

City of Kelowna

Regular Council Meeting

AGENDA



Tuesday, March 6, 2018
6:00 pm
Council Chamber
City Hall, 1435 Water Street

Pages

1. Call to Order

2. Reaffirmation of Oath of Office

The Oath of Office will be read by Mayor Basran.

3. Confirmation of Minutes

Public Hearing - February 20, 2018
Regular Meeting - February 20, 2018

4. Bylaws Considered at Public Hearing

4.1 TA16-0002 (BL11552) - General Housekeeping Amendments

To give Bylaw No. 11552 second and third readings in order to make house keeping amendments to ensure Zoning bylaw remains consistent with City Policies, keeping up to date zoning language, correcting inconsistencies and adapting to changes in the community.

4.2 Tower Ranch Drive OCP17-0002 (BL11488) - Parkbridge Lifestyle Communities Inc

Requires a majority of all Council (5).

To give Bylaw No. 11488 second and third readings and be adopted in order to change the future land use designations on the subject properties indicated in Schedule A and Map A.

4.3 Tower Ranch Drive Z17-0007 (BL11489) - Parkbridge Lifestyle Communities

To give Bylaw No. 11489 second and third readings and be adopted in order to rezone the subject properties as indicated on Schedule B and Map B..

4.4 Richter St 1304 & 1308, Z17-0104 (BL11553) - Stewart and Danielle Turcotte and Pyper Geddes

To give Bylaw No. 11553 second and third readings in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RM5 - Medium Density Multiple Housing zone.

4.5 Neptune Rd 1235 & 1260, OCP17-0014 (BL11558) - Davara Holdings Ltd

Requires a majority of all Council (5).

To give Bylaw No. 11558 second and third readings in order to change the future land use designation from the EDINST - Educational/Major Institutional designation to the S2RES - Single/Two Unit Residential designation.

4.6 Neptune Rd 1235 & 1260, Z17-0053 (BL11559) - Davara Holdings Ltd

To give Bylaw No. 11559 second and third readings in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RU4- Low Density Cluster Housin zone.

4.7 Terai Ct 265, Z17-0111 (BL11560) - Marty and Denise Hoglin

To give Bylaw No. 11560 second and third readings in order to rezone the subject property from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.

4.8 Mayfair Rd 935, Z17-0076 (BL11561) - Singla Bros Holdings Ltd, South Okanagan Construction

To give Bylaw No. 11561 second and third readings in order to rezone the subject property from the RU1 - Large Lot Housing zone to the RU6 - Two Dwelling Housing zone.

5. Notification of Meeting

The City Clerk will provide information as to how the following items on the Agenda were publicized.

6. Development Permit and Development Variance Permit Reports

6.1 Kneller Rd 150, BL11199 (Z15-0041) - Kneller Holdings Ltd.

To amend Bylaw No. 11199 at third reading and adopt in order to rezone the subject property to allow for a 78-unit multiple family residential project.

6.2	Kneller Rd 150, DP15-0176 & DVP15-0177 - Okanagan Metis & Aboriginal Housing Society Inc	3 - 33
	<p>City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.</p> <p>To review the Form & Character Development Permit of a project known as 'Nissan Crossing' which consists of a 3 storey apartment building with ground floor units facing the streets and to consider one variance to the ratio of full and medium sized parking stalls.</p>	
6.3	KLO Rd 1083-1089, OCP17-0017 (BL11512) - Sole on KLO Developments Ltd.	34 - 34
	<p>Requires a majority of all Council (5).</p> <p>To adopt Bylaw No. 11512 in order to change the future land designation on the subject property from the MRM - Multiple Residential (Medium Density) designation to the MXR - Mixed use (Residential/Commercial designation).</p>	
6.4	KLO Rd 1083-1089, TA17-0011 (BL11513) - Section 14 - Commercial Zones	35 - 35
	<p>To adopt Bylaw No. 11513 in order to amend Section 14 - Commercial Zones of Zoning Bylaw No. 8000.</p>	
6.5	KLO Rd 1083-1089, Z17-0069 (BL11514) - Sole on KLO Developments Ltd.	36 - 36
	<p>To adopt Bylaw No. 11514 in order to rezone the subject property from the RM3 - Low Density Housing zone to the C4 - Urban Centre Commercial Zone.</p>	
6.6	KLO Rd 1083-1089, DP17-0169 & DVP17-0170 - Sole on KLO Developments Ltd	37 - 57
	<p>City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.</p> <p>To review the Form & Character Development Permit of a five storey building with four floors of residential and one commercial ground floor unit and to consider six associated variances.</p>	
6.7	Sheerwater Ct 180 20, DVP17-0195 - Marius Anton Scheepers and Sandra Cornelia Keel	58 - 66
	<p>City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.</p> <p>To vary the maximum height on the subject property to allow the development of a Single Family Dwelling.</p>	

6.8 Cadder Ave 889, DVP17-0217 - Jesse Kyle Aldridge

67 - 81

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider three variances to convert an existing accessory building to a carriage house.

6.9 Sands Ct 434, DVP18-0001 - Daniel Mark Sandberg and Jo-Ann Lyn Sandberg

82 - 95

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To vary the minimum rear yard on the subject property.

7. Reminders

8. Termination

CITY OF KELOWNA

BYLAW NO. 11199

Z15-0041 – Kneller Holdings Ltd., Inc. No. 407551

150 Kneller Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of portions of Lot 2, Township 26, ODYD, Plan EPP63257 located on Kneller Road, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the RM3 – Low Density Multiple Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 1st day of February, 2016.

Considered at a Public Hearing on the 16th day of February, 2016.

Read a second and third time by the Municipal Council this 16th day of February, 2016.

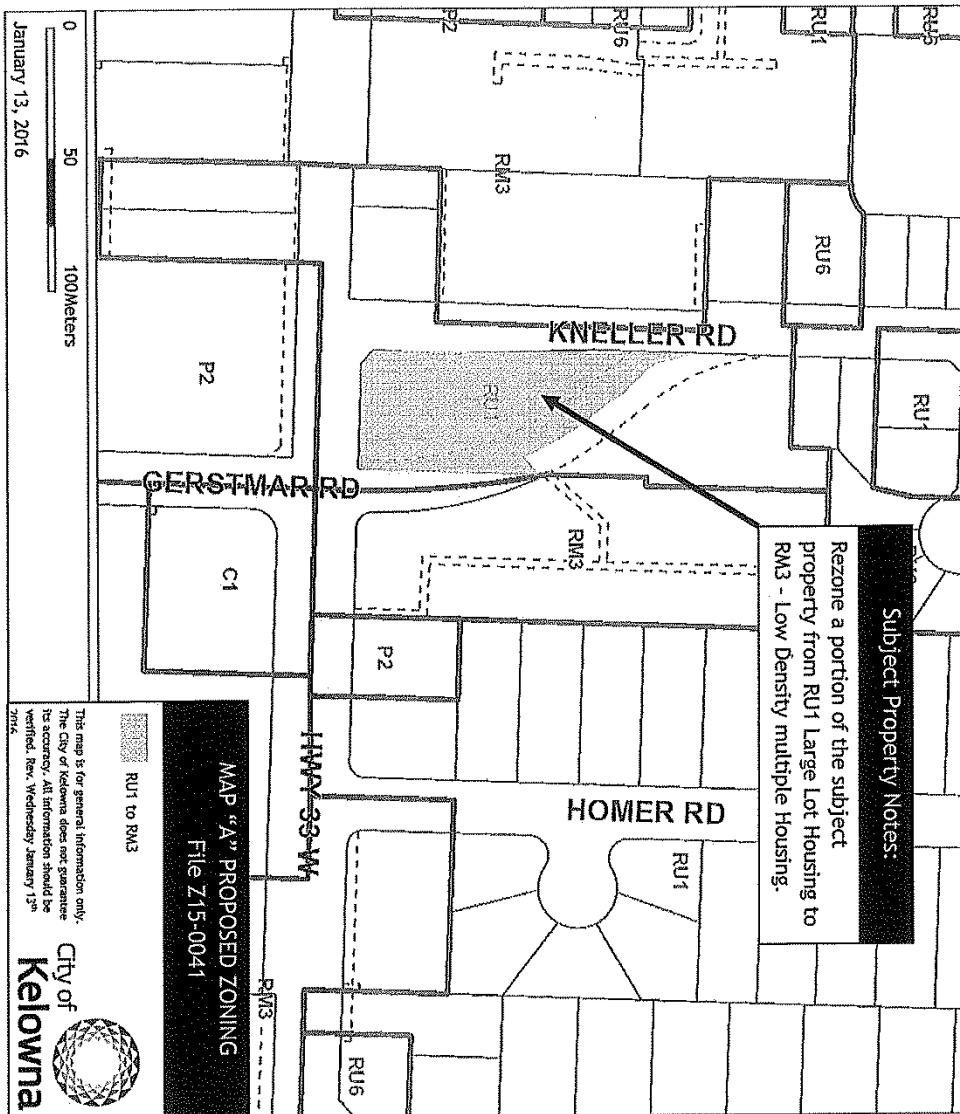
Approved under the Transportation Act 10th day of November, 2017.

Robyn Clifford
(Approving Officer-Ministry of Transportation)

Amended at third reading and dopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk



REPORT TO COUNCIL



Date: Feb 20th 2018

RIM No. 0940-00 & 0940-50

To: City Manager

From: Community Planning Department (AC)

Application: DP15-0176 & DVP15-0177 **Owner:** Okanagan Metis & Aboriginal Housing Society Inc. No. S0021636

Address: 150 Kneller Rd **Applicant:** New Town Planning – Lisa Fraser

Subject: Development Permit and Development Variance Permit

OCP Designation: MRL – Multiple Unit Residential (Low Density)

Zoning: RM3 – Low Density Multiple Housing

1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 11199 (Z15-0041) be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP15-0176 for Lot 2, Section 27, Township 26, ODYD, Plan EPP63257, located at 150 Kneller Rd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council authorize the issuance of Development Variance Permit DVP15-0176 for Lot 2, Section 27, Township 26, ODYD, Plan EPP63257, located at 150 Kneller Rd, Kelowna, BC;

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B, & C":

Section 8.1.11 (a) Size and Ratio

To vary the ratio of vehicular parking stalls sizes from: min 50% Full size, max 40% medium size, & max 10% compact size to 34.2% Full size, 5.8% medium size, & 5.4% compact size.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To review the Form & Character Development Permit of a non-profit 3 storey rental apartment building with ground floor units facing the streets and to consider one variance to the ratio of full and medium sized parking stalls.

3.0 Community Planning

3.1 Development Permit

Staff are recommending support for the proposed Development Permit due to the proposal's consistency with the Official Community Plan's (OCP) design guidelines. The applicant has worked with City staff to review and refine many site issues but the building form and massing fit well with the OCP guidelines.

Through the rezoning application the applicant will construct the Gertsmar Road realignment. This application supports the City's broad goals of residential intensification within the Urban Core and for the provision of affordable housing. This affordable housing project is a rental housing building sponsored by BC Housing and administered by the Okanagan Métis and Aboriginal Housing Society.

The site is well suited for redevelopment and intensification. The property is within an urban neighbourhood and has good access to services and amenities in the Rutland Urban Centre and nearby Hollywood commercial area. The site is a corner lot adjoining similar residential densities on all sides. The site is also located immediately adjacent to a BC Transit stop on Highway 33 W which is a corridor identified as part of the Frequent Transit Network within the City's 25 Year Transit Vision. Further, many transportation and safety goals identified by the City of Kelowna and MOTI will be achieved by the development of this lot such as:

- intersection improvements at the corner of Gerstmar Road and Highway 33;
- the construction of Gertsmar Road;
- the closing and decommissioning of Kneller Road; and
- frontage improvements along Highway 33 and Gerstmar Rd.

3.2 Public Notification

In fulfillment of Council Policy No. 367 respecting public consultation, the applicant undertook neighbour consultation by individually contacting the neighbours within 50 metres and holding a public information session on August 20th 2015 from 4-7pm at the Rutland Seventh Day Adventist Church. Flyers were delivered (or mailed per attached list) to the surrounding area two weeks before and an advertisement was posted in the Capital News on August 5th and again on August 12th.

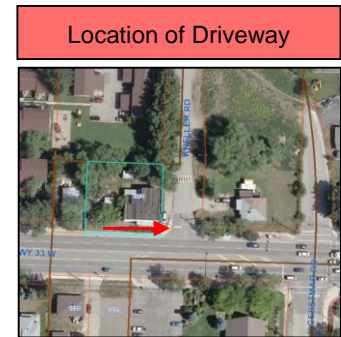
The Public Information Session had (16) residences represented at the meeting. According to the applicant's report on the public information session, the overall responses to the proposed development were positive

in their nature. Many participants commented on the building design and landscape features. Attendees were encouraged to complete an exit survey and 15 completed surveys were received.

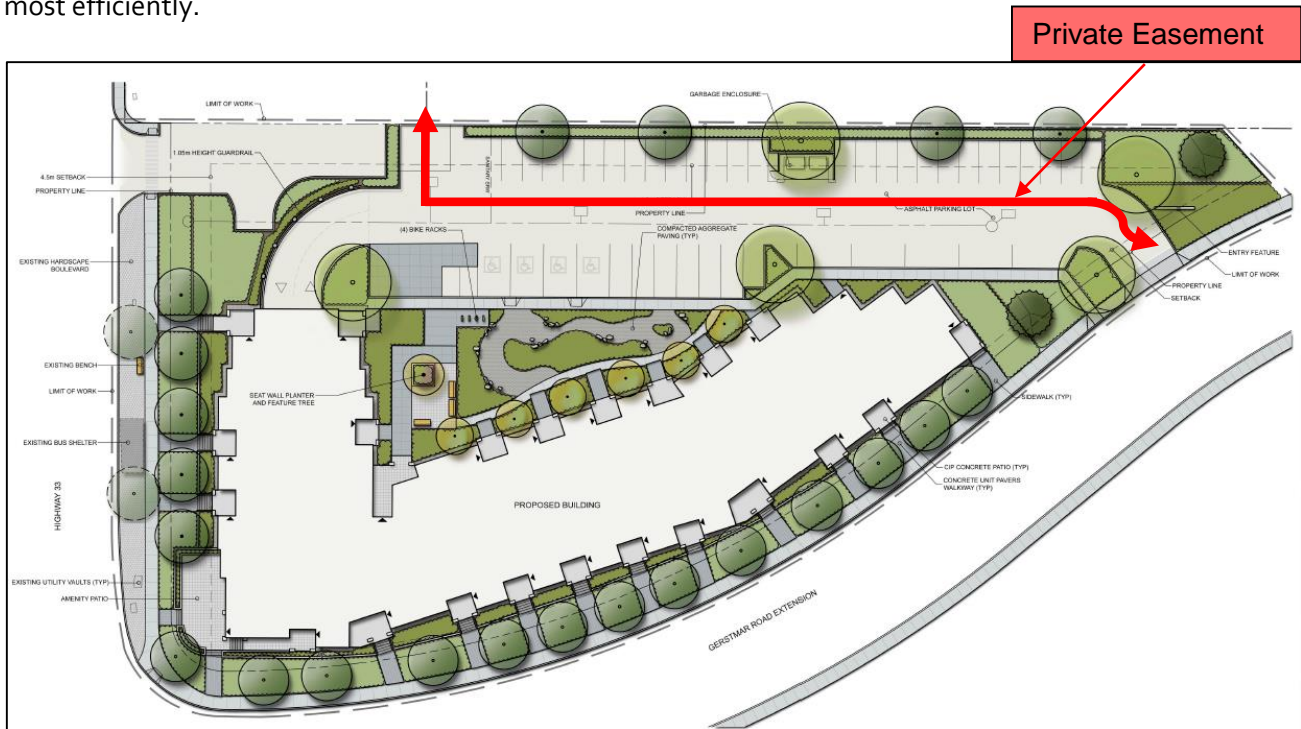
3.3 Neighbouring Parcel

The neighbouring parcel at 1220 Hwy 33 W has their access at the north of their property on Kneller Road. As a part of the closure of Kneller Road, a public lane was created in order to connect their existing driveway access. This was necessary as the Ministry of Transportation and Infrastructure (MOTI) would only approve a rezoning if Kneller Road is closed and if 1220 Hwy 33 W is prevented from having their own driveway access to the highway.

The solution was to provide a private easement through the private parking lot for the potential redevelopment of 1220 Hwy 33 West. From a site design perspective this proposal utilizes the available space on the subject property most efficiently.



Location of Driveway



Private Easement

3.4 Development Variance Permit

There is one variance to reduce the number of full sized vehicle parking stalls and to increase the number of medium sized parking stalls. Staff prefer to see variances to the size of vehicle stalls rather to the total number of vehicle stalls and the applicant was able to provide the minimum according to the Zoning Bylaw. Staff do think this site will have more than enough parking even with the smaller sized vehicles as this is a non-profit rental project that tends to manage their parking more efficiently and the demand for parking in these projects tends to be less.

4.0 Proposal

4.1 Background

The Okanagan Métis and Aboriginal Housing Society (OMAHS) is a registered non-profit society dedicated to the provision of subsidized housing for the community and is the organization that will operate this facility. This type of housing is in high demand within Kelowna. OMAHS has secured support from BC Housing to fund the land purchase and the development for the provision of the apartment housing to be rented at 85% of market value.

OMAHS presently owns and manages several housing developments within Kelowna and West Kelowna, including 28 town house units at 115 Gerstmar Road, adjacent to the Subject Site. The new apartment building will become home to the OMAHS main office, allowing for on-site rental management for the new building and satellite management of their other properties.

The planned Gerstmar Road extension will be triggered by this development. The Ministry of Transportation and Infrastructure (MOTI) has requested that Kneller Road be closed to through traffic. The applicant has acquired the unused portion of Kneller Road right-of-way and has consolidated it with the subject site.

This application was submitted in 2015 and Council approved third reading February 16 2016. It has taken two years to complete the third reading conditions with the primary factor being the Ministry of Transportation approval which was received November 14th 2014.

4.2 Project Description

The current proposal is for a 78-unit, 3 storey apartment building placed on a single level concrete underground parkade with additional parking provided on the surface. The 3 storey wood-frame structure is proposed to be constructed in contemporary Okanagan styling incorporating a flat roof, balconies and large frame windows with solar shading. The exterior is finished with fiber cement siding, shingles, and paneling. The first floor provides ground-oriented access including private access from the street and a patio.

An application for Development Permit and Development Variance Permit has been submitted concurrently with the rezoning application. The architectural and landscape drawings have been submitted identifying conceptual building elevations along with a detailed site plan, parking plan and landscaping plan. After initial review of the Development Permit, the proposed development is complementary in nature to the existing developments along the Hwy 33 corridor.

4.3 Site Context

The subject site is just less than 5,000 m². The site is currently vacant. The site is surrounded on the north, east and west by established residential properties. There is a small development of single-family residential to the north (Kneller Road and Kneller Court), with multiple-family residential beyond. Multiple family residential developments are also located to the east and west of the Subject Site. Land uses to the south and southeast, across Highway 33, are institutional (Rutland Seventh-Day Adventist Church) and commercial (Shell gas station). The subject property is designated as MRL – Multiple Unit Residential (Low Density) and is within the Permanent Growth Boundary. Specifically, the adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot house RU6 – Two Dwelling Housing	Residential
East	RM3 – (Low Density Multiple Housing)	Residential
South	P2 – Education and Minor Institutional C1 – Local Commercial	Institutional Commercial
West	RU1 – Large Lot house RM3 – (Low Density Multiple Housing)	Residential

Subject Property Map: 1170 Hwy 33 W



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM3 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Height	10.0 m / 3.0 storeys	9.3 m / 3 storeys

Zoning Analysis Table		
CRITERIA	RM ₃ ZONE REQUIREMENTS	PROPOSAL
Front Yard (south)	4.5 m	4.5 m
Side Yard (north)	4.5 m (flanking)	8.6 m
Side Yard (east)	1.5 m (ground-oriented)	1.5 m
Rear Yard (west)	7.5 m	20.9 m
Site coverage of buildings	40 %	33 %
Site coverage of buildings, driveway, & parking	60 %	60 %
FAR	0.75	0.75
Parking Regulations		
Minimum Parking Requirements	(100 + 11 visitor) = 111 parking stalls	67 underground + 44 aboveground = 111 parking stalls
Ratio of Parking Stalls	Full size: 50% Min Medium Size: 40% Max Small Size: 10% Max	Full size: 34% ❶ Medium Size: 56.8% Small Size: 5.4%
Minimum Drive Aisle Width	7.0 m	8.0 m
Other Regulations		
Minimum Bicycle Parking Requirements	Class 1: 39 Class 2: 8	Class 1: 67 Class 2: 8
Private Open Space	387.5 m ²	621 m ²
❶ A variance to amend the ratio of parking stalls.		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 5: Development Process

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Sensitive Infill.² Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height and siting.

Contain Urban Growth.³ Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

¹ City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Goals for a Sustainable Future, Objective 1 (Chapter 1 Introduction)

Housing Mix.⁴ Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

Building Height⁵:

- **Other Urban Centres:** Locate taller buildings in the geographic centre of Urban Centres and generally decrease height moving away from the centre, to a maximum of 4 storeys at the periphery of the Urban Centres, where adjoining land is designated for single/two unit housing.
- **South Pandosy:** Generally, 4 storeys. Six storeys within C4 or C9 zoned areas. Potential for 8 storeys where an architecturally distinct and significant buildings is placed at a corner, gateway or view terminus location that is of significance to the community or where a building is of cultural significance to the community.
- **Rutland:** Generally, 4 storeys. Six storeys within C4 or C9 zoned areas. Potential for up to 44 m height (12-14 storeys) in the core of Rutland, as identified in the C7 zone of the Zoning Bylaw.
- **Midtown:** 16 storeys, where the OCP designation provides for high-density multiple-units.
- **Capri/Landmark:** Generally, 4 storeys. Greater height (up to 12 storeys) may be supported on the Capri Shopping Centre site and in the area bordered by Dickson Avenue, Dayton Avenue, Springfield Road and Kirschner Road upon approval of a Council-endorsed comprehensive development plan for the site that provides for a variety of housing types (including but not limited to ground-oriented and rental apartment housing) and the provision of commercial space that is of an amount that, at minimum, equals that which existed in 2010.
- **Elsewhere:** For all areas of the City outside the Urban Centres, buildings heights shall be a maximum of four storeys for residential and six storeys for apartment hotels and hotels. Additional height restrictions may be imposed as a result of airport-related zoning regulations.

Objective 5.5: Ensure appropriate and context sensitive built form.

Building Height.⁶ In determining appropriate building height, the City will take into account such factors as:

- Contextual fit into the surrounding neighbourhood;
- Shadowing of the public realm;
- View impacts;
- Overlook and privacy impact on neighbouring buildings;
- Impacts on the overall skyline;
- Impacts on adjacent or nearby heritage structures;

Chapter 14: Urban Design Guidelines Amenities, ancillary Services and Utilities.⁵

- Locate loading, garbage, storage, utilities and other ancillary services away from public view. All such areas shall be screened and designed as an integral part of the building to minimize impact;
- Create attractive rear alley facades with high quality materials on buildings facing residential areas (e.g. rear building entrances, windows, balconies, plazas, and plantings).

Chapter 4: Land Use Designation Massing and Height.³

- Mitigate the actual and perceived bulk of buildings by utilizing appropriate massing, including:

⁴ City of Kelowna Official Community Plan, Policy 5.27.11 (Development Process Chapter)

⁵ City of Kelowna Official Community Plan, Policy 5.8.1 (Development Process Chapter)

⁶ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter). 3 City of Kelowna Official Community Plan, Chapter 14 (Urban Design Development Permits Area).

- Architectural elements (e.g. balconies, bay windows, cantilevered floors, cupolas, dormers);
- Visually-interesting rooflines (e.g. variations in cornice lines and roof slopes);
- Step back upper floors to reduce visual impact;
- Detailing that creates a rhythm and visual interest along the line of the building;
- Wall projections and indentations, windows and siding treatments as well as varied material textures should be utilized to create visual interest and to articulate building facades;
- Building frontages that vary architectural treatment in regular intervals in order to maintain diverse and aesthetically appealing streets.

6.0 Technical Comments

6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s)
- Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- A Hoarding permit is required and protection of the public from the staging area and the new building area during construction. Location of the staging area and location of any cranes should be established at time of DP.
- Requirements of the City of Kelowna fire prevention regulations bylaw No. 10760 for buildings 6 stories and greater are to be shown on the building permit drawings
- A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - a. An alternative solution proposal for code requirements must be accepted by the Chief Building Inspector prior to the release of the Development Permit
 - b. Door swings and proper exit distance for means of exiting are required. Door swings can not cross property and an additional stairwell may be required for travel distance of the residential floors.
 - c. Additional doors and/or corridors may be required to meet minimum exiting requirements of the commercial space. This may include moving of the internal rated exit stairwells to meet minimum distances and addition of rated corridors and additional doors.
 - d. Spatial calculation are required between commercial units which may affect the form and character is glazing is required to be reduced.
 - e. Dedicated exits are required from the amenity deck to the public corridor.
 - f. Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - g. Access to the roof is required per NFPA and guard rails may be required and should be reflected in the plans if required.
- A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. A minimum Geodetic Elevation of 343.66 meters is required for all habitable spaces including the parking garage(s).
- We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent properties is a civil action which does not involve the city directly. The items of potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work etc.

- Fire resistance ratings are required for storage, janitor and/or garbage enclosure room(s). The drawings submitted for building permit is to clearly identify how this rating will be achieved and where these area(s) are located.
- An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units, number of required exits per area, door swing direction, handrails on each side of exit stairs, width of exits etc.
- Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
- Mechanical Ventilation inlet and exhausts vents are not clearly defined in these drawings for the enclosed parking storeys. The location and noise from these units should be addressed at time of Development Permit.
- Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this structure at time of permit application.

6.2 Development Engineering Department

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. General.

Requirements identified in the rezoning application under file Z15-0041 must be satisfied prior to issuing this development permit

2. Domestic water and fire protection.

This development is within the service area of the Rutland Waterworks District (RWDD).

3. Site grading.

Provide a site grading plan.

4. Drainage.

Provide a comprehensive site drainage management plan and design in accordance with the City's Bylaws and policies.

Variances

Do not compromise municipal services.

6.3 Fire Department

- Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required.
- Engineered Fire Flow calculations are required to determine Fire Hydrant requirements as per the City of Kelowna Subdivision Bylaw #7900. New hydrants on this property shall be operational prior to the start of construction and shall be deemed a private hydrant
- All buildings shall be addressed off of the street it is accessed from.

- A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD
- Fire Department access is to be met as per BCBC 3.2.5.
- Approved Fire Department steel lock box acceptable to the fire dept. is required by the fire dept. entrance and shall be flush mounted
- All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met
- Fire alarm system is to be monitored by an agency meeting the CAN/ULC S561 Standard.
- Contact Fire Prevention Branch for fire extinguisher requirements and placement.
- Fire department connection is to be within 45M of a fire hydrant - unobstructed.
- Ensure FD connection is clearly marked and visible from the street
- Standpipes to be located on intermediate landings.
- Sprinkler zone valves shall be accessible as per fire prevention bylaw - less than 7 feet from floor
- Dumpster/refuse container must be 3 meters from structures or overhangs or in a rated room in the parking garage
- Do not issue BP unless all life safety issues are confirmed

7.0 Application Chronology

Date of Application Received (complete):	August 5 th 2015
Date of Notification Letters:	Aug 25 th 2015
Date of First Reading:	Feb 1 st 2016
Date of Public Hearing:	Feb 16 th 2016
Date of MOTI Approval:	Nov 10 th 2017

Prepared by:	Adam Cseke, Urban Planner
Reviewed by:	Terry Barton, Urban Planning Manager
Approved for:	Ryan Smith, Community Planning Department Manager

Attachments:

DP15-0176 & DVP15-0177

Development Permit & Development Variance Permit DP15-0176 & DVP15-0177



This permit relates to land in the City of Kelowna municipally known as

150 Kneller Rd

and legally known as

Lot 2, Section 27, Township 26, ODYD, Plan EPP63257

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

Section 8.1.11 (a) Size and Ratio

To vary the ratio of vehicular parking stalls sizes from: min 50% Full size, max 40% medium size, & max 10% compact size to 34.2% Full size, 5.8% medium size, & 5.4% compact size.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: February 20th 2017

Decision By: CITY COUNCIL

Issued Date: **DATE**

Development Permit Area: Comprehensive Development Permit Area

File Manager: AC

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: RM3 – Low Density Multiple Housing

Future Land Use Designation: MRL – Multiple Unit Residential (Low Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Okanagan Metis & Aboriginal Housing Society Inc. No. Soo21636
Address: 240 – 1855 Kirshner Road
City: Kelowna, BC
Phone: n/a

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$116,220.10
- OR
- b) An Irrevocable Letter of Credit in the amount of \$116,220.10

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

SCHEDULE A & B

This forms part of application

DP15-0176 / DVP15-0177

Planner
Initials

AC

City of
Kelowna
COMMUNITY PLANNING



ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

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SEAL



Revisions

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8	17-07-11	RE-ISSUED FOR BP

OMAHs - NISSEN CROSSING

78 UNIT MULTI - FAMILY RESIDENTIAL BUILDING ON GERSTMAR AND HIGHWAY 33



ARCHITECTURAL

NEW TOWN ARCHITECTURE & ENGINEERING INC.
3445 St. Paul Street Kelowna, B.C. V1Y 2E5
Roman Yanchukovskiy, Architect AIBC
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roman@newtownservices.ca

STRUCTURAL

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110-2040 Spryfield Road Kelowna, B.C. V1Y 9B7
Meha Yachukovskiy, P. Eng.
ph: 250 860 0403, fax: 250 860 0405
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ELECTRICAL

PVE ENGINEERING LTD.
16-4425 West Poplar St. Vancouver, B.C. V6B 1T6
Daphne Jacob, P. Eng.
ph: 604 515 5750, fax: 604 516 7822
dajacob@pveengineering.com

CIVIL

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230-660 University Avenue Kelowna, B.C. V1Y 4T7
Dale E. Pilling, P. Eng.
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MECHANICAL

DELLA L. KUMAR ENGINEERS LTD.
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Della L. Kumar, P. Eng.
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dkumar@kela.ca

M1	SYMBOL LEGEND, LOAD SUMMARY TABLES AND INSTALLATION DETAILS
M2	FOUNDATION PLAN - MECHANICAL
M3	PARKADE FLOOR PLAN - MECHANICAL
M4	LEVEL 1 FLOOR PLAN - MECHANICAL
M5	LEVEL 2 FLOOR PLAN - MECHANICAL
M6	LEVEL 3 FLOOR PLAN - MECHANICAL
M7	ROOF PLAN - MECHANICAL
M8	UNIT PLANS - MECHANICAL
M9	LARGE SCALE PLANS - MECHANICAL
M10	SANITARY, DOMESTIC WATER AND CORRIDOR MAKE-UP AIR RISER DIAGRAMS
M11	EQUIPMENT SCHEDULES
M12	MECHANICAL SPECIFICATIONS

A0.00	COVERPAGE AND DWG LIST
A0.01	ZONING & BUILDING CODE REVIEW
A0.02	EXITING AND BUILDING CODE REVIEW PLANS
A0.03	DOOR & WINDOW SCHEDULE
A1.00	BUILDING ASSEMBLIES
A2.00	SITE PLAN
A3.00	PARKADE OVERALL PLAN
A3.01	LEVEL 1 OVERALL PLAN
A3.02	LEVEL 2 OVERALL PLAN
A3.03	LEVEL 3 OVERALL PLAN
A3.04	ROOF OVERALL PLAN
A3.05	UNIT PLANS
A3.06	UNIT AND COMMON ROOM PLANS
A3.07	ELEVATOR PLANS
A3.08	ELEVATOR PLANS
A3.09	LAUNDRY ROOMS
A3.10	LEVEL 1 - SLAB EDGE PLAN
A3.11	LEVEL 1 OVERALL - RCP
A3.12	LEVEL 2 OVERALL - RCP
A3.13	LEVEL 3 OVERALL - RCP
A4.00	EXTERIOR ELEVATIONS
A4.01	PERPENDICULAR ELEVATIONS
A5.01	BUILDING SECTIONS
A5.02	BUILDING SECTIONS
A6.00	WALL SECTIONS
A6.01	WALL SECTIONS
A6.02	WALL SECTIONS
A6.03	WALL SECTIONS
A7.00	STAIR 1 DETAILS
A7.01	STAIR 2 DETAILS
A7.02	STAIR SECTIONS
A8.00	PLAN DETAILS
A8.01	PLAN DETAILS
A8.02	SECTION DETAILS
A8.03	SECTION DETAILS - DECK
A8.04	SECTION DETAILS - ELEVATOR
A8.05	SECTION DETAILS
A8.06	DETAILS
A8.07	DETAILS
A8.08	DETAILS



TRUE NORTH



KEYPLAN: 1170 HIGHWAY 33

project title
**OMAHs - NISSEN
CROSSING**

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

revision

drawing title

**COVERPAGE
AND DWG LIST**

designed R.Y. / R.B.

drawn J.F. / R.B.

checked R.Y.

drawing no.

project Aug 03, 2017

A0.00

ZONING SUMMARY		
ADDRESS	1170 HIGHWAY 33W	
LEGAL DESCRIPTION	PARCEL B OF LOT 4, SECTIONS 26 AND 27, TP 26, COYO, PLAN 428	
DEVELOPMENT PERMIT AREA	GENERAL MULTIPLE UNIT OF AREA	
EXISTING ZONING	RUI - LARGE LOT HOUSING	
PROPOSED ZONING	RM0 - LOW DENSITY MULTIPLE HOUSING	
EXISTING LEGAL USE	SINGLE FAMILY	
GRADES	VARIES - SLOPES APPROXIMATELY 1.5m DOWN TOWARD HIGHWAY 33	
NUMBER OF BUILDINGS	1	
REQUIREMENTS FOR ALL DEVELOPMENT PERMIT APPLICATIONS		
	ZONING STANDARD	PROPOSED ZONING
SITE AREA (m²)	MIN 300m	4,915m
SITE DEPTH (m)	MIN 30m	44m
OFF STREET PARKING	113 STALLS	87 UIC AND 44 AG + 111 STALLS
PRIVATE OPEN SPACE	REFER TO CALCULATIONS	REFER TO CALCULATIONS
HEIGHT OF BUILDINGS / # STOREYS	9m OR 3 STOREYS	3 STOREYS (9.3m)
SITE COVERAGE OF BUILDINGS (%)	40%	35%
SITE COVERAGE INCLUDING BUILDINGS, DRIVEWAYS, AND PARKING	60%	60%
ADDITIONAL REQUIREMENTS FOR COMMERCIAL, INDUSTRIAL, AND MULTIPLE UNIT / INTENSIVE RESIDENTIAL APPLICATION		
	ZONING STANDARD	PROPOSED ZONING
NUMBER OF BICYCLE PARKING SPACES	47 STALLS	47 STALLS
NUMBER OF LOADING SPACES	N/A (RESIDENTIAL)	0
DRIVE AISLE WIDTH	7m	7m
SETBACKS TO PARKING		
SOUTH (FRONT)	N/A	N/A
NORTH (REAR)	1.5m	8.5m
EAST (SIDE)	1.5m	N/A
WEST (SIDE)	1.5m	1.5m
FLOOR AREA NET	REFER TO CALCULATIONS	REFER TO CALCULATIONS
FLOOR AREA RATIO (F.A.R.)	75	75
BUILDINGS, SETBACK		
SOUTH (FRONT)	4.5m (HIGHWAY 33 SETBACK)	4.5m (HIGHWAY 33 SETBACK)
NORTH (SIDE)	4.5m (PLANNING STREET)	8.5m
EAST (SIDE)	1.5m (GROUND ORIENTED SUITES)	1.5m (GROUND ORIENTED SUITES)
WEST (SIDE)	4.5m	20.5m

PARKING CALCULATION			
STALL SIZE		BYLAW 8005 TABLE 6.1	
FULL SIZE CAR STALL		2.5m WIDE x 6.0m DEEP	
MEDIUM SIZE CAR STALL (M1)		2.3m WIDE x 6.0m DEEP	
COMPACT CAR STALL (C2)		2.0m WIDE x 5.4m DEEP	
DISABLE PERSONS CAR STALL		3.7m WIDE x 6.0m DEEP	
DRIVE AISLE (2 WAY, 90 DEGREE STALLS)		7m	
PARKING			
REQUIRED BY BYLAW		PROPOSED	
1.0 STALL PER STUDIO + 0 UNITS		1.0 STALL PER STUDIO + 0 UNITS	
1.25 STALL PER 1 BEDROOM + 0 UNITS		1.25 STALL PER 1 BEDROOM + 0 UNITS	
1.50 STALL PER 2 BEDROOM + 0 UNITS		1.50 STALL PER 2 BEDROOM + 0 UNITS	
TOTAL RESIDENTIAL PARKING		100 STALLS	
OFFICE PARKING (50m) 2.5 PER 100m GFA		1 STALL	
TOTAL PARKING STALLS		101 STALLS	
PARKING RATIO			
REQUIRED BYLAW		PROPOSED	
LARGE CAR		40%	
MEDIUM CAR		40%	
COMPACT CAR		10%	
HANDICAP PARKING		1% (30%)	
TOTAL PARKING RATIO		3.0%	
HIC PARKING			
HANDICAP PARKING (1 PER 100 UNITS)		1 STALL	
HANDICAP PARKING (1 PER 100 UNITS)		1 STALL	
TOTAL HANDICAP PARKING		2 STALLS	
LOADING ZONE			
BYLAW 8005 TABLE 6.2			
BICYCLE PARKING			
BICYCLE PARKING (CLASS 1) 5 PER DWELLING UNIT		30	
BICYCLE PARKING (CLASS 2) 1 PER DWELLING UNIT		6	
TOTAL BICYCLE PARKING		36 STALLS	

BUILDING CODE REVIEW			
BUILDING DESCRIPTION: 3 STOREY RESIDENTIAL BUILDING ON A ONE STORY PARKADE			
NOTE: PARKADE IS TO BE CONSIDERED AS A SEPARATE BUILDING IN ACCORDANCE WITH 3.2.1.2			
OCCUPANCY	GROUP C	GROUP F3	
ARTICLE	3.2.2.82	3.2.2.82	
NUMBER OF STOREYS	3 LEVELS ABOVE PARKADE	4 LEVELS INCLUDING PARKADE	
NUMBER OF STREETS FACING	4	4	
MAX. BUILDING AREA	2,400m²	3,800m²	
CONSTRUCTION TYPE	COMBUSTIBLE / NON COMBUSTIBLE	NON COMBUSTIBLE	
SPRINKLERED	YES (MPPA 15)	YES (MPPA 15)	
ASSEMBLY RATINGS	RESIDENTIAL	PARKADE	
FLOORS	1 HR FIRE RATED ASSEMBLY	2 HR FIRE RATED ASSEMBLY	
WALLS / STRUCTURE	1 HR FIRE RATED ASSEMBLY	2 HR FIRE RATED ASSEMBLY	
ROOF	1 HR FIRE RATED ASSEMBLY	2 HR FIRE RATED ASSEMBLY	

