

# City of Kelowna

## Regular Council Meeting

### AGENDA



Monday, February 19, 2018

1:30 pm

Council Chamber

City Hall, 1435 Water Street

#### Pages

#### 1. Call to Order

This meeting is open to the public and all representations to Council form part of the public record. A live audio and video feed is being broadcast and recorded by Castanet.net and a delayed broadcast is shown on Shaw Cable.

#### 2. Confirmation of Minutes

5 - 14

PM Meeting - February 5, 2018

#### 3. Public in Attendance

##### 3.1 RCMP Quarterly Update - Quarterly Update Review, 2017

15 - 36

To provide Council with an update on the activities of the RCMP for the previous quarter and report on progress toward goals and outcomes in the 2016-2019 Crime Reduction Strategy.

##### 3.2 Central Okanagan Heritage Society

37 - 66

Annual Presentation Council by Tracey Read, Chair of the City of Kelowna Heritage Grants Program Committee

#### 4. Development Application Reports & Related Bylaws

##### 4.1 Tower Ranch Drive OCP17-0002 and Z17-0007 - Parkbridge Lifestyle Communities Inc

67 - 90

To amend the Official Community Plan to change the future land use designation, and rezone the subject properties, to facilitate the revised development plan for the subject property and proposed additional area for Tower Ranch Mountain Park.

##### 4.2 Tower Ranch Drive OCP17-0002 (BL11488) - Parkbridge Lifestyle Communities Inc

91 - 99

To give Bylaw No. 11488 first reading in order to change the future land use designations on the subject properties indicated in Schedule A and Map A.

<b>4.3</b>	<b>Tower Ranch Drive Z17-0007 (BL11489) - Parkbridge Lifestyle Communities</b>	<b>100 - 104</b>
	To give Bylaw No. 11489 first reading in order to rezone the subject properties as indicated on Schedule B and Map B..	
<b>4.4</b>	<b>Richter St 1304 &amp; 1308, Z17-0104 - Stewart and Danielle Turcotte and Pyper Geddes</b>	<b>105 - 115</b>
	To rezone the subject property from RU6 – Two Dwelling Housing to RM5 – Medium Density Multiple Housing.	
<b>4.5</b>	<b>Richter St 1304 &amp; 1308, Z17-0104 (BL11553) - Stewart and Danielle Turcotte and Pyper Geddes</b>	<b>116 - 116</b>
	To give Bylaw No. 11553 first reading in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RM5 - Medium Density Multiple Housing zone.	
<b>4.6</b>	<b>Mugford Rd 135, HD15-0001 - Okanagan Buddhist Cultural Centre</b>	<b>117 - 140</b>
	To designate "St. Aidan's Church" as a municipal heritage building under Section 611 of the Local Government Act.	
<b>4.7</b>	<b>Mugford Rd 135, HD15-0001 (BL11555) - Okanagan Buddhist Cultural Centre</b>	<b>141 - 141</b>
	To give Bylaw No. 11555 first reading in order to designate "St. Aidan's Church" as a municipal heritage building.	
<b>4.8</b>	<b>Neptune Rd 1235 &amp; 1260, OCP17-0014 &amp; Z17-0053 - Davara Holdings Ltd Inc.</b>	<b>142 - 159</b>
	To amend the Official Community Plan to change the OCP Future Land Use designation and to rezone the subject properties to facilitate the development of Low Density Cluster Housing in the form of a "pocket neighbourhood".	
<b>4.9</b>	<b>Neptune Rd 1235 &amp; 1260, OCP17-0014 (BL11558) - Davara Holdings Ltd</b>	<b>160 - 160</b>
	To give Bylaw No. 11558 first reading in order to change the future land use designation from the EDINST - Educational/Major Institutional designation to the S2RES - Single/Two Unit Residential designation.	
<b>4.10</b>	<b>Neptune Rd 1235 &amp; 1260, Z17-0053 (BL11559) - Davara Holdings Ltd</b>	<b>161 - 161</b>
	To give Bylaw No. 11559 first reading in order to rezone the subject property from the RU6 - Two Dwelling Housing zone to the RU4 – Low Density Cluster Housing zone.	
<b>4.11</b>	<b>Terai Ct 265, Z17-0111 - Marty and Denise Hoglin</b>	<b>162 - 167</b>
	To rezone the subject property from RU1 – Large Lot Housing to RU1c – Large Lot Housing with Carriage House to facilitate the development of a carriage house.	

<b>4.12</b>	<b>Terai Ct 265, Z17-0111 (BL11560) - Marty and Denise Hoglin</b>	<b>168 - 168</b>
	To give Bylaw No. 11560 first reading in order to rezone the subject property from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.	
<b>4.13</b>	<b>Mayfair Rd 935, Z17-0076 - Singla Bros Holdings Ltd, South Okanagan Construction Ltd</b>	<b>169 - 180</b>
	To rezone the subject property to facilitate the development of two single detached dwellings.	
<b>4.14</b>	<b>Mayfair Rd 935, Z17-0076 (BL11561) - Singla Bros Holdings Ltd, South Okanagan Construction</b>	<b>181 - 181</b>
	To give Bylaw No. 11561 first reading in order to rezone the subject property from the RU1 - Large Lot Housing zone to the RU6 - Two Dwelling Housing zone.	
<b>4.15</b>	<b>Bylaw No.11465 (Z17-0060) – 3050 Sexsmith Road</b>	<b>182 - 182</b>
	To adopt Bylaw No. 11465 in order to rezone the subject property from the A1 - Agriculture zone to the I6 - Low Impact Industrial zone.	
<b>4.16</b>	<b>Sexsmith Rd 3050, DP17-0158 - Plan B Contractors Inc. – Reid Longstaffe</b>	<b>183 - 205</b>
	To review the form and character Development Permit for a two-phased, four building industrial development.	
<b>5.</b>	<b>Bylaws for Adoption (Development Related)</b>	
<b>5.1</b>	<b>Raymer Rd 4653, Z15-0013 (BL11458) - Ronald Egert</b>	<b>206 - 206</b>
	To adopt Bylaw No. 11458 in order to rezone the subject property from the Ru1 - Large Lot Housing zone to the RU4 - Low Density Cluster Housing zone.	
<b>5.2</b>	<b>Christleton Ave 344, Z17-0102 (BL11539) - Christopher and Sara Eddy</b>	<b>207 - 207</b>
	To adopt Bylaw No. 11539 in order to rezone the subject property from the RU1 - Large Lot Housing zone to the RU1c - Large Lot Housing with Carriage House zone.	
<b>6.</b>	<b>Non-Development Reports &amp; Related Bylaws</b>	
<b>6.1</b>	<b>Shared Use Agreement with FortisBC</b>	<b>208 - 230</b>
	To enter into a Shared Use Agreement with FortisBC for working on City owned streetlight infrastructure mounted on FortisBC owned utility poles.	

<b>6.2</b>	<b>License Agreement – Bikeshare Pilot Program</b>	<b>231 - 250</b>
	To obtain Council support in entering into an 18-month License Agreement with Dropbike Inc. in order to formalize the use of City property during the bikeshare pilot project.	
<b>6.3</b>	<b>Rutland Centennial Park Development</b>	<b>251 - 267</b>
	To bring forward costing implications, prior to final budget, for Rutland Centennial Park Phase 3, and information on Phase 4 as requested by Council.	
<b>6.4</b>	<b>Canada 150 Review</b>	<b>268 - 287</b>
	To provide Council with a summary of the events and initiatives that took place in 2017 to commemorate Canada’s sesquicentennial in Kelowna.	
<b>6.5</b>	<b>Road Closure Adjacent to 210 Lougheed Road</b>	<b>288 - 290</b>
	To dispose of an excess 102.7 square meter portion of roadway adjacent to 210 Lougheed Road.	
<b>6.6</b>	<b>BL11556 - Road Closure and Removal of Highway Dedication - Portion of Lougheed Road</b>	<b>291 - 292</b>
	To give Bylaw No. 11556 first, second and third readings in order to authorize the City to permanently close and remove the highway dedication of a portion of highway on Lougheed Road.	
<b>7.</b>	<b>Mayor and Councillor Items</b>	
<b>8.</b>	<b>Termination</b>	



## City of Kelowna Regular Council Meeting Minutes

Date: Monday, February 5, 2018  
 Location: Council Chamber  
 City Hall, 1435 Water Street

Members Present Mayor Colin Basran, Councillors Maxine DeHart, Ryan Donn, Tracy Gray, Gail Given, Charlie Hodge, Brad Sieben, Mohini Singh and Luke Stack

Staff Present City Manager, Ron Mattiussi; City Clerk, Stephen Fleming, Community Planning Department Manager, Ryan Smith\*; Urban Planning Manager, Terry Barton\*; Planner, Lydia Korolchuk\*; Divisional Director, Community Planning & Strategic Investments, Doug Gilchrist\*; Policy & Planning Department Manager, Danielle Noble-Brandt\*; Divisional Director, Infrastructure, Alan Newcombe\*; Transit & Programs Manager, Jerry Dombowsky\*; Transit Service Coordinator, Mike Kittmer\*; Strategic Transportation Planning Manager, Mariah VanZerr\*; Information Services Department Manager, Rob Entwistle\*; Integrated Transportation Department Manager, Rafael Villarreal\*; Utility Services Manager, Kevin Van Vliet\*; Senior Project Manager, Andrew Gibbs\*; Solid Waste Supervisor, Scott Hoekstra\*; Cultural Services Manager, Christine McWillis\*; Real Estate Services Manager, Johannes Saufferer\*; Legislative Coordinator (Confidential), Arlene McClelland

(\* Denotes partial attendance)

### 1. Call to Order

Mayor Basran called the meeting to order at 1:34 p.m.

Mayor Basran advised that the meeting is open to the public and all representations to Council form part of the public record. A live audio and video feed is being broadcast and recorded by CastaNet and a delayed broadcast is shown on Shaw Cable.

### 2. Confirmation of Minutes

Moved By Councillor Hodge/Seconded By Councillor Donn

R106/18/02/05 THAT the Minutes of the Regular Meetings of January 29, 2018 be confirmed as circulated.

Carried

### 3. Development Application Reports & Related Bylaws

### 3.1 Barton St 4658, Z17-0115, Jason and Vicki Dreger

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor Stack

**R107/18/02/05** THAT Rezoning Application No. Z17-0115 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 5, District Lot 580A, SDYD, Plan KAP69497 located at 4658 Barton Street, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration.

Carried

### 3.2 Barton St 4658, Z17-0115 (BL11549), Jason and Vicki Dreger

Moved By Councillor Donn/Seconded By Councillor Given

**R108/18/02/05** THAT Bylaw No. 11549 be read a first time.

Carried

### 3.3 Bath St 2630, Z17-0108 - Greencorp Ventures Inc.

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Stack/Seconded By Councillor Hodge

**R109/18/02/05** THAT Rezoning Application No. Z17-0108 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 1 District Lot 14 Osoyoos Division Yale District Plan 3785, located at 2630 Bath Street, Kelowna, BC from the RU6 – Two Dwelling Housing zone to the RM3 – Low Density Multiple Housing zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated February 5, 2018;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject property.

Carried

### 3.4 Bath St 2630, Z17-0108 (BL11550) - Greencorp Ventures Inc.

Moved By Councillor Donn/Seconded By Councillor Hodge

**R110/18/02/05** THAT Bylaw No. 11550 be read a first time.

Carried

### 3.5 Shanks Rd 4085 & 4133, TA18-0001 - Geen Family Holdings Ltd

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor Hodge

**R111/18/02/05** THAT Zoning Bylaw Text Amendment No. TA18-0001 to amend City of Kelowna Zoning Bylaw No. 8000 as outlined in the Report from the Community Planning Department dated February 5, 2018 for Lot 20 Section 34 Township 23 ODYD Plan 500 Except Plan KAP45154 located at 4085 Shanks Road, Kelowna, BC and for Lot 19 Section 34 Township 23 ODYD Plan 500 Except Plan KAP45154 located at 4133 Shanks Road, Kelowna, BC be considered by Council;

AND THAT the Zoning Bylaw Text Amending Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Zoning Bylaw Text Amending Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated February 5, 2018;

AND THAT final adoption of the Zoning Bylaw Text Amending Bylaw be considered subsequent to approval from the Ministry of Transportation and Infrastructure;

AND FURTHER THAT final adoption of the Zoning Bylaw Text Amending Bylaw be considered in conjunction with Council's consideration of a Farm Help Development Permit for the subject properties.

Carried

### 3.6 Shanks Rd 4085 & 4133, TA18-0001 (BL11551) - Green Family Holdings Ltd

Moved By Councillor Singh/Seconded By Councillor DeHart

**R115/18/02/05** THAT Bylaw No. 11551 be read a first time.

Carried

### 3.7 TA16-0002 General Housekeeping Amendments

Staff:

- Displayed a PowerPoint Presentation summarizing the amendment to Zoning Bylaw No. 8000 and responded to questions from Council.

Moved By Councillor Sieben/Seconded By Councillor Donn

**R116/18/02/05** THAT Zoning Bylaw Text Amendment Application No. TA16-0002 to amend City of Kelowna Zoning Bylaw No. 8000 as outlined in Schedule A attached to the Report from the Community Planning Department dated February 5, 2018 be considered by Council;  
AND THAT the Zoning Bylaw Text Amending Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT Bylaw No. 11440 be repealed.

Carried

### 3.8 TA16-0002 (BL11552) - General Housekeeping Amendments

Moved By Councillor Donn/Seconded By Councillor Gray

R117/18/02/05 THAT Bylaw No. 11552 be read a first time.

Carried

### 3.9 Mugford Road 135, DP15-0278 - Okanagan Buddhist Cultural Centre

Mayor Basran advised that the rezoning bylaw must be finalized prior to hearing the Development Permit.

Moved By Councillor Hodge/Seconded By Councillor Singh

R112/18/02/05 THAT Bylaw 11243 be amended at 3rd reading to reflect the updated legal description.

Carried

Moved By Councillor Hodge/Seconded By Councillor Singh

R113/18/02/05 THAT Bylaw 11243, as amended, be adopted.

Carried

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Hodge/Seconded By Councillor Stack

R114/18/02/05 THAT Council authorizes the issuance of Development Permit No. DP15-0278 for Lot A Section 26 Township 26 ODYD Plan EPP51686, located at 135 Mugford Road, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council's consideration of this Development Permit be considered subsequent to the outstanding conditions of approval as set out in Attachment "A" attached to the Report from the Community Planning Department dated March 30, 2016;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND THAT the applicant be required to have a Heritage Monitor to oversee and approve all on-site construction as per Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

Carried

### **3.10 Richter St 1710 - 1740, DP17-0039 - Meiklejohn Architects Inc.**

Staff:

- Displayed a PowerPoint Presentation summarizing the application and responded to questions from Council.

Moved By Councillor Given/Seconded By Councillor Sieben

**R118/18/02/05** THAT Council hear from the Applicant.

**Carried**

Jim Meiklejohn, Applicant

- Spoke to the subtle changes to the form and character and the materials and colour palate that will be used.
- Responded to questions from Council.

Moved By Councillor Sieben/Seconded By Councillor Stack

**R119/18/02/05** THAT Council authorizes the issuance of Development Permit No. DP17-0039 for Lot 1 District Lot 139 ODYD Plan KAP92715, located at 1710 - 1740 Richter St, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT Council's consideration of this Development Permit be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated April 18, 2017;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

**Carried**

Councillors Donn and Hodge - Opposed

## **4. Non-Development Reports & Related Bylaws**

### **4.1 OCP 2040 Project Launch (Our Kelowna as we Grow)**

Staff:

- Displayed a PowerPoint Presentation summarizing the project scope, timeline and engagement approach and responded to questions from Council.

Moved By Councillor Sieben/Seconded By Councillor Gray

**R120/18/02/05** THAT Council endorse the 2040 Official Community Plan Update process, as outlined in this report from the Department Manager of Policy and Planning, dated February 5, 2018.

Carried

The meeting recessed at 3:48 p.m.

The meeting reconvened at 3:56 p.m.

#### **4.2 Transportation Master Plan (Our Kelowna as we Move)**

Staff:

- Displayed a PowerPoint Presentation summarizing the Transportation Master Plan and responded to questions from Council.

Moved By Councillor Hodge/Seconded By Councillor Stack

**R121/18/02/05** THAT Council receives, for information, the report of the Strategic Transportation Planning Manager, dated February 5, 2018, with respect to the Transportation Master Plan (Our Kelowna as we Move).

Carried

#### **4.3 Introduction to Smart Cities Challenge**

Staff:

- Displayed a PowerPoint Presentation summarizing the pursuit for grant funding from the Government of Canada Smart Cities Challenge and responded to questions from Council.

Moved By Councillor Sieben/Seconded By Councillor DeHart

**R122/18/02/05** THAT Council receives for information the report of the Information Services Department Manager dated Feb 5, 2018 with respect to the Government of Canada Smart Cities Challenge;

AND THAT Council endorse submitting a grant application to Infrastructure Canada for the Government of Canada Smart Cities Challenge;

AND THAT the Mayor on behalf of Council submit a letter of support for the grant application;

AND THAT Council approves the associated expenses of \$25,000, funded from the Finance/Major System Software reserve, to engage a consultant to run design labs (workshops) with community stakeholder's involvement;

AND THAT the 2018 Financial Plan be amended to include the \$25,000 in expenditures;

AND FURTHER THAT upon confirmation of the finalist grant award, the 2018 Financial Plan be amended to include the receipt of funds received.

Carried

#### **4.4 Glenmore-Midtown Transit Restructuring**

Staff:

- Displayed a PowerPoint Presentation summarizing the Glenmore-Midtown Transit restructuring and responded to questions from Council.

Moved By Councillor Given/Seconded By Councillor Donn

**R123/18/02/05** THAT Council receives, for information, the report from the Transit and Programs Manager dated February 5, 2018, with respect to the Glenmore-Midtown Transit Restructuring;

AND THAT Council approve the recommended service option and related Conventional Transit service adjustments to be implemented September, 2018

**Carried**

#### **4.5 Glenmore Landfill Budget Transfers**

Staff:

- Provided an overview of the Glenmore Landfill Budget transfers and responded to question from Council.

Moved By Councillor Given/Seconded By Councillor Donn

**R124/18/02/05** THAT Council receives for information, the report from the Utility Planning Manager dated February 5, 2018, with respect to the Glenmore Landfill Budget Transfers;

AND THAT Council approves the cancellation of the New Drop Off – Woodwaste & Metal and the Glenmore Road Landscaping & Irrigation Replacement projects originally approved for budget in 2017;

AND THAT Council authorizes the expenditure of \$120,000 for the Automated Collection Curbside Carts and \$279,860 for the Leachate and Landfill Gas Header project;

AND FURTHER THAT the 2017 Financial Plan be amended to reflect the transfer of \$399,860 of cancelled Landfill Utility Reserve funding to other projects as outlined in this report.

**Carried**

#### **4.6 Landfill Mechanic Shop and Operations Building Project**

Staff:

- Displayed a PowerPoint Presentation summarizing the amendment to the project budget for the Landfill Operations Building and responded to questions from Council.

Moved By Councillor Sieben/Seconded By Councillor Stack

**R125/18/02/05** THAT Council receives for information, the report from the Utility Services Manager dated February 5, 2018 regarding the Landfill Mechanic Shop and Operations Building Project;

AND THAT Council authorize the additional expenditure totaling \$955,000 for the Landfill Mechanic Shop and Operations Building project;

AND FURTHER THAT the 2018 Financial Plan be amended to increase the budget of the Landfill Mechanic Shop and Operations Building project by \$955,000 with funding from the Landfill Reserve.

**Carried**

#### **4.7 2018 Cultural General Operating and Project Grants**

Staff:

- Displayed a PowerPoint Presentation summarizing the recipients for the 2018 Cultural Operating and Project grants

- Advised of a correction in the amounts to be awarded to BC Old Time Fiddlers, from \$4,000 to \$3,500 and Cool Arts Society from \$14,000 to \$15,000.
- Responded to questions from Council.

Moved By Councillor Hodge/Seconded By Councillor Donn

**R126/18/02/05** THAT Council receives, for information, the list of 2018 recipients for Cultural General Operating and Project Grants as outlined in the report from the Cultural Services Manager dated February 5, 2018.

Carried

#### **4.8 2018 Professional Operating Grants**

Staff:

- Displayed a PowerPoint Presentation summarizing the annual Grants-In-Aid to professional arts organizations and responded to questions from Council.

Moved By Councillor Singh/Seconded By Councillor DeHart

**R127/18/02/05** THAT Council receives, for information, the report dated February 5, 2018 from the Cultural Services Manager regarding the 2018 Professional Operating Grants;

AND THAT Council approves the 2018 Professional Operating Grants as recommended in the report dated February 5, 2018 from the Cultural Services Manager, for the following organizations:

\$62,000 to the Okanagan Symphony Society;  
 \$36,000 to the Kelowna Ballet Society; and  
 \$26,000 to the Okanagan Artists Alternative Association (operating as Alternator Centre for Contemporary Art); and

AND FURTHER THAT Council directs staff to report back with information and recommendations regarding 2018 funding for the Bumbershoot Children's Theatre Society.

Carried

#### **4.9 South Perimeter Road & Gordon Drive Extension – Alternative Approval Process**

Staff:

- Displayed a PowerPoint Presentation summarizing the proposed South Perimeter Road and Gordon Drive Alternative Approval Process and responded to questions from Council.

Moved By Councillor Given/Seconded By Councillor Gray

**R128/18/02/05** THAT Council receives, for information, the report of the Manager, Real Estate Services dated February 5, 2018, regarding an update on the construction of South Perimeter Road and the associated Gordon Drive Extension;

AND THAT Council receives, for information, the report of the Manager, Real Estate Services dated February 5, 2018, regarding the Alternative Approval Process for the funding of South Perimeter Road and the Gordon Drive Extension, said funding limited to no more than ten million, seven hundred sixty-three thousand dollars (\$10,763,000.00), to be allocated toward the project from current and future Development Cost Charge revenues collected by the City of Kelowna;

AND THAT an alternative approval process open to all electors within the City of Kelowna be initiated in relation to the bylaw outlined in this report regarding the proposed funding of South Perimeter Road and the Gordon Drive Extension via current and future Development Cost Charge revenues collected by the City of Kelowna;

AND THAT **4:00pm, Friday March 16<sup>th</sup>, 2018**, be set as the deadline for receipt of elector responses in the form attached as Schedule A to the February 5, 2018 report of the Manager, Real Estate Services in relation to the City of Kelowna proceeding with the adoption of Bylaw No. 11554, being the South Perimeter Road & Gordon Drive Extension Funding Authorization Bylaw authorizing the funding of South Perimeter Road and the Gordon Drive Extension up to a maximum of ten million, seven hundred sixty-three thousand dollars (\$10,763,000.00) from Development Cost Charge Revenues collected in the Southwest Mission Sector Plan;

AND THAT the City of Kelowna be authorized to pay the party constructing South Perimeter Road and the Gordon Drive Extension according to the agreed upon repayment terms for the cost of the road development, up to a maximum of ten million, seven hundred sixty-three thousand dollars (\$10,763,000.00);

AND FURTHER THAT the 20-Year Servicing Plan and Financial Strategy, and the Southwest Mission DCC Transportation Sector plan be updated in accordance with the contemplated re-prioritization of South Perimeter Road and the extension of Gordon Drive.

Carried

#### **4.10 BL11554 - South Perimeter Road & Gordon Drive Extension**

Moved By Councillor Singh/Seconded By Councillor DeHart

**R129/18/02/05** THAT Bylaw No. 11554 be read a first, second and third time.

Carried

#### **4.11 2017 Budget Adjustment - South Perimeter Road**

Moved By Councillor Gray/Seconded By Councillor Hodge

**R130/18/02/05** THAT Council receives for information, the report from the Manager, Real Estate Services dated February 5, 2018 regarding the budget amendment required for the legal fees associated with the preparation of a legal agreement formalizing the construction of South Perimeter Road by a third-party proponent;

AND THAT Council authorize the expenditures up to \$25,245.00 from the Development Cost Charge Sector B Roads Reserve for the legal fees incurred by the City;

AND FURTHER THAT the 2017 Financial Plan be amended to reflect the transfer of up to \$25,245.00 from the DCC Sector B Roads Reserve to South Perimeter Road project.

Carried

### **5. Bylaws for Adoption (Non-Development Related)**

#### **5.1 BL11534 - Road Closure and Removal of Hwy Dedication - Portions of Cross Road**

Mayor Basran invited anyone in the public gallery who deems themselves affected by the proposed road closure to come forward.

No one from the gallery came forward.

Moved By Councillor Singh/Seconded By Councillor DeHart

R131/18/02/05 THAT Bylaw No. 11534 be read a first, second and third time.

Carried

6. **Mayor and Councillor Items – Nil.**

7. **Termination**

This meeting was declared terminated at 5:21 p.m.

\_\_\_\_\_  
Mayor Basran

/acm

\_\_\_\_\_  
City Clerk

DRAFT

# Report to Council



**Date:** February 19, 2018  
**File:** 0100-01  
**To:** City Manager  
**From:** Rob Mayne, Divisional Director Corporate and Protective Services  
Brent Mundle, Superintendent Kelowna RCMP Detachment  
**Subject:** RCMP Quarterly Council update 2017: October – December

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## **Recommendation:**

That Council receive the RCMP Quarterly Update 2017: October – December report from the Superintendent, Kelowna RCMP Detachment and the Divisional Director of Corporate and Protective Services dated February 19, 2018.

## **Purpose:**

To provide Council with an update on the activities of the RCMP for the previous quarter and report on progress toward goals and outcomes in the 2016-2019 Crime Reduction Strategy.

## **Background:**

The 2016-2019 Crime Reduction Strategy consists of four main goals each with multiple strategies within. The four goals include:

1. Taking a proactive approach to crime
2. To work with partner agencies for more effective policing
3. To maximize the effectiveness of resources using an intelligence-led model
4. Leveraging effective communications

In the fourth quarter of 2017, work continued to meet these goals.

## **Taking a proactive approach to crime:**

The commercial theft program which launched in June continues to yield results as a proactive approach to crime, with 338 files resulting in 206 charges to date. Other projects include: the downtown

drug projects (resulting in 102 drug charges), impaired driving enforcement throughout December (resulting in 30 alcohol-related sanctions and 79 violation tickets), and prolific prohibited driver project.

Multiple proactive crime prevention programs contributed to informing the public on staying and keeping property safe. In 2017 more than 9,000 volunteer hours contributed to extra eyes on the streets and community policing initiatives. Ongoing work with programs including Block Watch, tamper-proof licence plate screws, Don't Be An Easy Target campaigns and the senior contact programs remain effective initiatives for community-level proactive crime prevention and safety awareness.

### **Working with partner agencies for more effective policing:**

Approaching its one-year anniversary, the Police and Crisis Team (PACT) continues to be a successful model resulting in providing efficient, compassionate and effective enforcement. The PACT intervened on nearly 20 per cent of all mental health calls for service.

The RCMP was a key partner in the quick activation of the Emergency Shelter Action Team that monitored the impact of the four main shelters within Kelowna during the winter months. The collaborative approach, primarily focused on getting the Cornerstone shelter running, helped ensure the safety of our most vulnerable population, the public and businesses, and the shelter's staff. It has proved to be a successful model for inter-agency collaboration.

In line with the Crime Reduction Strategy, the RCMP worked with the City's Bylaws department to implement the Good Neighbour Bylaw in October. The bylaw consolidates the anti-litter, noise and disturbance control, residential nuisance and unsightly premises. It also added nuisance abatement fees.

### **Maximize the effectiveness of resources using an intelligence-led model:**

Looking at residences that generate a number of repeated calls, a DEU team was created to focus on these repeat residences. The Auxiliary Constable Program is being reactivated under its new regulations and is being leveraged to reduce crimes throughout the City.

While property offences increased in the fourth quarter over the previous year, the yearly comparison of all criminal code offences demonstrates reduction in property offences, a five per cent reduction in other criminal code offences and a third consecutive year of reductions in person offences. Considering Kelowna's fast-growing population, these figures show a positive dent being made in crime reduction. The data is showing that crime prevention, officer presence, partnerships and proactive policing communications is having an overall positive impact on the community.

### **Leveraging effective communications:**

The annual Don't Be An Easy Target holiday campaign in December leveraged social media channels and online advertising to inform the public about keeping valuables safe by locking cars.

The RCMP continued to proactively engage with the media to inform the public about arrests in the community and to provide crime information to the public.

In the fourth quarter, the Kelowna RCMP detachment participated in a number of positive community engagement initiatives including a community celebration for Gratitude Month, National Take Our Kids to Work Day and marching in the Remembrance Day ceremonies.

Results released in October of the 2017 Citizens Survey once again showed that Kelowna is a safe community, with 90 per cent of residents describing the city as very/somewhat safe. This is on par with 2015 (94 per cent). However, perception of safety is declining – a good reminder to continue in proactive communications efforts to the public about safety initiatives and crime prevention. The decline in perception was attributed to primarily homelessness/poverty followed by drugs and break-ins/thefts. Yet, most residents still describe downtown as safe (80 per cent).

**Internal Circulation:**

Communications Consultant, Axelle Bazett  
Crime Prevention Supervisor, Colleen Cornock

**Considerations not applicable to this report:**

**Legal/Statutory Authority:**

**Legal/Statutory Procedural Requirements:**

**Existing Policy:**

**Financial/Budgetary Considerations:**

**Personnel Implications:**

**External Agency/Public Comments:**

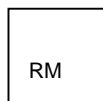
**Communications Comments:**

**Alternate Recommendation:**

Submitted by:

R Mayne, Divisional Director Corporate & Protective Services  
B. Mundle, Superintendent Kelowna RCMP Detachment

**Approved for inclusion:**



Divisional Director, Corporate and Protective Services

cc:

Police Services Manager  
Bylaw Services Manager

# CITY COUNCIL PRESENTATION

February 19, 2018



Officer In Charge  
Supt. Brent Mundle  
Kelowna RCMP

# 2016-2019 CRIME REDUCTION STRATEGY

- ❖ The Kelowna RCMP continues to work diligently towards the four goals set forth in the 2016-2019 Crime Reduction Strategy



# Crime Reduction Strategy

## GOAL #1

**TAKING A PROACTIVE APPROACH TO CRIME**

## GOAL #2

**TO WORK WITH PARTNER AGENCIES FOR MORE EFFECTIVE POLICING**

## GOAL #3

**TO MAXIMIZE THE EFFECTIVENESS OF RESOURCES USING AN  
INTELLIGENCE-LED MODEL**

## GOAL #4

**LEVERAGING EFFECTIVE COMMUNICATIONS**

# GOAL #1

## TAKING A PROACTIVE APPROACH TO CRIME

### ❖ Commercial Theft Program

- Began on June 1<sup>st</sup>, 2017
- Investigated 338 files
  - Resulted in 206 charges

### ❖ Downtown Drug Project

- Phase 1 – 64 drug trafficking charges
- Phase 2 – 16 drug trafficking charges
- Phase 3 – 22 drug trafficking charges

# GOAL #1

## TAKING A PROACTIVE APPROACH TO CRIME (CONT'D)

### ❖ Traffic Initiatives

- **December Counter Attack**
  - 30 alcohol-related sanctions
  - 79 violation tickets
- **Annual Performance Plan – 3<sup>rd</sup> Quarter**
  - Increase IRP / Impaired Prosecutions
- **Central Okanagan Traffic Services**
  - Prolific Prohibited Driver Project

# **GOAL #1**

## **TAKING A PROACTIVE APPROACH TO CRIME (CONT'D)**

### **❖ CFSEU – UGET Assistance**

### **❖ Crime Prevention Programs 2017**

- Block Watch**
- Volunteer Programs**
- Don't Be An Easy Target**
- Tamper Proof Licence Plate Screws**
- Senior Contact Program**
- CPTED – Crime Prevention Through Environmental Design**

## **GOAL #2**

### **TO WORK WITH PARTNER AGENCIES FOR MORE EFFECTIVE POLICING**

#### **❖ Police and Crisis Team (PACT)**

- Involved in approximately 19.4 % of all mental health calls for service**

#### **❖ Child Advocacy Centre of Kelowna**

## GOAL #2

### TO WORK WITH PARTNER AGENCIES FOR MORE EFFECTIVE POLICING (CONT'D)

- ❖ Cornerstone
- ❖ PTEP Funding
- ❖ BARK – UBC Partnership

# **GOAL #3**

## **TO MAXIMIZE THE EFFECTIVENESS OF RESOURCES USING AN INTELLIGENCE-LED MODEL**

- ❖ **Rutland DEU**
- ❖ **Investigations**
- ❖ **Auxiliary Constable Program**
- ❖ **Employee Wellness Consultant**
- ❖ **Presentations**
  - **Surrey Smart Hub**
  - **Surrey Outreach Team**

# GOAL #4

## LEVERAGING EFFECTIVE COMMUNICATIONS

### ❖ OIC Recognition to Community Members

- Loss Prevention
- Heroism

### ❖ Community Involvement

- Sharing Christmas Gift Campaign
- CRAM the Cruiser

## GOAL #4 LEVERAGING EFFECTIVE COMMUNICATIONS

### ❖ Positive Community Involvement

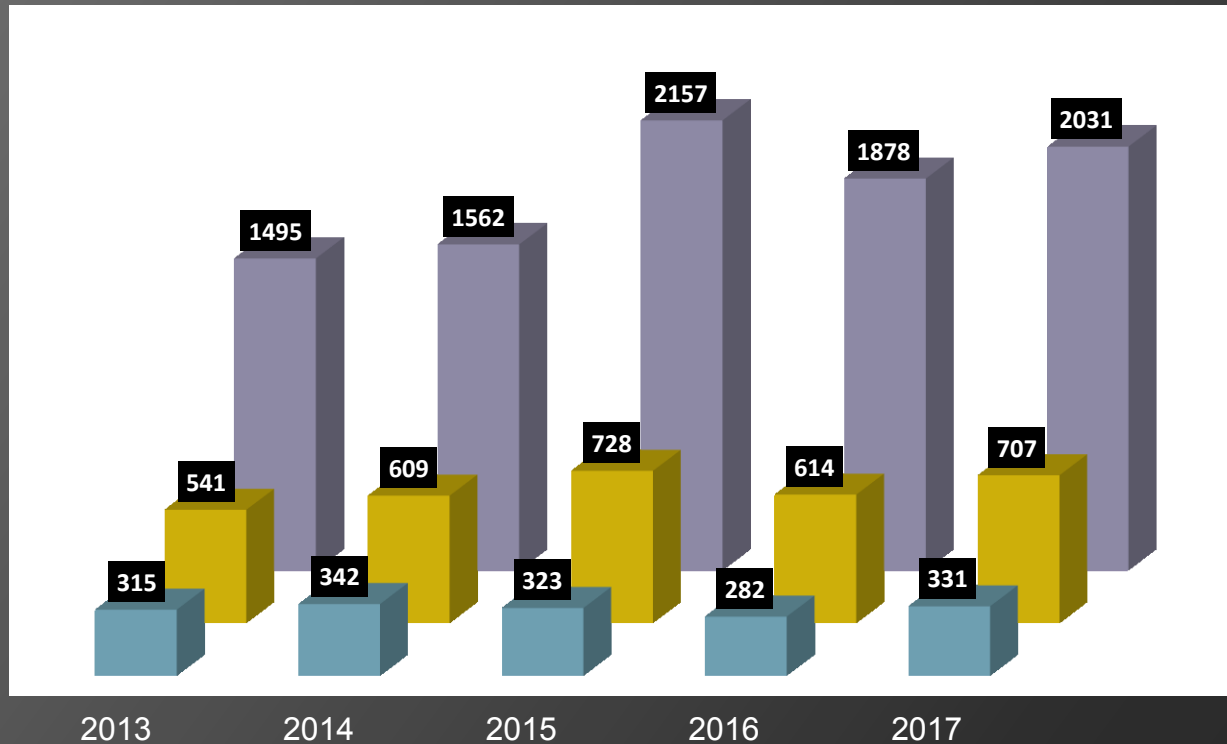


# Group Honoured for Heroism



# FOURTH QUARTER OF 2017

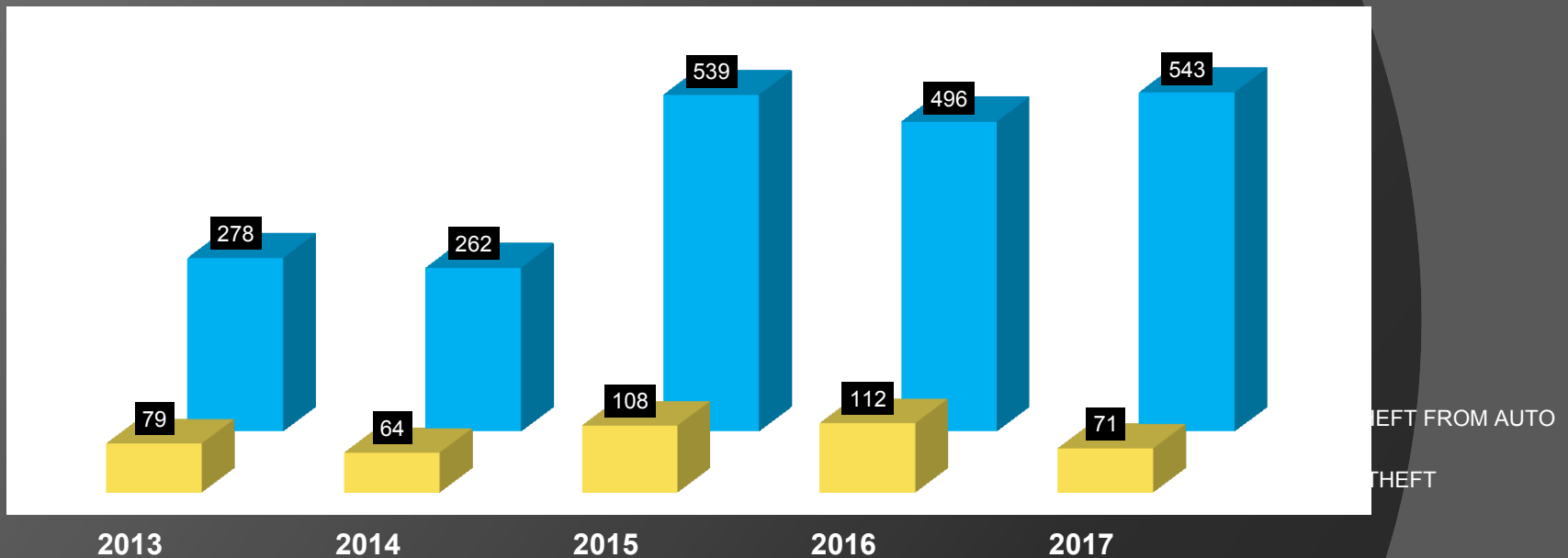
## CRIMINAL CODE OFFENCES OCTOBER TO DECEMBER



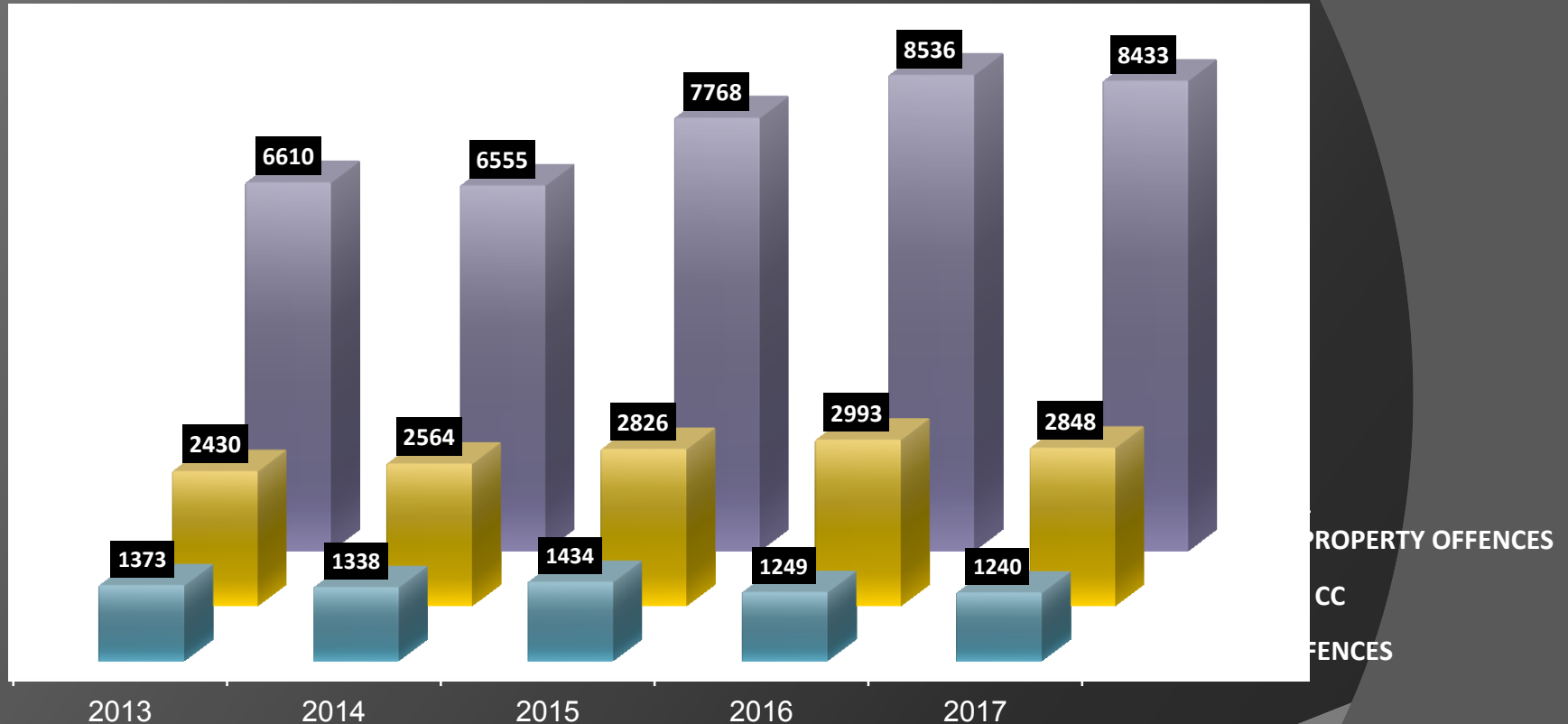
PROPERTY OFFENCES  
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OFFENCES

# FOURTH QUARTER OF 2017

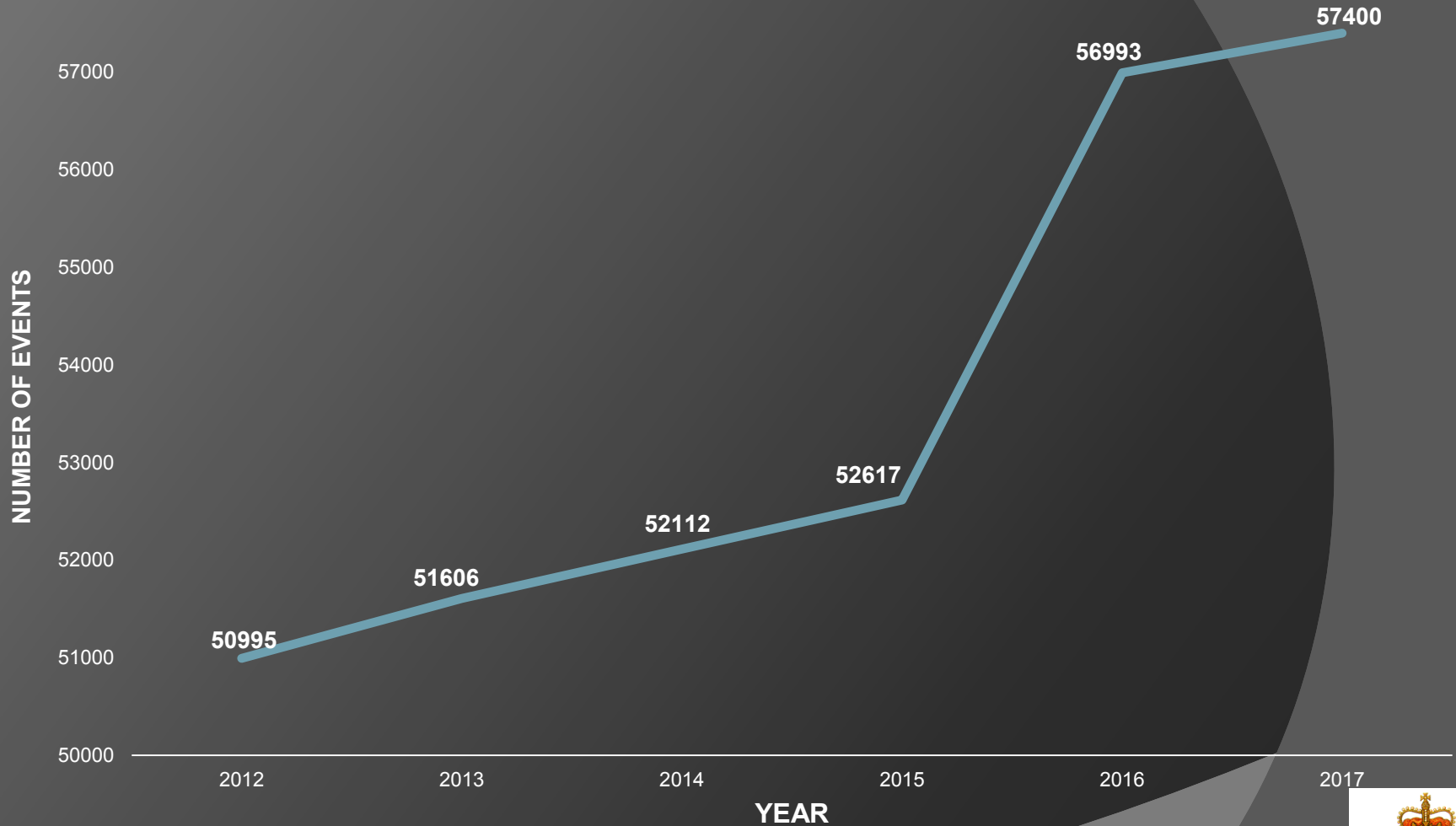
## THEFT FROM AUTO AND BICYCLE THEFT OCTOBER TO DECEMBER



# YEARLY COMPARISON ALL CRIMINAL CODE OFFENCES

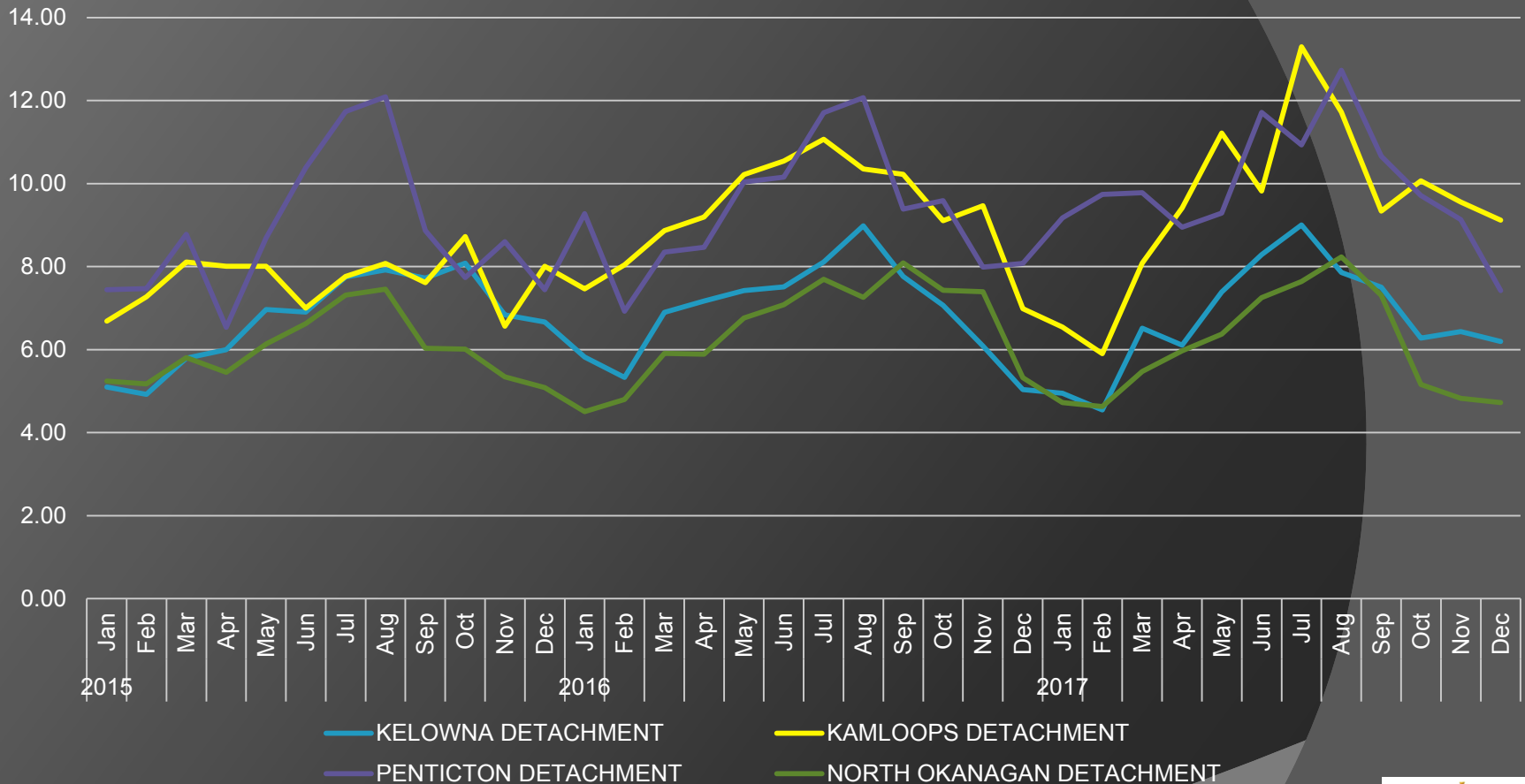


# CITY OF KELOWNA CALLS FOR SERVICE



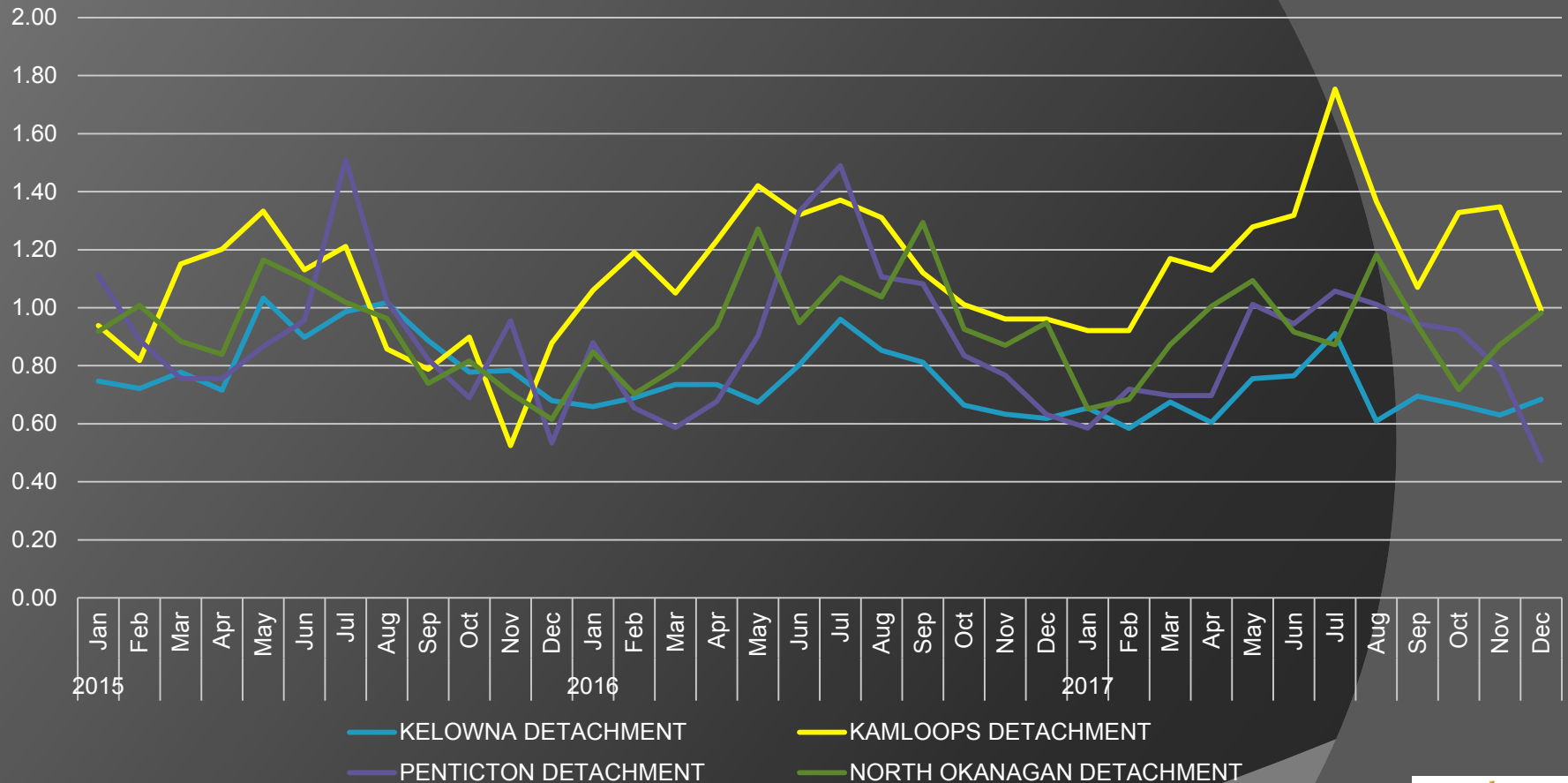
# JURISDICTIONAL COMPARISON

ALL CRIMINAL CODE OFFENCES  
(RATE PER 1,000)



# JURISDICTIONAL COMPARISON

## VIOLENT PERSONS OFFENCES (RATE PER 1,000)



# QUESTIONS?

# Report to Council



**Date:** February 19, 2018  
**File:** 0710-20  
**To:** City Manager  
**From:** Melanie Steppuhn, Planner II, Policy and Planning  
**Subject:** City of Kelowna Heritage Grants Program

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## **Recommendation:**

THAT Council receives, for information, the year-end report from the Central Okanagan Heritage Society as attached to the report dated February 19, 2018, with respect to the City of Kelowna Heritage Grants Program in 2017.

## **Purpose:**

To inform Council on the 2017 Heritage Grant Program administered by the Central Okanagan Heritage Society on behalf of the City of Kelowna.

## **Background:**

The Heritage Grants Program (HGP) promotes the conservation of all types of heritage buildings by helping owners of properties listed on the Kelowna Heritage Register with grants for a portion of the costs incurred in exterior conservation work. The intent of the program is to recognize the value of Kelowna's built heritage. The annual funds available for the COKHGP is \$35,000. The maximum grant per property per year is \$7,500, to a maximum of 50% of the project cost.

The Heritage Grants Program was established in 1991 and since 2008, the Central Okanagan Heritage Society (COHS) was awarded the contract to administer the program at a cost of \$9,500 annually. As part of the contract, the COHS prepares an annual report summarizing the program activities over the past year. Staff have reviewed this report (attached) and bring it forward for Council's information.

New for 2017, staff joined the COHS in a Heritage Grant Information Session at the Benvoulin Church to provide interested parties an opportunity to learn about the program, as well as the Heritage Registry and Heritage Building Designation.

Staff will bring forward to Council, in a subsequent meeting, a request for Council to renew the contract with COHS for the 2018 calendar year.

**Internal Circulation:**

Cultural Services Manager

**Existing Policy:**

*Official Community Plan – 2030*

**Objective 9.2, Policy 3 Financial Support.** Continue to support the conservation, rehabilitation, interpretation, operation and maintenance of heritage assets through grants, incentives and other means.

