

City of Kelowna

Regular Council Meeting

AGENDA



Tuesday, March 6, 2018
6:00 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. **Call to Order**
2. **Reaffirmation of Oath of Office**
The Oath of Office will be read by Mayor Basran.
3. **Confirmation of Minutes** 1 - 19
Public Hearing - February 20, 2018
Regular Meeting - February 20, 2018
4. **Bylaws Considered at Public Hearing**
 - 4.1 **TA16-0002 (BL11552) - General Housekeeping Amendments** 20 - 23
To give Bylaw No. 11552 second and third readings in order to make house keeping amendments to ensure Zoning bylaw remains consistent with City Policies, keeping up to date zoning language, correcting inconsistencies and adapting to changes in the community.
 - 4.2 **Tower Ranch Drive OCP17-0002 (BL11488) - Parkbridge Lifestyle Communities Inc** 24 - 32
Requires a majority of all Council (5).
To give Bylaw No. 11488 second and third readings and be adopted in order to change the future land use designations on the subject properties indicated in Schedule A and Map A.
 - 4.3 **Tower Ranch Drive Z17-0007 (BL11489) - Parkbridge Lifestyle Communities** 33 - 37
To give Bylaw No. 11489 second and third readings and be adopted in order to rezone the subject properties as indicated on Schedule B and Map B..

4.4	Richter St 1304 & 1308, Z17-0104 (BL11553) - Stewart and Danielle Turcotte and Pyper Geddes	38 - 38
	To give Bylaw No. 11553 second and third readings in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RM5 - Medium Density Multiple Housing zone.	
4.5	Neptune Rd 1235 & 1260, OCP17-0014 (BL11558) - Davara Holdings Ltd	39 - 39
	Requires a majority of all Council (5). To give Bylaw No. 11558 second and third readings in order to change the future land use designation from the EDINST - Educational/Major Institutional designation to the S2RES - Single/Two Unit Residential designation.	
4.6	Neptune Rd 1235 & 1260, Z17-0053 (BL11559) - Davara Holdings Ltd	40 - 40
	To give Bylaw No. 11559 second and third readings in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RU4- Low Density Cluster Housin zone.	
4.7	Terai Ct 265, Z17-0111 (BL11560) - Marty and Denise Hoglin	41 - 41
	To give Bylaw No. 11560 second and third readings in order to rezone the subject property from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.	
4.8	Mayfair Rd 935, Z17-0076 (BL11561) - Singla Bros Holdings Ltd, South Okanagan Construction	42 - 42
	To give Bylaw No. 11561 second and third readings in order to rezone the subject property from the RU1 - Large Lot Housing zone to the RU6 - Two Dwelling Housing zone.	
5.	Notification of Meeting	
	The City Clerk will provide information as to how the following items on the Agenda were publicized.	
6.	Development Permit and Development Variance Permit Reports	
6.1	Kneller Rd 150, BL11199 (Z15-0041) - Kneller Holdings Ltd.	43 - 44
	To amend Bylaw No. 11199 at third reading and adopt in order to rezone the subject property to allow for a 78-unit multiple family residential project.	

6.2	Kneller Rd 150, DP15-0176 & DVP15-0177 - Okanagan Metis & Aboriginal Housing Society Inc	45 - 75
	<p>City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.</p> <p>To review the Form & Character Development Permit of a project known as 'Nissan Crossing' which consists of a 3 storey apartment building with ground floor units facing the streets and to consider one variance to the ratio of full and medium sized parking stalls.</p>	
6.3	KLO Rd 1083-1089, OCP17-0017 (BL11512) - Sole on KLO Developments Ltd.	76 - 76
	<p>Requires a majority of all Council (5).</p> <p>To adopt Bylaw No. 11512 in order to change the future land designation on the subject property from the MRM - Multiple Residential (Medium Density) designation to the MXR - Mixed use (Residential/Commercial designation).</p>	
6.4	KLO Rd 1083-1089, TA17-0011 (BL11513) - Section 14 - Commercial Zones	77 - 77
	<p>To adopt Bylaw No. 11513 in order to amend Section 14 - Commercial Zones of Zoning Bylaw No. 8000.</p>	
6.5	KLO Rd 1083-1089, Z17-0069 (BL11514) - Sole on KLO Developments Ltd.	78 - 78
	<p>To adopt Bylaw No. 11514 in order to rezone the subject property from the RM3 - Low Density Housing zone to the C4 - Urban Centre Commercial Zone.</p>	
6.6	KLO Rd 1083-1089, DP17-0169 & DVP17-0170 - Sole on KLO Developments Ltd	79 - 99
	<p>City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.</p> <p>To review the Form & Character Development Permit of a five storey building with four floors of residential and one commercial ground floor unit and to consider six associated variances.</p>	
6.7	Sheerwater Ct 180 20, DVP17-0195 - Marius Anton Scheepers and Sandra Cornelia Keel	100 - 108
	<p>City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.</p> <p>To vary the maximum height on the subject property to allow the development of a Single Family Dwelling.</p>	

6.8 Cadder Ave 889, DVP17-0217 - Jesse Kyle Aldridge

109 - 123

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider three variances to convert an existing accessory building to a carriage house.

6.9 Sands Ct 434, DVP18-0001 - Daniel Mark Sandberg and Jo-Ann Lyn Sandberg

124 - 137

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To vary the minimum rear yard on the subject property.

7. Reminders

8. Termination



City of Kelowna Public Hearing Minutes

Date: Tuesday, February 20, 2018
 Location: Council Chamber
 City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Gail Given, Charlie Hodge, Brad Sieben, Mohini Singh and Luke Stack

Members Absent Councillor Tracy Gray

Staff Present Deputy City Manager, Joe Creron; City Clerk, Stephen Fleming, Urban Planning Manager, Terry Barton; Divisional Director, Community Planning & Strategic Investments, Doug Gilchrist; Director, Strategic Investments, Derek Edstrom; Planner Specialist, Laura Bentley; Planner Specialist, Adam Cseke; Planner Trisa Atwood; Legislative Coordinator (Confidential), Arlene McClelland

(*Denotes partial attendance)

1. Call to Order

Mayor Basran called the Hearing to order at 6:01 p.m.

Mayor Basran advised that the purpose of the Hearing is to consider certain bylaws which, if adopted, will amend "Kelowna 2030 - Official Community Plan Bylaw No. 10500" and Zoning Bylaw No. 8000", and all submissions received, either in writing or verbally, will be taken into consideration when the proposed bylaws are presented for reading at the Regular Council Meeting which follows this Public Hearing.

2. Notification of Meeting

The City Clerk advised that Notice of this *Public Hearing* was advertised by being posted on the Notice Board at City Hall on Tuesday, February 7, 2018 and by being placed in the Kelowna Daily Courier issues on Friday February 9 and Wednesday, February 14 and by sending out or otherwise mailing 243 statutory notices to the owners and occupiers of surrounding properties on Tuesday, February 7, 2018.

The correspondence and/or petitions received in response to advertising for the applications on tonight's agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

3. Individual Bylaw Submissions

3.1 Eldorado Rd 485, Z17-0085 (BL11544) - Chris and Shanna Roworth

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letters of Opposition:

Peter & Suzanne Woodward –Eldorado Rd
Susan and Leigh Simpson –Knowles Rd

Letters in Support:

Mark Filatow –Eldorado Rd

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

Gallery:

Tom Edmonds, Eldorado Road

- In support of this application.
- Believes this development will be good for the neighbourhood.

There were no further comments

3.2 Knowles Rd 504, Z17-0095 (BL11545) - David and Jennifer Rolleston

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letters of Opposition/Concern:

Leigh & Susan Simpson – Knowles Rd

Letters in Support:

David Molinaro - Knowles Rd
Shane Gagner –Knowles Rd
Ian McAllister –Knowles Rd
Chad & Nadine Bannister –Knowles Rd
Bruce Maki –Walker Rd

Petitions (Support):

Dave Rolleston – Expert Inventory 7990 Lakeshore Rd (11 signatures)

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the Gallery came forward.

There were no further comments

3.3 Taylor Rd 255, Z17-0092 (BL11547) - 0725353 BC Ltd Inc.

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letters of Opposition:

Wanja Mugambi and Rebecca Walraven – Gaggin Rd
Jody Brooks – Gaggin Rd

Letters of Comment/Concern:

Fran Stewart –Taylor Rd
Abdelhalim Bendali and Fatima Benkaidali - Gaggin Rd
Darla McCarty –Taylor Rd
Fred Strong –Gaggin Rd

Letters in Support:

Beth and Hector Odiyar –Taylor Rd
Jasbir Khunkhun –Taylor Rd
Ashok Tyagi –Taylor Rd

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

Gallery:

Fred Strong, Gaggin Road

- Supportive of the development but would prefer 16 units rather than the 24 proposed units.
- Raised concerns with proposed tandem parking.
- Raised concerns regarding loss of privacy with proposed balconies on adjacent properties.
- Encouraged robust landscape screening.
- Responded to questions from Council.

Michael Walls, Taylor Road

- Agrees with the previous speaker's comments.
- Not opposed to this development and believes this sort of accommodation is needed.
- Inquired about proposed tenancy for this development.
- Raised safety concerns with lack of sidewalks in the neighbourhood and asked if sidewalks will be installed fronting this development.
- Raised concerns with on-street parking as a result of this development.

Mayor Basran:

- Advised that tenancy determination is not within Council's authority.
- Confirmed that sidewalks are part of this application.

Abdelhalim Bendali, Gaggin Road

- Raised concerns with the development increasing the already busy traffic and raised safety concerns for children walking.
- Raised major concern regarding the balconies and the intrusion of privacy on this property.
- Asked that privacy for his backyard be considered.
- Would prefer the building have two storeys as opposed to three.

Matt Johnston, Architecturally Distinct Solutions, Applicant Representative:

- Advised that tandem parking is part of the development plan.
- Will address and improve balcony screening and landscaping options to mitigate privacy concerns.
- Continuing to look at the site coverage in order to be able to put more parking on site.

There were no further comments

3.4 Barton St 4658, Z17-0115 (BL11549) - Jason and Vicki Dreger

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the Gallery came forward.

There were no further comments

3.5 Bath St 2630, Z17-0108 (BL11550) - Greencorp Ventures Inc.

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letters of Concern/Comment:

Tom Stow –Gore St
Carolyn Russo –Bath St
Harmony Bjarnason –Gore St

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Shane Worman, Applicant

- Confirmed that the bollards need to be relocated and had not requested for them to be removed.
- Responded to questions from Council.

Gallery:

Carolyn Russo, Bath Street

- Believes this development is too large for the site and not in-keeping with the character of the neighbourhood.
- Raised concern with increased on-street parking that this development will bring.
- Opposed to this application.

Colin Smith, Bath Street

- Raised concerns during neighbourhood consultation process that the application did not fit into the character of the neighbourhood; encouraged the developer to re-work the application.
- Believes the front yard setbacks that are being considered should remain consistent with the street pattern.
- Opposed to this application.

Shane Worman, Applicant

- Confirmed that the development does not exceed the size permitted in the zone.
- Believes the architectural style compliments the neighbourhood.

There were no further comments

3.6 Shanks Rd 4085 & 4133, TA18-0001 (BL11551)- Geen Family Holdings Ltd

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letters of Opposition/Concern:

Tania Cox –Hwy 97
 Norm and Tasha Melnichuk –Shanks Rd
 Mireille Beck –Highway 97
 Louise Norman –Highway 97 – Turtle Lodge
 Roxanne Pippolo –Highway 97
 Cam Manning — Turtle Lodge
 Lynn Lorenz –Hwy 97
 France Mailhot –Highway 97 Turtle Lodge
 Joyce K Adams –Highway 97
 Kenneth P. Cappos – Casorso Rd

Letters in Support:

Mary Jean Bennett – Eldorado Ranch Ltd 102-266 Lawrence Ave

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Dave and Laura Geen, Applicant

- Displayed a PowerPoint Presentation, re: Proposed TFWH 4085 & 4133 Shanks Road
- Fourth generation of farmers.
- Currently pack cherries at home and have outgrown that; expansion of cherries will require greater packing capacity.
- Proposing temporary farm worker housing for 140 seasonal staff for the 2018 operation.
- Seeking Council approval for only the dormitory.
- The location of the proposed development is in close proximity to potential staff including both Lake Country and Kelowna residents.
 - o Close proximity to UBCO offers another potential source of staff.
 - o Access to bus routes for both dorm residents and local staff.
- Displayed a photo showing the view of the Packing Facility from Highway 97.
 - o The right side of the facility features retail produce sales on the ground floor and the administrative office on the second floor.
- In addition to serving our farm's packing needs this development will provide both locals and tourists with access to farm fresh local fruit.
- Expected seasonal use of the Dorms:
 - o Full capacity during harvest in July and August and early September some years.
 - o Up to half capacity in the spring and fall for pruning and field crews.
 - o Only the northern dorm will be heated for use in spring and fall.
 - o The southern dorm will be for summer use only.
- Displayed a site plan of the dorm operation identifying:
 - o private fire service water tank location;
 - o school bus turnaround;
 - o kitchen and common facilities located at the center of the site which is most removed from neighbours;
 - o during harvest, staff will walk to and from work on the internal road;

- engineered septic beds are located to provide additional setback between Geen orchard and neighbor.
- Displayed a site plan of Shanks Road access and Highway 97 access with deceleration lane as well as the internal gate to prevent public access.
- Displayed a site plan identifying buffers:
 - 3.0 m buffer with water storage tank supplementing the buffer;
 - 3.0 m buffer along Shanks Road including a 1.0 soil berm;
 - 4.5 m buffer to be planted including a 3.0 m soil berm that is supplemented by the 14.0 m buffer of existing forest;
 - Existing forest will be retained on the steep sections between the benches. The vegetation and cliffs will make an excellent buffer between the dorms and the orchard;
 - 6.0 m buffer where there is no existing forest buffer.
- Will be required to rebuild, upgrade and pave 700 m of Shanks Road. This includes 200 m fronting our properties and 500 m to the city boundary.
- Buffer species along Shanks Road will be Lilacs and Tower Poplars.
- Current bylaws allow for 60 beds on a farm unit greater than 8 ha; our farm size is beyond what the bylaw was intended to accommodate.
- The buffer facing the south neighbor will be native species such as Sumac, Douglas fir and Ponderosa pine.
- The proposed dorm siting is outside of the ALR and on poor farmland. Also, buffered from farming activities and the packing facility. Extremely well buffered from our two immediate neighbours.
- Spoke to their track record of farming:
 - Presently have a 140 bed dormitory at Carrs Landing, a 100 bed dormitory at Okanagan Centre, a 90 bed dormitory in Coldstream and several smaller facilities.
 - Noted their experience in the design, maintenance and operation of these dorms.
 - Return rate of SAWP workers is 80%+.
 - Provide staff with weekly bus trips into town for groceries and other amenities.
- Responded to questions from Council.

Gallery:

Chelsea Ivarson, on behalf of Wendy Ivarson, Shanks Road

- Immediate neighbor to the north.
- Raised concerns with how this proposal will negatively impact their property value.
- Raised concerns with privacy and no fencing between properties.
- Raised concerns with temporary farm workers having easy access to their home, garage and vineyard.
- Raised concerns with increase in traffic on Shanks Road.
- Raised personal concerns with City snow clearing efforts and the impacts on their ability to get in and out of their driveway.
- Raised concerns with the quality of life they have enjoyed being negatively impacted.
- Questioned the bus route and bus access.
- Responded to questions from Council.

Norm Melnichuk, Shanks Road

- Questioned integrity of the Applicant's presentation.
- Raised concerns with the overall size of this application.
- Raised concerns in the way this development will negatively impact his property and views from his property.
- Raised concerns that the number of workers will be intrusive to his property and the immediate neighbourhood.
- Raised concerns with truck traffic impact on Shanks Road.
- Raised concerns that large trucks will use the internal road to Shanks Road.
- Believes that with this many workers he will lose his privacy during the peak summer months and that the enjoyment of his homestead will be taken away.
- Responded to questions from Council.

Resident (Chris), Shanks Road

- Long-time resident of the neighbourhood/
- This application will not increase the traffic too much.
- Not opposed to this application.

Brett Love, Highway 97

- Not opposed to the farming set up but raised concerns with traffic on Shanks Road.
- Raised concerns for children walking as Shanks Road is narrow without shoulders or sidewalks.
- Requested that it be put in writing that trucks are not to use Shanks Road.
- Recommended Shanks Road be completed with a turn-around for safe and easy access.

Doug Gillman, Turtle Lodge Highway 97

- Raised concerns with Highway 97 access location as access to his home is within 100 feet and believes it could be dangerous being so close together.
- Responded to questions from Council.

Dave and Laura Geen, Applicant

- Referenced previously displayed PowerPoint Presentation.
- The dorms will look like the photos that have been presented and will put in proper landscaping and buffering around the dorms.
- Confirmed that no semi-trailers will use Shanks Road.
- Shanks Road will be used by the applicant to drive school buses and pick-up trucks hauling trailers.
- Provided history of the bus stop location on Highway 97 and was also disappointed that it had been removed, however, it was removed due to safety reasons and was not the Applicant's idea.
- Responded to questions from Council.

There were no further comments

4. Termination

The Hearing was declared terminated at 8:03 p.m.

Mayor Basran

/acm

City Clerk



City of Kelowna Regular Council Meeting Minutes

Date: Tuesday, February 20, 2018
Location: Council Chamber
City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart*, Ryan Donn, Gail Given, Charlie Hodge, Brad Sieben, Mohini Singh and Luke Stack

Members Absent Councillor Tracy Gray

Staff Present Deputy City Manager, Joe Creron; City Clerk, Stephen Fleming, Urban Planning Manager, Terry Barton; Divisional Director, Community Planning & Strategic Investments, Doug Gilchrist; Director, Strategic Investments, Derek Edstrom*; Planner Specialist, Laura Bentley*; Planner Specialist, Adam Cseke; Legislative Coordinator (Confidential), Arlene McClelland

(*Denotes partial attendance)

1. Call to Order

Mayor Basran called the meeting to order at 8:19 p.m.

2. Reaffirmation of Oath of Office

The Oath of Office was read by Councillor Stack.

3. Confirmation of Minutes

Moved By Councillor Hodge/Seconded By Councillor Donn

R178/18/02/20 THAT the Minutes of the Public Hearing and Regular Meeting of February 6, 2018 be confirmed as circulated.

Carried

4. Bylaws Considered at Public Hearing

4.1 Eldorado Rd 485, BL11544 (Z17-0085) - Chris and Shanna Roworth

Moved By Councillor Hodge/Seconded By Councillor Given

R179/18/02/20 THAT Bylaw No. 11544 be read a second and third time and be adopted.

Carried

4.2 Knowles Rd 504, BL11545 (Z17-0095) - David and Jennifer Rolleston

Moved By Councillor Given/Seconded By Councillor Hodge

R180/18/02/20 THAT Bylaw No. 11545 be read a second and third time and be adopted.

Carried

4.3 Taylor Rd 255, BL11547 (Z17-0092) - 0725353 BC Ltd Inc.

Moved By Councillor Hodge/Seconded By Councillor Given

R181/18/02/20 THAT Bylaw No. 11547 be read a second and third time.

Carried

4.4 Barton St 4658, Z17-0115 (BL11549), Jason and Vicki Dreger

Moved By Councillor Stack/Seconded By Councillor DeHart

R182/18/02/20 THAT Bylaw No. 11549 be read a second and third time and be adopted.

Carried

4.5 Bath St 2630, Z17-0108 (BL11550) - Greencorp Ventures Inc.

Moved By Councillor Singh/Seconded By Councillor Sieben

R183/18/02/20 THAT Bylaw No. 11550 be read a second and third time.

Carried

4.6 Shanks Rd 4085 & 4133, TA18-0001 (BL11551) - Geen Family Holdings Ltd

Moved By Councillor Singh/Seconded By Councillor Sieben

R184/18/02/20 THAT Bylaw No. 11551 be read a second and third time.

Carried

5. Notification of Meeting

The City Clerk advised that Notice of Council's consideration of these Development Variance Permit Applications was given by sending out or otherwise mailing 384 statutory notices to the owners and occupiers of surrounding properties on Tuesday, February 7, 2018.

The correspondence and/or petitions received in response to advertising for the applications on tonight's Agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

6. Development Permit and Development Variance Permit Reports

6.1 Queensway Ave 289 DP17-0191 DVP17-0192 - Westcorp Projects

Councilor DeHart declared a conflict of interest as her employer is a major Hotel chain with conference capacity and departed the meeting at 8:44 p.m.

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letters of Opposition:

Paul Mick - Richter St
Randy Woodside –Poplar Point Dr
Dee Capozzi - Cadder Ave
Richard Drinnan –Greene Rd
Walley Lightbody –Abbott St
Birte Decloux, Urban Options –Rialto Dr

Letters of Comment:

Tom Dyas, President - Kelowna Chamber of Commerce - Harvey Ave

Letters in Support:

Marshall McAnerney - Patterson
R & J Agur –North Lakeshore Dr, Summerland
Wade Jensen, Jensen & Co. Criminal Law –Dickson Ave
Brad Klassen – Troika - Leon Ave
Rudy Schoenfeld –Maple St
Jim Leask -Ellis St
Robyn Gregori –Lodge Rd
Lynn Archibald - Capistrano
R.G (Bob) Brown –Bertram St
Richard Kuprowsky –Pandasy St
Tracy Medve – Okaview Rd
Dave and Jen Rolleston –Lakeshore Rd
David MacLean –Edgemont Ct
Kurt Jory –St. Paul St
John and Kate Mulvaney –Almandine Ct
Todd Gillick –St. Paul St
Shannon Styles –Christleton Ave
Bonnie Houston –Sutherland Ave
Ingo Grady –Black Sage Rd, Oliver, BC
Jeff Robinson –Woodpark Cr
Kyle Blangleil –Monashee Place
Rick Verwold –Wilson Ave
R.G. Goldsmith –Abbott St
Kevin Weston –del Monte Ct
Sam Fisher –Bertram St
Peter Brady –Bernard Ave
Rod and Dianne Friesen –Ellis St
Marshall McAnerney – HM Commercial Group –Richter St
Rick Pushor –Poplar Point Dr
Bruce Davis –Viewcrest Ct
Meghan O'Mara – Bay Ave
Timothy J Spiegel –Carona Cr (2)
Kyle James, CEO - Impact Builders Inc –Spall Rd
Alex Lambert – Capozzi Rd
Holly MacDougall and Don Warkentin, Fortune Marketing Inc –Lawrence Ave
Chris Roworth, Okanagan Appraisals –Sunset Dr
Gavin Hamilton, Kelowna Rockets Hockey Enterprises –Water St
Jim Meiklejohn, Meiklejohn Architects Inc – Bernard Ave
Brad Dahl - Arthur Rd

John Bachelder –Southwind Dr
 Stanley Walt –Lindsay Dr and 1585 Springfield Rd
 Mitch Carefoot –Cawston Ave
 Mona Swikert –Doyle Ave
 Chad Verwold –Richmond St
 Scott Locke, General Manager – Cedar Creek Estate Winery –Lakeshore Rd
 Barry Ward, President – Bardel Entertainment Inc. –West 3rd Ave, Vancouver, BC
 Jorin Wolf –Sutherland Ave
 Rod Butters, RauDZ Creative Concepts Ltd. –Water St
 Lyle Kallis –Coral Beach Rd, Lake Country, BC
 Barry C Johnson, Watt Rd
 Linda Winnick, Picture Perfect –Lawrence Ave
 Rhonda Wehrhahn –Siverado Pl
 Garry F Benson, Benson Law LLP –Highway 33 W
 Michele Showalter –McAllister Rd, West Kelowna, BC
 Shawn Spelliscy –Parkridge Pl
 Dustin Sargent - Borden Ave
 Bob Elliott – Cameron Ave
 Mary Jo Schnepf –Breckenridge Ct
 Dr. Ronald & lane Shupe, Dr. Ronald J Shupe Prosthodontics –Cooper Rd
 Christa Kueber –Dunvegan Ct
 Kevin Johnson –Hughes Rd
 Theresa Arsenault –Ellis St
 Giuseppe Simpatico –Terrace Dr
 Barry Lapointe –Francis Ave
 Don Wikenheiser –Hollywood Ct
 Diane Moore –Vintage Terrace Ct
 Angela and Uldis Bokis –Pandosy St
 Darryl Ruff –Truswell Rd
 Collin & Paula Garrecht –St Paul St
 Taylor Musseau –Rosealee Lane
 Cal McCarthy –Bay Ave
 Sarah Jones –Lakeshore Rd
 Les Gordichuk –Westpoint Dr
 Ray Mitchell, A-Direct Access Glass Ltd –Dolphin Ave
 Kevin Isabey, President and Owner - Rayburns Marine - Enterprise Way
 David Skoglund, Skogies Carwashes –Underhill St
 Art Huber –Dunster Rd, Campbell Rd, St. Paul St, and Lawrence Ave
 Jason Richards, Change Gamers - Ellis St
 Richard and Maureen McIntyre –Denali Ct
 Doug Levell – Sunset Dr
 Dave and Julie Marks –Drummond Ave
 Matt Simpson –Camelot Ct
 Jack T Houston - Sutherland Ave
 Ian MacLeod –Almandine Ct
 Brent Lobson – Richter St

Gail Temple, WestCorp, Matt Kokan, Geotechnical Consultant and Lluís Escarmís, GCA Architects

- Displayed a PowerPoint Presentation.
- Provided background information to current project and realization that a new design was needed.
- The vision is that the site remain a people place with an interface with Kerry Park. The vision was about placemaking and outstanding public venues.
- Spoke to the form and character of the contemporary building including 12 residential floors; 20,000 square feet of conference space, restaurants and coffee bistros.
- Worked with staff on this project and noted a 3-month delay to move the building north
- Spoke to the floor plate and noted the previously approved floor plates was 804 m2 and current proposed Hotel floor plate is 933 m2; believes the change is not that great.

- The Queensway view corridor is unchanged; slimness of tower will ensure the view corridor is not interrupted.
- The new location of the tower creates a soft and sensitive transition between building and pedestrian realm.
- The podium has been improved with the new design along with attention to human scale in the park area.
- Believes this will stand out as a landmark building with world class architecture.
- Believes this building fits into a rhythm and is not out of place.
- Spoke to the setbacks providing more human scale.
- Spoke to underground parking and the water table level and advised of evolved technology used successfully in the lower mainland.
- Responded to questions from Council.

Gallery:

Nicole Rustand, Merlin Court

- Developing upward like this protects the fragile eco systems for future generations.
- Should be supportive of development in urban density areas protecting natural spaces that wrap around the city and believes the city should no longer build with sprawl.
- In support of this application.

Frank Muscall, Kelowna Resident

- The building is too tall and out of character with the surroundings.
- Believes there are other areas of the city suited for these buildings.
- Preferred the original 19 storey proposal.

Dora Wahl, Sutherland Avenue

- Has lived and worked uptown for the past 24 years.
- Believes this is a good location for this project.
- In support of this application.

Jody Schwidt on behalf of friends, Bernie Wilson and Lois Drummond, owners Sturgeon Hall

- In support of this application.
- Believes their business will be impacted positively with this ground breaking development.
- Believes this project will be a landmark for Kelowna.
- Submitted speaking notes.

Kevin Johnson, Hughs Road

- Hosts a conference annually in Kelowna.
- Noted OCP policies that support this application that had not been mentioned.
- In support of this application.

Chris Lapointe, Kelowna Resident

- Local businessman that works for Flair Airlines and spoke to the benefits of the Airport.
- Believes this is a world class development and will be important to the tourism infrastructure.
- Believes the inclusion of a destination restaurant is a great public amenity.
- The height is not a concern.
- In support of this application.

Theresa May, St. Paul Street

- In support of this application.
- Believes this is a world class accommodation that will put Kelowna on the map.
- Believes this high rise building will define downtown Kelowna skyline.

Rene Blanleil, Viewpoint Drive, on behalf of Andre Blanleil

- Read a letter in support of this application.
- Made reference to previous Councils' support of an earlier application.
- Believes recent changes to podium takes into account staff's input.

- Believes the hotel use will create the greatest public benefit.
- Believes the form and character is fantastic.

Alan Burke, Morgan Road

- In support of this application.
- Believes this is a world class hotel with great economic impact to this city.

Ray Burke, Morgan Road

- In support of this application.
- Believes this project will provide a boost to the community businesses and industry and will be important for the future of the city.

Brad Dahl, Arthur Road

- Noted that 43% of land is in the ALR and that development needs to go up to avoid sprawl.
- Does not believe that view corridors will be impacted from most parts of downtown.
- Believes this will be a beautiful addition and fits well with what the city is creating on the waterfront.
- Believes the conference centre is a huge addition.
- In support of this application.

Kelly Hutchinson, Glen Park Drive

- Appreciates efforts of staff on this project.
- Does not believe this development will be housing for the next generation or reduce sprawl as those in the suburbs will not move to live there.
- Believes that those who purchase condos usually do not live in their unit full time.
- Believes the proposed building is not in context with the area and the height and mass is too large.
- Opposed to this application.

Lesley Spiegel, Kelowna Resident

- Event Producer in Kelowna.
- Believes the new design of conference and hotel space is world class
- Believes this first class venue will bring world class conferences to Kelowna.
- In support of this application.

Jim Meiklejohn, Bernard Avenue

- In strong support of this application.
- Speaking as an architect, this is a signature site and is an example of development that will define the future of the city.

Dan Allen, President Downtown Kelowna Association

- Thanked Council, staff and others for improvements to the downtown over the past few years.
- Supportive of the continued growth of Downtown.
- Supportive of this application.
- Spoke to the benefits the proposal will bring to downtown.
- Encouraged by the progress of our city.

Peter Haubrich, Pinehurst Crescent, on behalf of Raghwa Gopal, CEO Accelerate Okanagan

- In support of this application.
- Believes this is the right project at the right location.

Cheryl Damara, Kelowna Resident

- Displayed a photograph from 1904 showing her great grandfather in City Park.
- Displayed additional historic photographs of the original Willow Inn Hotel and Lodge built by her great grandmother.
- Opposed to the height variance proposed.
- Believes the development is out of scale with the area and will change the appearance of downtown Kelowna.
- Believes this type of development belongs further back from the beach and lake front.

Peter Brady, Bernard Avenue

- In support of this application.
- Resident of Kelowna for 10 years.
- Fully endorse this project for the community benefits and the numerous jobs it will create.
- Believes this project is an important catalyst to the downtown area.
- Believes the project fits in well with the area.

Lisanne Ballantyne, Tourism Kelowna President

- In support of this application.
- This project ties in with the Tourism mandate for growth.
- Believes the conference space will help entice 3rd party meeting planners across Canada and North America to this city.

Anne Laurie, Abbot Street

- Made reference to speaking at an earlier Public Hearing in 2017 on C7 amendments to the City civic block.
- Raised concerns with maximum building height, large mass and failure to taper as height increases.
- Referenced the concepts raised in the Happy City book by Charles Montgomery.
- Urged Council to support staff recommendation of non-support.

Mark Thompson, Leon Avenue

- Former Vice Chair for the City's Advisory Planning Committee.
- The Official Community Plan encourages increasing density in urban areas and to encourage growth in the town centres.
- This is a contemporary multi use development that has density and mixed use.
- Believes this project will be a landmark for the city and will be an anchor to downtown.
- In support of this application.

Moved By Councillor Stack/Seconded By Councillor Sieben

R185/18/02/20 THAT Council continue the Regular Meeting past 11:00 p.m.

Carried

Doug Laval, Sunset Drive

- Moved to Kelowna in 1978 and remembers when the Capri Hotel was the premier Hotel.
- In support of this application.

Yarden Gershony, Vice President, Downtown Kelowna Association

- Does not believe there is a reason for Council to doubt Westcorp economic analysis.
- Believes this project is an opportunity for multiple generations.
- In support of this application.

AJ Chahal, Magic Drive

- In support of this application.
- Believes this is an iconic project for the city and entire valley.
- Believes this is a world class hotel and will complement our great wine tourism.

Dustin Sargent, Lakeshore Road

- In support of this application.
- Referenced the Downtown Plan supporting the development at this site.

Gail Temple, WestCorp

- Acknowledged respect for this site and its history.
- Have taken staff concerns into consideration.
- Assured commitment to developing a world class project and greatest public benefit.
- Responded to questions from Council.

There were no further comments

Moved By Councillor Stack/Seconded By Councillor Singh

R186/18/02/20 THAT Council authorizes the issuance of Development Permit No. DP17-0191 for Lot 1, District Lot 139, ODYD, Plan EPP77920, located at 289 Queensway Ave, Kelowna, BC, subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;
5. That the outstanding conditions set out in Attachment "A" attached to the Report from the Community Planning Department dated February 20th 2017;

AND THAT Council authorize the issuance of Development Variance Permit DVP17-0192 for Lot 1, District Lot 139, ODYD, Plan EPP77920, located at 289 Queensway Ave, Kelowna, BC, subject to the following:

1. A maintenance agreement with associated bonding be signed and submitted with the City of Kelowna to ensure the upgraded off-sites improvements along Queensway Ave and Water St are provided for and maintained for in perpetuity.

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 14.7.5 Development Regulations (h)i.

To vary the maximum height of a building before a 3 metre setback is required from 16 metres to 20.25 metres for the Queensway frontage as per A-54 drawing attached to Schedule 'A'.

Section 14.7.5 Development Regulations (h)iii.

To vary the maximum floorplate for any building above 16.0m from 1,221m² to 3,130m² limited to the seventh floor as per A-56 drawing attached to Schedule 'A'.

Section 14.7.5 Development Regulations (b)

To vary the maximum height of a building from 76.5 metres to 131 metres.

Section 8 Parking and Loading – Table 8.2 Loading Schedule

To vary the number of loading spaces from 6 spaces to 3 spaces.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit applications in order for the permits to be issued;

AND THAT the applicant be required to complete the following conditions prior to a building permit being issued:

1. That a subdivision be registered with the land titles office completing the land exchange and lane dedication;
 - a. As part of the new registered plans, the vehicular right-of-way and turn around within the lane be amended to reflect the updated plans; &
 - b. A statutory right-of-way be registered on the property guaranteeing public access between the proposed building and Queensway Rd / Kerry Park.
2. That a license of occupation be signed by the City of Kelowna to permit the canopy encroachments across the property lines.

3. That a license of occupation be registered for the Hotel permitting the portions of Queensway Ave to be used for Hotel purposes such as valet services.

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

Councillors Donn and Hodge - Opposed

Moved By Councillor Given/Seconded By Councillor Stack

R187/18/02/20 THAT Council direct staff to bring forward an amended Development Permit that reflects the podium changes shown by the applicant during their presentation.

Carried

Councillor Hodge - Opposed

The meeting recessed at 11:56 p.m.

The meeting reconvened at 12:03 a.m.

6.2 Poplar Point Dr. 380, DVP17-0254 - Darlene Ramsay

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was not present.

No one from the Gallery came forward.

There were no further comments

Moved By Councillor Stack/Seconded By Councillor Hodge

R188/18/02/20 THAT Council authorize the issuance of Development Variance Permit No. DVP17-0254 for Lot 5, District Lot 219, ODYD, Plan 6511, located on 380 Poplar Point Drive, Kelowna, BC;

AND THAT a variance to the following section of Zoning Bylaw No. 8000 be granted:
Section 6.11.1 – Okanagan Lake Sight Lines – To vary the required Okanagan Lake 120° Panoramic Sight Lines to 87° proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

6.3 St Paul St 1350, DVP17-0280 - Sole Downtown Developments Ltd Inc. No BC1057689

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letters of Opposition:

Jo Scott Baxendale –Ellis St

Letters of Comment:

Cheryl McFarlen –St. Paul St

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the Gallery came forward.

There were no further comments

Moved By Councillor Given/Seconded By Councillor Hodge

R189/18/02/20 THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0280 for Strata Lot 1 District Lot 139 Osoyoos Division Yale District Strata Plan EPS4599 Together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V, located at 1350 St. Paul Street, Kelowna, BC;

AND THAT variances to the following sections of Sign Bylaw No. 8235 be granted:

Section 5.5.3: Specific Regulations

To vary the maximum height of fascia signs from 1.0 m above the second storey (permitted) to up to 3.5 m above the second storey (proposed).

Section 6.1: Specific Zone Regulations

Major Commercial (C3, C4, C6, C7, C8, CD22 Sub-Areas A&B and CD24 Sub Area A, CD25)

To vary the number of fascia signs per business frontage from 2 (permitted) to 6 (proposed).

To vary the number of identification signs per business from 1 (0.5 m² maximum area) permitted to 2 (1.74 m² total maximum area) proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

6.4 Academy Way 695, DVP18-0002 - Watermark Developments Ltd Inc. No BCo642787

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the Gallery came forward.

There were no further comments

Moved By Councillor Sieben/Seconded By Councillor Hodge

R190/18/02/20 THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0002 for Lot 4 Section 3 Township 23 Osoyoos Division Yale District Plan EPP53793, located at 695 Academy Way, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.10.6(c): RM4 – Transitional Low Density Housing Development Regulations

To vary the required maximum height from 13.0 m or 3 storeys (permitted) to 13.0 m or 3 ½ storeys (proposed).

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

6.5 Academy Way 655, DP18-0003 DVP18-0004 - Watermark Developments Ltd Inc. No BCo642787

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence was received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the Gallery came forward.

There were no further comments

Moved By Councillor Given/Seconded By Councillor DeHart

R191/18/02/20 THAT Council authorizes the issuance of Development Permit No. DP18-0003 for Lot 5 Section 3 Township 23 Osoyoos Division Yale District Plan EPP53793, located at 655 Academy Way, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0004 for Lot 5 Section 3 Township 23 Osoyoos Division Yale District Plan EPP53793, located at 655 Academy Way, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.10.6(c): RM4 – Transitional Low Density Housing Development Regulations

To vary the required maximum height from 13.0 m or 3 storeys (permitted) to 13.0 m or 3 ½ storeys (proposed).

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

- 7. Reminders
- 8. Termination

The meeting was declared terminated at 12:16 a.m.

Mayor Basran

/acm

City Clerk

CITY OF KELOWNA

BYLAW NO. 11552 TA16-0002 – General Housekeeping Amendments

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT **Section 1 – General Administration Section 18 – Comprehensive Development Zones** be amended by:

- a) Adding in its appropriate location under Section 13- Urban Residential the following:

RU7	Infill Housing
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- b) deleting the following:

CD25	Capri Centre Comprehensive Development Zone
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And replacing it with:

CD26	Capri Centre Comprehensive Development Zone
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- c) Adding the following in its appropriate location:

CD27	Valley Land Subdivision
------	-------------------------

2. AND THAT **Section 2 – Interpretation** be amended by:

- a) Adding a new definition for "**AGRICULTURAL LAND COMMISSION (ALC)**" in its appropriate location that reads as follows:

"**AGRICULTURAL LAND COMMISSION (ALC)** means the provincial governing body assigned to administer regulations and policies which relate to the preservation of agricultural land. The ALC was previously referred to as the **Land Reserve Commission (LRC)**, and references as such in this Bylaw should be deemed to now refer to the **Agricultural Land Commission (ALC)**, as applicable."

- b) Deleting the following definition of **AUTOMOTIVE RENTALS** that reads:

"**AUTOMOTIVE RENTALS** means an establishment where new and used vehicles are rented and may also include the sales and servicing of vehicles as ancillary uses."

- c) Deleting the definition for "**Land Reserve Commission**" in its entirety that reads:

"**LAND RESERVE COMMISSION (LRC)** means the provincial governing body assigned to administer regulations and policies which relate to the preservation of agricultural land. The LRC was previously referred to as the **Agricultural Land Commission (ALC)**, and references as such in this Bylaw should be deemed to now refer to the **Land Reserve Commission (LRC)**, as applicable."

- d) Deleting all references throughout the bylaw of **"Land Reserve Commission"** or **"LRC"** and replacing it with **"Agricultural Land Commission"** or **"ALC"** as appropriate;
 - e) Deleting the word "laundries" from the definition **"PERSONAL SERVICES STABLISHMENTS"** and replace it with the word "laundromats";
 - f) Deleting the definition name **"RETAIL STORE – CONVENIENCE"** and replacing it with **"RETAIL STORE, CONVENIENCE"**;
 - g) Adding a new definition in its appropriate location for **URBAN RESIDENTIAL ZONES** that reads:

"URBAN RESIDENTIAL ZONES are any zones described in Section 13 of this Bylaw or any CD zone in which the predominant use, as determined by its general purpose and list of permitted uses, is of an urban residential nature."
3. AND THAT **Section 7 – Minimum Landscape Buffer, 7.6.1 (e)** be amended by deleting the following:
- "This standard may be replaced or modified as a result of conditions of a decision by the Land Reserve Commission. The buffer area shall not be included in the required setback for Rural and Urban Residential zones."
- And replacing it with:
- "This standard may be replaced or modified as a result of conditions of a decision by the **Agricultural Land Commission**. The buffer area shall be in addition to the required setback for Rural and Urban Residential zones."
- 4. AND THAT **Section 11 – Agricultural Zone, 11.1.3 Secondary Uses** be amended by deleting subsection **"(g) care centres, intermediate"** and replacing it with **"(g) child care centre, minor"**.
 - 5. AND THAT **Section 13 – Urban Residential Zones, 13.14 RH1 – Hillside Large Lot Residential, 13.14.4 Secondary Uses** be amended by deleting **"care centres, minor"** and replacing it with **"child care centre, minor"**;
 - 6. AND THAT **Section 13 – Urban Residential Zones, 13.15 RH2 – Hillside Two Dwelling Housing, 13.15.4 Secondary Uses** be amended by deleting **"care centres, minor"** and replacing it with **"child care centre, minor"**;
 - 7. AND THAT **Section 13 – Urban Residential Zones, 13.16 RH3 –Hillside Cluster Housing, 13.16.4 Secondary Uses** be amended by deleting **"care centres, minor"** and replacing it with **"child care centre, minor"**;
 - 8. AND THAT **Section 13 – Urban Residential Zones, RU7 – Infill Housing** be amended by:
 - a) Deleting the title **"RU7 – Infill Housing"** and replacing it with **"13.17 RU7 – Infill Housing"**;
 - b) Deleting **"1.2 Permitted Uses"** and replacing it with **"13.17.2 Permitted Uses"**;
 - c) Deleting **"1.3 Secondary Uses"** and replacing it with **"13.17.3 Secondary Uses"**;
 - d) Deleting **"1.4 Buildings and Structures Permitted"** and replacing it with **"13.17.4 Buildings and Structures Permitted"**;
 - e) Deleting **"1.5 Subdivision Regulations"** and replacing it with **"13.17.5 Subdivision Regulations"**;
 - f) Deleting **"1.6 Development Regulations"** and replacing it with **"13.17.6 Development Regulations"**;
 - g) Deleting **"1.7 Density Regulations"** and replacing it with **"13.17.7 Density Regulations"**;
 - h) Deleting **"1.8 Other Regulations"** and replacing it with **"13.17.8 Other Regulations"**; and

- i) Adding **Section 13 – Urban Residential Zones, RU7 – Infill Housing** after **Section 13 Urban Residential Zones – RU6 – Two Dwelling Housing/RU6b – Two Dwelling Housing with Boarding or Lodging House.**
- 9. AND THAT **Section 14 – Commercial Zones, 14.3 C3 – Community Commercial, 14.3.2 Principal Uses** be amended by adding in its appropriate location a new subparagraph **“temporary shelter services”** and renumbering all subsequent subparagraphs;
- 10. AND THAT **Section 14 – Commercial Zones, 14.9 C9– Tourist Commercial, 14.9.2 Principal Uses** be amended by adding in its appropriate location a new subparagraph **“temporary shelter services”** and renumbering all subsequent subparagraphs;
- 11. AND THAT **Section 14 – Commercial Zones, 14.10 C10– Service Commercial, 14.10.2 Principal Uses** be amended by adding in its appropriate location new subparagraphs for **“supportive housing”** and **“temporary shelter services”** and renumbering all subsequent subparagraphs;
- 12. AND THAT **Section 15 – Industrial Zones, 15.2 I2 – General Industrial, 15.2.2 Principal Uses** be amended by adding in its appropriate location a new subparagraph **“temporary shelter services”** and renumbering all subsequent subparagraphs;
- 13. AND THAT **Section 15 – Industrial Zones, 15.4 I4 – Central Industrial, 15.4.2 Principal Uses** be amended by adding in its appropriate location a new subparagraph **“temporary shelter services”** and renumbering all subsequent subparagraphs;
- 14. AND THAT **Section 16 – Public & Institutional Zones, 16.2 P2 – Education and Minor Institutional, 16.2.2 Principal Uses** be amended by adding in its appropriate location a new subparagraphs for **“supportive housing”** and **“temporary shelter services”** and renumbering all subsequent subparagraphs;
- 15. AND THAT **Schedule B – Comprehensive Development Zones, CD25 – Capri Centre Comprehensive Development Zone,** be amended by:
 - a) Deleting the title **“CD25 – Capri Centre Comprehensive Development Zone”** and replacing it with **“CD26 – Capri Centre Comprehensive Development Zone”**;
 - b) Deleting in **1.3 Design Guidelines** the following:

“The CD 25 - Capri Comprehensive Development 25 Zone has been designated as a Development Permit Area by “Kelowna 2030 – Official Community Plan Bylaw No. 10500” for the purpose of guiding the form and character of development. The guidelines applicable to the CD 25 – Capri Comprehensive Development 25 Zone are annexed to this Bylaw as Annexure “1” and entitled “CD 25 Development Area Guidelines.”

And replacing it with:

“The CD 26 - Capri Comprehensive Development 26 Zone has been designated as a Development Permit Area by “Kelowna 2030 – Official Community Plan Bylaw No. 10500” for the purpose of guiding the form and character of development. The guidelines applicable to the CD 26 – Capri Comprehensive Development 26 Zone are annexed to this Bylaw as Annexure “1” and entitled “CD 26 Development Area Guidelines.”

- c) Adding the word "The" before the words "Principal uses in this zone are:" in **1.4 Principal Uses**;
- d) Deleting in **1.4 Principal Uses** the following:

**"(g) care centres, major
(h) Child Care"**

And replace it with:

"(g) child care centres, major"

and renumber subsequent subparagraphs.

- e) Deleting in **1.5 Secondary Uses** the following:

"(b) care centres, minor"

And replacing it with:

"(b) child care centres, minor"

- f) Deleting in **1.14 Parking and Loading** the reference to "CD25" in sub-paragraph (a) and (b) and replacing it with "CD26"; and
- g) Deleting from the Capri Centre Design Guidelines, "Annexure 1 CD25 – Development Area Guidelines" and replacing it with "Annexure 1 CD26– Development Area Guidelines".

16. AND THAT Bylaw No. 11440 being TA16-0002 – General Housekeeping Amendments to Zoning Bylaw No. 8000 is hereby repealed.

17. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 5th day of February, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA

BYLAW NO. 11488

Official Community Plan Amendment No. OCP17-0002 Tower Ranch Drive and Winter Lane

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of various properties, located on Tower Ranch Drive, Spring Lane and Winter Lane, Kelowna, B.C., as shown on Schedule A and Map A attached to and forming part of this bylaw;
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 19th day of February, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

SCHEDULE A – OCP17-0002

No.	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
1	Portions of Lot B Section 31 Township 27 ODYD Plan EPP66524	1501 Tower Ranch Dr	PARK REC S2RES S2RESH	PARK S2RES
2	Portions of Lot A Section 31 Township 27 ODYD Plan EPP66524 Except Strata Plan EPS2195 (Phase 2)	1511 Tower Ranch Dr	PARK REP S2RES S2RESH	S2RES PARK
3	Common Property Strata Plan EPS2195	1810 Tower Ranch Dr	MRL S2RES S2RESH	S2RES
4	Strata Lot 1 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1800 Tower Ranch Dr	S2RESH	S2RES
5	Strata Lot 2 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1790 Tower Ranch Dr	S2RESH	S2RES
6	Strata Lot 3 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1780 Tower Ranch Dr	S2RESH	S2RES
7	Strata Lot 4 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1770 Tower Ranch Dr	S2RESH	S2RES
8	Strata Lot 5 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1760 Tower Ranch Dr	S2RESH	S2RES
9	Strata Lot 6 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1750 Tower Ranch Dr	S2RESH	S2RES
10	Strata Lot 7 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1740 Tower Ranch Dr	S2RESH	S2RES
11	Strata Lot 8 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1730 Tower Ranch Dr	S2RESH	S2RES
12	Strata Lot 9 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1720 Tower Ranch Dr	S2RES S2RESH	S2RES

No.	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
13	Strata Lot 10 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1710 Tower Ranch Dr	S2RES S2RESH	S2RES
14	Strata Lot 11 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1700 Tower Ranch Dr	S2RES S2RESH	S2RES
15	Strata Lot 12 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1696 Tower Ranch Dr	S2RES S2RESH	S2RES
16	Strata Lot 13 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1692 Tower Ranch Dr	MRL S2RES S2RESH	S2RES
17	Strata Lot 14 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1799 Tower Ranch Dr	S2RESH	S2RES
18	Strata Lot 15 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1789 Tower Ranch Dr	S2RESH	S2RES
19	Strata Lot 16 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1779 Tower Ranch Dr	S2RESH	S2RES
20	Strata Lot 17 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1769 Tower Ranch Dr	S2RESH	S2RES
21	Strata Lot 18 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1759 Tower Ranch Dr	S2RESH	S2RES
22	Strata Lot 19 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1749 Tower Ranch Dr	S2RESH	S2RES
23	Strata Lot 20 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1739 Tower Ranch Dr	S2RESH	S2RES
24	Strata Lot 21 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1729 Tower Ranch Dr	S2RESH	S2RES

	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
25	Strata Lot 22 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1719 Tower Ranch Dr	S2RESH	S2RES
26	Strata Lot 23 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1709 Tower Ranch Dr	S2RES S2RESH	S2RES
27	Strata Lot 28 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1683 Tower Ranch Dr	S2RES S2RESH	S2RES
28	Strata Lot 29 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1640 Winter Lane	S2RES S2RESH	S2RES
29	Strata Lot 30 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1630 Winter Lane	S2RESH	S2RES
30	Strata Lot 31 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1620 Winter Lane	S2RESH	S2RES
31	Strata Lot 32 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1610 Winter Lane	S2RESH	S2RES
32	Strata Lot 33 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1600 Winter Lane	S2RESH	S2RES
33	Strata Lot 34, Section 31, Township 27, ODYD Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1590 Winter Lane	S2RESH	S2RES
34	Strata Lot 35 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1580 Winter Lane	S2RESH	S2RES
35	Strata Lot 36 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1570 Winter Lane	S2RESH	S2RES
36	Strata Lot 37 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1560 Winter Lane	S2RESH	S2RES
37	Strata Lot 38 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1550 Winter Lane	S2RESH	S2RES
38	Strata Lot 39 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1540 Winter Lane	S2RESH	S2RES
39	Strata Lot 40 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1530 Winter Lane	S2RESH	S2RES

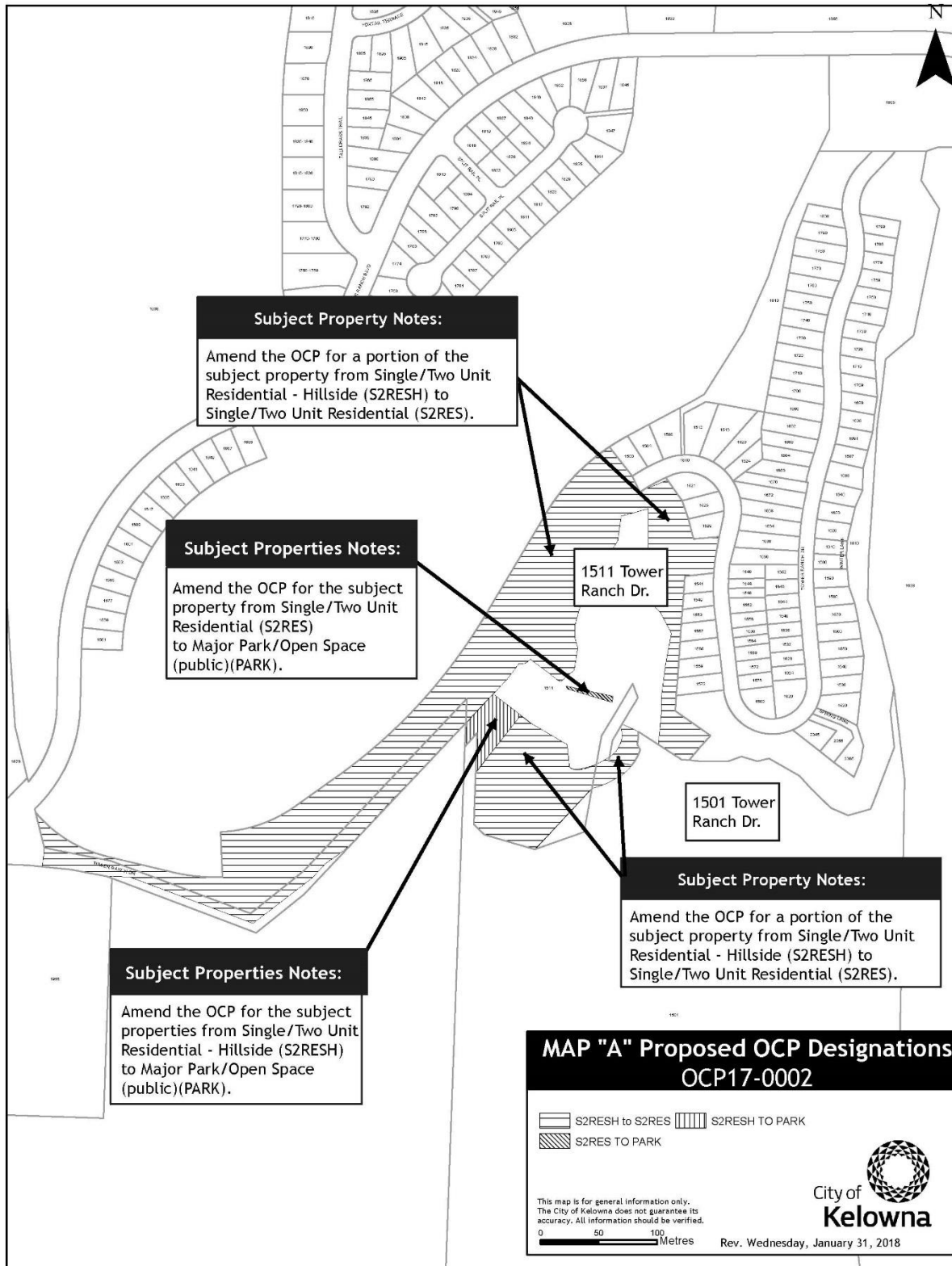
	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
40	Strata Lot 41 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1520 Winter Lane	S2RESH	S2RES
41	Strata Lot 42 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	2365 Spring Lane	S2RESH	S2RES
42	Strata Lot 43 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	2355 Spring Lane	S2RESH	S2RES
43	Strata Lot 44 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	2345 Spring Lane	S2RESH	S2RES
44	Strata Lot 45 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1620 Tower Ranch Dr	MRL S2RESH	S2RES
45	Strata Lot 46 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1624 Tower Ranch Dr	MRL S2RESH	S2RES
46	Strata Lot 47 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1628 Tower Ranch Dr	MRL S2RESH	S2RES
47	Strata Lot 48 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1632 Tower Ranch Dr	MRL S2RESH	S2RES
48	Strata Lot 49 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1636 Tower Ranch Dr	MRL S2RESH	S2RES
49	Strata Lot 50 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1640 Tower Ranch Dr	MRL S2RESH	S2RES
50	Strata Lot 51 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1644 Tower Ranch Dr	MRL S2RESH	S2RES
51	Strata Lot 52 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1648 Tower Ranch Dr	MRL S2RESH	S2RES
52	Strata Lot 53 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1652 Tower Ranch Dr	MRL S2RESH	S2RES
53	Strata Lot 54 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1656 Tower Ranch Dr	MRL S2RESH	S2RES
54	Strata Lot 55 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1660 Tower Ranch Dr	MRL S2RESH	S2RES

	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
55	Strata Lot 56 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1664 Tower Ranch Dr	MRL S2RESH	S2RES
56	Strata Lot 57 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1668 Tower Ranch Dr	MRL S2RESH	S2RES
57	Strata Lot 58 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1672 Tower Ranch Dr	MRL S2RESH	MRL
58	Strata Lot 59 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1676 Tower Ranch Dr	MRL S2RESH	MRL
59	Strata Lot 60 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1680 Tower Ranch Dr	MRL S2RESH	MRL
60	Strata Lot 61 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1684 Tower Ranch Dr	MRL S2RESH	S2RES
61	Strata Lot 62 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1688 Tower Ranch Dr	MRL S2RESH	S2RES
62	Strata Lot 63 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1540 Tower Ranch Dr	MRL S2RESH	MRL
63	Strata Lot 64 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1544 Tower Ranch Dr	MRL S2RESH	MRL
64	Strata Lot 65 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1548 Tower Ranch Dr	MRL S2RESH	MRL

	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
65	Strata Lot 66 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1552 Tower Ranch Dr	MRL S2RESH	MRL
66	Strata Lot 67 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1556 Tower Ranch Dr	MRL S2RESH	MRL
67	Strata Lot 68 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1560 Tower Ranch Dr	MRL S2RESH	MRL
68	Strata Lot 69 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1564 Tower Ranch Dr	MRL S2RESH	MRL
69	Strata Lot 70 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1568 Tower Ranch Dr	MRL S2RESH	MRL
70	Strata Lot 71 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1572 Tower Ranch Dr	MRL S2RESH	S2RES
71	Strata Lot 72 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1576 Tower Ranch Dr	MRL S2RESH	S2RES
72	Strata Lot 73 ODY Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1580 Tower Ranch Dr	MRL S2RESH	S2RES
73	Strata Lot 74 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1573 Tower Ranch Dr	S2RESH	S2RES
74	Strata Lot 75 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1569 Tower Ranch Dr	S2RESH	S2RES
75	Strata Lot 76 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1565 Tower Ranch Dr	S2RESH	S2RES

	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
76	Strata Lot 77 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1557 Tower Ranch Dr	S2RESH	S2RES
77	Strata Lot 78 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1553 Tower Ranch Dr	S2RESH	S2RES
78	Strata Lot 79 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1549 Tower Ranch Dr	S2RESH	S2RES
79	Strata Lot 80 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1541 Tower Ranch Dr	S2RESH	S2RES
80	Strata Lot 81 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1529 Tower Ranch Dr	S2RESH	S2RES
81	Strata Lot 82 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1525 Tower Ranch Dr	S2RESH	S2RES
82	Strata Lot 83 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1521 Tower Ranch Dr	S2RESH	S2RES
83	Strata Lot 84 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1524 Tower Ranch Dr	MRL S2RESH	S2RES
84	Strata Lot 85 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1520 Tower Ranch Dr	S2RESH	S2RES
85	Strata Lot 86 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1516 Tower Ranch Dr	S2RESH	S2RES
86	Strata Lot 87 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1512 Tower Ranch Dr	S2RESH	S2RES
87	Strata Lot 88 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1508 Tower Ranch Dr	S2RESH	S2RES
88	Strata Lot 89 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1504 Tower Ranch Dr	S2RESH	S2RES
89	Strata Lot 90 Section 31 Township 27 ODYD Plan DPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1500 Tower Ranch Dr	S2RESH	S2RES

Map A



CITY OF KELOWNA
BYLAW NO. 11489
Z17-0007 – Tower Ranch Drive

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of various properties located on Tower Ranch Drive, Kelowna, B.C., as outlined on Schedule B and Map B attached to and forming part of this bylaw;
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 19th day of February, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

SCHEDULE B – Z17-0007

No.	Legal Description	Address	Existing Zone	Proposed Zone
1	Portions of Lot B Section 31 Township 27 ODYD Plan EPP66524	1501 Tower Ranch Dr	P3/RU5	P3/RU5
2	Portions of Lot A Section 31 Township 27 ODYD Plan EPP66524 Except Strata Plan EPS2195 (Phase 2)	1511 Tower Ranch Dr	P3/RU5	RU5/P3
3	Common Property Stata Plan EPS2195	1810 Tower Ranch Dr	P3/ RU5/RM2	RU5
4	Strata Lot 45 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1620 Tower Ranch Dr	RM2/RU5	RU5
5	Strata Lot 46 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1624 Tower Ranch Dr	RM2/RU5	RU5
6	Strata Lot 47 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1628 Tower Ranch Dr	RM2/RU5	RU5
7	Strata Lot 48 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1632 Tower Ranch Dr	RM2/RU5	RU5
8	Strata Lot 49 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1636 Tower Ranch Dr	RM2/RU5	RU5
9	Strata Lot 50 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1640 Tower Ranch Dr	RM2/RU5	RU5
10	Strata Lot 51 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1644 Tower Ranch Dr	RM2/RU5	RU5
11	Strata Lot 52 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1648 Tower Ranch Dr	RM2/RU5	RU5
12	Strata Lot 53 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1652 Tower Ranch Dr	RM2/RU5	RU5
13	Strata Lot 54 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1656 Tower Ranch Dr	RM2/RU5	RU5
14	Strata Lot 55 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1660 Tower Ranch Dr	RM2/RU5	RU5
15	Strata Lot 56 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1664 Tower Ranch Dr	RM2/RU5	RU5
16	Strata Lot 57 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1668 Tower Ranch Dr	RM2/RU5	RU5
17	Strata Lot 58 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1672 Tower Ranch Dr	RM2/RU5	RM2H

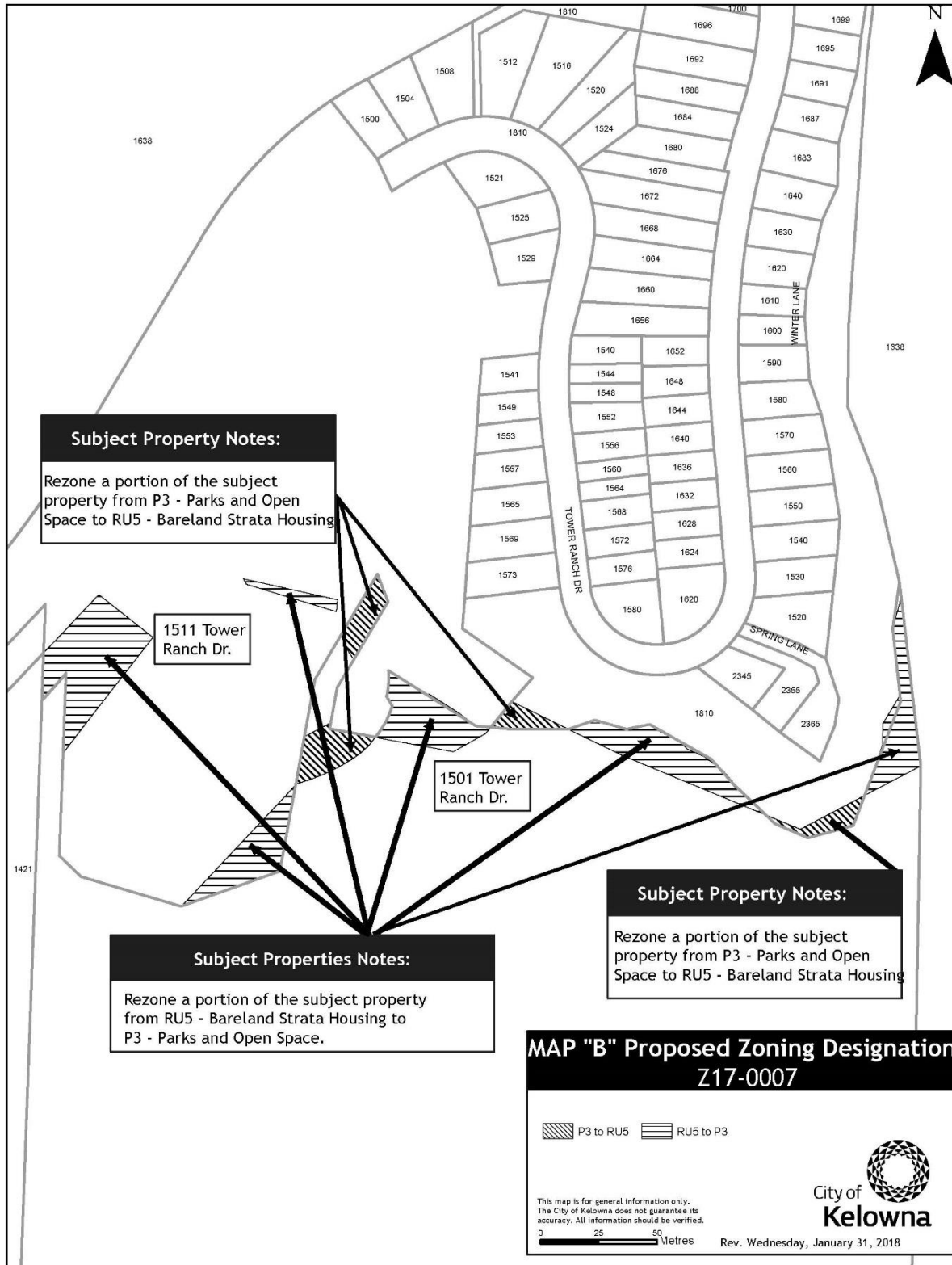
SCHEDULE B – Z17-0007

No.	Legal Description	Address	Existing Zone	Proposed Zone
18	Strata Lot 59 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1676 Tower Ranch Dr	RM2/RU5	RM2H
19	Strata Lot 60 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1680 Tower Ranch Dr	RM2/RU5	RM2H
20	Strata Lot 61 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1684 Tower Ranch Dr	RM2/RU5	RU5
21	Strata Lot 62 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1688 Tower Ranch Dr	RM2/RU5	RU5
22	Strata Lot 63 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1540 Tower Ranch Dr	RM2/RU5	RM2H
23	Strata Lot 64 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1544 Tower Ranch Dr	RM2/RU5	RM2H
24	Strata Lot 65 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1548 Tower Ranch Dr	RM2/RU5	RM2H
25	Strata Lot 66 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1552 Tower Ranch Dr	RM2/RU5	RM2H
26	Strata Lot 67 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1556 Tower Ranch Dr	RM2/RU5	RM2H
27	Strata Lot 68 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1560 Tower Ranch Dr	RM2/RU5	RM2H
28	Strata Lot 69 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1564 Tower Ranch Dr	RM2/RU5	RM2H
29	Strata Lot 70 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1568 Tower Ranch Dr	RM2/RU5	RM2H
30	Strata Lot 71 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1572 Tower Ranch Dr	RM2/RU5	RU5
31	Strata Lot 72 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1576 Tower Ranch Dr	RM2/RU5	RU5

SCHEDULE B – Z17-0007

No.	Legal Description	Address	Existing Zone	Proposed Zone
32	Strata Lot 73 ODY Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1580 Tower Ranch Dr	RM2/RU5	RU5
33	Strata Lot 84 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1524 Tower Ranch Dr	RM2/RU5	RU5
34	Strata Lot 13 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1692 Tower Ranch Dr	RM2/RU5	RU5

MAP B



CITY OF KELOWNA
BYLAW NO. 11553
Z17-0104 – 1304 & 1308 Richter Street

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 34 District Lot 139 ODYD Plan 2085 and Lot 35 District Lot 139 ODYD Plan 2085, located at Richter St, Kelowna, BC from the RU6 – Two Dwelling Housing zone to the RM5 – Medium Density Multiple Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 19th day of February, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Amended at third reading and adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA

BYLAW NO. 11558

Official Community Plan Amendment No. OCP17-0014 1235 & 1260 Neptune Road

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of Lot 2, Section 14, Township 26, ODYD, Plan 27837, located at Neptune Rd, Kelowna, BC from the EDINST – Educational/Major Institutional designation to the S2RES – Single/Two Unit Residential designation.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 19th day of February, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11559
Z17-0053 – 1235 & 1260 Neptune Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification Lot 2, Section 14, Township 26, ODYD, Plan 27837, located at Neptune Rd, Kelowna, BC; from the P2 – Educational & Minor Institutional zone to the RU4 – Low Density Cluster Housing zone;
2. AND THAT City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 3, Section 14, Township 26, ODYD, Plan 27837, located at Neptune Rd, Kelowna, BC; from the RU1 – Large Lot Housing zone to the RU4 – Low Density Cluster Housing zone.
3. This bylaw shall come into fullZ17-0053 - force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 19th day of February, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11560
Z17-0111 – 265 Terai Court

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 11, Section 22, Township 26, ODYD, Plan 28699, located at Terai Court, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 19th day of February, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11561
Z17-0076 – 935 Mayfair Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 6 District Lot 143 ODYD Plan 22014 located on Mayfair Road, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the RU6 – Two Dwelling Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 19th day of February, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA

BYLAW NO. 11199

Z15-0041 – Kneller Holdings Ltd., Inc. No. 407551

150 Kneller Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of Lot 2, Township 26, ODYD, Plan EPP63257 located on Kneller Road, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the RM3 – Low Density Multiple Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 1st day of February, 2016.

Considered at a Public Hearing on the 16th day of February, 2016.

Read a second and third time by the Municipal Council this 16th day of February, 2016.

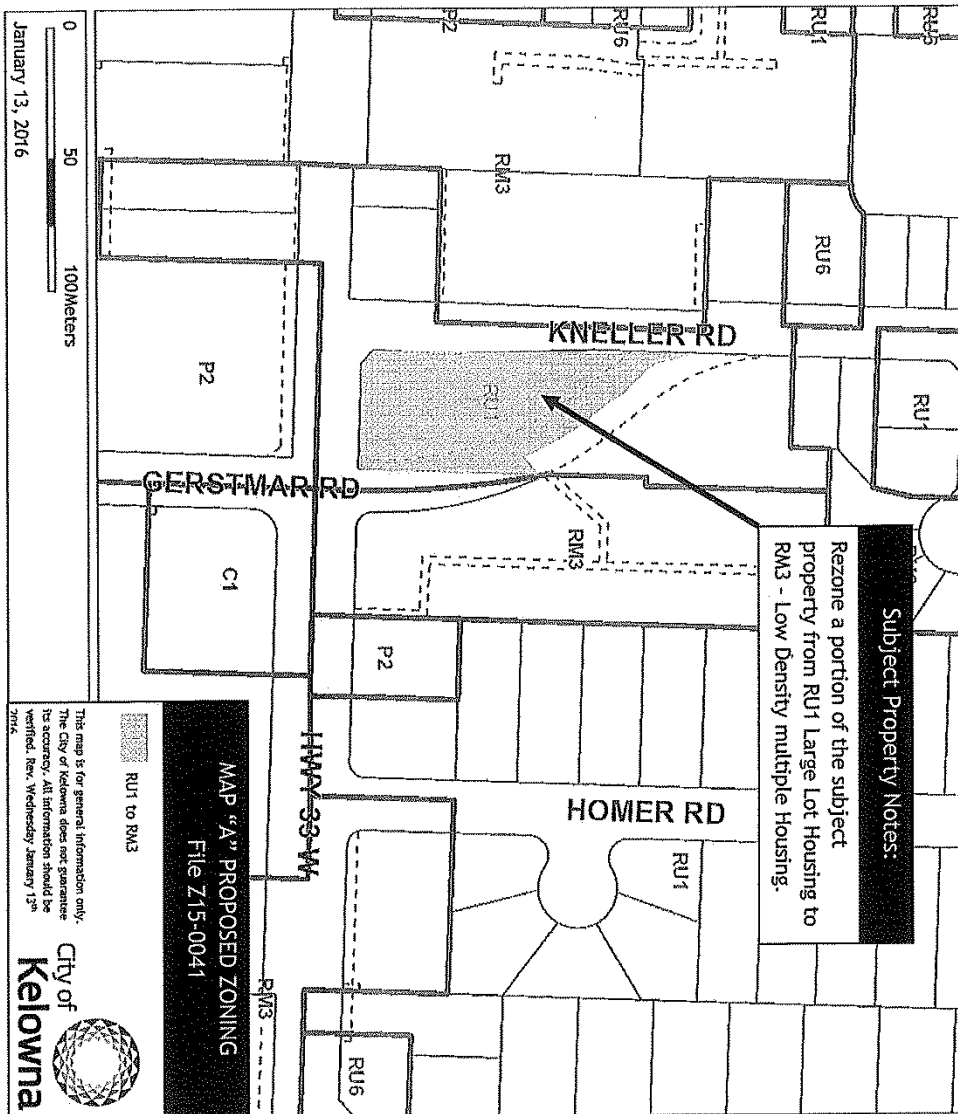
Approved under the Transportation Act 10th day of November, 2017.

Robyn Clifford
(Approving Officer-Ministry of Transportation)

Amended at third reading and dopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



REPORT TO COUNCIL



Date: Feb 20th 2018

RIM No. 0940-00 & 0940-50

To: City Manager

From: Community Planning Department (AC)

Application: DP15-0176 & DVP15-0177

Owner: Okanagan Metis & Aboriginal
Housing Society Inc. No.
S0021636

Address: 150 Kneller Rd

Applicant: New Town Planning – Lisa
Fraser

Subject: Development Permit and Development Variance Permit

OCP Designation: MRL – Multiple Unit Residential (Low Density)

Zoning: RM3 – Low Density Multiple Housing

1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 11199 (Z15-0041) be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP15-0176 for Lot 2, Section 27, Township 26, ODYD, Plan EPP63257, located at 150 Kneller Rd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorize the issuance of Development Variance Permit DVP15-0176 for Lot 2, Section 27, Township 26, ODYD, Plan EPP63257, located at 150 Kneller Rd, Kelowna, BC;

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B, & C":

Section 8.1.11 (a) Size and Ratio

To vary the ratio of vehicular parking stalls sizes from: min 50% Full size, max 40% medium size, & max 10% compact size to 34.2% Full size, 5.8% medium size, & 5.4% compact size.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To review the Form & Character Development Permit of a non-profit 3 storey rental apartment building with ground floor units facing the streets and to consider one variance to the ratio of full and medium sized parking stalls.

3.0 Community Planning

3.1 Development Permit

Staff are recommending support for the proposed Development Permit due to the proposal's consistency with the Official Community Plan's (OCP) design guidelines. The applicant has worked with City staff to review and refine many site issues but the building form and massing fit well with the OCP guidelines.

Through the rezoning application the applicant will construct the Gertsmar Road realignment. This application supports the City's broad goals of residential intensification within the Urban Core and for the provision of affordable housing. This affordable housing project is a rental housing building sponsored by BC Housing and administered by the Okanagan Métis and Aboriginal Housing Society.

The site is well suited for redevelopment and intensification. The property is within an urban neighbourhood and has good access to services and amenities in the Rutland Urban Centre and nearby Hollywood commercial area. The site is a corner lot adjoining similar residential densities on all sides. The site is also located immediately adjacent to a BC Transit stop on Highway 33 W which is a corridor identified as part of the Frequent Transit Network within the City's 25 Year Transit Vision. Further, many transportation and safety goals identified by the City of Kelowna and MOTI will be achieved by the development of this lot such as:

- intersection improvements at the corner of Gerstmar Road and Highway 33;
- the construction of Gertsmar Road;
- the closing and decommissioning of Kneller Road; and
- frontage improvements along Highway 33 and Gerstmar Rd.

3.2 Public Notification

In fulfillment of Council Policy No. 367 respecting public consultation, the applicant undertook neighbour consultation by individually contacting the neighbours within 50 metres and holding a public information session on August 20th 2015 from 4-7pm at the Rutland Seventh Day Adventist Church. Flyers were delivered (or mailed per attached list) to the surrounding area two weeks before and an advertisement was posted in the Capital News on August 5th and again on August 12th.

The Public Information Session had (16) residences represented at the meeting. According to the applicant's report on the public information session, the overall responses to the proposed development were positive

in their nature. Many participants commented on the building design and landscape features. Attendees were encouraged to complete an exit survey and 15 completed surveys were received.

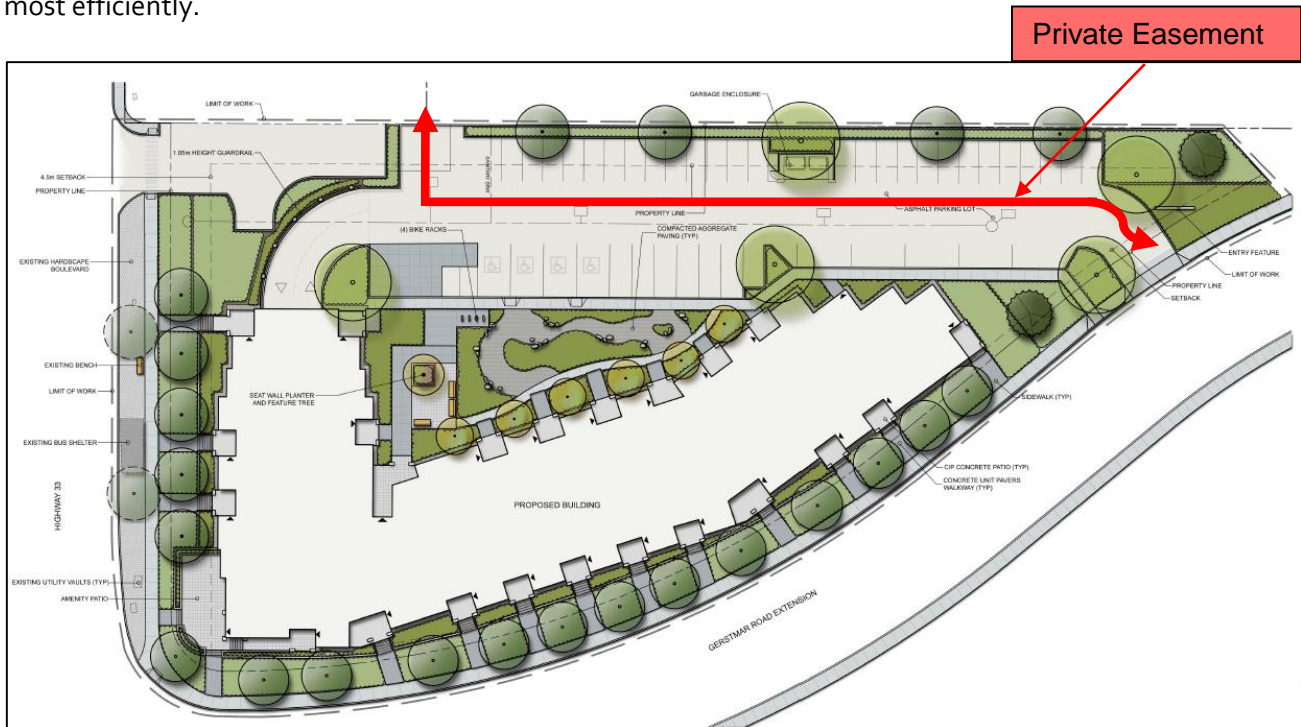
3.3 Neighbouring Parcel

The neighbouring parcel at 1220 Hwy 33 W has their access at the north of their property on Kneller Road. As a part of the closure of Kneller Road, a public lane was created in order to connect their existing driveway access. This was necessary as the Ministry of Transportation and Infrastructure (MOTI) would only approve a rezoning if Kneller Road is closed and if 1220 Hwy 33 W is prevented from having their own driveway access to the highway.

The solution was to provide a private easement through the private parking lot for the potential redevelopment of 1220 Hwy 33 West. From a site design perspective this proposal utilizes the available space on the subject property most efficiently.



Location of Driveway



Private Easement

3.4 Development Variance Permit

There is one variance to reduce the number of full sized vehicle parking stalls and to increase the number of medium sized parking stalls. Staff prefer to see variances to the size of vehicle stalls rather to the total number of vehicle stalls and the applicant was able to provide the minimum according to the Zoning Bylaw. Staff do think this site will have more than enough parking even with the smaller sized vehicles as this is a non-profit rental project that tends to manage their parking more efficiently and the demand for parking in these projects tends to be less.

4.0 Proposal

4.1 Background

The Okanagan Métis and Aboriginal Housing Society (OMAHS) is a registered non-profit society dedicated to the provision of subsidized housing for the community and is the organization that will operate this facility. This type of housing is in high demand within Kelowna. OMAHS has secured support from BC Housing to fund the land purchase and the development for the provision of the apartment housing to be rented at 85% of market value.

OMAHS presently owns and manages several housing developments within Kelowna and West Kelowna, including 28 town house units at 115 Gerstmar Road, adjacent to the Subject Site. The new apartment building will become home to the OMAHS main office, allowing for on-site rental management for the new building and satellite management of their other properties.

The planned Gerstmar Road extension will be triggered by this development. The Ministry of Transportation and Infrastructure (MOTI) has requested that Kneller Road be closed to through traffic. The applicant has acquired the unused portion of Kneller Road right-of-way and has consolidated it with the subject site.

This application was submitted in 2015 and Council approved third reading February 16 2016. It has taken two years to complete the third reading conditions with the primary factor being the Ministry of Transportation approval which was received November 14th 2014.

4.2 Project Description

The current proposal is for a 78-unit, 3 storey apartment building placed on a single level concrete underground parkade with additional parking provided on the surface. The 3 storey wood-frame structure is proposed to be constructed in contemporary Okanagan styling incorporating a flat roof, balconies and large frame windows with solar shading. The exterior is finished with fiber cement siding, shingles, and paneling. The first floor provides ground-oriented access including private access from the street and a patio.

An application for Development Permit and Development Variance Permit has been submitted concurrently with the rezoning application. The architectural and landscape drawings have been submitted identifying conceptual building elevations along with a detailed site plan, parking plan and landscaping plan. After initial review of the Development Permit, the proposed development is complementary in nature to the existing developments along the Hwy 33 corridor.

4.3 Site Context

The subject site is just less than 5,000 m². The site is currently vacant. The site is surrounded on the north, east and west by established residential properties. There is a small development of single-family residential to the north (Kneller Road and Kneller Court), with multiple-family residential beyond. Multiple family residential developments are also located to the east and west of the Subject Site. Land uses to the south and southeast, across Highway 33, are institutional (Rutland Seventh-Day Adventist Church) and commercial (Shell gas station). The subject property is designated as MRL – Multiple Unit Residential (Low Density) and is within the Permanent Growth Boundary. Specifically, the adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot house RU6 – Two Dwelling Housing	Residential
East	RM3 – (Low Density Multiple Housing)	Residential
South	P2 – Education and Minor Institutional C1 – Local Commercial	Institutional Commercial
West	RU1 – Large Lot house RM3 – (Low Density Multiple Housing)	Residential

Subject Property Map: 1170 Hwy 33 W



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM3 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Height	10.0 m / 3.0 storeys	9.3 m / 3 storeys

Zoning Analysis Table		
CRITERIA	RM ₃ ZONE REQUIREMENTS	PROPOSAL
Front Yard (south)	4.5 m	4.5 m
Side Yard (north)	4.5 m (flanking)	8.6 m
Side Yard (east)	1.5 m (ground-oriented)	1.5 m
Rear Yard (west)	7.5 m	20.9 m
Site coverage of buildings	40 %	33 %
Site coverage of buildings, driveway, & parking	60 %	60 %
FAR	0.75	0.75
Parking Regulations		
Minimum Parking Requirements	(100 + 11 visitor) = 111 parking stalls	67 underground + 44 aboveground = 111 parking stalls
Ratio of Parking Stalls	Full size: 50% Min Medium Size: 40% Max Small Size: 10% Max	Full size: 34% ❶ Medium Size: 56.8% Small Size: 5.4%
Minimum Drive Aisle Width	7.0 m	8.0 m
Other Regulations		
Minimum Bicycle Parking Requirements	Class 1: 39 Class 2: 8	Class 1: 67 Class 2: 8
Private Open Space	387.5 m ²	621 m ²
❶ A variance to amend the ratio of parking stalls.		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 5: Development Process

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Sensitive Infill.² Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

Contain Urban Growth.³ Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

¹ City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Goals for a Sustainable Future, Objective 1 (Chapter 1 Introduction)

Housing Mix.⁴ Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

Building Height⁵:

- **Other Urban Centres:** Locate taller buildings in the geographic centre of Urban Centres and generally decrease height moving away from the centre, to a maximum of 4 storeys at the periphery of the Urban Centres, where adjoining land is designated for single/two unit housing.
- **South Pandosy:** Generally, 4 storeys. Six storeys within C4 or C9 zoned areas. Potential for 8 storeys where an architecturally distinct and significant buildings is placed at a corner, gateway or view terminus location that is of significance to the community or where a building is of cultural significance to the community.
- **Rutland:** Generally, 4 storeys. Six storeys within C4 or C9 zoned areas. Potential for up to 44 m height (12-14 storeys) in the core of Rutland, as identified in the C7 zone of the Zoning Bylaw.
- **Midtown:** 16 storeys, where the OCP designation provides for high-density multiple-units.
- **Capri/Landmark:** Generally, 4 storeys. Greater height (up to 12 storeys) may be supported on the Capri Shopping Centre site and in the area bordered by Dickson Avenue, Dayton Avenue, Springfield Road and Kirschner Road upon approval of a Council-endorsed comprehensive development plan for the site that provides for a variety of housing types (including but not limited to ground-oriented and rental apartment housing) and the provision of commercial space that is of an amount that, at minimum, equals that which existed in 2010.
- **Elsewhere:** For all areas of the City outside the Urban Centres, buildings heights shall be a maximum of four storeys for residential and six storeys for apartment hotels and hotels. Additional height restrictions may be imposed as a result of airport-related zoning regulations.

Objective 5.5: Ensure appropriate and context sensitive built form.

Building Height.⁶ In determining appropriate building height, the City will take into account such factors as:

- Contextual fit into the surrounding neighbourhood;
- Shadowing of the public realm;
- View impacts;
- Overlook and privacy impact on neighbouring buildings;
- Impacts on the overall skyline;
- Impacts on adjacent or nearby heritage structures;

Chapter 14: Urban Design Guidelines Amenities, ancillary Services and Utilities.⁵

- Locate loading, garbage, storage, utilities and other ancillary services away from public view. All such areas shall be screened and designed as an integral part of the building to minimize impact;
- Create attractive rear alley facades with high quality materials on buildings facing residential areas (e.g. rear building entrances, windows, balconies, plazas, and plantings).

Chapter 4: Land Use Designation Massing and Height.³

- Mitigate the actual and perceived bulk of buildings by utilizing appropriate massing, including:

⁴ City of Kelowna Official Community Plan, Policy 5.27.11 (Development Process Chapter)

⁵ City of Kelowna Official Community Plan, Policy 5.8.1 (Development Process Chapter)

⁶ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter). 3 City of Kelowna Official Community Plan, Chapter 14 (Urban Design Development Permits Area).

- Architectural elements (e.g. balconies, bay windows, cantilevered floors, cupolas, dormers);
- Visually-interesting rooflines (e.g. variations in cornice lines and roof slopes);
- Step back upper floors to reduce visual impact;
- Detailing that creates a rhythm and visual interest along the line of the building;
- Wall projections and indentations, windows and siding treatments as well as varied material textures should be utilized to create visual interest and to articulate building facades;
- Building frontages that vary architectural treatment in regular intervals in order to maintain diverse and aesthetically appealing streets.

6.0 Technical Comments

6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s)
- Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- A Hoarding permit is required and protection of the public from the staging area and the new building area during construction. Location of the staging area and location of any cranes should be established at time of DP.
- Requirements of the City of Kelowna fire prevention regulations bylaw No. 10760 for buildings 6 stories and greater are to be shown on the building permit drawings
- A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - a. An alternative solution proposal for code requirements must be accepted by the Chief Building Inspector prior to the release of the Development Permit
 - b. Door swings and proper exit distance for means of exiting are required. Door swings can not cross property and an additional stairwell may be required for travel distance of the residential floors.
 - c. Additional doors and/or corridors may be required to meet minimum exiting requirements of the commercial space. This may include moving of the internal rated exit stairwells to meet minimum distances and addition of rated corridors and additional doors.
 - d. Spatial calculation are required between commercial units which may affect the form and character is glazing is required to be reduced.
 - e. Dedicated exits are required from the amenity deck to the public corridor.
 - f. Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - g. Access to the roof is required per NFPA and guard rails may be required and should be reflected in the plans if required.
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. A minimum Geodetic Elevation of 343.66 meters is required for all habitable spaces including the parking garage(s).
- We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent properties is a civil action which does not involve the city directly. The items of potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work etc.

- Fire resistance ratings are required for storage, janitor and/or garbage enclosure room(s). The drawings submitted for building permit is to clearly identify how this rating will be achieved and where these area(s) are located.
- An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units, number of required exits per area, door swing direction, handrails on each side of exit stairs, width of exits etc.
- Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
- Mechanical Ventilation inlet and exhausts vents are not clearly defined in these drawings for the enclosed parking storeys. The location and noise from these units should be addressed at time of Development Permit.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this structure at time of permit application.

6.2 Development Engineering Department

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. General.

Requirements identified in the rezoning application under file Z15-0041 must be satisfied prior to issuing this development permit

2. Domestic water and fire protection.

This development is within the service area of the Rutland Waterworks District (RWDD).

3. Site grading.

Provide a site grading plan.

4. Drainage.

Provide a comprehensive site drainage management plan and design in accordance with the City's Bylaws and policies.

Variances

Do not compromise municipal services.

6.3 Fire Department

- Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required.
- Engineered Fire Flow calculations are required to determine Fire Hydrant requirements as per the City of Kelowna Subdivision Bylaw #7900. New hydrants on this property shall be operational prior to the start of construction and shall be deemed a private hydrant
- All buildings shall be addressed off of the street it is accessed from.

- A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD
- Fire Department access is to be met as per BCBC 3.2.5.
- Approved Fire Department steel lock box acceptable to the fire dept. is required by the fire dept. entrance and shall be flush mounted
- All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met
- Fire alarm system is to be monitored by an agency meeting the CAN/ULC S561 Standard.
- Contact Fire Prevention Branch for fire extinguisher requirements and placement.
- Fire department connection is to be within 45M of a fire hydrant - unobstructed.
- Ensure FD connection is clearly marked and visible from the street
- Standpipes to be located on intermediate landings.
- Sprinkler zone valves shall be accessible as per fire prevention bylaw - less than 7 feet from floor
- Dumpster/refuse container must be 3 meters from structures or overhangs or in a rated room in the parking garage
- Do not issue BP unless all life safety issues are confirmed

7.0 Application Chronology

Date of Application Received (complete):	August 5 th 2015
Date of Notification Letters:	Aug 25 th 2015
Date of First Reading:	Feb 1 st 2016
Date of Public Hearing:	Feb 16 th 2016
Date of MOTI Approval:	Nov 10 th 2017

Prepared by:	Adam Cseke, Urban Planner
Reviewed by:	Terry Barton, Urban Planning Manager
Approved for:	Ryan Smith, Community Planning Department Manager

Attachments:

DP15-0176 & DVP15-0177

Development Permit & Development Variance Permit DP15-0176 & DVP15-0177



This permit relates to land in the City of Kelowna municipally known as

150 Kneller Rd

and legally known as

Lot 2, Section 27, Township 26, ODYD, Plan EPP63257

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

Section 8.1.11 (a) Size and Ratio

To vary the ratio of vehicular parking stalls sizes from: min 50% Full size, max 40% medium size, & max 10% compact size to 34.2% Full size, 5.8% medium size, & 5.4% compact size.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: February 20th 2017

Decision By: CITY COUNCIL

Issued Date: **DATE**

Development Permit Area: Comprehensive Development Permit Area

File Manager: AC

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: RM3 – Low Density Multiple Housing

Future Land Use Designation: MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Okanagan Metis & Aboriginal Housing Society Inc. No. Soo21636
Address: 240 – 1855 Kirshner Road
City: Kelowna, BC
Phone: n/a

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$116,220.10
- OR
- b) An Irrevocable Letter of Credit in the amount of \$116,220.10

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

SCHEDULE A & B

This forms part of application

DP15-0176 / DVP15-0177

Planner
Initials

AC

City of
Kelowna
COMMUNITY PLANNING



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original use for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.
Verify all dimensions and details prior to commencement of work.
Report all errors and omissions to the Architect.



NEW TOWN
ARCHITECTURE
URBAN PLANNING
CIVIL ENGINEERING
www.newtownservices.ca

SEAL



Revisions

1	17-01-08	70% PROGRESS
2	17-01-24	ISSUED FOR BP
3	17-02-16	95% PROGRESS
4	17-02-20	RE-ISSUED FOR BP
5	17-03-27	ISSUED FOR CONSTRUCTION
6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

OMAHs - NISSEN CROSSING

78 UNIT MULTI - FAMILY RESIDENTIAL BUILDING ON GERSTMAR AND HIGHWAY 33



ARCHITECTURAL

NEW TOWN ARCHITECTURE & ENGINEERING INC.
1441 St. Paul Street Kelowna, B.C. V1Y 2E5
Roman Yanchukov, Architect AIBC
ph: 250.860.9555, fax: 250.860.9555
roman@newtownservices.ca

A0.00	COVERPAGE AND DWG LIST	A6.00	WALL SECTIONS
A0.01	ZONING & BUILDING CODE REVIEW	A6.01	WALL SECTIONS
A0.02	EXITING AND BUILDING CODE REVIEW PLANS	A6.02	WALL SECTIONS
A0.03	DOOR & WINDOW SCHEDULE	A6.03	WALL SECTIONS
A1.00	BUILDING ASSEMBLIES	A7.00	STAIR 1 DETAILS
A2.00	SITE PLAN	A7.01	STAIR 2 DETAILS
A3.00	PARKADE OVERALL PLAN	A7.02	STAIR SECTIONS
A3.01	LEVEL 1 OVERALL PLAN	A8.00	PLAN DETAILS
A3.02	LEVEL 2 OVERALL PLAN	A8.01	PLAN DETAILS
A3.03	LEVEL 3 OVERALL PLAN	A8.02	SECTION DETAILS
A3.04	ROOF OVERALL PLAN	A8.03	SECTION DETAILS - DECK
A3.05	UNIT PLANS	A8.04	SECTION DETAILS - ELEVATOR
A3.06	UNIT AND COMMON ROOM PLANS	A8.05	SECTION DETAILS
A3.07	ELEVATOR PLANS	A8.06	DETAILS
A3.08	ELEVATOR PLANS	A8.07	DETAILS
A3.09	LAUNDRY ROOMS	A8.08	DETAILS
A3.10	LEVEL 1 - SLAB EDGE PLAN		
A3.11	LEVEL 1 OVERALL - RCP		
A3.12	LEVEL 2 OVERALL - RCP		
A3.13	LEVEL 3 OVERALL - RCP		
A4.00	EXTERIOR ELEVATIONS		
A4.01	PERPENDICULAR ELEVATIONS		
A5.01	BUILDING SECTIONS		
A5.02	BUILDING SECTIONS		

STRUCTURAL

ROY CONSULTING INC. STRUCTURAL ENGINEERS
11-2040 Spruill Road Kelowna, B.C. V1Y 9B7
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S1.0	SPECIFICATIONS
S1.1	SPECIFICATIONS
S2.0	FOUNDATION PLAN
S2.1	SUSPENDED SLAB PLAN - BOTTOM REINFORCING
S2.2	SUSPENDED SLAB PLAN - TOP REINFORCING
S3.0	CONCRETE SECTIONS AND DETAILS
S3.1	CONCRETE SECTIONS AND DETAILS
S3.2	CONCRETE SECTIONS AND DETAILS
S4.0	LEVEL 2 FRAMING PLAN
S4.1	LEVEL 3 FRAMING PLAN
S4.2	ROOF FRAMING PLAN
S5.0	WOOD FRAMING SECTIONS AND DETAILS
S5.1	WOOD FRAMING SECTIONS AND DETAILS

MECHANICAL

M1	SYMBOL LEGEND, LOAD SUMMARY TABLES AND INSTALLATION DETAILS
M2	FOUNDATION PLAN - MECHANICAL
M3	PARKADE FLOOR PLAN - MECHANICAL
M4	LEVEL 1 FLOOR PLAN - MECHANICAL
M5	LEVEL 2 FLOOR PLAN - MECHANICAL
M6	LEVEL 3 FLOOR PLAN - MECHANICAL
M7	ROOF PLAN - MECHANICAL
M8	UNIT PLANS - MECHANICAL
M9	LARGE SCALE PLANS - MECHANICAL
M10	SANITARY, DOMESTIC WATER AND CORRIDOR MAKE-UP AIR RISER DIAGRAMS
M11	EQUIPMENT SCHEDULES
M12	MECHANICAL SPECIFICATIONS

ELECTRICAL

PVE ENGINEERING LTD.
16-442 West Fraser St. Kelowna, B.C. V1Y 1T5
Stephen Jacob, P.Eng.
ph: 250.815.5750, fax: 250.815.7622
sjacob@pveengineering.com

E1.0	SITE PLAN, SINGLE LINE DIAGRAM, SYMBOL LEGEND
E1.1	PARKING PLAN - WEST
E1.2	PARKING PLAN - EAST
E1.3	LEVEL 1 - WEST
E1.4	LEVELS 2, 3
E1.5	ROOF PLAN
E1.6	SUITE PLANS, TYPICAL SUITE PANEL LUMINAIRE SCHEDULE
E2.0	PANEL SCHEDULES, EQUIPMENT SCHEDULES
E2.1	PANEL SCHEDULES, EQUIPMENT SCHEDULES

CIVIL

D.E. PILLING & ASSOC. LTD.
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dilling@pilling.ca

2347-C1	COMPOSITE UTILITY PLAN
2347-D1	GRADING PLAN & STORM WATER MANAGEMENT PLAN
2347-D2	S.W.M. & GRADING PLAN
2347-H1	LANDING AND GEOMETRICS
2347-R1	KNELLAR PLAN AND PROFILE
2347-R3	I-BUS MOVEMENTS



TRUE NORTH



KEYPLAN: 1170 HIGHWAY 33

project title
**OMAHs - NISSEN
CROSSING**

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

revision

drawing title
**COVERPAGE
AND DWG LIST**

designed R.Y. / R.B.

drawn J.F. / R.B.

checked R.Y.

drawing no.

project Aug 03, 2017

A0.00

ZONING SUMMARY		
ADDRESS	1170 HIGHWAY 33W	
LEGAL DESCRIPTION	PARCEL B OF LOT 4, SECTIONS 26 AND 27, TP 26, COYO, PLAN 428	
DEVELOPMENT PERMIT AREA	GENERAL MULTIPLE UNIT OF AREA	
EXISTING ZONING	RUI - LARGE LOT HOUSING	
PROPOSED ZONING	RM0 - LOW DENSITY MULTIPLE HOUSING	
EXISTING LEGAL USE	SINGLE FAMILY	
GRADES	VARIES - SLOPES APPROXIMATELY 1.5m DOWN TOWARD HIGHWAY 33	
NUMBER OF BUILDINGS	1	
REQUIREMENTS FOR ALL DEVELOPMENT PERMIT APPLICATIONS		
	ZONING STANDARD	PROPOSED ZONING
SITE AREA (m²)	MIN 300m	4,915m
SITE DEPTH (m)	MIN 30m	44m
OFF STREET PARKING	113 STALLS	87 UIC AND 44 AG + 111 STALLS
PRIVATE OPEN SPACE	REFER TO CALCULATIONS	REFER TO CALCULATIONS
HEIGHT OF BUILDINGS / # STOREYS	9m OR 3 STOREYS	3 STOREYS (9.3m)
SITE COVERAGE OF BUILDINGS (%)	40%	35%
SITE COVERAGE INCLUDING BUILDINGS, DRIVEWAYS, AND PARKING	60%	60%
ADDITIONAL REQUIREMENTS FOR COMMERCIAL, INDUSTRIAL, AND MULTIPLE UNIT / INTENSIVE RESIDENTIAL APPLICATION		
	ZONING STANDARD	PROPOSED ZONING
NUMBER OF BICYCLE PARKING SPACES	47 STALLS	47 STALLS
NUMBER OF LOADING SPACES	N/A (RESIDENTIAL)	0
DRIVE AISLE WIDTH	7m	7m
SETBACKS TO PARKING		
SOUTH (FRONT)	N/A	N/A
NORTH (REAR)	1.5m	8.5m
EAST (SIDE)	1.5m	N/A
WEST (SIDE)	1.5m	1.5m
FLOOR AREA NET	REFER TO CALCULATIONS	REFER TO CALCULATIONS
FLOOR AREA RATIO (F.A.R.)	.75	.75
BUILDINGS, SETBACK		
SOUTH (FRONT)	4.5m (HIGHWAY 33 SETBACK)	4.5m (HIGHWAY 33 SETBACK)
NORTH (SIDE)	4.5m (PLANNING STREET)	8.5m
EAST (SIDE)	1.5m (GROUND ORIENTED SUITES)	1.5m (GROUND ORIENTED SUITES)
WEST (SIDE)	4.5m	20.5m