BUILDING AND FLOOR AREAS			
NET AREAS			
UNIT TYPE	UNIT AREA	# UNITS	TOTAL AREA
A ONE BEDROOM	510 sq.ft. (47m²)	50	25,500 sq.ft. (2,369 m²)
A2 ONE BEDROOM	572 sq.ft. (53m²)	2	1,144 sq.ft. (106 m²)
B TWO BEDROOM	685 sq.ft. (63m²)	6	4,110 sq.ft. (381 m²)
C TWO BEDROOM	685 sq.ft. (63m²)	6	4,110 sq.ft. (381 m²)
C1 TWO BEDROOM	685 sq.ft. (63m²)	3	2,055 sq.ft. (191 m²)
D STUDIO	312 sq.ft. (29m²)	9	2,808 sq.ft. (261 m²)
E TWO BEDROOM	867 sq.ft. (80m²)	3	2,601 sq.ft. (242 m²)
TOTALS		78	41,889 sq.ft. (3,871 m²)

LEVEL 1 OFFICE AREA	
LEVEL 1 COMMON AREA	1,000 sq.ft. (93m²)
TOTAL NET AREA FOR F.A.R.	45,407 sq.ft. (4,203m²)
F.A.R. FOR RM0 + 75	BYLAW 8005 13.6.4

GFA AREAS	
PARKADE	20,023 sq.ft. (1,860 m²)
LEVEL 1	17,333 sq.ft. (1,610 m²)
LEVEL 2	17,262 sq.ft. (1,594 m²)
LEVEL 3	17,262 sq.ft. (1,594 m²)
TOTAL GFA	51,547 sq.ft. (4,788 m²)
BUILDING EFFICIENCY	43,407 sq.ft. / 51,547 sq.ft. = 84.2%

SITE INFO AND AREAS	
SITE AREA	2,299m² (ORIGINAL LOT) + 1,913m² (INELLAR LANE AREA) + 4,915m² (52,946 sq.ft.)
LEVEL 1 FOOTPRINT AREA	17,333 sq.ft. (1,610 m²)
PARKADE LEVEL, DRIVEWAYS, AND PARKING AT GRADE	35,255 sq.ft. (3,275 m²)
MAX SITE COVERAGE	40% MAX
CURRENT SITE COVERAGE (BUILDING)	20% (17,333 / 82,946 = 20%)
MAX SITE COVERAGE (BUILDING, DRIVEWAYS, AND PARKING)	60% MAX
CURRENT SITE COVERAGE (BUILDING)	(BUILDING + 1,913m²) + (DRIVEWAYS AND PARKING + 1,957m²) = 2,870m²
	2,870m² / 4,915m² = 58.4% (2,870 / 4,915 = 58.4%)

SITE AREA REQUIRED TO MEET F.A.R. REQUIREMENTS (RM0 + 75)	
TOTAL AREA PROVIDED FOR F.A.R.	43,407 sq.ft. / 75 = 578.76 sq.ft. (5,377 m²)
TOTAL AREA PROVIDED FOR F.A.R.	4,915 sq.m + 1,957 sq.m = 6,872 sq.m

PRIVATE OPEN SPACE					
LEVEL 1					
		REQUIRED	PROVIDED (PATIO)	TOTAL REQUIRED	TOTAL PROVIDED
A ONE BEDROOM	16	15 m	27 m (TYP)	240 m	432 m
A2 ONE BEDROOM	0	15 m	0	0	0
B TWO BEDROOM	2	25 m	37 m	50 m	74 m
C TWO BEDROOM	1	25 m	45 m	25 m	45 m
C1 TWO BEDROOM	1	25 m	45 m	25 m	45 m
D STUDIO	3	7.5 m	0	22.5 m	0
E TWO BEDROOM	1	25 m	25 m	25 m	25 m
TOTAL				387.5 m	621 m

LEVEL 2					
		REQUIRED	PROVIDED (PATIO)	TOTAL REQUIRED	TOTAL PROVIDED
A ONE BEDROOM	17	15 m	7 m	255 m	119 m
A2 ONE BEDROOM	1	15 m	12.5 m	15 m	12.4 m
B TWO BEDROOM	2	25 m	37 m	50 m	74 m
C TWO BEDROOM	2	25 m	45 m	25 m	90 m
C1 TWO BEDROOM	1	25 m	45 m	25 m	45 m
D STUDIO	3	7.5 m	0 m	22.5 m	0 m
E TWO BEDROOM	1	25 m	25 m	25 m	25 m
LEVEL 2 TOTAL				417.5 m	365.5 m
LEVEL 3 (SIMILAR TO LEVEL 2)				417.5 m	365.5 m
TOTAL				1,222.5 m	1,076 m

SPATIAL SEPARATION	
ARTICLE 3.2.3.1.D	
WINDOW OPENINGS AND WALL CONSTRUCTION ARE UNRESTRICTED AS THE LIMITING DISTANCE EXCEEDS 9.0m IN ALL CASES, OR THE BUILDING IS FROM A STREET IN ACCORDANCE WITH ARTICLE 3.2.3.1.B	

FIRE PROTECTION	
LOCATION OF HYDRANT TO SIMSE CONNECTION	45m MAX. 3.2.5.5
STANDEPPE / HOSE	YES (IN EXIT STAIRS) 3.2.5.6
SPRINKLERED	YES
FIRE ALARM SYSTEM	YES 3.2.4.1
EXIT LIGHTS	YES
EMERGENCY LIGHTING	YES

OCCUPANT LOAD	
PARKADE LEVEL	1800 sq.m / 46 sq.m PER PERSON = 41
LEVEL 1 - COMMON ROOM	126 sq.m / 96 sq.m PER PERSON = 133
LEVEL 1 - OFFICES	53 sq.m / 9.30 sq.m PER PERSON = 6
LEVEL 1 - RESIDENTIAL	24 UNITS x 2 PEOPLE / DWELLING UNIT = 48
LEVEL 2 AND 3 - RESIDENTIAL	(27 UNITS x 2 PEOPLE / DWELLING UNIT) x 2 = 108
TOTAL OCCUPANT LOAD	= 306

EXIT FACILITIES			
ARTICLE 3.2.3.1.D			
REQUIRED EXITS	2 PER FLOOR MINIMUM	= 41	
REQUIRED			
PARKADE LEVEL DOORS	6.1m / PERSON x 41	= 251mm	2 DOORS @ 900mm WIDE x 1,800mm
PARKADE LEVEL STAIRS	6.1m / PERSON x 41	= 338mm	2 STAIRS @ 1,067mm WIDE x 2,134mm
LEVEL 1 DOORS	6.1m / PERSON x 97	= 1,541mm	2 DOORS @ 900mm WIDE x 1,800mm
LEVEL 1 STAIRS	6.1m / PERSON x 97	= 1,488mm	2 STAIRS @ 1,067mm WIDE x 2,134mm
LEVEL 2 DOORS	6.1m / PERSON x 54	= 330mm	2 DOORS @ 900mm WIDE x 1,800mm
LEVEL 2 STAIRS	6.1m / PERSON x 54	= 430mm	2 STAIRS @ 1,067mm WIDE x 2,134mm
RESIDENTIAL UNITS			
MIN. 1 DOOR - 900mm WIDE PER UNIT		1 DOOR - 915mm WIDE PER UNIT	
EXIT THROUGH LOBBY			
PARKING DOOR HARDWARE		REQUIRED (ARTICLE 3.4.6.16.1)	
EXIT EXPOSURE		NO ADDITIONAL PROTECTION NEEDED (ARTICLE 3.2.3.1.B)	
MAX TRAVEL DISTANCE		45m (RESIDENTIAL) AND 60m (PARKADE) (ARTICLE 3.4.2.5.1)	
EXIT RATINGS REQUIRED			
STAIR SHAFTS		1 HOUR IN RESIDENTIAL / 2 HOURS IN PARKADE (ARTICLE 3.4.4.1)	
CORRIDORS		1 HOUR (ARTICLE 3.2.4.1.1)	

REQUIRED FIRE SEPARATIONS	
TENANTS / MAJOR OCCUPANCIES	
GROUP C TO F3	2 HOUR (ARTICLE 3.2.1.2)
GROUP C TO C	1 HOUR (ARTICLE 3.1.1)
SERVICE ROOMS	1 HOUR (ARTICLE 3.6.2)
JANITOR ROOMS	NON-RATED FIRE SEPARATION (ARTICLE 3.3.1.21.1)

BUILDING FIRE SAFETY	
SMOKE PROTECTION	NOT REQUIRED - SPRINKLERED (ARTICLE 3.2.3.16.4)
FLAME SPREAD RATING	COMPLIES (ARTICLE 3.1.10.2)
METAL SMOKE ASSEMBLIES	N/A (ARTICLE 3.1.14.2)
ROOF COVERING CLASSIFICATION	CLASS "A" (ARTICLE 3.1.15.2)
ATTIC FIRE STOPS	REQUIRED (ARTICLE 3.1.11)
MAX ATTIC AREA	300 sq.m WITH A FLAME SPREAD RATING GREATER THAN 25 (ARTICLE 3.1.11.5.1)
MAX CRAWL SPACE AREA	N/A (ARTICLE 3.1.11.6.1)
CONCEALED FLOOR AREA	N/A (ARTICLE 3.1.11.5.1)
FIRE ALARM REQUIRED	YES
STANDEPPE REQUIRED	YES
EMERGENCY LIGHTS EXT SIGNS REQUIRED	YES

ACCESSIBILITY REQUIREMENTS	
ACCESS TO MAIN ENTRANCE	REQUIRED YES PROVIDED YES
ACCESS TO ALL FLOORS	NO YES
ACCESSIBLE WASHROOMS	NO YES

WASHROOM REQUIREMENTS	
MIN. 1 PER DWELLING UNIT	REQUIRED YES PROVIDED YES
MIN. 1 PER OFFICE AREA	REQUIRED YES PROVIDED YES

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SEAL



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SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner Initials AC



project title
OMAHAS - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELOWNA, BC

project no. 1560

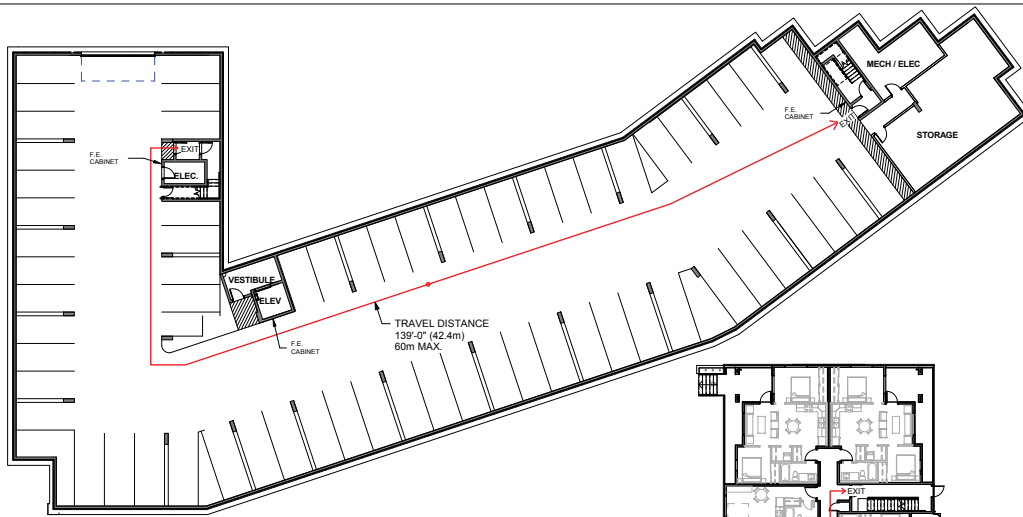
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drawing title

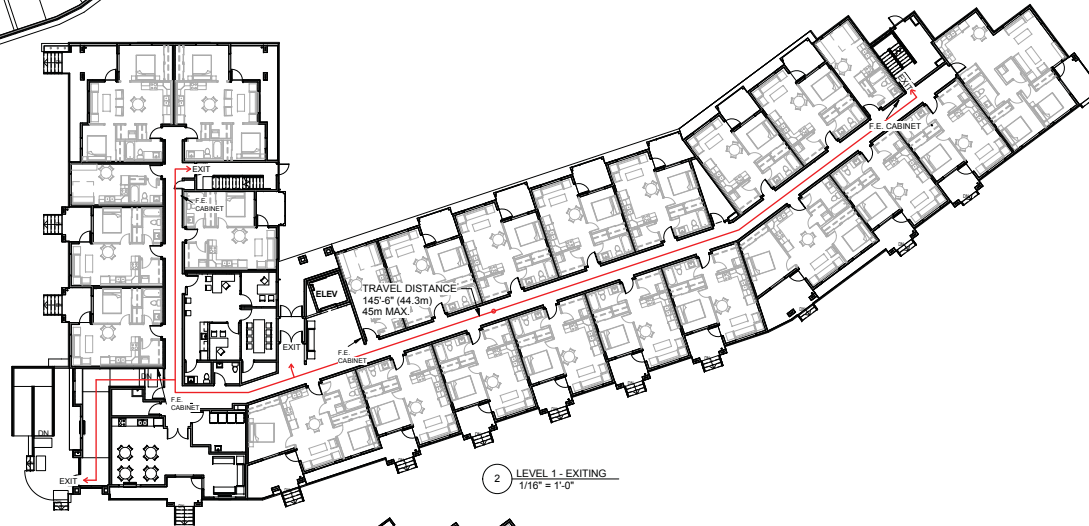
ZONING & BUILDING CODE REVIEW

designed R.Y. scale 1/8" = 1'-0"
drawn J.F. / R.B.
checked R.Y.
drawing no.

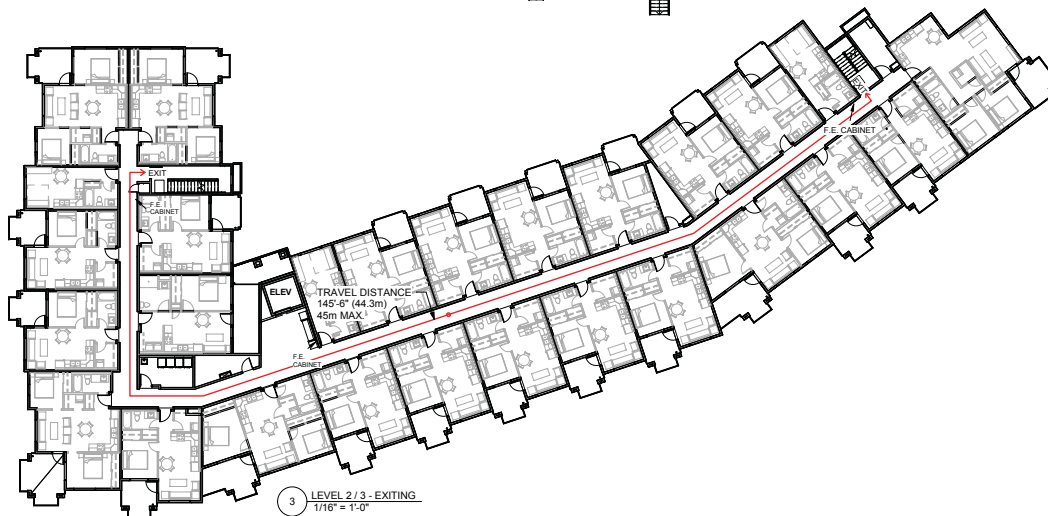
A0.01
issued Aug 03, 2017



1 PARKADE - EXITING
1/16" = 1'-0"



2 LEVEL 1 - EXITING
1/16" = 1'-0"



3 LEVEL 2/3 - EXITING
1/16" = 1'-0"

SCHEDULE A & B

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Planner
Initials

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SEAL



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project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

file no.

drawing title
**EXITING AND
BUILDING
CODE REVIEW
PLANS**

designed R.Y. scale 1/16" = 1'-0"
drawn J.F./R.B.
checked R.Y.
drawing no.

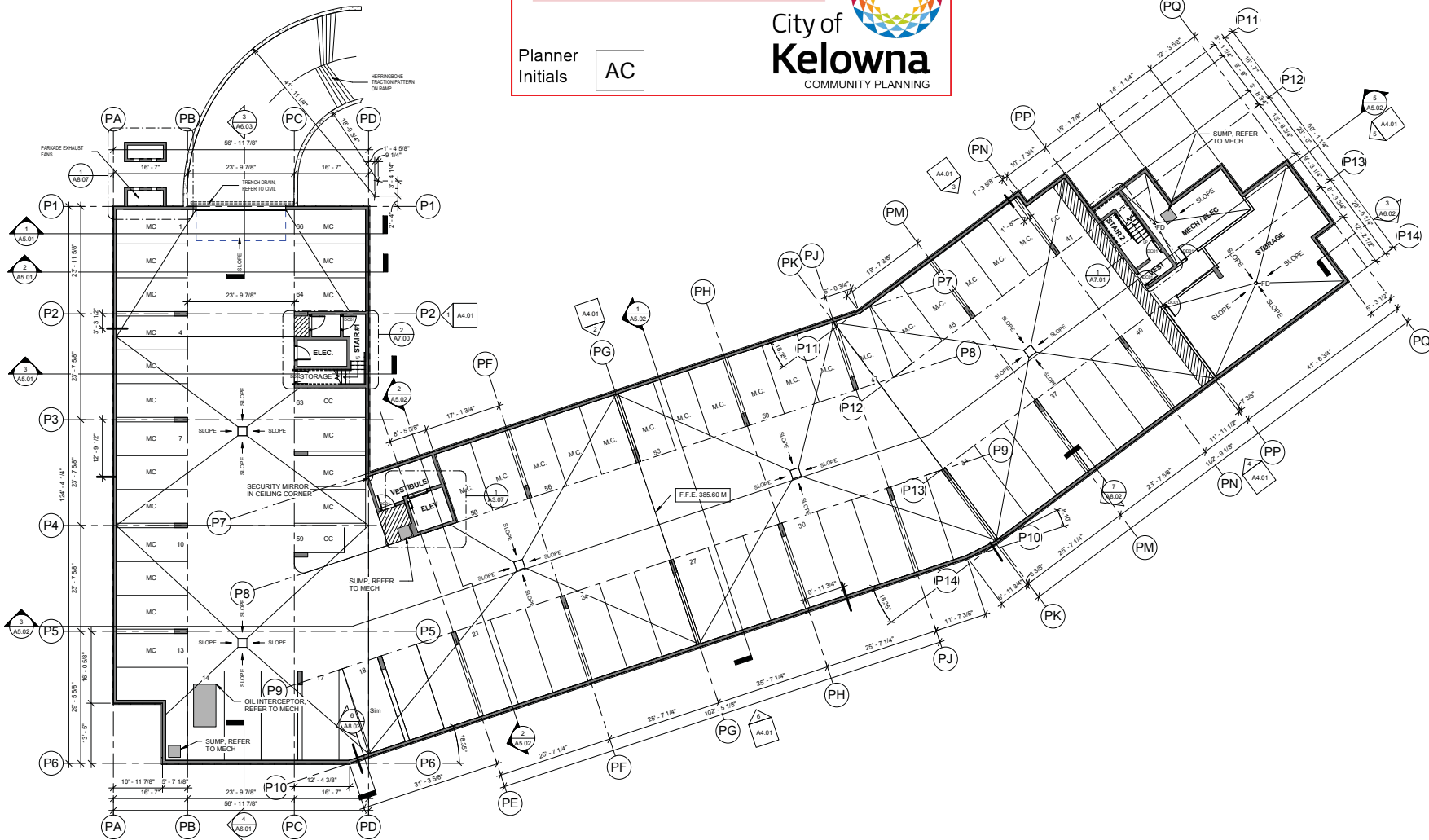
A0.02

print Aug 03, 2017

SCHEDULE A & B

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Planner Initials AC



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SEAL



Revisions		
1	17-01-08	70% PROGRESS
2	17-01-24	ISSUED FOR BP
3	17-02-16	95% PROGRESS
4	17-02-20	RE-ISSUED FOR BP
5	17-03-27	ISSUED FOR CONSTRUCTION
6	17-05-29	RE-ISSUED FOR CONSTRUCTION
7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

file no.

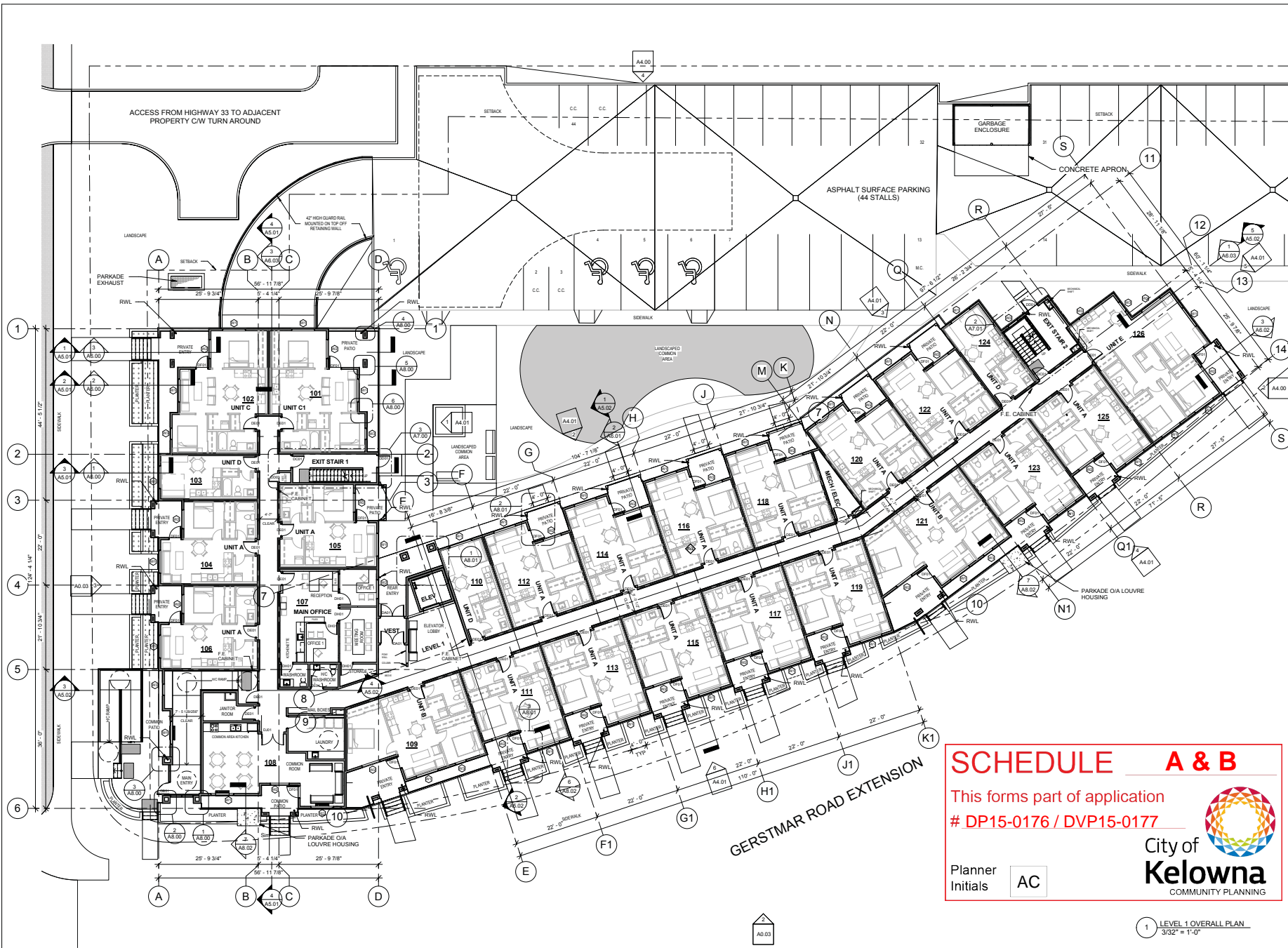
drawing title
**PARKADE
OVERALL PLAN**

designed R.Y. scale 3/32" = 1'-0"
drawn J.F./R.B.
checked R.Y.
drawing no.

A3.00

printed Aug 03, 2017

1 PARKADE OVERALL PLAN
3/32" = 1'-0"



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Revisions

1	17-01-06	70% PROGRESS
2	17-01-24	ISSUED FOR BP
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4	17-02-20	RE-ISSUED FOR BP
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8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELLOWNA, BC

project no. 1580

date

drawing title

LEVEL 1

OVERALL PLAN

designed R.Y.

scale 3/32" = 1'-0"

drawn J.F./R.B.

checked R.Y.

drawing no.

A3.01

print Aug 03, 2017

SCHEDULE A & B

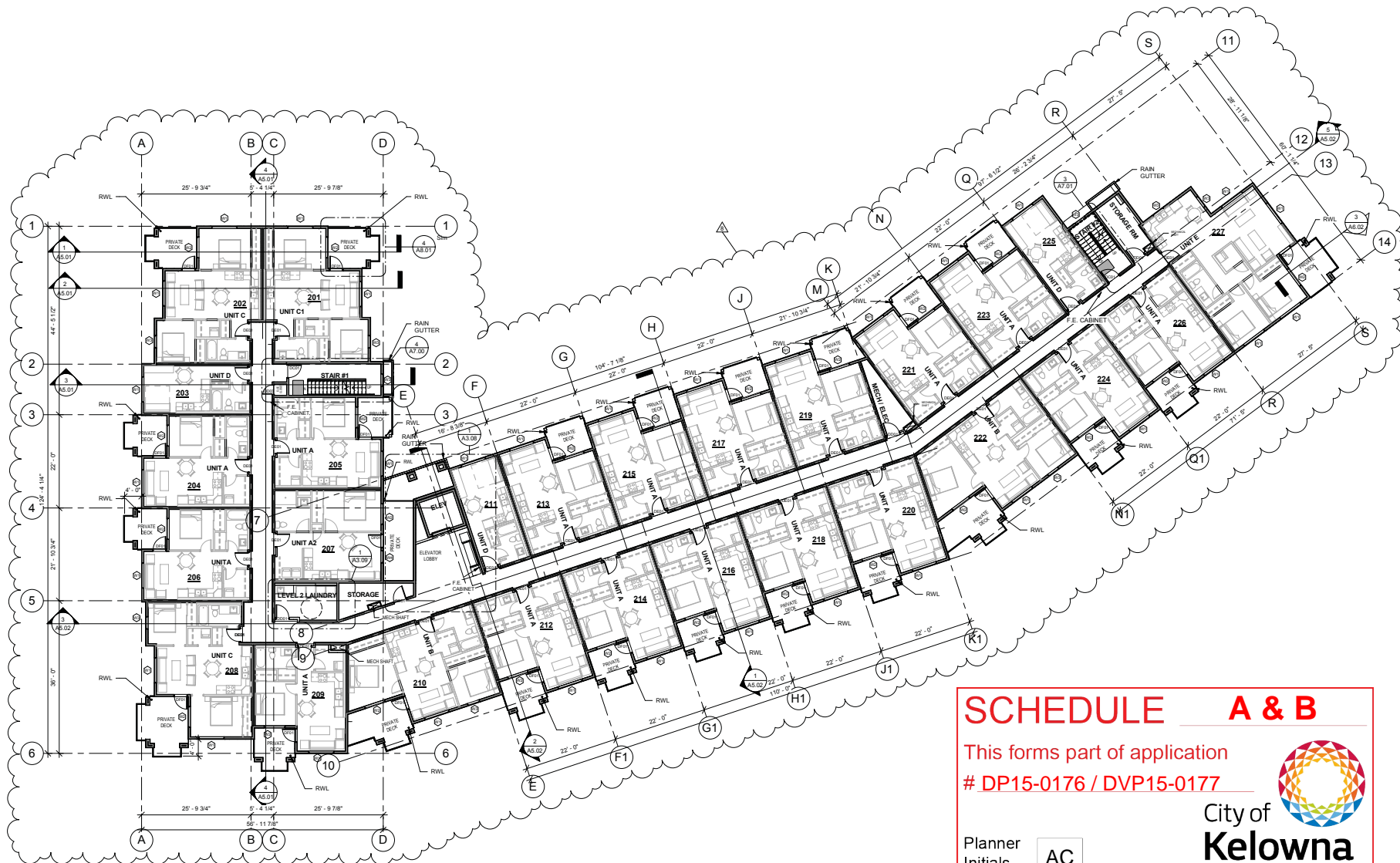
This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials AC

City of
Kelowna
COMMUNITY PLANNING



1 LEVEL 1 OVERALL PLAN
3/32" = 1'-0"



SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner Initials

AC

City of Kelowna
COMMUNITY PLANNING

1 LEVEL 2 OVERALL PLAN
3/32" = 1'-0"

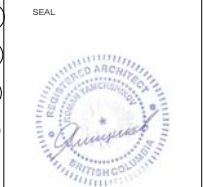
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7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELOWNA, BC

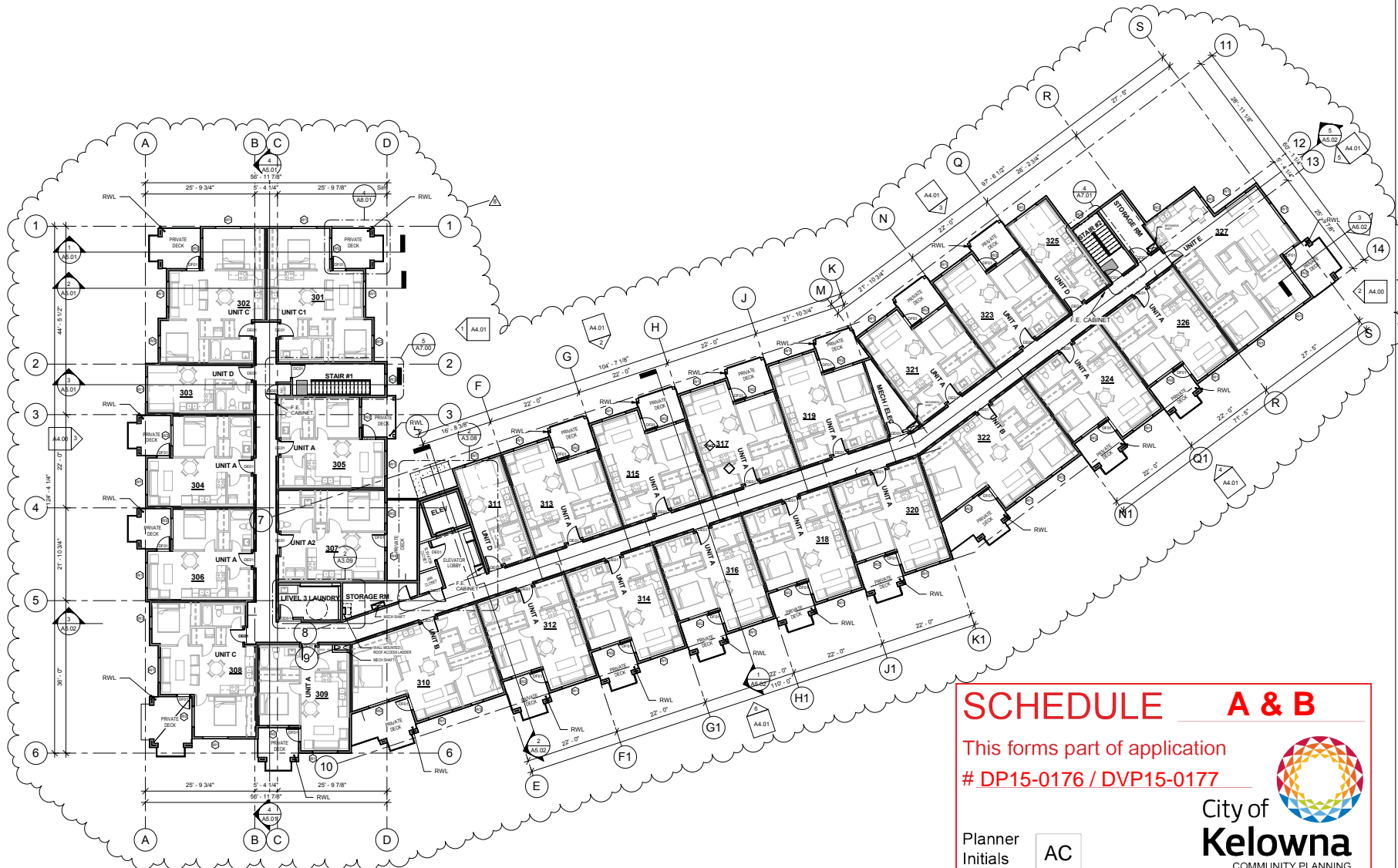
project no.
1580

date
1580

drawing title
LEVEL 2 OVERALL PLAN

designed: R.Y. / J.F. / R.B.
drawn: J.F. / R.B.
checked: R.Y.
drawing no.
A3.02
issued: Aug 03, 2017

A4.00



A4.00

SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner Initials

AC

City of Kelowna
COMMUNITY PLANNING

1 LEVEL 3 OVERALL PLAN
3/32" = 1'-0"

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8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELOWNA, BC

project no.
1580

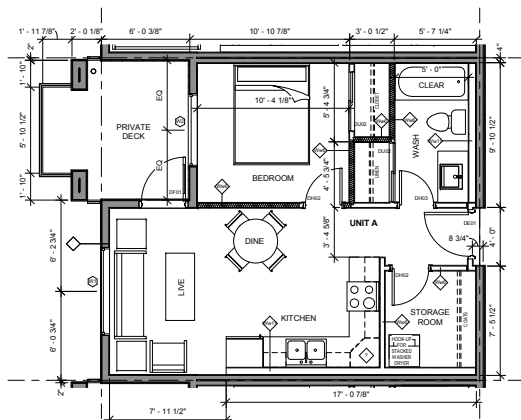
revision
1580

drawing title
LEVEL 3 OVERALL PLAN

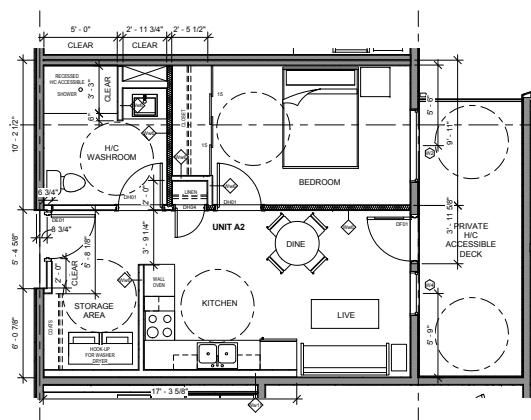
designed R.Y. / J.F. / R.B.
drawn J.F. / R.B.
checked R.Y.
drawing no.

A3.03

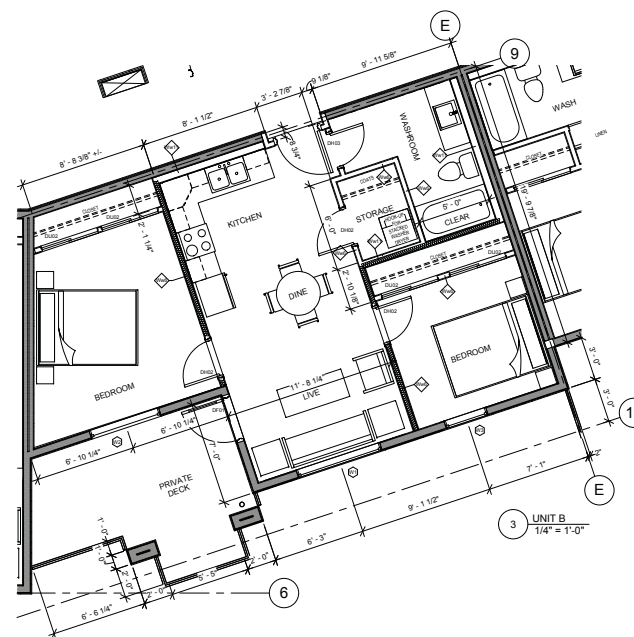
printed Aug 03, 2017



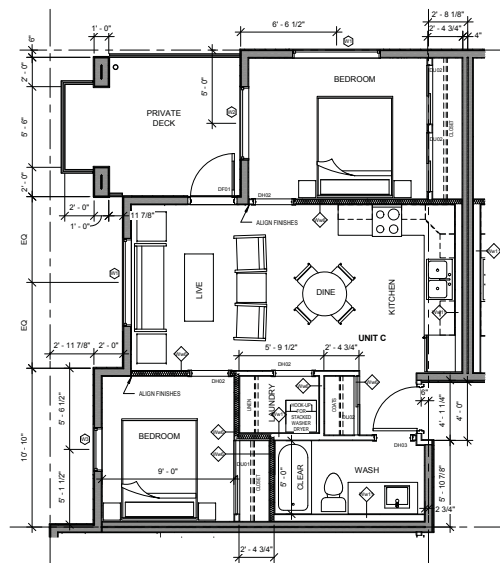
1 UNIT A
1/4" = 1'-0"



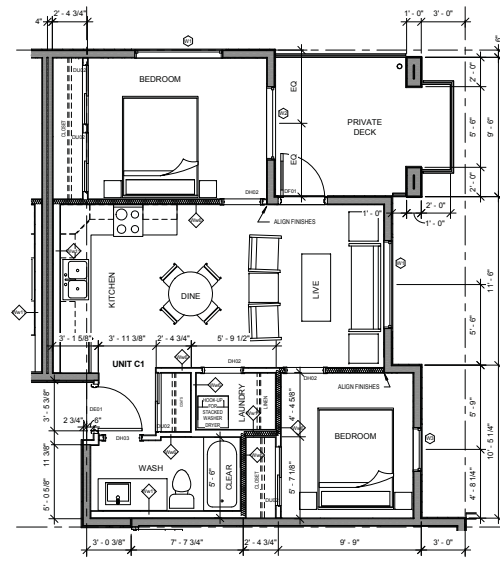
2 UNIT A2
1/4" = 1'-0"



3 UNIT B
1/4" = 1'-0"



4 UNIT C
1/4" = 1'-0"



5 UNIT C1
1/4" = 1'-0"

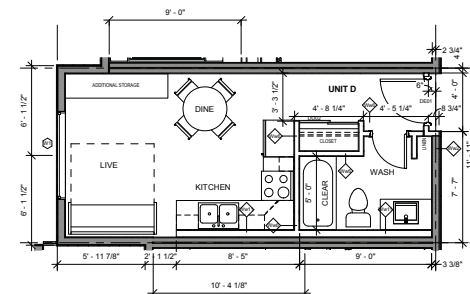
SCHEDULE A & B

This forms part of application
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Planner Initials

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COMMUNITY PLANNING



6 UNIT D
1/4" = 1'-0"

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8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
1170 HIGHWAY 33, KELLOWNA, BC

project no. 1580

date

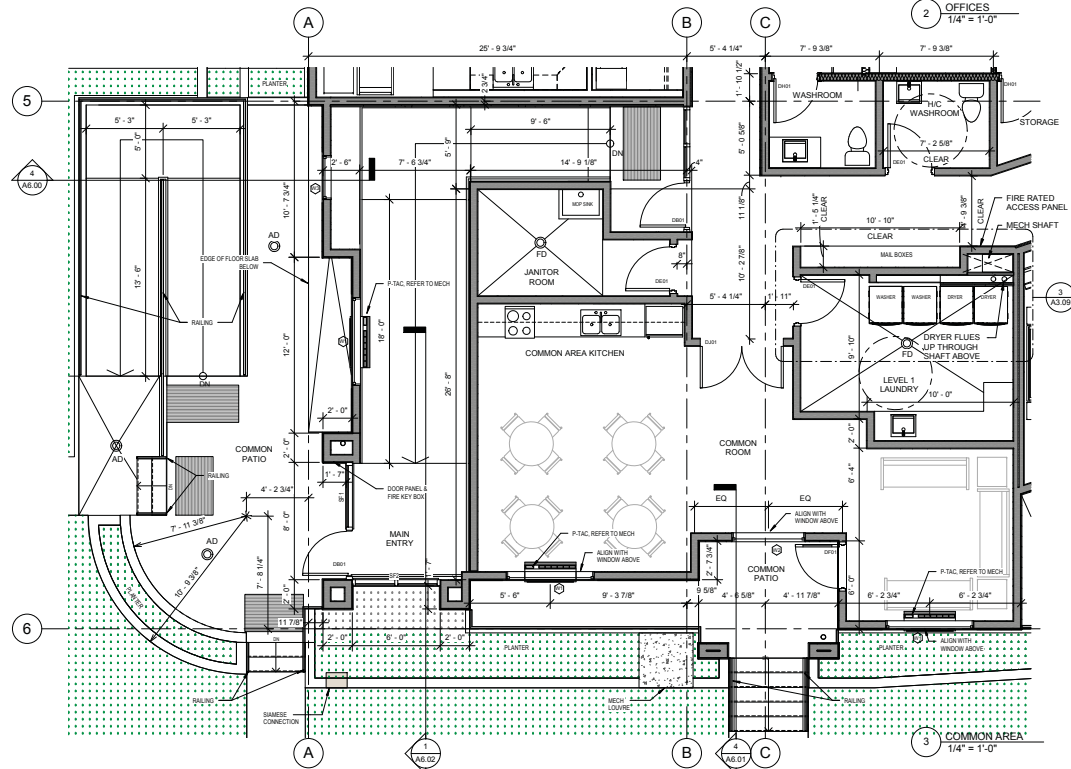
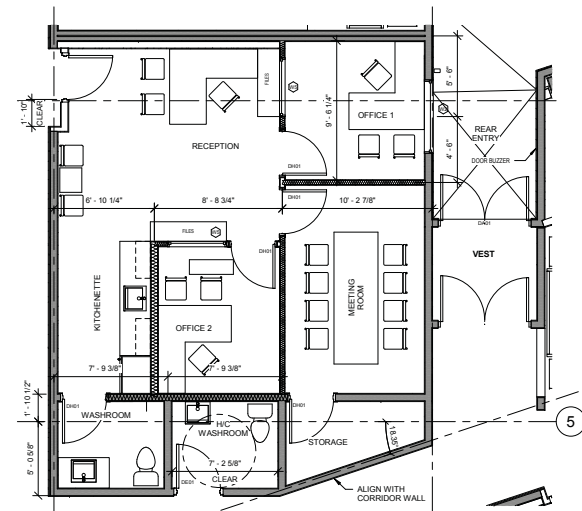
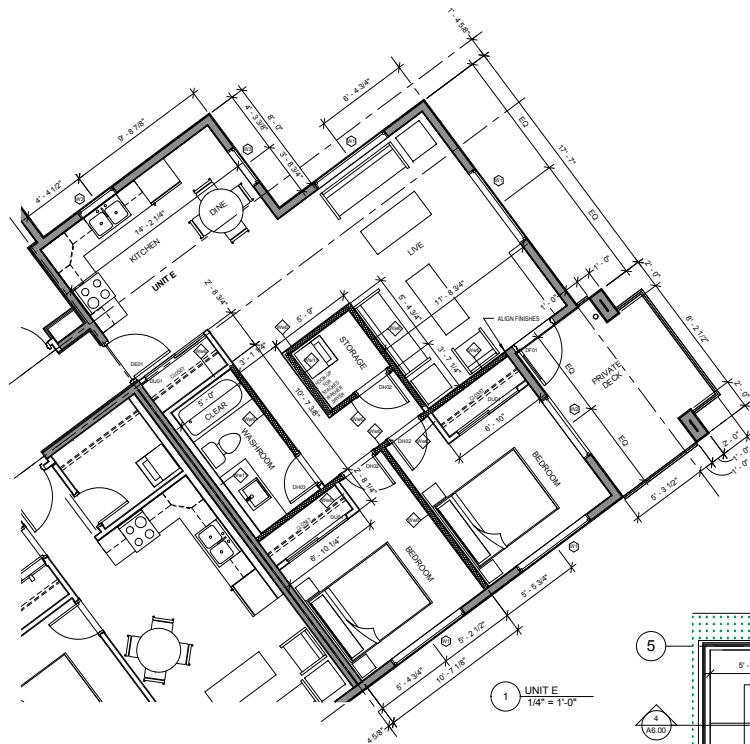
drawing title

UNIT PLANS

designed	R.Y.	scale	1/4" = 1'-0"
drawn	J.F./R.B.		
checked	R.Y.		
drawing no.			

