiting the construction of a home on title. This covenant has been registered and the City is in full compliance with ALC requirements under the Non-Farm use approval.

Staff advertised the +/- 7.2 acre (2.9 hectare) parcel for farming use and a single bid was submitted and accepted in April, 2017. The Tenant is a local farmer with 15 years' experience in tree fruit farming, harvesting approximately 40 acres of orchards locally and exporting through the BC Tree Fruits Cooperative. Concurrently, the existing sports fields were decommissioned and reclaimed with the expectation that farming would commence in 2018.



**Key Lease Terms/Conditions:**

A summary of the key terms and conditions of the proposed lease is provided below:

Lease Component	Description
Tenure Type	Farm Lease
Term	4 x 5 years (total 20 years)
Lease Payment	Annual payment of \$1,500 commencing April 1, 2019
Gross Profit	Annual payment of 5% of Gross Profits commencing December 1, 2018
Rent Review	Rent renegotiated for terms 3 & 4, based upon a formal appraisal

**Internal Circulation:**

Senior Project Manager, Infrastructure Delivery  
Parks & Building Planning Manager  
Real Estate Services Manager  
Planner Specialist, Suburban & Rural Planning

**Legal/Statutory Authority:**

Community Charter Part 3, Div. 3, Sec. 26 – Notice of Proposed Property Disposition

**Legal/Statutory Procedural Requirements:**

Community Charter Part 4, Div. 4, Sec. 94 (1) - Posting & Publishing Notice

**Existing Policy:**

OCP Goal 9 Enable Healthy and Productive Agriculture – Promote healthy and productive agriculture through diverse strategies that protect farmlands and food production

OCP Objective 5.33 - Protect and enhance local agriculture

**Considerations not applicable to this report:**

Financial/Budgetary Considerations:  
Personnel Implications:  
External Agency/Public Comments:  
Communications Comments:  
Alternate Recommendation:

**Submitted by:** M. Olson, Manager, Property Management

**Approved for inclusion:** D. Edstrom, Director, Strategic Investments

**Attachments:**

1. Schedule A – Lease Agreement
2. Schedule B - PowerPoint

cc: A. Gibbs, Senior Project Manager, Infrastructure Delivery  
R. Parlane, Parks & Building Planning Manager  
J. Saufferer, Real Estate Services Manager  
L. Bentley, Planner Specialist, Suburban & Rural Planning

## FARM LEASE

Having an effective date of April 1, 2018

### BETWEEN:

**CITY OF KELOWNA**  
1435 Water Street  
Kelowna, British Columbia V1Y 1J4  
  
(the "Landlord")

### AND:

**INDERDEEP SINGH SAMRA**  
878 Kuipers Cres.  
Kelowna, British Columbia V1W 5B1  
  
(the "Tenant")

### WHEREAS:

- A. The Landlord is the owner of certain lands and premises located in the City of Kelowna, in the Province of British Columbia, more particularly known and described on Schedule "A" attached hereto (the "Land").
- B. The Tenant is desirous of leasing those portions of the Land shown as 500 Valley Road, Kelowna, British Columbia outlined in blue on Schedule "A" attached hereto for the purpose of farming.
- C. In consideration of the rents, covenants, conditions and agreements hereinafter reserved and contained on the part of the Tenant to be paid, observed and performed, the Landlord hereby demises and leases unto the Tenant the Land, all on the terms, conditions and covenants as set forth in this Lease.

### 1. TERM OF THE LEASE

- 1.1 To have and to hold the Land from April 1, 2018 to March 31, 2023 (the "First Term").

### 2. RENT

- 2.1 The Tenant shall pay rent for the Land in the amount of One Thousand Five Hundred Dollars (\$1,500.00) plus GST to the Landlord on the 1st day of April in each year of the term, without deduction, set-off or abatement, at the address of the Landlord noted above, or at such other place as the Landlord may direct in writing. The first rental payment is due April 1, 2019.
- 2.2 The Tenant shall pay additional rent of 5% of Gross Profits on the 1st day of April in each year of the Term. The first additional rent payment is due December 1, 2019 and will be submitted with the audited financial statements.

### 3. FINANCIAL STATEMENTS

- 3.1 The Tenant shall submit complete audited financial reports to the City, within 45 days of the end of the season and no later than December 1st of each contract year. The statements will reflect the entire operating season.

### 4. USE OF THE LAND

- 4.1 The Tenant shall use the Land for farming purposes and for no other purpose whatsoever without the prior written consent of the Landlord.



## **5. RENEWAL TERMS**

5.1 The lease may be renewed for three (3) consecutive terms of five (5) years each for a total term of twenty (20) years including this Term.

## **6. RENT REVIEW**

6.1 The lease will undergo a rent review at the beginning of the third and fourth renewals. The Landlord and Tenant will negotiate rent based upon a formal appraisal of the farming operation less consideration of the Tenant's investment in equipment, materials and labour.

## **7. TENANT'S COVENANTS: The Tenant covenants with the Landlord:**

7.1 **Rent.** To pay rent as aforesaid.

7.2 **Horticultural Standards.** To till, spray, fertilize, irrigate and generally cultivate the crops grown upon the Land and to farm the Land in a good and husbandlike manner according to modern horticulture standards recognized in the Okanagan Valley in the Province of British Columbia. In the event the Landlord does not feel the Tenant is meeting the obligations as set forth in this paragraph, then the Landlord shall give the Tenant written notification of those concerns and the Tenant shall rectify the problem within 10 days of receiving such notification.

7.3 **Pesticides.** To handle all pesticides as required by law and to save harmless and indemnify the Landlord for any costs, charges, expenses or damages suffered or incurred by the Landlord as a result of any pesticide spill caused by the Tenant.

7.4 **Operating Costs.** To be fully responsible for all the operating costs incurred in the cultivating of the fruit crops on the Land during the Term and to indemnify the Landlord for any costs, charges, or expenses incurred by the Landlord as a result of the Tenant's failure to pay all such operating costs.

7.5 **Assignment and Subletting.** Not to sublet all or any part of the Land or assign this Lease in whole or in part or permit the occupation or use of all or any part of the Land by any person.

7.6 **Irrigation.** To repair, clean out and keep clean and in a state of repair all irrigation pipes, and other irrigation equipment on the Lands.

7.7 **Rules and Regulations.** To comply with all the laws, rules, regulations and ordinances and by-laws of any governmental authority or other body having jurisdiction over the Land or its use and to indemnify and save harmless the Landlord from all liability, loss or damage to which the Landlord may be put or suffer by reason of any breach by the Tenant thereof.

7.8 **Insurance.** To apply for and maintain Tenant public liability insurance in the form attached as Schedule "B" in an amount reasonably satisfactory from time to time to the Landlord and to deliver promptly to the Landlord a copy of such policy of insurance if so required by the Landlord. Such insurance shall be obtained at the Tenant's expense.

7.9 **Additional Items.** To be included as a component of the Lease, Schedule "C", Request for Proposals to Lease, and Schedule "D", Land Lease Proposal dated April 4, 2017, attached hereto.

7.10 **Peaceful Surrender.** To peacefully surrender the Land to the Landlord at the end of the Term and to leave the Land in good condition.

7.11 **Right of Inspection.** To allow the Landlord or an agent or representative of the Landlord the right at all reasonable times to attend and inspect the Land.

## **8. EARLY TERMINATION**

8.1 The Landlord and Tenant agree that the Landlord may require a portion of the Land, less than one (1) acre, be removed from the farming operation at any time during the Term. In this event, the Landlord will reduce the Rent by the amount of land removed as a percentage of the total Land for the remainder of the Term, and compensate the Tenant for proportional investment and income lost.

## **9. INDEMNITY, WARRANTY, ETC**

**9.1 Damage to Property.** The Landlord shall not be liable for any injury or damage to the Tenant, any agent or employee of the Tenant, any person visiting or doing business with the Tenant or any other person or to property belonging to the Tenant or to any agent or employee of the Tenant, or to any person visiting or doing business with the Tenant or to any other person while such property is on the Land whether such property has been entrusted to any employee or agent of the Landlord or not.

**9.2 Tenant's Indemnity.** The Tenant agrees to reimburse the Landlord for all expense, damages, loss or fines incurred or suffered by the Landlord by reason of any breach, violation or non-performance by the Tenant of any covenant or provision of this Lease or by reason of damage to persons or property caused by the Tenant, employees or agents or persons visiting or doing business with the Tenant.

## **10. RIGHT TO FARM**

**10.1** The Landlord acknowledges and accepts that farming involves the use of machinery, pesticides, and hired labour, among other practices and confirms and agrees that the Tenant shall be free to use any farming practices deemed necessary to produce fruit crops on the Land provided that the Tenant complies with all government regulations and operates same in a good and husbandlike manner.

## **11. NO ADDITIONAL DWELLINGS**

**10.1** The Tenant acknowledges that temporary farm worker housing may not be constructed on the Land as the size of crop does not fall under the City of Kelowna Guidelines for Approval of an Additional Dwelling for Farm Employee.

## **12. NOTICE**

**12.1** Any notice required to be given hereunder by any party shall be deemed to have been well and sufficiently given if mailed by prepaid registered mail, or delivered at, the address of the other party set out on page 1 hereof, or at such other address as the other party may from time to time direct in writing, and any such notice shall be deemed to have been received, if mailed, 48 hours after the time of mailing.

## **13. INTERPRETATION**

**13.1 Severability.** If any one or more of the provisions contained in this Lease should be invalid, illegal or unenforceable in any respect, the validity, legality and enforceability of the remaining provisions contained herein shall not in any way be affected or impaired thereby.

**13.2 Governing Law.** This Lease shall in all respects be governed by and construed in accordance with the laws of the Province of British Columbia, including all matters of construction.

**13.3 Counterparts/Electronic.** This Lease may be executed in counterparts, each of which when delivered shall be deemed to be an original and all of which together shall constitute one and the same document. A copy of this Lease delivered by facsimile or other electronic means and bearing a copy of the signature of a party hereto shall for all purposes be treated and accepted as an original copy thereof.



**14. SUCCESSORS**

14.1 This Lease and everything herein contained shall enure for the benefit of and be binding upon the heirs, executors, administrators, successors, assigns and other legal representatives, as the case may be, of each of the parties hereto.

SIGNED, SEALED & DELIVERED in the presence of:

Signature

Print Name

Address

Occupation

INDERDEEP SINGH SAMRA

CITY OF KELOWNA by its authorized signatory:

Name

Print Name

Title

## Premises

The premises are those lands legally described as that portion of land, located at 500 Valley Road, Kelowna, British Columbia, below as Schedule "A" consisting of +/- 7.2 acres (2.9 hectares).

(hereinafter called the "Premises")







## CERTIFICATE OF INSURANCE

City staff to complete prior to circulation

City Dept.: \_\_\_\_\_

Dept. Contact: \_\_\_\_\_

Project/Contract/Event: \_\_\_\_\_

**Insured**

Name:
Address:

**Broker**

Name:
Address:

**Location and nature of operation and/or contract reference to which this Certificate applies:**

--

Type of Insurance	Company & Policy Number	Policy Dates		Limits of Liability/Amounts
		Effective	Expiry	
<b>Section 1</b> Comprehensive General Liability including: <ul style="list-style-type: none"> <li>• Products/Completed Operations;</li> <li>• Blanket Contractual;</li> <li>• Contractor's Protective;</li> <li>• Personal Injury;</li> <li>• Contingent Employer's Liability;</li> <li>• Broad Form Property Damage;</li> <li>• Non-Owned Automobile;</li> <li>• Cross Liability Clause.</li> </ul>				Bodily Injury and Property Damage \$ <u>5,000,000</u> Inclusive \$ _____ Aggregate \$ _____ Deductible
<b>Section 2</b> Automobile Liability				Bodily Injury and Property Damage \$ <u>5,000,000</u> Inclusive

It is understood and agreed that the policy/policies noted above shall contain amendments to reflect the following:

1. Any Deductible or Reimbursement Clause contained in the policy shall not apply to the City of Kelowna and shall be the sole responsibility of the Insured named above.
2. The City of Kelowna is named as an Additional Insured.
3. 30 days prior written notice of material change and/or cancellation will be given to the City of Kelowna.

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Company (Insurer or Broker)

\_\_\_\_\_  
Signature of Authorized Signatory

\_\_\_\_\_  
Date

**City of Kelowna**  
**Request for Proposals to Lease**  
**500 Valley Road**

## **Informational Package**

### **Overview**

The City of Kelowna (the "City") wishes to lease approximately 7 acres of playing fields at 500 Glenmore Road (the "Property") to a successful proponent (the "Lessee") for a term of five (5) years, from October 1, 2017 to September 30, 2022 (the "First Lease Term") with an option to renew for three (3) additional five (5) year terms, together known as the "Lease Term" at the City's sole discretion. The lease will be subject to an early termination provision of 12 months.

The lands are to be used for farming purposes with all current land furnishings, irrigation heads and trees removed by the City. Underground irrigation will remain and the City will fully fence the Property. The Lessee will be responsible for returning the Property to an agricultural standard.

Bids will be accepted until 3:00 pm, Wednesday, April 5, 2017 at the office of the Property Manager, 4<sup>th</sup> floor of City Hall, 1435 Water Street, Kelowna, BC.

### **General Scope of Services & Expectations**

The successful proponent will fully operate, repair and maintain the land on the Property through the Lease term as follows:

1. The Lessee shall be responsible for all maintenance and repairs on the Property.
2. The Lessee shall be responsible for payment of all expenses related to the Property, including, without limitation, taxes, permits, licenses and utilities.
3. The Lessee shall obtain general liability insurance as set out in Appendix B, and will commit to obtaining sufficient liability insurance with terms and amounts acceptable to the City.
4. A \$1,000.00 deposit must be part of the proponent response. Only the successful proponent's deposit will be held in trust by the City.
5. The proponent response must show sufficient detail to assess how the Lease Agreement would benefit the City, and outline the proposal to generate sufficient income to cover the Lessee's financial, maintenance and liability responsibilities for the duration of the Lease.
6. The proponent response shall detail the proponent's past and present experience in farm operations.
7. The Lessee shall acquire all necessary permits and shall comply with all Federal, Provincial and Municipal regulations including but not limited to the use of pesticides and fertilizers.



