

City of Kelowna

Regular Council Meeting

AGENDA



Tuesday, April 10, 2018
6:00 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. **Call to Order**
2. **Reaffirmation of Oath of Office**
The Oath of Office will be read by Councillor Donn.
3. **Confirmation of Minutes** 1 - 7
Public Hearing - March 20, 2018
Regular Meeting - March 20, 2018
4. **Bylaws Considered at Public Hearing**
 - 4.1 **Springfield Rd 3054, Z17-0078 (BL11573) - Hyung Ja Eo** 8 - 8
To give Bylaw No. 11573 second and third readings in order to rezone the subject property from the RU1 – Large Lot Housing zone to RU1c – Large Lot Housing with Carriage House zone.
 - 4.2 **Richter St 1205, 1215, 1223, 1229, 1235 & 1241, OCP18-0001 (BL11574) - 1120797 BC Ltd Inc** 9 - 9
Requires a majority of all Council (5).
To give Bylaw No. 11574 second and third readings in order to change the future land use designation from the MRM – Multiple Unit Residential (Medium Density) designation to MRH – Multiple Unit Residential (High Density) designation.
 - 4.3 **Richter St 1205, 1215, 1223, 1229, 1235 & 1241, Z18-0003 (BL11575) - 1120797 BC Ltd Inc** 10 - 10
To give Bylaw No. 11575 second and third readings in order to rezone the subject property from the RU6 – Two Dwelling Housing zone to RM6 – High Rise Apartment Housing zone.

4.4	South Ridge Dr 5008, Z17-0114 (BL11576) - Emil Anderson Construction Co Ltd.	11 - 11
	To give Bylaw No. 11576 second and third readings in order to rezone the subject property from the C1 - Local Commercial zone to the C2 - Neighbourhood Commercial zone.	
5.	Notification of Meeting	
	The City Clerk will provide information as to how the following items on the Agenda were publicized.	
6.	Liquor License Application Reports	
6.1	Pandosy St 1630 - 101, LL18-0004 - Ricco Bambino Wines Inc Inc No BC1129356	12 - 21
	City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the liquor license application to come forward.	
	To seek Council's support for a manufacturer's lounge liquor license for a proposed urban winery.	
7.	Development Permit and Development Variance Permit Reports	
7.1	Kneller Rd 150, DP15-0176 & DVP15-0177 - Okanagan Metis & Aboriginal Housing Society Inc	22 - 52
	City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.	
	To review the Form & Character Development Permit of a project known as 'Nissan Crossing' which consists of a 3 storey apartment building with ground floor units facing the streets and to consider one variance to the ratio of full and medium sized parking stalls.	
7.2	Knowles Rd 504, DVP17-0220 - David Rolleston and Jennifer Rolleston	53 - 59
	City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.	
	To consider a variance to the minimum lot depth from 30.0m required to 27.5m proposed to facilitate a two lot subdivision.	

7.3 McCurdy Road 730-760, DP17-0267 & DVP17-0268 - Midwest Ventures Ltd.

60 - 80

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider a Development Permit for the Form and Character of one new industrial building and to vary the minimum side yard setback from 4.5 m permitted to 0.0 m proposed on the subject property.

7.4 Campion Street 170 - 180, DVP17-0276 - Campion Road Management

81 - 93

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider a variance request to alter the required minimum front yard setback from 7.5 m required to 3.0 m proposed to facilitate the development of a new industrial building on the subject property.

8. Reminders

9. Termination



City of Kelowna Public Hearing Minutes

Date: Tuesday, March 20, 2018
 Location: Council Chamber
 City Hall, 1435 Water Street

Members Present: Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Tracy Gray, Brad Sieben*, Mohini Singh and Luke Stack

Members Absent: Councillors Gail Given and Charlie Hodge

Staff Present: City Manager, Ron Mattiussi; City Clerk, Stephen Fleming, Community Planning Department Manager, Ryan Smith; Legislative Coordinator (Confidential), Arlene McClelland

(*Denotes partial attendance)

1. Call to Order

Mayor Basran called the Hearing to order at 6:01 p.m.

Mayor Basran advised that the purpose of the Hearing is to consider certain bylaws which, if adopted, will amend "Kelowna 2030 - Official Community Plan Bylaw No. 10500" and Zoning Bylaw No. 8000", and all submissions received, either in writing or verbally, will be taken into consideration when the proposed bylaws are presented for reading at the Regular Council Meeting which follows this Public Hearing.

2. Notification of Meeting

The City Clerk advised that Notice of this *Public Hearing* was advertised by being posted on the Notice Board at City Hall on Tuesday, March 20, 2018 and by being placed in the Kelowna Daily Courier issues on Friday March 9 and Wednesday, March 14 and by sending out or otherwise mailing 142 statutory notices to the owners and occupiers of surrounding properties on Tuesday, March 20, 2018.

The correspondence and/or petitions received in response to advertising for the applications on tonight's agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

Councillor Sieben joined the meeting at 6:03 p.m.

3. Individual Bylaw Submissions

3.1 Pandosy St 2565 and 2579, Z17-0113 (BL11562) - 1018545 BC Ltd

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letters of Opposition and Concern:

Jennifer Clifton, 473 Patterson Avenue

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Kevin Johnson, Applicant Representative

- Believes the development is a great design and concept and wished it were located in the urban centre in order to build 10 units rather than 9.
- Created in-door parking with the building wrapped around it as to not expose the parking lot.
- There will be two parking stalls per unit.
- Spoke to the form and character of the building.
- Available for questions.

Gallery:

Maurice Garneau, Patterson Road

- Raised concern with the proposed building looking more commercial than residential.
- Raised concern with the height of the building.
- Responded to questions from Council.
- In support of the change in land use to multi-family on this site but is concerned with the structure being proposed.

Graham Wardle, Patterson Road

- Immediate neighbor to this site.
- Raised concerns with the effects this development will have on his adjacent property.
- Raised concerns that a large tree that houses many birds will be removed.

Gord, Wardlaw Avenue

- Raised concerns with a multi-family development as it is not in keeping with the neighbourhood.
- Believes a four-plex is not as intrusive as what is being proposed.
- Believes that this proposal will set a precedent moving forward and those that live in the area will only have the options of selling to the developer or living in the shadow of this project.

There were no further comments.

3.2 Clement Ave 573-603, OCP17-0028 (BL11563) and Z17-0103 (BL11564) - Greenpoint Landscaping Ltd and Okanagan Opportunity GP Inc

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letters of Opposition and Concern:

Jacob Pesta, Coronation Ave

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Roger Green, MQN Architects, Applicant

- Staff did a good job presenting and covered everything.
- Spoke to the density that is being proposed and that it would make the project viable.

Gallery:

Tim Clark, Clement Avenue

- Resides next to door to the proposal.
- In support of land use change to multi-family.
- Raised concerns with the form and character of the building and sight line impacts.

There were no further comments.

3.3 Mugford Ave 135, HD15-0001 (BL11570) - St. Aidan's Church Heritage Designation Bylaw

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letters in Support:

Peter J. Chataway, submitted additional support package from 2015

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the gallery came forward.

There were no further comments.

3.4 HWY97 N 3976 Z17-0112 (BL11571) - Sweetwater Management Ltd

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Birte Decloux, Urban Options Planning & Permits, Applicant

- Available for questions.

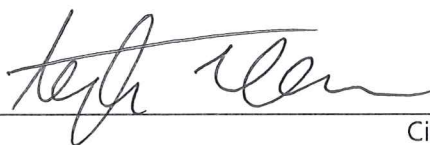
No one from the gallery came forward.

There were no further comments.

4. Termination

The Hearing was declared terminated at 6:28 p.m.

Mayor Basran



City Clerk

/acm



City of Kelowna Regular Meeting Minutes

Date: Tuesday, March 20, 2018
Location: Council Chamber
City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Tracy Gray, Brad Sieben, Mohini Singh and Luke Stack

Members Absent Councillors Gail Given and Charlie Hodge

Staff Present City Manager, Ron Mattiussi; City Clerk, Stephen Fleming, Community Planning Department Manager, Ryan Smith; Real Estate Services Manager, Johannes Saufferer*; Legislative Coordinator (Confidential), Arlene McClelland

(*Denotes partial attendance)

1. Call to Order

Mayor Basran called the meeting to order at 6:28 p.m.

2. Reaffirmation of Oath of Office

The Oath of Office was read by Councillor DeHart.

3. Confirmation of Minutes

Moved By Councillor Singh/Seconded By Councillor DeHart

R286/18/03/20 THAT the Minutes of the Public Hearing and Regular Meeting of March 6, 2018 be confirmed as circulated.

Carried

4. Bylaws Considered at Public Hearing

4.1 Pandosy St 2565 and 2579, Z17-0113 (BL11562) - 1018545 BC Ltd

Moved By Councillor Gray/Seconded By Councillor Donn

R287/18/03/20 THAT Bylaw No. 11562 be read a second and third time.

Carried

- 4.2 573, 577, 581, 589, 599 & 603 Clement Ave, OCP17-0028 (BL11563) - Greenpoint Landscaping Ltd and Okanagan Opportunity GP Inc.

Moved By Councillor Gray/Seconded By Councillor Donn

R288/18/03/20 THAT Bylaw No. 11563 be read a second and third time.

Carried

- 4.3 573, 577, 581, 589, 599 & 603 Clement Ave, Z17-0103 (BL11564) - Greenpoint Landscaping Ltd & Okanagan Opportunity GP Inc.

Moved By Councillor Donn/Seconded By Councillor Gray

R289/18/03/20 THAT Bylaw No. 11564 be read a second and third time.

Carried

- 4.4 Mugford Rd 135, HD15-0001 (BL11570) - St. Aidan's Heritage Church Designation Bylaw

Moved By Councillor Singh/Seconded By Councillor DeHart

R290/18/03/20 THAT Bylaw No. 11570 be read a second and third time.

Carried

- 4.5 HWY 97 N 3976, Z17-0012 (BL11571) - Sweetwater Management Ltd.

Moved By Councillor Singh/Seconded By Councillor DeHart

R291/18/03/20 THAT Bylaw No. 11571 be read a second and third time.

Carried

5. **Notification of Meeting**

The City Clerk advised that Notice of Council's consideration of these Development Variance Permit Applications was given by sending out or otherwise mailing 21 statutory notices to the owners and occupiers of surrounding properties on Tuesday, March 20, 2018.

6. **Development Permit and Development Variance Permit Reports**

- 6.1 Pitcairn Ct 911 Z17-0084 (BL11542) - Glen D'Arcy Manlove, Charmaine Anne Katherine

Moved By Councillor DeHart/Seconded By Councillor Stack

R292/18/03/20 THAT Bylaw No. 11542 be adopted.

Carried

- 6.2 Pitcairn Ct 911 DVP17-0202 - Glen D'Arcy Manlove, Charmaine Anne Katherine Manlove

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the gallery came forward.

There were no further comments.

Moved By Councillor Donn/Seconded By Councillor Sieben

R293/18/03/20 THAT final adoption of Rezoning Bylaw No. 11542 be considered by Council;

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0202 for Lot 6 Section 29 TWP 26 ODYD Plan 18323 located at 911 Pitcairn Court, Kelowna, BC, to allow the construction of a carriage house subject to the following;

1. The dimensions and siting of the buildings to be constructed on the land be in accordance with Schedule "A,"
2. The elevations of the carriage house to be constructed on the land be in accordance with Schedule "B";

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 13.1.6(D): RU1 – Large Lot Housing Development Regulations

To vary the minimum flanking street side yard setback to a garage or carport which is accessed from that street from 6.0m required to 4.8m proposed;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

7. Reminders

2018 Provincial Budget deferral from the March 19, 2018 Council meeting.

Staff:

- Displayed a draft resolution on the ELMO.

Council:

- Wants an addition to the resolution to include a meeting with the Minister of Municipal Affairs and Housing.

Moved By Councillor Gray/Seconded By Councillor Sieben

R294/18/03/20 THAT Council receives, for information, the report from the Real Estate Services Manager dated March 19, 2018, with respect to the Provincial Budget 2018 - Real Estate Taxes;

AND THAT Council support issuance of a letter from the Mayor to appropriate representatives of the provincial NDP, Liberal and Green party, indicating that the City of Kelowna is fundamentally opposed to the implementation of a vacancy-based speculation tax in the City of Kelowna, as proposed in *Budget 2018*;

AND THAT Council encourages the Province to open up a dialogue on a true, transaction based speculation tax that targets 'flipping' of residential properties, along the lines of what was recommended in the UBCM policy paper *A Home for Everyone: A Housing Strategy for British Columbians*;

AND THAT Council encourages the Province, through local consultation, to conduct an economic assessment of the potential unintended consequences of the property transfer tax changes and the foreign buyers tax proposed in Budget 2018;

AND FURTHER THAT Council direct the Mayor to meet with Premier John Horgan and Finance Minister Carole James and Minister of Municipal Affairs and Housing, Selina Robinson to discuss the City of Kelowna's concerns with the proposed taxes in *Budget 2018*.

Carried

8. Termination

The meeting was declared terminated at 6:46 p.m.

Mayor Basran

/acm



City Clerk

CITY OF KELOWNA
BYLAW NO. 11573
Z17-0078 – 3054 Springfield Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 171 Section 23 Township 26 ODYD Plan 22418 located on Springfield Road, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 12th day of March, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA

BYLAW NO. 11574

Official Community Plan Amendment No. OCP18-0001 1205, 1215, 1223, 1229, 1235 & 1241 Richter Street

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of Lots 8, 9, 10, 11, 12 & 13, District Lot 138, ODYD, Plan 1039 located on Richter Street, Kelowna, B.C., from the MRM – Multiple Unit Residential (Medium Density) designation to the MRH – Multiple Unit Residential (High Density) designation.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 19th day of March, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA

BYLAW NO. 11575

Z18-0003 - 1205, 1215, 1223, 1229, 1235 & 1241 Richter Street

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lots 8, 9, 10, 11, 12 & 13, District Lot 138, ODYD, Plan 1039 located on Richter Street, Kelowna, B.C., from the RU6 – Two Dwelling Housing zone to the RM6 – High Rise Apartment Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 19th day of March, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11576
Z17-0114 5008 South Ridge Drive

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 2, District Lot 1688S, SDYD, Plan KAP68647 located on South Ridge Drive, Kelowna, B.C., from the C1 – Local Commercial zone to the C2 – Neighbourhood Commercial zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 19th day of March, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL



Date: April 10, 2017

RIM No. 0930-50

To: City Manager

From: Community Planning Department (TA)

Application: LL18-0004

Owner: Ricco Bambino Wines Inc., Inc.
No. BC1129356

Address: 101 – 1630 Pandosy Street

Applicant: Rising Tide Consultants

Subject: Liquor License Application

Existing OCP Designation: MXR – Mixed Use (Residential/Commercial)

Existing Zone: C7 – Central Business Commercial

1.0 Recommendation

THAT Council directs Staff to forward the following Recommendation to the Provincial Liquor Control and Licensing Branch (LCLB):

In accordance with Section 10 of the Liquor Control and Licensing Regulation and Council Policy 359, BE IT RESOLVED THAT:

1. Council recommends support of an application from Rising Tide for Strata Lot 1, DL 139, ODYD, Strata Plan KAS3411, together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on form V, located at 101 – 1630 Pandosy Street, Kelowna, BC for a manufacturer lounge for the hours of 9 am to 12:00 am (midnight) Monday to Sunday;
2. Council's comments on LCLB's prescribed considerations are as follows:
 - a) The location of the winery: The winery is located in an urban setting in the Downtown Core;
 - b) The person capacity of the winery lounge: The person capacity is 57 persons inside and 20 persons on exterior patio;
 - c) Traffic, noise, parking and zoning: The winery is located downtown and will have minimal negative impact on traffic, noise, parking, and the property is properly zoned;
 - d) The impact on the community if the application is approved: The potential for negative impact is considered to be minimal;

AND THAT Council's comments on the views of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures."

2.0 Purpose

To seek Council's support for a manufacturer's lounge liquor license for a proposed urban winery.

3.0 Community Planning

Community Planning Staff generally support all manufacturer lounge and special event area endorsements in order to permit customers to consume the manufacturer's product onsite. Staff do not foresee any negative land use impact of permitting this type of license. However, there are three components of each license application that need specific consideration by Council: the proposed capacity, the location, and proposed hours of liquor sales.

The proposed capacity should never exceed the building's occupant load. In this case, the proposal does not exceed the maximum capacity. Under Council Policy # 359 (Liquor Licensing Policy & Procedures), there is policy direction that restricts the location of liquor primary establishments depending on their size:

- a) No establishment with a person capacity greater than 500 persons should be permitted.
- b) Large establishments (with person capacity greater than 249 persons):
 - a. Should only be located within an Urban Centre.
 - b. Should be located a minimum of 250m from another Large establishment.
 - c. Should be located a minimum of 100m from a Medium establishment.
 - d. Should not be located beside a Small establishment.
- c) Medium establishments (with person capacity between 100-249 persons):
 - a. Should only be located within an Urban or Village Centre.
 - b. Should be located a minimum of 100m from a Large or Medium establishment.
 - c. Should not be located beside a Small establishment.
- d) Small establishments (with person capacity less than 100 persons):
 - a. Should not be located beside another liquor primary establishment.

Staff are recommending new manufacturer lounge and special event area endorsements be treated similarly to new liquor primary establishments. In this case, the new license application would be considered a small establishment and the location would be considered appropriate as it is not beside a large liquor establishment. The nearest manufacturer's lounge endorsement license is greater than 3 blocks away.

Within the new liquor policy review, there will also need to be thresholds for a liquor primary establishment or an establishment that is similar to one to be required to have a certain level of security and patron safety measures in place (e.g. Servall). The RCMP generally support the new types of liquor licenses including manufacturer lounge and special event area endorsements from 10am to 10pm, Monday through Sunday. The RCMP has also requested the City "establish a comprehensive policy to address new liquor primary and manufacturer lounge endorsement license applications. Such a policy would facilitate a consistent, guided responses to applications." Until such time as the new liquor policy can be established, the RCMP's suggestion on hours of sales is more conservative than Staff's guidelines for a liquor primary establishment. In this case, the proposed hours of sales are not supported by the R.C.M.P., but are supported by staff. Staff feel that a lounge establishment to 12:00am (midnight) will not significantly add resourcing issues to the RCMP due to the location within the downtown core. Staff and the RCMP have consistently supported early opening hours for various liquor license applications. Opening earlier in the day does not create the same potential enforcement and policing issues that occur with later closings. The request to open at 9:00am is consistent with many establishments across the city.

Overall, this liquor license application will have a negligible impact to the surrounding area.

4.0 Proposal

4.1 Background

An application has been forwarded by the licensee to the Provincial Liquor Control and Licensing Branch (LCLB) for their approval. Procedurally, this type of application needs Local Government comments prior to the LCLB making a final decision.

4.2 Project Description

The Ricco Bambino Urban Winery is proposed to be a commercial winery manufacturing facility which will include a lounge, tasting area and retail endorsement. The concept is open plan and all endorsements areas are to overlap. Applicant will not be applying for a Special Event Area endorsement.

The capacity of the indoor seating area is 57 persons, and the capacity for the outdoor seating area which requires a sidewalk patio license is 20 persons.

Existing Hours of Sale (Manufacturer's License)

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Open	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Close	n/a	n/a	n/a	n/a	n/a	n/a	n/a

Proposed Hours of Sale (Manufacturer's Lounge Endorsement)

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Open	9:00am	9:00am	9:00am	9:00am	9:00am	9:00am	9:00am
Close	12:00am (midnight)	12:00am (midnight)	12:00am (midnight)	12:00am (midnight)	12:00am (midnight)	12:00am (midnight)	12:00am (midnight)

4.3 Site Context

The subject property is located on Pandosy Street in the Downtown Core between Leon Avenue and Lawrence Avenue. There is a variety of commercial businesses in the area with a mix of residential apartments.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C7 – Central Business Commercial	Chapman Parkade
East	C7 – Central Business Commercial	Vancouver Career College
South	C7 – Central Business Commercial	Office
West	C7 – Central Business Commercial	Office

The RCMP requests for consideration of the Planning Department/City the establishment of a comprehensive policy to address new liquor primary and manufacturer lounge endorsement license applications. Such a policy would facilitate a consistent, guided response to applications.

7.0 Application Chronology

Date of Application Received: February 1, 2018
Date of Consultation with Downtown Kelowna Association: March 13, 2018

Report prepared by: Trisa Atwood, Planner II

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manage

Attachments:

Applicant's Letter of Intent
Floor Plan with Occupant Load



Experts in liquor licensing for the success of your business

**MANUFACTURER LICENCE
LOUNGE ENDORSEMENT APPLICATION**

**AT: 101-1630 PANDOSY STREET
KELOWNA, BC**

APPLICANT: RICCO BAMBINO WINES INC.

**LETTER OF INTENT FOR A
MANUFACTURER LICENCE LOUNGE ENDORSEMENT**

Submitted to:

**Liquor Control & Licensing Branch
4th Floor – 3350 Douglas Street
Victoria, B.C.V8Z 3L1**

Submitted by:

**Rising Tide Consultants Ltd.
1620 - 1130 West Pender Street,
Vancouver BC V6E 4A4
Tel: (604) 669-2928
Fax: (604) 669-2920**

PRIMARY FOCUS OF THE BUSINESS

The Ricco Bambino Urban Winery is proposed to be a commercial winery manufacturing facility which will include a lounge, tasting area and retail endorsement. The concept is open plan and all endorsements areas are to overlap. Applicant will not be applying for a Special Event Area endorsement.

Ricco Bambino Urban Winery will specialize in producing high quality wines of distinction that are manufactured from locally sourced organic growers. The winery will offer high end, low caselot, limited edition vintage wines made using organic BC grapes that will be fermented in concrete and stainless steel tanks. This process of limited manipulation will reflect and showcase the true nature of the grapes and the area they were harvested from. We will be seeking VQA designation on 100% of our wines.

The applicant's mission is to establish an image and to position their product in order to generate recognition within the marketplace. Ricco Bambino Urban Winery expects to position itself as a leading commercial winery in British Columbia by creating a destination in the heart of downtown Kelowna. The downtown area has many offices and new residential buildings in the area and people will be excited about another establishment to go to for wine tasting excursions. Although it is estimated there will be an additional 2,000 residents in the area over the next 2 years, the applicant realizes resident clientele is not enough to sustain their business model, and is determined to create a gathering point for both locals and tourists. Kelowna has a smart and educated wine populace that demands a breadth of selection and the applicant intends to be a small-batch winery who can pivot to meet demand as needed. They will offer a boutique, artisan approach to all of their products.

Featuring massive windows facing the street, high ceilings in the interior, the space will feature a unique blend of West Coast décor and a casual but somewhat upscale inviting ambiance.

Guests will walk directly into the lounge/tastings area and will be able to choose from comfortable tables and chairs or bar stools at both the back bar and tasting area to offer quaint and comfortable seating. The applicant is proposing a patio area which will be directly off the main entrance. The patio will be bound with a railing that will meet the minimum height requirement of 3 feet in order to control patron access. They will have clean sightlines from the interior liquor services bar through the large grade windows as well as servers will make frequent visits to the patio.

Retail: The retail area is located in the middle of the lounge/tasting area of the facility. The retail service area will have one point of sale terminal located on the service bar, as indicated by the marked up drawings attached.

The applicant is proposing an interior capacity of 57 persons along with the patio of 20 persons totaling 77 persons.

HOURS OF OPERATION

The proposed hours of licensing for this lounge endorsement is 9:00 a.m. to Midnight, seven days per week.

FOOD SERVICE

Wine tastings of Ricco Bambino's various products will be inclusive of a uniquely enjoyable food pairing consisting of the highest quality Marcona almonds (having a sweet, smooth and unique flavour), Castelvetro Olives (meaty and crispy, yet deliciously juicy), Caviar platter (consisting of Northern Devine Caviar, sourdough toast, poached egg whites, egg yolk sauce, pickled shallots, cornichon and baby kale) and a selection of rye bread.

ENTERTAINMENT

The entertainment in this establishment will include background music. There will also be the possibility of offering the services of local acoustic musicians from time to time. There will be no TV monitors but there will be a variety of soothing wine related visuals projected onto the wall which will enhance the Ricco Bambino Urban Winery focus of providing a comfortable atmosphere.

COMPOSITION OF NEIGHBOURHOOD

This area's most prominent use is urban commercial and upcoming residential and is located in the heart of downtown Kelowna near the intersections of Pandosy Street and Leon Avenue. There are various high rise towers planned in this area.

The location is current zoned appropriately for both the manufacturing facility including the lounge endorsement and no changes are required.

There are no other manufacturing facilities within a 3 block radius of this location.

NOISE IN THE COMMUNITY

While it is the applicant's intent to have live music from time to time, the applicant will not permit the Ricco Bambino Urban Winery to be detrimental to the area in anyway. The applicant has taken construction measures to ensure sound proofing to adjacent floors would not be transferred.

In addition to construction, the applicant must follow the City of Kelowna noise by-laws and ensure they are not a noise nuisance to surrounding neighbors. Additional measures will also be in place to ensure disbursement of guests in the evenings is done in a safe and quiet manner. The applicant feels it is in their best interest to ensure no noise will negatively impact the surrounding community, as they are focused on

attracting the surrounding residential community as their client base. Based on the above noted information, the applicant feels their presence within the community will not create additional noise.

OTHER FACTORS

The applicant also submits the following additional factors for consideration:

- Ricco Bambino will specialize in producing high quality wines of distinction that are manufactured from locally sourced organic growers. The winery will offer high end, low caselot, limited edition vintage wines made using organic BC grapes that will be fermented in concrete and stainless steel tanks. This process of limited manipulation will reflect and showcase the true nature of the grapes and the area they were harvested from. We will be seeking VQA designation on 100% of our wines.
- The size of the proposed venue is 57 persons in the interior and a 20 person exterior;
- The proposed Winery will be a modern establishment with tasting, retail and lounge areas. The applicant is not proposing a nightclub;
- The applicant wishes to allow for minors if accompanied by a parent or guardian

All of which is respectfully submitted this 6th day of February, 2018.

