

City of Kelowna

Regular Council Meeting

AGENDA



Tuesday, February 20, 2018

6:00 pm

Council Chamber

City Hall, 1435 Water Street

Pages

1. **Call to Order**
2. **Reaffirmation of Oath of Office**
The Oath of Office will be read by Councillor Stack.
3. **Confirmation of Minutes** 1 - 13
Public Hearing - February 6, 2018
Regular Meeting - February 6, 2018
4. **Bylaws Considered at Public Hearing**
 - 4.1 **Eldorado Rd 485, BL11544 (Z17-0085) - Chris and Shanna Roworth** 14 - 14
To give Bylaw No. 11544 second and third readings and adopt in order to rezone the subject property from the RU1 - Large lot Housing zone to the RU2 - Medium Lot Housing zone.
 - 4.2 **Knowles Rd 504, BL11545 (Z17-0095) - David and Jennifer Rolleston** 15 - 15
To give Bylaw No. 11545 second and third readings and adopt in order to rezone the subject property from the RU1 - Large Lot Housing zone to the RU2 - Medium Lot Housing zone.
 - 4.3 **Taylor Rd 255, BL11547 (Z17-0092) - 0725353 BC Ltd Inc** 16 - 16
To give Bylaw No. 11547 second and third readings in order to rezone the subject property from the RU1-Large Lot Housing zone to the RM3 - Medium Lot Housing zone.
 - 4.4 **Barton St 4658, Z17-0115 (BL11549), Jason and Vicki Dreger** 17 - 17
To give Bylaw No. 11549 second and third readings and adopt in order to rezone the subject property from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.

4.5 Bath St 2630, Z17-0108 (BL11550) - Greencorp Ventures Inc. 18 - 18

To give Bylaw No. 11550 second and third readings in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RM3 – Low Density Multiple Housing zone.

4.6 Shanks Rd 4085 & 4133, TA18-0001 (BL11551) - Geen Family Holdings Ltd 19 - 20

To give Bylaw No. 11551 second and third readings in order to allow temporary farm worker housing to accommodate a maximum of 140 temporary farm workers and to allow a temporary farm worker housing footprint of 0.7oha on the subject properties.

5. Notification of Meeting

The City Clerk will provide information as to how the following items on the Agenda were publicized.

6. Development Permit and Development Variance Permit Reports

6.1 Queensway Ave 289 DP17-0191 DVP17-0192 - Westcorp Projects 21 - 122

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider staff non-support of a Development Permit for the Form & Character Development Permit of a 33 storey hotel & luxury condo tower project with two levels of underground parking and a mixed-use 6 storey podium. To consider staff non-support of a Development Variance Permit for four variances related to the maximum building height, podium height & size regulations as well as to consider a reduction in the number of loading stalls.

6.2 Poplar Point Dr 380, DVP17-0254 - Darlene Ramsay 123 - 132

To obtain approval for a Development Variance Permit to vary the Okanagan Lake Sight Lines Regulation to allow for construction of a new house on the subject property.

6.3 St Paul St 1350, DVP17-0280 - Sole Downtown Developments Ltd Inc No BC1057689 133 - 145

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To vary the number and height of identification and fascia signs on the subject property.

6.4 Academy Way 695, DVP18-0002 - Watermark Developments Ltd Inc No BCo642787 146 - 164

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To vary the maximum height from 3 storeys (permitted) to 3 ½ storeys (proposed) for a multi-family apartment building project.

6.5 Academy Way 655, DP18-0003 DVP18-0004 - Watermark Developments Ltd Inc No BCo642787 165 - 190

City Clerk to state for the record any correspondence received. Mayor to invite anyone in the public gallery who deems themselves affected by the required variance(s) to come forward.

To consider the form and character of a 3 ½ storey apartment building on Academy Way known as 'U Seven' and to consider a Development Variance Permit to vary the maximum height from 3 storeys (permitted) to 3 ½ storeys (proposed).

7. Reminders

8. Termination



City of Kelowna Public Hearing Minutes

Date: Tuesday, February 6, 2018
 Location: Council Chamber
 City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Gail Given, Tracy Gray, Charlie Hodge, Brad Sieben, Mohini Singh* and Luke Stack

Staff Present Acting City Manager, Doug Gilchrist; City Clerk, Stephen Fleming, Community Planning Department Manager, Ryan Smith; Planner Emily Williamson; Planner Specialist, Adam Cseke; Legislative Coordinator (Confidential), Arlene McClelland

(*Denotes partial attendance)

1. Call to Order

Mayor Basran called the Hearing to order at 6:01 p.m.

Mayor Basran advised that the purpose of the Hearing is to consider certain bylaws which, if adopted, will amend "Kelowna 2030 - Official Community Plan Bylaw No. 10500" and Zoning Bylaw No. 8000", and all submissions received, either in writing or verbally, will be taken into consideration when the proposed bylaws are presented for reading at the Regular Council Meeting which follows this Public Hearing.

2. Notification of Meeting

The City Clerk advised that Notice of this *Public Hearing* was advertised by being posted on the Notice Board at City Hall on Tuesday, January 23, 2018 and by being placed in the Kelowna Daily Courier issues on Friday January 26 and Wednesday, January 31 and by sending out or otherwise mailing 310 statutory notices to the owners and occupiers of surrounding properties on Tuesday, January 23, 2018.

The correspondence and/or petitions received in response to advertising for the applications on tonight's agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

3. Individual Bylaw Submissions

3.1 OCP Amendment OCP17-0027 (BL11527) & Rezoning Application Z17-0107 (BL11536) – Boundaries Amendments

Councillor Singh declared a conflict of interest as one of the impacted properties is in her immediate neighbourhood and departed the meeting at 6:04 p.m.

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letter of Comment:

Ken Cappos, Casorso Rd (3 letters & speech)

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

No one from the Gallery came forward.

There were no further comments

Councillor Singh rejoined the meeting at 6:08 p.m.

3.2 McIntosh Rd 360, Dougall Rd N 345 & 365 Z17-004.1 (BL11528) - Unik-Town Development Inc.

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letter in Support:

Len Suchocki, Chriscan Construction, Spiers Rd.

Letter of Concern:

Ken Cappos, Casorso Rd

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Pat Yang, Pacific West Architecture, Applicant

- Displayed a PowerPoint Presentation.
- The subject property is located in the Rutland Urban Centre which makes it an ideal site for increasing density.
- The new building and increasing number of population will give more benefits to the business and services in the Rutland Urban Centre.
- Believes this project will be one more reason to make the Rutland Urban Centre a more healthy and inclusive community.
- By increasing the density this project will help to create compact urban form to maximize the use of existing infrastructure and contribute to energy efficient settlement patterns.
- This building will be a sensitive project by reflecting the character of the neighbourhood and respecting of design, height and siting.
- Spoke to the positive walk and transit score rating.
- Made comment on the landscape plan for the project.

Gallery:

Eileen Martell, Dougall Road

- Current renter of one of these properties for several years and inquired if there would be any assistance for current renters who will be displaced by this rezoning application.

Pierre Martell, Dougall Road

- A long time renter of one of these properties; raised concerns with being displaced.

Pat Yang, Pacific West Architecture, Applicant

- Responded to questions from Council.
- Confirmed that he is the Architect and not the property owner.
- Agreed to pass along to the owner that rules governing tenants impacted by redevelopment are under Provincial jurisdiction.

There were no further comments

3.3 Lakeshore Rd 5076, LUCT16-0001 (BL11529) & Z16-0027 (BL11531) - Stewart Storie and Gloria Heung

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letter of Concern:

Ken Cappos, Casorso Rd

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was not present.

No one from the Gallery came forward.

There were no further comments

3.4 DeHart Rd 644, Z17-0097 (BL11533) - Ricardo & Patricia Tomic

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letter of Concern:

Ken Cappos, Casorso Rd

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the Gallery came forward.

There were no further comments.

3.5 Glenmore Rd 621, Z17-0106 (BL11535) - Mehdi Tehrani & Mandana Ghanyei

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence had been received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the Gallery came forward.

There were no further comments.

3.6 Rutland Rd N 1308 & 1324, Z17-0047 (BL11537) - 1121911 BC Ltd

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letter in Support:

Ken Cappos, Casorso Rd

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the Gallery came forward.

There were no further comments.

3.7 Moberly Rd 3439, Z17-0090 (BL11538) - Steven and Colleen Hall

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence had been received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the Gallery came forward.

There were no further comments.

3.8 Christleton Ave 344, Z17-0102 (BL11539) - Christopher and Sara Eddy

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence had been received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was not present.

There were no further comments.

3.9 Maple St 1847, Z17-0070 (BL11541) - Robert and Marianne Law

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letter of Concern:

Ken Cappos, Casorso Rd

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was not present.

No one from the Gallery came forward.

There were no further comments.

3.10 Pitcairn Ct 911, Z17-0084 (BL11542) - Glen and Charmaine Manlove

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that the following correspondence was received:

Letter of Opposition:

Ken Cappos, Casorso Rd

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was present and available for questions.

No one from the Gallery came forward.

There were no further comments.

3.11 Treadgold Ct 5059, Z17-0029 (BL11543) - Travis Shipka

Staff:

- Displayed a PowerPoint Presentation summarizing the application.

The City Clerk advised that no correspondence had been received.

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was not present.

No one from the Gallery came forward.

There were no further comments.

4. **Termination**

The Hearing was declared terminated at 6:43 p.m.

Mayor Basran

/acm

City Clerk

DRAFT



City of Kelowna Regular Council Meeting Minutes

Date: Tuesday, February 6, 2018
Location: Council Chamber
City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Gail Given, Tracy Gray, Charlie Hodge, Brad Sieben*, Mohini Singh* and Luke Stack

Staff Present Acting City Manager, Doug Gilchrist; City Clerk, Stephen Fleming, Community Planning Department Manager, Ryan Smith; Planner Emily Williamson; Planner Specialist, Adam Cseke; Legislative Coordinator (Confidential), Arlene McClelland

(* Denotes partial attendance)

1. Call to Order

Mayor Basran called the meeting to order at 6:43 p.m.

2. Reaffirmation of Oath of Office

The Oath of Office was read by Councillor Singh.

3. Confirmation of Minutes

Moved By Councillor Hodge/Seconded By Councillor Gray

R132/18/02/06 THAT the Minutes of the Regular Meeting of January 23, 2018 be confirmed as circulated.

Carried

4. Bylaws Considered at Public Hearing

4.1 Various Addresses, BL11527 (OCP17-0027) - City of Kelowna

Councillor Singh declared a conflict of interest for items 4.1 and 4.2 as one of the impacted properties is in her immediate neighbourhood and departed the meeting at 6:45 p.m.

Moved By Councillor Gray/Seconded By Councillor Hodge

R133/18/02/06 THAT Bylaw No. 11527 be read a second and third time.

Carried

4.2 Various Addresses, BL11536 (Z17-0107) - City of Kelowna

Moved By Councillor Hodge/Seconded By Councillor Gray

R134/18/02/06 THAT Bylaw No. 11536 be read a second and third time.

Carried

Councillor Singh rejoined the meeting at 6:46 pm

4.3 McIntosh Rd 360, Dougall Rd N 345 & 365 - BL11528 (Z17-0041) - Unik-Town Development Inc.

Moved By Councillor Gray/Seconded By Councillor Hodge

R135/18/02/06 THAT Bylaw No. 11528 be read a second and third time.

Carried

4.4 Lakeshore Rd 5076, BL11529 (LUCT16-0001) - Stewart Storie and Gloria Heung

Moved By Councillor Given/Seconded By Councillor Donn

R136/18/02/06 THAT Bylaw No. 11529 be read a second and third time and be adopted.

Carried

4.5 Lakeshore Rd 5076, BL11531 (Z16-0027) - Stewart Storie and Gloria Heung

Moved By Councillor Donn/Seconded By Councillor Given

R137/18/02/06 THAT Bylaw No. 11531 be read a second and third time and be adopted.

Carried

4.6 DeHart Rd 644, BL11533 (Z17-0097) - Ricardo & Patricia Tomic

Moved By Councillor Given/Seconded By Councillor Donn

R138/18/02/06 THAT Bylaw No. 11533 be read a second and third time.

Carried

4.7 Glenmore Rd 621, BL11535 (Z17-0106) - Mehdi Tehrani and Mandana Ghanyei

Moved By Councillor Stack/Seconded By Councillor DeHart

R139/18/02/06 THAT Bylaw No. 11535 be read a second and third time.

Carried

4.8 Rutland Rd N 1308 & 1324, BL11537 (Z17-0047) - 1121911 BC Ltd

Moved By Councillor DeHart/Seconded By Councillor Stack

R140/18/02/06 THAT Bylaw No. 11537 be read a second and third time.

Carried

4.9 Moberly Rd 3439, BL11538 (Z17-0090) - Steven and Colleen Hall

Moved By Councillor Stack/Seconded By Councillor DeHart

R141/18/02/06 THAT Bylaw No. 11538 be read a second and third time and be adopted.

Carried

4.10 Christleton Ave 344, BL11539 (Z17-0102) - Christopher and Sara Eddy

Moved By Councillor DeHart/Seconded By Councillor Stack

R142/18/02/06 THAT Bylaw No. 11539 be read a second and third time.

Carried

4.11 Maple St 1847, BL11541 (Z17-0070) - Robert and Marianne Law

Moved By Councillor Stack/Seconded By Councillor Singh

R143/18/02/06 THAT Bylaw No. 11541 be read a second and third time.

Carried

4.12 Pitcairn Ct 911, BL11542 (Z17-0084) - Glen and Charmaine Manlove

Moved By Councillor DeHart/Seconded By Councillor Singh

R144/18/02/06 THAT Bylaw No. 11542 be read a second and third time.

Carried

4.13 Treadgold Ct 5059, BL11543 (Z17-0029) - Travis Shipka

Moved By Councillor DeHart/Seconded By Councillor Singh

R145/18/02/06 THAT Bylaw No. 11543 be read a second and third time.

Carried

5. Notification of Meeting

The City Clerk advised that Notice of Council's consideration of these Development Variance Permit Applications was given by sending out or otherwise mailing 184 statutory notices to the owners and occupiers of surrounding properties on Tuesday, January 23, 2018.

Notice of these Liquor Primary Licences were advertised by being posted on the Notice Board at City Hall on Tuesday, January 23, 2018, and by being placed in the Kelowna Daily Courier issues on Friday, January 26 and Wednesday, January 31 and by sending out or otherwise

mailing 23 statutory notices to the owners and occupiers of surrounding properties on Tuesday, January 23, 2018.

The correspondence and/or petitions received in response to advertising for the applications on tonight's Agenda were arranged and circulated to Council in accordance with Council Policy No. 309.

6. Liquor License Application Reports

6.1 Richter St 1033, LL17-0018 - Cellar-Tek Developments Ltd

Councillor Sieben declared a perceived conflict of interest as he has an interest in a brewery in proximity of the subject property and departed the meeting at 7:02 p.m.

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letter of Conditional Support:
Ken Cappos, Casorso Rd

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

The Applicant was not present.

No one from the Gallery came forward.

Staff:

- Responded to questions from Council.

There were no further comments.

Moved By Councillor Given/Seconded By Councillor Donn

R146/18/02/06 THAT Council directs Staff to forward the following recommendation to the Provincial Liquor Control and Licensing Branch (LCLB):

In accordance with Section 53 of the *Liquor Control and Licensing Regulation* and Council Policy #359, BE IT RESOLVED THAT:

Council recommends support of an application from Matthew Jewell (Omen Brewing Co. Ltd.) located at 1033 Richter St., Kelowna, BC, legally described as Parcel B (being a consolidation of lots 41 and 42, see LB35641), Section 30, Township 26, ODYD, Plan 1014, for a manufacturer lounge and special event area endorsement from '10:00 AM to 10:00 PM Monday to Sunday. That Council's comments on the prescribed considerations are as follows:

- (a) The potential for noise if the application is approved;

The potential impact for noise is minimal and would be compatible with surrounding land uses.

- (b) The impact on the community if the application is approved;

The potential for negative impacts is considered to be minimal.

THAT Council's comments on the view of residents are as contained within the minutes of the meeting at which the application was considered by Council. The methods used to gather views of residents were as per Council Policy #359 "Liquor Licensing Policy and Procedures".

Carried

Councillor Sieben rejoined the meeting at 7:16 p.m.

7. Development Permit and Development Variance Permit Reports

7.1 Ethel St 1740, Z16-0081 (BL11353) - New Town Services Inc.

Moved By Councillor Hodge/Seconded By Councillor Gray

R147/18/02/06 THAT Bylaw No. 11353 be amended at third reading to update bylaw title and legal description.

Carried

Moved By Councillor Hodge/Seconded By Councillor Gray

R148/18/02/06 THAT Bylaw No. 11353 as amended be adopted.

Carried

7.2 Ethel St 1740, DP16-0289 & DVP16-0290 - New Town Services Inc.

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

The City Clerk advised that the following correspondence was received:

Letter of Opposition:

Harvey Benson, Cameron Ave

Letter in Support:

Ken Cappos, Casorso Rd

Form Letters of Opposition:

A & A Ventures, Saucier Ave
Alice Klempner, Saucier Ave
Manhattan Ventures Inc., Saucier Ave
Nola Klempner, Saucier Ave
John Klempner, Saucier Ave

Mayor Basran invited anyone in the public gallery who deemed themselves affected to come forward, followed by comments of Council.

Keith Funk, Newtown Planning Services, Applicant

- Displayed a PowerPoint Presentation, re: Ethel Street Redevelopment
- Spoke to the surrounding context and that this project is sensitive to the surrounding community.
- The built form is consistent with the surrounding properties and the intent of the Official Community Plan.
- This project provides diverse housing mix.
- Commented that the high ground water table creates construction challenges.
- Spoke to the reasons for the variances requested this evening.
- Made comment that there will be an over-supply in bicycles parking stalls.

- Advised that there are no parking variances being sought.
- An Arborist has been retained to advise on maintaining the heritage tree on site during construction.
- Aware of and sensitive to the concerns of the neighbours on Saucier Avenue.

No one from the Gallery came forward.

There were no further comments

Moved By Councillor Donn/Seconded By Councillor Hodge

R149/18/02/06 THAT Rezoning Bylaw No. 11353 be amended at third reading to revise the legal description of the subject properties from Lot 2 District Lot 138 ODYD Plan 1942 and Lot 3 District Lot 138 ODYD Plan 1942 to Lot 1 District Lot 138 ODYD Plan EPP71627;

AND THAT final adoption of Rezoning Bylaw No. 11353 be considered by Council;

AND THAT Council authorizes the issuance of Development Permit No. DP16-0289 for Lot 1 District Lot 138 ODYD Plan EPP71627, located at 1940 Ethel Street, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 13.11.6(b): RM5 – Medium Density Multiple Housing Development Regulations

To vary the required maximum site coverage from 40% permitted to 45% proposed and the maximum site coverage of buildings, driveways, and parking areas from 65% permitted to 73% proposed;

Section 13.11.6(d): RM5 – Medium Density Multiple Housing Development Regulations

To vary the required minimum site front yard from 6.0 m permitted to 1.5 m proposed;

Section 13.11.6(e): RM5 – Medium Density Multiple Housing Development Regulations

To vary the required minimum site side yard from 6.0 m permitted to 1.5 m proposed;

Section 13.11.6(f): RM5 – Medium Density Multiple Housing Development Regulations

To vary the required minimum site rear yard from 9.0 m permitted to 7.0 m proposed;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

8. Reminders

Mayor Basran requested the Community Planning Department Manager provide comments on yesterday's Provincial announcement regarding cannabis.

Staff:

- Advised that a Policy discussion with Council is tentatively scheduled for March 12, 2018.

9. **Termination**

The meeting was declared terminated at 7:36 p.m.

Mayor Basran

/acm

City Clerk

DRAFT

CITY OF KELOWNA
BYLAW NO. 11544
Z17-0085 – 485 Eldorado Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A District Lot 167 ODYD Plan 35110 located on Eldorado Road, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 29th day of January, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11545
Z17-0095 – 405 Knowles Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 1 District Lot 167 ODYD Plan 15446 located on Knowles Road, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the RU2 – Medium Lot Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 29th day of January, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11547
Z17-0092 – 255 Taylor Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot A Section 22 Township 26 ODYD Plan EPP70227, located at Taylor Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the RM3 – Low Density Multiple Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 29th day of January, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer-Ministry of Transportation)

Amended at third reading and adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11549
Z17-0115 – 4658 Barton Street

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 5, District Lot 580A, SDYD, Plan KAP69497 located at Barton Street, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 5h day of February, 2018.

Considered at a Public Hearing on the

Read a second and third time and adopted by the Municipal Council this

Mayor

City Clerk

CITY OF KELOWNA
BYLAW NO. 11550
Z17-0108 – 2630 Bath Street

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 1 District Lot 14 ODYD Plan 3785, located at Bath Street, Kelowna, BC from the RU6 – Two Dwelling Housing zone to the RM3 – Low Density Multiple Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 5th day of February, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council this

Mayor

City Clerk

CITY OF KELOWNA

BYLAW NO. 11551

TA18-0001 – 4085 & 4133 Shanks Road

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000, **Section 9 – Specific Use Regulations**, be amended by adding a new **Section 9.13.4 Site Specific Regulations** in its appropriate location as follows:

9.13.4 Site Specific Regulations

Regulations apply for Temporary Farm Worker Housing on a site specific basis as follows:

	Legal Description	Civic Address	Regulation
1.	Lot 20 Section 34 Township 23 ODYD Plan 500 Except Plan KAP45154 Lot 19 Section 34 Township 23 ODYD Plan 500 Except Plan KAP45154	4085 Shanks Road 4133 Shanks Road	For the purposes of Temporary Farm Worker Housing , these parcels shall be considered one farm unit , and the following regulations shall apply to this farm unit only. Notwithstanding section 9.13.2(a) TFWH Footprint Size, the TFWH footprint may not exceed 0.70 ha for structures to accommodate a maximum of 140 temporary farmworkers . Notwithstanding section 9.13.3(a) and 9.13.3(b) Temporary Farmworker Allocation, structures to accommodate a maximum of 140 temporary farm workers shall be permitted on this farm unit in this city sector as identified on Official Community Plan Map 5.4 .

2. AND THAT Section 9.11 **MICRO SUITE HOUSING** be deleted in its entirety that reads:

"9.11 MICRO SUITE HOUSING

- 9.11.1 Micro-suite housing is only permitted on lots where the use is permitted in the zone, in the following areas:
 - Urban Centers as defined in the Official Community Plan
 - The University South Village Center as defined in the Official Community Plan
- 9.11.2 Micro-Suite Housing must be located within 400 m of a bus stop or transit station."

And replaced with:

"9.14 MICRO SUITE HOUSING

- 9.14.1 Micro-suite housing is only permitted on lots where the use is permitted in the zone, in the following areas:
- Urban Centers as defined in the Official Community Plan
 - The University South Village Center as defined in the Official Community Plan
- 9.14.2 Micro-Suite Housing must be located within 400 m of a bus stop or transit station."
3. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 5th day of February, 2018.

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

Mayor

City Clerk

REPORT TO COUNCIL



Date: February 20, 2018

RIM No. 09400 & 0940-50

To: City Manager

From: Community Planning Department (AC)

Application: DP17-0191 & DVP17-0192

Owner: 1324632 Alberta Inc. No.
A72431

Address: 289 Queensway Ave

Applicant: Westcorp Projects Inc (Gail Temple)

Subject: Development Permit & Development Variance Permit Application

OCP Designation: MXR – Mixed Use (Residential/Commercial)

Zone: C7 – Central Business Commercial

1.0 Recommendation

THAT Council NOT authorize the issuance of Development Permit No. DP17-0191 for Lot 1, District Lot 139, ODYD, Plan EPP77920, located at 289 Queensway Ave, Kelowna, BC.

AND THAT Council NOT authorize the issuance of Development Variance Permit DVP17-0192 for Lot 1, District Lot 139, ODYD, Plan EPP77920, located at 289 Queensway Ave, Kelowna, BC.

2.0 Purpose

To consider staff recommendation of non-support of a Development Permit for the Form & Character Development Permit of a 33 storey hotel & luxury condo tower project with two levels of underground parking and a mixed-use 6 storey podium. To consider staff recommendation of non-support of a Development Variance Permit for four variances related to the maximum building height, podium height & size regulations as well as to consider a reduction in the number of loading stalls.

3.0 Community Planning

3.1 Development Permit and Associated Variances

Staff are recommending that Council not support the proposed Development Permit and associated variances. The proposal's overall size, height and massing are overwhelming for the subject property and its unique downtown context. The property is in close proximity to a number of culturally significant places including Kerry Park & Stuart Park, the Sails, Okanagan Lake, the historical character of Bernard Avenue and City Hall. In addition to creating shadowing impacts on these lower scale spaces, the proposal's built form may create an overpowering visual presence lacking the sensitivity and integration that development of the subject property needs. By virtue of the size and prominence, the proposed building may impact the qualities that some people value in the surrounding public spaces.

The proposal is not without merits in regards to some components of the project. The mixed-use component of the project is strong containing not only a hotel and residential units, but also commercial retail units, a restaurant and café at ground level, a second publicly accessible restaurant on the 16th floor, and a conference space as part of the hotel. In addition, the design quality of the ground-oriented spaces adjacent to Kerry Park and Queensway should create a positive public/private interface.

However, of more significance and weight, the applicant is proposing a height variance from 76.5m (26 storeys) as outlined in the Zoning Bylaw to 131m (33 storeys). The height variance and its impact is further accentuated by relatively large tower floor areas (i.e. width of the tower) and two further variances for the six-storey podium structure. It has never been the City's intention to achieve the region's tallest tower on this property and public policy states that contextual fit with the surrounding public realm and neighbouring buildings are of utmost importance.

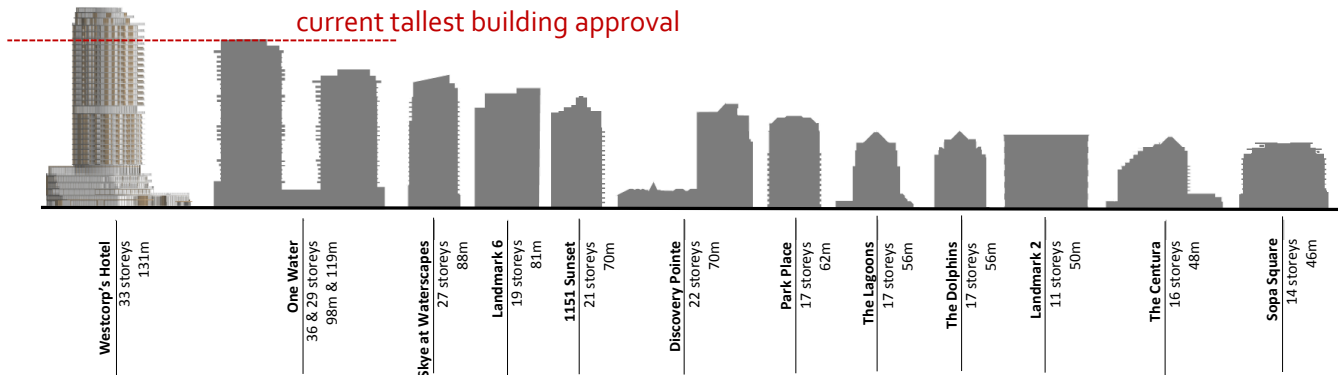


Figure 1: Kelowna Tall Building Comparison Chart

Although Council previously supported a height variance to 87m (26 storeys) in 2014 (DP14-0024 / DVP14-0025), for a past version of this project, that DP has now expired. The City's policies, vision, and goals for this site were originally determined in the Downtown Plan and then adopted into the Official Community Plan (OCP):

"The former Willow Inn site at the corner of Queensway Avenue and Mill Street is significant given the site's proximity to the waterfront and its high visibility. In order to achieve approval for up to 19 storeys on this site, any proposed development should be required to demonstrate that it gives careful consideration to view impacts from other parts of downtown, is a signature landmark building and that it meets a high standard of design excellence regarding aesthetics and building performance."

Furthermore, the OCP's foundational building height policy emphasises the need for the proposal to demonstrate an appreciation and understanding of the context of the subject property:

Objective 5.5: Ensure appropriate and context sensitive built form.

Building Height.¹ In determining appropriate building height, the City will take into account such factors as:

- Contextual fit into the surrounding neighbourhood;
- Shadowing of the public realm;
- View impacts;
- Overlook and privacy impact on neighbouring buildings;
- Impacts on the overall skyline;
- Impacts on adjacent or nearby heritage structures;

¹ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).



Figure 2: Proposed Westcorp Building

Staff acknowledge that some flexibility to building height policy could be rationalized, but not to the extent as proposed. Key design changes to create a more favourable proposal would include:

1. Reduction in the tower floor areas to achieve a more slender form; this would reduce massing and visual impact and help to reduce shadowing on neighbouring properties and the public realm.
2. Reduction in podium height especially on Water Street in order to provide a consistent streetscape experience and better transition to neighbouring buildings; and
3. Reduction in overall height would provide a more context sensitive development consistent with public policy and land use governance direction.

An alternative recommendation of support is included in Section 6.0 of this report for Council's consideration.

3.2 Tall Building Design Considerations

When assessing the merits of a tall building project, staff break the design into three components: the base of the building called the podium; the middle of the building largely consisting of the tower; and the top of the building as it relates to Kelowna's skyline.



Top: The tops of tall buildings, including upper floors and roof-top mechanical or telecommunications equipment, signage, and amenity space, should be designed, primarily through tower massing and articulation, and secondarily through materials, to create an integrated and appropriate conclusion to the tall building form.



Middle: The location, scale, floor plate size, orientation and separation distances of the middle affect sky view, privacy, wind, and the amount of sunlight and shadows that reach the public realm and neighbouring properties. The design and placement of the tower should effectively resolve these matters to ensure that a tall building minimizes its impact of surrounding streets as well as existing and/or future buildings on adjacent properties.



Podium: The lower storeys of a tall building should frame the public realm, articulate entrances and assist in the creation of an attractive and animated public realm which provides a safe, interesting, and comfortable pedestrian experience. The podium should define and support adjacent streets at an appropriate scale, integrate with adjacent buildings, assist to achieve a transition down to lower-scale buildings and minimize the impact of parking and servicing on the public realm.

3.3 Development Permit – Top of Building

The building height is proposed at 131m representing 33 storeys. There are two floors of mechanical rooms, screening structures, and a penthouse amenity area at the top of the building. There is no exposed mechanical equipment and these levels have exterior finishes consistent with the main tower. They are also stepped back from the main tower to further soften and recess their appearance.

However, these two floors are above and beyond the measured building height (exempt from Zoning Bylaw definition for building height) and contributes to the mass and scale of the project. The applicant is proposing a luxury-type product for both the hotel and condo units resulting in the desire for large floor-to-ceiling heights for each level. The hotel lobby has a 24' ceiling, the hotel floors have 9' ceilings, the restaurant on the 16th floor has a 16' ceiling, the residential floors have 10', the 4 premium residential floors have 12'-8" ceilings and the penthouse floor has a 14' ceiling. The larger floor-to-ceiling heights is the key contributor to the overall height of the tower.

3.4 Development Permit – Middle of Building (Tower)

The tower floor areas, known as the 'floorplate' has increased significantly from the applicant's previous 2014 approved Development Permit. The past floorplate was 745 m² and the applicant's proposed floorplates are 933.0 m², 901.3m², & 833.1m². Staff remain concerned regarding the proposed new floorplates sizes as it directly relates to the buildings' overall massing and scale. The preference, consistent with many other Canadian urban centres, is to have floorplates for tall buildings within the range of 650 to 750 m². This would lead to the creation of a more slender tower form minimizing the building's three-dimensional massing and scale, helping to mitigate visual/physical impact on surrounding streets, parks, open spaces and neighbouring properties.

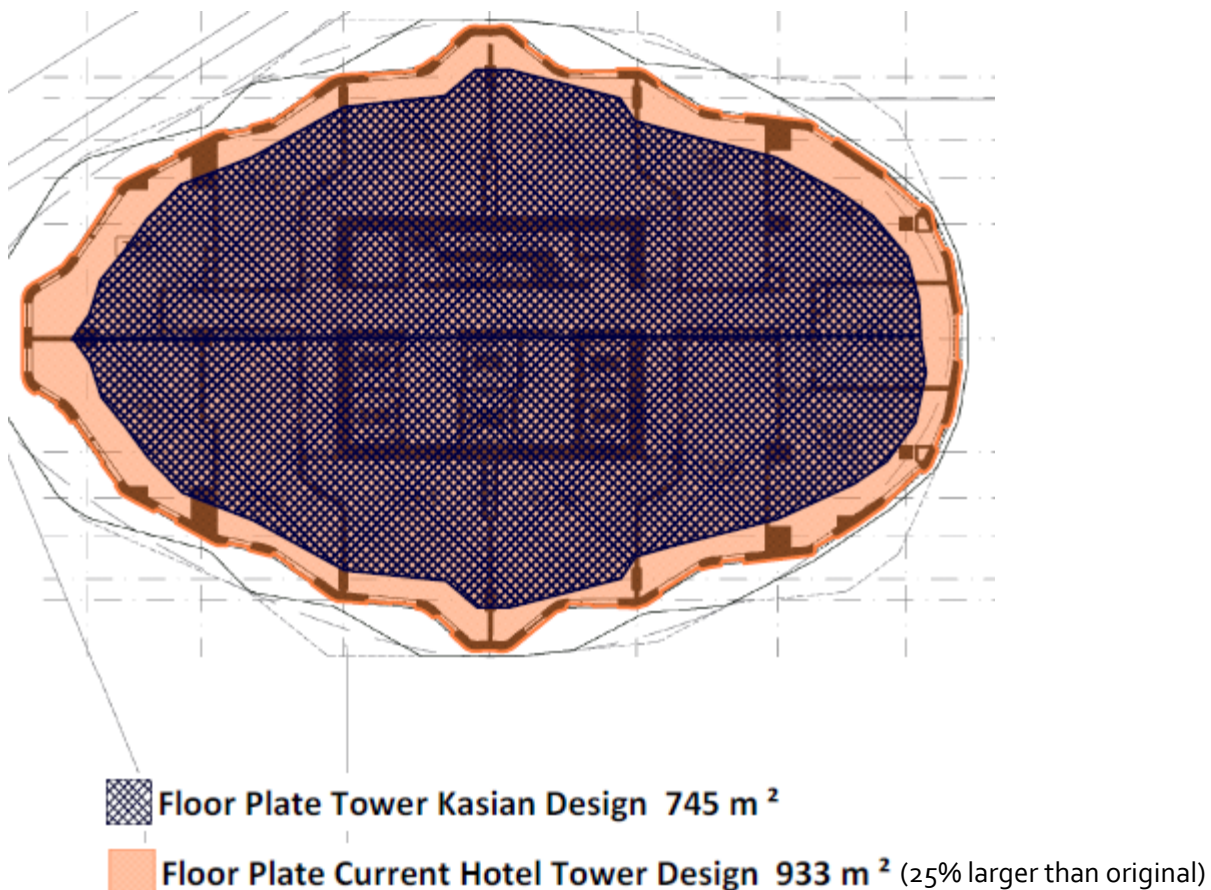


Figure 3: Comparison of Tower Floor Plates between Previous 2014 Development Permit & Current Proposal

The main tower is an elliptical shape softening the edges of what otherwise would be rectangular form and contributing to a unique building design. The elliptical form helps to minimize east/west view corridor impacts (e.g. shadowing on Kerry Park), however, the north/south view corridor is impacted by the longer, wider tower shape (Stuart Park and City Hall). The material palette for the tower utilizes a variety of building materials, all high quality and durable. To further increase the tower's visual interest, all the residential units and almost all the hotel units have balconies. They have been arranged in a manner that further creates unique character and complementary to the elliptical shape.

3.5 Development Permit – Base Building (Podium)

The role of the base building (known as the podium) is to help tall buildings fit harmoniously within the existing street context and to define the edges of adjacent streets, parks, and open spaces. This street framing is important to have the appropriate scale and proportion in order to maintain human-scale and comfort, access to sunlight and sky views for pedestrians and neighbour properties.

The podium design on the western elevation has strong urban design merits. It steps down from the tall tower with terraces and articulation towards the Kerry Park edge and results in an effective transition to public space. The interface demonstrates human-scale proportion and includes a pedestrian plaza and seating area to act as an extension to Kerry Park. Ground-oriented commercial spaces including a coffee shop and publically accessible restaurant have been incorporated into the building to further create a positive interface. Shifting the building back from the western property line (previous DP has zero lot line interface) has resulted in the creation of patios for dining and socializing.

However, the two proposed variances related to the podium indicate the overall size and massing is large on the eastern elevation along the Water Street frontage. The total height of the podium facing Water Street is 27.7 m and the height of the podium before a 3m stepback is 19.2m. Creating a streetwall and podium that is too tall and large and will dominate the public realm; decreasing the pedestrian human-scale at street level. The adjacent building (BMO Bank) is 3 storeys (13.7 m in height) which makes the applicant's podium design more than double the size. Further, the other neighbouring buildings on Water Street and the heritage and historical character of Bernard Avenue are even lower at 2 storeys and protected from tall building development through the Downtown Height Map. The proposed podium does not step down or provide a sensitive transition to these existing buildings. It would create inconsistency in street proportion and scale and compromises reasonable sunlight exposure and sky views from the sidewalks. Staff would suggest aligning the podium height more in keeping with the existing buildings to create a consistent streetwall along Water Street resulting in a more comfortable urban environment.

The applicant's rationale for the proposed podium height largely relates to the project's provision of structured parking. The interior of the podium consists of six storeys of structured parking on-top of two floor of underground parking. This results in the project providing 36 parking stalls in excess of the City's Zoning Bylaw requirements. Staff have suggested that the applicant reduce the number of parking stalls in an effort to reduce the podium height and have a more attractive street interface. Alternatively, the applicant could also reduce the tower height in order to reduce the number of residential units lowering the parking demand. However, the applicant informed staff that there was no flexibility in the parking numbers or overall unit count and wished to proceed with variances to the podium. The streetscape and public realm along Water Street is an important issue and staff cannot recommend support for increasing the massing and height of the podium.

Figure 4: Best management practice for podium heights: the height and scale should respond to the scale of neighbouring buildings and the street proportion.

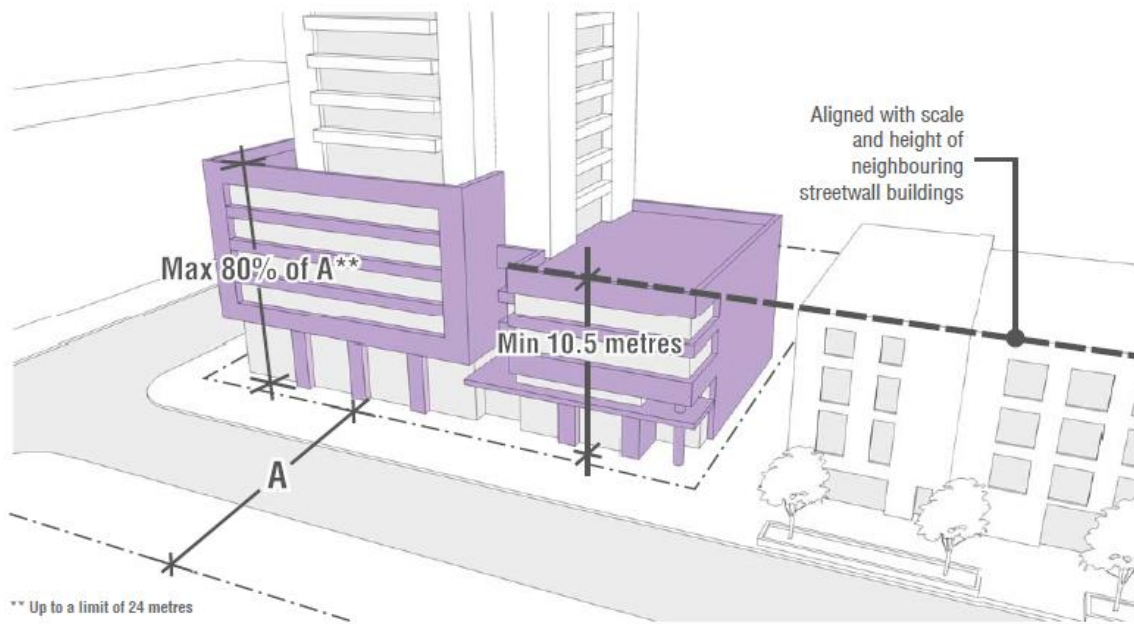
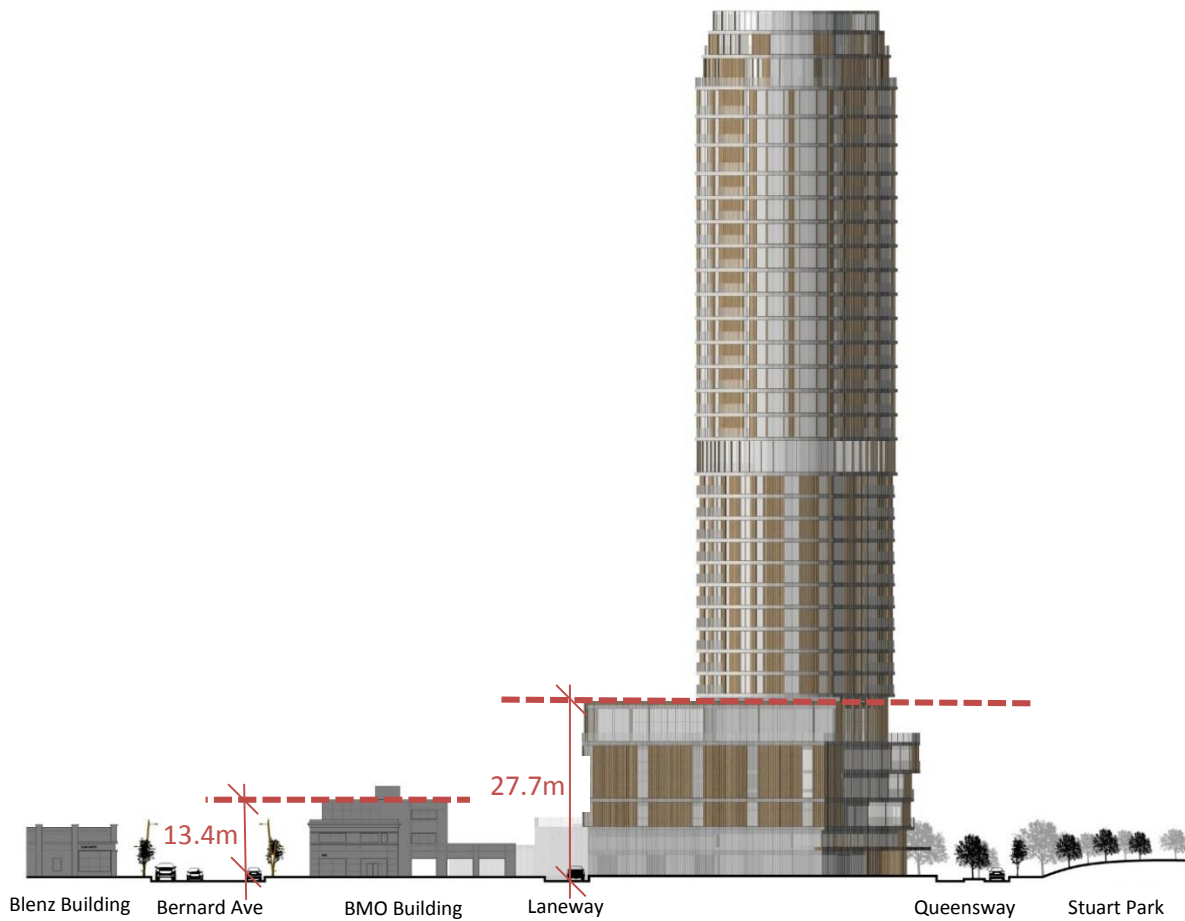


Figure 5: Proposed podium height along Water Street in relationship to neighbouring buildings



3.6 Development Variance Permit

The four variances associated with the applicant's proposal:

1. To increase the podium height without a setback from 16.0 metres to 20.25m for the Queensway frontage as per A-54 drawing attached to Schedule 'A'.
2. To increase the maximum floorplate for any building above 16.0m from 1,221m² to 3,130m²;
3. To increase the overall height of the building from 76.5 metres (approx. 26 stories) to 131 metres (33 stories); and
4. To decrease the number of loading stalls from 6 spaces to 3 spaces;

The previous application (DP14-0024 / DVP14-0025) approved the reduction in the number of loading stalls to 3 spaces. The operational needs of the hotel and residential uses are similar in both the old 2014 proposal and the current proposal. Therefore, Staff see no issue in the loading stall reduction variance.

3.7 Background

In 2008, the subject properties were involved in the CD21 – Comprehensive Development ("CD21 Downtown Zone") zone that aimed to facilitate the redevelopment of several blocks of the downtown core of Kelowna, reshaping the downtown into a vibrant, high-density, and pedestrian friendly area. The zone proved highly controversial, and the introduction of a large number of tall towers was the focus of considerable public discussion. The CD21 bylaw was ultimately defeated by Council in 2010.

Following the defeat of the CD21 zone, Council tasked staff with the development of a plan to guide the development of the downtown into the future. Working with diverse interest groups over several years, a new Downtown Plan was completed and its height policies adopted into the OCP by Council on February 27, 2012.

Within the context of its broader goals for the success of Kelowna's downtown, the Downtown Plan specifically contemplated building height and an appropriate downtown skyline. The public consultation process gained public trust and established confidence around a comprehensive approach. The Downtown Building Heights Map provides general maximum height guidance on a lot-by-lot basis, and expresses a form of development that generally increases height as buildings move away from the lake. Originally, the Downtown Plan (which was adopted into the OCP) suggested this property was suitable for a maximum of 19 storeys in height under the premise of a hotel use. Section 3.8 outlines Westcorp's original proposal made in 2014 and compares it to the current proposal. The 2014 application was approved by Council in August 2014 but has since expired.

3.8 Comparative Analysis

See Westcorp's rationale (attached to this report) outlining why it was necessary to re-design the project. The key changes from the previous project to the current one are:

Summary of Differences in Project Proposals		
CRITERIA	Previous Proposal	Current Proposal
Height	26 storeys / 88m	33 storeys / 131m*
FAR	5.4	7.63
No. of Units	187 hotel rooms and 27 long-stay rental units (214 units total)	174 hotel rooms and 40 residences (214 units total)
Tower Floorplates	745 m ²	933 m ²
Parking	237 parking stalls in above-grade parkade (+5 surface stalls)	289 parking stalls (majority in two levels underground) +5 surface stalls
Tenants along Kerry Park	Restaurant and coffee shop on the edge of Kerry Park	no change from previous project
Hotel	Hotel's hospitality suite and hotel pool located on the conference level -conference terraces were "shared" with hotel guests	Hotel's hospitality suite and pool terrace are on the 2nd level of the hotel. The conference level terraces (level 6) will be for exclusive use of conference/event attendees
Tower & Parkade Location	Tower was located at the Kerry Park property line because of large parkade structure that needed to fit behind it	The tower is pulled back toward Water St. This is made possible because the above-grade parking structure is significantly smaller. The tower relocation has allowed the design of terraces that step up from the lake and park
Balconies & Terraces	Room balconies were appropriately sized for hotel rooms and affixed to the exterior of the structure	Large terraces are an integral part of each floor slab. The residential terraces are expansive and include outdoor kitchens
Elevators	The hotel tower serviced by 3 elevators	The tower is serviced by 6 elevators, 3 for the hotel rooms, conference level and 17th floor restaurant, 2 for the residences, and one for service purposes. With 2 additional elevators to the conference level, the total number of elevators servicing the conference level is 5
Retail	Retail opportunities located on Water St. side of the building	Retail opportunities are located on both Water St. and within the hotel lobby
Tower Restaurant	No mid-tower restaurant	The project includes a 17th floor publically accessible restaurant as well as a culinary teaching venue
*The current design's floor slab thickness is also a factor in the increased height. Each of the floor slabs of the new tower will be 4" thicker than in the previous proposal. Increased ceiling heights and floor slab thickness account for 16.5m (38%) of the height increase		

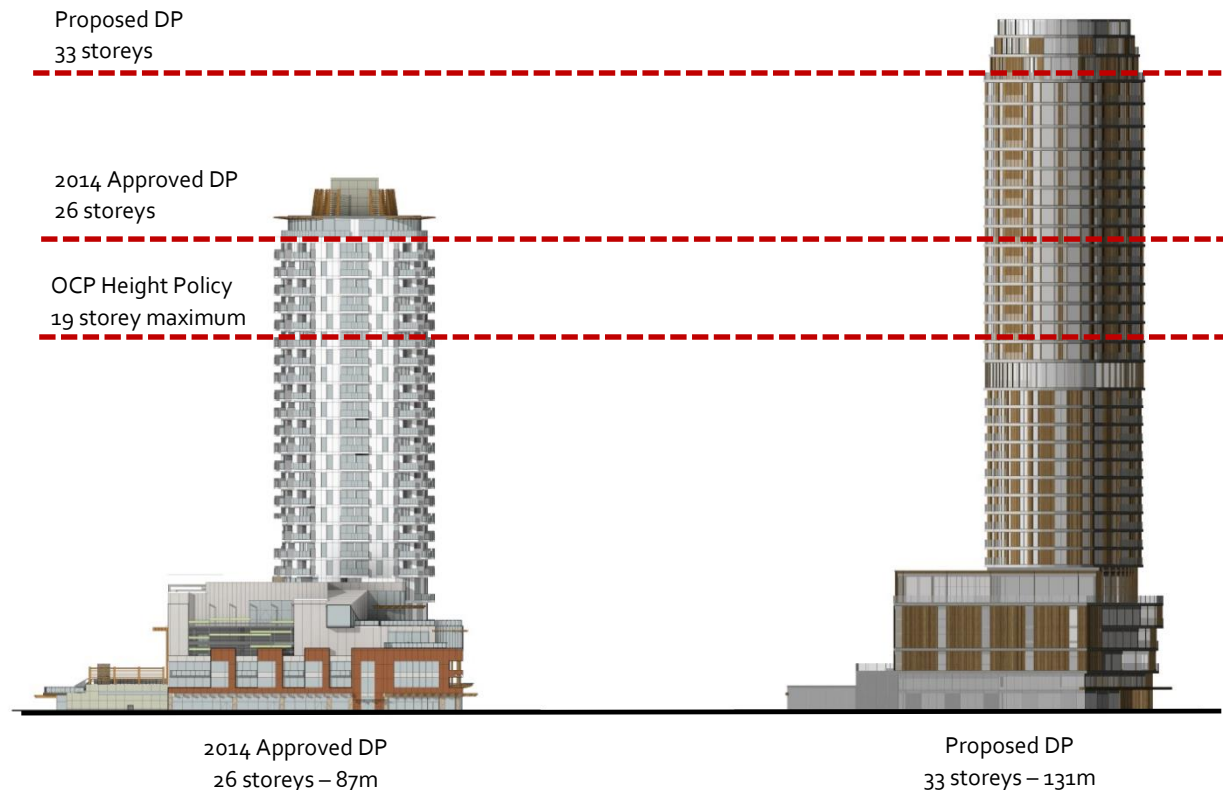


Figure 6: Comparison of current proposal to past version of the project

3.9 Queensway Treatment

The Queensway interface is substantially changed from the previous development permit. Instead of a standard roadway and cul-de-sac on Queensway, the applicant and staff worked collaboratively on a street plaza design, one that would provide a pedestrian-friendly entrance to Kerry Park, the Visitor Information Centre, and the applicant's proposed hotel/condo project. The materials selection is of high quality with the intent of stimulating year-round use and creating a vibrant streetscape. The cost and construction of the plaza will be borne by Westcorp, and through a maintenance agreement with the City of Kelowna, Westcorp will be responsible for the plaza's annual maintenance due to the custom selection of high quality materials well above and beyond city standards (e.g. typical frontage improvement for asphalt, curb & gutter and sidewalks). The total road upgrade cost is estimated at \$536,515 (\$100,912 for Mill Street, \$50,165 for Water Street, & \$385,438 for Queensway Ave) which would need to be bonded for as part of a DP approval.

3.10 Project Description - Laneway

At the request of Staff, the applicant has agreed to move the entire building from the previous Development Permit application 0.8m north to create a 6.8m laneway on the south side. This, although not required as part of the current Development Permit application, would allow the City to be better able to carry out service in the laneway. It would also benefit the existing businesses being serviced by the current 6.0m wide laneway as the vehicle turning movements and overall functionality would improve with the lane widening.

The podium design on the laneway elevation has been considered by the applicant and includes cladding and glazing down the entire length of the laneway in order to improve the character and visual quality from the Bernard Avenue view corridor.

3.10 Site Context

The subject property is located in the heart of downtown, near the waterfront at the corner of Water Street and Queensway Ave.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	C4 – Urban Centre Commercial & RM6 – High Rise Apartment Housing	Vacant & Residential
East	I2 – General Industrial I4 – Central Industrial	Industrial & Commercial
South	CD5 – Multi-Purpose Facility	Arena & Parking Lot
West	RM6 – High Rise Apartment Housing; C7 – Central Business Commercial; & P3 - Parks	Mixed use (residential / commercial) Residential Park

Subject Property Map: 289 Queensway Ave



3.11 Zoning Analysis Table

The zoning analysis table shows the requirements of the C7 zone compared to the proposal:

Zoning Analysis Table				
CRITERIA	C7 ZONE REQUIREMENTS		PROPOSAL	
For portion of building between 0.0 metres & 16.0 metres in height				
Front Yard, Flanking Street & Rear Setback	0.0 m		0.0 m	
Lane Setback	0.0 m		0.0 m	
Floorplate	No restriction		1,671 m²	
For portion of building between 16.0 metres & above in height				
			Podium (17.07m)	Tower
Front Yard, Flanking Street, & Rear Setback	3.0 m		3.0m for most area except 0.0m for Water St frontage up to 20.25m tall❶	>3.0 m
Lane Setback	0.0 m		0.0m	~10.0 m
Floorplate	1,221 m²		3,129.3 m² ❷	933 m²
Development Regulations				
Height	Podium	Tower	Podium	Tower
	16.0 / ~4.5 stories (unless Bldg steps back)	76.5 m / ~26.0 storeys	27 m / 6 stories	131 m / 33 storeys ❸
Corner Cut Setback	4.5 m		n/a (roundabout)	
FAR	9.0		7.92	
Parking Regulations				
Minimum Parking Requirements	259 stalls parking stalls (40 stalls for residential units 6 stalls for visitors 39 stalls for commercial 174 stalls for hotel)		295 parking stalls (36 stalls over or 14%)	
Minimum Loading Requirements	6 loading stalls (5.3 for hotel & restaurant + 0.529 for commercial area)		3 loading stalls ❹	
Ratio of Parking Stalls	Small Size: 10% Max Medium Size: 40% Max Regular Size: 50% Min		Small Size: 6.4% Medium Size: 34.9% Regular Size: 56.9%	
Minimum Bicycle Parking Requirements	Class 1: 36 bikes Class 2: 20 bikes		Class 1: 36 bikes Class 2: 20 bikes	
Other Regulations				
Minimum commercial	Min 90% frontage on Water St Min 90% frontage on Water St		100% frontage on Water St >90% on Queensway Ave	

Zoning Analysis Table		
CRITERIA	C7 ZONE REQUIREMENTS	PROPOSAL
Minimum Private Open Space	785 m ²	2,741 m ²
<p>The four proposed variances associated with this permit are as follows:</p> <ul style="list-style-type: none"> ❶ To increase the podium height without a setback from 16.0 metres to 20.25m for the Queensway frontage as per A-54 drawing attached to Schedule 'A'. ❷ To increase the maximum floorplate for any building above 16.0m from 1,221m² to 3,130m²; ❸ To increase the overall height of the building from 76.5 metres (approx. 26 stories) to 131 metres (33 stories); and ❹ To decrease the number of loading stalls from 6 spaces to 3 spaces; 		

4.0 Current Development Policies

4.1 Kelowna Official Community Plan (OCP)

Development Process

Compact Urban Form.² Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Commercial Land Use Policies.³ Encourage mixed-use commercial development.

Contain Urban Growth.⁴ Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

Ensure appropriate and context sensitive built form and building height.⁵

In determining appropriate building height, the City will take into account such factors as:

- Contextual fit into the surrounding neighbourhood;
- Shadowing of the public realm;
- View impacts;
- Overlook and privacy impact on neighbouring buildings;
- Impacts on the overall skyline;
- Impacts on adjacent or nearby heritage structures;

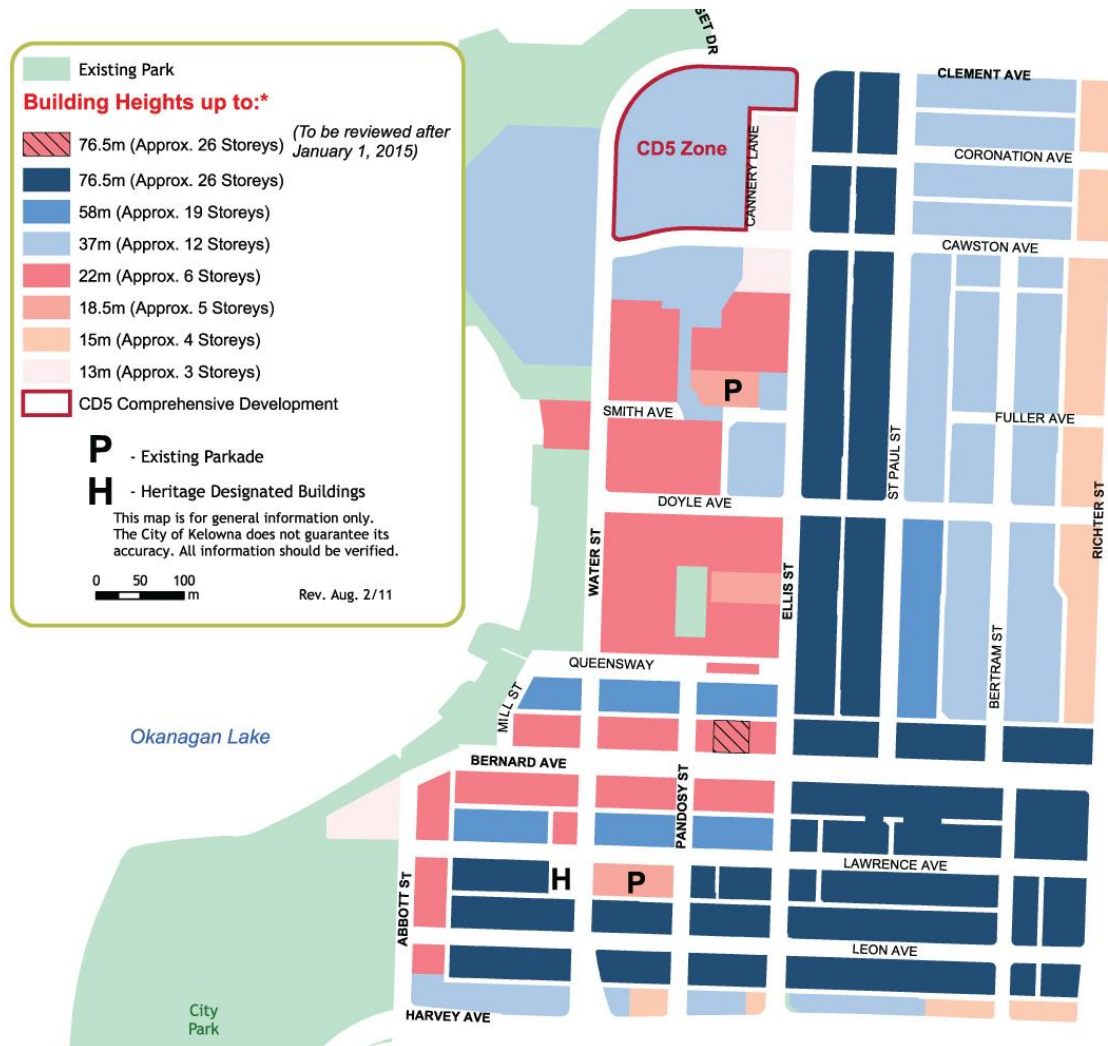
² City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Objective 5.24 (Development Process Chapter).