8. Rent shall be received in annual instalments due and payable on September 30<sup>th</sup> of each year of the Term.
9. The Lessee may not sublet or assign the lease to another party.
10. The Lessee shall provide complete audited financial reports to the City, within 45 days of the end of the season and no later than December 1<sup>st</sup> of each contract year. The statements will reflect the entire operating season.
11. The City will not assume any responsibility or liability for any costs incurred by the proponent in the preparation of their proposal.

#### **Submission Requirements**

1. The Proponent must submit a business plan.
2. The Lessee and the Lessee's employees will be required to submit proof of a City of Kelowna Business License, Work Safe BC Coverage, and shall obtain the appropriate insurance coverage as listed in Appendix B by providing the City a Certificate of Insurance proving the coverage is in place within 10 days of the City awarding the contract.
3. The proponent's Work Safe BC registration number and current letter of clearance must be included with the proposal.
4. Proposals must identify any potential conflict of interest or relationship between proponent's principals and employees and the City's employees.
5. Proposals will not be accepted after the final date and time for receipt of proposals, nor will they be accepted by facsimile or email. Bids will be accepted in person or by courier only.
6. Proponents may not make alterations to their proposals after the closing date and time, except as may be allowed by the City during the negotiation process.
7. The City reserves the right to reject any or all proposals or to accept any proposal considered to be in the best interests of the City.
8. Proposals are irrevocable upon closing and will remain open for consideration for a minimum of 30 days for acceptance.
9. All proponents must certify that their response has met all of the requirements contained in this document and any others that may be added prior to closing date and time.

## MANDATORY CRITERIA

The following are mandatory requirements. Proposals not clearly demonstrating that they meet them will receive no further consideration during the evaluation process.

Mandatory Criteria
a) Proposal received by 3:00 pm, <b>April 5, 2017</b>
b) <b>CERTIFIED CHEQUE</b> made to the City of Kelowna in the amount of <b>\$1,000.00</b>
c) Value of Proposal ( <b>Bid Price \$</b> )
d) <b>Three (3) hard copies</b> of the bid proposal must be submitted (including name, address, telephone and email contact information)

## DESIRABLE CRITERIA

Proposals meeting the mandatory requirements will be further assessed against the following criteria.

Criteria
Relevant experience, qualifications and successes
Compliance with RFP terms and overall proposal for operating a high quality, service oriented venture
Financial capability and stability
Value of proposal (Bid Price \$) & overall benefit to the City

## NEGOTIATION

Negotiation sessions may be held with the lead proponent(s) to work out contract details and other expectations of the parties applicable to the lease. Negotiated contract details, if any, may form part of the lease.

## DISCLOSURE

All documents submitted by proponents shall become the property of the City. Proposal information is proprietary and will be treated as confidential within the parameters of the Freedom of Information and Protection of Privacy Act of British Columbia.

The City is not obligated to accept the highest or any proposal offered. The proposals will not be opened publicly.



### Schedule A Premises

The premises are those lands legally described as that portion of land, located at 500 Valley Road, Kelowna, British Columbia, below as Schedule "A".

(hereinafter called the "Premises")



2. paid \_\_\_\_\_ and 2.

and \_\_\_\_\_ and \_\_\_\_\_.

3. I have not taken the time to do \_\_\_\_\_.

4. I have not taken the time to do \_\_\_\_\_.

5. I have not taken the time to do \_\_\_\_\_.

6. I have not taken the time to do \_\_\_\_\_.

7. I have not taken the time to do \_\_\_\_\_.

8. I have not taken the time to do \_\_\_\_\_.

9. I have not taken the time to do \_\_\_\_\_.

10. I have not taken the time to do \_\_\_\_\_.

Sincerely,



Jaffer Deep Singh Samra



## Land Lease Proposal

**Proposed Land Address:** 500 Valley Rd Kelowna BC

**Lessee Contact:**

Inderdeep Singh Samra

878 Kuipers Cres Kelowna BC V1W5B1

Ph: 250681557 Email: [inderdeepsamra@yahoo.com](mailto:inderdeepsamra@yahoo.com)

**Rent:** \$2100 yearly Paid in advance each year

**Term:** 20 years(renewed every 5 years)

**Land Use:**

Land would be used as an orchard based upon the suitability of the soil and the land topography which would be undertaken by lessee at his own cost.

**Business Plan:**

Land would be prepared for the agricultural purposes (namely tilling, removing any left over debris from previous land use eg rocks etc A bioassay would be carried out at the lessee's cost to determine the viability of kind of fruit trees to be planted )

Next spring (2018) the land would be ready for the plantation of fruit trees either apple or cherry depending upon the outcome of the test results and horticultural recommendations.

The orchard will be in production by 2020 for the first crop

#### **Lessee Experience:**

Lessee is currently extensively (running about 40 acres of orchards) involved in tree fruit industry and successfully exports his fruit through the BC Trees coop and has been in the business for the last 15 years.

Lessee also have good knowledge of growing his own fruit trees and is currently have a nursery of about 25,000 trees being grown.

Lessee also have adequate machinery and equipment to run the operation (6 tractors , 4 sprayers and numerous other farm related equipment).

#### **Benefit to the City:**

The first and foremost direct benefit would be bringing in revenue in term of lease payment, property taxes and water bills.

Secondary benefit would come from increased job opportunities for the local people as the lessee always prefer local labor over foreign workers.

Thirdly city would not only save money maintainness of the property but turning into a revenue producing entity would greatly increase its market value.

Last but not the least it would increase our overall contribution to our province and country's GDP with services and products produced.





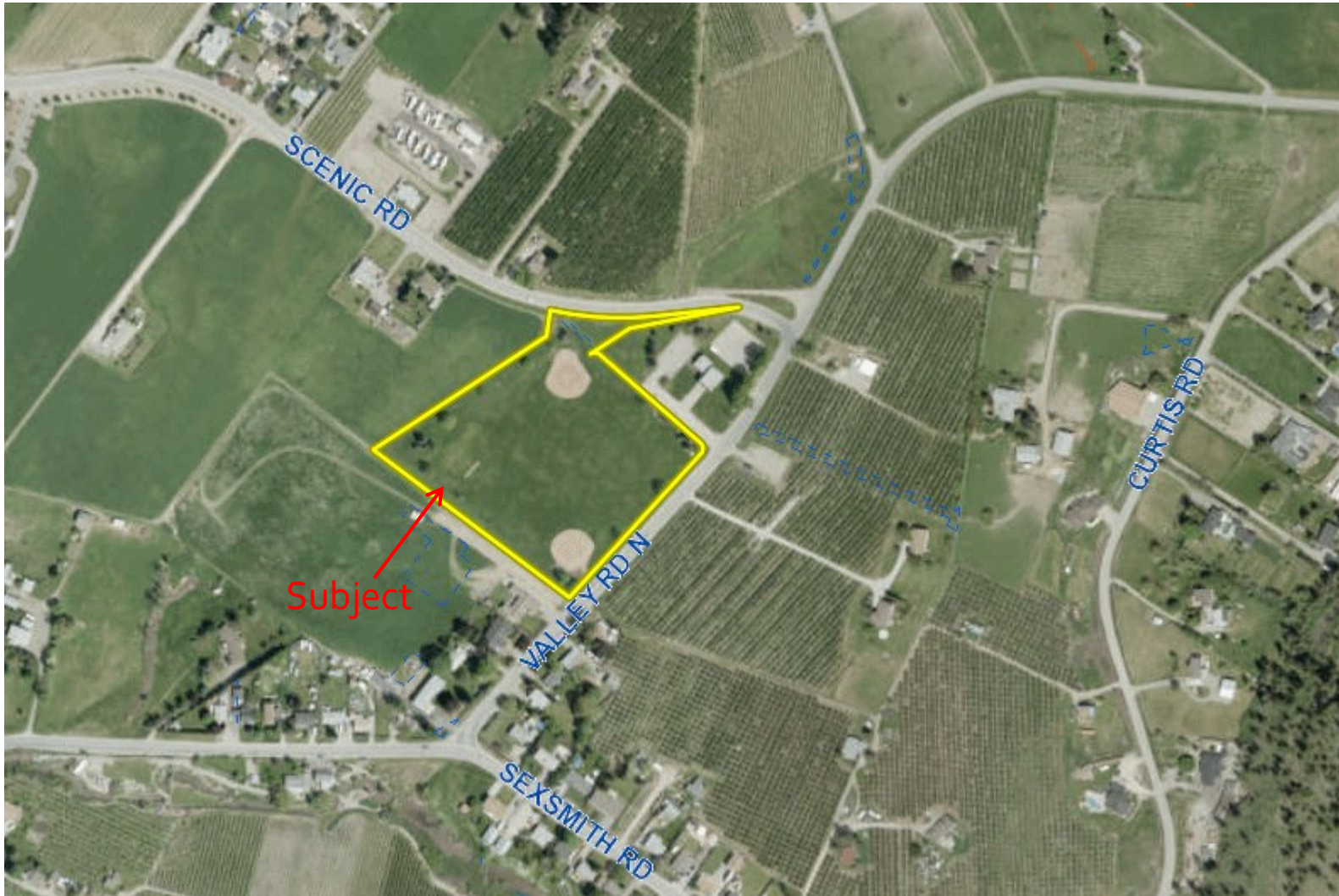
# Farm Lease 500 Valley Road



April 23, 2018



# Context Map



# Background

- ▶ ALC granted a Non-Farm use approval in 2011 for the development of Glenmore Rec Park;
- ▶ Approval subject to agricultural mitigation measures, including;
  - ▶ rehabilitate sports fields at 500 Valley Rd. to agricultural standard;
  - ▶ Register a covenant prohibiting construction of a home on title (completed); and,
- ▶ ALC support for the rehab of the property to agricultural standard.



# Background

- ▶ Staff advertised the +/- 7.2 acre parcel for farming use and a single bid was submitted and accepted in April 2017;
- ▶ Tenant is a local farmer ;
- ▶ 15 years' experience in tree fruit farming;
- ▶ 40 acres of orchards locally; and,
- ▶ Exports through the BC Tree Fruits Cooperative.

# Lease Highlights

Lease Component	Description
Tenure Type	Farm Lease
Term	4 x 5 years (total 20 years)
Lease Payment	Annual payment of \$1,500 commencing April 1, 2019
Gross Profit	Annual payment of 5% of Gross Profits commencing December 1, 2018
Rent Review	Rent renegotiated for terms 3 & 4, based on appraisal





## *Questions?*

For more information, visit [kelowna.ca](http://kelowna.ca).

# Report to Council



**Date:** April 23, 2018  
**File:** 0280-40  
**To:** City Manager  
**From:** Angie Schumacher, Revenue Supervisor  
**Subject:** Amendment to the Tax Prepayment Plan Bylaw No. 10685

---

## **Recommendation:**

THAT Council receives, for information, the report from the Revenue Supervisor dated April 23, 2018, regarding the amendment to the Tax Prepayment Plan Bylaw No. 10685;

AND THAT Bylaw No. 11602 Amendment No. 1 to the Tax Prepayment Plan Bylaw No. 10685 be forwarded for reading consideration.

## **Purpose:**

To seek Council's approval to amend the Tax Prepayment Plan Bylaw for the clarification and updating of current terms and processes.

## **Background:**

The City provides terms to taxpayers for the accepting and holding of money, including interest, for the prepayment of property taxes. The City has also established an instalment program for the convenience of taxpayers. Staff have reviewed the bylaw and recommend the following changes:

1. Top section, second paragraph "AND WHEREAS": Replace the word "convince" with "convenience"
2. Section 2: Replace the definition of Collector with "Collector shall mean the Financial Services Director and/or designate"
3. Section 3.5: Replace whole section with "The Collector shall credit interest on the amount paid in each month to the benefit of the taxpayer participating in the monthly instalment system at a rate equal to the prime rate of the Royal Bank of Canada on the payment date less 3% (with minimum interest of 0.40%); such interest to be calculated up to the current year's tax generation date."



4. Section 3.7: Replace "ten (10) days" with "by the last business day of the month"
5. Section 3.8: Add "Where an error has occurred with the adjustment and the seller no longer has property in the City to transfer the prepayment balance against, a refund will be considered with applicable fees."
6. Section 3.10: Replace "o" with "of"
7. Section 4.1(b): Remove "in writing, addressed to the Collector", add "be" before "accepted"
8. Section 4.1(d): Replace "May 10<sup>th</sup> for the currents year's taxes" with "the current year's tax generation date"

**Internal Circulation:**

Divisional Director, Financial Services

**Legal/Statutory Authority:**

Section 235 of the Community Charter

**Considerations not applicable to this report:**

Legal/Statutory Procedural Requirements:

Existing Policy:

Financial/Budgetary Considerations:

Personnel Implications:

External Agency/Public Comments:

Communications Comments:

Alternate Recommendation:

Submitted by:

A. Schumacher, Revenue Supervisor

**Approved for inclusion:**



Genelle Davidson, Divisional Director, Financial Services



# Tax Prepayment Plan Bylaw No. 10685 – Amendment 1

April 23, 2018



# Highlights

- ▶ The Tax Prepayment Plan Bylaw:
  - ▶ Provides terms to taxpayers for the accepting and holding of prepayments for property taxes
  - ▶ Establishes and defines an instalment program
  
- ▶ Staff Review:
  - ▶ Identified areas for clarification and updating of current terms and processes
  - ▶ Changes focus on:
    - ▶ Definitions
    - ▶ Streamlining timelines and processing dates
    - ▶ Clarifying communication requirements



## *Questions?*

For more information, visit [kelowna.ca](http://kelowna.ca).