Edna Lizotte
Rising Tide Consultants Ltd.
1620-1130 West Pender Street
Vancouver BC V6E 4A4

RECEIVED

JAN 31 2018

City of Kelowna
 Development Services Department

revisions

NOTE: Ensure proper approval for exterior patio is obtained from City of Kelowna "Real Estate and Property-Services" department. This review is for occupant load ONLY.

consultants
 liquor licensing
 Rising Tide Consultants
 604.669.2928
 1620-1130 West Pender St.
 Vancouver, BC

The PATIO has a net floor area of 24 m². The maximum occupant load shall be 20 persons, based on 1.2 m²/person

Reviewed
 by City of Kelowna
 Inspection Services

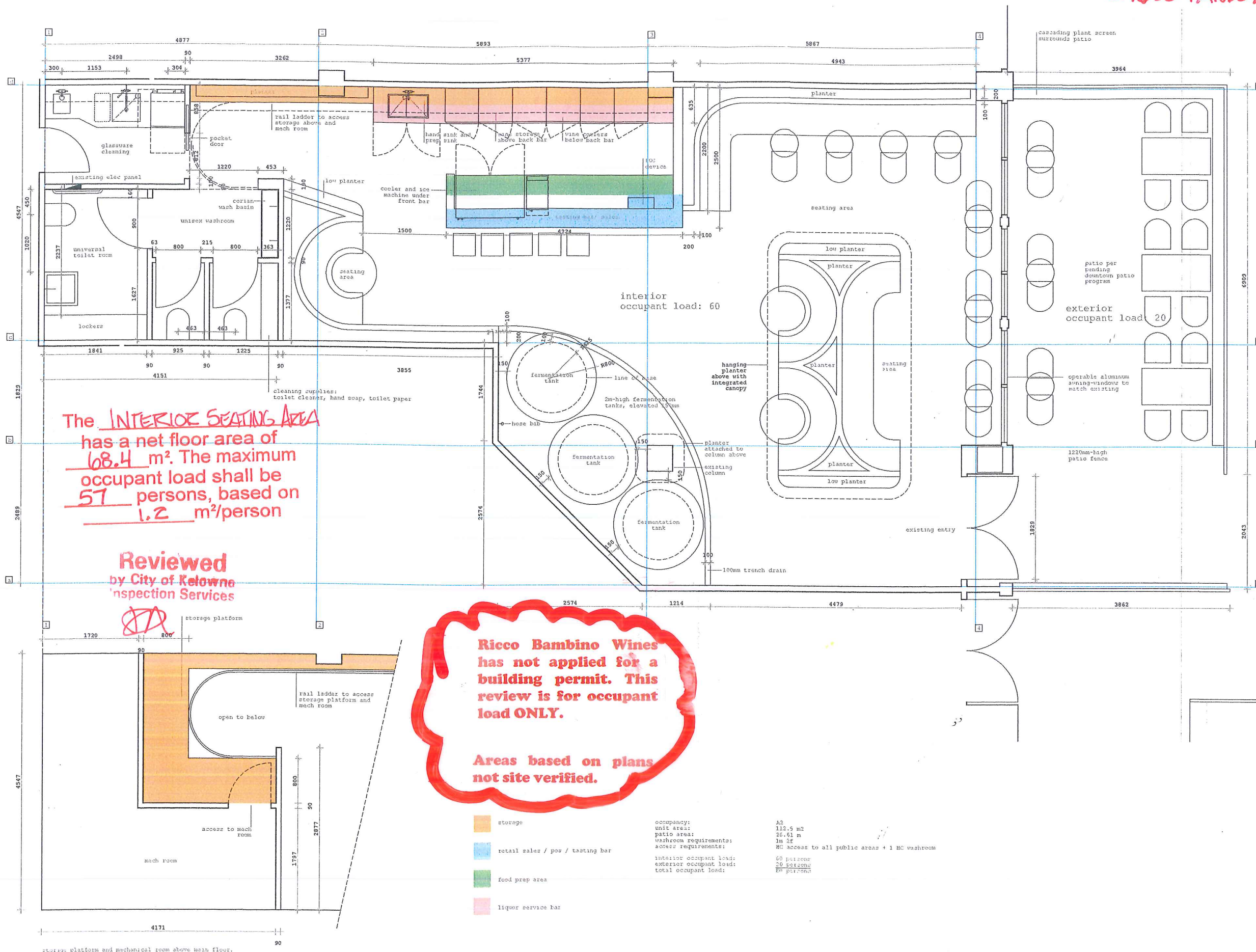
Copyright © 2018
 All rights reserved. These drawings and the design are, and at all times remain, the exclusive property of Florian Maurer architect, and cannot be used without the consent of Florian Maurer himself.

project
 Ricco Bambino Wines
 tasting room

drawing title
 occupancy certification

drawing number

a1.9



REPORT TO COUNCIL



Date: April 10, 2018

RIM No. 0940-00 & 0940-50

To: City Manager

From: Community Planning Department (AC)

Application: DP15-0176 & DVP15-0177 **Owner:** Okanagan Metis & Aboriginal Housing Society Inc. No. S0021636

Address: 150 Kneller Rd **Applicant:** New Town Planning – Lisa Fraser

Subject: Development Permit and Development Variance Permit

OCP Designation: MRL – Multiple Unit Residential (Low Density)

Zoning: RM3 – Low Density Multiple Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP15-0176 for Lot 2, Section 27, Township 26, ODYD, Plan EPP63257, located at 150 Kneller Rd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorize the issuance of Development Variance Permit DVP15-0176 for Lot 2, Section 27, Township 26, ODYD, Plan EPP63257, located at 150 Kneller Rd, Kelowna, BC;

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B, & C":

Section 8.1.11 (b) Size and Ratio

To vary the ratio of vehicular parking stalls sizes from: min 50% Full size, max 40% medium size, & max 10% compact size to 37.8% Full size, 56.8% medium size, & 5.4% compact size.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To review the Form & Character Development Permit of a non-profit 3 storey rental apartment building with ground floor units facing the streets and to consider one variance to the ratio of full and medium sized parking stalls.

3.0 Community Planning

3.1 Development Permit

Staff are recommending support for the proposed Development Permit due to the proposal's consistency with the Official Community Plan's (OCP) design guidelines. The applicant has worked with City staff to review and refine many site issues but the building form and massing fit well with the OCP guidelines.

Through the rezoning application the applicant will construct the Gertsmar Road realignment. This application supports the City's broad goals of residential intensification within the Urban Core and for the provision of affordable housing. This affordable housing project is a rental housing building sponsored by BC Housing and administered by the Okanagan Métis and Aboriginal Housing Society.

The site is well suited for redevelopment and intensification. The property is within an urban neighbourhood and has good access to services and amenities in the Rutland Urban Centre and nearby Hollywood commercial area. The site is a corner lot adjoining similar residential densities on all sides. The site is also located immediately adjacent to a BC Transit stop on Highway 33 W which is a corridor identified as part of the Frequent Transit Network within the City's 25 Year Transit Vision. Further, many transportation and safety goals identified by the City of Kelowna and MOTI will be achieved by the development of this lot such as:

- intersection improvements at the corner of Gerstmar Road and Highway 33;
- the construction of Gertsmar Road;
- the closing and decommissioning of Kneller Road; and
- frontage improvements along Highway 33 and Gerstmar Rd.

3.2 Public Notification

In fulfillment of Council Policy No. 367 respecting public consultation, the applicant undertook neighbour consultation by individually contacting the neighbours within 50 metres and holding a public information session on August 20th 2015 from 4-7pm at the Rutland Seventh Day Adventist Church. Flyers were delivered (or mailed per attached list) to the surrounding area two weeks before and an advertisement was posted in the Capital News on August 5th and again on August 12th.

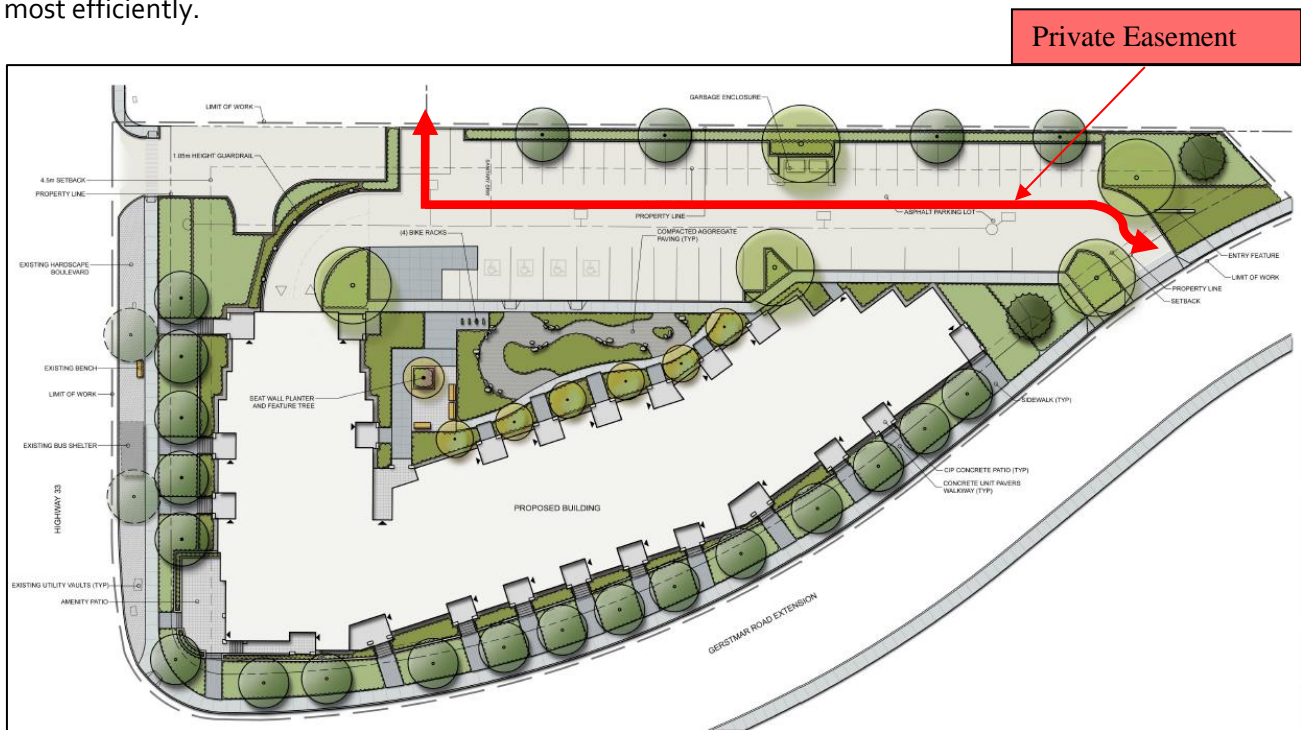
The Public Information Session had (16) residences represented at the meeting. According to the applicant's report on the public information session, the overall responses to the proposed development were positive

in their nature. Many participants commented on the building design and landscape features. Attendees were encouraged to complete an exit survey and 15 completed surveys were received.

3.3 Neighbouring Parcel

The neighbouring parcel at 1220 Hwy 33 W has their access at the north of their property on Kneller Road. As a part of the closure of Kneller Road, a public lane was created in order to connect their existing driveway access. This was necessary as the Ministry of Transportation and Infrastructure (MOTI) would only approve a rezoning if Kneller Road is closed and if 1220 Hwy 33 W is prevented from having their own driveway access to the highway.

The solution was to provide a private easement through the private parking lot for the potential redevelopment of 1220 Hwy 33 West. From a site design perspective this proposal utilizes the available space on the subject property most efficiently.



3.4 Development Variance Permit

There is one variance to reduce the number of full sized vehicle parking stalls and to increase the number of medium sized parking stalls. Staff prefer to see variances to the size of vehicle stalls rather to the total number of vehicle stalls and the applicant was able to provide the minimum according to the Zoning Bylaw. Staff do think this site will have more than enough parking even with the smaller sized vehicles as this is a non-profit rental project that tends to manage their parking more efficiently and the demand for parking in these projects tends to be less.

4.0 Proposal

4.1 Background

The Okanagan Métis and Aboriginal Housing Society (OMAHS) is a registered non-profit society dedicated to the provision of subsidized housing for the community and is the organization that will operate this facility. This type of housing is in high demand within Kelowna. OMAHS has secured support from BC Housing to fund the land purchase and the development for the provision of the apartment housing to be rented at 85% of market value.

OMAHS presently owns and manages several housing developments within Kelowna and West Kelowna, including 28 town house units at 115 Gerstmar Road, adjacent to the Subject Site. The new apartment building will become home to the OMAHS main office, allowing for on-site rental management for the new building and satellite management of their other properties.

The planned Gerstmar Road extension will be triggered by this development. The Ministry of Transportation and Infrastructure (MOTI) has requested that Kneller Road be closed to through traffic. The applicant has acquired the unused portion of Kneller Road right-of-way and has consolidated it with the subject site.

This application was submitted in 2015 and Council approved third reading February 16 2016. It has taken two years to complete the third reading conditions with the primary factor being the Ministry of Transportation approval which was received November 14th 2014.

4.2 Project Description

The current proposal is for a 78-unit, 3 storey apartment building placed on a single level concrete underground parkade with additional parking provided on the surface. The 3 storey wood-frame structure is proposed to be constructed in contemporary Okanagan styling incorporating a flat roof, balconies and large frame windows with solar shading. The exterior is finished with fiber cement siding, shingles, and paneling. The first floor provides ground-oriented access including private access from the street and a patio.

An application for Development Permit and Development Variance Permit has been submitted concurrently with the rezoning application. The architectural and landscape drawings have been submitted identifying conceptual building elevations along with a detailed site plan, parking plan and landscaping plan. After initial review of the Development Permit, the proposed development is complementary in nature to the existing developments along the Hwy 33 corridor.

4.3 Site Context

The subject site is just less than 5,000 m². The site is currently vacant. The site is surrounded on the north, east and west by established residential properties. There is a small development of single-family residential to the north (Kneller Road and Kneller Court), with multiple-family residential beyond. Multiple family residential developments are also located to the east and west of the Subject Site. Land uses to the south and southeast, across Highway 33, are institutional (Rutland Seventh-Day Adventist Church) and commercial (Shell gas station). The subject property is designated as MRL – Multiple Unit Residential (Low Density) and is within the Permanent Growth Boundary. Specifically, the adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot house RU6 – Two Dwelling Housing	Residential
East	RM3 – (Low Density Multiple Housing)	Residential
South	P2 – Education and Minor Institutional C1 – Local Commercial	Institutional Commercial
West	RU1 – Large Lot house RM3 – (Low Density Multiple Housing)	Residential

Subject Property Map: 1170 Hwy 33 W



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM3 ZONE REQUIREMENTS	PROPOSAL
	Development Regulations	
Height	10.0 m / 3.0 storeys	9.3 m / 3 storeys

Zoning Analysis Table		
CRITERIA	RM ₃ ZONE REQUIREMENTS	PROPOSAL
Front Yard (south)	4.5 m	4.5 m
Side Yard (north)	4.5 m (flanking)	8.6 m
Side Yard (east)	1.5 m (ground-oriented)	1.5 m
Rear Yard (west)	7.5 m	20.9 m
Site coverage of buildings	40 %	33 %
Site coverage of buildings, driveway, & parking	60 %	60 %
FAR	0.75	0.75
Parking Regulations		
Minimum Parking Requirements	(100 + 11 visitor) = 111 parking stalls	67 underground + 44 aboveground = 111 parking stalls
Ratio of Parking Stalls	Full size: 50% Min Medium Size: 40% Max Small Size: 10% Max	Full size: 34% ❶ Medium Size: 56.8% Small Size: 5.4%
Minimum Drive Aisle Width	7.0 m	8.0 m
Other Regulations		
Minimum Bicycle Parking Requirements	Class 1: 39 Class 2: 8	Class 1: 67 Class 2: 8
Private Open Space	387.5 m ²	621 m ²
❶ A variance to amend the ratio of parking stalls.		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 5: Development Process

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Sensitive Infill.² Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

Contain Urban Growth.³ Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

¹ City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Goals for a Sustainable Future, Objective 1 (Chapter 1 Introduction)

Housing Mix.⁴ Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

Building Height⁵:

- **Other Urban Centres:** Locate taller buildings in the geographic centre of Urban Centres and generally decrease height moving away from the centre, to a maximum of 4 storeys at the periphery of the Urban Centres, where adjoining land is designated for single/two unit housing.
- **South Pandosy:** Generally, 4 storeys. Six storeys within C4 or C9 zoned areas. Potential for 8 storeys where an architecturally distinct and significant buildings is placed at a corner, gateway or view terminus location that is of significance to the community or where a building is of cultural significance to the community.
- **Rutland:** Generally, 4 storeys. Six storeys within C4 or C9 zoned areas. Potential for up to 44 m height (12-14 storeys) in the core of Rutland, as identified in the C7 zone of the Zoning Bylaw.
- **Midtown:** 16 storeys, where the OCP designation provides for high-density multiple-units.
- **Capri/Landmark:** Generally, 4 storeys. Greater height (up to 12 storeys) may be supported on the Capri Shopping Centre site and in the area bordered by Dickson Avenue, Dayton Avenue, Springfield Road and Kirschner Road upon approval of a Council-endorsed comprehensive development plan for the site that provides for a variety of housing types (including but not limited to ground-oriented and rental apartment housing) and the provision of commercial space that is of an amount that, at minimum, equals that which existed in 2010.
- **Elsewhere:** For all areas of the City outside the Urban Centres, buildings heights shall be a maximum of four storeys for residential and six storeys for apartment hotels and hotels. Additional height restrictions may be imposed as a result of airport-related zoning regulations.

Objective 5.5: Ensure appropriate and context sensitive built form.

Building Height.⁶ In determining appropriate building height, the City will take into account such factors as:

- Contextual fit into the surrounding neighbourhood;
- Shadowing of the public realm;
- View impacts;
- Overlook and privacy impact on neighbouring buildings;
- Impacts on the overall skyline;
- Impacts on adjacent or nearby heritage structures;

Chapter 14: Urban Design Guidelines Amenities, ancillary Services and Utilities.⁵

- Locate loading, garbage, storage, utilities and other ancillary services away from public view. All such areas shall be screened and designed as an integral part of the building to minimize impact;
- Create attractive rear alley facades with high quality materials on buildings facing residential areas (e.g. rear building entrances, windows, balconies, plazas, and plantings).

Chapter 4: Land Use Designation Massing and Height.³

- Mitigate the actual and perceived bulk of buildings by utilizing appropriate massing, including:

⁴ City of Kelowna Official Community Plan, Policy 5.27.11 (Development Process Chapter)

⁵ City of Kelowna Official Community Plan, Policy 5.8.1 (Development Process Chapter)

⁶ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter). 3 City of Kelowna Official Community Plan, Chapter 14 (Urban Design Development Permits Area).

- Architectural elements (e.g. balconies, bay windows, cantilevered floors, cupolas, dormers);
- Visually-interesting rooflines (e.g. variations in cornice lines and roof slopes);
- Step back upper floors to reduce visual impact;
- Detailing that creates a rhythm and visual interest along the line of the building;
- Wall projections and indentations, windows and siding treatments as well as varied material textures should be utilized to create visual interest and to articulate building facades;
- Building frontages that vary architectural treatment in regular intervals in order to maintain diverse and aesthetically appealing streets.

6.0 Technical Comments

6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s)
- Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- A Hoarding permit is required and protection of the public from the staging area and the new building area during construction. Location of the staging area and location of any cranes should be established at time of DP.
- Requirements of the City of Kelowna fire prevention regulations bylaw No. 10760 for buildings 6 stories and greater are to be shown on the building permit drawings
- A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - a. An alternative solution proposal for code requirements must be accepted by the Chief Building Inspector prior to the release of the Development Permit
 - b. Door swings and proper exit distance for means of exiting are required. Door swings can not cross property and an additional stairwell may be required for travel distance of the residential floors.
 - c. Additional doors and/or corridors may be required to meet minimum exiting requirements of the commercial space. This may include moving of the internal rated exit stairwells to meet minimum distances and addition of rated corridors and additional doors.
 - d. Spatial calculation are required between commercial units which may affect the form and character is glazing is required to be reduced.
 - e. Dedicated exits are required from the amenity deck to the public corridor.
 - f. Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - g. Access to the roof is required per NFPA and guard rails may be required and should be reflected in the plans if required.
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. A minimum Geodetic Elevation of 343.66 meters is required for all habitable spaces including the parking garage(s).
- We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent properties is a civil action which does not involve the city directly. The items of potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work etc.

- Fire resistance ratings are required for storage, janitor and/or garbage enclosure room(s). The drawings submitted for building permit is to clearly identify how this rating will be achieved and where these area(s) are located.
- An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units, number of required exits per area, door swing direction, handrails on each side of exit stairs, width of exits etc.
- Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
- Mechanical Ventilation inlet and exhausts vents are not clearly defined in these drawings for the enclosed parking storeys. The location and noise from these units should be addressed at time of Development Permit.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this structure at time of permit application.

6.2 Development Engineering Department

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. General.

Requirements identified in the rezoning application under file Z15-0041 must be satisfied prior to issuing this development permit

2. Domestic water and fire protection.

This development is within the service area of the Rutland Waterworks District (RWDD).

3. Site grading.

Provide a site grading plan.

4. Drainage.

Provide a comprehensive site drainage management plan and design in accordance with the City's Bylaws and policies.

Variances

Do not compromise municipal services.

6.3 Fire Department

- Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required.
- Engineered Fire Flow calculations are required to determine Fire Hydrant requirements as per the City of Kelowna Subdivision Bylaw #7900. New hydrants on this property shall be operational prior to the start of construction and shall be deemed a private hydrant
- All buildings shall be addressed off of the street it is accessed from.

- A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD
- Fire Department access is to be met as per BCBC 3.2.5.
- Approved Fire Department steel lock box acceptable to the fire dept. is required by the fire dept. entrance and shall be flush mounted
- All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met
- Fire alarm system is to be monitored by an agency meeting the CAN/ULC S561 Standard.
- Contact Fire Prevention Branch for fire extinguisher requirements and placement.
- Fire department connection is to be within 45M of a fire hydrant - unobstructed.
- Ensure FD connection is clearly marked and visible from the street
- Standpipes to be located on intermediate landings.
- Sprinkler zone valves shall be accessible as per fire prevention bylaw - less than 7 feet from floor
- Dumpster/refuse container must be 3 meters from structures or overhangs or in a rated room in the parking garage
- Do not issue BP unless all life safety issues are confirmed

7.0 Application Chronology

Date of Application Received (complete):	August 5 th 2015
Date of Notification Letters:	Aug 25 th 2015
Date of First Reading:	Feb 1 st 2016
Date of Public Hearing:	Feb 16 th 2016
Date of MOTI Approval:	Nov 10 th 2017

Prepared by:	Adam Cseke, Urban Planner
Reviewed by:	Terry Barton, Urban Planning Manager
Approved for:	Ryan Smith, Community Planning Department Manager

Attachments:

DP15-0176 & DVP15-0177

Development Permit & Development Variance Permit DP15-0176 & DVP15-0177



This permit relates to land in the City of Kelowna municipally known as

150 Kneller Rd

and legally known as

Lot 2, Section 27, Township 26, ODYD, Plan EPP63257

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

Section 8.1.11 (a) Size and Ratio

To vary the ratio of vehicular parking stalls sizes from: min 50% Full size, max 40% medium size, & max 10% compact size to 37.8% Full size, 56.8% medium size, & 5.4% compact size.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: February 20th 2017

Decision By: CITY COUNCIL

Issued Date: **DATE**

Development Permit Area: Comprehensive Development Permit Area

File Manager: AC

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: RM3 – Low Density Multiple Housing

Future Land Use Designation: MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Okanagan Metis & Aboriginal Housing Society Inc. No. Soo21636
Address: 240 – 1855 Kirshner Road
City: Kelowna, BC
Phone: n/a

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$116,220.10
- OR
- b) An Irrevocable Letter of Credit in the amount of \$116,220.10

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

SCHEDULE A & B

This forms part of application

DP15-0176 / DVP15-0177

Planner
Initials

AC

City of
Kelowna
COMMUNITY PLANNING



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of New Town Services. The use of this drawing and for reproduction to the original site to which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.
Verify all dimensions and details prior to commencement of work.
Report all errors and omissions to the Architect.



NEW TOWN
ARCHITECTURE
URBAN PLANNING
CIVIL ENGINEERING
www.newtownservices.ca

SEAL



Revisions

1	17-01-08	70% PROGRESS
2	17-01-24	ISSUED FOR BP
3	17-02-16	95% PROGRESS
4	17-02-20	RE-ISSUED FOR BP
5	17-03-27	ISSUED FOR CONSTRUCTION
6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

OMAHs - NISSEN CROSSING

78 UNIT MULTI - FAMILY RESIDENTIAL BUILDING
ON GERSTMAR AND HIGHWAY 33



ARCHITECTURAL

NEW TOWN ARCHITECTURE & ENGINEERING INC.
1441 St. Paul Street Kelowna, B.C. V1Y 2E5
Roman Yanchukov, Architect AIBC
ph: 250 860 5555, fax: 250 860 5555
roman@newtownservices.ca

A0.00	COVERPAGE AND DWG LIST	A6.00	WALL SECTIONS
A0.01	ZONING & BUILDING CODE REVIEW	A6.01	WALL SECTIONS
A0.02	EXITING AND BUILDING CODE REVIEW PLANS	A6.02	WALL SECTIONS
A0.03	DOOR & WINDOW SCHEDULE	A6.03	WALL SECTIONS
A1.00	BUILDING ASSEMBLIES	A7.00	STAIR 1 DETAILS
A2.00	SITE PLAN	A7.01	STAIR 2 DETAILS
A3.00	PARKADE OVERALL PLAN	A7.02	STAIR SECTIONS
A3.01	LEVEL 1 OVERALL PLAN	A8.00	PLAN DETAILS
A3.02	LEVEL 2 OVERALL PLAN	A8.01	PLAN DETAILS
A3.03	LEVEL 3 OVERALL PLAN	A8.02	SECTION DETAILS
A3.04	ROOF OVERALL PLAN	A8.03	SECTION DETAILS - DECK
A3.05	UNIT PLANS	A8.04	SECTION DETAILS - ELEVATOR
A3.06	UNIT AND COMMON ROOM PLANS	A8.05	SECTION DETAILS
A3.07	ELEVATOR PLANS	A8.06	DETAILS
A3.08	ELEVATOR PLANS	A8.07	DETAILS
A3.09	LAUNDRY ROOMS	A8.08	DETAILS
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A3.11	LEVEL 1 OVERALL - RCP		
A3.12	LEVEL 2 OVERALL - RCP		
A3.13	LEVEL 3 OVERALL - RCP		
A4.00	EXTERIOR ELEVATIONS		
A4.01	PERPENDICULAR ELEVATIONS		
A5.01	BUILDING SECTIONS		
A5.02	BUILDING SECTIONS		

STRUCTURAL

ROY CONSULTING INC. STRUCTURAL ENGINEERS
11-2040 Spryfield Road Kelowna, B.C. V1Y 9B7
Mans Yachukov, P.Eng.
ph: 250 860 5555, fax: 250 860 5555
mans@royconsulting.ca

S1.0	SPECIFICATIONS
S1.1	SPECIFICATIONS
S2.0	FOUNDATION PLAN
S2.1	SUSPENDED SLAB PLAN - BOTTOM REINFORCING
S2.2	SUSPENDED SLAB PLAN - TOP REINFORCING
S3.0	CONCRETE SECTIONS AND DETAILS
S3.1	CONCRETE SECTIONS AND DETAILS
S3.2	CONCRETE SECTIONS AND DETAILS
S4.0	LEVEL 2 FRAMING PLAN
S4.1	LEVEL 3 FRAMING PLAN
S4.2	ROOF FRAMING PLAN
S5.0	WOOD FRAMING SECTIONS AND DETAILS
S5.1	WOOD FRAMING SECTIONS AND DETAILS

MECHANICAL

M1	SYMBOL LEGEND, LOAD SUMMARY TABLES AND INSTALLATION DETAILS
M2	FOUNDATION PLAN - MECHANICAL
M3	PARKADE FLOOR PLAN - MECHANICAL
M4	LEVEL 1 FLOOR PLAN - MECHANICAL
M5	LEVEL 2 FLOOR PLAN - MECHANICAL
M6	LEVEL 3 FLOOR PLAN - MECHANICAL
M7	ROOF PLAN - MECHANICAL
M8	UNIT PLANS - MECHANICAL
M9	LARGE SCALE PLANS - MECHANICAL
M10	SANITARY, DOMESTIC WATER AND CORRIDOR MAKE-UP AIR RISER DIAGRAMS
M11	EQUIPMENT SCHEDULES
M12	MECHANICAL SPECIFICATIONS

ELECTRICAL

PVE ENGINEERING LTD.
16-442 West Fraser St. Vancouver, B.C. V6B 1T6
Stephen Jacob, P.Eng.
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sjacob@pveengineering.com

E1.0	SITE PLAN, SINGLE LINE DIAGRAM, SYMBOL LEGEND
E1.1	PARKING PLAN - WEST
E1.2	PARKING - EAST
E1.3	LEVEL 1 - WEST
E1.4	LEVELS 2, 3
E1.5	ROOF PLAN
E1.6	SUITE PLANS, TYPICAL SUITE PANEL LUMINAIRE SCHEDULE
E2.0	PANEL SCHEDULES, EQUIPMENT SCHEDULES
E2.1	PANEL SCHEDULES, EQUIPMENT SCHEDULES

CIVIL

D.E. PILLING & ASSOC. LTD.
234-440 Upper Terrace Kelowna, B.C. V1Y 4T7
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dilling@pilling.ca

2347-C1	COMPOSITE UTILITY PLAN
2347-D1	GRADING PLAN & STORM WATER MANAGEMENT PLAN
2347-D2	S.W.M. & GRADING PLAN
2347-H1	LANDING AND GEOMETRICS
2347-R1	KNELLAR PLAN AND PROFILE
2347-R3	I-BUS MOVEMENTS



TRUE NORTH



KEYPLAN: 1170 HIGHWAY 33

project title
**OMAHs - NISSEN
CROSSING**

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

revision

drawing title

**COVERPAGE
AND DWG LIST**

designed R.Y. mds

drawn J.F./R.B.

checked R.Y.

drawing no.