PARKING CALCULATION		
STALL SIZE		BYLAW 8005 TABLE 8.1
FULL SIZE CAR STALL		2.5m WIDE x 6.0m DEEP
MEDIUM SIZE CAR STALL (M1)		2.3m WIDE x 6.0m DEEP
COMPACT CAR STALL (C2)		2.0m WIDE x 5.4m DEEP
DISABLE PERSONS CAR STALL		3.7m WIDE x 6.0m DEEP
DRIVE AISLE (2 WAY, 90 DEGREE STALLS)		7m
PARKING		
REQUIRED BY BYLAW	PROPOSED	
1.0 STALL PER STUDIO + 0 UNITS	= 8 STALLS	1.0 STALL PER STUDIO + 0 UNITS = 8 STALLS
1.25 STALL PER 1 BEDROOM + 0 UNITS	= 45 STALLS	1.25 STALL PER 1 BEDROOM + 0 UNITS = 45 STALLS
1.50 STALL PER 2 BEDROOM + 0 UNITS	= 27 STALLS	1.50 STALL PER 2 BEDROOM + 0 UNITS = 27 STALLS
TOTAL RESIDENTIAL PARKING	= 100 STALLS	TOTAL RESIDENTIAL PARKING = 100 STALLS
OFFICE PARKING (50m) 2.5 PER 100m GFA	= 1 STALL	OFFICE PARKING (50m) 2.5 PER 100m GFA = 1 STALL
TOTAL PARKING STALLS	= 101 STALLS	TOTAL PARKING STALLS = 101 STALLS
PARKING RATIO		
REQUIRED BYLAW	PROPOSED	
LARGE CAR	40%	LARGE CAR 34.2%
MEDIUM CAR	40%	MEDIUM CAR 36.9%
COMPACT CAR	10%	COMPACT CAR 9.4%
HANDICAP PARKING	1% (30m)	HANDICAP PARKING 3.0%
HIC PARKING		
HANDICAP PARKING (1 PER 100 UNITS) = 1 PER 100 STALLS	= 4 STALLS	HANDICAP PARKING (1 PER 100 UNITS) = 1 PER 100 STALLS = 4 STALLS
LOADING ZONE		
BYLAW 8005 TABLE 8.2		
NA		
BICYCLE PARKING		
BYLAW 8005 TABLE 8.3		
BICYCLE PARKING (CLASS 1) 5 PER DWELLING UNIT	= 30	1 PER PARKADE STALL
BICYCLE PARKING (CLASS 2) 1 PER DWELLING UNIT	= 6	
TOTAL BICYCLE PARKING	= 47 STALLS	TOTAL BICYCLE PARKING = 47 STALLS

BUILDING CODE REVIEW		
BUILDING DESCRIPTION: 3 STOREY RESIDENTIAL BUILDING ON A ONE STORY PARKADE		
NOTE: PARKADE IS TO BE CONSIDERED AS A SEPARATE BUILDING IN ACCORDANCE WITH 3.2.1.2		
OCCUPANCY	GROUP C	GROUP F3
ARTICLE	3.2.2.82	3.2.2.82
NUMBER OF STOREYS	3 LEVELS ABOVE PARKADE	4 LEVELS INCLUDING PARKADE
NUMBER OF STREETS FACING	4	4
MAX. BUILDING AREA	2,400m²	3,800m²
CONSTRUCTION TYPE	COMBUSTIBLE / NON COMBUSTIBLE	NON COMBUSTIBLE
SPRINKLERED	YES (MPPA 151)	YES (MPPA 151)
ASSEMBLY RATINGS	RESIDENTIAL	PARKADE
FLOORS	1 HR FIRE RATED ASSEMBLY	2 HR FIRE RATED ASSEMBLY
WALLS / STRUCTURE	1 HR FIRE RATED ASSEMBLY	2 HR FIRE RATED ASSEMBLY
ROOF	1 HR FIRE RATED ASSEMBLY	2 HR FIRE RATED ASSEMBLY

BUILDING AND FLOOR AREAS			
NET AREAS			
UNIT TYPE	UNIT AREA	# UNITS	TOTAL AREA
A ONE BEDROOM	510 sq.ft. (47m²)	50	25,500 sq.ft. (2,369 m²)
A2 ONE BEDROOM	572 sq.ft. (53m²)	2	1,144 sq.ft. (106 m²)
B TWO BEDROOM	685 sq.ft. (63m²)	6	4,110 sq.ft. (387 m²)
C TWO BEDROOM	685 sq.ft. (63m²)	5	3,425 sq.ft. (316 m²)
C1 TWO BEDROOM	685 sq.ft. (63m²)	3	2,040 sq.ft. (189 m²)
D STUDIO	312 sq.ft. (29m²)	9	2,808 sq.ft. (261 m²)
E TWO BEDROOM	867 sq.ft. (80m²)	3	2,601 sq.ft. (242 m²)
TOTALS		78	41,883 sq.ft. (3,871 m²)

LEVEL 1 OFFICE AREA	756 sq.ft. (70m²)
LEVEL 1 COMMON AREA	1,039 sq.ft. (96m²)
TOTAL NET AREA FOR F.A.R.	45,407 sq.ft. (4,203m²)
F.A.R. FOR RM0 + 75	BYLAW 8005 13.6.4
GFA AREAS	
PARKADE	20,023 sq.ft. (1,860 m²)
LEVEL 1	17,333 sq.ft. (1,610 m²)
LEVEL 2	17,262 sq.ft. (1,594 m²)
LEVEL 3	17,262 sq.ft. (1,594 m²)
TOTAL GFA	51,557 sq.ft. (4,798 m²)
BUILDING EFFICIENCY	43,407 sq.ft. / 51,557 sq.ft. = 84.19%

SITE INFO AND AREAS	
SITE AREA	2,299m² (ORIGINAL LOT) + 1,913m² (INELLAR LANE AREA) = 4,212m² (52,946 sq.ft.)
LEVEL 1 FOOTPRINT AREA	17,333 sq.ft. (1,610 m²)
PARKADE LEVEL, DRIVEWAYS, AND PARKING AT GRADE	35,255 sq.ft. (3,275 m²)

MAX SITE COVERAGE	40% MAX
CURRENT SITE COVERAGE (BUILDING)	20% (17,333 / 82,946 = 20%)
MAX SITE COVERAGE (BUILDING, DRIVEWAYS, AND PARKING)	60% MAX
CURRENT SITE COVERAGE (BUILDING)	(BUILDING + 1,913m²) + (DRIVEWAYS AND PARKING + 1,357m²) = 3,267m²
	2,870m² / 4,915m² (INCL. DRIVEWAYS AND ADDITIONAL PROPERTY) = 58.39%
SITE AREA REQUIRED TO MEET F.A.R. REQUIREMENTS (RM0 + 75)	43,407 sq.ft. / 75 = 578.76 sq.ft. (5,377 m²)
TOTAL AREA PROVIDED FOR F.A.R.	4,915m² + 1,982m² = 6,897m²

PRIVATE OPEN SPACE	
LEVEL 1	
A ONE BEDROOM	16 15m 27m (TYP) 240m 432m
A2 ONE BEDROOM	0 15m 0 0 0
B TWO BEDROOM	2 25m 37m 50m 74m
C TWO BEDROOM	1 25m 45m 25m 45m
C1 TWO BEDROOM	1 25m 45m 25m 45m
D STUDIO	3 7.5m 0 22.5m 0
E TWO BEDROOM	1 25m 25m 25m 25m
	387.5m 621m
LEVEL 1 - LANDSCAPED COMMON OPEN SPACE	1,724m

LEVEL 2		REQUIRED	PROVIDED (PATIO)	TOTAL REQUIRED	TOTAL PROVIDED
A ONE BEDROOM	17 15m 7m 255m 119m				
A2 ONE BEDROOM	1 15m 12.5m 15m 12.4m				
B TWO BEDROOM	2 25m 37m 50m 74m				
C TWO BEDROOM	2 25m 45m 25m 45m				
C1 TWO BEDROOM	1 25m 45m 25m 45m				
D STUDIO	3 7.5m 0 22.5m 0				
E TWO BEDROOM	1 25m 25m 25m 25m				
				417.5m 365.5m	
LEVEL 2 TOTAL				417.5m 365.5m	
LEVEL 3 (SIMILAR TO LEVEL 2)				417.5m 365.5m	
TOTAL				1,222.5m 1,076.5m	

LEVEL 3		REQUIRED	PROVIDED (PATIO)	TOTAL REQUIRED	TOTAL PROVIDED
A ONE BEDROOM	17 15m 7m 255m 119m				
A2 ONE BEDROOM	1 15m 12.5m 15m 12.4m				
B TWO BEDROOM	2 25m 37m 50m 74m				
C TWO BEDROOM	2 25m 45m 25m 45m				
C1 TWO BEDROOM	1 25m 45m 25m 45m				
D STUDIO	3 7.5m 0 22.5m 0				
E TWO BEDROOM	1 25m 25m 25m 25m				
				417.5m 365.5m	
LEVEL 3 TOTAL				417.5m 365.5m	
LEVEL 3 (SIMILAR TO LEVEL 2)				417.5m 365.5m	
TOTAL				1,222.5m 1,076.5m	

SPATIAL SEPARATION	
ARTICLE 3.2.3.1.0	
WINDOW OPENINGS AND WALL CONSTRUCTION ARE UNRESTRICTED AS THE LIMITING DISTANCE EXCEEDS 8m IN ALL CASES, OR THE BUILDING IS FROM A STREET IN ACCORDANCE WITH ARTICLE 3.2.3.1.0	

FIRE PROTECTION	
LOCATION OF HYDRANT TO SIMSE CONNECTION	45m MAX. 3.2.5.5
STANPIPE / HOSE	YES (IN EXIT STAIRS) 3.2.5.6
SPRINKLERED	YES
FIRE ALARM SYSTEM	YES 3.2.4.1
EXIT LIGHTS	YES
EMERGENCY LIGHTING	YES

OCCUPANT LOAD	
PARKADE LEVEL	180m / 45m PER PERSON = 41
LEVEL 1 - COMMON ROOM	126m / 95m PER PERSON = 133
LEVEL 1 - OFFICES	53m / 9.30m PER PERSON = 6
LEVEL 1 - RESIDENTIAL	24 UNITS x 2 PEOPLE / DWELLING UNIT = 48
LEVEL 2 AND 3 - RESIDENTIAL	(27 UNITS x 2 PEOPLE / DWELLING UNIT) x 2 = 108
TOTAL OCCUPANT LOAD	= 336

EXIT FACILITIES	
ARTICLE 3.2.3.1.0	
REQUIRED EXITS	2 PER FLOOR MINIMUM = 41
REQUIRED	
MIN. 800mm DOOR WIDTH	
MIN. 800mm STAIR WIDTH	
MIN. 1000mm EXIT CORRIDOR, RAMP, AND PASSAGEWAY WIDTH	
PARKADE LEVEL DOORS	6.1m / PERSON x 41 = 251mm 2 DOORS @ 900mm WIDE x 1,800mm
PARKADE LEVEL STAIRS	6.1m / PERSON x 41 = 251mm 2 STAIRS @ 1,067mm WIDE x 2,134mm
LEVEL 1 DOORS	6.1m / PERSON x 97 = 1,541mm 2 DOORS @ 900mm WIDE x 1,800mm
LEVEL 1 STAIRS	6.1m / PERSON x 97 = 1,541mm 2 STAIRS @ 1,067mm WIDE x 2,134mm
LEVEL 2 DOORS	6.1m / PERSON x 54 = 330mm 2 DOORS @ 900mm WIDE x 1,800mm
LEVEL 2 STAIRS	6.1m / PERSON x 54 = 330mm 2 STAIRS @ 1,067mm WIDE x 2,134mm

RESIDENTIAL UNITS	MIN. 1 DOOR - 900mm WIDE PER UNIT	1 DOOR - 950mm WIDE PER UNIT
EXIT THROUGH LOBBY		N/A (ARTICLE 3.4.4.2)
PANIC DOOR HARDWARE		REQUIRED (ARTICLE 3.4.6.16.1)
EXIT EXPOSURE		NO ADDITIONAL PROTECTION NEEDED (ARTICLE 3.2.3.1.0)
MAX TRAVEL DISTANCE	45m (RESIDENTIAL) AND 60m (PARKADE) (ARTICLE 3.4.2.5.1)	
EXIT RATINGS REQUIRED		
STAIR SHAFTS	1 HOUR IN RESIDENTIAL / 2 HOURS IN PARKADE (ARTICLE 3.4.4.1)	
CORRIDORS		1 HOUR (ARTICLE 3.2.4.1.1)

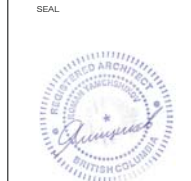
REQUIRED FIRE SEPARATIONS	
TENANTS / MAJOR OCCUPANCIES	
GROUP C TO F3	2 HOUR (ARTICLE 3.2.1.2)
GROUP C TO C	1 HOUR (ARTICLE 3.3.1.1)
SERVICE ROOMS	1 HOUR (ARTICLE 3.6.2)
JANITOR ROOMS	NON-RATED FIRE SEPARATION (ARTICLE 3.3.1.21.0)

BUILDING FIRE SAFETY	
SMOKE PROTECTION	NOT REQUIRED - SPRINKLERED (ARTICLE 3.2.3.16.4)
FLAME SPREAD RATING	COMPLIES (ARTICLE 3.1.10.2)
METAL SMOKE ASSEMBLIES	N/A (ARTICLE 3.1.14.2)
ROOF COVERING CLASSIFICATION	CLASS "A" (ARTICLE 3.1.15.2)
ATTIC FIRE STOPS	REQUIRED (ARTICLE 3.1.11.1)
MAX. ATTIC AREA	300m² WITH A FLAME SPREAD RATING GREATER THAN 25 (ARTICLE 3.1.11.5.1)
MAX. CRAWL SPACE AREA	N/A (ARTICLE 3.1.11.6.1)
CONCEALED FLOOR AREA	N/A (ARTICLE 3.1.11.5.1)
FIRE ALARM REQUIRED	YES
STANPIPE REQUIRED	YES
EMERGENCY LIGHTS / EXIT SIGNS REQUIRED	YES

ACCESSIBILITY REQUIREMENTS	
ACCESS TO MAIN ENTRANCE	REQUIRED YES PROVIDED YES
ACCESS TO ALL FLOORS	NO YES
ACCESSIBLE WASHROOMS	NO YES

WASHROOM REQUIREMENTS	
MIN. 1 PER DWELLING UNIT	YES YES
MIN. 1 PER OFFICE AREA	YES YES

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Revisions		
1	17-01-08	70% PROGRESS
2	17-01-21	ISSUED FOR BP
3	17-02-16	90% PROGRESS
4	17-02-20	RE-ISSUED FOR BP
5	17-03-27	ISSUED FOR CONSTRUCTION
6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAHAS - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELOWNA, BC

project no. 1560

file no.

drawing title

ZONING & BUILDING CODE REVIEW

designed R.Y. scale 1/8" = 1'-0"

drawn J.F. / R.B.

checked R.Y.

drawing no.

A0.01

project Aug 03, 2017

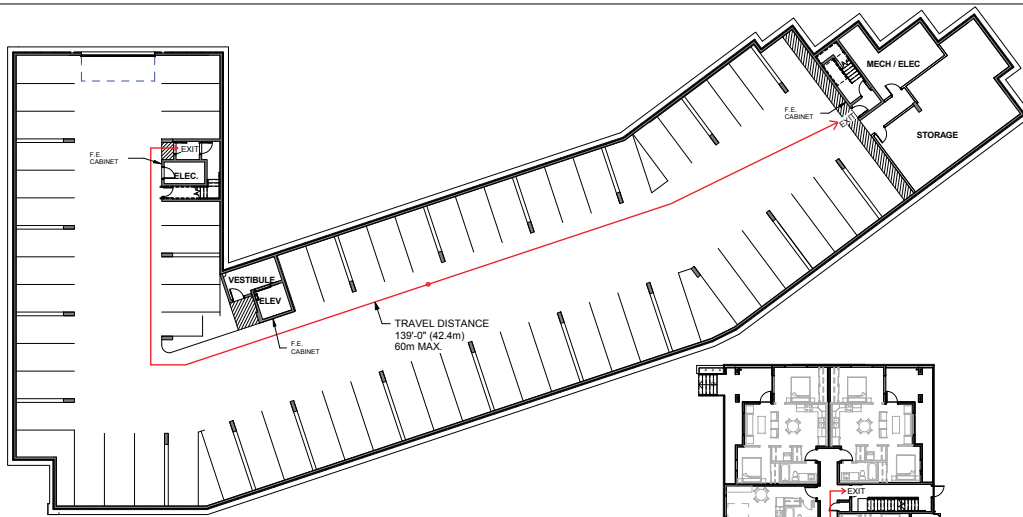
SCHEDULE A & B

This forms part of application

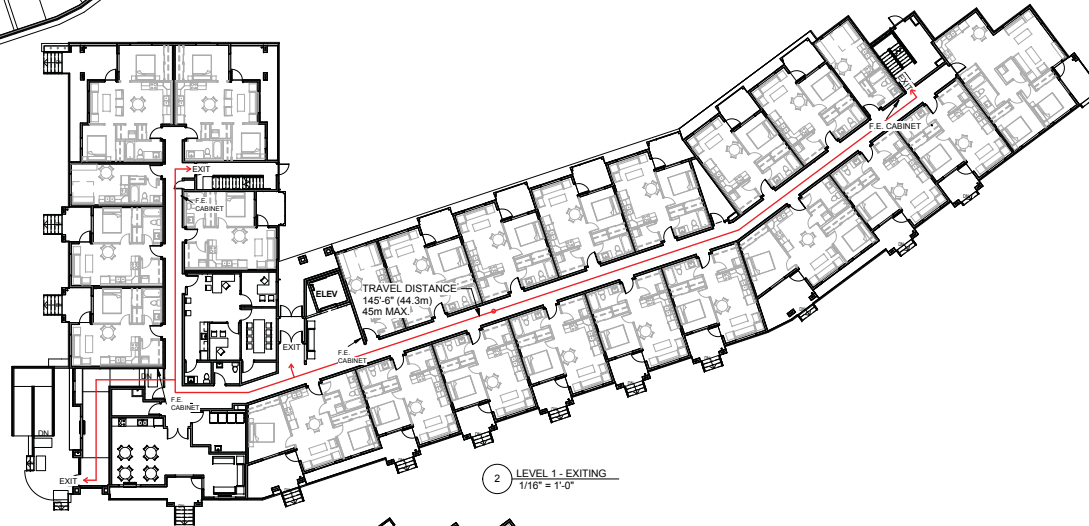
DP15-0176 / DVP15-0177

Planner Initials AC

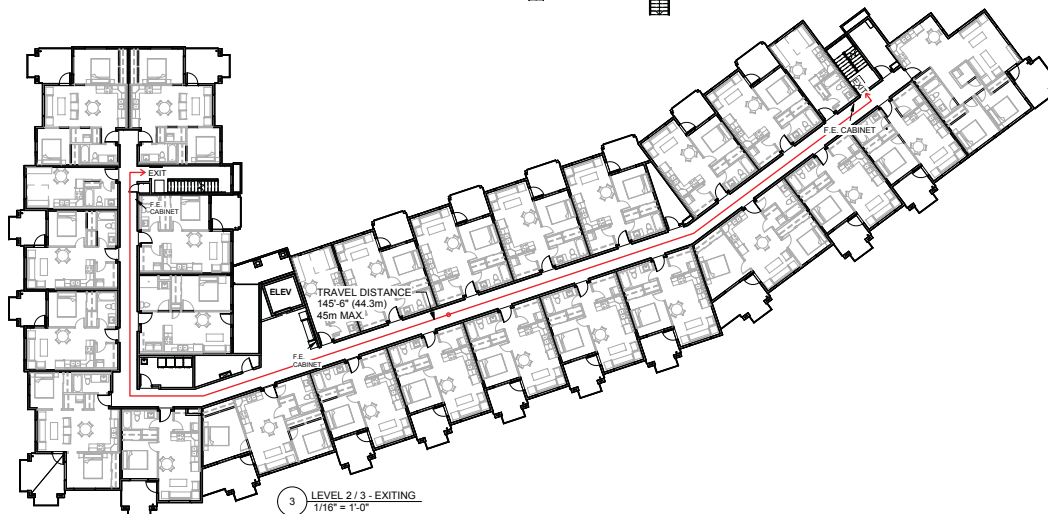




1 PARKADE - EXITING
1/16" = 1'-0"



2 LEVEL 1 - EXITING
1/16" = 1'-0"



3 LEVEL 2/3 - EXITING
1/16" = 1'-0"

SCHEDULE A & B

This forms part of application

DP15-0176 / DVP15-0177

Planner
Initials

AC



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ARCHITECTURE
URBAN PLANNING
CIVIL ENGINEERING
www.newtownservices.ca

SEAL



Revisions

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7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

file no.

drawing title
**EXITING AND
BUILDING
CODE REVIEW
PLANS**

designed R.Y. scale 1/16" = 1'-0"
drawn J.F./R.B.
checked R.Y.
drawing no.

A0.02

print Aug 03, 2017



SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner Initials

AC

City of Kelowna
COMMUNITY PLANNING

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

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 ARCHITECTURE
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SEAL



Revisions

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project title
OMAH'S - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELOWNA, BC

project no. 1580

file no.

drawing title
SITE PLAN

designed	R.Y.	scale	1/16" = 1'-0"
drawn	J.F./R.B.		
checked	R.Y.		
drawing no.			

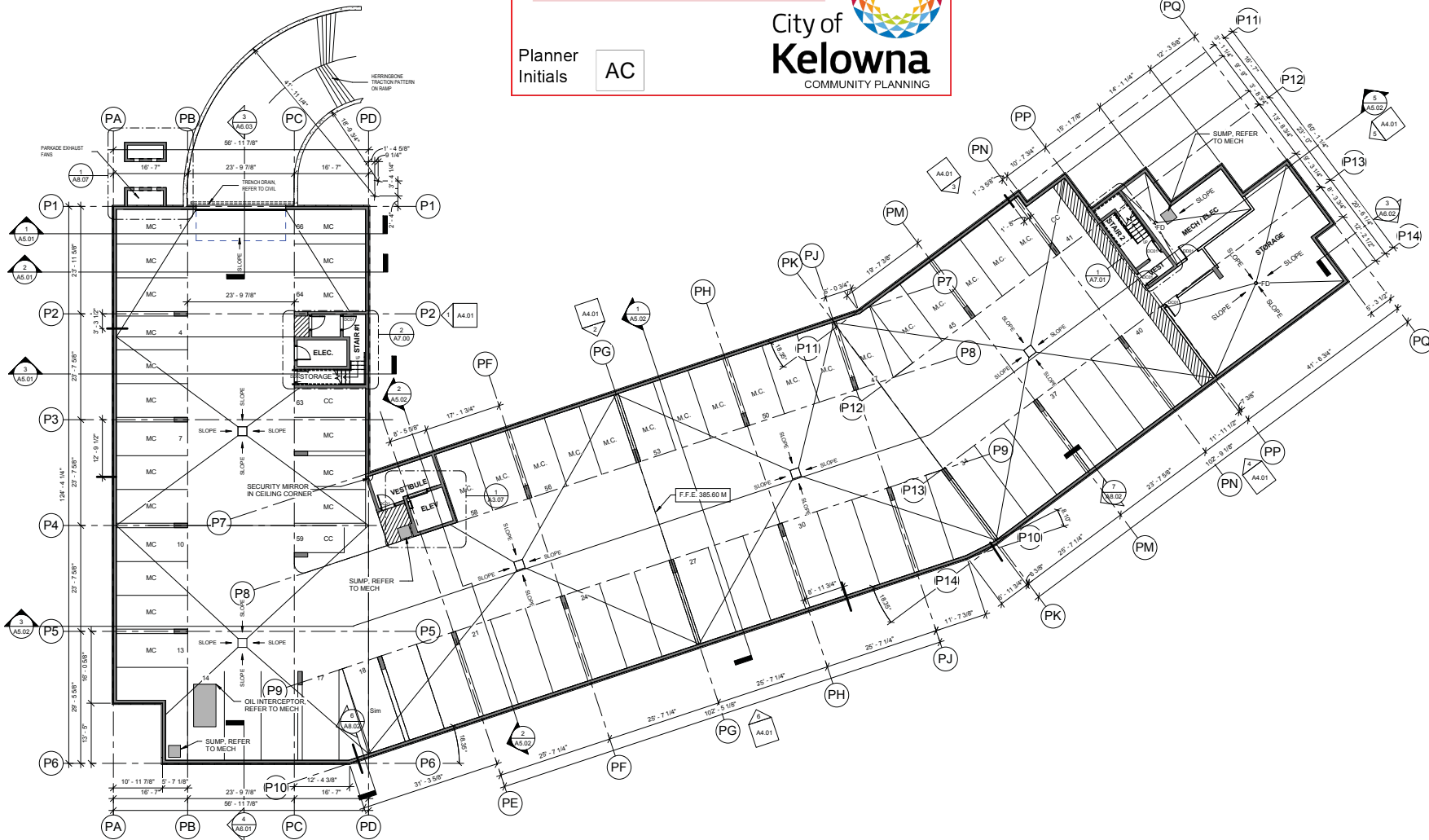
A2.00

printed Aug 03, 2017

SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner Initials AC



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SEAL



Revisions		
1	17-01-08	70% PROGRESS
2	17-01-24	ISSUED FOR BP
3	17-02-16	95% PROGRESS
4	17-02-20	RE-ISSUED FOR BP
5	17-03-27	ISSUED FOR CONSTRUCTION
6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1980

file no.

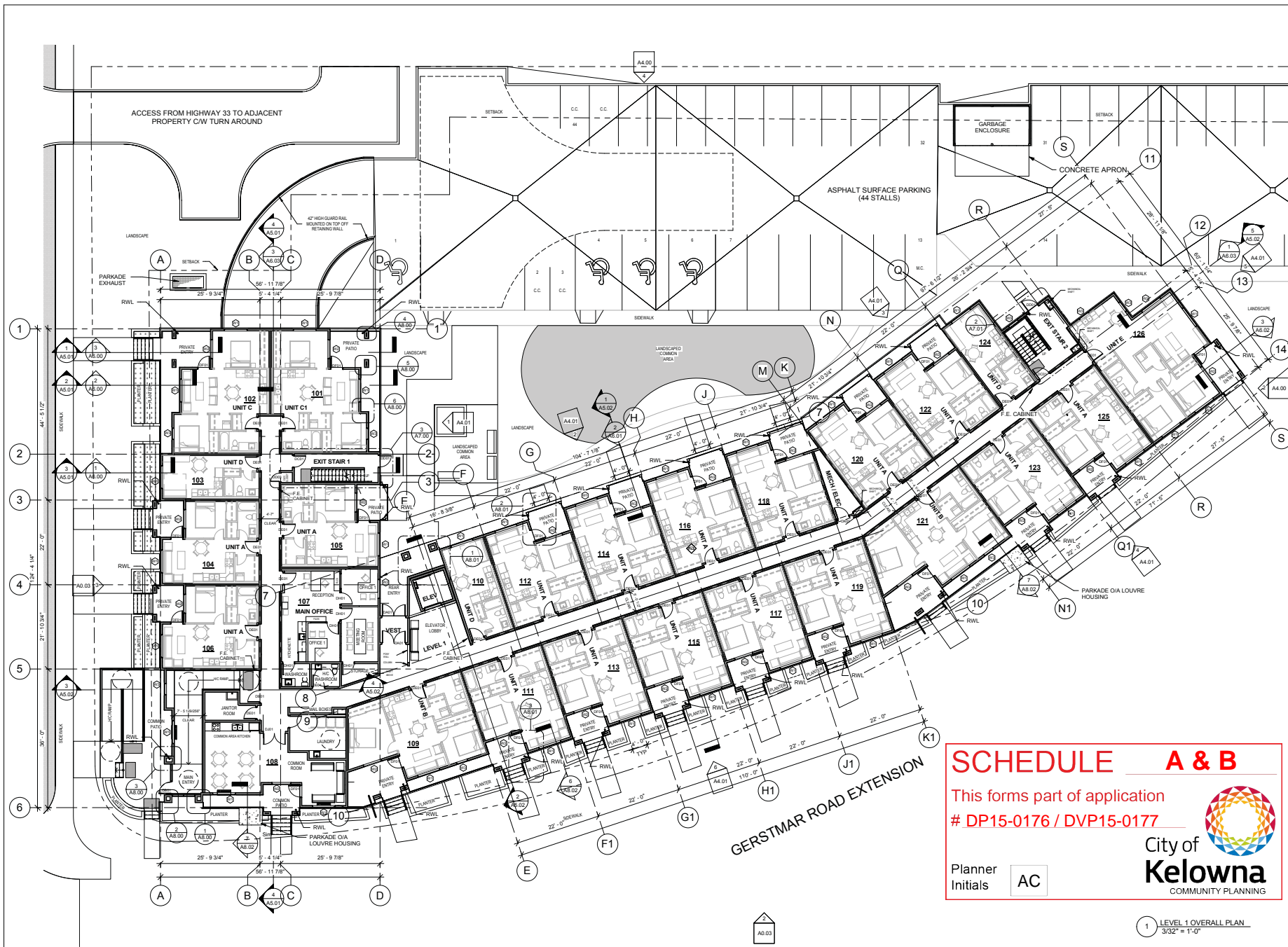
drawing title
**PARKADE
OVERALL PLAN**

designed R.Y. scale 3/32" = 1'-0"
drawn J.F./R.B.
checked R.Y.
drawing no.

A3.00

printed Aug 03, 2017

1 PARKADE OVERALL PLAN
3/32" = 1'-0"



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Revisions

1	17-01-06	70% PROGRESS
2	17-01-24	ISSUED FOR BP
3	17-02-16	95% PROGRESS
4	17-02-20	RE-ISSUED FOR BP
5	17-03-27	ISSUED FOR CONSTRUCTION
6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELLOWNA, BC

project no. 1580

date

drawing title

LEVEL 1 OVERALL PLAN

designed R.Y. scale 3/32" = 1'-0"

drawn J.F./R.B.

checked R.Y.

drawing no.

project Aug 03, 2017

A3.01

SCHEDULE A & B

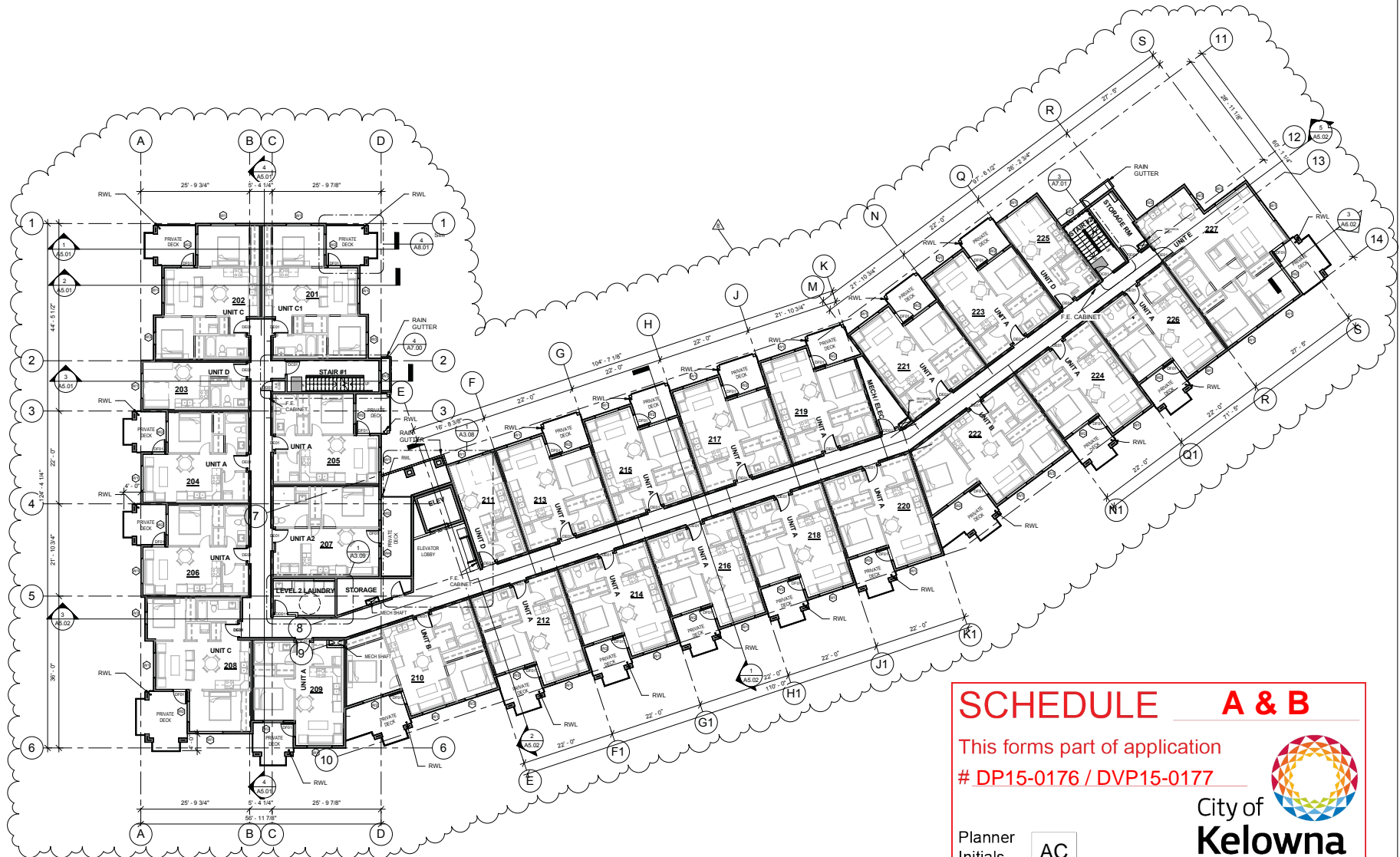
This forms part of application
DP15-0176 / DVP15-0177

Planner Initials **AC**

City of
Kelowna
COMMUNITY PLANNING



1 LEVEL 1 OVERALL PLAN
3/32" = 1'-0"



SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner Initials

AC

City of Kelowna
COMMUNITY PLANNING

1 LEVEL 2 OVERALL PLAN
3/32" = 1'-0"

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SEAL



Revisions		
1	17-01-08	70% PROGRESS
2	17-01-24	ISSUED FOR BP
3	17-02-16	95% PROGRESS
4	17-02-20	RE-ISSUED FOR BP
5	17-03-27	ISSUED FOR CONSTRUCTION
6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELOWNA, BC

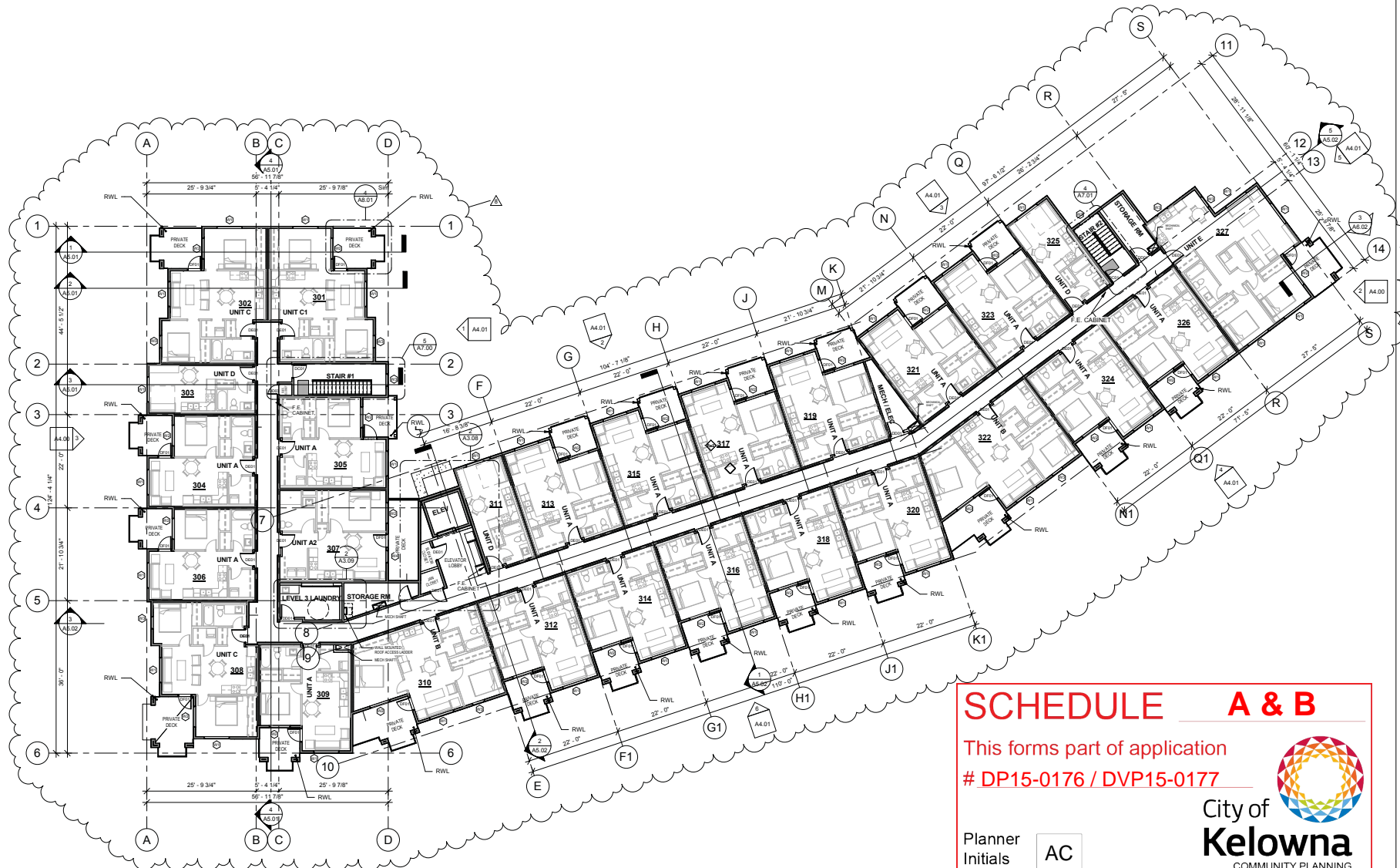
project no.
1580

date
1580

drawing title
LEVEL 2 OVERALL PLAN

designed R.Y. / J.F. / R.B.
drawn J.F. / R.B.
checked R.Y.
drawing no.
A3.02
issued Aug 03, 2017

A4.00



SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner Initials

AC

City of Kelowna
COMMUNITY PLANNING

1 LEVEL 3 OVERALL PLAN
3/32" = 1'-0"

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TRUE NORTH

SEAL



Revisions

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2	17-01-24	ISSUED FOR BP
3	17-02-16	95% PROGRESS
4	17-02-20	RE-ISSUED FOR BP
5	17-03-27	ISSUED FOR CONSTRUCTION
6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

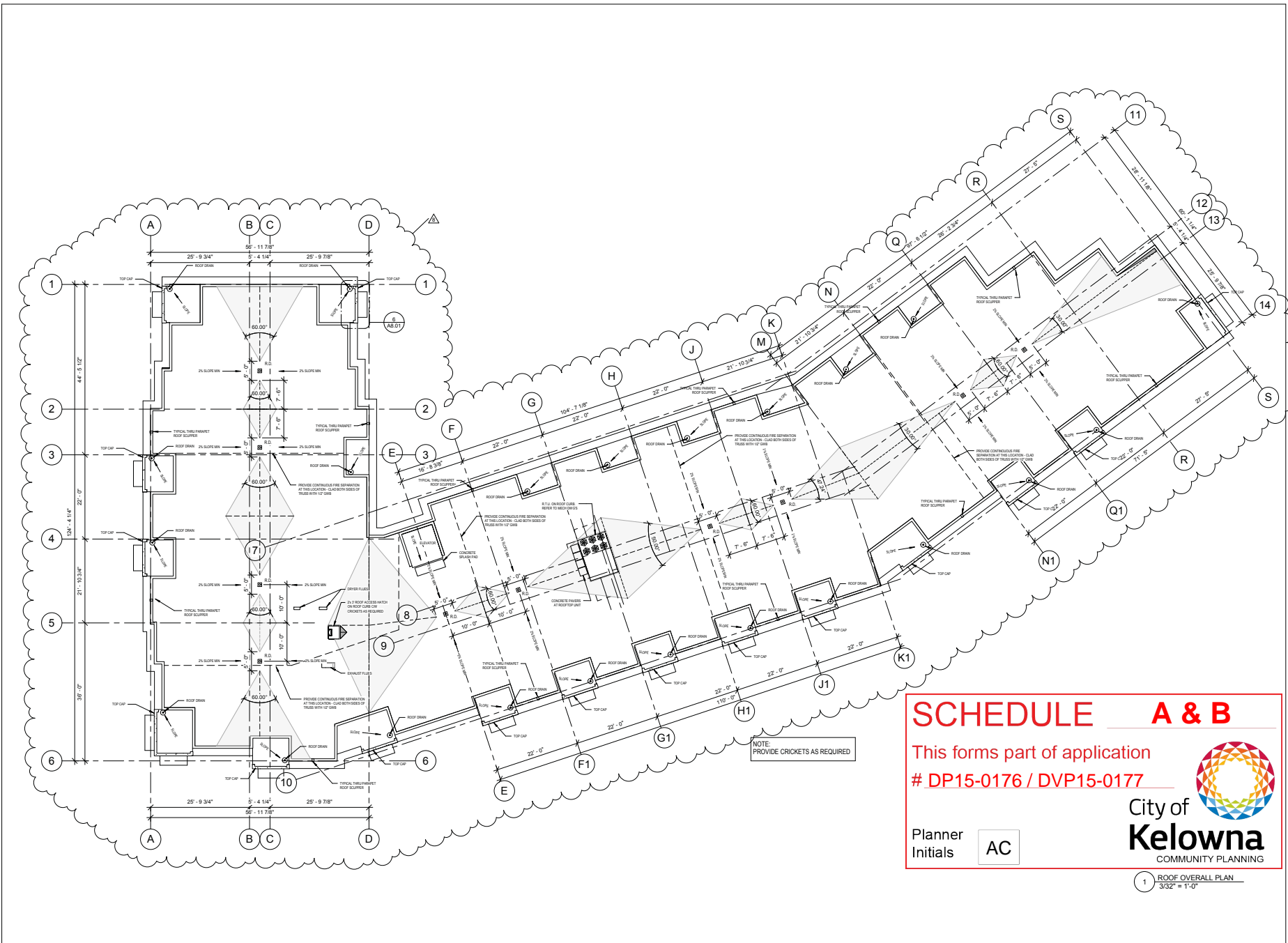
project address
1170 HIGHWAY 33, KELOWNA, BC

project no.
1582

revision
1582

drawing title
LEVEL 3 OVERALL PLAN

designed R.Y. / J.F. / R.B.
drawn J.F. / R.B.
checked R.Y.
drawing no.
A3.03
issued Aug 03, 2017



SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials

AC

City of Kelowna
COMMUNITY PLANNING

1 ROOF OVERALL PLAN
3/32" = 1'-0"

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TRUE NORTH

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3	17-02-16	95% PROGRESS
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6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no.
1580

revision
1580

drawing title
ROOF OVERALL PLAN

designed R.Y. / R.B. 3/32" = 1'-0"

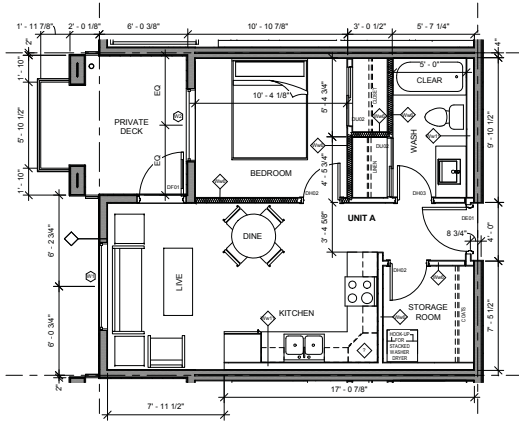
drawn J.F. / R.B.

checked R.Y.

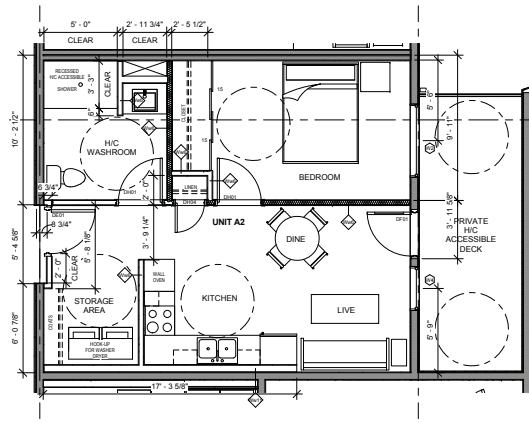
drawing no.