# CITY OF KELOWNA

## BYLAW NO. 11602

### Amendment No. 1 to Tax Prepayment Plan Bylaw No. 10685

---

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that the City of Kelowna Tax Prepayment Plan Bylaw No. 10685 be amended as follows:

1. THAT the preamble be amended by deleting the word "convince" after the words "property taxes and implement a monthly instalment system for the" and replacing it with "convenience";
2. AND THAT Section 2. DEFINITIONS be amended by deleting "Revenue Manager" in the definition for **Collector** and replace it with "Financial Services Director";
3. AND THAT Section 3 EQUAL MONTHLY INSTALLMENTS, be amended by:
  - a) adding the word "for" after the words "Any person being liable to the City of Kelowna" in sub-section 3.1;
  - b) adding the word "of" after the words "The payment" in sub-section 3.2;
  - c) deleting sub-section 3.5 that reads:

"The Collector shall, on the 10<sup>th</sup> day of each month, credit interest on the amount paid for that month to the benefit of the taxpayer participating in the monthly instalment system at a rate equal to the prime rate of the Royal Bank of Canada at that date less 3%(with minimum interest of 0.40%); such interest to be calculated and credited to the taxpayer's benefit based upon the current monthly payment and the number of days to the tax due date.";

and replace it with:

"The Collector shall credit interest on the amount paid in each month to the benefit of the taxpayer participating in the monthly instalment system at a rate equal to the prime rate of the Royal Bank of Canada on the payment date less 3% (with minimum interest of 0.4%); such interest to be calculated up to the current year's tax generation date.."

- d) deleting 3.7 that reads:

"A participating taxpayer may give notice, in writing, ten (10) days prior to the instalment dates, to discontinue participation in the monthly instalment system but no monies paid into the plan will be returned or refunded."

and replace it with:

"A participating taxpayer may give notice, in writing, by the last business day of the month prior to the instalment dates, to discontinue participation in the monthly instalment system but no monies paid into the plan will be returned or refunded."

- e) deleting sub-section 3.8 that reads:

"In the event of a sale of the property, tax prepayments are to stay on the property's account and responsibility for adjustment shall be between the vendor and the purchaser."

and replace it with:

"In the event of a sale of the property, tax prepayments are to stay on the property's account and responsibility for adjustment shall be between the vendor and the purchaser. Where an error has occurred with the adjustment and the seller no longer has property in the City to transfer the prepayment balance against, a refund will be considered with applicable fees." and

- f) deleting "o" after the words "The amount" in sub-section 3.10 and replacing it with "of".

4. AND THAT Section 4 RANDOM PREPAYMENTS, 4.1 be amended by:

- a) deleting sub-paragraph b that reads:

"When tendering any amount under this bylaw, the taxpayer shall, in writing, addressed to the Collector, designate the account for which such tendered amount is to accepted;"

and replacing it with:

"When tendering any amount under this bylaw, the taxpayer shall designate the account for which such tendered amount is to be accepted;"

- b) deleting sub-paragraph d that reads:

"No interest shall be paid on any monies paid after the May 10<sup>th</sup> for the currents year's taxes."

and replacing it with:

"No interest shall be paid on any monies paid after the current year's tax generation date for the current year's taxes."

5. This bylaw may be cited for all purposes as "Bylaw No. 11602, being Amendment No. 1 to Tax Prepayment Plan Bylaw No. 10685."

6. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



# Report to Council



**Date:** April 23, 2018  
**File:** 1125-51-071  
**To:** City Manager  
**From:** J. Säufferer, Manager, Real Estate Services  
**Subject:** Proposed Road Closure – Adjacent to 2-477 Curlew Drive  
Report Prepared by: B. Walker, Property Officer II

---

## **Recommendation:**

THAT Council receives for information, the Report from the Manager, Real Estate Services dated April 23, 2018, recommending the Council adopt the proposed closure of a portion of road adjacent to 2-477 Curlew Drive;

AND THAT Bylaw No. 11557, being proposed road closure of a portion of land adjacent to 477 Curlew Drive, be given reading consideration.

## **Purpose:**

To close a 89.3 square meter portion of Curlew Drive for consolidation with the adjacent residential property at 2-477 Curlew Drive.

## **Background:**

The proposed road closure (shown as "Parcel A Closed Road" on the attached Schedule 'A') has been deemed excess to municipal needs, and will be transferred to and consolidated with the adjacent property at 2-477 Curlew Drive.

## **Internal Circulation:**

Manager, Development Engineering  
Manager, Urban Planning  
Manager, Transportation Engineering Manager  
Supervisor, Utilities Maintenance

**Legal/Statutory Authority:**

Section 26 and 40, Community Charter

**Considerations not applicable to this report:**

Legal/Statutory Procedural Requirements:

Existing Policy:

Personnel Implications:

External Agency/Public Comments:

Communications Comments:

Alternate Recommendation:

**Submitted by:** J. Säufferer, Manager, Real Estate Services

**Approved for inclusion:** D. Edstrom, Director, Real Estate

Attachment: 1. Schedule A – Survey Plan

cc: J. Kay, Manager, Development Engineering  
T. Barton, Manager, Urban Planning  
G. Foy, Manager, Transportation Engineering Manager  
M. Murrell, Utilities Maintenance Supervisor

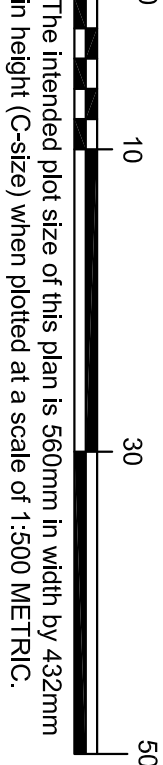


REFERENCE PLAN TO ACCOMPANY CITY OF KELOWNA  
ROAD CLOSURE AND REMOVAL OF HIGHWAY DEDICATION  
BYLAW #11557, TO CLOSE PART OF ROAD DEDICATED ON  
PLAN 32591, SECTION 23, TOWNSHIP 28, SDYD  
PURSUANT TO SECTION 40 OF THE COMMUNITY CHARTER AND SECTION 120 OF THE LAND TITLE ACT

PLAN EPP80408

BCGS 82E.073

SCALE 1:500 METRIC



LEGEND

- Denotes Standard Iron Post Found
- Denotes Standard Iron Post Set
- ⦿ Denotes Control Monument Found

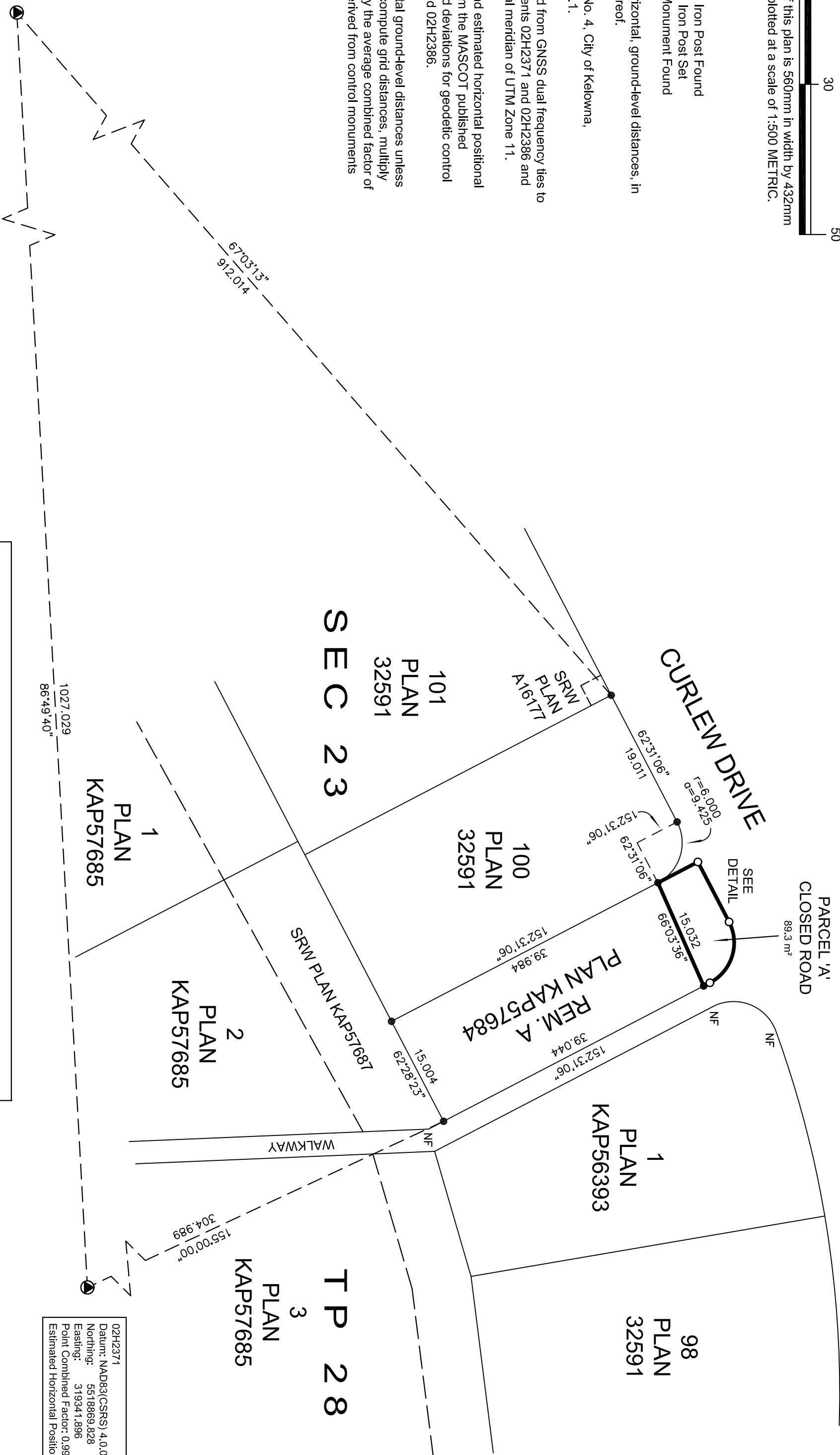
Distances shown are horizontal, ground-level distances, in metres and decimals thereof.

Integrated Survey Area No. 4, City of Kelowna, NAD83(CSRS) 4.0 0.BC.1.

Grid bearings are derived from GNSS dual frequency ties to geodetic control monuments 02H2371 and 02H2386 and are referred to the central meridian of UTM Zone 11.

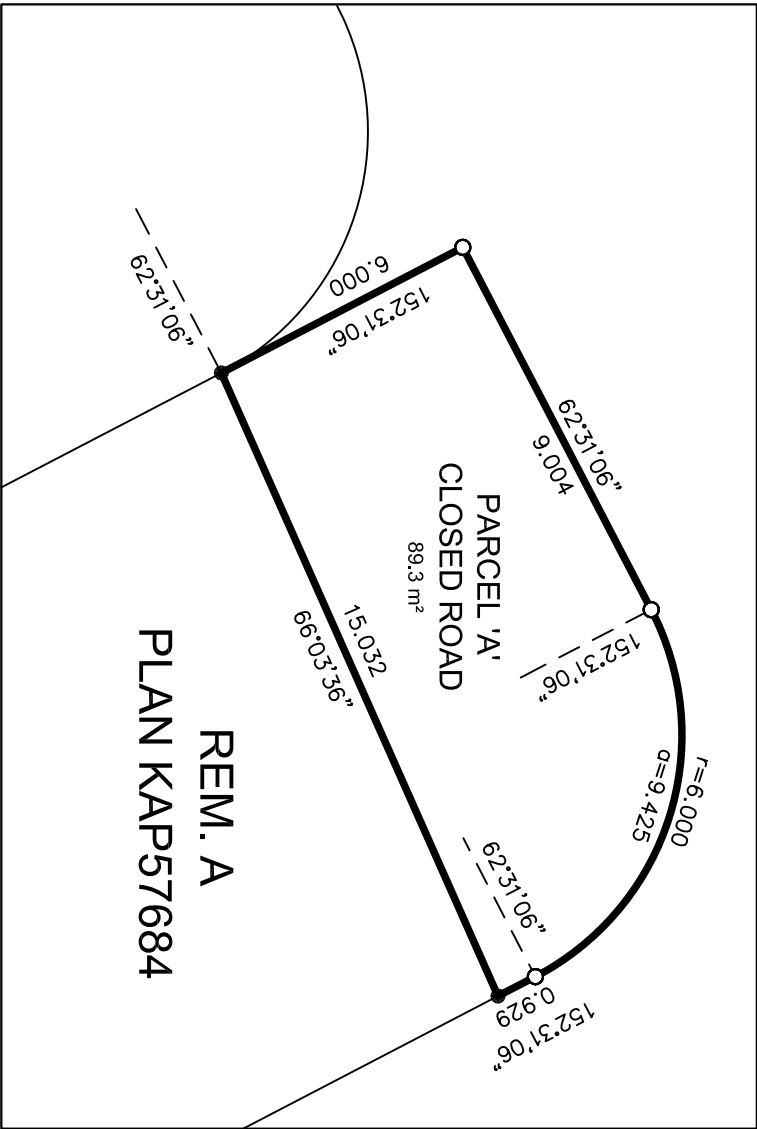
The UTM coordinates and estimated horizontal positional accuracy are derived from the WASCOT published coordinates and standard deviations for geodetic control monuments 02H2371 and 02H2386.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.999311 which was derived from control monuments 02H2371 and 02H2386.



02H2386  
Datum: NAD83(CSRS) 4.0 0.BC.1 - UTM Zone 11  
Northing: 5518812.998  
Easting: 318316.514  
Point Combined Factor: 0.9993366  
Estimated Horizontal Positional Accuracy: 0.02

02H2371  
Datum: NAD83(CSRS) 4.0 0.BC.1 - UTM Zone 11  
Northing: 5518869.828  
Easting: 319341.896  
Point Combined Factor: 0.999255  
Estimated Horizontal Positional Accuracy: 0.02



DETAIL not to scale

**DA Goddard Surveys**  
103-1358 St. Paul Street, Kelowna BC  
File: 418022-RF

This plan lies within the Regional District of Central Okanagan.