A0.00

printed Aug 03, 2017

ZONING SUMMARY		
ADDRESS	1170 HIGHWAY 33W	
LEGAL DESCRIPTION	PARCEL B OF LOT 4, SECTIONS 26 AND 27, TP 26, COYO, PLAN 428	
DEVELOPMENT PERMIT AREA	GENERAL MULTIPLE UNIT OF AREA	
EXISTING ZONING	RUI - LARGE LOT HOUSING	
PROPOSED ZONING	RM0 - LOW DENSITY MULTIPLE HOUSING	
EXISTING LEGAL USE	SINGLE FAMILY	
GRADES	VARIES - SLOPES APPROXIMATELY 1.5m DOWN TOWARD HIGHWAY 33	
NUMBER OF BUILDINGS	1	
REQUIREMENTS FOR ALL DEVELOPMENT PERMIT APPLICATIONS		
	ZONING STANDARD	PROPOSED ZONING
SITE AREA (m²)	MIN 300m	4,915m
SITE DEPTH (m)	MIN 35m	44m
OFF STREET PARKING	113 STALLS	87 UIC AND 44 AG + 111 STALLS
PRIVATE OPEN SPACE	REFER TO CALCULATIONS	REFER TO CALCULATIONS
HEIGHT OF BUILDINGS / STORES	9m OR 3 STOREYS	3 STOREYS (8.3m)
SITE COVERAGE OF BUILDINGS (%)	40%	35%
SITE COVERAGE INCLUDING BUILDINGS, DRIVEWAYS AND PARKING	60%	60%
ADDITIONAL REQUIREMENTS FOR COMMERCIAL, INDUSTRIAL, AND MULTIPLE UNIT / INTENSIVE RESIDENTIAL APPLICATION		
	ZONING STANDARD	PROPOSED ZONING
NUMBER OF BICYCLE PARKING SPACES	47 STALLS	47 STALLS
NUMBER OF LOADING SPACES	N/A (RESIDENTIAL)	0
DRIVE AISLE WIDTH	7m	7m
SETBACKS TO PARKING		
SOUTH (FRONT)	N/A	N/A
NORTH (REAR)	1.5m	8.5m
EAST (SIDE)	1.5m	N/A
WEST (SIDE)	1.5m	1.5m
FLOOR AREA NET	REFER TO CALCULATIONS	REFER TO CALCULATIONS
FLOOR AREA RATIO (F.A.R.)	.75	.75
BUILDINGS, SETBACK		
SOUTH (FRONT)	4.5m (HIGHWAY 33 SETBACK)	4.5m (HIGHWAY 33 SETBACK)
NORTH (SIDE)	4.5m (PLANNING STREET)	8.5m
EAST (SIDE)	1.5m (GROUND ORIENTED SUITES)	1.5m (GROUND ORIENTED SUITES)
WEST (SIDE)	4.5m	20.5m

PARKING CALCULATION			
STALL SIZE		BYLAW 8005 TABLE 8.1	
FULL SIZE CAR STALL		2.5m WIDE x 6.0m DEEP	
MEDIUM SIZE CAR STALL (M1)		2.3m WIDE x 6.0m DEEP	
COMPACT CAR STALL (C2)		2.0m WIDE x 5.4m DEEP	
DISABLE PERSONS CAR STALL		3.7m WIDE x 6.0m DEEP	
DRIVE AISLE (2 MAX. 30 DEGREE STALLS)		7m	
PARKING			
REQUIRED BY BYLAW		PROPOSED	
1.0 STALL PER STUDIO + 0 UNITS		1.0 STALL PER STUDIO + 0 UNITS	
1.25 STALL PER 1 BEDROOM + 0 UNITS		1.25 STALL PER 1 BEDROOM + 0 UNITS	
1.50 STALL PER 2 BEDROOM + 0 UNITS		1.50 STALL PER 2 BEDROOM + 0 UNITS	
TOTAL RESIDENTIAL PARKING		TOTAL RESIDENTIAL PARKING	
OFFICE PARKING (50m) 2.5 PER 100m GFA		OFFICE PARKING (50m) 2.5 PER 100m GFA	
TOTAL PARKING STALLS		TOTAL PARKING STALLS	
PARKING RATIO			
REQUIRED BYLAW		PROPOSED	
LARGE CAR		40%	
MEDIUM CAR		40%	
COMPACT CAR		10%	
HANDICAP PARKING		1% (30%)	
HIC PARKING			
HANDICAP PARKING (1 PER 100 UNITS)		HANDICAP PARKING (1 PER 100 UNITS)	
LOADING ZONE		BYLAW 8005 TABLE 8.2	
NA			
BICYCLE PARKING			
BICYCLE PARKING (CLASS 1) 5 PER DWELLING UNIT		+ 30	
BICYCLE PARKING (CLASS 2) 1 PER DWELLING UNIT		+ 6	
TOTAL BICYCLE PARKING		+ 47 STALLS	

BUILDING CODE REVIEW			
BUILDING DESCRIPTION: 3 STOREY RESIDENTIAL BUILDING ON A ONE STORY PARKADE			
NOTE: PARKADE IS TO BE CONSIDERED AS A SEPARATE BUILDING IN ACCORDANCE WITH 3.2.1.2			
OCCUPANCY	GROUP C	GROUP F3	
ARTICLE	3.2.2.82	3.2.2.82	
NUMBER OF STOREYS	3 LEVELS ABOVE PARKADE	4 LEVELS INCLUDING PARKADE	
NUMBER OF STREETS FACING	4	4	
MAX. BUILDING AREA	2,400m²	3,800m²	
CONSTRUCTION TYPE	COMBUSTIBLE / NON COMBUSTIBLE	NON COMBUSTIBLE	
SPRINKLERED	YES (MPPA 151)	YES (MPPA 151)	
ASSEMBLY RATINGS	RESIDENTIAL	PARKADE	
FLOORS	1 HR FIRE RATED ASSEMBLY	2 HR FIRE RATED ASSEMBLY	
WALLS / STRUCTURE	1 HR FIRE RATED ASSEMBLY	2 HR FIRE RATED ASSEMBLY	
ROOF	1 HR FIRE RATED ASSEMBLY	2 HR FIRE RATED ASSEMBLY	

BUILDING AND FLOOR AREAS			
NET AREAS			
UNIT TYPE	UNIT AREA	# UNITS	TOTAL AREA
A ONE BEDROOM	510 sq.ft. (47m²)	50	25,500 sq.ft. (2,369 m²)
A2 ONE BEDROOM	572 sq.ft. (53m²)	2	1,144 sq.ft. (106 m²)
B TWO BEDROOM	685 sq.ft. (63m²)	6	4,110 sq.ft. (387 m²)
C TWO BEDROOM	685 sq.ft. (63m²)	6	4,110 sq.ft. (387 m²)
C1 TWO BEDROOM	685 sq.ft. (63m²)	3	2,040 sq.ft. (189 m²)
D STUDIO	312 sq.ft. (29m²)	9	2,808 sq.ft. (261 m²)
E TWO BEDROOM	867 sq.ft. (80m²)	3	2,601 sq.ft. (242 m²)
TOTALS		78	41,883 sq.ft. (3,871 m²)
LEVEL 1 OFFICE AREA			
756 sq.ft. (70m²)			
LEVEL 1 COMMON AREA			
1,039 sq.ft. (96m²)			
TOTAL NET AREA FOR F.A.R.			
45,407 sq.ft. (4,203m²)			
F.A.R. FOR RM0 = .75			
BYLAW 8005 13.6.4			
GFA AREAS			
PARKADE			
20,023 sq.ft. (1,860 m²)			
LEVEL 1			
17,333 sq.ft. (1,610 m²)			
LEVEL 2			
17,262 sq.ft. (1,594 m²)			
LEVEL 3			
17,262 sq.ft. (1,594 m²)			
TOTAL GFA			
51,857 sq.ft. (4,805 m²)			
BUILDING EFFICIENCY			
43,407 sq.ft. / 51,857 sq.ft. = 84% (84%)			

SITE INFO AND AREAS	
SITE AREA	2,299m² (ORIGINAL LOT) + 1,913m² (INELLAR LANE AREA) + 4,915m² (52,946 sq.ft.)
LEVEL 1 FOOTPRINT AREA	17,333 sq.ft. (1,610 m²)
PARKADE LEVEL, DRIVEWAYS, AND PARKING AT GRADE	35,255 sq.ft. (3,275 m²)
MAX SITE COVERAGE	40% MAX
CURRENT SITE COVERAGE (BUILDING)	20% (17,333 / 82,946 = 20%)
MAX SITE COVERAGE (BUILDING, DRIVEWAYS, AND PARKING)	60% MAX
CURRENT SITE COVERAGE (BUILDING)	(BUILDING + 1,913m²) + (DRIVEWAYS AND PARKING + 1,957m²) = 2,870m²
	2,870m² / 4,915m² (NOT INCLUDING ADDITIONAL PROPERTY) = 58% (58%)
SITE AREA REQUIRED TO MEET F.A.R. REQUIREMENTS (RM0 = .75)	43,407 sq.ft. / .75 = 57,876 sq.ft. (5,377 m²)
TOTAL AREA PROVIDED FOR F.A.R.	4,915m² + 1,957m² = 6,872m²

PRIVATE OPEN SPACE	
LEVEL 1	
A ONE BEDROOM	16
A2 ONE BEDROOM	0
B TWO BEDROOM	2
C TWO BEDROOM	1
C1 TWO BEDROOM	1
D STUDIO	3
E TWO BEDROOM	1
TOTAL	24

ACCESSIBILITY REQUIREMENTS	
ACCESS TO MAIN ENTRANCE	REQUIRED
ACCESS TO ALL FLOORS	REQUIRED
ACCESSIBLE WASHROOMS	REQUIRED
WASHROOM REQUIREMENTS	
MIN. 1 PER DWELLING UNIT	REQUIRED
MIN. 1 PER OFFICE AREA	REQUIRED

WASHROOM REQUIREMENTS	
MIN. 1 PER DWELLING UNIT	REQUIRED
MIN. 1 PER OFFICE AREA	REQUIRED

SPATIAL SEPARATION	
WINDOW OPENINGS AND WALL CONSTRUCTION ARE UNRESTRICTED AS THE LIMITING DISTANCE EXCEEDS 8m IN ALL CASES, OR THE BUILDING IS FROM A STREET IN ACCORDANCE WITH ARTICLE 3.2.3.10	ARTICLE 3.2.3.10

FIRE PROTECTION	
LOCATION OF HYDRANT TO SHIMSE CONNECTION	45m MAX.
STANPEPE / HOSE	YES (IN EXIT STAIRS)
SPRINKLERED	YES
FIRE ALARM SYSTEM	YES
EXIT LIGHTS	YES
EMERGENCY LIGHTING	YES

OCCUPANT LOAD	
PARKADE LEVEL	1800 sq.m / 45 sq.m PER PERSON
LEVEL 1 - COMMON ROOM	126 sq.m / 35 sq.m PER PERSON
LEVEL 1 - OFFICES	53 sq.m / 13.30 sq.m PER PERSON
LEVEL 1 - RESIDENTIAL	24 UNITS x 2 PEOPLE / DWELLING UNIT
LEVEL 2 AND 3 - RESIDENTIAL	(27 UNITS x 2 PEOPLE / DWELLING UNIT) x 2
TOTAL OCCUPANT LOAD	+ 108

EXIT FACILITIES	
REQUIRED EXITS	2 PER FLOOR MINIMUM
PARKADE LEVEL STAIRS	8.3m / PERSON x 41
LEVEL 1 DOORS	6.1m / PERSON x 187
LEVEL 1 STAIRS	8.3m / PERSON x 187
LEVEL 2 DOORS	6.1m / PERSON x 54
LEVEL 2 STAIRS	8.3m / PERSON x 54

REQUIRE FIRE SEPARATIONS	
RESIDENTIAL UNITS	MIN. 1 DOOR - 100mm WIDE PER UNIT
EXIT THROUGH LOBBY	1 DOOR - 95mm WIDE PER UNIT
PANIC DOOR HARDWARE	REQUIRED (ARTICLE 3.4.6.16.1)
EXIT EXPOSURE	NO ADDITIONAL PROTECTION NEEDED (ARTICLE 3.2.3.13)
MAX TRAVEL DISTANCE	45m (RESIDENTIAL) AND 60m (PARKADE) (ARTICLE 3.4.2.5.1)
EXIT RATINGS REQUIRED	1 HOUR IN RESIDENTIAL / 2 HOURS IN PARKADE (ARTICLE 3.4.4.1)
STAIR SHAFTS	1 HOUR (ARTICLE 3.2.4.1.1)
CORRIDORS	1 HOUR (ARTICLE 3.2.4.1.1)

BUILDING FIRE SAFETY	
SMOKE PROTECTION	NOT REQUIRED - SPRINKLERED (ARTICLE 3.2.3.16.4)
FLAME SPREAD RATING	COMPLIES (ARTICLE 3.1.10.2)
METAL SMOKE ASSEMBLIES	N/A (ARTICLE 3.1.14.2)
ROOF COVERING CLASSIFICATION	CLASS "A" (ARTICLE 3.1.15.2)
ATTIC FIRE STOPS	REQUIRED (ARTICLE 3.1.11.1)
MAX. ATTIC AREA	300 sq.m WITH A FLAME SPREAD RATING GREATER THAN 25 (ARTICLE 3.1.11.5.1)
MAX. CRAWL SPACE AREA	N/A (ARTICLE 3.1.11.6.1)
CONCEALED FLOOR AREA	N/A (ARTICLE 3.1.11.6.1)
FIRE ALARM REQUIRED	YES
STANPEPE REQUIRED	YES
EMERGENCY LIGHTS EXT BURNS REQUIRED	YES

ACCESSIBILITY REQUIREMENTS	
ACCESS TO MAIN ENTRANCE	REQUIRED
ACCESS TO ALL FLOORS	REQUIRED
ACCESSIBLE WASHROOMS	REQUIRED
WASHROOM REQUIREMENTS	
MIN. 1 PER DWELLING UNIT	REQUIRED
MIN. 1 PER OFFICE AREA	REQUIRED

WASHROOM REQUIREMENTS	
MIN. 1 PER DWELLING UNIT	REQUIRED
MIN. 1 PER OFFICE AREA	REQUIRED

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Revisions		
1	17-01-08	70% PROGRESS
2	17-01-21	ISSUED FOR BP
3	17-02-16	90% PROGRESS
4	17-02-20	RE-ISSUED FOR BP
5	17-03-27	ISSUED FOR CONSTRUCTION
6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAHAS - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELOWNA, BC

project no.
1560

file no.

drawing title
ZONING & BUILDING CODE REVIEW

designed R.Y. scale 1/8" = 1'-0"

drawn J.F. / R.B.

checked R.Y.

drawing no.

A0.01

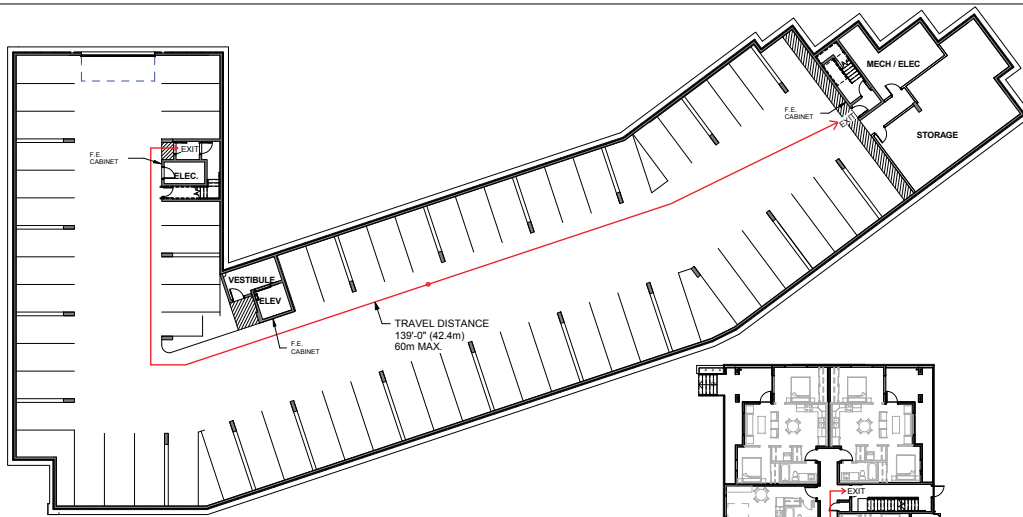
issued Aug 03, 2017

SCHEDULE A & B

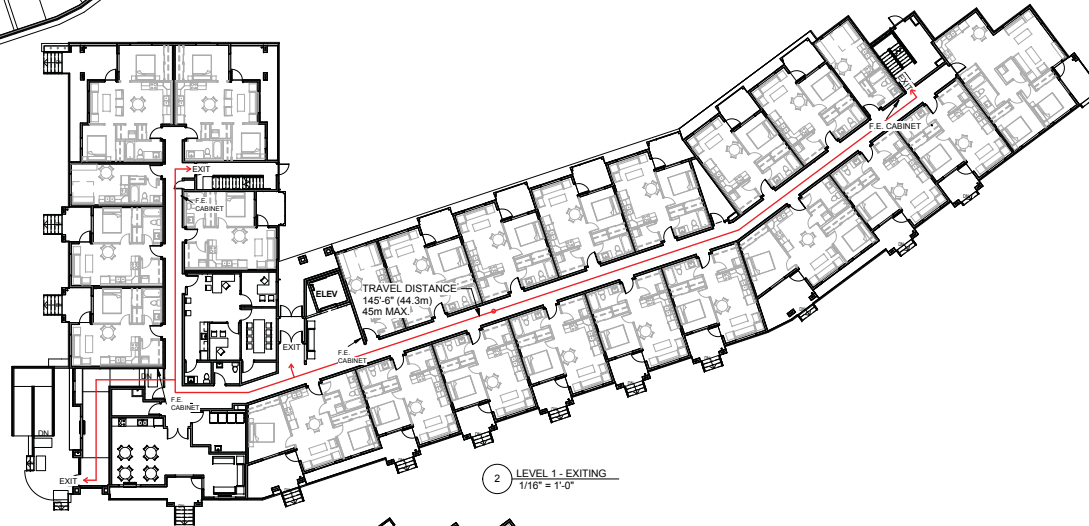
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AC

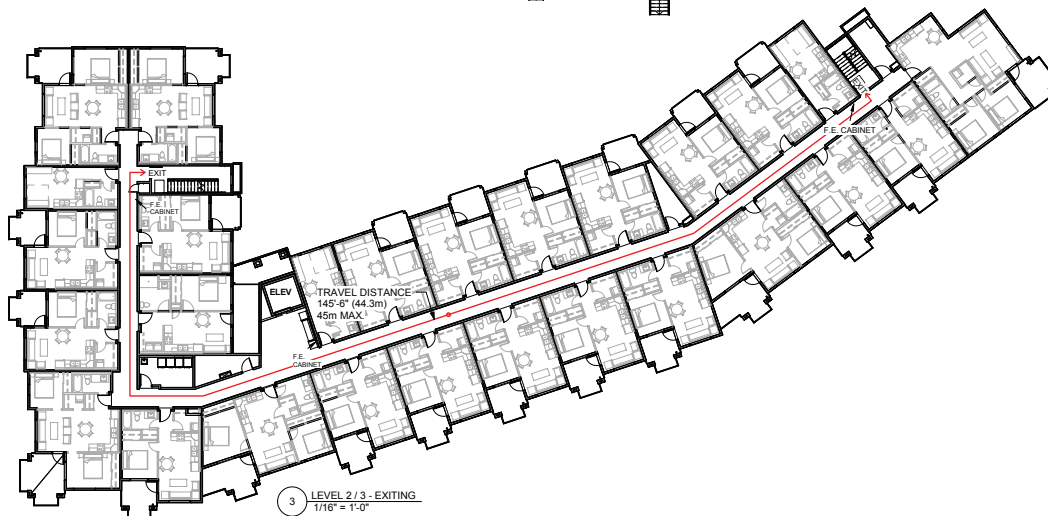




1 PARKADE - EXITING
1/16" = 1'-0"



2 LEVEL 1 - EXITING
1/16" = 1'-0"



3 LEVEL 2/3 - EXITING
1/16" = 1'-0"

SCHEDULE A & B

This forms part of application

DP15-0176 / DVP15-0177

Planner
Initials

AC



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SEAL



Revisions

1	17-01-08	70% PROGRESS
2	17-01-24	ISSUED FOR BP
3	17-02-16	95% PROGRESS
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5	17-03-27	ISSUED FOR CONSTRUCTION
6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

file no.

drawing title
**EXITING AND
BUILDING
CODE REVIEW
PLANS**

designed R.Y. scale 1/16" = 1'-0"
drawn J.F./R.B.
checked R.Y.
drawing no.

A0.02

issued Aug 03, 2017



SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

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AC

City of Kelowna
COMMUNITY PLANNING

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SEAL



Revisions

1	17-01-06	70% PROGRESS
2	17-01-24	ISSUED FOR BP
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4	17-02-20	RE-ISSUED FOR BP
5	17-03-27	ISSUED FOR CONSTRUCTION
6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1560

file no.

drawing title
SITE PLAN

designed: R.Y. scale: 1/16" = 1'-0"

drawn: J.F./R.B.

checked: R.Y.

drawing no.

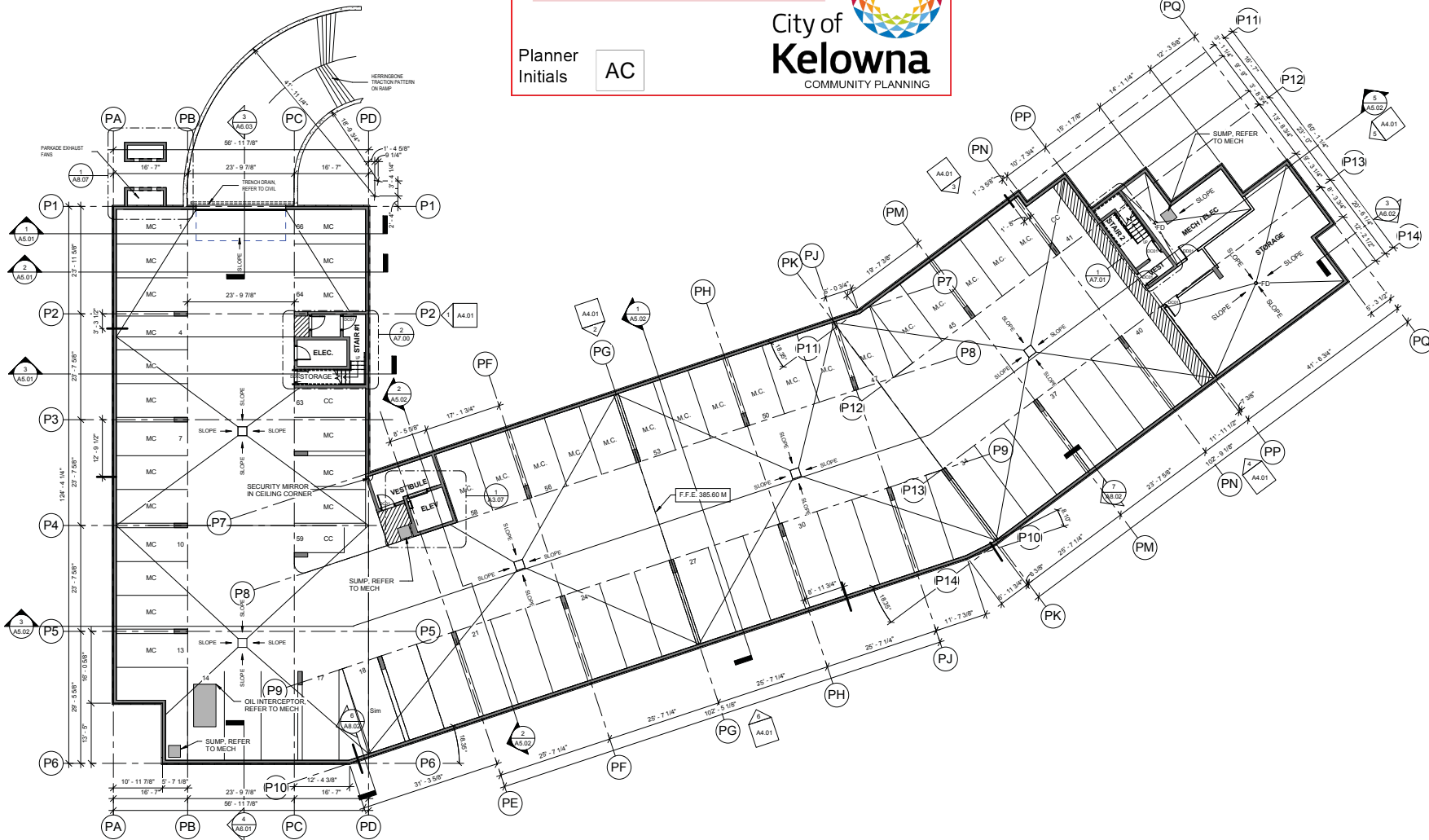
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SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner Initials AC



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SEAL



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7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

date

drawing title
**PARKADE
OVERALL PLAN**

designed R.Y. scale 3/32" = 1'-0"

drawn J.F./R.B.

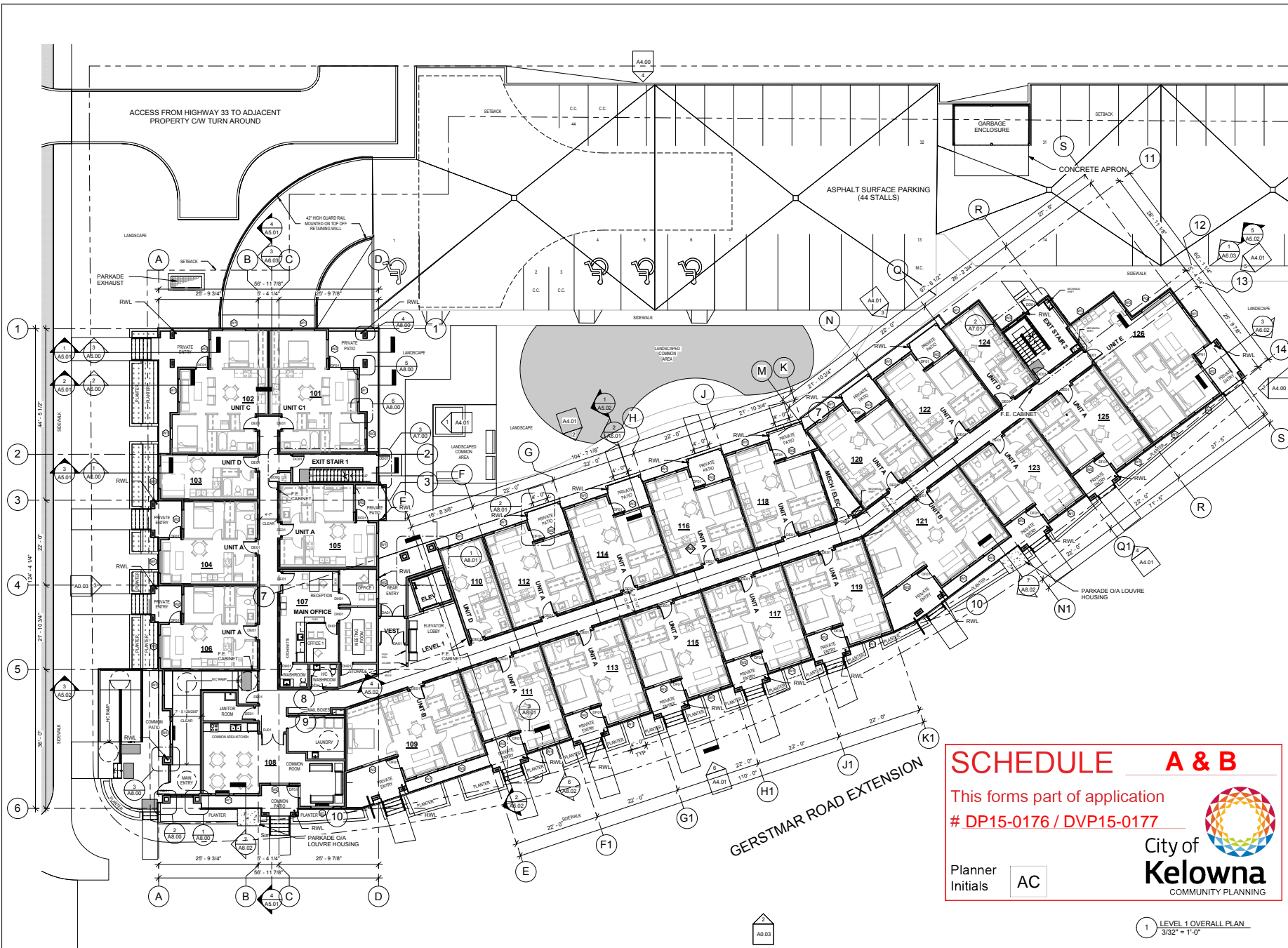
checked R.Y.

drawing no.