⁴ City of Kelowna Official Community Plan, Goals for a Sustainable Future, Objective 1 (Chapter 1 Introduction)

⁵ City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

Downtown Building Heights Map⁶



Building Massing and Height.⁷

- Mitigate the actual and perceived bulk of buildings by utilizing appropriate massing, including:
- Architectural elements (e.g. balconies, bay windows, cantilevered floors, cupolas, dormers);
- Visually-interesting rooflines (e.g. variations in cornice lines and roof slopes);
- Step back upper floors to reduce visual impact;
- Detailing that creates a rhythm and visual interest along the line of the building;
- Wall projections and indentations, windows and siding treatments as well as varied material textures should be utilized to create visual interest and to articulate building facades;
- Building frontages that vary architectural treatment in regular intervals in order to maintain diverse and aesthetically appealing streets.

⁶ City of Kelowna Official Community Plan, Policy 5.7.2 (Development Process Chapter).

⁷ City of Kelowna Official Community Plan, Policy 14.4 (Urban Design DP Guidelines).

5.0 Technical Comments

5.1 Building & Permitting Department

- Full Plan check for Building Code related issues will be done at time of Building Permit application.

5.2 Development Engineering Department

- a) All the off-site infrastructure and services upgrades are addressed as part of the previous associated Rezoning Application - Engineering Report (Z14-0006).
- b) A License of Occupation agreement will need to be executed between the City of Kelowna and the Property Owner.
- c) A Maintenance agreement for works within Queensway ROW will need to be executed between the City of Kelowna and the Property Owner.

5.3 Fire Department

- A fire safety plan and full review will be required at the time of Building Permit application.

6.0 Alternate Recommendation

Council authorizes the issuance of Development Permit No. DP17-0191 for Lot 1, District Lot 139, ODYD, Plan EPP77920, located at 289 Queensway Ave, Kelowna, BC, subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,";
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;
5. That the outstanding conditions set out in Attachment "A" attached to the Report from the Community Planning Department dated February 20th 2017;

AND THAT Council authorize the issuance of Development Variance Permit DVP17-0192 for Lot 1, District Lot 139, ODYD, Plan EPP77920, located at 289 Queensway Ave, Kelowna, BC, subject to the following:

A maintenance agreement with associated bonding be signed and submitted with the City of Kelowna to ensure the upgraded off-sites improvements along Queensway Ave and Water St are provided for and maintained for in perpetuity.

AND THAT the variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 14.7.5 Development Regulations (h)i.

To vary the maximum height of a building before a 3 metre setback is required from 16 metres to 20.25 metres for the Queensway frontage as per A-54 drawing attached to Schedule 'A'.

Section 14.7.5 Development Regulations (h)iii.

To vary the maximum floorplate for any building above 16.0m from 1,221m² to 3,130m² limited to the seventh floor as per A-56 drawing attached to Schedule 'A'.

Section 14.7.5 Development Regulations (b)

To vary the maximum height of a building from 76.5 metres to 131 metres.

Section 8 Parking and Loading – Table 8.2 Loading Schedule

To vary the number of loading spaces from 6 spaces to 3 spaces.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit applications in order for the permits to be issued;

AND THAT the applicant be required to complete the following conditions prior to a building permit being issued:

1. That a subdivision be registered with the land titles office completing the land exchange and lane dedication;
 - a. As part of the new registered plans, the vehicular right-of-way and turn around within the lane be amended to reflect the updated plans; &
 - b. A statutory right-of-way be registered on the property guaranteeing public access between the proposed building and Queensway Rd / Kerry Park.
2. That a license of occupation be signed by the City of Kelowna to permit the canopy encroachments across the property lines.
3. That a license of occupation be registered for the Hotel permitting the portions of Queensway Ave to be used for Hotel purposes such as valet services.

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

7.0 Application Chronology

Date of Application Received: September 1st 2017

Date Public Consultation Completed: December 1st 2017

Report prepared by:

Adam Cseke, Planner Specialist

Reviewed by:

Terry Barton, Urban Planning Manager

Approved for Inclusion:

Ryan Smith, Community Planning Department Manager

Attachments:

Applicant Rationale

DP17-0191 & DVP17-0192

Pedestrian Wind Study

Project Rationale

In 1928, the Willow Inn Hotel, located on the subject property, was the hub of social activity in Kelowna's downtown. It was a popular place for social local gatherings and patrons of the hotel provided vital support to the businesses along Bernard Ave. The hotel was an important link between the downtown and the waterfront.

In an effort to honour the site's historic use, Westcorp sought to locate a world class hotel and conference centre in this highly visible location and was granted approval for the project in June 2014. With the completion of the Kelowna Yacht Club and Stuart Park, the proposed hotel represents the final component of the revitalization of the downtown waterfront. It will provide a key connection point along the waterfront and it will help to achieve one of the key principles of the Downtown Plan, namely to "Enhance Kelowna's identity nationally and internationally and enhance the identity of downtown as Kelowna's Principal Centre." The hotel will contribute significantly to the increase of commercial activity on the waterfront, will stimulate year-round use and will create a vibrant and energetic public realm.

With its sinuous lines drawn from the surrounding topography and a palette of materials inspired by nature, the hotel project will significantly reinforce the identity of the City and contribute to the emerging "Kelowna Brand."

Key objectives for the hotel project are:

- Create an iconic building on one of the most visible locations on the downtown waterfront.

- Create a high-end destination hotel with active and inviting public spaces adjacent to Kerry Park.

- Create first class conference space for business and social uses.

- Accommodate required parking on-site.

The DP for the 24 storey hotel was approved in Aug 2014, and a revised DP (to reflect minor revisions to design) was issued in October 2015.

Through the course of detailed design work in 2016, it became increasingly apparent, both from interior design and functionality perspectives, that the large parkade within the podium was a significant constraint. In addition, with the market becoming increasingly robust in Kelowna, it also became apparent that the project could much better respond to market conditions if a certain number of for-sale residential units could be included within the project instead of the proposed long-stay rental units. With a desire to seek solutions to functionality issues, and a desire to include units with different unit sizes, outside patio space, elevator and parking needs than what had been designed into the original project, Westcorp chose to halt construction plans and enter into a redesign exercise. The result of that work is the current application.

Significant Changes

Inclusion of residential condo units: the previous project had 189 hotel rooms and 25 long-stay rental suites for a total of 214 units. The current project has 174 hotel rooms and 49 for-sale residential units for a total of 223 units. The inclusion of condo units will increase the number of people living in our downtown core and add to the vibrancy of the building, surrounding streets and waterfront.

Parking: The previous project provided 242 parking stalls in a large above-grade parking structure with hotel and retail uses “wrapped around” it. In the current project, we have been able to significantly reduce the size of the above grade parking structure by creating two full levels of parking underground. The current project has two separate parking areas:

Hotel and public parking area- 156 stalls below-grade accessed off of Queensway Ave
Residential secured parking area - 133 stalls above-grade accessed off of the laneway. If there are excess stalls in this area once stalls have been designated to homeowners, the balance will be available for valet service which will free up additional stalls in the public parking area.

Tower Placement/Interface with Kerry Park: The significant shrinking of the above-ground parkade allowed the tower to move eastward away from Kerry Park. This created a structure that slopes back from the lake with a series of stepped terraces. In addition to creating a soft transition in the massing along the lake front, the result was the creation of expansive terraces for outdoor experiences with strong connections to the lake on the lower levels of the hotel. At-grade animation, as with the previous project, is created through adjacent uses such as coffee shop, restaurant, lobby bar and hotel lobby. The current design has also pulled the overall building back from the Kerry Park edge to create larger patios for the coffee shop and restaurant than had been previously possible. In our view, the current design has created a softer friendlier interface, and the tower is much softened in impact due to its location away from the park edge.

Tower shape and aesthetics: The tower in the previous project was elliptical in shape, the cladding was a white composite material and the balconies were affixed to the structure. In the current design, the tower is still generally elliptical (because this shape presents a narrow face to the lake and Queensway view corridor), but now, with larger balconies as part of the floor slabs, the building edge undulates in a sinuous and fluid way. The slender massing of the tower is punctuated with the mid-level banding of the sky restaurant that balances the tower’s vertical elements at the base and at its mid-section into two proportionally pleasing halves. The sky restaurant floor also provides the transition between the rhythm of balconies of the hotel floors (13 units per floor) and the rhythm of balconies of the suites and condo units (up to 6 units per floor). Natural looking manufactured cladding will mimic the warmth of wood. When one looks up, the tower has a soft textural quality created by the multi-terraces which are clad on the undersides in soft natural earth tone materials that further enhance the rhythmic and undulating lines of the building. At night, the terraces are visible with warm up-lighting washing the tower walls with a subtle comforting glow. This vertical lighting treatment will ensure that the building looks warm regardless of time of year or occupancy level. The tower is capped with a glowing beacon structure that will locate this downtown landmark on the night skyline. This landmark building will help to identify the downtown core as “Kelowna’s Principal Centre.”

Elevator Core and Tower Floor Plate: The previous design had 3 hotel elevators and 2 conference-only elevators. The current design has 3 hotel elevators servicing the hotel rooms, conference areas and 16th floor restaurant, 2 conference-only elevators, and 3 residential elevators. The addition of 3 elevators has caused the floor plate to increase, however, it is still within the limitations set by the C7 zone.

Tower Height: The previous project was 24 storeys. The current project is 32 storeys. (There are 31 storeys of hotel and residential uses in the project. The 32 floor is a mechanical/technical floor, but since there is possibility that a portion of that floor might not be required for mechanical and could become available for use as private upper deck for the penthouse owner, this level, for the purposes of DP, is being counted as a floor.) The number of storeys in the tower is essentially the result of balancing the additional costs of construction of the larger floor plate, core, and underground parkade with the revenue required to make the project feasible. At 32 storeys, the tower will look the same height as the One Water project in the North End and will essentially “bookend” the Civic District, much like the previous 24 storey hotel tower would have. In sky line studies, the tower stands out from its surrounding neighbours, but with the recent approval of 20 storeys at Lawrence and Ellis (Ella) and with other towers anticipated to follow in the Lawrence/Leon corridors, the hotel tower will become the “edge” of a downtown core tower cluster over time. Further, with the tower now pulled back from the Kerry Park edge, the experience from the pedestrian level will be much more focused on the podium.

The shadow study of the previous project showed that the tower’s shadow will not have any major shadow impact on other buildings, particularly since there are no buildings located on the north side of the proposed development. The majority of the shadow impact will be on the Queensway Ave. turnaround and edge of Stuart Park during hours and seasons of minimum use, and the slender form of the tower will ensure that the shadowing that does occur, moves swiftly along its path. With the additional height in this design, the shadow will be somewhat lengthened, which will have little additional impact. In fact, it may actually provide a bit of relief on the Stuart Park concrete ice-rink pad for portions of the afternoon in the height of summer.

Another important aspect to note in the height consideration is the reality that commercial floors have a much higher floor to ceiling height than typical residential floors. The lobby has a 24’ ceiling, the podium floors have 14’ ceilings, the hotel floors have 9’ ceilings, the 16th floor restaurant has a 16’ ceiling, the residential floors have 10’ ceilings, the 4 premium residential floors have 12’8” ceilings, and the penthouse floor has a 14’ ceiling.

Conference Terraces: In the original design, the large west-facing terrace on the conference level was for the shared use of hotel guests and conference users. This was not ideal, but with the large parkade and subsequent tower placement in the previous design, it was unavoidable. In the new design, the number of expansive stepped terraces has allowed us to separate uses on the terraces. The 2nd floor terrace and pool area is for hotel patrons and residential home owners, and the 5th level terraces (conference level) are now solely for conference event use which will greatly enhance the ability to accommodate outdoor events such as weddings, galas, etc. The generous terraces facing north and west will allow for two outdoor events to occur simultaneously.

Public Spaces Added to the Tower: A public restaurant, private dining rooms and a culinary teaching kitchen facility have been introduced on the 16th level of the tower. Views from this vantage point overlooking the lake and bridge will be spectacular. The restaurant will be unique in Kelowna and will provide a new and interesting public space in our city.

Retail: In the previous design, retail shops were confined to Water St. because of lack of room within the lobby. In the current design, with a more generously sized lobby, retail has been included within the lobby as well as on Water St. These lobby retail kiosks will help to animate both the lobby and the Queensway corridor.

Laneway Elevation: In the previous design, architectural interest in the lane was provided by colour and texture on the metal screening of the parkade. In the current design, the cladding and glazing of the Queensway and Water St. facades will be carried down the entire length of the lane which will improve the view of the podium from the buildings across the lane. Glazing has also been wrapped around the building at the laneway entrance to improve transparency and the overall look and feel for pedestrians and motorists heading north on Water St.

Water St. Façade: In the previous design, there were retail units at grade with canopies that extended over the sidewalk, two levels of long-stay residential units above, a kaleidoscope feature for architectural interest, and metal screening for the parkade levels and conference ballroom.

In the current design, there are retail units at grade, this time set back from the property line so that the floor above provides the shelter rather than canopies. This has eliminated the need for an encroachment agreement along Water St. Wood-like cladding and glazing mask the parkade levels, and glazing has been added to the conference level to provide transparency and balance to the podium.

The new design has allowed Westcorp to solve many of the functionality issues that would have negatively impacted the potential success of the previously proposed hotel. GCA, world class hotel designers have brought a global sensibility to the project, one that will elevate this building and Kelowna on the world stage. We believe that this proposal fully meets the objectives we had hoped to achieve when we embarked on this exciting project.

Development Permit & Development Variance Permit DP17-0191 & DVP17-0192



This permit relates to land in the City of Kelowna municipally known as

289 Queensway

and legally known as

Lot 1 District Lot 139, ODYD, Plan KAP77920

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

Section 14.7.5 Development Regulations (h)i.

To vary the maximum height of a building before a 3 metre setback is required from 16 metres to 20.25 metres for the Queensway frontage as per A-54 drawing attached to Schedule 'A'.

Section 14.7.5 Development Regulations (h)iii.

To vary the maximum floorplate for any building above 16.0m from 1,221m² to 3,130m² limited to the seventh floor as per A-56 drawing attached to Schedule 'A'.

Section 14.7.5 Development Regulations (b)

To vary the maximum height of a building from 76.5 metres to 131 metres.

Section 8 Parking and Loading – Table 8.2 Loading Schedule

To vary the number of loading spaces from 6 spaces to 3 spaces.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: February 20th 2017

Decision By: CITY COUNCIL

Issued Date: **DATE**

Development Permit Area: Comprehensive Development Permit Area

File Manager: AC

This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.

Existing Zone: C7 – Central Business Commercial

Future Land Use Designation: MXR – Mixed Use (Residential/Commercial)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 1324632 Alberta Inc. No A72431
Address: 8215-112 Street
City: Edmonton, Ab
Phone: n/a

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.
- e) A maintenance agreement with associated bonding be signed and submitted with the City of Kelowna to ensure the upgraded off-sites improvements along Queensway Ave and Water St are provided for and maintained for in perpetuity.
- f) That a subdivision be registered with the land titles office completing the land exchange and lane dedication;
 - a. As part of the new registered plans, the vehicular right-of-way and turn around within the lane be amended to reflect the updated plans; &
 - b. A statutory right-of-way be registered on the property guaranteeing public access between the proposed building and Queensway Rd / Kerry Park.
- g) That a license of occupation be signed by the City of Kelowna to permit the canopy encroachments across the property lines.
- h) That a license of occupation be registered for the Hotel permitting the portions of Queensway Ave to be used for Hotel purposes such as valet services.

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of n/a
- OR
- b) An Irrevocable Letter of Credit in the amount of n/a

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**



SCHEDULE A & B

This forms part of application
DP17-0191

Planner
Initials AC



LEGAL ADDRESS:

EPP43122

CIVIC ADDRESS:

Development Permit,
Application covering the following Property:

289 QUEENSWAY AVE.
KELOWNA, BC

DRAWING LIST:

Ref.	Project	Phase	
1864	Islandia Downtown High Kelowna BC	Development Permit	
Code	Content	Scale	Format
General plans			
A-01	Legal Survey	1/250	A0
A-02	Concept Plan & Zoning Analysis Table	1/250	A0
A-03	Development Options	-	A0
A-04	Concept Photos	-	A0
A-05	Concept Design	-	A0
A-06	Level 1: Floorplan	1/250	A0
A-07	Basement B: Floorplan	1/250	A0
A-08	Basement C: Floorplan	1/250	A0
A-09	Level 2: Floorplan	1/250	A0
A-10	Level 3: Floorplan	1/250	A0
A-11	Level 4: Floorplan	1/250	A0
A-12	Level 4: Floorplan	1/250	A0
A-13	Level 5: Floorplan	1/250	A0
A-14	Level 6: Floorplan	1/250	A0
A-15	Level 7: Floorplan	1/250	A0
A-16	Level 8: Floorplan	1/250	A0
A-17	Level 9: Floorplan	1/250	A0
A-18	Level 10: Floorplan	1/250	A0
A-19	Level 11: Floorplan	1/250	A0
A-20	Level 12: Floorplan	1/250	A0
A-21	Level 13: Floorplan	1/250	A0
A-22	Level 14: Floorplan	1/250	A0
A-23	Level 15: Floorplan	1/250	A0
A-24	Level 16: Floorplan	1/250	A0
A-25	Level 17: Floorplan	1/250	A0
A-26	Level 18: Floorplan	1/250	A0
A-27	Level 19: Floorplan	1/250	A0
A-28	Building Elevation Image: North & South	1/300	A0
A-29	Building Elevation Image: East & West	1/300	A0
A-30	Building Elevation: North & South	1/300	A0
A-31	Building Elevation: East & West	1/300	A0
A-32	Building Section A & B: North-South	1/300	A0
A-33	Building Section C-D-E: North-South	1/300	A0
A-34	Section: Detail	1/10	A0
A-35	Section: Detail	1/10	A0
A-36	Section: Detail	1/10	A0
A-37	Section: Detail	1/10	A0
A-38	View of Cityscape from Okanagan Lake	-	A0
A-39	View from Okanagan Lake	-	A0
A-40	View from Okanagan Lake	-	A0
A-41	View from Okanagan Lake	-	A0
A-42	View from Okanagan Lake	-	A0
A-43	View from Okanagan Lake	-	A0
A-44	View from Okanagan Lake	-	A0
A-45	View from Okanagan Lake	-	A0
A-46	View from Okanagan Lake	-	A0
A-47	View from Okanagan Lake	-	A0
A-48	View from Okanagan Lake	-	A0
A-49	View from Okanagan Lake	-	A0
A-50	View from Okanagan Lake	-	A0
A-51	View from Okanagan Lake	-	A0
A-52	View from Okanagan Lake	-	A0
A-53	Section: Detail	1/10	A0
A-54	Section: Detail	1/10	A0
A-55	Section: Detail	1/10	A0
A-56	Section: Detail	1/10	A0

SCHEDULE A & B

This forms part of application
DP17-0191

Planner
Initials AC



LEGAL ADDRESS:

EPP43122

CIVIC ADDRESS:

Development Permit.
Application covering the following
Property:

289 QUEENSWAY AVE.,
KELOWNA, BC

ZONING ANALYSIS TABLE:



City of
Kelowna

Community Planning
1100 Water Street
Kelowna, BC V1Y 1A8
(250) 860-8333
kelowna.ca

Zoning Analysis Table
FILE NUMBER: _____

The Zoning Analysis Table applies to all Rezoning and Development Permit applications for:

- Character Neighbourhood Permit
- Heritage Alteration Permit
- Carriage House First Dwellings Housing Permit
- Development Variance Permit
- Multi-unit Residential Permit (3+ units)
- Commercial Use Permit
- Industrial Permit
- Institutional Permit

This analysis table provides the applicant an opportunity to demonstrate how the proposal meets the regulations of the Zoning Bylaw 2005. Please refer to the Zoning Bylaw 2005 online at kelowna.ca/balaws.

ALL MEASUREMENTS TO BE PROVIDED IN METRIC.

Site Details	Zone Requirement	Proposal
Site Area (m ²)	4,542.45	
Site Width (m)	54.51	
Site Depth (m)	78.38	
Site Coverage of Buildings (%)		83 %
Site Coverage of Buildings, Driveways, and Parking (%)		90 %
Development Regulations		Zone Requirement
Total Number & Types of units		Apartment 140 Units / 7 Units (174 units)
Floor Area (sqm/m ²)		Private: 35,276 sqm / Residential: 9,584 sqm
Floor Area Ratio (FAR)		0
Building Height (storeys/meters)		20 storeys / 76.5 m
Buildings Setbacks (m)		33 storeys / 130.79 m
Front	North	Queensway Ave: 3m above 10 m
Side (include direction)	East	Water Street: 3m above 10 m
Side (include direction)	West	Berry Park: 3m above 10 m
Back	South	Asp Lane: 0m
Number of Parking Spaces/Loading Spaces		275 Spaces / 8 Loading Areas
Setbacks to Parking (m)		294 Spaces / 7 Loading Areas
Front		N/A
Side (include direction)		N/A
Side (include direction)		N/A
Back		N/A
Driver Access Width (m)		Porter Coach - 3.0m / Park - 3m
Number of Bicycle Parking Spaces		38 Class 1 / 20 Class 0
Private Open Space Area		780 sqm
		2,741.71 sqm (Public Open Space)

Page: 1 of 2
Permit: January 2016



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Context Plan & Zoning Analysis Table

Date
July 2017

Scale A1
1/500

Nº
A-02

SCHEDULE A & B

This forms part of application

DP17-0191



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials

AC

Kelowna Downtown Hotel Development Statistics

LEVEL	TOTAL GFA		PARKING		FOH/HOTEL		HOTEL ROOMS		SPA / FITNESS		RETAIL		APARTMENTS		CONFERENCE		MISCELLANEOUS		TERRACES	
	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	IN Suite	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Units	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Units	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)
B2	3929.97	42302	3929.97	42302	79															
B1	3929.97	42302	3929.97	42302	77															
L1	3422.76	36942	3422.76	36942	6	835.86	8987				885.84	9535					1387.22	15040		
L2	2828.65	30447	2828.65	30447	15						118.82	1279					1061.70	11428		
L3	2967.91	31946	2967.91	31946	29	829.43	8928										896.23	9647	1058.88	11398
L4	2934.01	31581	2934.01	31581	29												604.99	6512	294.04	3185
L4 Mezz	585.37	6301	585.37	6301	12															
L5	2919.98	31430	2919.98	31430	29															
L5 Mezz	654.71	7047	654.71	7047	19															
L6	1994.36	21487														1294.37	13932	699.99	7536	947.79
L6 Mezz	356.41	3836															356.41	3836		10202
L7	932.97	10042					704.29	7581	13										100.64	1083
L8	932.97	10042					704.29	7581	13										100.64	1083
L9	932.97	10042					704.29	7581	13										100.64	1083
L10	932.97	10042					704.29	7581	13										100.64	1083
L11	932.97	10042					704.29	7581	13										100.64	1083
L12	932.97	10042					704.29	7581	13										100.64	1083
L13	932.97	10042					704.29	7581	13										100.64	1083
L14	932.97	10042					704.29	7581	13										100.64	1083
L15	932.97	10042					704.29	7581	13										100.64	1083
L16	932.97	10042					704.29	7581	13										100.64	1083
L17	901.27	9701				737.93	7943													
L18	901.27	9701						353.86	3899	4									1758	1896
L19	901.27	9701						754.03	8116	6									2802	2999
L20	901.27	9701						754.03	8116	6									147.24	1585
L21	870.85	9374											787.75	8587	4				147.24	1585
L22	883.07	9505											787.75	8587	4				73.10	787
L23	883.07	9505											787.75	8586	4				85.32	918
L24	883.07	9505											787.75	8586	4				85.37	919
L25	883.07	9505											787.75	8586	4				85.37	919
L26	883.07	9505											787.75	8586	4				85.37	919
L27	883.07	9505											787.75	8586	4				85.37	919
L28	883.07	9505											787.75	8586	4				85.37	919
L29	883.07	9505											779.31	8388	1				103.76	1117
L30	883.07	9505											779.31	8388	2				103.76	1117
L31	883.07	9505											779.31	8388	2				103.76	1117
L32	743.69	8005											641.60	6906	1				102.09	1099
L33	695.39	7377											223.21	2403	1				462.18	4975
	60589.51	544540	14009.84	151662	298	2403.22	25088	1084.37	110419	174	891.32	7441	1004.86	10814	9584.44	103100	48	1294.37	13932	10427.29
																			8887.17	75209

		TOTAL GFA (Excluding Balconies & Terraces)		TOTAL BUILT AREA (Including Balconies & Terraces)	
		Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)
L1-32	TOTAL AREA ABOVE GROUND	26500	302879	43487	408088
B1 / B2	TOTAL AREA PARKING UNDERGROUND	7860	84684		
	TOTAL NUMBER OF STALLS	156			
L1-4	TOTAL AREA PARKING ABOVE GROUND	6230	67068		
	TOTAL NUMBER OF STALLS	139			
L21-33	TOTAL RESIDENTIAL NET AREA	9584	103140	12325	132969
	TOTAL NUMBER OF APARTMENTS	40			
L1-20	TOTAL RESIDENTIAL COMMON AREA			272.84	2937
L1-20	TOTAL HOTEL + PODIUM + SKYLounge GFA AREA	25899	270133	29342	315839
	TOTAL NUMBER OF ROOMS	174			
	TOTAL NUMBER OF FLOORS	33			
SITE STATS		Total Sq. Ft. (+/-)	Total Sq. Ft. (+/-)	Hectares	
SITE AREA		4542	48894	0.454	
SITE COVERAGE OF BUILDING (%)		83			
TOTAL NET AREA		34681			
FAR		7.81			
FAR PERMITTED		8			

PARKING STALLS - KELOWNA STANDARDS						
Parking Stalls	Full Size (6x2.5m)	Medium Size	Compact Size	Accessible (6x3.7m)	Total per Floor	Total Required
B2	45	28	5	1	79	
B1	49	24	3	1	77	
L1 / P (out)	6	-	-	-	6	
L2 / P	12	3	-	-	15	
L3 / P	15	11	3	-	29	
L4 / P	5	5	2	-	12	
L4 / P Mezz	15	11	3	-	29	
L5 / P	6	10	-	-	16	
L5 / P Mezz	15	11	3	-	29	
Total	168	109	19	2	298	279
Type Ratio	Minim. 50%	Max. 60%	Max. 10%			
	56.9	34.9	6.4	0.7	100%	
BICYCLE PARKING STALLS						
PROVIDED			REQUIRED			
	Class I	Class II	Class I	Class II		
Residential	25	9	25	9		
Hotel	9	5	9	5		
Retail	2	2	2	6		
Total	36	20	36	20		



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan

Development Statistics

Date

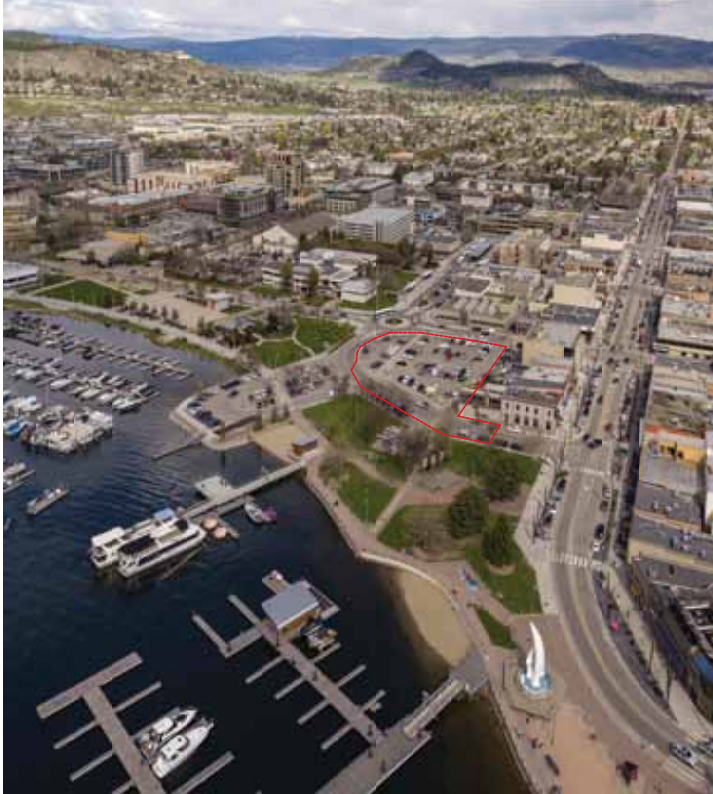
July 2017

Scale A1

-

Nº

A-03



01. Aerial view of Site from the Marina.



02. View looking toward site from Mill St and Bernard Ave.



03. View looking toward site from Queensway and Mill St.



04. View looking toward site from Marina.



05. View looking toward site from Stuart Park.



06. View looking toward site from Queensway and Water St.



07. View looking toward site looking down from Queensway.



08. View 06 close-up.

SCHEDULE A & B

This forms part of application
DP17-0191

Planner
Initials

AC



**City of
Kelowna**
COMMUNITY PLANNING



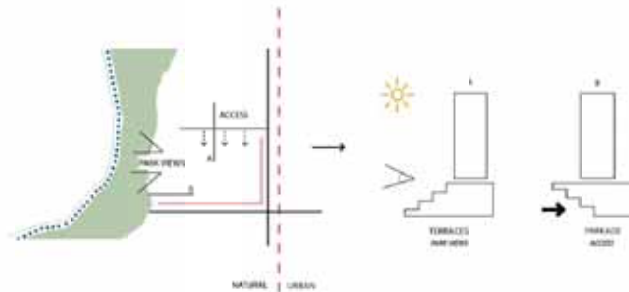
Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Context Photos

Date
July 2017

Scale A1
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Nº
A-04



TARGETS & STRATEGIES

New Kelowna Landmark

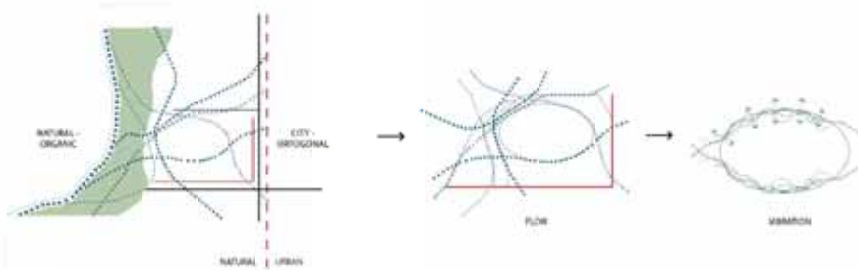
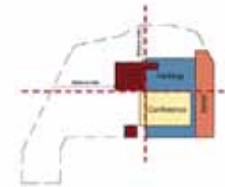
unique shape
continuity and integration

outdoor seating

maximize views
maximize sun exposure

RESULTS

maximized outdoor space
harmonic relationship to city - lower - mature
Expansive terraced outdoor areas



SCHEDULE A & B

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DP17-0191

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City of Kelowna
COMMUNITY PLANNING



>In order to create opportunities for more outdoor experiences with strong connections to the lake on the lower levels of the hotel, the structure slopes back from the lake with a series of stepped terraces. These terraces become a soft transition in the massing along the lake front and create intensified public activities on these various terraces.

>The introduction of sky lounge / restaurant level will give the public a unique dining experience with panoramic views of the lake. This experience is enhanced with extra ceiling height and grand expanses of glass.

>The large useable individual outdoor terraces are a key feature in affording everyone a quality outdoor experience on every level with unobstructed views. Each floor slab is wrapped with extra insulation to meet the National Energy Code. Otherwise the terraces would be much smaller and the outdoor living experience greatly diminished.

>Each level has gracious height to create more open and grand interior spaces with a greater connection to the outdoors and the lake.



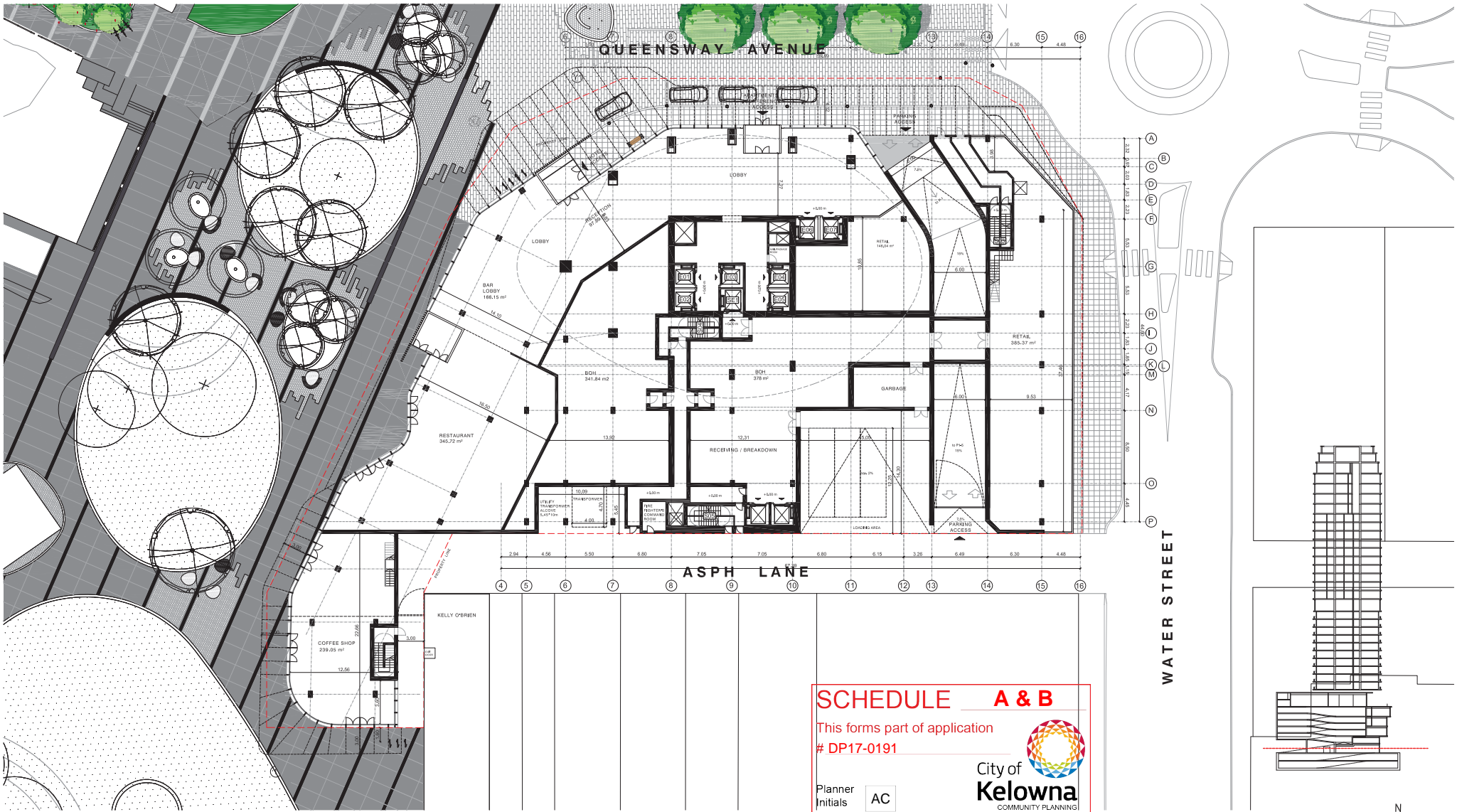
Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Concept Design

Date
July 2017

Scale A1
-

Nº
A-05



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 1 / P Floor plan

Date
July 2017

Scale A1
1:200

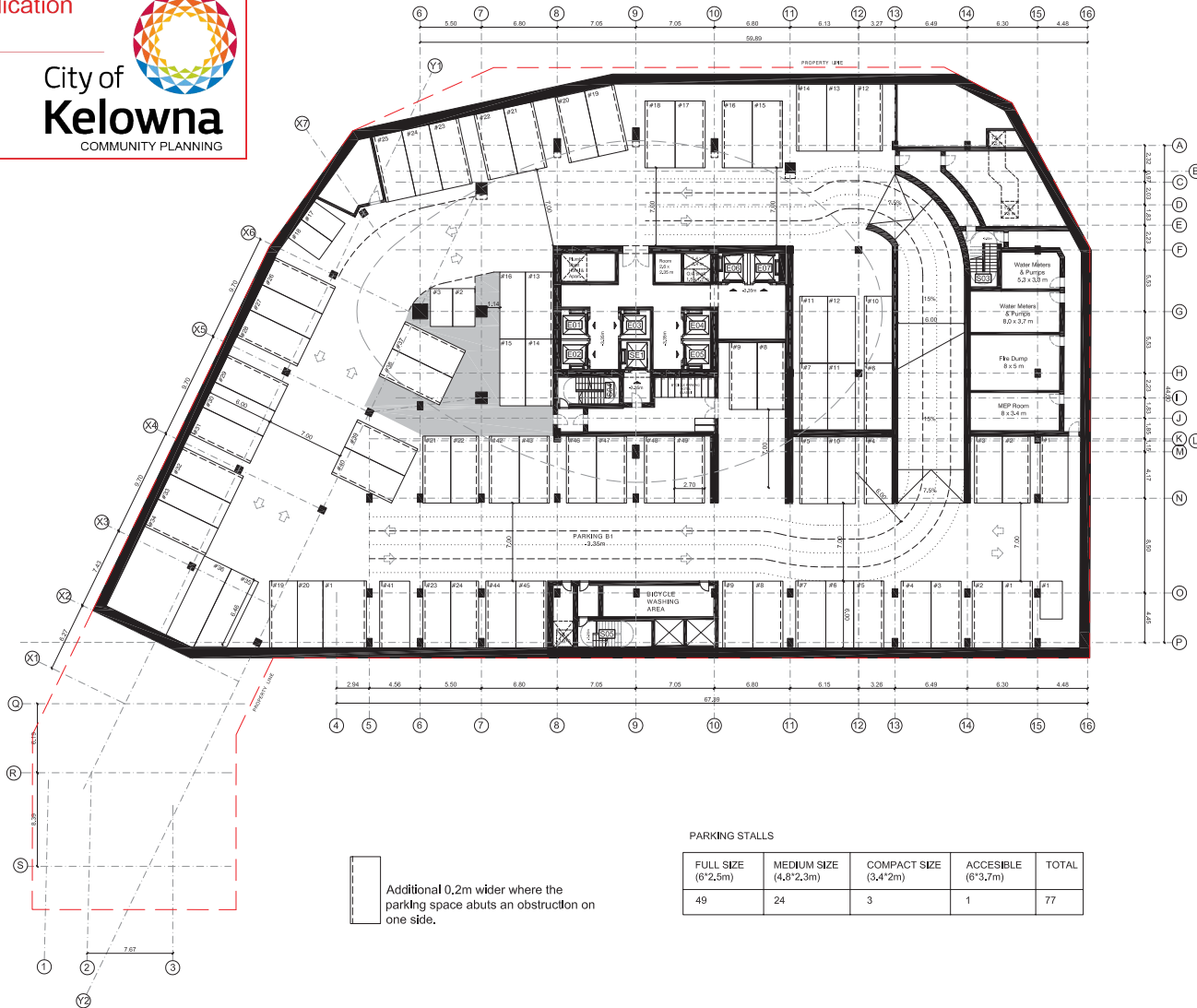
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A-06

SCHEDULE A & B

This forms part of application

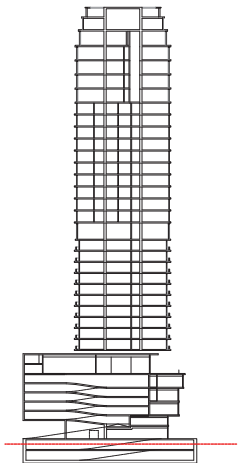
DP17-0191

Planner
Initials AC



PARKING STALLS

FULL SIZE (6'x2.5m)	MEDIUM SIZE (4,8'x2,3m)	COMPACT SIZE (3,4'x2m)	ACCESSIBLE (8'x3,7m)	TOTAL
49	24	3	1	77



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Basement B1 / P Floor plan

Date
July 2017

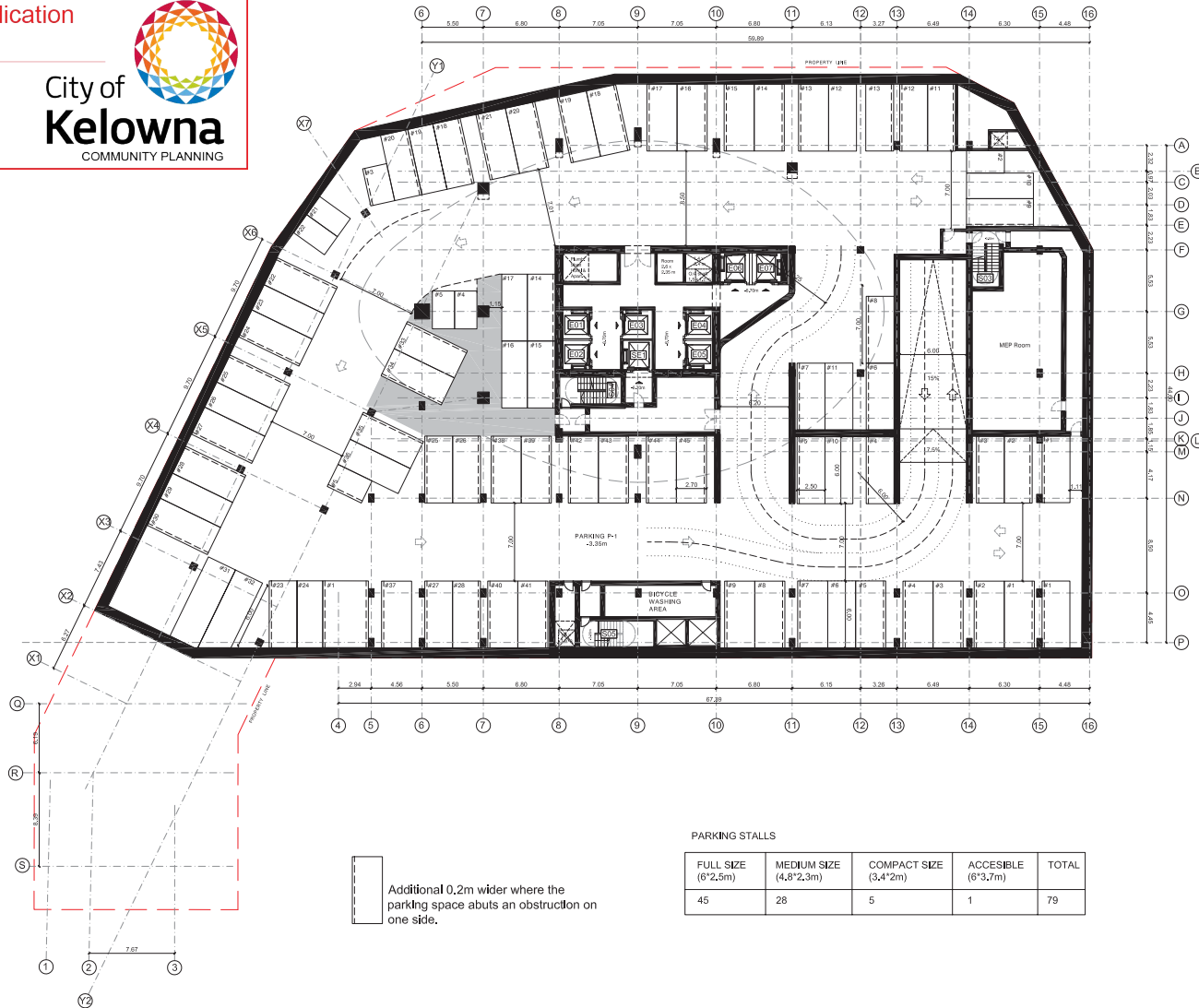
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A-07

SCHEDULE A & B

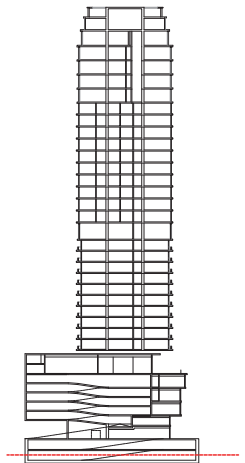
This forms part of application
DP17-0191

Planner
Initials **AC**



PARKING STALLS

FULL SIZE (6*2.5m)	MEDIUM SIZE (4,8*2,3m)	COMPACT SIZE (3,4*2m)	ACCESSIBLE (6*3,7m)	TOTAL
45	28	5	1	79



Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Basement B2 / P Floor plan

Date
July 2017

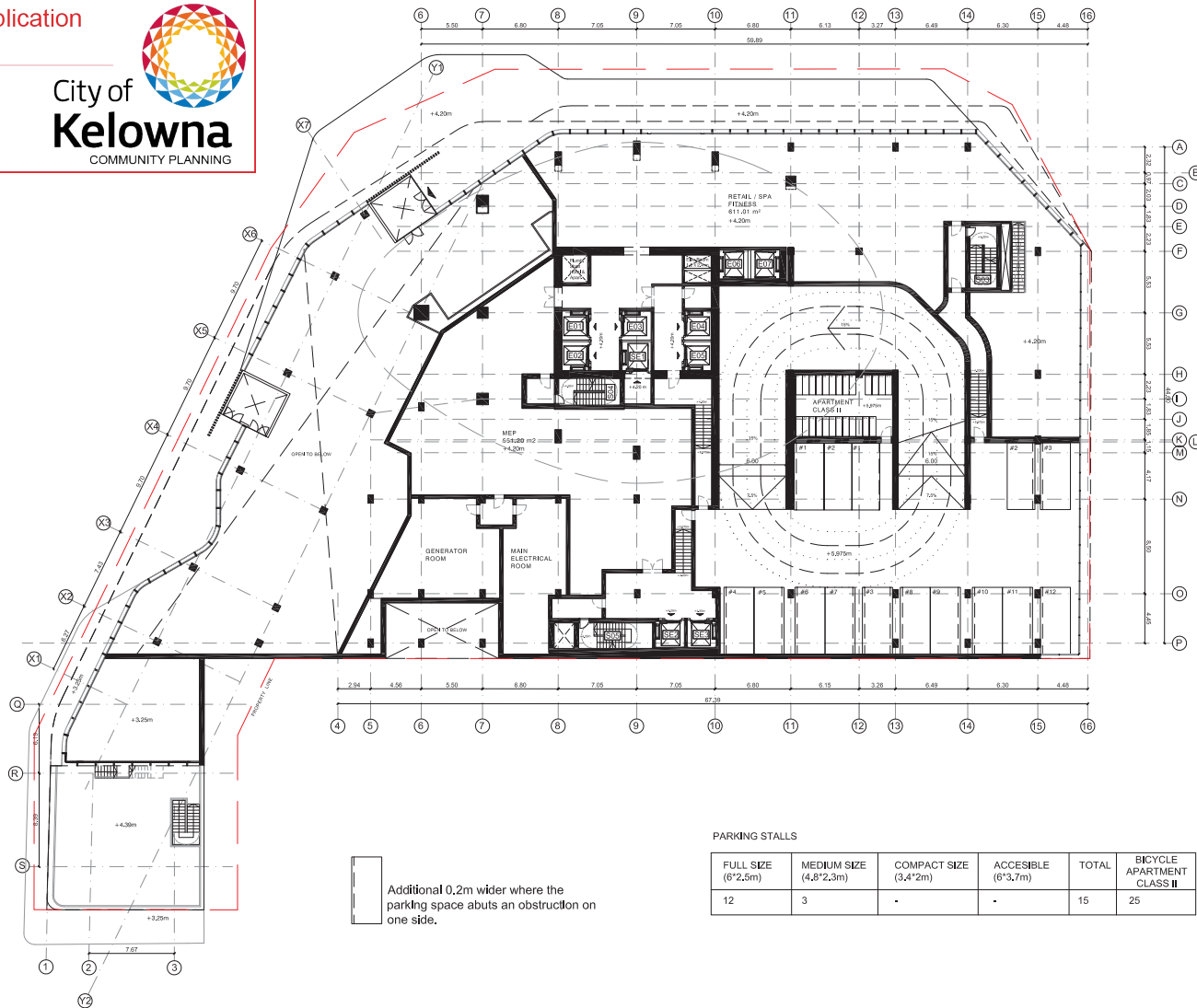
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Nº
A-08

SCHEDULE A & B

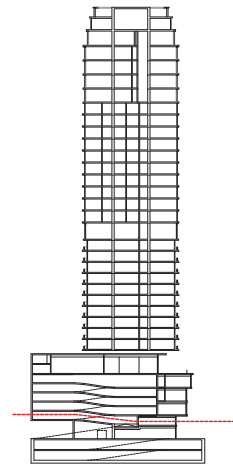
This forms part of application
DP17-0191

Planner
Initials **AC**



PARKING STALLS

FULL SIZE (6*2.5m)	MEDIUM SIZE (4.8*2.3m)	COMPACT SIZE (3.4*2m)	ACCESSIBLE (6*3.7m)	TOTAL	BICYCLE APARTMENT CLASS II
12	3	-	-	15	25



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 2 / P Floor plan

Date
July 2017

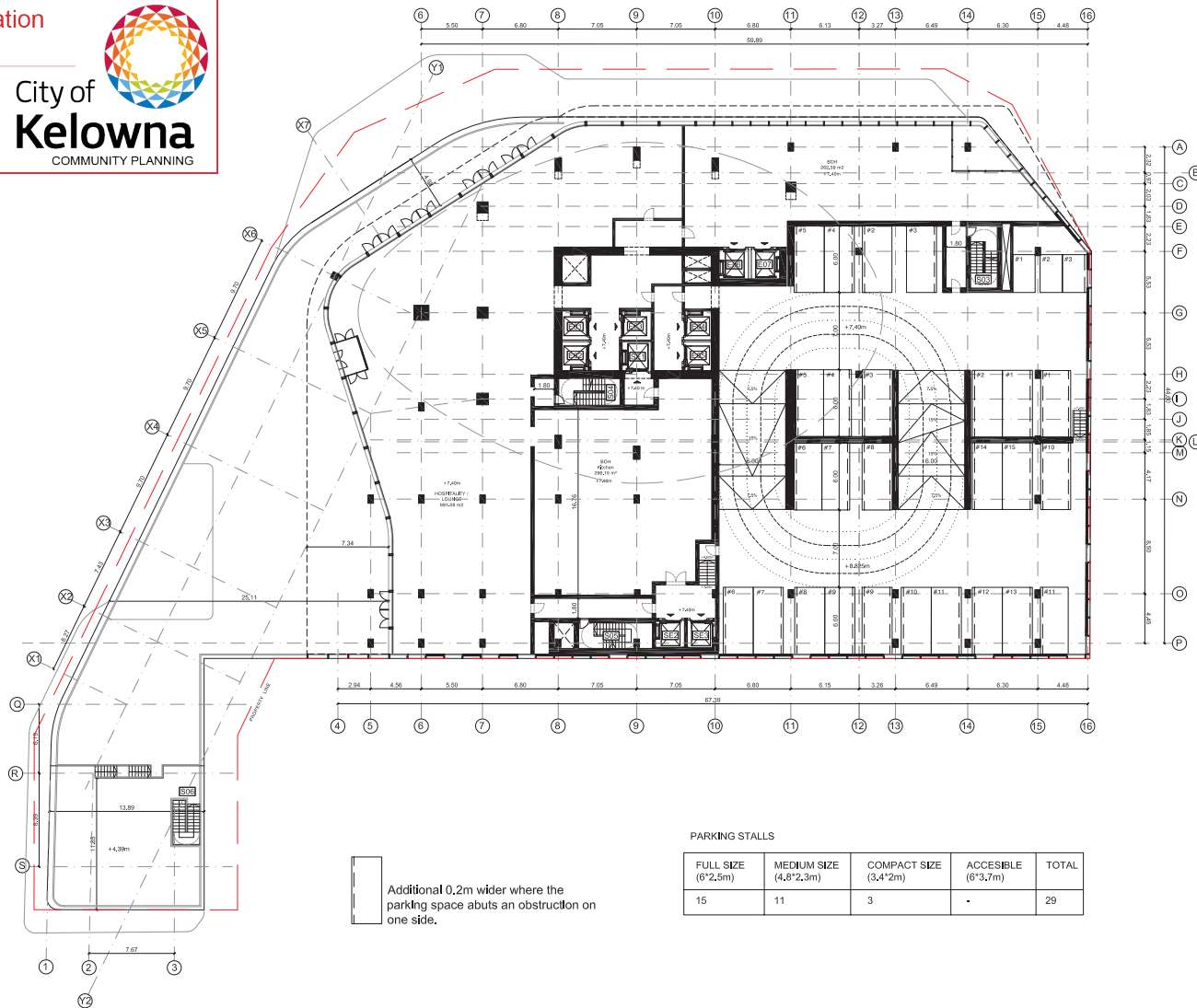
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A-09

SCHEDULE A & B

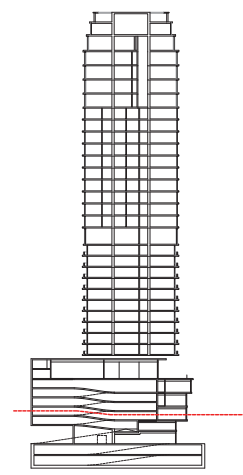
This forms part of application
DP17-0191

Planner
Initials AC



PARKING STALLS

FULL SIZE (6*2.5m)	MEDIUM SIZE (4,8*2,3m)	COMPACT SIZE (3,4*2m)	ACCESSIBLE (6*3,7m)	TOTAL
15	11	3	-	29



Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 3 / P Floor plan

Date
July 2017

Scale A1
1:200

Nº
A-10

SCHEDULE A & B

This forms part of application

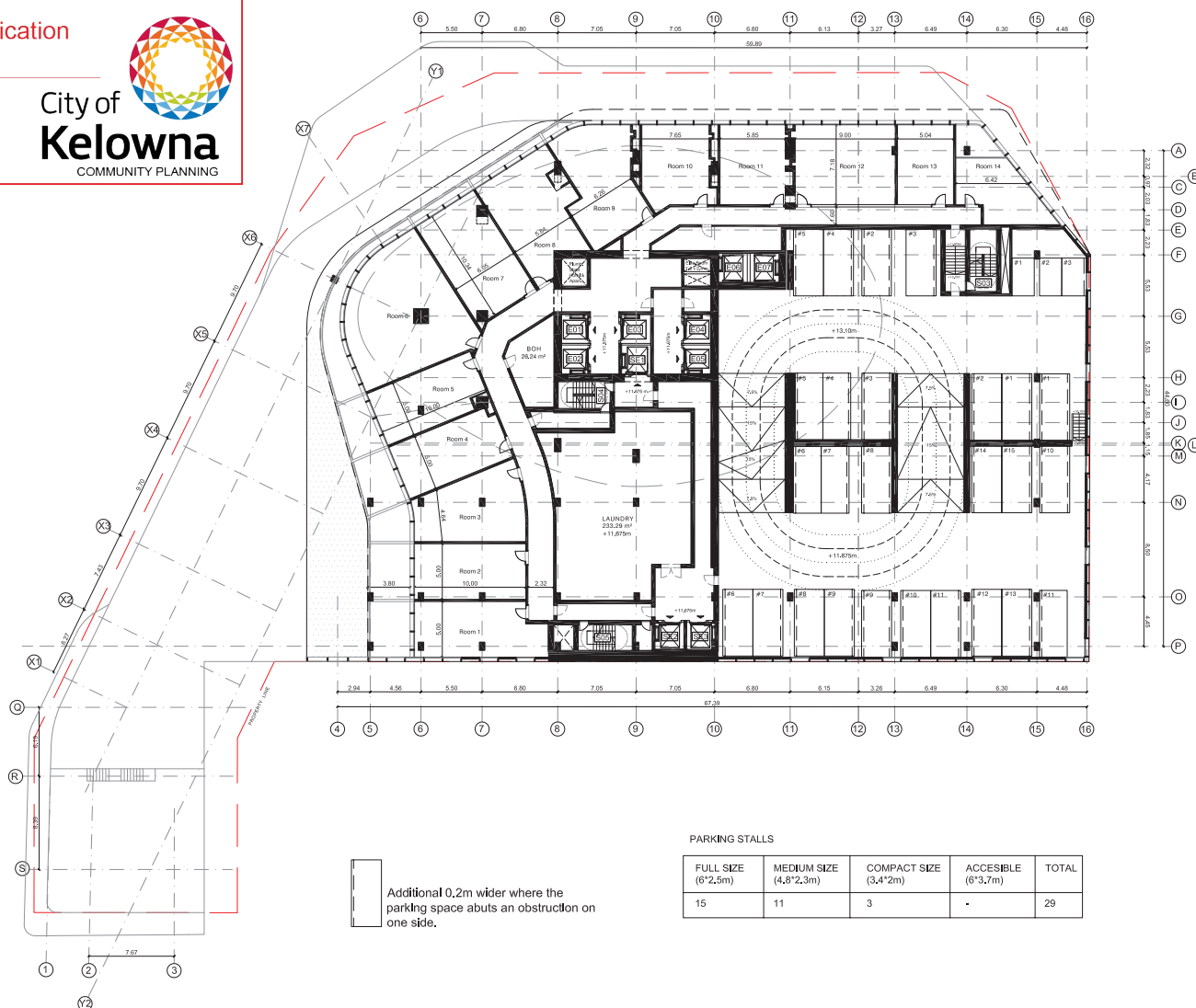
DP17-0191

Planner Initials

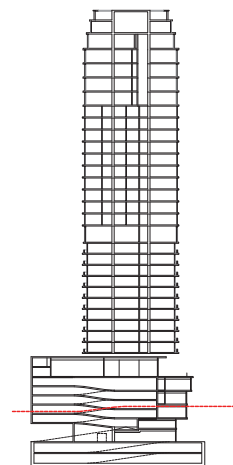
AC



City of Kelowna
COMMUNITY PLANNING



HOTEL LEVEL 4				
	GROSS AREA		TERRACE AREA	
	m ²	SF	m ²	SF
ROOM A-1	36.0	492	22.2	236
ROOM A-2	36.0	492	22.2	236
ROOM A-3	36.4	496	22.7	243
ROOM A-4	48.1	529	31.8	342
ROOM A-5	48.1	529	31.7	339
ROOM A-6	128.2	1376	27.6	297
ROOM A-7	60.2	648	4.9	52
ROOM A-8	60.2	648	4.9	52
ROOM A-9	60.2	648	4.9	52
ROOM A-10	48.1	529	31.7	339
ROOM A-11	48.0	528	31.6	338
ROOM A-12	60.2	648	4.9	52
ROOM A-13	36.2	390	22.2	236
ROOM A-14	37.1	401	22.2	236