A3.05

issued Aug 03, 2017



SCHEDULE A & B

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DP15-0176 / DVP15-0177

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project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

date

drawing title

UNIT AND COMMON ROOM PLANS

designed R.Y.

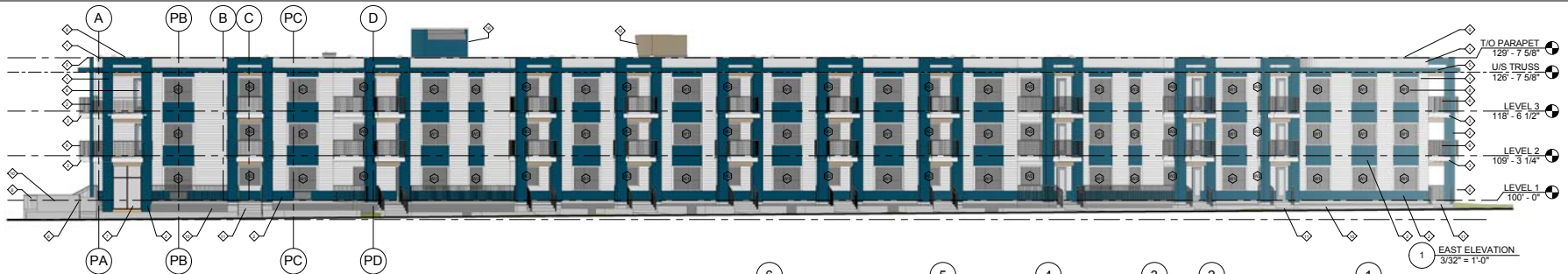
drawn J.F./R.B.

checked R.Y.

drawing no.

A3.06

issued Aug 03, 2017



EXTERIOR MATERIAL LEGEND

1. HORIZONTAL FIBER CEMENT LAPPED SIDING - OFF WHITE
2. FIBER CEMENT PANELS - BLUE / GREY
3. FIBER CEMENT PANELS - OFF WHITE
4. PREFINISHED METAL FLASHING - OFF WHITE
5. PREFINISHED METAL FLASHING - BLUE / GREY
6. PAINTED METAL GUARDRAILS - BLACK
7. ALUMINUM FRAMED WINDOW / DOORS - BLACK
8. PVC FRAMED WINDOWS / DOORS - WHITE
9. PREFINISHED METAL CAP FLASHING - OFF WHITE
10. CONCRETE PLANTERS
11. CONCRETE STAIRS
12. ROOF TOP UNIT
13. CONCRETE RAMP - TO PARKADE
14. PREFINISHED METAL O.H. DOOR - OFF WHITE
15. SIAMSE CONNECTION
16. ELEVATOR SHAFT
17. BEAM
18. RAIN GUTTER & RAIN WATER LEADER

EXTERIOR MATERIAL LEGEND

- HORIZONTAL LAPPED FIBER CEMENT SIDING
COLOUR: OFF WHITE
- FIBER CEMENT PANELS C/W CAULKED BUTT JOINTS
COLOUR: MEDIUM BLUE / GREY
- FIBER CEMENT PANELS C/W CAULKED BUTT JOINTS
COLOUR: MEDIUM BLUE / GREY
- ALUMINUM FRAMED STOREFRONT GLAZING / DOORS
COLOUR: BLACK
- VINYL FRAMED WINDOWS
COLOUR: WHITE
- PREFINISHED METAL FLASHING
COLOUR: MEDIUM BLUE / GREY
- PREFINISHED METAL FLASHING
COLOUR: OFF WHITE
- EXPOSED CONCRETE RETAINING WALLS / PATIOS
COLOUR: GREY



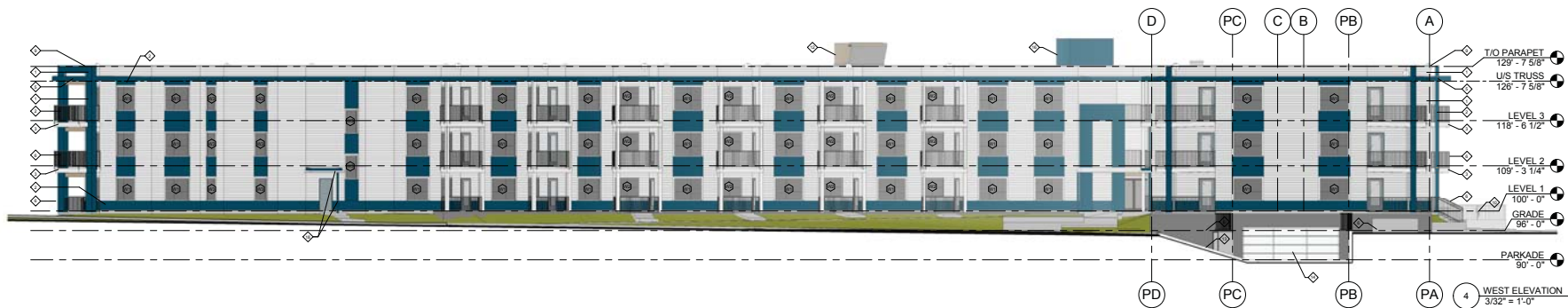
SCHEDULE A & B

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DP15-0176 / DVP15-0177



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials **AC**



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project title

OMAH'S - NISSEN CROSSING

project address

**1170 HIGHWAY 33,
KELOWNA, BC**

project no.

1580

revision

1580

drawing title

EXTERIOR ELEVATIONS

designed

R.Y.

drawn

J.F. / R.B.

checked

R.Y.

drawing no.

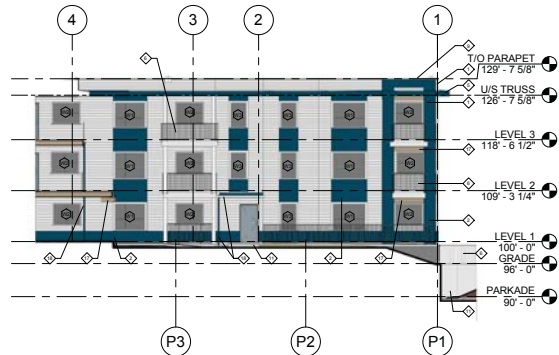
1580

A4.00

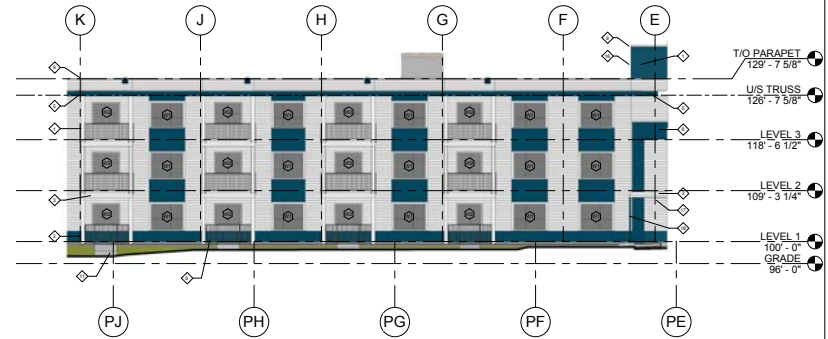
revised Aug 03, 2017

EXTERIOR MATERIAL LEGEND

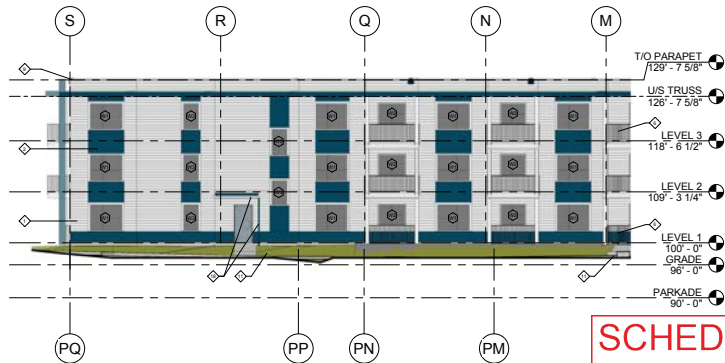
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3. FIBER CEMENT PANELS - OFF WHITE
4. PREFINISHED METAL FLASHING - OFF WHITE
5. PREFINISHED METAL FLASHING - BLUE / GREY
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13. CONCRETE RAMP - TO PARKADE
14. PREFINISHED METAL O.H. DOOR - OFF WHITE
15. SIAMESE CONNECTION
16. ELEVATOR SHAFT
17. BEAM
18. RAIN GUTTER & RAIN WATER LEADER



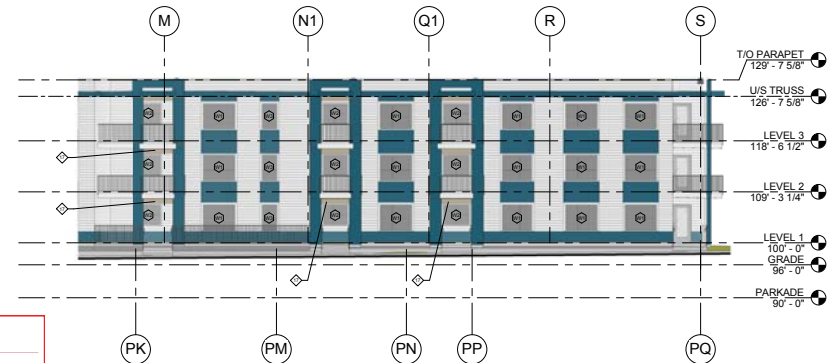
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3/32" = 1'-0"



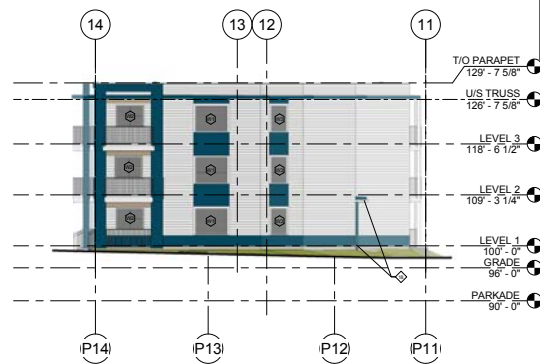
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3/32" = 1'-0"



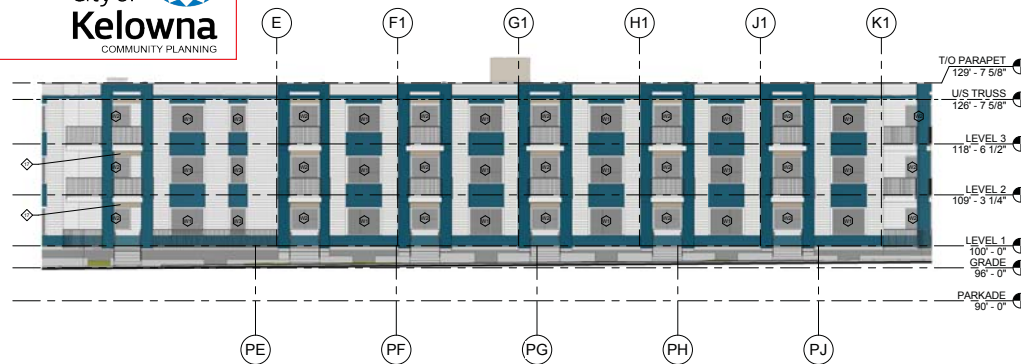
3 WEST ELEVATION @ EXIT STAIR 2
3/32" = 1'-0"



4 EAST ELEVATION @ NORTH END
3/32" = 1'-0"



5 NORTH ELEVATION @ EXIT STAIR 2
3/32" = 1'-0"



6 EAST ELEVATION @ MIDDLE SECTION
3/32" = 1'-0"

SCHEDULE A & B

This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials AC



City of
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7	17-06-26	RE-ISSUED FOR DP
8	17-07-11	RE-ISSUED FOR BP

project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1580

files

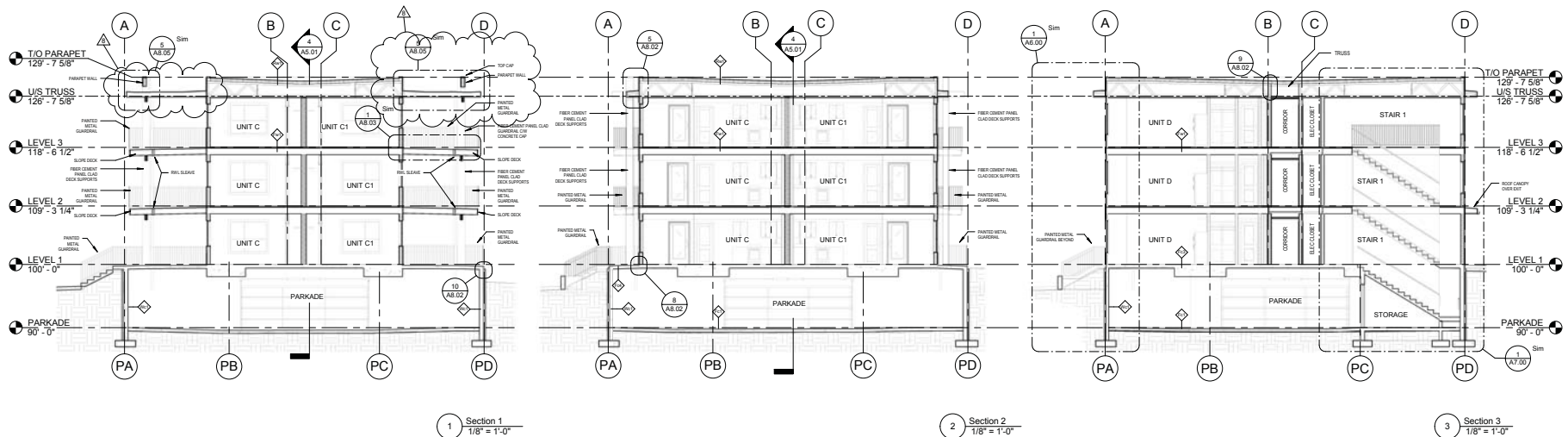
drawing title

**PERPENDICULAR
ELEVATIONS**

designed	R.Y.	scale	As Indicated
drawn			J.F. / R.B.
checked			R.Y.
drawing no.			

A4.01

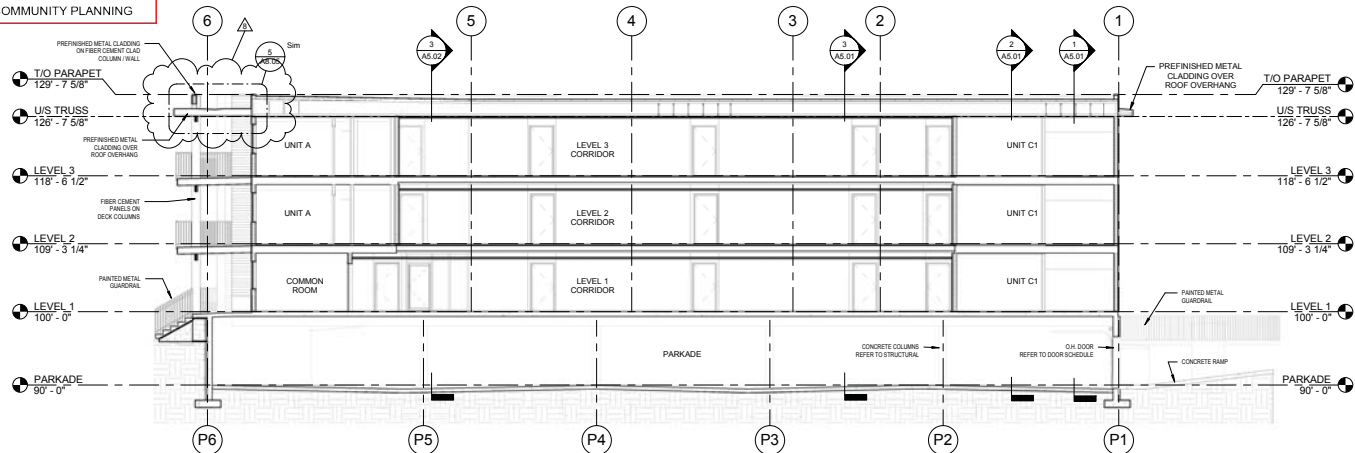
issued Aug 03, 2017



SCHEDULE A & B

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Planner
Initials AC



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project title
OMAH'S - NISSEN CROSSING

project address
**1170 HIGHWAY 33,
KELOWNA, BC**

project no. 1560

file no.

drawing title
BUILDING SECTIONS

designed	R.Y.	scale	1/8" = 1'-0"
drawn	J.F./R.B.		
checked	R.Y.		
drawing no.			

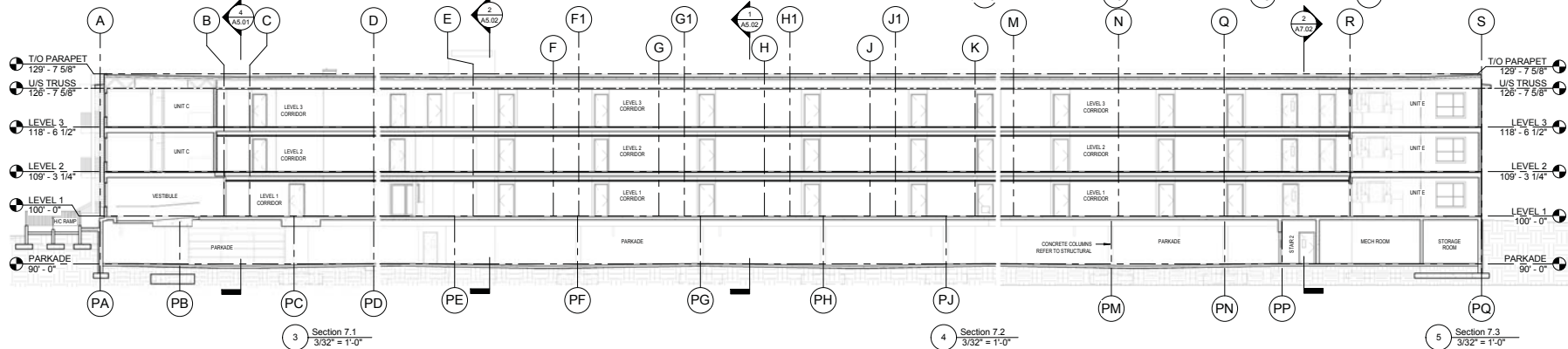
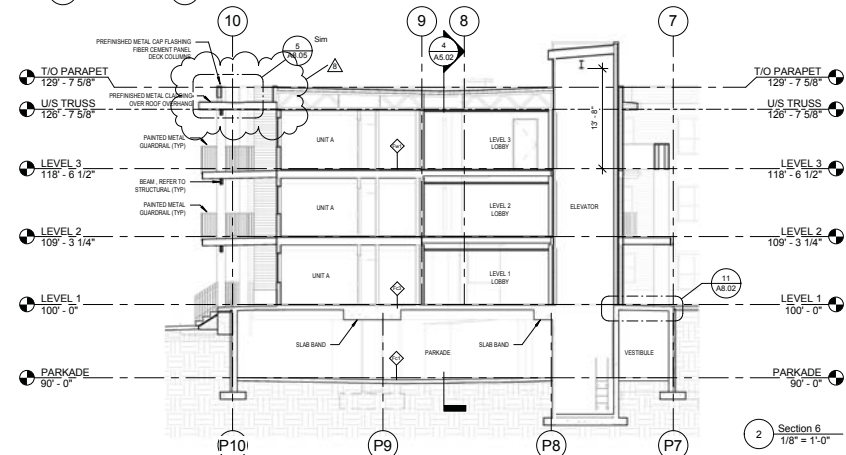
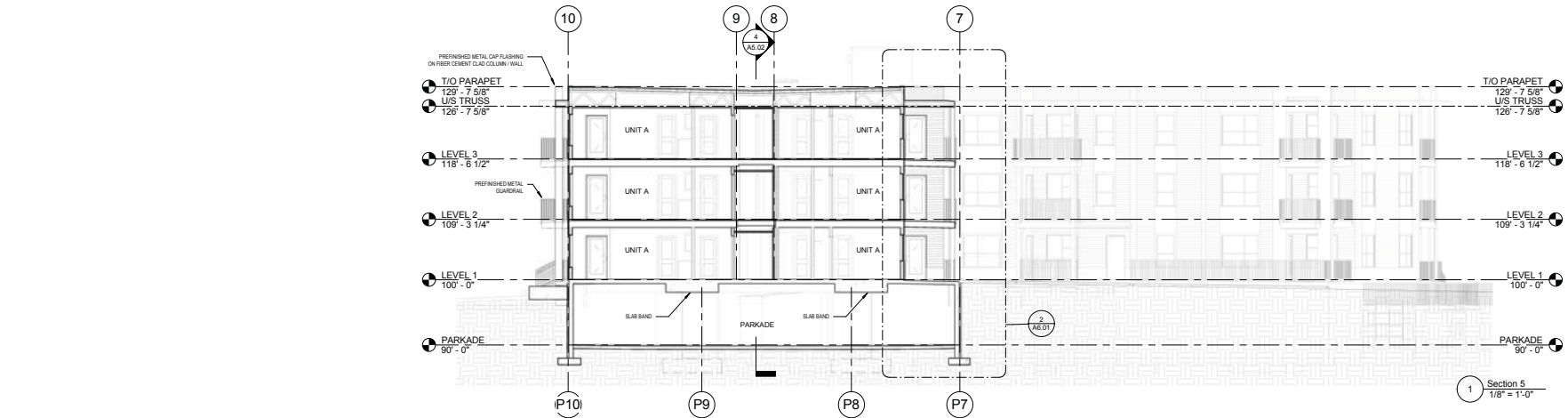
A5.01

printed Aug 03, 2017

SCHEDULE A & B

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Planner
Initials AC



4 Section 7.2
3/32" = 1'-0"

5 Section 7.3
3/32" = 1'-0"

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project title
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project address
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files

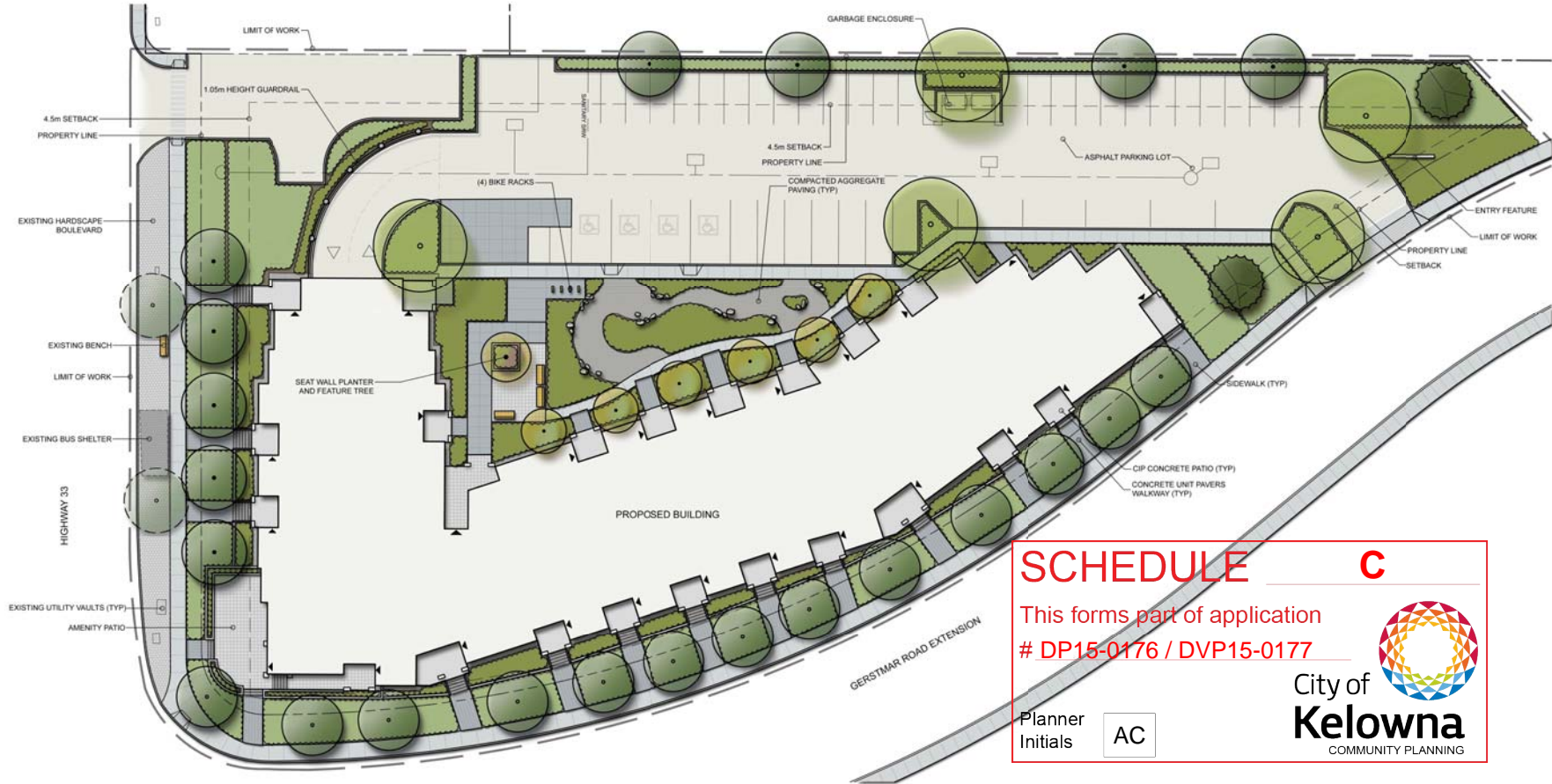
drawing title

BUILDING SECTIONS

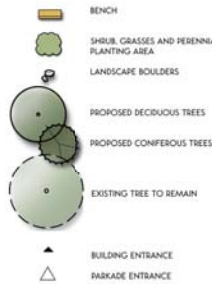
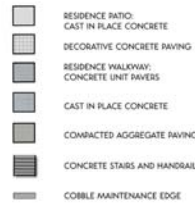
designed	checked	drawn	date

A5.02

printed Aug 03, 2017



LEGEND:



PLANT LIST:

TREES			
Botanical Name	Common Name	Root	
<i>Platanus x acerifolia</i>	London plane	B&B	
<i>Koeleria paniculata</i>	Goldenrain tree	B&B	
<i>Malus 'Spring Snow'</i>	Spring snow crab apple	B&B	
<i>Nyssa sylvatica</i>	Tupelo	B&B	
<i>Quercus alba</i>	White oak	B&B	
<i>Tilia cordata</i>	Greenspire Linden	B&B	
SHRUBS			
Botanical Name	Common Name	Root	
<i>Amelanchier canadensis</i> 'Coralia'	Standing Ovation serviceberry	Knicksnack	
<i>Arctostaphylos uva-ursi</i>	Pasture sage	Knicksnack	
<i>Artemisia frigida</i>	Black chrysanthemum	Knicksnack	
<i>Alnus incana</i>	Rose glow barberry	Knicksnack	
<i>Berberis thunbergii</i> 'Rose Glow'	Onion caryopsis	Knicksnack	
<i>Cornus stolonifera</i> 'Flavescens'	Yellow leaf dogwood	Knicksnack	
<i>Cornus sericea</i> 'Winter Beauty'	Winter heath	Knicksnack	
<i>Erica carnea</i>	Burning bush	Knicksnack	
<i>Eurythmus alatus</i> 'Compact'	Witch hazel	Knicksnack	
<i>Hamamelis x intermedia</i>	Waterford mock orange	Knicksnack	
<i>Philadelphus lewisii</i> 'Waterford'	Dwarf globe blue spruce	Knicksnack	
<i>Picea pungens</i> 'Globea'	Wood's rose	Knicksnack	
<i>Rosa woodii</i> 'Nimbleby'	Dwarf Arctic willow	Knicksnack	
<i>Salix purpurea</i> 'Nana'	Blue elderberry	Knicksnack	
<i>Sambucus racemosa</i>	Snowberry	Knicksnack	
<i>Symphoricarpos albus</i>	Hick's yew	Knicksnack	
<i>Taxus x media</i> 'Hicksii'			

PERENNIALS			
Botanical Name	Common Name	Root	
<i>Achillea Millefolium 'Gold Plate'</i>	Pagrus yarrow	Knicksnack	
<i>Achillea Millefolium 'Paprika'</i>	Gold plate yarrow	Knicksnack	
<i>Achillea millefolium</i>	Lady's mantle	Knicksnack	
<i>Anemone sylvatica</i>	Witchflower	Knicksnack	
<i>Bergenia ciliolata</i>	Heartleaf bergenia	Knicksnack	
<i>Echinacea purpurea</i> 'Magnus'	Purple coneflower	Knicksnack	
<i>Hebe x exoniensis</i>	Lenten rose	Knicksnack	
<i>Heuchera cylindrica</i>	Roundleaf alumroot	Knicksnack	
<i>Heuchera cylindrica</i>	Roundleaf alumroot	Knicksnack	
<i>Hydrangea arborescens</i>	Japanese spurge	Knicksnack	
<i>Hydrangea arborescens</i>	Dwarf hebe	Knicksnack	
<i>Hydrangea arborescens</i>	Solomon's seal	Knicksnack	
<i>Hydrangea arborescens</i>	Goldstern coneflower	Knicksnack	
<i>Hydrangea arborescens</i>	Autumn Fire sedum	Knicksnack	
GRASSES			
Botanical Name	Common Name	Root	
<i>Calamagrostis canadensis</i>	Korean feathery reed grass	Knicksnack	
<i>Deschampsia cespitosa</i>	Tufted hair grass	Knicksnack	
<i>Festuca elatior</i>	Slender fescue	Knicksnack	
<i>Koeleria macrantha</i>	Junegrass	Knicksnack	

DEVELOPMENT PERMIT NOTES:

- PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE B.C. LANDSCAPE STANDARDS, PUBLISHED BY B.C.L.N.A. AND B.C.S.L.A. AS WELL AS THE CITY OF KELOWNA LANDSCAPE STANDARDS BY BYLAW 790.
- THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM CITY OF KELOWNA FORM AND CHARACTER REQUIREMENTS.
- PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTION MAY VARY DEPENDING UPON AVAILABILITY AT THE TIME OF CONSTRUCTION.
- TREES SHALL BE INSTALLED IN DEFINED SOIL RITS OR PLANTING BED AREAS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION.
- ORNAMENTAL SHRUB, GRASS AND PERENNIAL CLUSTERS ARE TO BE PLACED WITHIN DEFINED PLANTING BEDS. ALL PLANTING BEDS SHALL HAVE A MIN. OF 450mm (18") IMPORTED GROWING MEDIUM AND 75mm (3") OF COMPOSTED MULCH OR APPROVED EQUAL.
- DECORATIVE ROCK AREAS SHALL HAVE A MIN. OF 75mm (3") OF DECORATIVE ROUND ROCK. LANDSCAPE FABRIC SHALL BE INSTALLED BELOW ALL DECORATIVE ROCK AREAS. LANDSCAPE FABRIC SHALL BE HEAVY 4540 OR APPROVED EQUAL.
- A HIGH EFFICIENCY IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL ORNAMENTAL, LANDSCAPE AREAS AND SHALL CONFORM TO THE CITY OF KELOWNA'S IRRIGATION STANDARDS BY BYLAW 7900.

SCHEDULE C
This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials AC

City of
Kelowna
COMMUNITY PLANNING



REVISIONS / ISSUES:

NO.	DATE	DESCRIPTION
7	MAY 2015	RE-ISSUED FOR DP APPLICATION
6	JULY 2015	RE-ISSUED FOR DP APPLICATION
5	JUNE 2015	RE-ISSUED FOR DP APPLICATION
4	APRIL 2015	RE-ISSUED FOR DP APPLICATION
3	APRIL 2015	RE-ISSUED FOR REVIEW
2	JULY 2014	RE-ISSUED FOR DP APPLICATION
1	JULY 2014	RE-ISSUED FOR REVIEW



CONSULTANT:

NEW TOWN SERVICES
KELOWNA, B.C.

CURATOR:

OKANAGAN METIS & ABORIGINAL HOUSING SOCIETY
KELOWNA, B.C.

PROJECT:
OMAH'S MULTI-FAMILY RESIDENTIAL BUILDING

KELOWNA, B.C.

SHEET TITLE:

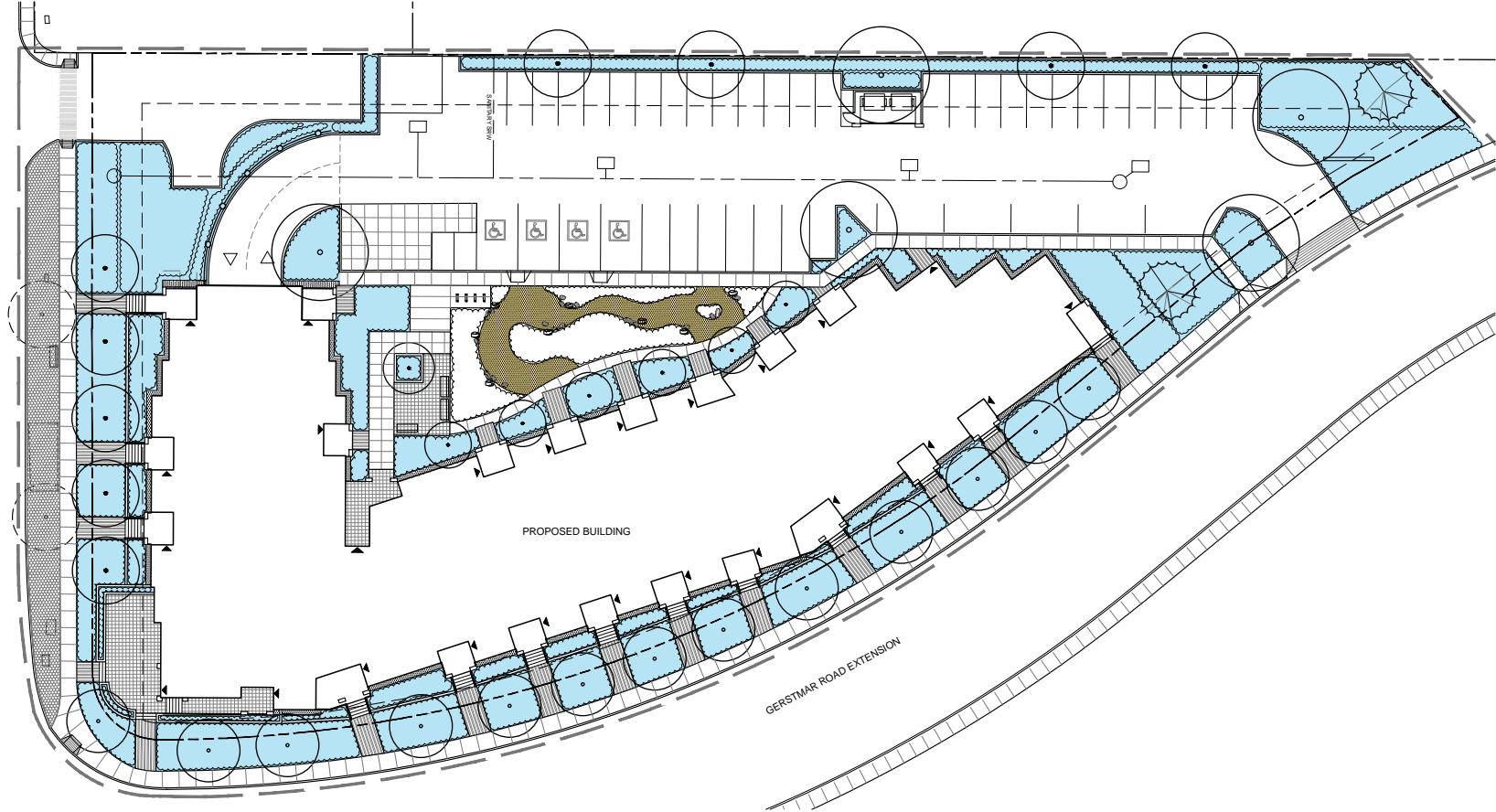
CONCEPT PLAN

DESIGN BY	500
DRAWN BY	500
CHECKED BY	406
PROJECT NO.	15-022
SCALE	1:200

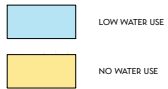
SHEET NO.