A3.00

printed Aug 03, 2017

1 PARKADE OVERALL PLAN
3/32" = 1'-0"



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SEAL



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7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAHs - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

revision

drawing title

**LEVEL 1
OVERALL PLAN**

designed R.Y. scale 3/32" = 1'-0"

drawn J.F./R.B.

checked R.Y.

drawing no.

A3.01

printed Aug 03, 2017

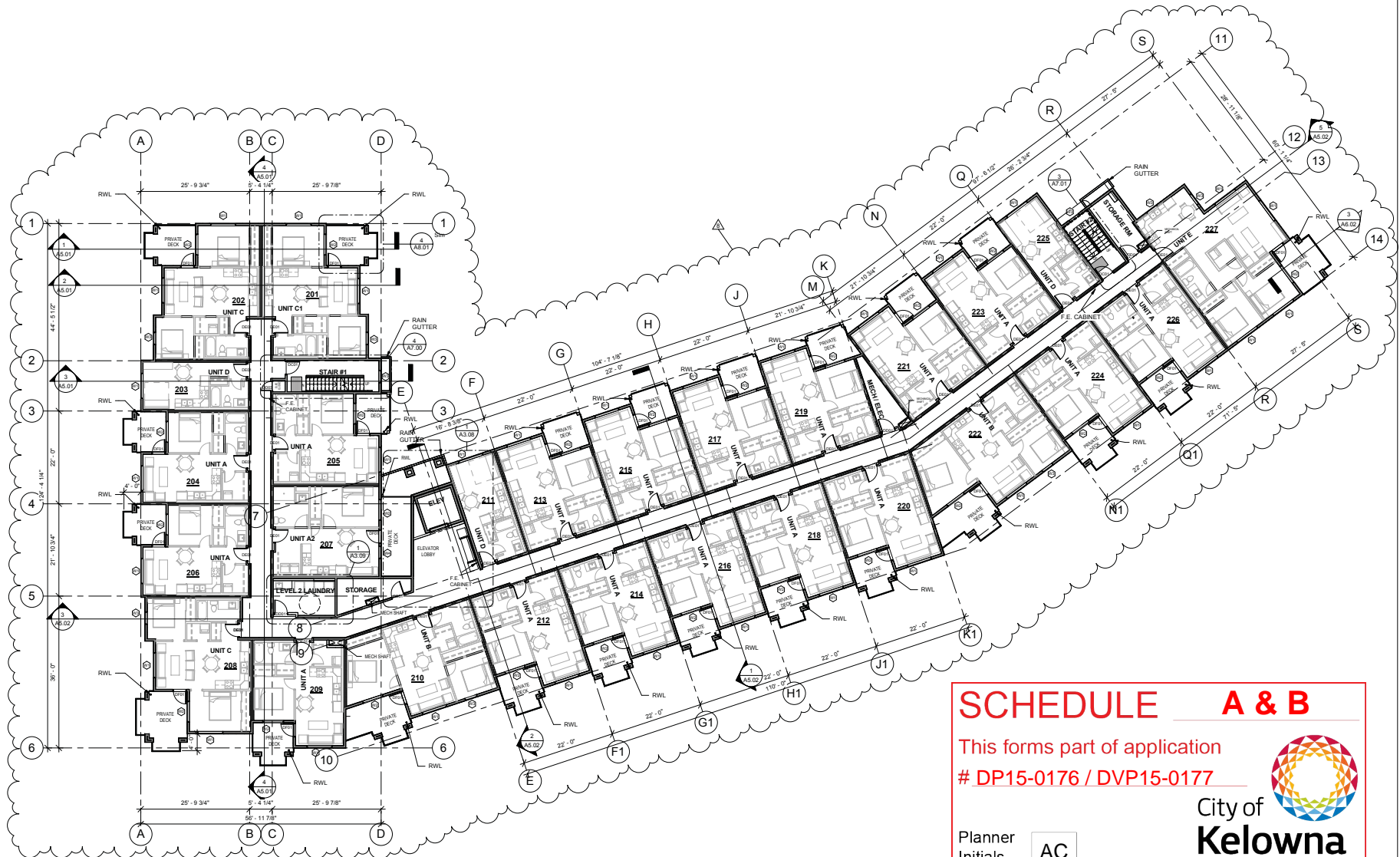
SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials AC



1 LEVEL 1 OVERALL PLAN
3/32" = 1'-0"



SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner Initials

AC

City of Kelowna
COMMUNITY PLANNING

1 LEVEL 2 OVERALL PLAN
3/32" = 1'-0"

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TRUE NORTH

SEAL



Revisions

1	17-01-08	70% PROGRESS
2	17-01-24	ISSUED FOR BP
3	17-02-16	95% PROGRESS
4	17-02-20	RE-ISSUED FOR BP
5	17-03-27	ISSUED FOR CONSTRUCTION
6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELOWNA, BC

project no.
1580

date
1580

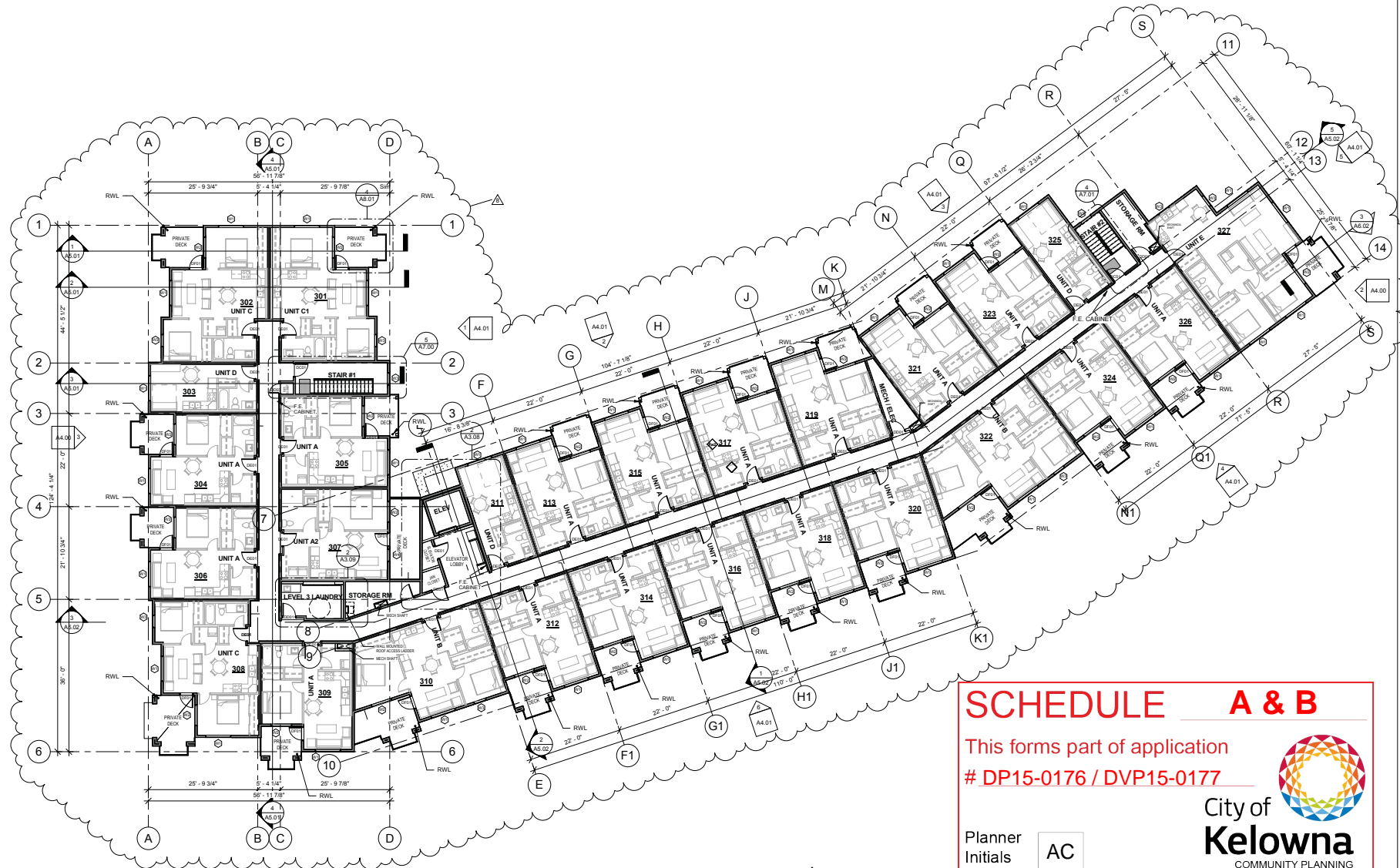
drawing title
LEVEL 2 OVERALL PLAN

designed	R.Y.	scale	3/32" = 1'-0"
drawn			
checked	R.Y.		
drawing no.			

A3.02

print Aug 03, 2017

A4.00



SCHEDULE A & B

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DP15-0176 / DVP15-0177

Planner Initials

AC

City of Kelowna
COMMUNITY PLANNING

1 LEVEL 3 OVERALL PLAN
3/32" = 1'-0"

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7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

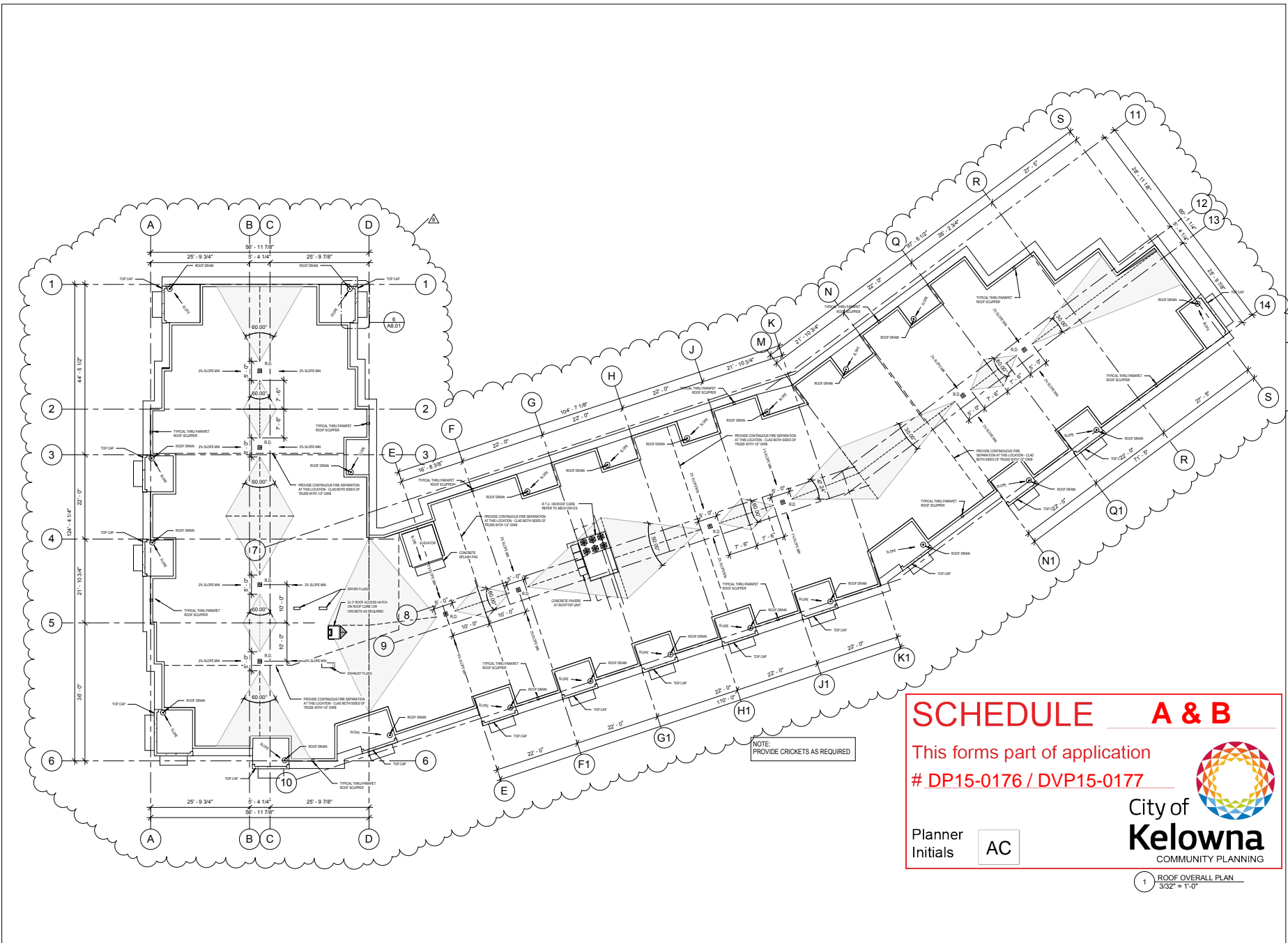
project address
1170 HIGHWAY 33, KELOWNA, BC

project no.
1580

revision
1

drawing title
LEVEL 3 OVERALL PLAN

designed R.Y. / J.F. / R.B.
drawn J.F. / R.B.
checked R.Y.
drawing no.
A3.03
issued Aug 03, 2017



SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner Initials

AC

City of Kelowna
COMMUNITY PLANNING

1 ROOF OVERALL PLAN
 3/32" = 1'-0"

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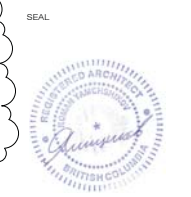
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6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
 KELOWNA, BC**

project no.
 1580

revision
 1

drawing title
ROOF OVERALL PLAN

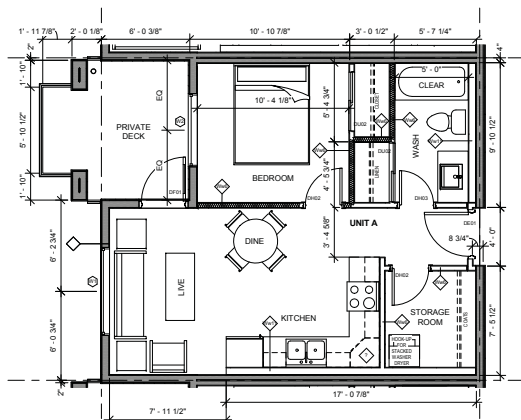
designed R.Y. / J.B. 5/8" = 1'-0"

drawn J.F. / R.B. 3/32" = 1'-0"

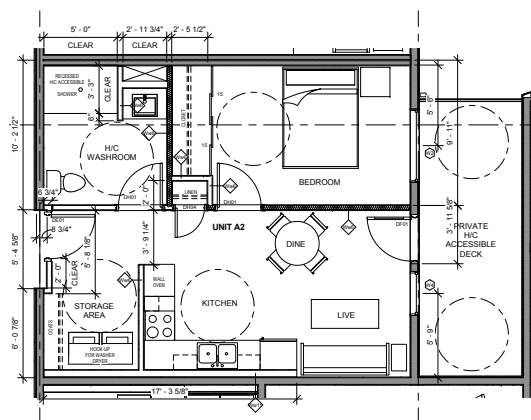
checked R.Y.

drawing no.
A3.04

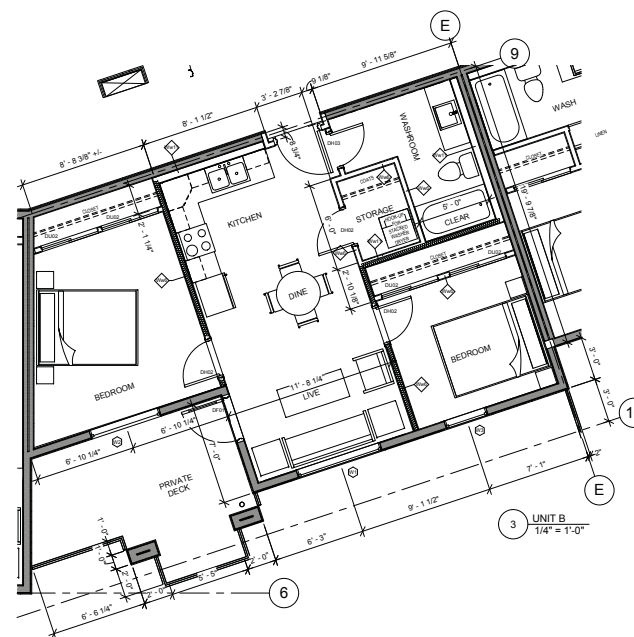
printed Aug 03, 2017



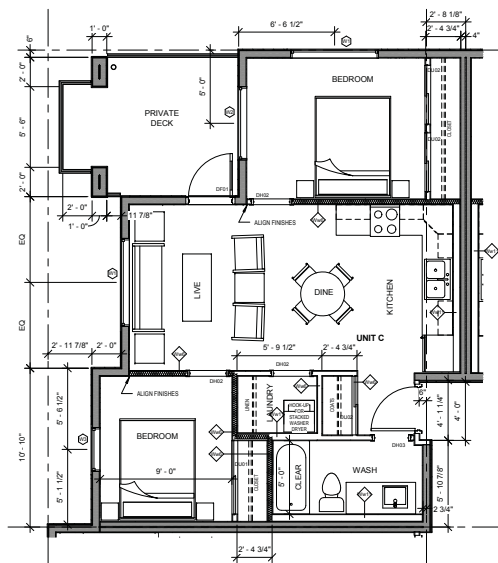
1 UNIT A
1/4" = 1'-0"



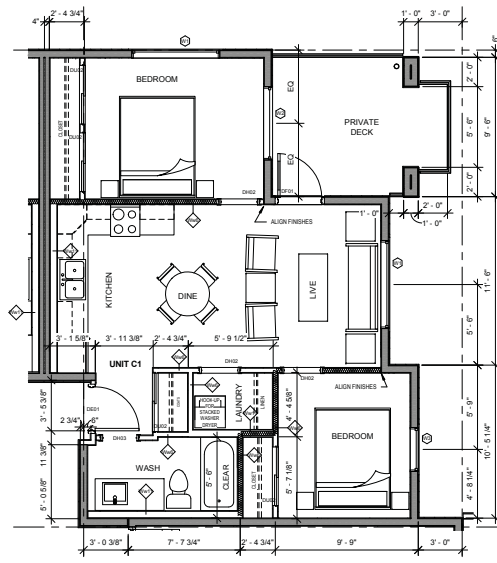
2 UNIT A2
1/4" = 1'-0"



3 UNIT B
1/4" = 1'-0"



4 UNIT C
1/4" = 1'-0"



5 UNIT C1
1/4" = 1'-0"

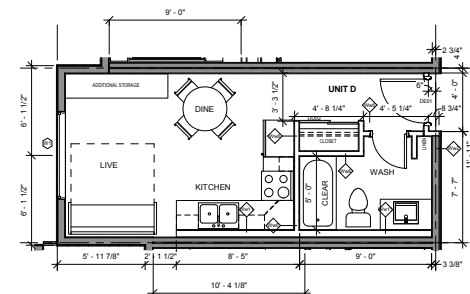
SCHEDULE A & B

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Planner Initials

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6 UNIT D
1/4" = 1'-0"

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7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELOWNA, BC

project no. 1580

date

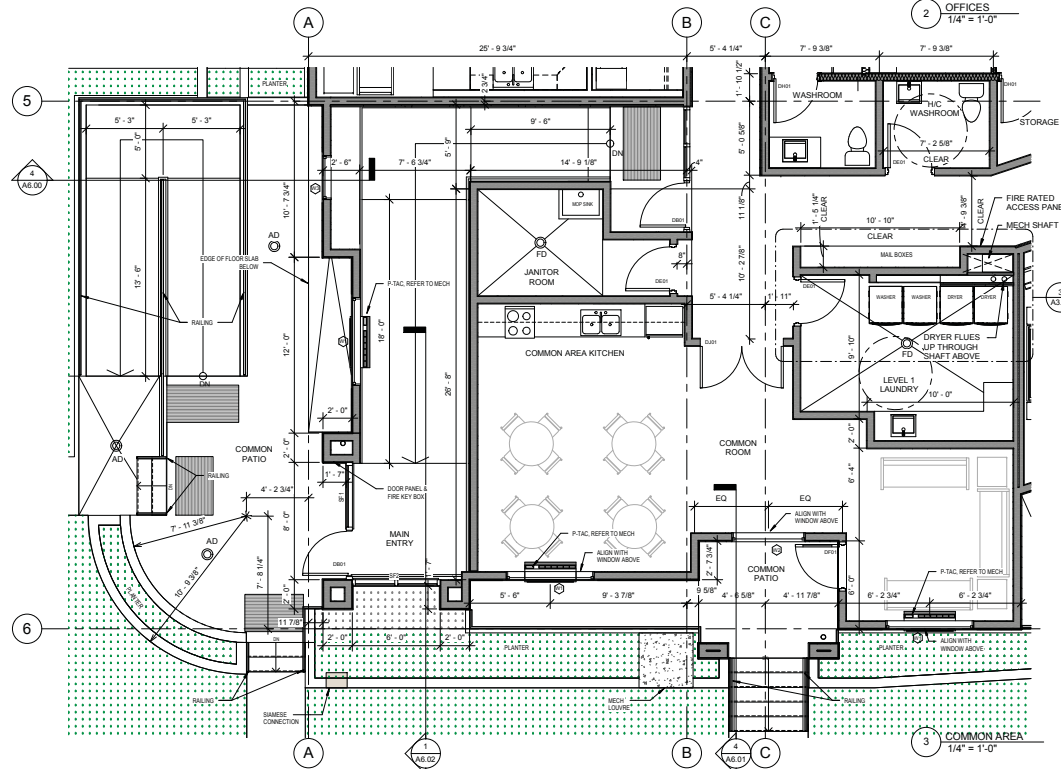
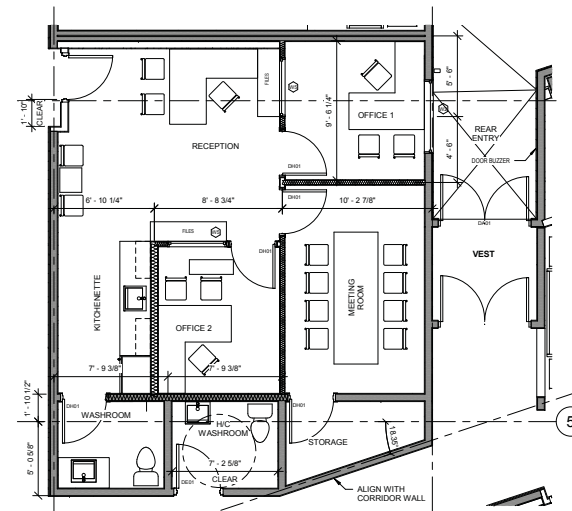
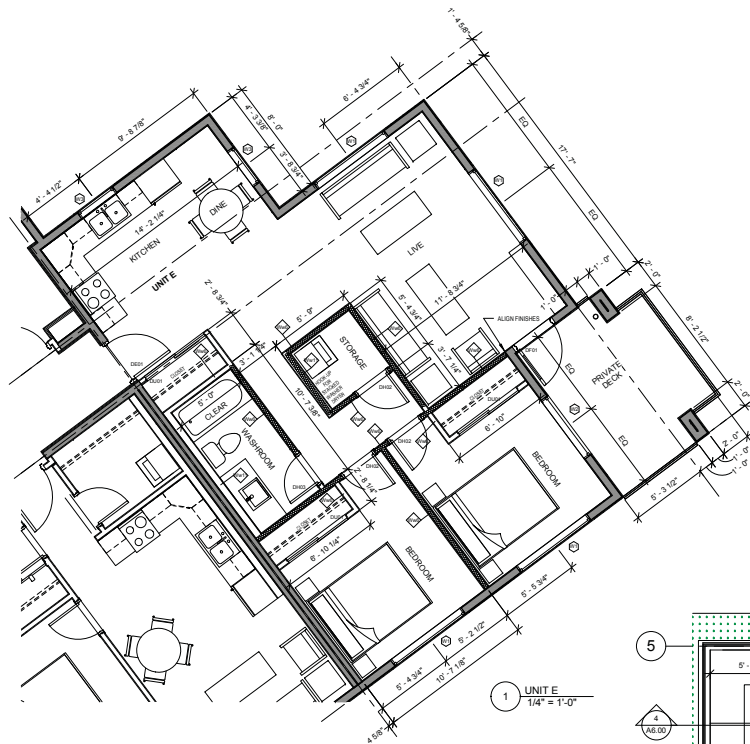
drawing title

UNIT PLANS

designed	R.Y.	scale	1/4" = 1'-0"
drawn	J.F./R.B.		
checked	R.Y.		
drawing no.			

A3.05

issued Aug 03, 2017



SCHEDULE A & B

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8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELLOWNA, BC

project no. 1580

date

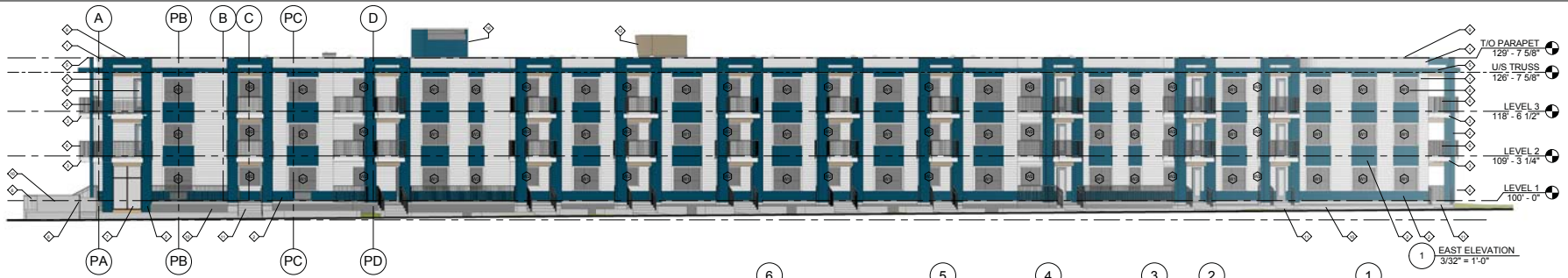
drawing title

UNIT AND COMMON ROOM PLANS

designed R.Y. 1/4" = 1'-0"
draw J.F. / R.B.
checked R.Y.
drawing no.