*Heritage Strategy 2007, Updated July 2015*

**Vision: Heritage Strategy 2007-2017** Kelowna will be a viable and strong community that balances growth with support for the protection of our distinctive and authentic natural, cultural and built heritage assets through: diverse partnerships; heritage incentives; and integrated and innovative approaches to heritage conservation, community development and public awareness.

**Policy 1.3.** Continue to develop revenue sources to assist with funding the conservation of heritage resources.

**Financial/Budgetary Considerations:**

\$ 9,500 for grant administration is within an existing approved budget (to be approved in a subsequent council meeting)

**Considerations not applicable to this report:**

Legal/Statutory Authority:

Legal/Statutory Procedural Requirements:

Personnel Implications:

External Agency/Public Comments:

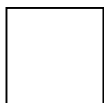
Communications Comments:

Alternate Recommendation:

Submitted by:

M. Steppuhn, Planner II, Policy and Planning

**Approved for inclusion:**



James Moore, Long Range Policy Planning Manager

Attachments:

COHS Year End Reports

cc:

Cultural Services Manager

# CITY OF KELOWNA HERITAGE GRANTS PROGRAM (CoKHGP)



**Over the last 30 years  
Canada has lost more than 25  
percent of its pre-1920 historic  
buildings to demolition.**

**Financial considerations play a  
pivotal role.** (National Trust of Canada)

# CENTRAL OKANAGAN HERITAGE SOCIETY manages CITY OF KELOWNA HERITAGE GRANTS PROGRAM



# **THE BENEFITS COHS PROVIDES BY MANAGING THE CoKHGP:**

- **Expertise in administration (11<sup>th</sup> year)**
- **Grants Manager is a heritage consultant**
- **Grants Committee is comprised of a select group of heritage specialists**
- **Four Committee meetings a year**

# **THE BENEFITS COHS PROVIDES BY MANAGING THE CoKHGP:**

- **Committee members keep up to date on heritage issues in Kelowna, British Columbia and Canada**
- **Answering inquires on heritage matters**
- **Program Information Session in 2017**
- **Promote the program**

# GRANT SUMMARY 2017

<b>City Allotment</b>	<b>\$35,000.00</b>
<b>Rollover Funds</b>	<b>\$12,631.87</b>
<b>Grant Savings</b>	<b>\$2,426.00</b>
<b>Rescinded Grant Amount</b>	<b>\$2,920.00</b>
<b>Total Funds Available</b>	<b>\$52,977.87</b>
<b>Amount Allotted</b>	<b>\$51,389.00</b>
<b>Rollover Funds for 2018</b>	<b>(\$1,807.20)</b>

# COMPLETED GRANTS 2017

**Total Grants Completed** **\$30,027.00**

**Total Owners' Contributions** **\$42,866.97**

**Total Project Costs** **\$72,893.97**

# Approved Projects: New Roof

- **Billy Lloyd-Jones House**  
1449 Ethel St, \$5,668
- **Annie Stirling House**  
2178 Pandosy St, \$7,500
- **F.W. Groves House**  
409 Park Ave, \$7,500
- **Courier Building**  
1580 Water St, \$6,948



# Approved Projects: Prep & Paint

- **Cookson House,**  
**1912 Abbott St, \$4,950**



- **J.B. Whitehead House,**  
**545 Burne Ave, \$7,250**



- **N.D. McTavish House,**  
**710 Sutherland Ave, \$7,500**



# Approved Projects: Conservation Projects

- **Billy Llyod-Jones House**  
**1449 Ethel St, \$1,406-**  
Chimney repair



- **MacLean House 1869**  
**Maple St, \$2,346-**  
Sidelights & transom window



# COHS Recommendations:

- **Continue to increase the Allotment Grant until it reaches \$50,000 as recommended in the *City of Kelowna Heritage Strategy 2007, updated July 2015***

***Heritage has value -- social, cultural, historical, environmental, associative, aesthetic value -- not to mention economic value.***

***Financial incentive programs exist to encourage private sector investment in the preservation of historic properties. Generally, they counter demolition by giving owners the financial ability — tax breaks, grants, waivers of fees, material and labour donations, and non-monetary density bonuses—to proceed with rehabilitation projects that might not otherwise happen.***

***(National Trust of Canada)***



# CITY OF KELOWNA HERITAGE GRANTS PROGRAM (CoKHGP)



## **CITY of KELOWNA HERITAGE GRANTS PROGRAM: 2017 Annual Report**

### **Submitted: January 2018**

The City of Kelowna Heritage Grants Program (CoKHGP) completed its tenth year under the management of the Central Okanagan Heritage Society (COHS). The CoKHGP is an arm's length committee and is not directly managed by the COHS Board. During this period, the mandate of the program has become focused primarily on informing the public about the program, answering any inquiries about the program, as well as general heritage conservation questions, administering the application process and educating heritage building owners on good heritage conservation practices.

Over the past year, the City of Kelowna Heritage Grants Program has seen continued interest in the program and in Kelowna's built heritage and history. Many residents in Kelowna are interested in the conservation of their heritage and character buildings. This is reflected in the number of inquiries about the heritage grants program, about Kelowna's Heritage Register as well as appropriate interventions on a heritage building. Raising public awareness for the heritage grants program is an important part of managing the program. The success is reflected in the number of heritage building owners that have received financial assistance and advice from the City of Kelowna Heritage Grants Program on conserving their heritage properties over the past ten years.

The following summarizes the City of Kelowna Heritage Grant Program's activities for the past year.

### **Committee Members**

The CoKHGP committee is composed of five regular members and a maximum of five alternate members as outlined below:

- a) One person from the Central Okanagan Heritage Society Board;
- b) One person from the architectural field;
- c) One person from the construction industry;
- d) Interested private citizens (with a knowledge in local history and/or heritage).

All new regular CoKHGP committee members receive an orientation prior to their attendance at their first grant committee meeting. The committee members are encouraged to attend Heritage BC webinars and COHS educational talks on heritage conservation topics each year.

The following lists the names of the 2017 regular CoKHGP committee members:

**Tracey Read**, *current Chair* (Historian and Author)

**Julie Cosgrave** (Freelance Writer including articles on local architecture & planning)

**Peter Chataway** (Building Designer, Heritage Advocate, Heritage House Owner)

**Ian Crichton** (Retired Carpenter and Building Contractor, Heritage House Owner)

**Cheryl Spelliscy**, *COHS Board Rep* (COHS Vice-president, Interior Health Manager, Heritage House Owner)

**Dr. Shona Harrison**, *alternate* (UBCO & OC Professor, Heritage House Owner)

**Randi Fox**, *alternate* (Architect)

**Bob Hayes**, *alternate* (Historian, retired Teacher)

**Alasdair Smith**, *alternate* (Contractor/Carpenter with speciality in heritage buildings and materials)

**Lorri Dauncey**, *Program Manager, non-voting* (Heritage Conservation Expert)

## Grant Summary

The City of Kelowna Heritage Grants program committee had four regular meetings to review grant applications, requests for modifications, extensions or to rescind a grant and grant completions for Kelowna Heritage Register buildings. In 2017, the grant maximum was raised from \$5,000 to \$7,500 for heritage register buildings and from \$10,000 to \$12,500 for designated heritage buildings in a three-year time period. The raise in the maximum amounts came out of discussion with city planning staff and the program manager in 2016 in order to better reflect the increased costs for conservation and maintenance work on heritage buildings.

The table below outlines the number and dollar amount of grants approved, the annual allotment from the City Of Kelowna, carry forward amounts from the previous year, grant savings for portions unused, rescinded grants back to the program and the dollar amount of the funds available. Looking back at the past five years of the grant program, allotment of funds has seen a fairly consistent increase in demand. It should be noted that with the recent increase in the maximum grant amount for each building, it is likely that increased funding will be needed.

	<b>2017</b>	<b>2016</b>	<b>2015</b>	<b>2014</b>	<b>2013</b>
Grants Approved #	9	12	12	11	13
City Allotment	35,000.00	35,000.00	35,000.00	35,000.00	35,000.00
Rollover Funds (including bank interest & fees)	12,631.87	14,855.14	5,171.11	4,670.27	2,469.20
Total Funds Available at Start of Year	47,631.87	49,855.14	40,171.11	39,670.27	32,469.20
Grant Savings in Year	2,426.00	2,468.00	2,562.00	797.00	8,135.84
Rescinded Grants in Year	2,920.00	360.00	15,000.00	3,750.00	1,430.00
Total Funds Available (including savings & rescinded)	52,977.87	52,683.14	57,733.11	44,217.27	42,035.04
<b>Amount Allotted</b>	<b>\$51,389.00</b>	<b>\$40,390.00</b>	<b>\$44,032.00</b>	<b>\$39,488.00</b>	<b>\$37,787.00</b>

The summary of the new applications and on-going approved grants that were considered at the four meetings in 2017 is in the table below. The summary includes: the number of applications that were and were not approved, the number of rescinded grants, modified grants, and grant extensions, the number of grant completions, the total amount paid out, as well as the owner's contributions and the total cost for the projects.

Grants Approved	Grants Not Approved	Grants Rescinded	Grants Modified	Grants Extension	Grants Completed*	Total Paid Grants Completed	Total Owners' Contributions	Total Project Costs
9	0	1	0	4	8	\$30,027.00	\$42,866.97	\$72,893.97

*\*Note: The completed grants included four approved in 2016 and four approved in 2017.*

At the end of 2017, there was a total of \$1,588.87 that was not allotted. With bank interest, rewards, membership shares, and fees for 2017, the grand total left is \$1,807.20. This money will go back into the program for 2018 as the rollover funds.

A compilation of figures on the CoKHGP approved, declined and withdrawn grant applications for 2007 (Kelowna Heritage Foundation), 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016 and 2017 is provided. (Refer to: Appendix 1: City of Kelowna Heritage Grants Program Applications 2007-2017)

#### **Summary of the Project Application to Completion Process:**

There are four CoKHGP committee meeting dates each year that are set in January. A two to three-week deadline for applications and project completions are listed in the updated Heritage Grants Program Package that is available on the City of Kelowna website and the COHS website, as well as links through various community groups (i.e. Residential Associations). Owners of Kelowna Heritage Register buildings are sent a letter that reminds them about the program and includes a list of the past two to three years of grant recipients and the type of projects that were funded.

The program manager receives call and email inquiries about the program and related heritage questions throughout the year. The program manager answers various questions that the building owner may have about the program including:

- What is an appropriate conservation project on a heritage register building;
- The types of projects the program may fund;
- Appropriate heritage colour schemes for the building;
- Window repair vs replacement;
- Names of heritage contractors/companies that may be able to do the work/provide a quote for work needed;
- What are the meeting dates and application forms;
- How to add their house to the Heritage Register and other administration questions

Potential applicants may only need a couple of phone calls, emails and/or office meetings, while others will take significantly more time. As this program has a wide range of types of projects it funds, the amount of time spent depends on the needs of the applicant and the type of project that is being undertaken.

Once the application is received, the program manager reviews it and lets the applicant know if more information is needed or items are missing. A file is set up for each application, including the Statement of Significance (SOS) on the building. The application is added to the agenda and is looked at in detail at that time. As the committee members have expertise in local history, architecture, heritage, building/construction, *Standards and Guidelines for Historic Buildings in Canada* document, as well as a familiarity of many of the heritage buildings in Kelowna, the committee is able to make an informed decision on grant applications. In a few cases, more information and research and possibly a site visit may be required, which may be undertaken by a committee member and/or by the program manager and is followed up with the rest of the committee.

A Grant Application Evaluation Matrix was created by the program manager in 2015 (with input from the committee) in order to evaluate each new application to determine if a project qualifies and the strength of the application. The evaluation matrix includes the elements (depending on the type of project) that the grants committee considers for each application received. This is the third year that the evaluation form has been used for all new applications. Each form is filled out by one of the committee members and becomes part of the application file. (*Refer to: Appendix 2: Example of Completed 2017 CoKHGP Grant Application Evaluation Matrix*)

Any granting decisions are made by a motion, seconded and approval by the majority of the committee members. There are five (5) regular members and up to five (5) alternate members. At least three of five members are required to pass a motion. The manager follows up with a letter to the applicant informing them of the committee's decision. It should be noted that every meeting begins with the attending committee members declaring if they have a potential conflict of interest with any of the applications being considered at the current meeting. If a conflict is declared, it is noted in the minutes and the committee member excuses himself/herself from the room while the application is discussed.

Once the project is completed (given one year and may receive an additional year or in extreme cases a second extension for unforeseen circumstances- which also requires a motion by the committee at one of the four meetings in the year), the grant recipient will submit the required materials (manager ensures everything is in order and that a committee member visits the site to ensure that the work is completed) at least two weeks prior to one of the meeting dates. Once approved, a cheque and letter is sent out to complete the project file. Sometimes there are grant savings for a project. In some cases, a grant is rescinded at the approved applicant's request as he/she is no longer in a position to carry out the project due usually due to personal circumstances such as financial or health constraints. Rarely is a project rescinded without the homeowner's request. In most cases an extension will be granted to allow the project to be completed.

In 2017, the program manager received 51 inquiries about the City of Kelowna Heritage Grants Program and/or other heritage related questions. Nine of these inquiries led to new grant applications in 2017. Twelve of these inquiries were for active grants already approved including: requests to rescind, for an extension and to complete a grant. There were a number of inquiries and questions that did not culminate into a grant request at this time. Over the past ten years, a number of these initial inquiries, turned into grant applications at a later date or in some cases the building owner proceeded with the project without applying for a grant (as the work might not have qualified for a grant or the timing did not work for the owner). For example, the program manager talked to the house owner of the Annie Stirling House (2178 Pandosy Street) a number of times in early 2016. The owner, submitted an application for a heritage grant in June 2017, a year after the initial discussions.

In 2017, the following four meeting dates had the listed number of new applications submitted for consideration. This does not include the number of: completions; requests to modify application approval; rescinded grants. This year the program received nine new applications.

April 4 <sup>th</sup> Meeting:	5
June 20 <sup>th</sup> Meeting:	2
Sept 19 <sup>th</sup> Meeting:	1
Nov 14 <sup>th</sup> Meeting:	1

### **Grant Requests Reviewed ~ 2017**

*(Refer to: Attached CoKHGP Regular Meeting Minutes for 2017 for details on the applications)*

#### **New Applications Approved:**

##### **(H17-1001) 1449 Ethel St, Billy Lloyd-Jones House; Active (\$5,668 approved)**

A grant towards the cost of a new asphalt shingle roof, excluding the upper section on the Billy Lloyd-Jones House located at 1449 Ethel was approved at the April 4<sup>th</sup> meeting. The committee approved a grant for the new roof using IKO Cambridge fiberglass laminated shingles in Harvard Slate colour. Only the lower section was applied for at this time because the roof is very large and costly, the upper section is in better condition and is not visible from the street. The committee approved 50% to a maximum of \$5,668 based on the low quote of \$11,336 + GST.

##### **(H17-1002) 710 Sutherland Avenue, N.D. McTavish House; Active (\$7,500 approved)**

A grant towards the prep and painting of the exterior of the N.D. McTavish House located at 710 Sutherland Avenue was approved at the April 4<sup>th</sup> meeting. The committee approved the new heritage colour scheme using the Benjamin Moore True Colour palette. The committee approved 50% to a maximum of \$7,500 based on the high quote of \$16,000 + GST, as this quote included the cost of a better quality of paint as well as the proper level of prep work on a heritage building.

##### **(H17-1003) 409 Park Avenue, F.W. Groves House; Active (\$7,500 approved)**

A grant for assistance towards a new laminated asphalt shingle roof to replace the cedar shingles for the Groves House located at 409 Park Avenue was approved at the April 4<sup>th</sup> meeting. The homeowner hired a roof inspection company to oversee the project in order to ensure a high-quality roof and installation. The committee approved 50% to a maximum of \$7,500 based on the low quote of \$19,200 + GST.

##### **(H17-1004) 1869 Maple Street, MacLean House; Approved and Completed (\$2,346)**

A grant for conservation work on the front entrance sidelights and transom windows, as well as for a new character wood door, replacing the modern metal door on the MacLean House located at 1869 Maple Street was conditionally approved at the April 4<sup>th</sup> meeting. The conditions for approval were based on an assessment of modification of the windows for double-glazing by a heritage contractor, as well as for an appropriate character door for the heritage style of the house. The conditions for approval were met and a motion was made and carried by the committee on May 16, 2017. The committee approved a grant for the conservation work based on 50% to a maximum of \$2,429 based on the quote of \$4,858 + GST.

**Project completion:** The project completion was reviewed at the November 14<sup>th</sup> meeting, including the required site visit by a committee member. The total project cost was \$4,900.62 including tax. The grant of \$2,346 was paid out to the homeowner and the grant savings of \$83 was returned to the programs for redistribution.

**(H17-1005) 545 Burne Ave, J.B. Whitehead House; Approved and Completed (\$7,250)**

A grant towards the prep and painting of the exterior of the Whitehead House located at 545 Burne Avenue was approved at the April 4<sup>th</sup> meeting. The homeowners although maintaining the current colour scheme on the house, were able to match a couple of the current colours to the Benjamin Moore True Colours palette. The committee approved 50% to a maximum of \$7,500 based on the quote of \$19,450 + GST.

**Project completion:** The project completion was reviewed at the September 19<sup>th</sup> meeting, including the required site visit by a committee member. The total project cost was \$15,225, including tax. The grant of \$7,250 was paid out to the homeowner, with a savings of \$250 that was returned to the program for redistribution.

**(H17-1006) 2178 Pandosy Street, Annie Stirling House; Approved and Completed (\$7,500)**

A grant for assistance towards a new laminated asphalt shingle roof for the Annie Stirling House located at 2178 Pandosy Street was approved at the June 20<sup>th</sup> meeting. The asphalt shingles replaced the cedar shingle roof. The homeowners chose a fiberglass shingle in a mid-tone, half-tone colour. The committee approved 50% to a maximum of \$7,500 based on the mid- quote of \$18,060 + GST.

**Project completion:** The project completion was reviewed at the November 14<sup>th</sup> meeting, including the required site visit by a committee member. The total project cost was \$19,635 including GST. The full grant of \$7,500 was paid out to the building owner.

**(H17-1007) 1912 Abbott Street, Cookson House; Active (\$4,938 approved)**

A grant for assistance for the prep and painting of the exterior of the Cookson House located at 1912 Abbott Street was approved at the June 20<sup>th</sup> meeting. The homeowners submitted a colour scheme similar to the existing colours on the house, based on the Benjamin Moore True Colour palette. The committee approved 50% to a maximum of \$4,938 based on the low quote of \$9,875 + GST.

**(H17-1008) 1449 Ethel Street, Billy Lloyd-Jones House; Approved and Completed (\$1,406)**

At the September 19<sup>th</sup> meeting, the homeowners applied for a grant for assistance towards the repair of upper section of the chimney on the Billy Lloyd-Jones House at 1449 Ethel Street. The upper row of bricks, in poor condition, are supporting the heavy cement chimney cap. The estimated cost of the project is \$2,812 + GST, based on the low quote. The grant approval was for 50% to a maximum of \$1,406. *Note: The Billy Lloyd-Jones House has an active approved grant (H17-1001) for \$5,668 towards the new roof. This left a maximum of \$1,832 in granting dollars for this building until 2020*

**Project completion:** The project completion was reviewed at the November 14<sup>th</sup> meeting, including the required site visit by a committee member. The total project cost was \$2,952 including GST. The full grant of \$1,406 was paid out to the building owner.

**(H17-1009) 1580 Water Street, Courier Building; Active (\$6,948 approved)**

A grant towards the cost of a new flat-roof system on the Courier Building located at 1580 Water Street was approved at the November 14<sup>th</sup> meeting. The committee approved a grant to replace the current tar and gravel roof with the new flat roof system that will be inspected by a certified BC roof inspector to ensure that it is properly installed. The committee approved the grant for 50% of the project including the cost of the roof inspector to a maximum of \$6,948 based on the low quote of \$13,895 + GST.

***New Applications Not Approved:***

There were no applications submitted for committee consideration that did not qualify and/or not approved for a heritage grant in 2017.

**Rescinded Grants:****(H14-711) 732 Sutherland Avenue, Coudbrough House; Rescinded (\$2,920)**

The homeowner requested that the approved grant (November 2014) towards 17 new wood storm windows on the Coudbrough House, located at 732 Sutherland Avenue, be rescinded at the November 14<sup>th</sup> meeting. The homeowner could not complete the project due to both health and financial constraints. The committee rescinded the grant for \$2,920, and the funds were returned into the program for redistribution.

**Request for an Extension and/or Modification of Approved Grant:****(H16-906) 2124 Pandosy Street, Cadder House; Extension until March 2018**

The strata president on behalf of the building owners submitted a request for a one-year extension for the prep and painting/staining of the west and south gables and two dormers, the front stairs and handrails and the rear fire escape landings and handrails on the Cadder House. The extension was requested partly because of the roof drainage project that took precedence with time and finances. The committee approved the one-year extension. (Approved at the April 4<sup>th</sup> meeting)

**Note: the owners were able to complete the project in 2017. See completions.**

**(H16-908) 608-650 Sutherland Avenue, St. Michael and All Angels Cathedral; Extension until September 2018**

The Diocese of Kootenay's Archbishop submitted a request for a one-year extension for the repair of three stone corbels, a section in the northwest wall and a chimney as well as the repair of the south stone wall on St. Michael's Cathedral located on Sutherland Avenue. The extension was requested as the furnaces in the building needed to be replaced before undertaking this conservation project. The committee approved the one-year extension. (Approved at the September 19<sup>th</sup> meeting)

**(H15-809) 2279 Benvoulin, McIver House; Second Extension until June 2018**

COHS, the building owner, requested a seven-month extension until June 2018 to complete the conservation work on the exterior of the McIver House. The request is because the heritage contractor that was hired has had limited time to work on the project as has been working up north and is only in Kelowna for a short time once a month. As there are very few heritage contractors in the area and this is specialized work, the project is taking much longer than anticipated. The committee approved the extension until June 2018. (Approved at the November 14<sup>th</sup> meeting) **Note: Cheryl Spelliscy removed herself from deliberations as she is the board representative for the CoKHGP committee.**

**(H15-810) 732 Sutherland Avenue, Coudbrough House; Second Extension until June 2018**

The homeowner requested a seven-month extension until June 2018 for the approved grant towards the back-addition repairs on the Coudbrough House. The homeowner is requesting an extension due to her health and the difficulty in finding a contractor to take on the fairly small project. The committee approved the extension. (Approved at the November 14<sup>th</sup> meeting)

**Completed Grants:****(H16-905) 815 Bernard Avenue, Winter House; Completed April 2017 (\$2,475)**

The project completion towards the new asphalt shingle roof on the Winter House was reviewed at the April 4<sup>th</sup> meeting (including the required site visit by a committee member). The total project cost was \$11,235 including GST. The maximum grant for \$2,475 was paid out to the homeowner. This completed the grant approved at the April 2015 meeting. **Note: The Winter House received a heritage grant in 2015 for conservation and maintenance repairs and therefore only qualified for a maximum grant of \$2,475.**

**(H16-912) 2124 Pandosy Street, Cadder House; Completed April 2017 (\$3,168)**

The project completion for two new rock pits and drain lines in order to solve the roof water drainage problem on the municipal heritage designated Cadder House located at 2124 Pandosy Street was reviewed at the April 4<sup>th</sup> meeting (including the required site visit by a committee member). The total project cost was \$6,551.75 including GST. The maximum grant of \$3,168 was paid out to the homeowners. This completes the grant approved at the November 2016 meeting.

**(H16-911) 770 Lawrence Ave, Women's Institute Hall; Completed September 2017 (\$2,480)**

The project completion towards the prep and painting of the exterior of the Women's Institute Hall, located at 770 Lawrence Avenue, was reviewed at the September 19<sup>th</sup> meeting (including the required site visit by a committee member). The total project cost was \$5,520 including GST. The maximum grant of \$2,480 was paid out to the Kelowna Canadian Italian Club, the building owner. This completes the grant approved at the September 2016 meeting.

**(H16-906) 2124 Pandosy Street, Cadder House; Completed September 2017 (\$3,402)**

The project completion for the prep and painting/staining of the west and south gables and two dormers, the front stairs and handrails and the rear fire escape landings and handrails on the Cadder House located at 2124 Pandosy Street was reviewed at the September 19<sup>th</sup> meeting (including the required site visit by a committee member). The total project cost was \$7,144 including GST. The grant of \$3,402 was paid out to the building Strata. There was a significant savings of \$2,093, which was returned to the program for redistribution. This completes the grant approved at the March 2016 meeting.

**(H17-1005) 545 Burne Ave, J.B. Whitehead House; Completed September 19<sup>th</sup> 2017 (\$7,250)**  
(Details in the New Application section)

**(H17-1004) 1869 Maple Street, MacLean House; Completed November 14<sup>th</sup> 2017 (\$2,346)**  
(Details in the New Application section)

**(H17-1006) 2178 Pandosy Street, Annie Stirling House; Completed November 14<sup>th</sup> 2017 (\$7,500)**  
(Details in the New Application section)

**(H17-1008) 1449 Ethel Street, Billy Lloyd- Jones House; Completed November 14<sup>th</sup> 2017 (\$1,406)**  
(Details in the New Application section)

**Notes:**

**The total project cost** before taxes is the amount that grant approval is based on. Taxes are the responsibility of the building owners.

**In roofing projects**, the use of a half-tone medium colour is generally recommended by the committee as being appropriate for the building and for the Okanagan climate.

**In roofing projects**, the committee highly recommends that a roof inspector is hired to ensure that the roof is properly installed and won't fail in the near future. A minimum one-year warranty on both the materials and the labour is required in order to complete all new roof projects.

**In painting projects**, the use of the Benjamin Moore True Colours for Western Canada palette is highly recommended by the committee for an authentic heritage colour scheme.

## CoKHGP Manager Activities

The program manager had approximately 270 hours allotted for the grants program in 2017. The program manager worked closer to 280 hours this year. This allows about 5.5 hours a week (based on about 48 weeks) to work on the grants program. However due to the nature of the program and the flexibility that the manager must have to administer it, there are certain times of the year that the manager is required to work 10-20 hours in a week. As well the program manager will be required to answer inquiries during her COHS office hours and sometimes even after office hours, to ensure that (potential) applicants are best looked after in a timely manner. When the program first began ten years ago, the program manager had Tuesday afternoon hours only. It was soon apparent that this did not work well for this type of program, especially as application deadlines approached. The program manager must be very flexible in her time for the success of the program. This does present challenges, especially with tracking the time of each interaction. The majority of the emails and calls are tracked by each building address. It should be noted that one general inquiry about the program may take place one year and then a couple of years later may be followed up with more serious intent to apply for a grant. The following is a rough estimate of the breakdown of the manager's time spent on tasks to administer the program.

**NOTE:** The number of hours may vary each year. This is sometimes due to a slight increase in the manager's hourly wage.

**NOTE:** Additional tasks include: recording hours worked for payroll every two weeks; purchasing supplies for program (i.e. stamps for mail-out) and refreshments for each meeting; filling out expense sheets for purchases and mileage (i.e. travel to meetings and to purchase supplies)

<b>Set up program for year:</b>	12 - 15 hours/year
<b>Tracking and Filing:</b>	15 - 18 hours/year
<b>Reporting:</b>	47 - 49 hours/year
<b>Financials:</b>	10 - 12 hours/year
<b>Committee Members &amp; Communications:</b>	5 - 8 hours/year
<b>Program and Heritage Inquiries:</b>	32 - 35 hours/year
<b>Project Application/Completion Process:</b>	45 - 50 hours/year
<b>Committee Meetings and Follow up:</b>	75 - 80 hours/year
<b>Program Information Session (New)</b>	9-10 hours/year
<b>Volunteer Appreciation, Education &amp; Awareness</b>	5 - 8 hours/year

### ***Set up program for year:***

-Set and confirm meeting dates & application/completion deadlines

-Book city council presentation - This includes: confirm which committee member will give presentation to council; attend and help answer questions if needed

-Annual mailout - This includes: update mailout letter; mailout insert on past 2-3 years of grant recipients and types of projects that received grants for conservation work; getting info to city staff and picking up materials for mailout, stuffing envelopes and mailing letters; follow-up on any returned letters

-Update CoKHGP guidelines/application – Email city staff and ensure that the updated information is posted on the city and COHS websites

-Committee Members– Ensure that the committee has knowledgeable persons with heritage, history, construction, architecture, etc. expertise. Give orientation for any new committee members, prior to attending their first meeting. Update contact information on committee.

**Tracking and Filing:**

*-Inquiries* (phone calls, emails, face to face) - These are noted on contact forms for each heritage register building. There are also some general inquiries each year from individuals that do not own a Kelowna Heritage Register building. These range from inquiries on how to get their building on the Kelowna Heritage Register to what is an appropriate heritage paint scheme on their character house. Inquiries also include request for contact information for heritage building contractors, how to repair traditional windows, sources of old Kelowna brick etc.

*-Update grants on master list* - Each application is tracked and updated on a master list. Information includes: grant number, address, amount awarded, amount paid out, any savings, amount rescinded, if completed, not approved, etc. The total amounts are included from the first year of the program. This information is compiled in *Appendix 1: City of Kelowna Heritage Grants Program Applications 2007-2016* of this report.

*-Update and management of building files by address* - This includes both inquiries, active and completed grant files. The files also include the building's Statement of Significance (SOS) and may include photographs. *\*Note: The time available to track and maintain the files is minimal. Additional time is needed in order to properly maintain and update the building inquiry files.*

**Reporting:**

*-Mid-Year Review with city planning staff* – On June 27<sup>th</sup> 2017, the program manager and the COHS managing director met with city planning staff to review the first half of the year. The program manager submitted a brief report on the program activities to date and what was planned for the rest of the year.

*-Year-End Report to City of Kelowna* – The compilation of the Year-End Report uses time allotted in 2017 and in 2018. The report is submitted to city staff for feedback at the end of the year and once the final bank statements are received in mid-January, final revisions are completed. The report is submitted to city planning staff for the last time in late January and included in the city council information package for the power point presentation in February.

*-City staff questions on program*- The amount of time spent on this varies each year.

*-Regular meetings with COHS managing director to discuss any issues/information on program* - This includes: follow up on each meeting; any issues that may arise, financial updates- including requests for cheques when projects are completed); update of the program to COHS Board members (usually done by the program manager and/or the COHS Board representative on the CoKHGP committee).

*-Grants Program power point presentation to City Council during Heritage Week.* The program manager has continued this tradition that was begun when the first grants program began as the Kelowna Heritage Foundation. The intent of the presentation is to show city council the buildings that received a heritage grant the year previous, the amount of money awarded, to thank city council for supporting the grants program and answer any questions. The CoKHGP Year-End Report is included in the council information package before the presentation. This was added to the program's Terms of Reference in 2015. The program manager creates the power point presentation for City Council that is presented by one of the heritage grants committee members.

**Financials:**

*-Grant money available for year* – Determine rollover money from year prior to add to annual allotment for program. This determines the total amount of funds available for distribution for the year.

*-Grant money available for each meeting* - Prior to each meeting, the manager updates the amount of money left for grants for the committee's information. This indicates how much money has been allocated and how much is left for the rest of the year.

*-Update the list of applications* – This includes the approved grant amount, the paid-out amount, grant savings and if rescinded. This is compiled at the end of the year and in January to determine the rollover money for 2018. *Note: overlap with tracking and filing section*

#### ***Committee Members:***

The program manager is responsible for ensuring that there is a full committee. There were a couple of committee changes in 2017. Bob Hayes became an alternate member on the committee with historical expertise. The second new committee member was Cheryl Spelliscy who came on as the alternate COHS representative. In the summer, Cheryl became the regular COHS representative, when Shona Harrison left the COHS board due to personal commitments. Shona stayed on as an alternate member on the grants committee. Tracey Read continued as the committee chair for the year. There were five regular members and four alternate members on the committee in 2017.

#### ***Program and Heritage Inquiries:***

(Please refer to **Summary of the Project Application to Completion Process** for additional information)

#### ***Project Application/Completion Process:***

(Please refer to **Summary of the Project Application to Completion Process** for additional information)

#### ***The ‘average’ application process***

1. Contact the program manager looking for information on grant deadlines and application and types of projects that would qualify/or specifically would their project qualify for a grant. The program manager will help the applicant understand what good conservation projects would entail. For example, the manager will let the applicant know that in a paint project the following is important to consider: importance of prep through sanding and scrapping, not power washing; use of good quality paint; appropriate heritage colour scheme as in the researched True Colour palette by Benjamin Moore; etc.
2. Follow up by program manager and/or applicant re: questions specifically about the application requirements. This may include the type of photos needed, other names of contractors that do specific work (especially in conservation projects, such as traditional window repair), types and colours of materials appropriate for project (i.e. asphalt shingles for a new roof), etc. The program manager will give the new application a file number once it is received.
3. Once the application is completed, the applicant will arrange to drop it off while the program manager is in the office. Most times the program manager will have time to go through the application with the applicant to determine if everything is submitted. In many cases, additional photos are needed, quotes do not reflect the same work quoted on (i.e. need clarification by contractor), etc.
4. Follow up will be needed to ensure that the missing pieces/clarification needed is received prior to the meeting.
5. The program manager will go through all the applications prior to the meeting to double check that everything is in order and will create the agenda for the meeting based on this.

#### ***Committee Meetings and Follow up:***

There were four Regular Meetings in 2017 (April 4<sup>th</sup>, June 20<sup>th</sup>, September 19<sup>th</sup> and November 14<sup>th</sup>) to consider grant applications and other program business. A significant amount of the manager’s time was spent preparing for each meeting, attending the meeting and the follow up after each meeting.

Activities included: creating the agenda, gathering and compiling materials and applications for the meetings, ensuring a quorum, attending and recording the meeting, answering any questions that may come up about the applications, transcribing the minutes and sending to committee members, COHS

managing director and to the city staff, writing letters to grant applicants re: Committee's decisions and any other follow-up required. Projects that required other actions from meetings may include: project completion letters with cheques mailed out (this includes a cheque request to the COHS managing director and two signatures); project modifications, extensions or rescinded letters mailed out.

***Program Information Session (New):***

This was the first year that a CoKHGP Information Session was held as a way to let heritage building owners know about the program and ask questions in a group setting. This was one of the recommendations made by the program manager in 2016. Lauren Sanbrooks, the planning liaison for the program, joined the program manager in making a presentation on March 9<sup>th</sup>, 2017. The session was fairly well-attended with attendees including: owners of heritage register buildings, owners of character homes that were interested in having their homes added to the register and people with an interest in heritage.

***Committee Communications:***

The manager regularly passes on information to the grants committee on heritage events, workshops, conferences, forums, issues, etc. at the local, provincial and national level.

***Volunteer Appreciation Event:***

The manager provided refreshments/appetizers after the November 14<sup>th</sup> meeting to the committee members. This provided the committee and manager some social time, in which the manager was able to thank the grants committee for their hard work and dedication to the program.

***Education and Awareness ("Getting the Word Out"):***

There were a couple of 'educational' opportunities that the committee and manager were able to take advantage of. These included the following:

-*Resources*- The program manager has built a resource area for the use of the grant program (committee members and heritage building owners) and COHS. This collection of reference materials has been and will continue to be helpful in researching and recommending good conservation practice when dealing with heritage resources. (Note 1)

-*Heritage BC Annual Conference*, held in Victoria, BC on May 4 to 6, 2017 was attended by a number of Kelowna people including the program manager. (Note 2)

-*Heritage BC Webinars & heritage talks*- There were a number of webinars and talks offered through COHS in 2017. The Heritage BC Webinars included: *The Economic Impact of Heritage: Making Data Relevant* (May 26<sup>th</sup>) and *Heritage Property Management Plan: A Process Webinar* (October 13<sup>th</sup>). These were attended by a couple of committee members and the program manager. There were two heritage talks (as well as the CoKHGP Information Session) offered by COHS. These included: *Colour Matters II* (June 22<sup>nd</sup>) co-presented by the program manager and Benjamin Moore and *Heritage Conservation Areas in BC* (November 16<sup>th</sup>) with a presentation by city planning manager Danielle Noble-Brandt and a viewing of the Heritage BC webinar of the same title. These talks were well-attended by committee members as well as by heritage building owners. **(NOTE: the program manager did not use program hours from this program for the Webinars or these two talks)**

There were a number of opportunities to get out the word about the grant program in 2017. These activities included the following:

-For the tenth year, a letter about the grant program was sent out to each building owner on the heritage register. The mail out was completed at the end of February 2017, as the contract for the heritage grants program was completed after the city council presentation on February 6<sup>th</sup> 2017.

-Shona Harrison, COHS representative committee member, presented the power point presentation on the grant program to City Council on February 6<sup>th</sup>, 2017, the week prior to Heritage Week (*Note 3*), along with thanking council for their continued support for heritage grants in Kelowna, including the continued annual allotment of \$35,000 (raised in 2014). A number of committee members, the program manager and the COHS managing director attended the council meeting to show their support.

-The media published a couple of articles in the local papers following the COHS ~ AGM and the City Council presentation.

-The Central Okanagan Heritage Society produces two newsletters a year (sent out to about 200 recipients). The COHS newsletter is also posted on the COHS website. Each newsletter contains an article and/or information on the City of Kelowna Heritage Grants Program and other related writeups. The 2017 COHS Spring and Fall Newsletters included an article about the Heritage Grants Program and featured a building that recently received a heritage grant. Other related articles included writeups on Gordon Hartley who was remembered in the Fall 2017 COHS Newsletter for his heritage work, including his time as a heritage grants committee member.

-The program manager, the committee, the COHS ED, and the COHS Board took every opportunity to let the public know about the grants program. Opportunities included: Heritage Week events including the City Council presentation and COHS's Heritage Awards Ceremony Luncheon; COHS events such as the AGM and Christmas at Benvoulin.

-On the COHS website, there is a link to the City of Kelowna website, the current CoKHGP Guidelines and Application form and the Terms of Reference. There is also a page on the COHS website that has been dedicated to information about the grants program.

**Note 1:** The grant program does not have a membership in Heritage BC or with the Heritage Canada Foundation, however, the program still does receive the Heritage BC e-mails and newsletters as well as Heritage Canada newsletters through COHS' membership.

**Note 2:** The grant committee continues to take part in heritage conferences and workshops on their own time and own expense. The program manager, along with COHS managing director and a board member attended the Heritage BC conference in Victoria in May. The committee continues to be very active heritage advocates in Kelowna, which is a huge benefit to the grants program.

**Note 3:** Heritage Week offers a time for citizens across Canada to give recognition and pay special tribute to the heritage of their communities. The Heritage Week celebrations continue to be very successful and the many events that take place during the week provide the community with an opportunity to witness the strong commitment of Kelowna citizens towards raising awareness of the City's heritage resources.

## COKHGP Administrative Costs in 2017

The Central Okanagan Heritage Society has now completed its tenth year of administering the City of Kelowna Heritage Grants Program for the City of Kelowna.

For 2017 the society received a contract for a total amount of \$9,500 (GST \$452.38), an increase of \$727 from last year's amount of \$8,773 (GST \$417.76). This was the first increase in the administration fee received by COHS, excluding the addition of GST, in ten years.

The costs allocated for the administration of the program are as follows:

• Wages for program manager including wages/holiday pay/Worksafe BC/CPP/EI	\$7,816
• Wages/benefits for contract management oversight	\$ 394
• Year –end accounting allocation	\$ 120
• Monthly bookkeeping allocation	\$ 240
• Refreshments and Year-end appreciation event for volunteers	\$ 125
• Kilometers for site visits and meetings	\$ 40
• Office supplies/overhead/miscellaneous	\$ 110
• Postage	\$ 288
• Telephone and internet connection	\$ 96
• GST - 60%	\$ 271

## Recommendations for the Program and Updates ~ 2018

As in the past years, it is strongly recommended that the annual allotment grant be increased until it reaches the amount recommended in the *City of Kelowna Heritage Strategy 2007, updated July 2015*. It is recommended that regular increases occur until the allotment reaches \$50,000 per year. The program began in 1991 with \$20,000, an amount that remained unchanged until 2009. The amount was increased to \$30,000 in 2010 and increased to \$35,000 in 2014. There has been a steady increase in demand since the Heritage Grant program began. With the increase in the maximum grant amount in 2017, this is likely to continue.

The second recommendation is to again allow some of the program manager's time to be used to organize a program information session for the grants program. Like in 2017, the information session would be geared towards heritage building owners who are thinking of applying for a grant but would like to learn how to do so. This may both help answer some of the more common application questions at the start of the year and may also encourage more people to apply for a heritage grant. The session worked very well with both the program manager and the City planning staff liaison as co-presenters.

It is recommended that the CoKHGP Terms of Reference document be revised to include the heritage grants committee member composition. This would increase awareness of the qualifications of committee members as well as let potential volunteers know how to apply to serve on the committee.

- a) One person from the Central Okanagan Heritage Society Board;
- b) One person from the architectural field;
- c) One person from the construction industry;
- d) Interested private citizens (with a knowledge in local history and/or heritage).

It is recommended that the heritage grants guidelines and application include the requirement to have a certified roof inspection after a new roof is installed in order to ensure a high level of workmanship.

It is recommended that the heritage grants guidelines and application also include the requirement to use the Benjamin Moore True Colour heritage palette in order to qualify for 50% up to a maximum of \$7,500 for prep and paint projects.

A final recommendation is to confirm the management of the program before the start of the new year (i.e. by early December), in order to plan for the next year and set up the program in early January instead of at the end of February. It is also strongly recommended that a two to three-year contract be implemented to allow COHS to plan for the upcoming year(s).

As an update, in 2017, three previous recommendations to the program were achieved. The maximum grant in a three-year time period for each heritage register building was increased to better reflect the 2017 real costs of conserving and maintaining a heritage property. The administration fee to run the program was increased in 2017. This was the first increase in the administration fee received by COHS, excluding the addition of GST, in ten years. A successful Heritage Grant Information Session was held in March for the program. The session was co-presented by the program manager and the city planning staff liaison.

## Conclusion

As the manager of the City of Kelowna Heritage Grants Program, I wish to acknowledge and thank the CoKHGP committee members for their dedication and service during the past year. I would also like to thank the City of Kelowna for the ongoing financial commitment that enables heritage property owners to undertake heritage conservation projects and maintain their heritage buildings.

Respectively Submitted,

Lorri Dauncey, program manager, CoKHGP

MA (Planning/ Heritage Conservation), Dip (Cultural Resource Management/ Heritage Conservation), BA (Art History)

# REPORT TO COUNCIL



**Date:** February 19, 2018

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (MS)

**Application:** OCP17-0002/Z17-0007  
**Owners:** Parkbridge Lifestyle Communities Inc., Inc. No A0083070  
City of Kelowna

**Address:** 1511 Tower Ranch Drive  
1501 Tower Ranch Drive  
**Applicant:** MMM Group Ltd. (WSP)

**Subject:** Official Community Plan Amendment and Rezoning Application

**Existing OCP Designations:** S2RES – Single / Two Unit Residential  
S2RESH – Single / Two Unit Residential – Hillside  
PARK – Major Park and Open Space (public)  
MRL – Multiple Unit Residential (Low Density)

**Proposed OCP Designations:** S2RES – Single / Two Unit Residential  
PARK – Major Park / Open Space (public)  
MRL – Multiple Unit Residential (Low Density)

**Existing Zones:** RU5 – Bareland Strata Housing  
RM2 – Low Density Row Housing  
P3 – Parks and Open Space

**Proposed Zones:** RU5 – Bareland Strata Housing  
RM2h – Low Density Row Housing (Hillside Area)  
P3 – Parks and Open Space

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## Recommendation

THAT Official Community Plan Map Amendment Application No. OCP17-0002 to amend Map 4.1 in the Kelowna 2030 – Official Community Plan Bylaw No. 10500 by changing the Future Land Use designation of *the properties as outlined in Schedule A, located as outlined in Schedule A*, from the future land use designations identified in the OCP for the properties from Single / Two Unit Residential – Hillside (S2RESH) to Single / Two Unit Residential (S2RES); from Single / Two Unit Residential – Hillside (S2RESH) to Major Park / Open Space (public) (PARK); from Single / Two Unit Residential (S2RES) to Major Park / Open Space (public) (PARK); from Multiple Unit Residential (Low Density) (MRL) to Single / Two Unit Residential (S2RES); and from Single / Two Unit Residential – Hillside (S2RESH) to Multiple Unit Residential (Low Density) (MRL) as shown on Map “A” attached to the Report from the Community Planning Department dated February 19, 2018, be considered by Council;

AND THAT the Official Community Plan Map Amending Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT Council considers the public process to be appropriate consultation for the *Purpose* of Section 879 of the *Local Government Act*, as outlined in the Report from the Community Planning Department dated February 19, 2018;

THAT Rezoning Application No. Z17-0007 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of *the properties as outlined in Schedule A, located as outlined in Schedule A*, from RU5 – Bareland Strata Housing to P3 – Parks and Open Space; from P3 Parks and Open Space to RU5 – Bareland Strata Housing; from RM2 – Low Density Row Housing to RU5 – Bareland Strata Housing; from RM2 – Low Density Row Housing to RM2h – Low Density Row Housing (Hillside); from RU5 – Bareland Strata Housing to RM2h – Low Density Row Housing (Hillside) as shown on Map “B” attached to the Report from the Community Planning Department dated February 19, 2018, be considered by Council;

AND FURTHER THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration.

### **1.0 Purpose**

To amend the Official Community Plan to change the future land use designation, and rezone the subject properties, to facilitate the revised development plan for the subject property and proposed additional area for Tower Ranch Mountain Park.

### **2.0 Community Planning**

Community Planning supports the proposed OCP and Zone amendments. Staff have worked with the applicant to avoid and mitigate impacts to the natural environment and hazardous condition areas of the subject property. Of note with respect to the OCP Amendment is that the plan:

- Reflects land designations that better protect Industry Brook and significant grassland rocky knolls;
- Reflects a proposed property transfer between the development property and Tower Ranch Mountain Park to better achieve the protection of Industry Brook and associated significant grassland areas; and
- Corresponds with the City’s natural open space/park objectives.

The applicant has a current application with the City for a Natural Environment / Hazardous Conditions Development Permit for the remainder of this property. A No-Build / No-Disturb Restrictive Covenant will be required prior to subdivision for natural and hazardous condition areas that remain on the subject property. The new concept plan achieves several objectives of the Official Community Plan, including:

- Public space;
- Retention of natural areas;
- Linear Parks;
- Pedestrian linkages; and
- Designing for people and nature.

The amendments will align the locations of RU5 Bareland Strata Housing and RM2h – Low Density Row Housing (Hillside) to align with the applicant’s development plan.

Staff have reviewed this application and it may move forward without affecting either the City's Financial Plan or Waste Management Plan.

### 3.0 Proposal

#### 3.1 Background

At the time of current OCP (approved in May 2011), the subject properties were owned by a previous developer. The configuration of future land use designations was designed in accordance with the previous concept plan.

In 2012, Tower Ranch Lots 3, 4 and 6 were purchased by Parkbridge Lifestyle Communities Inc. (Parkbridge). Parkbridge develops communities based on a life lease concept, whereby the owner developer maintains ownership and management through the life of the development. As the future land use plan was designed by a previous developer, Parkbridge has an interest in amending the configuration of the future land uses to align with their vision. The proposed OCP Amendment has been designed in accordance with their concept plan, as well as geotechnical and environmental assessments. Additional dedication for park area will be designated as 'Park' with this proposal and be transferred to the City through dedication at subdivision. In addition, the plan accommodates additional road dedication which will provide improved public access and lot frontage to Tower Ranch Mountain Park.

The Agricultural Land Commission approved the golf course and residential development for Tower Ranch through a number of resolutions, the most recent of which was Resolution #498/2006.

#### 3.2 Site Context

The site is located on the upper McCurdy Bench in the Rutland OCP Sector of the City. The Tower Ranch Golf Course lies to the west of the subject property. Solstice Phases I and II are currently being developed and are owned by the applicant, and offered through long term lease agreements.

Tower Ranch Mountain Park lies to the south of the development property. Residential properties are further to the northwest, along Tower Ranch Boulevard and Split Rail Place, and more residences are being developed north of Tower Ranch Boulevard.

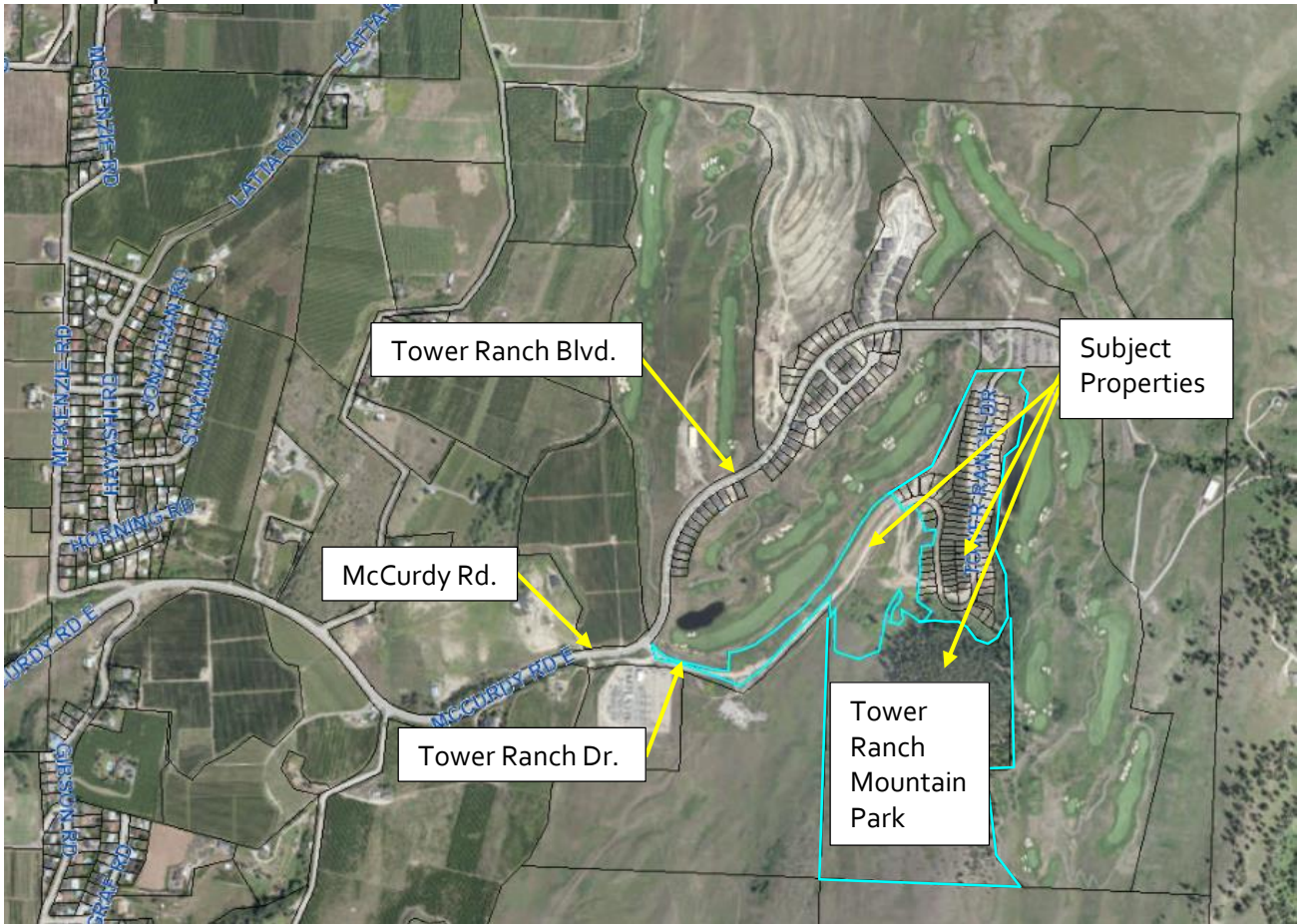
Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	P3 – Parks and Open Space P3LP – Parks and Open Space w/ Liquor Primary Clubhouse	Golf Course Golf Course Clubhouse
East	P3 – Parks and Open Space	Golf Course
South	A1 – Agriculture 1 / P3 – Park & Open Space	Rural Residential / Park / Hydro Transfer Station
West	P3 – Parks and Open Space	Golf Course

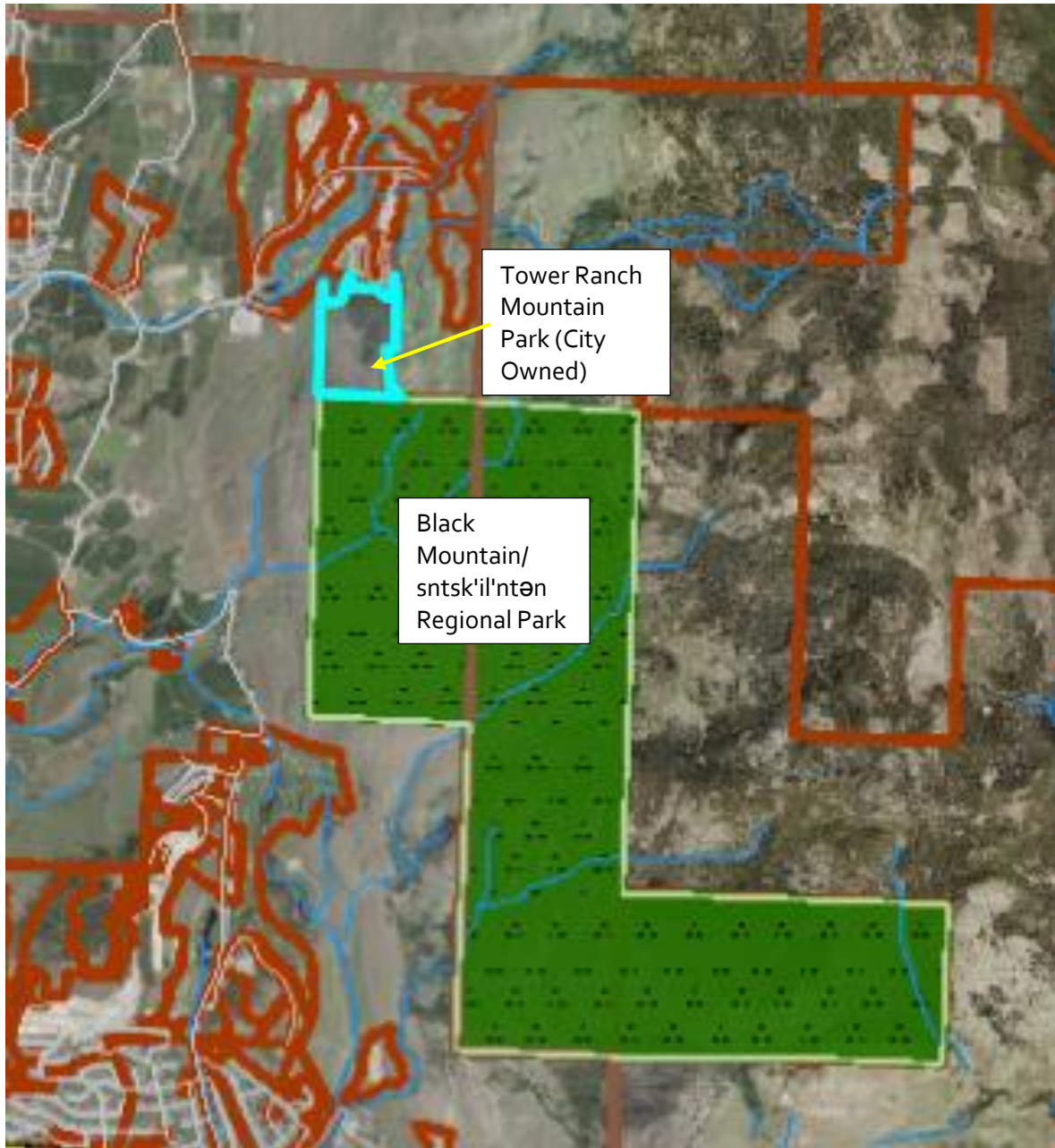
### Subject Properties Map



### Context Map



### Tower Ranch Mountain Park



Note\* RDCO Park Map <sup>1</sup>

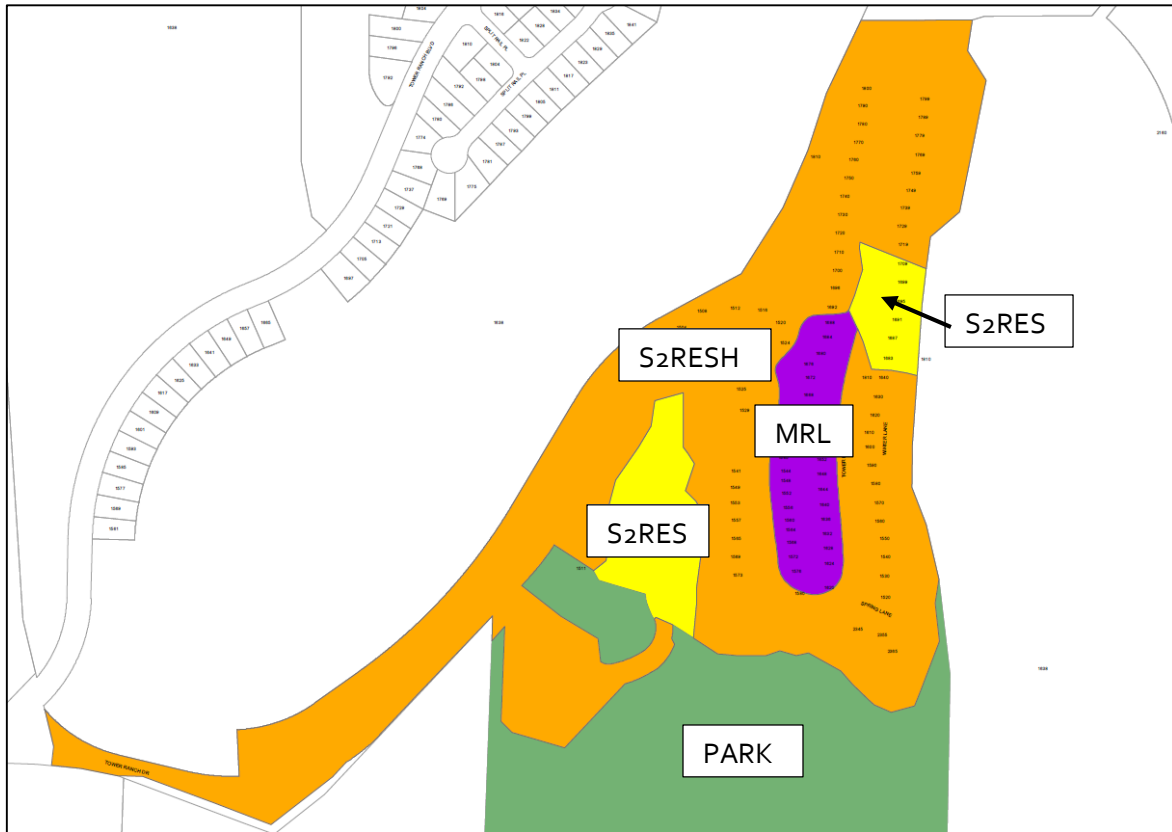
### 3.3 Project Description

The OCP Amendment will designate the bareland strata lots area to S2RES – Single and Two Unit Residential. It will refine the area of MRL – Multiple Unit Residential (Low Density) MRL for the row housing units to align with the development plan. It will also designate the proposed additional dedicated park area as PARK.