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 4 / P Floor plan

Date
July 2017

Scale A1
1:200

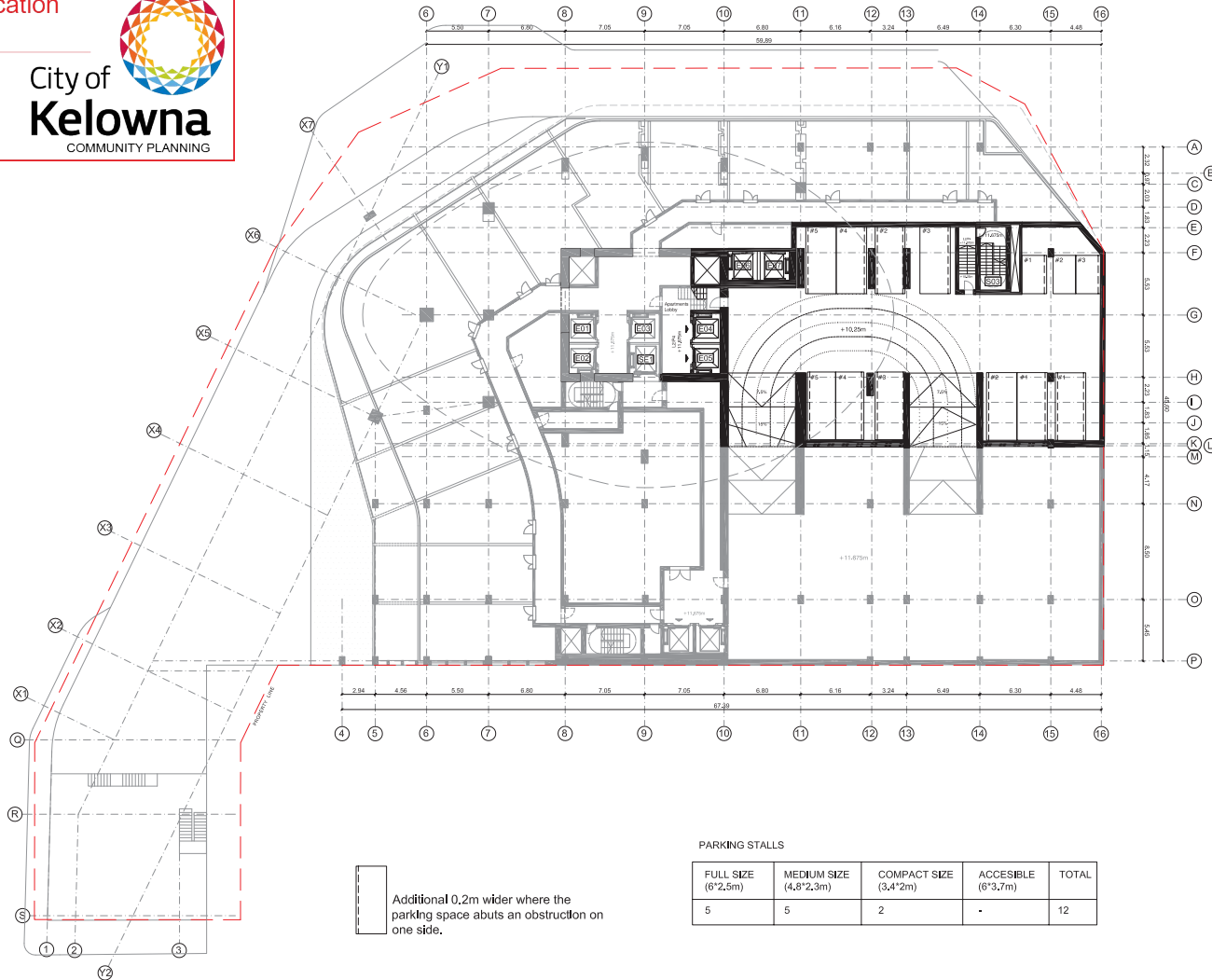
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A-11

SCHEDULE A & B

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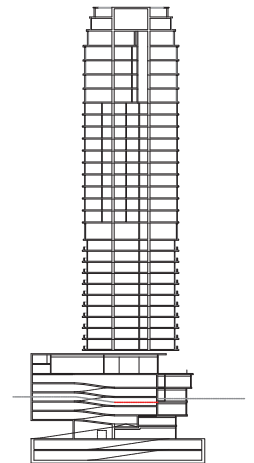
DP17-0191

Planner
Initials AC



PARKING STALLS

FULL SIZE (6*2.5m)	MEDIUM SIZE (4,8*2,3m)	COMPACT SIZE (3,4*2m)	ACCESSIBLE (6*3,7m)	TOTAL
5	5	2	•	12



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 4 / P Mezzanine Floor plan

Date
July 2017

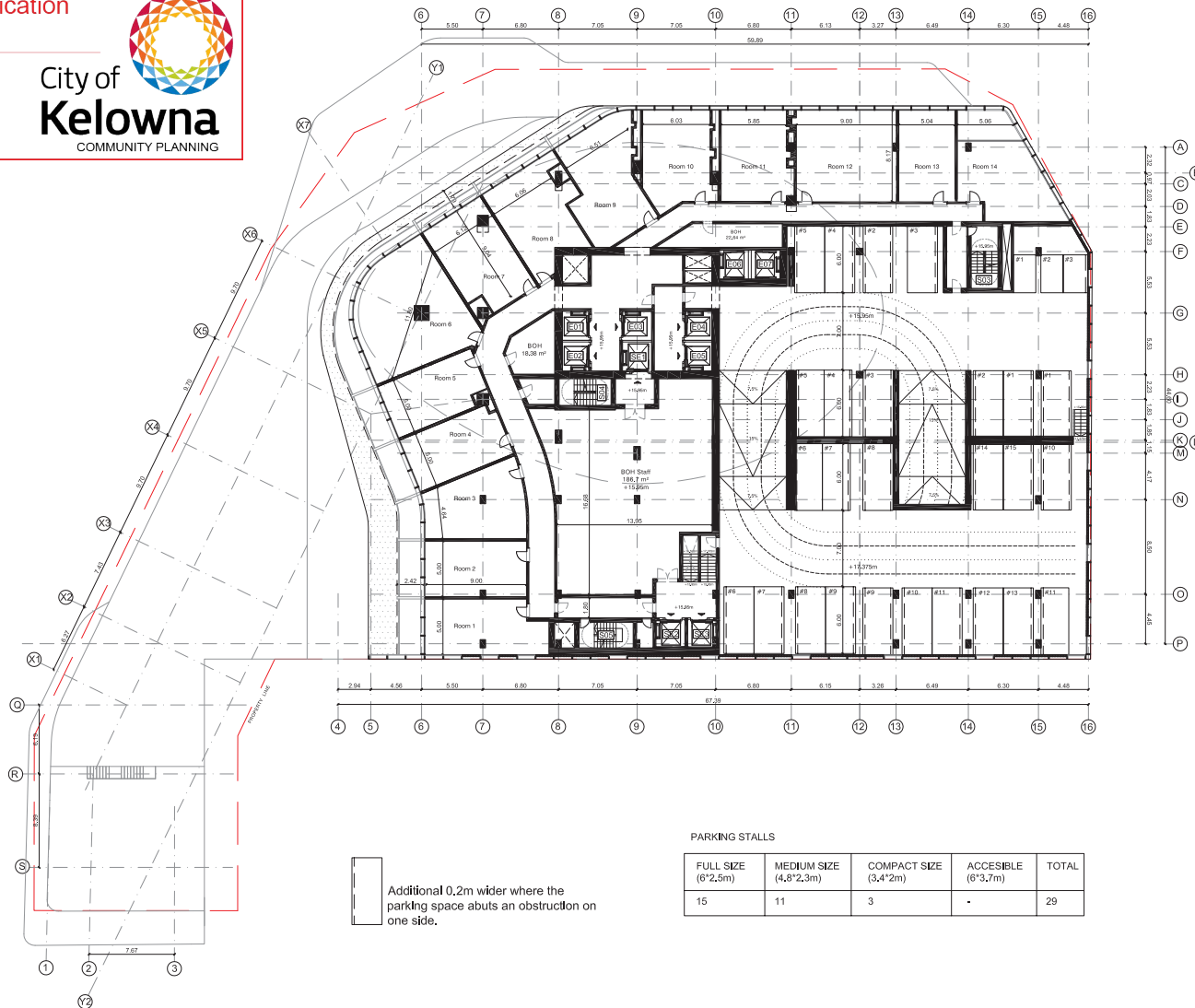
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Nº
A-12

SCHEDULE A & B

This forms part of application
DP17-0191

Planner
Initials AC

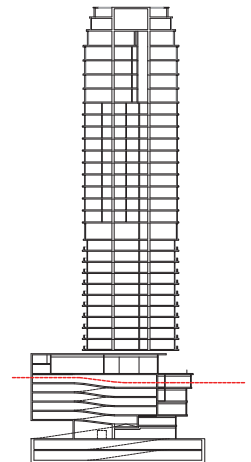


	GROSS AREA		TERRACE AREA	
	#12	#12	#12	#12
ROOM 5-1:	51.9	551	10.8	118
ROOM 5-2:	41.5	496	10.8	118
ROOM 5-3:	52.9	570	7.3	81
ROOM 5-4:	45.1	477	10.8	112
ROOM 5-5:	45.1	464	10.7	116
ROOM 5-6:	55.4	509	24.9	268
ROOM 5-7:	54.1	581	4.5	46
ROOM 5-8:	55.6	588	5.3	62
ROOM 5-9:	61.0	654	7.8	82
ROOM 5-10:	50.5	543	5.0	5
ROOM 5-11:	47.8	515	0.0	0
ROOM 5-12:	73.6	770	0.0	0
ROOM 5-13:	41.2	440	0.0	0
ROOM 5-14:	55.1	572	0.0	0

PARKING STALLS

FULL SIZE (6*2.5m)	MEDIUM SIZE (4,8*2,3m)	COMPACT SIZE (3,4*2m)	ACCESSIBLE (6*3,7m)	TOTAL
15	11	3	•	29

Additional 0.2m wider where the parking space abuts an obstruction on one side.



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 5 / P Floor plan

Date
July 2017

Scale A1
1:200

Nº
A-13

SCHEDULE A & B

This forms part of application

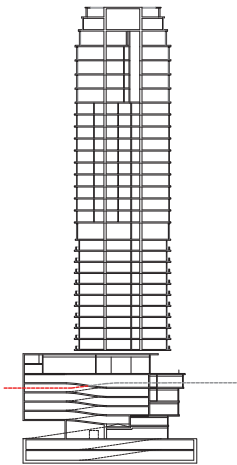
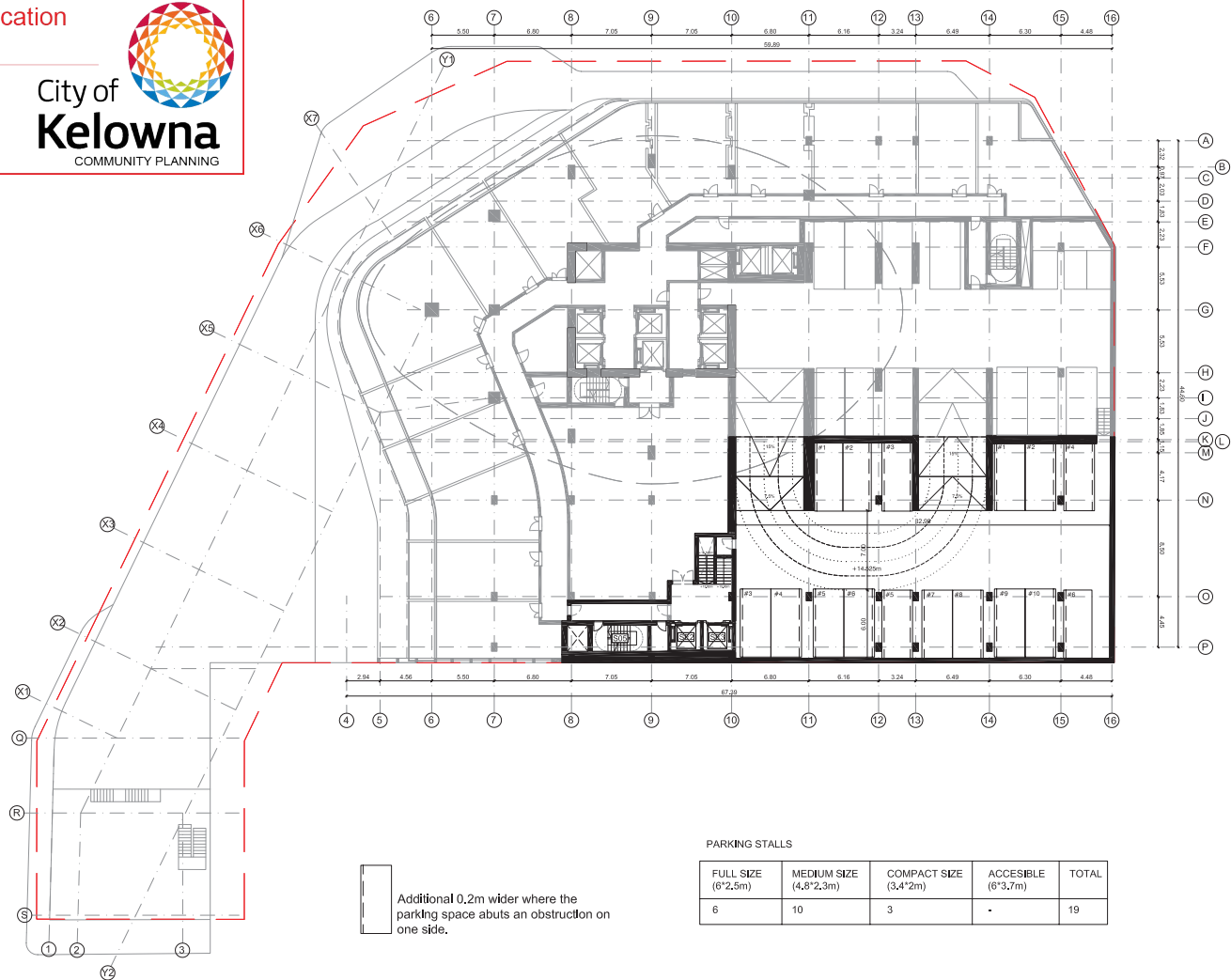
DP17-0191

Planner Initials

AC



City of Kelowna
COMMUNITY PLANNING



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 5 / P Mezzanine Floor plan

Date
July 2017

Scale A1
1:200

Nº
A-14

SCHEDULE

A & B

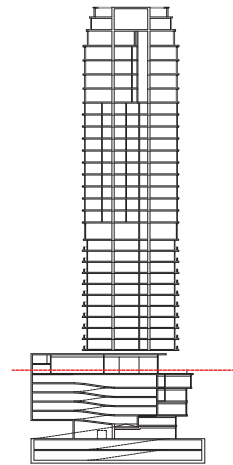
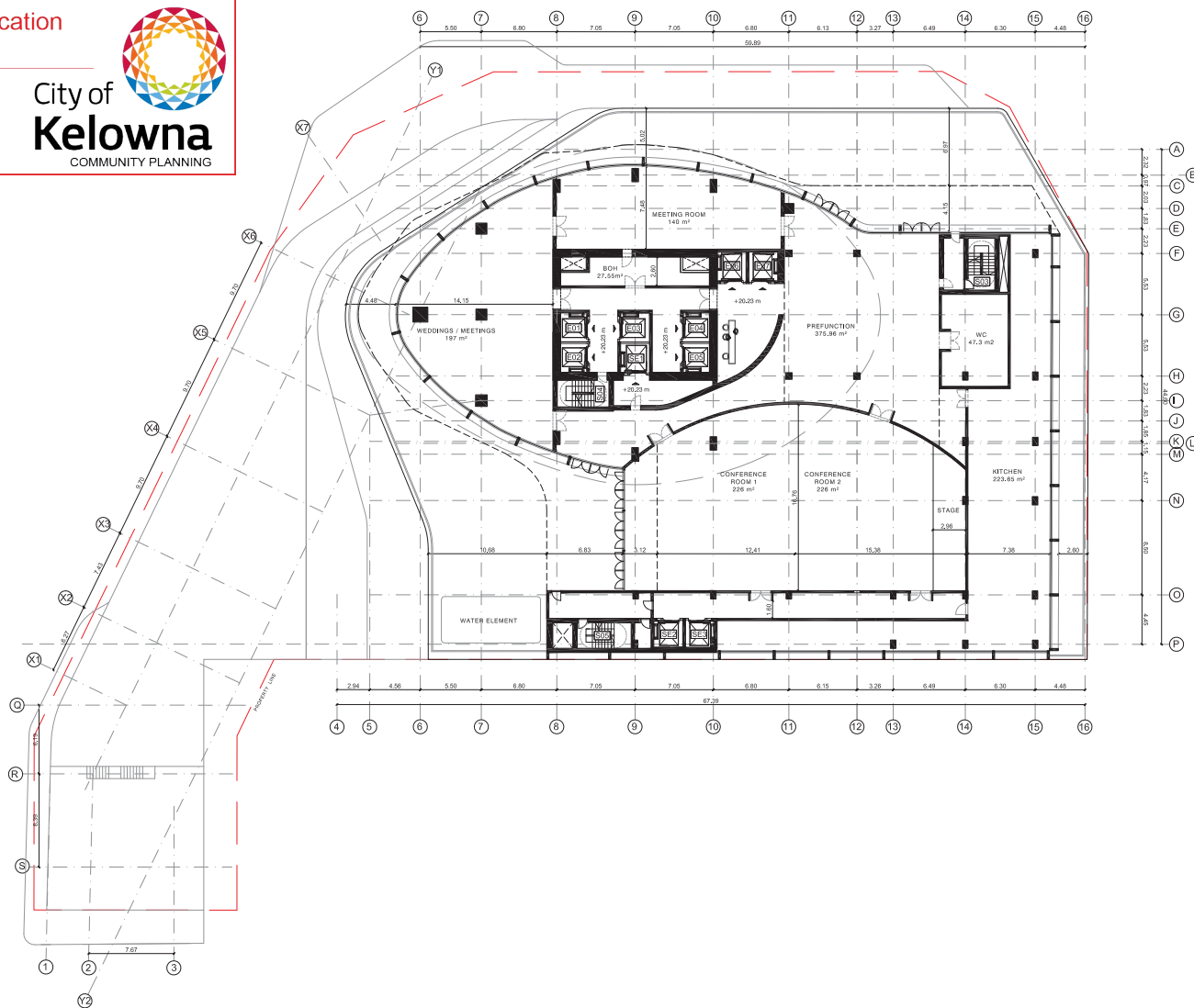
This forms part of application

DP17-0191

Planner Initials AC



City of
Kelowna
COMMUNITY PLANNING



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 6 Floor plan

Date
July 2017

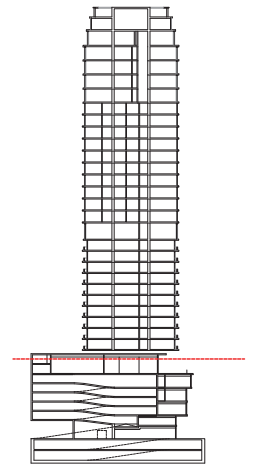
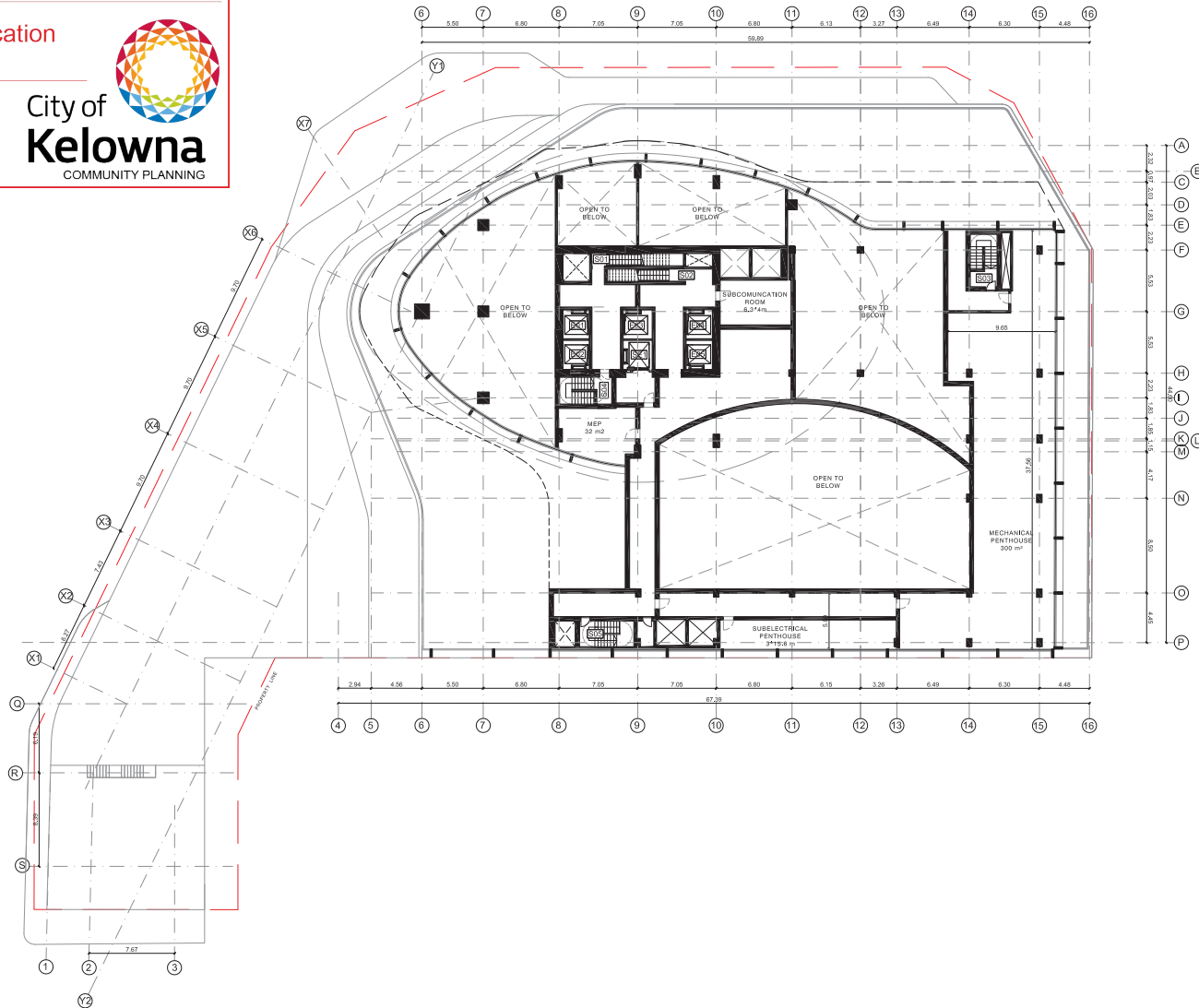
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Nº
A-15

SCHEDULE A & B

This forms part of application
DP17-0191

Planner
Initials AC



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 6 Mezzanine Floor plan

Date
July 2017

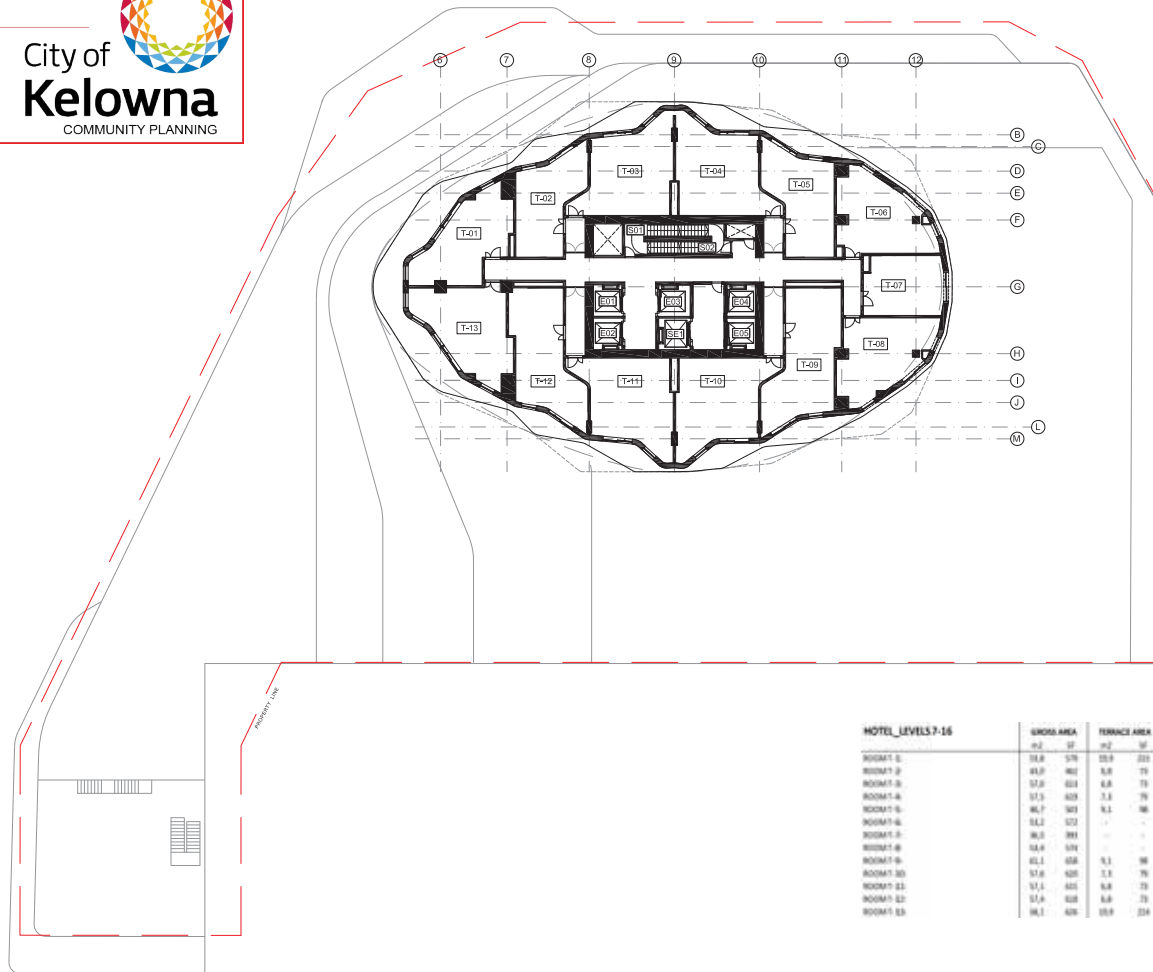
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Nº
A-16

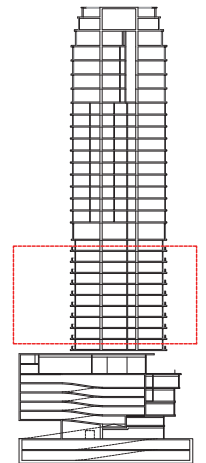
SCHEDULE A & B

This forms part of application
DP17-0191

Planner
Initials AC



HOTEL_LEVELS 7-16	GROSS AREA		TERRACE AREA	
	m ²	sf	m ²	sf
ROOM 7-1	18.8	203	18.8	203
ROOM 7-2	49.8	536	49.8	536
ROOM 7-3	17.8	191	17.8	191
ROOM 7-4	17.8	191	17.8	191
ROOM 7-5	17.8	191	17.8	191
ROOM 7-6	17.8	191	17.8	191
ROOM 7-7	17.8	191	17.8	191
ROOM 7-8	17.8	191	17.8	191
ROOM 7-9	17.8	191	17.8	191
ROOM 7-10	17.8	191	17.8	191
ROOM 7-11	17.8	191	17.8	191
ROOM 7-12	17.8	191	17.8	191
ROOM 7-13	17.8	191	17.8	191



Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 7-16 Floor plan - Hotel

Date
July 2017

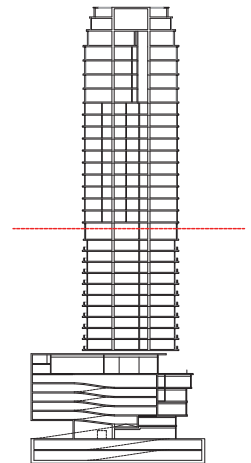
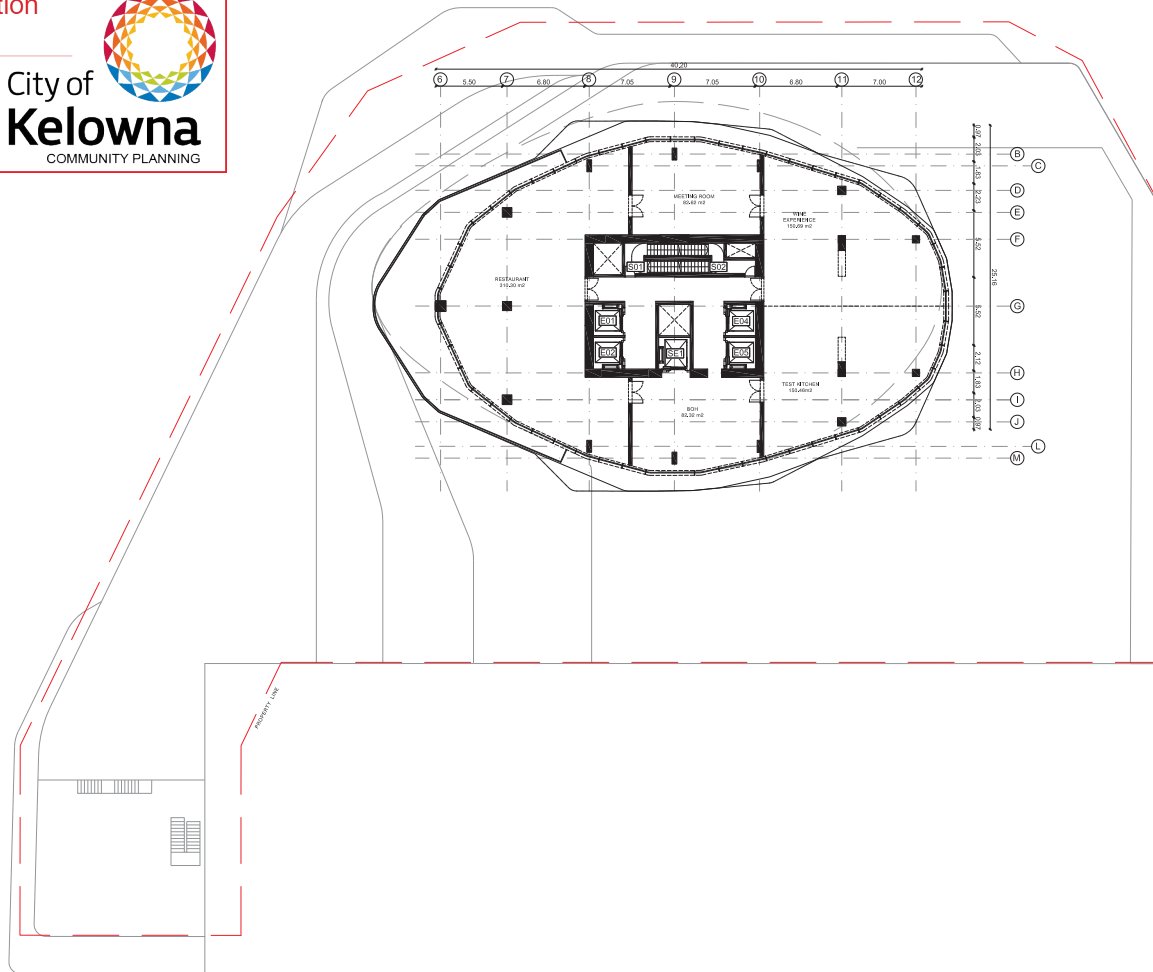
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Nº
A-17

SCHEDULE A & B

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DP17-0191

Planner
Initials AC



Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 17 Floor plan - Skyounge

Date
July 2017

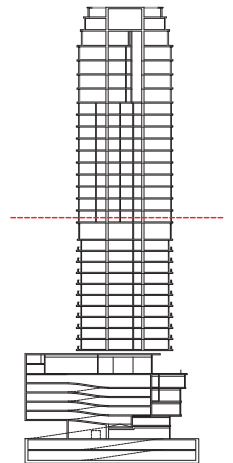
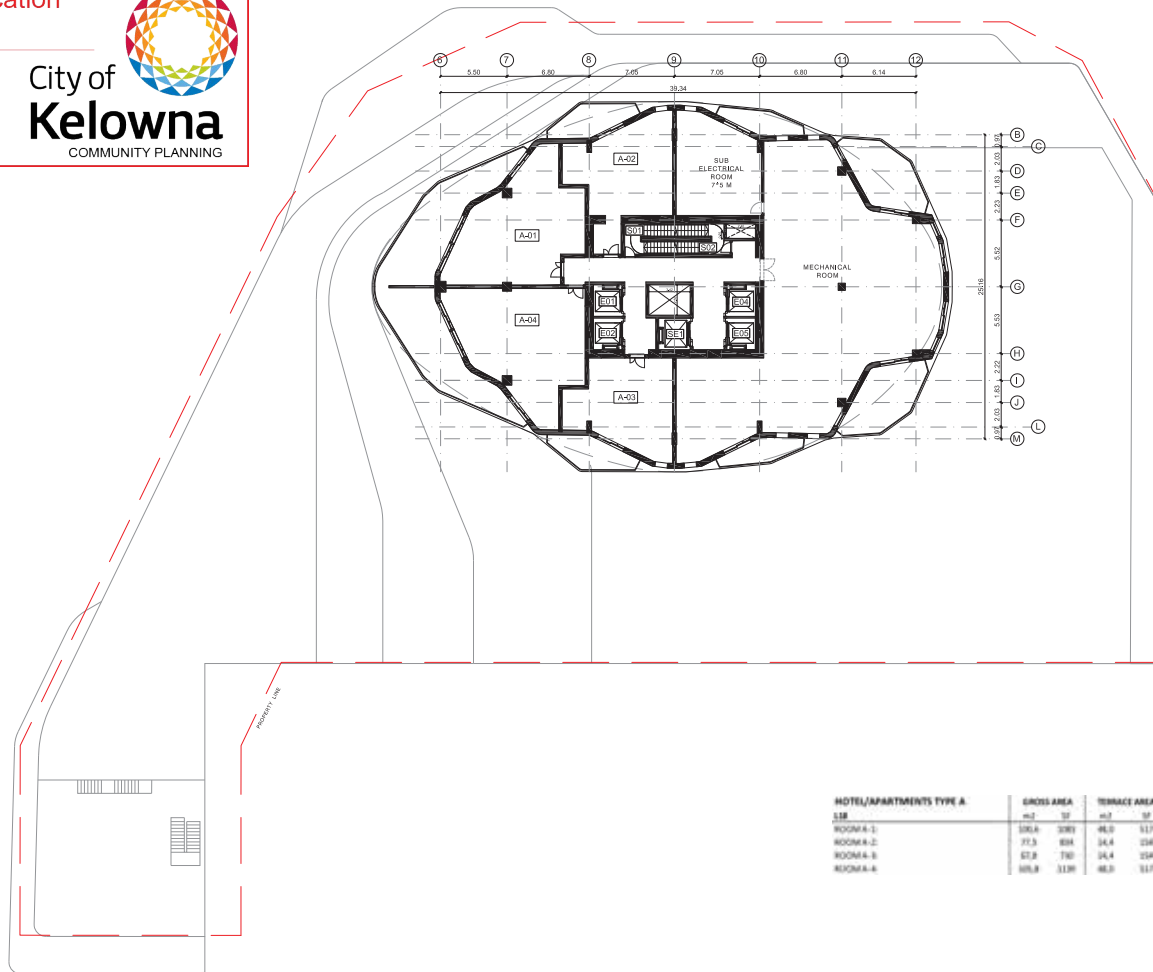
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Nº
A-18

SCHEDULE A & B

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DP17-0191

Planner
Initials AC



Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 18 Floor plan - Hotel Apartments Type A &
Technical Floor

Date
July 2017

Scale A1
1:200

Nº
A-19

SCHEDULE A & B

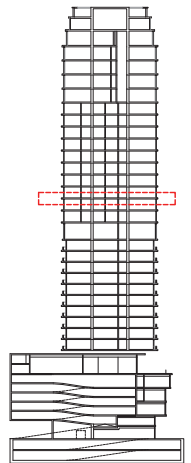
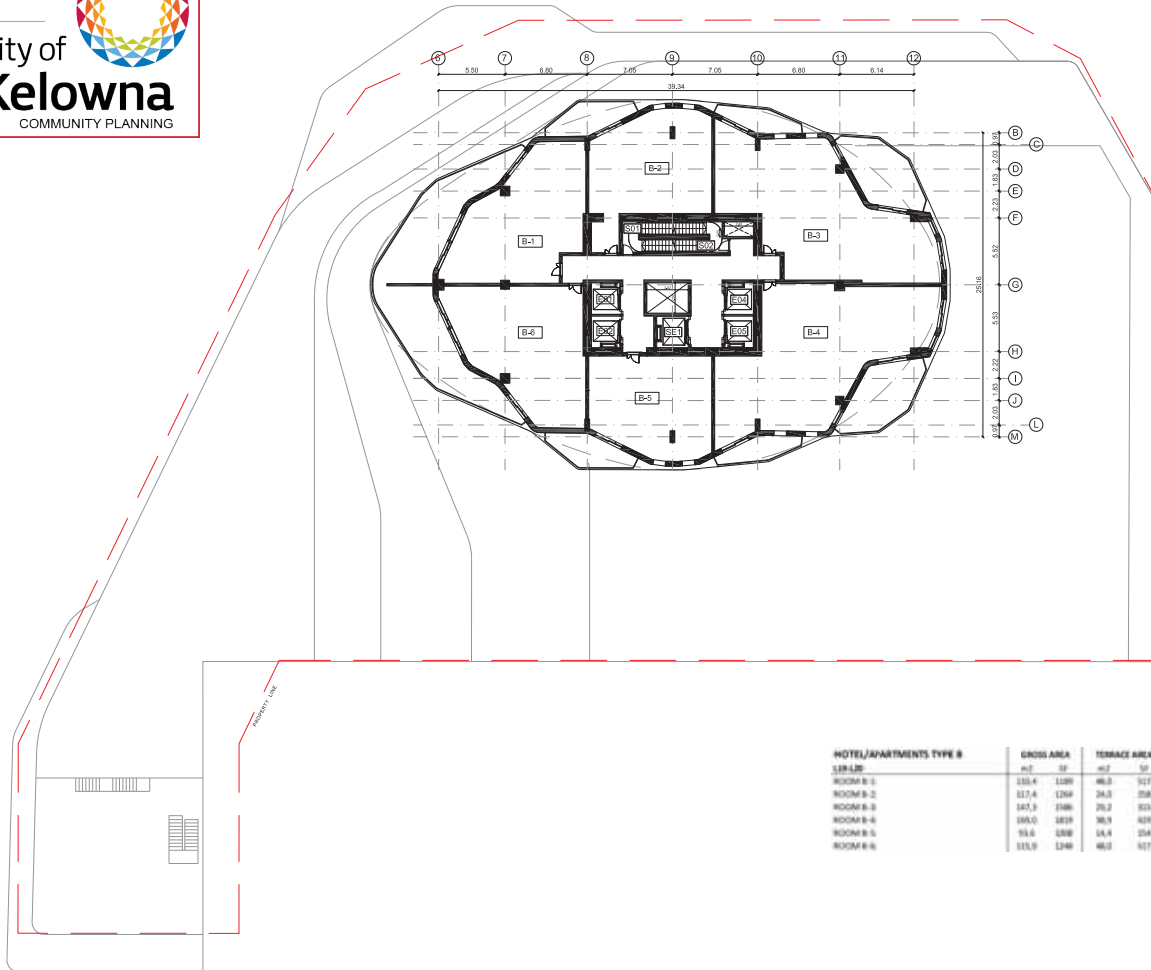
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DP17-0191

Planner
Initials

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City of
Kelowna
COMMUNITY PLANNING



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 19-20 Floor plan - Hotel Apartments Type B

Date
July 2017

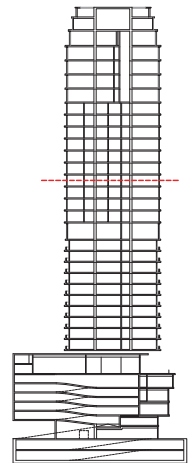
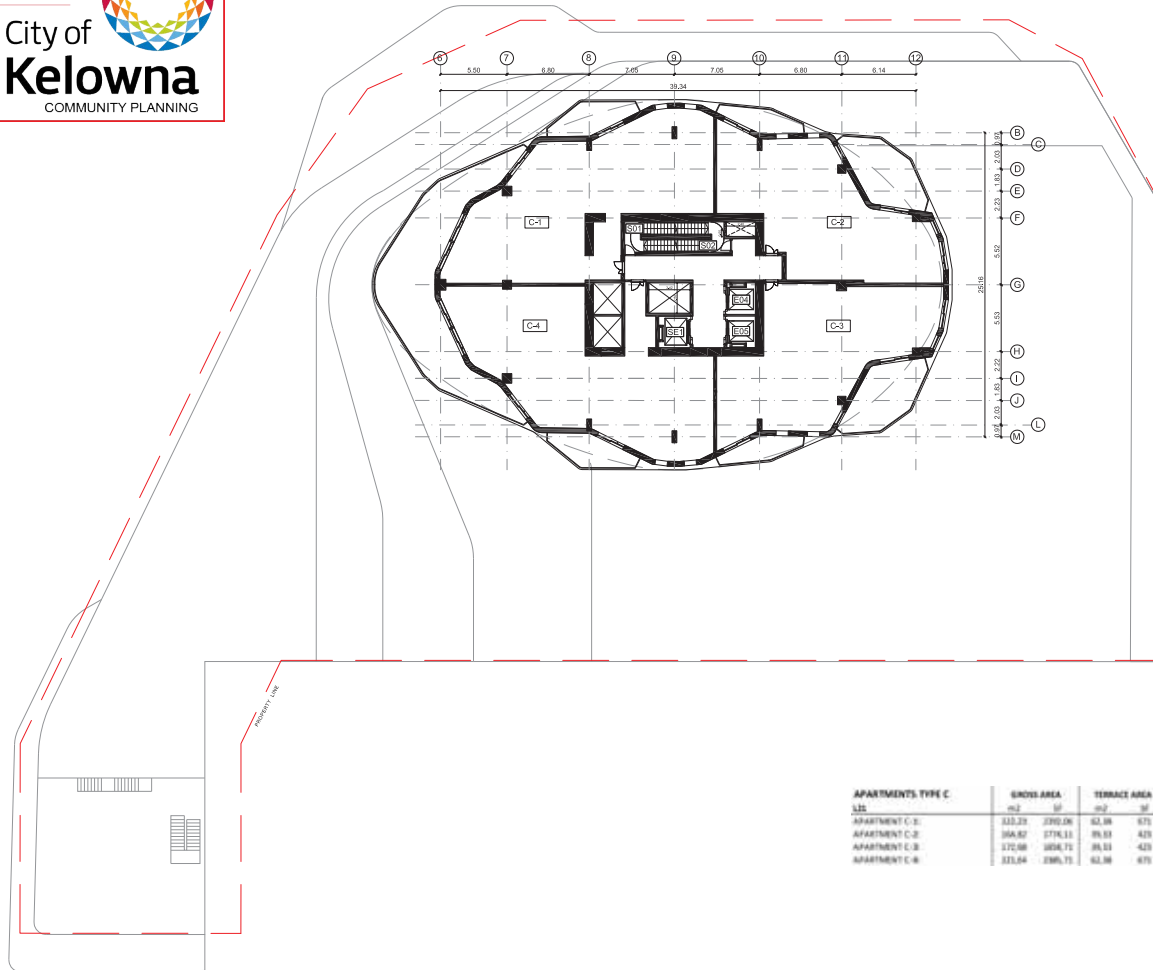
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Nº
A-20

SCHEDULE A & B

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DP17-0191

Planner
Initials
AC



Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 21 Floor plan - Apartments Type C

Date
July 2017

Scale A1
1:200

Nº
A-21


SCHEDULE

A & B

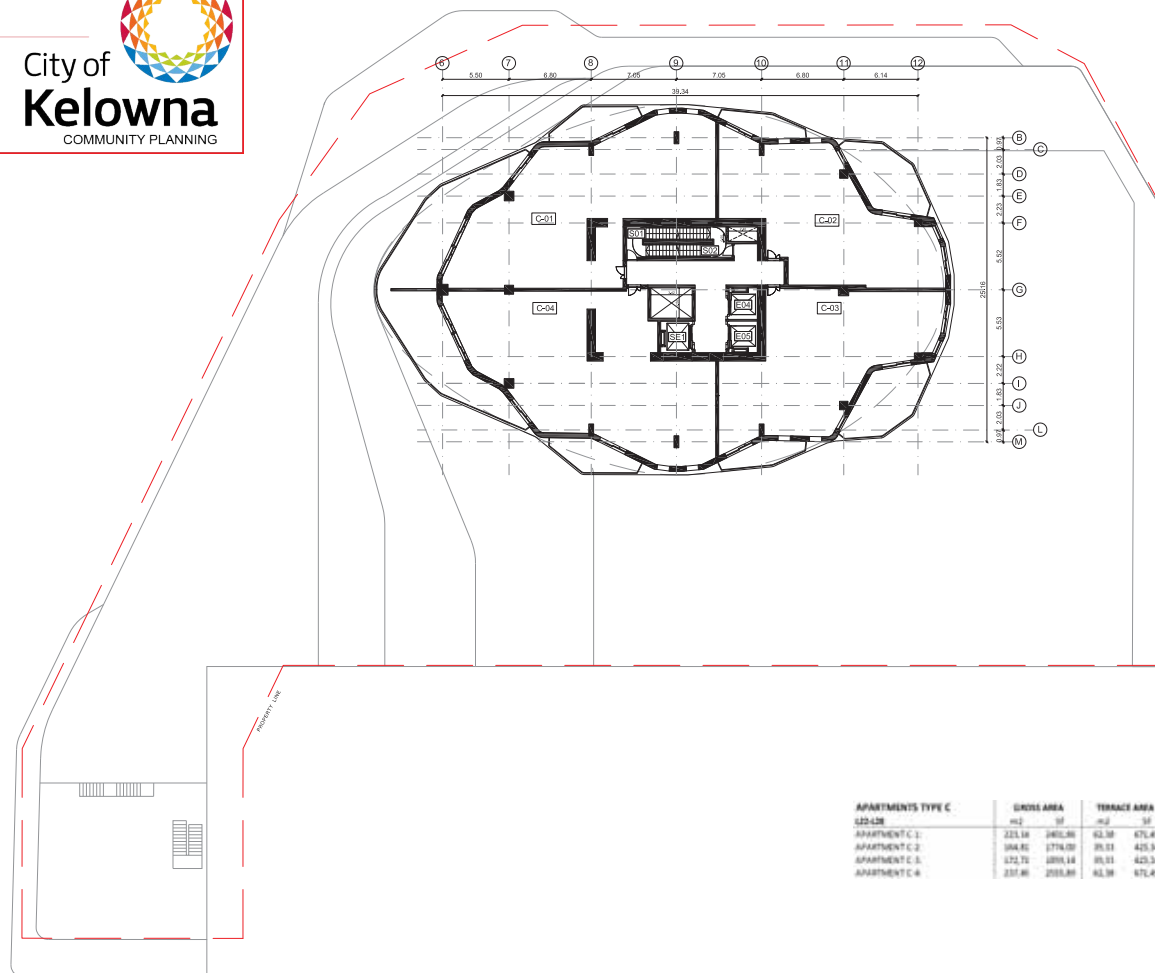
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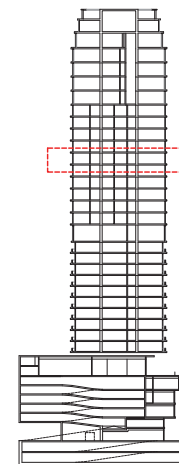
Planner Initials AC



City of Kelowna
COMMUNITY PLANNING



APARTMENTS TYPE C U22-28	GROSS AREA		TERRACE AREA	
	m ²	sf	m ²	sf
APARTMENT C.1	223.18	2402.86	62.38	672.45
APARTMENT C.2	304.82	3294.99	78.53	845.34
APARTMENT C.3	232.72	2501.14	70.53	757.34
APARTMENT C.4	237.86	2553.85	62.38	672.45



Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 22-28 Floor plan - Apartments Type C

Date
July 2017

Scale A1
1:200

Nº
A-22

SCHEDULE


A & B

This forms part of application

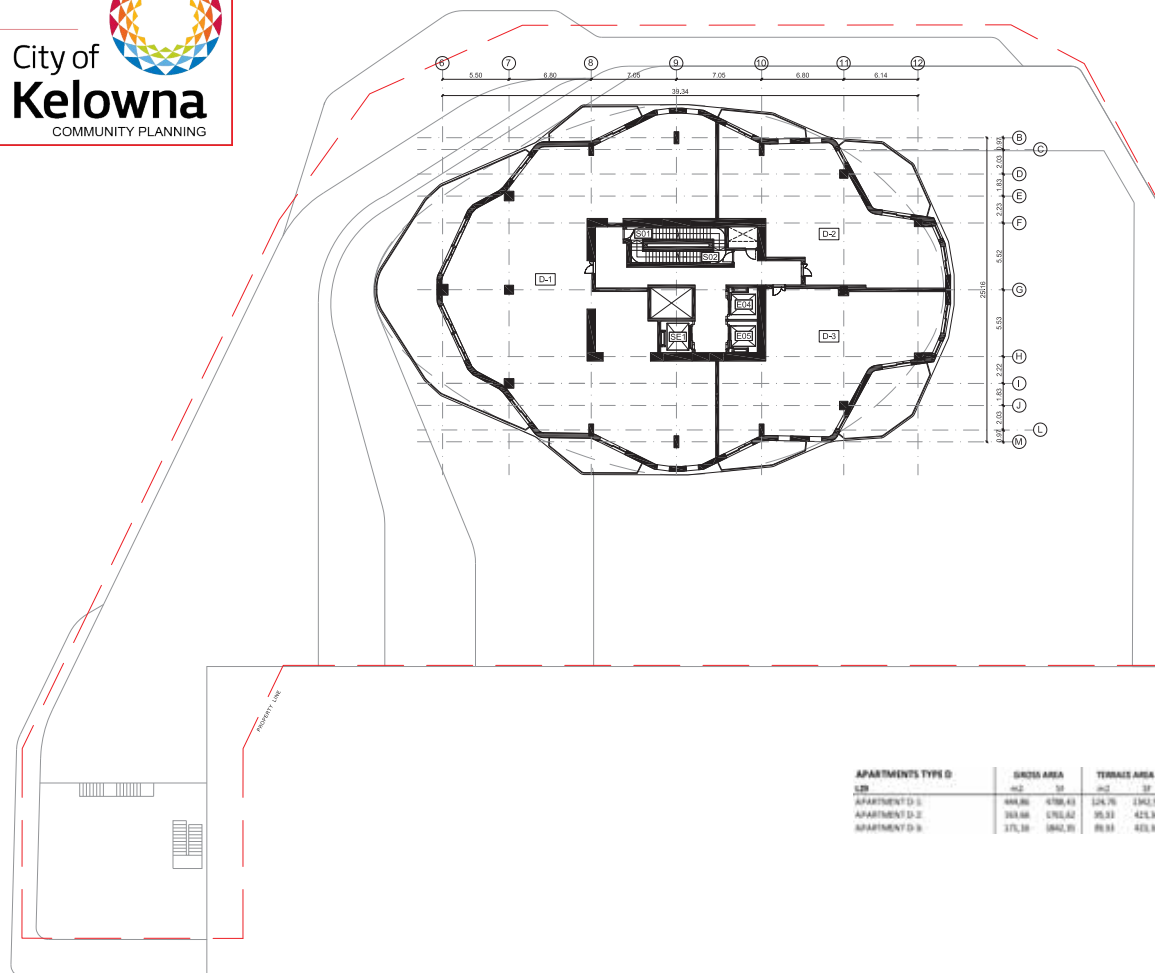
DP17-0191

Planner
Initials

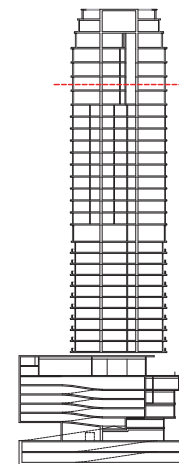
AC



City of
Kelowna
COMMUNITY PLANNING



APARTMENTS TYPE D:		GROSS AREA		TERRACE AREA	
sqm	sqft	sqm	sqft	sqm	sqft
APARTMENT D-1:		444.86	4788.43	124.76	1342.90
APARTMENT D-2:		363.88	3923.62	95.33	1028.94
APARTMENT D-3:		375.18	4042.95	95.93	1035.94



Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 29 Floor plan - Apartments Type D

Date
July 2017

Scale A1
1:200

Nº
A-23

SCHEDULE

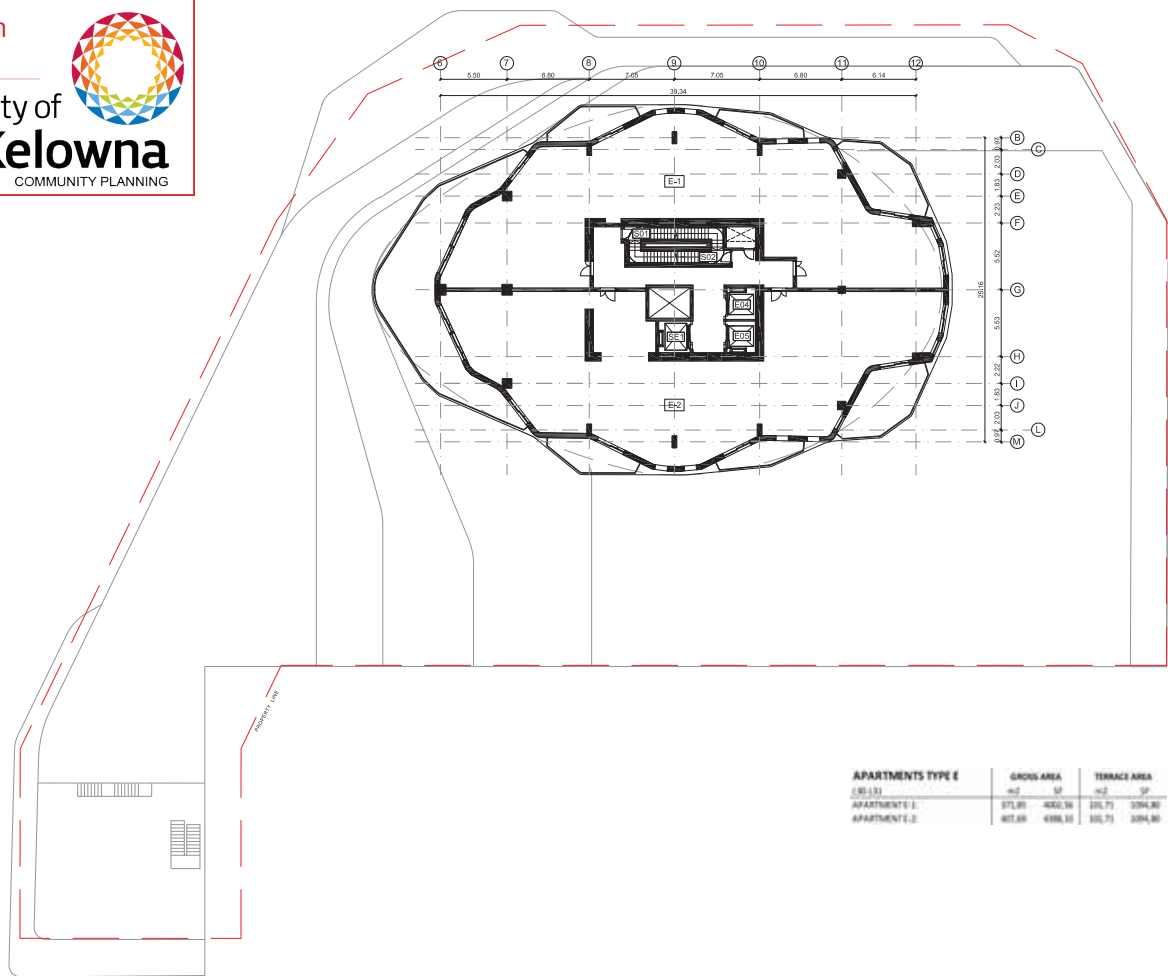
A & B

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DP17-0191

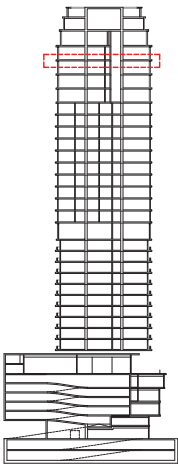
Planner Initials AC



City of
Kelowna
COMMUNITY PLANNING



APARTMENTS TYPE E		GROSS AREA		TERRACE AREA	
(SQ-1/31)		m ²	SF	m ²	SF
APARTMENTS 1:		571.80	4050.50	101.71	1094.80
APARTMENTS 2:		607.69	4996.10	101.71	1094.80