The field survey represented by this plan was completed on the 17th day of April, 2018.

Mark A. Cahill, BCLS #812

# CITY OF KELOWNA

## BYLAW NO. 11557

### **Road Closure and Removal of Highway Dedication Bylaw** **(Portion of Curlew Road)**

**A bylaw pursuant to Section 40 of the Community Charter to authorize the City to permanently close and remove the highway dedication of a portion of highway on Curlew Road**

---

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, hereby enacts as follows:

1. That portion of highway attached as Schedule "A" comprising 89.3m<sup>2</sup> shown in bold black as Closed Road on the Reference Plan EPP80408 prepared by Mark A. Cahill, B.C.L.S., is hereby stopped up and closed to traffic and the highway dedication removed.
2. The Mayor and City Clerk of the City of Kelowna are hereby authorized to execute such conveyances, titles, survey plans, forms and other documents on behalf of the said City as may be necessary for the purposes aforesaid.

Read a first, second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk





# CITY OF KELOWNA

## BYLAW NO. 11582

### **Amendment No. 1 to the Five Year Financial Plan 2017-2021 Bylaw No. 11394**

---

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT the Five Year Financial Plan 2017-2021 Bylaw No. 11394 be amended by deleting Schedule "A" in its entirety and replacing with them new Schedule "A" as attached to and forming part of this bylaw;
2. This bylaw may be cited for all purposes as Bylaw No. 11582 being "Amendment No. 1 to the Five Year Financial Plan Bylaw, 2017-2021, No. 11394."

Read a first, second and third time by the Municipal Council this 16<sup>th</sup> day of April, 2018.

Adopted by the Municipal Council of the City of Kelowna this

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk



Schedule "A"  
Financial Plan 2017 - 2021

	2017 Amended Budget	2017	2018	2019	2020	2021	2022-2030
<b>REVENUE</b>							
PROPERTY VALUE TAX	127,084,020	127,084,020	133,391,291	139,053,656	144,269,573	150,520,650	1,626,957,293
LIBRARY REQUISITION	5,950,303	5,950,303	6,087,160	6,227,165	6,370,389	6,516,908	65,827,989
PARCEL TAXES	3,128,718	3,154,723	3,219,927	3,243,472	3,267,389	3,270,404	30,397,286
FEES AND CHARGES	113,435,694	112,092,717	111,618,043	113,553,866	116,187,523	118,880,575	1,197,504,937
BORROWING PROCEEDS	23,978,220	15,930,220	-	-	-	4,000,000	85,000,000
OTHER SOURCES	121,550,414	61,502,462	44,637,704	51,851,029	49,362,073	48,664,370	510,506,871
	395,127,369	325,714,445	298,954,125	313,929,188	319,456,947	331,852,907	3,516,194,376
<b>TRANSFERS BETWEEN FUNDS</b>							
RESERVE FUNDS	1,769,149	1,862,704	1,181,537	1,181,537	1,181,537	1,181,537	8,964,865
DCC FUNDS	15,972,835	15,026,440	21,285,497	20,395,246	34,338,223	27,705,741	147,695,751
SURPLUS/RESERVE ACCOUNTS	118,425,906	94,892,394	54,747,743	44,371,689	75,275,798	55,421,482	401,455,575
	136,167,890	111,781,538	77,214,777	65,948,472	110,795,558	84,308,760	558,116,191
<b>TOTAL REVENUE</b>	<b>531,295,259</b>	<b>437,495,983</b>	<b>376,168,902</b>	<b>379,877,660</b>	<b>430,252,505</b>	<b>416,161,666</b>	<b>4,074,310,567</b>
<b>EXPENDITURES</b>							
MUNICIPAL DEBT							
DEBT INTEREST	10,892,869	10,903,509	11,402,726	7,012,004	5,820,503	5,563,242	57,855,894
DEBT PRINCIPAL	14,440,859	13,415,274	13,390,117	9,443,635	6,341,502	5,650,037	59,279,959
CAPITAL EXPENDITURES	230,808,312	146,353,980	82,197,028	79,717,588	126,646,378	100,908,563	839,794,836
OTHER MUNICIPAL PURPOSES							
GENERAL GOVERNMENT PLANNING, DEVELOPMENT & BUILDING SERVICES	29,711,139	28,632,154	29,165,952	30,372,095	31,185,781	32,108,825	339,165,816
COMMUNITY SERVICES	29,162,425	25,025,561	22,786,911	23,435,872	24,239,675	25,093,720	260,900,296
PROTECTIVE SERVICES	84,671,301	82,712,019	83,786,798	86,313,299	88,685,655	91,764,488	977,545,000
UTILITIES	56,058,842	53,411,325	55,945,963	58,746,411	61,497,356	64,184,677	692,031,304
AIRPORT	20,762,197	20,332,794	20,213,058	20,847,530	20,568,409	21,111,378	216,312,957
	13,615,718	13,826,388	14,303,137	14,788,859	15,302,837	15,836,697	168,386,749
	490,123,662	394,613,004	333,191,691	330,677,293	380,288,096	362,221,626	3,611,272,811
<b>TRANSFERS BETWEEN FUNDS</b>							
RESERVE FUNDS	17,151,281	16,986,375	17,218,906	16,760,485	16,746,771	16,703,194	148,571,969
DCC FUNDS		-	-	-	-	-	-
SURPLUS/RESERVE ACCOUNTS	24,020,316	25,896,604	25,758,306	32,439,882	33,217,638	37,236,846	314,465,787
	41,171,597	42,882,979	42,977,212	49,200,367	49,964,409	53,940,040	463,037,756
<b>TOTAL EXPENDITURES</b>	<b>531,295,259</b>	<b>437,495,983</b>	<b>376,168,902</b>	<b>379,877,660</b>	<b>430,252,505</b>	<b>416,161,666</b>	<b>4,074,310,567</b>

# CITY OF KELOWNA

## BYLAW NO. 11589

### Amendment No. 1 to Sale of City-Owned Land Reserve Fund Expenditure Bylaw, 2017, No. 11398

---

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts that the City of Kelowna Sale of City-Owned Land Reserve Fund Bylaw, 2017, No. 11398 be amended as follows:

1. THAT the preamble be deleted that reads:

"WHEREAS, there is an unappropriated balance in the Sale of City-Owned Land Reserve Fund of Nine Million, Four Hundred and Forty-Two Thousand, Five Hundred and Thirty-Two Dollars (\$9,442,532.00) as at January 1st, 2017;"

And replaced with:

"WHEREAS, there is an unappropriated balance in the Sale of City-Owned Land Reserve Fund of Ten Million, Two Hundred and Ninety Thousand, Four Hundred and Twelve Dollars (\$10,290,412.00) as at January 1st, 2017;"

2. AND THAT the following from Section 1 be deleted that reads:

"The sum of Nine Million, Four Hundred and Forty-Two Thousand, Five Hundred and Thirty-Two Dollars (\$9,442,532.00) as at January 1st, 2017 is hereby appropriated from the Sale of City-Owned Land Reserve Fund to be expended in 2017 for the following purposes:

General Land	\$ 6,448,810.00
Parks Land	\$ 926,017.00
Housing Opportunity	\$ 2,067,705.00
	<u>\$ 9,442,532.00"</u>

And be replaced with the following:

"The sum of Ten Million, Two Hundred and Ninety Thousand, Four Hundred and Twelve Dollars (\$10,290,412.00) as at January 1st, 2017 is hereby appropriated from the Sale of City-Owned Land Reserve Fund to be expended in 2017 for the following purposes:

General Land	\$ 7,296,690.00
Parks Land	\$ 926,017.00
Housing Opportunity	\$ 2,067,705.00
	<u>\$10,290,412.00"</u>



Bylaw No. 11589 – Page 2.

3. This bylaw may be cited for all purposes as "Bylaw No. 11589, being Amendment No. 1 to Sale of City Owned Land Reserve Fund Expenditure Bylaw, 2017, No. 11398."
4. This bylaw shall come into full force and effect and is binding on all persons as and from the date of this adoption

Read a first, second and third time by the Municipal Council this 16<sup>th</sup> day of April, 2018.

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

# CITY OF KELOWNA

## BYLAW NO. 11593

### Sterile Insect Release Program Parcel Tax Bylaw 2018

---

A bylaw pursuant to Section 200 of the *Community Charter* to impose and levy a Parcel Tax upon the owners of land or real property within the City of Kelowna being served by the Sterile Insect Release Program.

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. A Parcel Tax shall be and is hereby imposed and levied upon the owners of land or real property as shown on Schedule "A" attached to and forming part of this bylaw, being served by the Sterile Insect Release Program.
2. The Parcel Tax shall be levied for the 2018 tax year on each parcel of land aforementioned, and the amount of such Parcel Tax shall be One Hundred and Thirty-Nine Dollars and Twenty-Six Cents (\$139.26) per assessed acre.
3. This bylaw shall be known for all purposes as the "Sterile Insect Release Program Parcel Tax Bylaw 2018 No. 11593".

Read a first, second and third time by the Municipal Council this 16<sup>th</sup> day of April, 2018.

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



Jurisdiction	Folio	Grower Address	Legal Description	Adj. Acres	x 139.26
217	3108010	1355 LATTA RD	LOT 10, PLAN KAP1611, SEC 1, TWP 23, 41	5.53	770.11
217	3121000	2355 MCKENZIE RD	LOT A, PLAN KAP15859, SEC 1, TWP 23, 41	6.37	887.09
217	3121010	2295 MCKENZIE RD	LOT 2, PLAN KAP33255, SEC 1, TWP 23, 41	21.03	2928.64
217	3186100	2685 SEXSMITH RD	LOT 1, PLAN KAP45492, SEC 3, TWP 23, 41	9.02	1256.13
217	3205000	2635 SEXSMITH RD	LOT 1, PLAN KAP12772, SEC 3&33, TWP 23, 41	2.99	416.39
217	3210125	2517 SEXSMITH RD	LOT 10, PLAN KAP21431, SEC 3&4, TWP 23, 41	6.84	952.54
217	3210210	705 VALLEY RD	LOT B, PLAN KAP31659, SEC 3, TWP 23, 41	3.70	515.26
217	3236002	770 PACKINGHOUSE RD	LOT 1, PLAN EPP68383, SEC , TWP 23, 41	3.86	537.54
217	3245000	590 BRENDA RD	LOT 25, PLAN KAP896, SEC 4&9, TWP 23, 41	4.85	675.41
217	3255321	1982 UNION RD	LOT A, PLAN KAP75150, SEC 4, TWP 23, 41	1.00	139.26
217	3255322	1980 UNION RD	LOT B, PLAN KAP75150, SEC 4, TWP 23, 41	1.00	139.26
217	3262000	2389 LONGHILL RD	LOT 13, PLAN KAP1068, SEC 4, TWP 23, 41	5.98	832.77
217	3263000	2206 LONGHILL RD	LOT 2, PLAN KAP1068, SEC 4&34, TWP 23, 41	7.33	1020.78
217	3264000	185 VALLEY RD	LOT 3, PLAN KAP1068, SEC 4&34, TWP 23, 41	3.77	525.01
217	3266000	143 VALLEY RD	LOT 5, PLAN KAP1068, SEC 4, TWP 23, 41	3.84	534.76
217	3267000	127 1 VALLEY RD	LOT 6, PLAN KAP1068, SEC 4, TWP 23, 41	9.27	1290.94
217	3268000	2214 BONN RD	LOT 7, PLAN KAP1068, SEC 4, TWP 23, 41	4.51	628.06
217	3269000	115 VALLEY RD N	LOT 8, PLAN KAP1068, SEC 4, TWP 23, 41	10.16	1414.88
217	3270000	2547 SEXSMITH RD	LOT 11, PLAN KAP1068, SEC 3&4, TWP 23, 41	1.23	171.29
217	3271000	220 MAIL RD	LOT 12, PLAN KAP1068, SEC 4, TWP 23, 41	8.46	1178.14
217	3272000	180 MAIL RD	LOT 13, PLAN KAP1068, SEC 4, TWP 23, 41	7.01	976.21
217	3274000	135 VALLEY RD N	LOT H, PLAN KAP1636, SEC 4, TWP 23, 41	5.34	743.65
217	3278000	800 PACKINGHOUSE RD	LOT 3, PLAN KAP1884, SEC 4&9, TWP 23, 41	1.00	139.26
217	3279000	2160 SCENIC RD	LOT 4, PLAN KAP1884, SEC 4&9, TWP 23, 41	4.45	619.71
217	3410000	1250 GLENMORE RD N	LOT 1, PLAN KAP1068, SEC 9, TWP 23, 41	3.46	481.84
217	3645000	2434 GALE RD	LOT 2, PLAN KAP1453, SEC 23, TWP 23, 41	1.77	246.49
217	3646000	2504 GALE RD	LOT 3, PLAN KAP1453, SEC 23, TWP 23, 41	4.17	580.71
217	3650000	2801 DRY VALLEY RD	LOT 7, PLAN KAP1453, SEC 23, TWP 23, 41	2.07	288.27
217	3664000	2155 PIER MAC WAY	LOT 1, PLAN KAP2257, SEC 23, TWP 23, 41	2.33	324.48
217	3664514	2855 DRY VALLEY RD	LOT A, PLAN KAP37471, SEC 23, TWP 23, 41	3.56	495.77
217	3664516	2849 DRY VALLEY RD	LOT B, PLAN KAP37471, SEC 23, TWP 23, 41	10.67	1485.90
217	3884000	3310 MATHEWS RD	LOT 63, PLAN KAP1247, SEC 3&34, TWP 26, 41	6.71	934.43
217	3899000	3260 MATHEWS RD	LOT 109, PLAN KAP1247, SEC 3, TWP 26, 41	3.12	434.49