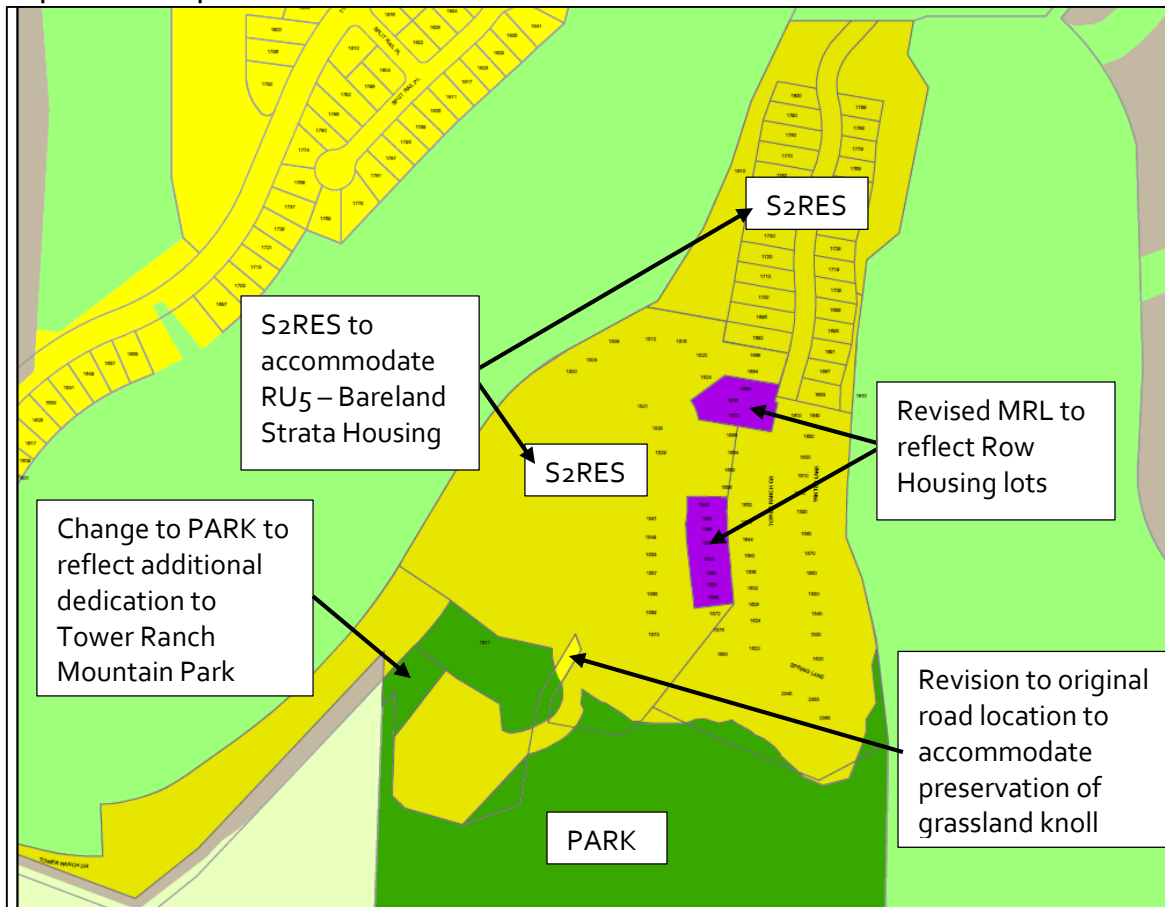
The zoning amendments will re-designate the locations of RU5 Bareland Strata Housing and RM2h – Low Density Row Housing (Hillside) to align with the applicant's development plan. In addition, the additional park area will be designated P3 – Parks and Open Space. See Conceptual Maps A and B, below, and detailed Maps A and B, attached.

<sup>1</sup> RDCO, 2017. Park Maps [https://www.rdcogis.com/GIS\\_App/RDCO\\_GIS\\_App.html](https://www.rdcogis.com/GIS_App/RDCO_GIS_App.html)

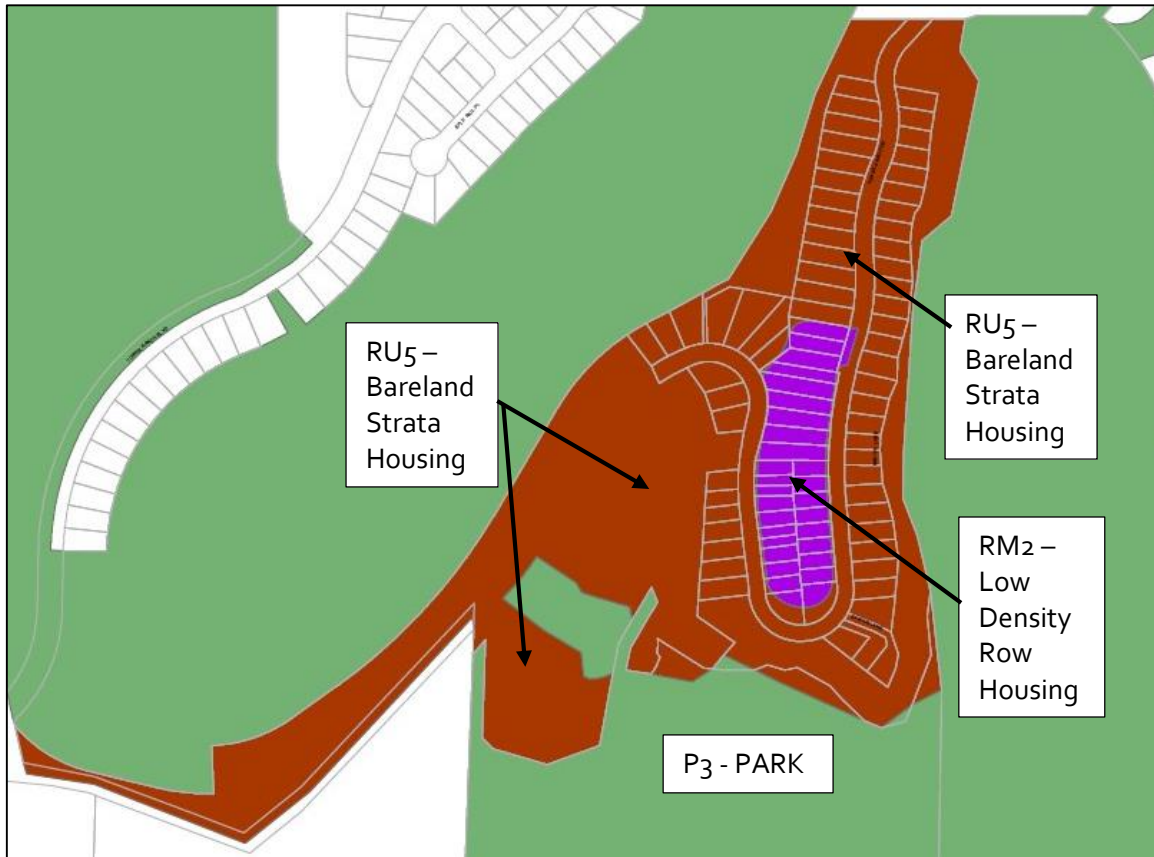
Map A – OCP Existing



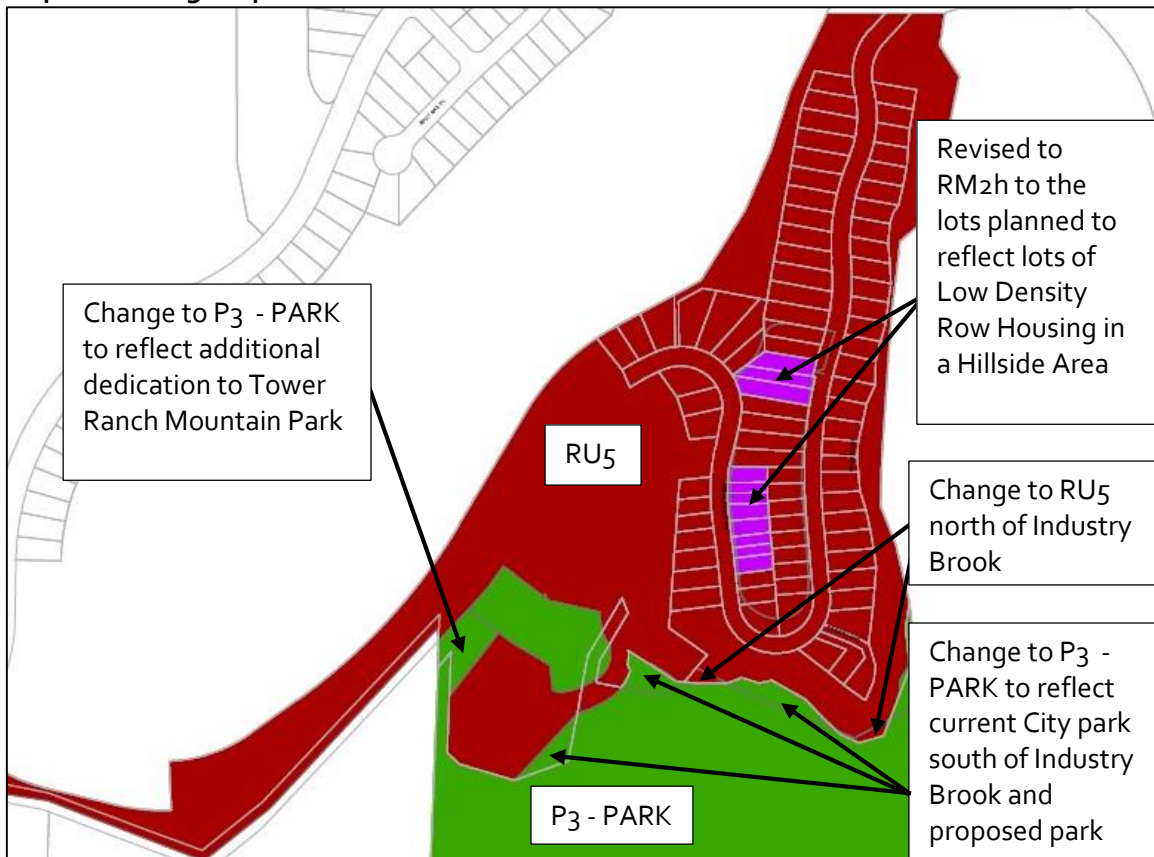
Map B – OCP Proposed



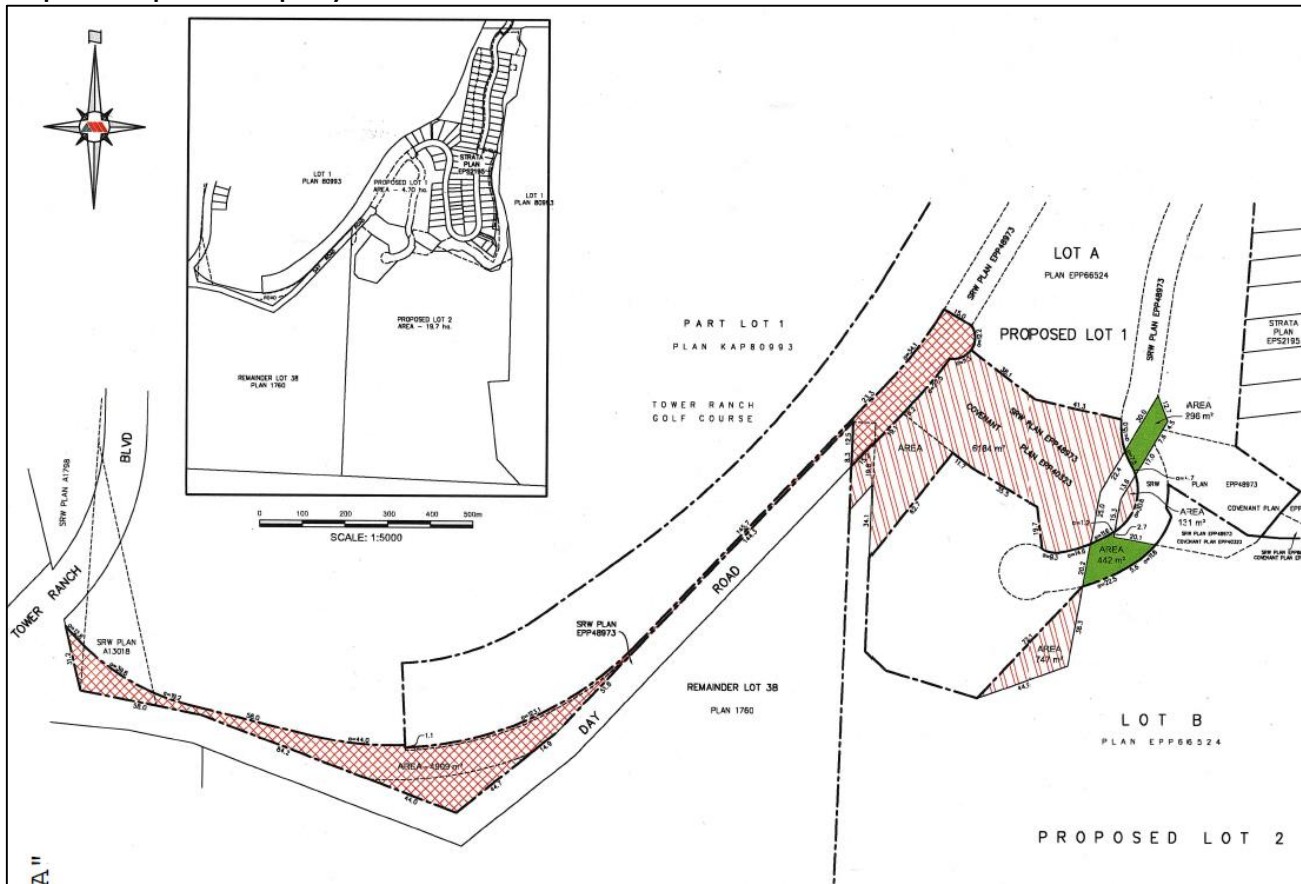
Map C – Zoning Existing



Map D – Zoning Proposed



## Map E – Proposed Property Transfer and Road Dedication



### LEGEND

Transfer to City of Kelowna (Fee Simple)	
Transfer to Parkbridge (Fee Simple)	
Transfer to City of Kelowna (Road Dedication)	
Proposed Boundary	
Existing Lot Boundary	
Existing Covenant and Right of Way Boundary	

## 4.0 Public Notification

Staff understands that the applicant has undertaken public notification in accordance with Council Policy #367. This included delivering a letter, including a map of the proposed OCP Amendments to neighbouring residents. The record of public notification was received on August 11, 2017.

## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Steep Slopes.**<sup>2</sup> Prohibit development on steep slopes (+30% or greater for a minimum distance of 10 metres) except where provided for in ASPs adopted or subdivisions approved prior to adoption of OCP Bylaw 10500.

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

**Design for People and Nature.**<sup>3</sup> Structure new neighbourhoods around parks, pedestrian and bike routes, open spaces, and environmental areas, rather than around roadways and cars.

**Develop parkland to respond to user needs.**<sup>4</sup> Design parks to meet the needs of a variety of user groups, including families, youth, and seniors.

## **6.0 Technical Comments**

### **6.1 Development Engineering Department**

- a) All offsite infrastructure and services upgrades are addressed in the Subdivision Application Engineering Report under file S14-0045.
- b) Statutory Rights of Way are required over the storm drainage system as per the Storm Water Management Plan.

## **7.0 Application Chronology**

Date of Complete Application Received:	January 26, 2017
Date of Circulation Comments Received:	April 5, 2017
Date Public Consultation Completed:	August 11, 2017

**Report prepared by:** Melanie Steppuhn, Land Use Planner

**Reviewed by Approved for Inclusion:** Terry Barton, Urban Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

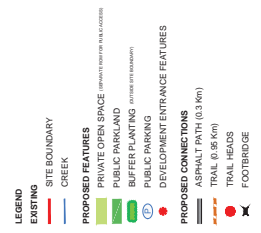
### **Attachments:**

Bylaw No. 11488 - Schedule A Map A – OCP Amendment OCP17-0002  
Bylaw No. 11489 - Schedule B Map B – Zoning Amendment Z17-0007  
Subdivision Plan – 1511 Tower Ranch Drive  
Development Engineering Memo (Feb. 22, 2017)

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<sup>3</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>4</sup> City of Kelowna Official Community Plan, Policy 7.16 (Infrastructure).



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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** February 22, 2017  
**File No.:** Z17-0007, OCP17-0002  
**To:** Suburban and Rural Planning (MS)  
**From:** Development Engineering Manager (SM)  
**Subject:** 1511 Tower Ranch Drive                      Lot 3, Plan 80993

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The Development Engineering Department has the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this rezoning and OCP amendment application.

The Development Engineering Technologist for this project is Jason Ough

**1. General**

- a) All offsite infrastructure and services upgrades are addressed in the Subdivision Application Engineering Report under file S14-0045.
- b) Statutory Rights of Way are required over the storm drainage system as per the Storm Water Management Plan.

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Steve Muenz, P. Eng.  
Development Engineering Manager

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# SCHEDULE A – OCP17-0002

No.	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
1	Portions of Lot B Section 31 Township 27 ODYD Plan EPP66524	1501 Tower Ranch Dr	PARK REC S2RES S2RESH	PARK S2RES
2	Portions of Lot A Section 31 Township 27 ODYD Plan EPP66524 Except Strata Plan EPS2195 (Phase 2)	1511 Tower Ranch Dr	PARK REP S2RES S2RESH	S2RES PARK
3	Common Property Strata Plan EPS2195	1810 Tower Ranch Dr	MRL S2RES S2RESH	S2RES
4	Strata Lot 1 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1800 Tower Ranch Dr	S2RESH	S2RES
5	Strata Lot 2 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1790 Tower Ranch Dr	S2RESH	S2RES
6	Strata Lot 3 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1780 Tower Ranch Dr	S2RESH	S2RES
7	Strata Lot 4 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1770 Tower Ranch Dr	S2RESH	S2RES
8	Strata Lot 5 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1760 Tower Ranch Dr	S2RESH	S2RES
9	Strata Lot 6 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1750 Tower Ranch Dr	S2RESH	S2RES
10	Strata Lot 7 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1740 Tower Ranch Dr	S2RESH	S2RES
11	Strata Lot 8 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1730 Tower Ranch Dr	S2RESH	S2RES
12	Strata Lot 9 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1720 Tower Ranch Dr	S2RES S2RESH	S2RES

No.	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
13	Strata Lot 10 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1710 Tower Ranch Dr	S2RES S2RESH	S2RES
14	Strata Lot 11 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1700 Tower Ranch Dr	S2RES S2RESH	S2RES
15	Strata Lot 12 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1696 Tower Ranch Dr	S2RES S2RESH	S2RES
16	Strata Lot 13 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1692 Tower Ranch Dr	MRL S2RES S2RESH	S2RES
17	Strata Lot 14 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1799 Tower Ranch Dr	S2RESH	S2RES
18	Strata Lot 15 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1789 Tower Ranch Dr	S2RESH	S2RES
19	Strata Lot 16 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1779 Tower Ranch Dr	S2RESH	S2RES
20	Strata Lot 17 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1769 Tower Ranch Dr	S2RESH	S2RES
21	Strata Lot 18 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1759 Tower Ranch Dr	S2RESH	S2RES
22	Strata Lot 19 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1749 Tower Ranch Dr	S2RESH	S2RES
23	Strata Lot 20 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1739 Tower Ranch Dr	S2RESH	S2RES
24	Strata Lot 21 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1729 Tower Ranch Dr	S2RESH	S2RES

Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
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25	Strata Lot 22 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1719 Tower Ranch Dr	S2RESH	S2RES
26	Strata Lot 23 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1709 Tower Ranch Dr	S2RES S2RESH	S2RES
27	Strata Lot 28 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1683 Tower Ranch Dr	S2RES S2RESH	S2RES
28	Strata Lot 29 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1640 Winter Lane	S2RES S2RESH	S2RES
29	Strata Lot 30 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1630 Winter Lane	S2RESH	S2RES
30	Strata Lot 31 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1620 Winter Lane	S2RESH	S2RES
31	Strata Lot 32 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1610 Winter Lane	S2RESH	S2RES
32	Strata Lot 33 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1600 Winter Lane	S2RESH	S2RES
33	Strata Lot 34, Section 31, Township 27, ODYD Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1590 Winter Lane	S2RESH	S2RES
34	Strata Lot 35 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1580 Winter Lane	S2RESH	S2RES
35	Strata Lot 36 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1570 Winter Lane	S2RESH	S2RES
36	Strata Lot 37 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1560 Winter Lane	S2RESH	S2RES
37	Strata Lot 38 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1550 Winter Lane	S2RESH	S2RES
38	Strata Lot 39 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1540 Winter Lane	S2RESH	S2RES
39	Strata Lot 40 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1530 Winter Lane	S2RESH	S2RES

	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
40	Strata Lot 41 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1520 Winter Lane	S2RESH	S2RES
41	Strata Lot 42 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	2365 Spring Lane	S2RESH	S2RES
42	Strata Lot 43 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	2355 Spring Lane	S2RESH	S2RES
43	Strata Lot 44 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	2345 Spring Lane	S2RESH	S2RES
44	Strata Lot 45 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1620 Tower Ranch Dr	MRL S2RESH	S2RES
45	Strata Lot 46 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1624 Tower Ranch Dr	MRL S2RESH	S2RES
46	Strata Lot 47 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1628 Tower Ranch Dr	MRL S2RESH	S2RES
47	Strata Lot 48 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1632 Tower Ranch Dr	MRL S2RESH	S2RES
48	Strata Lot 49 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1636 Tower Ranch Dr	MRL S2RESH	S2RES
49	Strata Lot 50 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1640 Tower Ranch Dr	MRL S2RESH	S2RES
50	Strata Lot 51 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1644 Tower Ranch Dr	MRL S2RESH	S2RES
51	Strata Lot 52 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1648 Tower Ranch Dr	MRL S2RESH	S2RES
52	Strata Lot 53 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1652 Tower Ranch Dr	MRL S2RESH	S2RES
53	Strata Lot 54 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1656 Tower Ranch Dr	MRL S2RESH	S2RES
54	Strata Lot 55 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1660 Tower Ranch Dr	MRL S2RESH	S2RES

	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
55	Strata Lot 56 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1664 Tower Ranch Dr	MRL S2RESH	S2RES
56	Strata Lot 57 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1668 Tower Ranch Dr	MRL S2RESH	S2RES
57	Strata Lot 58 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1672 Tower Ranch Dr	MRL S2RESH	MRL
58	Strata Lot 59 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1676 Tower Ranch Dr	MRL S2RESH	MRL
59	Strata Lot 60 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1680 Tower Ranch Dr	MRL S2RESH	MRL
60	Strata Lot 61 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1684 Tower Ranch Dr	MRL S2RESH	S2RES
61	Strata Lot 62 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1688 Tower Ranch Dr	MRL S2RESH	S2RES
62	Strata Lot 63 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1540 Tower Ranch Dr	MRL S2RESH	MRL
63	Strata Lot 64 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1544 Tower Ranch Dr	MRL S2RESH	MRL
64	Strata Lot 65 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1548 Tower Ranch Dr	MRL S2RESH	MRL

	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
65	Strata Lot 66 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1552 Tower Ranch Dr	MRL S2RESH	MRL
66	Strata Lot 67 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1556 Tower Ranch Dr	MRL S2RESH	MRL
67	Strata Lot 68 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1560 Tower Ranch Dr	MRL S2RESH	MRL
68	Strata Lot 69 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1564 Tower Ranch Dr	MRL S2RESH	MRL
69	Strata Lot 70 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1568 Tower Ranch Dr	MRL S2RESH	MRL
70	Strata Lot 71 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1572 Tower Ranch Dr	MRL S2RESH	S2RES
71	Strata Lot 72 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1576 Tower Ranch Dr	MRL S2RESH	S2RES
72	Strata Lot 73 ODY Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1580 Tower Ranch Dr	MRL S2RESH	S2RES
73	Strata Lot 74 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1573 Tower Ranch Dr	S2RESH	S2RES
74	Strata Lot 75 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1569 Tower Ranch Dr	S2RESH	S2RES
75	Strata Lot 76 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1565 Tower Ranch Dr	S2RESH	S2RES

	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
76	Strata Lot 77 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1557 Tower Ranch Dr	S2RESH	S2RES
77	Strata Lot 78 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1553 Tower Ranch Dr	S2RESH	S2RES
78	Strata Lot 79 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1549 Tower Ranch Dr	S2RESH	S2RES
79	Strata Lot 80 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1541 Tower Ranch Dr	S2RESH	S2RES
80	Strata Lot 81 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1529 Tower Ranch Dr	S2RESH	S2RES
81	Strata Lot 82 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1525 Tower Ranch Dr	S2RESH	S2RES
82	Strata Lot 83 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1521 Tower Ranch Dr	S2RESH	S2RES
83	Strata Lot 84 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1524 Tower Ranch Dr	MRL S2RESH	S2RES
84	Strata Lot 85 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1520 Tower Ranch Dr	S2RESH	S2RES
85	Strata Lot 86 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1516 Tower Ranch Dr	S2RESH	S2RES
86	Strata Lot 87 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1512 Tower Ranch Dr	S2RESH	S2RES
87	Strata Lot 88 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1508 Tower Ranch Dr	S2RESH	S2RES
88	Strata Lot 89 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1504 Tower Ranch Dr	S2RESH	S2RES
89	Strata Lot 90 Section 31 Township 27 ODYD Plan DPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1500 Tower Ranch Dr	S2RESH	S2RES

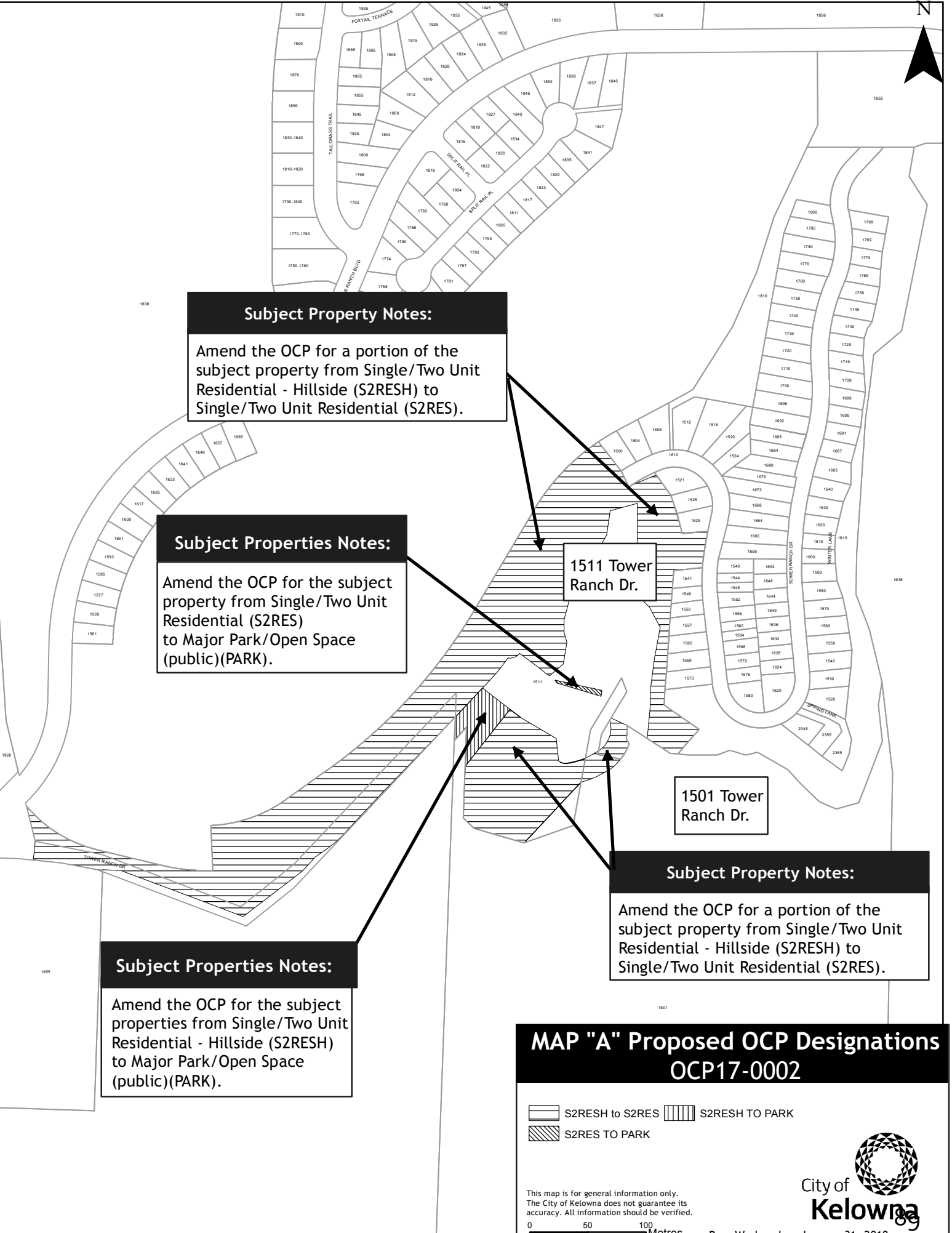
**SCHEDULE B – Z17-0007**

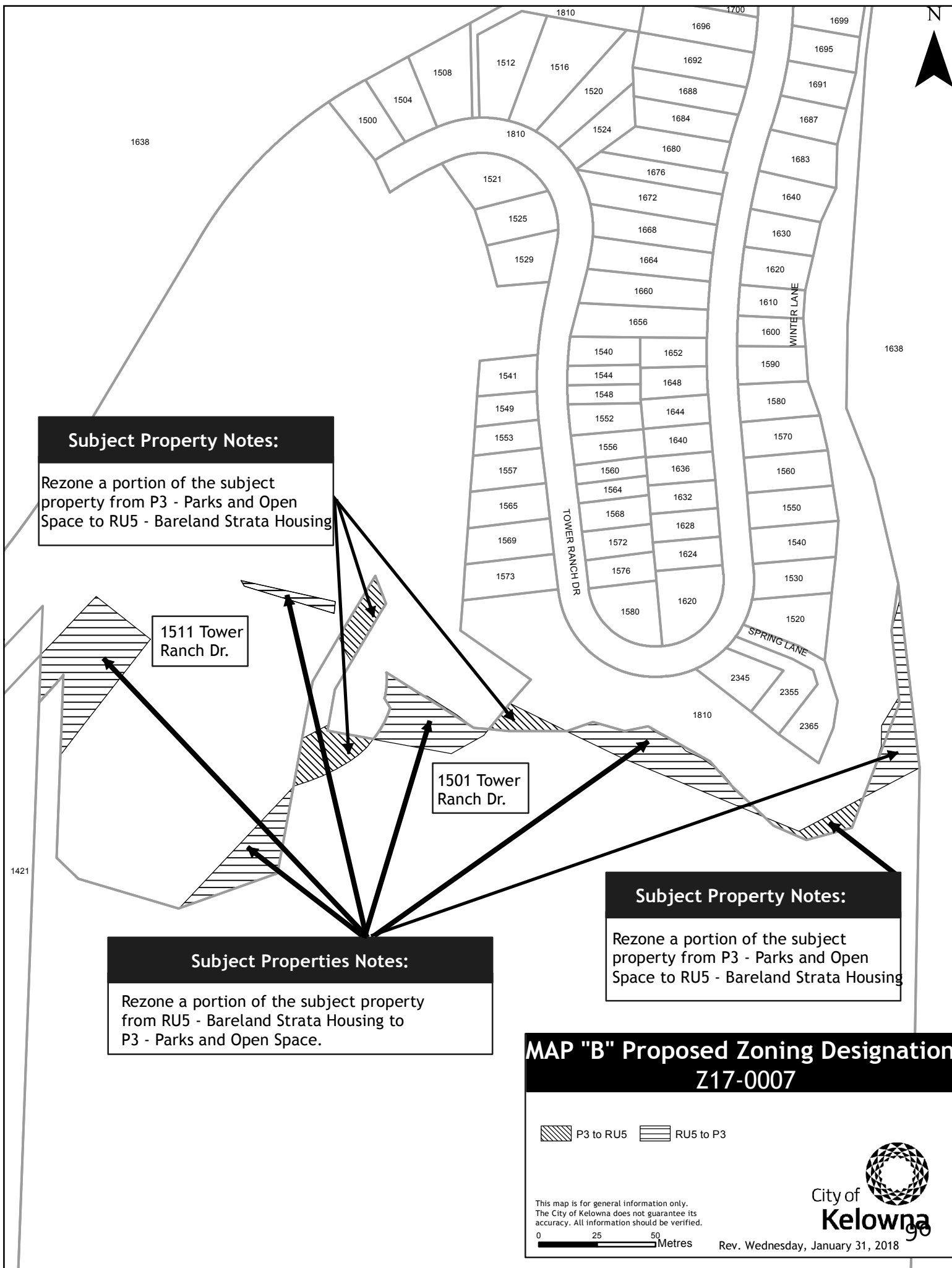
No.	Legal Description	Address	Existing Zone	Proposed Zone
1	Portions of Lot B Section 31 Township 27 ODYD Plan EPP66524	1501 Tower Ranch Dr	P3/RU5	P3/RU5
2	Portions of Lot A Section 31 Township 27 ODYD Plan EPP66524 Except Strata Plan EPS2195 (Phase 2)	1511 Tower Ranch Dr	P3/RU5	RU5/P3
3	Common Property Stata Plan EPS2195	1810 Tower Ranch Dr	P3/ RU5/RM2	RU5
4	Strata Lot 45 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1620 Tower Ranch Dr	RM2/RU5	RU5
5	Strata Lot 46 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1624 Tower Ranch Dr	RM2/RU5	RU5
6	Strata Lot 47 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1628 Tower Ranch Dr	RM2/RU5	RU5
7	Strata Lot 48 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1632 Tower Ranch Dr	RM2/RU5	RU5
8	Strata Lot 49 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1636 Tower Ranch Dr	RM2/RU5	RU5
9	Strata Lot 50 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1640 Tower Ranch Dr	RM2/RU5	RU5
10	Strata Lot 51 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1644 Tower Ranch Dr	RM2/RU5	RU5
11	Strata Lot 52 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1648 Tower Ranch Dr	RM2/RU5	RU5
12	Strata Lot 53 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1652 Tower Ranch Dr	RM2/RU5	RU5
13	Strata Lot 54 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1656 Tower Ranch Dr	RM2/RU5	RU5
14	Strata Lot 55 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1660 Tower Ranch Dr	RM2/RU5	RU5
15	Strata Lot 56 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1664 Tower Ranch Dr	RM2/RU5	RU5
16	Strata Lot 57 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1668 Tower Ranch Dr	RM2/RU5	RU5
17	Strata Lot 58 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1672 Tower Ranch Dr	RM2/RU5	RM2H

**SCHEDULE B – Z17-0007**

No.	Legal Description	Address	Existing Zone	Proposed Zone
18	Strata Lot 59 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1676 Tower Ranch Dr	RM2/RU5	RM2H
19	Strata Lot 60 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1680 Tower Ranch Dr	RM2/RU5	RM2H
20	Strata Lot 61 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1684 Tower Ranch Dr	RM2/RU5	RU5
21	Strata Lot 62 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1688 Tower Ranch Dr	RM2/RU5	RU5
22	Strata Lot 63 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1540 Tower Ranch Dr	RM2/RU5	RM2H
23	Strata Lot 64 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1544 Tower Ranch Dr	RM2/RU5	RM2H
24	Strata Lot 65 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1548 Tower Ranch Dr	RM2/RU5	RM2H
25	Strata Lot 66 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1552 Tower Ranch Dr	RM2/RU5	RM2H
26	Strata Lot 67 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1556 Tower Ranch Dr	RM2/RU5	RM2H
27	Strata Lot 68 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1560 Tower Ranch Dr	RM2/RU5	RM2H
28	Strata Lot 69 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1564 Tower Ranch Dr	RM2/RU5	RM2H
29	Strata Lot 70 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1568 Tower Ranch Dr	RM2/RU5	RM2H
30	Strata Lot 71 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1572 Tower Ranch Dr	RM2/RU5	RU5
31	Strata Lot 72 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1576 Tower Ranch Dr	RM2/RU5	RU5

No.	Legal Description	Address	Existing Zone	Proposed Zone
32	Strata Lot 73 ODY Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1580 Tower Ranch Dr	RM2/RU5	RU5
33	Strata Lot 84 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1524 Tower Ranch Dr	RM2/RU5	RU5
34	Strata Lot 13 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1692 Tower Ranch Dr	RM2/RU5	RU5





# CITY OF KELOWNA

## BYLAW NO. 11488

### Official Community Plan Amendment No. OCP17-0002 Tower Ranch Drive and Winter Lane

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A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of various properties, located on Tower Ranch Drive, Spring Lane and Winter Lane, Kelowna, B.C., as shown on Schedule A and Map A attached to and forming part of this bylaw;
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this.

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

### SCHEDULE A – OCP17-0002

No.	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
1	Portions of Lot B Section 31 Township 27 ODYD Plan EPP66524	1501 Tower Ranch Dr	PARK REC S2RES S2RESH	PARK S2RES
2	Portions of Lot A Section 31 Township 27 ODYD Plan EPP66524 Except Strata Plan EPS2195 (Phase 2)	1511 Tower Ranch Dr	PARK REP S2RES S2RESH	S2RES PARK
3	Common Property Strata Plan EPS2195	1810 Tower Ranch Dr	MRL S2RES S2RESH	S2RES
4	Strata Lot 1 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1800 Tower Ranch Dr	S2RESH	S2RES
5	Strata Lot 2 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1790 Tower Ranch Dr	S2RESH	S2RES
6	Strata Lot 3 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1780 Tower Ranch Dr	S2RESH	S2RES
7	Strata Lot 4 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1770 Tower Ranch Dr	S2RESH	S2RES
8	Strata Lot 5 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1760 Tower Ranch Dr	S2RESH	S2RES
9	Strata Lot 6 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1750 Tower Ranch Dr	S2RESH	S2RES
10	Strata Lot 7 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1740 Tower Ranch Dr	S2RESH	S2RES
11	Strata Lot 8 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1730 Tower Ranch Dr	S2RESH	S2RES
12	Strata Lot 9 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1720 Tower Ranch Dr	S2RES S2RESH	S2RES

No.	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
13	Strata Lot 10 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1710 Tower Ranch Dr	S2RES S2RESH	S2RES
14	Strata Lot 11 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1700 Tower Ranch Dr	S2RES S2RESH	S2RES
15	Strata Lot 12 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1696 Tower Ranch Dr	S2RES S2RESH	S2RES
16	Strata Lot 13 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1692 Tower Ranch Dr	MRL S2RES S2RESH	S2RES
17	Strata Lot 14 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1799 Tower Ranch Dr	S2RESH	S2RES
18	Strata Lot 15 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1789 Tower Ranch Dr	S2RESH	S2RES
19	Strata Lot 16 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1779 Tower Ranch Dr	S2RESH	S2RES
20	Strata Lot 17 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1769 Tower Ranch Dr	S2RESH	S2RES
21	Strata Lot 18 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1759 Tower Ranch Dr	S2RESH	S2RES
22	Strata Lot 19 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1749 Tower Ranch Dr	S2RESH	S2RES
23	Strata Lot 20 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1739 Tower Ranch Dr	S2RESH	S2RES
24	Strata Lot 21 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1729 Tower Ranch Dr	S2RESH	S2RES

	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
25	Strata Lot 22 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1719 Tower Ranch Dr	S2RESH	S2RES
26	Strata Lot 23 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1709 Tower Ranch Dr	S2RES S2RESH	S2RES
27	Strata Lot 28 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1683 Tower Ranch Dr	S2RES S2RESH	S2RES
28	Strata Lot 29 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1640 Winter Lane	S2RES S2RESH	S2RES
29	Strata Lot 30 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1630 Winter Lane	S2RESH	S2RES
30	Strata Lot 31 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1620 Winter Lane	S2RESH	S2RES
31	Strata Lot 32 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1610 Winter Lane	S2RESH	S2RES
32	Strata Lot 33 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1600 Winter Lane	S2RESH	S2RES
33	Strata Lot 34, Section 31, Township 27, ODYD Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1590 Winter Lane	S2RESH	S2RES
34	Strata Lot 35 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1580 Winter Lane	S2RESH	S2RES
35	Strata Lot 36 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1570 Winter Lane	S2RESH	S2RES
36	Strata Lot 37 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1560 Winter Lane	S2RESH	S2RES
37	Strata Lot 38 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1550 Winter Lane	S2RESH	S2RES
38	Strata Lot 39 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1540 Winter Lane	S2RESH	S2RES
39	Strata Lot 40 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1530 Winter Lane	S2RESH	S2RES

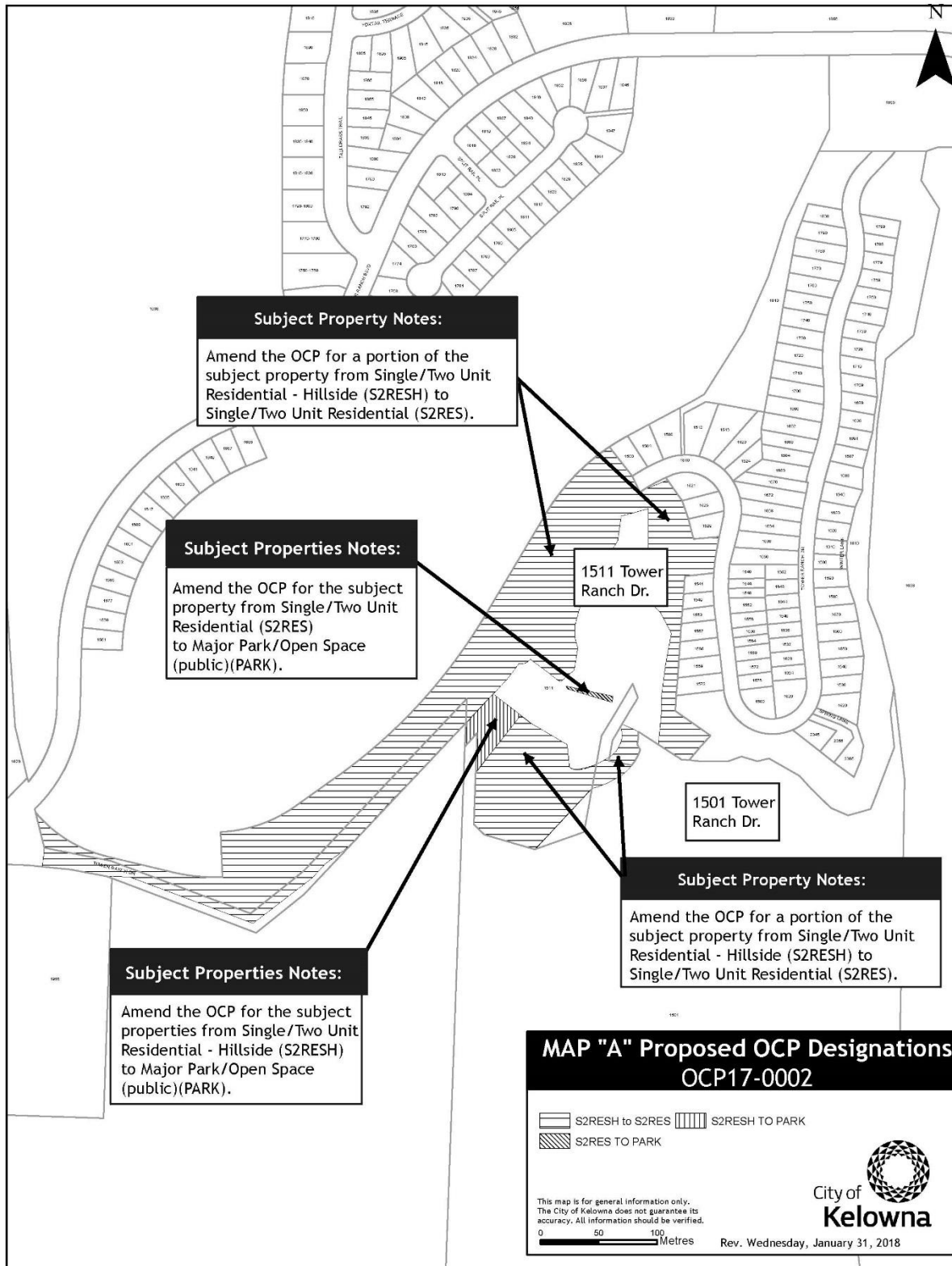
	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
40	Strata Lot 41 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1520 Winter Lane	S2RESH	S2RES
41	Strata Lot 42 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	2365 Spring Lane	S2RESH	S2RES
42	Strata Lot 43 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	2355 Spring Lane	S2RESH	S2RES
43	Strata Lot 44 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	2345 Spring Lane	S2RESH	S2RES
44	Strata Lot 45 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1620 Tower Ranch Dr	MRL S2RESH	S2RES
45	Strata Lot 46 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1624 Tower Ranch Dr	MRL S2RESH	S2RES
46	Strata Lot 47 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1628 Tower Ranch Dr	MRL S2RESH	S2RES
47	Strata Lot 48 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1632 Tower Ranch Dr	MRL S2RESH	S2RES
48	Strata Lot 49 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1636 Tower Ranch Dr	MRL S2RESH	S2RES
49	Strata Lot 50 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1640 Tower Ranch Dr	MRL S2RESH	S2RES
50	Strata Lot 51 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1644 Tower Ranch Dr	MRL S2RESH	S2RES
51	Strata Lot 52 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1648 Tower Ranch Dr	MRL S2RESH	S2RES
52	Strata Lot 53 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1652 Tower Ranch Dr	MRL S2RESH	S2RES
53	Strata Lot 54 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1656 Tower Ranch Dr	MRL S2RESH	S2RES
54	Strata Lot 55 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1660 Tower Ranch Dr	MRL S2RESH	S2RES

	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
55	Strata Lot 56 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1664 Tower Ranch Dr	MRL S2RESH	S2RES
56	Strata Lot 57 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1668 Tower Ranch Dr	MRL S2RESH	S2RES
57	Strata Lot 58 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1672 Tower Ranch Dr	MRL S2RESH	MRL
58	Strata Lot 59 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1676 Tower Ranch Dr	MRL S2RESH	MRL
59	Strata Lot 60 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1680 Tower Ranch Dr	MRL S2RESH	MRL
60	Strata Lot 61 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1684 Tower Ranch Dr	MRL S2RESH	S2RES
61	Strata Lot 62 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1688 Tower Ranch Dr	MRL S2RESH	S2RES
62	Strata Lot 63 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1540 Tower Ranch Dr	MRL S2RESH	MRL
63	Strata Lot 64 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1544 Tower Ranch Dr	MRL S2RESH	MRL
64	Strata Lot 65 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1548 Tower Ranch Dr	MRL S2RESH	MRL

	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
65	Strata Lot 66 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1552 Tower Ranch Dr	MRL S2RESH	MRL
66	Strata Lot 67 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1556 Tower Ranch Dr	MRL S2RESH	MRL
67	Strata Lot 68 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1560 Tower Ranch Dr	MRL S2RESH	MRL
68	Strata Lot 69 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1564 Tower Ranch Dr	MRL S2RESH	MRL
69	Strata Lot 70 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1568 Tower Ranch Dr	MRL S2RESH	MRL
70	Strata Lot 71 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1572 Tower Ranch Dr	MRL S2RESH	S2RES
71	Strata Lot 72 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1576 Tower Ranch Dr	MRL S2RESH	S2RES
72	Strata Lot 73 ODY Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1580 Tower Ranch Dr	MRL S2RESH	S2RES
73	Strata Lot 74 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1573 Tower Ranch Dr	S2RESH	S2RES
74	Strata Lot 75 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1569 Tower Ranch Dr	S2RESH	S2RES
75	Strata Lot 76 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1565 Tower Ranch Dr	S2RESH	S2RES

	Legal Description	Address	Existing FLU Designation	Proposed FLU Designation
76	Strata Lot 77 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1557 Tower Ranch Dr	S2RESH	S2RES
77	Strata Lot 78 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1553 Tower Ranch Dr	S2RESH	S2RES
78	Strata Lot 79 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1549 Tower Ranch Dr	S2RESH	S2RES
79	Strata Lot 80 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1541 Tower Ranch Dr	S2RESH	S2RES
80	Strata Lot 81 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1529 Tower Ranch Dr	S2RESH	S2RES
81	Strata Lot 82 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1525 Tower Ranch Dr	S2RESH	S2RES
82	Strata Lot 83 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1521 Tower Ranch Dr	S2RESH	S2RES
83	Strata Lot 84 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1524 Tower Ranch Dr	MRL S2RESH	S2RES
84	Strata Lot 85 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1520 Tower Ranch Dr	S2RESH	S2RES
85	Strata Lot 86 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1516 Tower Ranch Dr	S2RESH	S2RES
86	Strata Lot 87 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1512 Tower Ranch Dr	S2RESH	S2RES
87	Strata Lot 88 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1508 Tower Ranch Dr	S2RESH	S2RES
88	Strata Lot 89 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1504 Tower Ranch Dr	S2RESH	S2RES
89	Strata Lot 90 Section 31 Township 27 ODYD Plan DPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1500 Tower Ranch Dr	S2RESH	S2RES

Map A



**CITY OF KELOWNA**  
**BYLAW NO. 11489**  
**Z17-0007 – Tower Ranch Drive**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of various properties located on Tower Ranch Drive, Kelowna, B.C., as outlined on Schedule B and Map B attached to and forming part of this bylaw;
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

**SCHEDULE B – Z17-0007**

No.	Legal Description	Address	Existing Zone	Proposed Zone
1	Portions of Lot B Section 31 Township 27 ODYD Plan EPP66524	1501 Tower Ranch Dr	P3/RU5	P3/RU5
2	Portions of Lot A Section 31 Township 27 ODYD Plan EPP66524 Except Strata Plan EPS2195 (Phase 2)	1511 Tower Ranch Dr	P3/RU5	RU5/P3
3	Common Property Stata Plan EPS2195	1810 Tower Ranch Dr	P3/ RU5/RM2	RU5
4	Strata Lot 45 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1620 Tower Ranch Dr	RM2/RU5	RU5
5	Strata Lot 46 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1624 Tower Ranch Dr	RM2/RU5	RU5
6	Strata Lot 47 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1628 Tower Ranch Dr	RM2/RU5	RU5
7	Strata Lot 48 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1632 Tower Ranch Dr	RM2/RU5	RU5
8	Strata Lot 49 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1636 Tower Ranch Dr	RM2/RU5	RU5
9	Strata Lot 50 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1640 Tower Ranch Dr	RM2/RU5	RU5
10	Strata Lot 51 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1644 Tower Ranch Dr	RM2/RU5	RU5
11	Strata Lot 52 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1648 Tower Ranch Dr	RM2/RU5	RU5
12	Strata Lot 53 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1652 Tower Ranch Dr	RM2/RU5	RU5
13	Strata Lot 54 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1656 Tower Ranch Dr	RM2/RU5	RU5
14	Strata Lot 55 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1660 Tower Ranch Dr	RM2/RU5	RU5
15	Strata Lot 56 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1664 Tower Ranch Dr	RM2/RU5	RU5
16	Strata Lot 57 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1668 Tower Ranch Dr	RM2/RU5	RU5
17	Strata Lot 58 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1672 Tower Ranch Dr	RM2/RU5	RM2H

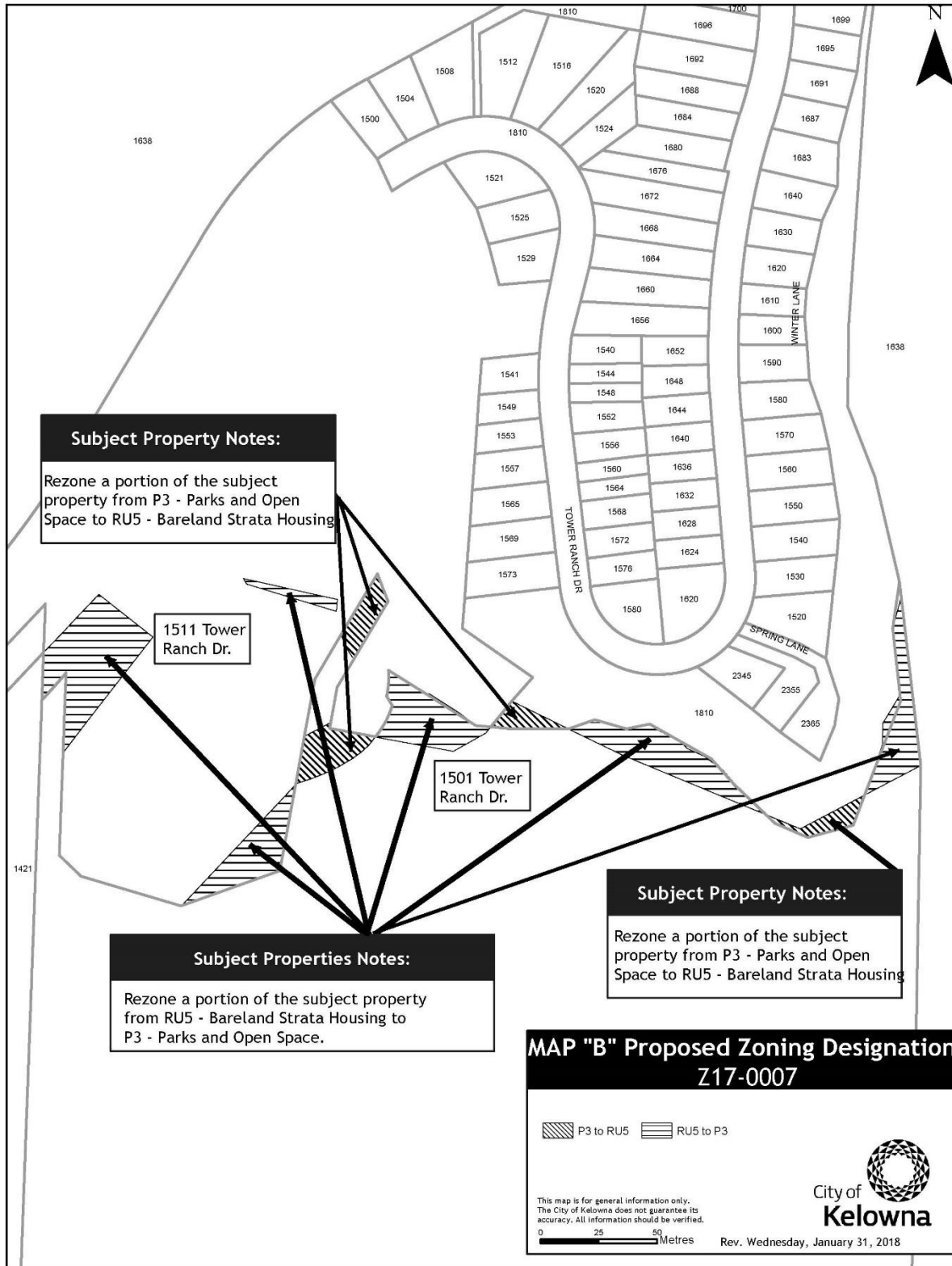
**SCHEDULE B – Z17-0007**

No.	Legal Description	Address	Existing Zone	Proposed Zone
18	Strata Lot 59 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1676 Tower Ranch Dr	RM2/RU5	RM2H
19	Strata Lot 60 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1680 Tower Ranch Dr	RM2/RU5	RM2H
20	Strata Lot 61 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1684 Tower Ranch Dr	RM2/RU5	RU5
21	Strata Lot 62 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1688 Tower Ranch Dr	RM2/RU5	RU5
22	Strata Lot 63 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1540 Tower Ranch Dr	RM2/RU5	RM2H
23	Strata Lot 64 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1544 Tower Ranch Dr	RM2/RU5	RM2H
24	Strata Lot 65 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1548 Tower Ranch Dr	RM2/RU5	RM2H
25	Strata Lot 66 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1552 Tower Ranch Dr	RM2/RU5	RM2H
26	Strata Lot 67 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1556 Tower Ranch Dr	RM2/RU5	RM2H
27	Strata Lot 68 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1560 Tower Ranch Dr	RM2/RU5	RM2H
28	Strata Lot 69 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1564 Tower Ranch Dr	RM2/RU5	RM2H
29	Strata Lot 70 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1568 Tower Ranch Dr	RM2/RU5	RM2H
30	Strata Lot 71 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1572 Tower Ranch Dr	RM2/RU5	RU5
31	Strata Lot 72 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1576 Tower Ranch Dr	RM2/RU5	RU5

**SCHEDULE B – Z17-0007**

No.	Legal Description	Address	Existing Zone	Proposed Zone
32	Strata Lot 73 ODY Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1580 Tower Ranch Dr	RM2/RU5	RU5
33	Strata Lot 84 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1524 Tower Ranch Dr	RM2/RU5	RU5
34	Strata Lot 13 Section 31 Township 27 ODYD Strata Plan EPS2195 Together with an Interest in the Common Propety in Proportion to the Unit Entitlement of the Strata Lot as shown on the Form V	1692 Tower Ranch Dr	RM2/RU5	RU5

## MAP B



# REPORT TO COUNCIL



**Date:** February 19, 2018

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (EW)

**Application:** Z17-0104

**Owners:** Stewart Gemison Kai Turcotte,  
Danielle Christine Turcotte,  
Pyper Andrea Geddes

**Address:** 1304 & 1308 Richter St

**Applicant:** Dwayne McLean

**Subject:** Rezoning Application

Existing OCP Designation: MRM – Multiple Unit Residential (Medium Density)

Existing Zone: RU6 – Two Dwelling Housing

Proposed Zone: RM5 – Medium Density Multiple Housing

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## 1.0 Recommendation

THAT Rezoning Application No. Z17-0104 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 34 District Lot 139 ODYD Plan 2085 and Lot 35 District Lot 139 ODYD Plan 2085, located at 1308 and 1304 Richter St, Kelowna, BC from the RU6 – Two Dwelling Housing zone to the RM5 – Medium Density Multiple Housing zone be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated February 19, 2018;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject property.