A3.04

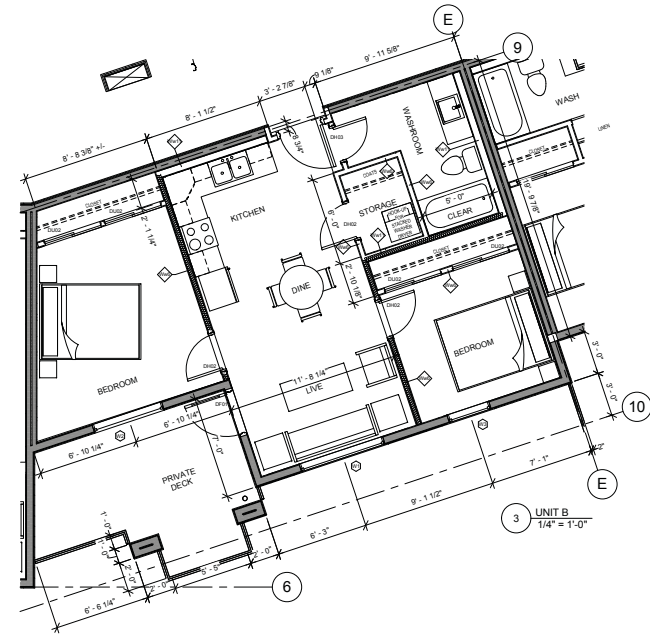
printed Aug 03, 2017



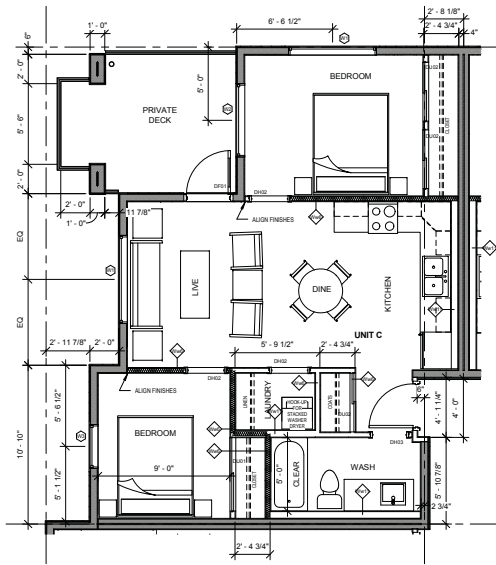
1 UNIT A
1/4" = 1'-0"



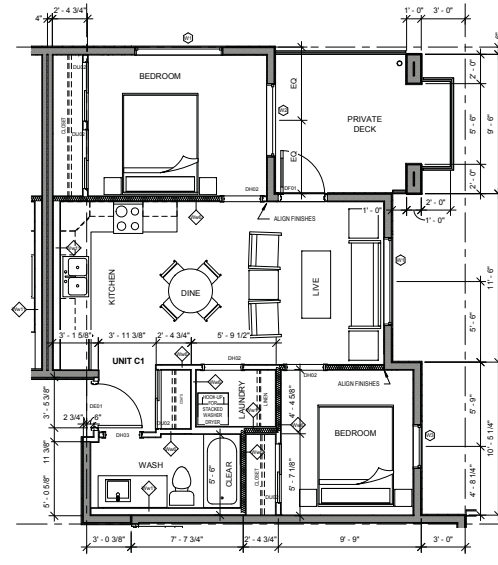
2 UNIT A2
1/4" = 1'-0"



3 UNIT B
1/4" = 1'-0"



4 UNIT C
1/4" = 1'-0"



5 UNIT C1
1/4" = 1'-0"

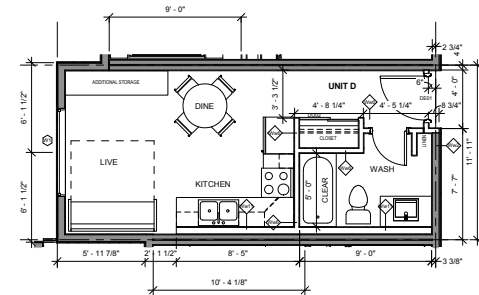
SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner Initials

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City of Kelowna
COMMUNITY PLANNING



6 UNIT D
1/4" = 1'-0"

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Revisions		
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4	17-02-20	RE-ISSUED FOR BP
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6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELLOWNA, BC

project no. 1580

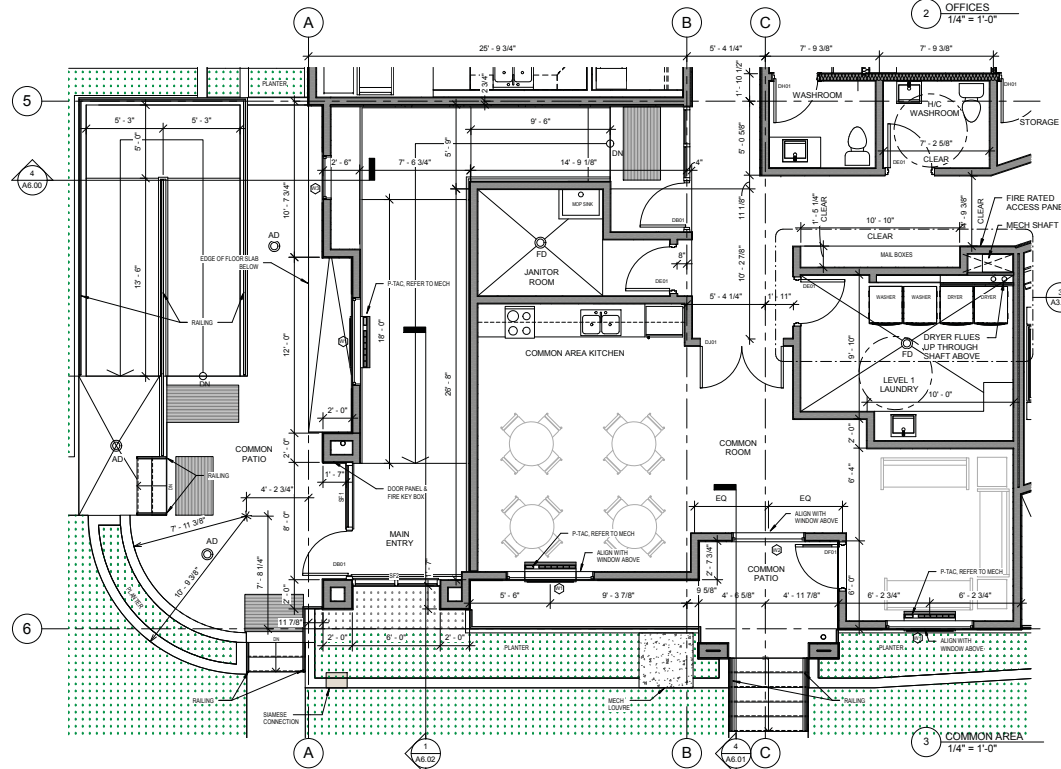
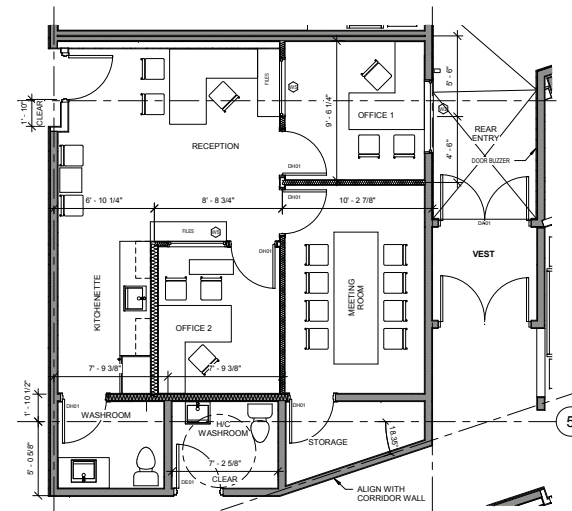
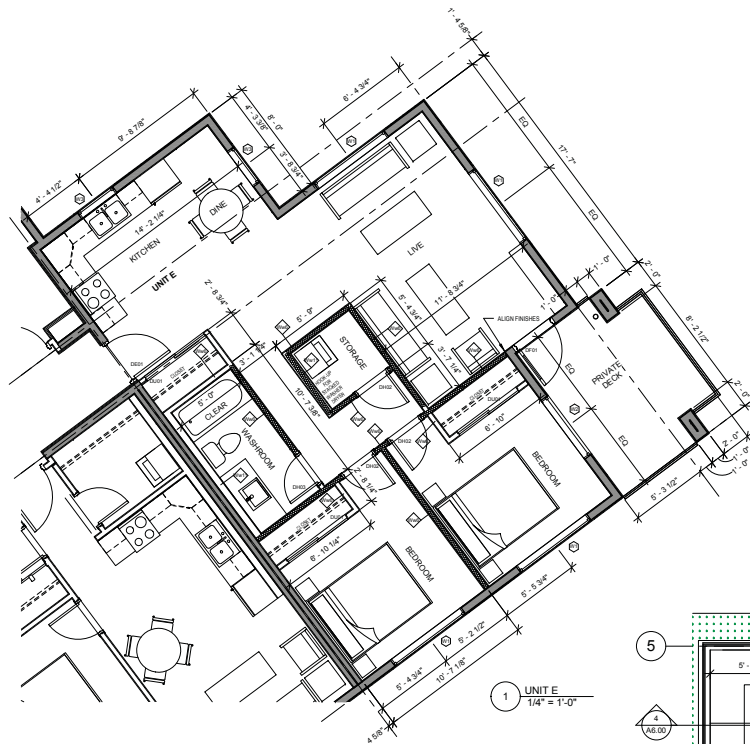
date

drawing title

UNIT PLANS

designed	R.Y.	scale	1/4" = 1'-0"
drawn	J.F./R.B.		
checked	R.Y.		
drawing no.			

A3.05
issued Aug 03, 2017



SCHEDULE A & B

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DP15-0176 / DVP15-0177

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Revisions		
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5	17-03-27	ISSUED FOR CONSTRUCTION
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7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

date

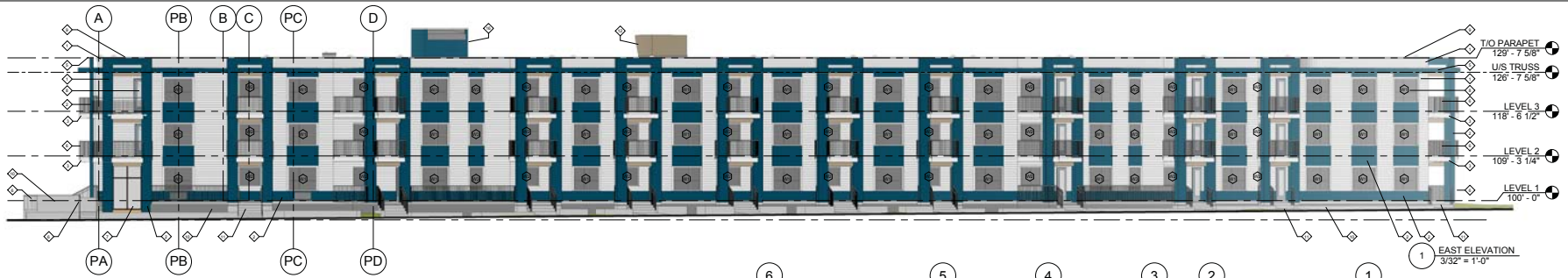
drawing title

UNIT AND COMMON ROOM PLANS

designed	R.Y.	scale	1/4" = 1'-0"
drawn	J.F. / R.B.		
checked			
drawing no.			

A3.06

printed Aug 03, 2017



EXTERIOR MATERIAL LEGEND

1. HORIZONTAL FIBER CEMENT LAPPED SIDING - OFF WHITE
2. FIBER CEMENT PANELS - BLUE / GREY
3. FIBER CEMENT PANELS - OFF WHITE
4. PREFINISHED METAL FLASHING - OFF WHITE
5. PREFINISHED METAL FLASHING - BLUE / GREY
6. PAINTED METAL GUARDRAILS - BLACK
7. ALUMINUM FRAMED WINDOW / DOORS - BLACK
8. PVC FRAMED WINDOWS / DOORS - WHITE
9. PREFINISHED METAL CAP FLASHING - OFF WHITE
10. CONCRETE PLANTERS
11. CONCRETE STAIRS
12. ROOF TOP UNIT
13. CONCRETE RAMP - TO PARKADE
14. PREFINISHED METAL O.H. DOOR - OFF WHITE
15. SIAMSE CONNECTION
16. ELEVATOR SHAFT
17. BEAM
18. RAIN GUTTER & RAIN WATER LEADER

EXTERIOR MATERIAL LEGEND

- HORIZONTAL LAPPED FIBER CEMENT SIDING
COLOUR: OFF WHITE
- FIBER CEMENT PANELS C/W CAULKED BUTT JOINTS
COLOUR: MEDIUM BLUE / GREY
- FIBER CEMENT PANELS C/W CAULKED BUTT JOINTS
COLOUR: MEDIUM BLUE / GREY
- ALUMINUM FRAMED STOREFRONT GLAZING / DOORS
COLOUR: BLACK
- VINYL FRAMED WINDOWS
COLOUR: WHITE
- PREFINISHED METAL FLASHING
COLOUR: MEDIUM BLUE / GREY
- PREFINISHED METAL FLASHING
COLOUR: OFF WHITE
- EXPOSED CONCRETE RETAINING WALLS / PATIOS
COLOUR: GREY



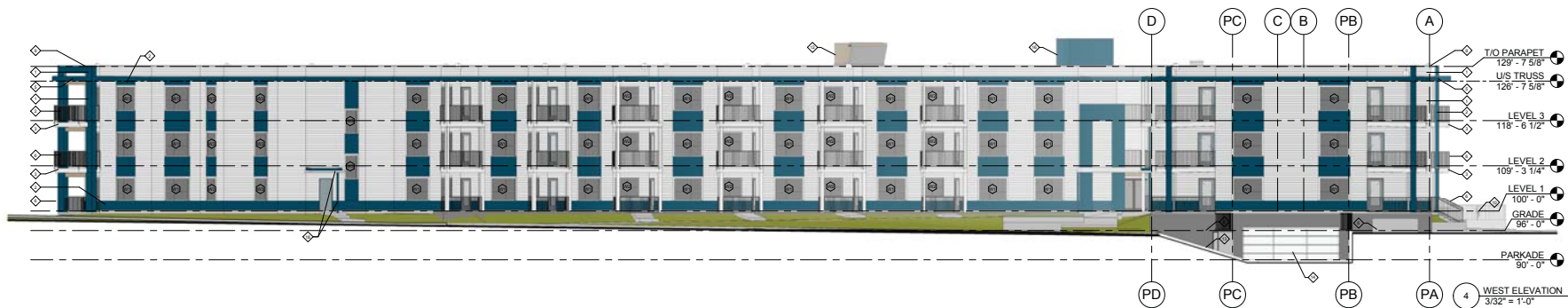
SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials **AC**



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7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title

OMAH'S - NISSEN CROSSING

project address

**1170 HIGHWAY 33,
KELOWNA, BC**

project no.

1580

revision

drawing title

EXTERIOR ELEVATIONS

designed

R.Y.

drawn

J.F. / R.B.

checked

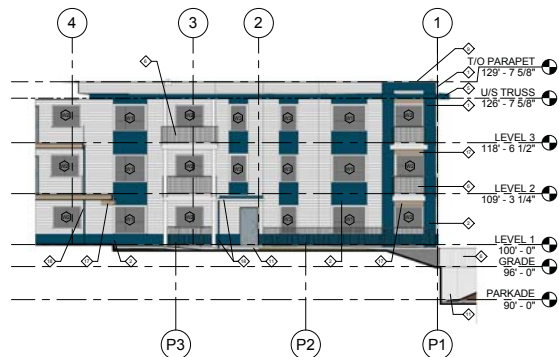
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drawing no.

1580

A4.00

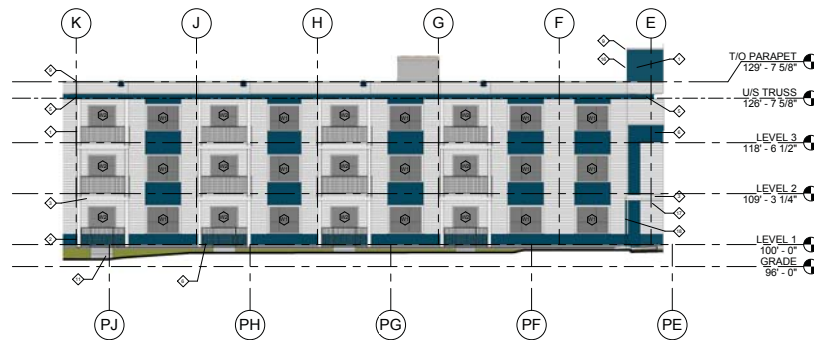
issued Aug 03, 2017



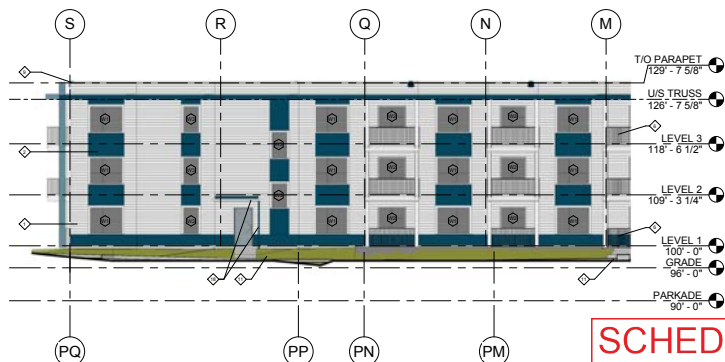
1 NORTH ELEVATION @ REAR ENTRANCE
3/32\" = 1'-0"

EXTERIOR MATERIAL LEGEND

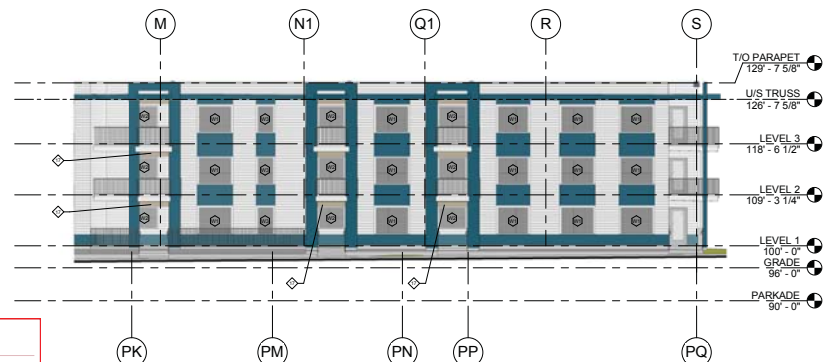
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2. FIBER CEMENT PANELS - BLUE / GREY
3. FIBER CEMENT PANELS - OFF WHITE
4. PREFINISHED METAL FLASHING - OFF WHITE
5. PREFINISHED METAL FLASHING - BLUE / GREY
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13. CONCRETE RAMP - TO PARKADE
14. PREFINISHED METAL O.H. DOOR - OFF WHITE
15. SIAMESE CONNECTION
16. ELEVATOR SHAFT
17. BEAM
18. RAIN GUTTER & RAIN WATER LEADER



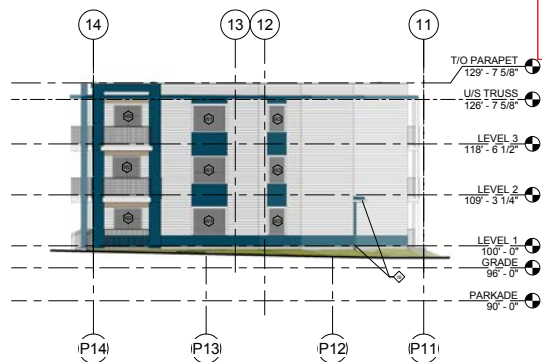
2 WEST ELEVATION @ REAR ENTRANCE
3/32\" = 1'-0"



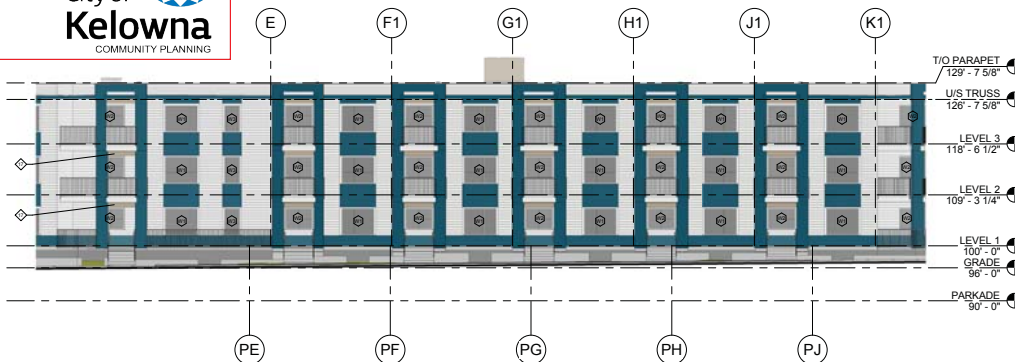
3 WEST ELEVATION @ EXIT STAIR 2
3/32\" = 1'-0"



4 EAST ELEVATION @ NORTH END
3/32\" = 1'-0"



5 NORTH ELEVATION @ EXIT STAIR 2
3/32\" = 1'-0"



6 EAST ELEVATION @ MIDDLE SECTION
3/32\" = 1'-0"

SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials AC



City of
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COMMUNITY PLANNING

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SEAL



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6	17-05-29	RE-ISSUED FOR CONSTRUCTION
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project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

files

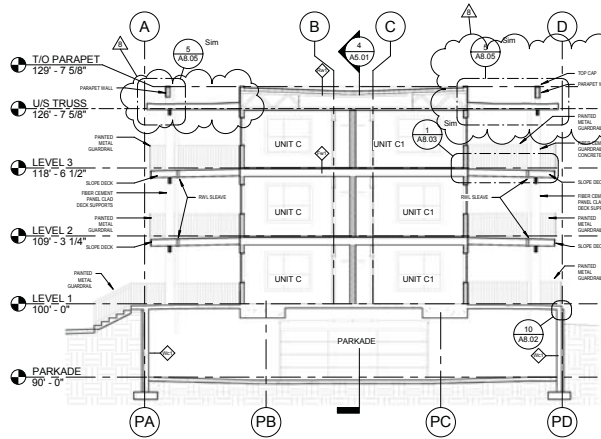
drawing title

**PERPENDICULAR
ELEVATIONS**

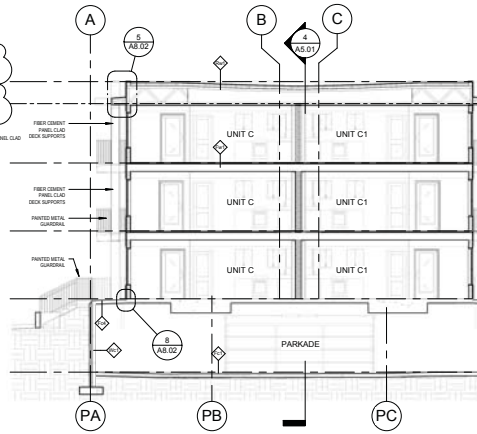
designed	R.Y.	scale	As Indicated
drawn	J.F. / R.B.		
checked	R.Y.		
drawing no.			

A4.01

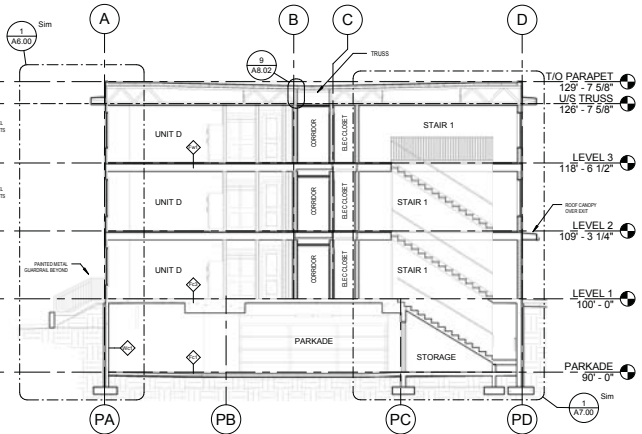
issued Aug 03, 2017



1 Section 1
1/8" = 1'-0"



2 Section 2
1/8" = 1'-0"

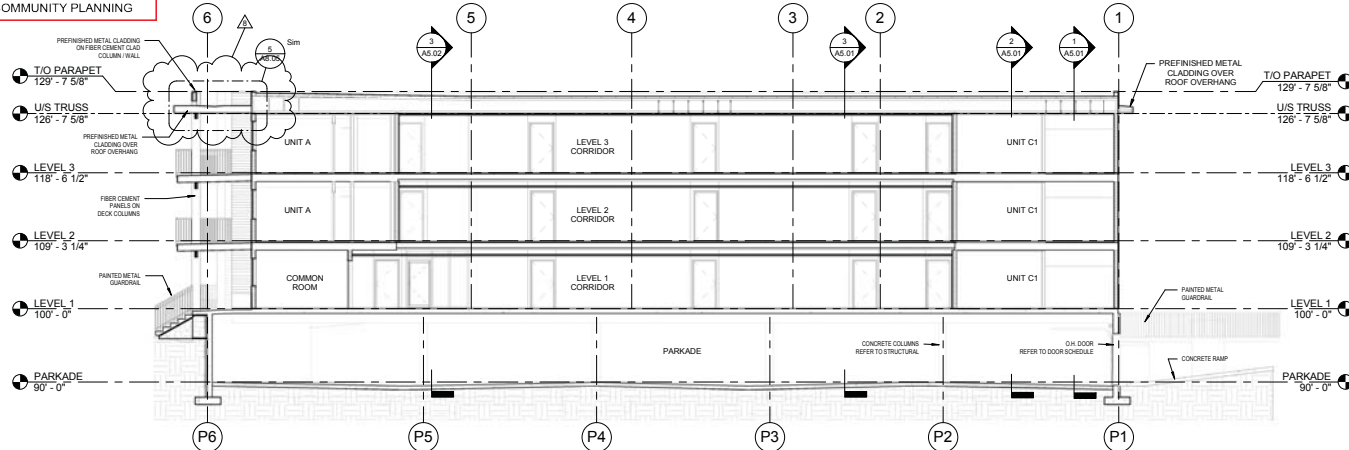


3 Section 3
1/8" = 1'-0"

SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials AC



4 Section 4
1/8" = 1'-0"

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project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1560

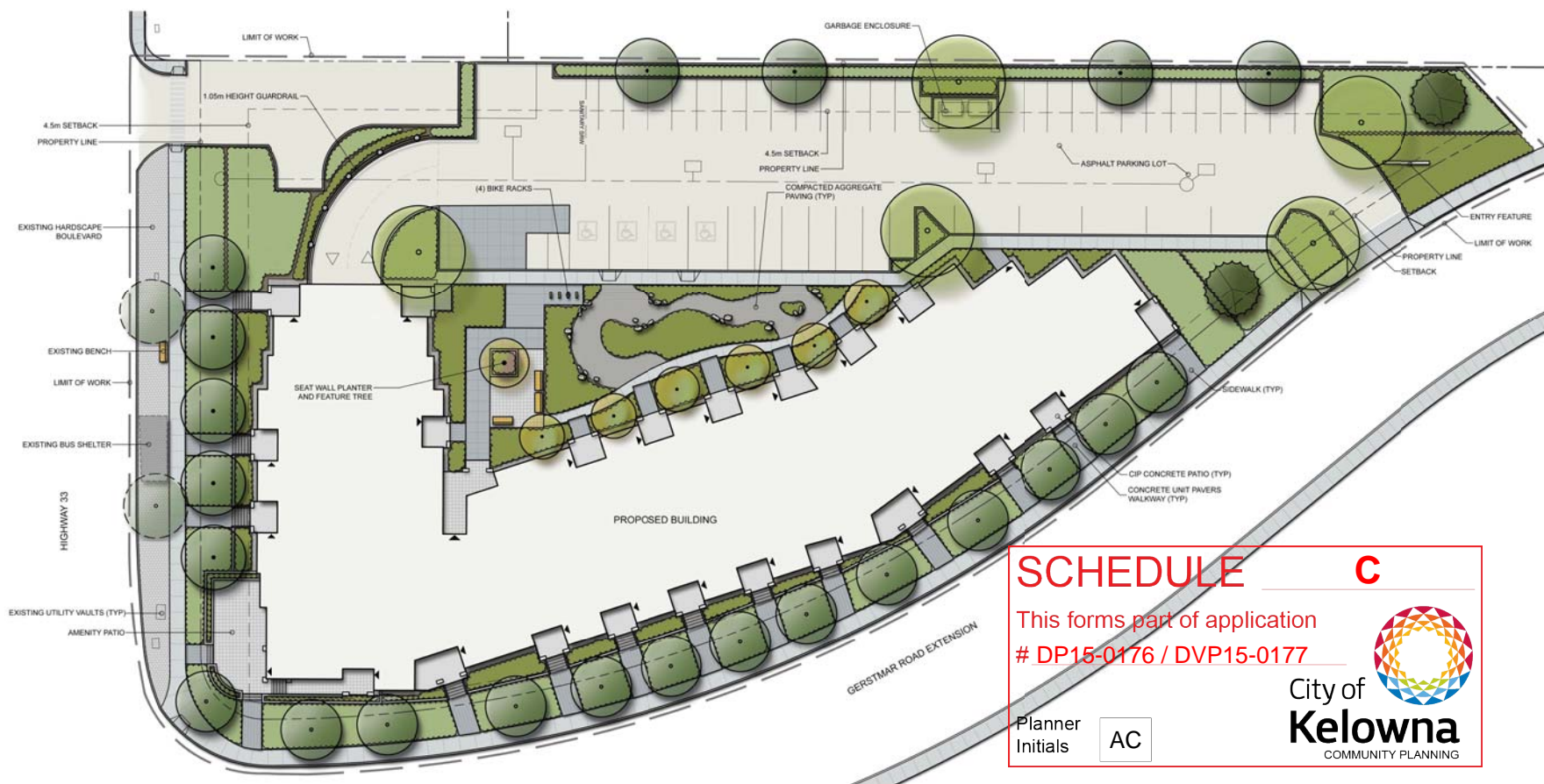
file no.

drawing title
BUILDING SECTIONS

designed	R.Y.	scale	1/8" = 1'-0"
drawn	J.F./R.B.		
checked	R.Y.		
drawing no.			

A5.01

printed Aug 03, 2017



REVISED / ISSUED:		
7	MAY 2011	RE-ISSUED FOR DP APPLICATION
6	JULY 18/16	RE-ISSUED FOR DP APPLICATION
5	JUNE 01/16	RE-ISSUED FOR DP APPLICATION
4	AUG. 12/15	RE-ISSUED FOR DP APPLICATION
3	JULY 30/15	ISSUED FOR REVIEW
2	JAN 21/15	ISSUED FOR DP APPLICATION
1	JULY 16/09	ISSUED FOR REVIEW

NO.	DATE	DESCRIPTION
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CONSULTANT:
NEW TOWN SERVICES
RELDON, B.C.

CLIENT:
**OKANAGAN METIS &
ABORIGINAL HOUSING
SOCIETY**
KELOWNA, B.C.

PROJECT:
OMAH'S MULTI-FAMILY
RESIDENTIAL BUILDING
KELOWNA, B.C.

SHEET TITLE
CONCEPT PLAN

DESIGN BY	SD
DRAWN BY	SD
CHECKED BY	AS
PROJECT NO.	15-002
SCALE	1:100

L-1

Case 9

LEGEND:

- | | |
|---|--|
|  | RESIDENCE RATIO:
CAST IN PLACE CONCRETE |
|  | DECORATIVE CONCRETE PAVING |
|  | RESIDENCE WALKWAY:
CONCRETE UNIT PAVERS |
|  | CAST IN PLACE CONCRETE |
|  | COMPACTED AGGREGATE PAVING |
|  | CONCRETE STAIRS AND HANDRAIL |
|  | COBBLE MAINTENANCE EDGE |

-
- Legend:
- BENCH
 - SHRUB, GRASSES AND PERENNIAL PLANTING AREA
 - LANDSCAPE BOULDERS
 - PROPOSED DECIDUOUS TREES
 - PROPOSED CONIFEROUS TREES
 - EXISTING TREE TO REMAIN
 - BUILDING ENTRANCE
 - PARKADE ENTRANCE

PLANT LIST:

TREES

Botanical Name	Common Name	Root
<i>Pinus x acuta</i>	London plane	B&B
<i>Koeleria paniculata</i>	Chinese reed tree	B&B
<i>Malus 'Spring Snow'</i>	Spring snow ornlt apple	B&B
<i>Yucca sylvatica</i>	Tupelo	B&B
<i>Quercus alba</i>	White oak	B&B
<i>Ficus cordata 'Greenpark'</i>	Greenpark fig	B&B

Botanical Name	Common Name	Root
<i>Amanchier arborea 'Obelisk'</i>	Standing Union serviceberry	Pratt
<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	Pratt
<i>Asterias frigida</i>	Pacific sage	Pratt
<i>Artemisia melange</i>	Black thronberry	Pratt
<i>Berberis thunbergii 'Rose Glow'</i>	Rose glow barberry	Pratt
<i>Gargania flavus 'Glow'</i>	Glow gargania	Pratt
<i>Comus alabastera 'Winter Bells'</i>	White cornus	Pratt
<i>Comus sericea 'Winter Bells'</i>	Rd helig dogwood	Pratt
<i>Erica carnea</i>	Winter heath	Pratt
<i>Eurytemora aestiva 'Campanula'</i>	Golden bell	Pratt
<i>Hamelia x intermedia</i>	Witch hazel	Pratt
<i>Philadelphus 'Isis Waterl'</i>	Waterlorn mod orange	Pratt
<i>Picea parsons 'Violet'</i>	Dwarf globe blue spruce	Pratt
<i>Woodsia 'Violet'</i>	Woodsia 'Violet'	Pratt
<i>Saxifraga 'Nana'</i>	Dwarf Arctic willow	Pratt
<i>Sambucus racemosa</i>	Blue elderberry	Pratt
<i>Symphoricarpos alba</i>	White snowberry	Pratt
<i>Taxus x media 'Mophead'</i>	Hi's eye	Pratt

SHRUB:

Botanical Name	Common Name	Root
<i>Ammannia amara</i> 'Olebil'	Standard Ostron siverberry	Putted
<i>Archibolus holivivus</i>	Krillberry	Putted
<i>Antennaria fragilis</i>	Pasture sage	Putted
<i>Aronia melanocarpa</i>	Black chokeberry	Putted
<i>Berberis thunbergii</i> 'Rose Glow'	Rose glow barberry	Putted
<i>Cercaria fufus</i> 'Slacko'	Slackberry	Putted
<i>Coma strobilifera</i> 'Flavimare'	Yellow jigg dogwood	Putted
<i>Coma sericea</i> 'Winter Beauty'	Red hair dogwood	Putted
<i>Erica carnea</i>	Winter heath	Putted
<i>Erica carnea</i> 'Compacta'	Burning bush	Putted
<i>Hamelia x intermedia</i>	Witch hazel	Putted
<i>Phacelia purpurea</i> 'Valentin'	Waterton mock orange	Putted
<i>Rosa rugosa</i> 'Gloria'	Dwarf white lace spruce	Putted
<i>Rosa woodii</i> 'Korberley'	Dwarf Arctic willow	Putted
<i>Salix purpurea</i> 'Nana'	Dwarf Arctic willow	Putted
<i>Sambucus caerulea</i>	Blue elderberry	Putted
<i>Symphoricarpos albus</i>	Snowberry	Putted
<i>Taxus x media</i> 'Hickory'	Hick's eye	Putted

PERENNIALS

Botanical name	Common Name	Root
<i>Asclepias glaberrima</i> 'Gold Plate'	Paprika yarrow	Potter
<i>Asclepias millifolium</i> 'Paprika'	Gold plate yarrow	Potter
<i>Artemisia media</i>	Lehmann's mulla	Potter
<i>Anemone sylvestris</i>	Wildflower	Potter
<i>Bergenia cordifolia</i>	Heartleaf bergenia	Potter
<i>Echinacea purpurea</i> 'Magnus'	Purple coneflower	Potter
<i>Hebelbaris</i>	Lenten rose	Potter
<i>Heuchera cyathica</i>	Roundleaf alumroot	Potter
<i>Lavandula angustifolia</i> 'Hidote'	English lavender	Potter
<i>Pachysandra terminalis</i>	Japanese spurge	Potter
<i>Persicaria affinis</i> 'Ornity'	Dark fceeflower	Potter
<i>Polygonatum commutatum</i>	Soldanum seal	Potter
<i>Rubusida rugosa</i> 'Goldsturm'	Goldsturm rose	Potter
<i>Rhodod. azalea</i> 'Suzuki En'		Potter

GRASSES

Botanical Name	Common Name	Root
<i>Calamagrostis brachytricha</i>	Korean featurer reed grass	Potted
<i>Deschampsia cespitosa</i>	Tufted hair grass	Potted
<i>Festuca idahoensis</i>	Idaho fescue	Potted
<i>Koeleria macrantha</i>	Junegrass	Potted

SCHEDULE

This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials

AC

C

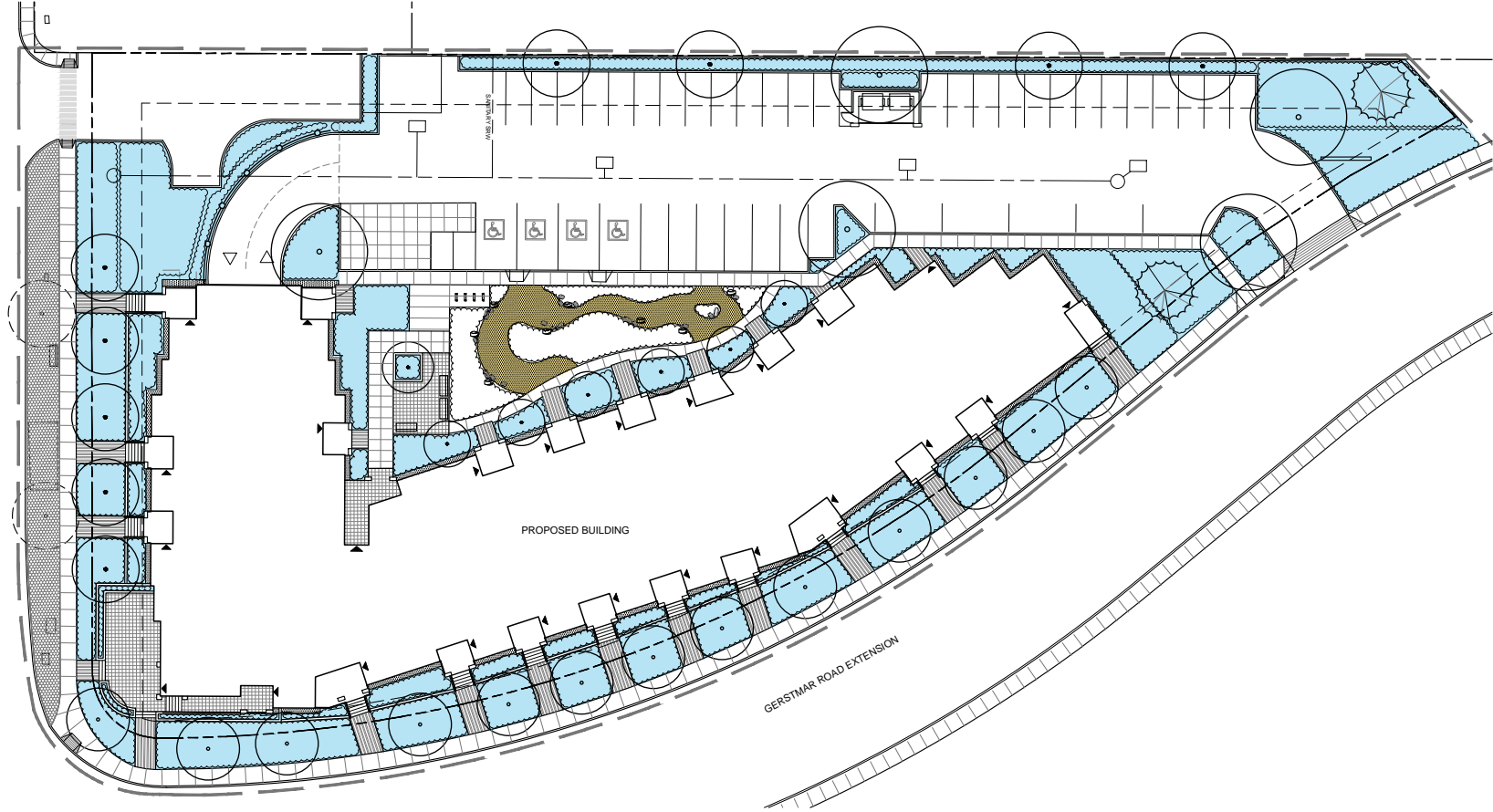


City of Kelowna
COMMUNITY PLANNING

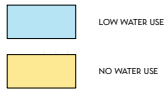
DEVELOPMENT PERMIT NOTES

- A. PLANT MATERIALS AND LANTERNED METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE B.C. LANDSCAPE STANDARDS, PURCHASED BY B.C.A. AND B.C.L.A. AS WELL AS THE CITY OF KELLOWAN LANDSCAPE STANDARDS IN BYLAW 7900.
- B. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM CITY OF KELLOWAN DESIGN CRITERIA AND CHARTER REQUIREMENTS.
- C. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTION MAY VARY FROM AVAILABLE MATERIALS.
- D. TREES SHALL BE INSTALLED IN DEFINED SOIL TYPES OR PLANTING BEDS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION.
- E. PLANTING BEDS SHALL BE INSTALLED TO ACCOMMODATE THE SPECIFIED DEFINED PLANTING BEDS. ALL PLANTING BEDS SHALL HAVE A MIN. OF 450mm (18") IMPORTED GROWING MEDIUM AND 75mm (3") OF COMPOST MIXTURE OR APPROVED EQUIV.
- F. DECORATIVE PLANTING BEDS SHALL HAVE A MIN. OF 75mm (3") OF DECORATIVE SOIL OR EQUIV. DECORATIVE PLANTING BEDS SHALL BE INSTALLED TO ACCOMMODATE SOIL OR DECORATIVE SOIL. LANDSCAPE FABRIC SHALL BE NEXX 4545 OR APPROVED EQUIV.
- G. ALL PLANTING MATERIALS AND METHODS SHALL BE INSTALLED FOR ALL ORNAMENTAL LANDSCAPE AREAS AND SHALL CONFORM TO THE CITY OF KELLOWAN'S IRRIGATION STANDARDS IN BYLAW 7900.

HIGHWAY 33



HYDROZONE LEGEND:



PROPOSED BUILDING

GERSTMAR ROAD EXTENSION

SCHEDULE C

This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials

AC

**City of
Kelowna**
COMMUNITY PLANNING

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REVISIONS / ISSUES:		
NO.	DATE	DESCRIPTION
7	MAY 2015	RE-ISSUED FOR DP APPLICATION
6	JULY 2015	RE-ISSUED FOR DP APPLICATION
5	JUNE 2015	RE-ISSUED FOR DP APPLICATION
4	APRIL 2015	RE-ISSUED FOR DP APPLICATION
3	JULY 2015	ISSUED FOR REVIEW
2	JULY 2015	ISSUED FOR DP APPLICATION
1	JULY 2015	ISSUED FOR REVIEW



CONSULTANT:
NEW TOWN SERVICES
KELOWNA, B.C.

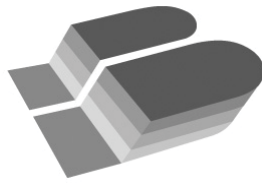
CLIENT:
OKANAGAN METIS & ABORIGINAL HOUSING SOCIETY
KELOWNA, B.C.

PROJECT:
OMAHS MULTI-FAMILY RESIDENTIAL BUILDING
KELOWNA, B.C.

SHEET TITLE:
HYDROZONE PLAN

DESIGN BY	SD
DRAWN BY	SD
CHECKED BY	JS
PROJECT NO.	15-022
SCALE	1:200

SHEET NO.
L-2
OF 1



May 26, 2017

City of Kelowna
1435 Water Street
Kelowna, B.C.
V1J 1J4

Attention: Community Planning & Real Estate Division

Project: Okanagan Metis and Aboriginal Housing Society Multi-Family Development - Development Permit Application

Please be advised that a landscape security bond of **\$116,220.10** will be required for the Okanagan Metis and Aboriginal Housing Society development project on Highway 33 in Rutland. This sum is equal to 125% of the estimated installed cost for all soft landscape. As per City of Kelowna requirements, the estimate includes trees, shrubs, grasses, perennials, topsoil, mulch, irrigation, and bicycle racks. Please see the attached Estimate of Probable Costs for Bonding for a detailed breakdown of these costs.

Should you require any additional information, please do not hesitate to contact me.

Sincerely,

Xenia Semeniuk, BCSLA, CSLA, LEED AP
Registered Landscape Architect

cc
Lisa Fraser, New Town Services

SCHEDULE	C	 City of Kelowna <small>COMMUNITY PLANNING</small>	Planner Initials	AC
This forms part of application # DP15-0176 / DVP15-0177				

OMAHS Multi Family Development

Estimate of Probable Costs for Bonding

Prepared on: June 7, 2016

ON SITE

Items Description	Units	Qty.	Price	Item Total
1.0 Plant Material				
1.1 Trees				
1.1.1 6cm Cal.: Deciduous Feature Tree	ea.	5	\$550.00	\$2,750.00
1.1.2 6cm Cal.: Deciduous Street Tree	ea.	18	\$550.00	\$9,900.00
1.1.3 4cm Cal.: Deciduous Columnar Tree	ea.	4	\$400.00	\$1,600.00
1.1.4 4cm Cal.: Deciduous Ornamental Tree	ea.	7	\$400.00	\$2,800.00
1.1.5 1.5m Ht: Coniferous Trees	ea.	2	\$500.00	\$1,000.00
			<i>Sub-Total</i>	<i>\$18,050.00</i>
1.2 Shrubs, Perennials, Ground Covers				
1.2.1 #5 Pot: Shrubs (1.8m O.C.)	ea.	234	\$45.00	\$10,543.63
1.2.2 #2 Pot: Grasses (1.2m O.C.)	ea.	264	\$20.00	\$5,271.35
1.2.3 #1 Pot: Perennials (0.9m O.C.)	ea.	468	\$15.00	\$7,026.60
			<i>Sub-Total</i>	<i>\$22,841.58</i>
			1.0 Total	\$40,891.58
2.0 Topsoil & Mulch				
2.1 Topsoil				
2.1.1 Shrub Bed Topsoil (300mm Depth)	m3	396	\$40.00	\$15,852.00
2.1.2 Tree Pit Topsoil (1000mm Depth)	m3	36	\$40.00	\$1,440.00
			<i>Sub-Total</i>	<i>\$17,292.00</i>
2.2 Mulch				
2.2.1 Shrub Bed Mulch (50mm Depth)	m3	66	\$50.00	\$3,302.50
2.2.2 Cobble Mulch (100mm Depth)	m3	15	\$65.00	\$975.00
			<i>Sub-Total</i>	<i>\$4,277.50</i>
			2.0 Total	\$21,569.50
3.0 Servicing				
3.1 Irrigation				
3.1.1 Sleeving	l.s.	1	\$2,500.00	\$2,500.00
3.1.2 Point of Connection - Electrical & Mechanical	l.s.	1	\$2,000.00	\$2,000.00
3.1.3 Control System	l.s.	1	\$3,000.00	\$3,000.00
3.1.4 Irrigation system (heads, pipes, valves)	m2	1,321	\$15.00	\$19,815.00
			<i>Sub-Total</i>	<i>\$27,315.00</i>
			3.0 Total	\$27,315.00
4.0 Site Construction				
4.1 Furnishings				
4.1.1 Bike Racks	ea.	4	\$800.00	\$3,200.00
			<i>Sub-Total</i>	<i>\$3,200.00</i>
			4.0 Total	\$3,200.00

Total	\$92,976.08
Security Total (125%)	\$116,220.10



City of Kelowna
COMMUNITY PLANNING

AC

Planner Initials

SCHEDULE C

This forms part of application
DP15-0176 / DVP15-0177

CITY OF KELOWNA

BYLAW NO. 11512

Official Community Plan Amendment No. OCP17-0017 1083-1089 KLO Road

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of Lot 2, District Lot 135, ODYD, Plan 25466 except Plan 38538 located on KLO Road, Kelowna, B.C., from the MRM – Multiple Residential (Medium Density) designation to the MXR – Mixed Use (Residential / Commercial) designation.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 20th day of November, 2017.

Considered at a Public Hearing on the 5th day of December, 2017.

Read a second and third time by the Municipal Council this 5th day of December, 2017.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11513
TA17-0011 – C4 – Urban Centre Commercial

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT **Section 14 – Commercial Zones, 14.4 C4 – Urban Centre Commercial, 14.4.5 Development Regulations, sub-paragraph (a) Floor area ratio: 2. (iii)** be amended by adding the words "within a structure parkade" after the words "Where all parking spaces are located".
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 20th day of November, 2017.

Considered at a Public Hearing on the 5th day of December, 2017.

Read a second and third time by the Municipal Council this 5th day of December, 2017.

Approved under the Transportation Act this 18th day of January, 2018.

Audrie Henry
(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11514
Z17-0069 – 1083-1089 KLO Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 12, District Lot 135, ODYD, Plan 25466 except Plan 38538 located on KLO Road, Kelowna, B.C., from the RM3 – Low Density Multiple Housing zone to the C4 – Urban Centre Commercial Zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 20th day of November, 2017.

Considered at a Public Hearing on the 5th day of December, 2017.

Read a second and third time by the Municipal Council this 5th day of December, 2017.

Adopted by the Municipal Council this

Mayor

City Clerk

REPORT TO COUNCIL



Date: February 20, 2018

RIM No. 0940-00 & 0940-50

To: City Manager

From: Community Planning Department (AC)

Application: DP17-0169 / DVP17-0170 **Owner:** Sole on KLO Developments Ltd

Address: 1083-1089 KLO Rd **Applicant:** Kevin Edgecombe

Subject: Development Permit & Development Variance Permit Application

OCP Designation: MXR – Mixed Use (Residential/Commercial)

Zoning: C4 – Urban Centre Commercial

1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 11514 (Z17-0069), OCP Amending Bylaw No. 11512 (OCP17-0017), & Text Amendment Bylaw No. 11513 (TA17-0011) be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP17-0169 for Lot 2, District Lot 135, ODYD, Plan 25466 except Plan 38538, located at 1083-1089 KLO Rd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;
5. The applicant be required to pay the cash-in-lieu of parking;
6. The applicant sign a contract (to the satisfaction of the City) that ensures a car-share program will be provided for the project.

AND THAT Council authorize the issuance of Development Variance Permit DVP17-0170 for Lot 2, District Lot 135, ODYD, Plan 25466 except Plan 38538, located at 1083-1089 KLO Rd, Kelowna, BC;

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B, & C":

Section 14.4.5 (c) Development Regulations

To vary the maximum height from 15.0m / 4storeys to 17.2m / 5 storeys.

Section 14.4.5 (e) Development Regulations

To vary the western side yard setback from 2.0 metres to 1.6 metres.

Section 14.4.5 (f) Development Regulations

To vary the rear yard setback from 6.0 metres to 0.3 metres.

Section 14.4.5 (b) Development Regulations

To vary the maximum site coverage from 75% to 76.1%.

Section 8.1.11 (a) Size and Ratio

To vary the minimum drive aisle width for the parkade from 7.0 metres to 6.7 metres.

Section 8.1.11 (b) Size and Ratio

To vary the ratio of vehicular parking stalls sizes from: min 50% Full size, max 40% medium size, & max 10% compact size to 46.6% Full size, 33.3% medium size, & 20% compact size.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To review the Form & Character Development Permit of a five storey building with four floors of residential and one commercial ground floor unit and to consider six associated variances.

3.0 Community Planning

3.1 Development Permit

Staff are recommending support for the proposed Development Permit due to the proposal's consistency with the Official Community Plan's (OCP) urban design guidelines. The applicant has worked with City staff to review and refine many site issues including refinements to the building form and massing. The parkade has been redesigned a number of times to maximize the number of vehicle stalls provided. The front elevation along KLO Road has also been redesigned a number of times to improve visual quality and character. Specific improvements included: the addition of windows & balconies to residential units, additional windows to the elevator shaft along the front facade, and the additional of a trellis patio feature above the commercial unit.

The site is well suited for redevelopment and intensification. The property is within the South Pandosy Urban Centre with close proximity to many shops, services and urban amenities. The applicant is proposing to pay cash-in-lieu of providing the minimum number of required parking stalls. At \$7,500 per stall in the South Pandosy Area and a shortfall of 16 stalls this leads to a total \$120,000 payment to the parking reserve fund. The parking relaxation becomes less of a concern when considering the subject property's specific location immediately across the road from Okanagan College combined with the applicant's desire to cater the units to student residences. Providing additional parking on-site is not realistic with the current design without adding a second storey of structured parking or reducing the residential unit count. To further help mitigate the reduction in parking, the applicant is proposing to participate in a car-share program.

3.2 Development Variance Permit

There are six variances proposed:

1. A variance to increase the permitted height by 2.2m and 1 storey;
 - a. Staff have supported many height variances to 5 and 6 storeys in the C4 zone and feel that these structures are appropriate when located within urban centres. Council also directed Staff through the Housing Strategy to allow for 5 and 6 storey structures within Urban Centres but Staff have not yet been able to amend to bylaw.
2. A variance to reduce the western side yard setback by 0.4 m;
3. A variance to reduce the southern rear yard setback by 5.7 m;
 - a. Both setback variances would not be necessary if the adjacent parcel was zoned commercial or mixed use. The neighbouring residential parcel has a surface parking lot adjacent to the proposed setbacks. The purpose of setbacks is to adequately separate buildings from each other. The purpose is not to setback buildings from adjacent surface parking lots.
4. A variance to increase the maximum site coverage by 1.1%;
 - a. The applicant redesigned the parking lot in order to maximize the number of parking stalls provided onsite but revised parking configuration contributed to adding 13.6 m² over the allowable footprint.
5. A variance to amend the ratio of parking stalls by decreasing the full size vehicle ratio by 4.4% and by increasing the compact stall vehicle size by 10%;
6. A variance to decrease the drive aisle width by 0.3m.
 - a. In order to maximize the number of parking stalls within the constraints of the site's dimensions, an increase in the number of compact vehicle stall size, a decrease in the number of full sized vehicle stalls, and a minor decrease in the drive aisle widths was necessary.