Jurisdiction	Folio	Grower Address	Legal Description	Adj. Acres	x 139.26
217	3905001	4232 SPIERS RD	LOT 117, PLAN KAP1247, SEC 3, TWP 26, 41	7.16	<b>997.10</b>
217	3905104	4236 SPIERS RD	LOT B, PLAN KAP92871, SEC 3, TWP 26, 41	4.45	<b>619.71</b>
217	3906000	4233 SPIERS RD	LOT 119, PLAN KAP1247, SEC 3, TWP 26, 41	5.01	<b>697.69</b>
217	3907000	4221 SPIERS RD	LOT 120, PLAN KAP1247, SEC 3, TWP 26, 41	11.20	<b>1559.71</b>
217	3908000	4215 SPIERS RD	LOT 121, PLAN KAP1247, SEC 3, TWP 26, 41	1.00	<b>139.26</b>
217	3912000	3030 GRIEVE RD	LOT 125, PLAN KAP1247, SEC 3, TWP 26, 41	5.50	<b>765.93</b>
217	3913001	3015 GRIEVE RD	LOT 126, PLAN KAP1247, SEC 3, TWP 26, 41	9.88	<b>1375.89</b>
217	3913100	3145 GULLEY RD	LOT 127, PLAN KAP1247, SEC 3, TWP 26, 41	9.20	<b>1281.19</b>
217	3949320	4280 SPIERS RD	LOT B, PLAN KAP34609, SEC 3, TWP 26, 41	9.95	<b>1385.64</b>
217	3949340	4207 SPIERS RD	LOT B, PLAN KAP47098, SEC 3, TWP 26, 41	3.07	<b>427.53</b>
217	3949390	3480 WATER RD	LOT A, PLAN KAP71707, SEC 3, TWP 26, 41	6.46	<b>899.62</b>
217	3950000	3965 TODD RD	LOT , PLAN KAP1247, SEC 4, TWP 26, 41	8.67	<b>1207.38</b>
217	3952062	3865 SPIERS RD	LOT 138, PLAN KAP1247, SEC 4, TWP 26, 41	6.75	<b>940.01</b>
217	3953000	3895 SPIERS RD	LOT 139, PLAN KAP1247, SEC 4, TWP 26, 41	4.71	<b>655.91</b>
217	3955000	2809 GRIEVE RD	LOT 141, PLAN KAP1247, SEC 4, TWP 26, 41	11.94	<b>1662.76</b>
217	3956000	4201 SPIERS RD	LOT 142, PLAN KAP1247, SEC 4, TWP 26, 41	6.18	<b>860.63</b>
217	3960000	2699 SAUCIER RD	LOT 145, PLAN KAP1247, SEC 4, TWP 26, 41	2.04	<b>284.09</b>
217	3965000	4175 TODD RD	LOT 150, PLAN KAP1247, SEC 4, TWP 26, 41	8.33	<b>1160.04</b>
217	3968000	4067 TODD RD	LOT 153, PLAN KAP1247, SEC 4, TWP 26, 41	6.43	<b>895.44</b>
217	3971503	2287 WARD RD	LOT B, PLAN KAP78689, SEC 4, TWP 26, 41	35.86	<b>4993.86</b>
217	3973000	3980 TODD RD	LOT 159, PLAN KAP1247, SEC 4, TWP 26, 41	2.41	<b>335.62</b>
217	3979000	2715 HEWLETT RD	LOT 3, PLAN KAP1656, SEC 4, TWP 26, 41	8.31	<b>1157.25</b>
217	3981000	2570 SAUCIER RD	LOT , PLAN KAP6018B, SEC 4, TWP 26, 41	1.18	<b>164.33</b>
217	3985000	2675 HEWLETT RD	LOT A, PLAN KAP12142, SEC 4, TWP 26, 41	4.83	<b>672.63</b>
217	3990002	3950 SPIERS RD	LOT E, PLAN KAP12142, SEC 4, TWP 26, 41	1.37	<b>190.79</b>
217	3995027	3920 TODD RD	LOT B, PLAN KAP21140, SEC 4, TWP 26, 41	1.00	<b>139.26</b>
217	3995159	3955 SPIERS RD	LOT A, PLAN KAP56989, SEC 4, TWP 26, 41	1.33	<b>185.22</b>
217	3995172	2620 HEWLETT RD	LOT 2, PLAN KAP92520, SEC 4, TWP 26, 41	10.02	<b>1395.39</b>
217	3997000	1591 SAUCIER RD	LOT 237, PLAN KAP1247, SEC 5, TWP 26, 41	7.78	<b>1083.44</b>
217	4008004	4025 CASORSO RD	LOT 1, PLAN EPP72879, SEC 5, TWP 26, 41	5.60	<b>779.86</b>
217	4008005	4100 TODD RD	LOT 2, PLAN EPP72879, SEC 5, TWP 26, 41	1.00	<b>139.26</b>
217	4014004	3896A CASORSO RD	LOT A, PLAN KAP92331, SEC 5, TWP 26, 41	7.81	<b>1087.62</b>
217	4016000	3877 CASORSO RD	LOT 4, PLAN KAP2243, SEC 5, TWP 26, 41	1.51	<b>210.25</b>



Jurisdiction	Folio	Grower Address	Legal Description	Adj. Acres	x 139.26
217	4021000	3995 CASORSO RD	LOT 8, PLAN KAP2243, SEC 5, TWP 26, 41	4.94	<b>687.94</b>
217	4023000	1989 WARD RD	LOT 10, PLAN KAP2243, SEC 5, TWP 26, 41	9.33	<b>1299.30</b>
217	4029000	4153 BEDFORD RD	LOT 1, PLAN KAP15793, SEC 5, TWP 26, 41	5.77	<b>803.53</b>
217	4031000	4122 BEDFORD RD	LOT 4, PLAN KAP15793, SEC 5, TWP 26, 41	1.88	<b>261.81</b>
217	4032158	3860 CASORSO RD	LOT 2, PLAN KAP89549, SEC 5, TWP 26, 41	1.00	<b>139.26</b>
217	4084000	2090 WARD RD	LOT B, PLAN KAP1780, SEC 8, TWP 26, 41	8.12	<b>1130.79</b>
217	4118205	1950 WARD RD	LOT A, PLAN KAP48946, SEC 8, TWP 12, 41	12.85	<b>1789.49</b>
217	4118206	1990 WARD RD	LOT B, PLAN KAP48946, SEC 8, TWP 12, 41	2.49	<b>346.76</b>
217	4121000	3677 SPIERS RD	LOT 1, PLAN KAP1072, SEC 9, TWP 26, 41	4.74	<b>660.09</b>
217	4127000	3663 SPIERS RD	LOT 2, PLAN KAP1765, SEC 9, TWP 26, 41	7.25	<b>1009.64</b>
217	4151030	3769 SPIERS RD	LOT 1, PLAN KAP23684, SEC 9, TWP 26, 41	1.66	<b>231.17</b>
217	4151105	2190 GULLEY RD	LOT A, PLAN KAP26008, SEC 9, TWP 26, 41	7.69	<b>1070.91</b>
217	4151125	2568 K.L.O. RD	LOT B, PLAN KAP26528, SEC 9, TWP 26, 41	1.92	<b>267.38</b>
217	4151140	3664 SPIERS RD	LOT A, PLAN KAP28797, SEC 9, TWP 26, 41	13.98	<b>1946.85</b>
217	4151150	3668 SPIERS RD	LOT B, PLAN KAP28797, SEC 9, TWP 26, 41	1.00	<b>139.26</b>
217	4151155	3678 SPIERS RD	LOT C, PLAN KAP28797, SEC 9, TWP 26, 41	6.77	<b>942.79</b>
217	4151192	2777 K.L.O. RD	LOT A, PLAN KAP43297, SEC 9&10, TWP 26, 41	9.58	<b>1334.11</b>
217	4151195	3740 HART RD	LOT 6, PLAN KAP29282, SEC 9, TWP 26, 41	5.98	<b>832.77</b>
217	4151200	2452 GULLEY RD	LOT 7, PLAN KAP29282, SEC 9, TWP 26, 41	21.88	<b>3047.01</b>
217	4151210	2725 K.L.O. RD	LOT A, PLAN KAP45934, SEC , TWP 26, 41	28.73	<b>4000.94</b>
217	4151260	2295 K.L.O. RD	LOT 2, PLAN KAP33463, SEC 9, TWP 26, 41	8.62	<b>1200.42</b>
217	4151265	3551 SPIERS RD	LOT 3, PLAN KAP33463, SEC 9, TWP 26, 41	3.28	<b>456.77</b>
217	4151292	2202 GULLEY RD	LOT A, PLAN KAP44147, SEC 9, TWP 26, 41	3.85	<b>536.15</b>
217	4151300	3671 SPIERS RD	LOT A, PLAN KAP70726, SEC 9, TWP 26, 41	1.23	<b>171.29</b>
217	4152000	3690 POOLEY RD	LOT , PLAN , SEC 10, TWP 26, 41	16.99	<b>2366.03</b>
217	4154000	3400 REEKIE RD	LOT 3, PLAN KAP355, SEC 10, TWP 26, 41	8.73	<b>1215.74</b>
217	4156000	3455 ROSE RD	LOT 4, PLAN KAP355, SEC 10, TWP 26, 41	16.80	<b>2339.57</b>
217	4157051	3480 FITZGERALD RD	LOT 5, PLAN KAP355, SEC 10, TWP 26, 41	10.07	<b>1402.35</b>
217	4158000	3201 POOLEY RD	LOT 3, PLAN KAP790, SEC 10, TWP 26, 41	14.91	<b>2076.37</b>
217	4160001	3090 MCCULLOCH RD	LOT 5, PLAN KAP790, SEC 10, TWP 26, 41	5.65	<b>786.82</b>
217	4161000	3641 HART RD	LOT 7, PLAN KAP790, SEC 10, TWP 26, 41	6.80	<b>946.97</b>
217	4166000	3274 MCCULLOCH RD	LOT 2, PLAN KAP978, SEC 10, TWP 26, 41	3.72	<b>518.05</b>
217	4167000	3286 MCCULLOCH RD	LOT 3, PLAN KAP978, SEC 10, TWP 26, 41	6.46	<b>899.65</b>

Jurisdiction	Folio	Grower Address	Legal Description	Adj. Acres	x 139.26
217	4168000	3296 1 MCCULLOCH RD	LOT 4, PLAN KAP978, SEC 10, TWP 26, 41	4.11	572.36
217	4170000	3041 POOLEY RD	LOT 3, PLAN KAP1517, SEC 10, TWP 26, 41	2.40	334.22
217	4171000	3131 POOLEY RD	LOT 2, PLAN KAP1517, SEC 10, TWP 26, 41	1.00	139.26
217	4174002	3099 MCCULLOCH RD	LOT B, PLAN KAP71621, SEC 10, TWP 26, 41	2.91	405.25
217	4176000	3591 HART RD	LOT 3, PLAN KAP1589, SEC 10, TWP 26, 41	3.33	463.74
217	4179000	3635 REEKIE RD	LOT A, PLAN KAP2038, SEC 10, TWP 26, 41	15.68	2183.60
217	4180000	3695 FITZGERALD RD	LOT B, PLAN KAP2038, SEC 10, TWP 26, 41	22.55	3140.31
217	4181000	3520 REEKIE RD	LOT 1, PLAN KAP2398, SEC 10, TWP 26, 41	3.96	551.47
217	4183000	3680 REEKIE RD	LOT 2, PLAN KAP2398, SEC 10, TWP 26, 41	10.94	1523.50
217	4194000	3275 MCCULLOCH RD	LOT 1, PLAN KAP6530, SEC 10, TWP 26, 41	12.18	1696.19
217	4198000	3524 ROSE RD	LOT A, PLAN KAP11840, SEC 10, TWP 26, 41	9.17	1277.01
217	4199100	3564 ROSE RD	LOT A, PLAN KAP18708, SEC 10, TWP 26, 41	11.84	1648.84
217	4199156	3269 MCCULLOCH RD	LOT 2, PLAN KAP90496, SEC 10, TWP 26, 41	2.06	286.88
217	4199180	3301 MCCULLOCH RD	LOT 2, PLAN KAP28811, SEC 3&10, TWP 26, 41	14.83	2065.23
217	4199252	3630 FITZGERALD RD	LOT B, PLAN KAP30817, SEC 10, TWP 26, 41	10.10	1406.53
217	4199254	3505 FITZGERALD RD	LOT 1, PLAN KAP30818, SEC 10, TWP 26, 41	20.43	2845.08
217	4199278	3565 ROSE RD	LOT A, PLAN KAP38325, SEC 10, TWP 26, 41	7.87	1095.98
217	4199280	3248 MCCULLOCH RD	LOT B, PLAN KAP38325, SEC 10, TWP 26, 41	1.00	139.26
217	4199302	3665 HART RD	LOT 2, PLAN KAP48949, SEC 10, TWP 26, 41	11.35	1580.60
217	4199303	3255 MCCULLOCH RD	LOT A, PLAN KAP63291, SEC 10, TWP 26, 41	1.00	139.26
217	4199306	3671 HART RD	LOT B, PLAN KAP92586, SEC 10, TWP 26, 41	3.71	516.65
217	4201000	3940 SENGER RD	LOT , PLAN , SEC 11, TWP 26, 41	5.55	772.89
217	4208000	2604 A BELGO RD	LOT 5, PLAN KAP1380, SEC 11, TWP 26, 41	7.07	984.57
217	4209000	2502 BELGO RD	LOT 6, PLAN KAP1380, SEC 11, TWP 26, 41	14.97	2084.72
217	4210000	2550 WALBURN RD	LOT 7, PLAN KAP1380, SEC , TWP 26, 41	3.35	466.52
217	4214000	2605 BELGO RD	LOT 3, PLAN KAP1380, SEC 11, TWP 26, 41	8.55	1190.67
217	4215000	2505 BELGO RD	LOT 4, PLAN KAP1380, SEC 11, TWP 26, 41	5.88	818.85
217	4220000	3950 BORLAND RD	LOT , PLAN KAP1862B, SEC 11, TWP 26, 41	2.92	406.64
217	4222000	3527 BEMROSE RD	LOT 2, PLAN KAP2005, SEC 11, TWP 26, 41	3.17	441.45
217	4223000	3835 BORLAND RD	LOT A, PLAN KAP2645, SEC 11, TWP 26, 41	4.07	566.79
217	4225000	3553 BEMROSE RD	LOT 1, PLAN KAP4332, SEC 11, TWP 26, 41	4.37	608.57
217	4227000	3587 BEMROSE RD	LOT 3, PLAN KAP4332, SEC 11, TWP 26, 41	5.38	749.22
217	4228000	3625 BEMROSE RD	LOT A, PLAN KAP4553, SEC 11, TWP 26, 41	7.95	1107.15