## 2.0 Purpose

To rezone the subject property from RU6 – Two Dwelling Housing to RM5 – Medium Density Multiple Housing.

### 3.0 Community Planning

The subject properties are located within the 'City Centre' Urban Centre at the intersection of Cawston Ave and Richter St. The subject properties are in close proximity to downtown and is well served by nearby amenities including parks, restaurants, and shops. The properties also front the Cawston Ave multi-use corridor with good cycling connectivity to downtown, the Ethel St multi-use corridor, and Rails with Trails. The Official Community Plan Future Land Use designation for the properties is MRM – Multiple Unit Residential (Medium Density). The properties' Walk Score is 88 (Very Walkable – most errands can be accomplished on foot). As a result, staff are supportive of the proposed rezoning to RM5 – Medium Density Multiple Housing in order to facilitate the development of row housing.

To fulfill Council Policy No. 367, the applicant submitted a Neighbour Consultation Summary Form to staff on January 11, 2018, documenting that neighbours within 50m of the subject properties were notified.

### 4.0 Proposal

#### 4.1 Project Description

The applicant is proposing the construction of twelve row houses on the subject properties (Attachment A). The subject properties' current land use designation of MRM – Multiple Unit Residential (Medium Density) is consistent with the proposed RM5 – Medium Density Multiple Housing zone. The RM5 zone allows for apartment housing and row housing with a maximum floor area ratio of 1.4 and a maximum height of 18.0m/4.5 storeys.

#### 4.2 Site Context

The subject properties are in the 'City Centre' Urban Centre at the corner of Cawston Ave and Richter St. The two lots have a combined area of 1,202m<sup>2</sup> in a primarily residential neighbourhood.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU2 – Medium Lot Housing	Single Dwelling Housing
East	RU6 – Two Dwelling Housing	Single Dwelling Housing
South	RM5 – Medium Density Multiple Housing	Apartment Housing
West	RU6 – Two Dwelling Housing	Single Dwelling Housing

**Subject Property Map: 1304 & 1308 Richter St**



## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### **Goals for A Sustainable Future**

Contain Urban Growth.<sup>1</sup> Reduce greenfield urban sprawl and focus growth in compact, connected and mixed-use (residential and commercial) urban and village centres.

#### **Future Land Use**

Multiple Unit Residential (Medium Density) (MRM)<sup>2</sup>

Townhouses, garden apartments, and apartment buildings. Complementary uses (i.e. care centres, minor public services/utilities, and neighbourhood parks) which are integral components of urban neighbourhoods would also be permitted. Building densities would be consistent with the provisions of the RM4 – Transitional Low Density Housing and RM5 – Medium Density Multiple Housing zones of the Zoning Bylaw and may include CD Comprehensive Development zoning for similar densities or land uses.

#### **Development Process**

Compact Urban Form.<sup>3</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking

<sup>1</sup> Goal 1. (Introduction Chapter 1).

<sup>2</sup> Future Land Use Designations (Chapter 4).

<sup>3</sup> Policy 5.3.2 (Development Process Chapter 5).

distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

Ensure opportunities are available for greater use of active transportation and transit to: to improve community health; reduce greenhouse gas emissions; and increase resilience in the face of higher energy prices.<sup>4</sup>

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

- Full plan check for Building Code related issues will be done at time of Building Permit applications.

### 6.2 Development Engineering Department

- See Schedule 'A', memorandum dated November 2017.

### 6.3 FortisBC - Gas

- FortisBC has reviewed the above noted referral, assuming there is not a change to the existing exterior property line, there are no conflicts or concerns with this referral.

### 6.4 Fire Department

- No comments related to zoning.

## 7.0 Application Chronology

Date of Application Received: November 7, 2017  
Date Public Consultation Completed: January 11, 2018

**Report prepared by:** Emily Williamson, Planner  
**Reviewed by:** Terry Barton, Urban Planning Manager  
**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

### Attachments:

Schedule 'A' – Development Engineering Memorandum dated November 20, 2017  
Attachment 'A' – Site Plan and Conceptual Renderings

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<sup>4</sup> Objective 5.10 (Development Process Chapter 5).

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## CITY OF KELOWNA

# MEMORANDUM

**Date:** November 20, 2017  
**File No.:** Z17-0104  
**To:** Community Planning (EW)  
**From:** Development Engineering Manager(JK)  
**Subject:** 1304 & 1308 Richter Street (REVISED II)

**SCHEDULE**

**A**

This forms part of application  
# Z17-0104

Planner  
Initials

EW

City of  
**Kelowna**  
COMMUNITY PLANNING



RU2 to RM5

Development Engineering has the following requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Jason Angus

.1) Domestic Water and Fire Protection

- a) The development site is presently serviced with two (2) small water services. The developer's consulting mechanical engineer will determine the domestic, fire protection requirements of this proposed development and establish hydrant requirements and service needs. Only one service will be permitted for this development.
- b) The applicant, at his cost, will arrange for the removal of the existing services and the installation of one new larger metered water service. The new service should tie in to the main on *Richter St.*
- c) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures. The City of Kelowna water meter contractor must salvage existing water meters, prior to building demolition. If water meters are not salvaged, the developer will be invoiced for the meters.

.2) Sanitary Sewer

- a) The development site is presently serviced with two (2) small diameter sanitary sewer services. Only one service will be permitted for this development. The developer's consulting civil/mechanical engineer will determine sanitary sizing for this development. The applicant, at his cost, will arrange for the removal of the existing services and the installation of one new larger service.

.3) Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.



Z17-0104

- (b) Only one service will be permitted for this development. The applicant, at his cost, will arrange the installation of one overflow service. The estimated cost of this construction is included in the road improvements.

## .4) Road Improvements

- (a) Richter St fronting this development has already been upgraded to an urban standard to including barrier curb & gutter, a separate sidewalk, storm drainage, road fillet & landscaped boulevard and relocation or adjustment of existing utility appurtenances if required to accommodate the upgrading construction. No further upgrades are needed on this frontage.
- (b) Cawston Ave fronting this development has already been upgraded to an urban standard to including barrier curb & gutter, a separate sidewalk, storm drainage, road fillet relocation or adjustment of existing utility appurtenances if required to accommodate the upgrading construction. A driveway let down (SS-C7) for the lane way will need to be constructed as part of this development as well as landscaped boulevard.
- (c) Lane fronting this development must be upgraded to SS-R2 standard to include road fillet and relocation or adjustment of existing utility appurtenances if required to accommodate the upgrading construction.

## .5) Road Dedication and Subdivision Requirements

By registered plan to provide the following:

- a) Lot consolidation.
- b) Grant statutory rights-of-way if required for utility services.
- c) The proposed loading zone on Richter Street will not be permitted in the proposed location due to transit turning movements. All loading and un-loading must be done from the lane way.
- d) *Provide a 6.0m corner rounding at the intersection of Richter St. and Cawston Ave.*

## .6) Electric Power and Telecommunication Services

- a) All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground as this site is located within the South Pandosy urban town centre.
- b) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.
- c) Re-locate existing poles and utilities, where necessary. If possible, remove any aerial trespass (es).

## .7) Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil

engineer. Designs must be submitted to the City Engineering Department for review and marked "issued for construction" by the City Engineer before construction may begin.

.8) Design and Construction

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

.9) Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be

.10) Survey Monuments and Iron Pins

If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

.11) Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as (3.5% of Total Off-Site Construction Cost plus GST).

14) Development Permit and Site Related Issues

Access and Manoeuvrability

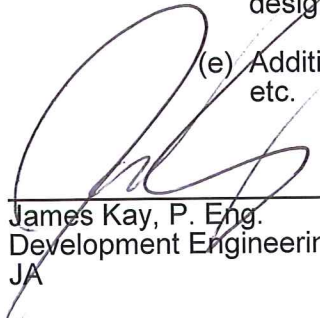
<b>SCHEDULE</b>		<b>A</b>
This forms part of application		
# Z17-0104		
Planner Initials	EW	 City of Kelowna COMMUNITY PLANNING

- (i) Access to the site is permitted from the lane as per bylaw.
- (ii) Review and confirm that the development and development site access does not adversely affect the lane operation as a two-way roadway. The minimum clear throat lane width must be 6.4m.

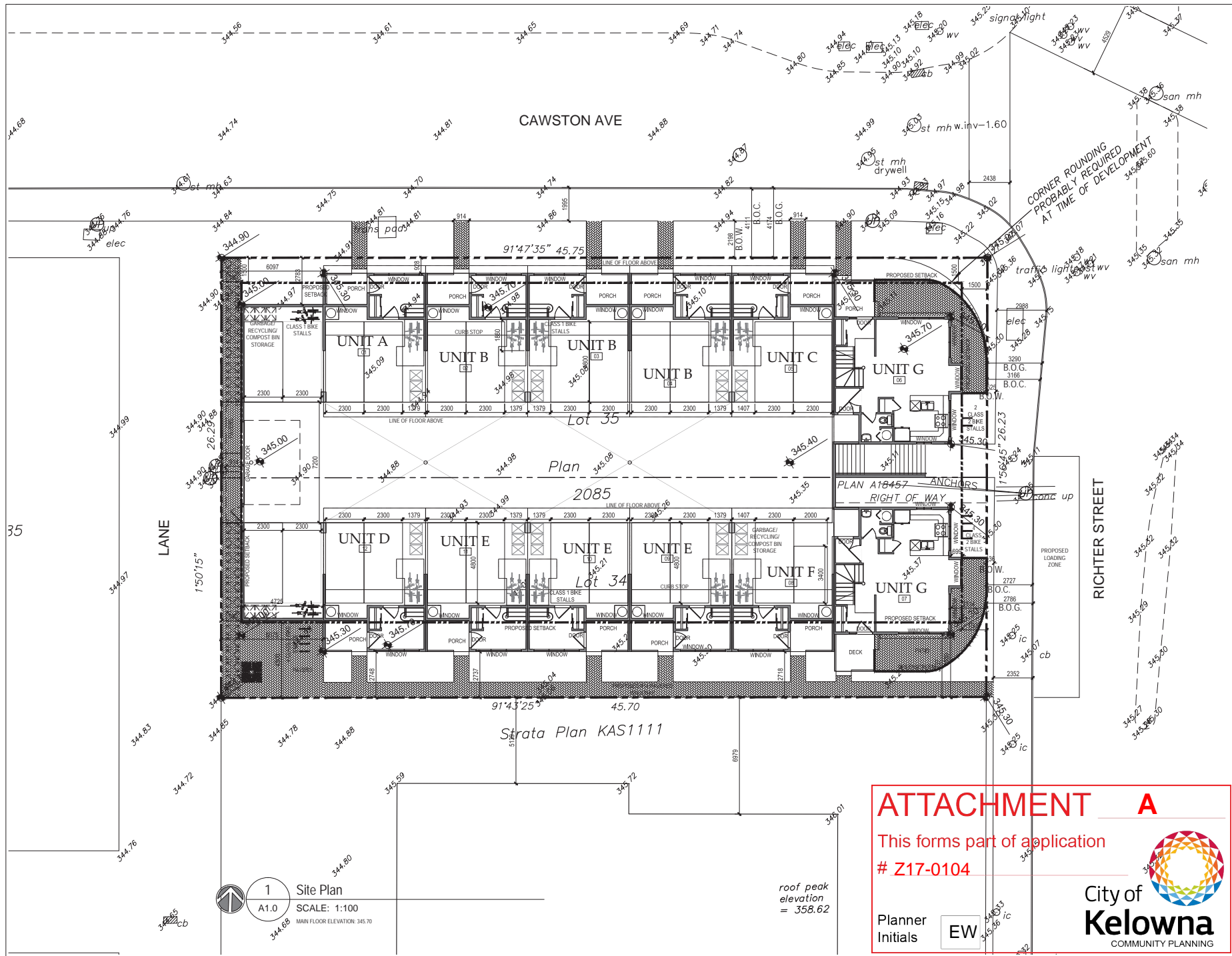
15. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.,
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

  
James Kay, P. Eng.  
Development Engineering Manager  
JA

<b>SCHEDULE A</b>	
This forms part of application # Z17-0104	
Planner Initials	<div>EW</div>
 City of <b>Kelowna</b> COMMUNITY PLANNING	



DESCRIPTION	DATE
PROJECT START	09/29/2017
DP SUBMISSION	10/27/2017
DP SUBMISSION REVISION #1	11/07/2017

CONSULTANTS



This plan is issued subject to various open elements and upon the condition that it is not to be used in any way detrimental to the interest of the City of Kelowna.  
 It is not to be interpreted in any form whatsoever without written consent of the Architect.  
 Do not scale this drawing.

CLIENT  
**D. McLean Construction Ltd**  
 1102 - 1033 West 10th Avenue  
 Vancouver, B.C.  
 V6J 0B1

PROJECT  
**PROJECT NAME**  
 1304 & 1308 Richter Street  
 Kelowna, B.C.

DRAWING  
**Site Plan**

BUILDING PERMIT  
 BP2017-XX  
 DEVELOPMENT PERMIT  
 DP2017-XX  
 FILE  
 2017-12-RK  
 DATE  
 2017/11/07  
 DRAWING NUMBER

AS INDICATED  
**A1.0**

ATTACHMENT A

This forms part of application  
**# Z17-0104**

Planner Initials

EW

**City of Kelowna**  
 COMMUNITY PLANNING

## Cawston Ave/Richter St Corner Conceptual Rendering



### ATTACHMENT **A**

This forms part of application

# **Z17-0104**

Planner  
Initials

EW



## Cawston Ave Conceptual Rendering



### ATTACHMENT **A**

This forms part of application

# Z17-0104

Planner  
Initials

EW

City of  
**Kelowna**  
COMMUNITY PLANNING



**CITY OF KELOWNA**  
**BYLAW NO. 11553**  
**Z17-0104 – 1304 & 1308 Richter Street**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 34 District Lot 139 ODYD Plan 2085 and Lot 35 District Lot 139 ODYD Plan 2085, located at Richter St, Kelowna, BC from the RU6 – Two Dwelling Housing zone to the RM5 – Medium Density Multiple Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Amended at third reading and adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

# REPORT TO COUNCIL



**Date:** February 19, 2018

**RIM No.** 1240-04

**To:** City Manager

**From:** Community Planning Department (LK)

**Application:** HD15-0001

**Owner:** Okanagan Buddhist Cultural  
Centre, Inc. No. S-0061651

**Address:** 135 Mugford Road

**Applicant:** Peter Chataway

**Subject:** Heritage Designation

Existing OCP Designation: EDINST – Educational / Major Institutional

Existing Zone: P2 – Education and Minor Institutional

---

## 1.0 Recommendation

THAT Council consider a Bylaw for a Heritage Designation of the building commonly known as “St. Aidan’s Church” for the property legally known as Lot A Section 26 Township 26 ODYD Plan EPP51686, located at 135 Mugford Road, Kelowna, BC, as a Municipal Heritage Site pursuant to Section 611 of the Local Government Act;

AND FURTHER THAT the Heritage Designation Bylaw be forwarded to a Public Hearing for further consideration.

## 2.0 Purpose

To designate “St. Aidan’s Church” as a municipal heritage building under Section 611 of the Local Government Act.

## 3.0 Community Planning

Community Planning Staff are supportive of the request for the Heritage Designation of the building on the subject property as this aids the preservation of the City’s heritage assets to ensure the longevity of historically important sites. The building is currently listed on the Municipal Heritage Register and is seeking protection through a Heritage Designation Bylaw pursuant to Section 611 of the *Local Government Act* (LGA). The applicant is committed to having “St. Aidan’s Church” designated under this section of the LGA to ensure the additional long-term protection for the structure.

## 4.0 Proposal

### 4.1 Background

In 2009, St Aidan's Church was identified as a high priority for conservation work through the City's Heritage Asset Management Strategy. A Request for Expressions of Interest was put out in 2012. The submission from the Okanagan Buddhist Cultural Society (OBCS) garnered further discussion. After the Request for Proposal (RFP) process, The City of Kelowna and OBCS signed a Memorandum of Understanding agreement (MOU) that was endorsed by Council in 2014. The MOU set out the terms and conditions for redevelopment of the site which includes the sale of the properties to the OKCS. All restoration work will respect the character-defining elements as set out in the Heritage Register and maintain the building and site as a key heritage asset.

St. Aidan's Church is currently on the City of Kelowna Heritage Register which identifies it as having heritage significance. The register offers very limited protection of the site. However, once a property is designated, the owner must obtain a Heritage Alteration Permit to make alterations to the building's exterior, which in turn protects the heritage value and integrity. The City acknowledges that some changes to a protected heritage property are inevitable and a flexible approach is required when implementing reasonable and necessary changes while maintaining and protecting the buildings noteworthy heritage characteristics.

### 4.2 Heritage Value and Heritage Character

St. Aidan's Anglican Church, built in 1933, is valued as a symbol of the importance of the Anglican Church to the early rural community of Rutland. It also represents the importance of local churches to rural settlements, and the central role they played in community life. The church's strategic positioning in a highly visible and central location in Rutland is a prominent statement of the importance of the Anglican Church to the early community. Rutland and East Kelowna were established as outstations of St. Michael and All Angels Anglican Church in 1912. A meeting was held in the Rutland Community Hall on January 9, 1929, to discuss the building of a church facility. At the time, there was no place for Anglican worship in Rutland other than a small room in the Community Hall. The site for a new church was donated by Mr. and Mrs. Ben Hardie, who owned the local grocery and hardware store. The design was provided by Enoch Mugford (1879-1969), superintendent of the Black Mountain Irrigation District, and prominent local developer and contractor Hector Maranda (1879-1967) led the mostly volunteer building crew. St. Aidan's Rutland was dedicated on June 18, 1933. In 1938, a chancel and a vestry were added. Of interest is the Norman arch between the chancel and nave, a replica of the entrance to St. Aidan's first church at Lindisfarne Abbey in Northumberland, England. In 1958, the original porch was moved to the front of the lot for use as a lych gate, to allow the construction of an enclosed front vestibule. A lych gate is a covered gateway traditionally found at the entrance to English-style churchyards.

The church is also significant as a demonstration of simple British Arts and Crafts influences, which serves to honour the Diocese's motherland and illustrates a conscious shift to a traditional style reflective of the social and economic consciousness of the interwar period. At the time, buildings were expected to display some sort of historical reference in order to demonstrate good taste and underlying conservatism. The British Arts and Crafts influence is demonstrated in the steeply pitched, overhanging roof with exposed rafters and the use of roughcast stucco.

*Character defining elements:*

- Prominent location at the corner of Rutland and Mugford Roads in the Rutland neighbourhood.
- Ecclesiastical form, scale and massing as expressed by its: rectangular plan; one-storey height; and front-gabled roof with gabled projection at side of church.
- Post and beam frame construction and rock-dash stucco cladding.
- Features of the British Arts and Craft style including: steeply pitched roofline with exposed rafter tails; decorated bargeboards, curved upper window openings; and entryway with curved doorway and crenellated parapet.
- Exterior features such as internal chimney clad in stucco.
- Original window openings, with inset Gothic pointed-arch multi-paned wooden-sash windows.
- Round-arched, vertically-panelled wooden front door with original hardware.
- Interior features such as fir floors and baseboards, lath-and-plaster walls, barrel-vaulted ceiling and arched entry to chancel.
- Associated landscape features such as a mature deciduous tree at front of property, a portion of the original coursed rock perimeter wall, and the original porch now used as a lych gate.

4.3 Compatibility with the Official Community Plan and planning objectives

The Heritage Designation of “St. Aidan’s Church” is compatible with the policy direction of the Official Community Plan (OCP). Objective 5.7.2 promotes the long term protection of heritage buildings listed on the Kelowna Heritage Register through the use of a Heritage Designation Bylaw. OCP objective 5.7.2 seeks to identify and conserve heritage resources. By designating the site, the longevity of the heritage asset is maintained.

4.4 Compatibility of Conservation with Lawful Uses of the Property and Adjoining Lands

The proposal is consistent with the designation as an institutional property. The property is zoned P2 – Education and Minor Institutional which allows for the use of:

Community Recreation Services – means development for recreation, social or multi-purpose use primarily intended for local community purposes. Typical uses include but are not limited to community halls, non-profit social clubs, and community centres operated by a local residents’ association.

Community Garden – means the recreational growing of plants, on a publicly or privately owned parcel, and does not include the growing and subsequent sale of produce for commercial purposes.

4.5 Condition and Economic Viability of the Property

The building currently sits within the Mugford Road widening road right of way and the preservation of the structure in its original location is not feasible. The proposal will relocate the building more centrally on the subject parcel. It will be placed on a new foundation with a full basement which will provide additional functional space below grade.

The main body and roof structure of the church will be retained while a new one storey hall will be constructed at the southeast corner. A smaller addition will be added to the north side of the existing structure to provide space for an office, monk’s room and washrooms. The building will be accessible on an as-available basis for rental to the public.

The building was originally located on the small corner parcel facing both Rutland and Mugford roads. Part of the re-development plan saw the consolidation of three parcels. This has facilitated the development of on-site parking to meet the zoning bylaw requirements. The historic Lych Gate will be relocated its original

location at the west entrance to the church. A new traditional friendship garden is planned for the northwest corner of the site; this will be accessible to the general public.

#### 4.6 Possible Need for Financial or Other Support to Enable Appropriate Conservation

Grants from the Kelowna Heritage Foundation and the British Columbia Heritage Trust may be available in the future to help cover costs associated with maintenance to the subject property and building.

**Subject Property Map:** 135 Mugford Road



#### 5.0 **Application Chronology**

Date of Application Received: November 6, 2015  
 Date Public Consultation Completed: January 4, 2016

**Report prepared by:** Lydia Korolchuk, Planner  
**Reviewed by:** Terry Barton, Urban Planning Manager  
**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

#### **Attachments:**

Attachment A: Heritage Register  
 Attachment B: Statement of Significance


[New Search](#)

## Heritage Building

### 365 Rutland Rd - St. Aidan's Church

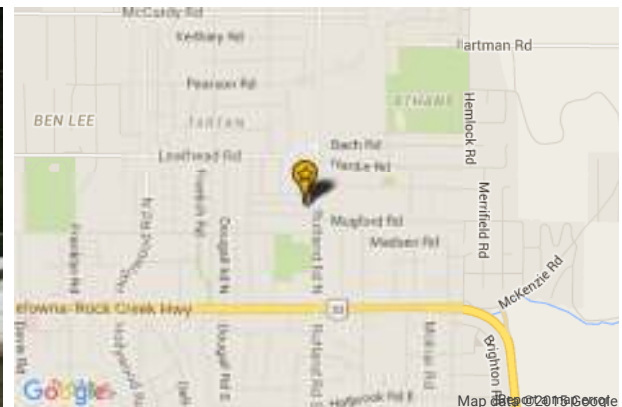
**Place** St. Aidan's Anglican Church is a one-storey, front-gabled church distinguished by its square front-projecting entryway with crenellated parapets and a round-arched entry with a wood-panelled door. The church is located on a highly visible lot on Rutland Road, at the corner of Mugford Road, in the Rutland neighbourhood of Kelowna. The site is now owned by the City of Kelowna.

**Heritage Value:** St. Aidan's Anglican Church, built in 1933, is valued as a symbol of the importance of the Anglican Church to the early rural community of Rutland. It also represents the importance of local churches to rural settlements, and the central role they played in community life. The church's strategic positioning in a highly visible and central location in Rutland is a prominent statement of the importance of the Anglican Church to the early community. Rutland and East Kelowna were established as outstations of St. Michael and All Angels Anglican Church in 1912. A meeting was held in the Rutland Community Hall on January 9, 1929, to discuss the building of a church facility. At the time, there was no place for Anglican worship in Rutland other than a small room in the Community Hall. The site for a new church was donated by Mr. and Mrs. Ben Hardie, who owned the local grocery and hardware store. The design was provided by Enoch Mugford (1879-1969), superintendent of the Black Mountain Irrigation District, and prominent local developer and contractor Hector Maranda (1879-1967) led the mostly volunteer building crew. St. Aidan's Rutland was dedicated on June 18, 1933. In 1938, a chancel and a vestry were added. Of interest is the Norman arch between the chancel and nave, a replica of the entrance to St. Aidan's first church at Lindisfarne Abbey in Northumberland, England. In 1958, the original porch was moved to the front of the lot for use as a lych gate, to allow the construction of an enclosed front vestibule.

The church is also significant as a demonstration of simple British Arts and Crafts influences, which serves to honour the Diocese's motherland and illustrates a conscious shift to a traditional style reflective of the social and economic consciousness of the interwar period. At the time, buildings were expected to display some sort of historical reference in order to demonstrate good taste and underlying conservatism. The British Arts and Crafts influence is demonstrated in the steeply pitched, overhanging roof with exposed rafters and the use of roughcast stucco.

**Character Defining Elements:** Key elements that define the heritage character of the St. Aidan's Anglican Church include its:

- Prominent location at the corner of Rutland and Mugford Roads in the Rutland neighbourhood
- Ecclesiastical form, scale and massing as expressed by its: rectangular plan; one-storey height; and front-gabled roof with gabled projection at side of church
- Post and beam frame construction and rock-dash stucco cladding
- Features of the British Arts and Craft style including: steeply pitched roofline with exposed rafter tails; decorated bargeboards, curved upper window openings; and entryway with curved doorway and crenellated parapet
- Exterior features such as internal chimney clad in stucco
- Original window openings, with inset Gothic pointed-arch multi-paned wooden-sash windows
- Round-arched, vertically-panelled wooden front door with original hardware
- Interior features such as fir floors and baseboards, lath-and-plaster walls, barrel-vaulted ceiling and arched entry to chancel
- Associated landscape features such as a mature deciduous tree at front of property, a portion of the original coursed rock perimeter wall, and the original porch now used as a lych gate



# ST. AIDAN'S CHURCH

## HERITAGE IMPACT STATEMENT

DECEMBER 2013



**DONALD LUXTON**  
AND ASSOCIATES INC



DONALD LUXTON AND ASSOCIATES INC.  
1030 - 470 GRANVILLE STREET VANCOUVER BC V6C 1V5  
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St. Aidan's Church looking east, 2013 (Google Earth)

## 1. INTRODUCTION

<b>SUBJECT PROPERTY:</b>	ST. AIDAN'S CHURCH
<b>ADDRESS:</b>	365 RUTLAND ROAD, KELOWNA
<b>DATE OF CONSTRUCTION:</b>	1933  1938 ADDITION OF CHANCEL AND VESTRY 1958 ORIGINAL PORCH RELOCATED AND REUSED AS LYCH GATE, FRONT VESTIBULE ENCLOSED
<b>ORIGINAL DESIGNER:</b>	ENOCH MUGFORD
<b>ORIGINAL CONTRACTOR:</b>	HECTOR MARANDA
<b>CURRENT OWNER:</b>	CITY OF KELOWNA
<b>HERITAGE STATUS:</b>	LISTED ON MUNICIPAL HERITAGE REGISTER

The historic St. Aidan's Church is situated at the corner of Rutland and Mugford Road in a highly visible location in the Rutland neighbourhood of Kelowna. Built in 1933 and listed on the municipal heritage register, the historic church is valued for its association with the Anglican Church, its importance to the early community of Rutland and its architectural British Arts and Crafts style associated with the Diocese's motherland.

Our firm was commissioned by the City of Kelowna to provide an independent and professional heritage impact statement of the proposed rehabilitation of the subject site. The purpose of this report is to evaluate the impact of the proposed development on character-defining elements of the historic church and to provide conservation recommendations to mitigate potential adverse impacts.

## 2. DESCRIPTION OF THE SITE

Located in the mostly residential neighbourhood of Rutland on the northeast of Kelowna's city core, the church was built in 1933 as a local community church prominently situated at a street intersection. The historic St. Aidan's Church is a one-storey structure facing west towards Rutland Road and north towards Mugford Road. To the east and south sides are residential lots with single family homes.

The post and beam construction is finished with original rock-dash stucco cladding and the roof was originally covered with cedar shingles that were later replaced with asphalt shingles.

Early alterations in 1938 included the addition of an east-facing chancel entered through a Norman arch, a later removed vestry on the north façade and an interior stucco-clad chimney.



Prominent corner location of St. Aidan's Church in Rutland, 2013 (Google Earth)

# DESCRIPTION OF THE SITE

In 1958, the original wooden entrance porch attached to the west façade was relocated to the front of the lot and repurposed as a lych gate while an enclosed front vestibule was constructed. In 1990, the historic church was deconsecrated and purchased by the City of Kelowna. The structure is not occupied and exterior openings are boarded up. The historic church is situated in the right of way and cannot be preserved in its original location.

St. Adain's Church is a listed historic resource on the municipal heritage register. The heritage value of the historic site is embodied in character-defining materials, forms, location and spatial configurations. These elements should be preserved during interventions, if possible, in order to retain the heritage character and value of the historic site.



Southwest view of St. Aidan's Church with lych gate and rock wall, 2013 (Google Earth)

### 3. STATEMENT OF SIGNIFICANCE

**NAME:** St. Aidan's Church  
**ADDRESS:** 365 Rutland Road, Kelowna  
**DATE OF CONSTRUCTION:** 1933

#### DESCRIPTION OF THE HISTORIC PLACE

St. Aidan's Anglican Church is a one-storey, front-gabled church distinguished by its square front-projecting entryway with crenellated parapets and a round-arched entry with a wood-panelled door. The church is located on a highly visible lot on Rutland Road, at the corner of Mugford Road, in the Rutland neighbourhood of Kelowna. The site is now owned by the City of Kelowna.

#### HERITAGE VALUE

St. Aidan's Anglican Church, built in 1933, is valued as a symbol of the importance of the Anglican Church to the early rural community of Rutland. It also represents the importance of local churches to rural settlements, and the central role they played in community life. The church's strategic positioning in a highly visible and central location in Rutland is a prominent statement of the importance of the Anglican Church to the early community. Rutland and East Kelowna were established as outstations of St. Michael and All Angels Anglican Church in 1912. A meeting was held in the Rutland Community Hall on January 9, 1929, to discuss the

building of a church facility. At the time, there was no place for Anglican worship in Rutland other than a small room in the Community Hall. The site for a new church was donated by Mr. and Mrs. Ben Hardie, who owned the local grocery and hardware store. The design was provided by Enoch Mugford (1879-1969), superintendent of the Black Mountain Irrigation District, and prominent local developer and contractor Hector Maranda (1879-1967) led the mostly volunteer building crew. St. Aidan's Rutland was dedicated on June 18, 1933. In 1938, a chancel and a vestry were added. Of interest is the Norman arch between the chancel and nave, a replica of the entrance to St. Aidan's first church at Lindisfarne Abbey in Northumberland, England. In 1958, the original porch was moved to the front of the lot for use as a lych gate, to allow the construction of an enclosed front vestibule.

The church is also significant as a demonstration of simple British Arts and Crafts influences, which serves to honour the Diocese's motherland and illustrates a conscious shift to a traditional style reflective of the social and economic consciousness of the interwar period. At the time, buildings were expected to display some sort of historical reference in order to demonstrate good taste and underlying conservatism. The British Arts and Crafts influence is demonstrated in the steeply pitched, overhanging roof with exposed rafters and the use of roughcast stucco.

# STATEMENT OF SIGNIFICANCE

## CHARACTER-DEFINING ELEMENTS

Key elements that define the heritage character of the St. Aidan's Anglican Church include its:

- Prominent location at the corner of Rutland and Mugford Roads in the Rutland neighbourhood
- Ecclesiastical form, scale and massing as expressed by its: rectangular plan; one-storey height; and front-gabled roof with gabled projection at side of church
- Post and beam frame construction and rock-dash stucco cladding
- Features of the British Arts and Craft style including: steeply pitched roofline with exposed rafter tails; decorated bargeboards, curved upper window openings; and entryway with curved doorway and crenellated parapet
- Exterior features such as internal chimney clad in stucco
- Original window openings, with inset Gothic pointed-arch multi-paned wooden-sash windows
- Round-arched, vertically-panelled wooden front door with original hardware
- Interior features such as fir floors and baseboards, lath-and-plaster walls, barrel-vaulted ceiling and arched entry to chancel
- Associated landscape features such as a mature deciduous tree at front of property, a portion of the original coursed rock perimeter wall, and the original porch now used as a lych gate



Interior view with Norman arch , 1938 (courtesy: City of Kelowna)

## 4. HERITAGE IMPACT STATEMENT

Proposed interventions to a historic site should adhere to Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) outlining the guiding principles of best conservation practice. Under these guidelines the proposed relocation and rehabilitation of the historic St. Aidan's Church was evaluated. This report can be used as a planning tool to evaluate the proposed interventions and to protect and conserve the heritage character and value of the historic resource.

### 4.1 ASSESSMENT METHODOLOGY

The objective of this assessment is to identify the significance of effects on character-defining elements that likely arise from the proposed development.

The evaluation entailed a desktop review of the building information file provided by the City of Kelowna. The data included information about the historic evolution of the site, its current condition, historic and recent site photos, the Statement of Significance and copies of the proposed design concept.

The assessment methodology follows a set of criteria that assists in the evaluation of potentially beneficial and adverse impacts associated with the proposed rehabilitation. These criteria are described below and assess the level of potential impacts on the heritage value and character-defining elements of St. Aidan's Church.

#### CATEGORIES OF POTENTIAL IMPACTS

- **Magnitude:** Describes the level of physical intervention.
- **Severity:** Describes a reversible or irreversible effect.
- **Duration:** Describes a temporary or permanent effect.
- **Range:** Describes the spatial distribution of an effect (on or off site).

#### EFFECTS OF POTENTIAL IMPACTS

- **Neutral:** The development does not affect the historic significance and value of the site.
- **Beneficial:** A sympathetic impact that potentially enhances the heritage value and character.
- **Adverse:** A harmful impact that potentially diminishes the heritage value and character.

#### SCALE OF POTENTIAL IMPACTS

- **Low:** The proposed intervention is minimal and the heritage value is only slightly beneficial or adversely affected.
- **Medium:** Noticeable physical impacts are either beneficial or adverse to the heritage value and character of a site.
- **High:** The heritage value and character are either significantly enhanced or totally altered or destroyed.

#### RATING SYSTEM OF POTENTIAL IMPACTS

- Neutral:** (●)  
**Beneficial:** low (●●), medium (●●●), high (●●●●)  
**Adverse:** low (●●), medium (●●●), high (●●●●)

This report evaluates the impact the proposed development may have on the character-defining elements of the historic St. Aidan's Church. These impacts can be beneficial, neutral or adverse to the attributes of the historic structure and its site context.

In case where adverse impacts are identified, conservation recommendations to minimize any potential for diminishing the heritage value of the site are proposed for consideration. The proposed concept design also provides appropriate mitigation measures in some instances.

# HERITAGE IMPACT STATEMENT

## 4.2 DESCRIPTION OF THE PROPOSED DESIGN

The primary conservation strategy proposed for St. Aidan's Church is **Rehabilitation** with components of **Restoration** and **Preservation** of specific building elements. These treatments are described in the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010):

### REHABILITATION

The action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

### RESTORATION

The action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

### PRESERVATION

The action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value.

The conceptual design package, consisting of a site plan, floor plans, elevation drawings and a landscape plan, provided a general overview over the proposed physical interventions and future use of the subject site as the Okanagan Buddhist Cultural Centre. In summary, the conceptual design considers the following interventions.

The historic St. Aidan's Church is situated in the road allowance right of way and the preservation of the structure in its original location is not feasible. It is planned to move the structure to allow for future widening of Mugford Road. The church will be relocated and placed onto new foundations on an adjacent lot. A new full basement with window wells on three sides will provide additional functional space below grade.

The main body and roof structure of the historic church will be mostly retained while a new one-storey hall will be constructed at the southeast corner of the church and connected with two new wall openings. A smaller addition with an entry at the north façade reminisces the 1938 vestry that was later removed.

Exterior character-defining elements such as the roof structure, post and beam walls with stucco cladding, and wood-sash windows will be mainly preserved and restored. Original materials that are currently missing will be reinstated including the original cedar shingle roofing material.

With regards to interior character-defining elements the concept design mentions the retention of the historic Norman arch. It is assumed that the barrel-vaulted ceiling of the church will be retained. The conservation treatments of other interior elements such as the original fir floor or baseboards is not described in the design concept.

Historic landscape features that are still extant including the wooden lych gate and a rock wall on the west perimeter will be dismantled and relocated as part of the proposed rehabilitation of the historic site.

## 4.3 HERITAGE IMPACT ASSESSMENT

The proposed rehabilitation of the historic St. Aidan's Church and the adaptive re-use was evaluated under Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* to ensure good conservation practice is followed. Under these guidelines the design of new additions to historic places should adhere to **Standard 11**:

- (a) Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction.
- (b) Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.

The conceptual design was evaluated based on this Standard and the report identifies beneficial and adverse impacts associated with the proposed rehabilitation including their level of impact on the heritage value and character-defining elements of St. Aidan's Church.

Recommendations for mitigating potentially adverse impacts are outlined. These mitigation measures may be considered to avoid or limit potentially adverse impacts on the heritage value and character of the heritage resource.

## A. LOCATION

### Character-defining Element

***Prominent location at the corner of Rutland and Mugford Roads in the Rutland neighbourhood.***

### Description of Impact

- Proposed relocation approximately 56 feet south and slightly east to an adjacent lot. It appears that the original lot and adjacent lot will be consolidated.
- The east-west direction of the church will be retained.

### Level of Impact (••)

- The original setting of the historic church will not be preserved. This is a permanent intervention and irreversible if the road will be widened in the future.
- The relocation in close proximity to the original location while reinstating the prominent corner location and retaining the original east-west direction of the church, are design strategies that respect the historical setting of the church and its spatial relations with its surroundings.

### Conservation Recommendation

- Photographically document and measure dimensions of exterior and interior character-defining elements before any work commences on site.



West elevation, 1933 (courtesy: City of Kelowna)

# HERITAGE IMPACT STATEMENT

## B. EXTERIOR ARCHITECTURAL FEATURES

### Character-defining Element

*Ecclesiastical form, scale and massing as expressed by its: rectangular plan; one-storey height; and front-gabled roof with gabled projection at side of church.*

### Description of Impact

- The form, scale and massing of the historic church will be mainly retained except for the new one-storey “Ben Hardie” hall addition at the southeast corner. The height of the new hall is lower than the original church roof.
- It is proposed to finish the hall with new stucco cladding matching the original.
- The appearance of the west and north façades will be preserved except for a new north facing entry reminiscing the 1938 vestry.
- It appears that the original height of the church will be reinstated when lowered onto new foundations at the new location.
- A new full basement with window wells on the north, east and south sides provides additional functional space below grade.

### Level of Impact (●)

- The proposed additions are permanent and reversible interventions.
- The essential form and integrity of the historic church is being retained even if the new additions may be removed in the future.
- The visual impact of the proposed new hall is minimal and barely visible from the street intersection.
- The overall design of the new additions is sympathetic to the historic structure.
- Alterations below grade (full basement and window wells) do not diminish the heritage value and character of the church.
- The additional functional spaces (hall, north entry, full basement) are highly beneficial for the re-use of the vacant church.

### Conservation Recommendations

- It should be confirmed that the relation of the original roof ridge to grade will be retained in the new location (the church should not be significantly raised).
- The relocation of the structure including temporary bracing should not damage character-defining elements.



Southwest elevations, 1933 (courtesy: City of Kelowna)

### Character-defining Element

#### *Post and beam frame construction and rock-dash stucco cladding.*

#### Description of Impact

- The post and beam frame construction will be mainly retained and presumably requires structural and/or seismic upgrades.
- The original rock-dash stucco cladding will be preserved and presumably repaired where required.
- Interventions entail new wall openings for proposed additions.
- New building services (MEP) will presumably be installed.

#### Level of Impact (●) potentially (●●)

- Structural/seismic upgrades and new building services have potentially a high visual, permanent and irreversible impact on exterior and/or interior character-defining elements. However, they are essential for the adaptive re-use of the church and contribute to the long-term use and thus protection of the historic resource.

- The restoration and repair of the historic rock-dash stucco cladding is beneficial as it will preserve the historic fabric.
- The new wall openings connecting the new additions with the historic church are not visible from the outside.

#### Conservation Recommendations

- Structural and/or seismic upgrades and the installation of services (MEP) should be sensibly designed to minimize the impact on character-defining elements.
- Repair of the historic rock-dash stucco cladding should be carried out with suitable repair products.
- The stucco cladding of the new hall and north entry additions should be visually distinguishable from the historic church in order to follow good conservation practice. This can be achieved with a slightly different stucco colour of the same hue as the original stucco finish or different stucco surface texture.



South elevation with original wooden porch, 1933 (courtesy: City of Kelowna)

# HERITAGE IMPACT STATEMENT

## Character-defining Element

*Features of the British Arts and Craft style including: steeply pitched roofline with exposed rafter tails; decorated bargeboards, curved upper window openings; and entryway with curved doorway and crenellated parapet.*

## Description of Impact

- The proposed design mainly preserves the architectural British Arts and Crafts features except in areas where these elements are disturbed to allow for the construction of new additions.

## Level of Impact (●)

- The impact is minimal and only in localized areas with new additions. The interventions are permanent but can be reversed in the future.
- It is assumed that historic rafter tails, bargeboards, curved upper window openings, and entryway with curved doorway and crenellated parapet will be repaired as required to increase the lifespan of the historic fabric.
- It is assumed that the steeply pitched roofline and its relation to grade will be preserved.

## Conservation Recommendations

- Replace decayed or missing Arts and Crafts features to match originals in material and form.
- Reinstall the original height of the church in its new location.

## Character-defining Element

*Exterior features such as internal chimney clad in stucco.*

## Description of Impact

- The internal stucco-clad chimney will be retained as a character-defining element.

## Level of Impact (●●)

- The retention of the chimney is beneficial to protect the heritage character of the church.

## Conservation Recommendations

- The chimney should be relocated with the structure if possible and not deconstructed and rebuilt.
- The chimney can be decommissioned if desired while the exterior stack rising above the roof should be preserved and repaired as required.
- Structural restraints of the chimney may be required and should be designed to minimise the visual impact when viewed from the street.



North elevation with chimney and vestry, 1938 (courtesy: City of Kelowna)

### Character-defining Element

*Original window openings, with inset Gothic pointed-arch multi-paned wooden-sash windows.*

### Description of Impact

- The historic window openings will be retained and the multi-paned wood-sash windows and glazing restored as required.

### Level of Impact (••••)

- The historic windows in their original openings are important features of the church.
- The restoration of the historic window sashes and glazing contributes significantly to extend the lifespan of these character-defining elements.

### Conservation Recommendations

- The single glazing of the historic multi-paned windows should be preserved. Missing or damaged glass should be replaced in kind. Original hardware should be preserved.
- Thermal performance of the historic windows can be increased with storm windows.
- New windows in the proposed new additions may utilize modern technology (e.g. double-panes), which will also help in distinguishing old from new.

### Character-defining Element

*Round-arched, vertically-panelled wooden front door with original hardware.*

### Description of Impact

- The original panelled wooden front door will be retained and repaired as required.
- Information about the original door hardware was not available.

### Level of Impact (••••)

- The restoration of the wooden front door as a character-defining element is highly beneficial.

### Conservation Recommendations

- The original hardware should be preserved and repaired if possible.
- The design of the new entry door in the north-facing addition can be inspired by the west-facing front door while installing new hardware sympathetic to the historic character of the church.



View of altar, 1933 (courtesy: City of Kelowna)

# HERITAGE IMPACT STATEMENT

## 3. INTERIOR ARCHITECTURAL FEATURES

### Character-defining Element

*Interior features such as fir floors and baseboards, lath-and-plaster walls, barrel-vaulted ceiling and arched entry to chancel.*

### Description of Impact

- The Norman arch will be retained.
- Information if other interior features (fir floors, baseboards, lath-and-plaster walls, barrel-vaulted ceiling) will be retained is not available.

### Level of Impact (●) potentially (●●)

- The permanent retention of the Norman arch as a character-defining element is beneficial.
- It is assumed that other listed interior features, in particular the barrel-vaulted ceiling, will be retained and restored where possible.
- Structural/seismic and services (MEP) upgrades may have potentially low to high visual and permanent impacts on the interior finishes. Any alterations will also be difficult to reverse in the future. However, upgrades are required to rehabilitate and re-use the vacant structure, which is strongly desired in order to extend the lifespan of the historic church.

### Conservation Recommendations

- Structural and/or seismic upgrades and new building services should be respectful in their design and aim to preserve the interior historic fabric as much as possible.
- If character-defining elements need to be disturbed, historic materials should be salvaged and reinstated if possible. Otherwise new materials to match historic should be installed.

## 4. LANDSCAPE FEATURES

### Character-defining Element

*Associated landscape features such as a mature deciduous tree at front of property, a portion of the original coursed rock perimeter wall, and the original porch now used as a lych gate.*

### Description of Impact

- The proposed relocation of the church requires the dismantling and reinstatement of historic materials (rock wall and lych gate) in new locations.
- Vegetation listed as character-defining elements may have to be removed.
- Overall the existing landscape surrounding the relocated church will be redesigned and includes new features (pagoda at northwest corner, parking lot to the east, etc.).

### Level of Impact (●●)

- The dismantling and relocation of the rock wall and historic lych gate are moderately adverse impacts, also considering that the lych gate (originally the wooden entrance porch) has been relocated in the past. The design proposes to reinstate their current spatial and functional relation to the church at their new locations as a mitigation measure.
- Mature trees may have to be removed as part of the rehabilitation of the site. This would be a permanent impact, which can be mitigated by planting new trees of the same species.
- New vegetation and proposed landscape structures (pagoda) may potentially obstruct the view of the church at the prominent corner location. This would have a permanent but reversible impact.
- The new parking lot to the east does not diminish the heritage character of the church and provides easier access.
- Overall the new landscape design concept visually enhances the open space surrounding the church and its continuous use as a cultural-spiritual place.

## 5. CONCLUSION

### Conservation Recommendations

- The lych gate and rock wall should be photographically documented and measured before carefully salvaged and reinstated in their new locations.
- Landscape features may be designed as such that they do not considerably obscure the church viewed from the street intersection.

## 5. CONCLUSION

The heritage impact statement has identified a number of effects the proposed development potentially has on the heritage value and character of the historic St. Aidan's Church. These impacts have mostly beneficial effects on the character-defining elements as they generally aim to retain and restore important architectural features. This approach prevents further deterioration of the historic fabric while allowing for the rehabilitation and future use of the vacant church.

Considering that the relocation of the structure is unavoidable, which is the most significant adverse impact, the proposed new location in close proximity to the original setting is a good mitigation measure that reinstates the prominent corner location.

Structural and/or seismic upgrades to meet code requirements and the installation of modern services may potentially harm exterior or interior character-defining elements. These interventions, however, provide an interior functional space that meets contemporary standards. A design that minimises impacts these alterations potentially have on character-defining elements would follow good conservation practice.

The proposed new additions (south hall, north entry) do not diminish the integrity of the historic resource and their design and locations are compatible with the historic character of the church.

Recommendations for mitigation measures where deemed appropriate, are listed in the assessment and may be considered during the planning process for the historic site. Overall the proposed design for the rehabilitation of St. Aidan's Church is respectful to the historic resource and follows Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*.

## Appendix A – Resources

Conceptual design drawings (2013), Peter J. Chataway B.Arch.

Conceptual site plan (2013), Bench Site Design

*Heritage Impact Assessment in British Columbia* (2013), BC Heritage Branch

*Standards and Guidelines for the Conservation of Historic Places in Canada* (2010), Parks Canada

St. Aidan's Church Statement of Significance, City of Kelowna, Heritage Register

## Additional Resources

U.S. National Park Service:

- Preservation Brief 9: The Repair of Historic Wooden Windows
- Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns
- Preservation Brief 19: The Repair and Replacement of Historic Wooden Shingle Roofs
- Preservation Brief 22: The Preservation and Repair of Historic Stucco
- Preservation Brief 41: The Seismic Retrofit of Historic Buildings. Keeping Preservation in the Forefront.



View of northeast elevations, 2013 (Google Earth)

# CITY OF KELOWNA

## BYLAW NO. 11555

### HD15-0001 - St. Aidan's Church Heritage Designation Bylaw

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WHEREAS the Municipal Council of the City of Kelowna considers the building known as the "St. Aidan's Church" located at 135 Mugford Road, Kelowna, B.C. to be a building with heritage value and that the designation of the building as a heritage site pursuant to Section 611 of the *Local Government Act* is desirable for the conservation of the building;

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. The building known as the 'St. Aiden's Church' situated on lands legally described as Lot A, Section 26, Township 26, ODYD, Plan EPP51688 on 135 Mugford Road, Kelowna B.C. to be commonly known in the future as the "St. Aiden's Church" is hereby designated a Designate Heritage Building pursuant to Section 611 of the *Local Government Act*.
2. Except as authorized by this bylaw or as authorized by a Heritage Alteration Permit approved by Council, no person shall:
  - (a) alter the exterior of the buildings designated by this bylaw;
  - (b) make a structural change to the buildings designated by this bylaw;
  - (c) move any buildings designated by this bylaw.
3. The following alterations to the designated buildings are hereby authorized without a Heritage Alteration Permit:
  - (a) Normal day to day maintenance and repairs.
4. This bylaw may be cited for all purposes as the 'Heritage Designation Bylaw No. 11555 (St. Aiden's Church)'.

Read a first time by the Municipal Council this

Considered at a Public Hearing this

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# REPORT TO COUNCIL



**Date:** February 19, 2018

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (TA)

**Application:** OCP17-0014 & Z17-0053

**Owner:** Davara Holdings Ltd. Inc. No.  
BCo797640

**Address:** 1235 & 1260 Neptune Road

**Applicant:** Davara Holdings Ltd.

**Subject:** Official Community Plan Amendment and Rezoning Application

Existing OCP Designation: EDINST – Educational / Major Institutional  
S2RES – Single / Two Unit Residential

Proposed OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: P2 – Educational & Minor Institutional  
RU1 – Large Lot Housing

Proposed Zone: RU4 – Low Density Cluster Housing

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## 1.0 Recommendation

THAT Official Community Plan Map Amendment Application No. OCP17-0014 to amend Map 4.1 in the Kelowna 2030 – Official Community Plan Bylaw No. 10500 by changing the Future Land Use designation of Lot 2, Sec 14, Twp 26, ODYD, Plan 27837, located at 1265 Neptune Rd, Kelowna, BC from the EDINST – Educational/Major Institutional designation to the S2RES – Single/Two Unit Residential designation, be considered by Council;

AND THAT Rezoning Application No. Z17-0053 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 2, Sec 14, Twp 26, ODYD, Plan 27837, located at 1260 Neptune Rd, Kelowna, BC; from the P2 – Educational & Minor Institutional zone to the RU4 – Low Density Cluster Housing zone;

AND THAT Rezoning Application No. Z17-0053 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 3, Sec 14, Twp 26, ODYD, Plan 27837, located at 1235 Neptune Rd, Kelowna, BC; from the RU1 – Large Lot Housing zone to the RU4 – Low Density Cluster Housing zone;

AND THAT the Official Community Plan Bylaw and Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Official Community Plan Map Amending Bylaw and Rezoning Bylaw be considered subsequent to the issuance of an Environmental Development Permit on the subject properties;

AND THAT final adoption of the Official Community Plan Map Amending Bylaw and Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule “A” attached to the Report from the Community Planning Department dated February 19, 2018;

AND FURTHER that final adoption of the Official Community Plan Map Amending Bylaw and Rezoning Bylaw be considered in conjunction with a Development Permit for the subject properties.