3.3 Public Notification

As per Council Policy 367 regarding public notification, the applicant held a public open house on October 3rd 2017.

4.0 **Proposal**

4.1 Project Description

The application is to construct a 5 storey building with four floors of residential and one ground floor commercial unit. The residential unit mixture includes 24 bachelor units, 12 one-bedroom units, 3 two-bedroom units, and 1 three-bedroom unit. The total number of parking stalls provided are 30 stalls plus one loading stall. This will include a car co-op sharing program in order to take advantage of the FAR bonuses.

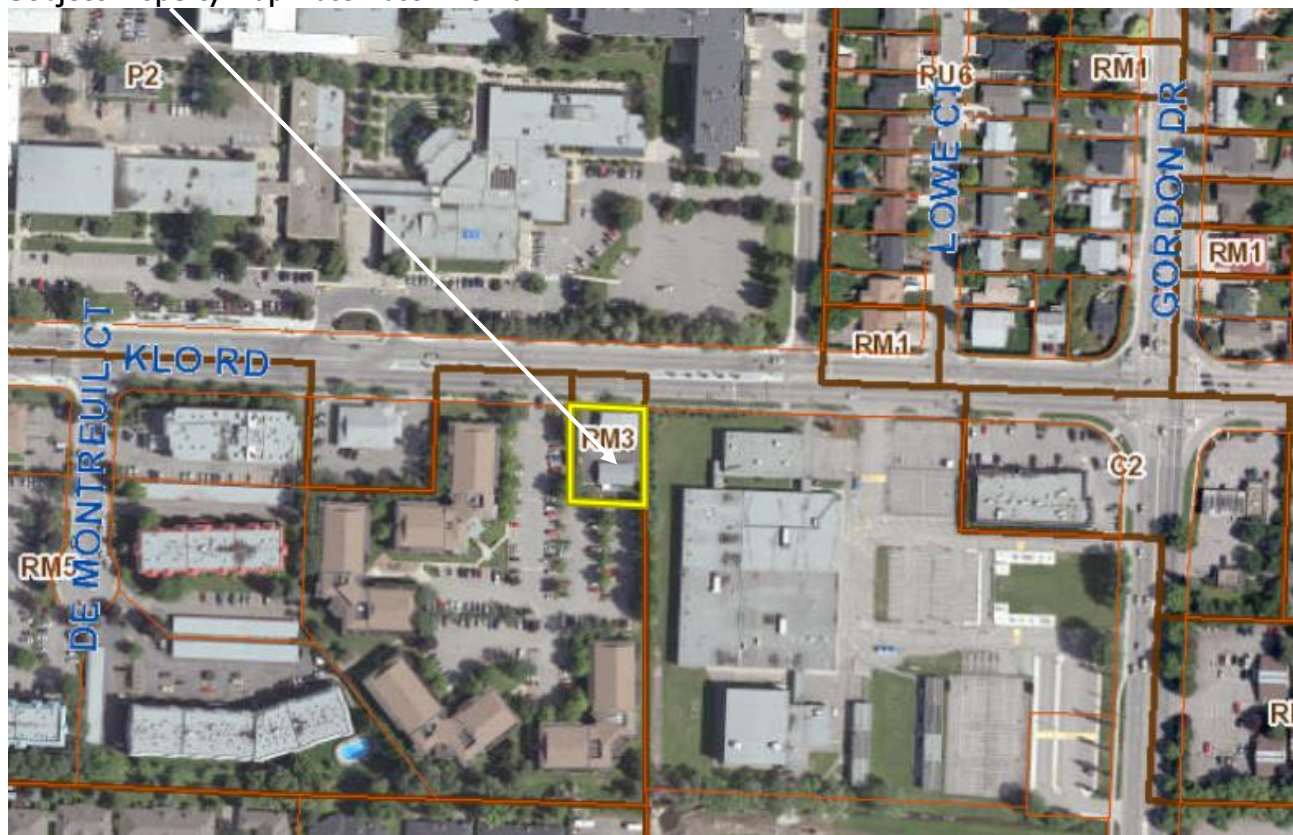
4.2 Site Context

The subject property is: located in the South Pandosy Urban Centre along KLO road, connected to urban services, and located within the Permanent Growth Boundary.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	P2 - Education & Minor Institutional	Okanagan College
East	RM5 – Medium Density Multiple Housing	Residential
South	RM5 – Medium Density Multiple Housing	Residential
West	RM5 – Medium Density Multiple Housing	Residential

Subject Property Map: 1083-1089 KLO Rd

4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	C4 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Height	15.0 m / 4.0 storeys	17.2 m / 5 storeys ①
Front Yard (north)	0.0 m	3.6 m
Side Yard (east)	0.0 m	0.0 m
Side Yard (west)	2.0 m	1.6 m ②
Rear Yard (south)	6.0 m	0.3 m ③
Site coverage of buildings	75 %	76.1 % ④

Zoning Analysis Table		
CRITERIA	C4 ZONE REQUIREMENTS	PROPOSAL
FAR	Base Far: 1.3 + Parking within Bldg bonus: 0.2 <u>+ car co-op program: 0.84</u> = 2.34	1.75
Parking Regulations		
Minimum Parking Requirements	<u>40 Res + 6 visitor + 1 Comm</u> = 46 parking stalls	<u>28 in parkade + 1 co-op + 1 Comm</u> = 30 parking stalls ★
Minimum Loading Spaces	1 spaces	1 spaces
Ratio of Parking Stalls	Full size: 50% Min Medium Size: 40% Max Small Size: 10% Max	Full size: 46.6% (14 stalls) Medium Size: 33.3% (10 stalls) Small Size: 20% (6 stalls) ⑤
Minimum Drive Aisle Width	7.0 m	6.7 m ⑥
Other Regulations		
Minimum Bicycle Parking Requirements	Class 1: 21 bikes Class 2: 5 bikes	Class 1: 21 bikes Class 2: 5 bikes
Private Open Space	392.5 m ²	487 m ²
① A variance to increase the permitted height by 2.2m and 1 storey; ② A variance to reduce the western side yard setback by 0.4 m; ③ A variance to reduce the southern rear yard setback by 5.7 m; ④ A variance to increase the maximum site coverage by 1.1%; ⑤ A variance to amend the ratio of parking stalls by decreasing the full size vehicle ratio by 4.4% and by increasing the compact stall vehicle size by 10%; & ⑥ A variance to decrease the drive aisle width by 0.3m. ★ Developer not asking for variance and will pay cash-in-lieu of providing parking.		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Contain urban growth.² Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

Mixed Use.³ Integration of residential uses into commercial developments as mixed-use projects is encouraged in Urban Centres, provided that the ground floor use remains commercial.

¹ City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

² City of Kelowna Official Community Plan, (Chapter 1 Introduction).

³ City of Kelowna Official Community Plan, (Chapter 4 Future Land Use).

Housing Mix.⁴ Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

Building Height⁵:

- **Other Urban Centres:** Locate taller buildings in the geographic centre of Urban Centres and generally decrease height moving away from the centre, to a maximum of 4 storeys at the periphery of the Urban Centres, where adjoining land is designated for single/two unit housing.
- **South Pandosy:** Generally, 4 storeys. Six storeys within C4 or C9 zoned areas. Potential for 8 storeys where an architecturally distinct and significant buildings is placed at a corner, gateway or view terminus location that is of significance to the community or where a building is of cultural significance to the community.
- **Rutland:** Generally, 4 storeys. Six storeys within C4 or C9 zoned areas. Potential for up to 44 m height (12-14 storeys) in the core of Rutland, as identified in the C7 zone of the Zoning Bylaw.
- **Midtown:** 16 storeys, where the OCP designation provides for high-density multiple-units.
- **Capri/Landmark:** Generally, 4 storeys. Greater height (up to 12 storeys) may be supported on the Capri Shopping Centre site and in the area bordered by Dickson Avenue, Dayton Avenue, Springfield Road and Kirschner Road upon approval of a Council-endorsed comprehensive development plan for the site that provides for a variety of housing types (including but not limited to ground-oriented and rental apartment housing) and the provision of commercial space that is of an amount that, at minimum, equals that which existed in 2010.
- **Elsewhere:** For all areas of the City outside the Urban Centres, buildings heights shall be a maximum of four storeys for residential and six storeys for apartment hotels and hotels. Additional height restrictions may be imposed as a result of airport-related zoning regulations.

Objective 5.5: Ensure appropriate and context sensitive built form.

Building Height.⁶ In determining appropriate building height, the City will take into account such factors as:

- Contextual fit into the surrounding neighbourhood;
- Shadowing of the public realm;
- View impacts;
- Overlook and privacy impact on neighbouring buildings;
- Impacts on the overall skyline;
- Impacts on adjacent or nearby heritage structures;

⁴ City of Kelowna Official Community Plan, Policy 5.27.11 (Development Process Chapter)

⁵ City of Kelowna Official Community Plan, Policy 5.8.1 (Development Process Chapter)

⁶ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter). 3 City of Kelowna Official Community Plan, Chapter 14 (Urban Design Development Permits Area).

Chapter 14: Urban Design Guidelines Amenities, ancillary Services and Utilities.⁵

- Locate loading, garbage, storage, utilities and other ancillary services away from public view. All such areas shall be screened and designed as an integral part of the building to minimize impact;
- Create attractive rear alley facades with high quality materials on buildings facing residential areas (e.g. rear building entrances, windows, balconies, plazas, and plantings).

Chapter 4: Land Use Designation Massing and Height.³

- Mitigate the actual and perceived bulk of buildings by utilizing appropriate massing, including:
- Architectural elements (e.g. balconies, bay windows, cantilevered floors, cupolas, dormers);
- Visually-interesting rooflines (e.g. variations in cornice lines and roof slopes);
- Step back upper floors to reduce visual impact;
- Detailing that creates a rhythm and visual interest along the line of the building;
- Wall projections and indentations, windows and siding treatments as well as varied material textures should be utilized to create visual interest and to articulate building facades;
- Building frontages that vary architectural treatment in regular intervals in order to maintain diverse and aesthetically appealing streets.

6.0 Technical Comments

6.1 Building & Permitting Department

No comment on rezoning.

6.2 Development Engineering Department

See attached memorandum dated August 17th 2017.

6.3 Fire Department

No comment on rezoning.

7.0 Application Chronology

Date of Application Received:	July 20 th 2017
Date Public Consultation Completed:	Oct 3 rd 2017
Date of 1 st revision Submitted:	Oct 3 rd 2017
Date of 2 nd revision Submitted:	Jan 19 th 2018

Report prepared by:

Adam Cseke, Planner Specialist

Reviewed by:

Terry Barton, Urban Planning Manager

Approved for Inclusion:

Ryan Smith, Community Planning Department Manager

Attachments:

1. DP17-0169 / DVP17-0170

Development Permit & Development Variance Permit DP17-0169 & DVP17-0170



This permit relates to land in the City of Kelowna municipally known as

1083-1089 KLO Rd

and legally known as

Lot 2, District Lot 135, ODYD, Plan 25466 except Plan 38538

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

Section 14.4.5 (c) Development Regulations

To vary the maximum height from 15.0m / 4storeys to 17.2m / 5 storeys.

Section 14.4.5 (d) Development Regulations

To vary the western side yard setback from 2.0 metres to 1.6 metres.

Section 14.4.5 (f) Development Regulations

To vary the rear yard setback from 6.0 metres to 0.3 metres.

Section 14.4.5 (b) Development Regulations

To vary the maximum site coverage from 75% to 76.1%.

Section 8.1.11 (a) Size and Ratio

To vary the minimum drive aisle width for the parkade from 7.0 metres to 6.7 metres.

Section 8.1.11 (b) Size and Ratio

To vary the ratio of vehicular parking stalls sizes from: min 50% Full size, max 40% medium size, & max 10% compact size to 46.6% Full size, 33.3% medium size, & 20% compact size.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: February 20th 2017

Decision By: CITY COUNCIL

Issued Date: **DATE**

Development Permit Area: Comprehensive Development Permit Area

File Manager: AC

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: C4 – Urban Centre Commercial

Future Land Use Designation: MXR – Mixed Use (Residential/Commercial)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Sole on KLO Developments Ltd
Address: 2275 KLO RD
City: Kelowna, BC
Phone: n/a

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of n/a
- OR
- b) An Irrevocable Letter of Credit in the amount of n/a

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

Design Variances – Sole on KLO

1083 KLO Road, Kelowna, BC

Sole on KLO has been designed to optimize a small footprint within a relatively tight site. Through design progression and discussions with the City of Kelowna Planning Department it is recognized that this project will require rezoning and variances to be achieved. The following variances are based on the rezoning of this property to a C4 – Urban Centre Commercial zone.

1. FAR Rationale

The FAR for the C4 zone is 1.3 for mixed use developments with a total maximum FAR of 2.35 thorough bonusing. Sole on KLO has been designed with an FAR of 1.75 requiring bonus density of 0.45. To achieve the bonus density this project proposes utilizing the following bonuses:

- a. Parking below building (maximum 0.2 bonus). This project has a total of 30 parking stalls all of which are below the building footprint. This project seeks a bonus density of 0.2
- b. Car co-op / sharing (maximum 0.84 bonus). The zoning bylaw lists a bonus applicable to the South Pandosy zone for projects which have parking below grade and a car co-op program. While this project does not place the parking below grade, it does recognize the importance of car sharing in an urban context and provides a parking stall for car share which is accessible to residents and the general public at the front of the building. In acknowledgement of the car share parking, this project is seeking a lesser FAR bonus of 0.25.

2. Site Dimensions

The site and width for this project are 32.3m wide by 41.1m deep. While the total area of the site exceeds the requirement for a C4 zoned property the zoning requirements list a minimum width of 40m and depth of 30m and for this property they are reversed. 1083 KLO is surrounded to the south and west by a larger multi-building development and is essentially a leftover lot which has a greater depth than width. Sole on KLO is seeking a variance to allow the width of 32.3m acknowledging that the total site area exceeds the minimum requirement.

3. Site Coverage

The zoning for a C4 site allows for building coverage of 75%. This project has a total site coverage of 76.1% based on the revised parking configuration; an increase of 13.6m² from the allowable footprint.

4. Building Height

Sole on KLO is designed as a 5 storey, 17.6m high building. Under C4 zoning the maximum height is 4 storeys, 15m. To provide the efficiency required to fit this building on site, the project has stacked a four storey residential project on the top of a single level parkade. Due to the tight site and the low elevation of the site it was determined that parking at grade was the prudent design solution rather than below grade. To mitigate the visual impact to the street frontage the building is designed with the main entrance and a commercial unit shielding the parking area.

5. Rear Yard Setback

The rear yard setback requirement for this site is 6.0m as the adjacent property is residential RM5. This project is seeking a reduction of the setback to 0.3m.

6. Parking Count

C4 zoning has a parking requirement based on the following:

- 1 Space per Dwelling Unit x 40 units = 40 stalls
- 1 Visitor Space per 7 Units x 40 units = 5.7 stalls
- Commercial 1.75 per 100m² GFA x 62.2m² = 1.1 stalls

This requires a total of 47 parking stalls per zoning. The proposed design is seeking a variance to have a total of 30 parking stalls with 1 stall being designated for commercial use and 1 stall being car share. The reduction of the parking is in acknowledgement that this project is within an urban setting where occupants capable of living car free. The location is well serviced by bus routes, bicycle routes and is in close proximity to a full service commercial district. The site has also provided for a car share parking stall to encourage the use of shared infrastructure.

7. Parking size ratio

The parking proposed with this project consists of 30 stalls with 1 accessible stall, 13 full size stalls, 10 medium stalls and 6 small stalls. The ratio of stalls of each size by the parking bylaw is 50% full size, 40% medium size and 10% compact size. Currently the project ratio is 46.6% full size (+ accessible), 33.3% medium size and 20% small size.

8. Loading Bays

The parking bylaw does not list a requirement for residential and the requirement for commercial is one stall per 1,900 m² GFA. This project has a total of 62.2 m² of commercial area or 3.3% of the allowable area for 1 loading space. 1 Loading Space is provided at the front of the building

9. Drive Aisle Width

This project drive aisles are 6.7m. The current allowable width in the City of Kelowna is 7.0m. Based on discussions with planning staff a reduced width of 6.7m is being sought to fit this building configuration.

ATTACHMENT A. B.

This forms part of application

DP17-0169 / DVP17-0170

City of
Kelowna
COMMUNITY PLANNING

PROJECT STATISTICS

ADDRESS

1083 KLO ROAD, KELOWNA, BC
LOT 2 DL 135 ODYD PLAN 25468

ZONING

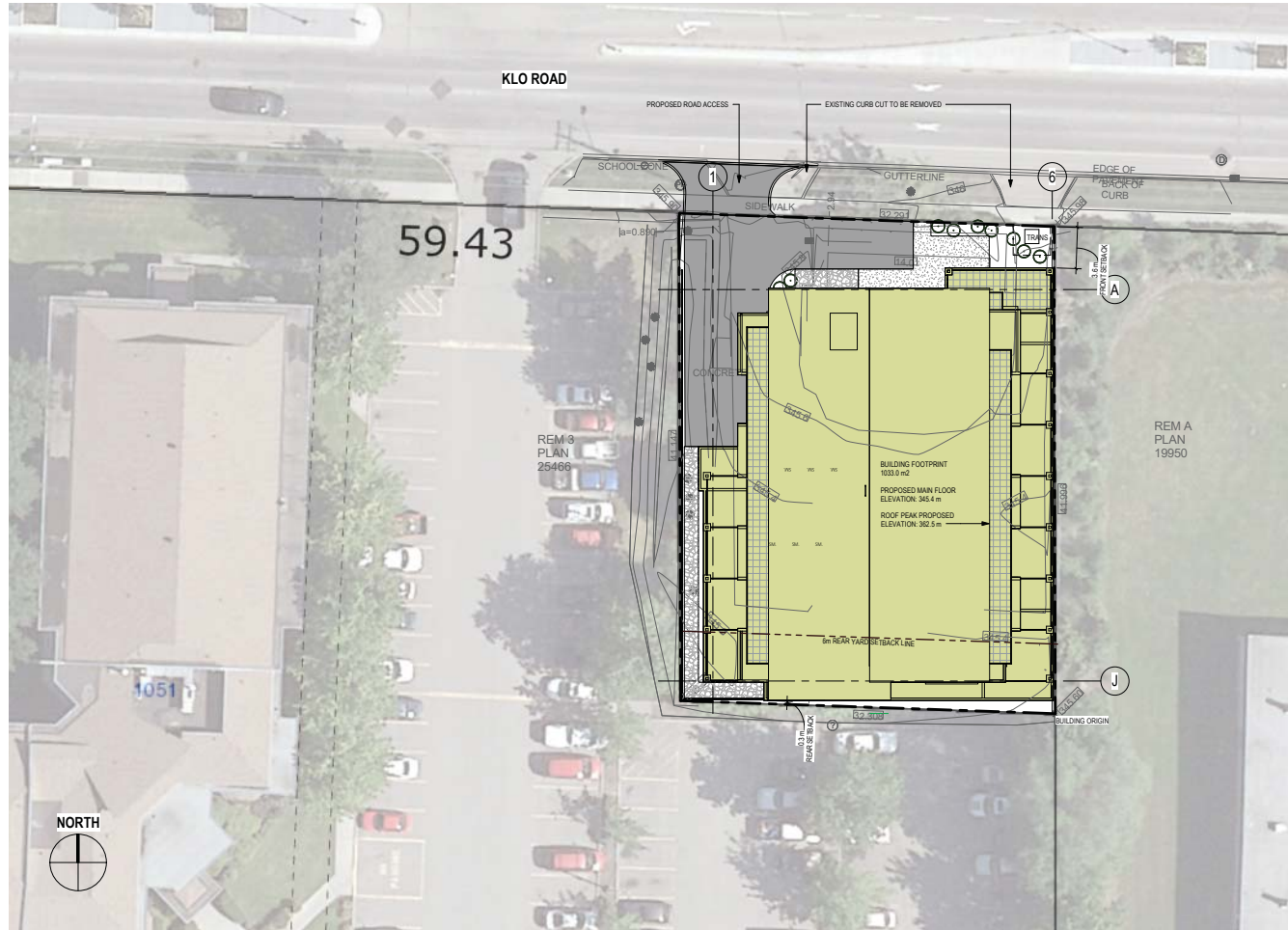
RM2 LOW DENSITY MULTIPLE HOUSING

PROPOSED REZONING - C4

PROPOSED USE: MIXED USE DEVELOPMENT (RESIDENTIAL AND COMMERCIAL)

Planner
Initials AC

ITEM	REQUIRED	PROVIDED	ITEM	REQUIRED	PROVIDED
1. SITE DETAILS			3. BUILDING SETBACKS		
SITE AREA (m ²)	1300	1367.4 m ²	FRONT YARD (NORTH)	0.0 m	3.8 m
SITE WIDTH (m)	40.0	12.3	SIDE YARD (EAST)	0.0 m	0.0 m
SITE DEPTH (m)	30.0	41.1	SIDE YARD (WEST)	2.0 m (RMS Zone)	1.0 m
BUILDING SITE COVERAGE	75% (MAX)	78.1%	REAR YARD (SOUTH)	0.0 m (RMS Zone)	0.0 m
TOTAL SITE COVERAGE		80.5%	4. PARKING		
2. DEVELOPMENT REGULATIONS			TOTAL PARKING	47	50
TOTAL DWELLING UNITS		40 RES, 1 CRU	TOTAL LOADING SPACES	1	1
3 BEDROOM UNITS		1	FRONT YARD (NORTH)		3.8 m
2 BEDROOM UNITS		1	SIDE YARD (EAST)		0.0 m
1 BEDROOM UNITS		12	SIDE YARD (WEST)		1.0 m
BACHELOR UNITS		24	REAR YARD (SOUTH)		0.0 m
FLOOR AREA (GROSS)		4113.8 m ²	DRIVE AISLE WIDTH		6.7 m
FLOOR AREA (NET)		2287 m ²	5. BICYCLE PARKING		
FLOOR SPACE RATIO	1:3.35 (BONUS DEPENDENT)	1:35	TOTAL BICYCLE PARKING (CLASS II)	21	21
HEIGHT	6 STOREYS / 15.0 m (MAX)	15.0 STOREYS / 17.7 m	TOTAL BICYCLE PARKING (CLASS II)	0	0
			6. PRIVATE OPEN SPACE AREA		
			PRIVATE OPEN SPACE AREA	192.5 m ²	487 m ²



FAR AREA SCHEDULE			
Floor	Name	FAR Type	Area
MAIN FLOOR	PARKAGE	EXCLUDED	193.1 m ²
	LOBBY/CIRCULATION	EXCLUDED	40.81 m ²
	SERVICE	EXCLUDED	8.4 m ²
	GARAGE	EXCLUDED	21.4 m ²
	BIKE/SCOOTER	EXCLUDED	44.8 m ²
	CIRCULATION	EXCLUDED	12.8 m ²
	SERVICE	EXCLUDED	8.6 m ²
	PARKING COVERED	EXCLUDED	36.1 m ²
SECOND FLOOR	CIRCULATION	EXCLUDED	116.4 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	7.8 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	17.7 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	18.2 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	19.2 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	39.9 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	18.1 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	17.3 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	19.2 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	15.7 m ²
THIRD FLOOR	CIRCULATION	EXCLUDED	107.0 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	7.0 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	8.9 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	8.4 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	8.0 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	8.8 m ²
FOURTH FLOOR	CIRCULATION	EXCLUDED	107.0 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	8.0 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	8.4 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	8.9 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	7.0 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	6.8 m ²
FIFTH FLOOR	CIRCULATION	EXCLUDED	107.1 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	87.5 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	82.4 m ²
			1955.8 m ²
SIXTH FLOOR	COMMERCIAL	NET AREA	62.2 m ²
SEVENTH FLOOR	SUITES	NET AREA	307.7 m ²
	SUITES	NET AREA	307.6 m ²
EIGHTH FLOOR	SUITES	NET AREA	307.6 m ²
	SUITES	NET AREA	307.6 m ²
NINTH FLOOR	SUITES	NET AREA	221.6 m ²
	SUITES	NET AREA	205.9 m ²
Grand total			4172.8 m ²

UNIT LIST		
ROOM	NO.	NAME
Not Placed		
	202	UNIT B
	302	UNIT B
	305	UNIT B
	402	UNIT B
	506	UNIT A
	507	UNIT B
MAIN FLOOR		
	101	LOBBY
	102	VEST
	103	COMMERCIAL
	104	WC
	105	ELECTRICAL
	106	WATER ENTRY
	107	GARAGE / BICYCLE
	108	BICYCLE / SCOOTER
	EL-1	ELEVATOR
SECOND FLOOR		
	201	UNIT B3
	203	UNIT C
	204	UNIT A2
	205	UNIT B
	206	UNIT A
	207	UNIT B4
	208	UNIT B
	209	UNIT A
	210	UNIT B2
	211	UNIT A
	212	UNIT B
	205	UNIT B
THIRD FLOOR		
	301	UNIT B3
	303	UNIT C
	304	UNIT B
	305	UNIT B
	306	UNIT B
	307	UNIT B4
	308	UNIT A
	309	UNIT A
	310	UNIT B2
	311	UNIT B
	312	UNIT B
	313	UNIT B
	308	UNIT B
FOURTH FLOOR		
	401	UNIT B3
	403	UNIT C
	404	UNIT A2
	405	UNIT B4
	406	UNIT A
	407	UNIT A
	408	UNIT A
	409	UNIT B
	410	UNIT B2
	411	UNIT B
	412	UNIT B
	413	UNIT A
FIFTH FLOOR		
	501	UNIT PH0
	502	UNIT PH2
	503	UNIT PH1
	504	UNIT PH4

MQN
ARCHITECTSSUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

SITE PLAN

SOLE ON KLO

1083 KLO ROAD, KELOWNA, BC - LOT 2 DL 135 ODYD PLAN 25466

DRAWING: A-01

PROJECT: 17116
DATE: 2018/01/18
SCALE: 1/16" = 1'-0"

ATTACHMENT A, B.

This forms part of application
DP17-0169 / DVP17-0170



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials

1
AC

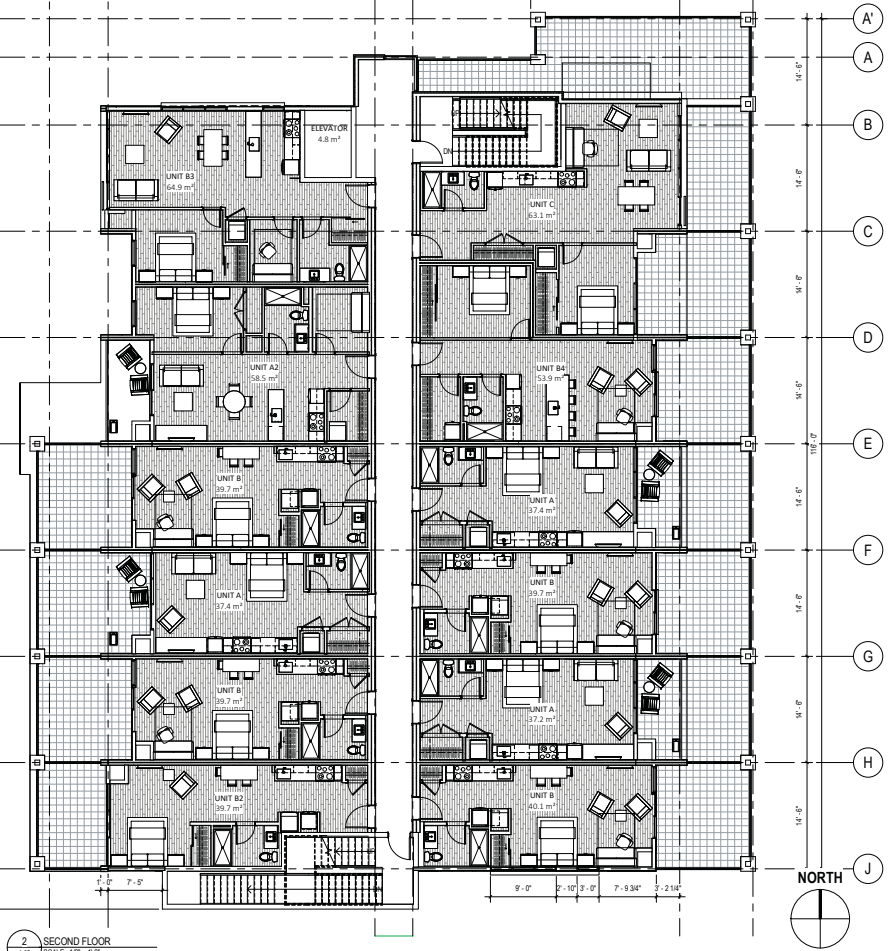
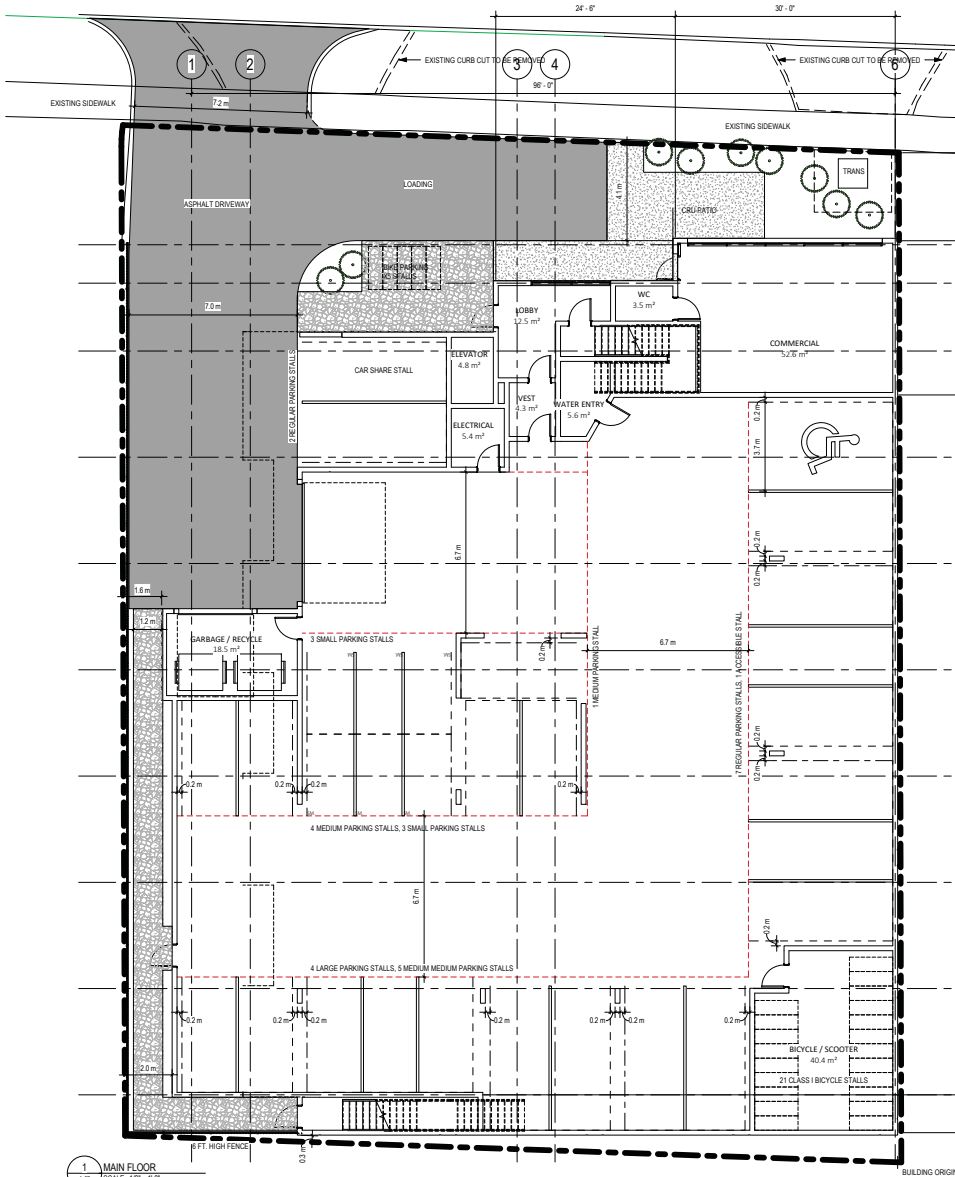
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3

4

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MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

PRELIMINARY PLANS

SOLE ON KLO

1083 KLO ROAD, KELOWNA, BC - LOT 2 DL 135 ODYD PLAN 25466

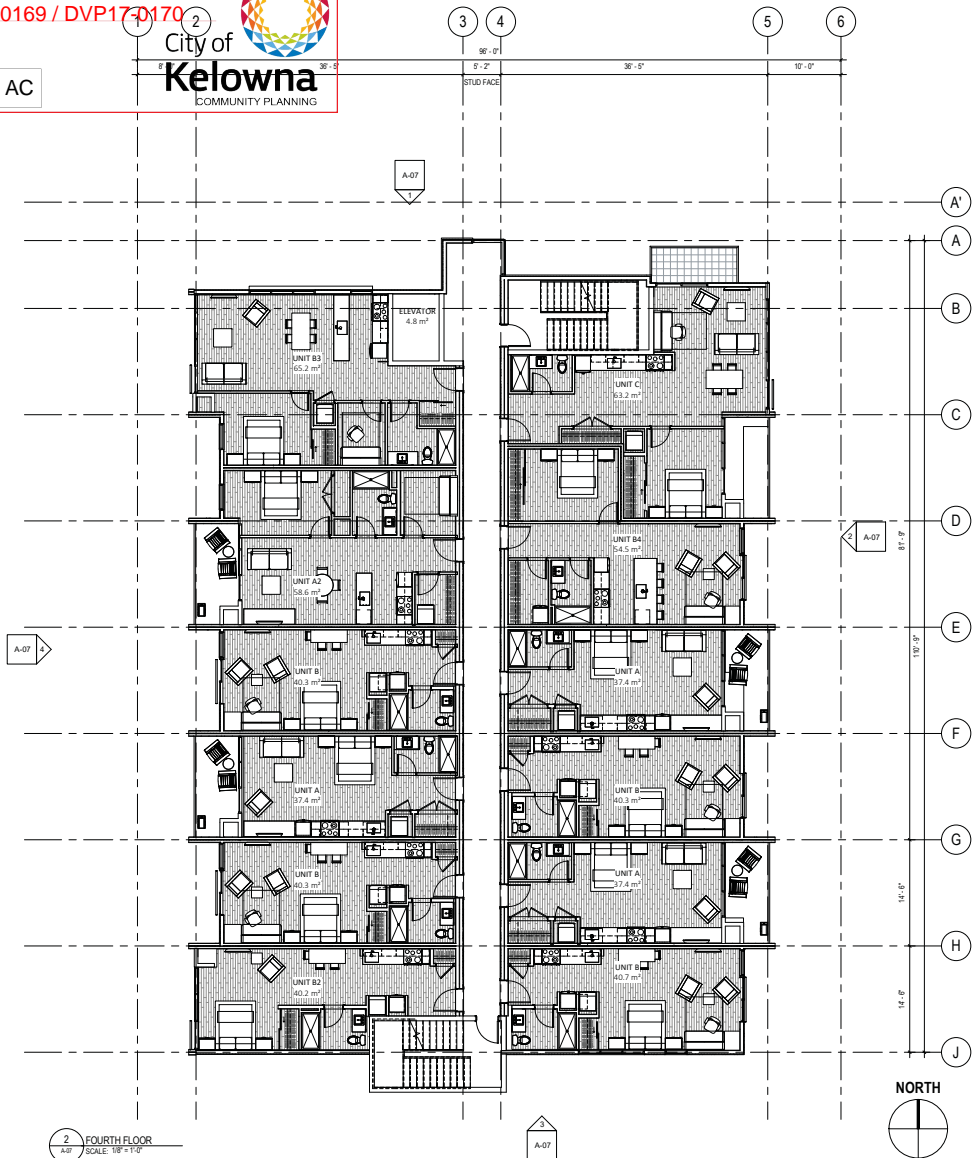
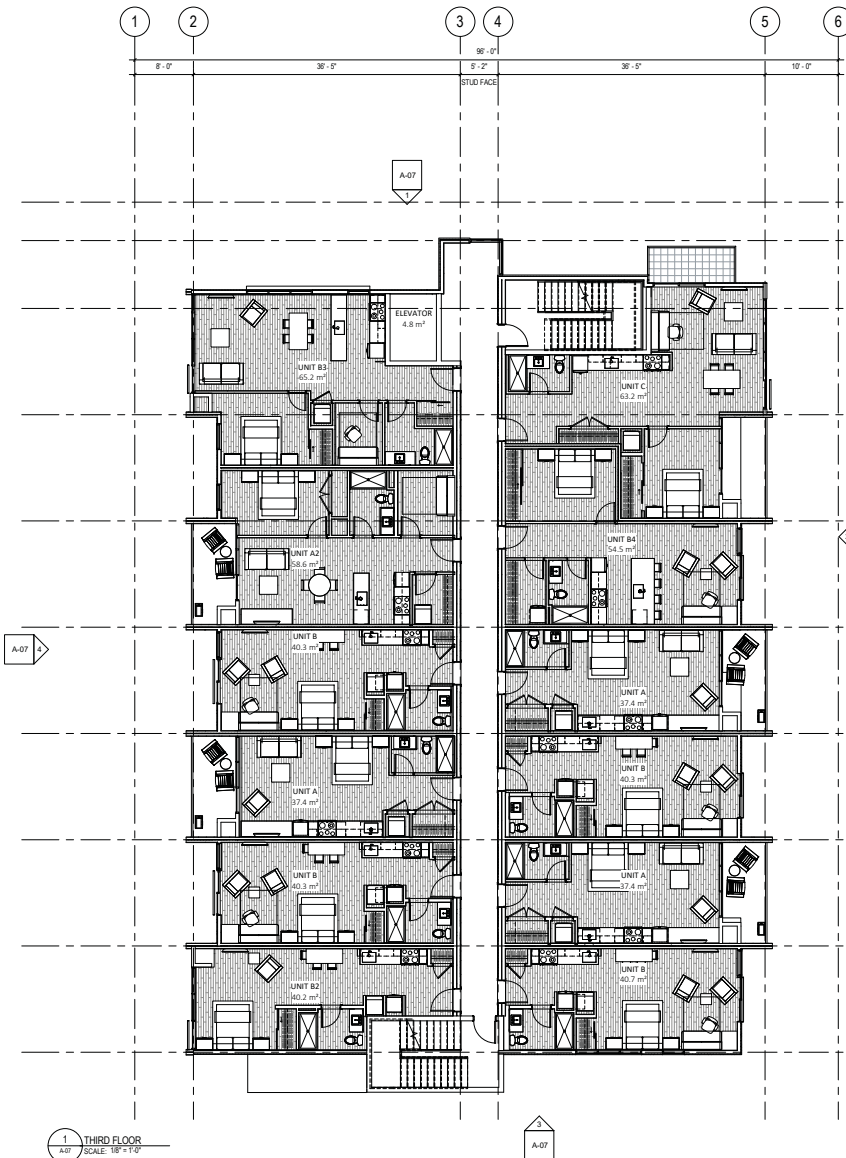
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PROJECT:
DATE:
SCALE:

A-02
17116
2018/01/18
1/8" = 1'-0"

ATTACHMENT A, B.

This forms part of application
DP17-0169 / DVP17-0170

Planner Initials AC



MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

PRELIMINARY PLANS

SOLE ON KLO
1083 KLO ROAD, KELOWNA, BC - LOT 2 DL 135 ODYD PLAN 25466

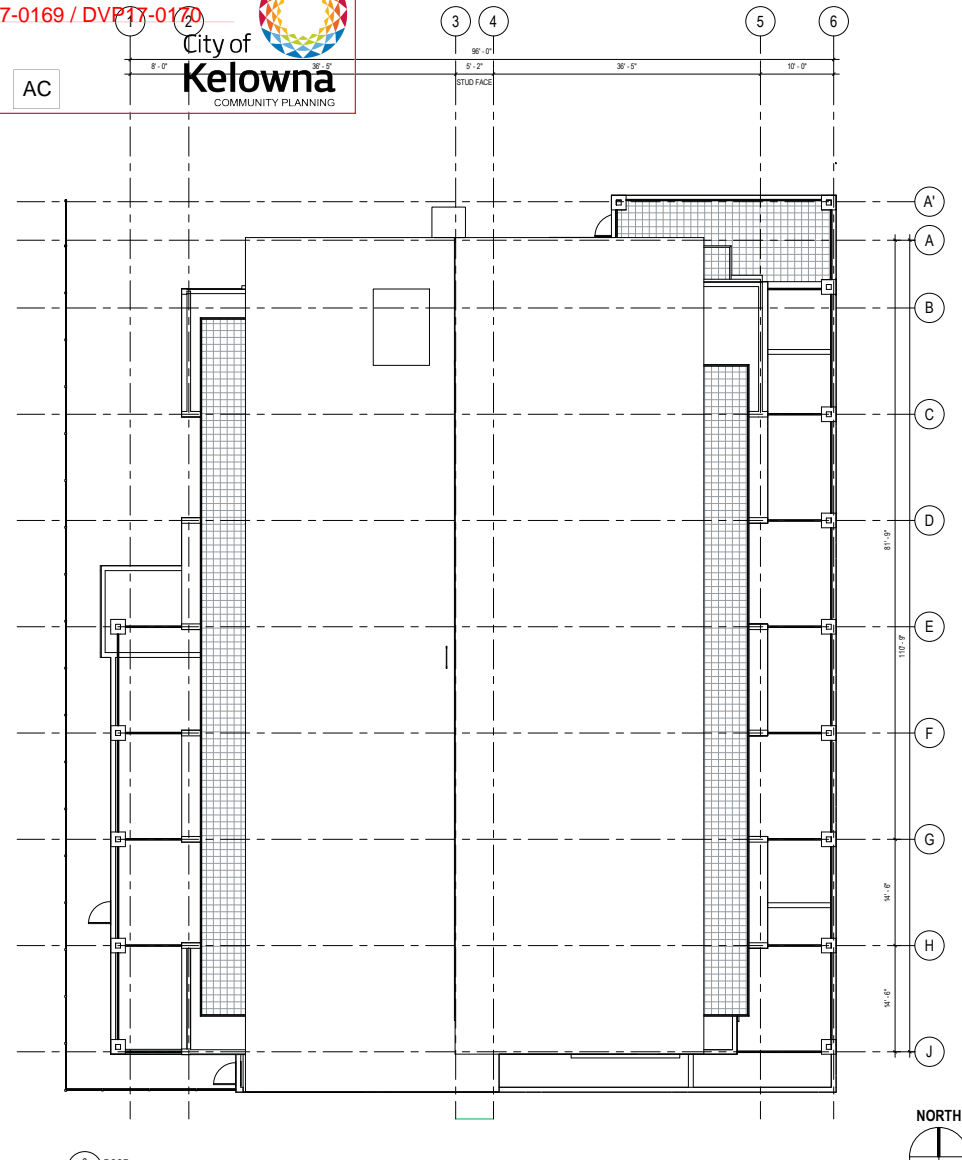
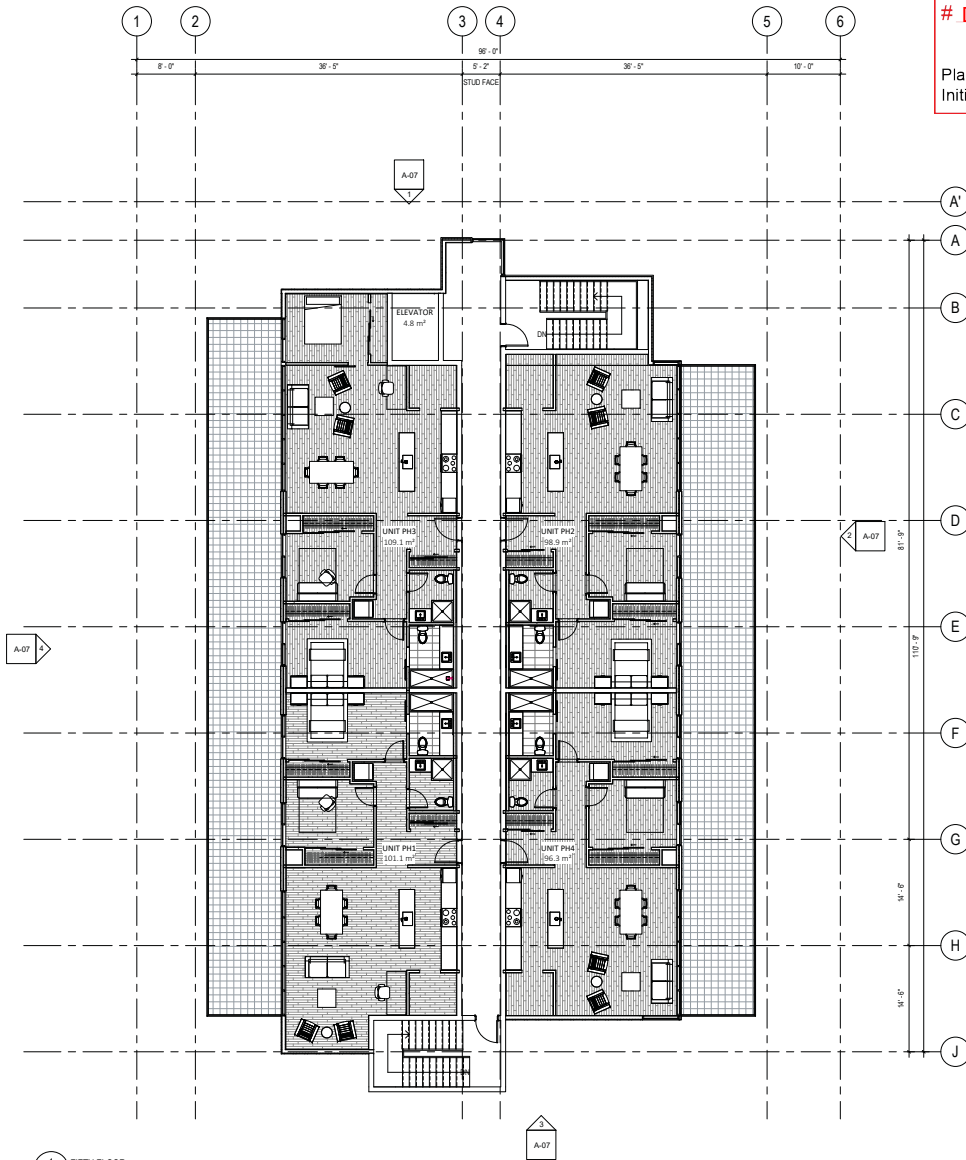
DRAWING:
PROJECT:
DATE:
SCALE:

A-03
17116
2018/01/18
1/8" = 1'-0"

ATTACHMENT A, B.

This forms part of application
DP17-0169 / DVP17-0170

Planner
Initials AC



MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

PRELIMINARY PLANS

SOLE ON KLO

1083 KLO ROAD, KELOWNA, BC - LOT 2 DL 135 ODYD PLAN 25466

DRAWING:

A-04

PROJECT:

17116

DATE:

2018/01/18

SCALE:

1/8" = 1'-0"

ATTACHMENT A, B.

This forms part of application
DP17-0169 / DVP17-0170

Planner
Initials AC



MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

PERSPECTIVE VIEWS

SOLE ON KLO
1083 KLO ROAD, KELOWNA, BC -- LOT 2 DL 135 ODYD PLAN 25466

DRAWING:

A-05

PROJECT:

17116

DATE:

2018/01/18

SCALE:



MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

PERSPECTIVE VIEWS

SOLE ON KLO
1083 KLO ROAD, KELOWNA, BC -- LOT 2 DL 135 ODYD PLAN 25466

DRAWING:

A-06

PROJECT:

17116

DATE:

2018/01/18

SCALE:

ATTACHMENT A, B.