L-1

HIGHWAY 33



HYDROZONE LEGEND:



SCHEDULE C

This forms part of application
DP15-0176 / DVP15-0177

Planner
Initials

AC

**City of
Kelowna**
COMMUNITY PLANNING



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REVISIONS / ISSUES:		
NO.	DATE	DESCRIPTION
7	MAY 2015	RE-ISSUED FOR DP APPLICATION
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3	JULY 2015	ISSUED FOR REVIEW
2	JULY 2015	ISSUED FOR DP APPLICATION
1	JULY 2015	ISSUED FOR REVIEW



CONSULTANT:
NEW TOWN SERVICES
KELOWNA, B.C.

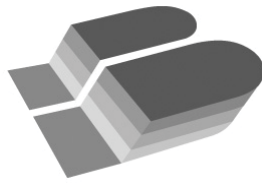
CLIENT:
OKANAGAN METIS & ABORIGINAL HOUSING SOCIETY
KELOWNA, B.C.

PROJECT:
OMAH'S MULTI-FAMILY RESIDENTIAL BUILDING
KELOWNA, B.C.

SHEET TITLE:
HYDROZONE PLAN

<small>DESIGN BY</small>	<small>SD</small>
<small>DRAWN BY</small>	<small>SD</small>
<small>CHECKED BY</small>	<small>JS</small>
<small>PROJECT NO.</small>	<small>15-022</small>
<small>SCALE</small>	<small>1:200</small>

SHEET NO.
L-2



May 26, 2017

City of Kelowna
1435 Water Street
Kelowna, B.C.
V1J 1J4

Attention: Community Planning & Real Estate Division

Project: Okanagan Metis and Aboriginal Housing Society Multi-Family Development - Development Permit Application

Please be advised that a landscape security bond of **\$116,220.10** will be required for the Okanagan Metis and Aboriginal Housing Society development project on Highway 33 in Rutland. This sum is equal to 125% of the estimated installed cost for all soft landscape. As per City of Kelowna requirements, the estimate includes trees, shrubs, grasses, perennials, topsoil, mulch, irrigation, and bicycle racks. Please see the attached Estimate of Probable Costs for Bonding for a detailed breakdown of these costs.

Should you require any additional information, please do not hesitate to contact me.

Sincerely,

Xenia Semeniuk, BCSLA, CSLA, LEED AP
Registered Landscape Architect

cc
Lisa Fraser, New Town Services

SCHEDULE	C		City of Kelowna <small>COMMUNITY PLANNING</small>	Planner Initials
				AC
This forms part of application # DP15-0176 / DVP15-0177				

OMAHS Multi Family Development

Estimate of Probable Costs for Bonding

Prepared on: June 7, 2016

ON SITE

Items Description	Units	Qty.	Price	Item Total
1.0 Plant Material				
1.1 Trees				
1.1.1 6cm Cal.: Deciduous Feature Tree	ea.	5	\$550.00	\$2,750.00
1.1.2 6cm Cal.: Deciduous Street Tree	ea.	18	\$550.00	\$9,900.00
1.1.3 4cm Cal.: Deciduous Columnar Tree	ea.	4	\$400.00	\$1,600.00
1.1.4 4cm Cal.: Deciduous Ornamental Tree	ea.	7	\$400.00	\$2,800.00
1.1.5 1.5m Ht: Coniferous Trees	ea.	2	\$500.00	\$1,000.00
			<i>Sub-Total</i>	<i>\$18,050.00</i>
1.2 Shrubs, Perennials, Ground Covers				
1.2.1 #5 Pot: Shrubs (1.8m O.C.)	ea.	234	\$45.00	\$10,543.63
1.2.2 #2 Pot: Grasses (1.2m O.C.)	ea.	264	\$20.00	\$5,271.35
1.2.3 #1 Pot: Perennials (0.9m O.C.)	ea.	468	\$15.00	\$7,026.60
			<i>Sub-Total</i>	<i>\$22,841.58</i>
			1.0 Total	\$40,891.58
2.0 Topsoil & Mulch				
2.1 Topsoil				
2.1.1 Shrub Bed Topsoil (300mm Depth)	m3	396	\$40.00	\$15,852.00
2.1.2 Tree Pit Topsoil (1000mm Depth)	m3	36	\$40.00	\$1,440.00
			<i>Sub-Total</i>	<i>\$17,292.00</i>
2.2 Mulch				
2.2.1 Shrub Bed Mulch (50mm Depth)	m3	66	\$50.00	\$3,302.50
2.2.2 Cobble Mulch (100mm Depth)	m3	15	\$65.00	\$975.00
			<i>Sub-Total</i>	<i>\$4,277.50</i>
			2.0 Total	\$21,569.50
3.0 Servicing				
3.1 Irrigation				
3.1.1 Sleeving	l.s.	1	\$2,500.00	\$2,500.00
3.1.2 Point of Connection - Electrical & Mechanical	l.s.	1	\$2,000.00	\$2,000.00
3.1.3 Control System	l.s.	1	\$3,000.00	\$3,000.00
3.1.4 Irrigation system (heads, pipes, valves)	m2	1,321	\$15.00	\$19,815.00
			<i>Sub-Total</i>	<i>\$27,315.00</i>
			3.0 Total	\$27,315.00
4.0 Site Construction				
4.1 Furnishings				
4.1.1 Bike Racks	ea.	4	\$800.00	\$3,200.00
			<i>Sub-Total</i>	<i>\$3,200.00</i>
			4.0 Total	\$3,200.00

Total	\$92,976.08
Security Total (125%)	\$116,220.10

SCHEDULE



City of Kelowna
COMMUNITY PLANNING

This forms part of application
DP15-0176 / DVP15-0177

AC

Planner Initials

CITY OF KELOWNA

BYLAW NO. 11512

Official Community Plan Amendment No. OCP17-0017 1083-1089 KLO Road

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of Lot 2, District Lot 135, ODYD, Plan 25466 except Plan 38538 located on KLO Road, Kelowna, B.C., from the MRM – Multiple Residential (Medium Density) designation to the MXR – Mixed Use (Residential / Commercial) designation.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 20th day of November, 2017.

Considered at a Public Hearing on the 5th day of December, 2017.

Read a second and third time by the Municipal Council this 5th day of December, 2017.

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11513
TA17-0011 – C4 – Urban Centre Commercial

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT **Section 14 – Commercial Zones, 14.4 C4 – Urban Centre Commercial, 14.4.5 Development Regulations, sub-paragraph (a) Floor area ratio: 2. (iii)** be amended by adding the words "within a structure parkade" after the words "Where all parking spaces are located".
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 20th day of November, 2017.

Considered at a Public Hearing on the 5th day of December, 2017.

Read a second and third time by the Municipal Council this 5th day of December, 2017.

Approved under the Transportation Act this 18th day of January, 2018.

Audrie Henry
(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11514
Z17-0069 – 1083-1089 KLO Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 12, District Lot 135, ODYD, Plan 25466 except Plan 38538 located on KLO Road, Kelowna, B.C., from the RM3 – Low Density Multiple Housing zone to the C4 – Urban Centre Commercial Zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 20th day of November, 2017.

Considered at a Public Hearing on the 5th day of December, 2017.

Read a second and third time by the Municipal Council this 5th day of December, 2017.

Adopted by the Municipal Council this

Mayor

City Clerk

REPORT TO COUNCIL



Date: February 20, 2018

RIM No. 0940-00 & 0940-50

To: City Manager

From: Community Planning Department (AC)

Application: DP17-0169 / DVP17-0170 **Owner:** Sole on KLO Developments Ltd

Address: 1083-1089 KLO Rd **Applicant:** Kevin Edgecombe

Subject: Development Permit & Development Variance Permit Application

OCP Designation: MXR – Mixed Use (Residential/Commercial)

Zoning: C4 – Urban Centre Commercial

1.0 Recommendation

THAT final adoption of Rezoning Bylaw No. 11514 (Z17-0069), OCP Amending Bylaw No. 11512 (OCP17-0017), & Text Amendment Bylaw No. 11513 (TA17-0011) be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP17-0169 for Lot 2, District Lot 135, ODYD, Plan 25466 except Plan 38538, located at 1083-1089 KLO Rd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;
5. The applicant be required to pay the cash-in-lieu of parking;
6. The applicant sign a contract (to the satisfaction of the City) that ensures a car-share program will be provided for the project.

AND THAT Council authorize the issuance of Development Variance Permit DVP17-0170 for Lot 2, District Lot 135, ODYD, Plan 25466 except Plan 38538, located at 1083-1089 KLO Rd, Kelowna, BC;

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A, B, & C":

Section 14.4.5 (c) Development Regulations

To vary the maximum height from 15.0m / 4storeys to 17.2m / 5 storeys.

Section 14.4.5 (e) Development Regulations

To vary the western side yard setback from 2.0 metres to 1.6 metres.

Section 14.4.5 (f) Development Regulations

To vary the rear yard setback from 6.0 metres to 0.3 metres.

Section 14.4.5 (b) Development Regulations

To vary the maximum site coverage from 75% to 76.1%.

Section 8.1.11 (a) Size and Ratio

To vary the minimum drive aisle width for the parkade from 7.0 metres to 6.7 metres.

Section 8.1.11 (b) Size and Ratio

To vary the ratio of vehicular parking stalls sizes from: min 50% Full size, max 40% medium size, & max 10% compact size to 46.6% Full size, 33.3% medium size, & 20% compact size.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit applications in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To review the Form & Character Development Permit of a five storey building with four floors of residential and one commercial ground floor unit and to consider six associated variances.

3.0 Community Planning

3.1 Development Permit

Staff are recommending support for the proposed Development Permit due to the proposal's consistency with the Official Community Plan's (OCP) urban design guidelines. The applicant has worked with City staff to review and refine many site issues including refinements to the building form and massing. The parkade has been redesigned a number of times to maximize the number of vehicle stalls provided. The front elevation along KLO Road has also been redesigned a number of times to improve visual quality and character. Specific improvements included: the addition of windows & balconies to residential units, additional windows to the elevator shaft along the front facade, and the additional of a trellis patio feature above the commercial unit.

The site is well suited for redevelopment and intensification. The property is within the South Pandosy Urban Centre with close proximity to many shops, services and urban amenities. The applicant is proposing to pay cash-in-lieu of providing the minimum number of required parking stalls. At \$7,500 per stall in the South Pandosy Area and a shortfall of 16 stalls this leads to a total \$120,000 payment to the parking reserve fund. The parking relaxation becomes less of a concern when considering the subject property's specific location immediately across the road from Okanagan College combined with the applicant's desire to cater the units to student residences. Providing additional parking on-site is not realistic with the current design without adding a second storey of structured parking or reducing the residential unit count. To further help mitigate the reduction in parking, the applicant is proposing to participate in a car-share program.

3.2 Development Variance Permit

There are six variances proposed:

1. A variance to increase the permitted height by 2.2m and 1 storey;
 - a. Staff have supported many height variances to 5 and 6 storeys in the C4 zone and feel that these structures are appropriate when located within urban centres. Council also directed Staff through the Housing Strategy to allow for 5 and 6 storey structures within Urban Centres but Staff have not yet been able to amend to bylaw.
2. A variance to reduce the western side yard setback by 0.4 m;
3. A variance to reduce the southern rear yard setback by 5.7 m;
 - a. Both setback variances would not be necessary if the adjacent parcel was zoned commercial or mixed use. The neighbouring residential parcel has a surface parking lot adjacent to the proposed setbacks. The purpose of setbacks is to adequately separate buildings from each other. The purpose is not to setback buildings from adjacent surface parking lots.
4. A variance to increase the maximum site coverage by 1.1%;
 - a. The applicant redesigned the parking lot in order to maximize the number of parking stalls provided onsite but revised parking configuration contributed to adding 13.6 m² over the allowable footprint.
5. A variance to amend the ratio of parking stalls by decreasing the full size vehicle ratio by 4.4% and by increasing the compact stall vehicle size by 10%;
6. A variance to decrease the drive aisle width by 0.3m.
 - a. In order to maximize the number of parking stalls within the constraints of the site's dimensions, an increase in the number of compact vehicle stall size, a decrease in the number of full sized vehicle stalls, and a minor decrease in the drive aisle widths was necessary.

3.3 Public Notification

As per Council Policy 367 regarding public notification, the applicant held a public open house on October 3rd 2017.

4.0 **Proposal**

4.1 Project Description

The application is to construct a 5 storey building with four floors of residential and one ground floor commercial unit. The residential unit mixture includes 24 bachelor units, 12 one-bedroom units, 3 two-bedroom units, and 1 three-bedroom unit. The total number of parking stalls provided are 30 stalls plus one loading stall. This will include a car co-op sharing program in order to take advantage of the FAR bonuses.

4.2 Site Context

The subject property is: located in the South Pandosy Urban Centre along KLO road, connected to urban services, and located within the Permanent Growth Boundary.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	P2 - Education & Minor Institutional	Okanagan College
East	RM5 – Medium Density Multiple Housing	Residential
South	RM5 – Medium Density Multiple Housing	Residential
West	RM5 – Medium Density Multiple Housing	Residential

Subject Property Map: 1083-1089 KLO Rd

4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	C4 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Height	15.0 m / 4.0 storeys	17.2 m / 5 storeys ①
Front Yard (north)	0.0 m	3.6 m
Side Yard (east)	0.0 m	0.0 m
Side Yard (west)	2.0 m	1.6 m ②
Rear Yard (south)	6.0 m	0.3 m ③
Site coverage of buildings	75 %	76.1 % ④

Zoning Analysis Table		
CRITERIA	C4 ZONE REQUIREMENTS	PROPOSAL
FAR	Base Far: 1.3 + Parking within Bldg bonus: 0.2 <u>+ car co-op program: 0.84</u> = 2.34	1.75
Parking Regulations		
Minimum Parking Requirements	<u>40 Res + 6 visitor + 1 Comm</u> = 46 parking stalls	<u>28 in parkade + 1 co-op + 1 Comm</u> = 30 parking stalls ★
Minimum Loading Spaces	1 spaces	1 spaces
Ratio of Parking Stalls	Full size: 50% Min Medium Size: 40% Max Small Size: 10% Max	Full size: 46.6% (14 stalls) Medium Size: 33.3% (10 stalls) Small Size: 20% (6 stalls) ⑤
Minimum Drive Aisle Width	7.0 m	6.7 m ⑥
Other Regulations		
Minimum Bicycle Parking Requirements	Class 1: 21 bikes Class 2: 5 bikes	Class 1: 21 bikes Class 2: 5 bikes
Private Open Space	392.5 m ²	487 m ²
① A variance to increase the permitted height by 2.2m and 1 storey; ② A variance to reduce the western side yard setback by 0.4 m; ③ A variance to reduce the southern rear yard setback by 5.7 m; ④ A variance to increase the maximum site coverage by 1.1%; ⑤ A variance to amend the ratio of parking stalls by decreasing the full size vehicle ratio by 4.4% and by increasing the compact stall vehicle size by 10%; & ⑥ A variance to decrease the drive aisle width by 0.3m. ★ Developer not asking for variance and will pay cash-in-lieu of providing parking.		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Compact Urban Form.¹ Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Contain urban growth.² Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

Mixed Use.³ Integration of residential uses into commercial developments as mixed-use projects is encouraged in Urban Centres, provided that the ground floor use remains commercial.

¹ City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

² City of Kelowna Official Community Plan, (Chapter 1 Introduction).

³ City of Kelowna Official Community Plan, (Chapter 4 Future Land Use).

Housing Mix.⁴ Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.

Building Height⁵:

- **Other Urban Centres:** Locate taller buildings in the geographic centre of Urban Centres and generally decrease height moving away from the centre, to a maximum of 4 storeys at the periphery of the Urban Centres, where adjoining land is designated for single/two unit housing.
- **South Pandosy:** Generally, 4 storeys. Six storeys within C4 or C9 zoned areas. Potential for 8 storeys where an architecturally distinct and significant buildings is placed at a corner, gateway or view terminus location that is of significance to the community or where a building is of cultural significance to the community.
- **Rutland:** Generally, 4 storeys. Six storeys within C4 or C9 zoned areas. Potential for up to 44 m height (12-14 storeys) in the core of Rutland, as identified in the C7 zone of the Zoning Bylaw.
- **Midtown:** 16 storeys, where the OCP designation provides for high-density multiple-units.
- **Capri/Landmark:** Generally, 4 storeys. Greater height (up to 12 storeys) may be supported on the Capri Shopping Centre site and in the area bordered by Dickson Avenue, Dayton Avenue, Springfield Road and Kirschner Road upon approval of a Council-endorsed comprehensive development plan for the site that provides for a variety of housing types (including but not limited to ground-oriented and rental apartment housing) and the provision of commercial space that is of an amount that, at minimum, equals that which existed in 2010.
- **Elsewhere:** For all areas of the City outside the Urban Centres, buildings heights shall be a maximum of four storeys for residential and six storeys for apartment hotels and hotels. Additional height restrictions may be imposed as a result of airport-related zoning regulations.

Objective 5.5: Ensure appropriate and context sensitive built form.

Building Height.⁶ In determining appropriate building height, the City will take into account such factors as:

- Contextual fit into the surrounding neighbourhood;
- Shadowing of the public realm;
- View impacts;
- Overlook and privacy impact on neighbouring buildings;
- Impacts on the overall skyline;
- Impacts on adjacent or nearby heritage structures;

⁴ City of Kelowna Official Community Plan, Policy 5.27.11 (Development Process Chapter)

⁵ City of Kelowna Official Community Plan, Policy 5.8.1 (Development Process Chapter)

⁶ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter). 3 City of Kelowna Official Community Plan, Chapter 14 (Urban Design Development Permits Area).

Chapter 14: Urban Design Guidelines Amenities, ancillary Services and Utilities.⁵

- Locate loading, garbage, storage, utilities and other ancillary services away from public view. All such areas shall be screened and designed as an integral part of the building to minimize impact;
- Create attractive rear alley facades with high quality materials on buildings facing residential areas (e.g. rear building entrances, windows, balconies, plazas, and plantings).

Chapter 4: Land Use Designation Massing and Height.³

- Mitigate the actual and perceived bulk of buildings by utilizing appropriate massing, including:
- Architectural elements (e.g. balconies, bay windows, cantilevered floors, cupolas, dormers);
- Visually-interesting rooflines (e.g. variations in cornice lines and roof slopes);
- Step back upper floors to reduce visual impact;
- Detailing that creates a rhythm and visual interest along the line of the building;
- Wall projections and indentations, windows and siding treatments as well as varied material textures should be utilized to create visual interest and to articulate building facades;
- Building frontages that vary architectural treatment in regular intervals in order to maintain diverse and aesthetically appealing streets.

6.0 Technical Comments

6.1 Building & Permitting Department

No comment on rezoning.

6.2 Development Engineering Department

See attached memorandum dated August 17th 2017.

6.3 Fire Department

No comment on rezoning.

7.0 Application Chronology

Date of Application Received:	July 20 th 2017
Date Public Consultation Completed:	Oct 3 rd 2017
Date of 1 st revision Submitted:	Oct 3 rd 2017
Date of 2 nd revision Submitted:	Jan 19 th 2018

Report prepared by:	Adam Cseke, Planner Specialist
Reviewed by:	Terry Barton, Urban Planning Manager
Approved for Inclusion:	Ryan Smith, Community Planning Department Manager

Attachments:

1. DP17-0169 / DVP17-0170

Development Permit & Development Variance Permit DP17-0169 & DVP17-0170



This permit relates to land in the City of Kelowna municipally known as

1083-1089 KLO Rd

and legally known as

Lot 2, District Lot 135, ODYD, Plan 25466 except Plan 38538

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

Section 14.4.5 (c) Development Regulations

To vary the maximum height from 15.0m / 4storeys to 17.2m / 5 storeys.

Section 14.4.5 (d) Development Regulations

To vary the western side yard setback from 2.0 metres to 1.6 metres.

Section 14.4.5 (f) Development Regulations

To vary the rear yard setback from 6.0 metres to 0.3 metres.

Section 14.4.5 (b) Development Regulations

To vary the maximum site coverage from 75% to 76.1%.

Section 8.1.11 (a) Size and Ratio

To vary the minimum drive aisle width for the parkade from 7.0 metres to 6.7 metres.

Section 8.1.11 (b) Size and Ratio

To vary the ratio of vehicular parking stalls sizes from: min 50% Full size, max 40% medium size, & max 10% compact size to 46.6% Full size, 33.3% medium size, & 20% compact size.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: February 20th 2017

Decision By: CITY COUNCIL

Issued Date: **DATE**

Development Permit Area: Comprehensive Development Permit Area

File Manager: AC

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: C4 – Urban Centre Commercial

Future Land Use Designation: MXR – Mixed Use (Residential/Commercial)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Sole on KLO Developments Ltd
Address: 2275 KLO RD
City: Kelowna, BC
Phone: n/a

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of n/a
- OR
- b) An Irrevocable Letter of Credit in the amount of n/a

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

Design Variances – Sole on KLO

1083 KLO Road, Kelowna, BC

Sole on KLO has been designed to optimize a small footprint within a relatively tight site. Through design progression and discussions with the City of Kelowna Planning Department it is recognized that this project will require rezoning and variances to be achieved. The following variances are based on the rezoning of this property to a C4 – Urban Centre Commercial zone.

1. FAR Rationale

The FAR for the C4 zone is 1.3 for mixed use developments with a total maximum FAR of 2.35 thorough bonusing. Sole on KLO has been designed with an FAR of 1.75 requiring bonus density of 0.45. To achieve the bonus density this project proposes utilizing the following bonuses:

- a. Parking below building (maximum 0.2 bonus). This project has a total of 30 parking stalls all of which are below the building footprint. This project seeks a bonus density of 0.2
- b. Car co-op / sharing (maximum 0.84 bonus). The zoning bylaw lists a bonus applicable to the South Pandosy zone for projects which have parking below grade and a car co-op program. While this project does not place the parking below grade, it does recognize the importance of car sharing in an urban context and provides a parking stall for car share which is accessible to residents and the general public at the front of the building. In acknowledgement of the car share parking, this project is seeking a lesser FAR bonus of 0.25.

2. Site Dimensions

The site and width for this project are 32.3m wide by 41.1m deep. While the total area of the site exceeds the requirement for a C4 zoned property the zoning requirements list a minimum width of 40m and depth of 30m and for this property they are reversed. 1083 KLO is surrounded to the south and west by a larger multi-building development and is essentially a leftover lot which has a greater depth than width. Sole on KLO is seeking a variance to allow the width of 32.3m acknowledging that the total site area exceeds the minimum requirement.

3. Site Coverage

The zoning for a C4 site allows for building coverage of 75%. This project has a total site coverage of 76.1% based on the revised parking configuration; an increase of 13.6m² from the allowable footprint.

4. Building Height

Sole on KLO is designed as a 5 storey, 17.6m high building. Under C4 zoning the maximum height is 4 storeys, 15m. To provide the efficiency required to fit this building on site, the project has stacked a four storey residential project on the top of a single level parkade. Due to the tight site and the low elevation of the site it was determined that parking at grade was the prudent design solution rather than below grade. To mitigate the visual impact to the street frontage the building is designed with the main entrance and a commercial unit shielding the parking area.

5. Rear Yard Setback

The rear yard setback requirement for this site is 6.0m as the adjacent property is residential RM5. This project is seeking a reduction of the setback to 0.3m.

6. Parking Count

C4 zoning has a parking requirement based on the following:

- 1 Space per Dwelling Unit x 40 units = 40 stalls
- 1 Visitor Space per 7 Units x 40 units = 5.7 stalls
- Commercial 1.75 per 100m² GFA x 62.2m² = 1.1 stalls

This requires a total of 47 parking stalls per zoning. The proposed design is seeking a variance to have a total of 30 parking stalls with 1 stall being designated for commercial use and 1 stall being car share. The reduction of the parking is in acknowledgement that this project is within an urban setting where occupants capable of living car free. The location is well serviced by bus routes, bicycle routes and is in close proximity to a full service commercial district. The site has also provided for a car share parking stall to encourage the use of shared infrastructure.

7. Parking size ratio

The parking proposed with this project consists of 30 stalls with 1 accessible stall, 13 full size stalls, 10 medium stalls and 6 small stalls. The ratio of stalls of each size by the parking bylaw is 50% full size, 40% medium size and 10% compact size. Currently the project ratio is 46.6% full size (+ accessible), 33.3% medium size and 20% small size.

8. Loading Bays

The parking bylaw does not list a requirement for residential and the requirement for commercial is one stall per 1,900 m² GFA. This project has a total of 62.2 m² of commercial area or 3.3% of the allowable area for 1 loading space. 1 Loading Space is provided at the front of the building

9. Drive Aisle Width

This project drive aisles are 6.7m. The current allowable width in the City of Kelowna is 7.0m. Based on discussions with planning staff a reduced width of 6.7m is being sought to fit this building configuration.

ATTACHMENT A. B.

This forms part of application

DP17-0169 / DVP17-0170

City of
Kelowna
COMMUNITY PLANNING

PROJECT STATISTICS

ADDRESS

1083 KLO ROAD, KELOWNA, BC
LOT 2 DL 135 ODYD PLAN 25466

ZONING

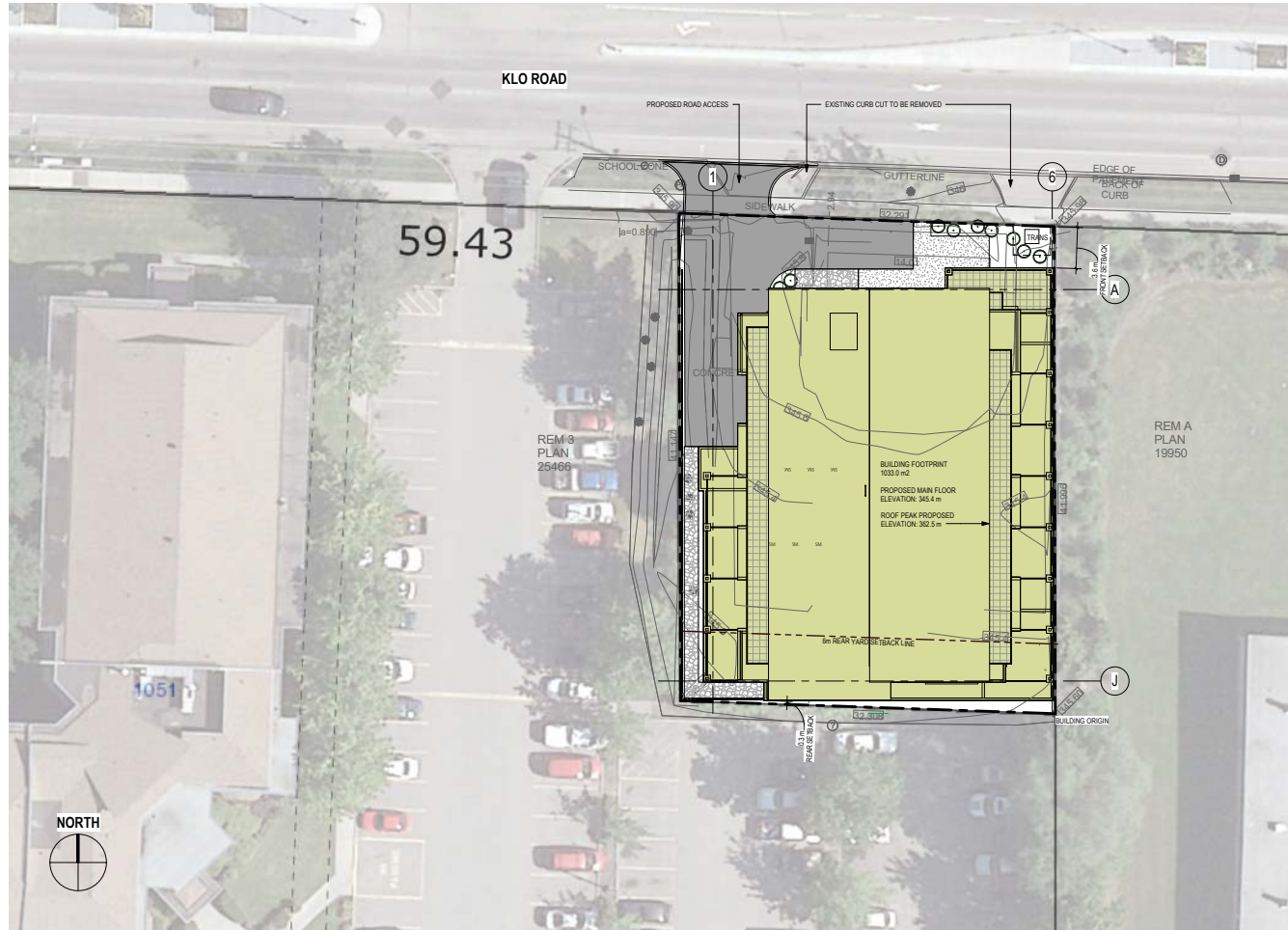
RM2 LOW DENSITY MULTIPLE HOUSING

PROPOSED REZONING - C4

PROPOSED USE: MIXED USE DEVELOPMENT (RESIDENTIAL AND COMMERCIAL)

Planner
Initials AC

ITEM	REQUIRED	PROVIDED	ITEM	REQUIRED	PROVIDED
1. SITE DETAILS			3. BUILDING SETBACKS		
SITE AREA (m2)	1300	1367.4 m2	FRONT YARD (NORTH)	0.0 m	1.8 m
SITE WIDTH (m)	40.0	12.3	SIDE YARD (EAST)	0.0 m	0.5 m
SITE DEPTH (m)	30.0	41.1	SIDE YARD (WEST)	2.0 m (RMS Zone)	1.8 m
BUILDING SITE COVERAGE	75% (MAX)	78.1%	REAR YARD (SOUTH)	0.0 m (RMS Zone)	0.3 m
TOTAL SITE COVERAGE		80.5%	4. PARKING		
2. DEVELOPMENT REGULATIONS			TOTAL PARKING	47	50
TOTAL DWELLING UNITS		40 RES, 1 CRU	TOTAL LOADING SPACES	1	1
3 BEDROOM UNITS	1	1	FRONT YARD (NORTH)		1.8 m
2 BEDROOM UNITS	1	1	SIDE YARD (EAST)		0.5 m
1 BEDROOM UNITS	12	12	SIDE YARD (WEST)		1.8 m
BACHELOR UNITS	24	24	REAR YARD (SOUTH)		0.3 m
FLOOR AREA (GROSS)		4113.8 m2	DRIVE ASBL. WIDTH		6.7 m
FLOOR AREA (NET)		2287 m2	5. BICYCLE PARKING		
FLOOR SPACE RATIO	1:3.32 (BONUS DEPENDENT)	1:35	TOTAL BICYCLE PARKING (CLASS II)	21	21
HEIGHT	4 STOREYS / 15.0 m (MAX)	15.0 STOREYS / 17.7 m	TOTAL BICYCLE PARKING (CLASS II)	0	0
			6. PRIVATE OPEN SPACE AREA		
			PRIVATE OPEN SPACE AREA	192.5 m2	147 m2



FAR AREA SCHEDULE			
Floor	Name	FAR Type	Area
MAIN FLOOR	PARKAGE	EXCLUDED	193.1 m ²
	LOBBY/CIRCULATION	EXCLUDED	40.81 m ²
	SERVICE	EXCLUDED	8.4 m ²
	GARAGE	EXCLUDED	21.4 m ²
	BIKE/SCOOTER	EXCLUDED	44.8 m ²
	CIRCULATION	EXCLUDED	12.8 m ²
MAIN FLOOR	SERVICE	EXCLUDED	8.6 m ²
	PARKING COVERED	EXCLUDED	36.1 m ²
SECOND FLOOR	CIRCULATION	EXCLUDED	116.4 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	7.8 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	17.7 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	18.2 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	19.2 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	39.9 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	18.1 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	17.3 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	19.2 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	15.7 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	20.9 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	17.2 m ²
THIRD FLOOR	PRIVATE OUTDOOR AREA	EXCLUDED	12.8 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	20.4 m ²
	CIRCULATION	EXCLUDED	107.0 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	7.0 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	8.9 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	8.4 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	8.0 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	8.8 m ²
	CIRCULATION	EXCLUDED	107.0 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	87.5 m ²
	PRIVATE OUTDOOR AREA	EXCLUDED	82.4 m ²
	EXCLUDED		1955.8 m ²
MAIN FLOOR	COMMERCIAL	NET AREA	62.2 m ²
	NET AREA		62.2 m ²
SECOND FLOOR	SUITES	NET AREA	307.7 m ²
	NET AREA		307.7 m ²
THIRD FLOOR	SUITES	NET AREA	307.6 m ²
	NET AREA		307.6 m ²
FOURTH FLOOR	SUITES	NET AREA	307.6 m ²
	NET AREA		307.6 m ²
FIFTH FLOOR	SUITES	NET AREA	221.6 m ²
	NET AREA		221.6 m ²
Grand total			4172.8 m ²

UNIT LIST		
ROOM	NO.	NAME
Not Placed		
202	UNIT B	Not Placed
302	UNIT B	Not Placed
305	UNIT B	Not Placed
402	UNIT B	Not Placed
506	UNIT A	Not Placed
507	UNIT B	Not Placed
MAIN FLOOR		
101	LOBBY	12.5 m ²
102	VEST	4.3 m ²
103	COMMERCIAL	52.6 m ²
104	WC	3.5 m ²
105	ELECTRICAL	5.6 m ²
106	WATER ENTRY	3.6 m ²
107	GARAGE / BICYCLE	18.5 m ²
108	BICYCLE / SCOOTER	46.4 m ²
EL-1	ELEVATOR	4.4 m ²
SECOND FLOOR		
201	UNIT B3	64.9 m ²
203	UNIT C	83.1 m ²
204	UNIT A2	58.5 m ²
205	UNIT B	56.2 m ²
206	UNIT A	37.4 m ²
207	UNIT B4	53.9 m ²
208	UNIT B	56.2 m ²
209	UNIT A	37.4 m ²
210	UNIT B2	39.7 m ²
211	UNIT A	37.2 m ²
213	UNIT B	38.7 m ²
305	UNIT B	45.1 m ²
THIRD FLOOR		
301	UNIT B3	65.2 m ²
303	UNIT A2	63.2 m ²
304	UNIT B	56.6 m ²
306	UNIT B	46.3 m ²
307	UNIT B4	54.5 m ²
308	UNIT A	37.4 m ²
309	UNIT A	37.4 m ²
310	UNIT B2	46.2 m ²
311	UNIT A	45.4 m ²
312	UNIT B	46.3 m ²
313	UNIT B	46.7 m ²
308	UNIT B	46.3 m ²
FOURTH FLOOR		
401	UNIT B3	65.2 m ²
403	UNIT C	83.2 m ²
404	UNIT A2	58.6 m ²
405	UNIT B4	54.5 m ²
406	UNIT A	37.4 m ²
407	UNIT A	37.4 m ²
408	UNIT A	37.4 m ²
409	UNIT B	46.3 m ²
410	UNIT B2	46.2 m ²
411	UNIT B	46.7 m ²
412	UNIT B	46.3 m ²
413	UNIT A	37.4 m ²
FIFTH FLOOR		
501	UNIT P10	108.1 m ²
502	UNIT P12	98.9 m ²
503	UNIT P11	101.1 m ²
504	UNIT P14	98.3 m ²

MQN
ARCHITECTSSUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

SITE PLAN

SOLE ON KLO

1083 KLO ROAD, KELOWNA, BC - LOT 2 DL 135 ODYD PLAN 25466

DRAWING: A-01

PROJECT: 17116
DATE: 2018/01/18
SCALE: 1/16" = 1'-0"

ATTACHMENT A, B.