## **2.0 Purpose**

To amend the Official Community Plan to change the OCP Future Land Use designation and to rezone the subject properties to facilitate the development of Low Density Cluster Housing in the form of a “pocket neighbourhood”.

## **3.0 Community Planning**

Community Planning supports the proposed Official Community Plan (OCP) Amendment and Rezoning Bylaw to facilitate the development of Low Density Cluster Housing under the RU<sub>4</sub> zone. The proposed development re-purposes a vacant and under-utilized site. The Holy Spirit Catholic Church previously owned the large site and relocated to a location more suitable for their needs elsewhere in the City. The OCP Amendment to change the Future Land Use from EDIST – Educational/Major Institutional to S<sub>2</sub>RES – Single/Two Unit Residential is appropriate as S<sub>2</sub>RES is the primary zone in the surrounding neighbourhood.

The proposed development under RU<sub>4</sub> will increase density and housing diversity in the neighbourhood, while preserving topography, natural features, open space, and environmentally sensitive features. The use of the RU<sub>4</sub> zone allows the proposal to proceed with 19 clustered single family dwellings while preserving the steep hillsides and dedicating a public trail through the site. Should Council support this OCP Amendment and Rezoning, any Environmentally Sensitive Areas will be protected through an Environmental Development Permit process. The site layout, form and character, and landscaping will be approved through a Council-issued Development Permit prior to final adoption of the OCP Amendment and Rezoning.

The applicant has proposed “pocket neighbourhood” design that has been introduced in other municipalities in Canada and the USA. This type of development typically includes small-scale walk-up single-detached houses, with central gathering areas, pedestrian pathways, and is designed to foster community and social interaction among residents. This is achieved through multiple common areas, common parking areas, and reduced footprints for houses. Each house would be individually owned, with the remainder of the property preserved as common property with a public right-of-way along a trail through the property. Preservation of trees, views, and additional landscape plantings will allow the community to take on a naturalized park-like feel. Several of the houses are only accessible by pedestrian access (e.g. sidewalks) with a common parking area, increasing the park-like feel and fostering a sense of community. The applicant has also proposed to include a CarShare vehicle for the property to reduce vehicle ownership and support increased use of active modes of transportation. It is a unique proposal in Kelowna for this type of sustainable and diverse housing option.

The applicant has submitted a thorough design rationale and description of the program objectives and design of the neighbourhood as Attachment “A”, attached to the Report from Community Planning dated February 19, 2018. The proposed development achieves several Official Community Plan (OCP) Objectives including the following:

- **Objective 5.1:** Ensure new development is consistent with OCP goals.
- **Objective 5.3:** Focus development to designated growth areas.
- **Objective 5.4:** Ensure adherence to form and character, natural environment, hazardous condition and conservation guidelines.
- **Objective 5.5:** Ensure appropriate and context sensitive built form.
- **Objective 5.11:** Support parking management programs that promote reduced vehicle ownerships, reduced vehicle trips and increased use of active modes of transportation.
- **Objective 5.18:** Ensure efficient land use through redevelopment of parking lots.

Additionally, several more specific OCP Policies are achieved including the following:

- **Policy 5.3.2: Compact Urban Form.** Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs per ha located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.
- **Policy 5.10.1: Maximize Pedestrian / Cycling Connectivity.** Require that pedestrian and cyclist movement and infrastructure be addressed in the review and approval of all City and private sector developments, including provision of sidewalks and trails and recognition of frequently used connections and informal pedestrian routes. With new developments, require dedication of on-site walking and cycling paths where necessary to provide links to adjacent parks, schools, transit stops, recreation facilities, employment nodes, cul-de-sacs and large activity areas.
- **Policy 5.15.12: Steep Slopes.** Prohibit development on steep slopes (+30% or greater for a minimum distance of 10 metres) except where provided for in ASPs adopted or subdivisions approved prior to adoption of OCP Bylaw 10500.
- **Policy 5.22.7: Healthy Communities.** Through current zoning regulations and development processes, foster healthy, inclusive communities and a diverse mix of housing forms, consistent with the appearance of the surrounding neighbourhood.
- **Policy 5.22.10: Housing Mix.** Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.
- **Policy 5.22.6: Sensitive Infill.** Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighborhood with respect to building design, height and siting.

The introduction of varied housing types within the City’s housing stock is align with the Healthy Housing Strategy that is currently being developed for Council consideration which is based on Council’s priority of Housing Diversity. The “pocket neighbourhood” concept addresses the Healthy Housing Strategy by providing an innovative form and tenure and missing middle housing. One of these houses could be an attractive home for a first time home buyer, small family, or someone looking to downsize or age-in-place. Smaller homes with shared amenity spaces create a denser development that can be more economically viable to the purchaser and is a beneficial use of valuable urban land.

The establishment of this type of housing in this neighbourhood is sensitive to the existing single family dwelling nature of the neighbourhood, and it is anticipated traffic will be reduced from the church operations that existed previously (particularly at peak times). Staff have reviewed the OCP application, and it may move forward without affecting either the City's Financial Plan or Waste Management Plan.

#### **4.0 Proposal**

##### **4.1 Background**

The large 1.5 ha property was previously used as a church and large ancillary parking lot, however, the church has moved elsewhere and the property sits vacant. After several pre-application meetings with Staff, the application to rezone to RU4 – Low Density Cluster Housing was made to achieve a better use of the subject property while preserving topographical and natural features of the site. Further discussions with City Departments have ensured that the proposal meets requirements of the Fire Department and Development Engineering Department for access and safety.

##### **4.2 Project Description**

The proposed “pocket neighbourhood” development includes 19 single family dwellings with a large shared park component. The concept behind a “pocket neighbourhood” is to foster community interaction with expanded common outdoor areas, smaller homes, and a focus on pedestrian connections over vehicles. The following features are currently proposed:

- Nine 3-bedroom houses, approximately 140m<sup>2</sup> (1,400 – 1,500 SF), 1½ storeys, 2 parking spaces in driveway;
- Four 2-bedroom houses, approximately 102m<sup>2</sup> (1,100 SF), single storey, 2 parking spaces in shared parking area (walk-in units with no vehicle access);
- Seven 2-bed plus den houses, approximately 111m<sup>2</sup> (1,200 SF), single storey, 2 parking spaces in driveway;
- Approximately 1000m<sup>2</sup> (11,400 SF) of shared park land adjacent to houses. This space will feature trees plantings, pathways, and other landscaping features;
- Fire access lane to enable fire truck access to the site with no need for a turn around. This access will include a locked gate to maintain security to the site;
- Garbage and recycling area is located to maximize ease of use for the residents whilst also being hidden from view from the entrance to the site and neighbouring residents;
- Shared parking for residents and guests with stepped retaining walls;
- CarShare parking at the entrance to the site.



In addition, the following objectives will be achieved through the rezoning process:

- Upgrade and construction of road frontage along Neptune Rd to Mercury Rd;
- Construction of crosswalk across Neptune Rd to Mercury Rd;
- Staff issued Environmental Development Permit;
- Public Statutory Right of Way to legalize and formally establish existing pedestrian trail from Neptune Rd to Teasedale Rd;
- Registration of a 219 Restrictive "Do Not Disturb" Covenant to protect steep slopes on the subject property;
- Council approved Form and Character Development Permit.

#### 4.3 Site Context

The 1.5 ha subject property is located in the Rutland Sector of Kelowna, with access from Springfield Road onto Neptune Road. The neighbourhood is primarily Single/Two Unit Residential, with Resource Protection Areas at the top of a steep slope, and access to the Mission Creek Greenway at the bottom of a steep slope. It earns a WalkScore of 3, which means it is a car dependent neighbourhood.

Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 – Large Lot Housing	Single Dwelling Housing
East	A1 – Agriculture 1	Agriculture
South	RR2 – Rural Residential 2	Single Dwelling Housing
West	RR2 – Rural Residential 2	Single Dwelling Housing

**Subject Property Map: 1235 & 1260 Neptune Rd**



## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP) Objectives

- **Objective 5.1:** Ensure new development is consistent with OCP goals.
- **Objective 5.3:** Focus development to designated growth areas.
- **Objective 5.4:** Ensure adherence to form and character, natural environment, hazardous condition and conservation guidelines.
- **Objective 5.5:** Ensure appropriate and context sensitive built form.
- **Objective 5.11:** Support parking management programs that promote reduced vehicle ownerships, reduced vehicle trips and increased use of active modes of transportation.
- **Objective 5.18:** Ensure efficient land use through redevelopment of parking lots.

### 5.2 Kelowna Official Community Plan (OCP) Policies

- **Policy 5.3.2: Compact Urban Form.** Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs per ha located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.
- **Policy 5.10.1: Maximize Pedestrian / Cycling Connectivity.** Require that pedestrian and cyclist movement and infrastructure be addressed in the review and approval of all City and private sector developments, including provision of sidewalks and trails and recognition of frequently used connections and informal pedestrian routes. With new developments, require dedication of on-site

walking and cycling paths where necessary to provide links to adjacent parks, schools, transit stops, recreation facilities, employment nodes, cul-de-sacs and large activity areas.

- **Policy 5.15.12: Steep Slopes.** Prohibit development on steep slopes (+30% or greater for a minimum distance of 10 metres) except where provided for in ASPs adopted or subdivisions approved prior to adoption of OCP Bylaw 10500.
- **Policy 5.22.7: Healthy Communities.** Through current zoning regulations and development processes, foster healthy, inclusive communities and a diverse mix of housing forms, consistent with the appearance of the surrounding neighbourhood.
- **Policy 5.22.10: Housing Mix.** Support a greater mix of housing unit size, form and tenure in new multi-unit residential and mixed use developments.
- **Policy 5.22.6: Sensitive Infill.** Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighborhood with respect to building design, height and siting.

## 6.0 Technical Comments

### 6.1 Bylaw Services:

- Currently there are no outstanding Bylaw enforcement files pertaining to property locations: 1235 & 1260 Neptune Rd.

### 6.2 Development Engineering Department

- Please see Schedule "A" attached to the Report from Community Planning dated February 19, 2018.

## 7.0 Application Chronology

Date of Application Received: June 5, 2017  
 Date Public Consultation Received: November 28, 2018

**Report prepared by:** Trisa Atwood, Planner II

**Reviewed by:** Terry Barton, Urban Planning Manager

**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

### **Attachments:**

Attachment "A": Applicant's Letter of Design Rationale

Attachment "B": Site Plan and Massing Plans

Schedule "A": Development Engineering Memorandum dated July 26, 2017

## Overview

On behalf of the site developer, Davara Holdings, the development proposal includes 19 single family homes with associated roads and parking. The site proposal also includes a 11,400 SF park to be shared by the residence.

The site totals 1.5 hectares located in the Rutland area and currently features a church and associated parking (P2 – Education and minor industrial zoning). The existing church is used infrequently and the intent is to turn the site into a functional and comfortable living space that would include the following:

1. Nine lots (7-10 & 15-18) 3 bedroom houses at approximately 1,400 – 1,500 SF. They will be 1 ½ storey houses, each with min 1 parking space on site and 1 parking space in shared parking. The houses will also feature their own private outdoor space.
2. Four lots (11-14) 2 bedroom houses at approximately 1,100 SF. They will be single storey houses, each with 1 parking space in the shared parking, 1 car detached garage and their own private outdoor space.
3. Seven lots (1-6 & 19) 2 bed + den houses at approximately 1,200 SF. They will be single storey houses, each with 2 parking spaces on site.
4. 11,400 SF shared park land with access to houses. This space will feature new trees, pathways and other landscaping with access to the existing pathway on easement which is used by the public to walk up the hill.
5. Fire access lane to enable fire truck access to the site with no need for a turn around. This access will include a locked gate to maintain security to the site. This lane would not be useable by the residents or public and would only be used in an emergency. This access was designed in conjunction with the local fire chief.
6. Garbage and recycling area. This space is located to maximise ease of use for the residents whilst also being hidden from view from the entrance to the site and neighbouring residents.
7. Shared parking for residents and guests with stepped retaining walls.
8. Rideshare parking at the entrance to the site.

## Site Design and Road Access

There were many schematic designs to the site prior to the proposed scheme, including Suburbia, Typical Subdivision and 2 Pocket Housing Hybrid plans. The idea behind the design of the site was to minimise the roads and maximise the shared park space whilst also suiting the topography of the site and easements.

The proposed site plan features 2 roads from the existing Neptune Road. The first runs towards the south for 80m at 6m width to access the lots 1-10 with a turning area at the end. This road also connects via pathway to the existing path easement which runs east-west up the hill. The parking is all off-road and well spaced with good access to each house. There are to be additional trees and landscaping to create a functional yet aesthetically pleasing space.

The second road runs east along the site boundary and curves to a turning area at the shared park. We opted for having the road along the boundary to space the proposed houses away from the neighbouring residents and create some breathing space between neighbourhoods. The curved parking along this road is one of the main features of the site and creates functional parking and access to the park and fire access whilst also creating a sophisticated, curved retaining wall which steps back up the hill.

The two roads are spaced away from each other and from existing entrances to neighbouring properties. This therefore creates comfortable access to and from the site with good visibility whilst not impeding on the functionality of the existing turning area.

## House location and Orientation

The proposed houses are split into 3 groups. The first are the 'premium' lots (Lots 1-6) which are located along the west boundary with large lot sizes and a generous 5m spacing between houses. These houses feature fantastic views across Kelowna, whilst also optimizing passive solar gains.

The second group of houses (Lots 7-10) run adjacent to the 'premium' lots. These houses would be slightly taller than the first group enabling views over and between the opposite houses toward Kelowna. These houses have 4m spacing, comfortable private outdoor space and very good access to the adjacent shared park.

The third group is the 'pocket housing' which has no direct road access but very good access to the shared park space. These houses each have their own garage which is located alongside the shared parking where they also have their own parking space. The houses are orientated to provide views across the shared park with offset positions to create good aesthetical proportions along the south side of the park. The houses each have their own private outdoor space.

The fourth group of houses is along the north side of the site. As mentioned previously, these houses were spaced away from the existing neighbours to create a comfortable site line which does not overlook the neighbours. The houses are angled for good aesthetics and solar access whilst also providing views of the shared park. The houses each have their own onsite parking and private outdoor space with very good access to the shared park.

## House Style

The three house designs are to be relatable to each other in terms of style, materiality and colour. They will each have a cottage / rancher style with pitched vaulted roofs, country style windows and large porches to overlook the park or views of Kelowna. The style of the houses will be more traditional to the Kelowna region with traditional cladding and trim and proportional eaves to the roof, which is reminiscent in the neighbouring houses. However, the houses will feature high performance building methods and materials. This, therefore would provide modern high performance homes with traditional style.

Regards,



Brett Sichello  
Registered Building Designer  
B. Arch. Sci., LEED® AP, ASCT  
Certified Passive House Designer



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DATE	REVIEW FOR
03-22-17	CLIENT REVIEW
04-13-17	RE-ZONING
10-09-17	SCHEMATIC DESIGN

PROJECT TITLE  
Neptune Pocket  
Neighbourhood  
1260 Neptune Road  
Kelowna, BC

SHEET TITLE

Preliminary  
Site Plan

SCALE  
1/32" = 1'-0"

DRAWING NUMBER

A1.0



GENERAL CONDITIONS  
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DATE	ISSUED FOR
03-20-17	CLIENT REVIEW
04-13-17	RE-ZONING
10-09-17	SCHEMATIC DESIGN

PROJECT TITLE

#1619

Neptune Pocket  
Neighbourhood  
1260 Neptune Road  
Kelowna, BC

SHEET TITLE

Site Plan

SCALE

NTS

DRAWING NUMBER

A1.1



City of Kelowna  
COMMUNITY PLANNING

Planner Initials TA



**GENERAL CONDITIONS**  
Check and verify all critical details and dimensions prior to the start of construction and contact this office if any clarification is required. Hidden dimensions will always take precedence over scaled dimensions. This drawing must be used in conjunction with all drawings & specifications issued for this project. Contractor is responsible to notify designer about conflicting design instructions.

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DATE	ISSUED FOR
03-22-17	CLIENT REVIEW
04-13-17	RE-ZONING
10-05-17	SCHEMATIC DESIGN

PROJECT TITLE  
Neptune Pocket  
Neighbourhood  
1260 Neptune Road  
Kelowna, BC

SHEET TITLE

Elevations

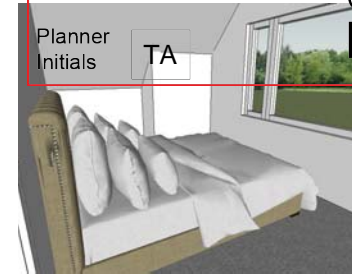
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DRAWING NUMBER

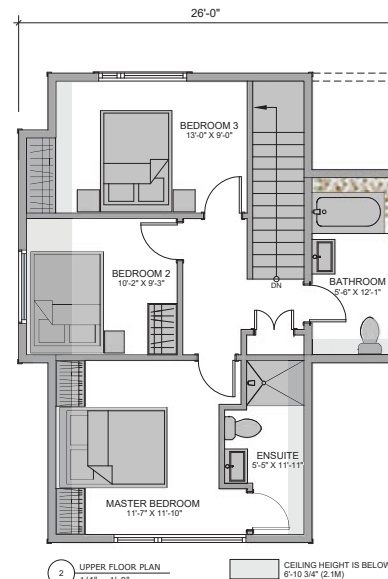
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City of Kelowna  
COMMUNITY PLANNING

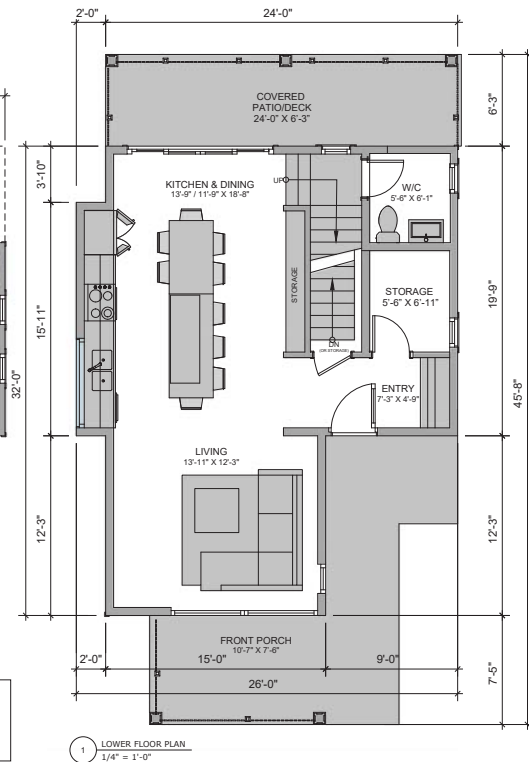


Planner Initials TA



## FLOOR AREA SUMMARY

A. Main Floor Living	643
B. Upper Floor Living	894
Total Living (B+C)	1,337
C. Balcony	230



GENERAL CONDITIONS  
Check and verify all critical details and dimensions prior to the start of construction and contact the office if any clarification is required. Hidden dimensions will always take precedence over stated dimensions. This drawing must be used in conjunction with all drawings & specifications issued for this project. Contractor is responsible to notify designer about conflicting design instructions.

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SITE NORTH PROJECT NORTH

DATE	ISSUED FOR
2017-07-17	SCHEMATIC DESIGN
2017-07-19	SCHEMATIC DESIGN
2017-10-02	SCHEMATIC DESIGN

PROJECT TITLE 1619  
Neptune Pocket  
Housing  
Neptune Road  
Kelowna, BC

SHEET TITLE

The Gable

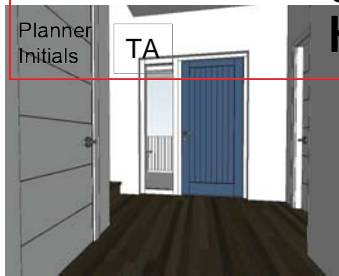
SCALE AS NOTED

DRAWING NUMBER

A2.0

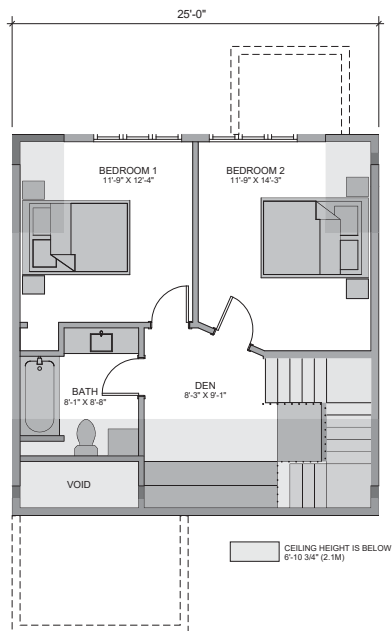


City of Kelowna  
COMMUNITY PLANNING



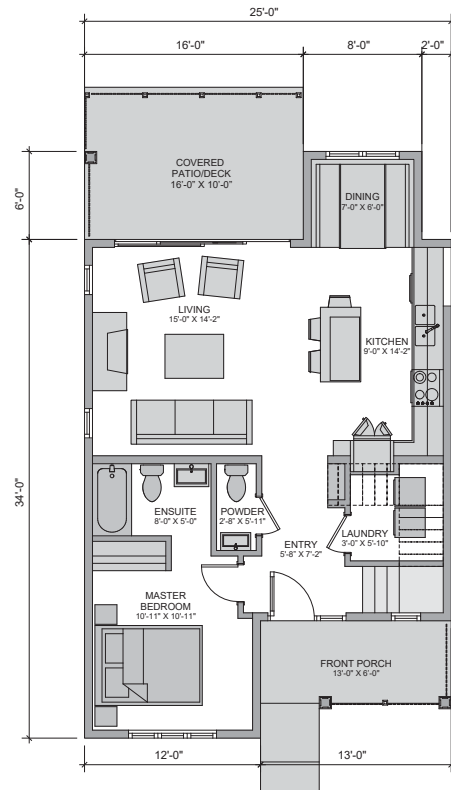
Planner  
Initials

TA



FLOOR AREA SUMMARY

MAIN FLOOR	794 SF
UPPER FLOOR	595 SF
TOTAL	1,389 SF
BALCONY	238 SF



GENERAL CONDITIONS  
Check and verify all notes, details and dimensions prior to the start of construction and contact the office if any clarification is required. Hidden dimensions will always take precedence over scaled dimensions. This drawing must be used in conjunction with all drawings & specifications for this project. Contractor is responsible to verify dimensions and conditions of existing structures.

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SITE NORTH PROJECT NORTH

DATE	REVISION FOR
2101-07-20	SCHEMATIC DESIGN
2017-10-02	SCHEMATIC DESIGN

PROJECT TITLE  
Neptune Pocket  
Housing - NPB  
Neptune Road  
Kelowna, BC

SHEET TITLE

The Cottage

SCALE AS NOTED

DRAWING NUMBER

B2.0

**CITY OF KELOWNA**  
**MEMORANDUM**

**Date:** July 26, 2017  
**File No.:** Z17-0053  
**To:** Urban Planning Management (TB)  
**From:** Development Engineering Manager (JK)  
**Subject:** 1260 & 1235 Neptune Rd P2 to RU4

The Development Engineering Department has the following comments and requirements associated with this application to rezone the subject property from P2 (Educational & Minor Institutional) to RU4 (Low Density Cluster Housing) to facilitate the development of a "pocket neighbourhood".

The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Jason Ough

**1. Domestic Water and Fire Protection**

- a) This development is within the service area of the Black Mountain Irrigation District (BMID). The developer is required to make satisfactory arrangements with the BMID for these items. All charges for service connection and upgrading costs, as well as any costs to decommission existing services are to be paid directly to BMID.
- b) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures.

**2. Sanitary Sewer**

- a) 1260 & 1235 Neptune Rd are currently serviced with 100mm sanitary services. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services and the installation of one new larger service if necessary. Any service improvement and decommissioning works may be included in an offsite servicing design package submission including an estimate for bonding purposes.
- b) 1260 & 1235 Neptune Rd are currently within Sanitary Sewer Connection Area # 23. The developer will be responsible to pay in full, the Connection Area charges for this development. The charge is currently set at \$2045.50 per Equivalent Dwelling Unit (EDU). The calculation of this fee is as follows: 19units X \$5,501.67= \$104,531.73

**3. Storm Drainage**

The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems. Only one service will be permitted for this development. The applicant, at his cost, will arrange the installation of one overflow service if required.

**4. Road Improvements**

- a) The applicant must have a civil engineering consultant submit a design for roadway improvements along the entire frontage of the subject properties. This will include sidewalk, LED street lighting, landscaped boulevard, storm drainage system, relocation or adjustment of utility appurtenances if required to accommodate the upgrading construction. An estimate for public side works will be required, for bonding purposes, to be submitted by the applicants civil engineering consultant.
- b) Design and construct sidewalk extension to new pedestrian crosswalk at Mercury road.
- c) Maximum width of proposed accesses will be 6m.

**5. Road Dedication and Subdivision Requirements**

- a) The subject properties are required to be consolidated as part of this development project.
- b) Provide ROW access agreement for a public walkway through this development. This public access walkway must remain unobstructed.
- c) Grant statutory rights-of-way if required for utility services.

**6. Electric Power and Telecommunication Services**

All proposed service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

**7. Design and Construction**

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (Part 5 and Schedule 3).

- d) A "Consulting Engineering Confirmation Letter" (City document "C") must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

## 8. Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

## 9. Other Engineering Comments

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors as required.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Fortis, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

## 10. Geotechnical Report

- a) Provide a comprehensive geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: **NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed development.**
- Overall site suitability for development.
  - Presence of ground water and/or springs.
  - Presence of fill areas.
  - Presence of swelling clays.
  - Presence of sulphates.
  - Potential site erosion.
  - Provide specific requirements for footings and foundation construction.
  - Provide specific construction design sections for roads and utilities over and above the City's current construction standards


**11. Development Permit and Site Related Issues**

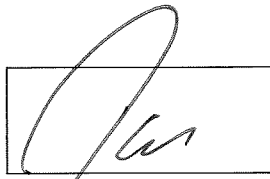
Access and Manoeuvrability

- (i) Ensure acceptable turning movements onsite for MSU design vehicle.
- (ii) Any bicycle racks included with this development shall be onsite.

**12. Charges and Fees**

- a) Development Cost Charges (DCC's) are payable.
- b) Fees per the "Development Application Fees Bylaw" include:
  - i) Street/Traffic Sign Fees: at cost if required (to be determined after design).
  - ii) Survey Monument Fee: \$50.00 per newly created lot (GST exempt).
  - iii) Engineering and Inspection Fee: 3.5% of construction value (plus GST).

  
\_\_\_\_\_  
Jason Ough  
Development Engineering Technologist

  
\_\_\_\_\_  
Development Engineering Manager  
(initials)

# CITY OF KELOWNA

## BYLAW NO. 11558

### Official Community Plan Amendment No. OCP17-0014 1235 & 1260 Neptune Road

---

A bylaw to amend the "*Kelowna 2030* – Official Community Plan Bylaw No. 10500".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT Map 4.1 - **GENERALIZED FUTURE LAND USE** of "*Kelowna 2030* – Official Community Plan Bylaw No. 10500" be amended by changing the Generalized Future Land Use designation of Lot 2, Section 14, Township 26, ODYD, Plan 27837, located at Neptune Rd, Kelowna, BC from the EDINST – Educational/Major Institutional designation to the S2RES – Single/Two Unit Residential designation.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

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City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11559**  
**Z17-0053 – 1235 & 1260 Neptune Road**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification Lot 2, Section 14, Township 26, ODYD, Plan 27837, located at Neptune Rd, Kelowna, BC; from the P2 – Educational & Minor Institutional zone to the RU4 – Low Density Cluster Housing zone;
2. AND THAT City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 3, Section 14, Township 26, ODYD, Plan 27837, located at Neptune Rd, Kelowna, BC; from the RU1 – Large Lot Housing zone to the RU4 – Low Density Cluster Housing zone.
3. This bylaw shall come into fullZ17-0053 - force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council this

---

Mayor

---

City Clerk

# REPORT TO COUNCIL



**Date:** February 19, 2018

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (KB)

**Application:** Z17-0111

**Owner:** Marty Dwayne Hoglin  
Denise Lillianne Hoglin

**Address:** 265 Terai Court

**Applicant:** Millennium Homes (Scott Zarr)

**Subject:** Rezoning Application

Existing OCP Designation: S2RES – Single / Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

Proposed Zone: RU1c – Large Lot Housing with Carriage House

---

## 1.0 Recommendation

THAT Rezoning Application No. Z17-0111 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 11 Section 22 Township 26 Osoyoos Division Yale District Plan 28699, located at 265 Terai Court, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated February 19, 2018.

## 2.0 Purpose

To rezone the subject property from RU1 – Large Lot Housing to RU1c – Large Lot Housing with Carriage House to facilitate the development of a carriage house.

## 3.0 Community Planning

Community Planning Staff support the proposed rezoning application from RU1 – Large Lot Housing to RU1c – Large Lot Housing with Carriage House to facilitate the development of a carriage house.

The Official Community Plan (OCP) Future Land Use designation of the subject property is S2RES – Single/Two Unit Residential, which supports this modest increase in density. The concept of the carriage house is aligned with the OCP Policy of Compact Urban Form – increasing density where infrastructure already exists. The property is connected to City sanitary sewer and within the Permanent Growth Boundary of the City.

Should Council approve the rezoning, the applicant may apply for a building permit provided there are no variances requested.

The applicant has confirmed the completion of public notification in accordance with Council Policy No. 367.

#### **4.0 Proposal**

##### **4.1 Background**

The subject property has a single family dwelling located on the property that will be retained through this development.

##### **4.2 Project Description**

The applicant has provided preliminary designs for a new single storey carriage house. A conceptual site plan has been submitted showing the single storey carriage house can be constructed without variances.

##### **4.3 Site Context**

The 931 m<sup>2</sup> subject property is located in the Rutland City Sector, in close proximity to schools and shopping areas. It is within the Permanent Growth Boundary and has a walk score of 55, which means it is somewhat walkable.

Specifically, adjacent land uses are as follows:

<b>Orientation</b>	<b>Zoning</b>	<b>Land Use</b>
North	RU1 – Large Lot Residential	Single Dwelling Housing
East	RU1 – Large Lot Residential RU6 – Two Dwelling Housing	Single and Two Dwelling Housing
South	RU1 – Large Lot Residential	Single Dwelling Housing
West	RU1 – Large Lot Residential	Single Dwelling Housing

## Subject Property Map: 265 Terai Court



### 5.0 Current Development Policies

#### 5.1 Kelowna Official Community Plan (OCP)

#### Chapter 5 - Development Process

**Policy 5.2.3 - Compact Urban Form.** Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Policy 5.22.6 – Sensitive Infill.** Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighborhood with respect to building design, height and siting.

**Policy 5.22.12 – Carriage Houses & Accessory Apartments.** Support carriage houses and accessory apartments through appropriate zoning regulations.

### 6.0 Technical Comments

#### 6.1 Development Engineering Department

See attached City of Kelowna Memorandum

## **7.0 Application Chronology**

Date of Application Received: November 20, 2017  
Date Public Consultation Completed: February 1, 2018

**Report prepared by:** Kimberly Brunet, Planner  
**Reviewed by:** Terry Barton, Urban Planning Manager  
**Approved for Inclusion:** Ryan Smith, Community Planning Department Manager

### **Attachments:**

Schedule "A" – City of Kelowna Memorandum  
Schedule "B" – Draft Site Plan



## CITY OF KELOWNA

## MEMORANDUM

**Date:** December 15, 2017  
**File No.:** Z17-0111  
**To:** Community Planning (TC)  
**From:** Development Engineering Manager (JK)  
**Subject:** 265 Terai Ct. Lot 11 Plan 28699 RU1 to RU1c Carriage House

Development Engineering has the following comments and requirements associated with this application. The utility upgrading requirements outlined in this report will be a requirement of this development.

1. Domestic Water and Fire Protection

The property is located within the Rutland Water District (RWD) service area. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. The developer is responsible, if necessary, to arrange with RWD staff for any service improvements.

2. Sanitary Sewer

- a) Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service which is adequate for this application.
- b) This property is located within Sewer Specified Area #23. 1 Single Family Equivalent (SFE) is paid for annually with property taxes and is required to be paid in full as part of this rezoning application in addition to 0.5 SFE for the proposed carriage house. The total sewer Specified Area fee in 2017 will be calculated based on 1.5 SFE at \$5,501.67 per SFE = **\$8252.51**

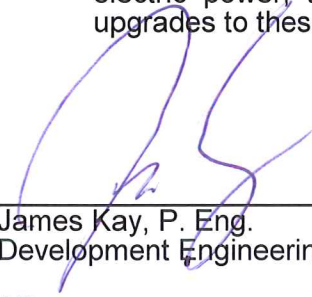
3. Development Permit and Site Related Issues

Direct the roof drains onto splash pads.

Driveway access permissible is one (1) per property as per bylaw

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

  
James Kay, P. Eng.  
Development Engineering Manager

AS

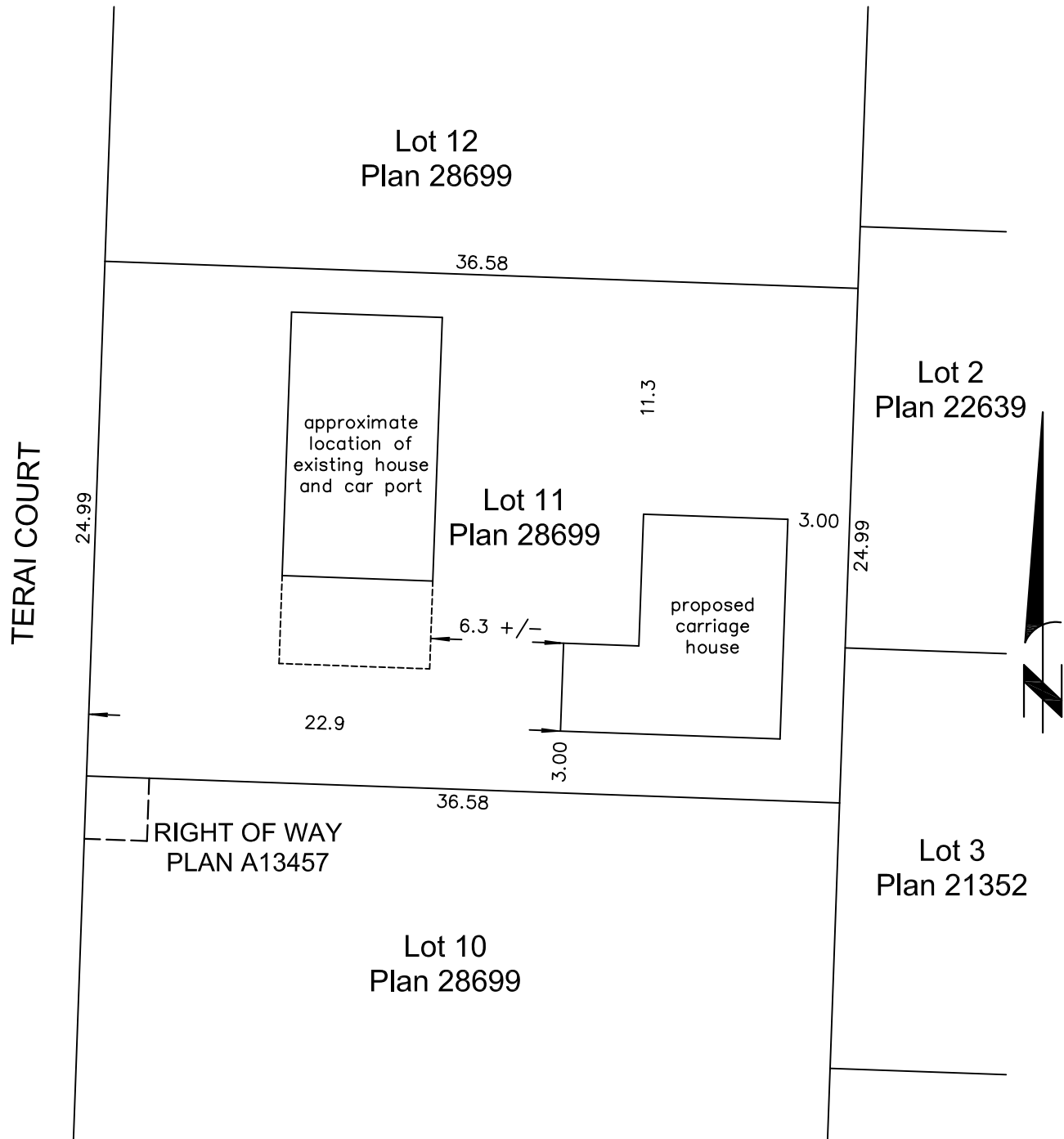
PROPOSED LOCATION OF BUILDING ON  
LOT 11, SEC 22, TP 26, ODYD, PLAN 28699.

PID: 004-490-975

CIVIC ADDRESS: 265 TERA I COURT, KELOWNA, BC.

CLIENT: MILLENNIUM HOME & RENOVATION

Scale 1:300 Metric. Distances shown are in metres and decimals thereof.



**CITY OF KELOWNA**  
**BYLAW NO. 11560**  
**Z17-0111 – 265 Terai Court**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 11, Section 22, Township 26, ODYD, Plan 28699, located at Terai Court, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Approved under the Transportation Act this

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(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

# REPORT TO COUNCIL



**Date:** February 19, 2018

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (LK)

**Application:** Z17-0076

**Owner:**

South Okanagan Construction  
LTD., INC. No. BC0130141

Single Bros. Holdings LTD.,  
INC. No. BC1095629

**Address:** 935 Mayfair Road

**Applicant:** Singla Bros. Holdings LTD.

**Subject:** Rezoning Application

Existing OCP Designation: S2RES – Single/Two Unit Residential

Existing Zone: RU1 – Large Lot Housing

Proposed Zone: RU6 – Two Dwelling Housing

---

## 1.0 Recommendation

THAT Rezoning Application No. Z17-0076 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot 6 District Lot 143 ODYD Plan 22014, located at 935 Mayfair Road, Kelowna, BC from the RU1 – Large Lot Housing zone to the RU6 – Two Dwelling Housing zone, be considered by Council;

AND THAT the Rezoning Bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Rezoning Bylaw be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated August 31, 2017;

AND FURTHER THAT final adoption of the Rezoning Bylaw be considered in conjunction with Council's consideration of a Development Permit and Development Variance Permit for the subject property.

## 2.0 Purpose

To rezone the subject property to facilitate the development of two single detached dwellings.

### 3.0 Community Planning

Community Planning Staff support the proposed rezoning application to allow the construction of two dwellings on the subject property. The Official Community Plan has a Future Land Use of S2RES – Single/ Two Unit Residential and rezoning to the RU6 – Two Dwelling Housing designation would allow for up to two dwellings on the parcel. Increased density already exists in the area as the surrounding neighbourhood contains a mix of single family and two dwelling housing parcels. The proposed two dwelling housing use meets many of the OCP’s Urban Infill Policies of supporting densification of neighbourhoods through appropriate infill development, including the use of smaller lots. The increase in density is further supported by local amenities such as parks, schools, transit and recreational opportunities in the immediate area. The two lots will be serviced by one common driveway access to Mayfair Road, in an effort to minimize any traffic impacts to the roadway.

Council Policy No. 367 with respect to public notification was undertaken by the applicant. All adjacent neighbours within a 50m radius were provided with a circulation package in regards to the proposed development.

### 4.0 Proposal

#### 4.1 Project Description

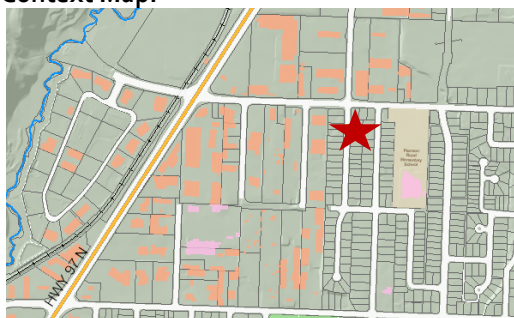
The proposal is to rezone the parcel from the RU1 – Large Lot Housing zone to the RU6 – Two Dwelling Housing zone. The applicant is proposing to construct two new single family dwellings on the property. Each dwelling is two storeys with four bedrooms and parking in the garage for two vehicles. The two units will have a shared driveway which helps reduce the amount of impermeable surfaces on the parcel. The application meets all but one of the Zoning Bylaw Regulations for the development of two dwelling housing and the applicant continues to work with staff regarding the site layout. Should Council support the rezoning of the parcel, the proposed parcel depth variance would come before Council for consideration.

#### 4.2 Site Context

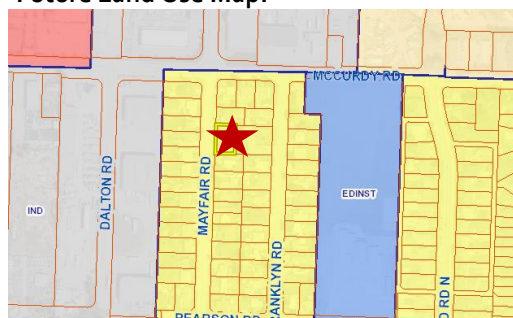
Specifically, adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	RU1 - Large Lot Housing	Single Family Dwelling
East	RU1 - Large Lot Housing	Single Family Dwelling
South	RU1 - Large Lot Housing	Single Family Dwelling
West	RU1 - Large Lot Housing RU6 - Two dwelling Housing	Single Family Dwelling Two Family Dwellings

Context Map:



Future Land Use Map:



Subject Property Map: 935 Mayfair Road



## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill.**<sup>2</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height, and siting.

## 6.0 Technical Comments

### 6.1 Building & Permitting Department

- No comments applicable to Rezoning.

### 6.2 Development Engineering Department

- Refer to Attachment 'A' dated August 31, 2017.

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.2.3 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.22.6 (Development Process Chapter).

6.3 BMID

- Refer to attached Letter.

6.4 FortisBC - Electric

No comments applicable to Rezoning.

**7.0 Application Chronology**

Date of Application Received: August 9, 2017

Date Public Consultation Completed: January 29, 2018

**Report prepared by:** Lydia Korolchuk, Planner

**Reviewed by:** Terry Barton, Urban Planning Manager

**Approved for Inclusion by:** Ryan Smith, Community Planning Department Manager

**Attachments:**

Attachment A: Development engineering Memorandum

Attachment B: Site Plan

Attachment C: Conceptual Elevations

## CITY OF KELOWNA

# MEMORANDUM

**Date:** August 31, 2017  
**File No.:** Z17-0076

**To:** Community Planning (LK)

**From:** Development Engineering Manager(JK)

**Subject:** 935 Mayfair Rd. Road RU1 to RU6

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Andy Marshall.

### 1) Domestic Water and Fire Protection

This property is currently serviced by BMID. Two 19mm water services are required to meet current by-law requirements. An additional 19mm service will be required. Contact BMID for costs and installation.

### 2) Sanitary Sewer

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. No further utility upgrades are needed.

### 3) Road Improvements

- i. Mayfair Road must be upgraded to an urban standard along the full frontage of this proposed development, including sidewalk, pavement removal and replacement, boulevard landscaping, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. A one-time cash payment in lieu of construction must be collected from the applicant for future construction by the City. The cash-in-lieu amount is determined to be **\$23,800.00 not including utility service cost.**
- ii. Only the service upgrades must be completed at this time. The City wishes to defer the upgrades to Mayfair Road fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule.

Item	Cost
Sidewalk	\$6,500.00
Street Lighting	\$2,100.00
Road Fillet	\$7,300.00
Storm Drainage	\$13,900.00
Blvd Landscaping	\$2,800.00
<b>Total</b>	<b>\$23,800.00</b>

**4) Development Permit and Site Related Issues**

- i) Direct the roof drains into on-site rock pits or splash pads.
- ii) By registered plan, Grant Statutory Rights-of-Way if required for utility services

**5) Survey, Monument and Iron Pins**

- i) If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

**6) Electric Power and Telecommunication Services**

- i) The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

**7) Geotechnical Report**

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- i) Area ground water characteristics.
- ii) Site suitability for development, unstable soils, etc.
- iii) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- iv) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- v) Additional geotechnical survey may be necessary for building foundations, etc.

**8) Bonding and Levy Summary****Levies**

Mayfair Road Frontage Improvements

**\$23,800.00**

  
 \_\_\_\_\_  
 James Kay, P. Eng.  
 Development Engineering Manager

AM

---

**CITY OF KELOWNA**

**MEMORANDUM**

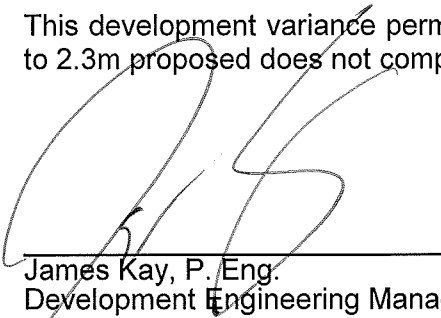
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**Date:** Aug 31, 2017  
**File No.:** DVP17-0178  
**To:** Community Planning (LB)  
**From:** Development Engineer Manager (JK)  
**Subject:** 935 Mayfair - Side yard setback variance

---

The Development Engineering comments and requirements regarding this DVP application are as follows:

This development variance permit application to vary the side yard setback from 4.5m required to 2.3m proposed does not compromise any municipal services.

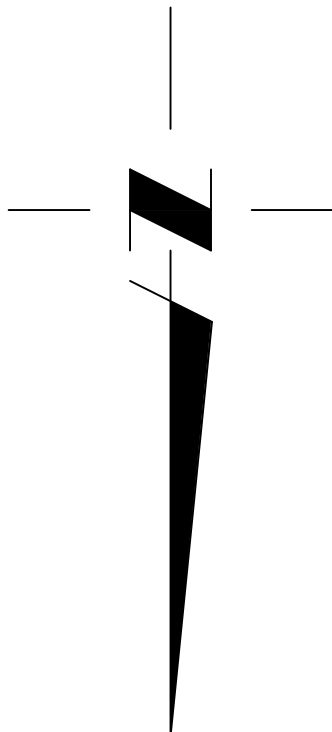
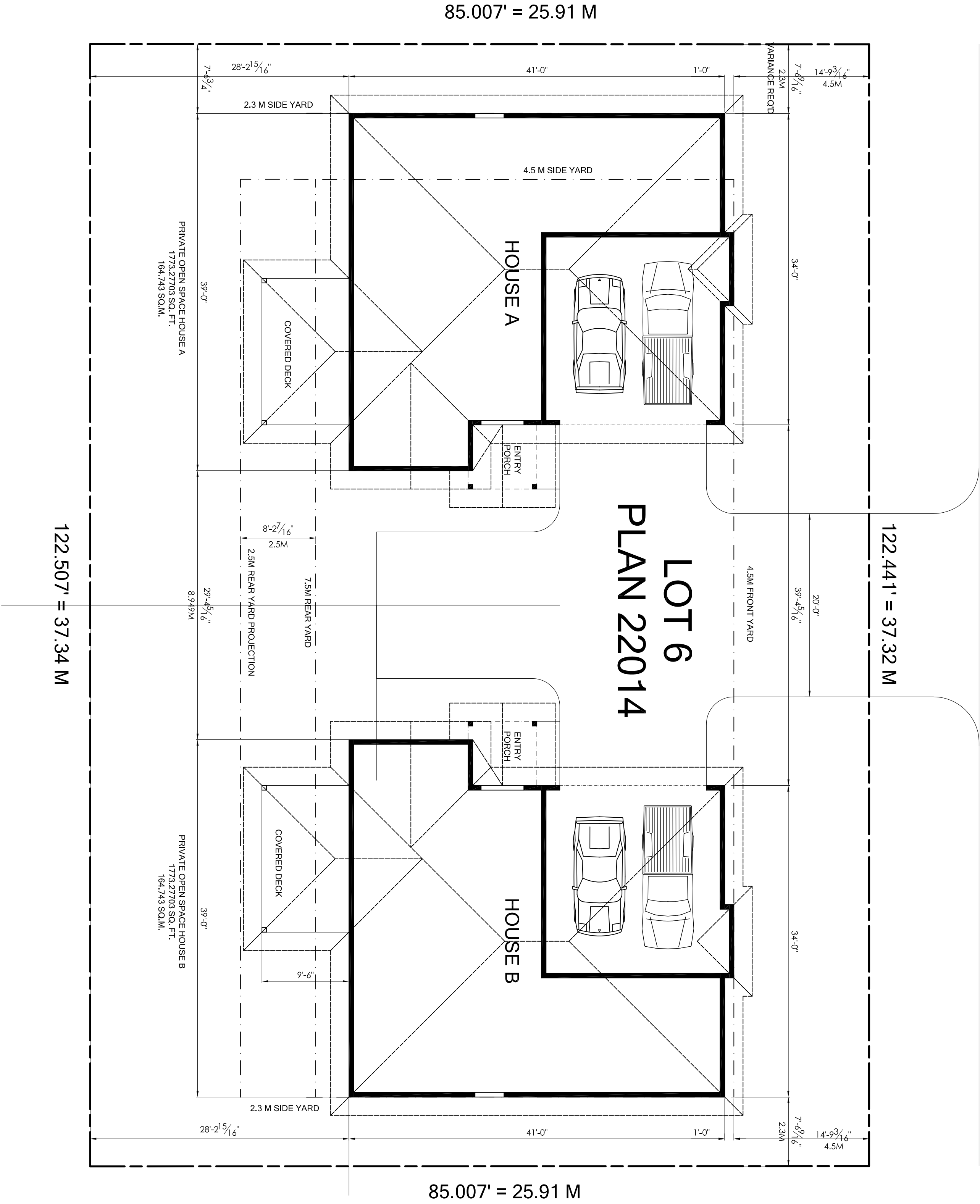


---

James Kay, P. Eng.  
Development Engineering Manager

AM

935 MAYFAIR ROAD



SITE DATA

MUNICIPAL ADDRESS:

LEGAL:

ZONING:

935 MAYFAIR ROAD, KELOWNA BC  
LOT 6 PLAN 22014  
EXISTING RU1  
PROPOSED REZONING RU6 - TWO DWELLING HOUSING

LOT AREA:

10,413.979 SQ.FT. (967,490 SQ.M.)

BUILDING FOOTPRINT AREA:

1671,5000 SQ.F.T x 2 HOUSES = 3343,000 SQ.FT.

LOT COVERAGE BUILDINGS:

MAX 40% PROPOSED 32.10%

LOT COVERAGE BUILD & PARKING:

MAX 50% PROPOSED 44.90%

ENGINEER'S SEAL:

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PROJECT:

SINGLA BROS. HOLDINGS LTD.  
RU6 LOT DEVELOPMENT  
935 MAYFAIR RD, KELOWNA BC

SHEET TITLE

SITE PLAN

ISSUED FOR CONSTRUCTION

DATE: \_\_\_\_\_

ISSUED FOR BUILDING PERMIT

DATE: \_\_\_\_\_

ENGINEERING LTD.

STRUCTURAL CONSULTANT

10 JAMIESON DRIVE, KELOWNA BC V1Y 8A3

C-MAIL: JMSENGINEERING@TELUS.NET

JOSEPH M. SARKOR, P.ENG.

DESIGNER

RL

JOB NUMBER

-

CHECKED

JMS

SHEET NO.

1

SCALE

1/8"=1'-0"

DATE

JULY 9, 2007

OF 1

# GENERAL NOTES

## COPYRIGHT

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## GENERAL

JMS ENGINEERING MAKE EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. IT IS THE RESPONSIBILITY THE OWNER AND CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, STRUCTURE, AND CONDITIONS ON THE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY DEPARTURE FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS DERIVED IN THESE DRAWINGS.

THESE PLANS HAVE BEEN DESIGNED TO CONFORM TO PART 9 OF THE MOST RECENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE.

WRITTEN DIMENSIONS SHALL IN ALL CASES TAKE PRECEDENCE TO SCALE.

## ASSUMED DESIGN LOADS

DEAD LOADS  
ROOF WITH CONCRETE TILES: 25 P.S.F. - 1.2 KPA  
ROOF WITH SHAKES/SHINGLES: 10 P.S.F.  
FLOOR: 10 P.S.F. - .48 KPA  
DECK: 10 P.S.F. - .48 KPA

LOADS  
FLOOR: 40/12 P.S.F. - 1.9 KPA  
ROOF: 35/10 P.S.F. - DESIGN ROOF LOAD  
DECK: 40 P.S.F. - 1.9 KPA

1. THE GROUND SNOW / RAIN LOADS FOR YOUR PARTICULAR REGION CAN BE OBTAINED BY CONTACTING THE LOCAL BUILDING AUTHORITIES HAVING JURISDICTION. IF THE LOADS FOR THE REGION IN WHICH THESE PLANS ARE BEING CONSTRUCTED EXCEED THE ASSUMED LOAD STATED IN THESE DRAWINGS IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO HIRE THE APPROPRIATE LOCAL PROFESSIONAL TO MAKE THE NECESSARY ADJUSTMENTS TO THESE PLANS.
2. CONSTRUCT LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT SHALL NOT EXCEED THE DESIGN LOAD.

## ENGINEERING

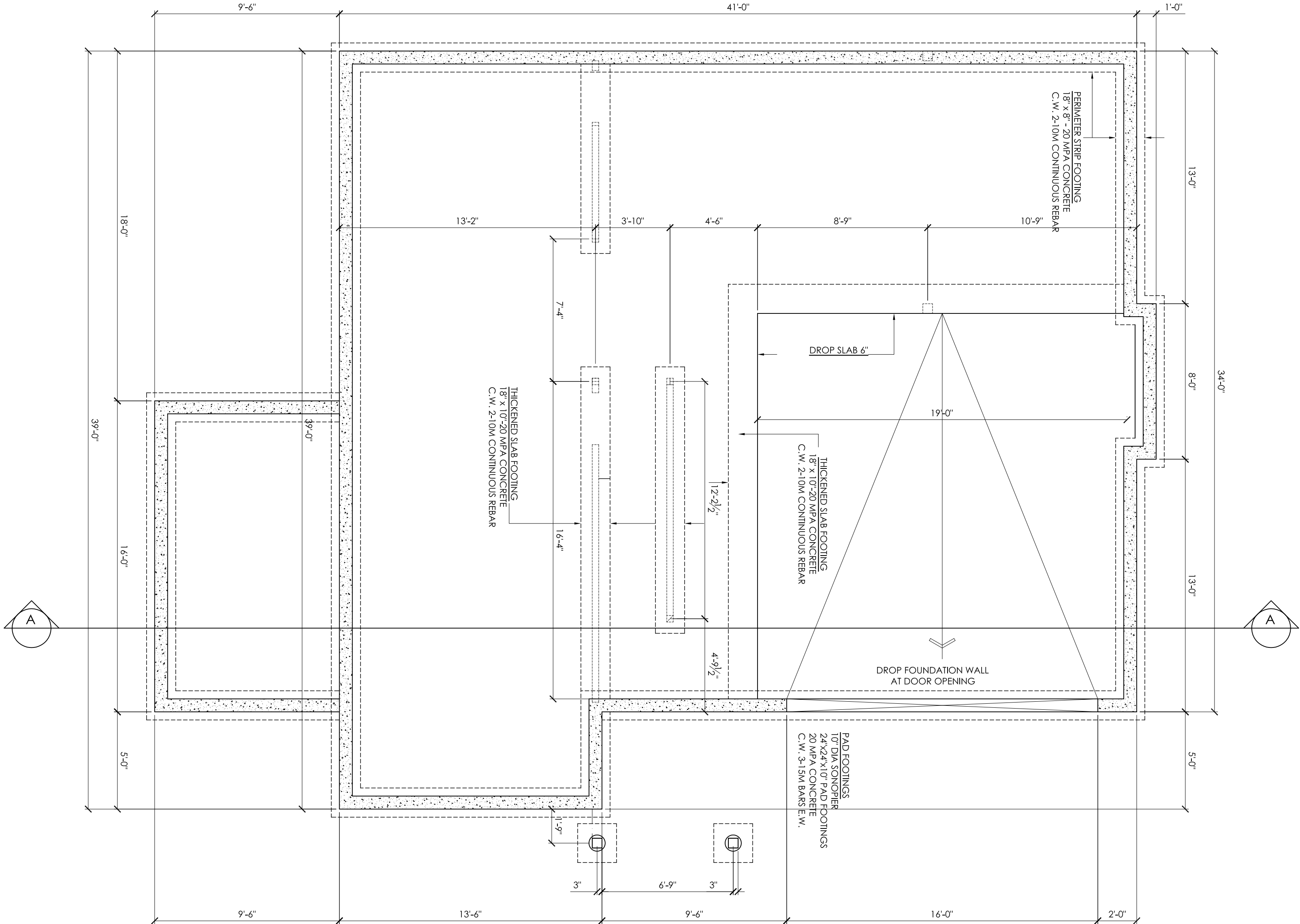
1. THIS BUILDING IS DESIGNED UNDER PART 9 OF THE BRITISH COLUMBIA BUILDING CODE, CURRENT EDITION, OCCUPANCY GROUP C. ALTHOUGH THESE PLANS ARE DESIGNED USING STANDARD ENGINEERING AND BUILDING PRACTICES, IN SOME INSTANCES TO PROVIDE INNOVATIVE HOME PLANS, IT HAS BEEN NECESSARY TO DESIGN SUPPORTING STRUCTURES THAT MAY REQUIRE A REVIEW AND A SEAL BY A PROFESSIONAL ENGINEER AT THE DISCRETION OF THE LOCAL BUILDING AUTHORITY. AN ENGINEER SEAL MAY ALSO BE REQUIRED IF HIGH SNOW LOADS, RAIN LOADS, WIND LOADS, SEISMIC REQUIREMENTS OR UNUSUAL SITE CONDITIONS OCCUR IN THE AREA IN WHICH THE RESIDENCE IS BEING BUILT. IN SUCH CASES, THE PROVISIONS OF SUCH A SEAL IS THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
2. ALL TRUSSES, ENGINEERED BEAMS, AND HANGERS ARE TO BE VERIFIED AND CERTIFIED BY A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER BEFORE PURCHASE.
3. SUGGESTED TRUSS LAYOUT SHALL BE CONFIRMED BY MANUFACTURER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, REPORT ANY CHANGES TO THE DESIGNER.