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 30-31 Floor plan - Apartments Type E

Date
July 2017

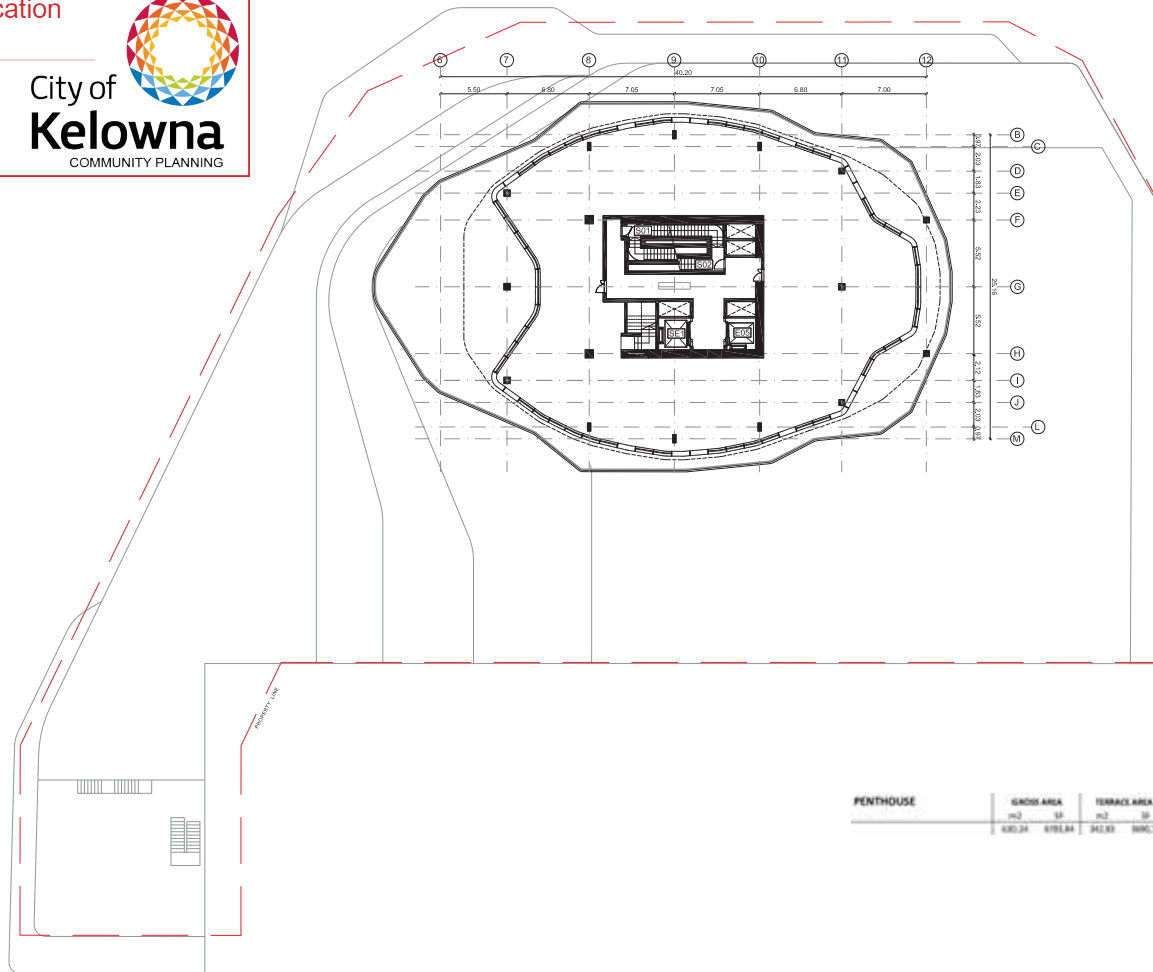
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Nº
A-24

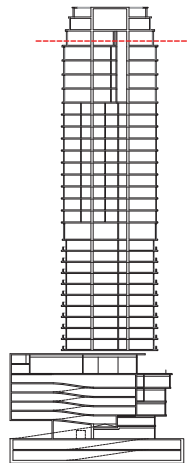
SCHEDULE A & B

This forms part of application
DP17-0191

Planner
Initials AC



PENTHOUSE	GROSS AREA		TERRACE AREA	
	m ²	sq	m ²	sq
	630.24	6761.84	342.93	3696.19



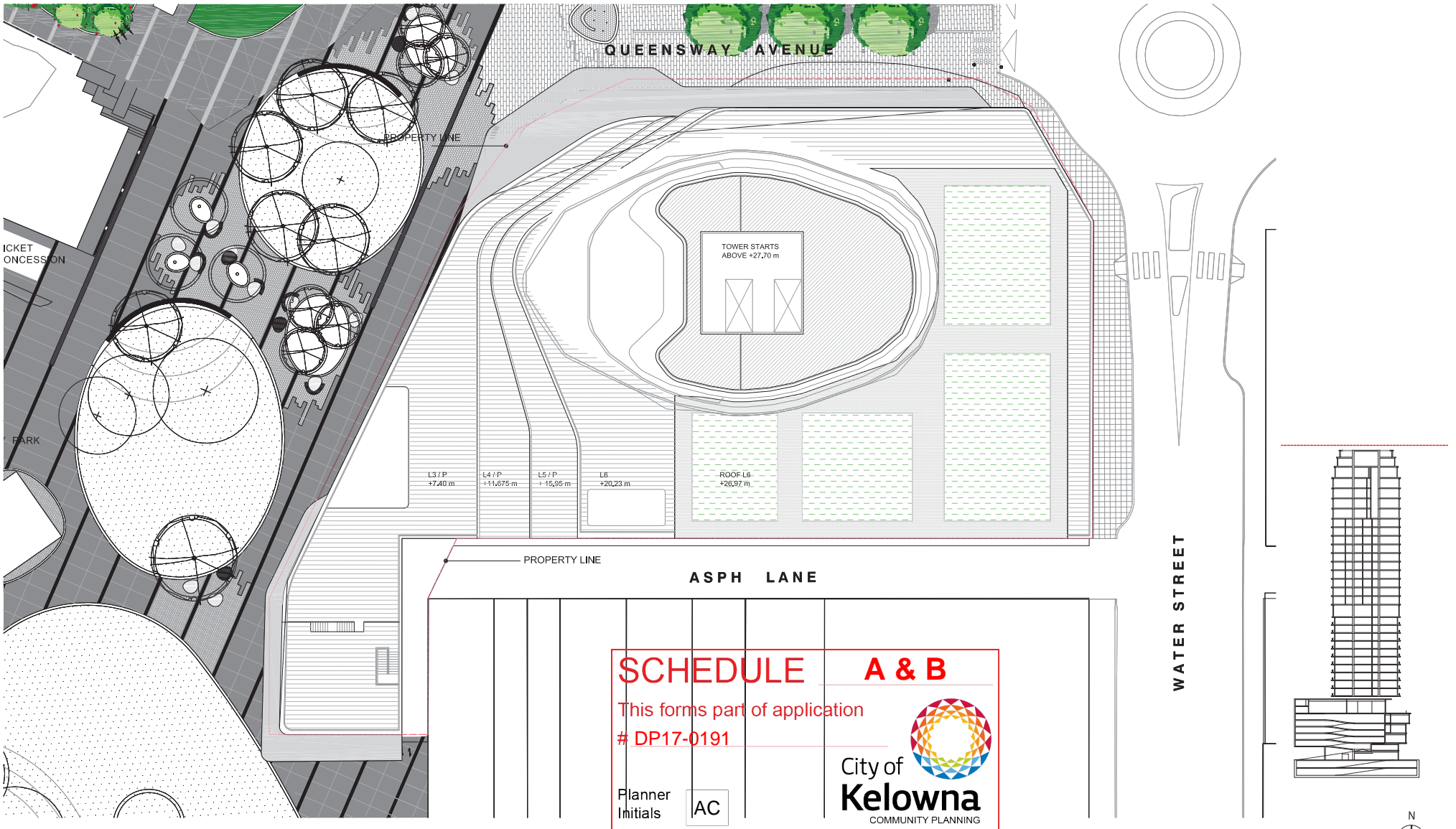
Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Level 32 Floor plan - Penthouse

Date
July 2017

Scale A1
1:200

Nº
A-25



Architects

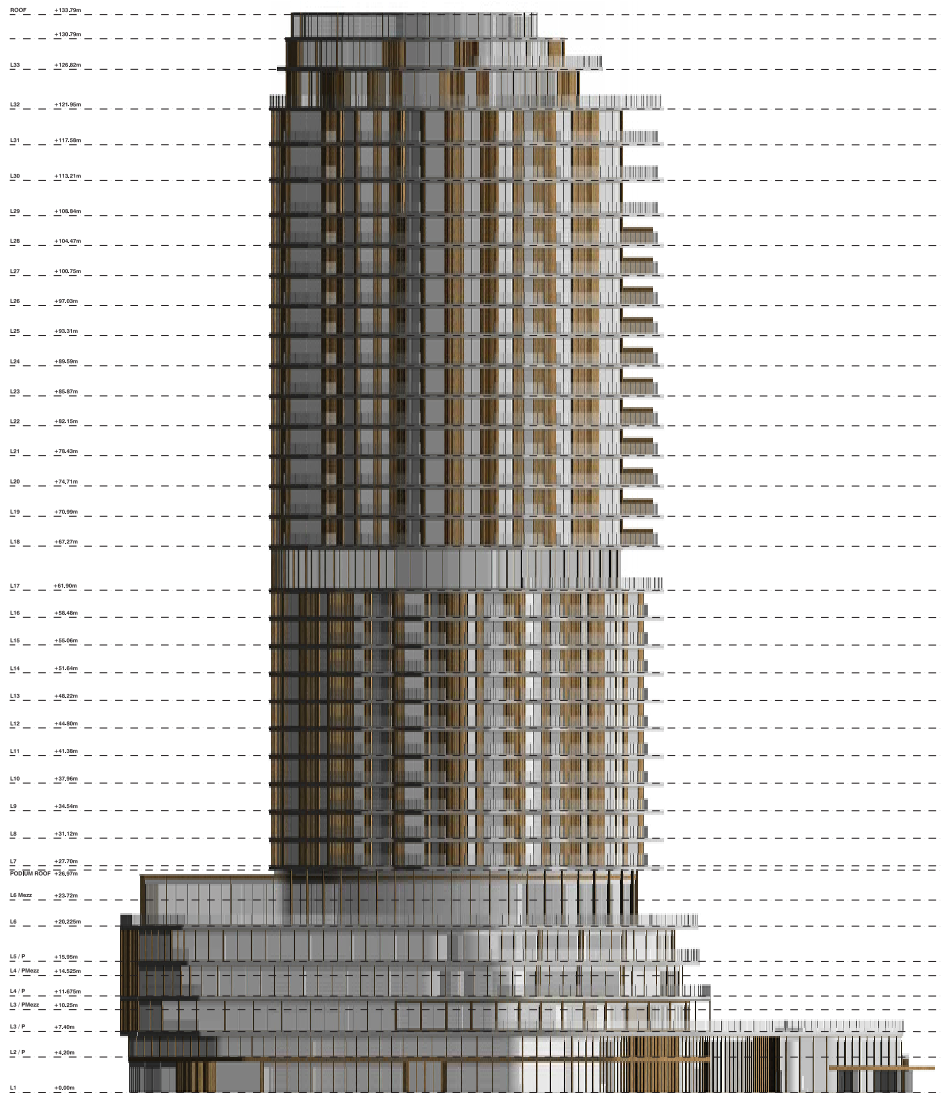
Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Roof Plan

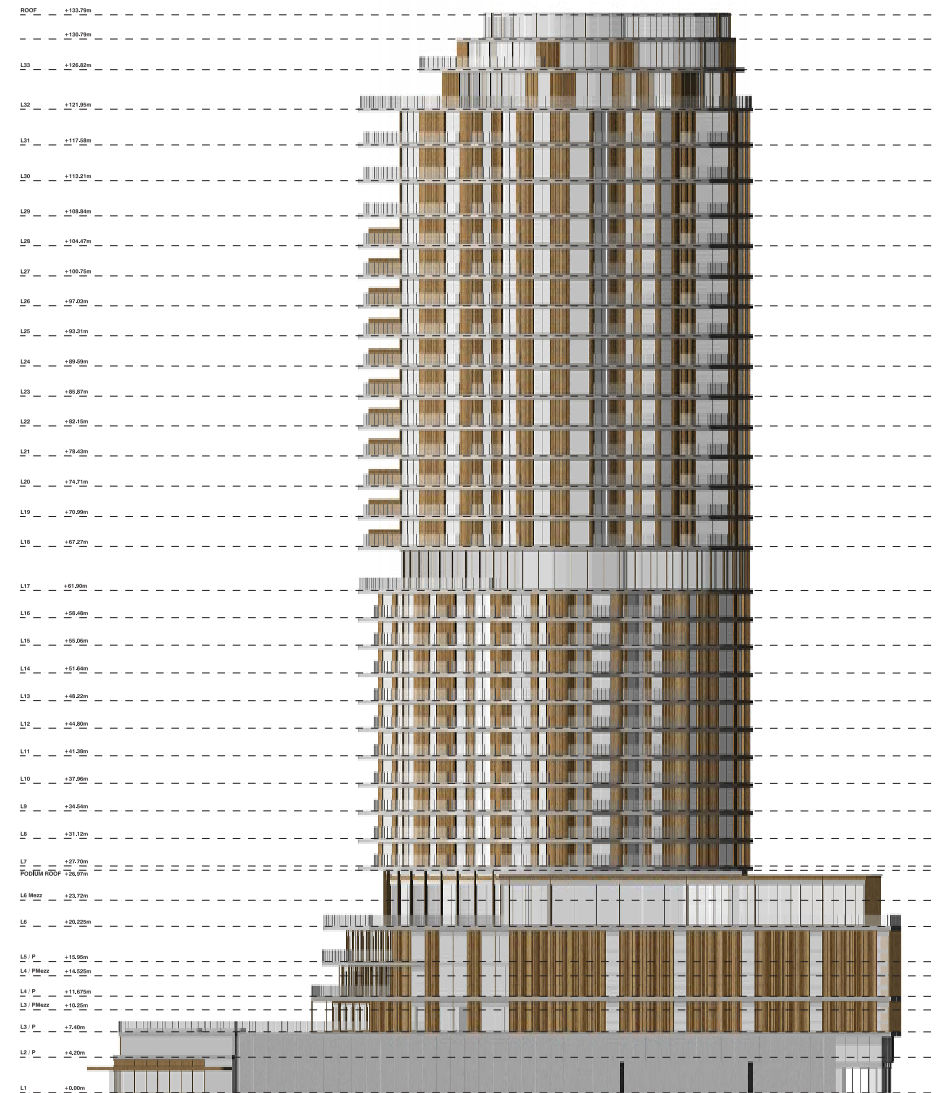
Date
July 2017

Scale A1
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Nº
A-27



Building Elevation North



Building Elevation South

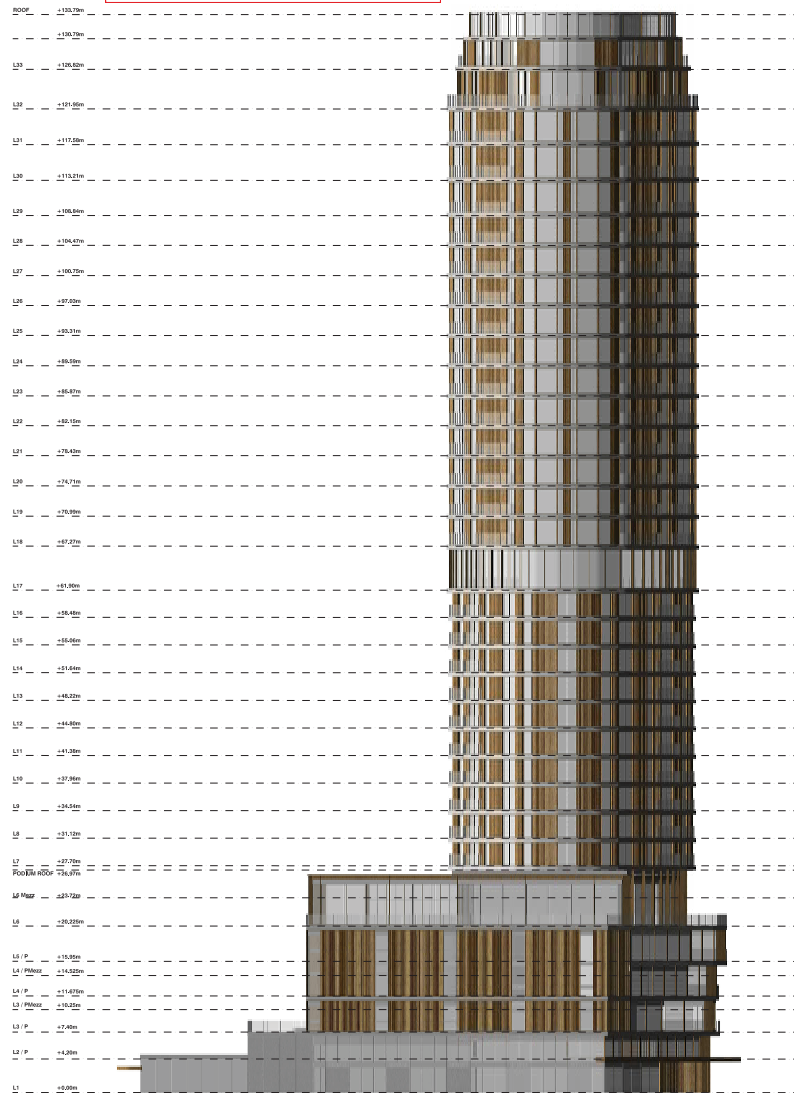
SCHEDULE A & B

This forms part of application
DP17-0191

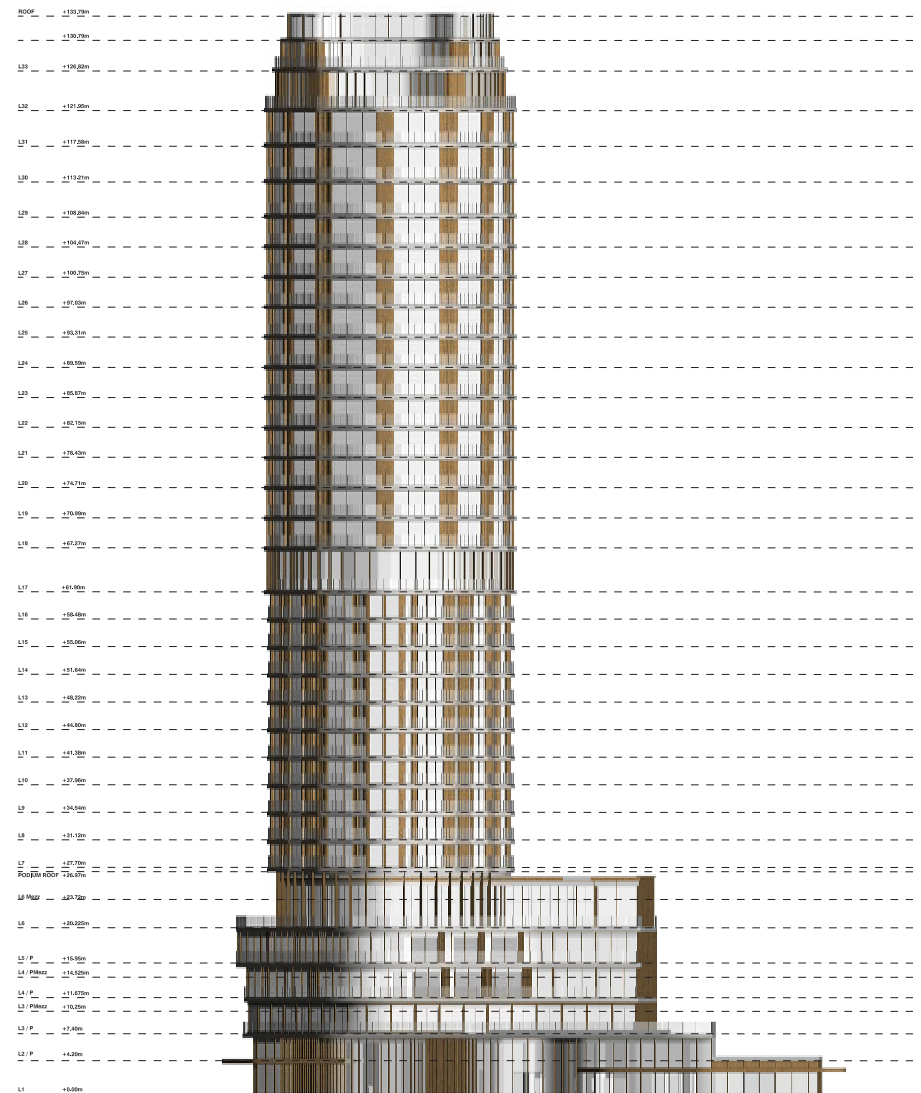
Planner
Initials

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Building Elevation East



Building Elevation West



Architects

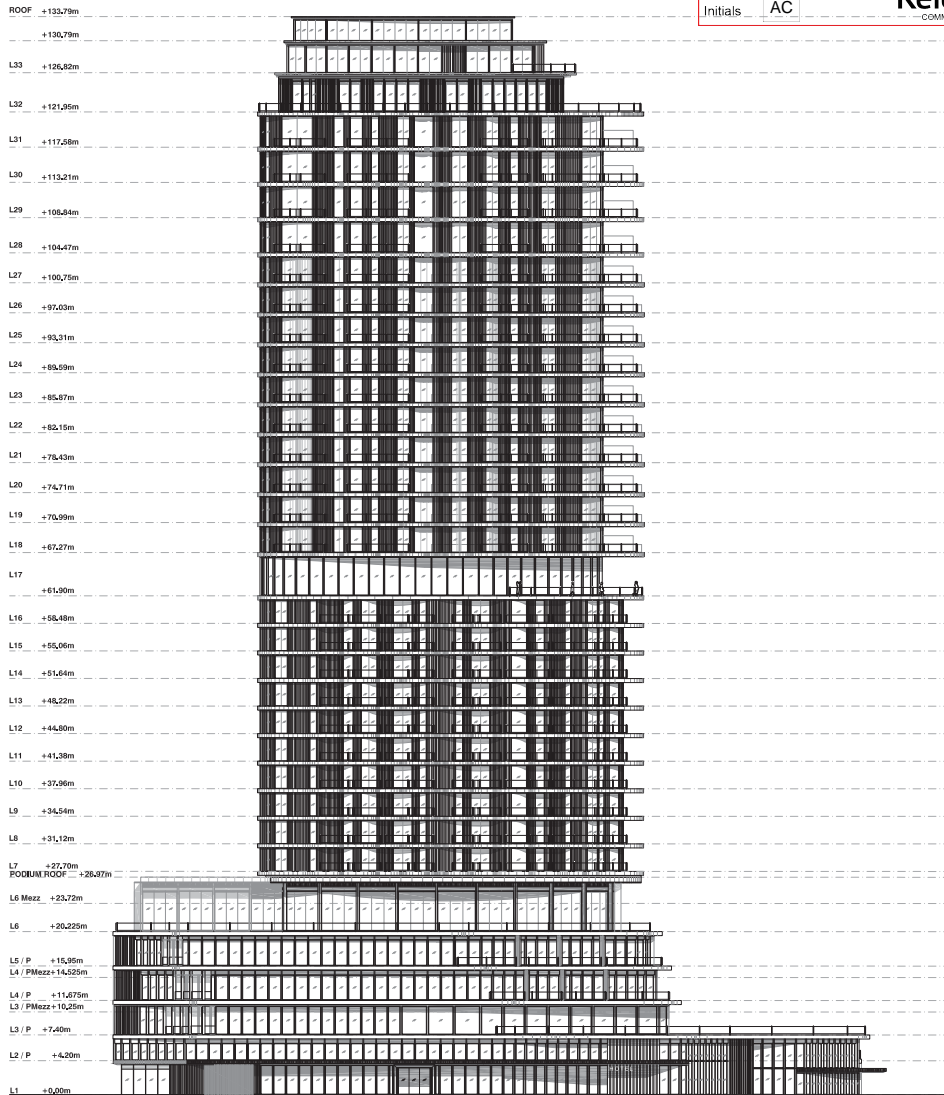
Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Building Elevation Image East & West

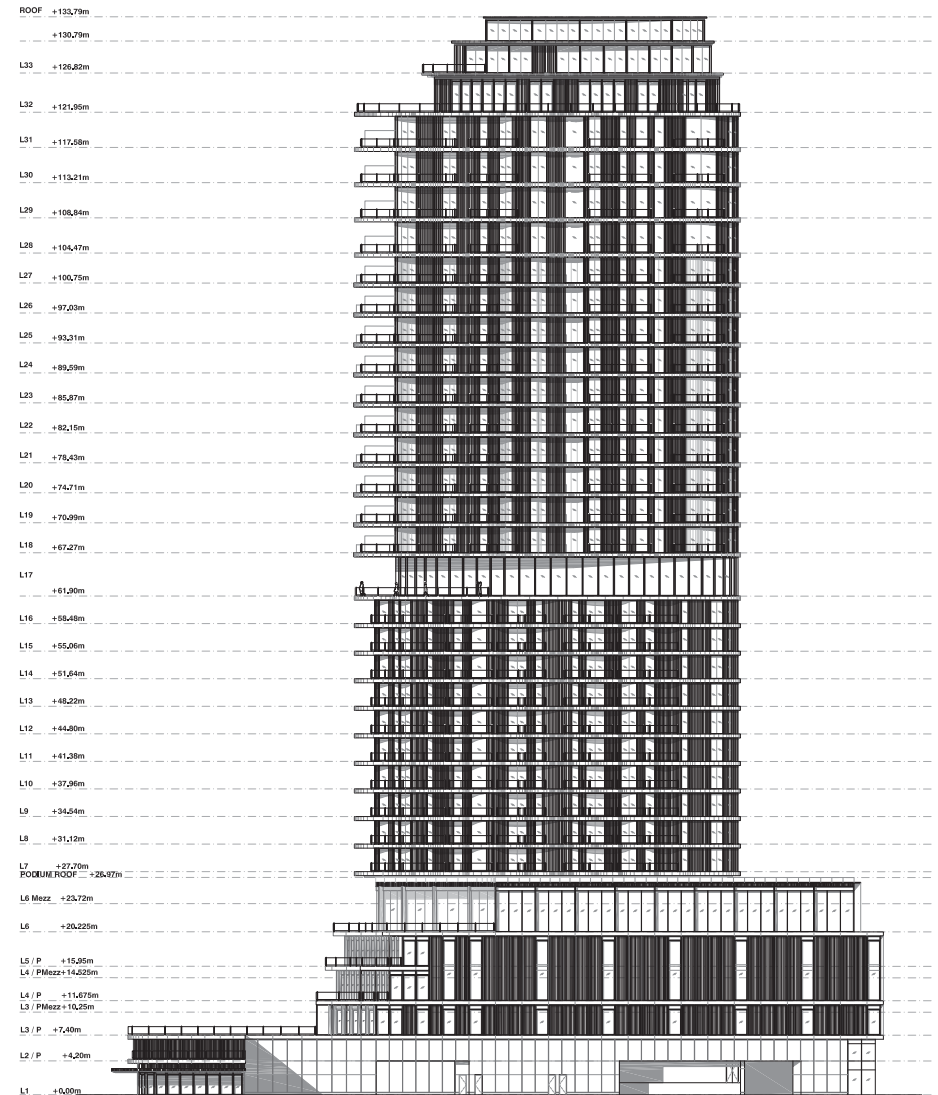
Date
July 2017

Scale A1
1/300

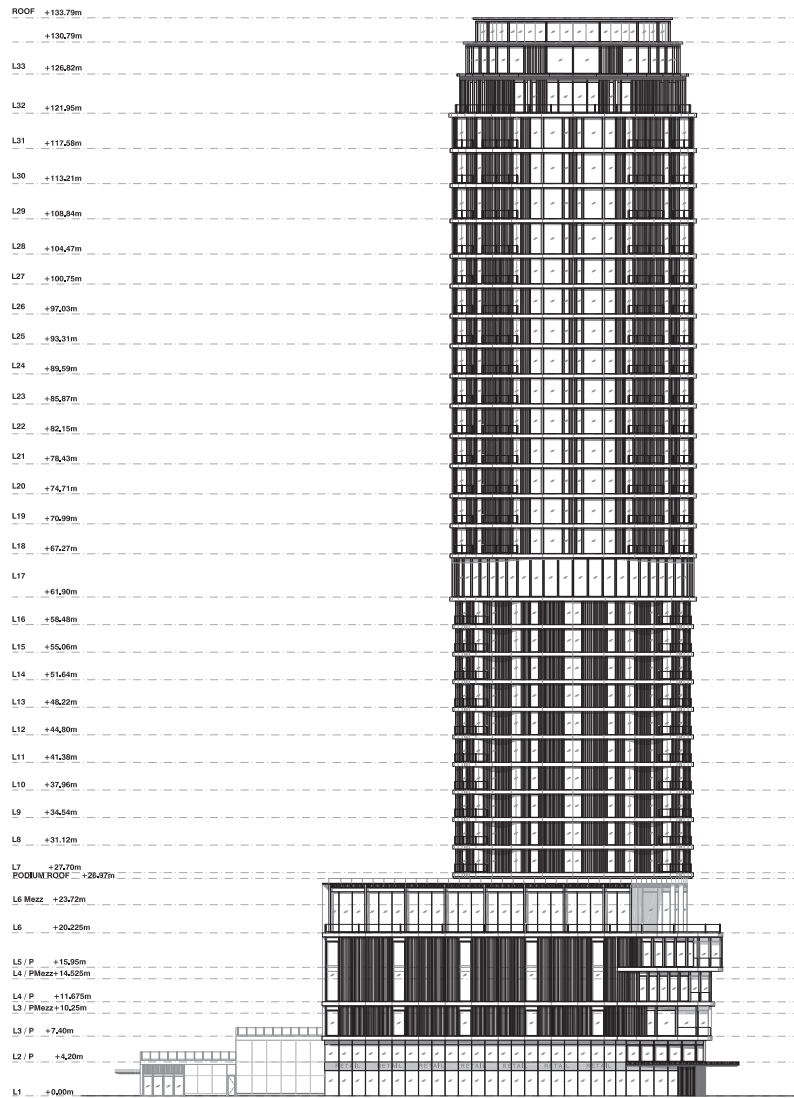
Nº
A-29



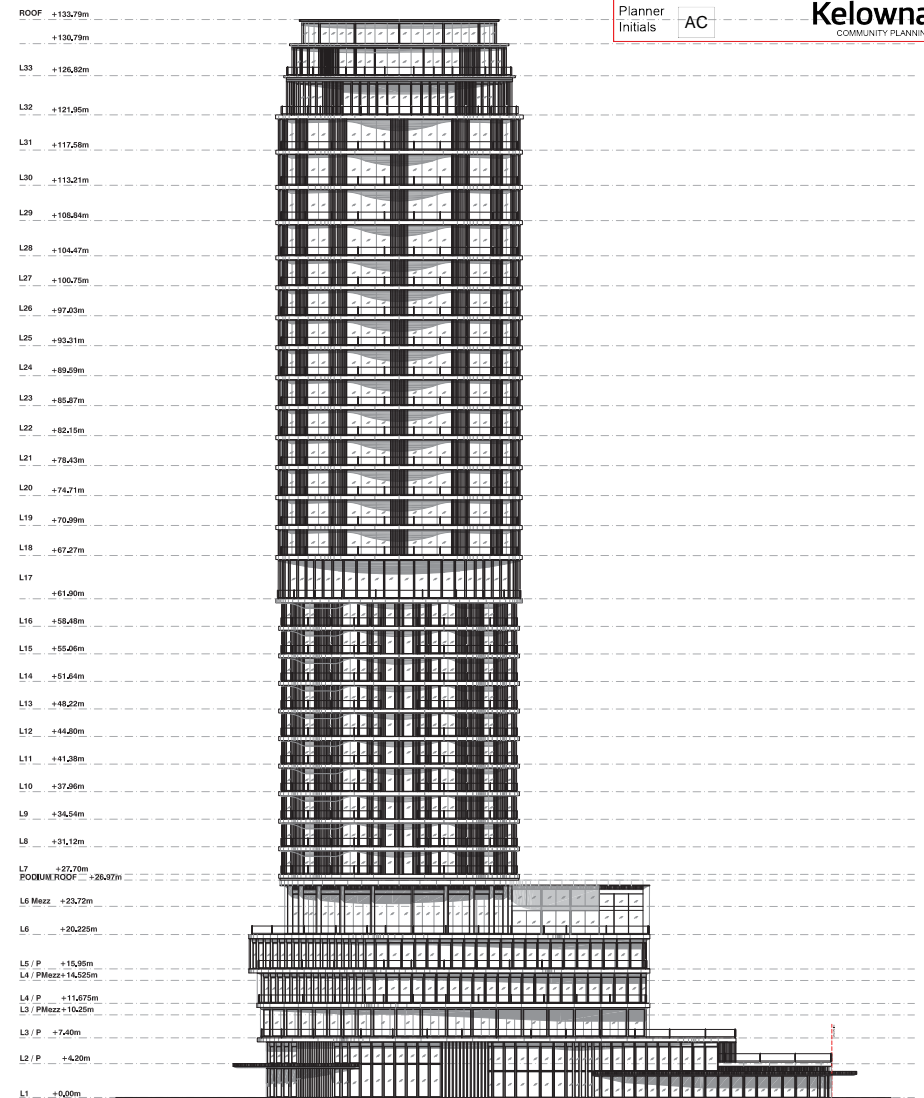
Building Elevation North



Building Elevation South



Building Elevation East



Building Elevation West

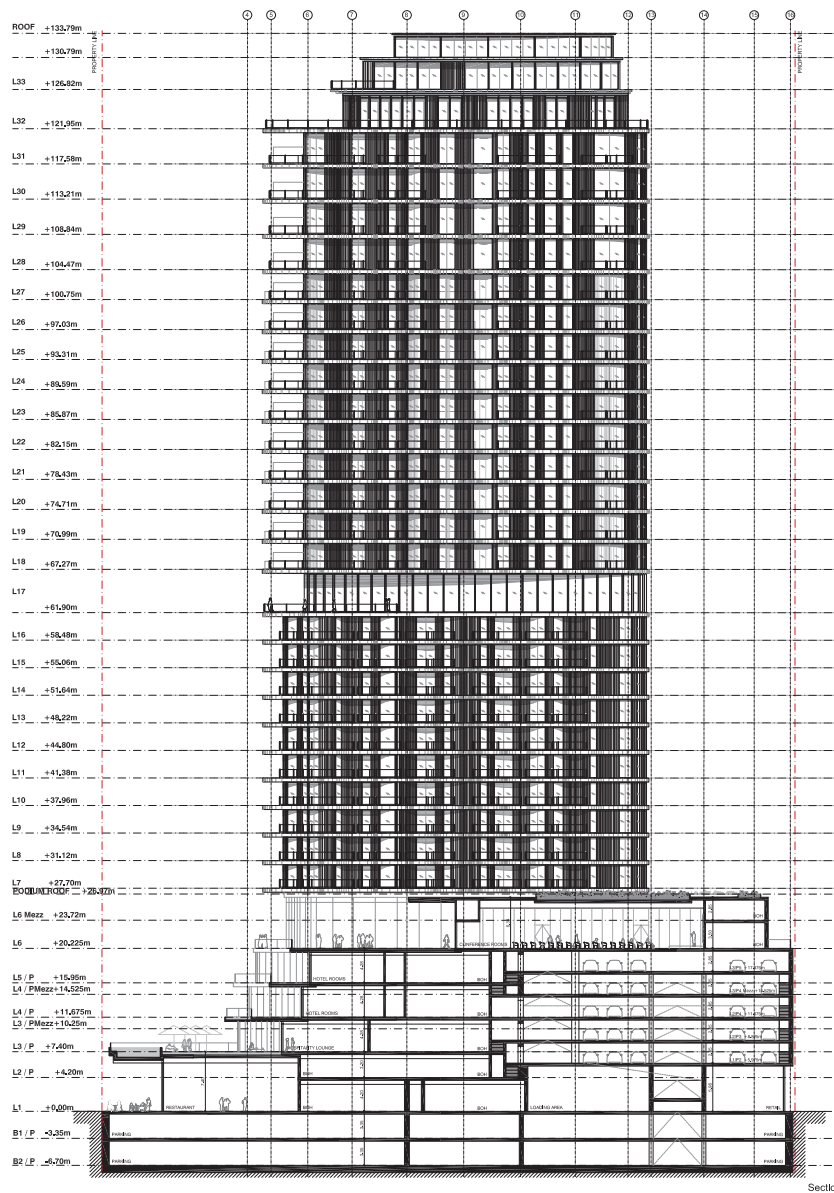
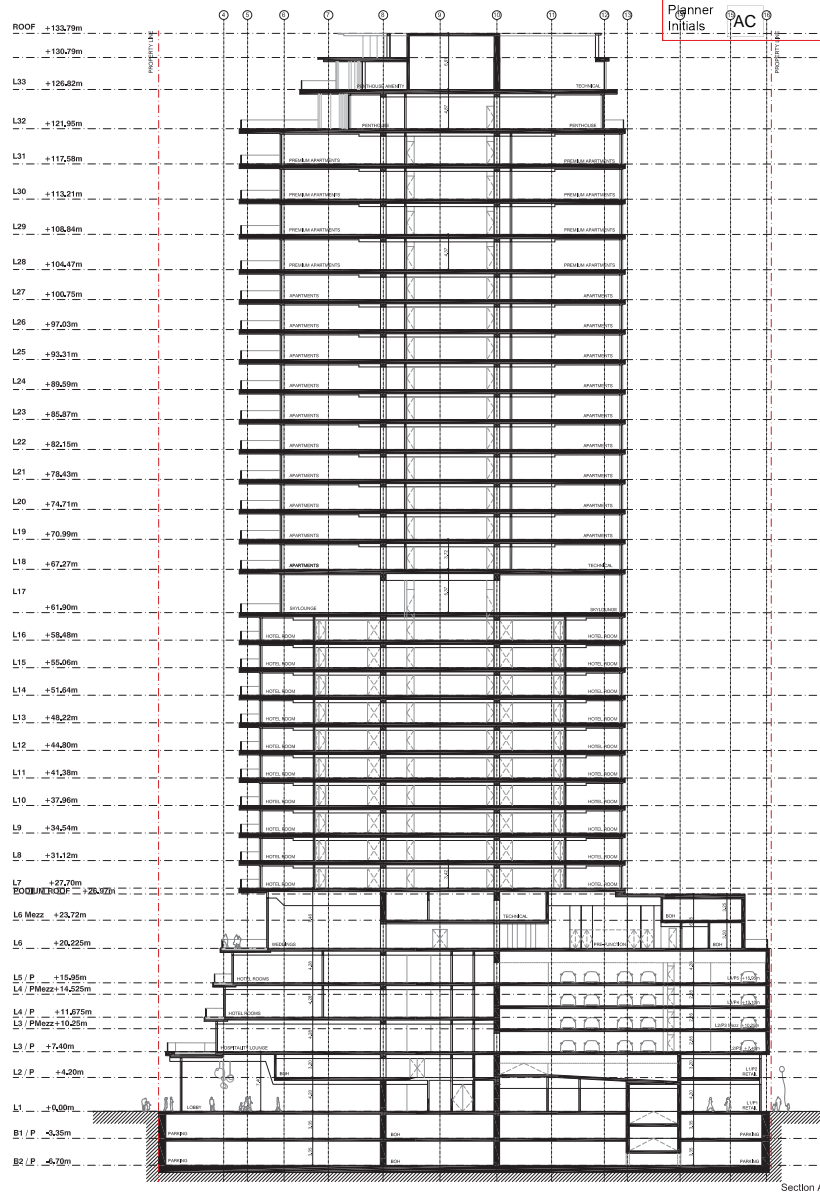
SCHEDULE A & B

This forms part of application

DP17-0191



Planner Initials AC



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Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Building Section A & B, West-East

Date
July 2017

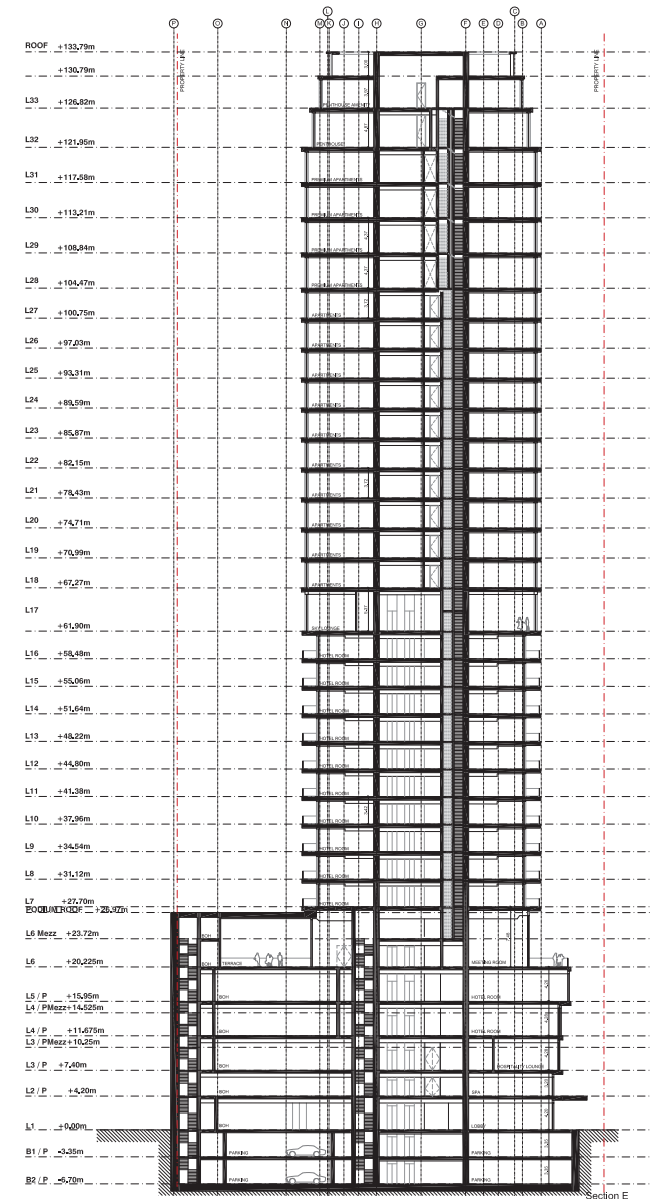
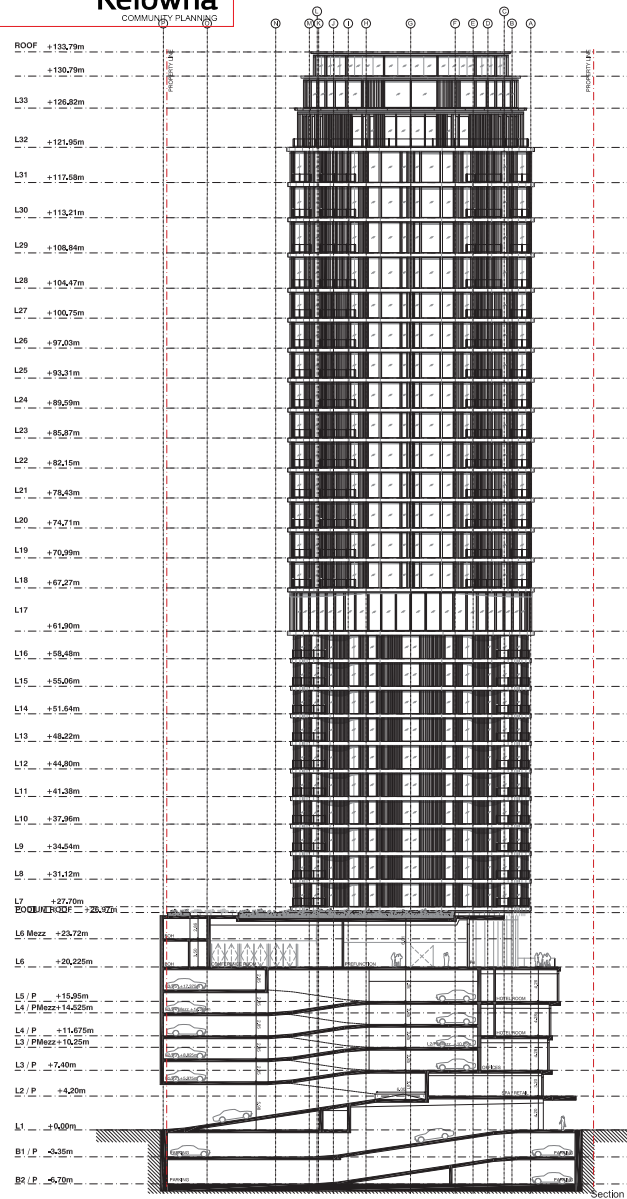
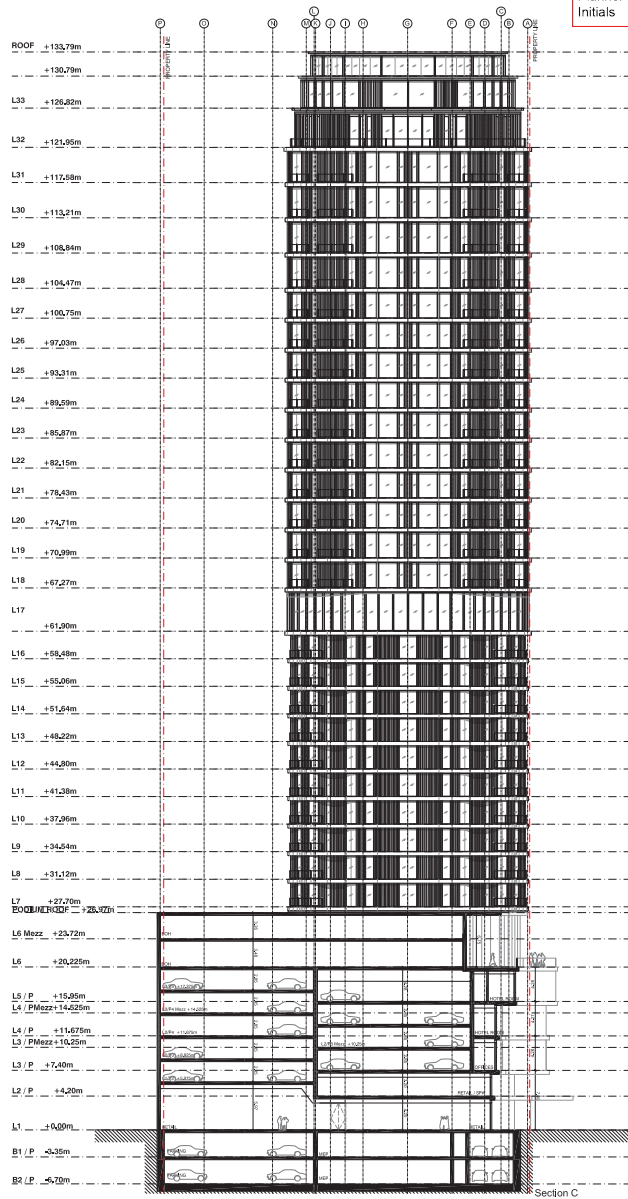
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Nº
A-32

SCHEDULE A & B

This forms part of application
DP17-0191

Planner
Initials AC



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Building Section C, D & E, North-South

Date
July 2017

Scale A1
1:300

Nº
A-33

SCHEDULE A & B

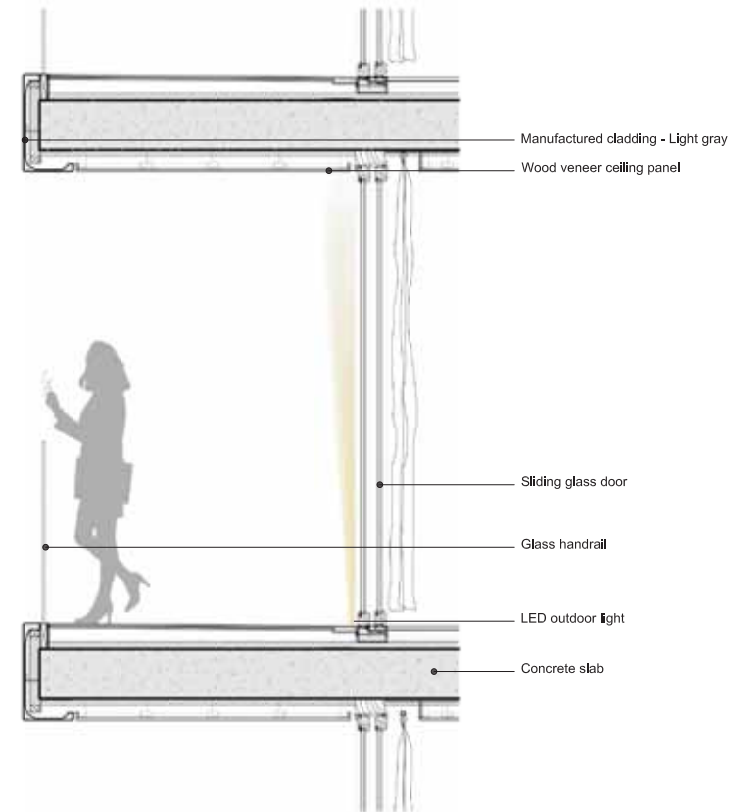
This forms part of application
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Typical Hotel Room Elevation



Typical Hotel Room Section



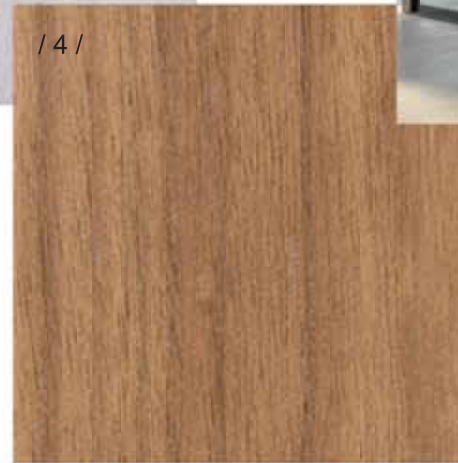
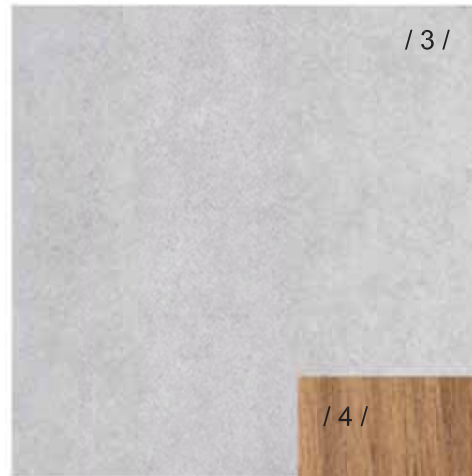
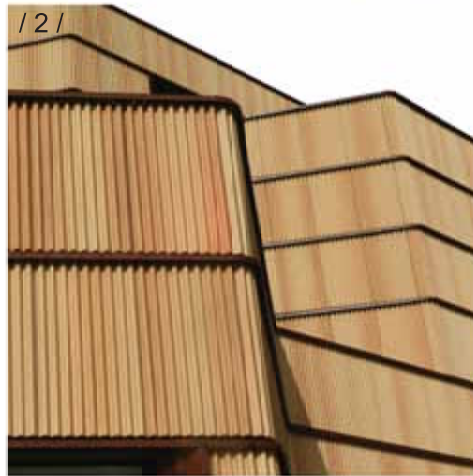
Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Tower Facade Detail

Date
July 2017

Scale A1
1:15

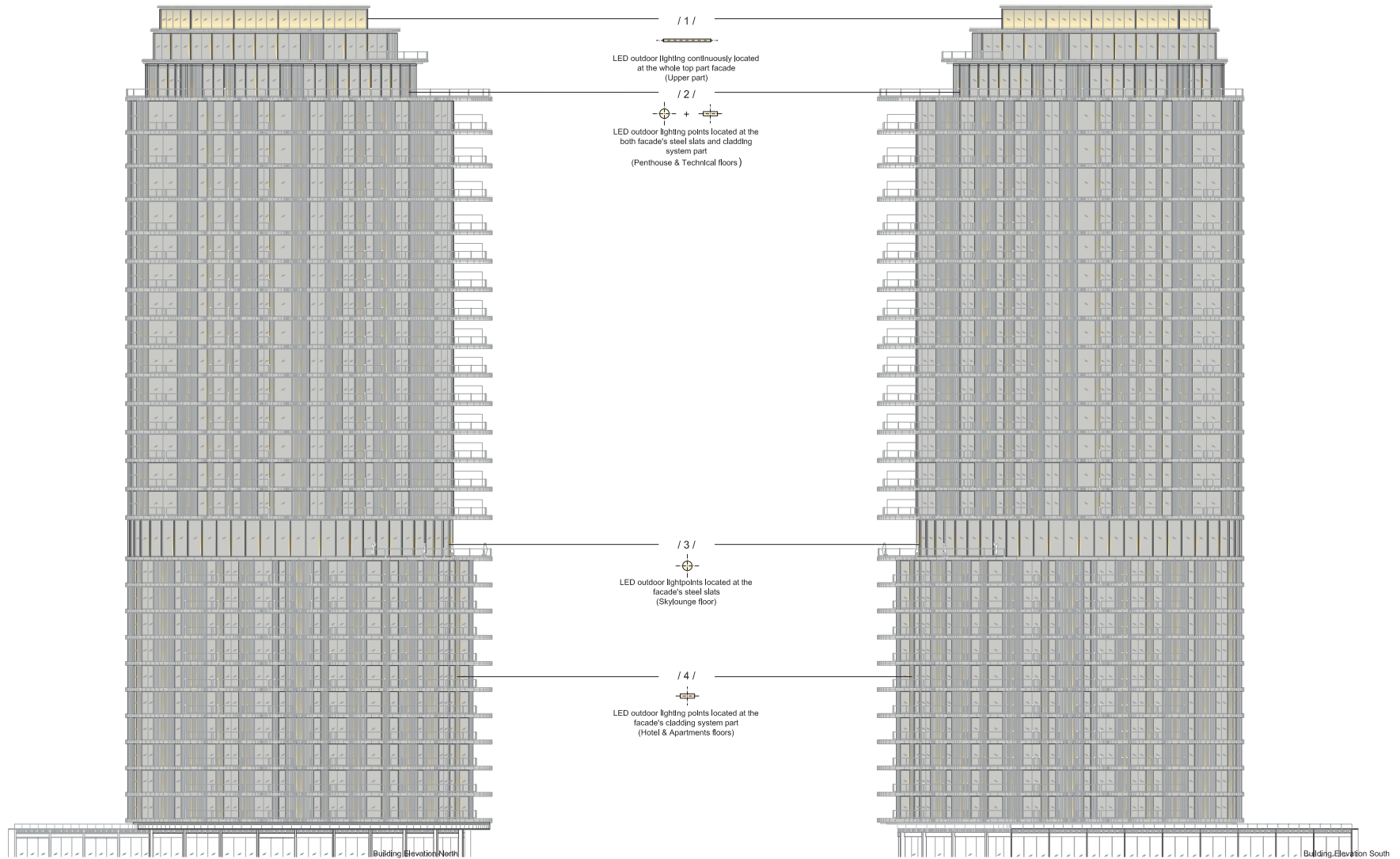
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A-34

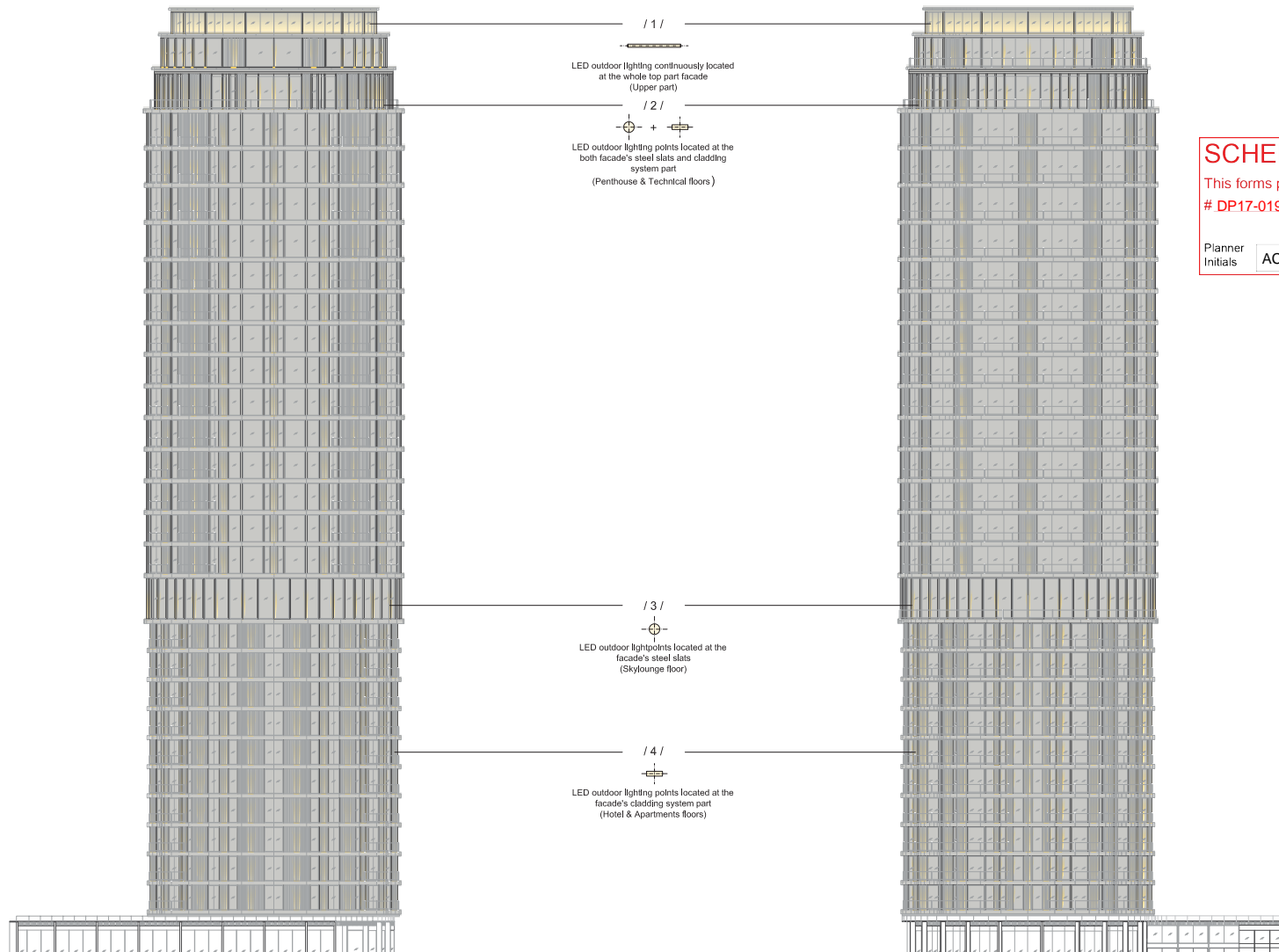


1. Cladding system
2. Reference image
3. Manufactured cladding

4. Wood veneer ceiling panels
5. Dark gray aluminum profiles for outdoor sliding doors and windows
6. Double Low-E clear glazing