A3.06

issued Aug 03, 2017



EXTERIOR MATERIAL LEGEND

- HORIZONTAL FIBER CEMENT LAPPED SIDING - OFF WHITE
- FIBER CEMENT PANELS - BLUE / GREY
- FIBER CEMENT PANELS - OFF WHITE
- PREFINISHED METAL FLASHING - OFF WHITE
- PREFINISHED METAL FLASHING - BLUE / GREY
- PAINTED METAL GUARDRAILS - BLACK
- ALUMINUM FRAMED WINDOW / DOORS - BLACK
- PVC FRAMED WINDOWS / DOORS - WHITE
- PREFINISHED METAL CAP FLASHING - OFF WHITE
- CONCRETE PLANTERS
- CONCRETE STAIRS
- ROOF TOP UNIT
- CONCRETE RAMP - TO PARKADE
- PREFINISHED METAL O.H. DOOR - OFF WHITE
- SIAMSESE CONNECTION
- ELEVATOR SHAFT
- BEAM
- RAIN GUTTER & RAIN WATER LEADER

EXTERIOR MATERIAL LEGEND

- HORIZONTAL LAPPED FIBER CEMENT SIDING
COLOUR: OFF WHITE
- FIBER CEMENT PANELS C/W CAULKED BUTT JOINTS
COLOUR: MEDIUM BLUE / GREY
- FIBER CEMENT PANELS C/W CAULKED BUTT JOINTS
COLOUR: MEDIUM BLUE / GREY
- ALUMINUM FRAMED STOREFRONT GLAZING / DOORS
COLOUR: BLACK
- VINYL FRAMED WINDOWS
COLOUR: WHITE
- PREFINISHED METAL FLASHING
COLOUR: MEDIUM BLUE / GREY
- PREFINISHED METAL FLASHING
COLOUR: OFF WHITE
- EXPOSED CONCRETE RETAINING WALLS / PATIOS
COLOUR: GREY



SCHEDULE A & B

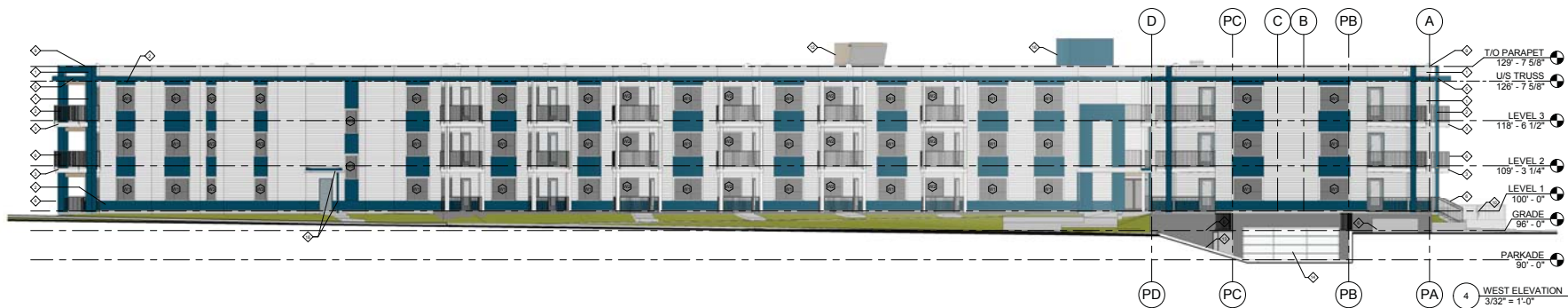
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City of
Kelowna
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Planner
Initials

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8	17-07-11	RE-ISSUED FOR BP

project title

OMAH'S - NISSEN CROSSING

project address

1170 HIGHWAY 33,
KELOWNA, BC

project no.

1580

revision

drawing title

EXTERIOR ELEVATIONS

designed

R.Y.

drawn

J.F. / R.B.

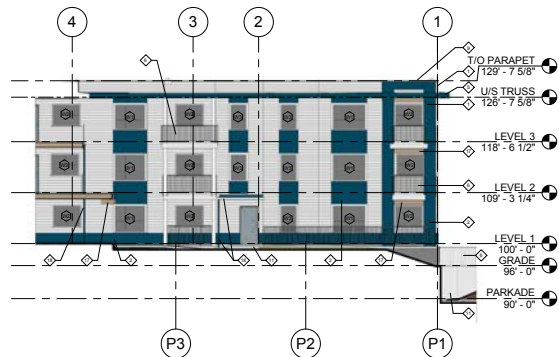
checked

R.Y.

drawing no.

Aug 03, 2017

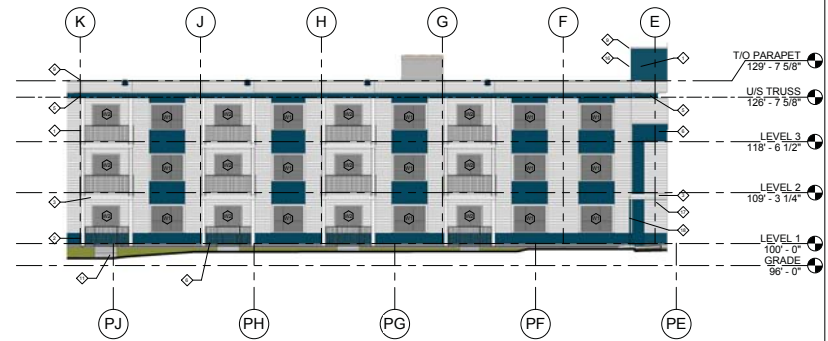
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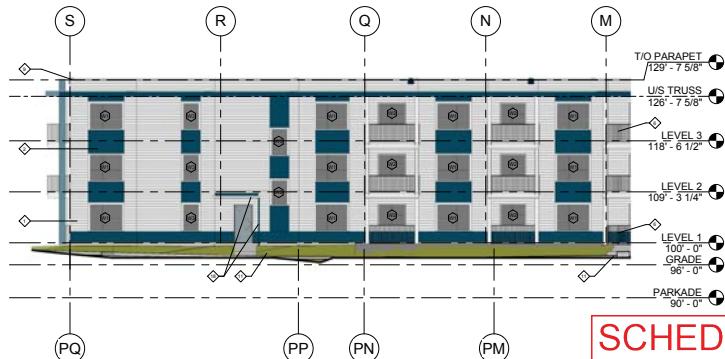
1 NORTH ELEVATION @ REAR ENTRANCE
3/32\" = 1'-0"

EXTERIOR MATERIAL LEGEND

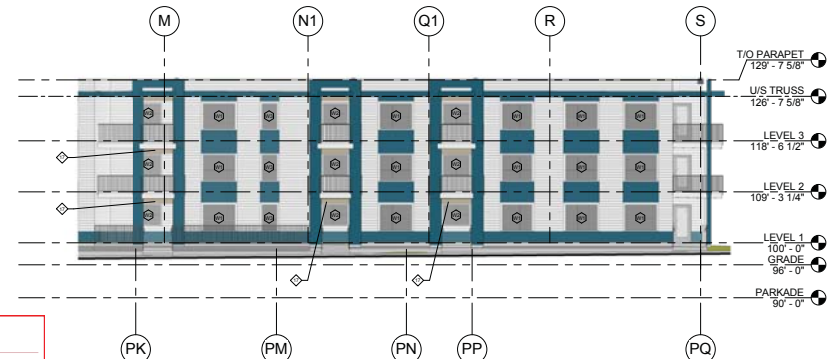
1. HORIZONTAL FIBER CEMENT LAPPED SIDING - OFF WHITE
2. FIBER CEMENT PANELS - BLUE / GREY
3. FIBER CEMENT PANELS - OFF WHITE
4. PREFINISHED METAL FLASHING - OFF WHITE
5. PREFINISHED METAL FLASHING - BLUE / GREY
6. PAINTED METAL GUARDRAILS - BLACK
7. ALUMINUM FRAMED WINDOW / DOORS - BLACK
8. PVC FRAMED WINDOWS / DOORS - WHITE
9. PREFINISHED METAL CAP FLASHING - OFF WHITE
10. CONCRETE PLANTERS
11. CONCRETE STAIRS
12. ROOF TOP UNIT
13. CONCRETE RAMP - TO PARKADE
14. PREFINISHED METAL O.H. DOOR - OFF WHITE
15. SIAMESE CONNECTION
16. ELEVATOR SHAFT
17. BEAM
18. RAIN GUTTER & RAIN WATER LEADER



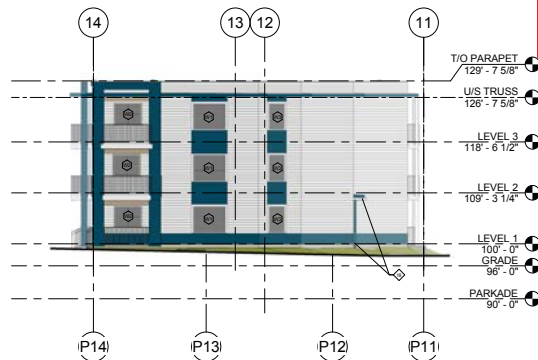
2 WEST ELEVATION @ REAR ENTRANCE
3/32\" = 1'-0"



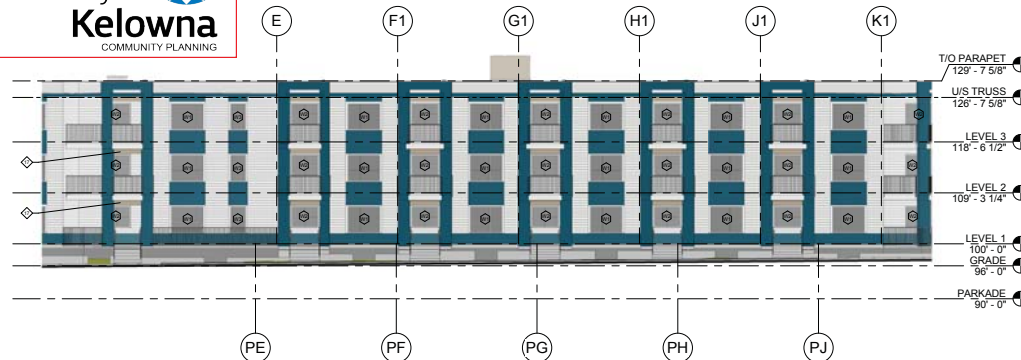
3 WEST ELEVATION @ EXIT STAIR 2
3/32\" = 1'-0"



4 EAST ELEVATION @ NORTH END
3/32\" = 1'-0"



5 NORTH ELEVATION @ EXIT STAIR 2
3/32\" = 1'-0"



6 EAST ELEVATION @ MIDDLE SECTION
3/32\" = 1'-0"

SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials AC



City of
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COMMUNITY PLANNING

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project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

files

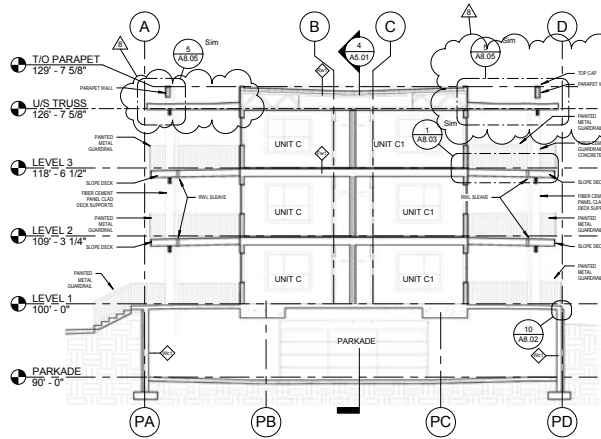
drawing title

PERPENDICULAR ELEVATIONS

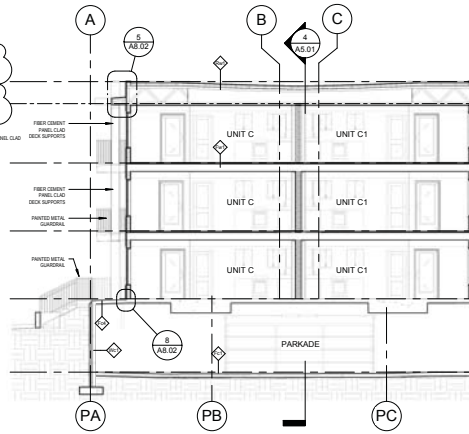
designed	R.Y.	scale	As Indicated
drawn	J.F. / R.B.		
checked	R.Y.		
drawing no.			

A4.01

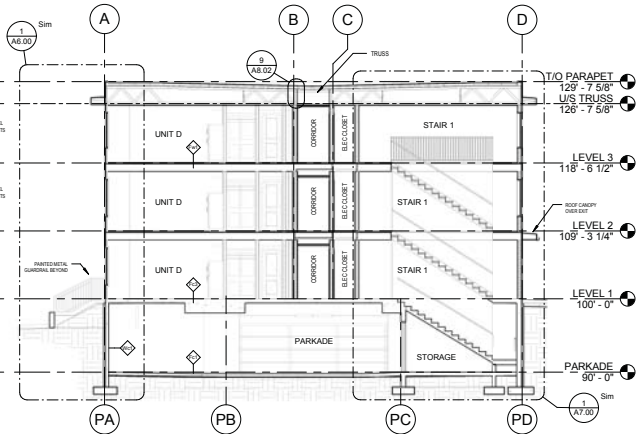
issued Aug 03, 2017



1 Section 1
1/8" = 1'-0"



2 Section 2
1/8" = 1'-0"

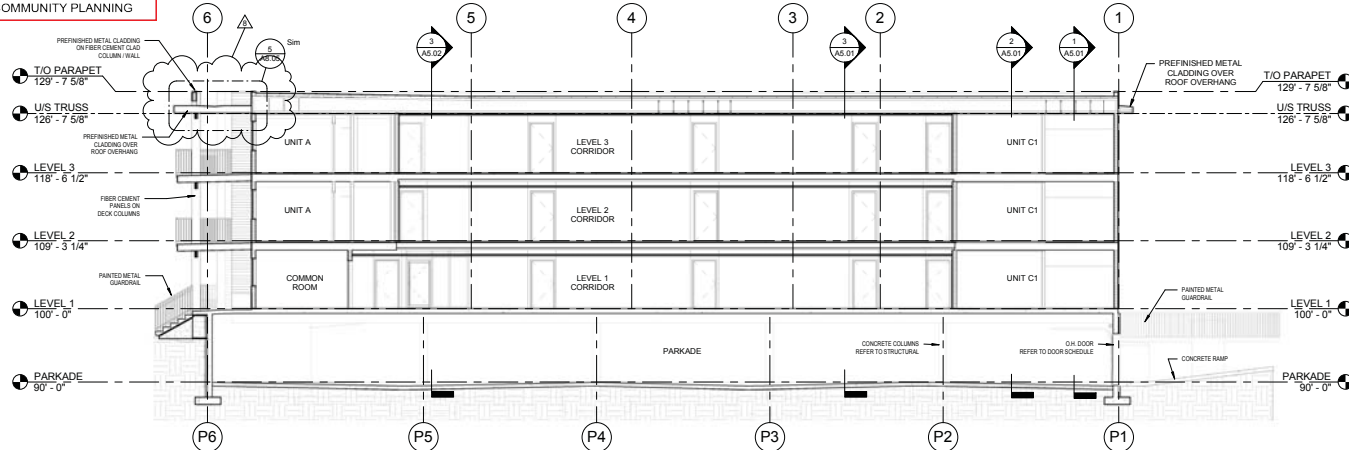


3 Section 3
1/8" = 1'-0"

SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials AC



4 Section 4
1/8" = 1'-0"

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8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1560

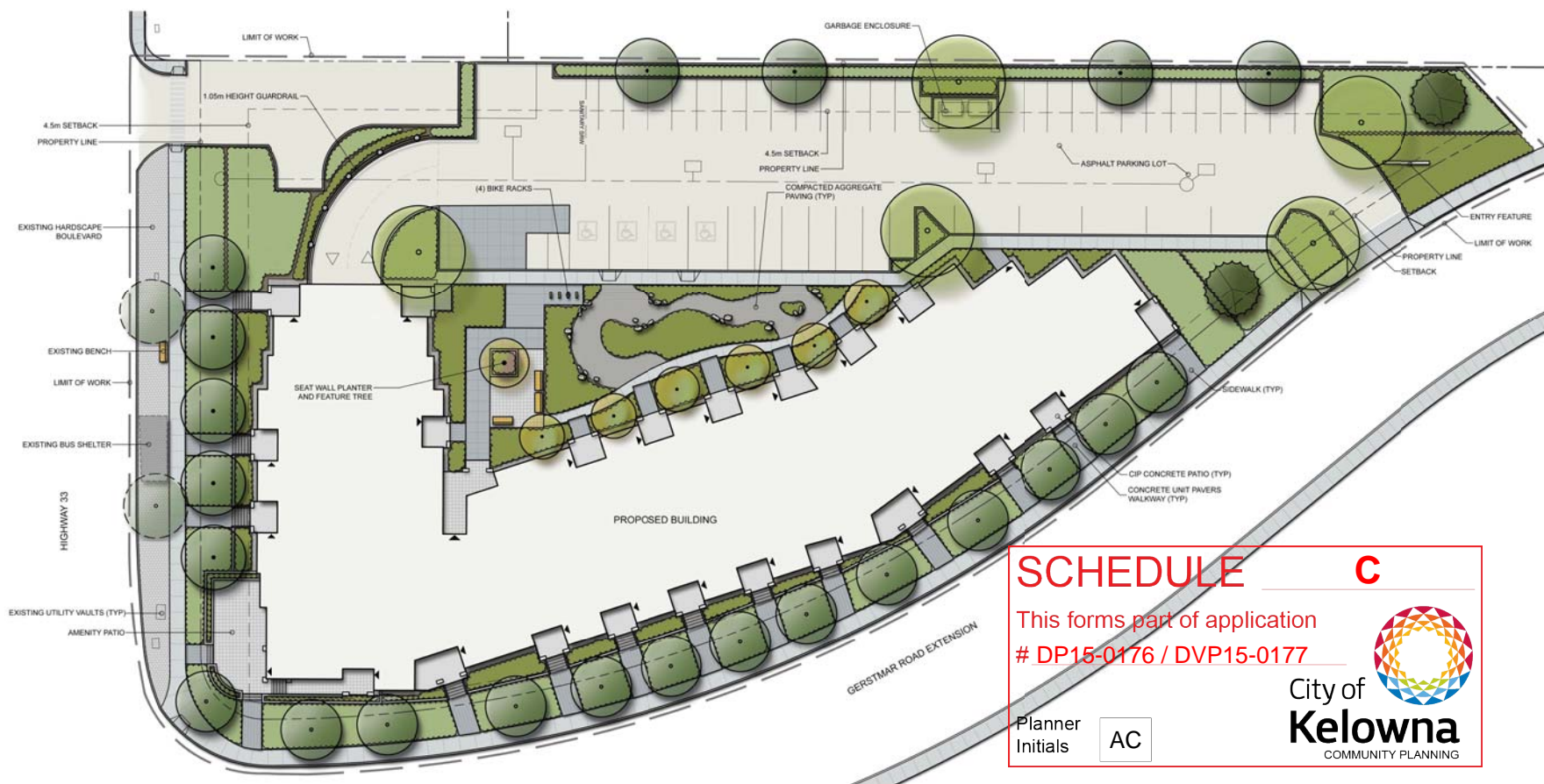
file no.

drawing title
BUILDING SECTIONS

designed	R.Y.	scale	1/8" = 1'-0"
drawn	J.F./R.B.		
checked	R.Y.		
drawing no.			

A5.01

printed Aug 03, 2017

[illegible]

CONSULTANT:
NEW TOWN SERVICES
RELDON, B.C.

CLIENT:
**OKANAGAN METIS &
ABORIGINAL HOUSING
SOCIETY**
KELOWNA, B.C.

PROJECT:
OMAH'S MULTI-FAMILY
RESIDENTIAL BUILDING
KELOWNA, B.C.

SHEET TITLE

CONCEPT PLAN

DESIGN BY	SD
DRAWN BY	SD
CHECKED BY	AS
PROJECT NO.	15-022
SCALE	1:200

L-1

Case 9

LEGEND:

- | | |
|---|---|
|  | RESIDENCE RATIO:
CAST IN PLACE CONCRETE |
|  | DECORATIVE CONCRETE PAVING |
|  | RECREATION WALKWAY:
CONCRETE UNIT PAVERS |
|  | CAST IN PLACE CONCRETE |
|  | COMPACTED AGGREGATE PAVING |
|  | CONCRETE STAIRS AND HANDRAIL |
|  | COBBLE MAINTENANCE EDGE |

-
- Legend:
- BENCH
 - SHRUB, GRASSES AND PERENNIAL PLANTING AREA
 - LANDSCAPE BOULDERS
 - PROPOSED DECIDUOUS TREES
 - PROPOSED CONIFEROUS TREES
 - EXISTING TREE TO REMAIN
 - BUILDING ENTRANCE
 - PARKADE ENTRANCE

PLANT LIST:

TREES

Botanical Name	Common Name	Root
<i>Pinus x acuta</i>	London plane	B&B
<i>Koeleria paniculata</i>	Chinese reed tree	B&B
<i>Malus 'Spring Snow'</i>	Spring snow ornlt apple	B&B
<i>Malva sylvestris</i>	Tupelo	B&B
<i>Quercus alba</i>	White oak	B&B
<i>Ficus cordata 'Greenpark'</i>	Greenpark fig	B&B

Botanical Name	Common Name	Root
<i>Amanchier arborea 'Obelisk'</i>	Standing Union serviceberry	Pruned
<i>Artemisia frigida</i>	Kinnikinnick	Pruned
<i>Antennaria spicata</i>	Pasture sage	Pruned
<i>Aronia melanocarpa</i>	Black chokeberry	Pruned
<i>Berberis thunbergii 'Rose Glow'</i>	Rose glow barberry	Pruned
<i>Caryopteris 'Gargansu'</i>	Globe caryopteris	Pruned
<i>Comus alabastera 'White Dragon'</i>	White cornus	Pruned
<i>Comus sericea 'Winter Beauty'</i>	Red hairy dogwood	Pruned
<i>Erica carnea</i>	Winter heath	Pruned
<i>Euryanthus asiaticus 'Campanula'</i>	Golden bell	Pruned
<i>Hamelia x intermedia</i>	Witch hazel	Pruned
<i>Philadelphus 'Isabel Waterford'</i>	Waterford mock orange	Pruned
<i>Picea purpurea 'Vireoides'</i>	Dwarf glauc blue spruce	Pruned
<i>Wisteria 'Woodstock'</i>	Wisteria	Pruned
<i>Sail purpurea 'Nana'</i>	Dwarf Arctic willow	Pruned
<i>Sambucus racemosa</i>	Blue elderberry	Pruned
<i>Symphoricarpos alba</i>	Witch's vine	Pruned
<i>Taxus x media 'Mopsus'</i>	Hook's yew	Pruned

SHRUB:

Botanical Name	Common Name	Root
<i>Ammannia</i> indica 'Olebil'	Standing Ovation verbena	Patented
<i>Archibolus</i> sp. 'var. v'	Kiss me quick	Patented
<i>Antennaria</i> fragilis	Pasture sage	Patented
<i>Aronia</i> melanocarpa	Black chokeberry	Patented
<i>Berberis thunbergii</i> 'Rose Glow'	Rose glow barberry	Patented
<i>Cercaria</i> futasu 'Slacko'	Slacko	Patented
<i>Coma strobilifera</i> 'Flavimare'	Yellow flag dogwood	Patented
<i>Coma sericea</i> 'Winter Beauty'	Red hair dogwood	Patented
<i>Erica</i> carnea	Winter heath	Patented
<i>Erythronium alba</i> 'Compact'	Burning bush	Patented
<i>Hamelia</i> x intermedia	Witch hazel	Patented
<i>Philadelphus</i> 'purest' 'Valentin'	Walterton mock orange	Patented
<i>Rosa purpurea</i> 'Gloria'	Dwarf white lace spruce	Patented
<i>Rosa woodii</i> 'Korbinley'	Dwarf Arctic willow	Patented
<i>Salix purpurea</i> 'Nana'	Dwarf Arctic willow	Patented
<i>Sambucus</i> caerulea	Blue elderberry	Patented
<i>Syringobolus</i> albus	Snowdrift	Patented
<i>Taxus x media</i> 'Hickory'	Hick's eye	Patented

PERENNIALS

Botanical name	Common Name	Root
<i>Asclepias glaberrima</i> 'Gold Plate'	Paprika yarrow	Potter
<i>Asclepias millifolium</i> 'Paprika'	Gold plate yarrow	Potter
<i>Artemisia media</i>	Lech's merrill	Potter
<i>Anemone sylvestris</i>	Wildflower	Potter
<i>Bergenia cordifolia</i>	Heartleaf bergenia	Potter
<i>Echinacea purpurea</i> 'Magnus'	Purple coneflower	Potter
<i>Hebebius</i>	Lenten rose	Potter
<i>Heuchera cydneia</i>	Roundleaf skunkroot	Potter
<i>Lavandula angustifolia</i> 'Hidote'	French lavender	Potter
<i>Pachysandra terminalis</i>	Japanese spurge	Potter
<i>Persicaria affinis</i> 'Dority'	Dead fleecflower	Potter
<i>Polygonatum commutatum</i>	Soldan's seal	Potter
<i>Rubusida rugosa</i> 'Goldsturm'	Goldsturm rose	Potter
<i>Rhodod. azalea</i> 'Suzuki En'		Potter

GRASSES

Botanical Name	Common Name	Root
<i>Calamagrostis brachytricha</i>	Korean featurer reed grass	Potted
<i>Deschampsia cespitosa</i>	Tufted hair grass	Potted
<i>Festuca idahoensis</i>	Idaho fescue	Potted
<i>Koeleria macrantha</i>	Junegrass	Potted

SCHEDULE

This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials

AC

C

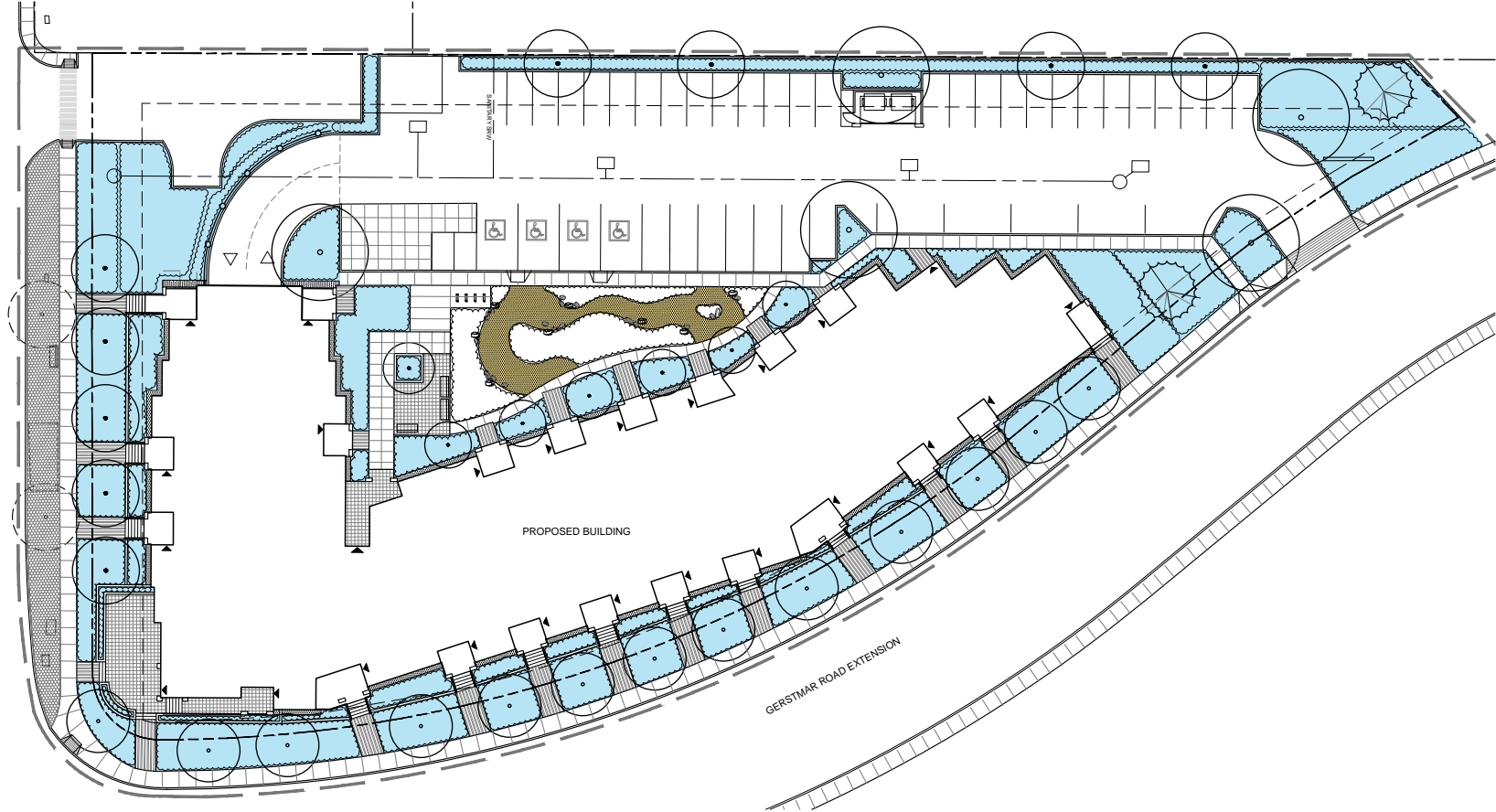


City of Kelowna
COMMUNITY PLANNING

DEVELOPMENT PERMIT NOTES

- A. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE I.C.L. LANDSCAPE STANDARDS, PUBLISHED BY I.C.L.N.A. AND I.C.L.L.A. AS WELL AS THE CITY OF KENYONA LANDSCAPE STANDARDS IN BYLAW 7900.
- B. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL, BUT REFLECTS THE MINIMUM CITY OF KENYONA FORM AND FUNCTION REQUIREMENTS.
- C. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY FROM THE CONCEPTUAL DESIGN AND HAVE TO BE APPROVED BY THE CITY OF KENYONA.
- D. TREES SHALL BE INSTALLED IN DEFINED SOIL PITTS OR PLANTING BED AREAS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION.
- E. FOR EXTENDED PLANTING BEDS, TREES SHALL BE INSTALLED AT A MINIMUM OF 10' SPACING.
- F. ALL PLANTING BEDS SHALL HAVE A MIN. OF 450mm (18") IMPORTED GROWING MEDIA AND 75mm (3") OF COMPOSTED MULCH OR APPROVED EQLV.
- G. FERTILIZER FOR ROCK AREAS SHALL BE INSTALLED AT A MINIMUM OF 10% OF DECORATIVE ROCK.
- H. DECORATIVE ROCK AREAS SHALL BE INSTALLED BELOW ALL DECORATIVE ROCK AREAS. LANDSCAPIC SHALL BE NILEX 450S OR APPROVED EQLV.
- I. A ROCK BED SHALL BE INSTALLED AT A MINIMUM OF 10% OF DECORATIVE ROCK AREAS. LANDSCAPIC SHALL BE NILEX 450S OR APPROVED EQLV.
- J. ALL PLANTING BEDS SHALL CONFORM TO THE CITY OF KENYONA'S IRRIGATION STANDARDS IN BYLAW 7900.