## FOOTINGS AND FOUNDATIONS

1. THE COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL NOT BE LESS THAN 32 MPA FOR EXTERIOR STEPS, GARAGE, AND CARPORT FLOORS, AND 25 MPA FOR ALL OTHER CONCRETE.
2. CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL AT A LEVEL BELOW FROST PENETRATION.
3. FOOTINGS ON THESE DRAWINGS HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2000 P.S.F. (99.8 KPA). IF LESSER BEARING CAPACITY IS ENCOUNTERED DUE TO LOCAL SOIL CONDITIONS, IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO HAVE THE FOOTINGS REDESIGNED BY A PROFESSIONAL ENGINEER TO SUIT ACTUAL SITE CONDITIONS.
4. BACKFILL SHALL NOT BE PLACED AGAINST FOUNDATION WALLS UNTIL THE CONCRETE HAS REACHED ITS SPECIFIED 28 DAY STRENGTH AND THE STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS IS COMPLETE AND FULLY NAILED AND ANCHORED.
5. ALL FOUNDATION WALLS TO BE REINFORCED WITH ONE HORIZONTAL 10 M REINFORCING BAR CENTERED 4" FROM THE TOP CORNER, HORIZONTAL AT 24" O.C. AND VERTICAL AT 48" O.C.
6. ALL REBAR TO BE LAPPED MINIMUM 24".
7. ALL STRIP FOOTINGS TO HAVE TWO CONTINUOUS 15M REINFORCING BARS SITUATED 3" CLEAR OF BOTTOM AND SIDES.
8. 15M REINFORCING BARS AT 12" EACH WAY IN ALL PAD FOOTINGS.

## WOOD FRAME CONSTRUCTION

1. FRAMING METHODS AND PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE, CURRENT EDITION.
2. ALL FRAMING LUMBER TO BE NO 2 OR BETTER SPRUCE-PINE-FIR (S.P.F.), THE DESIGN OF STRUCTURAL MEMBERS MEMBERS HAVE BEEN BASED ON THE SPAN TABLES FOR WOOD RAFTERS, JOISTS AND BEAMS AS SHOWN IN PART 9 OF THE B.C. BUILDING CODE, CURRENT EDITION, AND THE CANADIAN WOOD COUNCIL PUBLICATION SPAN BOOK.
3. ALL LOAD BEARING LINTELS TO BE 2-2X10 UNLESS NOTED.
4. ALL LOAD BEARING BEAMS SHALL HAVE NOT LESS THAN 31/2" OF EVEN AND LEVEL BEARING AT SUPPORTS.
5. ALL JOISTS SHALL HAVE A MINIMUM 1-1/2" BEARING AT SUPPORTS.
6. ALL CONCRETE AND WOOD CONTACTS SHALL BE DAMP PROOFED WITH AN APPROVED SIL GASKET OR 6 MIL POLY.
7. EXPOSED LUMBER SHALL BE PRESURE TREATED OR OR OTHERWISE PROTECTED WITH AN APPROVED PRESERVATIVE.
8. ALL PLYWOOD SUBFLOORS ARE TO BE GLUED AND NAILED TO FLOOR JOISTS.
9. FLOOR AND ROOF JOIST SPANS MORE THAN 6'-10" SHALL BE BRIDGED AT MID SPAN OR AT 6'-10" O.C. MAX. WITH 2X2 CROSS BRIDGING. 1X3 STRAPPING AT 6'-10" O.C. MAX OR GYPSUM BOARD TO UNDERSIDE OF JOISTS.
10. NON LOAD BEARING WALLS PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR 2X4 BLOCKING AT 4'-0" O.C. MAX.



FOUNDATION PLAN  
SCALE 1/4" = 1'-0"

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DATE	NO.	BY	REVISION

PROJECT DESCRIPTION AND LOCATION:  
PROPOSED RUG LOT DEVELOPMENT - LOT 6 PLAN 2014  
935 MAFAIR ROAD, KELOWNA BC

ENGINEER'S SEAL:

ISSUED FOR CONSTRUCTION  
DATE: \_\_\_\_\_  
ISSUED FOR BUILDING PERMIT  
DATE: \_\_\_\_\_

**JMS**  
ENGINEERING LTD.  
STRUCTURAL CONSULTANT  
10 JIMMIE DRIVE, KELOWNA, BC V1A 5A5  
E-MAIL: [info@jmseng.ca](mailto:info@jmseng.ca)

**JOSEPH M. SARKOR, P.ENG.**

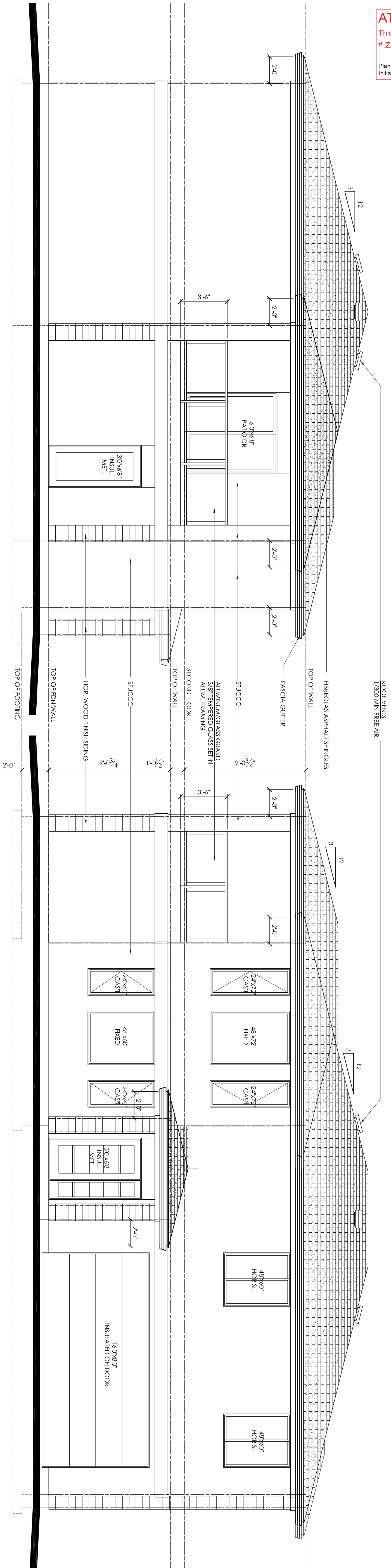
PROJECT:  
**SINGLA BROS. HOLDINGS LTD.**  
**RUG LOT DEVELOPMENT**  
**935 MAFAIR RD, KELOWNA BC**

SHEET TITLE  
**FOUNDATION PLAN**  
NOTES  
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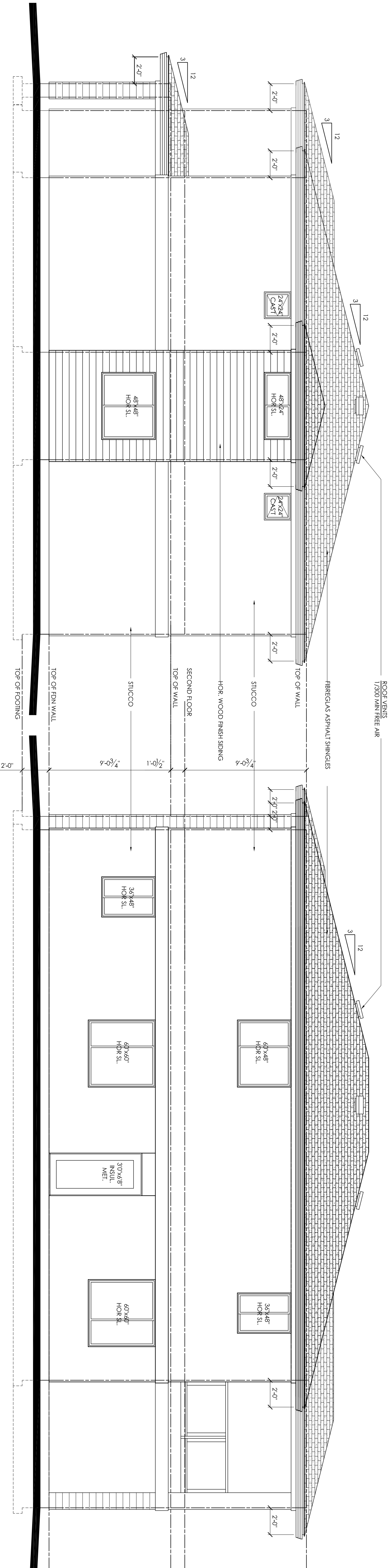
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CHECKED <b>JMS</b>	SHEET NO. <b>2</b>
SCALE <b>1/4"=1'-0"</b>	OF <b>5</b>
DATE <b>JULY 9, 2007</b>	





## EAST ELEVATION



WEST ELEVATION

[illegible]

**PROJECT DESCRIPTION AND LOCATION:**  
PROPOSED RU6 LOT DEVELOPMENT—LOT 6 PLAN 22014  
935 MAYFAIR ROAD, KELOWNA BC

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SINGLA BROS. HOLDINGS LTD.  
RUE LOT DEVELOPMENT  
935 MAYFAIR RD, KELOWNA BC

PROJECT: JOSEPH M. SARKOR, P.ENG.

**JMS**  
**ENGINEERING LTD.**  
STRUCTURAL CONSULTANT

ISSUED FOR CONSTRUCTION  
DATE: \_\_\_\_\_  
ISSUED FOR BUILDING PERMIT  
DATE: \_\_\_\_\_

## ENGINEER'S SEAL:

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DATE	NO.	BY	REVISION
-	-	-	-
PROJECT DESCRIPTION AND LOCATION:			
PROPOSED RES. LOT DEVELOPMENT - LOT 6 PLAN 22014			
155 MAYFAIR RD., KILLOWNA BC			

ENGINEER'S SEAL:

ISSUED FOR CONSTRUCTION  
DATE: \_\_\_\_\_  
ISSUED FOR BUILDING PERMIT  
DATE: \_\_\_\_\_

**JMS**  
ENGINEERING LTD.  
170 JAMIESON DR. S. (AT CORNER 52ND ST. & 5TH AVE)  
V6L 1S1  
Vancouver, BC  
E-MAIL: info@jms-engineering.com

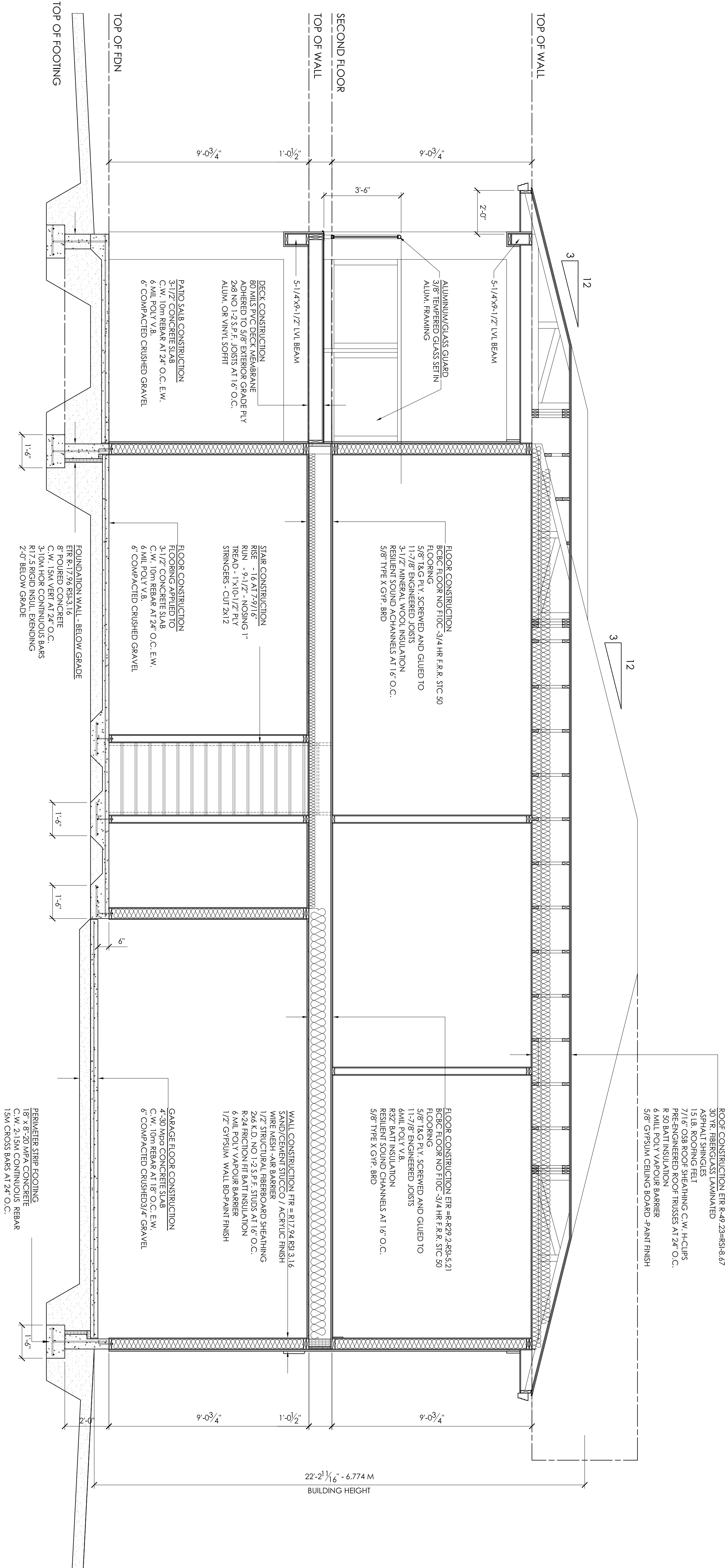
JOSEPH M. SARKOR, P. ENG.

PROJECT:  
SINGLA BROS. HOLDINGS LTD.  
RUE LOT DEVELOPMENT  
985 MAYFAIR RD. KILLOWNA BC

SHEET TITLE  
SECTION A-A  
-

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CHECKED	JMS	SHEET NO.	5
SCALE	3/8"=1'-0"		OF 5
DATE	JULY 9, 2007		



SECTION A-A  
SCALE 3/8"=1'-0"

**CITY OF KELOWNA**  
**BYLAW NO. 11561**  
**Z17-0076 – 935 Mayfair Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 6 District Lot 143 ODYD Plan 22014 located on Mayfair Road, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the RU6 – Two Dwelling Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this

Considered at a Public Hearing on the

Read a second and third time by the Municipal Council this

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11465**  
**Z17-0060 – 3050 Sexsmith Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 30 Section 3 Township 23 ODYD Plan 18861 located on Sexsmith Road, Kelowna, B.C., from the A1 – Agriculture zone to the I6 – Low Impact Transitional Industrial zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 28<sup>th</sup> day of August, 2017.

Considered at a Public Hearing on the 19<sup>th</sup> day of September, 2017.

Read a second and third time by the Municipal Council this 19<sup>th</sup> day of September, 2017.

Approved under the Transportation Act this 29<sup>th</sup> day of September, 2017.

\_\_\_\_\_  
Audrie Henry  
(Approving Officer – Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

# REPORT TO COUNCIL



**Date:** Feb 19<sup>th</sup> 2018

**RIM No.** 1250-30

**To:** City Manager

**From:** Community Planning Department (AC)

**Application:** DP17-0158

**Owner:** CK16 Property Group Ltd.  
BC1098771

**Address:** 3050 Sexsmith Rd

**Applicant:** Plan B Contractors Inc – Reid  
Longstaffe

**Subject:** Rezoning Application

OCP Designation: IND-L – Industrial Limited

Zone: I6 – Low Impact Transitional Industrial

---

## 1.0 Recommendation

THAT Final Adoption of Zoning Amending Bylaw No. 11465 be considered by Council;

THAT Council authorizes the issuance of Development Permit No. DP17-0158 for Lot 30, Section 3, Township 23, ODYD, Plan 18861, located at 3050 Sexsmith Rd, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT the outstanding conditions of approval as set out in Attachment "A" attached to the Report from the Community Planning Department dated July 11, 2017 be completed prior to Building Permit issuance.

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit application in order for the permits to be issued;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

## 2.0 Purpose

To review the form and character Development Permit for a two-phased, four building industrial development.

## 3.0 Community Planning

The Industrial – Limited Future Land Use (IND-L) designation was established in 2011 after public consultation associated with the 2030 OCP review. The IND-L designation and I6 zone allow for a range of low-impact industrial land uses that are intended to act as a transition between the more intensive general industrial areas to the south and east and the rural residential areas to the north and west. The permitted uses, development regulations, screening requirements, parking restrictions, outdoor storage restrictions, and other regulations in the I6 zone are designed to mitigate the industrial uses on nearby residential, rural and agricultural uses in this area. This Development Permit meets all the minimum requirements within the I6 zone and the Development Permit guidelines for industrial development outlined in the OCP. Therefore, Staff are recommending support for the Development Permit.

### 3.1 Public Notification

Council Policy No. 367 Public Notification Policy, does not require any notifications for Development Permits.

## 4.0 Proposal

### 4.1 Project Description

The applicant is proposing to build a multi-phased industrial development. The ultimate plan is to have 4 industrial buildings totalling 28,380 ft<sup>2</sup> of industrial area (7,095 ft<sup>2</sup> per building). The western buildings will be the first building to be built in phase 1. In phase 2, the eastern buildings will be constructed. However, this Development Permit will authorize the construction of all four buildings and both phases. There are variances associated with the proposal.

### 4.2 Site Context

The subject parcel is located within the Arab/Appaloosa area. The subject property is designated as Industrial – Transitional (IND-T) in the OCP and the lot is within the Permanent Growth Boundary. Specifically, the adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	A1 - Agriculture	Agriculture/industrial/residential
East	A1 – Agriculture & I6 – Low Impact Transitional Industrial	Agriculture/industrial/residential
South	I2 – General Industrial	Industrial
West	A1 - Agriculture	Agriculture/industrial/residential

**Subject Property Map: 3050 Sexsmith Rd****4.3 Zoning Analysis Table**

The zoning analysis table shows the requirements of the proposed zone compared to the proposal:

Zoning Analysis Table		
CRITERIA	Proposed	I6
Development Regulations		
Buildings		
Max FAR	n/a	No Limit
Max Site Coverage	17.7% - phase 1 35.4% - Total (phase 1&2)	50%
Max Height	9.5m	2 ½ stories & 9.5 m
Min Front Yard Setback	4.5m	4.5 m 6.0 m for garages / carports
Min Side Yard Setback (east)	43.18m (Phase 1)	<ul style="list-style-type: none"> <li>- 3.0 m for residential bldgs.</li> <li>- 4.5 m for industrial bldgs.</li> <li>- 7.5 m for industrial bldgs. when adjacent to a non-industrial future land use.</li> </ul>
Min Side Yard Setback (west)	4.5m (phase 2) 4.5m	
Rear Yard	7.51m	<ul style="list-style-type: none"> <li>- 7.5 m for all bldgs.</li> <li>- 30.0 m when adjacent to a non-industrial future land use.</li> </ul>

Other Regulations		
Outdoor Storage		
	Proposed	I6
Location	n/a	Not permitted in the setback areas and shall be consolidated into a single area per lot
Minimum Landscape buffer		
	Proposed	I6
Front	3.0 m	3.0m
Rear	opaque barrier	3.0m or opaque barrier
Side (east)	opaque barrier	3.0m or opaque barrier
Side (west)	opaque barrier	3.0m or opaque barrier
Parking		
	Proposed	I6
Parking	30 stalls (phase 1) 60 stalls Total (phase 1&2)	26.4 stalls (phase 1) 52.8 stalls Total (phase 1&2)
Loading	1 stall (phase 1) 2 stalls Total (phase 1&2)	1 stall (phase 1) 2 stalls Total (phase 1&2)
Number of Class 2 Bicycle Spaces	4 (phase 1) 8 Total (phase 1&2)	4 (phase 1) 8 Total (phase 1&2)
Outdoor Display		
	Proposed	I6
Location	n/a	Outdoor display / sales (& non-accessory parking) shall not encroach into the landscape areas

## 5.0 Current Development Policies

### 5.1 Kelowna Official Community Plan (OCP)

#### Development Process

**Compact Urban Form.**<sup>1</sup> Develop a compact urban form that maximizes the use of existing infrastructure and contributes to energy efficient settlement patterns. This will be done by increasing densities (approximately 75 - 100 people and/or jobs located within a 400 metre walking distance of transit stops is required to support the level of transit service) through development, conversion, and re-development within Urban Centres (see Map 5.3) in particular and existing areas as per the provisions of the Generalized Future Land Use Map 4.1.

**Sensitive Infill.**<sup>2</sup> Encourage new development or redevelopment in existing residential areas to be sensitive to or reflect the character of the neighbourhood with respect to building design, height, and siting.

#### Industrial Land Use Policies

**Objective 5.28.**<sup>3</sup> Focus industrial development to areas suitable for industrial use.

**Industrial Supply Protection.**<sup>4</sup> Protect existing industrial lands from conversion to other land uses by not supporting the rezoning of industrial land to preclude industrial activities unless there are environmental reasons for encouraging a change of use.

<sup>1</sup> City of Kelowna Official Community Plan, Policy 5.3.2 (Development Process Chapter).

<sup>2</sup> City of Kelowna Official Community Plan, Policy 5.22.6, Chapter 5 (Development Process Chapter).

<sup>3</sup> City of Kelowna Official Community Plan, Objective 5.28, Chapter 10 (Development Process Chapter).

<sup>4</sup> City of Kelowna Official Community Plan, Policy 5.28.1, Chapter 5 (Development Process Chapter).

**Secondary Housing in Light Industrial Areas.**<sup>5</sup> Consider the limited expansion of housing as a secondary use within industrial buildings in light or transitional industrial areas.

**Public and private open space.**<sup>6</sup> Design industrial developments to include outdoor break areas, green space, bicycle racks, skylights and windows in work areas, and linkages to recreational opportunities (e.g. linear parks).

#### **Transitional Industrial Design Guidelines.**<sup>7</sup>

In areas designated for Industrial – Limited use, these guidelines must be considered as well as all other guidelines in this section.

Policy #	Description
18.1	Industrial development adjacent to residential land uses must be planned, landscaped and screened to maintain the privacy of residential uses.
18.2	Where new industrial development is occurring adjacent to residential uses, window openings shall be placed to reduce the opportunity for overlook and be off set from residential windows.
18.3	Unfinished concrete block shall not be used as an exterior building material for principal facades or where the façade faces a residential land use.
18.4	Where loading doors face the street, they shall be set back from the main building plane.
18.5	The primary entrance of the main building on site should face the roadway.
18.6	Where security concerns limit windows and other openings, building design should employ other design techniques to avoid creating long blank walls.
18.7	Rooftop screening of mechanical and electrical equipment must be provided using materials consistent with the treatment of principal facades.
18.8	All lighting shall be oriented facing the site, pointed in a downward direction and constructed at the lowest practical elevation to minimize light trespass over surrounding properties.
18.9	Tall, broadcast or flood lights are not permitted.
18.10	Where possible, parking and outdoor storage should be located behind buildings or other structures. Where parking and storage is not behind buildings, it must be screened with landscaping or fencing.
18.11	Unpaved parking and storage surfaces should be made dust free through design or treatment.

## **6.0 Technical Comments**

### **6.1 Development Engineering Department**

See attached memorandum dated July 11<sup>th</sup> 2017.

### **6.2 Building & Permitting Department**

1. Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s).
2. Demolition Permit required for any existing structures

<sup>5</sup> City of Kelowna Official Community Plan, Policy 2, Objective 5.29, Chapter 5 (Development Process Chapter).

<sup>6</sup> City of Kelowna Official Community Plan, Policy 7.5, Chapter 14 (Urban Design Development Permit Areas).

<sup>7</sup> City of Kelowna Official Community Plan, Chapter 14 (Urban Design Development Permit Areas).

3. Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
4. Fire resistance ratings are required for storage, janitor and/or garbage enclosure room(s) / area(s). The drawings submitted for building permit is to clearly identify how this rating will be achieved and where these area(s) are located.
5. A Hoarding permit is required and protection of the public from the staging area and the new building area during construction. Location of the staging area and location of any cranes should be established at time of DP.
6. A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
  - a. Any alternative solution must be accepted by the Chief Building Inspector prior to the release of the Building Permit
  - b. Location, Heights, Colors of mechanical systems and the required screening are to be determined at time of DP
  - c. Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
  - d. If there is to be a caretaker unit located on this lot it should be defined as part of the DP.
7. A Geotechnical report is required to address the sub soil conditions and site drainage at time of building permit application. Minimum building elevations are required to be established prior to the release of the Development Permit. If a soil removal or deposit permit is required, this must be provided at time of Development Permit application.
8. We strongly recommend that the developer have his professional consultants review and prepare solutions for potential impact of this development on adjacent properties. Any damage to adjacent properties is a civil action which does not involve the city directly. The items of potential damage claims by adjacent properties are items like settlement of foundations (preload), damage to the structure during construction, undermining & underpinning of existing foundation, additional snow drift on neighbour roofs, excessive noise from mechanical units, vibration damage during foundation preparation work, water infiltration systems, etc.
9. Size and location of all signage to be clearly defined as part of the development permit. This should include the signage required for the building addressing to be defined on the drawings per the bylaws on the permit application drawings.
10. An exit analysis is required as part of the code analysis at time of building permit application. The exit analysis is to address travel distances within the units and all corridors, number of required exits per area, door swing direction, handrails on each side of exit stairs, width of exits, spatial calculation for any windows in exit stairs, etc.
11. Washroom requirements for base building are to be addressed in the building permit application. This will be addressed at time of building permit application
12. Full Plan check for Building Code related issues will be done at time of Building Permit applications. Please indicate how the requirements of Radon mitigation and NAFS are being applied to this complex at time of permit application.

### 6.3 Fire Department

1. Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required. Template at Kelowna.ca
2. Should a hydrant be required on this property it shall be operational prior to the start of construction and shall be deemed a private hydrant - 225 L/Sec is required for Industrial
3. This building shall be addressed off of the street it is accessed from with unit numbers

4. A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD
5. Fire Department access is to be met as per BCBC 3.2.5. including the main entrance to be within 3-15 metres from the closest access route. Is Road B to be the required turn around as the access road exceeds 90
6. Approved Fire Department steel lock box acceptable to the fire dept. is required by the fire dept. entrance and shall be flush mounted
7. All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met for communications and high buildings
8. Fire alarm system is to be monitored by an agency meeting the CAN/ULC S561 Standard.
9. Contact Fire Prevention Branch for fire extinguisher requirements and placement.
10. Fire department connection is to be within 45M of a fire hydrant - unobstructed.
11. Ensure FD connection is clearly marked and visible from the street
12. sprinkler zone valves shall be accessible as per fire prevention bylaw (10760) - no higher than 7 feet.
13. dumpster/refuse container must be 3 meters from structures or overhangs or in a rated room in a parkade
14. Upon completion, an owners certificate and copy of NFPA 25 shall be provided for the sprinkler system.

## **7.0 Application Chronology**

Date of Application Received:	July 7 <sup>th</sup> 2017
Date Public Consultation Completed:	July 8 <sup>th</sup> 2017
Date First Reading:	August 28 <sup>th</sup> 2017
Date Public Hearing:	September 19 <sup>th</sup> 2017

<b>Report prepared by:</b>	Adam Cseke, Planner Specialist
<b>Reviewed by:</b>	Terry Barton, Urban Planning Manager
<b>Approved for Inclusion:</b>	Ryan Smith, Community Planning Department Manager

### **Attachments:**

Attachment 'A' Development Engineering Memo dated July 11<sup>th</sup> 2017  
Development Permit (DP17-0158)

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## CITY OF KELOWNA

# MEMORANDUM

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**Date:** July 11, 2017  
**File No.:** DP17-0158  
**To:** Urban Planning (AC)  
**From:** Development Engineer Manager (JK)  
**Subject:** 3050 Sexsmith Rd., Lot 30 Plan 18861

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The Development Engineering Branch comments and requirements regarding this application for a development Permit are as follows:

1. General.

- a) Provide easements and Road Right of Way as may be required.
- b) Requirement associated with the development of the subject property were addressed in the rezoning report under file, Z17-0060.

2.. On-site related issues.

- a) A site grading plan must be provided and it must demonstrate that the ultimate access from Palomino Road meets the City requirements upon closure of the temporary access from Sexsmith Road.

2. Water Servicing Requirements.

- a) This development is within the service area of the Glenmore Ellison Irrigation District (GEID). The developer is required to make satisfactory arrangements with the GEID for these items. All charges for service connection and upgrading costs are to be paid directly to the GEID. The developer is required to provide a confirmation that the district is capable of supplying fire flow in accordance with the City of Kelowna current Bylaws and Policies.

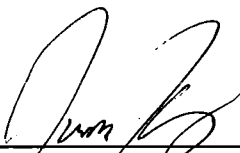
<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# <b>DP17-0158</b>		
Planner Initials	<div style="border: 1px solid black; padding: 2px; display: inline-block;">AC</div>	 <b>City of Kelowna</b> <small>COMMUNITY PLANNING</small>

3. Stormwater Management plan.

- a. The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems. The existing lot is serviced with a 150mm diameter storm service. Only one service will be permitted for this development. The applicant, at his cost, will arrange the installation of one overflow service if required.

4. Power and Telecommunication Services.

The services to this development are to be installed underground. It is the developer's responsibility to make a servicing application to the respective utility companies. The utility companies are then required to obtain the city's approval before commencing their works.

  
James Kay, P. Eng.  
Development Engineering Manager

RO

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# <b>DP17-0158</b>		
Planner Initials	<b>AC</b>	 City of <b>Kelowna</b> COMMUNITY PLANNING

# Development Permit DP17-01582



This permit relates to land in the City of Kelowna municipally known as

**3050 Sexsmith Rd**

and legally known as

Lot 30, Section 3, Township 23, ODYD, Plan 18861

and permits the land to be used for the development with variances to the following sections of the Zoning Bylaw 8000:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

The development has been approved subject to any attached terms and conditions, and to full compliance with the approved plans bearing the stamp of approval and the above described development permit number.

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Decision: \_\_\_\_\_, 2018

Decision By: CITY COUNCIL

Issued Date: TBD

Development Permit Area: Comprehensive Development Permit Area

File Manager: AC

**This permit will not be valid if development has not commenced within 2 years of the council approved Date of Decision.**

Existing Zone: I6 – Low Impact Transitional Industrial Zone

Future Land Use Designation: IND-L – Industrial Limited

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: CK16 Property Group Ltd. BC1098771  
Address: 3955 Pritchard Drive North  
City: Kelowna, BC  
Phone: n/a

### 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 2. CONDITIONS OF APPROVAL

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

This Development Permit is valid for two (2) years from the Council Date of Decision if applicable, or Community Planning Department Manager approval, with no opportunity to extend.

### 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$63,796.25
- OR
- b) An Irrevocable Letter of Credit in the amount of \$63,796.25

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

### 4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

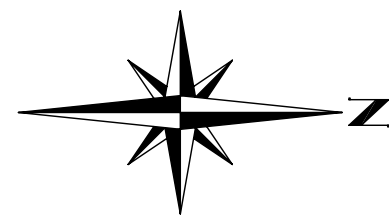
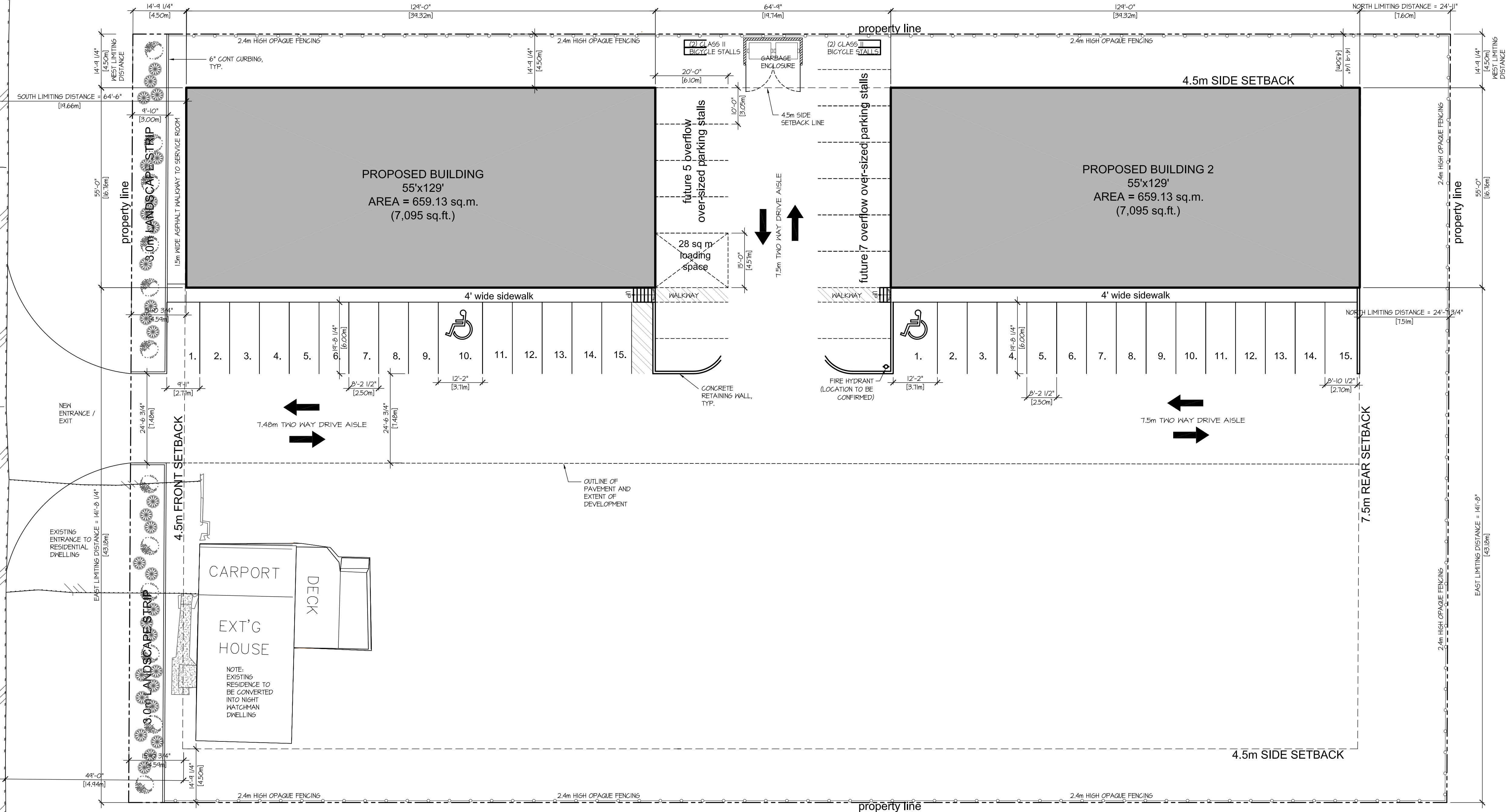
- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

CAMPION ST.

SEXSMITH ROAD



SITE PLAN  
SCALE: 1/8" = 1'-0"

**SCHEDULE**  
This forms part of application  
# DP17-0158

Planner Initials

AC

**A**

City of Kelowna  
COMMUNITY PLANNING

PROJECT DATA		
CIVIC ADDRESS: 3050 SEXSMITH ROAD, KELOWNA, BC		
LEGAL DESCRIPTION: SECTION 3, LOT 30, PLAN KAP18861 PID 008-202-851		
CURRENT ZONING: A1 AGRICULTURAL		
PROPOSED ZONING: I-6 LOW IMPACT TRANSITIONAL INDUSTRIAL		
LOT AREA = 1.84 ACRES, 7,444.91 sq.m. (80,150.4 sq.ft.)		
INTENDED USAGE: CONTRACTOR SERVICES, GENERAL		
ZONING BYLAW REQUIREMENTS		
BUILDING AREAS:		
BUILDING 1:	GFA OF GROUND FLOOR	= 659.13 sq m
BUILDING 2:	GFA OF GROUND FLOOR	= 659.13 sq m
	GFA OF BASEMENT	= 111.55 sq m
	GFA OF 2ND FLOOR	= 104.85 sq m
	TOTAL NET FLR AREA	= 880.53 sq m
TOTAL GFA OF BOTH BLDGS = 1318.26 sq m		
PROPERTY & STRUCTURES	PERMITTED/REQ'D	PROPOSED/ACTUAL
LOT WIDTH (min)	40.0m	64.45m
LOT DEPTH (min)	50.0m	110.45m
LOT AREA (min)	3,500 sq.m.	7,444.91 sq.m.
LOT COVERAGE (%)	50%	17.7%
BUILDING HEIGHT (max)	9.5m	9.5m
SETBACKS (m)		
FRONT (SEXSMITH RD)	4.5m	4.5m
SIDE (WEST)	4.5m	4.5m
SIDE (EAST)	4.5m	43.18m
REAR (NORTH)	7.5m	7.5m
PARKING		
2.0 / 100 sq.m. GFA (MIN. 5)	26.4 STALLS	30 PROVIDED
LOADING SPACES (FOR WAREHOUSE)		
1 SPACE / 1,900 sq.m. GFA	1 REQ'D	1 PROVIDED
HANDICAP PARKING		
1 SPACE FOR > 50 STALLS	0 REQ'D	2 PROVIDED
BICYCLE PARKING SPACES		
CLASS II 0.3 / 100 sq.m. GFA	3.96 REQ'D	4 PROVIDED
LANDSCAPING & SCREENING		
FRONT (SEXSMITH RD)	3.0m LANDSCAPE BUFFER	3.0m LANDSCAPE BUFFER
SIDE (WEST)	CONT OPAQUE BARRIER	CONT OPAQUE BARRIER
SIDE (EAST)	CONT OPAQUE BARRIER	CONT OPAQUE BARRIER
REAR (NORTH)	CONT OPAQUE BARRIER	CONT OPAQUE BARRIER
AS PER BYLAW 76.5 THE BUFFER WIDTHS AT THE SIDES OF THE PROPERTY HAVE BEEN REDUCED TO THE REQ'D BUILDING SETBACKS.		



PROJECT NAME:  
PROPOSED BLDG  
@ 3050 SEXSMITH RD  
KELOWNA, BC

DRAWING TITLE:  
SITE PLAN & ZONING  
BYLAW REVIEW

DRAWING NUMBER:	
DP-1	
REVISION	
DRAWN: SAW	CHECKED: SAW
SCALE: 1/8" = 1'-0"	DATE:

PROJECT NO. - 2015-000

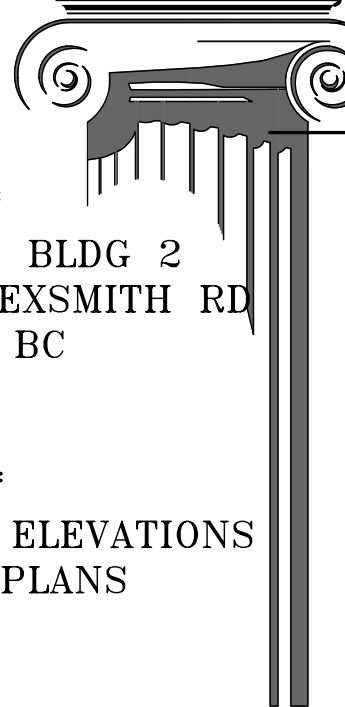
© COPYRIGHT RESERVED. THIS PLAN AND DESIGN IS AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF THE DESIGNER AND CANNOT BE USED WITHOUT THE DESIGNER'S CONSENT.

REVISION NO.	DESCRIPTION	BY	DATE
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ISSUED FOR NO.	DESCRIPTION	BY	DATE
1.	FOR DEV. PERMIT		NOV 24/17

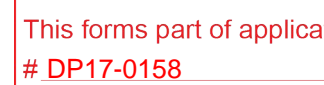
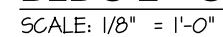
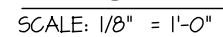
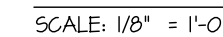
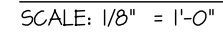
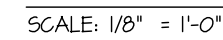
NOTES:





EXTERIOR ELEVATIONS  
& FLOOR PLANS

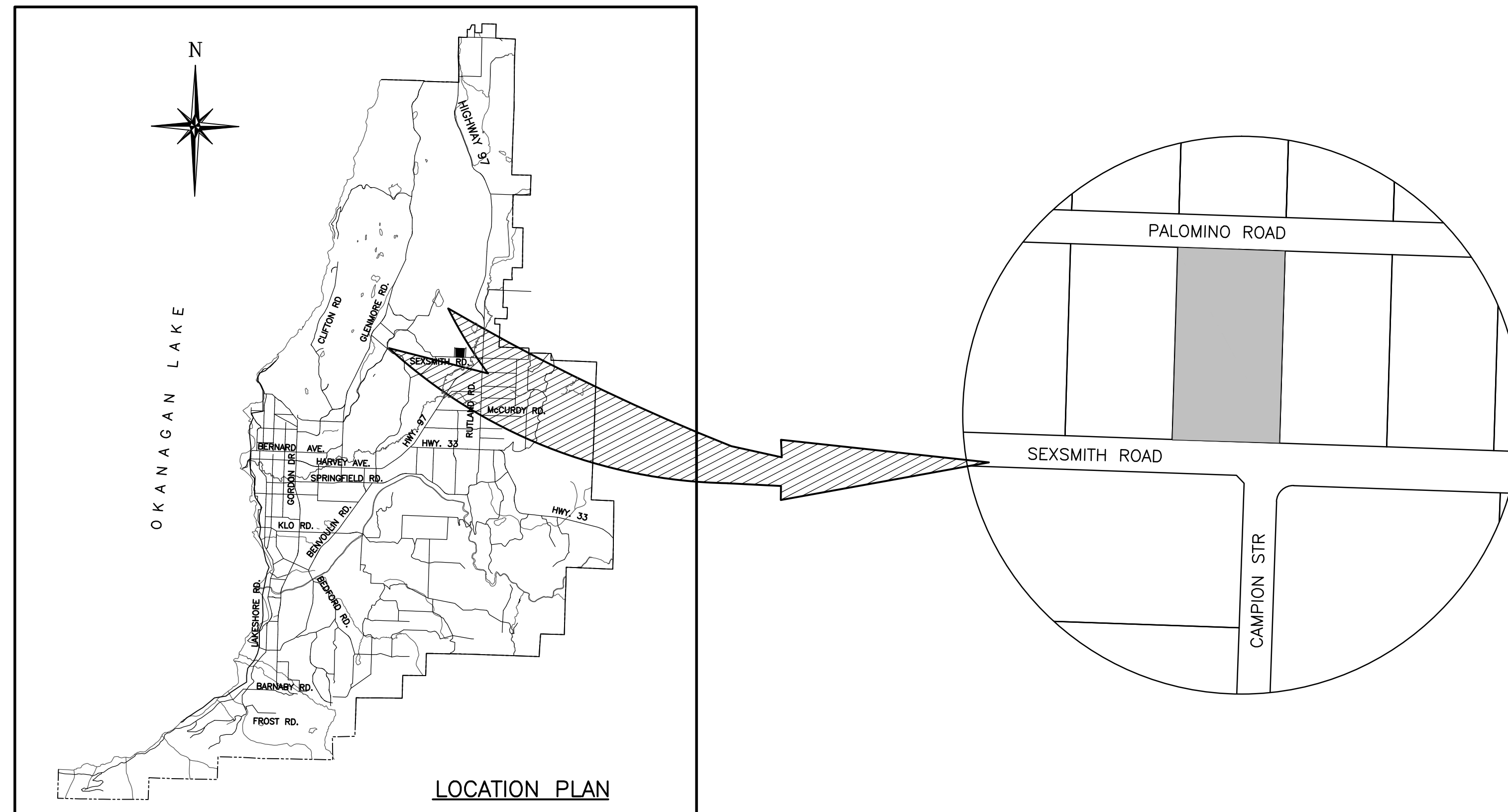
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FILE NAME:  
REVISION DATE:  
EDITED BY: S.A.W. AscT

# KELOWNA

## 2015

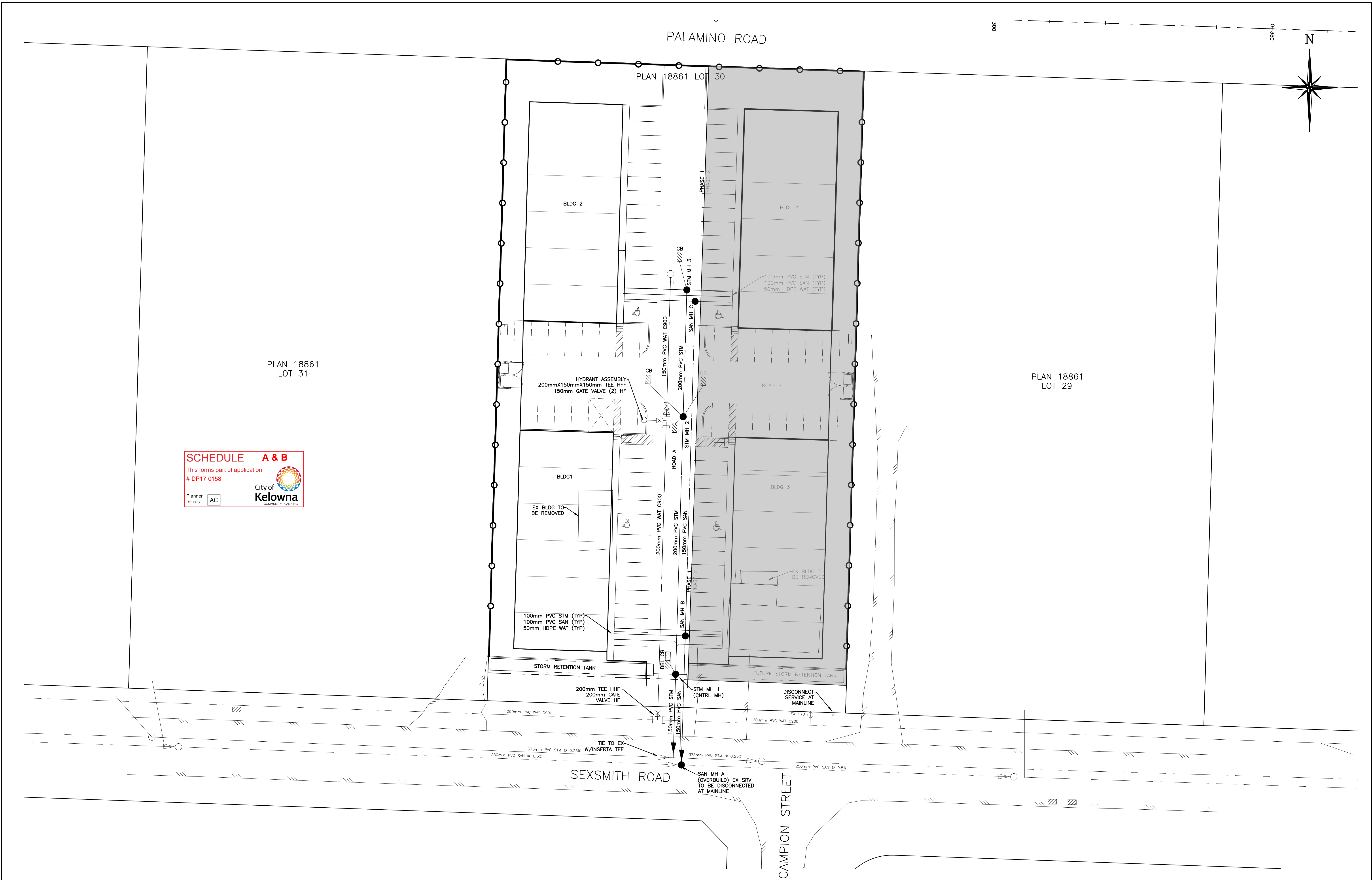


200 - 1461 St. Paul Street Kelowna B.C. Phone 860-1771  
FAX 860-1994

## STD. B-5 CATHODIC PROTECTION SPECIFICATIONS

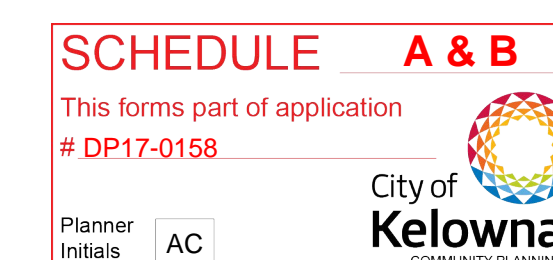
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**SCHEDULE A & B**  
This forms part of application  
# DP17-0158  
Planner Initials AC  
City of Kelowna  
COMMUNITY PLANNING

<b>LEGEND</b>		<b>PROTECH CONSULTING 2012</b>		<b>THE CITY OF KELOWNA</b>	
WATER		200 - 1461 St. Paul Street Kelowna B.C. Phone 860-1771		ENGINEERING DEPARTMENT	
SAN. SEWER		FAX 860-1994		3050 SEXSMITH ROAD	
STORM SEWER		0 2017.10.27 BMZ		647354 BC LTD.	
GAS		DATE		SITE SERVICING PLAN	
U/G TELEPHONE		BY		16064-00	
U/G ELECTRICAL		REVISION		0	
MANHOLE		CH'KD		DIVISION	
UTILITY POLE					
POWER POLE					
LAMP STANDARD					
CATCH BASIN					
HYDRANT					
TREES					
SURVEY MONUMENT					

199

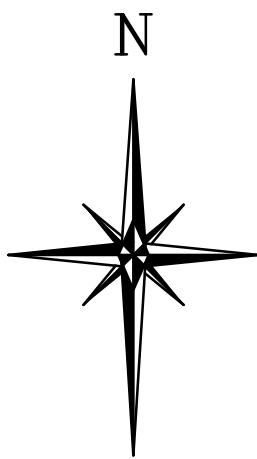
# LEGEND

- EXISTING CONTOURS (0.5m INTERVALS)
- PROPOSED CONTOURS (0.5m INTERVALS)
- (123.123) PROPOSED FINISHED GRADE
- ← OVERLAND FLOW ROUTE
- ← EXCESS OF 100 YR STORM FLOOD ROUTING

**SCHEDULE A & B**  
This forms part of application  
# DP17-0158

Planner Initials AC

City of Kelowna  
COMMUNITY PLANNING



PLAN 18861  
LOT 31

PLAN 18861  
LOT 29

PALAMINO ROAD (FUT)

SEXSMITH ROAD

**PROTECH CONSULTING 2012**

200 - 1461 St. Paul Street Kelowna B.C. Phone 860-1771  
FAX 860-1994

0	2017.10.27	BMZ	ISSUED FOR DP	
NO.	DATE	BY	REVISION	CH'KD
YYYY.MM.DD				

BASE 16064	DESIGN KCL
APPROVED	DRP
DATE DEC 2016	
SCALE 1:300	
SCALE NOT ACCURATE OVER LONG DISTANCES	

**THE CITY OF KELOWNA**  
ENGINEERING DEPARTMENT

**3050 SEXSMITH ROAD**  
**CK16 PROPERTY GROUP LTD.**  
**SITE GRADING PLAN**

DIVISION	
DRAWING NO.	16064-SGP
REV NO	0





OUTLAND DESIGN  
LANDSCAPE ARCHITECTURE

January 11, 2018

**Aardvark Industrial Complex – Phase 1**

CK16 Property Group

PO Box 27031 Willow Park, Kelowna, BC

Attn: Mike Jakab

Re: Proposed Aardvark Industrial Complex – Phase 1 – Preliminary Cost Estimate for Bonding

Dear Mike:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the Aardvark Industrial Complex – Phase 1 conceptual landscape plan dated 17.11.29;

**Phase 1**

- 234 square metres (2,519 square feet) of improvements = \$44,568.50

**Phase 2**

- 234 square metres (2,519 square feet) of improvements = \$6,468.50

This preliminary cost estimate is inclusive of fencing, trees, shrubs, mulch, dryland seed, topsoil & irrigation.

You will be required to submit a landscape security deposit to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.