- Transparent glass panels handrail





SCHEDULE
A & B

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Initials

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Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Night Light East & West Building

Date
July 2017

Scale A1
1:250

Nº
A-37




SCHEDULE
A & B

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Planner
Initials

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COMMUNITY PLANNING

A 



Project 1864
Downtown Hotel Kelowna
Kelowna, BC


Plan
View of Cityscape from Okanagan Lake

Date
July 2017

Scale A1
-

Nº
A-38



SCHEDULE A & B	
This forms part of application # DP17-0191	
Planner Initials	AC
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Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Aerial from Okanagan Lake


Date
July 2017

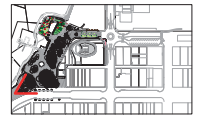
Scale A1
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Nº
A-39





SCHEDULE		A & B
This forms part of application # DP17-0191		
Planner Initials	AC	 City of Kelowna COMMUNITY PLANNING



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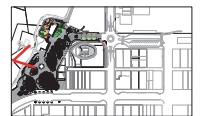
Project 1864
 Downtown Hotel Kelowna
 Kelowna, BC

Plan
 View from Bernard Avenue

Date
 July 2017

Scale A1
 -

Nº
 A-41



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
View from Kerry Park

Date
July 2017

Scale A1
-

Nº
A-42



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
View from the water

Date
July 2017

Scale A1
-

Nº
A-43

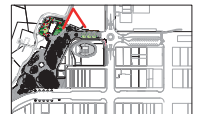
SCHEDULE A & B

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DP17-0191

Planner
Initials AC



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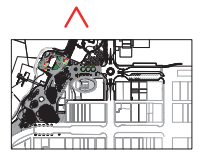
Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
View toward the Hotel Lobby

Date
July 2017

Scale A1
-

Nº
A-44



Architects

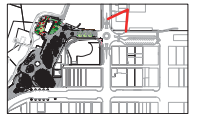
Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
View from Stuart Park

Date
July 2017

Scale A1
-

Nº
A-45



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
View from Queensway & Water Street

Date
July 2017

Scale A1
-

Nº
A-46



Architects

Project 1864
 Downtown Hotel Kelowna
 Kelowna, BC

Plan
 View from Water Street

Date
 July 2017

Scale A1
 -

Nº
 A-47



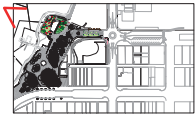
Project 1864
 Downtown Hotel Kelowna
 Kelowna, BC

Plan
 View from Queensway Avenue

Date
 July 2017

Scale A1
 -

Nº
 A-48



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Nighttime view from the Marina

Date
July 2017

Scale A1
-

Nº
A-49



Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC


Plan
View North-West Building

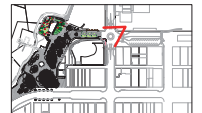
Date
July 2017

Scale A1
-

Nº
A-50



SCHEDULE A & B	
This forms part of application # DP17-0191	
Planner Initials	AC
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Architects

Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
View East Building

Date
July 2017

Scale A1
-

Nº
A-51

SCHEDULE

A & B

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DP17-0191

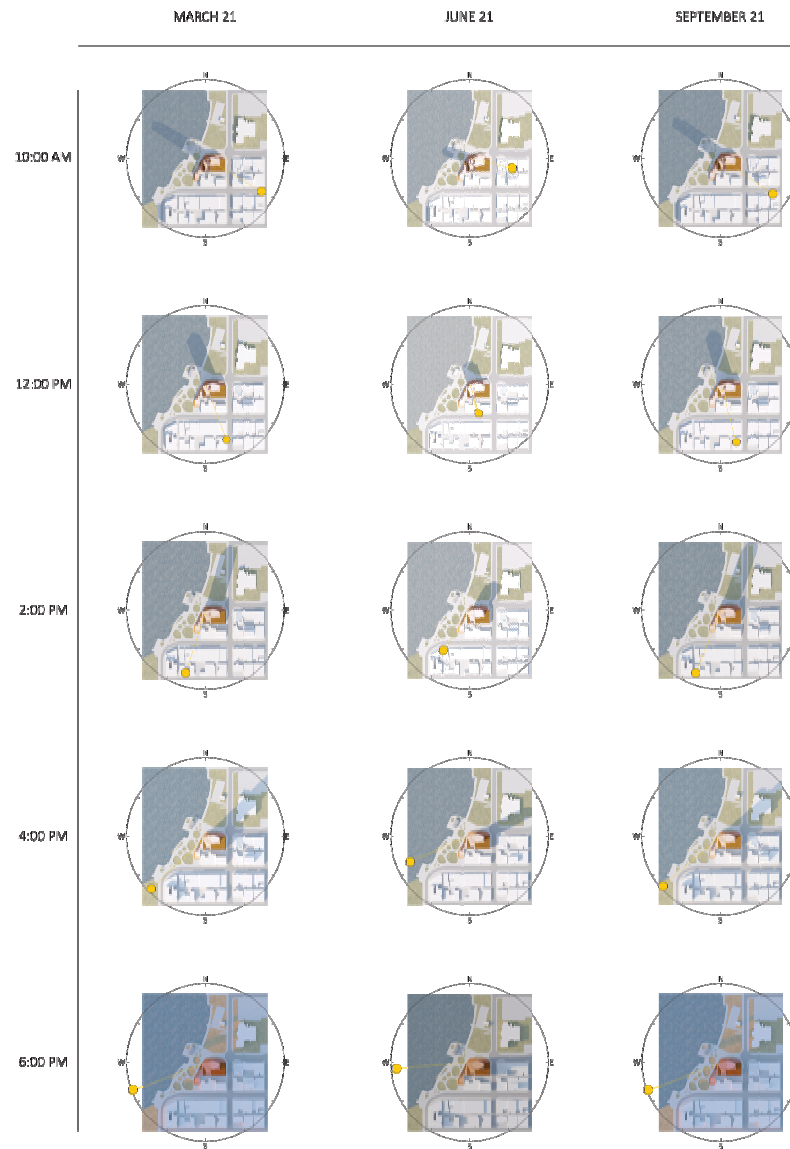
Planner

Initials

AC

City of Kelowna

COMMUNITY PLANNING



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Project 1864
Downtown Hotel Kelowna
Kelowna, BC

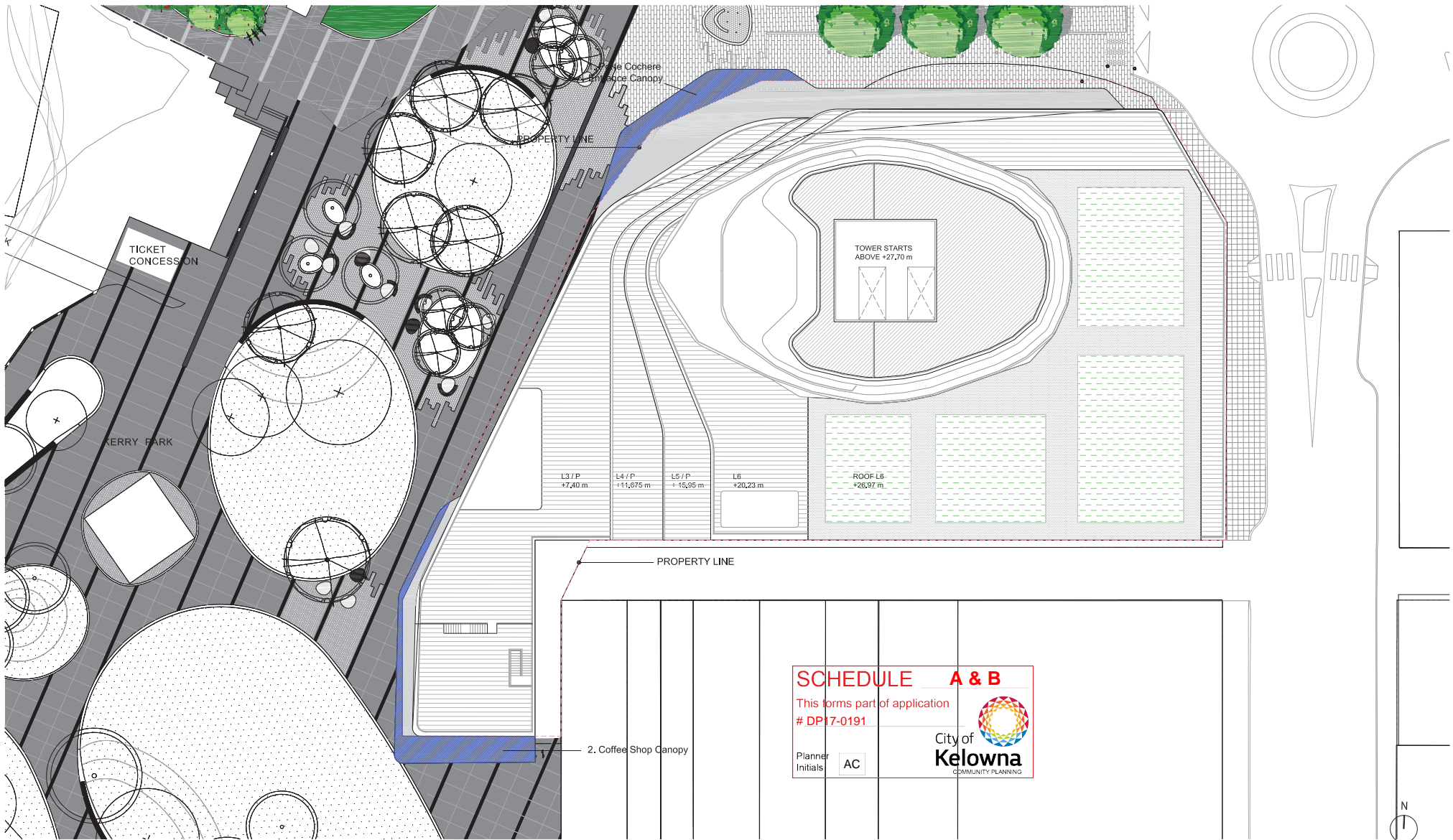
Plan
Shadow Analysis

Date
July 2017

Scale A1
-

Nº
A-52





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Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
Public Property Encroachment Plan

Date
July 2017

Scale A1
1/300

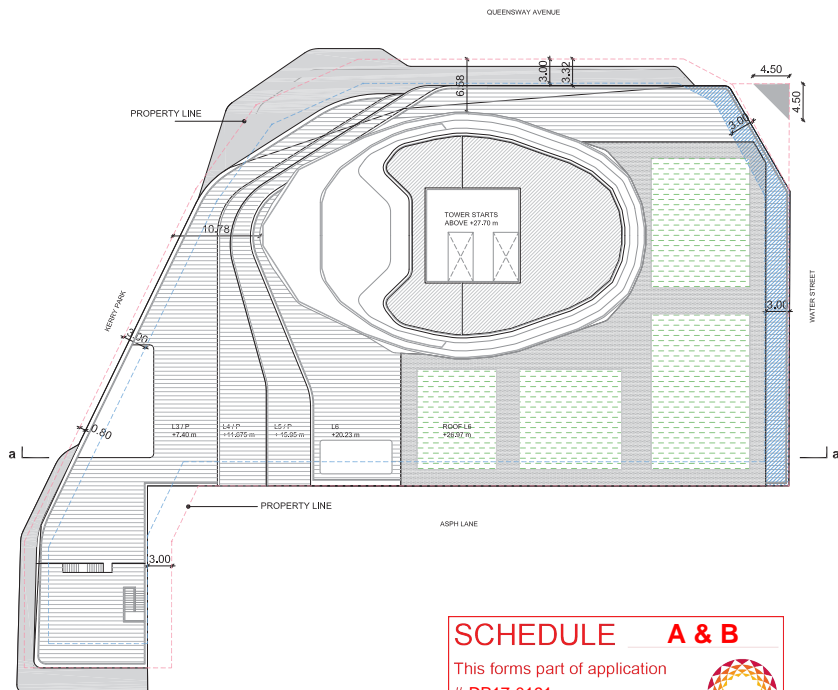
Nº
A-53

C7 - PROPOSED SETBACK VARIANCES ABOVE 16 M

Areas representing encroachment into 3.0 m Setback
(See bylaw reference below)

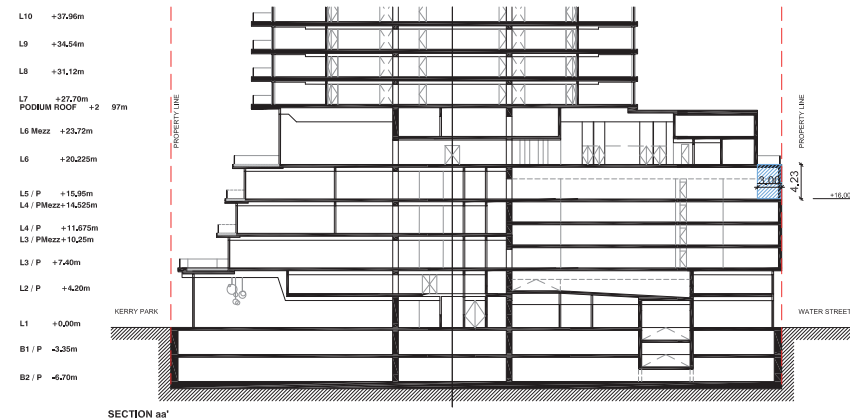
- Bylaw Reference:

Consolidated Zoning Bylaw No.8000, C7-Central Business Commercial,14.7.5 Development regulations, Section (h):
"1) Any Portion of a building above 16 meters in height must be a minimum of 3.0m from any property line abutting a street, as shown on C7- Diagram B attached to this bylaw.
The above setbacks will be measured from the nearest exterior building face, exclusive of unenclosed balconies,"



SCHEDULE A & B
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Project 1864
Downtown Hotel Kelowna
Kelowna, BC

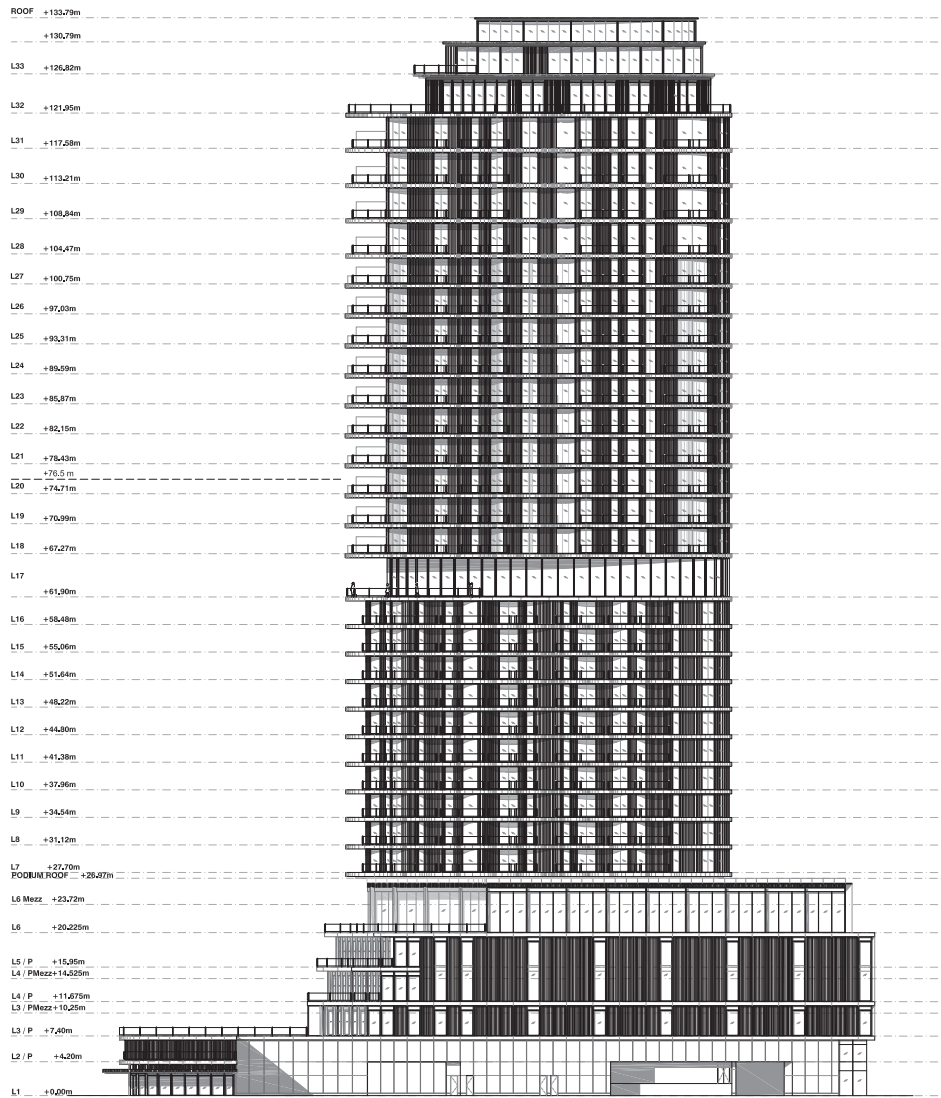
Plan
C7-Proposed Setback Variances Above 16m

Date
July 2017

Scale A1
1/300

Nº
A-54





Elevation Diagram

C7 - PROPOSED VARIANCES: BUILDING HEIGHT

- Bylaw Reference:

Zoning Bylaw No. 8000, C7 - Central Business Commercial, 14.7.5 Development Regulations, Section (a): "The maximum allowable height shall be in accordance with the C7 - Map A Downtown Height Plan - 76.5m, or approximately 26 storeys

- Proposed Building Height Variance:

To vary the maximum building height from 76.5 m to **130.79 m**.

SCHEDULE A & B

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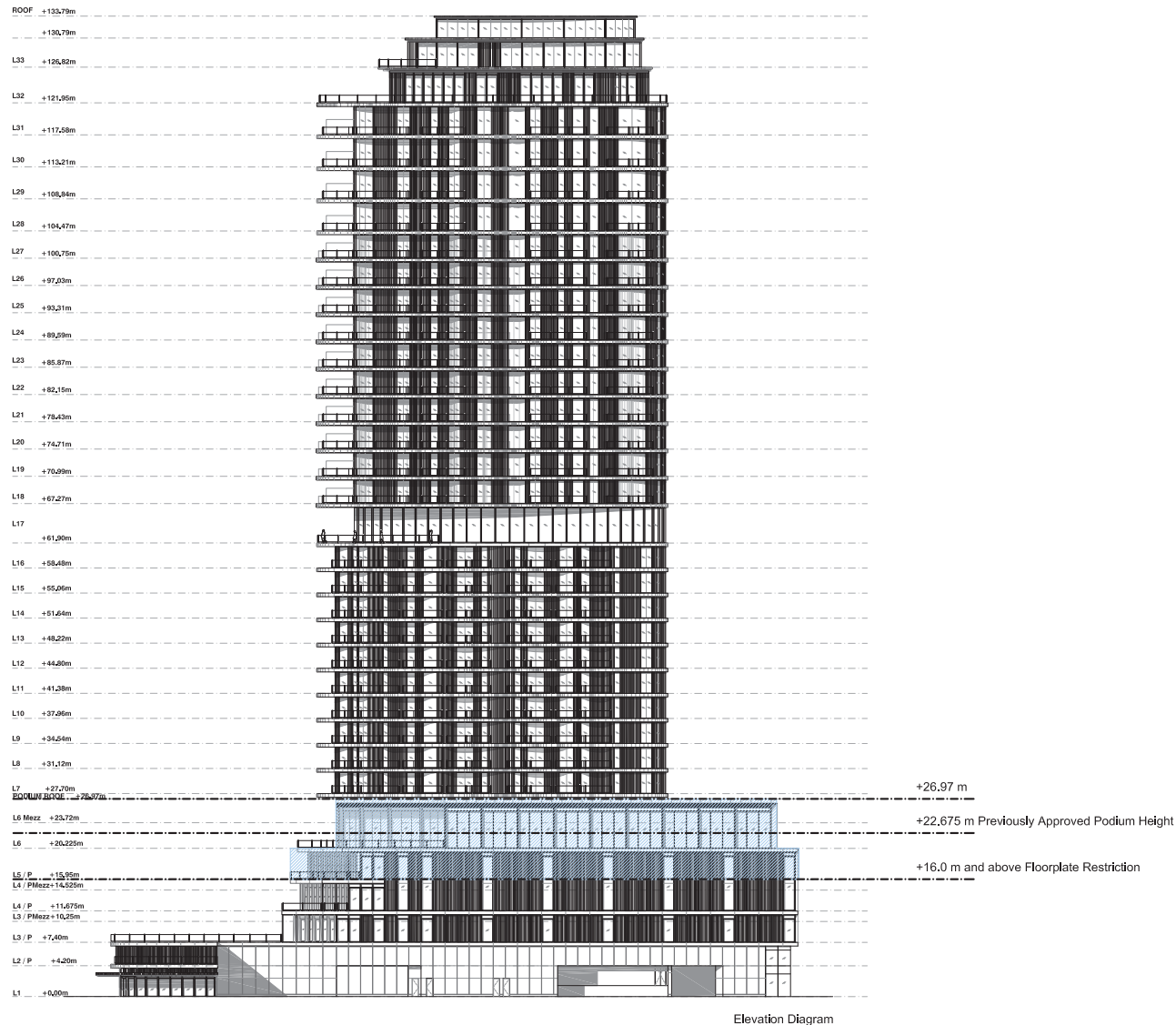
Project 1864
Downtown Hotel Kelowna
Kelowna, BC

Plan
C7-Proposed Variances- Building Height

Date
July 2017

Scale A1
-

Nº
A-55



C7 - PROPOSED VARIANCES: FLOORPLATE

Areas representing encroachment into 1.221 m² Floorplate Restriction.

- Bylaw Reference:

Zoning Bylaw No. 8000, C7 - Central Business Commercial, 14.7.5 Development Regulations, Section (h) :
 "For any building above 16.0 m in height:
 III. A building floor plate cannot exceed 1.221 m²."

- Proposed Floorplate restriction variance:


To vary the floorplate restriction for any building above 26.97 m
 From 1221m² - 3129.3m².

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Project 1864
 Downtown Hotel Kelowna
 Kelowna, BC

Plan
 C7-Proposed Variances- Floor plate

Date	Scale	A1	N°
July 2017	-		A-56

DOWNTOWN KELOWNA HOTEL

KELOWNA, BC

PEDESTRIAN WIND STUDY – PRELIMINARY RESULTS

RWDI #1501922

August 16, 2017

SUBMITTED TO

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SUBMITTED BY

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Project Coordinator

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Project Manager

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RWDI

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EXECUTIVE SUMMARY

The following document provides preliminary results for the Pedestrian Wind Study conducted for the proposed Downtown Kelowna Hotel (Project) located in Kelowna, BC. The project site, photographs of the wind tunnel study model and the wind statistics recorded at the Kelowna Airport (and used in the study) are shown in **Images 1, 2, and 3**, respectively. The RWDI Pedestrian Wind Criteria, which deal with both pedestrian safety and comfort as it relates to wind force, are also described in order to assist with the interpretation of the results presented.

The predicted wind comfort and safety conditions pertaining to the two site and surrounding configurations assessed are graphically depicted on a site plan in **Figures 1a through 2b**. These conditions and the associated wind speeds are presented in **Tables 1 and 2**. These results are presented in the attached results package and can be summarized as follows:

- Wind speeds in the study area are predicted to meet the wind criterion used to assess pedestrian wind safety for both configurations;
- Overall, pedestrian wind comfort conditions in areas on and around the site are expected to be calm and appropriate for the intended use, and are expected to remain similar to the existing conditions;
- Wind conditions in the above grade podium, terrace and lounge areas are mostly comfortable for passive activities throughout the year, however, wind speeds at a few locations may be higher-than-desired along the west of the tower at balconies and the roof deck.

While referring to the RWDI Pedestrian Wind Criteria description that follows, we encourage the design team to review the results and assess them against the intended pedestrian usage at specific locations. If there are locations where improved conditions are desired, the RWDI team is prepared to discuss and suggest conceptual wind control strategies. Additional commentary regarding background on wind flow patterns, wind comfort levels, and any further recommendations for wind control measures to help moderate wind activity in areas of high wind activity will be presented within the final report. Prior to issuing the report, we suggest that we have a teleconference to go over the results and discuss the types/locations/feasibilities of possible wind control measures.



Image 1: Site plan – Aerial view of site and surroundings (courtesy of Google™ Earth)

**PEDESTRIAN WIND STUDY - PRELIMINARY RESULTS
DOWNTOWN KELOWNA HOTEL**

**RWDI#1501922
August 16, 2017**

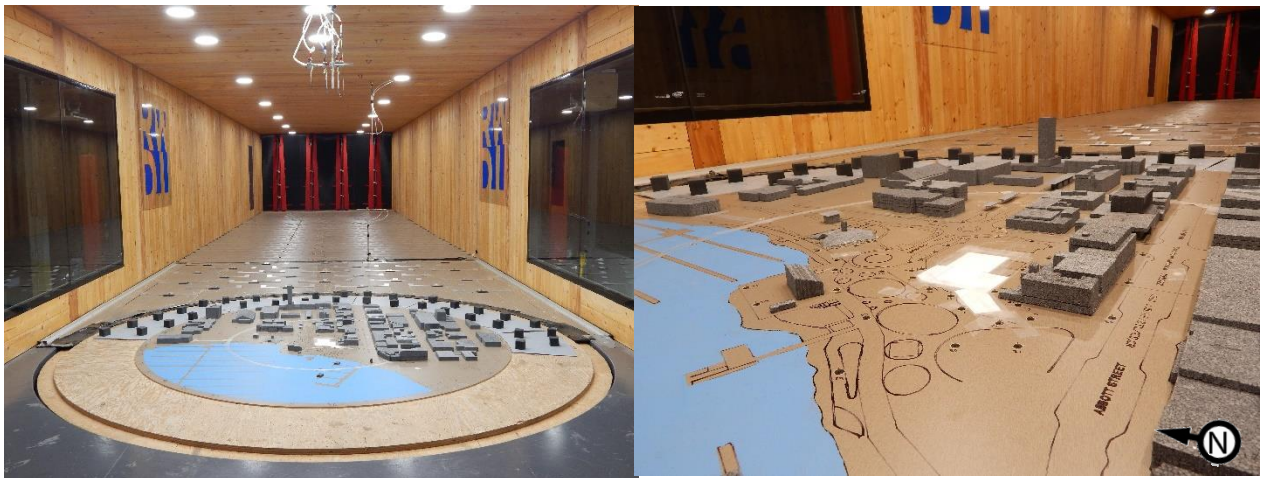


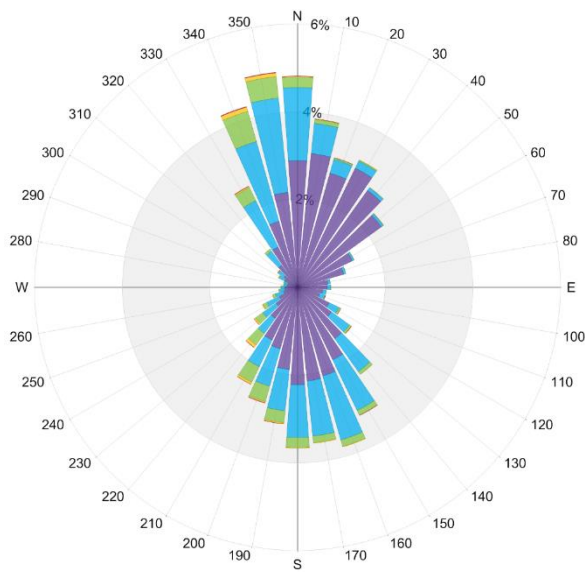
Image 2a: Wind tunnel study model - Existing configuration



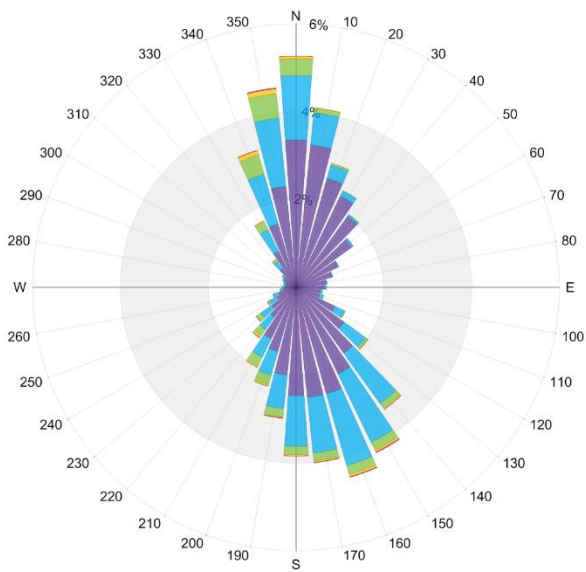
Image 2b: Wind tunnel study model - Proposed configuration

PEDESTRIAN WIND STUDY – PRELIMINARY RESULTS
DOWNTOWN KELOWNA HOTEL

RWDI#1501922
August 16, 2017



Summer (May – October)



Winter (November – April)

	Wind Speed (km/h)	Probability (%)	
		Summer	Winter
	Calm	26.9	30.1
	1-10	47.4	47.5
	11-20	20.5	17.7
	21-30	4.6	3.9
	31-40	0.6	0.7
	>40	0.1	0.1

Image 3: Directional distribution of winds approaching Kelowna Airport from 1986 - 2016

RWDI PEDESTRIAN WIND CRITERIA

The RWDI pedestrian wind criteria are used in the current study. These criteria have been developed by RWDI through research and consulting practice since 1974. They have also been widely accepted by municipal authorities as well as by the building design and city planning community.

RWDI Pedestrian Wind Criteria

Comfort Category	GEM Speed (km/h)	Description
Sitting	≤ 10	Calm or light breezes desired for outdoor restaurants and seating areas where one can read a paper without having it blown away
Standing	≤ 14	Gentle breezes suitable for main building entrances, bus stops, and other places where pedestrians may linger
Strolling	≤ 17	Moderate winds that would be appropriate for window shopping and strolling along a downtown street, plaza or park
Walking	≤ 20	Relatively high speeds that can be tolerated if one's objective is to walk, run or cycle without lingering
Uncomfortable	> 20	Strong winds of this magnitude are considered a nuisance for all pedestrian activities, and wind mitigation is typically recommended

Notes:

- (1) Gust Equivalent Mean (GEM) Speed = $\max(\text{mean speed, gust speed}/1.85)$; and;
- (2) GEM speeds listed above based on a seasonal exceedance of 20% of the time between 6:00 and 23:00.

Safety Criterion	Gust Speed (km/h)	Description
Exceeded	> 90	Excessive gust speeds that can adversely affect a pedestrian's balance and footing. Wind mitigation is typically required.

Notes:

Based on an annual exceedance of 9 hours or 0.1% of the time for 24 hours a day.

A few additional comments are provided below to further explain the wind criteria and their applications.

- Both mean and gust speeds can affect pedestrian comfort and their combined effect is typically quantified by a Gust Equivalent Mean (GEM) speed, with a gust factor of 1.85.
- Instead of standard four seasons, two periods of summer (May to October) and winter (November to April) are adopted in the wind analysis, because in a cold climate such as that found in Kelowna, there are distinct differences in pedestrian outdoor behaviours between these two time periods.



- Nightly hours between midnight and 5 o'clock in the morning are excluded from the wind analysis for comfort since limited usage of outdoor spaces is anticipated, while wind safety analysis is conducted for a 24-hour period.
- A 20% exceedance is used in these criteria to determine the comfort category, which suggests that wind speeds would be comfortable for the corresponding activity at least 80% of the time or four out of five days.
- Only gust winds need to be considered in the wind safety criterion. These are usually rare events, but deserve special attention in city planning and building design due to their potential safety impact on pedestrians.
- These criteria for wind forces represent average wind tolerance. They are sometimes subjective and regional differences in wind climate and thermal conditions as well as variations in age, health, clothing, etc. can also affect people's perception of the wind climate. Comparisons of wind speeds for different building configurations are the most objective way in assessing local pedestrian wind conditions.

Table 1: Pedestrian Wind Comfort and Safety Conditions

Location	Configuration	Wind Comfort				Wind Safety	
		Summer		Winter		Annual	
		Speed (km/h)	Rating	Speed (km/h)	Rating	Speed (km/h)	Rating
1	Existing	8	Sitting	6	Sitting	42	Pass
	Proposed	3	Sitting	3	Sitting	17	Pass
2	Existing	7	Sitting	6	Sitting	41	Pass
	Proposed	5	Sitting	4	Sitting	32	Pass
3	Existing	8	Sitting	7	Sitting	43	Pass
	Proposed	8	Sitting	7	Sitting	48	Pass
4	Existing	8	Sitting	6	Sitting	44	Pass
	Proposed	8	Sitting	7	Sitting	47	Pass
5	Existing	8	Sitting	6	Sitting	42	Pass
	Proposed	8	Sitting	7	Sitting	45	Pass
6	Existing	8	Sitting	6	Sitting	42	Pass
	Proposed	9	Sitting	7	Sitting	52	Pass
7	Existing	8	Sitting	6	Sitting	44	Pass
	Proposed	12	Standing	10	Sitting	69	Pass
8	Existing	7	Sitting	6	Sitting	41	Pass
	Proposed	12	Standing	10	Sitting	64	Pass
9	Existing	7	Sitting	6	Sitting	43	Pass
	Proposed	9	Sitting	8	Sitting	50	Pass
10	Existing	7	Sitting	6	Sitting	40	Pass
	Proposed	8	Sitting	6	Sitting	46	Pass
11	Existing	7	Sitting	6	Sitting	38	Pass
	Proposed	6	Sitting	5	Sitting	53	Pass
12	Existing	5	Sitting	5	Sitting	36	Pass
	Proposed	8	Sitting	7	Sitting	53	Pass
13	Existing	6	Sitting	5	Sitting	32	Pass
	Proposed	6	Sitting	5	Sitting	36	Pass
14	Existing	5	Sitting	4	Sitting	32	Pass
	Proposed	6	Sitting	5	Sitting	38	Pass
15	Existing	7	Sitting	6	Sitting	50	Pass
	Proposed	8	Sitting	7	Sitting	42	Pass
16	Existing	7	Sitting	6	Sitting	43	Pass
	Proposed	5	Sitting	4	Sitting	31	Pass
17	Existing	8	Sitting	6	Sitting	45	Pass
	Proposed	7	Sitting	6	Sitting	43	Pass
18	Existing	7	Sitting	6	Sitting	43	Pass
	Proposed	9	Sitting	7	Sitting	55	Pass
19	Existing	7	Sitting	6	Sitting	44	Pass
	Proposed	6	Sitting	5	Sitting	35	Pass
20	Existing	8	Sitting	6	Sitting	45	Pass
	Proposed	10	Sitting	8	Sitting	52	Pass
21	Existing	8	Sitting	6	Sitting	42	Pass
	Proposed	9	Sitting	8	Sitting	48	Pass
22	Existing	8	Sitting	7	Sitting	44	Pass
	Proposed	11	Standing	9	Sitting	58	Pass

Table 1: Pedestrian Wind Comfort and Safety Conditions

Location	Configuration	Wind Comfort				Wind Safety	
		Summer		Winter		Annual	
		Speed (km/h)	Rating	Speed (km/h)	Rating	Speed (km/h)	Rating
23	Existing	9	Sitting	7	Sitting	47	Pass
	Proposed	9	Sitting	8	Sitting	57	Pass
24	Existing	7	Sitting	6	Sitting	42	Pass
	Proposed	7	Sitting	6	Sitting	40	Pass
25	Existing	8	Sitting	7	Sitting	43	Pass
	Proposed	8	Sitting	7	Sitting	46	Pass
26	Existing	8	Sitting	7	Sitting	42	Pass
	Proposed	8	Sitting	7	Sitting	45	Pass
27	Existing	7	Sitting	6	Sitting	49	Pass
	Proposed	9	Sitting	8	Sitting	51	Pass
28	Existing	8	Sitting	7	Sitting	46	Pass
	Proposed	10	Sitting	8	Sitting	50	Pass
29	Existing	9	Sitting	7	Sitting	46	Pass
	Proposed	9	Sitting	8	Sitting	47	Pass
30	Existing	8	Sitting	7	Sitting	46	Pass
	Proposed	10	Sitting	8	Sitting	53	Pass
31	Existing	8	Sitting	7	Sitting	46	Pass
	Proposed	10	Sitting	8	Sitting	56	Pass
32	Existing	7	Sitting	6	Sitting	39	Pass
	Proposed	8	Sitting	7	Sitting	48	Pass
33	Existing	9	Sitting	7	Sitting	48	Pass
	Proposed	9	Sitting	7	Sitting	53	Pass
34	Existing	7	Sitting	6	Sitting	47	Pass
	Proposed	9	Sitting	7	Sitting	54	Pass
35	Existing	8	Sitting	7	Sitting	49	Pass
	Proposed	9	Sitting	8	Sitting	53	Pass
36	Existing	6	Sitting	5	Sitting	37	Pass
	Proposed	7	Sitting	5	Sitting	47	Pass
37	Existing	5	Sitting	4	Sitting	32	Pass
	Proposed	10	Sitting	7	Sitting	55	Pass
38	Existing	6	Sitting	5	Sitting	45	Pass
	Proposed	10	Sitting	8	Sitting	60	Pass
39	Existing	6	Sitting	5	Sitting	33	Pass
	Proposed	7	Sitting	6	Sitting	47	Pass
40	Existing	6	Sitting	5	Sitting	38	Pass
	Proposed	6	Sitting	5	Sitting	47	Pass
41	Existing	7	Sitting	6	Sitting	42	Pass
	Proposed	9	Sitting	8	Sitting	55	Pass
42	Existing	8	Sitting	7	Sitting	42	Pass
	Proposed	9	Sitting	8	Sitting	62	Pass
43	Existing	8	Sitting	6	Sitting	44	Pass
	Proposed	8	Sitting	6	Sitting	53	Pass
44	Existing	8	Sitting	6	Sitting	43	Pass
	Proposed	7	Sitting	7	Sitting	55	Pass

Table 1: Pedestrian Wind Comfort and Safety Conditions

Location	Configuration	Wind Comfort				Wind Safety	
		Summer		Winter		Annual	
		Speed (km/h)	Rating	Speed (km/h)	Rating	Speed (km/h)	Rating
45	Existing	8	Sitting	7	Sitting	43	Pass
	Proposed	8	Sitting	7	Sitting	55	Pass
46	Existing	8	Sitting	6	Sitting	44	Pass
	Proposed	11	Standing	10	Sitting	62	Pass
47	Existing	8	Sitting	7	Sitting	44	Pass
	Proposed	9	Sitting	8	Sitting	65	Pass
48	Existing	8	Sitting	6	Sitting	42	Pass
	Proposed	8	Sitting	7	Sitting	58	Pass
49	Existing	9	Sitting	7	Sitting	45	Pass
	Proposed	8	Sitting	7	Sitting	49	Pass
50	Existing	9	Sitting	7	Sitting	46	Pass
	Proposed	8	Sitting	7	Sitting	53	Pass
51	Existing	9	Sitting	7	Sitting	46	Pass
	Proposed	9	Sitting	8	Sitting	60	Pass
52	Existing	N/A					
	Proposed	11	Standing	9	Sitting	63	Pass
53	Existing	N/A					
	Proposed	7	Sitting	5	Sitting	46	Pass
54	Existing	N/A					
	Proposed	10	Sitting	8	Sitting	61	Pass
55	Existing	N/A					
	Proposed	7	Sitting	6	Sitting	43	Pass
56	Existing	N/A					
	Proposed	15	Strolling	12	Standing	74	Pass
57	Existing	N/A					
	Proposed	8	Sitting	7	Sitting	55	Pass
58	Existing	N/A					
	Proposed	9	Sitting	8	Sitting	57	Pass
59	Existing	N/A					
	Proposed	7	Sitting	6	Sitting	44	Pass
60	Existing	N/A					
	Proposed	11	Standing	10	Sitting	65	Pass
61	Existing	N/A					
	Proposed	17	Strolling	14	Standing	79	Pass
62	Existing	N/A					
	Proposed	8	Sitting	6	Sitting	52	Pass
63	Existing	N/A					
	Proposed	8	Sitting	7	Sitting	53	Pass
64	Existing	N/A					
	Proposed	10	Sitting	8	Sitting	63	Pass
65	Existing	N/A					
	Proposed	12	Standing	9	Sitting	73	Pass
66	Existing	N/A					
	Proposed	13	Standing	11	Standing	69	Pass

Table 1: Pedestrian Wind Comfort and Safety Conditions

Location	Configuration	Wind Comfort				Wind Safety	
		Summer		Winter		Annual	
		Speed (km/h)	Rating	Speed (km/h)	Rating	Speed (km/h)	Rating
67	Existing	N/A					
	Proposed	9	Sitting	7	Sitting	61	Pass
68	Existing	N/A					
	Proposed	15	Strolling	11	Standing	81	Pass
69	Existing	N/A					
	Proposed	14	Standing	10	Sitting	81	Pass
70	Existing	N/A					
	Proposed	9	Sitting	9	Sitting	66	Pass
71	Existing	N/A					
	Proposed	10	Sitting	8	Sitting	71	Pass
72	Existing	N/A					
	Proposed	12	Standing	10	Sitting	75	Pass
73	Existing	N/A					
	Proposed	12	Standing	9	Sitting	70	Pass
74	Existing	N/A					
	Proposed	12	Standing	11	Standing	70	Pass
75	Existing	N/A					
	Proposed	12	Standing	11	Standing	71	Pass
76	Existing	N/A					
	Proposed	18	Walking	14	Standing	79	Pass
77	Existing	N/A					
	Proposed	18	Walking	14	Standing	79	Pass

Seasons		Hours	Comfort Speed (km/h)		Safety Speed (km/h)
Summer = May - October		6:00 - 23:00 for comfort	(20% Seasonal Exceedance)		(0.1% Annual Exceedance)
Winter = November - April		0:00 - 23:00 for safety	≤ 10	Sitting	≤ 90 Pass
Configurations			11 - 14	Standing	> 90 Exceeded
Existing	Without the proposed development		15 - 17	Strolling	
Proposed	With the proposed development		18 - 20	Walking	
			> 20	Uncomfortable	

TABLE 2: PERCENTAGE OF PEDESTRIAN WIND COMFORT AND SAFETY CATEGORIES

COMFORT CATEGORY			Sitting	Standing	Strolling	Walking	Uncomfortable		SAFETY CATEGORY	
GEM Wind Speed (mph)			0 – 6	0 - 8	0 - 10	0 – 12	>12		Gust Speed ≥56 (mph)	
Category Limit			≥80%	≥80%	≥80%	≥80%	>20%		> 0.15% Seasonal	
	Config.	Season	%	%	%	%	%	RATING	%	RATING
1	Existing	Summer	88	96	98	99	1	Sitting	0	Pass
		Winter	92	97	98	99	1	Sitting		
	Proposed	Summer	100	100	100	100	0	Sitting	0	Pass
		Winter	100	100	100	100	0	Sitting		
2	Existing	Summer	88	96	98	99	1	Sitting	0	Pass
		Winter	92	97	98	99	1	Sitting		
	Proposed	Summer	96	99	100	100	0	Sitting	0	Pass
		Winter	97	99	100	100	0	Sitting		
3	Existing	Summer	88	96	98	99	1	Sitting	0	Pass
		Winter	91	97	98	99	1	Sitting		
	Proposed	Summer	89	96	98	99	1	Sitting	0	Pass
		Winter	91	97	99	99	1	Sitting		
4	Existing	Summer	88	95	98	99	1	Sitting	0	Pass
		Winter	91	96	98	99	1	Sitting		
	Proposed	Summer	89	97	99	100	0	Sitting	0	Pass
		Winter	92	97	98	99	1	Sitting		
5	Existing	Summer	88	96	98	99	1	Sitting	0	Pass
		Winter	92	97	98	99	1	Sitting		
	Proposed	Summer	88	96	99	99	1	Sitting	0	Pass
		Winter	91	96	98	99	1	Sitting		
6	Existing	Summer	89	96	98	99	1	Sitting	0	Pass
		Winter	92	97	99	99	1	Sitting		
	Proposed	Summer	84	93	96	98	2	Sitting	0	Pass
		Winter	89	95	97	98	2	Sitting		
7	Existing	Summer	89	96	98	99	1	Sitting	0	Pass
		Winter	92	97	99	99	1	Sitting		
	Proposed	Summer	74	84	90	93	7	Standing	0	Pass
		Winter	80	89	93	95	5	Sitting		
8	Existing	Summer	90	97	99	100	0	Sitting	0	Pass
		Winter	93	98	99	100	0	Sitting		
	Proposed	Summer	74	83	89	93	7	Standing	0	Pass
		Winter	80	88	92	95	5	Sitting		
9	Existing	Summer	90	97	99	99	1	Sitting	0	Pass
		Winter	93	97	99	100	0	Sitting		
	Proposed	Summer	85	95	98	99	1	Sitting	0	Pass
		Winter	88	95	98	99	1	Sitting		
10	Existing	Summer	91	98	99	100	0	Sitting	0	Pass
		Winter	94	98	99	100	0	Sitting		
	Proposed	Summer	89	96	98	99	1	Sitting	0	Pass
		Winter	91	97	98	99	1	Sitting		
11	Existing	Summer	93	99	100	100	0	Sitting	0	Pass
		Winter	95	99	100	100	0	Sitting		
	Proposed	Summer	91	95	96	97	3	Sitting	0	Pass
		Winter	93	96	98	98	2	Sitting		
12	Existing	Summer	96	99	100	100	0	Sitting	0	Pass
		Winter	97	99	100	100	0	Sitting		
	Proposed	Summer	85	93	96	98	2	Sitting	0	Pass
		Winter	89	94	97	98	2	Sitting		
13	Existing	Summer	96	99	100	100	0	Sitting	0	Pass

Seasons

Summer = May to October
Winter = November to April

Hours

6:00 to 23:00 for Comfort
0:00 to 23:00 for Safety

TABLE 2: PERCENTAGE OF PEDESTRIAN WIND COMFORT AND SAFETY CATEGORIES

COMFORT CATEGORY		Sitting	Standing	Strolling	Walking	Uncomfortable		SAFETY CATEGORY	
GEM Wind Speed (mph)		0 – 6	0 - 8	0 - 10	0 – 12	>12		Gust Speed ≥56 (mph)	
Category Limit		≥80%	≥80%	≥80%	≥80%	>20%		> 0.15% Seasonal	
	Config.	Season	%	%	%	%	%	RATING	
14	Proposed	Winter	97	99	100	100	0	Sitting	
		Summer	95	99	100	100	0	Sitting	0
	Existing	Winter	96	99	100	100	0	Sitting	
		Summer	96	99	100	100	0	Sitting	0
	Proposed	Winter	97	99	100	100	0	Sitting	
		Summer	94	99	100	100	0	Sitting	0
15	Existing	Winter	95	99	99	100	0	Sitting	
		Summer	89	96	98	99	1	Sitting	0
	Proposed	Winter	92	97	98	99	1	Sitting	
		Summer	89	97	99	100	0	Sitting	0
	Existing	Winter	91	97	99	100	0	Sitting	
		Summer	88	96	98	99	1	Sitting	0
16	Proposed	Winter	92	96	98	99	1	Sitting	
		Summer	96	99	100	100	0	Sitting	0
	Existing	Winter	97	99	100	100	0	Sitting	
		Summer	87	95	98	99	1	Sitting	0
	Proposed	Winter	91	96	98	99	1	Sitting	
		Summer	89	97	99	100	0	Sitting	0
17	Existing	Winter	92	97	99	99	1	Sitting	
		Summer	88	96	98	99	1	Sitting	0
	Proposed	Winter	83	91	94	97	3	Sitting	
		Summer	88	94	96	97	3	Sitting	0
	Existing	Winter	89	96	98	99	1	Sitting	
		Summer	92	97	98	99	1	Sitting	0
18	Proposed	Winter	94	99	100	100	0	Sitting	
		Summer	96	99	100	100	0	Sitting	0
	Existing	Winter	87	95	98	99	1	Sitting	
		Summer	91	96	98	99	1	Sitting	0
	Proposed	Winter	81	90	94	97	3	Sitting	
		Summer	87	93	95	97	3	Sitting	0
19	Existing	Winter	88	96	98	99	1	Sitting	
		Summer	91	97	98	99	1	Sitting	0
	Proposed	Winter	81	92	95	97	3	Sitting	
		Summer	85	93	96	98	2	Sitting	0
	Existing	Winter	86	94	97	99	1	Sitting	
		Summer	90	96	98	99	1	Sitting	0
20	Proposed	Winter	78	89	93	96	4	Standing	
		Summer	83	91	95	97	3	Sitting	0
	Existing	Winter	84	93	97	98	2	Sitting	
		Summer	89	95	97	98	2	Sitting	0
	Proposed	Winter	83	92	94	96	4	Sitting	
		Summer	85	93	96	97	3	Sitting	0
21	Existing	Winter	89	96	99	99	1	Sitting	
		Summer	92	97	99	99	1	Sitting	0
	Proposed	Winter	91	97	99	100	0	Sitting	
		Summer	93	98	99	100	0	Sitting	0
	Existing	Winter	87	95	98	99	1	Sitting	
		Summer	91	96	98	99	1	Sitting	0
25	Existing	Winter	87	95	98	99	1	Sitting	
		Summer	91	96	98	99	1	Sitting	0

Seasons

Summer = May to October
Winter = November to April

Hours

6:00 to 23:00 for Comfort
0:00 to 23:00 for Safety

TABLE 2: PERCENTAGE OF PEDESTRIAN WIND COMFORT AND SAFETY CATEGORIES

COMFORT CATEGORY		Sitting	Standing	Strolling	Walking	Uncomfortable		SAFETY CATEGORY		
GEM Wind Speed (mph)		0 – 6	0 - 8	0 - 10	0 – 12	>12		Gust Speed ≥56 (mph)		
Category Limit		≥80%	≥80%	≥80%	≥80%	>20%		> 0.15% Seasonal		
	Config.	Season	%	%	%	%	%	RATING	%	RATING
26	Proposed	Summer	86	94	97	99	1	Sitting	0	Pass
		Winter	89	95	98	99	1	Sitting		
	Existing	Summer	88	96	98	99	1	Sitting	0	Pass
		Winter	91	97	98	99	1	Sitting		
27	Proposed	Summer	87	95	97	99	1	Sitting	0	Pass
		Winter	89	95	98	99	1	Sitting		
	Existing	Summer	91	95	97	98	2	Sitting	0	Pass
		Winter	93	97	98	99	1	Sitting		
28	Proposed	Summer	86	93	96	97	3	Sitting	0	Pass
		Winter	88	95	97	98	2	Sitting		
	Existing	Summer	86	94	97	99	1	Sitting	0	Pass
		Winter	90	95	98	99	1	Sitting		
29	Proposed	Summer	81	91	96	98	2	Sitting	0	Pass
		Winter	87	93	96	98	2	Sitting		
	Existing	Summer	84	92	96	98	2	Sitting	0	Pass
		Winter	89	94	97	99	1	Sitting		
30	Proposed	Summer	83	92	96	98	2	Sitting	0	Pass
		Winter	88	94	97	98	2	Sitting		
	Existing	Summer	86	94	97	99	1	Sitting	0	Pass
		Winter	91	96	98	99	1	Sitting		
31	Proposed	Summer	81	90	95	97	3	Sitting	0	Pass
		Winter	87	93	96	97	3	Sitting		
	Existing	Summer	86	94	97	99	1	Sitting	0	Pass
		Winter	90	95	98	99	1	Sitting		
32	Proposed	Summer	81	90	94	97	3	Sitting	0	Pass
		Winter	87	93	96	97	3	Sitting		
	Existing	Summer	93	98	99	100	0	Sitting	0	Pass
		Winter	94	98	99	100	0	Sitting		
33	Proposed	Summer	87	96	98	99	1	Sitting	0	Pass
		Winter	91	96	98	99	1	Sitting		
	Existing	Summer	85	94	97	99	1	Sitting	0	Pass
		Winter	89	95	98	99	1	Sitting		
34	Proposed	Summer	84	93	97	99	1	Sitting	0	Pass
		Winter	89	95	97	99	1	Sitting		
	Existing	Summer	90	96	98	99	1	Sitting	0	Pass
		Winter	93	97	99	99	1	Sitting		
35	Proposed	Summer	84	93	96	98	2	Sitting	0	Pass
		Winter	89	95	97	98	2	Sitting		
	Existing	Summer	86	94	97	99	1	Sitting	0	Pass
		Winter	90	95	98	99	1	Sitting		
36	Proposed	Summer	82	91	95	97	3	Sitting	0	Pass
		Winter	88	93	96	98	2	Sitting		
	Existing	Summer	93	98	99	100	0	Sitting	0	Pass
		Winter	95	99	100	100	0	Sitting		
37	Proposed	Summer	88	96	98	99	1	Sitting	0	Pass
		Winter	92	97	98	99	1	Sitting		
	Existing	Summer	96	99	100	100	0	Sitting	0	Pass
		Winter	97	99	100	100	0	Sitting		
	Proposed	Summer	81	89	93	96	4	Sitting	0	Pass

Seasons

Summer = May to October
Winter = November to April

Hours

6:00 to 23:00 for Comfort
0:00 to 23:00 for Safety

TABLE 2: PERCENTAGE OF PEDESTRIAN WIND COMFORT AND SAFETY CATEGORIES

COMFORT CATEGORY		Sitting	Standing	Strolling	Walking	Uncomfortable		SAFETY CATEGORY		
GEM Wind Speed (mph)		0 – 6	0 - 8	0 - 10	0 – 12	>12		Gust Speed ≥56 (mph)		
Category Limit		≥80%	≥80%	≥80%	≥80%	>20%		> 0.15% Seasonal		
	Config.	Season	%	%	%	%	%	RATING	%	RATING
38	Existing	Winter	87	93	95	97	3	Sitting	0	Pass
		Summer	92	97	98	99	1	Sitting		
	Proposed	Winter	94	98	99	100	0	Sitting		
		Summer	81	91	94	96	4	Sitting		
39	Existing	Winter	86	93	96	97	3	Sitting	0	Pass
		Summer	95	99	100	100	0	Sitting		
	Proposed	Winter	96	99	100	100	0	Sitting		
		Summer	88	95	98	99	1	Sitting		
40	Existing	Winter	92	97	98	99	1	Sitting	0	Pass
		Summer	95	98	99	100	0	Sitting		
	Proposed	Winter	96	99	100	100	0	Sitting		
		Summer	93	97	99	99	1	Sitting		
41	Existing	Winter	95	98	99	100	0	Sitting	0	Pass
		Summer	89	96	98	99	1	Sitting		
	Proposed	Winter	92	97	99	99	1	Sitting		
		Summer	83	92	95	98	2	Sitting		
42	Existing	Winter	88	94	97	98	2	Sitting	0	Pass
		Summer	89	96	99	100	0	Sitting		
	Proposed	Winter	91	97	99	99	1	Sitting		
		Summer	84	93	96	97	3	Sitting		
43	Existing	Winter	87	94	97	98	2	Sitting	0	Pass
		Summer	88	95	98	99	1	Sitting		
	Proposed	Winter	91	96	98	99	1	Sitting		
		Summer	89	95	97	99	1	Sitting		
44	Existing	Winter	92	96	98	99	1	Sitting	0	Pass
		Summer	88	96	98	99	1	Sitting		
	Proposed	Winter	91	97	98	99	1	Sitting		
		Summer	89	95	97	98	2	Sitting		
45	Existing	Winter	91	96	98	99	1	Sitting	0	Pass
		Summer	88	96	98	99	1	Sitting		
	Proposed	Winter	91	97	98	99	1	Sitting		
		Summer	86	94	96	98	2	Sitting		
46	Existing	Winter	89	95	97	99	1	Sitting	0	Pass
		Summer	89	96	98	99	1	Sitting		
	Proposed	Winter	92	97	99	99	1	Sitting		
		Summer	76	88	93	95	5	Standing		
47	Existing	Winter	82	91	94	96	4	Sitting	0	Pass
		Summer	87	95	98	99	1	Sitting		
	Proposed	Winter	91	96	98	99	1	Sitting		
		Summer	84	92	95	96	4	Sitting		
48	Existing	Winter	86	93	96	97	3	Sitting	0	Pass
		Summer	88	95	98	99	1	Sitting		
	Proposed	Winter	91	97	98	99	1	Sitting		
		Summer	87	94	96	98	2	Sitting		
49	Existing	Winter	89	96	97	98	2	Sitting	0	Pass
		Summer	85	94	97	99	1	Sitting		
	Proposed	Winter	90	95	98	99	1	Sitting		
		Summer	88	95	97	99	1	Sitting		
		Winter	91	96	98	99	1	Sitting		