HIGHWAY 33



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REVISIONS / ISSUES		
NO.	DATE	DESCRIPTION
7	MAY 2015	RE-ISSUED FOR DP APPLICATION
6	JULY 2015	RE-ISSUED FOR DP APPLICATION
5	JUNE 2015	RE-ISSUED FOR DP APPLICATION
4	APRIL 2015	RE-ISSUED FOR DP APPLICATION
3	JULY 2015	ISSUED FOR REVIEW
2	JULY 2015	ISSUED FOR DP APPLICATION
1	JULY 2015	ISSUED FOR REVIEW



CONSULTANT:
NEW TOWN SERVICES
KELOWNA, B.C.

CLIENT:
OKANAGAN METIS & ABORIGINAL HOUSING SOCIETY
KELOWNA, B.C.

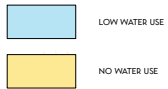
PROJECT:
OMAH'S MULTI-FAMILY RESIDENTIAL BUILDING
KELOWNA, B.C.

SHEET TITLE:
HYDROZONE PLAN

DESIGN BY: SD
DRAWN BY: SD
CHECKED BY: JS
PROJECT NO.: 15-022
SCALE: 1:200

SHEET NO.:
L-2
OF 1

HYDROZONE LEGEND:



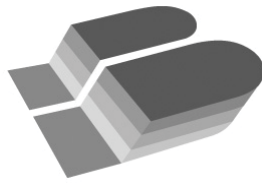
SCHEDULE

C

This forms part of application
DP15-0176 / DVP15-0177

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING



May 26, 2017

City of Kelowna
1435 Water Street
Kelowna, B.C.
V1J 1J4

Attention: Community Planning & Real Estate Division

Project: Okanagan Metis and Aboriginal Housing Society Multi-Family Development -
Development Permit Application

Please be advised that a landscape security bond of **\$116,220.10** will be required for the Okanagan Metis and Aboriginal Housing Society development project on Highway 33 in Rutland. This sum is equal to 125% of the estimated installed cost for all soft landscape. As per City of Kelowna requirements, the estimate includes trees, shrubs, grasses, perennials, topsoil, mulch, irrigation, and bicycle racks. Please see the attached Estimate of Probable Costs for Bonding for a detailed breakdown of these costs.

Should you require any additional information, please do not hesitate to contact me.

Sincerely,

Xenia Semeniuk, BCSLA, CSLA, LEED AP
Registered Landscape Architect

cc
Lisa Fraser, New Town Services

SCHEDULE	C	 City of Kelowna COMMUNITY PLANNING	Planner Initials	AC
This forms part of application # DP15-0176 / DVP15-0177				

OMAHS Multi Family Development

Estimate of Probable Costs for Bonding

Prepared on: June 7, 2016

ON SITE

Items Description	Units	Qty.	Price	Item Total
1.0 Plant Material				
1.1 Trees				
1.1.1 6cm Cal.: Deciduous Feature Tree	ea.	5	\$550.00	\$2,750.00
1.1.2 6cm Cal.: Deciduous Street Tree	ea.	18	\$550.00	\$9,900.00
1.1.3 4cm Cal.: Deciduous Columnar Tree	ea.	4	\$400.00	\$1,600.00
1.1.4 4cm Cal.: Deciduous Ornamental Tree	ea.	7	\$400.00	\$2,800.00
1.1.5 1.5m Ht: Coniferous Trees	ea.	2	\$500.00	\$1,000.00
			<i>Sub-Total</i>	<i>\$18,050.00</i>
1.2 Shrubs, Perennials, Ground Covers				
1.2.1 #5 Pot: Shrubs (1.8m O.C.)	ea.	234	\$45.00	\$10,543.63
1.2.2 #2 Pot: Grasses (1.2m O.C.)	ea.	264	\$20.00	\$5,271.35
1.2.3 #1 Pot: Perennials (0.9m O.C.)	ea.	468	\$15.00	\$7,026.60
			<i>Sub-Total</i>	<i>\$22,841.58</i>
			1.0 Total	\$40,891.58
2.0 Topsoil & Mulch				
2.1 Topsoil				
2.1.1 Shrub Bed Topsoil (300mm Depth)	m3	396	\$40.00	\$15,852.00
2.1.2 Tree Pit Topsoil (1000mm Depth)	m3	36	\$40.00	\$1,440.00
			<i>Sub-Total</i>	<i>\$17,292.00</i>
2.2 Mulch				
2.2.1 Shrub Bed Mulch (50mm Depth)	m3	66	\$50.00	\$3,302.50
2.2.2 Cobble Mulch (100mm Depth)	m3	15	\$65.00	\$975.00
			<i>Sub-Total</i>	<i>\$4,277.50</i>
			2.0 Total	\$21,569.50
3.0 Servicing				
3.1 Irrigation				
3.1.1 Sleeving	l.s.	1	\$2,500.00	\$2,500.00
3.1.2 Point of Connection - Electrical & Mechanical	l.s.	1	\$2,000.00	\$2,000.00
3.1.3 Control System	l.s.	1	\$3,000.00	\$3,000.00
3.1.4 Irrigation system (heads, pipes, valves)	m2	1,321	\$15.00	\$19,815.00
			<i>Sub-Total</i>	<i>\$27,315.00</i>
			3.0 Total	\$27,315.00
4.0 Site Construction				
4.1 Furnishings				
4.1.1 Bike Racks	ea.	4	\$800.00	\$3,200.00
			<i>Sub-Total</i>	<i>\$3,200.00</i>
			4.0 Total	\$3,200.00

Total	\$92,976.08
Security Total (125%)	\$116,220.10

SCHEDULE



City of Kelowna
COMMUNITY PLANNING

This forms part of application
DP15-0176 / DVP15-0177

AC

Planner Initials

REPORT TO COUNCIL



Date: April 10, 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (TA)

Application: DVP17-0220
Owner: David Reginald John Rolleston
Jennifer Lynn Rolleston

Address: 504 Knowles Road
Applicant: David & Jennifer Rolleston

Subject: Development Variance Permit

Existing OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: RU2 – Medium Lot Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0220 for Lot 1 District Lot 167 ODYD Plan 15446, located at 504 Knowles Road, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.2.5 (b): RU2 – Medium Lot Housing Subdivision Regulations

To vary the minimum lot depth from 30.0m required to 27.5m proposed;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider a variance to the minimum lot depth from 30.0m required to 27.5m proposed to facilitate a two lot subdivision.

3.0 Community Planning

Community Planning supports the proposed variance to vary the minimum lot depth from 30.0m required to 27.5m proposed to facilitate a two lot subdivision. Due to the irregular shape of the lot the required 30.0 m depth cannot be achieved, however the proposal does meet all the other subdivision requirements in including minimum lot area. The proposed subdivision is compatible within the neighbourhood and allows for a modest increase in density consistent with the City's OCP urban infill policies.

4.0 Proposal

4.1 Background

The subject property was recently rezoned from RU₁ – Large Lot Housing to RU₂ – Medium Lot Housing to facilitate a two lot subdivision.

4.2 Project Description

The proposed two lot subdivision triggers a variance as the irregular shape of the lot does not meet the minimum lot depth when the side property lines are averaged. The variance would reduce the minimum lot depth from 30.0m required to 27.5m proposed. The proposed subdivision meets all other requirements of Zoning Bylaw No. 8000.

504 KNOWLES RD, KELOWNA, BC

PID: 003-277-691 LOT 1, PLAN 15446

ORIGINAL LOT
AREA: ± 1,403.52m²

PROPOSED NEW LOT
AREA: ± 412.19m²

ALLOWABLE BUILDING AREA: ± 187.60m²

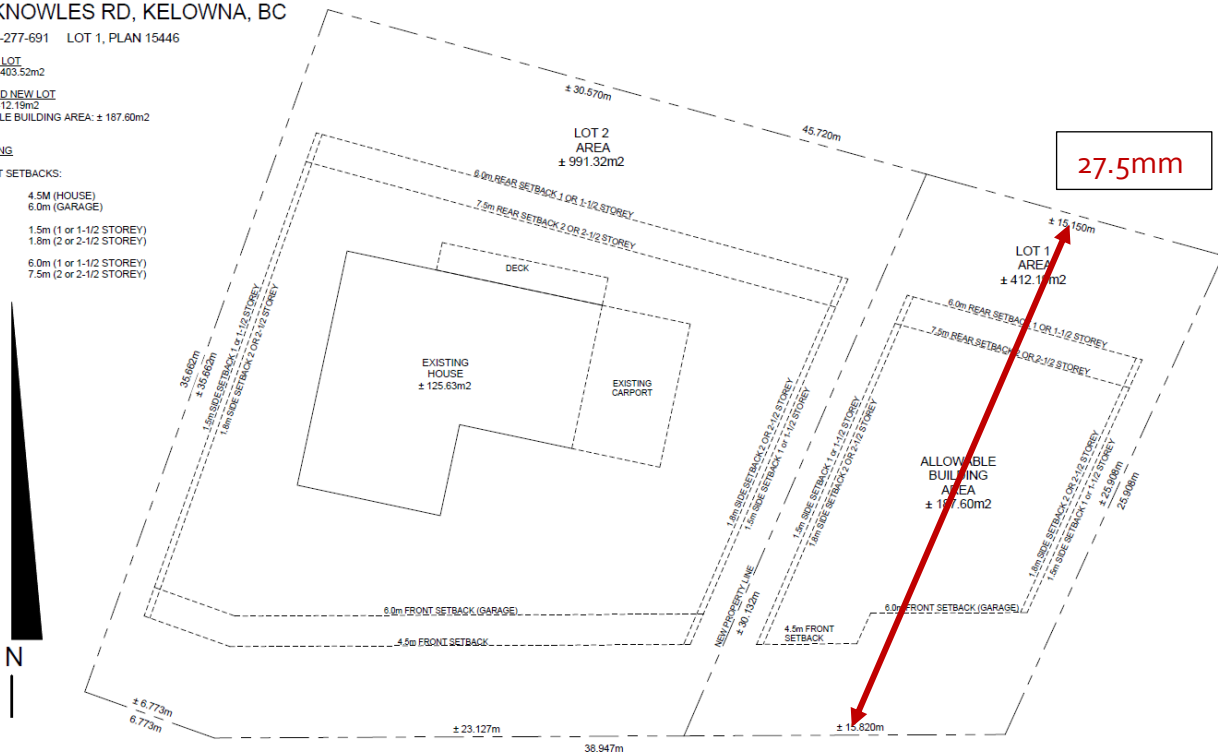
RU₂ ZONING

INFILL LOT SETBACKS:

FRONT: 4.5m (HOUSE)
6.0m (GARAGE)

SIDE: 1.5m (1 or 1-1/2 STOREY)
1.8m (2 or 2-1/2 STOREY)

REAR: 6.0m (1 or 1-1/2 STOREY)
7.5m (2 or 2-1/2 STOREY)



504 Knowles Road, Kelowna, BC

September 19, 2017

SCALE 1:150

4.3 Site Context

The subject property is located west of Lakeshore Road in the Lower Mission. It is walking distance to the Eldorado Road beach access and the Lakeshore Recreation Corridor. The neighbourhood is characterized by Single Dwelling Housing, and there is one other active RU₁ to RU₂ rezoning in close proximity on Eldorado Road.

The subject property earns a walkscore of 29 which means that most errands require a vehicle.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single Dwelling Housing
East	RU1 – Large Lot Housing	Single Dwelling Housing
South	RU1 – Large Lot Housing	Single Dwelling Housing
West	RU1 – Large Lot Housing	Single Dwelling Housing

Subject Property Map: 504 Knowles Road



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RU ₂ ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Lot Area	400m ²	412.2m ²
Lot Width	13.0m	15.8m
Lot Depth	30.0m	~27.5m ^①
① Indicates a requested variance to the minimum lot depth from 30.0m required to ~27.5m proposed.		

5.0 Application Chronology

Date of Application Received:	September 22, 2017
Date Public Consultation Completed:	December 17, 2017
Date Rezoning Bylaw No. 1545 Adopted:	February 20, 2018

Report prepared by: Trisa Atwood, Planner II

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Development Variance Permit



This permit relates to land in the City of Kelowna municipally known as

504 Knowles Road

and legally known as

Lot 1 District Lot 167 ODYD Plan 15446, located at 504 Knowles Road, Kelowna, BC

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: April 10, 2018

Decision By: CITY COUNCIL

Issued Date: April 10, 2018

This permit will not be valid if development has not commenced by April 10, 2018

Existing Zone: RU2 – Medium Lot Housing

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: David Reginald John Rolleston

Jennifer Lynn Rolleston

Applicant: David Reginald John Rolleston

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date:

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.2.5 (b): RU2 – Medium Lot Housing Subdivision Regulations

To vary the minimum lot depth from 30.0m required to 27.5m proposed;
as per attached Schedule "A".

3. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

504 KNOWLES RD, KELOWNA, BC

PID: 003-277-691 LOT 1, PLAN 15446

ORIGINAL LOT
AREA: ± 1,403.52m²

PROPOSED NEW LOT
AREA: ± 412.19m²
ALLOWABLE BUILDING AREA: ± 187.60m²

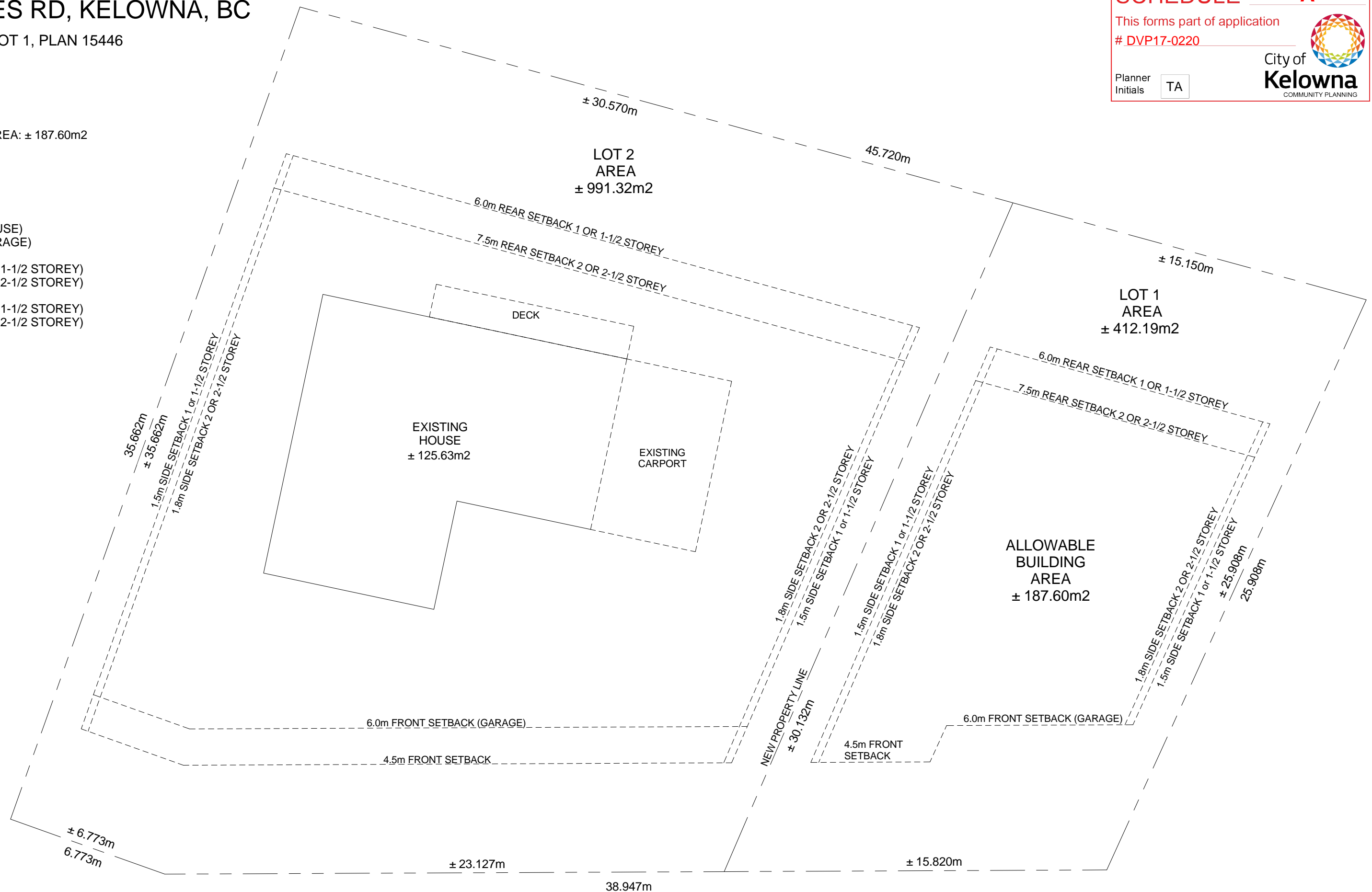
RU2 ZONING

INFILL LOT SETBACKS:

FRONT: 4.5M (HOUSE)
6.0m (GARAGE)

SIDE: 1.5m (1 or 1-1/2 STOREY)
1.8m (2 or 2-1/2 STOREY)

REAR: 6.0m (1 or 1-1/2 STOREY)
7.5m (2 or 2-1/2 STOREY)



SCHEDULE		A
This forms part of application		
# DVP17-0220		
Planner Initials	<div>TA</div>	 City of Kelowna COMMUNITY PLANNING

REPORT TO COUNCIL



Date: April 10, 2018

RIM No. 0940-00 & 0940-50

To: City Manager

From: Community Planning Department (BBC)

Application: DP17-0267 and DVP17-0268

Owner: Midwest Venture Ltd

Address: 730 – 760 McCurdy Road

Applicant: Peter Downward

Subject: Development Permit and Development Variance Permit

Existing OCP Designation: IND - Industrial

Existing Zone: I2 – General Industrial

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP17-0267 and Development Variance Permit DVP17-0268 for Lot 63, DL 143, ODYD Plan 426, Except Plans 15819 and A12969, located at 730 -760 McCurdy Road, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,";
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "D"; and
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping.

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted, as shown in Schedule "A":

Section 15.2.5(e): I2 – General Industrial Development Regulations

To vary the required minimum side yard setback for an industrial building from 4.5 m permitted to 0.0 m proposed.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider a Development Permit for the Form and Character of one new industrial building and to vary the minimum side yard setback from 4.5 m permitted to 0.0 m proposed on the subject property.

3.0 Community Planning

Community Planning Staff supports the Development Permit for the Form and Character of a proposed industrial building as the design meets the majority of the Official Community Plan (OCP) Design Guidelines for Industrial Use and the design is consistent with other buildings located on the subject property. Consideration has been given to the façade on McCurdy Road to ensure appropriate signage, lighting, scale, and attractive design (Schedule C). The building design is complemented by a 3.0 m wide landscape area providing a transition to the public sidewalk on McCurdy Road, as well as additional landscape area ranging from 1.3 m to 2.8 m in width along the perimeter of the proposed new parking area designated for the proposed industrial building (Schedule D).

Staff is supportive of the requested variance to reduce the side yard setback from 4.5 m permitted to 0.0 m proposed on the subject property (Schedule A). The OCP Future Land Use designation for the property and the adjacent property is IND – Industrial and zero lot line interfaces are common in these industrial neighbourhoods. The variance does not compromise any municipal infrastructure or services, and will not negatively impact the adjacent parcel.

To fulfill the requirements of Council Policy No. 367, the applicant submitted a Neighbour Consultation Summary Form on December 20, 2017, outlining that neighbours within 50 m of the subject property were notified.

4.0 Proposal

4.1 Background

In 2014, Council approved a side setback variance from 4.5 m permitted to 0.0 m proposed, along the southeastern property line, to allow the construction of an industrial building. Development and Development Variance Permits (DP14-0130 and DVP14-0131, respectively) were issued, however the permits expired due to unfavourable market conditions (Attachment B). The current requested variance is the same as the previous approval.

4.2 Project Description

There are four existing industrial buildings on the subject property. The proposal is to replace one of the four buildings, which is an aging truck cross-dock building. It is located near the street front at the south-eastern corner of the subject property. The new proposed building floor area is 1,068.50 m² with an additional future mezzanine space (361 m²) planned for future expansion. The new proposed building is approximately 11.66 m east of the existing building and along the south-eastern property line (Attachment A). The building design for the front façade facing McCurdy Road has large windows, well defined entrances to each unit, and a similar style and colour pallet to the other buildings currently located on the subject property (Schedule B). Parking and bicycle stalls are provided in front of the proposed new building, with loading at the rear of the building, avoiding any potential traffic or pedestrian safety conflicts.

The subject property is immediately surrounded by McCurdy Road to the south, I2 – General Industrial to the west and north, however abuts three different zones along the eastern property line. The northern half of the eastern property line abuts RM7 – Mobile Home Park zoning, followed by I2 - General Industrial zoning to the south along the eastern property line. The remaining southeastern most corner abutting the subject property, known as 700 McCurdy Rd is currently zoned as A1 – Agriculture, and is not in the

Agricultural Land Reserve (ALR). The OCP Future Land Use Designation for this small A1 lot is "IND – Industrial" and the owner of the property is currently proceeding with a rezoning application to industrial use that will come forth to Council for consideration (Z16-0025).

4.3 Site Context

The subject property is located approximately 500 m east of Hyw 97 north and is accessed from McCurdy Road.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	I2 – General Industrial	General Industrial - Precasting
East	RM7 – Mobile Home Park I2 – General Industrial A1 - Agriculture	Mobile Home Granite countertop; Natural Food Specialist Vacant
South	McCurdy Road RU6/RU6c – Two Dwelling Housing/Two Dwelling Housing with Carriage House RU1/RU1c – Large Lot Housing/Large Lot Housing with Carriage House P2 – Education and Minor Institutional	McCurdy Road Residential Residential Pearson Road Elementary
West	I2 - General Industrial	Kitchen cabinetry

Subject Property Map: 730 -760 McCurdy Road



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	I2 ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Minimum Lot Area	10,000 m ²	23,512 m ²
Minimum Lot Width	40.0 m	91 m
Minimum Lot Depth	35.0 m	258.4 m
Site Coverage	60%	20.3%
Development Regulations		
Floor Area Ratio	1.5	0.2
Height	14.0 m	11.79 m
Front Yard	7.5 m	23.72 m
Side Yard (east)	0.0 m abutting I2 zone / 4.5 m abutting A1 zone	0.0 m abutting A1 zone ❶
Side Yard (west)	0.0 m	60.50 m
Rear Yard	0.0 m	198.60 m
Other Regulations		
Minimum Parking Requirements	21 stalls (new building) / 96 stalls (site total)	20 stalls (new building) / 96 stalls (site total)
Class II Bicycle Parking	3 stalls	3 stalls
Loading Space	0.56 spaces	6 spaces
❶ Indicates a requested variance to the side yard setback from 4.5 m required to 0.0 m proposed		

5.0 **Current Development Policies**5.1 Kelowna Official Community Plan (OCP)

Industrial Land Use.¹ Focus Industrial development to areas suitable for Industrial use.

Industrial Land Use Intensification.² Encourage more intensive industrial use of currently under-utilized industrial sites during site redevelopment or by permitting lot subdivision where new lots can meet the minimum lot size requirements of the Zoning Bylaw.

Development Permit Guidelines.³ Comprehensive Development Permit Area.

Objectives:

- Convey a strong sense of authenticity through urban design that is distinctive for Kelowna;
- Promote a high urban design standard and quality of construction for future development that is coordinated with existing structures;
- Integrate new development with existing site conditions and preserve the character amenities of the surrounding area;
- Promote interesting, pedestrian friendly streetscape design and pedestrian linkages;
- Provide for a scale and massing of commercial buildings that promotes a safe, enjoyable living, pedestrian, working, shopping and service experience;
- Incorporate architectural features and detailing of buildings and landscapes that define an area's character;
- Promote alternative transportation with enhanced streetscapes and multi-modal linkages.

¹ City of Kelowna Official Community Plan, Objective 5.28 (Development Process Chapter)

² City of Kelowna Official Community Plan, Policy 5.29.1 (Development Process Chapter)

³ City of Kelowna Official Community Plan, Policy 14.2 (Urban Design Development Permit Areas Chapter)

6.0 Technical Comments

6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s).
- Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - i. Any alternative solution must be accepted by the Chief Building Inspector prior to the release of the Building Permit
 - ii. Location, Heights, Colours of mechanical systems and the required screening are to be determined at time of DP
 - iii. Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - iv. Hard surfaced paths leading from the egress stairwells to a safe area are to be clearly defined as part of the DP
 - v. Guard rails may require vertical pickets or equivalent at time of building permit application.
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. Minimum building elevations are required to be established prior to the release of the Development Permit. If a soil removal or deposit permit is required, this must be provided at time of Development Permit application.
- Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
- An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units and all corridors, number of required exits per area, door swing direction, handrails on each side of exit stairs, width of exits, spatial calculation for any windows in exit stairs, etc.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

6.2 Development Engineering Department

Refer to Attachment A.

6.3 Fire Department

- Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required.
- Fire Department access is to be met as per BCBC 3.2.5. and accommodate the largest apparatus - ladder truck - the main entrance shall be within 3-15 metres for access

- A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD as well as a fire preplan as per bylaw 10760.
- Approved Fire Department steel lock box acceptable to the fire dept. is required by the fire dept. entrance and shall be flush mounted.
- All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met for communications.
- The fire alarm system is to be monitored by an agency meeting the CAN/ULC S561 Standard. Sprinkler zone valves shall be accessible as per fire prevention bylaw (10760) - less than 7 feet in height.
- Fire department connection is to be within 45M of a fire hydrant - unobstructed.
- Ensure FD connection is clearly marked and visible from the street.
- Upon completion an owners certificate and copy of NFPA 25 shall be provided for the sprinkler system.
- Upon completion, a certificate is required to verify CANULC 561 Compliance.
- Dumpster/refuse container must be 3 meters from structures or overhangs.

7.0 Application Chronology

Date of Application Received:	November 28, 2017
Date Public Consultation Completed:	December 12, 2017
Supplemental Drawings Received:	February 15, 2018

Report prepared by:	Barbara B. Crawford, Planner
Reviewed by:	Terry Barton, Urban Planning Manager
Approved for Inclusion:	Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development and Development Variance Permit
 Attachment A - Development Engineering Services Memos
 Attachment B – Applicant Rationale Letter
 Schedule A – Site Plan and Floor Plan
 Schedule B – Conceptual Elevations and Street Rendering
 Schedule C – Signage Plan
 Schedule D – Landscape Plan

CITY OF KELOWNA

MEMORANDUM

Date: December 12, 2017
File No.: DP17-0267

To: Community Planning (BC)

From: Development Engineering Manager (JK)

Subject: 730-760 McCurdy Road _ *REVISED* Commercial Building

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Aaron Sangster.