Best regards,

*Kim German*

Kim German, MBCSLA, CSLA

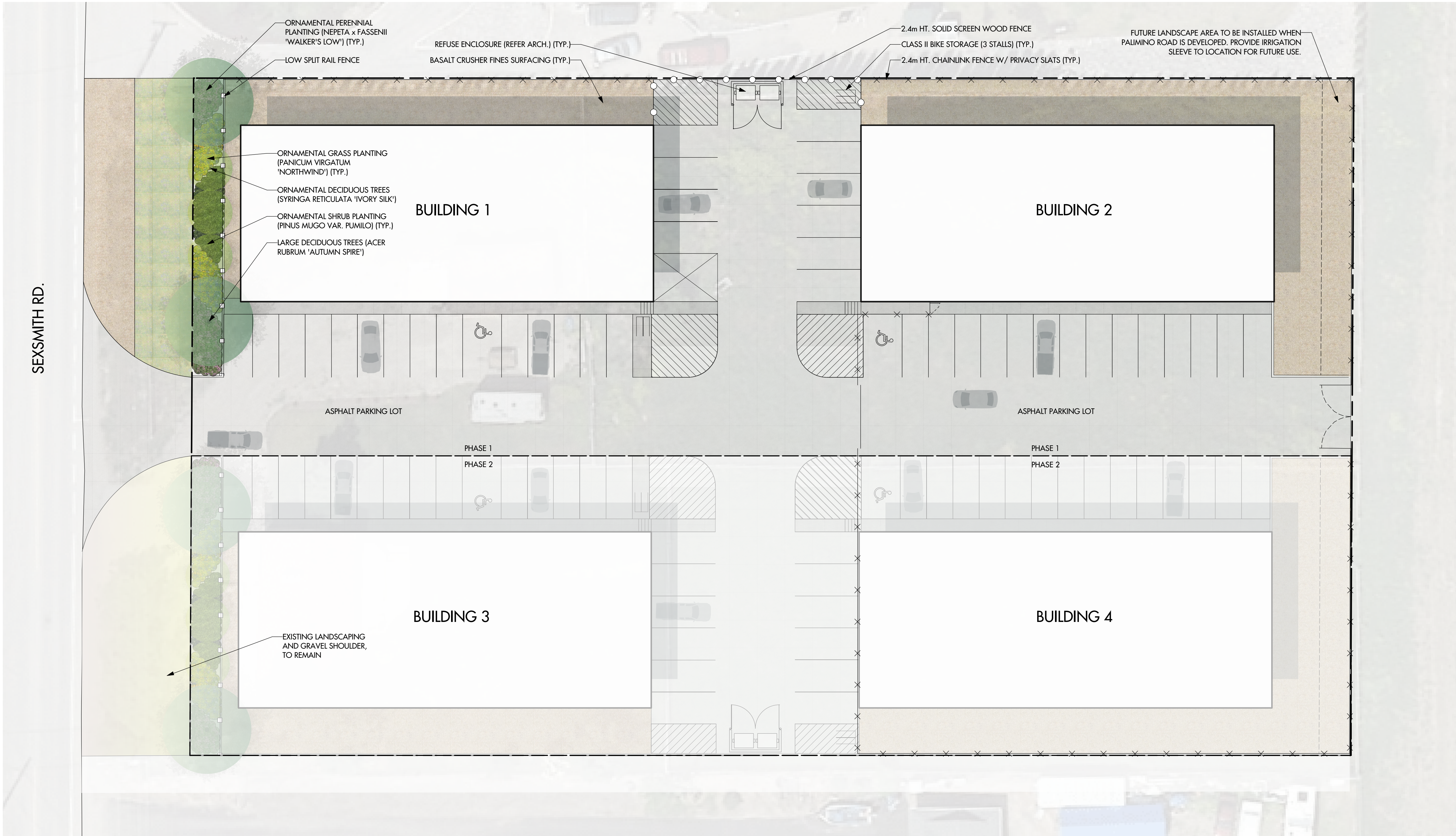
as per

Outland Design Landscape Architecture

<b>SCHEDULE</b>		<b>C</b>
This forms part of application		
# DP17-0158		
Planner Initials	AC	
		<b>City of Kelowna</b> COMMUNITY PLANNING

206-1889 Spall Road, Kelowna, BC, V1Y 4R2 P 250.868.9270

[outlanddesign.ca](http://outlanddesign.ca)



## NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C.L.N.A. STANDARDS.

2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.

3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.

4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.

5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

6. DRYLAND SEED AREAS TO RECEIVE A MINIMUM OF 50mm DEPTH TOPSOIL PLACEMENT.

### 7. HYDROSEEDING DRYLAND SEED AREAS

DRYLAND SEED MIXTURE	BY WEIGHT	BY SPECIES
BLUE BUNCH WHEAT GRASS	40%	22%
ROUGH FESCUE	25%	20%
IDAHO FESCUE	15%	19%
PERENNIAL RYEGRASS	10%	7%
SANDBERG BLUEGRASS	5%	13%
JUNE GRASS	4%	18%
CANADA BLUEGRASS	1%	1%

HYDROSEEDING APPLICATION RATE (DRYLAND SEED AREA W/ SLOPE 2:1 OR LESS)			
NATIVE SEED	DRYLAND SEED MIXTURE	125KG/HECTARE	
FERTILIZER	18-18-18-2, 50% SULPHUR COATED UREA	300KG/HECTARE	
MULCH	CANFOR ECOFIBRE PLUS TAC	2,800KG/HECTARE	
TACKIFIER	GUAR	3% OF MIX	

THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND SEED AREA AS SHOWN ON THE DRAWING. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.

## PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
<b>TREES</b>			
ACER RUBRUM 'AUTUMN SPIRE'	AUTUMN SPIRE RED MAPLE	2	6cm CAL.
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK LILAC	3	4cm CAL.
<b>SHRUBS, PERENNIALS &amp; GRASSES</b>			
NEPETA x FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	26	#01 CONT. /0.9M O.C. SPACING
PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	20	#01 CONT. /1.0M O.C. SPACING
PINUS MUGO VAR. PUMILO	DWARF MUGO PINE	5	#01 CONT. /1.8M O.C. SPACING



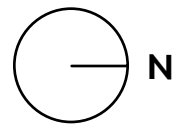
## OUTLAND DESIGN LANDSCAPE ARCHITECTURE

206 - 1889 Spall Road  
Kelowna, BC V1Y 4R2  
T (250) 868-9270  
www.outlanddesign.ca

### SCHEDULE

C

This forms part of application  
# DP17-0158



PROJECT TITLE

## AARDVARK INDUSTRIAL COMPLEX - PHASE 1

3050 Sexsmith Road  
Kelowna, BC

DRAWING TITLE

## CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION

1	17.11.29	Development Permit
2		
3		
4		
5		

PROJECT NO. 17-027

DESIGN BY SP

DRAWN BY NG

CHECKED BY FB

DATE JAN. 11, 2018

SCALE 1:200

SEAL

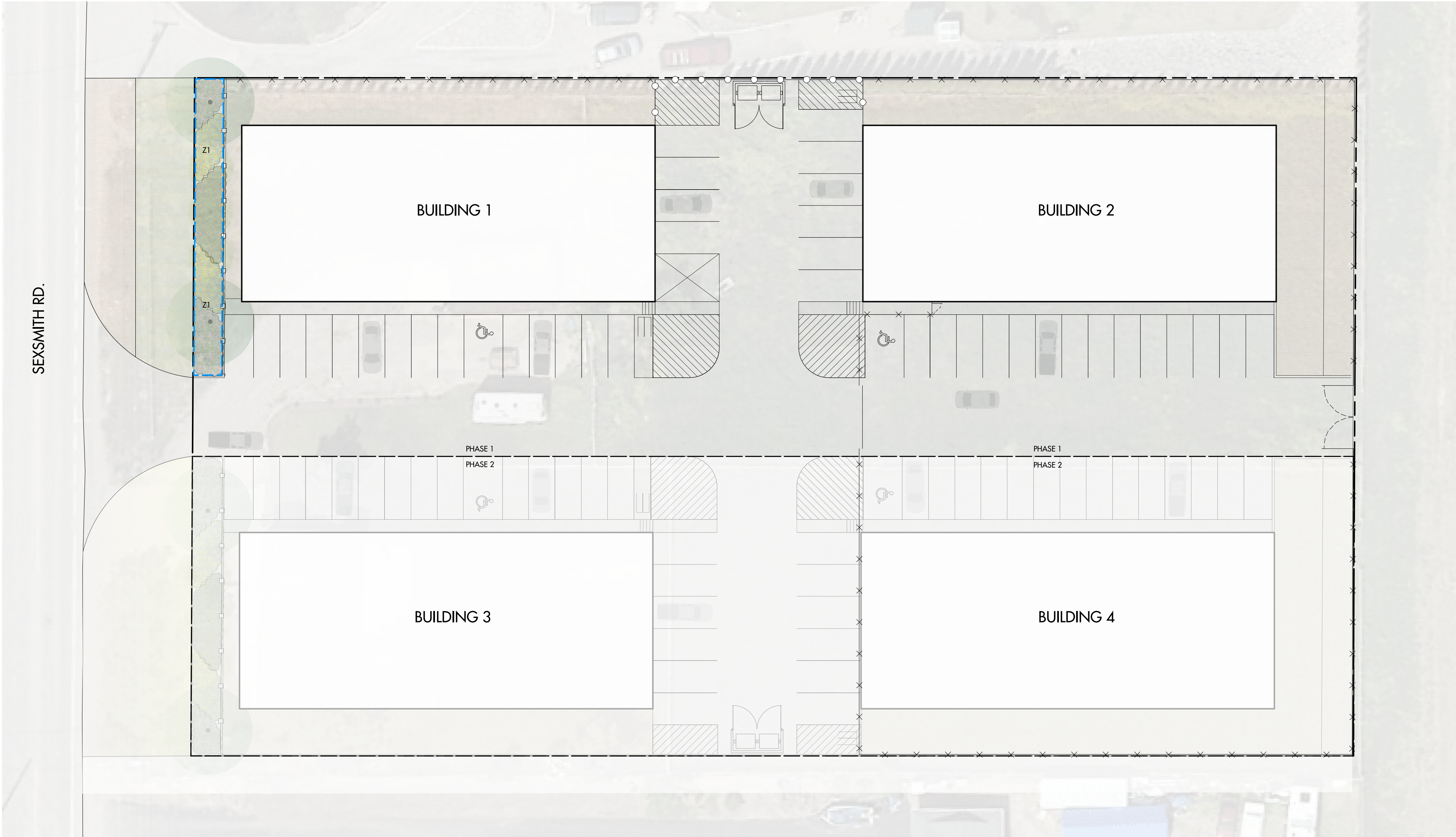
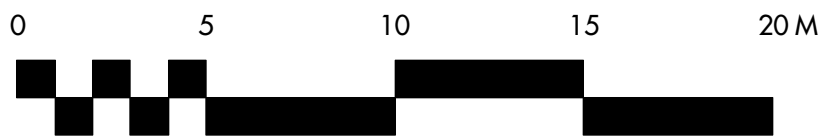


DRAWING NUMBER

# L1/2

ISSUED FOR REVIEW ONLY

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IRRIGATION NOTES

- 1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
- 2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
- 3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
- 4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
- 5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
- 6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
- 7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m /SEC.
- 8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

IRRIGATION LEGEND



ZONE #1 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS  
TOTAL AREA: 81 sq.m.  
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES  
ESTIMATED ANNUAL WATER USE: 45 cu.m.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 929 cu.m. / year  
ESTIMATED LANDSCAPE WATER USE (WU) = 45 cu.m. / year  
WATER BALANCE = 884 cu.m. / year  
\*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS



OUTLAND DESIGN  
LANDSCAPE ARCHITECTURE

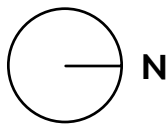
206 - 1889 Spall Road  
Kelowna, BC V1Y 4R2  
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SCHEDULE

This forms part of application  
# DP17-0158

Planner  
Initials

AC



PROJECT TITLE

AARDVARK INDUSTRIAL  
COMPLEX - PHASE 1

3050 Sexsmith Road  
Kelowna, BC

DRAWING TITLE

WATER CONSERVATION/  
IRRIGATION PLAN

ISSUED FOR / REVISION

1	17.11.29	Development Permit
2		
3		
4		
5		

PROJECT NO

17-027

DESIGN BY

SP

DRAWN BY

NG

CHECKED BY

FB

DATE

JAN. 11, 2018

SCALE

1:200

SEAL



DRAWING NUMBER

L 2/2

ISSUED FOR REVIEW ONLY

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**SCHEDULE**


**C**

This forms part of application  
# **DP17-0158**

Planner  
Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING



**CITY OF KELOWNA**  
**BYLAW NO. 11458**  
**Z15-0013 – 4653 Raymer Road**

---

A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 2, District Lot 580A, SDYD Plan 15364 located on Raymer Road, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the RU4 – Low Density Cluster Housing zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 28<sup>th</sup> day of August, 2017.

Considered at a Public Hearing on the 19<sup>th</sup> day of September, 2017.

Read a second and third time by the Municipal Council this 19<sup>th</sup> day of September, 2017.

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

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City Clerk

**CITY OF KELOWNA**  
**BYLAW NO. 11539**  
**Z17-0102 – 344 Christleton Avenue**

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A bylaw to amend the "City of Kelowna Zoning Bylaw No. 8000".

The Municipal Council of the City of Kelowna, in open meeting assembled, enacts as follows:

1. THAT City of Kelowna Zoning Bylaw No. 8000 be amended by changing the zoning classification of Lot 7 District Lot 14 ODYD Plan 3451 located on Christleton Avenue, Kelowna, B.C., from the RU1 – Large Lot Housing zone to the RU1c – Large Lot Housing with Carriage House zone.
2. This bylaw shall come into full force and effect and is binding on all persons as and from the date of adoption.

Read a first time by the Municipal Council this 22<sup>nd</sup> day of January, 2018.

Considered at a Public Hearing on the 6<sup>th</sup> day of February, 2018.

Read a second and third time by the Municipal Council this 6<sup>th</sup> day of February, 2018.

Adopted by the Municipal Council of the City of Kelowna this

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Mayor

---

City Clerk

# Report to Council



**Date:** February 19, 2018

**File:** 1850-18

**To:** City Manager

**From:** Darryl Astofooroff, Public Works Manager

**Subject:** Shared Use Agreement with FortisBC

Report Prepared by: Brian Cairney, Traffic Signals and Systems Supervisor

---

## **Recommendation:**

THAT Council approves the City entering into an ongoing Agreement, with FortisBC, which allows the City to carry out maintenance of City owned streetlight infrastructure mounted on FortisBC owned utility poles, in the form attached to the Report of Public Works Manager, dated February 19, 2018;

AND THAT the Mayor and City Clerk be authorized to execute the Agreement.

## **Purpose:**

To enter into a Shared Use Agreement with FortisBC for working on City owned streetlight infrastructure mounted on FortisBC owned utility poles.

## **Background:**

On July 24, 2017, Council approved a one-time budget increase to purchase remaining streetlight inventory held by FortisBC. With the purchase of the inventory the City could maintain the streetlight assets mounted on City owned steel poles but not mounted on FortisBC utility poles (wood poles). The approximately 3600 streetlights mounted on utility poles would still have to be maintained by FortisBC. This Shared Use Agreement allows the City to carry out the maintenance of City owned streetlight assets mounted on the utility poles.

The City will have control over the maintenance of all the street lighting assets, approximately 14,000 lights.

This model is beneficial to the City for several reasons:

- At present we have no control over material or labor costs. The City has to procure all materials through FortisBC and use their labor. Transferring control to the City will allow us to buy materials and hire contractors in the competitive market.

- The repair of infrastructure has happened on a reactive basis with no documentation or knowledge of streetlight infrastructure condition. This makes budgeting for future replacement costs an unknown quantity. Taking control of the maintenance will allow the City to work in a proactive manner, form a plan for organized replacement of ageing infrastructure and create known future budget costs.

**Financial/Budgetary Considerations:**

On July 24, 2017, Council approved a one-time budget increase to purchase remaining streetlight inventory held by FortisBC.

**Internal Circulation:**

Deputy City Manager Operations

**Considerations not applicable to this report:**

**Legal/Statutory Authority:**

**Legal/Statutory Procedural Requirements:**

**Existing Policy:**

**Personnel Implications:**

**External Agency/Public Comments:**

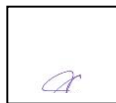
**Communications Comments:**

**Alternate Recommendation:**

Submitted by:

Darryl Astofooroff, Public Works Manager

Approved for inclusion:



Joe Creron, Deputy City Manager, Operations

cc: Corinne Boback, Legislative Coordinator

### Report Approval Details

Document Title:	Shared Use Agreement with FortisBC.docx
Attachments:	- FortisBC Shared Use Agreement 05 feb 2018.pdf
Final Approval Date:	Feb 6, 2018

This report and all of its attachments were approved and signed as outlined below:

**Joe Creron - Feb 6, 2018 - 9:20 AM**

## STREET LIGHT PROGRAM OPERATING AGREEMENT

THIS AGREEMENT made as of the \_\_\_\_\_ day of \_\_\_\_\_ 2018.

BETWEEN:

FORTISBC INC., a corporation duly incorporated by Special Act of the Legislature of the Province of British Columbia, having its offices at 1975 Springfield, Kelowna, British Columbia, V4N 0E8

(hereinafter referred to as "**FortisBC**")

AND:

THE CITY OF KELOWNA, a municipality incorporated under the laws of the Province of British Columbia, having its offices at 1435 Water Street, Kelowna, British Columbia, V1Y 7V7

(hereinafter referred to as the "**Customer**")

WITNESSES THAT WHEREAS:

- A. The Customer receives service under Schedule 50 of FortisBC's Electric Tariff;
- B. The Customer wishes to convert from Type II Customer-owned lighting equipment maintained by FortisBC to Type I Customer-owned lighting equipment maintained by the Customer in accordance with Schedule 50;
- C. Schedule 50 provides that all lighting equipment installed pursuant to Schedule 50 must be approved by FortisBC, conform to all relevant FortisBC design and installation standards and requirements, and be suitable to accept electrical service at FortisBC's available secondary voltage, and that other requirements may be supplied under special contract;
- D. Schedule 50 provides that where the Customer Equipment is on FortisBC owned poles, maintenance work will only be performed by parties qualified to do the work and authorized by the Company; and
- E. The parties wish to enter into this Agreement to set out additional operational requirements for the Customer's ongoing installation, operation, and maintenance of the Customer's Equipment on FortisBC owned poles including but not limited to safety requirements and requirements for those authorized to carry out the installation, operation and maintenance of the Customer's Equipment on behalf of the Customer.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the mutual covenants and agreements set forth in this Agreement, the parties hereto agree as follows:

## 1. DEFINITIONS

- (a) **“Adjusted Count”** means the Adjusted Count as defined at section 8.2(b);
- (b) **“Applicable Laws”** means all applicable laws, statutes, and regulations applicable to the installation, operation and maintenance of the Customer Equipment, as amended from time to time, including but not limited to, the *Safety Standards Act*, the *Electrical Safety Regulation*, the *Workers Compensation Act*, and the Occupational Health and Safety Regulation;
- (c) **“Contact Pole”** means a pole owned by FortisBC on which Customer Equipment is installed as of the date of this Agreement or later installed pursuant to the terms of this Agreement, whether a Distribution Contact Pole or a Transmission Contact Pole;
- (d) **“Contractor”** means a third-party contractor contracted by the Customer to carry out the Work or a portion of the Work on the Customer’s behalf;
- (e) **“Customer Equipment”** means the Customer’s street light equipment beyond the Point of Delivery including but not limited to the street light head, supply conductor, support arm, CSA disconnect fuse, and auxiliary equipment as identified in Schedule A;
- (f) **“Low Voltage Secondary Conductor”** means conductors carrying less than 750 volts;
- (g) **“Distribution Contact Pole”** means a Contact Pole on which the maximum voltage of an energized conductor does not exceed 35,000 volts. Specifically excluded from this definition are poles where a circuit energized at 35,000 volts or less has been underbuilt on a pole supporting a circuit energized in excess of 35,000 volts;
- (h) **“FortisBC’s System”** means the electrical distribution system owned and/or operated by FortisBC;
- (i) **“Good Utility Practice”** means any of the practices, methods and acts engaged in, or approved by, a significant portion of the electric utility industry during the relevant time period, or any of the practices, methods and acts which, in the exercise of reasonable judgment, in light of the facts known at the time the decision was made, could have been expected to

accomplish the desired result at a reasonable cost consistent with good business practices, reliability, safety and expedition. Good Utility Practice is not intended to be limited to the optimum practice, method, or act to the exclusion of all others, but rather to be acceptable practices, methods, or acts generally accepted by electric utilities in the Province of British Columbia;

- (j) **"Point of Delivery"** means the point electricity is delivered from FortisBC's System to the Customer's Equipment;
- (k) **"Proposed Contact Pole"** means a contact pole owned by FortisBC, on which the Customer wishes to place new equipment or relocate existing Customer Equipment;
- (l) **"ROW"** means an easement, statutory right of way, or license of occupation granted to FortisBC allowing FortisBC to install, operate, maintain and access one or more Contact Poles and telecommunication equipment and which may include the right of FortisBC to allow its licensees to install, operate and access licensees' equipment on Contact Poles;
- (m) **"Transmission Contact Pole"** means a Contact Pole on which FortisBC supplies electricity at greater than 35,000 volts;
- (n) **"Schedule 50"** means the schedule attached as Schedule 50 to FortisBC's Electric Tariff, as amended, updated or renamed from time to time;
- (o) **"Work"** means the installation, operation, maintenance, removal, relocation, repair, and replacement of the Customer Equipment on a Contact Pole including the connection or disconnection of the Customer Equipment to or from the FortisBC System; and
- (p) **"Workplace"** means locations on the FortisBC's System and ROW in the City of Kelowna where and when the Customer or its employees, Contractor or agents are performing the Work.

## **2. SCOPE AND TERM OF AGREEMENT**

- 2.1. This Agreement is subject to the terms and conditions contained in FortisBC's Electric Tariff including Schedule 50. In the event of any conflict between this Agreement and FortisBC's Electric Tariff, FortisBC's Electric Tariff will govern.

This Agreement will remain in effect while (a) Customer Equipment is placed on a Contact Pole; and (b) the Customer receives service under Schedule 50.

## **3. STANDARDS FOR LIGHTING EQUIPMENT**

- 3.1. The Customer will ensure that the Customer Equipment installed on a Contact Pole complies with all Applicable Laws and the additional specifications set out in Schedule A. FortisBC may update these specifications from time to time as it, in its sole discretion, believes is advisable or in accordance with Good Utility Practice.
- 3.2. The Customer will ensure that the Customer Equipment installed on a Contact Pole is free from defects, and that the Customer Equipment will not damage or otherwise create a hazard to FortisBC's System.
- 3.3. FortisBC reserves the right to refuse the installation of any Customer Equipment to a Contact Pole if, in FortisBC's sole reasonable opinion, the Customer Equipment may damage or otherwise create a hazard to FortisBC's System.

## **4. CUSTOMER RESPONSIBILITIES AND CONTRACTOR QUALIFICATIONS**

- 4.1. The Customer will be responsible for carrying out the Work at its sole cost and expense.
- 4.2. The Customer will carry out the Work with due care, in a good and workmanlike manner, and consistent with Good Utility Practice.
- 4.3. The Customer will carry out the Work in compliance with all Applicable Laws, and represents and warrants that it is familiar with the requirements of all the Applicable Laws. The Customer will indemnify and hold harmless FortisBC, its directors, officers, employees, successors and assigns from and against any and all costs, liability (including claims, penalties, fines, and assessments) and legal costs and disbursements, which FortisBC may incur arising from the Customer's failure to abide by the Applicable Laws. This indemnity is in addition to and not in substitution for any other indemnities contained in this Agreement.

- 4.4. The Customer will carry out the Work in accordance with the safety standards in Schedule B and the Customer shall ensure that its Contractor is provided with these safety standards as well as the information known to FortisBC to identify and eliminate or control hazards to the health and safety of persons at the Workplace set out in Schedule B.
- 4.5. FortisBC, as owner of the Workplace for the purposes of Part 3 of the Workers Compensation Act ("Act") designates the Customer as the Prime Contractor of the multiple-employer Workplace, pursuant to section 118 of the Act, for the purposes of Part 3 of the Act and the Occupational Health and Safety Regulation ("Regulation") effective from February 15, 2018. The Customer agrees to its designation as Prime Contractor pursuant to section 118 of the Act and shall carry out the obligations, duties and responsibilities that are required of a prime contractor under the Act and Regulation. FortisBC may, in its sole discretion, terminate the Customer's designation as Prime Contractor at any time by giving written notice of such termination to the Customer. Customer may request FortisBC to designate the Customer's Contractor as Prime Contractor in which case FortisBC will terminate the Customer's designation upon the acceptance by the Customer's Contractor of such designation and its agreement to carry out the obligations, duties and responsibilities that are required of a prime contractor under the Act and Regulation. The form of such agreement is set out in Schedule E to this Agreement.
- 4.6. The Customer may contract the Work to a Contractor provided the contractor is listed on FortisBC's "Approved Contractor List" as updated from time to time. Neither the identification of a contractor on the Approved Contractor List nor any other FortisBC approval of a contractor will in any way relieve the Customer of its responsibilities as set out in this Agreement.
- 4.7. The Customer will be responsible for its Contractor in the same manner, to the same extent and to the same effect as if the Contractor were not used and the whole of the Work was performed solely by the Customer and its own forces.

## **5. WORKER QUALIFICATIONS**

- 5.1. The Customer will ensure that its personnel or any Contractor's personnel who carry out the Work:
- (a) have the requisite experience and skill to carry out the Work and are trained in the proper and safe attachment of lighting equipment on live electric utility poles; and
  - (b) have the additional qualifications listed in Schedule C.

**6. PLACEMENT OF CUSTOMER EQUIPMENT ON PROPOSED CONTACT POLES**

- 6.1. Prior to the installation or relocation of the Customer Equipment onto a Proposed Contact Pole, the Customer will submit an application to FortisBC in writing in the form of the "Pole Contact Notification/Application", attached as Schedule D and will include sufficient information to identify and reference the Proposed Contact Pole to the FortisBC mapping system. If approval has been given in accordance with the foregoing, FortisBC will acknowledge its approval in a timely manner, by returning a signed copy of the Pole Contact Notification/Application to the Customer. In providing its approval, FortisBC will be at liberty to specify the location where the Customer Equipment is to be installed on the Proposed Contact Pole, and the Customer must follow such directives.
- 6.2. Upon approval in accordance with section 6.1, the Customer may install or relocate the Customer Equipment onto the Proposed Contact Pole as directed by FortisBC and such installation or relocation will be noted in the adjusted inventory in accordance with section 8.2.
- 6.3. FortisBC may, in its sole discretion, deny the Customer's application to install the Customer Equipment on a Proposed Contact Pole. If the Customer's application is so denied, FortisBC will provide the Customer with its reasons for denying the application.
- 6.4. In addition to any remedies FortisBC may have for breach of this Agreement, if any Customer Equipment is installed or relocated contrary to the terms of this Agreement, including installed or relocated on a Proposed Contact Pole without FortisBC's consent pursuant to section 6.1, FortisBC may require the Customer, at its own expense, to forthwith:
  - (a) remove the Customer Equipment, or
  - (b) relocate the Customer Equipment to such space specified by FortisBC.
- 6.5. FortisBC makes no representations or warranties with respect to the condition of the Contact Poles or their suitability for the Customer's intended use. The Licensee is solely responsible to make a careful examination of the Contact Poles and satisfy itself, at its own risk and expense, as to all matters relating to its use of the Contact Poles, including its suitability for the Customer's intended use. The Customer accepts the Contact Poles on an as-is basis, and FortisBC is under no obligation to maintain the Contact Poles for the Customer's intended use.

- 6.6. Nothing contained in this Agreement will be construed to require FortisBC to construct, retain, extend, place or maintain a Contact Pole for the Customer's benefit which are not otherwise needed for FortisBC's own service requirements.

7. **OWNERSHIP OF CUSTOMER EQUIPMENT AND CONTACT POLES**The Customer Equipment will remain at all times the property of Customer notwithstanding any attachment or affixation to the Contact Pole. The use of space on a Contact Pole by the Customer does not include or imply a transfer of any right, title or interest in or to the Contact Pole other than the rights granted to Customer under this Agreement.

8. **INVENTORY AND ADMINISTRATION OF CONTACT POLES**

8.1. **Voluntary Removal**

- (a) The Customer may abandon its use of a Contact Pole without prior notice to FortisBC by removing the Customer Equipment from the Contact Pole at the Customer's sole expense.
- (b) After removing the Customer Equipment from a Contact Pole, the Customer will report to FortisBC that it has abandoned a Contact Pole by using a Pole Contact Notification/Application form in accordance with the reporting procedure in section 6.1 and FortisBC will acknowledge receipt of the form and return a signed copy of the form to the Customer.

8.2. **Inventories**

- (a) On a monthly basis, the Customer will provide FortisBC with an updated list of changes occurring to the Customer Equipment from the previous month, including additions, removals, or relocations.
- (b) Each calendar year, FortisBC will provide the Customer with an adjusted count of the Contact Poles as of December 31 of the previous calendar year (the "**Adjusted Count**") reflecting the changes in the Contact Poles during the previous year.
- (c) If Customer in good faith disputes FortisBC's Adjusted Count as set out in this annual statement, the parties will jointly perform an inventory of the Contact Poles by June 30<sup>th</sup> of the calendar year following the calendar year in question. Each party hereto will bear its own costs of conducting such inventory. The results of such joint inventory will determine the number of Contact Poles and will be binding on the parties hereto.

## **9. EASEMENTS AND RIGHTS-OF-WAY**

- 9.1. For the term of this Agreement, and subject to the provisions of this Agreement, FortisBC hereby grants the Customer, its employees, Contractors and agents the right to use and access the Contact Pole for the purposes of carrying out the Work and to do all acts and exercise all rights granted to Customer in this Agreement to the extent permitted by the ROW held by FortisBC.
- 9.2. At the time the Customer applies to FortisBC to attach the Customer Equipment to a Proposed Contact Pole, the Customer will advise FortisBC whether FortisBC's ROW includes the right by a third party to use and access the Contact Pole for the purposes of carrying out the Work. FortisBC will be entitled to rely on such representation by the Customer when determining whether FortisBC will allow the Customer to attach the Customer Equipment to such pole, however, FortisBC, may, at its option and at the Customer's sole cost, undertake its own review of FortisBC's land rights. If FortisBC's ROW does not include the right by a third party to use the Contact Pole for the purposes of carrying out the Works, FortisBC will use reasonable efforts to obtain such rights. Any costs reasonably incurred by FortisBC to obtain such rights or amendments to its ROW in favour of the Customer, will be the Customer's responsibility subject to the Customer first approving in writing FortisBC's estimate of the costs for the same.
- 9.3. At any time during the term of the Agreement, and regardless of whether the Customer Equipment is already attached to a Contact Pole with FortisBC's consent, if FortisBC is unable to obtain an easement, right-of-way, or permit which grants to the Customer the necessary rights to use or access such Contact Pole as contemplated by this Agreement, the Customer will be responsible for obtaining its own easement, right-of-way or permit for use of or access to the Contact Pole. In such cases, FortisBC will cooperate with the Customer in good faith and provide the Customer with reasonable assistance in obtaining the Customer's own right of way and hereby consents to the Customer's use of such right of way for the purposes set out in this Agreement.

## **10. RELOCATION, REPLACEMENT AND REPAIR OF CONTACT POLES**

- 10.1. In any case deemed by FortisBC to constitute an imminent or immediate emergency or substantial threat or danger to human life, the environment, or real or personal property, FortisBC may relocate or remove the Customer's Equipment upon notice to the Customer's emergency contact, and the Customer will, on demand, reimburse FortisBC for any expense hereby incurred.
- 10.2. If FortisBC believes that either FortisBC or the Customer does not have adequate rights under a ROW to allow either FortisBC or Customer to locate, use

or access a Contact Pole as the case may be, FortisBC, in its sole discretion, may give the Customer a minimum of 30 days' written notice to remove the Customer Equipment from the Contact Pole, or as much additional notice as the circumstances warrant. If such Customer Equipment has not been removed by the date stated in FortisBC's notice, FortisBC may remove the Customer Equipment and bill the Customer for the costs that are reasonably incurred by FortisBC in removing the Customer Equipment, plus a premium of 15%.

- 10.3. FortisBC may require the Customer to remove the Customer Equipment from any one or more, up to and including all, Contact Pole(s) for safety reasons including but not limited to breach of this Agreement by the Customer, or if FortisBC requires the replacement or relocation of such Contact Pole(s) for the operation of FortisBC's System in accordance with Good Utility Practice. FortisBC will give the Customer a minimum of 90 days' written notice to remove the Customer Equipment from the Contact Pole(s), or as much additional notice as the circumstances warrant, in FortisBC's reasonable opinion. If such equipment has not been removed by the date stated in FortisBC's notice, FortisBC may remove the Customer Equipment and bill the Customer for the costs that are reasonably incurred by FortisBC in removing the Customer Equipment, plus a premium of 15%.
- 10.4. If the Customer's employees, contractors or agents damage the equipment or structures of FortisBC, the Customer will immediately report the damage to FortisBC. If the Customer damages FortisBC's System by an act of one of its employees, contractors or agents, the Customer will reimburse FortisBC for the costs of repair reasonably incurred, but when acting in compliance with the requirements of this Agreement, Customer will not be responsible for lost revenue or any other indirect losses that may be incurred by FortisBC.
- 10.5. If FortisBC damages Customer Equipment by an act or omission of one of its employees, contractors or agents, FortisBC will reimburse Customer for the costs of repair reasonably incurred, but FortisBC will not be responsible for lost revenue or any other indirect losses that may be incurred by Customer.
- 10.6. If damage is caused to a Contact Pole by the action or omission of a third party other than a party carrying out the Work on behalf of the Customer, the costs of repairing the Contact Pole will be borne by FortisBC, and the costs of repairing the Customer Equipment shall be borne by the Customer.

## **11. EXPROPRIATION BY PUBLIC AUTHORITY**

- 11.1. If a Contact Pole is expropriated through any act or omission of a public authority of competent jurisdiction or if because of an order of a court of competent

jurisdiction either party is prevented from using a Contact Pole as contemplated by this Agreement, each party will bear its own losses and costs which result from the prevention. Nonetheless, FortisBC will use reasonable efforts to claim from such third party the Customer's costs to carry out such relocation and FortisBC will pay to the Customer a share of the monies paid by any third party to FortisBC in respect of such costs reasonably proportionate to the value of the Customer Equipment affected by the expropriation in relation to the value of the portion of FortisBC's System affected by the expropriation, net of FortisBC's legal expenses.

## **12. INDEMNIFICATION, LIMITATION OF LIABILITY AND INSURANCE**

- 12.1. Except for as provided by section 10.4 and 10.5, the Customer agrees that FortisBC, its affiliates, officers, directors or employees, either jointly or severally, will not be liable for any claims, losses, suits, actions, judgments, demands, debts, accounts, damages, costs, penalties and expenses arising directly or indirectly from the Work (together the "**Claims**") except to the extent the Claims are a direct result of FortisBC's breach of this Agreement, or the negligence or willful misconduct of FortisBC or those whom FortisBC is responsible at law. This section will survive the termination of this Agreement.
- 12.2. The Customer will indemnify and save harmless FortisBC, its affiliates, officers, directors or employees, either jointly or severally from and against any claim, action, liability, damage, cost and expense that FortisBC may suffer, incur or be put to arising directly or indirectly from the Work and any breach by the Customer of any of its obligations under this Agreement. In no event will the Customer be liable to FortisBC for FortisBC's indirect, special or consequential loss, damage, cost or expense whatsoever, whether based on breach of contract, negligence, strict liability or otherwise, including, without limitation, business interruption losses, lost profits or revenues, or cost of lost opportunities.
- 12.3. FortisBC will indemnify and save harmless the Customer, its elected officials, officers, employees, permitted contractors, successors and assigns, either jointly or severally from and against any claim, action, liability, damage, cost and expense that those persons may suffer, incur or be put to arising directly or indirectly from breaches by FortisBC of any of its obligations under sections 8.2, 9.2, 9.3, 11.1 and 13.1 of this Agreement. In no event shall FortisBC be liable to the Customer for the Customer's indirect, special or consequential loss, damage, cost or expense whatsoever, whether based on breach of contract, negligence, strict liability or otherwise, including, without limitation, business interruption losses, lost profits or revenues, or cost of lost opportunities. This section will survive the termination of this Agreement.

- 12.4. During the term of this Agreement, the Customer will maintain or will cause its Contractors to maintain comprehensive general liability insurance in an amount of not less than \$5,000,000 (or such other amount as FortisBC may from time to time reasonably require) per occurrence protecting FortisBC against any claims arising directly or indirectly out of the use of the Contact Poles by the Customer and the installation, operation, and maintenance of the Customer Equipment on the Contact Poles under this Agreement. FortisBC will be named an additional insured and the policy will contain a standard cross-liability clause. The policy will provide that the insurance will not be cancelled, reduced, restricted or changed in any way without the insurer giving at least 30 days' notice in writing to FortisBC. The Customer will provide FortisBC with proof of all required insurance upon request.

### **13. REMOVAL OF EQUIPMENT**

#### **13.1. Upon termination of this Agreement:**

- (a) The Customer will be entitled to remove the Customer Equipment in accordance with section 6 hereof;
- (b) FortisBC may require the Customer to remove the Customer Equipment from the Contact Poles by written notice to the Customer and if the Customer does not remove the Customer Equipment from the Contact Poles by the date specified in such notice, which shall be no less than 60 days from the date of the notice, FortisBC at its option may:
  - i) remove and dispose of the Customer Equipment from the Contact Pole and invoice Customer for FortisBC's reasonable costs to remove and dispose of the Customer Equipment plus a premium of 15% or;
  - ii) elect to take title of the Customer Equipment itself.

### **14. FURTHER ASSURANCES**

Each of the parties will, from time to time and at all times hereafter, upon every reasonable written request so to do, make, do, execute and deliver, or cause to be made, done, executed and delivered all further acts, deeds, assurances and things as may be necessary in the opinion of the other party to give effect to the intent of this Agreement.

**15. NON WAIVER OF RIGHTS**

The failure of either party to pursue any remedy resulting from a breach of this Agreement by the other party will not be construed as a waiver of that breach by that party or any other party, or as a waiver of any subsequent or other breach.

**16. ENTIRE AGREEMENT**

This Agreement is intended to set out certain design, installation, safety, and operational requirements with respect to the Customer Equipment installed on the Contact Poles. This Agreement does not contain the entire agreement between the parties with respect to the Customer Equipment installed on the Contact Poles. FortisBC's Electrical Tariffs also apply, as will any additional terms and conditions later agreed to in writing by the parties and accepted by the BC Utilities Commission if required pursuant to the *Utilities Commission Act*.

**17. ASSIGNMENT**

The Customer will not assign all or any part of this Agreement without the prior written consent of FortisBC, which consent shall not be unreasonably withheld or delayed.


**18. ENUREMENT**

This Agreement will be binding upon and enure to the benefit of the parties and their respective successors and permitted assigns.

IN WITNESS WHEREOF the parties hereto have caused this Agreement to be executed under seal.

**FORTISBC INC.**

**CITY OF KELOWNA**

Per:   
Authorized Signatory  
Name: *Tom HARRISON*  
Title: *OPERATIONS MANAGER*

Per: \_\_\_\_\_  
Authorized Signatory  
Name:  
Title:

### Schedule A – Lighting Equipment Specifications

Lighting equipment and related standards may change from time to time. The latest catalog and specifications is attached, though note that it may be outdated during the life of this Agreement. A current selection will be provided to the Customer from FortisBC's design representative, when new lighting attachments are requested or from FortisBC's Standards department when changes are made in fixtures, equipment or technology.

COK Final Design	TOTAL	FortisBC	COK
Product ID No.	Quantity	Quantity	Quantity
31W_ERL1 0 04 B3 30 A GRAY I L R	3644	1535	2109
31W_ERL1 0 04 C3 30 A GRAY I L R	553	190	363
	<b>4197</b>	<b>1725</b>	<b>2472</b>
39W_ERL1 0 05 B3 30 A GRAY I L R	1109	557	552
39W_ERL1 0 05 C3 30 A GRAY I L R	217	98	119
	<b>1326</b>	<b>655</b>	<b>671</b>
47W_ERL1 0 06 B3 30 A GRAY I L R	269	83	186
47W_ERL1 0 06 C3 30 A GRAY I L R	180	71	109
	<b>449</b>	<b>154</b>	<b>295</b>
71W_ERL1 0 08 B3 30 A GRAY I L R	1297	452	845
71W_ERL1 0 08 C3 30 A GRAY I L R	143	37	106
	<b>1440</b>	<b>489</b>	<b>951</b>
97W_ERL1 0 10 B3 30 A GRAY I L R	1730	460	1270
97W_ERL1 0 10 C3 30 A GRAY I L R	222	61	161
	<b>1952</b>	<b>521</b>	<b>1431</b>
136W_ERLH 0 15 B3 30 A GRAY I L R	480	127	353
136W_ERLH 0 15 C3 30 A GRAY I L R	832	190	642
	<b>1312</b>	<b>317</b>	<b>995</b>
<b>Total</b>	<b>10676</b>	<b>3861</b>	<b>6815</b>

## Schedule B - Safety Standards and Disclosure of Hazards

1. All Work will be carried out from an aerial device meeting Applicable Laws, including Section 19 of the Occupational Health and Safety Regulations, which at present require a minimum test of 46KV. A worker may not climb a Contact Pole.
2. Before commencing Work, each worker shall visually inspect the Contact Pole, the conductors and any apparatus mounted on the pole for hazards. If the worker finds any hazards or the Contact Pole or any of the conductors or apparatus appear unsafe, the worker shall contact FortisBC immediately and shall not commence Work.
3. In addition, before commencing Work, each worker shall make a site safe work plan, namely each worker shall assess the Workplace, review the job steps required to carry out the Work in relation to the Workplace, identify the major hazards of the Work and Workplace and shall implement controls and/or barriers to eliminate or control hazards to the health and safety of persons at the Workplace. The major hazards of the Workplace include:

Gravity	Electrical	Mechanical/Excavation	Kinetic Vehicular	Chemical
Falling from heights	<ul style="list-style-type: none"> <li>• Live apparatus identified</li> <li>• Induction/backfeed</li> <li>• Static charge</li> <li>• Ground gradients</li> <li>• Flash potential</li> <li>• Buried conductors</li> <li>• Step potential</li> </ul>	<ul style="list-style-type: none"> <li>• Equipment failure</li> <li>• Flying objects</li> <li>• Tension loads</li> <li>• Moving parts</li> <li>• Pinch points</li> <li>• Heat</li> <li>• Pressurized systems</li> <li>• Brittle conductor</li> <li>• Excavation</li> <li>• Chainsaw</li> </ul>	<ul style="list-style-type: none"> <li>• Driving conditions</li> <li>• Moving loads</li> <li>• Vehicular stability</li> <li>• Vehicular conditions</li> <li>• Traffic conditions</li> </ul>	<ul style="list-style-type: none"> <li>• Flammable explosive</li> </ul>
Falling objects				
Working over water				
Caving trenches				
Rigging				

4. No Work will be performed above the height of a Low Voltage Secondary Conductor on a Contact Pole.
5. Workers will be mindful that there are multiple distribution and transmission voltages within FortisBC's System. Workers will pay close attention what voltage workers are connecting to and identify these voltages prior to commencing Work on a Contact Pole. Workers shall use electrical testing equipment specified

under Section 19 of the Occupational Health and Safety Regulation, as amended from time to time.

6. Workers will maintain the limits of approach, as required by Section 19 of the Occupational Health and Safety Regulation, as amended from time to time.
7. All connections to the FortisBC System will be carried out using FortisBC-approved tools and connectors (this may require a hands on demonstration and be subject to periodic audits to ensure compliance)
8. Workers shall not carry out Work on FortisBC's System while work is being carried out by other workers on or in the Workplace or adjacent to the Workplace.

### **Schedule C – Worker Qualifications**

All workers carrying out the Work must

1. be qualified to carry out the Work in accordance with Applicable Laws; and
2. be Red Seal Certified as an electrician or power line technician.

## **Schedule D - Pole Contact Notification/Application**

# FortisBC pole contact notification/application

## Requestor information

Email address

☐ Telus:

☐ Shaw:

☐ Eastlink:

☐ FortisBC:

☐ Other:

Civic address or equivalent

Requestor name

Email

Phone number

Date (Yr/Mth/Day)

File or WO number

FortisBC reference number



FortisBC sup number

**NOTE:** Applicant confirms that ROWs are acceptable for requested pole contact application.

Pole ID numbers

Description -Framing Standards (spacing)

Comments: Clearances/Photos attached etc.

**Sketch:** Show Contacts Made as:  PP / C / D / T      Contacts Removed as:  PP / C / D / T

Show PP (Private Property)


Show C (Clearance)

Show D (Distribution)

Show T (Transmission)



SEE ATTACHED PLAN

Show Any Other Poles as: 

**Note: Clearance Contacts as per the relevant agreements do not require advance approval.**

**Note: A private property pole is one installed on private property after 1996 for serving a single customer where FBC may / may not have a ROW (applicable to Distribution poles for Telus only)**

Permission granted for above application

Name (please print)

Signature

Date (Yr/Mth/Day)

Name (please print)

Signature

Date (Yr/Mth/Day)

## FortisBC Internal Use

Send signed copy to Requesting Party/FBC As Built (include maps)/ JU Admin

☐ Telus: kelowna.engineering@telus.com

☐ FortisBC As Built

☐ FortisBC JU Admin: FBCJointUseAdministrator@fortisbc.com

☐ Eastlink: western-planning@personainc.ca

☐ Telus: karen.cribbes@sjrb.ca

## Schedule E – Prime Contractor Agreement

### Prime Contractor Agreement

WHEREAS the City has engaged the Contractor to install, maintain, remove or repair the City's street light including the connection or disconnection of the City's street lights to or from the FortisBC system (the "Work");

AND FortisBC, as owner of the "workplace" as defined in Part 3 of the *Workers Compensation Act*, RSBC 1996, c. 492 (the "Act") has designated the City as the "prime contractor" under the Act in respect of locations on the FortisBC's system and FortisBC's rights of way in the City of Kelowna where and when the City or its employees, Contractor or agents are performing the Work (the "Workplace");

AND FortisBC may designate the City's contractor as the "prime contractor" in respect of the Workplace upon the City's contractor's agreement to accept such designation.

NOW THEREFORE, the parties agree as follows:

1. The Contractor hereby agrees, pursuant to Section 118(1) of the Act, to be the prime contractor for the purpose of carrying out the obligations set out in section 118(2) of the Act in respect of the Workplace, which reads as follows:

- (2) The prime contractor of a multiple-employer workplace must

- (a) ensure that the activities of employers, workers and other persons at the workplace relating to occupational health and safety are coordinated, and

- (b) do everything that is reasonably practicable to establish and maintain a system or process that will ensure compliance with this Part and the regulations in respect of the workplace.

2. FortisBC terminates the City's designation as prime contractor in respect of the Workplace.

**[insert name]** (the "Contractor")  
by its authorized signatories:

\_\_\_\_\_  
Name:

\_\_\_\_\_  
Name:

**FortisBC Inc. (FortisBC)**  
by its authorized signatories

\_\_\_\_\_  
Name:

\_\_\_\_\_  
Name:

**City of Kelowna (the "City")**  
by its authorized signatories

\_\_\_\_\_  
Mayor:

\_\_\_\_\_  
Clerk:

# Report to Council



**Date:** February 19, 2018  
**File:** 1140-43  
**To:** City Manager  
**From:** M. Olson, Manager, Property Management  
**Subject:** License Agreement – Bikeshare Pilot Program

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## **Recommendation:**

THAT Council receives, for information, the Report from the Manager, Property Management, dated February 19, 2018, regarding the proposed License Agreement with Dropbike Inc.;

AND THAT Council approves the City entering into an 18-month License Agreement with Dropbike Inc. for the bikeshare pilot project term, as per the terms and conditions of the agreement attached to the Report of the Manager, Property Management, dated February 19, 2018;

AND THAT Mayor and Clerk be authorized to execute all documents necessary to complete the transaction.

## **Purpose:**

To obtain Council support in entering into an 18-month License Agreement with Dropbike Inc. in order to formalize the use of City property during the bikeshare pilot project.

## **Background:**

Bikeshare is an emerging service where bicycles are made available for shared use to individuals on a short term basis. These systems allow users the ability to pick up a bicycle in one location and return it to another, within a defined service area.

The establishment of a bikeshare system in Kelowna will allow residents and visitors to access affordable and convenient bicycles for short distance trips which would provide a number of community benefits that support the City's mobility, carbon reduction and economic development goals.

Staff received authorization from Council on January 22, 2018 to negotiate and bring forward an agreement with Dropbike Inc. for the purpose of licensing use of the public right-of-way for a bikeshare service in 2018. The attached License Agreement obligates Dropbike Inc. to follow the requirements, details and framework as proposed to Council in exchange for the use of City property in which to operate.

### Key Lease Terms/Conditions

A high level summary of the key terms and conditions of the proposed lease is provided below:

Lease Component	Description
<b>Service Area</b>	Outlined in Schedule B (to be amended as agreed in writing from time to time)
<b>Havens</b>	Identified areas where Dropbike customers are to drop off and pick up bikes. As identified in Schedule A (to be re-located as agreed in writing from time to time)
<b>Tenure Type</b>	Licence of occupation to use City property to place Havens
<b>Term</b>	18-month pilot project
<b>Obligations</b>	<ul style="list-style-type: none"><li>• Demarking Haven locations using a smart phone app.</li><li>• Identify Haven locations on the ground</li><li>• Maintain bikes to a safe and functional state (remove damaged bikes from service daily)</li><li>• Inspect all bikes daily</li><li>• Inspect Service Area and ensure bikes are re-balanced to havens daily</li><li>• Provide between 500 – 1,500 bikes during the term</li><li>• Respond to inquiries, complaints or requests made by customers, members of the public</li><li>• Provide incentives to customers who return Bikes to Havens</li><li>• Operate its bikeshare program in a manner that does not create any hazard or nuisance to users of City Property</li><li>• Provide key data and financial information at regular intervals</li></ul>

### Next Steps

1. Pending Council support to proceed, Staff will work to fulfill responsibilities outlined in the Implementation section of the Kelowna Bikeshare Proposal Background Report to the Report to Council dated January 22;
2. The proposed target date of Dropbike bikeshare launch is Spring 2018;

3. Staff will update council on the pilot before the end of 2018;
4. Staff will report back to Council at the end of the pilot in Fall 2019 with results of the pilot and future recommendations;

**Internal Circulation:**

Transit and Programs Manager

**Considerations not applicable to this report:**

Legal/Statutory Authority:

Legal/Statutory Procedural Requirements:

Existing Policy:

Financial/Budgetary Considerations:

Personnel Implications:

External Agency/Public Comments:

Communications Comments:

Alternate Recommendation:

**Submitted by:** M. Olson, Manager, Property Management

**Approved for inclusion:** D. Edstrom, Director, Strategic Investments

**Attachments:**

1. Schedule A – Lease Agreement
2. Schedule B – Service Area/ Haven Locations
3. Schedule C – PowerPoint

cc: J. Dombowsky, Transit and Programs Manager

## **LICENSE AGREEMENT – DROPBIKE BIKESHARE PROGRAM**

THIS AGREEMENT dated for reference the \_\_\_\_ day of \_\_\_\_\_, 2018 is

BETWEEN:

**CITY OF KELOWNA**, 1435 Water Street, Kelowna, British Columbia, V1Y 1J4

(the “City”)

AND:

**DROPBIKE INC.** (Corporation Number 1015427-0), 55 Scenic Mill Way, Toronto,  
Ontario, M2L 1S8

(“Dropbike”)

WHEREAS the City wishes to have a public bike share service operate within its municipal boundaries to encourage cycling as a viable transportation option in order reduce the need for personal vehicle trips and the associated burden on City roads;

WHEREAS Dropbike wishes to operate a temporary bike sharing pilot program on City property, including sidewalks, at approved locations and, in exchange for its commitment to operate such a program, the City wishes to grant Dropbike a license to enter on and use those approved City locations on the terms and conditions set out in this Agreement;

NOW THEREFORE THIS AGREEMENT is evidence that, in consideration of the mutual promises contained in this Agreement and other good and valuable consideration (the receipt and sufficiency of which each party hereby acknowledges), the parties covenant and agree as follows:

**1. Definitions – In this Agreement:**

- (a) “Bike” means a bikeshare bicycle owned by Dropbike for use in connection with its bikeshare program in the City of Kelowna;
- (b) “Haven” means a portion of City-owned property designated by mutual agreement of Dropbike and the City for the parking of Bikes and listed in Schedule A, as amended from time to time;
- (c) “Service Area” means that area within the City of Kelowna shown outlined on the map attached as Schedule B, as amended from time to time, where customers may bring and ride Bikes;
- (d) “Term” means the term of this Agreement, commencing on the first day on which the Bikes are enabled for rental within the City of Kelowna and expiring on the date that is eighteen (18) months thereafter, subject to earlier termination pursuant to the terms of this Agreement.



2. **Grant of License** – The City hereby grants Dropbike a license (the “License”) to enter upon, use, and occupy the Havens for the Term for the purpose of allowing its customers to park Bikes, all on the terms and conditions of this Agreement. The License granted hereby includes a non-exclusive license to enter upon and cross over such portions of City-owned property as may be reasonably necessary for the purpose of accessing the Havens.
3. **Designation of Havens** – The City and Dropbike shall work together to identify the location of each Haven, following which that Haven shall be included in Schedule A of this Agreement. The City will provide Dropbike with siting criteria to assist with the process of reviewing and approving additional Havens from time to time. Only those locations approved by mutual agreement of the parties shall be included in this Agreement as Havens. All Havens shall be highlighted in Dropbike’s smartphone application, may be physically marked or unmarked, and may include identified infrastructure such as bike racks or bike posts. The City’s Transit and Programs Manager is authorized on behalf of the City to approve additional Havens and remove existing Havens from time to time and to amend Schedule A as required.
4. **Designation of Service Area** – The Service Area may be amended from time to time by mutual agreement of the parties. The City’s Transit and Programs Manager is authorized on behalf of the City to approve changes to the map attached as Schedule B from time to time and to amend or replace Schedule B as required.
5. **No Interest in Land** – Dropbike acknowledges and agrees that this Agreement creates a non-exclusive contractual license only and Dropbike acquires no interest in the Havens or the surrounding City-owned lands but only the non-exclusive right to access and use the Havens in accordance with the terms and conditions of this Agreement.
6. **City May Grant Further Interests** – The City may, from time to time, grant licenses, rights of way, easements and other rights and privileges to third parties on, over, under, through, above and across the Havens and the surrounding City-owned lands, provided that such privileges do not substantially impair Dropbike’s rights under this Agreement, and Dropbike shall execute such further instruments as may be necessary to give such rights and privileges priority over this Agreement.
7. **Dropbike’s Covenants** – Dropbike covenants and agrees with the City to:
  - (a) promptly pay, when due, the License Fee and any other amounts required to be paid by it under this Agreement;
  - (b) deploy not less than 500 and not more than 1500 Bikes into use during the Term, notwithstanding which Dropbike may deploy additional Bikes into use with the prior written consent of the City’s Transit and Programs Manager;
  - (c) demark the location of all Havens using the Dropbike smartphone application;
  - (d) where a Haven does not include a bike rack, bike post, or other infrastructure, the Haven may be marked by placing a painted or taped full or partial box around the Haven, with the prior written consent of the City’s Transit and Programs Manager;



- (e) maintain all Bikes in a safe and functional state of operation and promptly remove any damaged, unsafe or non-functional Bikes from City property;
- (f) inspect all Havens at regular intervals and not less than once per day in order to ensure they are kept in a safe, tidy, and sanitary condition;
- (g) inspect the entire Service Area at regular intervals and not less than once per day in order to rebalance Bike locations, remove Bikes from inappropriate locations and move all Bikes back to Havens;
- (h) remove any Bikes that are in need of repair or replacement each day;
- (i) ensure that all Bikes are marked with clear, visible contact information for Dropbike service and inquiries;
- (j) ensure that all Dropbike user interface or point-of-sale applications and promotional materials include clear, visible contact information for Dropbike service and inquiries;
- (k) respond to inquiries, complaints or requests made by customers, members of the public, and city officials in a timely and businesslike manner;
- (l) provide incentives to customers who return Bikes to Havens;
- (m) operate its bikeshare program and ensure the Havens are only used in a manner that does not restrict access to, through, or from any portion of a municipal right of way and, in particular, any City sidewalks, and especially with respect to access by persons with disabilities;
- (n) operate its bikeshare program in a manner that does not create any hazard or nuisance to users of any municipal right of way;
- (o) promote the Dropbike pilot program to the entire community and its visitors and coordinate communication of the Dropbike pilot program with the City as follows:
  - (i) neither the City nor Dropbike shall give or make any representation, or otherwise hold themselves out as being agents or representatives of the other, or as having the right to bind the other or any of the other's assets or property, except as set out herein, without the prior written consent of the other;
  - (ii) Dropbike shall not imply the City's ownership or operation of the pilot bikeshare program without the prior written consent of the City;
  - (iii) the City and Dropbike shall make all reasonably efforts to coordinate the communication and promotion of the pilot bikeshare program with each other so that each is aware of the other's intentions with regard to issuing press releases, responding to media inquiries, and printed or electronic advertising or social media campaigns;

- (p) collect the following usage data and financial information at regular intervals and make such data and financial information available to the City upon request:
    - (i) number of members;
    - (ii) GPS locations at the beginning and end of every trip as well as points in between, delivering an anonymized user ID, trip ID, date, and time for each point; and
    - (iii) revenue generated and expenses incurred from Bike rentals within the previous calendar month (or such other period of time as may be specified by the City in its request);
  - (q) if applicable, refund any customer deposits collected in a timely manner and in accordance with any terms of use agreements that Dropbike may have with its customers;
  - (r) require all customers of Dropbike, as a term and condition of using any Bike, to release the City from all claims, actions, damages, liabilities, losses, costs and expenses whatsoever as may be suffered by any customer arising from or related to the use of Bikes within the City of Kelowna, and provide the City with proof of acceptance of such term and condition by each customer upon request;
  - (s) carry on and conduct its activities within the City of Kelowna in compliance with any and all laws, statutes, enactments, bylaws, regulations and orders from time to time in force, and to obtain all required approvals and permits thereunder, and not to do or omit to do anything in, on, or from the City of Kelowna in contravention thereof; and
  - (t) effectively communicate British Columbia's mandatory helmet laws to its customers through all communication channels and take all reasonable precautions to ensure the safety of all persons using the Bikes.
8. **Alterations to City Property** – Dropbike shall not make any improvements or alterations, including the installation of new bike racks, to the Havens or any other City property without the prior written consent of the City, which consent may be withheld at the City's sole discretion. If the City approves any improvements to the Havens from time to time, such improvements shall be removed and Dropbike shall repair the surface of the Haven to the City's required standard at the end of the Term, unless otherwise agreed by the City.
9. **Security Deposit** – Dropbike shall provide the City with a refundable security deposit in the amount of \$2,500.00, in the form of a certified check or bank draft, all or some of which the City may use at its sole discretion to rectify any matter of non-compliance under this Agreement including, but not limited to, the gathering up and disposal of Bikes from City property. The City shall refund to Dropbike any remaining portion of the security provided hereunder, without interest, upon expiry or earlier termination of the Term.