Seasons

Summer = May to October
Winter = November to April

Hours

6:00 to 23:00 for Comfort
0:00 to 23:00 for Safety

TABLE 2: PERCENTAGE OF PEDESTRIAN WIND COMFORT AND SAFETY CATEGORIES

COMFORT CATEGORY			Sitting	Standing	Strolling	Walking	Uncomfortable		SAFETY CATEGORY	
GEM Wind Speed (mph)			0 – 6	0 - 8	0 - 10	0 – 12	>12		Gust Speed ≥56 (mph)	
Category Limit			≥80%	≥80%	≥80%	≥80%	>20%		> 0.15% Seasonal	
	Config.	Season	%	%	%	%	%	RATING	%	RATING
50	Existing	Summer	83	93	97	99	1	Sitting	0	Pass
		Winter	88	95	97	99	1	Sitting		
	Proposed	Summer	86	94	96	98	2	Sitting	0	Pass
		Winter	89	95	97	99	1	Sitting		
51	Existing	Summer	85	94	97	99	1	Sitting	0	Pass
		Winter	89	95	98	99	1	Sitting		
	Proposed	Summer	85	92	95	96	4	Sitting	0	Pass
		Winter	87	94	96	97	3	Sitting		
52	Existing	Summer	N/A							
		Winter	N/A							
	Proposed	Summer	77	87	91	94	6	Standing	0	Pass
		Winter	84	91	94	96	4	Sitting		
53	Existing	Summer	N/A							
		Winter	N/A							
	Proposed	Summer	89	95	98	99	1	Sitting	0	Pass
		Winter	93	97	98	99	1	Sitting		
54	Existing	Summer	N/A							
		Winter	N/A							
	Proposed	Summer	80	88	92	95	5	Sitting	0	Pass
		Winter	86	92	95	96	4	Sitting		
55	Existing	Summer	N/A							
		Winter	N/A							
	Proposed	Summer	90	96	98	99	1	Sitting	0	Pass
		Winter	93	97	98	99	1	Sitting		
56	Existing	Summer	N/A							
		Winter	N/A							
	Proposed	Summer	67	77	83	88	12	Strolling	0	Pass
		Winter	73	83	88	91	9	Standing		
57	Existing	Summer	N/A							
		Winter	N/A							
	Proposed	Summer	86	94	96	98	2	Sitting	0	Pass
		Winter	89	95	97	99	1	Sitting		
58	Existing	Summer	N/A							
		Winter	N/A							
	Proposed	Summer	82	92	96	98	2	Sitting	0	Pass
		Winter	87	94	97	98	2	Sitting		
59	Existing	Summer	N/A							
		Winter	N/A							
	Proposed	Summer	91	97	99	100	0	Sitting	0	Pass
		Winter	94	98	99	100	0	Sitting		
60	Existing	Summer	N/A							
		Winter	N/A							
	Proposed	Summer	76	86	92	95	5	Standing	0	Pass
		Winter	81	89	94	96	4	Sitting		
61	Existing	Summer	N/A							
		Winter	N/A							
	Proposed	Summer	62	74	80	85	15	Strolling	0	Pass
		Winter	69	80	85	89	11	Standing		
62	Existing	Summer	N/A							

Seasons

Summer = May to October
Winter = November to April

Hours

6:00 to 23:00 for Comfort
0:00 to 23:00 for Safety

TABLE 2: PERCENTAGE OF PEDESTRIAN WIND COMFORT AND SAFETY CATEGORIES

COMFORT CATEGORY			Sitting	Standing	Strolling	Walking	Uncomfortable		SAFETY CATEGORY	
GEM Wind Speed (mph)			0 – 6	0 - 8	0 - 10	0 – 12	>12		Gust Speed ≥56 (mph)	
Category Limit			≥80%	≥80%	≥80%	≥80%	>20%		> 0.15% Seasonal	
	Config.	Season	%	%	%	%	%	RATING	%	RATING
63	Proposed	Winter	N/A							
		Summer	86	94	97	98	2	Sitting	0	Pass
	Existing	Winter	91	96	98	99	1	Sitting		
		Summer	N/A							
64	Proposed	Winter	N/A							
		Summer	85	92	95	97	3	Sitting	0	Pass
	Existing	Winter	90	95	97	98	2	Sitting		
		Summer	N/A							
65	Proposed	Winter	N/A							
		Summer	80	89	92	95	5	Sitting	0	Pass
	Existing	Winter	86	92	95	96	4	Sitting		
		Summer	N/A							
66	Proposed	Winter	N/A							
		Summer	75	82	86	90	10	Standing	0	Pass
	Existing	Winter	83	88	91	93	7	Sitting		
		Summer	N/A							
67	Proposed	Winter	N/A							
		Summer	74	83	87	91	9	Standing	0	Pass
	Existing	Winter	77	85	90	93	7	Standing		
		Summer	N/A							
68	Proposed	Winter	N/A							
		Summer	82	91	94	96	4	Sitting	0	Pass
	Existing	Winter	83	92	95	97	3	Sitting		
		Summer	N/A							
69	Proposed	Winter	N/A							
		Summer	69	79	84	88	12	Strolling	0	Pass
	Existing	Winter	76	85	89	92	8	Standing		
		Summer	N/A							
70	Proposed	Winter	N/A							
		Summer	73	80	84	88	12	Standing	0	Pass
	Existing	Winter	81	87	90	92	8	Sitting		
		Summer	N/A							
71	Proposed	Winter	N/A							
		Summer	82	91	94	96	4	Sitting	0	Pass
	Existing	Winter	83	92	95	97	3	Sitting		
		Summer	N/A							
72	Proposed	Winter	N/A							
		Summer	81	88	91	94	6	Sitting	0	Pass
	Existing	Winter	86	91	94	95	5	Sitting		
		Summer	N/A							
73	Proposed	Winter	N/A							
		Summer	74	85	90	93	7	Standing	0	Pass
	Existing	Winter	77	87	91	94	6	Standing		
		Summer	N/A							
74	Proposed	Winter	N/A							
		Summer	74	85	90	93	7	Standing	0	Pass
	Existing	Winter	77	87	91	94	6	Standing		
		Summer	N/A							

Seasons

Summer = May to October
Winter = November to April

Hours

6:00 to 23:00 for Comfort
0:00 to 23:00 for Safety

TABLE 2: PERCENTAGE OF PEDESTRIAN WIND COMFORT AND SAFETY CATEGORIES

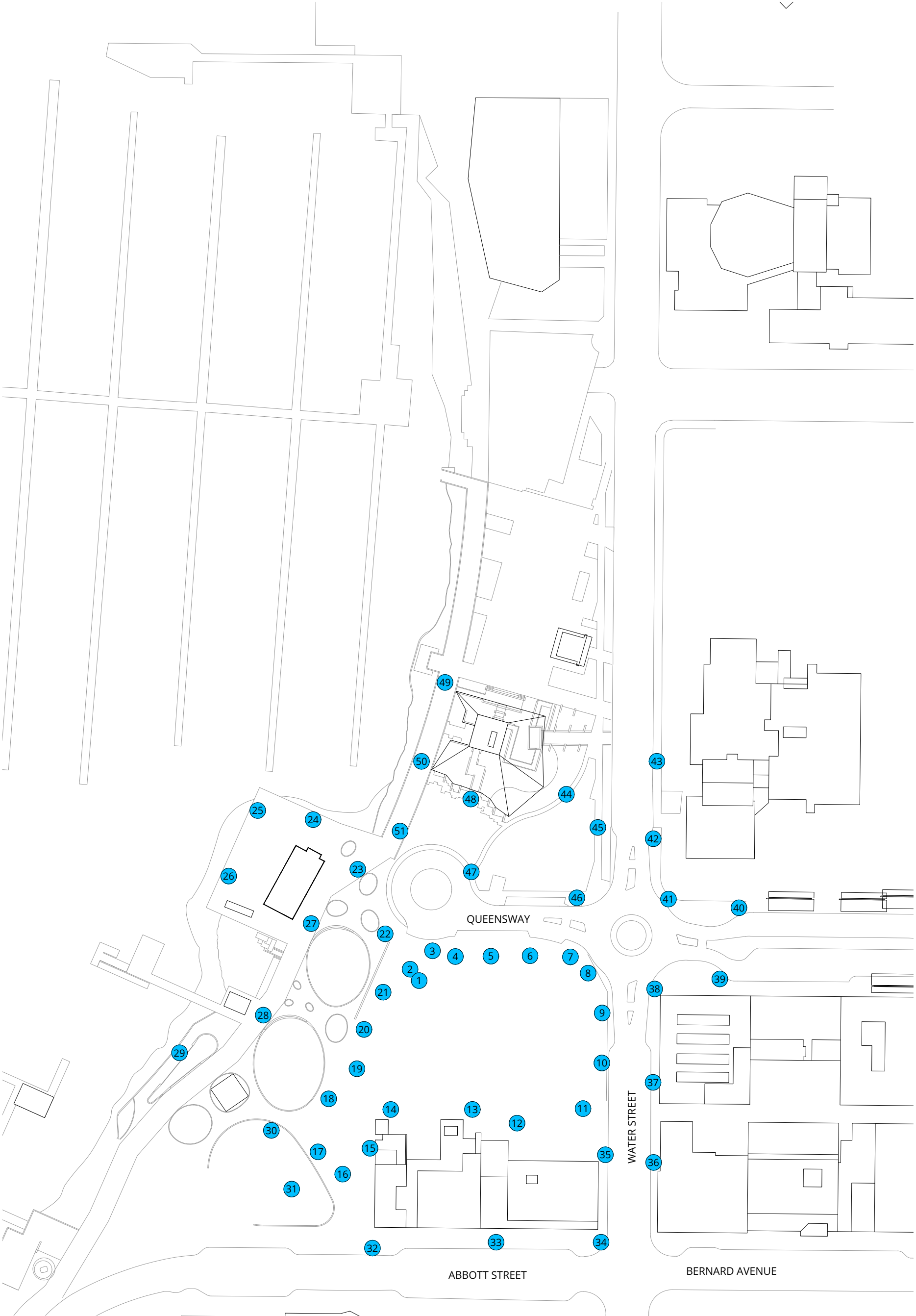
COMFORT CATEGORY		Sitting 0 – 6 ≥80%	Standing 0 -8 ≥80%	Strolling 0 - 10 ≥80%	Walking 0 – 12 ≥80%	Uncomfortable >12 >20%	SAFETY CATEGORY	
GEM Wind Speed (mph) Category Limit							Gust Speed ≥56 (mph) > 0.15% Seasonal	
Config.	Season	%	%	%	%	%	RATING	%
Proposed	Summer	73	84	90	94	6	Standing	0
	Winter	77	86	90	94	6	Standing	Pass
75 Existing	Summer	N/A						
	Winter	N/A						
Proposed	Summer	74	85	90	93	7	Standing	0
	Winter	77	87	91	94	6	Standing	Pass
76 Existing	Summer	N/A						
	Winter	N/A						
Proposed	Summer	62	72	78	83	17	Walking	0
	Winter	70	80	84	88	12	Standing	Pass
77 Existing	Summer	N/A						
	Winter	N/A						
Proposed	Summer	62	72	78	83	17	Walking	0
	Winter	70	80	84	88	12	Standing	Pass

Seasons

Summer = May to October
Winter = November to April

Hours

6:00 to 23:00 for Comfort
0:00 to 23:00 for Safety



LEGEND:

COMFORT CATEGORIES:

- Sitting
- Standing
- Strolling
- Walking
- Uncomfortable

SENSOR LOCATION:

- Grade Level
- Podium Level

Pedestrian Wind Comfort Conditions

Existing Configuration
Summer (May to October, 6:00 to 23:00)

Downtown Kelowna Hotel - Kelowna, BC

True North



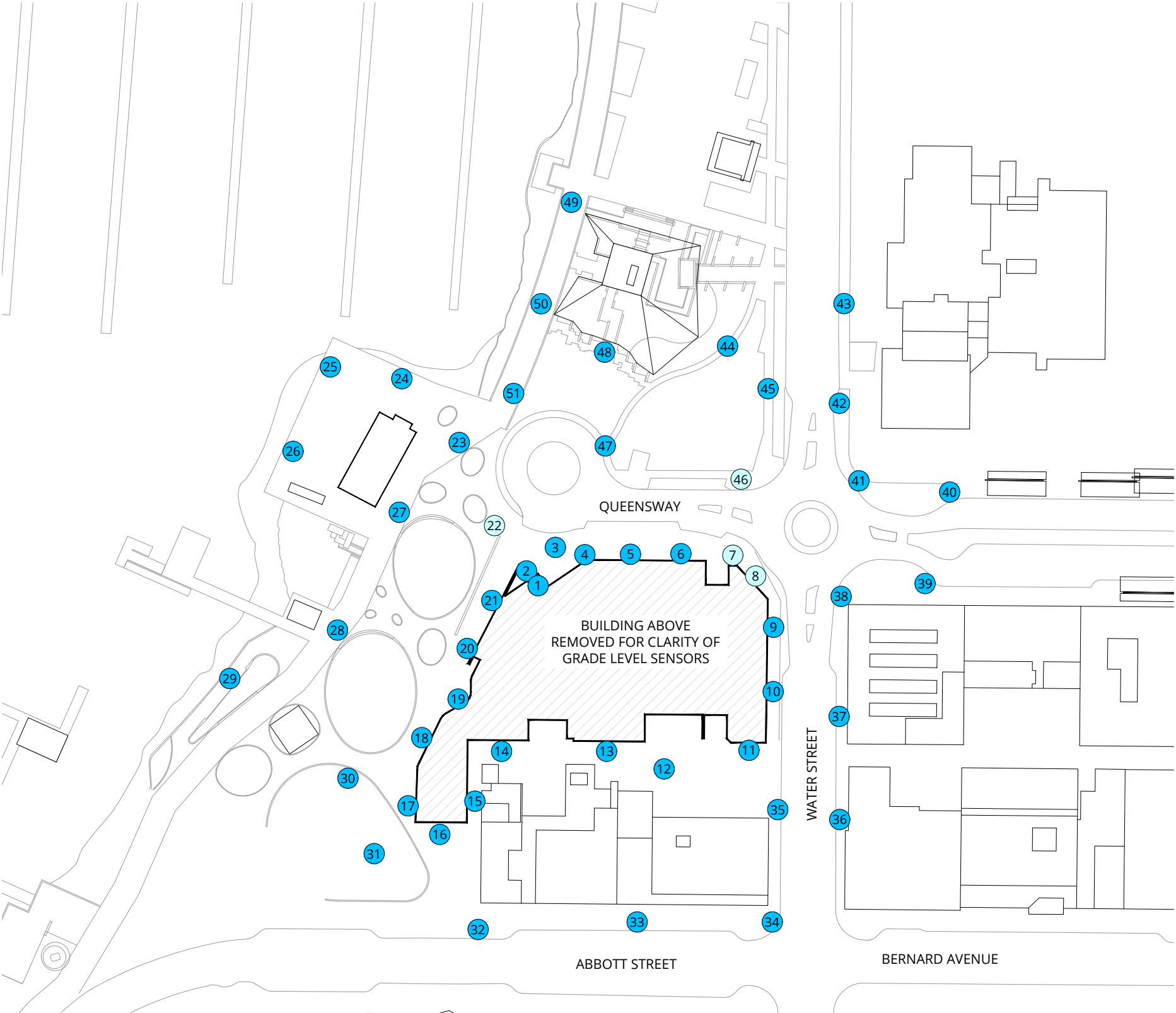
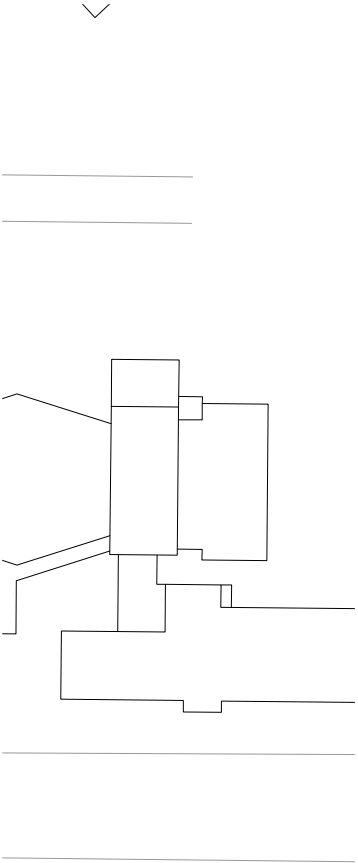
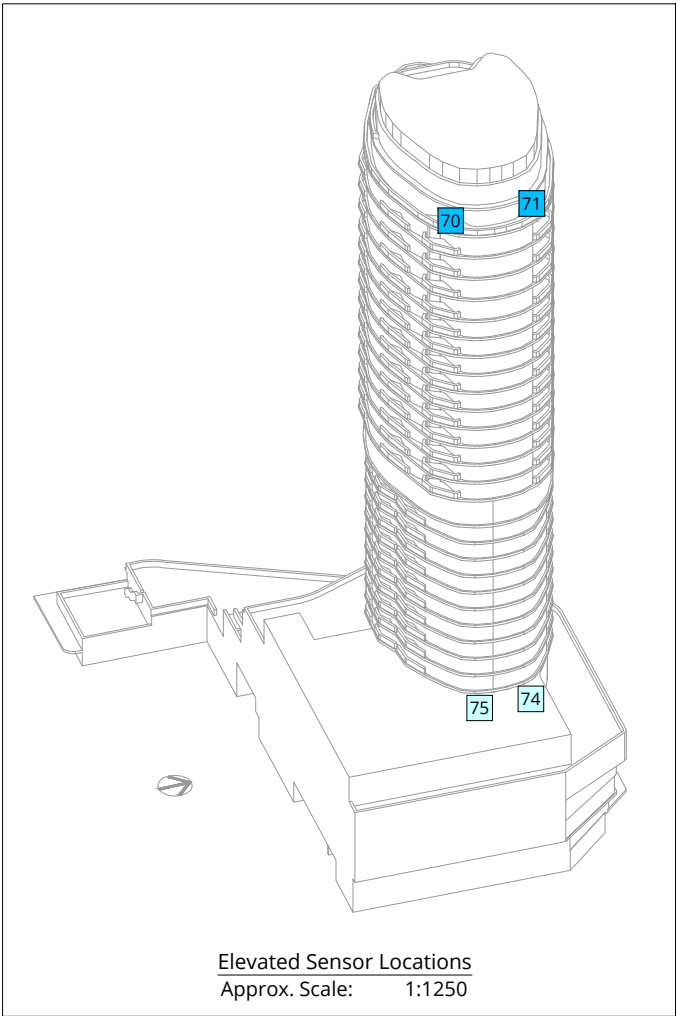
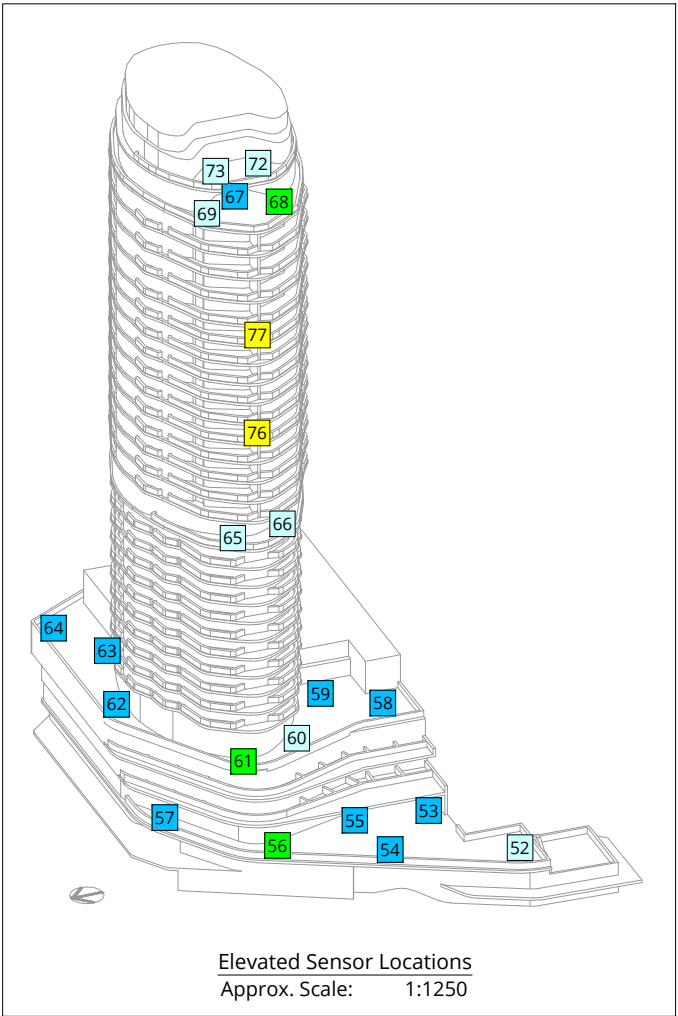
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Approx. Scale: 1:1250

Date Revised: Aug. 11, 2017

Project #1501922





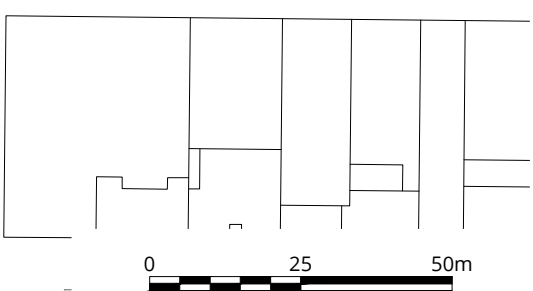
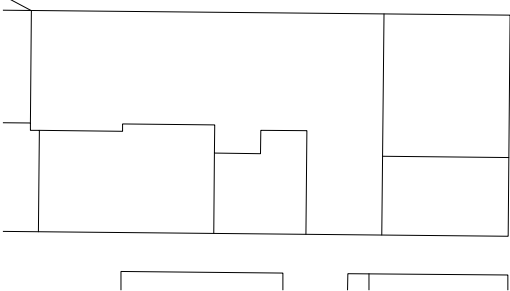
LEGEND:

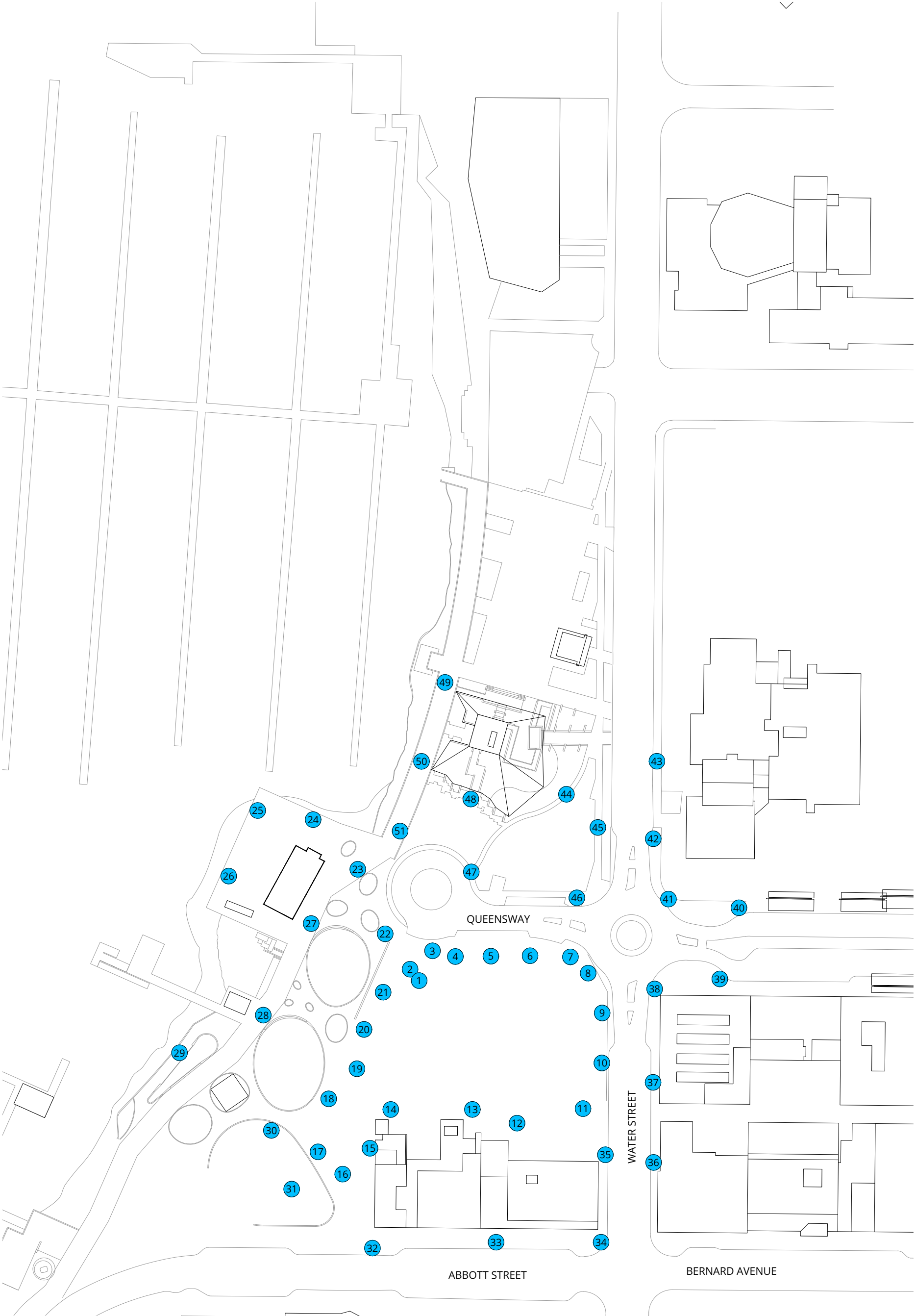
COMFORT CATEGORIES:

- Sitting — [Blue Box]
- Standing — [Light Blue Box]
- Strolling — [Green Box]
- Walking — [Yellow Box]
- Uncomfortable — [Red Box]

SENSOR LOCATION:

- Grade Level — [Circle]
- Terraces and Podiums — [Square]





LEGEND:

COMFORT CATEGORIES:

- Sitting
- Standing
- Strolling
- Walking
- Uncomfortable

SENSOR LOCATION:

- Grade Level
- Podium Level

Pedestrian Wind Comfort Conditions

Existing Configuration
Winter (November to April, 6:00 to 23:00)

Downtown Kelowna Hotel - Kelowna, BC

True North



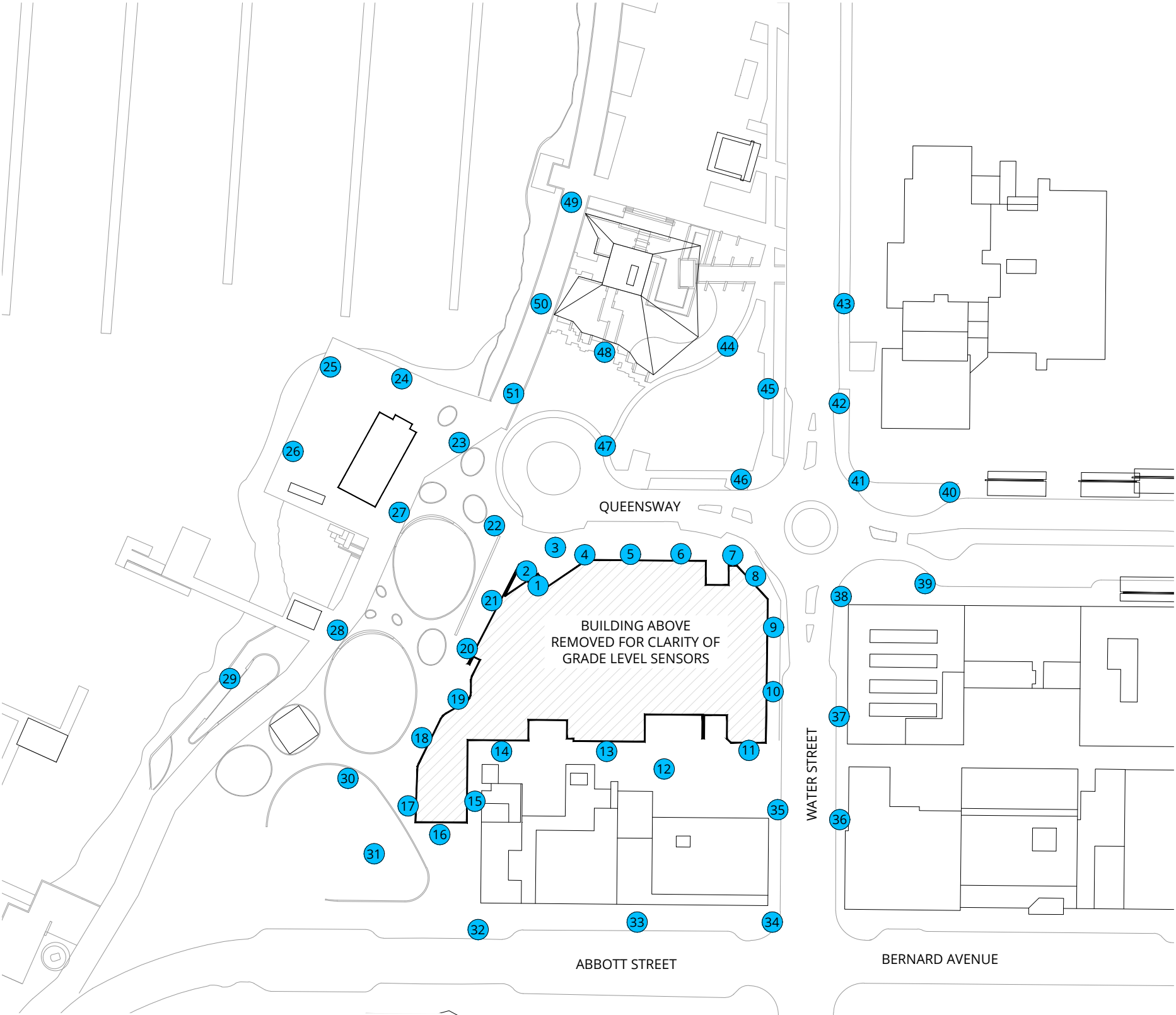
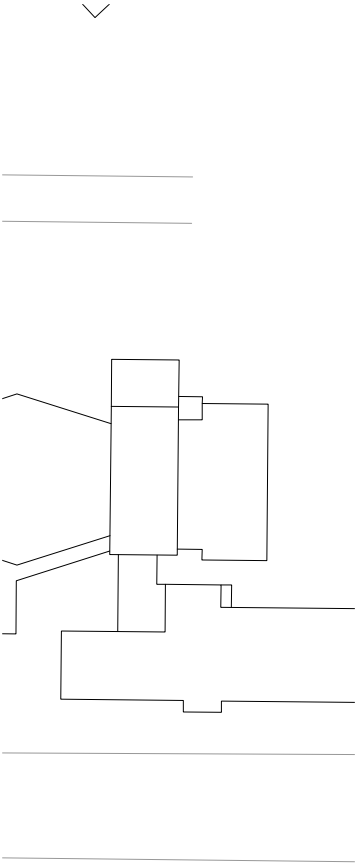
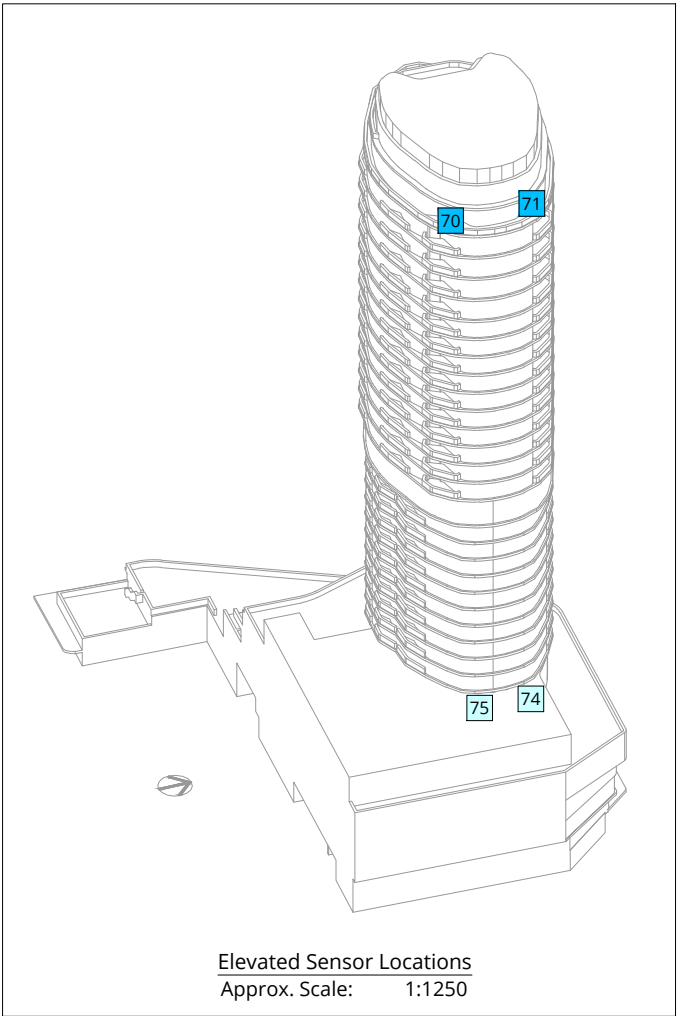
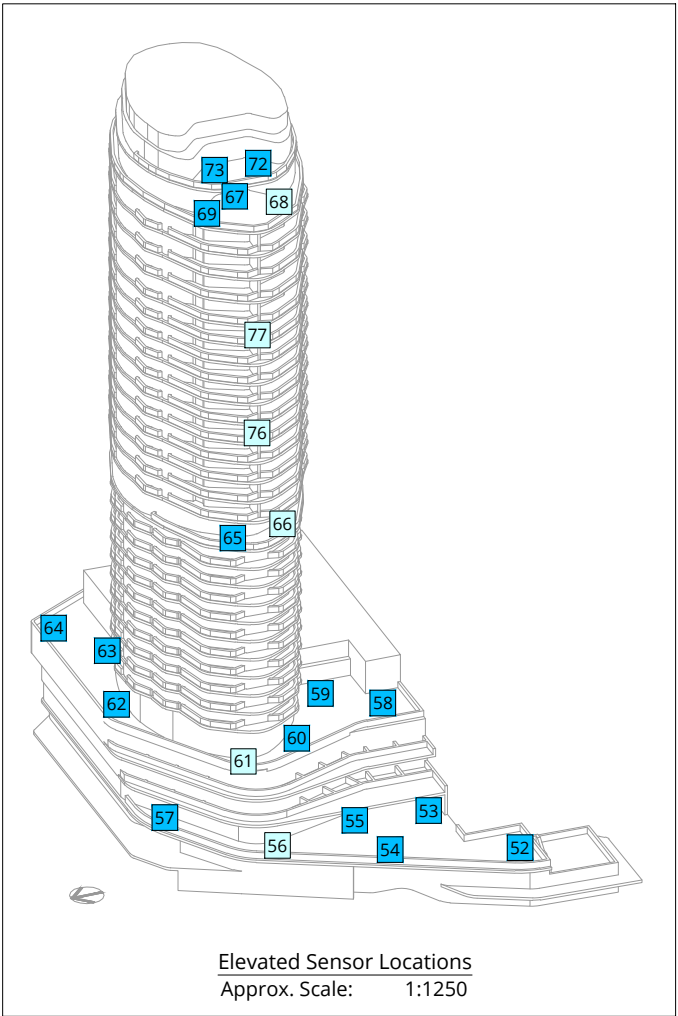
Drawn by: MDN Figure: 2a

Approx. Scale: 1:1250

Date Revised: Aug. 11, 2017

Project #1501922





LEGEND:

COMFORT CATEGORIES:

Sitting	
Standing	
Strolling	
Walking	
Uncomfortable	

SENSOR LOCATION:

	Grade Level
	Terraces and Podiums

Pedestrian Wind Comfort Conditions
Proposed Configuration
Winter (November to April, 6:00 to 23:00)

Downtown Kelowna Hotel - Kelowna, BC



Project #1501922

Drawn by: MDN	Figure: 2b
Approx. Scale: 1:1250	
Date Revised: Aug. 11, 2017	



REPORT TO COUNCIL



Date: February 20, 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (CD)

Application: DVP17-0254

Owner: Darlene Ramsay

Address: 380 Poplar Point Drive

Applicant: Darlene Ramsay

Subject: Development Variance Permit

Existing OCP Designation: Single/Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

1.0 Recommendation

That Council authorize the issuance of Development Variance Permit No. DVP17-0254 for Lot 5, District Lot 219, ODYD, Plan 6511, located on 380 Poplar Point Drive, Kelowna, BC;

AND THAT a variance to the following section of Zoning Bylaw No. 8000 be granted:

Section 6.11.1 – Okanagan Lake Sight Lines – To vary the required Okanagan Lake 120° Panoramic Sight Lines to 87° proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To obtain approval for a Development Variance Permit to vary the Okanagan Lake Sight Lines Regulation to allow for construction of a new house on the subject property.

3.0 Community Planning

Staff support the requested variance to allow construction of a new house, which is proposed to be located within the required Okanagan Lake Sight Line of a neighbouring home to the north. The proposed house would be located approximately 12 metres further from the lake than the existing house, which would allow the affected neighbour a greater panoramic view of the lake than they currently have. Additionally, the new house will be relocated outside the required 15 metre Okanagan Lake Riparian Area setback, since the existing house is currently within the Riparian Area.

The variance to the sight line requirement would result in the unobstructed sight line for the home on the northern property being reduced from 60° required to 27° proposed.

4.0 Proposal

4.1 Background

The subject property is an urban residential lot located adjacent to Okanagan Lake. As a result of the proximity to the lake, the property is subject to the Okanagan Lake Sight Lines constraints. The applicant proposes construction of a new house, which does not conform to the current zoning requirements for Okanagan Lake Sight Lines.

The intent of Section 6.11 of the Zoning Bylaw with respect to Okanagan Lake sight lines is to "*not obstruct views of the lake from the established abutting development*". This policy places the onus on the proponent of a new development to ensure adjacent occupants are afforded a reasonable panoramic view and are provided an opportunity to be consulted when the proposed development does not conform.

4.2 Project Description

The proposed new home will be two stories high and located approximately 12 metres further upland from the lake than the existing house. The house that currently resides on the subject property will be demolished. The placement of the new home would allow the affected neighbour a greater panoramic view of the lake than they currently have. Additionally, it is important to note that the new house will be relocated outside the required 15 metre Okanagan Lake Riparian Area setback, since the existing house is currently located within the Riparian Area.

4.3 Site Context

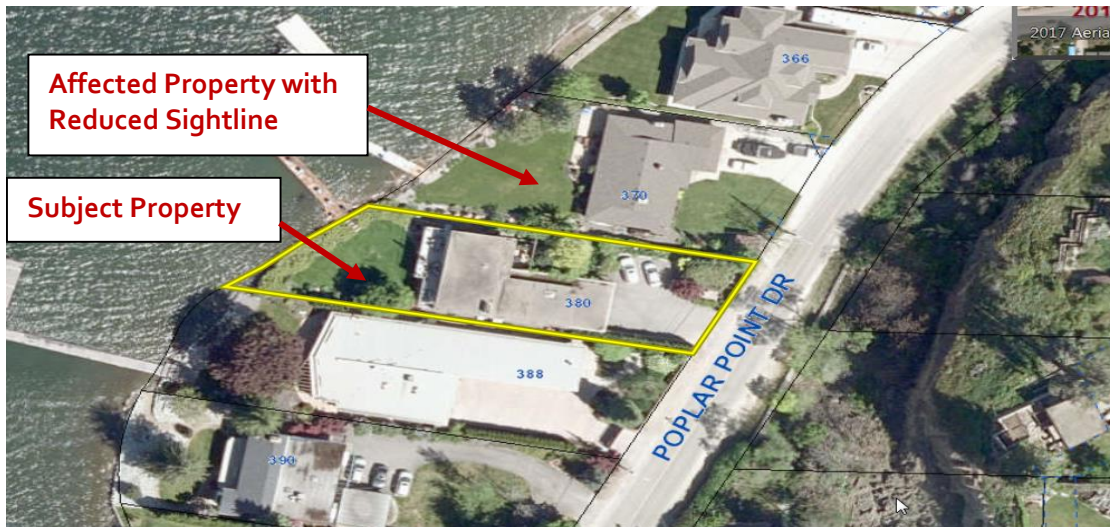
The proposed new home is located within a single family residential area on Poplar Point Drive adjacent to Okanagan Lake.

Adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU ₁ – Large Lot Housing	Residential
East	RU ₁ – Large Lot Housing	Residential
South	RU ₁ – Large Lot Housing	Residential

Subject Property Map: 380 Poplar Point Drive

¹ City of Kelowna Official Community Plan, Chapter 14, Section 15.0 (Urban Design DP Guidelines Chapter)



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	ZONE REQUIREMENTS	PROPOSAL
Minimum Okanagan Lake Sightlines	120°	87°

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Lakeside Development.¹

- Provide and enhance natural open spaces related to the lakeside context of the development;
- Minimize the obstruction of lake views;
- Preserve inland views to the lake by reducing the height of lakeside development in relation to development height permitted inland;
- Design lakeside developments to act as a transition between the lake and inland development (i.e., incorporate lake inspired themes, unique features to take advantage of the lakeside setting, etc.);
- Incorporate distinctive massing articulation, architectural treatment, and appropriate materials on the lakeside frontage.

6.0 Technical Comments

6.1 Building & Permitting Department

No comment

6.2 Development Engineering Department

No comment

7.0 Application Chronology

¹ City of Kelowna Official Community Plan, Chapter 14, Section 15.0 (Urban Design DP Guidelines Chapter)

Date of Application Received: November 24, 2017

Report prepared by: Corey Davis, Environmental Coordinator

Reviewed by: Terry Barton, Urban Planning Manager

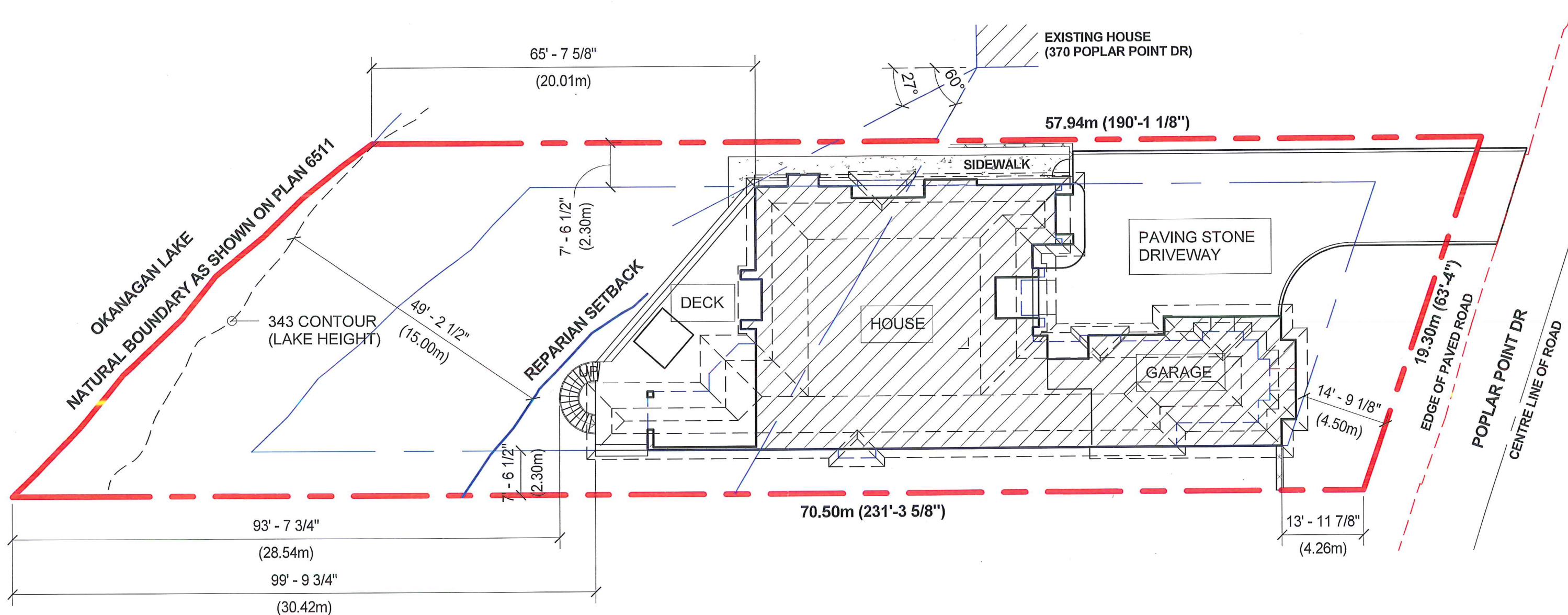
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Site Plan/Conceptual Elevations

Development Variance Permit

¹ City of Kelowna Official Community Plan, Chapter 14, Section 15.0 (Urban Design DP Guidelines Chapter)



EKON



250-300-4319
edo.kazic@gmail.com
www.ekonconsulting.ca

Client/Project

**Darlene Ramsay
PRIVATE RESIDENCE**

380 Poplar Point Dr.
Kelowna B.C.

Title

SITE PLAN

Drawing No.

A2

Scale

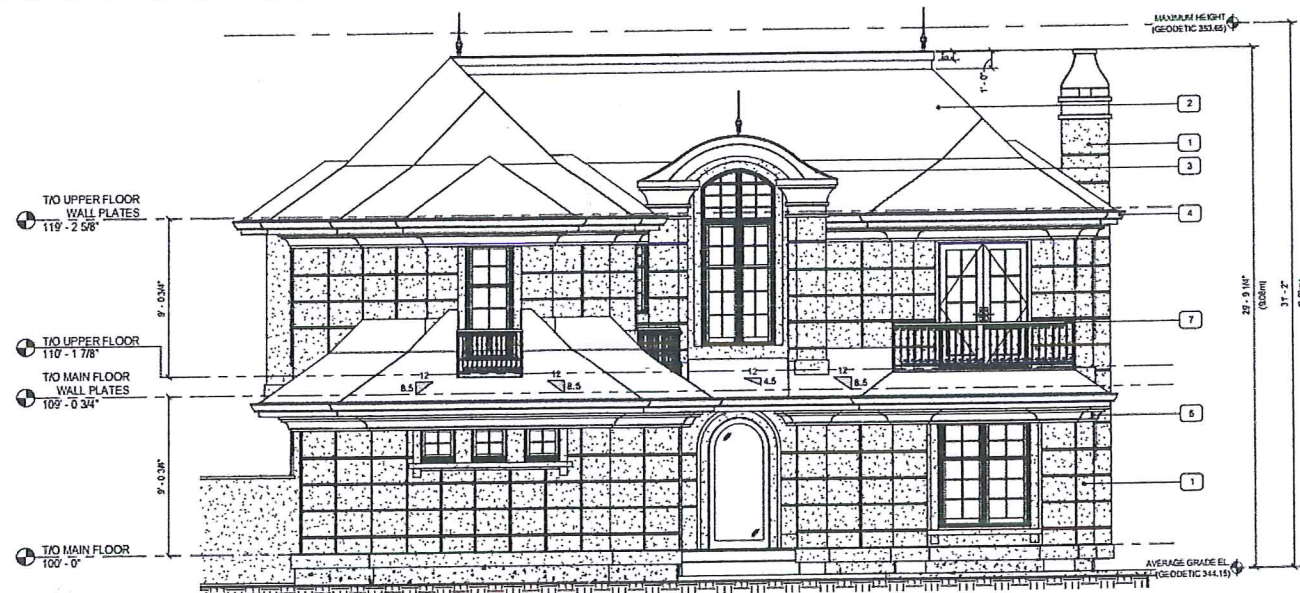
1" = 20'-0"

200 - 1789 HARVEY AVE
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E: dzignr@telus.net



Bill Daniels . Designer

dzignr@telus.net
KELOWNA 250.862.5229
TOLL FREE 866.535.3225



1 FRONT ELEVATION
A3.1 1/4" = 1'-0"

- MATERIAL ASSEMBLY**
- 1 ASPHALT SHINGLES
ASPHALT SHINGLES ON ROOF MEMBRANE
 - 2 STUCCO
CEMENTIOUS STUCCO ON WIRE MESH
 - 3 METAL ROOF
FLASHING
 - 4 6" GUTTER ON
2x10 FASCIA
 - 5 FRIEZE CROWN
(EXTRUDED)
 - 6 12" O HARDLENE
COLUMN
 - 7 42" HIGH
ALUMINUM GUARD RAIL

SPATIAL SEPARATION SUMMARY		
SIDE: LEFT FACE (SOUTH)	7'-6 1/2"	(2.30m)
LIMITING DISTANCE:	2158 SF	(200.48 SM)
EXPOSED BUILDING FACE:	(7.87%)	(15.37 SM)
ALLOWABLE PERCENTAGE OF UNPROTECTED OPENING:	165.61 SF	(15.37 SM)
PROPOSED AREA OF UNPROTECTED OPENING:	85.00 SF	(7.80 SM)



2 LEFT ELEVATION
A3.1 1/4" = 1'-0"

NOTE: ELEVATIONS & GRADE LINES TO BE COORDINATED WITH CURRENT SITE CONDITIONS AND ARE ONLY SHOWN AS A PRESENTATION TO THE CLIENT.

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ERRORS AND OMISSIONS

EKON Consulting shall not be responsible for any omissions from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the site, and it is the responsibility of the owner or contractor.

EKON Consulting makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. The contractor shall make himself familiar with the site conditions before commencing construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies, errors or omissions be found on these plans please advise EKON Consulting so we can make the necessary corrections.

GENERAL NOTES

Do not scale drawings.

All dimensions are to:
- exterior face of concrete
- exterior face of stud wall
- center of interior stud wall
- center of door & window

The builder is responsible for ensuring that all construction conforms to local, provincial and national codes and bylaws. The builder shall install all materials, equipment and accessories in accordance with manufacturer's instructions and accepted methods of good building practice. Final building location & elevation to be determined on site. Confirm all setbacks and lot lines with the registered lot plan prior to construction. Submit shop drawings for approval of components to the authority having jurisdiction before commencing layout. All base and roof systems shall be designed and sealed by the manufacturer.

1. FOR BUILDING PERMIT	17.08.20
2. FOR CLIENT REVIEW	17.08.20
ISSUED	17.08.20

Client/Project
Charlene Ramsay
PRIVATE RESIDENCE
380 Poplar Point Dr.
Kelowna B.C.

Sheet Title
ELEVATIONS

Project No.
170801

Drawing No. A3.1

Revision 1

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Bill Daniels, Designer

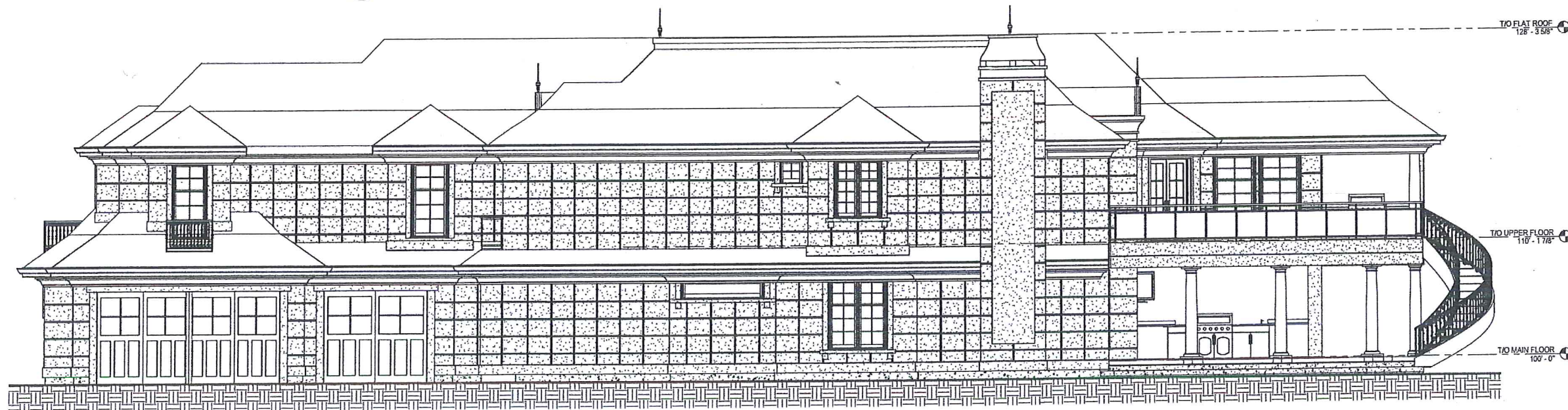
dzignr@telus.net
1.2.1.18.6 25.06.2020 16:58:55



1 BACK ELEVATION
A3.2 144' x 140'

- MATERIAL ASSEMBLY**
- 1 ASPHALT SHINGLES
ASPHALT SHINGLES ON ROOF MEMBRANE
 - 2 STUCCO
CEMENTIOUS STUCCO ON WIRE MESH
 - 3 METAL ROOF
+ FLASHING
 - 4 5\"/>

SPATIAL SEPARATION SUMMARY		
SIDE: RIGHT FACE (NORTH)		
LIMITING DISTANCE:	7'-6 1/2"	(2.30m)
EXPOSED BUILDING FACE:	1076 SF	(99.96 SM)
ALLOWABLE PERCENTAGE OF UNPROTECTED OPENING:	(10.35%)	
	111.36 SF	(10.34 SM)
PROPOSED AREA OF UNPROTECTED OPENING:	64.80 SF	(6.09 SM)



2 RIGHT ELEVATION
A3.2 144' x 140'

NOTE: ELEVATIONS & GRADE LINES TO BE COORDINATED WITH CURRENT SITE CONDITIONS AND ARE ONLY SHOWN AS A PRESENTATION TO THE CLIENT.

EKON

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www.ekonconsulting.ca



28/09/2017 15:27:59 PM

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ERRORS AND OMISSIONS

EKON Consulting shall not be responsible for any variations from the structural design and construction, or adjustments required resulting from conditions encountered at the job site, and it is the responsibility of the owner or contractor.

EKON Consulting makes a very effort to provide complete and accurate construction drawings, however we assume no liability for any errors or omissions which may affect construction. The contractor shall make himself familiar with the site conditions before commencing construction. It is the responsibility of all fabric and materials to provide and verify all dimensions and details before commencing with the erection of the construction. Should any discrepancies, errors or omissions be found on these plans please advise EKON Consulting as we can make the necessary corrections.

GENERAL NOTES

Do not scale drawings.

All dimensions are to:
- center line of support
- center face of stud wall
- center of doors & windows

The builder is responsible for ensuring that all construction conforms to local, provincial and national codes and standards. The builder shall install all materials, equipment and components in accordance with manufacturer's recommendations and accepted methods of good building practice. Erection of building structure is to be determined by site. Confirm all setbacks and lot lines with the registered lot plan prior to construction. Submit shop drawings for structural components to the authority having jurisdiction before commencing erection. All floor and roof systems shall be designed and sealed by the manufacturer.

1. FOR CLIENT REVIEW	13.08.16
2. FOR BUILDING PERMIT	13.08.16
ISSUED	13.08.16

Client/Project
Darlene Ramsay
PRIVATE RESIDENCE
380 Poplar Point Dr.
Kelowna B.C.

Sheet Title
ELEVATIONS

Project No.
170801

Drawing No. A3.2

Revision 1

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Bill Daniels . Designer

designr@telus.net

KELOWNA TELUS 227 250-864-3432

Development Variance Permit

DVP17-0254



This permit relates to land in the City of Kelowna municipally known as

380 Poplar Point Drive

and legally known as

Lot 5, District Lot 219, ODYD, Plan 6511

and permits the land to be used for the following development:

Single Family Dwelling

with variances to the following sections of the Zoning Bylaw 8000:

Section 6.11.1 - Okanagan Lake Sight Line Regulation

To vary the required Okanagan Lake 120° Panoramic Sight Lines to 87° proposed.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: February 20, 2018

Decision by: CITY COUNCIL

Issued Date: February 20, 2018

Development Permit Area: Natural Environment Development Permit Area

File Manager: Corey Davis

This permit will not be valid if development has not commenced by February 6, 2020.

Existing Zone: RU1 – Large Lot Housing

Future Land Use Designation: Single/Two Unit Residential

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Darlene Ramsay
Address: 380 Poplar Point Drive
City: Kelowna, BC

Terry Barton, Urban Planning Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$ OR
b) An Irrevocable Letter of Credit in the amount of \$

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

Client/Project

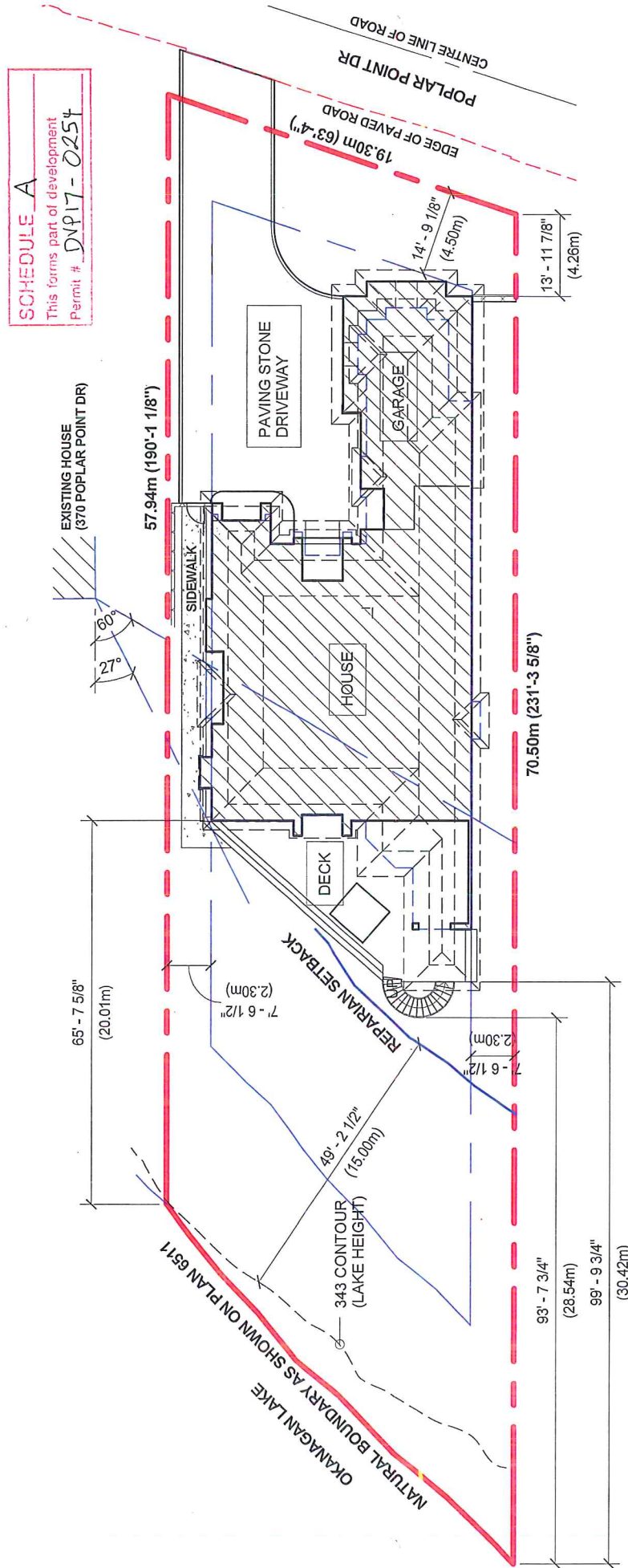
Title

SITE PLAN

Drawing No. **A2** Scale 1" = 20'-0"

Bill Daniels, Designer

TF: 866-535-3225
E: dzignr@telus.net



SCHEDULE A

This forms part of development
Permit # DP17-0254

REPORT TO COUNCIL



Date: February 20, 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (KB)

Application: DVP17-0280

Owner: Sole Downtown Developments Ltd., Inc. No. BC1057689

Address: 1350 St. Paul Street

Applicant: Edgecombe Builders (John Downs)

Subject: Development Variance Permit

Existing OCP Designation: MXR – Mixed Use (Residential / Commercial)

Existing Zone: C7 – Central Business Commercial

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP17-0280 for STRATA LOT 1 DISTRICT LOT 139 OSOYOOS DIVISION YALE DISTRICT STRATA PLAN EPS4599 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V, located at 1350 St. Paul Street, Kelowna, BC;

AND THAT variances to the following sections of Sign Bylaw No. 8235 be granted:

Section 5.5.3: Specific Regulations

To vary the maximum height of fascia signs from 1.0 m above the second storey (permitted) to up to 3.5 m above the second storey (proposed).