Jurisdiction	Folio	Grower Address	Legal Description	Adj. Acres	x 139.26
217	4232000	3647 BEMROSE RD	LOT 1, PLAN KAP5787, SEC 11, TWP 26, 41	5.71	795.17
217	4234000	4010 SENGERR RD	LOT A, PLAN KAP6005, SEC 11, TWP 26, 41	25.24	3514.92
217	4235000	3975 SENGERR RD	LOT A, PLAN KAP6633, SEC 11, TWP 26, 41	2.62	364.86
217	4237120	2149 BELGO RD	LOT 1, PLAN KAP31521, SEC , TWP 26, 41	10.04	1398.17
217	4237128	2277 BELGO RD	LOT 1, PLAN EPP30052, SEC 11, TWP 26, 41	1.00	139.26
217	4237130	2327 BELGO RD	LOT 1, PLAN KAP33009, SEC 11, TWP 26, 41	8.84	1231.06
217	4237137	3547 BEMROSE RD	LOT 1, PLAN KAP71097, SEC 26, TWP 11, 41	1.00	139.26
217	4237138	2547 BELGO RD	LOT A, PLAN KAP76995, SEC 11, TWP 26, 41	1.00	139.26
217	4237139	3567 BEMROSE RD	LOT A, PLAN KAP77725, SEC 11, TWP 26, 41	1.00	139.26
217	4243000	2455 WALBURN RD	LOT B, PLAN KAP3238B, SEC 12, TWP 26, 41	7.26	1011.03
217	4245051	2601 WALBURN RD	LOT 2, PLAN KAP62978, SEC 12, TWP 26, 41	5.89	820.24
217	4247000	1190 LEWIS RD	LOT 9, PLAN KAP1380, SEC 13, TWP 26, 41	8.08	1125.22
217	4248000	2290 GARNER RD	LOT 2, PLAN KAP1380, SEC 13, TWP 26, 41	7.52	1047.24
217	4249000	2148 WALBURN RD	LOT 4, PLAN KAP1380, SEC 13, TWP 26, 41	10.45	1455.27
217	4254000	1093 TEASDALE RD	LOT 8, PLAN KAP1380, SEC , TWP 26, 41	5.17	719.97
217	4256000	1320 BELGO RD	LOT 1, PLAN KAP1926, SEC 13, TWP 26, 41	2.76	384.36
217	4258000	1404 LEWIS RD	LOT 2, PLAN KAP1926, SEC 13, TWP 26, 41	7.95	1107.12
217	4261000	1839 WALBURN RD	LOT 7, PLAN KAP1926, SEC 13, TWP 26, 41	5.61	781.25
217	4269002	2091 WALBURN RD	LOT 2, PLAN KAP4119, SEC 13, TWP 26, 41	1.00	139.26
217	4270003	1959 WALBURN RD	LOT B, PLAN KAP91170, SEC 13, TWP 26, 41	1.00	139.26
217	4293000	1181 LEWIS RD	LOT A, PLAN KAP11265, SEC 13, TWP 26, 41	1.24	172.68
217	4310500	2021 WALBURN RD	LOT A, PLAN KAP34516, SEC 13, TWP 26, 41	1.00	139.26
217	4315000	3855 EAST KELOWNA RD	LOT 13, PLAN KAP665, SEC 14, TWP 26, 41	2.30	320.30
217	4317000	2075 BELGO RD	LOT 9, PLAN KAP1380, SEC 14, TWP 26, 41	3.81	530.58
217	4318001	1865 BELGO RD	LOT 11, PLAN KAP1380, SEC 14, TWP 26, 41	9.27	1290.94
217	4319000	2280 HOLLYWOOD RD S	LOT 12, PLAN KAP1380, SEC 14, TWP 26, 41	3.98	554.25
217	4324000	1650 GEEN RD	LOT 3, PLAN KAP1380, SEC 14, TWP 26, 41	1.87	260.42
217	4325001	1390 GEEN RD	LOT A, PLAN KAP90868, SEC 14, TWP 26, 41	5.28	735.29
217	4325005	1552 GEEN RD	LOT 1, PLAN EPP34425, SEC 14, TWP 26, 41	1.92	267.38
217	4327004	1595 TEASDALE RD	LOT B, PLAN EPP32484, SEC 14, TWP 26, 41	4.35	605.78
217	4329000	1409 TEASDALE RD	LOT 8, PLAN KAP1380, SEC 14, TWP 26, 41	3.20	445.63
217	4330000	1555 TEASDALE RD	LOT 10, PLAN KAP1380, SEC 14, TWP 26, 41	1.04	144.83
217	4333000	1375 GEEN RD	LOT 5, PLAN KAP1380, SEC 13, TWP 26, 41	1.00	139.26

Jurisdiction	Folio	Grower Address	Legal Description	Adj. Acres	x 139.26
217	4334001	1225 TEASDALE RD	LOT 6, PLAN KAP1380, SEC 14, TWP 26, 41	3.96	551.47
217	4335000	1103 TEASDALE RD	LOT 7, PLAN KAP1380, SEC 14, TWP 26, 41	2.17	302.19
217	4343000	2270 HOLLYWOOD RD S	LOT A, PLAN KAP1845, SEC 14, TWP 26, 41	1.00	139.26
217	4344000	2015 BELGO RD	LOT B, PLAN KAP1845, SEC 14, TWP 26, 41	8.86	1233.84
217	4345000	1525 GEEN RD	LOT A, PLAN KAP1846, SEC 14, TWP 26, 41	1.45	201.93
217	4346000	1565 1 BELGO RD	LOT B, PLAN KAP1846, SEC 14, TWP 26, 41	5.12	713.01
217	4350000	1469 TEASDALE RD	LOT 1, PLAN KAP4384, SEC 14, TWP 26, 41	7.52	1047.24
217	4351000	1429 TEASDALE RD	LOT 2, PLAN KAP4384, SEC 14, TWP 26, 41	1.96	272.95
217	4353000	3675 EAST KELOWNA RD	LOT A, PLAN KAP76792, SEC 15, TWP 26, 41	1.00	139.26
217	4354000	3223 REID RD	LOT B, PLAN KAP76792, SEC 15, TWP 26, 41	1.00	139.26
217	4360093	3754 EAST KELOWNA RD	LOT B, PLAN KAP84170, SEC 14, TWP 26, 41	6.90	960.89
217	4360267	1708 GEEN RD	LOT 1, PLAN KAP82075, SEC 14, TWP 26, 41	5.27	733.90
217	4360268	1605 GEEN RD	LOT 2, PLAN KAP82075, SEC 14, TWP 26, 41	7.44	1036.09
217	4360354	1950 BELGO RD	LOT 2, PLAN KAP25528, SEC 14, TWP 26, 41	14.27	1987.24
217	4360527	3795 EAST KELOWNA RD	LOT A, PLAN KAP58793, SEC 14, TWP 26, 41	1.72	239.53
217	4360528	3765 EAST KELOWNA RD	LOT B, PLAN KAP58793, SEC 14, TWP 26, 41	1.00	139.26
217	4364000	2995 DUNSTER RD	LOT 6, PLAN KAP187, SEC 15, TWP 26, 41	1.46	203.32
217	4365000	3098 EAST KELOWNA RD	LOT 6, PLAN KAP187, SEC 15, TWP 26, 41	9.89	1377.28
217	4366000	3002 EAST KELOWNA RD	LOT 6, PLAN KAP187, SEC 15, TWP 26, 41	2.39	332.83
217	4367000	2855 DUNSTER RD	LOT 7, PLAN KAP187, SEC 15, TWP 26, 41	15.87	2210.06
217	4368000	3152 EAST KELOWNA RD	LOT 7, PLAN KAP187, SEC 15, TWP 26, 41	14.96	2083.33
217	4369000	2795 DUNSTER RD	LOT 8, PLAN KAP187, SEC 15, TWP 26, 41	17.25	2402.24
217	4370002	3250 EAST KELOWNA RD	LOT B, PLAN EPP54381, SEC 15, TWP 26, 41	14.84	2066.62
217	4372000	3208 REID RD	LOT 18, PLAN KAP187, SEC 15, TWP 26, 41	7.63	1062.55
217	4375000	3350 POOLEY RD	LOT 20, PLAN KAP187, SEC 15, TWP 26, 41	7.10	988.75
217	4379000	3073 DUNSTER RD	LOT 12, PLAN KAP665, SEC 16, TWP 26, 41	6.66	927.47
217	4380000	3502 EAST KELOWNA RD	LOT 11, PLAN KAP187, SEC 15, TWP 26, 41	8.21	1143.32
217	4381000	2947 EAST KELOWNA RD	LOT 1, PLAN KAP736, SEC 15, TWP 26, 41	7.42	1033.31
217	4382000	2981 EAST KELOWNA RD	LOT 2, PLAN KAP736, SEC 15, TWP 26, 41	6.57	914.94
217	4385000	3072 EAST KELOWNA RD	LOT 6, PLAN KAP821B, SEC 15, TWP 26, 41	3.50	487.41
217	4386001	3622 EAST KELOWNA RD	LOT 12, PLAN KAP187, SEC 15, TWP 26, 41	4.19	583.50
217	4386002	3652 EAST KELOWNA RD	LOT 12, PLAN KAP187, SEC 15, TWP 26, 41	1.06	147.62
217	4387000	3183 DUNSTER RD	LOT , PLAN KAP187, SEC 15, TWP 26, 41	4.78	665.65



Jurisdiction	Folio	Grower Address	Legal Description	Adj. Acres	x 139.26
217	4394000	3582 EAST KELOWNA RD	LOT B, PLAN KAP1670, SEC 15, TWP 26, 41	3.89	541.72
217	4396000	2960 MCCULLOCH RD	LOT B, PLAN KAP1703, SEC 15, TWP 26, 41	4.41	614.14
217	4400000	3430 POOLEY RD	LOT B, PLAN KAP1725, SEC 15, TWP 26, 41	11.77	1639.09
217	4402000	3251 EAST KELOWNA RD	LOT 1, PLAN KAP3379, SEC 15, TWP 26, 41	3.89	541.72
217	4403000	3240 POOLEY RD	LOT 2, PLAN KAP3379, SEC 15, TWP 26, 41	2.22	309.16
217	4404000	3260 POOLEY RD	LOT 3, PLAN KAP3379, SEC 15, TWP 26, 41	11.19	1558.32
217	4406000	3420 EAST KELOWNA RD	LOT 1, PLAN KAP3380, SEC 15, TWP 26, 41	5.65	786.82
217	4407000	3490 EAST KELOWNA RD	LOT 2, PLAN KAP3380, SEC 15, TWP 26, 41	6.28	874.55
217	4412000	3288 REID RD	LOT A, PLAN KAP4618, SEC 15, TWP 26, 41	13.53	1884.19
217	4416000	3329 EAST KELOWNA RD	LOT 1, PLAN KAP5512, SEC 15, TWP 26, 41	6.69	931.65
217	4418000	3375 DALL RD	LOT 1, PLAN KAP6585, SEC 15, TWP 26, 41	5.07	706.05
217	4420000	3060 POOLEY RD	LOT 2, PLAN KAP6585, SEC 15, TWP 26, 41	2.15	299.41
217	4423190	3350 EAST KELOWNA RD	LOT 1, PLAN KAP30593, SEC 15, TWP 26, 41	1.00	139.26
217	4423192	3310 EAST KELOWNA RD	LOT 2, PLAN KAP30593, SEC 15, TWP 26, 41	9.95	1385.64
217	4423194	3410 POOLEY RD	LOT A, PLAN KAP34483, SEC 15, TWP 26, 41	4.50	626.67
217	4423198	3120 POOLEY RD	LOT B, PLAN KAP34888, SEC 15, TWP 26, 41	9.08	1264.48
217	4423205	3480 POOLEY RD	LOT A, PLAN KAP53451, SEC 15, TWP 26, 41	1.00	139.26
217	4423207	3367 REID RD	LOT B, PLAN KAP55650, SEC 15, TWP 26, 41	1.85	257.63
217	4423208	3390 REID RD	LOT 1, PLAN KAP56635, SEC 15, TWP 26, 41	1.00	139.26
217	4423209	3360 REID RD	LOT 2, PLAN KAP56635, SEC 15, TWP 26, 41	7.32	1019.38
217	4428000	3395 NEID RD	LOT 26, PLAN KAP187, SEC 16, TWP 26, 41	2.38	331.44
217	4432000	3194 DUNSTER RD	LOT 5, PLAN KAP665, SEC 16, TWP 26, 41	1.94	270.16
217	4433000	3172 DUNSTER RD	LOT 6, PLAN KAP665, SEC 16, TWP 26, 41	1.17	162.93
217	4436000	3042 1 DUNSTER RD	LOT 9, PLAN KAP665, SEC 16, TWP 26, 41	1.66	231.17
217	4525228	2877 EAST KELOWNA RD	LOT B, PLAN KAP33697, SEC 16, TWP 26, 41	6.38	888.48
217	4525503	2690 BEWLAY RD	LOT 1, PLAN KAP56199, SEC 16, TWP 26, 41	3.20	445.63
217	4574000	2990 DUNSTER RD	LOT , PLAN KAP1353B, SEC 21, TWP 26, 41	9.71	1352.21
217	4591000	2934 DUNSTER RD	LOT C, PLAN KAP1700, SEC 22, TWP 26, 41	7.89	1098.76
217	4805214	2960 DUNSTER RD	LOT 1, PLAN KAP73437, SEC 22, TWP 26, 41	12.95	1803.42
217	4814000	1250 BELGO RD	LOT 3, PLAN KAP2128, SEC , TWP 26, 41	3.72	518.05
217	4824000	1205 BELGO RD	LOT 2, PLAN KAP2329, SEC 23, TWP 26, 41	2.42	337.01
217	4825001	1368 3 TEASDALE RD	LOT 3, PLAN KAP2329, SEC 23, TWP 26, 41	17.58	2448.19
217	4884000	1255 BELGO RD	LOT 2, PLAN KAP5620B, SEC , TWP 26, 41	14.91	2076.359