1. Domestic Water and Fire Protection

- (a) This development is within the service area of the Black Mountain Irrigation District (BMID). The developer is required to make satisfactory arrangements with the BMID for these items. All charges for service connection and upgrading costs are to be paid directly to the BMID.

2. Sanitary Sewer

- (a) The existing lot is serviced with 200mm diameter sanitary service. The developer's consulting mechanical engineer will determine the requirements of this proposed development and establish the required size and preferred location of the new service. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal of all existing service and the installation of a new larger service if necessary.

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems.

4. Road Dedication and Subdivision

- (a) *The ultimate width of McCurdy Road between Hollywood Road and Hwy 97 is established as a 4 lane arterial roadway, complete with a 30.0m right of way (R.O.W). The R.O.W. in the front of the subject property is deficient by approximately 5.0m. It is recommended that an additional 5.0m road reserve be register for future sale to the City of Kelowna.*
- (b) Grant Statutory Rights of Way if required for utility services.

- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

5. Electric Power and Telecommunication Services

- (a) All proposed distribution and service connections are to be installed underground.
- (b) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- (c) Re-locate existing poles and utilities, where necessary. Remove aerial trespass (es).

6. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the city engineering department for review and marked "issued for construction" by the City Engineer before construction may begin.

7. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

8. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, Identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.

- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

9. Development Permit and Site Related Issues

Access and Manoeuvrability

- (a) Access to the site will be permitted from the McCurdy Road only.



James Kay P. Eng.
Development Engineering Manager

AS

CITY OF KELOWNA
MEMORANDUM

ATTACHMENT A	
This forms part of application # DP17-0267 and DVP17-0268	
Planner Initials	BC
 City of Kelowna COMMUNITY PLANNING	

Date: December 19, 2017
File No.: DVP-0268
To: Urban Planning (BC)
From: Development Engineer Manager (JM)
Subject: 730 McCurdy Rd., Lot 63 Plan 426, Sect. 27, TS 27, ODYD Side yard variance

The Development Engineering Branch comments and requirements regarding this application for a Development Variance Permit are as follows:

1. General.

The requested variance to reduce the side yard setback from 4.5 m. to 0.0 m. does not compromise any Municipal infrastructure or services.



James Kay, P. Eng.
Development Engineering Manager

agm

November 23, 2017

City of Kelowna
Development Services
1435 Water Street,
Kelowna, BC
V1Y 1J4

Attention: Community Planning

**RE: Development Permit with Variance Application
Proposed Development at
730 McCurdy Road, Kelowna, BC**

Please find attached our Development Permit with Variance Application for the referenced property. This proposed project was the subject of prior Development Permits DP14-0130 and DVP14-0131 that never followed through into production due to market conditions. Enclosed are the following documents:

1. Our cheque covering the application fees, in the amount of \$3,050.00.
2. Development Application Form with Complete Application Checklist.
3. State of Title, with covenants.
4. Owner's letter of authorization of agent.
5. Zoning analysis table.
6. Site Profile Waiver.
7. Photographs of the site and surrounding context. (10 No)
8. Sustainability Checklist.
9. Letter on purpose, variance and the project.
10. 2 sets of full size (24" x 36") drawings.
11. 2 sets of 8.5 x 11 size drawings.
12. 1 digital file of drawings on CD.
13. Landscape cost estimate.
14. 1 - 8½" x 11" Colour Streetscape drawing by Krahn dated Nov.21, 2017.

Drawing Sets include:

- A4.0 Colour Elevations by Krahn dated Nov.21, 2017.
- A2.0 Site Plan by Krahn dated Nov.21, 2017.
- A3.0 Floor Plan by Krahn dated Nov.21, 2017.
- A4.0 Elevations by Krahn dated Nov.21, 2017.
- Concept Landscape Plan by CTQ (Colour) dated Nov.21, 2017.



Development w/ Variance Permit Application
Proposed Development
730 McCurdy Road, Kelowna, BC
November 23, 2017

We have included a cheque covering fees as if this were a full and totally new development permit application, however, as the application is identical to the former approved DP & DVP and the neighbouring property has reached third reading with its rezoning, we ask if there is an opportunity to consider reduction of the fees and possibly consideration of the setback variance at a staff level based on Council's prior approval?

The enclosed provides a complete application. Should you have any questions please contact me at 250-763-6789.

Yours truly,
Argus Properties Ltd.

A handwritten signature in blue ink that reads "P Downward". The signature is stylized with a large "P" and a long horizontal stroke.

Peter Downward
VP Construction

Enclosures

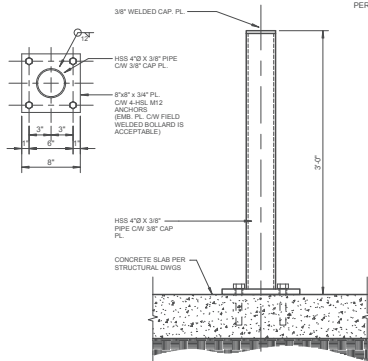
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DP17-0267 and DVP17-0268

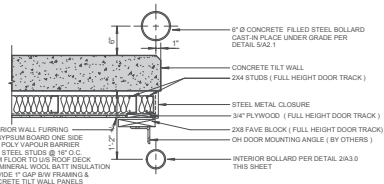


City of Kelowna
COMMUNITY PLANNING

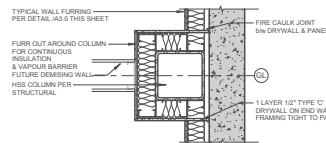
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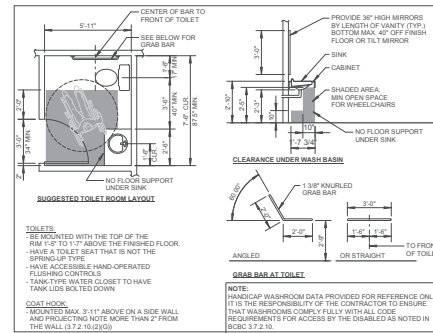
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SCALE: 1" = 1'-0"



SCALE: 1" = 1'-0"



SCALE: 1/4" = 1'-0"



ABBOTSFORD OFFICE
400 - 34077 GLADYS AVENUE ABBOTSFORD B.C. V2S 2E6
T: 604.853.8831 www.kashn.com

EDMONTON OFFICE
1009 - 9117 JASPER AVENUE EDMONTON AB. T5J 1W8
T: 780.758.2002 www.kashn.com

VANCOUVER OFFICE
110 - 2920 VERTICAL WAY VANCOUVER B.C. V5M 0C4
T: 604.294.0952 www.kashn.com



NO.	DATE	YARD	DESCRIPTION
1	2017/11/21		ISSUED FOR DEV. PERMIT
2	2018/01/17		REVISED FOR BUILDING PERMIT
3	2018/03/29		ISSUED FOR BUILDING PERMIT
4	2018/07/04		ISSUED FOR DEV. PERMIT
5	2018/07/04		ISSUED FOR DEV. PERMIT
6	2018/07/04		ISSUED FOR DEV. PERMIT
7	2018/07/04		ISSUED FOR DEV. PERMIT
8	2018/07/04		ISSUED FOR DEV. PERMIT
9	2018/07/04		ISSUED FOR DEV. PERMIT
10	2018/07/04		ISSUED FOR DEV. PERMIT
11	2018/07/04		ISSUED FOR DEV. PERMIT
12	2018/07/04		ISSUED FOR DEV. PERMIT
13	2018/07/04		ISSUED FOR DEV. PERMIT
14	2018/07/04		ISSUED FOR DEV. PERMIT
15	2018/07/04		ISSUED FOR DEV. PERMIT
16	2018/07/04		ISSUED FOR DEV. PERMIT
17	2018/07/04		ISSUED FOR DEV. PERMIT
18	2018/07/04		ISSUED FOR DEV. PERMIT
19	2018/07/04		ISSUED FOR DEV. PERMIT
20	2018/07/04		ISSUED FOR DEV. PERMIT

ISSUES AND REVISIONS

SEAL

larry podhora / architect
1102 BURNHAMMAN WAY, NORTH BARNOR, BC, V6L 5C2
T: 778.235.0248

PROJECT NAME

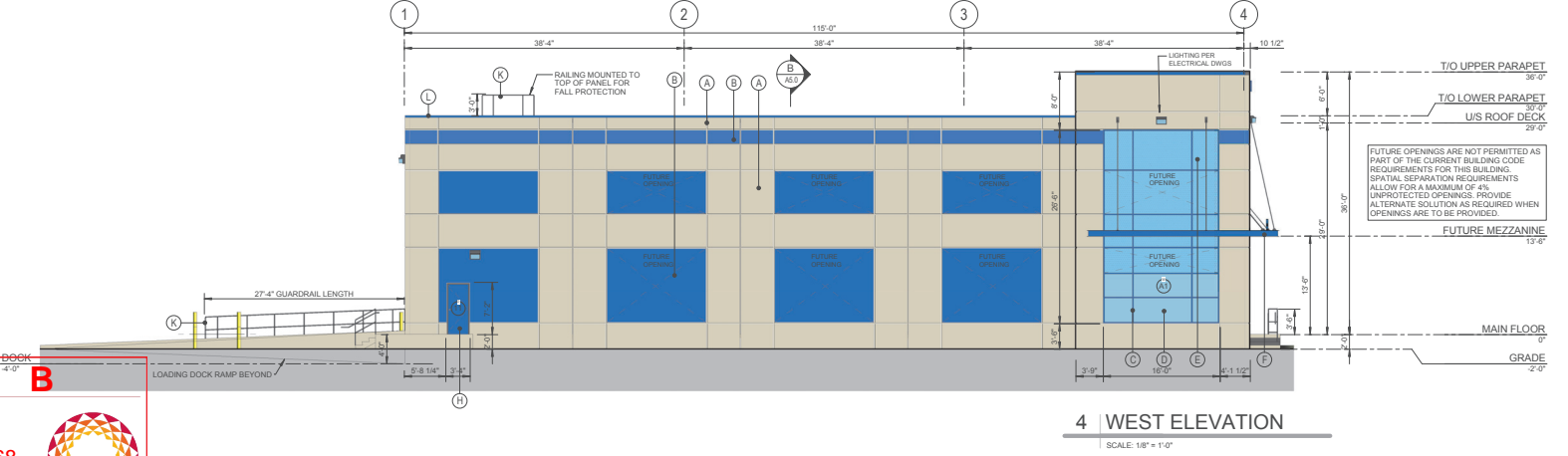
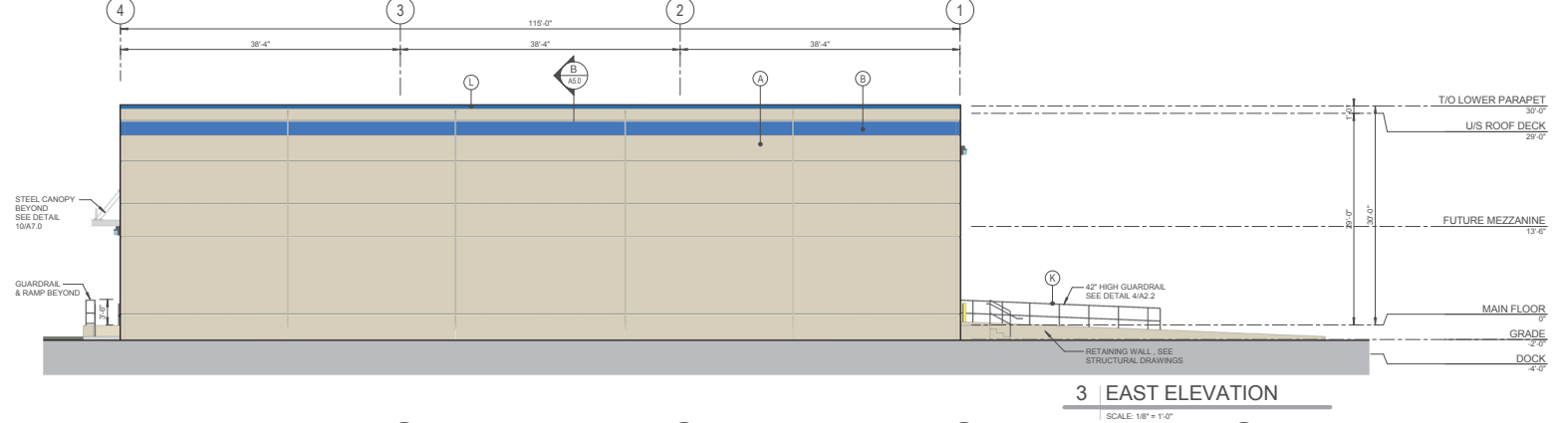
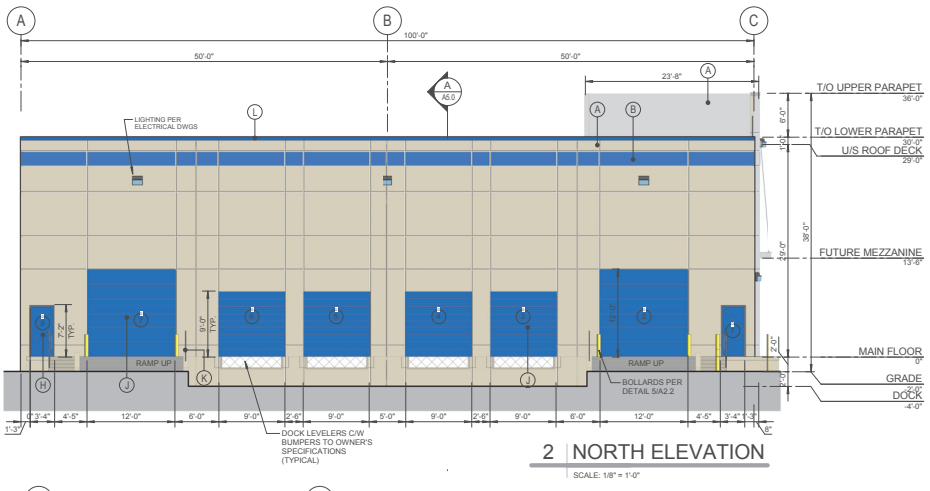
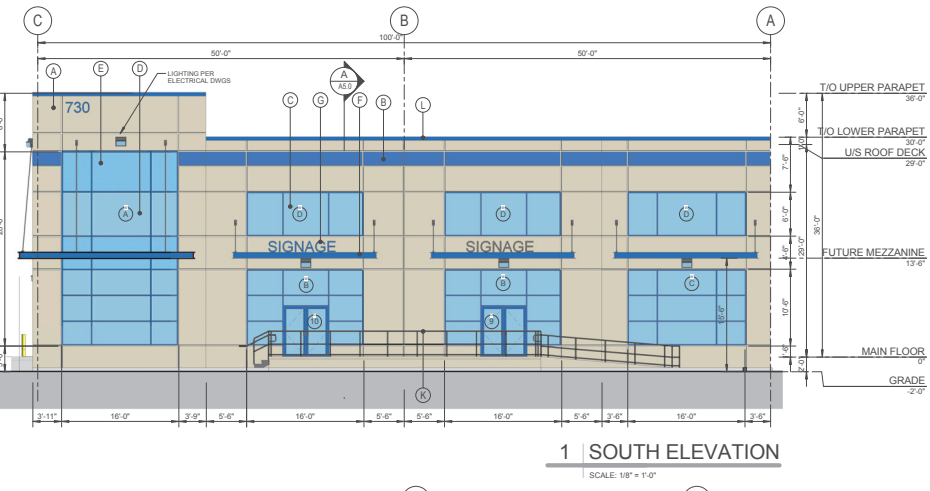
**McCURDY ROAD
SERVICE
COMMERCIAL**

PROJECT ADDRESS
730 McCURDY ROAD, KELOWNA, BC

DRAWING TITLE
ELEVATIONS

SCALE: As indicated
DRAWN: NABISSW/H
CHECKED: DC
PROJECT NO: A74261
DRAWING NO: A4.0

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



FINISH SCHEDULE

A	CONCRETE TILT PANEL - COLOUR C1
B	CONCRETE TILT PANEL - COLOUR C2
C	PRE FINISHED EXTRUDED ALUMINUM STORE FRONT - COLOUR C2
D	GLAZING - VISION - TINTED BLUE
E	GLAZING - SPANDREL - TINTED BLUE
F	STEEL CANOPY - PAINTED - COLOUR C2
G	SIGNAGE BY TENANT
H	STEEL MANDOR - PAINTED - COLOUR C2
J	OVERHEAD DOOR - PAINTED - COLOUR C2
K	STEEL RAILING - PAINTED - COLOUR C2
L	METAL FLASHING - PAINTED - COLOUR C2

COLOUR SCHEDULE

C1	COLOUR TO MATCH EXISTING BUILDINGS (CLOVERDALE PAINT FORMULA B-43 C-2) 1-38 Kx-3y D-2
C2	COLOUR TO MATCH EXISTING BUILDINGS (2577 Ford Blue 7065401)

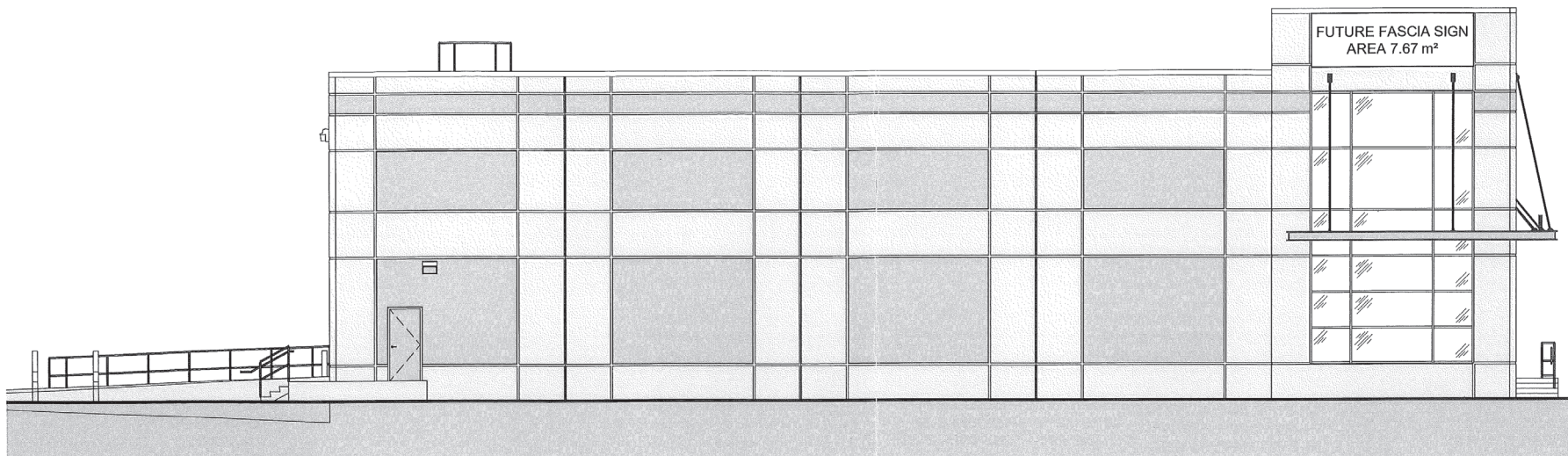
NOTE: GLAZING COLOUR TO MATCH EXISTING BUILDINGS

SCHEDULE

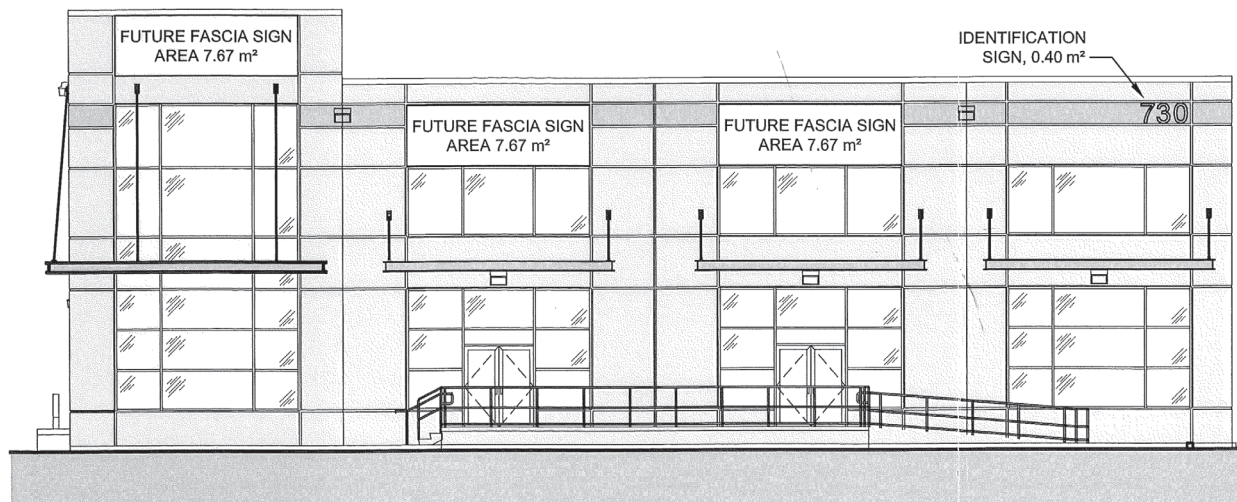
This forms part of application
DP17-0267 and DVP17-0268

City of Kelowna
COMMUNITY PLANNING

Planner Initials **BC**



WEST ELEVATION



SOUTH ELEVATION

SIGN STANDARDS

IDENTIFICATION SIGNS ALLOWED	2
IDENTIFICATION SIGNS PROPOSED	2

ADDRESS IDENTIFICATION SIGN WILL BE BLUE
POWDER-COATED PINNED ALUMINUM NUMBERS

FASCIA SIGNS ALLOWED (2 BUSINESSES)	4
FASCIA SIGNS PROPOSED	4

FASCIA SIGN AREA ALLOWED, PER SIGN	7.67 m²
FASCIA SIGN AREA PROPOSED, PER SIGN	7.67 m²

PER SIGN BYLAW NO. 8235 SECTION 6.1, 2 SIGNS PER
BUSINESS, MAX 1.0 m² SIGN AREA PER METER BUILDING
FRONTAGE = 1.0 m² x 30.69 m = 30.69m² / 4 SIGNS = 7.67 m²
MAX PER SIGN, UP TO 20% OF WALL AREA = 310.5 m² x 0.20
= 62.1 m² / 3 SIGNS (SOUTH FACE) = 20.7 m² MAX PER SIGN

FASCIA SIGNS WILL BE CONTOUR-CUT HIGH-DENSITY
FOAM, GEMINI FORMED PLASTIC, DIGITAL-CUT VINYL OR
ILLUMINATED OR NON-ILLUMINATED CHANNEL SIGNS,
CONSISTING OF LETTERS AND CORPORATE LOGOS.



PROJECT:

DVP17-0268
730 McCURDY ROAD

DRAWING:

SIGN PLAN

DATE:

FEB.08/18

INIT.

CRM

SCHEDULE C

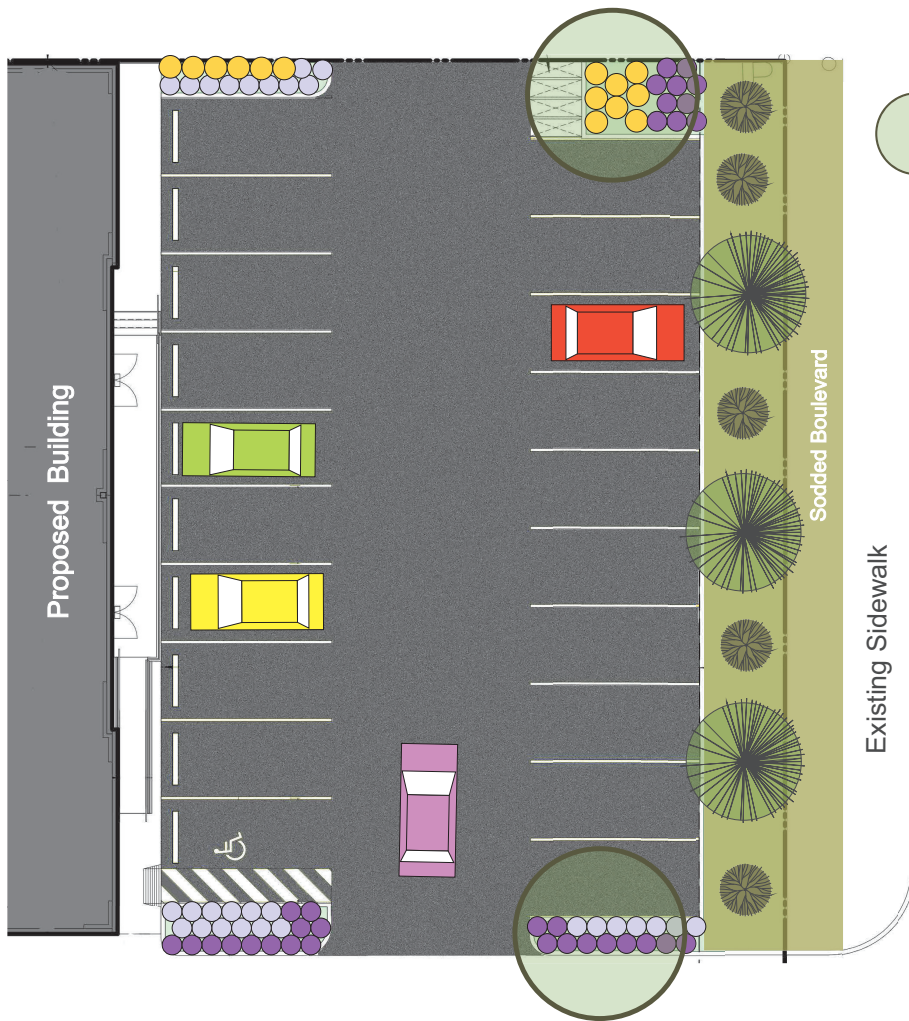
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DP17-0267 and DVP17-0268

Planner
Initials

BC

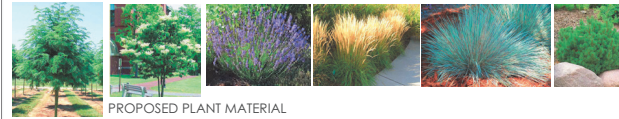


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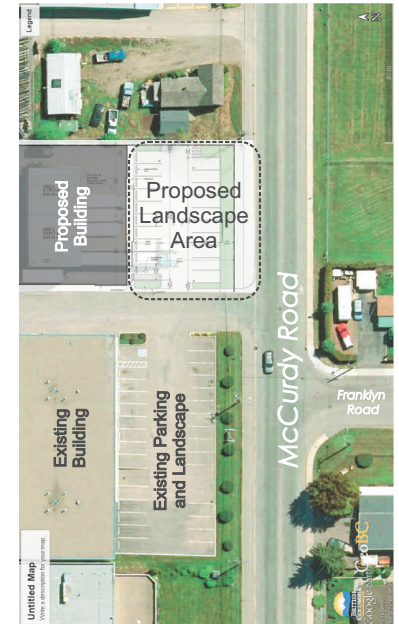


Proposed Plant List

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
	2	Gleditsia tricanthos 'skyline'	Skyline Honeylocust	75 mm cal	
	3	Syringa reticulata	Japanese Tree Lilac	50 mm cal	
	32	Lavandula angustifolia	Munstead English Lavender	No 2 pot	
	14	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	No 2 pot	
	29	Helictotrichon sempervirens	Blue Oat Grass	No 2 pot	
	5	Pinus mugo	Mugo pine	No 5 pot	

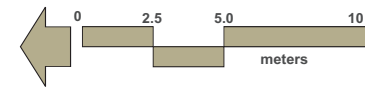


- Notes**
- The illustrated landscape plan is conceptual only, not for construction.
 - All plants, material and planting practices to conform to the Canada Landscape Standard - Current Edition
 - Contractor to provide a warranty and maintenance period of 1 year on all plants and materials. Plants and materials that fail before end of the warranty period shall be replaced by the contractor.
 - All planting areas to receive 450mm of topsoil
 - Prior to delivery to site, a representative sample and test results of topsoil should be made available to the consultant for approval.
 - No plant species substitution will be accepted without the written consent of the consultant.
 - All planting beds to receive 50 mm depth of Ogo - Grow mulch.
 - Plant material selections are conceptual only. Final planting selections may vary depending on availability.
 - All planting beds and lawn areas to be irrigated.