This forms part of application
DP17-0169 / DVP17-0170



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials

1
AC

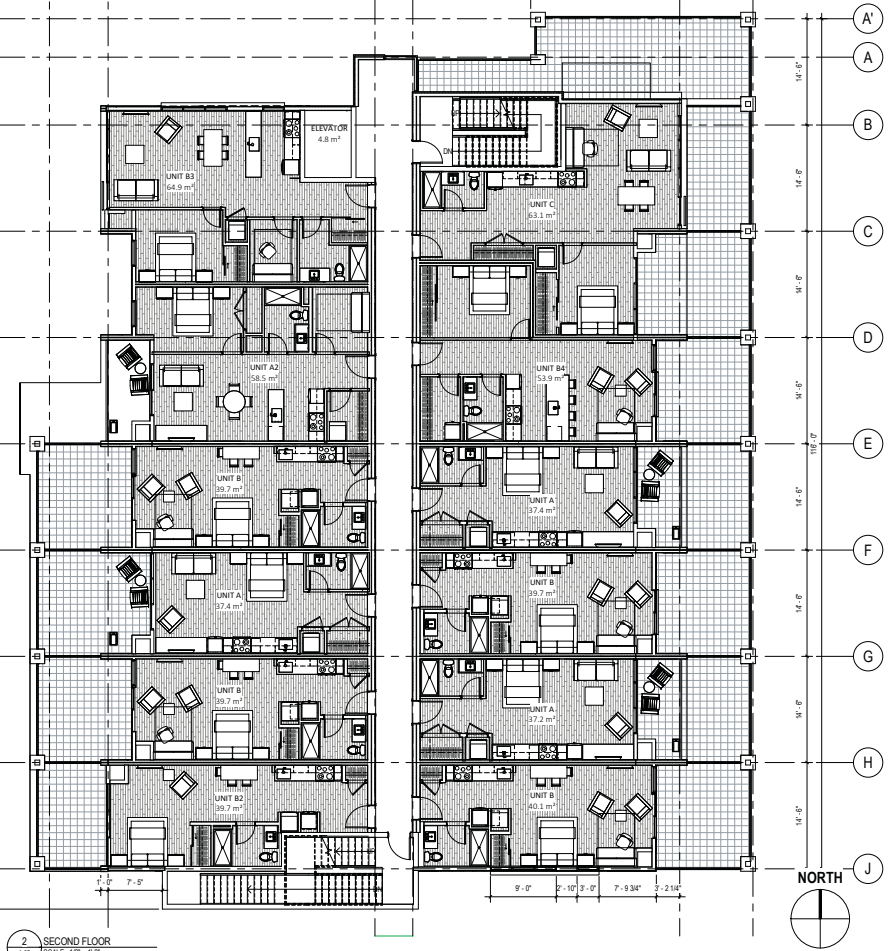
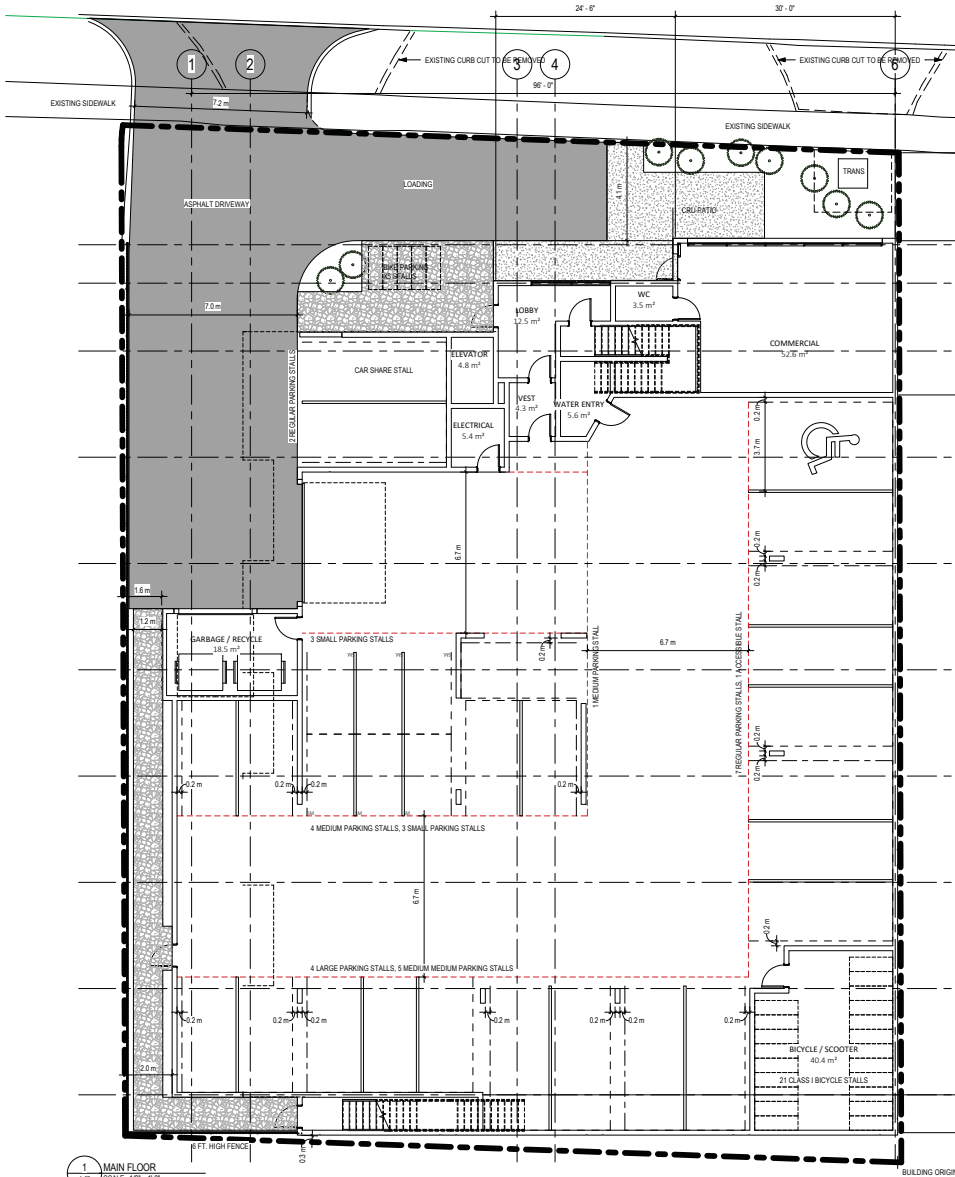
2

3

4

5

6



MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

PRELIMINARY PLANS

SOLE ON KLO

1083 KLO ROAD, KELOWNA, BC - LOT 2 DL 135 ODYD PLAN 25466

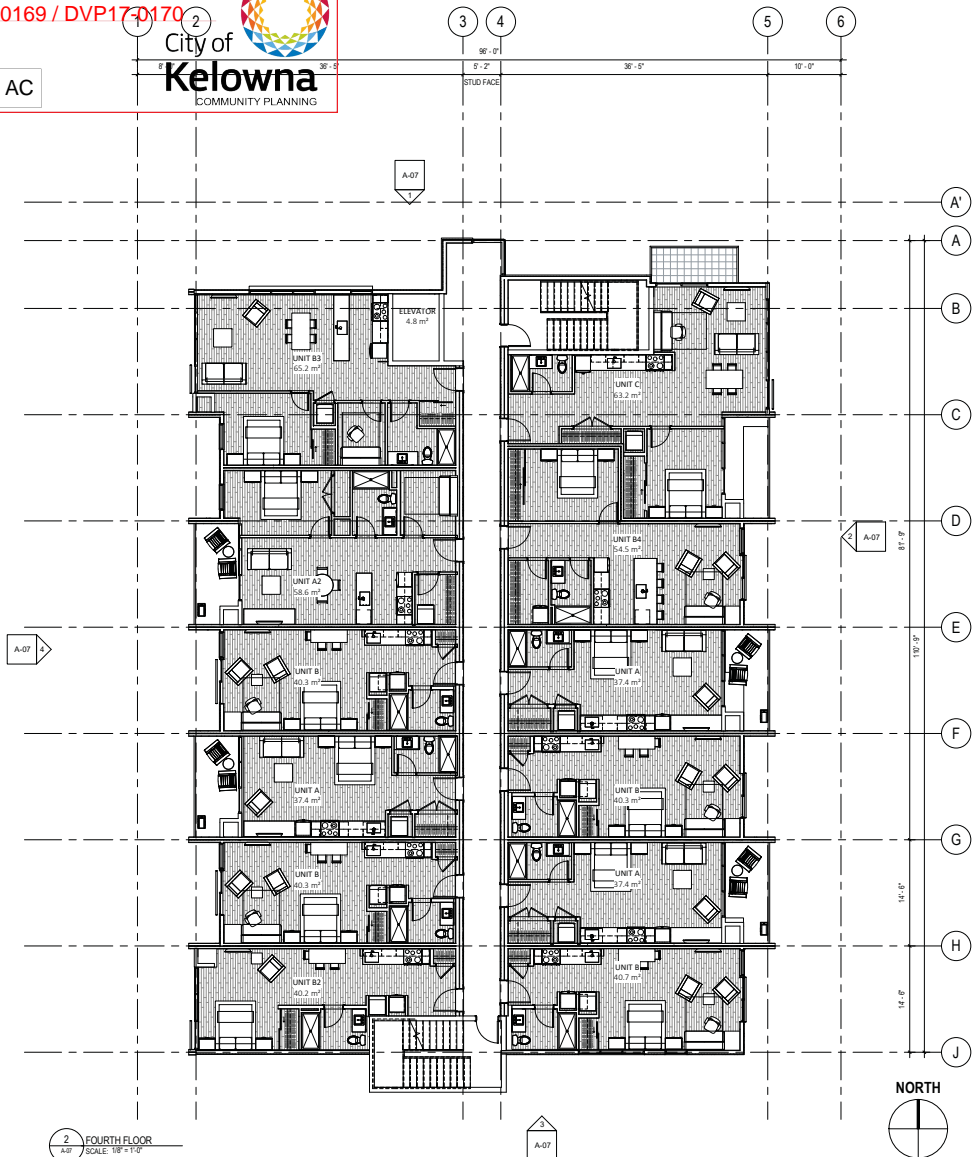
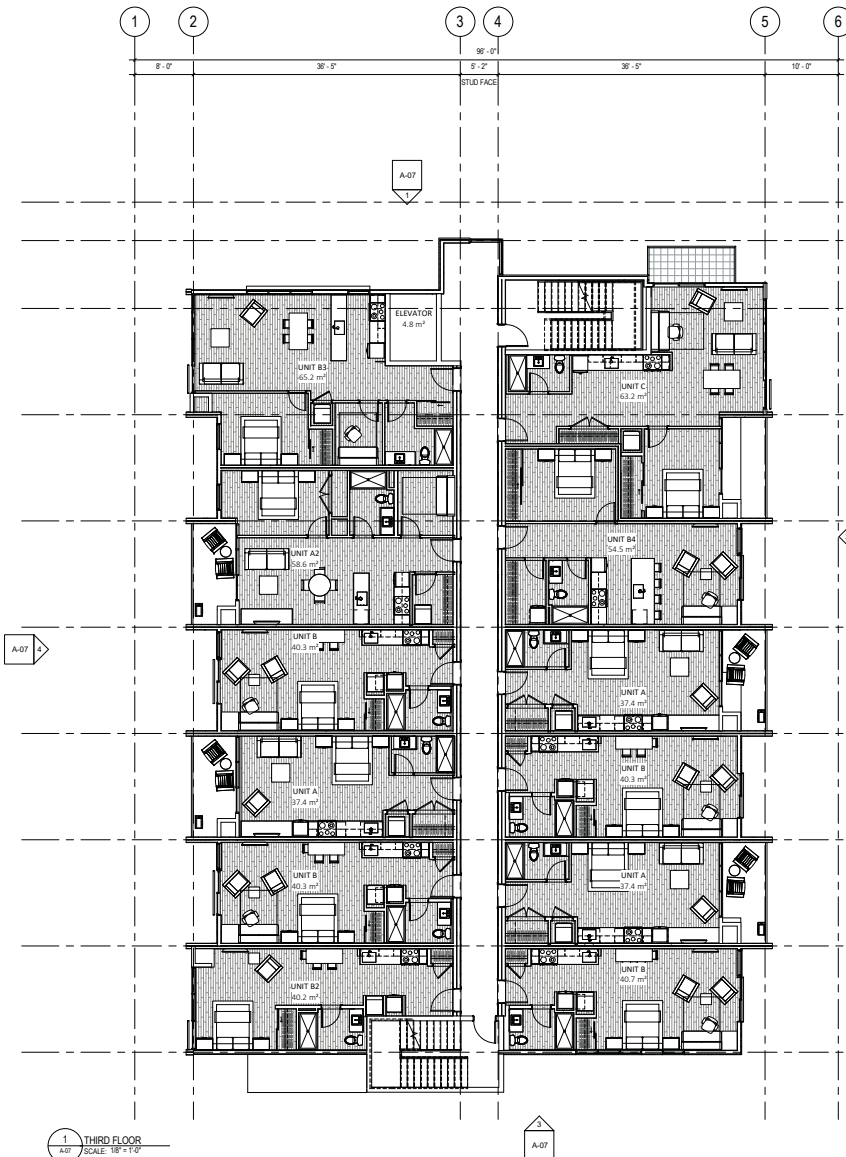
DRAWING:
PROJECT:
DATE:
SCALE:

A-02
17116
2018/01/18
1/8" = 1'-0"

ATTACHMENT A, B.

This forms part of application
DP17-0169 / DVP17-0170

Planner Initials AC



MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

PRELIMINARY PLANS

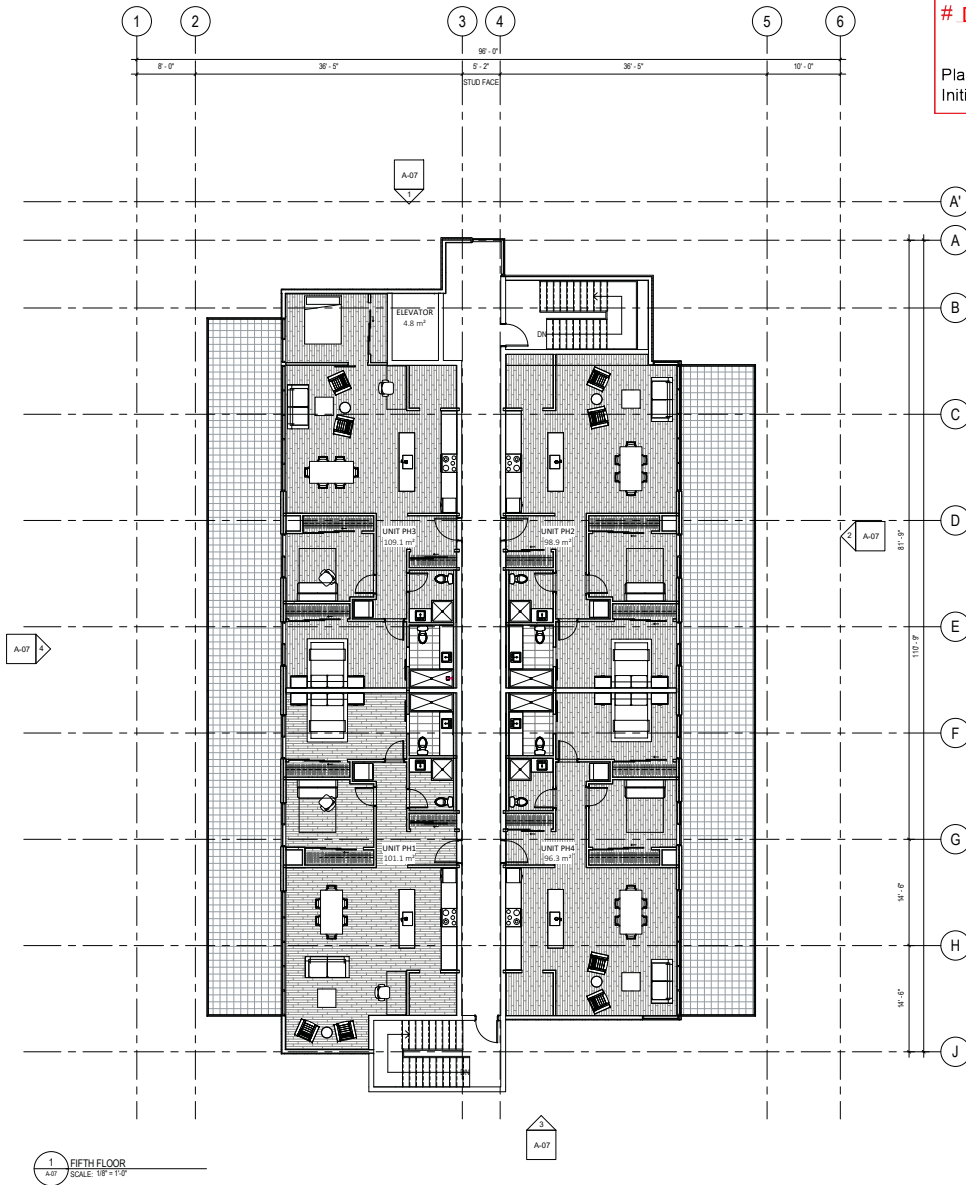
SOLE ON KLO
1083 KLO ROAD, KELOWNA, BC - LOT 2 DL 135 ODYD PLAN 25466

DRAWING: A-03
PROJECT: 17116
DATE: 2018/01/18
SCALE: 1/8" = 1'-0"

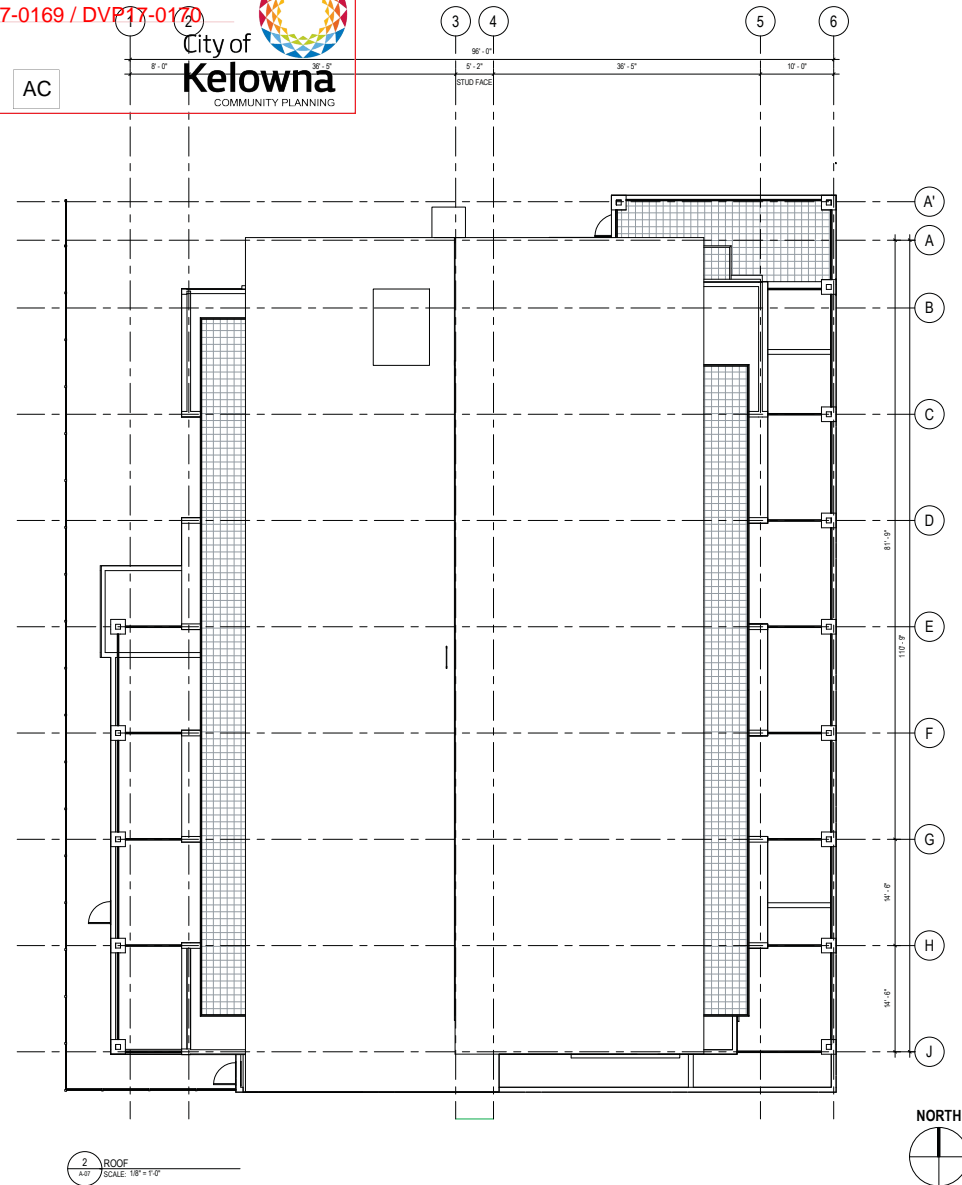
ATTACHMENT A, B.

This forms part of application
DP17-0169 / DVP17-0170

Planner
Initials AC



1 FIFTH FLOOR
SCALE: 1/8" = 1'-0"



2 ROOF
SCALE: 1/8" = 1'-0"

MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

PRELIMINARY PLANS

SOLE ON KLO
1083 KLO ROAD, KELOWNA, BC - LOT 2 DL 135 ODYD PLAN 25466

DRAWING:
PROJECT:
DATE:
SCALE:

A-04
17116
2018/01/18
1/8" = 1'-0"

ATTACHMENT A, B.

This forms part of application
DP17-0169 / DVP17-0170

Planner
Initials AC



MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

PERSPECTIVE VIEWS

SOLE ON KLO
1083 KLO ROAD, KELOWNA, BC -- LOT 2 DL 135 ODYD PLAN 25466

DRAWING:

A-05

PROJECT:

17116

DATE:

2018/01/18

SCALE:



MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

PERSPECTIVE VIEWS

SOLE ON KLO
1083 KLO ROAD, KELOWNA, BC -- LOT 2 DL 135 ODYD PLAN 25466

DRAWING: A-06
PROJECT: 17116
DATE: 2018/01/18
SCALE:

ATTACHMENT A, B.

This forms part of application
DP17-0169 / DVP17-0170

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING

ATTACHMENT A, B,

This forms part of application

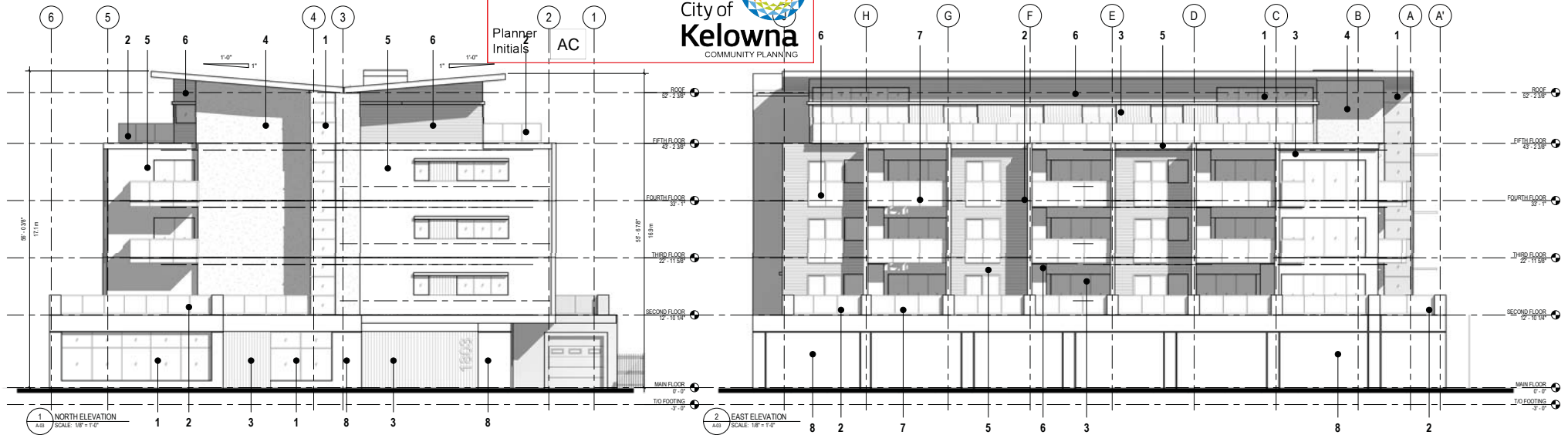
DP17-0169 / DVP17-0170



City of
Kelowna
COMMUNITY PLANNING

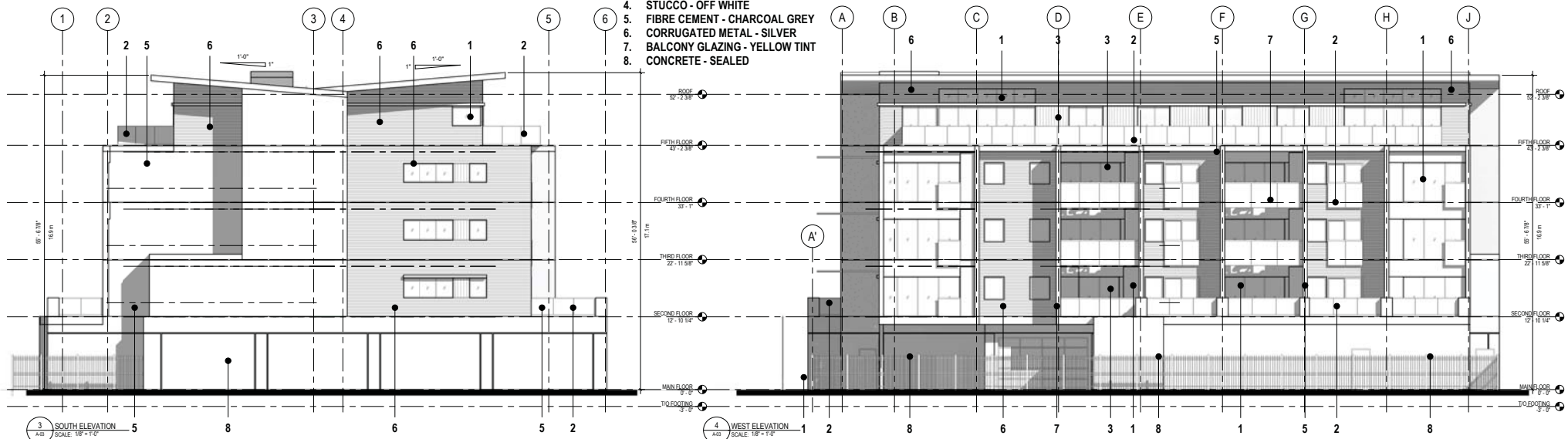
Planner
Initials

AC



1. BUILDING GLAZING - CLEAR
2. BALCONY GLAZING - BLUE TINT
3. WOOD ACCENT
4. STUCCO - OFF WHITE
5. FIBRE CEMENT - CHARCOAL GREY
6. CORRUGATED METAL - SILVER
7. BALCONY GLAZING - YELLOW TINT
8. CONCRETE - SEALED

MAIN FLOOR ELEVATION 0'-0" =
345.4 m GEODETIC



ELEVATIONS

SOLE ON KLO

1083 KLO ROAD, KELOWNA, BC - LOT 2 DL 135 ODYD PLAN 25466

MQN
ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

DRAWING:

A-07

PROJECT:

17116

DATE:

2018/01/18

SCALE:

1/8" = 1'-0"



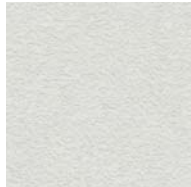
1. BUILDING GLAZING -
CLEAR LOW-E GLASS



2. BALCONY GLAZING -
BLUE TINT GLAZING



3. WOOD ACCENT



4. STUCCO - OFF WHITE



SBS ROOFING - GREY



5. FIBRE CEMENT PLANK -
CHARCOAL GREY



6. CORRUGATED METAL
PANEL - HORIZONTAL
CONFIGURATION SILVER
METALLIC FINISH



7. BALCONY GLAZING -
YELLOW TINT GLAZING



8. CONCRETE WALL -
CLEAR SEALED



ATTACHMENT A, B.

This forms part of application
DP17-0169 / DVP17-0170

Planner
Initials AC



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ARCHITECTS

SUITE 100 - 3313 32ND AVE.
VERNON, BC V1T 2M7
(250) 542-1199

MATERIAL PALETTE

SOLE ON KLO

1083 KLO ROAD, KELOWNA, BC -- LOT 2 DL 135 ODYD PLAN 25466

DRAWING:

A-08

PROJECT:

17116

DATE:

2018/01/18

SCALE:

57

REPORT TO COUNCIL



Date: March 06 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (KB)

Application: DVP17-0195 **Owner:** Marius Anton Scheepers
Sandra Cornelia Keel

Address: 20 180 Sheerwater Court **Applicant:** Carl Scholl Design Inc.

Subject: Development Variance Permit

Existing OCP Designation: S2RES – Single / Two Unit Residential
REP – Resource Protection

Existing Zone: RR1 – Rural Residential 1

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0195 for STRATA LOT 20 SECTION 6 TOWNSHIP 23 OSOYOOS DIVISION YALE DISTRICT PLAN KAS3129 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V, located at 20 180 Sheerwater Court, Kelowna, BC;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with Schedule "A" and "B":

Section 12.1.6(b): RR1 – Rural Residential 1 Development Regulations

To vary the required maximum height from 9.5 m or 2 ½ storeys to 15.45 m or 3 storeys.

AND THAT approval of a Hazardous Condition Development Permit is granted by Staff;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

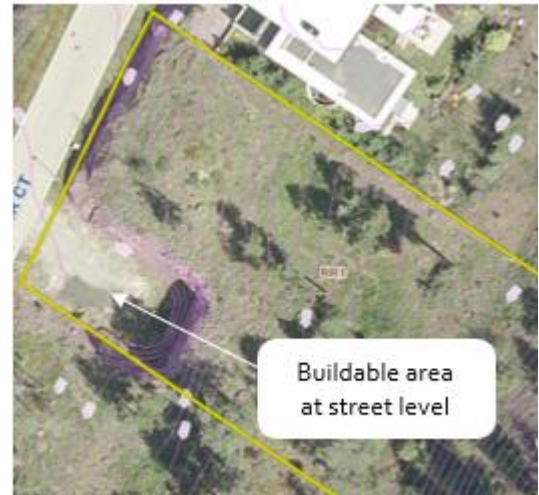
To vary the maximum height on the subject property to allow the development of a Single Family Dwelling.

3.0 Community Planning

Community Planning Staff support the Development Variance Permit application. The subject property is a sloped lot with a small buildable area at street-level, surrounded by approximately a 7.44 m high cliff leading to the remaining buildable area. Although the property is visible from the lake, Sheerwater Court is a private strata road, and the proposed location of the Single Family Dwelling is not visible from any public road. Further, the architecture of the building is highly articulated and stepped back so as to minimize the massing of the building.

There is a panhandle portion of the lot that has frontage along Boppart Court to the east, however the site cannot be accessed from that frontage, due to steep slopes, and a covenant protecting the slopes that was established at the time of subdivision. Should the Development Variance Permit be supported by Council, a Hazardous Condition Development Permit will also be required prior to building permit issuance.

The applicant has confirmed the completion of public notification in accordance with Council Policy No. 367.

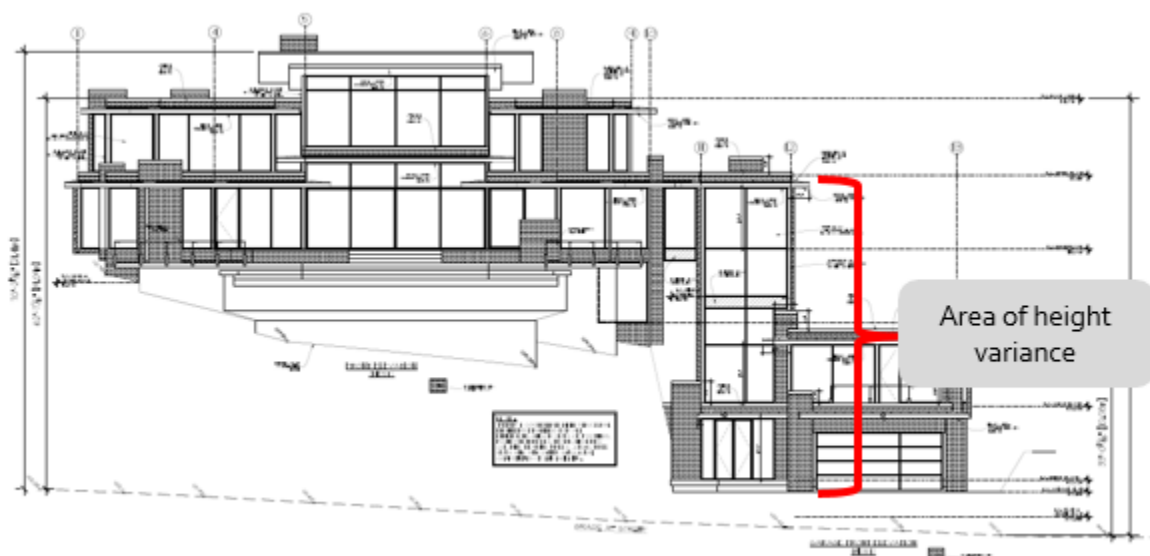


4.0 Proposal

4.1 Project Description

The application is for a Development Variance Permit, to allow the construction of a Single Family Dwelling with a Secondary Suite. The applicant has requested one variance, to maximum height. The variance applies to the maximum vertical distance between the building grade and the highest point of the structure, as shown in Image 1 below.

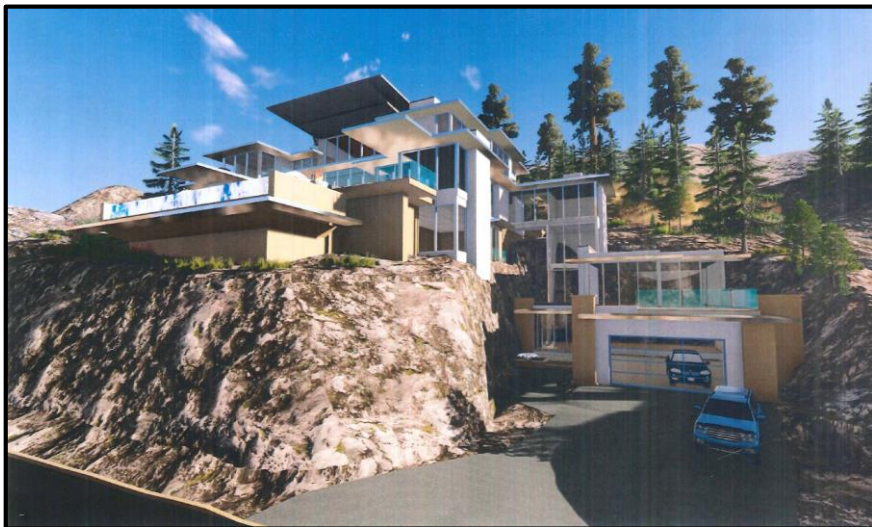
Image 1: Location of height variance under consideration



A small portion of the lot, approximately 300 m² in area, is accessible by vehicle off Sheerwater Court. This area is surrounded by steep cliffs on the adjacent north and east portions of the lot. There is a larger buildable area above these cliffs, however due to the height of the cliffs, the buildable area is challenging to access. The proposed design allows for access to the upper portion of the lot, from the lower street-level area.

The applicant has designed an entry foyer and garage to fit within the buildable area at street-level, with the secondary suite located on the first level above the garage. There is an enclosed staircase and elevator, and on the upper storey, a bridge, which connects to the main portion of the dwelling.

Image 2: Conceptual rendering of the dwelling as viewed from Sheerwater Court.



4.2 Site Context

The subject property is located on the east side of Sheerwater Court in the Glenmore – Clifton – Dilworth City Sector. It is currently a vacant lot located within a private strata community known as “Sheerwater”. It is located inside the Permanent Growth Boundary.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RR1 – Rural Residential 1	Single Dwelling Housing
East	RR1 – Rural Residential 1	Single Dwelling Housing
South	RR1 – Rural Residential 1	Single Dwelling Housing and Vacant Land
West	RR1 – Rural Residential 1	Single Dwelling Housing and Vacant Land

Subject Property Map: 20 180 Sheerwater Court**4.3 Zoning Analysis Table**

Zoning Analysis Table		
CRITERIA	RR1 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Maximum Site Coverage	10%	6.75 %
Maximum Height	9.5 m / 2 ½ storeys	15.45 m / 3 storeys ❶
Front Yard	6.0 m	6.0 m
Side Yard (north)	3.0 m	3.0 m
Side Yard (south)	3.0 m	3.0 m
Rear Yard	10.0 m	> 10.0 m
❶ Indicates a requested variance to vary the required maximum height from 9.5 m or 2 ½ storeys to 15.45 m or 3 storeys.		

5.0 Current Development Policies**5.1 Hillside Development Guidelines (October 2009)****Principles for Hillside Development**

Development applications within hillside areas should work to achieve the vision for hillside development by focusing on the following principles:

- Damage to the environment and natural features should be avoided
- Suitable density and diversity of housing type mitigates impacts
- All users are accommodated on neighbourhood streets
- Views are preserved for residents and visitors
- Locally appropriate, drought tolerant plants are used
- Building sites are safe.

Grading/Retaining Objectives

- Site grading and retaining walls respect existing terrain; that is, large cuts/fills are not used to create 'build-able lots' or flat yards. Driveway grades follow the natural terrain, large single level building platforms are avoided, final lot grades mimic the natural slope and slopes are promptly re-vegetated

6.0 Technical Comments

6.1 Building & Permitting Department

Full Plan check for Building Code related issues will be done at time of Building Permit applications.

6.2 Development Engineering Department

This Development Variance Permit application does not compromise any municipal services.

7.0 Application Chronology

Date of Application Received: July 21, 2017
Date Public Consultation Completed: February 13, 2018

Report prepared by: Kimberly Brunet, Planner
Reviewed by: Terry Barton, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development Permit No. DVP17-0195
Schedule "A" - Site Plan
Schedule "B" - Elevation

Development Variance Permit

DVP17-0195



This permit relates to land in the City of Kelowna municipally known as

20 180 Sheerwater Court

and legally known as

STRATA LOT 20 SECTION 6 TOWNSHIP 23 OSOYOOS DIVISION YALE DISTRICT PLAN KAS3129 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V

and permits the land to be used for the following development:

Single Dwelling Housing

with variances to the following sections of the Zoning Bylaw No. 8000:

Section 12.1.6(b): RR1 – Rural Residential 1 Development Regulations

To vary the required maximum height from 9.5 m or 2 ½ storeys to 15.45 m or 3 storeys.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: March 6, 2018

Decision By: City Council

Issued Date: March 6, 2018

Development Permit Area: N/A

This permit will not be valid if development has not commenced by March 6, 2020.

Existing Zone: RR1 – Rural Residential 1

Future Land Use Designation: S2RES – Single / Two Unit Residential & REP – Resource Protection

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Marius Anton Scheepers and Sandra Cornelia Keel

Applicant: Carl Scholl Design Inc

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The elevations of the building to be constructed on the land be in accordance with Schedule "B";

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None required.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

SCHEDULE

A

This forms part of application
DVP17-0195

Planner
Initials

KB



REVISIONS		
REV	DATE	DESCRIPTION
A	02/09/16	ISSUED FOR REVIEW
B	09/09/16	ISSUED FOR REVIEW
C	20/09/16	ISSUED FOR REVIEW
D	19/12/16	ISSUED FOR REVIEW
E	19/12/16	ISSUED FOR STRUCTURAL
F	7/02/17	ISSUED FOR STRUCTURAL
G	21/02/17	ISSUED FOR REVIEW
H	29/06/17	ISSUED FOR REVIEW
I	29/09/17	ISSUED FOR REVIEW
J	28/01/18	ISSUED FOR TENDER
K	07/02/18	ISSUED FOR TENDER
NOTE:		

SITE CALCULATIONS:

SITE AREA = 8,550.942 m²

- BUILDING 'A' (PRINCIPAL RESIDENCE)
= 3,924.13 FT²
- BUILDING 'B' (GARAGE, FOYER, GUEST SUITE)
= 1,862.40 FT²
- STRUCTURE 'C' (STAIRS, ELEVATOR, BRIDGE)
= 421.75
- TOTAL = 6,208.28 FT² (576.77 m²)

(576.77 m²/8,550.942 m²) X 100 = 6.75%
ALLOWABLE = 10%

DRIVEWAY/ WALKWAY = 1099.74 FT² (102.17 m²)
= 1.19%

NOTE:
-SEE LANDSCAPER DESIGN
FOR CURRENT DIMENSIONS,
LAYOUT AND DETAILS.

CARL
SCHOLL
DESIGN INC.
203-347 LEON AVENUE
KELOWNA, B.C. V1Y 8C7
TEL: (250) 763-7800
FAX: (250) 861-4247

EVAN
GILBERT
drafting & design
www.evangelbert.com
evangelbert@outlook.com 778.478.7722

PROJECT TITLE
**LOT 20
SHEERWATER**

KELOWNA, BC

DATE: 07/02/18
DRAWING SCALE: AS NOTED
DRAWN BY: EKG
CHECKED BY: CS
APPROVED BY:
SHEET NAME

SITE PLAN

FOR TENDER

REVISION K	PLAN NUMBER: 559
SHEET NUMBER A1	SHEET 1 OF 34

ERRORS AND OMISSIONS

- EVAN GILBERT shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

SITE PLAN
3/32" = 1'-0"

NOTE:
EXACT BUILDING LOCATION &
ELEVATION TO BE DETERMINED
ON SITE. CONFIRM ALL SETBACKS
AND LOT LINES WITH REGISTERED
LOT PLAN PRIOR TO CONSTRUCTION.