Jurisdiction	Folio	Grower Address	Legal Description	Adj. Acres	x 139.26
217	4898000	879 HIGHWAY 33 E	LOT 3, PLAN KAP9679, SEC , TWP 26, 41	8.85	1232.45
217	5479000	3363 SPRINGFIELD RD	LOT 5, PLAN KAP1802, SEC 24, TWP 26, 41	12.14	1690.62
217	5502130	811 HIGHWAY 33 E	LOT A, PLAN KAP23321, SEC 24, TWP 26, 41	1.93	268.77
217	5502305	1151 LEWIS RD	LOT A, PLAN KAP33567, SEC 24, TWP 26, 41	5.39	750.61
217	5502310	881 HIGHWAY 33 E	LOT B, PLAN KAP33567, SEC 24, TWP 26, 41	8.89	1238.02
217	5503001	751 HARTMAN RD	LOT , PLAN KAP264, SEC 25, TWP 26, 41	8.85	1232.45
217	5510000	920 HARTMAN RD	LOT 3, PLAN KAP731, SEC 25, TWP 26, 41	5.95	828.60
217	5511000	1130 HARTMAN RD	LOT 4, PLAN KAP731, SEC 25, TWP 26, 41	5.37	747.83
217	5513004	1120 GIBSON RD	LOT B, PLAN EPP11757, SEC 25, TWP 26, 41	6.28	874.55
217	5514000	1145 MORRISON RD	LOT 2, PLAN KAP1515, SEC 25, TWP 26, 41	2.51	349.54
217	5516000	712 MCCURDY RD E	LOT 4, PLAN KAP1515, SEC 25, TWP 26, 41	6.83	951.15
217	5517000	225 GIBSON RD	LOT 4, PLAN KAP1760, SEC 25, TWP 26, 41	3.72	518.05
217	5519002	1610 SWAINSON RD	LOT 1, PLAN KAP77945, SEC , TWP 26, 41	10.86	1512.36
217	5524000	1308 MCKENZIE RD	LOT 12, PLAN KAP1760, SEC 25, TWP 26, 41	6.55	912.15
217	5530000	1550 SWAINSON RD	LOT 1, PLAN KAP77944, SEC , TWP 26, 41	22.29	3104.11
217	5548000	1090 MCKENZIE RD	LOT 2, PLAN KAP4586, SEC 25, TWP 26, 41	26.74	3723.81
217	5561000	690 HARTMAN RD	LOT A, PLAN KAP5499, SEC 25, TWP 26, 41	16.60	2311.72
217	5579469	1045 EL PASO RD	LOT 22, PLAN KAP22986, SEC 25, TWP 26, 41	5.19	722.76
217	5579575	839 HARTMAN RD	LOT 2, PLAN KAP29183, SEC 25, TWP 26, 41	17.85	2485.79
217	5579684	837 HARTMAN RD	LOT A, PLAN KAP35135, SEC 25, TWP 26, 41	2.66	370.43
217	6471000	463 VALLEY RD	LOT 2, PLAN KAP896, SEC , TWP 26, 41	2.03	282.70
217	6499001	445 VALLEY RD	LOT 3, PLAN KAP896, SEC 33, TWP 26, 41	3.75	522.23
217	6501000	2224 ROJEM RD	LOT 4, PLAN KAP896, SEC 33, TWP 26, 41	2.06	286.88
217	6502000	389 VALLEY RD	LOT 5, PLAN KAP896, SEC 33, TWP 26, 41	9.08	1264.48
217	6507000	2429 LONGHILL RD	LOT 14, PLAN KAP1068, SEC 33, TWP 26, 41	11.55	1608.45
217	6508000	2449 LONGHILL RD	LOT 15, PLAN KAP1068, SEC 33, TWP 26, 41	1.46	203.32
217	6510000	120 MAIL RD	LOT 15, PLAN KAP1068, SEC , TWP 26, 41	7.95	1107.12
217	6511000	102 MAIL RD	LOT 16, PLAN KAP1068, SEC , TWP 26, 41	8.75	1218.53
217	6515000	545 RIFLE RD	LOT 7, PLAN KAP1249, SEC , TWP 26, 41	5.07	706.05
217	6524000	2300 30 SILVER PL	LOT 8, PLAN KAP1249, SEC 33, TWP 26, 41	3.43	477.66
217	6525000	2227 ROJEM RD	LOT 9, PLAN KAP1249, SEC 33, TWP 26, 41	2.10	292.45
217	6527000	2255 ROJEM RD	LOT 11, PLAN KAP1249, SEC 33, TWP 26, 41	4.42	615.53
217	6528000	2309 ROJEM RD	LOT 12, PLAN KAP1249, SEC 33, TWP 26, 41	4.36	607.19



Jurisdiction	Folio	Grower Address	Legal Description	Adj. Acres	x 139.26
217	6529000	2323 ROJEM RD	LOT 13, PLAN KAP1249, SEC 33, TWP 26, 41	2.78	387.14
217	6533000	2379 ROJEM RD	LOT 17, PLAN KAP1249, SEC 33, TWP 26, 41	1.96	272.95
217	6541000	330 VALLEY RD	LOT 2, PLAN KAP4043, SEC 33, TWP 26, 41	1.00	139.26
217	6554120	2389 2 ROJEM RD	LOT A, PLAN KAP26223, SEC 33, TWP 26, 41	4.91	683.77
217	6554140	2400 LONGHILL RD	LOT A, PLAN KAP26592, SEC 4&33, TWP 23, 41	2.41	335.62
217	6554160	2461 LONGHILL RD	LOT A, PLAN KAP28623, SEC 33, TWP 26, 41	5.10	710.23
217	6554195	2350 SILVER PL	LOT 1, PLAN KAP33461, SEC 33, TWP 26, 41	3.52	490.20
217	6554197	2489 LONGHILL RD	LOT 2, PLAN KAP33461, SEC 33, TWP 26, 41	4.13	575.14
217	6554199	574 RIFLE RD	LOT 3, PLAN KAP33461, SEC 33, TWP 26, 41	3.39	472.09
217	6554238	2351 ROJEM RD	LOT C, PLAN KAP61113, SEC 33, TWP 26, 41	4.45	619.71
217	6557002	2710 LONGHILL RD	LOT B, PLAN KAP88097, SEC 34, TWP 26, 41	1.00	139.26
217	6612470	2512 LONGHILL RD	LOT A, PLAN KAP26258, SEC , TWP 26, 41	13.50	1880.01
217	6612672	2614 LONGHILL RD	LOT 1, PLAN KAP40166, SEC 34, TWP 26, 41	2.17	302.19
217	6638000	1844 RUTLAND RD N	LOT , PLAN KAP264, SEC 35, TWP 26, 41	1.00	139.26
217	6646000	625 CORNISH RD	LOT 27, PLAN KAP425, SEC , TWP 26, 41	1.00	139.26
217	6647000	610 CORNISH RD	LOT 28, PLAN KAP425, SEC 35, TWP 26, 41	7.77	1082.05
217	6658000	355 CORNISH RD	LOT 41, PLAN KAP425, SEC 35, TWP 26, 41	3.64	506.91
217	6773003	1685 RUTLAND RD N	LOT 3, PLAN KAP18313, SEC 35, TWP 26, 41	2.05	285.48
217	6773440	585 CORNISH RD	LOT 1, PLAN KAP19142, SEC 35, TWP 26, 41	3.86	537.54
217	6774244	245 CORNISH RD	LOT B, PLAN KAP43294, SEC 35, TWP 26, 41	1.00	139.26
217	6776850	2105 MORRISON RD	LOT 1, PLAN KAP425, SEC 36, TWP 26, 41	4.14	576.54
217	6776900	1990 MCKENZIE RD	LOT 2, PLAN KAP425, SEC 36, TWP 26, 41	15.13	2107.00
217	6777000	1900 MCKENZIE RD	LOT 3, PLAN KAP425, SEC 36, TWP 26, 41	6.03	839.74
217	6778000	1893 MORRISON RD	LOT 3, PLAN KAP425, SEC 36, TWP 26, 41	4.17	580.71
217	6788000	1304 MORRISON RD	LOT 10, PLAN KAP425, SEC 36, TWP 26, 41	7.58	1055.59
217	6793000	2104 1 MORRISON RD	LOT 15, PLAN KAP425, SEC , TWP 26, 41	1.58	220.03
217	6794000	685 2 OLD VERNON RD	LOT 16, PLAN KAP425, SEC , TWP 26, 41	7.70	1072.30
217	6796000	745 CORNISH RD	LOT 18, PLAN KAP425, SEC , TWP 26, 41	6.35	884.30
217	6799510	1425 MORRISON RD	LOT B, PLAN EPP15301, SEC 36, TWP 26, 41	7.41	1031.92
217	6803000	1350 HORNING RD	LOT 20, PLAN KAP1760, SEC 36, TWP 26, 41	14.64	2038.77
217	6805005	1920 MCCURDY RD E	LOT 3, PLAN KAP91486, SEC 31, TWP 27, 41	13.61	1895.33
217	6806000	1431 LATTA RD	LOT 24, PLAN KAP1760, SEC , TWP 26, 41	2.65	369.04
217	6807001	1305 LATTA RD	LOT 25, PLAN KAP1760, SEC 36, TWP 26, 41	6.30	877.34

Jurisdiction	Folio	Grower Address	Legal Description	Adj. Acres	x 139.26
217	6810002	1341 LATTA RD	LOT 28, PLAN KAP1760, SEC 36, TWP 26, 41	9.97	1388.42
217	6814007	1448 LATTA RD	LOT 3, PLAN KAP91485, SEC 31, TWP 27, 41	17.22	2398.06
217	6814008	1440 LATTA RD	LOT A, PLAN EPP28996, SEC 36, TWP 26, 41	1.00	139.26
217	6814009	1400 LATTA RD	LOT B, PLAN EPP28996, SEC 31, TWP 27, 41	10.32	1437.16
217	6817001	1331 MCCURDY RD E	LOT 1, PLAN KAP4060, SEC 36, TWP 26, 41	19.59	2728.10
217	6819000	1545 MCCURDY RD E	LOT 3, PLAN KAP4060, SEC 36, TWP 26, 41	15.90	2214.23
217	6820000	1445 LATTA RD	LOT 25, PLAN KAP4218B, SEC 36, TWP 26, 41	10.85	1510.97
217	6828490	1761 MORRISON RD	LOT A, PLAN KAP25654, SEC 36, TWP 26, 41	3.97	552.86
217	6828500	1750 MCKENZIE RD	LOT B, PLAN KAP25654, SEC 36, TWP 26, 41	10.23	1424.63
217	6828524	1700 MCKENZIE RD	LOT D, PLAN KAP25654, SEC 36, TWP 26, 41	7.37	1026.35
217	6828618	1301 LATTA RD	LOT 1, PLAN KAP33998, SEC 36, TWP 26, 41	1.00	139.26
217	6828642	837 MCCURDY RD E	LOT 2, PLAN EPP14181, SEC 36, TWP 26, 41	1.00	139.26
217	6828644	833 MCCURDY RD E	LOT 3, PLAN EPP14181, SEC 36, TWP 26, 41	1.00	139.26
217	6886003	2025 1 TREETOP RD	LOT 1, PLAN KAP1760, SEC 19, TWP 27, 41	9.81	1366.14
217	6960185	5681 LAKESHORE RD	LOT 1, PLAN EPP37698, SEC 16, TWP 28, 54	1.00	139.26
217	7143000	559 BARNABY RD	LOT 3, PLAN KAP1743, SEC 25, TWP 28, 54	1.00	139.26
217	7161000	4856 LAKESHORE RD	LOT , PLAN KAP1722, SEC 25, TWP 29, 54	3.73	519.44
217	7264002	1456 DEHART RD	LOT 1, PLAN KAP1837, SEC , TWP 29, 41	11.58	1612.63
217	7269000	999 CRAWFORD RD	LOT 1, PLAN KAP13170, SEC 31, TWP 29, 41	11.85	1650.23
217	7270072	1265 CRAWFORD RD	LOT 2, PLAN KAP21104, SEC 31, TWP 29, 41	1.00	139.26
217	7270074	1285 CRAWFORD RD	LOT 3, PLAN KAP21104, SEC , TWP 29, 41	1.00	139.26
217	7278000	4551 STEWART RD W	LOT 220, PLAN KAP1247, SEC 32, TWP 29, 41	2.89	402.46
217	7280000	4480 STEWART RD E	LOT 222, PLAN KAP1247, SEC 32, TWP 29, 41	1.00	139.26
217	7286000	1690 SAUCIER RD	LOT 228, PLAN KAP1247, SEC 32, TWP 29, 41	1.00	139.26
217	7287000	1670 SAUCIER RD	LOT 229, PLAN KAP1247, SEC 32, TWP 29, 41	4.27	594.64
217	7290000	1650 SAUCIER RD	LOT 232, PLAN KAP1247, SEC 32, TWP 29, 41	9.79	1363.36
217	7291000	4202 BEDFORD RD	LOT 233, PLAN KAP1247, SEC 32, TWP 29, 41	9.74	1356.39
217	7293000	1601 SAUCIER RD	LOT 238, PLAN KAP1247, SEC 32, TWP 29, 41	1.62	225.60
217	7296000	1475 DEHART RD	LOT 246, PLAN KAP1247, SEC 32, TWP 29, 41	1.00	139.26
217	7304000	4132 BEDFORD RD	LOT 3, PLAN KAP15793, SEC 32, TWP 29, 41	6.38	888.48
217	7304010	1485 DEHART RD	LOT 1, PLAN KAP20969, SEC 32, TWP 29, 41	1.21	168.50
217	7351000	4305 JAUD RD	LOT 5, PLAN KAP6171, SEC 34, TWP 29, 41	14.20	1977.49
217	9533000	2517 GALE RD	LOT 2, PLAN KAP10810, SEC , TWP , 41	6.91	962.29