Existing Streetscape

730 McCURDY ROAD CONCEPTUAL LANDSCAPE PLAN



NOV.21.2017

CTO

ENGINEERING PLANNING URBAN DESIGN

SCHEDULE

This forms part of application
DP17-0267 and DVP17-0268

Planner
Initials

BC

City of
Kelowna
COMMUNITY PLANNING

Development Permit DP17-0267 & Development Variance Permit DVP17-0268



This permit relates to land in the City of Kelowna municipally known as

730 – 760 McCurdy Road, Kelowna, BC

and legally known as

Lot 63, DL 143, ODYD Plan 426, Except Plans 15819 and A12969

and permits the land to be used for the following development:

1 storey general industrial use

and permits the land to be used for the following development:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "D";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a reputable Landscape Architect;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted, as shown in Schedule "A":

Section 15.2.5(e): I2 – General Industrial Development Regulations

To vary the required minimum side yard setback for an industrial building from 4.5 m permitted to 0.0 m proposed.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: **TBD**

Decision By: CITY COUNCIL OR UP

Issued Date: **TBD**

Development Permit Area: Comprehensive Development Permit

This permit will not be valid if development has not commenced by XXXXXX.

Existing Zone: I2 – General Industrial

Future Land Use Designation: IND - Industrial

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Midwest Venture Ltd

Applicant: Peter Downward

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
- b) The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "D";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a reputable Landscape Architect

This Development Permit is valid for two (2) years from the date of XXXXXXXX approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$15,843.75 OR
- b) An Irrevocable Letter of Credit in the amount of \$15,843.75

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

REPORT TO COUNCIL



Date: April 10, 2018

RIM No. 0940-50

To: City Manager

From: Community Planning Department (BBC)

Application: DVP17-0276 **Owner:** Campion Road Management et al

Address: 170 – 180 Campion Street **Applicant:** Scott Andrew Wetherill

Subject: Development Variance Permit Application

Existing OCP Designation: IND - Industrial

Existing Zone: I2 – General Industrial

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit DVP17-0276 for Lot 2, Section 34, Township 26, ODYD, Plan EPP12919 located at 170 – 180 Campion Street, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted, as shown in Schedule "A":

Section 15.2.5(d): I2 – General Industrial Development Regulations

To vary the required minimum front yard setback for an industrial building from 7.5 m permitted to 3.0 m proposed.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider a variance request to alter the required minimum front yard setback from 7.5 m required to 3.0 m proposed to facilitate the development of a new industrial building on the subject property.

3.0 Community Planning

Community Planning Staff is supportive of the requested variance to reduce the front yard setback from 7.5 m required to 3.0 m proposed on the subject property (Schedule A). The Official Community Plan (OCP) has a Future Land Use of IND - Industrial for the subject parcel and adjacent parcels along Campion Street. Consideration has been given to the façade on Campion Street to ensure appropriate signage, lighting, and scale on the subject property (Schedule B). The building design is complemented by a 3.0 m wide landscape area providing a buffer and transition between the proposed new building and Campion Street. (Schedule C). The landscape plan includes three deciduous trees along the frontage of the building.

A front yard setback variance is being requested in order for the applicant to provide a viable facility for its tenants. The proposed use is appropriate for this site location. The requested variance will not compromise any municipal infrastructure or services, and will not negatively impact the adjacent parcels.

To fulfill the requirements of Council Policy No. 367, the applicant submitted a Neighbour Consultation Summary Form on January 4, 2018, and a revised form submitted on January 15, 2018, outlining that neighbours within 50 m of the subject property were notified.

4.0 Proposal

4.1 Background

The current tenant of the subject property has outgrown the existing administrative space, and is proposing a new two-storey administrative building to be constructed at the front of the property (Attachment B). The current administrative building is located near the rear of the subject property, resulting in pedestrian and heavy equipment interaction safety issues. Additionally, currently waste bins and garbage trucks are parked along the front of the property, visible from Campion Street. Constructing the new administrative building at the front of the subject property would resolve the pedestrian-equipment conflict, as well create space along the rear of the new building for storing waste bins and garbage truck, away from property frontage.

4.2 Project Description

There are two existing industrial buildings on the subject property. The proposal is to add a third 188.7 m² building to be located 15.85 m east of an existing building along the southern property line (Attachment A). The use on the subject property is a waste management operation, which fits into the General Industrial use category.

The building design for the front façade facing Campion Street, as well as the northern (main entrance) and western façades are designed with large windows, well defined entrance to the unit, and a similar style and colour pallet to the other buildings currently located on the subject property (Schedule B). Parking stalls are provided at rear of the proposed new building, avoiding any potential traffic or safety conflicts. There are eight existing bicycle stalls on the property.

The subject property is not located within a mandatory development permit area, therefore if the variance is approved, the building would proceed straight to a Building Permit application.

4.3 Site Context

The subject property is located approximately 170 m south of Sexsmith Road and is accessed from Campion Street.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	I2 – General Industrial	General Industrial – Farm Equipment Sales & Servicing; Auto Repairs; Towing
East	I2 – General Industrial	Campion Street General Industrial – Warehouse & Storage; Construction
South	I2 – General Industrial	General Industrial – Marine Boats
West	A1 - Agriculture	Agriculture

Subject Property Map: 170 – 180 Campion Street



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	I ₂ ZONE REQUIREMENTS	PROPOSAL
Existing Lot/Subdivision Regulations		
Minimum Lot Area	4,000 m ²	7,260 m ²
Minimum Lot Width	40.0 m	47.11 m
Minimum Lot Depth	35.0 m	169.85 m
Site Coverage	60%	34.3%
Development Regulations		
Floor Area Ratio	1.5	0.3
Height	14.0 m	8.33 m
Front Yard	7.5 m	3.0 m ❶
Side Yard (south)	0.0 m	1.52 m
Side Yard (north)	0.0 m	20.24 m
Rear Yard	6.0 m	154.31 m
Other Regulations		
Minimum Parking Requirements	4.6 stalls per floor (new building) / 31.5 stalls (site total)	5 stalls per floor (new building) / 33 stalls (site total)
Class II Bicycle Parking	7.4	8 existing
Loading Space	2 spaces	2 spaces
❶ Indicates a requested variance to the front yard setback from 7.5 m required to 3.0 m proposed		

5.0 **Current Development Policies**5.1 Kelowna Official Community Plan (OCP)**Development Process**

Industrial Land Use.¹ Focus Industrial development to areas suitable for Industrial use.

Industrial Land Use Intensification.² Encourage more intensive industrial use of currently under-utilized industrial sites during site redevelopment or by permitting lot subdivision where new lots can meet the minimum lot size requirements of the Zoning Bylaw.

6.0 **Technical Comments**6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s).
- A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - i. Any alternative solution must be accepted by the Chief Building Inspector prior to the release of the Building Permit
 - ii. Location, Heights, Colors of mechanical systems and the required screening are to be determined at time of DP

¹ City of Kelowna Official Community Plan, Objective 5.28 (Development Process Chapter)

² City of Kelowna Official Community Plan, Policy 5.29.1 (Development Process Chapter)

- iii. Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. Minimum building elevations are required to be established prior to the release of the Development Permit. If a soil removal or deposit permit is required, this must be provided at time of Development Permit application.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

6.2 Development Engineering Department

Refer to Attachment A.

6.3 Fire Department

- Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required.
- Fire Department access is to be met as per BCBC 3.2.5.

6.4 Irrigation District

- We haven't seen or verified any requirements that may be required with any new structure.
- We have no concerns with the DVP, other than to point out that there is a private hydrant and lead from Campion Street, that will have to be decommissioned or relocated with new development.

7.0 **Application Chronology**

Date of Application Received: December 7, 2017
 Date Public Consultation Completed: January 4, 2018, revised form submitted on January 15, 2018.
 Supplemental Drawings Received: February 21, 2018

Report prepared by: Barbara B. Crawford, Planner
Reviewed by: Terry Barton, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development and Development Variance Permit
 Attachment A - Development Engineering Services Memos
 Attachment B – Applicant Rationale Letter
 Schedule A – Site Plan
 Schedule B – Conceptual Elevations and Floor Plan
 Schedule C – Landscape Plan

CITY OF KELOWNA
MEMORANDUM

Date: December 12, 2017
File No.: DVP17-0276
To: Suburban and Rural Planning (BC)
From: Development Engineer Manager (JK)
Subject: 170-180 Campion St Lot 2 Plan EEP12919

The Development Engineering comments and requirements regarding this Development Variance Permit are as follows: To vary front yard setback to 3.0m.

- a) This Development Variance Permit does not compromise any Municipal Infrastructure.



James Kay, P.Eng.
Development Engineering Manager
RO

November 22, 2017

ATTN: SERGIO SARTORI, DEVELOPMENT ENGINEERING TECHNOLOGIST
CITY OF KELOWNA

**SUPPLEMENTAL LETTER OF RATIONALE SUBMITTED WITH THE
DEVELOPMENT VARIANCE PERMIT APPLICATION**

Project: proposed new office building
Address: 170-180 Campion Street, Kelowna
Designer: Cornerstone Contract Services

Background:

Waste Connections of Canada Inc. is the current tenant of this property and they have outgrown the existing administration space so it is proposed that a new two-storey administration building be constructed at the front of the property. The location of the current administration building is near the rear of the property and pedestrian traffic have to negotiate around the garbage trucks coming and going from the property. This poses a safety hazard to the staff and visitors that need to get to the administration building from the front gates.

By locating the new administration building at the front of the property it solves two issues. First issue solved is the foot traffic to the new administration building will not be in conflict with the truck traffic that uses the weigh scales and the west building. Visitors and administration staff can either park right behind the new administration building or on the street and walk directly to the front entrance of the new administration building without having to travel further into the property.

The second issue resolved is the storage of bins and trucks in front of the maintenance building. The existing administration building will be demolished and the existing parking stalls and dumpsters will be arranged so that garbage trucks and bins can be stored in this area rather than out near the street where this area is currently an eyesore.

Variance description:

In order to provide the required square footage for the administration staff the building needs to be a minimum of 2,000 sq ft. This size of building requires up to ten parking stalls and most of the required parking can be located directly to the west where it is out of the way of the travel paths of the trucks to and from the warehouse building. In order to maintain the building size and parking it is proposed that a variance be granted to situate the new office building within the front yard setback where normally parking stalls would be and locate the parking behind the new building. Locating the building at 3.0 metres from front property line provides enough room between the maintenance building and the new office building to provide eight parking stalls as well as leaves room for access to the OH doors on the east wall of the maintenance building.

Benefits:

Parking would be located behind the new building and would be hidden from the street. Currently there is no landscaping along the front of this property only pavement, trucks and bins. A new landscaped area in front of the administration building will provide the green space that is lacking on this property and street.

Garbage trucks will no longer be able to park in front and would be parked between the existing buildings well away from the street view.

An attractive new building would hide the plain looking east façade of the maintenance building from the street view. The new administration building would house the majority of the staff on this site and locating them close to the street provides an increased level of safety should they ever need to evacuate the property in the event of a fire. In general, the goal of this new building is to eliminate the “industrial mess” that is currently front and centre on this property and maximize the safety of the staff and visitors by not forcing them to walk through a high traffic area to the rear of the property. This building will also use a combination of metal wall cladding and stucco finishes to blend in with the colours and materials of the surrounding development that consists of pre-engineered steel buildings and wood framed structures.

I trust this letter and the drawings provide enough information to allow the planning department to realize this proposed addition to the property would only enhance the site and the neighbourhood.

Best regards,

Scott Wetherill, AScT
Cornerstone Contract Services
3422 Camelback Drive, Kelowna, BC
Office: 250-491-4090 Mobile: 250-878-0455

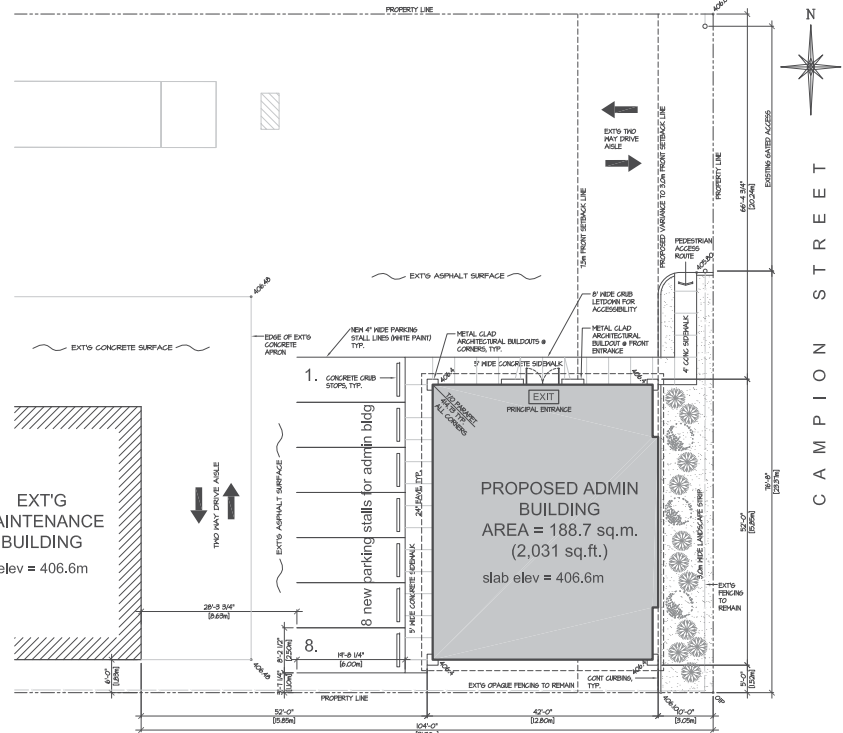
SCHEDULE A

This forms part of application
DVP17-0276

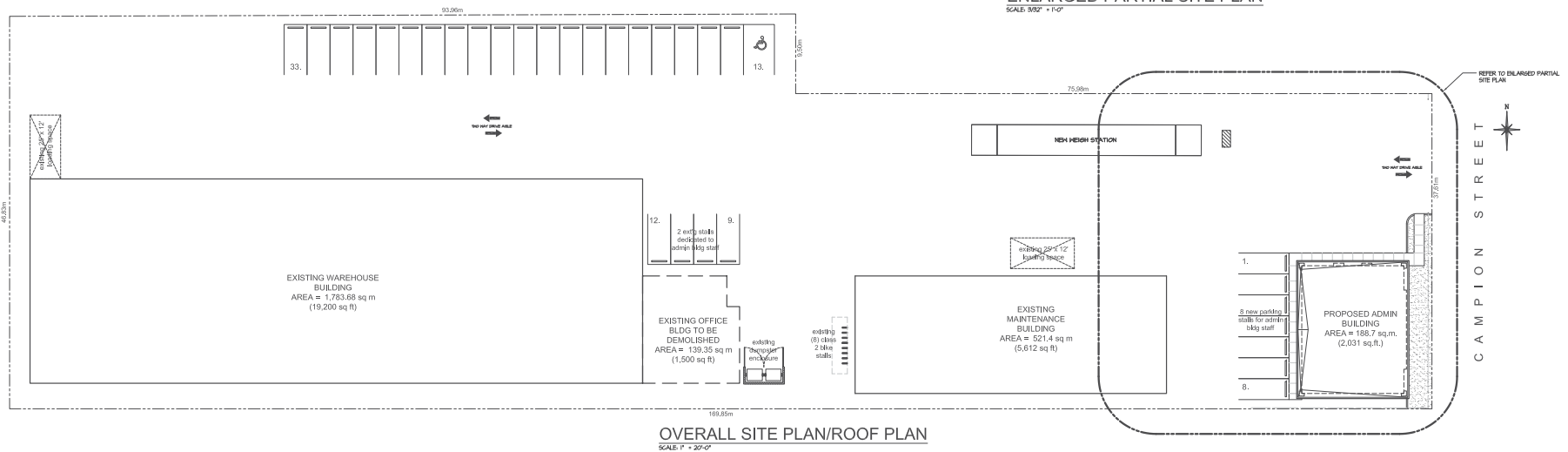


Planner
Initials BC

PROJECT DATA			
CIVIC ADDRESS:	170-180 CAMPION STREET, KELOWNA BC		
LEGAL DESCRIPTION:	LOT 2, PLAN BRP/288, 15-26, REG. 34, PID 028-118-851		
PROJECT NAME:	ASSOCIATED WASTE ADMIN BUILDINGS		
APPLICANT:	SCOTT HETHERILL, CELL No. 250-878-0485		
ZONING BYLAW REQUIREMENTS			
CURRENT ZONING:	I-2 GENERAL INDUSTRIAL		
LOT AREA =	1.194 ACRES (1280.06 sq m)		
INTENDED USAGE:	GENERAL INDUSTRIAL USE		
BUILDING AREAS			
EXISTING BUILDINGS:	GROSS FLOOR AREA (GFA) = 2,309.09 sq m		
NEW BUILDING:	GROSS FLOOR AREA (GFA) = 100.74 sq m		
TOTAL GFA OF EXIST'G & NEW:	= 2,418.78 sq m		
PROPERTY & STRUCTURES		PERMITTED/REQUESTED/PROPOSED/ACTUAL	
LOT WIDTH (m)	40.0m		47.1m
LOT DEPTH (m)	35.0m		37.6m
LOT AREA (sq.m)	1,400 sq.m.		1,780.06 sq.m.
FLOOR AREA RATIO (FAR)	1.5		0.9
LOT COVERAGE (max %)	60%		34.3%
BUILDING HEIGHT (max)	14.0m		8.35m
SETBACKS (m)			
FRONT (CAMPION STREET)	1.5m	3.0m	W/VARIANCE REQ'D
SIDE (SOUTH)	0.0m	15.0m	
SIDE (NORTH)	0.0m	20.24m	
REAR (WEST)	0.0m	194.3m	
PARKING			
	EXIST'G	PROVIDED	
EXIST'G WAREHOUSE BLDG:			
0.5 STALLS / 100 sqm GFA		8.1 STALLS	4 STALLS
1,783.68 sqm/100 x 0.5 =			
EXIST'G MAINTENANCE BLDG:			
2.0 STALLS / SERVICE BAY		12 STALLS	12 STALLS
6 BAYS x 2.0 =			
OFFICE SPACES: 2.5 STALLS / 100 sqm		14 STALLS	2 STALLS
56.76 sqm/100 x 2.5 =			
NEW ADMIN BLDG:			
2.5 STALLS / 100 sqm		5 STALLS	5 STALLS
GROSS FLOOR AREA (GFA) = 188.7 sqm			
SECOND FLOOR (GFA) = 188.7 sqm			
TOTAL PARKING OF EXIST'G & NEW =	3.5 STALLS	39 STALLS	
LOADING SPACES			
1 SPACE PER 100 sqm GFA		2 SPACES	2 SPACES
HANDICAP PARKING		0 SPACES	1 STALL
1 SPACE FOR 150 STALLS			
BICYCLE PARKING SPACES			
CLASS II = 0.3 PER 100 sqm GFA		14 STALLS	8 STALLS
LANDSCAPE BUFFERS (m)			
FRONT (EAST - CAMPION ST)	3.0m	3.0m	
SIDE (NORTH)	0.0m	0.0m	
SIDE (SOUTH)	0.0m	0.0m	
REAR (WEST)	0.0m	0.0m	
LANDSCAPE TREATMENT LEVELS			
FRONT (EAST - CAMPION ST)	2	2	
SIDE (NORTH)	3*	3*	
SIDE (SOUTH)	3*	3*	
REAR (WEST)	3*	3*	
* OR CONTINUOUS OPAQUE FENCING			



ENLARGED PARTIAL SITE PLAN
SCALE 3/32" = 1'-0"



OVERALL SITE PLAN/ROOF PLAN
SCALE 1" = 32'-0"

CORNERSTONE
CONTRACT SERVICES

PROJECT NAME:
PROPOSED OFFICE
BUILDING
170-180 CAMPION ST.
KELOWNA, BC

DRAWING TITLE:
SITE PLAN &
ZONING ANALYSIS

DRAWING NUMBER:
DP-1

PROJECT NO. - 2017-000

REVISION NO. DESCRIPTION BY DATE

REVIEW FOR DESCRIPTION BY DATE
1. DEVELOPMENT PERMIT NOV 24/17

NOTES:

SCHEDULE

C

This forms part of application

DVP17-0276

Planner
Initials

BC

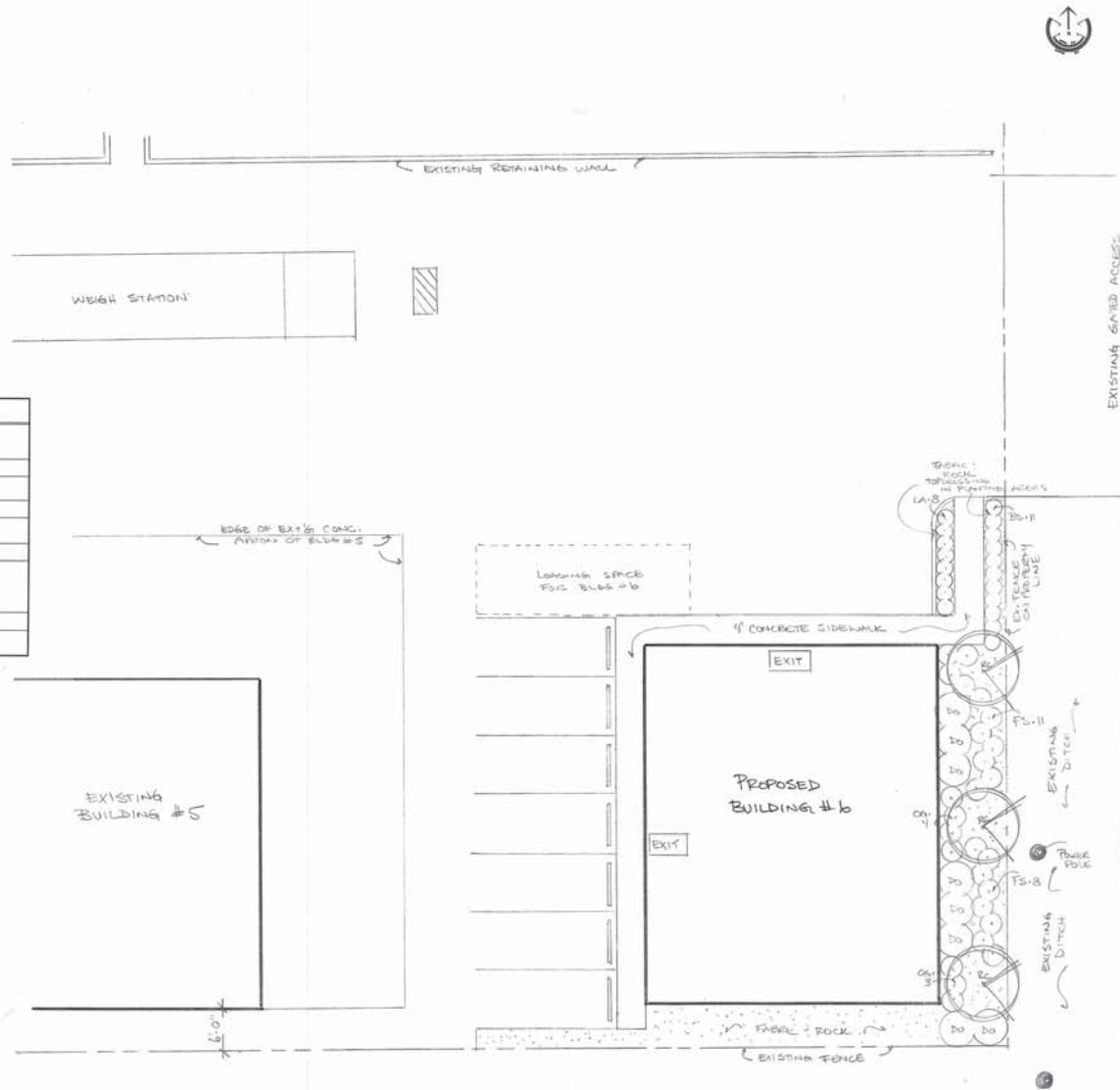
City of
Kelowna
COMMUNITY PLANNING



PLANT LIST

QTY	SIZE	MATURE SIZE	BOTANICAL NAME	COMMON NAME
GRASSES				
BS 11	#1 potted	1.5 m HT.	Andropogon gerardi	Big Bluestem
PERENNIALS				
LA 8	#1 potted	0.3 m HT.	Lavendula angustifolia 'Munstead'	Lavender 'Munstead'
SHRUBS				
DO 8	#2 potted	2 m HT	Forsythia ovata 'Northern Gold'	Forsythia 'Northern Gold'
OG 7	#2 potted	1.5 m HT	Mahonia aquifolium	Oregon Grape
FS 19	#2 potted	1.25 m HT	Rhus aromatica	Fragrant Sumac
DECIDUOUS TREES				
RC 3	5 cm caliper	6 m HT	Acer tataricum 'Rugged Charm'	Rugged Charm Maple

- GENERAL NOTES:**
- Plant materials and construction methods shall conform to minimum standards established in the most recent edition of the BC Landscape Standards, published by the BCMA.
 - Plant quantities to be supplied as per drawings. Plant key quantities have been provided for reference only - contractor to verify.
 - No extra cost will be allowed for discrepancies between the drawings and the actual site conditions unless reported in writing prior to commencement of work.
 - No work before any before space is right.
 - All planting beds to have approved mulch, landscape fabric, and edging as per specifications.
 - An automatic closed irrigation system shall be installed for all landscape areas as per specification.
 - Gravel base grading shall be completed only - final configuration to be determined on site depending on availability of on site fill material. Final form configuration will be as directed on site by Landscape Designer.
 - Trees to be installed - 2 calipers per deciduous tree, 1 caliper per conifer tree - install all planters with suitable flagging material. Stakes to remain for 2 years.
 - All cut must be obtained for a replacement supplier. Provide adequate protection of undisturbed areas against damage until soil has been taken over by owner.
 - Irrigation system must be designed with head to head coverage to be met.
 - Irrigation system shall be micro irrigation in all landscape areas with a separate system designated for vegetable gardens or annual containers. Configure irrigation zones as per hydro zones within the landscape.
 - Soil areas to have a minimum of 1" covered gravel base.
 - Planting bed areas to have an average of 12" covered and (divided) gravel base (3" for defined groundcover areas and 12" for mass planted shrub areas).
 - Planting bed areas to be top dressed with approved mulch at a 2" depth (for 1.5" depth in defined groundcover areas).
 - Owner is responsible for calling BC First call after hours utility line located (800-678-0888). The contractor shall verify the location of all utilities prior to construction.
 - Contractor is responsible to report all errors or omissions in landscape drawings to landscape designer prior to installation.
 - Where drawn dimensions and written specifications conflict written are to be assumed correct.



Sheet no.	L1		
Customer Name and Address	150 CAMPION ST. KELOWNA		
Scale	1/8" = 1'-0"	Designed By	BCMA
Drawn By	BCMA	Date	FEB 7, 2018
Landscape Plan			
This drawing, including design and concept is the property of Synergy Landscape Design Ltd. and may not be reproduced without permission.			
REVISIONS	DATE	DATE	DATE

Development Variance Permit DVP17-0276



This Permit relates to land in the City of Kelowna municipally known as

170 – 180 Campion Street, Kelowna, BC

and legally known as

Lot 2, Plan EPP12919, Section 34, TS26, LD 41

and permits the land to be used for the following development:

2 storey general industrial use

and permits the land to be used for the following development:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted, as shown in Schedule "A":

Section 15.2.5(d): I2 – General Industrial Development Regulations

To vary the required minimum front yard setback for an industrial building from 7.5 m permitted to 3.0 m proposed.

AND FURTHER THAT this Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision:

TBD

Decision By:

CITY COUNCIL

Issued Date:

TBD

This permit will not be valid if development has not commenced by XXXXXX.

Existing Zone: I2 – General Industrial

Future Land Use Designation: IND - Industrial

This is NOT a Building Permit.

In addition to your Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This Permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Campion Road Management

Applicant: Scott Andrew Wetherill

Ryan Smith
Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
- b) The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping.

This Permit is valid for two (2) years from the date of XXXXXXXX approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of **\$10,132.63** OR
- b) An Irrevocable Letter of Credit in the amount of **\$10,132.63**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**