This forms part of application
DP17-0169 / DVP17-0170

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING

ATTACHMENT A, B,

This forms part of application

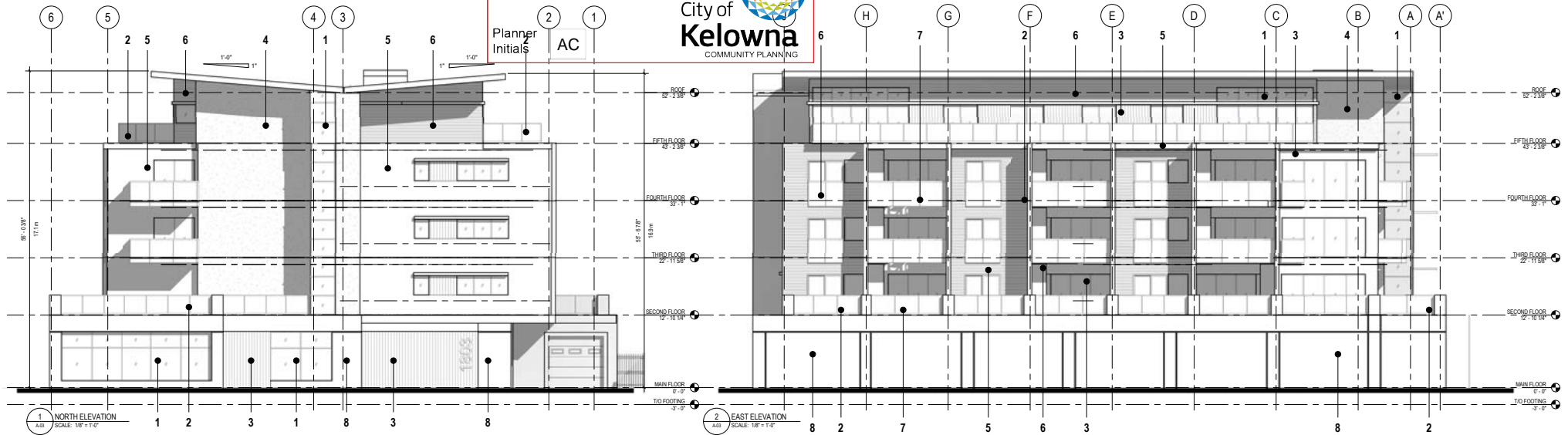
DP17-0169 / DVP17-0170



City of
Kelowna
COMMUNITY PLANNING

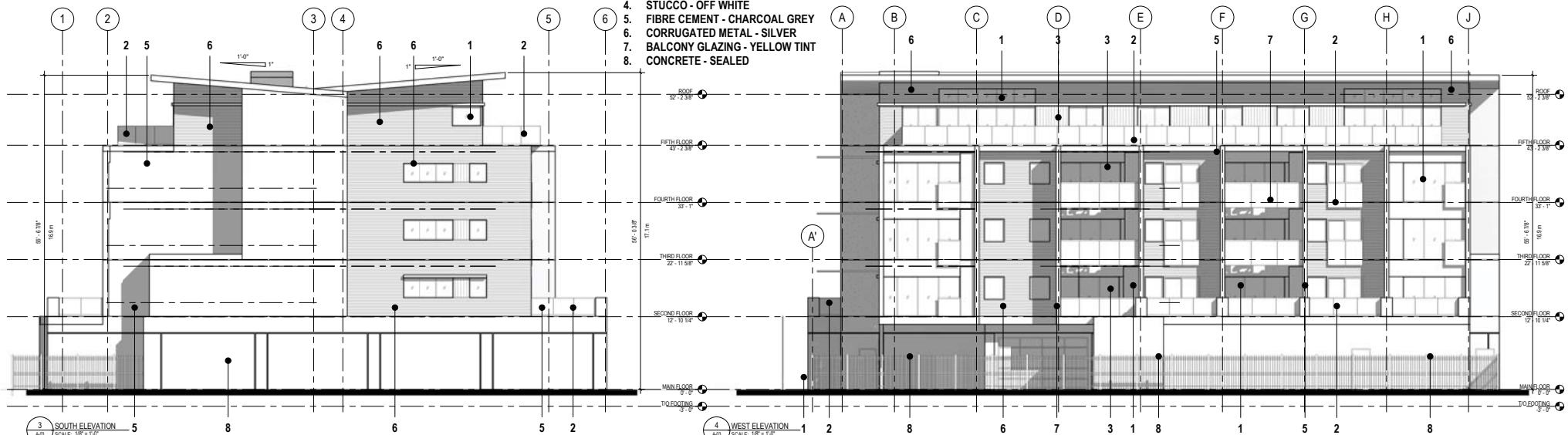
Planner
Initials

AC



1. BUILDING GLAZING - CLEAR
2. BALCONY GLAZING - BLUE TINT
3. WOOD ACCENT
4. STUCCO - OFF WHITE
5. FIBRE CEMENT - CHARCOAL GREY
6. CORRUGATED METAL - SILVER
7. BALCONY GLAZING - YELLOW TINT
8. CONCRETE - SEALED

MAIN FLOOR ELEVATION 0'-0" =
345.4 m GEODETIC



MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

ELEVATIONS

SOLE ON KLO

1083 KLO ROAD, KELOWNA, BC - LOT 2 DL 135 ODYD PLAN 25466

DRAWING:

A-07

PROJECT:

17116

DATE:

2018/01/18

SCALE:

1/8" = 1'-0"



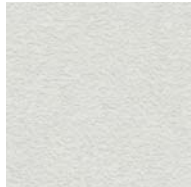
1. BUILDING GLAZING -
CLEAR LOW-E GLASS



2. BALCONY GLAZING -
BLUE TINT GLAZING



3. WOOD ACCENT



4. STUCCO - OFF WHITE



SBS ROOFING - GREY



5. FIBRE CEMENT PLANK -
CHARCOAL GREY



6. CORRUGATED METAL
PANEL - HORIZONTAL
CONFIGURATION SILVER
METALLIC FINISH



7. BALCONY GLAZING -
YELLOW TINT GLAZING



8. CONCRETE WALL -
CLEAR SEALED



ATTACHMENT A, B.

This forms part of application
DP17-0169 / DVP17-0170

Planner
Initials AC



MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

MATERIAL PALETTE

SOLE ON KLO
1083 KLO ROAD, KELOWNA, BC -- LOT 2 DL 135 ODYD PLAN 25466

DRAWING:

A-08

PROJECT:

17116

DATE:

2018/01/18

SCALE:






FAR CALCULATION

TOTAL SITE AREA	1357.4m2
TOTAL NET FLOOR AREA:	2317.0m2

FLOOR AREA RATIO: 1.70

Building Area Legend

-  EXCLUDED
 NET AREA
 Calculating...

ATTACHMENT A, B,

This forms part of application

DP17-0169 / DVP17-0170

Planner Initials AC

FAR CALCULATION

SOLE ON KLO
1083 KLO ROAD, KELOWNA, BC -- LOT 2 DL 135 ODYD PLAN 25466

DRAWING: A-09

PROJECT: 17116
DATE: 2018/01/18
SCALE: 1/16" = 1'-0"

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

REPORT TO COUNCIL



Date: March 06 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (KB)

Application: DVP17-0195 **Owner:** Marius Anton Scheepers
Sandra Cornelia Keel

Address: 20 180 Sheerwater Court **Applicant:** Carl Scholl Design Inc.

Subject: Development Variance Permit

Existing OCP Designation: S2RES – Single / Two Unit Residential
REP – Resource Protection

Existing Zone: RR1 – Rural Residential 1

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0195 for STRATA LOT 20 SECTION 6 TOWNSHIP 23 OSOYOOS DIVISION YALE DISTRICT PLAN KAS3129 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V, located at 20 180 Sheerwater Court, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with Schedule "A" and "B":

Section 12.1.6(b): RR1 – Rural Residential 1 Development Regulations

To vary the required maximum height from 9.5 m or 2 ½ storeys to 15.45 m or 3 storeys.

AND THAT approval of a Hazardous Condition Development Permit is granted by Staff;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

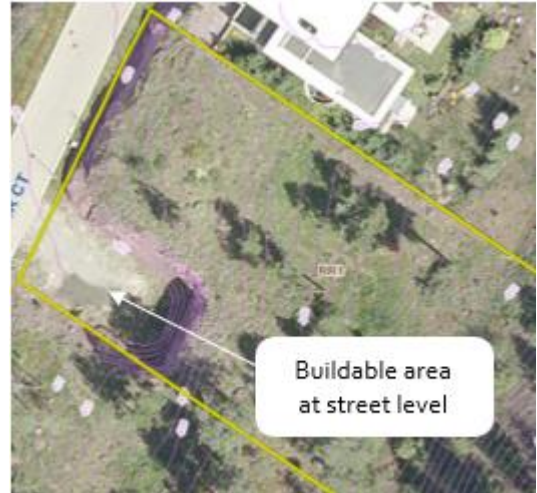
To vary the maximum height on the subject property to allow the development of a Single Family Dwelling.

3.0 Community Planning

Community Planning Staff support the Development Variance Permit application. The subject property is a sloped lot with a small buildable area at street-level, surrounded by approximately a 7.44 m high cliff leading to the remaining buildable area. Although the property is visible from the lake, Sheerwater Court is a private strata road, and the proposed location of the Single Family Dwelling is not visible from any public road. Further, the architecture of the building is highly articulated and stepped back so as to minimize the massing of the building.

There is a panhandle portion of the lot that has frontage along Boppart Court to the east, however the site cannot be accessed from that frontage, due to steep slopes, and a covenant protecting the slopes that was established at the time of subdivision. Should the Development Variance Permit be supported by Council, a Hazardous Condition Development Permit will also be required prior to building permit issuance.

The applicant has confirmed the completion of public notification in accordance with Council Policy No. 367.

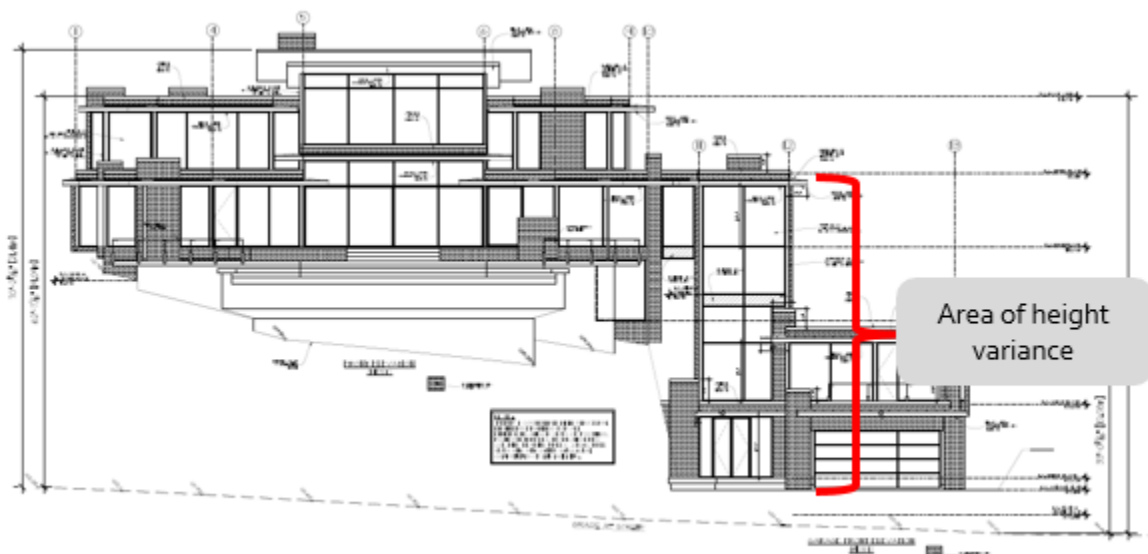


4.0 Proposal

4.1 Project Description

The application is for a Development Variance Permit, to allow the construction of a Single Family Dwelling with a Secondary Suite. The applicant has requested one variance, to maximum height. The variance applies to the maximum vertical distance between the building grade and the highest point of the structure, as shown in Image 1 below.

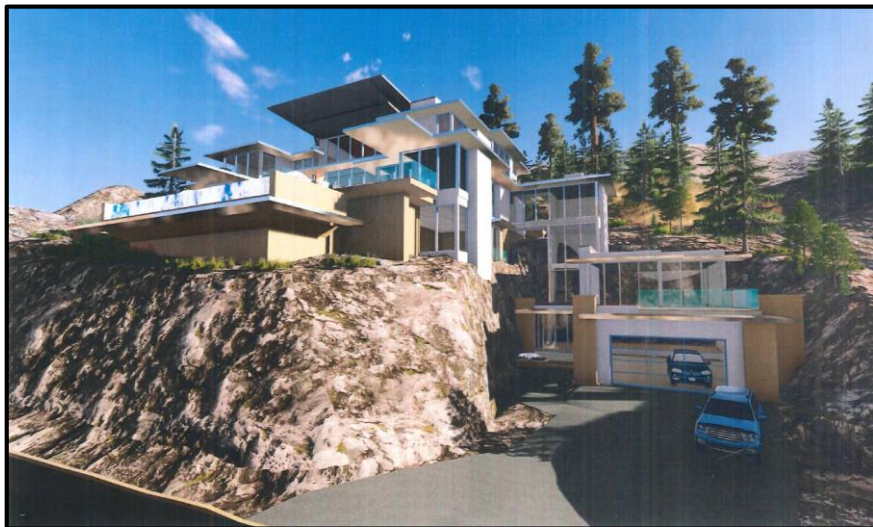
Image 1: Location of height variance under consideration



A small portion of the lot, approximately 300 m² in area, is accessible by vehicle off Sheerwater Court. This area is surrounded by steep cliffs on the adjacent north and east portions of the lot. There is a larger buildable area above these cliffs, however due to the height of the cliffs, the buildable area is challenging to access. The proposed design allows for access to the upper portion of the lot, from the lower street-level area.

The applicant has designed an entry foyer and garage to fit within the buildable area at street-level, with the secondary suite located on the first level above the garage. There is an enclosed staircase and elevator, and on the upper storey, a bridge, which connects to the main portion of the dwelling.

Image 2: Conceptual rendering of the dwelling as viewed from Sheerwater Court.



4.2 Site Context

The subject property is located on the east side of Sheerwater Court in the Glenmore – Clifton – Dilworth City Sector. It is currently a vacant lot located within a private strata community known as “Sheerwater”. It is located inside the Permanent Growth Boundary.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RR1 – Rural Residential 1	Single Dwelling Housing
East	RR1 – Rural Residential 1	Single Dwelling Housing
South	RR1 – Rural Residential 1	Single Dwelling Housing and Vacant Land
West	RR1 – Rural Residential 1	Single Dwelling Housing and Vacant Land

Subject Property Map: 20 180 Sheerwater Court**4.3 Zoning Analysis Table**

Zoning Analysis Table		
CRITERIA	RR1 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Maximum Site Coverage	10%	6.75 %
Maximum Height	9.5 m / 2 ½ storeys	15.45 m / 3 storeys ❶
Front Yard	6.0 m	6.0 m
Side Yard (north)	3.0 m	3.0 m
Side Yard (south)	3.0 m	3.0 m
Rear Yard	10.0 m	> 10.0 m
❶ Indicates a requested variance to vary the required maximum height from 9.5 m or 2 ½ storeys to 15.45 m or 3 storeys.		

5.0 Current Development Policies**5.1 Hillside Development Guidelines (October 2009)****Principles for Hillside Development**

Development applications within hillside areas should work to achieve the vision for hillside development by focusing on the following principles:

- Damage to the environment and natural features should be avoided
- Suitable density and diversity of housing type mitigates impacts
- All users are accommodated on neighbourhood streets
- Views are preserved for residents and visitors
- Locally appropriate, drought tolerant plants are used
- Building sites are safe.

Grading/Retaining Objectives

- Site grading and retaining walls respect existing terrain; that is, large cuts/fills are not used to create 'build-able lots' or flat yards. Driveway grades follow the natural terrain, large single level building platforms are avoided, final lot grades mimic the natural slope and slopes are promptly re-vegetated

6.0 Technical Comments

6.1 Building & Permitting Department

Full Plan check for Building Code related issues will be done at time of Building Permit applications.

6.2 Development Engineering Department

This Development Variance Permit application does not compromise any municipal services.

7.0 Application Chronology

Date of Application Received: July 21, 2017
Date Public Consultation Completed: February 13, 2018

Report prepared by: Kimberly Brunet, Planner
Reviewed by: Terry Barton, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development Permit No. DVP17-0195
Schedule "A" - Site Plan
Schedule "B" - Elevation

Development Variance Permit

DVP17-0195



This permit relates to land in the City of Kelowna municipally known as

20 180 Sheerwater Court

and legally known as

STRATA LOT 20 SECTION 6 TOWNSHIP 23 OSOYOOS DIVISION YALE DISTRICT PLAN KAS3129 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V

and permits the land to be used for the following development:

Single Dwelling Housing

with variances to the following sections of the Zoning Bylaw No. 8000:

Section 12.1.6(b): RR1 – Rural Residential 1 Development Regulations

To vary the required maximum height from 9.5 m or 2 ½ storeys to 15.45 m or 3 storeys.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: March 6, 2018

Decision By: City Council

Issued Date: March 6, 2018

Development Permit Area: N/A

This permit will not be valid if development has not commenced by March 6, 2020.

Existing Zone: RR1 – Rural Residential 1

Future Land Use Designation: S2RES – Single / Two Unit Residential & REP – Resource Protection

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Marius Anton Scheepers and Sandra Cornelia Keel

Applicant: Carl Scholl Design Inc

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The elevations of the building to be constructed on the land be in accordance with Schedule "B";

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None required.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

SCHEDULE

A

This forms part of application
DVP17-0195

Planner
Initials

KB



REVISIONS		
REV	DATE	DESCRIPTION
A	02/09/16	ISSUED FOR REVIEW
B	09/09/16	ISSUED FOR REVIEW
C	20/09/16	ISSUED FOR REVIEW
D	19/12/16	ISSUED FOR REVIEW
E	19/12/16	ISSUED FOR STRUCTURAL
F	7/02/17	ISSUED FOR STRUCTURAL
G	21/02/17	ISSUED FOR REVIEW
H	29/06/17	ISSUED FOR REVIEW
I	29/09/17	ISSUED FOR REVIEW
J	28/01/18	ISSUED FOR TENDER
K	07/02/18	ISSUED FOR TENDER
NOTE:		

SITE CALCULATIONS:

SITE AREA = 8,550.942 m²

- BUILDING 'A' (PRINCIPAL RESIDENCE)
= 3,924.13 FT²
- BUILDING 'B' (GARAGE, FOYER, GUEST SUITE)
= 1,862.40 FT²
- STRUCTURE 'C' (STAIRS, ELEVATOR, BRIDGE)
= 421.75
- TOTAL = 6,208.28 FT² (576.77 m²)

(576.77 m²/8,550.942 m²) X 100 = 6.75%
ALLOWABLE = 10%

DRIVEWAY/ WALKWAY = 1099.74 FT² (102.17 m²)
= 1.19%

NOTE:
-SEE LANDSCAPER DESIGN
FOR CURRENT DIMENSIONS,
LAYOUT AND DETAILS.

CARL
SCHOLL
DESIGN INC.
203-347 LEON AVENUE
KELOWNA, B.C. V1Y 8C7
TEL: (250) 763-7800
FAX: (250) 861-4247

EVAN
GILBERT
drafting & design
www.evangelbert.com
evangelbert@outlook.com 778.478.7722

PROJECT TITLE
**LOT 20
SHEERWATER**

KELOWNA, BC

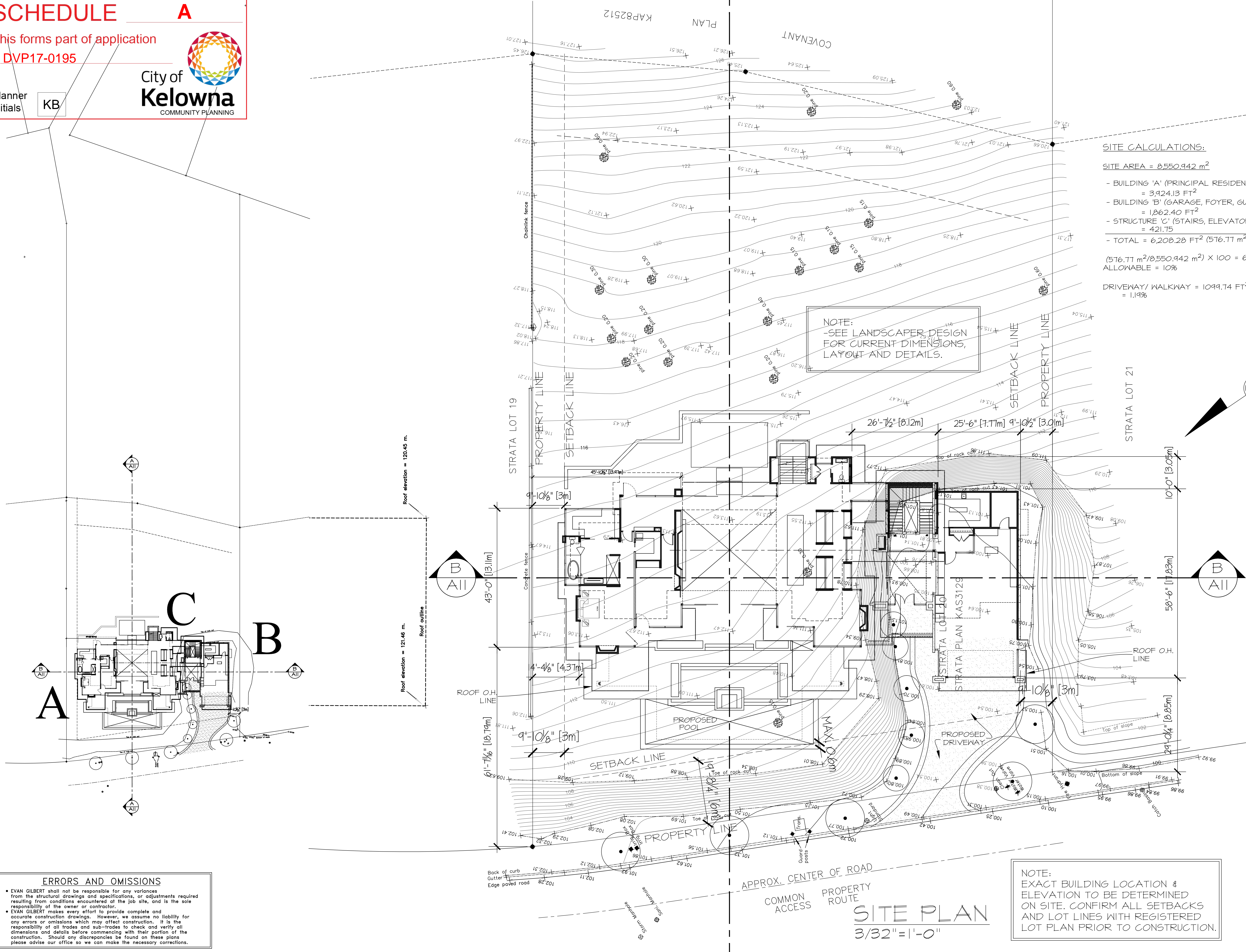
DATE: 07/02/18
DRAWING SCALE: AS NOTED
DRAWN BY: EKG
CHECKED BY: CS
APPROVED BY:
SHEET NAME

SITE PLAN

FOR TENDER

REVISION K	PLAN NUMBER: 559
SHEET NUMBER A1	SHEET 1 OF 34

©2018/19 EVAN GILBERT DESIGN INC. ALL RIGHTS RESERVED. PROJECT NO. KAS3129 - LOT 20 SHEERWATER



ERRORS AND OMISSIONS

- EVAN GILBERT shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

NOTE:
EXACT BUILDING LOCATION &
ELEVATION TO BE DETERMINED
ON SITE. CONFIRM ALL SETBACKS
AND LOT LINES WITH REGISTERED
LOT PLAN PRIOR TO CONSTRUCTION.

SITE PLAN
3/32"=1'-0"

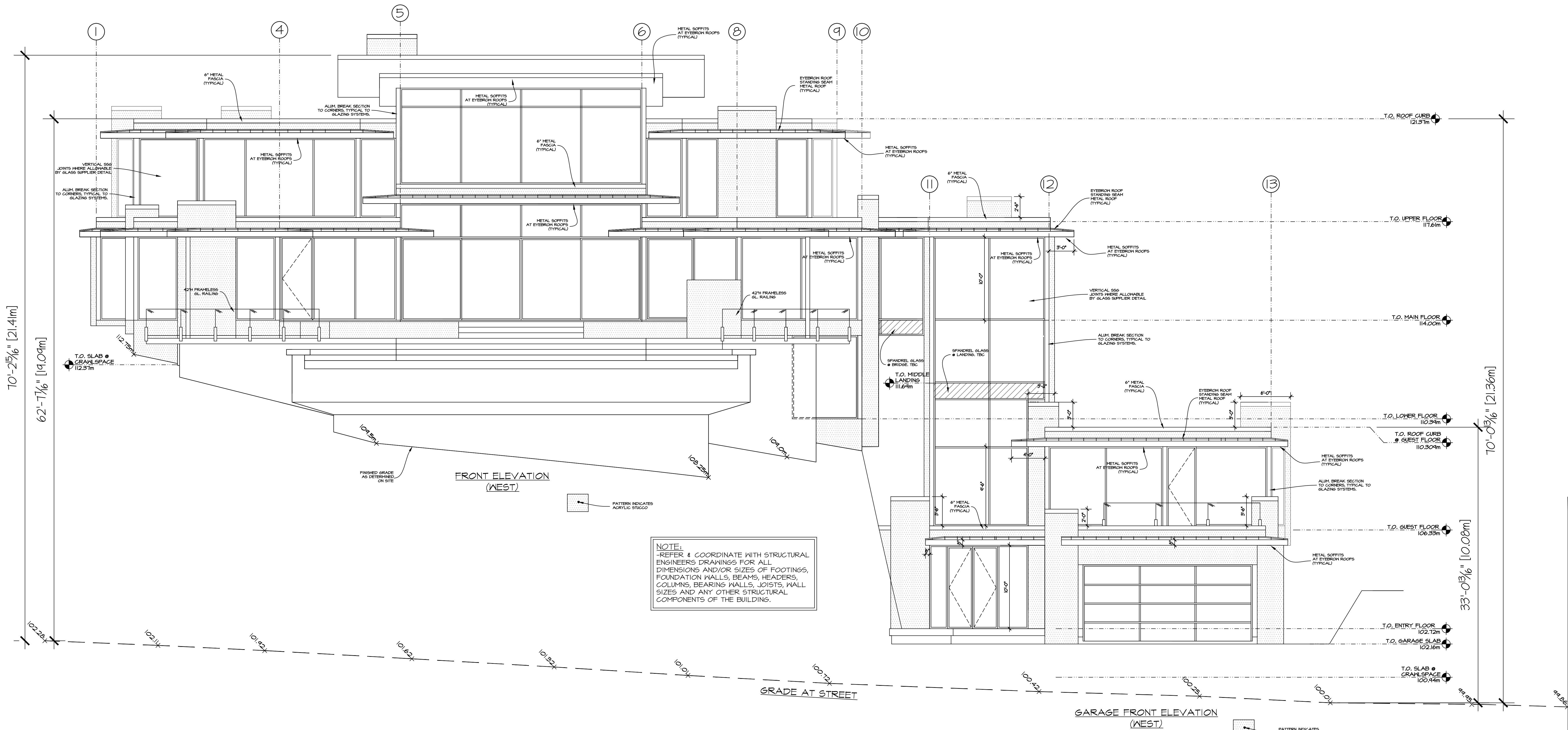
SCHEDULE B

This forms part of application
DVP17-0195

Planner
Initials KB



REVISIONS		
REV	DATE	DESCRIPTION
A	02/09/16	ISSUED FOR REVIEW
B	09/09/16	ISSUED FOR REVIEW
C	20/09/16	ISSUED FOR REVIEW
D	19/12/16	ISSUED FOR REVIEW
E	19/12/16	ISSUED FOR STRUCTURAL
F	7/02/17	ISSUED FOR REVIEW
G	21/02/17	ISSUED FOR REVIEW
H	29/06/17	ISSUED FOR REVIEW
I	29/09/17	ISSUED FOR REVIEW
J	28/01/18	ISSUED FOR TENDER
K	07/02/18	ISSUED FOR TENDER
NOTE:		



NOTE:
-REFER & COORDINATE WITH STRUCTURAL
ENGINEERS DRAWINGS FOR ALL
DIMENSIONS AND/OR SIZES OF FOOTINGS,
FOUNDATION WALLS, BEAMS, HEADERS,
COLUMNS, BEARING WALLS, JOISTS, WALL
SIZES AND ANY OTHER STRUCTURAL
COMPONENTS OF THE BUILDING.

ERRORS AND OMISSIONS

- EVAN GILBERT shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

CARL
SCHOLL
DESIGN INC.
203-347 LEON AVENUE
KELOWNA, B.C. V1Y 8C7
TEL: (250) 763-7800
FAX: (250) 861-4247

EVAN
GILBERT
drafting & design
www.schollgibbert.com
egilbert@outlook.com 778.478.7722

PROJECT TITLE
LOT 20
SHEERWATER

KELOWNA, BC

DATE: 07/02/18
DRAWING SCALE: 3/16" = 1'0"
DRAWN BY: EKG
CHECKED BY: CS
APPROVED BY:
SHEET NAME

HOUSE & GARAGE
STREET VIEW

PROGRESS
FOR TENDER

REVISION K PLAN NUMBER: 559
SHEET NUMBER A14 SHEET 14 OF 34

C:\projects\UNDEVELOPED\LOT 20 SHEERWATER\PROJECT\KEL020-1800 - CARL SCHOLL - LOT 20 SHEERWATER.DWG

REPORT TO COUNCIL



Date: March 6, 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (KB)

Application: DVP17-0217

Owner: Jesse Kyle Alderidge

Address: 889 Cadder Avenue

Applicant: Novation Design Studio (Paul Schuster)

Subject: Development Variance Permit

Existing OCP Designation: MRL – Multiple Unit Residential (Low Density)

Existing Zone: RU6 – Two Dwelling Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0217 for Lot 28 Section 19 Township 26 Osoyoos Division Yale District Plan 700, located at 889 Cadder Ave, Kelowna, BC subject to the following;

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. Landscaping to be provided on the land be in accordance with Schedule "B";
3. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 9.5b.1(i): Specific Use Regulations – Carriage House Regulations

To vary the required minimum side yard from 1.5 m permitted to 1.2 m existing.

Section 9.5b.1(j): Specific Use Regulations – Carriage House Regulations

To vary the required minimum rear yard from 1.5 m permitted to 1.0 m existing.

Table 8.1 – Parking Schedule: Section 8 – Parking and Loading

To vary the required number of parking spaces from 3 required to 2 existing.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Variance Permit Application in order for the permit to be issued;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider three variances to convert an existing accessory building to a carriage house.

3.0 Community Planning

Community Planning recommends support for the requested Development Variance Permit application to allow the existing accessory building to be converted to a carriage house. The approval of this Development Variance Permit will legalize an existing illegal carriage house, thereby rectifying an open bylaw investigation, and the building permit will ensure that life safety and building code requirements are being met. The property does not require rezoning for this use.

At the request of the Community Planning Department, the applicant has agreed to remove the currently existing driveway off Cadder Avenue, and have all access for both dwellings come off Ethel Street. The applicant has provided a Landscape Plan and is willing to bond for the fencing along Cadder Avenue, should this Development Variance Permit application be supported by Council. Further, the carriage house would require a building permit to ensure compliance with the BC Building Code.

Although there is room for three vehicles parked in tandem on the subject property, one would be located within the required 4.5m front yard setback. Three vehicles in tandem is not recognized as a valid parking configuration under the City of Kelowna Zoning Bylaw No. 8000. The subject property is directly adjacent to RU7 zoned properties, where the parking requirements for two dwellings would be two stalls.

The applicant has confirmed the completion of public notification in accordance with Council Policy No. 367.

4.0 Proposal

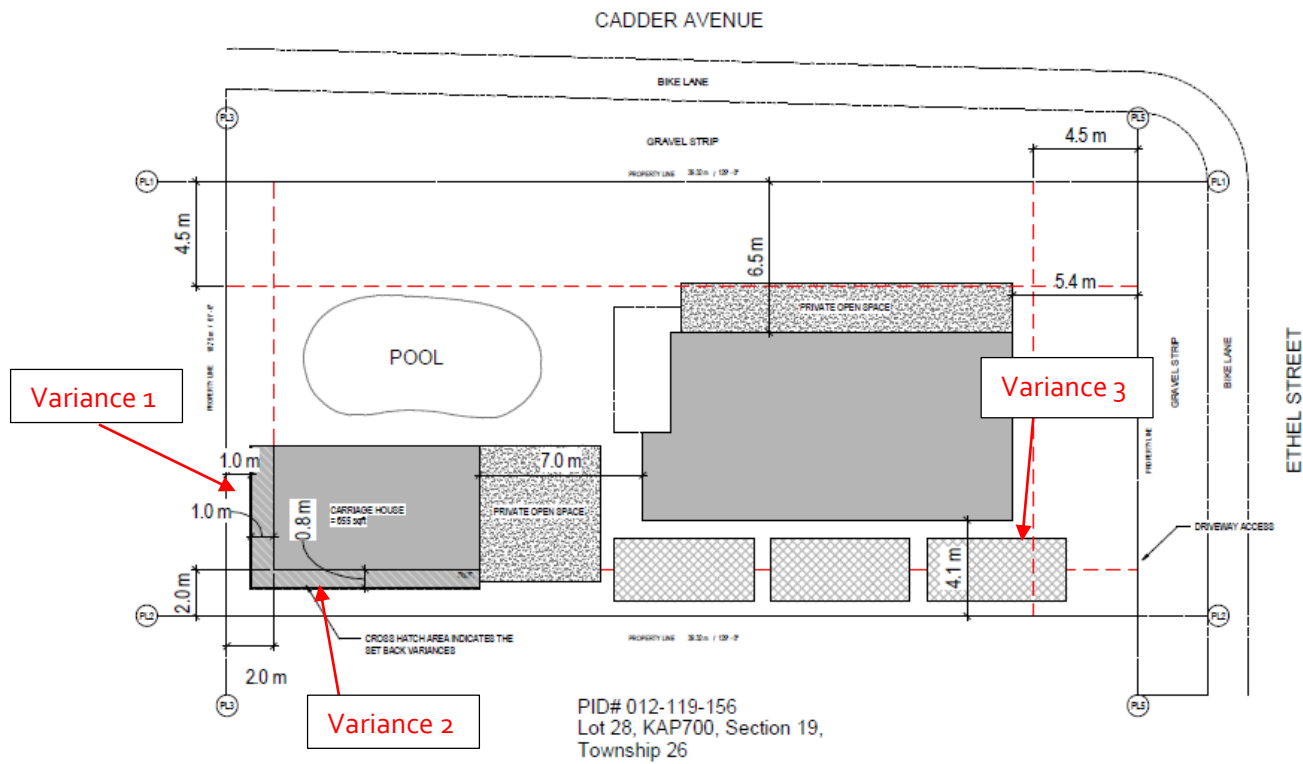
4.1 Background

There is a single family dwelling and an accessory building on the subject property. The accessory building under consideration was constructed as a garage without permits and was renovated as a suite without permits. There was also a suite in the single family dwelling. Two building permits for the full decommissioning of the suite in the house and in the accessory building were applied for in October 2016. The suite in the single family dwelling was fully decommissioned in November 2016, and the building permit for the decommissioning of the suite in the accessory building has remained open. It is Staff's understanding that a new owner is wanting to bring the property in to compliance.

4.2 Project Description

The applicant is proposing to convert an existing accessory building, resulting in the legalization of a one-bedroom carriage house. The proposed conversion requires variances for setbacks, for the side and rear yards. The third variance is for the required number of parking stalls, from three required to two proposed. As part of the application, an existing driveway and parking spots off Cadder Avenue would be removed.

A building permit would be required for the existing accessory building to bring it up to current BC Building Code. The form and character would be modified to remove the visible garage doors.

Images 1 & 2: The North and South Elevations of the Existing Accessory Building**Site Plan:** 88g Cadder Ave

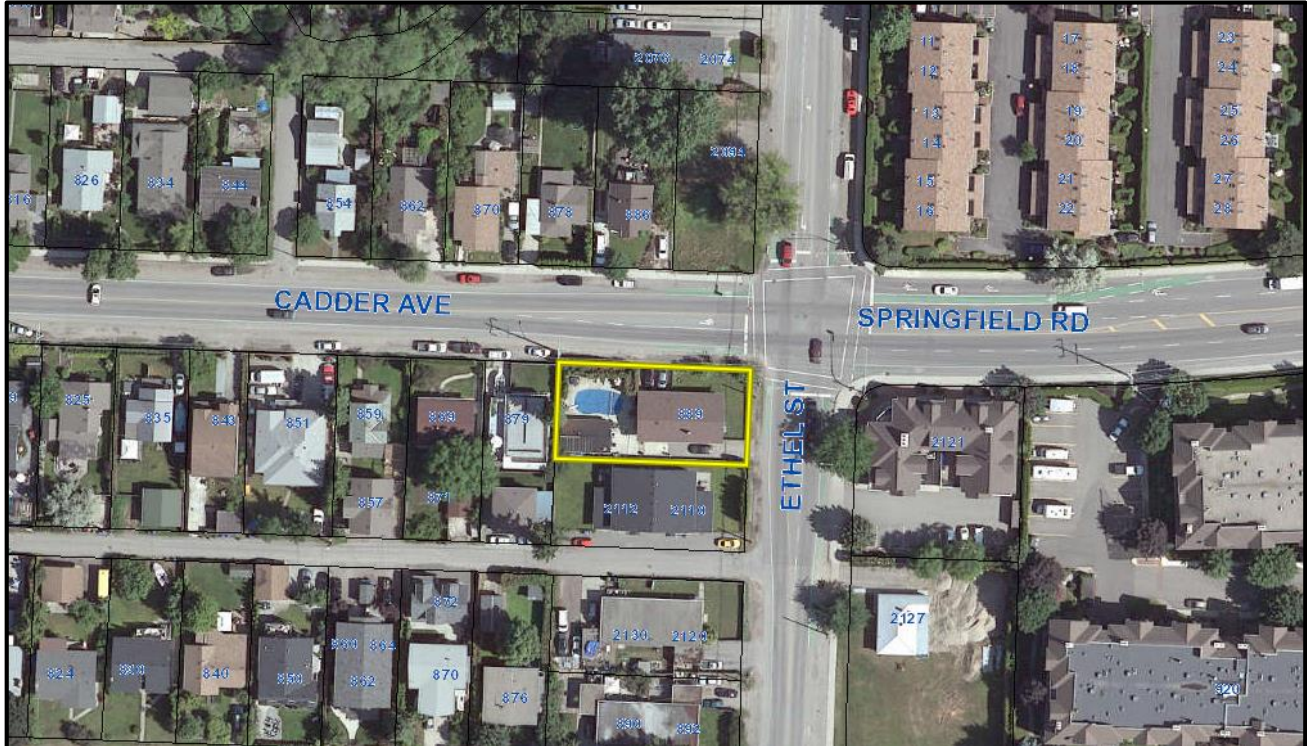
4.3 Site Context

The subject property is located at the southwest corner of Cadder Avenue and Ethel Street. The neighbourhood is considered in the Central City Sector and is in close proximity to the Ethel Street Active Transportation Corridor and A.S. Matheson Elementary School. It is located within the Permanent Growth Boundary.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing	Residential
East	C2 – Neighbourhood Commercial RM ₃ – Low Density Multiple Housing	Commercial Residential
South	RU6 – Two Dwelling Housing	Residential
West	RU7 - Infill Housing	Residential

Subject Property Map: 889 Cadder Ave



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	CARRIAGE HOUSE REQUIREMENTS	PROPOSAL
Development Regulations		
Maximum Height	4.8 m	3.5 m
Minimum Front Yard (east)	9.0 m	> 9.0 m
Minimum Side Yard (north)	1.5 m	> 1.5 m
Minimum Side Yard (south)	1.5 m	1.2 m ^①
Minimum Rear Yard (west)	1.5 m	1.0 m ^②
Minimum distance from existing principal building	3.0 m	7.0 m
Section 8 – Parking and Loading Regulations		
Minimum Parking Requirements	3 stalls	2 stalls ^③
^① Indicates a requested variance to reduce the minimum side yard setback from 1.5 m required to 1.2 m existing ^② Indicates a requested variance to reduce the minimum rear yard setback from 1.5 m required to 1.0 m existing ^③ Indicates a requested variance to reduce the number of parking stalls from 3 required to 2 existing		

5.0 Technical Comments

5.1 Building & Permitting Department

- The change of use from a garage to a carriage home will require code upgrades at time of Building Permit application.

5.2 Development Engineering Department

- Does not compromise any municipal services

6.0 Application Chronology

Date of Application Received: September 29, 2017
 Date Public Consultation Completed: November 20, 2017
 Date Landscape Plan Received: February 8, 2018

Report Prepared by: Kimberly Brunet, Planner
Reviewed by: Terry Barton, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development Variance Permit No. DVP17-0217
 Schedule "A" – Site Plan and Elevations
 Schedule "B" – Landscaping Plan

Development Variance Permit

DVP18-0001



This permit relates to land in the City of Kelowna municipally known as

434 Sands Court

and legally known as

Lot 2 Section 26 Township 26 Osoyoos Division Yale District Plan 30432

and permits the land to be used for the following development:

Single Dwelling Housing

with variances to the following section of the Zoning Bylaw No. 8000:

Section 13.1.6(e): RU1 – Large Lot Housing Development Regulations

To vary the required minimum rear yard from 7.5 m permitted to 3.45 m proposed.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: March 6, 2018

Decision By: City Council

Issued Date: March 6, 2018

Development Permit Area: N/A

This permit will not be valid if development has not commenced by March 6, 2020.

Existing Zone: RU1 – Large Lot Housing

Future Land Use Designation: S2RES – Single / Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Daniel Mark Sandberg and Jo-Ann Lyn Sandberg

Applicant: Daniel Mark Sandberg

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Attachment "A";

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None required.

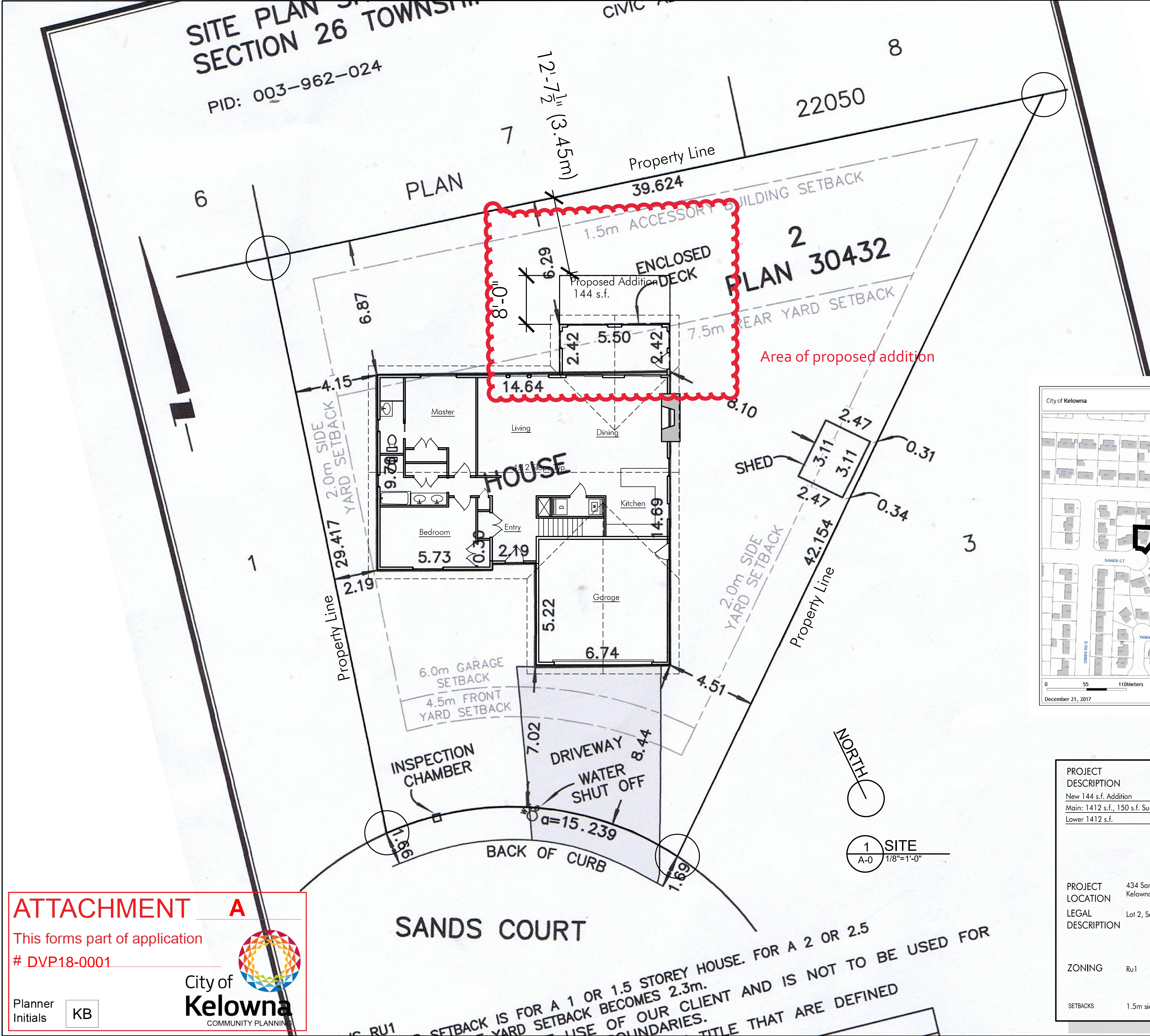
4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

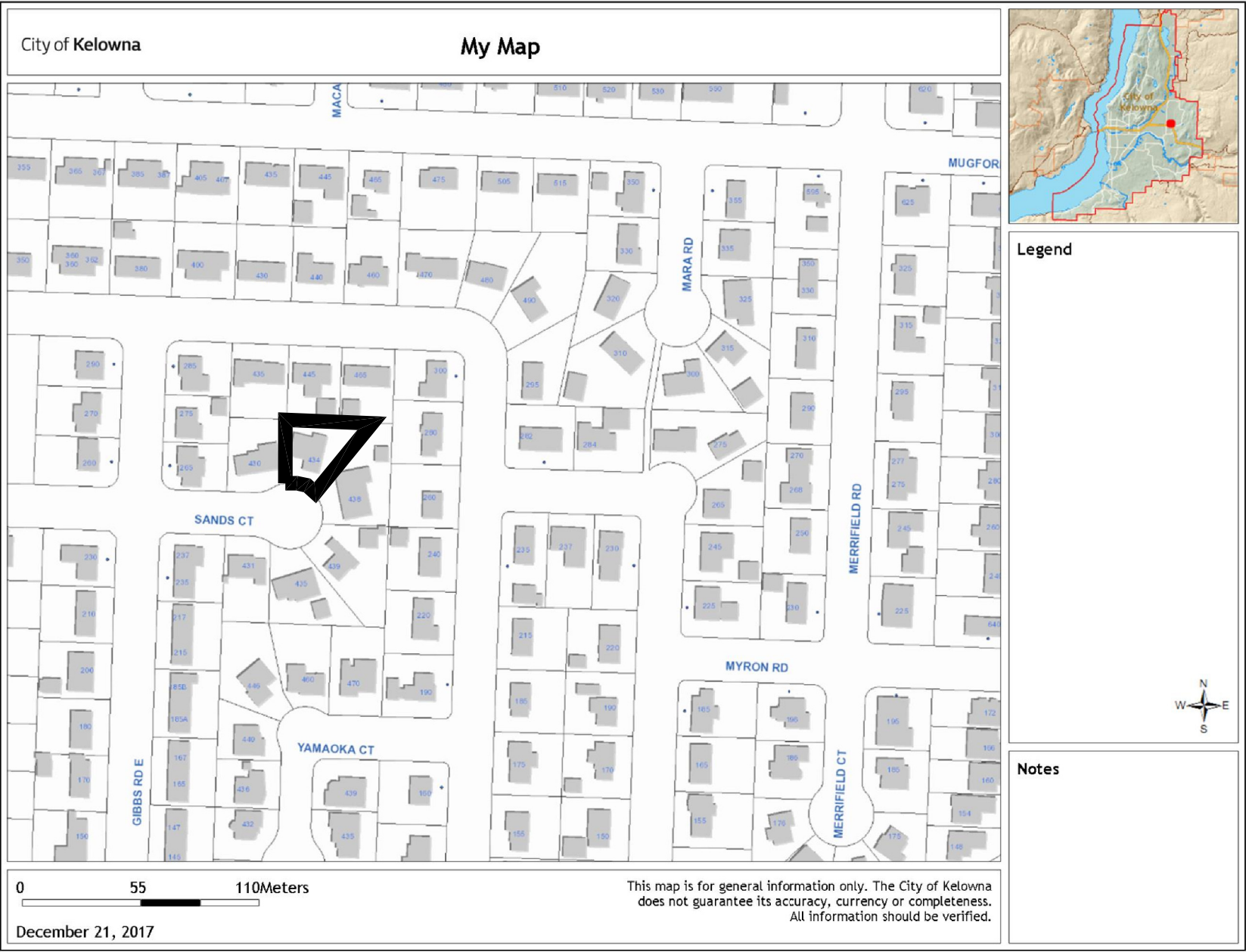
**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**



Drawing List

- A-0 Site Plan
- A-1 Main Plan
- A-1.1 Main Plan Proposed
- A-2 Upper Plan
- A-2.1 Upper Plan Proposed
- A-3 Elevations
- A-3.1 Elevations Proposed
- A-4 Section/ General Notes

Vicinity Map



Project Notes

PROJECT DESCRIPTION		PROJECT DATA	
New 144 s.f. Addition		REQUIRED PARKING	2 Off-street spaces
Main: 1412 s.f., 150 s.f. Sun Room, 448 s.f. Garage		GOVERNING CODES	B.C. Building Code Classification: Group C Single Family Occupancy
Lower 1412 s.f.		BUILDING USES	Part 9 Code Review
		DENSITY	Single Family Residence
		SEPARATE PERMITS	
		TYPE OF CONSTRUCTION	Type V Non-rated
PROJECT LOCATION	434 Sands Court Kelowna BC	LOT COVERAGE	24%
LEGAL DESCRIPTION	Lot 2, Section 26, Township 26, ODYD Pln 30432	HEIGHT/STORIES	Existing Height - No Changes
ZONING	Ru1	SOIL	Compact Fill
SETBACKS	1.5m side, 6m Rear	SEISMIC DESIGN PARAMETERS	N/A
		CODES	B.C. Building code Classification: Group C Single Family Occupancy
			Part 9 Code Review
			Most Current BC Building Code
			Energy Code Review Provided by Others

ATTACHMENT A

This forms part of application
DVP18-0001

Planner Initials KB

City of Kelowna
COMMUNITY PLANNING



K.H. DESIGNS INC.