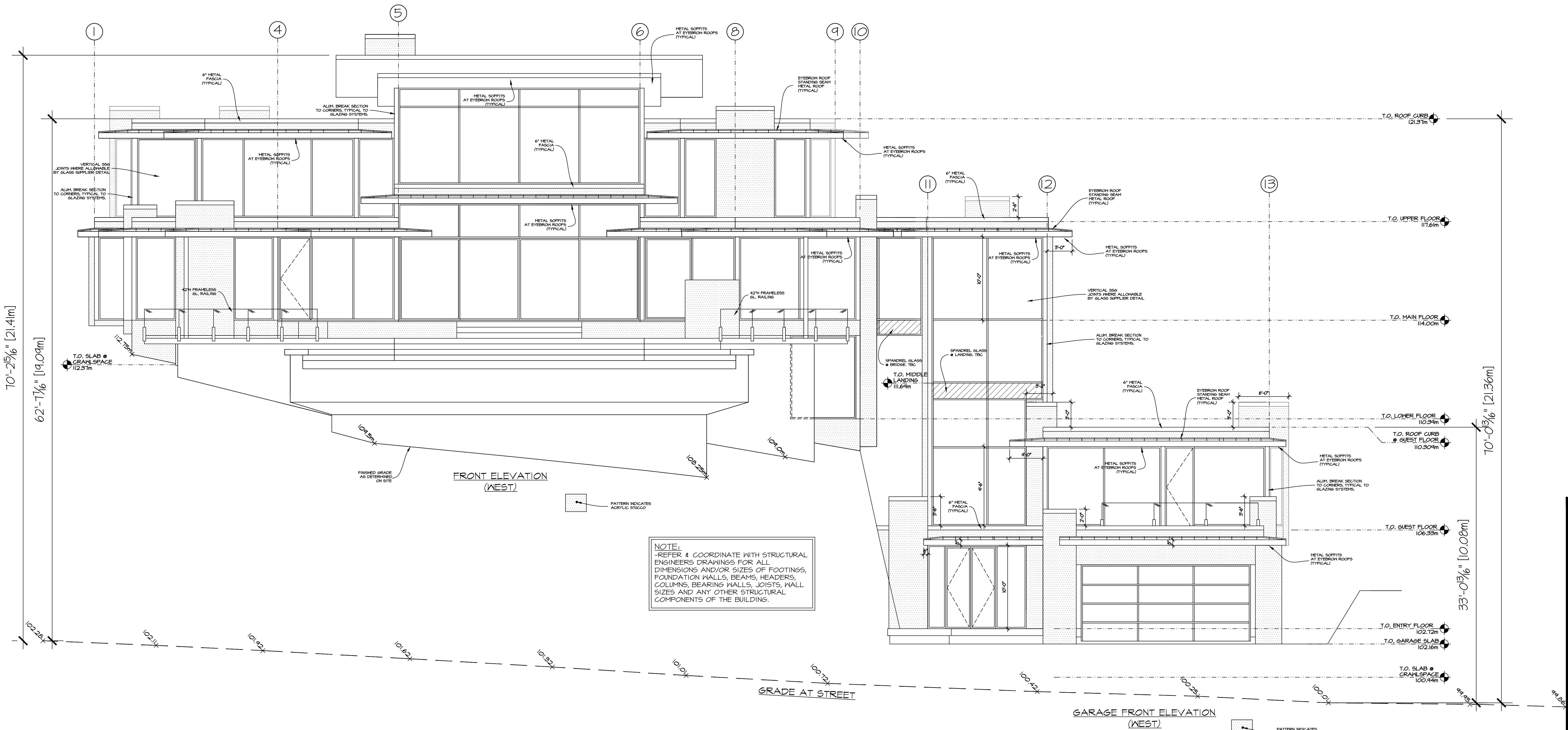
SCHEDULE B

This forms part of application
DVP17-0195

Planner
Initials KB



REVISIONS		
REV	DATE	DESCRIPTION
A	02/09/16	ISSUED FOR REVIEW
B	09/09/16	ISSUED FOR REVIEW
C	20/09/16	ISSUED FOR REVIEW
D	15/12/16	ISSUED FOR REVIEW
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H	29/06/17	ISSUED FOR REVIEW
I	29/09/17	ISSUED FOR REVIEW
J	28/01/18	ISSUED FOR TENDER
K	07/02/18	ISSUED FOR TENDER
NOTE:		



NOTE:
-REFER & COORDINATE WITH STRUCTURAL
ENGINEERS DRAWINGS FOR ALL
DIMENSIONS AND/OR SIZES OF FOOTINGS,
FOUNDATION WALLS, BEAMS, HEADERS,
COLUMNS, BEARING WALLS, JOISTS, WALL
SIZES AND ANY OTHER STRUCTURAL
COMPONENTS OF THE BUILDING.

ERRORS AND OMISSIONS

- EVAN GILBERT shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

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TEL: (250) 763-7800
FAX: (250) 861-4247

EVAN
GILBERT
drafting & design
www.schollgibbert.com
egilbert@outlook.com 778.478.7722

PROJECT TITLE

LOT 20
SHEERWATER

KELOWNA, BC

DATE: 07/02/18
DRAWING SCALE: 3/16" = 1'0"
DRAWN BY: EKG
CHECKED BY: CS
APPROVED BY:
SHEET NAME

HOUSE & GARAGE
STREET VIEW

FOR TENDER

REVISION K PLAN NUMBER: 559
SHEET NUMBER A14 SHEET 14 OF 34

PROJECT: UNDEVELOPED LOT 20 SHEERWATER PROJECT INDEX: 1830 - CARL SCHOLL - LOT 20 SHEERWATER INDEX

REPORT TO COUNCIL



Date: March 6, 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (KB)

Application: DVP17-0217

Owner: Jesse Kyle Alderidge

Address: 889 Cadder Avenue

Applicant: Novation Design Studio (Paul Schuster)

Subject: Development Variance Permit

Existing OCP Designation: MRL – Multiple Unit Residential (Low Density)

Existing Zone: RU6 – Two Dwelling Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0217 for Lot 28 Section 19 Township 26 Osoyoos Division Yale District Plan 700, located at 889 Cadder Ave, Kelowna, BC subject to the following;

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. Landscaping to be provided on the land be in accordance with Schedule "B";
3. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted in accordance with Schedule "A":

Section 9.5b.1(i): Specific Use Regulations – Carriage House Regulations

To vary the required minimum side yard from 1.5 m permitted to 1.2 m existing.

Section 9.5b.1(j): Specific Use Regulations – Carriage House Regulations

To vary the required minimum rear yard from 1.5 m permitted to 1.0 m existing.

Table 8.1 – Parking Schedule: Section 8 – Parking and Loading

To vary the required number of parking spaces from 3 required to 2 existing.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Variance Permit Application in order for the permit to be issued;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider three variances to convert an existing accessory building to a carriage house.

3.0 Community Planning

Community Planning recommends support for the requested Development Variance Permit application to allow the existing accessory building to be converted to a carriage house. The approval of this Development Variance Permit will legalize an existing illegal carriage house, thereby rectifying an open bylaw investigation, and the building permit will ensure that life safety and building code requirements are being met. The property does not require rezoning for this use.

At the request of the Community Planning Department, the applicant has agreed to remove the currently existing driveway off Cadder Avenue, and have all access for both dwellings come off Ethel Street. The applicant has provided a Landscape Plan and is willing to bond for the fencing along Cadder Avenue, should this Development Variance Permit application be supported by Council. Further, the carriage house would require a building permit to ensure compliance with the BC Building Code.

Although there is room for three vehicles parked in tandem on the subject property, one would be located within the required 4.5m front yard setback. Three vehicles in tandem is not recognized as a valid parking configuration under the City of Kelowna Zoning Bylaw No. 8000. The subject property is directly adjacent to RU7 zoned properties, where the parking requirements for two dwellings would be two stalls.

The applicant has confirmed the completion of public notification in accordance with Council Policy No. 367.

4.0 Proposal

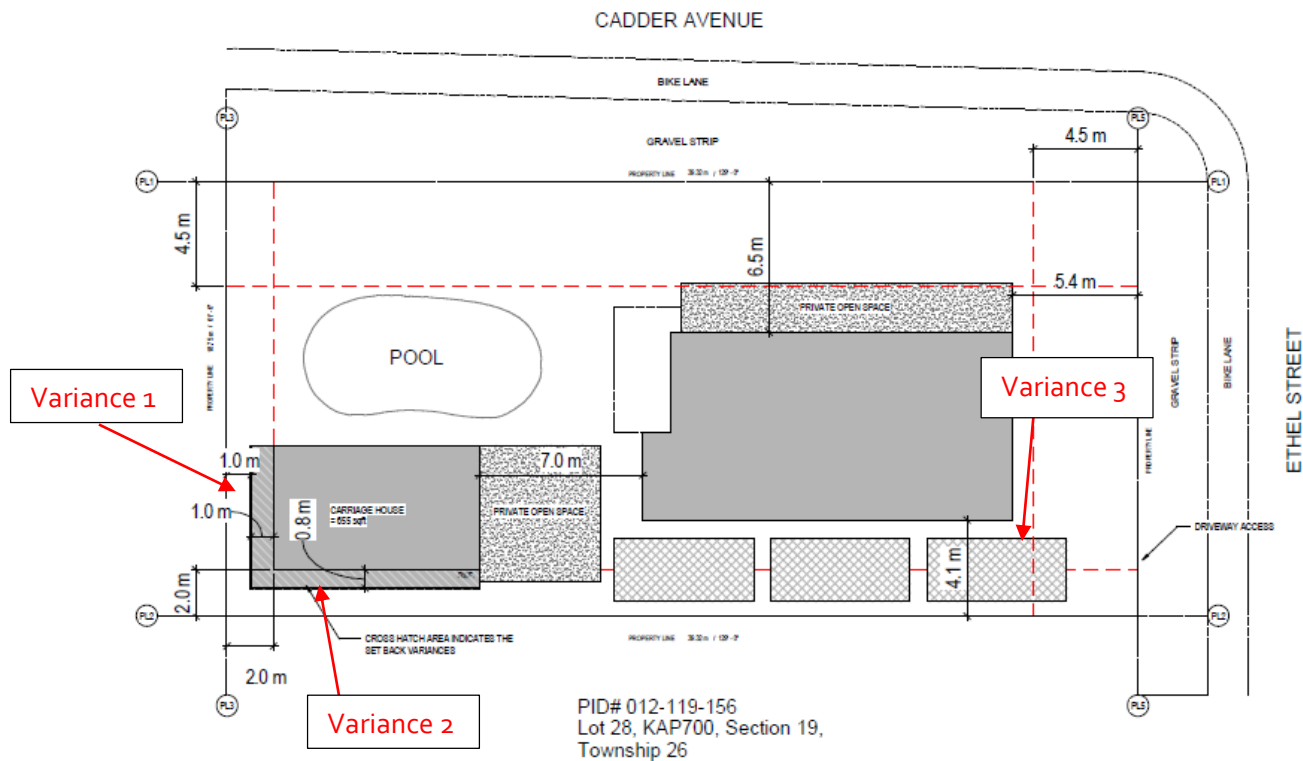
4.1 Background

There is a single family dwelling and an accessory building on the subject property. The accessory building under consideration was constructed as a garage without permits and was renovated as a suite without permits. There was also a suite in the single family dwelling. Two building permits for the full decommissioning of the suite in the house and in the accessory building were applied for in October 2016. The suite in the single family dwelling was fully decommissioned in November 2016, and the building permit for the decommissioning of the suite in the accessory building has remained open. It is Staff's understanding that a new owner is wanting to bring the property in to compliance.

4.2 Project Description

The applicant is proposing to convert an existing accessory building, resulting in the legalization of a one-bedroom carriage house. The proposed conversion requires variances for setbacks, for the side and rear yards. The third variance is for the required number of parking stalls, from three required to two proposed. As part of the application, an existing driveway and parking spots off Cadder Avenue would be removed.

A building permit would be required for the existing accessory building to bring it up to current BC Building Code. The form and character would be modified to remove the visible garage doors.

Images 1 & 2: The North and South Elevations of the Existing Accessory Building**Site Plan:** 88g Cadder Ave

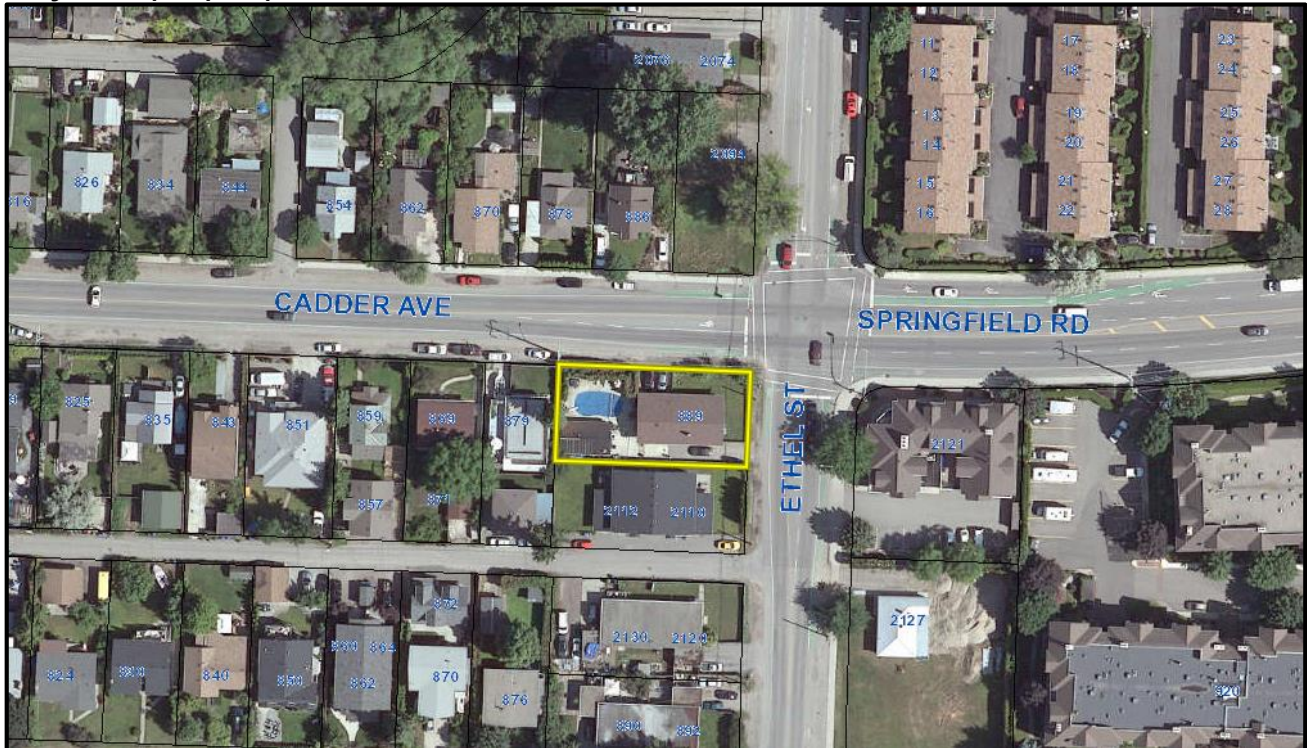
4.3 Site Context

The subject property is located at the southwest corner of Cadder Avenue and Ethel Street. The neighbourhood is considered in the Central City Sector and is in close proximity to the Ethel Street Active Transportation Corridor and A.S. Matheson Elementary School. It is located within the Permanent Growth Boundary.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU6 – Two Dwelling Housing	Residential
East	C2 – Neighbourhood Commercial RM ₃ – Low Density Multiple Housing	Commercial Residential
South	RU6 – Two Dwelling Housing	Residential
West	RU7 - Infill Housing	Residential

Subject Property Map: 889 Cadder Ave



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	CARRIAGE HOUSE REQUIREMENTS	PROPOSAL
Development Regulations		
Maximum Height	4.8 m	3.5 m
Minimum Front Yard (east)	9.0 m	> 9.0 m
Minimum Side Yard (north)	1.5 m	> 1.5 m
Minimum Side Yard (south)	1.5 m	1.2 m ^①
Minimum Rear Yard (west)	1.5 m	1.0 m ^②
Minimum distance from existing principal building	3.0 m	7.0 m
Section 8 – Parking and Loading Regulations		
Minimum Parking Requirements	3 stalls	2 stalls ^③
^① Indicates a requested variance to reduce the minimum side yard setback from 1.5 m required to 1.2 m existing ^② Indicates a requested variance to reduce the minimum rear yard setback from 1.5 m required to 1.0 m existing ^③ Indicates a requested variance to reduce the number of parking stalls from 3 required to 2 existing		

5.0 Technical Comments

5.1 Building & Permitting Department

- The change of use from a garage to a carriage home will require code upgrades at time of Building Permit application.

5.2 Development Engineering Department

- Does not compromise any municipal services

6.0 Application Chronology

Date of Application Received: September 29, 2017
 Date Public Consultation Completed: November 20, 2017
 Date Landscape Plan Received: February 8, 2018

Report Prepared by: Kimberly Brunet, Planner
Reviewed by: Terry Barton, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development Variance Permit No. DVP17-0217
 Schedule "A" – Site Plan and Elevations
 Schedule "B" – Landscaping Plan

Development Variance Permit

DVP18-0001



This permit relates to land in the City of Kelowna municipally known as

434 Sands Court

and legally known as

Lot 2 Section 26 Township 26 Osoyoos Division Yale District Plan 30432

and permits the land to be used for the following development:

Single Dwelling Housing

with variances to the following section of the Zoning Bylaw No. 8000:

Section 13.1.6(e): RU1 – Large Lot Housing Development Regulations

To vary the required minimum rear yard from 7.5 m permitted to 3.45 m proposed.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: March 6, 2018

Decision By: City Council

Issued Date: March 6, 2018

Development Permit Area: N/A

This permit will not be valid if development has not commenced by March 6, 2020.

Existing Zone: RU1 – Large Lot Housing

Future Land Use Designation: S2RES – Single / Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Daniel Mark Sandberg and Jo-Ann Lyn Sandberg

Applicant: Daniel Mark Sandberg

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Attachment "A";

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None required.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

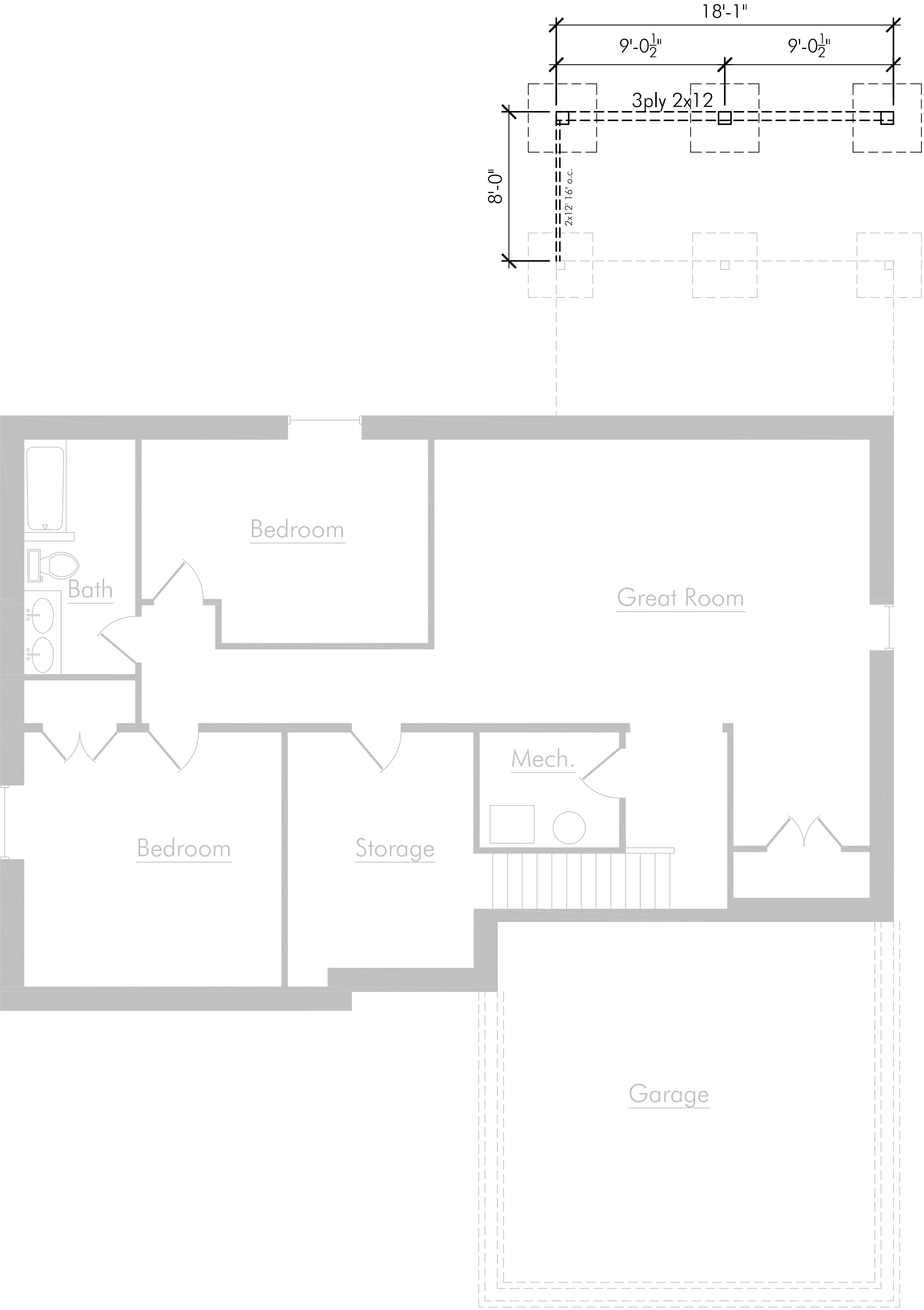
**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**



KH
DESIGNS

CUSTOM
RESIDENTIAL
DESIGN

2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250.575.0590



ATTACHMENT

A

This forms part of application

DVP18-0001

Planner Initials

KB

City of Kelowna

COMMUNITY PLANNING

434
Sands Court
Kelowna, BC

DRAWN BY: KJH
PROJECT : 10-17
FILE:
ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Main
Plan
Proposed
A-1.1



KH
DESIGNS

CUSTOM
RESIDENTIAL
DESIGN

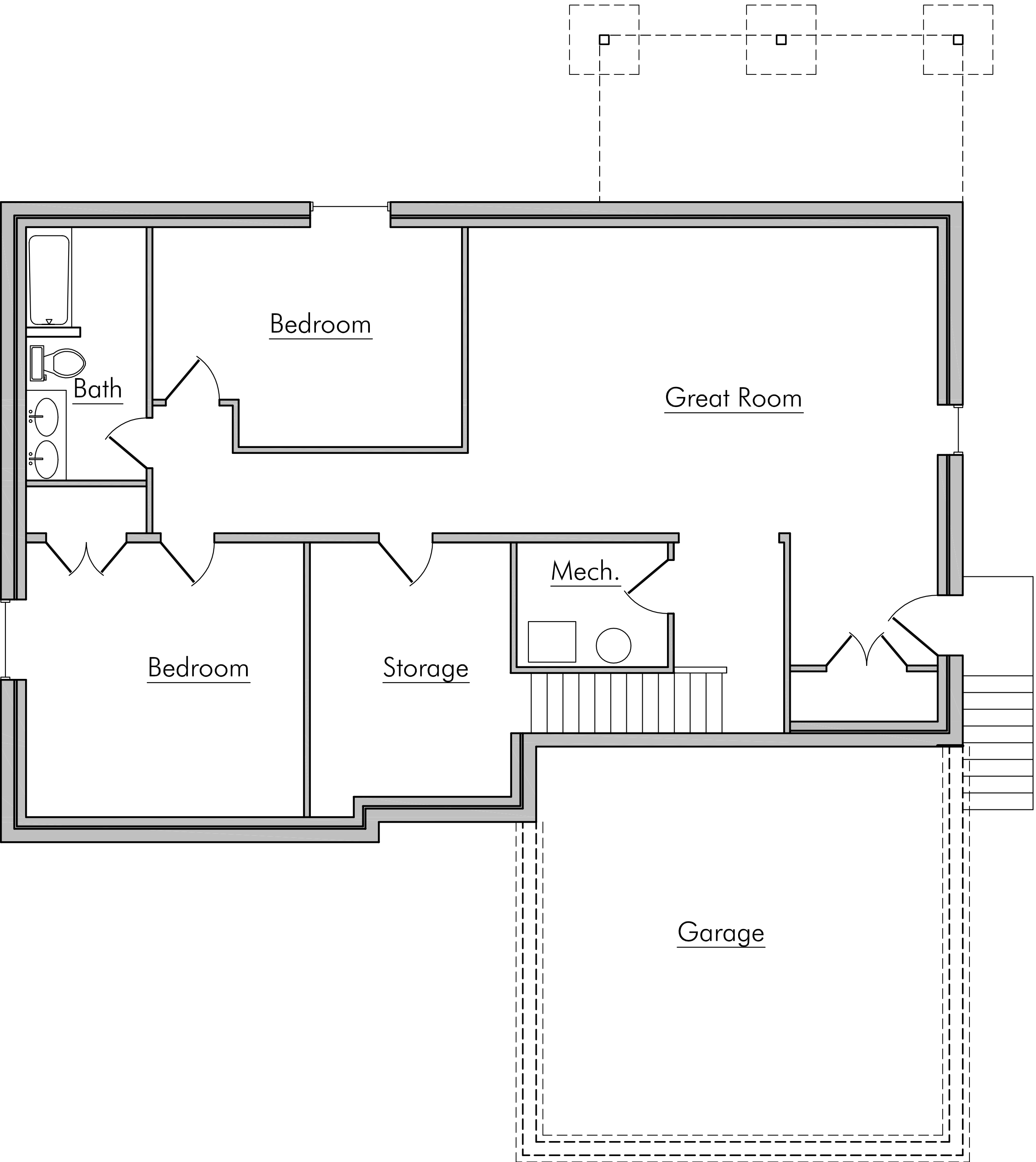
2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250.575.0590

434
Sands Court
Kelowna, BC

DRAWN BY: KJH
PROJECT : 10-17
FILE:
ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Lower
Plan

A-1



NORTH
1
A-1
EXISTING
LOWER
1/4"=1'-0"

ATTACHMENT A

This forms part of application
DVP18-0001

Planner
Initials KB

City of
Kelowna
COMMUNITY PLANNING

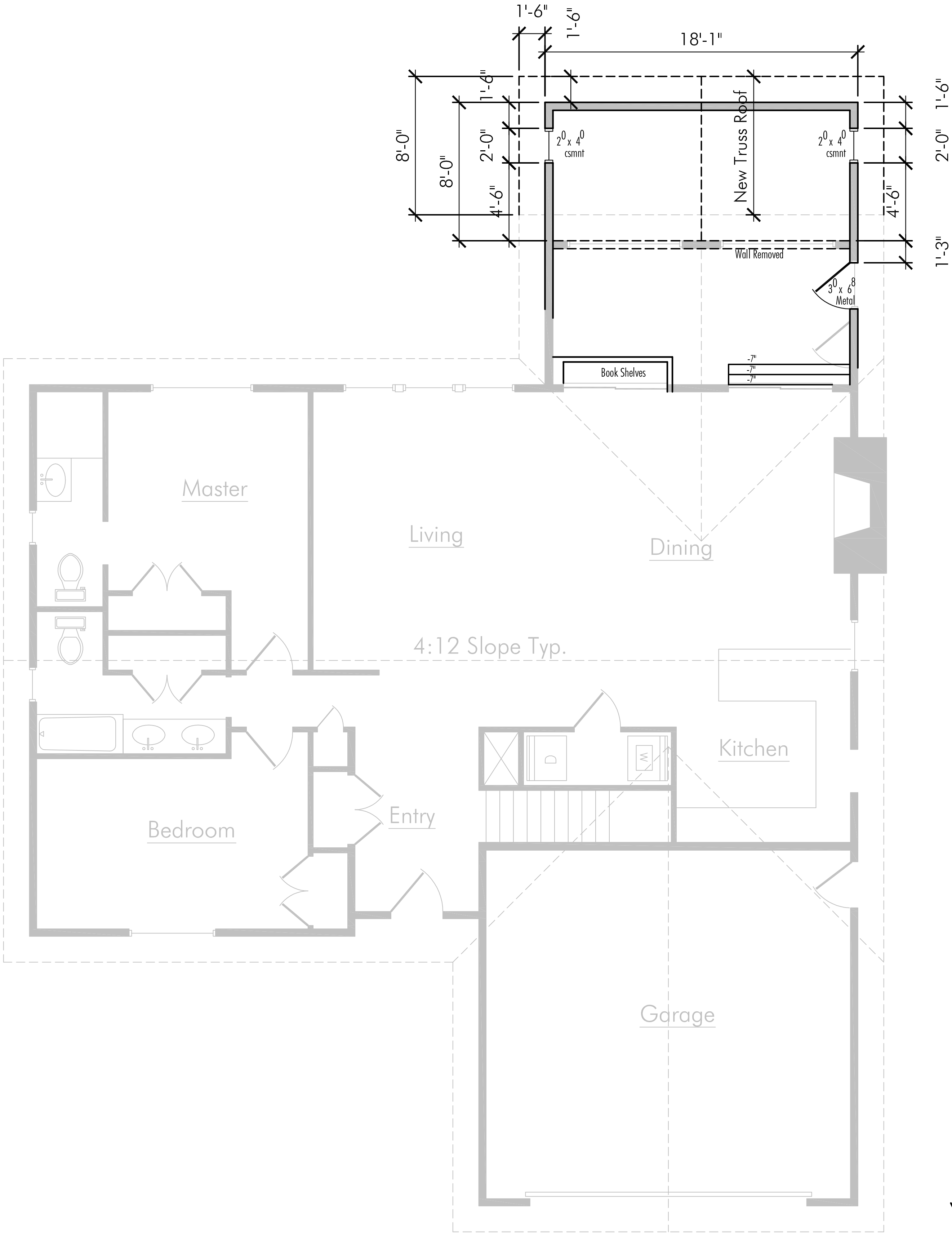
ATTACHMENT

A

This forms part of application
 # DVP18-0001

City of
Kelowna
 COMMUNITY PLANNING

Planner
 Initials
 KB



NORTH

PROPOSED
 1
 A-2.1
 MAIN
 1/4"=1'-0"

KH
 DESIGNS
 INC.

CUSTOM
 RESIDENTIAL
 DESIGN

2416 Mountains Hollow Lane
 West Kelowna BC
 V4T 3H5
 250.575.0590

434
Sands Court
Kelowna, BC

DRAWN BY: KJH
PROJECT: 10-17
FILE:
ISSUE DATE
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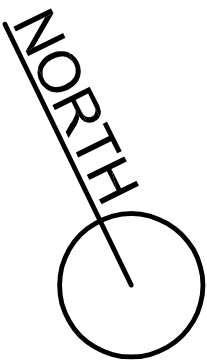
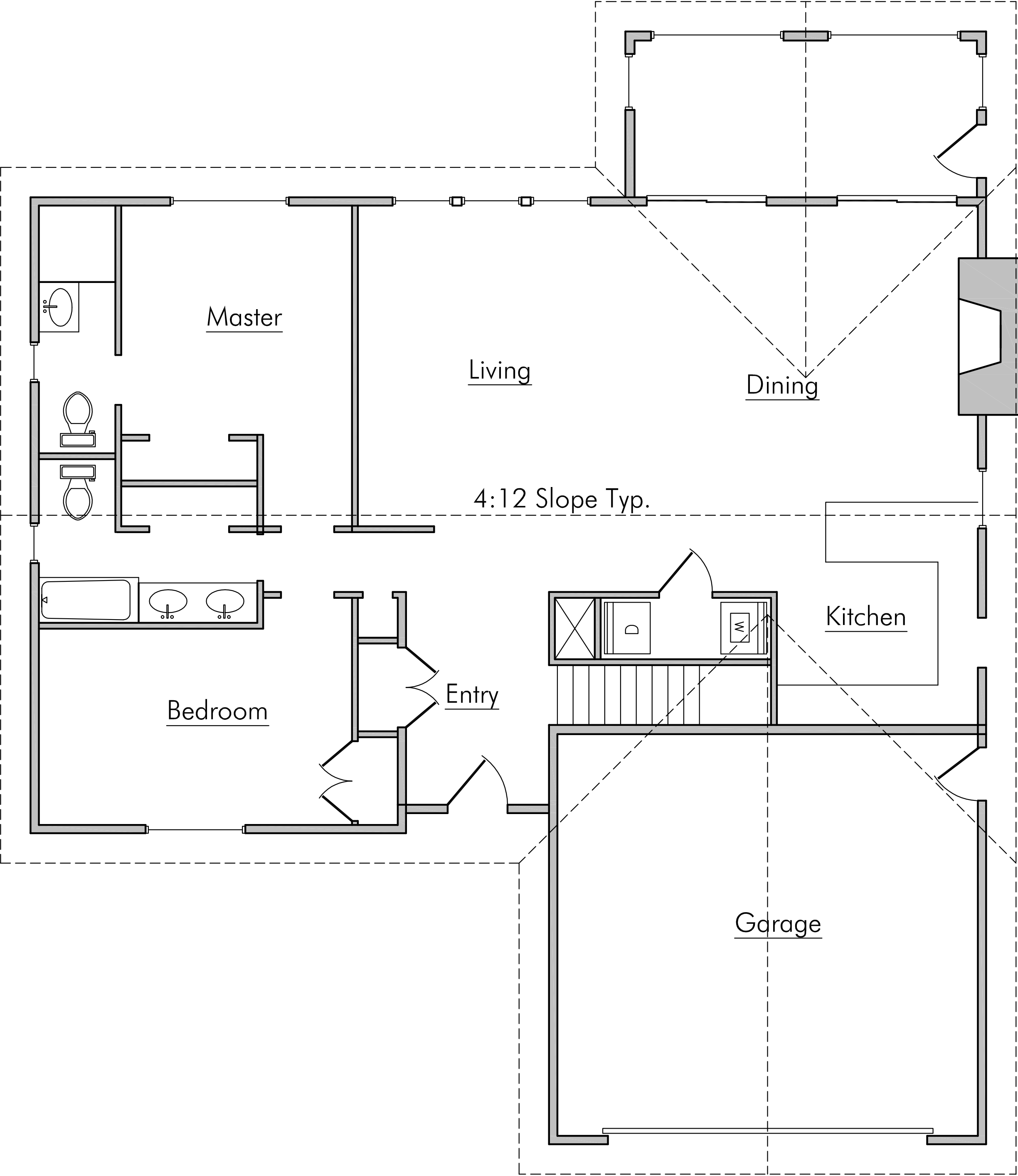
Main
Plan
Proposed
A-2.1



KH
DESIGNS

CUSTOM
RESIDENTIAL
DESIGN

2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250-575-0590



EXISTING
MAIN
1
A-2 1/4"=1'-0"

ATTACHMENT A

This forms part of application
DVP18-0001

Planner
Initials
KB



434
Sands Court
Kelowna, BC

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SCALE:

Main
Plan

A-2



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434
Sands Court
Kelowna, BC

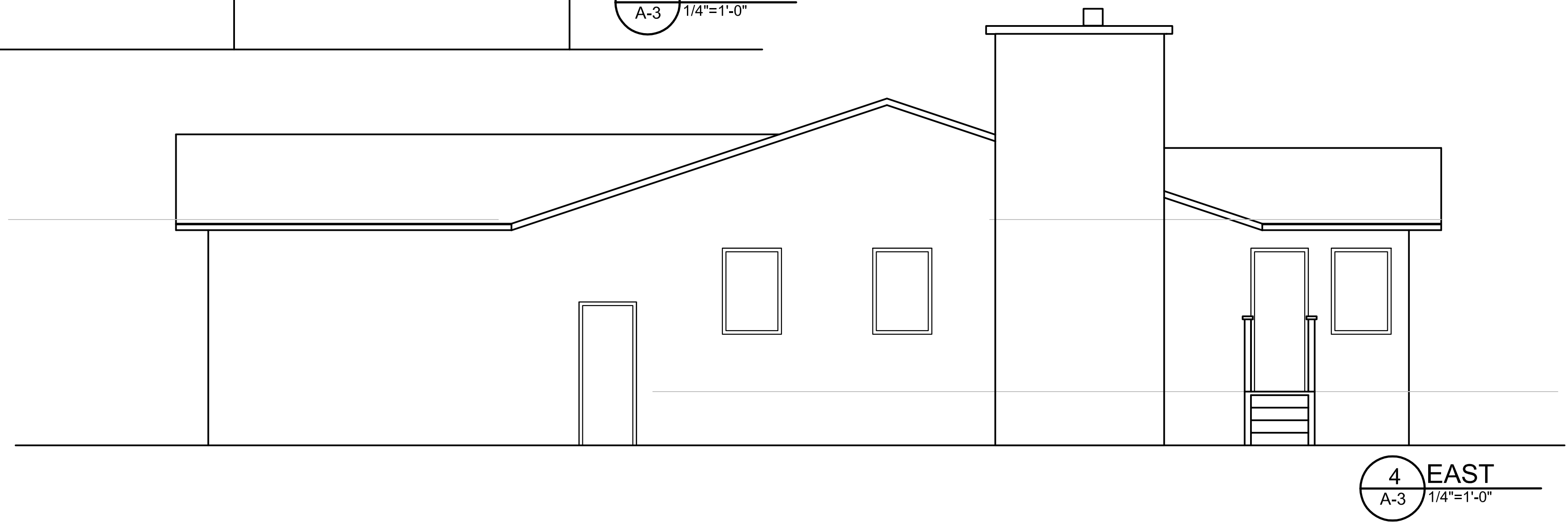
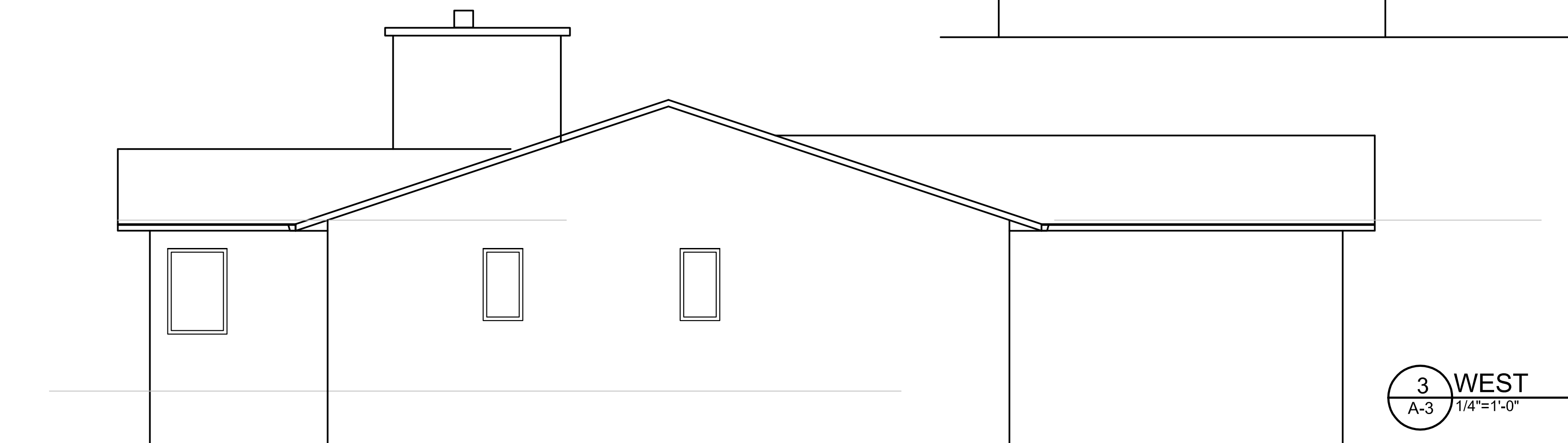
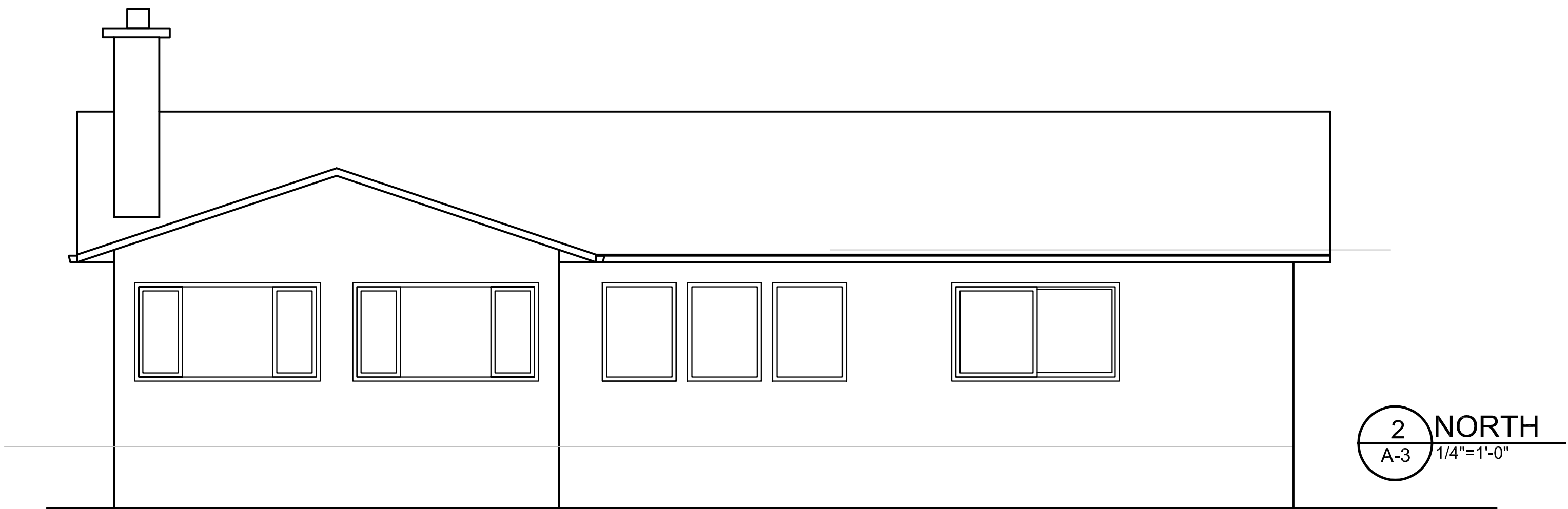
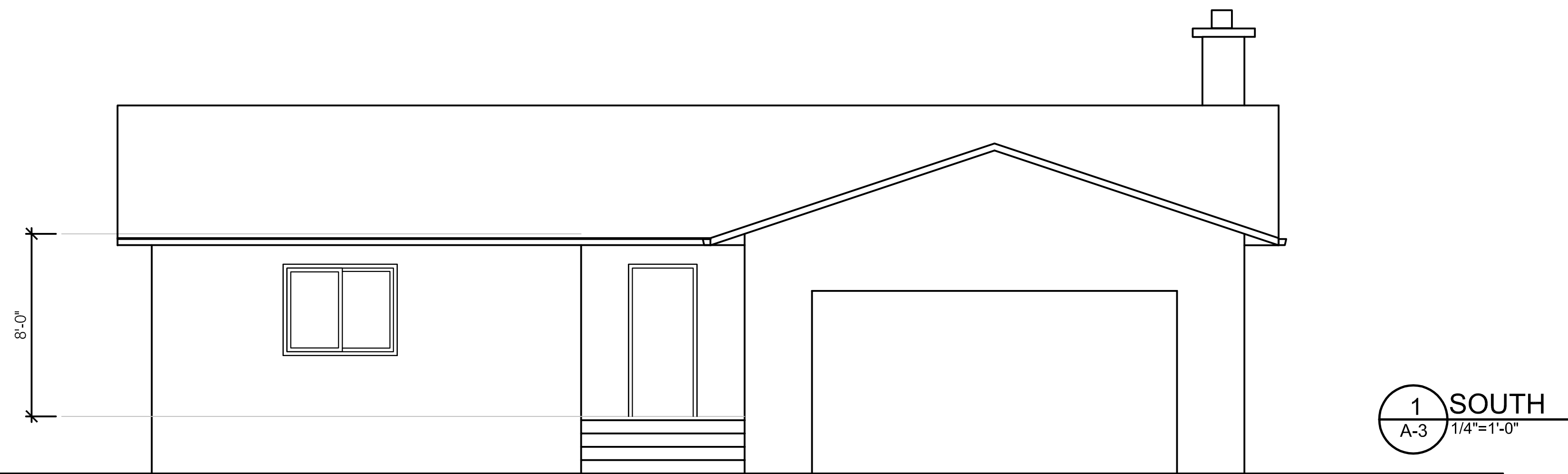
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PROJECT : 10-17
FILE:

ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Existing
Elevations

A-3



ATTACHMENT A

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DVP18-0001

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Kelowna
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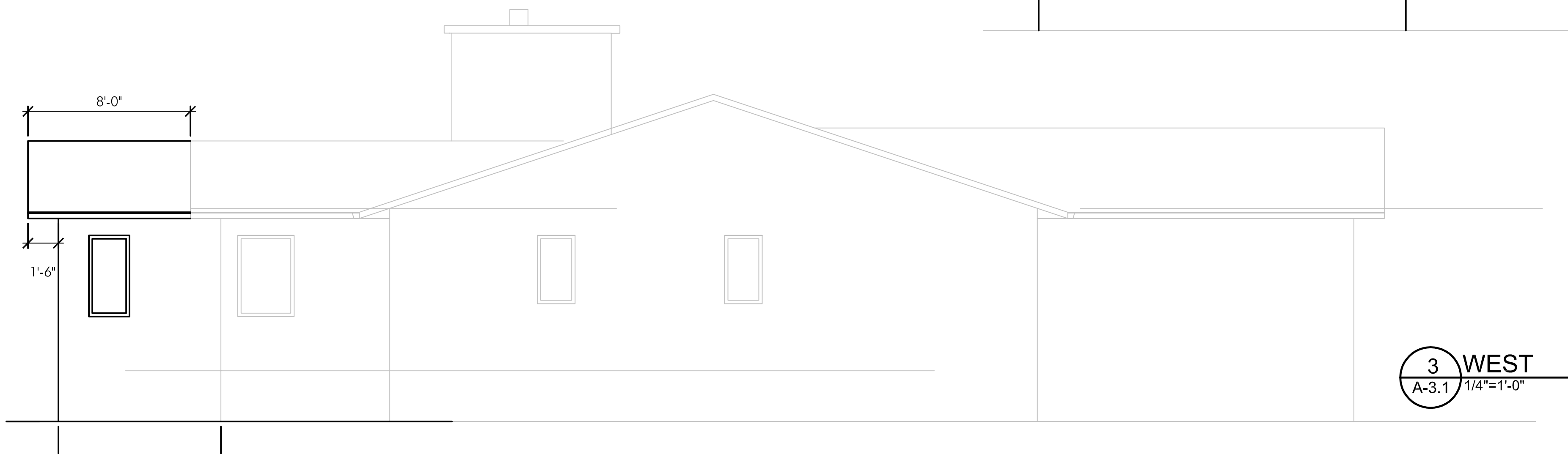
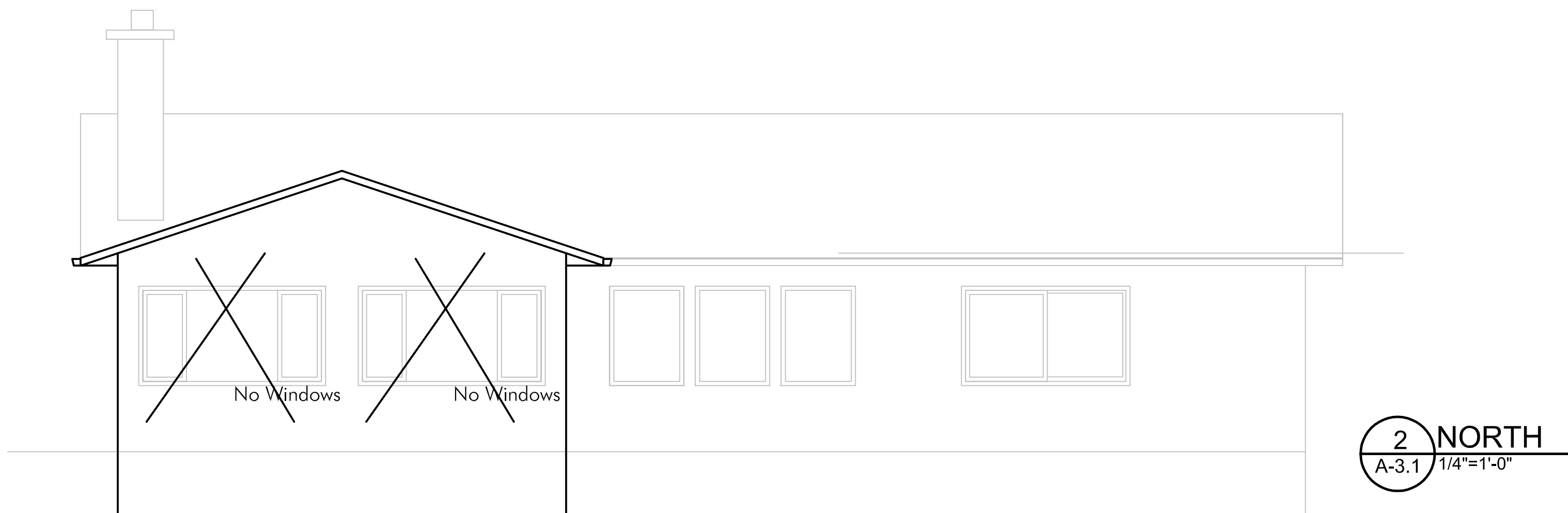
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Proposed
Elevations

A-3.1



ATTACHMENT **A**

This forms part of application
DVP18-0001

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City of Kelowna
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General Notes:

1. Contractor and Subtrades to insure that all workmanship complies with the latest issue of NBC , BCBC, Local Bylaws and regulations

2. This set of drawings is the property of the owner Third Party Transfer is prohibited

3. All concrete strengths shall be specified Mp's after 28 days

4. Double all cripples under load bearing lintels

5. Solid Blocking or Double Joists to be under all parallel partitions over 6' long

6. Solid Blocking in joist cavities under point loads

7. All Exterior Lintels and Load Bearing Beams to be #2 douglas fir or better

8. All Microlams, Glulams and Parallams to be checked and approved by supplier and or structural engineer

9. Actual on-site construction may vary from architectural drawings due to site conditions

10. Flash at all horizontal changes in exterior finishings and caulk around all exterior openings

11. Flash over all unprotected openings

12. Hardwired smoke alarms required to be located in each bedroom and one on Every Level

13. Carbon Monoxide Detector to be located 5m max from every bedroom door

14. Mechanical HVAC checklist to be completed at framing inspection

Specifications:

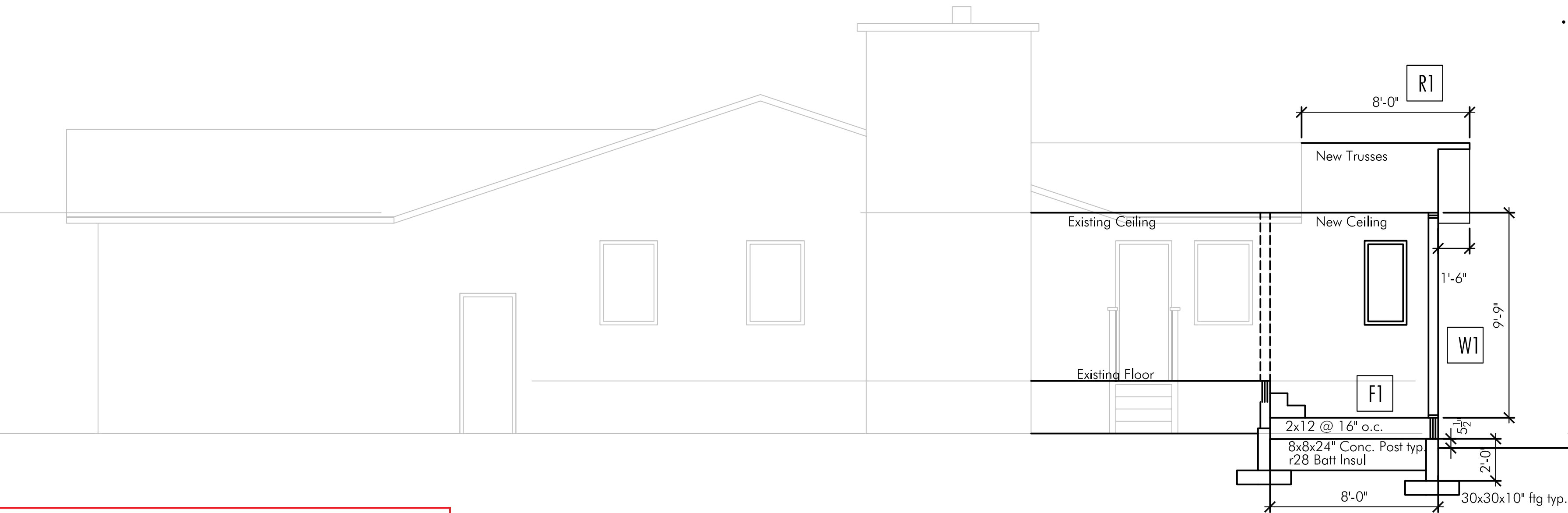
Truss Roof: 4:12
1/2" c.d. board ceiling
6mil UV poly vapour barrier taped and sealed
r50 Insulation
1/2" plywood sheet
Roofing Felt entire deck
Iko Armour Shake 50 year laminate shingles or Metal Roof
Vented Soffit and upper ridge area

Exterior Walls

2x6 kiln dried studs at 19-3/16" or 24" o.c.
2x8 Kiln Dried Studs @ 16" o.c. at Stair Tower
1/2" Plywood Sheathing
2 layers 30 Tar Paper
Wire Mesh w/ 3/4" Acrylic Stucco
R24 Fibreglass Batt Insulation
6mil UV poly vapour barrier taped and sealed
1/2" Drywall Finish

Main Floor

Finish Floor Material
3/4" Ply /o
2x12's @ 16" o.c.
r28 BAtt Insul
6 mil Poly
2" Rigid Insul



GENERAL NOTES

STANDARD NOTES

- THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE PLANS, THE OWNER AND /OR BUILDER ACCEPTS THESE PLANS AS DRAWN AND HAS READ AND UNDERSTANDS THE GENERAL NOTES AS FOLLOWS.
- THIS DRAWING WAS PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT SUBSEQUENT CHANGES TO THE CODE ARE COMPLIED WITH AND INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO THE CURRENT BC BUILDING CODE AND /OR LOCAL BUILDING CODES AND BYLAWS THAT MAY TAKE PRECEDENCE.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- KH DESIGNS INC. SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOAD.
- THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.
- AT END OF CONSTRUCTION THE BUILDER SHALL BE RESPONSIBLE FOR CLEANING THE JOB SITE AND BUILDING(S) OF ANY REFUSE AND MAKING GOOD ANY DAMAGE TO BUILDING(S) INCURRED DURING CONSTRUCTION.
- PRIOR TO COMMENCING EXCAVATION WORK THE BUILDER SHALL BE RESPONSIBLE FOR ESTABLISHING THE LOCATION OF AND CLEARLY MARKING EXISTING SERVICES AND IMMEDIATELY NOTIFYING APPLICABLE AUTHORITIES OF ANY DISCREPANCIES.
- TOPSOIL AND EXCAVATED MATERIAL TO BE STOCKPILES SEPARATELY ON THE SITE.

ERRORS AND OMISSIONS

- KH DESIGNS INC. MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION.
- SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT THE EARLIEST CONVENIENCE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS PURCHASED IN NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM REOCCURRING.

STRUCTURAL DESIGN CRITERIA

- ASSUMED ROOF DESIGN LOAD (LIVE AND DEAD) – 50 POUNDS PER SQUARE FOOT (2.5 KG/M.SQ.)
- ASSUMED SOIL BEARING CAPACITY – 2,500 P.S.F. (119.7 KN/M.SQ.)
- CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS.
- FRAMING LUMBER TO BE #2 S.P.F. AND BETTER UNLESS OTHERWISE NOTED. BEAMS TO BE #2 S.P.F. AND BETTER.

NOTE:

IF SOIL CONDITIONS ARE LESS, OR FLOOR AND ROOF LOADS ARE GREATER THAN THIS PLAN IS DESIGNED FOR, YOUR BUILDING DEPARTMENT MAY REQUIRE ADJUSTMENTS TO THE PLANS OR ASK THAT THE PLANS BE ENGINEERED BY A CERTIFIED STRUCTURAL ENGINEER. IT IS BEST THAT AN ENGINEER FAMILIAR WITH LOCAL CONDITION BE CONSULTED.

SITE PLAN NOTES

- IF A SITE PLAN IS NOT PROVIDED BY KH DESIGNS INC. THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THIS HOME ON THE PROPERTY. KH DESIGNS INC. ASSUMES NO LIABILITY FOR PLANS COMPLYING WITH ZONING REGULATIONS OR LOT CONDITIONS.
- OWNER SHALL SUPPLY ANY MISSING INFORMATION ON SITE PLAN, I.E. DIMENSIONS, ELEVATIONS OF LOT, LEGAL DESCRIPTION, SITE ADDRESS, NORTH DIRECTION, AND LOCATION OF SERVICES, EASEMENTS AND RIGHT OF WAYS. ALL MEASUREMENTS ON SITE PLAN TO BE GOVERNED AND APPROVED BY AUTHORITIES HAVING JURISDICTION BEFORE STARTING CONSTRUCTION.
- WELLS AND SEPTIC DISPOSAL SYSTEMS TO BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH HEALTH AUTHORITIES HAVING JURISDICTION.

ELECTRICAL

- INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH THE BC ELECTRICAL CODE AND REGULATIONS AND WITH THE LOCAL ELECTRIC POWER SUPPLIER'S REGULATIONS IN ALL RESPECTS.
- ELECTRICAL OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNER'S REQUIREMENTS.

FOUNDATIONS

- FOUNDATIONS SHALL BE CONCRETE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE.
- FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28-DAY STRENGTH AND THE FLOOR SYSTEM INCLUDING SHEATHING HAS BEEN INSTALLED OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING HEIGHT LIMITS SPECIFIED BY CURRENT BUILDING CODES REQUIRE ENGINEERING.
- PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED TO THE APPROVAL OF LOCAL AUTHORITIES.
- IT IS RECOMMENDED THAT ALL FOUNDATION WALLS 24" (600 MM) AND HIGHER SHALL HAVE ONE 12 MM (1 /2" DIAMETER) REINFORCING BAR CENTERED 3" FROM TOP CORNER REINFORCING TO BE LAPPED MINIMUM 24".

WOOD FRAMING

- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF PARTITION WALLS UNLESS OTHERWISE NOTED. FACE OF EXTERIOR STUD WALL AND FOUNDATION WALL TO BE FLUSH.
- JOISTS SHALL BE DOUBLED UNDER PARALLEL PARTITIONS OVER 6'-0" LONG. JOISTS TO BE PLACED TO ACCOMMODATE HEATING, PLUMBING, ETC. ALL LINTELS SHALL BE 2 – 2 X 10'S UNLESS OTHERWISE NOTED.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 45 LBS. FELT, 6 MIL POLY OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE WITH 1 /2" DIAMETER ANCHOR BOLTS AT MAXIMUM 6'-0" O/C. OR OTHER APPROVED METHOD. EXTERIOR CONCRETE SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.
- FLOOR JOISTS AND ROOF JOISTS WITH SPANS MORE THAN 7'-0" SHALL BE CROSSBRIDGED AT MID SPAN OR AT 7'-0" O/C. MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD. BRIDGING SHALL BE 2 X 2 DIAGONAL TYPE WHEREVER POSSIBLE.
- ROOF TRUSSES REQUIRE ENGINEER'S CERTIFICATE. FOR PREFABRICATED TRUSSES OBTAIN CERTIFICATE FROM MANUFACTURER.

INSULATION AND VENTILATION

- MINIMUM INSULATION REQUIREMENTS:

ROOF (ATTIC)	R-44	(R.S.I. – 7.0)
ROOF / CEILING (SLOPING)	R-14	(R.S.I. – 2.45)
WALLS	R-20	(R.S.I. – 3.5)
INSULATION REQUIREMENTS 4500 DEGREE DAYS OR GREATER	R-44	(R.S.I. – 7.7)
	R-22	(R.S.I. – 3.85)
- 6 MIL ULTRAVIOLET RESISTANT POLY AIR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF INSULATION.
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ATTIC SPACE AND OVERHANG SOFFIT.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1 /300 OF AREA. UNHEATED CRAWL SPACES TO BE VENTED MINIMUM OF 1 /500 OF AREA WITH CLOSEABLE VENTS.

FINISHING

- OWNER SHALL SPECIFY ALL INTERIOR AND EXTERIOR FINISHING. OWNER SHALL CONFIRM ANY FINISHING SHOWN ON PLANS.
- EXTERIOR DOORS SHALL BE SOLID CORE / INSULATED AND WATER STRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING. FLASH AT ALL HORIZONTAL CHANGES IN EXTERIOR FINISHING AND CAULK AROUND ALL EXTERIOR OPENINGS. FLASH OVER ALL UNPROTECTED OPENINGS.
- WINDOW SIZES ARE SHOWN IN FEET AND INCHES. I.E. 43 X 36 = 4' – 0" WIDE BY 3' – 6" HIGH. DOOR SIZES ARE WIDTH SHOWN BY 6' – 8" HIGH. I.E. 28 X 68 = 2'-8" WIDE BY 6' – 8" HIGH.
- OPENINGS IN PARTITIONS SHOWN WITHOUT DOORS ARE FULL HEIGHT UNLESS SHOWN AS AN ARCH. ARCHES ARE FRAMED 7' – 0" HIGH UNLESS OTHERWISE NOTED.
- COAT AND CLOTHES CLOSETS SHALL HAVE ONE ROD AND SHELF. LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES WHERE POSSIBLE. BROOM CLOSETS SHALL HAVE ONE SHELF.
- ALL BATHROOMS SHALL HAVE A WALL MEDICINE CABINET OR ONE LOCKABLE DRAWER.

HEATING

- INSTALLATION OF ENTIRE HEATING SYSTEM MUST COMPLY WITH MANUFACTURER'S DIRECTIONS (WHERE APPLICABLE) AND CONFORM TO LOCAL CODES AND REGULATIONS IN ALL RESPECTS.
- GAS CONNECTION WILL REQUIRE SEPARATE PERMIT AND INSPECTION.
- FUEL BURNING APPLIANCES, INCLUDING FURNACES, FIREPLACES AND STOVES, TO BE PROVIDED WITH COMBUSTION AIR SUPPLY FROM EXTERIOR.

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DESIGN

2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250.575.0590

ATTACHMENT

A

This forms part of application

#_DVP18-0001

Planner
Initials

KB

City of
Kelowna
COMMUNITY PLANNING



5820
Farmers Drive
Ellison, BC

DRAWN BY: KJH

PROJECT : 17-20
FILE:

ISSUE DATE
Drawing Issued 6/02/17
SCALE:

Sections/
General
Notes

A-4

REPORT TO COUNCIL



Date: March 6, 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (KB)

Application: DVP18-0001 **Owner:** Daniel Mark Sandberg
Jo-Ann Lyn Sandberg

Address: 434 Sands Court **Applicant:** Daniel Mark Sandberg

Subject: Development Variance Permit

Existing OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0001 for Lot 2 Section 26 Township 26 Osoyoos Division Yale District Plan 30432, located at 434 Sands Court, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted in accordance with Attachment "A":

Section 13.1.6(e): RU1 – Large Lot Housing Development Regulations

To vary the required minimum rear yard from 7.5 m permitted to 3.45 m proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the minimum rear yard on the subject property.

3.0 Community Planning

Community Planning recommends support for the requested variance to the rear yard set-back to allow for an addition on the single family dwelling. Staff feel that the variance request is minor in nature due to the fact that the proposed addition is only for a portion of the rear yard representing approximately 38% of the rear elevation. Further, the addition is small in nature at 13.4 sq.m and one storey in height. There are no proposed rear windows and so privacy to neighbouring properties should not be an issue as seen on the Elevations in Attachment "A".

The applicant, at the request of Staff, did consider alternative locations on-site for the proposed addition, but they did not prove to be feasible due to the house configuration and layout.

The applicant has confirmed the completion of public notification in accordance with Council Policy No. 367.

4.0 **Proposal**

4.1 Background

There is an existing 1 ½ storey single family dwelling on the subject property that received an occupancy permit in 1981.

4.2 Project Description

The proposal is to construct a 144 ft² addition in the rear yard, off an existing enclosed deck, shown in Image 1.

Image 1: Area of Proposed Addition in the Rear Yard

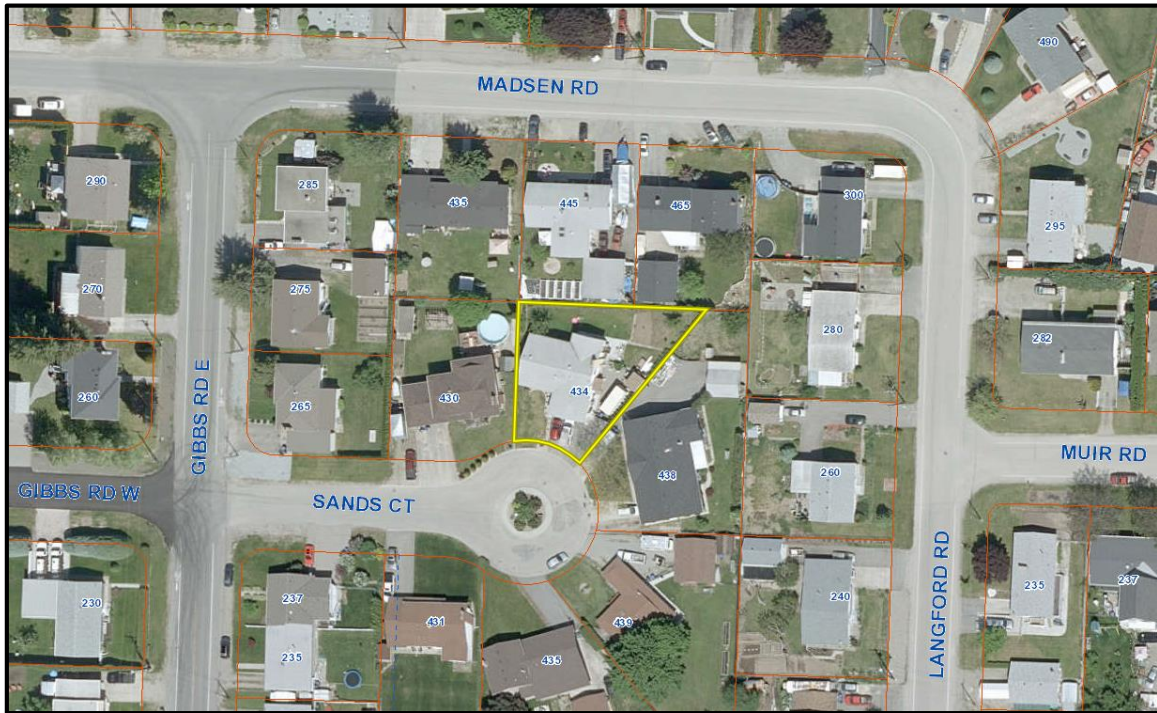


4.3 Site Context

The subject property is located on Sands Court in the City's Rutland Sector. It is approximately 0.21 acres (850 m²) in area and currently has one single detached house. The surrounding area is characterized by single family dwellings.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single Dwelling Housing
East	RU1 – Large Lot Housing	Single Dwelling Housing
South	RU1 – Large Lot Housing	Single Dwelling Housing
West	RU1 – Large Lot Housing	Single Dwelling Housing

Subject Property Map: 434 Sands Court**4.4 Zoning Analysis Table**

Zoning Analysis Table		
CRITERIA	RU ₁ ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Maximum Site Coverage	40 %	< 40 %
Maximum Height	9.5 m / 2 ½ storeys	< 9.5 m / 1 ½ storeys
Minimum Front Yard	6.0 m	7.02 m
Side Yard (east)	2.0 m	< 2.19 m
Side Yard (west)	2.0 m	< 4.51 m
Minimum Rear Yard	7.5 m	3.45 m❶
❶ Indicates a requested variance to vary the required minimum rear yard from 7.5 m permitted to 3.45 m proposed		

5.0 Technical Comments**5.1 Development Engineering Department**

This Development Variance Permit application does not compromise any municipal services.

6.o Application Chronology

Date of Application Received: December 22, 2017

Date Public Consultation Received: February 7, 2018

Report prepared by: Kimberly Brunet, Planner

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development Variance Permit No. DVP18-0001

Attachment "A" – Site Plan, Floor Plans and Elevations

Development Variance Permit

DVP18-0001



This permit relates to land in the City of Kelowna municipally known as

434 Sands Court

and legally known as

Lot 2 Section 26 Township 26 Osoyoos Division Yale District Plan 30432

and permits the land to be used for the following development:

Single Dwelling Housing

with variances to the following section of the Zoning Bylaw No. 8000:

Section 13.1.6(e): RU1 – Large Lot Housing Development Regulations

To vary the required minimum rear yard from 7.5 m permitted to 3.45 m proposed.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: March 6, 2018

Decision By: City Council

Issued Date: March 6, 2018

Development Permit Area: N/A

This permit will not be valid if development has not commenced by March 6, 2020.

Existing Zone: RU1 – Large Lot Housing

Future Land Use Designation: S2RES – Single / Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Daniel Mark Sandberg and Jo-Ann Lyn Sandberg

Applicant: Daniel Mark Sandberg

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Attachment "A";

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None required.

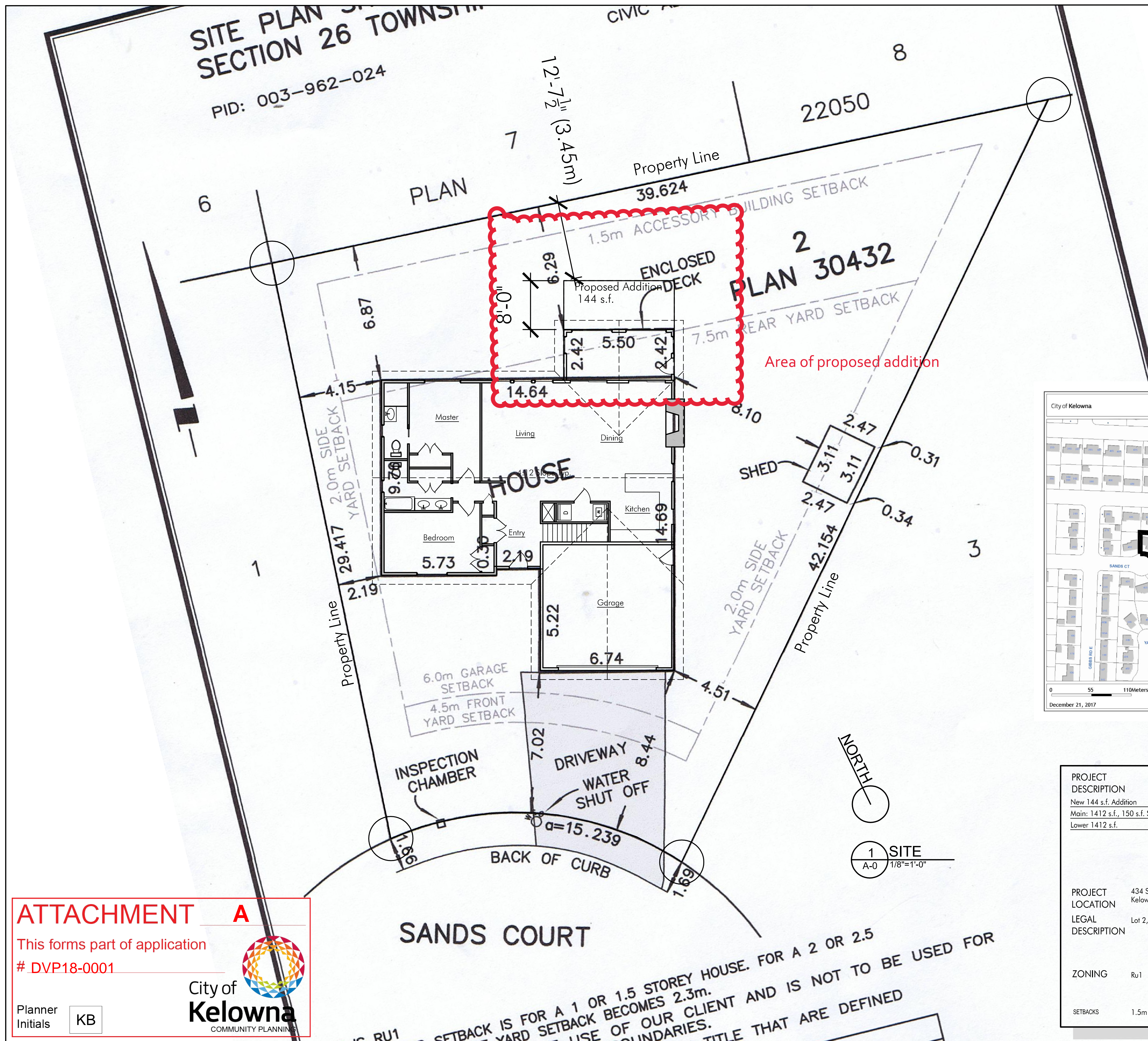
4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

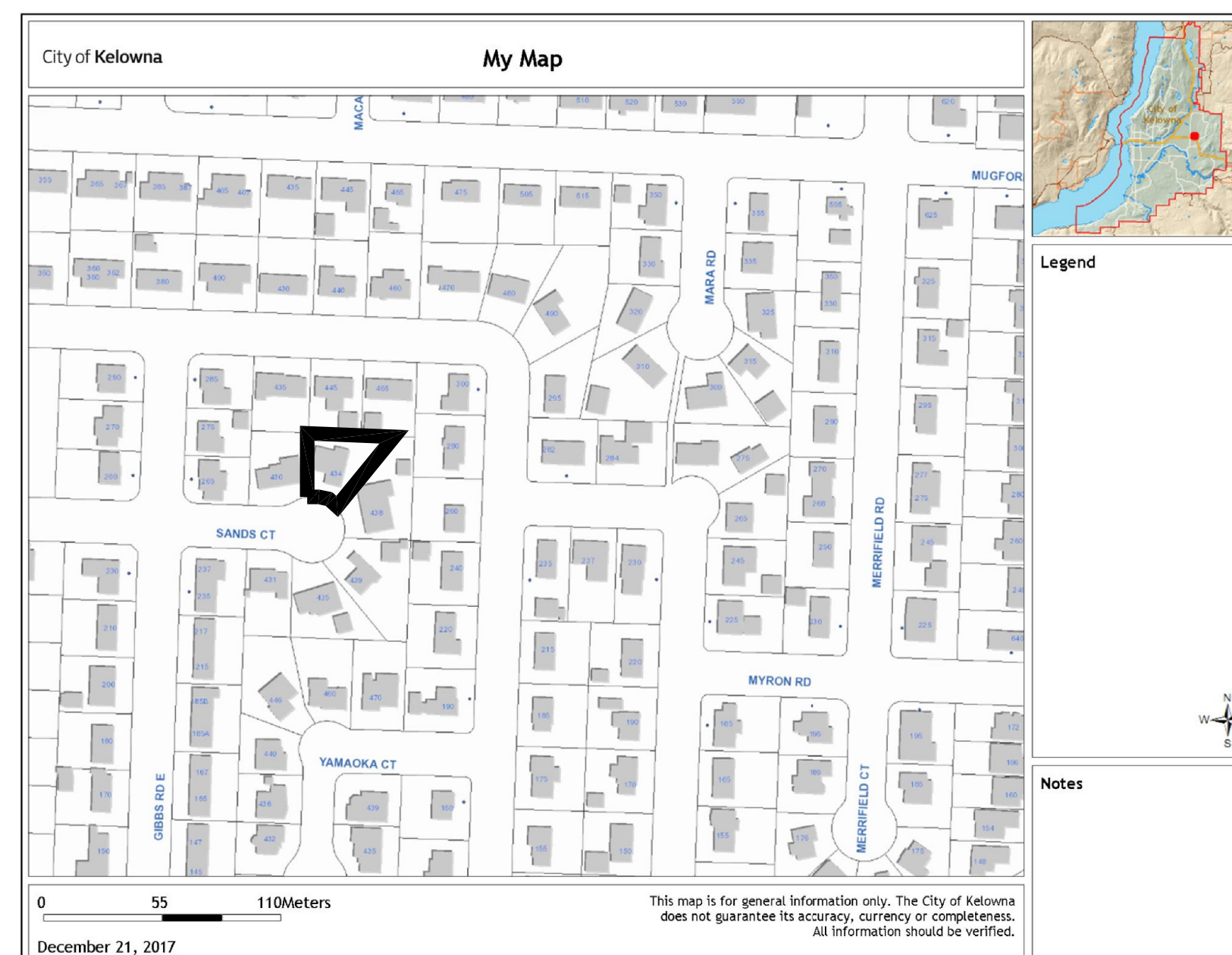
**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**



Drawing List

- A-0 Site Plan
- A-1 Main Plan
- A-1.1 Main Plan Proposed
- A-2 Upper Plan
- A-2.1 Upper Plan Proposed
- A-3 Elevations
- A-3.1 Elevations Proposed
- A-4 Section/ General Notes

Vicinity Map



Project Notes

PROJECT DESCRIPTION		PROJECT DATA	
New 144 s.f. Addition		REQUIRED PARKING	2 Off-street spaces
Main: 1412 s.f., 150 s.f. Sun Room, 448 s.f. Garage		GOVERNING CODES	B.C. Building Code Classification: Group C Single Family Occupancy
Lower 1412 s.f.		BUILDING USES	Part 9 Code Review
		DENSITY	Single Family Residence
		SEPARATE PERMITS	
		TYPE OF CONSTRUCTION	Type V Non-rated
PROJECT LOCATION		LOT COVERAGE	24%
LEGAL DESCRIPTION		HEIGHT/STORIES	Existing Height - No Changes
		SOIL	Compact Fill
ZONING		SEISMIC DESIGN PARAMETERS	N/A
		CODES	B.C. Building code Classification: Group C Single Family Occupancy
SETBACKS			Most Current BC Building Code
			Energy Code Review Provided by Others