Jurisdiction	Folio	Grower Address	Legal Description	Adj. Acres	x 139.26
217	9533052	2499 GALE RD	LOT C, PLAN KAP19044, SEC , TWP , 41	1.00	<b>139.26</b>
217	9533053	2475 GALE RD	LOT D, PLAN KAP19044, SEC , TWP , 41	1.00	<b>139.26</b>
217	9533054	2449 GALE RD	LOT E, PLAN KAP19044, SEC , TWP , 41	1.00	<b>139.26</b>
217	9533055	2427 GALE RD	LOT F, PLAN KAP19044, SEC , TWP , 41	1.00	<b>139.26</b>
217	9533057	2555 GALE RD	LOT A, PLAN EPP65442, SEC , TWP , 41	1.39	<b>193.57</b>
217	10392000	2240 MAYER RD	LOT 1, PLAN KAP2332, SEC , TWP , 41	14.93	<b>2079.15</b>
217	10393000	2050 BYRNS RD	LOT 1, PLAN KAP2830, SEC 17, TWP 26, 41	20.34	<b>2832.55</b>
217	10394001	2190 COOPER RD	LOT A, PLAN KAP80629, SEC , TWP , 41	6.70	<b>933.04</b>
217	10410000	1756 BYRNS RD	LOT 23, PLAN KAP415, SEC , TWP , 41	11.40	<b>1587.56</b>
217	10411000	1890 BYRNS RD	LOT 23, PLAN KAP415, SEC 19, TWP 26, 41	4.35	<b>605.78</b>
217	10414000	1756 BYRNS RD	LOT 26, PLAN KAP415, SEC , TWP , 41	15.50	<b>2158.53</b>
217	10518000	1650 BYRNS RD	LOT 2, PLAN KAP78759, SEC , TWP , 41	3.61	<b>502.73</b>
217	10519852	2225 SPALL RD	LOT B, PLAN KAP40808, SEC , TWP , 41	13.45	<b>1873.05</b>
217	10519854	1980 BYRNS RD	LOT C, PLAN KAP40808, SEC , TWP , 41	10.91	<b>1519.33</b>
217	10519856	1990 BYRNS RD	LOT D, PLAN KAP40808, SEC , TWP , 41	1.00	<b>139.26</b>
217	10531000	1909 BYRNS RD	LOT 15, PLAN KAP415, SEC , TWP , 41	5.17	<b>719.97</b>
217	10543001	2589 BENVOLIN RD	LOT 1, PLAN KAP3357, SEC , TWP , 41	5.67	<b>789.60</b>
217	10549000	2029 BYRNS RD	LOT 2, PLAN KAP8615, SEC , TWP , 41	7.03	<b>979.00</b>
217	10589113	1909 BYRNS RD	LOT B, PLAN KAP67173, SEC , TWP , 41	22.89	<b>3187.66</b>
217	11501711	4345 HOBSON RD	LOT 25, PLAN KAP27559, SEC , TWP , 41	1.00	<b>139.26</b>
217	11502309	4340 HOBSON RD	LOT A, PLAN KAP69885, SEC , TWP , 41	1.00	<b>139.26</b>
217	12185840	2450 SAUCIER RD	LOT 166, PLAN KAP1247, SEC 33, TWP 29, 41	3.68	<b>512.48</b>
217	12185870	2225 SAUCIER RD	LOT 180, PLAN KAP1247, SEC 33, TWP 29, 41	1.00	<b>139.26</b>
217	12191000	4400 JAUD RD	LOT 3, PLAN KAP1734, SEC 33, TWP 29, 41	13.92	<b>1938.50</b>
217	12199072	4499 WALLACE HILL RD	LOT A, PLAN KAP35213, SEC , TWP , 41	2.01	<b>279.91</b>
217	12199082	4380 WALLACE HILL RD	LOT 2, PLAN KAP39632, SEC , TWP , 41	4.70	<b>654.52</b>
217	12199103	2740 HARVARD RD	LOT 14, PLAN KAP62784, SEC , TWP , 41	3.11	<b>433.10</b>
217	12199105	4300 WALLACE HILL RD	LOT B, PLAN KAP62482, SEC , TWP , 41	15.82	<b>2203.09</b>
				2291.20	<b>319072.51</b>

# CITY OF KELOWNA

## BYLAW NO. 11540

### Sewer Connection Charge Bylaw

---

WHEREAS the City of Kelowna has by bylaw provided for the establishment of a system of sewerage works for the collection, conveyance and disposal of sewage;

AND WHEREAS the City of Kelowna may by bylaw impose a fee or charge payable in respect of all or part of a service or regulatory scheme of the municipality, and the bylaw may base the fee or charge on any factor specified in the bylaw, establish different classes of property, and establish different fees or charges for different classes;

NOW THEREFORE the Council of the City of Kelowna in open meeting assembled enacts as follows:

**1.0     TITLE**

1.1     This bylaw may be cited as the "Sewer Connection Charge Bylaw No. 11540".

**2.0     PURPOSE**

2.1     The purpose of this bylaw is to impose a charge in respect of the installation by the City, or its agent for that purpose, of sewer trunk mains, sewer collector mains, and sewer service lines, to permit the owners of real property in the area to which the bylaw applies to connect to and use the sewage collection and treatment service of the City.

**3.0     DEFINITIONS**

In this bylaw:

**BUILDING** means a temporary or permanent **structure** having a roof supported by columns or walls for the shelter or enclosure of persons, animals, materials, chattels and/or equipment.

**CITY** means the City of Kelowna.

**SINGLE FAMILY EQUIVALENT** means a single residential dwelling unit that is not intended to be occupied by more than one family, or **buildings** or properties of various land use designations or zoning categories that have been calculated to be equivalent to a single dwelling unit by means of the table of **SINGLE FAMILY EQUIVALENT** (SFE's) shown in Schedule 1.

**OWNER** in respect of real property means the registered **owner** of an estate in fee simple, the tenant for life under a registered life estate, the registered holder of the last registered agreement for sale, the holder or occupier of land held in the manner referred to in the *Local Government Act*.

**PARCEL** means any lot, block or other area in which land is held or into which it is subdivided, but does not include a highway.

**STRUCTURE** means a construction of any kind, whether fixed to or supported by or sunk into land or water for any use requiring sewer connection.



#### **4.0 SCHEDULES**

4.1 The following schedules are attached to and form part of this bylaw:

Schedule "1" - Determination of Single Family Equivalent

Schedule "2" - Sewer Connection Charges

Schedule "3" - Sewer Connection Areas

#### **5.0 CONNECTION CHARGE**

5.1 All **owners** of real property located within a sewer service connection area as depicted in Schedule 3 must pay as a condition of connection to the **City** sewer system a connection charge for the **parcel** to be serviced in accordance with the sewer service connection charges set forth in Schedule 2, except that an **owner** who has installed a portion of the sewer trunk works on McCurdy Road pursuant to the terms of an agreement in writing with the **City** and paid an agreed portion of the cost of such works is not obliged to pay a connection charge in respect of the real property that is the subject of the agreement.

5.2 In the event that the actual cost of installing a connection from the sewer main to the property line exceeds the amount prescribed in 5.1, then the Owner or applicant must pay the whole of the actual costs of laying the connection pipe.

5.3 All **owners** of real property located outside of a sewer service connection area, but are in an area serviced by the **City's** sewer system, may apply for a sewer connection and, if authorized, must pay the whole of the actual cost of installing the connection from the sewer main to the property line.

#### **6.0 APPLICATION**

6.1 Any person wishing to apply for connection to the **City's** sewer system shall apply in writing by submitting an application to the City Development Services Department.

#### **7.0 TERMS OF PAYMENT**

7.1 All connection charges must be paid to the **City** prior to and as a condition of allowing the installation or usage of a sewer connection to a **parcel**, payable in accordance with the charges prescribed in Schedule 2.

#### **8.0 SINGLE FAMILY EQUIVALENT**

8.1 All sewer connection charges payable pursuant to the provisions of this bylaw have been calculated in accordance with the determination of the cost of installing sewer in each applicable area, and the number of **single family equivalents** for the area in which the real property is located according to the criteria listed in Schedule 2.

8.2 All sewer connection charges payable pursuant to this bylaw shall be paid in accordance with the charges payable per **single family equivalent** for the area in which the real property is located as determined by Schedule 3 attached to and forming part of this bylaw.

#### **9.0 RIGHT OF ENTRY**

9.1 The **City's** officers, employees and authorized agents may enter at all reasonable times on any real property that is subject to the regulations contained in this bylaw for the purpose of determining compliance with this bylaw.

9.2 No person shall interfere with or obstruct the entry of the **City's** officers, employees or authorized agents onto any real property or into any **building** or **structure** pursuant to the provisions of this bylaw.

**10.0 PROHIBITIONS**

10.1 No person shall contravene, cause, suffer or permit a contravention of this bylaw.

**11.0 OFFENCES AND PENALTIES**

11.1 Every **Person** who violates any provisions of this bylaw or who suffers or permits any act or thing to be done in contravention or in violation of any of the provisions of this bylaw or who neglects to do or refrains from doing anything required to be done by any of the provisions of this bylaw, or who does any act which constitutes an offence against the bylaw is guilty of an offence against this bylaw and liable to the penalties hereby imposed. Each day that the violation continues to exist, shall constitute a separate offence.

11.2 Every **Person** who commits an offence against this bylaw is liable on conviction, to a fine of up to \$10,000.00, or liable to a term of incarceration for a period of not more than 90 days, or both. Any penalty imposed pursuant to this bylaw shall be in addition to, and not in substitution for, any other penalty or remedy imposed pursuant to any other applicable statute, law or legislation.

**12.0 SEVERANCE**

12.1 If a section, subsection, sentence, clause or phrase of this bylaw is for any reason held to be invalid by the decision of a Court of competent jurisdiction, it shall be severed and such decision shall not affect the validity of the remaining portions of this bylaw.

**13.0 REPEAL**

13.1 The City of Kelowna "Sewer Connection Charge Bylaw No. 8469" and all amendments thereto, are hereby repealed.

Read a first, second and third time by the Municipal Council this 16<sup>th</sup> day of April, 2018.

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk



## SCHEDULE 1 DETERMINATION OF SINGLE FAMILY EQUIVALENT

1. SFE's calculated for a **building** or **parcel**, will be done on the basis that the minimum of any conversion will be one SFE, and any **building** or land area resulting in less than one SFE will be rounded up to one SFE. Conversions that result in greater than one SFE will be calculated to two decimal points, using standard algebraic rounding.

### BASIS FOR DETERMINING NUMBER OF SINGLE FAMILY EQUIVALENTS

DETERMINING THE NUMBER OF SINGLE FAMILY EQUIVALENTS	
BASIS: 1.0 single family residential unit equals 1.0 SINGLE FAMILY EQUIVALENTS (SFE)	
ZONING CATEGORY AS DETERMINED BY SECTION 1.3.1 OF ZONING BYLAW NO. 8000	FACTOR
Residential	Each <b>building</b> lot or residential unit equals 1.0 SFE. Each mobile home space or multi-family residential unit equals 0.70 SFE.
Commercial	The first 2,600 square feet of floor area or portion thereof equals 1 SFE. Thereafter 1/2600 SFE per square foot of floor area.
Industrial	The first .36 acres of developed land or portion thereof equals 1 SFE. Thereafter 2.8 SFE's per acre of developed land.
Public and Institutional	For the first 2,600 square feet of floor area or portion thereof equals 1 SFE. Thereafter 1/2600 SFE per square foot of floor area. For schools, 50 elementary students equals 1 SFE and 35 middle or senior students equals 1 SFE.

NOTE: Developed Land means that portion or area of a lot containing any improvements for the accommodation of a **structure**, storage, parking, landscaping or any entity, thing or device to facilitate the permitted use. Landscaped areas are exempt from charges in industrial land use designations only.

**SCHEDULE 2**  
**SEWER CONNECTION CHARGES**

Area No.	Connection Area	Remaining SFE	Estimated Remaining Costs to be Paid or Recovered	Charge per SFE (If Pre-Paid)
16	Rio/Terrace	55	\$569,000	\$10,300
22	Central Rutland	567	\$8,269,000	\$14,600
25	St Amand/Chamberlain	55	\$656,000	\$11,900
27	Hall Road	400	\$12,738,000	\$31,800
31	Boppart	12	\$165,000	\$13,800
32	North End Industrial	1480	\$3,850,000	\$2,600
35	Sexsmith/Appaloosa	55	\$731,000	\$13,300
37-1	Clifton Road North - Connector 1	28	\$178,000	\$6,400
37-2	Clifton Road North - Connector 2	26	\$100,000	\$3,900
37-3	Clifton Road North - Connector 3	10	\$122,000	\$12,200
38	Crawford	480	\$13,018,000	\$27,100



SCHEDULE 3 - SEWER CONNECTION AREAS