Section 6.1: Specific Zone Regulations

Major Commercial (C3, C4, C6, C7, C8, CD22 Sub-Areas A&B and CD24 Sub Area A, CD25)

To vary the number of fascia signs per business frontage from 2 (permitted) to 6 (proposed).

To vary the number of identification signs per business from 1 (0.5 m² maximum area) permitted to 2 (1.74 m² total maximum area) proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the number and height of identification and fascia signs on the subject property.

3.0 Community Planning

Community Planning Staff support the requested variance. The variance application applies to a six storey mixed-use building, known as “Sole Downtown”, which is currently nearing completion. The proposed sign locations are directly related to each commercial space, as they represent the first three storeys on the building frontage. Proposed materials and colours of each sign compliment the new building’s exterior and, based on the renderings provided by the applicant, the visual impact would be minimal to pedestrian and vehicle traffic. The overall sign designs including size, siting and materials meets the intent of the Revitalization Design Guidelines in the City of Kelowna Official Community Plan. The application for “Sole Downtown” is the same as was approved for “Sole Kelowna” in March 2015.

The applicant has confirmed the completion of neighbourhood notification in accordance with Council Policy No. 367.

4.0 Proposal

4.1 Project Description

The “Sole Downtown” Building has commercial space on the first three storeys and residential on the top three storeys. The proposed six fascia signs are to be located on the business frontages on the first three storeys. The exact content and names for the signs will be determined at a later date. The subject property is in a Revitalization Area and the building design has an industrial feel that speaks to the uses traditionally found in the area.

The following chart highlights the proposed variances to Sign Bylaw No. 8235.

Sign Type	Section 5.5.3 – Specific Regulations	Proposal
Fascia	A fascia sign may only be located more than 1.0 m above the second story provided that: (a) the sign consists only of a logo, the name of a building, the street address, or a particular tenant; (b) the sign, in the form of individual letters, symbols or logos is directly attached to or inscribed on the building face; and (c) there are no more than one sign per building face and no more than 4 per building provided all signs are identical and identify the same business.	To allow fascia signs to be located up to 3.5 m above the second storey in the form of individual letters, symbols or logos to be attached to a composite aluminium panel attached to the building face
Sign Type	Section 6.1 – Specific Regulations	Proposal
Fascia	2 per business frontage	Allow 6 total
Identification	1 per business (0.5 m ² maximum area)	Allow 2 total (1.74 m ² total maximum area)

All of the proposed signs are located on the east façade of the building. Two fascia signs will be located on each storey for the first three storeys. Each proposed fascia sign consists of a 3.65 metres x 0.45 metres powder coated “Nu Sparkle Silver” colour back panel, which will match the exterior railing on the building. Lettering, making up the business name and logo, will be cut from “Alupanel”. There are two identification signs, each in the form of individual letters, numbers and symbols. One identification sign (63 inches x 38.82 inches) is centred on the second floor façade. The sign features “Nu Sparkle Silver” colour highlights, and

the word “Downtown” beneath the “Sole” logo. The second identification sign, with the year “2017” is 24 inches x 10.74 inches and will be centred on the third floor façade.

Figure 1 – Rendering of “Sole Downtown” showing the proposed signage



4.2 Site Context

The subject property is located on the west side of St. Paul Street between Doyle Avenue and Cawston Avenue. On this block, the west side of St. Paul Street is zoned Commercial and Industrial and the east side is zoned Commercial. Future Land Use of St. Paul Street in this block is MXR – Mixed Use (Residential / Commercial), and one parcel at the northeast corner of St. Paul Street and Cawston Avenue has the future land use of PARK – Major Park/Open Space (public).

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	I2 – General Industrial	Industrial / Commercial
East	C7 – Central Business Commercial	Commercial Offices, Parking Lot
South	C7 – Central Business Commercial	Mixed Use Commercial and Residential
West	C7 – Central Business Commercial	Mixed Use Commercial and Residential

Subject Property Map: 1350 St. Paul Street**5.0 Current Development Policies****5.1 Kelowna Official Community Plan (OCP)****Chapter 14 – Urban Design DP Guidelines****Revitalization Design Guidelines, Downtown Considerations**

Guideline 3.8 – Incorporate high quality signage utilizing traditional size, style, fonts and design.

Prominent and colourful signage creating a rich visual character is encouraged, however, illuminated signs in fluorescent colours are discouraged.

Guideline 7.0 – Signage

7.1 Design signage that is high quality, imaginative, and innovative;

7.2 Design signage with consideration of the size of any individual sign as part of the overall scheme of building signage and the appearance of the building's façade. Scale and architectural expression should not be compromised by size and number of signs;

7.3 Box signs are strongly discouraged;

7.4 Incorporate concise messaging and simple graphics into signage. Corporate and store logos are appropriate only if they form part of an overall sign design, and are suitably scaled to the façade composition;

7.5 Light lettering on a dark background is preferred over dark lettering on a light background and consideration should be given to those with visual impairment;

7.6 Minimize signage lighting (i.e., incorporate indirect front-lit signs wherever possible);

7.7 Counter-balance illuminated signs with natural materials and appropriate framing.

6.0 Technical Comments

6.1 Development Engineering Department

Does not compromise any municipal infrastructure

7.0 Application Chronology

Date of Application Received: December 6, 2017

Date Public Consultation Completed: January 12, 2018

Report prepared by: Kimberly Brunet, Planner

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development Variance Permit No. DVP17-0280

Attachment "A" – Building Elevation and Sign Details

Development Variance Permit

DVP17-0280



This permit relates to land in the City of Kelowna municipally known as

1350 St. Paul Street

and legally known as

STRATA LOT 1 DISTRICT LOT 139 OSOYOOS DIVISION YALE DISTRICT STRATA PLAN EPS4599 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V

and permits the land to be used for the following development:

Mixed Use Commercial and Residential

with variances to the following sections of the Sign Bylaw No. 8235:

Section 5.5.3: Specific Regulations

To vary the maximum height of fascia signs from 1.0 m above the second storey (permitted) to up to 3.5 m above the second storey (proposed).

Section 6.1: Specific Zone Regulations

Major Commercial (C3, C4, C6, C7, C8, CD22 Sub-Areas A&B and CD24 Sub Area A, CD25)

To vary the number of fascia signs per business frontage from 2 (permitted) to 6 (proposed).

To vary the number of identification signs per business from 1 (0.5 m² maximum area) permitted to 2 (1.74 m² total maximum area) proposed.

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: February 20, 2018

Decision By: City Council

Issued Date: February 20, 2018

Development Permit Area: N/A

This permit will not be valid if development has not commenced by February 20, 2020.

Existing Zone: C7 – Central Business Commercial Future Land Use Designation: MXR – Mixed Use (Residential / Commercial)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Sole Downtown Developments Ltd., Inc. No. BC1057689

Applicant: Edgcombe Builders (John Downs)

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the signage and design/finish are to be constructed on the land in general accordance with Attachment "A";

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None required.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

Sole Downtown – Variance Proposal

The building has commercial space on the first three floors, with residential on the top three floors. The proposed six fascia signs are to be located on the business frontages on the first three floors. All of the proposed signs are located on the east façade of the building. Two fascia signs will be located on each storey for the first three stories. Each proposed fascia sign consists of a 3.65m wide by .45m high powder coated “Nu Sparkle Silver” colour back panel. The colour will match the exterior railing on the building. Lettering making up the business name and logo will be cut from “Alupanel”. The content and names for these signs will be determined at a later date.

There are two identification signs each in the form of individual letters, numbers, or symbols. One sign (1.6m wide x .99m tall) is centered on the second floor façade. This sign will feature “Nu Sparkle Silver” colour highlights, and the word “Downtown” beneath the “Sole” logo. This will help delivery companies and visitors easily distinguish between this building and the original “Sole” building. The second sign is .61m wide by .27m tall, and will be centered on the third floor façade.

MAIN FLOOR SLAB

4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

P

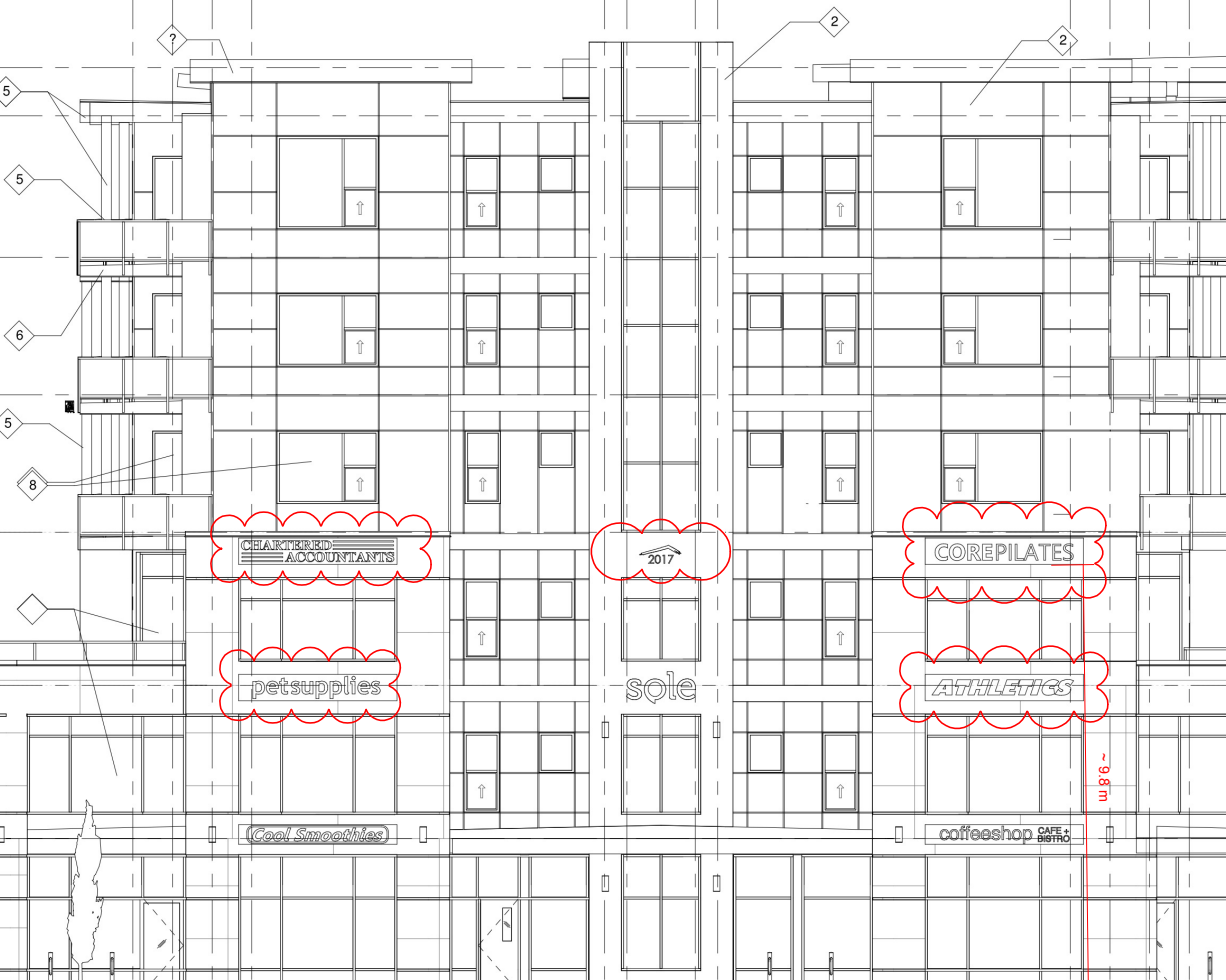
N M L K

J H G F

E D C B

A

~ 21.3 m



Signs Requiring Variances
Identified in Red.

1 EAST ELEVATION

ATTACHMENT **A**

This forms part of application
DVP17-0280

Planner
Initials **KB**





**Colors : Black
Nu Sparkle Silver**

ATTACHMENT A

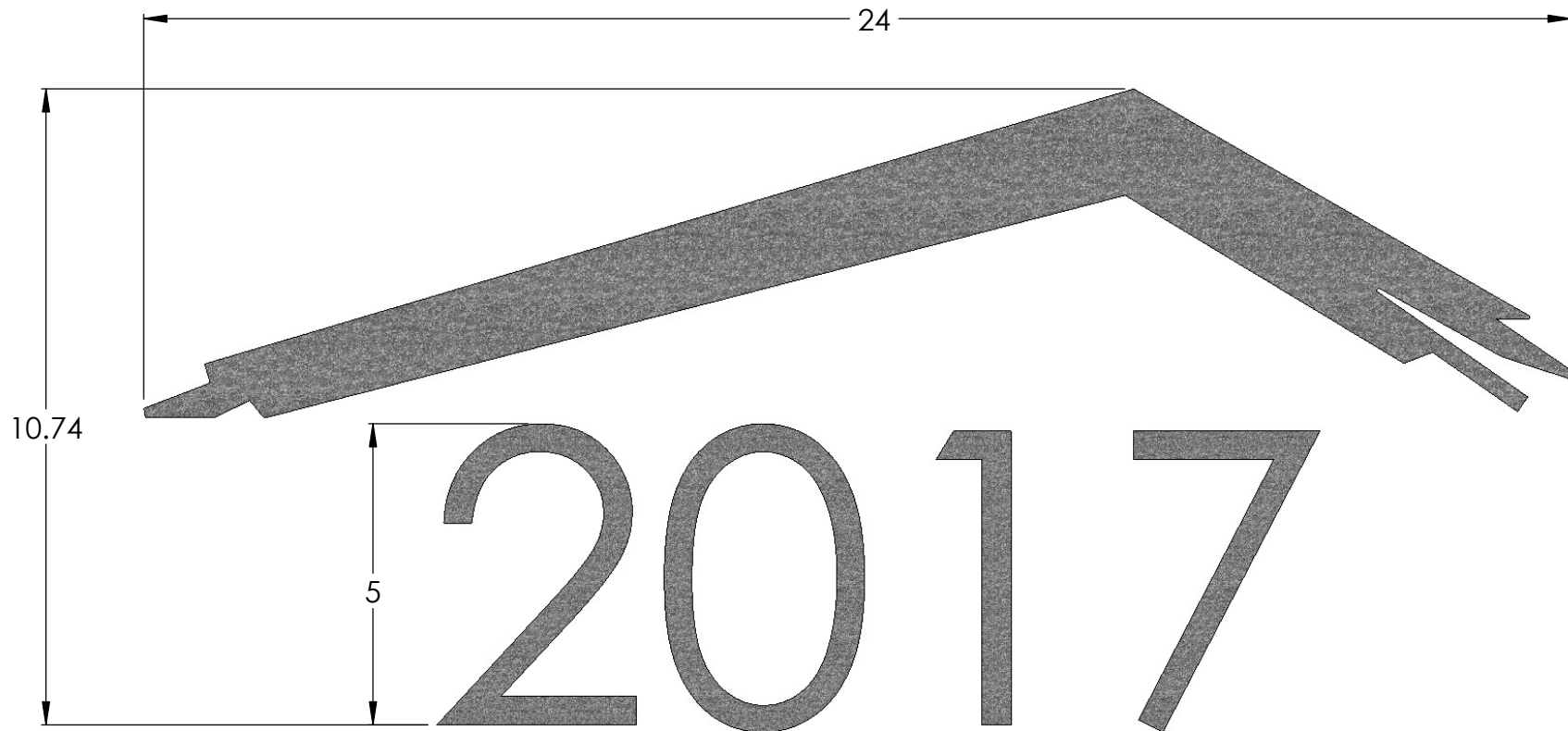
This forms part of application
DVP17-0280

Planner Initials **KB**

City of Kelowna
COMMUNITY PLANNING



UNLESS OTHERWISE SPECIFIED: DIMENSIONS ARE IN INCHES TOLERANCES: FRACTIONAL ± ANGULAR: MACH ± BEND ± TWO PLACE DECIMAL ± THREE PLACE DECIMAL ±		NAME	DATE	ALTAR Metal Fab Co. Ltd.		
	DRAWN	AV	10 Oct'17	TITLE: Sole Sign		
	CHECKED			SIZE	DWG. NO.	REV
	SCALE: 1:8		WEIGHT: 52.51	A	Sole 63inch	142
MATERIAL: Alloy Steel		DO NOT SCALE DRAWING				



Color : Nu Sparkle Silver

ATTACHMENT A

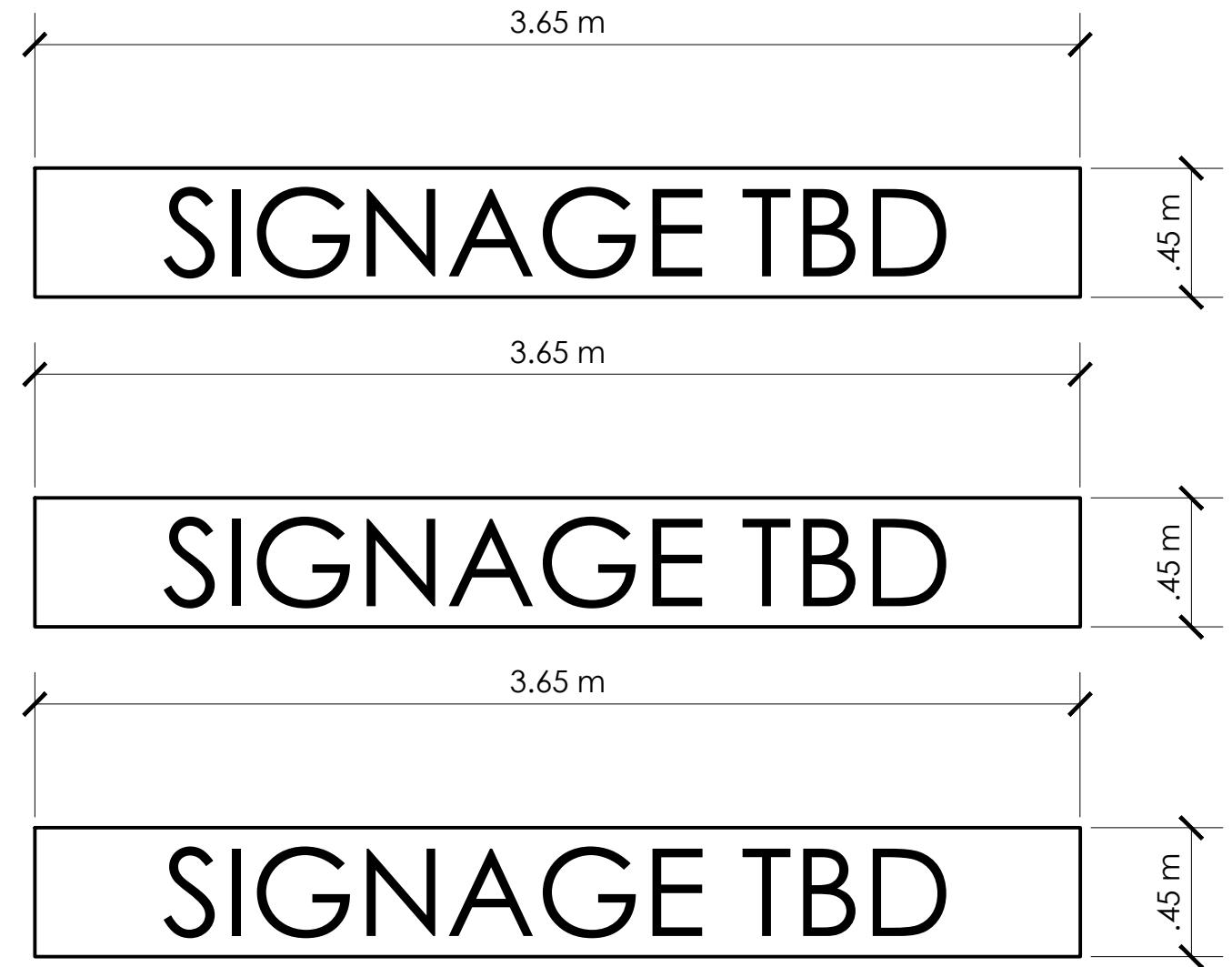
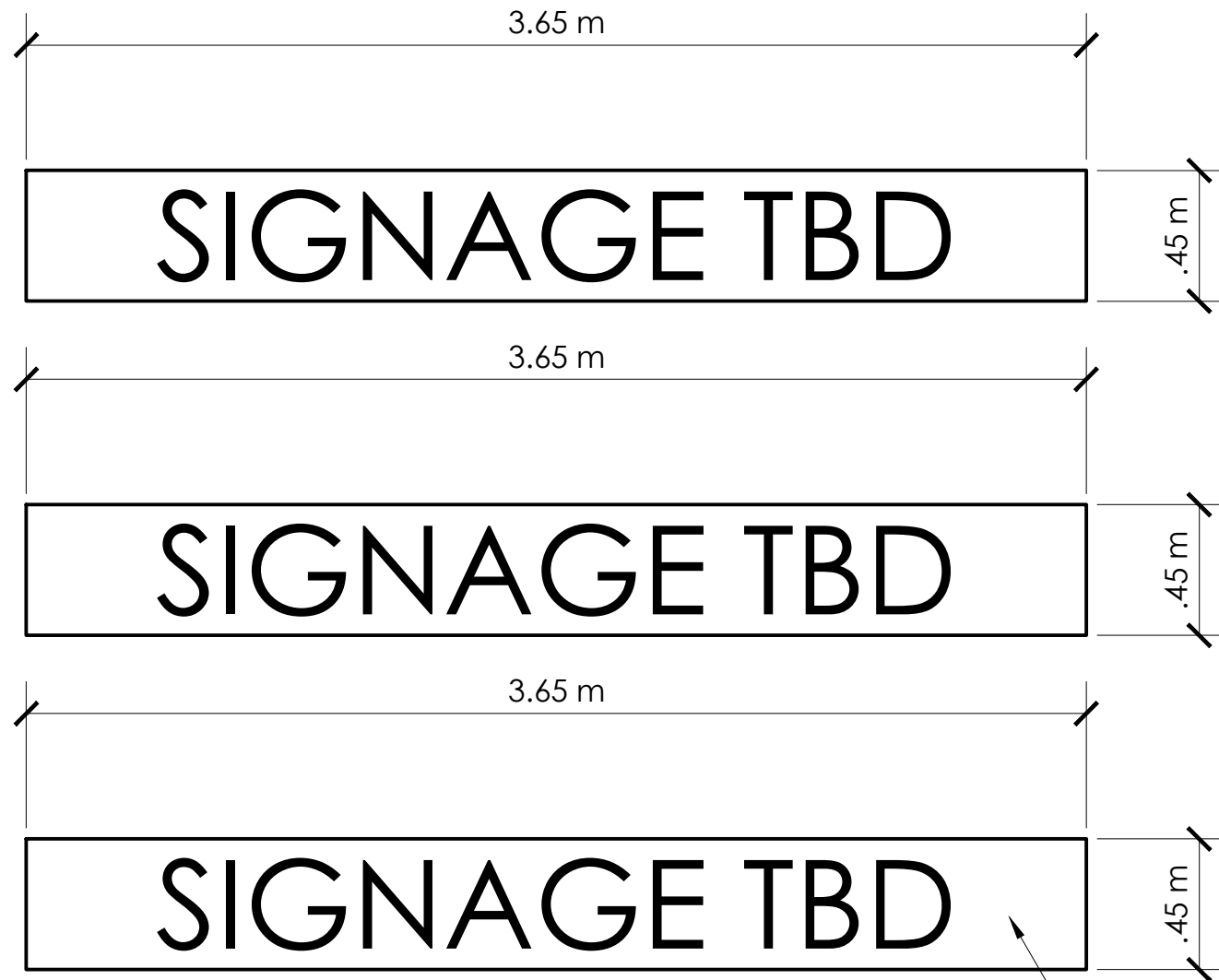
This forms part of application
DVP17-0280

Planner Initials **KB**

City of Kelowna
COMMUNITY PLANNING



UNLESS OTHERWISE SPECIFIED:		NAME	DATE	ALTAR Metal Fab Co. Ltd.		
DIMENSIONS ARE IN INCHES TOLERANCES: FRACTIONAL ± ANGULAR: MACH ± BEND ± TWO PLACE DECIMAL ± THREE PLACE DECIMAL ±	DRAWN	AV	Nov 14 '17	TITLE: Swoosh Sign		
	CHECKED			SIZE	DWG. NO.	REV
	SCALE: 1:3			A	Swoosh	143
	WEIGHT: #					
MATERIAL: MS	DO NOT SCALE DRAWING					



COLOR OF ALL PANELS TO BE NU. SPARKLE SILVER

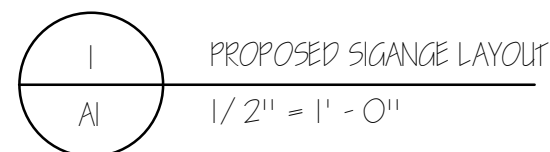
ATTACHMENT A

This forms part of application
DVP17-0280

Planner Initials KB



City of Kelowna
COMMUNITY PLANNING



PROJECT:
SOLE DOWNTOWN



SHEET:
A1

C:\Users\shawn\Documents\15965_Sole_2020\Central_Shaw\A401.dwg

ATTACHMENT

A

This forms part of application

DVP17-0280

Planner Initials

KB

City of Kelowna

COMMUNITY PLANNING



EXTERIOR FINISH LEGEND

- | | | | | | | | |
|---|--|---|---|----|---|----|--|
| 1 | ARCHITECTURAL CONCRETE, CONE SNAP TIE FORMING
PROFILE: SMOOTH HORIZONTAL FORMS C/W 2" REVEALS
COLOUR: NATURAL CONCRETE (NO TINT OR SEALER) | 5 | STAINED & SEALED HEAVY TIMBER FRAMING
FINISH: SATIN SHEEN ON PLANED & SANDED SURFACE
COLOUR: DARK WALNUT TRANSLUCENT STAIN ON FIR | 9 | EXTERIOR GLASS RAILING
FRAMING: ALUMINUM
COLOUR: CHARCOAL - TO MATCH <6> | 13 | PRESSED STEEL DOORS
PROFILE: SMOOTH
COLOUR: GALVALUME - TO MATCH <4>,<12> |
| 2 | TAUPE PTD. FIBER CEMENT VERTICAL SIDING
PROFILE: SMOOTH FINISH C/W H-CHANNEL JOINT
COLOUR: BENJAMIN MOORE "METROPOLIS" CC-546 | 6 | CHARCOAL HARDIE TRIM FASCIAS & BELLY BANDS
FINISH: SMOOTH
COLOUR: CHARCOAL | 10 | DARK GREY PREFINISHED METAL FLASHING & COLUMNS
FINISH: SEMI-GLOSS
COLOUR: CHARCOAL - TO MATCH <6> | 14 | PREFINISHED SPANDREL PANEL IN ALUMINUM ASSEMBLY
FINISH: SMOOTH
COLOUR: CHARCOAL - TO MATCH <6> |
| 3 | ORANGE PTD. FIBER CEMENT VERTICAL SIDING
PROFILE: SMOOTH FINISH C/W H-CHANNEL JOINT
COLOUR: BENJAMIN MOORE "NAVAJO RED" 2171-10 | 7 | EXTERIOR CLEAR CURTAIN WALL GLAZING
FRAMING: ALUMINUM
COLOUR: GALVALUME | 11 | LIGHT GREY PREFINISHED METAL FLASHING
FINISH: SEMI-GLOSS
COLOUR: GALVALUME - TO MATCH <4> | 15 | 2 PLY SBS ROOF MEMBRANE
FINISH: SMOOTH
COLOUR: BLACK |
| 4 | GALVANIZED CORRUGATED METAL PANEL SIDING
PROFILE: 7/8" SINE WAVE CORRUGATED
COLOUR: GALVANIZED STEEL | 8 | EXTERIOR CLEAR GLAZING
FRAMING: VINYL
COLOUR: WHITE | 12 | OVERHEAD DOORS
PROFILE: SMOOTH
COLOUR: GALVANIZED STEEL | | |

REPORT TO COUNCIL



Date: February 20, 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (KB)

Application: DVP18-0002

Owner: Watermark Developments Ltd.,
Inc. No. BCo642787

Address: 695 Academy Way

Applicant: Mission Group Homes Ltd.

Subject: Development Variance Permit Application

Existing OCP Designation: MRM – Multiple Unit Residential (Medium Density)

Existing Zone: RM4 – Transitional Low Density Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0002 for Lot 4 Section 3 Township 23 Osoyoos Division Yale District Plan EPP53793, located at 695 Academy Way, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.10.6(c): RM4 – Transitional Low Density Housing Development Regulations

To vary the required maximum height from 13.0 m or 3 storeys (permitted) to 13.0 m or 3 ½ storeys (proposed).

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To vary the maximum height from 3 storeys (permitted) to 3 ½ storeys (proposed) for a multi-family apartment building project.

3.0 Community Planning

Community Planning Staff are in support of the Development Variance Permit application. The Development Permit for form and character for "U Six" was approved by Council on December 11, 2017. Upon building permit submission and reviewing more detailed drawings, it was determined that the amount of exposed lower floor on the south (down slope) elevation was not able to be considered in conformance with the zone. It was determined that a height variance would be required.

The applicant explored ways to eliminate the need for the variance, but they do not feel the options maintain design integrity or financial viability. Consideration was given by the applicant to the following alternatives:

- Lowering the parkade further into the ground to eliminate the first half storey: however, this would cause the homes facing north to become sunken into the ground due to the site slope. In addition, redesigning the parkade to accommodate a stepped building would create a single-loaded parking layout.
- Stepping the top floor back to create a 2 ½ storey condition on the south elevation: this would result in a loss in units, added building complexity and substantial cost.
- Manipulating the grade in front of the building to reduce the exposed building face: this would result in a series of substantial retaining walls which would detract from the overall building and landscape design.

Staff would not be supportive of a variance to absolute height as it would increase the building profile on this prominent hillside property. However, staff note that the application is under the absolute maximum height permitted under Zoning Bylaw No. 8000 (13.0 m permitted, 13.0 m proposed), and the variance is for the number of storeys (3 storeys permitted, 3 ½ storeys proposed), which results from positioning the building on the sloped subject property.

The applicant has confirmed the completion of public notification in accordance with Council Policy No. 367.

4.0 Proposal

4.1 Background

The subject property is located within the University Village Neighbourhood, a comprehensive planned community under the University Village Master Plan (October 2009). Nearby buildings include 'U5B', 'U5A', 'U3B' and 'U3A'.

The Development Permit for form and character for 'U Six' was considered by Council on December 11, 2017. Upon building permit submission and reviewing more detailed drawings, it was determined that the amount of exposed lower floor on the south elevation was not able to be considered three storeys and that a variance would be required.

4.2 Project Description

The 'U Six' project is a 57 unit development. The three storey wood frame building is located on the north side of the subject property, perpendicular to Academy Way. The proposed driveway would be located directly off Academy Way. The access connects to a 47 stall surface parking lot and a 44 stall parkade under the 'U Six' building. The front entrance and entry to the parkade are located at grade. There are raised planters and landscaping along the front facade which helps to add visual interest to the building and help to soften the building mass.

Figure 1: The Façade of “U Six” as viewed from Academy Way. The north elevation is three storeys. The scope of the variance on the south elevation, where the front entrance and parkade entrance are located, is 3 ½ storeys.



4.3 Site Context

The 'U6' development project is located on the east side of Academy Way, in close proximity to the University of British Columbia Okanagan Campus. The property has a Future Land Use Designation of MRM – Multiple Unit Residential (Medium Density) in the Official Community Plan and it is located within the Permanent Growth Boundary.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RM ₄ – Transitional Low Density Housing	Multiple Dwelling Housing ('U5B')
East	A ₁ – Agriculture 1	Park & Potential S ₂ RES
South	RM ₄ – Transitional Low Density Housing	Vacant
West	RM ₃ – Low Density Multiple Housing	Vacant

Subject Property Map: 695 Academy Way



4.4 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM4 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Site Coverage (buildings)	50 %	28.6 %
Site Coverage (buildings, driveways and parking)	60 %	49.9 %
Floor Area Ratio	0.7467	0.6475
Height	13.0 m (3 storeys)	13.0 m (3 ½ storeys) ●
Front Yard (west)	4.5 m for first 2 storeys 6.0 m above 2 nd storey	6.0 m
Side Yard (north)	4.5 m	4.5 m
Side Yard (south)	4.5 m	23.8 m
Rear Yard (east)	9.0 m	27.0 m
Other Regulations		
Minimum Parking Requirements	91 stalls	91 stalls (44 stalls within parkade) (47 stalls at grade)
Bicycle Parking	29 Class I spaces 6 Class II spaces	43 Class I spaces 6 Class II spaces
Private Open Space	1,320 m ²	> 1,320 m ²
● Indicates a requested variance to vary the required maximum height from 13.0 m or 3 storeys (permitted) to 13.0 m or 3 ½ storeys (proposed)		

5.0 Technical Comments

Not applicable

6.0 Application Chronology

Date of Application Received: January 5, 2018

Date Public Consultation Completed: January 23, 2018

Report prepared by: Kimberly Brunet, Planner

Reviewed by: Terry Barton, Urban Planning Manager

Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development Variance Permit No. DVP18-0002

Applicant's Letter of Rationale

Attachment "A" - Building Elevations and Renderings

Development Variance Permit

DVP18-0002



This permit relates to land in the City of Kelowna municipally known as

695 Academy Way

and legally known as

Lot 4 Section 3 Township 23 Osoyoos Division Yale District Plan EPP53793

and permits the land to be used for the following development:

THREE AND A HALF STOREY MULTIPLE DWELLING HOUSING

with variances to the following sections of the Zoning Bylaw 8000:

Section 13.10.6(c): RM4 – Transitional Low Density Housing Development Regulations

To vary the required maximum height from 13.0 m or 3 storeys (permitted) to 13.0 m or 3 ½ storeys (proposed).

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: February 20, 2018

Decision By: City Council

Issued Date: February 20, 2018

Development Permit Area: N/A

This permit will not be valid if development has not commenced by February 20, 2020.

Existing Zone: RM4 – Transitional Low Density Housing

Future Land Use Designation: MRM – Multiple Unit Residential (Medium Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Watermark Developments Ltd., Inc. No. BCo642787

Applicant: Mission Group Homes Ltd.

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

None required.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

Ms. Kimberly Brunet
Planner, City of Kelowna
1435 Water Street
Kelowna BC, V1Y 1J4

January 4, 2017

RE: Development Variance Permit Application – U Six

Ms. Brunet

Further to our previous discussions, we enclose our Development Variance Permit application for the “U Six” condominium project at 695 Academy Way. The variance is being requested to the allowable building height in the RM4 zone in excess of 3 storeys permitted. While the Development Permit for this property was previously considered in December 2017, the requirement for a height variance was not identified at that time.

U Six has been designed in conformance with the University Heights Master Plan. The Area Structure Plan and subsequent rezoning and subdivision plans have dictated the lot layouts and topography for these development parcels. As such, a building form perpendicular to Academy Way is required, and is most sensitive to the hillside condition. The U Six building is designed as a 3 storey building above a structured parkade. However, as we are building on a sloping building site, the south side of the building facing the surface parking lot creates a 3 ½ storey condition. While the RM5 zone allows for an additional “half” storey, the RM4 zone does not. This makes RM4 a more difficult zone to design to in hillside areas.

Per your request, we have explored ways to eliminate the need for this variance, but none of these options maintain design integrity or financial viability. These considerations have included the following:

- Lowering the parkade further into the ground to eliminate the first half storey: this is not possible as it would cause the homes facing north to become sunken into the ground due to the site slope. In addition, redesigning the parkade to accommodate a stepped building would create a single-loading parking layout. This is far less efficient and is not financially viable.
- Stepping the top floor back to create a 2.5 storey condition on the south elevation: this would result in a significant loss in homes, adds building complexity and substantial cost.

- Manipulating the grade in front of the building to reduce the exposed building face: this would result in a series of substantial retaining walls. These walls would detract from the overall building and landscape design.

We believe the proposed building is in-keeping with University Heights master plan and will be a welcomed addition to this growing neighbourhood. Given the above rationale, we believe the proposed variance is a sensible solution. We looking forward to moving forward with this application in-tandem with our previously submitted Development Permit application.

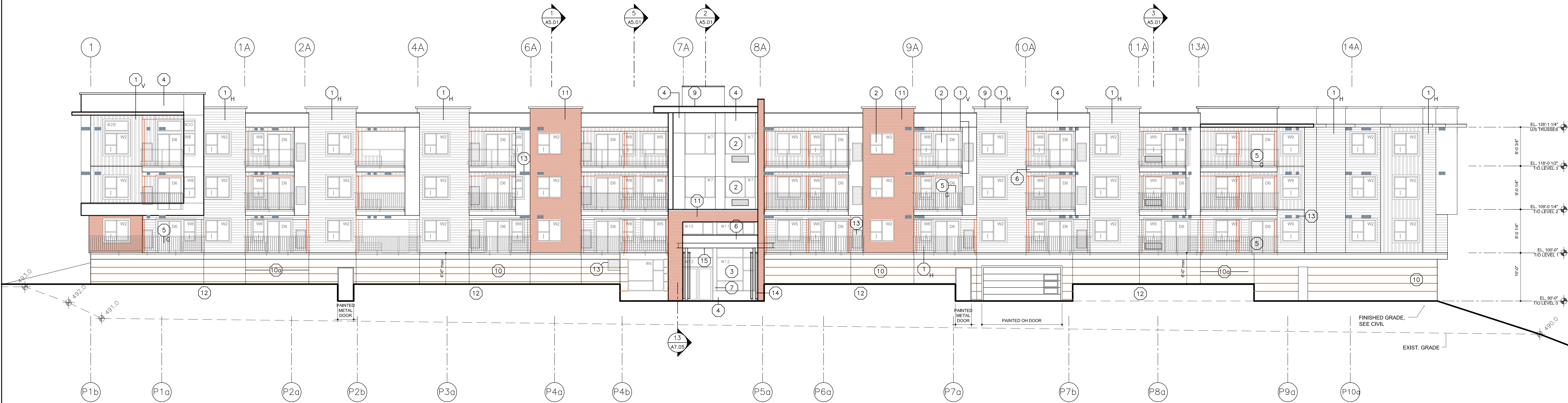
Should you require any further information, please contact us at your convenience.

Regards,

Mission Group

A handwritten signature in black ink, appearing to read 'Luke Turri', with a stylized flourish extending from the end.

Luke Turri
Vice President, Development



ATTACHMENT

B

This forms part of application

DVP18-0002

Planner

Initials

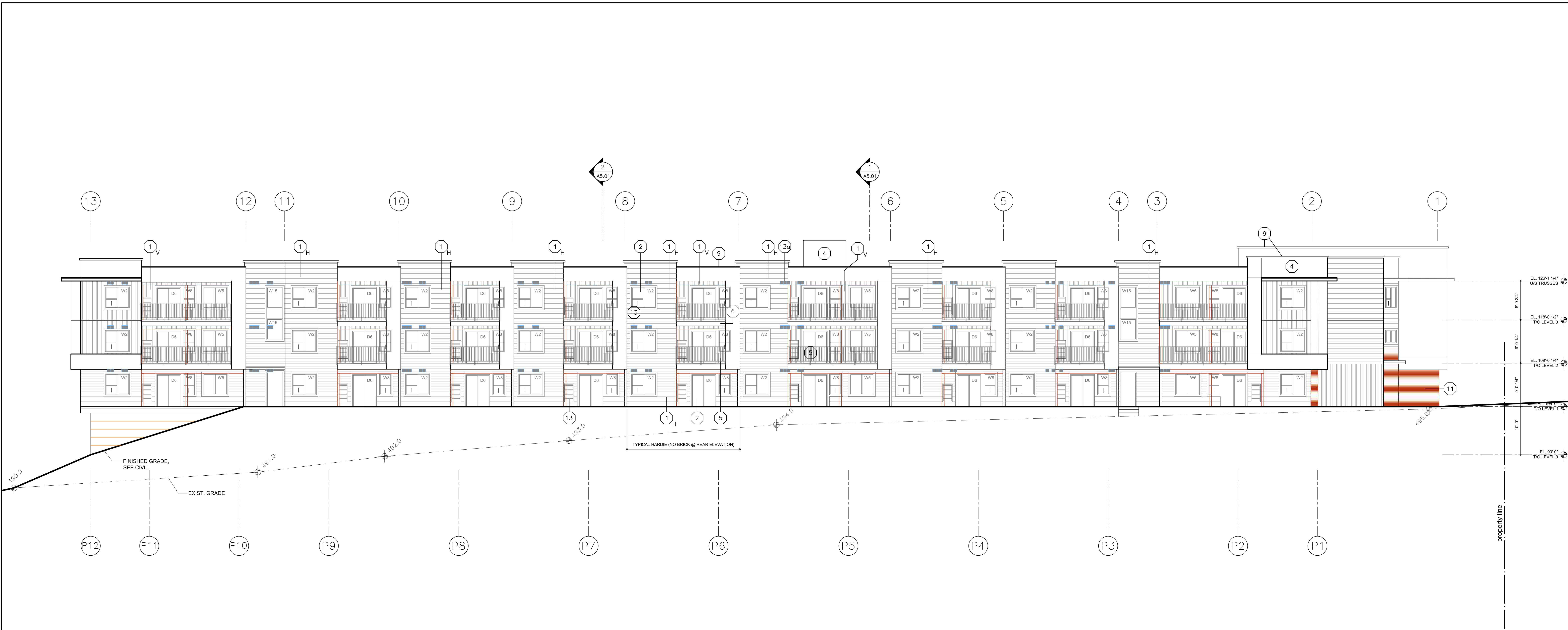
KB

City of

Kelowna

COMMUNITY PLANNING

ELEVATION KEY NOTES LEGEND ALL COLOURS TO BE CHOSEN BY ARCHITECT FROM APPROVED PRODUCT MANUFACTURER'S STANDARD LINE OF COLOURS.	9	PREFINISHED METAL FLASHING
	10	CONCRETE WITH PARGE FINISH C/W REVEALS & FEATURE PAINT FINISH
	10a	TYP. CAST REVEALS
	11	BRICK VENEER, STACK BOND
	12	CONCRETE PLANTER
	13	PREFIN. METAL LOUVRES/ VENTS (SEE MECH.)
	13a	MECH. VENTS BEHIND BALCONY WALLS (V.O.S. - SEE MECH.)
	14	GLULAM/WOOD COLUMN FINISH
	15	PAINTED STEEL BEAM
	1	HORIZONTAL FIBRE CEMENT SIDING
	1	VERTICAL FIBRE CEMENT SIDING
	2	VINYL WINDOW & DOOR WITH LOW-E CLEAR GLAZING
	3	ALUM STOREFRONT WINDOW & DOOR WITH LOW E CLEAR GLAZING
	4	HARDIE PANELS C/W BUTT JOINTS/REVEALS
	5	ALUM. GLASS RAILING (SOUTH ELEVATION/LEVEL 3 ONLY)
	5	ALUM. PICKETS RAILING
	6	HARDI TRIM / BALCONY / ROOF FASCIA
	7	ALUMINUM BRAKESHAPE TO MATCH WINDOW FRAMES
	8	PREFINISHED METAL OVERFLOW SCUPPER



ATTACHMENT

B

This forms part of application

DVP18-0002

Planner Initials

KB

City of Kelowna

COMMUNITY PLANNING

2017-10-25
issued for DP

No.	Date	Revision
01	2017-10-25	issued for U6 DP

No.	Date	Revision

Project Title
UNIVERSITY HEIGHTS
CONDO - 3 LEVELS
57 UNITS WITH PARKADE
695 ACADEMY WAY KELOWNA



Consultant Seal

201-75 FRONT STREET
VICTORIA, B.C.
V2A 1H2
TEL: 250.492.3143
EMAIL: pmi-mai@shaw.ca
233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6K2
TEL: 250.762.3004
EMAIL: kel-mai@shaw.ca

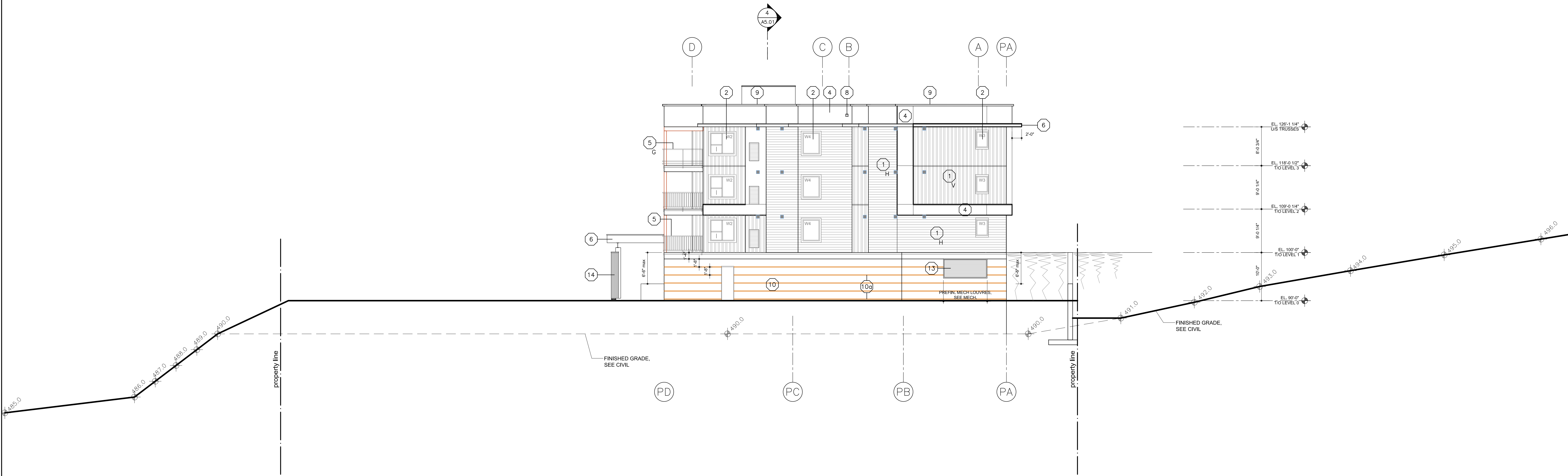


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Date	2017-10-25
Job No.	m+m 17-1780
Scale	AS SHOWN
Drawn	SN
Checked	JM

Drawing Title
North
Bldg Elev
1/8"=1'0"

Drawing Number
A4.02
DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

U6



ATTACHMENT **B**

This forms part of application
DVP18-0002

Planner
Initials **KB**



2017-10-25
issued for DP

No.	Date	Revision
01	2017-10-25	issued for US DP

No.	Date	Revision

Project Title
**UNIVERSITY HEIGHTS
CONDO - 3 LEVELS
57 UNITS WITH PARKADE**
695 ACADEMY WAY KELOWNA



Consultant Seal

201-75 FRONT STREET
PENTICTON, B.C.
V2A 1H2
TEL: 250.492.3143
EMAIL: pm-mai@shaw.ca
233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6K2
TEL: 250.762.3004
EMAIL: kel-mai@shaw.ca

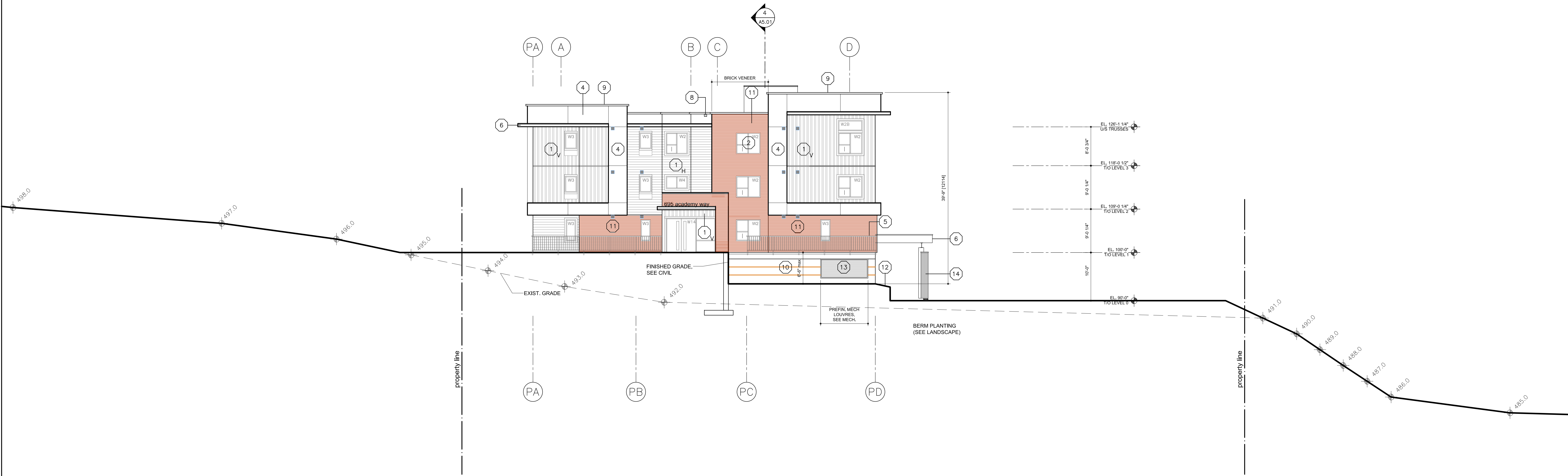


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Date	2017-10-25
Job No.	m+m 17-3780
Scale	AS SHOWN
Drawn	SN
Checked	JM

Drawing Title
**East
Bldg Elev**
1/8"=1'0"

Drawing Number
A4.03
DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

U6



ATTACHMENT

B

This forms part of application

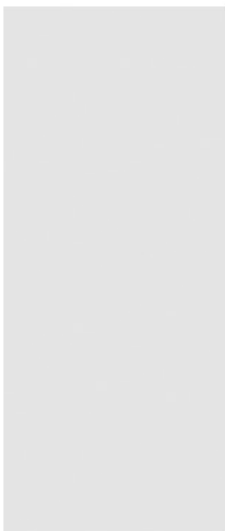
DVP18-0002

Planner Initials

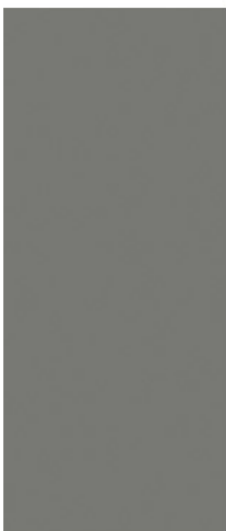
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City of Kelowna

COMMUNITY PLANNING



light grey stucco



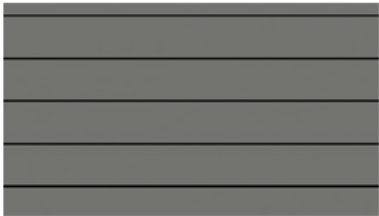
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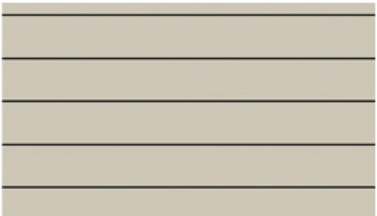
hardie-V aged pewter



hardie-V cobble stone



hardie-H aged pewter



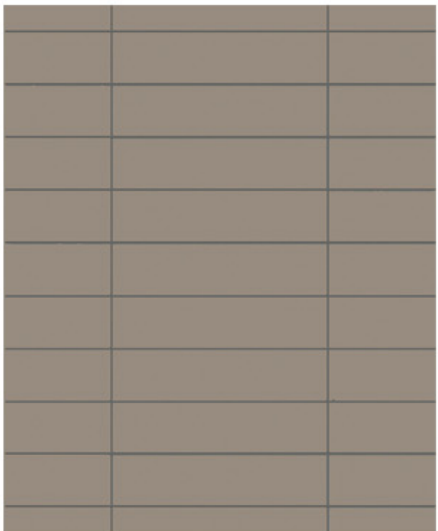
hardie-H cobble stone



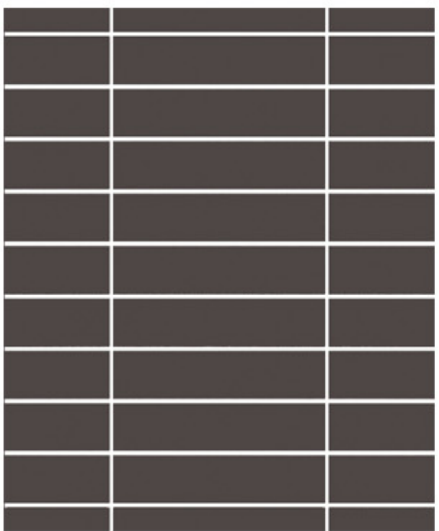
red accent



stain
wood+post



redondo gray - stack bond



ebony - stack bond









REPORT TO COUNCIL



Date: February 20, 2018

RIM No. 0940-00

To: City Manager

From: Community Planning Department (KB)

Application: DP18-0003 / DVP18-0004

Owner: Watermark Developments Ltd.,
Inc.No. BO0642787

Address: 655 Academy Way

Applicant: Meiklejohn Architects

Subject: Development Permit and Development Variance Permit Application

Existing OCP Designation: MRM – Multiple Unit Residential (Medium Density)

Existing Zone: RM4 – Transitional Low Density Housing

1.0 Recommendation

THAT Council authorizes the issuance of Development Permit No. DP18-0003 for Lot 5 Section 3 Township 23 Osoyoos Division Yale District Plan EPP53793, located at 655 Academy Way, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

AND THAT Council authorizes the issuance of Development Variance Permit No. DVP18-0004 for Lot 5 Section 3 Township 23 Osoyoos Division Yale District Plan EPP53793, located at 655 Academy Way, Kelowna, BC;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.10.6(c): RM4 – Transitional Low Density Housing Development Regulations

To vary the required maximum height from 13.0 m or 3 storeys (permitted) to 13.0 m or 3 ½ storeys (proposed).

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2.0 Purpose

To consider the form and character of a 3 ½ storey apartment building on Academy Way known as 'U Seven' and to consider a Development Variance Permit to vary the maximum height from 3 storeys (permitted) to 3 ½ storeys (proposed).

3.0 Community Planning

Staff are recommending support for the Development Permit and Development Variance Permit application due to the proposal's consistency with the Official Community Plan's (OCP) design guidelines and the vision of the University Village Master Plan. Staff would have preferred more architectural variability in the project as it closely resembles "U Six", however it still remains within acceptable range for form and character for apartment buildings.

3.1 Form and Character

The key design features are:

1. 'U Seven' emulates the desirable form and character of nearby buildings by designing a sense of architectural cohesiveness along Academy Way with the 'U' building design theme.
2. The orientation of the building respects the University Village Master Plan concept, with the long articulated building form following the site contours and the short building façade facing Academy Way. There is an entrance to the building along Academy Way, which, together with landscaping, helps to create a defined street edge and promote a pedestrian-friendly streetscape.
3. The University Village Master Plan states all multiple family residential and mixed-use buildings should contain understructure (beneath habitable or commercial space) parking¹. 'U Seven' meets this guideline by providing an enclosed parkade that accommodates 44 vehicles. The parking structure is screened from view by proposing a comprehensive landscape plan on the downslope side of the parkade. Further, the parkade entrance is located to avoid pedestrian-vehicle conflicts.

3.2 Variances

Staff would not be supportive of a variance to absolute height as it would increase the building profile on this prominent hillside. However, staff note that the application is under the absolute maximum height permitted under Zoning Bylaw No. 8000 (13.0 m permitted, 13.0 m proposed), and the variance is for the number of storeys (3 storeys permitted, 3 ½ storeys proposed), which results from positioning the building on the sloped subject property.

¹ Part 2 University Master Plan (October 2009) – Watermark

The applicant explored ways to eliminate the need for the variance, but they do not feel the options maintain design integrity or financial viability. Consideration was given by the applicant to the following alternatives:

- Lowering the parkade further into the ground to eliminate the first half storey: however this would cause the homes facing north to become sunken into the ground due to the site slope. In addition, redesigning the parkade to accommodate a stepped building would create a single-loaded parking layout.
- Stepping the top floor back to create a 2 ½ storey condition on the south elevation: this would result in a loss in units, adds building complexity and substantial cost.
- Manipulating the grade in front of the building to reduce the exposed building face: this would result in a series of substantial retaining walls which would detract from the overall building and landscape design.

3.3 Neighbourhood Notification

The applicant has confirmed the completion of public notification in accordance with Council Policy No. 367.

4.0 **Proposal**

4.1 Background

The subject property is located within the University Village Neighbourhood, a comprehensive planned community under the University Village Master Plan (October 2009). Nearby buildings include 'U6', 'U5B', 'U5A', 'U3B' and 'U3A'.

4.2 Project Description

The 'U Seven' project is a 57 unit development. The three storey wood frame building is located on the north side of the subject property, perpendicular to Academy Way. The proposed driveway will be located directly off Academy Way. The access connects to a 47 stall surface parking lot and a 44 stall parkade under the 'U Seven' building.

The overall site planning for 'U Seven' is consistent with the pedestrian circulation patterns established in the neighbourhood. The site has a public trail at the rear of the property and has a direct connection to the main pedestrian pathway along Academy Way. This trail connectivity provides connections to both University of British Columbia Okanagan (UBCO) Campus to the north and to future projects to the south.

An area of steep slopes on the eastern portion of the subject property is not suitable for development and will be protected through a no-disturbance agreement.