CUSTOM RESIDENTIAL DESIGN

2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250.575.0590

434 Sands Court
Kelowna, BC

Site Plan

A-0

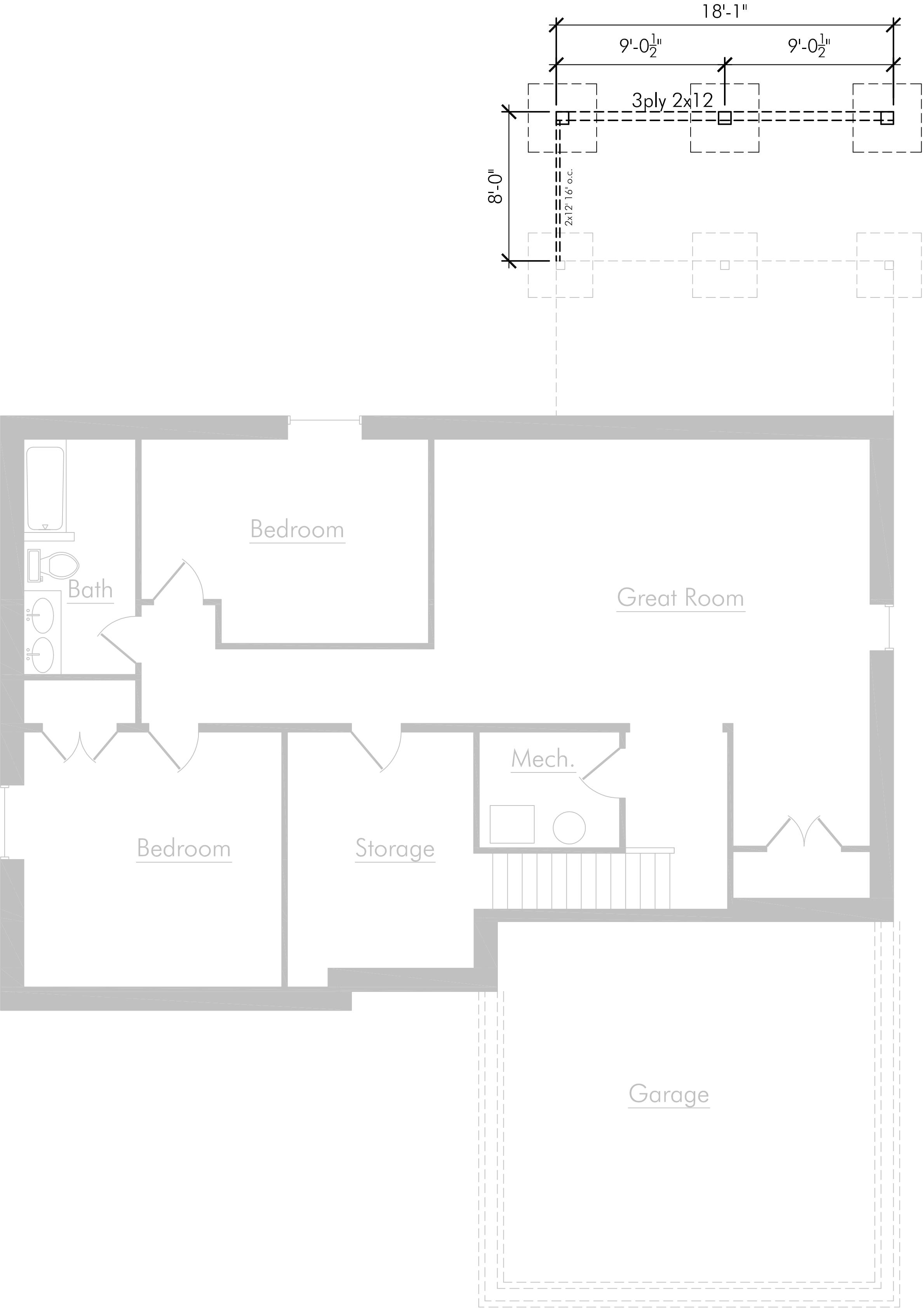
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PROJECT : 10-17
FILE:
ISSUE DATE
Drawing Issued 14/12/17
SCALE:



KH
DESIGNS

CUSTOM
RESIDENTIAL
DESIGN

2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250.575.0590



PROPOSED
MAIN
1
A-1.1 1/4"=1'-0"

ATTACHMENT **A**

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DVP18-0001

Planner Initials **KB**

City of Kelowna

COMMUNITY PLANNING

434
Sands Court
Kelowna, BC

DRAWN BY: KJH
PROJECT : 10-17
FILE:
ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Main
Plan
Proposed
A-1.1



KH
DESIGNS INC.

CUSTOM
RESIDENTIAL
DESIGN

2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250.575.0590

434
Sands Court
Kelowna, BC

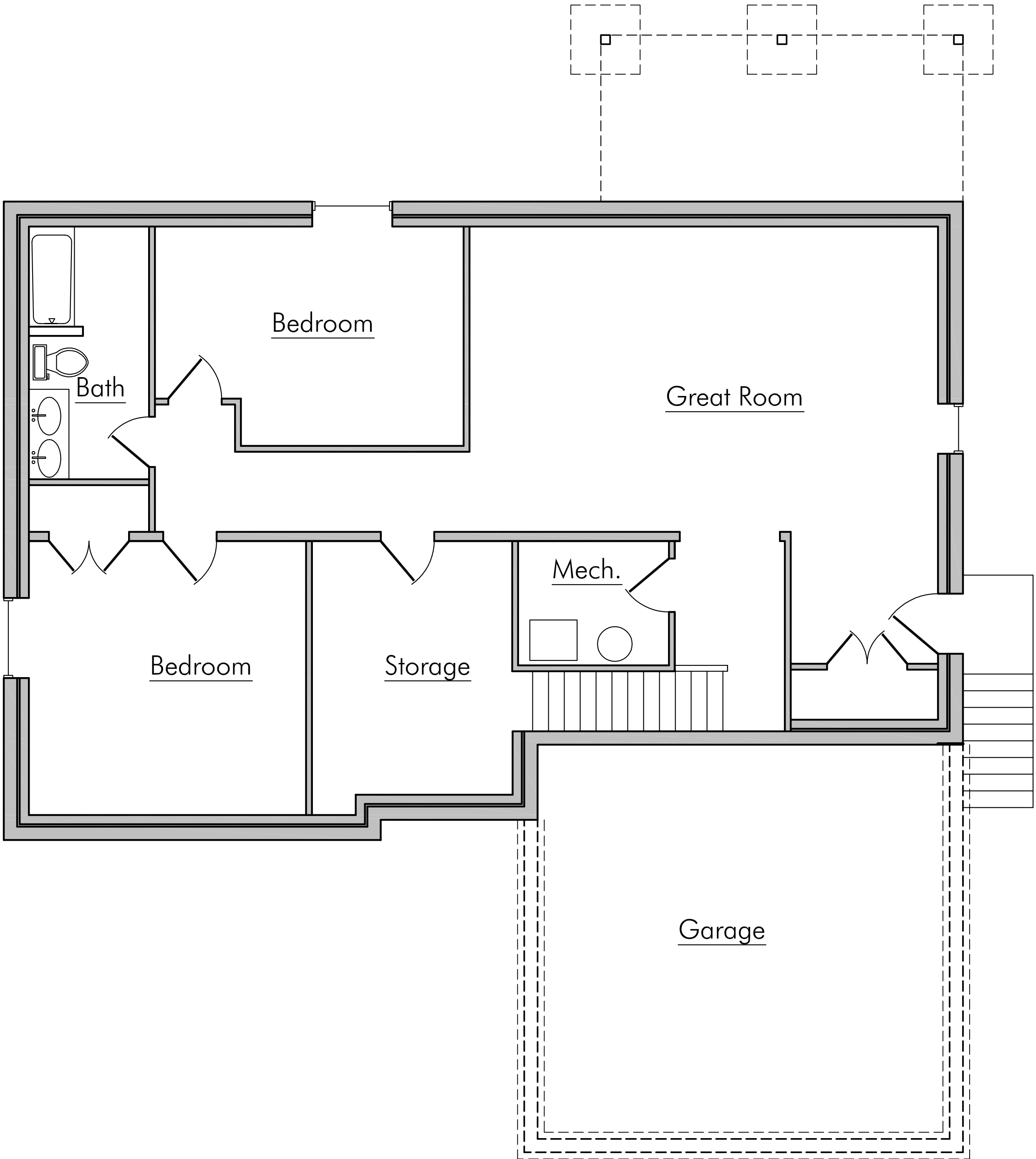
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PROJECT : 10-17
FILE:

ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Lower
Plan

A-1



ATTACHMENT A

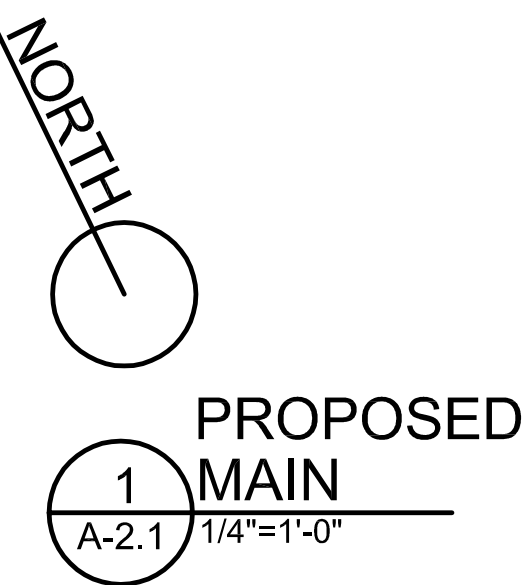
This forms part of application
DVP18-0001

Planner
Initials KB





416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
505 750 590



DRAWN BY: KJH
PROJECT : 10-17
FILE:
ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Main
Plan
Proposed
A-2.1

City of Kelowna
COMMUNITY PLANNING

Planner
Initials

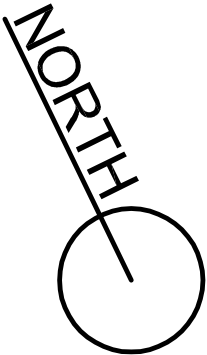
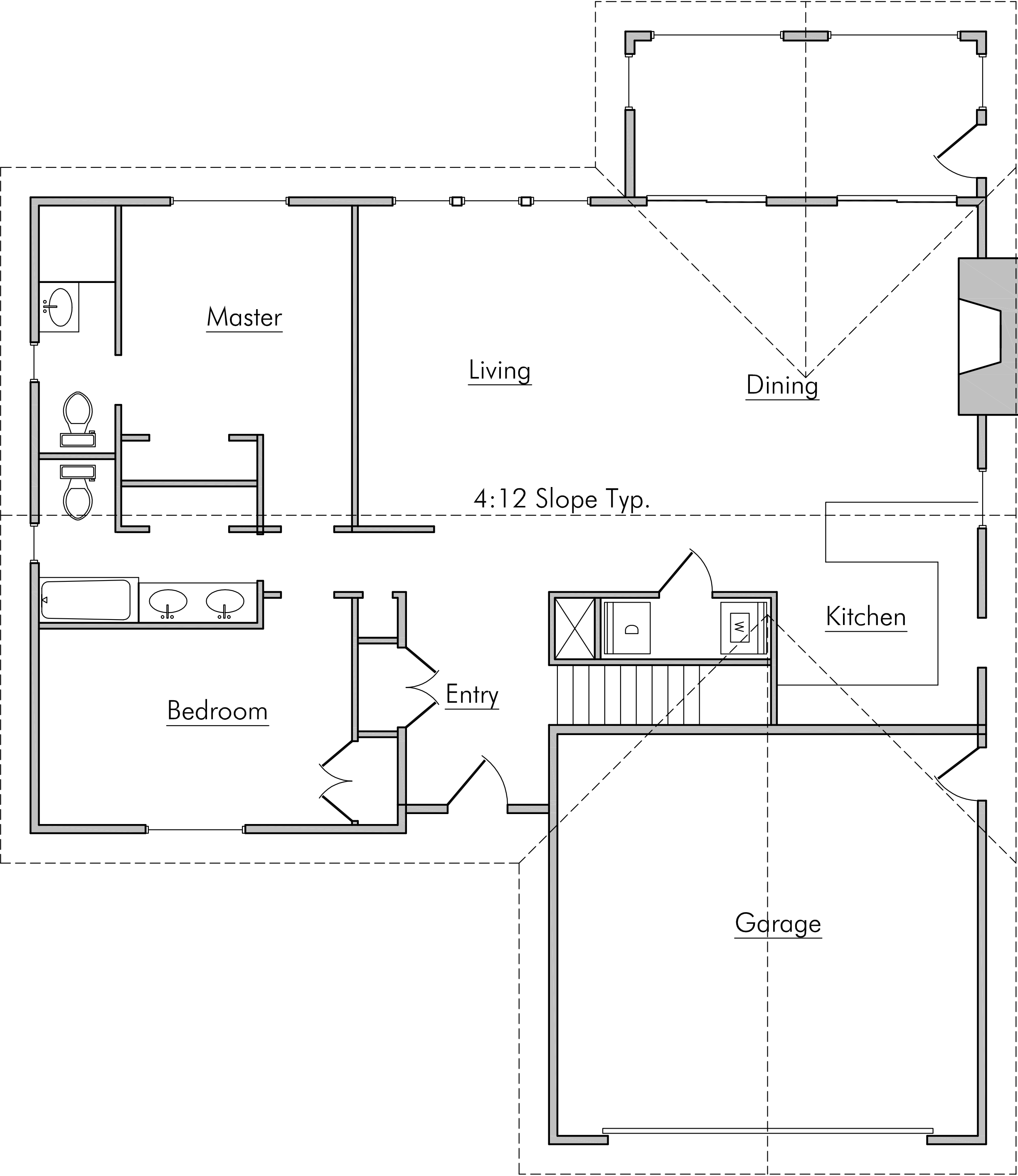
KB



KH
DESIGNS

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RESIDENTIAL
DESIGN

2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250.575.0590



EXISTING
MAIN
1
A-2
1/4"=1'-0"

ATTACHMENT A

This forms part of application
DVP18-0001

Planner
Initials
KB



434
Sands Court
Kelowna, BC

DRAWN BY: KJH
PROJECT : 10-17
FILE:
ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Main
Plan

A-2



KH
DESIGNS

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RESIDENTIAL
DESIGN

2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250-575-0590

434
Sands Court
Kelowna, BC

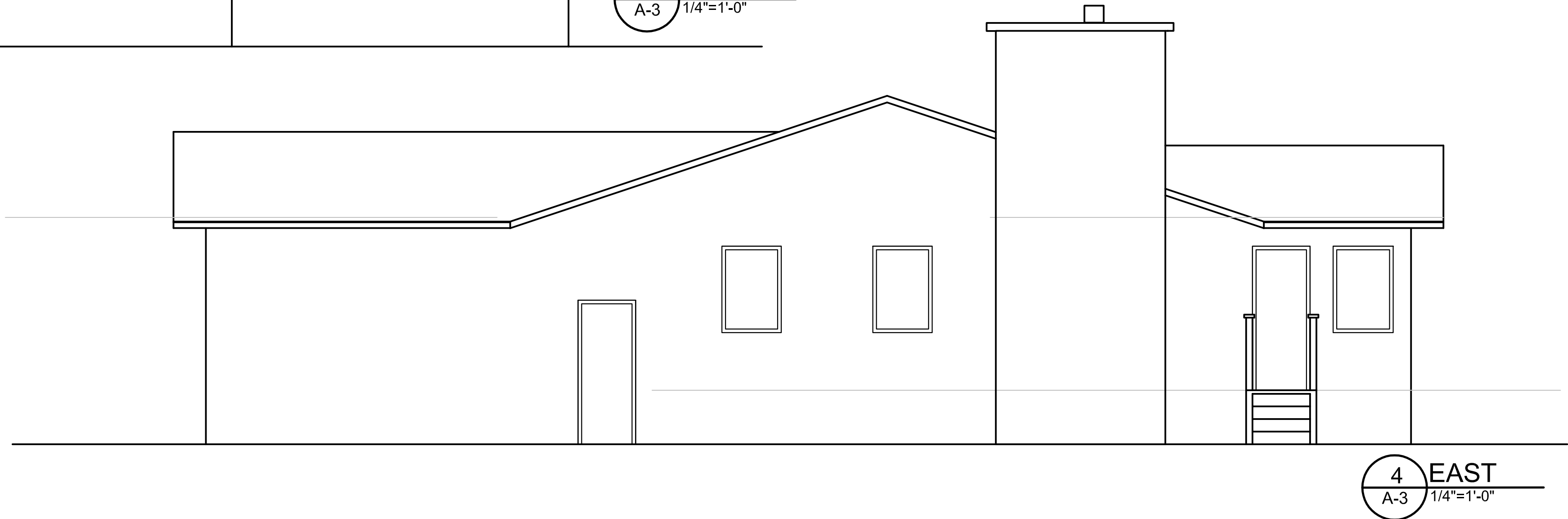
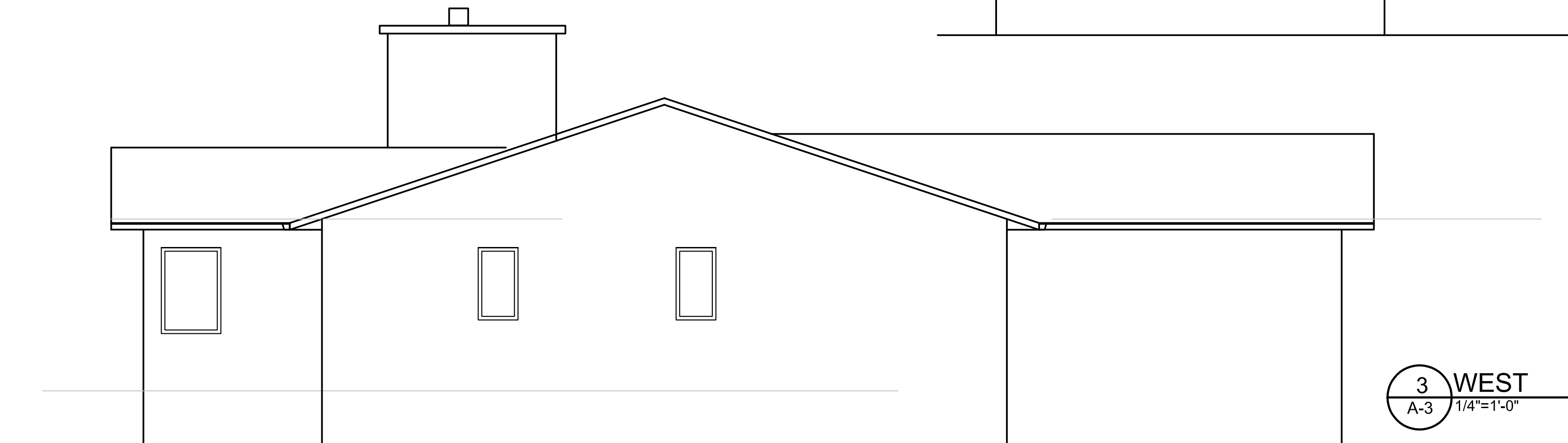
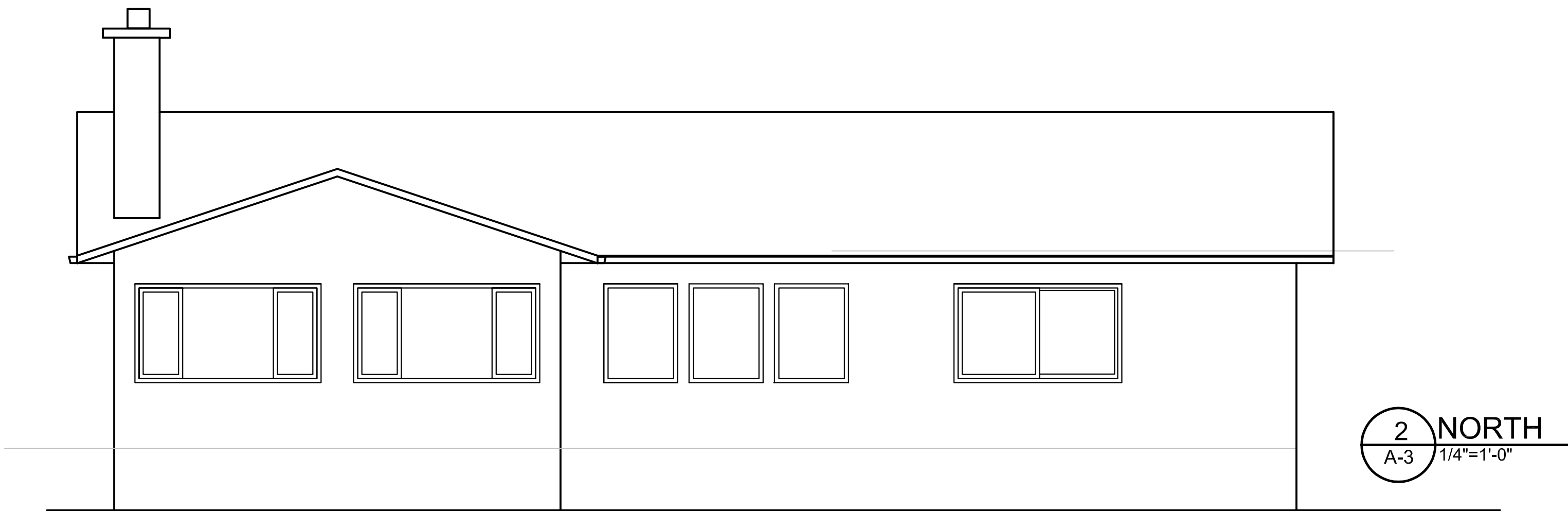
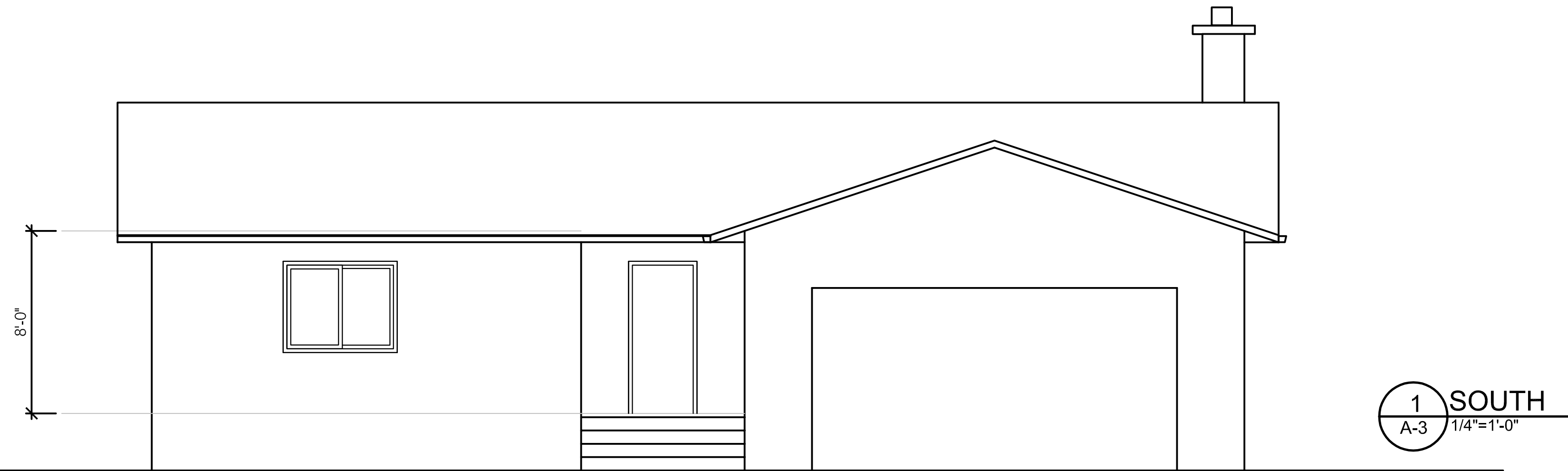
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PROJECT : 10-17
FILE:

ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Existing
Elevations

A-3



ATTACHMENT A

This forms part of application
DVP18-0001

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Initials

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City of
Kelowna
COMMUNITY PLANNING





KH INC.
DESIGNS

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RESIDENTIAL
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2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250-575-0590

434
Sands Court
Kelowna, BC

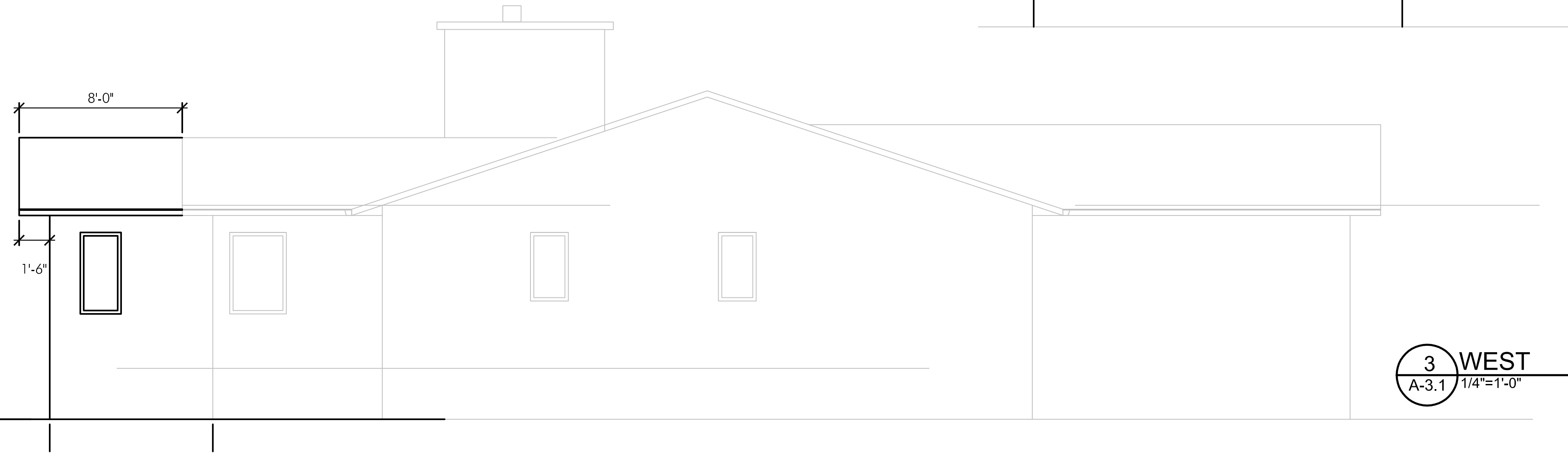
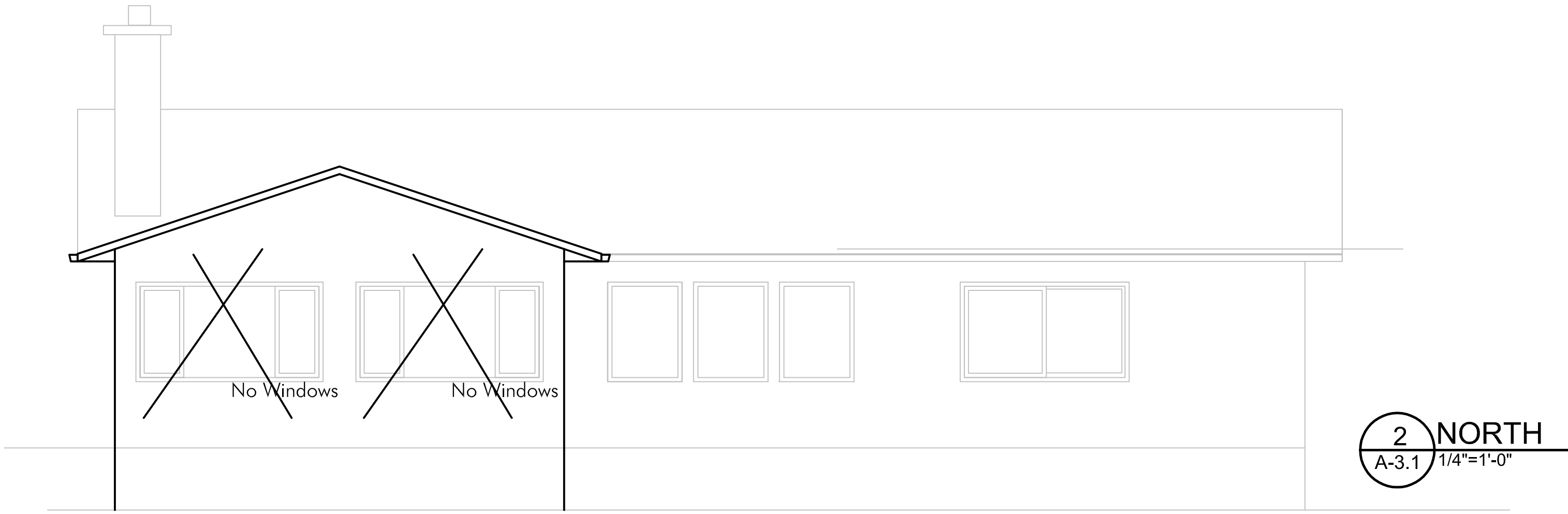
DRAWN BY: KJH

PROJECT : 10-17
FILE:

ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Proposed
Elevations

A-3.1



ATTACHMENT

A

This forms part of application

DVP18-0001

Planner Initials

KB

City of Kelowna

COMMUNITY PLANNING

General Notes:

1. Contractor and Subtrades to insure that all workmanship complies with the latest issue of NBC , BCBC, Local Bylaws and regulations
2. This set of drawings is the property of the owner Third Party Transfer is prohibited

3. All concrete strengths shall be specified Mp's after 28 days

4. Double all cripples under load bearing lintels

5. Solid Blocking or Double Joists to be under all parallel partitions over 6' long

6. Solid Blocking in joist cavities under point loads

7. All Exterior Lintels and Load Bearing Beams to be #2 douglas fir or better

8. All Microlams, Glulams and Parallams to be checked and approved by supplier and or structural engineer

9. Actual on-site construction may vary from architectural drawings due to site conditions

10. Flash at all horizontal changes in exterior finishings and caulk around all exterior openings

11. Flash over all unprotected openings

12. Hardwired smoke alarms required to be located in each bedroom and one on Every Level

13. Carbon Monoxide Detector to be located 5m max from every bedroom door

14. Mechanical HVAC checklist to be completed at framing inspection

Specifications:

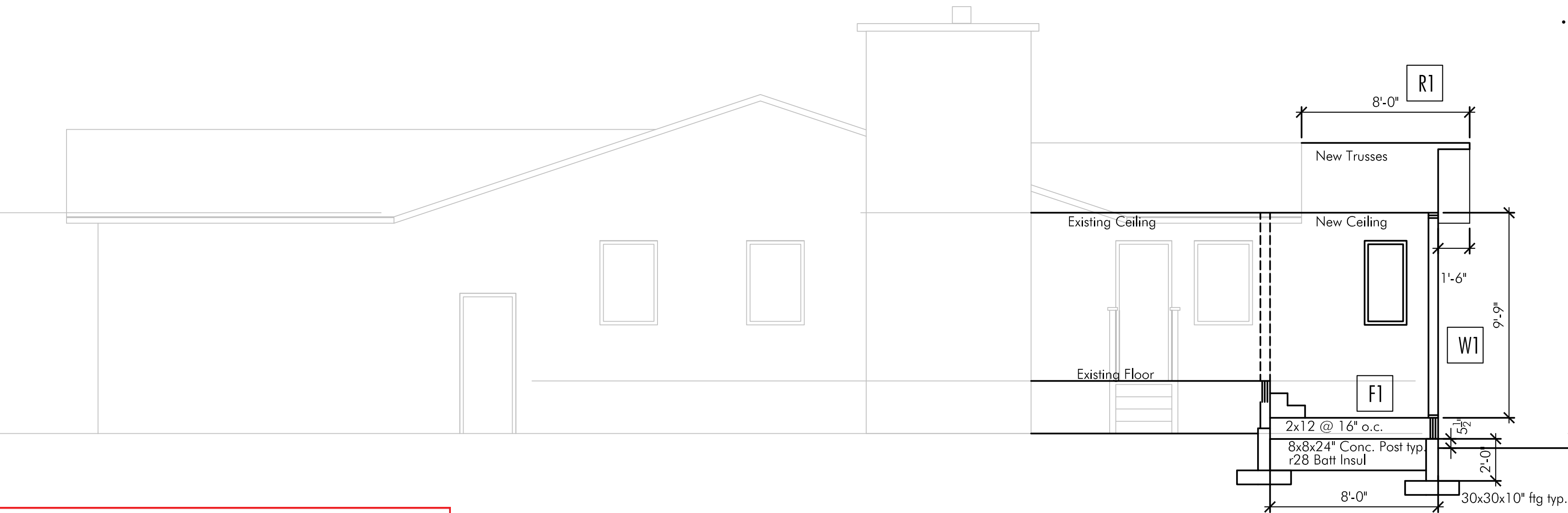
Truss Roof: 4:12
1/2" c.d. board ceiling
6mil UV poly vapour barrier taped and sealed
r50 Insulation
1/2" plywood sheet
Roofing Felt entire deck
Iko Armour Shake 50 year laminate shingles or Metal Roof
Vented Soffit and upper ridge area

Exterior Walls

2x6 kiln dried studs at 19-3/16" or 24" o.c.
2x8 Kiln Dried Studs @ 16" o.c. at Stair Tower
1/2" Plywood Sheathing
2 layers 30 Tar Paper
Wire Mesh w/ 3/4" Acrylic Stucco
R24 Fibreglass Batt Insulation
6mil UV poly vapour barrier taped and sealed
1/2" Drywall Finish

Main Floor

Finish Floor Material
3/4" Ply /o
2x12's @ 16" o.c.
r28 BAtt Insul
6 mil Poly
2" Rigid Insul



GENERAL NOTES

STANDARD NOTES

- THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE PLANS, THE OWNER AND /OR BUILDER ACCEPTS THESE PLANS AS DRAWN AND HAS READ AND UNDERSTANDS THE GENERAL NOTES AS FOLLOWS.
- THIS DRAWING WAS PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT SUBSEQUENT CHANGES TO THE CODE ARE COMPLIED WITH AND INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO THE CURRENT BC BUILDING CODE AND /OR LOCAL BUILDING CODES AND BYLAWS THAT MAY TAKE PRECEDENCE.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- KH DESIGNS INC. SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOAD.
- THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.
- AT END OF CONSTRUCTION THE BUILDER SHALL BE RESPONSIBLE FOR CLEANING THE JOB SITE AND BUILDING(S) OF ANY REFUSE AND MAKING GOOD ANY DAMAGE TO BUILDING(S) INCURRED DURING CONSTRUCTION.
- PRIOR TO COMMENCING EXCAVATION WORK THE BUILDER SHALL BE RESPONSIBLE FOR ESTABLISHING THE LOCATION OF AND CLEARLY MARKING EXISTING SERVICES AND IMMEDIATELY NOTIFYING APPLICABLE AUTHORITIES OF ANY DISCREPANCIES.
- TOPSOIL AND EXCAVATED MATERIAL TO BE STOCKPILES SEPARATELY ON THE SITE.

ERRORS AND OMISSIONS

- KH DESIGNS INC. MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION.
- SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT THE EARLIEST CONVENIENCE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS PURCHASED IN NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM REOCCURRING.

STRUCTURAL DESIGN CRITERIA

- ASSUMED ROOF DESIGN LOAD (LIVE AND DEAD) – 50 POUNDS PER SQUARE FOOT (2.5 KG/M.SQ.)
- ASSUMED SOIL BEARING CAPACITY – 2,500 P.S.F. (119.7 KN/M.SQ.)
- CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS.
- FRAMING LUMBER TO BE #2 S.P.F. AND BETTER UNLESS OTHERWISE NOTED. BEAMS TO BE #2 S.P.F. AND BETTER.

NOTE:

IF SOIL CONDITIONS ARE LESS, OR FLOOR AND ROOF LOADS ARE GREATER THAN THIS PLAN IS DESIGNED FOR, YOUR BUILDING DEPARTMENT MAY REQUIRE ADJUSTMENTS TO THE PLANS OR ASK THAT THE PLANS BE ENGINEERED BY A CERTIFIED STRUCTURAL ENGINEER. IT IS BEST THAT AN ENGINEER FAMILIAR WITH LOCAL CONDITION BE CONSULTED.

SITE PLAN NOTES

- IF A SITE PLAN IS NOT PROVIDED BY KH DESIGNS INC. THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THIS HOME ON THE PROPERTY. KH DESIGNS INC. ASSUMES NO LIABILITY FOR PLANS COMPLYING WITH ZONING REGULATIONS OR LOT CONDITIONS.
- OWNER SHALL SUPPLY ANY MISSING INFORMATION ON SITE PLAN, I.E. DIMENSIONS, ELEVATIONS OF LOT, LEGAL DESCRIPTION, SITE ADDRESS, NORTH DIRECTION, AND LOCATION OF SERVICES, EASEMENTS AND RIGHT OF WAYS. ALL MEASUREMENTS ON SITE PLAN TO BE GOVERNED AND APPROVED BY AUTHORITIES HAVING JURISDICTION BEFORE STARTING CONSTRUCTION.
- WELLS AND SEPTIC DISPOSAL SYSTEMS TO BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH HEALTH AUTHORITIES HAVING JURISDICTION.

ELECTRICAL

- INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH THE BC ELECTRICAL CODE AND REGULATIONS AND WITH THE LOCAL ELECTRIC POWER SUPPLIER'S REGULATIONS IN ALL RESPECTS.
- ELECTRICAL OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNER'S REQUIREMENTS.

FOUNDATIONS

- FOUNDATIONS SHALL BE CONCRETE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE.
- FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28-DAY STRENGTH AND THE FLOOR SYSTEM INCLUDING SHEATHING HAS BEEN INSTALLED OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING HEIGHT LIMITS SPECIFIED BY CURRENT BUILDING CODES REQUIRE ENGINEERING.
- PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED TO THE APPROVAL OF LOCAL AUTHORITIES.
- IT IS RECOMMENDED THAT ALL FOUNDATION WALLS 24" (600 MM) AND HIGHER SHALL HAVE ONE 12 MM (1 /2" DIAMETER) REINFORCING BAR CENTERED 3" FROM TOP CORNER REINFORCING TO BE LAPPED MINIMUM 24".

WOOD FRAMING

- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF PARTITION WALLS UNLESS OTHERWISE NOTED. FACE OF EXTERIOR STUD WALL AND FOUNDATION WALL TO BE FLUSH.
- JOISTS SHALL BE DOUBLED UNDER PARALLEL PARTITIONS OVER 6'-0" LONG. JOISTS TO BE PLACED TO ACCOMMODATE HEATING, PLUMBING, ETC. ALL LINTELS SHALL BE 2 – 2 X 10'S UNLESS OTHERWISE NOTED.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 45 LBS. FELT, 6 MIL POLY OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE WITH 1 /2" DIAMETER ANCHOR BOLTS AT MAXIMUM 6'-0" O/C. OR OTHER APPROVED METHOD. EXTERIOR CONCRETE SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.
- FLOOR JOISTS AND ROOF JOISTS WITH SPANS MORE THAN 7'-0" SHALL BE CROSSBRIDGED AT MID SPAN OR AT 7'-0" O/C. MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD. BRIDGING SHALL BE 2 X 2 DIAGONAL TYPE WHEREVER POSSIBLE.
- ROOF TRUSSES REQUIRE ENGINEER'S CERTIFICATE. FOR PREFABRICATED TRUSSES OBTAIN CERTIFICATE FROM MANUFACTURER.

INSULATION AND VENTILATION

- MINIMUM INSULATION REQUIREMENTS:

ROOF (ATTIC)	R-44	(R.S.I. – 7.0)
ROOF / CEILING (SLOPING)	R-14	(R.S.I. – 2.45)
WALLS	R-20	(R.S.I. – 3.5)
INSULATION REQUIREMENTS 4500 DEGREE DAYS OR GREATER	R-44	(R.S.I. – 7.7)
	R-22	(R.S.I. – 3.85)
- 6 MIL ULTRAVIOLET RESISTANT POLY AIR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF INSULATION.
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ATTIC SPACE AND OVERHANG SOFFIT.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1 /300 OF AREA. UNHEATED CRAWL SPACES TO BE VENTED MINIMUM OF 1 /500 OF AREA WITH CLOSEABLE VENTS.

FINISHING

- OWNER SHALL SPECIFY ALL INTERIOR AND EXTERIOR FINISHING. OWNER SHALL CONFIRM ANY FINISHING SHOWN ON PLANS.
- EXTERIOR DOORS SHALL BE SOLID CORE / INSULATED AND WATER-STRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING. FLASH AT ALL HORIZONTAL CHANGES IN EXTERIOR FINISHING AND CAULK AROUND ALL EXTERIOR OPENINGS. FLASH OVER ALL UNPROTECTED OPENINGS.
- WINDOW SIZES ARE SHOWN IN FEET AND INCHES. I.E. 43 X 36 = 4' – 0" WIDE BY 3' – 6" HIGH. DOOR SIZES ARE WIDTH SHOWN BY 6' – 8" HIGH. I.E. 28 X 68 = 2'-8" WIDE BY 6' – 8" HIGH.
- OPENINGS IN PARTITIONS SHOWN WITHOUT DOORS ARE FULL HEIGHT UNLESS SHOWN AS AN ARCH. ARCHES ARE FRAMED 7' – 0" HIGH UNLESS OTHERWISE NOTED.
- COAT AND CLOTHES CLOSETS SHALL HAVE ONE ROD AND SHELF. LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES WHERE POSSIBLE. BROOM CLOSETS SHALL HAVE ONE SHELF.
- ALL BATHROOMS SHALL HAVE A WALL MEDICINE CABINET OR ONE LOCKABLE DRAWER.

HEATING

- INSTALLATION OF ENTIRE HEATING SYSTEM MUST COMPLY WITH MANUFACTURER'S DIRECTIONS (WHERE APPLICABLE) AND CONFORM TO LOCAL CODES AND REGULATIONS IN ALL RESPECTS.
- GAS CONNECTION WILL REQUIRE SEPARATE PERMIT AND INSPECTION.
- FUEL BURNING APPLIANCES, INCLUDING FURNACES, FIREPLACES AND STOVES, TO BE PROVIDED WITH COMBUSTION AIR SUPPLY FROM EXTERIOR.

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KH
DESIGNS
INC.

CUSTOM
RESIDENTIAL
DESIGN

2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250.575.0590

ATTACHMENT

A

This forms part of application

#_DVP18-0001

Planner
Initials

KB

City of
Kelowna
COMMUNITY PLANNING



5820
Farmers Drive
Ellison, BC

DRAWN BY: KJH

PROJECT : 17-20
FILE:

ISSUE DATE
Drawing Issued 6/02/17
SCALE:

Sections/
General
Notes

A-4

REPORT TO COUNCIL



Date: March 6, 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (KB)

Application: DVP18-0001 **Owner:** Daniel Mark Sandberg
Jo-Ann Lyn Sandberg

Address: 434 Sands Court **Applicant:** Daniel Mark Sandberg

Subject: Development Variance Permit

Existing OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0001 for Lot 2 Section 26 Township 26 Osoyoos Division Yale District Plan 30432, located at 434 Sands Court, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted in accordance with Attachment "A":

Section 13.1.6(e): RU1 – Large Lot Housing Development Regulations

To vary the required minimum rear yard from 7.5 m permitted to 3.45 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the minimum rear yard on the subject property.

3.0 Community Planning

Community Planning recommends support for the requested variance to the rear yard set-back to allow for an addition on the single family dwelling. Staff feel that the variance request is minor in nature due to the fact that the proposed addition is only for a portion of the rear yard representing approximately 38% of the rear elevation. Further, the addition is small in nature at 13.4 sq.m and one storey in height. There are no proposed rear windows and so privacy to neighbouring properties should not be an issue as seen on the Elevations in Attachment "A".

The applicant, at the request of Staff, did consider alternative locations on-site for the proposed addition, but they did not prove to be feasible due to the house configuration and layout.

The applicant has confirmed the completion of public notification in accordance with Council Policy No. 367.

4.0 **Proposal**

4.1 Background

There is an existing 1 ½ storey single family dwelling on the subject property that received an occupancy permit in 1981.

4.2 Project Description

The proposal is to construct a 144 ft² addition in the rear yard, off an existing enclosed deck, shown in Image 1.

Image 1: Area of Proposed Addition in the Rear Yard



4.3 Site Context

The subject property is located on Sands Court in the City's Rutland Sector. It is approximately 0.21 acres (850 m²) in area and currently has one single detached house. The surrounding area is characterized by single family dwellings.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single Dwelling Housing
East	RU1 – Large Lot Housing	Single Dwelling Housing
South	RU1 – Large Lot Housing	Single Dwelling Housing
West	RU1 – Large Lot Housing	Single Dwelling Housing

Subject Property Map: 434 Sands Court**4.4 Zoning Analysis Table**

Zoning Analysis Table		
CRITERIA	RU ₁ ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Maximum Site Coverage	40 %	< 40 %
Maximum Height	9.5 m / 2 ½ storeys	< 9.5 m / 1 ½ storeys
Minimum Front Yard	6.0 m	7.02 m
Side Yard (east)	2.0 m	< 2.19 m
Side Yard (west)	2.0 m	< 4.51 m
Minimum Rear Yard	7.5 m	3.45 m❶
❶ Indicates a requested variance to vary the required minimum rear yard from 7.5 m permitted to 3.45 m proposed		

5.0 Technical Comments**5.1 Development Engineering Department**

This Development Variance Permit application does not compromise any municipal services.

6.o Application Chronology

Date of Application Received: December 22, 2017

Date Public Consultation Received: February 7, 2018

Report prepared by: Kimberly Brunet, Planner

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development Variance Permit No. DVP18-0001

Attachment "A" – Site Plan, Floor Plans and Elevations

Development Variance Permit

DVP18-0001



This permit relates to land in the City of Kelowna municipally known as

434 Sands Court

and legally known as

Lot 2 Section 26 Township 26 Osoyoos Division Yale District Plan 30432

and permits the land to be used for the following development:

Single Dwelling Housing

with variances to the following section of the Zoning Bylaw No. 8000:

Section 13.1.6(e): RU1 – Large Lot Housing Development Regulations

To vary the required minimum rear yard from 7.5 m permitted to 3.45 m proposed.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: March 6, 2018

Decision By: City Council

Issued Date: March 6, 2018

Development Permit Area: N/A

This permit will not be valid if development has not commenced by March 6, 2020.

Existing Zone: RU1 – Large Lot Housing

Future Land Use Designation: S2RES – Single / Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Daniel Mark Sandberg and Jo-Ann Lyn Sandberg

Applicant: Daniel Mark Sandberg

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Attachment "A";

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None required.

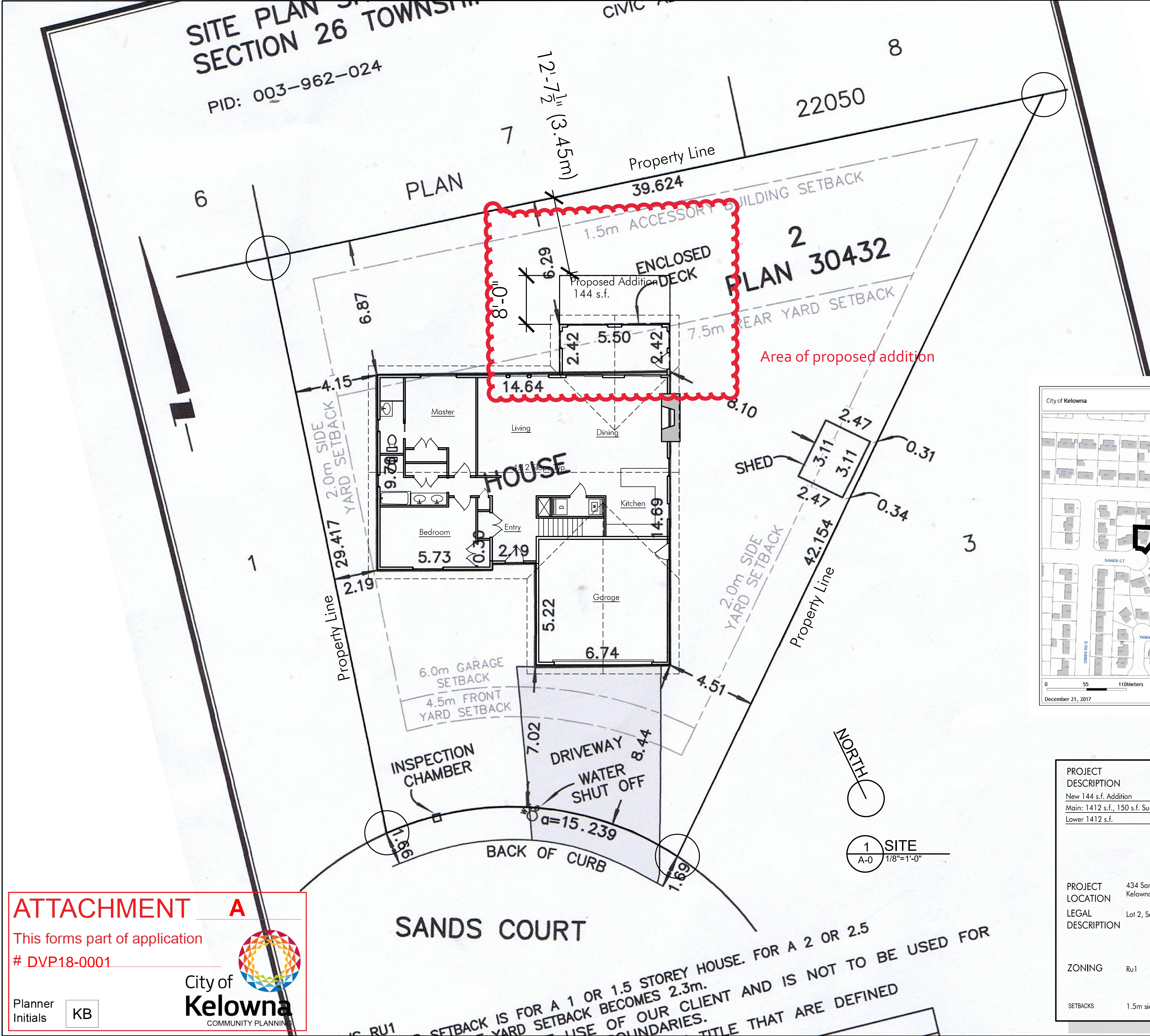
4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

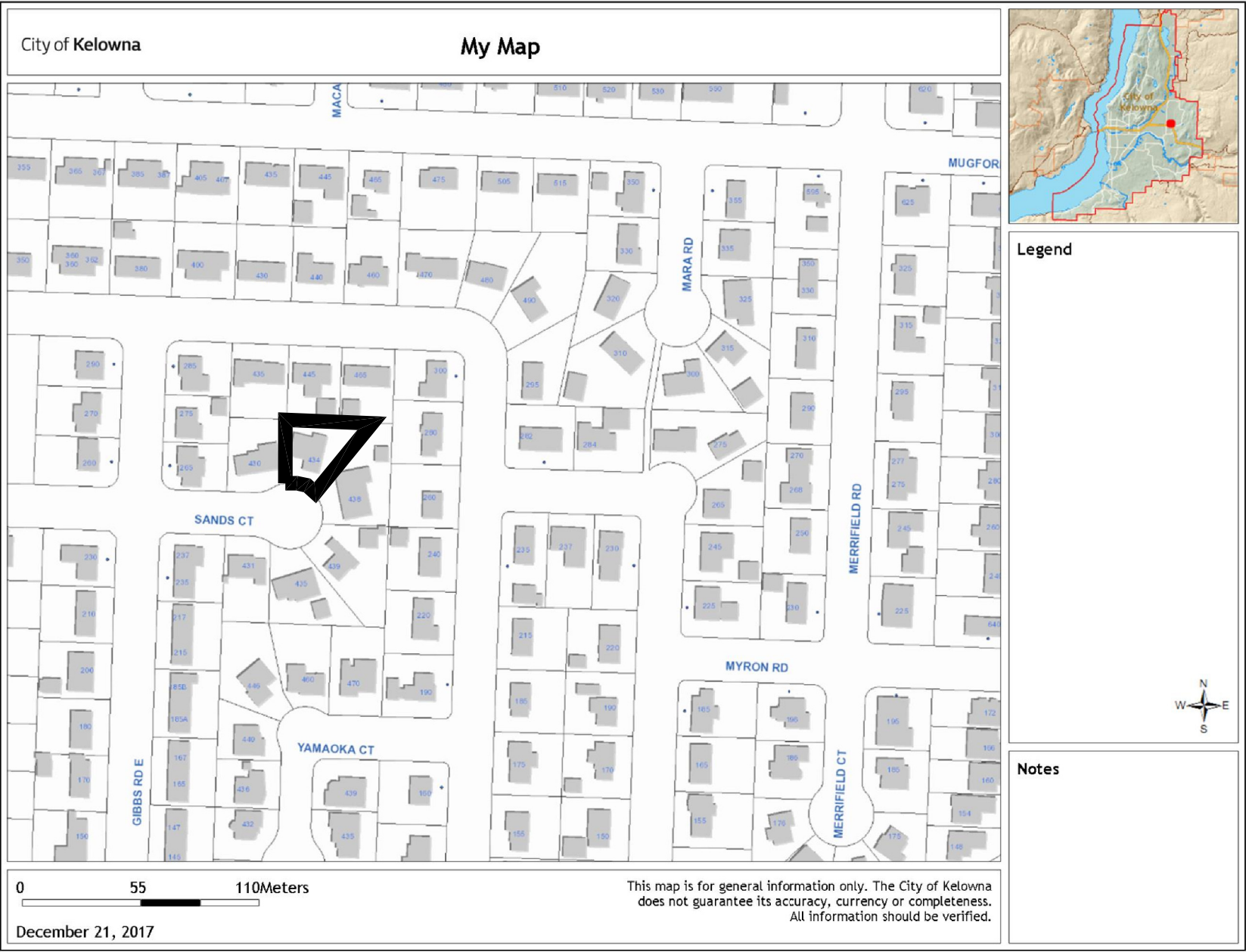
**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**



Drawing List

- A-0 Site Plan
- A-1 Main Plan
- A-1.1 Main Plan Proposed
- A-2 Upper Plan
- A-2.1 Upper Plan Proposed
- A-3 Elevations
- A-3.1 Elevations Proposed
- A-4 Section/ General Notes

Vicinity Map



Project Notes

PROJECT DESCRIPTION		PROJECT DATA	
New 144 s.f. Addition		REQUIRED PARKING	2 Off-street spaces
Main: 1412 s.f., 150 s.f. Sun Room, 448 s.f. Garage		GOVERNING CODES	B.C. Building Code Classification: Group C Single Family Occupancy
Lower 1412 s.f.		BUILDING USES	Part 9 Code Review
		DENSITY	Single Family Residence
		SEPARATE PERMITS	
		TYPE OF CONSTRUCTION	Type V Non-rated
PROJECT LOCATION		LOT COVERAGE	24%
LEGAL DESCRIPTION		HEIGHT/STORIES	Existing Height - No Changes
		SOIL	Compact Fill
ZONING		SEISMIC DESIGN PARAMETERS	N/A
		CODES	B.C. Building code Classification: Group C Single Family Occupancy
SETBACKS			Most Current BC Building Code
			Energy Code Review Provided by Others

ATTACHMENT A

This forms part of application
DVP18-0001

Planner Initials KB

City of Kelowna
COMMUNITY PLANNING



K.H. DESIGNS INC.