434
Sands Court
Kelowna, BC

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Site
Plan

A-0

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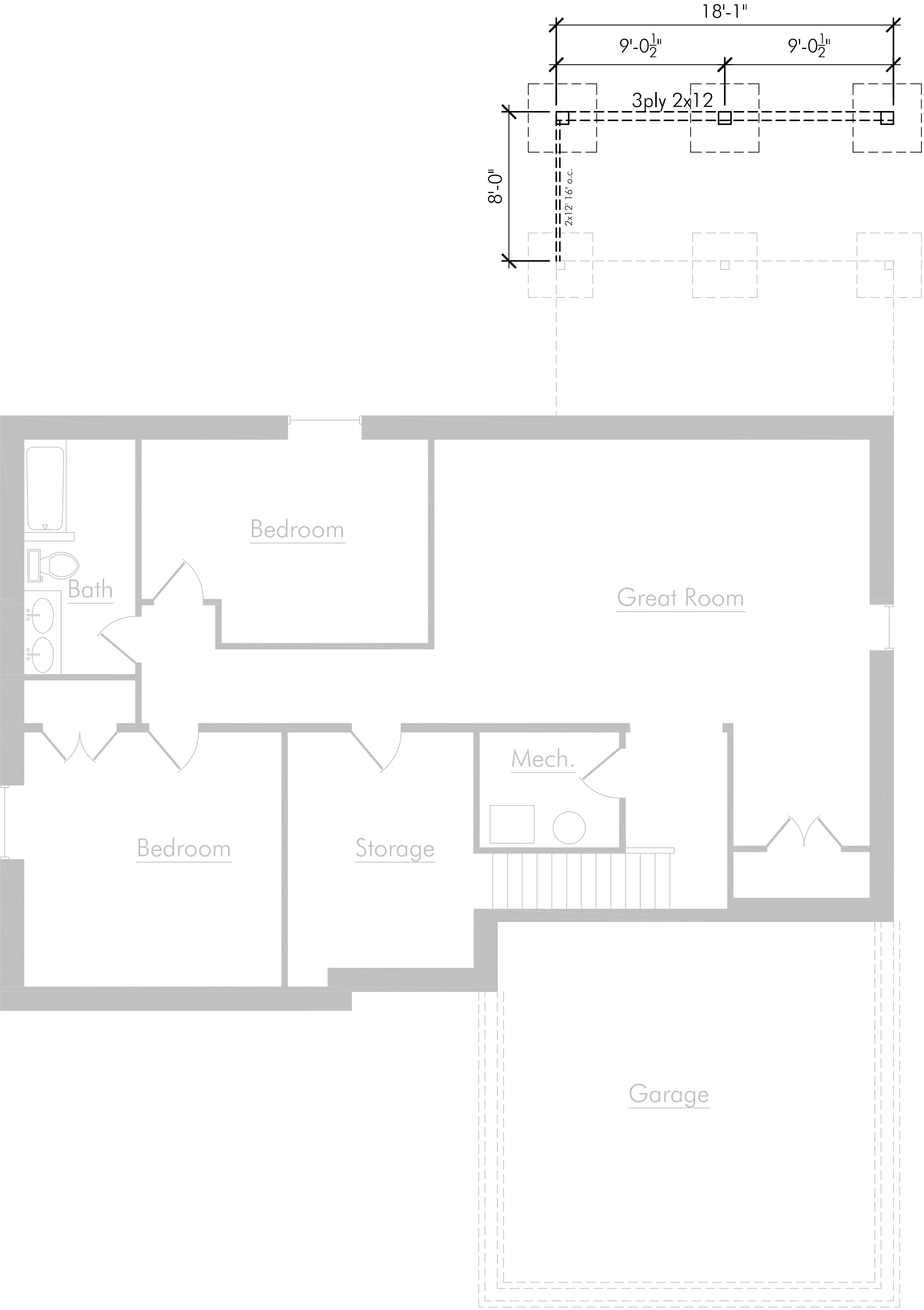
City of
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NORTH

PROPOSED

1
A-1.1 1/4"=1'-0"

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City of Kelowna

COMMUNITY PLANNING

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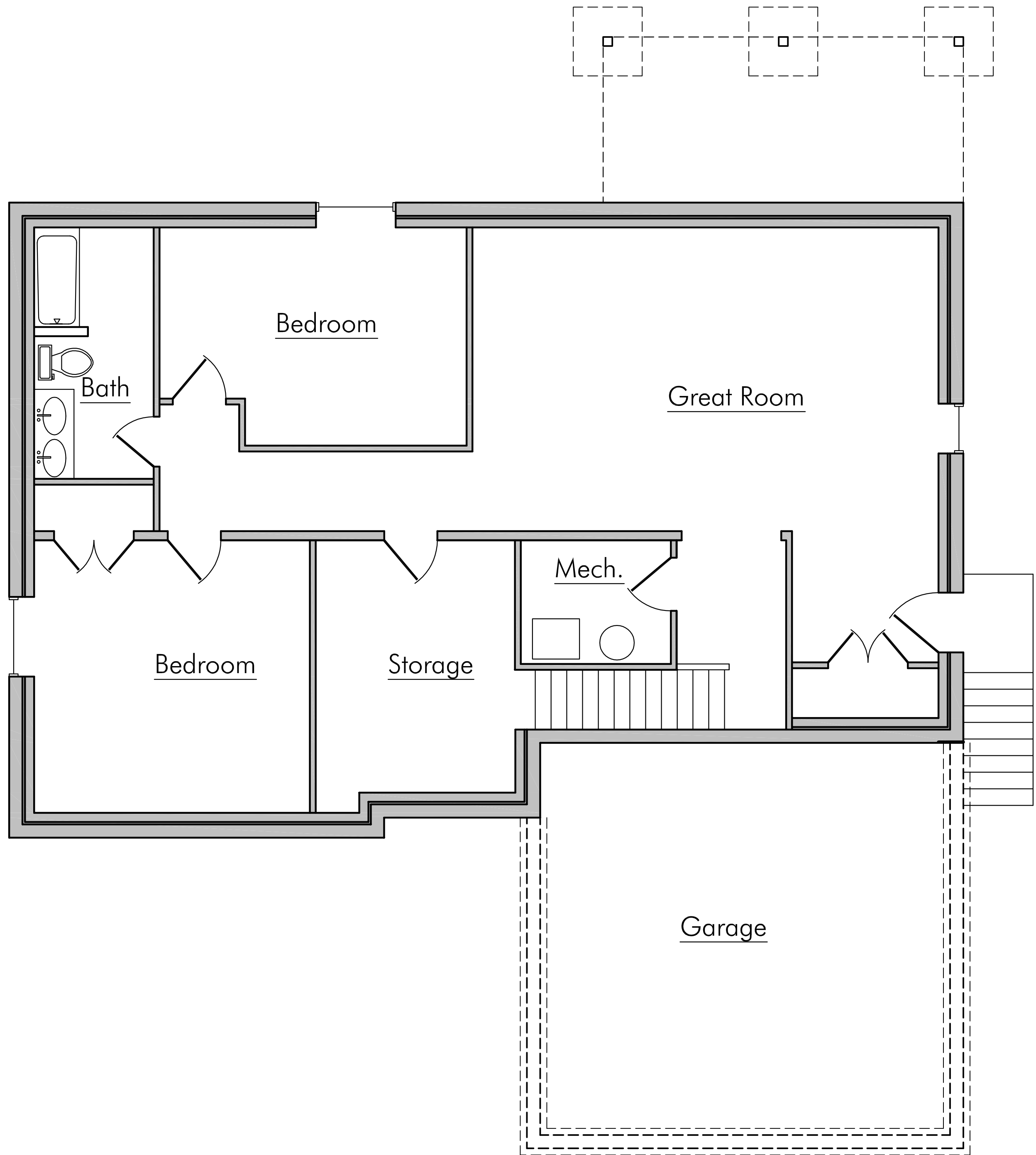
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Drawing Issued 14/12/17
SCALE:

Lower
Plan

A-1



ATTACHMENT A

This forms part of application
DVP18-0001

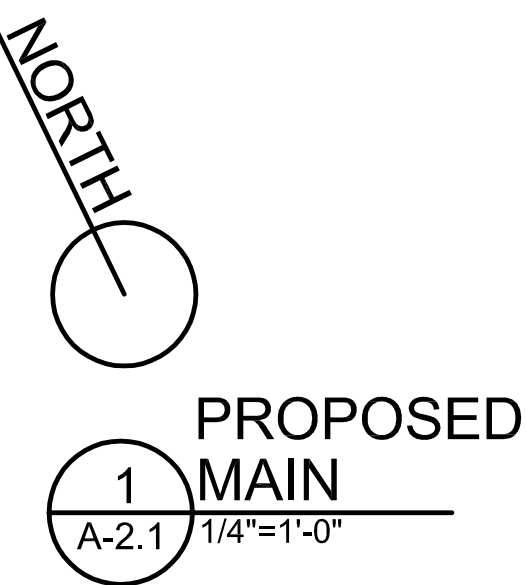
Planner
Initials KB





CUSTOM
RESIDENTIAL
DESIGN

416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
505 750 590



434
Sands Court
Kelowna, BC

DRAWN BY: KJH

PROJECT : 10-17
FILE:

ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Main
Plan
Proposed
A-2.1

ATTACHMENT A

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DVP18-0001



City of Kelowna
COMMUNITY PLANNING

Planner
Initials

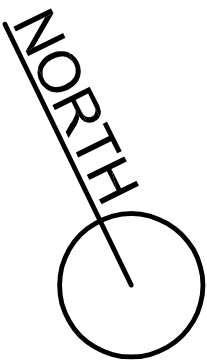
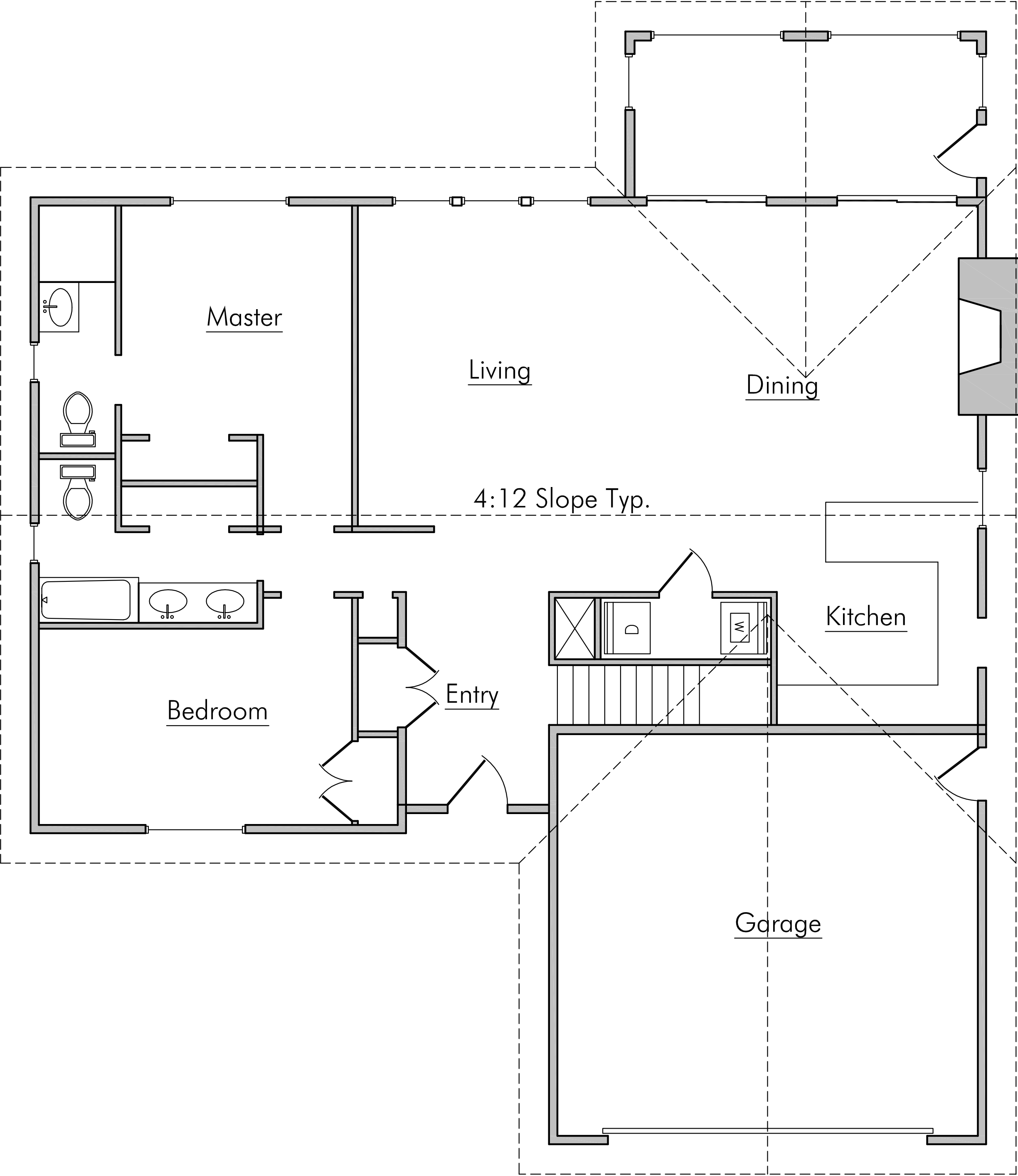
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KH
DESIGNS

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RESIDENTIAL
DESIGN

2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250.575.0590



EXISTING
MAIN
1
A-2 1/4"=1'-0"

ATTACHMENT A

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DVP18-0001

Planner
Initials
KB



434
Sands Court
Kelowna, BC

DRAWN BY: KJH
PROJECT : 10-17
FILE:
ISSUE DATE
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SCALE:

Main
Plan

A-2



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434
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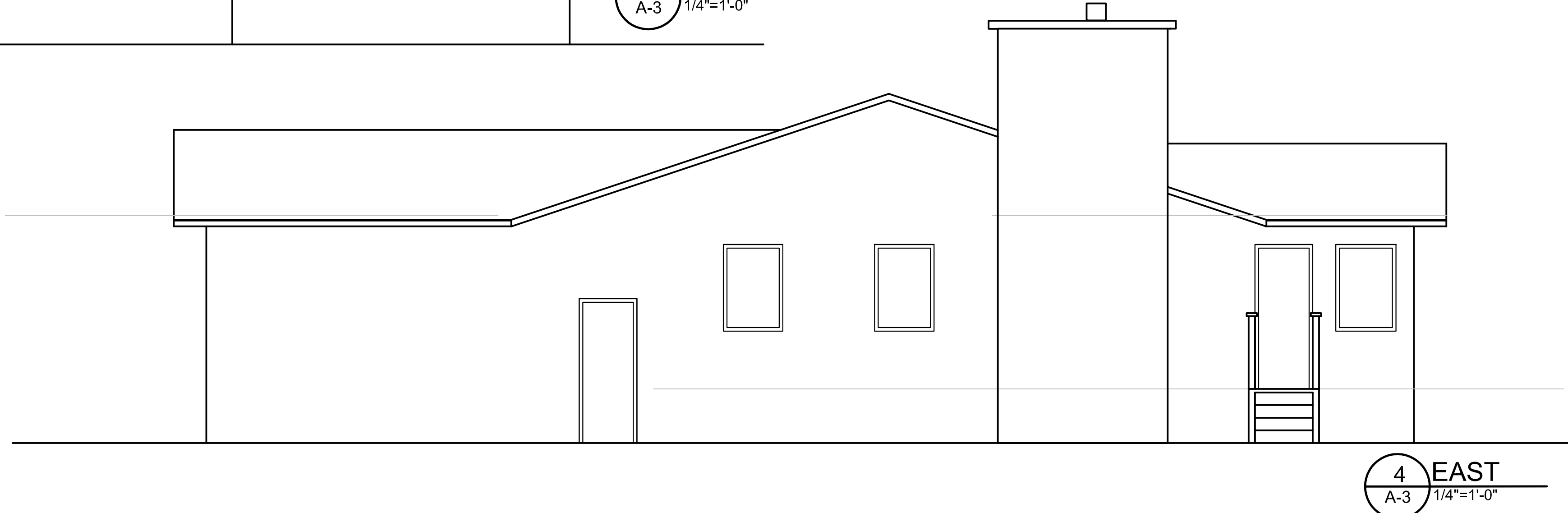
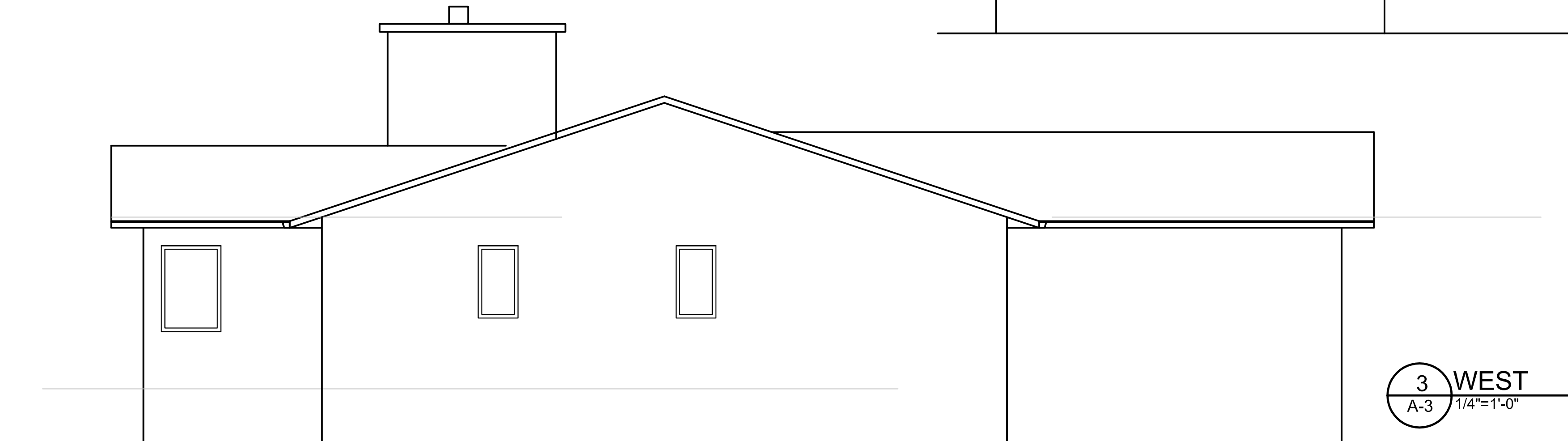
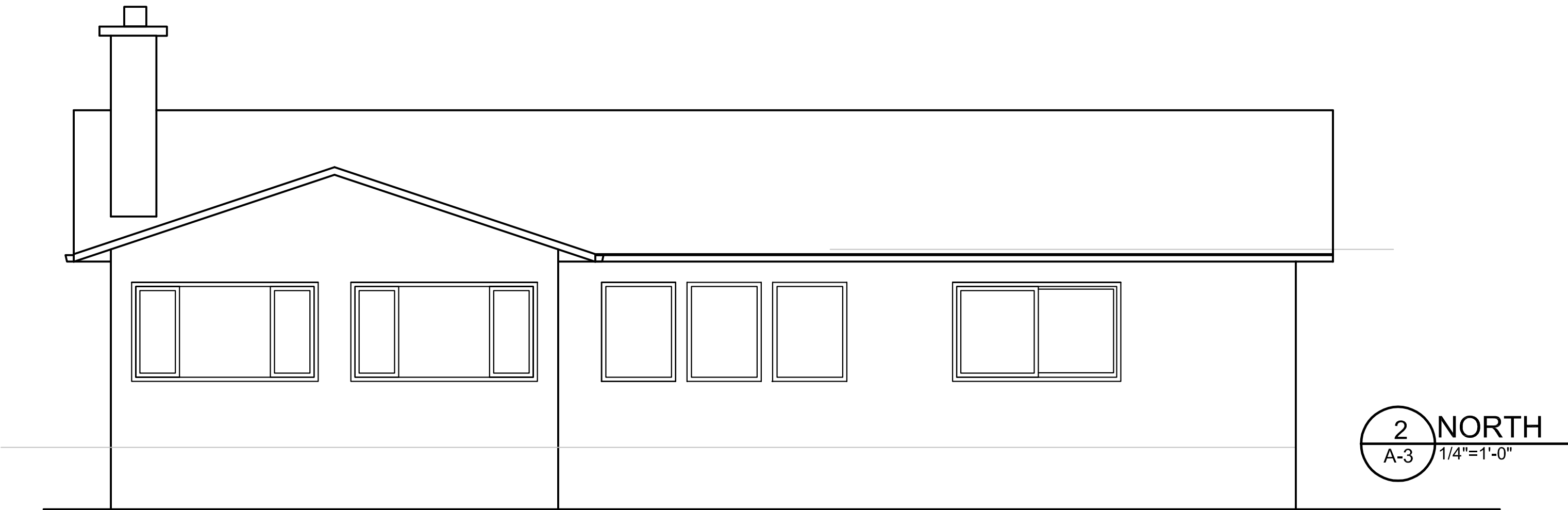
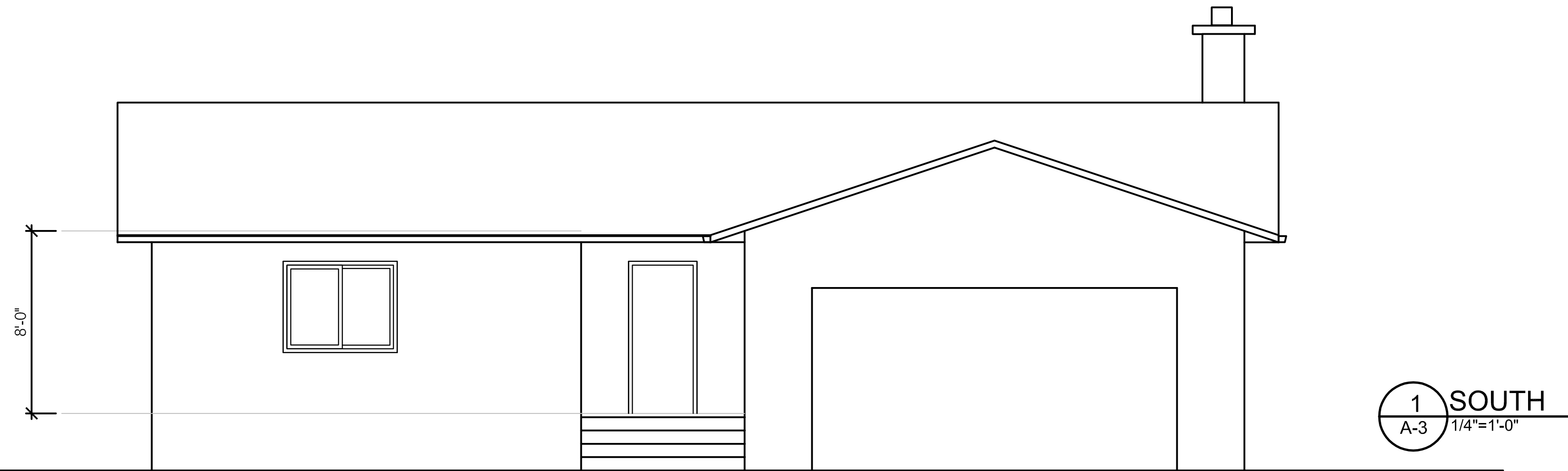
DRAWN BY: KJH

PROJECT : 10-17
FILE:

ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Existing
Elevations

A-3



ATTACHMENT A

This forms part of application
DVP18-0001

Planner
Initials KB





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DESIGNS

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RESIDENTIAL
DESIGN

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West Kelowna BC
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250-575-0590

434
Sands Court
Kelowna, BC

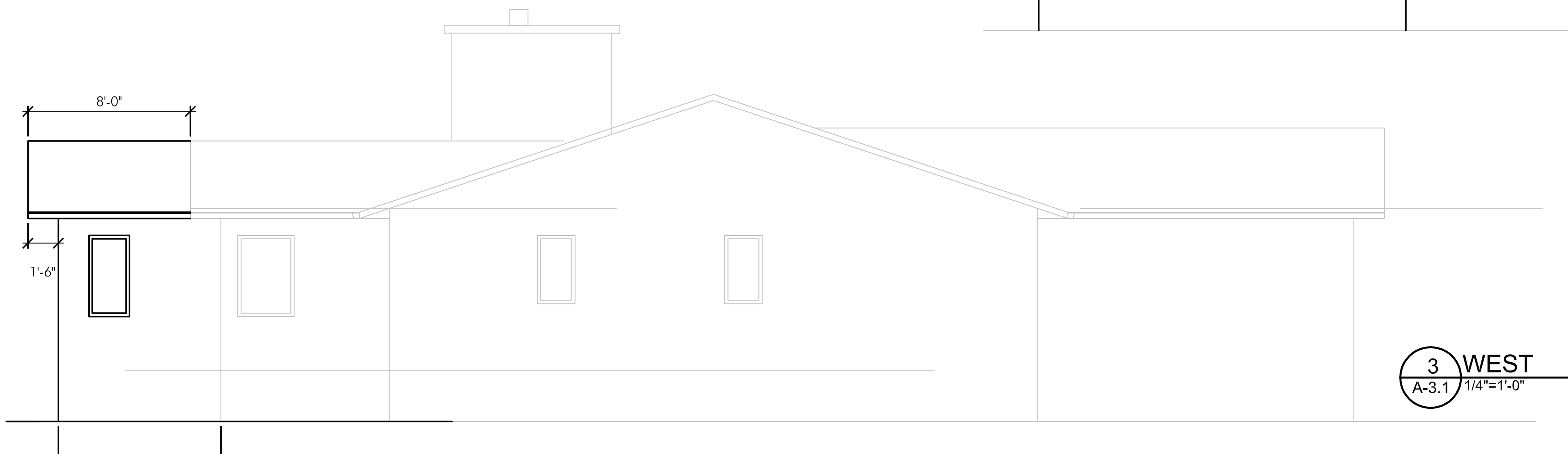
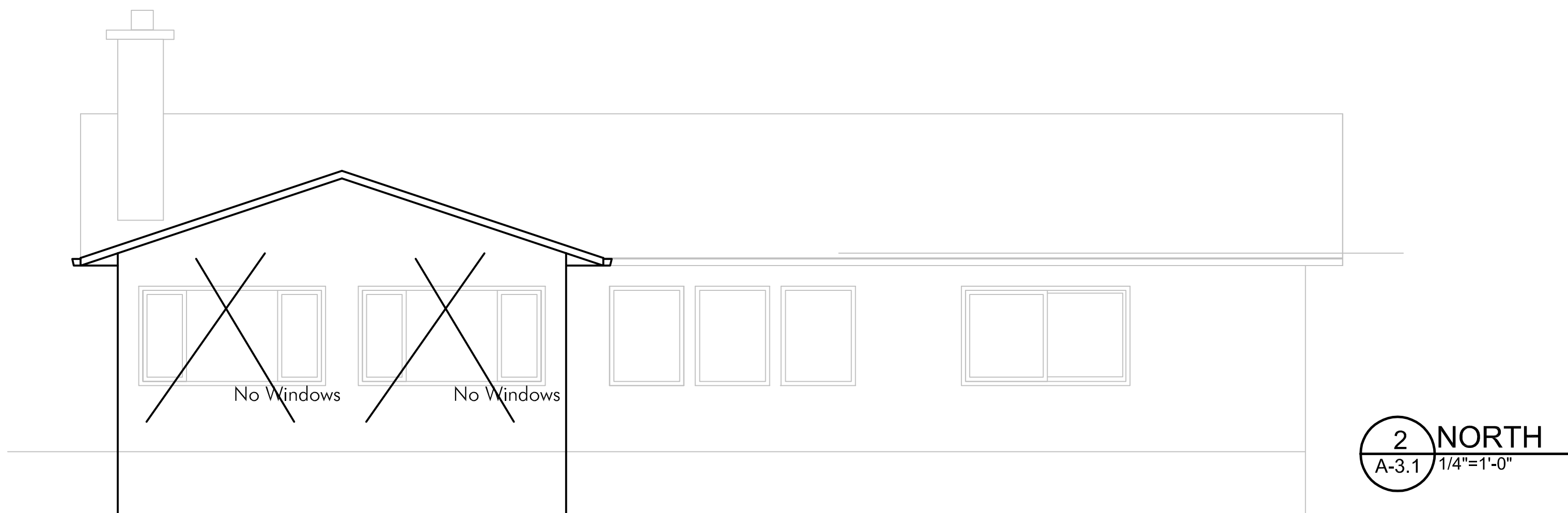
DRAWN BY: KJH

PROJECT : 10-17
FILE:

ISSUE DATE
Drawing Issued 14/12/17
SCALE:

Proposed
Elevations

A-3.1



ATTACHMENT **A**

This forms part of application
DVP18-0001

Planner Initials **KB**

City of Kelowna
COMMUNITY PLANNING

General Notes:

1. Contractor and Subtrades to insure that all workmanship complies with the latest issue of NBC , BCBC, Local Bylaws and regulations

2. This set of drawings is the property of the owner Third Party Transfer is prohibited

3. All concrete strengths shall be specified Mp's after 28 days

4. Double all cripples under load bearing lintels

5. Solid Blocking or Double Joists to be under all parallel partitions over 6' long

6. Solid Blocking in joist cavities under point loads

7. All Exterior Lintels and Load Bearing Beams to be #2 douglas fir or better

8. All Microlams, Glulams and Parallams to be checked and approved by supplier and or structural engineer

9. Actual on-site construction may vary from architectural drawings due to site conditions

10. Flash at all horizontal changes in exterior finishings and caulk around all exterior openings

11. Flash over all unprotected openings

12. Hardwired smoke alarms required to be located in each bedroom and one on Every Level

13. Carbon Monoxide Detector to be located 5m max from every bedroom door

14. Mechanical HVAC checklist to be completed at framing inspection

Specifications:

Truss Roof: 4:12
1/2" c.d. board ceiling
6mil UV poly vapour barrier taped and sealed
r50 Insulation
1/2" plywood sheet
Roofing Felt entire deck
Iko Armour Shake 50 year laminate shingles or Metal Roof
Vented Soffit and upper ridge area

Exterior Walls

2x6 kiln dried studs at 19-3/16" or 24" o.c.
2x8 Kiln Dried Studs @ 16" o.c. at Stair Tower
1/2" Plywood Sheathing
2 layers 30 Tar Paper
Wire Mesh w/ 3/4" Acrylic Stucco
R24 Fibreglass Batt Insulation
6mil UV poly vapour barrier taped and sealed
1/2" Drywall Finish

Main Floor

Finish Floor Material
3/4" Ply /o
2x12's @ 16" o.c.
r28 BAtt Insul
6 mil Poly
2" Rigid Insul



ATTACHMENT

This forms part of application

#_DVP18-0001

Planner Initials

KB

City of Kelowna COMMUNITY PLANNING

GENERAL NOTES

STANDARD NOTES

- THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE PLANS, THE OWNER AND /OR BUILDER ACCEPTS THESE PLANS AS DRAWN AND HAS READ AND UNDERSTANDS THE GENERAL NOTES AS FOLLOWS.
- THIS DRAWING WAS PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT SUBSEQUENT CHANGES TO THE CODE ARE COMPLIED WITH AND INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO THE CURRENT BC BUILDING CODE AND /OR LOCAL BUILDING CODES AND BYLAWS THAT MAY TAKE PRECEDENCE.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- KH DESIGNS INC. SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOAD.
- THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.
- AT END OF CONSTRUCTION THE BUILDER SHALL BE RESPONSIBLE FOR CLEANING THE JOB SITE AND BUILDING(S) OF ANY REFUSE AND MAKING GOOD ANY DAMAGE TO BUILDING(S) INCURRED DURING CONSTRUCTION.
- PRIOR TO COMMENCING EXCAVATION WORK THE BUILDER SHALL BE RESPONSIBLE FOR ESTABLISHING THE LOCATION OF AND CLEARLY MARKING EXISTING SERVICES AND IMMEDIATELY NOTIFYING APPLICABLE AUTHORITIES OF ANY DISCREPANCIES.
- TOPSOIL AND EXCAVATED MATERIAL TO BE STOCKPILES SEPARATELY ON THE SITE.

ERRORS AND OMISSIONS

- KH DESIGNS INC. MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION.
- SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT THE EARLIEST CONVENIENCE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS PURCHASED IN NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM REOCCURRING.

STRUCTURAL DESIGN CRITERIA

- ASSUMED ROOF DESIGN LOAD (LIVE AND DEAD) – 50 POUNDS PER SQUARE FOOT (2.5 KG/M.SQ.)
- ASSUMED SOIL BEARING CAPACITY – 2,500 P.S.F. (119.7 KN/M.SQ.)
- CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS.
- FRAMING LUMBER TO BE #2 S.P.F. AND BETTER UNLESS OTHERWISE NOTED. BEAMS TO BE #2 S.P.F. AND BETTER.

NOTE:

IF SOIL CONDITIONS ARE LESS, OR FLOOR AND ROOF LOADS ARE GREATER THAN THIS PLAN IS DESIGNED FOR, YOUR BUILDING DEPARTMENT MAY REQUIRE ADJUSTMENTS TO THE PLANS OR ASK THAT THE PLANS BE ENGINEERED BY A CERTIFIED STRUCTURAL ENGINEER. IT IS BEST THAT AN ENGINEER FAMILIAR WITH LOCAL CONDITION BE CONSULTED.

SITE PLAN NOTES

- IF A SITE PLAN IS NOT PROVIDED BY KH DESIGNS INC. THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THIS HOME ON THE PROPERTY. KH DESIGNS INC. ASSUMES NO LIABILITY FOR PLANS COMPLYING WITH ZONING REGULATIONS OR LOT CONDITIONS.
- OWNER SHALL SUPPLY ANY MISSING INFORMATION ON SITE PLAN, I.E. DIMENSIONS, ELEVATIONS OF LOT, LEGAL DESCRIPTION, SITE ADDRESS, NORTH DIRECTION, AND LOCATION OF SERVICES, EASEMENTS AND RIGHT OF WAYS. ALL MEASUREMENTS ON SITE PLAN TO BE GOVERNED AND APPROVED BY AUTHORITIES HAVING JURISDICTION BEFORE STARTING CONSTRUCTION.
- WELLS AND SEPTIC DISPOSAL SYSTEMS TO BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH HEALTH AUTHORITIES HAVING JURISDICTION.

ELECTRICAL

- INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH THE BC ELECTRICAL CODE AND REGULATIONS AND WITH THE LOCAL ELECTRIC POWER SUPPLIER'S REGULATIONS IN ALL RESPECTS.
- ELECTRICAL OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNER'S REQUIREMENTS.

FOUNDATIONS

- FOUNDATIONS SHALL BE CONCRETE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE.
- FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28-DAY STRENGTH AND THE FLOOR SYSTEM INCLUDING SHEATHING HAS BEEN INSTALLED OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING HEIGHT LIMITS SPECIFIED BY CURRENT BUILDING CODES REQUIRE ENGINEERING.
- PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED TO THE APPROVAL OF LOCAL AUTHORITIES.
- IT IS RECOMMENDED THAT ALL FOUNDATION WALLS 24" (600 MM) AND HIGHER SHALL HAVE ONE 12 MM (1 /2" DIAMETER) REINFORCING BAR CENTERED 3" FROM TOP CORNER REINFORCING TO BE LAPPED MINIMUM 24".

WOOD FRAMING

- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF PARTITION WALLS UNLESS OTHERWISE NOTED. FACE OF EXTERIOR STUD WALL AND FOUNDATION WALL TO BE FLUSH.
- JOISTS SHALL BE DOUBLED UNDER PARALLEL PARTITIONS OVER 6'-0" LONG. JOISTS TO BE PLACED TO ACCOMMODATE HEATING, PLUMBING, ETC. ALL LINTELS SHALL BE 2 – 2 X 10'S UNLESS OTHERWISE NOTED.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 45 LBS. FELT, 6 MIL POLY OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE WITH 1 /2" DIAMETER ANCHOR BOLTS AT MAXIMUM 6'-0" O/C. OR OTHER APPROVED METHOD. EXTERIOR CONCRETE SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.
- FLOOR JOISTS AND ROOF JOISTS WITH SPANS MORE THAN 7'-0" SHALL BE CROSSBRIDGED AT MID SPAN OR AT 7'-0" O/C. MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD. BRIDGING SHALL BE 2 X 2 DIAGONAL TYPE WHEREVER POSSIBLE.
- ROOF TRUSSES REQUIRE ENGINEER'S CERTIFICATE. FOR PREFABRICATED TRUSSES OBTAIN CERTIFICATE FROM MANUFACTURER.

INSULATION AND VENTILATION

- MINIMUM INSULATION REQUIREMENTS:

ROOF (ATTIC)	R-44	(R.S.I. – 7.0)
ROOF / CEILING (SLOPING)	R-14	(R.S.I. – 2.45)
WALLS	R-20	(R.S.I. – 3.5)
INSULATION REQUIREMENTS 4500 DEGREE DAYS OR GREATER	R-44	(R.S.I. – 7.7)
	R-22	(R.S.I. – 3.85)
- 6 MIL ULTRAVIOLET RESISTANT POLY AIR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF INSULATION.
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ATTIC SPACE AND OVERHANG SOFFIT.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1 /300 OF AREA. UNHEATED CRAWL SPACES TO BE VENTED MINIMUM OF 1 /500 OF AREA WITH CLOSEABLE VENTS.

FINISHING

- OWNER SHALL SPECIFY ALL INTERIOR AND EXTERIOR FINISHING. OWNER SHALL CONFIRM ANY FINISHING SHOWN ON PLANS.
- EXTERIOR DOORS SHALL BE SOLID CORE / INSULATED AND WATER STRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING. FLASH AT ALL HORIZONTAL CHANGES IN EXTERIOR FINISHING AND CAULK AROUND ALL EXTERIOR OPENINGS. FLASH OVER ALL UNPROTECTED OPENINGS.
- WINDOW SIZES ARE SHOWN IN FEET AND INCHES. I.E. 43 X 36 = 4' – 0" WIDE BY 3' – 6" HIGH. DOOR SIZES ARE WIDTH SHOWN BY 6' – 8" HIGH. I.E. 28 X 68 = 2'-8" WIDE BY 6' – 8" HIGH.
- OPENINGS IN PARTITIONS SHOWN WITHOUT DOORS ARE FULL HEIGHT UNLESS SHOWN AS AN ARCH. ARCHES ARE FRAMED 7' – 0" HIGH UNLESS OTHERWISE NOTED.
- COAT AND CLOTHES CLOSETS SHALL HAVE ONE ROD AND SHELF. LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES WHERE POSSIBLE. BROOM CLOSETS SHALL HAVE ONE SHELF.
- ALL BATHROOMS SHALL HAVE A WALL MEDICINE CABINET OR ONE LOCKABLE DRAWER.

HEATING

- INSTALLATION OF ENTIRE HEATING SYSTEM MUST COMPLY WITH MANUFACTURER'S DIRECTIONS (WHERE APPLICABLE) AND CONFORM TO LOCAL CODES AND REGULATIONS IN ALL RESPECTS.
- GAS CONNECTION WILL REQUIRE SEPARATE PERMIT AND INSPECTION.
- FUEL BURNING APPLIANCES, INCLUDING FURNACES, FIREPLACES AND STOVES, TO BE PROVIDED WITH COMBUSTION AIR SUPPLY FROM EXTERIOR.

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KH DESIGNS INC.

CUSTOM RESIDENTIAL DESIGN

2416 Mountains Hollow Lane
West Kelowna BC
V4T 3H5
250.575.0590

5820
Farmers Drive
Ellison, BC

DRAWN BY: KJH

PROJECT : 17-20
FILE:

ISSUE DATE
Drawing Issued 6/02/17
SCALE:

Sections/
General
Notes

A-4