4.3 Character & Materials

The architectural form and character of the buildings is designed in a "campus modern" style and reflects similar architectural styles along the east side of Academy Way. The 'U Seven' building has a complementary form, image and colour to the previous approved 'U6', 'U5B', 'U5A' and additional buildings along Academy Way.

The brick and Hardie exterior is reflective of recent 'U6' and 'U5' buildings. As the building is built into the hill, the north side of the building has ground oriented units



Figure 1: 'U Seven' Rendering of the Main Entrance

at grade. The south side, where the variance is requested from 3 to 3 ½ storeys, has raised planters and landscaping along the front facade which helps to add visual interest to the building and help to soften the building mass.

Figure 2: The Façade of “U Seven” as viewed from Academy Way. The north elevation is three storeys. The scope of the variance on the south elevation, where the front entrance and parkade entrance are located, is 3 ½ storeys.



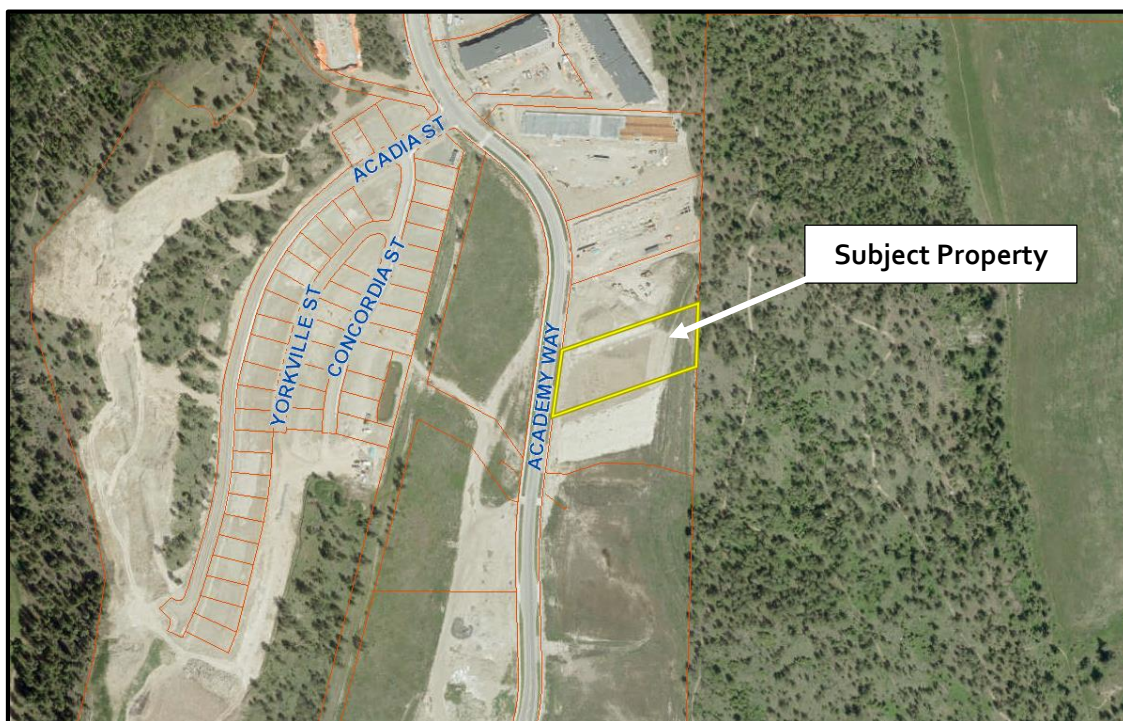
4.4 Site Context

The 'U Seven' development project is located on the east side of Academy Way, near the UBCO Campus. The property has a Future Land Use Designation of MRM – Multiple Unit Residential (Medium Density) in the Official Community Plan and it is located within the Permanent Growth Boundary.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RM ₄ – Transitional Low Density Housing	Multiple Dwelling Housing ('U6')
East	A ₁ – Agriculture 1	Park & Potential S ₂ RES
South	RM ₄ – Transitional Low Density Housing	Vacant
West	RM ₃ – Low Density Multiple Housing	Vacant

Subject Property Map: 655 Academy Way



4.5 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	RM4 ZONE REQUIREMENTS	PROPOSAL
Development Regulations		
Site Coverage (buildings)	50 %	27.1 %
Site Coverage (buildings, driveways and parking)	60 %	47.4 %
Floor Area Ratio	0.7467	0.6475
Height	13.0 m (3 storeys)	13.0 m (3 ½ storeys) ❶
Front Yard (west)	4.5 m for first 2 storeys 6.0 m above 2 nd storey	6.0 m
Side Yard (north)	4.5 m	4.5 m
Side Yard (south)	4.5 m	23.8 m
Rear Yard (east)	9.0 m	27.0 m
Other Regulations		
Minimum Parking Requirements	91 stalls	91 stalls (44 stalls within parkade) (47 stalls at grade)
Bicycle Parking	29 Class I spaces 6 Class II spaces	43 Class I spaces 6 Class II spaces
Private Open Space	1,320 m ²	> 1,320 m ²
❶ Indicates a requested variance to vary the required maximum height from 13.0 m or 3 storeys (permitted) to 13.0 m or 3 ½ storeys (proposed)		

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Chapter 5 - Development Process	
Policy #	Description
5.2.3	Compact Urban Form. Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.
5.2.5	Integrated Land Use. Integrate land use approaches wherever possible to improve opportunities for biodiversity, ecosystem connectivity, recreation, agriculture and local food production, while reducing conflicts.
5.5.1	For all areas of the City outside the Urban Centres. Buildings heights shall be a maximum of four storeys for residential and six storeys for apartment hotels and hotels. Additional height restrictions may be imposed as a result of airport-related zoning regulations.
5.10.1	Maximize Pedestrian / Cycling Connectivity. Require that pedestrian and cyclist movement and infrastructure be addressed in the review and approval of all City and private sector developments, including provision of sidewalks and trails and recognition of frequently used connections and informal pedestrian routes. With new developments, require dedication of on-site walking and cycling paths where necessary to provide links to adjacent parks, schools, transit stops, recreation facilities, employment nodes, cul-de-sacs and large activity areas.
5.11.4	Multi-Unit Residential Parking. Encourage developers / landlords to unbundle parking price from the multi-family housing or rental price.
5.22.1	<p>Cluster Housing. Require new residential development to be in the form of cluster housing on / or near environmentally sensitive areas and areas of steeper slopes to lessen site disturbance and environmental impact on those areas identified on the Future Land Use Map 4.1 as single-two unit residential hillside. Steeply sloped areas should be retained as natural open space, public or private. The intent of the clustering would be to preserve features identified through the Development Permit process that otherwise might be developed and to maximize open space in order to:</p> <ul style="list-style-type: none"> a) Protect environmentally sensitive areas of a development site and preserve them on a permanent basis utilizing the most appropriate tools available; b) Facilitate creative and flexible site design that is sensitive to the land's natural features and adaptive to the natural topography; c) Decrease or minimize non-point source (i.e. asphalt roofs, driveways and parking) pollution impacts by reducing the amount of impervious surfaces in site development; d) Promote overall cost savings on infrastructure installation and maintenance; and e) Provide opportunities for social interaction, walking and hiking in open space areas.

6.0 Technical Comments

6.1 Development Engineering Department

Does not compromise any municipal infrastructure

7.0 Application Chronology

Date of Application Received: December 12, 2017
Date Public Consultation Completed: January 23, 2018
Date of Circulation Comments Closed: January 30, 2018

Report prepared by: Kimberly Brunet, Planner
Reviewed by: Terry Barton, Urban Planning Manager
Approved for Inclusion: Ryan Smith, Community Planning Department Manager

Attachments:

Draft Development Permit and Development Variance Permit No. DP18-0003/DVP18-0004
Applicant's Rationale Statements
Attachment "A" – Site Plan
Attachment "B" – Building Elevations, Colour Board and Renderings
Attachment "C" – Landscaping Plan

Development Permit & Development Variance Permit DP18-0003 & DVP18-0004



This permit relates to land in the City of Kelowna municipally known as

655 Academy Way

and legally known as

Lot 5 Section 3 Township 23 Osoyoos Division Yale District Plan EPP53793

and permits the land to be used for the following development:

3 ½ Storey Multi Family Building

with variances to the following section of the Zoning Bylaw 8000:

Section 13.10.6(c): RM4 – Transitional Low Density Housing Development Regulations

To vary the required maximum height from 13.0 m or 3 storeys (permitted) to 13.0 m or 3 ½ storeys (proposed).

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: February 20, 2018

Decision By: City Council

Issued Date: February 20, 2018

Development Permit Area: Comprehensive Development Permit Area

This permit will not be valid if development has not commenced by February 20, 2020.

Existing Zone: RM4 – Transitional Low Density Housing

Future Land Use Designation: MRM - Multiple Unit Residential (Medium Density)

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Watermark Developments Ltd., Inc. No. BCo642787

Applicant: Meiklejohn Architects

Ryan Smith, Community Planning Department Manager
Community Planning & Strategic Investments

Date

SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C"; and
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

This Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) An Irrevocable Letter of Credit in the amount of \$193,221.25

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

**Re: Development Permit Submission
655 Academy Way, Kelowna
U Seven**

December 12, 2017

Mission Group Homes is pleased to submit to the City of Kelowna our Development Permit Application regarding 655 Academy Way – which we have named U Seven.

Mission Group Homes Ltd. is a multi-family home builder with operations in Kelowna and Vancouver. Mission Group strives to dream beyond the conventional, design with care, and build with a keen eye for detail, while providing exceptional customer service for homeowners.

Mission Group has been actively involved with developing in the U District – since our U One project in 2015. Continuing with the “U” brand that Mission Group has developed, our newest community called U Seven - will also be adjacent to UBCO and is located on Academy Way directly next to our U Six project – which is scheduled to start construction in March of 2018.

UBCO currently has a population of approximately 8,500 students and is experiencing a shortage of accommodation on Campus – with housing for only 1,700 students in a variety of dorm room types.

In response to this housing shortage the following projects have recently been completed or are currently under construction in this district:

- Academy Hill - a 78 unit – 2 phase project - completed in 2014
- U One – a 66unit condominium project completed by the Mission Group in 2015
- U Two West – a 56unit condominium project completed by Mission Group in August 2016
- VEDA – a 400 unit microsuite rental project completed in August of 2016
- U Two East – a 56unit condominium by Mission Group currently under construction and scheduled to be completed in December 2016.
- Ivy Walk – a 63unit rental project by Mission Group completed in August 2017
- U Three – an 87unit condominium project by Mission Group completed in August 2017
- Veda 2 – a similar building to Veda – to be completed in August 2018.
- U Five - a 72 unit condominium project by Mission Group- to be completed in August 2018
- Ivy Hall – a 108 unit rental project by Mission Group- to be completed in August 2018.
- U Six – a 57 unit condominium starting in March and scheduled for completion in August 2019.

For this development, Mission Group Homes has retained Micklejohn Architects of Kelowna to design this exciting new project. As they have designed all of our building to date in this area - they are extremely familiar with site and development issues within the University Heights Master Plan area.

Design Rationale

U Seven, will be third project located on the south facing slope – directly south of the U Five site. This site has been cleared and serviced and is ready for construction.

The U Six project will consist of a three storey building over an enclosed parkade. The building will contain 57 units of student housing and will be a sister building to U Six.

In an effort to provide consistent circulation patterns in this neighborhood – the site has a regional trail connection at the back of the site and is also linked to the sidewalk trails along Academy Way.

As the site is essentially the same size as the U Six site, the building and site layout will be consistent with both projects. The end elevation that faces Academy Way will be different as we will use different brick, different siding and a different landscape look.

This building will continue in the three storey form as we step down the hill.

In regards to site design, the building has been located to;

- fit within the natural contours of the site
- maximize views
- preserve existing steep slope areas
- connect to existing and proposed trail systems
- be developed with minimal use of retaining walls.

The steep slope area on the eastern portion of the site results in a small area of the site area being not suitable for development and will be protected through a non disturbance agreement with the City.

In regards to parking – U6 will have an enclosed parkade under the building that will accommodate 44 cars – including an electric vehicle charging station. There will be an additional 39 surface parking spaces and the required 8 visitor spaces. In total, this parking number complies with the parking requirements established by the City, for this site.

A Wildfire Report was previously submitted for the area and contains recommendations in regards to tree removal and future landscaping and building materials.

Trail systems and pathways will connect the building site to the main pedestrian pathway along Academy Way to the west. Steeply sloping access to the east – will prevent access to the regional trail – however – this can happen at the next site down the hill.

These trail connections will provide appropriate site circulation for pedestrians through a system of trails and pathways that will provide easy connections to both UBCO to the north and to future projects to the south.

The main vehicle access to the site will be towards the south end of the site which will allow for an easy transition from street level to the building site. This entry location will allow for a "gateway" design element to be created and present a welcoming vista into the site. The parkade door is located towards the east side of the site – which allows for a continuous pedestrian link to the sidewalk – without any vehicle conflict. Exterior parking has been minimized by having parking in front of the building as well as parallel parking along the access road.

The orientation of the building respects the University Village Master Plan concept, with the long articulated building form following the site contours and the shorter building façade facing Academy Way.

Design Rationale

Form, Massing and Building Character

In regards to architectural form and character, It is envisioned that this project will be designed in a "campus modern" style, in a three storey building form that will reflect the character of recently constructed buildings at UBCO and on Academy Way and be a sister building to the U Six building.

The brick and Hardie exterior will be reflective of U6 – however colours and textures and patterns will change. As mentioned previously, particular attention has been paid to providing some rhythm and interest along the long elevation. An architectural framework around balconies will break up this elevation nicely and provide visual interest along this façade.

The entry has been emphasized with a two storey glass feature with brick framework.

As in other buildings in this area – the building is built into the hill – so that the back side of the building is three storeys and the side with the exposed parkade face will appear to be three and a half storeys – with a band of landscaping and a detailed parkade façade to effectively deal with this transition.

This design will create;

- a welcoming building vista from Academy Way with appropriate landscape features and wall.
- a "gateway" element with signage will connect both pedestrians and vehicles to the site and towards the main entry that has been designed into the building

- An articulated building façade will provide visual interest to those approaching the site and building.
- roof overhangs and fascia details will articulate the roofline on the longer building elevations and create breaks in the horizontality of the building.
- the street presence of the building has been emphasized with a building design that has been "grounded" to the site as well as designed landscaped areas including a pedestrian friendly environment from the street to the building entry that provides for a visually interesting walkway that is safe and easy for all to access.
- A modern design element at the entry has been designed with interest to visually bring people to the entry area of the building. This bold architectural element brings balance and a human scale to this area of the building.
- Surrounding landscape has been designed to incorporate visually interesting shade trees and shrubs.

In conclusion we believe that the building design for this project will be sensitive to and compliment adjacent developments, respect its immediate landscape area and be sensitive to existing site conditions.

The Mission Group continues to be a proud part of the exciting Campus District developing around the UBCO campus.

Ms. Kimberly Brunet
Planner, City of Kelowna
1435 Water Street
Kelowna BC, V1Y 1J4

December 19, 2017

RE: Development Variance Permit Application – U Seven

Ms. Brunet

Further to our previous discussions, we enclose our Development Variance Permit application for the “U Seven” condominium project at 655 Academy Way. The variance is being requested to the allowable building height in the RM4 zone in excess of 3 storeys permitted.

U Seven has been designed in conformance with the University Heights Master Plan. The Area Structure Plan and subsequent rezoning and subdivision plans have dictated the lot layouts and topography for these development parcels. As such, a building form perpendicular to Academy Way is required, and is most sensitive to the hillside condition. The U Seven building is designed as a 3 storey building above a structured parkade. However, as we are building on a sloping building site, the south side of the building facing the surface parking lot creates a 3 ½ storey condition. While the RM5 zone allows for an additional “half” storey, the RM4 zone does not. This makes RM4 a more difficult zone to design to in hillside areas.

Per your request, we have explored ways to eliminate the need for this variance, but none of these options maintain design integrity or financial viability. These considerations have included the following:

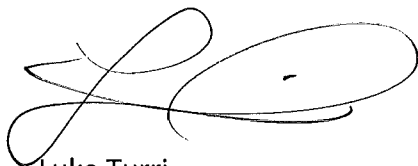
- Lowering the parkade further into the ground to eliminate the first half storey: this is not possible as it would cause the homes facing north to become sunken into the ground due to the site slope. In addition, redesigning the parkade to accommodate a stepped building would create a single-loading parking layout. This is far less efficient and is not financially viable.
- Stepping the top floor back to create a 2.5 storey condition on the south elevation: this would result in a significant loss in homes, adds building complexity and substantial cost.
- Manipulating the grade in front of the building to reduce the exposed building face: this would result in a series of substantial retaining walls. These walls would detract from the overall building and landscape design.

We believe the proposed building is in-keeping with University Heights master plan and will be a welcomed addition to this growing neighbourhood. Given the above rationale, we believe the proposed variance is a sensible solution. We looking forward to moving forward with this application in-tandem with our previously submitted Development Permit application.

Should you require any further information, please contact us at your convenience.

Regards,

Mission Group

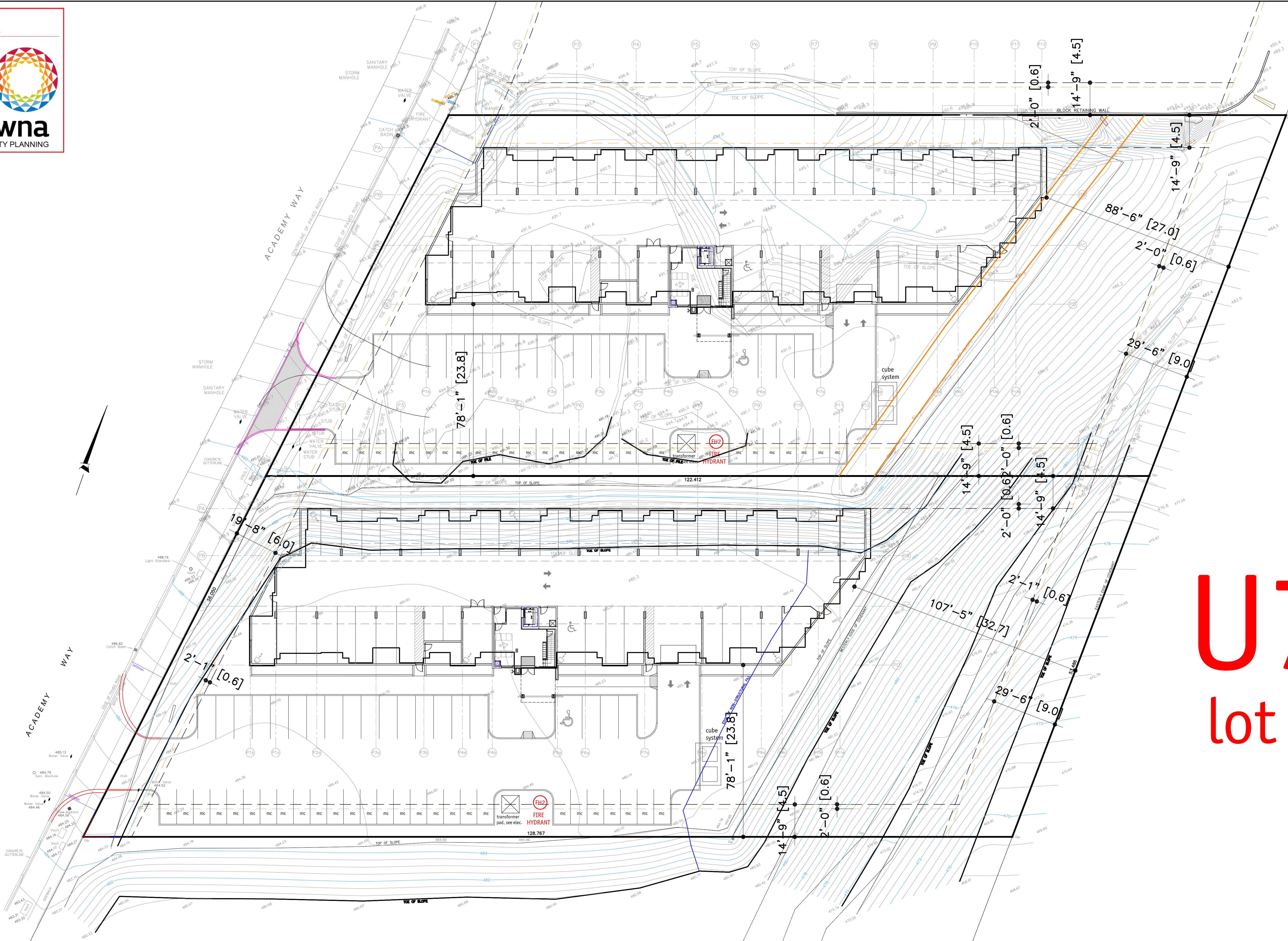
A handwritten signature in black ink, appearing to read 'Luke Turri', with a stylized, looping flourish.

Luke Turri
Vice President, Development

ATTACHMENT A

This forms part of application
DP18-0003/DVP18-0004

Planner
Initials KB



U6
lot 4

U7
lot 5

2017-12-12
U7 DP

No.	Date	Revision
01	2017-12-12	issued for U7 DP

No.	Date	Revision



Project Title
UNIVERSITY HEIGHTS
CONDO - 3 LEVELS
57 UNITS WITH PARKADE
655 ACADEMY WAY KELOWNA



Consultant Seal

201-75 FRONT STREET
KELOWNA, B.C.
V2A 1H2
TEL: 250.492.3143
EMAIL: info@meiklejohn.ca
233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6K2
TEL: 250.762.3004
EMAIL: kel-mai@shaw.ca

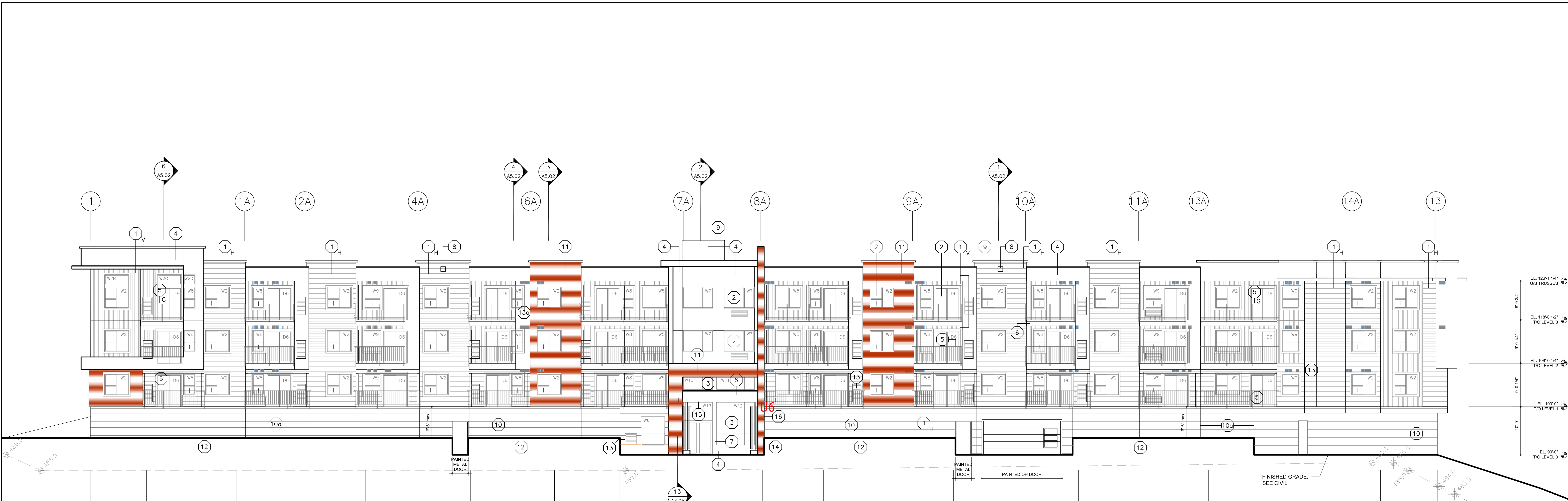


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Date	2017-12-08
Job No.	m+m 17-1789
Scale	AS SHOWN
Drawn	SN
Checked	JM

Drawing Title
SITE PLAN
PARKADE LEVEL
1"=20'

Drawing Number
A2.01
DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

U7



ELEVATION KEY NOTES LEGEND	
ALL COLOURS TO BE CHOSEN BY ARCHITECT FROM APPROVED PRODUCT MANUF.'S STANDARD LINE OF COLOURS.	
1 H	HORIZONTAL FIBRE CEMENT SIDING
1 V	VERTICAL FIBRE CEMENT SIDING
2	VINYL WINDOW & DOOR WITH LOW-E CLEAR GLAZING
3	ALUM STOREFRONT WINDOW & DOOR WITH LOW E CLEAR GLAZING
4	HARDIE PANELS CW BUTT JOINTS/REVEALS
5 G	ALUM. GLASS RAILING (SOUTH ELEVATION/LEVEL 3 ONLY)
5	ALUM. PICKETS RAILING
6	HARDI TRIM / BALCONY / ROOF FASCIA
7	ALUMINUM BRAKESHAPE TO MATCH WINDOW FRAMES
8	PREFINISHED METAL OVERFLOW SCUPPER
9	PREFINISHED SHEET STEEL FLASHING
10	CONCRETE WITH PARGE FINISH CW REVEALS & FEATURE PAINT FINISH
10a	TYP. CAST REVEALS
11	BRICK VENEER, STACK BOND
12	MASONRY PLANTER (SEE LANDSCAPE)
13	PREFIN. METAL LOUVRES/ VENTS (SEE MECH.)
13a	MECH. VENTS BEHIND BALCONY WALLS (V.O.S. - SEE MECH.)
14	GLULAM WOOD COLUMN FINISH
15	PAINTED STEEL BEAM
16	METAL CHANNEL SIGNAGE (CONFIRM WITH OWNER)

ATTACHMENT

B

This forms part of application

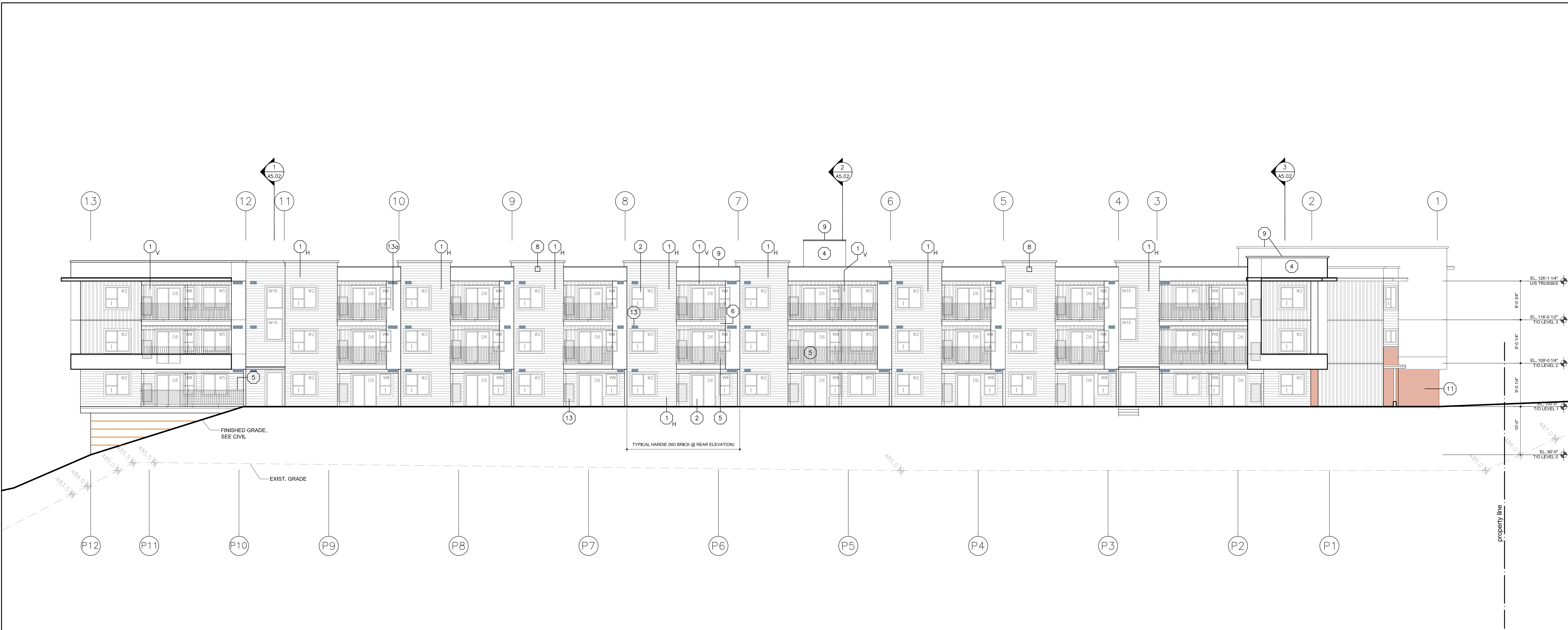
DP18-0003/DVP18-0004

Planner Initials

KB

City of Kelowna

COMMUNITY PLANNING



ATTACHMENT

B

This forms part of application


DP18-0003/DVP18-0004

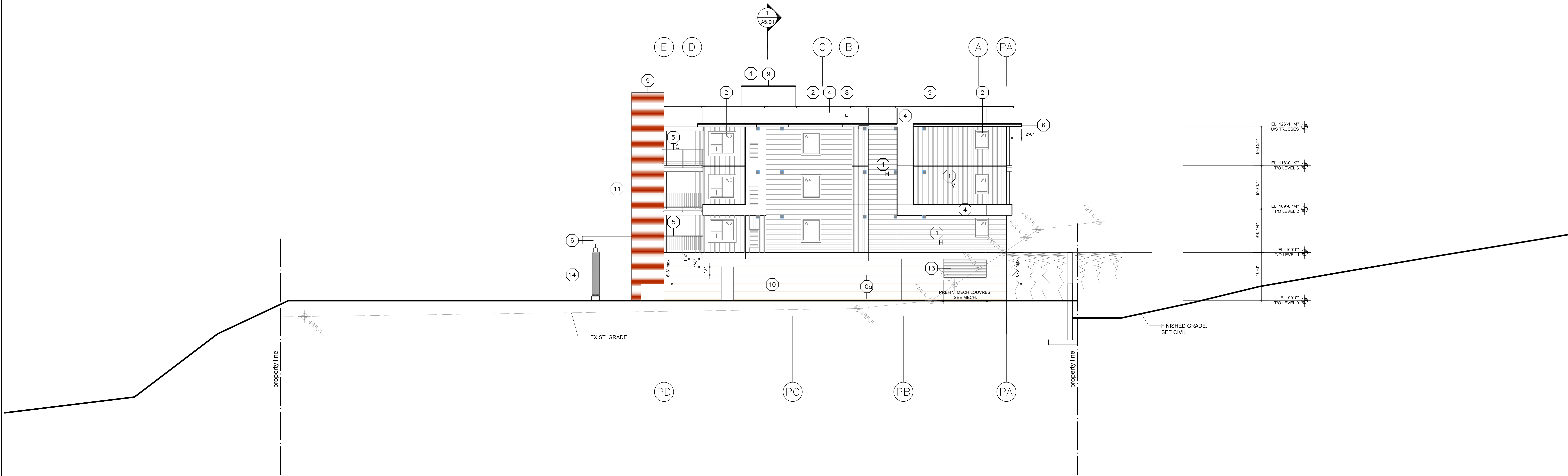
Planner Initials

KB

City of Kelowna

COMMUNITY PLANNING

2017-12-12 U7 DP			<table><tr><th>No.</th><th>Date</th><th>Revision</th></tr><tr><td>01</td><td>2017-12-12</td><td>issued for U7 DP</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	No.	Date	Revision	01	2017-12-12	issued for U7 DP																									<table><tr><th>No.</th><th>Date</th><th>Revision</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	No.	Date	Revision																												Project Title UNIVERSITY HEIGHTS CONDO - 3 LEVELS 57 UNITS WITH PARKADE 655 ACADEMY WAY KELOWNA	<div><div>MISSION GROUP homes</div></div>	Consultant Seal	<div>201-75 FRONT STREET PENTITON, B.C. V2A 1H2 TEL: 250.492.3143 EMAIL: pen-mai@shaw.ca</div> <div>233 BERNARD AVENUE KELOWNA, B.C. V1Y 6K2 TEL: 250.762.3004 EMAIL: kel-mai@shaw.ca</div>	<div>m+m a</div> <div>MEIKLEJOHN ARCHITECTS INC.</div>	<div>Copyright reserved. This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architects' consent.</div> <table><tr><td>Date</td><td>2017-12-08</td></tr><tr><td>Job No.</td><td>m+m 17-1789</td></tr><tr><td>Scale</td><td>AS SHOWN</td></tr><tr><td>Drawn</td><td>SN</td></tr><tr><td>Checked</td><td>JM</td></tr></table>	Date	2017-12-08	Job No.	m+m 17-1789	Scale	AS SHOWN	Drawn	SN	Checked	JM	Drawing Title North Bldg Elev 1/8"=1'0"	Drawing Number A4.02	U7
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ATTACHMENT

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DP18-0003/DVP18-0004

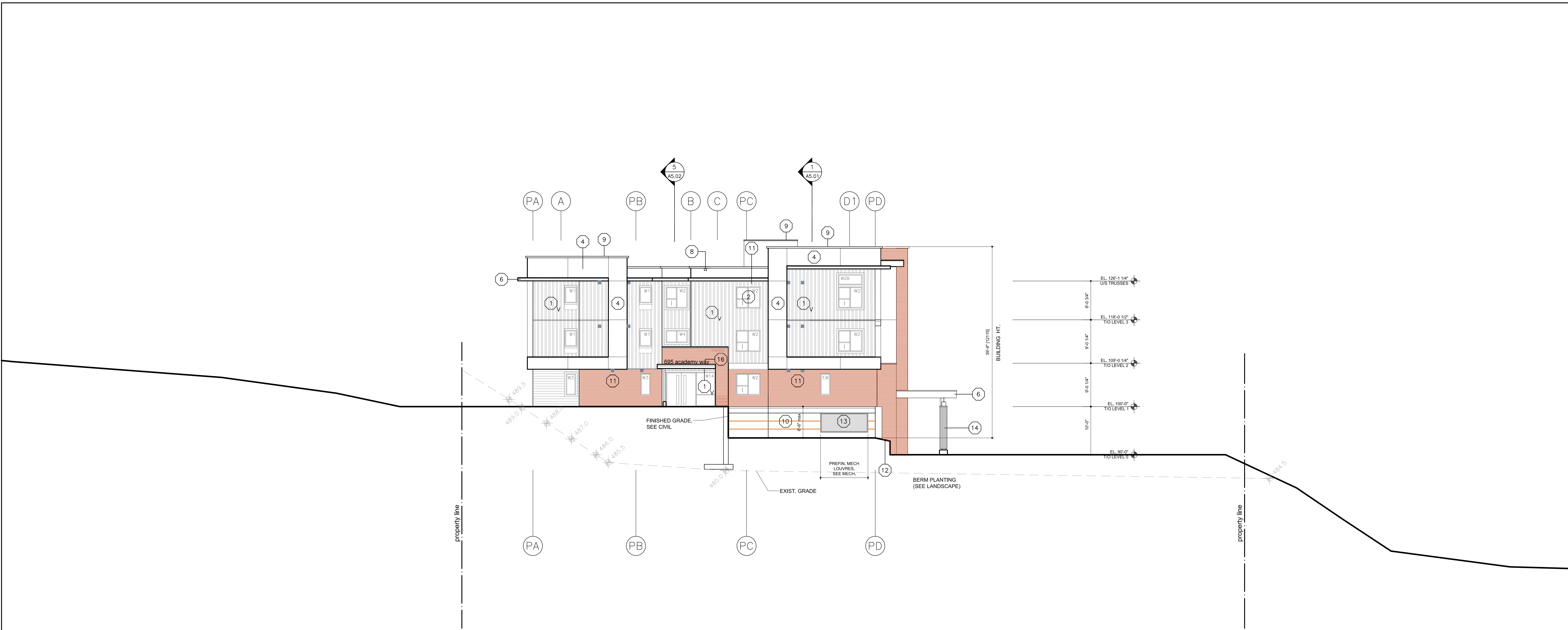
Planner Initials

KB

City of Kelowna

COMMUNITY PLANNING

2017-12-12 U7 DP	No.	Date	Revision	No.	Date	Revision	Project Title UNIVERSITY HEIGHTS CONDO - 3 LEVELS 57 UNITS WITH PARKADE 655 ACADEMY WAY KELOWNA	 MISSION GROUP homes	Consultant Seal	201-75 FRONT STREET PENTICTON, B.C. V2A 1H2 TEL: 250.492.3143 EMAIL: pm-mai@shaw.ca 233 BERNARD AVENUE KELOWNA, B.C. V1Y 6K2 TEL: 250.762.3004 EMAIL: kel-mai@shaw.ca	 MEIKLEJOHN ARCHITECTS INC.	Copyright reserved. This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architects' consent.	Drawing Title East Bldg Elev 1/8"=1'0"	Drawing Number A4.03 DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS SHALL BE VERIFIED ON JOB	U7	
	01	2017-12-12	issued for U7 DP									Date				2017-12-08
												Job No.				m+m 17-1789
												Scale				AS SHOWN
												Drawn				SN
												Checked				JM



ATTACHMENT

B

This forms part of application

DP18-0003/DVP18-0004

Planner Initials

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City of Kelowna

COMMUNITY PLANNING

2017-12-12 U7 DP	No.	Date	Revision	No.	Date	Revision	Project Title UNIVERSITY HEIGHTS CONDO - 3 LEVELS 57 UNITS WITH PARKADE 655 ACADEMY WAY KELOWNA	 MISSION GROUP homes	Consultant Seal	201-75 FRONT STREET PENTITON, B.C. V2A 1H2 TEL: 250.492.3143 EMAIL: pen-mai@shaw.ca 233 BERNARD AVENUE KELOWNA, B.C. V1Y 6A2 TEL: 250.762.3004 EMAIL: kel-mai@shaw.ca	 MEIKLEJOHN ARCHITECTS INC.	Copyright reserved. This plan and design is and at all times remains the exclusive property of Meiklejohn Architects Inc. and may not be used without the Architects' consent.	Drawing Title	Drawing Number	U7		
	01	2017-12-12	issued for U7 DP													West Bldg Elev	A4.04
																1/8"=1'0"	DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS SHALL BE VERIFIED ON JOB



hardie navajo beige



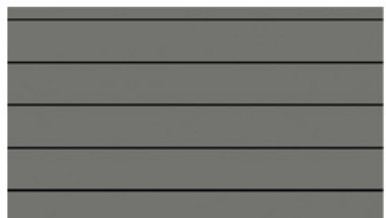
hardie panel rich espresso



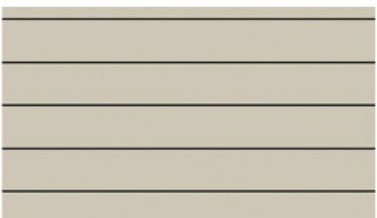
hardie-V aged pewter



hardie-V cobble stone



hardie-H aged pewter



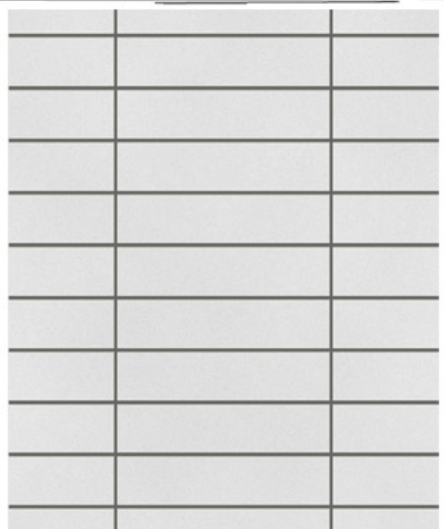
hardie-H cobble stone



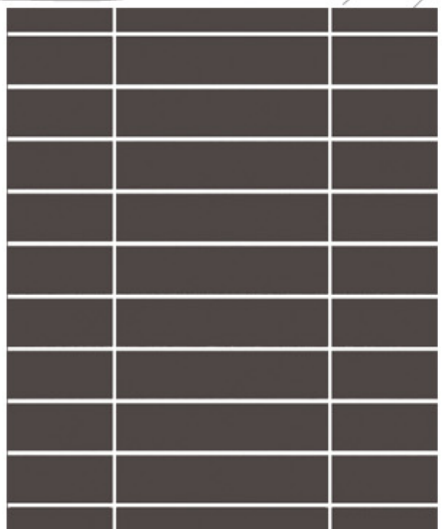
red accent



stain wood+post



white - stack bond



ebony - stack bond







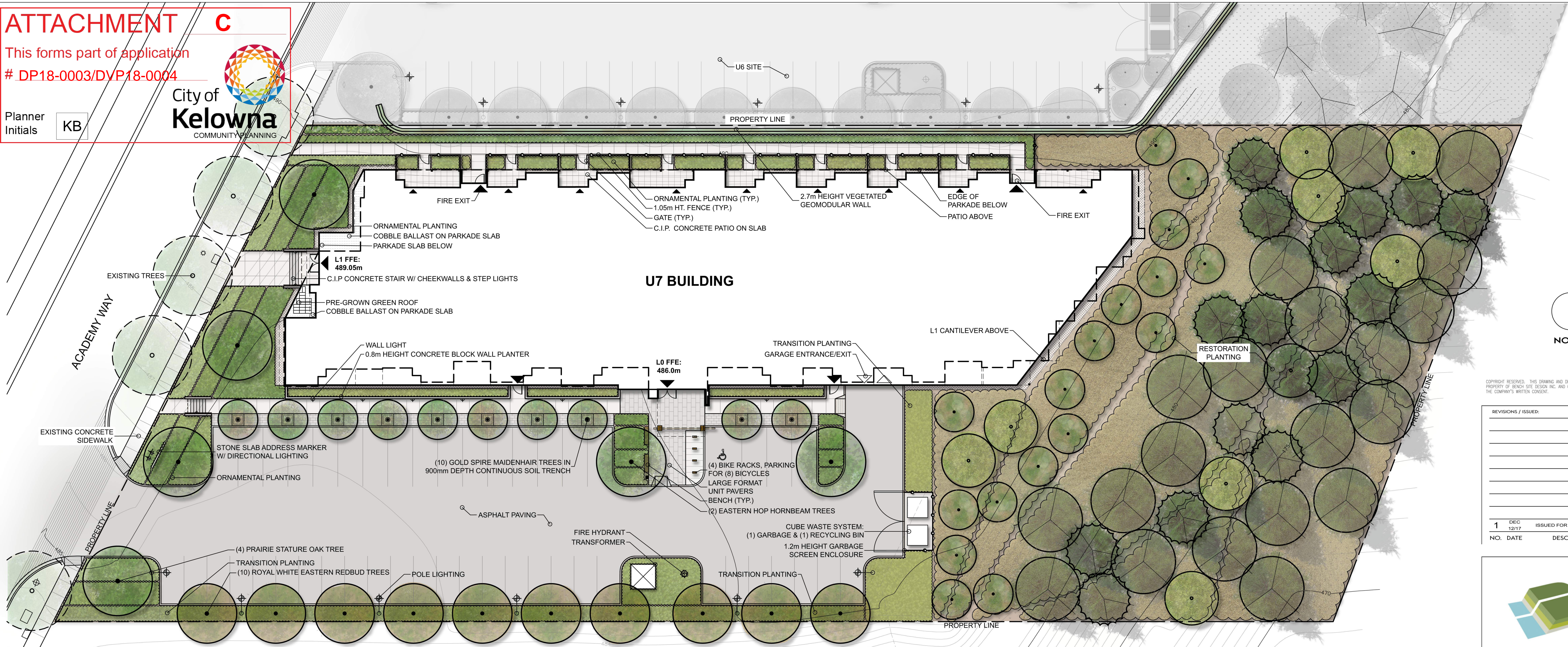
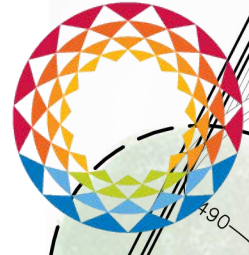
ATTACHMENT C

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DP18-0003/DVP18-0004

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Kelowna
COMMUNITY PLANNING



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REVISIONS / ISSUED:		
1	DEC 12/17	ISSUED FOR DP APPLICATION
NO.	DATE	DESCRIPTION



[4-1562 water street kelowna bc v1v1 U7]
[1 250 800 6778]

CLIENT:

MISSION GROUP
KELOWNA, B.C.

PROJECT:

U7 CONDOMINIUMS
KELOWNA, B.C.

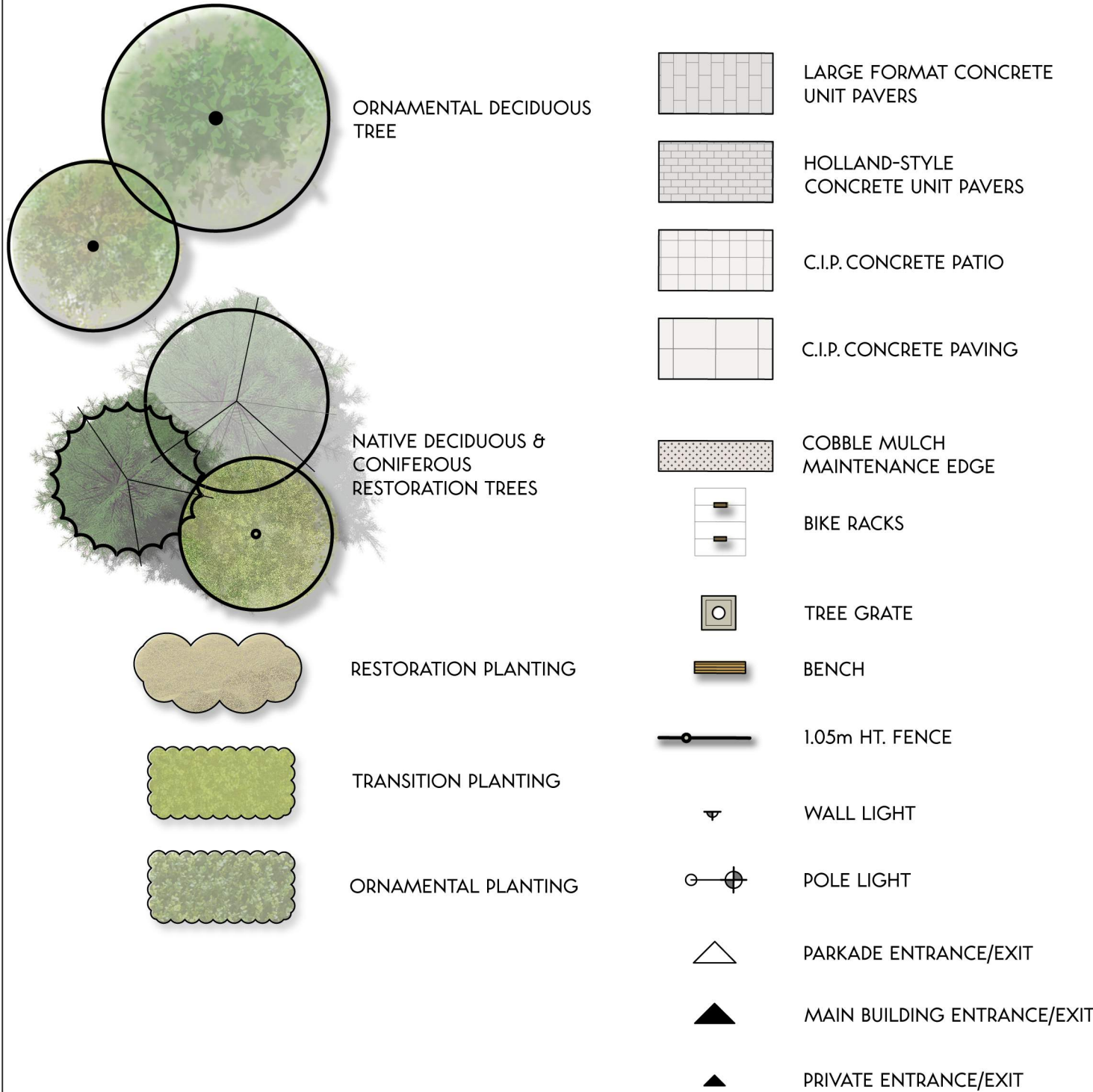
SHEET TITLE
**LANDSCAPE
PLAN**

DESIGN BY	XS
DRAWN BY	LS
CHECKED BY	XS
PROJECT NO.	17-039
SCALE	1:200

SHEET NO.

L-1

LEGEND:



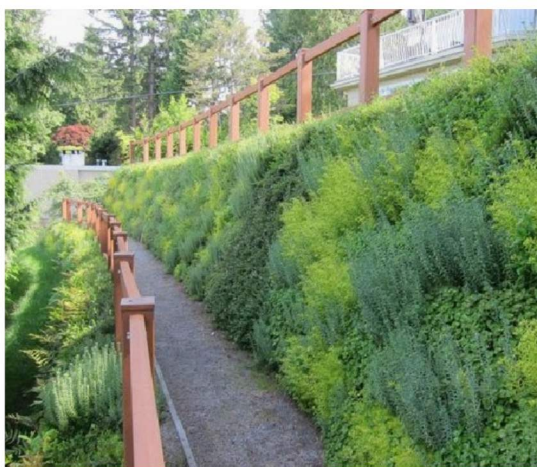
DEVELOPMENT PERMIT NOTES:

- PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE B.C. LANDSCAPE STANDARDS, PUBLISHED BY B.C.L.N.A. AND B.C.S.L.A. AS WELL AS THE CITY OF KELOWNA LANDSCAPE STANDARDS IN BYLAW 7900.
- THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM CITY OF KELOWNA FORM AND CHARACTER REQUIREMENTS
- PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY AT THE TIME OF CONSTRUCTION.
- TREES SHALL BE INSTALLED IN DEFINED SOIL PITS OR PLANTING BED AREAS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION.
- ORNAMENTAL SHRUB, GRASS AND PERENNIAL CLUSTERS ARE TO BE PLACED WITHIN DEFINED PLANTING BEDS. ALL PLANTING BEDS SHALL HAVE A MIN. OF 450mm (18") IMPORTED GROWING MEDIUM AND 75mm (3") OF COMPOSTED MULCH OR APPROVED EQUAL.
- NATIVE SHRUBS, GRASSES AND PERENNIALS ARE TO BE POCKET PLANTED AND INSTALLED DURING THE SPRING OR FALL WEATHER WINDOWS (SPRING: MARCH TO MAY, FALL: OCTOBER TO NOVEMBER) TO ALLOW FOR ESTABLISHMENT AND LIMIT THE REQUIREMENT OF CONTINUOUS IRRIGATION. ALL POCKETS SHALL BE DUG TO TWICE THE ROOTBALL SIZE TO ALLOW FOR ADDITIONAL GROWING MEDIUM. EACH NATIVE TREE SHALL RECEIVE 6 CUBIC METRES OF SOIL.
- HYDRAULIC SEEDING SHALL BE GRADE 'A' PREMIUM SEED. SEED SHALL BE INSTALLED DURING THE SPRING OR FALL WEATHER WINDOWS (SPRING: MARCH TO MAY, FALL: OCTOBER TO NOVEMBER) TO ALLOW FOR ESTABLISHMENT AND LIMIT THE REQUIREMENT FOR CONTINUOUS IRRIGATION.
- A HIGH EFFICIENCY IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL ORNAMENTAL LANDSCAPE AREAS AND SHALL CONFORM TO THE CITY OF KELOWNA'S IRRIGATION STANDARDS IN BYLAW 7900.
- A TEMPORARY IRRIGATION SYSTEM WILL BE REQUIRED IF NATIVE PLANTING AND/OR HYDRAULIC SEEDING INSTALLATION IS NOT COMPLETED WITHIN THE SPECIFIED WEATHER WINDOWS. THE SYSTEM SHALL CONFORM TO THE CITY OF KELOWNA'S IRRIGATION STANDARDS IN BYLAW 7900.

PRECEDENT IMAGES:



RESTORATION PLANTING



VEGETATED GEOMODULAR WALL



LANDSCAPEFORMS NEOLOIVIANO BENCH



CONTINUOUS SOIL TRENCH

RESTORATION PLANT LIST:

TREES			
Botanical Name	Common Name	Size/Spacing	Root
<i>Pinus ponderosa</i>	Ponderosa pine	1.2m Ht.	B&B
<i>Populus tremuloides</i>	Trembling aspen	4cm Cal.	B&B
<i>Pseudotsuga menziesii</i> var. <i>glauca</i>	Interior Douglas fir	1.2m Ht.	B&B
SHRUBS			
Botanical Name	Common Name	Size/Spacing	Root
<i>Amelanchier alnifolia</i>	Serviceberry	#01 Cont./2.5m O.C.	Plugs
<i>Artemisia tridentata</i>	Big sagebrush	#01 Cont./2.5m O.C.	Plugs
<i>Philadelphus lewisii</i>	Mock orange	#02 Cont./1.5m O.C.	Plugs
<i>Symphoricarpos albus</i>	Snowberry	#01 Cont./2.5m O.C.	Plugs
PERENNIALS			
Botanical Name	Common Name	Size/Spacing	Root
<i>Achillea millefolium</i>	Yarrow	#01 Cont./2.5m O.C.	Plugs
<i>Balsamorhiza sagittata</i>	Arrowleaf balsamroot	#01 Cont./2.5m O.C.	Plugs
<i>Eriogonum niveum</i>	Snow buckwheat	#01 Cont./2.5m O.C.	Plugs
<i>Lithospermum ruderale</i>	Lemonweed	#01 Cont./2.5m O.C.	Plugs
<i>Plantago patagonica</i>	Indian-wheat	#01 Cont./2.5m O.C.	Plugs
GRASSES			
Botanical Name	Common Name	Size/Spacing	Root
<i>Aristida longiseta</i>	Red three-awn	#01 Cont./1.0m O.C.	Plugs
<i>Balsamorhiza sagittata</i>	Arrowleaf balsamroot	#01 Cont./1.0m O.C.	Plugs
<i>Festuca idahoensis</i>	Idaho fescue	#01 Cont./1.0m O.C.	Plugs
<i>Festuca scabrella</i>	Rough fescue	#01 Cont./1.0m O.C.	Plugs
<i>Koeleria macrantha</i>	Junegrass	#01 Cont./1.0m O.C.	Plugs
<i>Poa secunda</i>	Sandberg's bluegrass	#01 Cont./1.0m O.C.	Plugs
<i>Pseudoegneria spicata</i>	Bluebunch wheatgrass	#01 Cont./1.0m O.C.	Plugs

ORNAMENTAL PLANT LIST:

TREES			
Botanical Name	Common Name	Size	Root
<i>Cercis canadensis</i> 'Royal White'	Royal White eastern redbud	2.5m Ht.	B&B
<i>Ginkgo biloba</i> 'Blagay'	Gold spire maidenhair	6cm Cal.	B&B
<i>Ostrya virginiana</i>	Eastern hop hornbeam	6cm Cal.	B&B
<i>Quercus x bimundorum</i> 'Midwest'	Prairie Star oak	6cm Cal.	B&B
SHRUBS			
Botanical Name	Common Name	Size/Spacing	Root
<i>Aronia melanocarpa</i>	Chokeberry	#02 Cont./0.9m O.C.	Potted
<i>Cornus sanguinea</i> 'Cato'	Arctic Sun dogwood	#02 Cont./1.2m O.C.	Potted
<i>Cornus sericea</i> 'Baileyi'	Bailey's red osier dogwood	#05 Cont./1.2m O.C.	Potted
<i>Gaultheria procumbens</i>	Wintergreen	#01 Cont./0.9m O.C.	Potted
<i>Paustonia carbyi</i>	Cliff green	#02 Cont./1.2m O.C.	Potted
<i>Philadelphus coronarius</i> 'Aureus'	Golden mockorange	#02 Cont./1.2m O.C.	Potted
<i>Pinus strobus</i> 'Sea Urchin'	Sea Urchin white pine	#02 Cont./0.9m O.C.	Potted
<i>Rhus aromatica</i> 'Gro Low'	Gro-Low sumac	#02 Cont./2.0m O.C.	Potted
<i>Salix purpurea</i> 'Nana'	Arctic willow	#02 Cont./1.2m O.C.	Potted
<i>Symphoricarpos x chenaultii</i> 'Hancock'	Hancock snowberry	#02 Cont./0.9m O.C.	Potted
GRASSES			
Botanical Name	Common Name	Size/Spacing	Root
<i>Anemone sylvestris</i>	Snowdrop anemone	#01 Cont./0.5m O.C.	Potted
<i>Arunco</i> 'Misty Lace'	Misty Lace goatsbeard	#01 Cont./0.6m O.C.	Potted
<i>Artemisia lactiflora</i> 'Guishou'	White mugwort	#01 Cont./0.6m O.C.	Potted
<i>Baptisia</i> 'Carolina Moonlight'	Yellow wild indigo	#01 Cont./1.2m O.C.	Potted
<i>Geum</i> 'Totally Tangerine'	Totally Tangerine avens	#01 Cont./0.3m O.C.	Potted
<i>Heuchera cylindrica</i> 'Greenfinch'	Greenfinch alumroot	#01 Cont./0.45m O.C.	Potted
<i>Lavandula angustifolia</i> 'Elegance Snow'	Elegance Snow lavender	#01 Cont./0.3m O.C.	Potted
<i>Pachysandra terminalis</i> 'Green Carpet'	Japanese spurge	#01 Cont./0.6m O.C.	Potted
<i>Persicaria amplexicaulis</i> 'Blotau'	Taurus bistort mountain fleece	#01 Cont./0.9m O.C.	Potted
<i>Sedum</i> 'Lemon Jade'	Lemon Jade stonecrop	#01 Cont./0.6m O.C.	Potted
GRASSES			
Botanical Name	Common Name	Size/Spacing	Root
<i>Deschampsia cespitosa</i> 'Goldtau'	Gold dew tufted hair grass	#01 Cont./0.6m O.C.	Potted
<i>Miscanthus sinensis</i> 'Graziella'	Graxiella maidengrass	#02 Cont./1.2m O.C.	Potted
<i>Molinia caerulea</i> 'Variegata'	Variegated purple moor grass	#01 Cont./0.6m O.C.	Potted
<i>Pennisetum orientale</i> 'Karley Rose'	Pink fountain grass	#01 Cont./0.9m O.C.	Potted
<i>Sesleria autumnalis</i>	Autumn moor grass	#01 Cont./0.45m O.C.	Potted
* = male plants only			



SCALE: 1:200