CUSTOM RESIDENTIAL DESIGN

2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250.575.0590

434 Sands Court
Kelowna, BC

Site Plan

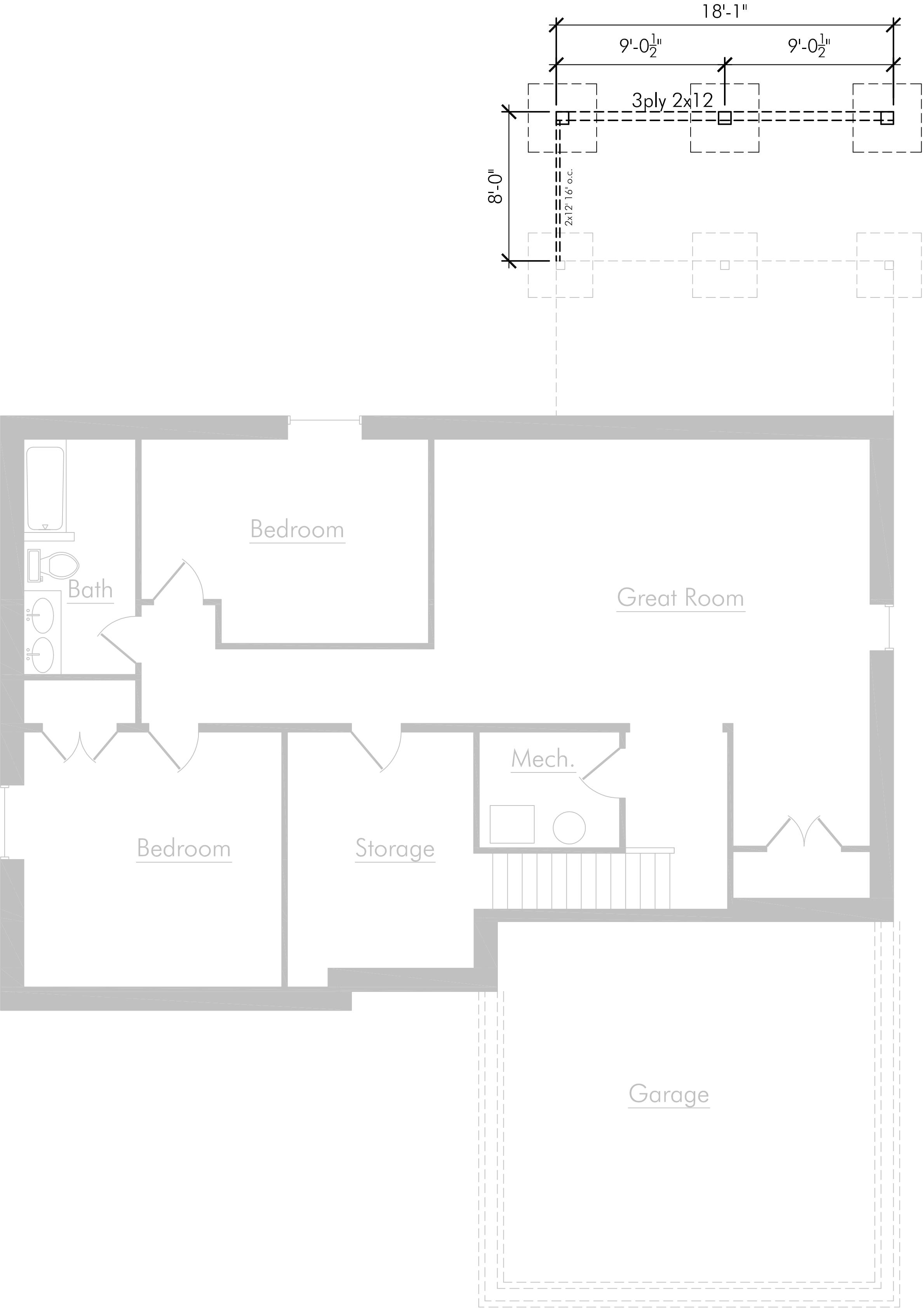
A-0



KH INC.
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West Kelowna BC
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NORTH
PROPOSED
1 MAIN
A-1.1 1/4"=1'-0"

ATTACHMENT **A**

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COMMUNITY PLANNING

434
Sands Court
Kelowna, BC

DRAWN BY: KJH
PROJECT : 10-17
FILE:
ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Main
Plan
Proposed
A-1.1



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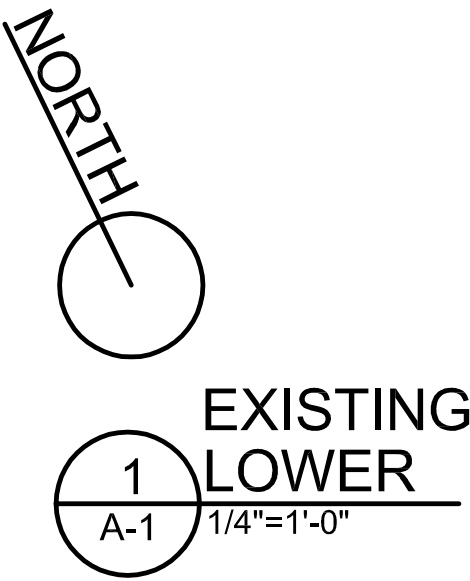
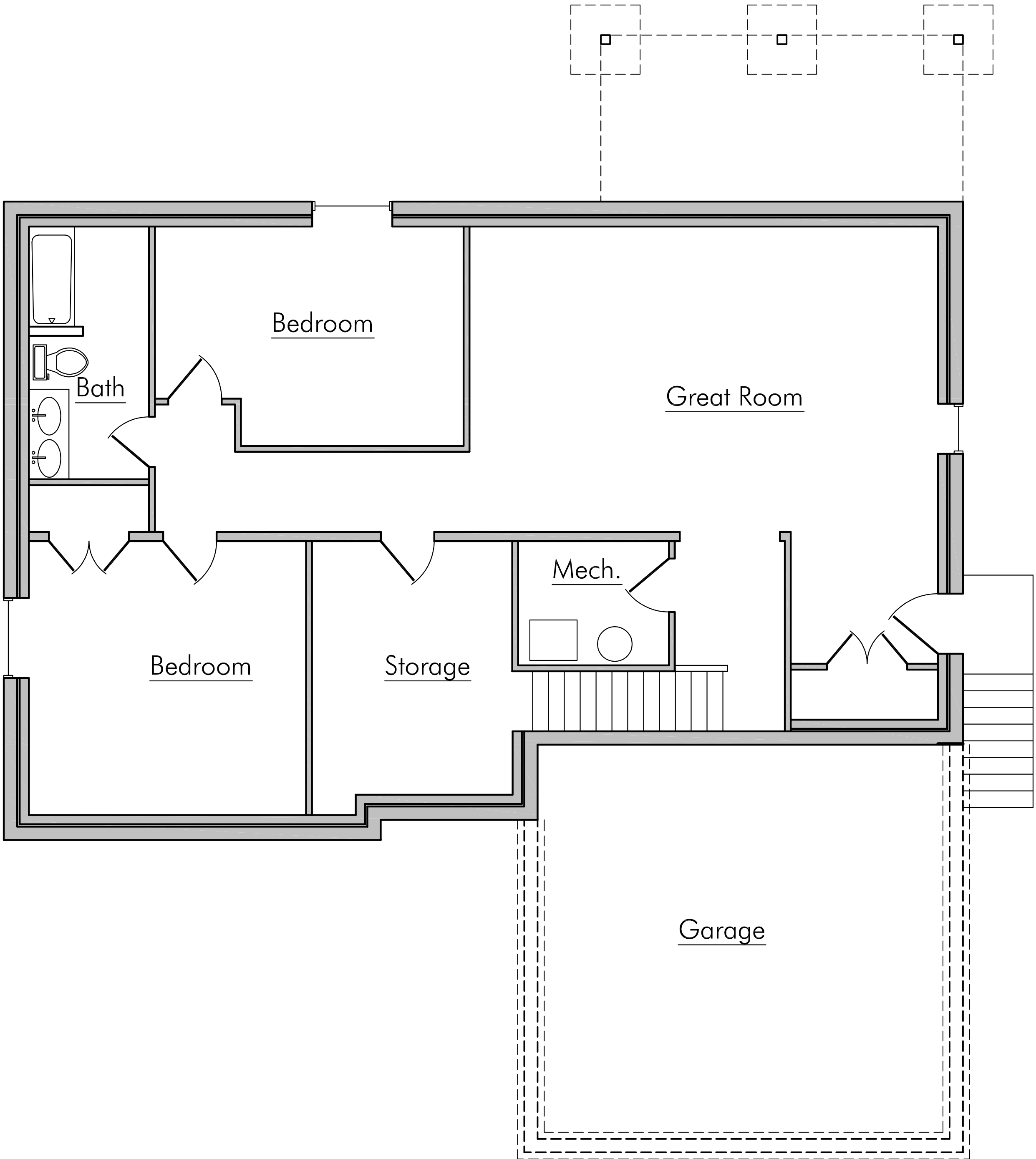
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PROJECT : 10-17
FILE:

ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Lower
Plan

A-1



ATTACHMENT A

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DVP18-0001

Planner
Initials KB



ATTACHMENT

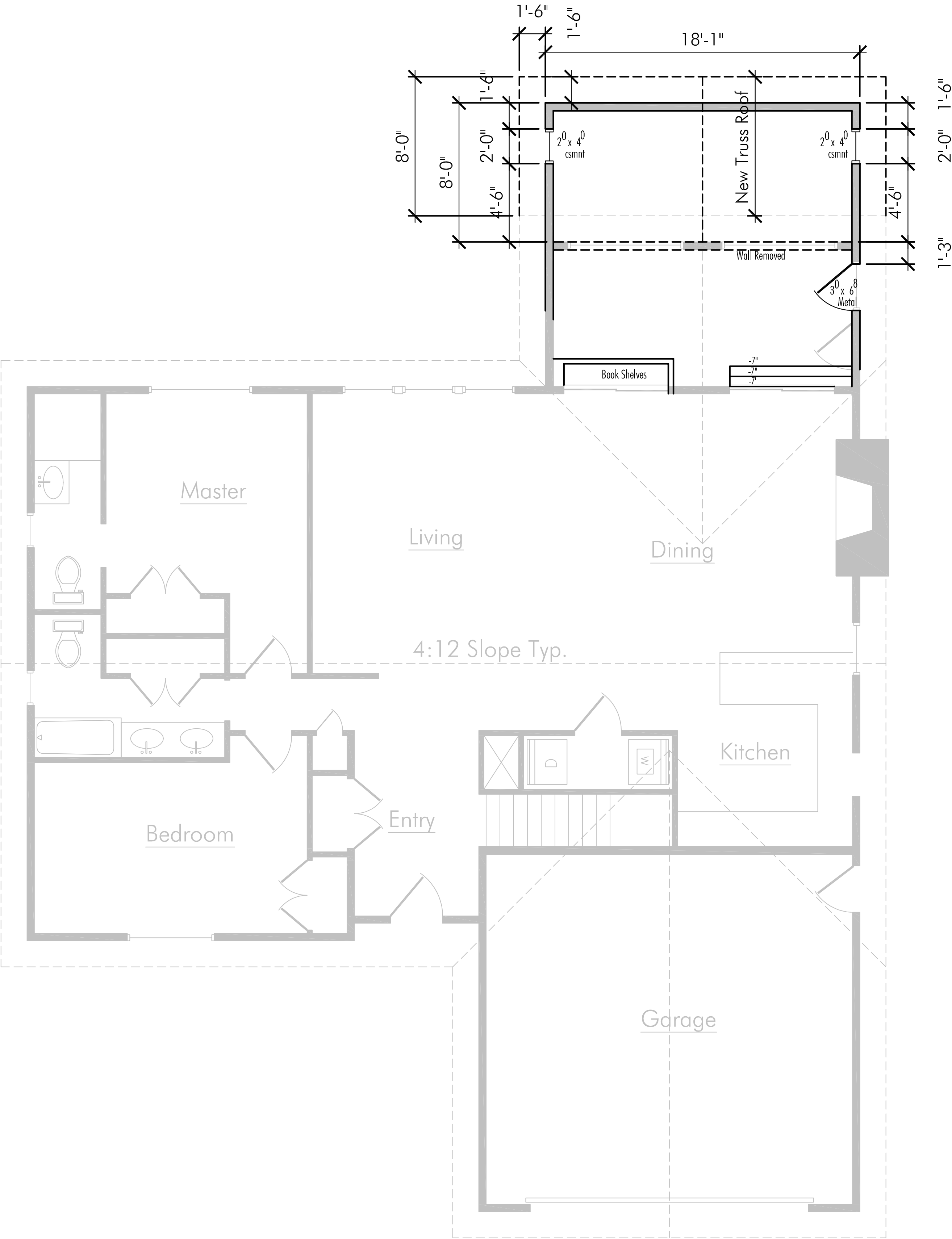
A

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 # DVP18-0001

Planner Initials

KB

City of
Kelowna
 COMMUNITY PLANNING



NORTH

PROPOSED
 1
 A-2.1 1/4"=1'-0"

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DRAWN BY: KJH
PROJECT : 10-17
FILE:
ISSUE DATE
Drawing Issued 14/12/17
SCALE:

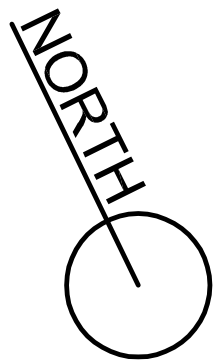
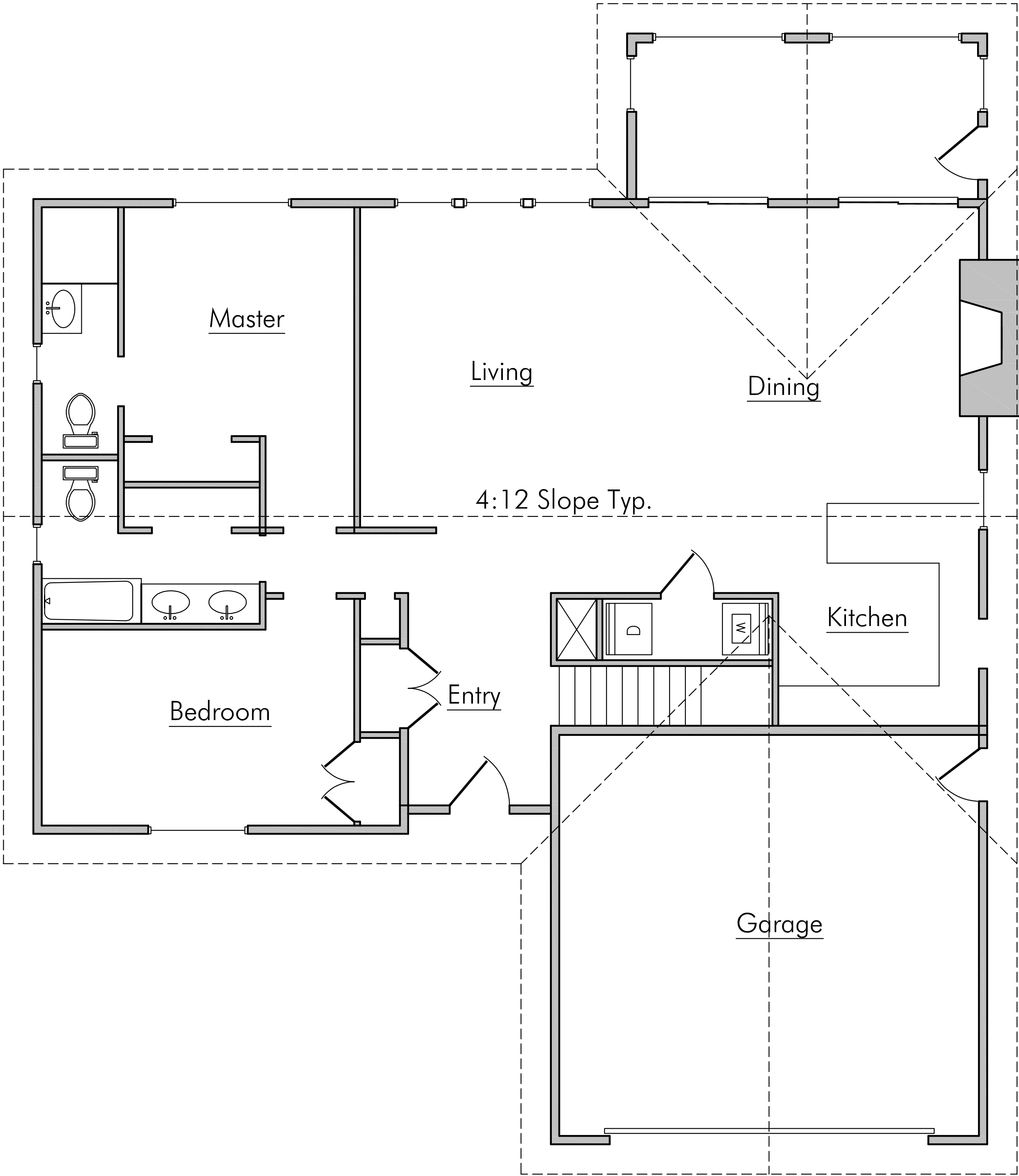
Main
Plan
Proposed
A-2.1



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EXISTING
MAIN
1
A-2 1/4"=1'-0"

ATTACHMENT A

This forms part of application
DVP18-0001

Planner
Initials
KB



434
Sands Court
Kelowna, BC

DRAWN BY: KJH
PROJECT : 10-17
FILE:
ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Main
Plan

A-2



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434
Sands Court
Kelowna, BC

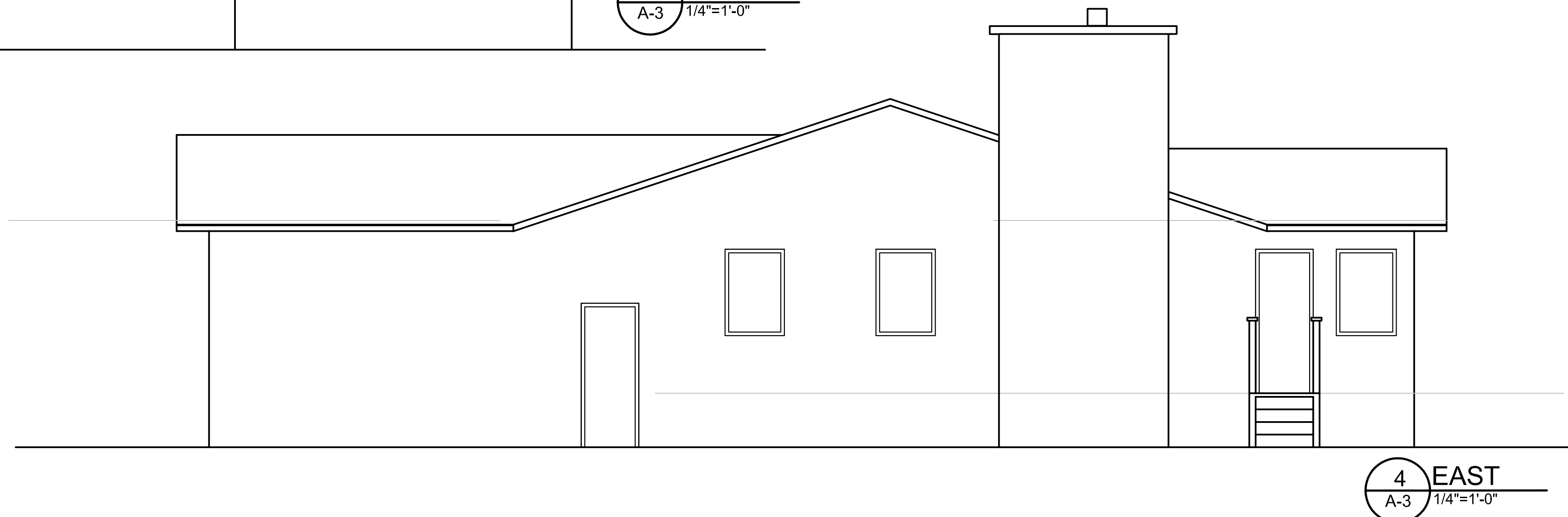
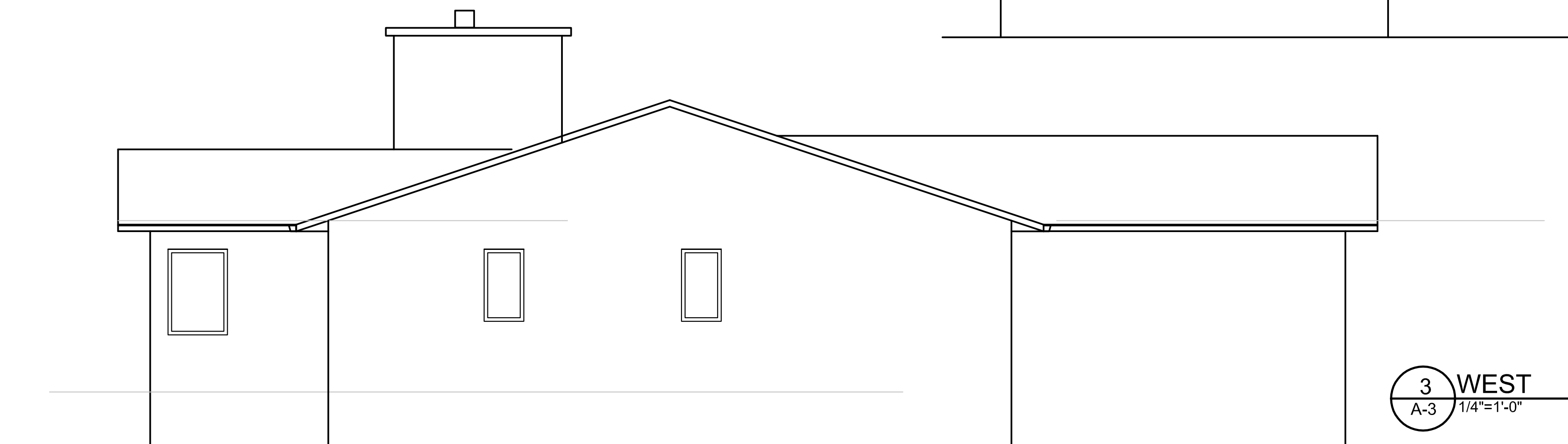
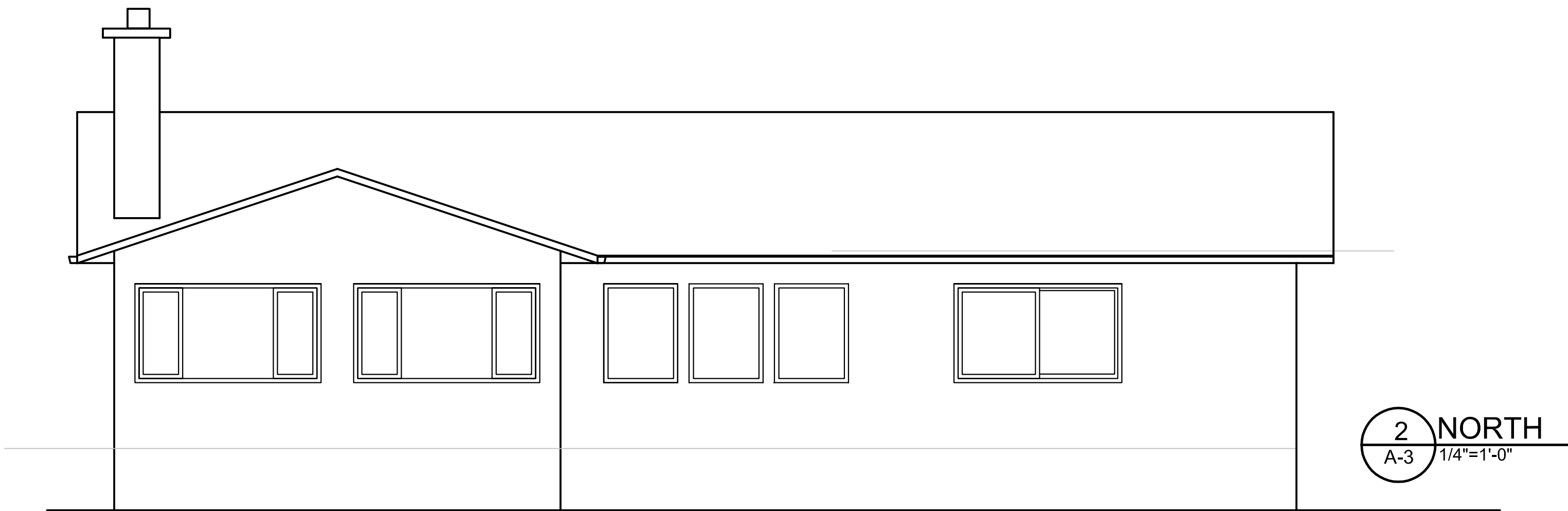
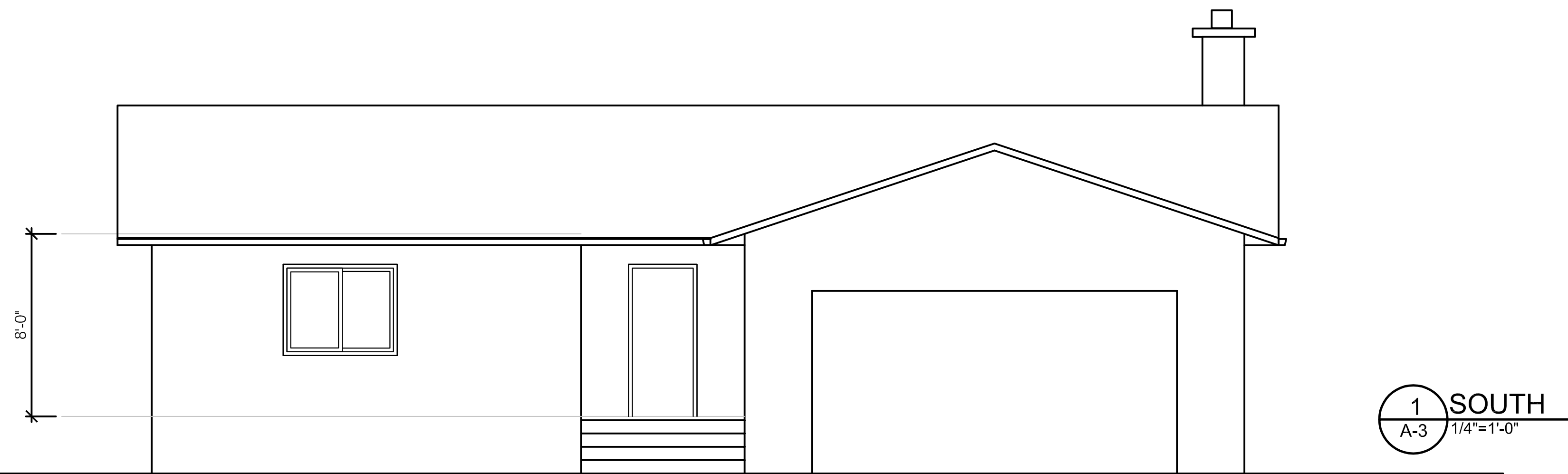
DRAWN BY: KJH

PROJECT : 10-17
FILE:

ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Existing
Elevations

A-3



ATTACHMENT A

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DVP18-0001

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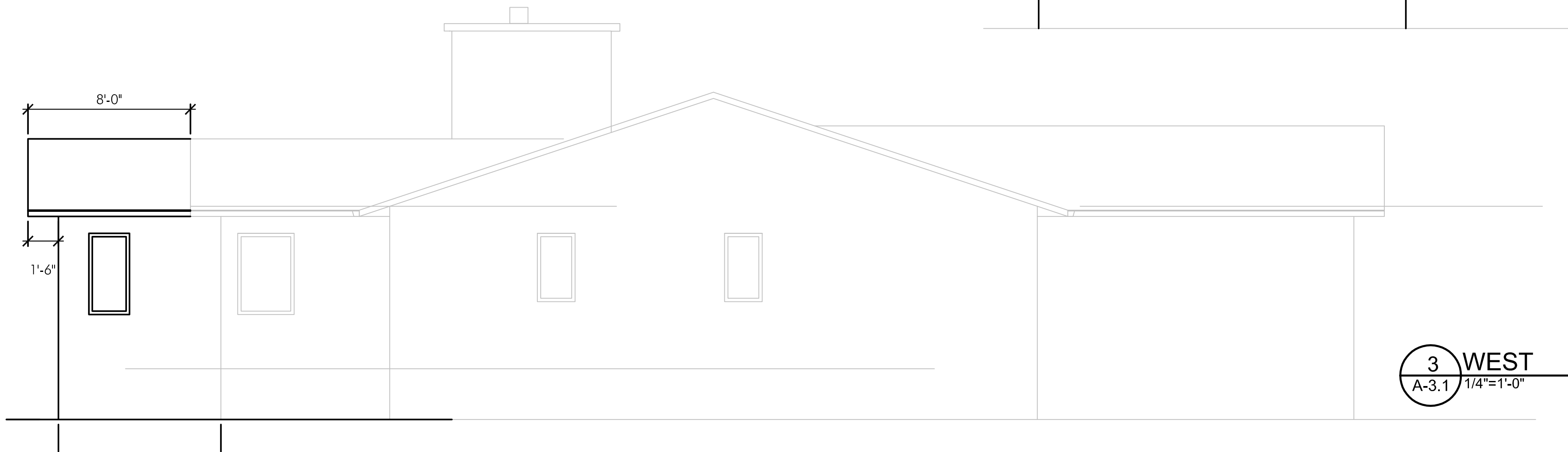
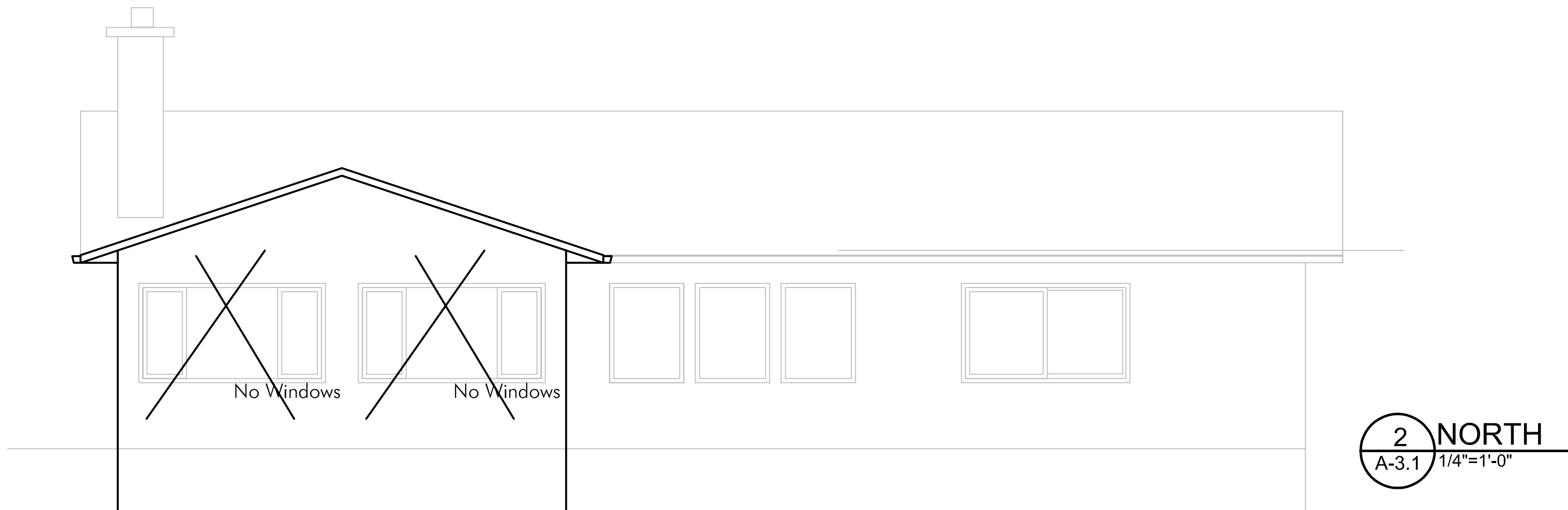
DRAWN BY: KJH

PROJECT : 10-17
FILE:

ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Proposed
Elevations

A-3.1



ATTACHMENT **A**

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DVP18-0001

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City of Kelowna

COMMUNITY PLANNING

General Notes:

1. Contractor and Subtrades to insure that all workmanship complies with the latest issue of NBC , BCBC, Local Bylaws and regulations

2. This set of drawings is the property of the owner Third Party Transfer is prohibited

3. All concrete strengths shall be specified Mp's after 28 days

4. Double all cripples under load bearing lintels

5. Solid Blocking or Double Joists to be under all parallel partitions over 6' long

6. Solid Blocking in joist cavities under point loads

7. All Exterior Lintels and Load Bearing Beams to be #2 douglas fir or better

8. All Microlams, Glulams and Parallams to be checked and approved by supplier and or structural engineer

9. Actual on-site construction may vary from architectural drawings due to site conditions

10. Flash at all horizontal changes in exterior finishings and caulk around all exterior openings

11. Flash over all unprotected openings

12. Hardwired smoke alarms required to be located in each bedroom and one on Every Level

13. Carbon Monoxide Detector to be located 5m max from every bedroom door

14. Mechanical HVAC checklist to be completed at framing inspection

Specifications:

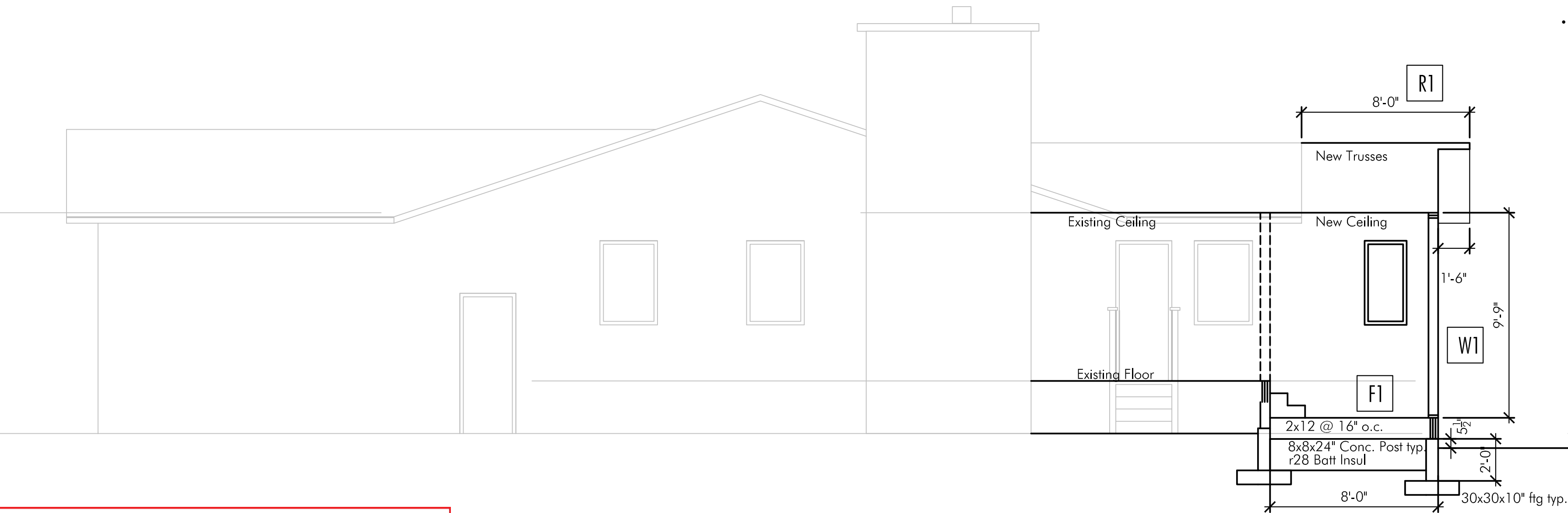
Truss Roof: 4:12
1/2" c.d. board ceiling
6mil UV poly vapour barrier taped and sealed
r50 Insulation
1/2" plywood sheet
Roofing Felt entire deck
Iko Armour Shake 50 year laminate shingles or Metal Roof
Vented Soffit and upper ridge area

Exterior Walls

2x6 kiln dried studs at 19-3/16" or 24" o.c.
2x8 Kiln Dried Studs @ 16" o.c. at Stair Tower
1/2" Plywood Sheathing
2 layers 30 Tar Paper
Wire Mesh w/ 3/4" Acrylic Stucco
R24 Fibreglass Batt Insulation
6mil UV poly vapour barrier taped and sealed
1/2" Drywall Finish

Main Floor

Finish Floor Material
3/4" Ply /o
2x12's @ 16" o.c.
r28 BAtt Insul
6 mil Poly
2" Rigid Insul



ATTACHMENT A

This forms part of application
#_DVP18-0001

Planner Initials **KB**

City of Kelowna
COMMUNITY PLANNING

GENERAL NOTES

STANDARD NOTES

- THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE PLANS, THE OWNER AND /OR BUILDER ACCEPTS THESE PLANS AS DRAWN AND HAS READ AND UNDERSTANDS THE GENERAL NOTES AS FOLLOWS.
- THIS DRAWING WAS PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT SUBSEQUENT CHANGES TO THE CODE ARE COMPLIED WITH AND INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO THE CURRENT BC BUILDING CODE AND /OR LOCAL BUILDING CODES AND BYLAWS THAT MAY TAKE PRECEDENCE.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- KH DESIGNS INC. SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOAD.
- THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.
- AT END OF CONSTRUCTION THE BUILDER SHALL BE RESPONSIBLE FOR CLEANING THE JOB SITE AND BUILDING(S) OF ANY REFUSE AND MAKING GOOD ANY DAMAGE TO BUILDING(S) INCURRED DURING CONSTRUCTION.
- PRIOR TO COMMENCING EXCAVATION WORK THE BUILDER SHALL BE RESPONSIBLE FOR ESTABLISHING THE LOCATION OF AND CLEARLY MARKING EXISTING SERVICES AND IMMEDIATELY NOTIFYING APPLICABLE AUTHORITIES OF ANY DISCREPANCIES.
- TOPSOIL AND EXCAVATED MATERIAL TO BE STOCKPILES SEPARATELY ON THE SITE.

ERRORS AND OMISSIONS

- KH DESIGNS INC. MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION.
- SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT THE EARLIEST CONVENIENCE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS PURCHASED IN NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM REOCCURRING.

STRUCTURAL DESIGN CRITERIA

- ASSUMED ROOF DESIGN LOAD (LIVE AND DEAD) – 50 POUNDS PER SQUARE FOOT (2.5 KG/M.SQ.)
- ASSUMED SOIL BEARING CAPACITY – 2,500 P.S.F. (119.7 KN/M.SQ.)
- CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS.
- FRAMING LUMBER TO BE #2 S.P.F. AND BETTER UNLESS OTHERWISE NOTED. BEAMS TO BE #2 S.P.F. AND BETTER.

NOTE:

IF SOIL CONDITIONS ARE LESS, OR FLOOR AND ROOF LOADS ARE GREATER THAN THIS PLAN IS DESIGNED FOR, YOUR BUILDING DEPARTMENT MAY REQUIRE ADJUSTMENTS TO THE PLANS OR ASK THAT THE PLANS BE ENGINEERED BY A CERTIFIED STRUCTURAL ENGINEER. IT IS BEST THAT AN ENGINEER FAMILIAR WITH LOCAL CONDITION BE CONSULTED.

SITE PLAN NOTES

- IF A SITE PLAN IS NOT PROVIDED BY KH DESIGNS INC. THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THIS HOME ON THE PROPERTY. KH DESIGNS INC. ASSUMES NO LIABILITY FOR PLANS COMPLYING WITH ZONING REGULATIONS OR LOT CONDITIONS.
- OWNER SHALL SUPPLY ANY MISSING INFORMATION ON SITE PLAN, I.E. DIMENSIONS, ELEVATIONS OF LOT, LEGAL DESCRIPTION, SITE ADDRESS, NORTH DIRECTION, AND LOCATION OF SERVICES, EASEMENTS AND RIGHT OF WAYS. ALL MEASUREMENTS ON SITE PLAN TO BE GOVERNED AND APPROVED BY AUTHORITIES HAVING JURISDICTION BEFORE STARTING CONSTRUCTION.
- WELLS AND SEPTIC DISPOSAL SYSTEMS TO BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH HEALTH AUTHORITIES HAVING JURISDICTION.

ELECTRICAL

- INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH THE BC ELECTRICAL CODE AND REGULATIONS AND WITH THE LOCAL ELECTRIC POWER SUPPLIER'S REGULATIONS IN ALL RESPECTS.
- ELECTRICAL OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNER'S REQUIREMENTS.

FOUNDATIONS

- FOUNDATIONS SHALL BE CONCRETE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE.
- FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28-DAY STRENGTH AND THE FLOOR SYSTEM INCLUDING SHEATHING HAS BEEN INSTALLED OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING HEIGHT LIMITS SPECIFIED BY CURRENT BUILDING CODES REQUIRE ENGINEERING.
- PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED TO THE APPROVAL OF LOCAL AUTHORITIES.
- IT IS RECOMMENDED THAT ALL FOUNDATION WALLS 24" (600 MM) AND HIGHER SHALL HAVE ONE 12 MM (1 /2" DIAMETER) REINFORCING BAR CENTERED 3" FROM TOP CORNER REINFORCING TO BE LAPPED MINIMUM 24".

WOOD FRAMING

- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF PARTITION WALLS UNLESS OTHERWISE NOTED. FACE OF EXTERIOR STUD WALL AND FOUNDATION WALL TO BE FLUSH.
- JOISTS SHALL BE DOUBLED UNDER PARALLEL PARTITIONS OVER 6'-0" LONG. JOISTS TO BE PLACED TO ACCOMMODATE HEATING, PLUMBING, ETC. ALL LINTELS SHALL BE 2 – 2 X 10'S UNLESS OTHERWISE NOTED.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 45 LBS. FELT, 6 MIL POLY OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE WITH 1 /2" DIAMETER ANCHOR BOLTS AT MAXIMUM 6'-0" O/C. OR OTHER APPROVED METHOD. EXTERIOR CONCRETE SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.
- FLOOR JOISTS AND ROOF JOISTS WITH SPANS MORE THAN 7'-0" SHALL BE CROSSBRIDGED AT MID SPAN OR AT 7'-0" O/C. MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD. BRIDGING SHALL BE 2 X 2 DIAGONAL TYPE WHEREVER POSSIBLE.
- ROOF TRUSSES REQUIRE ENGINEER'S CERTIFICATE. FOR PREFABRICATED TRUSSES OBTAIN CERTIFICATE FROM MANUFACTURER.

INSULATION AND VENTILATION

- MINIMUM INSULATION REQUIREMENTS:
ROOF / ATTIC R-44 (R.S.I. – 7.0)
ROOF / CEILING (SLOPING) R-14 (R.S.I. – 2.45)
WALLS R-20 (R.S.I. – 3.5)
INSULATION REQUIREMENTS 4500 DEGREE DAYS OR GREATER
R-44 (R.S.I. – 7.7)
R-22 (R.S.I. – 3.85)
- 6 MIL ULTRAVIOLET RESISTANT POLY AIR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF INSULATION.
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ATTIC SPACE AND OVERHANG SOFFIT.
- PROVIDE Baffle FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1 /300 OF AREA. UNHEATED CRAWL SPACES TO BE VENTED MINIMUM OF 1 /500 OF AREA WITH CLOSEABLE VENTS.

FINISHING

- OWNER SHALL SPECIFY ALL INTERIOR AND EXTERIOR FINISHING. OWNER SHALL CONFIRM ANY FINISHING SHOWN ON PLANS.
- EXTERIOR DOORS SHALL BE SOLID CORE / INSULATED AND WATER-STRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING. FLASH AT ALL HORIZONTAL CHANGES IN EXTERIOR FINISHING AND CAULK AROUND ALL EXTERIOR OPENINGS. FLASH OVER ALL UNPROTECTED OPENINGS.
- WINDOW SIZES ARE SHOWN IN FEET AND INCHES.
I.E. 43 X 36 = 4' – 0" WIDE BY 3' – 6" HIGH.
DOOR SIZES ARE WIDTH SHOWN BY 6' – 8" HIGH.
I.E. 28 X 68 = 2'-8" WIDE BY 6' – 8" HIGH.
- OPENINGS IN PARTITIONS SHOWN WITHOUT DOORS ARE FULL HEIGHT UNLESS SHOWN AS AN ARCH. ARCHES ARE FRAMED 7' – 0" HIGH UNLESS OTHERWISE NOTED.
- COAT AND CLOTHES CLOSETS SHALL HAVE ONE ROD AND SHELF. LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES WHERE POSSIBLE. BROOM CLOSETS SHALL HAVE ONE SHELF.
- ALL BATHROOMS SHALL HAVE A WALL MEDICINE CABINET OR ONE LOCKABLE DRAWER.

HEATING

- INSTALLATION OF ENTIRE HEATING SYSTEM MUST COMPLY WITH MANUFACTURER'S DIRECTIONS (WHERE APPLICABLE) AND CONFORM TO LOCAL CODES AND REGULATIONS IN ALL RESPECTS.
- GAS CONNECTION WILL REQUIRE SEPARATE PERMIT AND INSPECTION.
- FUEL BURNING APPLIANCES, INCLUDING FURNACES, FIREPLACES AND STOVES, TO BE PROVIDED WITH COMBUSTION AIR SUPPLY FROM EXTERIOR.

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DESIGNS

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DESIGN

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West Kelowna BC
V4T 3H5
250.575.0590

5820
Farmers Drive
Ellison, BC

DRAWN BY: KJH

PROJECT : 17-20
FILE:

ISSUE DATE
Drawing Issued 6/02/17
SCALE:

Sections/
General
Notes

A-4