10. **Release** – Dropbike releases the City from and against all liabilities, claims, demands, damages, costs, expenses, suits and actions which Dropbike may at any time have against the City in respect of this Agreement and the License granted herein.
11. **Indemnity** – Dropbike shall indemnify and save harmless the City from and against all claims, demands, loss, costs, damages, actions, suits, adjuster's fees, or other proceedings by whomsoever made, sustained, brought or prosecuted in any manner, based upon, occasioned by, or attributable to any injury or damage arising or resulting from any action or omission of Dropbike, its invitees, servants or agents, in connection with Dropbike's bikeshare program and the use or occupation of the Bikes, the Havens, or any other City property. Further, Dropbike shall indemnify and save harmless the City from any costs, charges or damages to which the City may be put or suffer by reason of any breach of this Agreement or any by-law, statute, rule or regulation.
12. **Survival of Indemnities** – The obligations of Dropbike under sections 10 and 11 survive the expiry or earlier termination of this Agreement.
13. **Insurance** – Dropbike shall at its own expense maintain during the term general liability insurance of not less than \$5,000,000.00, naming the City as an additional insured. This insurance shall not relieve the City from any liability for its own negligence, or that of its servants or agents except as provided herein, and shall not relieve the City from the obligation to maintain insurance on its own property as any owner would in the normal course of prudent business affairs. Upon the signing of this Agreement, Dropbike shall provide a certificate of insurance verifying the coverage and confirming the City is shown as additional insured on the policy that is effective for the Term.
14. **Dropbike's Acknowledgment and Agreements** – Dropbike acknowledges and agrees that:
  - (a) the City has given no representations or warranties with respect to the Havens or the surrounding lands including, without limitation, with respect to the suitability of those locations for the Dropbike's intended use; and
  - (b) Dropbike accepts and uses the Havens on an "as is" basis and the City has not made any representations, warranties or agreements as to the condition of the Havens or the surrounding lands.
15. **No Assignment** – Dropbike shall not assign its rights or interest in this Agreement without the prior written consent of the City, which consent may be withheld in the City's sole discretion.
16. **Termination Due to Default** – If and whenever
  - (a) Dropbike is in default in the payment any amount payable under this Agreement and the default continues for seven (7) days after written notice by the City to Dropbike;
  - (b) Dropbike does not fully observe, perform and keep each and every term, covenant, agreement, stipulation, obligation, condition and provision of this Agreement to be observed, performed and kept by Dropbike, and persists in such default for fourteen



(14) days after written notice by the City;

- (c) Dropbike makes any assignment for the benefit of creditors or becomes insolvent or bankrupt; or
- (d) proceedings are begun to wind up Dropbike,

then the City may, at its option, terminate this Agreement and the Term then becomes immediately forfeited and void and Dropbike must immediately cease all use and occupation of the Havens and must remove the Havens from its smartphone application.

- 17. **Termination Without Default** – Either party may terminate this Agreement without cause upon giving the other party thirty (30) days written notice of such termination.
- 18. **Notice** – Any notice required or permitted to be given by one party to the other pursuant to the terms of this Agreement may be given:

(a) to the City at:                      City of Kelowna  
    1435 Water Street  
    Kelowna BC, V1Y 1J4  
  
    Attention: Transit and Programs Manager

(b) to Dropbike at:                      Dropbike Inc.  
    Suite 4, 325 Front St W  
    Toronto, ON CANADA M5V2Y1  
  
    Attention: VP Business Development

The above addresses may be changed at any time by giving ten (10) days written notice. Any notice given by one party to the other in accordance with the provisions of this Agreement shall be deemed conclusively to have been received on the date delivered if the notice is served personally or three (3) business days after mailing if the notice is mailed.

- 19. **No Joint Venture** – Nothing contained in this Agreement creates the relationship of principal and agent or of partnership, joint venture or business enterprise or entity between the parties or gives Dropbike any power or authority to bind the City in any way.
- 20. **No Effect on Laws or Powers** – Nothing contained or implied herein prejudices or affects the City's rights and powers in the exercise of its functions pursuant to the *Community Charter* or the *Local Government Act* or its rights and powers under any enactment to the extent the same are applicable to the Premises, all of which may be fully and effectively exercised in relation to the Premises as if this Agreement had not been fully executed and delivered.
- 21. **Binding on Successors** – This Agreement enures to the benefit of and is binding upon the parties and their respective successors and permitted assigns, notwithstanding any rule of law or equity to the contrary.



22. **Law of British Columbia** – This Agreement must be construed according to the laws of the Province of British Columbia.
23. **Entire Agreement** – The provisions in this Agreement constitute the entire agreement between the parties and supersede all previous communications, representations, warranties, covenants and agreements, whether verbal or written, between the parties with respect to the subject matter of the Agreement.
24. **Waiver or Non-Action** – Waiver by the City of any breach of any term, covenant or condition of this Agreement by Dropbike must not be deemed to be a waiver of any subsequent default by Dropbike. Failure by the City to take any action in respect of any breach of any term, covenant or condition of this Agreement by Dropbike must not be deemed to be a waiver of such term, covenant or condition.

As evidence of their agreement to be bound by the above terms, the City and Dropbike have each executed this Agreement on the respective dates written below:

**CITY OF KELOWNA** by its authorized signatories:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

Date: \_\_\_\_\_

**DROPBKE INC.** by its authorized signatories:

\_\_\_\_\_  
Name: Qiming Weng

\_\_\_\_\_  
Name: Emmett McEachern

Date: Feb 07, 2018

## SCHEDULE A

LIST OF HAVENS

[List to be included and updated throughout the Term by mutual agreement of the parties]



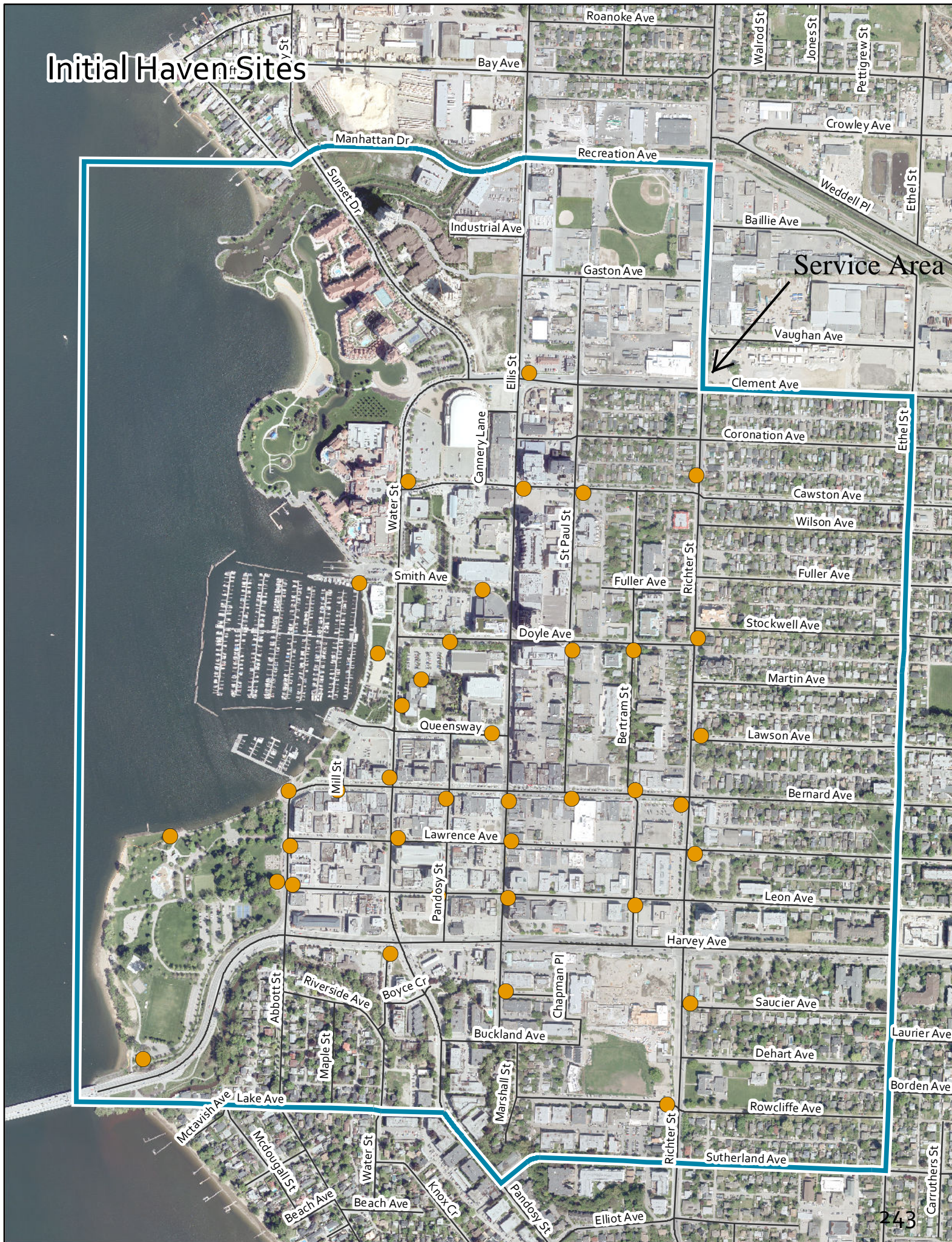
## SCHEDULE B

SERVICE AREA

[Map to be included and updated throughout the Term by mutual agreement of the parties]



# Initial Haven<sup>ft</sup> Sites



# Bikeshare Pilot Licence Agreement Dropbike



February 19, 2018

# Bikeshare Background

- ▶ Bikeshare is an emerging service where bicycles are made available for shared use to individuals on a short term basis;
- ▶ Allows users the ability to pick up a bicycle in one location and return it to another, within a defined service area;
- ▶ Allows users to access affordable and convenient bicycles; and,
- ▶ Provides community benefits, support mobility, carbon reduction and economic development goals.

# Background Cont'd

- ▶ Staff received authorization from Council on January 22, 2018 to negotiate and bring forward an agreement for the purpose of licensing use of the public right-of-way for a bikeshare service in 2018; and,
- ▶ The proposed Agreement obligates Dropbike Inc. to follow the requirements, details and framework in exchange for the use of City property in which to operate.

# Agreement Highlights

Lease Component	Description
Service Area	To be amended as agreed in writing from time to time
Havens	To be re-located as agreed in writing from time to time
Tenure Type	Licence of occupation to use City property to place Havens
Term	18-month pilot project
Obligations	<ul style="list-style-type: none"> <li>• Demarking Haven locations using a smart phone app.</li> <li>• Identify Haven locations on the ground</li> <li>• Maintain bikes to a safe and functional state (remove damaged bikes from service daily)</li> <li>• Inspect all bikes daily</li> <li>• Inspect Service Area and re-balance bikes to havens daily</li> <li>• Provide between 500 – 1,500 bikes during the term</li> <li>• Respond to inquiries, complaints or requests made by customers, members of the public</li> <li>• Provide incentives to customers who return Bikes to Havens</li> <li>• Operate its bikeshare program in a manner that does not create any hazard or nuisance to users of City Property</li> <li>• Provide key data and financial information at regular intervals</li> </ul>

# Havens/Service Area



# Next Steps

- ▶ Staff will work with Dropbike to fulfill responsibilities outlined in the Agreement;
- ▶ Bikeshare pilot launch is scheduled for Spring 2018;
- ▶ Staff will update council on the pilot before the end of 2018; and,
- ▶ Staff will report back to Council in Fall 2019 with results of the pilot & recommendations.



## *Questions?*

For more information, visit [kelowna.ca](http://kelowna.ca).

# Report to Council



**Date:** February 19, 2018  
**File:** 1840-10  
**To:** City Manager  
**From:** Lindsay Clement, Park and Landscape Planner  
**Subject:** Rutland Centennial Park Development

---

## **Recommendation:**

THAT Council receives, for information, the report from the Park and Landscape Planner dated February 19, 2018, with respect to the Rutland Centennial Park Development;

AND THAT Council approve up to \$75,000 for the Rutland Centennial Park Phase 3 design development and construction documents work funded from reserve;

AND THAT the 2018 Financial Plan be amended to include the transfer of \$75,000 from reserve for Rutland Centennial Park Phase 3 design development and construction documents;

AND FURTHER THAT Council directs staff to bring forward the total construction costs and associated ongoing operating costs for the Rutland Centennial Park Phase 3 in the 2018 Final Budget.

## **Purpose:**

To bring forward costing implications, prior to final budget, for Rutland Centennial Park Phase 3, and information on Phase 4 as requested by Council.

## **Background:**

In 2015, the land that makes up Rutland Centennial Park was transferred to City of Kelowna ownership by the non-profit Rutland Park Society. The agreement was such that the site would be developed into a community park complete with amenities such as paved pathways, multi-cultural garden space, sports fields, and a performance stage.

Phases 1 and 2 of the park's construction took place in 2016-2017, and the park now includes a soccer pitch and an inclusive playground space with asphalt pathways, picnic tables, and benches.

In 2017, staff made an application for federal sesquicentennial grant funding in the amount of \$350,000, in order to continue with development of this popular park. The scope of work for the application was to include an expansion of the existing playground, multi-cultural garden

area, entry plaza, park signage, additional asphalt pathways, and site furnishings such as bike racks, picnic tables, benches and trash receptacles, all in alignment with the overall park master plan. However, the application was not successful; therefore, continuation of the park development was deferred.

Although the development of Rutland Centennial Park was not included as a 2018 capital budget request, Mayor and Council have directed staff to report back to Council with a proposed scope of work and associated cost for final budget amendment in order to continue development of this park.

For the proposed Phase 3 works, staff are proposing a scope of work similar to the previous grant application. Attachment 1 shows the phased park master plan and indicates the scope of work that staff are proposing be included in this budget amendment. The cost estimate for Phase 3 is \$500,000.

Phase 4, the full build out of the park, includes a performance stage, basketball courts, lighting, paved pathways, washroom building, drinking fountain and additional landscaping and shade trees. Phase 4 is currently estimated at \$2.3 million, and will be identified in the 10-year capital plan as a Priority 1 in 2022.

**Financial/Budgetary Considerations:**

In order to proceed immediately with design development and construction documents, a budget amendment of \$75,000 is requested from Reserve. The remaining balance of \$425,000, and associated ongoing operating costs, will be brought forward as a proposal in the 2018 Final budget.

**Internal Circulation:**

City Clerk  
Community & Neighbourhood Services Manager  
Community Engagement Manager  
Financial Planning Manager  
Infrastructure Engineering Manager  
Infrastructure Operations Department Manager  
Parks and Buildings Planning Manager  
Parks Services Manager  
Partnership Manager

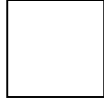
**Considerations not applicable to this report:**

Alternate Recommendation  
Communications Comments  
Existing Policy  
External Agency/Public Comments  
Legal/Statutory Authority  
Legal/Statutory Procedural Requirements  
Personnel Implications

Submitted by:

Lindsay Clement, Park and Landscape Planner

Approved for inclusion:



Alan Newcombe, Divisional Director, Infrastructure

Attachment 1 - Rutland Centennial Park - Master Plan

Attachment 2 - Rutland Centennial Park - Phase 3 Concept Plan

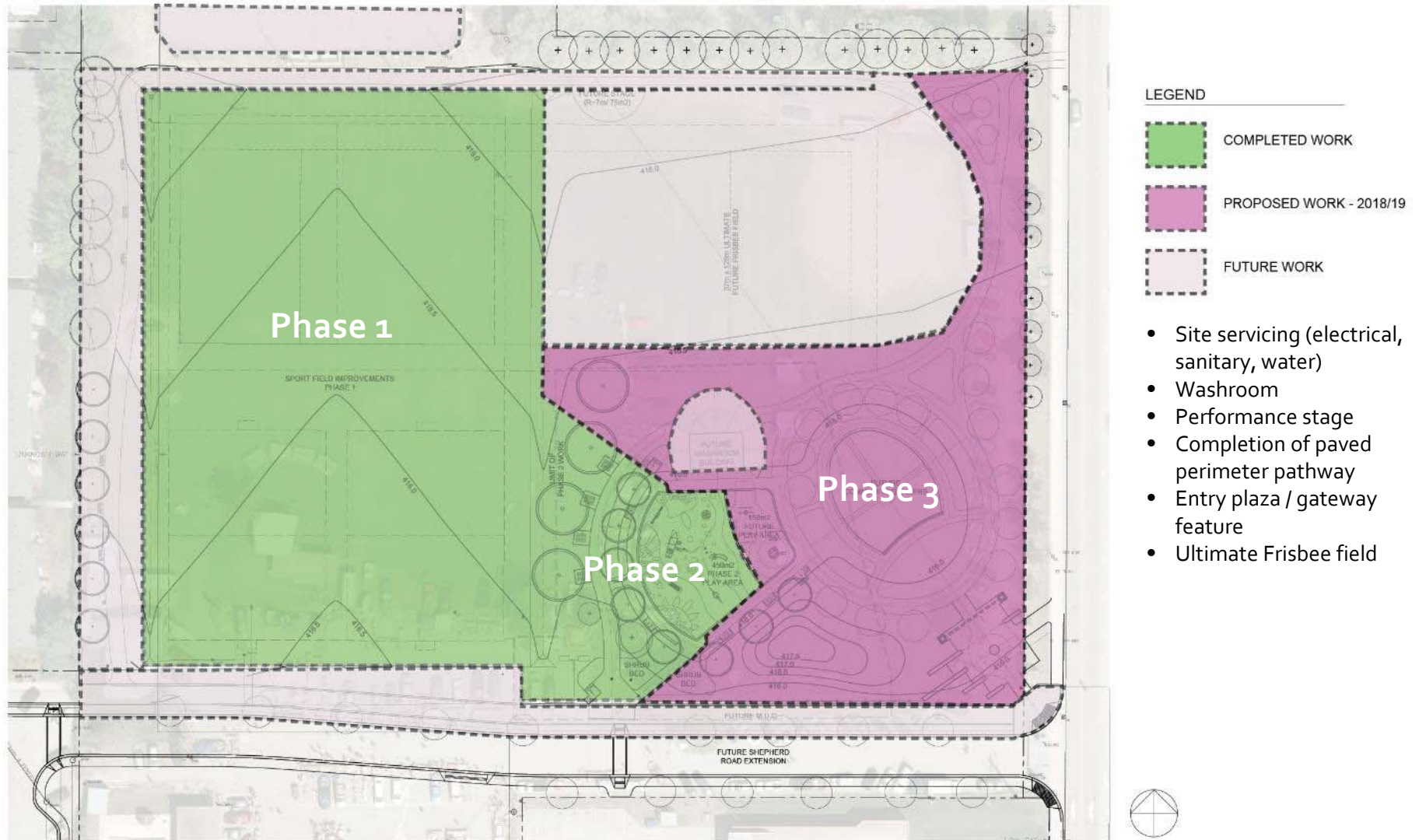
Attachment 3 - Rutland Centennial Park Development - Presentation

cc: Deputy City Manager, Operations  
Divisional Director, Active Living & Culture  
Divisional Director, Community Planning & Strategic Investments  
Divisional Director, Corporate & Protective Services  
Divisional Director, Financial Services  
Divisional Director, Financial Services  
Divisional Director, Infrastructure

## Attachment 1 - Phase 3 Concept Plan



## Attachment 2 - Phased Master Plan



# Design & Construction – Future Work

[kelowna.ca](http://kelowna.ca)



# Rutland Centennial Park Phase 3 Development

February 19<sup>th</sup>, 2018







#### LEGEND



COMPLETED WORK

- Soccer pitch
- Irrigation system
- Accessible playground
- Site furniture
- Pathway system

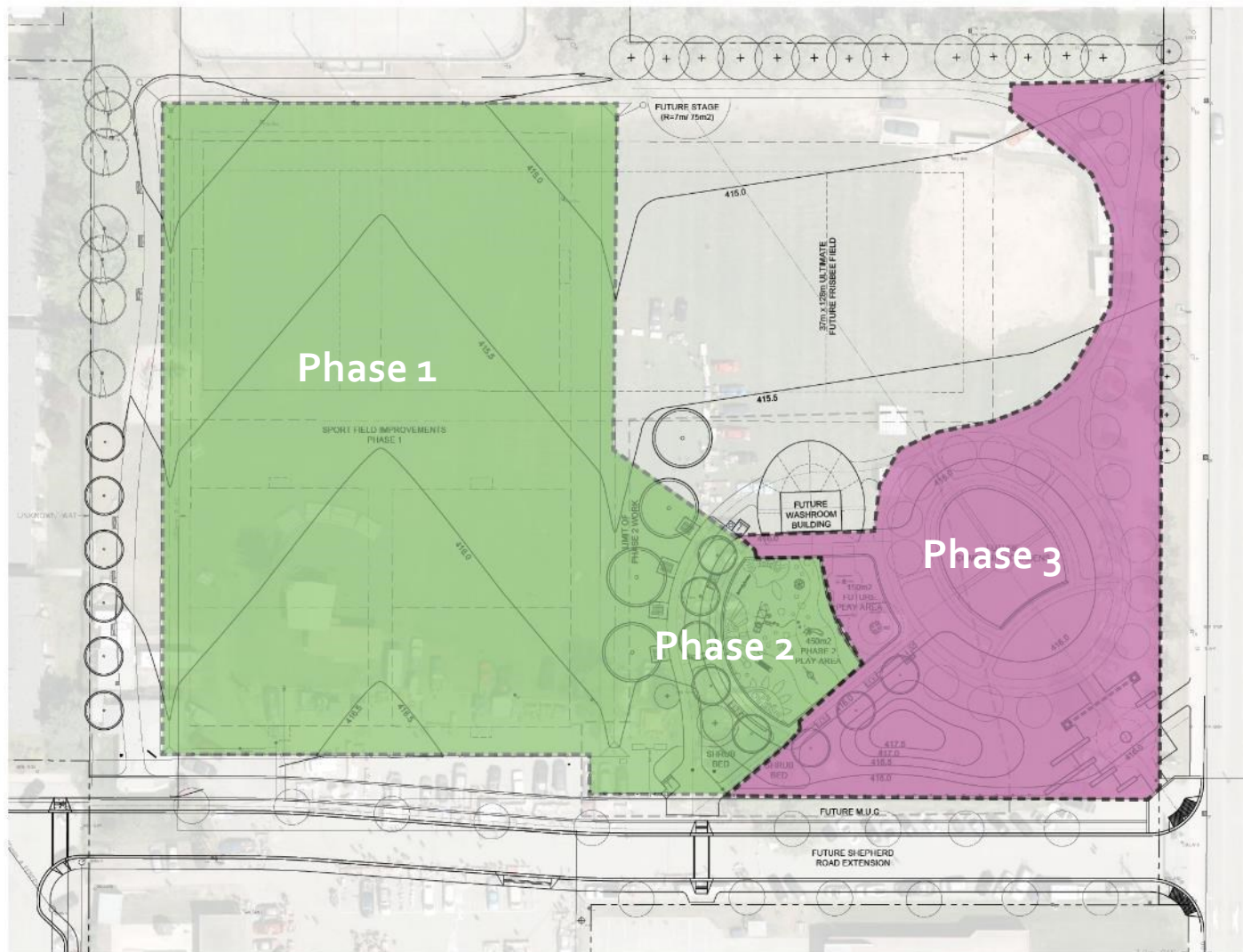
# Phase 1 & 2 - Completed



Phase 2 - Completed



Phase 2 - Completed



#### LEGEND

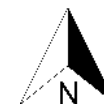


COMPLETED WORK



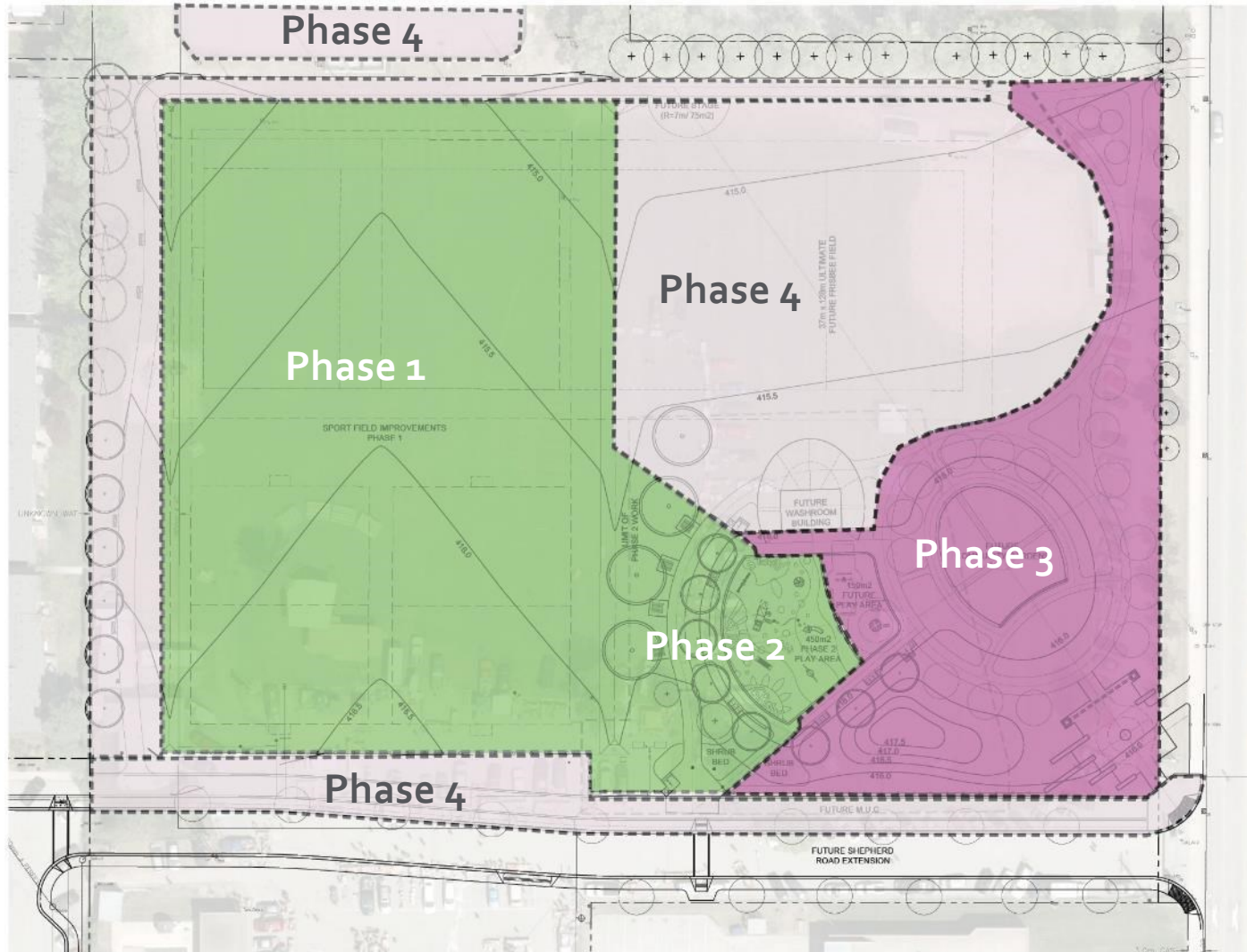
PROPOSED WORK - 2018/19

- Playground expansion
- Pathways
- Site furniture
- Open lawn
- Ornamental planting
- Shade trees
- Preparation of future multi-cultural gardens



# Phase 3 - Proposed





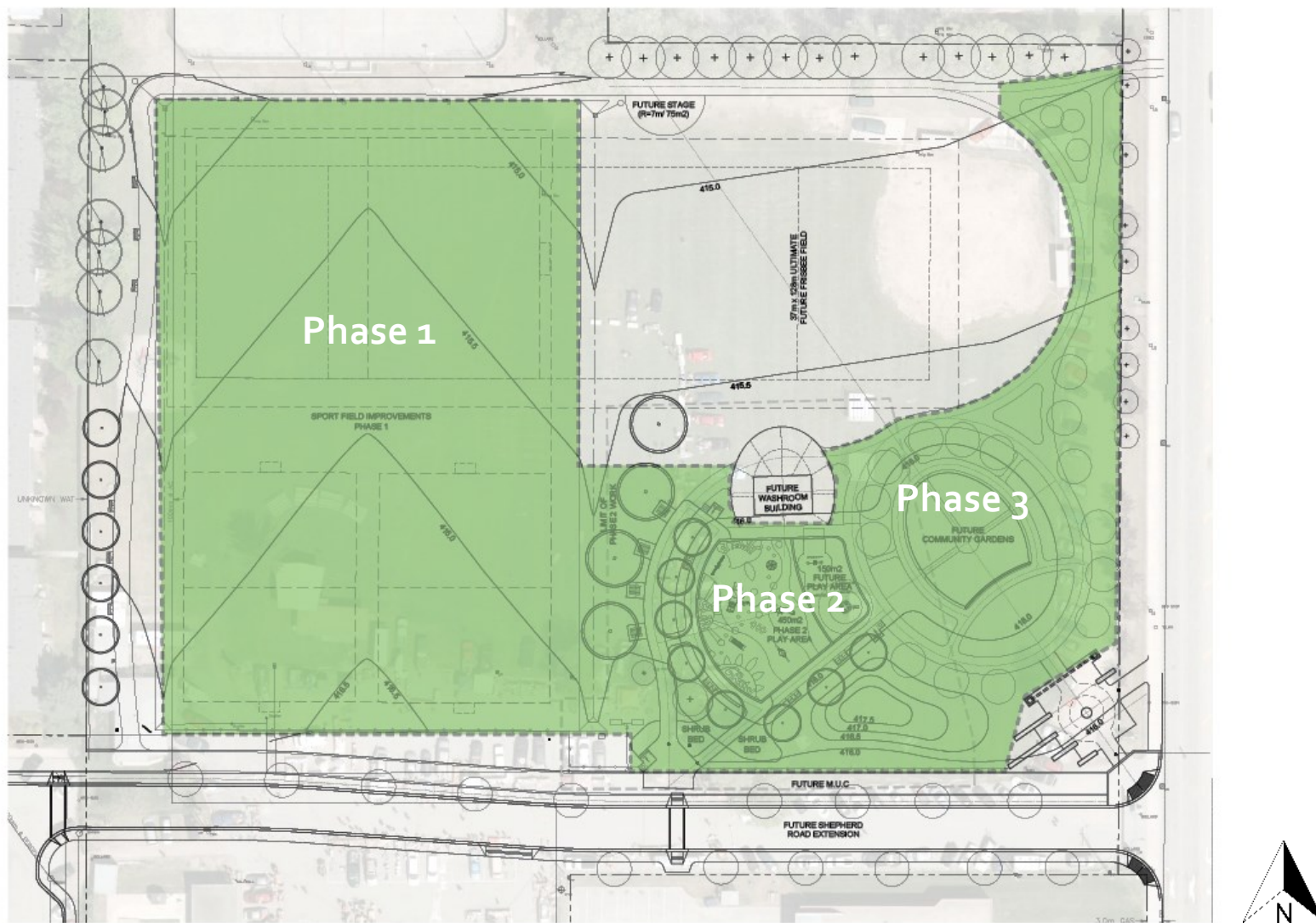
#### LEGEND

- COMPLETED WORK
- PROPOSED WORK - 2018/19
- FUTURE WORK

- Site servicing (electrical, sanitary, water)
- Washroom
- Performance stage
- Completion of paved perimeter pathway
- Entry plaza / gateway feature
- Ultimate Frisbee field



# Phase 4 - Full Build Out



# Park Development – Phases 1, 2 & 3

THAT Council approve up to \$75,000 for Phase 3 design funded from reserve;

AND THAT the 2018 Financial Plan be amended to include the transfer of \$75,000 from reserve;

AND THAT Council directs staff to bring forward the balance of construction costs and associated operating costs in the 2018 Final Budget.



## *Questions?*

For more information, visit [kelowna.ca](http://kelowna.ca).

# Report to Council



**Date:** February 19, 2018  
**File:** 1620-20  
**To:** City Manager  
**From:** Mariko Siggers, Community & Neighbourhood Services Manager  
**Subject:** Canada 150 Review

---

## **Recommendation:**

THAT COUNCIL receives, for information, the report from the Community & Neighbourhood Services Manager dated February 19, 2018 regarding a summary of the Canada 150 initiatives in Kelowna in 2017.

## **Purpose:**

To provide Council with a summary of the events and initiatives that took place in 2017 to commemorate Canada's sesquicentennial in Kelowna.

## **Background:**

In preparation for Canada's 150<sup>th</sup> Anniversary (C150), Council approved \$150,000 to commemorate the milestone locally. The funding was used to support various community grants, celebrations and initiatives. Council's investment was leveraged by the efforts of many community groups and the impact was felt around the city. This report includes a snapshot of some of the highlights and is not meant to be inclusive of everything that took place.

Beginning and ending with New Year's celebrations at Stuart Park, 2017 was marked with a number of community wide projects and initiatives which captured the spirit of our city and gave residents something to celebrate for many years to come.

## Sesquicentennial Grants

Seven community organizations were awarded grants ranging between \$3,000 and \$15,000. All of the grant recipients were able to complete their projects and report on the impact that was made. A quick summary of each recipient is below:

- Kelowna Paddle Trail – The DragonBoat Club took the lead on having 22 buoys installed from McKinley Beach to Bertram Creek Park. The buoys include a list of the beach accesses along the trail and distances between each. The timing of the project was delayed with the spring floods, but the portion covered by the City grant was completed. Signage will be installed and the official launch will take place in the late spring of 2018.
- Stories from 150 Years – with community partners such as members of the Sylix community, Sncewips Heritage Museum, the Okanagan Chinese Canadian Association, the Francophone Cultural Centre, Metro Community Church, Kelowna Secondary School and UBCO a multi-sensory exhibit was created. Visitors to the exhibit had a visual and audio experience learning about the people who have shaped our community over the past 150 years. The pieces used in this exhibit will have a permanent home in the museum.
- 150 Years of Art – The exhibition celebrated Canada’s 150th anniversary by bringing together significant Canadian works of art from private collections throughout the Kelowna area for visitors to view and enjoy. The selection included remarkable historical Canadian works by artists such as Cornelius Krieghoff, A.Y. Jackson, Emily Carr, Lawren Harris, A.J. Casson, Jack Bush, Gershon Iskowitz, Jack Shadbolt, and Daphne Odjig. A beautiful keepsake book was created as a legacy for this project.
- A (Kelowna) Christmas Carol - New Vintage Theatre put a local spin on the Charles Dickens’ classic to include some of Kelowna’s history in the story. Almost 2800 people were able to attend one of the ten performances. The production was considered a great success by New Vintage Theatre and they envision the play will be read and performed again both by their organization and by local schools.
- Canadiana Suite: A Sesquicentennial Celebration – Ballet Kelowna and the Okanagan Symphony Orchestra presented a unique Canadian performance of music and choreography. Over 43 Canadian musicians, four award winning choreographers, seven professional dancers, six professional youth from Kelowna’s dance community, the local Neville Bowman Trio and renowned blues artist Shakura S’Aida came together for four performances. Due to its success, Ballet Kelowna continues to tour this performance and the groundwork for future collaborations between these two groups has been laid.
- Canada 150 Summer Fest – Chamber Music Kelowna showcased national and local talent with indoor and outdoor performances. The project increased Chamber Music Kelowna’s overall exposure in the community and appealed to a broader demographic. Two high profile Canadian Artists, trumpeter Jens Lindemann and pianist Tommy Banks, took part in the performances. A strong partnership with Festivals Kelowna and the potential for a summer music festival are the legacies for this project.

- na'ʔk'wulamən - The things that we do - Okanagan College created a 6000 square foot teaching and learning indigenous garden that is home to traditional plants used in First Nations culture. Over 50 different varieties of Okanagan plants, shrubs, trees and rocks are contained in the garden. Members of Westbank First Nations and Okanagan College came together to design and develop the garden. It will be maintained by volunteers and Okanagan College so visitors can enjoy it for years to come.

### Incentive Grants

A Canada 150 “top up” was given to a number of grant recipients eligible for existing City grants. Recipients were awarded an incentive grant when they demonstrated alignment with the Canada 150 themes. The overall impact of this funding stream was widespread throughout the community:

#### *Strong Neighbourhoods*

- Incentive Grant funds were used to enhance five projects and 13 events. Over 1200 people connected and 70 volunteers contributed almost 900 volunteer hours. Some of the funded projects included a “Nectar Trail,” an interpretive walking trail and a “Heritage Tea.”

#### *Sport and Event Grants*

- With a focus on volunteer management, the funds were used to improve management strategies, expanded training, recruitment and recognition for volunteers. Six outdoor events which collectively support hundreds of volunteers benefited from this incentive grant.
- The Sport Education Grant was also enhanced allowing seven officials to upgrade their training and/or certification.

#### *Culture Grants*

- Six Incentive Grants were awarded to a range of cultural projects including a Ukrainian Folk Ballet performance, a Canadian Brass Concert and an interactive “blanket exercise” and talking circle which works towards reconciliation.

### Community Engagement

The main online hub for all Canada 150 content was [kelowna.ca/canada150](http://kelowna.ca/canada150). There were almost 13,000 views of this site in 2017 with the most visited links being the Volunteer Challenge and the listing of what’s happening in the community. There were over 600 subscribers for the monthly e-newsletter and through various social media posts and sponsored articles, hundreds more people were engaged. The City’s C150 Facebook posts had a reach of close to 70,000 viewers.

#### *Events*

City staff incorporated Canada 150 messaging into many of their programs. Staff attended and promoted Canada 150 at events and programs such as Park and Play, Dancing in the Park, Family Fun Day and the Cultural Walking Tours.

## SESQUI

At no cost to the City or spectators, a national "Signature C150" project, the SESQUI Dome made a visit. With a generous donation of space from the Capital News Centre, the dome was set up in the lobby on November 4. A 360-degree film was shown which highlighted both famous and remote areas as well as traditional and non-traditional Canadian activities. More than 500 people took part in this free opportunity.

### 150 for 150 Volunteer Challenge

In January 2017, the Mayor issued a challenge to the community to collectively contribute 150,000 volunteer hours. These hours were tracked through the Do Some Good (formerly Volinspire) platform. This challenge was a huge success seeing over 210,000 hours contributed across the community. Do Some Good will keep the momentum going through continued engagement and celebration of volunteers.

### Community Celebrations

Festivals Kelowna was the lead organization to coordinate the major community celebrations for Canada 150. In recognition of the milestone, some new initiatives were created as well as enhancements to the existing program. Some of the highlights of the 2017 program are outlined below:

C150 Celebration Site - for three months during the summer, C150 branded staging was constructed at Jim Stuart Park. This became a community hub and added a more festive atmosphere for celebrations such as Canada Day, Parks Alive! and Dancing in the Park.

150 Banners - a unique project in which 150 people create 150 banners which reflected Canada. Many of these were created through free workshops held at Opus Art Supplies. The banners were displayed first at "Arts on the Avenue" in July and then again along the Artwalk in October.

Canada Day - even bigger in 2017, Festivals Kelowna used additional budget to bring in more performances and higher profile acts. There were additional multi-cultural aspects including the Ki-Lo-Na Friendship Society's "Blanket Ceremony" which provided a teaching and learning opportunity to better understand the impact of colonization on Indigenous populations. With the flooding in the late spring, the fireworks needed to be postponed which made for an enhanced and exciting BC Day weekend in the beginning of August.

Canada 150 Concert Series - purposefully selected acts from across the country performed during two different concerts. These artists were widely recognized and reflected various regions and cultural groups.

Parks Alive! - adding to the C150 Concert Series, Parks Alive! continued with the cross Canada theme. In addition, historically significant spaces, such as Father Pandosy Mission, were used as performance venues.

**Summary**

This report touched on some of the City driven C150 initiatives. There were countless other events and commemorative activities throughout Kelowna and across the nation that contributed to the overall excitement of 2017. Through Council's investment, opportunities for social connection, cultural experiences, learning and recreation were created. Many important projects and conversations were initiated that will continue shaping our community into the future.

**Internal Circulation:**

Communications Advisor, Communications  
Divisional Director, Active Living & Culture  
Manager, Cultural Services  
Manager, Sport & Event Services

**Considerations not applicable to this report:**

Legal/Statutory Authority:  
Legal/Statutory Procedural Requirements:  
Existing Policy:  
Financial/Budgetary Considerations:  
Personnel Implications:  
External Agency/Public Comments:  
Communications Comments:  
Alternate Recommendation:

Submitted by: M Siggers, Community & Neighbourhood Services Manager

**Approved for inclusion:** J. Gabriel, Divisional Director, Active Living and Culture

Attachments: Presentation Canada 150

Cc: Divisional Director, Corporate Strategic Services



# Canada 150 Review

February 19, 2018



# Background

- ▶ Council allocated \$150,000 to celebrate the Sesquicentennial
- ▶ Through engagement, themes were developed
  - ▶ Embrace, preserve and celebrate the natural assets of Kelowna including the lake, trails, landscape and four season recreational opportunities
  - ▶ Celebrate cultural diversity and freedom
  - ▶ Empower our youth to shape the community they desire
  - ▶ Honor the history of our region and the prominent people and events that connect us
  - ▶ Lay the groundwork for innovation that will strengthen our community
  - ▶ Recognize and celebrate the rich history and knowledge of Indigenous nations who continue to be an integral part of our community

# CANADA 150

# Canada 150 Budget



Community  
grants:  
\$95,000

- Sesquicentennial grants
- Incentive grants



Celebrations  
and festivities:  
\$35,000

- Canada Day
- Parks Alive



Community  
engagement:  
\$20,000

- Website
- Social media
- Volunteer challenge

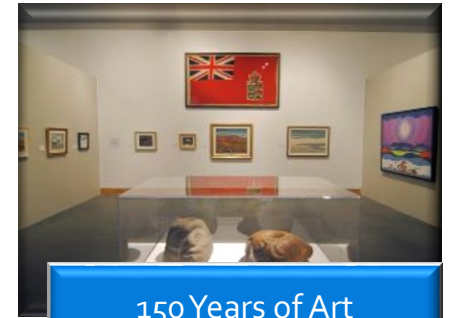
# Sesquicentennial Grants



A Kelowna Christmas  
Carol



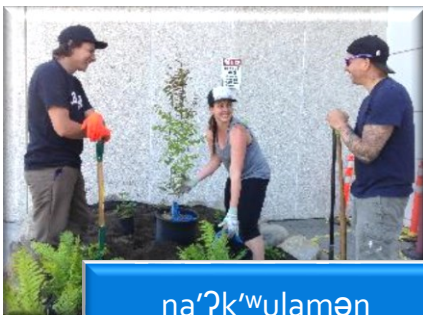
Canadiana Suite



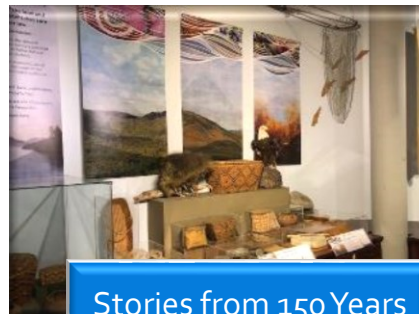
150 Years of Art



Kelowna Paddle Trail



na'ḡk'wulamən



Stories from 150 Years



Canada 150 Summer  
Fest

# Incentive Grants



# Community Engagement



# Volunteer Challenge

- National Challenge for 150 hours by an individual
- Community challenge for 150,000 hours collectively
  - 210,807 hours recorded!

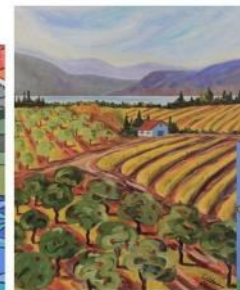
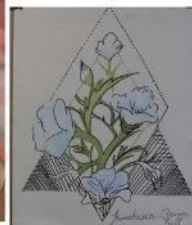
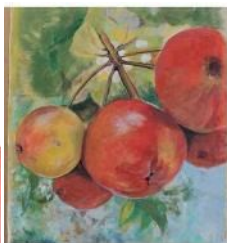
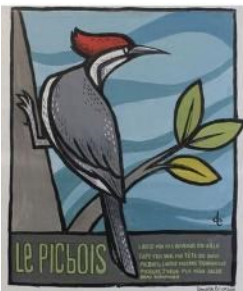


# Community Celebrations



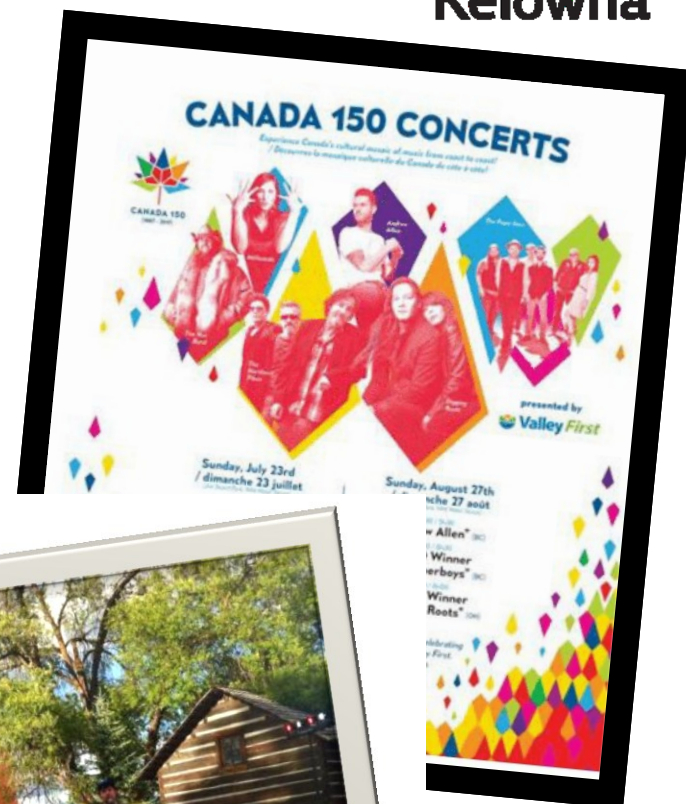
Celebration site at Jim Stuart Park

# 150 Banners



# Canada 150 Concerts

- ▶ Two feature performances
  - ▶ Jul 23 & Aug 27
- ▶ Enhanced Parks Alive! program
  - ▶ Historical locations
  - ▶ Canadian Songbook



# Canada Day

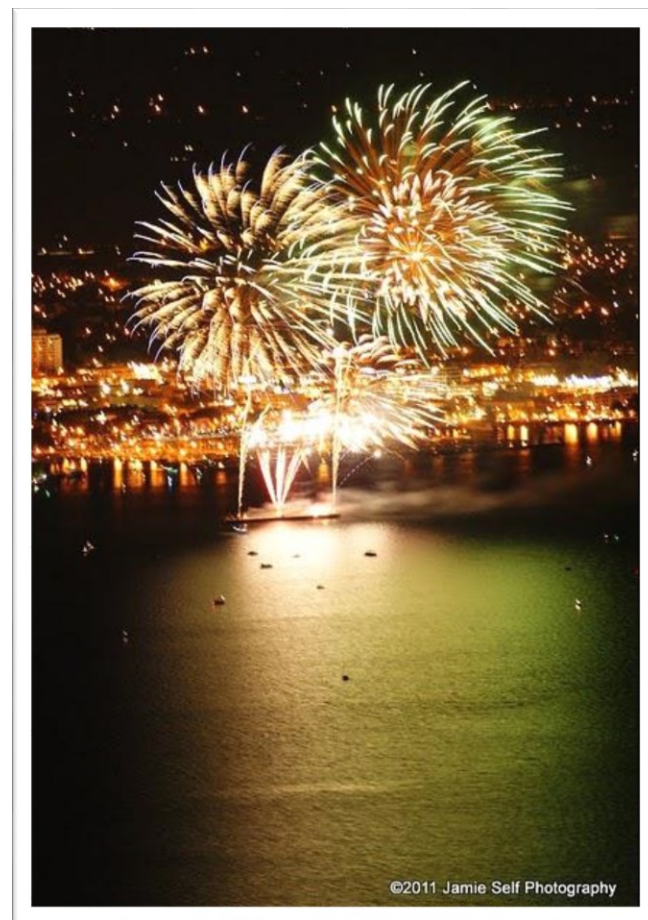


# Canada 150 Fireworks



- ▶ Aug 5, 2017
- ▶ Special event

- ▶ Music
- ▶ Activities
- ▶ Park and play
- ▶ Dancing in the Park



©2011 Jamie Self Photography

# New Years Eve 2016 & 2017



# Summary



**CANADA 150**

- Culture
- Sport
- Recreation
- Connections
- Celebrations
- Performances
- Volunteers
- Pride



## *Questions?*

For more information, visit [kelowna.ca](http://kelowna.ca).

# Report to Council



**Date:** February 19, 2018

**File:** 1125-51-065

**To:** City Manager

**From:** J. Säufferer, Manager, Real Estate

**Subject:** Road Closure Adjacent to 210 Lougheed Road

Report Prepared by: A. Warrender, Property Officer Specialist

---

## **Recommendation:**

THAT Council receives, for information, the Report from the Manager, Real Estate Services dated February 19, 2018, recommending that Council adopt the proposed closure of a portion of road adjacent to 210 Lougheed Road;

AND THAT Bylaw No.11556, being the proposed closure of a portion of road adjacent to 210 Lougheed Road, be given reading consideration.

## **Purpose:**

To dispose of an excess 102.7 square meter portion of roadway adjacent to 210 Lougheed Road.

## **Background:**

The proposed road is a small remnant area from the original subdivision when Hollywood Road was anticipated to be wider and has now been deemed to be excess to the City's needs.

## **Legal/Statutory Authority:**

Section 26 and 40, Community Charter

## **Considerations not applicable to this report:**

Legal/Statutory Procedural Requirements:

Existing Policy:

Financial/Budgetary Considerations:

Internal Circulation:

Personnel Implications:

External Agency/Public Comments:

Communications Comments:

Alternate Recommendation:

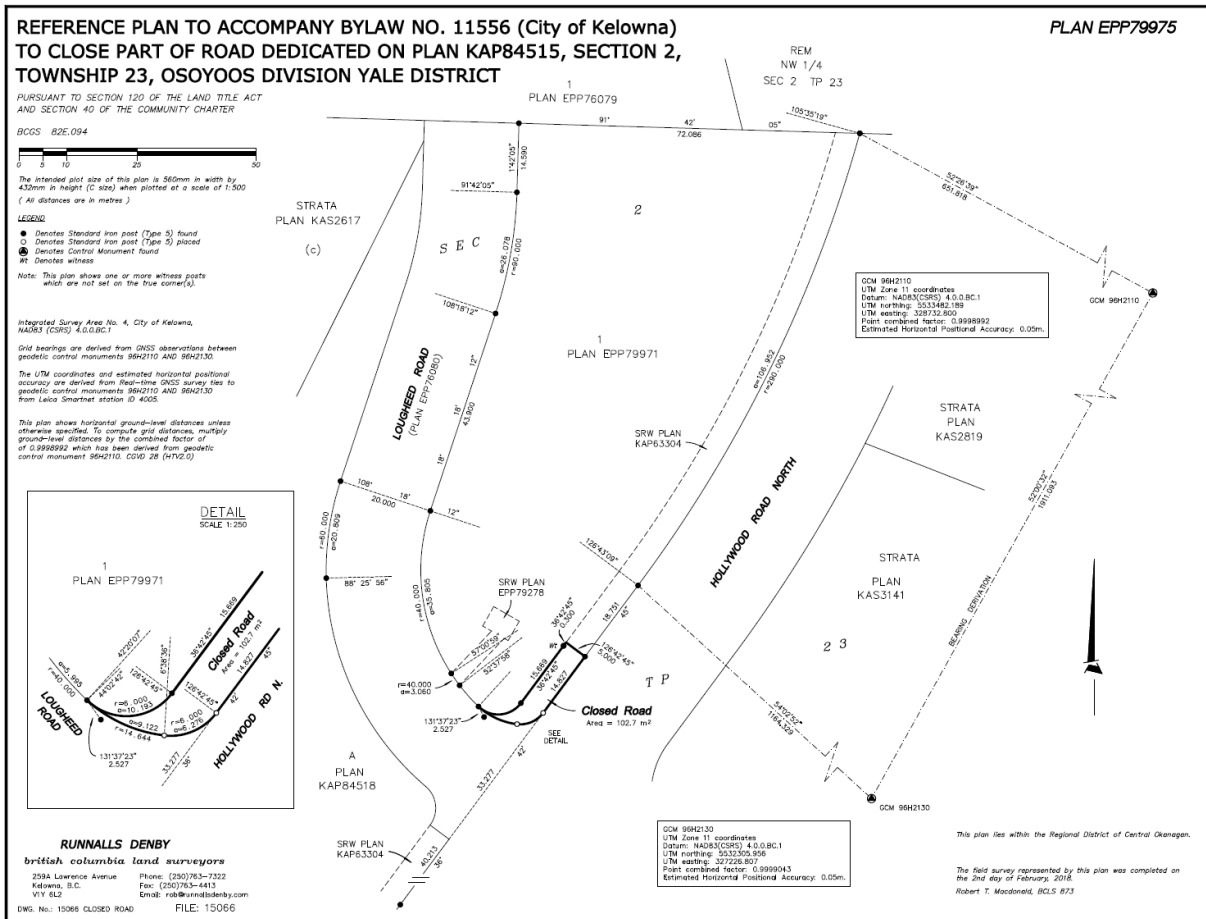
**Submitted by:** J. Säufferer, Manager, Real Estate Services

**Approved for inclusion:** D. Edstrom, Director, Real Estate

**Attachments:** 1. Schedule A – Survey Plan

cc: G. Foy, Manager, Transportation & Mobility  
J. Kay, Manager, Development Engineering  
T. Barton, Manager, Urban Planning

## Schedule A



# CITY OF KELOWNA

## BYLAW NO. 11556

### **Road Closure and Removal of Highway Dedication Bylaw** **(Portion of Lougheed Road)**

**A bylaw pursuant to Section 40 of the Community Charter to authorize the City to permanently close and remove the highway dedication of a portion of highway on Lougheed Road**

---

NOW THEREFORE, the Municipal Council of the City of Kelowna, in open meeting assembled, hereby enacts as follows:

1. That portion of highway attached as Schedule "A" comprising 102.7m<sup>2</sup> shown in bold black as Closed Road on the Reference Plan EPP79975 prepared by Robert T. Macdonald, B.C.L.S., is hereby stopped up and closed to traffic and the highway dedication removed.
2. The Mayor and City Clerk of the City of Kelowna are hereby authorized to execute such conveyances, titles, survey plans, forms and other documents on behalf of the said City as may be necessary for the purposes aforesaid.

Read a first, second and third time by the Municipal Council this

Approved Pursuant to Section 41(3) of the Community Charter this

---

(Approving Officer-Ministry of Transportation)

Adopted by the Municipal Council of the City of Kelowna this

---

Mayor

---

City Clerk

